GENERAL INFORMATION

OWNER

MAP 101 LOTS 18 & 19 MAP 2 LOT 34A MAL-MAR, LLC 9 DOVER ROAD CHICHESTER, NH 03258

APPLICANT

BOBCAT OF NEW HAMPSHIRE 2 TRACY LANE HUDSON, NH 03051

LONDONDERRY RESOURCE LIST

PLANNING & ECONOMIC DEVELOPMENT 268B MAMMOTH ROAD LONDONDERRY, NH 03053

COLLEEN MAILLOUX

603-432-1100 EXT. 149

BUILDING & ZONING ENFORCEMENT 268B MAMMOTH ROAD

LONDONDERRY, NH 03053 603-432-1100 EXT. 115 LIBBY CANUEL

PUBLIC WORKS & ENGINEERING 268B MAMMOTH ROAD LONDONDERRY, NH 03053

JOHN TROTTIER; DIRECTOR POLICE DEPARTMENT

603-432-1100 EXT. 146

268A MAMMOTH ROAD LONDONDERRY, NH 03053 WILLIAM R. HART; CHIEF OF POLICE

FIRE DEPARTMENT 280 MAMMOTH ROAD

LONDONDERRY, NH 03053 603-432-1124 DARREN O'BRIEN; CHIEF

HUDSON RESOURCE LIST

PLANNING DEPARTMENT TOWN OF HUDSON 12 SCHOOL STREET HUDSON, NH 03051 603-886-6008

ZONING DEPARTMENT

TOWN OF HUDSON 12 SCHOOL STREET HUDSON, NH 0305 603-886-6008

POLICE DEPARTMENT

1 CONSTITUTION DRIVE HUDSON, NH 03051 603-886-6011 WILLIAM AVERY; CHIEF OF POLICE

FIRE DEPARTMENT

HUDSON, NH 03051 603-886-6021 ROBERT BUXTON; CHIEF

ABUTTERS

ABUTTERS-HUDSON

MAP 101 LOT 11 SMT REBEL ROAD, LLC 3 TRACY LANE HUDSON, NH 03051

MAP 101 LOT 17 SMT TRACEY LANE HOLDINGS, LLC 3 TRACY LANE HUDSON, NH 03051

MAP 101 LOT 30-000 MARIO PLANTE TR & DENYSE PLANTE TR GREEN MOUNTAIN PARTNERS TRUST 9 OLD DERRY ROAD HUDSON, NH 03051

MAP 101 LOTS 30-001, 30-002, 30-003, 30-004 & 30-005 ANTHONY E. DIONNE TRUST GREENLAND INVESTMENT REALTY TRUST P.O. BOX 1206

MAP 101 LOT 20 4 REBEL ROAD, LLC 4 REBEL ROAD HUDSON, NH 03051

LONDONDERRY, NH 03053

MAP 101 LOT 21 MATTHEW E. MASON TR & LYNN A. MASON TR 13 CUTLER ROAD

LITCHFIELD, NH 03052 MAP 102 LOT 1 LINDA K. HARVEY 11 AVERY ROAD

LONDONDERRY, NH 03053

ABUTTERS-LONDONDERRY

MAP 2 LOT 34 SMT TRACEY LANE HOLDINGS, LLC 3 TRACY LANE

HUDSON, NH 03051 MAP 2 LOT 34-1 CABLE HOLDCO EXCHANGE III LLC

ONE COMCAST CENTER PHILADELPHIA, PA 19103 MAP 2 LOT 35

CABLE HOLDCO EXCHANGE III LLC ONE COMCAST CENTER PHILADELPHIA, PA 19103

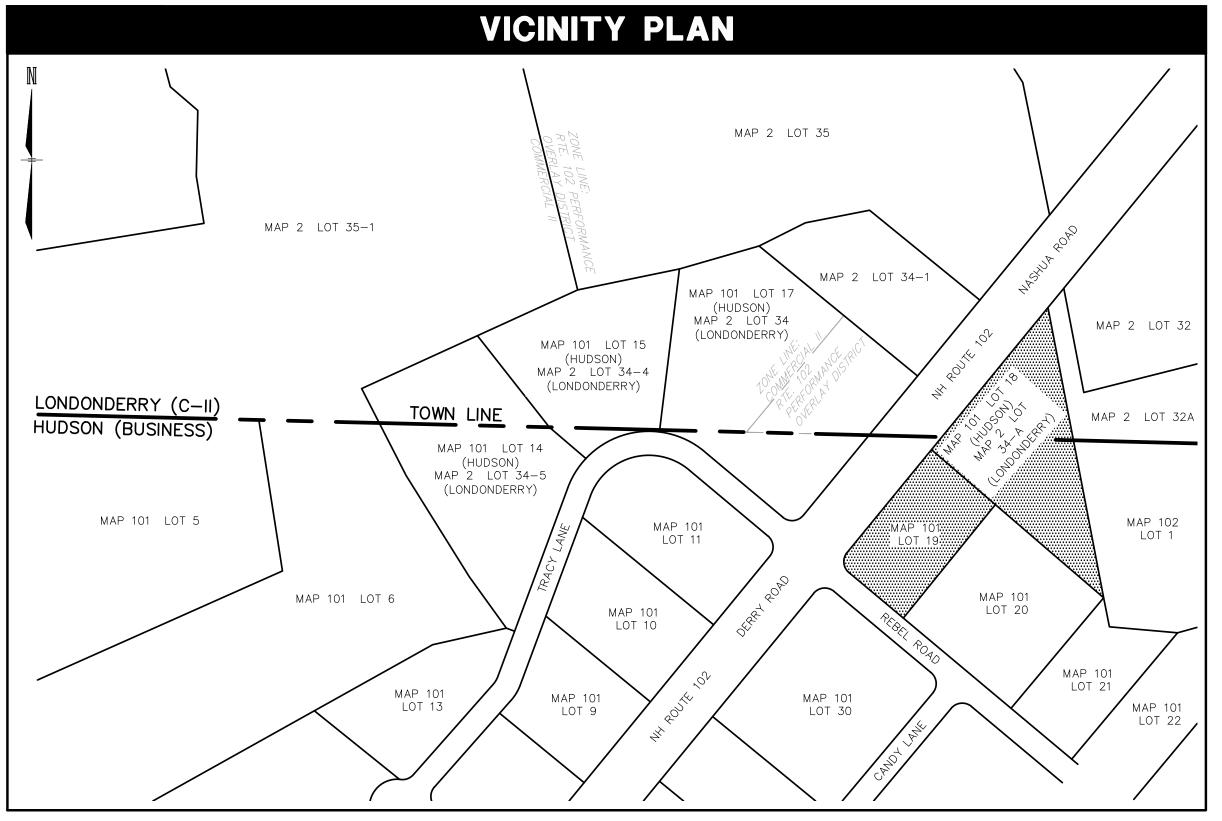
MAP 2 LOT 32 PETER J. SAPATIS REVOCABLE TRUST 5 AVERY ROAD

MAP 2 LOT 32A LINDA K. & DOUGLAS C. JR. HARVEY P.O. BOX 639 LONDONDERRY, NH 03053

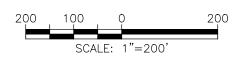
LONDONDERRY, NH 03053

BOBCAT OF NEW HAMPSHIRE

2 REBEL ROAD, 345 DERRY ROAD & 307 NASHUA ROAD **HUDSON & LONDONDERRY, NEW HAMPSHIRE**



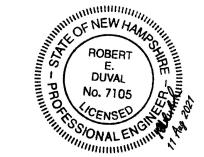




OWNER'S SIGNATURE OWNER OR REPRESENTATIVE DATE for Phase ____ Approved by the Town of Londonderry N.H. Planning Board Certified By:

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN *APPROVAL* GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF *APPROVAL*

APPROVED BY THE HUDSON, NH PLANNING BOARD SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.







INDEX OF SHEETS

SHEET	SHEET TITLE		
C-1	COVER		
C-2	NOTES & LEGEND		
S-01	EXISTING CONDITIONS PLAN		

SITE PREPARATION PLAN C-3SITE LAYOUT PLAN GRADING & DRAINAGE PLAN LANDSCAPE PLAN C-7STORMWATER MANAGEMENT PLAN

DETAILS

SHEET TITLE

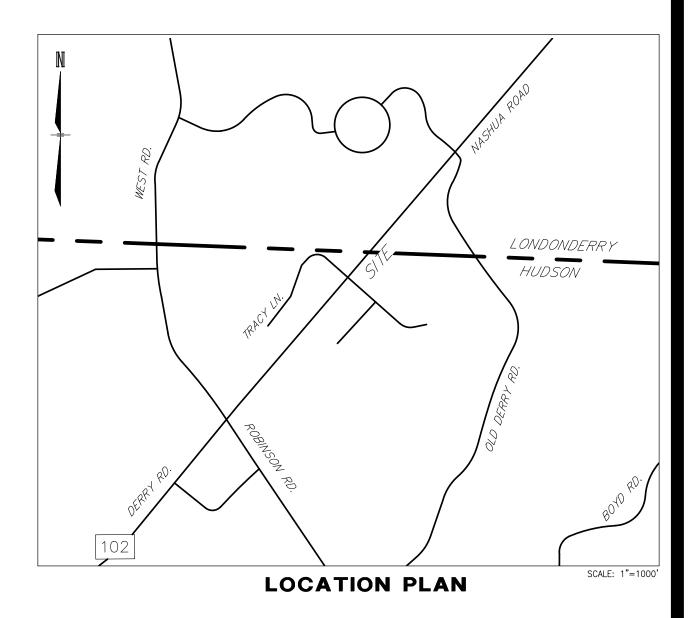
REFERENCE PLANS BY ASSOCIATED PROFESSIONALS LIGHTING PLAN

C-8 - C-12

ARCHITECTURAL ELEVATION PLANS

PERMITS/APPROVALS

	NUMBER	APPROVED	EXPIRES			
HUDSON PLANNING BOARD SITE PLAN REVIEW	-	_	-			
LONDONDERRY PLANNING BOARD SITE PLAN REVIEW	-	-	-			
HUDSON CONDITIONAL USE PERMIT	_	-	_			
LONDONDERRY WAIVER	_	-	-			
NHDOT DRIVEWAY	-	-	_			



SITE DEVELOPMENT PLANS

TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A

COVER

BOBCAT OF NEW HAMPSHIRE 2 REBEL RD & 345 DERRY RD (HUDSON, NH) 307 NASHUA RD (LONDONDERRY, NH)

> OWNED BY MAL-MAR, LLC

PREPARED FOR

BOBCAT OF NEW HAMPSHIRE

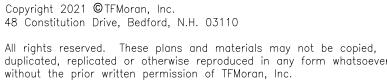
SCALE: NTS JULY 26, 2021



Structural Engineers Land Surveyors Landscape Architects

48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com

C-117851-08 SITE PLANS



without the prior written permission of TFMoran, Inc. This plan is not effective unless signed by a duly authorized officer o



LEGEND **PROPOSED** PROPERTY LINE **70NING LINE** EASEMENT BASELINE __ _ _ _ _ _ _ _ _ _ SETBACK (STRUCTURE) — — — — SETBACK (PARKING) —— — — — — SETBACK (LANDSCAPE) ---- GRAVEL ROAD EDGE OF PAVEMENT VERTICAL GRANITE CURB SLOPED GRANITE CURB CONCRETE CURB INTEGRATED CONCRETE CURB BUTIMINOUS ASPHALT CURB CCB CAPE COD BERM TREE LINE FENCE (CHAIN LINK) — x — x — x — SILT FENCE 5' CONTOUR 1' CONTOUR SPOT GRADE PARKING COUNT ACCESSIBLE PARKING SYMBOL TRAFFIC FLOW ARROW (NOT PAINTED) SIGN (SINGLE POST)

PROPOSED CONCRETE GRAVFI

CONSTRUCTION ENTRANCE

_____ — OHF —— – UGF –

SNOW STORAGE RIPRAP DRAIN LINE SEWER LINE WATER LINE GAS LINE

OVERHEAD UTILITY LINE UNDERGROUND UTILITY LINE WATER GATE VALVE WATER SHUTOFF FLOOD LIGHT UTILITY POLE TEST PIT LOCATION

INFILTRATION TEST LOCATION

GENERAL NOTES

APPROVAL OF THE TOWN PLANNING DIRECTOR.

REQUIREMENTS OF NHDES ENV-WQ 1500 OR AS APPLICABLE.

- THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-CONFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- 2. THE SITE PLAN SHALL BE RECORDED IN THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
- 3. ALL IMPROVEMENTS SHOWN ON THE SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY

OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS

- 4. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON AND TOWN OF LONDONDERRY AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL WORK TO CONFORM TO TOWN OF HUDSON AND LONDONDERRY DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS, ALL WORK WITHIN THE RIGHT-OF-WAY OF THE TOWN AND/OR STATE SHALL COMPLY WITH APPLICABLE STANDARDS. COORDINATE ALL WORK WITHIN THE
- RIGHT-OF-WAY WITH APPROPRIATE TOWN, COUNTY, AND/OR STATE AGENCY. 5. AN ALTERATION OF TERRAIN PERMIT IS NOT REQUIRED PER ENV-WQ 1503.02. THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE
- 6. SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
- 7. PRIOR TO COMMENCING ANY SITE WORK ALL LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD.
- 8. SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY SHEET. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT
- 9. TEMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
- 10. TEMPORARY FENCING SHALL BE PROVIDED AND COVERED WITH A FABRIC MATERIAL TO CONTROL DUST MITIGATION.
- 11. ALL DEMOLITION SHALL INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS, AND ANY OTHER ADJACENT OPERATING FACILITIES. PRIOR WRITTEN PERMISSION FROM THE OWNER/DEVELOPER AND LOCAL PERMITTING AUTHORITY IS REQUIRED IF CLOSURE/OBSTRUCTIONS TO ROADS, STREET, WALKWAYS, AND OTHERS IS DEEMED NECESSARY. CONTRACTOR TO PROVIDE ALTERNATE ROUTES AROUND CLOSURES/OBSTRUCTIONS PER LOCAL/STATE/FEDERAL REGULATIONS.
- 12. REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING FOUNDATIONS AND CONCRETE ELEMENTS WHICH ABUT THE BUILDING SUCH AS STAIRS, SIDEWALKS, LOADING DOCK RAMPS, PADS, AND COMPACTOR PADS. DO NOT USE SITE PLANS FOR LAYOUT OF FOUNDATIONS.
- 13. IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- 14. IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- 15. CONTRACTOR'S GENERAL RESPONSIBILITIES:
- A. BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS, AND STANDARDS.
- B. NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OF PROPOSED LAYOUT AND/OR
- C. EMPLOY A LICENSED SURVEYOR TO DETERMINE ALL LINES AND GRADES AND LAYOUT OF SITE ELEMENTS AND BUILDINGS.
- D. THE CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
- E. TAKE APPROPRIATE MEASURES TO REDUCE, TO THE FULLEST EXTENT POSSIBLE, NOISE, DUST AND UNSIGHTLY DEBRIS FROM CONSTRUCTION ACTIVITIES.
- F. MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
- G. IN ACCORDANCE WITH RSA 430:53 AND AGR 3800. THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES OFF THE PROPERTY, AND SHALL DISPOSE OF INVASIVE SPECIES ON-SITE IN A LEGAL MANNER.
- H. COORDINATE WITH ALL UTILITY COMPANIES AND CONTACT DIGSAFE (811 OR 888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
- I. PROTECT NEW AND EXISTING BURIED UTILITIES DURING INSTALLATION OF ALL SITE ELEMENTS. DAMAGED UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL
- J. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- K. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
- L. VERIFY LAYOUT OF PROPOSED BUILDING FOUNDATIONS WITH ARCHITECT AND THAT PROPOSED FOUNDATION MEETS PROPERTY LINE SETBACKS PRIOR TO COMMENCING ANY
- M. PROVIDE AN AS-BUILT PLAN AT THE COMPLETION OF THE PROJECT TO THE PLANNING DIRECTOR AND PER TOWN REGULATIONS.
- N. IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS. AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE
- O. AT COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND A LETTER STAMPED BY A QUALIFIED ENGINEER THAT THEY HAVE OBSERVED ALL UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS PRIOR TO BACKFILL, AND THAT SUCH SYSTEMS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS.

GRADING NOTES

- 1. THE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 AS APPLICABLE.
- 2. THE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
- 3. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN eNOLAT LEAST 14
- 4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE

DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.

CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.

- 5. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
- 6. COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
- 7. COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
- 8. COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION.
- 9. LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS, AND ALIGNMENTS.
- 10. THE CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS AND LOADING
- 11. THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THAN 1/4" FOR A PERIOD OF MORE THEN 15 MINUTES AFTER FLOODING.
- 12. ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- 13. ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
- 14. THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 1/4".
- 15. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
- 16. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE
- 17. STORMWATER DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- 18. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- 19. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.

20. DENSITY REQUIREMENTS:

REV DATE

DESCRIPTION

MINIMUM DENSITY* 95% BELOW PAVED OR CONCRETE AREAS 95% TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL

90% BELOW LOAM AND SEED AREAS *ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6938.

