

Allyson's Landing
Release Two-Year Maintenance Surety
STAFF REPORT
October 23, 2013

SITE: Allyson Drive – 217-033 – 12 Lot Subdivision (originally approved in December 2008)

ZONING: R-2

PURPOSE FOR PETITION: Release of the Two-Year Maintenance Surety for Allyson's Landing Subdivision – Reference Memo dated September 26, 2013 from Patrick Colburn, P.E., Town Engineer, to John Cashell, Town Planner

ATTACHMENTS:

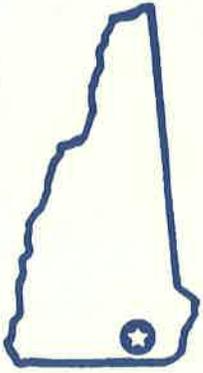
- 1) Memoranda from Patrick Colburn and Kevin Burns, favorably recommending release of said surety, together with a favorable recommendation referenced in Mr. Colburn's memo from Town Inspector, Gary Webster.

ISSUES OUTSTANDING: N/A; please refer to attached memoranda.

DRAFT MOTION:

I move to release, in its entirety, the two-year maintenance surety (in the form of a cash bond in the amount of \$46,572.67) for the Allyson's Landing Subdivision; please see Town Engineer, Patrick Colburn's, favorable recommendation regarding this matter in the file, together with the favorable recommendation of Road Agent, Kevin Burns.

Motion by: _____ Second: _____ Carried/Failed: _____



TOWN OF HUDSON
ENGINEERING DEPARTMENT



12 School Street • Hudson, New Hampshire 03051 603-886-6008 • Fax 603-594-1142

INTEROFFICE MEMORANDUM

TO: John Cashell, Town Planner
Planning Board

FROM: Patrick Colburn, P.E., Town Engineer 

DATE: September 26, 2013

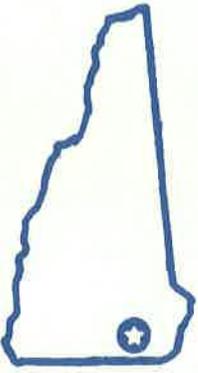
RE: Allyson's Landing, Release of Two Year Maintenance Bond

The Engineering Department has received request from Sousa Realty and Development Corp. for the release of their two (2) year maintenance bond for Allyson's Landing, Allyson Drive, in Hudson. The street was accepted in November of 2011, and has been inspected by Kevin Burns, Road Agent, and Gary Webster, Civil Engineer. Together, they have recommended the release of the bond. Please see Kevin Burns' memo, dated 9/16/13, attached.

Given the information provided, I support the release of the maintenance bond in the amount of \$46,572.67. I am asking that the Planning Board review this and make a recommendation to the Board of Selectmen for the same.

TOWN OF HUDSON

Highway Department



2 Constitution Drive Hudson, New Hampshire 03051 603/886-6018 Fax 603/594-1143



To: Patrick Colburn, Town Engineer

From: Kevin Burns, Road Agent *KB*

Date: September 16, 2013

Re: Allyson's Landing Release of Maintenance Bond

I recommend the release of the two year maintenance bond for Allyson's Landing.



46 Lowell Road, Hudson, NH 03051

(603) 880-7799 • FAX: 880-8926



September 13, 2013

Town of Hudson
Town Engineers Office
12 School Street
Hudson, NH 03051

Attention: Hudson Planning Board

RE: Allyson's Landing
Two Year Maintenance Bond

Sousa Realty & Development Corp. would like to request to be put on the next planning board meeting for the release of the (2) two year maintenance bond on Allyson 's Landing, Allyson Drive, Hudson, NH. in the amount of \$46,572.67. Thank you

Sincerely,

A handwritten signature in blue ink that reads "Manuel D. Sousa".

Manuel D. Sousa,
Sousa Realty & Dev. Corp.

MDS/sam

Retail Center Site Plan - 201 Lowell Road

Staff Report

October 23, 2013

SITE: 201 Lowell Road -- Map 216/Lot 011 -- SP# 06-13

ZONING: Business (B)

PURPOSE OF PLAN: Site development for 10,465 SF commercial/retail building. Application Acceptance & Hearing.

PLAN UNDER REVIEW ENTITLED: "Advanced Auto Parts" 201 Lowell Road, Hudson, NH, prepared by SFC Engineering Partnership, Inc., 66 Gold Ledge Avenue, Auburn, NH 03032, dated: September 16, 2013 (no revision date), consisting of Sheets 1 – 12, Sheets L1 & L2 and Notes 1 – 26 (said plan set is attached herewith).

ATTACHMENTS:

- 1) Project Introduction Letter, Project Narrative and Site Plan Application, date stamped 09/20/13, including Photos of the existing site and example photos of Low Impact Development (LID) drainage design, which is planned for the site. - Attachment "A".
- 2) Comment Reports from Fire, Zoning, Assessing and Highway – "B".
- 3) CAP Fee Form – "C".
- 4) Declaration of Easements – "D".
- 5) NOTE: as of this writing, CLD's Initial Comments Report is pending, but is expected in time for the meeting.

REQUESTED WAIVERS:

- 1) HTC 275-8(22) – 35 ft. Green Area Adjacent to ROW
- 2) HTC 275-8(24) – Open Space
- 3) HTC 275-8(25) - Travelway Within Rear Yard Setback
- 4) HTC 275-8(26) - Number of Parking Spaces
- 5) HTC 275-8(31) – 10% Interior Parking Shall Be Landscaped
- 6) HTC 275-9B -- Traffic Study
- 7) HTC 275-9(C) -- Noise Study
- 8) HTC 275-9(D) -- Fiscal and Environmental Impact Study

APPLICATION TRACKING:

1. 09/20/13 application submitted.
2. 10/23/13 Initial Public Hearing scheduled.

OUTSTANDING ISSUES & RECOMMENDED ACTION:

Please note, CLD's Initial Comments Report is pending, but will be handed-out at the meeting. The reason for the delay involves the following described submission issues: this application was initially submitted on Sept, 20th, but was abruptly withdrawn on Sept. 26th - only to be reactivated for review on

October 8th. With only one item on the Oct. 23d agenda, because of an application postponement, staff scheduled this present application for acceptance and its initial hearing for Wednesday night. Please note, only CLD's and the Town Eng's. comments remain outstanding, with "No Comments" offered from the Fire, Zoning, Assessing and Highway (see attachment "B"). Please further note, in discussing this Site Plan submission with each of the latter-cited department staff, no comments were offered, taking into consideration that: (i) the proposed driveway entrances and onsite fire/travel lanes comply with their concerns, and (ii) their acknowledgment that the existing roadway network that will service the development is sufficient to handle the traffic safety issues and traffic volume associated with same.

NOTE: Patrick Colburn reported to staff, that upon his receipt of CLD's Initial Comments Report, he will provide his own comments on this application.

In addition to the above, although it appears that there are many waivers being requested (8 to be exact) the last 4 are more or less conventional for site plan applications of this nature, i.e.:

- 1) A traffic study is not necessary, taking into consideration that the immediate vicinity road improvements are already in-place, i.e., the Lowell Rd. and Hampshire Dr. signalized intersection and its multi-lane design and queuing capacities. Also, the proposed main driveway entrance is located to the far end of the lot (170 ft. west of said signalized intersection) and the proposed driveway entrance off Lowell Rd. is designed exclusively for southbound Lowell Rd. traffic turning right into the site.
- 2) With the subject locus already commercially developed, noise, fiscal and environmental studies are not necessary to conduct. Also, a CAP Fee is included in this application – total: \$35,685.65 ("C").
- 3) With the above being said, the first five requested waivers will most likely produce deliberations by board members, i.e., after the applicant's engineer presents his position on these waivers. Please note, there is one waiver request form included in attachment "A", and it refers to a letter by the project eng., George Fredette, P.E., dated Sept. 16, 2013. This letter cites the hardship reasons for requesting each of the 8 waivers. Please note further, the first 2 requested waivers - HTC 275-8(22) – 35 ft. Green Area Adjacent to ROW and HTC 275-8(24) – Open Space - involve existing conditions for the existing Advanced Spa and Pool building, located at 199 Lowell Rd.
- 4) For this hearing, this application is ready for acceptance, and a motion to this effect is provided below.
- 5) Please note, the subject development parcel is zoned Business (B), with the proposed retail use being an allowed use requiring Site Plan Review and Approval by the Planning Board. In reviewing/critiquing this project with the development team in preparation for submission, staff would like the board to know the following particular design and use features/aspects concerning said use.
 - a) The proposed retail use, which may ultimately change from Advanced Auto Parts to another retail chain, should be considered on the lower end of the traffic generating scale, i.e., relative to other allowed uses in the B zone (e.g., service station, service station w/ convenience mart & fast-food drive thru restaurant or a singular fast-food restaurant or convenience mart). Also, the proposed use tends to have its highest associated traffic volume after the AM Peak Hours. One can envision, however, peak traffic generation at this site occurring during the PM Peak Hours. However, with the exclusive southbound Lowell Rd. right-turn into the site and the main driveway ingress/egress well off Lowell Rd., on Hampshire Dr., the proposed use should pose little, if any, adverse traffic impact

on the associated roadway network, including the Lowell Rd./Hampshire Dr. signalized intersection.

- b) The attached Easement document describes all of the permanent and temporary access easements included with this development.
- c) The development of the new building will involve Low Impact Development (LID) drainage basins. Please see the plans and example photos of LID basins, which are included in attachment "A".

RECOMMENDATION: For this initial hearing, staff recommends application acceptance and for the board to conduct the hearing. Note: in time for the meeting, CLD's and Patrick Colburn's recommendations should be included as handouts. Taking into consideration this is the initial hearing, and the two aforementioned recommendations will not be received by board members prior to the meeting, approval of this project may not be called for at this initial hearing. If, however, it is, staff has provided below the appropriate motions to grant the requested waivers and to approve this application.

DRAFT MOTIONS:

I move to accept the Site Plan Application for the proposed Retail Center at 201 Lowell - Map 216/Lot 011.

Motion by: _____ Second: _____ Carried/Failed: _____.

REQUESTED WAIVERS:

1. Section 275-8(22) - 35' Wide Green Area Adjacent to ROW

I move to grant the requested waiver - Section 275-8(22) - because this waiver involves an existing encroachment condition, which poses nominal, if any, adverse impact on abutting properties, monetary or otherwise, and as such, the granting of this waiver will not violate the purposes or general standards of this chapter.

Motion by: _____ Second: _____ Carried/Failed: _____

2. Section 275-8(24) - Open Space

I move to grant the requested waiver - Section 275-8(24) - because this waiver involves the open space surrounding the existing building at 199 Lowell Road, and no changes are proposed at this building, as such, the granting of this waiver will not violate the purposes or general standards of said regulation, and because the balance of the site will be constructed in conformance with this regulation.

Motion by: _____ Second: _____ Carried/Failed: _____

3. Section 275-8(25) - Travelway Within Rear Yard Setback

I move to grant the requested waiver - Section 275-8(25) - because the adjacent property is industrially developed, and as such, a significant buffer is unnecessary, thus, the granting of this waiver will not violate the purposes or general standards of this chapter and will result in a general benefit to the Town, because the extra width of driveway within this rear yard will provide safe travel for emergency vehicles and customary vehicular traffic.

Motion by: _____ Second: _____ Carried/Failed: _____

4. Section 275-8(26) - Number of Parking Spaces

I move to grant the requested waiver - Section 275-8(26) - because the applicant has presented evidence and testimony sufficient to warrant the granting of the specified reduced number of parking spaces from the required 34 to 28, and as such, the granting of this waiver will not violate the purposes or general standards of this chapter.

Motion by: _____ Second: _____ Carried/Failed: _____

5. Section 275-8(31) - 10% of Interior Parking Shall be Landscaped

I move to grant the requested waiver - Section 275-8(31) - because landscaping along the perimeter of the site will be more effective to serve purposes of the ordinance enumerated in section 334-2; further within the proposed parking lot, interior landscape islands present a nuisance during winter maintenance, as such, the granting of this waiver will not violate the purposes or general standards of this chapter.

Motion by: _____ Second: _____ Carried/Failed: _____

6. Section 275-9(B) - Traffic Study

I move to grant the requested waiver - Section 275-9(B) -because the site is located adjacent to, and is designed to take advantage of, the existing controlled intersection, i.e.,

(a) the location of the primary driveway for this development was selected and constructed as part of the Hampshire Drive / Lowell Road intersection project. This driveway location can be seen on the existing conditions plan.

(b) Relatively low traffic volumes on Hampshire Road provide a safe route to and from the site.

(c) It is reasonable to assume that the existing traffic signal was designed to accommodate the anticipated traffic from this site.

(d) The proposed right turn ingress serves to relieve some traffic volume from the Hampshire Drive / Lowell Road intersection by allowing southbound patrons of the businesses on this subject lot the option to enter the site without traveling through the controlled intersection;

thus, the granting of this waiver will not violate the purposes or general standards of this chapter.

Motion by: _____ Second: _____ Carried/Failed: _____

7. Section 275-9(C) - Noise Study

I move to grant the requested waiver - Section 275-9(C) - because the site will be occupied by a relatively low intensity retail use, and is located in a highly developed commercial corridor, and as such, the granting of this waiver will not violate the purposes or general standards of this chapter.

Motion by: _____ Second: _____ Carried/Failed: _____

8. Section 275-9(D) - Fiscal and Environmental Impact

I move to grant the requested waiver of - Section 275-9(D) - because the proposed use is a relatively small, low intensity use; and the storm water management report demonstrates no negative environmental impact on surface water nor groundwater resources, and as such, the granting of this waiver will not violate the purposes or general standards of this chapter.

Motion by: _____ Second: _____ Carried/Failed: _____

MOTION TO APPROVE:

I move to approve the "Advanced Auto Parts" 201 Lowell Road, Hudson, NH, prepared by SFC Engineering Partnership, Inc., 66 Gold Ledge Avenue, Auburn, NH 03032, dated: September 16, 2013 (no revision date), consisting of Sheets 1 – 12, Sheets L1 & L2 and Notes 1 – 26, in accordance with the following terms and conditions:

- 1) All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record (hereinafter referred to as the Plan).
- 2) Prior to the Planning Board endorsement of the Plan, the Development Agreement shall be favorably reviewed and recommended on by Town Counsel, together with the associated site development easement documents.
- 3) All improvements shown on the Plan, including Notes 1-26, shall be completed in their entirety and at the expense of the Applicant or his assigns.
- 4) After the issuance of the foundation permit and prior to the issuance of the framing permit, the applicant shall submit to the Hudson Community Development Department a foundation "As-Built" plan on a transparency and to the same scale as the approved site plan. The foundation "As-Built" plan shall include all structural dimensions and lot line setback measurements to the foundation and be stamped by a licensed land surveyor. Any discrepancy between the approved site plan and foundation "As-Built" plans shall be documented by the applicant and be part of the foundation "As-Built" submission.

- 5) Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms with the Planning Board approved Plan.
- 6) Onsite landscaping shall be provided for in accordance with the plant and tree species specified on Sheet L1 of the Plan.
- 7) Construction activities on the site shall be limited to between 7:00 A.M. and 7:00 P.M. Monday through Saturday. No construction activities shall occur on Sunday.
- 8) This approval shall be subject to final engineering review, including approval of the SWPPP.
- 9) Prior to the issuance of a Certificate of Occupancy a CAP Fee in the amount of \$35,685.65 (calculated in accordance with the 2013 CAP Fee Matrix), shall be submitted to the Town.

Motion by: _____ Second: _____ Carried/Failed: _____

Motion by: _____ Second: _____ Carried/Failed: _____

September 19, 2013

John Cashell
Town Planner
12 School Street
Hudson, NH 03051

RE: Advance Auto Parts
Site Development Plan application
Tax Map 216, Lots 11

SFC project #586104

"A"
1/8/16

Mr. Cashell,

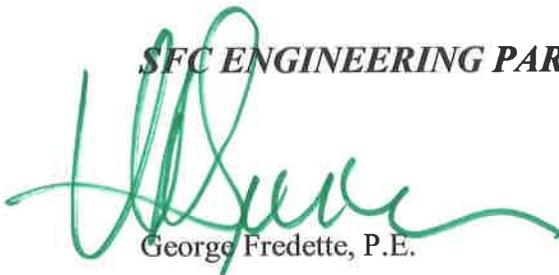
On behalf Danato Realty Trust, we submit this application for site development on lot 11 on tax map 216. This application includes the following material:

- the original and one copy of the completed and signed SITE PLAN APPLICATION FOR PLAN REVIEW
- one copy of the completed REQUEST FOR ZONING DETERMINATION (the original was delivered to Hudson Planning on September 16)
- one list of abutters and three sets of mailing labels for abutter notification.
- check payable to the Town of Hudson, NH for the application fee The fee is \$3238.16.
- two copies of existing sanitary sewer easement (bk. 2860 pg. 0659)
- two copies of Declaration of Easements (bk. 8601 pg.2337)
- two copies of photographs of exemplary bio-retention areas
- two copies of site photographs
- two copies of the storm water management report

- nine copies of the plan set which includes a lighting plan and architectural plans (22" x 34", folded).
- nine copies of the project narrative (one attached to each plan set)
- nine copies of waiver request letter (one attached to each plan set)

Seventeen copies of the plan set (11" x 17", folded), shall be delivered at later date. A copy of each of this application package is also submitted in .pdf format.

SFC ENGINEERING PARTNERSHIP INC.


George Fredette, P.E.

"A" September 16, 2013



Advance Auto Parts PROJECT NARRATIVE

Tax Map 216, Lots 11

2 of 16

Danato Realty Trust proposes to construct a new 10,465 sf single story commercial building on lot 11 on tax map 216. The primary occupant will be Advance Auto Parts.

EXISTING CONDITIONS

The subject parcel contains 2.02 acres. The current lot configuration is result of a lot line relocation plan approved by the Hudson Planning Board on July 10, 2013.

The lot is occupied by two buildings. One building is an existing commercial retail building on the northerly portion of the lot. This building is currently occupied by Advanced Pool and Spa with an address of 199 Lowell Road. The building has a 6620 sf foot print, and contains a total of 7568 sf, gfa. The building is served by 34 parking spaces. This building is accessed through a temporary access easement on lot 213 (Prime Subaru). The subject site is also beneficiary of a vehicular turning access easement on lot 213.

The second building is a vacant single family three bedroom dwelling at 201 Lowell Road. The total footprint of the building is 1500 sf. Ancillary features include a driveway, walkways and an exterior deck.

The total lot coverage by impervious surface is 31%, leaving 69% open space.

PROPOSED DEVELOPMENT (PURPOSE AND LOCATION)

Danato Realty proposes to develop this property by razing the vacant single family dwelling and constructing a 10465 sf single story commercial building. The primary occupant will be Advance Auto Parts.

The result of this development will be two buildings on this lot, sharing the common use of commercial retail.

The total developed lot will include 84 parking spaces. Access to the site will be by an enter only drive serving southbound travel on Lowell Road, and by a full driveway

3816

September 16, 2013

along Hampshire Drive, located 170 feet from the Hampshire Drive / Lowell Road intersection.

When the new access drives are constructed, the temporary access easement through lot 213 will be extinguished.

The total lot coverage by impervious surface will be 74%, leaving 26% open space.

The development is planned to maintain an existing sanitary sewer easement that traverses the subject property and extends from Lowell Road to HPM 216-10, located west of the subject lot.

LONG RANGE PLANS

In addition to being the home of Advance Auto Parts, the proposed facility features an additional 3700 sf for another tenant, yet to be identified.

IMPACTS ON TRAFFIC

Any traffic impact on this site is mitigated by design to accommodate vehicular storage and movement.

An access drive on Lowell Road limits vehicle access to southbound traffic entering the site. Northbound traffic along Lowell Road will enter the site through Hampshire Drive.

All exiting traffic will exit the site through Hampshire Road and enter Lowell Road through the existing signalized intersection.

IMPACTS ON SCHOOLS

There will be no negative impacts on schools.

IMPACTS ON UTILITIES

Little impact is expected on water and sewer demand.

According to Table 1008-1, *Unit Design Flows*, found in chapter Env-Wq 1000 of NHDES regulations, a three bedroom single family dwelling generates 450 gpd sewage flow volume. That same source forecasts that flows from a 6800 sf dry goods store is 340 gpd (.5GPD/100 sf). Please note that this does not consider the impact of the other smaller tenant.

The municipal stormwater system will realize no detrimental impacts. Stormwater calculations demonstrate that the stormwater rate, and the stormwater volume will decrease. And measures have been implemented to address stormwater quality through filtration facilities.

4 of 16 A "cont."

PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: September 17, 2013 Tax Map # 216 Lot # 11

Name of Project: Danato Development

Zoning District: Business General SP# 06-13
(For Town Use) (For Town Use)

ZBA Action: none



PROPERTY OWNER:
Name: Danato Realty
Address: P.O. Box 4470
Address: Windham NH 03087
Telephone # (603) 365-1591
Fax # _____
Email: danielenxing@verizon.net

DEVELOPER:
Name: same
Address: _____
Address: _____
Telephone # _____
Fax # _____
Email: _____

PROJECT ENGINEER
Name: SFC Engineering Partnership
Address: 66 Gold Ledge Avenue
Address: Auburn, NH 03032
Telephone # (603) 647-8700
Fax # (603) 647-8711
Email: gfredette@sfceng.com

SURVEYOR
Name: Promised Land Survey, LLC
Address: 230 Rockingham Road
Address: Derry NH 03038
Telephone # (603) 432-2112
Fax # (603) 432-8800
Email: tap@PromisedLandSurvey.com

PURPOSE OF PLAN:

site development for 10,465 sf commercial / retail building

For Town Use

Plan Routing Date: 9-24-13 Sub/Site Date: 10-8-13 @ 10:00 AM

I have no comments I have comments (attach to form)

(Initials) Title: _____ Date: _____

DEPT:
 Zoning Engineering Assessor Police Fire Planning
 Consultant Highway Department

Fees Paid: _____

5 of 16

SITE DATA SHEET

PLAN NAME: Advanced Auto Parts

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 216 LOT 11

DATE: September 16, 2013

Location by Street	<u>201 Lowell Road</u>	
Zoning:	<u>Business</u>	
Proposed Land Use:	<u>retail</u>	
Existing Use:	<u>residential & retail uses</u>	
Surrounding Land Use(s):	<u>retail / nursing home/ industrial</u>	
Number of Lots Occupied:	<u>one</u>	
Existing Area Covered by Building:	<u>1500 sf residential & 6620 sf retail</u>	
Existing Buildings to be removed:	<u>1500 sf residential</u>	
Proposed Area Covered by Building:	<u>10465 sf proposed & 6620 sf exist.</u>	
Open Space Proposed:	<u></u>	
Open Space Required:	<u></u>	
Total Area:	S.F.: <u>88,043</u>	Acres: <u>2.02 Ac.</u>
Area in Wetland:	<u>0</u>	Area Steep Slopes: <u>0</u>
Required Lot Size:	<u>30,000 sf</u>	
Existing Frontage:	<u>488.36</u>	
Required Frontage:	<u>150 feet</u>	
Building Setbacks:	<u>Required*</u>	<u>Proposed</u>
Front:	<u>50</u>	<u>90.1; 105.5</u>
Side:	<u>15</u>	<u>79.1</u>
Rear:	<u>15</u>	<u>32</u>

6 of 16

**SITE PLAN DATA SHEET
(Continued)**

Flood Zone Reference: FIRM map33011C0656D, effective date 9/25/2009

Width of Driveways: 15 feet along Lowell Road; 30 feet along Hampshire Drive

Number of Curb Cuts: 2

Proposed Parking Spaces: 84

Required Parking Spaces: 84

Basis of Required Parking (Use): HSPR section 275-8 (26)

Dates/Case #/Description/Stipulations
of ZBA, Conservation Commission,
NH Wetlands Board Actions: n/a
(Attach stipulations on separate sheet)

Hudson Town Code

<u>Waivers Requested:</u>	<u>Reference</u>	<u>Regulation Description</u>
	1. <u>275-8(22)</u>	<u>35' wide green area adjacent to ROW</u>
	2. <u>275-8(24)</u>	<u>open space</u>
	3. <u>275-8(25)</u>	<u>travel way within rear yard</u>
	4. <u>275-8 (26)</u>	<u>number of parking spaces</u>
	5. <u>275-8(31)</u>	<u>10% of interior parking lot to be landscaped</u>
	6. <u>275-9(B,C,and D)</u>	<u>traffic, noise, fiscal and environmental impact studies</u>
	7. _____	_____
	8. _____	_____

(Left column for Town Use)

Impact Fees:
C.A.P Fee: _____

Development Agreement
Proposed: _____

<i>For Town Use</i>	
Data Sheet Checked By: _____	Date: _____

7 of 16

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Thirty (30) days prior to Planning Board Meeting, a complete site plan to include all supporting materials/documents must be submitted in final form. The site plan shall comply with the following specifications/requirements:

Applicant
Initials

Staff
Initials

- GRF a) Submission of nine (9) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M., Tuesday the week prior to the scheduled public hearing/conceptual review date.
- GRF b) A Site Plan narrative, describing the purpose, locations, long-range plans, impacts on traffic, schools, and utilities
- GRF c) Plan scale at not less the one inch equals fifty feet (1" = 50')
- GRF d) Locus plan with 1,000' minimum radius of site to surrounding area
- GRF e) Plan date by day/month/year
- GRF f) Revision block inscribed on the plan
- GRF g) Planning Board approval block inscribed on the plan
- GRF h) Title of project inscribed on the plan
- GRF i) Names and addresses of property owners and their signatures inscribed on the plan
- GRF j) North point inscribed on the plan
- GRF k) Property lines: exact locations and dimensions
- GRF l) Square feet and acreage of site
- GRF m) Square feet of each building (existing and proposed)
- GRF n) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan.

