

- B. Dunkin Donuts
SP# 04-15
- 14 Brady Drive
Map 105/Lot 019

Purpose of Petition: To request for a 1-year extension for the Approved Site Plan, i.e., a Dunkin Donuts and two commercial rental spaces with all associated site improvements. Application Acceptance and Hearing. Site Plan Originally Approved on 04-09-14.

- C. Burnell Subdivision
SB#04-15
- 41 Spear Road
Map 186/Lot 030

Purpose of Plan: To subdivide existing Lot 30, into new Lot 30, containing 2.985 acres, and new Lot 30-1, containing 1.219 acres. Application Acceptance and Hearing.

XV. OTHER BUSINESS

XVI. ADJOURNMENT

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting.

The public is invited to attend.



John M. Cashell
Town Planner

**PUBLIC MEETING
TOWN OF HUDSON, NH
MAY 13, 2015
(Addendum #1)**

In addition to items already scheduled and posted for review at the May 13, 2015 Planning Board Meeting, the following items are scheduled to be heard:

III. CORRESPONDENCE

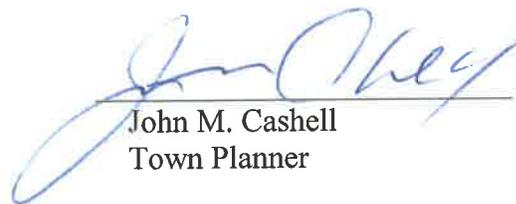
- A. Correspondence received from Town Administrator, Steve Malizia, RE: Solar School Zone Lights Route 102/Alvirne High School

XI. OTHER BUSINESS

- A. Selectman Liaison, Marilyn McGrath, to address the Planning Board, RE: Establishment of a Contribution Fund to be used for 55 and older developments.

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting.

The public is invited to attend.



John M. Cashell
Town Planner

POSTED: Town Hall, Library, Post Office – 05/01/15

Eagles Nest Estates OSD Subdivision

STAFF REPORT

13 May 2015

After I got through writing the below staff report, I received the following communication from the Eagles Nest project eng., Jeffery Merritt, P.E.,

John,

Please consider this a formal request to defer the Eagles Nest Estates subdivision application to the June 10th, 2015 Planning Board meeting. Redesign efforts associated with eliminating the connection to Kara's Crossing Road are significant and more time is needed to complete the redesign and to allow CLD the opportunity to review revised plans before the meeting. Please be aware that the applicants attorney, Andy Prolman, has reached out to Attorney Jed Callen (attorney hired by the residents of Kara's Crossing), to let them know that we have requested this deferral.

As always, please feel free to contact me with any questions.

Best regards,

Jeffrey Merritt, P.E.
Project Manager
Keach-Nordstrom Assoc., Inc.
10 Commerce Park North, Suite 3B
Bedford, NH 03110
(P) 603-627-2881
(F) 603-627-2915
e-mail: jmerritt@keachnordstrom.com

DRAFT MOTION:

I move to defer, pursuant to the Applicant's written request, further review of the Eagles Nest OSD Subdivision, date specific, to the June 10, 2015 Planning Board meeting.

Motion by: _____ Second: _____ Carried/Failed: _____

SITE: Bush Hill Road - Map 186, Lot 24 Map 194, Lots 9 & 10 Map 195, Lot 1 - SB# 02-15

ZONING: G-1

PURPOSE OF PLAN: Proposed 65-lot open space residential development. Project includes a proposed lot-line adjustment between Map 186, Lot 24 and Map 186; Lot 20-4. The newly adjusted Map 186, Lot 24 will be consolidated with Map 194, Lots 9 & 10, Map 195, Lot 1, and Map 201, Lot

7. The consolidated tract will then be subdivided into 65 open-space residential lots. **Deferred Date Specific from the March 11, 2015 Planning Board Meeting.**

PLAN UNDER REVIEW ENTITLED: Open Space Development Eagles Nest Estates, Map 186; Lots 20 – 4 & 24, Map 194; Lots 9 & 10, Map 195; Lot 1 and Map 201; Lot 7, Bush Hill Road, Hudson, NH, prepared by Keach-Nordstrom Associates, Inc. dated: 7 JAN 2015 (no revision date), consisting of Sheets 1 – 98, Sheets L1 – L8, S1 – S5 and Y1 – Y5, together with Notes 1 – 39 on Sheet 2 of 98.

APPLICATION STATUS: At the conclusion of the initial public hearing, held on March 11, 2015, the Planning Board requested the Applicant to revise the plans to show a full street access to Kara's Crossing, and not to include a full nor emergency access to Hawkview Rd. Since that meeting, the Applicant determined that it would be in his best interest to connect a full street access to Hawkview Rd., which connects to Gibson Rd. and then out to Kimball Hill Rd. For the Applicant, this proposal takes into consideration that this later connection provides better and safer access for a through street from Bush Hill Rd. to another town owned street, i.e., Kimball Hill Rd. This is, as opposed to Spear Rd., which, when one travels it, realizes that it is not a street which is suited for any more vehicular travel than it presently exists. Also, last year, the Town's Highway Dept. reconstructed Gibson Rd., to a point where it replicates street construction standards equal to that of Clement Rd., Griffin Rd., Bockes Rd., etc. Further, both Hawkview Rd. and Gibson Rd. have relatively straight layouts, with somewhat less elevation change compared to Spear Rd.

To the effect of the above, at Wednesday night's meeting, the Applicant's representatives would like to explain to the board and interested parties the merits involved with their above-described proposed street connection proposal. However, since they have not yet received input from Kevin Burns concerning this proposed connection, ultimately for Wednesday night, after their presentation and answering questions, they will seek a deferment, date specific, until May 27th or June 10th. A DRAFT MOTION to this effect is provided below. Note: Kevin is due back from his recent hip surgery in a couple of weeks.

DRAFT MOTION:

I move to defer further review of the Eagles Nest OSD Subdivision, date specific, to the May 27 or June 10, 2015 Planning Board meeting.

Motion by: _____ Second: _____ Carried/Failed: _____

RHM International, LLC Site Plan 29 Flagstone Drive

STAFF REPORT
13 May 2015

SITE: 29 Flagstone Drive Map 221/Lot 001 SP# 03-15

ZONING: Industrial (I)

PURPOSE OF PLAN: To construct a 1-story, 10,000 square foot building addition along with minor accompanying site improvements. Application Acceptance and Hearing.

PLAN UNDER REVIEW ENTITLED: Proposed Building Addition, 29 Flagstone Drive, Hudson, NH, Map 221/Lot 1, prepared by HSI Hayner/Swanson, Inc., dated: 13 April 2015 and revised thru 30 April 2015, consisting of a Cover Sheet, Sheets 1 – 7 and Notes 1 – 22 (said plans attached hereto).

ATTACHMENTS:

- 1) Project Narrative, Site Plan Application, Checklist and Waiver Forms, including a building photos, aerial/locus site photo and proposed building elevation print date stamped 13 APR 2015 – Attachment “A”.
- 2) CLD’s Initial Comments Report, including Application Checklist, dated 28 APR 2015 – “B”.
- 3) HSI, Inc. Response Letter to CLD’s above-cited Initial Comments Report dated 1 MAY 2015 – “C”.
- 4) Comments/Memos from Road Agent, Kevin Burns, HFD Deputy Fire Chief, John O’Brien, , and Asst. Assessor – “D”.
- 5) CAP Fee Worksheet – “E”.

REQUESTED WAIVERS:

1. HTC 275-8(B)(26)(G) – Minimum Number of Required Parking Spaces
2. HTC 2758(B)(30)(a) - Minimum Number of Required Loading Spaces
3. HTC 275-8(B)(31) - Landscape Plan
4. HTC 275-9(B) - Traffic Study
5. HTC 275-9(D) - Fiscal and Environmental Impact Study
6. HTC 275-9(C) - Noise Study

STAFF COMMENTS/OUTSTANDING ISSUES:

- 1) Please read the Project Narrative, which accurately depicts the project site, existing conditions, proposed addition and a comprehensive description of RHM International, LLC.
- 2) In accordance with HIS, Inc’s. attached Response Letter, “C”, all of CLD’s Outstanding Comments, included as Attachment “B”, have been addressed or a waiver has been requested for the outstanding item. NOTE: CLD’s 2d Comments Report is pending as of this writing, but is expected in time for the Meeting.
- 3) All Town staff comments, cited in Attachment “D”, have also been addressed or will be addressed prior to the issuance of the foundation plan and building permit.

- 4) Please note, the 68 ft. height of the proposed addition, which exceeds the 38 ft. limit, received a variance form the ZBA. Please see the subject Variance Decision, included in the Zoning Administrator's comments "D".
- 5) With this project involving only a rear addition to a well established and attractive building and site exterior, having mature landscaping and adequate parking and loading spaces, etc. appropriate waivers have been requested regarding same. This includes exterior lighting, which already exists, with only 1 exterior light and stanchion, located in the rear of the building, being relocated within the same vicinity. In regard to the waivers and depiction of these items, please refer to the Master Site Plan, Sheets 1 and 3 of 7. All other important site features and construction details are clearly depicted on the Plan set.
- 6) The proposed stormwater drainage plans and structural improvements regarding same, have been favorably reviewed by CLD, and these features are clearly depicted on Sheets 1, 3 5 – 7 of the Plan set.
- 7) Fire Dept. comments have also been addressed by the Applicant. Please refer to Attachment "D", to see the Fire Dept. comments, which are reflected on the Site Plans.

RECOMMENDATION: Before starting this recommendation, I would first like to say that the Sagamore Industrial Park, and Hudson, in general, proved to be the right location (over many other competing locations throughout the country) for HMS International to locate its first U.S. manufacturing and testing facility. After reviewing various site locations for over a year, and after receiving a height variance from the Zoning Board of Adjustment, this cutting-edge, high-voltage manufacturing company is ready to come before the Planning Board for Site Plan Review.

Taking the abovementioned outstanding issues/comments into consideration, and the fact that this application is ready for application acceptance, for Wednesday night's initial public hearing staff recommends:

- (i) Board vote for application acceptance;
- (ii) Open and conduct the public hearing;
- (iii) Allow the applicant to present the project and address all of the issues involved in this application, including those cited-above and in CLD's attached Comments Reports "B" & "C", as well as your own.
- (iv) Hear any pro/con public input, and if there is no objection, move to approve the Requested Waivers and Site Plan Application.

APPLICATION TRACKING:

- 04/13/2015 - Site Plan Review Application submitted.
- 05/13/2015 - Initial public hearing scheduled.

DRAFT MOTIONS:

I move to accept the Site Plan application for the RHM International, LLC, located at 29 Flagstone Drive, Map 221/Lot 001.

Motion by: _____ Second: _____ Carried/Failed: _____.

I move to defer further review of the RHM International, LLC Site Plan Application, date specific, to the May 27, 2015 Planning Board Meeting.

Motion by: _____ Second: _____ Carried/Failed: _____.

REQUESTED WAIVERS:

1. HTC 275-8(B)(26)(G) – Minimum Number of Required Parking Spaces
2. HTC 2758(B)(30)(a) - Minimum Number of Required Loading Spaces
3. HTC 275-8(B)(31) - Landscape Plan
4. HTC 275-9(B) - Traffic Study
5. HTC 275-9(D) - Fiscal and Environmental Impact Study
6. HTC 275-9(C) - Noise Study

1) HTC 275-8(B)(26)(G) – Minimum Number of Required Parking Spaces

I move to grant the requested waiver: HTC 275-8(B)(26)(G) – Minimum Number of Required Parking Spaces – because the Applicant has presented testimony to the effect that the proposed number of parking spaces will be sufficient to accommodate onsite parking needs, and there is sufficient onsite reserve parking area to provide additional parking capacity if the need arises in the future, and as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan Review regulations.

Motion by: _____ Second: _____ Carried/Failed: _____.

2) HTC 2758(B)(30)(a) - Minimum Number of Required Loading Spaces

I move to grant the requested waiver: HTC 2758(B)(30)(a) - Minimum Number of Required Loading Spaces - because the Applicant has presented testimony to the effect that the proposed number of loading spaces will be more than adequate to accommodate the shipping and receiving needs for the proposed business, and as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan Review regulations.

Motion by: _____ Second: _____ Carried/Failed: _____.

3) HTC 275-8(B)(31) - Landscape Plan

I move to grant the requested waiver: HTC 275-8(B)(31) - Landscape Plan - because this is an existing developed industrial site, having mature and well-maintained landscaping which does not require modification nor a plan submitted to depict same, and as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan Review regulations.

Motion by: _____ Second: _____ Carried/Failed: _____.

4) HTC 275-9(B) - Traffic Study

I move to grant the requested waiver HTC 275-9B - Traffic Study - because the proposed addition and associated number of vehicle trips regarding same will not adversely impact existing traffic conditions within the subject locus, and as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan Review regulations.

Motion by: _____ Second: _____ Carried/Failed: _____.

2) HTC 275-9C – Noise Study

I move to grant the requested waiver: HTC 275-9C - Noise Study - because such a study is unnecessary, taking into consideration that the noise associated with the proposed industrial use will not exceed the previous use of this site, nor that of similar abutting industrial/commercial uses, and as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan Review regulations.

Motion by: _____ Second: _____ Carried/Failed: _____.

3) HTC 275-9D – Fiscal Impact Study

I move to grant the requested waiver: HTC 275-9D - Fiscal Impact Study - because in addition to the submitted plans and submitted application documents, said study is unnecessary in order to evaluate the fiscal impact of this development, and as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan Review regulations.

Motion by: _____ Second: _____ Carried/Failed: _____.

MOTION to APPROVE:

I move to grant approval for the Site Plan entitled: Proposed Building Addition, 29 Flagstone Drive, Hudson, NH, Map 221/Lot 1, prepared by HSI Hayner/Swanson, Inc., dated: 13 April 2015 and revised thru 30 April 2015, consisting of a Cover Sheet, Sheets 1 – 7 and Notes 1 – 22, in accordance with the following terms and conditions:

- 1) All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record (hereinafter referred to as the Plan).
- 2) Prior to the Planning Board endorsement of the Plan, the Development Agreement, together with any applicable easement deeds shall be favorably reviewed and recommended on by Town Counsel.
- 3) All improvements shown on the Plan, including Notes 1- 22, shall be completed in their entirety and at the expense of the Applicant or his assigns.

- 4) After the issuance of foundation permit for the structure and prior to the issuance of framing permit, the applicant shall submit to the Hudson Community Development Department a foundation "As- Built" plan on a transparency and to the same scale as the approved site plan. The foundation "As-Built" plan shall include all structural dimensions and lot line setback measurements to the foundation and be stamped by a licensed land surveyor. Any discrepancy between the approved site plan and foundation "As-Built" plan shall be documented by the applicant and be part of the foundation "As-Built" submission.
- 5) Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms with the Planning Board approved Plan.
- 6) This approval shall be subject to final engineering review.

Motion by: _____ Second: _____ Carried/Failed: _____

Note: All pertinent terms and conditions of approval not listed in the above-cited DRAFT MOTION are included in the Plan Notes 1 – 22 of the Master Site Plan, Sheet 1 of 7.

29 FLAGSTONE DR. "A"

PROJECT NARRATIVE

(Revised May 1, 2015)

ORIGINAL SUBMITTED 13 APR 15

The project area under consideration for this application is located at 29 Flagstone Drive in Hudson, NH. The site is known to the Hudson Assessors Department as Map 221, Lot 1. The parcel is located in Hudson's I-Industrial zoning district. The location of this property is in the southern end of the Sagamore Industrial Park. Commercial and industrial properties abut the 4.57 acre site on all sides and across the street. In general, the properties in the vicinity of this site are a mix of commercial and industrial businesses.

The site currently contains a 44,166 square foot building that has been used, most recently, by Atrium Medical Corporation, a medical device manufacturer. Atrium primarily used this building for warehousing and shipping. This facility contained approximately 20 employees and an estimated 5 truck trips per day. As can be seen on the site drawings the property has two curb cuts onto Flagstone Drive and 74 parking spaces around three sides of the building. The loading area for this facility exists behind the building. The property has 49.6% open space, which exceeds the required 35%. The building is currently serviced by municipal sewer and water along with telephone, electric and gas utilities. With regard to stormwater, the paved areas and roof appear to drain in a southwesterly direction into an existing water course that flows in a northwesterly direction into the nearby Merrimack River.

RHM International, LLC of Brookline, Massachusetts is proposing to purchase this building to create a United States based manufacturing facility for their high-voltage products. By way of introduction RHM International has an innovative, time tested technology already deployed in other parts of the world that addresses the urgent power grid infrastructure transmission efficiency and reliability problems. These issues are some of the most urgent energy related problems facing our country today, especially the New England region.

RHM currently has a manufacturing facility in Beijing, China and they are anxious to expand their business by creating a facility here in America. The

improvements to this property that are needed to accomplish this goal are relatively minor. The existing building is in very good shape and will be used as part of the office/manufacturing/warehousing components of the RHM business. Since the high-voltage power business is a regulated industry, RHM is proposing a building addition that will be used to test all of their manufactured products. In the southwest corner of the site a 10,000 square foot addition is proposed. This addition, which will require the demolition of approximately 4358 square feet of the existing structure (therefore creating only a 5642 square foot increase in building floor area), will be used to test the products manufactured at this facility. The addition will be 65-feet in height. A description of the testing operation within the proposed addition is as follows:

All high voltage equipment used in power grids are defined, certified and tested according to international standards so as to be compatible when linked together and to limit their potential impact (human and economy-wise) in case of failure. The 2 main standards are in the US the IEEE association (Institute of Electric and Electronics Engineers) and the IEC (International Electrotechnical Commission) for most of the rest of the world. One can understand why a strong regulation is needed for such equipment when seeing the impact of catastrophic failures in creating dramatic outages.

One aspect of those standards is the requirement to conduct a 100% end of manufacturing series of non-destructive tests to validate the margin of the electrical insulation of the equipment before shipping. In other terms, it is a way to validate that a particular unit has the minimum margin of operation required by the related standard.

Those series of tests record the behavior of the product when subjected to overvoltage, transient signals and detect as well any minute signals (noise) that would be generated by micro defects in the core insulation.

Both the imposition of larger voltages and the recording of minute signals require total non-interference from the testing environment; otherwise some of the recordings would be meaningless.

To ensure this there are 2 configurations used: (1) a large space is used around the product tested and its testing gear as air is an insulator in itself (and explaining why a high ceiling is needed) and (2) All walls and floor of the test area are encompassed in a Faraday cage to ensure that electrical power, signal and noise are not coming in or going out of the testing zone and thus distorted.

The Faraday cage is an enclosure formed by conductive material or by a mesh of such material. Such an enclosure blocks external static and non-static electric fields by channeling electricity along and around, but not through, the mesh, providing constant voltage on all sides of the enclosure. Since the difference in voltage is the measure of electrical potential, no current flows through the space. Faraday cages are named after the English scientist Michael Faraday, who invented them in 1836.

In our cage the mesh is by design fully grounded through the floor. The metal mesh is grounded to dissipate any electric currents generated from external or internal electromagnetic fields, and thus they block most of the electromagnetic interference.

This classic electrical structure is used everywhere at different size, from protecting electronics in our laptop, to preventing radiation to come out of our microwave ovens when we cook. In short this is an efficient passive protection that is always on to ensure neutral electrical environments.

The other site improvements associated with this project include minor paving improvements behind the proposed addition in order to provide life-safety access around the entire site. There are no new utilities needed to service the project and it is felt that the current utilities servicing this building are adequate for RHM's needs. RHM intends on opening this facility with 10 employees and they hope to have approximately 40 employees occupy this building by the end of 2020. The hours of operation for the business would be Monday-Friday from approximately 6 AM to 6 PM. There is little trucking associated with the proposed use of this site. As mentioned above there are approximately 74 parking existing spaces on this property, the proposed addition will eliminate approximately 20 spaces, leaving 54 stalls. This should be ample to meet RHM's parking needs; however, a waiver from the Hudson Planning Board is being requested. Given the number of employees and the light truck traffic for this proposed use, there is no significant impact to local traffic. Impacts to local schools as a result of this project are not anticipated.

Based on its close evaluation of the building and site at 29 Flagstone Drive RHM International has confirmed that this property will work with its proposed modifications. Furthermore, they believe that Hudson is the right town for their business and that 29 Flagstone Street is a good platform for RHM International to accomplish its goals.

Account.

PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE



Date of Application: April 13, 2015 Tax Map # 221 Lot # 1

Name of Project: Proposed Building Addition

Zoning District: _____ General SP# _____
(For Town Use) (For Town Use)

ZBA Action: Variance to exceed Maximum Building Height (4/23/15 ZBA meeting)

PROPERTY OWNER:

DEVELOPER:

Name: Atrium Medical Corporation

RHM International, LLC

Address: 5 Wentworth Drive

280 Clark Road

Address: Hudson, NH 03051

Brookline, MA 02445

Telephone # (603) 880-1433

(978) 761-7289

Fax # (603) 880-4545

(617) 608-0274

Email: kirk.roth@maquet.com

eric.euvrard@rhmintl.com

PROJECT ENGINEER

SURVEYOR

Name: James N. Petropulos, P.E.

Paul Liversidge, L.L.S., P.L.S.

Address: 3 Congress Street

3 Congress Street

Address: Nashua, NH 03062

Nashua, NH 03062

Telephone # (603) 882-2057 ext. 129

(603) 882-2057 ext. 153

Fax # (603) 883-5057

(603) 883-5057

Email: jpetropulos@hayner-swanson.com

pliversidge@hayner-swanson.com

PURPOSE OF PLAN:

It is proposed to construct a 1-story, 10,000 square foot building addition along with minor accompanying site improvements.

Plan Routing Date: <u>4-15-15</u>	<i>For Town Use</i>	<u>PB meeting</u>
	Sub /Site Date: <u>5-13-15</u>	
<input type="checkbox"/> I have no comments <input type="checkbox"/> I have comments (attach to form)		
(Initials)	Title: _____	Date: _____
DEPT: _____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning _____ _____ Consultant _____ Highway Department		
Fees Paid: _____		

SITE DATA SHEET

PLAN NAME: Proposed Building Addition

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 221 LOT 1

DATE: April 13, 2015

Location by Street 29 Flagstone Drive

Zoning: I: Industrial

Proposed Land Use: Manufacturing

Existing Use: Manufacturing

Surrounding Land Use(s): Industrial/Commerical

Number of Lots Occupied: 1

Existing Area Covered by Building: 44,166 SF

Existing Buildings to be removed: 4,358 SF

Proposed Area Covered by Building: 49,808 SF

Open Space Proposed: 49.6%

Open Space Required: 35%

Total Area: S.F.: 199,129 Acres: 4.571

Area in Wetland: 5,638 SF Area Steep Slopes: 18,519 SF

Required Lot Size: 30,000 SF

Existing Frontage: 300 FT

Required Frontage: 150 FT

Building Setbacks:	<u>Required*</u>	<u>Proposed</u>
Front:	<u>50 FT</u>	<u>50.0 FT</u>
Side:	<u>15 FT</u>	<u>37.8 FT</u>
Rear:	<u>15 FT</u>	<u>134.4 FT</u>

**SITE PLAN DATA SHEET
(Continued)**

Flood Zone Reference: FEMA Map 33011C0656D, Date 9/25/09

Width of Driveways: 24+/- FT (Existing)

Number of Curb Cuts: 2 (Existing)

Proposed Parking Spaces: 55 spaces

Required Parking Spaces: 83 spaces

Basis of Required Parking (Use): Industrial (1 space/600 SF)

Dates/Case #/Description/Stipulations
of ZBA, Conservation Commission,
NH Wetlands Board Actions: ZBA Variance for Maximum Building Height (4/23/15 meeting)
(Attach stipulations on separate sheet)

Hudson Town Code

<u>Waivers Requested:</u>	<u>Reference</u>	<u>Regulation Description</u>
_____	1. <u>275-8(26)(G)</u>	<u>Min. Required Parking Spaces</u>
_____	2. <u>275-8(31)</u>	<u>Landscape Plan</u>
_____	3. <u>275-9(B)</u>	<u>Traffic Study</u>
_____	4. <u>275-9(C)</u>	<u>Noise Study</u>
_____	5. <u>275-9(D)</u>	<u>Fiscal/Environmental Impact Study</u>
_____	6. _____	_____
_____	7. _____	_____
_____	8. _____	_____

(Left column for Town Use)

Impact Fees:
C.A.P Fee: 5,642 SF x \$1.08/SF = \$6,093.36

Development Agreement
Proposed: Pending

<i>For Town Use</i>	
Data Sheet Checked By: _____	Date: _____

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Thirty (30) days prior to Planning Board Meeting, a complete site plan to include all supporting materials/documents must be submitted in final form. The site plan shall comply with the following specifications/requirements:

Applicant Initials		Staff Initials
<u>JNP</u>	a) Submission of nine (9) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M., Tuesday the week prior to the scheduled public hearing/conceptual review date.	_____
<u>JNP</u>	b) A Site Plan narrative, describing the purpose, locations, long-range plans, impacts on traffic, schools, and utilities	_____
<u>JNP</u>	c) Plan scale at not less the one inch equals fifty feet (1" = 50')	_____
<u>JNP</u>	d) Locus plan with 1,000' minimum radius of site to surrounding area	_____
<u>JNP</u>	e) Plan date by day/month/year	_____
<u>JNP</u>	f) Revision block inscribed on the plan	_____
<u>JNP</u>	g) Planning Board approval block inscribed on the plan	_____
<u>JNP</u>	h) Title of project inscribed on the plan	_____
<u>JNP</u>	i) Names and addresses of property owners and their signatures inscribed on the plan	_____
<u>JNP</u>	j) North point inscribed on the plan	_____
<u>JNP</u>	k) Property lines: exact locations and dimensions	_____
<u>JNP</u>	l) Square feet and acreage of site	_____
<u>JNP</u>	m) Square feet of each building (existing and proposed)	_____
<u>JNP</u>	n) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan.	_____

Applicant
Initials

Staff
Initials

- JMP o) Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve areas, floodways/floodplains, driveways, travel areas, parking areas and natural features within 200 feet of the tract _____
- JMP p) Locations of existing and proposed permanent monuments and bench marks within 200 feet of the development tract _____
- JMP q) Pertinent highway projects _____
- JMP r) Assessor's Map and Lot number(s) _____
- JMP s) Waiver application form shall be submitted with the site plan application, note on plan listing waivers requested/granted; and all waivers granted to the site plan regulations shall be listed on the final plan; waivers to checklist shall be reduced to writing and be signed by the Planning Board Chairman and Planning Board Secretary and recorded with the plan _____
- JMP t) Delineate zoning district on the plan _____
- JMP u) Storm water drainage plan _____
- JMP v) Topographical elevations at 2-foot intervals contours: existing and proposed _____
- JMP w) Utilities: existing and proposed _____
- JMP x) Parking: existing and proposed _____
- JMP y) Parking space: length and width _____
- JMP z) Aisle width/maneuvering space _____
- JMP aa) Landscaping: existing and proposed (WAIVER) _____
- JMP ab) Building and wetland setback lines _____
- JMP ac) Curb cuts _____
- JMP ad) Rights of way: existing and proposed _____
- JMP ae) Sidewalks: existing and proposed _____
- JMP af) Exterior lighting plan _____
- JMP ag) Sign locations: size and design _____
- JMP ah) Water mains and sewerage lines _____
- JMP ai) Location of dumpsters on concrete pads _____
- JMP aj) All notes from plats _____

Applicant
Initials

Staff
Initials

- JNP ak) Buffer as required by site plan regulations _____
- JNP al) Green and open space requirements met with both types of spaces
inscribed on the plan _____
- JNP am) Soil types and boundaries, Note: If site contains marginal or questionable
soils, a High Intensity Soil, Survey (HISS) may be deemed necessary to
submit as part of the application. Said HISS, if required, shall be performed
by a State of New Hampshire Certified Soil Scientist, who shall affix his/
her stamp and signature shall be inscribed on the plan. _____
- JNP an) Wetlands (and poorly-drained and very poorly-drained soils, also identified
as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and
permanent and seasonal wetlands shall be identified on the plan by a New
Hampshire certified wetland or soil scientist, who shall affix his/her stamp
and signature to the respective plan. _____
- JNP ao) "Valid for one year after approval" statement inscribed on the plan. _____
- JNP ap) Loading bays/docks _____
- JNP aq) State of New Hampshire engineer's stamp, signature, surveyor's stamp,
and signature _____
- JNP ar) Error of closure (1 in 10,000 or better) _____
- JNP as) Drafting errors/omissions _____
- JNP at) Developer names, addresses, telephone numbers and
signatures _____
- JNP au) Photographs, electronic/digital display or video of site and area _____
- JNP av) Attach one (1) copy of the building elevations _____
- JNP aw) Fiscal impact study (Waiver) _____
- JNP ax) Traffic study (Waiver) _____
- JNP ay) Noise study (Waiver) _____

Applicant
Initials

Staff
Initials

JMP az)

Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents _____

JMP ba)

Copy of applicable Town, State, Federal approval/permits to include but not limited to the following: _____

- industrial discharge application
- sewer application
- flood plain permit
- wetlands special exception
- variance
- erosion control permit (149:8a)
- septic construction approval
- dredge and fill permit
- curb cut permit
- shore-land protection certification in accordance with RSA483-B
- if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.

