

HUDSON LOGISTICS CENTER SITE PLAN & WETLANDS CONDITIONAL USE APPLICATIONS

LOWELL ROAD
MAP 239, LOT 1

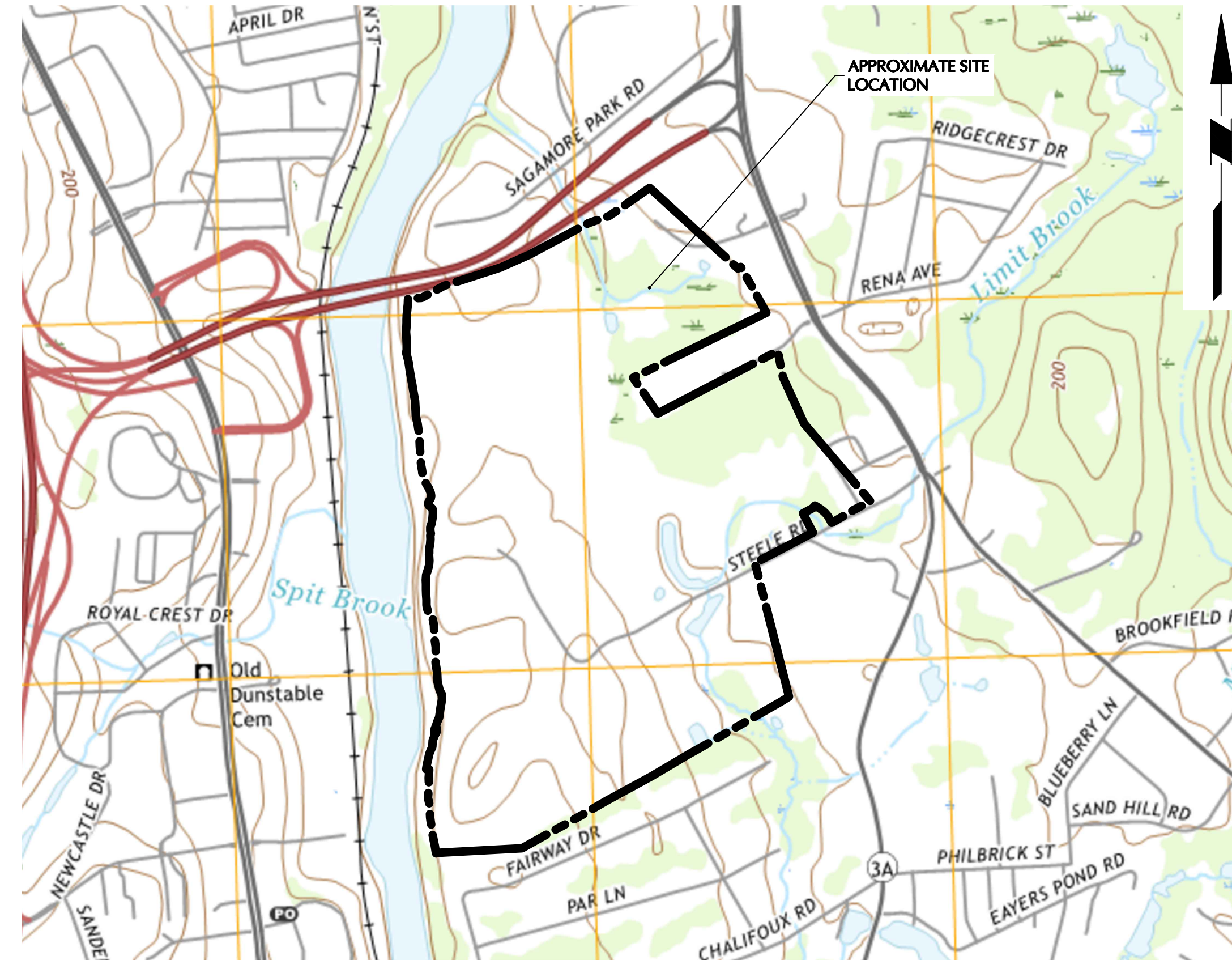
TOWN OF HUDSON, HILLSBOROUGH COUNTY, NEW HAMPSHIRE

Project No. 151010101

RELEASE DATES	
DATE	ISSUED FOR
04-21-2020	SITE PLAN APPLICATION SUBMISSION
05-21-2020	SUPPLEMENTAL PLANNING & ZONING SUBMISSION
05-29-2020	AOT PERMIT SUBMISSION
09-04-2020	NHDES DREDGE & FILL PERMIT RESPONSE
09-14-2020	AOT COMMENT RESPONSE
11-30-2020	CON. COMM./PLANNING BOARD COMMENT RESPONSE
12-30-2020	CON. COMM./PLANNING BOARD COMMENT RESPONSE

OWNER'S SIGNATURE
 NATHAN KIRSCHNER *[Signature]* DATE 12/30/2020
 ON BEHALF OF THE OWNER, AND IN ACCORDANCE WITH THE
 OWNER'S AUTHORIZATION MEMO, DATED APRIL 16, 2020.

NOTE: DRAWING INDEX LOCATED ON SHEET CS001



MAP REFERENCE: USGS NASHUA SOUTH QUADRANGLE MAP 2018 (7.5-MINUTE SERIES)

LOCATION MAP

SCALE: 1" = 1000'

ABUTTING PROPERTY OWNERS WITHIN 100'

MAP LOT	PROPERTY OWNER	PROPERTY LOCATION	MAP LOT	PROPERTY OWNER	PROPERTY LOCATION
228 1	MRJ REALTY TRUST 261 LOWELL ROAD HUDSON, NH 03051	261 LOWELL ROAD	245 13	JOHN KING 21 FAIRWAY DRIVE HUDSON, NH 03051	21 FAIRWAY DRIVE
246 38	SCOTT M. UBELE 7 FAIRWAY DRIVE HUDSON, NH 03051	7 FAIRWAY DRIVE	246 36	SURRI D SAKATI 11 FAIRWAY DRIVE HUDSON, NH 03051	11 FAIRWAY DRIVE
245 17	TIMOTHY A MONK 13 FAIRWAY DRIVE HUDSON, NH 03051	13 FAIRWAY DRIVE	246 39	CHRISTOPHER D MULLIGAN 5 FAIRWAY DRIVE HUDSON, NH 03051	5 FAIRWAY DRIVE
240 13	VINCENT F BRACCIO 27 RIVER ROAD HUDSON, NH 03051	27 RIVER ROAD	240 5	BRIAN C NOONE 10 EAGLE DRIVE HUDSON, NH 03051	10 EAGLE DRIVE
240 1	JOANNE E WALSH 2 EAGLE DRIVE HUDSON, NH 03051	2 EAGLE DRIVE	246 41	SCOTT J WADE 1 FAIRWAY DRIVE HUDSON, NH 03051	1 FAIRWAY DRIVE
245 14	LEONARD J LEONE 19 FAIRWAY DRIVE HUDSON, NH 03051	19 FAIRWAY DRIVE	240 2	JAMES M DOBENS 4 EAGLE DRIVE HUDSON, NH 03051	4 EAGLE DRIVE
240 13-1	DWARKAMAI, INC 1167 LAKEWOOD CIRCLE NAPERVILLE, IL 60540	33 RIVER ROAD	234 5	GREENMEADOW GOLF CLUB INC 55 MARSH ROAD HUDSON, NH 03051	11 STEELE ROAD
234 1	STEELE FARM, LLC 2 FRIEL GOLF ROAD HUDSON, NH 03051	9 RIVER ROAD	245 5	RICHARD R LEBOURDAIS 23 FAIRWAY DRIVE HUDSON, NH 03051	23 FAIRWAY DRIVE
240 4	JONATHAN FONTAINE 8 EAGLE DRIVE HUDSON, NH 03051	8 EAGLE DRIVE	234 9	PETER R GOYETTE 2 DRACUT ROAD HUDSON, NH 03051	6 LINDA STREET
246 40	WILLIAM H MARSCH 3 FAIRWAY DRIVE HUDSON, NH 03051	3 FAIRWAY DRIVE	234 11	SEAN P STEVENS 10 LINDA STREET HUDSON, NH 03051	10 LINDA STREET
234 35	267 LOWELL ROAD HUDSON, LLC 200 US ROUTE ONE SUITE 200 SCARBOROUGH, ME 04070	267 LOWELL ROAD	234 34	THOMAS P FRIEL 55 MARSH ROAD HUDSON, NH 03051	273 LOWELL ROAD
228 4	SAM'S RE BUSINESS TRUST PO BOX 8050 MS 0555 BENTONVILLE, AR 72716	7 WAL-MART BOULEVARD	234 6	GREENMEADOW GOLF CLUB INC 55 MARSH ROAD HUDSON, NH 03051	15 STEELE ROAD
246 37	DAVID R GOSSELIN 9 FAIRWAY DRIVE HUDSON, NH 03051	9 FAIRWAY DRIVE	234 8	J SCOTT DESROCHES 296 DERRY ROAD HUDSON, NH 03051	4 LINDA STREET
240 6	JOSEPH M DIPILATO 12 EAGLE DRIVE HUDSON, NH 03051	12 EAGLE DRIVE	234 7	KENNETH MURPHY 2 LINDA STREET HUDSON, NH 03051	2 LINDA STREET
245 16	PHILLIP G VOLK 15 FAIRWAY DRIVE HUDSON, NH 03051	15 FAIRWAY DRIVE	234 10	DAVID R DUNN 8 LINDA STREET HUDSON, NH 03051	8 LINDA STREET
240 3	CRAIG C PROULX 6 EAGLE DRIVE HUDSON, NH 03051	6 EAGLE DRIVE	245 15	ROBERT COSTELLO 17 FAIRWAY DRIVE HUDSON, NH 03051	17 FAIRWAY DRIVE

OWNER
 GREENMEADOW GOLF CLUB, INC.
 C/O THOMAS FRIEL
 55 MARSH ROAD
 HUDSON, NH 03051

APPLICANT
 HILLWOOD
 C/O JUSTIN DUNN
 5050 W. TILGHMAN STREET
 SUITE 435
 ALLENTOWN, PA 18104
 (410) 596-3665

ARCHITECT
 WARE MALCOMB
 C/O MARK BARTOLONE
 4683 CHABOT DRIVE #300
 PLEASANTON, CA 94588
 (925) 244-9620

**CIVIL ENGINEER, TRAFFIC ENGINEER,
 ENVIRONMENTAL ENGINEER, GEOTECHNICAL
 ENGINEER & LANDSCAPE ARCHITECT**
 LANGAN ENGINEERING & ENVIRONMENTAL
 SERVICES, INC
 C/O NATHAN KIRSCHNER
 888 BOYLSTON STREET
 BOSTON, MA 02116
 (617) 824-9100

LAND SURVEYOR
 HAYNER/SWANSON, INC.
 C/O JAMES PETROPULOS
 3 CONGRESS STREET
 NASHUA, NH 03062
 (603) 883-2057

WETLANDS & NATURAL RESOURCES
 GOVE ENVIRONMENTAL SERVICES
 C/O BRENDAN QUIGLEY
 8 CONTINENTAL DRIVE, BLDG 2, UNIT H
 EXETER, NH 03833
 (603) 778-0644

APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
 PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____
 SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF THE PLANNING BOARD
 MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD
 MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PURSUANT TO THE
 REGULATIONS OF
 THE HUDSON
 PLANNING BOARD,
 THE SITE PLAN
 APPROVAL
 GRANTED HEREIN
 EXPIRES ONE YEAR
 FROM DATE OF
 APPROVAL.

FOR PERMITTING ONLY, NOT FOR CONSTRUCTION

LANGAN

CIVIL DRAWING INDEX

SHEET NUMBER	DRAWING TITLE	DATE	LAST REVISED
CS002	COVER SHEET	04-21-2020	11-30-2020
---	SHEET INDEX	04-21-2020	11-30-2020
CS003	MASTER LEGEND & NOTES	04-21-2020	09-14-2020
---	ALTA/NSPS LAND TITLE SURVEY (SHEET 1 OF 5)	01-13-2020	02-18-2020
---	ALTA/NSPS LAND TITLE SURVEY (SHEET 2 OF 5)	01-13-2020	02-18-2020
---	ALTA/NSPS LAND TITLE SURVEY (SHEET 3 OF 5)	01-13-2020	02-18-2020
---	ALTA/NSPS LAND TITLE SURVEY (SHEET 4 OF 5)	01-13-2020	02-18-2020
---	ALTA/NSPS LAND TITLE SURVEY (SHEET 5 OF 5)	01-13-2020	02-18-2020
CS101	SITE PLAN I	04-21-2020	09-14-2020
CS102	SITE PLAN II	04-21-2020	11-30-2020
CS103	SITE PLAN III	04-21-2020	11-30-2020
CS104	SITE PLAN IV	04-21-2020	09-14-2020
CS105	SITE PLAN V	04-21-2020	09-14-2020
CS106	SITE PLAN VI	04-21-2020	09-14-2020
CS107	SITE PLAN VII	04-21-2020	11-30-2020
CS108	SITE PLAN VIII	04-21-2020	11-30-2020
CS109	SITE PLAN IX	04-21-2020	11-30-2020
CS110	SITE PLAN X	04-21-2020	09-14-2020
CS111	SITE PLAN XI	04-21-2020	09-14-2020
CS112	SITE PLAN XII	04-21-2020	11-30-2020
CS113	SITE PLAN XIII	04-21-2020	09-14-2020
CS114	SITE PLAN XIV	04-21-2020	09-14-2020
CS115	SITE PLAN XV	04-21-2020	11-30-2020
CS116	SITE PLAN XVI	04-21-2020	11-30-2020
CS117	SITE PLAN XVII	04-21-2020	11-30-2020
CS118	SITE PLAN XVIII	04-21-2020	11-30-2020
CS119	SITE PLAN XIX	04-21-2020	11-30-2020
CS120	SITE PLAN XX	04-21-2020	11-30-2020
CS121	SITE PLAN XXI	04-21-2020	09-14-2020
CS122	SITE PLAN XXII	04-21-2020	09-14-2020
CS123	SITE PLAN XXIII	04-21-2020	09-14-2020
CS124	SITE PLAN XXIV	04-21-2020	09-14-2020
CS125	SITE PLAN XXV	04-21-2020	11-30-2020
CS126	SITE PLAN XXVI	04-21-2020	09-14-2020
CS127	SITE PLAN XXVII	04-21-2020	11-30-2020
CS128	SITE PLAN XXVIII	04-21-2020	09-14-2020
CS129	SITE PLAN XXIX	04-21-2020	11-30-2020
CS501	SITE DETAILS I	04-21-2020	09-14-2020
CS502	SITE DETAILS II	04-21-2020	09-14-2020
CS503	SITE DETAILS III	04-21-2020	09-14-2020
CS504	SITE DETAILS IV	04-21-2020	09-14-2020
CG100	OVERALL GRADING & DRAINAGE PLAN	04-21-2020	11-30-2020
CG102	GRADING & DRAINAGE PLAN II	04-21-2020	09-14-2020
CG103	GRADING & DRAINAGE PLAN III	04-21-2020	09-14-2020
CG104	GRADING & DRAINAGE PLAN IV	04-21-2020	09-14-2020
CG105	GRADING & DRAINAGE PLAN V	04-21-2020	09-14-2020
CG106	GRADING & DRAINAGE PLAN VI	04-21-2020	09-14-2020
CG107	GRADING & DRAINAGE PLAN VII	11-30-2020	
CG108	GRADING & DRAINAGE PLAN VIII	11-30-2020	
CG110	GRADING & DRAINAGE PLAN X	04-21-2020	09-14-2020
CG111	GRADING & DRAINAGE PLAN XI	04-21-2020	09-14-2020
CG112	GRADING & DRAINAGE PLAN XII	04-21-2020	09-14-2020
CG115	GRADING & DRAINAGE PLAN XV	11-30-2020	
CG116	GRADING & DRAINAGE PLAN XVI	04-21-2020	11-30-2020
CG117	GRADING & DRAINAGE PLAN XVII	04-21-2020	11-30-2020
CG118	GRADING & DRAINAGE PLAN XVIII	04-21-2020	11-30-2020
CG119	GRADING & DRAINAGE PLAN XIX	04-21-2020	11-30-2020
CG120	GRADING & DRAINAGE PLAN XX	04-21-2020	11-30-2020
CG121	GRADING & DRAINAGE PLAN XXI	04-21-2020	09-14-2020
CG122	GRADING & DRAINAGE PLAN XXII	04-21-2020	09-14-2020
CG123	GRADING & DRAINAGE PLAN XXIII	04-21-2020	09-14-2020
CG124	GRADING & DRAINAGE PLAN XXIV	04-21-2020	09-14-2020
CG125	GRADING & DRAINAGE PLAN XXV	04-21-2020	09-14-2020
CG126	GRADING & DRAINAGE PLAN XXVI	04-21-2020	09-14-2020
CG127	GRADING & DRAINAGE PLAN XXVII	04-21-2020	09-14-2020
CG128	GRADING & DRAINAGE PLAN XXVIII	04-21-2020	09-14-2020
CG129	GRADING & DRAINAGE PLAN XXIX	04-21-2020	09-14-2020
CG200	OVERALL SUB-GRADE DRAINAGE PLAN	08-07-2020	09-14-2020
CG201	SUB-GRADE DRAINAGE PLAN I	09-04-2020	09-14-2020
CG202	SUB-GRADE DRAINAGE PLAN II	09-04-2020	09-14-2020
CG203	SUB-GRADE DRAINAGE PLAN III	09-04-2020	09-14-2020
CG204	SUB-GRADE DRAINAGE PLAN IV	09-04-2020	09-14-2020
CG501	GRADING & DRAINAGE DETAILS I	04-21-2020	09-14-2020
CG502	GRADING & DRAINAGE DETAILS II	04-21-2020	09-14-2020
CG503	GRADING & DRAINAGE DETAILS III	04-21-2020	09-14-2020
CG504	GRADING & DRAINAGE DETAILS IV	04-21-2020	09-14-2020
FG01	WETLAND IMPACT PLAN	04-15-2020	11-30-2020
CU100	OVERALL UTILITY PLAN	04-21-2020	11-30-2020
CU102	UTILITY PLAN II	08-01-2020	09-14-2020
CU103	UTILITY PLAN III	08-01-2020	09-14-2020
CU104	UTILITY PLAN IV	04-21-2020	09-14-2020
CU105	UTILITY PLAN V	04-21-2020	09-14-2020
CU107	UTILITY PLAN VII	11-30-2020	
CU108	UTILITY PLAN VIII	11-30-2020	

CONCURRENT PLAN SETS AND PERMIT APPLICATIONS

- THE FOLLOWING PLAN SETS WERE SUBMITTED CONCURRENTLY FOR THIS PROJECT:
 - TOPOGRAPHIC SUBDIVISION PLAN - GREEN MEADOW DRIVE SET PREPARED BY HAYNER/SWANSON INC., DATED 04-21-2020, AND REVISED 07-13-2020.
 - MASTER PLAN - GREEN MEADOW DRIVE SET PREPARED BY HAYNER/SWANSON INC., DATED 04-21-2020, AND REVISED 07-13-2020.
- THE FOLLOWING PERMITS AND APPROVALS ARE BEING PURSUED FOR THIS PROJECT:
 - LOCAL PERMITS
 - HUDSON CONSERVATION COMMISSION WETLANDS RECOMMENDATION TO THE HUDSON PLANNING BOARD (CH. 334)
 - HUDSON PLANNING BOARD APPROVAL --- SUBDIVISION (CH. 289)
 - HUDSON PLANNING BOARD APPROVAL --- WETLANDS C.U.P. (CH.334)
 - HUDSON PLANNING BOARD APPROVAL --- SITE PLAN (CH. 275)
 - HUDSON PLANNING BOARD APPROVAL---STORMWATER MANAGEMENT PLAN (CH. 290)
 - WATER & SEWER PEER REVIEW SIGNOFF
 - SEWER USE DISTRICT TIE-IN APPROVAL (CH. 270)
 - SEWER USE ALLOCATION APPROVAL (CH. 270)
 - STEELE ROAD RELOCATION APPROVAL (IF NECESSARY)
 - NONRESIDENTIAL SEWER CONNECTION PERMIT
 - WATER SERVICE CONNECTION PERMIT (CH. 274)
 - WATER LINE EXTENSION APPROVAL/AGREEMENT (CH. 274)
 - PEER REVIEW (CIVIL, STORMWATER)
 - TRAFFIC PEER REVIEW
 - STREET OPENING PERMIT (CH. 284)
 - DRIVEWAY PERMIT (CH. 193)
 - REGIONAL PERMITS
 - LOWER MERRIMACK RIVER LOCAL ADVISORY COMMITTEE
 - NHDOT APPROVALS
 - ACCESS PERMITS
 - SIGNALIZATION PERMIT
 - NHDES APPROVALS
 - AIR POLLUTION CONTROL PERMIT
 - DREDGE & FILL PERMIT
 - ALTERATION OF TERRAIN PERMIT
 - SEWER CONNECTION PERMIT
 - OTHER STATE APPROVALS
 - NATURAL HERITAGE BUREAU
 - NEW HAMPSHIRE FISH & GAME
 - FEDERAL APPROVALS
 - ARMY CORP
 - EPA FEDERAL NPDES PERMIT

ARCHITECTURAL DRAWING INDEX

SHEET NUMBER	DRAWING TITLE	DATE	LAST REVISED
A0.1	LOT A - TITLE SHEET	09-23-2020	
A1.0	LOT A - OVERALL FLOOR PLAN - GROUND LEVEL	09-23-2020	
A1.1	LOT A - PARTIAL FLOOR PLAN - GROUND LEVEL - ZONE A	09-23-2020	
A4.1	LOT A - EAST BUILDING ELEVATION	11-13-2020	
A4.2	LOT A - SOUTH BUILDING ELEVATION	09-23-2020	
A4.3	LOT A - WEST BUILDING ELEVATION	09-23-2020	
A4.4	LOT A - NORTH BUILDING ELEVATION	09-23-2020	
A0.1	LOT B - TITLE SHEET	08-28-2020	
A1.0	LOT B - OVERALL FLOOR PLAN - GROUND LEVEL	10-08-2020	
A4.1	LOT B - EAST BUILDING ELEVATION	10-08-2020	
A4.2	LOT B - NORTH/SOUTH BUILDING ELEVATION	08-28-2020	
A4.3	LOT B - WEST BUILDING ELEVATION	10-08-2020	
A4.4	LOT B - EXTERIOR ELEVATIONS - COLOR SCHEDULE	08-28-2020	
A1.0	LOT C - OVERALL FLOOR PLAN - GROUND LEVEL	11-27-2020	
A4.1	LOT C - EAST BUILDING ELEVATION	11-27-2020	
A4.2	LOT C - NORTH/SOUTH BUILDING ELEVATION	11-27-2020	
A4.3	LOT C - WEST BUILDING ELEVATION	04-20-2020	

APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
 PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF THE PLANNING BOARD MEETING. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

Date	Description	No.
12/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	5
11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
09/14/20	AOT COMMENT RESPONSE	3
09/04/20	NHDES DREDGE & FILL PERMIT RESPONSE	2
05/21/20	SUPPLEMENTAL P&Z SUBMISSION	1

Revisions



LANGAN
 Langan Engineering and Environmental Services, Inc.
 888 Boylston Street, Ste 510
 Boston, MA 02199

T: 617.824.9100 F: 617.824.9101 www.langan.com

Project

HUDSON LOGISTICS CENTER

MAP No. 239, LOT No. 1
 HUDSON

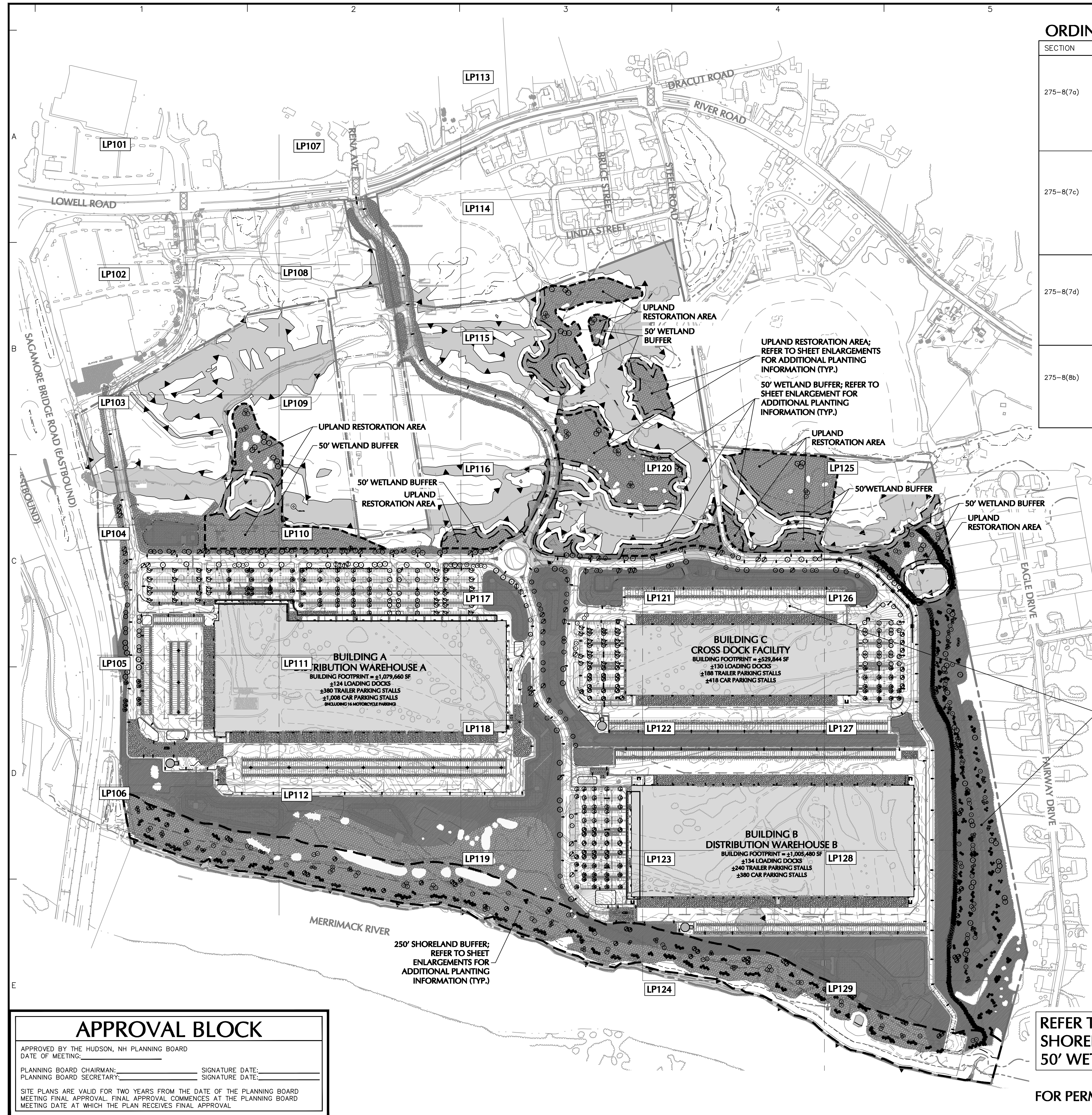
HILLSBOROUGH NEW HAMPSHIRE

Drawing Title

SHEET INDEX

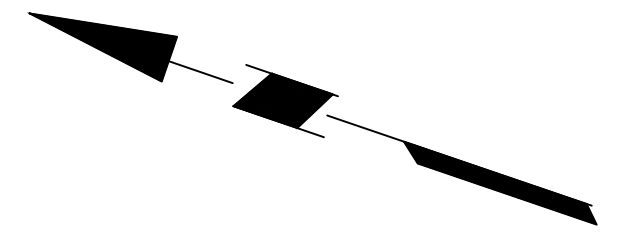
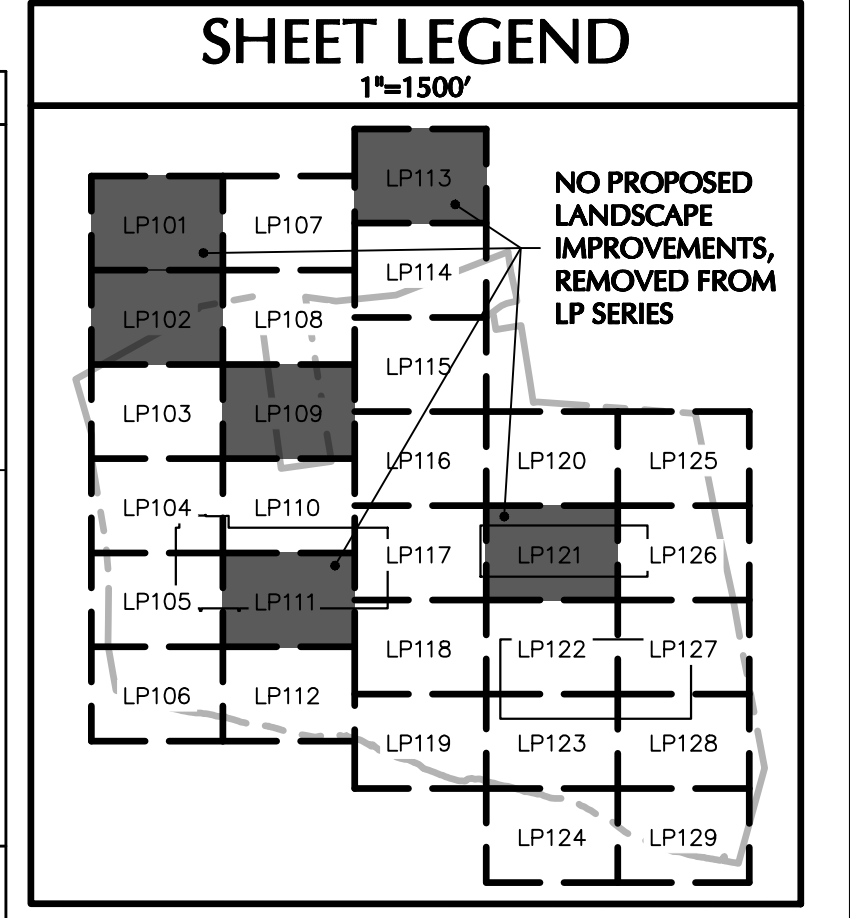
Project No.	151010101	Drawing No.	CS002
Date	04-21-2020		
Drawn By	CLR		
Checked By	NLK		