[Handwritten initials for item a]

[Handwritten initials for item b]

[Handwritten initials for item c]

[Handwritten initials for item d]

[Handwritten initials for item e]

[Handwritten initials for item f]

[Handwritten initials for item g]

[Handwritten initials for item h]

[Handwritten initials for item i]

[Handwritten initials for item j]

[Handwritten initials for item k]

[Handwritten initials for item l]

[Handwritten initials for item m]

[Handwritten initials for item n]

Applicant
Initials

Staff
Initials

- GRF o) Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve areas, floodways/floodplains, driveways, travel areas, parking areas and natural features within 200 feet of the tract
- GRF p) Locations of existing and proposed permanent monuments and bench marks within 200 feet of the development tract
- n/a q) Pertinent highway projects
- GRF r) Assessor's Map and Lot number(s)
- GRF s) Waiver application form shall be submitted with the site plan application, note on plan listing waivers requested/granted; and all waivers granted to the site plan regulations shall be listed on the final plan; waivers to checklist shall be reduced to writing and be signed by the Planning Board Chairman and Planning Board Secretary and recorded with the plan
- GRF t) Delineate zoning district on the plan
- GRF u) Storm water drainage plan
- GRF v) Topographical elevations at 2-foot intervals contours: existing and proposed
- GRF w) Utilities: existing and proposed
- GRF x) Parking: existing and proposed
- GRF y) Parking space: length and width
- GRF z) Aisle width/maneuvering space
- GRF aa) Landscaping: existing and proposed
- GRF ab) Building and wetland setback lines
- GRF ac) Curb cuts
- GRF ad) Rights of way: existing and proposed
- GRF ae) Sidewalks: existing and proposed
- GRF af) Exterior lighting plan
- GRF ag) Sign locations: size and design
- GRF ah) Water mains and sewerage lines
- GRF ai) Location of dumpsters on concrete pads
- GRF aj) All notes from plats



 A vertical column of handwritten initials, likely 'JC', corresponding to each item in the list. Some items have multiple initials or additional markings, such as 'NJA' for item q).

9416

Applicant
Initials

Staff
Initials

- GRF ak) Buffer as required by site plan regulations
- GRF al) Green and open space requirements met with both types of spaces inscribed on the plan
- GRF am) Soil types and boundaries, Note: If site contains marginal or questionable soils, a High Intensity Soil, Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire Certified Soil Scientist, who shall affix his/her stamp and signature shall be inscribed on the plan.
- GRF an) Wetlands (and poorly-drained and very poorly-drained soils, also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire certified wetland or soil scientist, who shall affix his/her stamp and signature to the respective plan.
- GRF ao) "Valid for one year after approval" statement inscribed on the plan.
- GRF ap) Loading bays/docks
- GRF aq) State of New Hampshire engineer's stamp, signature, surveyor's stamp, and signature
- n/a ar) Error of closure (1 in 10,000 or better)
- n/a as) Drafting errors/omissions
- GRF at) Developer names, addresses, telephone numbers and signatures
- GRF au) Photographs, electronic/digital display or video of site and area
- GRF av) Attach one (1) copy of the building elevations
- waiver aw) Fiscal impact study
- waiver ax) Traffic study
- waiver ay) Noise study

JC
JC

JC

JC

JC
JC

JC
NOT A SURVEY PLAN
NOT A SURVEY PLAN

JC

JC

W
W
W

10/4/16

Applicant
Initials

Staff
Initials

GRF az)

Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents

JK

n/a ba)

Copy of applicable Town, State, Federal approval/permits to include but not limited to the following:

- industrial discharge application
- sewer application
- flood plain permit
- wetlands special exception
- variance
- erosion control permit (149:8a)
- septic construction approval
- dredge and fill permit
- curb cut permit
- shore-land protection certification in accordance with RSA483-B
- if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.

APPLICABLE PERMITS WILL HAVE TO BE APPLIED FOR AND APPROVED BY THE RESPECTIVE AGENCY.

bb)

Presentation plan (colored, with color-coded bar chart)

bc)

Fees paid to clerk

WILL BE PROVIDED AT MEETING
JK

GRF bd)

Five (5) 22" x 34" copies of the plan shall be brought to the Planning Board meeting and distributed to the Planning Board members at the meeting. Note: for all subsequent meetings involving revised plans, five 22" x 34" copies of said plan shall be brought to the meeting for distribution to the board members.

JK

*Under the purview of the Planning Board, any and all items may be waived.

11 of 16

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Site Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Site Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner:  _____

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer:  _____

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

APPLICATION IS DUE AT NOON 21 days prior to the Planning Board Meeting. (The date the Agenda is CLOSED.) Any applications received after that time will be deferred until the next available meeting.

12 of 12

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: Advanced Auto Parts

Street Address: 199 - 201 Lowell Road

I George Fredette, PE hereby request that the Planning Board waive the requirements of item (see attached waiver requests) of the Subdivision/Site Plan Checklist in reference to a plan presented by SFC Engineering Partnership, Inc.

(name of surveyor and engineer) dated September 16, 2013 for property tax map(s) 216 and lot(s) 11 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

PLEASE REFERENCE ATTACHED LETTER REGARDING WAIVER REQUESTS

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

Signed: 

Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____

13416

"A" cont.



WAIVER REQUESTS

September 16, 2013

John Cashell
Town Planner
12 School Street
Hudson, NH 03051

RE: eight waiver requests
Tax Map 216, Lot 11

SFC project #586101

Mr. Cashell,

In accordance with the provision of Article IV, section 275-15, and on behalf Danato Realty Trust, SFC Engineering Partnership requests eight waivers from the requirements of chapter 275, Site Plan Review, as follows:

Section 275-8(22) 35' wide green area adjacent to ROW

A waiver is requested to the terms of Section 275-8(22), to allow pavement w the 35' wide green area where this is not allowed.

In support of this waiver request, we offer the following:

- (1) The requirement is unnecessary for this application because the waiver is requested for an existing condition. This proposed development proposes no new pavement within this green area.
- (2) Granting the waiver will not violate the purposes or general standards of this chapter because it is a pre-existing situation, and because the balance of the site with be constructed in conformance with this regulation.
- (3) Granting the waiver will result in a general benefit to the Town, because it will allow an existing facility to remain as it does currently, without interruption or cessation of the tenant, a long-time local business.

Section 275-8(24) open space

A waiver is requested to the terms of Section 275-8(24), to allow open space equal to 26%, where not less than 35% open space is required.

In support of this waiver request, we offer the following:

- (1) The requirement is unnecessary for this application because the reason for this request is an existing condition around a building at 199 Lowell Road. No changes are proposed at this building.
- (2) Granting the waiver will not violate the purposes or general standards of this it is a pre-existing situation, and because the balance of the site with be constructed in conformance with this regulation.

14 of 16

- (3) Granting the waiver will result in a general benefit to the Town, because it will allow an existing facility to remain as it does currently, without interruption or cessation of the tenant, a long-time local business.

Section 275-8(25) travelway within rear yard

A waiver is requested to the terms of Section 275-8(25), to allow a travelway between the rear lot line and the corresponding setback line, where this is not allowed.

In support of this waiver request, we offer the following:

- (1) The requirement is unnecessary for this application because the adjacent property is industrial use and a significant buffer is unnecessary.
- (2) Granting the waiver will not violate the purposes or general standards of this chapter because an existing situation on this lot encroaches into the rear yard and has done so for many years without creating a problem.
- (3) Granting the waiver will result in a general benefit to the Town, because the extra width of driveway within this rear yard will provide safe travel for emergency vehicles and customary vehicular traffic.

Section 275-8(26) number of parking spaces

A waiver is requested to the terms of Section 275-8(26)(p), to allow less than 1 space/ 200 sf,gfa. This request is presented as provided for in section 275-8(26), where the applicant can demonstrate that fewer spaces than required are consistent with the proposed use.

Advance Auto Parts is an automotive replacement parts and accessories retail firm. Founded in 1932, Advance Auto Parts currently operates over 4000 stores in 40 states. Advance Auto Parts has a substantial understanding of their consumer needs. In their contractual documents, Advance Auto Parts specifies the need for 28 parking spaces, for the proposed space containing 6831 sf. The Site Plan Review ordinance requires 34 for this same area. This request is to allow the site construction with 28 spaces dedicated for Advance Auto Parts, 6 fewer than required by local regulation.

Section 275-8(31) 10% of interior parking shall be landscaped

A waiver is requested to the terms of Section 275-8(31), to allow no landscaping within the interior of the parking area.

In support of this waiver request, we offer the following:

- (1) The requirement is unnecessary for this application because landscaping along the perimeter of the site will be more effective to serve purposes of the ordinance enumerated in section 334-2.
Also, within this small parking lot, interior landscape islands present a nuisance during winter maintenance.
- (2) Granting the waiver will not violate the purposes or general standards of this chapter because perimeter landscaping will be effective on this small parking lot.

15 of 16

- (3) Granting the waiver will result in a general benefit to the Town, because the use of perimeter landscaping will be an effective screen to view of the parking lot.

Section 275-9(B) traffic study

A waiver is requested to the terms of Section 275-9(B), that the Planning Board may deem that a traffic study is unnecessary to consider final site plan application.

In support of this waiver request, we offer the following:

- (1) The requirement is unnecessary for this application because the site is located adjacent to, and is designed to take advantage of, the existing controlled intersection. Note the following:
 - (a) the location of the primary driveway for this development was selected and constructed as part of the Hampshire Drive / Lowell Road intersection project. This driveway location can be seen on the existing conditions plan.
 - (b) Relatively low traffic volumes on Hampshire Road provide a safe route to and from the site
 - (c) It is reasonable to assume that the existing traffic signal was designed to accommodate the anticipated traffic from this site.
 - (d) The proposed right turn ingress serves to relieve some traffic volume from the Hampshire Drive / Lowell Road intersection by allowing southbound patrons of the businesses on this subject lot the option to enter the site without traveling through the controlled intersection.
- (2) Granting the waiver will not violate the purposes or general standards of this chapter because design features incorporate adequate parking, and safe and effective access and egress so as not to congest the streets and to facilitate adequate provision of transportation.
- (3) Granting the waiver will result in a general benefit to the Town because there will be no exiting traffic directly from the site onto Lowell Road. The majority of the traffic generated by this site will exit and enter safely through a Hampshire Street driveway, and will be controlled by an existing traffic light at the adjacent intersection. This traffic flow pattern was anticipated when Hampshire Road extension was constructed.

Section 275-9(C) noise study

A waiver is requested to the terms of Section 275-9 (C), that the Planning Board may deem that a noise study is unnecessary to consider final site plan application.

In support of this waiver request, we offer the following:

- (1) The requirement is unnecessary for this application because the site will be occupied by a relatively low intensity retail operation.
- (2) Granting the waiver will not violate the purposes or general standards of this chapter because the site is located within a business district, and because the prospective tenant is a recognized national franchise with a clean, well kept appearance.

16 of 16
Plus ATTACHED
Photos.

- (3) Granting the waiver will result in a general benefit to the Town, because it will allow for a new corporate citizen, providing a necessary service to the community.

Section 275-9(D) fiscal and environmental impact

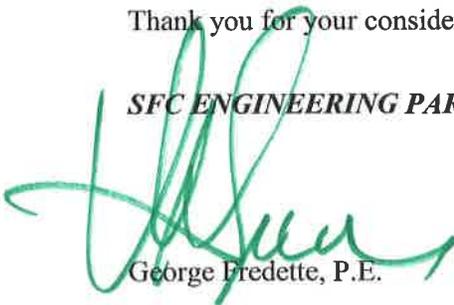
A waiver is requested to the terms of Section 275-9(D), that the Planning Board may deem that a fiscal and environmental impact analysis are unnecessary to consider final site plan application.

In support of this waiver request, we offer the following:

- (1) The requirement is unnecessary for this application because the proposed use is a relatively small, low intensity use; and the storm water management report demonstrates no negative environmental impact on surface water nor groundwater resources.
- (2) Granting the waiver will not violate the purposes or general standards of this chapter because the proposed plan is a well thought out plan to prevent the negative impacts.
- (3) Granting the waiver will result in a general benefit to the Town, because this project will be home to a reputable corporate citizen, and this project will increase taxes paid in the Town of Hudson.

Thank you for your consideration.

SFC ENGINEERING PARTNERSHIP INC.



George Fredette, P.E.

201 Lowell RD

EXISTING CONDITIONS
PHOTOS

← EXISTING DWELLINGS AT
201 Lowell RD

← HAMPSHIRE DR.

EXISTING DRIVEWAY
DRAINING ON HAMPSHIRE
DR.



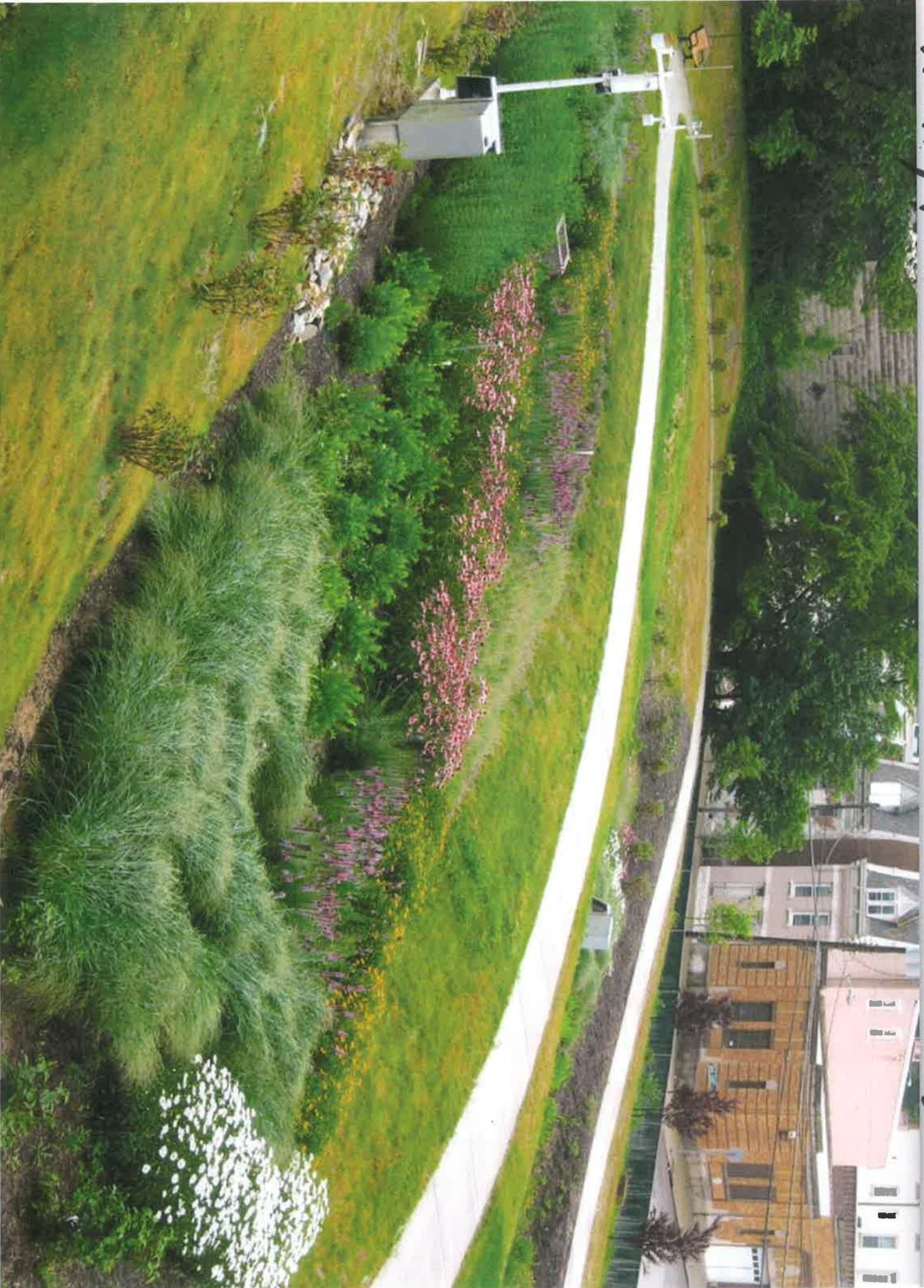
201 Lowell Rd Existing Conditions Photo.



201 & 199 Lowell RD EXISTING FRONTAGE PHOTOS



E.G., PROPOSED LOW IMPACT DEVELOPMENT (LID) DRAIN BASIN



E.G. LID DRAIN BASIN PROPOSED FOR
201 LOWELLYS



"B"

PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: September 17, 2013 Tax Map # 216 Lot # 11

Name of Project: Danato Development (Advance Auto Parts)

Zoning District: Business General SP# 06-13
(For Town Use) (For Town Use)

ZBA Action: none



PROPERTY OWNER:
Name: Danato Realty
Address: P.O. Box 4470
Address: Windham NH 03087
Telephone # (603) 365-1591
Fax # _____
Email: danielenxing@verizon.net

DEVELOPER:
Name: same
Address: _____
Address: _____
Telephone # _____
Fax # _____
Email: _____

PROJECT ENGINEER
Name: SFC Engineering Partnership
Address: 66 Gold Ledge Avenue
Address: Auburn, NH 03032
Telephone # (603) 647-8700
Fax # (603) 647-8711
Email: gfredette@sfceng.com

SURVEYOR
Name: Promised Land Survey, LLC
Address: 230 Rockingham Road
Address: Derry NH 03038
Telephone # (603) 432-2112
Fax # (603) 432-8800
Email: tap@PromisedLandSurvey.com

PURPOSE OF PLAN:

site development for 10,465 sf commercial / retail building

For Town Use

Plan Routing Date: 9-24-13 Sub/Site Date: 10-8-13 @ 10:00 AM

I have no comments I have comments (attach to form)

(Initials) MSO Title: Zoning Admin Date: _____

DEPT:
 Zoning Engineering Assessor Police Fire Planning
 Consultant Highway Department

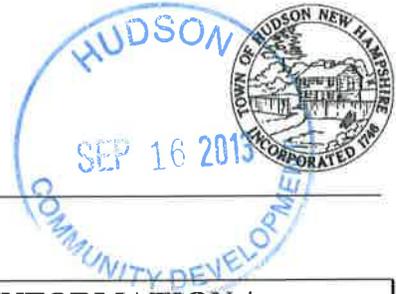
Fees Paid: _____

17-35



COMMUNITY DEVELOPMENT DEPARTMENT

12 School Street
Hudson, NH 03051
(603)886-6005
www.hudsonnh.gov



Town of Hudson

REQUEST FOR ZONING and/or PLANNING INFORMATION / DETERMINATION

Date of request 09/16/2013

Property Location 201 Lowell Road
Map 216 Lot 11

Zoning District if known Business District

Type of Request

Zoning District Determination Use Determination Set-Back Requirements
 Process for Subdivision/ Site Plan if required
 Other

Description of request / determination: (Please attach all relevant documentation)

This request is for a proposed commercial retail development on lot 11 on tax map 216.
The proposal is a new 10,465 sf single story commercial building on lot 11 on tax map 216. The primary occupant will be Advanced Auto Parts.
The site will have restricted access from Lowell Road, and full access from Hampshire Drive. Adequate parking will serve the facility. Site is served by municipal water and sewer.

Applicant Contact Information:

Name: Danato Realty Trust
Address: P.O. Box 4470 Windham NH 03087
Phone Number: (603) 365-1591

**GEORGE FREDRINE
for DANATO REALTY TRUST**

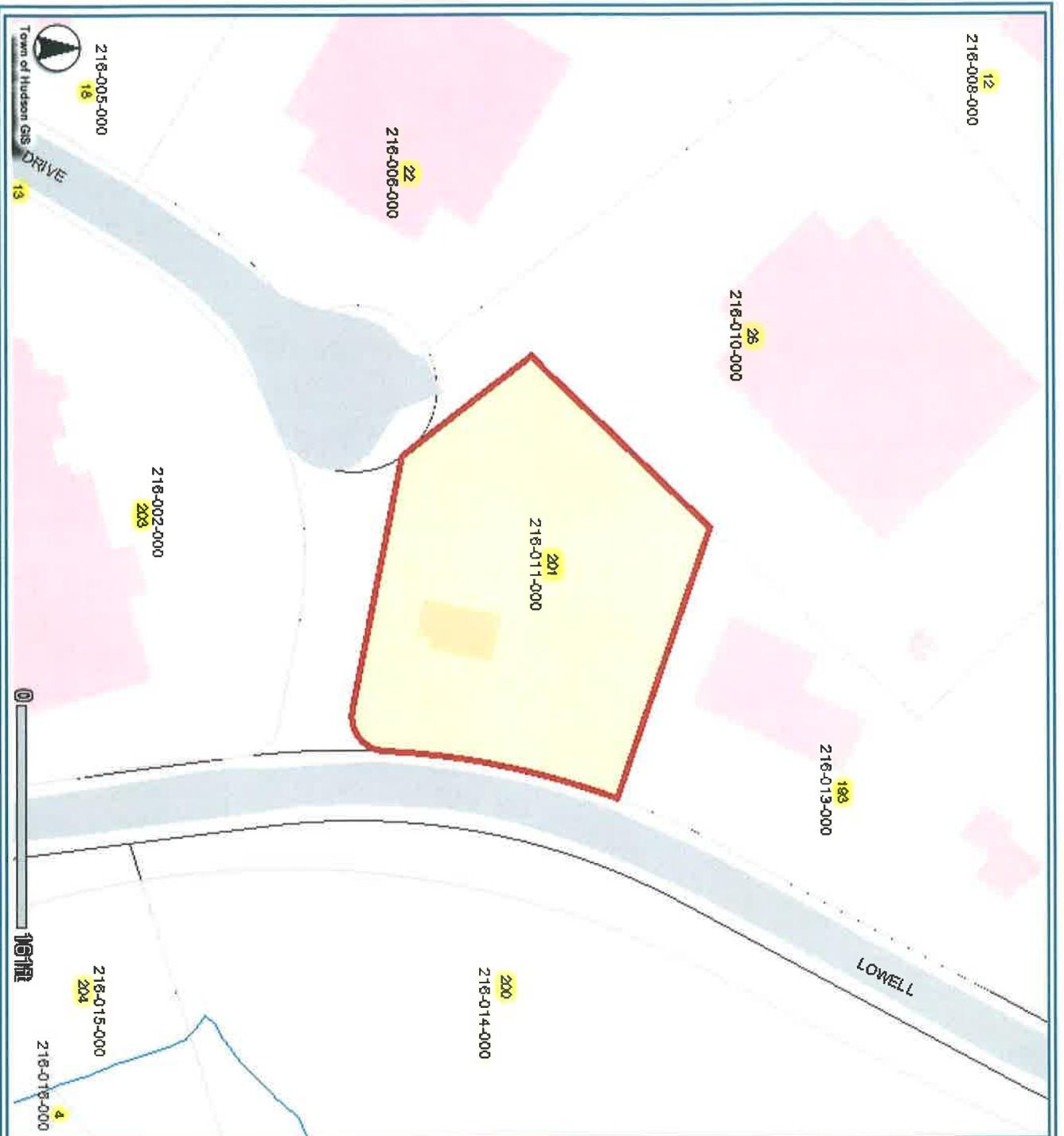
9/16/13

For Office use

ATTACHMENTS: TAX CARD GIS

NOTES: _____

ZONING DETERMINATION LETTER SENT DATE: _____



Town of Hudson
New Hampshire
 Geographic Information System

GIS Map Print
 My Map

Subject Property Data

Parcel ID	218-01-000
Owner	ENKING, DANIEL J., TR.
Location	201 LOWELL RD
AccountNumber	1138
Co-Owner	DANKATO REALTY TRUST
Owner Addr	193 LOWELL RD.
Owner CSZ	HUDSON, NH 03051
Land Value	528700
Yard Value	0
Building Value	13500
Total Value	542200
Acreage	1.2389
zone1	BD
Use Code	390
Year Built	1954
Building Style	RANCH
Bedrooms	3
Fuel Type	OIL
Sale Date	11/15/2011
Sale Price	700000
Book/Page	8389-0688

Disclaimer

The Town of Hudson makes no warranty or representation as to the accuracy, timeliness or completeness of any of the data. The Town of Hudson shall have no liability for the data or lack thereof, or any decision made or action taken or not taken in reliance upon any of the data.