JMP bb)

Presentation plan (colored, with color-coded bar chart) (PENDING) _____

JMP bc)

Fees paid to clerk _____

JMP bd)

Five (5) 22" x 34" copies of the plan shall be brought to the Planning Board meeting and distributed to the Planning Board members at the meeting. Note: for all subsequent meetings involving revised plans, five 22" x 34" copies of said plan shall be brought to the meeting for distribution to the board members. _____

*Under the purview of the Planning Board, any and all items may be waived.

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Site Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Site Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: Mark F. Roth 

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: 
ERIC ENVRARD, PRES. RHM INT.

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

APPLICATION IS DUE AT NOON 21 days prior to the Planning Board Meeting. (The date the Agenda is CLOSED.) Any applications received after that time will be deferred until the next available meeting.

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: Proposed Building Addition

Street Address: 29 Flagstone Drive

I JAMES N. PETROPOULOS hereby request that the Planning Board waive the requirements of item (see attached letter) of the Subdivision/Site Plan Checklist in reference to a plan presented by Hayner/Swanson, Inc.

(name of surveyor and engineer) dated April 13, 2015 for property tax map(s) 221 and lot(s) 1 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

(see attached waiver letter)

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

(see attached waiver letter)

Signed: James N. Petropoulos Pres. X/51
Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

**Proposed Building Addition (Site Plan), 29 Flagstone Drive
Town of Hudson
CLD Reference No. 03-0249.1470
Reviewed April 28, 2015**

Thirty (30) days prior to Planning Board Meeting, a complete site plan to include all supporting materials/documents must be submitted in final form. The site plan shall comply with the following specifications/requirements.

Applicant
Initials

Staff
Initials

- | | | |
|---|---|--|
| <p>_____ a) Submission of nine (9) full sets of Site Plans (sheet size: 22" x 34") at the time of application filing, followed by the submission of seventeen (17) 11" x 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 AM Tuesday the week prior to the scheduled public hearing/conceptual review date.</p> <p>_____ b) A Site Plan narrative, describing the purpose, locations, long range plans, impacts on traffic, schools and utilities.</p> <p>_____ c) Plan scale at not less the one inch equals fifty feet (1" = 50')</p> <p>_____ d) Locus plan with 1,000' minimum radius of site to surrounding area</p> <p>_____ e) Plan date by day/month/year</p> <p>_____ f) Revision block inscribed on the plan</p> <p>_____ g) Planning Board approval block inscribed on the plan</p> <p>_____ h) Title of project inscribed on the plan</p> <p>_____ i) Names and addresses of property owners and their signatures inscribed on the plan</p> <p>_____ j) North point inscribed on the plan</p> <p>_____ k) Property lines: exact locations and dimensions</p> <p>_____ l) Square feet and acreage of site</p> <p>_____ m) Square feet of each building (existing & proposed)</p> <p>_____ n) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan</p> | <p></p> <p></p> <p><u>CLD/KMG</u></p> <p></p> | <p>a) One set received by CLD from the Town.</p> <p>b) Discussion regarding impacts to traffic, schools, and utilities not included in narrative.</p> <p>n) Abutters' names and addresses are shown on plan; unable to verify 5-day update criteria.</p> |
|---|---|--|

Applicant
Initials

- _____ o) Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve areas, floodways/floodplains, driveways, travel areas, parking areas and natural features within 200 feet of the tract
- _____ p) Locations of existing and proposed permanent monuments and benchmarks within 200 feet of the development tract
- _____ q) Pertinent highway projects
- _____ r) Assessor's Map and Lot number(s)
- _____ s) Waiver application form shall be submitted with the site plan application, note on plan listing waivers requested/ granted; and all waivers granted to the site plan regulations shall be listed on the final plan; waivers to checklist shall be reduced to writing and be signed by the Planning Board Chairman and Planning Board Secretary and recorded with the plan.
- _____ t) Delineate zoning district on the plan
- _____ u) Stormwater drainage plan
- _____ v) Topographical elevations at 2-foot intervals contours: existing and proposed
- _____ w) Utilities: existing and proposed
- _____ x) Parking: existing and proposed
- _____ y) Parking space: length and width
- _____ z) Aisle width/maneuvering space
- _____ aa) Landscaping: existing and proposed
- _____ ab) Building and wetland setback lines
- _____ ac) Curb cuts
- _____ ad) Right of way: existing and proposed
- _____ ae) Sidewalks: existing and proposed
- _____ af) Exterior lighting plan
- _____ ag) Sign locations: size and design
- _____ ah) Water mains and sewerage lines
- _____ ai) Location of dumpsters on concrete pads
- _____ aj) All notes from plats

Staff
Initials

JC
Shown on Aerial Photo.
JC

CLD/KMG

CLD/KMG

CLD/KMG

JC

CLD/KMG

CLD/KMG
JC

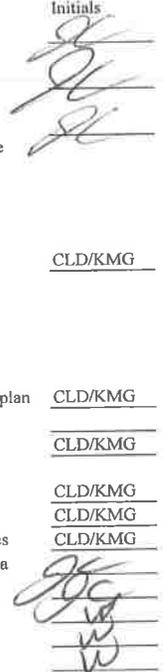
CLD/KMG

- o) Not all features within 200 feet of the tract have been shown.
- p) One temporary benchmark has been shown on the plans (NGVD 29). We are unable to verify that all locations of existing monuments within 200 feet of the development tract are shown. *REVISED PLANS SHOW BM.*
- t) Noted but not delineated on the plans.
- w) No new utilities are shown. *NONE PROPOSED -*
- x) Waiver requested for reduced parking requirements.
- z) Aisle width does not meet Regulation for 90 degree parking. *EXISTING CONDITIONS*
- aa) Waiver requested from landscaping requirements.
- ab) Existing Parking is within the side yard setbacks.
- ac) Two existing curb cuts.
- ae) No sidewalk proposed along frontage of site. *NONE EXISTING IP.*
- af) Additional lighting shown and detail provided. No lighting plan provided. *EXISTING LIGHTS*
- ag) Detail not provided if pylon sign will remain or if modifications are proposed. *NOTED THAT EXISTING SIGN WILL REMAIN, FOR REVISED PLAN. LIGHTS TO REMAIN 1 RELOCATED*

Applicant
Initials

Staff
Initials

- _____ ak) Buffer as required by site plan regulations
- _____ al) Green and open space requirements met with percentages of both types of spaces inscribed on the plan
- _____ am) Soil types and boundaries, Note: if site contains marginal or questionable soils, a High Intensity Soil Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire certified Soil Scientist, who shall affix his/her stamp and signature shall be inscribed on the plan.
- _____ an) Wetlands (and poorly-drained and very poorly-drained soils), also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire certified Wetland or Soil Scientist, who shall affix his/her stamp and signature to the respective plan.
- _____ ao) "Valid for one year after approval" statement inscribed on the plan
- _____ ap) Loading bays/docks
- _____ aq) State of New Hampshire engineer's stamp, signature, surveyor's stamp, and signature
- _____ ar) Error of closure (1 in 10,000 or better)
- _____ as) Drafting errors/omissions
- _____ at) Developer names, addresses, telephone numbers and signatures
- _____ au) Photographs, electronic/digital display or video of site and area
- _____ av) Attach one (1) copy of the building elevations
- _____ aw) Fiscal impact study
- _____ ax) Traffic study
- _____ ay) Noise study



 _____ CLD/KMG

- ak) Drive aisles in side yard setbacks.
- al) Only open space percentage noted on plan.
- am) Regulation was repealed in 2010.

EXISTING NO CHANGES
 PROPOSED,
 NO CHANGE PROPOSED
 TO EXISTING FRONT
 YARD L.S.

- ap) Four loading spaces have been provided; however, we note five are required.
- au) Error of closure (1 in 15,000)
- au) None received for review.
- av) None received for review.
- aw) Not received, applicant noted waiver requested.
- ax) Not received, applicant noted waiver requested.
- ay) Not received, applicant noted waiver requested.

PROVIDED IN PACKET

Applicant
Initials

Staff
Initials

- _____ az) Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents
- _____ ba) Copy of applicable Town, State, Federal approval/permits to include but not limited to the following:
 - industrial discharge application
 - sewer application
 - flood plain permit
 - wetlands special exception
 - variance
 - erosion control permit (149:8a)
 - septic construction approval
 - dredge and fill permit
 - curb cut permit
 - shoreland protection certification in accordance with RSA483-B
 - if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.
- _____ bb) Presentation plan (colored, with color coded bar chart)
- _____ bc) Fees paid to clerk
- _____ bd) Five (5) 22" x 34" copies of the plan shall be brought to the Planning Board meeting and distributed to the Planning Board members at the meeting. Note: for all subsequent meetings involving revised plans, five 22" x 34" copies of said plan shall be brought to the meeting for distribution to the board members.

az) No easement documents received for review. *RECEIVED*

ba) No permits received in package for review.

bb) No presentation plan received, requires a Town action. *PROVIDED AT HEARING*
bc) Requires Town action.
bd) Requires Town action.

• Under the purview of the Planning Board any and all items may be waived.

OWNER AFFIDAVIT

Atrium Medical Corporation, owner of 29 Flagstone Drive, Hudson, New Hampshire, hereby authorizes Gerald R. Prunier, Esq., and Hayner/Swanson, Inc. to apply for a height variance and a site plan on behalf of RHM International, LLC, as it affects the building and land at 29 Flagstone Drive, Hudson, New Hampshire.

ATRIUM MEDICAL CORPORATION

Dated: _____

5/16/15

By: _____

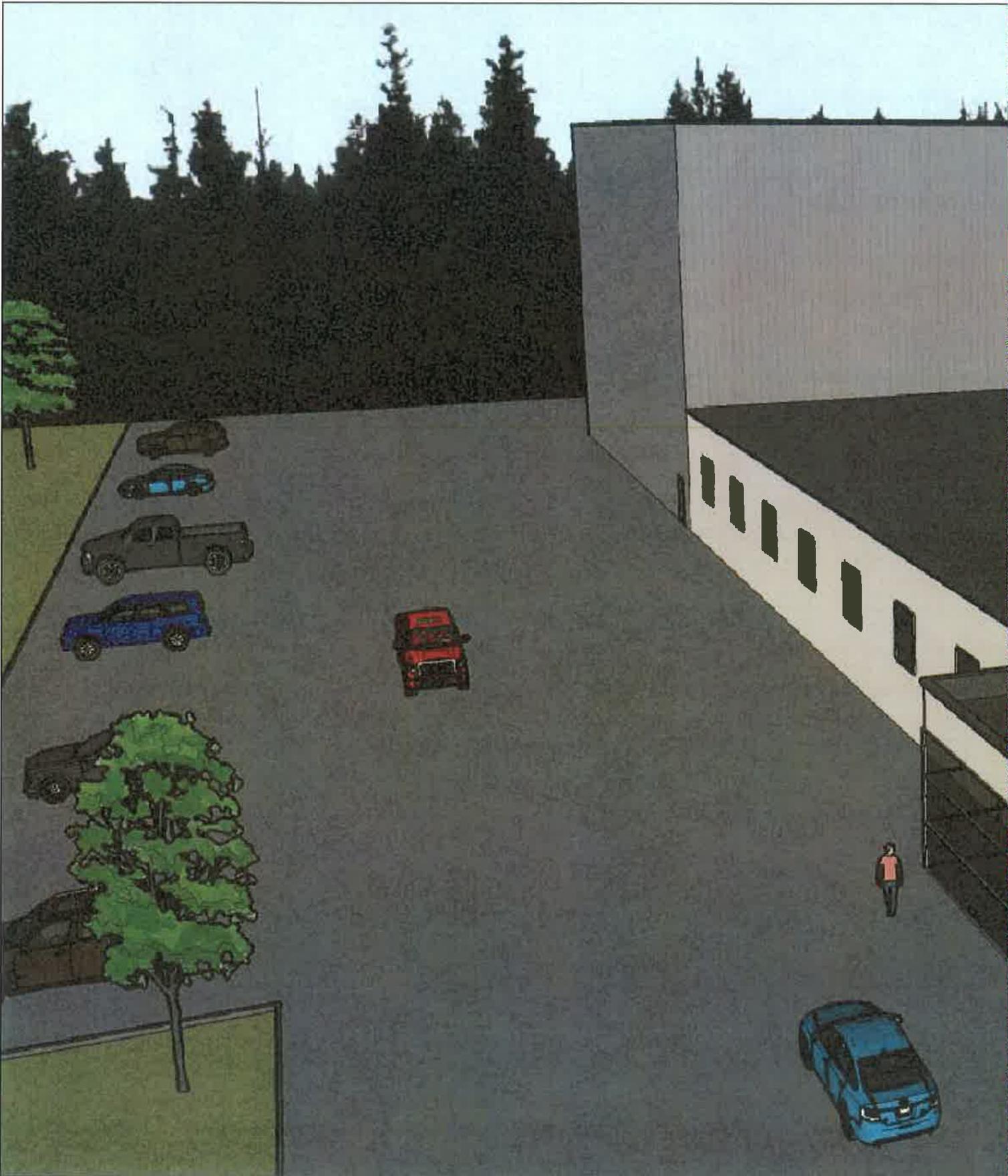
Mark E. Betts



Atrium

ATRIUM





PROPOSED BUILDING ADDITION TO 29 FLAGSTONE DRIVE - HUDSON
RHM INTERNATIONAL, LLC

MAP 221 LOT 1
 SITE PLAN

PROPOSED BUILDING ADDITION

29 FLAGSTONE DRIVE
 HUDSON, NEW HAMPSHIRE

PREPARED FOR

RHM INTERNATIONAL, LLC

280 CLARK ROAD
 BROOKLINE, MASSACHUSETTS 02445
 (978) 761-7289
 www.rhmintl.com

RECORD OWNER

ATRIUM MEDICAL CORPORATION

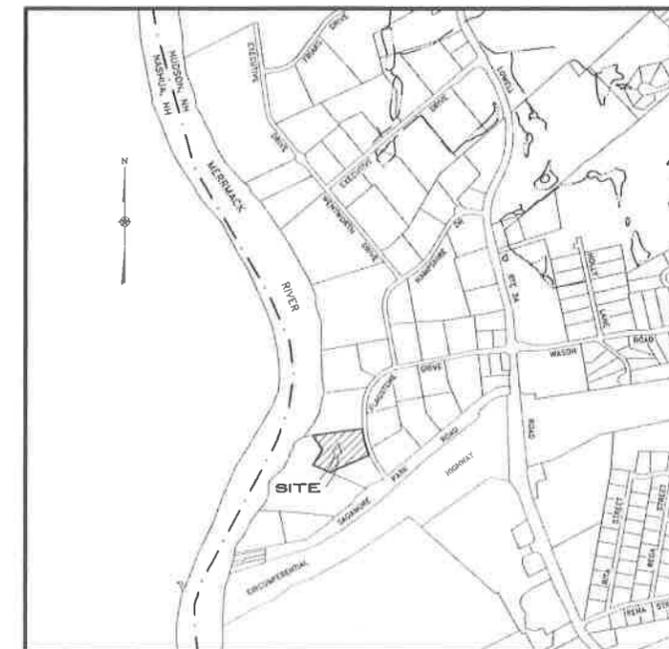
5 WENTWORTH DRIVE
 HUDSON, NEW HAMPSHIRE 03051
 (603) 880-1433

13 APRIL 2015

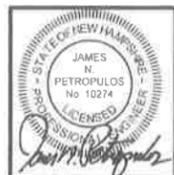
REVISED
 30 APRIL 2015

INDEX OF PLANS	
SHEET No.	TITLE
1 OF 7	MASTER SITE PLAN 1"= 40'
2 OF 7	EXISTING CONDITIONS PLAN 1"= 40'
3 OF 7	SITE PLAN 1"= 40'
4-5 OF 7	DETAIL SHEET - GENERAL SITE
6 OF 7	EROSION CONTROL PLAN 1"=40'
7 OF 7	DETAIL SHEET - EROSION CONTROL

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.	APPROVED BY THE HUDSON, NH PLANNING BOARD DATE OF MEETING: _____ _____ SIGNATURE DATE _____ _____ SIGNATURE DATE _____
	SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



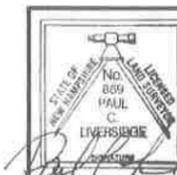
VICINITY PLAN
 SCALE: 1" = 1,000'



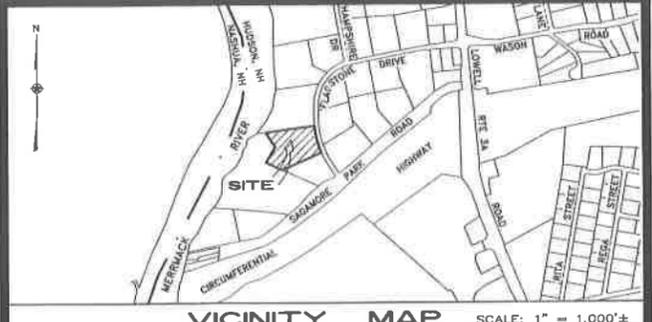
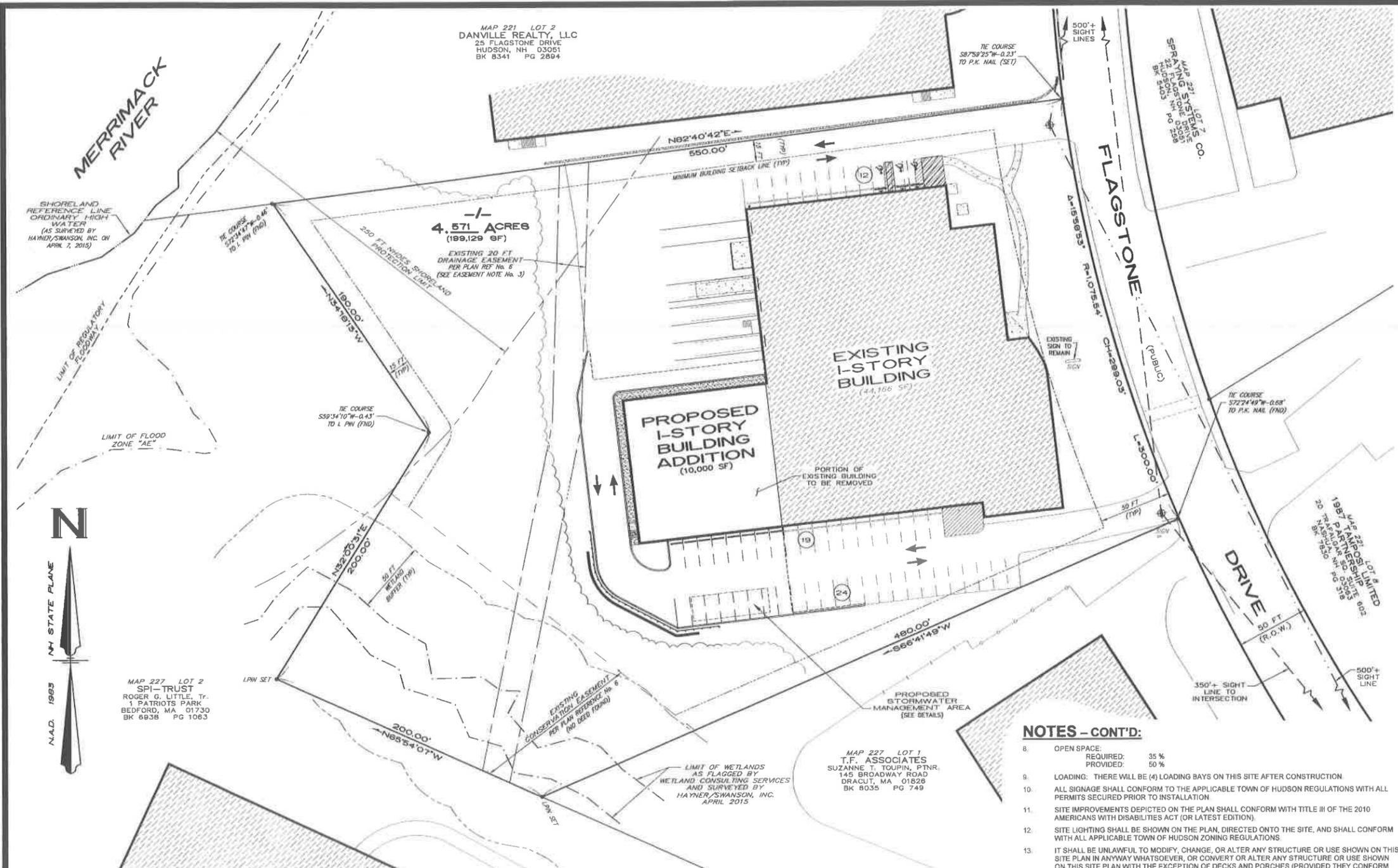
HSI Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors

Three Congress Street Nashua, New Hampshire 03062-3301
 Tel (603) 883-2057 Fax (603) 883-5057
 www.hayner-swanson.com



5.01.15



VICINITY MAP SCALE: 1" = 1,000'

PLAN REFERENCES:

- SUBDIVISION PLAN, SAGAMORE INDUSTRIAL PARK, SAGAMORE PARK ROAD, HUDSON, NH, SCALE 1"=100', DATED AUGUST 1974, LAST REVISED 02/23/76 BY A. E. MAYNARD CIVIL ENGINEER. HCRD PLAN No. 9749
- SUBDIVISION PLAN, SAGAMORE INDUSTRIAL PARK, SAGAMORE PARK ROAD, HUDSON, NH, SCALE 1"=100', DATED AUGUST 1974 LAST REVISED 12/08/81 BY A. E. MAYNARD CIVIL ENGINEER. HCRD PLAN No. 14650
- SITE PLAN AND NOTES, 29 FLAGSTONE DRIVE, SCALE 1"=40', DATED 2/18/00, LAST REVISED 3/4/00 BY CID ASSOCIATES, INC. HCRD PLAN No. 30685
- (AMENDED) SITE PLAN, 25 FLAGSTONE DRIVE, HUDSON, NH, PREPARED FOR C&M MACHINE PRODUCTS, INC. SCALE 1"=40', DATED AUGUST 2, 2010, LAST REVISED 3/8/12 BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC. HCRD PLAN No. 37437
- BOUNDARY PLAN, STORM DRAINAGE EASEMENT - LOT 74 / MAP 7, FLAGSTONE DRIVE & SAGAMORE PARK ROAD, HUDSON, NEW HAMPSHIRE, FOR GERALD Q. NASH, SCALE 1"=50', DATED JUNE 1983 BY MAYNARD & PAQUETTE INC. HCRD PLAN No. 15844
- BOUNDARY & SITE PLAN, LOT 75 MAP 7, SHEET 2 OF 2, FLAGSTONE DRIVE, HUDSON, NH, FOR: PNEUTEK INC., BY: MAYNARD & PAQUETTE INC., SCALE: 1" = 50', DATED: AUGUST 1983. ON FILE AT THE TOWN OF HUDSON

NOTES:

- LOT AREA: (MAP 221, LOT 1) 4.571 ACRES (199,129 SF)
- PRESENT ZONING: I; INDUSTRIAL
MINIMUM LOT REQUIREMENTS:
- LOT AREA 30,000 SF
- LOT FRONTAGE 150 FT
MINIMUM BUILDING SETBACKS REQUIREMENTS
- FRONT YARD 50 FT
- SIDE YARD 15 FT
- REAR YARD 15 FT
- LOT NUMBERS REFER TO THE TOWN OF HUDSON ASSESSORS MAPS 221 AND 227.
- SITE IS CURRENTLY SERVICED BY MUNICIPAL WATER AND MUNICIPAL SEWER. THERE ARE NO PROPOSED UTILITY EXTENSIONS NEEDED TO SERVICE THIS ADDITION. THERE IS NO INDUSTRIAL DISCHARGE (SANITARY SEWER FLOW ONLY) INVOLVED IN THIS PROJECT.
- PURPOSE OF PLAN:
TO SHOW THE PROPOSED 1-STORY, 10,000 SF BUILDING ADDITION AND ACCOMPANYING SITE IMPROVEMENTS.
- PARKING:
REQUIRED: 1 SPACE/600 SF x 49,808 SF (INDUSTRIAL) = 83 SPACES
PROVIDED: (INCLUDES 3 HANDICAP SPACES) = 55 SPACES*
*SEE WAIVER REQUEST
- BUILDING AREA:
EXISTING BUILDING: 4,166 SF
PROPOSED DEMOLITION: -4,358 SF
PROPOSED ADDITION: +10,000 SF
TOTAL PROPOSED BUILDING AREA: 49,808 SF (5,642 SF INCREASE)

NOTES - CONT'D:

- OPEN SPACE:
REQUIRED: 35%
PROVIDED: 50%
- LOADING: THERE WILL BE (4) LOADING BAYS ON THIS SITE AFTER CONSTRUCTION
- ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE TOWN OF HUDSON REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE 2010 AMERICANS WITH DISABILITIES ACT (OR LATEST EDITION)
- SITE LIGHTING SHALL BE SHOWN ON THE PLAN, DIRECTED ONTO THE SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN WITH THE EXCEPTION OF DECKS AND PORCHES (PROVIDED THEY CONFORM WITH THE REQUIREMENTS OF THE TOWN OF HUDSON ZONING BY-LAWS), OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
- TRASH PICK-UP SHALL NOT OCCUR EARLIER THAN 7:00 AM NOR LATER THAN 7:00 PM, MONDAY THRU SATURDAY ONLY
- CONSTRUCTION HOURS ARE MONDAY THRU SATURDAY, 7:00 AM TO 7:00 PM, WITH NO CONSTRUCTION ACTIVITIES OCCURRING ON SUNDAYS. IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS OF 7:00 AM AND 5:00 PM, MONDAY THRU FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON SATURDAYS AND SUNDAYS
- SHEET 1 OF 7 SHALL BE RECORDED AT THE HILLSBOROUGH REGISTRY OF DEEDS. A COMPLETE SET OF PLANS IS ON FILE WITH THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN A FLOOD HAZARD AREA AS SHOWN ON THE FLOOD INSURANCE RATE MAP, HILLSBOROUGH COUNTY (ALL JURISDICTIONS), PANEL 858 OF 701, TOWN OF HUDSON, NEW HAMPSHIRE, COMMUNITY No. 330092, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C00956D, EFFECTIVE DATE: SEPTEMBER 25, 2008
- PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY A LICENSED LAND SURVEYOR CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED SITE PLAN
- SNOW REMOVAL TO BE PLACED IN OPEN AREAS OF THE SITE AS SHOWN ON SHEET 3 OF 7. IF NEEDED, EXCESS SNOW SHALL BE TRUCKED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER
- A CAP FEE IN THE AMOUNT OF \$6,093.36 (\$1.08/SF X 5,642 SF INDUSTRIAL) SHALL BE PAID PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THE DEVELOPMENT AGREEMENT FOR THIS PROJECT SHALL BE PLACED ON FILE WITH THE TOWN OF HUDSON PLANNING DEPARTMENT AND THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
- PRESENT OWNER OF RECORD:
MAP 221 LOT 1
ATRIUM MEDICAL CORPORATION
5 WENTWORTH DRIVE
HUDSON, NH 03051
BK 7994, PG. 116

WAIVERS REQUESTED:

- 275-8(B)(26)(G) MINIMUM NUMBER OF REQUIRED PARKING SPACES
- 275-8(B)(30)(a) MINIMUM NUMBER OF REQUIRED LOADING SPACES
- 275-8(B)(31) LANDSCAPE PLAN
- 275-9 (B) TRAFFIC STUDY
- 275-9 (C) FISCAL AND ENVIRONMENTAL IMPACT STUDY
- 275-9 (D) NOISE STUDY

ZONING NOTE
THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.
PURSUANT TO RSA 678:18, III AND RSA 672:14
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.



