

LEGEND

- GB-F GRANITE BOUND FOUND
- IPIN-F IRON PIN FOUND
- ⊙ DH-F DRILL HOLE FOUND
- ⊙ IPP-F IRON PIPE FOUND
- ▲ RRS-F RAILROAD SPIKE FOUND
- ⊙ UTILITY POLE
- ⊙ SIGN
- ⊙ LIGHT
- ABUTTER LINE
- PROPERTY LINE
- STREAM
- WETLAND
- SWALE
- CHU OVERHEAD UTILITIES
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- SCS SOIL LINE
- BUILDING SETBACK
- EASEMENT
- PROPOSED SIGN
- PROPOSED LIGHT
- PROPOSED SEWER MANHOLE
- PROPOSED DRAINAGE MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED PROPERTY LINE
- PROPOSED CHAIN LINK FENCE
- PROPOSED GUARDRAIL
- CHU PROPOSED OVERHEAD UTILITIES
- UGU PROPOSED UNDERGROUND UTILITIES
- G PROPOSED GAS LINE
- W PROPOSED WATER LINE
- S PROPOSED SEWER LINE
- PROPOSED DRAINAGE LINE
- PROPOSED TREE LINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED VERTICAL GRANITE CURB
- PROPOSED 2' CONTOUR
- PROPOSED SWALE
- PROPOSED RETAINING WALL
- PROPOSED STONEWALL
- EASEMENT

REFERENCE PLANS:

- "PLAN OF LAND IN HUDSON, N.H." SCALE: 1"=200'. DATED: 1967. PREPARED BY: DAVID M. HAMILTON. H.C.R.D. PLAN #3605
- "SURVEY OF OLD ORIGINAL LAND SUBDIVISION, A & W SAND & GRAVEL CORP." SCALE 1"=200'. DATED: DECEMBER 15, 1972. PREPARED BY: ROLAND P. THERRIEN. H.C.R.D. PLAN #14653
- "CONSOLIDATION & SUBDIVISION PLAN, HIGHLAND ACRES." SCALE: 1"=100'. DATED: JUNE, 1977. PREPARED BY: A.E. MAYNARD CIVIL ENGINEER. H.C.R.D. PLAN #10317
- "POND VIEW ESTATES LOT LINE RELOCATION & CONSOLIDATION PLAN." SCALE: 1"=100'. DATED: FEBRUARY 26, 1996. PREPARED BY: HAYNER/SWANSON, INC. H.C.R.D. PLAN #28728



NOTES (CONTINUED):

- STATE PERMITS REQUIRED:
 - NOT PERMIT
 - SEWER CONNECTION PERMIT
- CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 7:00 PM MONDAY THROUGH SATURDAY. CONSTRUCTION ACTIVITIES SHALL BE PROHIBITED ON SUNDAYS.
- IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES ARE PROHIBITED ON SATURDAY AND SUNDAY.
- THE ROAD NAME SHALL BE POSTED AT THE BEGINNING OF THE ROAD FOR CERTIFICATION OF OCCUPANCY SIGN BY THE HUDSON FIRE DEPARTMENT.
- OPEN SPACE:
 - REQUIRED = 40%
 - PROVIDED = 74%
- BUILDING COVERAGE:
 - REQUIRED = 20%
 - PROVIDED = 13%
 - TOTAL BUILDING COVERAGE SF = 95,685 SF
 - TOTAL BUILDING COVERAGE = 13%
- ALL SITE IDENTIFICATION SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 78 OF THE HUDSON ZONING ORDINANCE.
- AFTER THE ISSUANCE OF THE FOUNDATION PERMIT FOR EACH OF THE STRUCTURES INCLUDED IN THIS SITE PLAN AND PRIOR TO THE FOUNDATION "AS-BUILT" PLANS ON A TRANSPARENCY AND TO THE SAME SCALE AS THE APPROVED SITE PLAN. EACH FOUNDATION "AS-BUILT" PLAN SHALL INCLUDE ALL STRUCTURAL DIMENSIONS AND LOT LINE SETBACK MEASUREMENTS TO THE FOUNDATION AND BE STAMPED BY A LICENSE LAND SURVEYOR. ANY DISCREPANCY BETWEEN THE APPROVED SITE PLAN AND FOUNDATION "AS-BUILT" PLAN SHALL BE DOCUMENTED BY THE APPLICANT AND BE PART OF THE FOUNDATION "AS-BUILT" SUBMISSION.
- PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, A L.L.S. CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE RECORD SITE PLAN.
- THE PROPOSED PROJECT HAS BEEN DESIGNED TO MEET THE 2018 AND 2019 MS4 REQUIREMENTS.

NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND. THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN DRAWN FROM FIELD SURVEY INFORMATION AND OR PLOTTED FROM EXISTING DRAWINGS. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, KEACH-NORDSTROM ASSOCIATES, INC. DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. KEACH-NORDSTROM ASSOCIATES, INC. HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.



WETLAND SCIENTIST'S CERTIFICATION:

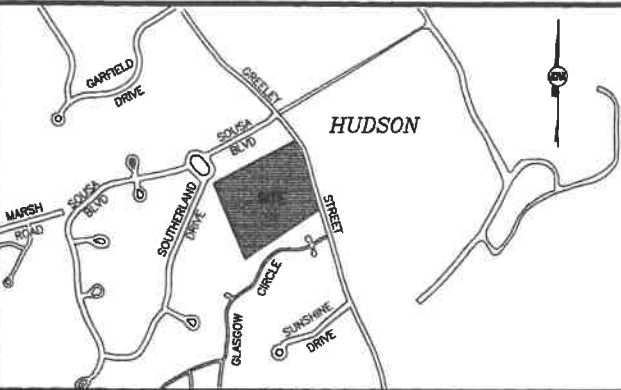
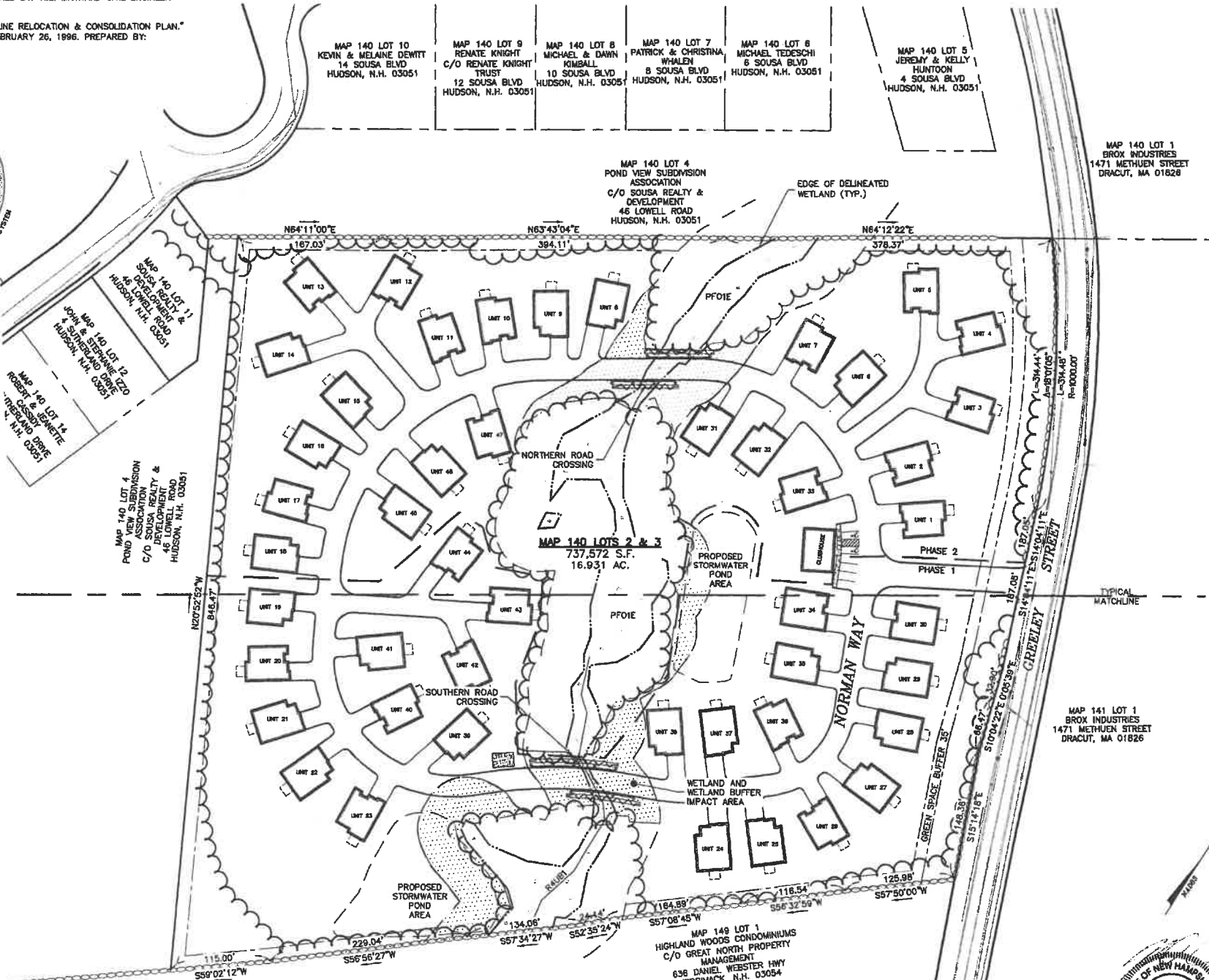
JOSHUA BRIEN, CERTIFIED WETLAND SCIENTIST #258 OF KEACH-NORDSTROM ASSOCIATES, INC. OF BEDFORD, NH PERFORMED THE DELINEATION OF JURISDICTIONAL WETLANDS IN OCTOBER OF 2020 USING THE TECHNICAL CRITERIA IN THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1, JANUARY 1987).

CERTIFIED WETLAND SCIENTIST
DATE: 7/12/21

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE DURING OCTOBER OF 2020. SAID SURVEY HAS AN ERROR OF CLOSURE BETTER THAN ONE PART IN TEN THOUSAND (1:10,000).

LICENSED LAND SURVEYOR
DATE: 7/12/21



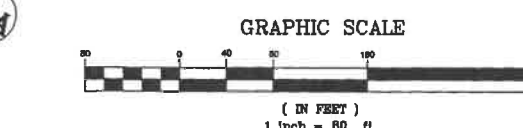
VICINITY MAP
SCALE: 1" = 1,000'

NOTES:

- THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE LOTS 2 & 3 AND DEPICT AN OVERVIEW OF A PROPOSED B2 AND OLDER HOUSING DEVELOPMENT ON ASSESSORS MAP 140 LOTS 2 & 3 AT 112 & 114 GREELEY STREET IN HUDSON, NEW HAMPSHIRE AS SHOWN HEREON AND NO OTHER PURPOSE.
- EXISTING AREA OF PARCELS IS: LOT 2: 418,552 SF, OR 8.608 ACRES. LOT 3: 319,020 SF, OR 7.323 ACRES.
- OWNER OF RECORD: K&M DEVELOPERS, LLC 46 LOWELL ROAD HUDSON, N.H. 03051
- THE SUBJECT PARCELS ARE SITUATED ENTIRELY WITHIN THE GENERAL (G) ZONING DISTRICT AND ARE SUBJECT TO THE FOLLOWING DIMENSIONAL REQUIREMENTS:
MINIMUM BUILDING SETBACKS:
- FRONT 50 FT
- SIDE 15 FT
- REAR 15 FT
- PROPOSED USE: AGE RESTRICTED B2 AND OLDER HOUSING.
- SUBJECT PARCEL WILL BE SERVICED BY MUNICIPAL WATER AND SEWER.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE IN OCTOBER OF 2020.
- HORIZONTAL DATUM IS NAD83. VERTICAL DATUM IS NAVD83 FROM GPS SURVEY METHODS.
- EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 330102048, PANEL NUMBER 516 OF 701, EFFECTIVE DATE: SEPTEMBER 25, 2009 INDICATES THAT NO PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN PRIOR TO ANY EXCAVATION ON SITE. THE OWNER OR CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
- EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.
- PROPER EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED (IE HAY BALES, SILT FENCES, ETC.) PRIOR TO CLEARING AND EXCAVATION. THE CONTROLS SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL COMPLETION OF CONSTRUCTION. THE TOWN OF HUDSON RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION, IF NECESSARY.
- ALLOWABLE DENSITY:

TOTAL LOT AREA	WETLAND AREA	AREA >25% SLOPE	BUILDABLE AREA	FRONTAGE
737,572 SF OR 16.931 AC	40,050 SF OR 0.919 AC	0 SF OR 0 AC	897,522 SF OR 16.013 AC	434.78 FT

MAXIMUM DENSITY OF HOMES = 1 BEDROOM/7,500 SF OF BUILDABLE LAND = 737,572SF/7,500SF = 98.3 BEDROOMS = 49.17 HOMES
PROPOSED DENSITY OF HOMES = 47 HOMES (2 BEDROOMS EACH)



**MASTER PLAN
HERITAGE LANDING**

MAP 140 LOTS 2 & 3
112 & 114 GREELEY STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER/APPLICANT:
K&M DEVELOPERS, LLC
46 LOWELL ROAD
HUDSON, N.H. 03051

K&M KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 2B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	7/12/21	REVISED PER TOWN COMMENTS	ACL

DATE: JUNE 1, 2021
PROJECT NO: 20-1001-1
SCALE: 1"=80'
SHEET 1 OF 24

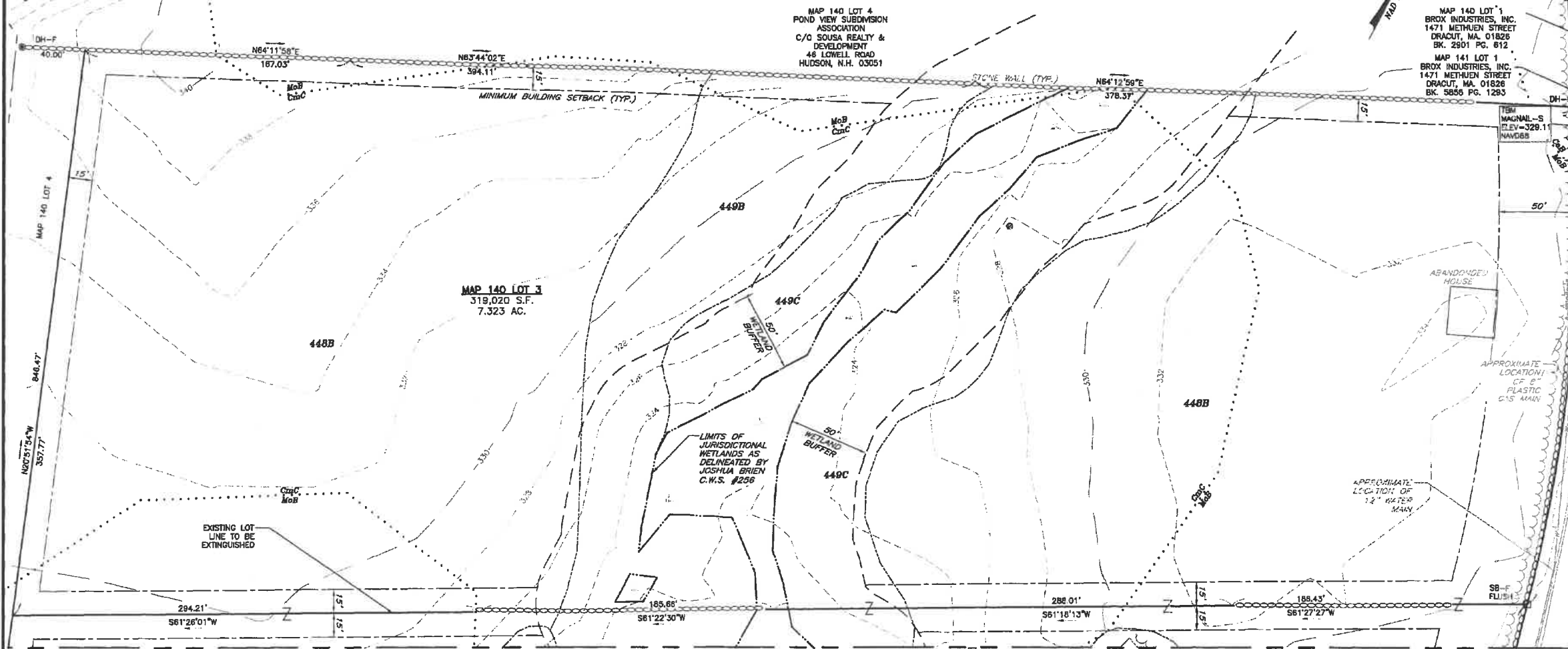
LEGEND

□ SB-F	STONE BOUND FOUND	—CHU—	OVERHEAD UTILITIES
○ IPP-F	IRON PIPE FOUND	—G—G—	GAS LINE
⊙ IP-F	IRON PIN FOUND	—W—W—	WATER LINE
⊙ DH-F	DRILL HOLE FOUND	—T—T—	TREELINE
⊙	BENCHMARK	—EPA—	EDGE OF PAVEMENT
⊙	UTILITY POLE	---	10' CONTOUR
---	ABUTTER LINE	---	2' CONTOUR
---	PROPERTY LINE	---	STONEMASS
---	WETLAND	---	SCS SOIL LINE
---	WETLAND BUFFER	---	SSSM SOIL LINE
		---	SETBACK

SCS SOILS LEGEND

CaB	CANTON FINE SANDY LOAM 0 TO 8 PERCENT SLOPES
CmC	CANTON FINE SANDY LOAM 8 TO 15 PERCENT SLOPES, VERY STONY
CmD	CANTON FINE SANDY LOAM 15 TO 25 PERCENT SLOPES, VERY STONY
MoB	MONTAUK FINE SANDY LOAM 3 TO 8 PERCENT SLOPES

SOURCE: USDA-SCS WEB SOIL SURVEY
HILLSBOROUGH COUNTY



VICINITY MAP
SCALE: 1" = 1,000'

NOTES:

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS ON ASSESSOR'S MAP 140 LOTS 2 & 3 AT 112 & 114 GREELEY STREET IN HUDSON, NEW HAMPSHIRE AS SHOWN HEREON AND NO OTHER PURPOSE.
- EXISTING AREA OF PARCELS IS, LOT 2: 418,552 SF, OR 9.608 ACRES. LOT 3: 319,020 SF, OR 7.323 ACRES.
- OWNER OF RECORD: K&M DEVELOPERS, LLC
46 LOWELL ROAD
HUDSON, N.H. 03051
- THE SUBJECT PARCELS ARE SITUATED ENTIRELY WITHIN THE GENERAL (G) ZONING DISTRICT AND ARE SUBJECT TO THE FOLLOWING DIMENSIONAL REQUIREMENTS:
MINIMUM BUILDING SETBACKS:
- FRONT: 50 FT
- SIDE: 15 FT
- REAR: 15 FT
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE IN OCTOBER OF 2020.
- HORIZONTAL DATUM IS NAD83. VERTICAL DATUM IS NAVD83 FROM GPS SURVEY METHODS.
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- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE OWNER OR CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
- EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.