"B" cont.

PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: September 17, 2013 Tax Map # 216 Lot # 11

Name of Project: Danato Development (Advance Auto Parts)

Zoning District: Business General SP# 06-13
(For Town Use) (For Town Use)

ZBA Action: none



PROPERTY OWNER:
Name: Danato Realty
Address: P.O. Box 4470
Address: Windham NH 03087
Telephone # (603) 365-1591
Fax # _____
Email: danielenxing@verizon.net

DEVELOPER:
Name: same
Address: _____
Address: _____
Telephone # _____
Fax # _____
Email: _____

PROJECT ENGINEER
Name: SFC Engineering Partnership
Address: 66 Gold Ledge Avenue
Address: Auburn, NH 03032
Telephone # (603) 647-8700
Fax # (603) 647-8711
Email: gfredette@sfceng.com

SURVEYOR
Name: Promised Land Survey, LLC
Address: 230 Rockingham Road
Address: Derry NH 03038
Telephone # (603) 432-2112
Fax # (603) 432-8800
Email: tap@PromisedLandSurvey.com

PURPOSE OF PLAN:

site development for 10,465 sf commercial / retail building

For Town Use

Plan Routing Date: 9-24-13 Sub/Site Date: 10-8-13 @ 10:00 AM

I have no comments I have comments (attach to form)

KB Title: ROAD ACCT Date: 9/30/13
(Initials)

DEPT:

Zoning Engineering Assessor Police Fire Planning
 Consultant Highway Department

Fees Paid: 22 Highway Dept

"B" cont.

PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: September 17, 2013 Tax Map # 216 Lot # 11
Name of Project: Danato Development (Advance Auto Parts)
Zoning District: Business General SP# 06-13
(For Town Use) (For Town Use)
ZBA Action: none



PROPERTY OWNER:
Name: Danato Realty
Address: P.O. Box 4470
Windham NH 03087
Telephone # (603) 365-1591
Fax # _____
Email: danielenxing@verizon.net

DEVELOPER:
Name: same
Address: _____
Address: _____
Telephone # _____
Fax # _____
Email: _____

PROJECT ENGINEER
Name: SFC Engineering Partnership
Address: 66 Gold Ledge Avenue
Auburn, NH 03032
Telephone # (603) 647-8700
Fax # (603) 647-8711
Email: gfredette@sfceng.com

SURVEYOR
Name: Promised Land Survey, LLC
Address: 230 Rockingham Road
Derry NH 03038
Telephone # (603) 432-2112
Fax # (603) 432-8800
Email: tap@PromisedLandSurvey.com

PURPOSE OF PLAN:

site development for 10,465 sf commercial / retail building

For Town Use

Plan Routing Date: 9-24-13 Sub/Site Date: 10-8-13 @ 10:00 AM

I have no comments I have comments (attach to form)

Job Title: Deputy Fire Chief Date: 9/27/2013
(Initials)

DEPT:
 Zoning Engineering Assessor Police Fire Planning
 Consultant Highway Department

Fees Paid: _____



BY:

"B" cont.

PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: September 17, 2013 Tax Map # 216 Lot # 11
Name of Project: Danato Development (Advance Auto Parts)
Zoning District: Business General SP# 06-13
(For Town Use) (For Town Use)
ZBA Action: none



PROPERTY OWNER:
Name: Danato Realty
Address: P.O. Box 4470
Address: Windham NH 03087
Telephone # (603) 365-1591
Fax # _____
Email: danielenxing@verizon.net

DEVELOPER:
Name: same
Address: _____
Address: _____
Telephone # _____
Fax # _____
Email: _____

PROJECT ENGINEER
Name: SFC Engineering Partnership
Address: 66 Gold Ledge Avenue
Address: Auburn, NH 03032
Telephone # (603) 647-8700
Fax # (603) 647-8711
Email: gfredette@sfceng.com

SURVEYOR
Name: Promised Land Survey, LLC
Address: 230 Rockingham Road
Address: Derry NH 03038
Telephone # (603) 432-2112
Fax # (603) 432-8800
Email: tap@PromisedLandSurvey.com

PURPOSE OF PLAN:

site development for 10,465 sf commercial / retail building

For Town Use

Plan Routing Date: 9-24-13 Sub/Site Date: 10-8-13 @ 10:00 AM

I have no comments I have comments (attach to form)

(Initials) [Signature] Title: Asst. Assessor Date: 9-24-13

DEPT:
 Zoning Engineering Assessor Police Fire Planning
 Consultant Highway Department

Fees Paid: _____

"B" cont.

PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: September 17, 2013 Tax Map # 216 Lot # 11
Name of Project: Danato Development (Advance Auto Parts)
Zoning District: Business General SP# 06-13
(For Town Use) (For Town Use)
ZBA Action: none



PROPERTY OWNER:
Name: Danato Realty
Address: P.O. Box 4470
Windham NH 03087
Telephone # (603) 365-1591
Fax # _____
Email: danielenxing@verizon.net

DEVELOPER:
Name: same
Address: _____
Address: _____
Telephone # _____
Fax # _____
Email: _____

PROJECT ENGINEER
Name: SFC Engineering Partnership
Address: 66 Gold Ledge Avenue
Auburn, NH 03032
Telephone # (603) 647-8700
Fax # (603) 647-8711
Email: gfredette@sfceng.com

SURVEYOR
Name: Promised Land Survey, LLC
Address: 230 Rockingham Road
Derry NH 03038
Telephone # (603) 432-2112
Fax # (603) 432-8800
Email: tap@PromisedLandSurvey.com

PURPOSE OF PLAN:

site development for 10,465 sf commercial / retail building

For Town Use

Plan Routing Date: 9-24-13 Sub/Site Date: 10-8-13 @ 10:00 AM

I have no comments I have comments (attach to form)

____ Title: _____ Date: _____
(Initials)

DEPT:
 Zoning Engineering Assessor Police Fire Planning
 Consultant Highway Department

Fees Paid: _____

“C”

CAP Fee Worksheet

Retail Center Site Plan - 201 Lowell Road

Date: 10/23/13 **Sector #:** 7 **Map/Lot:** 198/020

Project Name: Retail Center Site Plan - 201 Lowell Road

Proposed ITE Use #1: Shopping Center

Proposed Building Area (square footage): 10,465 **S.F.**

CAP FEES: (THREE CHECKS NEEDED)

1. (Bank 08)

(2070-090)	Route 3A:	\$ 17,162.60
(2070-091)	Route 102:	\$6,592.95
(2070-086)	Route 111:	\$ 11,930.10
Total CAP Fee:		\$ 35,685.65

Carmela O Coughlin

"D"

1 of 5

PLEASE RETURN TO:
JO-ANN ALLAN
FIRST AMERICAN TITLE INS. CO.
101 HUNTINGTON AVE., 13TH FL.
BOSTON, MA 02199

DECLARATION OF EASEMENTS

This Declaration of Easements ("Agreement") dated as of September ^{5th}, 2013 by and between Daniel J. Enxing, Trustee of the Danato Realty Trust, a New Hampshire realty trust having an address of 193 Lowell Road, Hudson, New Hampshire ("Trust") and AMR Real Estate Holdings – Hudson, LLC, a New Hampshire limited liability company having an address c/o Prime Motor Group, 425 Providence Highway, Westwood, MA 02090, Attn: Matthew McGovern ("AMR").

Preliminary Statement

A. The Trust owns the property located at 201 Lowell Road, Hudson, New Hampshire ("Trust Property") by virtue of deed recorded with the Hillsborough County Registry of Deeds in Book 6520, Page 2918 and shown as Tax Map 216 Lot 11 on the plan entitled "Lot Line Relocation Plat" prepared by Promised Land Survey, LLC dated June 11, 2013, last revised August 13, 2013 and recorded with said Deeds as Plan Number 37798 filed in Drawer Number 176 ("Plan").

B. AMR owns the property located at 193 Lowell Road, Hudson, New Hampshire ("AMR Property") by virtue of the deed recorded herewith and shown as Map 216 Lot 13 on the Plan.

C. The parties wish to establish certain easements needed as a result of the lot line relocation all as more particularly set forth herein.

NOW, THEREFORE, in consideration of the promises contained herein and for other good and valuable consideration paid, the receipt and sufficiency of which are hereby acknowledged, the parties hereto hereby establish the following rights, easements and agreements affecting the AMR Property and the Trust Property and any future lots or parcels which may be created by the subdivision or conveyance of all or any portion of such property, as follows:

1. Temporary Access Easement. AMR hereby grants to the Trust with warranty covenants against any acts of AMR, as appurtenant to the Trust Property, the temporary, non-exclusive right and easement in common with the AMR Property to pass and repass over and across that portion of the existing driveway located on the AMR Property in the location shown on the Plan as "New Access Easement" on foot and by vehicle for access to and from the Trust Property and Lowell Road ("Temporary Access Easement").

The Temporary Access Easement shall automatically terminate when the Trust constructs a curb cut on the Trust Property directly onto Lowell Road but in no event later than August 31, 2015. After such time, upon the request of either party, the parties shall sign and record a notice of the termination of the Temporary Access Easement with the Hillsborough County Registry of Deeds to confirm the termination but the failure to record such a notice of termination shall not affect the automatic termination of such temporary easement.

2 of 5

AMR may relocate the Temporary Access Easement on the AMR Property provided that the Trust is provided continuous access to and from Lowell Road without cost to the Trust.

2. Vehicular Turning Easement. AMR hereby grants to the Trust with warranty covenants against any acts of AMR, as appurtenant to the Trust Parcel, the perpetual right and non-exclusive easement in common with the AMR Property to use that portion of the existing driving lane located on the AMR Property in the location shown on the Plan as "Vehicular Turning Easement" for backing up and turning vehicles from the parking spaces located on the Trust's Property.

3. Sewer Easement. The Trust hereby grants to AMR with warranty covenants against any acts of the Trust, as appurtenant to the AMR Parcel, the perpetual right and non-exclusive easement to use that portion of the Trust Property for the use, maintenance, repair and replacement of the portion of the existing sewer line that exclusively serves the building located on the AMR Property and extends over the Trust Property before connecting with the sewer line located in Lowell Road.

4. Utilities Easement. The Trust hereby grants to AMR with warranty covenants against any acts of the Trust, as appurtenant to the AMR Parcel, the perpetual right and non-exclusive easement to use any portion of the Trust Property for the use, maintenance, repair and replacement of the portion of any existing gas, water, cable, data transmission, fiber optic, phone and electricity lines that may be located on the Trust Property that serve the AMR Property.

5. Reciprocal Indemnity. Each party each shall indemnify, exonerate and hold the other parties harmless from and against any and all loss, cost, liability, damage or expense arising out of their respective exercise of their rights hereunder, including, without limitation, injury to persons and damage to property caused by excavation, construction or other work or entry onto the other party's property.

6. Right of Entry. Each benefited party may enter upon only so much of the appurtenant property as may be reasonably necessary to carry out the rights and easements granted in this Agreement, with equipment, workers, vehicles, machines and materials, provided that such right of entry shall be exercised (a) at the benefited party's sole cost, expense and risk, (b) only at reasonable times upon not less than three (3) days prior written notice and for a reasonable duration, and (c) so as not unreasonably to interfere with the use and operation of the appurtenant property, and any improvements now or hereafter located thereon.

7. Apparatus Remains Property of Installer. Any utility lines or other fixtures or apparatus installed under the rights and easements granted in this Agreement shall be and remain the property of the party that installed the same, subject, however, to the rights, if any, of others to use the same in accordance with this instrument.

8. Restoration; Compliance with Law. If, in the exercise of the rights granted in this Agreement, the surface of the ground shall be disturbed, the party exercising the rights shall, in each instance, promptly restore the surface as nearly as practicable to the condition it was in prior to the exercise. All work performed in the exercise of the rights granted in this Agreement shall be performed in accordance with all applicable laws, rules and regulations. Prior to

3 of 5

undertaking any work, the party exercising its rights shall, in each instance, secure all permits and approvals necessary lawfully to accomplish such work. All work, once commenced, shall be diligently and expeditiously continued through to completion and shall be carried out in a good and workmanlike manner.

9. Notice. Any notice, request, demand, statement or consent made hereunder must be in writing and will be deemed duly given if personally delivered, if sent by certified mail, return receipt requested, certification and postage charges prepaid, or if sent by a nationally recognized commercial overnight delivery service with provision for a receipt, delivery charges prepaid. A notice will be deemed given when personally delivered, when postmarked (in the case of certified mail) or when placed in the possession of the overnight delivery service and addressed to the applicable party at their respective addresses set forth above. Notices must be given to any successor owner at the address set forth in the recorded deed or other instrument of conveyance to such owner upon receipt of a copy thereof. Any party hereto or successor owner may designate a different address from time to time by notifying the other party of the change of address.

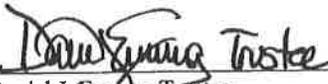
10. Bind and Inure. This Agreement shall be binding upon, enforceable by and against and shall inure to the benefit of the parties hereto and their respective successors and assigns. All covenants and agreements contained in this Agreement shall be covenants running with the land and shall be binding upon and inure to the benefit of the successors in title and assigns of each party hereto. No party shall be liable hereunder except for acts and omissions occurring during its period of ownership of the AMR Property and the Trust Property, respectively.

11. Amendments. This Agreement may not be terminated, released, modified or amended in whole or in part except by a written instrument executed by each party hereto, or their respective successors in title to the fee simple estates in the AMR Property and the Trust Property. Nothing in this Agreement shall be deemed to require any consent or approval or other agreement by any tenant or occupant of any portion of the AMR Property or the Trust Property, or any other party, for any such termination, release, amendment or modification.

(SIGNATURES APPEAR ON NEXT PAGE)

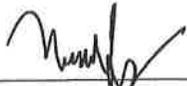
EXECUTED under seal as of the day and year first above written.

DANATO REALTY TRUST

By: 
Daniel J. Ewing, Trustee

4 of 5

**AMR REAL ESTATE HOLDINGS – HUDSON,
LLC**

By: 
Matthew McGovern, Manager

(ACKNOWLEDGEMENTS APPEAR ON NEXT PAGE)

STATE OF NEW HAMPSHIRE)
) ss
COUNTY OF ROCKINGHAM)

5065

On this 5th day of September, 2013, before me, the undersigned, personally appeared Daniel J. Enxing, Trustee of the Danato Realty Trust, proved to me through satisfactory evidence of identification, which was his driver's license, to be the person whose name is signed on the preceding document, and acknowledged to me that he signed it voluntarily for its stated purpose in such capacity.

Enxing

Notary Public JUSTICE OF THE PEACE
My commission expires: 3/7/17

STATE OF NEW HAMPSHIRE
COMMONWEALTH OF MASSACHUSETTS)
) ss
COUNTY OF SUFFOLK)

On this 5th day of September, 2013, before me, the undersigned notary public, personally appeared Matthew McGovern, Manager of AMR Real Estate Holdings – Hudson, LLC, proved to me through satisfactory evidence of identification, which was his driver's license, to be the person whose name is signed on the preceding document, and acknowledged to me that he signed it voluntarily for its stated purpose in such capacity.

Enxing

Notary Public JUSTICE OF THE PEACE
My commission expires: 3/7/17

2245754.1

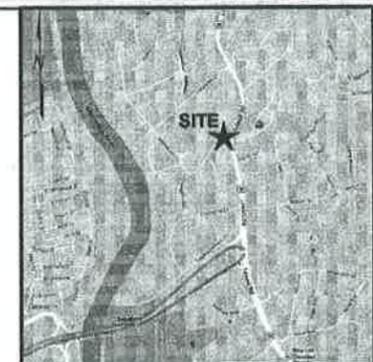
NOTE
THIS PLAN WAS PREPARED FROM THE PLANS OF REFERENCE AND THE ASSESSORS MAPS OF THE TOWN OF HUDSON.



201 Lowell Road, Hudson, NH

PREPARED FOR:
Danato Realty Trust

September 16, 2013

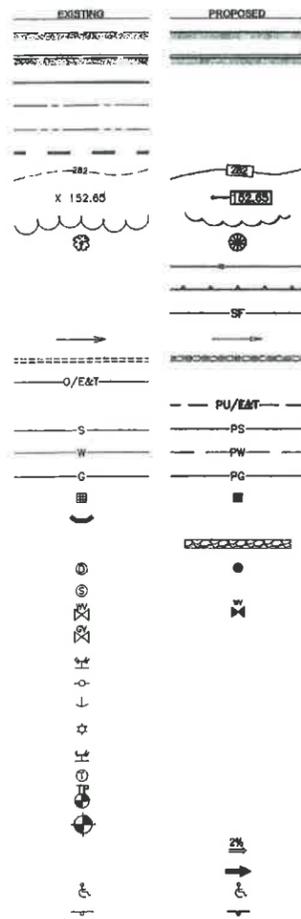


LOCATION PLAN

PREPARED FROM:
GOOGLE MAPS
SCALE: 1" = 200' +/-

LEGEND

- EDGE OF PAVEMENT
- BERM OR CURB
- PROPERTY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- ZONING BOUNDARY
- CONTOURS
- SPOT ELEVATIONS
- TREE LINE
- DECIDUOUS TREE
- STOCKADE FENCE
- GUARD RAIL
- SALTATION FENCE
- PIPE FLOW ARROWS
- STORM SEWER
- OVERHEAD UTILITIES
- UNDERGROUND UTILITIES
- SANITARY SEWER
- WATER LINE
- GAS LINE
- CATCH BASIN
- HEADWALL
- RIPRAP
- DRAIN MANHOLE
- SEWER MANHOLE
- WATER GATE
- GAS VALVE
- GAS METER
- UTILITY POLE
- GUY WIRE
- LIGHT POLE
- ELECTRIC METER
- TELEPHONE MANHOLE
- TEST PIT
- BORING
- DRAINAGE FLOW ARROWS
- TRAFFIC FLOW ARROWS
- HANDICAP PARKING SIGN



SHEET INDEX

SHEET NUMBER	DESCRIPTION	REVISION NUMBER	DATE
1	TITLE SHEET	-	9/10/13
2	MASTER PLAN	-	9/10/13
3	EXISTING CONDITIONS PLAN	-	9/10/13
4	SITE DEVELOPMENT PLAN	-	9/10/13
5	SITE GRADING PLAN	-	9/10/13
6	SITE UTILITY PLAN	-	9/10/13
7	EROSION CONTROL PLAN	-	9/10/13
8	CONSTRUCTION DETAILS	-	9/10/13
9	CONSTRUCTION DETAILS	-	9/10/13
10	CONSTRUCTION DETAILS	-	9/10/13
11	CONSTRUCTION DETAILS	-	9/10/13
12	CONSTRUCTION DETAILS	-	9/10/13
L1	LANDSCAPE PLAN	-	9/10/13
L2	LIGHTING PLAN (BY OTHERS)	-	9/10/13

THE FOLLOWING WAIVERS ARE REQUESTED IN ACCORDANCE WITH THE PROVISION OF ARTICLE IV, SECTION 275-15

- (1) SECTION 275-8(22), 36' WIDE GREEN AREA ADJACENT TO ROW
- (2) SECTION 275-8(24), OPEN SPACE
- (3) SECTION 275-8(25), TRAVELWAY WITHIN REAR YARD
- (4) SECTION 275-8(26), NUMBER OF PARKING SPACES
- (5) SECTION 275-8(31), 10% OF INTERIOR PARKING SHALL BE LANDSCAPED
- (6) SECTION 275-9(B) TRAFFIC STUDY
- (7) SECTION 275-9(C) NOISE STUDY
- (8) SECTION 275-9(D) FISCAL AND ENVIRONMENTAL IMPACT



DIG SAFE 1-888-344-7233

No.	Revision	Date
Designed by: GPF	Drawn by: JPB	Checked by: [Signature]

Title Sheet

199 - 201 Lowell Road
Hudson, NH
 Assessors Map 216 Lot 11

Prepared by: **SFC ENGINEERING PARTNERSHIP Inc.**
 66 GOLD LEDGE AVENUE
 AUBURN, NH 03032
 TEL: 603-647-8700
 FAX: 603-647-8711
 www.sfceng.com

Sheet 1 of 12 Scale: As Shown Date: 9/16/2013

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN _____ SIGNATURE DATE _____

