

MAP 209, LOT 4  
SITE PLAN

# PROPOSED BUILDING ADDITIONS

22 FRIARS DRIVE  
 HUDSON, NEW HAMPSHIRE

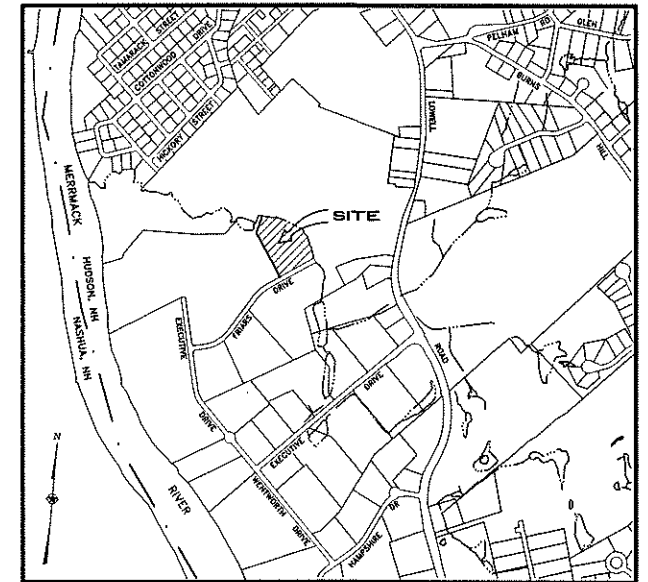
INDEX OF PLANS		
SHEET No.	TITLE	
1 OF 15	MASTER SITE PLAN	1" = 50'
2 OF 15	EXISTING CONDITIONS PLAN	1" = 40'
3 OF 15	SITE DEMOLITION/CONSTRUCTION PLAN	1" = 30'
4 OF 15	SITE GRADING & UTILITY PLAN	1" = 30'
5 OF 15	SITE LAYOUT PLAN	1" = 30'
6 OF 15	EROSION CONTROL PLAN	1" = 30'
7-8 OF 15	UTILITY PROFILES	1" = 20' H 1" = 4' V
9-11 OF 15	DETAIL SHEETS - GENERAL SITE	
12 OF 15	DETAIL SHEET - EROSION CONTROL	
13 OF 15	PHOTOMETRIC SITE LIGHTING PLAN	1" = 30'
14-15 OF 15	LANDSCAPE PLANS	1" = 30'

PREPARED FOR/RECORD OWNER

## INTEGRA BIOSCIENCES CORP.

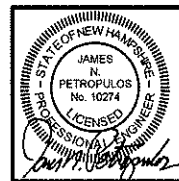
2 WENTWORTH DRIVE  
 HUDSON, NEW HAMPSHIRE 03051  
 (603) 578-5800  
 www.integra-bioscience.com

27 JANUARY 2022



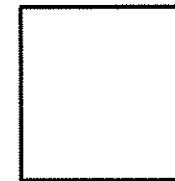
VICINITY PLAN  
 SCALE: 1" = 1,000'

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.	<b>APPROVED BY THE HUDSON, NH PLANNING BOARD</b>	
	DATE OF MEETING: _____	
	CHAIRMAN: _____	SIGNATURE DATE: _____
	SECRETARY: _____	SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.		



**HSI** Hayner/Swanson, Inc.

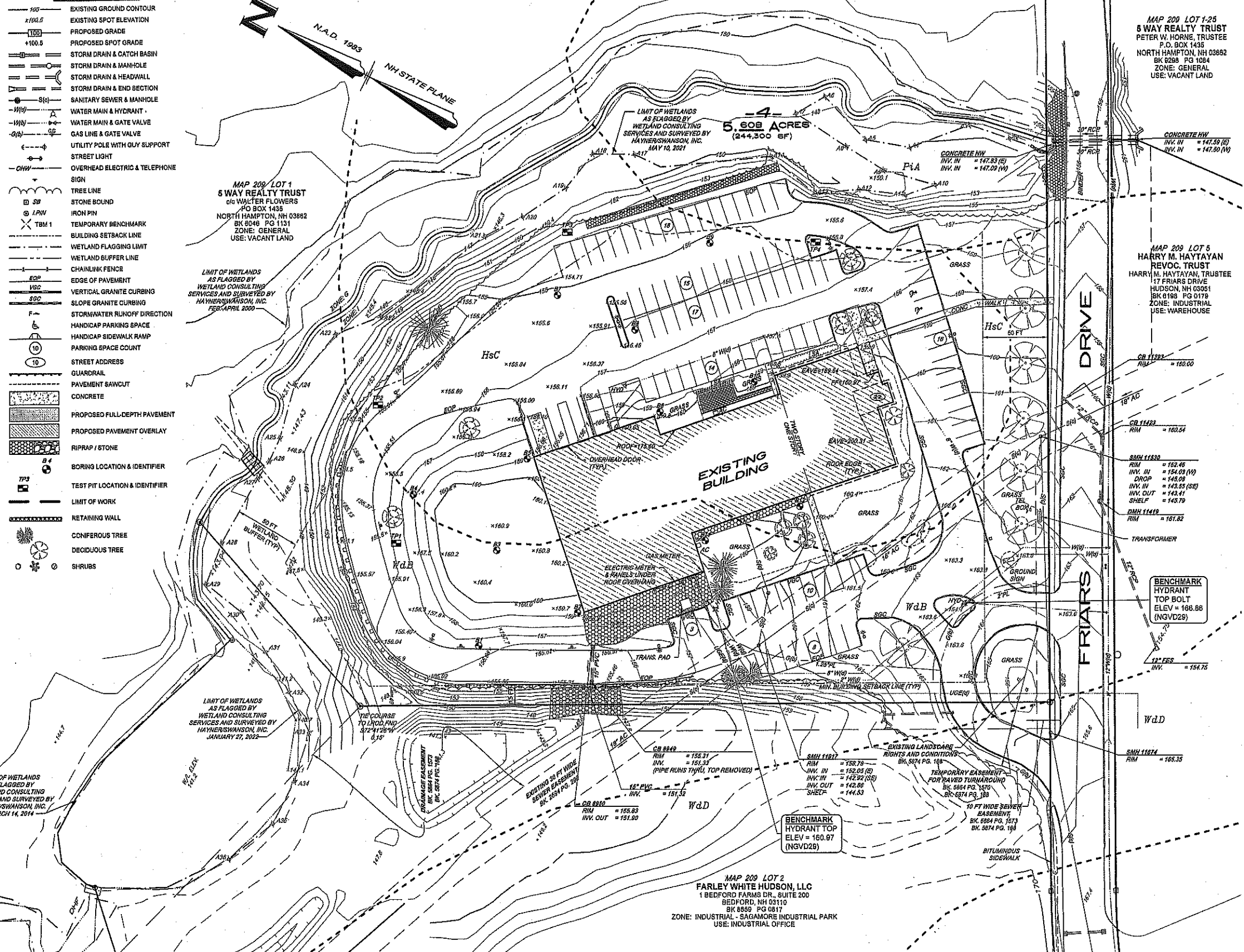
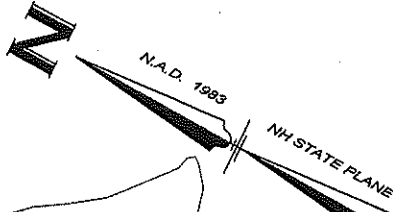
Civil Engineers/Land Surveyors  
 3 Congress Street Nashua, NH 03062 (603) 883-2057  
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501  
 www.hayner-swanson.com





**LEGEND**

- 100 --- EXISTING GROUND CONTOUR
- x100.5 EXISTING SPOT ELEVATION
- 100 --- PROPOSED GRADE
- +100.5 PROPOSED SPOT GRADE
- S --- STORM DRAIN & CATCH BASIN
- S --- STORM DRAIN & MANHOLE
- S --- STORM DRAIN & HEADWALL
- S --- STORM DRAIN & END SECTION
- S --- SANITARY SEWER & MANHOLE
- W --- WATER MAIN & HYDRANT
- W --- WATER MAIN & GATE VALVE
- G --- GAS LINE & GATE VALVE
- U --- UTILITY POLE WITH GUY SUPPORT
- S --- STREET LIGHT
- OHW --- OVERHEAD ELECTRIC & TELEPHONE
- S --- SIGN
- T --- TREE LINE
- S --- STONE BOUND
- I --- IRON PIN
- TBM 1 --- TEMPORARY BENCHMARK
- S --- BUILDING SETBACK LINE
- S --- WETLAND FLAGGING LIMIT
- S --- WETLAND BUFFER LINE
- S --- CHAINLINK FENCE
- EOP --- EDGE OF PAVEMENT
- VGC --- VERTICAL GRANITE CURBING
- SGC --- SLOPE GRANITE CURBING
- F --- STORMWATER RUNOFF DIRECTION
- H --- HANDICAP PARKING SPACE
- H --- HANDICAP SIDEWALK RAMP
- P --- PARKING SPACE COUNT
- S --- STREET ADDRESS
- G --- GUARDRAIL
- S --- PAVEMENT SAWCUT
- S --- CONCRETE
- S --- PROPOSED FULL-DEPTH PAVEMENT
- S --- PROPOSED PAVEMENT OVERLAY
- S --- RIPRAP / STONE
- B 4 --- BORING LOCATION & IDENTIFIER
- TP 3 --- TEST PIT LOCATION & IDENTIFIER
- S --- LIMIT OF WORK
- S --- RETAINING WALL
- S --- CONIFEROUS TREE
- S --- DECIDUOUS TREE
- S --- SHRUBS



MAP 209 LOT 1-25  
 5 WAY REALTY TRUST  
 PETER W. HORNE, TRUSTEE  
 P.O. BOX 1435  
 NORTH HAMPTON, NH 03862  
 BK 8268 PG 1084  
 ZONE: GENERAL  
 USE: VACANT LAND

MAP 209 LOT 1  
 5 WAY REALTY TRUST  
 c/o WALTER FLOWERS  
 PO BOX 1435  
 NORTH HAMPTON, NH 03862  
 BK 8040 PG 1131  
 ZONE: GENERAL  
 USE: VACANT LAND

MAP 209 LOT 5  
 HARRY M. HAYTAYAN  
 REVOC. TRUST  
 HARRY M. HAYTAYAN, TRUSTEE  
 17 FRIARS DRIVE  
 HUDSON, NH 03051  
 BK 8189 PG 0179  
 ZONE: INDUSTRIAL  
 USE: WAREHOUSE

MAP 209 LOT 2  
 FARLEY WHITE HUDSON, LLC  
 1 BEDFORD FARMS DR., SUITE 200  
 BEDFORD, NH 03110  
 BK 8585 PG 0817  
 ZONE: INDUSTRIAL - SAGAMORE INDUSTRIAL PARK  
 USE: INDUSTRIAL OFFICE

**SURVEY NOTES:**

1. TOPOGRAPHY SHOWN IS BASED ON AERIAL PHOTOGRAPHY BY EASTERN TOPOGRAPHIC USING PHOTOGRAPHIC IMAGERY FROM 2008. HORIZONTAL AND VERTICAL CONTROLLED BY HAYNER/SWANSON, INC. IN MARCH 2014 THRU AUGUST 2020 AND FIELD VERIFIED IN AREAS OF PROPOSED IMPROVEMENTS BY CONVENTIONAL METHODS.
2. UTILITIES SHOWN ARE APPROXIMATE BASED ON RECORD PLANS AND OBSERVED EVIDENCE.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
4. SURVEY CONTROL:  
 HORIZONTAL DATUM: NAD83/2011 PROJECTION: NH STATE PLANE  
 VERTICAL DATUM: NGVD29 SCALE FACTOR APPLIED: 1.000000  
 UNITS: US SURVEY FEET  
 \* VERTICAL DATUM WAS VERIFIED USING GPS (KEYNET NETWORK) BY TAKING OBSERVATIONS ON SITE AND ON NG8 (FORMERLY US88) "DISK D-28" LOCATED ON THE NORTHERLY SIDE OF RTE 101A APPROXIMATELY 4.5 MILES WEST OF THE NASHUA LIBRARY.
5. THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
7. TEST PITS AS SHOWN ARE APPROXIMATE. TEST PITS WERE PERFORMED UNDER THE SUPERVISION OF HAYNER/SWANSON, INC., NASHUA, NH.
8. THIS SITE CONTAINS WINDSOR (WdA, WdC), HINCKLEY (HsC) AND PIPESTONE (PIA) SOILS AS DETERMINED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA) NATURAL RESOURCES CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY.

**UTILITY QUALITY LEGEND**

SUBSURFACE UTILITIES AS DEPICTED ON THIS PLAN ARE IDENTIFIED BY QUALITY LEVELS DEFINED BY CHASCO STANDARD GUIDELINE FOR COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA

- LEVEL A (A) PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY ACTUAL EXPOSURE AND SUBSEQUENT MEASUREMENTS OF SUBSURFACE UTILITIES.
- LEVEL B (B) INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. (IE. DIGSAFE)
- LEVEL C (C) INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.
- LEVEL D (D) INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

**UTILITY NOTE**

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

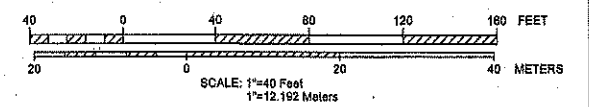
SOIL SURVEY STAFF, NATURAL RESOURCES CONSERVATION SERVICE, UNITED STATES DEPT. OF AGRICULTURE, WEB SOIL SURVEY. AVAILABLE ONLINE AT <http://websoilsurvey.nrcs.usda.gov/> ACCESSED 09/01/20

**SOILS DATA**

HsC	HINCKLEY LOAMY SAND
WdB	WINDSOR LOAMY SAND
PIA	PIPESTONE LOAMY SAND
---	SOIL BOUNDARY

EXISTING CONDITIONS PLAN  
 (MAP 209, LOT 4)  
**PROPOSED BUILDING ADDITIONS**  
 22 FRIARS DRIVE  
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**INTEGRA BIOSCIENCES CORP.**  
 2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800



27 JANUARY 2022

**HSI** Hayner/Swanson, Inc.  
 Civil Engineers/Land Surveyors  
 3 Congress Street  
 Nashua, NH 03062  
 (603) 883-2057  
 131 Middlesex Turnpike  
 Burlington, MA 01803  
 (781) 203-1501  
[www.hayner-swanson.com](http://www.hayner-swanson.com)

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

**APPROVED BY THE HUDSON, NH PLANNING BOARD**

DATE OF MEETING: \_\_\_\_\_

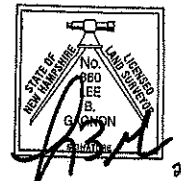
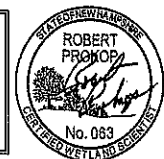
CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

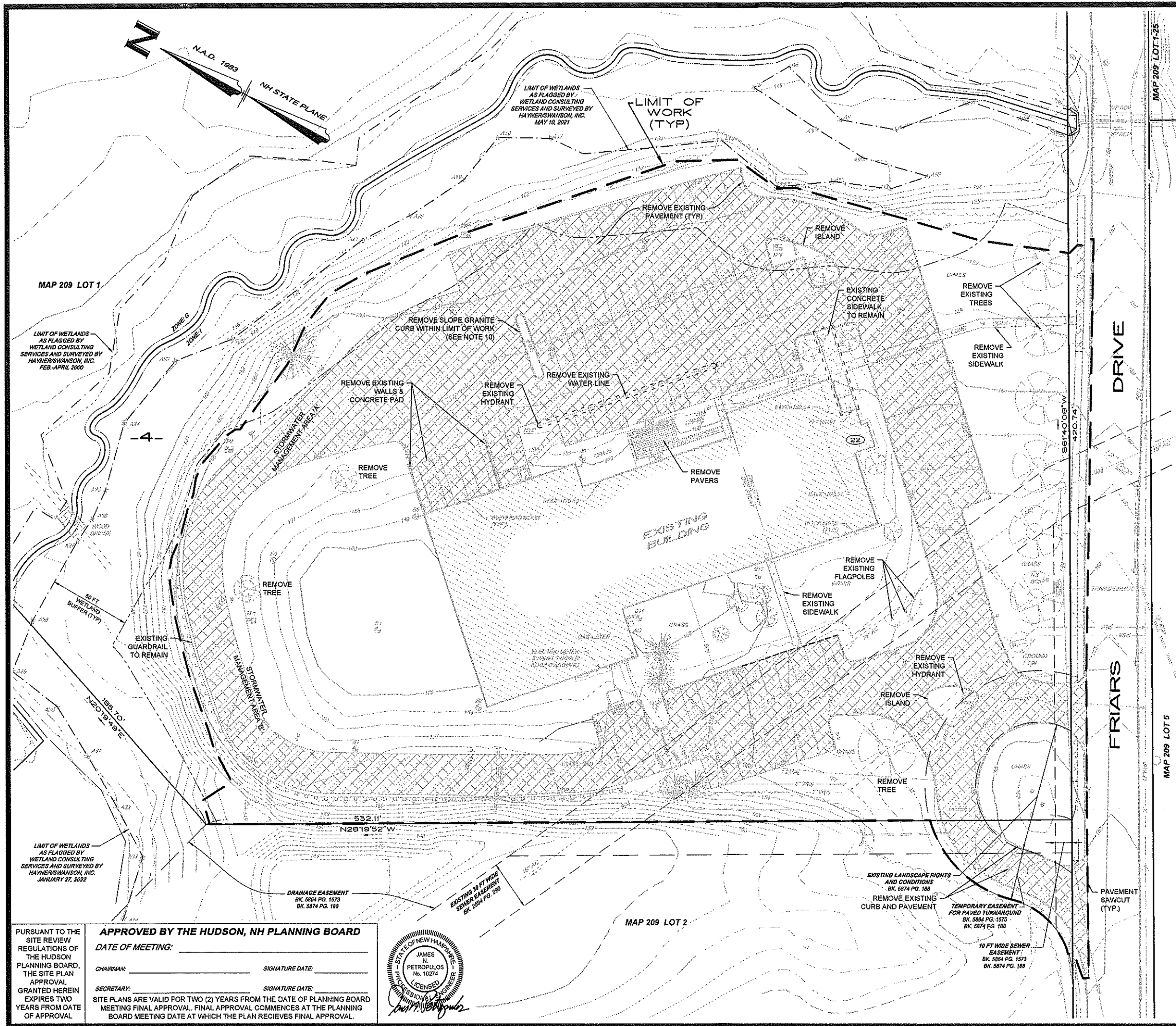
SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE U.S. ARMY CORPS OF ENGINEERS JANUARY 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST (REGION 2).

