

3 Congress Street Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
 www.hayner-swanson.com

Hayner/Swanson, Inc.



MAP 209, LOT 4
 SITE PLAN

PROPOSED BUILDING ADDITIONS

22 FRIARS DRIVE
 HUDSON, NEW HAMPSHIRE

INDEX OF PLANS		
SHEET No.	TITLE	
1 OF 15	MASTER SITE PLAN	1" = 50'
2 OF 15	EXISTING CONDITIONS PLAN	1" = 40'
3 OF 15	SITE DEMOLITION PLAN	1" = 30'
4 OF 15	SITE GRADING & UTILITY PLAN	1" = 30'
5 OF 15	SITE LAYOUT PLAN	1" = 30'
6 OF 15	EROSION CONTROL PLAN	1" = 30'
7-8 OF 15	UTILITY PROFILES	1" = 20' H 1" = 4' V
9-11 OF 15	DETAIL SHEETS - GENERAL SITE	
12 OF 15	DETAIL SHEET - EROSION CONTROL	
13 OF 15	PHOTOMETRIC SITE LIGHTING PLAN	1" = 30'
14-15 OF 15	LANDSCAPE PLANS	1" = 30'

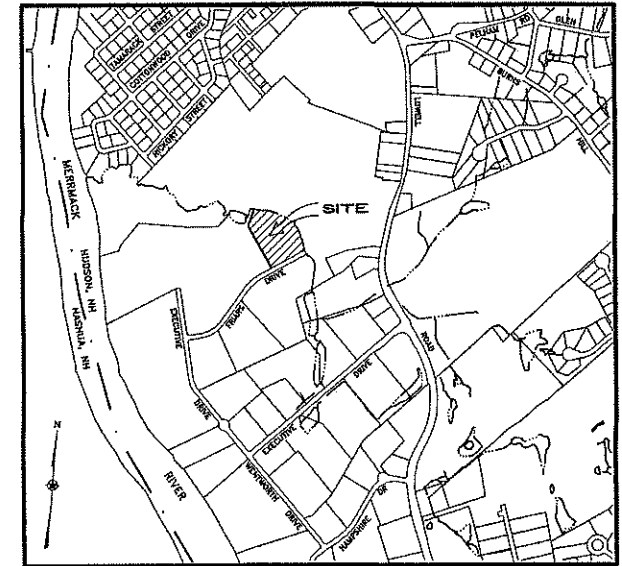
PREPARED FOR/RECORD OWNER

INTEGRA BIOSCIENCES CORP.

2 WENTWORTH DRIVE
 HUDSON, NEW HAMPSHIRE 03051
 (603) 578-5800
 www.integra-bioscience.com

27 JANUARY 2022

REVISED
 8 MARCH 2022

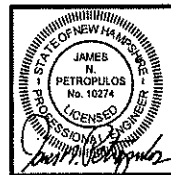


VICINITY PLAN
 SCALE: 1" = 1,000'

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

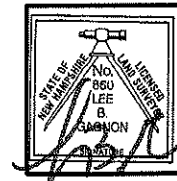
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 CHAIRMAN: _____ SIGNATURE DATE: _____
 SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



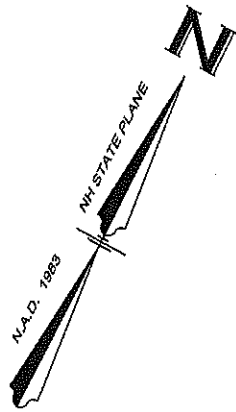
HSI Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors
 3 Congress Street Nashua, NH 03062 (603) 883-2057
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3/1/22





ZONING NOTE 4
 THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDING OWNER MUST CONSULT WITH THE TOWN TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

MAP 209 LOT 1
6 WAY REALTY TRUST
 WALTER FLOWERS &
 PETER W. HORNE, TRUSTEES
 PO BOX 1436
 NORTH HAMPTON, NH 03862
 BK 6048 PG 1131
 ZONE: GENERAL
 USE: VACANT LAND

NOTES - CONT'D:

- SHEET 1 OF 16 SHALL BE RECORDED AT THE HILLSBOROUGH REGISTRY OF DEEDS. A COMPLETE SET OF PLANS SHALL BE ON FILE WITH THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN WITH THE EXCEPTION OF DECKS AND PORCHES PROVIDED THEY CONFORM WITH THE REQUIREMENTS OF THE TOWN OF HUDSON ZONING BY-LAWS, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
- TRASH PICK-UP SHALL NOT OCCUR EARLIER THAN 7:00 AM NOR LATER THAN 7:00 PM, MONDAY THRU SATURDAY ONLY.
- HOURS OF OPERATION: MONDAY - FRIDAY 8:00 AM - 11:30 PM (2 SHIFTS)
- THERE ARE NO HIGHWAY PROJECTS LISTED UPON THIS PROPERTY.
- CONSTRUCTION HOURS ARE MONDAY THRU SATURDAY, 7:00 AM TO 7:00 PM, WITH NO CONSTRUCTION ACTIVITIES OCCURRING ON SUNDAYS. IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS OF 7:00 AM AND 5:00 PM, MONDAY THRU FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON SATURDAYS AND SUNDAYS.
- THE SUBJECT PARCEL IS LOCATED WITHIN AN AREA DESIGNATED AS ZONE "I" AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP, HILLSBOROUGH COUNTY (ALL JURISDICTIONS), PANEL 656 OF 701, TOWN OF HUDSON, NH, COMMUNITY NO. 330092, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011006580, DATED: SEPTEMBER 25, 2009.
- PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY A LICENSED LAND SURVEYOR CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED SITE PLAN.
- SNOW REMOVAL TO BE PLACED IN OPEN AREAS OF THE SITE AS SHOWN ON SHEET 5 OF 16. IF NEEDED, EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- A CAP FEE IN THE AMOUNT OF \$ _____ SHALL BE PAID PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THE DEVELOPMENT AGREEMENT FOR THIS PROJECT SHALL BE PLACED ON FILE WITH THE TOWN OF HUDSON PLANNING DEPARTMENT AND RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. THE INSPECTION AND MAINTENANCE PLAN FOR STORMWATER SHALL BE INCLUDED IN THE DEVELOPMENT AGREEMENT.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, CALCULATIONS SHALL BE PROVIDED TO THE TOWN ENGINEER REGARDING THE EXISTING WATER MAINS IN FRIARS DRIVE HANDLING THE ADDITIONAL DEMAND FROM THE PROPOSED ADDITIONS.
- PRESENT OWNER OF RECORD:
MAP 209 LOT 4
INTEGRA BIOSCIENCES CORP.
 2 WENTWORTH DRIVE
 HUDSON, NH 03051
 BK. 9164, PG. 817

PLAN REFERENCES:

- SUBDIVISION PLAN LAND OF PRESSTEK INC., HUDSON, NH PREPARED FOR PRESSTEK PARK, SCALE: 1"=100' DATED: FEBRUARY 26, 1997 BY TFMORAN INC. RECORDED: HCRO - PLAN No. 26665.
- SOUTHEASTERN CONTAINER INC. - ADDITION No. 2 SUBDIVISION/CONSOLIDATION PLAN SCALE: 1"=100' DATED: MAY 1, 1994 BY ALLAN H. SWANSON, INC. RECORDED: HCRO - PLAN No. 26516.
- SUBDIVISION PLAN OF LAND OF DIGITAL EQUIPMENT CORPORATION PREPARED FOR PRESSTEK INDUSTRIAL PLANT SCALE: 1"=100' DATED: JULY 26, 1996 BY TFMORAN INC. RECORDED: HCRO - PLAN No. 26159.
- SUBDIVISION PLAN LAND OF PRESSTEK INC. PREPARED FOR PRESSTEK PARK SCALE: 1"=100' DATED: FEBRUARY 26, 1997 BY TFMORAN INC. RECORDED: HCRO - PLAN No. 26665.
- SITE PLAN (MAP 209, LOTS 2 & 3) (27 SHEETS), PARKING LOT ADDITIONS, 55 EXECUTIVE DRIVE & FRIARS DRIVE, HUDSON, NEW HAMPSHIRE, PREPARED FOR: FARLEY WHITE INTERESTS, RECORD OWNER, PRESSTEK, LLC, SCALE: AS SHOWN, DATED 17 MARCH 2014 WITH REVISIONS THRU 04/30/14 AND PREPARED BY THIS OFFICE. RECORDED: HCRO - PLAN No. 38110, (SHEET 1 OF 27).
- SITE LAYOUT PLAN, FRIARS COURT, MAP 209 LOT 1 FOR DAKOTA PARTNERS, INC. DATED: APRIL 25, 2019 PREPARED BY THE DUBAY GROUP, LLC. RECORDED: HCRO - PLAN No. 40669.
- SUBDIVISION PLAN, FRIARS COURT, MAP 209 LOT 1 FOR DAKOTA PARTNERS, INC. DATED: APRIL 29, 2019 PREPARED BY THE DUBAY GROUP, LLC. RECORDED: HCRO - PLAN No. 40668.
- SITE PLAN, MATRIX TECHNOLOGIES CORPORATION, FRIARS DRIVE, HUDSON NEW HAMPSHIRE, PREPARED BY MAYNARD AND PAQUETTE, INC. DATED: JUNE 26, 1998. RECORDED: HCRO - PLAN No. 26867.
- TOWN OF HUDSON PROPOSED EASEMENT ON LANDS OF: PROVINCE OF ST. MARY'S CAROLINE FRIARY, HUDSON NH DATED: DECEMBER 8, 1977 RECORDED: HCRO - PLAN No. 11023.

EASEMENTS, RIGHTS AND RESTRICTIONS:

- THE PROPERTY IS SUBJECT TO TERMS AND CONDITIONS AS SET FORTH IN BK. 6974 PG. 188.
- THE PROPERTY HAS BENEFICIAL RIGHTS OF STORM DRAINAGE EASEMENT AS DEFINED IN BK. 5974 PG. 188.
- THE PROPERTY IS SUBJECT TO THE 30 FT WIDE SEWER EASEMENT AS DESCRIBED IN BK 2584, PG 290.
- THE PROPERTY IS SUBJECT TO THE 10 FT WIDE SEWER EASEMENT AS DESCRIBED IN BK 5864, PG 1573 & BK 5874, PG 188.
- THE PROPERTY IS SUBJECT TO A DEVELOPMENT AGREEMENT WITH THE TOWN OF HUDSON IN BK. 5884 PG. 1554.
- THE PROPERTY IS SUBJECT TO THE TEMPORARY EASEMENT FOR PAVED TURNAROUND AS DESCRIBED IN BK 5864, PG 1570 & BK 5874, PG 188.
- THE PROPERTY IS SUBJECT TO A DEVELOPMENT AGREEMENT WITH THE TOWN OF HUDSON AS DEFINED IN BK. 5864 PG. 1577.
- THE PROPERTY IS SUBJECT TO THE LANDSCAPE RIGHTS AND CONDITIONS AS DESCRIBED IN BK 5874, PG 188.
- REVISED WATER LINE EASEMENT LOCATE WITHIN FRIARS DRIVE AS AMENDED BY BK 5893 PG. 1430.
- AMENDED SEWER EASEMENT PARTIALLY LOCATED WITHIN FRIARS DRIVE DEFINED IN BK. 5865 PG. 1019.

EASEMENTS, RIGHTS AND RESTRICTIONS LISTED ABOVE OR DEPICTED ON THIS PLAN ARE THOSE THAT WERE FOUND AT THE REGISTRY OF DEEDS FOR THE PURPOSES OF THE DETERMINATION AND LOCATION OF THE PROPERTY LINES OF THE SURVEYED PREMISES. EASEMENTS, RIGHTS AND RESTRICTIONS INCLUDING BUT NOT LIMITED TO UNWRITTEN RIGHTS MAY AFFECT THE PROPERTY. THE SURVEYOR MAKES NO GUARANTEE TO TITLE, RIGHTS OR OWNERSHIP OF PROPERTY.

WAIVERS REQUESTED/APPROVED:

- SPR 275 - 8c (2) REQUIRED PARKING SPACES
- SPR 275 - 8c (6) REQUIRED LOADING SPACES

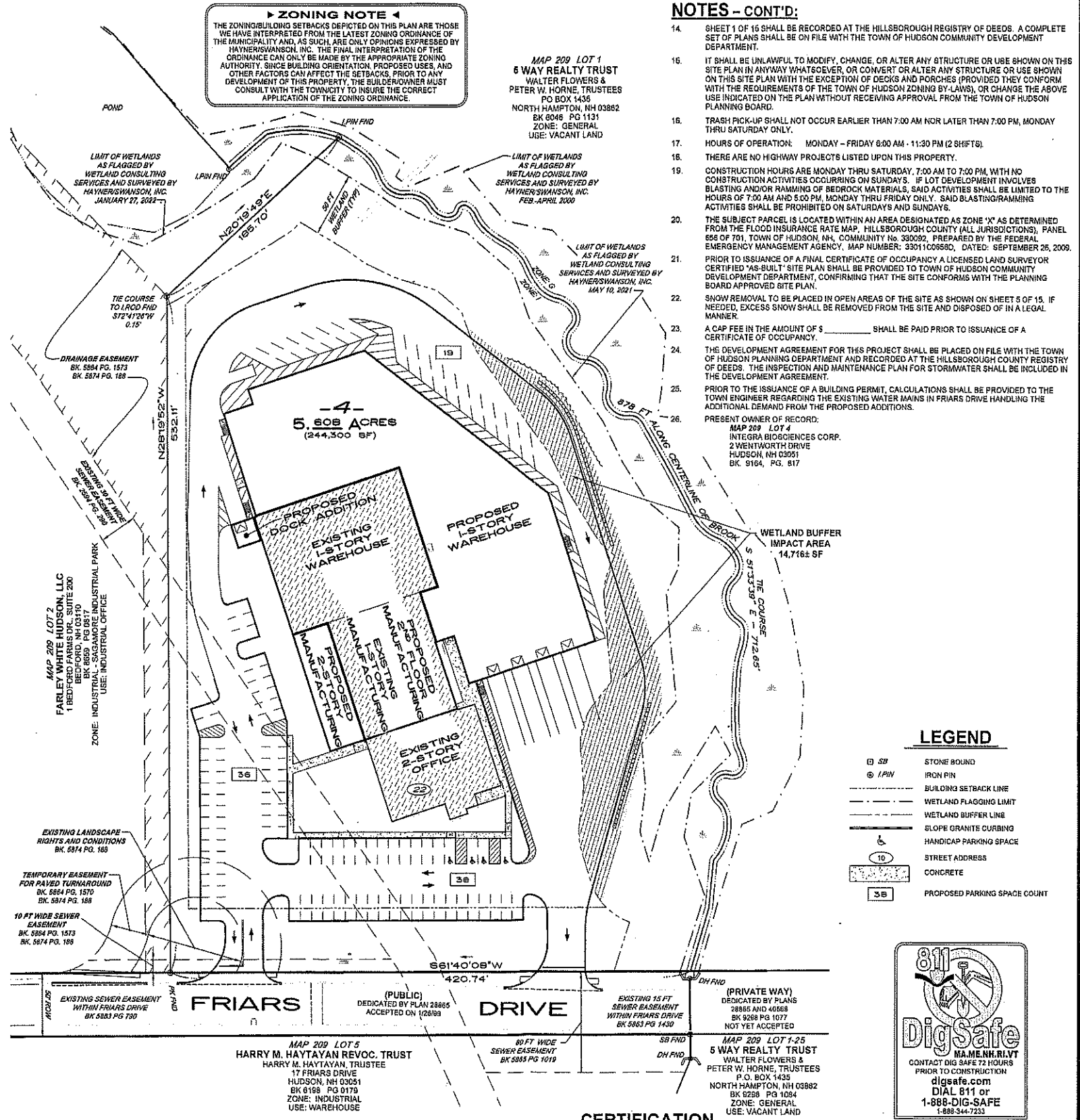
DRIVEWAY SIGHT DISTANCES:

WEST DRIVEWAY: LOOKING WEST - 400+ FT LOOKING EAST - 400+ FT
 EAST DRIVEWAY: LOOKING WEST - 400+ FT LOOKING EAST - 400+ FT

BUILDING INFORMATION			
USE	EXISTING	PROPOSED	TOTAL
OFFICES	13,242 SF	—	13,242 SF
MANUFACTURING	7,448 SF	13,437 SF	20,885 SF
WAREHOUSE	11,520 SF	34,340 SF	45,860 SF
DOCK ADDITION	—	400 SF	400 SF
TOTAL	32,210 SF	48,177 SF	80,387 SF

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 CHAIRMAN: _____ SIGNATURE DATE: _____
 SECRETARY: _____ SIGNATURE DATE: _____
 SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



PERMITS/APPROVALS:

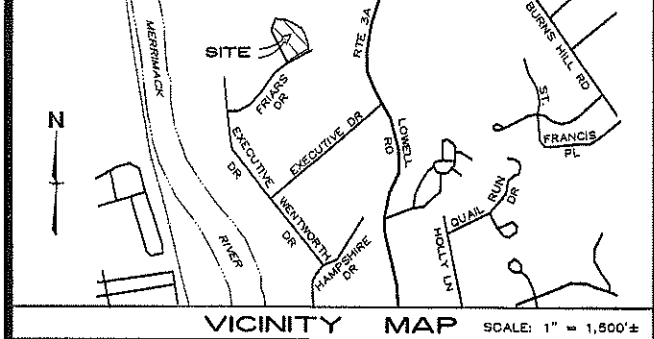
- (A) NHDES ALTERATION OF TERRAIN PERMIT No. AOT-220207-027, DATED ISSUED: _____
- (B) NHDES SEWER CONNECTION PERMIT No. _____ DATED ISSUED: _____

FOR INTEGRA BIOSCIENCES CORP.
 DATE: 1/31/2022

CERTIFICATION

PURSUANT TO RSA 676:18, III AND RSA 672:14
 I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.
 I FURTHER CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 600.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.
 I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

LEE B. GAGNON, LLS
 DATE: 3/7/22



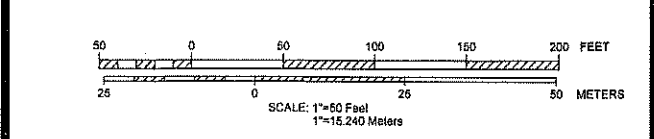
NOTES:

- LOT AREA: (MAP 209, LOT 4) 6.608 ACRES (244,300 SF)
 - PRESENT ZONING: I - INDUSTRIAL
 MINIMUM LOT REQUIREMENTS:
 - LOT AREA 30,000 SF
 - LOT FRONTAGE 150 FT
 MINIMUM BUILDING SETBACKS REQUIREMENTS:
 - FRONT YARD 50 FT
 - SIDE YARD 15 FT
 - REAR YARD 15 FT
 MAXIMUM BUILDING HEIGHT: 50 FT
 - LOT NUMBERS REFER TO THE TOWN OF HUDSON ASSESSORS MAP 209.
 - SITE IS CURRENTLY SERVED BY MUNICIPAL WATER AND MUNICIPAL SEWER, GAS AND OVERHEAD ELECTRIC AND TELECOMMUNICATION UTILITIES.
 - PURPOSE OF PLAN: TO SHOW PROPOSED BUILDING ADDITIONS ALONG WITH ACCOMPANYING LOADING AND SITE IMPROVEMENTS.
 - PARKING:
 REQUIRED: 1 SPACE/800 SF X 80,387 SF (INDUSTRIAL) = 134 SPACES
 PROVIDED: (INCLUDES 4 ACCESSIBLE SPACES) = 93 SPACES
 * WAIVER REQUESTED
 - LOADING:
 REQUIRED: 9 SPACES
 PROVIDED: 5 SPACES
 - OPEN SPACE:
 REQUIRED: 35 %
 PROVIDED: 42 %
 - BUILDING HEIGHT:
 MAXIMUM: 50 FT
 PROPOSED:
 - EXISTING 2 STORY OFFICE: 32 FT±
 - PROPOSED 2-STORY MANUFACTURING: 32 FT±
 - EXISTING WAREHOUSE: (TO BE RAISED TO 50 FT)
 - PROPOSED WAREHOUSE: 50 FT
 - SURVEY CONTROL:
 HORIZONTAL DATUM: NAD83/88°
 PROJECTION: NH STATE PLANE
 VERTICAL DATUM: NGVD29
 SCALE FACTOR APPLIED: 1.000000
 UNITS: US SURVEY FEET
- * VERTICAL AND HORIZONTAL DATUM WAS VERIFIED USING GPS (KEYNET NETWORK) BY TAKING OBSERVATIONS ON SITE AND ON NGS (FORMERLY USGS) "DISK D-25" LOCATED ON THE NORTHERLY SIDE OF RTE 101A APPROXIMATELY 4.5 MILES WEST OF THE NASHUA LIBRARY.
- ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD PRIOR TO THE INSTALLATION THEREOF.
 - SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT (LATEST EDITION).
 - SITE LIGHTING SHALL BE SHOWN ON THE PLAN, DIRECTED ONTO THE SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.