5-01-15
DATE

FOR RHM INTERNATIONAL, LLC
ERIC EUVRARD
DATE 4/9/15
FOR ATRIUM MEDICAL CORPORATION
HIRM, BOTH
DATE 4/8/15

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE DATE: _____
SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



MASTER SITE PLAN
(MAP 221, LOT 1)
PROPOSED BUILDING ADDITION
29 FLAGSTONE DRIVE
HUDSON, NEW HAMPSHIRE
PREPARED FOR:

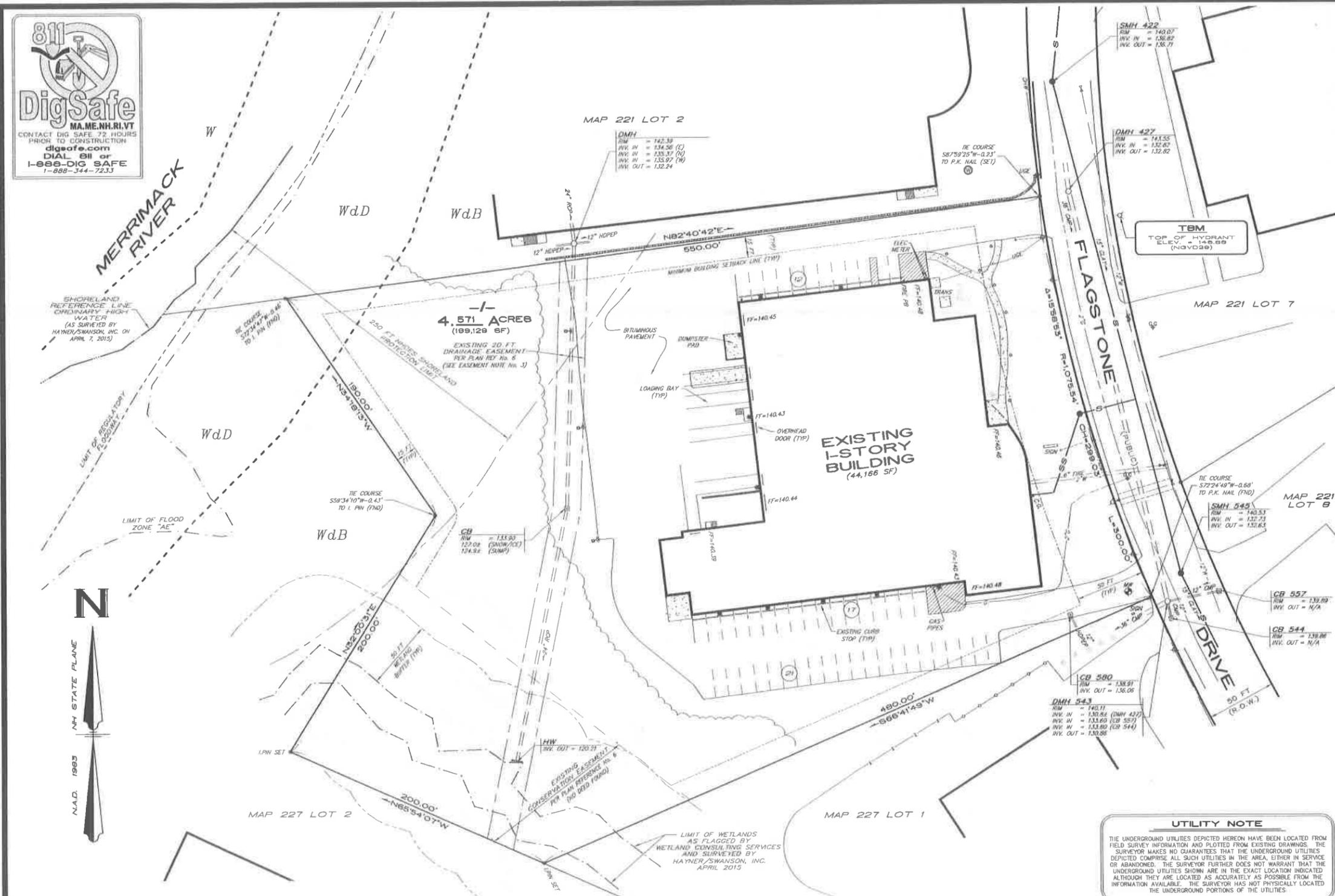
RHM INTERNATIONAL, LLC
280 CLARK ROAD BROOKLINE, MASSACHUSETTS 02445 (978) 781-7289

RECORD OWNER:
ATRIUM MEDICAL CORPORATION
5 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 880-1433

SCALE: 1"=40 Feet
1"=12.192 Meters
13 APRIL 2015

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
Three Congress Street Nashua, New Hampshire 03062-3301
Tel (603) 883-2057 Fax (603) 883-5057
www.haynerswanson.com

FIELD BOOK: 1205	DRAWING NAME: 5324SITE F041	5324	1 OF 7
DRAWING LOCATION: Q:\5324\DWG\5324 SITE		File Name	Sheet



- SURVEY NOTES:**
- TOPOGRAPHY IS BASED ON A FIELD SURVEY BY THIS OFFICE USING GPS AND CONVENTIONAL METHODS IN 2015.
 - UTILITIES SHOWN ARE APPROXIMATE BASED ON RECORD PLANS AND OBSERVED EVIDENCE.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
 - SURVEY CONTROL:
 - HORIZONTAL DATUM: NAD83/2011
 - PROJECTION: NH STATE PLANE
 - VERTICAL DATUM: NGVD29
 - SCALE FACTOR APPLIED: 1.000000
 - UNITS: US SURVEY FEET
 - * VERTICAL DATUM WAS VERIFIED USING GPS (KEYNET NETWORK) BY TAKING OBSERVATIONS ON SITE AND ON NGS (FORMERLY USGS) "DISK D-26" LOCATED ON THE NORTHERLY SIDE OF RTE 101A APPROXIMATELY 4.5 MILES WEST OF THE NASHUA LIBRARY.
 - THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.

- EASEMENTS, RIGHTS AND RESTRICTIONS:**
- PROPERTY IS SUBJECT TO RIGHTS OF OTHERS TO INTERMITTENT STREAM, ENCLOSED DRAINAGE SYSTEM AND EXISTING BROOK AS SHOWN ON HCRD PLAN No. 9749.
 - PROPERTY IS SUBJECT TO AN EASEMENT TO PSNH RECORDED AT BOOK 2379, PAGE 167 (GENERAL EASEMENT FOR TRANSMISSION OF ELECTRICAL POWER THROUGHOUT DEVELOPMENT).
 - PROPERTY IS SUBJECT TO A 20 FOOT WIDE DRAINAGE EASEMENT AND MAY BE SUBJECT TO A CONSERVATION EASEMENT AS SHOWN ON REFERENCE PLAN No. 6 (NO DEED FOUND FOR CONSERVATION EASEMENT).



THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE U.S. ARMY CORPS OF ENGINEERS JANUARY 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST (REGION 2)

WETLAND DELINEATION PREPARED BY:
 WETLAND CONSULTING SERVICES
 ROBERT PROKOP
 CERTIFIED WETLAND SCIENTIST (#063)

SOIL SURVEY STAFF, NATURAL RESOURCES CONSERVATION SERVICE, UNITED STATES DEPT. OF AGRICULTURE, WEB SOIL SURVEY, AVAILABLE ONLINE AT <http://websoilsurvey.nrcs.usda.gov/> ACCESSED APRIL 2, 2015.

SOILS DATA

WdB	WINDSOR LOAMY SAND
WdD	WINDSOR LOAMY SAND
W	WATER
- - -	SOIL BOUNDARY

No.	DATE	REVISION	BY
1	04/10/15	ADDRESS FEEL REVIEW COMMENTS	JHP

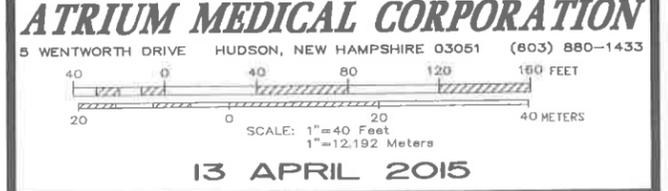
EXISTING CONDITIONS PLAN (MAP 221, LOT 1)

PROPOSED BUILDING ADDITION

29 FLAGSTONE DRIVE
 HUDSON, NEW HAMPSHIRE

PREPARED FOR:
RHM INTERNATIONAL, LLC
 280 CLARK ROAD BROOKLINE, MASSACHUSETTS 02445 (978) 761-7289

RECORD OWNER:
ATRIUM MEDICAL CORPORATION
 5 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 880-1433



HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 Three Congress Street Nashua, New Hampshire 03062-3301
 Tel (603) 883-2057 Fax (603) 883-5057
www.haynerswanson.com

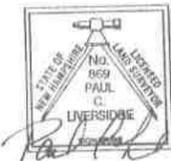
FIELD BOOK: 1205	DRAWING NAME: 5324SITE EC41	5324	2 OF 7
DRAWING LOCATION: G:\5324\DWG\5324 SITE		File Number	Sheet

CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

5-01-15
 DATE



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

 SIGNATURE DATE

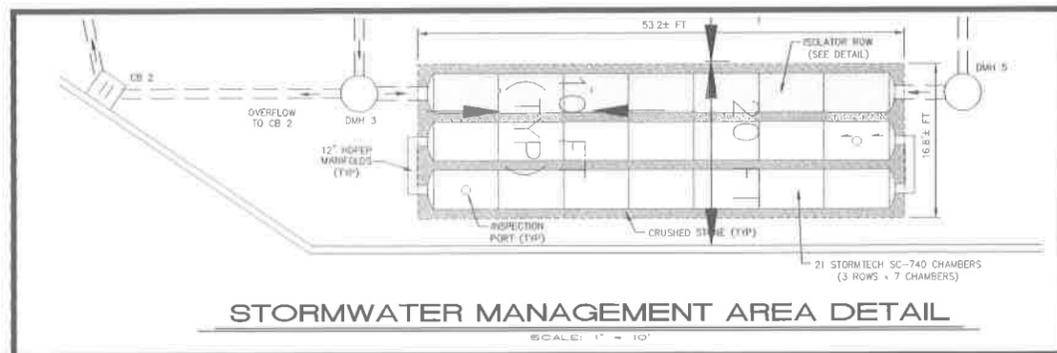
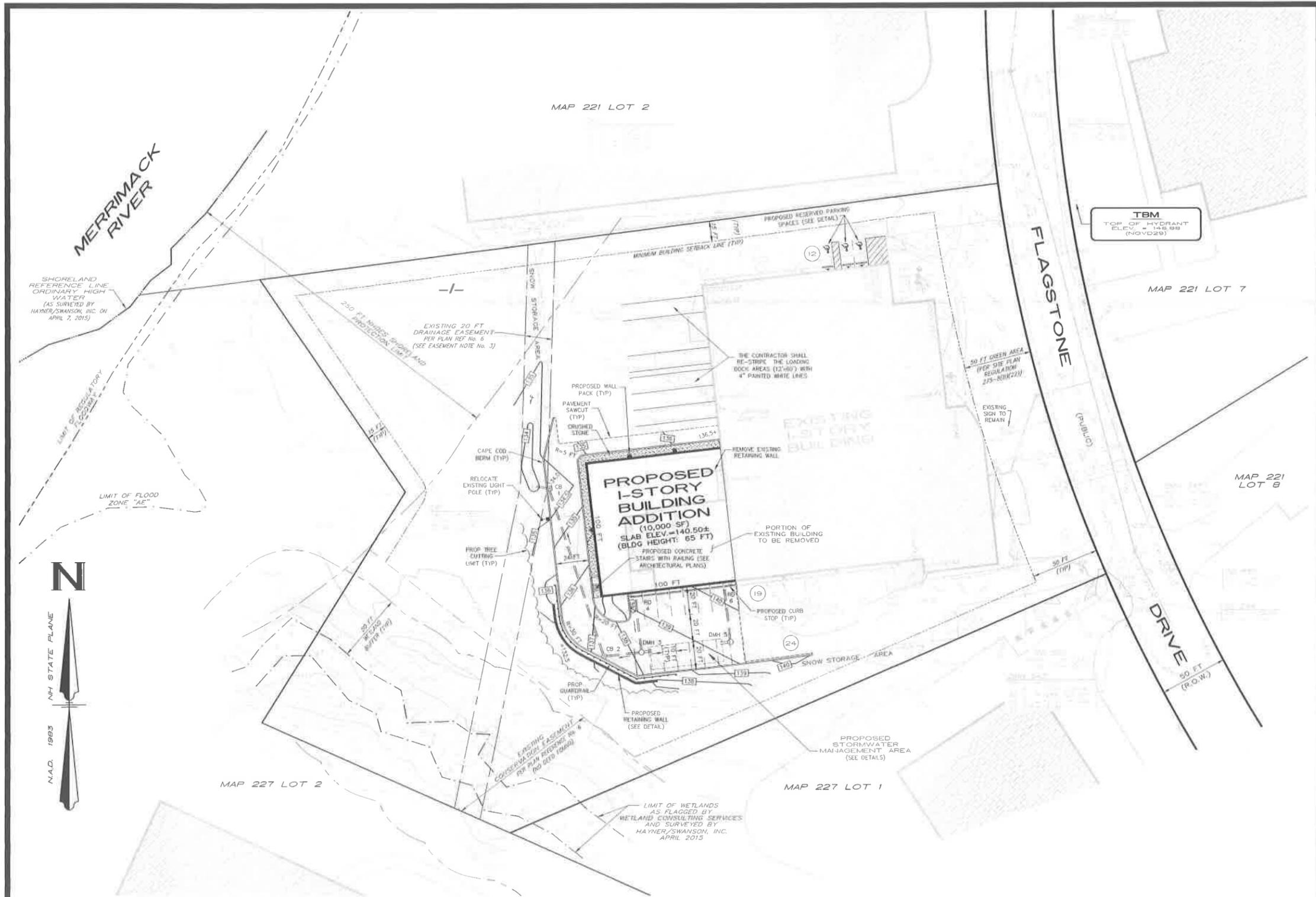
 SIGNATURE DATE

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

- LEGEND**
- EXISTING GROUND CONTOUR
 - EXISTING SPOT ELEVATION
 - PROPOSED GRADE
 - PROPOSED SPOT GRADE
 - STORM DRAIN & CATCH BASIN
 - STORM DRAIN & MANHOLE
 - STORM DRAIN & HEADWALL
 - SANITARY SEWER & MANHOLE
 - WATER MAIN & HYDRANT
 - WATER MAIN & GATE VALVE
 - GAS LINE & GATE VALVE
 - UTILITY POLE WITH GUY SUPPORT
 - OVERHEAD ELECTRIC & TELEPHONE
 - UNDERGROUND ELECTRIC & TELEPHONE
 - SIGN
 - TREE LINE

- STONE BOUND
- IRON PIN
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- BUILDING SETBACK LINE
- WETLAND FLAGGING LIMIT
- WETLAND BUFFER LINE
- STOCKADE FENCE
- CHAINLINK FENCE
- CURBING
- VERTICAL GRANITE CURBING
- SLOPE GRANITE CURBING
- STORMWATER RUNOFF DIRECTION
- HANDICAP PARKING SPACE
- PARKING SPACE COUNT

- GUARD RAIL
- PAVEMENT SAWCUT
- CONCRETE
- PROPOSED FULL-DEPTH PAVEMENT
- PROPOSED PAVEMENT OVERLAY
- RIPRAP / STONE
- MONITORING WELL
- RETAINING WALL
- CONFEROUS TREE
- DECIDUOUS TREE



CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST ADDITION, ARE HEREBY INCORPORATED BY REFERENCE.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION. PUBLIC WORKS DEPT. HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHALL BE CLASS IV 3000 D (RCP OR ADS-HP). CATCH BASINS SHALL BE TYPE B, AND HAVE 4 FT SUMPS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1.888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- ALL DRAINAGE PIPE SHALL BE FURNISHED AND INSTALLED WITH FLEXIBLE GASKE TS JOINTS SHALL BE MADE WITH OIL RESISTANT COMPRESSION RINGS OF AN ELASTOMERIC MATERIAL CONFORMING TO ASTM C-443. MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE FOLLOWED.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED THROUGH THE CONSTRUCTION PROCESS UNTIL STABILIZATION OCCURS.
- STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- DIMENSIONS TO CURB AND GUTTERS INDICATE EDGE OF PAVING UNLESS OTHERWISE NOTED.
- EXISTING PAVEMENT SHALL BE SAWCUT AS NECESSARY. CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING PAVEMENT.

TOWN OF HUDSON CONTACTS

- PLANNING DEPARTMENT**
HUDSON PLANNING DEPT
12 SCHOOL STREET
HUDSON, NH 03051

ATT: JOHN CASH-ELL
(603) 883-0008
- ENGINEERING DEPARTMENT**
HUDSON ENGINEERING DEPT
12 SCHOOL STREET
HUDSON, NH 03051

ATT: ELVIS DIHMA, P.E.
(603) 886-8008
- FIRE DEPARTMENT**
HUDSON FIRE DEPARTMENT
12 SCHOOL STREET
HUDSON, NH 03051

ATT: ROBERT BUXTON, FIRE CHIEF
(603) 886-6021

CONSULTANT CONTACTS

- SURVEYOR/CIVIL ENGINEER**
HAYNER/SWANSON, INC.
3 CONGRESS STREET
NASHUA, NH 03002

ATT: JAMES N. PETROPOULOS, P.E.
(603) 883-2057, EXT. 129
- GEOTECHNICAL ENGINEER**
SANBORN HEALD & ASSOCIATES, INC.
1 TECHNOLOGY PARK DRIVE
WESTFORD, MA 01886

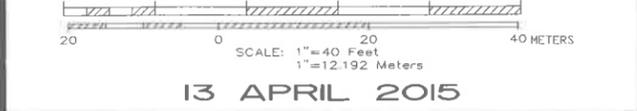
ATT: VERN KOKORIS, P.E.
(978) 382-0500

No.	DATE	REVISION	BY
1	04/30/15	ADDRESS PEER REVIEW COMMENTS	JHP

SITE PLAN (MAP 221, LOT 1)
PROPOSED BUILDING ADDITION
29 FLAGSTONE DRIVE
HUDSON, NEW HAMPSHIRE
PREPARED FOR:

RHM INTERNATIONAL, LLC
280 CLARK ROAD, BROOKLINE, MASSACHUSETTS 02445 (978) 761-7289

RECORD OWNER:
ATRIUM MEDICAL CORPORATION
5 WENTWORTH DRIVE, HUDSON, NEW HAMPSHIRE 03051 (603) 880-1433



13 APRIL 2015

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
Three Congress Street, Nashua, New Hampshire 03062-3301
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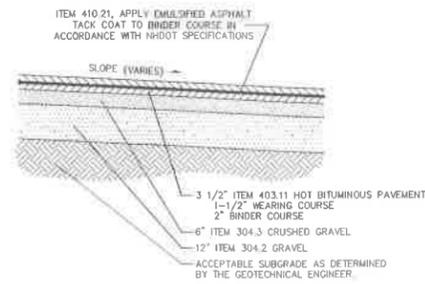
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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

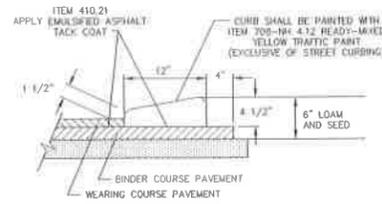
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE: _____ DATE: _____
SIGNATURE: _____ DATE: _____

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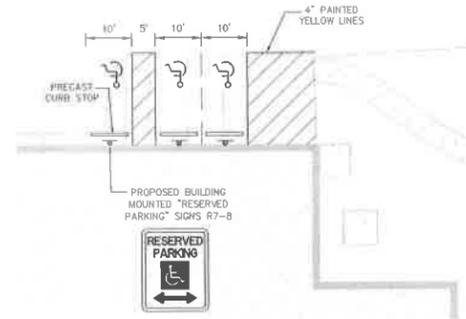




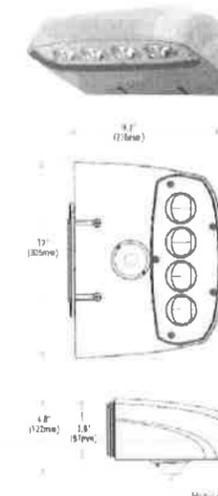
TYPICAL PAVEMENT SECTION
NOT TO SCALE



CAPE COD BERM DETAIL
NOT TO SCALE

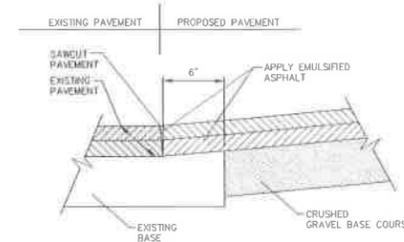
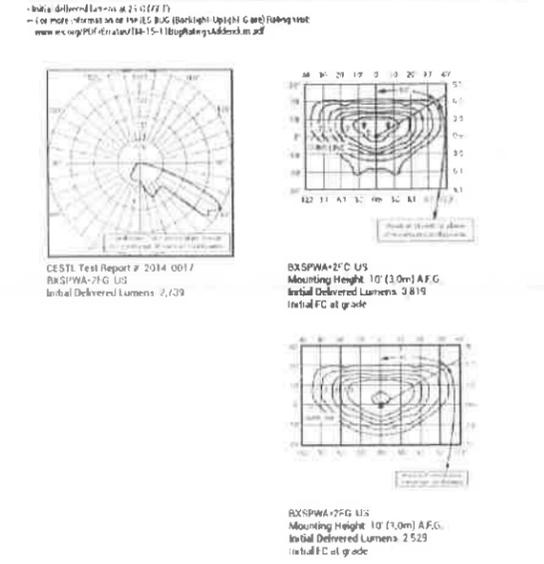


RESERVED PARKING DETAIL
SCALE: 1" = 20"

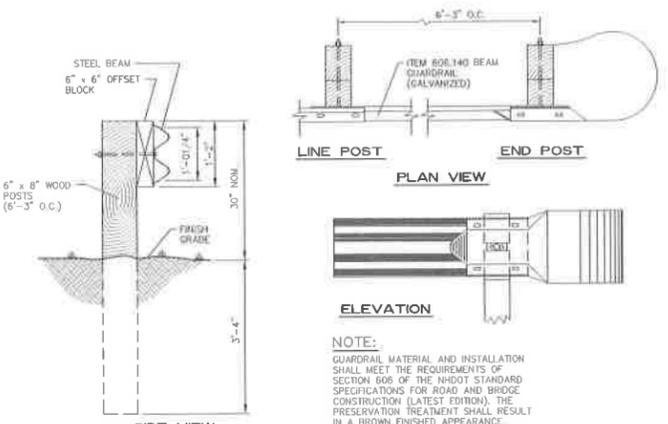


WALL PACK LIGHTING DETAIL
NOT TO SCALE

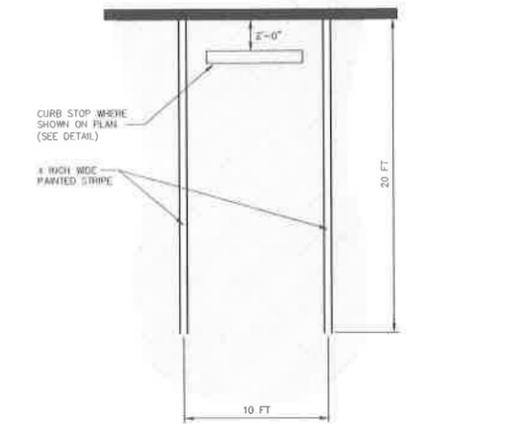
Type II Medium Distribution				
Input Power Designator	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
C	3819	B1 U0 G1	4109	B1 U0 G1
D	2529	B1 U0 G1	2722	B1 U0 G1



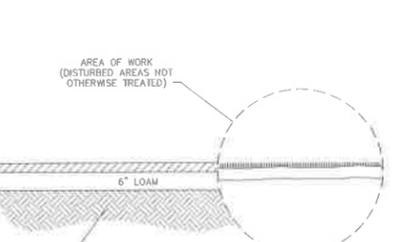
SAWCUT PAVEMENT DETAIL
NOT TO SCALE



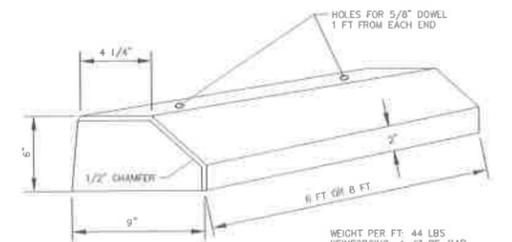
WOOD POST/BEAM TYPE GUARDRAIL DETAIL
NOT TO SCALE



TYP. PARKING STALL DETAIL
NOT TO SCALE

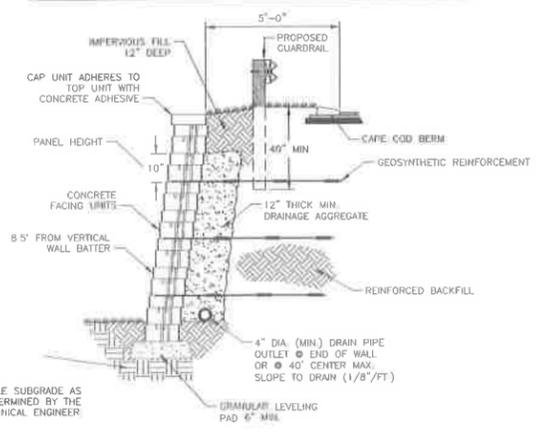


LOAM AND SEED DETAIL
NOT TO SCALE



PRECAST CONCRETE CURB STOP DETAIL
NOT TO SCALE

- RETAINING WALL NOTES**
- DIMENSIONS AS SHOWN ARE APPROXIMATE.
 - THE CONTRACTOR SHALL DESIGN/BUILD THE RETAINING WALLS TO THE APPROXIMATE LIMITS AS SHOWN ON THE PLANS.
 - FINAL SHOP DRAWINGS OF THE RETAINING WALLS, INCLUDING GUARDRAIL, FENCING AND BACKFILL REQUIREMENTS, SHALL BE PREPARED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF NEW HAMPSHIRE.
 - FINAL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.