FOR PERMITTING ONLY, NOT FOR CONSTRUCTION



ORDINANCE COMPLIANCE CHART

SECTION	REQUIRED/ PERMITTED	PROVIDED/ PROPOSED	COMPLIANCE
275-8(7a)	A MINIMUM OF 10% OF THE INTERIOR OF A PARKING LOT SHALL BE SET ASIDE FOR LANDSCAPING AREAS EXCLUSIVE OF PAVED PEDESTRIAN SURFACES.	BUILDING A- TOTAL AREA:429,082 SQ FT INTERIOR LANDSCAPED AREA:60,676 SQ FT (14.1%) BUILDING B- TOTAL AREA:165,690 SQ FT INTERIOR LANDSCAPED AREA:18,242 SQ FT (11.0%) BUILDING C NORTH- TOTAL AREA:112,920 SQ FT INTERIOR LANDSCAPED AREA:18,526 SQ FT (16.5%) BUILDING C SOUTH- TOTAL AREA:106,797 SQ FT INTERIOR LANDSCAPED AREA:16,680 SQ FT (15.6%)	COMPLIES
275-8(7c)	A MINIMUM OF ONE SHADE TREE SHALL BE PLANTED PER 1,600 SQUARE FEET OF PAVED AREA, OR ONE SHADE TREE PER EVERY FIVE PARKING SPACES, WHICHEVER IS GREATER.	BUILDING A- TOTAL PAVED AREA:368,406 SQ FT/1,600 SQ FT =231 TREES REQUIRED, 237 TREES PROVIDED BUILDING B- TOTAL PAVED AREA:147,448 SQ FT/1,600 SQ FT =93 TREES REQUIRED, 93 TREES PROVIDED BUILDING C- TOTAL PAVED AREA:184,511 SQ FT/1,600 SQ FT =116 TREES REQUIRED, 207 TREES PROVIDED TOTAL SHADE TREES REQUIRED: 440 TREES TOTAL SHADE TREES PROVIDED: 537 TREES (TREES IN RESIDENTIAL BUFFER AND 250-FOOT SHORELINE RESTORATION AREA NOT INCLUDED)	COMPLIES
275-8(7d)	ONE SHRUB PER 200 SQUARE FEET OF PAVED AREA SHALL BE PLANTED OR 1.6 SHRUBS PER EVERY PARKING SPACE.	BUILDING A- TOTAL PAVED AREA:368,406 SQ FT/200 SQ FT =1,843 SHRUBS REQUIRED, 1,848 SHRUBS PROVIDED BUILDING B- TOTAL PAVED AREA:147,448 SQ FT/200 SQ FT =738 SHRUBS REQUIRED, 1,168 SHRUBS PROVIDED BUILDING C- TOTAL PAVED AREA:184,511 SQ FT/200 SQ FT =923 SHRUBS REQUIRED, 930 SHRUBS PROVIDED TOTAL SHRUBS REQUIRED: 3,504 SHRUBS TOTAL SHRUBS PROVIDED: 3,946 SHRUBS	COMPLIES
275-8(8b)	SCREENING SHALL BE PROVIDED FOR VISUAL SEPARATION OF INCOMPATIBLE USES. SCREENING SHALL BE REQUIRED BETWEEN PARKING OR LOADING AREAS AND, IF PRESENT, AN ADJUTING RESIDENTIAL ZONE. SCREENING MAY ALSO BE REQUIRED BETWEEN ADJUTING NONRESIDENTIAL SITES. WHERE SCREENING IS REQUIRED, IT SHALL PROVIDE A REASONABLE EFFECTIVE VISUAL BUFFER BY NEW PLANTINGS	TO PROVIDE ADEQUATE SCREENING, A LANDSCAPE BERM IS PROPOSED WITH A SOUND FENCE AT THE TOP OF THE BERM AND A DOUBLE STAGGERED ROW OF EVERGREEN TREES BETWEEN USES	COMPLIES



Date	Description	No.
11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
09/14/20	AOT COMMENT RESPONSE	3

MICHAEL SZURA
 LICENSED LANDSCAPE ARCHITECT
 STATE LIC. NO. 152

LANGAN
 Langan Engineering and Environmental Services, Inc.
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 Boston, MA 02199
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Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON
 HILLSBOROUGH NEW HAMPSHIRE
 Drawing Title
OVERALL PLANTING PLAN

Project No. 151010101	Drawing No. LP100
Date 04-21-2020	
Drawn By JA	
Checked By MH	

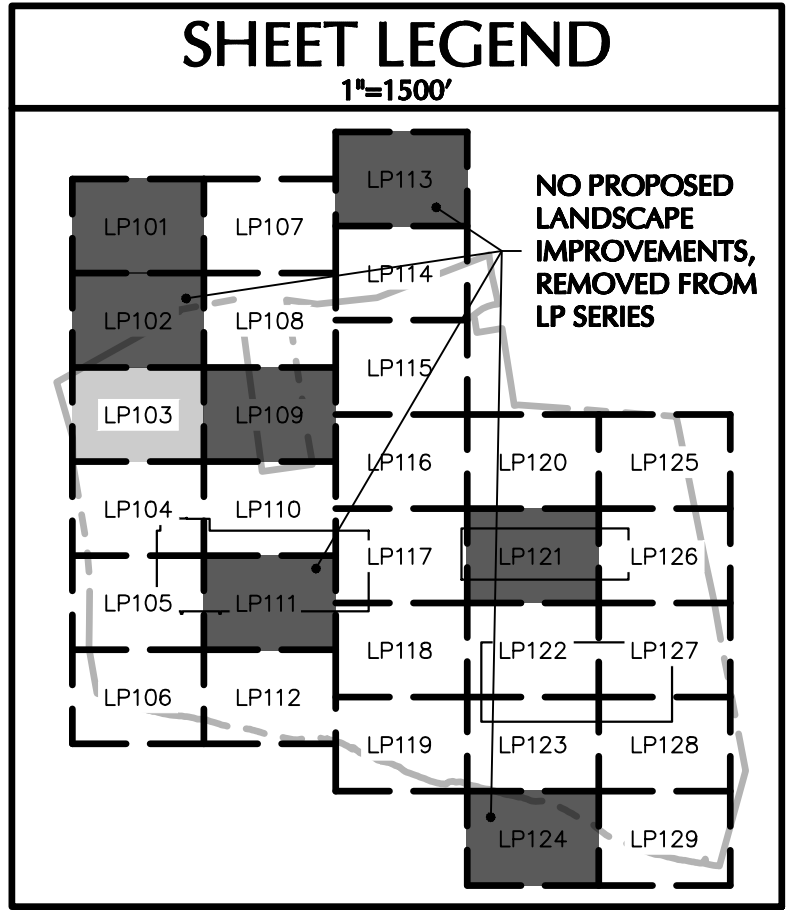
APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
 PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____
 SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF THE PLANNING BOARD MEETING. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

REFER TO SHEET LP502 FOR PLANTING SCHEDULES, SHORELAND BUFFER, UPLAND RESTORATION AREA, AND 50' WETLAND BUFFER AREA PLANTING NOTES.

FOR PERMITTING ONLY, NOT FOR CONSTRUCTION





Date	Description	No.
12/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	5
11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
09/14/20	AOT COMMENT RESPONSE	3

MICHAEL SZURA
 LICENSED LANDSCAPE ARCHITECT
 STATE LIC. NO. 152

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Project

HUDSON LOGISTICS CENTER

MAP No. 239, LOT No. 1
HUDSON NEW HAMPSHIRE

Drawing Title

LANDSCAPE PLANTING PLAN III

Project No.	151010101	Drawing No.	LP103	
Date	04-21-2020	Drawn By		KK
Checked By	MH			

APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

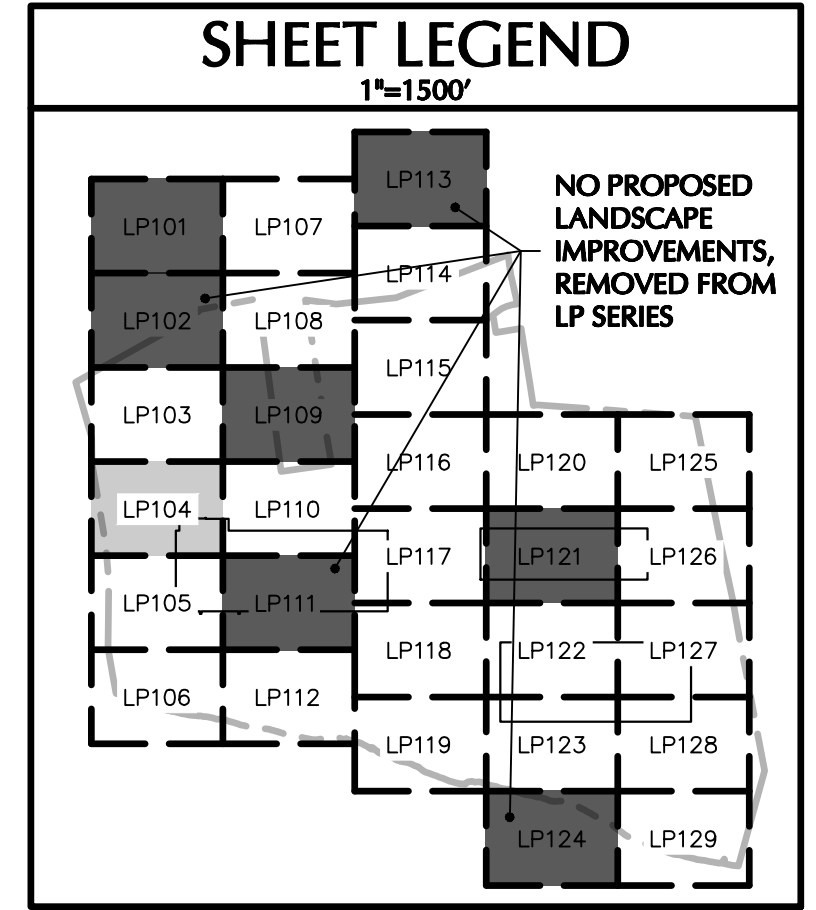
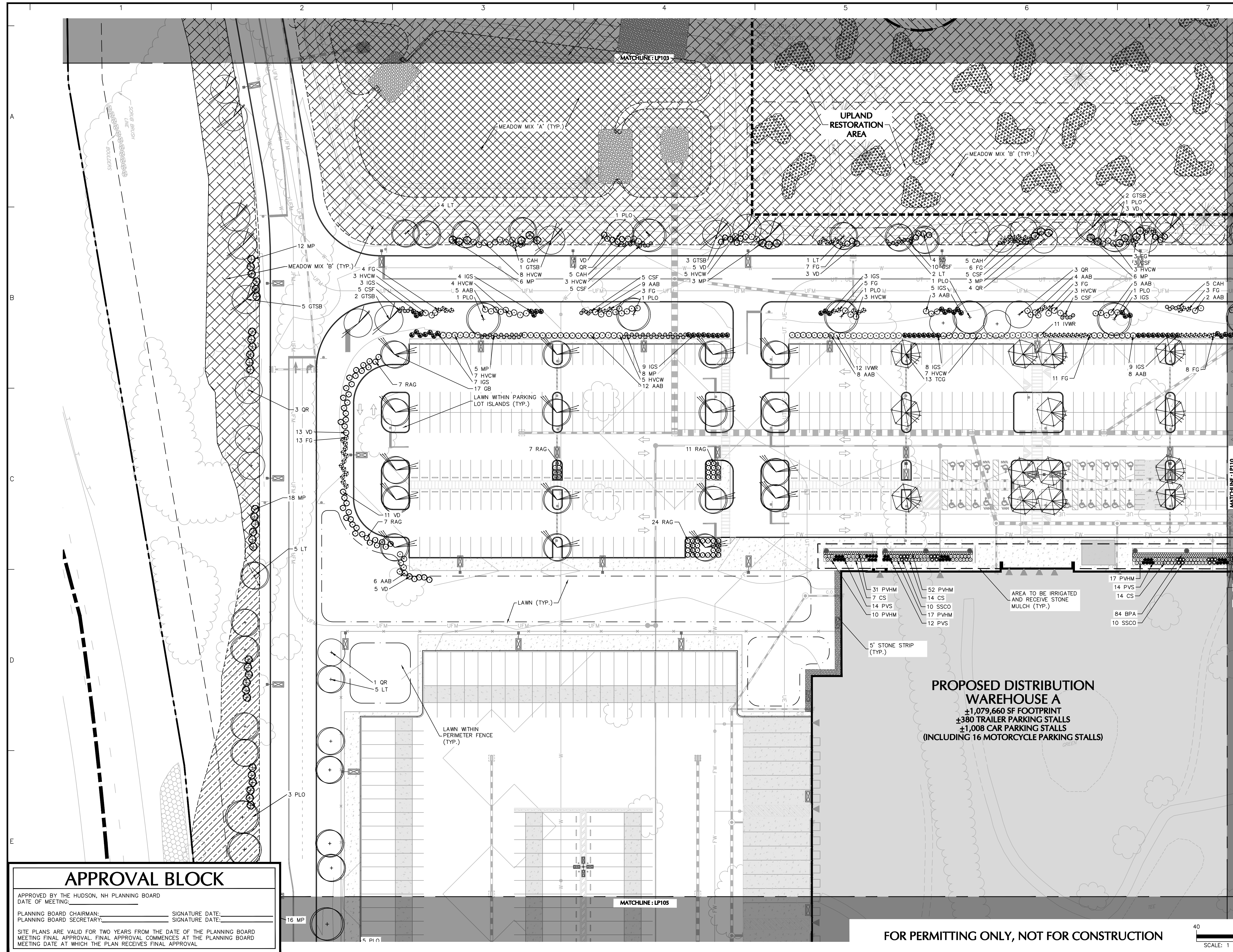
PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
 PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____

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SCALE: 1 INCH = 40 FEET

Project No. 151010101



Date	Description	No.
12/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	5
11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
09/14/20	AOT COMMENT RESPONSE	3


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 LICENSED LANDSCAPE ARCHITECT
 STATE LIC. NO. 152
LANGAN
 Langan Engineering and Environmental Services, Inc.
 888 Boylston Street, Ste 510
 Boston, MA 02199
 T: 617.824.9100 F: 617.824.9101 www.langan.com

Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON
 HILLSBOROUGH NEW HAMPSHIRE
 Drawing Title
LANDSCAPE PLANTING PLAN IV

Project No.	151010101	Drawing No.	LP104	
Date	04-21-2020	Drawn By		KK
Checked By	MH			

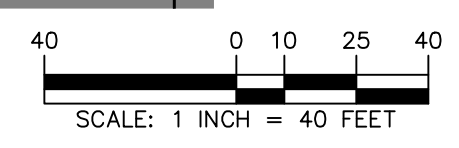
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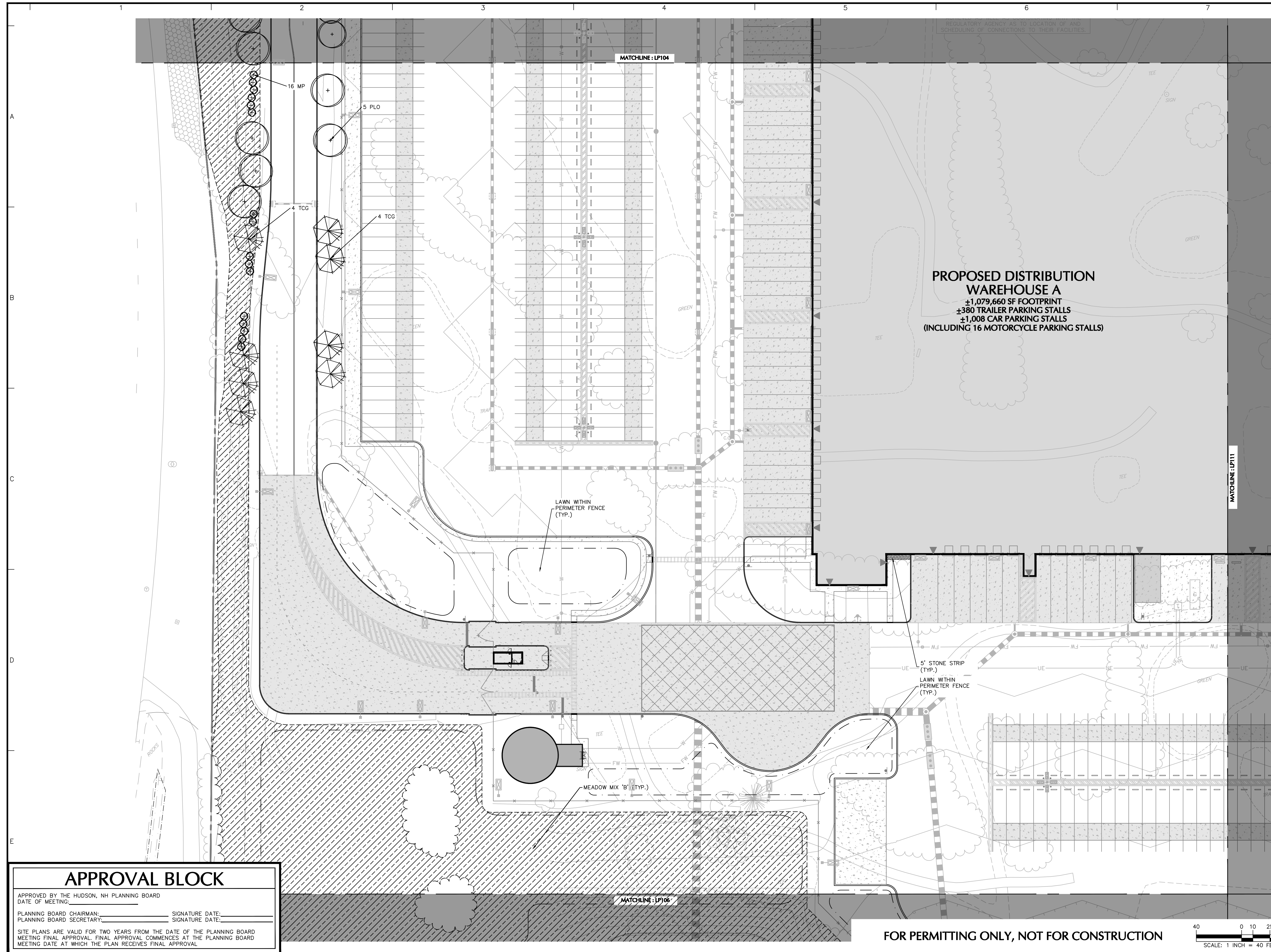
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
 PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____

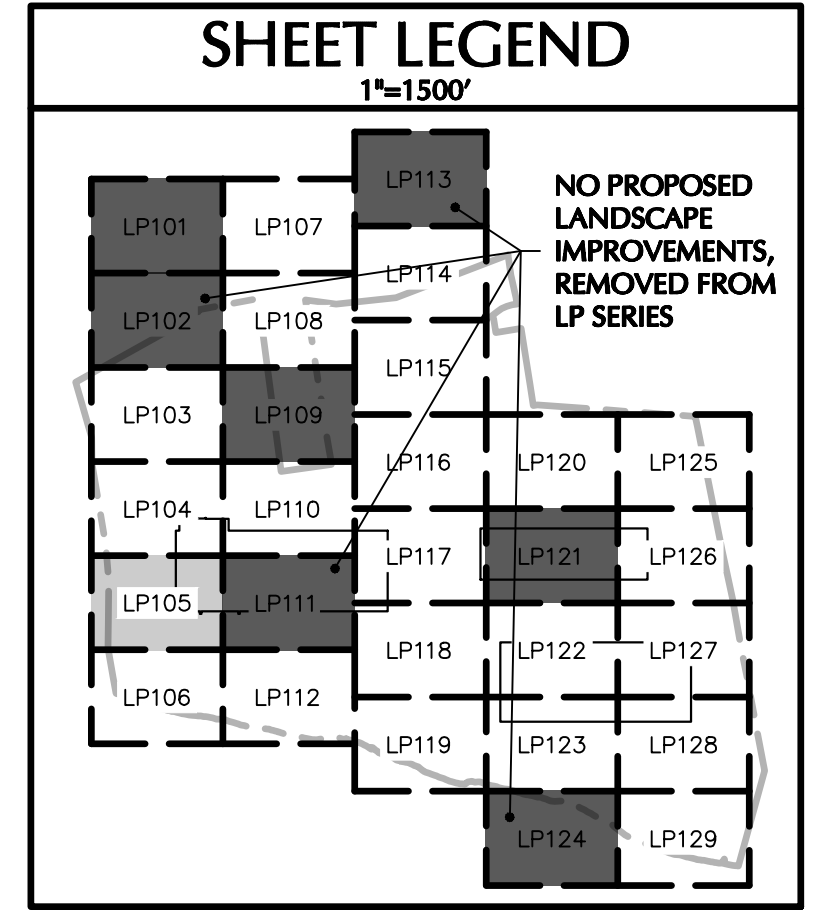
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PROPOSED DISTRIBUTION WAREHOUSE A
 ±1,079,660 SF FOOTPRINT
 ±380 TRAILER PARKING STALLS
 ±1,008 CAR PARKING STALLS
 (INCLUDING 16 MOTORCYCLE PARKING STALLS)



Date	Description	No.
12/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	5
11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
09/14/20	AOT COMMENT RESPONSE	3

Revisions

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Project

HUDSON LOGISTICS CENTER

MAP No. 239, LOT No. 1
 HUDSON
 HILLSBOROUGH NEW HAMPSHIRE

Drawing Title

LANDSCAPE PLANTING PLAN V

Project No.	151010101	Drawing No.	LP105	
Date	04-21-2020	Drawn By		KK
Checked By	MH			

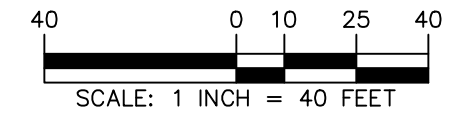
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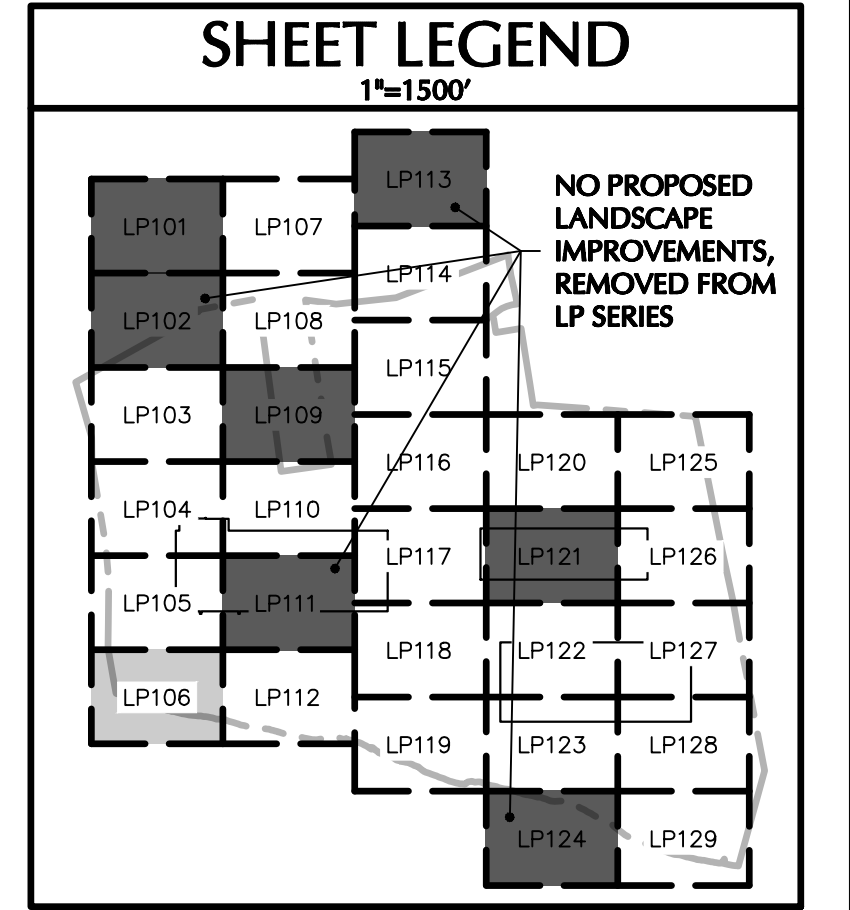
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

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11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
09/14/20	AOT COMMENT RESPONSE	3

Revisions

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HUDSON LOGISTICS CENTER

MAP No. 239, LOT No. 1
HUDSON
HILLSBOROUGH NEW HAMPSHIRE

Drawing Title

LANDSCAPE PLANTING PLAN VI

Project No.	151010101	Drawing No.	LP106	
Date	04-21-2020	Drawn By		KK
Checked By	MH			

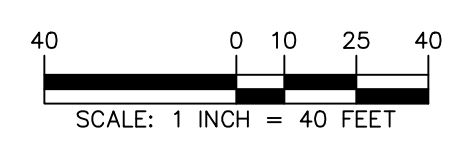
APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