WETLAND DELINEATION PREPARED BY:  
 WETLAND CONSULTING SERVICES  
 ROBERT PROKOP  
 CERTIFIED WETLAND SCIENTIST (#063)





**SITE DEMOLITION NOTES:**

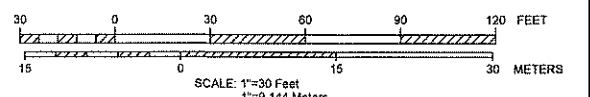
1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES OF ALL STRUCTURES, PADS, WALLS, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR SITE DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON SITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. THE CONTRACTOR SHALL GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. THE CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ROAD RIGHT OF WAY DURING CONSTRUCTION.
7. PRIOR TO SITE DEMOLITION OCCURRING, ALL APPROPRIATE EROSION CONTROL DEVICES ARE TO BE INSTALLED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE TOWN OF HUDSON PRIOR TO THE START OF DEMOLITION OR CONSTRUCTION. A DEMOLITION APPROVAL PERMIT SHALL BE OBTAINED FROM THE TOWN OF HUDSON PRIOR TO THE ANY BUILDING DEMOLITION.
9. FOR WORK WITHIN A PUBLIC STREET THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN ENGINEERING DEPARTMENT.
10. THE CONTRACTOR SHALL REMOVE AND STOCKPILE EXISTING SLOPE AND VERTICAL GRANITE CURB IN A LOCATION PROVIDED BY THE OWNER'S REPRESENTATIVE. CURB THAT IS IN GOOD CONDITION AND ACCEPTABLE TO THE OWNER'S REPRESENTATIVE MAY BE REUSED IN LOCATIONS SHOWN ON THE SITE GRADING & UTILITY PLAN. SURPLUS OR UNACCEPTABLE CURB SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROPERTY.



NO.	DATE	REVISION	BY

**SITE DEMOLITION/CONSTRUCTION PLAN**  
(MAP 209, LOT 4)  
**PROPOSED BUILDING ADDITIONS**  
22 FRIARS DRIVE  
HUDSON, NEW HAMPSHIRE

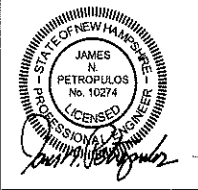
PREPARED FOR/RECORD OWNER:  
**INTEGRA BIOSCIENCES CORP.**  
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

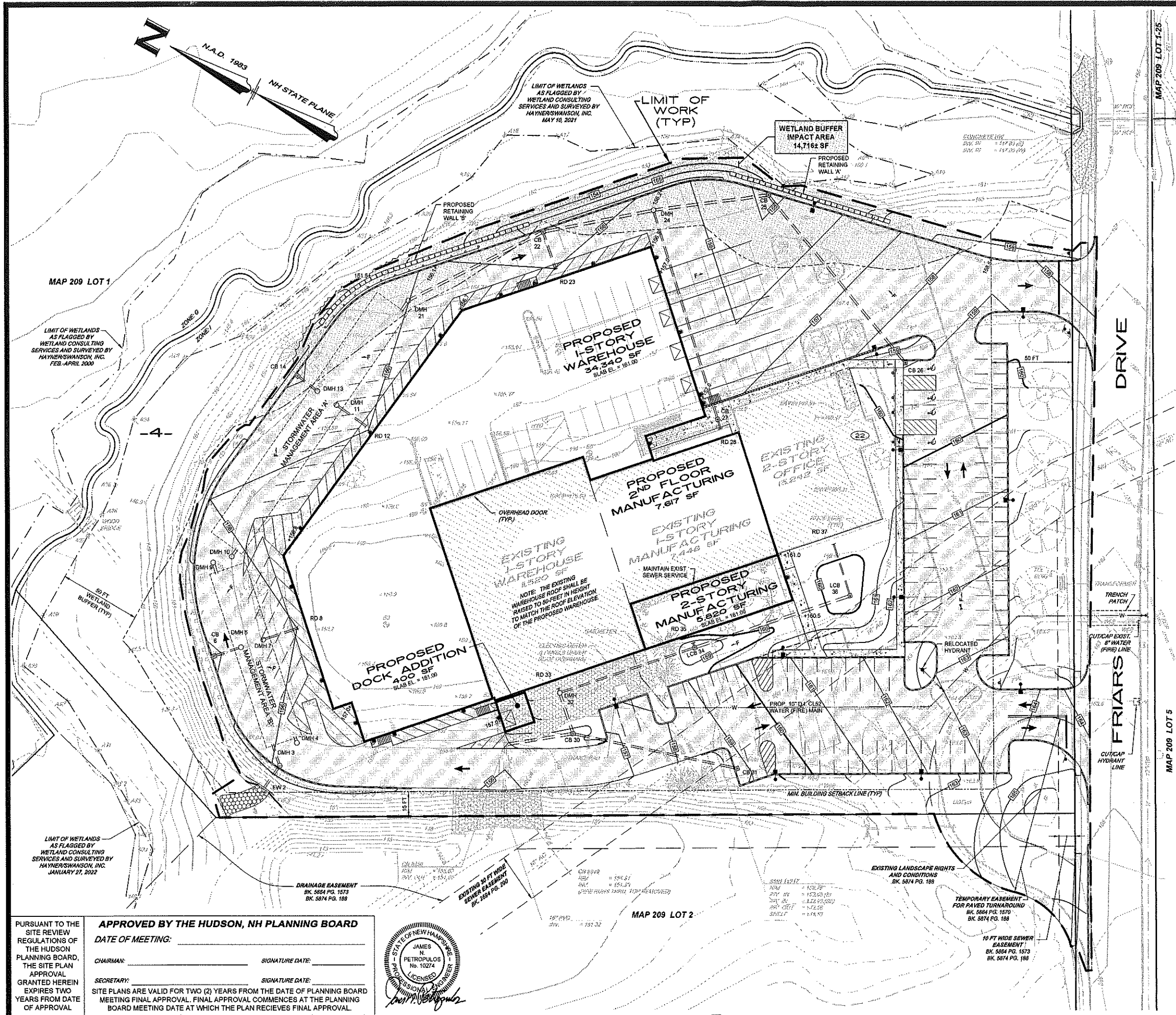


27 JANUARY 2022

**HSI** Hayner/Swanson, Inc.  
Civil Engineers/Land Surveyors  
3 Congress Street  
Nashua, NH 03062  
(603) 883-2057  
131 Middlesex Turnpike  
Burlington, MA 01803  
(781) 203-1501  
www.haynerswanson.com

**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
DATE OF MEETING: \_\_\_\_\_  
CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.





- CONSTRUCTION NOTES:**
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST ADDITION, ARE HEREBY INCORPORATED BY REFERENCE.
  - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPT., HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHALL BE ADS N-12 (SOIL TIGHT). CATCHBASINS SHALL BE TYPE B, AND HAVE 3 FT SUMPS UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
  - WATER (DOMESTIC), SANITARY SEWER, GAS, ELECTRIC AND TELECOMMUNICATION UTILITIES SHALL BE EXTENDED FROM THE EXISTING BUILDING TO THE PROPOSED ADDITIONS.
  - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS UNTIL STABILIZATION OCCURS.
  - STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
  - DIMENSIONS TO CURB AND GUTTERS INDICATE EDGE OF PAVING UNLESS OTHERWISE NOTED.
  - EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING PAVEMENT.

**TOWN OF HUDSON CONTACTS**

**PLANNING DEPARTMENT**  
HUDSON PLANNING DEPT.  
12 SCHOOL STREET  
HUDSON, NH 03051  
ATT: BRIAN GROTH, AICP  
LAND USE DIRECTOR  
(603) 886-6008

**ENGINEERING DEPARTMENT**  
HUDSON ENGINEERING DEPT.  
12 SCHOOL STREET  
HUDSON, NH 03051  
ATT: ELVIS DHIMA, P.E.  
TOWN ENGINEER  
(603) 886-6008

**FIRE DEPARTMENT**  
HUDSON FIRE DEPARTMENT  
12 SCHOOL STREET  
HUDSON, NH 03051  
ATT: ROBERT BUXTON, FIRE CHIEF  
(603) 886-6021

**UTILITY CONTACTS**

**GAS:**  
LIBERTY UTILITIES  
130 ELM STREET  
MANCHESTER, NH 03103  
ATT: ANDREW MORGAN  
(603) 327-6357

**TELEPHONE:**  
CONSOLIDATED COMMUNICATIONS  
257 DANIEL WEBSTER HIGHWAY  
MERRIMACK, NH 03054  
ATT: HEATHER ARJUJO  
(603) 296-5998

**POWER:**  
EVERSOURCE  
370 AMHERST STREET  
NASHUA, NH 03060  
ATT: MARC GAGNON  
(603) 882-5894

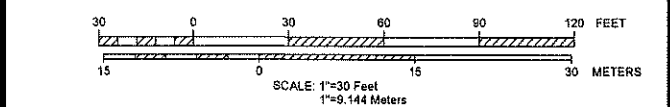
No.	DATE	REVISION	BY

**SITE GRADING & UTILITY PLAN**  
(MAP 209, LOT 4)

# PROPOSED BUILDING ADDITIONS

22 FRIARS DRIVE  
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**INTEGRA BIOSCIENCES CORP.**  
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800



27 JANUARY 2022

**HSI** Hayner/Swanson, Inc.  
Civil Engineers/Land Surveyors  
3 Congress Street  
Nashua, NH 03062  
(603) 883-2057  
131 Middlesex Turnpike  
Burlington, MA 01803  
(781) 203-1501  
www.hayner-swanson.com

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

**APPROVED BY THE HUDSON, NH PLANNING BOARD**

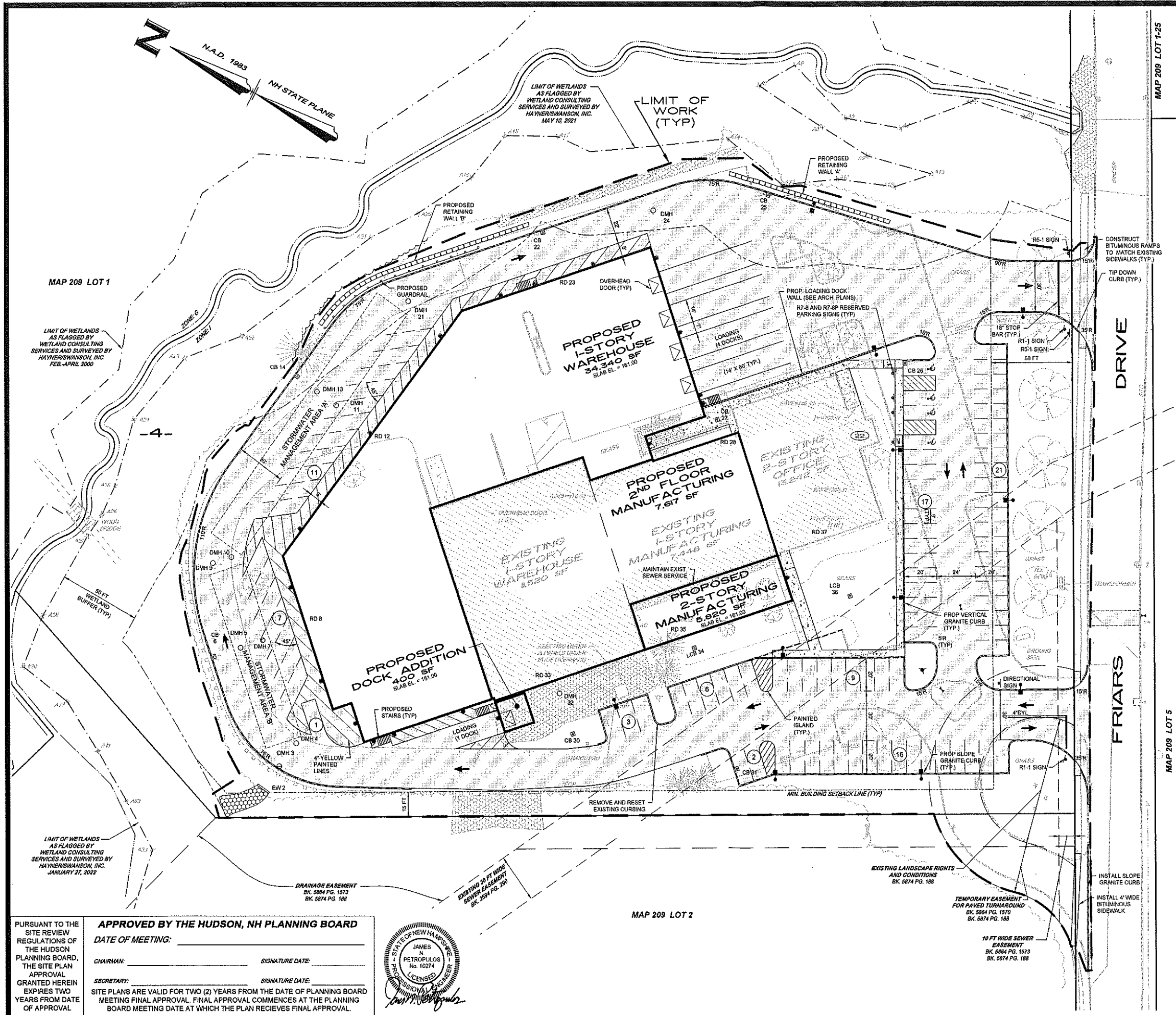
DATE OF MEETING: \_\_\_\_\_

CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.