TYPICAL SECTION-RETAINING WALL
NOT TO SCALE

No.	DATE	REVISION	BY
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DETAIL SHEET - GENERAL SITE
(MAP 221, LOT 1)
PROPOSED BUILDING ADDITION
29 FLAGSTONE DRIVE
HUDSON, NEW HAMPSHIRE
PREPARED FOR:
RHM INTERNATIONAL, LLC
280 CLARK ROAD BROOKLINE, MASSACHUSETTS 02445 (978) 761-7289
RECORD OWNER:
ATRIUM MEDICAL CORPORATION
5 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 880-1433

SCALE AS SHOWN

13 APRIL 2015

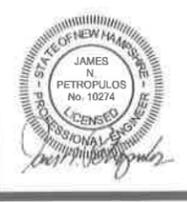
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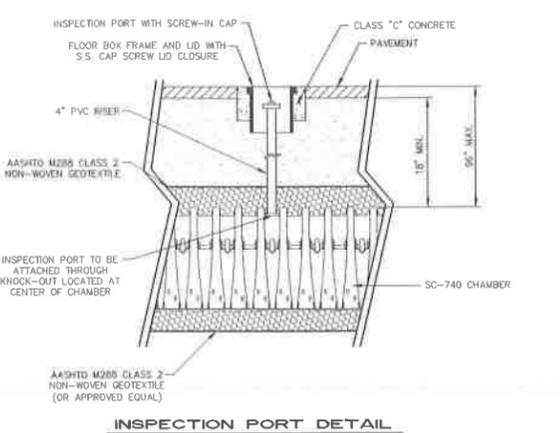
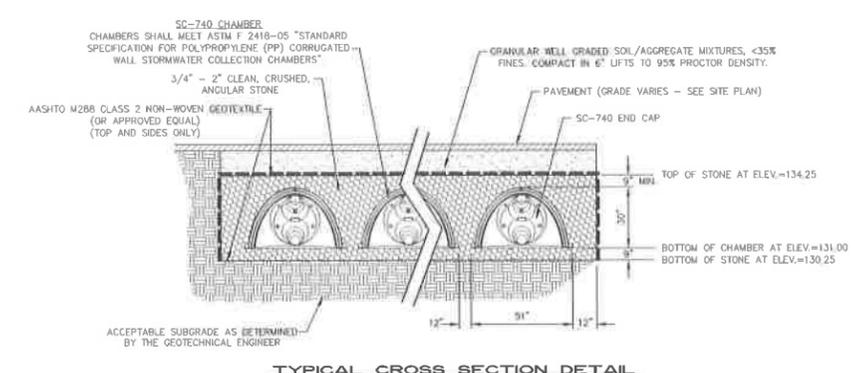
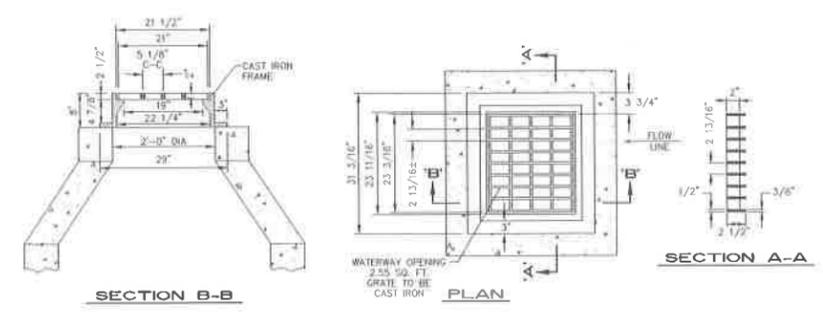
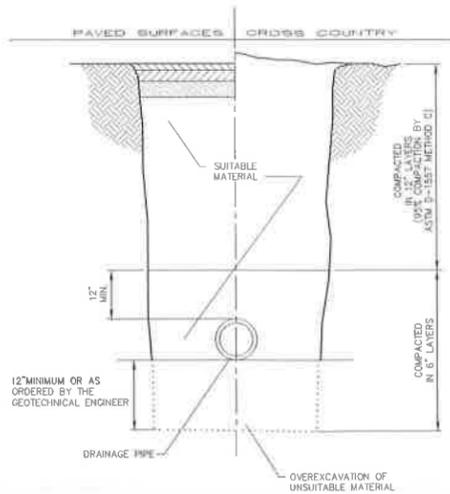
FIELD BOOK: 1205	DRAWING NAME: 5324SITE DETI	5324	4 OF 7
DRAWING LOCATION: 0:\5324\DWG\5324 SITE		FILE NUMBER	Sheet

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
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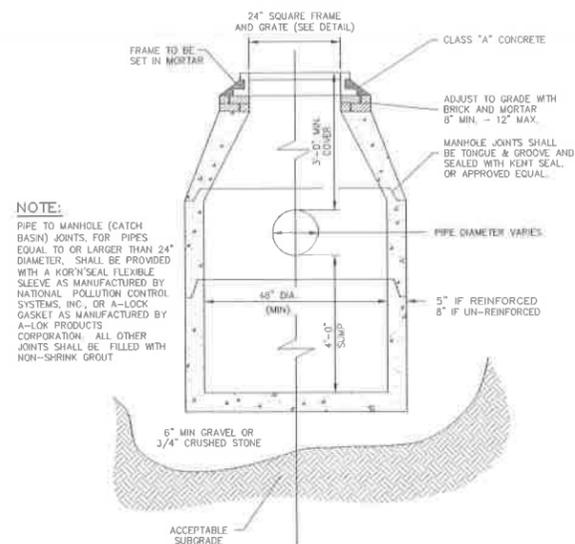
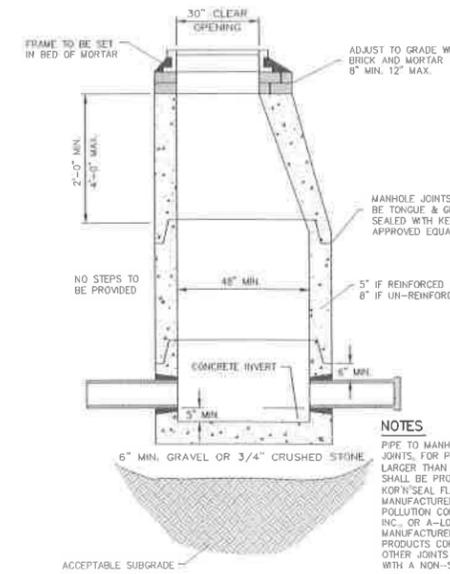


TYPICAL DRAINAGE TRENCH SECTION
NOT TO SCALE

CATCH BASIN - TYPE B FRAME AND COVER DETAIL
(NHDOT STANDARD)
NOT TO SCALE

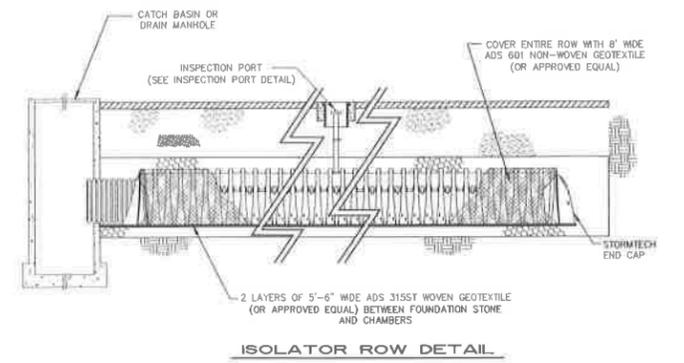
TYPICAL CROSS SECTION DETAIL

INSPECTION PORT DETAIL



STORMTECH NOTES

1. CHAMBERS SHALL BE STORMTECH SC 740, OR APPROVED EQUAL.
2. CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE RESINS TESTED USING ASTM STANDARDS.
3. CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2767, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
4. CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS.
5. THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.
6. ONLY CHAMBERS THAT ARE APPROVED BY THE ENGINEER WILL BE ALLOWED. THE CONTRACTOR SHALL SUBMIT (3 SETS) OF THE FOLLOWING TO THE ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT: SITE LAYOUT EVALUATION BY A REGISTERED STRUCTURAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET, THE 50-YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2922 MUST BE USED AS A PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
7. CHAMBERS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.
8. ALL DESIGN SPECIFICATIONS FOR CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST DESIGN MANUAL.
9. THE INSTALLATION OF CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS.
10. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE PROPOSED SUBSURFACE STORMWATER MANAGEMENT AREA, FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. SHOP DRAWINGS SHALL BE PREPARED BY A NEW HAMPSHIRE LICENSED PROFESSIONAL ENGINEER.
11. SYSTEM TO BE DESIGNED FOR H20 LOADING.



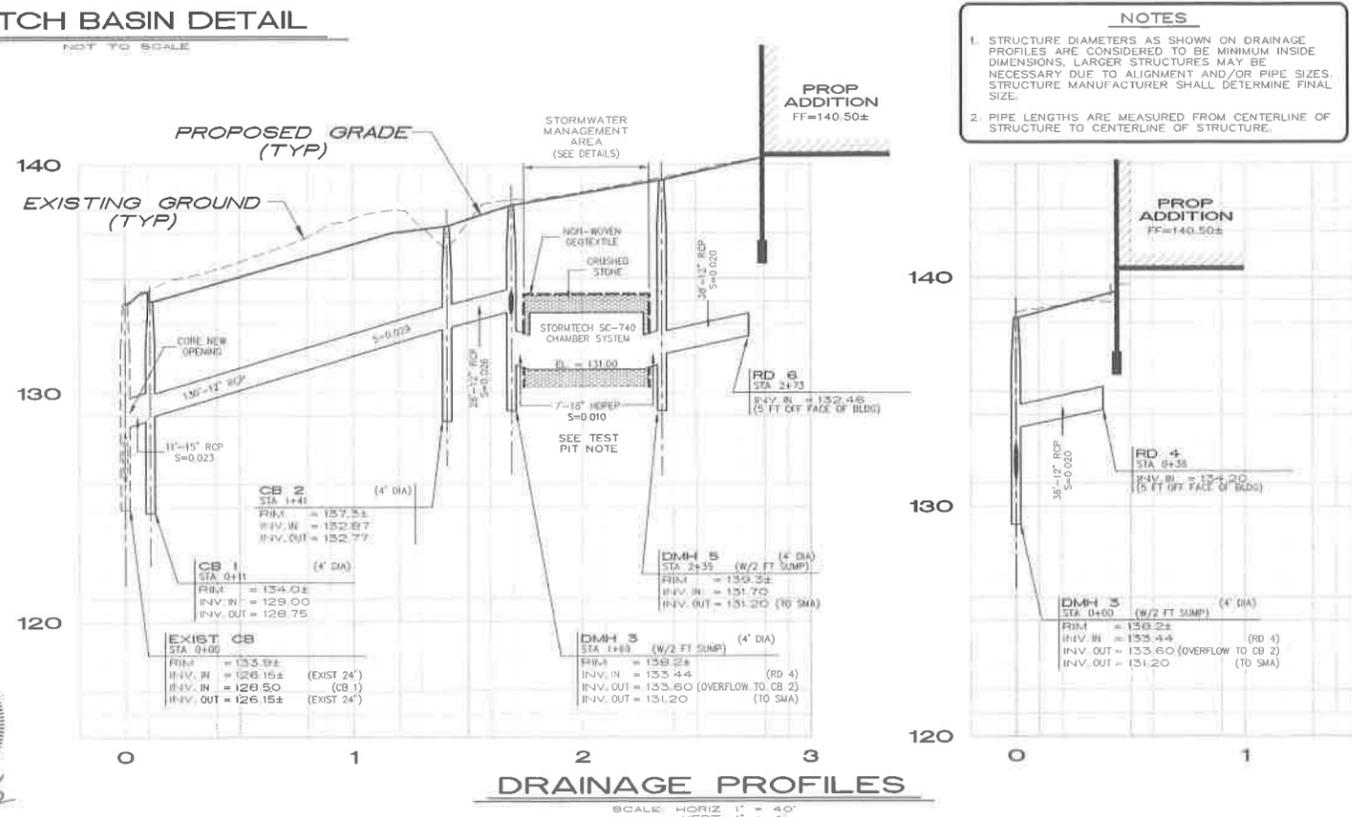
STORMTECH SC-740 CHAMBER SYSTEM
NOT TO SCALE

TEST PIT NOTE

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PERFORM A TEST PIT AT THE SUBGRADE OF THE STORMWATER MANAGEMENT AREA IN ORDER TO VERIFY:

1. THE FIELD INFILTRATION RATE SHALL BE GREATER THAN OR EQUAL TO THE DESIGN INFILTRATION RATE OF SIX (6) INCHES PER HOUR, AND
2. THE VERTICAL SEPARATION BETWEEN THE BOTTOM OF PRACTICE (ELEV= 130.25) AND THE ESTIMATED SEASONAL HIGH WATER TABLE SHALL BE A MINIMUM OF THREE (3) FEET

THE TEST PIT SHALL BE WITNESSED BY THE ENGINEER AND THE RESULTS SHALL BE PROVIDED TO THE TOWN OF HUDSON ENGINEERING DEPARTMENT FOR REVIEW AND APPROVAL



NOTES

1. STRUCTURE DIAMETERS AS SHOWN ON DRAINAGE PROFILES ARE CONSIDERED TO BE MINIMUM INSIDE DIMENSIONS. LARGER STRUCTURES MAY BE NECESSARY DUE TO ALIGNMENT AND/OR PIPE SIZE. STRUCTURE MANUFACTURER SHALL DETERMINE FINAL SIZE.
2. PIPE LENGTHS ARE MEASURED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.

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NO.	DATE	ADDRESS/REVISION COMMENTS	BY
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DETAIL SHEET - GENERAL SITE
(MAP 221, LOT 1)

PROPOSED BUILDING ADDITION
29 FLAGSTONE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR:
RHM INTERNATIONAL, LLC
280 CLARK ROAD BROOKLINE, MASSACHUSETTS 02445 (978) 761-7289

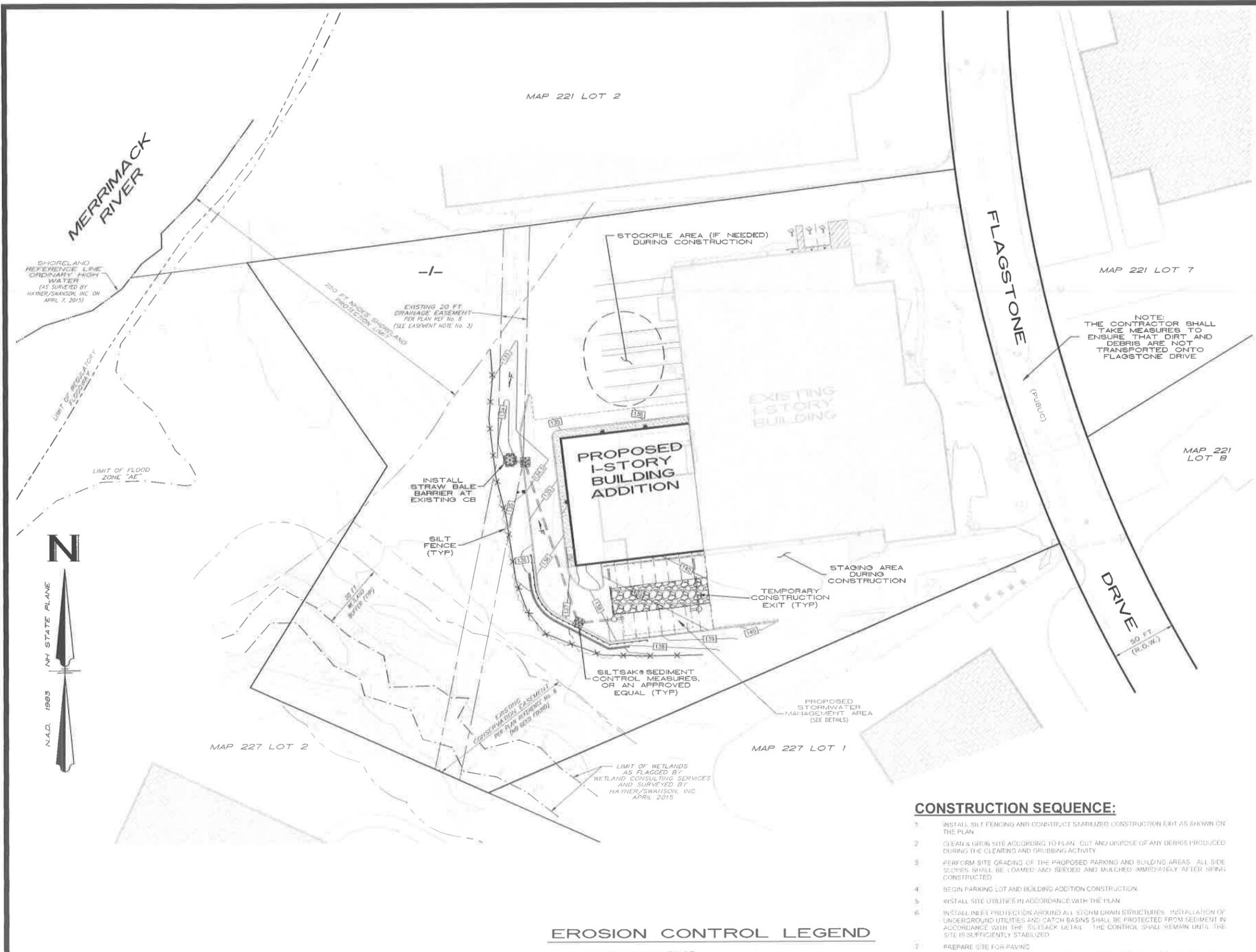
RECORD OWNER:
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5 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 880-1433

SCALE AS SHOWN

13 APRIL 2015

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FIELD BOOK: 1205	DRAWING NAME: 5324SITE DET1	5324	5 OF 7
DRAWING LOCATION: 0:\5324\DWG\5324 SITE		File Number	Sheet



GENERAL NOTES:

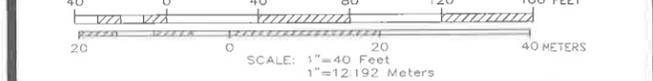
1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) AND BECOME FAMILIAR WITH THEIR CONTENTS.
2. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY SITE CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL STATE OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
4. STOCKPILE AREAS SHALL BE SURROUNDED BY SILT FENCE AND RE-SEEDED IF THEY ARE LEFT UNTOUCHED FOR MORE THAN TEN (10) DAYS.
5. ALL MEASURES STATED ON THIS EROSION CONTROL PLAN, AND IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETE PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT.
6. SILT FENCE SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM SILT FENCES WHEN IT REACHED ONE-QUARTER THE HEIGHT OF THE SILT FENCE.
7. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
8. ALL SEEDED AREAS SHALL BE CHECK REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEED AS NEEDED.
9. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXIT AS CONDITIONS DEMAND.
10. THE TOWN OF HUDSON RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION IF NEEDED.
11. DURING CONSTRUCTION THE CONTRACTOR SHALL MANAGE SNOW REMOVAL BY PLOWING IN THE AREAS SHOWN ON SHEET 3 OF 7. EXCESS SNOW SHALL BE TRUCKED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.

NO.	DATE	REVISION	BY
1	04/30/15	ADDRESS PEER REVIEW COMMENTS	JNP

EROSION CONTROL PLAN
(MAP 221, LOT 1)
PROPOSED BUILDING ADDITION
29 FLAGSTONE DRIVE
HUDSON, NEW HAMPSHIRE
PREPARED FOR:

RHM INTERNATIONAL, LLC
280 CLARK ROAD BROOKLINE, MASSACHUSETTS 02445 (978) 761-7289

RECORD OWNER:
ATRIUM MEDICAL CORPORATION
5 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 880-1433



13 APRIL 2015

HISI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
Three Congress Street Nashua, New Hampshire 03062-3301
Tel (603) 883-2057 Fax (603) 883-5057
www.haynerswanson.com

FIELD BOOK: 1205	DRAWING NAME: 5324SITE.ER41	5324	6 OF 7
DRAWING LOCATION: 0:\5324\DWG\5324 SITE		File Name:	Sheet

EROSION CONTROL LEGEND

- x-x-x- SILT FENCE
- [Symbol] SILT-SACK INLET PROTECTION DEVICES
- [Symbol] GRAVEL CONSTRUCTION EXIT
- F- RUFFOFF DIRECTION
- ===== STRAW BALE BARRIER

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCING AND CONSTRUCT STABILIZED CONSTRUCTION EXIT AS SHOWN ON THE PLAN.
2. CLEAN & GRUB SITE ACCORDING TO PLAN. CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
3. PERFORM SITE GRADING OF THE PROPOSED PARKING AND BUILDING AREAS. ALL SIDE SLOPES SHALL BE LOAMED AND SEEDDED AND MULCHED IMMEDIATELY AFTER BEING CONSTRUCTED.
4. BEGIN PARKING LOT AND BUILDING ADDITION CONSTRUCTION.
5. INSTALL SITE UTILITIES IN ACCORDANCE WITH THE PLAN.
6. INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE SILTSACK DETAIL. THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
7. PREPARE SITE FOR PAVING.
8. AS THE PARKING LOT AND BUILDING ADDITION AREAS ARE COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED. NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF 30 DAYS.
9. SOAM AND SEED ALL REMAINING DISTURBED AREAS. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER BEING CONSTRUCTED.
10. FINAL PAVING OF PARKING AREAS.
11. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
12. SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF DISTURBED AREAS.
13. REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

PURSUANT TO THE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE DATE

SIGNATURE DATE

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



MAP 221 LOT 1
 SITE PLAN

PROPOSED BUILDING ADDITION

29 FLAGSTONE DRIVE
 HUDSON, NEW HAMPSHIRE

PREPARED FOR

RHM INTERNATIONAL, LLC

280 CLARK ROAD
 BROOKLINE, MASSACHUSETTS 02445
 (978) 761-7289
 www.rhmintl.com

RECORD OWNER

ATRIUM MEDICAL CORPORATION

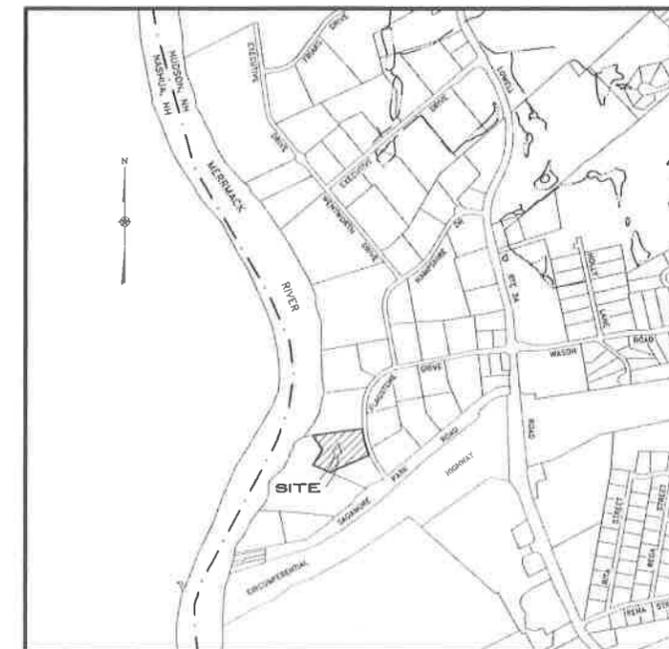
5 WENTWORTH DRIVE
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 (603) 880-1433

13 APRIL 2015

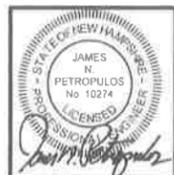
REVISED
 30 APRIL 2015

INDEX OF PLANS	
SHEET No.	TITLE
1 OF 7	MASTER SITE PLAN 1"= 40'
2 OF 7	EXISTING CONDITIONS PLAN 1"= 40'
3 OF 7	SITE PLAN 1"= 40'
4-5 OF 7	DETAIL SHEET - GENERAL SITE
6 OF 7	EROSION CONTROL PLAN 1"=40'
7 OF 7	DETAIL SHEET - EROSION CONTROL

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.	APPROVED BY THE HUDSON, NH PLANNING BOARD DATE OF MEETING: _____ _____ SIGNATURE DATE _____ _____ SIGNATURE DATE _____
	SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

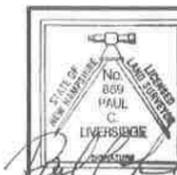


VICINITY PLAN
 SCALE: 1" = 1,000'

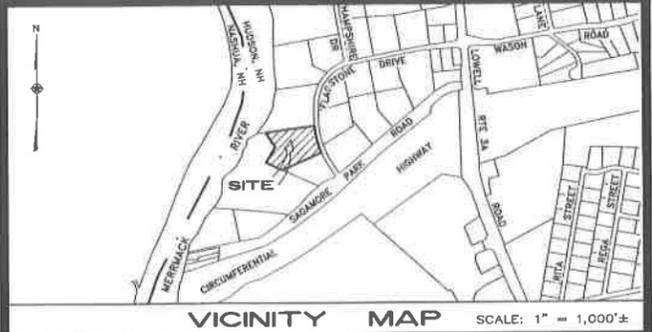
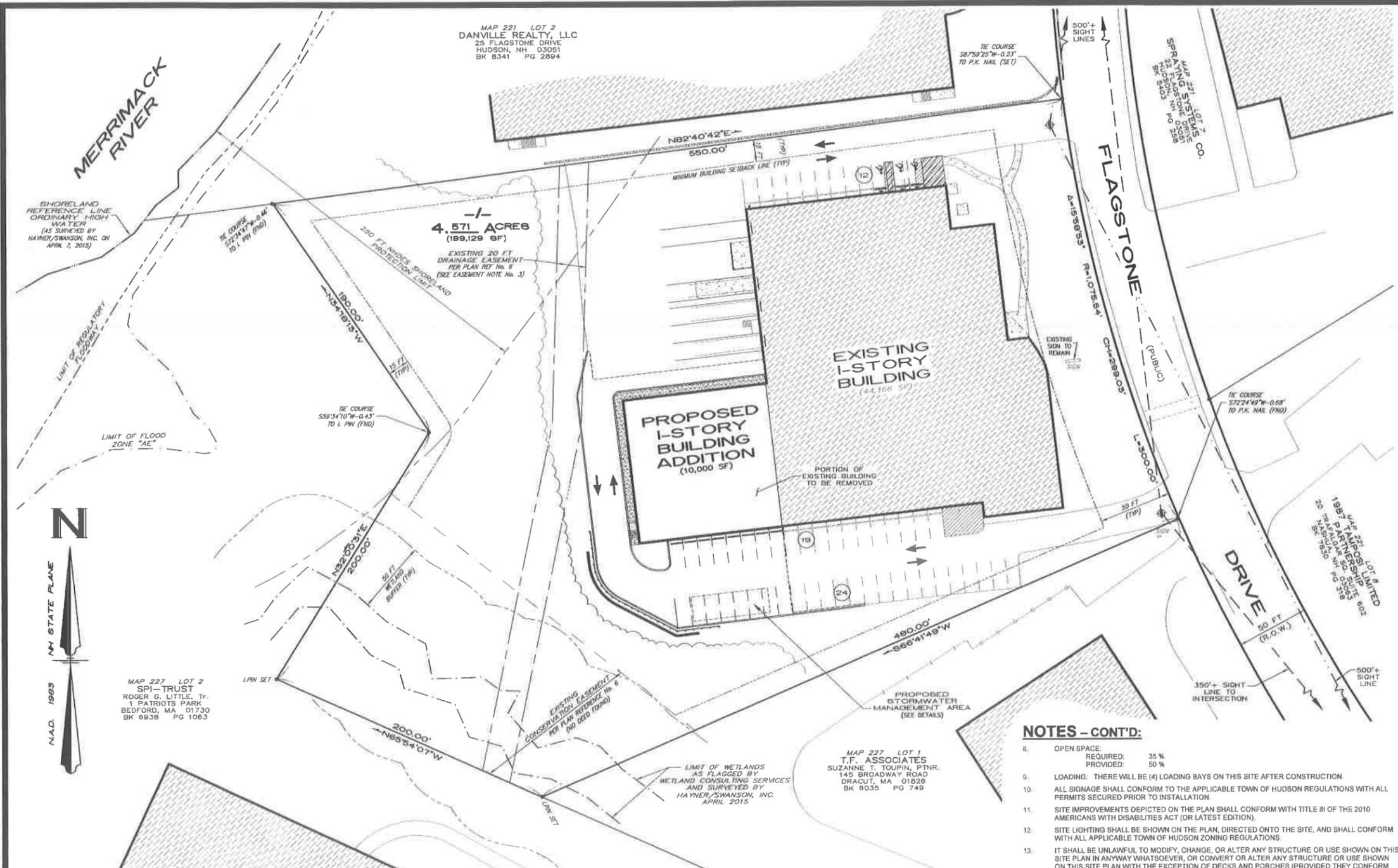


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5.01.15



PLAN REFERENCES:

- SUBDIVISION PLAN, SAGAMORE INDUSTRIAL PARK, SAGAMORE PARK ROAD, HUDSON, NH, SCALE 1"=100', DATED AUGUST 1974, LAST REVISED 02/23/76 BY A. E. MAYNARD CIVIL ENGINEER. HCRD PLAN No. 9749
- SUBDIVISION PLAN, SAGAMORE INDUSTRIAL PARK, SAGAMORE PARK ROAD, HUDSON, NH, SCALE 1"=100', DATED AUGUST 1974 LAST REVISED 12/08/81 BY A. E. MAYNARD CIVIL ENGINEER. HCRD PLAN No. 14650
- SITE PLAN AND NOTES, 29 FLAGSTONE DRIVE, SCALE 1"=40', DATED 2/18/00, LAST REVISED 3/10/00 BY CID ASSOCIATES, INC. HCRD PLAN No. 30685
- (AMENDED) SITE PLAN, 25 FLAGSTONE DRIVE, HUDSON, NH, PREPARED FOR C&M MACHINE PRODUCTS, INC. SCALE 1"=40', DATED AUGUST 2, 2010, LAST REVISED 3/8/12 BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC. HCRD PLAN No. 37437
- BOUNDARY PLAN, STORM DRAINAGE EASEMENT - LOT 74 / MAP 7, FLAGSTONE DRIVE & SAGAMORE PARK ROAD, HUDSON, NEW HAMPSHIRE, FOR GERALD Q. NASH, SCALE 1"=50', DATED JUNE 1983 BY MAYNARD & PAQUETTE INC. HCRD PLAN No. 15844
- BOUNDARY & SITE PLAN, LOT 75 MAP 7, SHEET 2 OF 2, FLAGSTONE DRIVE, HUDSON, NH, FOR: PNEUTEK INC., BY: MAYNARD & PAQUETTE INC., SCALE: 1"=50', DATED: AUGUST 1983. ON FILE AT THE TOWN OF HUDSON

NOTES:

- LOT AREA: (MAP 221, LOT 1) 4.571 ACRES (199,129 SF)
- PRESENT ZONING: I; INDUSTRIAL
MINIMUM LOT REQUIREMENTS:
- LOT AREA 30,000 SF
- LOT FRONTAGE 150 FT
MINIMUM BUILDING SETBACKS REQUIREMENTS
- FRONT YARD 50 FT
- SIDE YARD 15 FT
- REAR YARD 15 FT
- LOT NUMBERS REFER TO THE TOWN OF HUDSON ASSESSORS MAPS 221 AND 227.
- SITE IS CURRENTLY SERVICED BY MUNICIPAL WATER AND MUNICIPAL SEWER. THERE ARE NO PROPOSED UTILITY EXTENSIONS NEEDED TO SERVICE THIS ADDITION. THERE IS NO INDUSTRIAL DISCHARGE (SANITARY SEWER FLOW ONLY) INVOLVED IN THIS PROJECT.
- PURPOSE OF PLAN:
TO SHOW THE PROPOSED 1-STORY, 10,000 SF BUILDING ADDITION AND ACCOMPANYING SITE IMPROVEMENTS.
- PARKING:
REQUIRED: 1 SPACE/600 SF x 49,808 SF (INDUSTRIAL) = 83 SPACES
PROVIDED: (INCLUDES 3 HANDICAP SPACES) = 55 SPACES*
*SEE WAIVER REQUEST
- BUILDING AREA:
EXISTING BUILDING: 44,166 SF
PROPOSED DEMOLITION: -4,358 SF
PROPOSED ADDITION: +10,000 SF
TOTAL PROPOSED BUILDING AREA: 49,808 SF (5,642 SF INCREASE)

NOTES - CONT'D:

- OPEN SPACE:
REQUIRED: 35%
PROVIDED: 50%
- LOADING: THERE WILL BE (4) LOADING BAYS ON THIS SITE AFTER CONSTRUCTION
- ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE TOWN OF HUDSON REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE 2010 AMERICANS WITH DISABILITIES ACT (OR LATEST EDITION)
- SITE LIGHTING SHALL BE SHOWN ON THE PLAN, DIRECTED ONTO THE SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN WITH THE EXCEPTION OF DECKS AND PORCHES (PROVIDED THEY CONFORM WITH THE REQUIREMENTS OF THE TOWN OF HUDSON ZONING BY-LAWS), OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
- TRASH PICK-UP SHALL NOT OCCUR EARLIER THAN 7:00 AM NOR LATER THAN 7:00 PM, MONDAY THRU SATURDAY ONLY
- CONSTRUCTION HOURS ARE MONDAY THRU SATURDAY, 7:00 AM TO 7:00 PM, WITH NO CONSTRUCTION ACTIVITIES OCCURRING ON SUNDAYS. IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS OF 7:00 AM AND 5:00 PM, MONDAY THRU FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON SATURDAYS AND SUNDAYS
- SHEET 1 OF 7 SHALL BE RECORDED AT THE HILLSBOROUGH REGISTRY OF DEEDS. A COMPLETE SET OF PLANS IS ON FILE WITH THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN A FLOOD HAZARD AREA AS SHOWN ON THE FLOOD INSURANCE RATE MAP, HILLSBOROUGH COUNTY (ALL JURISDICTIONS), PANEL 858 OF 701, TOWN OF HUDSON, NEW HAMPSHIRE, COMMUNITY No. 330092, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C00956D, EFFECTIVE DATE: SEPTEMBER 25, 2008.
- PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY A LICENSED LAND SURVEYOR CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED SITE PLAN
- SNOW REMOVAL TO BE PLACED IN OPEN AREAS OF THE SITE AS SHOWN ON SHEET 3 OF 7. IF NEEDED, EXCESS SNOW SHALL BE TRUCKED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER
- A CAP FEE IN THE AMOUNT OF \$6,093.36 (\$1.08/SF X 5,642 SF INDUSTRIAL) SHALL BE PAID PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THE DEVELOPMENT AGREEMENT FOR THIS PROJECT SHALL BE PLACED ON FILE WITH THE TOWN OF HUDSON PLANNING DEPARTMENT AND THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
- PRESENT OWNER OF RECORD:
MAP 221 LOT 1
ATRIUM MEDICAL CORPORATION
5 WENTWORTH DRIVE
HUDSON, NH 03051
BK 7994, PG. 116

WAIVERS REQUESTED:

- 275-8(B)(26)(G) MINIMUM NUMBER OF REQUIRED PARKING SPACES
- 275-8(B)(30)(a) MINIMUM NUMBER OF REQUIRED LOADING SPACES
- 275-8(B)(31) LANDSCAPE PLAN
- 275-9 (B) TRAFFIC STUDY
- 275-9 (C) FISCAL AND ENVIRONMENTAL IMPACT STUDY
- 275-9 (D) NOISE STUDY

ZONING NOTE
THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.
PURSUANT TO RSA 678:18, III AND RSA 672:14
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.



5-01-15
DATE

FOR RHM INTERNATIONAL, LLC
ERIC EUVRARD
DATE 4/9/15
FOR ATRIUM MEDICAL CORPORATION
HIRM, BOTH
DATE 4/8/15

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM THE DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE DATE: _____
SIGNATURE DATE: _____

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MASTER SITE PLAN (MAP 221, LOT 1)
PROPOSED BUILDING ADDITION
29 FLAGSTONE DRIVE
HUDSON, NEW HAMPSHIRE
PREPARED FOR:

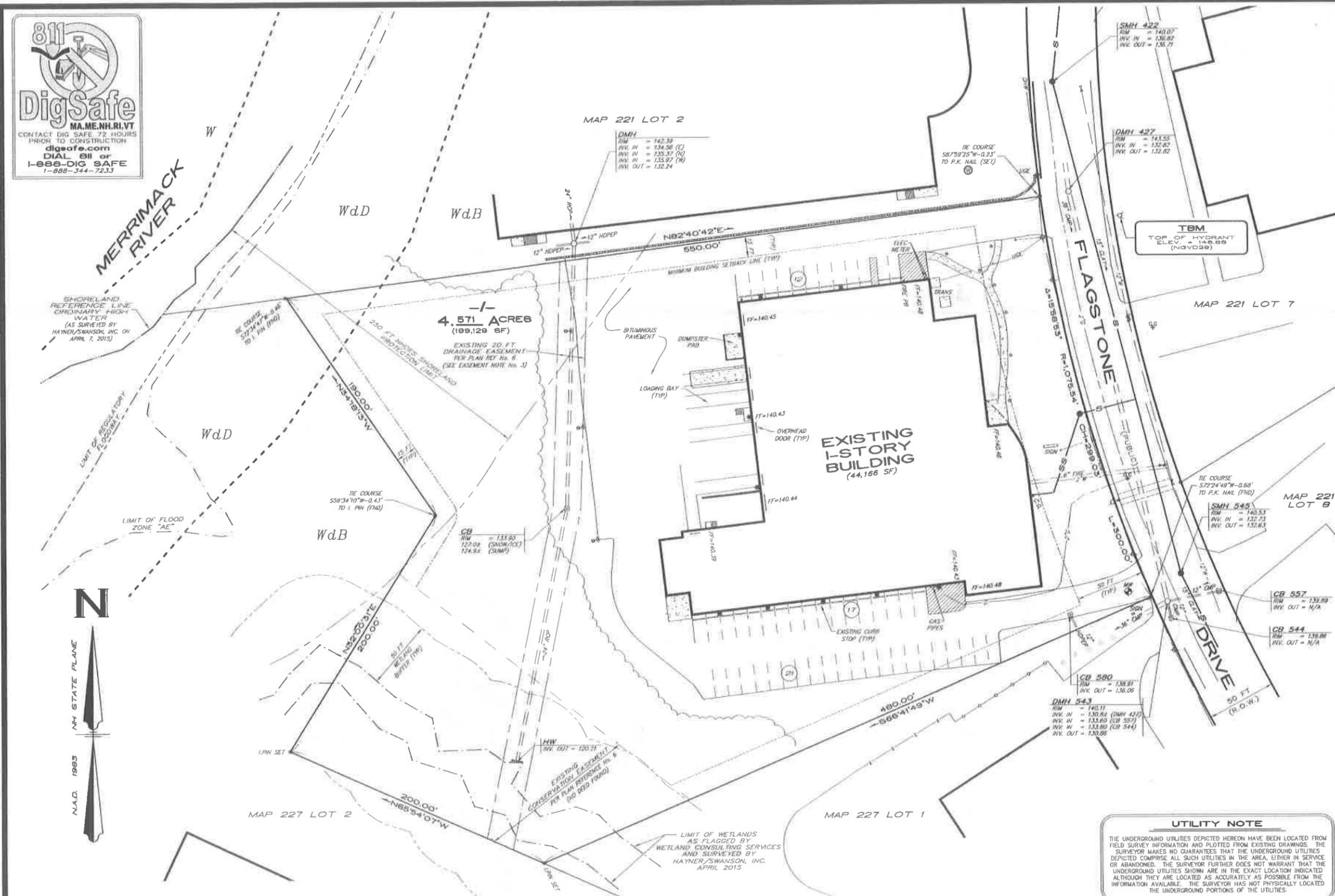
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280 CLARK ROAD BROOKLINE, MASSACHUSETTS 02445 (978) 781-7289

RECORD OWNER:
ATRIUM MEDICAL CORPORATION
5 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 880-1433



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FIELD BOOK: 1205	DRAWING NAME: 5324SITE F041	5324	1 OF 7
DRAWING LOCATION: Q:\5324\DWG\5324 SITE		File Name	Sheet



SURVEY NOTES:

- TOPOGRAPHY IS BASED ON A FIELD SURVEY BY THIS OFFICE USING GPS AND CONVENTIONAL METHODS IN 2015.
- UTILITIES SHOWN ARE APPROXIMATE BASED ON RECORD PLANS AND OBSERVED EVIDENCE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
- SURVEY CONTROL:
 - HORIZONTAL DATUM: NAD83/2011
 - PROJECTION: NH STATE PLANE
 - VERTICAL DATUM: NGVD29
 - SCALE FACTOR APPLIED: 1.000000
 - UNITS: US SURVEY FEET
- * VERTICAL DATUM WAS VERIFIED USING GPS (KEYNET NETWORK) BY TAKING OBSERVATIONS ON SITE AND ON NGS (FORMERLY USGS) "DISK D-26" LOCATED ON THE NORTHERLY SIDE OF RTE 101A APPROXIMATELY 4.5 MILES WEST OF THE NASHUA LIBRARY.
- THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.

EASEMENTS, RIGHTS AND RESTRICTIONS:

- PROPERTY IS SUBJECT TO RIGHTS OF OTHERS TO INTERMITTENT STREAM, ENCLOSED DRAINAGE SYSTEM AND EXISTING BROOK AS SHOWN ON HCRD PLAN No. 9749.
- PROPERTY IS SUBJECT TO AN EASEMENT TO PSNH RECORDED AT BOOK 2379, PAGE 167 (GENERAL EASEMENT FOR TRANSMISSION OF ELECTRICAL POWER THROUGHOUT DEVELOPMENT).
- PROPERTY IS SUBJECT TO A 20 FOOT WIDE DRAINAGE EASEMENT AND MAY BE SUBJECT TO A CONSERVATION EASEMENT AS SHOWN ON REFERENCE PLAN No. 6 (NO DEED FOUND FOR CONSERVATION EASEMENT).



THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE U.S. ARMY CORPS OF ENGINEERS JANUARY 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST (REGION 2)

WETLAND DELINEATION PREPARED BY:
 WETLAND CONSULTING SERVICES
 ROBERT PROKOP
 CERTIFIED WETLAND SCIENTIST (#063)

SOIL SURVEY STAFF, NATURAL RESOURCES CONSERVATION SERVICE, UNITED STATES DEPT. OF AGRICULTURE, WEB SOIL SURVEY, AVAILABLE ONLINE AT <http://websoilsurvey.nrcs.usda.gov/> ACCESSED APRIL 2, 2015.

SOILS DATA

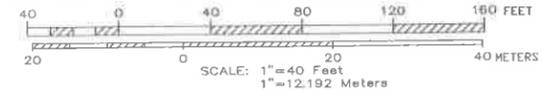
Wd.B	WINDSOR LOAMY SAND
Wd.D	WINDSOR LOAMY SAND
W	WATER
- - -	SOIL BOUNDARY

No.	DATE	REVISION	BY
1	04/10/15	ADDRESS FEEL REVIEW COMMENTS	JHP

EXISTING CONDITIONS PLAN (MAP 221, LOT 1)
PROPOSED BUILDING ADDITION
 29 FLAGSTONE DRIVE
 HUDSON, NEW HAMPSHIRE
 PREPARED FOR:

RHM INTERNATIONAL, LLC
 280 CLARK ROAD BROOKLINE, MASSACHUSETTS 02445 (978) 761-7289
 RECORD OWNER:

ATRIUM MEDICAL CORPORATION
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13 APRIL 2015

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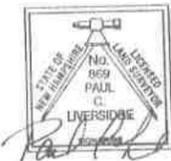
FIELD BOOK: 1205	DRAWING NAME: 5324SITE EC41	5324	2 OF 7
DRAWING LOCATION: G:\5324\DWG\5324 SITE		File Number	Sheet

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5-01-15
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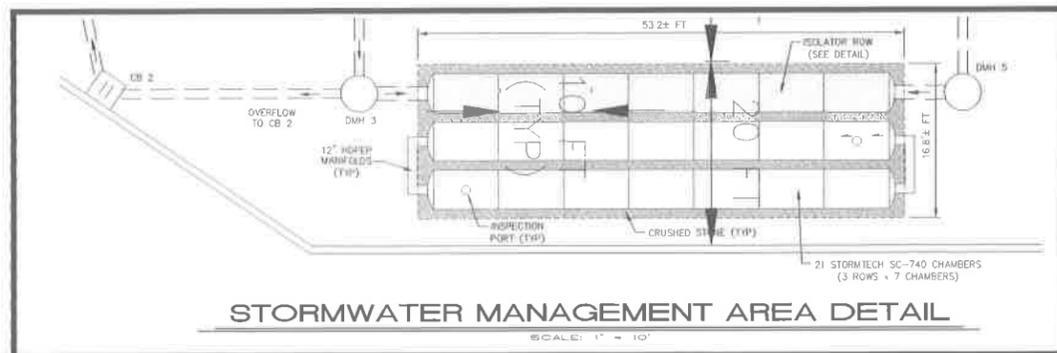
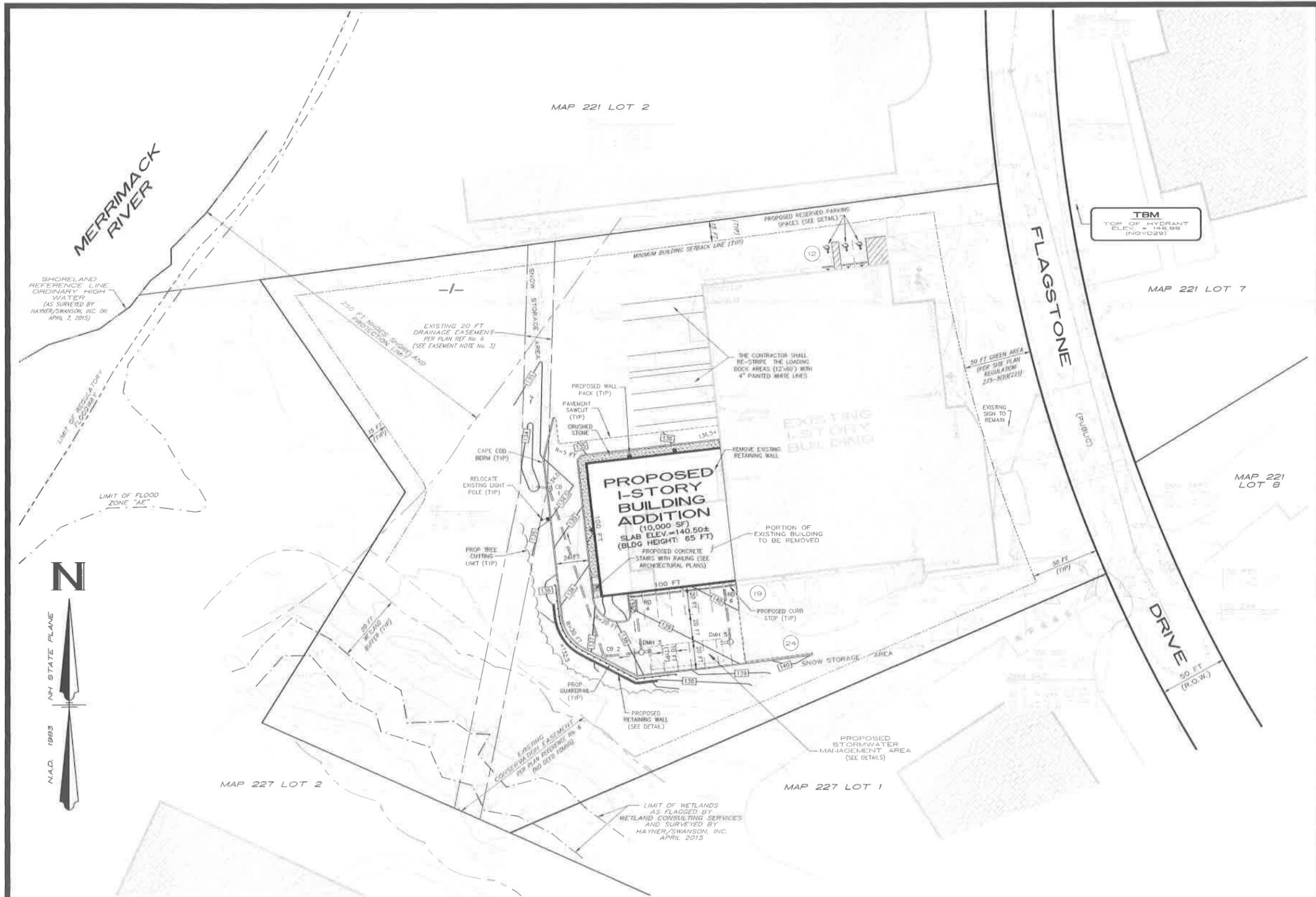
- EXISTING GROUND CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED GRADE
- PROPOSED SPOT GRADE
- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLE
- STORM DRAIN & HEADWALL
- SANITARY SEWER & MANHOLE
- WATER MAIN & HYDRANT
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- UTILITY POLE WITH GUY SUPPORT
- OVERHEAD ELECTRIC & TELEPHONE
- UNDERGROUND ELECTRIC & TELEPHONE
- SIGN
- TREE LINE

LEGEND

- STONE BOUND
- IRON PIN
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- BUILDING SETBACK LINE
- WETLAND FLAGGING LIMIT
- WETLAND BUFFER LINE
- STOCKADE FENCE
- CHAINLINK FENCE
- CURBING
- VERTICAL GRANITE CURBING
- SLOPE GRANITE CURBING
- STORMWATER RUNOFF DIRECTION
- HANDICAP PARKING SPACE
- PARKING SPACE COUNT
- GUARD RAIL
- PAVEMENT SAWCUT
- CONCRETE
- PROPOSED FULL-DEPTH PAVEMENT
- PROPOSED PAVEMENT OVERLAY
- RIPRAP / STONE
- MONITORING WELL
- RETAINING WALL
- CONIFEROUS TREE
- DECIDUOUS TREE

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.



CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST ADDITION, ARE HEREBY INCORPORATED BY REFERENCE.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION PUBLIC WORKS DEPT. HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHALL BE CLASS IV 3000 D (RCP OR ADS-HP). CATCH BASINS SHALL BE TYPE B, AND HAVE 4 FT SUMPS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1.888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- ALL DRAINAGE PIPE SHALL BE FURNISHED AND INSTALLED WITH FLEXIBLE GASKE TS JOINTS SHALL BE MADE WITH OIL RESISTANT COMPRESSION RINGS OF AN ELASTOMERIC MATERIAL CONFORMING TO ASTM C-443. MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE FOLLOWED.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED THROUGH THE CONSTRUCTION PROCESS UNTIL STABILIZATION OCCURS.
- STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- DIMENSIONS TO CURB AND GUTTERS INDICATE EDGE OF PAVING UNLESS OTHERWISE NOTED.
- EXISTING PAVEMENT SHALL BE SAWCUT AS NECESSARY. CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING PAVEMENT.

TOWN OF HUDSON CONTACTS

- PLANNING DEPARTMENT**
HUDSON PLANNING DEPT
12 SCHOOL STREET
HUDSON, NH 03051

ATT: JOHN CASH-ELL
(603) 883-0008
- ENGINEERING DEPARTMENT**
HUDSON ENGINEERING DEPT
12 SCHOOL STREET
HUDSON, NH 03051

ATT: ELVIS DIMMA, P.E.
(603) 886-8008
- FIRE DEPARTMENT**
HUDSON FIRE DEPARTMENT
12 SCHOOL STREET
HUDSON, NH 03051

ATT: ROBERT BUXTON, FIRE CHIEF
(603) 886-6021

CONSULTANT CONTACTS

- SURVEYOR/CIVIL ENGINEER**
HAYNER/SWANSON, INC.
3 CONGRESS STREET
NASHUA, NH 03002

ATT: JAMES N. PETROPOULOS, P.E.
(603) 883-2057, EXT. 129
- GEOTECHNICAL ENGINEER**
SANBORN HEALD & ASSOCIATES, INC.
1 TECHNOLOGY PARK DRIVE
WESTFORD, MA 01886

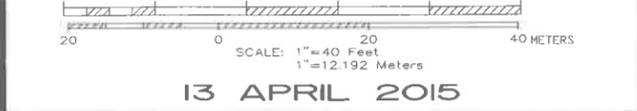
ATT: VERN KOKORIS, P.E.
(978) 382-0500

No.	DATE	REVISION	BY
1	04/30/15	ADDRESS PEER REVIEW COMMENTS	JHP

SITE PLAN (MAP 221, LOT 1)
PROPOSED BUILDING ADDITION
29 FLAGSTONE DRIVE
HUDSON, NEW HAMPSHIRE
PREPARED FOR:

RHM INTERNATIONAL, LLC
280 CLARK ROAD, BROOKLINE, MASSACHUSETTS 02445 (978) 761-7289

RECORD OWNER:
ATRIUM MEDICAL CORPORATION
5 WENTWORTH DRIVE, HUDSON, NEW HAMPSHIRE 03051 (603) 880-1433



13 APRIL 2015

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
Three Congress Street, Nashua, New Hampshire 03062-3301
Tel (603) 883-2057 Fax (603) 883-5057
www.hayner-swanson.com

FIELD BOOK: 1205	DRAWING NAME: 5324SITE F042	5324	3 OF 7
DRAWING LOCATION: 0:\5324\DWG\5324 SITE		File Number	Sheet

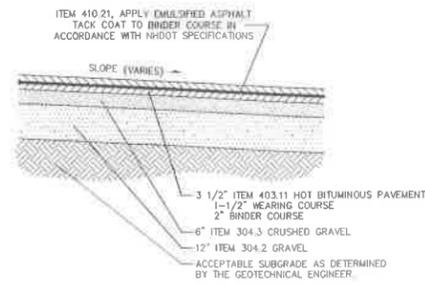
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

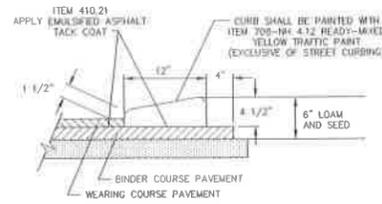
SIGNATURE DATE

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

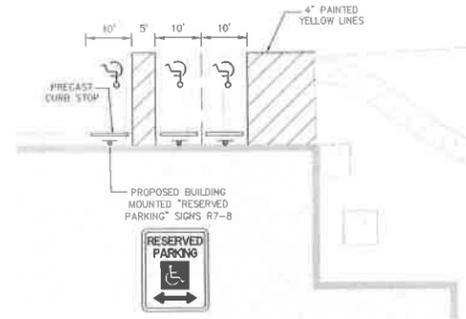




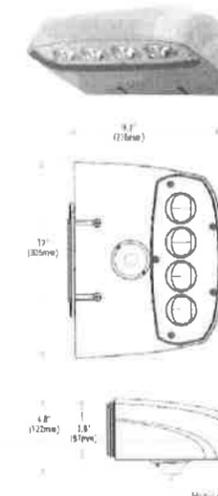
TYPICAL PAVEMENT SECTION
NOT TO SCALE



CAPE COD BERM DETAIL
NOT TO SCALE

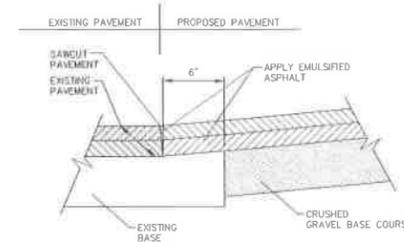
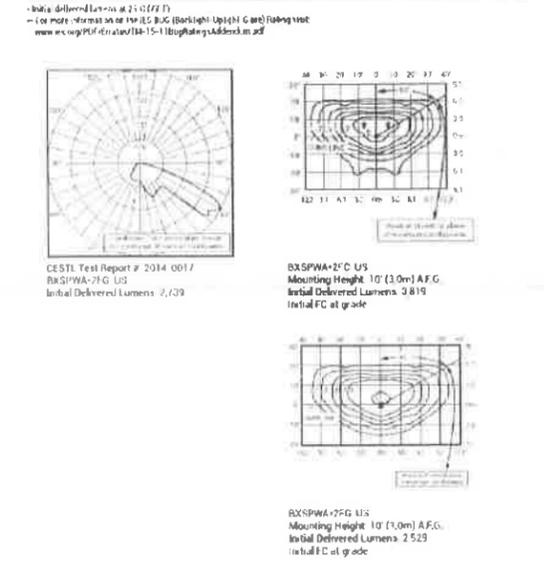


RESERVED PARKING DETAIL
SCALE: 1" = 20'