PLANNING BOARD SECRETARY _____ SIGNATURE DATE _____

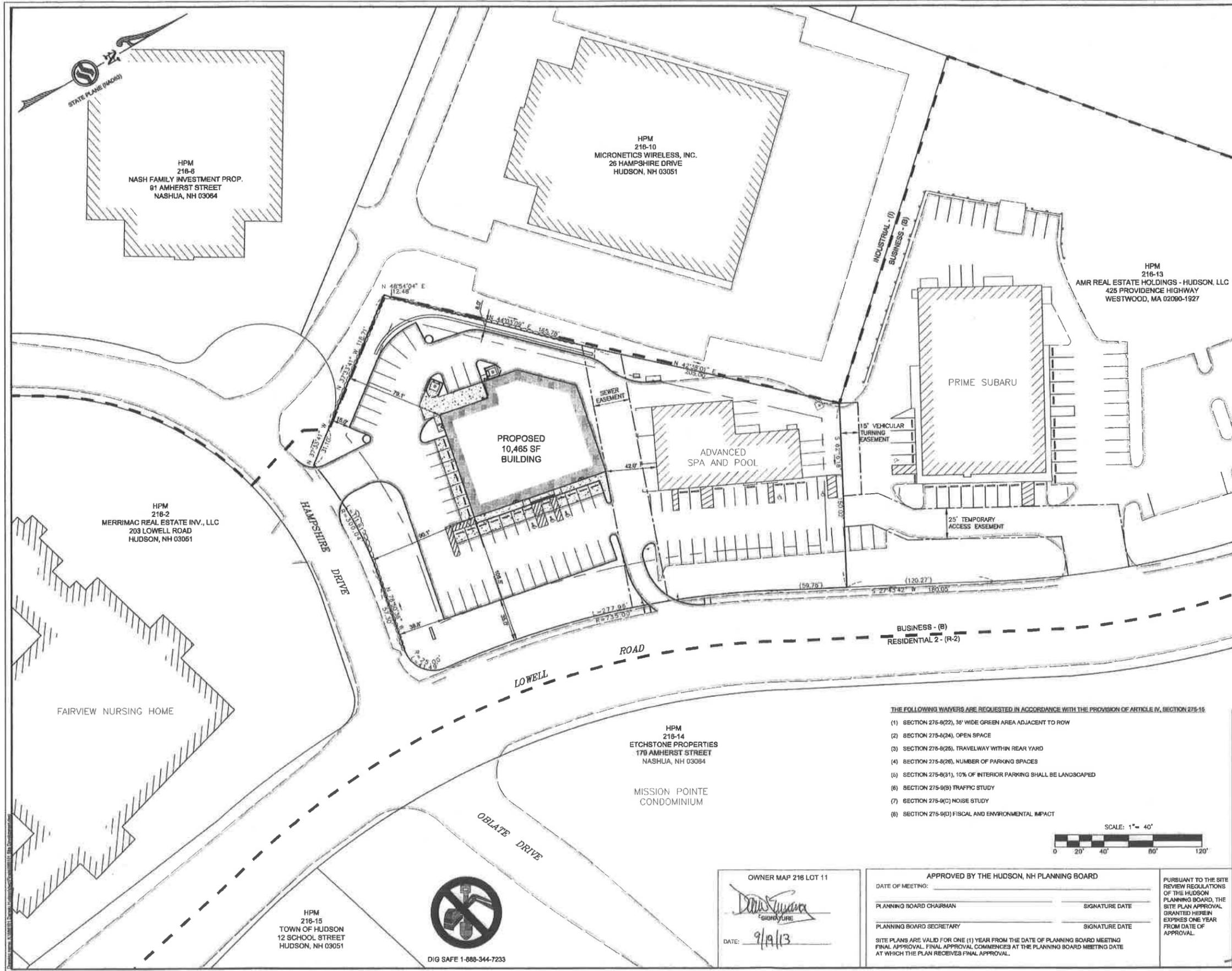
SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

Prepared for:

Danato Realty Trust
 P.O. Box 4470
 Windham, NH 03087
 (603) 365-1591

Zoning Classification: Business - (B)



- NOTES**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE DEVELOPMENT OF HUDSON PROPERTY MAP 216 LOT 11 CONSISTING OF 2.02 AC.
 - INFORMATION ON ADJUTING LOTS IS TAKEN FROM HUDSON TAX MAP DATA.
 - THE PROPOSED SITE DEVELOPMENT FEATURES CONSTRUCTION OF THE FOLLOWING:
 - A SINGLE STORY BUILDING TO HOUSE AN ADVANCED AUTO PARTS STORE AND ADDITIONAL RETAIL SPACE.
 - PARKING LOT AREA TO ACCOMMODATE ADDITIONAL PARKING.
 - NEW DRIVEWAY ACCESS ON LOWELL ROAD AND ON HAMPSHIRE DRIVE.
 - CONSTRUCTION OF WATER SERVICE.
 - CONSTRUCTION OF SANITARY SEWER SERVICE.
 - UNDERGROUND CABLE UTILITY (POWER, TELEPHONE, FIRE ALARM, AND CABLE TV) SERVICE.
 - NATURAL GAS SERVICE (LIBERTY UTILITIES).
 - STORMWATER MANAGEMENT SYSTEM.
 - TOTAL LAND AREA TO BE DISTURBED BY THIS PROPOSED DEVELOPMENT: 62,000 SF
 - NEW BUILDING AREA: 10,466 SF
 - NEW PAVEMENT AND CONCRETE AREA: 31,636 SF
 - NEW IMPERVIOUS AREA: 42,000 SF
 - TOTAL IMPERVIOUS COVER AFTER DEVELOPMENT (INCLUDING BUILDING, PAVEMENT & CONCRETE): 64,783 SF
 - OPEN SPACE: 26%
 - THERE ARE NO WETLANDS WITHIN 50' OF THIS PROPOSED DEVELOPMENT.
 - TOTAL PARKING REQUIRED:

EXISTING RETAIL BUILDINGS	7668 SF	1SPACE/2000SF	38 SPACES
PROPOSED RETAIL	3710 SF	1SPACE/2000SF	18 SPACES
PROPOSED ADVANCED AUTO PARTS		(SEC 275-8(2B))	28 SPACES
PARKING REQUIRED:			84 SPACES
PARKING PROVIDED:			84 SPACES
ACCESSIBLE SPACES (INCLUDED):			5 SPACES
 - ALL PARKING SPACES SHALL BE STRIPED WITH WHITE TRAFFIC PAINT WITH A 4" MINIMUM LINE WIDTH. PROPOSED FACILITY TO BE SERVICED BY MUNICIPAL WATER AND SANITARY SEWER SERVICE.
 - ALL DISTURBED AREAS SHALL BE DRESSED WITH 4" LOAM AND SEEDS UNLESS OTHERWISE SPECIFIED.
 - SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
 - IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
 - PLOWED SNOW FROM THE FACILITIES, DRIVEWAYS, PARKING LOTS, AND SIDEWALKS SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HALLED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
 - IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00AM AND 5:00PM MONDAY THROUGH FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON WEEKENDS.
 - ON-SITE DRAINAGE SYSTEM SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH NHDES REQUIREMENTS FOR SUCH SYSTEMS.
 - THE APPLICANT'S ENGINEER AND/OR CONTRACTOR SHALL CONTACT THE TOWN OF HUDSON TO SCHEDULE A PRECONSTRUCTION MEETING, WHICH WILL BE HELD WITH STAFF PRIOR TO STARTING CONSTRUCTION.
 - ALL STIPULATIONS OF APPROVAL SHALL BE INCORPORATED INTO THE DEVELOPMENT AGREEMENT, WHICH SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS, TOGETHER WITH THE SITE PLAN OF RECORD.
 - THIS APPROVAL SHALL BE SUBJECT TO FINAL ENGINEERING REVIEW, INCLUDING APPROVAL OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
 - A COST ALLOCATION PROCEDURE (CAP) AMOUNT OF _____ SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AS PROVIDED IN THE 2012 CAP FEE MATRIX.
 - THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
 - THE PROPOSED BUILDING WILL HAVE AN NFPA APPROVED FIRE SPRINKLER SYSTEM IF DEEMED NECESSARY.
 - ALL IMPROVEMENTS SHOWN ON THE SITE PLAN OF RECORD, INCLUDING NOTES 1-25, SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.

THE FOLLOWING WAIVERS ARE REQUESTED IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE IV, SECTION 275-16:

- SECTION 275-8(22), 36' WIDE GREEN AREA ADJACENT TO ROW
- SECTION 275-8(24), OPEN SPACE
- SECTION 275-8(26), TRAVELWAY WITHIN REAR YARD
- SECTION 275-8(26), NUMBER OF PARKING SPACES
- SECTION 275-8(31), 10% OF INTERIOR PARKING SHALL BE LANDSCAPED
- SECTION 275-9(B) TRAFFIC STUDY
- SECTION 275-9(C) NOISE STUDY
- SECTION 275-9(D) FISCAL AND ENVIRONMENTAL IMPACT



OWNER MAP 216 LOT 11
 DATE: 9/19/13

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE _____
 PLANNING BOARD SECRETARY: _____ SIGNATURE DATE _____
 SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

No.	Revision	Date
Designed by: JRB	Drawn by: JRB	Checked by: [Signature]

Master Plan
Advance Auto Parts
199 - 201 Lowell Road
Hudson, NH
 Assessors Map 216 Lot 11

Prepared by: **SFC ENGINEERING PARTNERSHIP INC.**
 66 GOLD LEDGE AVENUE
 AUBURN, NH 03002
 TEL: 603-647-8700
 FAX: 603-647-8711
 www.sfceng.com

Scale: 1" = 50' Date: 9/16/2013

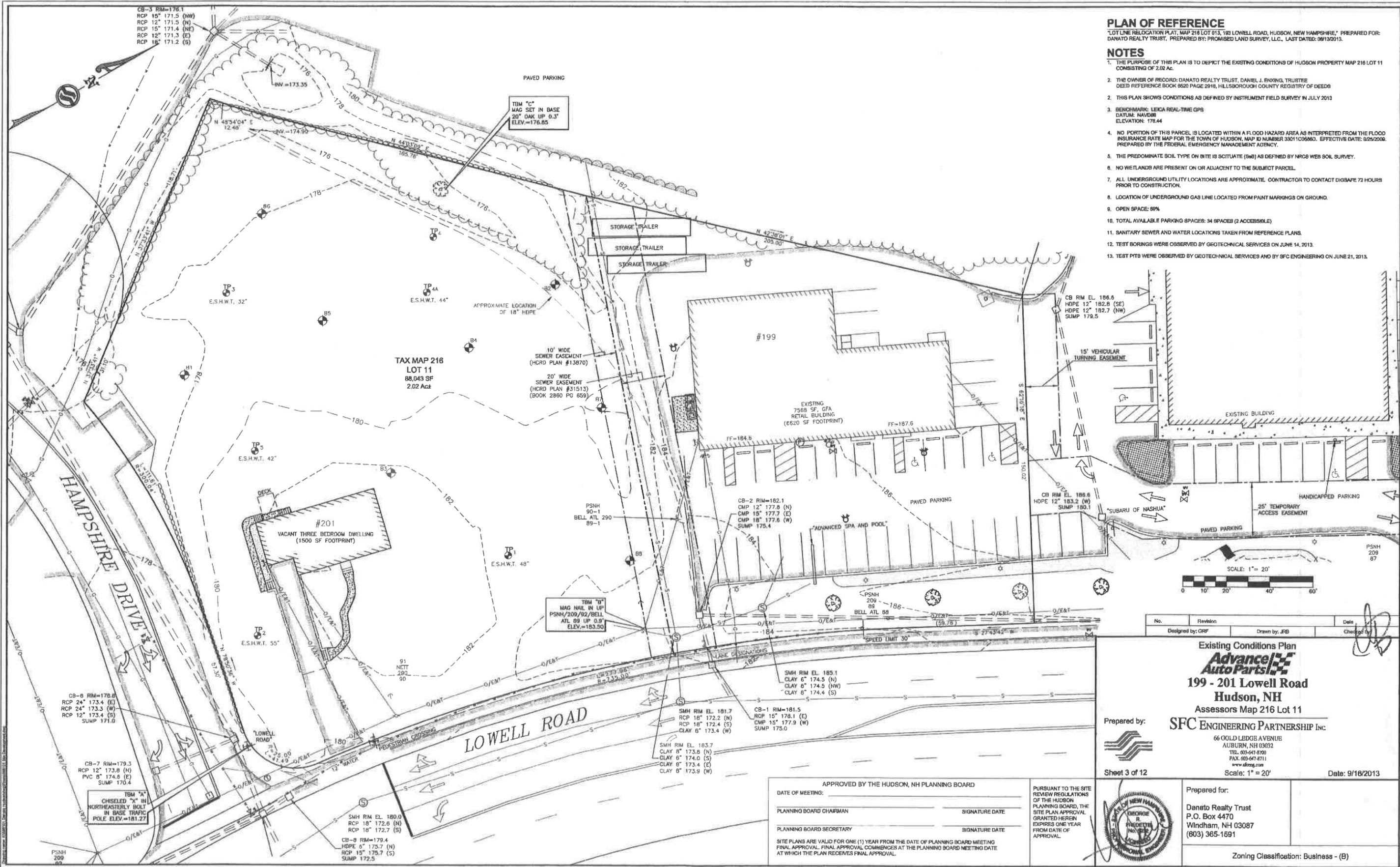
Sheet 2 of 12

Prepared for: **Daneto Realty Trust**
 P.O. Box 4470
 Windham, NH 03087
 (603) 385-1591

Zoning Classification: Business - (B)

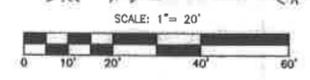


DIG SAFE 1-888-344-7233



PLAN OF REFERENCE
 LOT LINE RELOCATION PLAN, MAP 216 LOT 013, 193 LOWELL ROAD, HUDSON, NEW HAMPSHIRE, PREPARED FOR: DANATO REALTY TRUST, PREPARED BY: PROMISED LAND SURVEY, LLC, LAST DATED: 09/13/2013.

- NOTES**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS OF HUDSON PROPERTY MAP 216 LOT 11 CONSISTING OF 2.02 AC.
 - THE OWNER OF RECORD: DANATO REALTY TRUST, DANIEL J. EWING, TRUSTEE DEED REFERENCE BOOK 8620 PAGE 2916, HILLSBOROUGH COUNTY REGISTRY OF DEEDS
 - THIS PLAN SHOWS CONDITIONS AS DEFINED BY INSTRUMENT FIELD SURVEY IN JULY 2013
 - BENCHMARK: LEICA REAL-TIME GPS; DATUM: NAVD83; ELEVATION: 178.44
 - NO PORTION OF THIS PARCEL IS LOCATED WITHIN A FLOOD HAZARD AREA AS INTERPRETED FROM THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF HUDSON, MAP ID NUMBER 3301100660, EFFECTIVE DATE: 3/25/2009, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
 - THE PREDOMINANT SOIL TYPE ON SITE IS SCITUATE (SMB) AS DEFINED BY NRCS WEB SOIL SURVEY.
 - NO WETLANDS ARE PRESENT ON OR ADJACENT TO THE SUBJECT PARCEL.
 - ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR TO CONTACT DIGSAFE 72 HOURS PRIOR TO CONSTRUCTION.
 - LOCATION OF UNDERGROUND GAS LINE LOCATED FROM PAINT MARKINGS ON GROUND.
 - OPEN SPACE: 80%
 - TOTAL AVAILABLE PARKING SPACES: 34 SPACES (2 ACCESSIBLE)
 - SANITARY SEWER AND WATER LOCATIONS TAKEN FROM REFERENCE PLANS.
 - TEST BORINGS WERE OBSERVED BY GEOTECHNICAL SERVICES ON JUNE 14, 2013.
 - TEST PITS WERE OBSERVED BY GEOTECHNICAL SERVICES AND BY SFC ENGINEERING ON JUNE 21, 2013.



No.	Revision	Date

Designed by: GRF Drawn by: JRB Checked by: [Signature]

Existing Conditions Plan
Advance Auto Parts
 199 - 201 Lowell Road
 Hudson, NH
 Assessors Map 216 Lot 11

Prepared by:

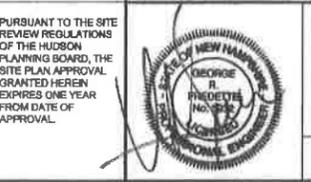
SFC ENGINEERING PARTNERSHIP INC.
 66 GOLD LEDGE AVENUE
 AUBURN, NH 03032
 TEL: 603-647-8700
 FAX: 603-647-8711
 www.sfceng.com
 Scale: 1" = 20' Date: 9/18/2013

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

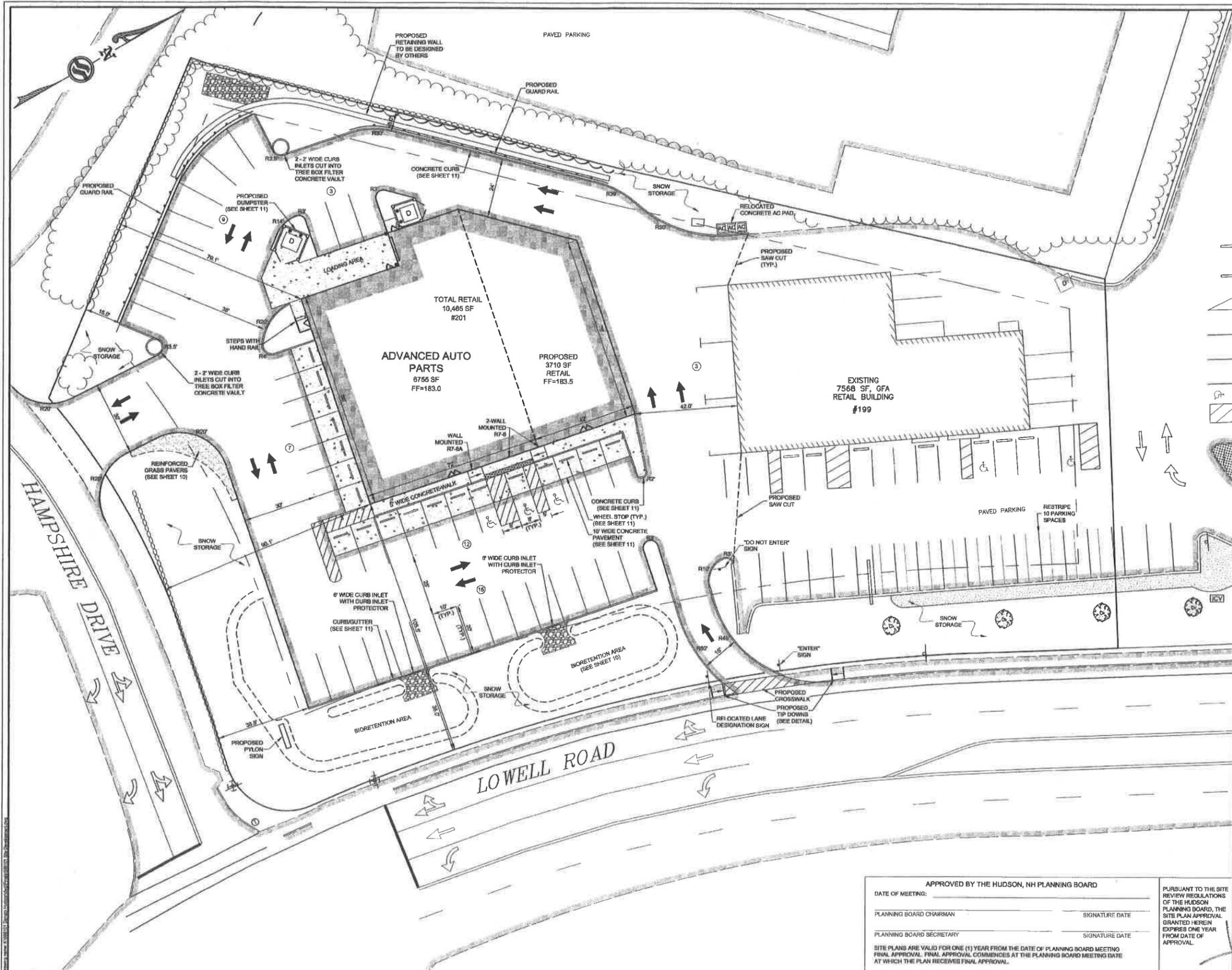
PLANNING BOARD CHAIRMAN	SIGNATURE DATE
_____	_____
PLANNING BOARD SECRETARY	SIGNATURE DATE
_____	_____

SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



Prepared for:
 Danato Realty Trust
 P.O. Box 4470
 Windham, NH 03087
 (603) 365-1691

Zoning Classification: Business - (B)



- NOTES**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE DEVELOPMENT OF HUDSON PROPERTY MAP 216 LOT 11 CONSISTING OF 2.02 AC.
 - THE PROPOSED SITE DEVELOPMENT FEATURES CONSTRUCTION OF THE FOLLOWING:
 - A. A SINGLE STORY BUILDING TO HOUSE AN ADVANCED AUTO PARTS STORE AND ADDITIONAL RETAIL SPACE.
 - B. PARKING LOT AREA TO ACCOMMODATE ADDITIONAL PARKING.
 - C. NEW DRIVEWAY ACCESS ON LOWELL ROAD AND ON HAMPSHIRE DRIVE.
 - D. CONSTRUCTION OF WATER SERVICE.
 - E. CONSTRUCTION OF SANITARY SEWER SERVICE.
 - F. UNDERGROUND CABLE UTILITY (POWER, TELEPHONE, FIRE ALARM, AND CABLE TV) SERVICE.
 - G. NATURAL GAS SERVICE (LIBERTY UTILITIES).
 - H. STORMWATER MANAGEMENT SYSTEM.
 - TOTAL LAND AREA TO BE DISTURBED BY THIS PROPOSED DEVELOPMENT: 62,000 SF
 - NEW BUILDING AREA: 10,485 SF
 - NEW PAVEMENT AND CONCRETE AREA: 31,536 SF
 - NEW IMPERVIOUS AREA: 42,000 SF
 - TOTAL IMPERVIOUS COVER AFTER DEVELOPMENT (INCLUDING BUILDING, PAVEMENT & CONCRETE): 64,783 SF
 - OPEN SPACE: 26%
 - THERE ARE NO WETLANDS WITHIN 50' OF THIS PROPOSED DEVELOPMENT.
 - TOTAL PARKING REQUIRED:

EXISTING RETAIL BUILDING	7568 SF	1SPACE/200SF	38 SPACES
PROPOSED RETAIL	3710 SF	1SPACE/200SF	18 SPACES
PROPOSED ADVANCED AUTO PARTS		1SPACE/200SF (SEC 275-B(2B))	28 SPACES
PARKING PROVIDED:			84 SPACES
ACCESSIBLE SPACES (INCLUDED):			6 SPACES
 - ALL PARKING SPACES SHALL BE STRIPED WITH WHITE TRAFFIC PAINT WITH A 4" MINIMUM LINE WIDTH.
 - PROPOSED FACILITY TO BE SERVICED BY MUNICIPAL WATER AND SANITARY SEWER SERVICE.
 - ALL DISTURBED AREAS SHALL BE DRESSED WITH 4" LOAM AND SEEDING UNLESS OTHERWISE SPECIFIED.



No.	Revision	Drawn
Designed by: GRF	Drawn by: JRS	Checked: [Signature]

Site Development Plan
Advance Auto Parts
 199 - 201 Lowell Road
 Hudson, NH
 Assessors Map 216 Lot 11

Prepared by:

SFC ENGINEERING PARTNERSHIP INC.
 66 GOLD LEDGE AVENUE
 AUBURN, NH 03032
 TEL: 603-647-8700
 FAX: 603-647-8711
 www.sfceng.com

Scale: 1" = 20' Date: 9/18/2013

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____

PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____

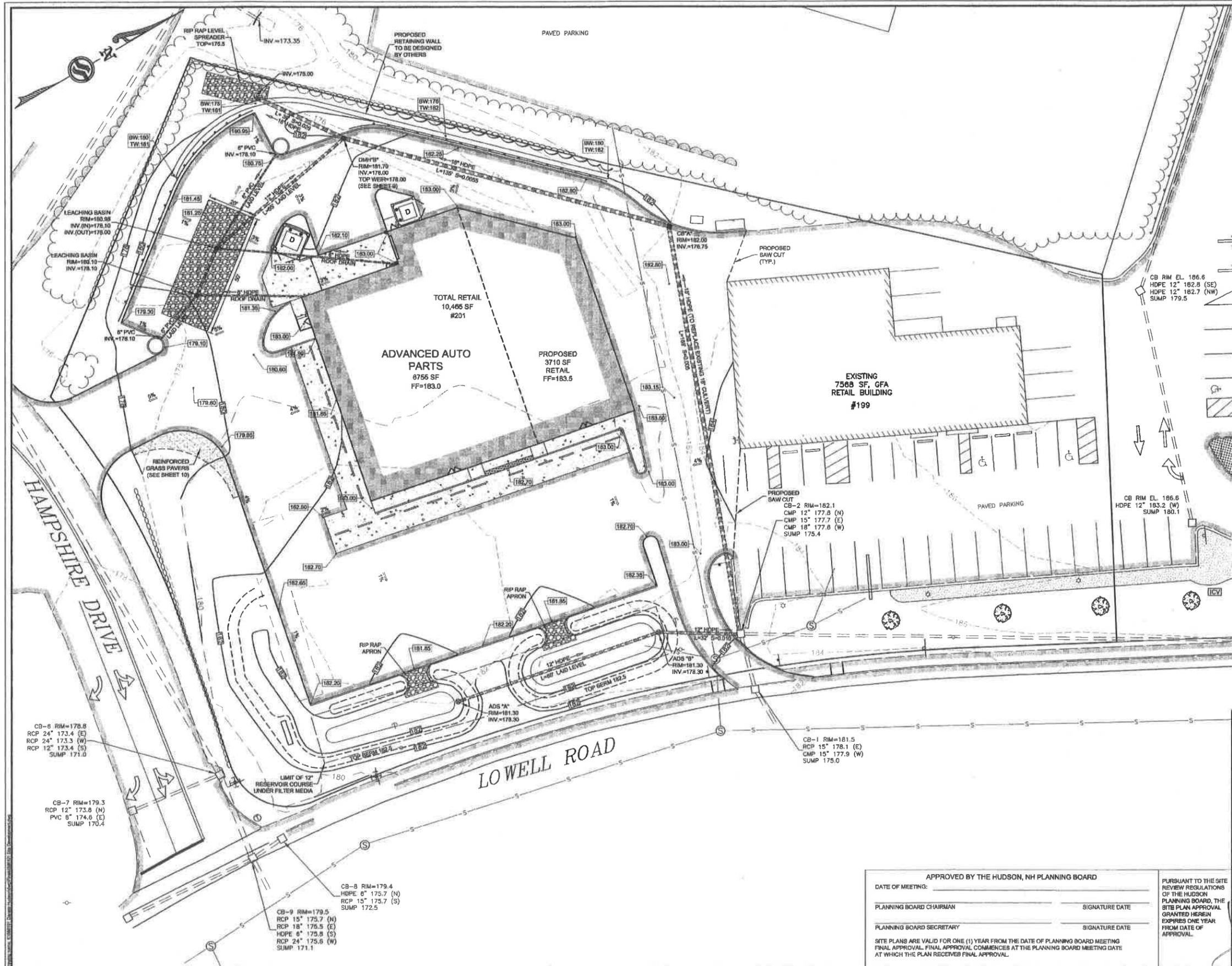
SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.