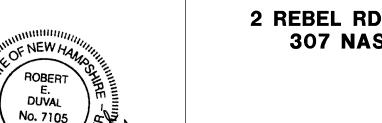
UTILITY NOTES

- 1. ALL PROPOSED UTILITY WORK, INCLUDING MATERIAL, INSTALLATION, TERMINATION, EXCAVATION, BEDDING, BACKFILL, COMPACTION, TESTING, CONNECTIONS, AND CONSTRUCTION SHALL BE COORDINATED WITH AND COMPLETED IN ACCORDANCE WITH THE APPROPRIATE REQUIREMENTS, CODES, AND STANDARDS OF ALL CORRESPONDING UTILITY ENTITIES AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
- 3. COORDINATE ALL WORK ADJACENT TO PROPOSED BUILDINGS WITH ARCHITECTURAL BUILDING DRAWINGS. CONFIRM UTILITY PENETRATIONS AND INVERT ELEVATIONS ARE COORDINATED PRIOR TO INSTALLATION
- 4. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- 5. THE EXACT LOCATION OF NEW UTILITY CONNECTIONS SHALL BE DETERMINED BY THE CONTRACTOR IN COORDINATION WITH UTILITY COMPANY, COUNTY AGENCY, AND/OR PRIVATE UTILITY COMPANY.
- 6. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER THE UTILITY INSTALLATION COMPLETE AND OPFRATIONAL
- 7. ALL UTILITY COMPANIES REQUIRE INDIVIDUAL CONDUITS. CONTRACTOR TO COORDINATE WITH TELEPHONE, CABLE, AND ELECTRIC COMPANIES REGARDING NUMBER, SIZE, AND TYPE OF CONDUITS REQUIRED PRIOR TO INSTALLATION OF ANY CONDUIT.
- 8. ON-SITE WATER DISTRIBUTION SHALL BE TO THE TOWN OF HUDSON AND LONDONDERRY STANDARDS AND SPECIFICATIONS. WATER MAINS SHALL HAVE A MINIMUM OF 5.5' COVER. WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10' MINIMUM. WHERE A SANITARY LINE CROSSES A WATER LINE, ENCASE THE SANITARY LINE IN 6" THICK CONCRETE FOR A DISTANCE OF 10' FITHER SIDE OF THE CROSSING, OR SUBSTITUTE RUBBER-GASKETED PRESSURE PIPE FOR THE SAME DISTANCE. WHEN SANITARY LINES PASS BELOW WATER LINES, LAY PIPE SO THAT NO JOINT IN THE SANITARY LINE WILL BE CLOSER THAN 3' HORIZONTALLY TO THE
- 9. THRUST BLOCKS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER LINE CHANGES DIRECTIONS OR CONNECTS TO ANOTHER WATER LINE. ALL THRUST BLOCKS SHALL BE
- 10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
- 11. ALL PROPOSED UTILITIES SHALL BE UNDERGROUND. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES.
- 12. THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL INSPECTIONS, TESTING AND RELATED SERVICES AND SUBMIT COPIES OF ACCEPTANCE TO THE OWNER, UNLESS OTHERWISE
- 13. PROVIDE PERMANENT PAVEMENT REPAIR FOR ALL UTILITY TRENCHES IN EXISTING ROAD OR PAVEMENT TO REMAIN. SAW CUT TRENCH, PAVEMENT AND GRANULAR BASE THICKNESS TO MATCH EXISTING PAVEMENT. OBTAIN ALL PERMITS REQUIRED FOR TRENCHING.
- 14. UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
- 15. THE PROPERTY WILL BE SERVICED BY THE FOLLOWING: PRIVATE

DRAINAGE PRIVATE WATER GAS ELECTRIC

PRIVATE LIBERTY UTILITIES **EVERSOURCE**

CONSOLIDATED COMMUNICATIONS COMCAST



SITE DEVELOPMENT PLANS

TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A

NOTES & LEGEMD

BOBCAT OF NEW HAMPSHIRE 2 REBEL RD & 345 DERRY RD (HUDSON, NH) 307 NASHUA RD (LONDONDERRY, NH)

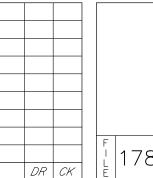
OWNED BY

MAL-MAR. LLC PREPARED FOR

OF NEW HAMPSHIRE

SCALE: NTS

48 Constitution Drive ivil Engineers Structural Engineers Bedford, NH 03110



affic Engineers and Surveyors andscape Architects cientists

Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com

JULY 26, 2021

DR PWH FB 17851-08 SITE PLANS

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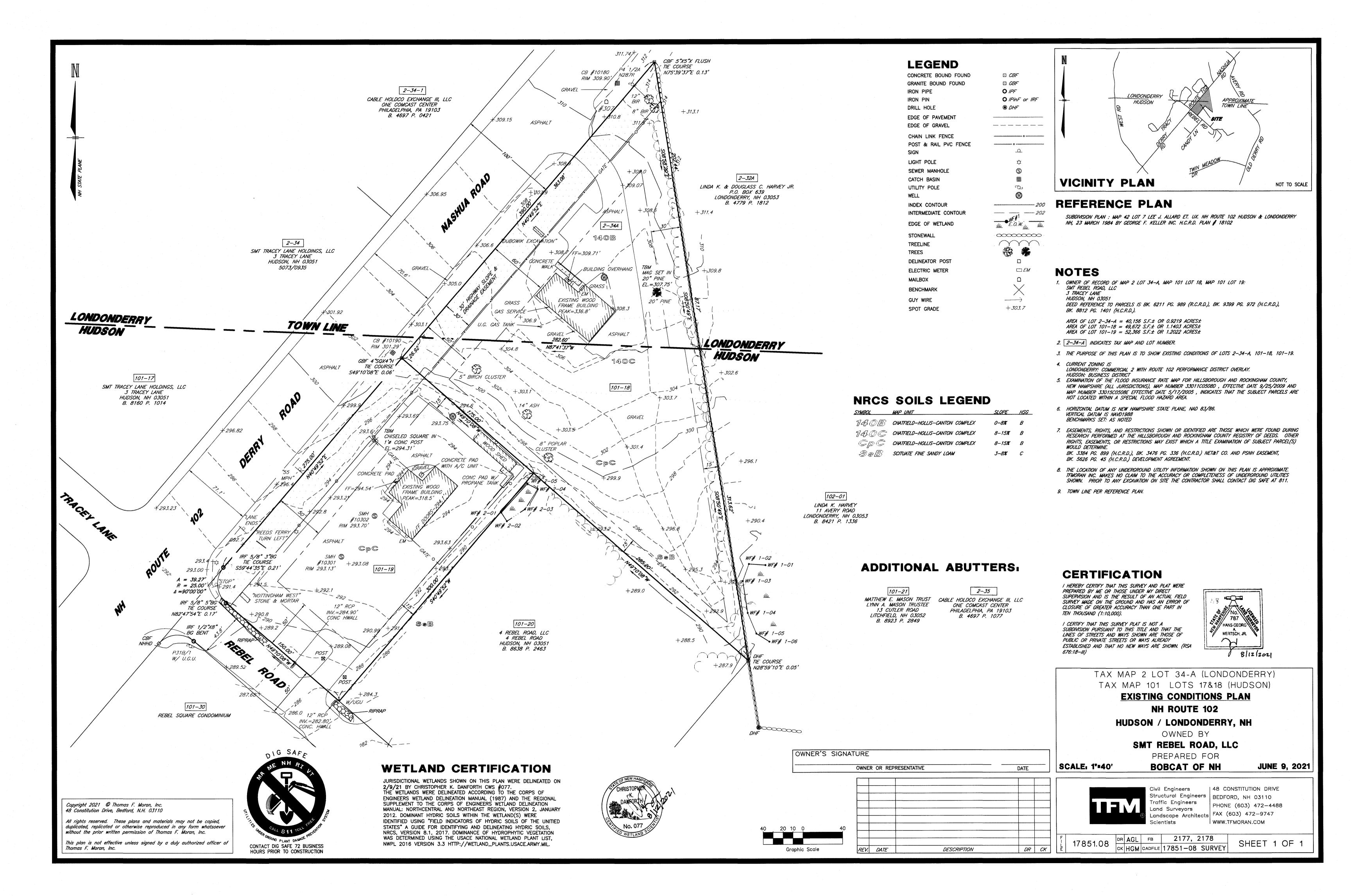
FMoran, Inc.

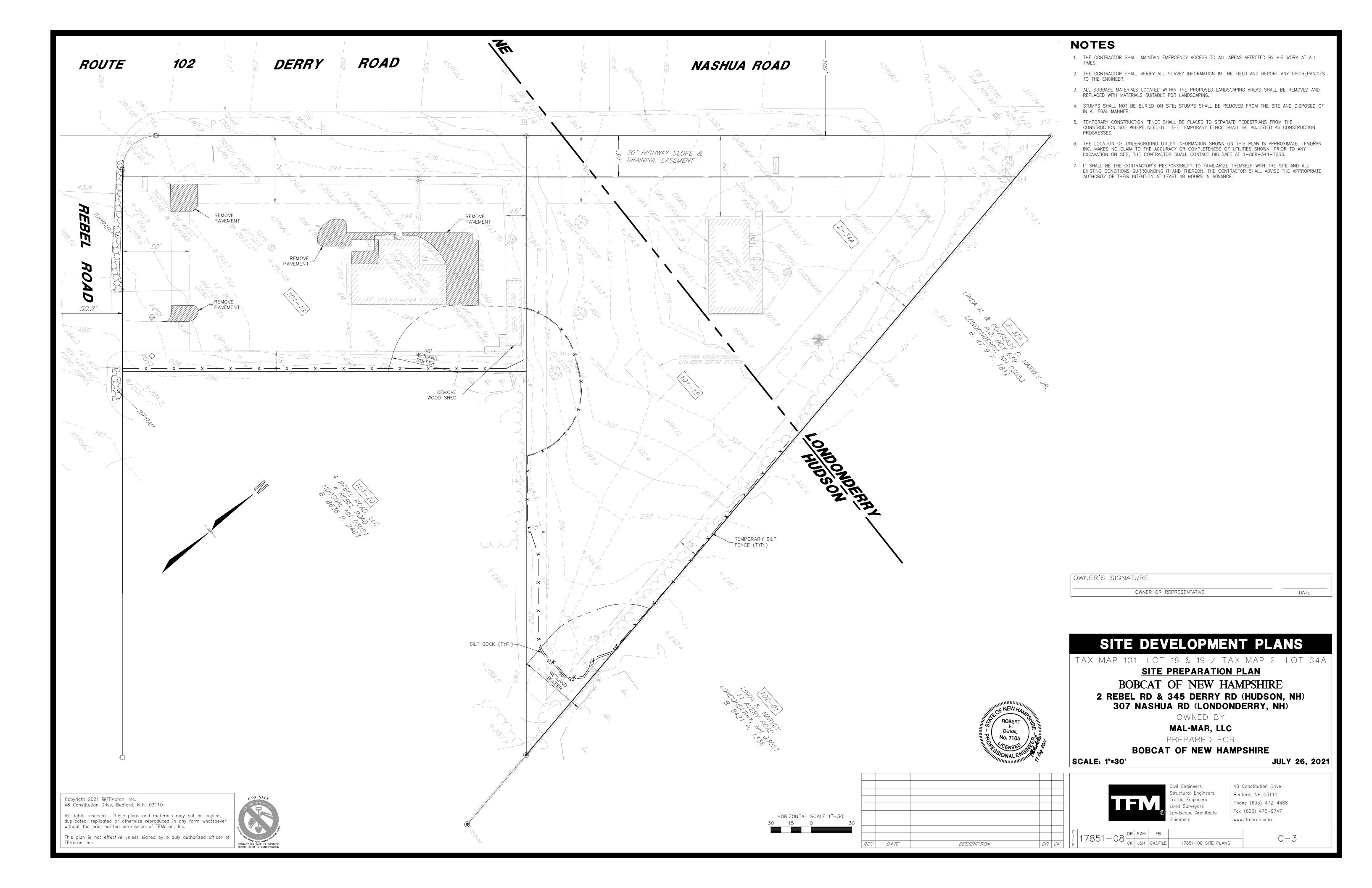
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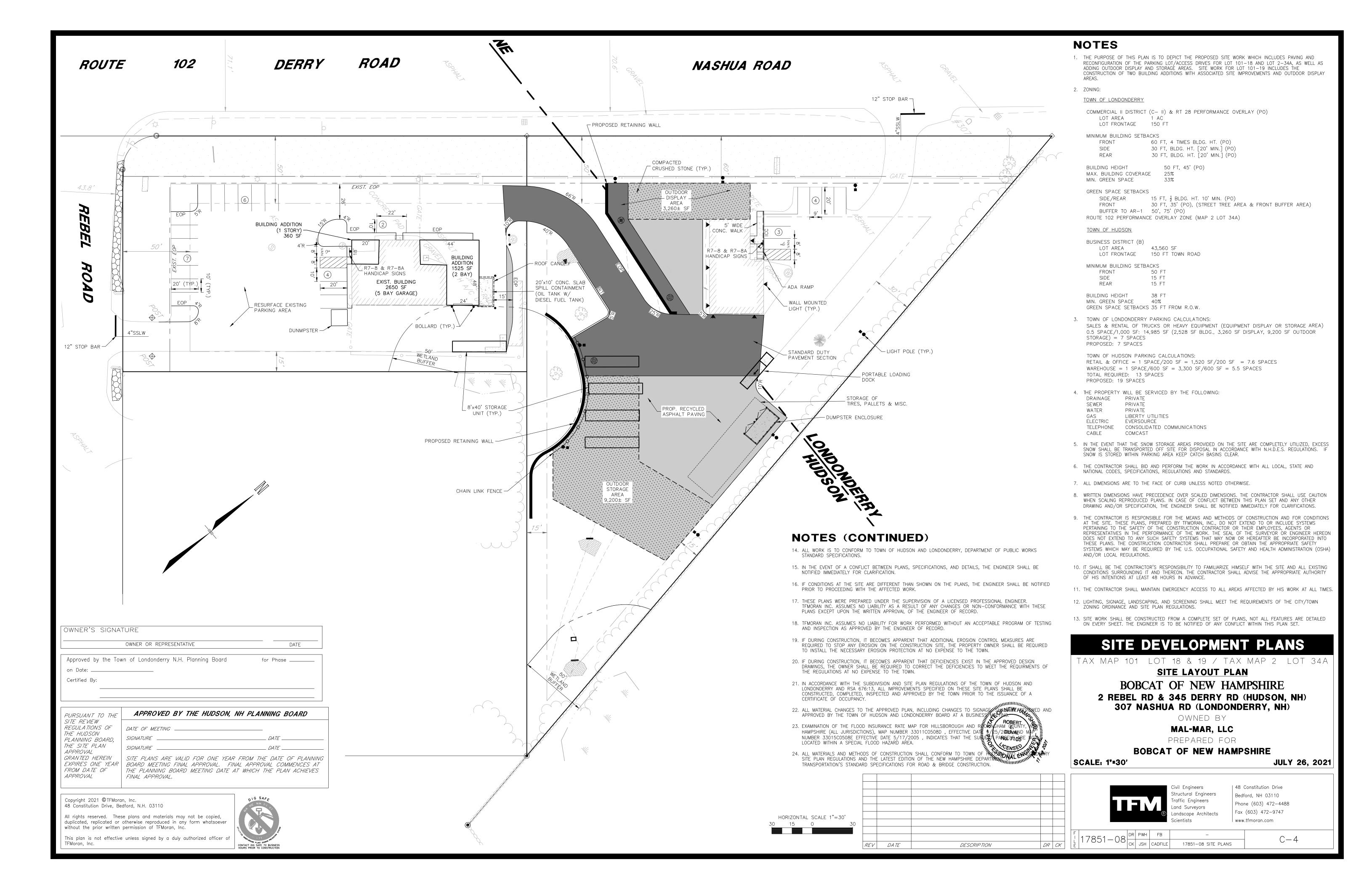
This plan is not effective unless signed by a duly authorized officer of

