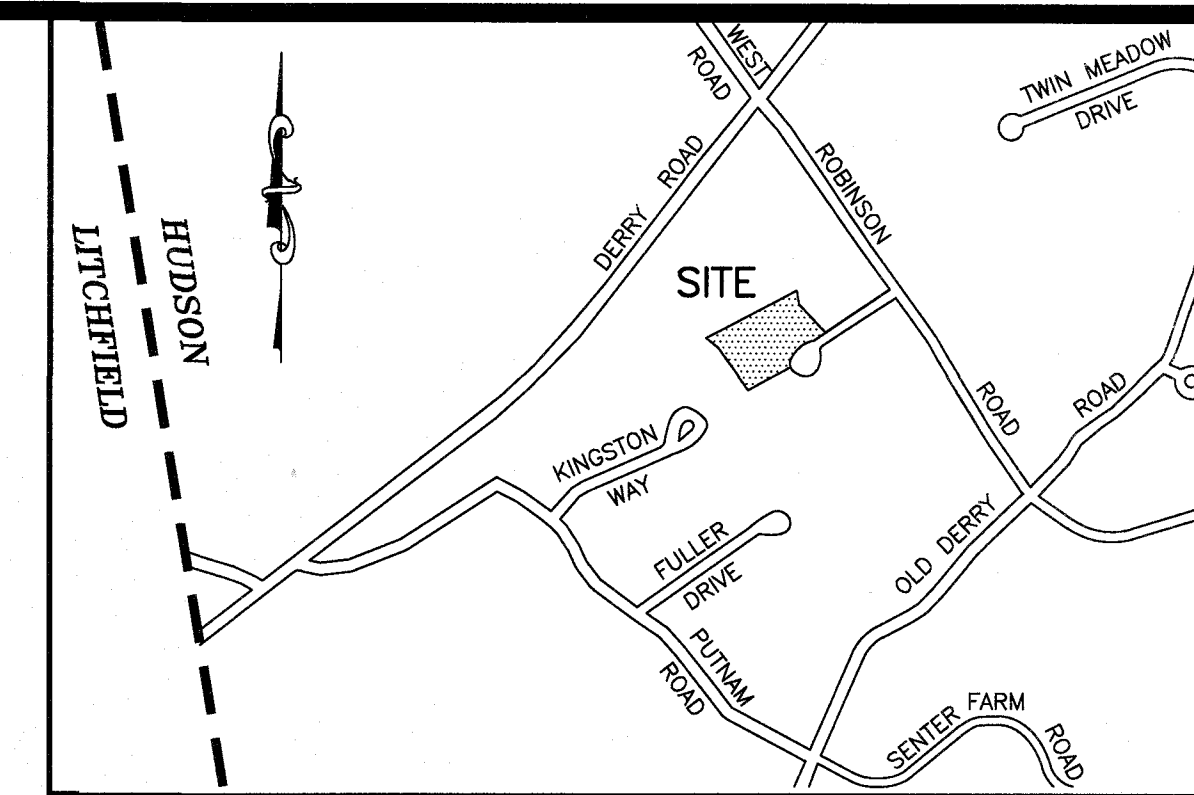


VICINITY PLAN
NOT TO SCALE



VACINITY MAP
SCALE: 1" = 1,000'

NON-RESIDENTIAL SITE PLAN S.L. CHASSE STEEL MAP 105 LOT 14 5 CHRISTINE DRIVE HUDSON, NEW HAMPSHIRE

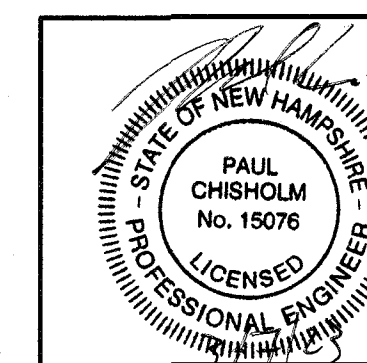
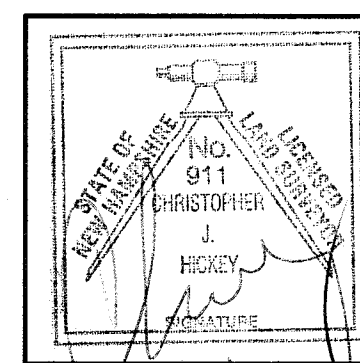
OWNER OF RECORD/APPLICANT:
STEELE PROPERTIES, LLC
8 CHRISTINE DRIVE
HUDSON, NEW HAMPSHIRE 03051

PREPARED BY:
KEACH-NORDSTROM ASSOCIATES, INC.
10 COMMERCE PARK NORTH, SUITE 3
BEDFORD, NEW HAMPSHIRE 03110
(603) 627-2881

SHEET TITLE

SHEET No.

EXISTING CONDITIONS PLAN	1
SITE PREPARATION PLAN	2
NON-RESIDENTIAL SITE LAYOUT PLAN	3
GRADING, DRAINAGE & UTILITY PLAN	4
EROSION CONTROL PLAN	5
LANDSCAPE PLAN	6
LIGHTING PLAN	7
CONSTRUCTION DETAILS	8-12



KNA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

MARCH 3, 2023

PROJECT NO. 22-0126-2

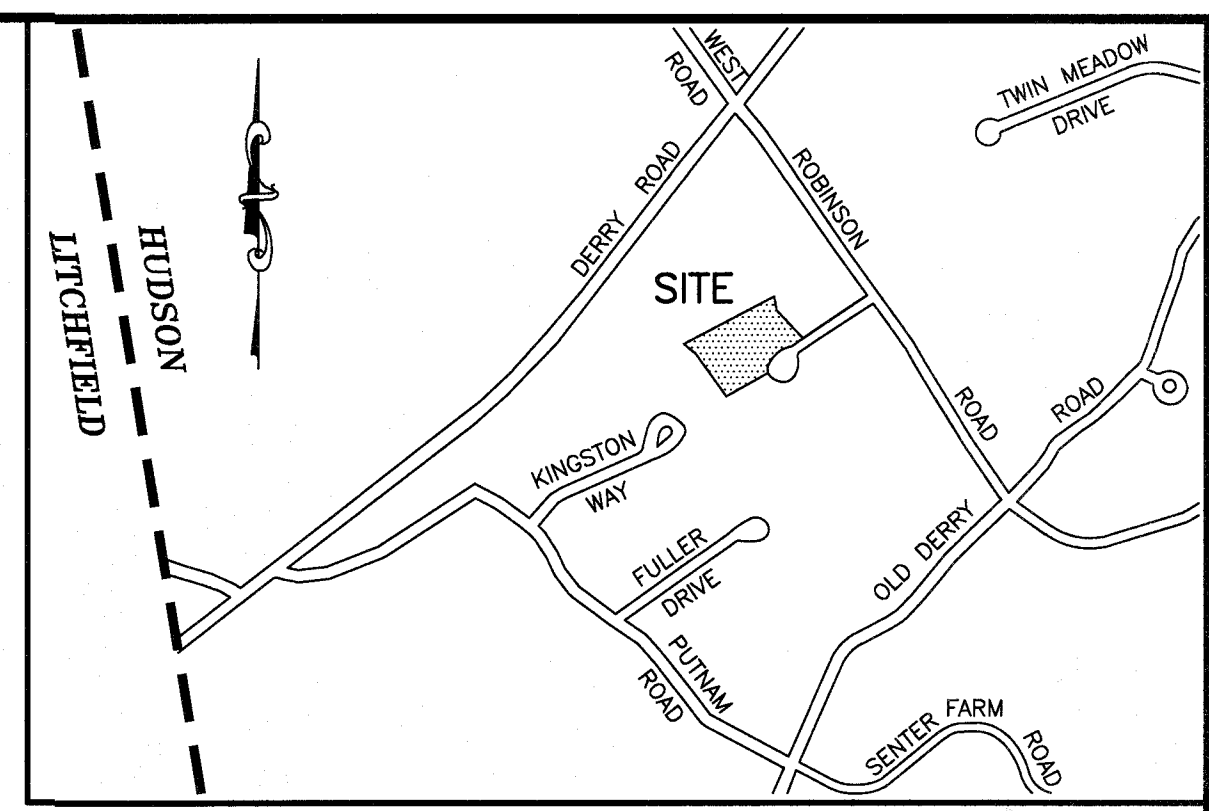
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL	APPROVED BY THE HUDSON, NH PLANNING BOARD DATE OF MEETING: _____
	_____ SIGNATURE DATE: _____
	_____ SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.	

LEGEND

- IP-F IRON PIPE FOUND
- ⊙ IR-F IRON ROD FOUND
- ⊙ DH-F DRILL HOLE FOUND
- ⊕ BENCHMARK
- ⊕ UTILITY POLE
- ⊕ WATER VALVE
- ⊕ WELL
- ⊕ SEWER MANHOLE
- ⊕ CATCH BASIN
- ⊕ ABUTTER LINE
- ⊕ PROPERTY LINE
- ⊕ WETLAND
- OHU OVERHEAD UTILITIES
- W-W WATER LINE
- DRAINAGE LINE
- TREELINE
- CAPE COD BERM
- VERTICAL GRANITE CURB
- VGC EDGE OF PAVEMENT
- EOP EDGE OF GRAVEL
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- SOIL LINE
- FLOOD LINE
- SETBACK
- EASEMENT

SCS SOILS LEGEND

- BoA** BOROHEMISTS, NEARLY LEVEL
 - DeA** DEERFIELD LOAMY FINE SAND 0-3% SLOPES
- SOURCE: USDA-SCS WEB SOIL SURVEY
HILLSBOROUGH COUNTY



NOTES:

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS PRESENT ON ASSESSORS MAP 105 LOT 114 IN THE TOWN OF HUDSON, N.H.
- AREA OF SUBJECT PARCEL:
MAP 105 LOT 14 = 154,791 SF OR 3.55 ACRES
- OWNER OF RECORD:
STEELE PROPERTIES, LLC
8 CHRISTINE DRIVE
HUDSON, NH 03051
BK. 9177 PG. 305
- THE SUBJECT PARCEL IS LOCATED WITHIN THE BUSINESS DISTRICT (B). DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS FOR LOTS NOT SERVICED WITH MUNICIPAL SEWER:
- FRONT 50 FT
- SIDE 15 FT
- REAR 15 FT
- TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE DURING FEBRUARY OF 2022.
- HORIZONTAL DATUM IS NAD 83 AND THE VERTICAL DATUM IS NAVD 88 BASED ON NHDOT CONTROL POINT 315-0910.
- SITE IS SERVICED BY MUNICIPAL WATER AND ON-SITE SEPTIC SYSTEMS.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
- EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF HUDSON MAP NUMBER 3300920508D, PANEL 508 OF 701, EFFECTIVE DATE: SEPTEMBER 25, 2009, INDICATES THAT A PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA, ZONE A WITH NO BASE FLOOD ELEVATIONS DETERMINED.

REFERENCE PLANS:

- SUBDIVISION PLAN: ROBINSON & DERRY ROAD, HUDSON, NEW HAMPSHIRE. PREPARED FOR: B&D LAND DEVELOPMENT. DATED: JULY 1980. PREPARED BY: ALLAN H. SWANSON, INC. H.C.R.D. PLAN #14329.
- "TATE SUBDIVISION, DERRY RD. ROBINSON RD. AND CHRISTINE DR." SCALE: 1"=60'. DATED: OCTOBER 11, 2005. PREPARED BY: THAYER/SWANSON, INC. H.C.R.D. PLAN #24519
- "SUBDIVISION/CONSOLIDATION/EASEMENT PLAN SWL CHASSE WELDING AND FABRICATING, INC." FOR SLC DEVELOPMENT, LLC. SCALE: 1"=50', DATED DECEMBER 27, 2007, BY KEACH-NORDSTROM ASSOCIATES, INC. HORD PLANS #36381.
- "MASTER SITE PLAN, ST. JOSEPH'S MEDICAL CENTER." SCALE: 1"=50'. DATED: DECEMBER 5, 2008. PREPARED BY: KEACH-NORDSTROM ASSOCIATES, INC. H.C.R.D. PLAN #36405
- "MASTER SITE PLAN, B&D PROPERTIES." SCALE: 1"=60'. DATED: FEBRUARY 3, 2012. PREPARED BY: KEACH-NORDSTROM ASSOCIATES, INC. H.C.R.D. PLAN #37522
- "EASEMENT PLAN SWL CHASSE WELDING AND FABRICATING INC." FOR SLC DEVELOPMENT, LLC. SCALE: 1"=60', DATED SEPTEMBER 5, 2008, BY KEACH-NORDSTROM ASSOCIATES, INC., HORD PLAN NO. 37878.

EXISTING CONDITIONS PLAN

S.L. CHASSE STEEL
MAP 105 LOT 14
5 CHRISTINE DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:
STEELE PROPERTIES, LLC
8 CHRISTINE DRIVE
HUDSON, NH 03051
H.C.R.D. BK. 9177 PG. 305



REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: MARCH 3, 2023 SCALE: 1" = 30'
PROJECT NO: 22-0126-2 SHEET 1 OF 12

MAP 105 LOT 6
THOMAS M. CLARK JR. &
SUZANNE DUMAIS
5 IROQUOIS CIRCLE
LONDONDERRY, N.H. 03053
ZONING DISTRICT: B
BK. 6073 PG. 1096

EXISTING 20' WIDE
CONSERVATION EASEMENT
CENTERED ON RELOCATED
BROOK
PER 4673/217

MAP 110 LOT 5-1
DOUGLAS E. & MARY E.
ALBERTSON
10A KINGSTON WAY
HUDSON, NH 03051
ZONING DISTRICT: G-1
BK. 5196 PG. 438
MAP 110 LOT 5-2
EDWIN L. BROWN &
IRILYS AGUIERO
10B KINGSTON WAY
HUDSON, NH 03051
ZONING DISTRICT: G-1
BK. 7107 PG. 2424



MAP 110 LOT 6-1
KIMBERLY GARDNER &
JOHN TABOR
9A KINGSTON WAY
HUDSON, NH 03051
ZONING DISTRICT: G-1
BK. 9295 PG. 1041
MAP 110 LOT 6-2
NATHAN L. STONE
9B KINGSTON WAY
HUDSON, NH 03051
ZONING DISTRICT: G-1
BK. 8249 PG. 0791

MAP 105 LOT 8
B & D PROPERTIES, LP
C/O TATE BROS PAVING CO., INC.
72 OLD DERRY ROAD
HUDSON, NH 03051
ZONING DISTRICT: G-1
BK. 8616 PG. 1205

MAP 105 LOT 14
154,791 S.F.
3.55 ACRES

MAP 105 LOT 12
GNM CORPORATION
172 KINSLEY STREET
NASHUA, NH 03060
ZONING DISTRICT: B
BK. 8137 PG. 1409

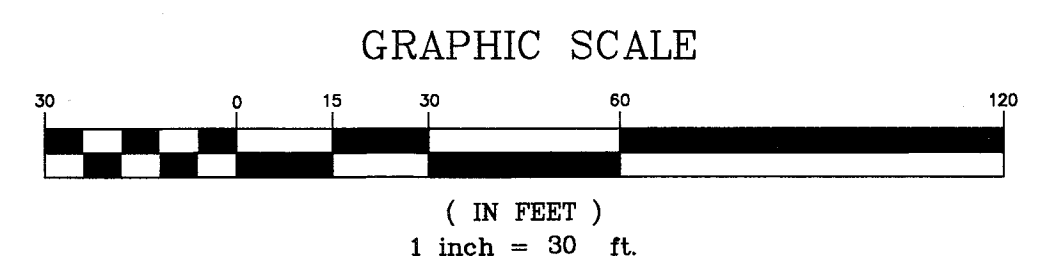
MAP 105 LOT 13
STEELE PROPERTIES, LLC
8 CHRISTINE DRIVE
HUDSON, NH 03051
BK. 9177 PG. 305

MAP 110 LOT 39
SLC DEVELOPMENT, LLC
8 CHRISTINE DRIVE
ZONING DISTRICT: B
BK. 8616 PG. 1205

OWNER OF MAP 105 LOT 14

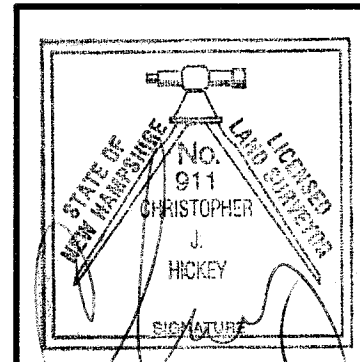
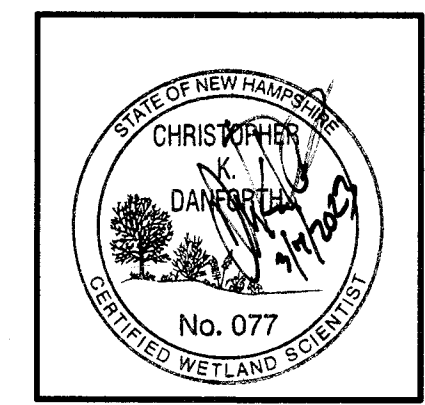
SIGNATURE: _____ FOR SLC DEVELOPMENT, LLC

DATE: _____



WETLAND CERTIFICATION

JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED IN JANUARY OF 2022 BY CHRISTOPHER K. DANFORTH CWS #077. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING "FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES" A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, NRCS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USACE 2020 NATIONAL WETLAND PLANT LIST, NWPL 2020 VERSION 3.5 HTTP://WETLAND-PLANTS.USACE.ARMY.MIL.



CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE DURING FEBRUARY OF 2022. SAID SURVEY HAS AN ERROR OF CLOSURE BETTER THAN ONE PART IN TEN THOUSAND (1:10,000).

LICENSED LAND SURVEYOR

3/7/23
DATE

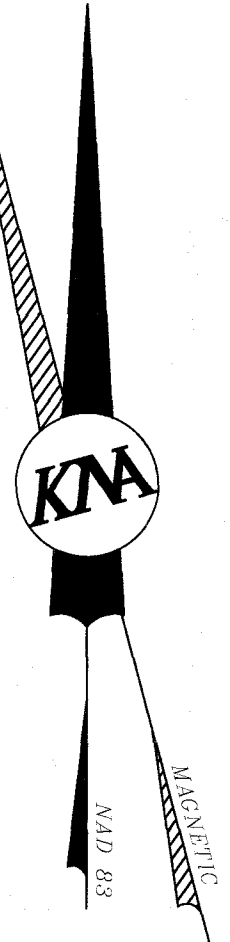
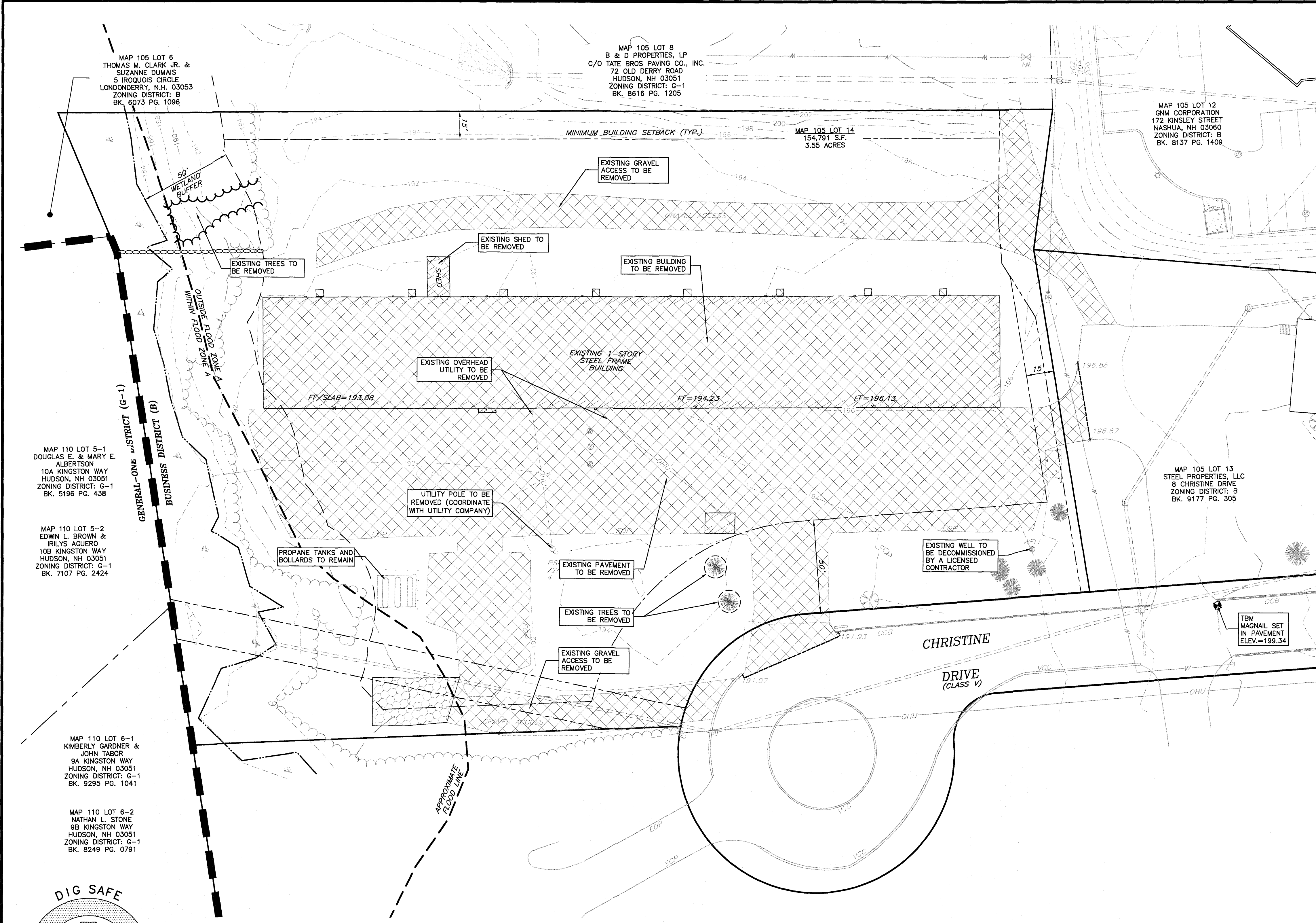
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____

SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



- SITE PREPARATION NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED REMOVALS ASSOCIATED WITH THE DEVELOPMENT OF MAP 105; LOT 14.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
 3. ALL STUMPS, ROOTS, BRANCHES, BRUSH, WOODS AND OTHER PERISHABLE MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATIONS SHALL BE DISPOSED OF BY AN APPROVED METHOD.
 4. STRIP, STOCKPILE AND REUSE ONSITE GRAVEL AND FILL AREAS WHERE APPROPRIATE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE DESIGN ENGINEER.
 5. REMOVE ALL ASPHALT, CURBING, CONCRETE, VEGETATION, TREES, SHRUBS, AND STRUCTURES WITHIN THE HATCHED AREA, UNLESS OTHERWISE NOTED.
 6. DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
 7. EXISTING WELL TO BE DECOMMISSIONED BY A LICENSED CONTRACTOR.