Prepared for:
 Denato Realty Trust
 P.O. Box 4470
 Windham, NH 03087
 (603) 365-1591

Zoning Classification: Business - (B)



- NOTES**
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH TOWN OF HUDSON AND NHDOT REQUIREMENTS.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIG SAFE (1-800-364-7233) AT LEAST 72 HOURS PRIOR TO CONSTRUCTION IN ACCORDANCE WITH STATE LAW.
 3. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF CONDITIONS ARE FOUND THAT DO NOT MATCH WHAT IS SHOWN ON THESE PLANS.
 4. CONTRACTOR SHALL VERIFY TEMPORARY BENCH MARK (TBM) ELEVATIONS PRIOR TO CONSTRUCTION.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING APPROPRIATE EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION IN ACCORDANCE WITH NHDES AND US EPA BEST MANAGEMENT PRACTICES.
 6. ALL DISTURBED AREAS SHALL BE DRESSED WITH 4" OF LOAM AND SEED UNLESS OTHERWISE SPECIFIED.
 7. ALL STRUCTURES TO HAVE RIMS SET AT FINISH GRADE REGARDLESS OF STATED RIM DATA.
 8. ALL SPOT GRADES ARE AT BOTTOM OF CURBS UNLESS OTHERWISE SPECIFIED.
 9. ROOF DRAIN TIE-INS AND DRAIN LINES WILL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.

CONSTRUCTION GENERAL PERMIT

1. THE OWNER, IN CONJUNCTION WITH THE CONTRACTOR (OPERATORS), NEEDS TO COMPLY WITH A CONSTRUCTION GENERAL PERMIT (CGP) FOR LARGE CONSTRUCTION ACTIVITIES (FIVE OR MORE ACRES) OR SMALL CONSTRUCTION ACTIVITIES (GREATER THAN ONE ACRE BUT LESS THAN FIVE ACRES) FROM THE ENVIRONMENTAL PROTECTION AGENCY (EPA). AS PART OF THE CGP, A STORM WATER NOTICE OF INTENT (NOI) WILL NEED TO BE SUBMITTED TO THE EPA AT LEAST 14 DAYS PRIOR TO COMMENCING CONSTRUCTION. THE NOI WILL NEED TO BE SUBMITTED TO STORM WATER NOTICE OF INTENT (4030A), USEPA, 1200 PENNSYLVANIA AVE. NW, WASHINGTON, DC 20460 OR FILE ON-LINE WITH eNOI SYSTEM AT <http://efoia.epa.gov/nps/electronicnois.html>.
2. THE CGP OUTLINES A SET OF PROVISIONS MANDATING THE OWNER AND CONTRACTOR TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER REGULATIONS, INCLUDING, BUT NOT LIMITED TO, STORM WATER POLLUTION PREVENTION PLANS (SWPPP), IMPLEMENTATION OF EROSION AND SEDIMENTATION CONTROLS, EQUIPMENT MAINTENANCE GUIDELINES, ETC. PLEASE CONTACT USEPA OFFICE OF WASTEWATER MANAGEMENT AT 202-864-8545 OR AT WWW.EPA.GOV/DES/STORMWATER FOR ADDITIONAL INFORMATION. IN ADDITION, ONE CAN CONTACT SHELLEY PULEO OF NEW ENGLAND'S EPA REGION 1 AT 617-918-1648.



No.	Revision	Date

Site Grading Plan
Advance Auto Parts
 199 - 201 Lowell Road
 Hudson, NH
 Assessors Map 216 Lot 11

Prepared by: **SFC ENGINEERING PARTNERSHIP INC.**
 66 GOLD LEDGE AVENUE
 AUBURN, NH 03032
 TEL. 603-647-8700
 FAX. 603-647-8711
 www.sfceng.com

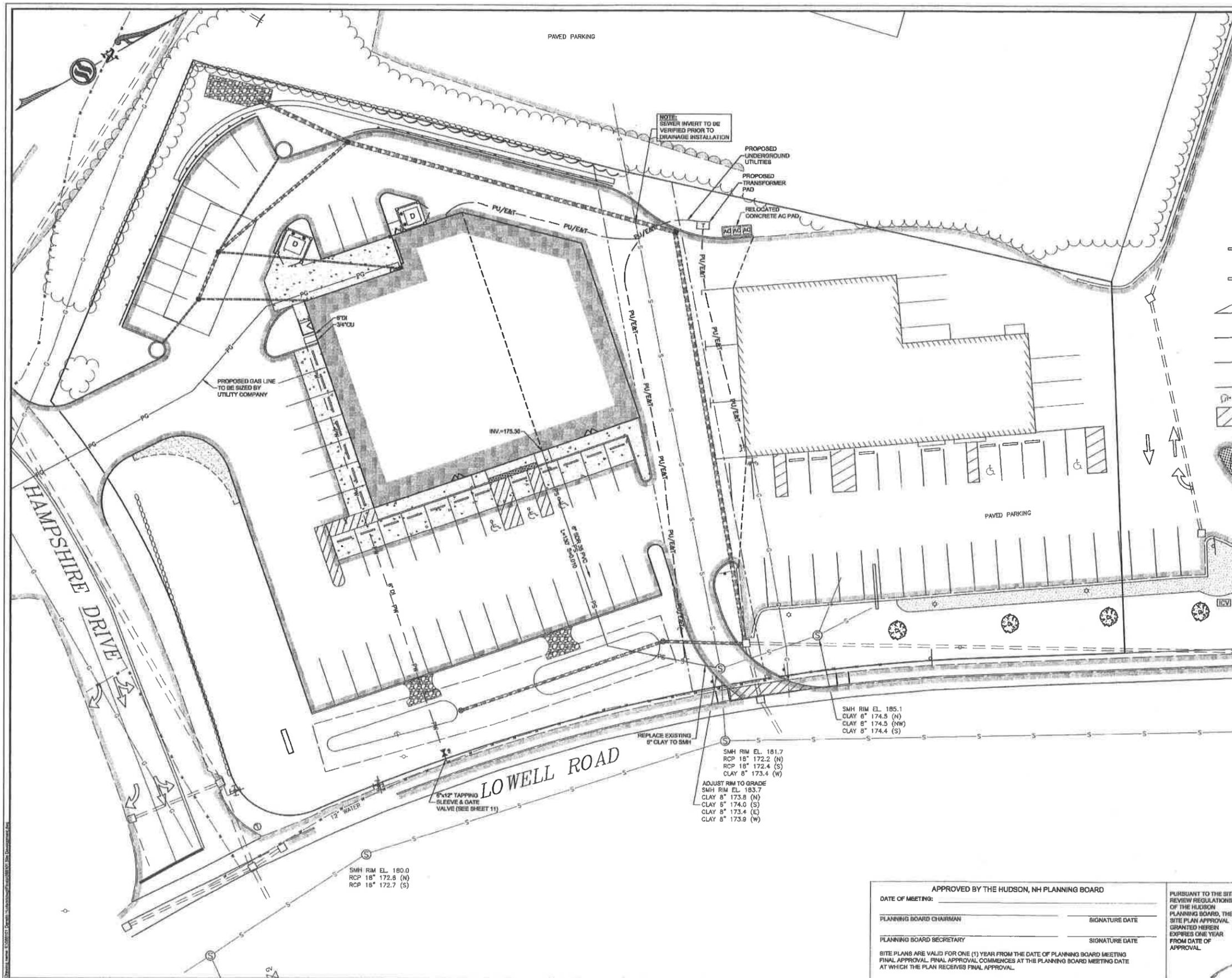
Scale: 1" = 20' Date: 9/16/2013

APPROVED BY THE HUDSON, NH PLANNING BOARD	
DATE OF MEETING: _____	
PLANNING BOARD CHAIRMAN _____	SIGNATURE DATE _____
PLANNING BOARD SECRETARY _____	SIGNATURE DATE _____
SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.	



Prepared for:
 Danato Realty Trust
 P.O. Box 4470
 Windham, NH 03087
 (603) 365-1591

Zoning Classification: Business - (B)



- NOTES**
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH TOWN OF HUDSON REQUIREMENTS.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIG SAFE (1-800-364-7233) AT LEAST 72 HOURS PRIOR TO CONSTRUCTION IN ACCORDANCE WITH STATE LAW.
 3. EXISTING WATER LINE AND SERVICE INFORMATION SUPPLIED BY PENNICK WATERS WORKS, AND FIELD LOCATED PAINT MARKINGS.
 4. EXISTING SANITARY SEWER SERVICE INFORMATION TAKEN FROM RECORD PLANS AND TOWN RECORDS.
 5. EXISTING GAS (INFORMATION TAKEN FROM RECORD PLANS AND FIELD LOCATED PAINT MARKINGS).
 6. REFERENCE LIGHTING AND PHOTOMETRIC PLAN.
 7. OVERHEAD UTILITIES SHALL BE DECOMMISSIONED.
 8. EXISTING 8" CLAY SANITARY SEWER SERVICES SHALL BE REMOVED AND REPLACED WITH A 6" BDR 35 PVC EXTENDED TO THE PROPOSED BUILDING AS SHOWN.
 9. PROVIDE A TWO-WAY SANITARY SEWER CLEANOUT TO GRADE. SET TOP IN CONCRETE FLUSH WITH FINISH GRADE AND LOCATE WITHIN 6'-0" OF BUILDING EXTERIOR WALL. CLEANOUT SHALL BE SUITABLE FOR HEAVY TRAFFIC LOADING. REFER TO THE PLUMBING SPECIFICATIONS FOR CLARIFICATION.
 10. COORDINATE WITH PENNICK WATERS WORKS TO CONNECT THE NEW 1" WATER SERVICE PIPING TO THE EXISTING WATER MAIN PER LOCAL STANDARDS AND REGULATIONS. FIELD VERIFY THE EXACT LOCATION, SIZE AND BURY DEPTH OF TAP.
 11. NEW 1" UNDERGROUND WATER SERVICE PIPING. PROVIDE 1" BRANCH TO SERVE SITE IRRIGATION SYSTEM BY OTHERS.
 12. COORDINATE WITH PENNICK WATERS WORKS TO PROVIDE A 3/4" IRRIGATION WATER METER WITH REMOTE READOUT IN ROADWAY BOX AT THE PROPERTY LINE. WHEN REQUIRED, PROVIDE WATER AUTHORITY APPROVED BACKFLOW PREVENTION DEVICE IN VAULT, VAULT(S) AND VALVING SHALL BE PER PENNICK WATERS WORKS STANDARDS AND REGULATIONS. EXTEND 1" IRRIGATION SERVICE PIPING ACROSS PROPERTY LINE AND CAP AND MARK FOR FUTURE CONNECTION.
 13. COORDINATE WITH PENNICK WATERS WORKS TO PROVIDE A 3/4" DOMESTIC WATER METER WITH REMOTE READOUT IN ROADWAY BOX AT THE PROPERTY LINE. WHEN REQUIRED, PROVIDE WATER AUTHORITY APPROVED BACKFLOW PREVENTION DEVICE IN VAULT, VAULT(S) AND VALVING SHALL BE PER PENNICK WATERS WORKS STANDARDS AND REGULATIONS.
 14. EXISTING NATURAL GAS MAIN IN PUBLIC RIGHT-OF-WAY TO REMAIN. COORDINATE WITH THE LOCAL GAS UTILITY CO. AND FIELD VERIFY THE EXACT LOCATION, SIZE, BURY DEPTH AND REQUIRED OR UTILITY PREFERRED TAP LOCATION OR SERVICE STUB-OUTS (IF ANY) PRIOR TO TRENCHING FOR NEW GAS SERVICE PIPING.
 15. COORDINATE WITH THE LOCAL GAS UTILITY CO. TO CONNECT THE NEW GAS SERVICE PIPING TO THE EXISTING GAS MAIN PER LOCAL STANDARDS AND REGULATIONS. FIELD VERIFY THE BURY DEPTH FOR THE NEW CONNECTION. TAP, SERVICE PIPING AND RELATED TRENCHING, BACKFILL, ETC. MAY BE PROVIDED BY THE GAS UTILITY CO. VERIFY GAS SERVICE ARRANGEMENTS DURING BIDDING.
 16. MAINTAIN MINIMUM 10'-0" HORIZONTAL SEPARATION BETWEEN ON-SITE SANITARY SEWER AND DOMESTIC OR IRRIGATION WATER PIPING WHENEVER POSSIBLE. WHERE WATER PIPING MUST CROSS OVER SANITARY SEWER PIPING, MAINTAIN A MINIMUM 18" VERTICAL SEPARATION. WHERE SANITARY SEWER PIPING MUST CROSS OVER WATER PIPING, MAINTAIN A MINIMUM 36" VERTICAL SEPARATION AND PROVIDE MIN. 4" THICK CONCRETE ENCASUREMENT OR 4" CONTINUOUS CAST IRON PIPE SLEEVE ON WATER PIPING FOR A MINIMUM OF 10'-0" ON EACH SIDE OF THE SANITARY SEWER CROSSING.



No.	Revision	Date

Designed by: GRF Drawn by: JRB Checked by: JRB

Site Utility Plan

199 - 201 Lowell Road
Hudson, NH
 Assessors Map 216 Lot 11

Prepared by:

SFC ENGINEERING PARTNERSHIP INC.
 66 GOLD LEDGE AVENUE
 AUBURN, NH 03092
 TEL: 603-647-8700
 FAX: 603-647-8711
 www.sfceng.com

Sheet 6 of 12 Scale: 1" = 20' Date: 9/18/2013

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN _____	SIGNATURE DATE _____
PLANNING BOARD SECRETARY _____	SIGNATURE DATE _____

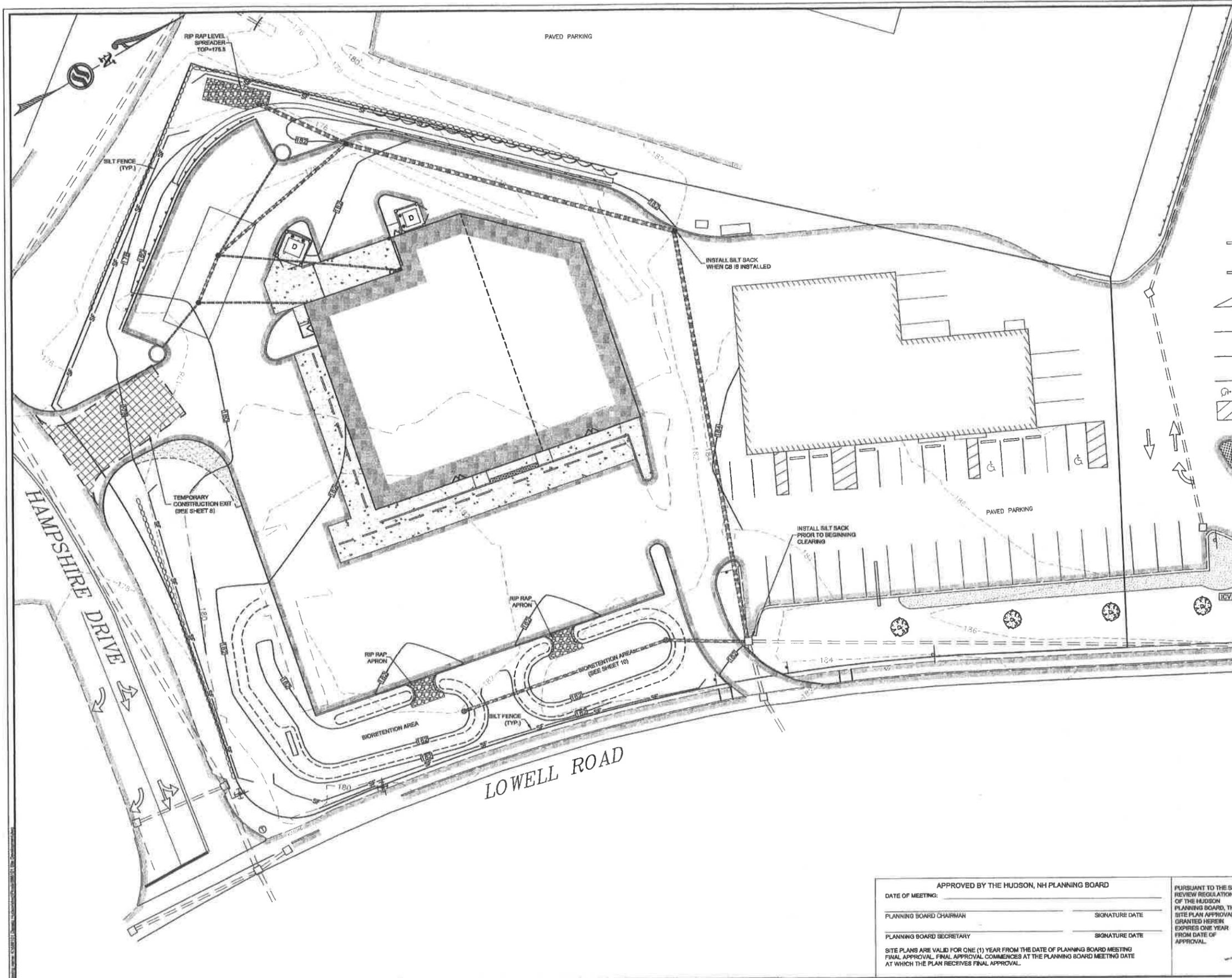
SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



Prepared for:

Danato Realty Trust
 P.O. Box 4470
 Windham, NH 03087
 (603) 365-1691

Zoning Classification: Business - (B)



- ### CONSTRUCTION SEQUENCE
1. INSTALL PERIMETER EROSION CONTROL MEASURES. TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION. EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND SHALL CONFORM TO ALL APPLICABLE SECTIONS OF THE STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE, AUGUST 1992, OR THE NEW HAMPSHIRE STORMWATER MANUAL, DECEMBER 2004.
 2. CUT AND CLEAR TREES. IDENTIFY TREES TO BE SAVED AND INSTALL PROTECTIVE FENCES AROUND THESE TREES. CUT TREES, CLEAR AND DISPOSE OF DEBRIS.
 3. INSTALL OTHER EROSION CONTROL MEASURES. TEMPORARY AND PERMANENT EROSION, SEDIMENT AND DETENTION PRACTICES - INCLUDING PONDS AND SWALES - SHALL BE INSTALLED PRIOR TO ROUGH GRADING. PERMANENT STORMWATER TREATMENT SYSTEMS ARE TO BE CONSTRUCTED AND SEEDS AS SOON AS PRACTICAL, SO THAT VEGETATION MAY BE ESTABLISHED PRIOR TO DIRECTING RUNOFF TO THEM. ADDITIONAL STORMWATER MANAGEMENT PRACTICES SHALL BE IMMEDIATELY INSTALLED WHEN NECESSARY AND APPROPRIATE DURING CONSTRUCTION.
 4. LOCATION OF BIO RETENTION AREAS AND LEVEL SPREADERS SHALL BE USED FOR SEDIMENT BASINS UNTIL SITE IS STABILIZED. THEN ALL SILT TO BE REMOVED FROM THESE AREAS AND CONSTRUCT BMPs PER PLAN.
 5. PROTECT DRAINAGE STRUCTURES. DURING CONSTRUCTION, ALL DRAINAGE INLETS SHALL BE PROTECTED BY INSTALLING A GEOTEXTILE BARRIER UNDER THE GRATE OR BY INSTALLING A STONE CHECK DAM AROUND THE PERIMETER OF THE GRATE.
 6. CLEAR AND GRUB. STRIP ORGANIC SOILS. LOAM SHALL BE STRIPPED FROM THE SITE AS REQUIRED. THE SMALLEST PRACTICAL AREA SHALL BE EXPOSED AT ANY TIME AND SHALL NOT EXCEED ONE ACRE. UNSTABILIZED SOIL SHALL BE TEMPORARILY STABILIZED AS SOON AS PRACTICABLE BUT NO LATER THAN 45 DAYS AFTER INITIAL DISTURBANCE.
 7. STABILIZE STOCKPILES. SOIL STOCKPILES SHALL BE LOCATED AND PROTECTED TO MINIMIZE EROSION. INSTALL SILT FENCING AROUND THE BASE OF ALL STOCKPILES ON THE DOWNHILL SIDE.
 8. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES. ALL PRACTICES ARE TO BE INSPECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD ACCORDING TO RECOMMENDED SCHEDULES BUT AT LEAST ONCE PER WEEK AND DURING RAINFALL EVENTS IN WHICH 1/4 INCH OF PRECIPITATION OR MORE FALLS WITHIN A 24 HOUR PERIOD. THE BOTTOM OF SEDIMENT BASINS SHALL BE PERIODICALLY CLEANED, WITH SEDIMENT REMOVED TO A SECURE LOCATION. ALL DAMAGED SILT FENCES SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL BE PERIODICALLY REMOVED.
 9. GRADE AND GRAVEL AREAS TO BE PAVED. ROADWAYS AND PARKING LOTS SHALL BE GRADED, AND UNDERGROUND UTILITIES SHALL BE INSTALLED. GRAVEL SHALL BE INSTALLED AS SOON AS PRACTICAL. THESE AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE. ALL FILL MATERIAL SHALL BE FREE FROM STUMPS, ROOTS, WOOD, ETC.
 10. STABILIZE DISTURBED AREAS. BEGIN SEED AND MULCH OF ALL DISTURBED AREAS AS SOON AS PRACTICAL, BUT NO LATER THAN THREE DAYS AFTER FINAL GRADING. ALL CUT AND FILL SLOPES SHALL BE SEEDS AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. A MINIMUM OF 4" OF LOAM SHALL BE INSTALLED, WITH SEED, LIME, AND FERTILIZER APPLIED.
 11. FINISH PAVING. INSTALL FINISH PAVING ON ROADWAYS AND PARKING LOTS.
 12. COMPLETE PERMANENT SEEDING AND LANDSCAPING. SPREAD LOAM AND STABILIZE PER PLANS AND SPECIFICATIONS.
 13. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - i) BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - ii) A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - iii) A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - iv) EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
 14. REMOVE TEMPORARY EROSION CONTROL MEASURES. AFTER CONSTRUCTION IS COMPLETED AND THE AREAS ARE STABILIZED (MINIMUM 85% VEGETATIVE COVER, BASE COURSE GRAVELS INSTALLED, 3" NON-EROSIVE MATERIAL INSTALLED, OR EROSION CONTROL BLANKET INSTALLED) IN THE DISTURBED AREAS, THE AREAS IN AND AROUND THE TEMPORARY EROSION CONTROL SYSTEMS SHALL BE CLEANED UP, WITH CARE BEING TAKEN NOT TO ALLOW THE ACCUMULATION OF SILT TO RUN INTO THE WETLANDS AND/OR PROTECTED AREAS. AFTER CLEAN-UP, THE TEMPORARY EROSION CONTROL SYSTEMS SHALL BE REMOVED AND THE AREA RETURNED AS NEAR AS POSSIBLE TO ITS NATURAL STATE.
 15. WINTER CONSTRUCTION NOTES:
 - i) ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY NOVEMBER 30, OR WHICH ARE DISTURBED AFTER NOVEMBER 30, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
 - ii) ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY NOVEMBER 30, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
 - iii) AFTER NOVEMBER 30, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM 3" OF CRUSHED GRAVEL PER (MDOT ITEM 304.3)
 16. MINIMUM REQUIREMENTS THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE THE MINIMUM NECESSARY DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ADEQUATE EROSION CONTROL PRACTICES ARE EMPLOYED TO PREVENT EROSION AND SEDIMENTATION TO ADJACENT PROPERTIES, ROADS, OR DRAINAGE SYSTEMS.