No.	DATE	REVISION	BY
1	03/08/22	ADDRESS TOWN, PEER REVIEW COMMENTS	JNP

MASTER SITE PLAN
 (MAP 209, LOT 4)
PROPOSED BUILDING ADDITIONS
 22 FRIARS DRIVE
 HUDSON, NEW HAMPSHIRE

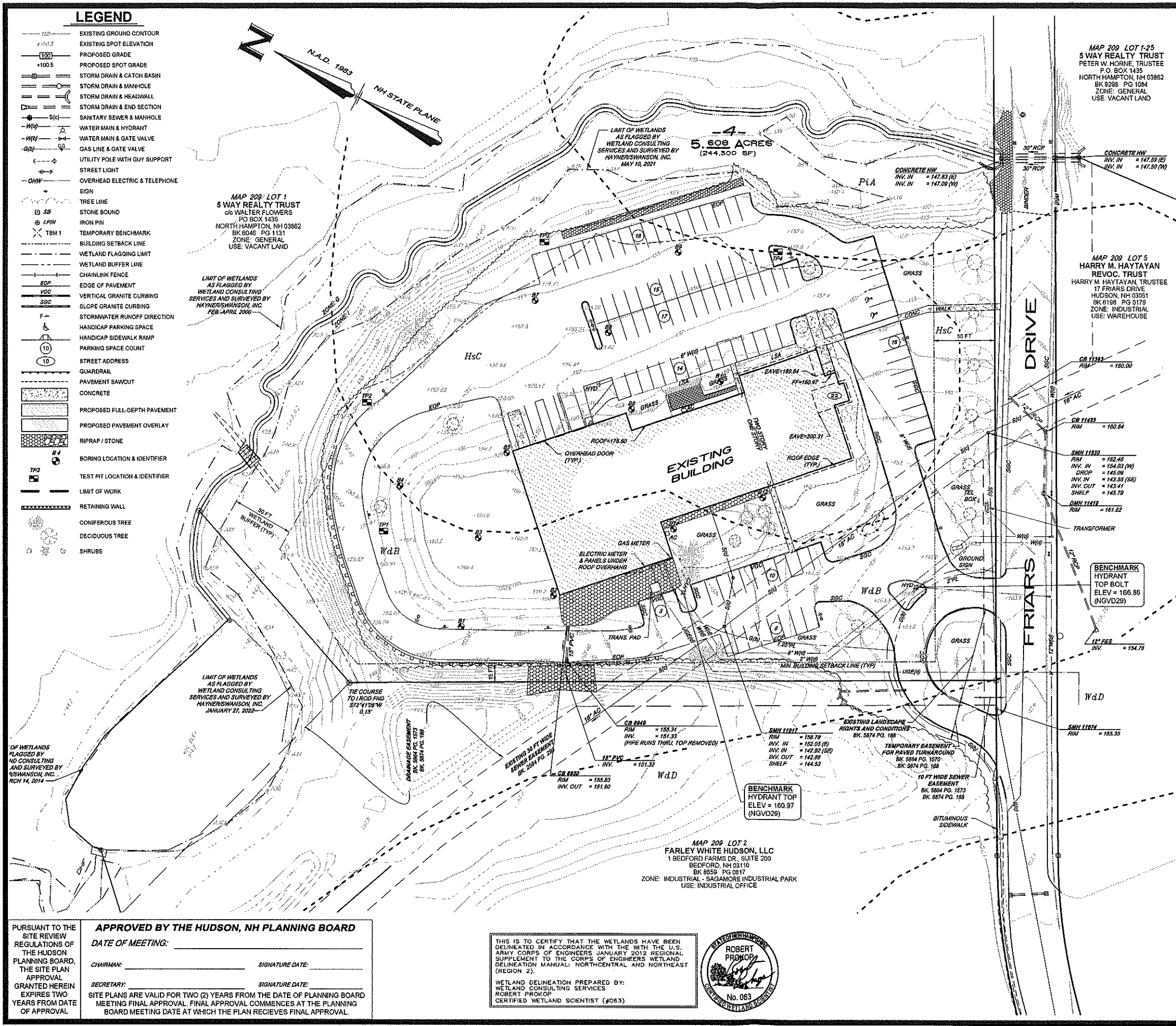
PREPARED FOR/RECORD OWNER:
INTEGRA BIOSCIENCES CORP.
 2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800



27 JANUARY 2022

H/S/I Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
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 Nashua, NH 03063
 (603) 883-2057
 www.hayner-swanson.com
 131 Middlesex Turnpike
 Burlington, MA 01803
 (781) 203-1501

FIELD BOOK: 1234 DRAWING NAME: 5734 SITE-7051 5734 1 OF 15
 DRAWING LOC: J:\5000\5734\DWG\5734 SITE 2021 File Name: 0311



SURVEY NOTES:

- TOPOGRAPHY SHOWN IS BASED ON AERIAL PHOTOGRAPHY BY EASTERN TOPOGRAPHIC USING PHOTOGRAPHIC IMAGERY FROM 2006. HORIZONTAL AND VERTICAL CONTROLLED BY HAYNERSWANSON, INC. IN MARCH 2014 THRU AUGUST 2020 AND FIELD VERIFIED IN AREAS OF PROPOSED IMPROVEMENTS BY CONVENTIONAL METHODS.
- UTILITIES SHOWN ARE APPROXIMATE BASED ON RECORD PLANS AND OBSERVED EVIDENCE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
- SURVEY CONTROL:
HORIZONTAL DATUM: NAD83/2011 PROJECTION: NH STATE PLANE
VERTICAL DATUM: NGVD29 SCALE FACTOR APPLIED: 1.000000
UNITS: US SURVEY FEET
* VERTICAL DATUM WAS VERIFIED USING GPS (KEYNET NETWORK) BY TAKING OBSERVATIONS ON SITE AND ON NGS (FORMERLY USGS) "DISK D-26" LOCATED ON THE NORTHERLY SIDE OF RTE 101A APPROXIMATELY 4.5 MILES WEST OF THE NASHUA LIBRARY.
- THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- TEST PITS AS SHOWN ARE APPROXIMATE. TEST PITS WERE PERFORMED UNDER THE SUPERVISION OF HAYNERSWANSON, INC., NASHUA, NH.
- THIS SITE CONTAINS WINDSOR (WdA, WdC), HINCKLEY (HsC) AND PIPESTONE (PtA) SOILS AS DETERMINED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA) NATURAL RESOURCES CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY.

UTILITY QUALITY LEGEND

SUBSURFACE UTILITIES AS DEPICTED ON THIS PLAN ARE IDENTIFIED BY QUALITY LEVELS DEFINED BY CMAA 38-02 "ASCE STANDARD GUIDELINE FOR COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

- LEVEL A (a) PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY ACTUAL EXPOSURE AND SUBSEQUENT MEASUREMENTS OF SUBSURFACE UTILITIES.
- LEVEL B (b) INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES (IE DIGSAFE)
- LEVEL C (c) INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.
- LEVEL D (d) INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

SOIL SURVEY STAFF, NATURAL RESOURCES CONSERVATION SERVICE, UNITED STATES DEPT. OF AGRICULTURE, WEB SOIL SURVEY. AVAILABLE ONLINE AT <http://websoildatagateway.nrcs.usda.gov/> ACCESSED 09/01/20

SOILS DATA

- HsC HINCKLEY LOAMY SAND
- WdB WINDSOR LOAMY SAND
- PtA PIPESTONE LOAMY SAND
- SOIL BOUNDARY

REVISIONS

No.	DATE	REVISION	BY
1	03/08/22	ADDRESS TOWN, PEER REVIEW COMMENTS	JRP

EXISTING CONDITIONS PLAN (MAP 209, LOT 4)

PROPOSED BUILDING ADDITIONS

22 FRIARS DRIVE
HUDSON, NEW HAMPSHIRE

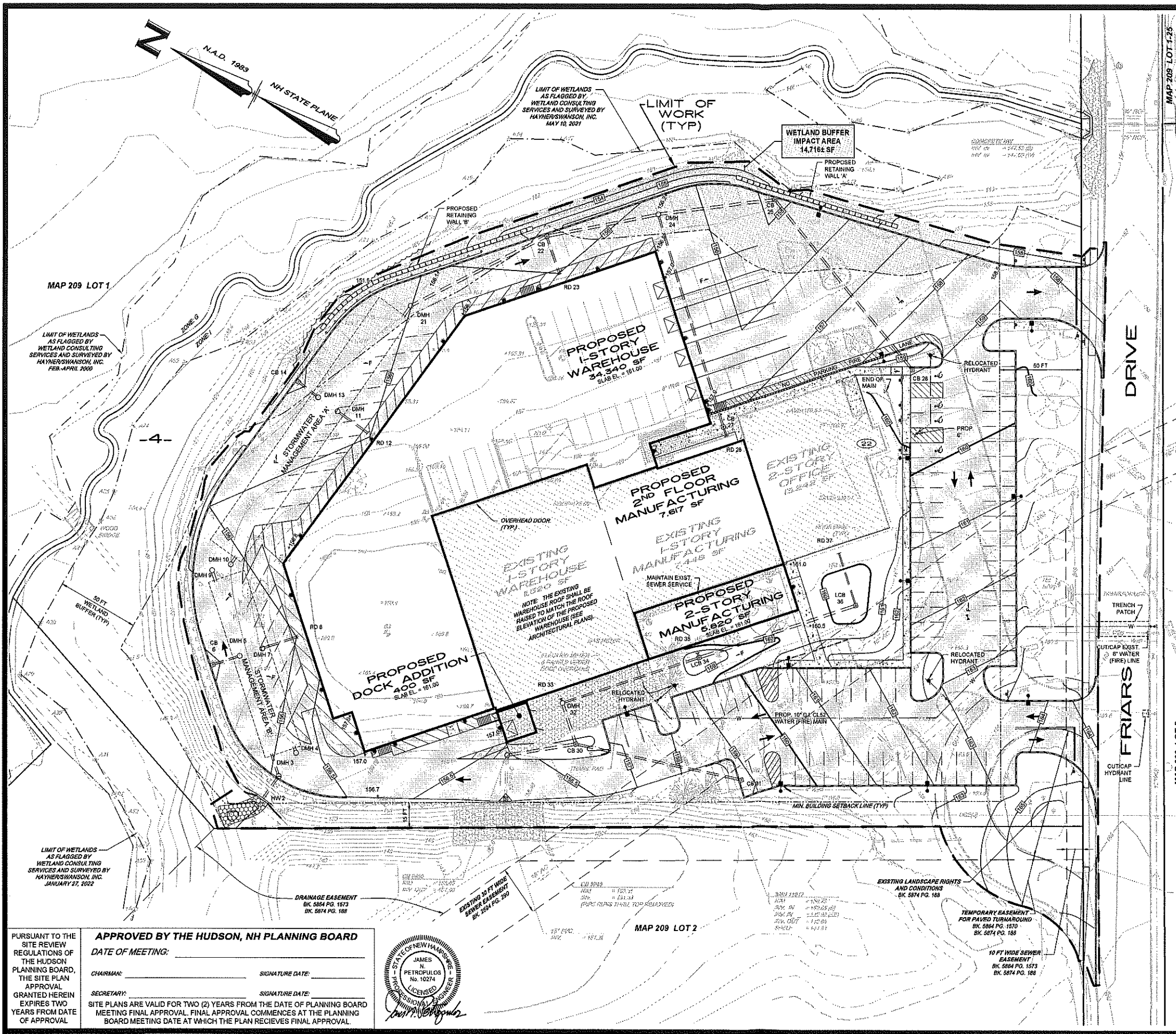
PREPARED FOR/RECORD OWNER:
INTEGRA BIOSCIENCES CORP.
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

SCALE: 1"=40 Feet
1"=12.192 Meters

27 JANUARY 2022

HIS Hayner/Swanson, Inc.
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FIELD BOOK: 1234 DRAWING NAME: 5734 SITE-EC41 5734 2 OF 15
DRAWING LOC: \\s0001\5734\DWG\5734 SITE 2021 File Number



CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST EDITION, ARE HEREBY INCORPORATED BY REFERENCE.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPT., HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHALL BE ADS-N-12 (SOIL TIGHT), CATCH BASINS SHALL BE TYPE B, AND HAVE 3 FT BUMPS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- WATER (DOMESTIC), SANITARY SEWER, GAS, ELECTRIC AND TELECOMMUNICATION UTILITIES SHALL BE EXTENDED FROM THE EXISTING BUILDING TO THE PROPOSED ADDITIONS.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED THROUGH THE CONSTRUCTION PROCESS UNTIL STABILIZATION OCCURS.
- STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- DIMENSIONS TO CURB AND GUTTERS INDICATE EDGE OF PAVING UNLESS OTHERWISE NOTED.
- EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING PAVEMENT.
- AN ONSITE PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN ENGINEER OR DESIGNATED REPRESENTATIVE PRIOR TO INITIATING EARTH MOVING ACTIVITIES AND AFTER PERIMETER EROSION CONTROL MEASURES, PROTECTIVE FENCING, WASTE DISPOSAL AND CONSTRUCTION ACCESS PADS HAVE BEEN INSTALLED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING, CONTAINING AND DULY REMOVING ALL CONSTITUENTS OF CONCERN BROUGHT TO THE SITE BY CONTRACTOR, SUBCONTRACTORS, SUPPLIERS OR ANYONE ELSE FOR WHOM CONTRACTOR IS RESPONSIBLE, AND FOR ANY ASSOCIATED COSTS, AND FOR THE COSTS OF REMOVING AND REMEDIATING ANY HAZARDOUS ENVIRONMENTAL CONDITION CREATE BY THE PRESENCE OF ANY SUCH CONSTITUENTS OF CONCERN.
- THE CONTRACTOR SHALL NOT IMPORT ANY FILL OVER THE AMOUNT OF TEN CUBIC YARDS CUMULATIVE TOTAL PER SOURCE TO ANY JOB SITE IN THE TOWN OF HUDSON WITHOUT SOILS TESTING VERIFYING THE ABSENCE OF ALL CONSTITUENTS OF CONCERN, AND WITHOUT PRIOR APPROVAL BY ENGINEERING DEPARTMENT STAFF. DOCUMENTATION SUCH AS TEST REPORTS, CERTIFICATIONS AND SIEVE ANALYSES OF FILL SHALL BE PROVIDED TO THE ENGINEERING DEPARTMENT FOR APPROVAL PRIOR TO TRANSPORTING THE MATERIAL TO HUDSON.

TOWN OF HUDSON CONTACTS UTILITY CONTACTS

PLANNING DEPARTMENT
HUDSON PLANNING DEPT.
12 SCHOOL STREET
HUDSON, NH 03051
ATT: BRIAN GROTH, AICP
LAND USE DIRECTOR
(603) 886-6008

ENGINEERING DEPARTMENT
HUDSON ENGINEERING DEPT.
12 SCHOOL STREET
HUDSON, NH 03051
ATT: ELVIS DHIMA, P.E.
TOWN ENGINEER
(603) 886-6008

FIRE DEPARTMENT
HUDSON FIRE DEPARTMENT
12 SCHOOL STREET
HUDSON, NH 03051
ATT: ROBERT BUXTON, FIRE CHIEF
(603) 886-6021

GAS:
LIBERTY UTILITIES
130 ELM STREET
MANCHESTER, NH 03103
ATT: ANDREW MORGAN
(603) 327-5357

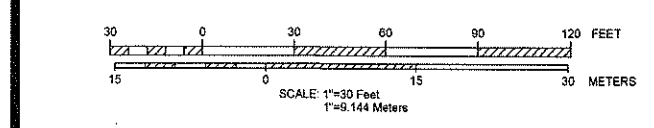
TELEPHONE:
CONSOLIDATED COMMUNICATIONS
237 DANIEL WEBSTER HIGHWAY
MERRIMACK, NH 03054
ATT: HEATHER ARJUNO
(603) 296-5989

POWER:
EVERSOURCE
370 AMHERST STREET
NASHUA, NH 03060
ATT: MARC GAGNON
(603) 862-5894

No.	DATE	REVISION	BY
1	03/08/22	ADDRESS TOWN, PEER REVIEW COMMENTS	JNP

SITE GRADING & UTILITY PLAN
(MAP 209, LOT 4)
PROPOSED BUILDING ADDITIONS
22 FRIARS DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
INTEGRA BIOSCIENCES CORP.
2 WENTWORTH DRIVE, HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

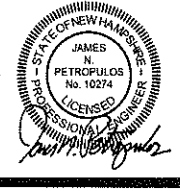


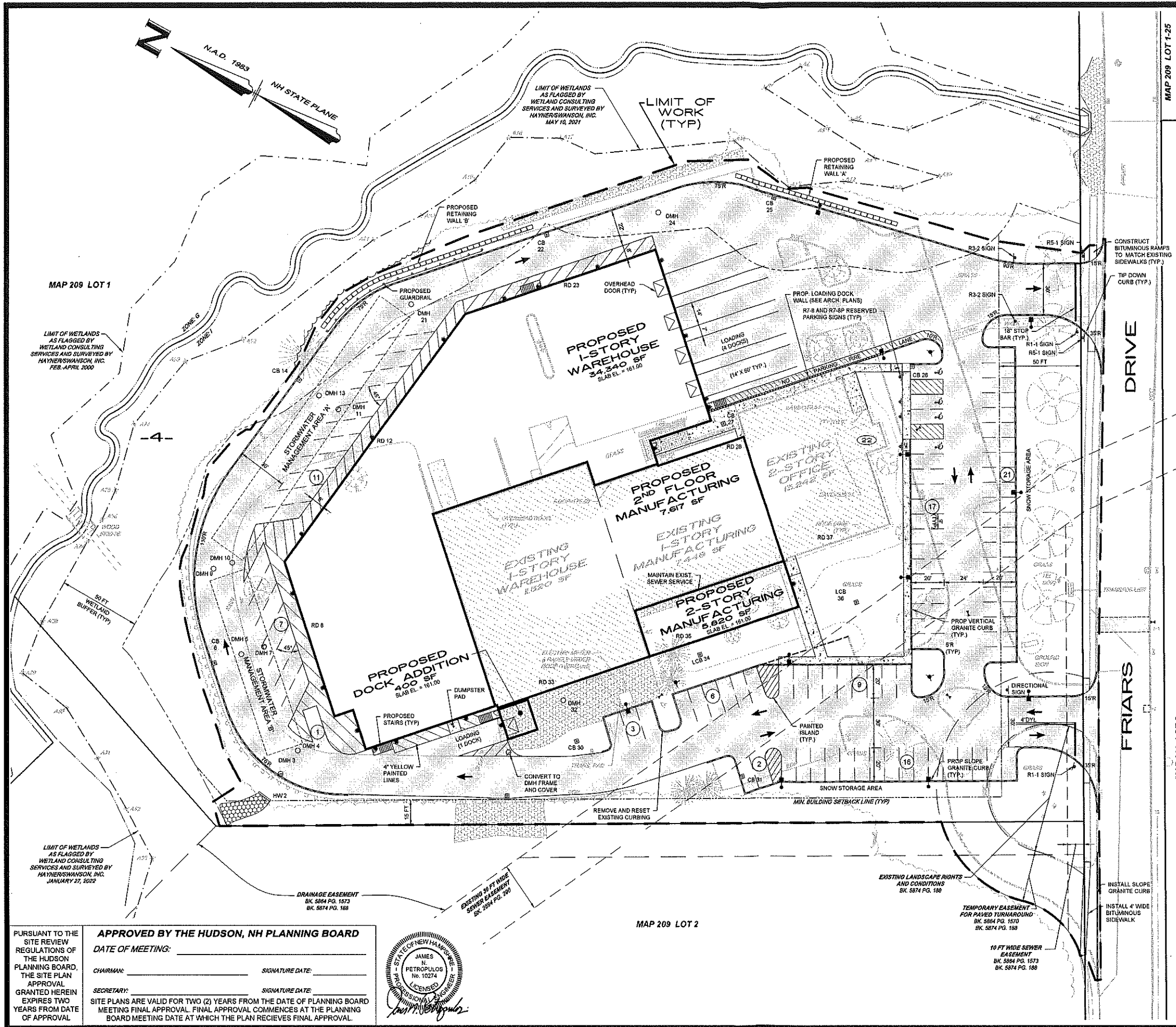
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Civil Engineers/Land Surveyors
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Nashua, NH 03062
(603) 883-2057
131 Middlesex Turnpike
Burlington, MA 01803
(781) 203-1501
www.haynerswanson.com