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PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____

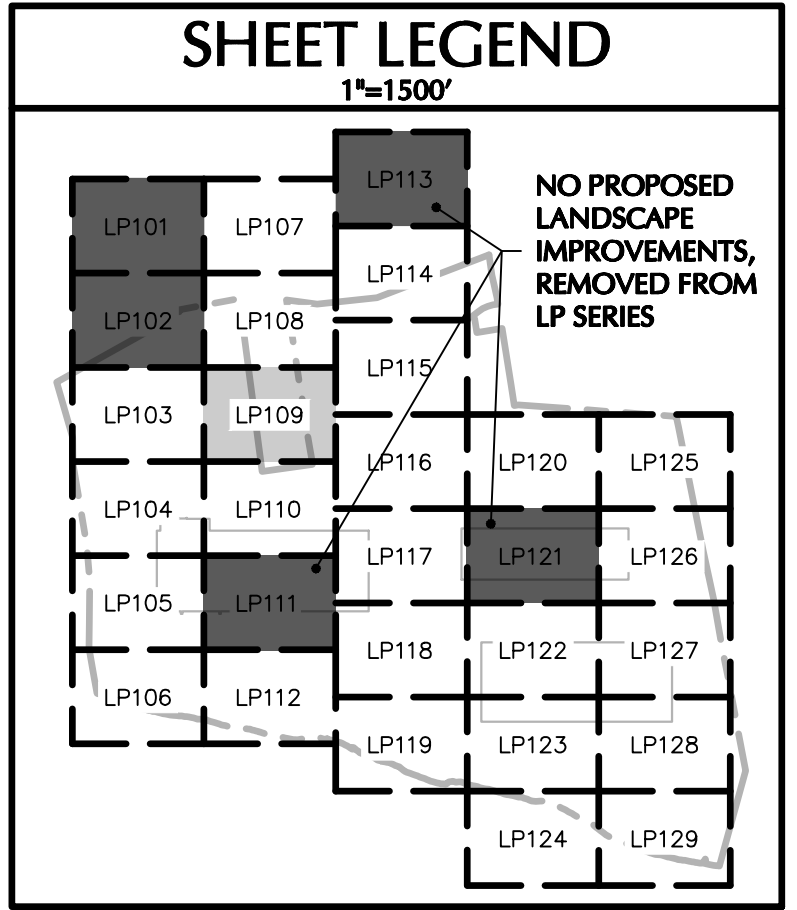
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11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
09/14/20	AOT COMMENT RESPONSE	3

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MAP No. 239, LOT No. 1
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Drawing Title

LANDSCAPE PLANTING PLAN IX

Project No. 151010101	Drawing No. LP109
Date 04-21-2020	
Drawn By KK	
Checked By MH	

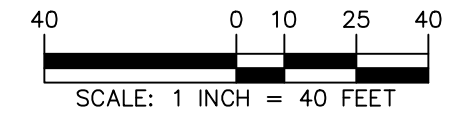
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APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

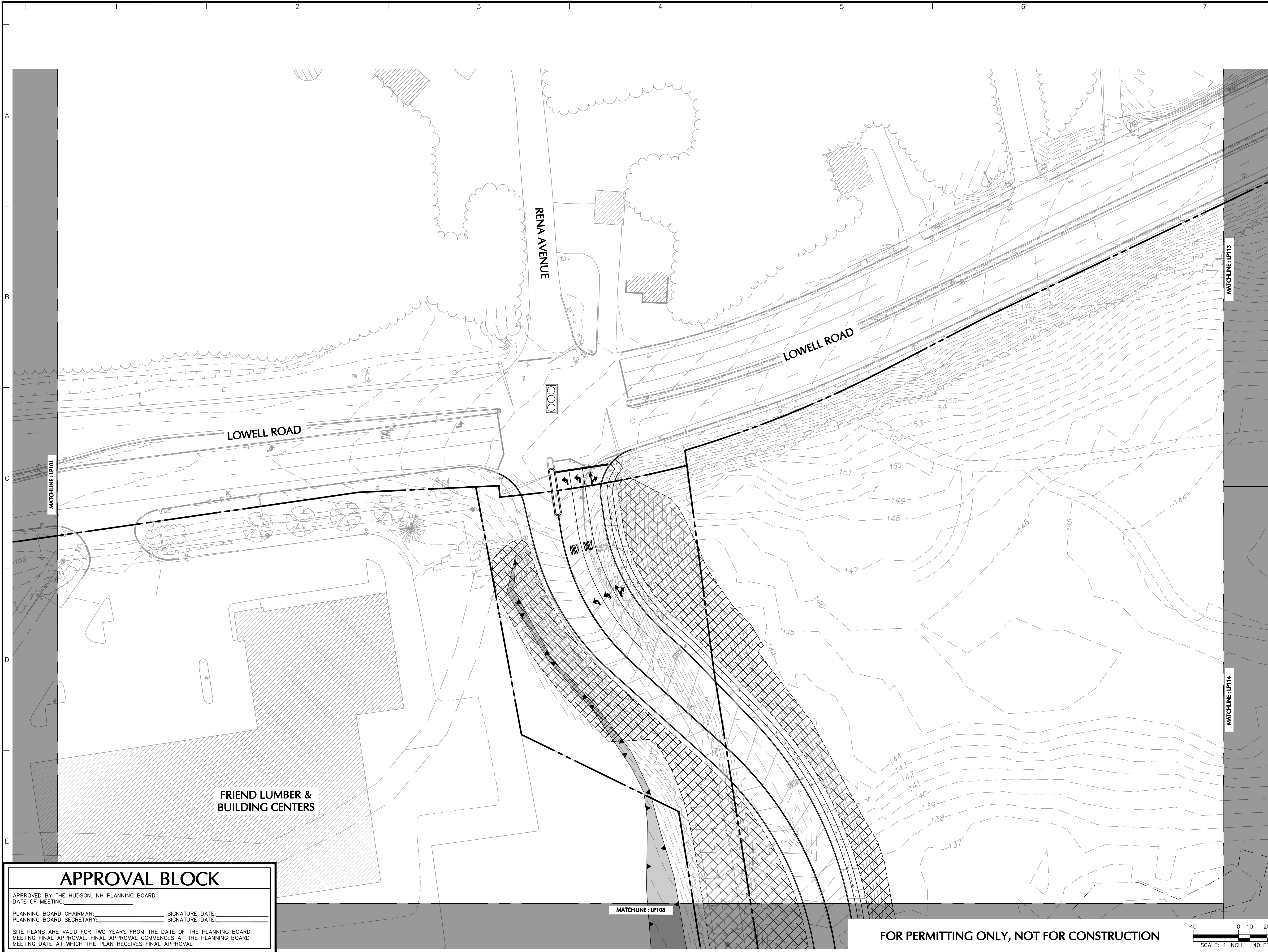
PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____

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Project No. 151010101



SHEET LEGEND
1"=1500'

LP101	LP107	LP113	NO PROPOSED LANDSCAPE IMPROVEMENTS, REMOVED FROM LP SERIES	
LP102	LP108	LP114		
LP103	LP109	LP115		
LP104	LP110	LP116	LP120	LP125
LP105	LP111	LP117	LP121	LP126
LP106	LP112	LP118	LP122	LP127
		LP119	LP123	LP128
			LP124	LP129

12/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	5
11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
Date	Description	No.

Revisions

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HUDSON LOGISTICS CENTER

MAP No. 239, LOT No. 1
HUDSON
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Drawing Title

LANDSCAPE PLANTING PLAN VII

Project No.	151010101	Drawing No.	LP107	
Date	11-30-2020	Drawn By		KK
Checked By	MH			

APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

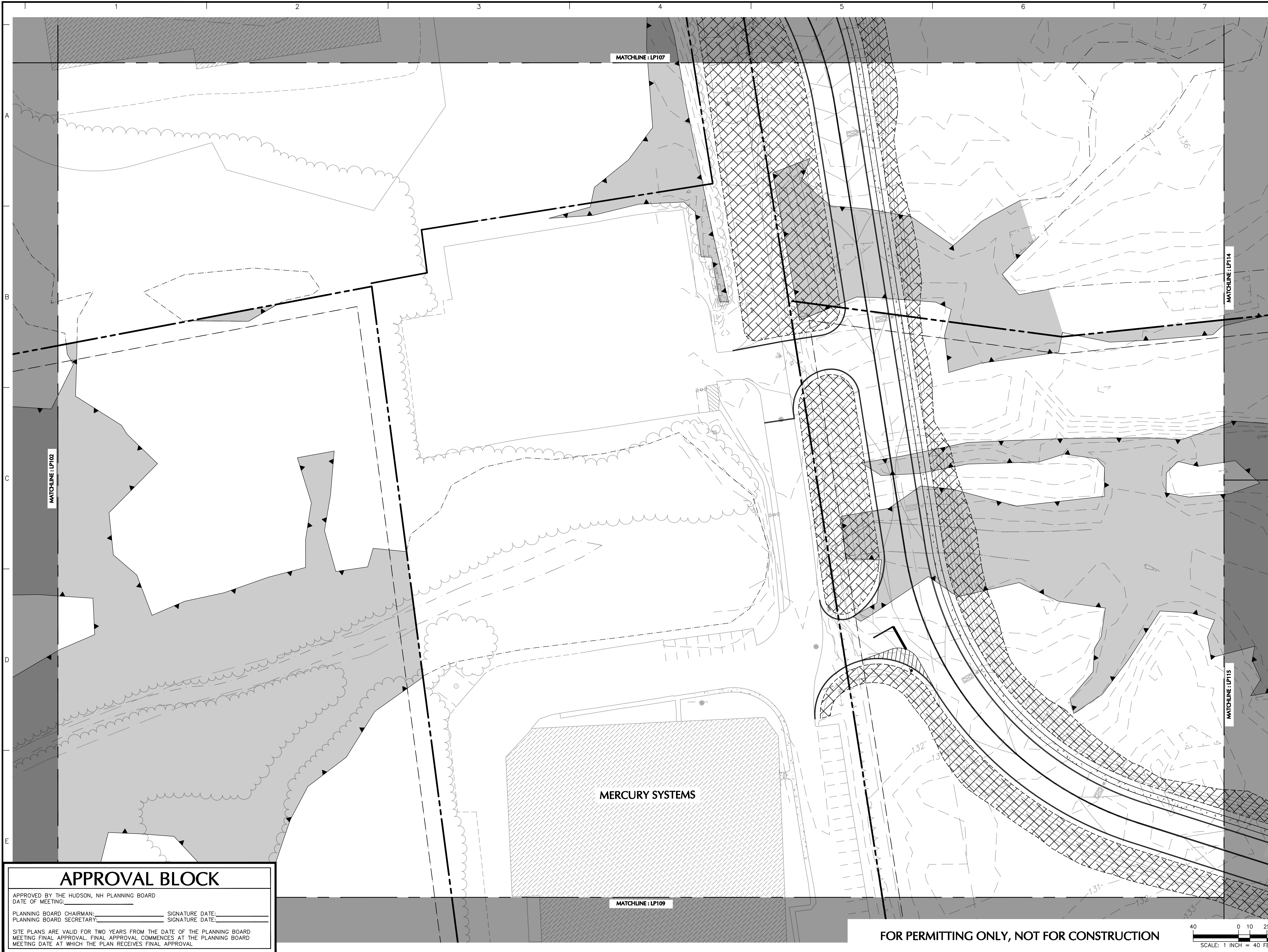
PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____

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SCALE: 1 INCH = 40 FEET

Project No. 151010101



SHEET LEGEND
1"=1500'

LP101	LP107	LP113	NO PROPOSED LANDSCAPE IMPROVEMENTS, REMOVED FROM LP SERIES
LP102	LP108	LP114	
LP103	LP109	LP115	
LP104	LP110	LP116	
LP105	LP111	LP117	
LP106	LP112	LP118	
		LP119	
		LP120	
		LP121	
		LP122	
		LP123	
		LP124	
		LP125	
		LP126	
		LP127	
		LP128	
		LP129	

12/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	5
11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
Date	Description	No.

Revision:

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Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1
HUDSON NEW HAMPSHIRE

Drawing Title
LANDSCAPE PLANTING PLAN VIII

Project No. 151010101	Drawing No. LP108
Date 11-30-2020	
Drawn By KK	
Checked By MH	

APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

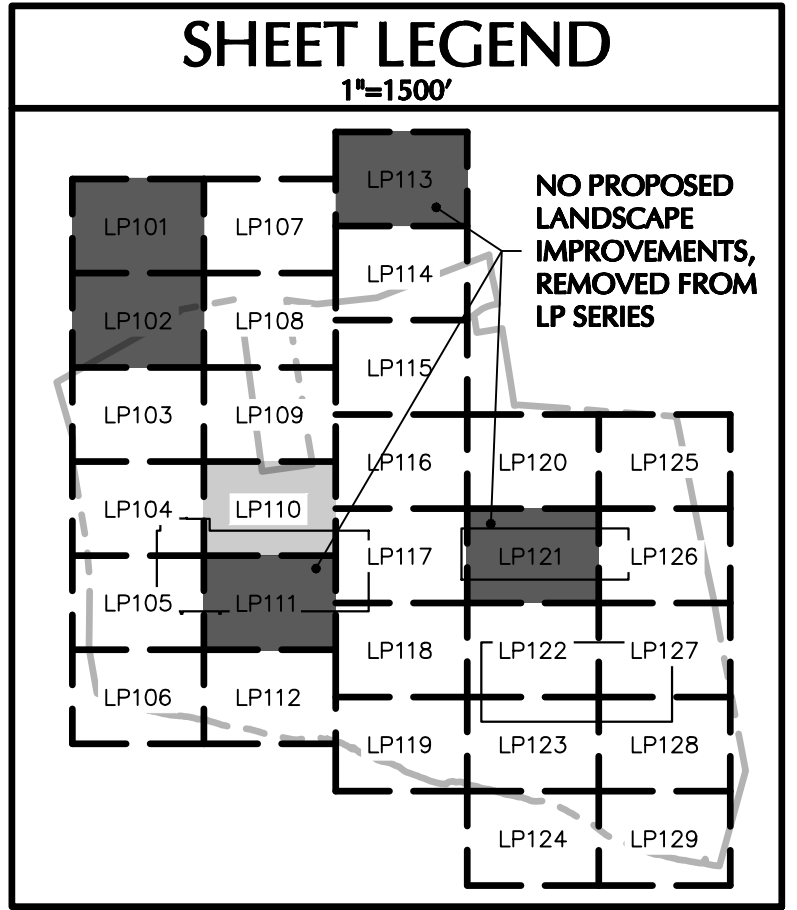
PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____

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Project No. 151010101



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Project

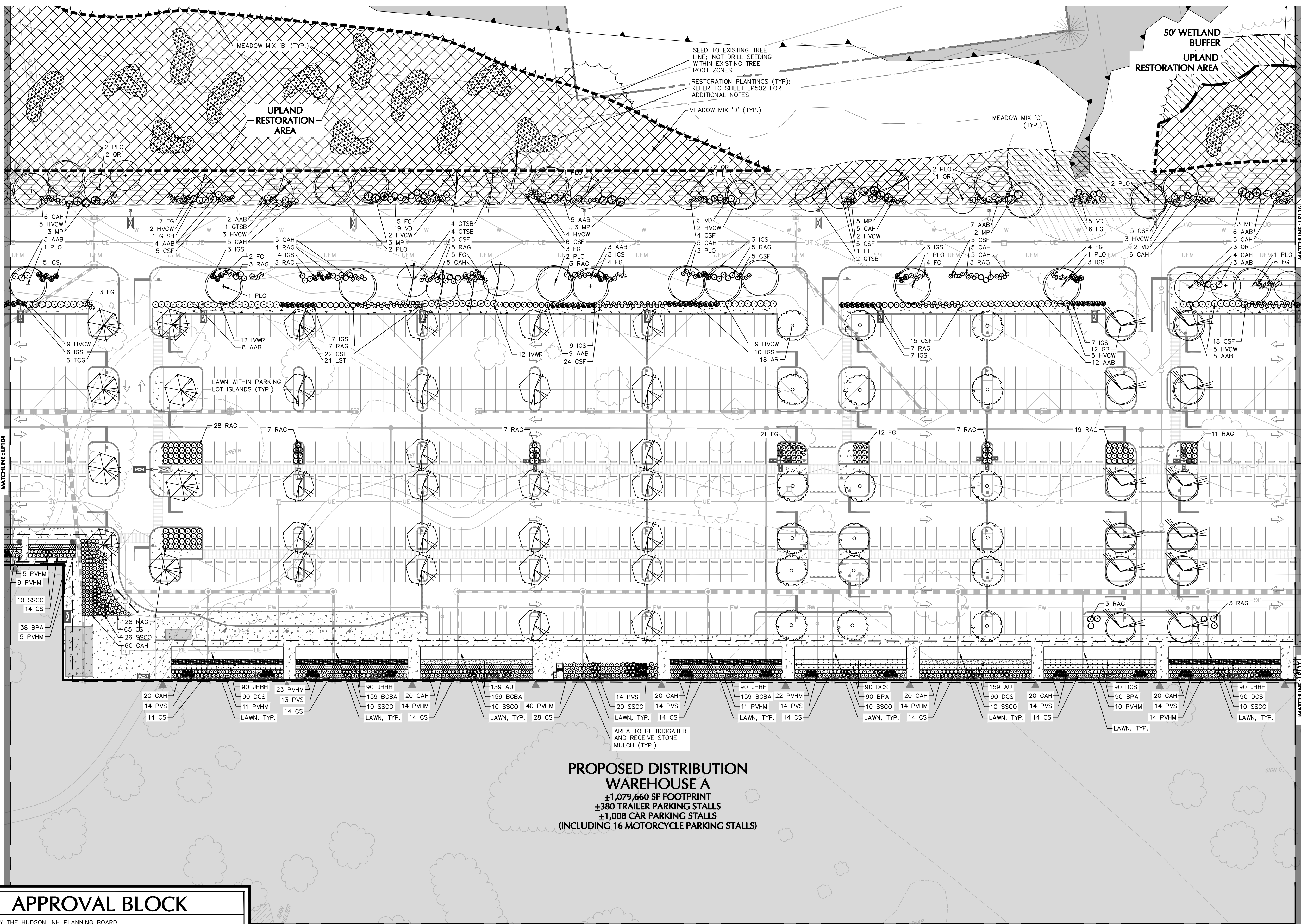
HUDSON LOGISTICS CENTER

MAP No. 239, LOT No. 1
HUDSON
HILLSBOROUGH NEW HAMPSHIRE

Drawing Title

LANDSCAPE PLANTING PLAN X

Project No.	151010101	Drawing No.	LP110	
Date	04-21-2020	Drawn By		KK
Checked By	MH			



PROPOSED DISTRIBUTION WAREHOUSE A
±1,079,660 SF FOOTPRINT
±380 TRAILER PARKING STALLS
±1,008 CAR PARKING STALLS
(INCLUDING 16 MOTORCYCLE PARKING STALLS)

AREA TO BE IRRIGATED AND RECEIVE STONE MULCH (TYP.)

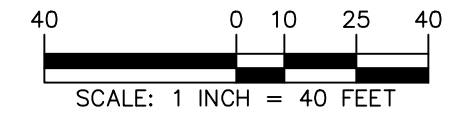
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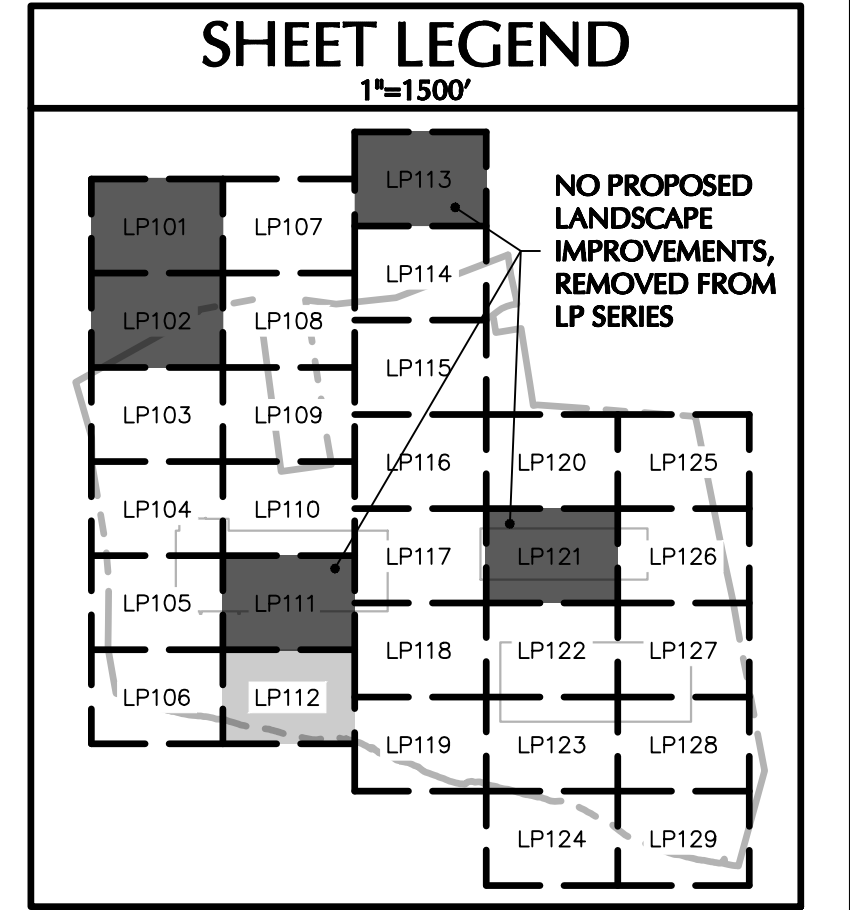
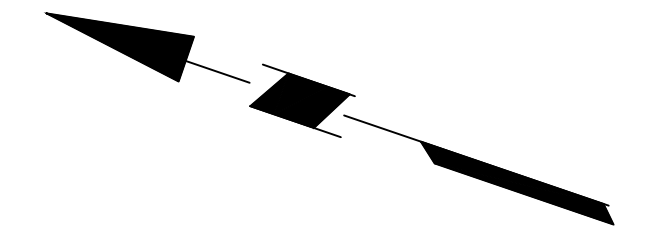
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____

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11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
09/14/20	AOT COMMENT RESPONSE	3

Revisions

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Project

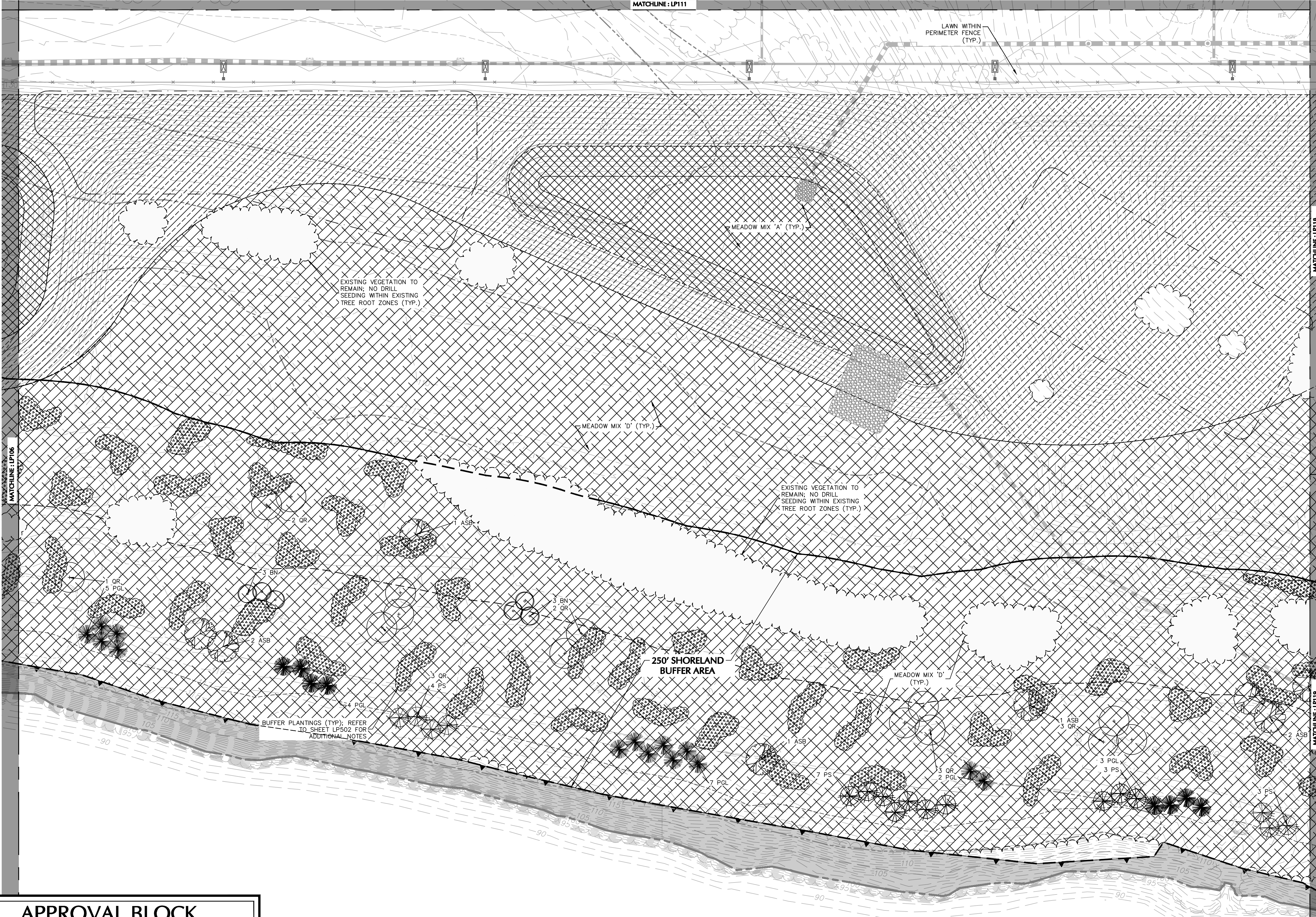
HUDSON LOGISTICS CENTER

MAP No. 239, LOT No. 1
HUDSON NEW HAMPSHIRE

Drawing Title

LANDSCAPE PLANTING PLAN XII

Project No. 151010101	Drawing No. LP112
Date 04-21-2020	Drawn By KK
Checked By MH	