MAP 105 LOT 6
THOMAS M. CLARK JR. &
SUZANNE DUMAIS
5 IROQUOIS CIRCLE
LONDONDERRY, N.H. 03053
ZONING DISTRICT: B
BK. 6073 PG. 1096

MAP 105 LOT 8
B & D PROPERTIES, LP
C/O TATE BROS PAVING CO., INC.
72 OLD DERRY ROAD
HUDSON, NH 03051
ZONING DISTRICT: G-1
BK. 8616 PG. 1205

MAP 105 LOT 12
GNM CORPORATION
172 KINSLEY STREET
NASHUA, NH 03060
ZONING DISTRICT: B
BK. 8137 PG. 1409

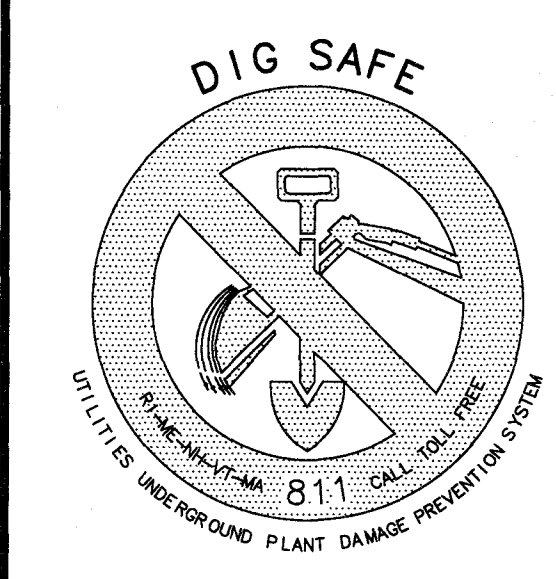
MAP 105 LOT 13
STEEL PROPERTIES, LLC
8 CHRISTINE DRIVE
HUDSON, NH 03051
ZONING DISTRICT: B
BK. 9177 PG. 305

MAP 110 LOT 5-1
DOUGLAS E. & MARY E.
ALBERTSON
10A KINGSTON WAY
HUDSON, NH 03051
ZONING DISTRICT: G-1
BK. 5196 PG. 438

MAP 110 LOT 5-2
EDWIN L. BROWN &
IRILYS AGUERO
10B KINGSTON WAY
HUDSON, NH 03051
ZONING DISTRICT: G-1
BK. 7107 PG. 2424

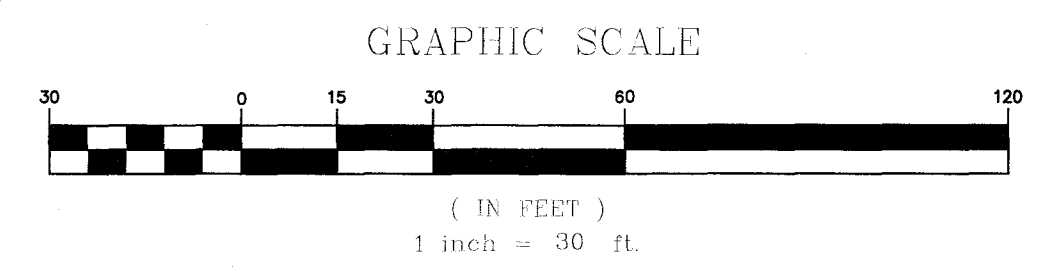
MAP 110 LOT 6-1
KIMBERLY GARDNER &
JOHN TABOR
9A KINGSTON WAY
HUDSON, NH 03051
ZONING DISTRICT: G-1
BK. 9295 PG. 1041

MAP 110 LOT 6-2
NATHAN L. STONE
9B KINGSTON WAY
HUDSON, NH 03051
ZONING DISTRICT: G-1
BK. 8249 PG. 0791



LEGEND

○ IP-F	IRON PIPE FOUND	— CCB	CAPE COD BERM
⊙ IR-F	IRON ROD FOUND	— VGC	VERTICAL GRANITE CURB
⊙ DH-F	DRILL HOLE FOUND	— EOP	EDGE OF PAVEMENT
⊙	BENCHMARK	—	EDGE OF GRAVEL
⊙	UTILITY POLE	—	10' CONTOUR
⊙	WATER VALVE	—	2' CONTOUR
⊙	WELL	—	STONEWALL
⊙	CATCH BASIN	—	SOIL LINE
—	ABUTTER LINE	—	FLOOD LINE
—	PROPERTY LINE	—	SETBACK
—	WETLAND	—	EASEMENT
— OHU	OVERHEAD UTILITIES	—	PROPOSED TREELINE
— W	WATER LINE		
—	DRAINAGE LINE		
—	TREELINE		



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____

SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

SITE PREPARATION PLAN

S.L. CHASSE STEEL

MAP 105 LOT 14
5 CHRISTINE DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

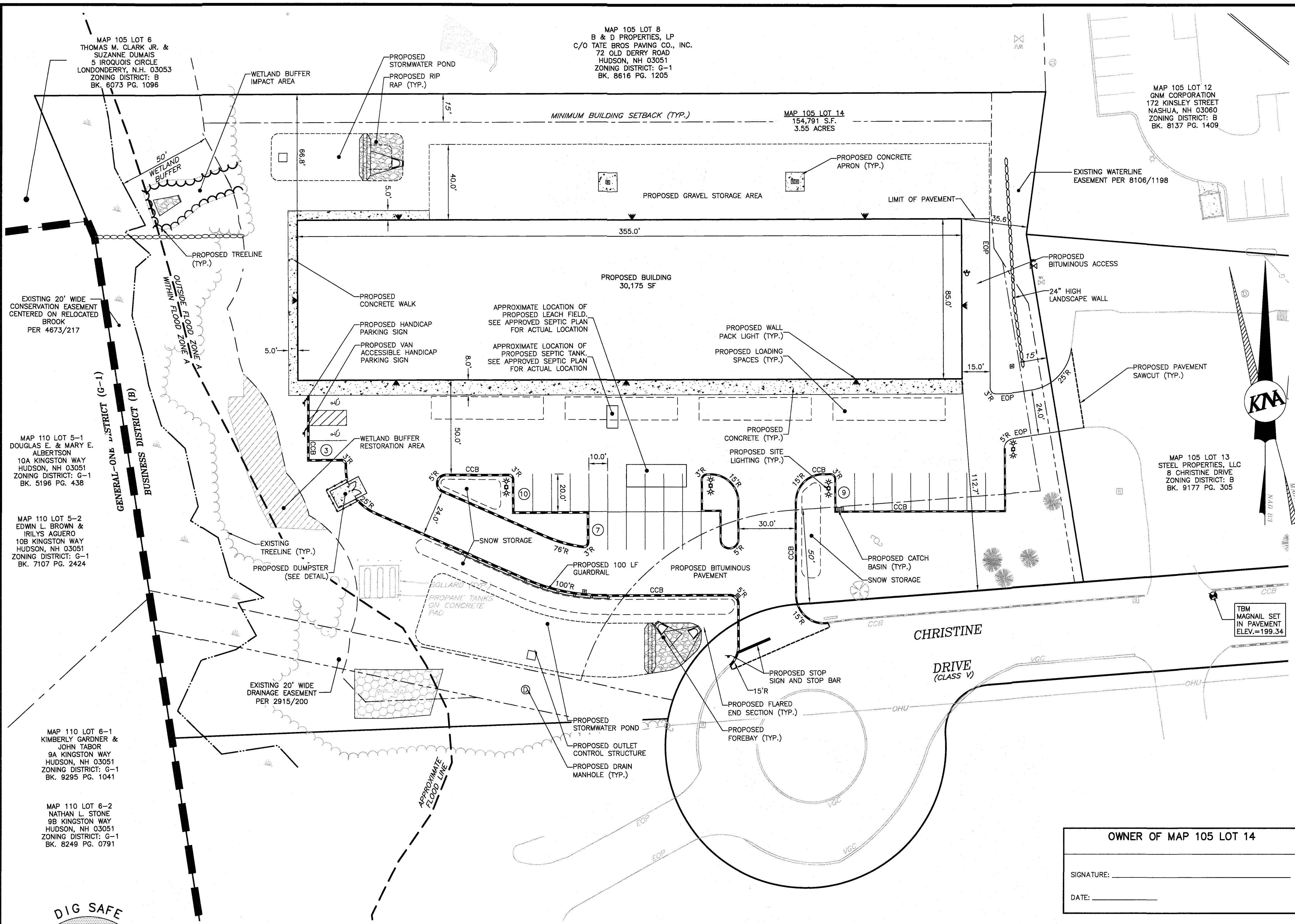
OWNER OF RECORD/APPLICANT:
STEELE PROPERTIES, LLC
8 CHRISTINE DRIVE
HUDSON, NH 03051
H.C.R.D. BK. 9177 PG. 305

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: MARCH 3, 2023 SCALE: 1" = 30'
PROJECT NO: 22-0126-2 SHEET 2 OF 12



- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED 30,175 SF INDUSTRIAL BUILDING WITH OUTDOOR STORAGE AND ASSOCIATED PARKING ON CHRISTINE DRIVE ON MAP 105 LOT 14 IN THE TOWN OF HUDSON, NEW HAMPSHIRE, AND NO OTHER PURPOSE.
 - AREA OF SUBJECT PARCEL: MAP 105 LOT 14 = 154,791 SF OR 3.55 ACRES
 - OWNER OF RECORD: STEELE PROPERTIES, LLC, 8 CHRISTINE DRIVE, HUDSON, NH 03051, BK. 9177 PG. 305
 - THE SUBJECT PARCEL IS LOCATED WITHIN THE BUSINESS DISTRICT (B). DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS FOR LOTS NOT SERVICED WITH MUNICIPAL SEWER:

	REQUIRED	PROVIDED
FRONT	50 FT	112.7 FT
SIDE	15 FT	35.6 FT
REAR	15 FT	66.8 FT
MIN. OPEN SPACE	40%	93%
MIN. LOT FRONTAGE	150 FT	254.4 FT
MIN. LOT SIZE	30,000 SF	154,791 SF
 - TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE DURING FEBRUARY OF 2022.
 - HORIZONTAL DATUM IS NAD 83 AND THE VERTICAL DATUM IS NAVD 88 BASED ON NHDOT CONTROL POINT 315-0910.
 - SITE IS SERVICED BY MUNICIPAL WATER AND ON-SITE SEPTIC SYSTEMS.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
 - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF HUDSON MAP NUMBER 330020000, PANEL 508 OF 701, EFFECTIVE DATE: SEPTEMBER 25, 2009, INDICATES THAT A PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA, ZONE A WITH NO BASE FLOOD ELEVATIONS DETERMINED.
 - EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS, AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.
 - PARKING CALCULATIONS:**

REQUIRED:	STATUS:
30,175 SF INDUSTRIAL BUILDING = 1 SPACE/600 SF = 51 SPACES	PENDING
TOTAL REQUIRED = 51 PARKING SPACES	PENDING
PROPOSED:	
TOTAL PROPOSED = 29 PARKING SPACES (INCLUDING 2 ACCESSIBLE PARKING SPACES)	
 - LOADING CALCULATIONS:**

REQUIRED:	STATUS:
1 SPACE/FIRST 5,000 SF + 1 SPACE/10,000 SF X 25,175 SF = 1 + 3 = 4 SPACES	PENDING
PROVIDED = 4 SPACES	
 - SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
 - CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE HOURS OF 7:00 AM & 7:00 PM, MONDAY THROUGH SATURDAY. NO EXTERIOR CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAY.
 - HOURS OF REFUSE REMOVAL SHALL BE EXCLUSIVE TO THE HOURS OF 7:00 AM AND 7:00 PM, MONDAY THROUGH SATURDAY ONLY.
 - HOURS OF OPERATION: 6:00 AM TO 12:00 AM, TWO SHIFTS, MONDAY THROUGH FRIDAY AND 6:00 AM TO 12:00 PM SATURDAY.
 - APPROVAL OF THIS PLAN SHALL BE SUBJECT TO FINAL ENGINEERING REVIEW.
 - IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00AM AND 5:00PM MONDAY THROUGH FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON WEEKENDS.
 - SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADE.
 - PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, AN L.L.S. CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED SITE PLAN.
 - IDENTIFICATION SIGNAGE SHALL NOT BE ERRECTED UNTIL APPROVED BY THE BUILDING INSPECTOR AND ZONING ADMINISTRATOR.
 - PERMITS REQUIRED:**

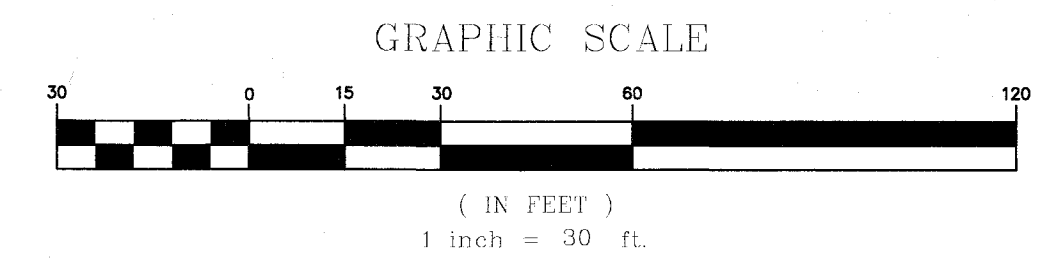
PERMIT:	STATUS:
CHANGING ALTERATION OF TERRAIN	PENDING
SEPTIC	PENDING
CONDITIONAL USE	PENDING
WETLAND BUFFER IMPACT	PENDING
CHANGE OF USE (BUSINESS TO INDUSTRIAL)	APPROVED 02/23/2023
ZONING	PENDING
DRIVEWAY	PENDING
 - HR 276-11.1.B(12) A WAIVER IS REQUESTED TO ALLOW PARKING TO BE LESS THAN REQUIRED.
 - PLOWED SNOW FROM THE FACILITIES, DRIVEWAY, PARKING LOTS AND SIDEWALK SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET. NO SNOW MAY BE PLOWED OR STORED ON THE ADJUTING PARCELS. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
 - ON-SITE DRAINAGE SYSTEM SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH NHDES REQUIREMENTS FOR SUCH SYSTEMS.
 - THE APPLICANT'S ENGINEER AND/OR CONTRACTOR SHALL CONTACT THE TOWN OF HUDSON TO SCHEDULE A PRE-CONSTRUCTION MEETING, WHICH WILL BE HELD WITH STAFF PRIOR TO STARTING CONSTRUCTION.
 - ALL STIPULATIONS OF APPROVAL SHALL BE INCORPORATED INTO THE DEVELOPMENT AGREEMENT, WHICH SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS, TOGETHER WITH THE SITE PLAN-OF-RECORD AND ALL AGREED UPON EASEMENT DEEDS, WHICH SHALL BE FAVORABLY REVIEWED BY TOWN COUNSEL PRIOR TO PLANNING BOARD ENDORSEMENT OF PLAN.
 - ALL IMPROVEMENTS SHOWN ON THE SITE PLAN-OF-RECORD, INCLUDING NOTES 1-40, SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
 - THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION.
 - IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
 - AFTER ISSUANCE OF THE FOUNDATION PERMIT FOR THE PROPOSED BUILDING, AND PRIOR TO THE ISSUANCE OF THE FRAMING PERMIT THEREOF, THE APPLICANT SHALL SUBMIT TO THE HUDSON COMMUNITY DEVELOPMENT DEPARTMENT A FOUNDATION "AS-BUILT" PLAN ON A TRANSPARENT AND TO THE SAME SCALE AS THE APPROVED SITE PLAN. THE FOUNDATION "AS-BUILT" PLAN SHALL INCLUDE ALL STRUCTURAL DIMENSIONS AND LOT LINE SETBACK MEASUREMENTS TO THE FOUNDATION AND BE STAMPED BY A LICENSED LAND SURVEYOR. ANY DISCREPANCY BETWEEN THE APPROVED SITE PLAN AND FOUNDATION "AS-BUILT" PLANS SHALL BE DOCUMENTED BY THE APPLICANT AND BE PART OF THE FOUNDATION "AS-BUILT" SUBMISSION.
 - PROPOSED BUILDING HEIGHT IS UNDER 38'
 - TOTAL AREA OF DISTURBANCE = 102,440 SF
 - THE PROPOSED PROJECT HAS BEEN DESIGNED TO MEET 2018 MS4 REQUIREMENTS.
 - WETLAND MAPPING FOR THIS SITE WAS DONE BY WETLAND SCIENTIST CHRISTOPHER K. DANFORTH, CWS #077, IN JANUARY OF 2022, REFER TO REFERENCE PLAN NUMBER ONE FOR MORE INFORMATION.
 - ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD PRIOR TO INSTALLATION.
 - IF OWNER SELLS EITHER LOTS 14 OR 13, AN EASEMENT FOR CROSS ACCESS WILL BE NECESSARY.



NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND. THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.

- LEGEND**
- UTILITY POLE
 - PROPOSED SIGN
 - PROPOSED HYDRANT
 - PROPOSED DRAINAGE MANHOLE
 - PROPOSED CATCH BASIN
 - PROPOSED OUTLET STRUCTURE
 - ABUTTER LINE
 - PROPERTY LINE
 - WETLAND
 - OVERHEAD UTILITIES
 - TREELINE
 - EDGE OF PAVEMENT
 - STONEWALL
 - PROPOSED TREELINE
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED BITUMINOUS CURB
 - PROPOSED LANDSCAPE WALL
 - EASEMENT
 - SITE LIGHTING
 - BUILDING WALL PACK LIGHTING



OWNER OF MAP 105 LOT 14

SIGNATURE: _____

DATE: _____

- REFERENCE PLANS:**
- SUBDIVISION PLAN: ROBINSON & DERRY ROAD, HUDSON, NEW HAMPSHIRE. PREPARED FOR: B&D LAND DEVELOPMENT. DATED: JULY 1980. PREPARED BY: ALLAN H. SWANSON, INC. H.C.R.D. PLAN #14329.
 - "TATE SUBDIVISION, DERRY RD. ROBINSON RD. AND CHRISTINE DR." SCALE: 1"=60'. DATED: OCTOBER 11, 2005. PREPARED BY: THAYER/SWANSON, INC. H.C.R.D. PLAN #24519
 - "SUBDIVISION/CONSOLIDATION/EASEMENT PLAN SWL CHASSE WELDING AND FABRICATING, INC." FOR SLC DEVELOPMENT, LLC, SCALE: 1"=50', DATED DECEMBER 27, 2007, BY KEACH-NORDSTROM ASSOCIATES, INC. H.C.R.D. PLAN #36381
 - "MASTER SITE PLAN, ST. JOSEPH'S MEDICAL CENTER." SCALE: 1"=50'. DATED: DECEMBER 5, 2008. PREPARED BY: KEACH-NORDSTROM ASSOCIATES, INC. H.C.R.D. PLAN #36405
 - "MASTER SITE PLAN, B&D PROPERTIES." SCALE: 1"=60'. DATED: FEBRUARY 3, 2012. PREPARED BY: KEACH-NORDSTROM ASSOCIATES, INC. H.C.R.D. PLAN #37522
 - "EASEMENT PLAN SWL CHASSE WELDING AND FABRICATING, INC." FOR SLC DEVELOPMENT, LLC, SCALE: 1"=60', DATED SEPTEMBER 5, 2008, BY KEACH-NORDSTROM ASSOCIATES, INC., H.C.R.D. PLAN NO. 37878.

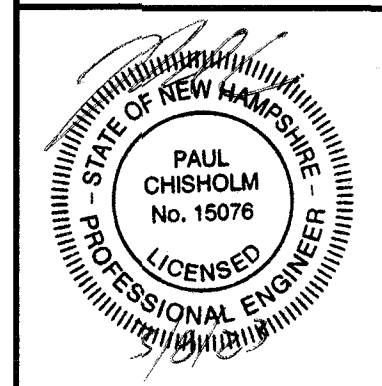
NON-RESIDENTIAL SITE LAYOUT PLAN

S.L. CHASSE STEEL

MAP 105 LOT 14
5 CHRISTINE DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:
STEELE PROPERTIES, LLC
8 CHRISTINE DRIVE
HUDSON, NH 03051
H.C.R.D. BK. 9177 PG. 305

KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: MARCH 3 2023 SCALE: 1" = 30'
PROJECT NO: 22-0126-2 SHEET 3 OF 12

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

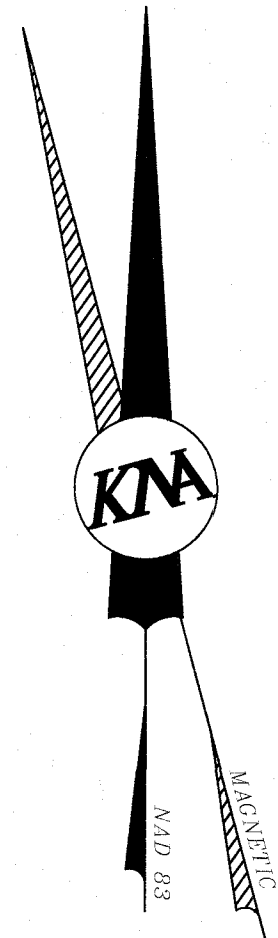
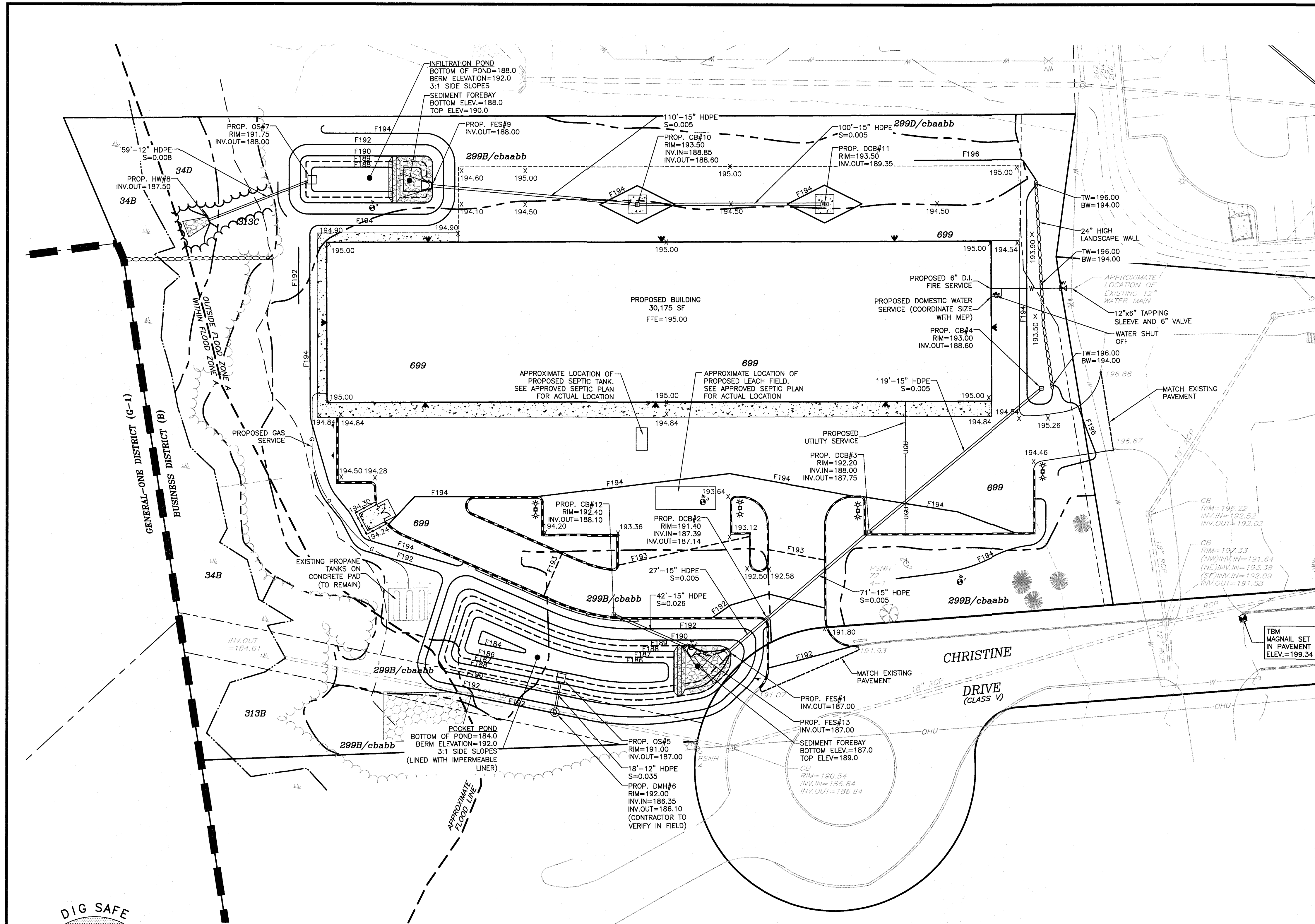
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____

SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



- CONSTRUCTION NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED GRADING, DRAINAGE, AND UTILITY SYSTEMS FOR THIS SITE.
 2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL WORK PERFORMED IN THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
 3. CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPARTMENT, HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHOWN SHALL BE HDPE. CATCH BASINS SHALL BE TYPE B, AND HAVE 3' SUMPS UNLESS OTHERWISE NOTED.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
 5. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE WATER, SANITARY SEWER, AND ELECTRICAL UTILITIES SHOWN HERE SHALL BE COORDINATED WITH THE FINAL BUILDING PLANS PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES.
 7. PLANS TO COMPLY WITH THE TOWN OF HUDSON MS4 PERMIT.
 8. PLAN ELEMENTS RELATED TO FIRE SUPPRESSION SHALL BE SUBJECT TO REVIEW BY THE FIRE DEPARTMENT AT THE TIME OF BUILDING APPLICATION.