No.	Revision	Date
Designed by: GPF	Drawn by: JPS	Checked by: [Signature]

Erosion Control Plan

199 - 201 Lowell Road
Hudson, NH
 Assessors Map 216 Lot 11

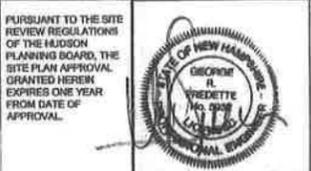
Prepared by: **SFC ENGINEERING PARTNERSHIP INC**
 66 GOLD LEDGE AVENUE
 AUBURN, NH 03032
 TEL. 603-647-8700
 FAX. 603-647-8711
 www.sfceng.com

Sheet 7 of 12 Scale: 1" = 20' Date: 9/16/2013

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____	
PLANNING BOARD CHAIRMAN _____	SIGNATURE DATE _____
PLANNING BOARD SECRETARY _____	SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



Prepared for:

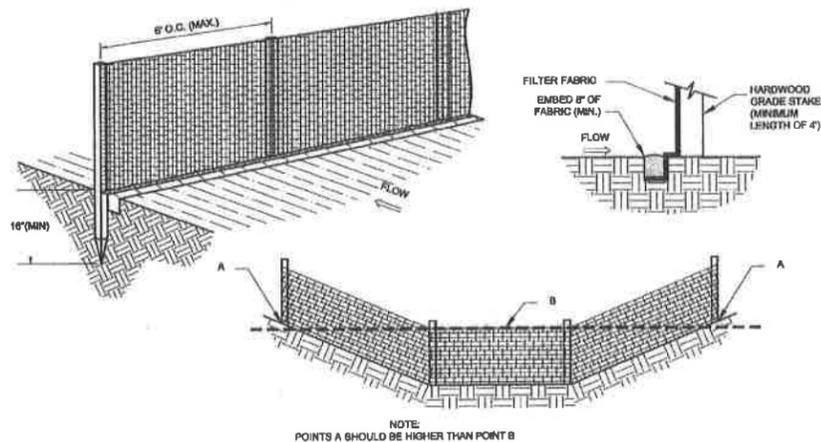
Denato Realty Trust
 P.O. Box 4470
 Windham, NH 03087
 (603) 385-1591

Zoning Classification: Business - (B)

SILT FENCE SPECIFICATIONS

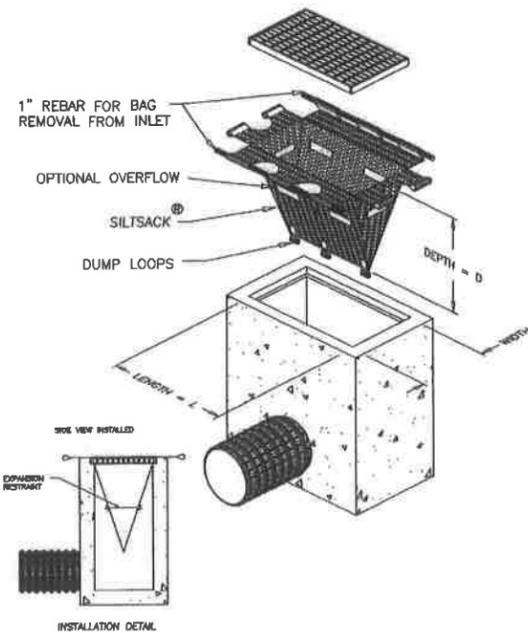
- MAINTENANCE**
- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
 - IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING CONSTRUCTION, THE FABRIC SHALL BE REPLACED PROMPTLY.
 - SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
 - SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

- CONSTRUCTION SEQUENCE**
- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
 - THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
 - SILT FENCES SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 8 INCHES, FOLDED AND STAPLED.
 - FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 18 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BULGES IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.



SILT FENCE INSTALLATION

NOT TO SCALE

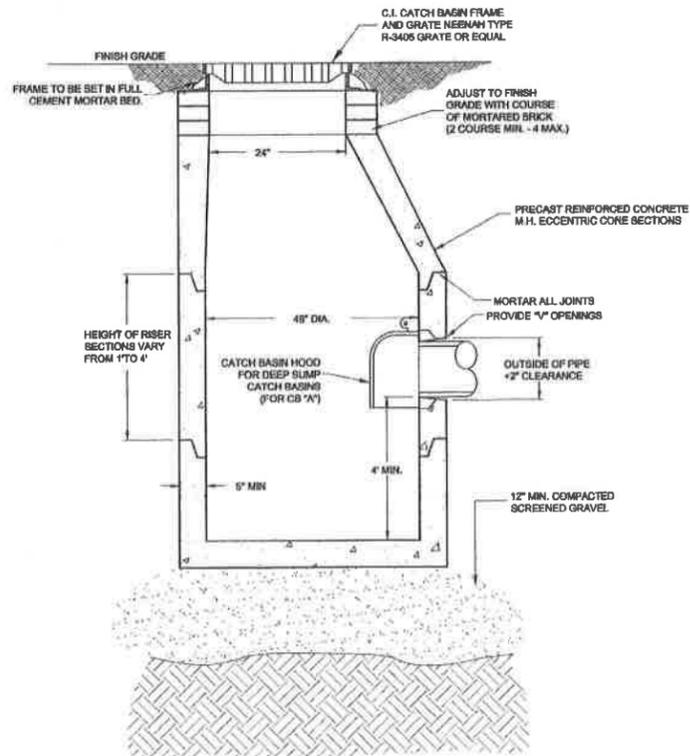


SILT SACK CONSTRUCTION SEQUENCE:

- TO INSTALL SILTSACK® IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
- WHEN THE RESTRAINT CORD IS NO LONGER VISIBLE, SILTSACK® IS FULL AND SHALL BE EMPTIED.
- TO REMOVE SILTSACK®, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF SILTSACK®.
- TO EMPTY SILTSACK®, PLACE IT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL TURN SILTSACK® INSIDE OUT AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN SILTSACK® TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE BASIN.
- SILTSACK® IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE SILTSACK® FROM THE BASIN AND CLEAN.

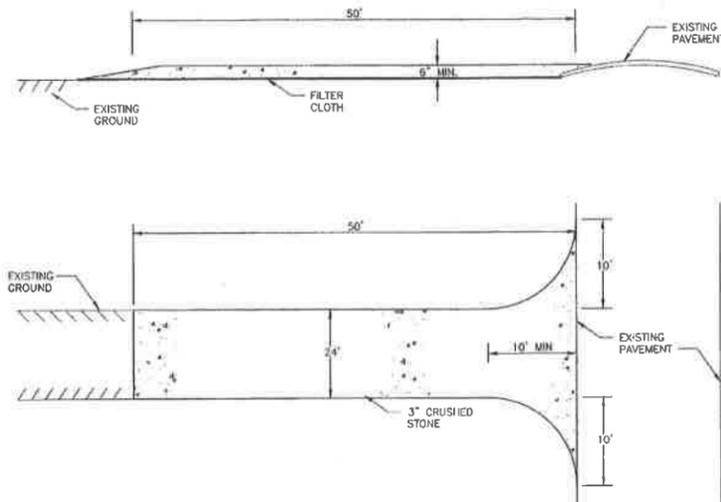
SILTSACK®

NOT TO SCALE
SILTSACK TO BE INSTALLED IN CATCH BASINS 2 & 'A'



DEEP SUMP PRECAST CONCRETE CATCH BASIN

NOT TO SCALE



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

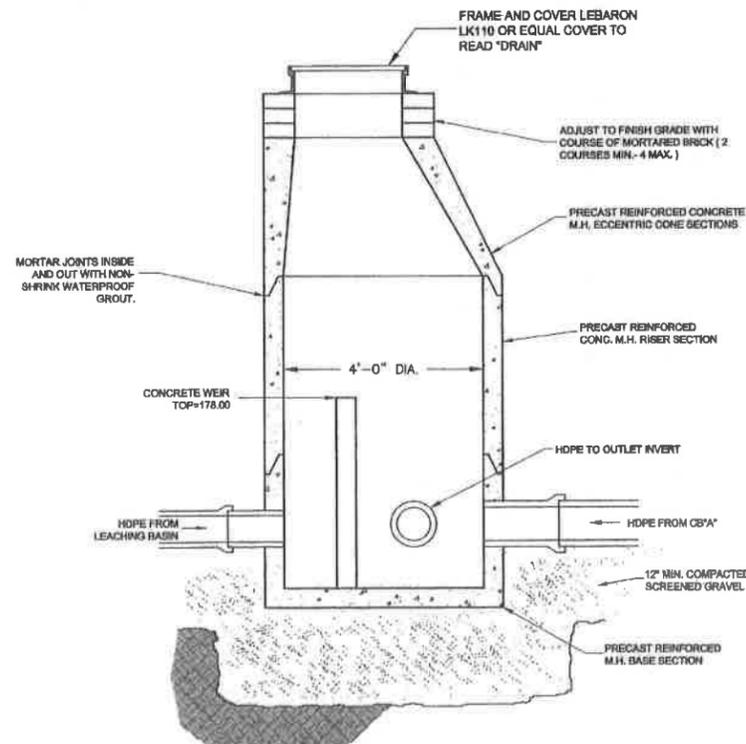
NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

- STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET.
- THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 8 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
- ALL SURFACE WATER SHALL BE DIRECTED AWAY FROM THE ENTRANCE. IF WATER IS FLOWING TOWARD THE ENTRANCE, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE ADDED.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.
- WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

MAINTENANCE

- MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW STONE. COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.
- IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.



PRECAST DRAIN MANHOLE

NOT TO SCALE

No.	Revision	Date
Designed by: GRF	Drawn by: JRB	Checked by:

Construction Details
Advance Auto Parts
199 - 201 Lowell Road
Hudson, NH
Assessors Map 216 Lot 11

Prepared by: **SFC ENGINEERING PARTNERSHIP INC.**

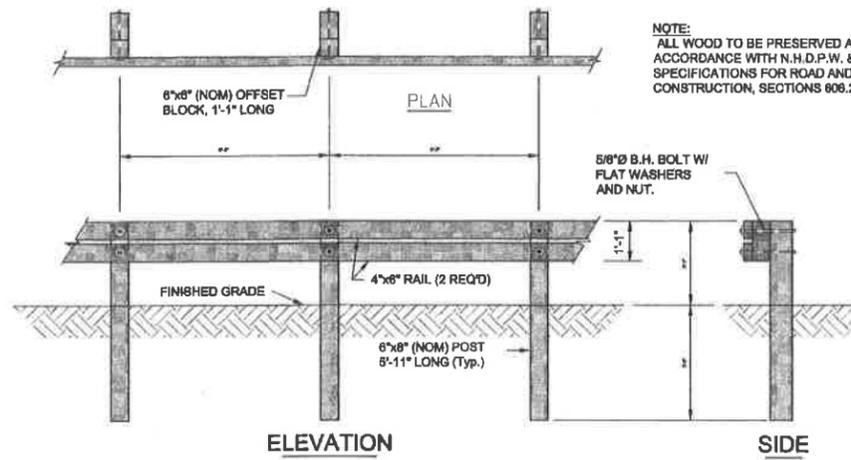
66 OLD LEDGE AVENUE
AUBURN, NH 03032
TEL. 603-647-8700
FAX. 603-647-8711
www.sfceng.com

Sheet 8 of 12 Scale: As Shown Date: 9/16/2013

Prepared for:
Danato Realty Trust
P.O. Box 4470
Windham, NH 03087
(603) 365-1591

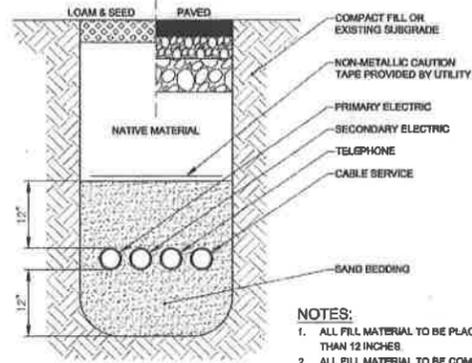


Zoning Classification: Business - (B)



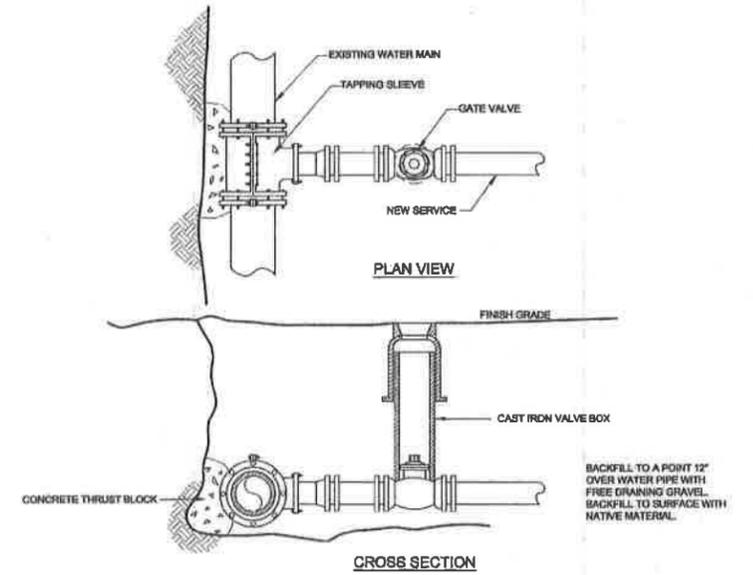
NOTE:
ALL WOOD TO BE PRESERVED AND FINISHED IN ACCORDANCE WITH N.H.D.P.W. & H. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTIONS 608.2.1 AND 608.2.2.

WOOD GUARDRAIL
NOT TO SCALE

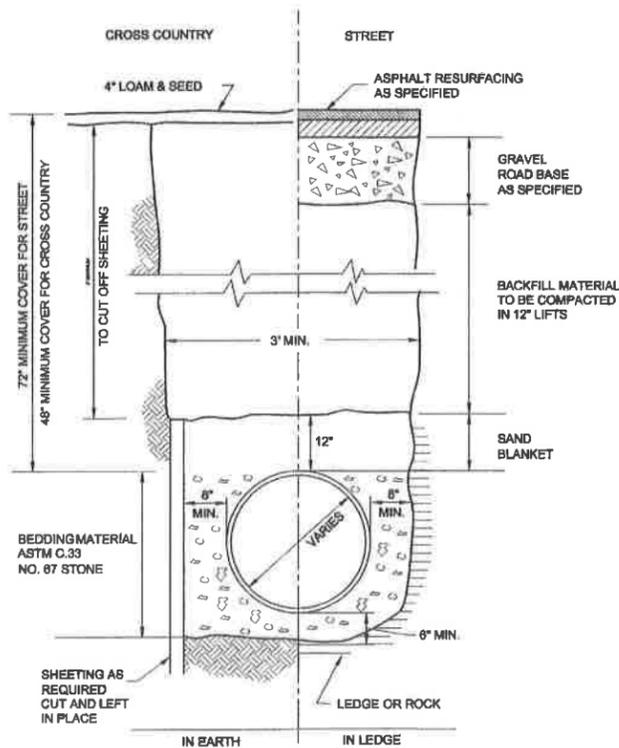


- NOTES:
1. ALL FILL MATERIAL TO BE PLACED IN LIFTS NO GREATER THAN 12 INCHES.
 2. ALL FILL MATERIAL TO BE COMPACTED TO 85% OF THE MAXIMUM DRY DENSITY.
 3. MINIMUM COVER OF THREE FEET IS REQUIRED FOR ALL CONDUIT PIPES, UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.
 4. CONDUIT SIZE, MATERIAL, AND INSTALLATION TO MEET UTILITY COMPANIES STANDARD SPECIFICATIONS.
 5. MINIMUM TRENCH WIDTH SHALL ALLOW FOR A MINIMUM OF 6 INCH CLEARANCE FROM TRENCH SIDE WALLS.

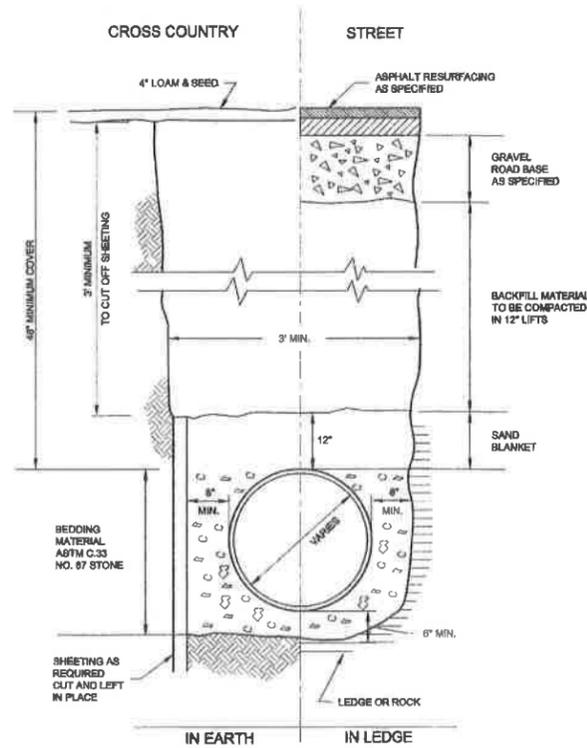
UTILITY TRENCH
NOT TO SCALE



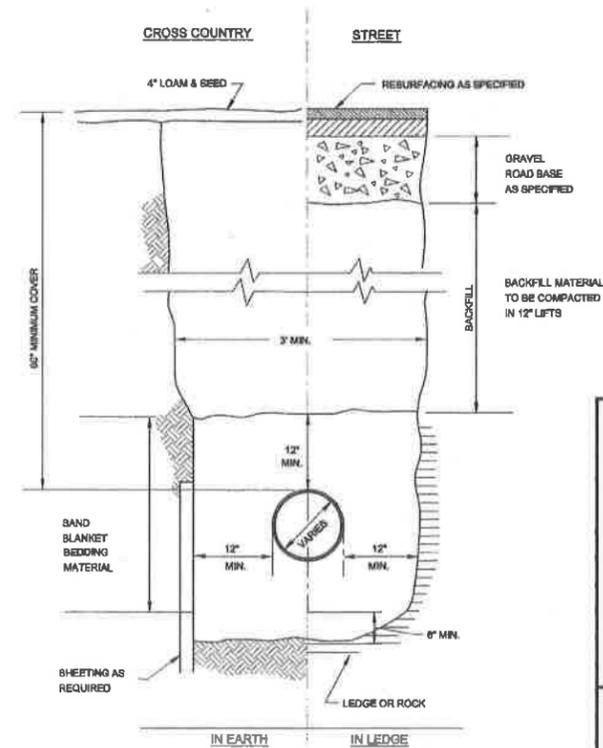
TAPPING SLEEVE AND GATE VALVE DETAIL
NOT TO SCALE



TYPICAL TRENCH SECTION FOR SANITARY SEWER SERVICE
NOT TO SCALE



TYPICAL TRENCH SECTION FOR STORM SEWER SERVICE
NOT TO SCALE



TYPICAL TRENCH SECTION FOR WATER SERVICE
NOT TO SCALE
NOTE: CONFIRM COMPLIANCE WITH PENNICK/WATER

No.	Revision	Drawn by: JRS	Date

Construction Details
Advance Auto Parts
 199 - 201 Lowell Road
 Hudson, NH
 Assessors Map 216 Lot 11

Prepared by:

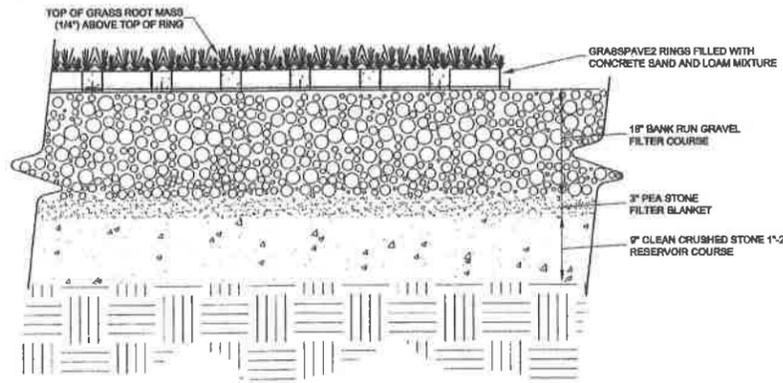
SFC ENGINEERING PARTNERSHIP INC
 66 GOLD LEDGEB AVENUE
 ALBURN, NH 03032
 TEL: 603-617-8700
 FAX: 603-617-8711
 www.sfceng.com

Scale: As Shown Date: 9/16/2013

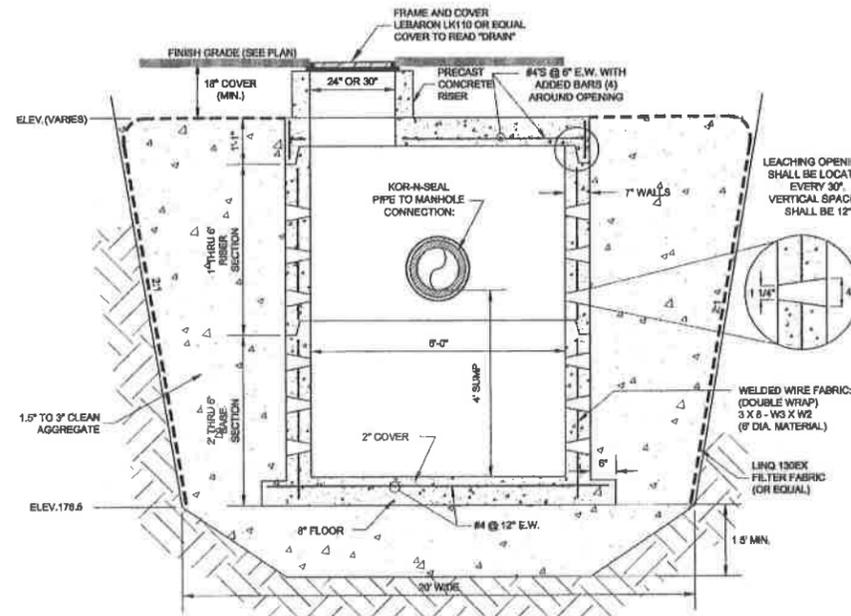
Prepared for:
 Danato Realty Trust
 P.O. Box 4470
 Windham, NH 03087
 (603) 365-1591



Zoning Classification: Business - (B)