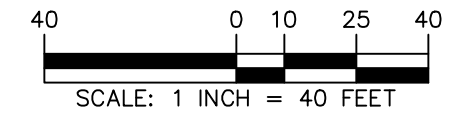
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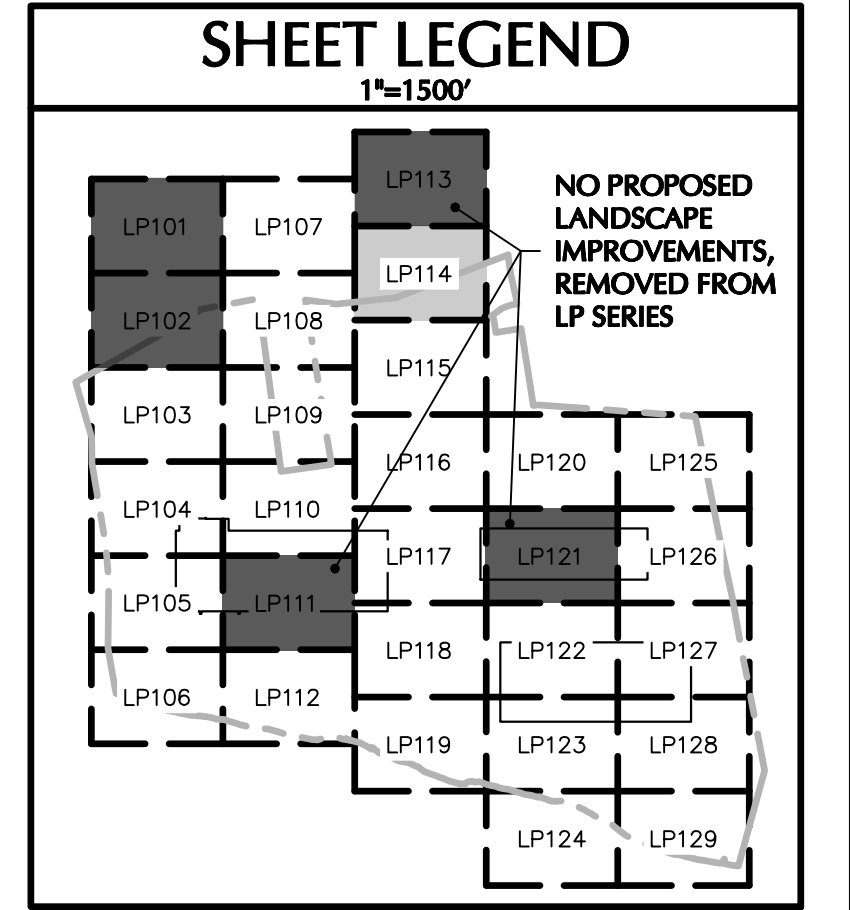
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____

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11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
09/14/20	AOT COMMENT RESPONSE	3



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Project
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MAP No. 239, LOT No. 1
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Drawing Title
LANDSCAPE PLANTING PLAN XIV

Project No. 151010101	Drawing No. LP114
Date 04-21-2020	
Drawn By KK	
Checked By MH	

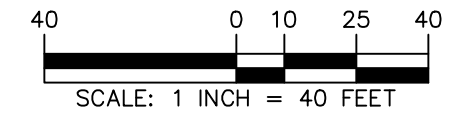
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APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

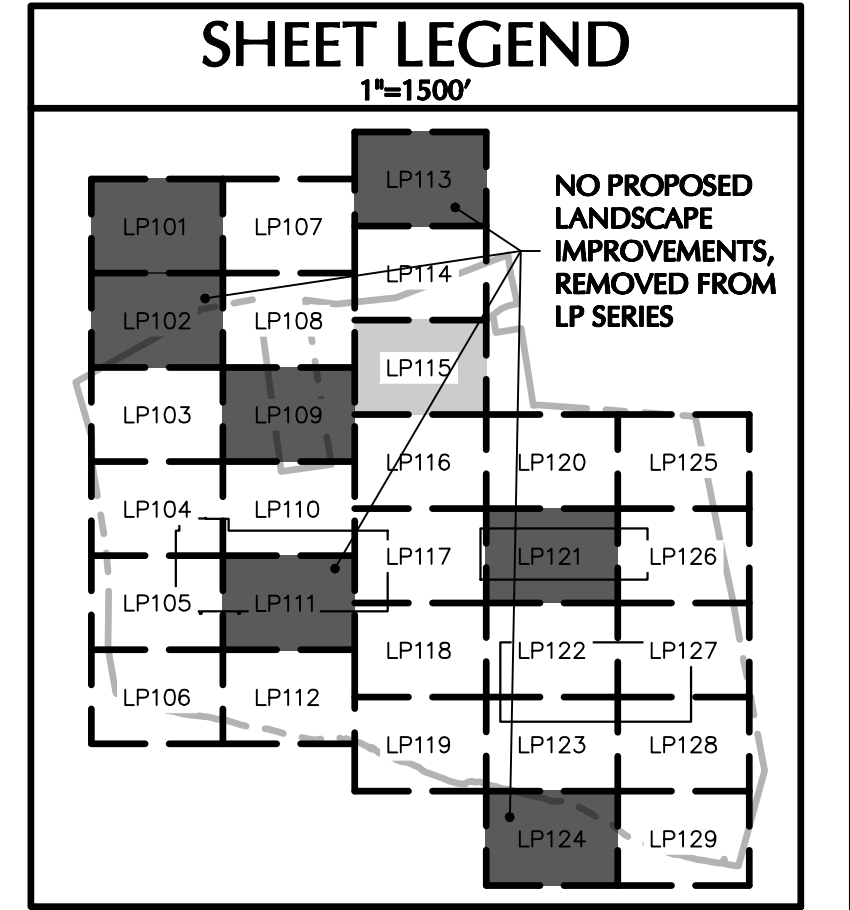
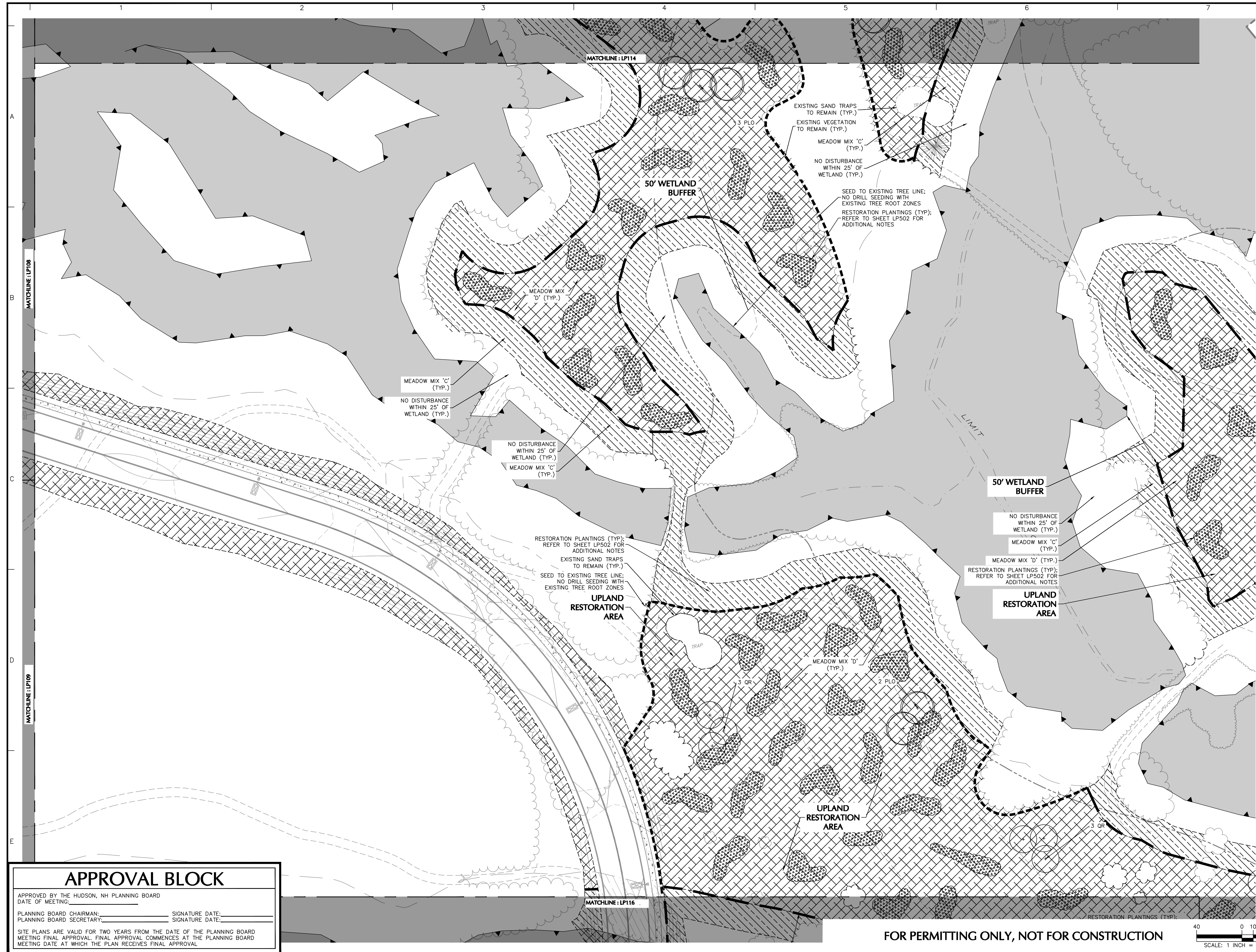
PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____

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Date	Description	No.
12/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	5
11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
09/14/20	AOT COMMENT RESPONSE	3

Revisions

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Project

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MAP No. 239, LOT No. 1
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Drawing Title

LANDSCAPE PLANTING PLAN XV

Project No.	151010101	Drawing No.	LP115
Date	04-21-2020	Drawn By	KK
Checked By	MH		

APPROVAL BLOCK

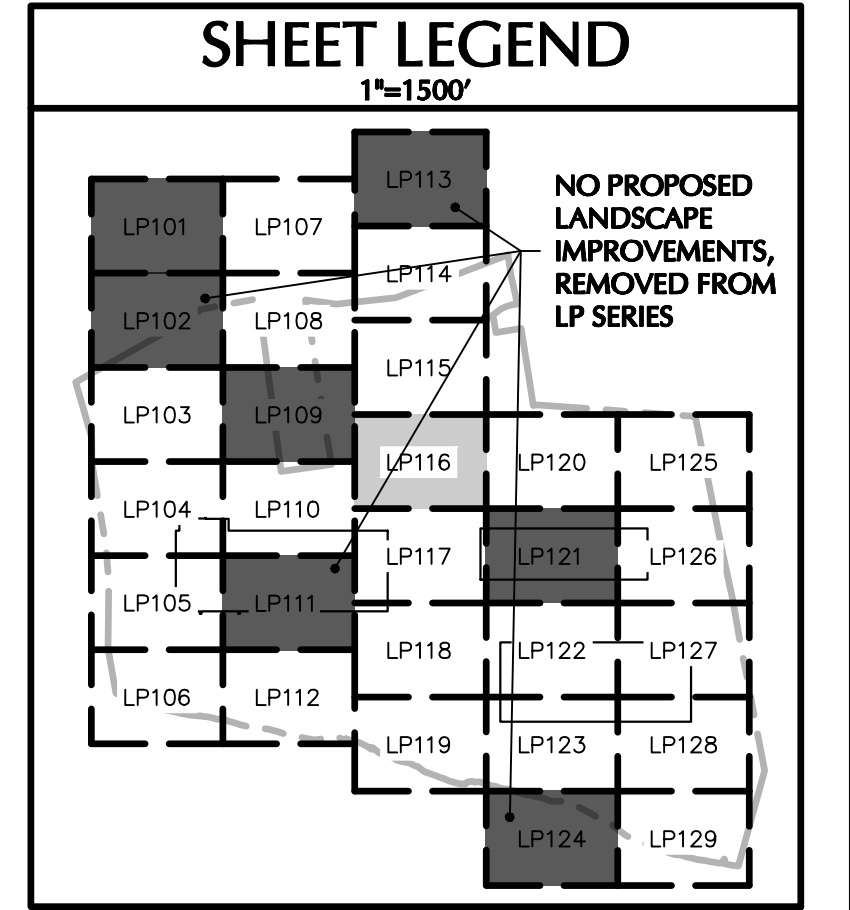
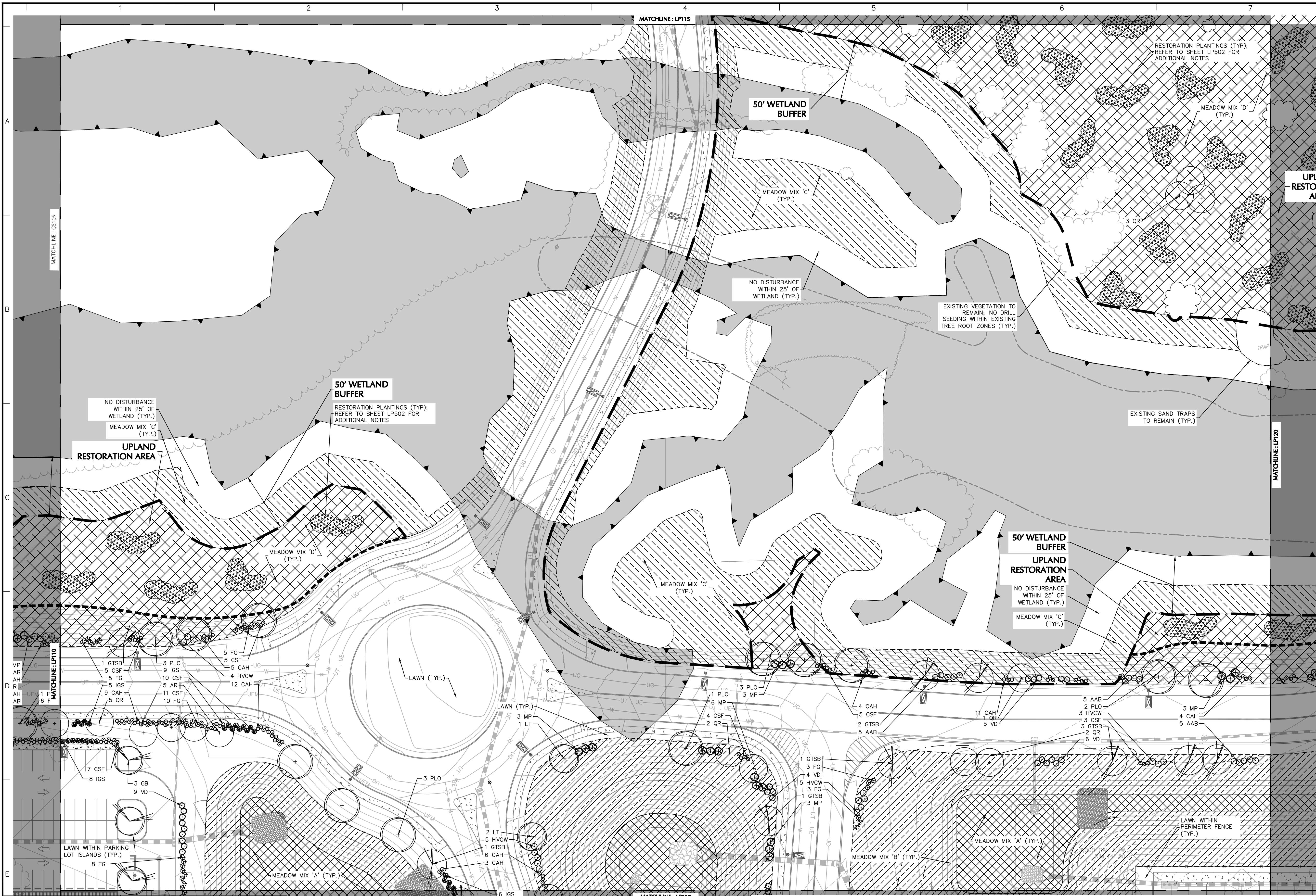
APPROVED BY THE HUDSON, NH PLANNING BOARD
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09/14/20	AOT COMMENT RESPONSE	3

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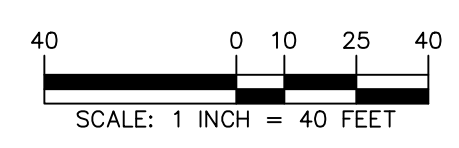
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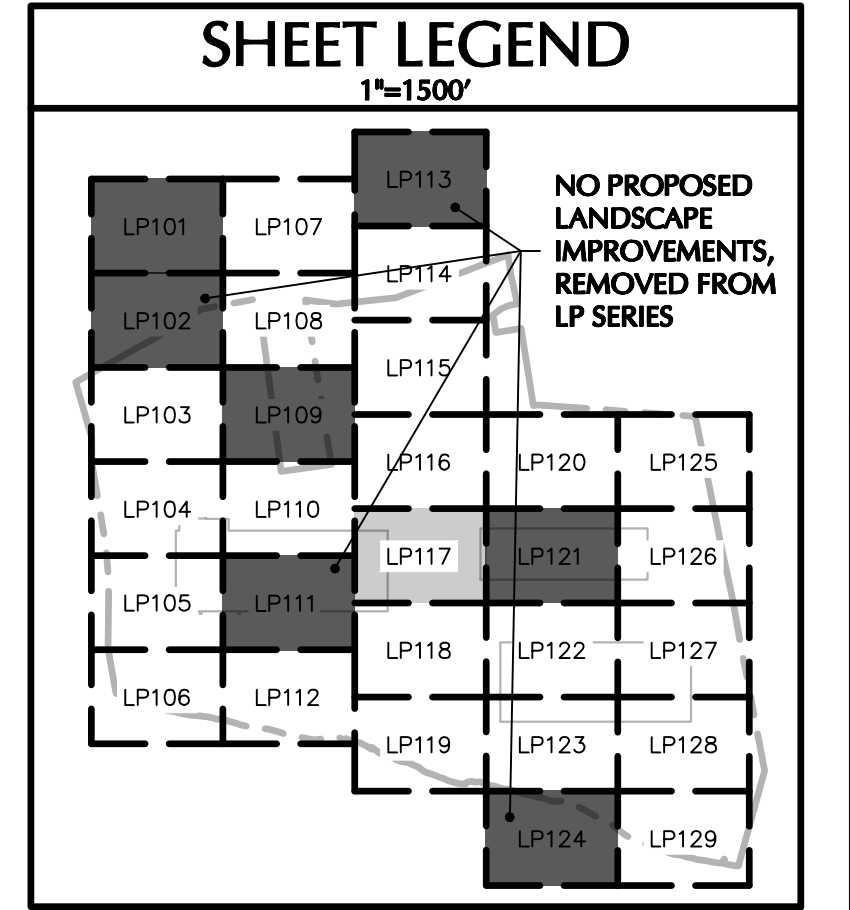
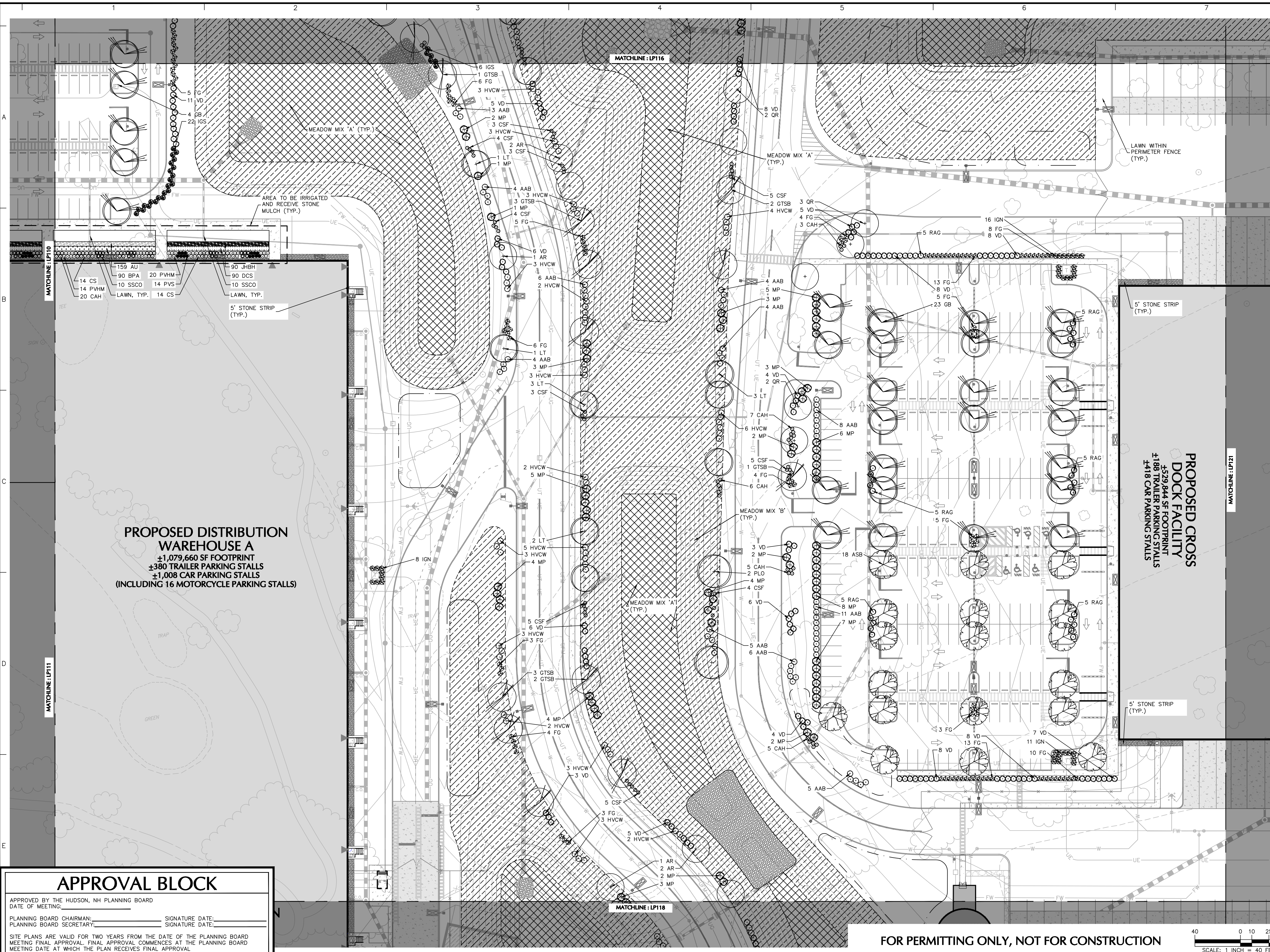
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON
 HILLSBOROUGH NEW HAMPSHIRE
 Drawing Title
LANDSCAPE PLANTING PLAN XVI

Project No.	151010101	Drawing No.	LP116	
Date	04-21-2020	Drawn By		KK
Checked By	MH			

APPROVAL BLOCK
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 PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____
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Revisions

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Drawing Title

LANDSCAPE PLANTING PLAN XVII

Project No.	151010101	Drawing No.	LP117
Date	04-21-2020	Drawn By	KK
Checked By	MH		

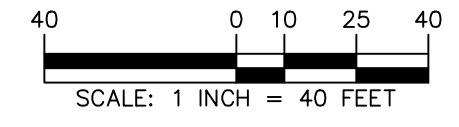
APPROVAL BLOCK

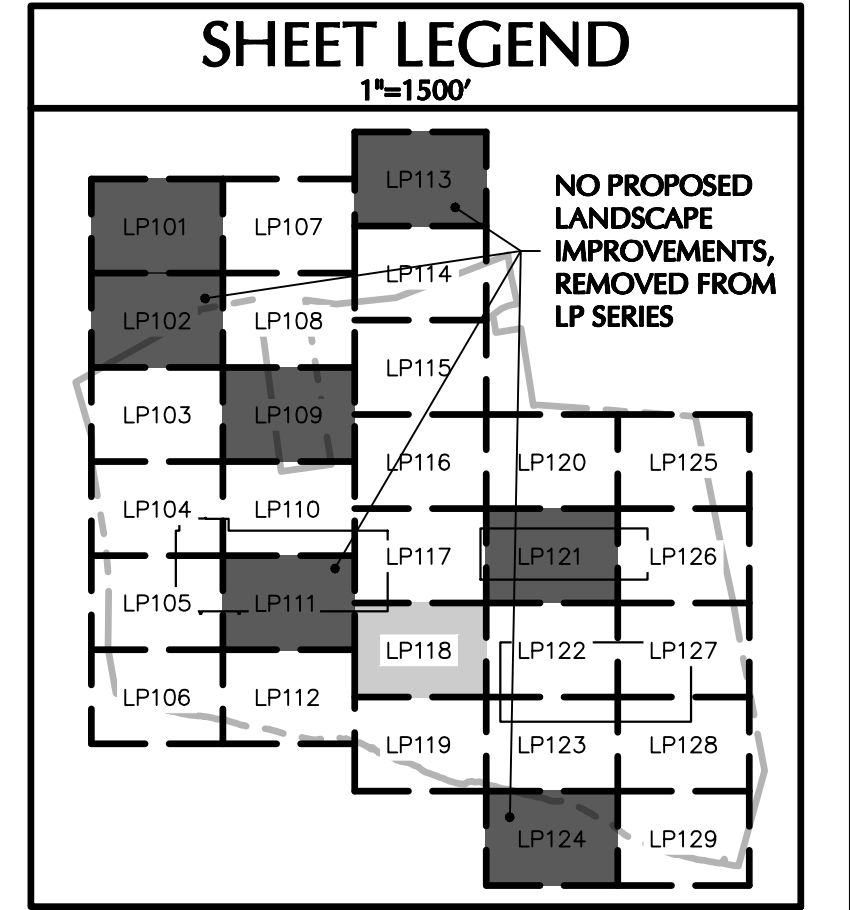
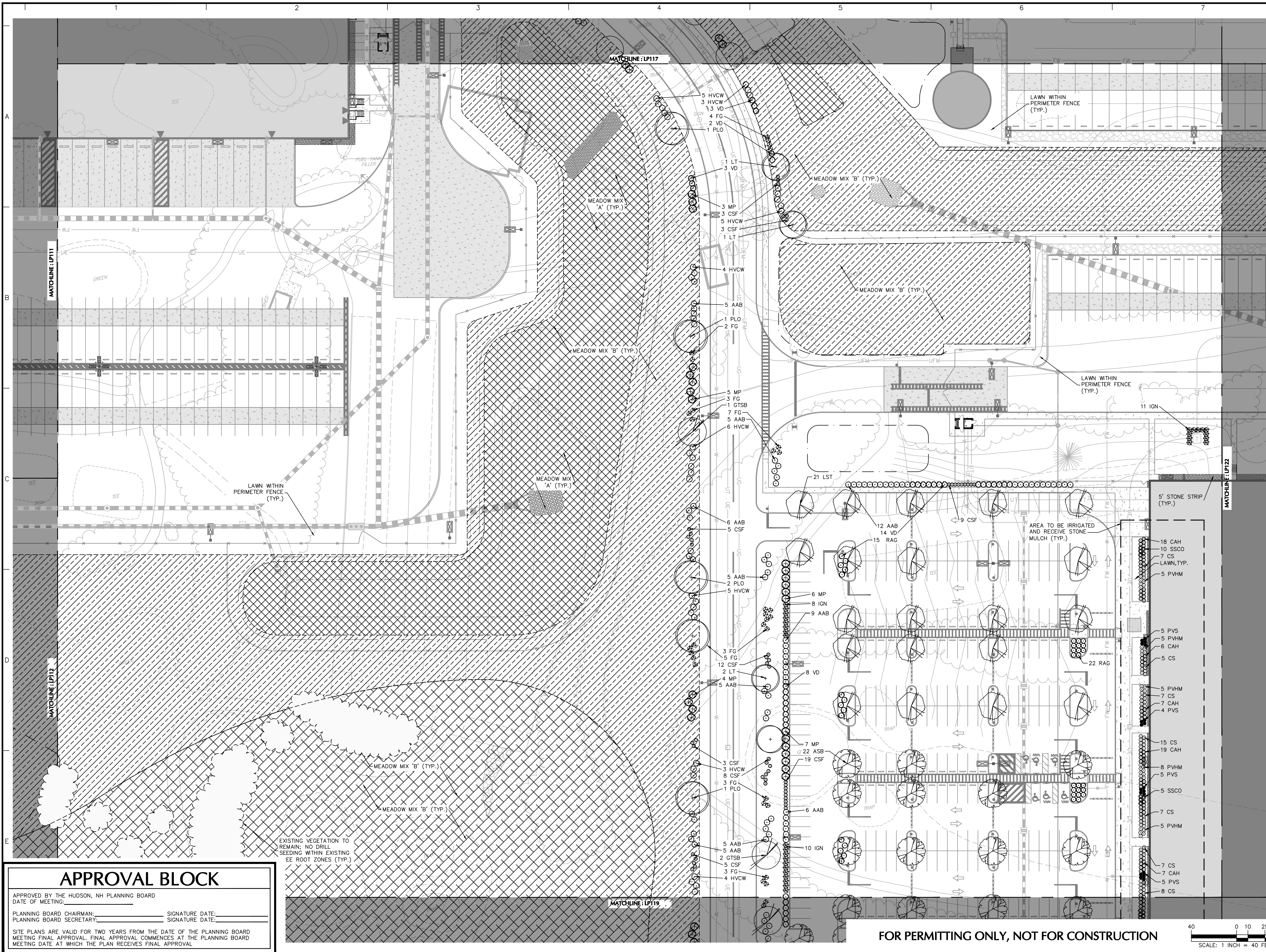
APPROVED BY THE HUDSON, NH PLANNING BOARD
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12/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	5
11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
09/14/20	AOT COMMENT RESPONSE	3