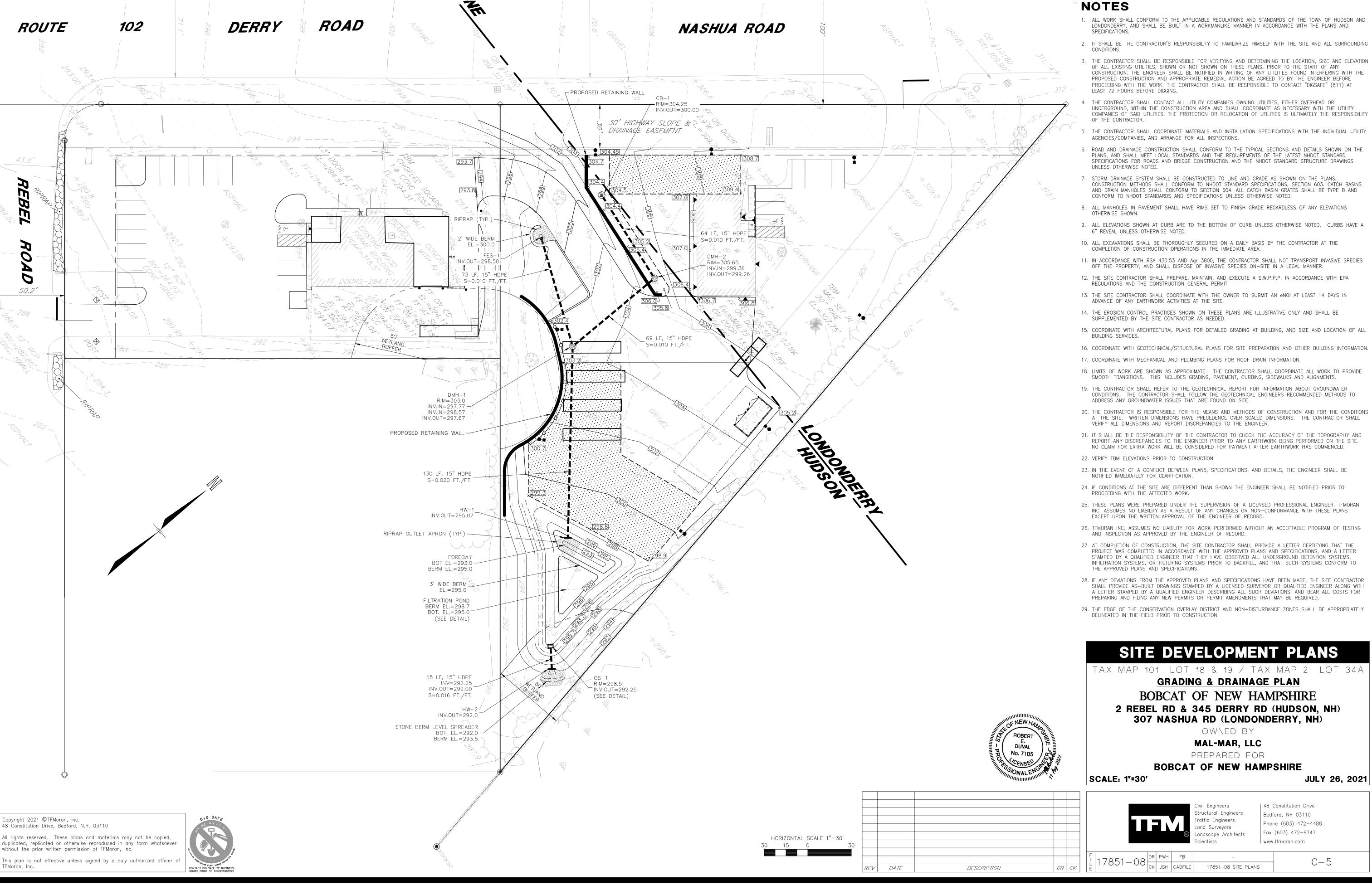












- 1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON AND LONDONDERRY, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND
- 2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL SURROUNDING
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY
- 5. THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY
- 6. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS
- 7. STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- 8. ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS
- 9. ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A
- 10. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE
- 11. IN ACCORDANCE WITH RSA 430:53 AND Agr 3800, THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES
- 12. THE SITE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P.P. IN ACCORDANCE WITH EPA
- 14. THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE
- 15. COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL

- SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
- 19. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO
- VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
- REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
- 23. IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE
- 24. IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN THE ENGINEER SHALL BE NOTIFIED PRIOR TO
- 25. THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-CONFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- 26. TFMORAN INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING
- 27. AT COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND A LETTER STAMPED BY A QUALIFIED ENGINEER THAT THEY HAVE OBSERVED ALL UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS PRIOR TO BACKFILL, AND THAT SUCH SYSTEMS CONFORM TO
- 28. IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS, AND BEAR ALL COSTS FOR
- 29. THE EDGE OF THE CONSERVATION OVERLAY DISTRICT AND NON-DISTURBANCE ZONES SHALL BE APPROPRIATELY

SITE DEVELOPMENT PLANS

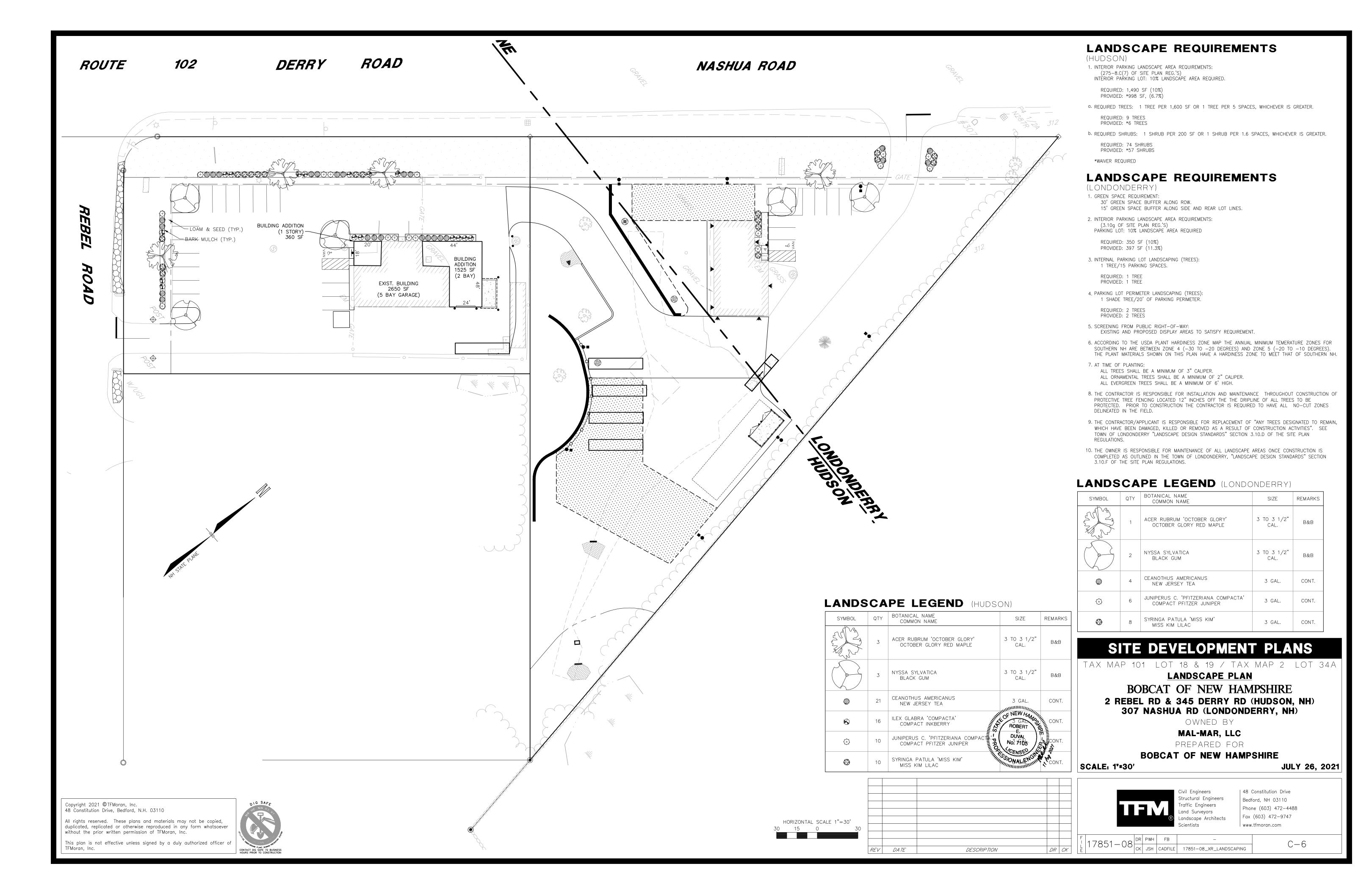
TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A

GRADING & DRAINAGE PLAN

BOBCAT OF NEW HAMPSHIRE 2 REBEL RD & 345 DERRY RD (HUDSON, NH)

| 48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com

JULY 26, 2021



CONSTRUCTION GENERAL PERMIT ROAD THE OWNER, IN CONJUNCTION WITH THE CONTRACTOR (OPERATORS), MUST OBTAIN A CONSTRUCTION ROUTE NASHUA ROAD GENERAL PERMIT (CGP) FOR LARGE CONSTRUCTION ACTIVITIES (FIVE OR MORE ACRES) OR SMALL CONSTRUCTION ACTIVITIES (GREATER THAN ONE ACRE BUT LESS THAN FIVE ACRES) FROM THE ENVIRONMENTAL PROTECTION AGENCY (EPA). AS PART OF THE CGP, A STORMWATER NOTICE OF INTENT (NOI) MUST BE SUBMITTED TO THE EPA AT LEAST 7 DAYS PRIOR TO COMMENCING CONSTRUCTION. THE NOI MUST BE SUBMITTED TO STORM WATER NOTICE OF INTENT (4203M), USEPA, 1200 PENNSYLVANIA AVE. NW, WASHINGTON, DC 20460. THE CGP OUTLINES A SET OF PROVISIONS MANDATING THE OWNER AND CONTRACTOR TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER REGULATIONS, INCLUDING, BUT NOT LIMITED TO, STORM WATER POLLUTION PREVENTION PLANS (SWPPP'S) IMPLEMENTATION OF EROSION AND SEDIMENTATION CONTROLS, EQUIPMENT MAINTENANCE GUIDELINES, ETC. - PROPOSED RETAINING WALL PLEASE CONTACT USEPA OFFICE OF WASTEWATER MANAGEMENT AT 202-564-9545 OR AT WWW.EPA.GOV/NPDES/STORMWATER FOR ADDITIONAL INFORMATION. FOR FURTHER ASSISTANCE, CONTACT RIM = 304 25ABBY SWAINE OF NEW ENGLAND'S EPA REGION 1 AT 617-918-1841. **NOTES** STONE CHECK DAM (TYP.) THIS PROJECT INCLUDES PAVING AND RECONFIGURATION OF THE PARKING LOT/ACCESS DRIVES FOR LOT 101-18 AS WELL AS ADDING OUTDOOR DISPAY AND STORAGE AREAS. SITE WORK FOR LOT 101-19 INCLUDES THE CONSTRUCTION OF TWO BUILDING ADDITIONS WITH ASSOCIATED SITE IMPROVEMENTS AND OUTDOOR DISPLAY AREAS. TOTAL AREA OF DISTURBANCE: 1.27± AC SOILS SHOWN ARE FROM THE SOIL SURVEY OF HILLSBOROUGH COUNTY, NH, EASTERN PART, PREPARED BY USDA-SOIL CONSERVATION SERVICES. 140B - CHATFIELD-HOLLIS CANTON COMPLEX 140C - CHATFIELD-HOLLIS CANTON COMPLEX CpC - CHATFIFI D-HOLLIS CANTON COMPLEX (1 STORY) SsB - SCITUATE FINE SANDY LOAM 360 SF STORM WATER DRAINAGE SYSTEM IS SHOWN ON THE PLAN. SEE GRADING & DRAINAGE PLAN FOR RIM, INVERT, PIPE LENGTH, AND SLOPE INFORMATION. POST-CONSTRUCTION RUNOFF COEFFICIENT: C=0.80 'WIDE BERM IMPERVIOUS SURFACE AREA: 1.35± AC $S=0.010 \text{ FT.}/\text{F}^{-1}$ ADDITION EL = 300.01525 SF STABILIZATION PRACTICES FOR EROSION AND SEDIMENTATION CONTROLS: (2 BAY) EXIST. BUILDING INV.OUT=298.50 RIM = 305.65TEMPORARY STABILIZATION - TOPSOIL STOCKPILES AND DISTURBED AREAS OF THE CONSTRUCTION SITE THAT WILL NOT BE REDISTURBED FOR 14 DAYS OR MORE MUST BE STABILIZED BY THE 14TH DAY AFTER 2650 SF INV.IN=299.36 (5 BAY GARAGE) INV.OUT=299.26 THE LAST DISTURBANCE. THE TEMPORARY SEED SHALL BE ANNUAL RYE APPLIED AT THE RATE OF 1.1 LBS 73 LF, 15" HDPE PER 1,000 SF. PRIOR TO SEEDING, A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND S=0.010 FT./FT. 500 LBS PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 1.5 TONS PER ACRE OF HAY MULCH. MULCH TO BE ANCHORED IN PLACE WHERE NECESSARY. AREAS OF THE SITE THAT WILL BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILES AND A STONE SUB-BASE UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED. CALCIUM CHLORIDE SHALL BE USED FOR DUST CONTROL IF NEEDED. EXCESS MATERIAL STORAGE AREA PERMANENT STABILIZATION - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 3 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE PERMANENT SEED MIX SHALL BE AS SPECIFIED BY THE LANDSCAPE PLAN NOTES OR MAY OTHERWISE CONSIST OF 0.45 LBS/1,000 SF TALL FESCUE, 0.20 LBS/1,000 SF 69 LF, 15" HDPE S=0.010 FT./FT. CREEPING RED FESCUE, AND 0.20 LBS/1,000 SF BIRDSFOOT TREFOIL. PRIOR TO SEEDING, A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS PER ACRE IF 10-20-20 FERTILIZER SHALL BE APPLIED. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 1.5 TONS PER ACRE OF HAY MULCH. MULCH TO BE ANCHORED IN PLACE WHERE NECESSARY. ⁻286- — — — STRUCTURAL PRACTICES FOR EROSION AND SEDIMENTATION CONTROL SILT SOCK - WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE DISTURBED AREAS AND WILL DELINEATE THE LIMITS OF WORK FOR THE PROPOSED CONSTRUCTION. THE SILT SOCK WILL BE INSTALLED - AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB; BY OTHERS. POSTS SHALL BE USED WITH AT LEAST 6" OF THE POST BURIED BELOW THE GROUND - ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE RIM = 303.0SURFACE TO PREVENT THE SILT SOCK FROM FORMING GAPS NEAR THE GROUND SURFACE. RUNOFF WILL CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE; INV.IN=297.77 FLOW THROUGH THE OPENINGS IN THE SILT SOCK WHILE RETAINING THE SEDIMENT WITHIN THE INV.IN=298.57 - PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL; CONSTRUCTION AREA. - SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER; INV.OUT=297.67 - WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER; SILT FENCE - WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE DISTURBED AREAS AND WILL - MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED; DELINEATE THE LIMITS OF WORK FOR THE PROPOSED CONSTRUCTION. THE SILT FENCE WILL BE INSTALLED PROPOSED RETAINING WALL - TRASH DUMPSTERS SHALL BE GASKETED OR HAVE A SECURE WATERTIGHT LID AND BE PLACED AWAY BY STRETCHING REINFORCED FILTER FABRIC BETWEEN POSTS WITH AT LEAST 8" OF THE FABRIC BURIED FROM STORMWATER CONVEYANCES AND DRAINS. BELOW THE GROUND SURFACE TO PREVENT GAPS FROM FORMING NEAR THE GROUND SURFACE. RUNOFF - THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS WILL FLOW THROUGH THE OPENINGS IN THE FILTER FABRIC WHILE RETAINING THE SEDIMENT WITHIN THE STABILIZED CONSTRUCTION ENTRANCE - WILL BE INSTALLED IN ACCORDANCE WITH THE DETAIL AT THE THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS: 130 LF, 15" HDPE ENTRANCE TO THE CONSTRUCTION SITE TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS OFF THE SITE. - PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE; S=0.020 FT./FT. THE STABILIZED ENTRANCE WILL BE 20'-WIDE AND FLARE AT THE ENTRANCE TO THE PAVED ROAD AND

INV.OUT=295.07

FOREBAY

BOT EL.=293.0 -

BERM EL.=295.0

3' WIDE BERM

FILTRATION POND

BERM EL.=298.7

BOT. EL.=295.0

15 LF, 15" HDPE

INV.OUT=292.00

S=0.016 FT./FT.

STONE BERM LEVEL SPREADER

INV=292.25

INV.OUT=292.0

BOT. EL.=292.0

BERM EL.=293.5

HORIZONTAL SCALE 1"=30'

(SEE DETAIL)

SILT SOCK (TYP.) -

RIM=298.5

REV DATE

DESCRIPTION

DR CK

(SEE DETAIL)

INV.OUT=292.25

EL. = 295.0

RIPRAP OUTLET APRON (TYP.) -

HAVE A DEPTH OF 12" OF STONE. THE STABILIZED ENTRANCE SHALL BE MAINTAINED UNTIL THE REMAINDER OF THE CONSTRUCTION SITE HAS BEEN FULLY STABILIZED. THE PAVED STREET ADJACENT TO THE SITE SHALL BE SWEPT ON A WEEKLY BASIS TO REMOVE EXCESS MUD AND DIRT FROM BEING TRACKED FROM THE SITE. TRUCKS HAULING MATERIAL TO AND/OR FROM THE SITE SHALL BE COVERED WITH A TARPAULIN

CATCH BASINS - WILL BE CLEANED ON AN ANNUAL BASIS TO REMOVE ALL SEDIMENTS FROM THE CATCH

CATCH BASIN PROTECTION - WILL BE INSTALLED AT ALL CATCH BASINS WITHIN THE CONSTRUCTION AREA. FILTER FABRIC WILL BE INSTALLED AROUND THE GRATES OF CATCH BASINS THAT ARE LOCATED IN THE TRAVEL WAY AND STONE/FILTER FABRIC PROTECTION WILL BE INSTALLED AT THE CATCH BASINS FOUND

BLANKET SLOPE PROTECTION - SHALL BE INSTALLED ON ALL 2:1 SLOPES OR STEEPER ON SITE. ANCHOR THE TOP OF THE BLANKET BY ANCHORING THE BLANKET IN A 6" DEEP TRENCH. BACKFILL AND COMPACT TRENCH AFTER STAPLING. ROLL THE BLANKET IN THE DIRECTION OF STORM WATER FLOW. WHERE 2 OR MORE STRIPS OF BLANKET ARE REQUIRED, A MINIMUM OF 4" OF OVERLAP SHALL BE PROVIDED.