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____
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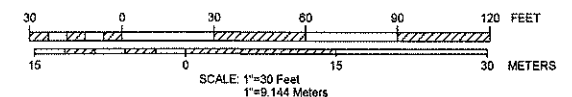
SIGN LEGEND		
TEXT SEE MUTCD FOR TEXT DIMENSIONS	IDENTIFICATION NUMBER	SIZE WIDTH/HEIGHT
		R1-1
SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS		
	R5-1	30"X30"
	SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS	
	R7-8	12"X18"
	SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS	
	R7-8P	18"X9"
	SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS	
	R3-2	24"X24"
	SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS	

- SNOW STORAGE AND DE-ICING PLAN:**
- PRIOR TO FIRST STORM, ESTABLISH FLOWING SCHEDULE AND REVIEW PROPOSED MATERIALS FOR TREATMENT OF ICE/SNOW CONDITIONS.
 - CONDUCT SITE VISIT TO CONFIRM SNOW STORAGE AREAS CONSISTENT WITH APPROVED SITE PLAN.
 - CALCIUM CHLORIDE, SAND AND NON-TOXIC ADDITIVES PRE-APPROVED BY INTEGRA WILL BE APPLIED.
 - USE OF GLYCOL-CONTAINING DE-ICING PRODUCTS IS PROHIBITED.
 - USE OF SODIUM CHLORIDE (AKA ROCK SALT) AND/OR SODIUM CHLORIDE BLENDS ARE PROHIBITED.
 - MATERIALS ARE TO BE APPLIED TO IMPERVIOUS SURFACES ONLY; LANDSCAPING AND GRASSED AREAS ARE TO BE AVOIDED.
 - FLOW LOGS TO RECORD DATE/TIME AND WORK PERFORMED WILL BE MAINTAINED BY THE CONTRACTOR AND PROVIDED TO INTEGRA.
 - SNOW STORAGE AREAS WILL BE MONITORED; WHEN SIZE OR HEIGHT BECOMES AN ISSUE SNOW WILL BE REMOVED FROM THE SITE AS DIRECTED BY INTEGRA.
 - DEPENDENT ON THE FORECAST AND IF EXTENDED COLD WEATHER OR SNOW IS ANTICIPATED, CONTRACTOR WILL PRETREAT ALL DRIVEWAYS AND SIDEWALKS PRIOR TO A STORM, AS NEEDED.
 - SAND MAY BE APPLIED BY HAND, SIDEWALK SPREADER OR TRUCK SPREADER, TO PROVIDE ADDITIONAL TRACTION.
 - ALL SAND APPLIED OVER THE COURSE OF THE WINTER SEASON WILL BE COLLECTED AND REMOVED FROM THE SITE BASED ON SEASONAL CONDITIONS BUT NO LATER THAN MAY 15TH OF EACH YEAR.
 - AT NO TIME SHALL SNOW BE PLOWED TO OR STOCKPILED IN THE WETLAND BUFFER LOCATED ALONG THE NORTHERN AND EASTERN PORTION OF THE PROPERTY.

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SITE LAYOUT PLAN
(MAP 209, LOT 4)
PROPOSED BUILDING ADDITIONS
22 FRIARS DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
INTEGRA BIOSCIENCES CORP.
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

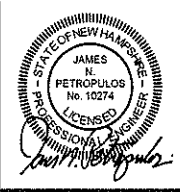


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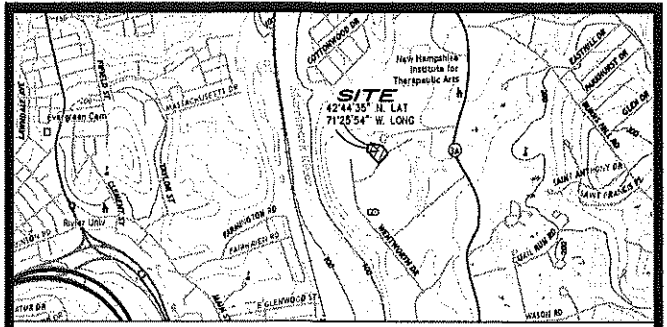
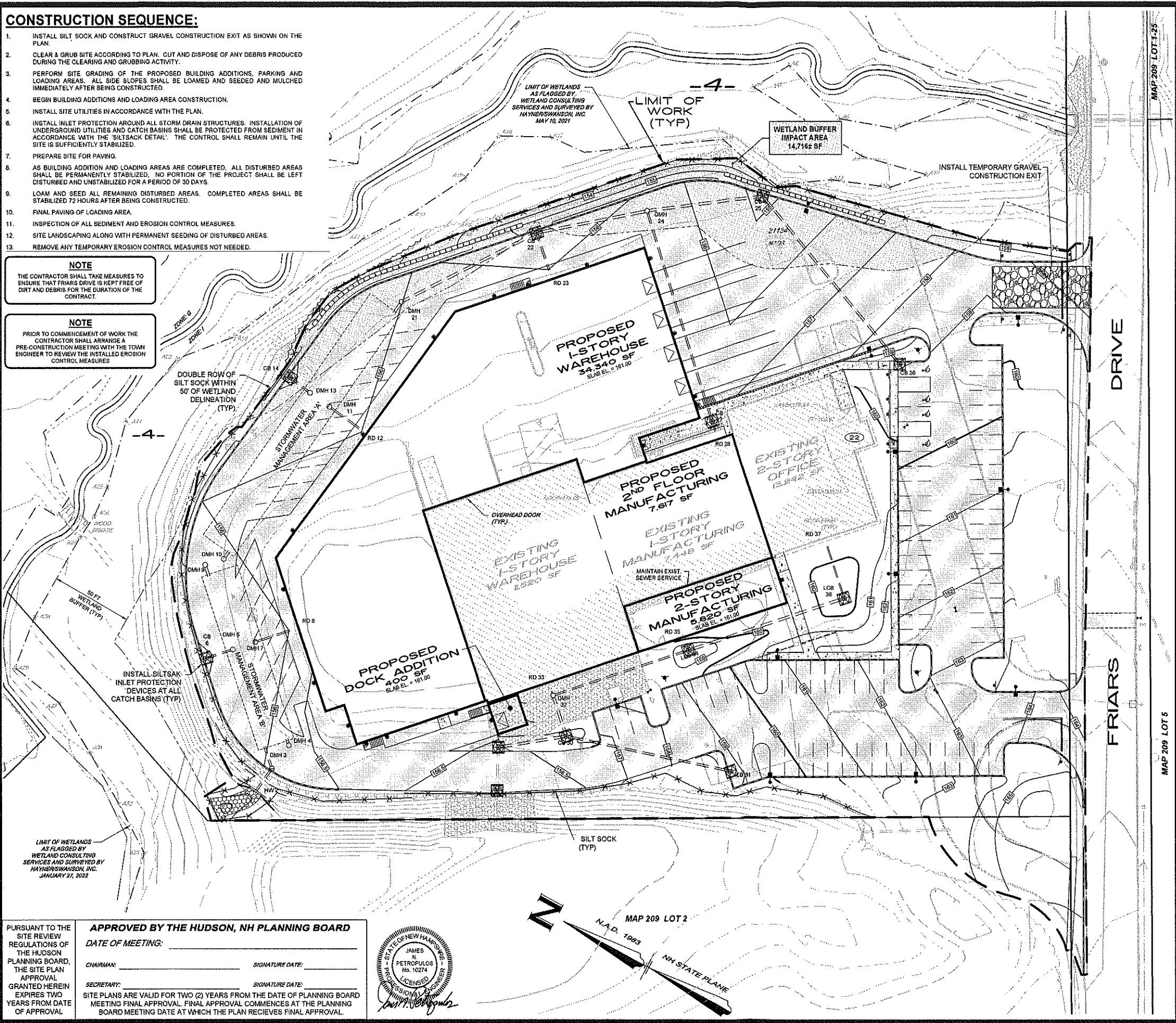


CONSTRUCTION SEQUENCE:

1. INSTALL SILT SOCK AND CONSTRUCT GRAVEL CONSTRUCTION EXIT AS SHOWN ON THE PLAN.
2. CLEAR & GRUB SITE ACCORDING TO PLAN. CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
3. PERFORM SITE GRADING OF THE PROPOSED BUILDING ADDITIONS, PARKING AND LOADING AREAS. ALL SIDE SLOPES SHALL BE LOAMED AND SEEDED AND MULCHED IMMEDIATELY AFTER BEING CONSTRUCTED.
4. BEGIN BUILDING ADDITIONS AND LOADING AREA CONSTRUCTION.
5. INSTALL SITE UTILITIES IN ACCORDANCE WITH THE PLAN.
6. INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE 'SILTSACK DETAIL'. THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
7. PREPARE SITE FOR PAVING.
8. AS BUILDING ADDITION AND LOADING AREAS ARE COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED. NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF 30 DAYS.
9. LOAM AND SEED ALL REMAINING DISTURBED AREAS. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER BEING CONSTRUCTED.
10. FINAL PAVING OF LOADING AREA.
11. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
12. SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF DISTURBED AREAS.
13. REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

NOTE
THE CONTRACTOR SHALL TAKE MEASURES TO ENSURE THAT FRIARS DRIVE IS KEPT FREE OF DIRT AND DEBRIS FOR THE DURATION OF THE CONTRACT.

NOTE
PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE TOWN ENGINEER TO REVIEW THE INSTALLED EROSION CONTROL MEASURES



GENERAL NOTES:

1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH THE PROJECT SHALL OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND SHALL COMPLY WITH THE TERMS OF SWPPP AND NPDES PERMIT.
2. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY SITE CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
4. STOCKPILE AREAS SHALL BE SURROUNDED BY SILT SOCK AND RE-SEEDED IF THEY ARE LEFT UNTOUCHED FOR MORE THAN FOURTEEN (14) DAYS.
5. ALL MEASURES STATED ON THIS EROSION CONTROL PLAN, AND IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETE PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT.
6. SILT SOCK SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED.
7. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
8. ALL SEEDED AREAS SHALL BE CHECK REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
9. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXIT AS CONDITIONS DEMAND.
10. THE TOWN OF HUDSON RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION IF NEEDED.
11. DISTURBED SOIL AREAS THAT WILL REMAIN IDLE FOR MORE THAN 30 DAYS SHALL BE TEMPORARILY STABILIZED AS SOON AS PRACTICABLE BUT NO LATER THAN 3 DAYS FROM THE INITIAL DISTURBANCE WITH SEED AND MULCH, EROSION CONTROL BLANKETS OR CRUSHED STONE OR OTHER SUITABLE MEASURES APPROVED BY THE TOWN ENGINEER OR DESIGNATED REPRESENTATIVE. ALL DISTURBED SOIL AREAS THAT HAVE ACHIEVED FINAL GRADING SHALL BE PERMANENTLY STABILIZED WITHIN 3 DAYS FOLLOWING FINAL GRADING.

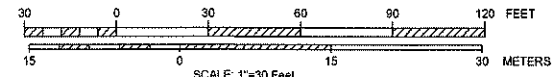
LEGEND

- 100 — EXISTING GROUND CONTOUR
- 100 — PROPOSED GRADE
- F — RUNOFF DIRECTION
- X — SILT SOCK PERIMETER BARRIER
- X — SILT-SACK INLET PROTECTION DEVICES
- X — GRAVEL CONSTRUCTION EXIT
- X — TEMPORARY STONE CHECK DAM

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EROSION CONTROL PLAN
(MAP 209, LOT 4)
PROPOSED BUILDING ADDITIONS
22 FRIARS DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
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2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

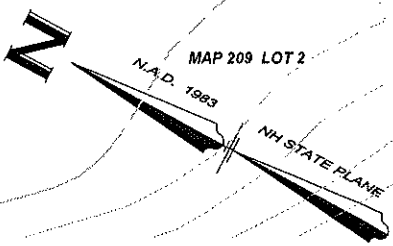


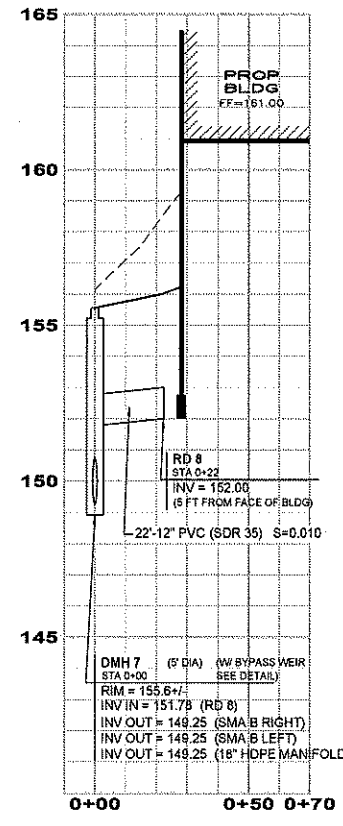
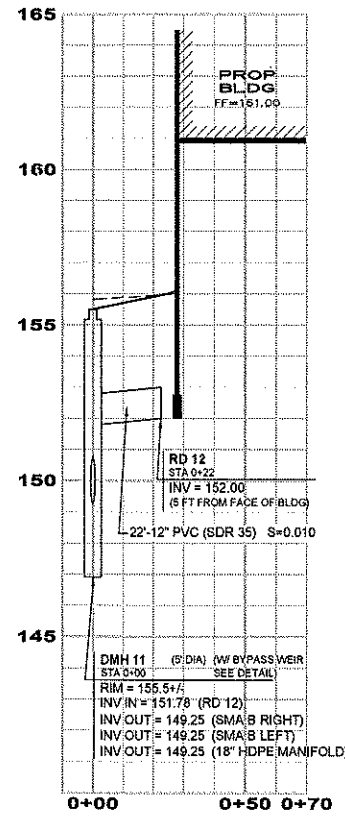
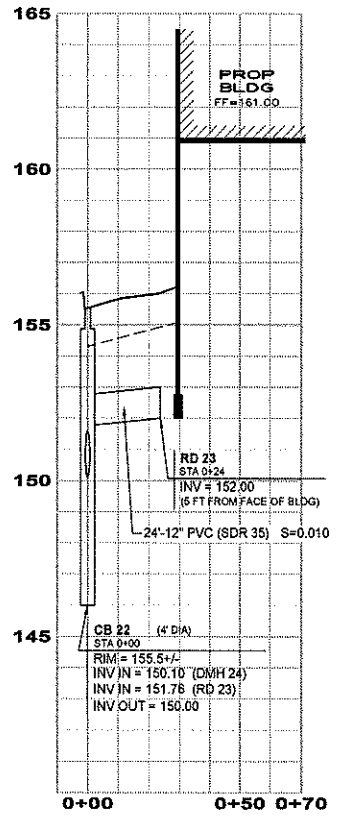
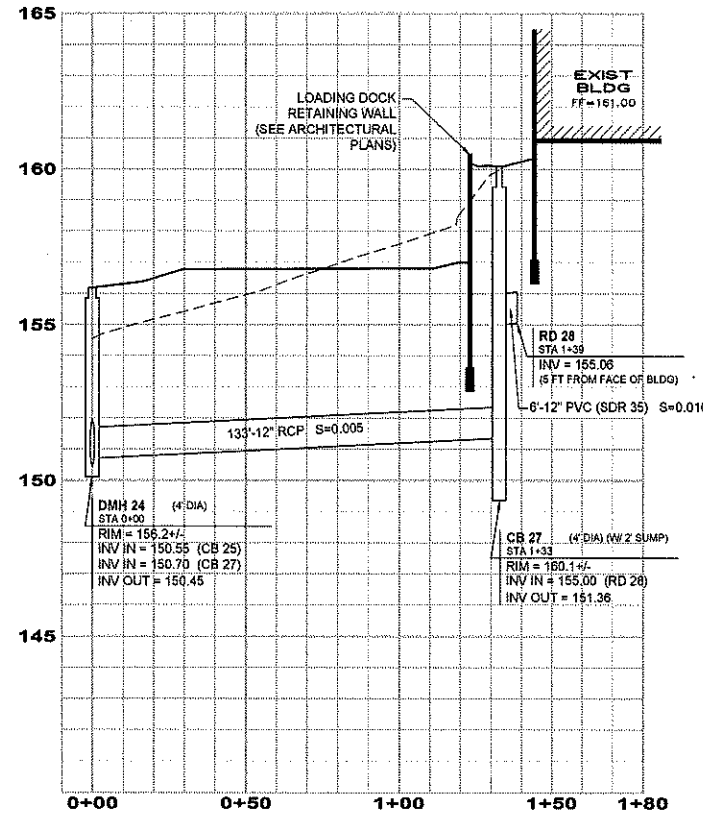
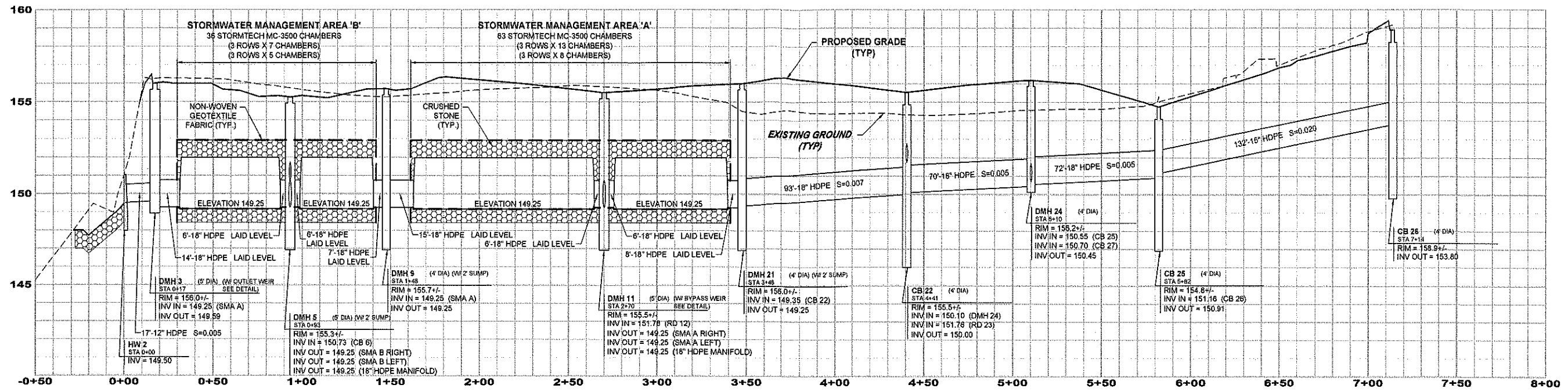
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- NOTES**
- STRUCTURE DIAMETERS AS SHOWN ON DRAINAGE PROFILES ARE CONSIDERED TO BE MINIMUM INSIDE DIMENSIONS. ALL STRUCTURES SHALL BE A MINIMUM INSIDE DIAMETER OF 48" UNLESS OTHERWISE INDICATED. LARGER STRUCTURES MAY BE NECESSARY DUE TO ALIGNMENT AND/OR PIPE SIZES. STRUCTURE MANUFACTURER SHALL DETERMINE FINAL SIZE.
 - PIPE LENGTHS ARE MEASURED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
 - EXTERIOR FOUNDATION WALLS AND FOOTINGS AS SHOWN ARE APPROXIMATE.
 - VERTICAL DATUM IS NGVD29 (SEE NOTE 4 ON SHEET 2).
 - SEE SHEET 11 OF 15 FOR ADDITIONAL STORMWATER MANAGEMENT AREA INFORMATION.