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- "SURVEY OF OLD ORIGINAL LAND SUBDIVISION, A & W SAND & GRAVEL CORP." SCALE 1"=200'. DATED: DECEMBER 15, 1972. PREPARED BY: ROLAND P. THREKEL. H.C.R.D. PLAN #14553
- "CONSOLIDATION & SUBDIVISION PLAN, HIGHLAND ACRES." SCALE: 1"=100'. DATED: JUNE, 1977. PREPARED BY: A.E. MAYNARD CIVIL ENGINEER H.C.R.D. PLAN #10317
- "POND VIEW ESTATES LOT LINE RELOCATION & CONSOLIDATION PLAN." SCALE: 1"=100'. DATED: FEBRUARY 26, 1996. PREPARED BY: HAYNER/SWANSON, INC. H.C.R.D. PLAN #28728

GRAPHIC SCALE
1 inch = 40 ft

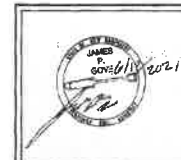
MATCH TO SHEET 3



SITE SPECIFIC SOIL MAP UNIT KEY

SYMBOL	MAP UNIT	SLOPE CLASS	DRAINAGE CLASS
229B	UDORTHENTS, SMOOTH	0-8%	
448B	SCITUATE	0-8%	MODERATELY WELL
448C	SCITUATE	8-15%	MODERATELY WELL
449B	SCITUATE, VERY STONY	0-8%	MODERATELY WELL
449C	SCITUATE, VERY STONY	8-15%	MODERATELY WELL
657B	RIDGEBURY, VERY STONY	0-8%	MODERATELY WELL

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOILS SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, PRODUCED BY A CERTIFIED SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCE CONSERVATION SERVICE. THERE IS A NARRATIVE REPORT THAT ACCOMPANIES THIS MAP AND MAP KEY. JAMES P. GOVE, CSS #004 OF GOVE ENVIRONMENTAL SERVICES INC. PERFORMED THE SOIL MAPPING IN JANUARY 15 OF 2021.



THE SITE-SPECIFIC SOIL MAPPING WAS PERFORMED IN DECEMBER 2009 BY JAMES GOVE, CERTIFIED SOIL SCIENTIST #4, OF GOVE ENVIRONMENTAL SERVICES INC. IN EXETER, NEW HAMPSHIRE. THIS MAPPING WAS PERFORMED ACCORDING TO THE STANDARDS OF THE "SITE-SPECIFIC SOIL MAPPING STANDARDS OF NEW HAMPSHIRE AND VERMONT," VERSION 4.0, FEBRUARY 2011, PUBLISHED BY THE SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND, SPECIAL PUBLICATION NO. 3.

EXISTING CONDITIONS PLAN

HERITAGE LANDING

MAP 140 LOTS 2 & 3
112 & 114 GREELEY STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER/APPLICANT:
K&M DEVELOPERS, LLC
46 LOWELL ROAD
HUDSON, N.H. 03051
BK. 9411 PG. 2460

KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-8881

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE DATE: _____
SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

UTILITY NOTE
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WETLAND SCIENTIST'S CERTIFICATION:
JOSHUA BRIEN, CERTIFIED WETLAND SCIENTIST #256 OF KEACH-NORDSTROM ASSOCIATES, INC. OF BEDFORD, NH PERFORMED THE DELINEATION OF JURISDICTIONAL WETLANDS IN OCTOBER OF 2020 USING THE TECHNICAL CRITERIA IN THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1, JANUARY 1987).

CERTIFIED WETLAND SCIENTIST DATE

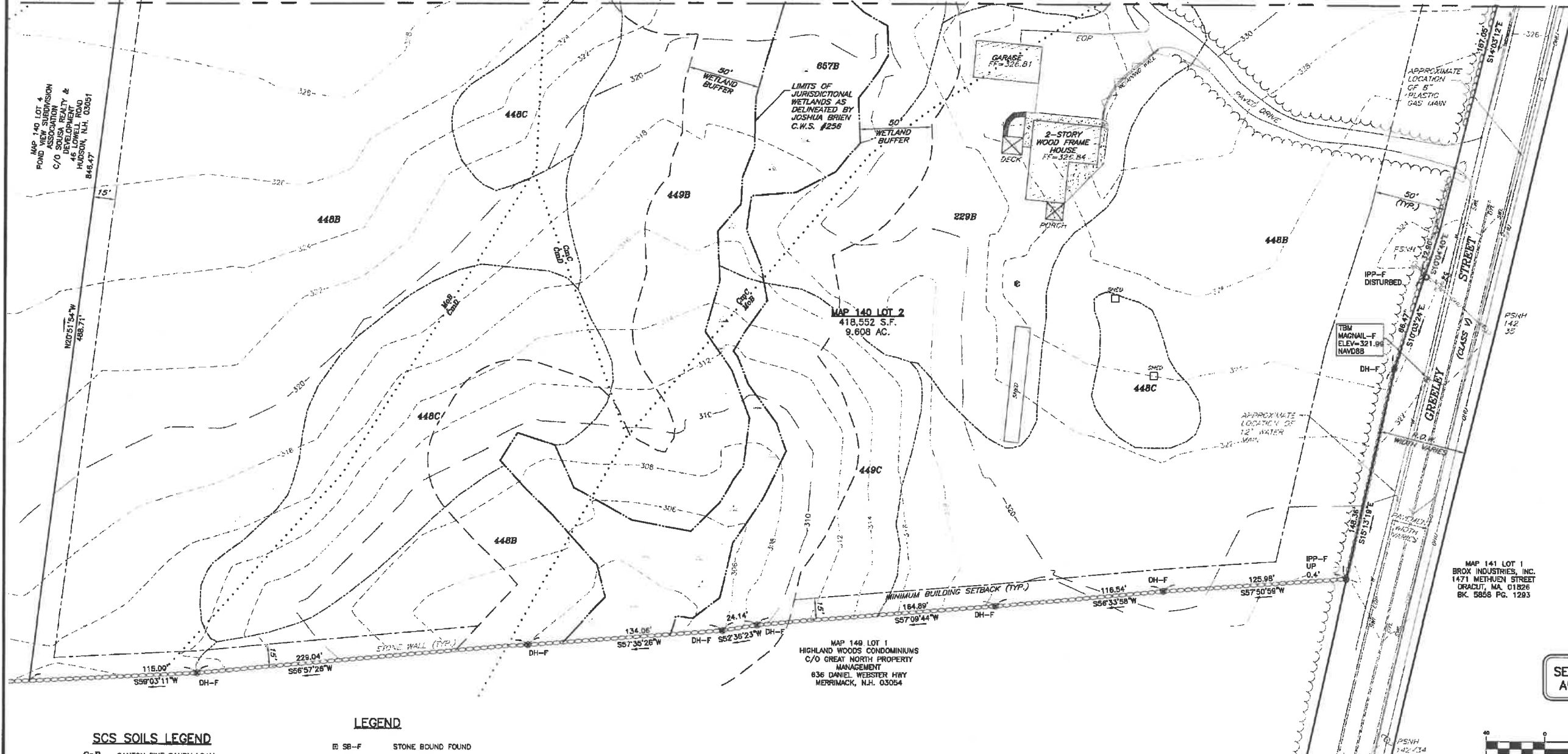
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LICENSED LAND SURVEYOR DATE 8/22/21

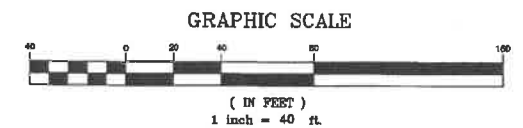
REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JUNE 1, 2021 SCALE: 1" = 40'
PROJECT NO: 20-1001-1 SHEET 2 OF 23

MATCH TO SHEET 2



SEE SHEET 1 FOR NOTES AND REFERENCE PLANS



SCS SOILS LEGEND

- CaB** CANTON FINE SANDY LOAM
0 TO 8 PERCENT SLOPES
 - CmC** CANTON FINE SANDY LOAM
8 TO 15 PERCENT SLOPES, VERY STONY
 - CmD** CANTON FINE SANDY LOAM
15 TO 25 PERCENT SLOPES, VERY STONY
 - MoB** MONTAUK FINE SANDY LOAM
3 TO 8 PERCENT SLOPES
- SOURCE: USDA-SCS WEB SOIL SURVEY
HILLSBOROUGH COUNTY

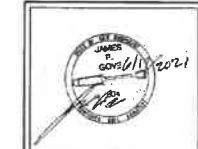
LEGEND

- SB-F STONE BOUND FOUND
- IPP-F IRON PIPE FOUND
- ⊙ IP-F IRON PIN FOUND
- ⊙ DH-F DRILL HOLE FOUND
- ⊕ BENCHMARK
- ⊙ UTILITY POLE
- ⊕ WATER VALVE
- ⊕ HYDRANT
- ABUTTER LINE
- PROPERTY LINE
- WETLAND
- WETLAND BUFFER
- OVERHEAD UTILITIES
- GAS LINE
- WATER LINE
- TREELINE
- EDGE OF PAVEMENT
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- SCS SOIL LINE
- SSSM SOIL LINE
- SETBACK

SITE SPECIFIC SOIL MAP UNIT KEY

SYMBOL	MAP UNIT	SLOPE CLASS	DRAINAGE CLASS
229B	UDORTHENTS, SMOOTH	0-8%	
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EXISTING CONDITIONS PLAN

HERITAGE LANDING

MAP 140 LOTS 2 & 3
112 & 114 GREELEY STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER/APPLICANT:
K&M DEVELOPERS, LLC
48 LOWELL ROAD
HUDSON, N.H. 03051
BK. 9411 PG. 2460



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE DATE: _____

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JOSHUA BRIEN, CERTIFIED WETLAND SCIENTIST #258 OF KEACH-NORDSTROM ASSOCIATES, INC. OF BEDFORD, NH PERFORMED THE DELINEATION OF JURISDICTIONAL WETLANDS IN OCTOBER OF 2020 USING THE TECHNICAL CRITERIA IN THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1, JANUARY 1987).

CERTIFIED WETLAND SCIENTIST

DATE

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION, FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE DURING OCTOBER OF 2020. SAID SURVEY HAS AN ERROR OF CLOSURE BETTER THAN ONE PART IN TEN THOUSAND (1:10,000).

LICENSED LAND SURVEYOR

6/22/21

DATE

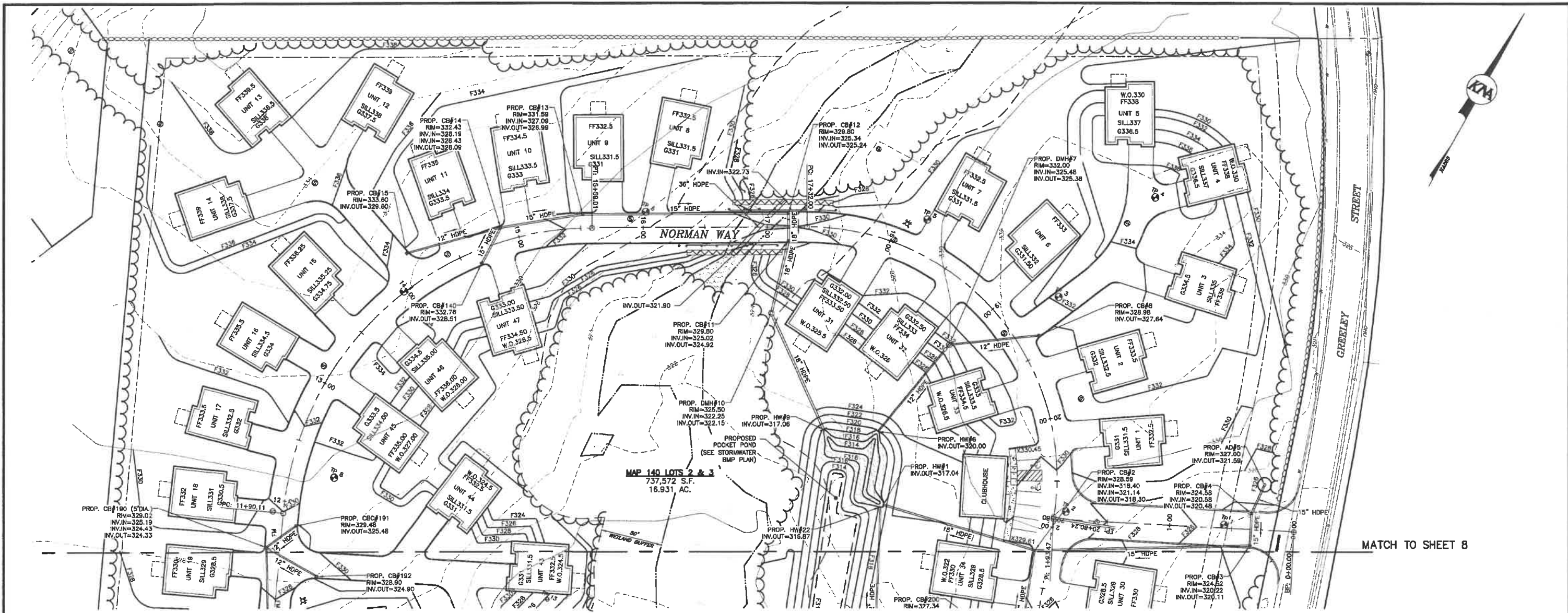


REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: JUNE 1, 2021
PROJECT NO: 20-1001-1

SCALE: 1" = 40'
SHEET 3 OF 23



MAP 140 LOTS 2 & 3
737,572 S.F.
16.931 AC.

LEGEND

- CB-F GRANITE BOUND FOUND
- IPIN-F IRON PIN FOUND
- DH-F DRILL HOLE FOUND
- IRP-F IRON PIPE FOUND
- RRS-F RAILROAD SPIKE FOUND
- U UTILITY POLE
- SIGN
- 4# LIGHT
- ABUTTER LINE
- PROPERTY LINE
- STREAM
- WETLAND
- SWALE
- OVERHEAD UTILITIES
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- SOS SOIL LINE
- BUILDING SETBACK
- EASEMENT
- PROPOSED SIGN
- PROPOSED LIGHT
- PROPOSED SEWER MANHOLE
- PROPOSED DRAINAGE MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED PROPERTY LINE
- PROPOSED CHAIN LINK FENCE
- PROPOSED GUARDRAIL
- OHU PROPOSED OVERHEAD UTILITIES
- UGU PROPOSED UNDERGROUND UTILITIES
- G PROPOSED GAS LINE
- W PROPOSED WATER LINE
- S PROPOSED SEWER LINE
- D PROPOSED DRAINAGE LINE
- T PROPOSED TREE LINE
- P PROPOSED EDGE OF PAVEMENT
- V PROPOSED VERTICAL GRANITE CURB
- C PROPOSED 2' CONTOUR
- SW PROPOSED SWALE
- RW PROPOSED RETAINING WALL
- STW PROPOSED STONEWALL
- E EASEMENT

SITE SPECIFIC SOIL MAP UNIT KEY

SYMBOL	MAP UNIT	SLOPE CLASS	DRAINAGE CLASS
220B	UDORTMENTS, SMOOTH	0-8%	
440B	SCITUATE	0-8%	MODERATELY WELL
448C	SCITUATE	8-15%	MODERATELY WELL
449B	SCITUATE, VERY STONY	0-8%	MODERATELY WELL
449C	SCITUATE, VERY STONY	8-15%	MODERATELY WELL
657B	RIDGEBURY, VERY STONY	0-8%	VERY POOR

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOILS SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, PRODUCED BY A CERTIFIED SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCE CONSERVATION SERVICE. THERE IS A NARRATIVE REPORT THAT ACCOMPANIES THIS MAP AND MAP KEY, JAMES P. GOVE, CSS #004 OF GOVE ENVIRONMENTAL SERVICES INC. PERFORMED THE SOIL MAPPING IN JANUARY 15 OF 2021.

CONSTRUCTION NOTES:

- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED GRADING, DRAINAGE, AND UTILITY SYSTEMS FOR THIS SITE.
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL WORK PERFORMED IN THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2018 ARE HEREBY INCORPORATED BY REFERENCE.
- CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPARTMENT, HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHOWN SHALL BE HDPE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
- ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- THE WATER, SANITARY SEWER, AND ELECTRICAL UTILITIES SHOWN HERE SHALL BE COORDINATED WITH THE FINAL BUILDING PLANS PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- PLANS TO COMPLY WITH THE TOWN OF HUDSON'S MS4 PERMIT.