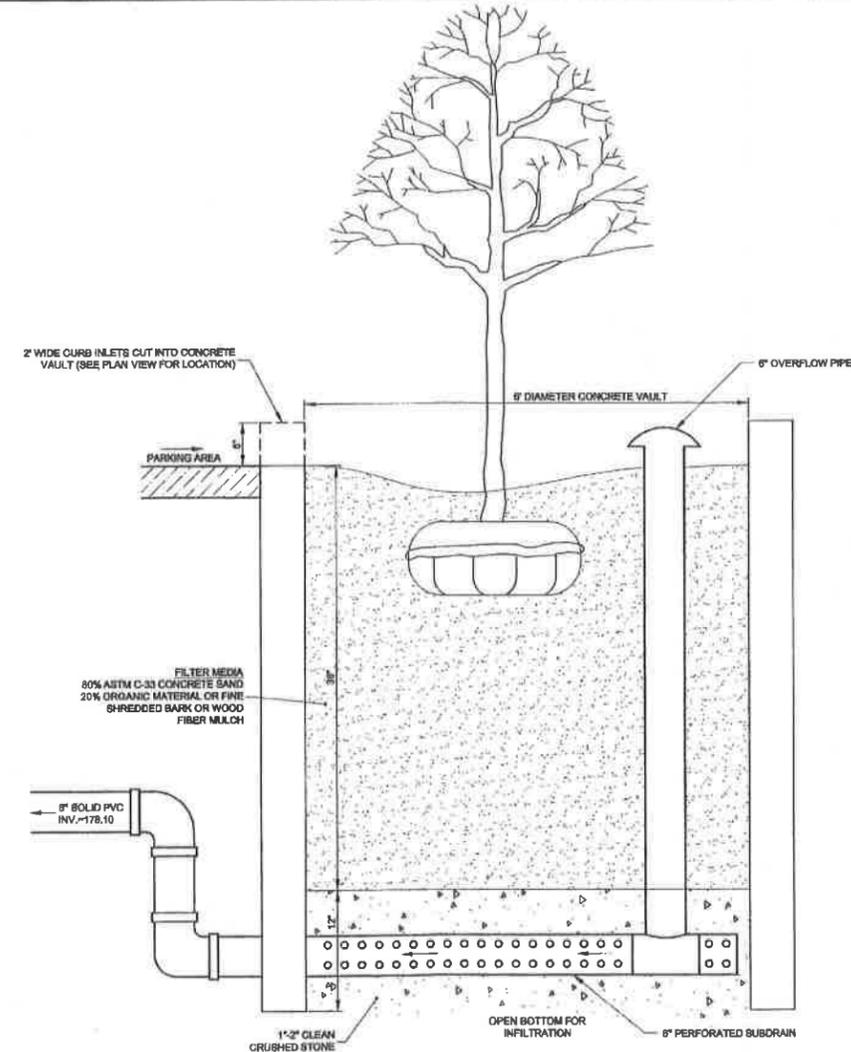


GRASSPAVE2 SECTION DETAIL
NOT TO SCALE

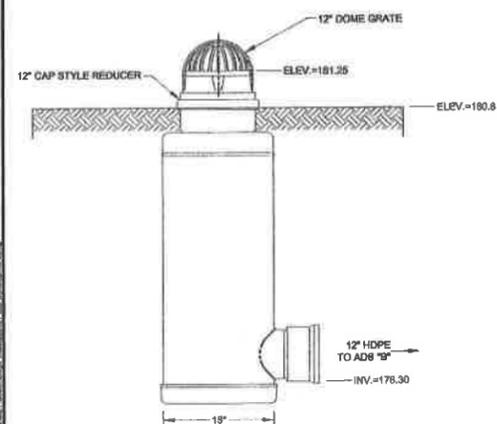


- NOTES:**
1. MANUFACTURED TO MEET OR EXCEED REQUIREMENTS OF ASTM C-478 & AASHTO M-198 SPECIFICATIONS.
 2. CIRCUMFERENTIAL REINFORCING SHALL CONFORM TO ASTM A-195. TOP/BOTTOM SLAB REINFORCING SHALL CONFORM TO ASTM A-615 GRADE 60 DEFORMED BARS. BOTH TO BE PLACED PER ASTM C-478 (8.1, 8.3, 8.4).
 3. CONCRETE: 4,000 PSI MINIMUM @ 28 DAYS, PER ASTM C-478 (8.1). CEMENT TO BE TYPE III, PER ASTM C-150.
 4. DRY WELL TO HAVE 8\"/>

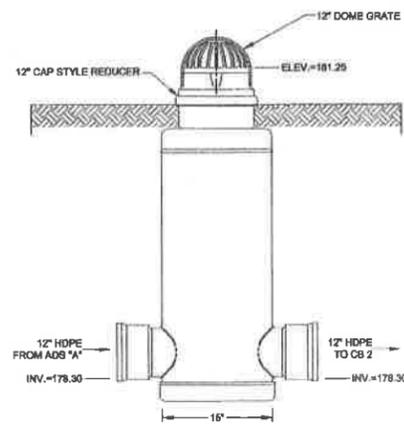
PROPOSED LEACHING BASIN AND INFILTRATION TRENCH DETAIL
NOT TO SCALE



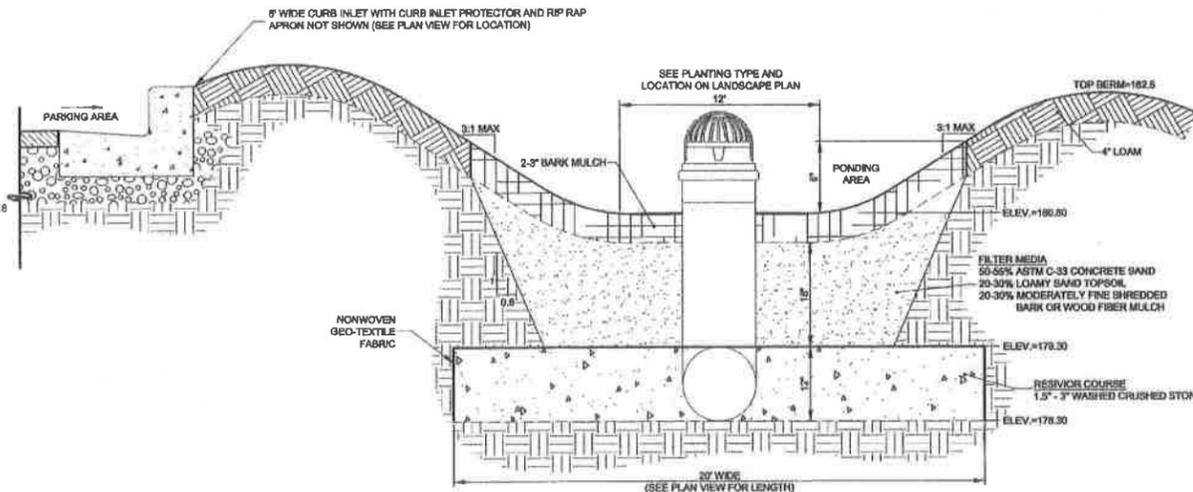
TREE BOX FILTER
NOT TO SCALE



ADS DRAIN BASIN "A"
NOT TO SCALE



ADS DRAIN BASIN "B"
NOT TO SCALE



BIORETENTION AREA SECTION
NOT TO SCALE

No.	Revision	Drawn by	Date
	Designed by: GRF	Drawn by: JRS	Checked by:

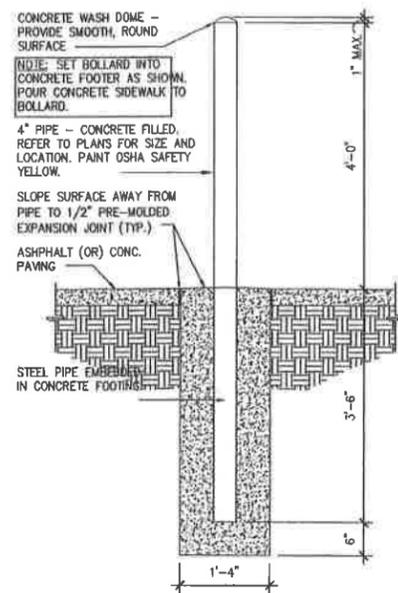
Construction Details
Advance Auto Parts
199 - 201 Lowell Road
Hudson, NH
Assessors Map 216 Lot 11

Prepared by: **SFC ENGINEERING PARTNERSHIP Inc.**
66 GOLD LEDGE AVENUE
ALBURN, NH 03032
TEL. 603-641-8700
FAX. 603-641-8711
www.sfceng.com

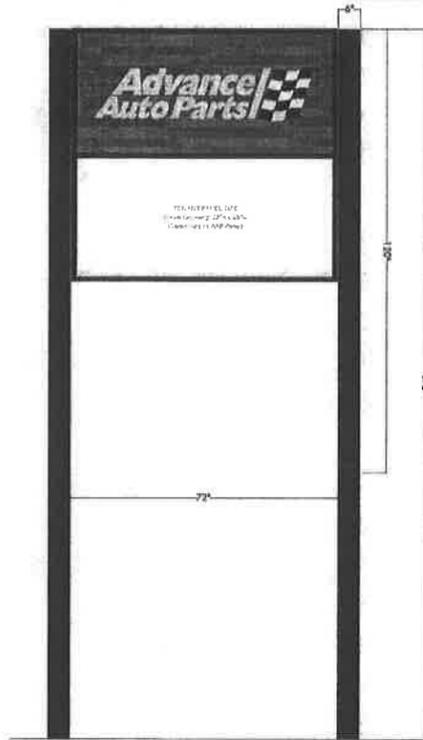
Scale: As Shown Date: 9/16/2013

Prepared for:
Danato Realty Trust
P.O. Box 4470
Windham, NH 03087
(603) 365-1591

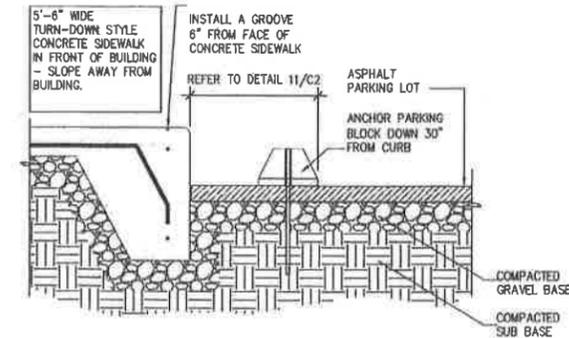
Zoning Classification: Business - (B)



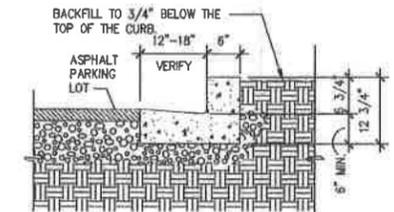
TYPICAL BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



PYLON SIGN
SCALE: NOT TO SCALE

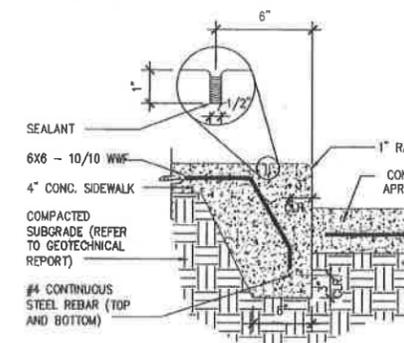


SIDEWALK DETAIL
SCALE: 1" = 1'-0"

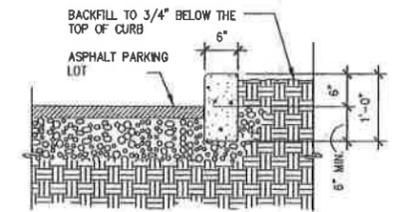


CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI IN 28. CONFIRM WITH GEOGRAPHICAL LOCATION OF THIS PARTICULAR PROJECT.

CURB/GUTTER DETAIL
SCALE: 3/4" = 1'-0"

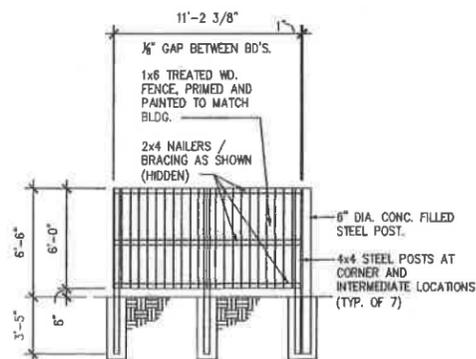


CURB EDGE CONCRETE SIDE WALK
SCALE: 1" = 1'-0"

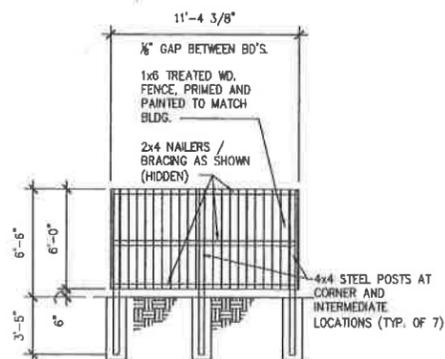


CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI IN 28. CONFIRM WITH GEOGRAPHICAL LOCATION OF THIS PARTICULAR PROJECT.

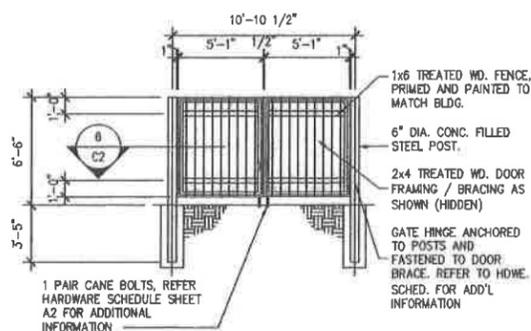
CURB DETAIL
SCALE: 3/4" = 1'-0"



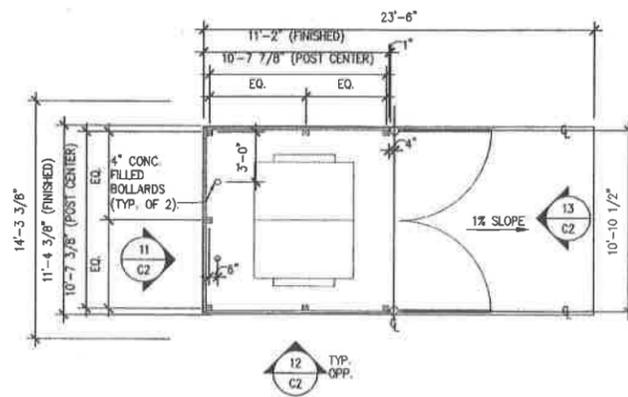
DUMPSTER FENCE ELEVATION
SCALE: 3/16" = 1'-0"



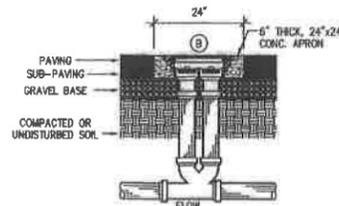
DUMPSTER FENCE ELEVATION (REAR)
SCALE: 3/16" = 1'-0"



DUMPSTER GATE ELEVATION
SCALE: 3/16" = 1'-0"

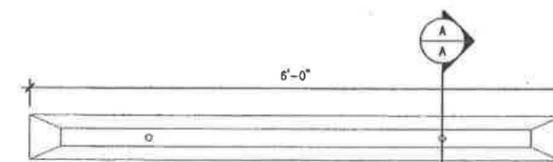


TYPICAL PAD LAYOUT
SCALE: 3/16" = 1'-0"

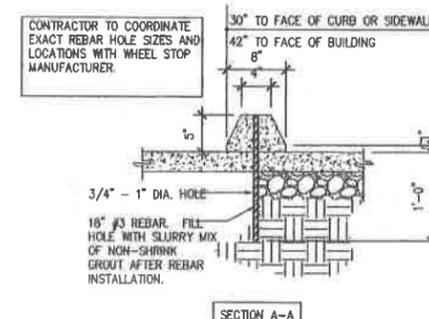


- (A) JOSAM SERIES 58560-22 ACCESS COVER AND CLEANOUT WITH TAPER THREAD BRONZE PLUG SERIES 58540-20 AND "SAN" ON COVER (OR APPROVED EQUIVALENT).
- (B) NEEDHAM MODEL R-6650-0P LIGHT DUTY ACCESS COVER WITH TWO (2) JOSAM SERIES 58190-22 CLEANOUTS WITH TAPER THREAD BRONZE PLUG SERIES 58540-20 (OR APPROVED EQUIVALENT).

EXTERIOR CLEANOUT DETAIL
SCALE: NONE



WHEEL STOP
SCALE: 1" = 1'-0"



WHEEL STOP
SCALE: 1" = 1'-0"

NOTE:
TYPICAL DETAILS ON THIS SHEET ARE PROVIDED BY ADVANCED AUTO PARTS.

No.	Revision	Date
Designed by: GRP	Drawn by: JRB	Checked by: [Signature]

Construction Details
Advance Auto Parts
199 - 201 Lowell Road
Hudson, NH
Assessors Map 216 Lot 11

Prepared by: **SFC ENGINEERING PARTNERSHIP Inc.**
66 GOLD LEDGE AVENUE
AUBURN, NH 03032
TEL: 603-647-8700
FAX: 603-647-8711
www.sfceng.com

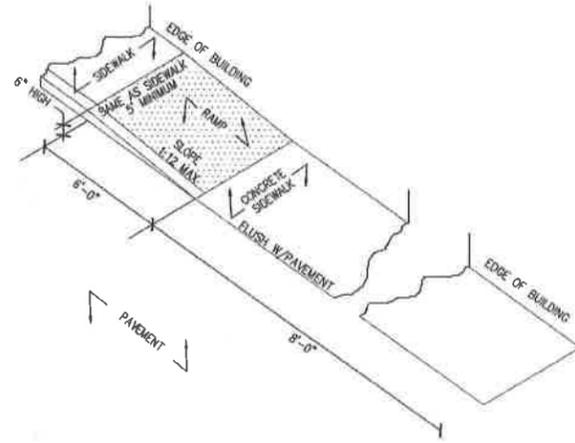
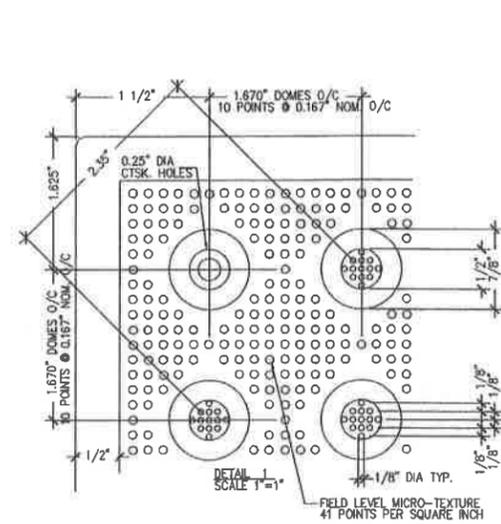
Scale: As Shown Date: 9/18/2013

Sheet 11 of 12

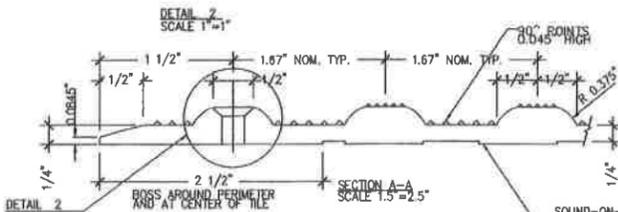
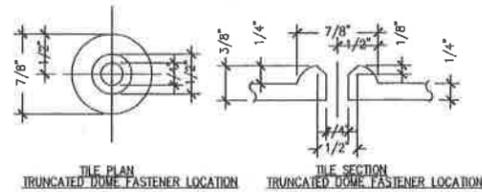
Prepared for:
Danato Realty Trust
P.O. Box 4470
Windham, NH 03087
(603) 365-1591

Zoning Classification: Business - (B)

NOTE:
TYPICAL DETAILS ON THIS SHEET ARE PROVIDED BY ADVANCED AUTO PARTS.



INLINE ACCESSIBLE RAMP DETAIL
SCALE: 1/4" = 1'-0"



WARNING SURFACE TILE
SCALE: N.T.S.

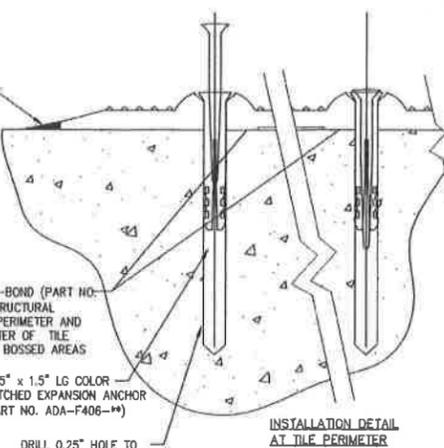
APPLY ARMOR-SEAL (PART NO. ADA-S125) PERIMETER SEALANT AT PERIMETER OF TILE AFTER INSTALLING FASTENERS. TOOL SMOOTH TO BLEND TILE EDGE WITH ADJACENT SURFACE

APPLY ARMOR-BOND (PART NO. ADA-B125) STRUCTURAL ADHESIVE AT PERIMETER AND THROUGH CENTER OF TILE EACH WAY ON BOSSED AREAS

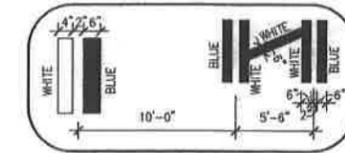
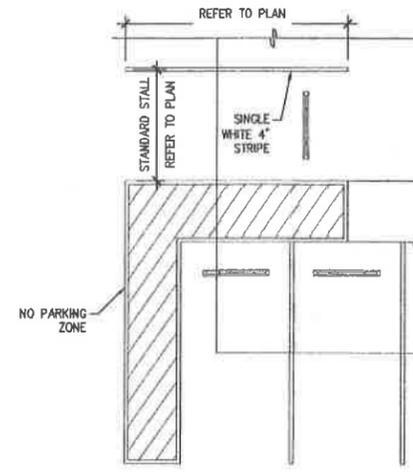
0.25" x 1.5" LG COLOR MATCHED EXPANSION ANCHOR (PART NO. ADA-F406-*)

SOUND-ON-CANE AMPLIFYING SYSTEM TYPICAL THROUGHOUT 0.03" x 0.875" DIA. TYP. @ 1.5"/1.75" O/C OFFSET

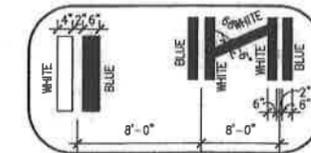
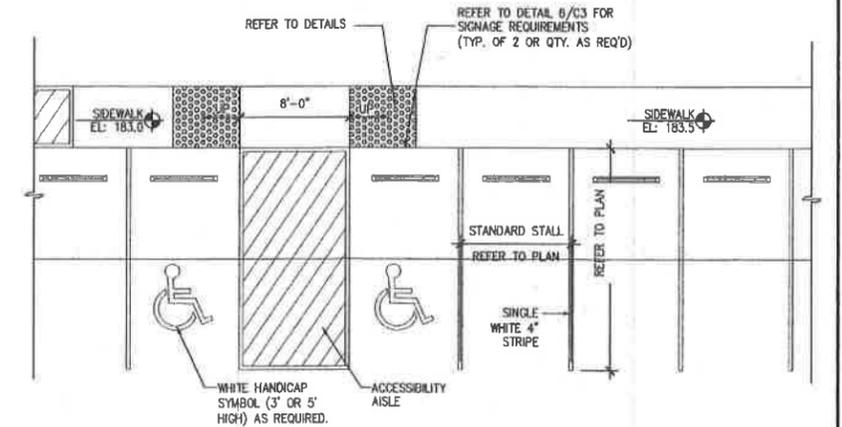
DRILL 0.25" HOLE TO 3.5" DEEP



INSTALLATION DETAIL AT TILE PERIMETER



NO PARKING AREA STRIPING PLAN
SCALE: 1/8" = 1'-0"



ACCESSIBLE STRIPING PLAN
SCALE: 1/8" = 1'-0"

NOTES:
1. ALL LETTERS ARE 1" SERIES 'C' PER 2003 MUTCD.

2. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.

3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.

4. FINE NOTIFICATION SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.

CONTRACTOR SHALL VERIFY FINE AMOUNT AND ORDINANCE NUMBER.