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UTILITY PROFILES
(MAP 209, LOT 4)

PROPOSED BUILDING ADDITIONS
22 FRIARS DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
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2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

SCALE: 1"=30 Feet
1"=9.144 Meters

27 JANUARY 2022

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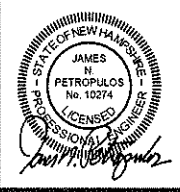
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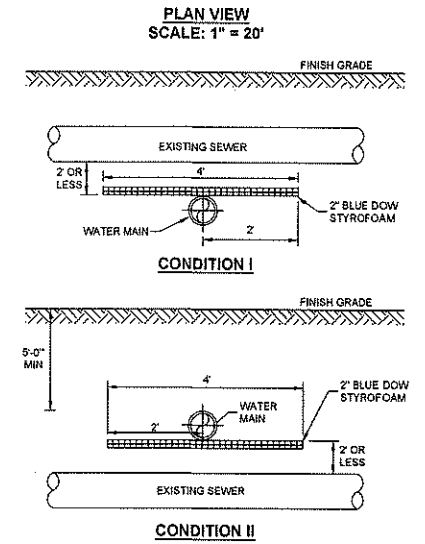
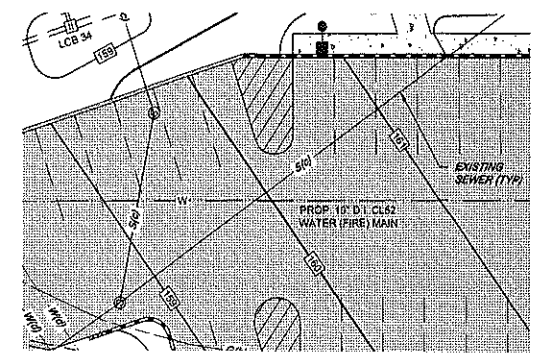
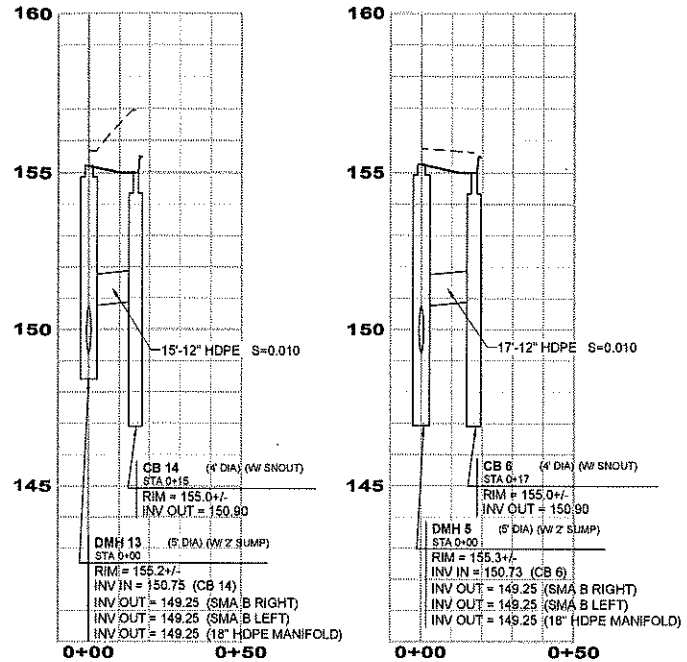
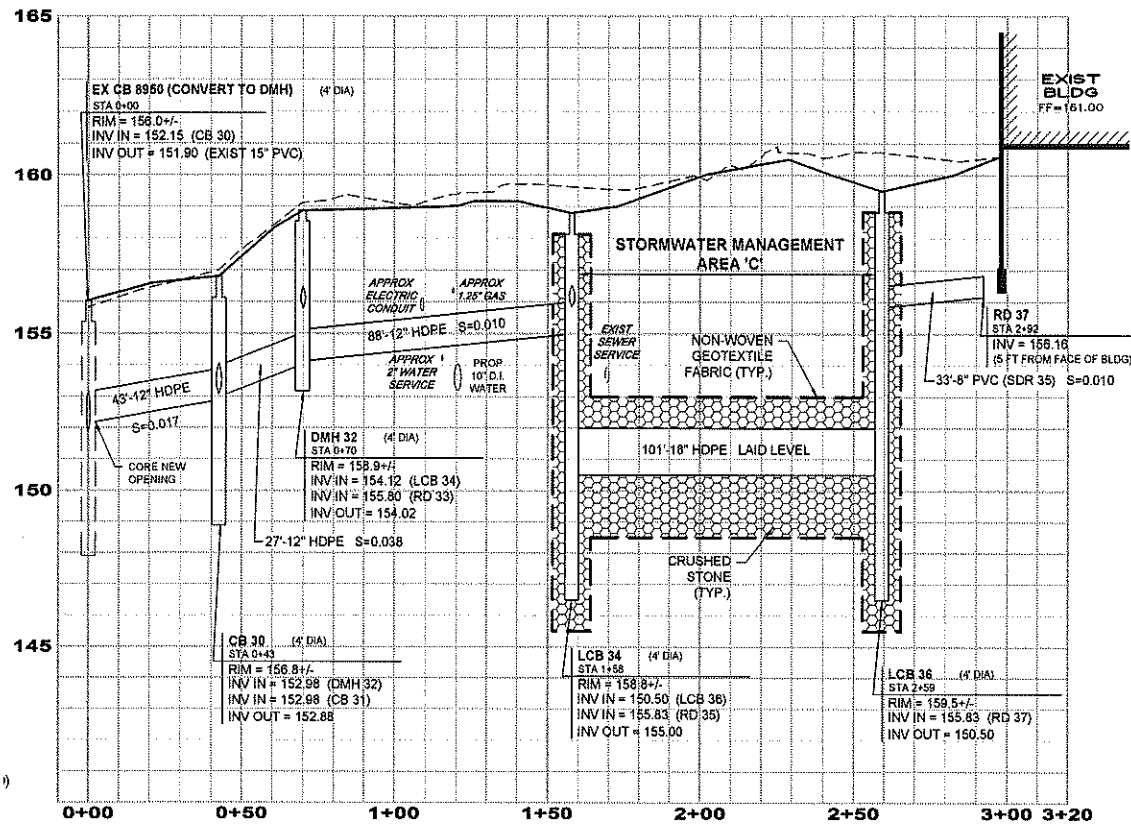
SECRETARY: _____ SIGNATURE DATE: _____

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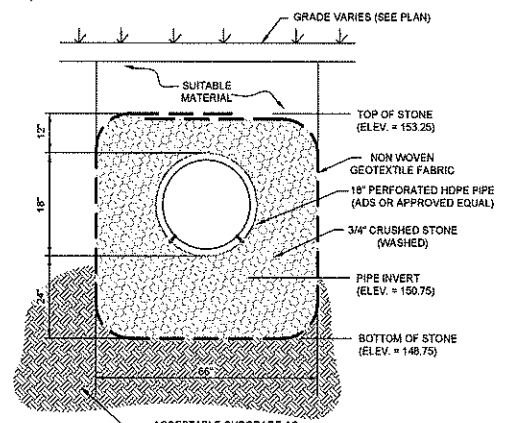
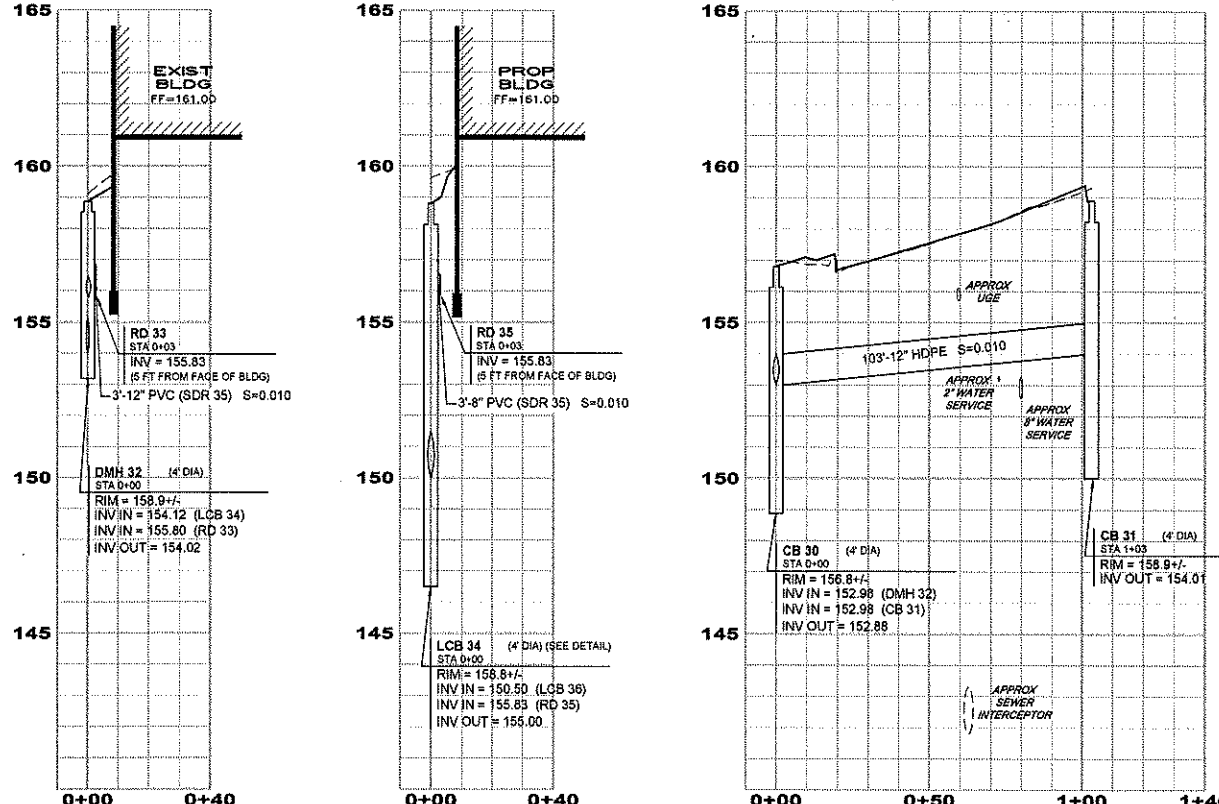
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NOTE:
PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL DIG TEST PITS TO VERIFY THE EXACT LOCATION, SIZE AND ELEVATION OF THE EXISTING SANITARY SEWER LINE AND REPORT IT TO THE ENGINEER. FINAL ADJUSTMENTS TO THE WATER LINE/SEWER LINE CROSSING DETAIL CAN BE MADE AT THAT TIME.

SEWER PIPE / WATER MAIN INTERSECTION RUNS - ELEV. VIEW
NOT TO SCALE



STORMWATER MANAGEMENT AREA 'C' INFILTRATION TRENCH DETAIL
NOT TO SCALE

- NOTES**
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 - PIPE LENGTHS ARE MEASURED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
 - EXTERIOR FOUNDATION WALLS AND FOOTINGS AS SHOWN ARE APPROXIMATE.
 - VERTICAL DATUM IS NGVD29 (SEE NOTE 4 ON SHEET 2).
 - THE CONTRACTOR SHALL VERIFY THE EXACT SIZE, LOCATION AND ELEVATION OF THE EXISTING SEWER SERVICE PIPE. THE INFORMATION SHALL BE PROVIDED TO THE ENGINEER PRIOR TO CONSTRUCTION.

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UTILITY PROFILES (MAP 209, LOT 4)
PROPOSED BUILDING ADDITIONS
22 FRIARS DRIVE
HUDSON, NEW HAMPSHIRE

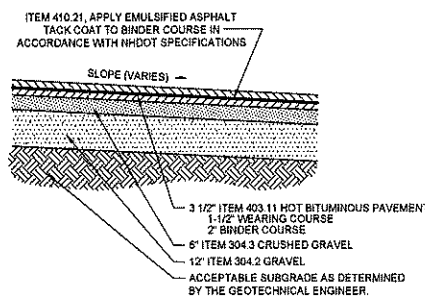
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SCALE: 1"=30 Feet
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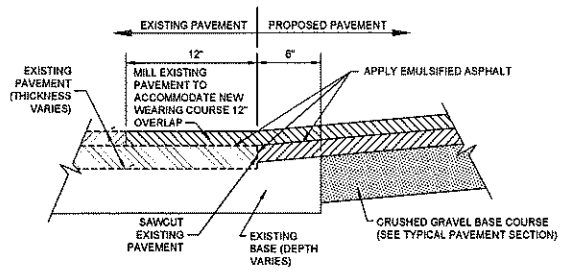
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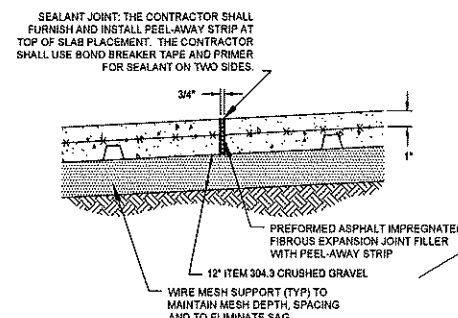
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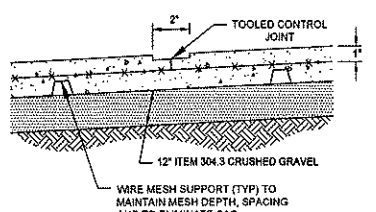
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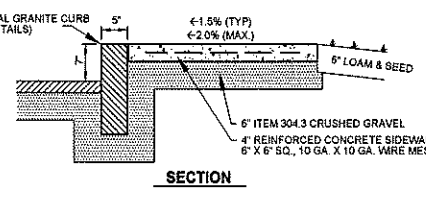
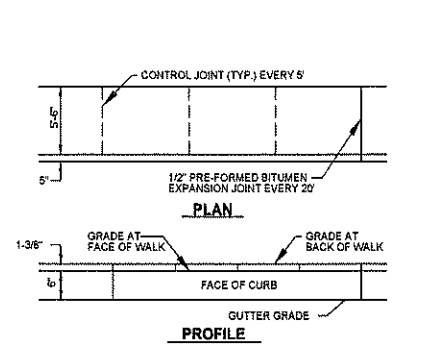
SAWCUT PAVEMENT DETAIL
NOT TO SCALE



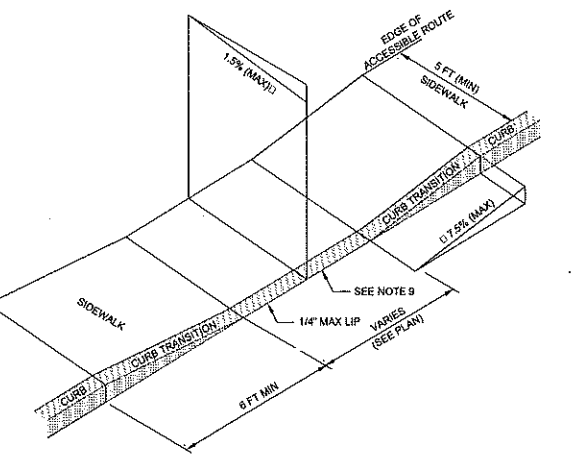
SIDEWALK EXPANSION JOINT DETAIL
NOT TO SCALE



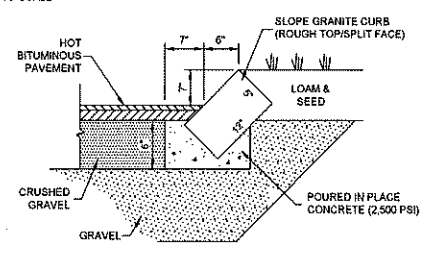
CONCRETE CONTROL JOINT DETAIL
NOT TO SCALE



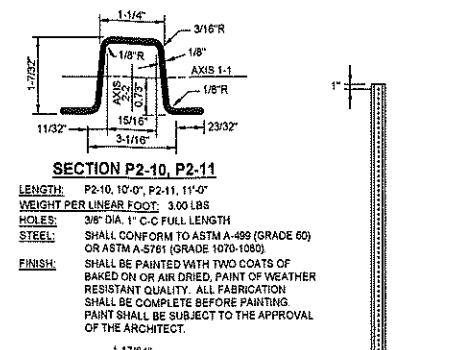
VERTICAL GRANITE CURB AND REINFORCED CONCRETE SIDEWALK DETAIL
NOT TO SCALE



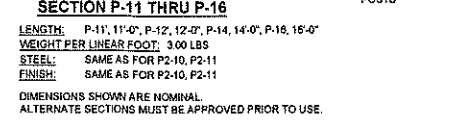
HANDICAP ACCESSIBLE CURB RAMP DETAIL
NOT TO SCALE



SLOPE GRANITE CURB DETAIL
NOT TO SCALE

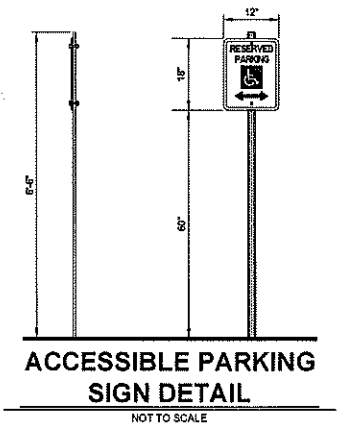


SECTION P2-10, P2-11
LENGTH: P2-10, 10'-0"; P2-11, 11'-0"
WEIGHT PER LINEAR FOOT: 3.00 LBS
HOLES: 3/8" DIA. 1" C-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-992 (GRADE 50) OR ASTM A-571 (GRADE 100-130)
FINISH: SHALL BE PAINTED WITH TWO COATS OF BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING. PAINT SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT.

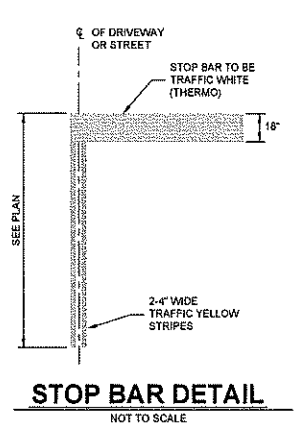


SECTION P-11 THRU P-16
LENGTH: P-11, 11'-0"; P-12, 12'-0"; P-14, 14'-0"; P-16, 16'-0"
WEIGHT PER LINEAR FOOT: 3.00 LBS
STEEL: SAME AS FOR P2-10, P2-11
FINISH: SAME AS FOR P2-10, P2-11
DIMENSIONS SHOWN ARE NOMINAL. ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE.