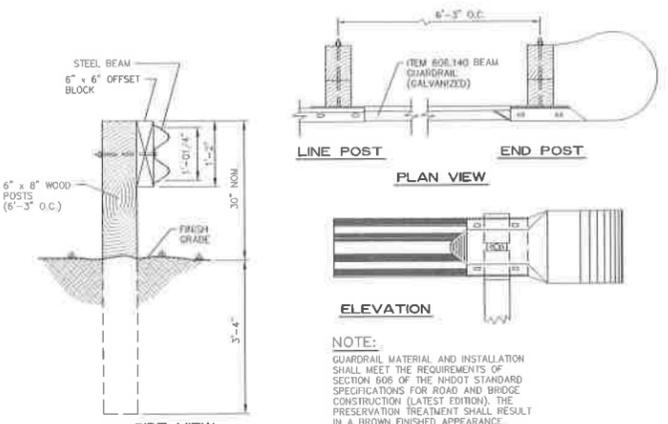


WALL PACK LIGHTING DETAIL
NOT TO SCALE

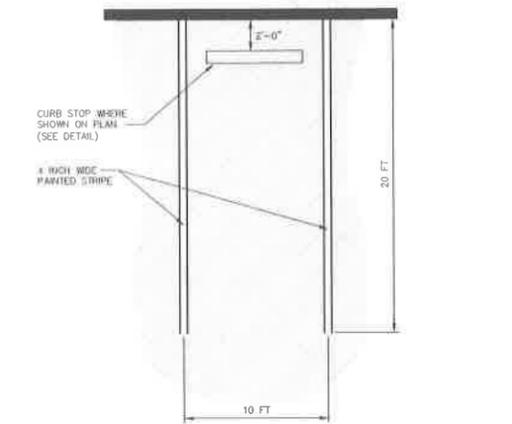
Type II Medium Distribution				
Input Power Designator	4000K Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	5700K Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
C	3819	B1 U0 G1	4109	B1 U0 G1
D	2529	B1 U0 G1	2722	B1 U0 G1



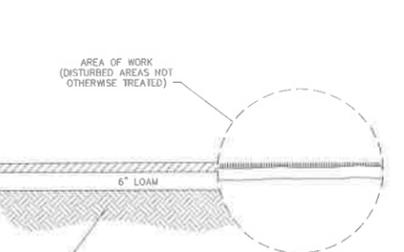
SAWCUT PAVEMENT DETAIL
NOT TO SCALE



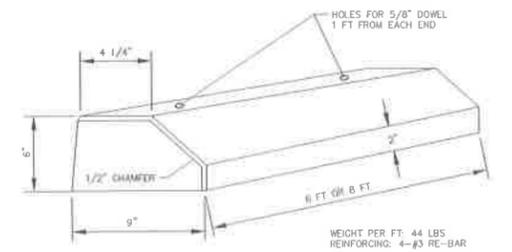
WOOD POST/BEAM TYPE GUARDRAIL DETAIL
NOT TO SCALE



TYP. PARKING STALL DETAIL
NOT TO SCALE



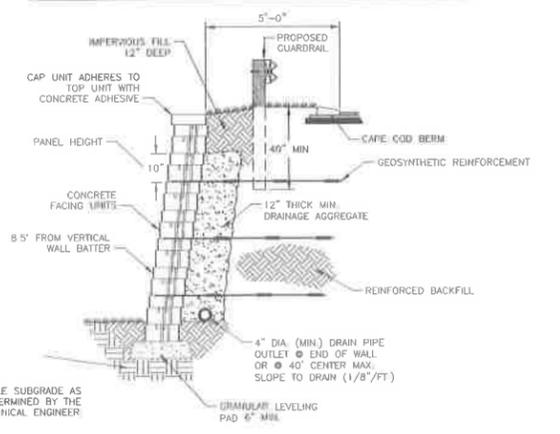
LOAM AND SEED DETAIL
NOT TO SCALE



PRECAST CONCRETE CURB STOP DETAIL
NOT TO SCALE

RETAINING WALL NOTES

- DIMENSIONS AS SHOWN ARE APPROXIMATE.
- THE CONTRACTOR SHALL DESIGN/BUILD THE RETAINING WALLS TO THE APPROXIMATE LIMITS AS SHOWN ON THE PLANS.
- FINAL SHOP DRAWINGS OF THE RETAINING WALLS, INCLUDING GUARDRAIL, FENCING AND BACKFILL REQUIREMENTS, SHALL BE PREPARED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF NEW HAMPSHIRE.
- FINAL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.



TYPICAL SECTION-RETAINING WALL
NOT TO SCALE

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE DATE: _____
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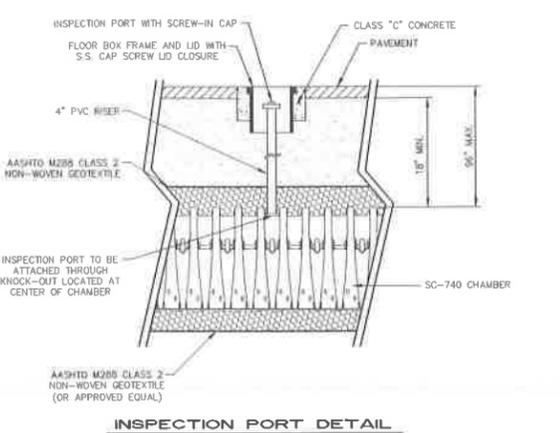
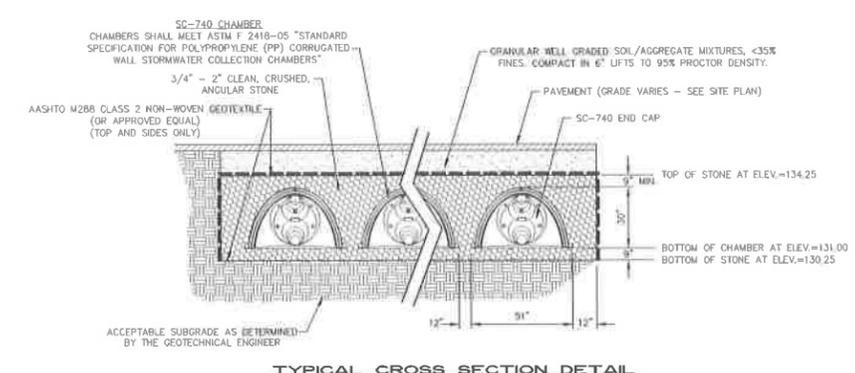
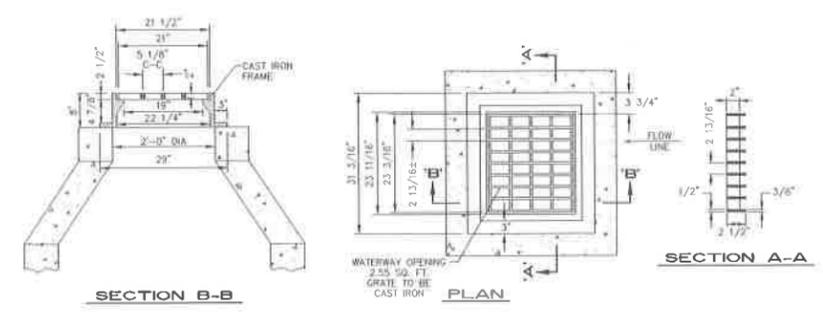
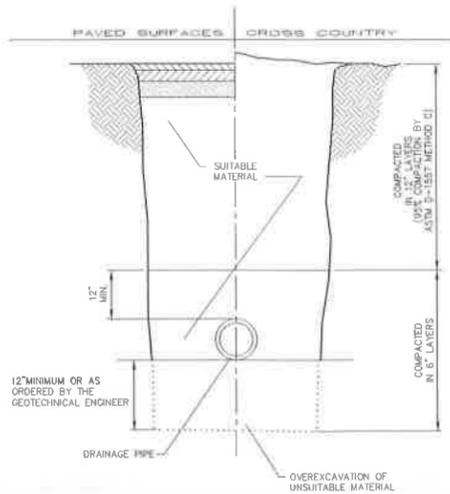
DETAIL SHEET - GENERAL SITE (MAP 221, LOT 1)
PROPOSED BUILDING ADDITION
29 FLAGSTONE DRIVE
HUDSON, NEW HAMPSHIRE
PREPARED FOR:
RHM INTERNATIONAL, LLC
280 CLARK ROAD BROOKLINE, MASSACHUSETTS 02445 (978) 761-7289
RECORD OWNER:
ATRIUM MEDICAL CORPORATION
5 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 880-1433

SCALE AS SHOWN

13 APRIL 2015

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
Three Congress Street Nashua, New Hampshire 03062-3301
Tel (603) 883-2057 Fax (603) 883-5057
www.hayner-swanson.com

FIELD BOOK: 1205	DRAWING NAME: 5324SITE DET1	5324	4 OF 7
DRAWING LOCATION: 0:\5324\DWG\5324 SITE		FILE NUMBER	Sheet

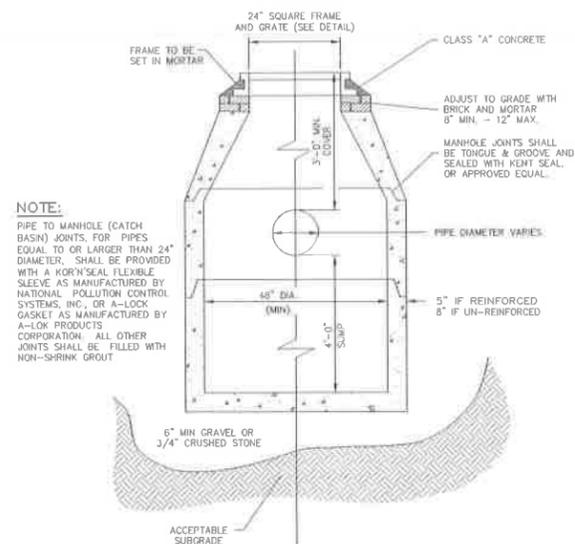
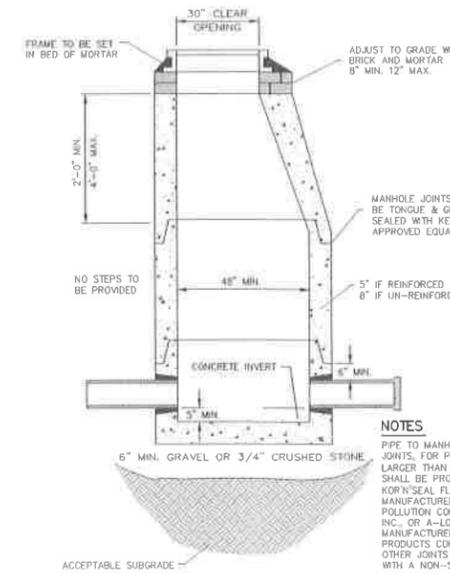


TYPICAL DRAINAGE TRENCH SECTION
NOT TO SCALE

CATCH BASIN - TYPE B FRAME AND COVER DETAIL
(NH DOT STANDARD)
NOT TO SCALE

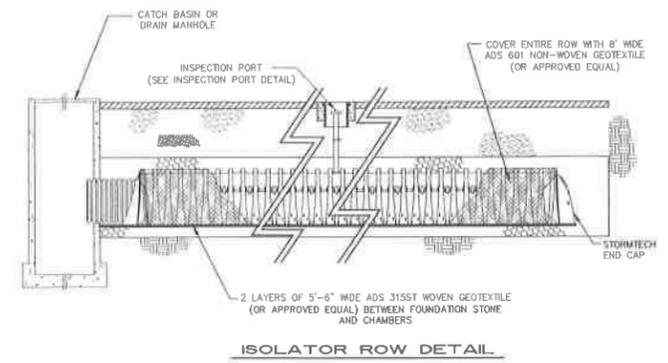
TYPICAL CROSS SECTION DETAIL

INSPECTION PORT DETAIL



STORMTECH NOTES

1. CHAMBERS SHALL BE STORMTECH SC 740, OR APPROVED EQUAL.
2. CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE RESINS TESTED USING ASTM STANDARDS.
3. CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2767, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
4. CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS.
5. THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.
6. ONLY CHAMBERS THAT ARE APPROVED BY THE ENGINEER WILL BE ALLOWED. THE CONTRACTOR SHALL SUBMIT (3 SETS) OF THE FOLLOWING TO THE ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT: SITE LAYOUT EVALUATION BY A REGISTERED STRUCTURAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET, THE 50-YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2922 MUST BE USED AS A PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
7. CHAMBERS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.
8. ALL DESIGN SPECIFICATIONS FOR CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST DESIGN MANUAL.
9. THE INSTALLATION OF CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS.
10. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE PROPOSED SUBSURFACE STORMWATER MANAGEMENT AREA, FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. SHOP DRAWINGS SHALL BE PREPARED BY A NEW HAMPSHIRE LICENSED PROFESSIONAL ENGINEER.
11. SYSTEM TO BE DESIGNED FOR H20 LOADING.



STORMTECH SC-740 CHAMBER SYSTEM
NOT TO SCALE

TEST PIT NOTE

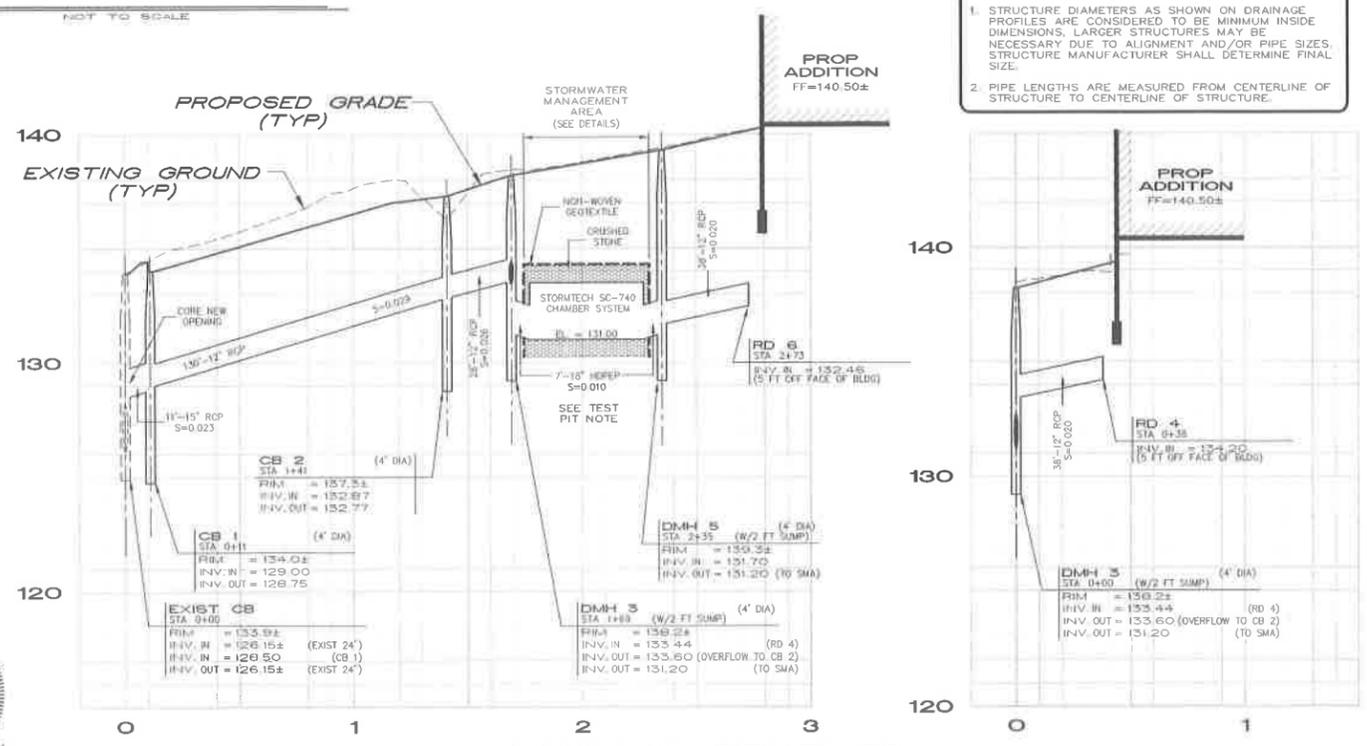
PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PERFORM A TEST PIT AT THE SUBGRADE OF THE STORMWATER MANAGEMENT AREA IN ORDER TO VERIFY:

1. THE FIELD INFILTRATION RATE SHALL BE GREATER THAN OR EQUAL TO THE DESIGN INFILTRATION RATE OF SIX (6) INCHES PER HOUR, AND
2. THE VERTICAL SEPARATION BETWEEN THE BOTTOM OF PRACTICE (ELEV= 130.25) AND THE ESTIMATED SEASONAL HIGH WATER TABLE SHALL BE A MINIMUM OF THREE (3) FEET

THE TEST PIT SHALL BE WITNESSED BY THE ENGINEER AND THE RESULTS SHALL BE PROVIDED TO THE TOWN OF HUDSON ENGINEERING DEPARTMENT FOR REVIEW AND APPROVAL

NOTES

1. STRUCTURE DIAMETERS AS SHOWN ON DRAINAGE PROFILES ARE CONSIDERED TO BE MINIMUM INSIDE DIMENSIONS. LARGER STRUCTURES MAY BE NECESSARY DUE TO ALIGNMENT AND/OR PIPE SIZE. STRUCTURE MANUFACTURER SHALL DETERMINE FINAL SIZE.
2. PIPE LENGTHS ARE MEASURED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE DATE: _____

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NO.	DATE	ADDRESS/PEER REVIEW COMMENTS	BY
1	04/30/15		JHP

DETAIL SHEET - GENERAL SITE
(MAP 221, LOT 1)

PROPOSED BUILDING ADDITION
29 FLAGSTONE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR:
RHM INTERNATIONAL, LLC
280 CLARK ROAD BROOKLINE, MASSACHUSETTS 02445 (978) 761-7289

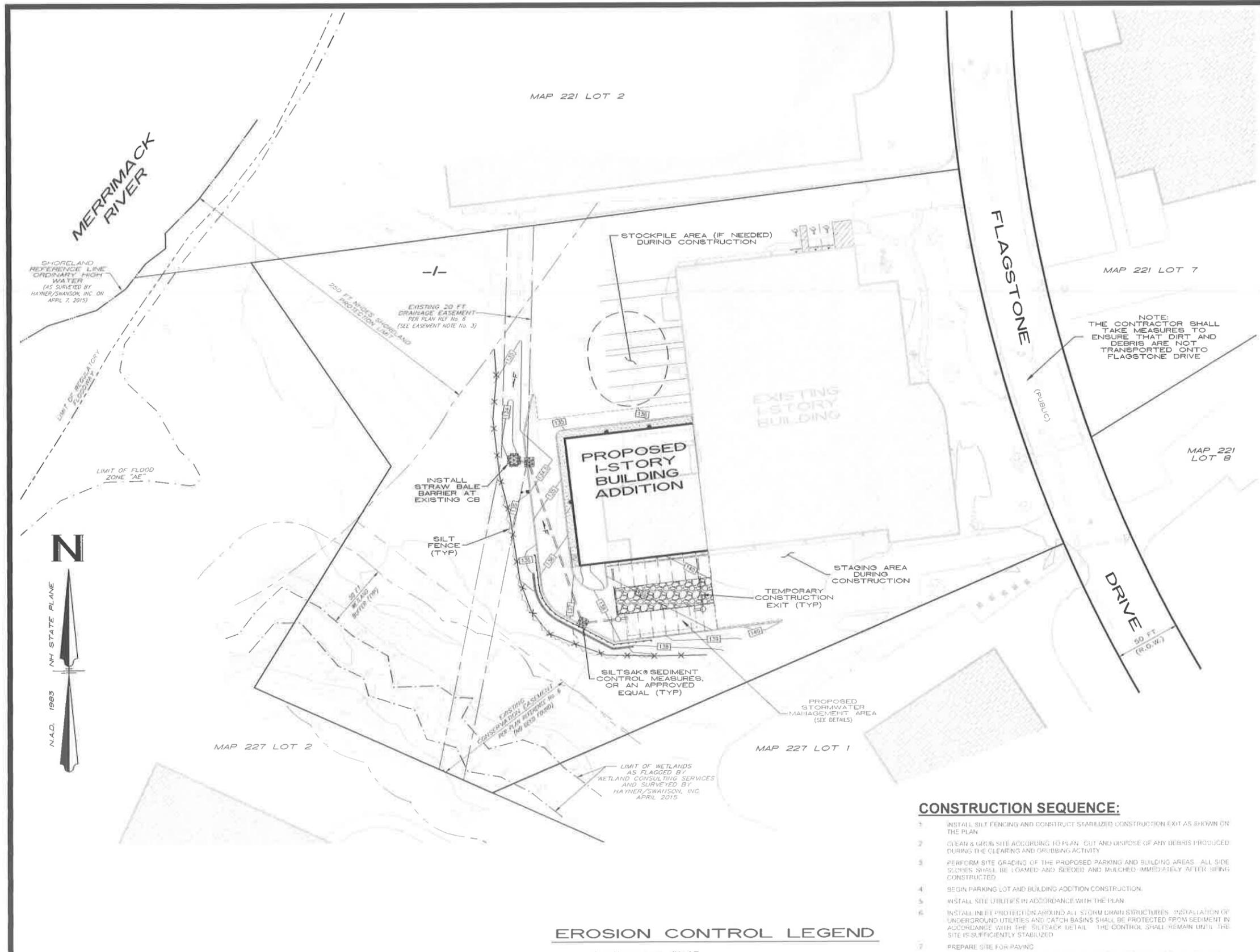
RECORD OWNER:
ATRIUM MEDICAL CORPORATION
5 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 880-1433

SCALE AS SHOWN

13 APRIL 2015

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
Three Congress Street Nashua, New Hampshire 03062-3301
Tel (603) 883-2057 Fax (603) 883-5057
www.haynerswanson.com

FIELD BOOK: 1205	DRAWING NAME: 5324SITE DET1	5324	5 OF 7
DRAWING LOCATION: 0:\5324\DWG\5324 SITE		File Number	Sheet



VICINITY MAP

GENERAL NOTES:

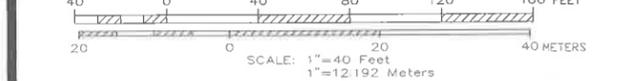
1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) AND BECOME FAMILIAR WITH THEIR CONTENTS.
2. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY SITE CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL STATE OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
4. STOCKPILE AREAS SHALL BE SURROUNDED BY SILT FENCE AND RE-SEEDING IF THEY ARE LEFT UNTOUCHED FOR MORE THAN TEN (10) DAYS.
5. ALL MEASURES STATED ON THIS EROSION CONTROL PLAN, AND IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETE PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT.
6. SILT FENCE SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM SILT FENCES WHEN IT REACHED ONE-QUARTER THE HEIGHT OF THE SILT FENCE.
7. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
8. ALL SEEDING AREAS SHALL BE CHECK REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDING AS NEEDED.
9. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXIT AS CONDITIONS DEMAND.
10. THE TOWN OF HUDSON RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION IF NEEDED.
11. DURING CONSTRUCTION THE CONTRACTOR SHALL MANAGE SNOW REMOVAL BY PLOWING IN THE AREAS SHOWN ON SHEET 3 OF 7. EXCESS SNOW SHALL BE TRUCKED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.

NO.	DATE	REVISION	BY
1	04/30/15	ADDRESS PEER REVIEW COMMENTS	JP

EROSION CONTROL PLAN
 (MAP 221, LOT 1)
PROPOSED BUILDING ADDITION
 29 FLAGSTONE DRIVE
 HUDSON, NEW HAMPSHIRE
 PREPARED FOR:

RHM INTERNATIONAL, LLC
 280 CLARK ROAD BROOKLINE, MASSACHUSETTS 02445 (978) 761-7289

RECORD OWNER:
ATRIUM MEDICAL CORPORATION
 5 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 880-1433



13 APRIL 2015



Civil Engineers/Land Surveyors
 Three Congress Street Nashua, New Hampshire 03062-3301
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FIELD BOOK: 1205	DRAWING NAME: 5324SITE.ER41	5324	6 OF 7
DRAWING LOCATION: 0:\5324\DWG\5324 SITE		File Name:	Sheet

EROSION CONTROL LEGEND

- x-x-x- SILT FENCE
- [Symbol] SILT-SACK INLET PROTECTION DEVICES
- [Symbol] GRAVEL CONSTRUCTION EXIT
- F- RUFFLE DIRECTION
- ===== STRAW BALE BARRIER

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCING AND CONSTRUCT STABILIZED CONSTRUCTION EXIT AS SHOWN ON THE PLAN.
2. CLEAN & GRUB SITE ACCORDING TO PLAN. CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
3. PERFORM SITE GRADING OF THE PROPOSED PARKING AND BUILDING AREAS. ALL SIDE SLOPES SHALL BE LOADED AND SEEDING AND MULCHED IMMEDIATELY AFTER BEING CONSTRUCTED.
4. BEGIN PARKING LOT AND BUILDING ADDITION CONSTRUCTION.
5. INSTALL SITE UTILITIES IN ACCORDANCE WITH THE PLAN.
6. INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE SILT-SACK DETAIL. THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
7. PREPARE SITE FOR PAVING.
8. AS THE PARKING LOT AND BUILDING ADDITION AREAS ARE COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED. NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF 30 DAYS.
9. LEGAM AND SEED ALL REMAINING DISTURBED AREAS. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER BEING CONSTRUCTED.
10. FINAL PAVING OF PARKING AREAS.
11. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
12. SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF DISTURBED AREAS.
13. REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

PURSUANT TO THE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE DATE OF MEETING: _____
 _____ SIGNATURE DATE _____
 _____ SIGNATURE DATE _____
 SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



Dunkin Donuts Extension Request

Staff Report

May 13, 2015

Site: 14 Brady Drive -- Map 105/Lot 019 -- SP# 04-15

Purpose of Petition: To request for a 1-year extension for the Approved Site Plan, i.e., a Dunkin Donuts and two commercial rental spaces with all associated site improvements. Application Acceptance and Hearing. Site Plan Originally Approved on 04-09-14.

Please see attached letter from the project eng., Katherine Basso, which includes a copy of the Notice of Approval for this Site Plan. This project was approved by the board on April 9, 2014, and the Applicant applied for the extension on April 1st. If the board deems this request worthy of a 1-year extension a DRAFT MOTION is provided below for the board's consideration.

DRAFT MOTION:

I move to grant a 1-year extension (i.e., from April 9, 2015 to April 9, 2016) for the Site Plan Approval of Dunkin Donuts, which includes two additional commercial retail spaces, location 14 Brady Drive, Map 105/Lot 019.

Motion by: _____ Second: _____ Carried/Failed: _____

NOTICE OF APPROVAL

April 16, 2014

Owner or Applicant: Noury Investments, LLC
17 Elnathans Way
Hollis, NH 03049

Cafua Management Group
280 Merrimack Street, Suite A
Methuen, MA 01844

On Wednesday, April 9, 2014, the Hudson Planning Board heard subject case SP# 01-14 "Dunkin Donuts"

SUBJECT: Purpose of plan: To illustrate the proposed layout of a Dunkin Donuts and two commercial rental spaces with all associated site improvements.
Hearing. Deferred Date Specific from the 03-12-14 Planning Board Meeting.

LOCATION: 14 Brady Drive – Map 105/Lot 019

You are hereby notified of the subject plat presented before the Planning Board and the following action:

The Planning Board voted to grant approval for the Site Plan entitled: Non-Residential Site Plan Dunkin Donuts Map 105, Lot 19, 14 Brady Drive, Hudson, NH, prepared by Keach-Nordstrom Associates, Inc., dated: January 24, 2014, latest revision date April 1, 2014, consisting of Sheets 1 – 15 and Septic Design Plan & Detail, Sheets 1 – 2 and Notes 1 – 29 on Sheet 1 of 15, in accordance with the following terms and conditions:

- 1) All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record (hereinafter referred to as the Plan).
- 2) Prior to the Planning Board endorsement of the Plan, the Development Agreement and all right-of-way and slope easement deeds shall be favorably reviewed and recommended on by Town Counsel.