SITE SPECIFIC SOIL MAP UNIT KEY

SYMBOL	MAP UNIT	SLOPE CLASS	DRAINAGE CLASS	HSG
	UDORTMENTS, SMOOTHED	0-8%	WELL DRAINED	B
	UDORTMENTS, SMOOTHED	0-8%	WELL DRAINED	B
	UDORTMENTS, SMOOTHED	15-25%	WELL DRAINED	B
	DEERFIELD LOAMY SAND	0-8%	MODERATELY WELL DRAINED	B
	DEERFIELD LOAMY SAND	8-15%	MODERATELY WELL DRAINED	B
	WAREHAM LOAMY SAND	0-8%	POORLY DRAINED	C
	WAREHAM LOAMY SAND	15-25%	POORLY DRAINED	C
	URBAN LAND			B

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP. THE SITE SPECIFIC SOIL SURVEY (SSSS) WAS PRODUCED AUGUST 7, 2022, AND WAS PREPARED BY JAMES GOVE, CWS # 004, GOVE ENVIRONMENTAL SERVICES, INC. THE SURVEY AREA IS LOCATED AT CHRISTINE DRIVE, HUDSON, NH. SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH. ISSUE # 10, JANUARY 2011. THE NUMERIC LEGEND WAS AMENDED TO IDENTIFY THE CORRECT SOIL COMPONENTS OF THE COMPLEX. HYDROLOGIC SOIL GROUP FROM KSAT VALUES FOR NEW HAMPSHIRE SOILS, SOCIETY OF SOIL SCIENTISTS OF NEW ENGLAND, SPECIAL PUBLICATION NO. 5, SEPTEMBER, 2009.



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

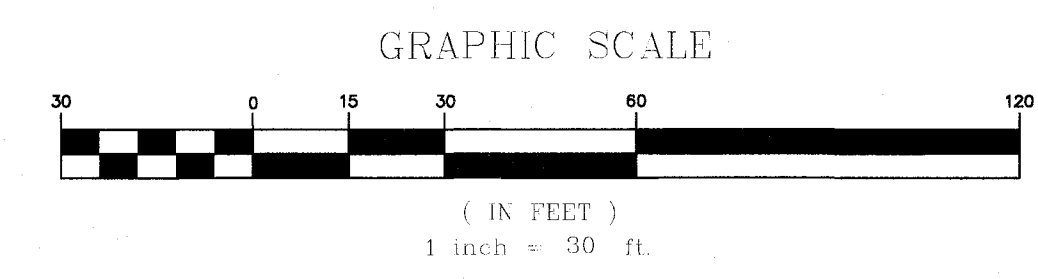
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LEGEND

	UTILITY POLE		PROPOSED OVERHEAD UTILITIES
	PROPOSED SIGN		PROPOSED UNDERGROUND UTILITIES
	PROPOSED HYDRANT		PROPOSED GAS LINE
	PROPOSED DRAINAGE MANHOLE		PROPOSED WATER LINE
	PROPOSED CATCH BASIN		PROPOSED DRAINAGE LINE
	PROPOSED OUTLET STRUCTURE		PROPOSED TREELINE
	ABUTTER LINE		PROPOSED EDGE OF PAVEMENT
	PROPERTY LINE		PROPOSED BITUMINOUS CURB
	WETLAND		PROPOSED 2' CONTOUR
	OVERHEAD UTILITIES		PROPOSED LANDSCAPE WALL
	DRAINAGE LINE		EASEMENT
	TREELINE		SITE LIGHTING
	EDGE OF PAVEMENT		BUILDING WALL PACK LIGHTING
	STONEWALL		TEST PIT
	10' CONTOUR		
	2' CONTOUR		
	SITE SPECIFIC SOIL BOUNDARY		



GRADING, DRAINAGE & UTILITY PLAN

S. L. CHASSE STEEL

MAP 105 LOT 14
5 CHRISTINE DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

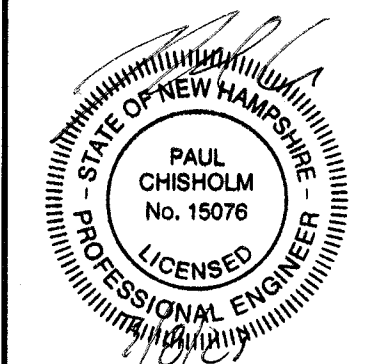
OWNER OF RECORD/APPLICANT:
STEELE PROPERTIES, LLC
8 CHRISTINE DRIVE
HUDSON, NH 03051
H.C.R.D. BK. 9177 PG. 305

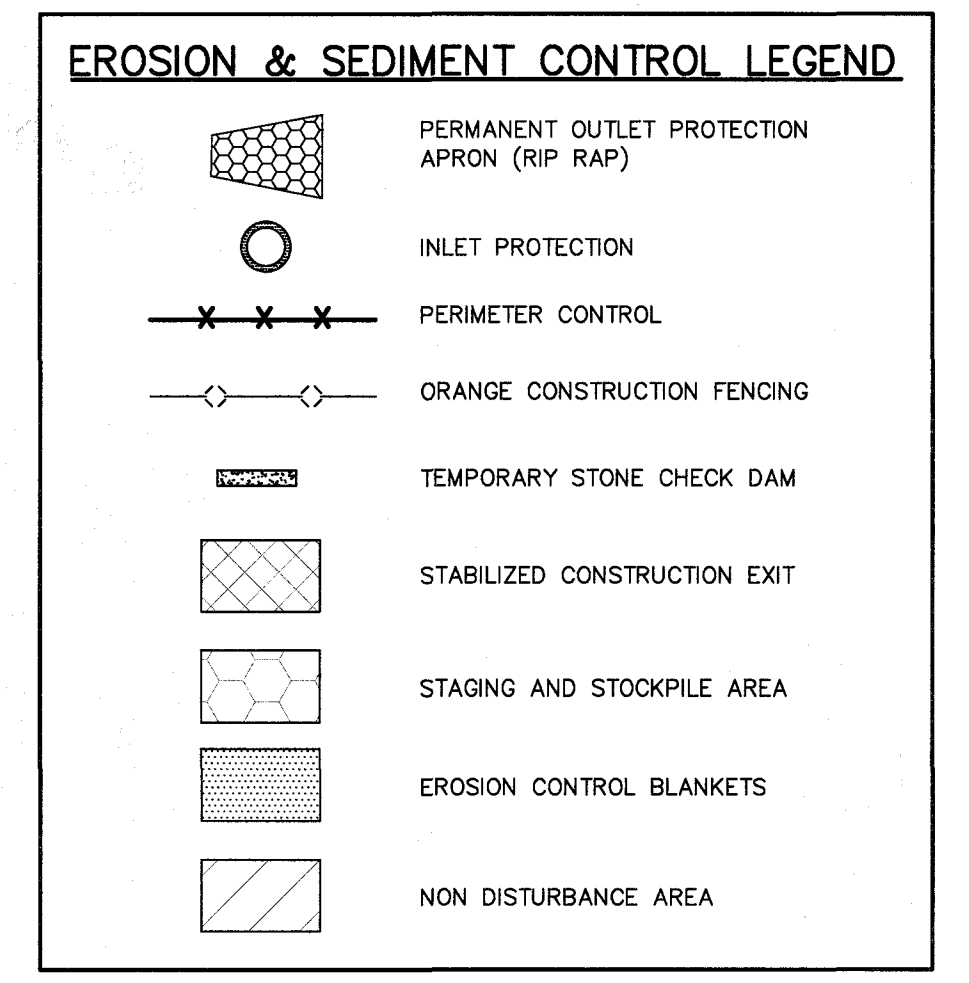
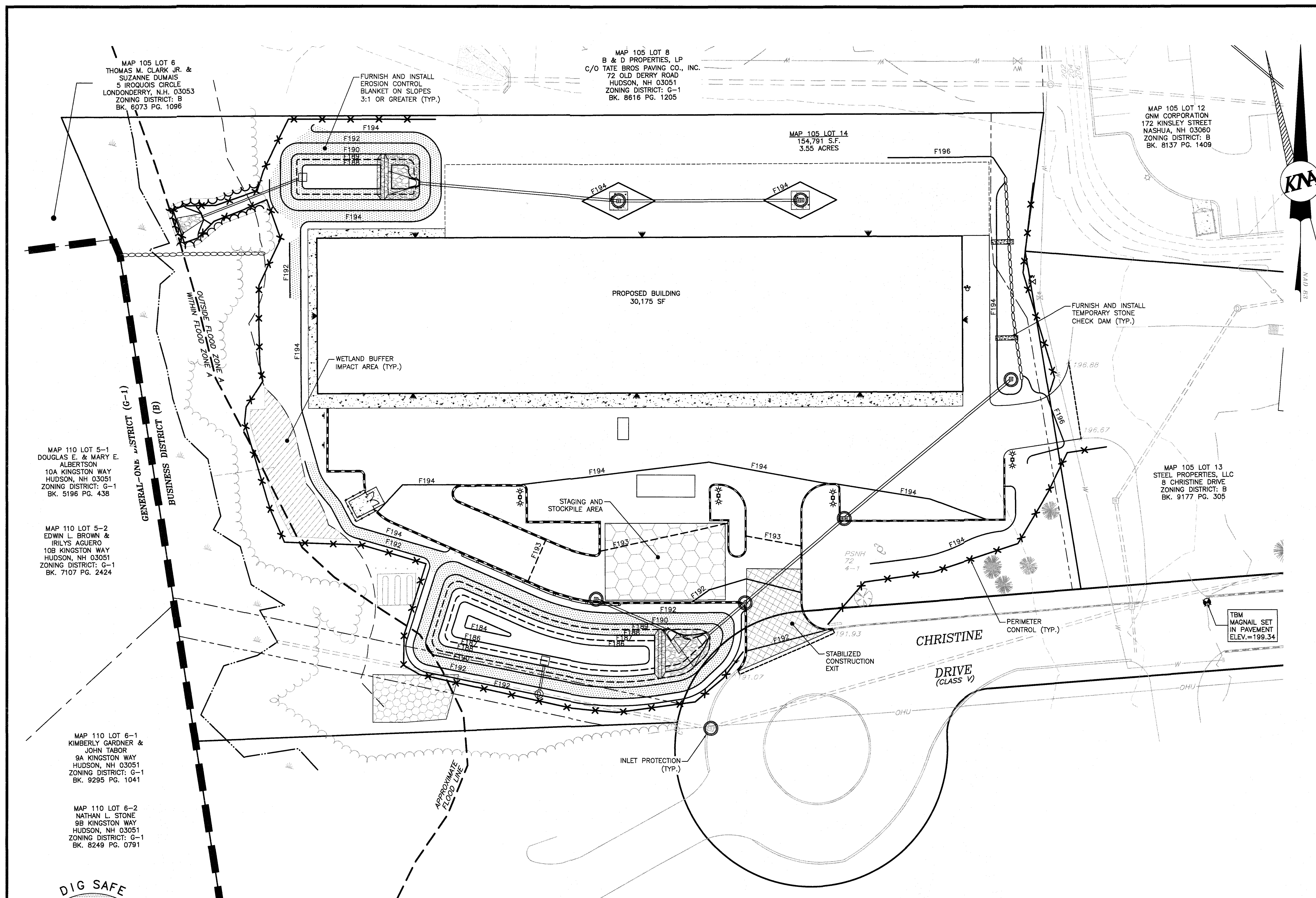
KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: MARCH 3, 2023 SCALE: 1" = 30'
PROJECT NO: 22-0126-2 SHEET 4 OF 12





- EROSION CONTROL NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES AS WELL AS THE PERMANENT EROSION CONTROL MEASURES.
 2. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME.
 3. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
 4. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
 5. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
 6. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
 7. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
 8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
 9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
 10. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
 11. INFILTRATION AREAS ARE TO BE PROTECTED FROM OVER-COMPACTION DURING CONSTRUCTION.
 12. SLOPES OVER 2:1 TO BE DESIGNED BY A GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
 13. ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, EXCEPT FOR SILT FENCE INSTALLED IN ACCORDANCE WITH ENV-NH 1508.04 UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, INLET PROTECTION, CHECK DAMS, AND SEDIMENT TRAPS SHALL NOT CONTAIN WELDED PLASTIC, PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/2".
 14. TURF REINFORCEMENT MATS SHALL BE COVERED WITH SOIL TO PREVENT EXPOSURE OF THE MATS TO THE SURFACE.

MAP 105 LOT 6
THOMAS M. CLARK JR. &
SUZANNE DUMAIS
5 IROQUOIS CIRCLE
LONDONDERRY, N.H. 03053
ZONING DISTRICT: B
BK. 6073 PG. 1096

MAP 105 LOT 8
B & D PROPERTIES, LP
C/O TATE BROS PAVING CO., INC.
72 OLD BERRY ROAD
HUDSON, NH 03051
ZONING DISTRICT: G-1
BK. 8616 PG. 1205

MAP 105 LOT 14
154,791 S.F.
3.55 ACRES

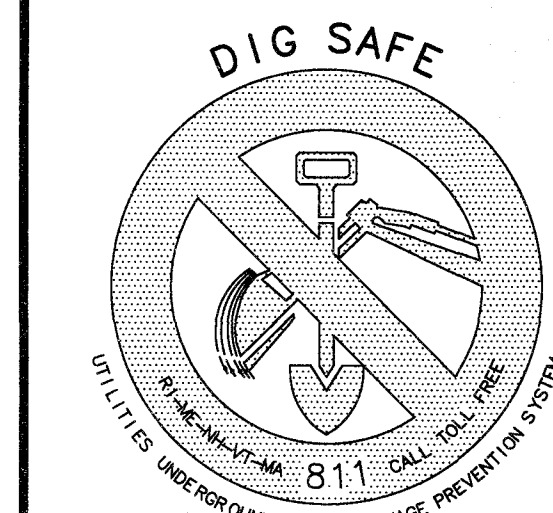
MAP 105 LOT 12
GNM CORPORATION
172 KINSLEY STREET
NASHUA, NH 03060
ZONING DISTRICT: B
BK. 8137 PG. 1409

MAP 110 LOT 5-1
DOUGLAS E. & MARY E.
ALBERTSON
10A KINGSTON WAY
HUDSON, NH 03051
ZONING DISTRICT: G-1
BK. 5196 PG. 438

MAP 110 LOT 5-2
EDWIN L. BROWN &
IRILYS AGUIERO
10B KINGSTON WAY
HUDSON, NH 03051
ZONING DISTRICT: G-1
BK. 7107 PG. 2424

MAP 110 LOT 6-1
KIMBERLY GARDNER &
JOHN TABOR
9A KINGSTON WAY
HUDSON, NH 03051
ZONING DISTRICT: G-1
BK. 9295 PG. 1041

MAP 110 LOT 6-2
NATHAN L. STONE
9B KINGSTON WAY
HUDSON, NH 03051
ZONING DISTRICT: G-1
BK. 8249 PG. 0791



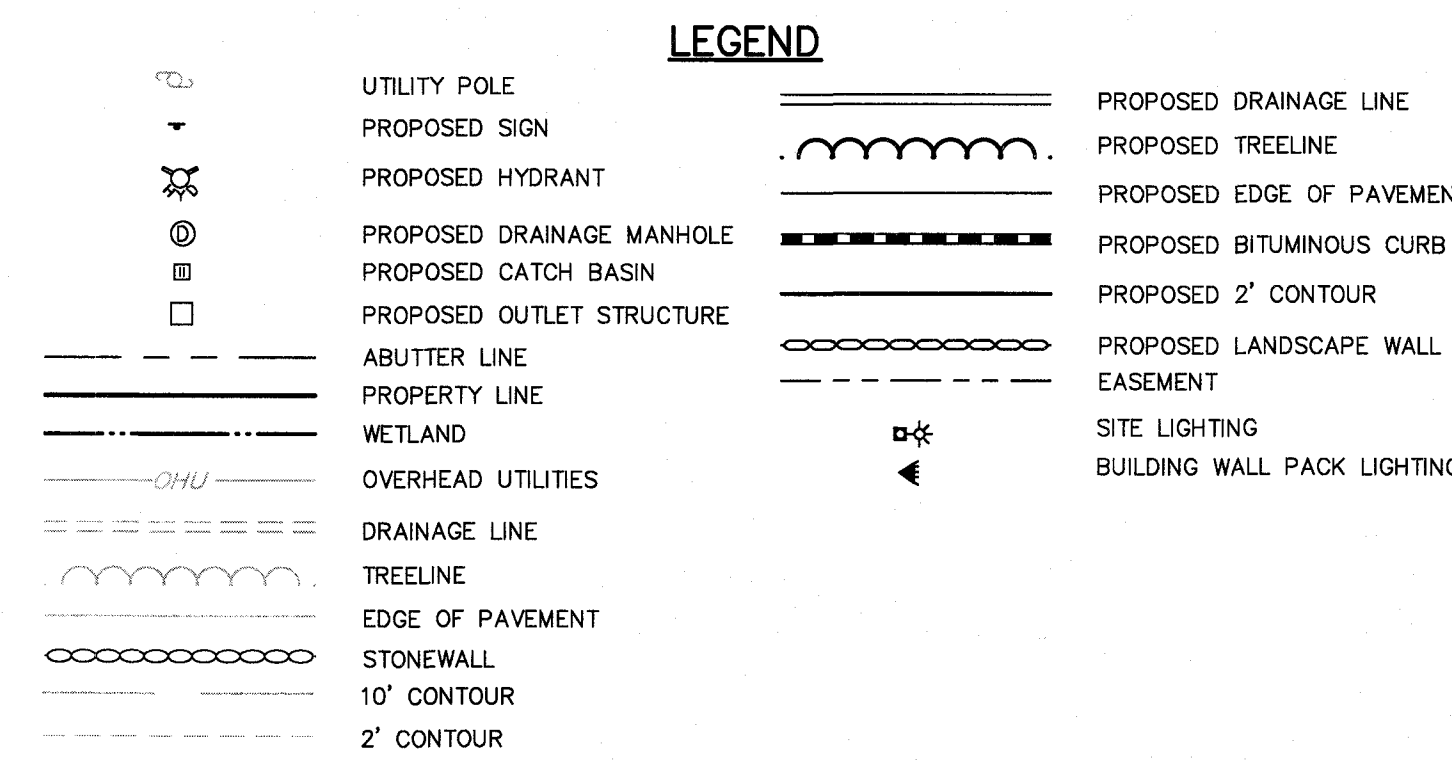
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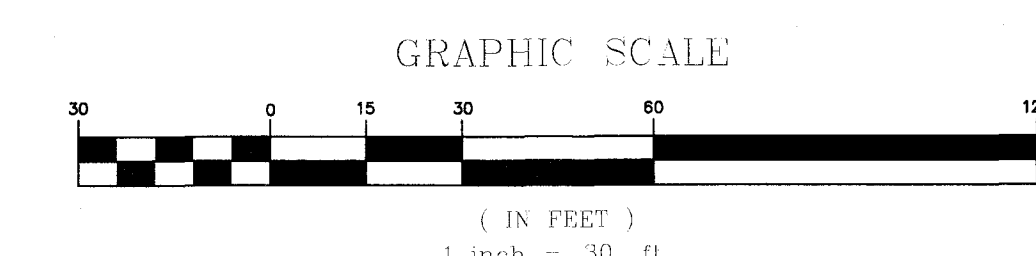
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NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND, THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND OPERATOR (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.