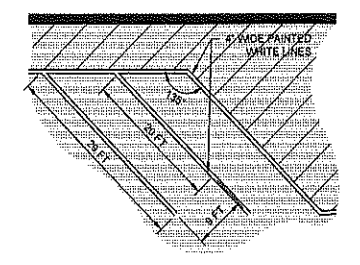
TRAFFIC SIGN SUPPORT DETAIL
NOT TO SCALE



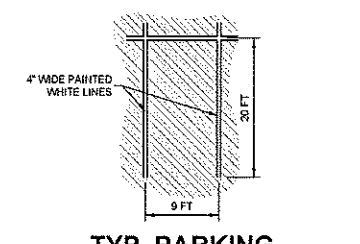
ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE



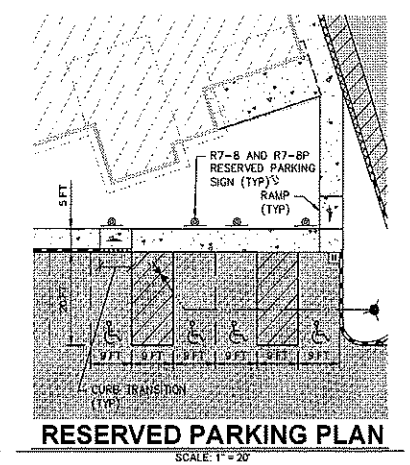
STOP BAR DETAIL
NOT TO SCALE



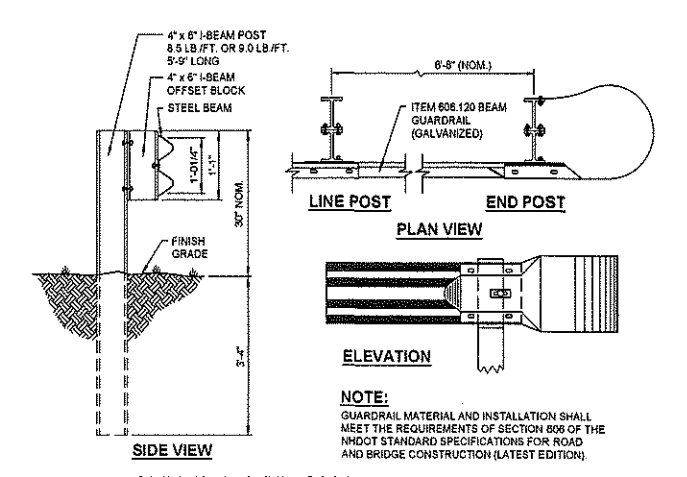
TYP. PARKING STALL DETAIL
NOT TO SCALE



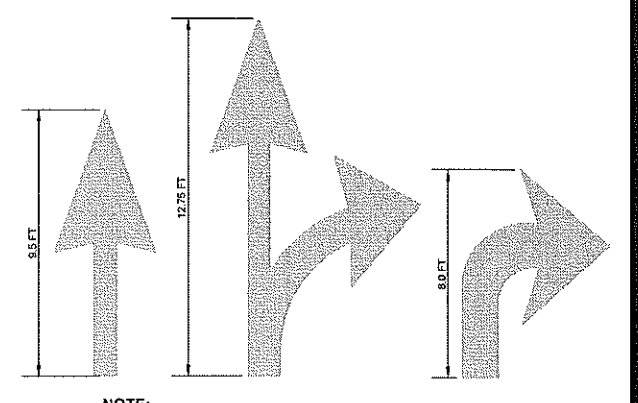
TYP. PARKING STALL DETAIL
NOT TO SCALE



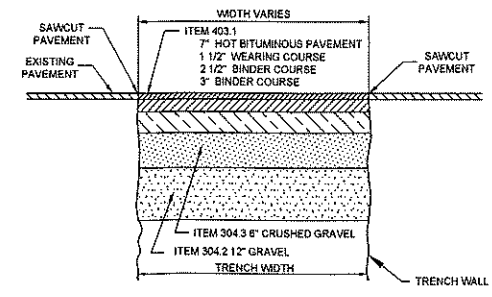
RESERVED PARKING PLAN
SCALE: 1" = 20'



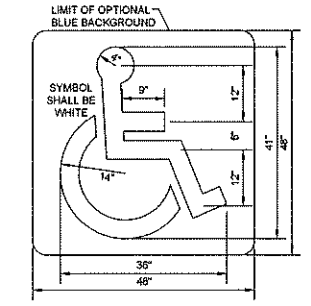
STEEL POST GUARDRAIL DETAIL
NOT TO SCALE



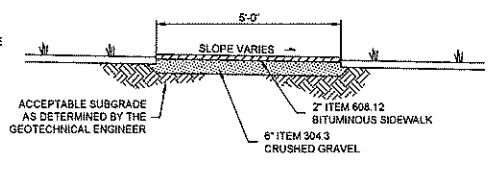
PAINTED TRAFFIC ARROWS DETAIL
NOT TO SCALE



TRENCH PATCH DETAIL
NOT TO SCALE



ACCESSIBLE PARKING SPACE PAVEMENT MARKING
NOT TO SCALE



TYPICAL SECTION BITUMINOUS SIDEWALK
NOT TO SCALE

- NOTES:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. BASE OF RAMP SHALL BE GRADED TO PREVENT FLOODING.
 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5 FT IN WIDTH (EXCLUDING CURB) A 5 FT X 5 FT PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE ALL CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS PAVEMENT.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



NO.	DATE	REVISION	BY
1	03/08/22	ADDRESS TOWN, PEER REVIEW COMMENTS	JNP

DETAIL SHEET - GENERAL SITE
(MAP 209, LOT 4)

PROPOSED BUILDING ADDITIONS
22 FRIARS DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
INTEGRA BIOSCIENCES CORP.
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

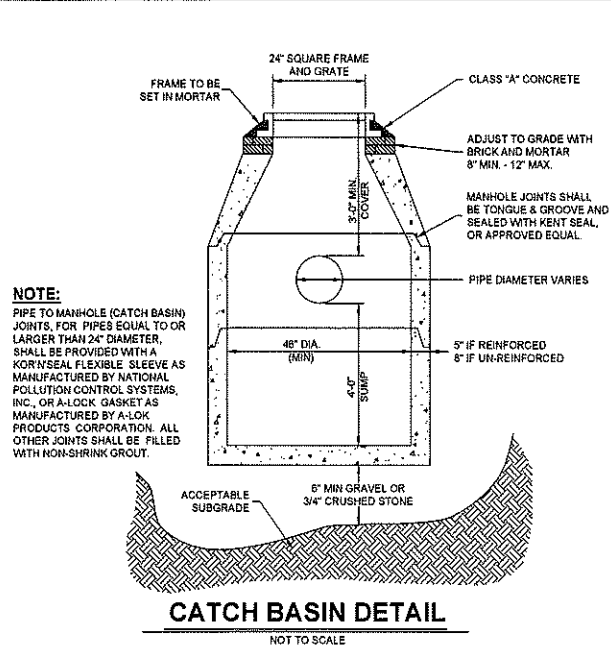
SCALE AS SHOWN

27 JANUARY 2022

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street
Nashua, NH 03062
(603) 883-2057
www.haynerswanson.com

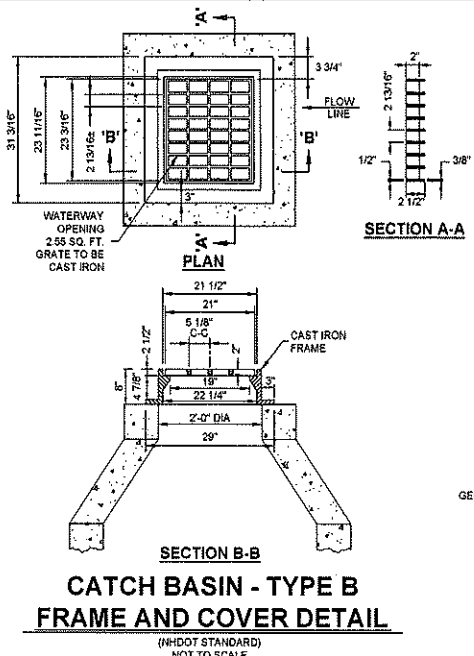
131 Middlesex Turnpike
Burlington, MA 01803
(781) 203-1501

FIELD BOOK: 1234	DRAWING NAME: 5734 SITE-DET1	5734	9 OF 15
DRAWING LOC: J:\5000\5734\DWG\5734 SITE 2021		File Number	8/11

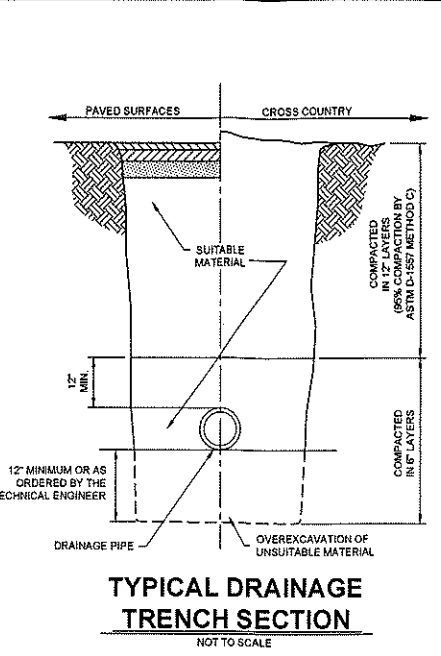


CATCH BASIN DETAIL
NOT TO SCALE

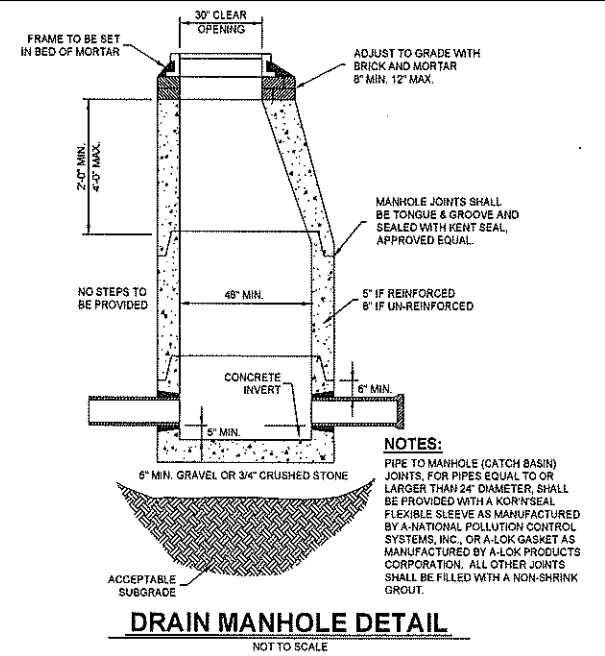
NOTE:
PIPE TO MANHOLE (CATCH BASIN) JOINTS FOR PIPES EQUAL TO OR LARGER THAN 24" DIAMETER, SHALL BE PROVIDED WITH A KORNSSEAL FLEXIBLE SLEEVE AS MANUFACTURED BY NATIONAL POLLUTION CONTROL SYSTEMS, INC. OR A-LOK GASKET AS MANUFACTURED BY A-LOK PRODUCTS CORPORATION. ALL OTHER JOINTS SHALL BE FILLED WITH NON-SHRINK GROUT.



CATCH BASIN - TYPE B FRAME AND COVER DETAIL
(WHDOT STANDARD)
NOT TO SCALE



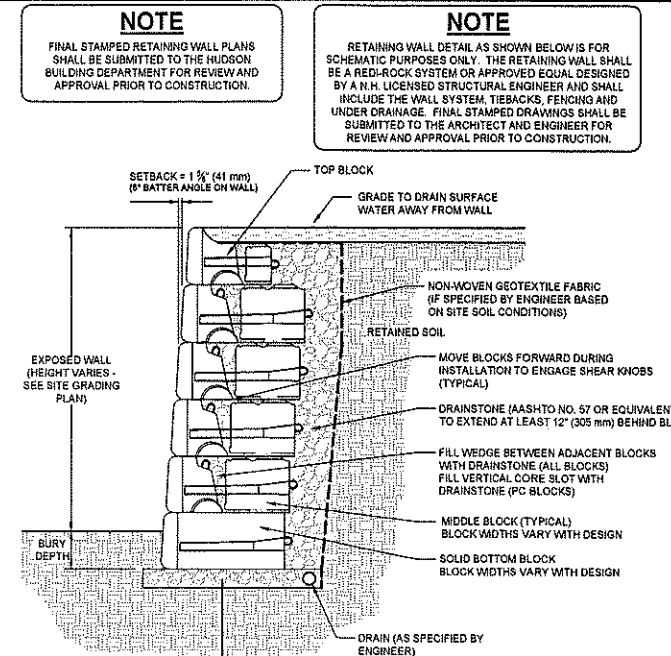
TYPICAL DRAINAGE TRENCH SECTION
NOT TO SCALE



DRAIN MANHOLE DETAIL
NOT TO SCALE

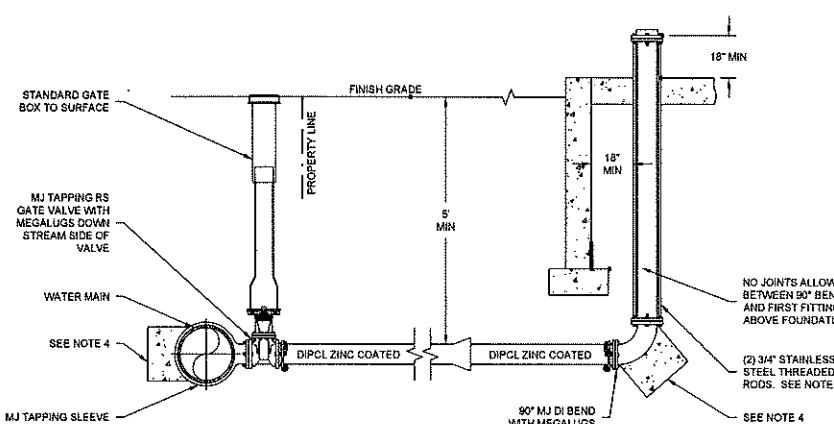
NOTES:
PIPE TO MANHOLE (CATCH BASIN) JOINTS, FOR PIPES EQUAL TO OR LARGER THAN 24" DIAMETER, SHALL BE PROVIDED WITH A KORNSSEAL FLEXIBLE SLEEVE AS MANUFACTURED BY A NATIONAL POLLUTION CONTROL SYSTEMS, INC. OR A-LOK GASKET AS MANUFACTURED BY A-LOK PRODUCTS CORPORATION. ALL OTHER JOINTS SHALL BE FILLED WITH A NON-SHRINK GROUT.

DIA. A	B	C	DIA. D	E	WEIGHT PER SECTION
12"	4'-0"	18"	18"	4'-3"	3,000 LBS
15"	4'-3"	18"	22"	6'-0"	4,800 LBS
18"	4'-6"	18"	26"	7'-0"	5,530 LBS
24"	4'-6"	15"	34"	7'-0"	5,035 LBS



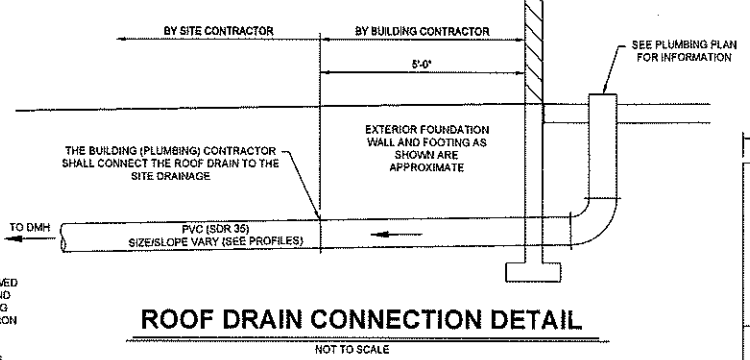
RETAINING WALL DETAIL
NOT TO SCALE

NOTE:
THIS DRAWING IS FOR REFERENCE ONLY. DETERMINATION OF THE SUITABILITY AND/OR MANNER OF USE OF ANY DETAILS CONTAINED IN THIS DOCUMENT IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER OF RECORD. FINAL PROJECT DESIGN, INCLUDING ALL CONSTRUCTION DETAILS, SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER USING THE ACTUAL CONDITIONS OF THE PROPOSED SITE.

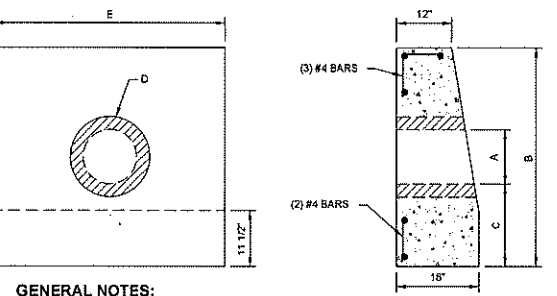


TYPICAL FIRE SERVICE INSTALLATION DETAIL
NOT TO SCALE

- NOTES:**
- ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON WATER DEPARTMENT TECHNICAL SPECIFICATIONS.
 - ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 6" FROM TOP OF PIPE TO FINISH GRADE.
 - 3/4" Ø S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS. 10" FITTING OR SMALLER = (2) 3/4" Ø S.S. RODS & ASSOC. HARDWARE. 12" FITTING OR LARGER = (4) 3/4" Ø S.S. RODS & ASSOC. HARDWARE.
 - MIN 2'x2'x3' PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH TOWN OF HUDSON WATER DEPARTMENT APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN.

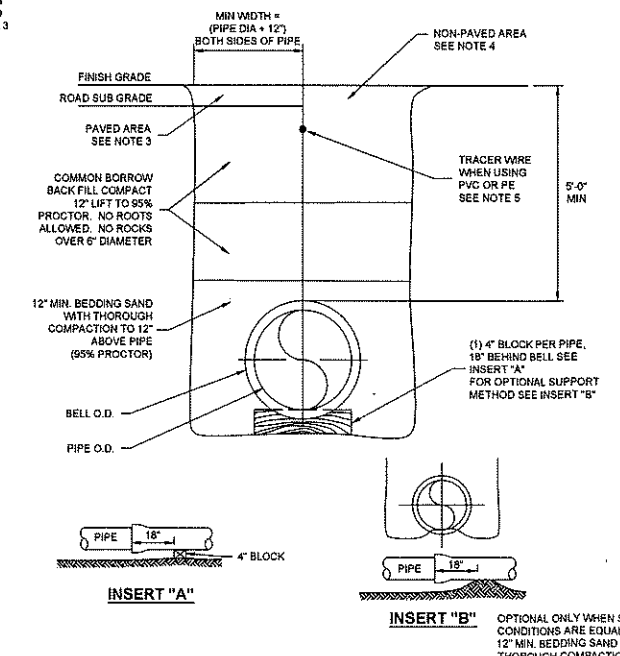


ROOF DRAIN CONNECTION DETAIL
NOT TO SCALE



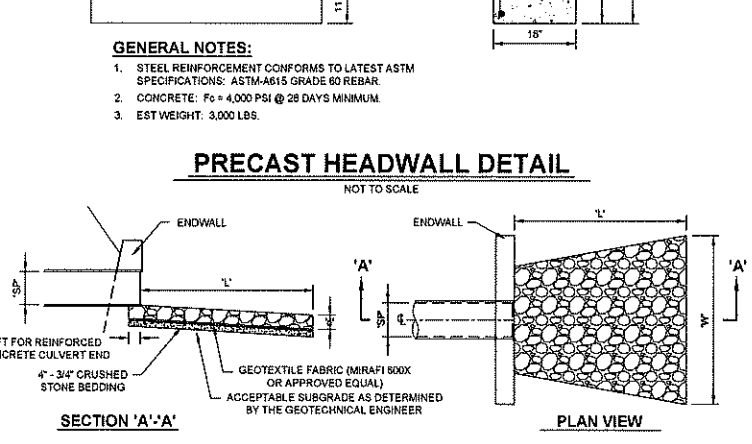
PRECAST HEADWALL DETAIL
NOT TO SCALE

- GENERAL NOTES:**
- STEEL REINFORCEMENT CONFORMS TO LATEST ASTM SPECIFICATIONS: ASTM-A615 GRADE 60 REBAR.
 - CONCRETE: Fc = 4,000 PSI @ 28 DAYS MINIMUM.
 - EST WEIGHT: 3,000 LBS.

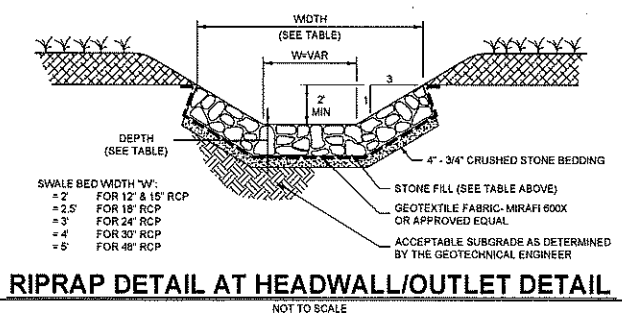


TYPICAL WATER TRENCH DETAIL
NOT TO SCALE

- NOTES:**
- ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON WATER DEPARTMENT TECHNICAL SPECIFICATIONS.
 - ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
 - REQUIREMENTS FOR SUBBASE AND BASE MATERIAL TYPE ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN PAVED AREAS.
 - REQUIREMENTS FOR GRAVEL, LOAM AND/OR SEED ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN NON-PAVED AREAS.
 - USE 10-GAUGE SOLID-CORE COATED BLUE TRACER WIRE PER TOWN OF HUDSON WATER DEPARTMENT TECHNICAL SPECIFICATIONS.