Dunkin Donuts – Approval

- 3) All improvements shown on the Plan, including Notes 1-29, shall be completed in their entirety and at the expense of the Applicant or his assigns.
- 4) After the issuance of the foundation permit and prior to the issuance of the framing permit, the applicant shall submit to the Hudson Community Development Department a foundation "As-Built" plan on a transparency and to the same scale as the approved site plan. The foundation "As-Built" plan shall include all structural dimensions and lot line setback measurements to the foundation and be stamped by a licensed land surveyor. Any discrepancy between the approved site plan and foundation "As-Built" plans shall be documented by the applicant and be part of the foundation "As-Built" submission.
- 5) Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As-Built" site plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms with the Planning Board approved Plan.
- 6) Onsite landscaping shall be provided for in accordance with the plant and tree species specified on Sheet 9 of 15 of the Plan.
- 7) Exterior construction activities on the site shall be limited to between 7:00 A.M. and 7:00 P.M. Monday through Saturday. No construction activities shall occur on Sunday.
- 8) This approval shall be subject to final engineering review.
- 9) A CAP Fee in the amount of \$31,948.80 shall be paid prior to the Certificate of Occupancy. This fee is established in accordance with the 2014 CAP Fee Use Matrix.
- 10) Prior to Planning Board endorsement, the plans shall be amended to show the waterline extended from Robinson Road within the Brady Drive ROW, a fire hydrant installed in close proximity to the site driveway, and the waterline to the building installed from Brady Drive.

All representations of fact or intention made by the applicant or any applicant's representative during testimony before the Planning Board relative to the obtaining approval of this plan, shall be considered conditions of this approval regardless of the fact that such fact or intentions were not specifically stated as part of the motion to grant.

Signed: _____ Date: _____

John M. Cashell
Town Planner

cc: Keach-Nordstrom Associates, Inc.

Burnell Subdivision Plan 41 Speare Rd.

STAFF REPORT

May 13, 2015

SITE: 41 Speare Road -- Map 186/Lot 030 -- SB#04-15

ZONING: G-- Minimum lot size 1 Acre and 150 ft. of frontage.

PURPOSE OF PLAN: To subdivide existing Lot 30, into new Lot 30, containing 2.985 acres, and new Lot 30-1, containing 1.219 acres. Application Acceptance and Hearing.

PLAN UNDER REVIEW ENTITLED: Subdivision Plan Land of David & Karen Brunell Map 186; Lot 30, 41 Speare Road, Hudson, NH prepared by Keach-Nordstrom Associates, Inc., dated: 27 JAN 2015 (no revision date), consisting of Sheets 1 & 2 and Notes 1 – 11 (said plans are attached hereto).

ATTACHMENTS:

- 1) Project Narrative, Subdivision Application, Waiver Request Forms, and Aerial Photo, showing features within 200 ft. of the subdivision, date stamped 9 APR 15 – “A”.
- 2) Comments from: Zoning Administrator, Kevin Desmond, Town Eng., Elvis Dhima, Asst. Assessor, Jim Michaud, Fire Chief, Rob Buxton, Highway Dept. Asst. Supervisor, Jess Forrence and Police Lt. Dave Bianchi – “B”.

OUTSTANDING ISSUES:

1. On Sheet 2 of 2, among other site features, a proposed driveway location is shown for proposed new Lot 30-1. Note: in regard to this driveway, the 400 ft. sight distance is not indicated. Staff brought this to the attention of the Plan Surveyor, Tony Basso, LLS, and he stated that he will provide this information at the hearing.
2. The Hall Chart, shown on Sheet 1 of 2 of the Plan, indicates that both proposed lots meet or exceed the following minimum lot requirements in the General (G) Zoning District, which requires a minimum lot size of 1 acre (43,560 sf) of contiguous upland and 150 ft. of frontage on a Class VI or better road, which Speare Rd. qualifies as such.
3. The Plan indicates that there are no structures on proposed Lot 30-1, and there is 1-dwelling on proposed Lot 30, together with 2 garages and 2 sheds, all of which are located inside of the required building setbacks.
4. The following notes need to be inscribed on the Recording Sheet, i.e., Sheet 1 of 2:
 - a) *A cost allocation procedure (CAP) amount of \$892.01 per residential unit shall be paid prior to the issuance of a Certificate of Occupancy.*
 - b) *A public school impact fee in the amount of \$3,578.00, per residential unit shall be paid prior to the issuance of a Certificate of Occupancy.*
 - c) *A recreation contribution in the amount of \$400.00, per residential unit shall be paid prior to the issuance of a Certificate of Occupancy.*

d) *Construction activities involving the proposed undeveloped lots shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday.*

5. The first of the three waivers inscribed on Note 11 of Sheet 1 of the Plan set cites HISS Mapping. This waiver is no longer required, because the board deleted the HISS Mapping requirement from its regulations. Note: HISS Mapping is still inscribed on the Application Form; thus, the reason the Applicant included it as a waiver. Prior to Planning Board endorsement of the Plan, however, this waiver needs to be deleted from Sheet 1. A condition of approval to this effect is provided below.

REQUESTED WAIVERS:

- 1) 289-6(D) -- Fiscal Impact
- 2) 289-6 (D) --Traffic Study

APPLICATION TRACKING:

09 APR 15 - Application submitted.
13 MAY 15 - Initial public hearing scheduled.

RECOMMENDED ACTION: For this meeting, staff recommends application acceptance, conduct the public hearing and subdivision approval in accordance with the below DRAFT MOTIONS. That is, unless the board denies the requested waiver on Driveway Safe Sight Distance.

DRAFT MOTIONS:

I move to accept the 2-lot Subdivision application for 41 Speare Rd. Map 186/Lot 030.

Motion by: _____ Second: _____ Carried/Failed: _____

I move to defer the public hearing on this Subdivision application date specific to the May 27, 2015 Planning Board meeting.

Motion by: _____ Second: _____ Carried/Failed: _____

REQUESTED WAIVERS:

- 1) 289-6 (D) -- Traffic Study

I move to grant the requested waiver - HTC 289-6(D) - Traffic Study- because the addition of one single-family dwelling off Speare Rd. will not substantially or otherwise impact the existing traffic conditions along this street, and as such, the granting of this waiver is not contrary to the spirit and intent of the Subdivision Regulations.

Motion by: _____:Second: _____ Carried/Failed: _____

2) 289-6(D) --Fiscal Impact

I move to grant the requested waiver: HTC 289-6(D)- Fiscal Impact Study- because said study, in addition to the submitted plans, CAP Fee provisions and other submitted application materials, is not necessary in order to evaluate the fiscal impact of this development, and as such, the granting of this waiver is not contrary to the spirit and intent of the Subdivision Regulations.

Motion by: _____:Second: _____ Carried/Failed: _____

MOTION to APPROVE:

I move to approve the subdivision plan entitled: Subdivision Plan Land of David & Karen Brunell Map 186; Lot 30, 41 Spear Road, Hudson, NH prepared by Keach-Nordstrom Associates, Inc., dated: 27 JAN 2015 (no revision date), consisting of Sheets 1 & 2 and Notes 1 – 11 in accordance with the following terms and conditions:

1. All stipulations of approval shall be incorporated into the Decision of Approval, which shall be recorded at the HCRD, together with the Plan.
2. A cost allocation procedure (CAP) amount of \$892.01, per residential unit shall be paid prior to the issuance of a Certificate of Occupancy.
3. A public school impact fee in the amount of \$3,578.00, per residential unit shall be paid prior to the issuance of a Certificate of Occupancy.
4. A recreation contribution in the amount of \$400.00, per residential unit shall be paid prior to the issuance of a Certificate of Occupancy.
5. All monumentation shall be set or bonded for prior to the Planning Board endorsing the Plan-of -Record.
6. Approval of this plan shall be subject to final engineering review, including the location of the driveway for Lot 30-1.
7. Construction activities involving the proposed undeveloped lots shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday.
- 8) Prior to Planning Board endorsement of the Plan, all of the above notes, together with the two granted waivers shall be inscribed on the Plan, i.e., 289-6(D) -Fiscal Impact and 289-6 (D) --Traffic Study.

Motion by: _____ Second: _____ Carried/Failed: _____.

u
A
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April 9, 2015

Subject: **Burnell Subdivision – Subdivision Application**
Map 186, Lot 30
41 Speare Road, Hudson NH
KNA Project No. 14-1105-1



PROJECT NARRATIVE

The subject parcel is located at 41 Speare Road and is referenced on Hudson's Tax Map 186 as Lot 30. The 4.205 acre parcel is in Hudson's General (G) Zoning District. A portion of the site is currently developed with an existing two-story house, two garages, and a paved access drive. The proposal is to subdivide the existing lot into two separate parcels.

The proposed project entails the subdivision of the existing 4.205 acre parcel into two lots. Proposed Lot 30 is approximately 2.985 acres in area and encompasses the previously developed home. Proposed Lot 30-1 includes the remaining undeveloped area, approximately 1.219 acres. Each lot will have an onsite well and private septic system. The proposed subdivision will not produce any measureable impact to traffic, schools and utilities.



SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: 4/8/15 Tax Map # 186 Lot # 30

Name of Project: Burnell Subdivision

Zoning District: _____
(For Town Use)

General SB# SB 04-15
(For Town Use)

ZBA Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: David & Karen Burnell

Same

Address: 41 Speare Road

Address: Hudson, NH 03051

Telephone # _____

Fax # _____

Email: _____

PROJECT ENGINEER

Name: Keach-Nordstrom Associates, Inc.

Telephone # (603) 627-2881

Address: 10 Commerce Park No., Suite 3

Fax # (603) 627-2915

Address: Bedford, NH 03110

Email: abasso@keachnordstrom.com

PURPOSE OF PLAN:

To subdivide existing Lot 30 into new Lot 30 containing 2.985 acres, and new Lot 30-1 containing 1.219 acres.

(FOR TOWN USE)		<i>PB meeting!</i>
Plan Routing Date: <u>4-15-15</u>	Sub/Site Date: <u>5-13-15</u>	
<input type="checkbox"/> I have no comments	<input type="checkbox"/> I have comments (attach to form)	
(Initials)	Title: _____	Date: _____
DEPT:	<input type="checkbox"/> Zoning <input type="checkbox"/> Engineering <input type="checkbox"/> Assessor <input type="checkbox"/> Police <input type="checkbox"/> Fire <input type="checkbox"/> Planning <input type="checkbox"/> Consultant <input type="checkbox"/> Highway Department	
Fees Paid _____		

SITE DATA SHEET

Plan Name: Burnell Subdivision

Plan Type: Subdivision Plan

Legal Description: Map 186 Lot 30

 Map 186 Lot 30-1

Date: 4/8/15

Location: 41 Speare Road

Total Area: S.F. 183,151 Acres: 4.205

Area in Wetlands: 18,268

Zoning: General

Lots Not Meeting
Required Dimensions: -

Required Area: 1 Acre

Required Frontage: 150 FT

Water and Waste System
Proposed: Private Wells and Septics

Number of Lots With
Existing Buildings: One

Existing Buildings
To Be Removed: None

Flood Zone Reference: N/A

Proposed Linear Feet
Of New Roadway: N/A

LOT AREA CALCULATION TABLE

LOT #	TOTAL AREA	WETLAND AREA	AREA > 25% SLOPE	BUILDABLE AREA (net contiguous upland useable)	FRONTAGE
1.	130,029 SF	12,365 SF	9,372 SF	108,292 SF	150.58 FT
2.	53,120 SF	5,903 SF	0 SF	47,217 SF	228.03 FT
3.					
4.					
5.					
6.					
7.					
8.					
9.					
10.					

Data Sheets Checked By: AMB Date: 4/8/15

**APPLICATION FOR SUBDIVISION PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Twenty one (21) days prior to Planning Board Meeting, a complete subdivision plan to include all supporting materials/documents must be submitted in final form. The subdivision plan shall comply with the following specifications/requirements:

**Applicant
Initials**

**Staff
Initials**

- | | | |
|--|--|--|
| <p><u>AMB</u> a)</p> <p><u>AMB</u> b)</p> <p><u>AMB</u> c)</p> <p><u>AMB</u> d)</p> <p><u>AMB</u> e)</p> <p><u>AMB</u> f)</p> <p><u>AMB</u> g)</p> <p><u>AMB</u> h)</p> <p><u>AMB</u> i)</p> <p><u>AMB</u> j)</p> <p><u>AMB</u> k)</p> <p><u>AMB</u> l)</p> <p><u>AMB</u> m)</p> | <p>Submission of eight (8) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M. Tuesday the week prior to the scheduled public hearing/conceptual review date.</p> <p>Seventeen (17)-subdivision narratives, describing the project.</p> <p>Plan scale at not less than one inch equals fifty feet (example: 1" = 50' acceptable).</p> <p>Locus plan with 1,000 minimum radius of site to surrounding area.</p> <p>Plan dated by day/month/year.</p> <p>Revision block.</p> <p>Planning Board approval block.</p> <p>Title of project inscribed on plan.</p> <p>Name(s) and address of property owner(s) and signature(s) shall be inscribed on plan.</p> <p>North point shall be inscribed on plan.</p> <p>Property lines-exact locations and dimensions.</p> <p>Acreage/sq. ft. of entire subdivision.</p> <p>Proposed lots, with lot numbers and area of each lot. Note: each proposed Lot shall be listed on the plan, in chart form, indicating in square feet/ acreage the total lot area, wetland, slope area greater than 25% and total net contiguous useable upland area.</p> |  |
|--|--|--|

Applicant
Initials

Staff
Initials

AMB n) Certified list of names and addresses of bordering abutters, shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on plan.

AMB o) Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve area, floodways/floodplains, driveways, travel areas, parking areas, natural features within 200 feet of the tract.

AMB p) Locations of existing and proposed permanent monuments and benchmarks within 200 feet of the tract.

AMB q) Pertinent highway projects.

AMB r) Assessor map and lot number.

AMB s) Waiver application form shall be submitted with subdivision application, Note on plan listing waivers requested/granted; and all waivers granted to the subdivision regulations shall be listed on the final plan.

AMB t) Delineate zoning.

N/A u) Storm water drainage plan.

AMB v) Topographical contours at 2-foot intervals existing and proposed.

AMB w) Utilities: existing and proposed.

AMB x) Building and wetland setback lines.

AMB y) Rights of way, existing and proposed.

AMB z) Location of dedicated recreational public use land(s) proposed.

N/A aa) Detailed designs of bridges and culverts.

N/A ab) Typical roadway cross-section, road profile, stationing, and curve data, etc.

JK

JK

JK

JK

JK

JK

JK

N/A No New
CONSTRUCTION
PLANNED AT THIS
TIME.

JK

JK

JK

JK

N/A NONE
PROPOSED

N/A

Applicant
Initials

Staff
Initials

AMB ac) Proposed location of water supply and sewage disposal systems, including perk test data, test-pit logs and locations; wells, (proposed and existing) 75' protective well radii and attached copies of any required well protection easements.

JC

AMB ad) All notes from plats.

JC

AMB ae) Buffers as required by subdivision regulations.

JC

W af) Soil types and boundaries, Note: If site contains marginal or questionable soils, a High Intensity Soil Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire Certified Soil Scientist, who shall affix his/her stamp and signature and this shall be inscribed on the plan.

N/A

AMB ag) Wetlands (and poorly-drained and very poorly-drained soils), also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire Certified Wetland or Soil Scientist, who shall affix his/her stamp and signature to the respective plan.

JC

AMB ah) Easements, existing and proposed.

JC

AMB ai) State of New Hampshire Engineer's seal and signature.
Surveyor's seal and signature.

JC

AMB aj) Error of closure (1 in 10,000 or better).

JC

AMB ak) Drafting errors/omissions.

JC

AMB al) Note outlining phasing schedule.

JC N/A

AMB am) Narrative description stating the purpose, location, long range plans impacts on traffic, schools, and utilities.

JC

AMB an) Aerial photograph of site and area within 200 feet of the subdivision parcel.

JC

W ao) Fiscal impact study.

W

W ap) Traffic study.

W

N/A aq) Drainage calculations and supporting data.

N/A

NO IMPERVIOUS
SURFACE(S)
PROPOSED AT
THIS TIME.

Applicant
Initials

Staff
Initials

AMB ar) Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents.

AMB as) Copy of applicable town, state, federal approval/permits to include but not limited to the following:

- sewer applications
- flood plain permit
- wetlands special exception
- variance
- erosion control permit (149:8a)
- WSPCC subdivision approval (septic)
- dredge and fill permit
- curb cut/driveway permit
- shore land protection certification in accordance with RSA483-B.
- if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.

N/A at) Off-site agreement(s).

N/A

AMB au) Presentation plan (colored, with color-coded bar chart).

AMB av) Fees paid to clerk.

AMB aw) Plans that include relocation of lot lines shall clearly delineate the former (old) lot lines from proposed (new) lot lines.

- Any or all items may be waived under the purview of the Planning Board.

**APPLICATION FOR SUBDIVISION PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Subdivision Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Subdivision Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s), by the filing of this application as indicated above, hereby give permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and inspections conducted on his (their) property in connection with this applications.

Signature of Owner: Karen L. Bunnell

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: S.A.A.

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

Technical Review Signature: _____

Planner Approval Signature: Jim Kelly

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: Burnell Subdivision

Street Address: 41 Speare Road, Hudson, NH 03051

I Karen Burnell hereby request that the Planning Board waive the requirements of item Hudson Land Use Code 275-9, B of the Subdivision/Site Plan Checklist in reference to a plan presented by Keach-Nordstrom Assoc., Inc. (name of surveyor and engineer) dated January 27, 2015 for property tax map(s) 186 and lot(s) 30 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

A Traffic Impact Study would cause unnecessary financial burden to the applicant.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

The ordinance is in place to mitigate potential problems occurring due to an increase in traffic flow to and from the site. Since no buildings are being proposed, the number of vehicles entering/exiting the site is not expected to increase, so it seems a Traffic Impact Study should be unnecessary to the productive enhancements to the property.

Signed: Karen L. Burnell
Applicant

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____



NHISEC



SITE LOCATION

KMA KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110
Phone (603) 627-2881

TITLE: AERIAL EXHIBIT PREPARED FOR:
BURNELL SUBDIVISION
MAP 186: LOT 30 - 41 SPEARE ROAD - HUDSON, NEW HAMPSHIRE

DRAWN BY: KMB DATE: 4/9/15 JOB. NO. 14-1105-1

CHECKED BY: AMB SCALE: 1" = 200' SHEET 1 OF 1

B



SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: 4/8/15 Tax Map # 186 Lot # 30

Name of Project: Burnell Subdivision

Zoning District: _____
(For Town Use)

General SB# SB 04-15
(For Town Use)

ZBA Action: _____

PROPERTY OWNER:

Name: David & Karen Burnell
Address: 41 Speare Road
Address: Hudson, NH 03051
Telephone # _____
Fax # _____
Email: _____

DEVELOPER:

Same

PROJECT ENGINEER

Name: Keach-Nordstrom Associates, Inc.
Address: 10 Commerce Park No., Suite 3
Address: Bedford, NH 03110

Telephone # (603) 627-2881
Fax # (603) 627-2915
Email: abasso@keachnordstrom.com

PURPOSE OF PLAN:

To subdivide existing Lot 30 into new Lot 30 containing 2.985 acres, and new Lot 30-1 containing 1.219 acres.

(FOR TOWN USE) PB meeting!

Plan Routing Date: 4-15-15 Sub/~~Site~~ Date: 5-13-15

I have no comments I have comments (attach to form)

(Initials) Title: _____ Date: _____

DEPT:
 Zoning Engineering Assessor Police Fire Planning
 Consultant Highway Department

Fees Paid _____



SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: 4/8/15 Tax Map # 186 Lot # 30

Name of Project: Burnell Subdivision

Zoning District: _____
(For Town Use)

General SB# SB 04-15
(For Town Use)

ZBA Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: David & Karen Burnell

Same

Address: 41 Speare Road

Address: Hudson, NH 03051

Telephone # _____

Fax # _____

Email: _____

PROJECT ENGINEER

Name: Keach-Nordstrom Associates, Inc.

Telephone # (603) 627-2881

Address: 10 Commerce Park No., Suite 3

Fax # (603) 627-2915

Address: Bedford, NH 03110

Email: abasso@keachnordstrom.com

PURPOSE OF PLAN:

To subdivide existing Lot 30 into new Lot 30 containing 2.985 acres, and new Lot 30-1 containing 1.219 acres.

(FOR TOWN USE) PB meeting:

Plan Routing Date: 4-15-15 Sub/~~Site~~ Date: 5-13-15

I have no comments I have comments (attach to form)

E2D Title: Town Eng Date: _____
(Initials)

DEPT: _____ Zoning Engineering _____ Assessor _____ Police _____ Fire _____ Planning _____
_____ Consultant _____ Highway Department _____

Fees Paid _____



SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: 4/8/15 Tax Map # 186 Lot # 30

Name of Project: Burnell Subdivision

Zoning District: _____ General SB# SB 04-15
(For Town Use) (For Town Use)

ZBA Action: _____

PROPERTY OWNER:

Name: David & Karen Burnell
Address: 41 Speare Road
Address: Hudson, NH 03051
Telephone # _____
Fax # _____
Email: _____

DEVELOPER:

Same

PROJECT ENGINEER

Name: Keach-Nordstrom Associates, Inc.
Address: 10 Commerce Park No., Suite 3
Address: Bedford, NH 03110

Telephone # (603) 627-2881
Fax # (603) 627-2915
Email: abasso@keachnordstrom.com

PURPOSE OF PLAN:

To subdivide existing Lot 30 into new Lot 30 containing 2.985 acres, and new Lot 30-1 containing 1.219 acres.

(FOR TOWN USE) PB meeting!

Plan Routing Date: 4-15-15 Sub/~~Site~~ Date: 5-13-15

I have no comments I have comments (attach to form)

(Initials) Title: _____ Date: _____

DEPT: _____

Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning _____

Consultant PK Highway Department

Fees Paid _____



SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: 4/8/15 Tax Map # 186 Lot # 30

Name of Project: Burnell Subdivision

Zoning District: _____ General SB# SB 04-15
(For Town Use) (For Town Use)

ZBA Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: David & Karen Burnell

Same

Address: 41 Speare Road

Address: Hudson, NH 03051

Telephone # _____

Fax # _____

Email: _____

PROJECT ENGINEER

Name: Keach-Nordstrom Associates, Inc.

Telephone # (603) 627-2881

Address: 10 Commerce Park No., Suite 3

Fax # (603) 627-2915

Address: Bedford, NH 03110

Email: abasso@keachnordstrom.com

PURPOSE OF PLAN:

To subdivide existing Lot 30 into new Lot 30 containing 2.985 acres, and new Lot 30-1 containing 1.219 acres.

(FOR TOWN USE)		<u>PB meeting</u>
Plan Routing Date: <u>4-15-15</u>	Sub/ Site Date: <u>5-13-15</u>	
<input checked="" type="checkbox"/> I have no comments	<input type="checkbox"/> I have comments (attach to form)	
<u>TMB</u> (Initials)	Title: <u>Fire Chief</u>	Date: <u>4/22/15</u>
DEPT:	<input type="checkbox"/> Zoning <input type="checkbox"/> Engineering <input type="checkbox"/> Assessor <input type="checkbox"/> Police <input checked="" type="checkbox"/> Fire <input type="checkbox"/> Planning <input type="checkbox"/> Consultant <input type="checkbox"/> Highway Department	
Fees Paid _____		



SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: 4/8/15 Tax Map # 186 Lot # 30

Name of Project: Burnell Subdivision

Zoning District: _____
(For Town Use)

General SB# SB 04-15
(For Town Use)

ZBA Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: David & Karen Burnell

Same

Address: 41 Speare Road

Address: Hudson, NH 03051

Telephone # _____

Fax # _____

Email: _____

PROJECT ENGINEER

Name: Keach-Nordstrom Associates, Inc.

Telephone # (603) 627-2881

Address: 10 Commerce Park No., Suite 3

Fax # (603) 627-2915

Address: Bedford, NH 03110

Email: abasso@keachnordstrom.com

PURPOSE OF PLAN:

To subdivide existing Lot 30 into new Lot 30 containing 2.985 acres, and new Lot 30-1 containing 1.219 acres.

(FOR TOWN USE) *PB meeting!*

Plan Routing Date: 4-15-15 Sub/~~Site~~ Date: 5-13-15

I have no comments I have comments (attach to form)

DAB Title: LIEUTENANT Date: 4/21/15
(Initials)

DEPT: _____

Zoning Engineering Assessor Police Fire Planning
 Consultant Highway Department

Fees Paid _____



SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: 4/8/15 Tax Map # 186 Lot # 30

Name of Project: Burnell Subdivision

Zoning District: _____
(For Town Use)

General SB# SB 04-15
(For Town Use)

ZBA Action: _____

PROPERTY OWNER:

Name: David & Karen Burnell

Address: 41 Speare Road

Address: Hudson, NH 03051

Telephone # _____

Fax # _____

Email: _____

DEVELOPER:

Same

PROJECT ENGINEER

Name: Keach-Nordstrom Associates, Inc.

Address: 10 Commerce Park No., Suite 3

Address: Bedford, NH 03110

Telephone # (603) 627-2881

Fax # (603) 627-2915

Email: abasso@keachnordstrom.com

PURPOSE OF PLAN:

To subdivide existing Lot 30 into new Lot 30 containing 2.985 acres, and new Lot 30-1 containing 1.219 acres.

(FOR TOWN USE) PB meeting!