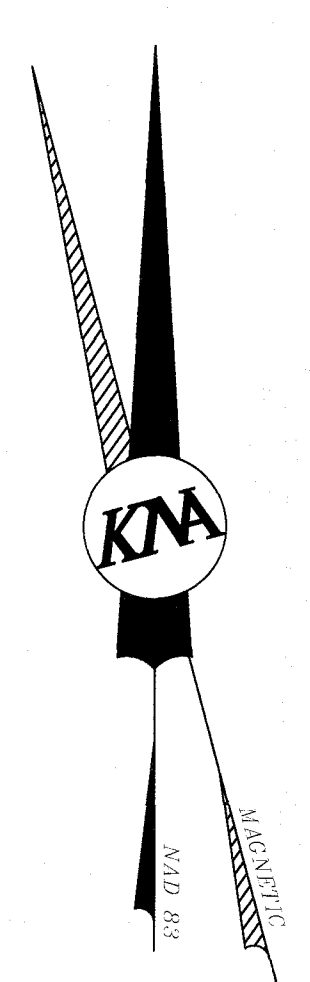
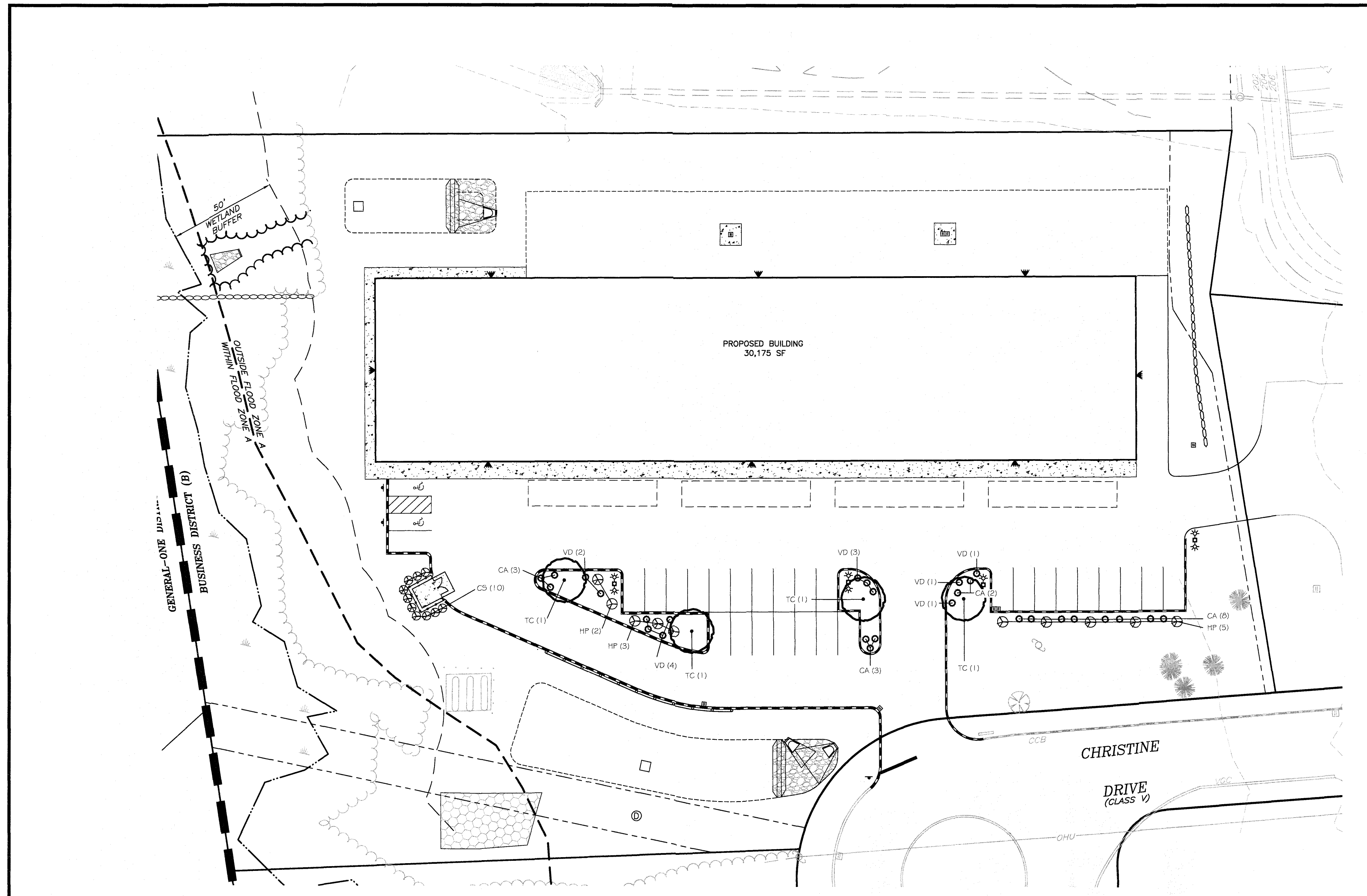
EROSION CONTROL PLAN
S.L. CHASSE STEEL
MAP 105 LOT 14
5 CHRISTINE DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:
STEELE PROPERTIES, LLC
8 CHRISTINE DRIVE
HUDSON, NH 03051
H.C.R.D. BK. 9177 PG. 305

KMA KEACH-NORDSTROM ASSOCIATES, INC.
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REVISIONS			
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DATE: MARCH 3, 2023 SCALE: 1" = 30'
PROJECT NO: 22-0126-2 SHEET 5 OF 12



- LANDSCAPE NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE LANDSCAPE WHICH PROVIDES CLIMATIC RELIEF AND AESTHETIC APPEAL.
 2. ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOW HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE; WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTIES TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
 3. IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS: ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% PEATMOSS AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
 4. PLANTING BEDS AND SAUCERS SHALL RECEIVE A 4" MINIMUM THICKNESS OF PINE/HEMLOCK BARK MULCH OVER A 5oz. POLYPROPYLENE WEED CONTROL FABRIC.
 5. PAVEMENT AND ROAD BASE MATERIAL ENCOUNTERED IN ANY LAWN OR PLANTING BED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AND SUITABLE AMENDED SOIL INSTALLED AS SPECIFIED IN THE TURF ESTABLISHMENT SCHEDULE.
 6. PLANT TYPES SHOWN ARE SUBJECT TO AVAILABILITY. SUBSTITUTE MATERIALS CAN BE IMPLEMENTED WITH APPROVAL FROM KEACH NORDSTROM ASSOCIATES PRIOR TO CONSTRUCTION.

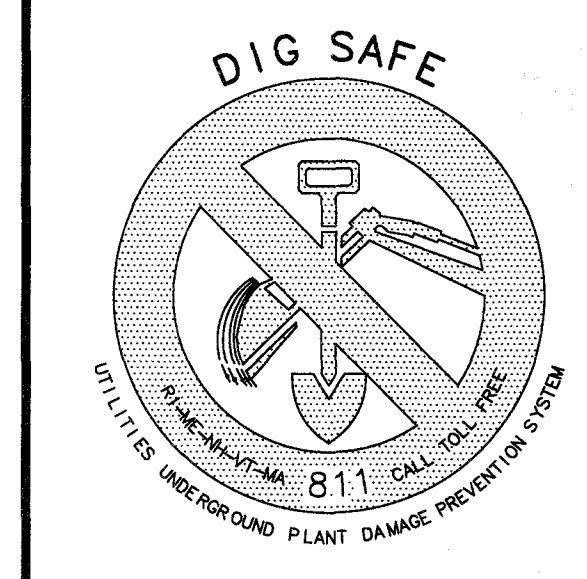
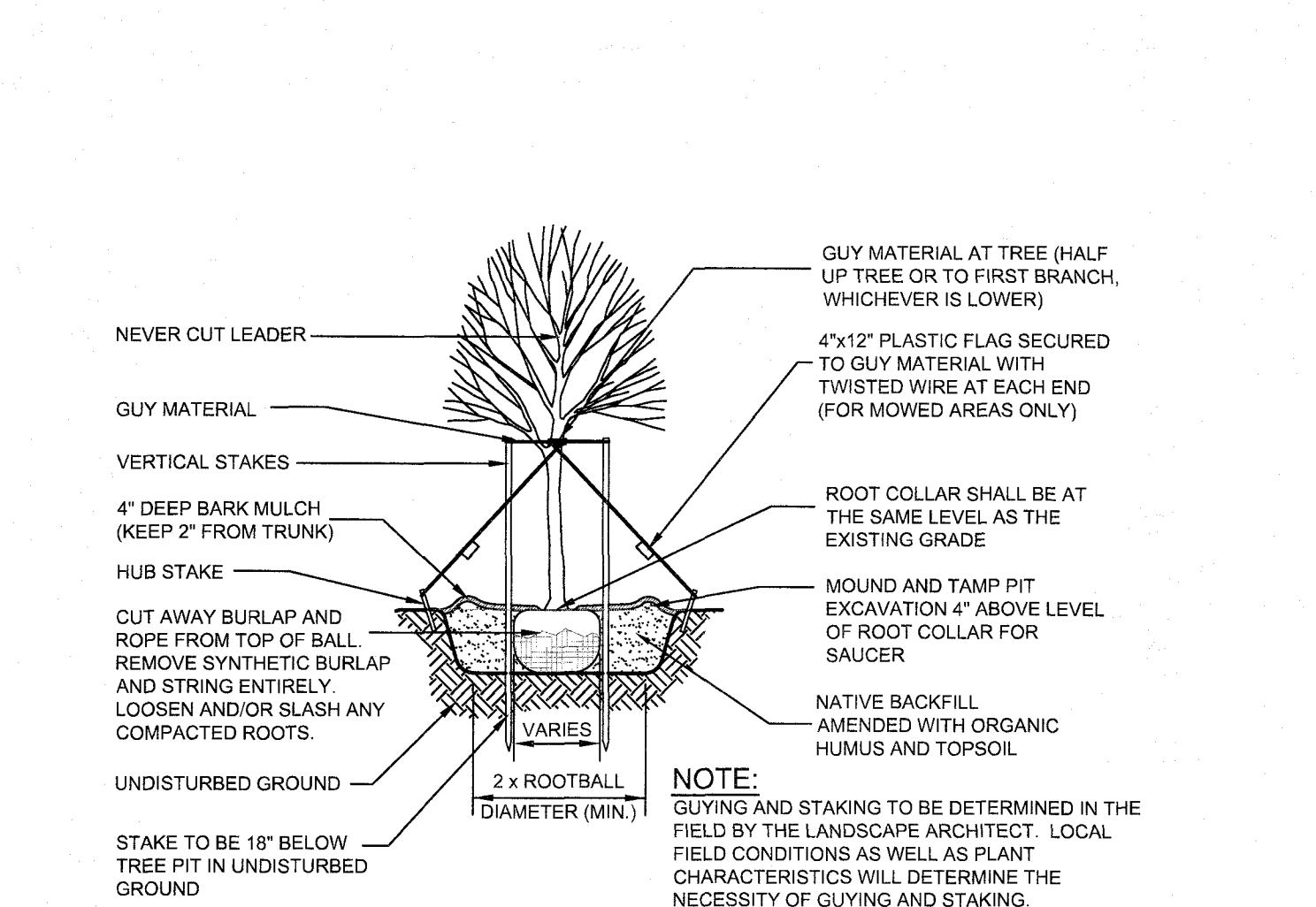
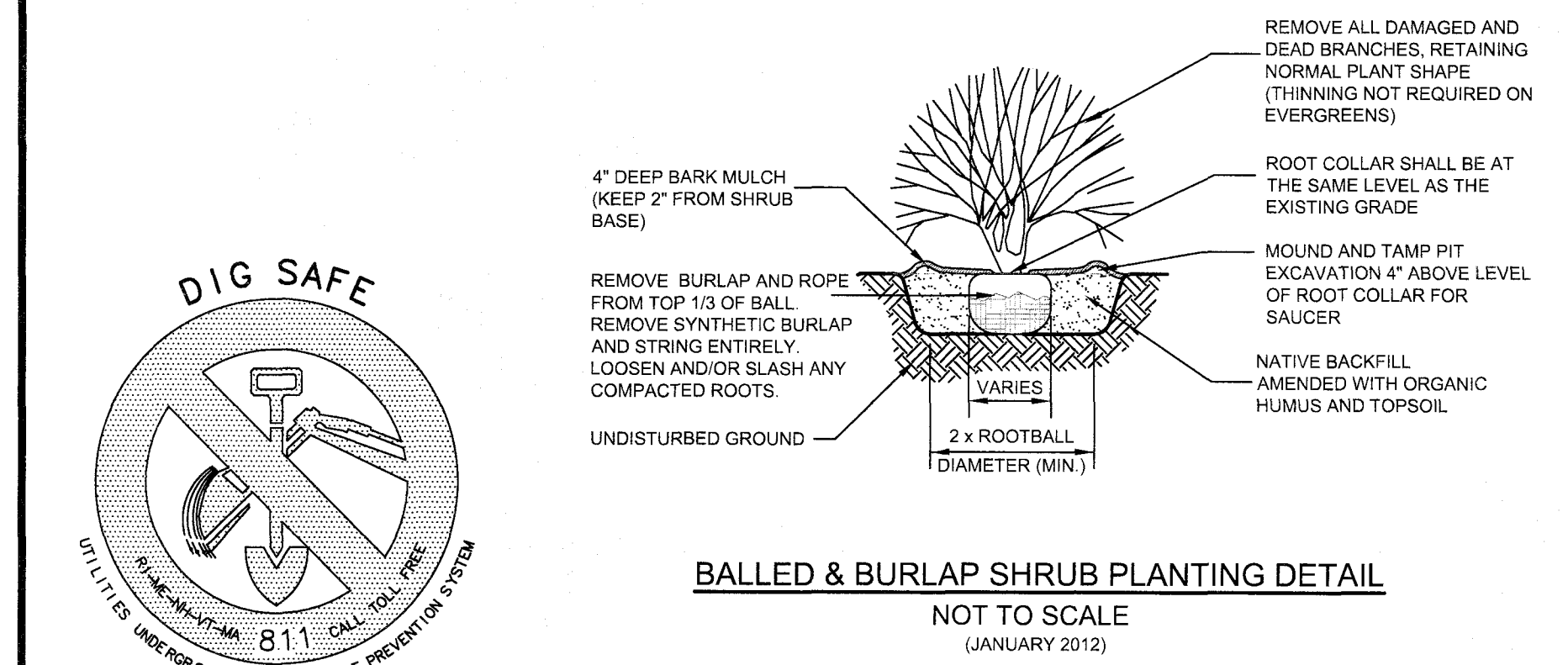
LANDSCAPE CALCULATIONS

REQUIRED PARKING LOT INTERIOR LANDSCAPE AREA	
PROPOSED PARKING AREA AREA:	9,409 SF
10% REQUIRED LANDSCAPE AREA:	941 SF
PROVIDED LANDSCAPE AREA:	2,342 SF

REQUIRED PARKING LOT SHADE TREES AND SHRUBS	
PROPOSED PAVED AREA:	9,409 SF
SHADE TREES REQUIRED (9,409/1,600):	6 TREES REQUIRED
(OR 1 TREE/5 PROP. PARKING SPACES)	6 TREES REQUIRED
SHADE TREES PROVIDED:	4 TREES PROPOSED
	6 EXISTING TREES
SHRUBS REQUIRED (9,409/200):	47 SHRUBS, OR
(OR 1.6 x 29 PROP. PARKING SPACES)	46 SHRUBS REQUIRED
SHRUBS PROVIDED:	48 SHRUBS PROPOSED

PLANTING SCHEDULE

Botanical Name/ Common Name	Size	Label	Quantity	Mature Height
Trees				
<i>Tilia cordata</i> 'Greenspire' / Greenspire Littleleaf Linden	3-3.5" CAL.	TC	4	40-60'
Shrubs				
<i>Cornus sericea</i> 'Arctic Fire' / Arctic Fire Red-Osier Dogwood	#3	CS	10	5-6'
<i>Hydrangea paniculata</i> 'Bomshell' / Bomshell Panicle Hydrangea	#5 Gal.	HP	10	3-4'
<i>Clethra alnifolia</i> 'Compacta' / Compact Summersweet	#5 Gal.	CA	16	3-4'
<i>Viburnum dilatatum</i> 'Cardinal Candy' / Cardinal Candy Viburnum	#5 Gal.	VD	12	6-8'



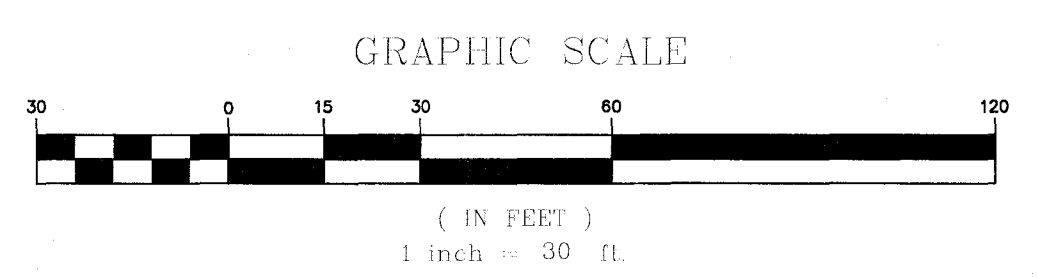
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LANDSCAPE PLAN

S.L. CHASSE STEEL

MAP 105 LOT 14
5 CHRISTINE DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

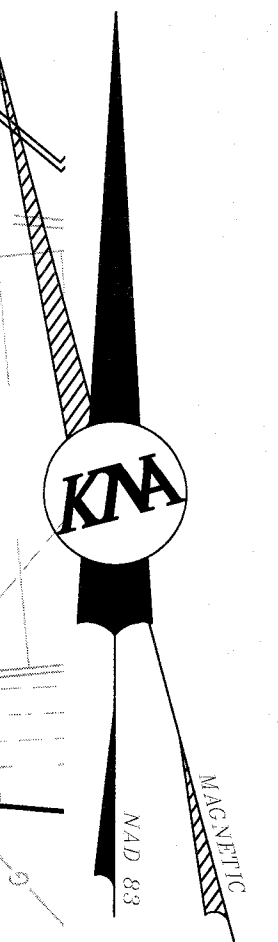
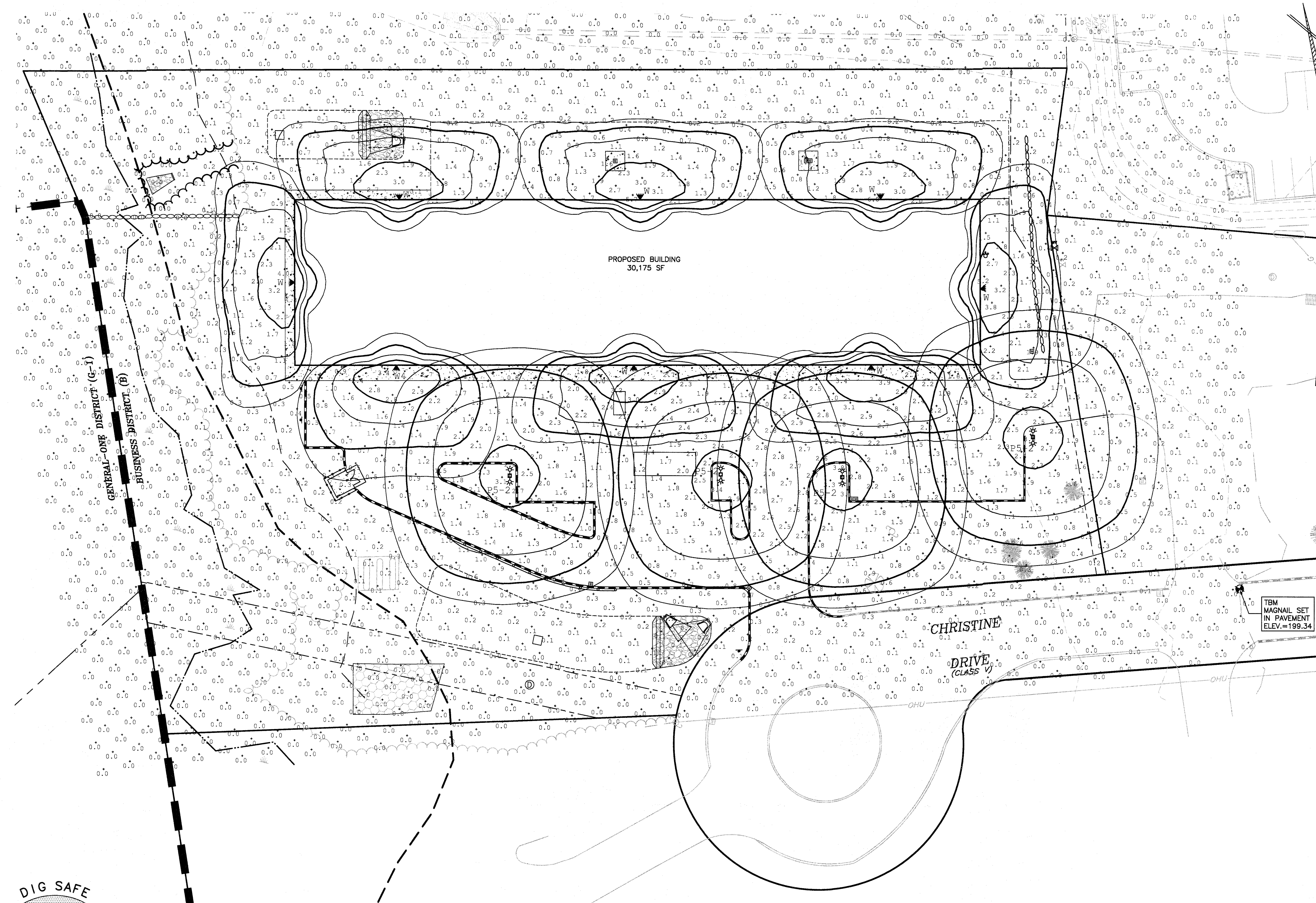
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DATE: MARCH 3, 2023 SCALE: 1" = 30'
PROJECT NO: 22-0126-2 SHEET 6 OF 12

PAUL CHISHOLM
No. 15076
LICENSED PROFESSIONAL ENGINEER
STATE OF NEW HAMPSHIRE



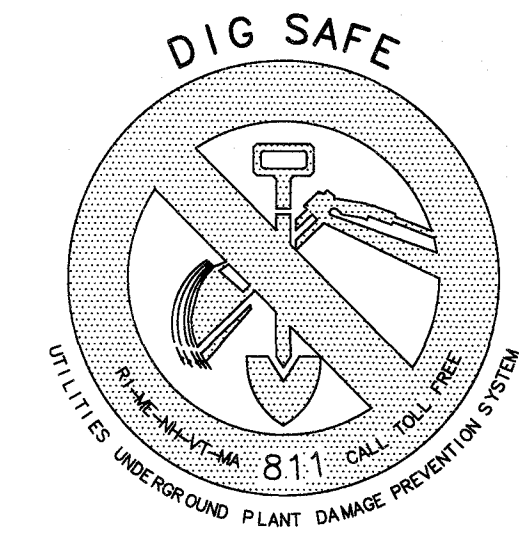
LIGHTING NOTES:

1. ALL LIGHTS/FIXTURES SHALL BE AS SPECIFIED BY CHARRON LIGHTING.
2. ALL PROPOSED LIGHTS/FIXTURES ARE TO BE FULL CUTOFF.
3. FIXTURES SHALL BE MOUNTED AS HEIGHTS AS SPECIFIED IN TABLE.
4. PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ELECTRICIAN FOR THE EXACT LOCATION, LAYOUT, CONDUIT SIZE AND CIRCUITS ASSOCIATED WITH THE SITE LIGHTING.
5. LIGHTING WILL BE ON AT ALL TIMES TO PROVIDE SECURITY AND SAFETY FOR THE FACILITY.

