



# TOWN OF HUDSON

## Conservation Commission



William Collins, Chairman      David Morin, Selectmen Liaison

12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

### CONSERVATION COMMISSION MEETING AGENDA March 14, 2022

The Town of Hudson Conservation Commission will hold its next meeting on **March 14, 2022** at 7:00 p.m. in the Buxton Meeting Room, located in Town Hall 12 School Street, Hudson, NH.

- ✓ Call to Order
- ✓ Pledge of Allegiance
- ✓ Roll Call
- ✓ Alternates
- ✓ Public Input Related to Non-Agenda Items

**I. Old Business:**

- a. Conditional Use Permit for 22 Friars Drive; Map 209, Lot 002-000

**II. New Business:**

- a. Conditional Use Permit for 6 Executive Dr., Granite State Subaru; Map 210, Lot 001-000

**III. Other Business:**

- a. Robinson Pond, Ottarnic Pond Long Term Management Plans –Amy Smagula NHDES and Dominic Jude Aqualogic
- b. NH Fish and Game - Land Share Program approved by BOS – Pick some signs
- c. Rangers Town Forest – Site Evaluation with Forester and Motion to cover cost.
- d. Trail work day – April 16, 2022 Robinson Pond Recreation Area

**IV. Financial Status:**

Current Report

**V. Approval of Minutes:**

- a. February 14, 2022 Meeting Minutes
- b. February 26, 2022 Site Walk Minutes

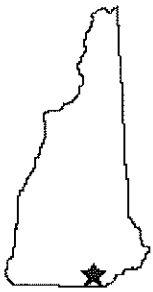
VI. **Commissioner's Comments:**

*Next Regular Meeting: Monday, April 11, 2022 at 7:00 p.m.*

*William Collins*

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William Collins, Chairman

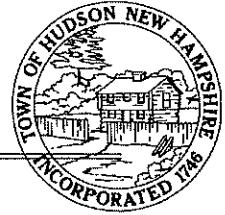


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## Conservation Commission

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### Motion to Recommend/Not Recommend the Conditional Use Permit Application

**Date:** March 14, 2022

**Case:** Integra Business Corp. Conditional Use Permit  
Hudson, New Hampshire  
Map 209, Lot 004  
Zone: Industrial (I)

**Description of work to be performed:** The project proposes construction of additional manufacturing space, warehouse space and reconfiguring an existing driveway/parking area to promote a better and more fluid traffic pattern on the site. Previously approved wetland buffer impacts are noted and include part of a driveway and 18 parking spaces. It was also noted that there was no visible mechanism to prevent storm water sheet flow off the site and into the remaining wetland buffer area on the westerly side of Third Brook (NRPC). The proposed design changes remove the parking spaces and extend the existing driveway out to Friars Drive. Two new retaining walls will be constructed to prevent soil erosion and all storm water will be collected and treated by way of a new infiltration system. If built, the project will have an additional permanent wetland buffer impact of 2,552 square feet (approx. 0.06 acres).

A temporary wetland buffer impact of 875 square feet is also listed on the application. There are no wetland impacts proposed as part of this project.

**Note:** On February 26, 2022 a site walk of the property was completed by commission members along with members of the planning board.

**HCC Members present for the site walk:** William Collins, Ken Dickinson, Sandra Rumbaugh, Brian Pinsonneault, William Kallgren and Carl Murphy **PB Members present for site walk:** Tim Malley, Dillon Dumont, Jordan Ulery, Ed Van Der Veen, Elliot Veloso and Selectman Dave Morin.

### Motion to “Not Recommend”

\_\_\_\_\_ moved to not recommend acceptance by the Hudson Planning Board of the Conditional Use Permit application filed for the proposed plan “Integra Building Additions Application” reference Tax Map 209, Lot 004, and dated January 27, 2022. Per the reason/s listed below.

Motion second \_\_\_\_\_ Motion carried

**Motion to “Recommend”**

\_\_\_\_\_ moved to recommend acceptance by the Hudson Planning Board of the Conditional Use Permit application filed for the proposed “Integra Building Addition Application” reference Tax Map 209, Lot 004, and dated January 27, 2022. After application review and site visit, the Hudson Conservation Commission finds that the use presented by the applicant comply with Hudson Zoning Ordinance 334, Article IX- Wetland Conservation Overlay District, paragraphs 334-36(C) 2 and 334-37(1) and (2). Commission members concur that the removal of automobile parking in exchange for a driveway, granite curbing and an improved storm water treatment system will enhance the effectiveness of the remaining buffer area to attenuate pollutants that could possibly enter Third Brook. This favorable acceptance is contingent upon Planning Board approval of the proposed plan and with the Conservation Commission recommendations listed below.

1. During construction and restoration erosion control barriers shall be installed and maintained to the satisfaction of the Town Engineer.
2. The Town Engineer or his representative shall be allowed to inspect the boundaries of the wetland and wetland buffer areas during construction and report any finding to the applicant and the Conservation Commission for remediation.
3. The commission recommends that a stipulation and or note be added to the final plan set that states “Stockpiling of construction materials is not allowed in the Wetland Buffer Area”.
4. The commission recommends that a stipulation and or note be added to the final plan set that states “The wetland buffer boundary shall be identified and marked prior to the start of construction per Hudson Zoning Ordinance, Article IX §334-35 (E.)
5. The commission recommends that a stipulation and or note be added to the final plan set that states “ No Cut/No Disturb” signage shall be installed along the wetland buffer boundary prior to issuing Certificates of Occupancy per Hudson Zoning Ordinance, Article IX §334-35 (E.)
6. The commission recommends that a stipulation and or note be added to the final plan set that states “Snow storage shall not be allowed in any wetland buffer area.”

7. Due to the project site proximity to Third Brook and the Merrimack River the commission recommends that a stipulation and or note be added to the final plan set that states "Green SnowPro Certified Contractors shall be used to manage snow control and clearing of the site".
8. This motion is based on the plan(s) submitted by the applicant. It is recommended that if additional impacts are required the plan be returned to the Conservation Commission for further review.

Motion second \_\_\_\_\_ Motion Carried / /

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William Collins  
HCC Chairman

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**A copy of this recommendation shall be stapled to the CUP application and forward it to the Town Planning Office for inclusion in the Planning Board Member Packets.**