STONE CHECK DAMS - WILL BE INSTALLED IN EXISTING AND PROPOSED GRASS SWALES TO REDUCE THE VELOCITY OF CONCENTRATED STORM WATER FLOWS AND PREVENT EROSION OF THE SWALE.

STORM WATER MANAGEMENT

STORM WATER DRAINAGE FOR DEVELOPED AREAS WILL BE COLLECTED BY A PIPE AND CATCH BASIN CLOSED DRAINAGE SYSTEM. APPROXIMATELY 1.07 ACRES OF THE 2.342 ACRE SITE WILL REMAIN UNTOUCHED AND IN ITS NATURAL STATE. WHEN CONSTRUCTION IS COMPLETE THE MAJORITY OF THE SITE WILL DRAIN TO ONE FILTRATION BASIN SYSTEM FOR STORMWATER RUN OFF TREATMENT.

- ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURE DUMPSTERS OR APPROVED ENCLOSURE AND REMOVED FROM THE SITE ON A WEEKLY BASIS. NO CONSTRUCTION WASTE SHALL BE BURIED ON SITE. PORTABLE TOILET SANITARY WASTE FACILITIES WILL BE PROVIDED DURING CONSTRUCTION AND MAINTAINED/DISPOSED OF ON A REGULAR BASIS IN ACCORDANCE WITH TOWN AND STATE REGULATIONS.
- THRUST BLOCK SHALL BE PROVIDED WHERE WATER LINE CHANGES DIRECTION OR TAPS INTO EXISTING
- A LIST OF CONSTRUCTION ITEMS AND OTHER PRODUCTS USED ON THIS PROJECT SHALL BE KEPT ON RECORD WITH THIS PLAN ONSITE. ALL CHEMICALS, PETROLEUM PRODUCTS AND OTHER MATERIALS USED DURING CONSTRUCTION SHALL BE STORED IN A SECURE AREA, AND PRECAUTIONS USED TO PREVENT POTENTIAL SOURCES OF CONTAMINATION OR POLLUTION. ANY SPILL OF THESE TYPES OF SUBSTANCES SHALL BE CLEANED UP AND DISPOSED OF IN A LEGAL MANNER AS SPECIFIED BY STATE REGULATIONS AND THE MANUFACTURER. ANY SPILL IN AMOUNTS EQUAL TO OR EXCEEDING REPORTABLE QUANTITY AS DEFINED
- BY THE EPA SHALL TAKE THE FOLLOWING STEPS: - NOTIFY THE NATIONAL RESPONSE CENTER IMMEDIATELY AT (888) 424-8802; IN WASHINGTON, D.C., CALL (202) 426-2675.

WITHIN 14 DAYS, SUBMIT A WRITTEN DESCRIPTION OF THE RELEASE TO THE EPA REGIONAL OFFICE PROVIDING THE DATE AND CIRCUMSTANCES OF THE RELEASE AND THE STEPS TO BE TAKEN TO PREVENT ANOTHER RELEASE

- MODIFY THE POLLUTION PREVENTION PLAN TO INCLUDE THE INFORMATION LISTED ABOVE

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION

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- ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT

- IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:

ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS:
FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS:
ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

EXCESS CONCRETE SHALL BE USED IN AREAS DESIGNATED BY THE SITE CONTRACTOR. WASH WATER SHALL BE DISPOSED OF USING BEST MANAGEMENT PRACTICES. BUILDING CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DRUM WASH WATER ASSOCIATED WITH CONCRETE FOR THE BUILDING PAD. SITE CONTRACTOR TO COORDINATE AND PROVIDE BUILDING CONTRACTOR WITH AN AREA FOR DRUM WASH

SPILL CONTROL PRACTICES:
IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE. - ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE

SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A

- SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF SIZE. - THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF
- DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED - THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY—TO—DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. THEY WILL DESIGNATE AT LEAST THREE OTHER SITE PERSONNEL WHO WILL EACH RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

11. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN RECORDS OF CONSTRUCTION ACTIVITIES, INCLUDING DATES OF MAJOR GRADING ACTIVITIES, DATES WHEN CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED ON A PORTION OF THE SITE, DATES WHEN WORK IS COMPLETED ON A PORTION OF THE SITE, AND DATES WHEN STABILIZATION MEASURES ARE INITIATED ONSITE.

12. THE CONTRACTOR SHALL PERFORM INSPECTIONS OR HAVE A CONSULTING ENGINEER PERFORM INSPECTIONS EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER A STORM OF 0.5" OR GREATER. INSPECTIONS REPORTS ARE TO BE KEPT ON FILE AT THE SITE WITH THIS PLAN. MAINTENANCE OR MODIFICATION SHALL BE IMPLEMENTED AND ADDED TO THE PLAN AS RECOMMENDED BY THE QUALIFIED INSPECTOR.

SITE DEVELOPMENT PLANS

TEMPORARY SILT

STORMWATER MANAGEMENT PLAN BOBCAT OF NEW HAMPSHIRE 2 REBEL RD & 345 DERRY RD (HUDSON, NH) 307 NASHUA RD (LONDONDERRY, NH) OWNED BY

TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A

MAL-MAR, LLC

PREPARED FOR **BOBCAT OF NEW HAMPSHIRE**

SCALE: 1"=30" JULY 26, 2021



ivil Engineers tructural Engineers raffic Engineers and Surveyors andscape Architects cientists

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DR PWH FB

17851-08 SITE PLANS

CONSTRUCTION SEQUENCE NOTES

- 1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- 2. CUT AND CLEAR TREES WITHIN AREA OF DISTURBANCE UNLESS OTHERWISE NOTED.
- 3. CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES PRIOR TO ANY EARTH MOVING OPERATION.
- 4. DEMOLISH EXISTING STRUCTURES (IF ANY).
- 5. CONSTRUCT CULVERTS, DETENTION BASINS AND TREATMENT SWALES. PLACE HEADWALLS, RIP-RAP AND OTHER DRAINAGE FACILITIES ACCORDING TO PLAN. THE CONTRACTOR SHALL STABILIZE ALL DITCHES, SWALES, AND PONDS/BASINS PRIOR TO DIRECTING FLOW TO THEM. RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMPS ARE STABILIZED.
- 6. ROUGH GRADE SITE OR PHASED WORK AREA. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING. ALL DISTURBED AREAS SHALL BE STABILIZED NO LATER THAN 72 HOURS AFTER CONSTRUCTION ACTIVITY CEASES. IF EARTHWORK TEMPORARILY CEASES ON A PORTION OF OR THE ENTIRE SITE, AND WILL NOT RESUME WITHIN 21 DAYS, THE AREA SHALL BE STABILIZED. IN NO CASE SHALL UNSTABILIZED SOIL BE EXPOSED FOR GREATER THAN 45 DAYS.
- AN AREA SHALL BE CONSIDERED STABILIZED IF:
- A) BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
- B) A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
- C) A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED, OR D) EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- 7. INSTALL ALL UNDERGROUND UTILITIES.
- 8. CONSTRUCT BUILDINGS.
- 9. CONSTRUCT PARKING AND FINISH GRADE SITE ACCORDING TO PLAN. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- 10. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL MEASURES WEEKLY AND IMMEDIATELY AFTER 0.5" OR GREATER RAINFALL STORM EVENTS.
- 11. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 12. REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE ALL AREAS ARE STABILIZED WITH A SUITABLE STAND OF GRASS, PAVEMENT OR COMPACTED GRAVELS.
- * REFER TO THE STORM WATER MANAGEMENT PLAN FOR EROSION CONTROL MEASURES AND SPECIFIC INFORMATION.

GENERAL NOTES

- 1. ALL IN PAVEMENT MANHOLES SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
- 2. WHERE DEPTH OF COVER IS LESS THAN 3 FEET CLASS V REINFORCED CONCRETE PIPE SHALL BE USED.
- 3. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- 4. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
- 5. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- 6. EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT IN
- ACCORDANCE WITH APPLICABLE NHDES STANDARDS. THESE DETAILS SERVE AS A GUIDE ONLY.
- 7. REFER TO THE TOWN STANDARD DETAILS, LATEST REVISION, FOR ADDITIONAL INFORMATION AND CRITERIA.
- 8. THE CONTRACTOR SHALL STABILIZE ALL DITCHES, SWALES, AND PONDS PRIOR TO DIRECTING FLOW TO THEM.
- 9. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.

WINTER CONSTRUCTION

IN ADDITION TO THE OTHER NOTES CONTAINED ON THIS PLAN, THE FOLLOWING MUST BE IMPLEMENTED:

- WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED AS SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- 2. AN AREA WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE MUST BE PROTECTED WITH A DOUBLE
- . TEMPORARY MULCH MUST BE APPLIED WITHIN 7 DAYS OF SOIL EXPOSURE OR PRIOR TO ANY STORM EVENT, BUT AFTER EVERY WORKDAY IN AREAS WITHIN 100 FEET FROM A PROTECTED NATURAL RESOURCE.
- AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE MUST BE PERMANENTLY MULCHED THE SAME DAY.
- IN THE EVENT OF A SNOWFALL GREATER THAN 1 INCH (FRESH OR CUMULATIVE), THE SNOW SHALL BE REMOVED FROM THE AREAS DUE TO BE SEEDED AND MULCHED.
- 6. LOAM SHALL BE FREE OF FROZEN CLUMPS BEFORE IT IS APPLIED.
- 7. A DITCH THAT WILL BE CONSTRUCTED DURING THE WINTER MUST BE STABILIZED WITH RIPRAP.

OVERWINTER STABILIZATION

- PERMANENT STABILIZATION CONSISTS OF AT LEAST 85% VEGETATION, PAVEMENT/GRAVEL BASE OR RIPRAP.
- ALL PROPOSED VEGETATED AREAS THAT DO NO EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- 3. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OR 3 INCHES OF CRUSHED GRAVEL PER NHDOT
- . DO NOT EXPOSE SLOPES OR LEAVE SLOPES EXPOSED OVER THE WINTER OR FOR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS FULLY PROTECTED WITH MULCH.
- . APPLY HAY MULCH AT TWICE THE STANDARD RATE (150 LBS. PER 1,000 SF). THE MULCH MUST BE THICK ENOUGH SUCH THAT THE GROUND SURFACE WILL NOT BE VISIBLE AND MUST BE ANCHORED.
- USE MULCH AND MULCH NETTING OR AN EROSION CONTROL MULCH BLANKET OR MIX FOR ALL SLOPES GREATER THAN 8% OR OTHER AREAS EXPOSED TO DIRECT WIND.
- 8. INSTALL AN EROSION CONTROL BLANKET IN ALL DRAINAGE WAYS (BOTTOM AND SIDES) WITH A SLOPE
- 9. SEE THE VEGETATION MEASURES FOR MORE INFORMATION ON SEEDING DATES AND TYPES.

EROSION CONTROL NOTES

- DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED: 1. INSTALLATION OF SILTATION FENCES AND OTHER EROSION CONTROL MEASURES SHALL BE COMPLETED PRIOR TO THE START OF SITE WORK IN ANY GIVEN AREA. PREFABRICATED SILTATION FENCES SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- 2. SILTATION FENCES AND OTHER EROSION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL SLOPES HAVE A VEGETATIVE COVER OF GREATER THAN 85%. EROSION CONTROL MEASURES SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EVERY RAINFALL.
- 3. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
- 4. THE AREA OF LAND EXPOSED AND THE TIME OF EXPOSURE SHALL BE MINIMIZED. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
- 5. ALL DISTURBED AREAS SHALL HAVE A MINIMUM OF 4" OF LOAM. ACCEPTABLE SEED MIXES ARE AS FOLLOWS:
 - <u>TYPICAL LAWN MIX (MIN. 200 LBS/ACRE):</u> 33% CREEPING RED FESCUE (MIN. 66 LBS/ACRE) 42% PERENNIAL RYEGRASS (MIN. 84 LBS/ACRE) 21% KENTUCKY BLUEGRASS (MIN. 42 LBS/ACRE)
 - TEMPORARY LAWN MIX: (MIN. 47 LBS/ACRE)

WILDFLOWER SLOPE (NHDOT TYPE 45) MIX 3:1 OR GREATER SLOPES (MIN. 160 LBS/ACRE):

(MIN. 8 LBS/ACRE)

32% PERENNIAL RYEGRASS (MIN. 51 LBS/ACRE) 5% REDTOP (MIN. 8 LBS/ACRE) 5% ALSIKE CLOVER (MIN. 8 LBS/ACRE` 5% BIRDSFOOT TREFOIL (MIN. 8 LBS/ACRE) 3% LANCE-LEAF COREOPSIS (MIN. 3 LBS/ACRE) 3% OXEYE DAISY (MIN. 3 LBS/ACRE) 3% BUTTERFLY WEED (MIN. 3 LBS/ACRE) 3% BLACKEYED SUSAN (MIN. 3 LBS/ACRE) 3% WILD LUPINE (MIN. 3 LBS/ACRE)

38% CREEPING RED FESCUE (MIN. 60 LBS/ACRE)

GENERAL SLOPE (NHDOT TYPE 44) MIX 3:1 OR GREATER SLOPES (MIN. 160 LBS/ACRE):

44% CREEPING RED FESCUE (MIN. 70 LBS/ACRE) 38% PERENNIAL RYEGRASS (MIN. 60 LBS/ACRE) 6% REDTOP (MIN. 10 LBS/ACRE) 6% ALSIKE CLOVER (MIN. 10 LBS/ACRE) 6% BIRDSFOOT TREFOIL (MIN. 10 LBS/ACRE)

PLACING LOAM ON SITE

100% ANNUAL RYE

- a. ALL SUBGRADE ELEVATIONS SHOULD BE UNIFORMLY GRADED TO RECEIVE LOAM AND SHALL BE INSPECTED AND APPROVED BY THE GENERAL CONTRACTOR PRIOR TO PLACEMENT OF LOAM.
- b. PLACE LOAM TO FORM A MINIMUM DEPTH OF 4" WHEN ROLLED, UNLESS OTHERWISE INDICATED. c. ALL DEPRESSIONS EXPOSED DURING THE ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM.
- AFTER FINISH GRADING AND JUST BEFORE SEEDING, THE AREAS TO BE SEEDED SHALL BE LOOSENED TO PROVIDE A ROUGH, FIRM BUT FINELY PULVERIZED SEEDBED. THE INTENT IS A TEXTURE CAPABLE OF RETAINING WATER, SEED AND FERTILIZER WHILE REMAINING STABLE AND ALLOWING SEED TIME TO GERMINATE. SEED SHALL BE APPLIED TO THE CONDITIONED SEEDBED NOT MORE THAN 48 HOURS AFTER THE SEEDBED HAS BEEN PREPARED.
- 6. LIME AND FERTILIZER SHALL BE INCORPORATED INTO THE SOIL PRIOR TO OR AT THE TIME OF AT THE TIME OF SEEDING. A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS. PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. SEEDING PRACTICES SHALL COMPLY WITH LOCAL USDA SOIL CONSERVATION SERVICES RECOMMENDATIONS.
- 7. HAY MULCH OR JUTE MATTING SHALL BE USED WHERE INDICATED ON THE PLANS. A MINIMUM OF 1.5 TONS OF MULCH PER ACRE SHALL BE APPLIED. MULCH SHALL BE ANCHORED IN PLACE WHERE NECESSARY. JUTE MATTING SHALL BE LAID IN THE DIRECTION OF RUNOFF FLOW AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S
- 8. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS AREA NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 15 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING WINTER MONTHS.
- 9. WATER SHALL BE USED FOR DUST CONTROL IN APPROPRIATE AREAS.

- 1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CONCENTRATED FLOWS OF STORMWATER, DRAINAGE COURSES AND INLETS.
- 2. PROTECT ALL STOCKPILES FROM STORMWATER RUN-ON USING TEMPORARY PERIMETER MEASURES SUCH AS DIVERSIONS, BERMS, SANDBAGS OR OTHER APPROVED PRACTICES.
- 3. STOCKPILES SHOULD BE SURROUNDED BY SEDIMENT BARRIERS, SUCH AS SILT FENCE OR SILT SOCK, TO
- PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES. 4. IMPLEMENT WIND EROSION CONTROL PRACTICES AS APPROPRIATE ON ALL STOCKPILED MATERIAL.
- 5. PLACE BAGGED MATERIALS ON PALLETS AND UNDER COVER.
- 6. INACTIVE STOCKPILES a. INACTIVE SOIL STOCKPILES SHOULD BE COVERED WITH ANCHORED TARPS OR PROTECTED WITH SOIL
 - STABILIZATION MEASURES (TEMPORARY SEED AND MULCH OR OTHER TEMPORARY PRACTICE) AND TEMPORARY PERIMETER SEDIMENT BARRIERS AT ALL TIMES.
- b. INACTIVE STOCKPILES OF CONCRETE RUBBLE, ASPHALT CONCRETE RUBBLE, AGGREGATE MATERIALS AND OTHER SIMILAR MATERIALS SHOULD BE PROTECTED WITH TEMPORARY SEDIMENT PERIMETER BARRIERS AT ALL TIMES. IF THE MATERIALS ARE A SOURCE OF DUST, THEY SHOULD ALSO BE

- a. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY LINEAR SEDIMENT BARRIERS PRIOR TO THE ONSET OF PRECIPITATION. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH
- b. WHEN A STORM EVENT IS PREDICTED, STOCKPILES SHOULD BE PROTECTED WITH AN ANCHORED PROTECTIVE COVERING.