SEE SHEET 1 FOR NOTES & REFERENCE PLANS

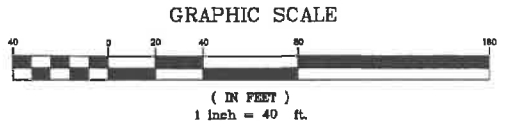
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE DATE: _____

SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



GRADING & DRAINAGE PLAN
HERITAGE LANDING
MAP 140 LOTS 2 & 3
112 & 114 GREELEY STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

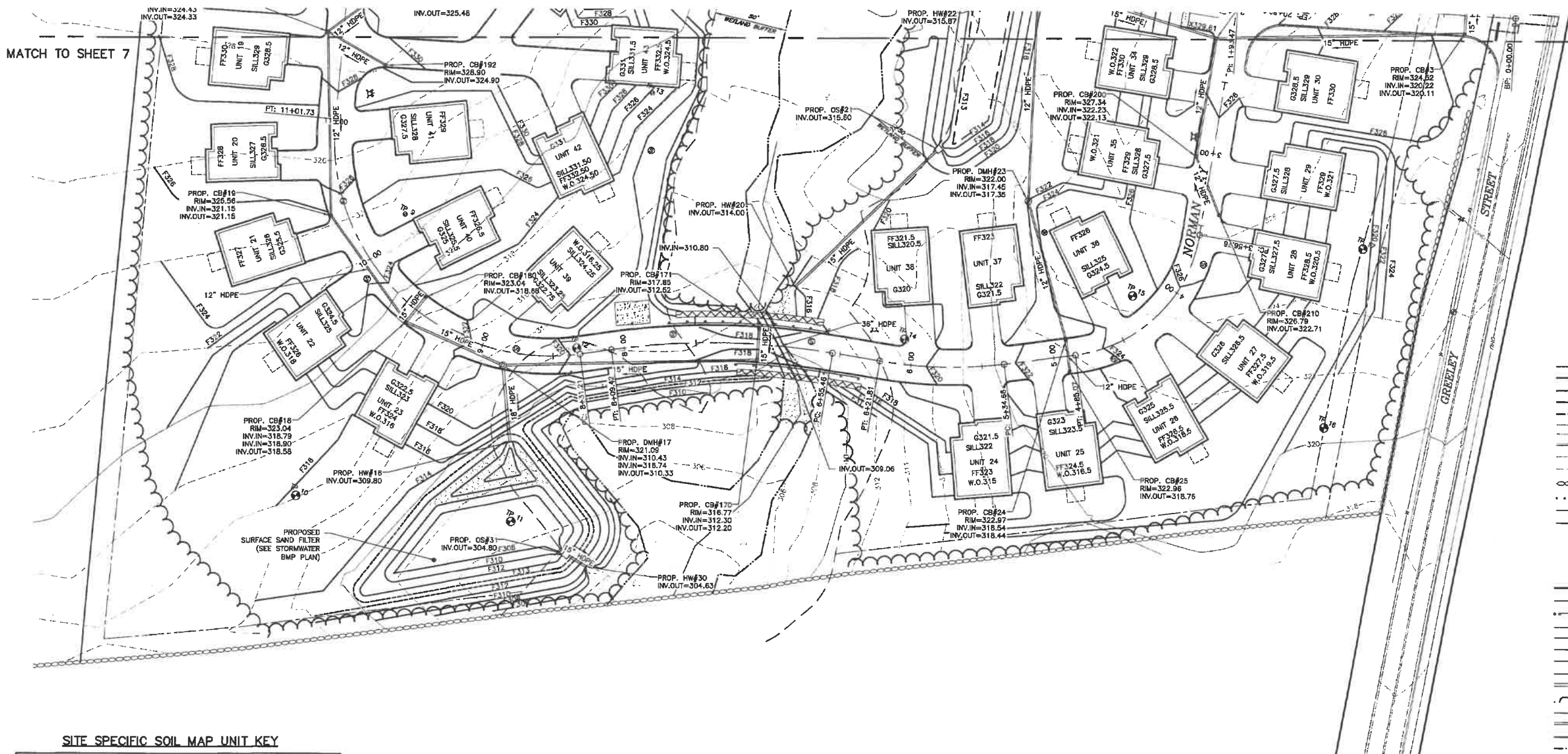
OWNER/APPLICANT:
K&M DEVELOPERS, LLC
46 LOWELL ROAD
HUDSON, N.H. 03051

K&M KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3E, Bedford, NH 03110 Phone (603) 627-2881

PAUL CHISHOLM
No. 15078
LICENSED PROFESSIONAL ENGINEER
STATE OF NEW HAMPSHIRE

REVISIONS		
No.	DATE	DESCRIPTION

DATE: JUNE 1, 2021 SCALE: 1"=40'
PROJECT NO: 20-1001-1 SHEET 7 OF 29



SEE SHEET 1 FOR NOTES & REFERENCE PLANS

LEGEND

□ CB-F	GRANITE BOUND FOUND
● IPW-F	IRON PIN FOUND
⊙ DH-F	DRILL HOLE FOUND
⊙ IPP-F	IRON PIPE FOUND
⊙ RRS-F	RAILROAD SPIKE FOUND
⊙	UTILITY POLE
+	SIGN
+	LIGHT
---	ABUTTER LINE
---	PROPERTY LINE
---	STREAM
---	WETLAND
---	SWALE
---	OVERHEAD UTILITIES
---	EDGE OF PAVEMENT
---	VERTICAL GRANITE CURB
---	10' CONTOUR
---	2' CONTOUR
---	STONEWALL
---	SCS SOIL LINE
---	BUILDING SETBACK
---	EASEMENT
+	PROPOSED SIGN
+	PROPOSED LIGHT
⊙	PROPOSED SEWER MANHOLE
⊙	PROPOSED DRAINAGE MANHOLE
⊙	PROPOSED CATCH BASIN
---	PROPOSED PROPERTY LINE
---	PROPOSED CHAIN LINK FENCE
---	PROPOSED GUARDRAIL
---	PROPOSED OVERHEAD UTILITIES
---	PROPOSED UNDERGROUND UTILITIES
---	PROPOSED GAS LINE
---	PROPOSED WATER LINE
---	PROPOSED SEWER LINE
---	PROPOSED DRAINAGE LINE
---	PROPOSED TREELINE
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED VERTICAL GRANITE CURB
---	PROPOSED 2' CONTOUR
---	PROPOSED SWALE
---	PROPOSED RETAINING WALL
---	PROPOSED STONEWALL
---	EASEMENT

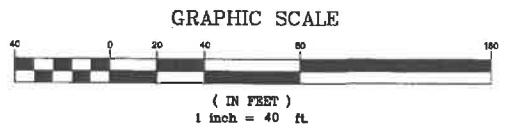
SITE SPECIFIC SOIL MAP UNIT KEY

SYMBOL	MAP UNIT	SLOPE CLASS	DRAINAGE CLASS
229B	UDORINTENTS, SMOOTH	0-8%	
448B	SCITUATE	0-8%	MODERATELY WELL
448C	SCITUATE	8-15%	MODERATELY WELL
449B	SCITUATE, VERY STONY	0-8%	MODERATELY WELL
449C	SCITUATE, VERY STONY	8-15%	MODERATELY WELL
657B	RIDGEBURY, VERY STONY	0-8%	VERY POOR

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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 _____ SIGNATURE DATE: _____
 _____ SIGNATURE DATE: _____
 SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



GRADING & DRAINAGE PLAN

HERITAGE LANDING

MAP 140 LOTS 2 & 3
 112 & 114 GREELEY STREET
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER/APPLICANT:
 K&M DEVELOPERS, LLC
 46 LOWELL ROAD
 HUDSON, N.H. 03051

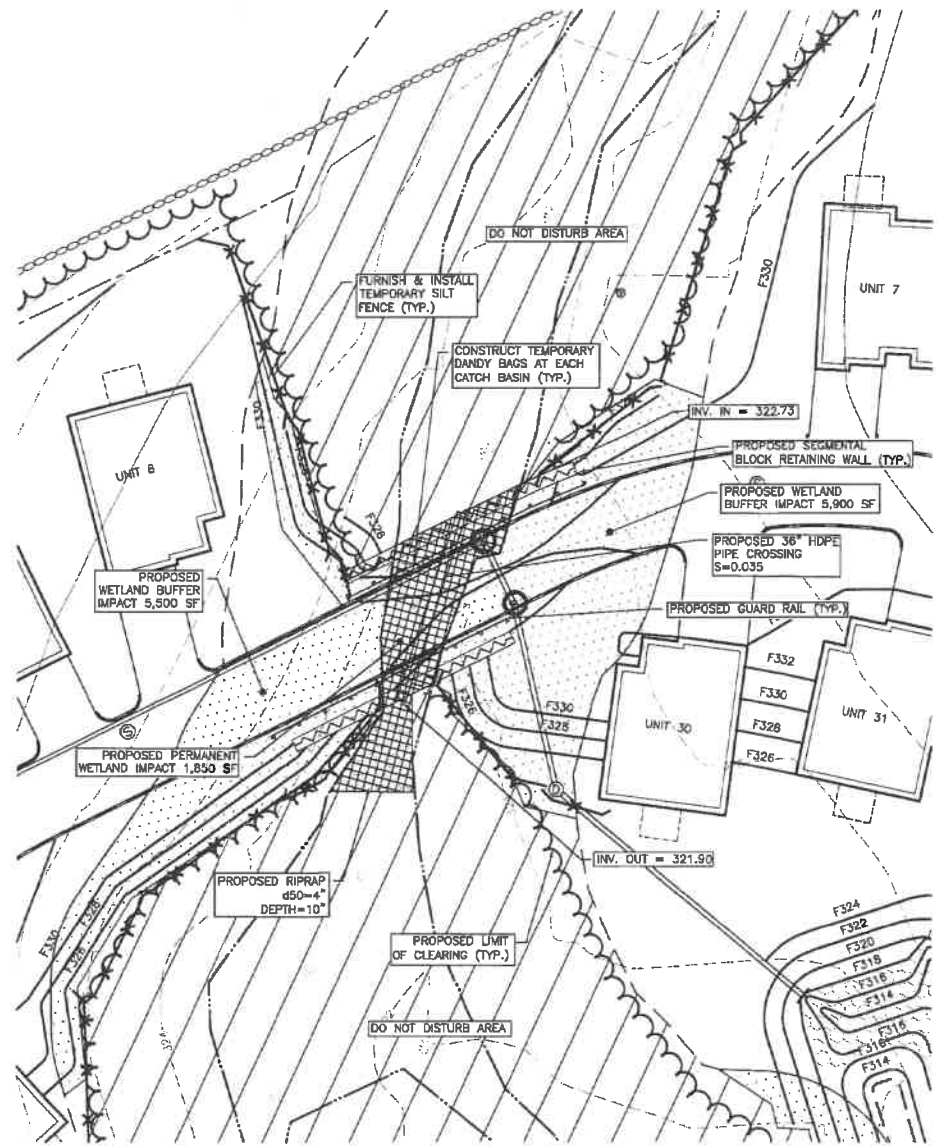
K&M KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



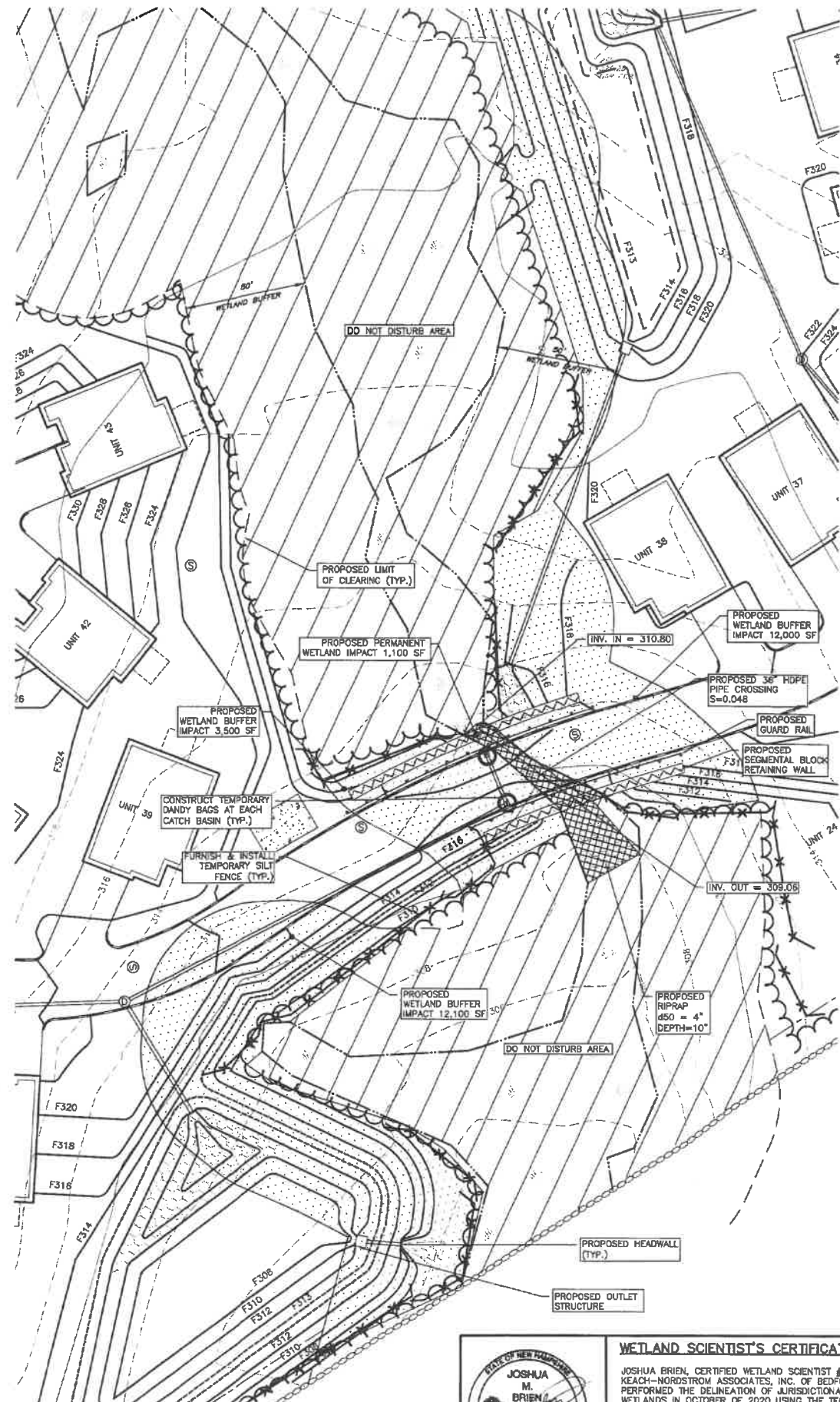
REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: JUNE 1, 2021 SCALE: 1"=40'
 PROJECT NO: 20-1001-1 SHEET 8 OF 29



NORTHERN ROADWAY CROSSING
SCALE: 1" = 30'

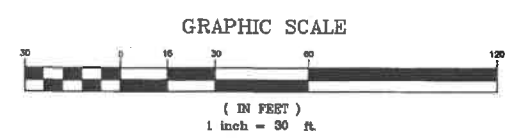


SOUTHERN ROADWAY CROSSING
SCALE: 1" = 30'

- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE PERMANENT WETLAND AND WETLAND BUFFER IMPACTS ASSOCIATED WITH THE CONSTRUCTION OF TWO ROADWAY WETLAND CROSSINGS AND TWO STORMWATER PONDS.
 2. WETLAND MAPPING PERFORMED BY JOSHUA BRIEN CWS#256 IN OCTOBER OF 2020.
 3. TOTAL PERMANENT WETLAND IMPACT = 2,950 SF
TOTAL WETLAND BUFFER IMPACT = 38,000 SF
 4. PROPER EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED (I.E. SILT FENCE, HAY BALES, ETC.) PRIOR TO COMMENCING EXCAVATION EFFORTS. THE CONTROLS SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL COMPLETION OF CONSTRUCTION. THE TOWN OF HUDSON RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION, IF NECESSARY.
 5. TEMPORARY EROSION CONTROLS SHALL BE REMOVED UPON FINAL STABILIZATION OF DISTURBED AREAS.
 6. THE CONTRIBUTING WATERSHED AREA FOR THE ON-SITE WETLAND IS 12.8 ACRES.



- LEGEND**
- SB-F STONE BOUND FOUND
 - IPP-F IRON PIPE FOUND
 - IP-F IRON PIN FOUND
 - DH-F DRILL HOLE FOUND
 - ⊕ BENCHMARK
 - ⊕ UTILITY POLE
 - ⊕ WATER VALVE
 - ⊕ HYDRANT
 - ABUTTER LINE
 - PROPERTY LINE
 - WETLAND
 - WETLAND BUFFER
 - OHU OVERHEAD UTILITIES
 - GAS LINE
 - WATER LINE
 - TREE LINE
 - EGP EDGE OF PAVEMENT
 - 10' CONTOUR
 - 2' CONTOUR
 - STONE WALL
 - SCS SOIL LINE
 - SSSM SOIL LINE
 - SETBACK
 - ▨ WETLAND BUFFER IMPACT
 - ▩ PERMANENT WETLAND IMPACT



- EROSION & SEDIMENT CONTROL LEGEND**
- ▨ PERMANENT OUTLET PROTECTION APRON (RIP RAP)
 - DANDY BAGS
 - X — SILT FENCE
 - W — LIMITS OF CLEARING
 - NON DISTURBANCE AREA

- LOAM & SEED ALL DISTURBED AREAS (TYP.)
- FURNISH & INSTALL EROSION CONTROL BLANKETS ON ALL SLOPES 3:1 OR STEEPER (TYP.)
- FOR CONSERVATION COMMISSION ONLY (NOT FOR CONSTRUCTION)



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____

SIGNATURE _____ SIGNATURE DATE _____

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WETLAND SCIENTIST'S CERTIFICATION:

JOSHUA BRIEN, CERTIFIED WETLAND SCIENTIST #256 OF KEACH-NORDSTROM ASSOCIATES, INC. OF BEDFORD, NH PERFORMED THE DELINEATION OF JURISDICTIONAL WETLANDS IN THE CORES OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1, JANUARY 1987).