MICHAEL SZURA
 LICENSED LANDSCAPE ARCHITECT
 STATE LIC. NO. 152

LANGAN
 Langan Engineering and Environmental Services, Inc.
 888 Boylston Street, Ste 510
 Boston, MA 02199
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Project

HUDSON LOGISTICS CENTER

MAP No. 239, LOT No. 1
HUDSON
HILLSBOROUGH NEW HAMPSHIRE

Drawing Title

LANDSCAPE PLANTING PLAN XXVIII

Project No.	151010101	Drawing No.	LP118	
Date	04-21-2020	Drawn By		KK
Checked By	MH			

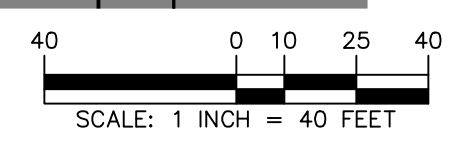
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APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

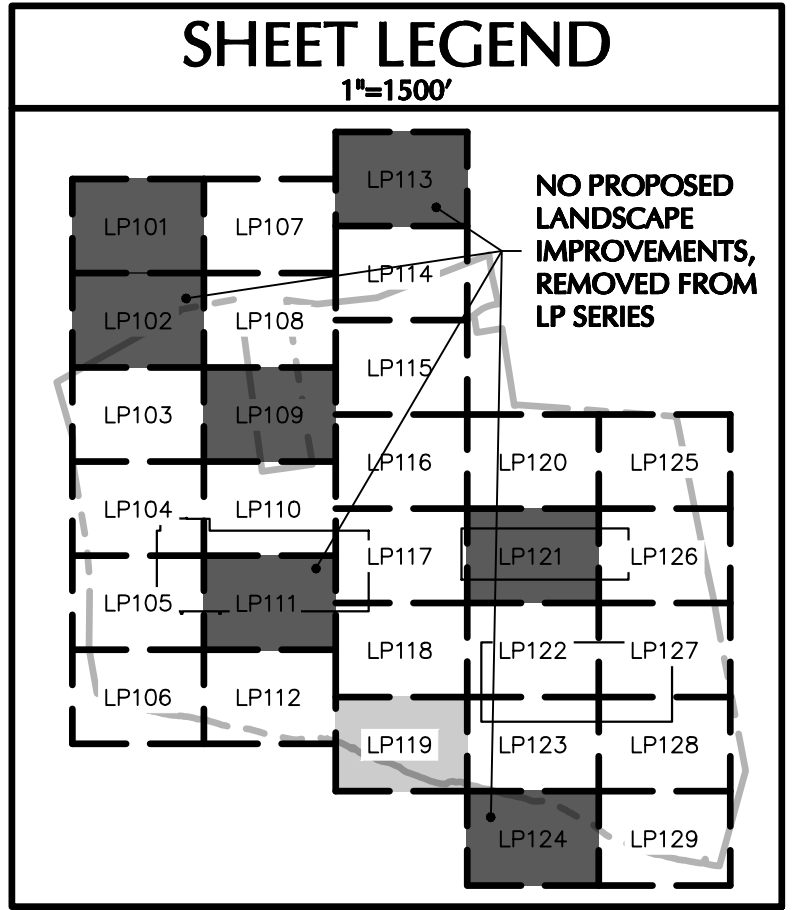
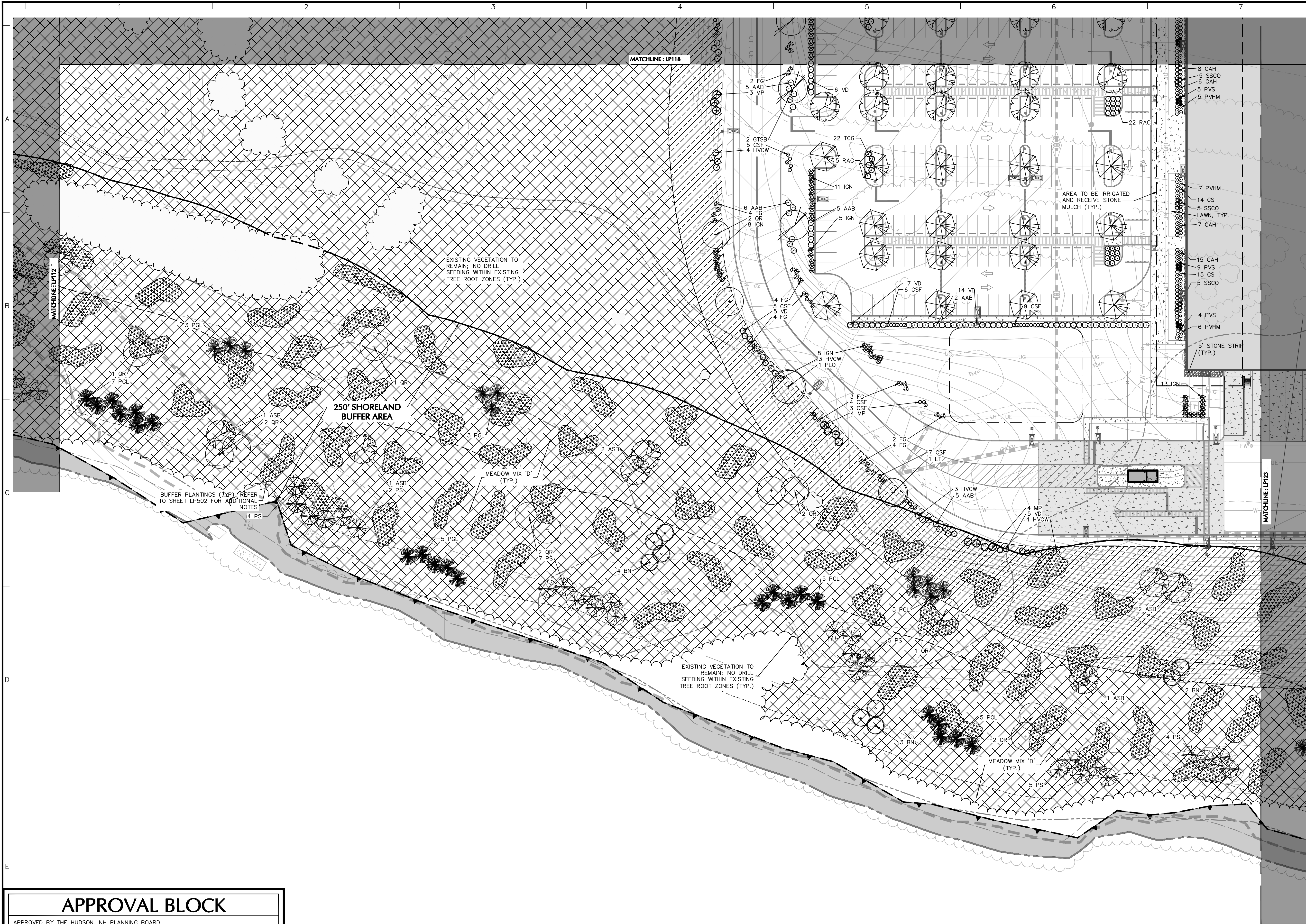
PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
 PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF THE PLANNING BOARD MEETING. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

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Project No. 151010101



Date	Description	No.
12/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	5
11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
09/14/20	AOT COMMENT RESPONSE	3

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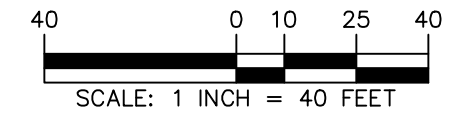
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON
 HILLSBOROUGH NEW HAMPSHIRE
 Drawing Title
LANDSCAPE PLANTING PLAN XIX

Project No.	151010101	Drawing No.	LP119	
Date	04-21-2020	Drawn By		KK
Checked By	MH			

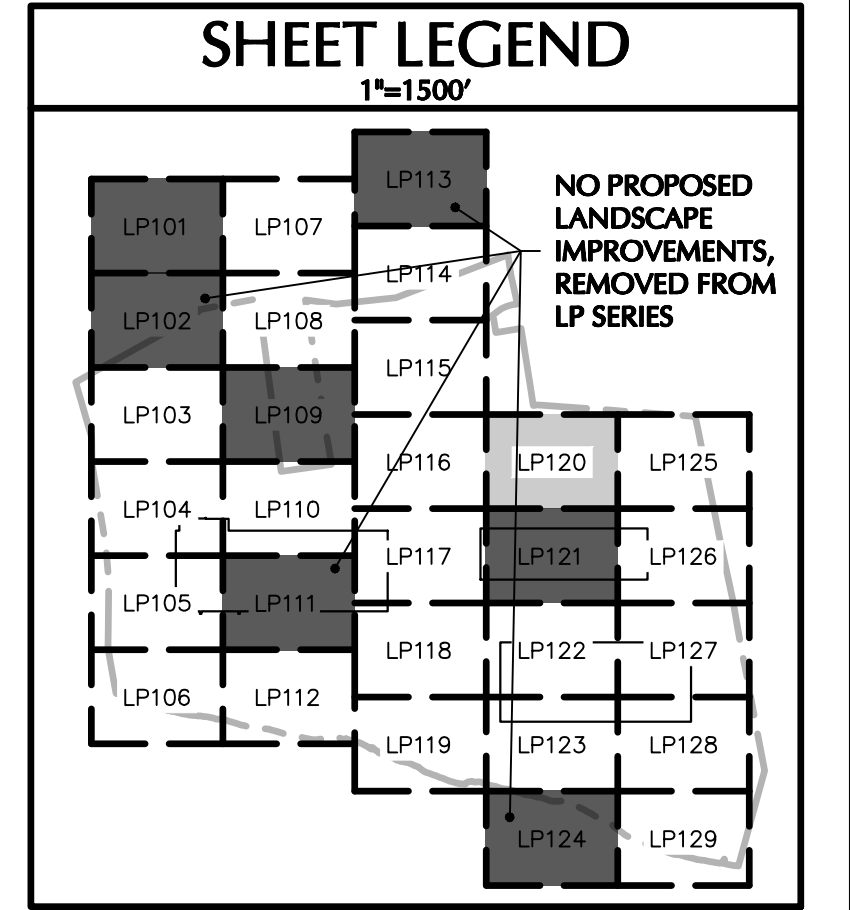
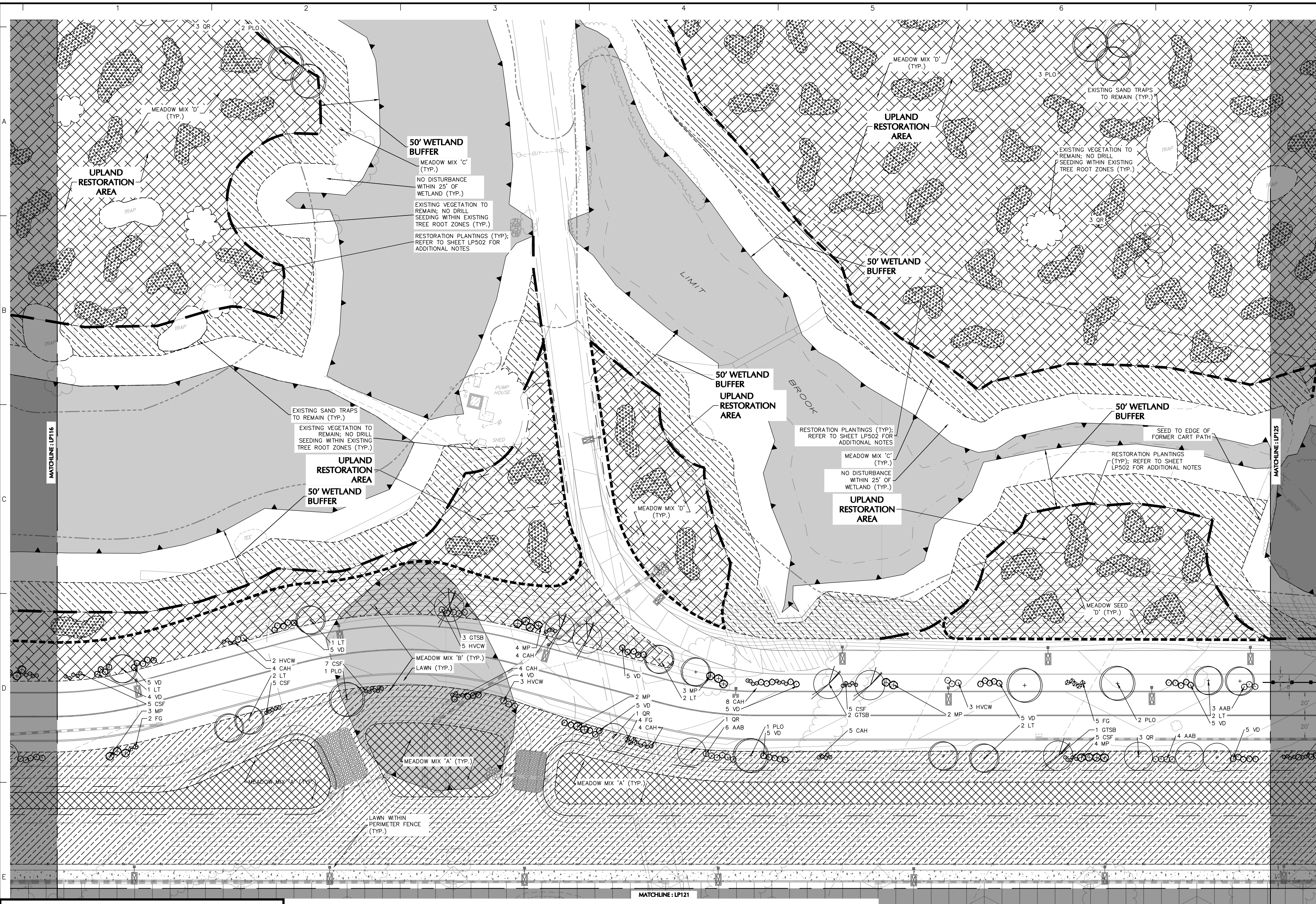
APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
 PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____
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Project No. 151010101



Date	Description	No.
12/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	5
11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
09/14/20	AOT COMMENT RESPONSE	3

Revisions

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Project

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MAP No. 239, LOT No. 1
HUDSON
HILLSBOROUGH NEW HAMPSHIRE

Drawing Title

LANDSCAPE PLANTING PLAN XX

Project No. 151010101	Drawing No. LP120
Date 04-21-2020	Drawn By KK
Checked By MH	

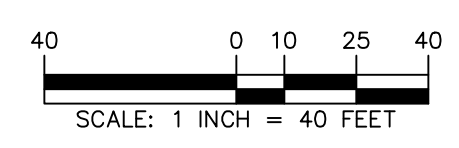
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APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

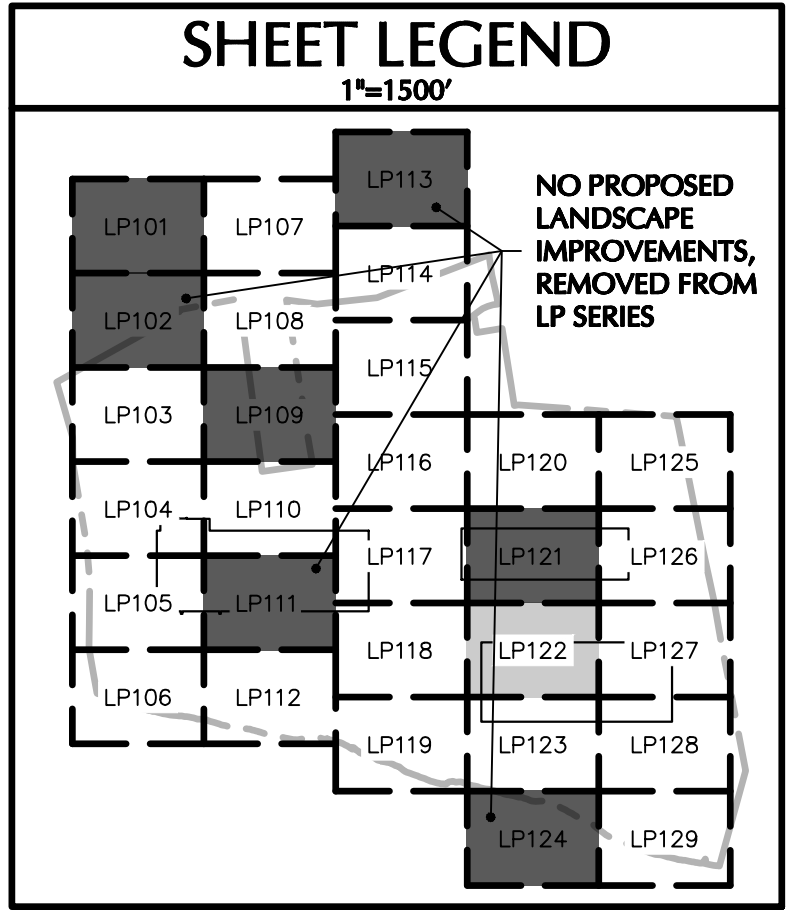
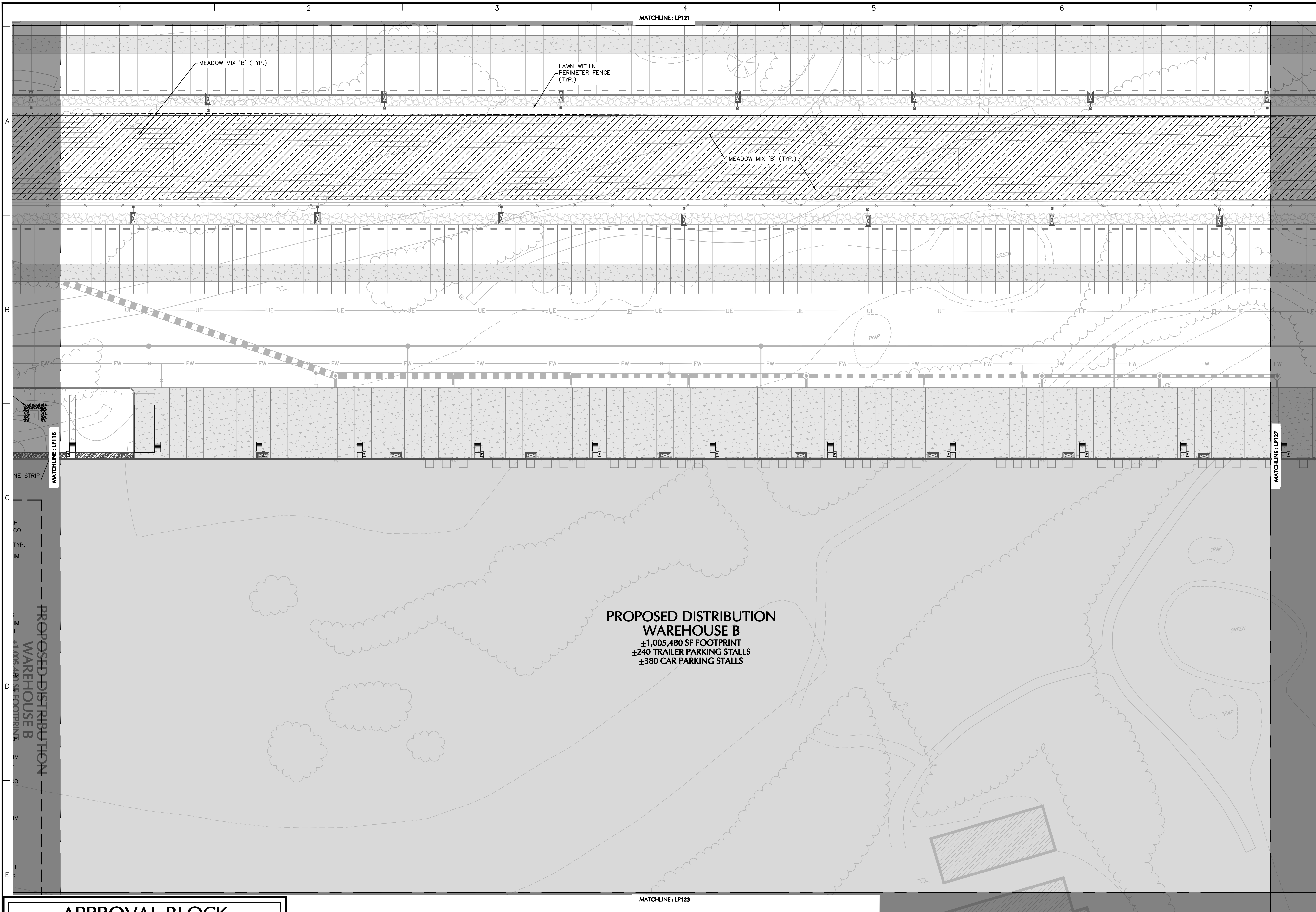
PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____

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Project No. 151010101



Date	Description	No.
12/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	5
11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
09/14/20	AOT COMMENT RESPONSE	3

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Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
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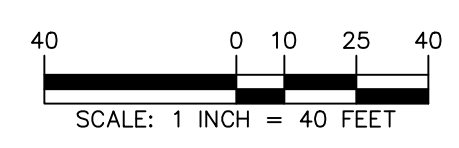
LANDSCAPE PLANTING PLAN XXII

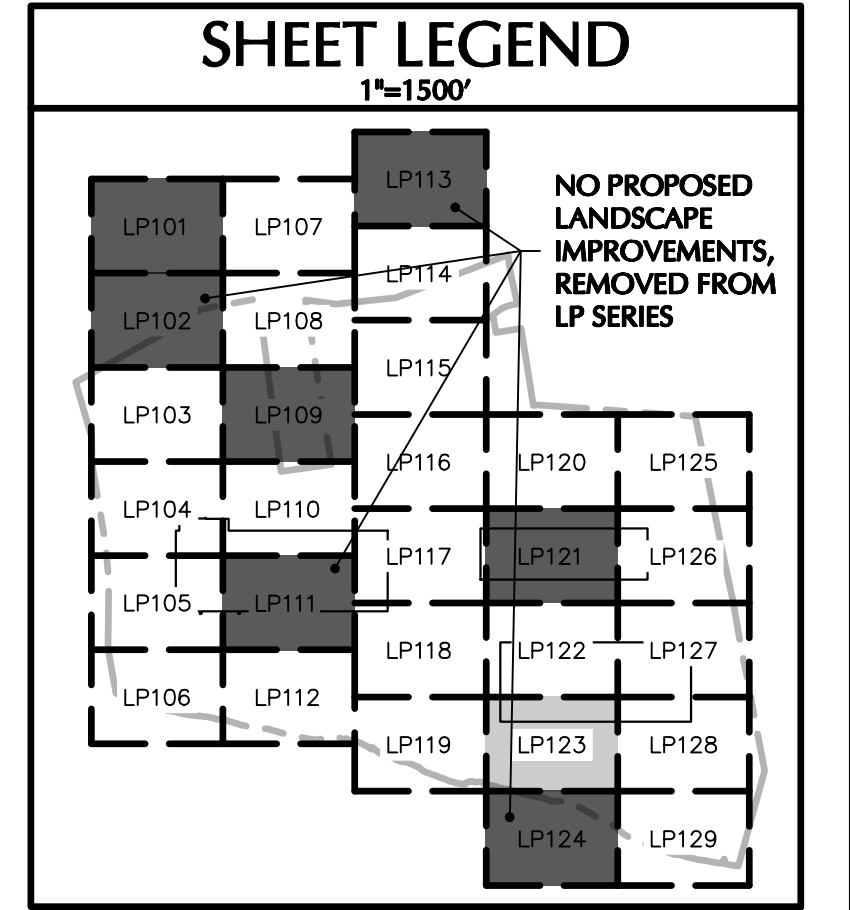
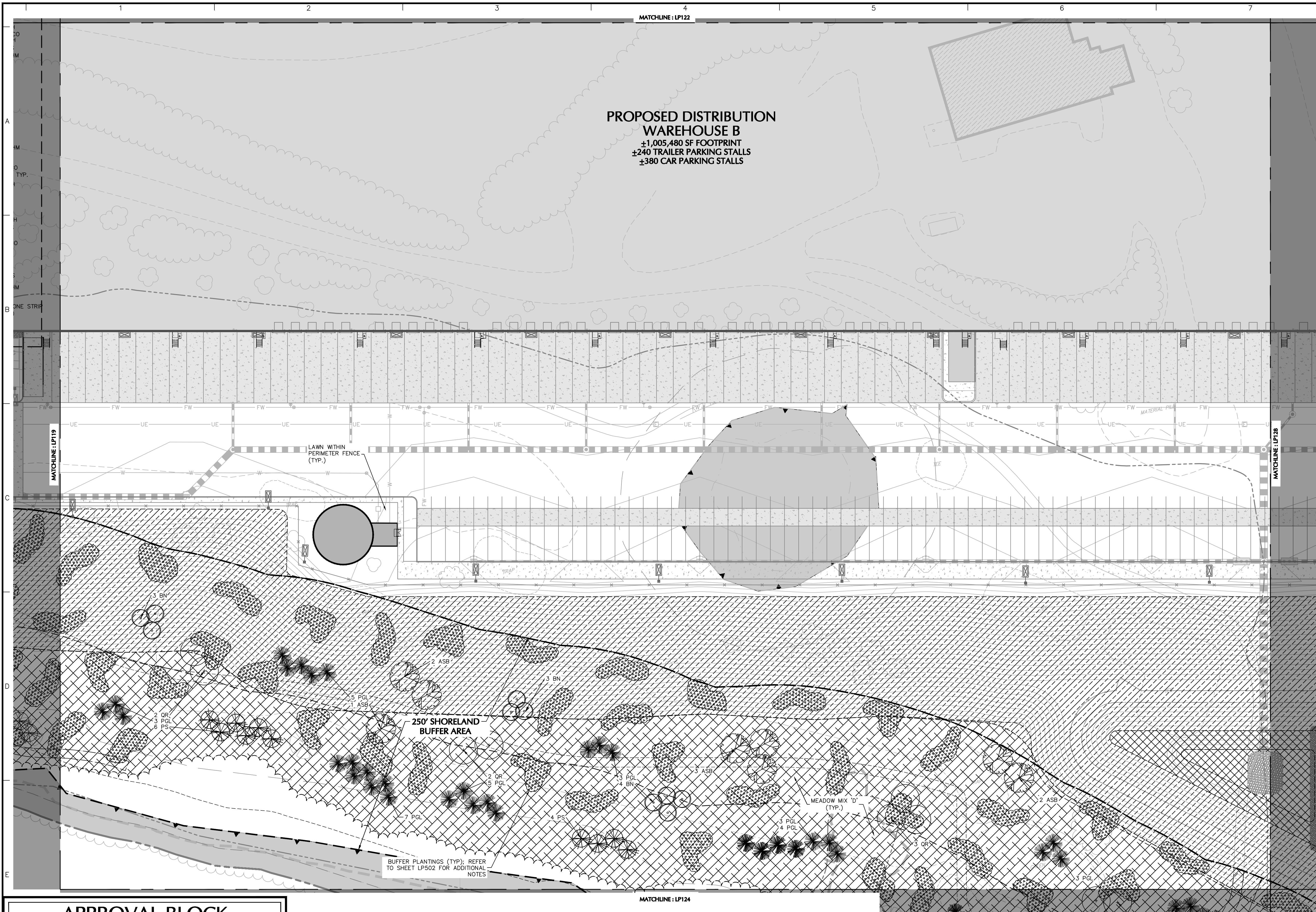
Project No. 151010101	Drawing No. LP122
Date 04-21-2020	
Drawn By KK	
Checked By MH	

APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
 PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____
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Date	Description	No.
12/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	5
11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
09/14/20	AOT COMMENT RESPONSE	3

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Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON
 HILLSBOROUGH NEW HAMPSHIRE

Drawing Title
LANDSCAPE PLANTING PLAN XXIII

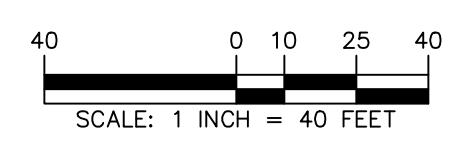
APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
 PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____

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Project No. 151010101



SHEET LEGEND
1"=1500'

LP101	LP107	LP113	NO PROPOSED LANDSCAPE IMPROVEMENTS, REMOVED FROM LP SERIES
LP102	LP108	LP114	
LP103	LP109	LP115	
LP104	LP110	LP116	
LP105	LP111	LP117	
LP106	LP112	LP118	
		LP119	
		LP120	
		LP121	
		LP122	
		LP123	
		LP124	
		LP125	
		LP126	
		LP127	
		LP128	
		LP129	

Date	Description	No.
12/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	5
11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
09/14/20	AOT COMMENT RESPONSE	3



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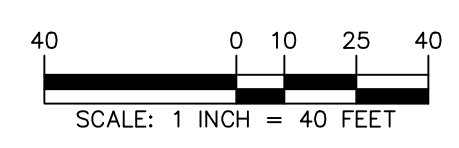
Project
HUDSON LOGISTICS CENTER
MAP No. 239, LOT No. 1
HUDSON
HILLSBOROUGH NEW HAMPSHIRE

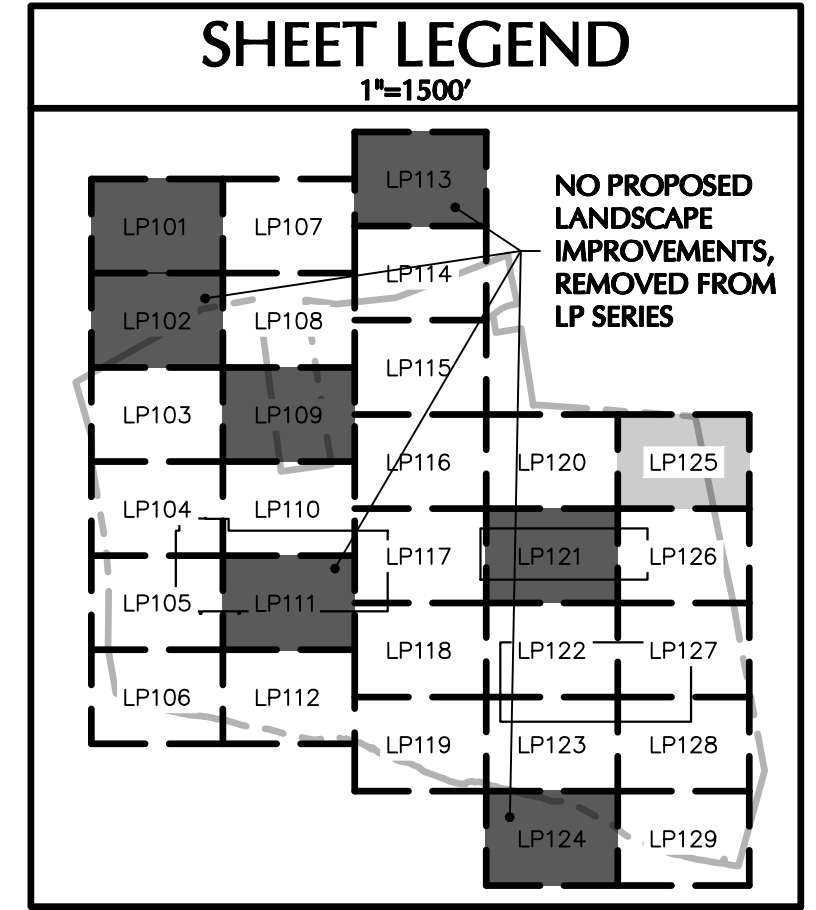
Drawing Title
LANDSCAPE PLANTING PLAN XXIV

Project No. 151010101	Drawing No. LP124
Date 04-21-2020	
Drawn By KK	
Checked By MH	

APPROVAL BLOCK
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF THE PLANNING BOARD MEETING. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

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Date	Description	No.
12/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	5
09/14/20	AOT COMMENT RESPONSE	3

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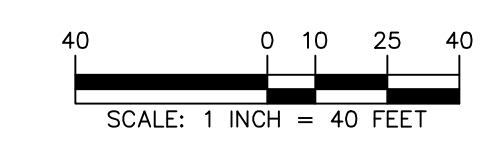
Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON
 HILLSBOROUGH NEW HAMPSHIRE

Drawing Title
LANDSCAPE PLANTING PLAN XXV

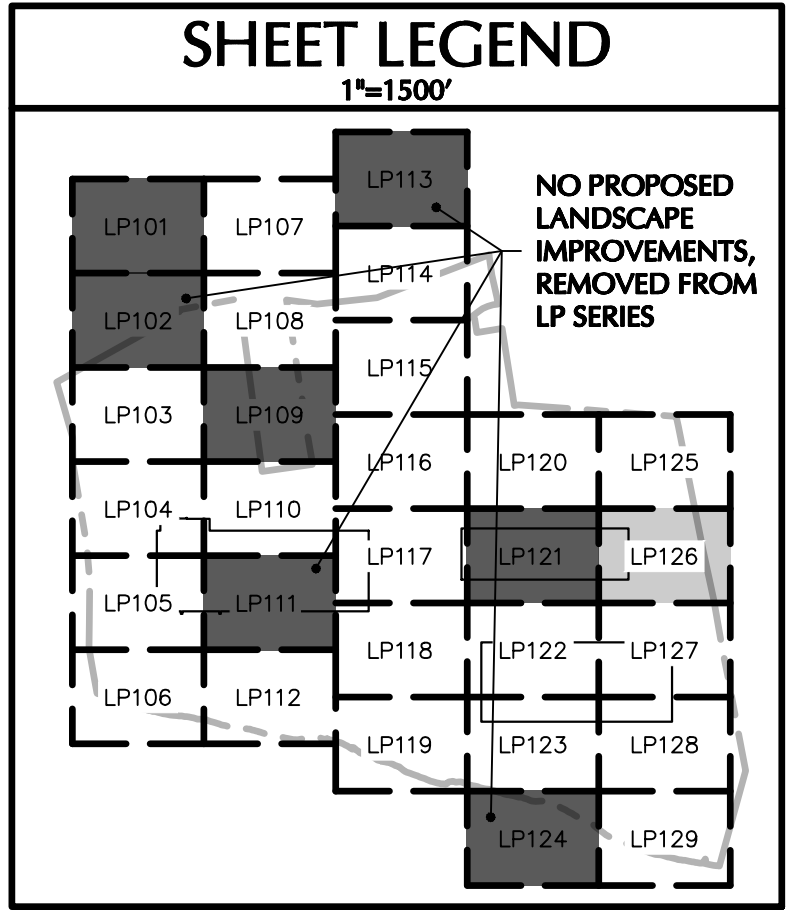
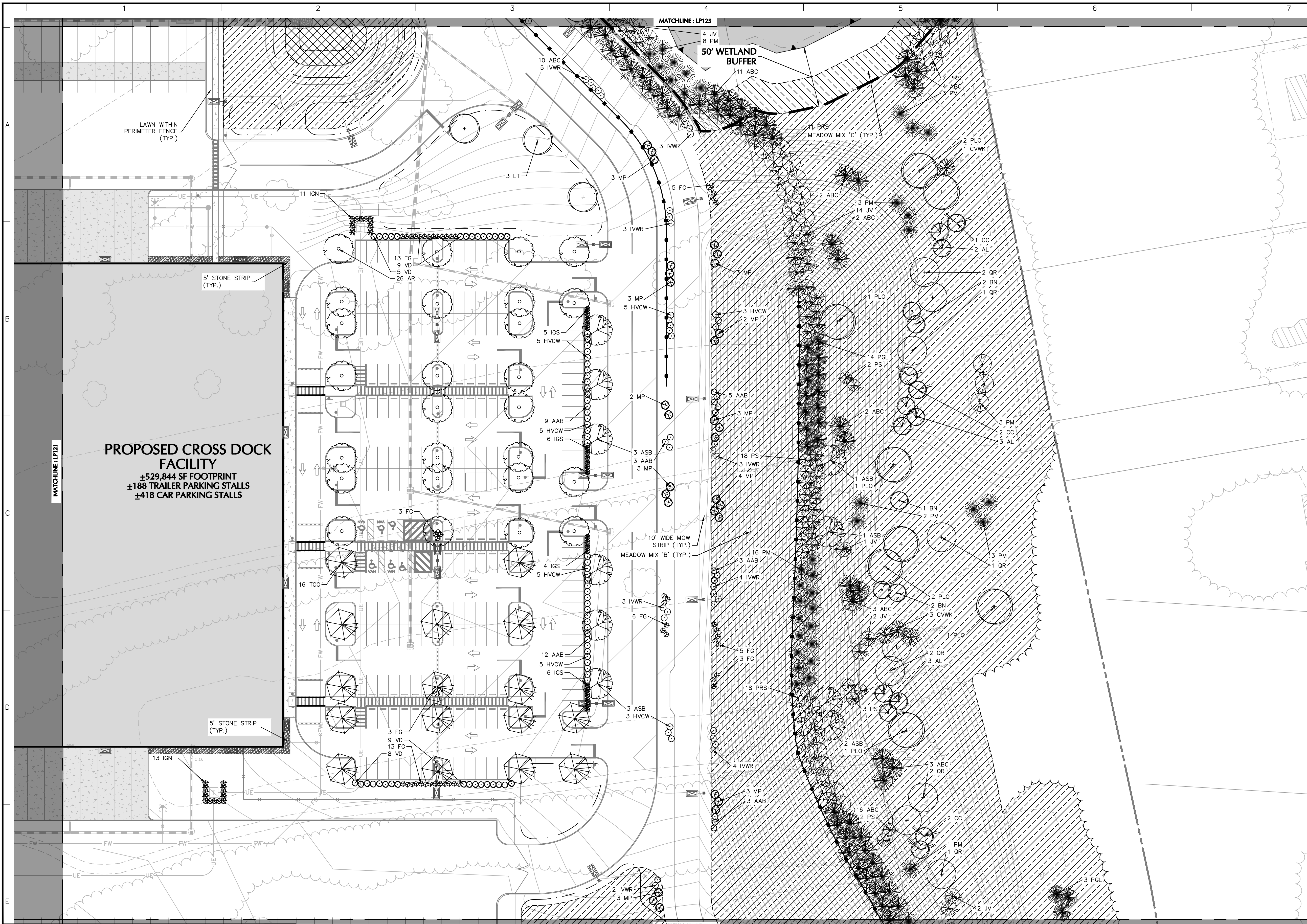
Project No.	151010101	Drawing No.	LP125	
Date	04-21-2020	Drawn By		KK
Checked By	MH			

APPROVAL BLOCK
 APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
 PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____
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PROPOSED CROSS DOCK FACILITY
±529,844 SF FOOTPRINT
±188 TRAILER PARKING STALLS
±418 CAR PARKING STALLS

Date	Description	No.
12/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	5
11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
09/14/20	AOT COMMENT RESPONSE	3

Revisions

MICHAEL SZURA
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STATE LIC. NO. 152

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Project

HUDSON LOGISTICS CENTER

MAP No. 239, LOT No. 1
HUDSON
HILLSBOROUGH NEW HAMPSHIRE

Drawing Title

LANDSCAPE PLANTING PLAN XXVI

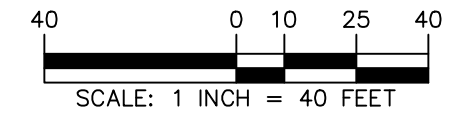
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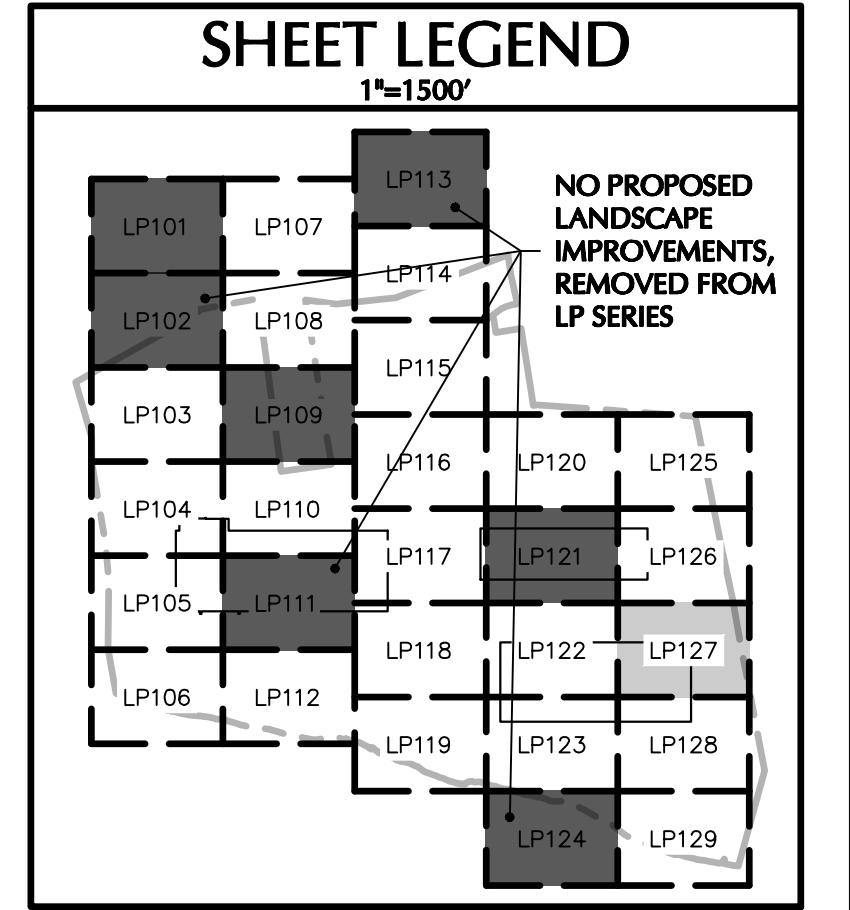
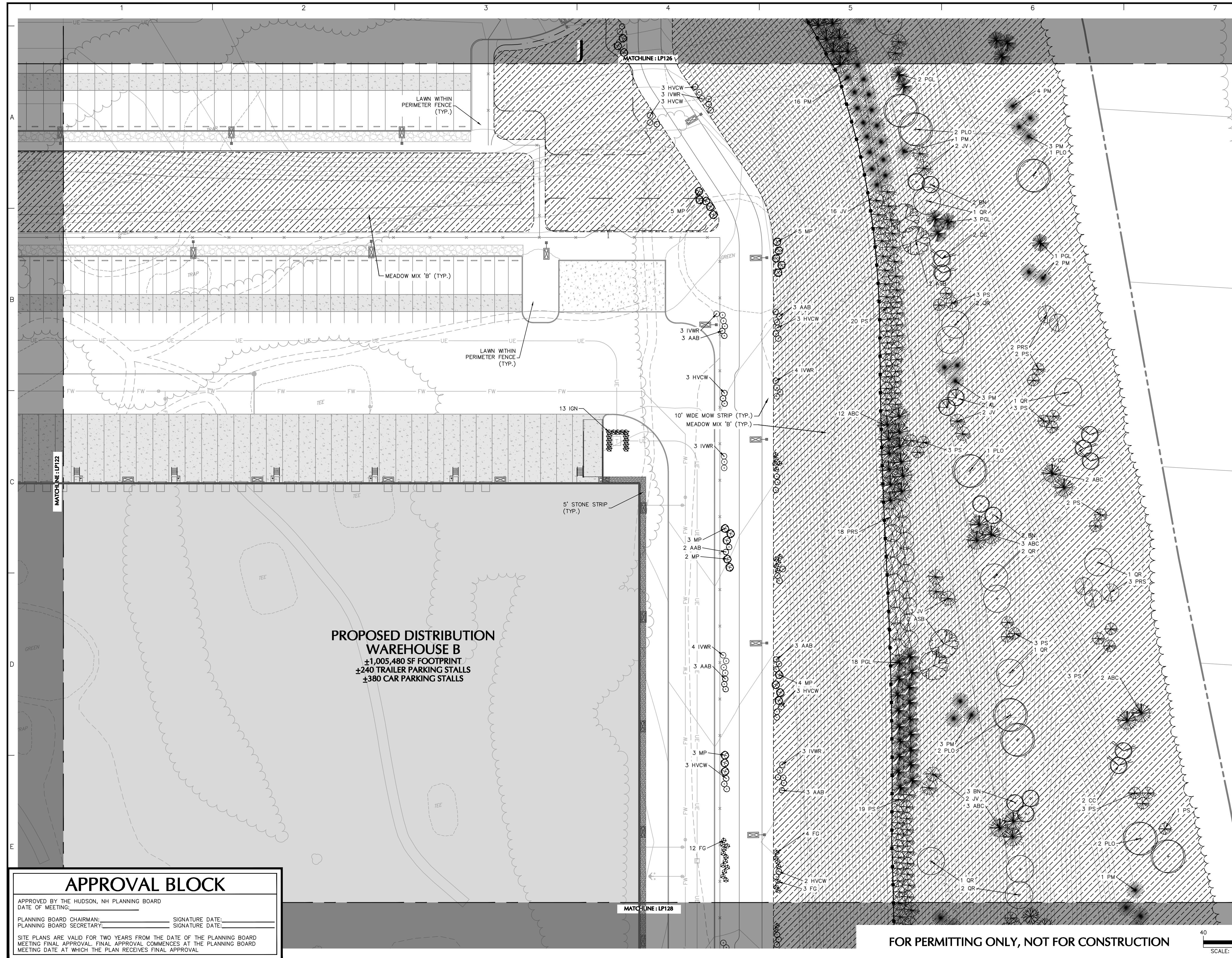
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____

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Date	Description	No.
12/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	5
11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
09/14/20	AOT COMMENT RESPONSE	3

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Project

HUDSON LOGISTICS CENTER

MAP No. 239, LOT No. 1
HUDSON NEW HAMPSHIRE

Drawing Title

LANDSCAPE PLANTING PLAN XXVII

Project No.	151010101	Drawing No.	LP127	
Date	04-21-2020	Drawn By		KK
Checked By	MH			

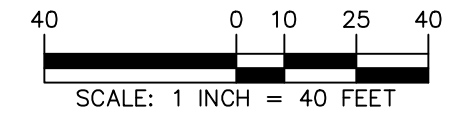
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APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

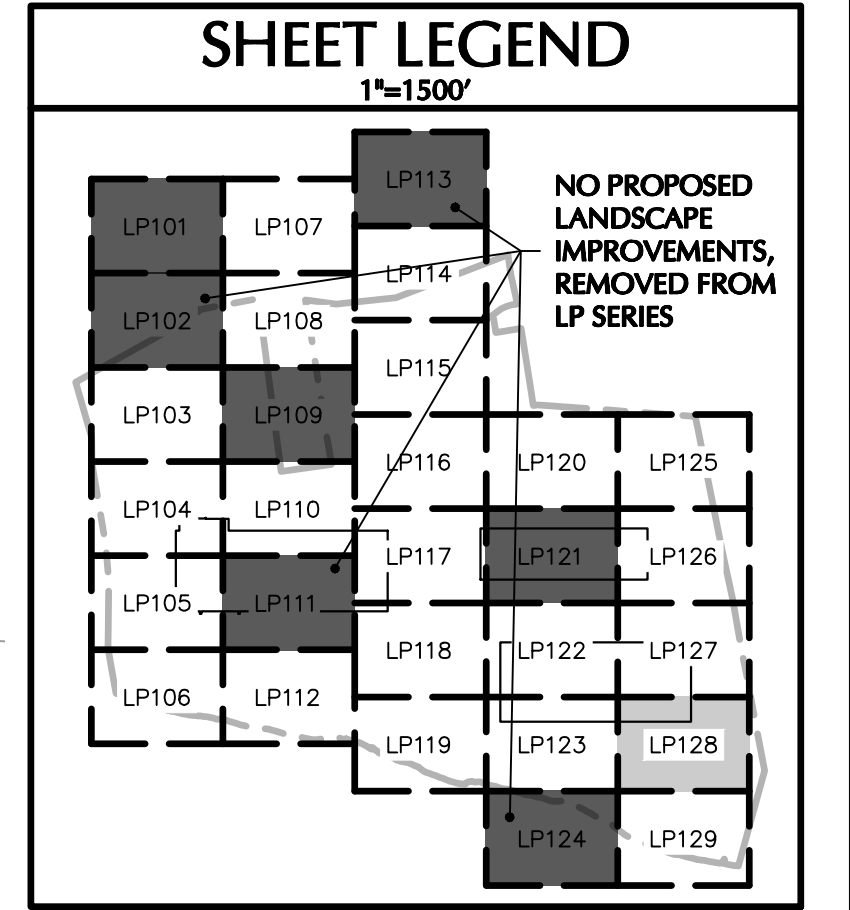
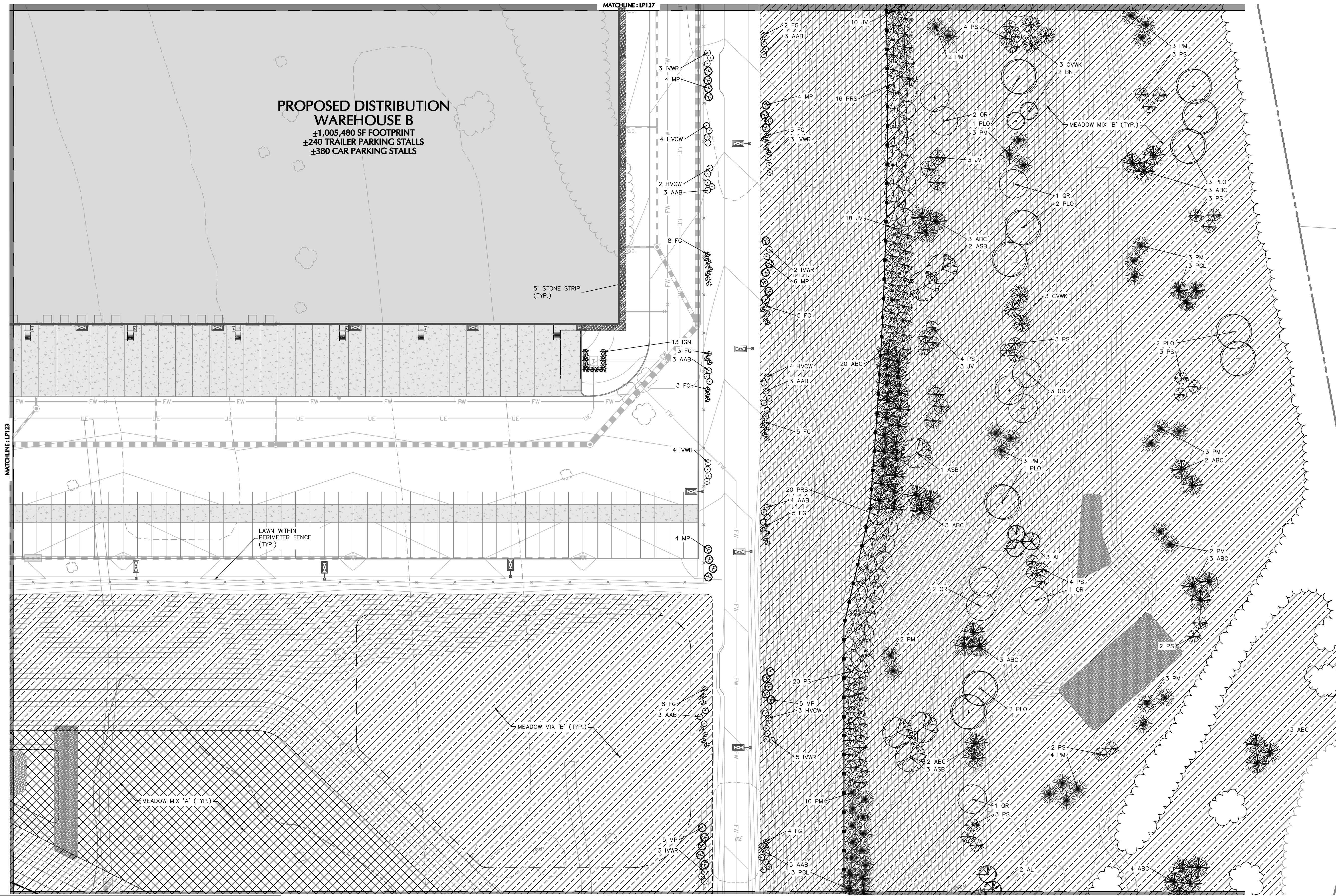
PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
 PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____

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PROPOSED DISTRIBUTION WAREHOUSE B
 ±1,005,480 SF FOOTPRINT
 ±240 TRAILER PARKING STALLS
 ±380 CAR PARKING STALLS



Date	Description	No.
12/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	5
11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
09/14/20	AOT COMMENT RESPONSE	3

Revisions

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Project
HUDSON LOGISTICS CENTER
 MAP No. 239, LOT No. 1
 HUDSON NEW HAMPSHIRE