LOCATION	WIDTH (W) (FT)	LENGTH (L) (FT)	DEPTH (D) (FT)	Ø 50 (Ø) (IN)	DIAMETER (SP) (IN)	MATERIAL
ENDWALL 2	12	27	1.25	4	12	ITEM 585.1 RIP RAP CLASS I



RIPRAP DETAIL AT HEADWALL/OUTLET DETAIL
NOT TO SCALE

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

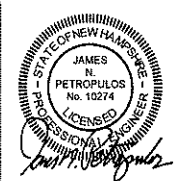
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



DETAIL SHEET - GENERAL SITE
(MAP 209, LOT 4)

PROPOSED BUILDING ADDITIONS
22 FRIARS DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
INTEGRA BIOSCIENCES CORP.
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

SCALE AS SHOWN

27 JANUARY 2022

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street
Nashua, NH 03062
(603) 883-2057 www.haynerswanson.com

FIELD BOOK: 1234 DRAWING NAME: 5734 SITE-DET1 5734 10 OF 15
DRAWING LOC: J:\3000\5734\DWG\5734 SITE 2021

TEST PIT LOGS

HSI #5734
 MAP 209 LOT 4
 INTEGRA BIOSCIENCES CORP.
 22 FRIARS DRIVE
 HUDSON, NH

TEST PITS: FOR DRAINAGE
 WEATHER: 34" CLEAR
 EQUIPMENT: KUBOTA KX161-3 MINI EXCAVATOR
 LOGGED BY: PAUL CARDEO, NHDES PERMIT #68

TEST PIT # 1 DATE: 12/28/21
 0-4" 10YR 3/3, DARK BROWN, SANDY LOAM FILL, FINE GRANULAR, VERY FRIABLE WITH FEW ROOTS
 14-96" 10YR 5/4, YELLOWISH BROWN, MEDIUM SAND, SINGLE GRAIN, LOOSE WITH FEW ROOTS TO 38"
 ESHWT: NONE OBSERVED OWT: NONE ROOTS: 38" LEDGE: NONE

TEST PIT # 2 DATE: 12/28/21
 0-4" 10YR 3/3, DARK BROWN, SANDY LOAM FILL, FINE GRANULAR, VERY FRIABLE WITH FEW ROOTS
 4-8" 10YR 3/2, VERY DARK GRAYISH BROWN, FINE SANDY LOAM, WEAK FINE GRANULAR, VERY FRIABLE WITH MANY ROOTS
 6-20" 10YR 5/6, YELLOWISH BROWN, SANDY LOAM, FINE GRANULAR, VERY FRIABLE WITH COMMON ROOTS
 20-36" 10YR 5/3, BROWN, MEDIUM SAND, SINGLE GRAIN, LOOSE WITH FEW ROOTS
 36-88" 10YR 5/4, YELLOWISH BROWN, MEDIUM SAND, SINGLE GRAIN, LOOSE WITH FEW ROOTS
 88-96" 10YR 5/3, LIGHT YELLOWISH BROWN, GRAVELLY SAND, 15% ROUNDED COBBLES, 10% GRAVEL, SINGLE GRAIN, LOOSE WITH FEW ROOTS TO 90"
 ESHWT: NONE OBSERVED OWT: NONE ROOTS: 90" LEDGE: NONE

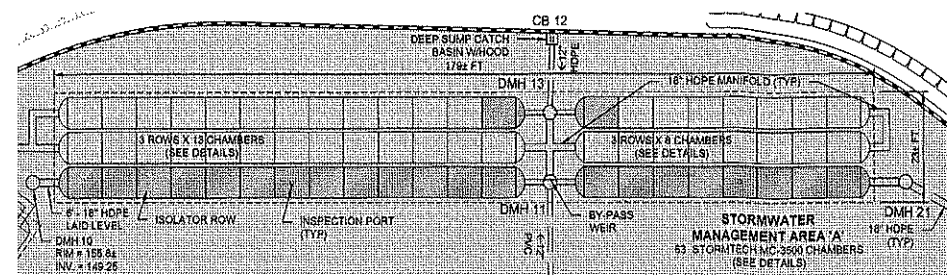
TEST PIT # 3 DATE: 12/28/21
 0-8" 10YR 3/3, DARK BROWN, FINE SANDY LOAM FILL, WEAK FINE GRANULAR, VERY FRIABLE WITH MANY ROOTS
 8-14" 10YR 3/2, VERY DARK GRAYISH BROWN, FINE SANDY LOAM, MASSIVE, VERY FRIABLE WITH MANY ROOTS
 14-30" 10YR 5/6, YELLOWISH BROWN, SANDY LOAM, FINE GRANULAR, FRIABLE WITH COMMON ROOTS
 30-76" 10YR 5/4, YELLOWISH BROWN, MEDIUM SAND, SINGLE GRAIN, LOOSE WITH FEW ROOTS TO 42" AND 7.5YR 5/8, STRONG BROWN, COMMON, DISTINCT REDOXIMORPHIC FEATURES AT 72"
 76-90" 10YR 5/3, LIGHT YELLOWISH BROWN, MEDIUM SAND, SINGLE GRAIN, FIRM WITH 5YR 5/8, YELLOWISH RED REDOXIMORPHIC FEATURES THROUGHOUT
 90-96" 10YR 5/2, LIGHT GRAYISH BROWN, VERY FINE SAND, MASSIVE, FIRM WITH 5YR 4/6, YELLOWISH RED REDOXIMORPHIC FEATURES THROUGHOUT
 ESHWT: 72" OWT: 76" ROOTS: 42" LEDGE: NONE

TEST PIT # 4 DATE: 12/28/21
 0-8" 10YR 3/3, DARK BROWN, SANDY LOAM FILL, GRANULAR, VERY FRIABLE WITH FEW ROOTS
 8-20" 10YR 7/4, VERY PALE BROWN, CRUSHED GRAVEL FILL, 25% ANGULAR COBBLES, 20% GRAVEL, GRANULAR, LOOSE WITH FEW ROOTS
 20-42" 10YR 5/4, YELLOWISH BROWN, MEDIUM SAND, SINGLE GRAIN, LOOSE WITH FEW ROOTS TO 30"
 42-76" 10YR 5/3, LIGHT YELLOWISH BROWN, FINE SAND, FINE GRANULAR, FIRM IN PLACE-FRIABLE REMOVED WITH 7.5YR 5/8, STRONG BROWN, COMMON, DISTINCT REDOXIMORPHIC FEATURES AT 72"
 80-96" 10YR 5/3, BROWN, GRAVELLY SAND, 15% ROUNDED COBBLES, 10% GRAVEL, SINGLE GRAIN, LOOSE WITH 7.5YR 5/8, STRONG BROWN, COMMON, DISTINCT REDOXIMORPHIC FEATURES THROUGHOUT
 ESHWT: 72" OWT: 76" ROOTS: 30" LEDGE: NONE

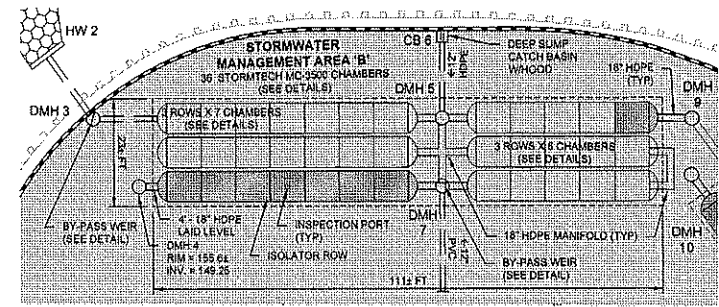
LOCATION	INLET INVERT 'A'	OUTLET INVERT 'B'	WEIR ELEVATION 'C'
DMH 7	151.78	149.25	150.00

LOCATION	INLET INVERT 'A'	OUTLET INVERT 'B'	WEIR ELEVATION 'C'
DMH 3	149.25	149.50	153.25
DMH 11	151.78	149.25	150.75

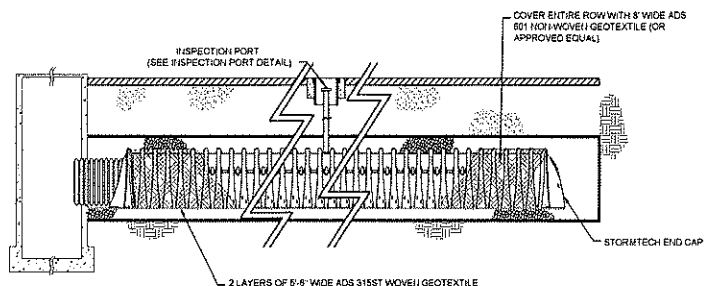
LOCATION	A	B	C	D
SMA 'A'	148.25	149.00	152.75	154.00
SMA 'B'	148.25	149.00	152.75	154.00



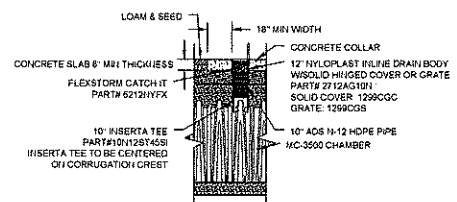
STORMWATER MANAGEMENT AREA 'A' PLAN VIEW
 SCALE: 1" = 20'



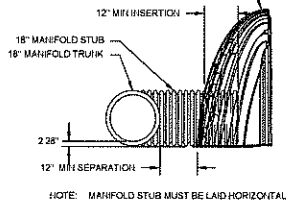
STORMWATER MANAGEMENT AREA 'B' PLAN VIEW
 SCALE: 1" = 20'



ISOLATOR ROW DETAIL

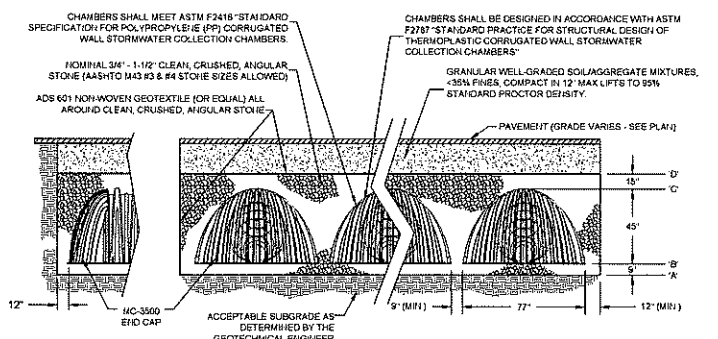


INSPECTION PORT DETAIL



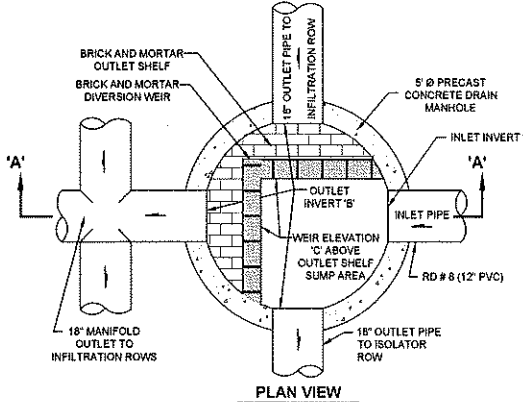
END CAP DETAIL

NOTE
 BOTH DMH 4 AND DMH 10 ARE INTENDED TO BE CLEANOUT MANHOLES FOR ACCESS AND MAINTENANCE OF THE ISOLATOR ROWS.

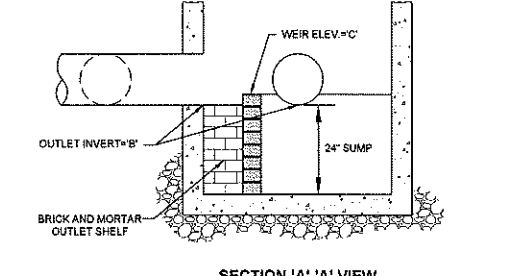


TYPICAL CROSS SECTION DETAIL
STORMTECH MC-3500 CHAMBER SYSTEM DETAILS
 NOT TO SCALE

NOTE
 PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PERFORM TEST PITS WITHIN EACH OF THE STORMWATER MANAGEMENT AREAS (SMA'S). THE TEST PITS SHALL BE OBSERVED BY THE ENGINEER TO VERIFY THAT THE DEPTH FROM THE BOTTOM OF EACH BASIN TO THE ESTIMATED SEASONAL HIGH-WATER TABLE/BEDROCK IS A MINIMUM OF 3 FEET. THE NUMBER OF TEST PITS PERFORMED IN EACH OF THE SMA'S SHALL MEET THE STANDARDS OUTLINED IN ENV104.14(F).
 IN ADDITION TO VERIFYING DEPTH TO ESHWT/LEDGE, THE ENGINEER SHALL PERFORM INFILTRATION TESTING IN EACH TEST PIT TO VERIFY THE DESIGN INFILTRATION RATE OF 8 INCHES PER HOUR (10 INCHES PER HOUR FIELD RATE). IF THE FIELD RATE EXCEEDS TO INCHES PER HOUR, A QUALIFIED SOIL SCIENTIST, GEOLOGIST OR ENGINEER SHALL BE RETAINED TO DESIGN A 2-FOOT SOIL AMENDMENT LAYER BELOW THE BOTTOM OF THE BASIN. ALL TESTING RESULTS INCLUDING DATA SHEETS SHALL BE PROVIDED TO THE NHDES AOT BUREAU AND THE TOWN OF HUDSON ENGINEERING DEPARTMENT.

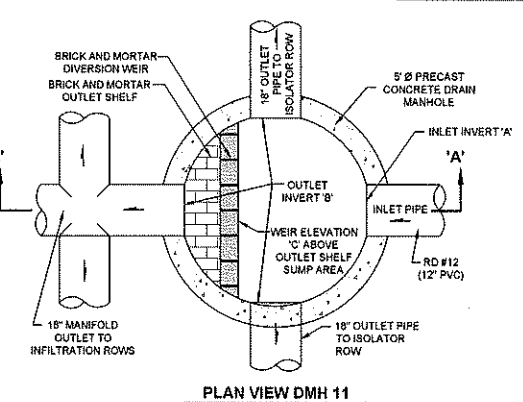


PLAN VIEW

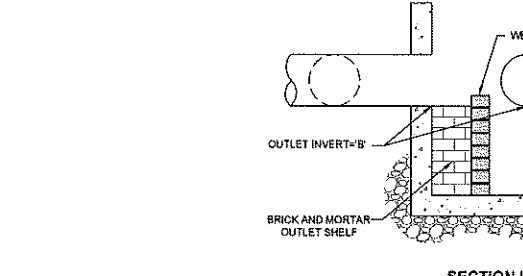


SECTION 'A-A' VIEW

INLET DRAIN MANHOLE DETAIL (DMH 7)
 NOT TO SCALE

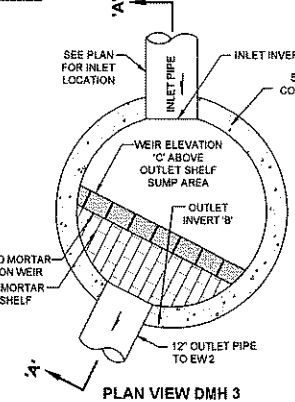


PLAN VIEW DMH 11

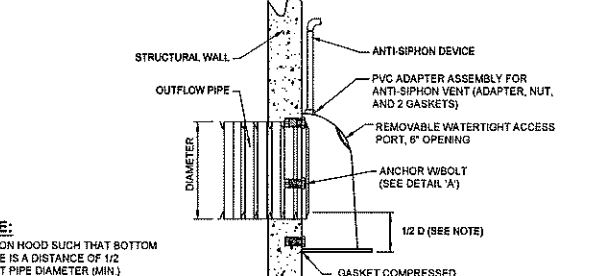


SECTION 'A-A' VIEW

INLET DRAIN MANHOLE DETAIL (DMH 3 & 11)
 NOT TO SCALE



PLAN VIEW DMH 3



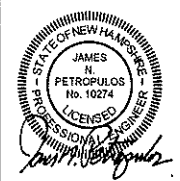
NOTE:
 POSITION HOOD SUCH THAT BOTTOM FLANGE IS A DISTANCE OF 1/2 OUTLET PIPE DIAMETER (MIN.) BELOW THE PIPE INVERT. MINIMUM DISTANCE FOR PIPES < 12" I.D. IS 6".

DETAIL 'A' **DETAIL 'B'**
SNOUT® OIL AND DEBRIS STOP DETAIL
 NOT TO SCALE

- STORMTECH NOTES:**
- CHAMBERS SHALL BE STORMTECH MC-3500, OR APPROVED EQUAL.
 - CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE RESINS TESTED USING ASTM STANDARDS.
 - CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS.
 - THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET FOR:
 - A. LONG-DURATION DEAD LOADS; AND
 - B. SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.
 - ONLY CHAMBERS THAT ARE APPROVED BY THE ENGINEER WILL BE ALLOWED. THE CONTRACTOR SHALL SUBMIT (3 SETS) OF THE FOLLOWING TO THE ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
 - STRUCTURAL EVALUATION BY A REGISTERED STRUCTURAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET. THE 50-YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2922 MUST BE USED AS A PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
 - CHAMBERS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.
 - ALL DESIGN SPECIFICATIONS FOR CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST DESIGN MANUAL.
 - THE INSTALLATION OF CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS.
 - THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS, WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.
 - DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
 - AFTER THE INFILTRATION SYSTEM AREA IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DESIGNED TO BE FULLY TILLED OR DISC HARROWED TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
 - DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 CHAIRMAN: _____ SIGNATURE DATE: _____
 SECRETARY: _____ SIGNATURE DATE: _____
 SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



1 03/08/22 ADDRESS TOWN, PEER REVIEW COMMENTS JHP

2 03/08/22 ADDRESS TOWN, PEER REVIEW COMMENTS JHP

DETAIL SHEET - GENERAL SITE
 (MAP 209, LOT 4)
PROPOSED BUILDING ADDITIONS
 22 FRIARS DRIVE
 HUDSON, NEW HAMPSHIRE

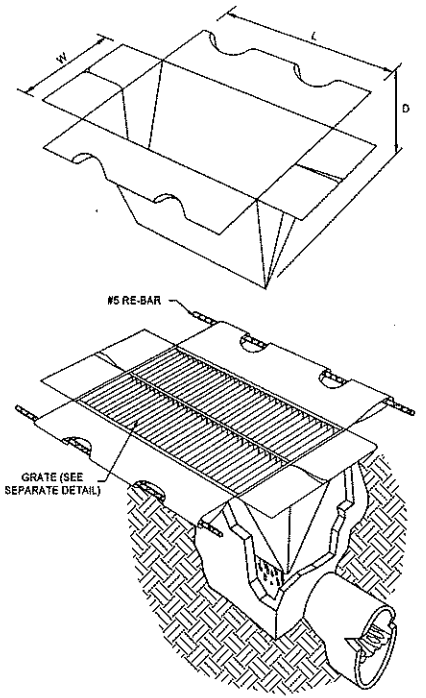
PREPARED FOR/RECORD OWNER:
INTEGRA BIOSCIENCES CORP.
 2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

SCALE AS SHOWN

27 JANUARY 2022

HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 3 Congress Street 131 Middlesex Turnpike
 Nashua, NH 03062 Burlington, MA 01803
 (603) 883-2057 (781) 203-1501
 www.hayner-swanson.com

FIELD BOOK: 1234 DRAWING NAME: 5734 SITE-DETI 5734 11 OF 15
 DRAWING LOC: J:\5000\5734\DWG\5734 SITE 2021



SILTSAK® NOTES:

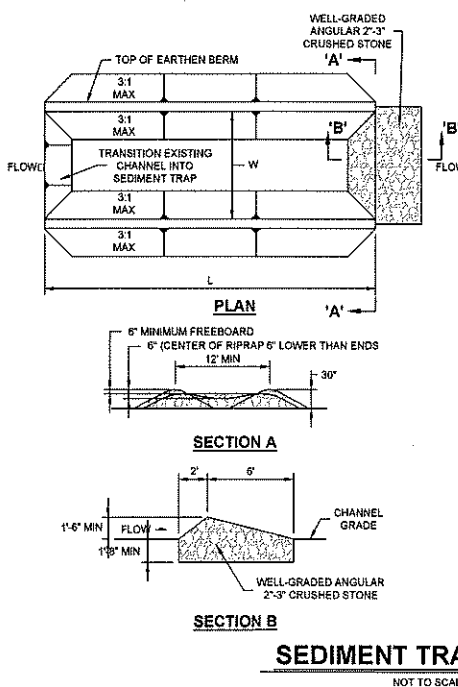
- THE SILTSAK® SHALL BE MANUFACTURED FROM WOVEN POLYPROPYLENE AND SEWN BY A DOUBLE NEEDLE MACHINE, USING A HIGH STRENGTH NYLON THREAD.
- THE SILTSAK® SEAMS SHALL HAVE A CERTIFIED AVERAGE WIDE WIDTH STRENGTH PER ASTM D-4834 STANDARDS AS FOLLOWS:

SILTSAK® STYLE	TEST METHOD	TEST RESULT
REGULAR FLOW	ASTM D-4884	165.0 LBSIN
HI-FLOW	ASTM D-4884	114.6 LBSIN
- THE SILTSAK® WILL BE MANUFACTURED TO FIT THE OPENING OF THE CATCH BASIN OR DROP INLET. THE SILTSAK® WILL HAVE THE FOLLOWING FEATURES: TWO DUMP STRAPS ATTACHED AT THE BOTTOM TO FACILITATE THE EMPTYING OF THE SILTSAK®; THE SILTSAK® SHALL HAVE LIFTING LOOPS AS AN INTEGRAL PART OF THE SYSTEM TO BE USED TO LIFT THE SILTSAK® FROM THE BASIN. THE SILTSAK® SHALL HAVE A RESTRAINT CORD APPROXIMATELY HALF-WAY UP THE SACK TO KEEP THE SIDES AWAY FROM THE CATCH BASIN WALLS. THIS YELLOW CORD IS ALSO A VISIBLE MEANS OF INDICATING WHEN THE SACK SHOULD BE EMPTIED, CLEANED, AND PLACED BACK INTO THE BASIN.
- THE GEOTEXTILE FABRIC SHALL BE WOVEN POLYPROPYLENE FABRIC WITH THE FOLLOWING PROPERTIES:

PROPERTY	TEST METHOD	TEST RESULT
GRAB TENSILE	ASTM D-4632	300 LBS
GRAB ELONGATION	ASTM D-4631	20%
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80%
APPARENT OPENING	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/FT ²
PERMITTIVITY	ASTM D-4491	0.55 SEC

PROPERTY	TEST METHOD	TEST RESULT
GRAB TENSILE	ASTM D-4632	265 LBS
GRAB ELONGATION	ASTM D-4632	20%
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90%
APPARENT OPENING	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/FT ²
PERMITTIVITY	ASTM D-4491	1.5 SEC

SILTSAK® DETAIL
NOT TO SCALE



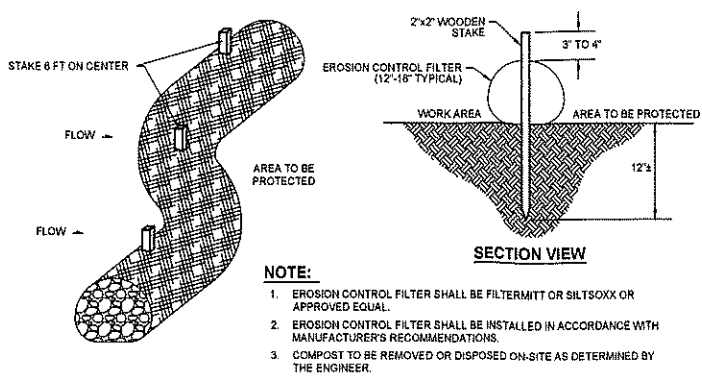
SEDIMENT TRAP INSTALLATION NOTES:

- SEE PLAN VIEW FOR LOCATION, LENGTH AND WIDTH OF SEDIMENT TRAP.
- SEDIMENT TRAPS SHALL BE SIZED TO PROVIDE A VOLUME OF 3,600 PER ACRE OF CONTRIBUTING DRAINAGE AREA.
- SEDIMENT TRAPS SHALL BE INSTALLED PRIOR TO ANY UPGRADE/REPAIR OF EXISTING CHANNELS.
- SEDIMENT TRAP BERM SHALL BE CONSTRUCTED FROM MATERIAL FROM EXCAVATION. THE BERM SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D98.
- SEDIMENT TRAP OUTLET TO BE CONSTRUCTED OF WELL-GRADED ANGULAR 2-3" CRUSHED STONE.
- THE TOP OF THE EARTHEN BERM SHALL BE A MINIMUM OF 6" HIGHER THAN THE TOP OF THE OUTLET STRUCTURE.
- THE ENDS OF THE OUTLET STRUCTURE SHALL BE A MINIMUM OF 6" HIGHER THAN THE CENTER OF THE OUTLET STRUCTURE.

SEDIMENT TRAP MAINTENANCE NOTES:

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- REMOVE SEDIMENT ACCUMULATED IN TRAP AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP. TYPICALLY WHEN THE SEDIMENT DEPTH REACHES 1/2 THE HEIGHT OF THE OUTLET.
- SEDIMENT TRAPS SHALL REMAIN IN PLACE UNTIL THE CONTRIBUTING DISTURBED AREA IS STABILIZED.
- WHEN SEDIMENT TRAPS ARE REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOPSOIL, SEEDING AND MULCHED OR OTHERWISE STABILIZED.

SEDIMENT TRAP DETAIL
NOT TO SCALE



NOTE:

- EROSION CONTROL FILTER SHALL BE FILTERMITT OR SILTSAK® OR APPROVED EQUAL.
- EROSION CONTROL FILTER SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- COMPOST TO BE REMOVED OR DISPOSED ON-SITE AS DETERMINED BY THE ENGINEER.

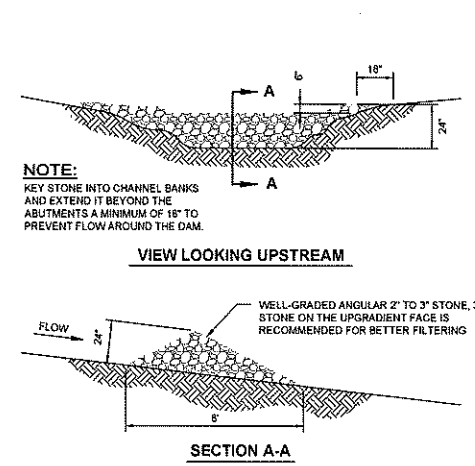
MAINTENANCE

- SILT SOCK BARRIER SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE SILT SOCK SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE BARRIER SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE BARRIER HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

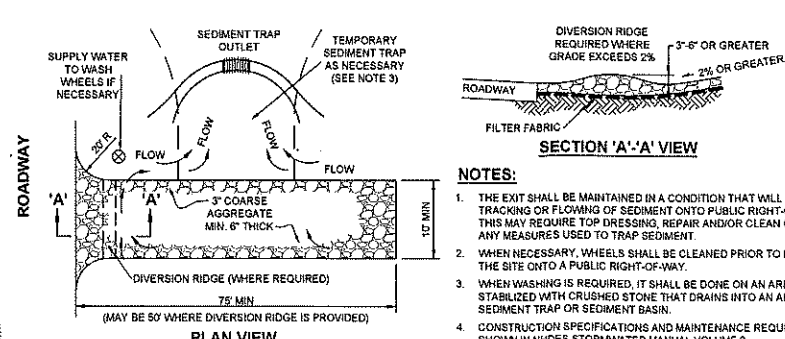
CONSTRUCTION SPECIFICATIONS

- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION, AND BOTTOM.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED.
- FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BULGES IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

SILT SOCK DETAIL
NOT TO SCALE



TEMPORARY STONE CHECK DAM TYPICAL SECTION
NOT TO SCALE



TEMPORARY GRAVEL CONSTRUCTION EXIT
NOT TO SCALE

GENERAL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES STORMWATER MANUALS, VOLUME 3, AS AMENDED.
- THE WORK AREA SHALL BE GRADED, SHAPED, AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA. SILT FENCES, STRAW BALES AND/OR DETENTION BASINS WILL BE NECESSARY TO ACCOMPLISH THIS END.
- STRIPPED TOPSOIL SHALL BE STOCKPILED, WITHOUT COMPACTION, AND STABILIZED AGAINST EROSION IN ACCORDANCE WITH "TEMPORARY STABILIZATION OF DISTURBED AREAS," AS OUTLINED IN NOTE 16.4.
- TEMPORARY STABILIZATION OF DISTURBED AREAS:
 SEED BED PREPARATION: 15-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS PER 1,000 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 50 LBS PER 1,000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.
 A. SEED MIXTURE: USE ANY OF THE FOLLOWING:

SPECIES	RATE PER 1,000 SF	DEPTH	SEEDING DATES
WINTER RYE	2.5 LBS	1"	08/15 TO 09/15
OATS	2.5 LBS	1"	04/15 TO 10/15
ANNUAL RYE GRASS	1.0 LBS	0.25"	08/15 TO 09/15

 B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODABLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:

TYPE	RATE PER 1,000 SF	USE & COMMENTS
STRAW	70 TO 80 LBS	MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE
WOOD CHIPS OR BARK MULCH	460 TO 920 LBS	USED WITH TREE AND SHRUB PLANTINGS
FIBROUS MATTING	AS RECOMMENDED BY MANUFACTURER	MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE.
CRUSHED STONE 1/2" TO 1 1/2" DIA	SPREAD TO GREATER THAN 1/2" THICKNESS	USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED.
- PERMANENT STABILIZATION OF DISTURBED AREAS:
 A. ALL ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
 B. ALL CUT AND FILL SLOPES SHALL BE SEED/ED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
- AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
 A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
 C. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
 D. OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- SITE LOCATION: 42° 44' 35" N LATITUDE, 71° 25' 54" W LONGITUDE (PER GOOGLE EARTH).
- TOTAL AREA OF DISTURBED SOILS: 170,850 SF±
- REFERENCE IS MADE TO THE LATEST EDITION OF THE FEDERAL REGISTER (63 FR 7957), ENVIRONMENTAL PROTECTION AGENCY NPDES GENERAL PERMITS FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. FOR ADDITIONAL INFORMATION CONTACT (202) 564-9545 OR www.epa.gov/npsdes/stormwater.
- THE ENTIRE CONTENTS OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE RETAINED ON-SITE FOR THE DURATION OF THE CONTRACT AND BE MADE AVAILABLE TO LOCAL, STATE AND FEDERAL CODE ENFORCEMENT PERSONNEL.
- THIS PROJECT SHALL BE MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:63 AND AGR 3890 RELATIVE TO INVASIVE SPECIES, AND FUGITIVE DUST IS CONTROLLED IN ACCORDANCE WITH ENVA 1000.

WINTER CONDITION NOTES

- ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO EXITING THE SITE ONTO A PUBLIC RIGHT-OF-WAY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
- CONSTRUCTION SPECIFICATIONS AND MAINTENANCE REQUIREMENTS SHOWN IN NHDES STORMWATER MANUAL VOLUME 3.

SITE MAINTENANCE/INSPECTION PROGRAM

THE FOLLOWING PROVIDES AN ITEMIZATION OF SPECIFIC SITE MAINTENANCE PRACTICES THAT WILL BE EMPLOYED ON THE SITE TO MINIMIZE POLLUTANT GENERATION AND TRANSPORT FROM THE SITE. THE SITE MAINTENANCE PROGRAM INCLUDES ROUTINE INSPECTIONS, PREVENTATIVE MAINTENANCE AND "GOOD HOUSEKEEPING" PRACTICES.

ROUTINE INSPECTIONS

- THE CONTRACTOR SHALL INSPECT ALL CONTROL MEASURES AT LEAST ONCE A WEEK AND WITHIN TWELVE (12) HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 0.5 INCHES. THE INSPECTIONS WILL VERIFY THAT THE STRUCTURAL BMPs DESCRIBED IN THE PLANS ARE IN GOOD CONDITION AND ARE MINIMIZING EROSION. A MAINTENANCE INSPECTION REPORT WILL BE MADE WITH EACH INSPECTION. COMPLETED INSPECTION FORMS SHALL BE KEPT ON-SITE FOR THE DURATION OF THE PROJECT. FOLLOWING COMPLETION, THE COMPLETED FORMS SHALL BE RETAINED AT THE CONTRACTOR'S OFFICE FOR A MINIMUM OF ONE YEAR.

PREVENTATIVE MAINTENANCE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT CONTROLS THROUGHOUT THE DURATION OF THIS CONTRACT. MAINTENANCE PRACTICES SHALL INCLUDE, BUT ARE NOT LIMITED TO:

- CLEANING OF CATCH BASINS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY QUARTERLY INSPECTIONS.
- CLEANING OF SEDIMENT AND DEBRIS FROM STORMWATER MANAGEMENT AREA FOREBAY TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY MONTHLY INSPECTIONS.
- IMPLEMENTATION OF OTHER MAINTENANCE OR REPAIR ACTIVITIES AS DEEMED NECESSARY BASED UPON WEEKLY INSPECTIONS.
- REMOVAL OF BUILT UP SEDIMENT ALONG SILT FENCES AND/OR HAY BALE BARRIERS.
- REMOVAL OF BUILT UP SEDIMENT IN BOTH TEMPORARY AND PERMANENT CONTROLS SUCH AS GRASS SWALES, SEDIMENT FOREBAYS AND RECHARGE/DETENTION BASINS.
- RECONSTRUCTING THE TEMPORARY GRAVEL CONSTRUCTION EXIT IF NOT WORKING PROPERLY.
- TREATMENT OF NON-STORM WATER DISCHARGES SUCH AS WATER FROM WATER LINE FLUSHINGS OR GROUNDWATER FROM DEWATERING EXCAVATIONS. SUCH FLOWS SHOULD BE DIRECTED TO A TEMPORARY SEDIMENTATION BASIN OR STORMWATER MANAGEMENT AREA.
- SWEEP PARKING LOTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION. FREQUENCY WILL VARY SEASONALLY ACCORDING TO SEDIMENT ACCUMULATION ON PAVE SURFACES (E.G., MORE FREQUENT SWEEPING DURING THE WINTER AND SPRING).

GOOD HOUSEKEEPING PRACTICES

- THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM AND WATER RUNOFF. THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THE USE OF THESE PRODUCTS IS MINIMIZED. THE FOLLOWING "GOOD HOUSEKEEPING" PRACTICES SHALL BE FOLLOWED DURING CONSTRUCTION OF THE PROJECT:
 A. AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
 B. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
 C. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR MANUFACTURER'S LABELS.
 D. WHENEVER POSSIBLE, ALL OF A PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER.
 E. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
 F. THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.

SPILL PREVENTION AND CLEANUP PRACTICES

- MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIAL WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, SHOES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

NO.	DATE	ADDRESS TOWN, PEER REVIEW COMMENTS	BY
1	03/08/22		JNP

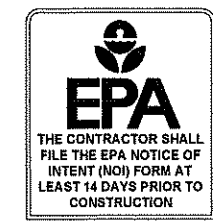
DETAIL SHEET - EROSION CONTROL
(MAP 209, LOT 4)
PROPOSED BUILDING ADDITIONS
22 FRIARS DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
INTEGRA BIOSCIENCES CORP.
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

SCALE AS SHOWN
27 JANUARY 2022

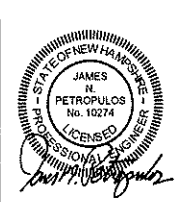
HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street
Nashua, NH 03062
(603) 883-2057
131 Middlesex Turnpike
Burlington, MA 01803
(781) 203-1501
www.hayner-swanson.com

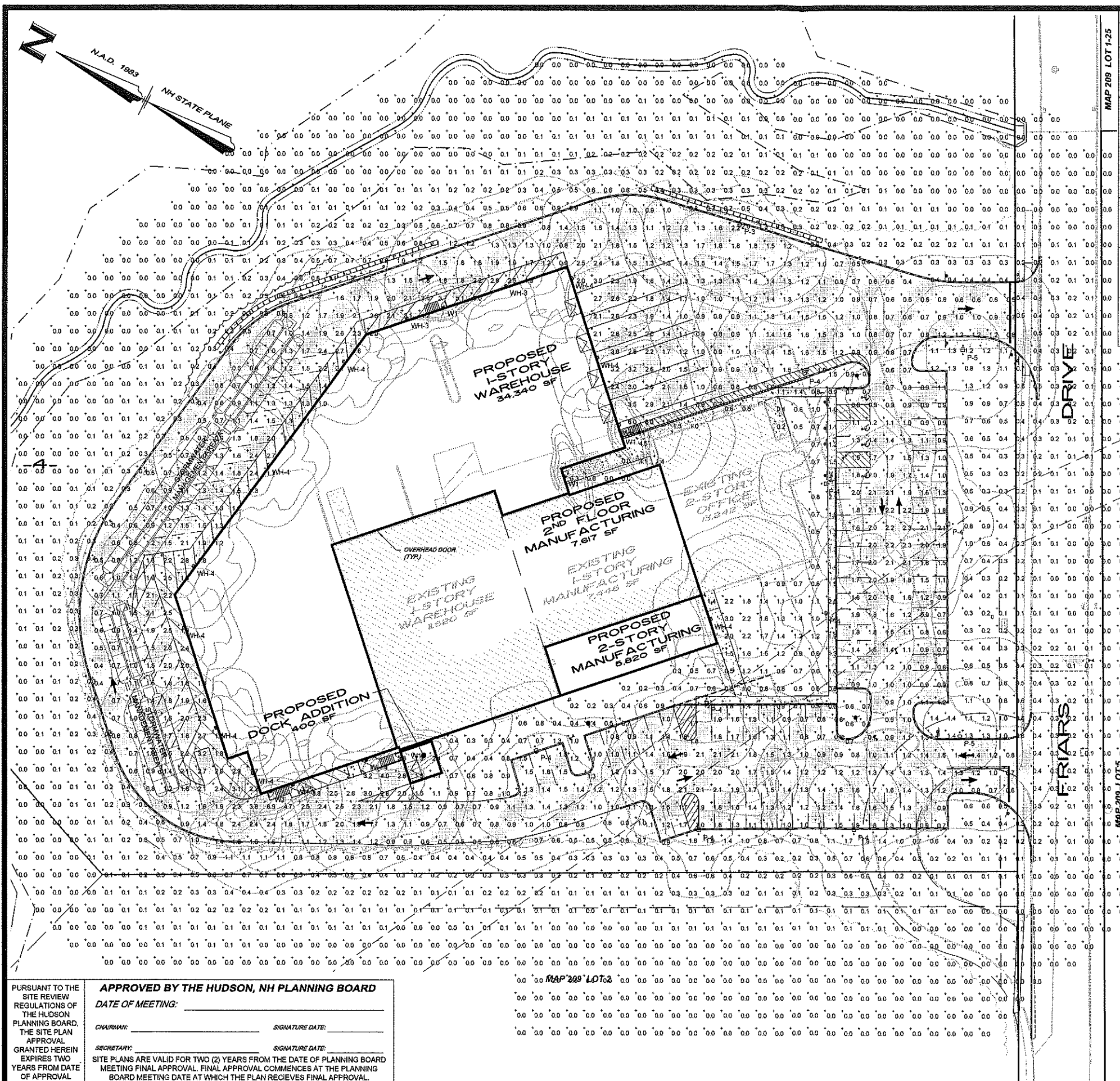
FIELD BOOK: 1254	DRAWING NAME: 5734 SITE-DET1	5734	12 OF 15
DRAWING LOC: A:\5000\5734\DWG\5734 SITE 2021		File Number	6/14/11



FURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
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CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____
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Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens per Lamp	LF	Wattage	Dist/ft Ion	Pole Plot
[Symbol]	P-3	1	Lithonia Lighting	DSX0 LED P3 40K TSM MVOLT SPA DWXHD with SSS 20 4C DM19AS DWXHD	DSX0 LED Area Fixture; mounted at 22ft (20ft pole on 2ft base)	LED	DSX0_LED_P3_40K_TSM_MVOLT.ies	8205	0.9	71	TYPE III, MEDIUM, BUG RATING; B2-U0-G2	
[Symbol]	P-4	8	Lithonia Lighting	DSX0 LED P3 40K TSM MVOLT SPA DWXHD with SSS 20 4C DM19AS DWXHD	DSX0 LED Area Fixture; mounted at 22ft (20ft pole on 2ft base)	LED	DSX0_LED_P3_40K_TSM_MVOLT.ies	8447	0.9	71	TYPE IV, SHORT, BUG RATING; B2-U0-G2	
[Symbol]	P-5	2	Lithonia Lighting	DSX0 LED P3 40K TSM MVOLT SPA DWXHD with SSS 20 4C DM19AS DWXHD	DSX0 LED Area Fixture; mounted at 22ft (20ft pole on 2ft base)	LED	DSX0_LED_P3_40K_TSM_MVOLT.ies	8770	0.9	71	TYPE V, BUG RATING; B3-U0-G2	
[Symbol]	W1	5	icelle Corp	OWL EM WH MB HX	OWLACEM OWL in Normal AC Mode; mounted at 10ft	LED	OWL-ISOLITE-ACIES.ies	1529	0.9	15.8		
[Symbol]	WH-3	3	Lithonia Lighting	DSXW2 LED 30C 700 40K TSM MVOLT DWXHD	DSXW2 LED Wallpack; mounted at 20ft	LED	DSXW2_LED_30C_700_40K_TSM_MVOLT.ies	8199	0.0	71	TYPE IV, MEDIUM, BUG RATING; B2-U0-G3	
[Symbol]	WH-4	11	Lithonia Lighting	DSXW2 LED 30C 700 40K TSM MVOLT DWXHD	DSXW2 LED Wallpack; mounted at 20ft	LED	DSXW2_LED_30C_700_40K_TSM_MVOLT.ies	8082	0.0	71	TYPE IV, SHORT, BUG RATING; B2-U0-G2	

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Ground Around Building	+	1.2 fc	7.3 fc	0.0 fc	N/A	N/A
Outside of Parking Lot	+	0.1 fc	2.0 fc	0.0 fc	N/A	N/A
Parking Lot	+	1.4 fc	6.9 fc	0.4 fc	17.3:1	3.5:1

NOTE
 THE PURPOSE OF THE PHOTOMETRIC LIGHT PLAN IS TO SHOW LIGHTING LEVELS THROUGH THE SITE. THE CONTRACTOR SHALL REFER TO THE SITE ELECTRICAL PLAN FOR LIGHT POLE BASE DESIGN, CONDUIT WIRING AND OTHER APPURTENANT SITE LIGHTING DESIGN ELEMENTS.