Joshua M. Brien
CERTIFIED WETLAND SCIENTIST

7/12/2021
DATE



REVISIONS			
No.	DATE	DESCRIPTION	BY
1	7/12/21	REVISED PER TOWN COMMENTS	ACL

DATE: JUNE 1, 2021
PROJECT NO: 20-1001-1

SCALE: 1" = 30'
SHEET 21 OF 29

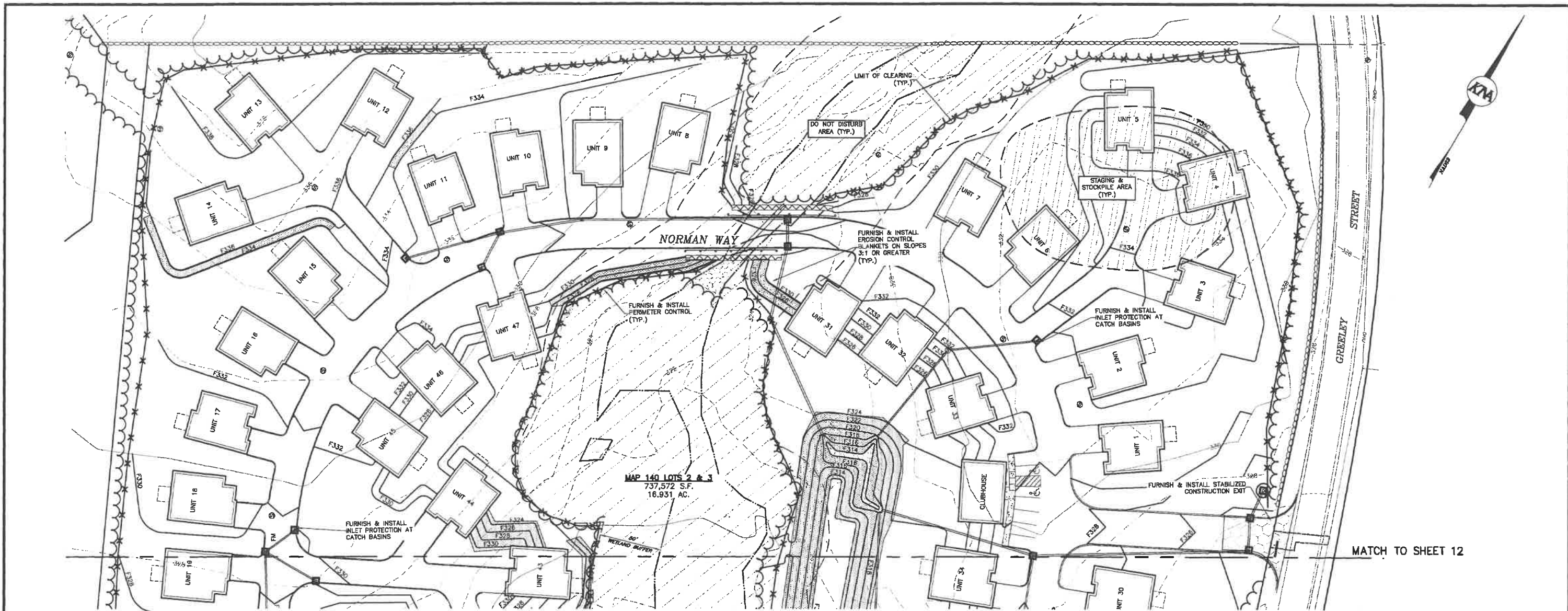
WETLAND/WETLAND BUFFER IMPACT PLAN

HERITAGE LANDING

MAP 140 LOTS 2 & 3
112 & 114 GREELEY STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER/APPLICANT:
K&M DEVELOPERS, LLC
46 LOWELL ROAD
HUDSON, N.H. 03051
BK. 9411 PG. 2460

K&M KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 887-8881



MATCH TO SHEET 12

LEGEND

□ GB-F	GRANITE BOUND FOUND	— OHU	PROPOSED OVERHEAD UTILITIES
○ IPIN-F	IRON PIN FOUND	— UGU	PROPOSED UNDERGROUND UTILITIES
● DH-F	DRILL HOLE FOUND	— G	PROPOSED GAS LINE
○ IPP-F	IRON PIPE FOUND	— W	PROPOSED WATER LINE
▲ RRS-F	RAILROAD SPIKE FOUND	— S	PROPOSED SEWER LINE
⊙	UTILITY POLE	— D	PROPOSED DRAINAGE LINE
—	SIGN	— T	PROPOSED TREELINE
—	LIGHT	—	PROPOSED EDGE OF PAVEMENT
—	ABUTTER LINE	—	PROPOSED VERTICAL GRANITE CURB
—	PROPERTY LINE	—	PROPOSED 2' CONTOUR
—	STREAM	—	PROPOSED SWALE
—	WETLAND	—	PROPOSED RETAINING WALL
—	SWALE	—	PROPOSED STONEWALL
—	OVERHEAD UTILITIES	—	EASEMENT
—	EDGE OF PAVEMENT		
—	VERTICAL GRANITE CURB		
—	10' CONTOUR		
—	2' CONTOUR		
—	STONEWALL		
—	SCS SOIL LINE		
—	BUILDING SETBACK		
—	EASEMENT		
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—	PROPOSED SEWER MANHOLE		
—	PROPOSED DRAINAGE MANHOLE		
—	PROPOSED CATCH BASIN		
—	PROPOSED PROPERTY LINE		
—	PROPOSED CHAIN LINK FENCE		
—	PROPOSED GUARDRAIL		

EROSION & SEDIMENT CONTROL LEGEND

	PERMANENT OUTLET PROTECTION APRON (RIP RAP)
	TEMPORARY INLET PROTECTION AT ALL CATCH BASINS
	PERIMETER CONTROLS
	LIMITS OF CLEARING
	STABILIZED CONSTRUCTION EXIT
	NON DISTURBANCE AREA
	STAGING AND STOCKPILE AREA
	EROSION CONTROL BLANKETS

EROSION CONTROL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES AS WELL AS THE PERMANENT EROSION CONTROL MEASURES.
2. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL, TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME.
3. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION, WHEN NECESSARY, SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
4. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
5. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
6. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
7. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
10. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.

SEE SHEET 1 FOR NOTES & REFERENCE PLANS

LOAM & SEED ALL DISTURBED AREAS (TYP.)

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

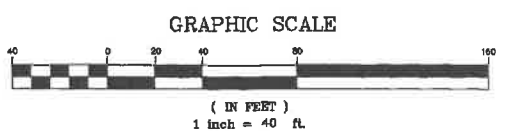
 SIGNATURE DATE: _____

 SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND, THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.



EROSION CONTROL PLAN
HERITAGE LANDING
 MAP 140 LOTS 2 & 3
 112 & 114 GREELEY STREET
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER/APPLICANT:
 K&M DEVELOPERS, LLC
 46 LOWELL ROAD
 HUDSON, N.H. 03051

K&M KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 2B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: JUNE 1, 2021 SCALE: 1"=40'
 PROJECT NO: 20-1001-1 SHEET 11 OF 29

MATCH TO SHEET 11



SEE SHEET 1 FOR NOTES & REFERENCE PLANS

LEGEND

- GB-F GRANITE BOUND FOUND
- IPIN-F IRON PIN FOUND
- ⊙ DH-F DRILL HOLE FOUND
- ⊙ IPP-F IRON PIPE FOUND
- ▲ RRS-F RAILROAD SPIKE FOUND
- ⊙ UTILITY POLE
- ⊙ SIGN
- ⊙ LIGHT
- ABUTTER LINE
- PROPERTY LINE
- STREAM
- WETLAND
- SWALE
- OHU OVERHEAD UTILITIES
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- SCS SOIL LINE
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- PROPOSED CHAIN LINK FENCE
- PROPOSED GUARDRAIL
- OHU PROPOSED OVERHEAD UTILITIES
- UGU PROPOSED UNDERGROUND UTILITIES
- G-G PROPOSED GAS LINE
- W-W PROPOSED WATER LINE
- S-S PROPOSED SEWER LINE
- PROPOSED DRAINAGE LINE
- PROPOSED TREELINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED VERTICAL GRANITE CURB
- PROPOSED 2' CONTOUR
- PROPOSED SWALE
- PROPOSED RETAINING WALL
- PROPOSED STONEWALL
- EASEMENT



LOAM & SEED ALL DISTURBED AREAS (TYP.)

SEE SHEET 11 FOR EROSION CONTROL NOTES & LEGEND

EROSION CONTROL PLAN
HERITAGE LANDING

MAP 140 LOTS 2 & 3
112 & 114 GREELEY STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER/APPLICANT:
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46 LOWELL ROAD
HUDSON, N.H. 03051

K&M KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JUNE 1, 2021 SCALE: 1"=40'
PROJECT NO: 20-1001-1 SHEET 12 OF 29

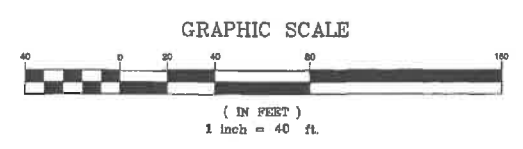
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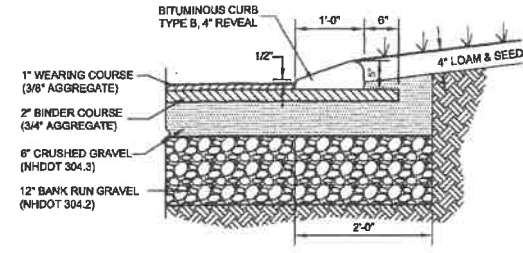
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE DATE: _____
SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

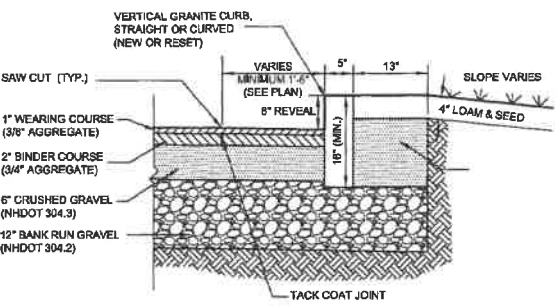
NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND. THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.

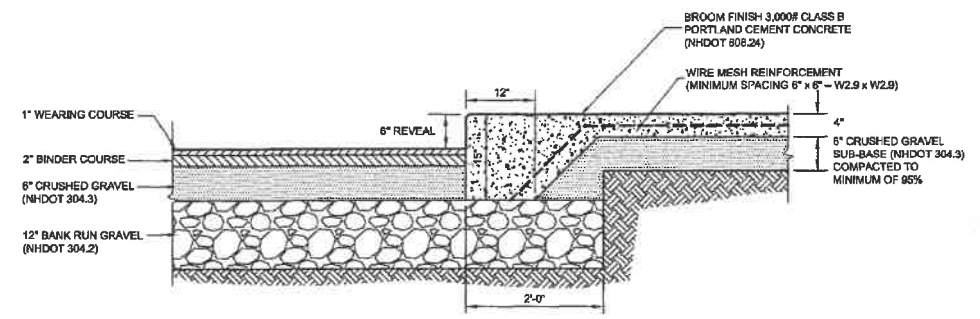




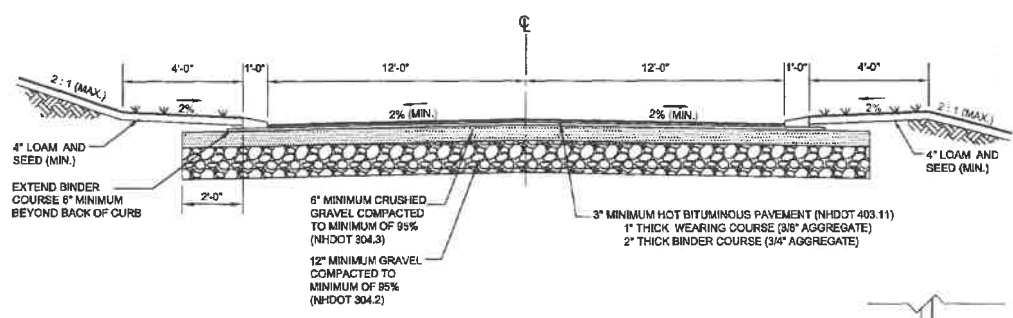
BITUMINOUS CURB TYPE B DETAIL
NOT TO SCALE
(MARCH 2008)



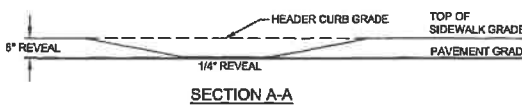
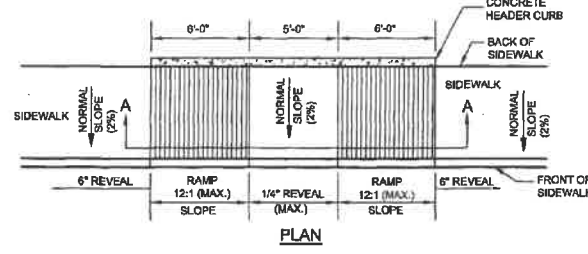
VERTICAL GRANITE CURB DETAIL
NOT TO SCALE
(MARCH 2008)



INTEGRAL CURB AND WALK DETAIL
NOT TO SCALE
(MARCH 2008)

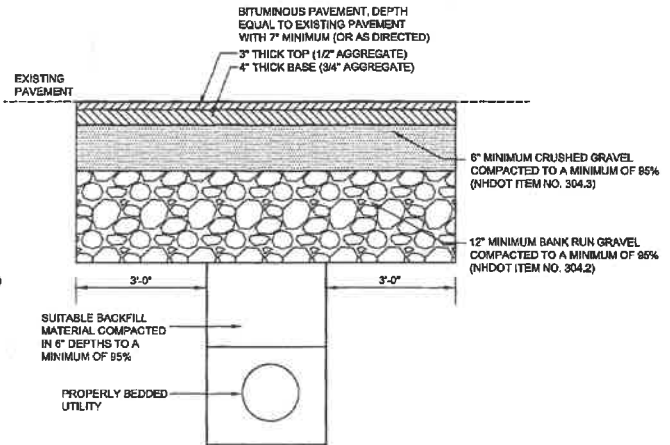


PRIVATE ROADWAY SECTION
NOT TO SCALE
(MARCH 2008)

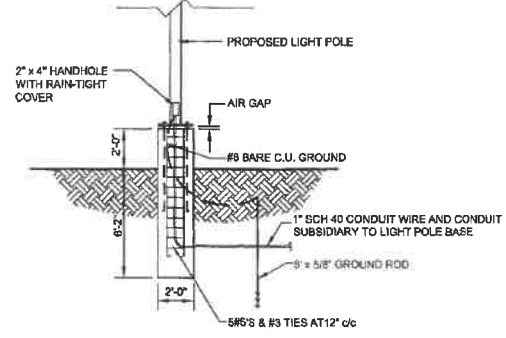


- NOTES:**
1. A BROOM FINISH TRANSVERSE TO THE SLOPE OF THE RAMP SHALL BE USED ON PORTLAND CEMENT CONCRETE RAMPS.
 2. MAINTAIN THE NORMAL PAVEMENT PROFILE THROUGHOUT THE RAMP AREA.
 3. MAINTAIN A MAXIMUM 1/4\"/>

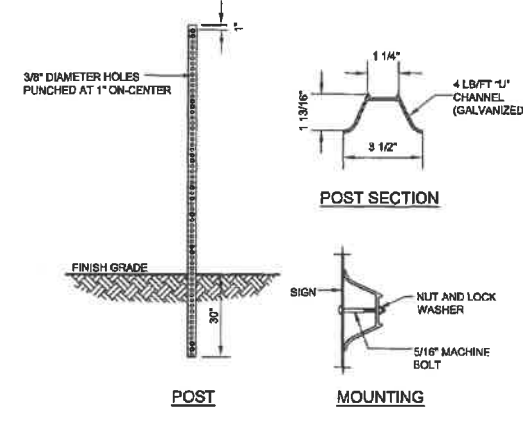
SIDEWALK RAMP
NOT TO SCALE
(JUNE 2012)



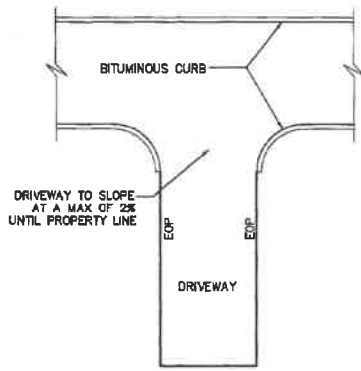
PERMANENT PAVEMENT REPAIR IN PUBLIC RIGHT OF WAY
NOT TO SCALE



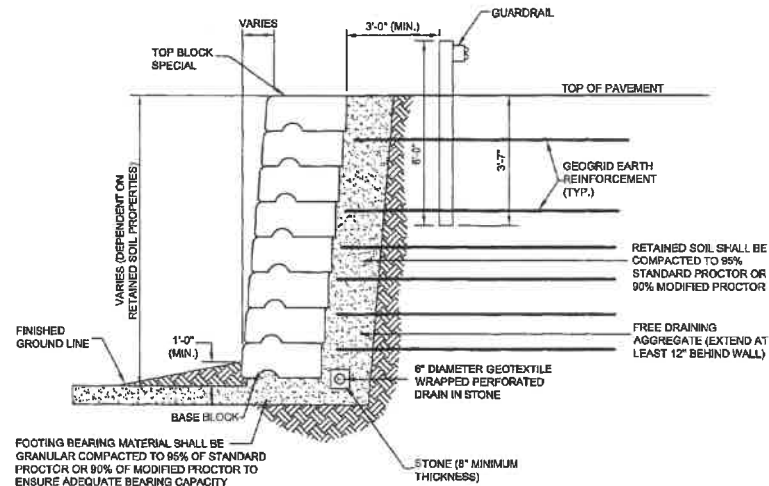
CONCRETE LIGHT POLE BASE DETAIL
NOT TO SCALE
(MARCH 2008)



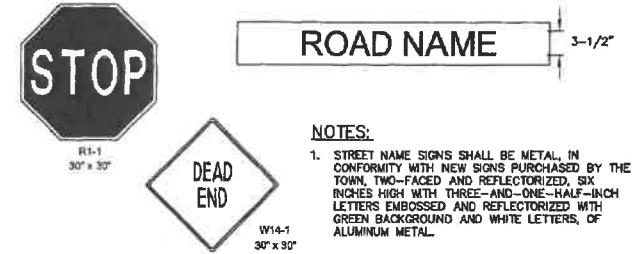
STEEL SIGN POST DETAIL
NOT TO SCALE
(MARCH 2008)



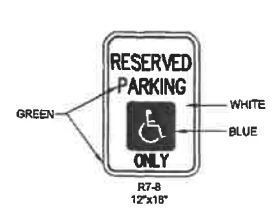
RAMP DETAIL AT DRIVEWAY
NOT TO SCALE



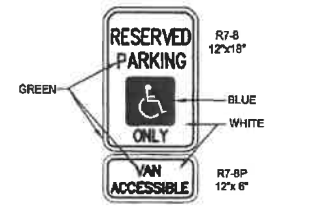
REDI-ROCK RETAINING WALL WITH GUARDRAIL
(TO BE DESIGNED BY OTHERS)
NOT TO SCALE
(SEPTEMBER 2010)