Symbol	Qty	Label	Arrangement	Description
	4	P5-2	Back-Back	GLEON-SA1C-740-U-5W0 / SSS4A20SFN2 (20' AFG)
	7	W	Single	GWC-SA1C-740-U-SL3 / WALL MTD 18' AFG
	1	W4	Single	GWC-SA1C-740-U-SL4 / WALL MTD 18' AFG

StatArea_1
 PARKING LOT
 Illuminance (Fc)
 Average = 1.78
 Maximum = 3.4
 Minimum = 0.5
 Avg/Min Ratio = 3.56
 Max/Min Ratio = 6.80

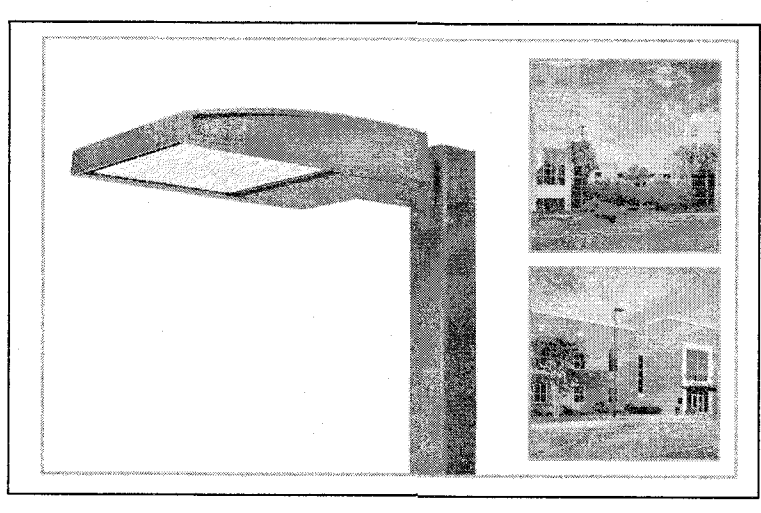
TBM
 MAGNAIL SET
 IN PAVEMENT
 ELEV.=199.34



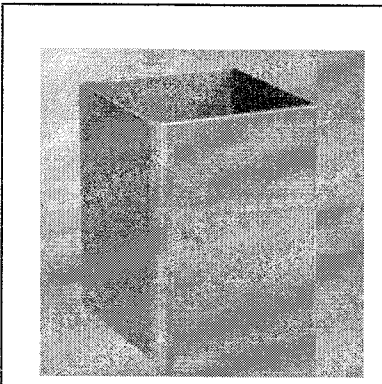
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE _____ SIGNATURE DATE _____
 SIGNATURE _____ SIGNATURE DATE _____

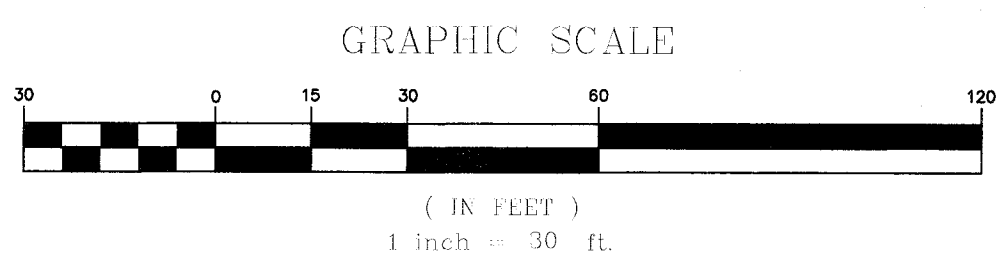
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



GWC GALLEON WALL
 1.2 Light Squares
 Solid State LED
 WALL MOUNT LUMINAIRE



SSS SQUARE STRAIGHT STEEL



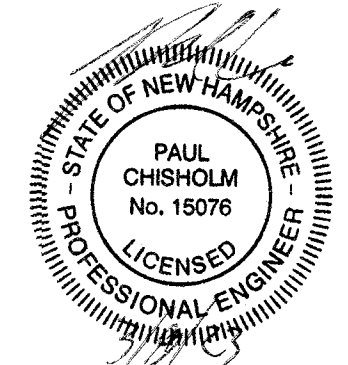
LIGHTING PLAN
S.L. CHASSE STEEL
 MAP 105 LOT 14
 5 CHRISTINE DRIVE
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

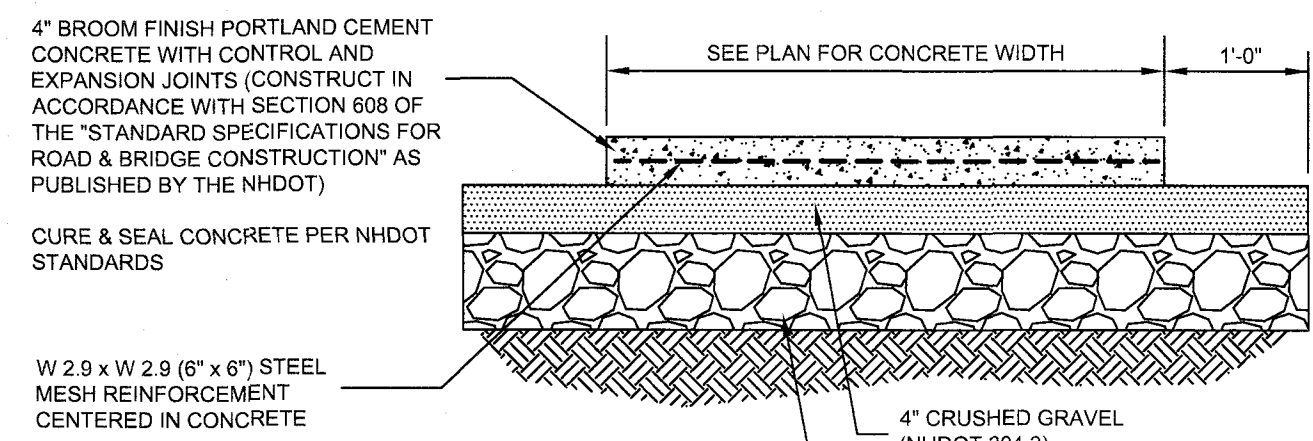
OWNER OF RECORD/APPLICANT:
 STEELE PROPERTIES, LLC
 8 CHRISTINE DRIVE
 HUDSON, NH 03051
 H.C.R.D. BK. 9177 PG. 305

KMA
 KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

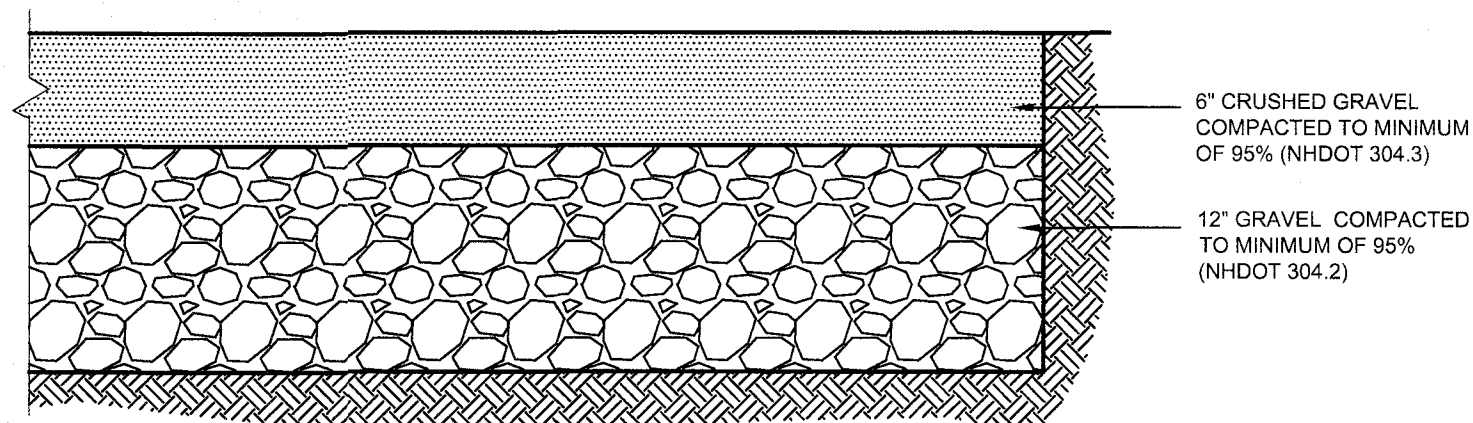
REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: MARCH 3, 2023 SCALE: 1" = 30'
 PROJECT NO: 22-0126-2 SHEET 7 OF 12

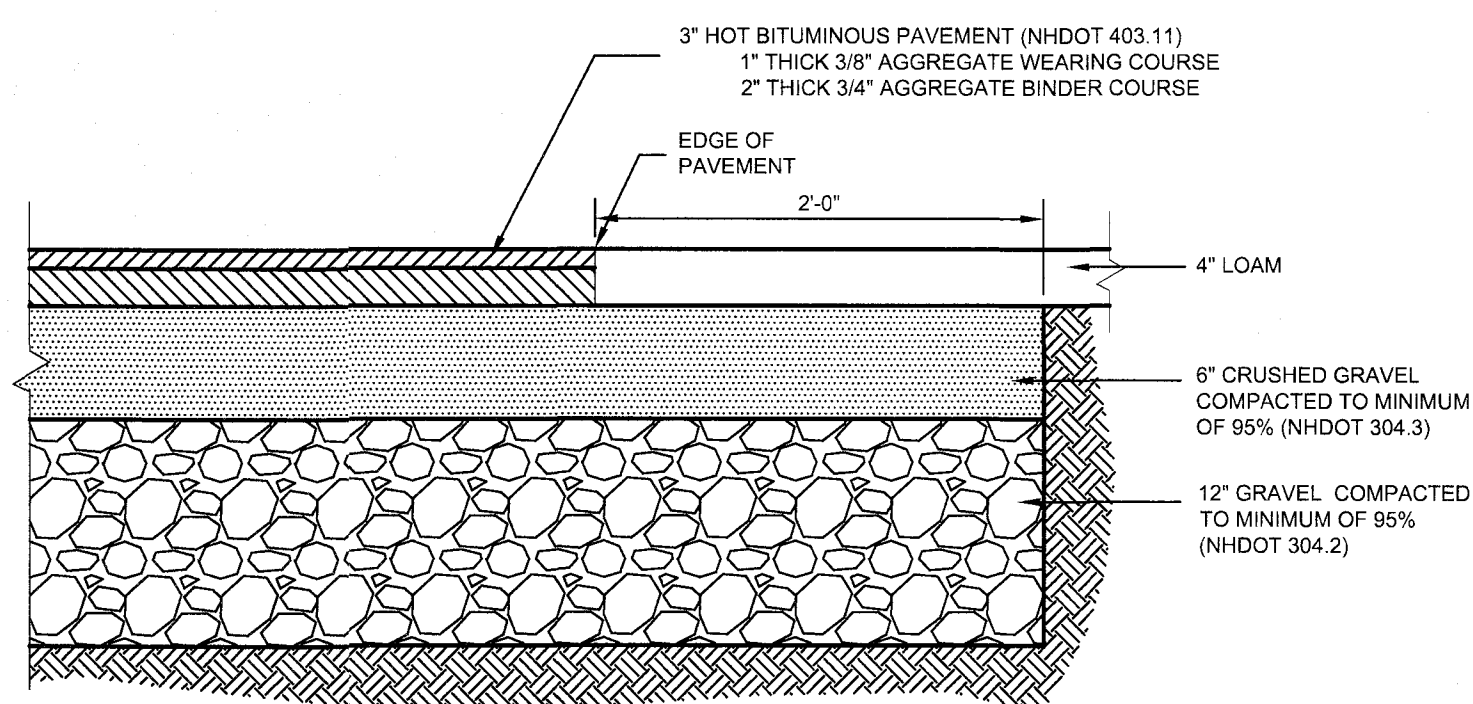




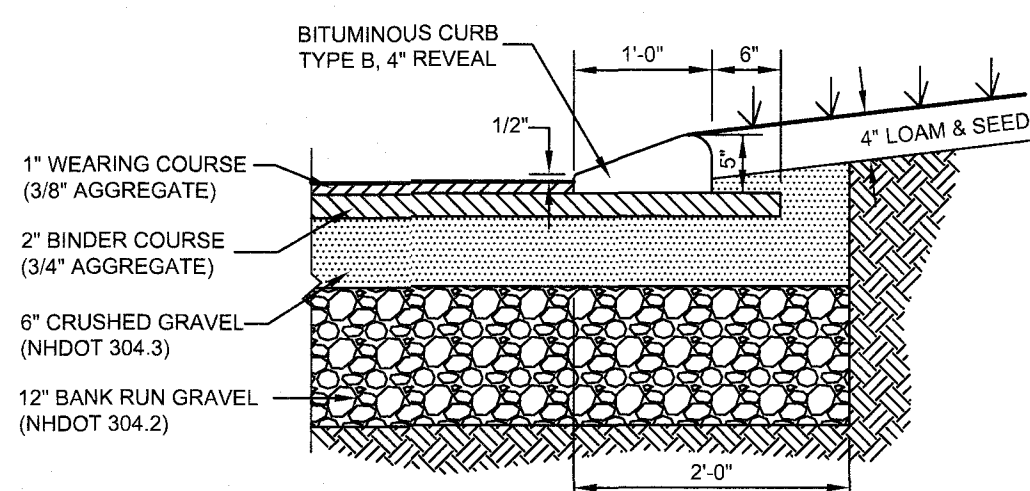
CONCRETE WALK DETAIL
NOT TO SCALE
(MARCH 2008)



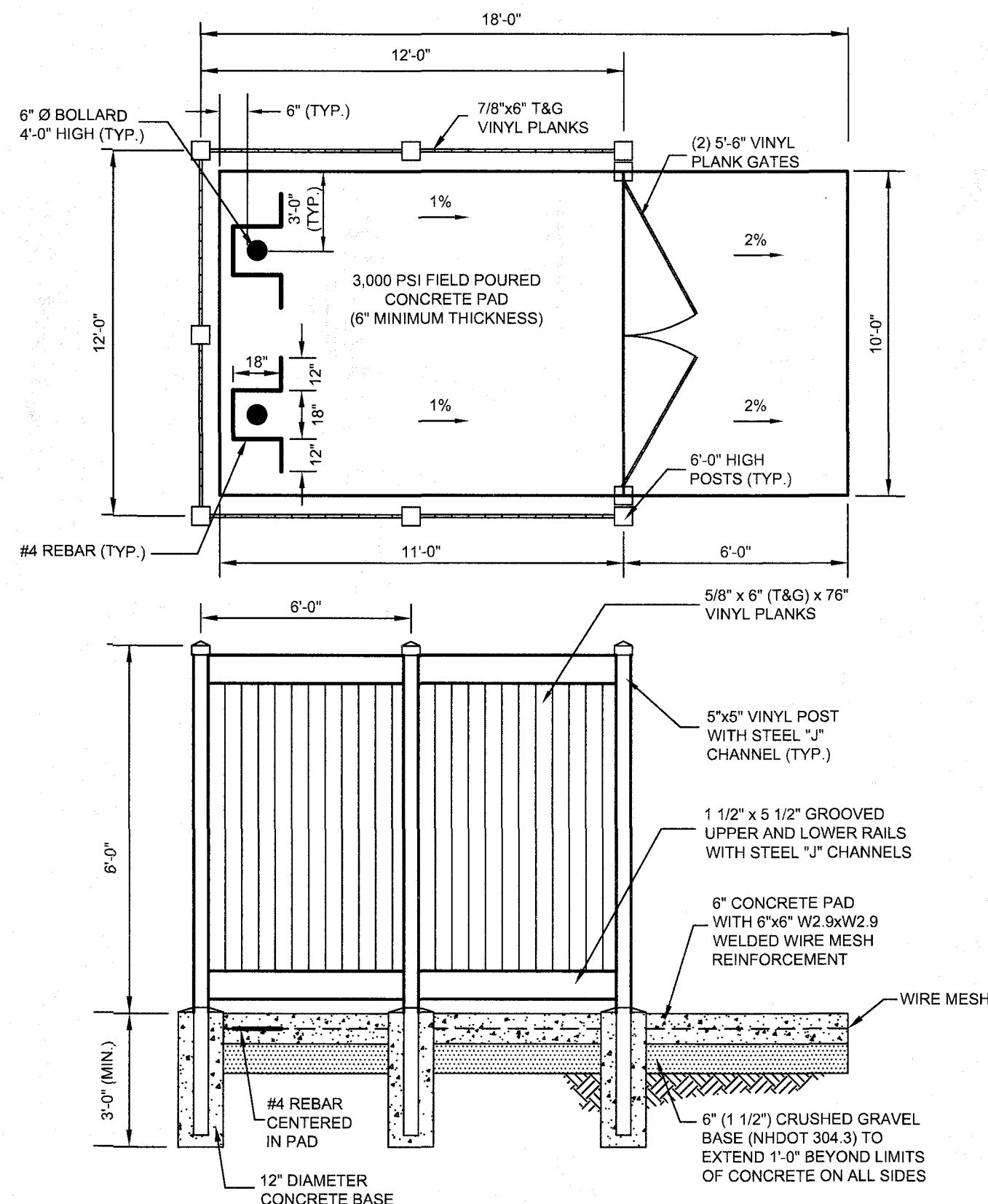
GRAVEL STORAGE AREA SECTION
NOT TO SCALE
(MARCH 2008)



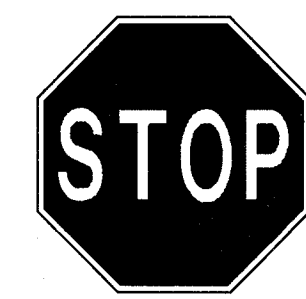
DRIVEWAY AND PARKING LOT SECTION
NOT TO SCALE
(MARCH 2008)



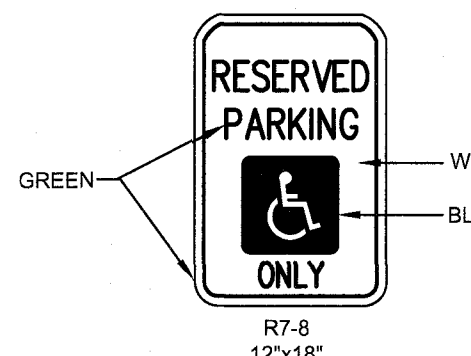
BITUMINOUS CURB TYPE B DETAIL
NOT TO SCALE
(MARCH 2008)



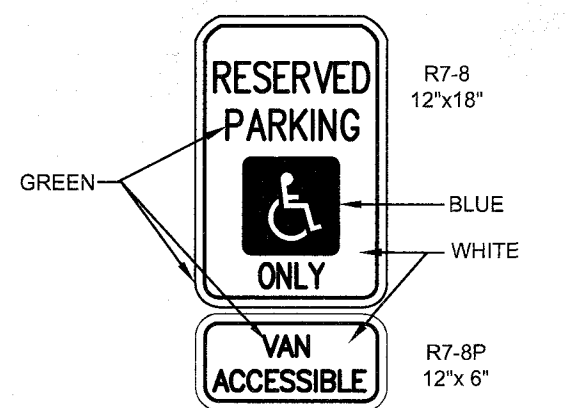
VINYL TRASH ENCLOSURE DETAIL
NOT TO SCALE
(MARCH 2008)



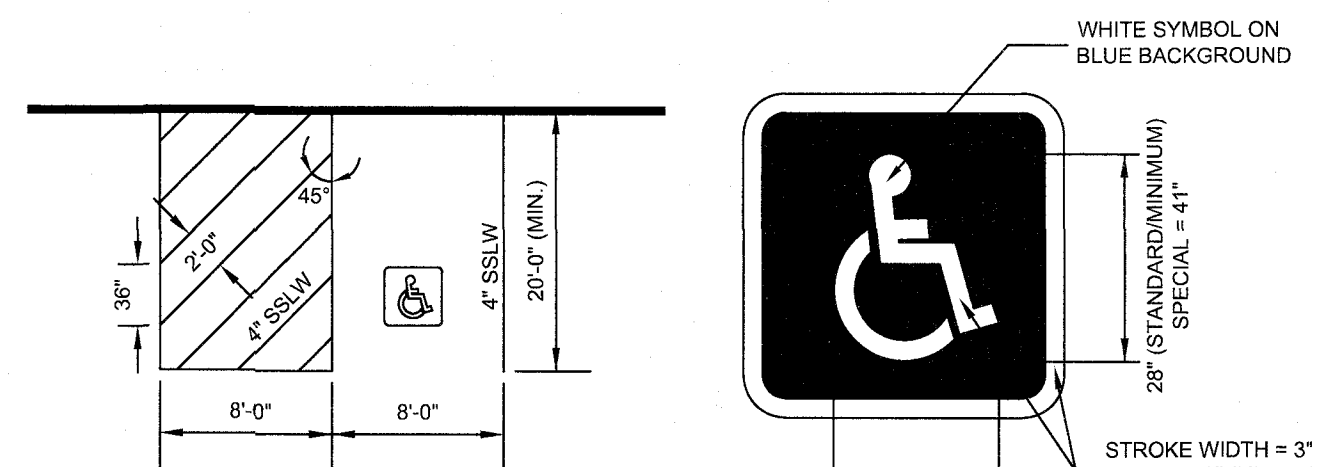
STOP SIGN DETAIL
NOT TO SCALE
(MARCH 2008)



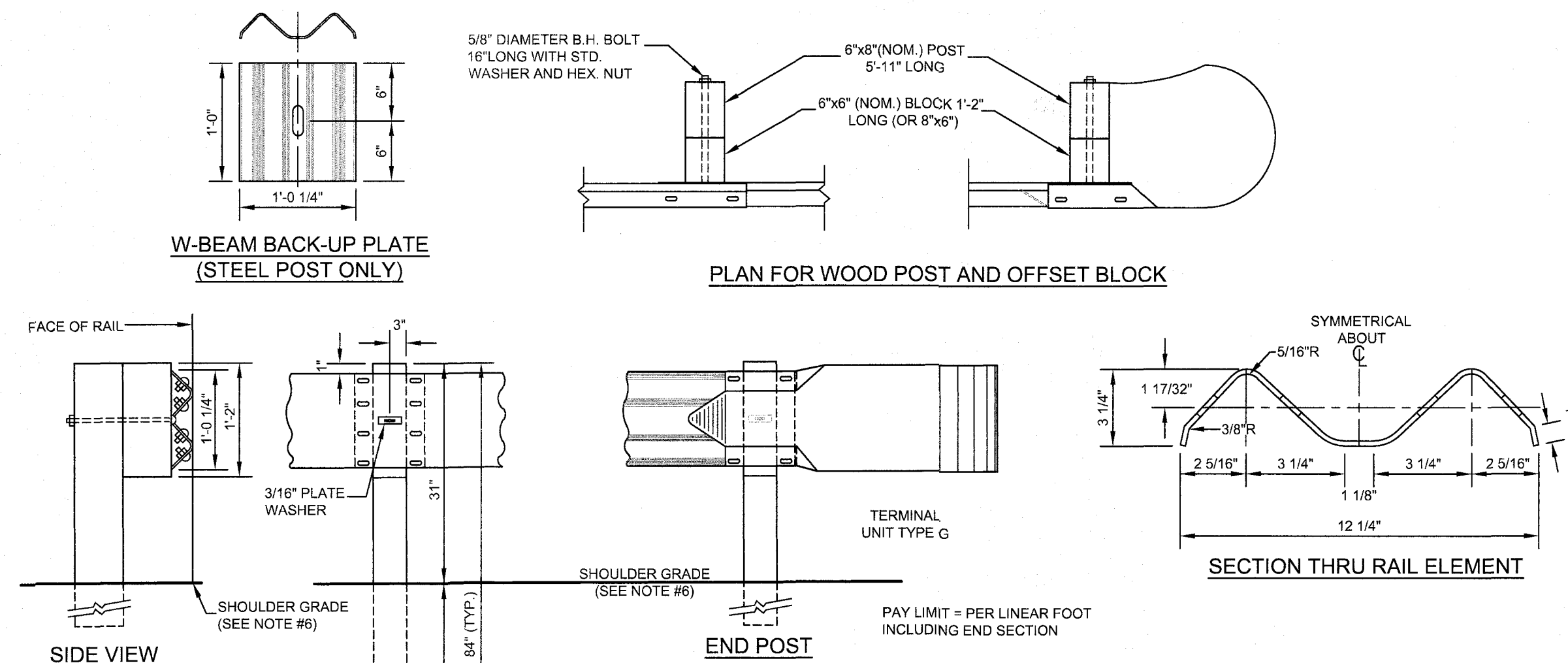
HANDICAP PARKING SIGN DETAIL
NOT TO SCALE
(MARCH 2008)