Drawing Title
LANDSCAPE PLANTING PLAN XXVIII

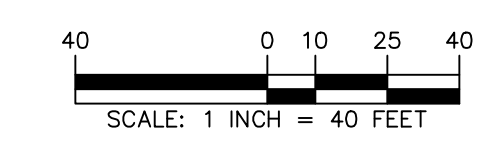
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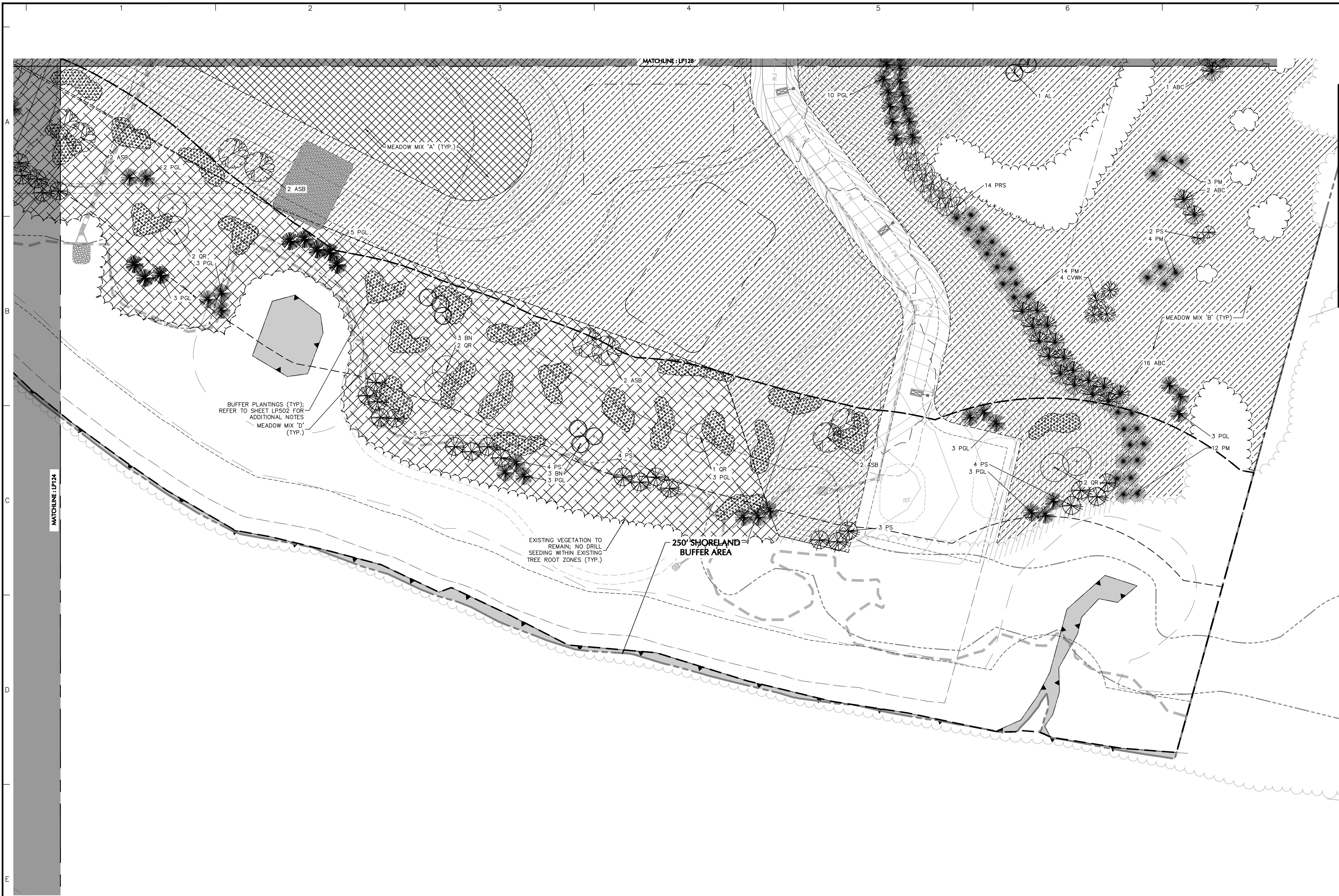
APPROVED BY THE HUDSON, NH PLANNING BOARD
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SHEET LEGEND
1"=1500'

LP101	LP107	LP113	NO PROPOSED LANDSCAPE IMPROVEMENTS, REMOVED FROM LP SERIES
LP102	LP108	LP114	
LP103	LP109	LP115	
LP104	LP110	LP116	
LP105	LP111	LP117	
LP106	LP112	LP118	
		LP119	
		LP120	
		LP121	
		LP122	
		LP123	
		LP124	
		LP125	
		LP126	
		LP127	
		LP128	
		LP129	

Date	Description	No.
12/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	5
09/14/20	AOT COMMENT RESPONSE	3

Revisions

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MAP No. 239, LOT No. 1
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Drawing Title

LANDSCAPE PLANTING PLAN XXIX

Project No.	151010101	Drawing No.	LP129	
Date	04-21-2020	Drawn By		KK
Checked By	MH			

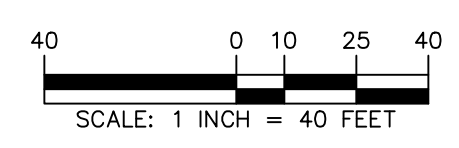
APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____
PLANNING BOARD SECRETARY: _____ SIGNATURE DATE: _____

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Project No. 151010101

GENERAL LANDSCAPE PLANTING NOTES

- NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES" BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.
- ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL MULCH THAT WILL PREVENT EROSION AND SOIL LOSS.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
- STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN. PLANT MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS, AND FREE FROM DISEASES AND INSECT INFESTATION.
- NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMB AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING. PLANT MATERIAL OF THE SAME SPECIES AND SPECIFIED AS THE SAME SIZE SHOULD BE SIMILAR IN SHAPE, COLOR AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO THE TYPICAL OR SPECIFIED HABIT OF THAT SPECIES.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES PRIOR TO THE START OF EXCAVATION ACTIVITIES. NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
- THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND OWNER TOGETHER WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.
- LANDSCAPE CONTRACTOR TO STATE OUT PLANTING LOCATIONS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER BEFORE PLANTING WORK BEGINS. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
- THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE. BEFORE PLANTING, FOR COMPLIANCE WITH GENUS, SPECIES, VARIETY, SIZE AND QUALITY. THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WORK. THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- DELIVERY, STORAGE AND HANDLING
 - PACKAGED MATERIALS. PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DETERIORATION DURING DELIVERY AND WHILE STORED AT SITE.
 - TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUG FOR THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED. DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING TRANSIT. DO NOT DROP BALLED AND BURLAPPED STOCK DURING DELIVERY OR HANDLING.
 - ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOTBALL WRAPPING AND BINDING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED FROM THE TOP OF THE BALL AT THE TIME OF PLANTING. IF THE PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, THE WIRE BASKET SHALL BE CUT AND FOLDED DOWN 8 INCHES INTO THE PLANTING HOLE. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO LOCATIONS.
 - THE CONTRACTOR SHALL HAVE TREES AND SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, SET TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOSTLY BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
- ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSIGHTLY DEBRIS. ALL FINE GRADES AND AREAS SHOULD BE HAND RAKED SMOOTH ELIMINATING ANY CLUMPS AND AND UNEVEN SURFACES PRIOR TO PLANTING OR MULCHING.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW INSTALLATION AND MAINTENANCE PROCEDURES.
- NEW PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF TWO YEARS FOLLOWING ACCEPTANCE BY THE OWNER. PLANT MATERIAL FOUND TO BE UNHEALTHY DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSUAL MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS CAUSED BY DELIVERY AND INSTALLATION OPERATIONS.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR AS REQUIRED BY SITE AND WEATHER CONDITIONS TO MAINTAIN VIGOROUS AND HEALTHY PLANT GROWTH.
- THE BACKFILL MIXTURE AND SOIL MIXES TO BE INSTALLED PER THE SPECIFICATIONS.
- AFTER PLANT IS PLACED IN TREE PIT LOCATION, ALL TWINE HOLDING ROOT BALL TOGETHER SHOULD BE COMPLETELY REMOVED AND THE BURLAP SHOULD BE PULLED DOWN SO 1/3 OF THE ROOT BALL IS EXPOSED. SYNTHETIC BURLAP SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION.
- MULCH SHOULD NOT BE PILED UP AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR.
- ALL FENCE INSTALLATION SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF ANY LANDSCAPE PLANTING, LAWN AND GRASSES, OR IRRIGATION WORK.
- FOR ANY DISCREPANCIES BETWEEN THE PLANT SCHEDULE AND PLANTING PLAN THE GRAPHIC QUANTITY SHOWN SHALL GOVERN.
- PLANT MATERIALS SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING HAS BEEN COMPLETED.
- ALL PLANT INSTALLATIONS SHALL BE COMPLETED EITHER BETWEEN APRIL 1 - JUNE 15 OR AUGUST 15 - NOVEMBER 1, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. SEE LAWN SEEDING DATES IN SEEDING NOTES.

LANDSCAPE MAINTENANCE NOTES

- MAINTENANCE OPERATIONS BEFORE APPROVAL
 - PLANT CARE SHALL BEGAIN IMMEDIATELY AFTER EACH PLANT IS SATISFACTORILY INSTALLED AND SHALL CONTINUE THROUGHOUT THE LIFE OF THE CONTRACT UNTIL FINAL ACCEPTANCE OF THE PROJECT.
 - CARE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYS AS ORIGINALLY INSTALLED, WATERING WHEN NEEDED OR DIRECTED, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
 - CONTRACTOR SHALL REMOVE AND REPLACE ALL DEAD, DEFECTIVE AND/OR REJECTED PLANTS AS REQUIRED BEFORE FINAL ACCEPTANCE.
- MAINTENANCE DURING CONSTRUCTION
 - MAINTENANCE SHALL BEGAIN IMMEDIATELY AFTER PLANTING. PLANTS SHALL BE WATERED, MULCHED, WEDED, PRUNED, SPRAYED, FERTILIZED, CULTIVATED, AND OTHERWISE MAINTAINED AND PROTECTED UNTIL PROVISIONAL ACCEPTANCE. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE AND POSITION, PLANTING SAUCER RESTORED AND DEAD MATERIAL REMOVED. STAKES AND WIRES SHALL BE TIGHTENED AND REPAIRED. DEFECTIVE PLANTS SHALL BE CORRECTED AS SOON AS POSSIBLE AFTER IT BECOMES APPARENT AND WEATHER AND SEASON PERMIT.
 - IF A SUBSTANTIAL NUMBER OF PLANTS ARE SICKLY OR DEAD AT THE TIME OF INSPECTION, ACCEPTANCE SHALL NOT BE GRANTED AND THE CONTRACTOR'S RESPONSIBILITY FOR MAINTENANCE OF ALL PLANTS SHALL BE EXTENDED FROM THE TIME REPLACEMENTS ARE MADE OR EXISTING PLANTS ARE DEEMED ACCEPTABLE BY THE LANDSCAPE ARCHITECT.
 - ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE SPECIFIED ON THE PLANT LIST OR THAT WHICH WAS TO REMAIN OR BE RELOCATED; THEY SHALL BE FURNISHED AND PLANTED AS SPECIFIED. THE COST SHALL BE BORNE BY THE CONTRACTOR. REPLACEMENTS RESULTING FROM REPAIRS TO PLANTS OR TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
 - PLANTS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER INSPECTION AND PROVISIONAL ACCEPTANCE.
 - AT THE END OF THE ESTABLISHMENT PERIOD, INSPECTION SHALL BE MADE AGAIN. ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD OR UNSATISFACTORY TO THE LANDSCAPE ARCHITECT OR OWNER SHALL BE REMOVED FROM THE SITE AND REPLACED DURING THE NORMAL PLANTING SEASON.
- LAWN MAINTENANCE
 - BEGIN MAINTENANCE IMMEDIATELY AFTER EACH PORTION OF LAWN IS PLANTED AND CONTINUE FOR 8 WEEKS AFTER ALL LAWN PLANTING IS COMPLETED.
 - WATER TO KEEP SURFACE SOIL MOIST, REPAIR WASHED OUT AREAS BY FILLING WITH TOPSOIL, LIMING, FERTILIZING AND RE-SEEDING; MOW TO 2 1/2 - 3 INCHES AFTER GRASS REACHES 3 1/2 INCHES IN HEIGHT, AND MOW FREQUENTLY ENOUGH TO KEEP GRASS HEIGHT NOT EXCEEDING 3 1/2 INCHES; WEED BY LOCAL SPOT APPLICATION OF SELECTIVE HERBICIDE ONLY AFTER GRASS IS WELL-ESTABLISHED.

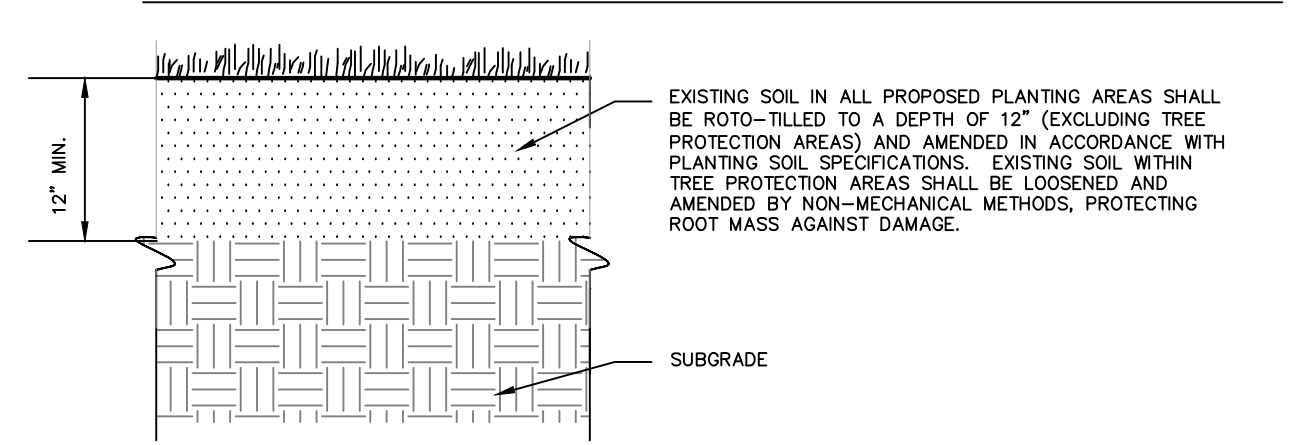
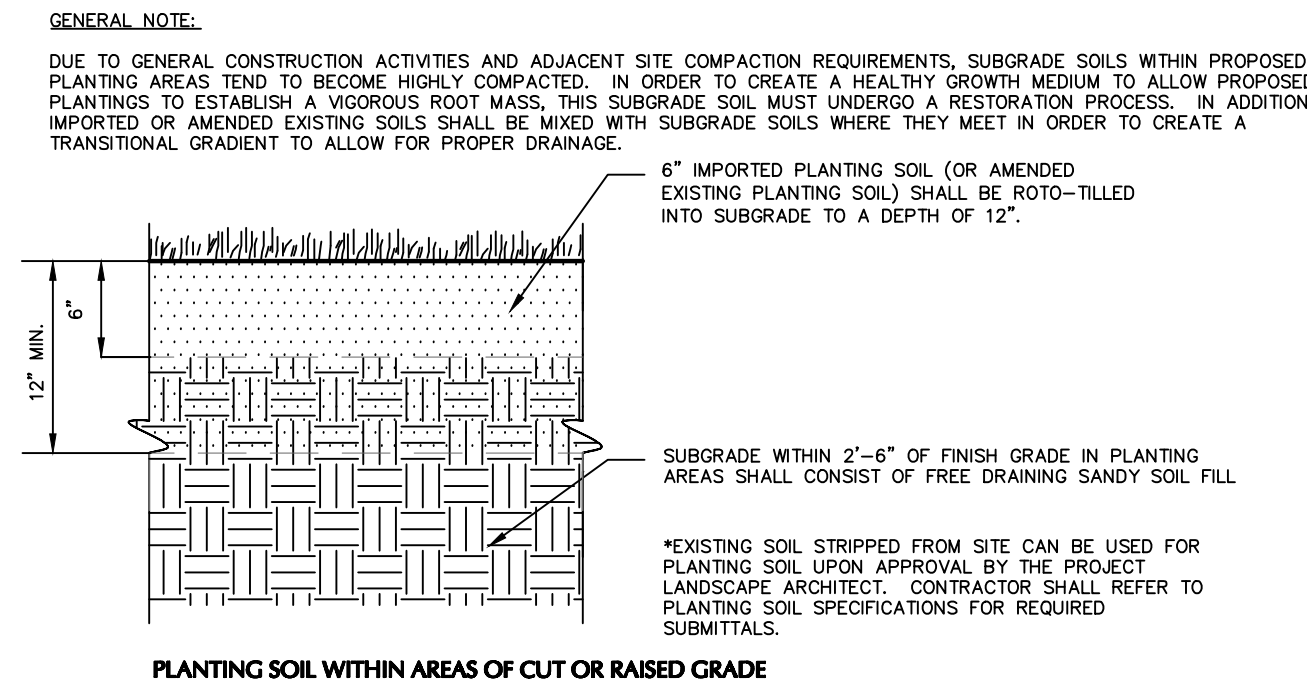
APPROVAL BLOCK	
APPROVED BY THE HUDSON, NH PLANNING BOARD	
DATE OF MEETING:	SIGNATURE DATE:
PLANNING BOARD CHAIRMAN:	SIGNATURE DATE:
PLANNING BOARD SECRETARY:	SIGNATURE DATE:
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF THE PLANNING BOARD MEETING. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.	

PLANTING SOIL SPECIFICATIONS

- PLANTING SOIL, ALTERNATELY MAY BE REFERRED TO AS TOPSOIL, SHOULD BE FRIABLE, FERTILE, WELL DRAINED, FREE OF DEBRIS, TRASH AND STONES OVER 1 1/2" DIA. IT SHOULD HAVE A HIGH ORGANIC CONTENT SUITABLE TO SUSTAIN HEALTHY PLANT GROWTH AND SHOULD LOOK AESTHETICALLY PLEASING HAVING NO NOXIOUS ODORS.
- PLANTING SOIL
 - REUSE SURFACE SOIL STOCKPILED ON SITE, VERIFYING COMPLIANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA IN THIS SPECIFICATION THROUGH TESTING. CLEAN SURFACE SOIL OF ALL ROOTS, PLANTS, SOD, AND GRAVEL OVER 1" IN DIAMETER AND DELETERIOUS MATERIALS. IF ON-SITE SOILS ARE TO BE USED FOR PROPOSED PLANTING, THE CONTRACTOR SHALL DEMONSTRATE, THROUGH SOIL TESTING, THAT ON-SITE SOILS MEET THE SAME CRITERIA AS INDICATED IN NOTES PLANS AND SPECIFICATIONS.
 - SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN TOPSOIL AND PLANTING SOIL QUANTITIES ARE INSUFFICIENT. OBTAIN SOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 4" DEEP. DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, MARSHES OR CONTAMINATED SITES.
 - CONTRACTOR SHALL TEST SOILS AND FURNISH SAMPLES UPON REQUEST. PACKAGED MATERIALS SHALL BE UNOPENED BAGS OR CONTAINERS, EACH BEARING A NAME, GUARANTEE, AND TRADEMARK OF THE PRODUCER, MATERIAL COMPOSITION, MANUFACTURER'S CERTIFIED ANALYSIS, AND THE WEIGHT OF THE MATERIAL. MATERIALS SHALL BE STORED ON SITE TEMPORARILY IN STOCKPILES PRIOR TO PLACEMENT AND SHALL BE PROTECTED FROM INTRUSION OF CONTAMINANTS AND EROSION. AFTER MIXING, SOIL MATERIALS SHALL BE COVERED WITH A TAUPALUN UNTIL TIME OF ACTUAL USE.
 - ALL PLANTING SOILS SHALL BE SUBMITTED FOR TESTING TO THE STATE COOPERATIVE EXTENSION SERVICE, OR APPROVED EQUAL, PRIOR TO DELIVERY TO THE SITE. CONTRACTOR SHALL FURNISH SOIL SAMPLES AND SOIL TEST RESULTS TO LANDSCAPE ARCHITECT OR OWNER AT A RATE OF ONE SAMPLE PER 500 CUBIC YARDS TO ENSURE CONSISTENCY ACROSS THE TOTAL VOLUME OF PLANTING SOIL. TESTING RESULTS SHALL EVALUATE FOR ALL CRITERIA LISTED IN THIS SPECIFICATION. IF TESTING AGENCY DETERMINES THAT THE SOILS ARE DEFICIENT IN ANY MANNER AND MAY BE CORRECTED BY ADDING AMENDMENTS, THE CONTRACTOR SHALL FOLLOW STATED REQUIREMENTS FOR SOIL IMPROVEMENT AND FURNISH SUBMITTALS FOR ALL AMENDMENTS PRIOR TO DELIVERY OF SOIL TO THE PROJECT SITE.
- THE FOLLOWING TESTING SHOULD BE PERFORMED AND RESULTS GIVEN TO THE LANDSCAPE ARCHITECT FOR APPROVAL BEFORE INSTALLATION:
 - PARTICLE SIZE ANALYSIS - LOAMY SAND; 60-75% SAND; 25-40% SILT, AND 5-15% CLAY.
 - FERTILITY ANALYSIS: pH (5.5-6.5), SOLUBLE SALTS (LESS THAN 2 MMHO/CM), NITRATE, PHOSPHATE, POTASSIUM, CALCIUM AND MAGNESIUM.
 - ORGANIC MATTER CONTENT: 2.5-5% IN NATIVE SOILS; UP TO 10% IN AMENDED SOILS.
 - TOXIC SUBSTANCE ANALYSIS.
 - MATERIAL DRAINAGE RATE: 60% PASSING IN 2 MINUTES, 40% RETAINED.
 - NOT MORE THAN 1% OF MATERIAL SHALL BE RETAINED BY A #4 SIEVE.
- SOIL AMENDMENT FOR PLANT MATERIAL
 - IF SOIL ORGANIC CONTENT IS INADEQUATE, SOIL SHALL BE AMENDED WITH COMPOST OR ACCEPTABLE, WEED FREE, ORGANIC MATTER. ORGANIC AMENDMENTS SHALL BE WELL COMPONED, PH RANGE OF 6-8, MOISTURE CONTENT 35-55% BY WEIGHT 100% PASSING THROUGH 1" SIEVE; SOLUBLE SALT CONTENT LESS THAN 0.5 MM HOS/CM; INCLUDING ALL APPLICABLE ENVIRONMENTAL CRITERIA FOR CLEAN FILL.
 - ORGANIC MATTER AS A SOIL AMENDMENT: LEAF MOLD WITH 60-80% ORGANIC CONTENT BY WEIGHT, SHREDDED LEAF LITTER, COMPOSTED FOR A MINIMUM OF 1 YR. SHOULD BE FREE OF DEBRIS, STONES OVER 1/2", MOISTURE OVER 17%.
 - SOIL IN BEDS AND PLANTING ISLANDS OTHER THAN BACKFILL MATERIAL AND TOPSOIL, SHOULD BE FRIABLE, WELL DRAINED, AND FREE OF DEBRIS, INCLUDING STONES AND TRASH.
 - AMENDMENTS FOR BACK FILL IN TREE AND SHRUB PITS:
 - GROUND LIMESTONE (WITH A MIN. OF 88% OF CALCIUM AND MAGNESIUM CARBONATES) USED PENDING RESULTS OF SOIL ANALYSIS.
 - BRING pH LEVELS TO 5.5 MIN. TO 6.5 FOR NON-ERICACEOUS PLANTS.
 - BRING pH LEVELS TO 4.5 MIN. TO 5.5 FOR ERICACEOUS PLANTS.
 - TERRA-SORB BY "PLANT HEALTH CARE" 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN PLANTER BACKFILL MIXTURE WITH TREES AND SHRUBS.
 - MYCOR-RHIZOM SAVER BY "PLANT HEALTH CARE" 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN BACKFILL MIXTURE WITH TREES.
- WHERE PLANTING AREAS ARE PROPOSED FOR FORMER PAVED OR GRAVEL AREAS, BEDS SHALL BE EXCAVATED TO A MINIMUM 30" DEPTH AND, AT A MINIMUM, BE BACKFILLED WITH BOTTOM LAYER OF SANDY LOAM (ORGANIC CONTENT LESS THAN 2%) OVER WHICH TOPSOIL AND PLANTING SOILS WILL BE PLACED AT DEPTHS INDICATED IN PLANS, DETAILS AND NOTES.
- CLEAN SOIL FILL IN LANDSCAPE AREAS
 - LANDSCAPE FILL MATERIAL, BELOW PLANTING SOILS, SHALL HAVE THE PHYSICAL PROPERTIES OF A SANDY LOAM WITH AN ORGANIC CONTENT OF LESS THAN 2% AND A PH BETWEEN 5 - 7.
 - SOIL PLACEMENT:
 - CONTRACTOR TO PROVIDE SIX INCHES (6") MINIMUM DEPTH PLANTING SOIL LAYER IN LAWN AREAS, TWELVE INCHES (12") MINIMUM DEPTH PLANTING SOIL LAYER IN GROUNDCOVER AND PERENNIAL AREAS, EIGHTEEN INCHES (18") MINIMUM DEPTH PLANTING SOIL LAYER IN SHRUB AREAS, AND THIRTY-SIX INCHES (36") MINIMUM DEPTH PLANTING SOIL LAYER IN TREE PLANTING AREAS.
 - SCARIFY AND/OR TILL COMPACTED SUBSOILS TO A MINIMUM DEPTH OF 6 INCHES. THOROUGHLY MIX A 6 INCH DEPTH LAYER OF PLANTING SOIL INTO THE SUBSOIL TO A MINIMUM DEPTH OF 12 INCHES. PLANTING SOIL AT THE DEPTHS INDICATED ABOVE. PLANTING SOIL SHALL BE PLACED IN 12-18" LIFTS AND WATER THOROUGHLY BEFORE INSTALLING NEXT LIFT. REPEAT UNTIL DEPTHS AND FINISH GRADES HAVE BEEN ACHIEVED. NO SOILS SHALL BE PLACED IN A FROZEN OR MUDDY CONDITION.
 - PLANTING SOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE PLANTING SOIL UTILIZED IN ALL PLANTING AREAS.
 - SOIL CONDITIONS:
 - ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM. LOWER pH USING ELEMENTAL SULFUR ONLY. PEAT MOSS OR COPPER SULFATE MAY NOT BE USED. GROUND LIMESTONE AS A SOIL AMENDMENT MATERIAL WILL ONLY BE USED PENDING RESULTS OF SOIL ANALYSIS. PROVIDE MULCH OVER PLANTING SOILS AND AVOID MATERIAL WITH A PH HIGHER THAN 7.0. PEAT MOSS MAY NOT BE USED AS ORGANIC MATTER AMENDMENT.
 - MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED BARK (UP TO 30% BY VOLUME) AND/OR CYPRESUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
- SOIL MODIFICATIONS (PENDING RESULTS OF SOIL ANALYSIS):
 - THOROUGHLY TILL ORGANIC MATTER (LEAF COMPOST) INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF FRAGMENTS WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.0. PEAT MOSS MAY NOT BE USED AS ORGANIC MATTER AMENDMENT.