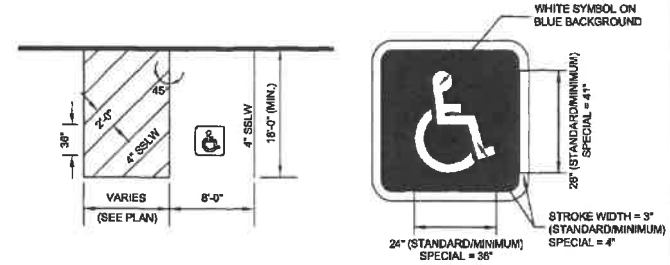
TYPICAL SIGN PLATE DETAILS
NOT TO SCALE



HANDICAP PARKING SIGN DETAIL
NOT TO SCALE
(MARCH 2008)



VAN ACCESSIBLE HANDICAP PARKING SIGN DETAIL
NOT TO SCALE
(NOVEMBER 2016)



HANDICAP STRIPING DETAIL
NOT TO SCALE
(MARCH 2012)



STOP BAR DETAIL
NOT TO SCALE

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

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CONSTRUCTION DETAILS
HERITAGE LANDING

MAP 140 LOTS 2 & 3
112 & 114 GREELEY STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

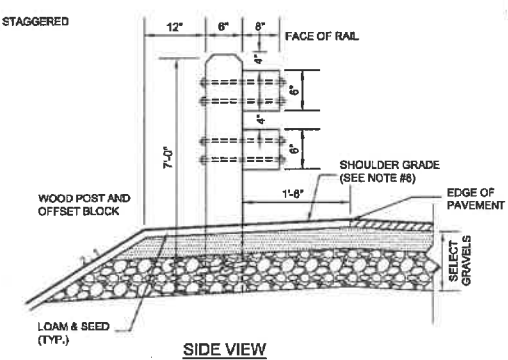
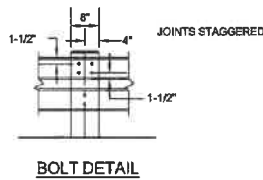
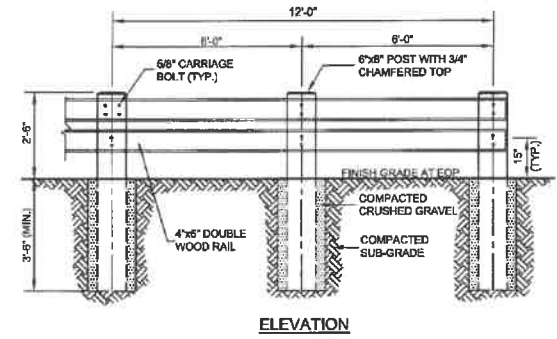
OWNER/APPLICANT:
K&M DEVELOPERS, LLC
46 LOWELL ROAD
HUDSON, N.H. 03051

KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 687-2881

REVISIONS

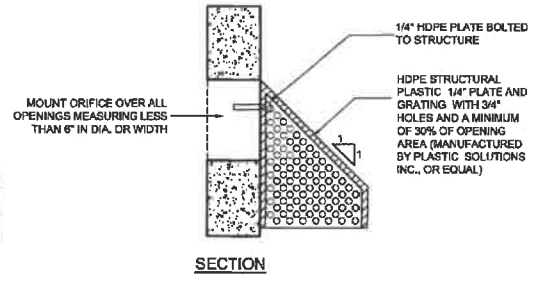
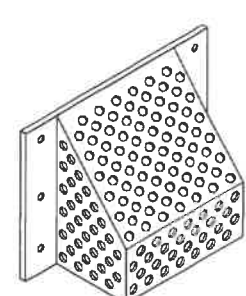
No.	DATE	DESCRIPTION	BY

DATE: JUNE 1, 2021 SCALE: AS SHOWN
PROJECT NO: 20-100-1 SHEET 23 OF 29



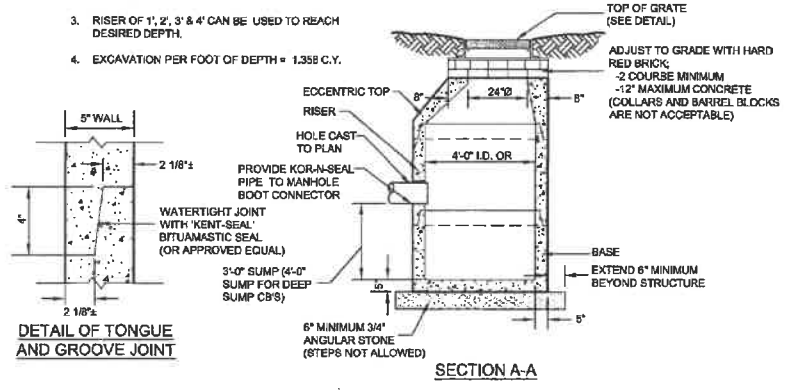
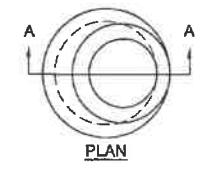
- NOTES:**
1. ALL TIMBERS SHALL BE PRESSURE TREATED.
 2. PAY LIMIT = PER LINEAR FOOT INCLUDING END SECTION.
 3. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED.

WOOD BEAM GUARDRAIL
NOT TO SCALE
(AUGUST 2011)

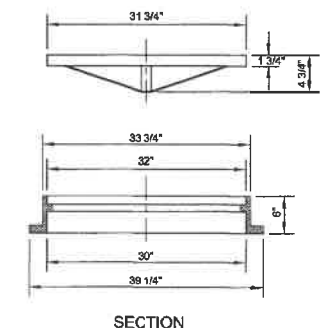
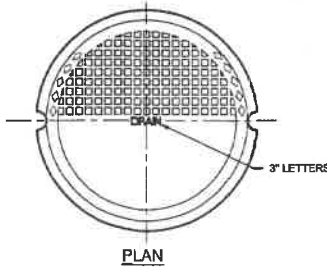


TRASH RACK DETAIL
NOT TO SCALE

- NOTES:**
1. ALL SECTIONS SHALL BE CONCRETE CLASS AA(4000 PSI). CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCH PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
 2. THE TONGUE OR GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCH PER LINEAR FOOT.
 3. RISER OF 1', 2', 3' & 4' CAN BE USED TO REACH DESIRED DEPTH.
 4. EXCAVATION PER FOOT OF DEPTH = 1.358 C.Y.

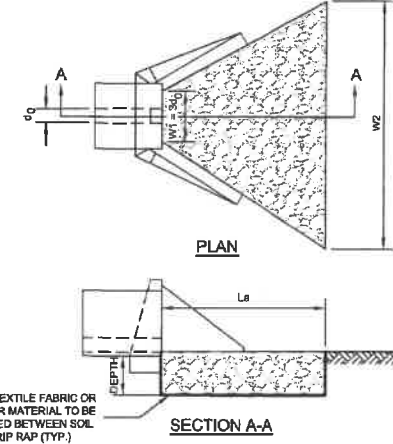


PRECAST REINFORCED CATCH BASIN
NOT TO SCALE
(MARCH 2008)



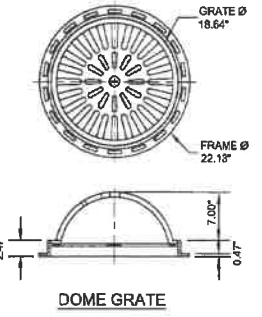
DRAIN MANHOLE FRAME AND COVER DETAIL
NOT TO SCALE
(MARCH 2008)

- NOTES:**
NEW HAMPSHIRE MAINTAINS A CLEAR OPENING DESIGNATION OF 30" FOR ITS MANHOLE CASTINGS.
- FEATURES:**
- 3" LETTERING
 - COVERS AVAILABLE PLAIN OR MARKED SEWER, DRAIN OR WATER
 - NONROCKING COVER
 - DIAMOND SURFACE DESIGN
- SPECIFICATIONS:**
- FULLY MACHINED FRAME AND COVER
 - H-20 LOAD RATED
 - GRAY CAST IRON MEETS ASTM A48 CLASS 30

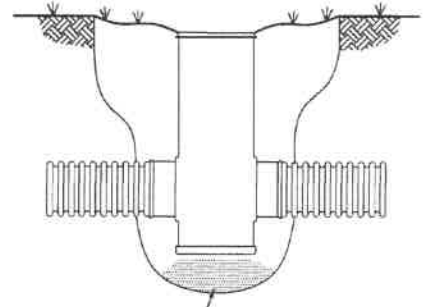


PIPE OUTLET TO FLAT AREA WITH NO DEFINED CHANNEL
NOT TO SCALE

LOCATION	La	W1	W2	d50	DEPTH
N. PIPE	30'	9'	21'	4"	10"
S. PIPE	35'	8'	23'	4"	10"
HWB1	15'	10'	10'	4"	10"
HWF14	30'	10'	10'	4"	10"
HWF16	31'	4'	4'	4"	10"

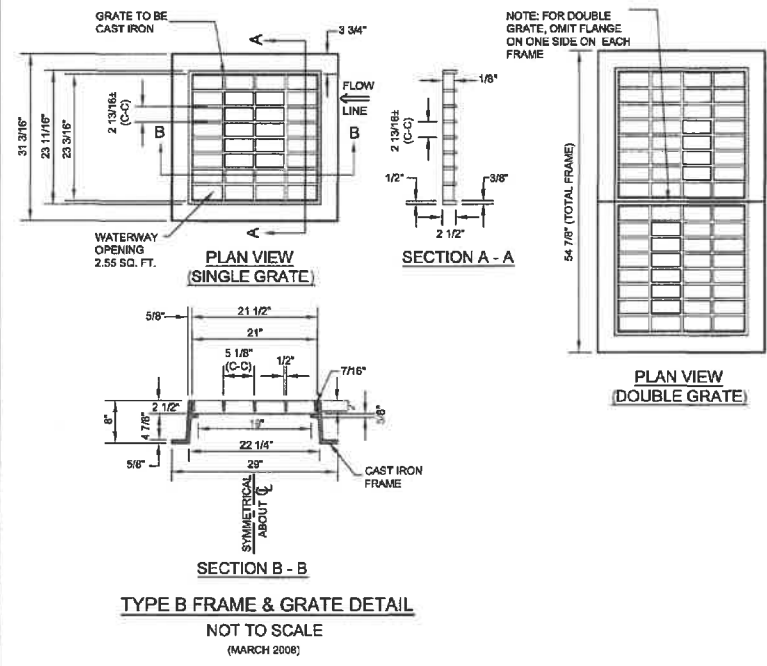


NYLOPLAST NEW STYLE 18" AREA DRAIN GRATE
NOT TO SCALE

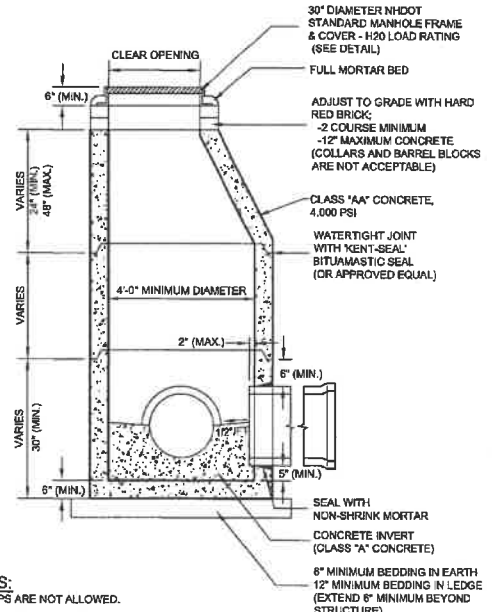


BACKFILL MATERIAL SHALL BE CRUSHED STONE OR GRAVEL MATERIAL MEETING CLASS 1 OR 2 AS SPECIFIED IN ASTM D2321. BACKFILL MATERIAL SHALL BE PLACED UNIFORMLY IN 12" LIFTS AND COMPACTED TO 90 - 95% DENSITY.

18" AREA DRAIN BASIN
NON-TRAFFIC INSTALLATION
NOT TO SCALE
(MARCH 2008)



TYPE B FRAME & GRATE DETAIL
NOT TO SCALE
(MARCH 2008)



- NOTES:**
1. STEPS ARE NOT ALLOWED.
 2. ALL SECTIONS SHALL BE CONCRETE CLASS AA (4,000 PSI). CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER L.F. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER OF THE WALL.
 3. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER L.F.
 4. MATERIALS AND CONSTRUCTION TO NHDOT STANDARDS.

PRECAST REINFORCED DRAIN MANHOLE DETAIL
NOT TO SCALE
(MARCH 2008)

TABLE 7.24 - RECOMMENDED RIP RAP GRADATION RANGES

PERCENT OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE
100%	1.5 TO 2.0 d50
85%	1.3 TO 1.8 d50
50%	1.0 TO 1.5 d50
15%	0.3 TO 0.5 d50

- CONSTRUCTION SPECIFICATIONS:**
1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 2. THE ROCK OR GRAVEL USED FOR FILTER OR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
- MAINTENANCE:**
- THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR RAIN EVENT. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED, OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

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CONSTRUCTION DETAILS
HERITAGE LANDING

MAP 140 LOTS 2 & 3
112 & 114 GREELEY STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

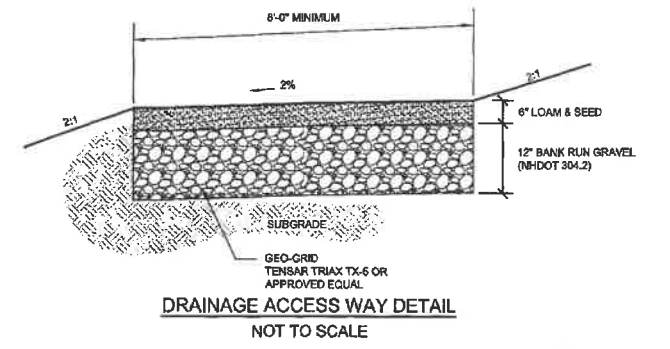
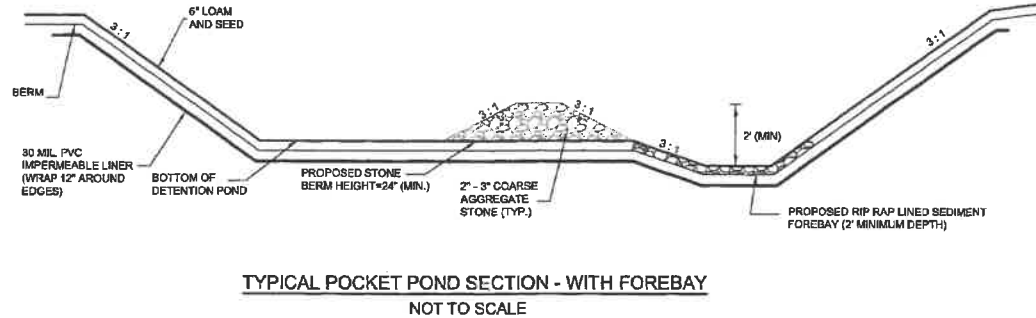
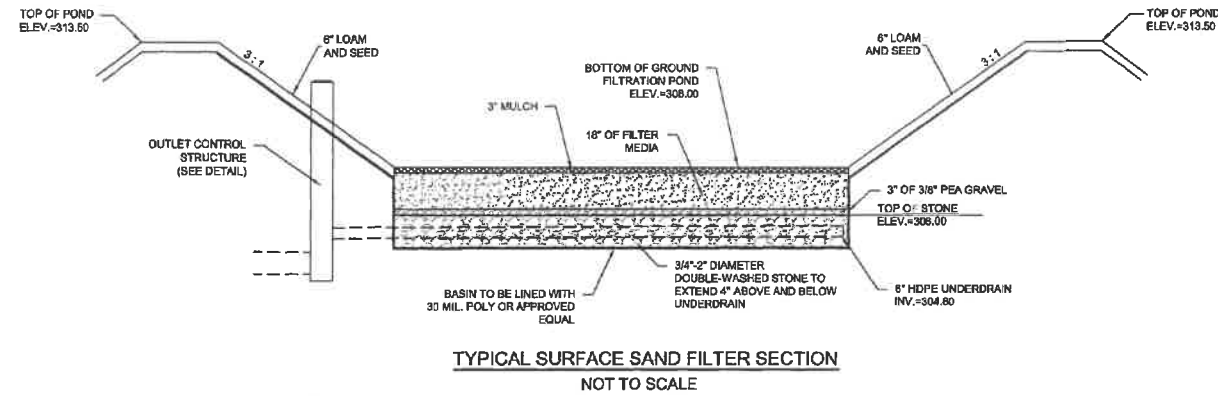
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K&M KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
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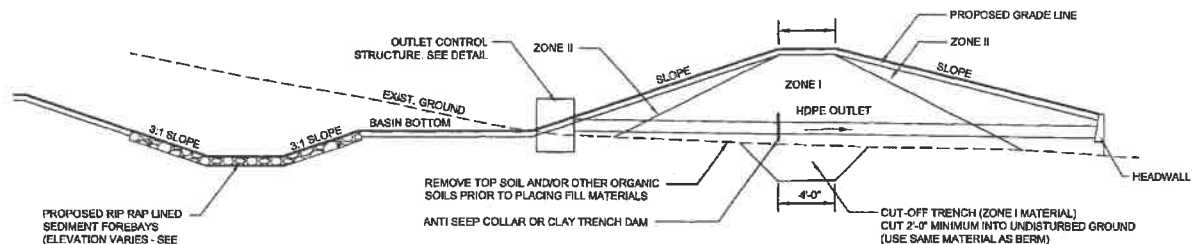
PAUL CHISHOLM
No. 19070
LICENSED PROFESSIONAL ENGINEER

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JUNE 1, 2021 SCALE: AS SHOWN
PROJECT NO: 20-1001-1 SHEET 24 OF 29



- NOTES**
1. ALL CEMENT CONCRETE TO BE 4,000 PSI MINIMUM.
 2. GALVANIZED STEEL GRATE SHALL BE BOLTED TO TOP OF STRUCTURE.
 3. ALL OPENINGS CAST IN AS REQUIRED.
 4. PRECAST REINFORCED CONCRETE STRUCTURE TO MEET ASTM C-478 DESIGNATION AND H-20 LOADING.