Plan Routing Date: 4-15-15 Sub/~~Site~~ Date: 5-13-15

I have no comments I have comments (attach to form)

(Initials) Jn Title: Asst. Assessor Date: 4-17-15

DEPT: _____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning _____
 _____ Consultant _____ Highway Department _____

Fees Paid _____



ZONING NOTE
 THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY KEACH-NORDSTROM ASSOCIATES, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

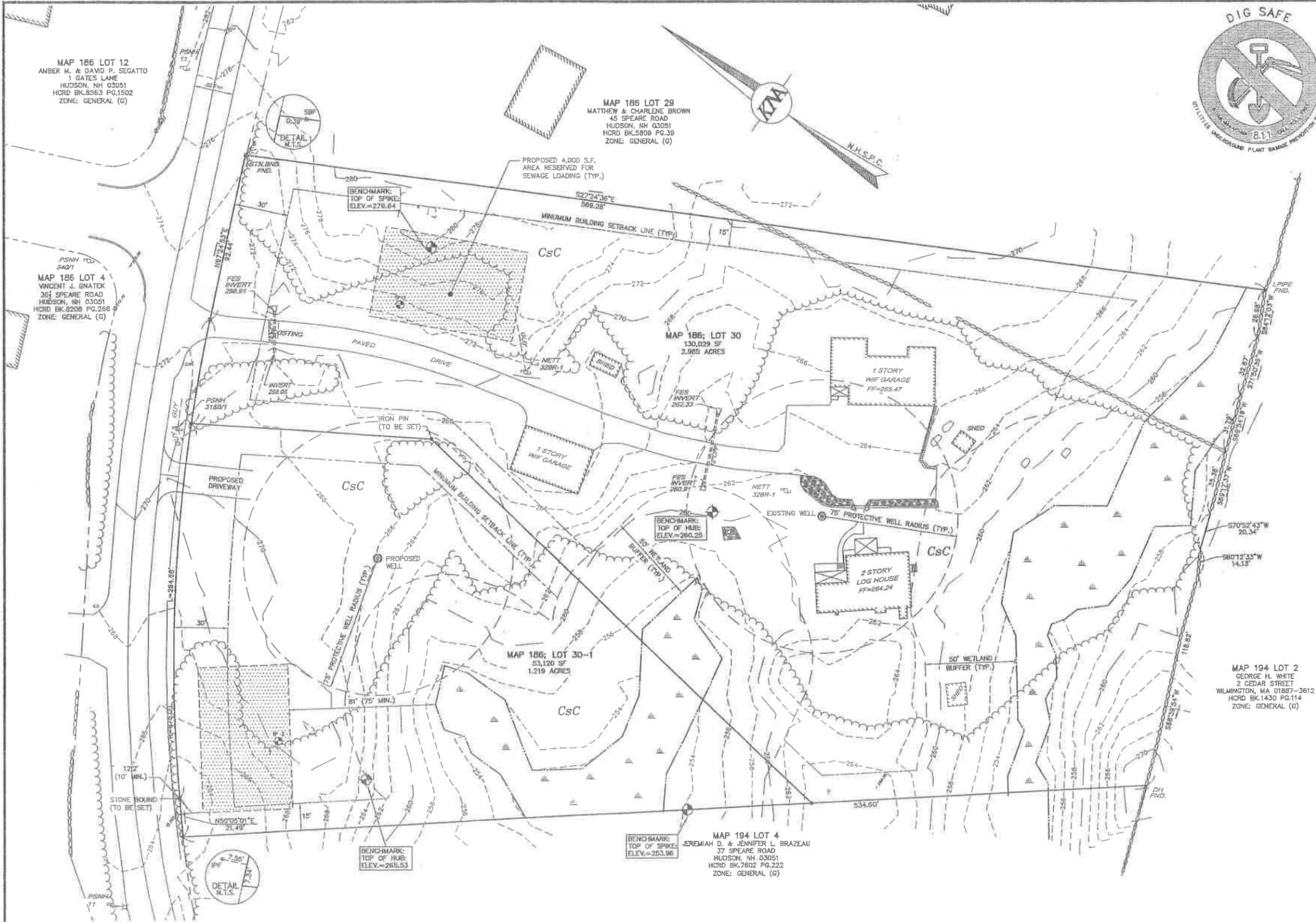
UTILITY NOTE
 THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

SEE SHEET 1 FOR GENERAL NOTES & REFERENCE PLANS

LOT AREA TABLE

LOT NUMBER	TOTAL LOT AREA (SF)	WETLAND AREA (SF)	AREA (SF) >25% SLOPE	BUILDABLE AREA (SF)	FRONTAGE (FT)
30	130,029 SF	12,365 SF	9,372 SF	108,292 SF	150.58'
30-1	53,120 SF	5,903 SF	0 SF	47,217 SF	228.03'

TP #1		TP #2			
LOGGED BY JAN PERC TEST @ 28" DATE: 2/4/2015 PERC RATE: 10 MIN./INCH IMPERVIOUS LAYER: NONE TO 70" WATER ENCOUNTERED: NONE TO 70"		LOGGED BY JAN PERC TEST @ 26" DATE: 2/4/2015 PERC RATE: 10 MIN./INCH IMPERVIOUS LAYER: NONE TO 65" WATER ENCOUNTERED: NONE TO 65"			
0"	A	10YR 3/3, WEAK GRANULAR, FRIABLE LOAMY, MANY ROOTS	0"	O	FOREST MAT
6"	B	10YR 6/8, WEAK GRANULAR, FRIABLE, FINE SANDY LOAM, FEW ROOTS, FROST TO 20"±	4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE LOAMY, MANY ROOTS
20"	C-1	10YR 7/4, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW ROOTS	22"	B	10YR 6/8, WEAK GRANULAR, FRIABLE, FINE SANDY LOAM, FEW ROOTS, FROST TO 22"±
36"	E.S.H.W.T.	10YR 7/2, BLOCKYR, FRIABLE, LOAMY SAND, FEW FAINT FE CONC. (MOTTLES) THROUGHOUT	36"	C-1	10YR 7/4, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW ROOTS
70"	NOTION OF HOLE, NO LEDGE		36"	E.S.H.W.T.	10YR 7/2, BLOCKYR, FRIABLE, LOAMY SAND, FEW FAINT FE CONC. (MOTTLES) THROUGHOUT
			65"	NOTION OF HOLE, NO LEDGE	



TOPOGRAPHIC SUBDIVISION PLAN
 LAND OF
DAVID & KAREN BURNELL
 MAP 186; LOT 30
 41 SPEARE ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD / APPLICANT:
 DAVID & KAREN BURNELL
 41 SPEARE ROAD
 HUDSON, NH 03051
 H.C.R.D. BK. 2791; PG. 105

KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

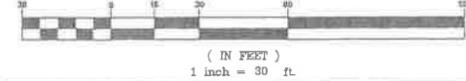
REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: JANUARY 27, 2015 SCALE: 1" = 30'
 PROJECT NO: 14-1105-1 SHEET 2 OF 2

SCS SOILS LEGEND
 CsC CHATFIELD-HOLLIS COMPLEX
 8 TO 15 PERCENT SLOPES

GRAPHIC SCALE



LEGEND

- | | | | |
|---|-----------------------|---|---------------------|
| — | STONE BOUND FOUND | — | ABUTTER LINE |
| — | IRON PIN FOUND | — | PROPERTY LINE |
| — | STONE BOUND TO BE SET | — | WETLAND |
| — | IRON PIN TO BE SET | — | OVERHEAD UTILITIES |
| — | UTILITY POLE | — | TREELINE |
| — | SIGN | — | EDGE OF PAVEMENT |
| — | LIGHT | — | BUILDING SETBACK |
| — | WELL | — | 10' CONTOUR |
| — | SHRUB | — | 2' CONTOUR |
| — | CONIFEROUS TREE | — | DRAINAGE LINE |
| — | DECIDUOUS TREE | — | STONEWALL |
| | | — | SLOPED GRANITE CURB |

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SUBDIVISION APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ DATE _____
 SIGNATURE _____ DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



MICHELE F. GRENIER, CERTIFIED WETLAND SCIENTIST #102 OF KEACH-NORDSTROM ASSOCIATES, INC. OF BEDFORD, NH, PERFORMED THE WETLAND MAPPING IN APRIL 2015 ACCORDING TO THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS A STANDARD URBAN PROPERTY SURVEY AS DEFINED IN THE STATE OF NEW HAMPSHIRE ADMINISTRATIVE RULES GOVERNING LAND SURVEYS (L.A.H. 503).

CERTIFICATION:

THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION IN DECEMBER 2014 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS A STANDARD URBAN PROPERTY SURVEY AS DEFINED IN THE STATE OF NEW HAMPSHIRE ADMINISTRATIVE RULES GOVERNING LAND SURVEYS (L.A.H. 503).

DATE: 1/15/15



Solar-Powered Traffic Control Lights - School Zone

Route 102/Alvirne High School

Staff Report
13 May 2015

Please accept this staff report as a follow-up from the April 8th meeting, relative to correspondence received by the board at that meeting from Town Administrator, Steve Malizia, Re: Proposed Solar-Powered Traffic Control Lights within the Alvirne High School Zone on Rte. 102. In particular, Mr. Malizia submitted a new memorandum on this matter. Please see attached memorandum from him, dated April 13, 2015, Re: Solar School Zone Lights Route 102/Alvirne High School. This memorandum cites the cost associated with powering the two existing electric traffic control lights.

The second attached memorandum, which is also from Mr. Malizia, and dated April 6, 2015, was originally handed-out to board members at the April 8th meeting. It cites two accounts that can be utilized to partially defray the cost for the installation of the proposed solar-powered traffic control lights. In regard to this second memorandum, the subject accounts are:

- 1) 2050-564 – Walgreens – This account was established from funds received, via Condition #4 of the attached Walgreens Development Agreement. Please note, of the original \$50,000 Rte 102 offsite improvement contribution, \$42,928.10 has already been expended on Rte 102 traffic improvements, leaving the present balance of \$7,071.90.
- 2) 2050-576 – Reeds Ferry – This account was established from funds received, via Condition #8 of the attached Reed's Ferry Development Agreement. The \$2,000.00 established in this account, exclusive to Rte 102 offsite improvements, still remains.

Please note, unlike CAP Fees, which can only be used for traffic improvement projects exclusive to increasing the capacity of roads caused by new development, the funds associated with the subject two accounts were submitted, in addition to the CAP Fees paid by each development, as contributions, and to be used for offsite improvements associated with Rte. 102. In this regard, again, please refer to the attached Development Agreements for Walgreen's and Reed's Ferry, and in particular, condition #4 of the Walgreen's Development Agreement and Condition #8 of the Reed's Ferry Development Agreement.

To the effect of the above, staff has provided a DRAFT MOTION below for the board's consideration. That is, a motion for the board to request the BOS to authorize the expenditure of the subject offsite improvement funds, which, again, have been established for traffic improvement projects within Rte. 102, which the proposed solar-powered traffic control signals qualify.

DRAFT MOTION:

I move for the Planning Board to favorably recommend to the Board of Selectmen the expenditure of the remaining funds included in Accounts 2050-564 – Walgreens – 102 Offsite Improvements and 2050-576 – Reeds Ferry – Rte 102 Offsite Improvements, which have balances of \$7,071.90 and \$2,000.00 respectively, and for these funds to be expended exclusively for the proposed solar-powered traffic control light replacement project, which is scheduled for implementation this year (2015) within the Alvirne High School Zone along Rte. 102.

Motion: _____ Second: _____ Carried/Failed: _____.



TOWN OF HUDSON
Office of the Town Administrator
12 School Street
Hudson, New Hampshire 03051



Stephen A. Malizia, Town Administrator • smalizia@hudsonnh.gov • Tel: 603-886-6024 • Fax: 603-598-6481

To: John Cashell, Town Planner

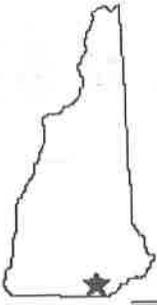
From: Steve Malizia, Town Administrator

Date: April 13, 2015

Re: Solar School Zone Lights Route 102/Alvirne High School

A review of the electric bills for the Town indicates a cost of \$14.81 to \$15.61 to power a school zone light for a month. There are two lights (one in each direction) in the Route 102/Alvirne High School corridor. The annual cost to power the two school zone lights is approximately \$355 to \$375. The school zone light is either not broken out separately on the Town's electric bills or is paid for by the State of New Hampshire.

Should you have any questions or need additional information, please feel free to contact me.



TOWN OF HUDSON
Office of the Town Administrator
12 School Street
Hudson, New Hampshire 03051



Stephen A. Malizia, Town Administrator • smalizia@hudsonnh.gov • Tel: 603-886-6024 • Fax: 603-598-6481

To: John Cashell

From: Steve Malizia, Town Administrator

Date: April 6, 2015

Re: Impact Fee Accounts 2050-564 and 2050-576

Please accept this memo as a request to use the remaining funds in Impact Fee accounts 2050-564 and 2050-576 for the upgrade and installation of two (2) solar powered school zone lights on Route 102.

A review of impact fee accounts 2050-564 (Walgreens - 102 Offsite Improvements) and 2050-576 (Reeds Ferry - Rte 102 Offsite Improvements) indicates an account balance of \$7,071.90 and \$7,079.64 respectively. The fees were originally collected for the purpose of improvements to Route 102 in Hudson. The Road Agent has identified a project that would replace the old yellow flashing lights on Route 102 by Alvirne High School and the Hills Garrison Elementary School with two (2) solar powered school zone lights that can be programmed to reduce the speed limit by 10 mph on that stretch of road for 45 minutes before school starts and for 45 minutes after the schools are dismissed. The upgraded lights will also have dual flashing lights for increased visibility by motorists on Route 102. Another benefit of the project is that we will be able to eliminate two (2) metered electric bills for the existing lights. The cost of parts and materials for the project is estimated to be \$14,000 and the Highway Department will be doing the installation.

Should you have any questions or need additional information, please feel free to contact me.

WALGREEN'S

SITE PLAN DEVELOPMENT AGREEMENT

This Agreement is entered into this ____ day of May 2008, between Arista Development, LLC and 90 Derry Street, LLC, 520 Providence Highway, Suite 9, Norwood, Massachusetts 02062 (the Applicant), and the **Town of Hudson**, a municipal corporation, at 12 School Street, Hudson, New Hampshire 03051. It represents the understanding of the parties regarding the granting by the Hudson Planning Board of site plan approval in accordance with the ordinances of the Town of Hudson, and to contain improvements pursuant to the plans and conditions referenced below.

WHEREAS, the Applicant is proposing construction of an 11,710 +/- S.F. pharmacy with single drive-thru bay, with associated parking and landscaping

WHEREAS, the Hudson Planning Board has been duly authorized to regulate the subdivision of land and to approve and disapprove site plans for multifamily dwelling units and nonresidential developments pursuant to RSA 674 et seq.

WHEREAS, Applicant has applied for approval for the above described project in compliance with Town zoning ordinances and the rules and regulations of Hudson Planning Board.

WHEREAS, site plan approval is conditioned upon the execution of a Development Agreement.

In consideration for the Hudson Planning Board granting site plan approval, the parties hereby agree as follows:

Final site plan approval is granted for the Site Plan entitled: Retail Development Tax Map 165, Lot 151, 90 Derry Street, Hudson, NH, prepared by TF Moran, Inc., 48 Constitution Drive, Bedford, NH 03110, dated July 27, 2007, last revised 04/09/08, consisting of Sheets 1 – 25 and Notes 1 – 63, Hillsborough County Registry of Deeds Plan No. HCRD# _____, in accordance with the following terms and conditions:

- 1) All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Plan.

- 2) All improvements shown on the Site Plan-of-Record, including Notes 1-63, shown on Drawing No. C1.1, Sheet 2 of 25, shall be completed in their entirety and at the expense of the Applicant or his assigns.
- 3) A cost allocation procedure (CAP) amount of \$22,067.40 shall be paid prior to the issuance of a Certificate of Occupancy.
- 4) In addition to the above CAP amount, the Applicant shall contribute the sum of \$50,000.00 prior to the issuance of a Certificate of Occupancy, and for this sum to be deposited into the Corridor Improvement Account and used exclusively for future roadway improvement projects associated with Rte. 102 (Derry Street).
- 5) Maintenance of the onsite drainage system shall be constructed and maintained in compliance with NHDES requirements for such systems.
- 6) Prior to the issuance of a final certificate of occupancy, the Applicant shall deposit the sum of \$5,000.00 with its counsel (who shall confirm its receipt with the Community Development Department), which funds may be used by the Abbott Farms Condominium Association for plantings (on the condominium land) for screening to be located near or adjacent to the westerly side of Map 165, Lot 151. Any funds not used within 12 months after the issuance of a final certificate of occupancy shall be returned to the Applicant.

I

All conditions contained in the notes of the plan are incorporated herein by reference as approved by the Planning Board. Furthermore, all representations of fact or intention made by the applicant or any of applicant's representatives during testimony before the Planning Board relative to the obtaining of approval of this plan, shall be considered conditions of this approval regardless of the fact that such fact or intentions were not specifically stated as part of the motion to grant.

II

Applicant shall comply with all subdivision, site review and zoning regulations which have been promulgated by the Town and which are in effect as of the date of this Agreement. If this Agreement contains terms, including but not limited to variance and special exception stipulations granted by the Hudson Zoning Board of Adjustment, which are stricter or impose higher standards than the above-mentioned regulations, the stricter or higher standards shall control. All improvements shall meet the standards of workmanship as required by the Town, as required by the New Hampshire Water Supply and Pollution Control Commission, as required by the New Hampshire Department of Transportation, and as required by the New Hampshire Wetlands Board.

III

Applicant shall obtain all necessary local, state and federal permits prior to commencing work and shall comply fully with their terms.

IV

Applicant shall comply with the plan as submitted to, reviewed by and approved by the Planning Board, including but not limited to, notations set forth on the plan. Deviation from or amendments to the plan may only be made with the written approval of the Planning Board, or the Town Engineer, as appropriate.

V

Applicant acknowledges that it will have sole responsibility for ensuring the quality of the construction and that Applicant will not hold the Town, building inspector or other officers, employees, agents or assigns of the Town responsible for any claims, damages, fees or costs alleged to be incurred on account of the Town's negligent inspection of the improvements to be constructed. Similarly, Applicant agrees to hold harmless and indemnify the Town for any claims, damages, fees or costs sought or asserted by third parties against the Town on the grounds of negligent or improper inspection of the construction of the improvements called for herein.

VI

Applicant shall provide and install erosion and sedimentation control measures as required by the plan, by RSA 149-M, and as deemed necessary by the Town Engineer or his designated agent.

VII

The Applicant shall be responsible for any off-site problems, which arise from this construction. This includes, but is not limited to, erosion, runoff, sedimentation, drainage, and property damage by construction equipment, including damage to existing streets, sewers and drainage systems. Upon notification by the Town in writing, the developer must submit a plan within one week to remedy the problem. The Town Engineer division shall then set a construction schedule in consultation with the developer so that the problem can be corrected as soon as practical.

VIII

It is the intent of the signatories to the Agreement that only they can sue to enforce the Agreement's terms. The Agreement confers no rights on third parties.

IX

The Applicant's promise to perform improvements incorporated herein is an obligation independent from any alleged breach by the Town, once the Planning Board has given the developer site plan/subdivision approval and work on the site has begun.

X

Applicant shall notify the Town Engineer at least sixty (60) days prior to anticipated construction. A pre-construction meeting shall be held at least thirty (30) days prior to commencement of construction. A three-party inspection agreement and any other pertinent documents shall be finalized prior to the pre-construction meeting.

XI

The Agreement to complete bonded or otherwise secured improvements is not contingent upon the commencement of work on the site or on the sale of any of the lots or property contained in the approved plan.

XII

If the Town shall fail to notify Applicant in writing of its approval or rejection of the completed improvements within forty (40) days of the receipt of any such notice of completion, the improvement shall be deemed to be approved by the Town as completed in accordance with this Agreement. This period may be extended for thirty (30) days upon the Town's showing that the forty (40) day period is insufficient to enable the Town to reach such a determination despite using due diligence due to factors beyond the control of the Town.

XIII

At the time of plan recording, Applicant shall also execute and deliver to the Town easements for sewer, drainage, water, utilities as may be specified by the Hudson Planning Board, or otherwise specified on the plan.

XIV

The Applicant shall remove all waste from the particular site prior to the issuance of any Certificate of Completion or occupancy permit. All waste will be removed in compliance with applicable Town, State and Federal regulations.

XV

Prior to commencing construction, Applicant agrees to pay all fees as required by all ordinances and regulations of the Town in effect at the time of this Agreement, as well as any other fees imposed by the Hudson Planning Board, upon application for a building permit, unless phased payments are provided for. Applicant shall have an affirmative obligation to supplement this fee schedule, as information about the number of dwelling units per lot becomes available.

XVI

Applicant agrees that if in the future the Town determines that Applicant has committed a material breach of this Agreement or has violated any Town zoning, subdivision, site plan or any State land use or environmental law or regulation or building code, and said material breach or violation is decided against Applicant by a court of competent jurisdiction in a legal action by the Town against Applicant, Applicant agrees to pay, on demand, all reasonable attorney fees, court costs, sheriff charges and related costs incurred by the Town in connection with the breach or violation to the extent that said fees, costs and charges would not have been incurred had the breach or violation not occurred.

XVII

A note shall be added to the recorded plan. This note shall state the existence of this Development Agreement, and that a copy of it is on file with the Planning Department or other designated Town department. This Agreement shall be recorded with the plan.

XVIII

This agreement shall run with the land and shall be binding on any subsequent purchaser of the proposed development on applicant's heirs and assigns, and on any successor entity.

XIX

Severability: If any section, clause, provision, article or portion of this contract shall be invalidated by any court of competent jurisdiction, such holding shall not invalidate any other section of this Agreement.

IN WITNESS WHEREOF, the parties have hereunto set their hands the day and year first written above.

Arista Development, LLC

By: _____

Witness

90 Derry Street, LLC

By: _____

Witness

TOWN OF HUDSON, NH

By: _____

Witness

James Barnes, Chairman
Hudson Planning Board

REED'S FERRY

SITE PLAN DEVELOPMENT AGREEMENT

This Agreement is entered into this ____ day of May 2010, between SMT Tracey Lane Holdings, LLC, owner, Reeds Ferry Small Buildings Site and the **Town of Hudson**, a municipal corporation, at 12 School Street, Hudson, New Hampshire. It represents the understanding of the parties regarding the granting by the Hudson Planning Board of site plan approval in accordance with the ordinances of the Town of Hudson, and to contain improvements pursuant to the plans and conditions referenced below.

WHEREAS, the Applicant is proposing to merge Lots 16 & 17 and construct a new facility for Reed's Ferry Small Buildings Site (Shed Display)

WHEREAS, the Hudson Planning Board has been duly authorized to regulate the subdivision of land and to approve and disapprove site plans for multifamily dwelling units and nonresidential developments pursuant to RSA 674 et seq.

WHEREAS, Applicant has applied for approval for the above described project in compliance with Town zoning ordinances and the rules and regulations of Hudson Planning Board.

WHEREAS, site plan approval is conditioned upon the execution of a Development Agreement.

In consideration for the Hudson Planning Board granting site plan approval, the parties hereby agree as follows:

Final site plan approval is granted for the Site Plan entitled: Non-Residential Site Plan - Reeds Ferry Small Buildings, Tax Map 2; Lot 34-3 & 34 (Londonderry) Tax Map 101; Lot 16 & 17 (Hudson) prepared by Keach-Nordstrom Associates, Inc., dated: January 2010 and revised thru April 2, 2010, consisting of the Cover Sheet and Sheets 1 – 17 and Notes 1 - 37, Hillsborough County Registry of Deeds Plan No. HCRD# _____, in accordance with the following terms and conditions:

1. All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Plan.
2. All improvements shown on the Site Plan-of-Record, including Notes 1 - 37, shown on the Cover Sheet, shall be completed in their entirety and at the expense of the Applicant or his assigns.
3. Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms to the Planning Board approved site plan.
4. Maintenance of the onsite drainage system shall be constructed and maintained in compliance with NHDES requirements for such systems.
5. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 5:00 P.M., Monday through Saturday only. Construction activities on Sunday are prohibited.
6. This plan shall be subject to final engineering review and approval, relative to drainage issues.
7. The applicant's engineer and/or contractor shall contact the Town Civil Engineer to schedule a preconstruction meeting, which will be held with Staff prior to starting construction of the driveway.
8. An off site contribution amount of \$2,000.00 shall be paid to the Town of Hudson for Route 102 improvements prior to the issuance of the Certificate of Occupancy from the Town of Londonderry.
9. A copy of this decision and stipulations of approval shall be sent to the Town of Londonderry Planning Board.
10. This approval shall take effect upon the merging of Lots 16 & 17, as shown on Hudson Tax Map 101.
11. All terms and conditions of approval for the Reeds Ferry Site Plan, approved by the Hudson Planning Board on October 7, 2008, HCRD Plan # 36324, including the Development Agreement, shall remain in effect.
12. Existing free-standing sign on Lot 17 shall be changed to reflect Reeds Ferry Small Buildings Only in agreement with Hudson Sign Ordinance.

I

All conditions contained in the notes of the plan are incorporated herein by reference as approved by the Planning Board. Furthermore, all representations of fact or intention made by the applicant or any of applicant's representatives during testimony before the Planning Board relative to the obtaining of approval of this plan, shall be considered conditions of this approval regardless of the fact that such fact or intentions were not specifically stated as part of the motion to grant.

II

Applicant shall comply with all subdivision, site review and zoning regulations which have been promulgated by the Town and which are in effect as of the date of this Agreement. If this Agreement contains terms, including but not limited to variance and special exception stipulations granted by the Hudson Zoning Board of Adjustment, which are stricter or impose higher standards than the above-mentioned regulations, the stricter or higher standards shall control. All improvements shall meet the standards of workmanship as required by the Town, as required by the New Hampshire Water Supply and Pollution Control Commission, as required by the New Hampshire Department of Transportation, and as required by the New Hampshire Wetlands Board.

III

Applicant shall obtain all necessary local, state and federal permits prior to commencing work and shall comply fully with their terms.

IV

Applicant shall comply with the plan as submitted to, reviewed by and approved by the Planning Board, including but not limited to, notations set forth on the plan. Deviation from or amendments to the plan may only be made with the written approval of the Planning Board, or the Town Engineer, as appropriate.

V

Applicant acknowledges that it will have sole responsibility for ensuring the quality of the construction and that Applicant will not hold the Town, building inspector or other officers, employees, agents or assigns of the Town responsible for any claims, damages, fees or costs alleged to be incurred on account of the Town's negligent inspection of the improvements to be constructed. Similarly, Applicant agrees to hold harmless and indemnify the Town for any claims, damages, fees or costs sought or asserted by third parties against the Town on the grounds of negligent or improper inspection of the construction of the improvements called for herein.

VI

Applicant shall provide and install erosion and sedimentation control measures as required by the plan, by RSA 149-M, and as deemed necessary by the Town Engineer or his designated agent.

VII

The Applicant shall be responsible for any off-site problems, which arise from this construction. This includes, but is not limited to, erosion, runoff, sedimentation, drainage, and property damage by construction equipment, including damage to existing streets, sewers and drainage systems. Upon notification by the Town in writing, the developer must submit a plan within one week to remedy the problem. The Town Engineer division shall then set a construction schedule in consultation with the developer so that the problem can be corrected as soon as practical.

VIII

It is the intent of the signatories to the Agreement that only they can sue to enforce the Agreement's terms. The Agreement confers no rights on third parties.

IX

The Applicant's promise to perform improvements incorporated herein is an obligation independent from any alleged breach by the Town, once the Planning Board has given the developer site plan/subdivision approval and work on the site has begun.

X

Applicant shall notify the Town Engineer at least sixty (60) days prior to anticipated construction. A pre-construction meeting shall be held at least thirty (30) days prior to commencement of construction. A three-party inspection agreement and any other pertinent documents shall be finalized prior to the pre-construction meeting.

XI

The Agreement to complete bonded or otherwise secured improvements is not contingent upon the commencement of work on the site or on the sale of any of the lots or property contained in the approved plan.

XII

If the Town shall fail to notify Applicant in writing of its approval or rejection of the completed improvements within forty (40) days of the receipt of any such notice of completion, the improvement shall be deemed to be approved by the Town as completed in accordance with this Agreement. This period may be extended for thirty (30) days upon the Town's showing that the forty (40) day period is insufficient to enable the Town to reach such a determination despite using due diligence due to factors beyond the control of the Town.

XIII

At the time of plan recording, Applicant shall also execute and deliver to the Town easements for sewer, drainage, water, utilities as may be specified by the Hudson Planning Board, or otherwise specified on the plan.

XIV

The Applicant shall remove all waste from the particular site prior to the issuance of any Certificate of Completion or occupancy permit. All waste will be removed in compliance with applicable Town, State and Federal regulations.

XV

Prior to commencing construction, Applicant agrees to pay all fees as required by all ordinances and regulations of the Town in effect at the time of this Agreement, as well as any other fees imposed by the Hudson Planning Board, upon application for a building permit, unless phased payments are provided for. Applicant shall have an affirmative obligation to supplement this fee schedule, as information about the number of dwelling units per lot becomes available.

XVI

Applicant agrees that if in the future the Town determines that Applicant has committed a material breach of this Agreement or has violated any Town zoning, subdivision, site plan or any State land use or environmental law or regulation or building code, and said material breach or violation is decided against Applicant by a court of competent jurisdiction in a legal action by the Town against Applicant, Applicant agrees to pay, on demand, all reasonable attorney fees, court costs, sheriff charges and related costs incurred by the Town in connection with the breach or violation to the extent that said fees, costs and charges would not have been incurred had the breach or violation not occurred.

XVII

A note shall be added to the recorded plan. This note shall state the existence of this Development Agreement, and that a copy of it is on file with the Planning Department or other designated Town department. This Agreement shall be recorded with the plan.

XVIII

This agreement shall run with the land and shall be binding on any subsequent purchaser of the proposed development on applicant's heirs and assigns, and on any successor entity.

XIX

Severability: If any section, clause, provision, article or portion of this contract shall be invalidated by any court of competent jurisdiction, such holding shall not invalidate any other section of this Agreement.

IN WITNESS WHEREOF, the parties have hereunto set their hands the day and year first written above.

REEDS FERRY SMALL BUILDINGS

Witness

by Mike Carlton, Owner
SMT Tracey Lane Holdings, LLC

TOWN OF HUDSON, NH

Witness

by Vincent Russo, Chairman
Hudson Planning Board