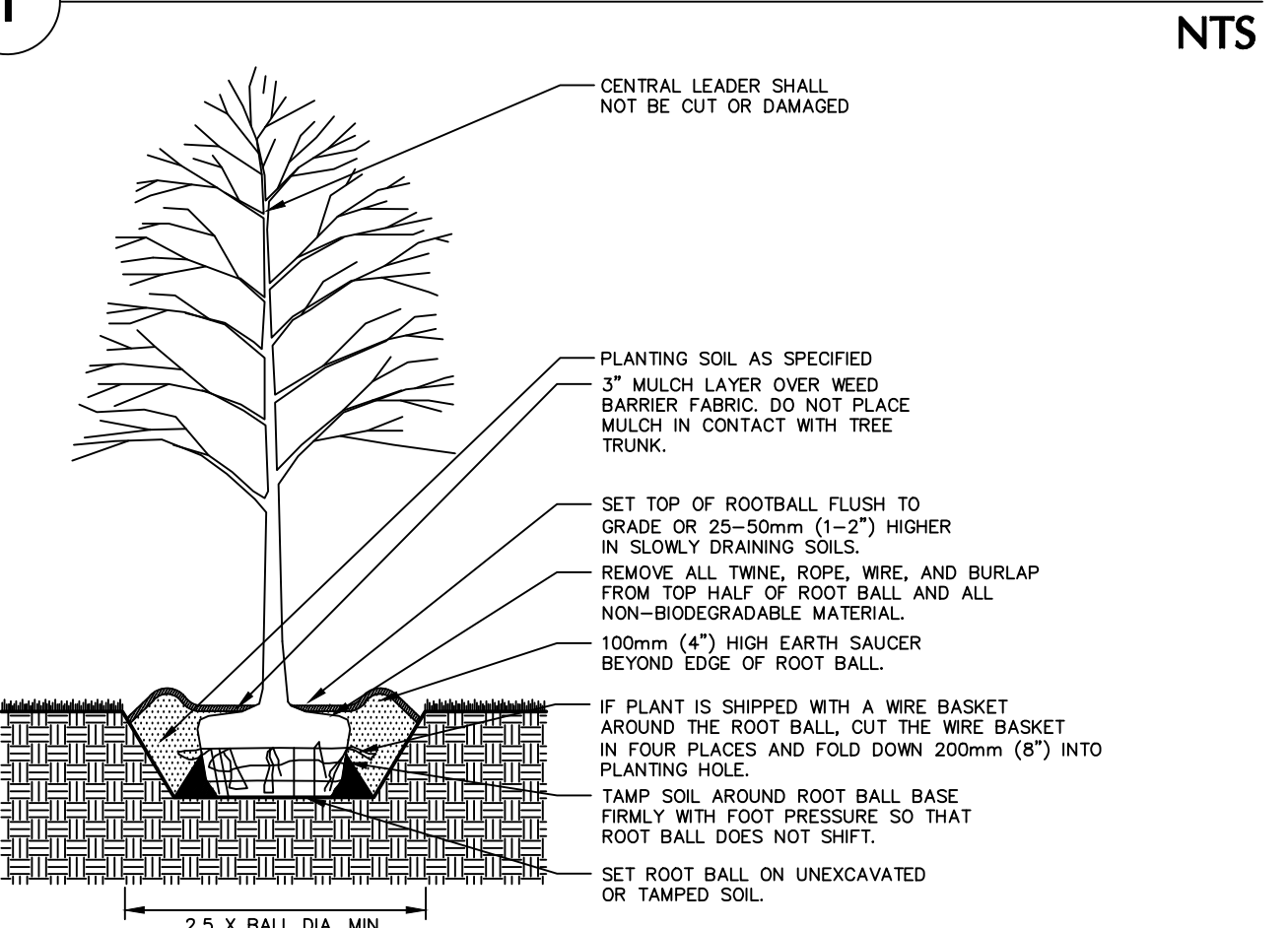
MEADOW SEED MIXES

MEADOW SEED MIX A - ERNST SEED MIX ERNMX-183 (NATIVE DETENTION AREA MIX)	
32% PANICUM CLANDESTINUM, 'TOGA'	DEERTONGUE, 'TOGA'
20% CAREX VULPINOIDEA	FOX SEDGE
20% ELYMUS VIRGINICUS	VIRGINIA WILDRYE
15% PANICUM VIRGATUM, 'SHAWNEE'	SWITCHGRASS, 'SHAWNEE'
4% AGROSTIS PERENNANS, ALBANY PINE BUSH	AUTUMN BENTGRASS, ALBANY PINE BUSH
2% JUNCUS TENUIS	PATH RUSH
1% JUNCUS EFFUSUS	SOFT RUSH
1% PANICUM RIGIDULUM	REDTOP PANICGRASS
NOTES:	
1. SEED AT A RATE OF 20 LBS/ACRE OF 100% PURE LIVE SEED.	
MEADOW SEED MIX B - ERNST SEED MIX ERNMX-181 (NATIVE STEEP SLOPE MIX WITH ANNUAL RYEGRASS)	
22% SORGHASTRUM NUTANS	INDIANGRASS
20% LOLIUM MULTIFLORUM	ANNUAL RYEGRASS
17% SCHIZACHRYUM SCOPARIUM	LITTLE BLUESTEM
15% ELYMUS CANADENSIS	CANADA WILDRYE
5% ELYMUS VIRGINICUS	VIRGINIA WILDRYE
4% AGROSTIS PERENNANS	AUTUMN BENTGRASS
4% AGROSTIS SCABRA	TICKLEGRASS
4% TRIGLOCH FLAVUM	PURPLETOP
3% CHAMAECRISTA FASCICULATA	PARTRIDGE PEA
2% ECHINACEA PURPUREA	PURPLE CONEFLOWER
1% COREOPODIS LANCOLATA	LANCLETAF COREOPODIS
1% LIATRIS SPICATA	MARSH BLAZING STAR
1% MONARDA FISTULOSA	WILD BERGAMOT
1% PENSTEMON DIGITALIS	TALL WHITE BEARDTONGUE
1% RUBICEKIA HIRTA	BLACKEYED SUSAN
NOTES:	
SEED AT A RATE OF 60 LBS/ACRE OF 100% PURE LIVE SEED.	
MEADOW SEED MIX C - NEW ENGLAND WETLAND PLANTS, INC. (NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOST SITES)	
RIVERBANK MILD RYE	ELYMUS RIPARIUS
CREeping REE FESCUE	FESTUCA RUBRA
LITTLE BLUESTEM	SCHIZACHRYSTE SCOPARIUM
BIG BLUESTEM	ANDROPOGON GERARDI
SWITCH GRASS	PANICUM VIRGATUM
UPLAND BENTGRASS	AGROSTIS PERENNANS
NODDING BURN WARGOLD	BIDENS CERNUA
HOLLOWLEAF PINE WEE	EUPATORIUM FISTULOSUM/EUTROCHUM FISTULOSUM
NEW ENGLAND ASTER	ASTER NOVAE-ANGLIAE
BONSET	EUPATORIUM PERFOLIATUM
BLUE VERNAIN	SHOWY TOP TITHEA
SOFT RUSH	JUNCUS EFFUSUS
WOOL GRASS	SCIRPUS CYPERINUS
NOTES:	
SEED AT A RATE OF 35 LBS/ACRE OF 100% PURE LIVE SEED.	
MEADOW SEED MIX D - ERNST SEED MIX ERNMX-123 (NATIVE UPLAND WILDLIFE FORAGE & COVER MEADOW MIX)	
34.9% ANDROPOGON GERARDI, 'MAGARA'	BIG BLUESTEM, 'MAGARA'
27.0% PANICUM VIRGATUM, 'CAVE-IN-ROCK'	SWITCHGRASS, 'CAVE-IN-ROCK'
21.0% ELYMUS VIRGINICUS, 'MADISON'	VIRGINIA WILDRYE, 'MADISON'
9.0% SORGHASTRUM NUTANS, 'TOMAHAWK'	INDIANGRASS, 'TOMAHAWK'
3.0% RUBICEKIA HIRTA	BLACKEYED SUSAN
2.0% CHAMAECRISTA FASCICULATA	PARTRIDGE PEA
1.5% HELIOPSIS HELIANTHOIDES	OXEYE SUNFLOWER
1.0% COREOPODIS TINCTOR	SHINY COREOPODIS
0.4% DESMODIUM CANADENSE	SHOXY TOXIFOLIATA
0.1% ASCLEPIAS SYRACA	COMMON MILKWEEED
0.1% MONARDA FISTULOSA	WILD BERGAMOT
NOTES:	
SEED AT A RATE OF 20 LB/ACRE OF 100% PURE LIVE SEED.	



- NOTES:
- CONTRACTOR IS RESPONSIBLE TO SEND SAMPLES OF EXISTING SOILS INTENDED FOR USE IN PLANTING AREAS (1 PER 500 CY.) TO TESTING LABORATORY OR UNIVERSITY COOPERATIVE EXTENSION FOR TESTING. ALL TESTING COSTS ARE AT THE CONTRACTOR'S EXPENSE.
 - RECYCLED CRUSHED CONCRETE AND ASPHALT MILLINGS SHALL NOT BE PLACED WITHIN 2'-6" OF FINISH GRADE IN PROPOSED LANDSCAPE AREAS.
 - IMPORTED FILL SHALL CONTAIN NO CONTAMINATION IN EXCESS OF THE APPLICABLE STATE ENVIRONMENTAL STANDARDS AND MEET THE ENVIRONMENTAL REQUIREMENTS FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF COMPLIANCE PRIOR TO DELIVERY OF ANY FILL TO THE SITE.
 - CONTRACTOR TO LIGHTLY COMPACT ALL PLACED PLANTING SOILS AND RAISE GRADES ACCORDINGLY TO ALLOW FOR FUTURE SETTLEMENT OF PLANTING SOILS (TYP.).
 - NO STONES, WOOD CHIPS, OR DEBRIS LARGER THAN 1/2" SHALL BE ACCEPTABLE WITHIN PLANTING AREAS.

1. PLANTING SOIL



2. TREE PLANTING

- NOTES:
- CONTRACTOR SHALL BE RESPONSIBLE TO SEND SAMPLES OF EXISTING SOILS INTENDED FOR USE IN PLANTING AREAS (1 PER 500 CY.) TO TESTING LABORATORY OR UNIVERSITY COOPERATIVE EXTENSION FOR TESTING. ALL TESTING COSTS ARE AT THE CONTRACTOR'S EXPENSE.
 - RECYCLED CRUSHED CONCRETE AND ASPHALT MILLINGS SHALL NOT BE PLACED WITHIN 2'-6" OF FINISH GRADE IN PROPOSED LANDSCAPE AREAS.
 - IMPORTED FILL SHALL CONTAIN NO CONTAMINATION IN EXCESS OF THE APPLICABLE STATE ENVIRONMENTAL STANDARDS AND MEET THE ENVIRONMENTAL REQUIREMENTS FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF COMPLIANCE PRIOR TO DELIVERY OF ANY FILL TO THE SITE.
 - CONTRACTOR TO LIGHTLY COMPACT ALL PLACED PLANTING SOILS AND RAISE GRADES ACCORDINGLY TO ALLOW FOR FUTURE SETTLEMENT OF PLANTING SOILS (TYP.).
 - NO STONES, WOOD CHIPS, OR DEBRIS LARGER THAN 1/2" SHALL BE ACCEPTABLE WITHIN PLANTING AREAS.

LAWN SEED MIX:

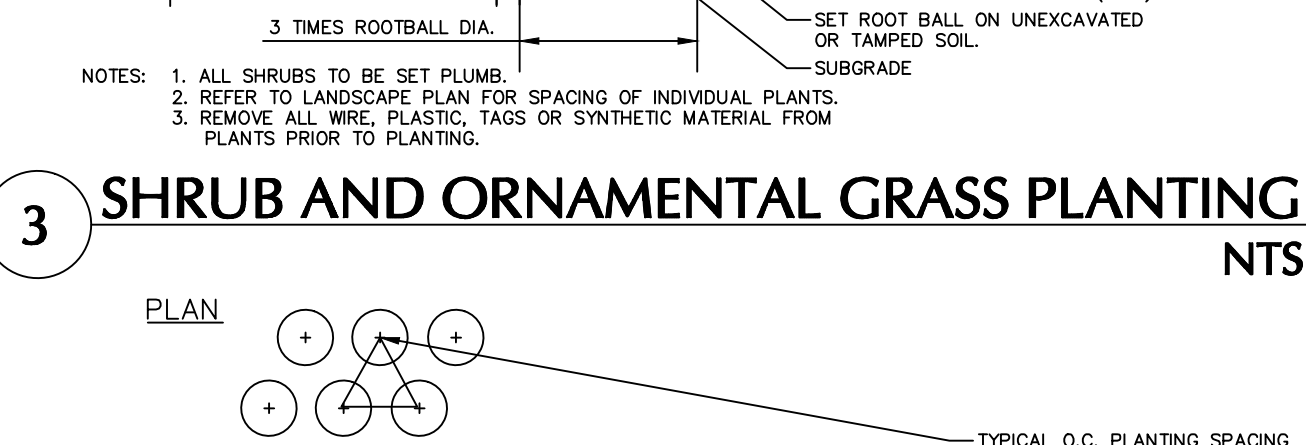
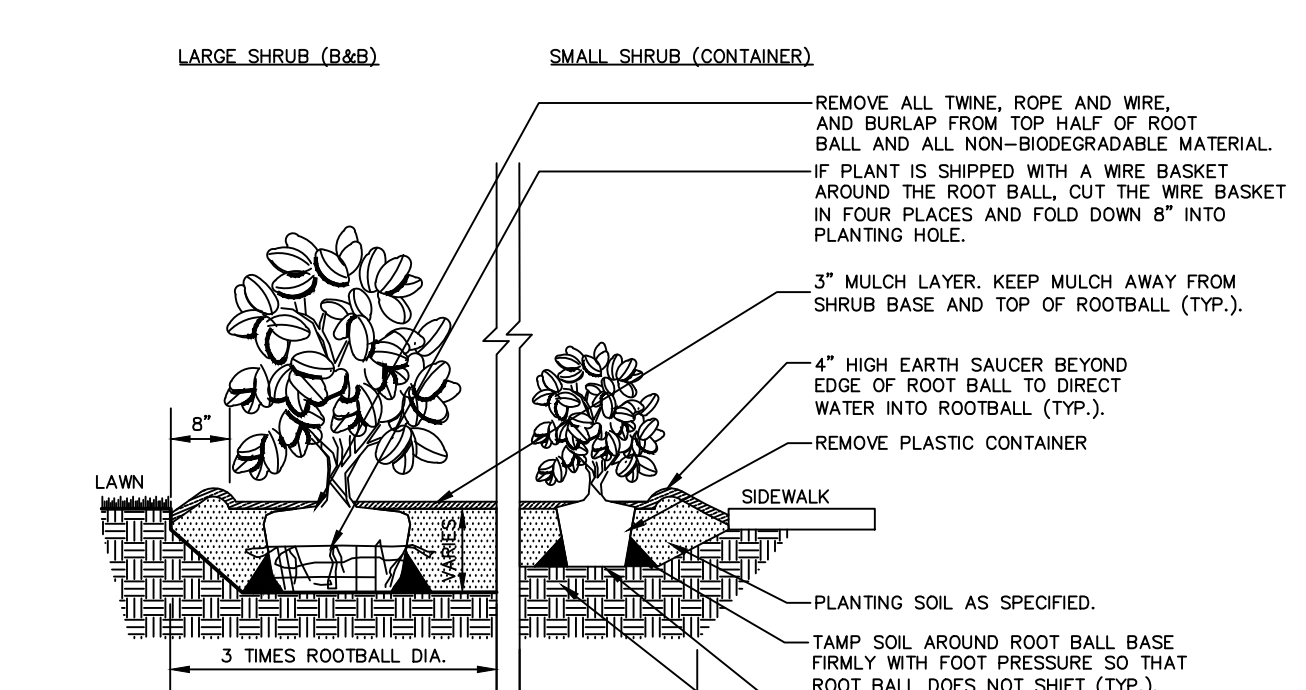
- LAWN SEED MIX: LESCO GRASS SEED - ALL PRO TRANSITION MIX (3 TURF-TYPE TALL-FESCUE GRASSES)
 - SEED RATE:
 - NEW ESTABLISHMENT: SEED AT A RATE OF 6-8 LBS/1000 SQ FT
 - RENOVATION: 20-30% EXISTING COVER: 5-7 LBS/1000 SQ FT
 - 50-75% EXISTING COVER: 4-6 LBS/1000 SQ FT
- GENERAL SEED NOTES:
 - FINAL SEED MIXTURES, RATES, AND SPECIES TO BE DETERMINED BASED ON PROJECT LANDSCAPE ARCHITECT REVISIONS.
 - SEEDING SHALL TAKE PLACE IN THE SPRING (APRIL 1 TO JUNE 15) OR THE FALL (SEPTEMBER 1 TO OCTOBER 15). ELIMINATE UNWANTED VEGETATION PRIOR TO SEEDING USING A GLYPHOSATE-BASED HERBICIDE PER MANUFACTURER'S SPECIFICATIONS.
 - IT IS RECOMMENDED THAT CONTRACTOR INSTALL SEED MIXTURE USING A NO-TILL TRUAX-TYPE DRILL SEEDER WHERE APPLICABLE.
 - THERE MUST BE CONTINUOUS SOIL MOISTURE FOR 4-6 WEEKS TO ALLOW FOR PROPER GERMINATION.

MEADOW SEED MIX NOTES

- GENERAL SEEDING NOTES:
- SEEDING SHALL TAKE PLACE IN THE SPRING (APRIL 1 TO JUNE 15) OR THE FALL (SEPTEMBER 1 TO OCTOBER 15).
 - ELIMINATE UNWANTED VEGETATION PRIOR TO SEEDING USING A GLYPHOSATE-BASED HERBICIDE PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO ENSURE HERBICIDE IS INDICATED FOR USE AROUND WATER BODIES.
 - IT IS RECOMMENDED THAT CONTRACTOR INSTALL SEED MIXTURE USING A NO-TILL TRUAX-TYPE DRILL WHERE APPLICABLE.
 - THERE MUST BE CONTINUOUS SOIL MOISTURE FOR 4-6 WEEKS TO ALLOW PROPER GERMINATION.

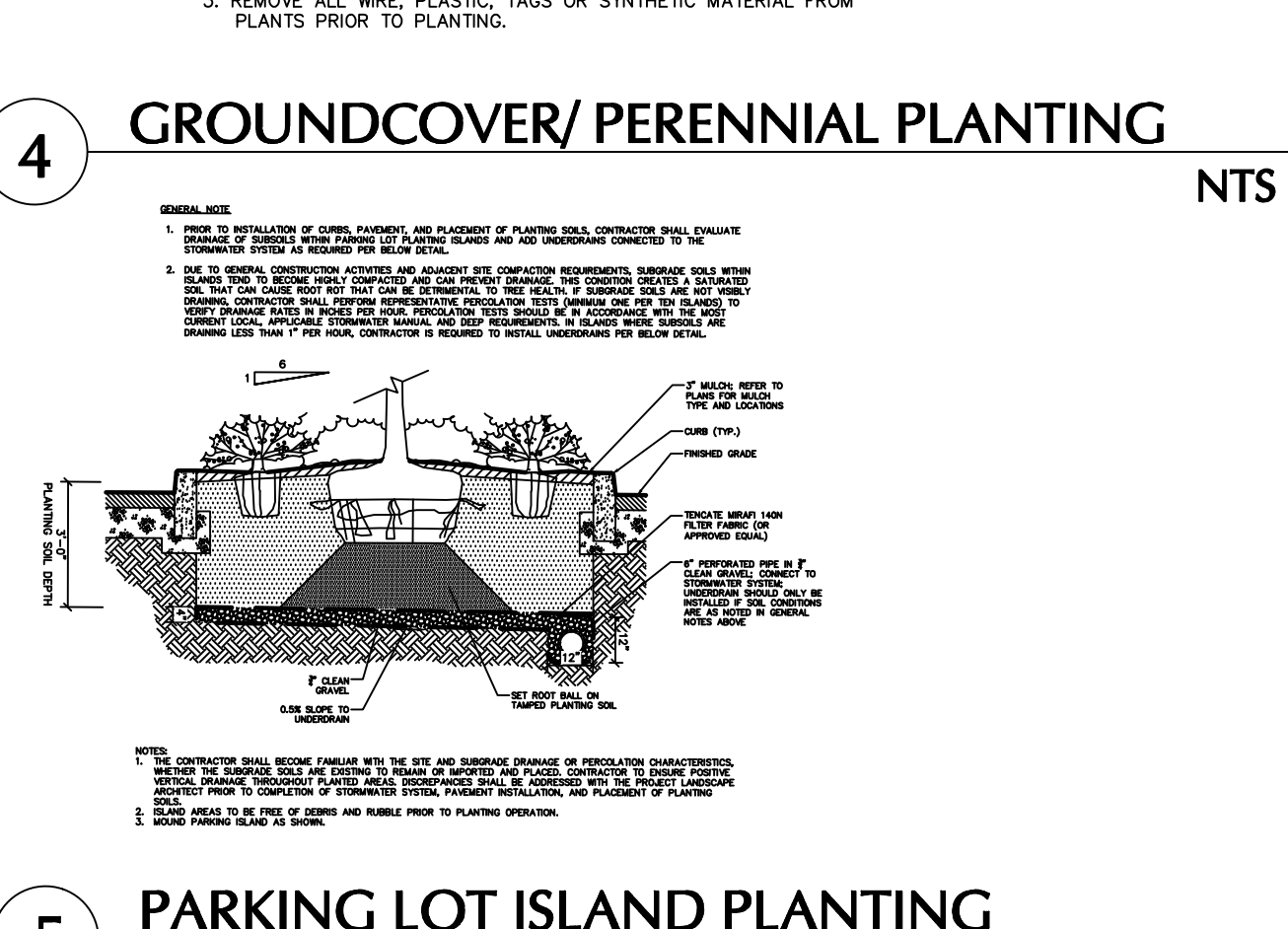
WEED CONTROL / MAINTENANCE

- DURING THE ESTABLISHMENT YEAR, CONTRACTOR SHALL MOW SEEDING IF WEED HEIGHT EXCEEDS MEADOW MIX HEIGHT. MOW TO A HEIGHT OF 8"-10". DO NOT MOW CLOSE, AS SOME OF THE MEADOW MIX MAY BE DAMAGED.
- AFTER THE FIRST GROWING SEASON, AND IF MEADOW MIX IS WELL ESTABLISHED, THE MEADOW MIX SHALL BE MOWED ONLY ONCE ANNUALLY. ANNUAL MAINTENANCE MOWING SHALL BE DONE IN LATE WINTER DURING THE MONTH OF MARCH.
- MOW IN DETENTION BASIN AND WETLAND TRANSITION AREAS DURING DRIER SITE CONDITIONS WHEN SOIL DISTURBANCE WILL NOT OCCUR. MAINTENANCE FOR DETENTION BASIN AND WETLAND TRANSITION AREAS SHALL OCCUR DURING LATE SUMMER (JULY 15 - AUGUST 15) WHEN THE WATER TABLE IS USUALLY AT ITS LOWEST POINT OF THE YEAR. DO NOT MOW IN DETENTION BASIN, WETLAND OR WETLAND TRANSITION AREAS AFTER ESTABLISHMENT OF MEADOW MIX. IN THE EVENT THAT INVASIVE SPECIES ARE PRESENT AFTER THE ESTABLISHMENT PERIOD, MEADOW AREAS ARE TO BE TRIMMED TO A HEIGHT OF 8". ANY TRIMMING SHOULD CEASE BY MID-SEPTEMBER.



- NOTES:
- PLANTS ARE TO BE SPACED EQUIDISTANT FROM EACH OTHER.
 - REFER TO PLAN AND SCHEDULE FOR SPACING OF INDIVIDUAL PLANTS.
 - REMOVE ALL WIRE, PLASTIC, TAGS OR SYNTHETIC MATERIAL FROM PLANTS PRIOR TO PLANTING.

4. GROUNDCOVER/ PERENNIAL PLANTING



5. PARKING LOT ISLAND PLANTING

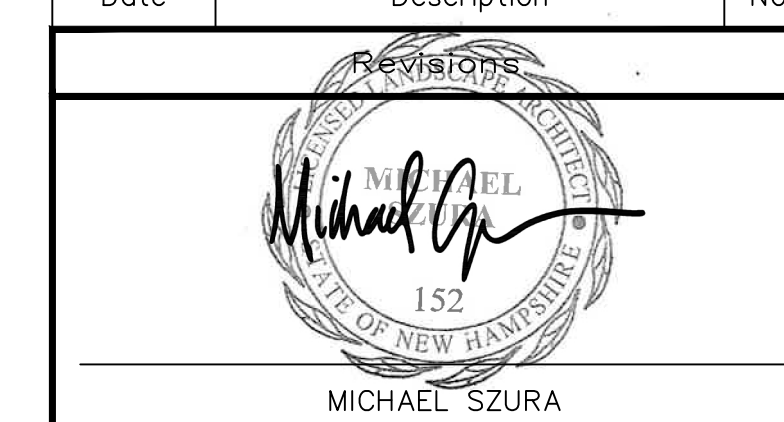
- NOTES:
- LANDSCAPE STEEL EDGE IS REQUIRED BETWEEN RIVERSTONE AND LAWN.
 - DO NOT INSTALL STEEL EDGE BETWEEN PLANTING AREA AND CONCRETE.
 - RIVERSTONE TO BE INSTALLED ON BUS STOP PLANTING ISLANDS, WHERE PLANTINGS OR LAWN MEET BUILDING WALLS, AND UNDER BUILDING OVERHANGS WHERE SHOWN ON THE LANDSCAPE PLANS.

6. DECORATIVE RIVERSTONE

- NOTES:
- LANDSCAPED AREAS BETWEEN THE BUILDING AND THE PARKING LOT CURB SHALL BE MULCHED WITH 2" DECORATIVE RIVERSTONE.
 - DECORATIVE STONE MULCH DEPTH AT PLANTINGS SHALL BE 3" DEPTH WITH WEED BLOCK FABRIC BENEATH.
 - REFER TO PLANS FOR EXACT LOCATIONS.

FOR PERMITTING ONLY, NOT FOR CONSTRUCTION

Date	Description	No.
12/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	5
11/30/20	CON. COMM. / PLANNING BOARD COMMENT RESPONSE	4
09/14/20	AOT COMMENT RESPONSE	3



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Project: HUDSON LOGISTICS CENTER

MAP No. 239, LOT No. 1 HUDSON

HILLSBOROUGH NEW HAMPSHIRE

Drawing Title: LANDSCAPE NOTES AND DETAILS I

Project No. 151010101 Drawing No.

Date 04-21-2020

Drawn By JA

Checked By MH

Project No. 151010101 Drawing No. LP501

Date 04-21-2020

Drawn By JA

Checked By MH

DEVELOPMENT & SOUTHERN BERM PLANT SCHEDULE

Table with columns: KEY, QTY., BOTANICAL NAME, COMMON NAME, SIZE, ROOT, REMARKS. Includes categories like SHADE TREE(S), UNDERSTORY TREE(S), EVERGREEN TREE(S), EVERGREEN SHRUB(S), DECIDUOUS SHRUB(S), ORNAMENTAL GRASS(ES), and GROUND COVER.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

50' WETLAND BUFFER PLANT SCHEDULE

Table with columns: QTY., BOTANICAL NAME, COMMON NAME, SIZE, ROOT, REMARKS. Includes categories like SHADE TREE(S), UNDERSTORY TREE(S), EVERGREEN TREE(S), DECIDUOUS SHRUB(S).

50' WETLAND BUFFER NOTES: 1. SHRUBS ARE TO BE LOCATED IN CLUSTERS APPROXIMATELY 8'-10' ON CENTER... 6. IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

APPROVAL BLOCK: APPROVED BY THE HUDSON, NH PLANNING BOARD. Includes fields for PLANNING BOARD CHAIRMAN, SECRETARY, and SIGNATURE DATE.

250' SHORELAND BUFFER PLANT SCHEDULE

Table with columns: KEY, QTY., BOTANICAL NAME, COMMON NAME, SIZE, ROOT, REMARKS. Includes categories like SHADE TREE(S), UNDERSTORY TREE(S), EVERGREEN TREE(S), EVERGREEN SHRUB(S), DECIDUOUS SHRUB(S).

250' SHORELAND BUFFER NOTES: 1. SHRUBS ARE TO BE LOCATED IN CLUSTERS APPROXIMATELY 8'-10' ON CENTER... 3. IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

UPLAND RESTORATION AREA PLANT SCHEDULE

Table with columns: KEY, QTY., BOTANICAL NAME, COMMON NAME, SIZE, ROOT, REMARKS. Includes categories like SHADE TREE(S), UNDERSTORY TREE(S), EVERGREEN TREE(S), EVERGREEN SHRUB(S), DECIDUOUS SHRUB(S).

UPLAND RESTORATION NOTES: 1. SHRUBS ARE TO BE LOCATED IN CLUSTERS APPROXIMATELY 10'-12' ON CENTER... 6. IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

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Revision table with columns: Date, Description, No. Includes entries for 12/30/20 and 11/30/20.

Professional seal for Michael Szura, Licensed Landscape Architect, State Lic. No. 152. Includes Langan Engineering and Environmental Services, Inc. contact information.

Project: HUDSON LOGISTICS CENTER. MAP No. 239, LOT No. 1 HUDSON, NEW HAMPSHIRE.

LANDSCAPE NOTES AND DETAILS II

Project information table: Project No. 151010101, Date 12-22-2020, Drawn By JA, Checked By MH. Includes Drawing No. LP502.