SIGN LEGEND		
TEXT <small>SEE MUTCD FOR TEXT DIMENSIONS</small>	IDENTIFICATION NUMBER	SIZE WIDTH/HEIGHT
		R1-1
	R5-1	30"X30"
	R7-8	12"X18"
	R7-8P	18"X9"

NO.	DATE	REVISION	BY

**SITE LAYOUT PLAN**  
(MAP 209, LOT 4)

## PROPOSED BUILDING ADDITIONS

**22 FRIARS DRIVE  
HUDSON, NEW HAMPSHIRE**

PREPARED FOR/RECORD OWNER:  
**INTEGRA BIOSCIENCES CORP.**  
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

SCALE: 1"=30 Feet  
1"=9.144 Meters

**27 JANUARY 2022**

**HSI Hayner/Swanson, Inc.**  
Civil Engineers/Land Surveyors  
3 Congress Street  
Nashua, NH 03062  
(603) 883-2057  
www.hayner-swanson.com

FIELD BOOK: 1234	DRAWING NAME: 5734 SITE-F031	5734	5 OF 15
------------------	------------------------------	------	---------

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

**APPROVED BY THE HUDSON, NH PLANNING BOARD**

DATE OF MEETING: \_\_\_\_\_

CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



**CONSTRUCTION SEQUENCE:**

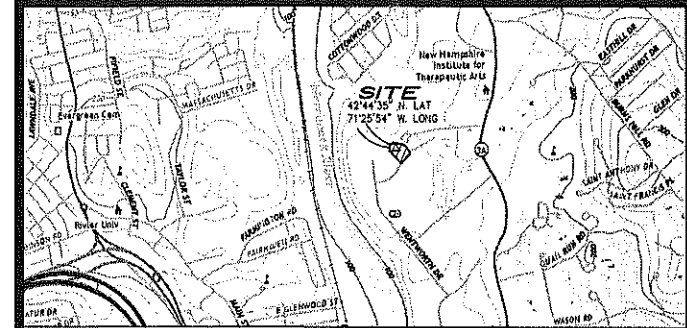
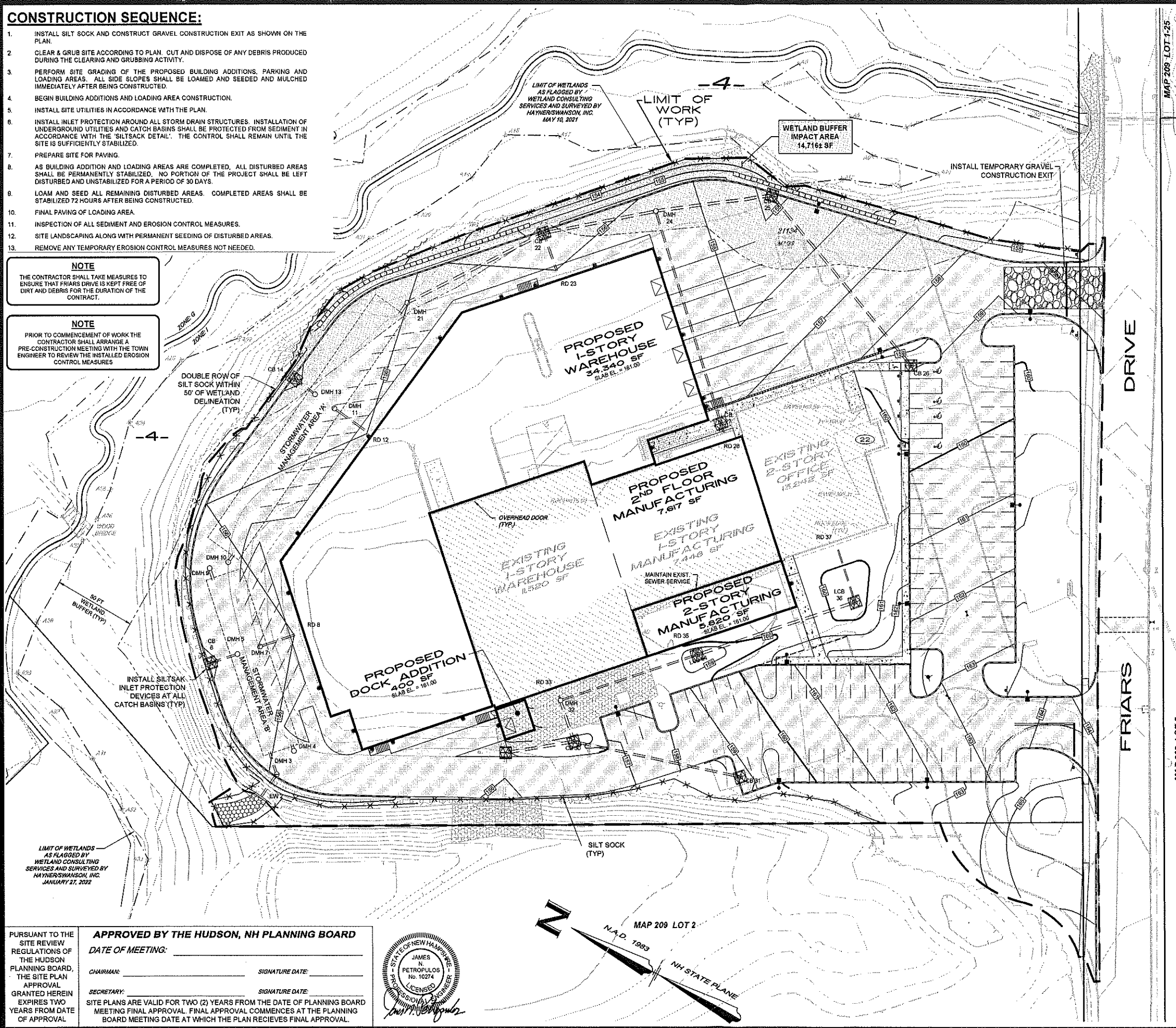
1. INSTALL SILT SOCK AND CONSTRUCT GRAVEL CONSTRUCTION EXIT AS SHOWN ON THE PLAN.
2. CLEAR & GRUB SITE ACCORDING TO PLAN. CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
3. PERFORM SITE GRADING OF THE PROPOSED BUILDING ADDITIONS, PARKING AND LOADING AREAS. ALL SIDE SLOPES SHALL BE LOAMED AND SEEDED AND MULCHED IMMEDIATELY AFTER BEING CONSTRUCTED.
4. BEGIN BUILDING ADDITIONS AND LOADING AREA CONSTRUCTION.
5. INSTALL SITE UTILITIES IN ACCORDANCE WITH THE PLAN.
6. INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE 'SILTSACK DETAIL'. THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
7. PREPARE SITE FOR PAVING.
8. AS BUILDING ADDITION AND LOADING AREAS ARE COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED. NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF 30 DAYS.
9. LOAM AND SEED ALL REMAINING DISTURBED AREAS. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER BEING CONSTRUCTED.
10. FINAL PAVING OF LOADING AREA.
11. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
12. SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF DISTURBED AREAS.
13. REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

**NOTE**

THE CONTRACTOR SHALL TAKE MEASURES TO ENSURE THAT FRIARS DRIVE IS KEPT FREE OF DIRT AND DEBRIS FOR THE DURATION OF THE CONTRACT.

**NOTE**

PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE TOWN ENGINEER TO REVIEW THE INSTALLED EROSION CONTROL MEASURES



**GENERAL NOTES:**

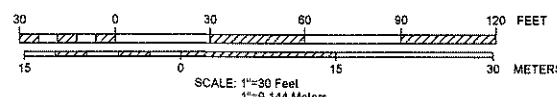
1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH THE PROJECT SHALL OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND SHALL COMPLY WITH THE TERMS OF SWPPP AND NPDES PERMIT.
2. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY SITE CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
4. STOCKPILE AREAS SHALL BE SURROUNDED BY SILT SOCK AND RE-SEEDING IF THEY ARE LEFT UNTOUCHED FOR MORE THAN FOURTEEN (14) DAYS.
5. ALL MEASURES STATED ON THIS EROSION CONTROL PLAN, AND IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETE PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT.
6. SILT SOCK SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED.
7. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
8. ALL SEEDING AREAS SHALL BE CHECK REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEED AS NEEDED.
9. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXIT AS CONDITIONS DEMAND.
10. THE TOWN OF HUDSON RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION IF NEEDED.

**LEGEND**

- 200 — EXISTING GROUND CONTOUR
- 100 — PROPOSED GRADE
- F — RUNOFF DIRECTION
- X — SILT SOCK PERIMETER BARRIER
- [Symbol] — SILT-SACK INLET PROTECTION DEVICES
- [Symbol] — GRAVEL CONSTRUCTION EXIT
- [Symbol] — TEMPORARY STONE CHECK DAM

NO.	DATE	REVISION	BY

**EROSION CONTROL PLAN**  
(MAP 209, LOT 4)  
**PROPOSED BUILDING ADDITIONS**  
22 FRIARS DRIVE  
HUDSON, NEW HAMPSHIRE  
PREPARED FOR/RECORD OWNER:  
**INTEGRA BIOSCIENCES CORP.**  
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

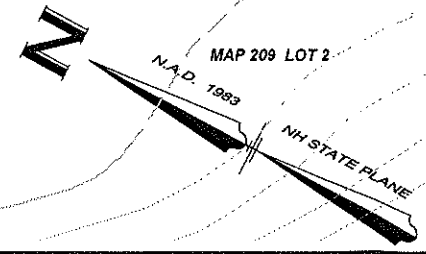
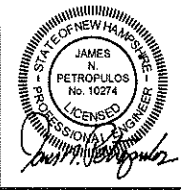


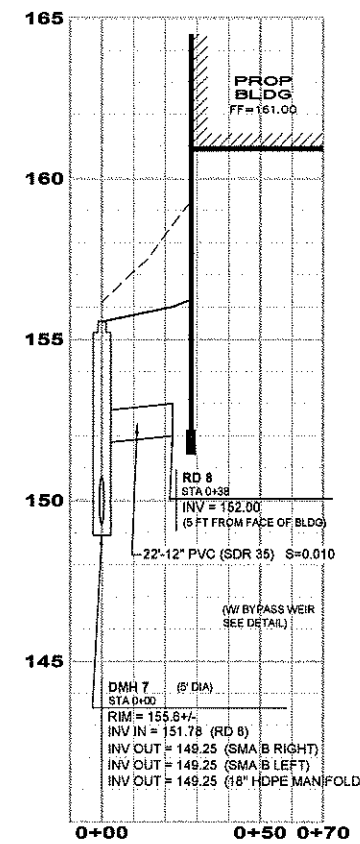
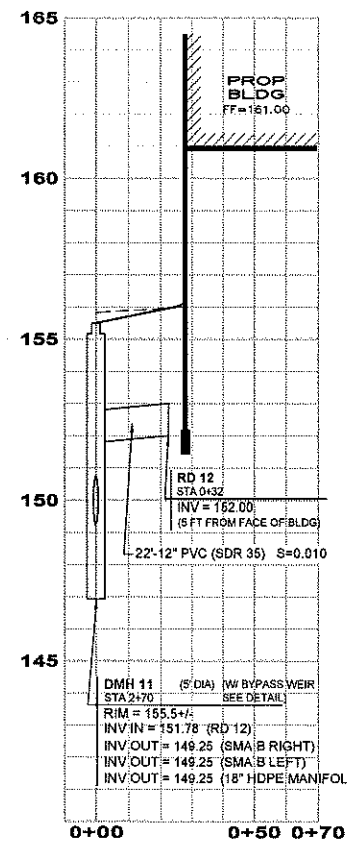
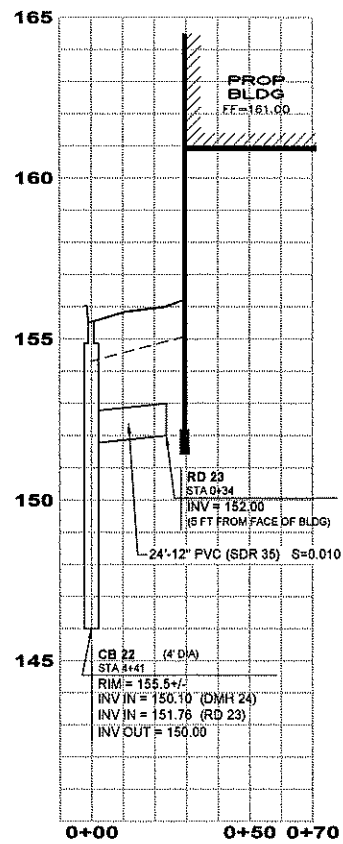
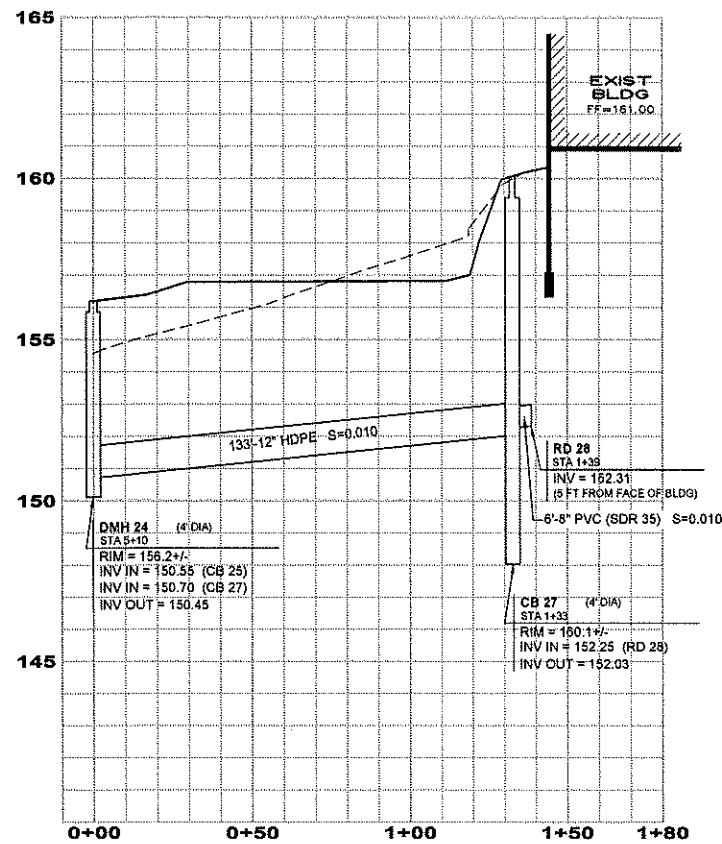
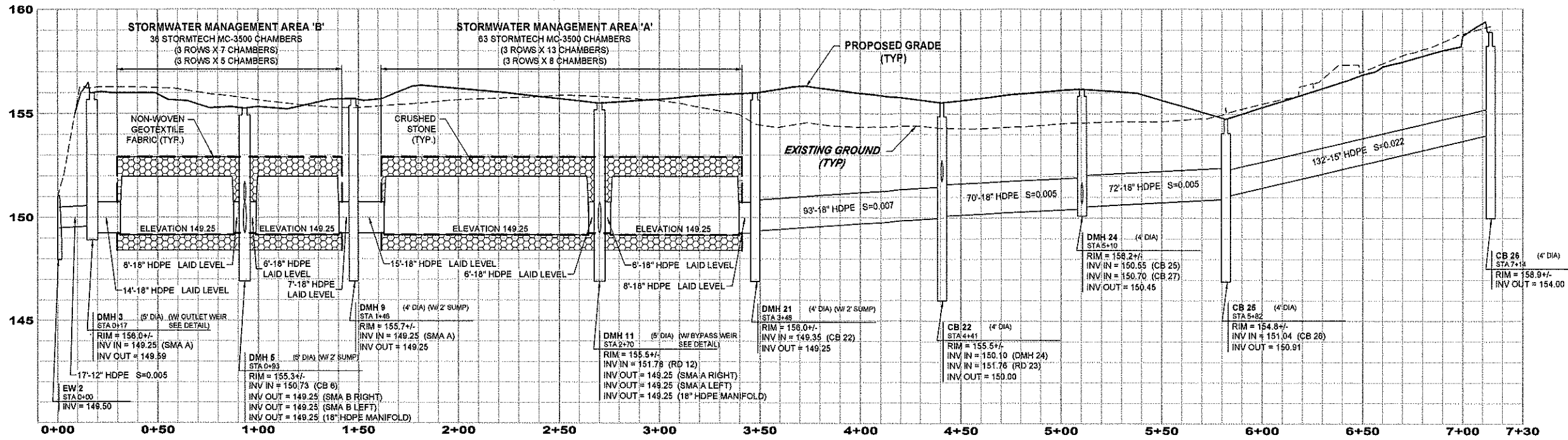
27 JANUARY 2022

**HSI** Hayner/Swanson, Inc.  
Civil Engineers/Land Surveyors  
3 Congress Street  
Nashua, NH 03062  
(603) 883-2057  
www.haynerswanson.com

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
DATE OF MEETING: \_\_\_\_\_  
CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.





- NOTES**
- STRUCTURE DIAMETERS AS SHOWN ON DRAINAGE PROFILES ARE CONSIDERED TO BE MINIMUM INSIDE DIMENSIONS, ALL STRUCTURES SHALL BE A MINIMUM INSIDE DIAMETER OF 48" UNLESS OTHERWISE INDICATED. LARGER STRUCTURES MAY BE NECESSARY DUE TO ALIGNMENT AND/OR PIPE SIZES. STRUCTURE MANUFACTURER SHALL DETERMINE FINAL SIZE.
  - PIPE LENGTHS ARE MEASURED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
  - EXTERIOR FOUNDATION WALLS AND FOOTINGS AS SHOWN ARE APPROXIMATE.
  - VERTICAL DATUM IS NGVD29 (SEE NOTE 4 ON SHEET 2).