VAN ACCESSIBLE HANDICAP PARKING SIGN DETAIL
NOT TO SCALE
(NOVEMBER 2016)

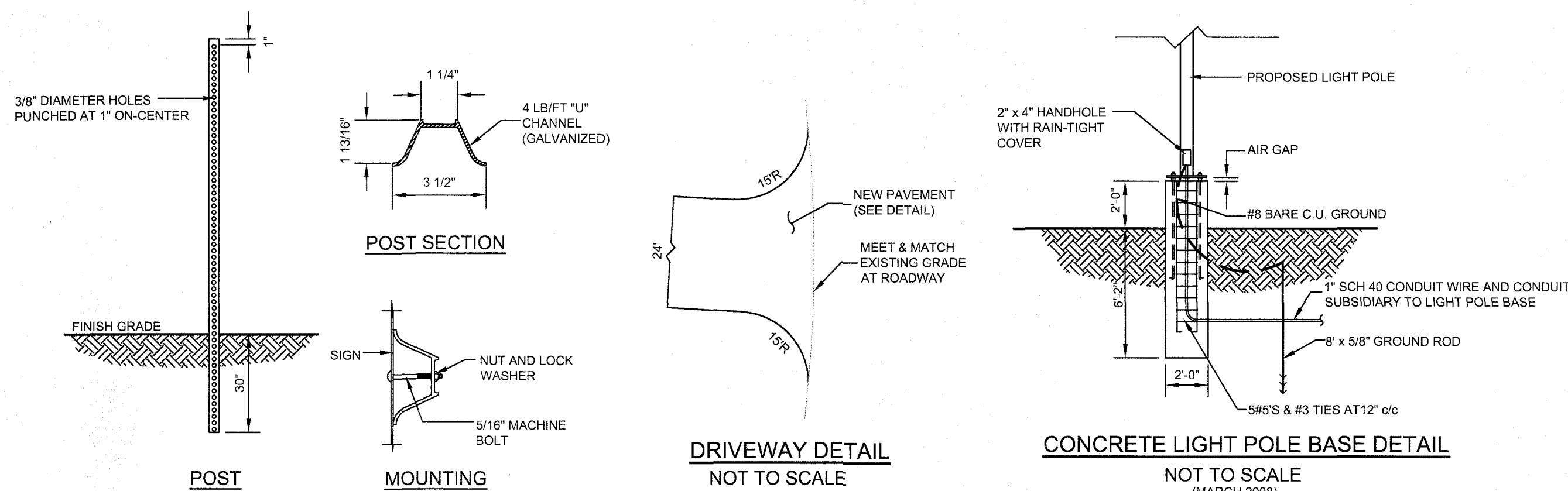


HANDICAP STRIPING DETAIL
NOT TO SCALE
(MARCH 2012)



- NOTES:**
- STEEL POSTS, OFFSET BLOCKS, ANCHORS, PLATES AND ALL FITTINGS TO BE GALVANIZED.
 - ALL DIMENSIONS SUBJECT TO MANUFACTURERS TOLERANCES.
 - RAIL PANELS AND END SECTIONS TO BE 12 GAUGE STEEL.
 - BACK-UP PLATE TO BE PLACED BEHIND RAIL ELEMENTS AT INTERMEDIATE STEEL POSTS.
 - ALL PARTS SHALL CONFORM TO CURRENT STANDARD SPECIFICATIONS.
 - WHEN GUARDRAIL IS CONSTRUCTED AT UP TO FOUR FEET FROM THE EDGE OF PAVEMENT, THE GUARDRAIL HEIGHT WILL BE SET FROM THE GRADE AT THE EDGE OF PAVEMENT. WHEN GUARDRAIL IS CONSTRUCTED MORE THAN FOUR FEET FROM THE EDGE OF PAVEMENT, THE GUARDRAIL WILL BE SET FROM THE GRADE AT FACE OF RAIL.

BEAM GUARDRAIL DETAIL
NOT TO SCALE
(MARCH 2008)



STEEL SIGN POST DETAIL
NOT TO SCALE
(MARCH 2008)

DRIVEWAY DETAIL
NOT TO SCALE

CONCRETE LIGHT POLE BASE DETAIL
NOT TO SCALE
(MARCH 2008)

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
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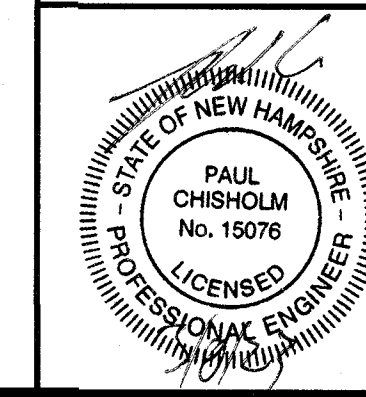
- STRIPING NOTES:**
- ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THESE STANDARDS AND THE CURRENT EDITION OF MUTCD.
 - WIDTH OF LINES SHALL VARY NO MORE THAN 1/4 INCH FROM THAT SPECIFIED.
 - THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED.
 - OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.

CONSTRUCTION DETAILS

S.L. CHASSE STEEL
MAP 105 LOT 14
5 CHRISTINE DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