COMPOST FILLED SILT SOCK (12"-18" TYP.) 2"x 2" WOOD STAKE PLACED 10' O.C. FLOW - WORK AREA AREA TOP OF GROUND -1. SILT SOCK SHALL BE FILTREXXTM SILTSOXXTM OR APPROVED EQUIVALENT. 2. SEE SPECIFICATIONS FOR SOCK SIZE AND COMPOST FILL

THE ENGINEER.

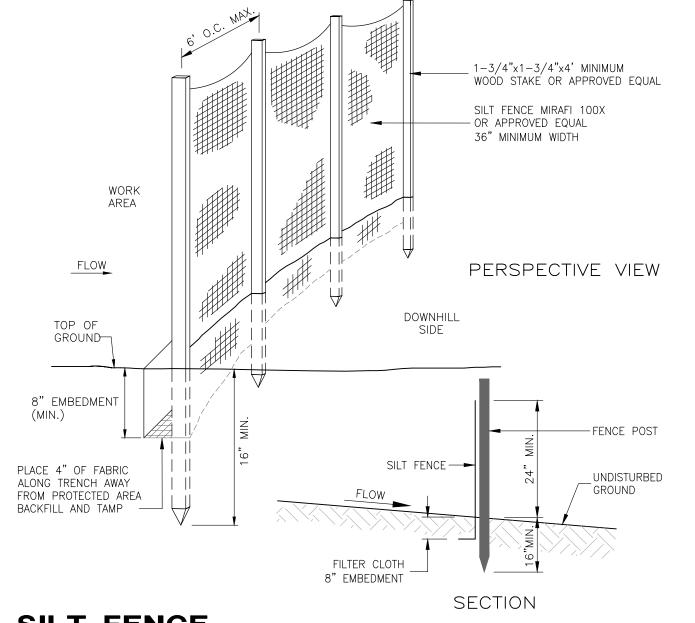
SILT SOCK

NOT TO SCALE

3. SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM

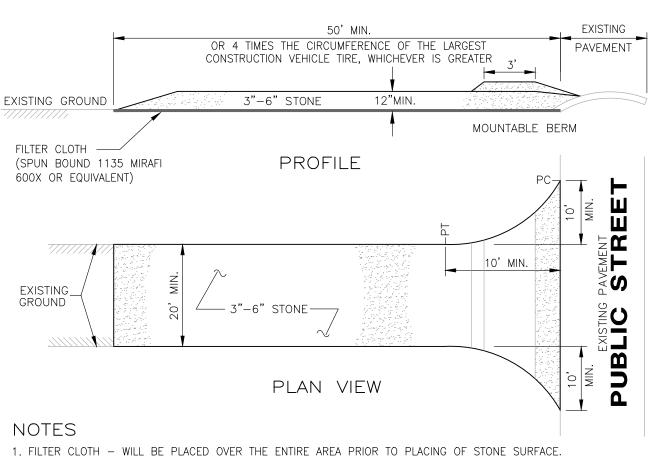
4. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY

EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS



SILT FENCE

NOT TO SCALE



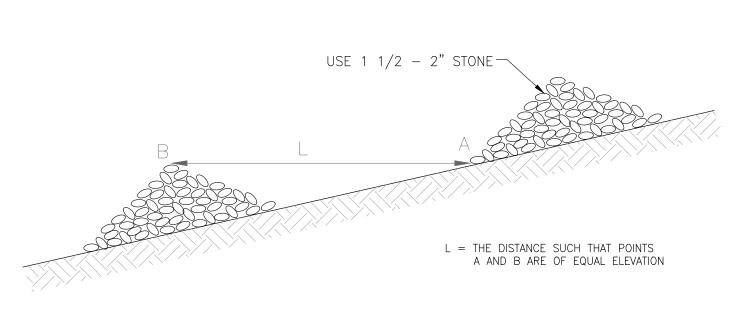
NOTES

- 1. FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
- 2. WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- 3. MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- 4. WASHING WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- 5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

USDA - SCS STABILIZED CONSTRUCTION ENTRANCE

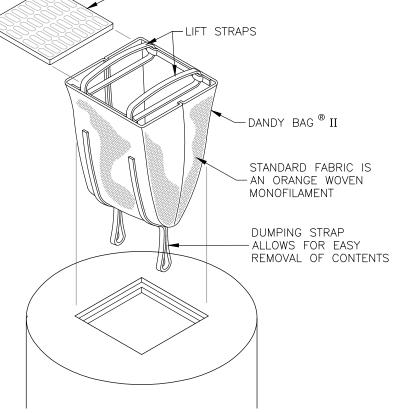
SEE PLAN FOR PROPOSED LOCATION

NOT TO SCALE



STONE CHECK DAM

NOT TO SCALE



INSTALLATION INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS; PLACE ABSORBENT PILLOW IN UNIT. STAND THE GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY BAG PSO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING

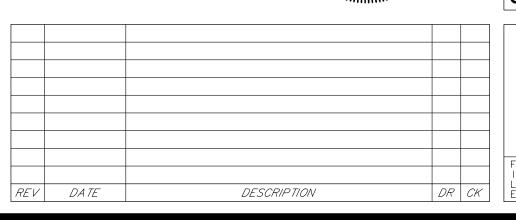
MAINTENANCE

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY BAG II. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS; REPLACE ABSORBENT

DANDY BAG[®] II

DEVICES, INSERT THE GRATE INTO THE INLET.

NOT TO SCALE



TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A

DETAIL SHEET

BOBCAT OF NEW HAMPSHIRE 2 REBEL RD & 345 DERRY RD (HUDSON, NH) 307 NASHUA RD (LONDONDERRY, NH)

MAL-MAR, LLC

OWNED BY

PREPARED FOR

BOBCAT OF NEW HAMPSHIRE JULY 26, 2021 SCALE: AS SHOWN



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17851-08 ck jsh cadfile 17851-08 DETAILS

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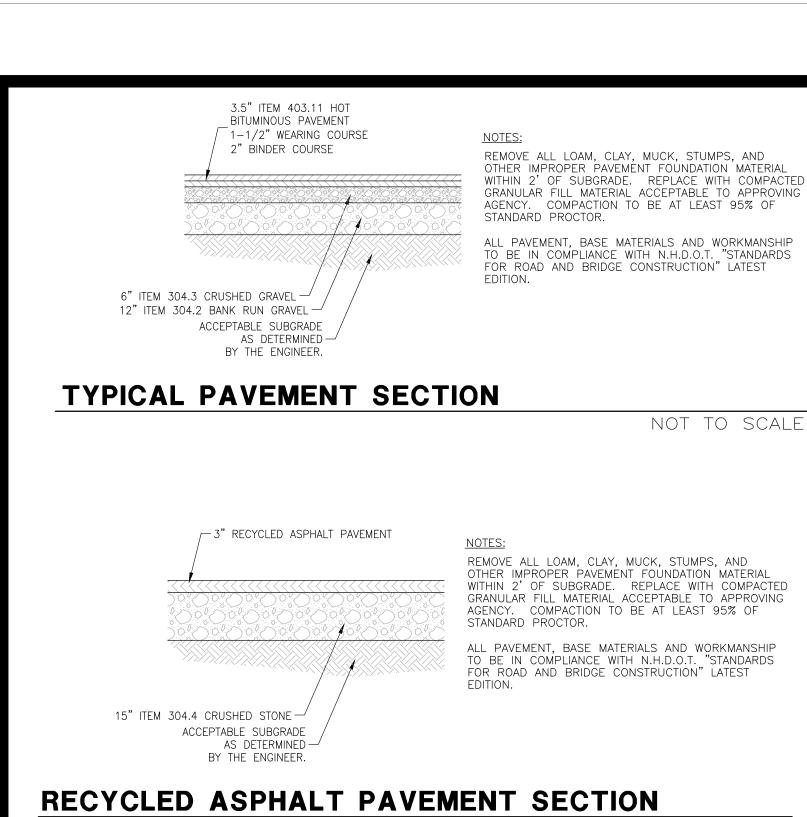
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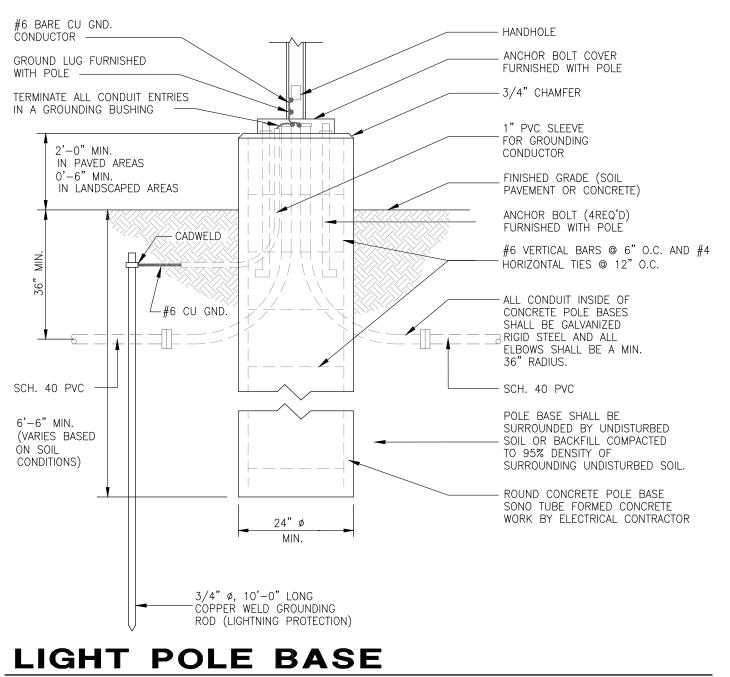
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TOOLED OR SAWCUT CONTROL JOINT 1/4 TIMES THE DEPTH OF THE SLAB. 5' O.C. ALONG WALKWAY 4" CONC. SIDEWALK (4000 PSI) PROVIDE LIGHT BROOM FINISH PERPENDICULAR TO THE TRAFFIC 6"x6",2.9x2.9 WELDED WIRE MESH FLOW UNLESS OTHERWISE NOTED REINFORCING 2" MINIMUM COVER. FINISH GROUND - - - - - - - ` - - - - - -6" COMPACTED CRUSHED GRAVEL BASE COMPACTED SUBGRADE CONTROL JOINT **EXPANSION JOINT** 4" CONC. SIDEWALK (4000 PSI) BROOM FINISH -5'-0" MIN. FINISH GROUND 6" COMPACTED CRUSHED GRAVEL 12" BANK RUN GRAVEL SECTION **CONCRETE SIDEWALK** NOT TO SCALE



RECYCLED ASPHALT PAVEMENT SECTION

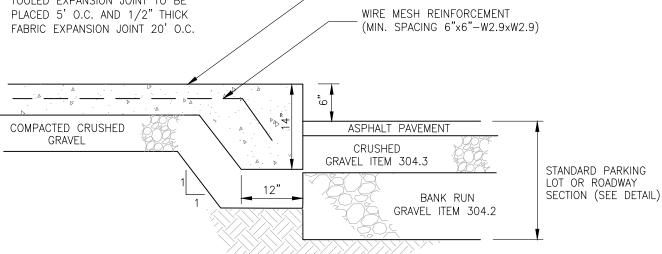
REMOVE ALL LOAM, CLAY, MUCK, STUMPS, AND OTHER IMPROPER PAVEMENT FOUNDATION MATERIAL WITHIN 2' OF SUBGRADE. REPLACE WITH COMPACTED

GRANULAR FILL MATERIAL ACCEPTABLE TO APPROVING

NOT TO SCALE

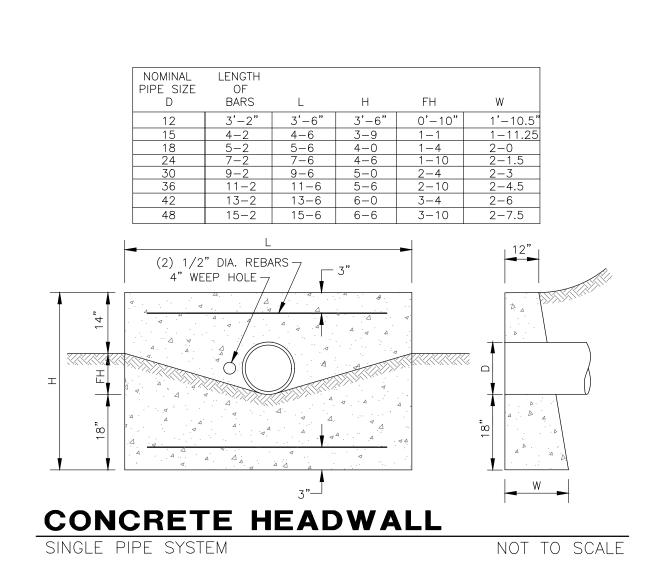
NOT TO SCALE

4000# CLASS B PORTLAND CEMENT CONCRETE PAVEMENT TOOLED EXPANSION JOINT TO BE WIRE MESH REINFORCEMENT PLACED 5' O.C. AND 1/2" THICK (MIN. SPACING 6"x6"-W2.9xW2.9) FABRIC EXPANSION JOINT 20' O.C.



CONCRETE CURB AT SIDEWALK NOT TO SCALE

COMPACTED SUBGRADE



ACCESSIBLE

<u>LENGTH</u>: P-12, 12'-0"; P-14, 14'-0"; P-16, 16'-0". WEIGHT PER LINEAR FOOT: 2.50 LBS. (MIN.) HOLES: 3/8" DIA. 1' C-C FULL LENGTH STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070-1080). FINISH: SHALL BE PAINTED WITH TWO COATS OF AN

VAN

R7-8a

6" x 12"

APPROVED MEDIUM GREEN, BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.

UNPAVED PAVED

0.D. + 2'-0''

PLASTIC DRAIN PIPE (HDPE) SHALL BE ADS N-12

(CORRUGATED EXTERIOR/SMOOTH INTERIOR) OR EQUAL MEETING AASHTO M-252 AND H-20 LOADING.

RC DRAIN PIPE SHALL BE CLASS III UNLESS OTHERWISE

TYPICAL DRAIN PIPE TRENCH

NOT TO SCALE

EXHIBIT D101

RESERVED

PARKING

R7-8

12" x 18"

(3'-0" MIN)

DRAIN PIPE SHALL BE 15" DIAMETER MIN.

DI DRAIN PIPE SHALL BE CL 50.

SEE PAVEMENT SECTION FOR

FOR RCP AND DI PIPE.

- UNDISTURBED MATERIAL

COMPACTED 3/4" CRUSHED STONE BEDDING

ASTM-C33, SIZE 67 TO MIN. 12" ABOVE TOP OF PIPE FOR HDPE PIPE. 12" SAND BLANKET ABOVE TOP OF PIPE FOR RCP AND DI PIPE.

COMPACTED 3/4" CRUSHED STONE BEDDING

ASTM-C33, SIZE 67 TO SPRINGLINE OF PIPE

PAVEMENT AND GRAVEL

REQUIREMENTS

4" TOPSOIL AND SEED (TYP) -

MATERIAL FROM EXCAVATION)

12" MIN. IN LEDGE

MIN.

FINISH GRADE

COVER FOR DRAIN PIPE -

SHALL BE 3 FT (MINIMUM)

ORDINARY FILL (SUITABLE

1. POSTS SHALL BE PLUMB; ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND PROPERLY REPLACED. POSTS MAY BE SET OR DRIVEN.

2. WHEN POSTS ARE SET, HOLES SHALL BE DUG TO THE PROPER DEPTH, AFTER INSERTING POSTS, THE HOLES SHALL BE BACKFILLED WITH SUITABLE MATERIAL IN LAYERS NO TO EXCEED 6" DEEP THOROUGHLY COMPACTED, CARE BEING TAKEN TO PRESERVE THE ALIGNMENT OF THE POST.

3. WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED AND AFTER DRIVING THE TOP OF THE POST SHALL HAVE SUBSTANTIALLY THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST; BATTERED HEADS WILL NOT BE ACCEPTED.

4. POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.

6. WHEN SIGN IS IN PLACE NO PART OF POST SHALL EXTEND ABOVE THE SIGN.

5. SIGNS SHALL BE ERECTED IN CONFORMANCE WITH THE REQUIEMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".

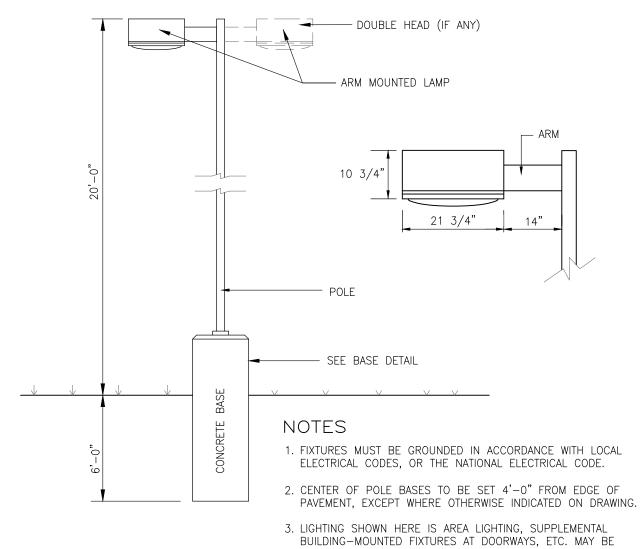
7. DIMENSIONS SHOWN ARE NOMINAL.

8. ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE

TRAFFIC SIGN POST IN GRADE

REV DATE

NOT TO SCALE



LIGHT POLE

NOT TO SCALE

TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A **DETAIL SHEET** BOBCAT OF NEW HAMPSHIRE

4. SEE LIGHTING PLAN FOR FIXTURE SCHEDULE.

2 REBEL RD & 345 DERRY RD (HUDSON, NH) **307 NASHUA RD (LONDONDERRY, NH)** OWNED BY

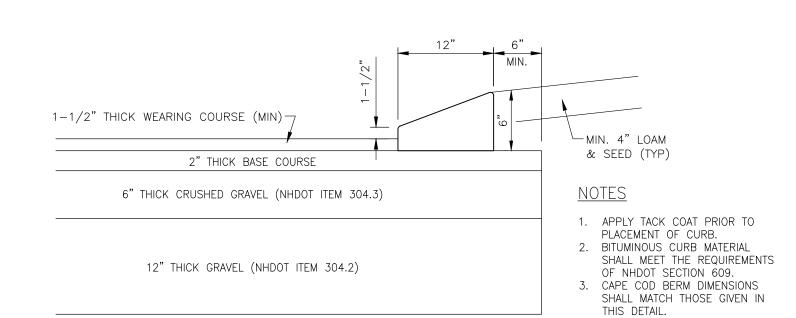
MAL-MAR, LLC

PREPARED FOR

BOBCAT OF NEW HAMPSHIRE JULY 26, 2021 SCALE: AS SHOWN

48 Constitution Drive Civil Engineers Structural Engineers Bedford, NH 03110 Traffic Engineers Phone (603) 472-4488 Land Surveyors Fax (603) 472-9747 andscape Architects www.tfmoran.com C - 917851-08 DETAILS DESCRIPTION DR CK

AGENCY. COMPACTION TO BE AT LEAST 95% OF STANDARD PROCTOR. ALL PAVEMENT, BASE MATERIALS AND WORKMANSHIP TO BE IN COMPLIANCE WITH N.H.D.O.T. "STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST 18" ITEM 304.4 CRUSHED STONE -ACCEPTABLE SUBGRADE AS DETERMINED — BY THE ENGINEER. CRUSHED STONE SECTION NOT TO SCALE



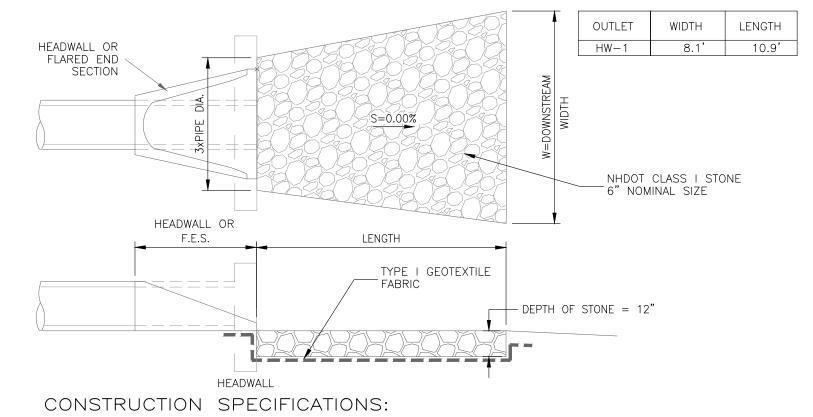
CAPE COD BERM

TOWN OF LONDONDERRY

NOT TO SCALE

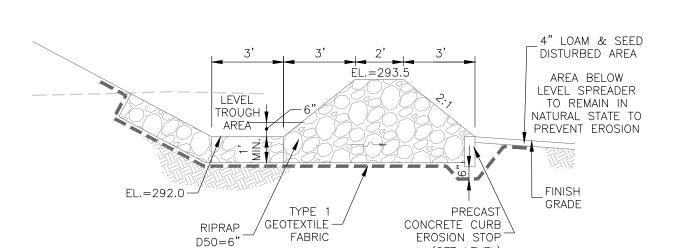
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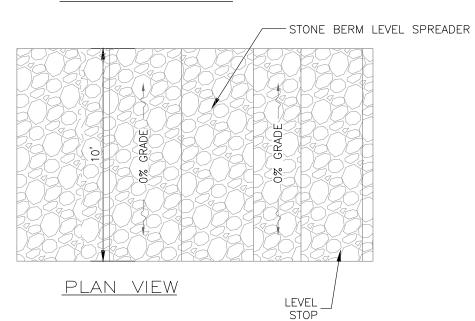
- 1. THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP-RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
- 2. THE ROCK USED FOR RIP-RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
- 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP-RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
- 4. STONE FOR THE RIP-RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

OUTLET APRON



(SET LEVEL)

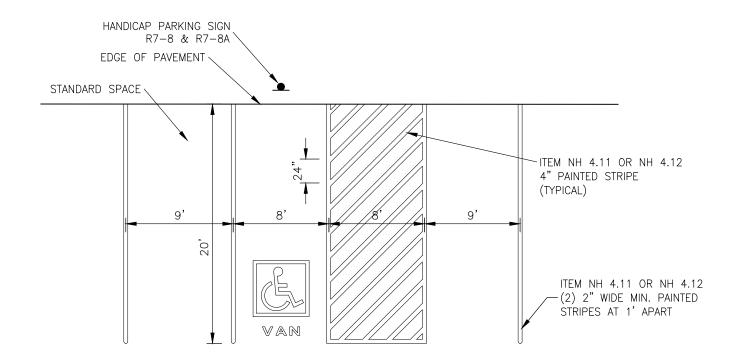
CROSS SECTION



RIPRAP LEVEL SPREADER

NOT TO SCALE

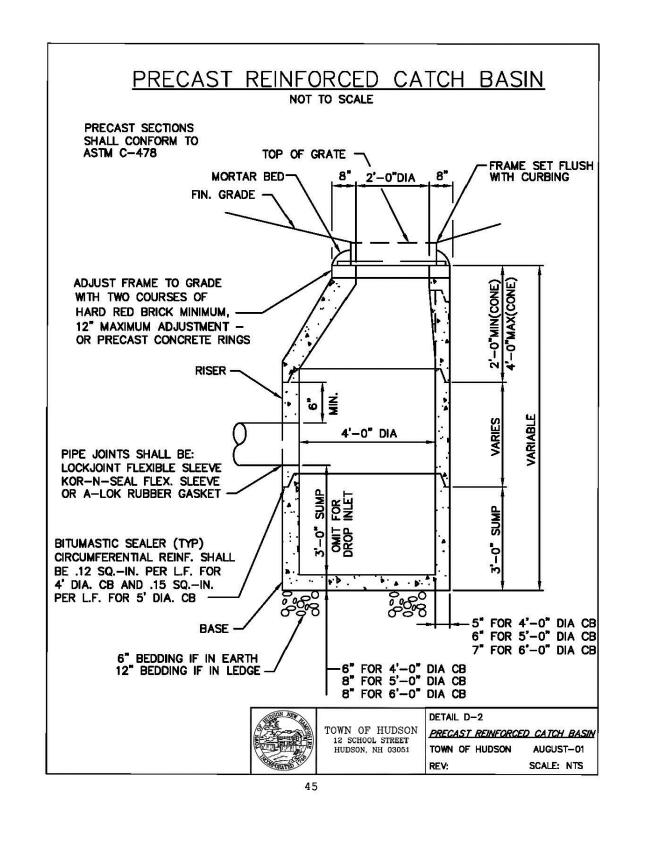
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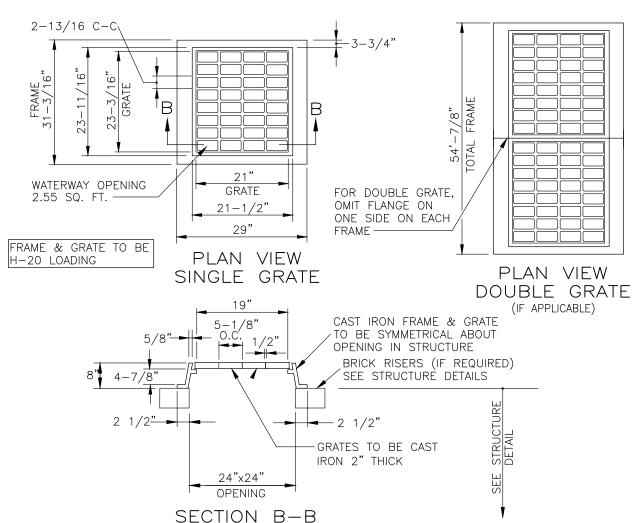


PARKING STRIPING DETAIL

NOT TO SCALE

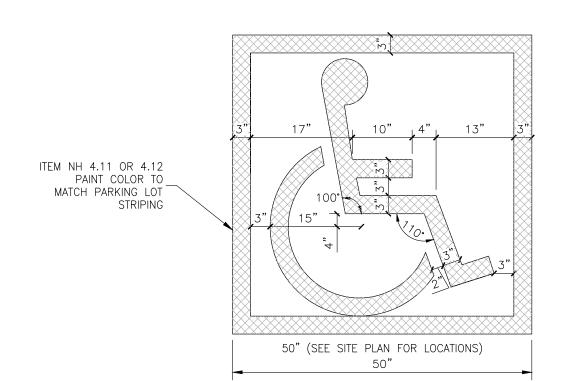
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FRAME AND GRATE

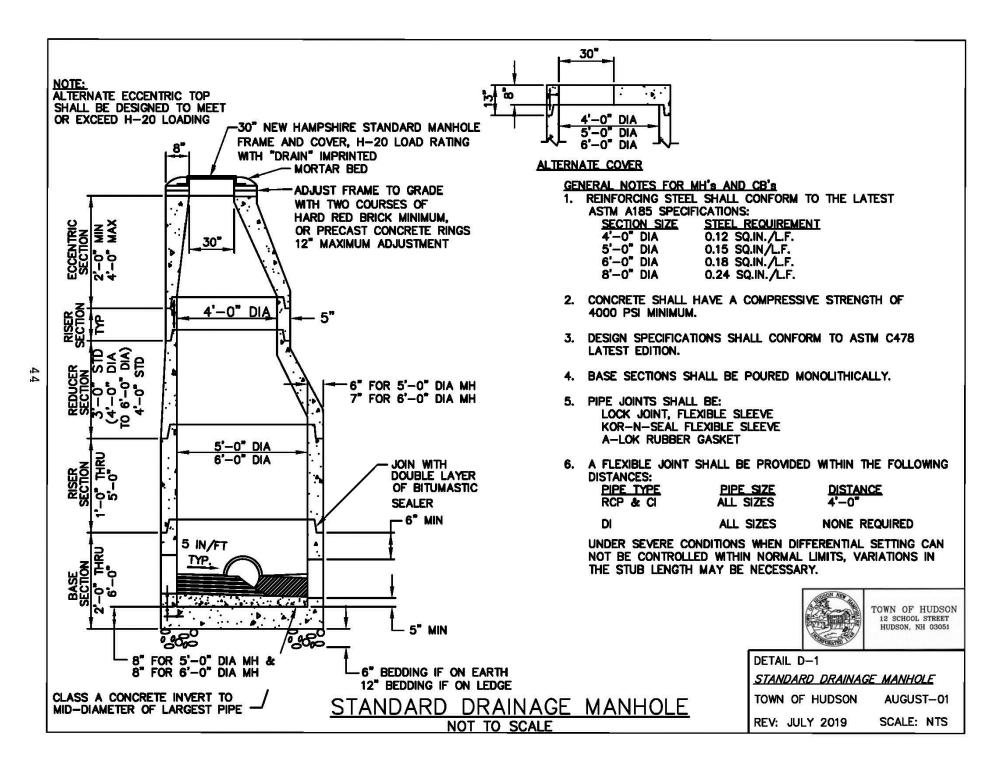
NHDOT TYPE B ALT 1



PAINTED HANDICAP SYMBOL

NOT TO SCALE

NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

PREPARE BEDDING:

BACKFILL MATERIAL AROUND THE END SECTION MAY BE THE SAME AS THE MATERIAL AROUND THE PIPE, PLACE A FEW INCHES OF BACKFILL MATERIAL IN THE TRENCH OR DITCH WHERE THE END SECTION WILL BE PLACED. COMPACT AND CONTOUR THIS BEDDING MATERIAL TO GENERALLY MATCH THE END SECTION, EXCAVATE AN AREA IN THE BEDDING WHERE TOE TROUGH WILL SEAT SO THAT THE END SECTION WILL BE LEVEL WITH THE BOTTOM OF THE TRENCH OR DITCH IN THE FINISHED INSTALLATION.

PLACE END SECTION OF PIPE:

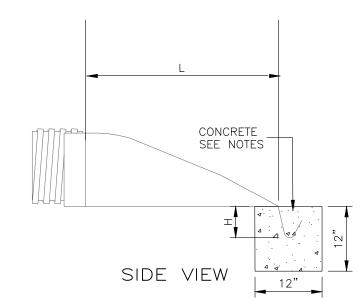
OPEN THE END SECTION COLLAR AND SEAT IT OVER THE TWO PIPE CONNECTIONS. ONCE THE END SECTION IS POSITIONED, CHECK TO MAKE SURE THAT THE INVERT OF THE END SECTION MATCHES THE INVERT OF THE PIPE AND THAT THE END SECTION IS LEVEL WITH THE TRENCH OR DITCH BOTTOM.

SLIP THE STAINLESS STEEL ROD THROUGH THE PRE-DRILLED HOLES AT THE TOP OF THE COLLAR. THE ROD SHOULD BE BETWEEN THE CROWNS OF THE TWO PIPE CONNECTIONS. $\,\,$ PLACE A WASHER $\,$ ON EITHER END OF THE ROD. PLACE A NUT ON EITHER END OF THE ROD AND TIGHTEN WITH A

SECURE THE TOE TROUGH: TO PREVENT WASHOUTS FROM HIGH VELOCITY FLOW, IT IS RECOMMENDED THAT THE TROUGH BE SECURED WITH CONCRETE. POUR CONCRETE IN THE TROUGH UP TO THE LEVEL OF THE TRENCH OR DITCH BOTTOM AND ALONG THE ENTIRE LENGTH OF THE TROUGH.

SHOVEL BACKFILL AROUND THE END SECTION IN 6 TO 9 INCH LAYERS EQUALLY ON BOTH SIDES, KNIFING IT TO ELIMINATE VOIDS. TAMP WITH A SMALL-FACED COMPACTOR OR OTHER EQUIPMENT SUITABLE FOR SMALL AREAS. CONTINUE PLACING, KNIFING, AND COMPACTING BACKFILL LAYERS TO THE TOP OF THE END SECTION TO SEAT IT WELL INTO THE BACKFILL.

TYP. TOP VIEW



	DIMENSIONS, INCHES (mm)					
PIPE DIAMETER	PART NO.	A, ±1 (25)	B MAX	H, ±1 (25)	L, ±1/2 (13)	W, ±2 (50)
2", 15" (300,375)	1210 NP	6.5 (165)	10 (254)	6.5 (165)	25 (635)	29 (736)
18" (450)	1810 NP	7.5 (190)	15 (380)	6.5 (168)	32 (812)	35 (890)
24" (600)	2410 NP	7.5 (190)	18 (450)	6.5 (165)	36 (900)	45 (1140)
30" (750)	3010 NP	10.5 (266)	NA	7.0 (178)	53 (1346)	68 (1725)
36" (900)	3610 NP	10.5 (266)	NA	7.0 (178)	53 (1346)	68 (1725)

FLARED END SECTION

HIGH DENSITY POLYETHYLENE (HDPE)

NOT TO SCALE



TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A

DETAIL SHEET

BOBCAT OF NEW HAMPSHIRE 2 REBEL RD & 345 DERRY RD (HUDSON, NH) 307 NASHUA RD (LONDONDERRY, NH)

MAL-MAR, LLC

OWNED BY

PREPARED FOR

BOBCAT OF NEW HAMPSHIRE

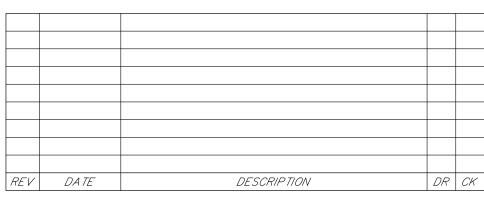
SCALE: AS SHOWN



Structural Engineers Traffic Engineers Land Surveyors Landscape Architects | 48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com

JULY 26, 2021

 $17851 - 08 \frac{\text{DR} \text{ PWH} \text{ FB}}{\text{CK} \text{ JSH} \text{ CADFILE}}$ C - 1017851-08 DETAILS



BIORETENTION AREA CONSTRUCTION

CLEAR AND GRUB THE AREA WHERE THE BIORETENTION AREAS ARE TO BE LOCATED. STOCKPILE LOAM FOR REUSE ON SLOPES.