NO.	DATE	REVISION	BY

UTILITY PROFILES  
(MAP 209, LOT 4)

## PROPOSED BUILDING ADDITIONS

22 FRIARS DRIVE  
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**INTEGRA BIOSCIENCES CORP.**  
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

SCALE: 1"=30 Feet  
1"=9.144 Meters

27 JANUARY 2022

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

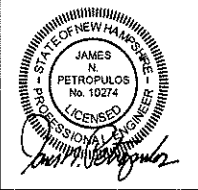
**APPROVED BY THE HUDSON, NH PLANNING BOARD**

DATE OF MEETING: \_\_\_\_\_

CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

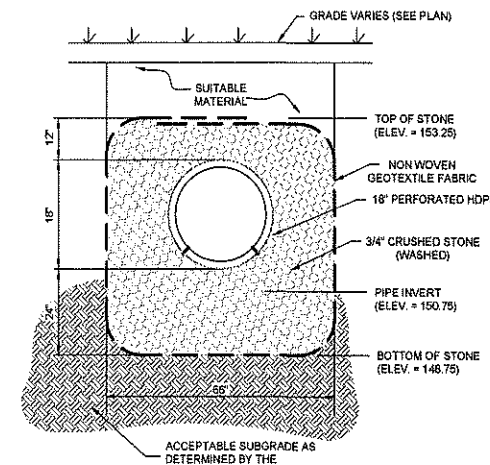
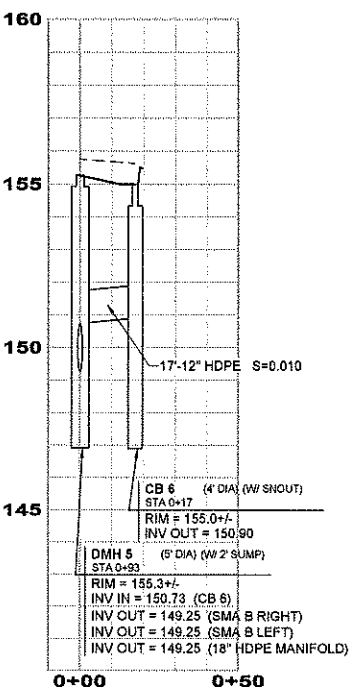
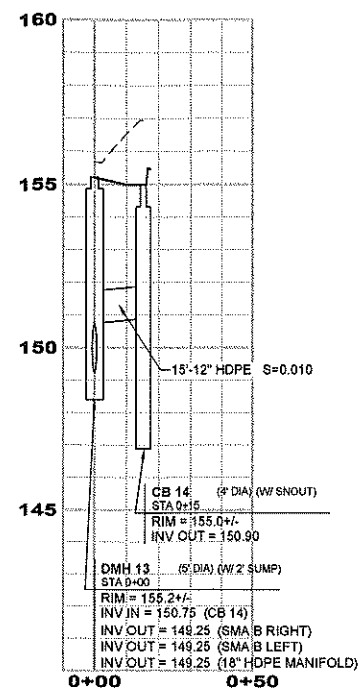
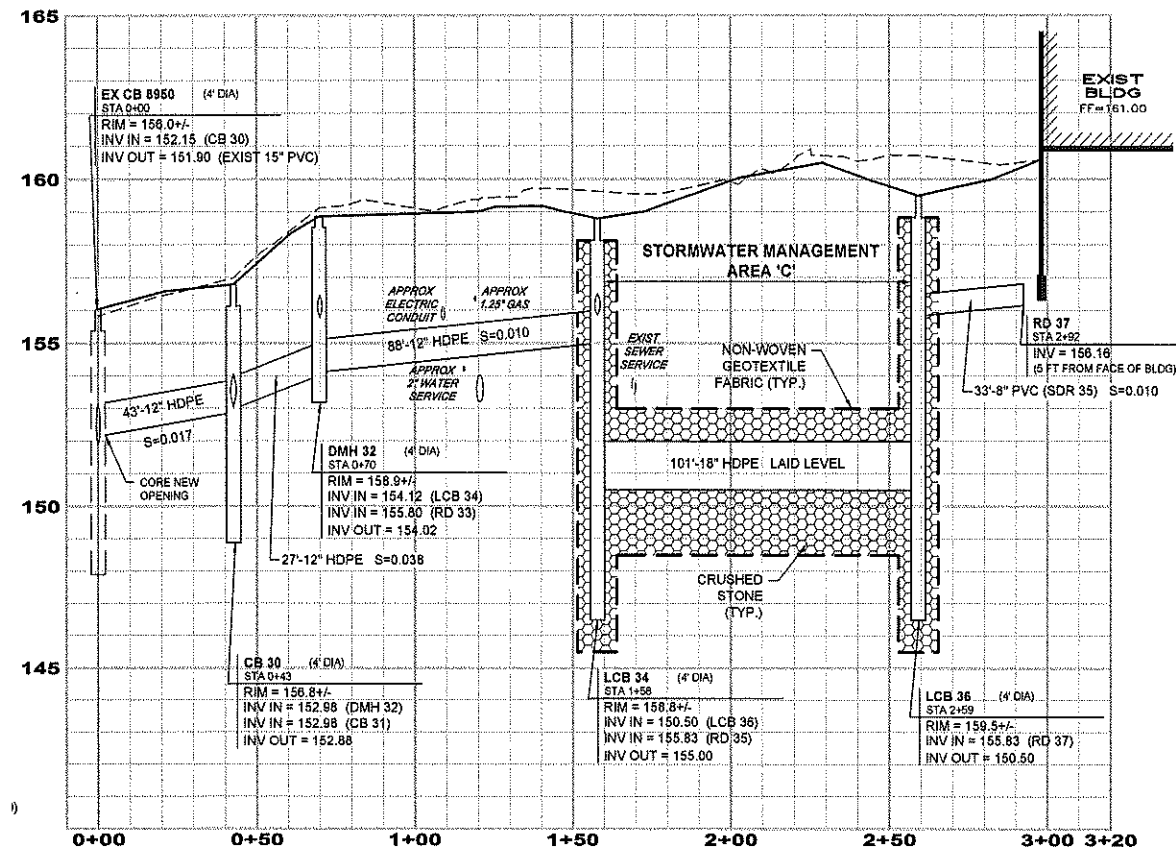
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



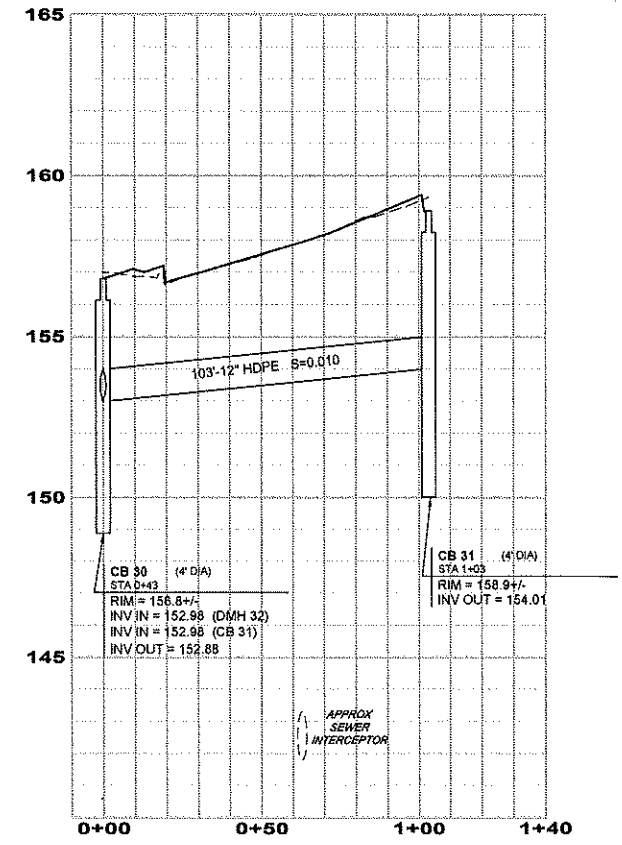
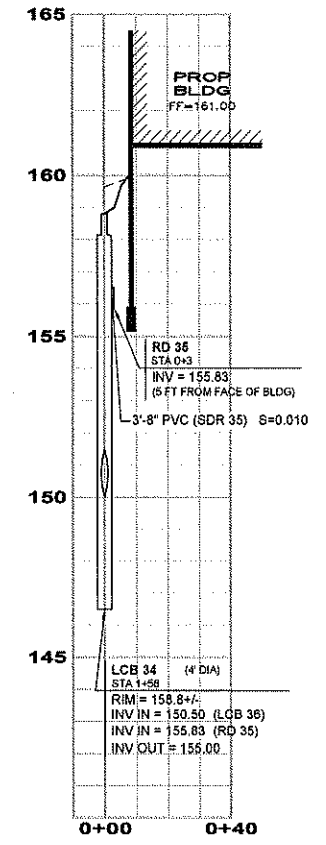
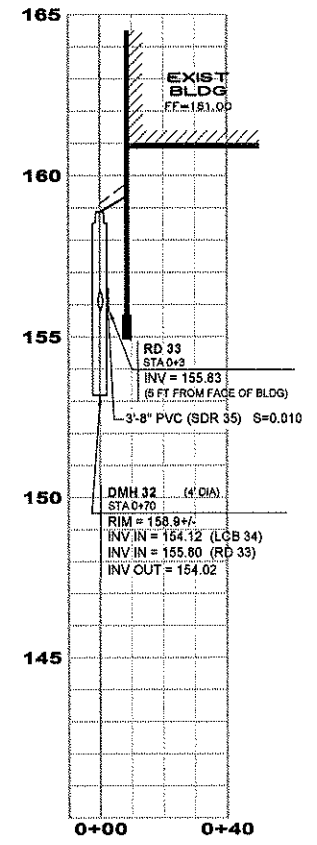
**HSI** Hayner/Swanson, Inc.  
Civil Engineers/Land Surveyors  
3 Congress Street 131 Middlesex Turnpike  
Nashua, NH 03062 Burlington, MA 01803  
(603) 883-2057 (781) 203-1501  
www.hayner-swanson.com

FIELD BOOK: 1234 DRAWING NAME: 5734 SITE-FY21 5734 7 OF 15  
DRAWING LOC.: J:\5600\5734\DWG\5734 SITE 2021 File Number





**STORMWATER MANAGEMENT AREA 'C' INFILTRATION TRENCH DETAIL**  
NOT TO SCALE



- NOTES**
- STRUCTURE DIAMETERS AS SHOWN ON DRAINAGE PROFILES ARE CONSIDERED TO BE MINIMUM INSIDE DIMENSIONS. ALL STRUCTURES SHALL BE A MINIMUM INSIDE DIAMETER OF 48" UNLESS OTHERWISE INDICATED. LARGER STRUCTURES MAY BE NECESSARY DUE TO ALIGNMENT AND/OR PIPE SIZES. STRUCTURE MANUFACTURER SHALL DETERMINE FINAL SIZE.
  - PIPE LENGTHS ARE MEASURED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
  - EXTERIOR FOUNDATION WALLS AND FOOTINGS AS SHOWN ARE APPROXIMATE.
  - VERTICAL DATUM IS NGVD29 (SEE NOTE 4 ON SHEET 2).
  - THE CONTRACTOR SHALL VERIFY THE EXACT SIZE, LOCATION AND ELEVATION OF THE EXISTING SEWER SERVICE PIPE. THE INFORMATION SHALL BE PROVIDED TO THE ENGINEER PRIOR TO CONSTRUCTION.

NO.	DATE	REVISION	BY

UTILITY PROFILES  
(MAP 209, LOT 4)

**PROPOSED BUILDING ADDITIONS**  
22 FRIARS DRIVE  
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**INTEGRA BIOSCIENCES CORP.**  
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

SCALE: 1"=30 Feet  
1"=9.144 Meters

27 JANUARY 2022

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

**APPROVED BY THE HUDSON, NH PLANNING BOARD**

DATE OF MEETING: \_\_\_\_\_

CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

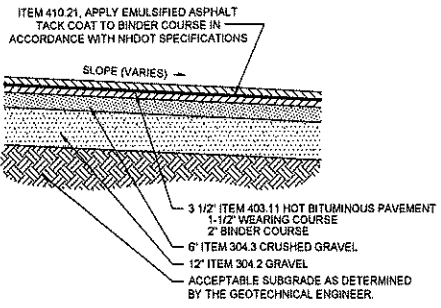
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



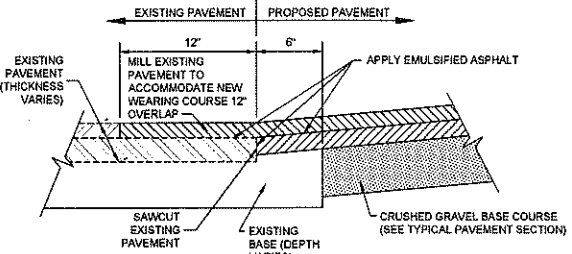
**HSI** Hayner/Swanson, Inc.  
Civil Engineers/Land Surveyors  
3 Congress Street  
Nashua, NH 03062  
(603) 883-2057  
www.haynerswanson.com

131 Middlesex Turnpike  
Burlington, MA 01803  
(781) 203-1501

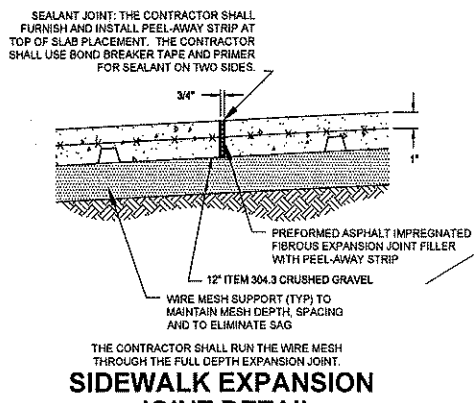
FIELD BOOK: 1234    DRAWING NAME: 5734 SITE-FY21    5734    8 OF 15  
DRAWING LOC: J:\5000\5734\DWG\5734 SITE 2021    File Number    Sheet



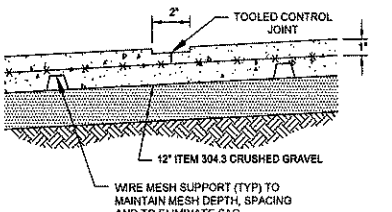
**TYPICAL PAVEMENT SECTION**  
NOT TO SCALE



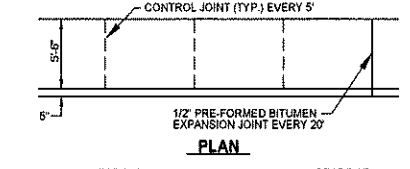
**SAWCUT PAVEMENT DETAIL**  
NOT TO SCALE



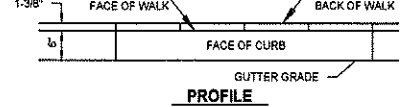
**SIDEWALK EXPANSION JOINT DETAIL**  
NOT TO SCALE



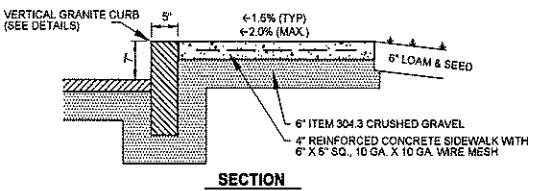
**CONCRETE CONTROL JOINT DETAIL**  
NOT TO SCALE



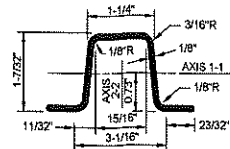
**PLAN**



**PROFILE**

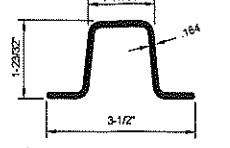


**VERTICAL GRANITE CURB AND REINFORCED CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



**SECTION P2-10, P2-11**

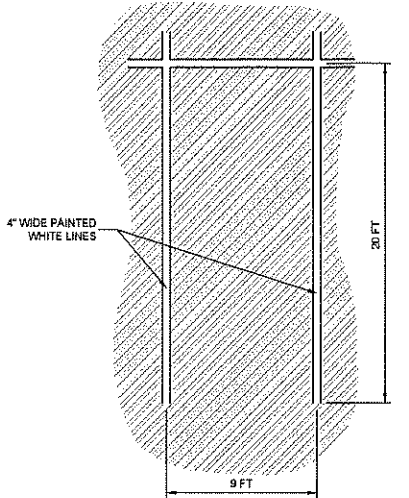
LENGTH: P2-10, 10'-0"; P2-11, 11'-0"  
WEIGHT PER LINEAR FOOT: 3.00 LBS  
HOLES: 3/8" DIA. 1" C-C FULL LENGTH  
STEEL: SHALL CONFORM TO ASTM A-489 (GRADE 60) OR ASTM A-576 (GRADE 1070-1080)  
FINISH: SHALL BE PAINTED WITH TWO COATS OF BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING. PAINT SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT.