- STORMWATER PONDS CONSTRUCTION SEQUENCE**
1. CONTRACTOR TO NOTIFY DIS-SAFE 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 2. CUT AND CLEAR TREES AND BRUSH FROM CONSTRUCTION AREAS TO THE EXTENT NECESSARY. ALL BRANCHES, TOPS AND BRUSH TO BE PROPERLY DISPOSED OF BY CONTRACTOR.
 3. PRIOR TO GRUBBING OF CLEARED AREAS, ALL SILTATION BARRIERS DESIGNED FOR USE AS TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AS CALLED FOR ON PROJECT PLANS.
 4. COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR DEBRIS SHALL BE PROPERLY DISPOSED OF BY CONTRACTOR. ORGANIC MATERIAL SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED IN UPLAND AREAS. ALL STOCKPILES SHALL BE SEEDED WITH WINTER RYE AND, IF NECESSARY, SURROUNDED WITH HAY BALES IN ORDER TO PREVENT LOSS DUE TO EROSION.
 5. CONSTRUCT TEMPORARY CULVERTS AS NECESSARY TO FACILITATE CONSTRUCTION ACTIVITIES. ALL SUCH CROSSINGS SHALL BE PROTECTED WITH HAY BALE BARRIERS TO LIMIT EROSION.
 6. CONSTRUCT CUT-OFF TRENCH (PART OF ZONE I).
 7. CONSTRUCT OUTLET AND OVERFLOW STRUCTURE, CULVERT, ANTI SEEP COLLARS, HEADWALL, AND RIP RAP OUTLET PROTECTION AS SHOWN ON PLANS.
 8. CONSTRUCT ZONE I PORTION OF EARTH EMBANKMENT.
 9. CONSTRUCT ZONE II PORTION OF EARTH EMBANKMENT.
 10. APPLY TOPSOIL TO SLOPES AND OTHER AREAS DISTURBED BY CONSTRUCTION. TOPSOIL USED MAY BE NATIVE ORGANIC MATERIAL SCREENED SO AS TO BE FREE OF ROOTS, BRANCHES, STONES, AND OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL BE APPLIED SO AS TO PROVIDE A MINIMUM OF A 4-INCH COMPACTED THICKNESS. UPON COMPLETION OF TOPSOILING, FINISHED SECTIONS ARE TO BE LIMED, SEEDED AND MULCHED. CONSTRUCTION PERSONNEL SHALL INSPECT COMPLETED SECTIONS OF WORK ON A REGULAR BASIS AND REMEDY ANY PROBLEM AREAS UNTIL A HEALTHY STAND OF GRASS HAS BECOME ESTABLISHED.
 11. MAINTAIN, REPAIR, AND REPLACE AS NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL SUCH TIME AS THE ENTIRE CONSTRUCTION AREA HAS BEEN STABILIZED (A MINIMUM OF ONE WINTER SHALL HAVE PASSED).
 12. AFTER STABILIZATION, REMOVE AND SUITABLY DISPOSE OF TEMPORARY EROSION CONTROL MEASURES.
 13. MONITOR CONSTRUCTION ACTIVITIES TO INSURE CONSTRUCTION ACTIVITIES ARE BEING PERFORMED IN SUCH A WAY AS NOT TO ENDANGER THE INTEGRITY OF EARTH EMBANKMENTS, STORMWATER CONTROL STRUCTURE, CULVERT AND RIP RAP OUTLET PROTECTION.

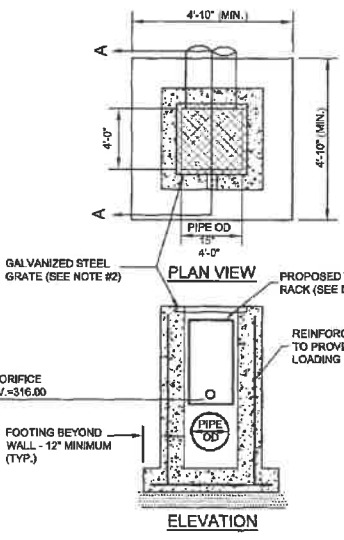
MATERIAL TYPE/SPECIFICATIONS

ZONE I
WELL GRADED MIXTURE OF GRAVEL, SAND, SILT OR CLAY WITH MAX. 6-INCH SIZE STONE AND GEADATION AS INDICATED BELOW. PLACE IN MAX. 12-INCH THICK LIFTS TO 95% OF MAX. DRY DENSITY IN ACCORDANCE WITH ASTM D1557. SCARIFY SURFACE PRIOR TO PLACING SUBSEQUENT LIFT. IN ADDITION, REMOVE ORGANIC SOILS.

SIEVE SIZE	PERCENT BY WEIGHT PASSING
6-INCH	100
NO. 4	50 TO 100
NO. 40	30 TO 70
NO. 200	20 TO 40

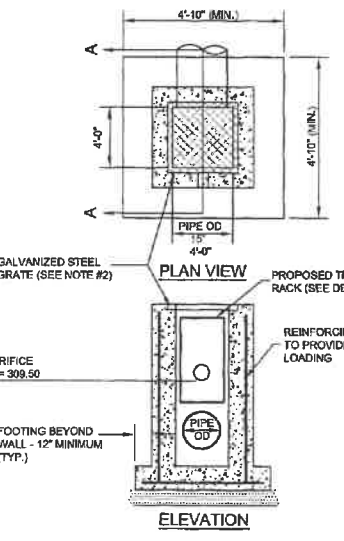
ZONE II
DRAINAGE LAYER: PLACE IN MAX. 12-INCH THICK LIFTS TO 95% OF MAX. DRY DENSITY IN ACCORDANCE WITH ASTM D1557.

SIEVE SIZE	PERCENT BY WEIGHT PASSING
1-INCH	100
NO. 4	70-100
NO. 200	6-12 (N SAND PORTION ONLY)

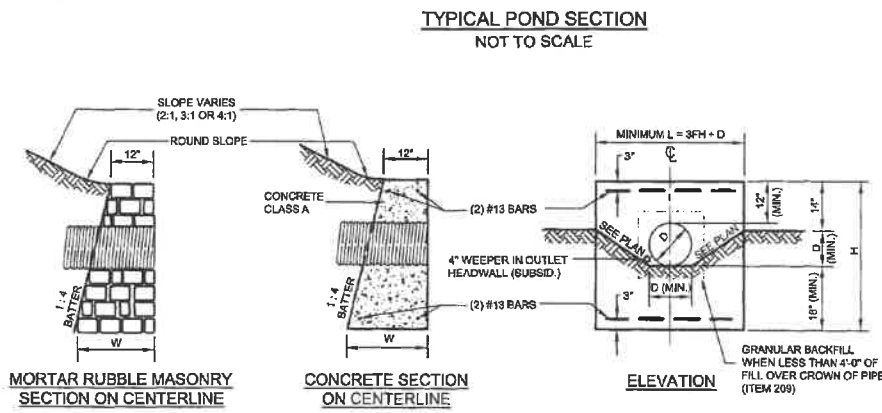
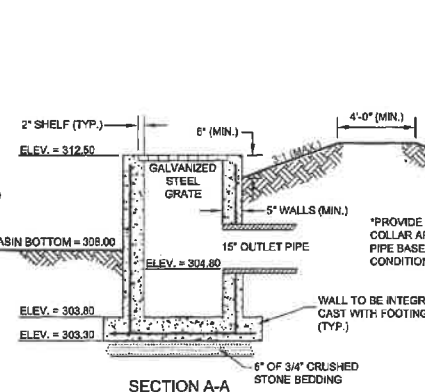


OUTLET STRUCTURE #21
NOT TO SCALE

- NOTES**
1. ALL CEMENT CONCRETE TO BE 4,000 PSI MINIMUM.
 2. GALVANIZED STEEL GRATE SHALL BE BOLTED TO TOP OF STRUCTURE.
 3. ALL OPENINGS CAST IN AS REQUIRED.
 4. PRECAST REINFORCED CONCRETE STRUCTURE TO MEET ASTM C-478 DESIGNATION AND H-20 LOADING.



OUTLET STRUCTURE #31
NOT TO SCALE



MORTAR RUBBLE MASONRY SECTION ON CENTERLINE

CONCRETE SECTION ON CENTERLINE

ELEVATION

NOTE:
DIMENSIONS SHOWN ARE TO PAYMENT LINES. MORTAR RUBBLE MASONRY TO BE STEPPED OUTSIDE PAYMENT LINES ON SLOPING FACES.

DIAMETER D (INCH)	AREA OF PIPE (SF)	MASONRY PER FOOT OF WALL (CU. YD.)	MASONRY PER HOLE (CU. FT.)	MASONRY PER STANDARD HEADER (CU. YD.)	STEEL PER STANDARD HEADER (LB)	LENGTH OF BARS	PIPE EXC. 1' DEPTH (CU. YD.)	HEADER EXC. 1' DEPTH (CU. YD.)	ITEM 209 PER LINEAR FOOT	HEADER LENGTH L	HEADER HEIGHT H	FILL HEIGHT FH	1\"/>		
													MASONRY PER FRUSTRUM (CU. YD.)	HEADER EXC. PER HEADER 1' DEPTH (CU. YD.)	
15"	1.73	0.292	1.73	0.85	11	3'-10"	0.120	0.347	0.35	4'-8"	3'-9"	1'-4"	1'-11 1/4"	0.31	1.232
18"	1.77	0.222	2.52	1.13	14	5'-2"	0.130	1.111	0.33	5'-6"	4'-9"	1'-4"	2'-0"	0.35	1.406
30"	4.81	0.381	7.67	2.58	29	8'-2"	0.168	1.810	0.65	9'-6"	5'-0"	2'-4"	2'-3"	0.51	2.184

NOTE: STEEL QUANTITIES ARE FOR CONCRETE HEADWALLS ONLY.

CONCRETE HEADWALLS
NOT TO SCALE

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HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

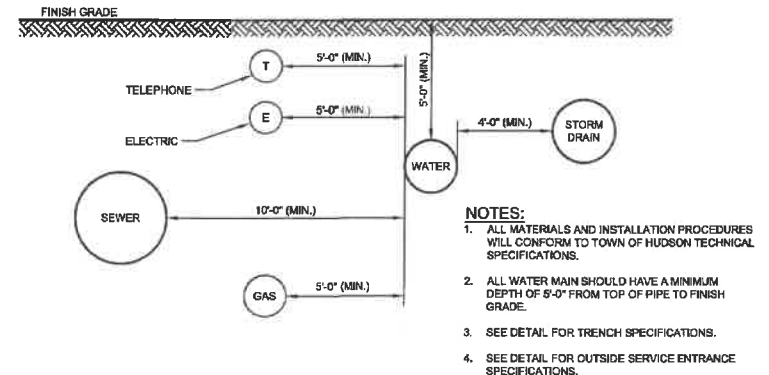
OWNER/APPLICANT:
K&M DEVELOPERS, LLC
48 LOWELL ROAD
HUDSON, N.H. 03051

K&A KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

PAUL CHISHOLM
No. 18076
LICENSED PROFESSIONAL ENGINEER

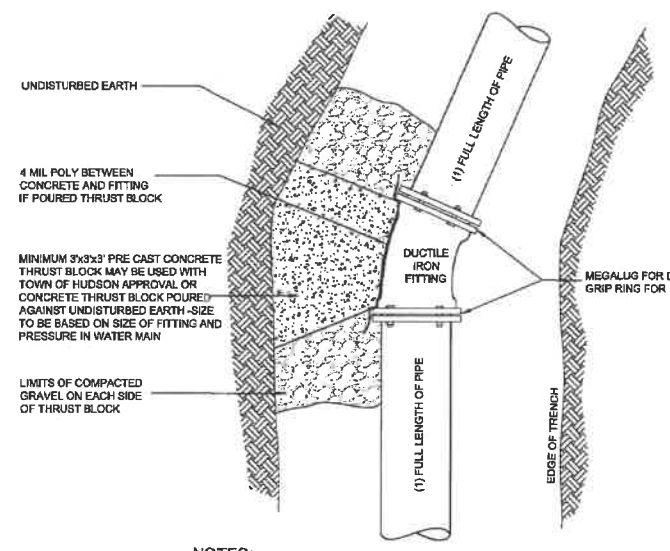
REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JUNE 1, 2021
PROJECT NO: 20-1001-1
SCALE: AS SHOWN
SHEET 25 OF 29



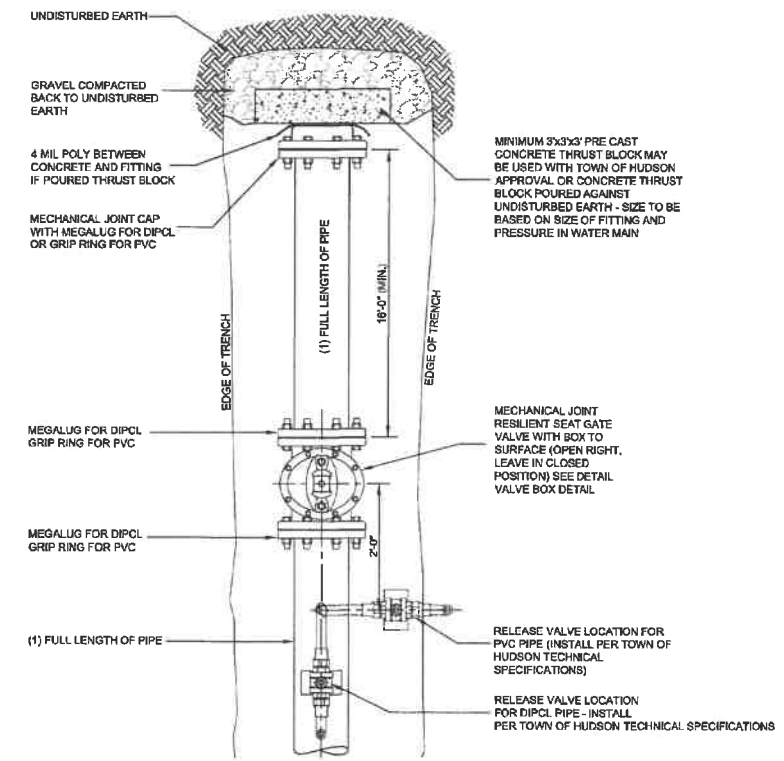
UTILITY SEPARATION (MAIN) DETAIL
(A-01)
NOT TO SCALE
(MARCH 2008)

- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
 2. ALL WATER MAIN SHOULD HAVE A MINIMUM DEPTH OF 8'-0" FROM TOP OF PIPE TO FINISH GRADE.
 3. SEE DETAIL FOR TRENCH SPECIFICATIONS.
 4. SEE DETAIL FOR OUTSIDE SERVICE ENTRANCE SPECIFICATIONS.



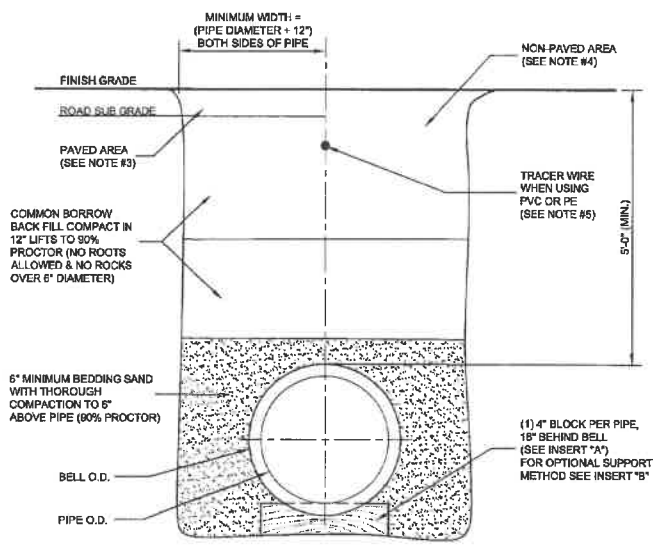
- NOTES:**
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
 3. 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS. 10" FITTING OR SMALLER = (2) 3/4" S.S. RODS & ASSOCIATED HARDWARE. 12" FITTING OR LARGER = (4) 3/4" S.S. RODS & ASSOCIATED HARDWARE.
 4. MIN 3"x3"x3" PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH TOWN OF HUDSON APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN.

THRUST BLOCK BEHIND FITTINGS INSTALLATION
(A-07)
NOT TO SCALE
(MARCH 2008)

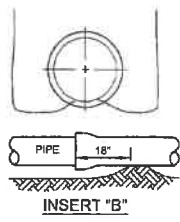


- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.

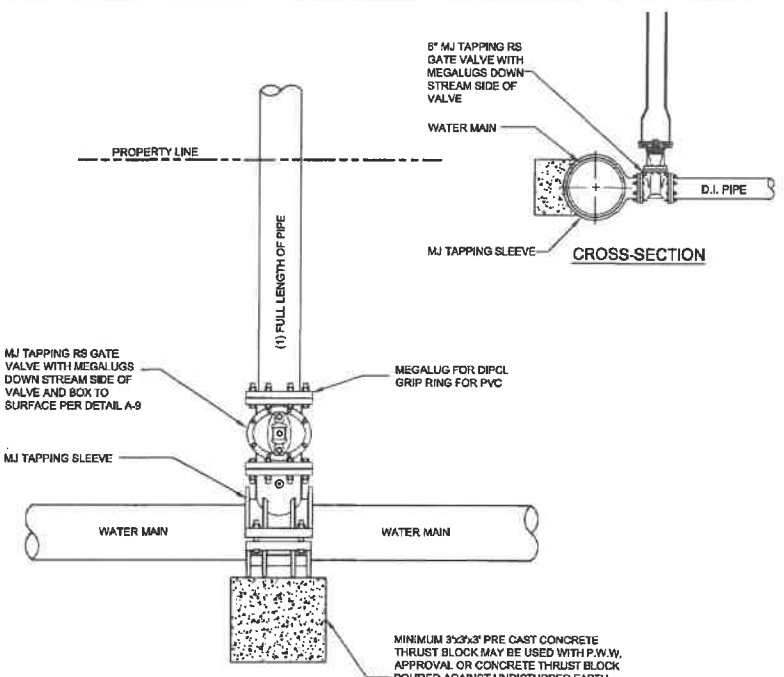
END OF MAIN INSTALLATION
(A-08)
NOT TO SCALE
(MARCH 2008)



- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
 3. REQUIREMENTS FOR SUBBASE AND BASE MATERIAL TYPE ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN PAVED AREAS.
 4. REQUIREMENTS FOR GRAVEL, LOAM AND/OR SEED ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN NON-PAVED AREAS.
 5. 10 GAUGE TRACER WIRE AS MANUFACTURED BY BMS, DIVISION OF ALBEMAR CORP., AVON, MA OR EQUIVALENT.