GRADE BIORETENTION AREAS ACCORDING TO PLAN AND DETAILS. SIDE SLOPES SHALL HAVE 4" LOAM AND SEED. BOTTOM OF BIORETENTION AREAS TO BE CONSTRUCTED WITH MULCH, MANUFACTURED SOIL, PEA STONE AND CRUSHED STONE (SEE BIORETENTION AREA DETAIL). SPECIFIC PLANTINGS SHALL BE FIELD LOCATED BY LANDSCAPE ARCHITECT AT TIME OF INSTALLATION.

BIORETENTION SOIL MIXTURE SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES EXCLUDING MULCH. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION AREA THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVIDE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATION.

TOPSOIL/LOAM SHALL CONSIST OF LOOSE FRIABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. LOAM SHALL BE FREE FROM STONES, LUMPS, STUMPS, OR SIMILAR OBJECTS LARGER THAN ONE INCH (1") IN GREATEST DIAMETER, SUBSOIL, ROOTS, AND WEEDS. THE MINIMUM AND MAXIMUM PH VALUE SHALL BE FROM 5.5 TO 7.2. LOAM SHALL CONTAIN A MINIMUM OF FOUR PERCENT (4%) AND A MAXIMUM OF FIVE AND A HALF PERCENT (5.5%) ORGANIC MATTER AS DETERMINED BY WEIGHT. NOT MORE THAN TWENTY-FIVE PERCENT (25%) SHALL PASS A NO. 200 SIEVE. IN NO INSTANCE SHALL MORE THAN 20% OF THAT MATERIAL PASSING THE #4 SIEVE CONSIST OF CLAY SIZE PARTICLES. THE RATIO OF THE PARTICLE SIZE FOR 80% PASSING (D80) TO THE PARTICLE SIZE FOR 30% PASSING (D30) SHALL BE 6.0 OR LESS (D80/D30 < 6.0). SATURATED HYDRAULIC CONDUCTIVITY OF TOPSOIL/LOAM SHALL BE BETWEEN 3 INCHES/HOUR AND 10 INCHES/HOUR ACCORDING TO ASTM D5856-95 WHEN COMPACTED TO A MINIMUM OF 88% STANDARD PROCTOR, ASTM 698.

4% REDTOP

FILTER MEDIA SHALL CONFORM TO THE FOLLOWING: 20% TO 30% BY VOLUME OF MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH THAT HAS NO MORE THAN 5% FINES PASSING THE NUMBER 200 SIEVE, WITH 70 TO 80% BY VOLUME LOAMY COARSE SAND USED IN THE MIXTURE MEETING THE FOLLOWING SIEVE ANALYSIS SPECIFICATION:

FROM 85 TO 100 PERCENT BY WEIGHT SHALL PASS THE NUMBER 10 SIEVE;

(MIN. 8 LBS/ACRE)

FROM 70 TO 100 PERCENT BY WEIGHT SHALL PASS THE NUMBER 20 SIEVE;

FROM 15 TO 40 PERCENT BY WEIGHT SHALL PASS THE NUMBER 60 SIEVE; AND FROM 8 TO 15 PERCENT BY WEIGHT SHALL PASS THE NUMBER 200 SIEVE;

SEEDING FOR BIORETENTION AREA SIDE SLOPES SHALL HAVE A MINIMUM OF 4" LOAM MIXTURE INSTALLED WITH TYPICAL LAWN MIX (MIN. 200 LBS/ACRE): 33% CREEPING RED FESCUE (MIN. 66 LBS/ACRE)

42% PERENNIAL RYEGRASS (MIN. 84 LBS/ACRE) 21% KENTUCKY BLUEGRASS (MIN. 42 LBS/ACRE)

SEEDING FOR BIORETENTION AREA BASIN SHALL BE NEW ENGLAND WETLAND PLANTS, INC. NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES (MIN. 35 LBS/ACRE).

THE DRAINAGE LAYER MATERIAL SHALL BE PLACED WITH ONLY NOMINAL COMPACTION APPLIED BY A DOZER OR GRADER. FORMAL COMPACTION USING A VIBRATORY STEEL DRUM ROLLER SHALL NOT BE USED AS DENSIFICATION WILL REDUCE THE PERMEABILITY AND ABILITY FOR THE MANUFACTURED SOIL TO PROPERLY DRAIN. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT EQUIPMENT & VEHICLE TRAFFIC FROM DRIVING IN THE AREA OF THE PROPOSED BIORETENTION AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT SMEARING OF THE SUBGRADE DURING CONSTRUCTION.

BIORETENTION AREA INSPECTION & MAINTENANCE

INSPECTION & MAINTENANCE SCHEDULE TO BEGIN AFTER CONSTRUCTION SITE IS STABILIZED AND FLOW DIRECTED TO BASIN.

 ONCE ANNUALLY, EACH BIO-RETENTION SYSTEM SHALL BE INSPECTED BY THE DESIGN ENGINEER OR OTHER QUALIFIED PARTY. THE RESULTS OF THE INSPECTION SHALL BE PROVIDED TO DEPARTMENT OF PUBLIC WORKS. SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION. PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.

 TRASH AND DEBRIS SHOULD BE REMOVED AT EACH INSPECTION. ALL SEDIMENT AND TRASH SHOULD BE HANDLED PROPERLY AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL GUIDELINES AND REGULATIONS. AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN

72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA. · VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

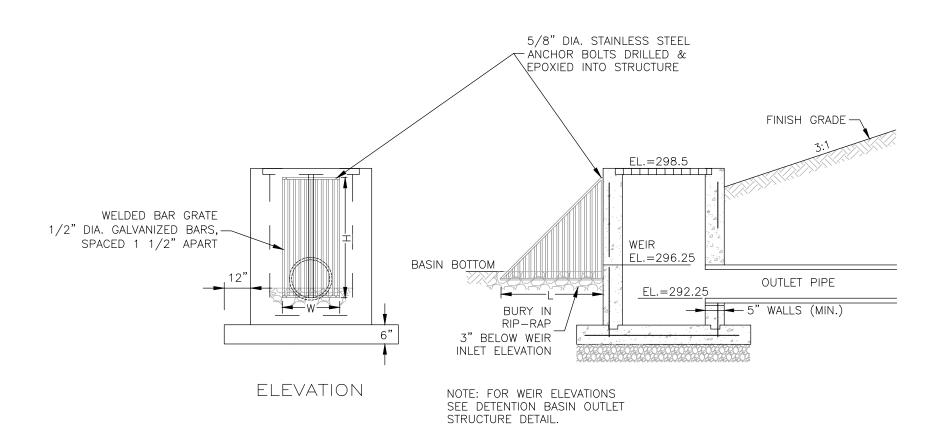
VEGETATION - SHALL BE INSPECTED AND MAINTAINED IN A HEALTHY CONDITION BY REMOVING/REPLACING DEAD OR DESEASED VEGETATION AND REMOVING INVASIVE SPECIES. THE VEGETATED AREAS SHALL BE PROTECTED FROM DAMAGE BY TRAFFIC AND DENSE WEED GROWTH. VEGETATION MAINTENANCE A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS. PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED.

BOTTOM OF BASIN - BOTTOM OF BASIN SHALL BE INSPECTED FOR EROSION, SEDIMENT ACCUMULATION, TRASH & DEBRIS. REPAIR ANY ERODED AREA OF THE BIORETENTION AREA WITH APPROPRIATE GRASS COVER AFTER REPLACING ANY LOST FILL MATERIAL AND LOAM. REMOVED SEDIMENT, TRASH & DEBRIS SHALL BE REMOVED AND DISPOSED OF PROPERLY.

INLET/OUTLET - CONDITIONS OF PIPES/RIPRAP SHALL BE NOTED AND REPAIRS MADE IF NEEDED. ACCUMULATED SEDIMENT & DEBRÍS SHALL BE REMOVED AND DISPÓSED OF PROPERLY. IF EROSION HAS OCCURED, THEN MEASURES SHALL BE TAKEN TO STABILZE AND PROTECT THE AREAS.

	TRASH RACK LOCATION	WIDTH (W)	HEIGHT (H)	LENGTH (L)
ſ	FILTRATION POND #1	2'	25'	2

NOT TO SCALE



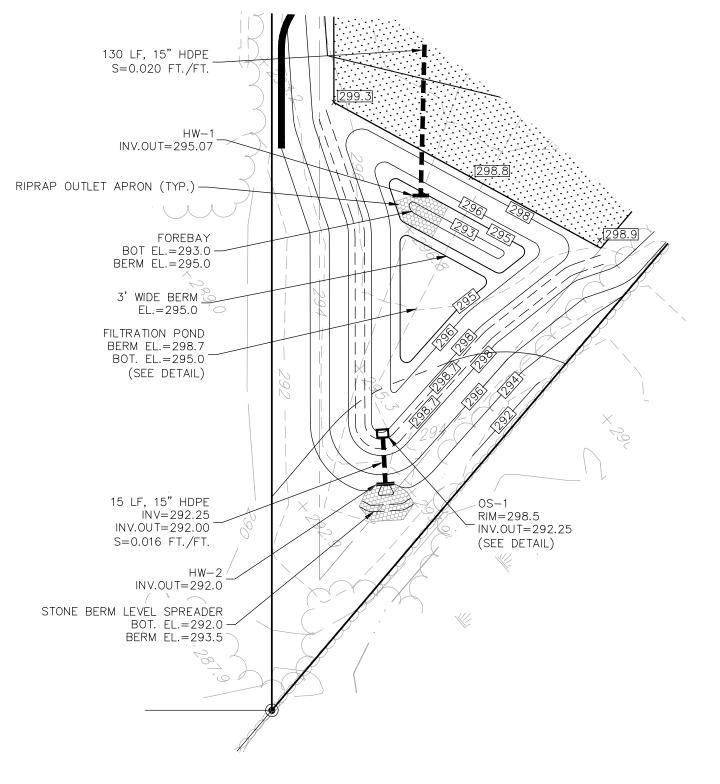
FABRICATED TRASH RACK

AT OUTLET STRUCTURE

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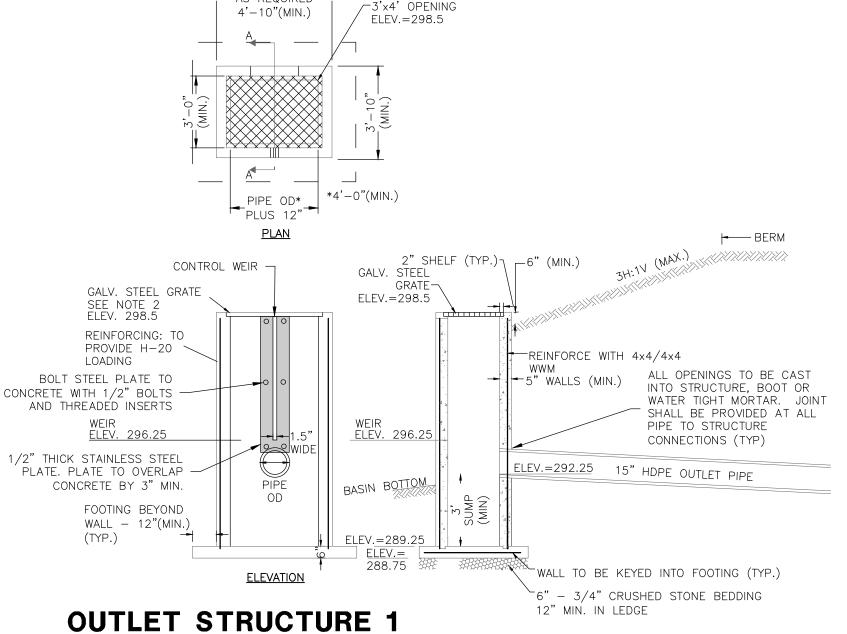


FILTRATION BASIN #1

AS REQUIRED

GALV. STEEL GRATE

1"=30



1. ALL CEMENT CONCRETE TO BE 4000 PSI (NHDOT - CLASS AA) WITH AIR ENTRAINMENT

2. GALVANIZED STEEL GRATE SHALL BE BOLTED TO TOP OF STRUCTURE W/1/2" SS BOLTS AND THREADED INSERTS. 3. ALL OPENEINGS CAST AS REQUIRED. MIN. CONCRETE WEIR WIDTH TO BE 2 INCHES.

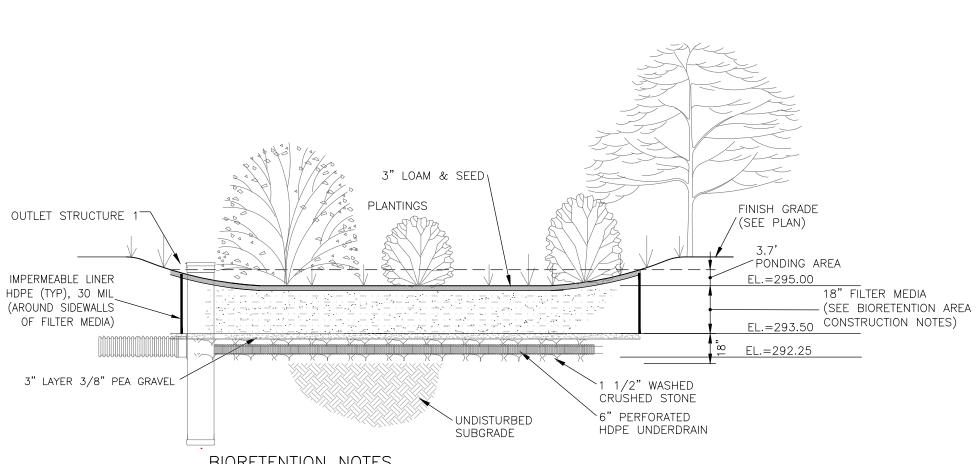
4. PRECAST REINFORCED CONCRETE STRUCTURE TO MEET ASTM C-478 DESIGNATION AND H-20 LOADING.

5. CONTROL WEIR SHALL BE SIZED TO MITIGATE DESIGN STORM AS REQUIRED BY REGULATIONS AND IN ACCORDANCE WITH THE APPROVED DRAINAGE CALCULATIONS. STAINLESS STEEL PLATE SHALL BE USED FOR CONTROL WEIRS LESS THAN 2 INCHES WIDE

6. ALL STAINLESS STEEL SHALL BE GRADE 316.

7. MINIMUM EMBANKMENT ELEVATIONS TO BE 12" ABOVE 50-YEAR STORM ELEVATION.

8. PROVIDE GALVANIZED STEEL TRASH RACK TO COVER VERTICAL WIER. BOLT TO STRUCTURE W/ STAINLESS STEEL BOLTS.



BIORETENTION NOTES

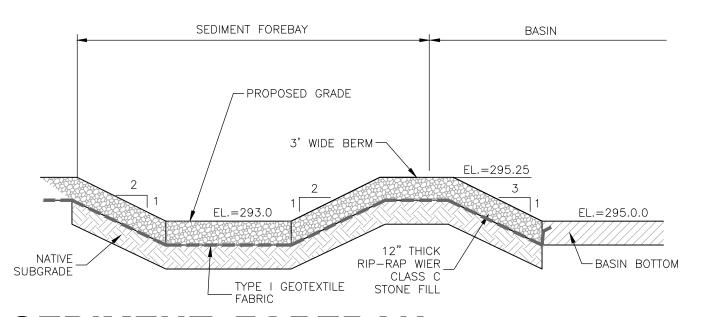
- DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND IT'S CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

-DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.

- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

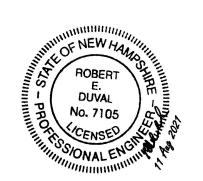
BIORETENTION AREA SECTION

NOT TO SCALE



SEDIMENT FOREBAY

NOT TO SCALE



TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A

DETAIL SHEET

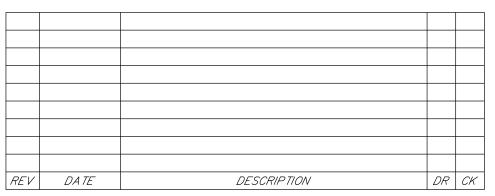
BOBCAT OF NEW HAMPSHIRE 2 REBEL RD & 345 DERRY RD (HUDSON, NH) 307 NASHUA RD (LONDONDERRY, NH)

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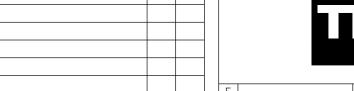
BOBCAT OF NEW HAMPSHIRE JULY 26, 2021 SCALE: AS SHOWN

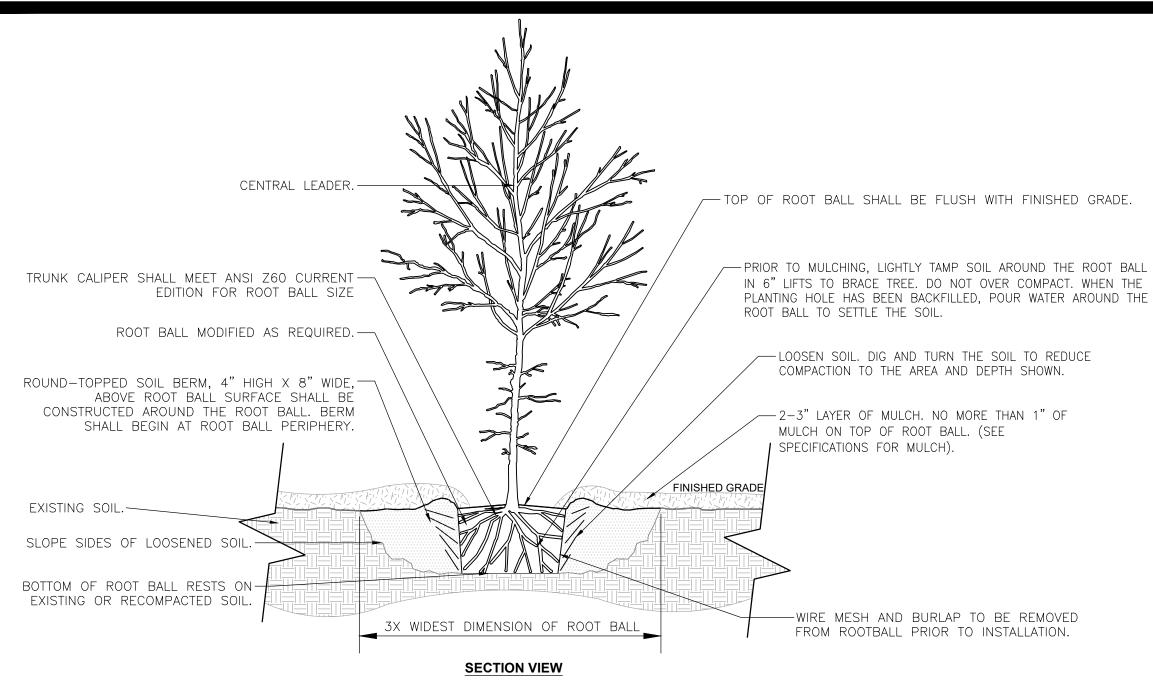


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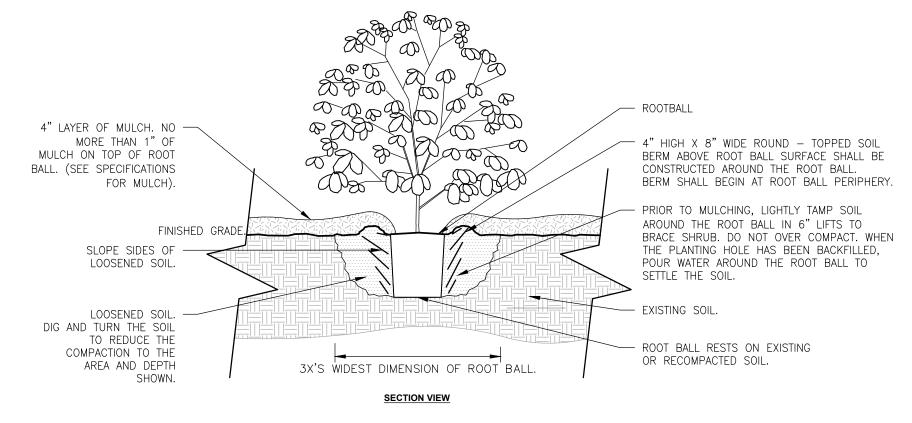
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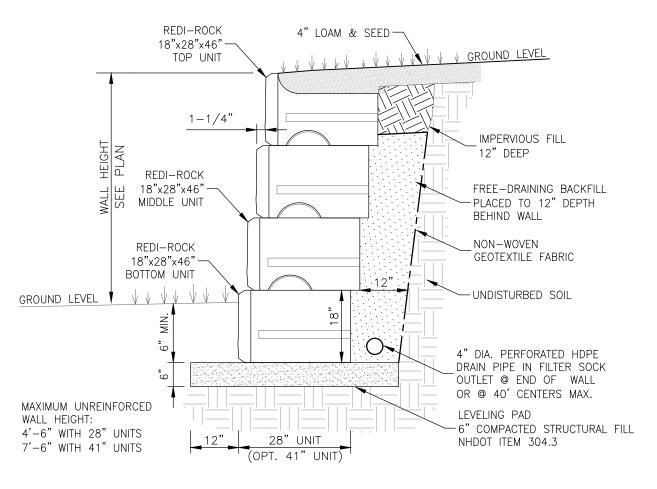
TREE WITH MULCH BERM

NOT TO SCALE



SHRUB PLANTING

NOT TO SCALE



NOTE: RETAINING WALL SHALL HAVE A COBBLESTONE FINISH

UNREINFORCED

REDI-ROCK RETAINING WALL

SCALE: 1/2"=1'-0"

6" LOAM (ITEM 641) SEED (SEE LANDSCAPE SPECIFICATIONS) LIMESTONE (ITEM 642) FERTILIZER (ITEM 643.11) MULCH (ITEM 645.111)

LOAM & SEED

NOT TO SCALE

LANDSCAPE NOTES

SITE AND SOIL PREPARATION

- 1. WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR LEDGE, NOTIFY LANDSCAPE ARCHITECT/ENGINEER BEFORE
- 2. ALL DISTURBED AREAS & PLANTING AREAS, INCLUDING AREAS TO BE SODDED, SHALL RECEIVE THE FOLLOWING SOIL PREPARATION PRIOR TO PLANTING: A MINIMUM OF 6 INCHES OF LIGHTLY COMPACTED TOPSOIL SHALL BE INSTALLED OVER THE SUBSOIL IF TOPSOIL HAS BEEN REMOVED OR IS NOT PRESENT.
- 3. LOAM SHALL CONSIST OF LOOSE FRIABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. LOAM SHALL BE FREE FROM STONES, LUMPS, STUMPS, OR SIMILAR OBJECTS LARGER THAN TWO INCHES (2") IN GREATEST DIAMETER, SUBSOIL, ROOTS, AND WEEDS. THE MINIMUM AND MAXIMUM PH VALUE SHALL BE FROM 5.5 TO 7.0. LOAM SHALL CONTAIN A MINIMUM OF TWO PERCENT (2%) AND A MAXIMUM OF FIVE PERCENT (5%) ORGANIC MATTER AS DETERMINED BY LOSS BY IGNITION. SOIL TEXTURE SHALL BE SANDY CLAY LOAM OR SANDY LOAM WITH CLAY CONTENT BETWEEN 15 AND 25%, AND A COMBINED CLAY/SILT CONTENT OF NO MORE THAN 55%. NOT MORE THAN SIXTY—FIVE PERCENT (65%) SHALL PASS A NO. 200 SIEVE AS DETERMINED BY THE WASH TEST IN ACCORDANCE WITH ASTM D1140. IN NO INSTANCE SHALL MORE THAN 20% OF THAT MATERIAL PASSING THE #4 SIEVE CONSIST OF CLAY
- 4. NATURAL TOPSOIL NOT CONFORMING TO THE PARAGRAPH ABOVE OR CONTAINING EXCESSIVE AMOUNTS OF CLAY OR SAND SHALL BE TREATED BY THE CONTRACTOR TO MEET THOSE REQUIREMENTS.
- 5. SUBMIT TEST RESULTS OBTAINED FROM SOURCE TO ENGINEER/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL, PRIOR TO SPREADING OPERATIONS.
- 6. APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT TO USE THE TOPSOIL WILL DEPEND UPON THE RESULTS OF THE SOIL TESTS.
- 7. THE BURDEN OF PROOF OF SOIL AMENDMENT INSTALLATION RESTS WITH THE CONTRACTOR. SOIL TESTS MAY BE REQUIRED AT THE CONTRACTOR'S EXPENSE IN ORDER TO CONFIRM AMENDMENT INSTALLATION.

<u>SEEDING</u>

- 1. ROUGH GRADING SHALL BE COMPLETED PRIOR TO THE START OF PLANTING IN ANY GIVEN AREA OF THE PROJECT SITE.
- 2. SEEDING SHALL BE DONE BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 15, EXCEPT FOR RESEEDING OF BARE SPOTS AND MAINTENANCE. ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, PAVING OR AREAS THAT HAVE NOT BEEN OTHERWISE DEVELOPED SHALL BE SEEDED OR SODDED. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. AFTER OCTOBER 15 DISTURBED SOILS SHALL BE PROTECTED IN ACCORDANCE WITH THE WINTER CONSTRUCTION NOTES.

ACCEPTABLE SEED MIXES ARE AS FOLLOWS:

PARK SEED MIX (NHDOT TYPE 44) MIN. 135 LBS/ACRE:

33% CREEPING RED FESCUE (MIN. 45 LBS/ACRE)

42% PERENNIAL RYEGRASS (MIN. 55 LBS/ACRE)

21% KENTUCKY BLUEGRASS (MIN. 30 LBS/ACRE)

4% REDTOP (MIN. 5 LBS/ACRE)

TEMPORARY LAWN MIX: (MIN. 47 LBS/ACRE)
100% ANNUAL RYE

SLOPE SEED (NHDOT TYPE 44) MIX 3:1 OR GREATER SLOPES (MIN. 90 LBS/ACRE):

44% CREEPING RED FESCUE
38% PERENNIAL RYEGRASS
6% REDTOP
6% ALSIKE CLOVER
6% BIRDSFOOT TREFOIL
(MIN. 40 LBS/ACRE)
(MIN. 35 LBS/ACRE)
(MIN. 5 LBS/ACRE)
(MIN. 5 LBS/ACRE)

<u>PLANTING</u>

- 1. EXCAVATE PITS, PLANTERS, BEDS AND TRENCHES WITH VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SLIGHTLY RAISED AT CENTER TO PROVIDE PROPER DRAINAGE. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION.
- 2. ANY LEDGE OR RUBBLE MATERIAL SHALL BE FRACTURED TO A DEPTH OF 3 FEET AND EXCAVATED TO A DEPTH OF 30 INCHES FOR TREE POCKETS AND 18 INCHES FOR SHRUB BEDS. THIS PROCEDURE SHALL BE HANDLED BY THE SITE CONTRACTOR. SITE TOPSOIL SHALL BE DEPOSITED IN ALL EXCAVATED POCKETS.
- DISPOSE OF SUBSOIL REMOVED FROM PLANTING EXCAVATIONS. DO NOT MIX WITH PLANTING SOIL OR USE AS BACKFILL.
- 4. FILL EXCAVATIONS FOR TREES AND SHRUBS WITH WATER AND ALLOW TO PERCOLATE OUT BEFORE PLANTING.
- 5. DISH TOP OF BACKFILL TO ALLOW FOR MULCH PLANT SAUCERS SHALL BE AS SHOWN ON DETAIL SHEETS; 6' DIAMETER FOR ALL DECIDUOUS TREES, AND FOR EVERGREEN TREES A RADIUS 2' BEYOND THE OUTER MOST BRANCHES.
- 6. MULCH TREES, SHRUBS, PLANTERS AND BEDS. PROVIDE NOT LESS THAN 3" THICKNESS OF BARK MULCH, 3/8"-2" OF WIDTH, AND WORK INTO TOP OF BACKFILL. FINISH LEVEL WITH ADJACENT FINISH GRADES AS DIRECTED IN THE FIELD.
- 7. TREEGATOR WATERING SYSTEM OR APPROVED EQUAL SHALL BE INSTALLED FOR ALL DECIDUOUS TREES AT TIME OF PLANTING AND REMOVED BEFORE FROST. WATERING RATE TO BE APPLIED PER MANUFACTURER'S SPECIFICATIONS.
- 8. THE CONTRACTOR SHALL REQUEST A FINAL OBSERVATION BY THE OWNER'S REPRESENTATIVE UPON COMPLETION OF INSTALLATION.

LANDSCAPE MAINTENANCE

<u>LAWN</u>

- 1. BEGINING MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL UNTIL ACCEPTABLE LAWN IS ESTABLISHED, BUT NOT LESS THAN THE FOLLOWING PERIODS:
 - A. SEEDED LAWNS: 60 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
 - WHEN FULL MAINTENANCE PERIOD HAS NOT ELAPSED BEFORE END OF OF PLANTING SEASON, OR IF LAWN IS NOT FULLY ESTABLISHED, CONTINUE MAINTENANCE DURING NEXT PLANTING SEASON.
 - B. SODDED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
 C. PLUGGED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
 E. SPRIGGED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
- MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
 - A. IN AREAS WHERE MULCH HAS BEEN DISTURBED BY WIND OR MAINTENANCE OPERATIONS, ADD NEW MULCH. ANCHOR AS REQUIRED TO PREVENT DISPLACEMENT.
- 3. WATERING: PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN—WATERING EQUIPMENT TO CONVEY WATER FROM SOURCES AND KEEP LAWN UNIFORMLY MOIST TO A DEPTH OF FOUR INCHES (100 mm).
 - A. SCHEDULE WATERING TO PREVENT WILTING, PUDDLING, EROSION, AND DISPLACEMENT OF SEED OR MULCH. LAY OUT TEMPORARY WATERING SYSTEM TO AVOID WALKING OVER MUDDY OR NEWLY PLANTED AREAS.
 - B. WATER LAWN AT A MINIMUM RATE OF ONE INCH (25 mm) PER WEEK.
- 4. MOW LAWN AS SOON AS TOP GROWTH IS TALL ENOUGH TO CUT. REPEAT MOWING TO MAINTAIN SPECIFIC HEIGHT WITHOUT CUTTING MORE THAN 40 PERCENT OF GRASS HEIGHT. REMOVE NO MORE THAN 40 PERCENT OF GRASS—LEAF GROWTH IN INITAL OR SUBSEQUENT MOWINGS. DO NOT DELAY MOWING UNTIL GRASS BLADES BEND OVER AND BECOME MATTED. DO NOT MOW WHEN GRASS IS WET. SCHEDULE INITIAL AND SUBSEQUENT MOWINGS TO MAINTAIN THE FOLLOWING GRASS HEIGHT.
 - A. MOW GRASS TO ½ INCH (13 mm) HIGH OR LESS.
 - B. MOW GRASS 10 $^{\prime 2}$ INCH (13 mm) HIGH OR LESS. B. MOW GRASS $^{\prime 2}$ TO 1 INCH (13 TO 25 mm) HIGH OR LESS.
 - C. MOW GRASS 1 TO 2 INCHES (25 TO 50 mm) HIGH OR LESS.

 D. MOW GRASS 1-1/2 TO 2 INCHES (38 TO 50 mm) HIGH OR LESS.

 E. MOW GRASS 2 TO 3 INCHES (50 TO 75 mm) HIGH OR LESS.
- 5. LAWN POSTFERTILIZATION: APPLY FERTILIZER AFTER INITIAL MOWING AND WHEN GRASS IS DRY.
 - A. USE FERTILIZER THAT WILL PROVIDE ACTUAL NITROGEN OF AT LEAST 1 Ib/1,000 SF (0.45 kg/92.9 SM) TO LAWN AREA.

<u>MEADOW</u>

- BEGIN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE MEADOW IS ESTABLISHED, BUT FOR NOT LESS THAN 40 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
- 2. MAINTAIN AND ESTABLISH MEADOW BY WATERING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH.
- 3. WATERING: PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN-WATERING EQUIPMENT TO CONVEY WATER FROM SOURCES AND KEEP MEADOW UNIFORMLY MOIST.
 - A. SCHEDULE WATERING TO PREVENT WILTING, PUDDLING, EROSION, AND
 - DISPLACEMENT OF SEED OR MULCH. LAY OUT TEMPORARY WATERING SYSTEM TO AVOID WALKING OVER MUDDY OR NEWLY PLANTED AREAS.
 - B. WATER LAWN AT A MINIMUM RATE OF 1/2 INCH (13 mm) PER WEEK FOR 4 WEEKS.

TREES AND SHRUBS:

- 1. PRUNING SHOULD BE STARTED EARLY AND KEPT UP AT REGULAR INTERVALS. TREES SHOULD BE PRUNED AND SHAPED TO AVOID SPLITTING LATER IN LIFE. BROKEN TOPS AND BRANCHES SHOULD BE REMOVED AS SOON AS POSSIBLE AFTER INJURY. BROKEN, WEAK OR DISEASED BRANCHES SHOULD BE REMOVED FIRST, DEAD BRANCHES SECOND AND HEALTH BRANCHES LAST.
- 2. TREES AND SHRUBS SHOULD BE PROTECTED AGAINST DAMAGE INCURRED WITH LAWN MOWERS AND GARDEN EQUIPMENT. KEEPING GRASS AWAY FROM TREE TRUNKS WITH THE USE OF MULCH IS RECOMMENDED.
- 3. THE USE OF ROAD SALT AROUND TREES AND SHRUBS SHOULD BE AVOIDED OR MINIMIZED.
- 4. LANDSCAPED AREAS SHALL BE ROUTINELY MAINTAINED FREE OF DEBRIS AND LITTER. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. MAINTAINENCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD.

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TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A

DETAIL SHEET

BOBCAT OF NEW HAMPSHIRE

2 REBEL RD & 345 DERRY RD (HUDSON, NH)

307 NASHUA RD (LONDONDERRY, NH)

OWNED BY

MAL-MAR, LLC

REPAREN ENI

PREPARED FOR

BOBCAT OF NEW HAMPSHIRE

SCALE: AS SHOWN JULY 26, 2021



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

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