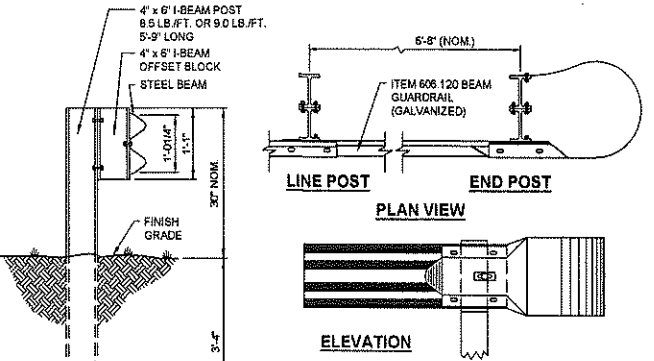
**SECTION P-11 THRU P-16**

LENGTH: P-11, 11'-0"; P-12, 12'-0"; P-14, 14'-0"; P-16, 16'-0"  
WEIGHT PER LINEAR FOOT: 3.00 LBS  
STEEL: SAME AS FOR P2-10, P2-11  
FINISH: SAME AS FOR P2-10, P2-11  
DIMENSIONS SHOWN ARE NOMINAL. ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE.

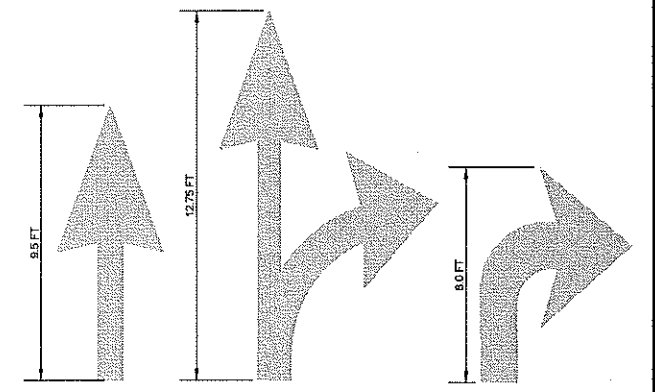
**TRAFFIC SIGN SUPPORT DETAIL**  
NOT TO SCALE



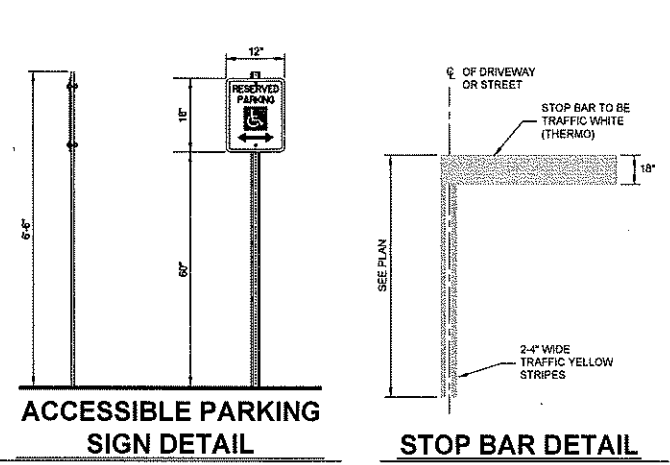
**TYP. PARKING STALL DETAIL**  
NOT TO SCALE



**STEEL POST GUARDRAIL DETAIL**  
NOT TO SCALE

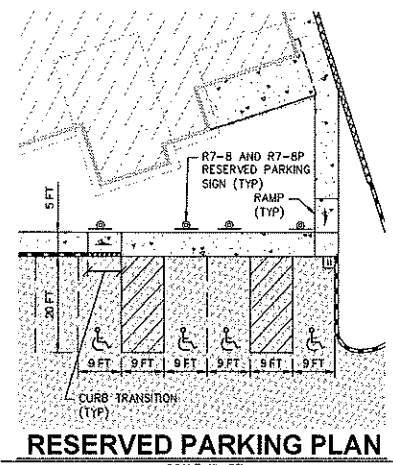


**PAINTED TRAFFIC ARROWS DETAIL**  
NOT TO SCALE



**ACCESSIBLE PARKING SIGN DETAIL**  
NOT TO SCALE

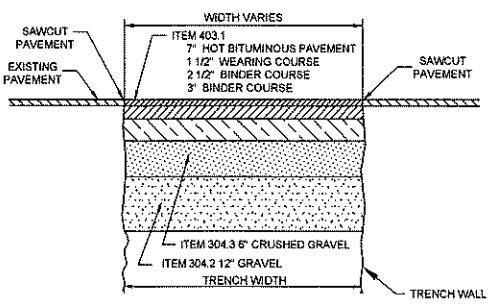
**STOP BAR DETAIL**  
NOT TO SCALE



**RESERVED PARKING PLAN**  
SCALE: 1" = 20'

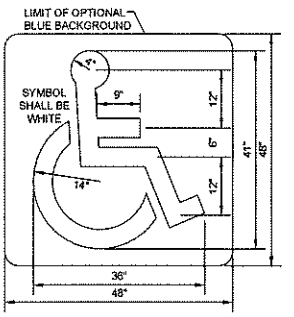
- NOTES:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN).
  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
  3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 7.5%.
  4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
  5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
  6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
  7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
  8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5 FT IN WIDTH (EXCLUDING CURB) A 5 FT x 5 FT PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
  9. ELIMINATE ALL CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS PAVEMENT.

**HANDICAP ACCESSIBLE CURB RAMP DETAIL**  
NOT TO SCALE

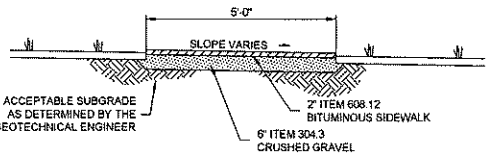


**TRENCH PATCH DETAIL**  
NOT TO SCALE

- NOTES:**
1. THE CONTRACTOR SHALL SAWCUT PAVEMENT FOR TRENCH CONSTRUCTION PER THE PLAN
  2. THE CONTRACTOR SHALL INSTALL UTILITIES IN ACCORDANCE WITH THE PLANS, DETAILS AND UTILITY COMPANY/MUNICIPAL STANDARDS.
  3. THE CONTRACTOR SHALL BACKFILL TRENCHES AS SHOWN ON THE DETAIL AND BINDER COURSE PAVEMENT THE DISTURBED TRENCH SURFACES. THE BINDER SURFACES SHALL BE FLUSH WITH THE SURROUNDING PAVEMENT AND SHALL REMAIN FOR 90 DAYS.
  4. AFTER 90 DAYS THE CONTRACTOR SHALL MILL 1.5 INCHES OF ASPHALT OVER THE ENTIRE WIDTH OF HAYTLE STREET AS SHOWN ON THE PLAN AND THEN FILL WITH 1.5 INCHES OF WEARING COURSE PAVEMENT.



**ACCESSIBLE PARKING SPACE PAVEMENT MARKING**  
NOT TO SCALE



**TYPICAL SECTION BITUMINOUS SIDEWALK**  
NOT TO SCALE

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

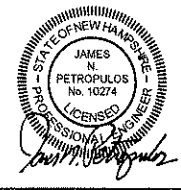
**APPROVED BY THE HUDSON, NH PLANNING BOARD**

DATE OF MEETING: \_\_\_\_\_

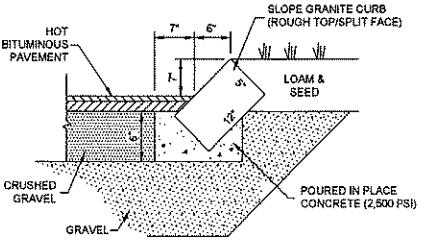
CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



**SLOPE GRANITE CURB DETAIL**  
NOT TO SCALE



No.	DATE	REVISION	BY

DETAIL SHEET - GENERAL SITE  
(MAP 209, LOT 4)

**PROPOSED BUILDING ADDITIONS**  
22 FRIARS DRIVE  
HUDSON, NEW HAMPSHIRE

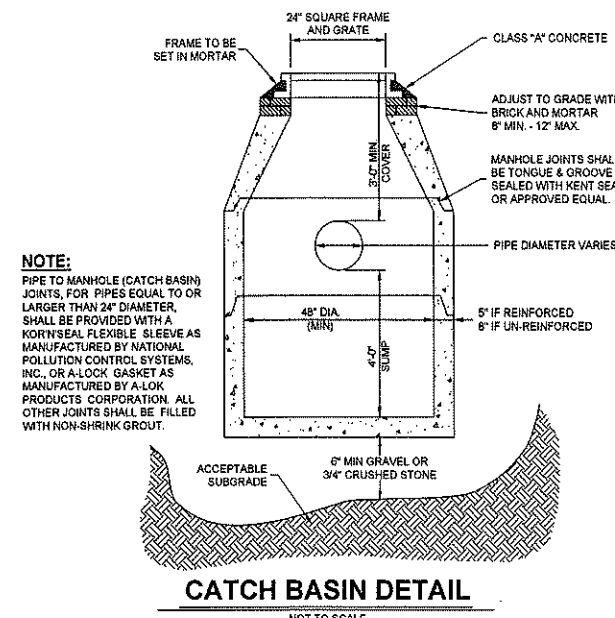
PREPARED FOR/RECORD OWNER:  
**INTEGRA BIOSCIENCES CORP.**  
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

**SCALE AS SHOWN**

27 JANUARY 2022

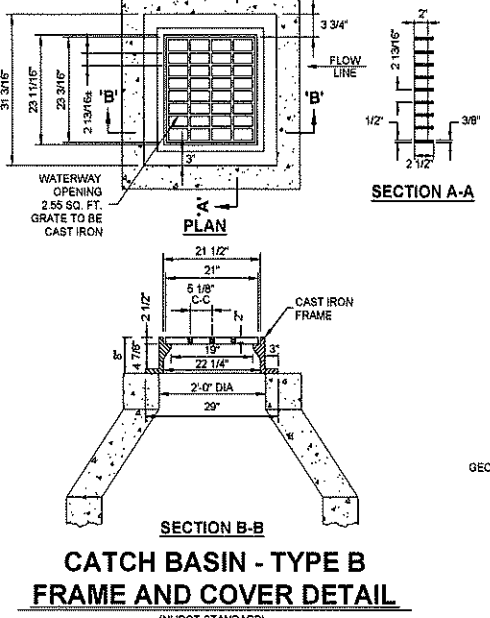
**HSI** Hayner/Swanson, Inc.  
Civil Engineers/Land Surveyors  
3 Congress Street  
Nashua, NH 03062  
(603) 883-2057  
www.haynerswanson.com

FIELD BOOK: 1234	DRAWING NAME: 5734 SITE-DETI	5734	9 OF 15
DRAWING LOC: J:\5000\5734\DWG\5734 SITE 2021		File Number	Sheet

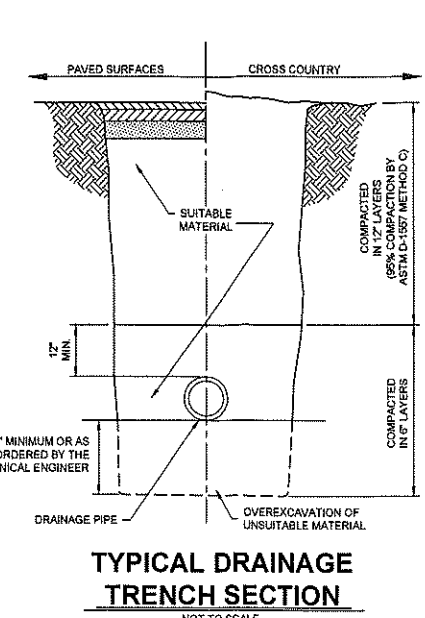


**NOTE:**  
PIPE TO MANHOLE (CATCH BASIN) JOINTS, FOR PIPES EQUAL TO OR LARGER THAN 24\"/>

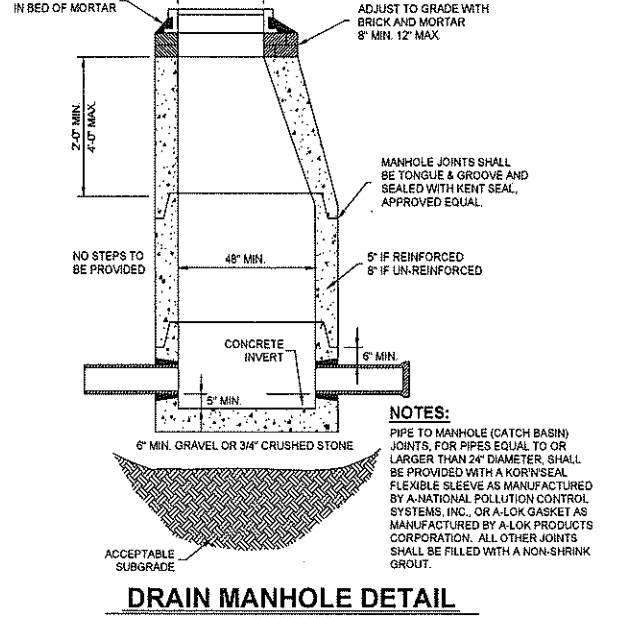
**CATCH BASIN DETAIL**  
NOT TO SCALE



**CATCH BASIN - TYPE B FRAME AND COVER DETAIL**  
(NHDOT STANDARD)  
NOT TO SCALE



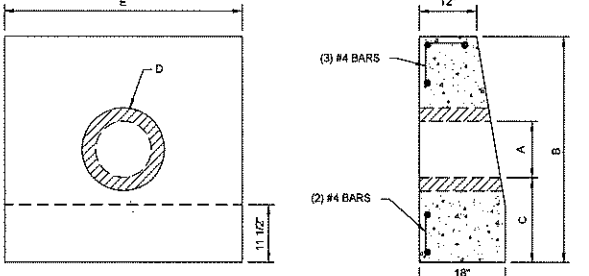
**TYPICAL DRAINAGE TRENCH SECTION**  
NOT TO SCALE



**NOTES:**  
PIPE TO MANHOLE (CATCH BASIN) JOINTS, FOR PIPES EQUAL TO OR LARGER THAN 24\"/>

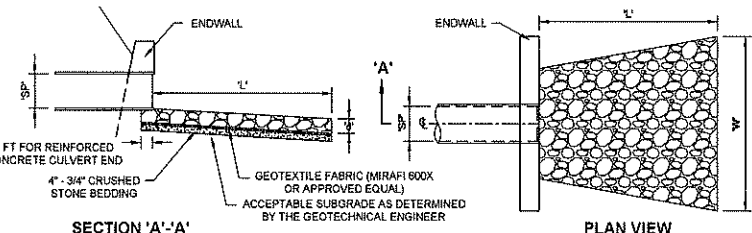
**DRAIN MANHOLE DETAIL**  
NOT TO SCALE

DIA A	B	C	DIA D	E	WEIGHT PER SECTION
12"	4'-0"	16"	16"	4'-3"	3,000 LBS
15"	4'-3"	18"	22"	6'-0"	4,500 LBS
18"	4'-5"	18"	26"	7'-0"	5,500 LBS
24"	4'-5"	15"	34"	7'-0"	5,035 LBS

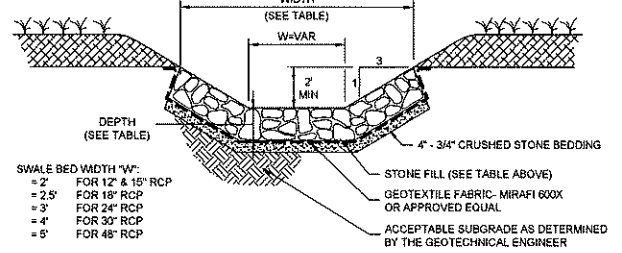


**GENERAL NOTES:**  
1. STEEL REINFORCEMENT CONFORMS TO LATEST ASTM SPECIFICATIONS. ASTM-A615 GRADE 60 REBAR.  
2. CONCRETE: Fc = 4,000 PSI @ 28 DAYS MINIMUM.  
3. EST WEIGHT: 3,000 LBS.