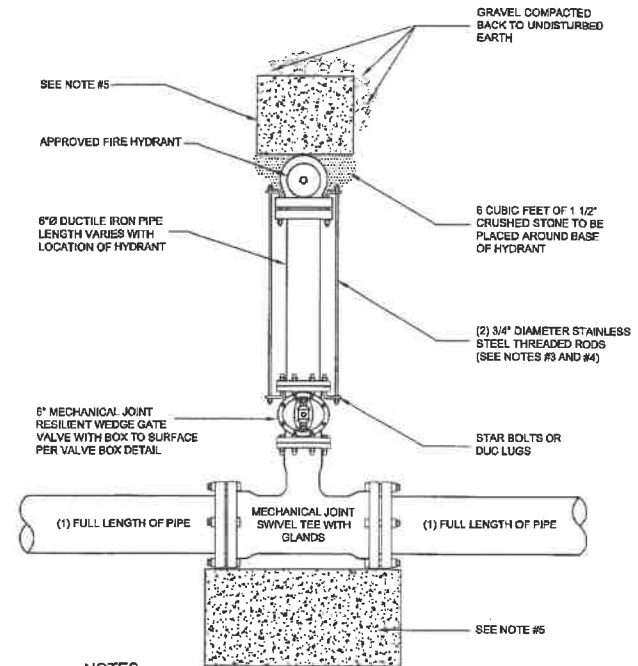


TRENCH DETAIL
(A-02)
NOT TO SCALE
(MARCH 2008)



- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.

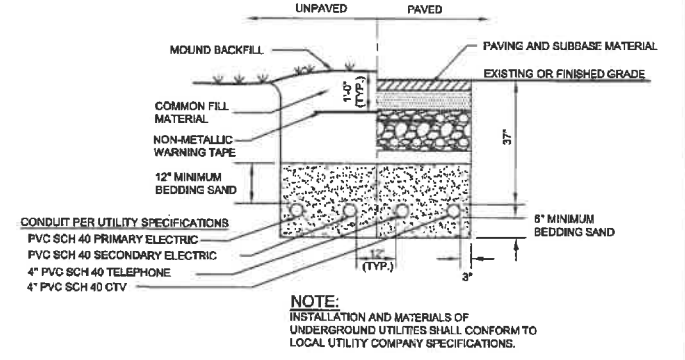
LARGE SERVICE AND/OR TAPPING SLEEVE DETAIL
(A-21)
NOT TO SCALE
(MARCH 2008)



- NOTES:**
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO THE TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
 3. 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS. 10" FITTING OR SMALLER = (2) 3/4" S.S. RODS & ASSOCIATED HARDWARE. 12" FITTING OR LARGER = (4) 3/4" S.S. RODS & ASSOCIATED HARDWARE.
 4. WHEN DISTANCE FROM WATER MAIN TO HYDRANT IS MORE THAN 10'-0" SUBSTITUTE MEGALUGS (OR GRIP RINGS) IN LIEU OF THREADED RODS.
 5. MINIMUM 3"x3"x3" PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH TOWN OF HUDSON APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE THRUST BLOCK BEHIND FITTINGS DETAIL.

HYDRANT INSTALLATION
(A-10)
NOT TO SCALE
(MARCH 2008)

- CONSTRUCTION NOTES:**
1. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. IN THE EVENT THAT A DISCREPANCY FROM THE INFORMATION SHOWN ON THESE PLANS IS FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO RESOLVE THE SITUATION.
 2. PRIOR TO CONSTRUCTION, CONTACT DIG SAFE CENTER, TOLL FREE 811. NEW HAMPSHIRE STATE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE DIGGING OPERATIONS START. IF AN EMERGENCY, CALL IMMEDIATELY.
 3. ALL WORKMANSHIP AND MATERIALS INCORPORATED INTO THE CONSTRUCTION OF ROADS AND DRAINAGE SHOWN HEREON SHALL CONFORM WITH THE STANDARDS OF THE TOWN OF HUDSON ENGINEERING DEPARTMENT AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS PUBLISHED AND AMENDED BY THE N.H.D.O.T.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENT CONTROL DEVICES, AS SHOWN IN THESE PLANS, THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE NHDES STANDARDS. THE EROSION CONTROL MEASURES PROVIDED SHALL BE AS A GUIDE ONLY AND SHALL BE CONSIDERED A MINIMUM STANDARD. CONTRACTOR SHALL IMPLEMENT ANY AND ALL ADDITIONAL MEASURES AS FIELD CONDITIONS DICTATE OR AS REQUIRED BY LOCAL OR STATE GUIDELINES. ALL EROSION CONTROL SHALL BE MAINTAINED AND/OR REPLACED IF DAMAGED.
 5. THE CONTRACTOR SHALL STABILIZE ALL DITCHES, SWALES AND PONDS PRIOR TO DIRECTING STORM WATER RUN-OFF TO THEM.
 6. SILT SOXX TO BE CONSTRUCTED AS IDENTIFIED ON THIS PLAN. SILT SOXX BARRIERS TO BE CHECKED WEEKLY AND/OR AFTER LARGE STORM EVENTS. ALL SILT MATERIAL TO BE DAMAGED SILT SOXX SHALL BE REINSTALLED IMMEDIATELY.
 7. SLOPE STABILIZATION METHODS SHALL BE PROVIDED IN ACCORDANCE WITH THE NHDES SITE SPECIFIC PERMIT OR AS FIELD CONDITIONS DICTATE. SLOPE STABILIZATION SHALL BE PROVIDED ON ALL SLOPES 3:1 AND GREATER AS A MINIMUM STANDARD. PROVIDE SLOPE STABILIZATION ON SLOPES LESS THAN 3:1 IF WARRANTED, AS FIELD CONDITIONS DICTATE.
 8. THE DRAINAGE DESIGN AND EROSION CONTROL MEASURES AS PROPOSED MEET ALL TOWN AND STATE REQUIREMENTS AND BEST MANAGEMENT PRACTICES AS PROMULGATED BY THE NHDES.
 9. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
 10. TOPSOIL SHALL BE REMOVED FOR ITS TOTAL DEPTH WITHIN THE LIMITS OF GRADING, UNLESS OTHERWISE DIRECTED. THE TOPSOIL SHALL BE STOCKPILED AND USED IN ITS ENTIRETY. STOCKPILE SOIL IN ACCORDANCE WITH NHDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION).
 11. UNSUITABLE MATERIAL, ROOTS, AND STUMPS WITHIN THE LIMITS OF WORK SHALL BE REMOVED FROM THE SITE AS ORDERED. DISPOSAL OF SUCH MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES AS APPLICABLE OR AS DIRECTED.
 12. THE SUBGRADE SHALL BE SCARIFIED TO ASSURE THAT ALL BOULDERS AND COBBLES OVER 6" ARE REMOVED PRIOR TO SHAPE, GRADE, AND COMPACTION ACTIVITIES.
 13. ALL WORKMANSHIP AND MATERIALS INCORPORATED INTO THE CONSTRUCTION OF ELECTRIC LINES SHALL CONFORM WITH THE STANDARDS OF THE OWNING UTILITY COMPANY.
 14. ALL WORKMANSHIP AND MATERIALS INCORPORATED INTO THE CONSTRUCTION OF TELEPHONE LINES SHALL CONFORM WITH THE STANDARDS OF THE OWNING TELEPHONE COMPANY.
 15. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND WITHIN THE CONSTRUCTION AREA. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES AND ARRANGE FOR ALL INSPECTIONS.
 16. UTILITY STUB CONNECTIONS SHOWN TO PROPOSED LOTS ARE APPROXIMATE AND INTENDED TO ILLUSTRATE FEASIBILITY OF CONSTRUCTING CONNECTIONS. THE CONTRACTOR SHALL PROVIDE SERVICE STUBS AS DIRECTED BY THE OWNING UTILITY COMPANY AND LOCAL AUTHORITY.
 17. CONTRACTOR SHALL COORDINATE WITH PHONE, CABLE, AND ELECTRIC COMPANIES FOR POTENTIAL NEED OF INDIVIDUAL SECTORS AT EACH LOT SERVICE CONNECTION.
 18. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
 19. THE CONTRACTOR SHALL VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.



UTILITY TRENCH DETAIL
NOT TO SCALE
(MARCH 2008)

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE DATE: _____

SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

CONSTRUCTION DETAILS
HERITAGE LANDING

MAP 140 LOTS 2 & 3
112 & 114 GREEBLEY STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER/APPLICANT:
K&M DEVELOPERS, LLC
46 LOWELL ROAD
HUDSON, N.H. 03051

K&A KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 302, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: JUNE 1, 2021 SCALE: AS SHOWN
PROJECT NO: 20-1001-1 SHEET 26 OF 29

PAUL CHISHOLM
No. 10076
LICENSED PROFESSIONAL ENGINEER

TURF ESTABLISHMENT SCHEDULE

PURPOSE:

TO ESTABLISH AND MAINTAIN PERMANENT AND TEMPORARY TURF AREAS, RESTORE GROWTH TO EXISTING TURF AREAS DISTURBED DURING CONSTRUCTION AND CONTROL SOIL EROSION.

PREPARATION AND EXECUTION:

- 1. RAKE THE SUBGRADE OF ALL AREAS TO BE LOAMED AND SEEDED TO REMOVE RUBBISH, STICKS, ROOTS AND STONES LARGER THAN 1 INCH.
2. PLACE LOAM OVER AREAS TO BE SEEDED AND SPREAD.
3. FINE GRADE SURFACE AND SUPPLEMENT WITH SUITABLE LOAM WHERE NEEDED TO CREATE A UNIFORM SURFACE...

MAINTENANCE:

ALL SEEDED AREAS SHALL BE KEPT WATERED AND IN GOOD CONDITION. RESEED AS NECESSARY TO ESTABLISH HEALTHY UNIFORM GROWTH OVER THE ENTIRE SEEDED AREA. MAINTAIN SEEDED AREAS IN AN APPROVED CONDITION UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE REPAIRS FOR DAMAGE CAUSED BY EROSION.

APPLICATION RATES:

- 1. LOAM SHALL BE APPLIED AT A MINIMUM COMPACTED THICKNESS OF 4 INCHES.
2. LIME SHALL BE USED WHEN NECESSARY TO RAISE THE pH OF THE SOIL AND APPLIED AT ONE OF THE FOLLOWING RATES:

Table with 3 columns: EXISTING SOIL pH, TONS/ACRE, POUNDS/CUBIC YARD. Rows for pH ranges 4.0-4.4, 4.5-4.8, 5.0-5.4.

FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATE:

Table with 3 columns: INITIAL APPLICATION, POUNDS/1,000 SF, MEASUREMENT FACTOR. Rows for various application periods like 10-10-10, 15-15-15, etc.

MULCH SHALL BE APPLIED AT A RATE OF 13 CUBIC YARDS PER 1,000 S.F. OF LANDSCAPE BED.

MATERIALS:

- 1. LOAM SHALL CONSIST OF LOOSE, FRIABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. LOAM SHALL BE FREE OF VIABLE PARTS OF PROHIBITED INVASIVE PLANTS...
2. LIME SHALL BE A CALCIUM OR DICHLORIDE GROUND AGRICULTURAL LIMESTONE...

Table with 4 columns: KIND OF SEED, MINIMUM PURITY (%), MINIMUM GERMINATION (%), POUNDS/ACRE (TOTAL 120 POUNDS).

Table with 4 columns: KIND OF SEED, MINIMUM PURITY (%), MINIMUM GERMINATION (%), POUNDS/ACRE (TOTAL 95 POUNDS).

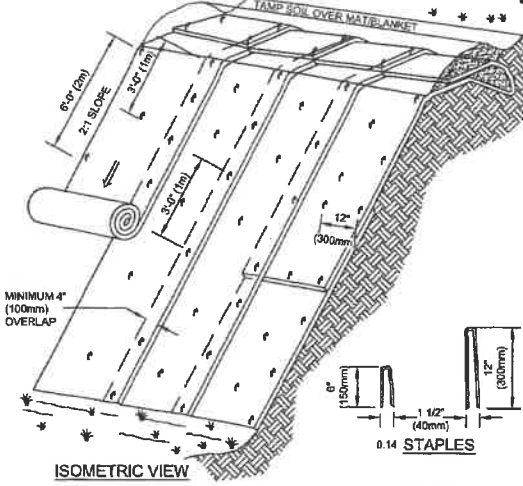
WINTER CONSTRUCTION NOTES:

- 1. ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1...
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH...

APPROVED BY THE HUDSON, NH PLANNING BOARD DATE OF MEETING: [blank] SIGNATURE DATE: [blank]

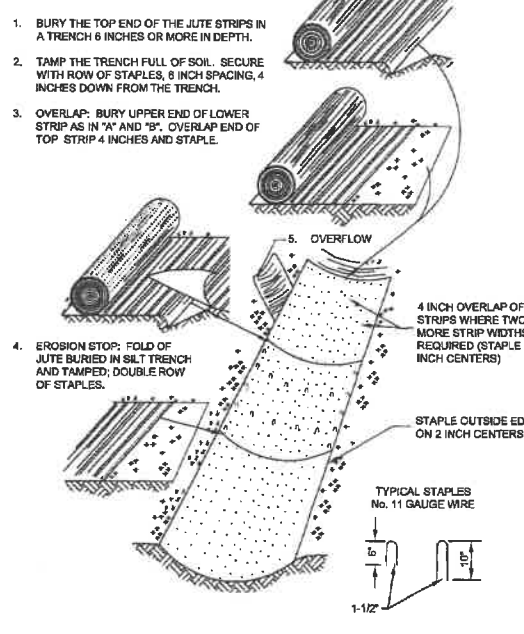
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

MATS/BLANKETS SHOULD BE INSTALLED VERTICALLY DOWN-SLOPE AND SHALL BE DOUBLE NET STRAW BLANKETS BY NORTH AMERICAN GREEN OR APPROVED EQUAL.



- NOTES: 1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLOUDS, STICKS AND GRASS. MATS/ BLANKETS SHALL HAVE GOOD SOIL CONTACT. 2. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.

EROSION CONTROL BLANKETS - SLOPE INSTALLATION NOT TO SCALE (AUGUST 2011)



EROSION CONTROL BLANKETS - SWALE INSTALLATION NOT TO SCALE

HI-FLOW DANDY BAG® (SAFETY ORANGE)

Table with 4 columns: MECHANICAL PROPERTIES, TEST METHOD, UNITS, MARV. Lists properties like Grab Tensile Strength, Puncture Strength, etc.

DANDY BAG® NOT TO SCALE (APRIL 2010)

- TEMPORARY SEEDING MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1,000 SF AND SHALL BE AN APPROVED CONSERVATION MIX OR CONSIST OF THE FOLLOWING: 15% BLACKWELL OR SHELTER SWITCHGRASS, 30% NIAGRA OR KAW BIG BLUESTEM, etc.

SOD SPECIFICATIONS:

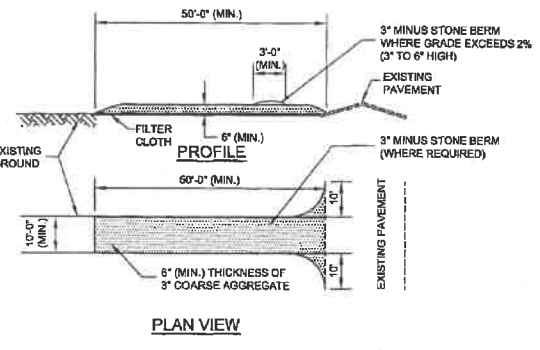
- 1. SOD SHALL BE PROVIDED WITH A STRONG ROOT SYSTEM, NOT LESS THAN TWO YEARS OLD AND SHALL BE FREE OF ANY UNDESIRABLE NATIVE GRASSES OR WEEDS. 2. SOD SHALL BE MACHINE CUT TO A THICKNESS NOT LESS THAN 3/4".

MAINTENANCE:

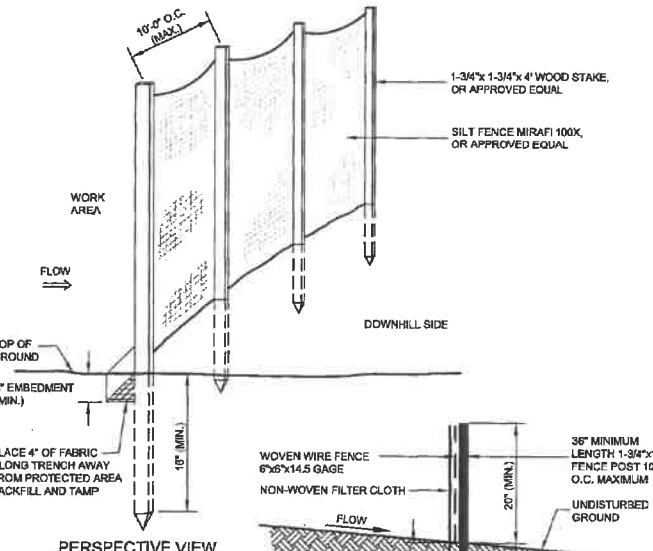
MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE Voids IN THE CRUSHED STONE AND THE EFFECTIVENESS OF THE CRUSHED STONE PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW CRUSHED STONE OR COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.

CONSTRUCTION SPECIFICATIONS:

- 1. STONE FOR A STABILIZED CONSTRUCTION EXIT SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE OR RECYCLED CONCRETE EQUIVALENT. 2. THE LENGTH OF THE STABILIZED EXIT SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT...



STABILIZED CONSTRUCTION EXIT DETAIL NOT TO SCALE (APRIL 2010)



SILT FENCE DETAIL NOT TO SCALE

CONSTRUCTION SPECIFICATIONS:

- 1. THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES. 2. THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.