5. ONE (1) SIGN REQUIRED FOR EACH ACCESSIBLE PARKING SPACE.

6. INSTALLED HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. (MUTCD)

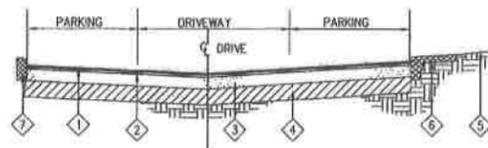
7. SIGN MAY BE MOUNTED ON BUILDING/WALL, AT PROPER HEIGHT, IF ALIGNED WITHIN 12" OF CENTER OF PARKING SPACE.



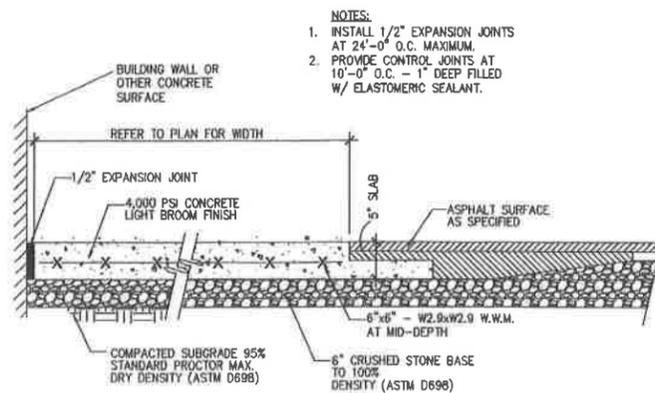
ACCESSIBLE SIGNAGE
SCALE: 1" = 1'-0"

KEY TO TYPICAL PAVEMENT SECTIONS

- 1" TYPE S-III ASPHALTIC CONCRETE - ACCESSIBILITY CODE MIN. MARSHALL STABILITY OF 1500# (1/2" AGGREGATE)
- 2" TYPE S-I ASPHALTIC CONCRETE - ACCESSIBILITY CODE MIN. MARSHALL STABILITY OF 1500# (3/4" AGGREGATE)
- 6" AGGREGATE BASE COURSE STABILIZED TO MEET 75 PSI BEARING VALUE AND COMPACTED TO 98% OF THE MODIFIED PROCTOR MAX. DRY DENSITY (AASHTO T-180) ACCESSIBILITY CODE.
- 9" STABILIZED SUBBASE LIMEROCK BEARING RATIO (LBR) OF 50 PSI AND COMPACTED TO 98% ACCESSIBILITY CODE.
- GRASS AREA
- SIDEWALK
- 6" VERTICAL CURB



TYPICAL PAVEMENT SECTION
SCALE: 1 1/2" = 1'-0"



TYPICAL CONCRETE PAVING - SECTION
SCALE: 1" = 1'-0"

No.	Revision	Date
Designed by: GRP	Drawn by: JHS	Checked by: [Signature]

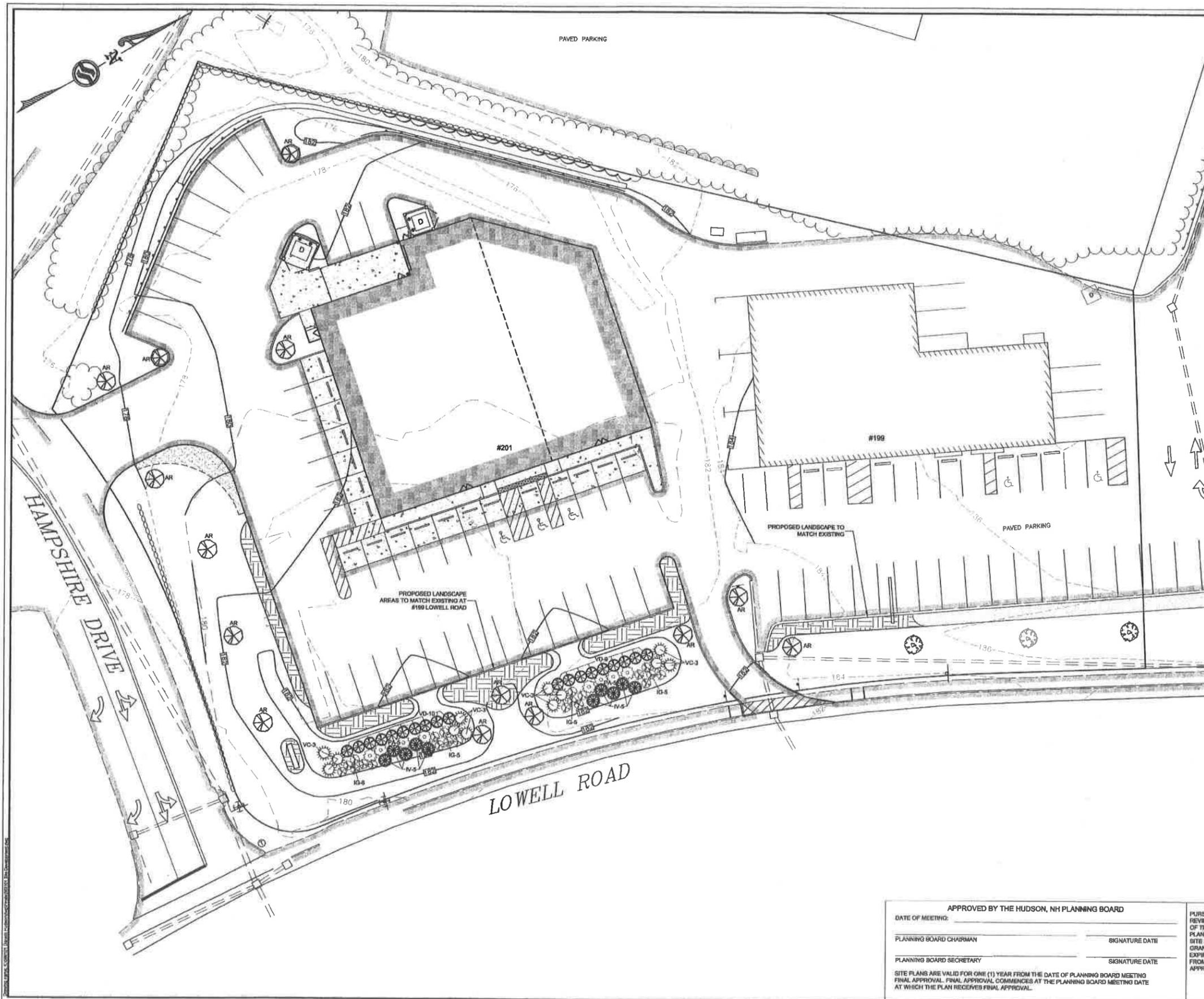
Construction Details
Advanced Auto Parts
199 - 201 Lowell Road
Hudson, NH
Assessors Map 216 Lot 11

Prepared by: **SFC ENGINEERING PARTNERSHIP Inc.**
66 GOLD LEDOR AVENUE
AUBURN, NH 03052
TEL: 603-647-8700
FAX: 603-647-8711
www.sfceng.com

Scale: As Shown Date: 9/16/2013

Prepared for:
Danato Realty Trust
P.O. Box 4470
Windham, NH 03087
(603) 365-1591

Zoning Classification: Business - (B)



- NOTES**
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH TOWN OF HUDSON REQUIREMENTS.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIG SAFE (1-800-384-7233) AT LEAST 72 HOURS PRIOR TO CONSTRUCTION IN ACCORDANCE WITH STATE LAW.

LANDSCAPE LEGEND

SYMBOL	CODE	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
	AR	14	ACER RUBRUM	RED MAPLE	2-1/2" CAL.	B & B
	VD	19	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	2-3 GAL.	CONT.
	IV	10	ILEX VERTICILLATA	WINTERBERRY	2-3 GAL.	CONT.
	VC	12	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	2-3 GAL.	CONT.
	PA	10	PHALARIS ARUNDINACEA	RIBBON GRASS	2 GAL.	CONT.
	IG	21	ILEX GLABRA	INKBERRY	2-3 GAL.	CONT.

	REQUIRED	PROPOSED
TREES	9	14
SHRUBS	72	72



No.	Revision	Date
Designed by: GRF	Drawn by: JRB	Checked by: [Signature]

Landscape Plan
Advance Auto Parts
 199 - 201 Lowell Road
 Hudson, NH
 Assessors Map 216 Lot 11

Prepared by: **SFC ENGINEERING PARTNERSHIP INC.**
 66 GOLD LEDGES AVENUE
 AUBURN, NH 03032
 TEL. 603-647-8700
 FAX. 603-647-8711
 www.sfceng.com

Sheet L1 Scale: 1" = 20' Date: 9/16/2013

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____

PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

Prepared for:

Danato Realty Trust
 P.O. Box 4470
 Windham, NH 03087
 (603) 365-1591

Zoning Classification: Business - (B)

NOTES

- 1) THE PURPOSE OF THIS PLAT IS TO RELOCATE THE PROPERTY LINE BETWEEN TAX MAP 216 LOTS 011 AND 013 AND TO CREATE A TEMPORARY ACCESS EASEMENT THROUGH LOT 13 AND A PERMANENT VEHICULAR TURNING EASEMENT IN THE VICINITY OF THE RELOCATED LOT LINE, AS SHOWN.
- 2) ZONING DISTRICT: B -- BUSINESS DISTRICT
MINIMUM LOT REQUIRED: 30,000 SQ.FT. (WITH PUBLIC WATER AND SEWER)
MINIMUM FRONTAGE REQUIRED: 150 FEET
BUILDING SETBACKS:
FRONT: 50 FEET
SIDE: 15 FEET
REAR: 15 FEET
- 3) THIS PLAN DEPICTS FIELD EVIDENCE AND RECORD EVIDENCE AS LAST OBSERVED JULY OF 2013.
- 4) THIS PARCEL OF LAND (MAP 216 LOT 013) DOES NOT LIE IN A 100-YEAR FLOOD PLAN AS INTERPOLATED FROM DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, TOWN OF DERRY, FLOOD HAZARD BOUNDARY MAP #3301100888D; MAP REVISED 09/25/2009.
- 5) THIS PLAT IS INTENDED TO BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS AND WILL BE ON RECORD AT THE TOWN OF HUDSON, NH PLANNING DEPT.
- 6) THE HORIZONTAL DATUM FOR THIS PLAN IS REFERENCED TO NORTH AMERICAN DATUM (NAD83).
- 7) THIS LOT LINE RELOCATION REQUIRES A WAIVER OF SECTION 275-B(2a) OF THE HUDSON SITE PLAN REVIEW REGULATIONS TO ALLOW EXISTING PARKING AREA WITHIN THE AREA BETWEEN THE SIDE LOT LINE AND THE CORRESPONDING SETBACK LINE.
- 8) THE PERMANENT SLOPE EASEMENTS SHOWN ARE APPROXIMATE BASED ON BOOK 6458 PAGES 1211-1219 AND PLAN OF REFERENCE #3.

PLANS OF REFERENCE

- 1) "CONSOLIDATION AND SUBDIVISION PLAN LOWELL ROAD HUDSON, NH FOR G.G. NASH AND S. TAMPOSI 40 TEMPLE STREET-NASHUA, NH"; SEE HCRD PLAN #13670.
- 2) "EXISTING CONDITIONS ASSESSORS MAP 10 -- LOTS 10 & 11--5; 193 & 199 LOWELL ROAD HUDSON, NEW HAMPSHIRE" PREPARED FOR SUBARU OF NASHUA 107 D W HIGHWAY NASHUA, NEW HAMPSHIRE 03080; PREPARED BY MHF DESIGN CONSULTANTS; SEE HCRD PLAN #18113.
- 3) "GENERAL PLAN"; PREPARED FOR: MHDT; PREPARED BY: SEA CONSULTANTS INC.; PLAN FOUND ON FILE IN THE HUDSON, NH TOWN HALL.

ABUTTERS

MAP 216 LOT 011
DANATO REALTY TRUST
ENKING, DANIEL J., TRUSTEE
193 LOWELL ROAD
HUDSON, NH 03051

MAP 216 LOT 013
DANATO REALTY TRUST
ENKING, DANIEL J., TRUSTEE
193 LOWELL ROAD
HUDSON, NH 03051

MAP 210 LOT 001
TAMPOSI REAL ESTATE DEV. CO.
20 TRAFALGER SQ., #602
NASHUA, NH 03083

MAP 210 LOT 010
PRESENTATION OF MARY COVETT
162 LOWELL ROAD
HUDSON, NH 03051

MAP 216 LOT 002
MERRIMAC REAL ESTATE INV., LLD
203 LOWELL ROAD
HUDSON, NH 03051

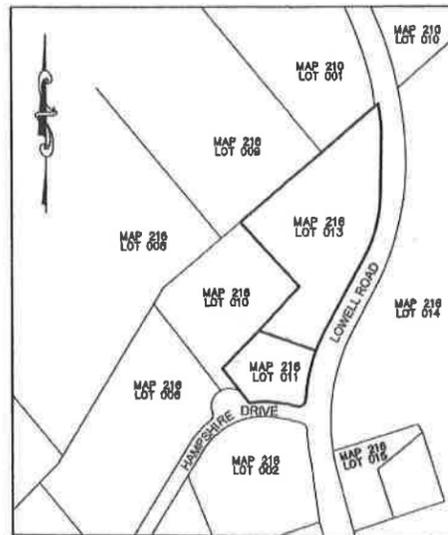
MAP 216 LOTS 008, 009, & 009
NASHI FAMILY INVESTMENT PROP.
91 AMHERST STREET
NASHUA, NH 03084

MAP 218 LOT 010
MICRONOMICS WIRELESS, INC.
28 HAMPSHIRE DRIVE
HUDSON, NH 03061

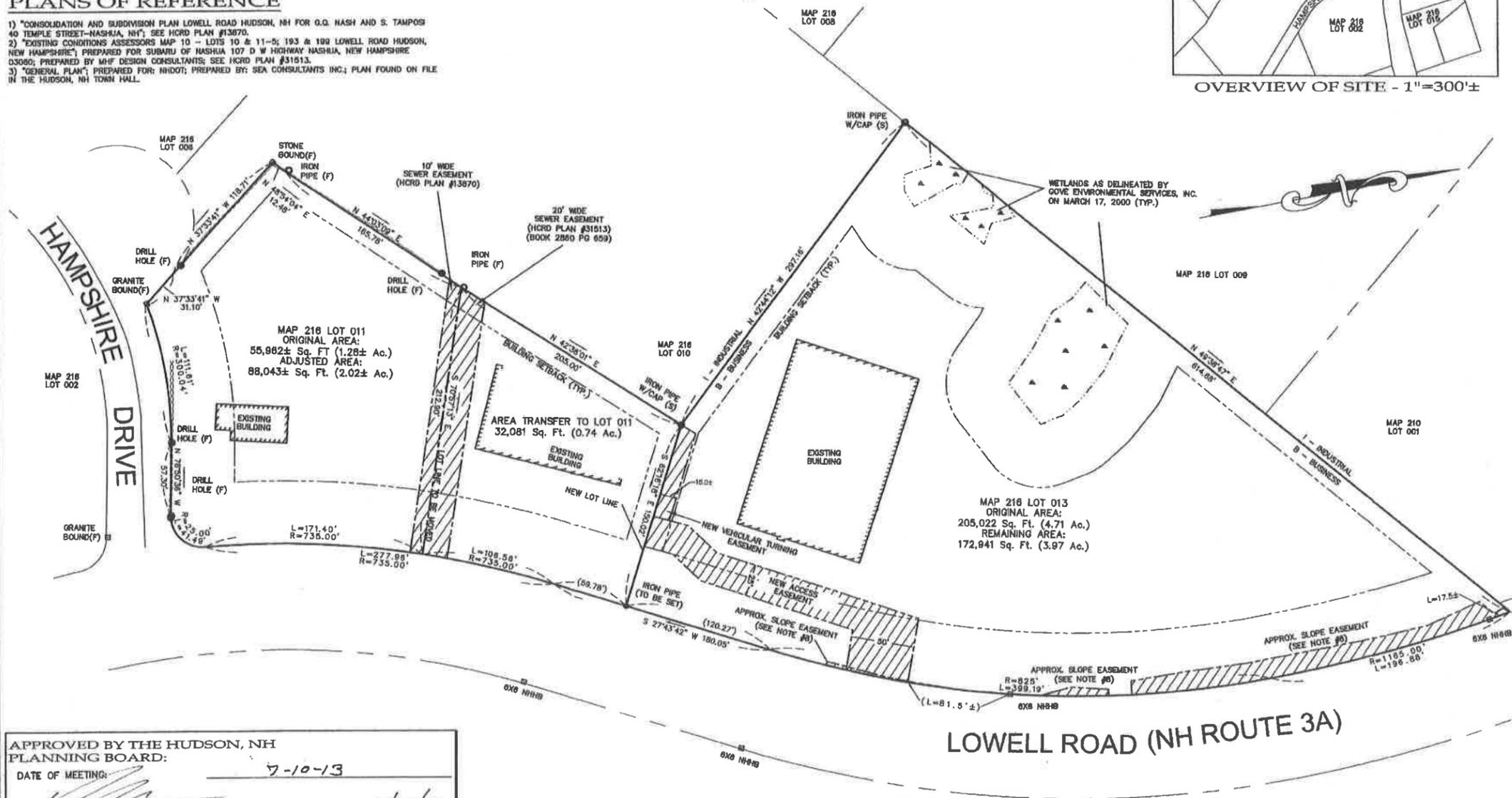
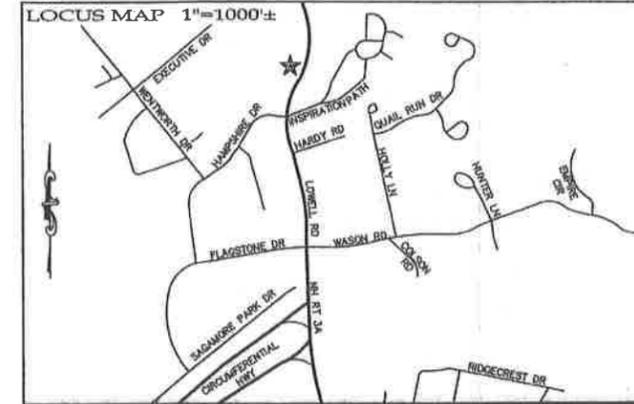
MAP 216 LOT 014
ETCHSTONE PROPERTIES
178 AMHERST STREET
NASHUA, NH 03084

ENGINEER:
SFC ENGINEERING PARTNERSHIP, INC.
ATTN: GEORGE FREDETTE, PE
68 GOLD LEDGE AVE
AUBURN, NH 03032

SURVEYOR:
PROMISED LAND SURVEY
230 ROCKINGHAM ROAD
DERRY, NH 03038

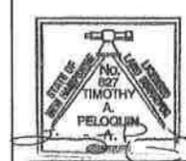


OVERVIEW OF SITE - 1"=300'±



LAND SURVEYOR'S CERTIFICATION

I, TIMOTHY A. PELOQUIN, LLS, HEREBY CERTIFY THAT THIS LOT LINE RELOCATION PLAT WAS PREPARED BY ME, AND/OR OTHERS UNDER MY DIRECT SUPERVISION AND THAT THE FIELD WORK PERFORMED IN THE PREPARATION OF THIS PLAT HAS A LINEAR ERROR OF CLOSURE NO GREATER THAN ONE FOOT IN TEN THOUSAND FEET.



TIMOTHY A. PELOQUIN, LLS
DATE: 08-13-2013

LAND OWNER OF RECORD

DANATO REALTY TRUST
DANIEL J. ENKING, TRUSTEE
HILLSBOROUGH COUNTY REGISTRY OF DEEDS BOOK 6520 / PAGE 2918

SIGNATURE: *[Signature]*
DATE: 8/13/13

**LOT LINE RELOCATION PLAT
MAP 216 LOT 013
193 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
JUNE 11, 2013**

PREPARED FOR:
DANATO REALTY TRUST
DANIEL J. ENKING, TRUSTEE
193 LOWELL ROAD
HUDSON, NH 03051

SCALE: 1"=50' SHEET 1 OF 1

PREPARED BY:

Promised Land Survey, LLC
230 Rockingham Road
Derry, New Hampshire 03038
Tel: (603) 432-2112 • Fax: (603) 432-8800
www.PromisedLandSurvey.com
Land Surveying • Mapping • Planning • Permitting • Layout

APPROVED BY THE HUDSON, NH PLANNING BOARD:
DATE OF MEETING: 7-10-13

CHAIRMAN: *[Signature]* 8/15/13
SECRETARY: *[Signature]* 8/14/13

SUBDIVISIONS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS, AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39

LOT AREA TABLE (AREAS IN ARE SQUARE FEET)

LOT #	TOTAL AREA	INELAND AREA	25% AREA EASEMENT	TEMP EASE	NET AREA
011	88,043	N/A	N/A	0.328	87,715
013	172,941	6,402	15,971±	6,487±	145,081±

*AREA IS BASED ON A MHF GRADING & UTILITIES PLAN IN CONJUNCTION WITH FIELD OBSERVATIONS.

REVISIONS

NO.	DATE	DESCRIPTION	BY
4	08/13/2013	RECONFIGURE LOT LINE RELOCATION	NMM
3	08/01/2013	ADJUSTED RIGHT OF WAY	NMM
2	07/25/2013	ADD LOT AREA TABLE	NMM

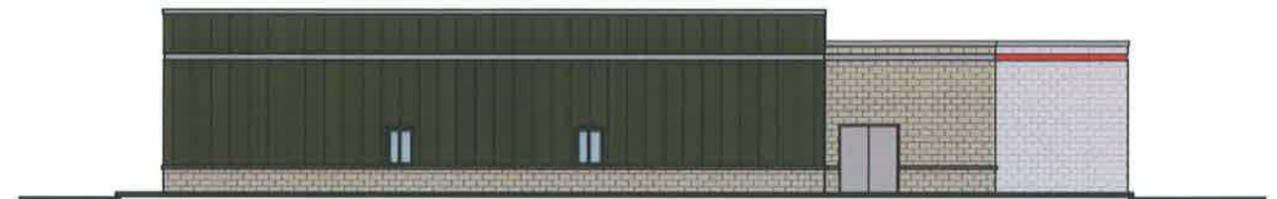
N:\CARLSON\2012\11889\dwg\11889.dwg



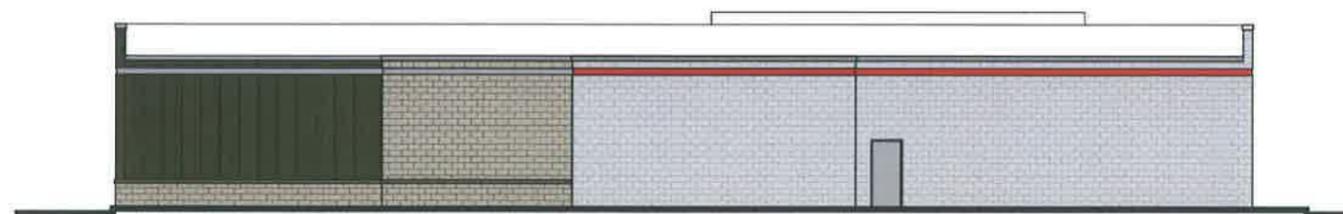
HCRD # 37798



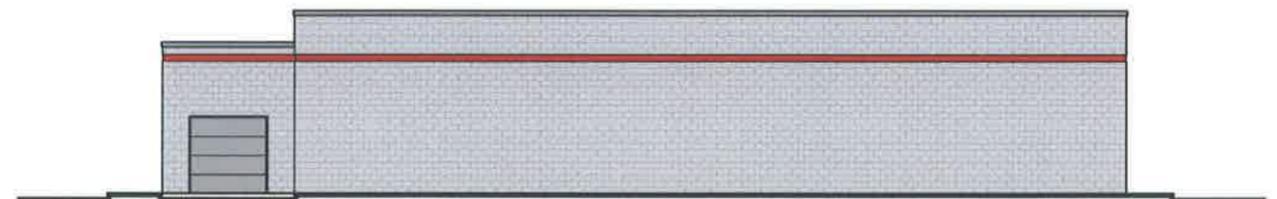
Front Elevation



Right Elevation



Rear Elevation



Left Elevation