1	03/08/22	ADDRESS TOWN, PEER REVIEW COMMENTS	JNP
No.	DATE	REVISION	BY

PHOTOMETRIC SITE LIGHTING PLAN
 (MAP 209, LOT 4)
PROPOSED BUILDING ADDITIONS
 22 FRIARS DRIVE
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
INTEGRA BIOSCIENCES CORP.
 2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

30 0 30 60 90 120 FEET
 15 0 15 30 METERS
 SCALE: 1"=30 Feet
 1"=9.144 Meters

27 JANUARY 2022

GATE CITY ELECTRIC
 NASHUA, NH 603-886-0200

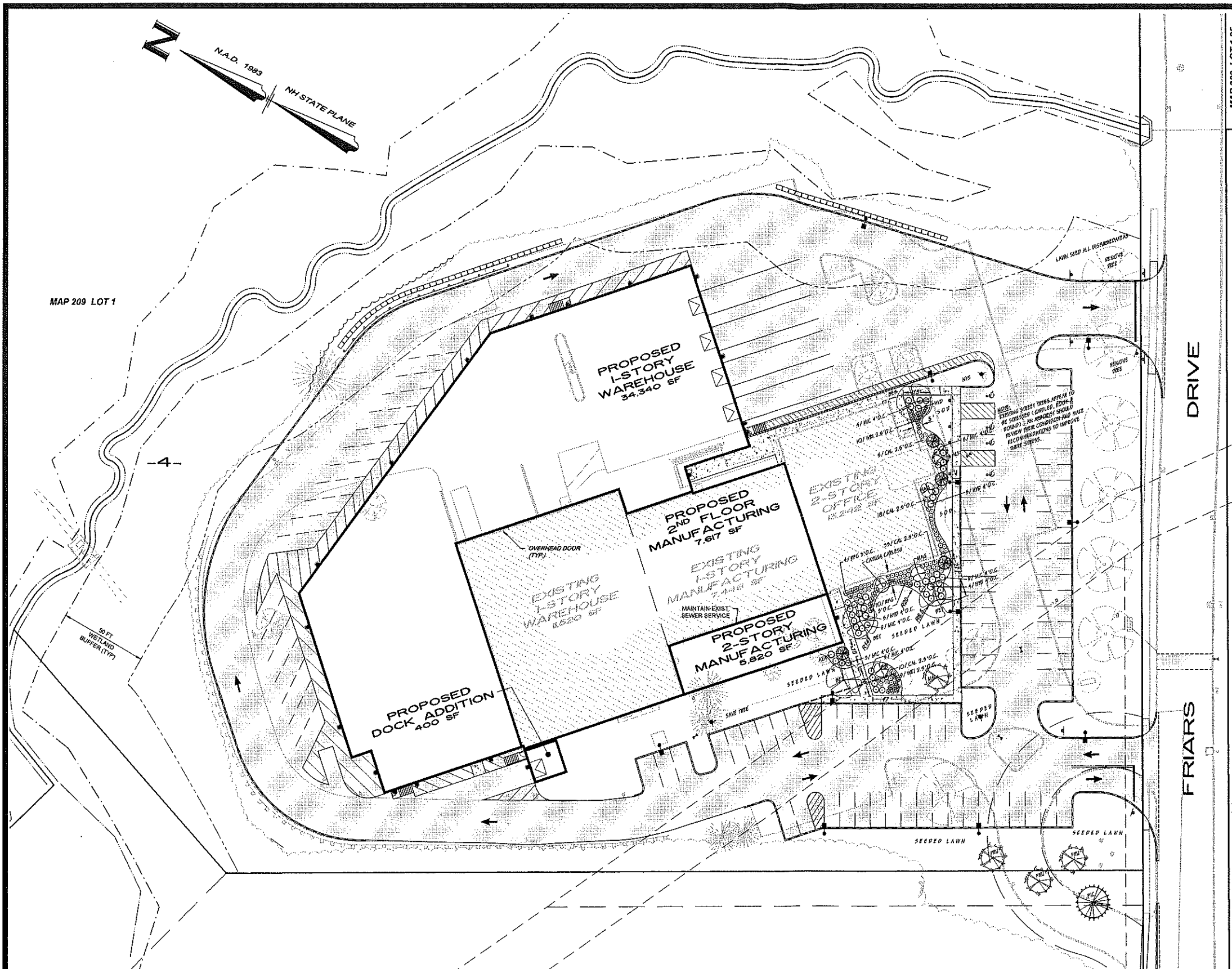
FIELD BOOK: 1234 DRAWING NAME: 5734 SITE-SL31
 DRAWING LOG: d:\6000\5734\DWG\5734 SITE 2021

5734 13 OF 15

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

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MAP 209 LOT 1-25

MAP 209 LOT 5

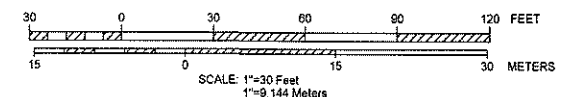
MATERIAL LIST

1/ AZA AZALEA SPECIES (INNOCENCE AZALEA)	#5 GAL.
4/ BEF BETULA NIGRA (HERITAGE RIVER BIRCH)	12"-14" MULT-STEM
30/ CAL CALAMAGROSIS A. (KARL FOERSTER FEATHER REED GRASS)	#2 GAL.
6/ CHA CHAMAECYPARIS OBTRUSA GRACILILIS (GRACILIS HINOKI FALSE CYPRESS)	7'-8" DB
1/ HAM HAMAMELIS VIRGINIANA (HARVEST MOON WITCHAMAZEL)	6'-6" DB
10/ HYD HYDRANGEA PANCULATA (LITTLE CHICK FIRE HYDRANGEA)	#9 GAL.
1/ MAG MAGNOLIA X. (LOUIS MAGNOLIA)	6'-7" DB
1/ MAL MALUS SPECIES (LOUISA CRABAPPLE)	2.5"-3" CAL.
1/ M5C MALUS SPECIES (SARGENT FINA CRABAPPLE)	2"-2.5" CAL.
20/ MIC MICROBIOTA DECUSSATA (RUSSIAN CYPRESS)	#9 GAL.
1/ NYS NYSSA SYLVANICA (WILDFIRE TUPELO)	2.5"-3" CAL.
1/ PIC PICEA PLUMBENS GLAUCA (COLORADO BLUE SPRUCE)	8'-1'-DB
1/ PIN PINUS STROBUS (BLUE SHAG PINE)	5'-4" DB
3/ PRU PRUNUS SERRULATA (KWANZAN CHERRY TREE)	0"-2.5" CAL.
20/ RFG RHODODENDRON (PURPLE GEM RHODODENDRON)	#9 GAL.
9/ WEI WEIGELA FLORIDA (MIDNIGHT WINE WEIGELA)	#9 GAL.
MISCELLANEOUS:	
SOD	PER PLAN
PINE/HEMLOCK BLEND	ALL NEW AND EXISTING BEDS
LAWN SEED MIX SANDY SOIL/ DROUGHT TOLERANT BLEND	PER PLAN

GENERAL NOTES:
 NO PLANT HYBRID SUBSTITUTIONS OR CHANGES IN SIZE AND/OR CONTAINER VS. DB, WITHOUT PRIOR WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
 DO NOT USE TYPED PARKMULCH IN THE PLANT BEDS OR TREE SAUCERS. REPLACE ALL EXISTING MULCH WITH A PREMIUM BLEND PINE/HEMLOCK BLEND.
 DO NOT USE THE 'BEEHIVE' MULCHING TECHNIQUE FOR TREE SAUCERS. INSTALL PER DETAILS.

NO.	DATE	REVISION	BY
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LANDSCAPE PLAN
 (MAP 209, LOT 4)
PROPOSED BUILDING ADDITIONS
 22 FRIARS DRIVE
 HUDSON, NEW HAMPSHIRE
 PREPARED FOR/RECORD OWNER:
INTEGRA BIOSCIENCES CORP.
 2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800



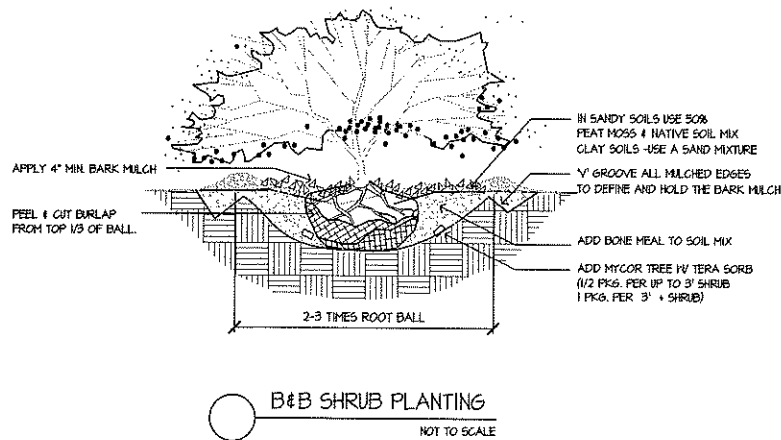
27 JANUARY 2022

PREPARED BY:
BLACKWATER DESIGN
 PHONE (603) 648-6500 FAX (603) 448-6006
 Land Planning - Landscape Architecture
 65 Frost Lane - Webster, NH 03303

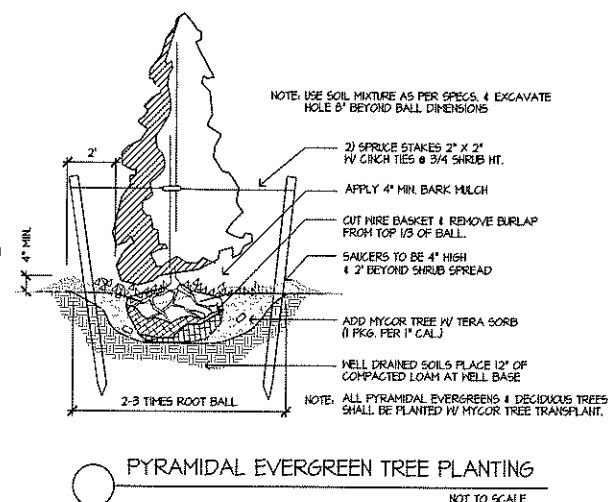
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General Specifications

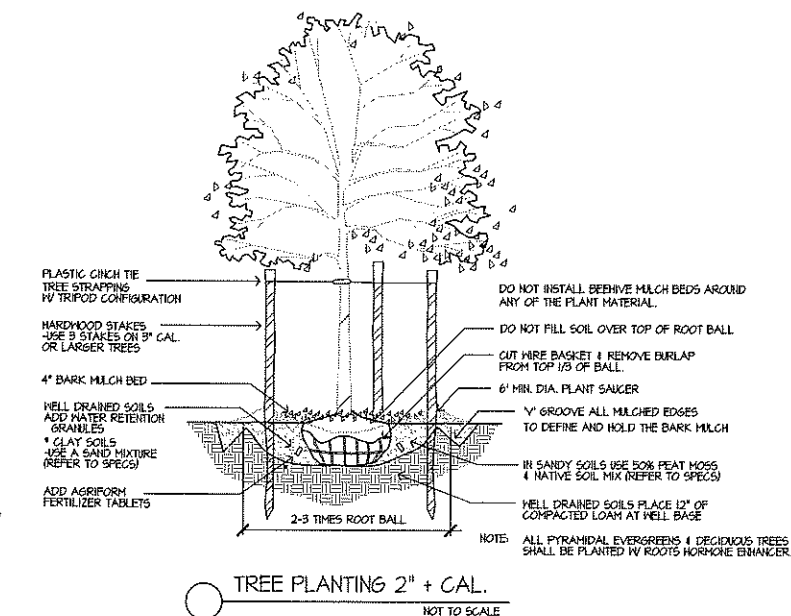
- The contractor shall at his expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and acquaint himself with all conditions before making his proposal. He will be held responsible for errors in his proposal resulting from his failure to make such an examination. All bidders shall visit the site and inform themselves of all conditions.
- The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials confirming to the bid items. Under no circumstances may a species 'hybrid' be substituted or size changed without written consent of the landscape architect.
- The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, he shall be responsible for their repair and/or replacement at his expense.
- The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstructed providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- If additional labor and/or materials is requested or required, the contractor shall submit a price to the owner. If the owner approves the price he shall prepare a change order for approval and signature. The contractor shall not proceed without a written authorization from the owner for the additional work. If the contractor proceeds with the additional work without this authorization he shall forfeit any claim for additional compensation.
- The landscape architect shall reserve the right to inspect the project work at any time deemed necessary to insure that the specifications and plans and any other contract documents are being followed.
- The L.A. shall have the right to reject any plant on-site based upon condition, size, or incorrect species or hybrid. LA must be contacted prior to install, to inspect materials delivered to the site, and to insure that soil amendments, bark mulch, roof ballast, etc. are to the written specifications.
- All seeded areas shall receive a minimum 6" topsoil blanket (by site contractor) w/site preparation, raking and general clean up prior to application. Operations shall include a preemergence type herbicide, 12-26-12 granular fertilizer @ 10 lbs./1000 sf., and pelletized limestone @ 25 lbs./1000 sf power raked into the top 2" of soil prior to hydro-seeding. Ratios & application rates may change based upon the required soil analysis.
- Contractor is responsible for establishing a thick, weed free lawn. Seed shall be spread @ 4lbs./1000. Lawn germination shall be 95% free of noxious weeds for acceptance. Define differences in seed mixes (if applicable) with irrigation flagging until 2nd mowing. Site review by LA is required.
- Review of the installed irrigation system by the designer is required prior to release of final payment.
- Hydroseeding operations shall be a one part process with a paper fiber mulch; a tackifier shall be applied on all slopes greater than 3:1, Excelsior Drainage mat shall be applied to all 2:1 slopes and drainage swales per plan.
- Contractor shall maintain, from acceptance date, the lawn areas through the first mowing. Contractor is not responsible for the first mowing.
- All plant materials shall be installed in accordance with A.L.C.C. Trees and shrubs shall have appropriate soil mixtures, fertilizer and soil retention granules.
- If the soil conditions are extremely sandy, all trees shall have a 6" layer of compacted topsoil (verify with Landscape Architect) placed in the base of the plant pit as a moisture retention layer. The plant pit sidewalls shall be over excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec # 22.
- Landscape architect shall have the right to reject and have ground removed any plant material not of proper size or of weak quality, i.e. thin, no lower branching, etc. Contractor must submit shipping lists (billing invoices) for verification, prior to installation.
- All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractors expense; with same warranty requirements as the original. Warranty does not cover loss due mechanical damage, i.e. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.
- Plant beds and saucers vary in dia. (refer to dwg). Trees and shrubs shall receive a 4" (settled) covering of pine/hemlock bark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6" dia. saucer (typ.), evergreen trees shall have a saucer 2' min. beyond it's outer branches. All edges shall have a 'V' groove.
- All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- If road base is encountered in any plant bed areas, i.e. parking islands, it shall be removed and suitable amended soil installed per drawings and specifications.
- Soil planting mixture shall be a 6%-10% organic topsoil, amended with 10% wood ash, 10% manure, & 30% peatmoss or incorporate a dehydrated compost material. If planting in sand, gravel or other well drained soils, a 50% peatmoss to excavated soil. Other soil amendments shall include; Agriform tablets, Hydro-Gel or equal, and Roots growth enhancer to all trees and shrubs listed, per manufacturers specifications. All plant material pits will receive a min. 20% in volume mix of a compost soil amendment. Submittal required. 'Roots' STEP 1 can be substituted for the individual supplements. Install per manufacturer's specs.
- Landscape contractor shall not be responsible for topsoil spreading but shall coordinate with the site contractor adherence to the mound grades, plant bed soil depths and soil type per dwgs & spec. Landscape contractor shall power rake-out for seed.
- Landscape contractor shall provide a soil analysis of the topsoil planting mixture. Analysis to show soil classification (min. sandy loam) and nutrients.
- Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be stored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface dries out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- Plan dictates, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- Installer shall notify landscape architect prior to planting, to review plant locations and bedline configurations. If contractor installs without the placement approval of the L.A., said architect shall have the right to relocate any installed plants at the contractor's expense.
- Installer shall notify landscape architect prior to plant installation to review all materials. Any plants of poor condition, improper size, or species will be rejected.
- Upon one year review, contractor shall straighten any trees that have shifted. Any weak or bare spots in lawn shall be reseeded.
- All bedlines shall have a deep 'V' groove to define lawn to mulch edge. No 'Beehive' mounding of mulch is allowed, also keep mulch away from base of perennials.
- Do not plant materials too close to the edge of bedlines. Refer to drawings for center of plant to bedline. At a minimum no outer branching of a shrub or perennial shall be closer than two feet from the bedlines. If the as-built does not comply contractor shall adjust the plant location or bedline at his expense.
- Seed mixes include: Sandy Soil Lawn Mix by: deercreekseed.com; New England Wetland Plants, Amherst, Ma. refer to planting plan for designations.
- Any items not completed to the specifications will be required at contractors expense prior to final approvals. Contractor is to bid the work according to the specifications and not to what they may do under their standard practices. Special attention will be paid to soils, amendments, guy stakes, bedline & saucer configurations, seed mixtures, etc.
- Certain designated foundation edging is road ballast (washed rounds, non-crushed, natural) Size of stone is a range of 3/4"-1.5" dia. placed to a depth of 3", upon placement apply a coating of granular Preen (preemergent).
- Any questions concerning this drawing shall be directed to Joseph Hochrein c/o Blackwater Design, 85 Frost Lane, Webster, NH 03303, 603-648-2541.



B&B SHRUB PLANTING
NOT TO SCALE



PYRAMIDAL EVERGREEN TREE PLANTING
NOT TO SCALE



TREE PLANTING 2\"/>NOT TO SCALE

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LANDSCAPE PLAN
(MAP 209, LOT 4)

PROPOSED BUILDING ADDITIONS
22 FRIARS DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
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2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

27 JANUARY 2022

PREPARED BY:
BLACKWATER DESIGN
PHONE (603) 648-6300 FAX (603) 648-6306
Land Planning - Landscape Architecture
85 Frost Lane - Webster, NH 03303

FIELD BOOK: 1234	DRAWING NAME: 5734 SITE-LS31	5734	15 OF 15
DRAWING LOC: J:\5000\5734\DWG\5734 SITE 2021		File Number	Sheet