**PRECAST HEADWALL DETAIL**  
NOT TO SCALE



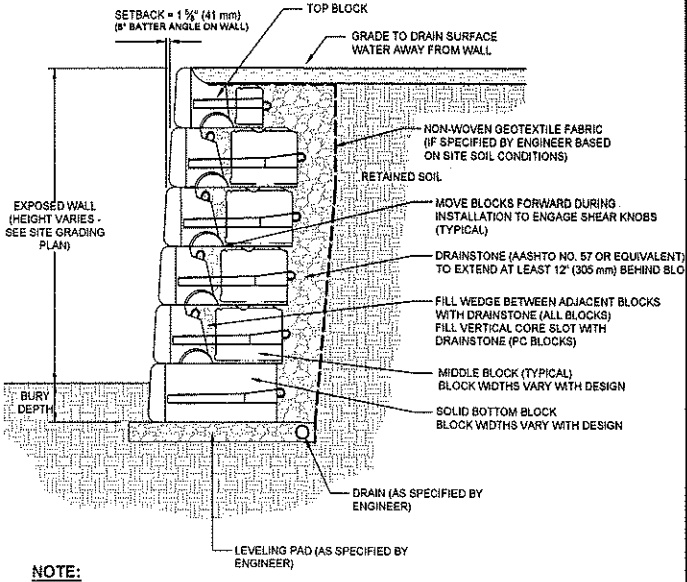
LOCATION	WIDTH (W) (FT)	LENGTH (L) (FT)	DEPTH (D) (FT)	d 50 (IN)	DIAMETER (SP) (IN)	MATERIAL
ENDWALL 2	12	27	1.25	4	12	ITEM 585-1 RIP RAP CLASS 1



**RIPRAP DETAIL AT HEADWALL/OUTLET DETAIL**  
NOT TO SCALE

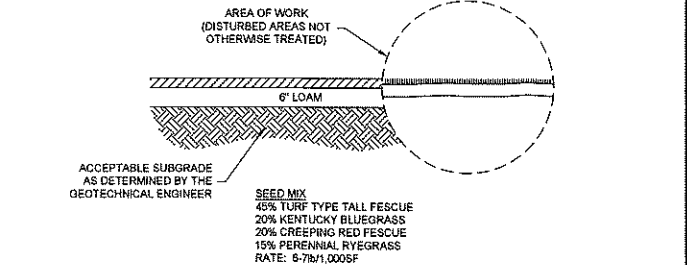
**NOTE**  
FINAL STAMPED RETAINING WALL PLANS SHALL BE SUBMITTED TO THE HUDSON BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

**NOTE**  
RETAINING WALL DETAIL AS SHOWN BELOW IS FOR SCHEMATIC PURPOSES ONLY. THE RETAINING WALL SHALL BE A REINFORCED SYSTEM OR APPROVED EQUAL DESIGNED BY A N.H. LICENSED STRUCTURAL ENGINEER AND SHALL INCLUDE THE WALL SYSTEM, TIEBACKS, FENCING AND UNDER DRAINAGE. FINAL STAMPED DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

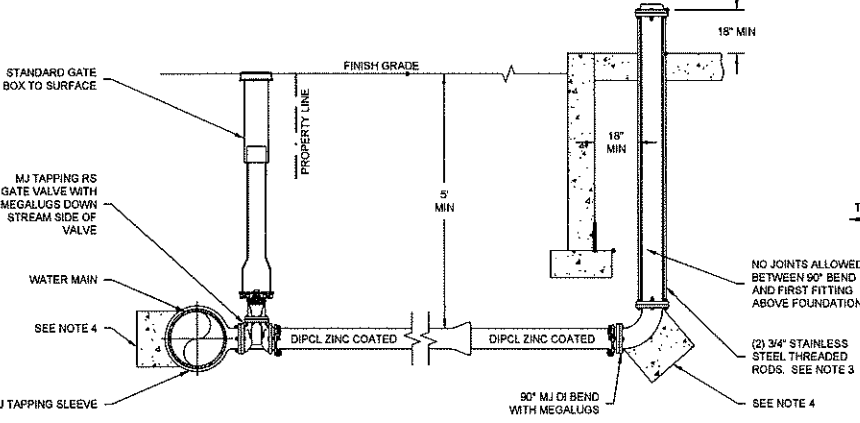


**NOTE:**  
THIS DRAWING IS FOR REFERENCE ONLY. DETERMINATION OF THE SUITABILITY AND/OR MANNER OF USE OF ANY DETAILS CONTAINED IN THIS DOCUMENT IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER OF RECORD. FINAL PROJECT DESIGNS, INCLUDING ALL CONSTRUCTION DETAILS, SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER USING THE ACTUAL CONDITIONS OF THE PROPOSED SITE.

**RETAINING WALL DETAIL**  
NOT TO SCALE

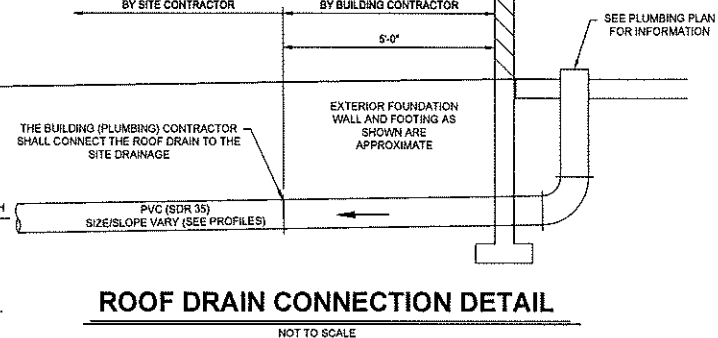


**LOAM AND SEED DETAIL**  
NOT TO SCALE

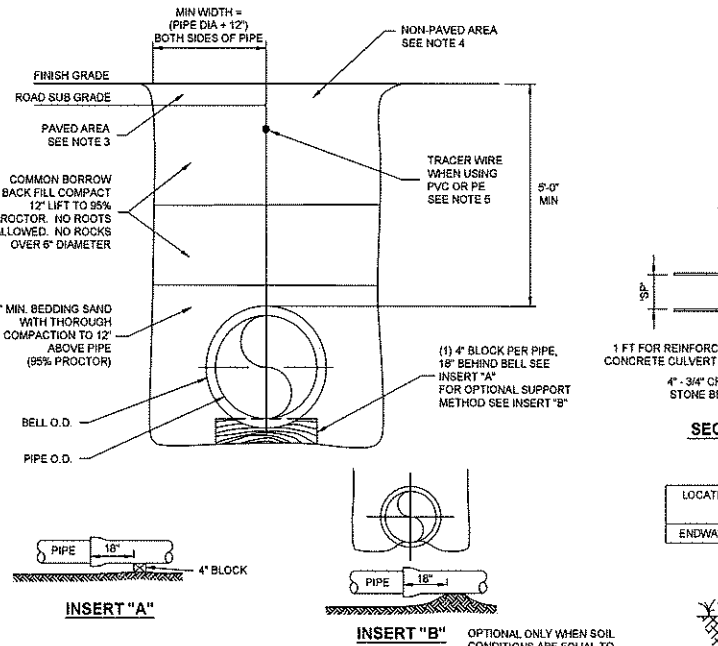


**NOTES:**  
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON WATER DEPARTMENT TECHNICAL SPECIFICATIONS.  
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.  
3. 3/4\"/>

**TYPICAL FIRE SERVICE INSTALLATION DETAIL**  
NOT TO SCALE



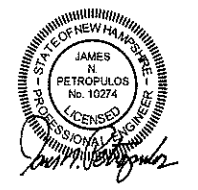
**ROOF DRAIN CONNECTION DETAIL**  
NOT TO SCALE



**TYPICAL TRENCH DETAIL**  
NOT TO SCALE

**NOTES:**  
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON WATER DEPARTMENT TECHNICAL SPECIFICATIONS.  
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'0\"/>

**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
DATE OF MEETING: \_\_\_\_\_  
CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



NO.	DATE	REVISION	BY

DETAIL SHEET - DRAINAGE  
(MAP 209, LOT 4)  
**PROPOSED BUILDING ADDITIONS**  
22 FRIARS DRIVE  
HUDSON, NEW HAMPSHIRE  
PREPARED FOR/RECORD OWNER:  
**INTEGRA BIOSCIENCES CORP.**  
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

**SCALE AS SHOWN**  
27 JANUARY 2022

**HSI** Hayner/Swanson, Inc.  
Civil Engineers/Land Surveyors  
3 Congress Street  
Nashua, NH 03062 (603) 883-2057  
131 Middlesex Turnpike  
Burlington, MA 01803 (781) 203-1501  
www.haynerswanson.com

FIELD BOOK: 1234	DRAWING NAME: 5734 SITE-DET1	5734	10 OF 15
DRAWING LOG: 4:5000\5734\DWG\5734 SITE 2021		File Number	83441

**TEST PIT LOGS**

HSI #5734  
 MAP 209 LOT 4  
 INTEGRA BIOSCIENCES CORP.  
 22 FRIARS DRIVE  
 HUDSON, NH

TEST PITS: FOR DRAINAGE  
 WEATHER: 34" CLEAR  
 EQUIPMENT: KUBOTA CX181-3 MINI EXCAVATOR  
 LOGGED BY: PAUL CARDEO, NHDES PERMIT #66

**TEST PIT #1** DATE: 12/28/21  
 0-4" 10YR 3/3, DARK BROWN, SANDY LOAM FILL, FINE GRANULAR, VERY FRIABLE WITH FEW ROOTS  
 14-96" 10YR 5/4, YELLOWISH BROWN, MEDIUM SAND, SINGLE GRAIN, LOOSE WITH FEW ROOTS TO 38"  
 ESHWT: NONE OBSERVED OWT: NONE ROOTS: 38" LEDGE: NONE

**TEST PIT #2** DATE: 12/28/21  
 0-4" 10YR 3/3, DARK BROWN, SANDY LOAM FILL, FINE GRANULAR, VERY FRIABLE WITH FEW ROOTS  
 4-8" 10YR 3/2, VERY DARK GRAYISH BROWN, FINE SANDY LOAM, WEAK FINE GRANULAR, VERY FRIABLE WITH MANY ROOTS  
 8-20" 10YR 5/6, YELLOWISH BROWN, SANDY LOAM, FINE GRANULAR, VERY FRIABLE WITH COMMON ROOTS  
 20-36" 10YR 5/3, BROWN, MEDIUM SAND, SINGLE GRAIN, LOOSE WITH FEW ROOTS  
 36-88" 10YR 5/4, YELLOWISH BROWN, MEDIUM SAND, SINGLE GRAIN, LOOSE WITH FEW ROOTS  
 88-96" 10YR 6/3, LIGHT YELLOWISH BROWN, GRAVELLY SAND, 15% ROUNDED COBBLES, 10% GRAVEL, SINGLE GRAIN, LOOSE WITH FEW ROOTS TO 50"  
 ESHWT: NONE OBSERVED OWT: NONE ROOTS: 90" LEDGE: NONE

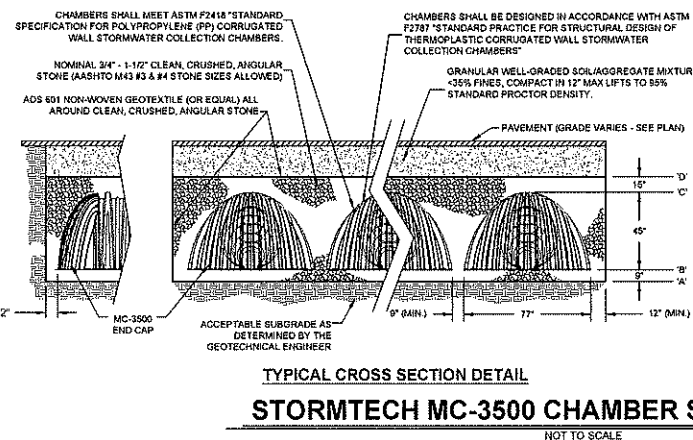
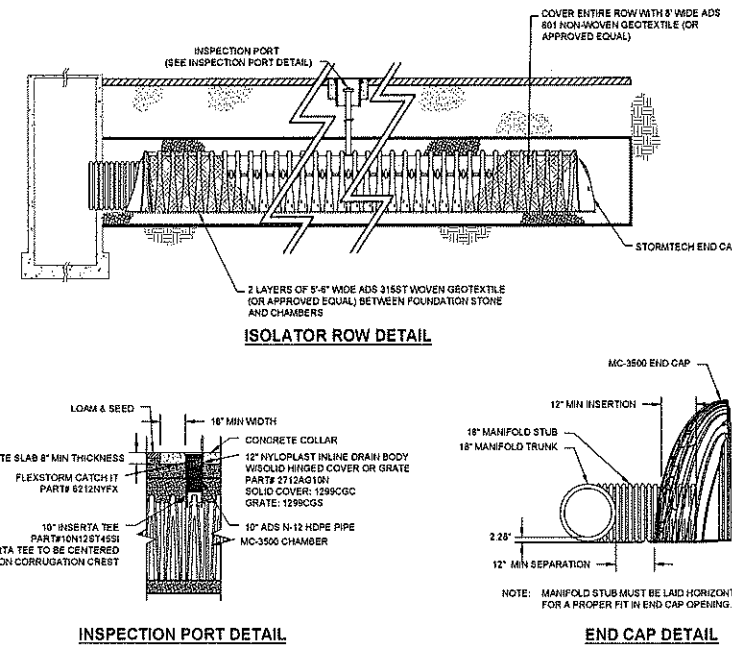
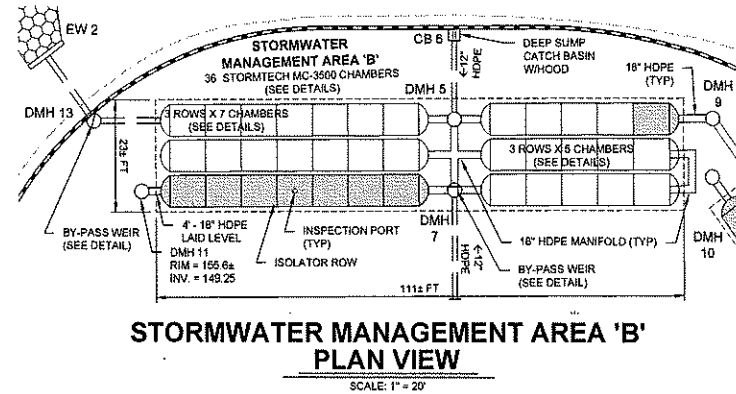
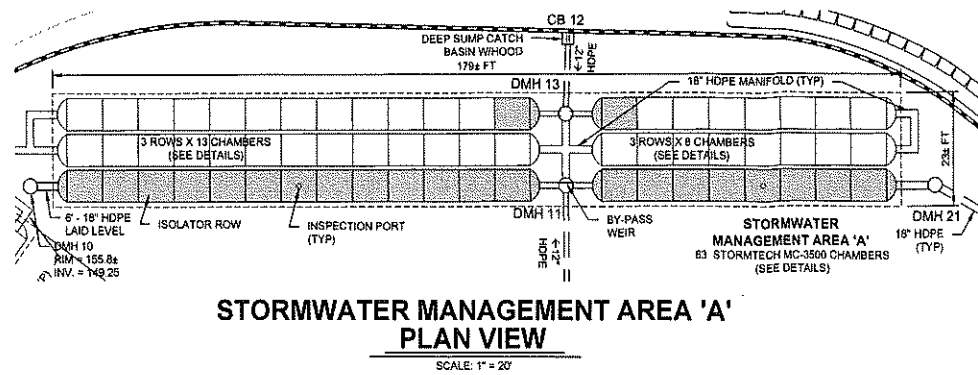
**TEST PIT #3** DATE: 12/28/21  
 0-8" 10YR 3/3, DARK BROWN, FINE SANDY LOAM FILL, WEAK FINE GRANULAR, VERY FRIABLE WITH MANY ROOTS  
 8-14" 10YR 3/2, VERY DARK GRAYISH BROWN, FINE SANDY LOAM, MASSIVE, VERY FRIABLE WITH MANY ROOTS  
 14-30" 10YR 5/8, YELLOWISH BROWN, SANDY LOAM, FINE GRANULAR, FRIABLE WITH COMMON ROOTS  
 30-75" 10YR 5/4, YELLOWISH BROWN, MEDIUM SAND, SINGLE GRAIN, LOOSE WITH FEW ROOTS TO 42" AND 7.5YR 5/8, STRONG BROWN, COMMON, DISTINCT REDOXIMORPHIC FEATURES AT 72"  
 76-80" 10YR 6/3, LIGHT YELLOWISH BROWN, MEDIUM SAND, SINGLE GRAIN, FIRM WITH 5YR 5/8, YELLOWISH RED REDOXIMORPHIC FEATURES THROUGHOUT  
 80-96" 10YR 6/2, LIGHT GRAYISH BROWN, VERY FINE SAND, MASSIVE, FIRM WITH 5YR 4/6, YELLOWISH RED REDOXIMORPHIC FEATURES THROUGHOUT  
 ESHWT: 72" OWT: 78" ROOTS: 42" LEDGE: NONE