MAINTENANCE:

- 1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY. 2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.

CONSTRUCTION SEQUENCE

- 1. CONTRACTOR TO NOTIFY DIO-SAFE 72-HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. 2. PRIOR TO GRUBBING OF CLEARED AREAS, ALL SILTATION BARRIERS DESIGNED FOR USE AS TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AS CALLED FOR ON PROJECT PLANS.

EROSION CONTROL NOTES:

- 1. EXPOSED EARTHWORK SHALL BE LIMITED TO AS LIMITED AN AREA AS IS PRACTICAL AT ANY GIVEN TIME THROUGHOUT THE CONSTRUCTION SEQUENCE. AT NO TIME SHALL MORE THAN FIVE (5) ACRES OF SITE AREA BE IN AN UNSTABLE CONDITION. 2. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS.

CONSTRUCTION DETAILS HERITAGE LANDING

MAP 140 LOTS 2 & 3 112 & 114 GREELEY STREET HUDSON, NEW HAMPSHIRE HILLSBOROUGH COUNTY

OWNER/APPLICANT: K&M DEVELOPERS, LLC 45 LOWELL ROAD HUDSON, N.H. 03051

K&M KEACH-NORDSTROM ASSOCIATES, INC. Civil Engineering Lead Surveying Landscape Architecture 10 Commerce Park North, Suite 88, Bedford, NH 03110 Phone (603) 827-2881



Table with columns: No., DATE, DESCRIPTION, BY. Includes revision details and dates like DATE: JUNE 1, 2021 and PROJECT NO: 20-1001-1.

TP #1
 LOGGED BY JMB
 PERC TEST @ N/A
 12-15-2020
 PERC RATE:
 IMPERVIOUS LAYER: N/A
 SEASONAL WATER: 25"

DEPTH	HORIZON	DESCRIPTION
0"	Oa	10YR 3/3 LOAM WEAK GRANULAR, VF
2"	A1	10YR 4/2 LOAM WEAK GRANULAR, VF
4"	A2	10 YR 4/4 SANDY LOAM WEAK GRANULAR, FRIABLE
7"	Bhs	10 YR 5/4 FINE SANDY LOAM WSBK, FRIABLE
18"	Bt	2.5 Y 6/4 FINE SANDY LOAM WSBK, FRIABLE ROCKS & STONES
25"	C1	2.5Y 4/4 LOAMY FINE SAND WSBK, FRIABLE REDOX PRESENT
37"	C2	2.5Y 6/3 LOAMY SAND WSBK, FRIABLE REDOX PRESENT
63"	LEDGE N/A	

TP #2
 LOGGED BY JMB
 PERC TEST @ N/A
 12-15-2020
 PERC RATE:
 IMPERVIOUS LAYER: N/A
 SEASONAL WATER: 28"

DEPTH	HORIZON	DESCRIPTION
0"	Oa	10YR 3/3 LOAM WEAK GRANULAR, VF
2"	A1	10YR 4/2 LOAM WEAK GRANULAR, VF
4"	A2	10 YR 4/4 SANDY LOAM WEAK GRANULAR, FRIABLE
7"	Bhs1	10 YR 5/4 FINE SANDY LOAM WSBK, FRIABLE
20"	Bhs2	10YR 5/6 FINE SANDY LOAM WSBK, FRIABLE ROCKS & STONES
28"	C1	2.5Y 4/4 LOAMY FINE SAND WSBK, FRIABLE REDOX PRESENT
41"	C2	2.5Y 6/3 LOAMY SAND WSBK, FRIABLE REDOX PRESENT
65"	LEDGE N/A	

TP #3
 LOGGED BY JMB
 PERC TEST @ N/A
 12-15-2020
 PERC RATE:
 IMPERVIOUS LAYER: N/A
 SEASONAL WATER: 26"

DEPTH	HORIZON	DESCRIPTION
0"	Oa	10YR 3/3 LOAM WEAK GRANULAR, VF
2"	A1	10YR 4/2 LOAM WEAK GRANULAR, VF
4"	A2	10 YR 4/4 SANDY LOAM WEAK GRANULAR, FRIABLE
14"	Bhs	10YR 5/6 FINE SANDY LOAM WSBK, FRIABLE ROCKS & STONES
26"	Bt	2.5Y 4/4 LOAMY FINE SAND WSBK, FRIABLE REDOX PRESENT
39"	C2	2.5Y 6/3 LOAMY SAND WSBK, FRIABLE REDOX PRESENT
65"	LEDGE N/A	

TP #4
 LOGGED BY JMB
 PERC TEST @ N/A
 12-15-2020
 PERC RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: N/A
 SEASONAL WATER: 27"

DEPTH	HORIZON	DESCRIPTION
0"	Oa	10YR 3/3 LOAM WEAK GRANULAR, VF
2"	A1	10YR 4/2 LOAM WEAK GRANULAR, VF
5"	A2	10 YR 4/4 SANDY LOAM WEAK GRANULAR, FRIABLE
9"	Bhs1	10 YR 5/4 FINE SANDY LOAM WSBK, FRIABLE
17"	Bhs2	10YR 5/6 FINE SANDY LOAM WSBK, FRIABLE ROCKS & STONES
27"	C1	2.5Y 4/4 LOAMY FINE SAND WSBK, FRIABLE REDOX PRESENT
45"	C2	2.5Y 6/3 LOAMY SAND WSBK, FRIABLE REDOX PRESENT
75"	LEDGE N/A	

TP #5
 LOGGED BY JMB
 PERC TEST @ N/A
 12-15-2020
 PERC RATE:
 IMPERVIOUS LAYER: N/A
 SEASONAL WATER: 25"

DEPTH	HORIZON	DESCRIPTION
0"	Oa	10YR 3/3 LOAM WEAK GRANULAR, VF
3"	A1	10YR 4/2 LOAM WEAK GRANULAR, VF
6"	A2	10 YR 4/4 SANDY LOAM WEAK GRANULAR, FRIABLE
11"	Bhs1	10 YR 5/4 FINE SANDY LOAM WSBK, FRIABLE
21"	Bhs2	10YR 5/6 FINE SANDY LOAM WSBK, FRIABLE ROCKS & STONES
25"	C1	2.5Y 4/4 LOAMY FINE SAND WSBK, FRIABLE REDOX PRESENT
40"	C2	2.5Y 6/3 LOAMY SAND WSBK, FRIABLE REDOX PRESENT
75"	LEDGE N/A	

TP #6
 LOGGED BY JMB
 PERC TEST @ N/A
 12-15-2020
 PERC RATE: 2 MIN./INCH
 IMPERVIOUS LAYER: N/A
 SEASONAL WATER: 30"

DEPTH	HORIZON	DESCRIPTION
0"	Oa	10YR 3/3 LOAM WEAK GRANULAR, VF
2"	A1	10YR 4/2 LOAM WEAK GRANULAR, VF
4"	A2	10 YR 4/4 SANDY LOAM WEAK GRANULAR, FRIABLE
11"	Bhs1	10 YR 5/4 FINE SANDY LOAM WSBK, FRIABLE
20"	Bhs2	10YR 5/6 FINE SANDY LOAM WSBK, FRIABLE ROCKS & STONES
30"	C1	2.5Y 4/4 LOAMY FINE SAND WSBK, FRIABLE REDOX PRESENT
44"	C2	2.5Y 6/3 LOAMY SAND WSBK, FRIABLE REDOX PRESENT
75"	LEDGE N/A	

TP #7
 LOGGED BY JMB
 PERC TEST @ N/A
 12-15-2020
 PERC RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: N/A
 SEASONAL WATER: 24"

DEPTH	HORIZON	DESCRIPTION
0"	Oa	10YR 3/2 LOAM WEAK GRANULAR, VF
2"	A1	10YR 3/4 LOAM WEAK GRANULAR, VF
5"	A2	10 YR 4/4 SANDY LOAM WEAK GRANULAR, FRIABLE
12"	Bhs	10 YR 5/6 FINE SANDY LOAM WSBK, FRIABLE
19"	Bt	2.5Y 5/4 LOAMY FINE SAND WSBK, FRIABLE ROCKS & STONES
24"	C1	2.5Y 4/4 LOAMY FINE SAND WSBK, FRIABLE REDOX PRESENT
39"	C2	2.5Y 6/3 LOAMY SAND WSBK, FRIABLE REDOX PRESENT
63"	LEDGE N/A	

TP #8
 LOGGED BY JMB
 PERC TEST @ N/A
 12-15-2020
 PERC RATE:
 IMPERVIOUS LAYER: N/A
 SEASONAL WATER: 36"

DEPTH	HORIZON	DESCRIPTION
0"	Oa	10YR 3/2 LOAM WEAK GRANULAR, VF
2"	A1	10YR 3/4 LOAM WEAK GRANULAR, VF
5"	A2	10 YR 4/4 SANDY LOAM WEAK GRANULAR, FRIABLE
12"	Bhs	10 YR 5/6 FINE SANDY LOAM WSBK, FRIABLE
19"	Bt	2.5Y 5/4 LOAMY FINE SAND WSBK, FRIABLE ROCKS & STONES
24"	C1	2.5Y 4/4 LOAMY FINE SAND WSBK, FRIABLE REDOX PRESENT
39"	C2	2.5Y 6/3 LOAMY SAND WSBK, FRIABLE REDOX PRESENT
63"	LEDGE N/A	

TP #9
 LOGGED BY JMB
 PERC TEST @ N/A
 12-15-2020
 PERC RATE:
 IMPERVIOUS LAYER: N/A
 SEASONAL WATER: 29"

DEPTH	HORIZON	DESCRIPTION
0"	Oa	10YR 3/2 LOAM WEAK GRANULAR, VF
1"	A1	10YR 3/4 LOAM WEAK GRANULAR, VF
4"	A2	10 YR 4/4 SANDY LOAM WEAK GRANULAR, FRIABLE
10"	Bhs	10 YR 5/6 FINE SANDY LOAM WSBK, FRIABLE
23"	Bt	2.5Y 5/4 LOAMY FINE SAND WSBK, FRIABLE ROCKS & STONES
29"	C1	2.5Y 4/4 LOAMY FINE SAND WSBK, FRIABLE REDOX PRESENT
43"	C2	2.5Y 6/3 LOAMY SAND WSBK, FRIABLE REDOX PRESENT
63"	LEDGE N/A	

TP #10
 LOGGED BY JMB
 PERC TEST @ N/A
 12-15-2020
 PERC RATE:
 IMPERVIOUS LAYER: N/A
 SEASONAL WATER: 29"

DEPTH	HORIZON	DESCRIPTION
0"	Oa	10YR 3/3 LOAM WEAK GRANULAR, VF
1"	A1	10YR 4/2 LOAM WEAK GRANULAR, VF
4"	A2	10 YR 4/4 SANDY LOAM WEAK GRANULAR, FRIABLE
11"	Bhs1	10 YR 5/4 FINE SANDY LOAM WSBK, FRIABLE
21"	Bhs2	10YR 5/6 FINE SANDY LOAM WSBK, FRIABLE ROCKS & STONES
29"	C1	2.5Y 4/4 LOAMY FINE SAND WSBK, FRIABLE REDOX PRESENT
44"	C2	2.5Y 6/3 LOAMY SAND WSBK, FRIABLE REDOX PRESENT
70"	LEDGE N/A	

TP #11
 LOGGED BY JMB
 PERC TEST @ N/A
 12-15-2020
 PERC RATE:
 IMPERVIOUS LAYER: N/A
 SEASONAL WATER: 21"

DEPTH	HORIZON	DESCRIPTION
0"	Oa	10YR 3/2 LOAM WEAK GRANULAR, VF
1"	A1	10YR 3/4 LOAM WEAK GRANULAR, VF
3"	A2	10 YR 4/4 SANDY LOAM WEAK GRANULAR, FRIABLE
10"	Bhs	10 YR 5/6 FINE SANDY LOAM WSBK, FRIABLE
17"	Bt	2.5Y 5/4 LOAMY FINE SAND WSBK, FRIABLE ROCKS & STONES
21"	C1	2.5Y 4/4 LOAMY FINE SAND WSBK, FRIABLE REDOX PRESENT
44"	C2	2.5Y 6/3 LOAMY SAND WSBK, FRIABLE REDOX PRESENT
68"	LEDGE N/A	

TP #12
 LOGGED BY JMB
 PERC TEST @ N/A
 12-15-2020
 PERC RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: N/A
 SEASONAL WATER: 24"

DEPTH	HORIZON	DESCRIPTION
0"	Oa	10YR 3/2 LOAM WEAK GRANULAR, VF
2"	A1	10YR 3/4 LOAM WEAK GRANULAR, VF
5"	A2	10 YR 4/4 SANDY LOAM WEAK GRANULAR, FRIABLE
12"	Bhs	10 YR 5/6 FINE SANDY LOAM WSBK, FRIABLE
19"	Bt	2.5Y 5/4 LOAMY FINE SAND WSBK, FRIABLE ROCKS & STONES
24"	C1	2.5Y 4/4 LOAMY FINE SAND WSBK, FRIABLE REDOX PRESENT
39"	C2	2.5Y 6/3 LOAMY SAND WSBK, FRIABLE REDOX PRESENT
63"	LEDGE N/A	

TP #13
 LOGGED BY JMB
 PERC TEST @ N/A
 12-15-2020
 PERC RATE:
 IMPERVIOUS LAYER: N/A
 SEASONAL WATER: 24"

DEPTH	HORIZON	DESCRIPTION
0"	Oa	10YR 3/2 LOAM WEAK GRANULAR, VF
2"	A1	10YR 3/4 LOAM WEAK GRANULAR, VF
5"	A2	10 YR 4/4 SANDY LOAM WEAK GRANULAR, FRIABLE
12"	Bhs	10 YR 5/6 FINE SANDY LOAM WSBK, FRIABLE
19"	Bt	2.5Y 5/4 LOAMY FINE SAND WSBK, FRIABLE ROCKS & STONES
24"	C1	2.5Y 4/4 LOAMY FINE SAND WSBK, FRIABLE REDOX PRESENT
39"	C2	2.5Y 6/3 LOAMY SAND WSBK, FRIABLE REDOX PRESENT
63"	LEDGE N/A	

TP #14
 LOGGED BY JMB
 PERC TEST @ N/A
 12-15-2020
 PERC RATE: 2 MIN./INCH
 IMPERVIOUS LAYER: N/A
 SEASONAL WATER: 30"

DEPTH	HORIZON	DESCRIPTION
0"	Oa	10YR 3/2 LOAM WEAK GRANULAR, VF
3"	A1	10YR 4/3 LOAM WEAK GRANULAR, VF
11"	A2	10 YR 4/6 SANDY LOAM WEAK GRANULAR, FRIABLE
21"	Bhs	10YR 5/6 FINE SANDY LOAM WSBK, FRIABLE ROCKS & STONES
30	Bt	2.5Y 4/4 LOAMY FINE SAND WSBK, FRIABLE REDOX PRESENT
47"	C2	2.5Y 6/3 LOAMY SAND WSBK, FRIABLE REDOX PRESENT
68"	LEDGE N/A	

TP #15
 LOGGED BY JMB
 PERC TEST @ N/A
 12-15-2020
 PERC RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: N/A
 SEASONAL WATER: 24"

DEPTH	HORIZON	DESCRIPTION
0"	Oa	10YR 3/2 LOAM WEAK GRANULAR, VF
2"	A1	10YR 4/3 LOAM WEAK GRANULAR, VF
4"	A2	10 YR 5/6 SANDY LOAM WEAK GRANULAR, FRIABLE
17"	Bhs	10YR 5/6 FINE SANDY LOAM WSBK, FRIABLE ROCKS & STONES
24"	Bt	2.5Y 4/4 LOAMY FINE SAND WSBK, FRIABLE REDOX PRESENT
43"	C2	2.5Y 6/3 LOAMY SAND WSBK, FRIABLE REDOX PRESENT
60"	LEDGE N/A	

TP #16
 LOGGED BY JMB
 PERC TEST @ N/A
 12-15-2020
 PERC RATE:
 IMPERVIOUS LAYER: N/A
 SEASONAL WATER: 30"

DEPTH	HORIZON	DESCRIPTION
0"	Oa	10YR 3/2 LOAM WEAK GRANULAR, VF
2"	A1	10YR 3/4 LOAM WEAK GRANULAR, VF
4"	A2	10 YR 4/4 SANDY LOAM WEAK GRANULAR, FRIABLE
8"	Bhs	10 YR 5/6 FINE SANDY LOAM WSBK, FRIABLE
19"	Bt	2.5Y 5/4 LOAMY FINE SAND WSBK, FRIABLE ROCKS & STONES
30	C1	2.5Y 4/4 LOAMY FINE SAND WSBK, FRIABLE REDOX PRESENT
43	C2	2.5Y 6/3 LOAMY SAND WSBK, FRIABLE REDOX PRESENT
62"	LEDGE N/A	

TP #17
 LOGGED BY JMB
 PERC TEST @ N/A
 12-15-2020
 PERC RATE:
 IMPERVIOUS LAYER: N/A
 SEASONAL WATER: 24"

DEPTH	HORIZON	DESCRIPTION
0"	Oa	10YR 3/3 LOAM WEAK GRANULAR, VF
2"	A1	10YR 4/2 LOAM WEAK GRANULAR, VF
4"	A2	10 YR 4/4 SANDY LOAM WEAK GRANULAR, FRIABLE
7"	Bhs	10 YR 5/4 FINE SANDY LOAM WSBK, FRIABLE
18"	Bt	2.5 Y 6/4 FINE SANDY LOAM WSBK, FRIABLE ROCKS & STONES
24"	C1	2.5Y 4/4 LOAMY FINE SAND WSBK, FRIABLE REDOX PRESENT
37"	C2	2.5Y 6/3 LOAMY SAND WSBK, FRIABLE REDOX PRESENT
63"	LEDGE N/A	

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 _____ SIGNATURE DATE: _____
 _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

TEST PIT LOGS
HERITAGE LANDING
 MAP 140 LOTS 2 & 3
 112 & 114 GREELEY STREET
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER/APPLICANT:
 K&M DEVELOPERS, LLC
 46 LOWELL ROAD
 HUDSON, N.H. 03051

KMA
 KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 38, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JUNE 1, 2021 SCALE: AS SHOWN
 PROJECT NO: 20-1001-1 SHEET 29 OF 29