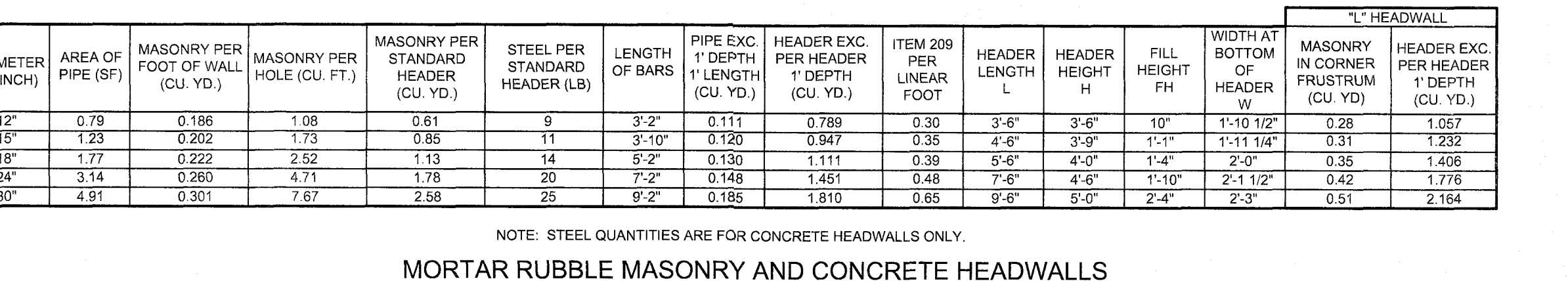
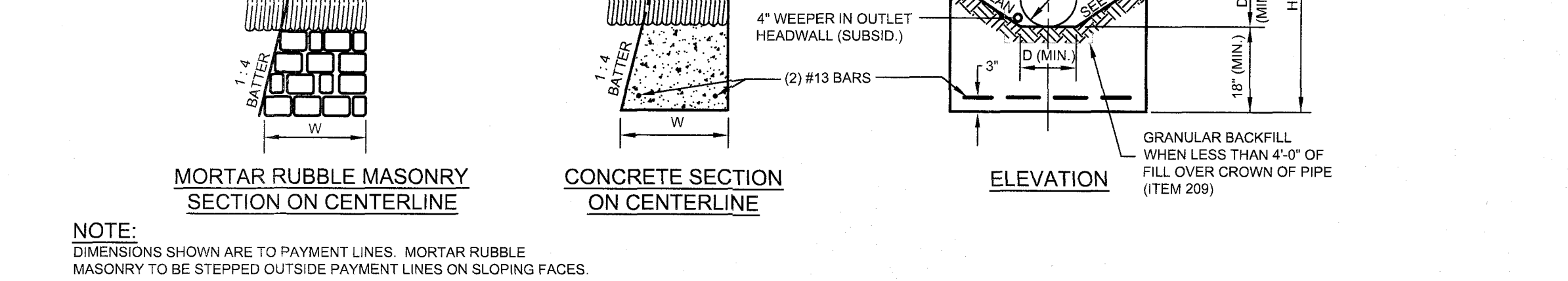
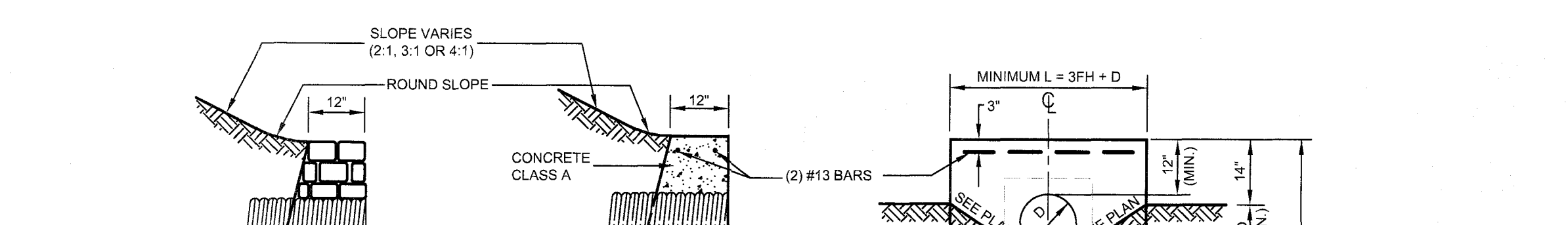
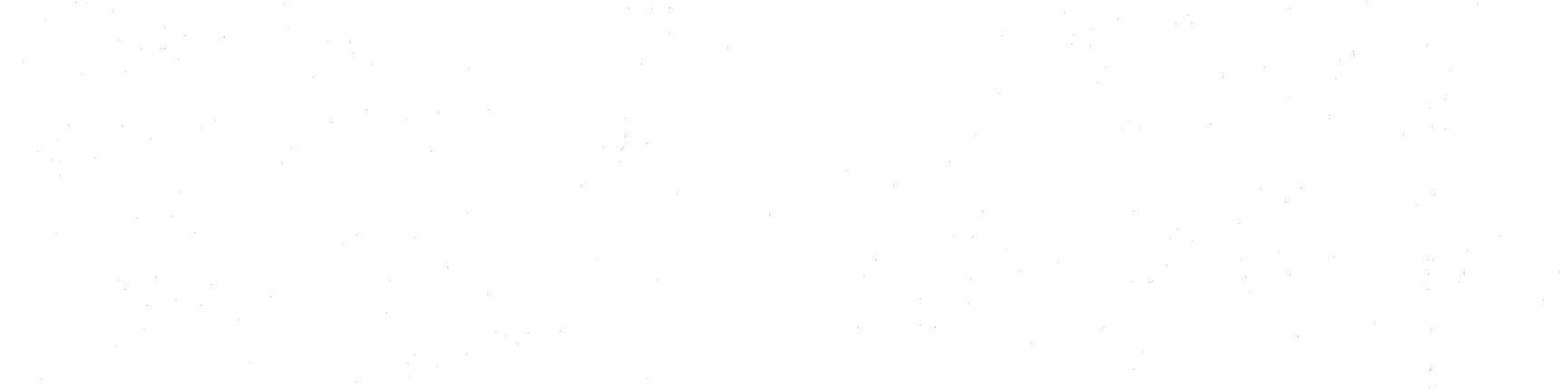
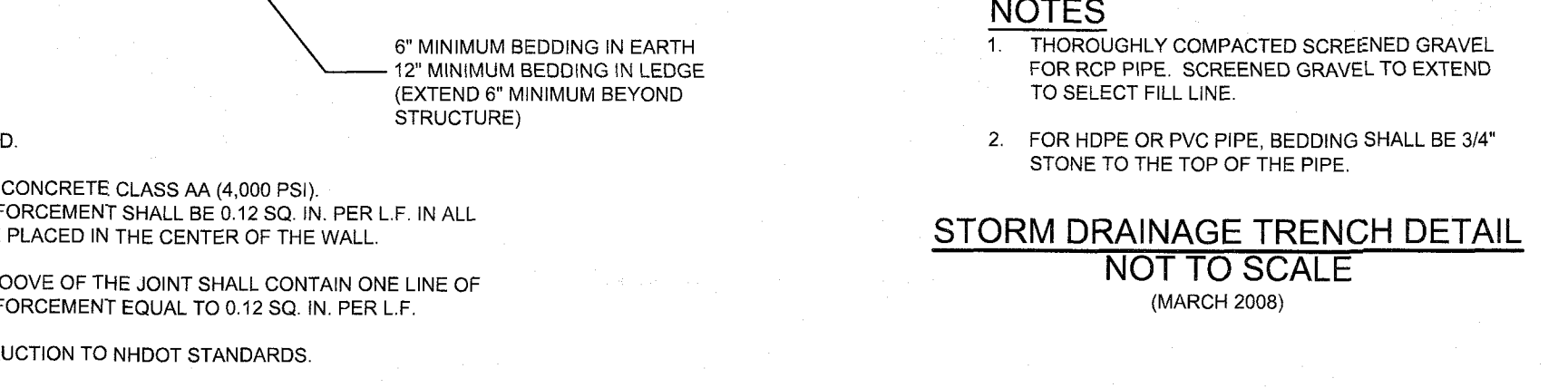
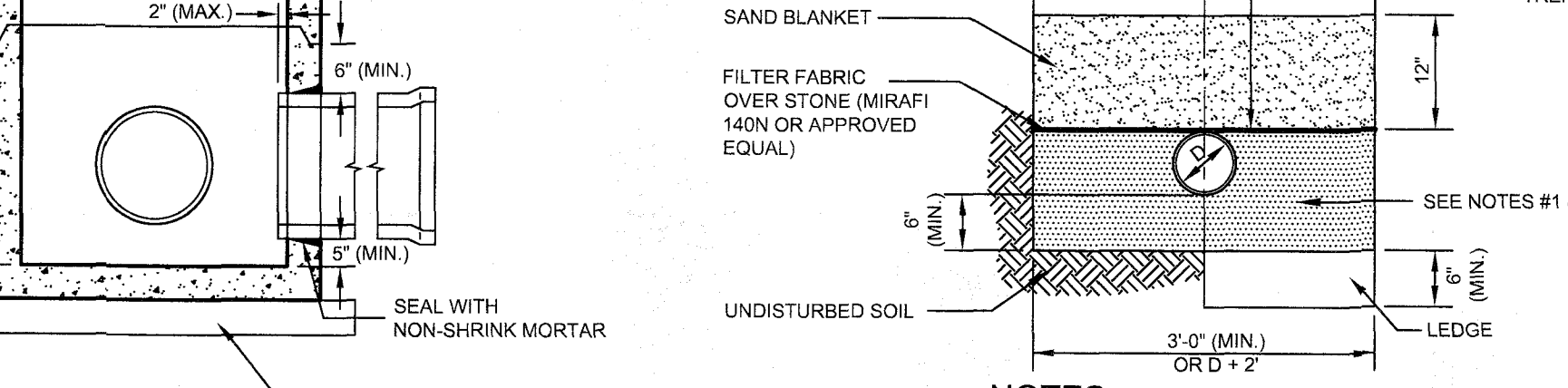
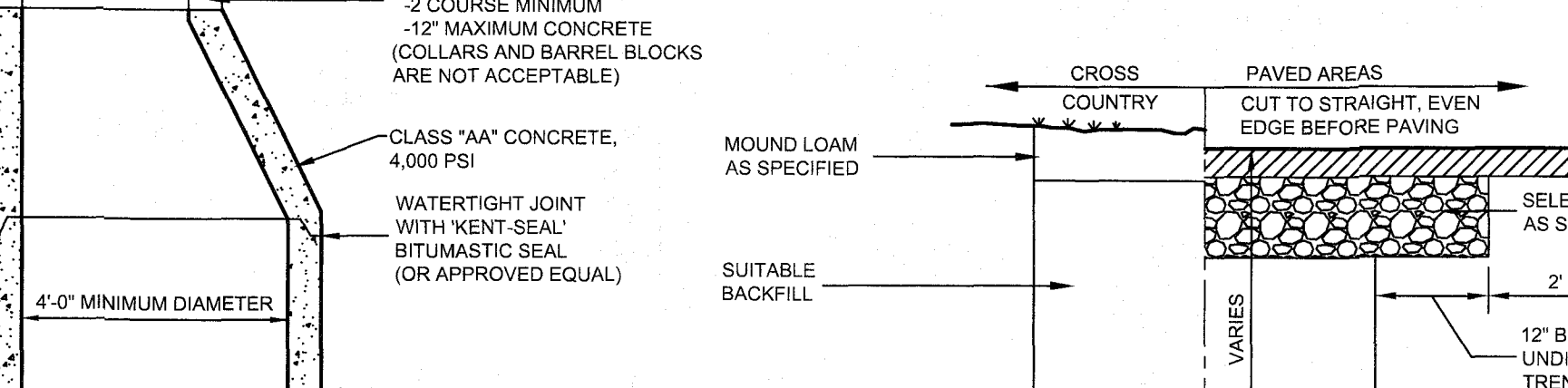
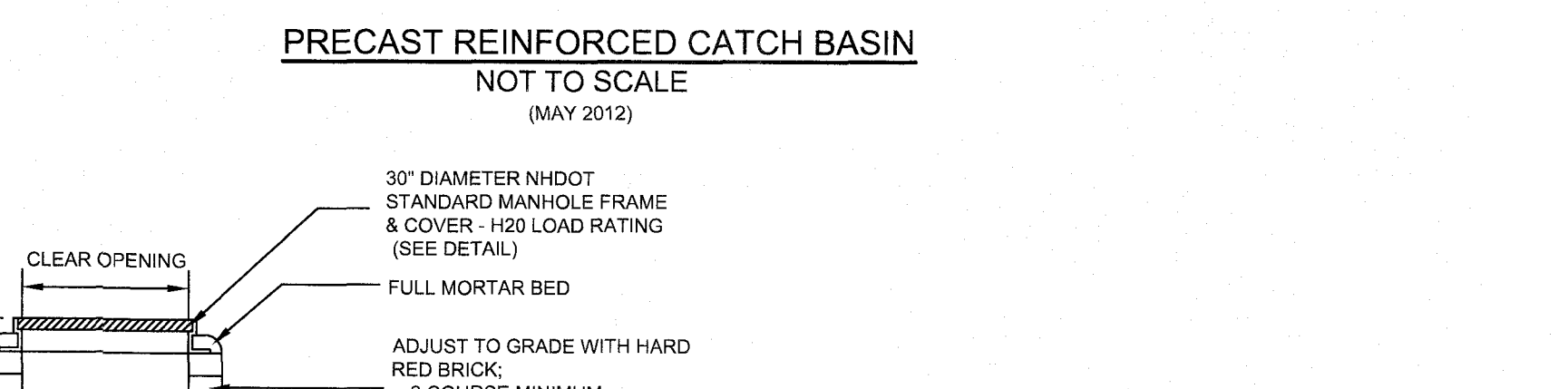
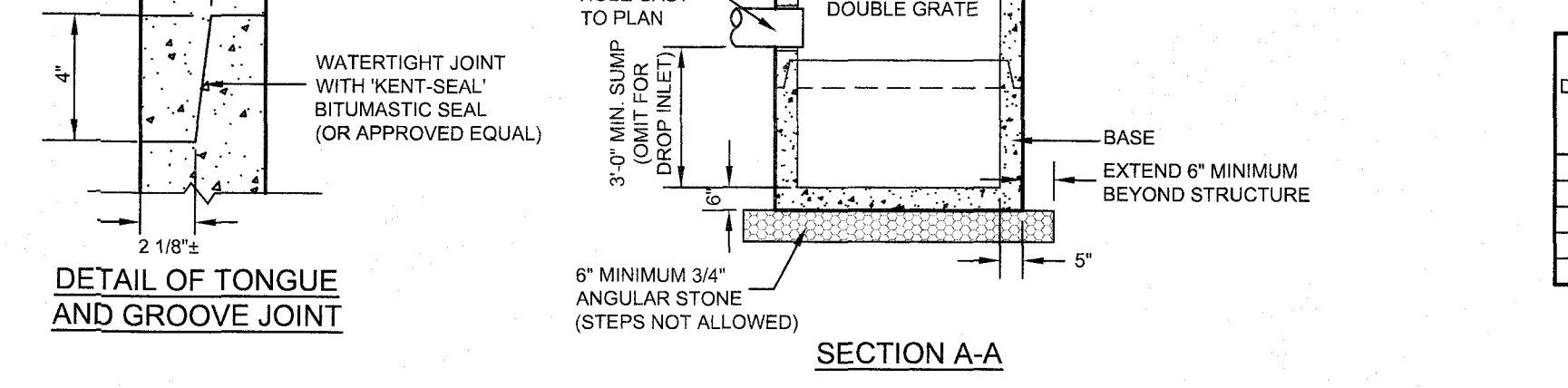
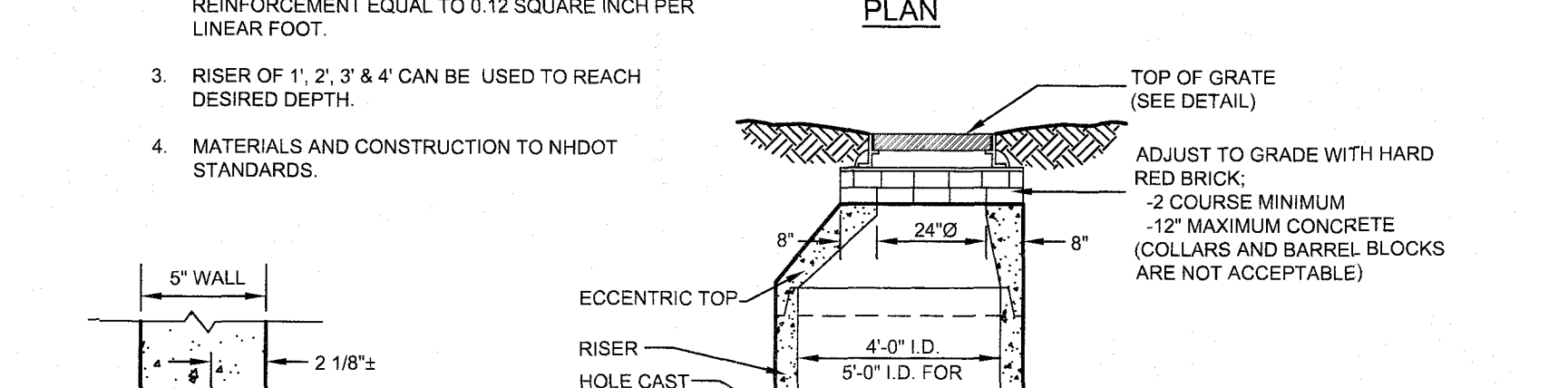
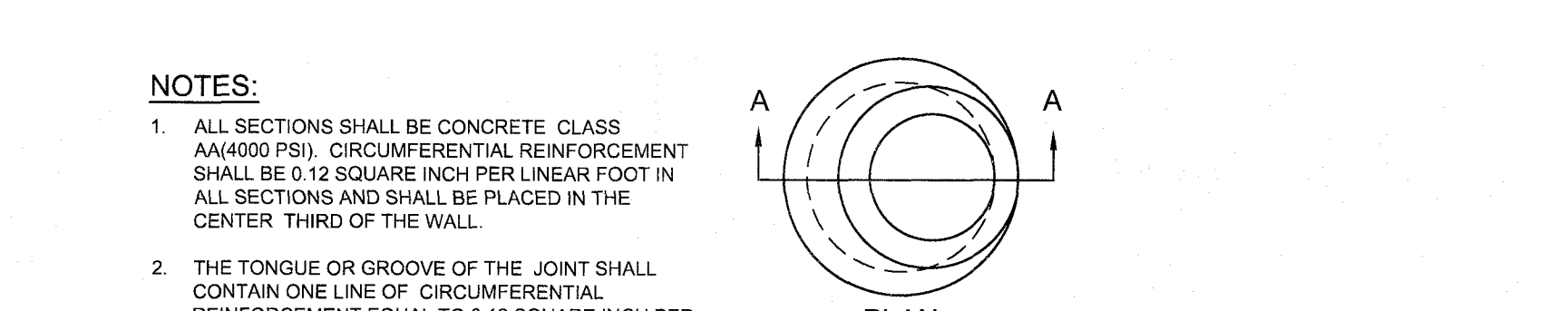
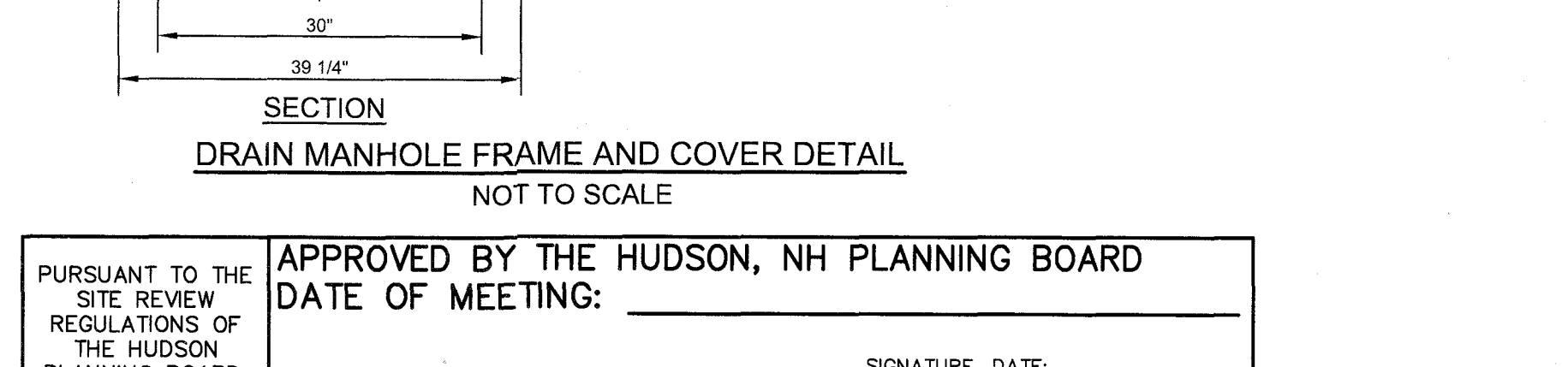
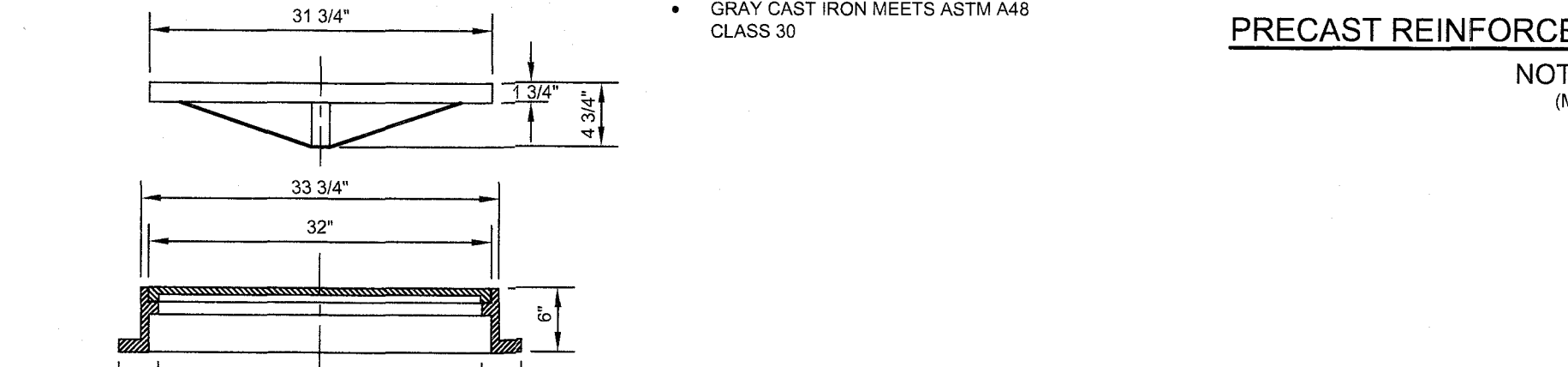
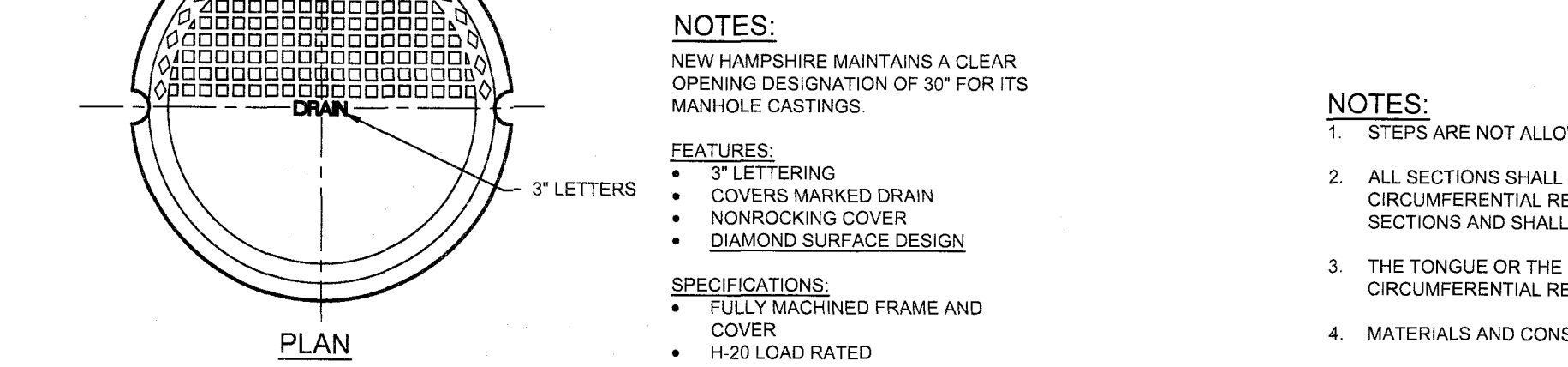
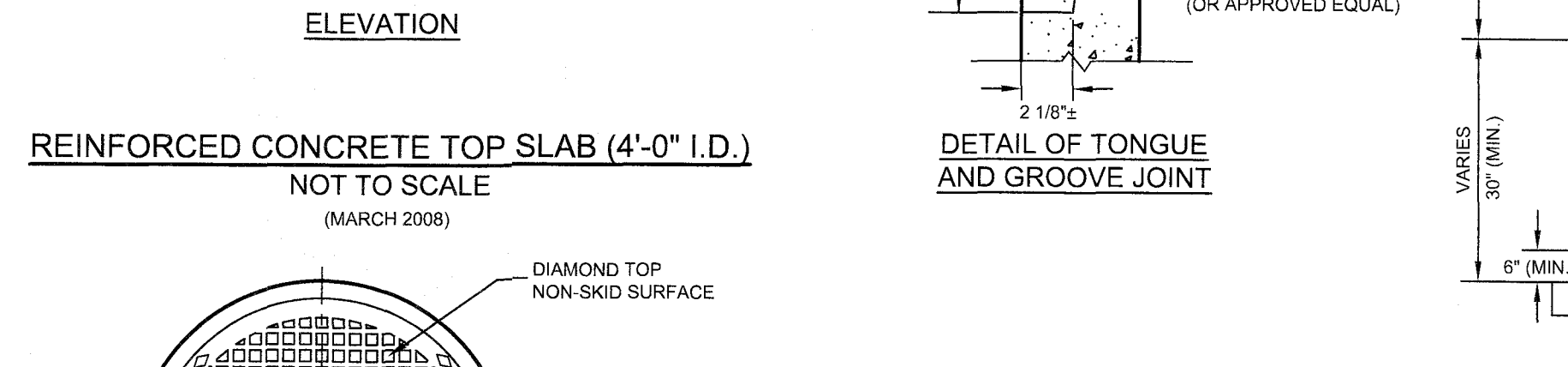
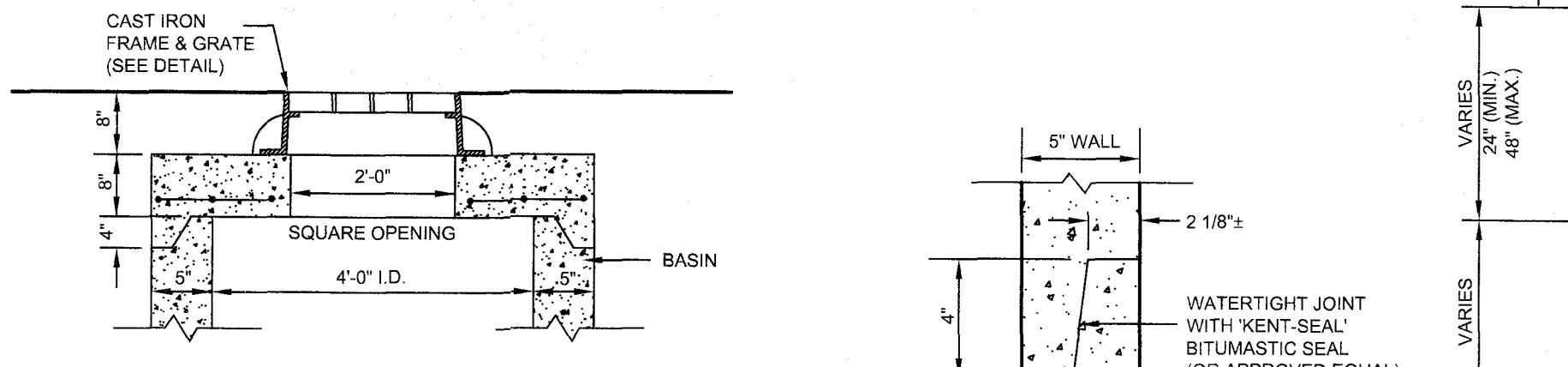
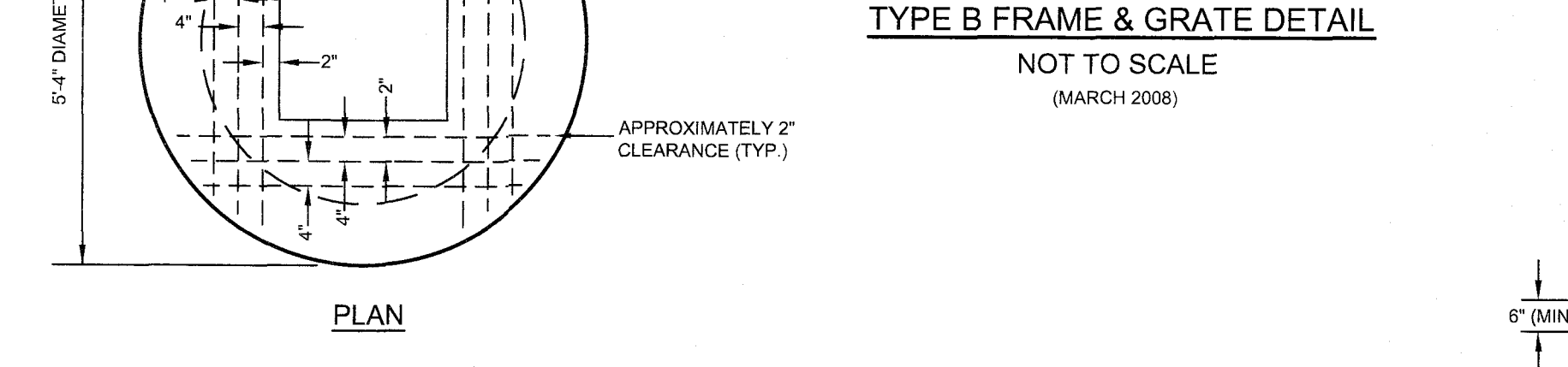
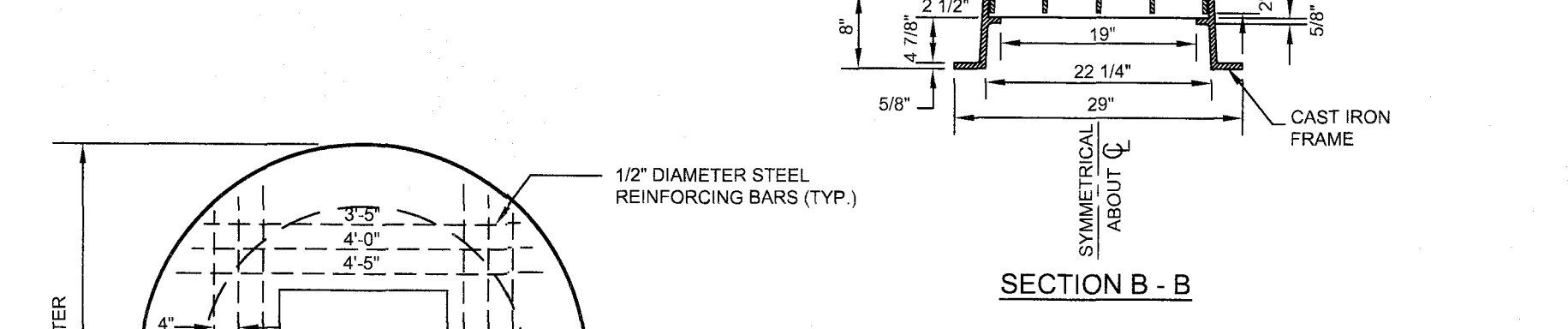
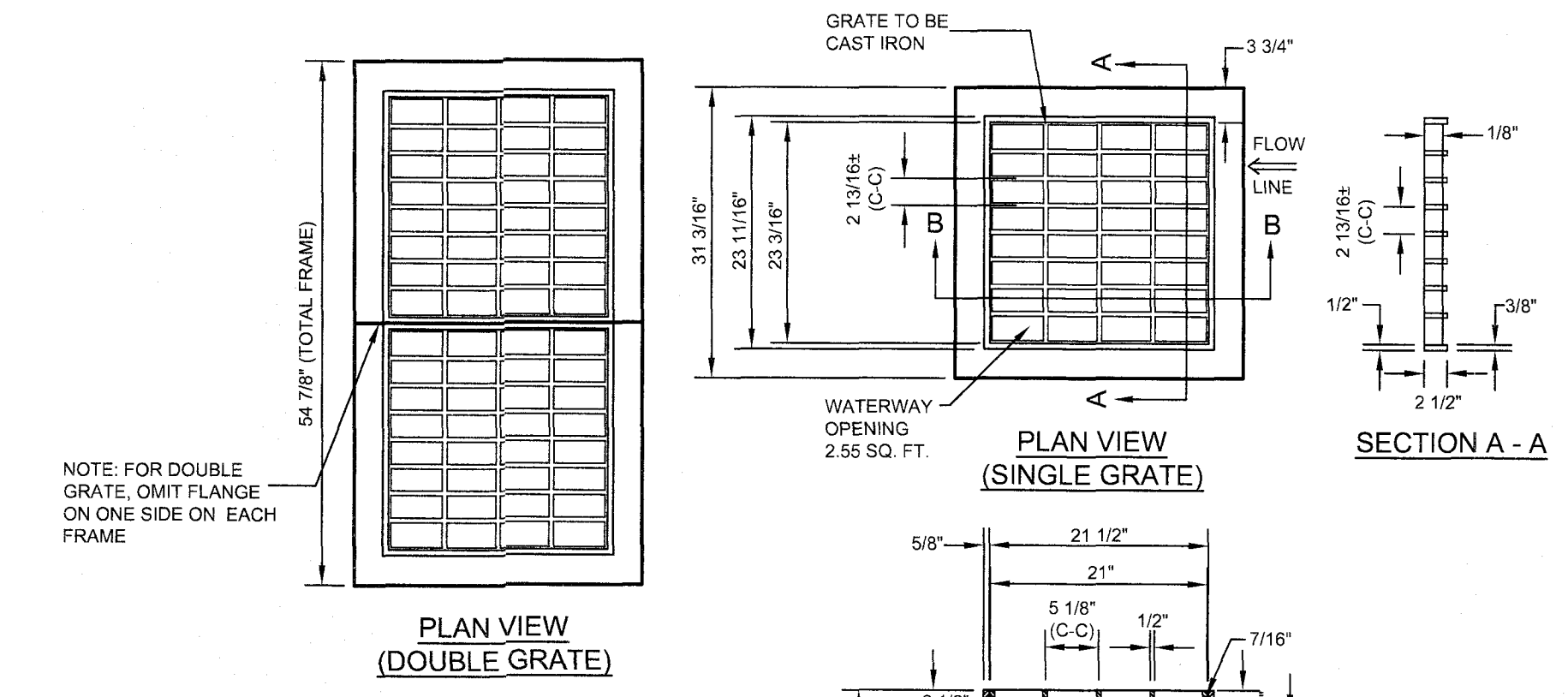
OWNER OF RECORD/APPLICANT:
STEELE PROPERTIES, LLC
8 CHRISTINE DRIVE
HUDSON, NH 03051
H.C.R.D. BK. 9177 PG. 305

KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



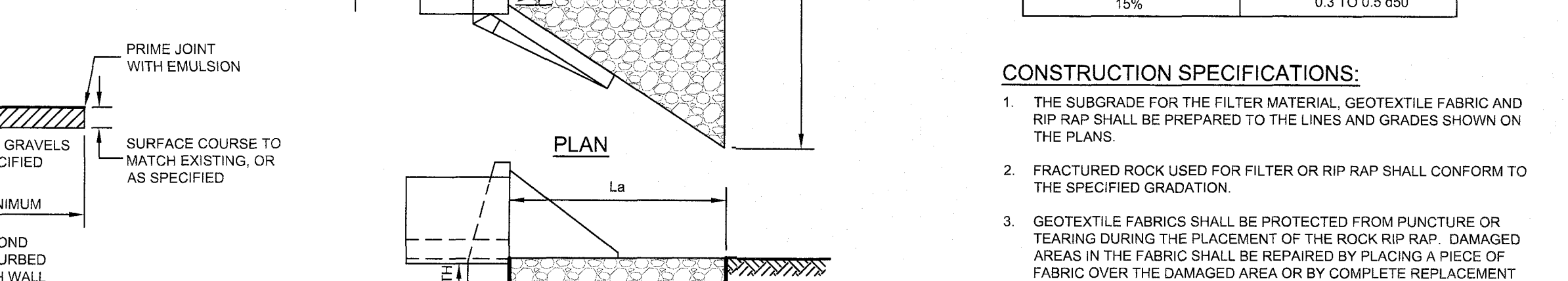
REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: MARCH 3, 2023 SCALE: 1" = 30'
PROJECT NO: 22-0126-2 SHEET 8 OF 12



NOTE: DIMENSIONS SHOWN ARE TO PAYMENT LINES. MORTAR RUBBLE MASONRY TO BE STEPPED OUTSIDE PAYMENT LINES ON SLOPING FACES.

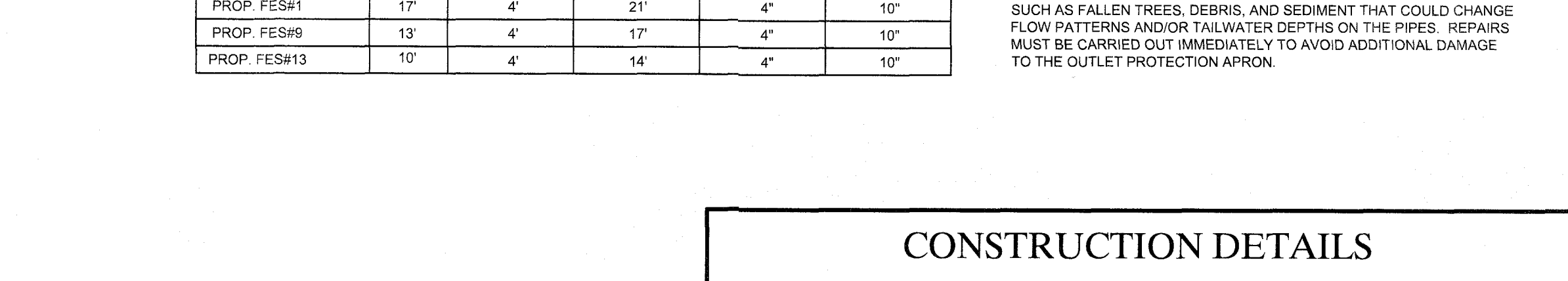
DIAMETER D (INCH)	AREA OF PIPE (SF)	MASONRY PER FOOT OF WALL (CU. YD.)	MASONRY PER STANDARD HEADER (CU. YD.)	STEEL PER STANDARD HEADER (LB)	LENGTH OF BARS	PIPE EXC. 1' DEPTH (CU. YD.)	HEADER EXC. PER HEADER 1' DEPTH (CU. YD.)	ITEM 209 PER LINEAR FOOT	HEADER LENGTH L	HEADER HEIGHT H	FILL HEIGHT FH	WIDTH AT BOTTOM OF HEADER W	WIDTH AT CORNER FRUSTRUM (CU. YD.)	HEADER EXC. PER HEADER 1' DEPTH (CU. YD.)
12"	0.79	0.166	1.08	0.61	9	3'-2"	0.111	0.789	0.30	3'-6"	10"	1'-10 1/2"	0.28	1.057
15"	1.23	0.202	1.73	0.85	11	3'-10"	0.120	0.947	0.35	4'-6"	10"	1'-11 1/4"	0.31	1.232
18"	1.77	0.222	2.52	1.13	14	5'-2"	0.130	1.111	0.39	5'-6"	10"	2'-0"	0.35	1.406
24"	3.14	0.280	4.71	1.78	20	7'-2"	0.148	1.451	0.48	7'-6"	10"	2'-1 1/2"	0.42	1.776
30"	4.91	0.301	7.67	2.58	25	9'-2"	0.185	1.810	0.65	9'-6"	10"	2'-4"	0.51	2.164



NOTE: STEEL QUANTITIES ARE FOR CONCRETE HEADWALLS ONLY.