**TEST PIT #4** DATE: 12/28/21  
 0-5" 10YR 3/3, DARK BROWN, SANDY LOAM FILL, GRANULAR, VERY FRIABLE WITH FEW ROOTS  
 6-20" 10YR 7/4, VERY PALE BROWN, CRUSHED GRAVEL FILL, 25% ANGULAR COBBLES, 20% GRAVEL, GRANULAR, LOOSE WITH FEW ROOTS  
 20-42" 10YR 5/4, YELLOWISH BROWN, MEDIUM SAND, SINGLE GRAIN, LOOSE WITH FEW ROOTS TO 30"  
 42-75" 10YR 6/3, LIGHT YELLOWISH BROWN, FINE SAND, FINE GRANULAR, FIRM IN PLACE-FRIABLE REMOVED WITH 7.5YR 5/8, STRONG BROWN, COMMON, DISTINCT REDOXIMORPHIC FEATURES AT 72"  
 80-96" 10YR 5/3, BROWN, GRAVELLY SAND, 15% ROUNDED COBBLES, 10% GRAVEL, SINGLE GRAIN, LOOSE WITH 7.5YR 5/8, STRONG BROWN, COMMON, DISTINCT REDOXIMORPHIC FEATURES THROUGHOUT  
 ESHWT: 72" OWT: 78" ROOTS: 30" LEDGE: NONE

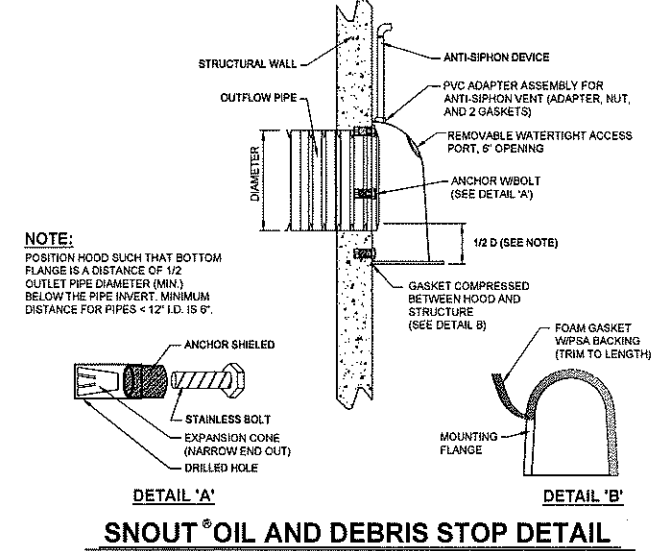
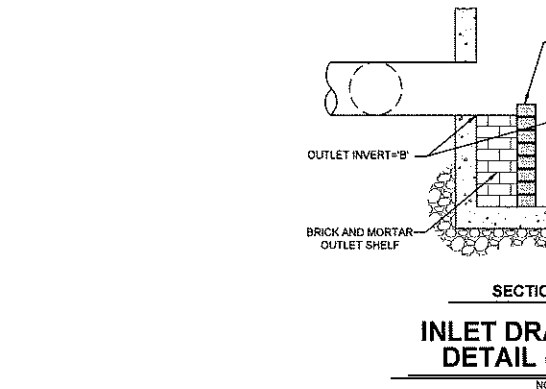
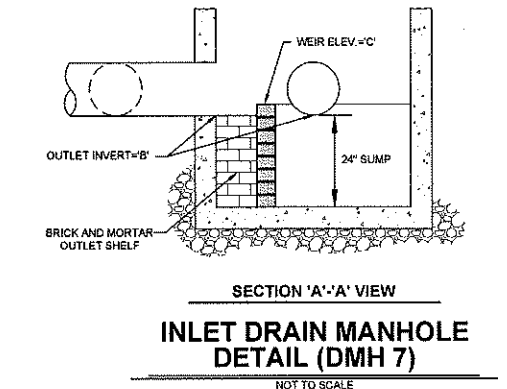
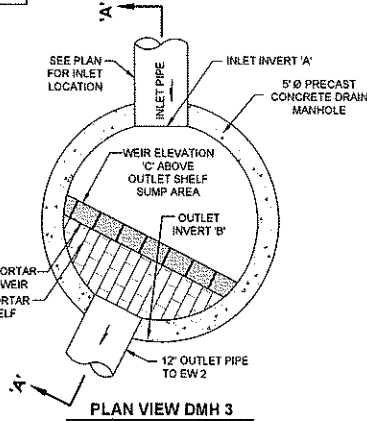
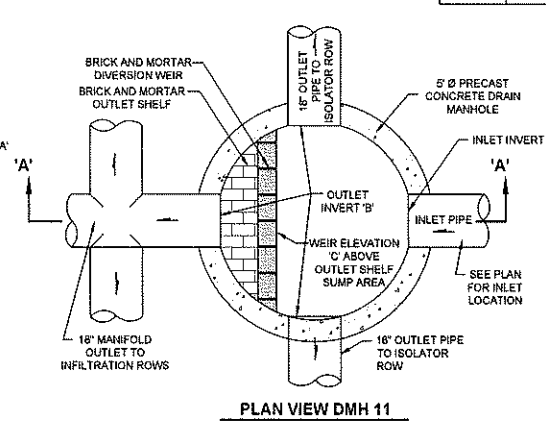
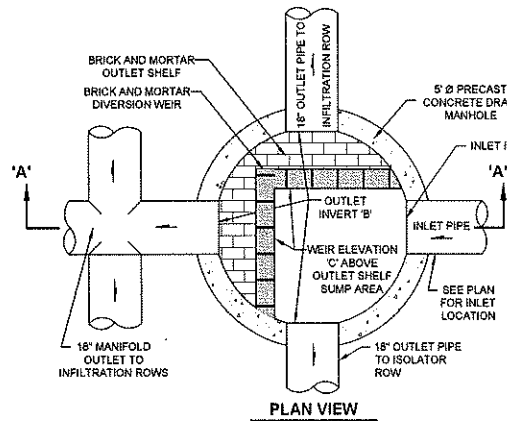
LOCATION	INLET INVERT 'A'	OUTLET INVERT 'B'	WEIR ELEVATION 'C'
DMH 7	151.56	148.25	150.00

LOCATION	INLET INVERT 'A'	OUTLET INVERT 'B'	WEIR ELEVATION 'C'
DMH 3	149.25	149.58	153.25
DMH 11	151.78	149.25	150.75

LOCATION	A	B	C	D
SMA 'A'	148.25	149.00	152.75	154.00
SMA 'B'	148.25	149.00	152.75	154.00



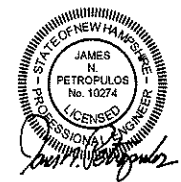
- STORMTECH NOTES:**
- CHAMBERS SHALL BE STORMTECH MC-3500, OR APPROVED EQUAL.
  - CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE REBINS TESTED USING ASTM STANDARDS.
  - CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2377, 'STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS'.
  - CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS.
  - THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET FOR:
    - LONG-DURATION DEAD LOADS; AND
    - SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.
  - ONLY CHAMBERS THAT ARE APPROVED BY THE ENGINEER WILL BE ALLOWED. THE CONTRACTOR SHALL SUBMIT (3 SETS) OF THE FOLLOWING TO THE ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
    - STRUCTURAL EVALUATION BY A REGISTERED STRUCTURAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET.
    - THE 50-YEAR GREEP MODULUS DATA SPECIFIED IN ASTM F2322 MUST BE USED AS A PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
  - CHAMBERS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.
  - ALL DESIGN SPECIFICATIONS FOR CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST DESIGN MANUAL.
  - THE INSTALLATION OF CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS.
  - THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS, WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.
  - DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
  - AFTER THE INFILTRATION SYSTEM AREA IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PAVEMENT WITH A LEVELING DRAG.
  - DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
 DATE OF MEETING: \_\_\_\_\_  
 CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



DETAIL SHEET - DRAINAGE  
 (MAP 209, LOT 4)

**PROPOSED BUILDING ADDITIONS**  
 22 FRIARS DRIVE  
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**INTEGRA BIOSCIENCES CORP.**  
 2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

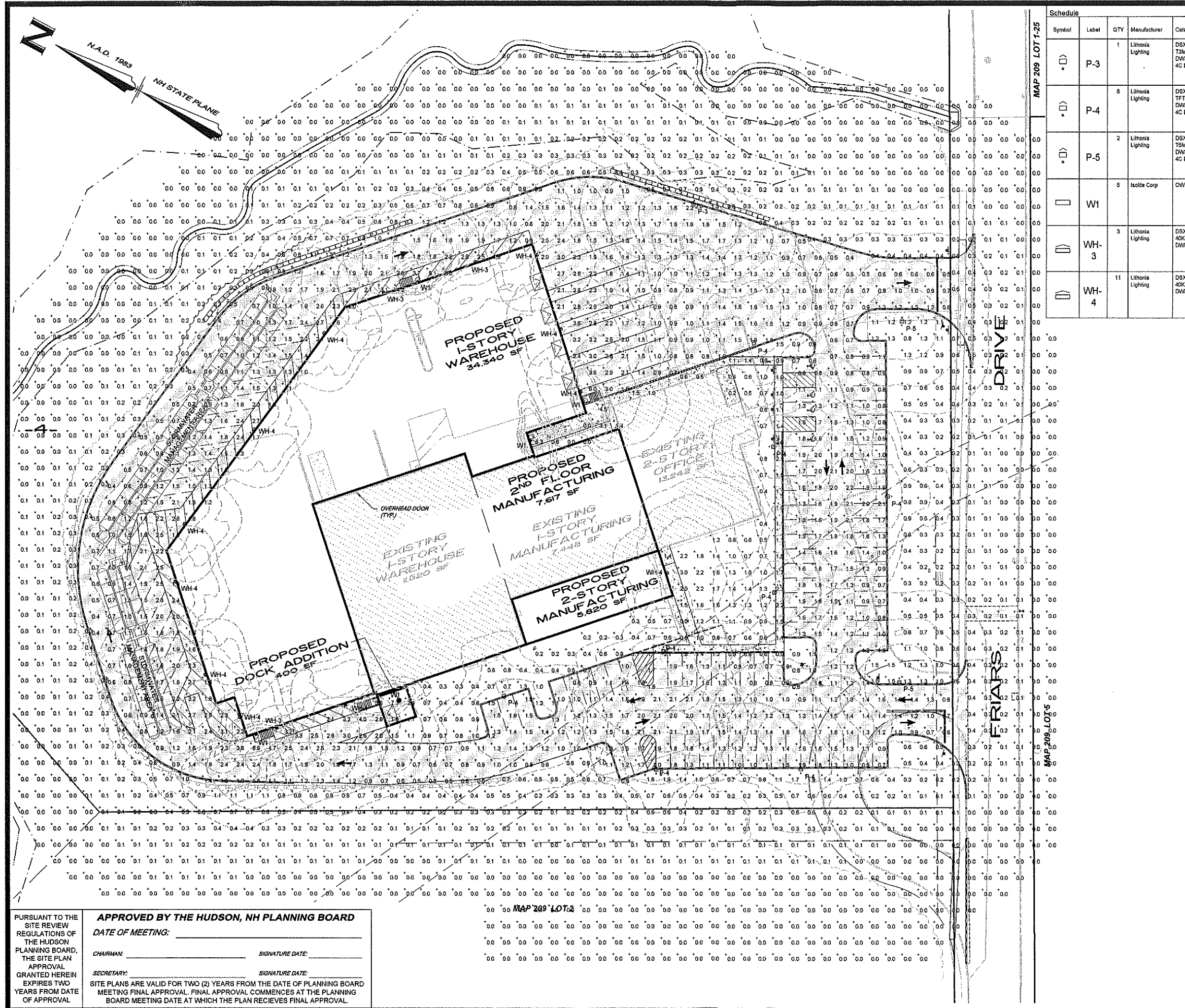
SCALE AS SHOWN

27 JANUARY 2022

**HSI** Hayner/Swanson, Inc.  
 Civil Engineers/Land Surveyors  
 3 Congress Street  
 Nashua, NH 03062  
 (603) 883-2057  
 www.hayner-swanson.com

FIELD BOOK: 1234 DRAWING NAME: 5734 SITE-DETI 5734 11 OF 15  
 DRAWING LOC: J:\5000\5734\DWG\5734 SITE 2021





Schedule												
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens per Lamp	LLF	Wattage	Distribution	Polar Plot
P-3		1	Lithonia Lighting	DSX0 LED P3 40K T3M MVOLT SPA DWXHD with SSS 20 4C DM19AS DWXHD	DSX0 LED Area Fixture; mounted at 22R (20ft pole on 2ft base)	LED	DSX0_LED_P3_40K_T3M_MVOLT.ies	8205	0.9	71	TYPE III, MEDIUM BUG RATING; B2-UG-G2	
P-4		8	Lithonia Lighting	DSX0 LED P3 40K TFTM MVOLT SPA DWXHD with SSS 20 4C DM19AS DWXHD	DSX0 LED Area Fixture; mounted at 22R (20ft pole on 2ft base)	LED	DSX0_LED_P3_40K_TFTM_MVOLT.ies	8447	0.9	71	TYPE IV, SHORT, BUG RATING; B2-UG-G2	
P-5		2	Lithonia Lighting	DSX0 LED P3 40K T3M MVOLT SPA DWXHD with SSS 20 4C DM19AS DWXHD	DSX0 LED Area Fixture; mounted at 22R (20ft pole on 2ft base)	LED	DSX0_LED_P3_40K_T3M_MVOLT.ies	8770	0.9	71	TYPE VS, BUG RATING; B3-UG-G2	
W1		5	Isotite Corp	OWL EM WH MB HX	OWLACIEM OWLin Normal AC Mode; mounted at 10R	LED	OWL-ISOLITE-ACIES.ies	1529	0.9	15.8		
WH-3		3	Lithonia Lighting	DSXW2 LED 30C 700 4K T3M MVOLT DWXHD	DSXW2 LED Wallpack; mounted at 20R	LED	DSXW2_LED_30C_700_40K_T3M_MVOLT.ies	8199	0.9	71	TYPE IV, MEDIUM, BUG RATING; B2-UG-G3	
WH-4		11	Lithonia Lighting	DSXW2 LED 30C 700 40K TFTM MVOLT DWXHD	DSXW2 LED Wallpack; mounted at 20R	LED	DSXW2_LED_30C_700_40K_TFTM_MVOLT.ies	8082	0.9	71	TYPE IV, SHORT, BUG RATING; B2-UG-G2	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Ground Around Building	+	1.2 fc	7.3 fc	0.0 fc	N/A	N/A
Outside of Parking Lot	+	0.1 fc	2.0 fc	0.0 fc	N/A	N/A
Parking Lot	+	1.4 fc	6.9 fc	0.4 fc	17.3:1	3.5:1

**NOTE**  
 THE PURPOSE OF THE PHOTOMETRIC LIGHT PLAN IS TO SHOW LIGHTING LEVELS THROUGHOUT THE SITE. THE CONTRACTOR SHALL REFER TO THE SITE ELECTRICAL PLAN FOR LIGHT POLE BASE DESIGN, CONDUIT WIRING AND OTHER APPURTENANT SITE LIGHTING DESIGN ELEMENTS.

NO.	DATE	REVISION	BY

**PHOTOMETRIC SITE LIGHTING PLAN**  
 (MAP 209, LOT 4)  
**PROPOSED BUILDING ADDITIONS**  
 22 FRIARS DRIVE  
 HUDSON, NEW HAMPSHIRE  
 PREPARED FOR/RECORD OWNER:  
**INTEGRA BIOSCIENCES CORP.**  
 2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

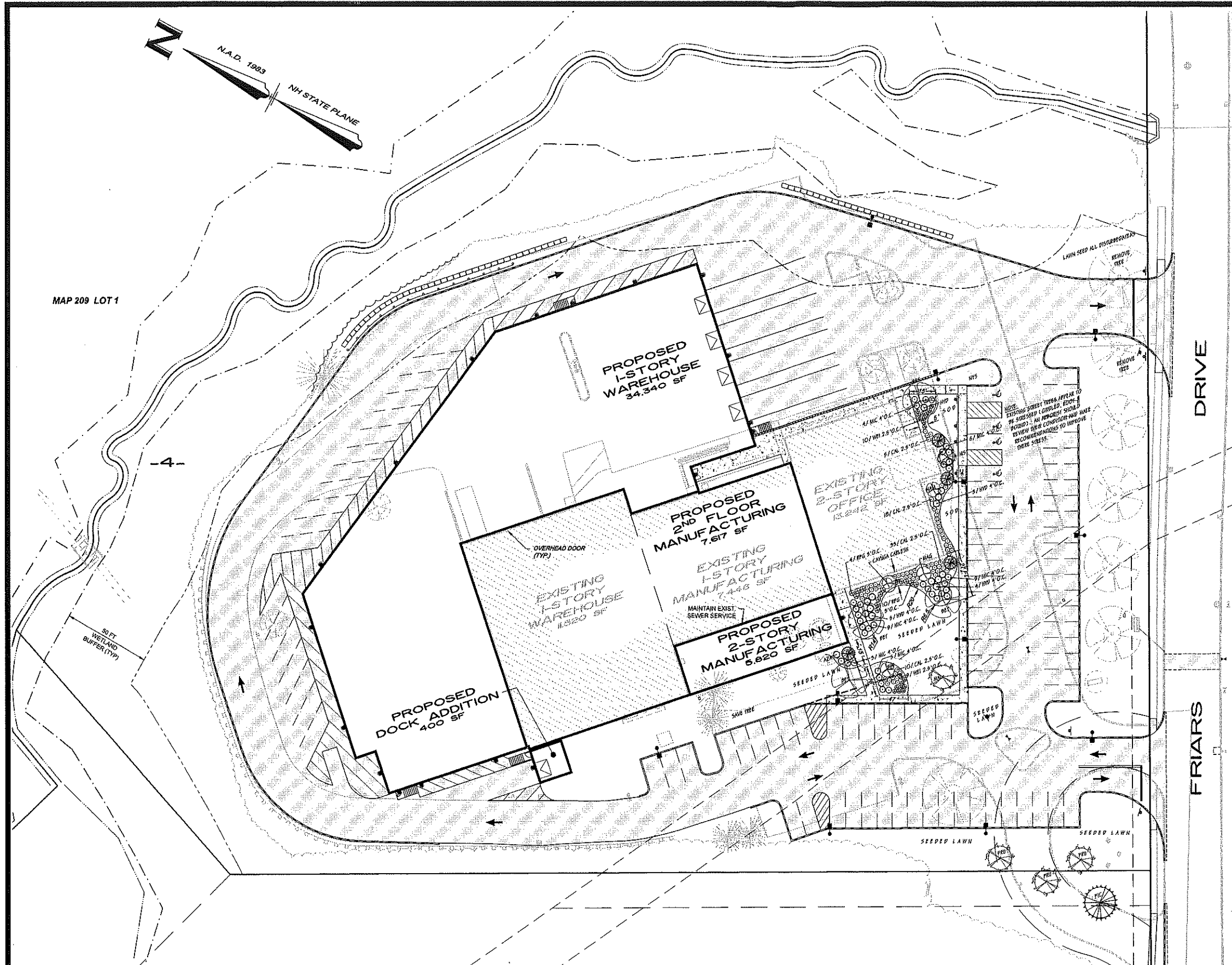
30 0 30 60 90 120 FEET  
 15 0 15 30 METERS  
 SCALE: 1"=30 Feet  
 1"=9.144 Meters

**27 JANUARY 2022**  
**GATE CITY ELECTRIC**  
 NASHUA, NH 603-886-0200

FIELD BOOK: 1234	DRAWING NAME: 5734 SITE-SL31	5734	13 OF 15
DRAWING LOG: J:\5000\5734\DWG\5734 SITE 2021		File Number	6241

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
 DATE OF MEETING: \_\_\_\_\_  
 CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



MAP 209 LOT 1-25

MAP 209 LOT 5

- MATERIAL LIST**
- 1/ AZA AZALEA SPECIES (INNOCENCE AZALEA) # 9 GAL.
  - 4/ BEF BETULA NIGRA (HERITAGE RIVER BIRCH) 12'-14' MULTI-STEM
  - 30/ CAL CALAMAGROSIS A. (KARL FOERSTER FEATHER REED GRASS) # 2 GAL.
  - 8/ CHA CHAMAECYPARIS OBTUSA GRACILIS (GRACILIS HINOKI PALM SECCYPRESS) 7'-8' BB
  - 1/ HAM HAMAMELIS VIRGINIANA (HARVEST MOON WITCHHAZEL) 5'-6' BB
  - 10/ HYD HYDRANGEA PANICULATA (LITTLE QUICK FIRE HYDRANGEA) # 9 GAL.
  - 1/ MAG MAGNOLIA X. (LOIS MAGNOLIA) 6'-7' BB
  - 1/ MAL MALUS SPECIES (LOUISA CRABAPPLE) 2.5"-5" CAL.
  - 1/ MSF MALUS SPECIES (SARGENT THIA CRABAPPLE) 2"-2.5" CAL.
  - 20/ MIC MICROBIOTA PECUSSATA (RUSSIAN CYPRESS) # 9 GAL.
  - 1/ NY5 NYSSA SYLVATICA (WILD FIRE SWEETGUM) 2.5"-5" CAL.
  - 1/ PIC PICEA PLINGENS GLAUCA (COLORADO BLUE SPRUCE) 8'-1'-BB
  - 1/ PIN PINUS STROBUS (BLUE SHAG PINE) 5'-4' BB
  - 3/ PRU PRUNUS SERRULATA (KWANZAN CHERRY TREE) 0'-2.5" CAL.
  - 20/ RPA RHODODENDRON (PURPLE GEM RHODODENDRON) # 9 GAL.
  - 9/ WEI WEIGELA FLORIDA (MIDNIGHT WINE WEIGELA) # 5 GAL.
- MISCELLANEOUS:**
- SOD PER PLAN
  - PINE/HEMLOCK BLEND ALL NEW AND EXISTING BEDS
- LAWN SEED MIX SANDY SOIL/ DROUGHT TOLERANT BLEND PER PLAN

**GENERAL NOTES:**  
 NO PLANT HYBRID SUBSTITUTIONS OR CHANGES IN SIZE AND/OR CONTAINER VS. BB, WITHOUT PRIOR WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.  
 DO NOT USE TINTED BARKMULCH IN THE PLANT BEDS OR TREE SAUCERS. REPLACE ALL EXISTING MULCH WITH A PREMIUM BLEND PINE/HEMLOCK BLEND.  
 DO NOT USE THE 'BEEHIVE' MULCHING TECHNIQUE FOR TREE SAUCERS. INSTALL PER DETAILS.

No.	DATE	REVISION	BY

LANDSCAPE PLAN  
 (MAP 209, LOT 4)

## PROPOSED BUILDING ADDITIONS

22 FRIARS DRIVE  
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**INTEGRA BIOSCIENCES CORP.**  
 2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

30 0 30 60 90 120 FEET  
 15 0 15 30 METERS  
 SCALE: 1"=30 Feet  
 1"=9.144 Meters

27 JANUARY 2022

PREPARED BY:  
**BLACKWATER DESIGN**  
 PHONE (603) 648-6500 FAX (603) 648-6505  
 Land Planning - Landscape Architecture  
 85 Frost Lane - Webster, NH 03303

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

**APPROVED BY THE HUDSON, NH PLANNING BOARD**

DATE OF MEETING: \_\_\_\_\_

CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

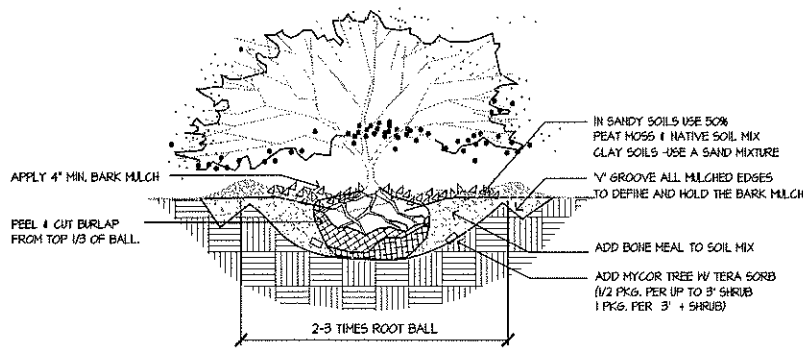
SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

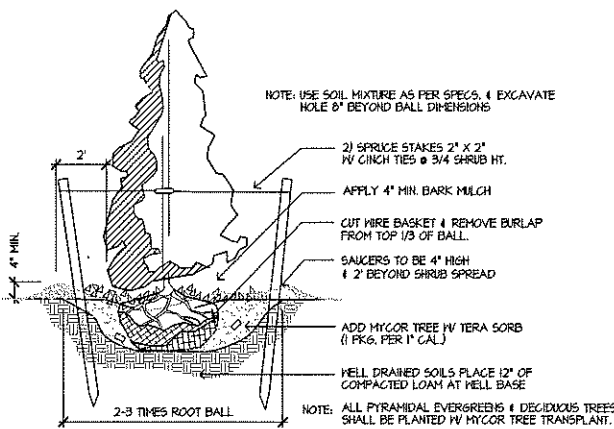
MAP 209 LOT 2

**General Specifications**

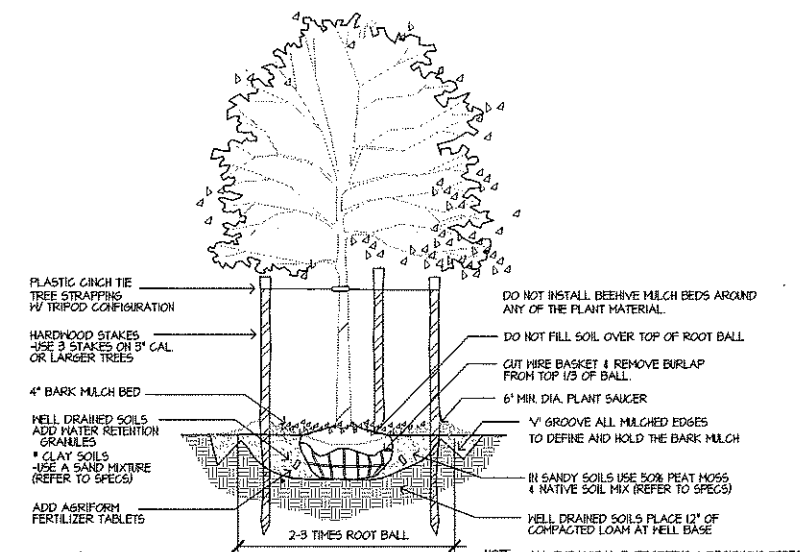
- The contractor shall at his expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and acquaint himself with all conditions before making his proposal. He will be held responsible for errors in his proposal resulting from his failure to make such an examination. All bidders shall visit the site and inform themselves of all conditions.
- The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials confirming to the bid items. Under no circumstances may a species 'hybrid' be substituted or size changed without written consent of the landscape architect.
- The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, he shall be responsible for their repair and/or replacement at his expense.
- The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstructed providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- If additional labor and/or materials is requested or required, the contractor shall submit a price to the owner. If the owner approves the price he shall prepare a change order for approval and signature. The contractor shall not proceed without a written authorization from the owner for the additional work. If the contractor proceeds with the additional work without this authorization he shall forfeit any claim for additional compensation.
- The landscape architect shall reserve the right to inspect the project work at any time deemed necessary to insure that the specifications and plans and any other contract documents are being followed.
- The L.A. shall have the right to reject any plant on-site based upon condition, size, or incorrect species or hybrid. LA must be contacted prior to install, to inspect materials delivered to the site, and to insure that soil amendments, bark mulch, roof ballast, etc. are to the written specifications.
- All seeded areas shall receive a minimum 6" topsoil blanket (by site contractor) w/site preparation, raking and general clean up prior to application. Operations shall include a preemergence type herbicide, 12-25-12 granular fertilizer @ 10 lbs./1000 sf., and pelletized limestone @ 25 lbs./1000 sf power raked into the top 2" of soil prior to hydro-seeding. Ratios & application rates may change based upon the required soil analysis.
- Contractor is responsible for establishing a thick, weed free lawn. Seed shall be spread @ 4lbs./1000. Lawn germination shall be 95% free of noxious weeds for acceptance. Define differences in seed mixes (if applicable) with irrigation flagging until 2nd mowing. Site review by LA is required.
- Review of the installed irrigation system by the designer is required prior to release of final payment.
- Hydroseeding operations shall be a one part process with a paper fiber mulch; a tackifier shall be applied on all slopes greater than 3:1. Excelsior Drainage mat shall be applied to all 2:1 slopes and drainage swales per plan.
- Contractor shall maintain, from acceptance date, the lawn areas through the first mowing. Contractor is not responsible for the first mowing.
- All plant materials shall be installed in accordance with A.L.C.C. Trees and shrubs shall have appropriate soil mixtures, fertilizer and soil retention granules.
- If the soil conditions are extremely sandy, all trees shall have a 6" layer of compacted topsoil (verify with Landscape Architect) placed in the base of the plant pit as a moisture retention layer. The plant pit sidewalls shall be over excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec # 22.
- Landscape architect shall have the right to reject and have ground removed any plant material not of proper size or of weak quality, i.e. thin, no lower branching, etc. Contractor must submit shipping lists (billing invoices) for verification, prior to installation.
- All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractors expense; with same warranty requirements as the original. Warranty does not cover loss due mechanical damage, i.e. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.
- Plant beds and saucers vary in dia. (refer to dwg). Trees and shrubs shall receive a 4" (settled) covering of pine/hemlock bark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6' dia. saucer (typ.), evergreen trees shall have a saucer 2' min. beyond it's outer branches. All edges shall have a 'V' groove.
- All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- If road base is encountered in any plant bed areas, i.e. parking islands, it shall be removed and suitable amended soil installed per drawings and specifications.
- Soil planting mixture shall be a 6%-10% organic topsoil, amended with 10% wood ash, 10%% manure, & 30%% peatmoss or incorporate a dehydrated compost material. If planting in sand, gravel or other well drained soils, a 50% peatmoss to excavated soil. Other soil amendments shall include; Agriform tablets, Hydro-Gel or equal, and Roots growth enhancer to all trees and shrubs listed, per manufacturers specifications. All plant material pits will receive a min. 20%% in volume mix of a compost soil amendment. Submittal required. 'Roots' STEP 1 can be substituted for the individual supplements. Install per manufacturer's specs.
- Landscape contractor shall not be responsible for topsoil spreading but shall coordinate with the site contractor adherence to the mound grades, plant bed soil depths and soil type per dwgs & spec. Landscape contractor shall power rake-out for seed.
- Landscape contractor shall provide a soil analysis of the topsoil planting mixture. Analysis to show soil classification (min. sandy loam) and nutrients.
- Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be stored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface dries out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- Plan dictates, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- Installer shall notify landscape architect prior to planting, to review plant locations and bedline configurations. If contractor installs without the placement approval of the L.A., said architect shall have the right to relocate any installed plants at the contractor's expense.
- Installer shall notify landscape architect prior to plant installation to review all materials. Any plants of poor condition, improper size, or species will be rejected.
- Upon one year review, contractor shall straighten any trees that have shifted. Any weak or bare spots in lawn shall be reseeded.
- All bedlines shall have a deep 'V' groove to define lawn to mulch edge. No 'Beehive' mounding of mulch is allowed, also keep mulch away from base of perennials.
- Do not plant materials too close to the edge of bedlines. Refer to drawings for center of plant to bedline. At a minimum no outer branching of a shrub or perennial shall be closer than two feet from the bedlines. If the as-built does not comply contractor shall adjust the plant location or bedline at his expense.
- Seed mixes include: Sandy Soil Lawn Mix by: deercreekseed.com; New England Wetland Plants, Amherst, Ma. refer to planting plan for designations.
- Any items not completed to the specifications will be required at contractors expense prior to final approvals. Contractor is to bid the work according to the specifications and not to what they may do under their standard practices. Special attention will be payed to soils, amendments, guy stakes, bedline & saucer configurations, seed mixtures, etc.
- Certain designated foundation edging is road ballast (washed rounds, non-crushed, natural) Size of stone is a range of 3/4"-1.5" dia. placed to a depth of 3", upon placement apply a coating of granular Preen (preemergent).
- Any questions concerning this drawing shall be directed to Joseph Hochrein c/o Blackwater Design, 85 Frost Lane, Webster, NH 03303, 603-648-2541.



**B&B SHRUB PLANTING**  
NOT TO SCALE



**PYRAMIDAL EVERGREEN TREE PLANTING**  
NOT TO SCALE



**TREE PLANTING 2" + CAL.**  
NOT TO SCALE

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

**APPROVED BY THE HUDSON, NH PLANNING BOARD**

DATE OF MEETING: \_\_\_\_\_

CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

NO.	DATE	REVISION	BY

**LANDSCAPE PLAN**  
(MAP 209, LOT 4)

**PROPOSED BUILDING ADDITIONS**  
22 FRIARS DRIVE  
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**INTEGRA BIOSCIENCES CORP.**  
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

30 0 30 60 90 120 FEET  
15 0 15 30 METERS  
SCALE: 1"=30 Feet  
1"=9.144 Meters

**27 JANUARY 2022**

PREPARED BY:  
**BLACKWATER DESIGN**  
PHONE (603) 648-6500 FAX (603) 648-6506  
Land Planning - Landscape Architecture  
85 Frost Lane - Webster, NH 03303

FIELD BOOK: 1234	DRAWING NAME: 5734 SITE-LS31	5734	15 OF 15
DRAWING LOG: J:\5000\5734\DWG\5734 SITE 2021		File Number	Sheet