MORTAR RUBBLE MASONRY AND CONCRETE HEADWALLS
NOT TO SCALE
(MARCH 2008)

PERCENT OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE
100%	1.5 TO 2.0 #50
85%	1.3 TO 1.8 #50
50%	1.0 TO 1.5 #50
15%	0.3 TO 0.5 #50



CONSTRUCTION SPECIFICATIONS:

- THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
- FRACTURED ROCK USED FOR FILTER OR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
- GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
- STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

MAINTENANCE:

THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR RAIN EVENT. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED, OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

LOCATION	La	W1	W2	d50	DEPTH
PROP. HW#8	9'	4'	13'	4"	10"
PROP. FES#1	17'	4'	21'	4"	10"
PROP. FES#8	13'	4'	17'	4"	10"
PROP. FES#13	10'	4'	14'	4"	10"

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
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CONSTRUCTION DETAILS

S.L. CHASSE STEEL

MAP 105 LOT 14
5 CHRISTINE DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

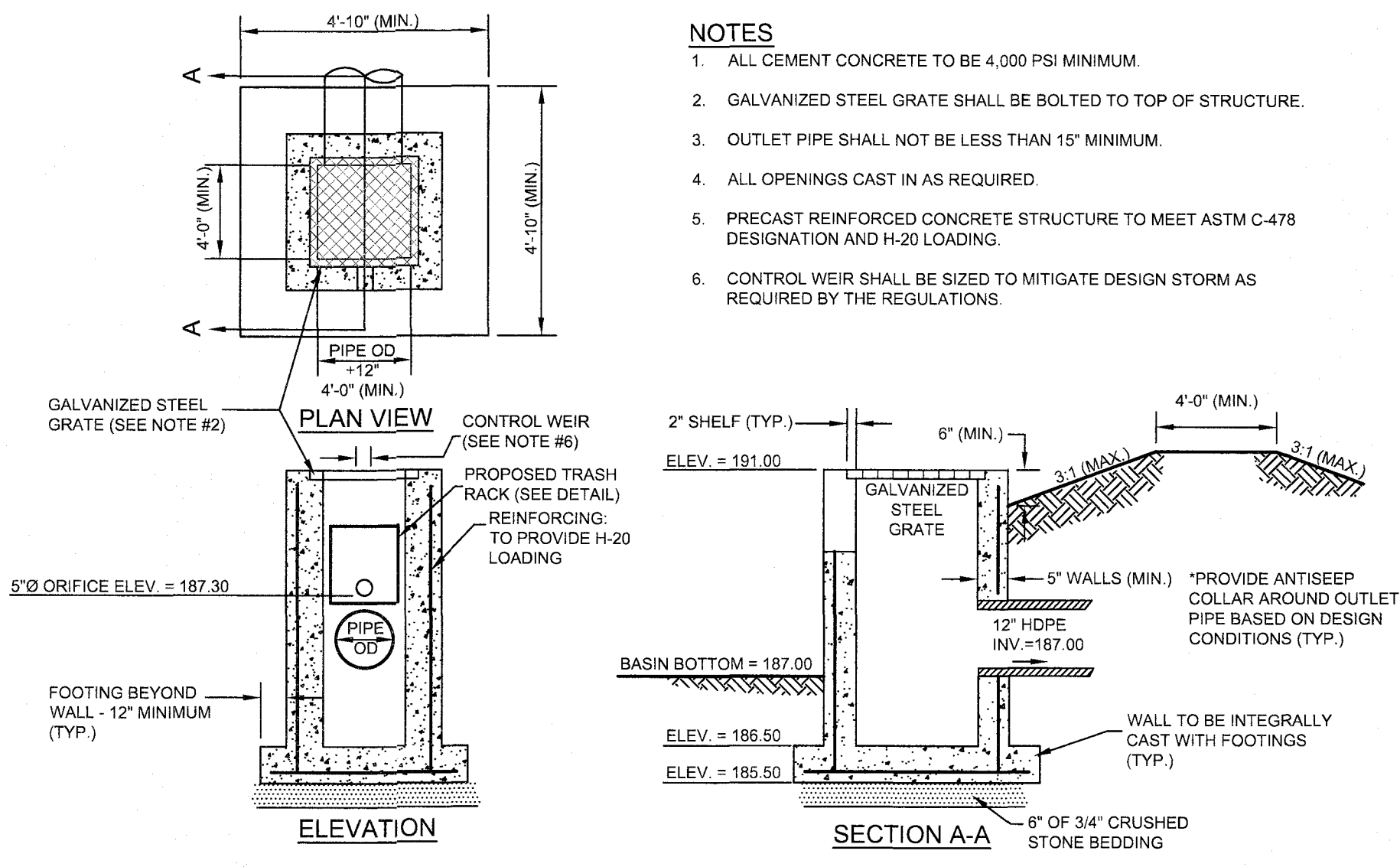
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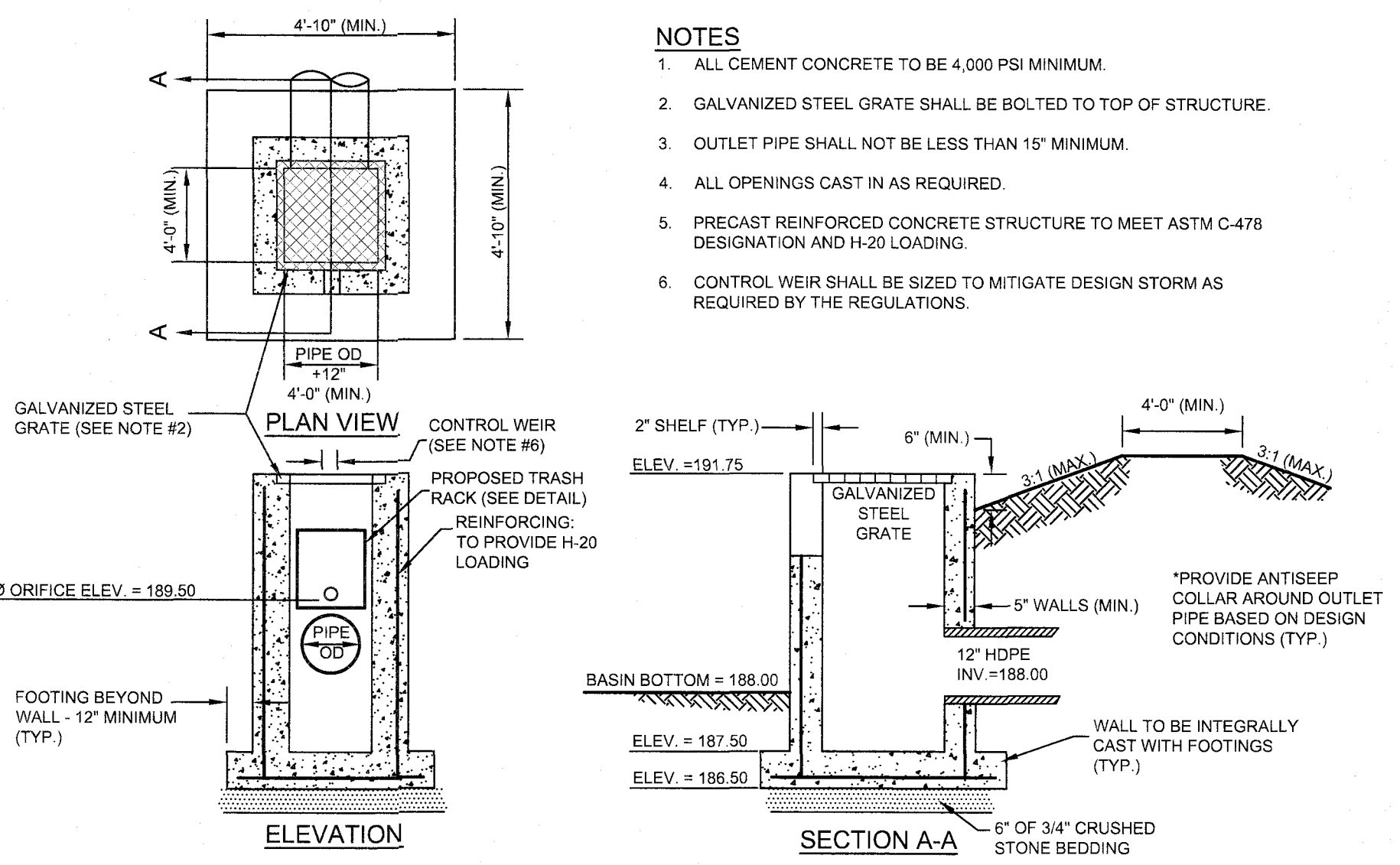
REVISIONS

No.	DATE	DESCRIPTION	BY

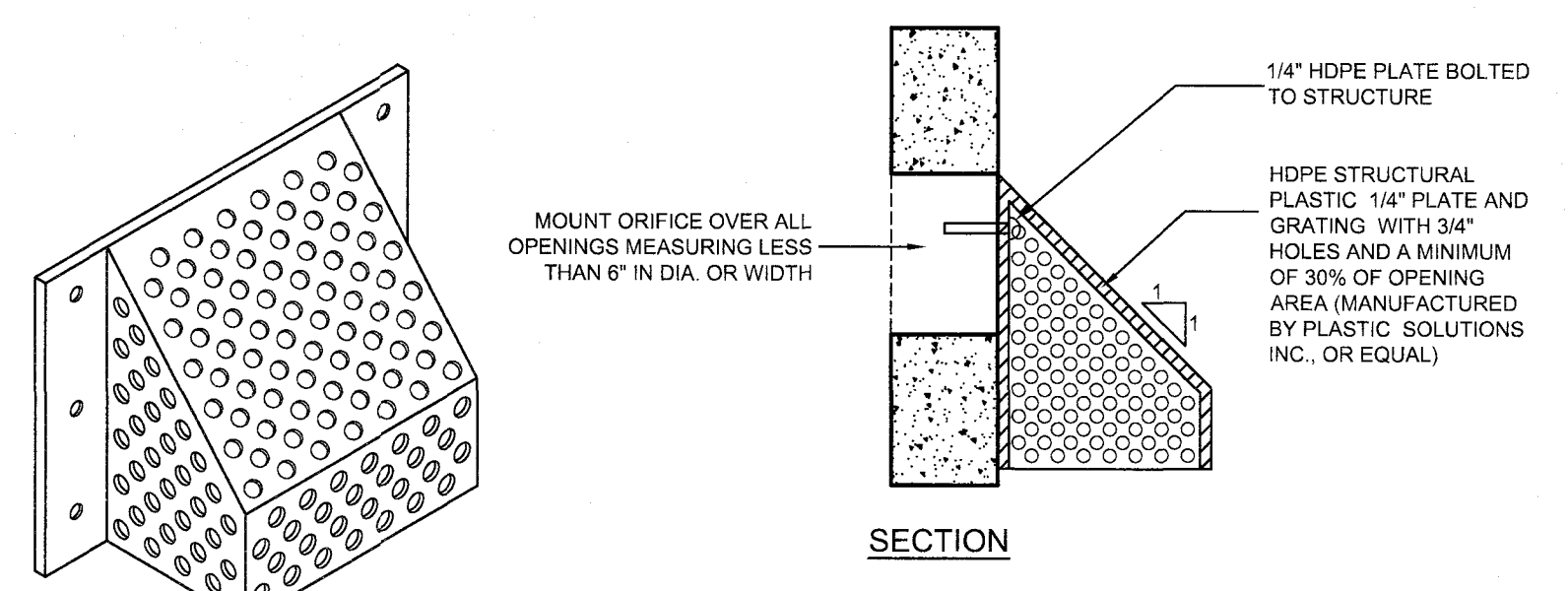
DATE: MARCH 3, 2023
PROJECT NO: 22-0126-2
SCALE: 1" = 30'
SHEET 9 OF 12



OUTLET STRUCTURE #5 AT POCKET POND
NOT TO SCALE
(AUGUST 2011)



OUTLET STRUCTURE #7 AT INFILTRATION POND
NOT TO SCALE
(AUGUST 2011)



TRASH RACK DETAIL
NOT TO SCALE

MAINTENANCE REQUIREMENTS:

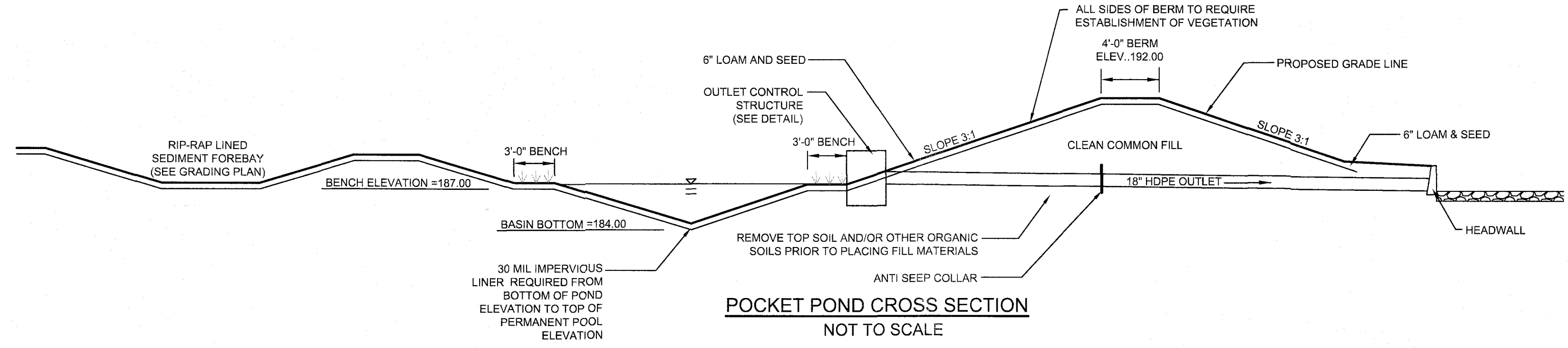
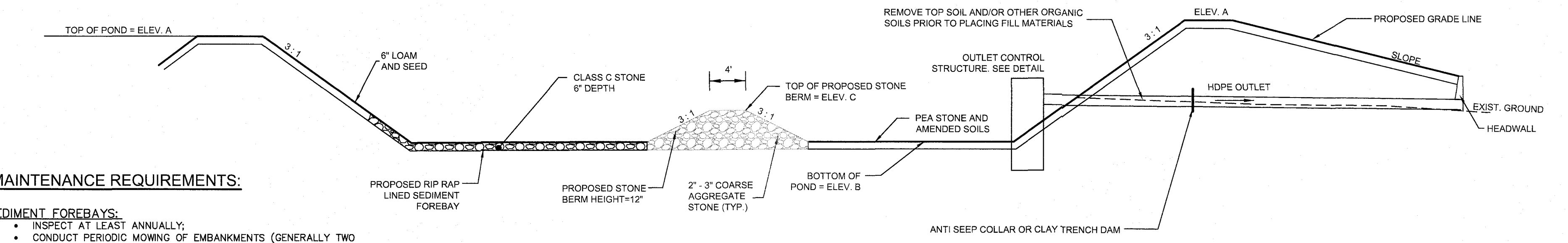
- SEDIMENT FOREBAYS:**
- INSPECT AT LEAST ANNUALLY;
 - CONDUCT PERIODIC MOWING (GENERALLY TWO TIMES PER YEAR) TO CONTROL GROWTH OF WOODY VEGETATION ON EMBANKMENTS;
 - REMOVE DEBRIS FROM OUTLET STRUCTURES AT LEAST ONCE ANNUALLY;
 - REMOVE AND DISPOSE OF ACCUMULATED SEDIMENT BASED ON INSPECTION;
 - INSTALL AND MAINTAIN A STAFF GAGE OR OTHER MEASURING DEVICE, TO INDICATE DEPTH OF SEDIMENT ACCUMULATION AND LEVEL AT WHICH CLEAN-OUT IS REQUIRED.
- INFILTRATION:**
- REMOVAL OF DEBRIS FROM INLET AND OUTLET STRUCTURES;
 - REMOVAL OF ACCUMULATED SEDIMENT;
 - INSPECTION AND REPAIR OF OUTLET STRUCTURES AND APPURTENANCES;
 - INSPECTION OF INFILTRATION COMPONENTS AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION;
 - INSPECTION OF PRETREATMENT MEASURES AT LEAST TWICE ANNUALLY, AND REMOVAL OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY;
 - PERIODIC MOWING OF EMBANKMENTS;
 - REMOVAL OF WOODY VEGETATION FROM EMBANKMENTS;
 - INSPECTION AND REPAIR OF EMBANKMENTS AND SPILLWAYS;
 - IF AN INFILTRATION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE INFILTRATION TRENCH.

TYPICAL INFILTRATION POND SECTION - WITH FOREBAY
NOT TO SCALE

POND NUMBER	ELEV. A	ELEV. B	ELEV. C
INFILTRATION POND 1	192.00	188.00	190.00

CONSTRUCTION PRACTICE REQUIREMENTS:

- STORMWATER PONDS, INFILTRATION BASINS, AND SWALES MUST BE INSTALLED BEFORE ROUGH GRADING TO SITE.
- RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMPs ARE STABILIZED.
- STORMWATER PONDS, INFILTRATION BASINS, AND SWALES MUST BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATION WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
- AFTER THE INFILTRATION SYSTEM AREA IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
- DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- INFILTRATION BASIN FLOOR PREPARATION WILL INCLUDE GRASS TURF THAT CAN BE INUNDATED FOR UP TO 72 HOURS.
- INFILTRATION AREAS ARE TO BE PROTECTED FROM OVER-COMPACTION DURING CONSTRUCTION.



POCKET POND CROSS SECTION
NOT TO SCALE

TP #1	TP #2	TP #3	TP #4
LOGGED BY GPC PERC TEST @ 20" DATE: 6-30-2022 PERC RATE: 8 MIN./INCH IMPERVIOUS LAYER: NONE WATER ENCOUNTERED: NONE	LOGGED BY GPC PERC TEST @ 20" DATE: 6-30-2022 PERC RATE: 8 MIN./INCH IMPERVIOUS LAYER: NONE WATER ENCOUNTERED: NONE	LOGGED BY GPC PERC TEST @ 20" DATE: 6-30-2022 PERC RATE: 8 MIN./INCH IMPERVIOUS LAYER: NONE WATER ENCOUNTERED: NONE	LOGGED BY GPC PERC TEST @ 20" DATE: 6-30-2022 PERC RATE: 8 MIN./INCH IMPERVIOUS LAYER: NONE WATER ENCOUNTERED: NONE
9" TOPSOILS	9" TOPSOIL	9" TOPSOIL	9" TOPSOIL
16" 10YR 5/4 GRANULAR, FRIABLE, SAND, GRAVELLY FEW ROOTS TO 58"	6" 10YR 7/6, GRANULAR, FRIABLE FINE SAND	4" 5YR 7/2, SAND, FROM PREVIOUS SEPTIC SYSTEM	6" 10YR 7/6, GRANULAR, FRIABLE FINE SAND
72" BOTTOM OF HOLE	44" 10YR 2/1, GRANULAR, FRIABLE, LOAMY SAND PLATY	36" 10YR 4/1, SANDY LOAM BURIED "A"	34" 10YR 5/4, GRANULAR, FRIABLE, SAND, GRAVELLY
	66" 10YR 5/6, SAND, COARSE, GRAVELLY	64" 10YR 6/6, SAND, COARSE, GRAVELLY	60" 10YR 6/6, SAND, COARSE, GRAVELLY
	88" BOTTOM OF HOLE	90" BOTTOM OF HOLE	84" BOTTOM OF HOLE

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE DATE: _____

SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

CONSTRUCTION DETAILS

S.L. CHASSE STEEL

MAP 105 LOT 14
5 CHRISTINE DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:
STEELE PROPERTIES, LLC
8 CHRISTINE DRIVE
HUDSON, NH 03051
H.C.R.D. BK. 9177 PG. 305

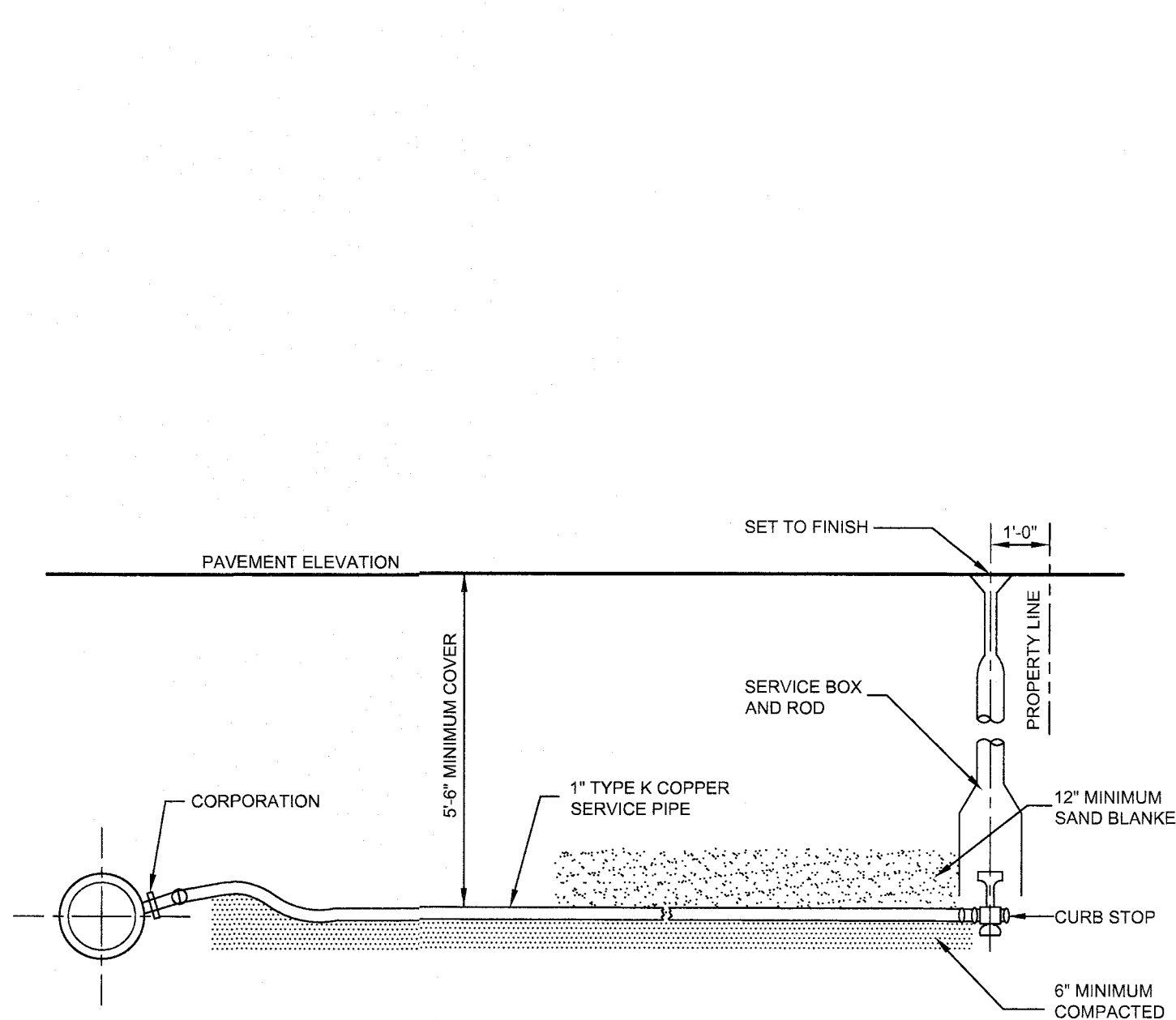
KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS

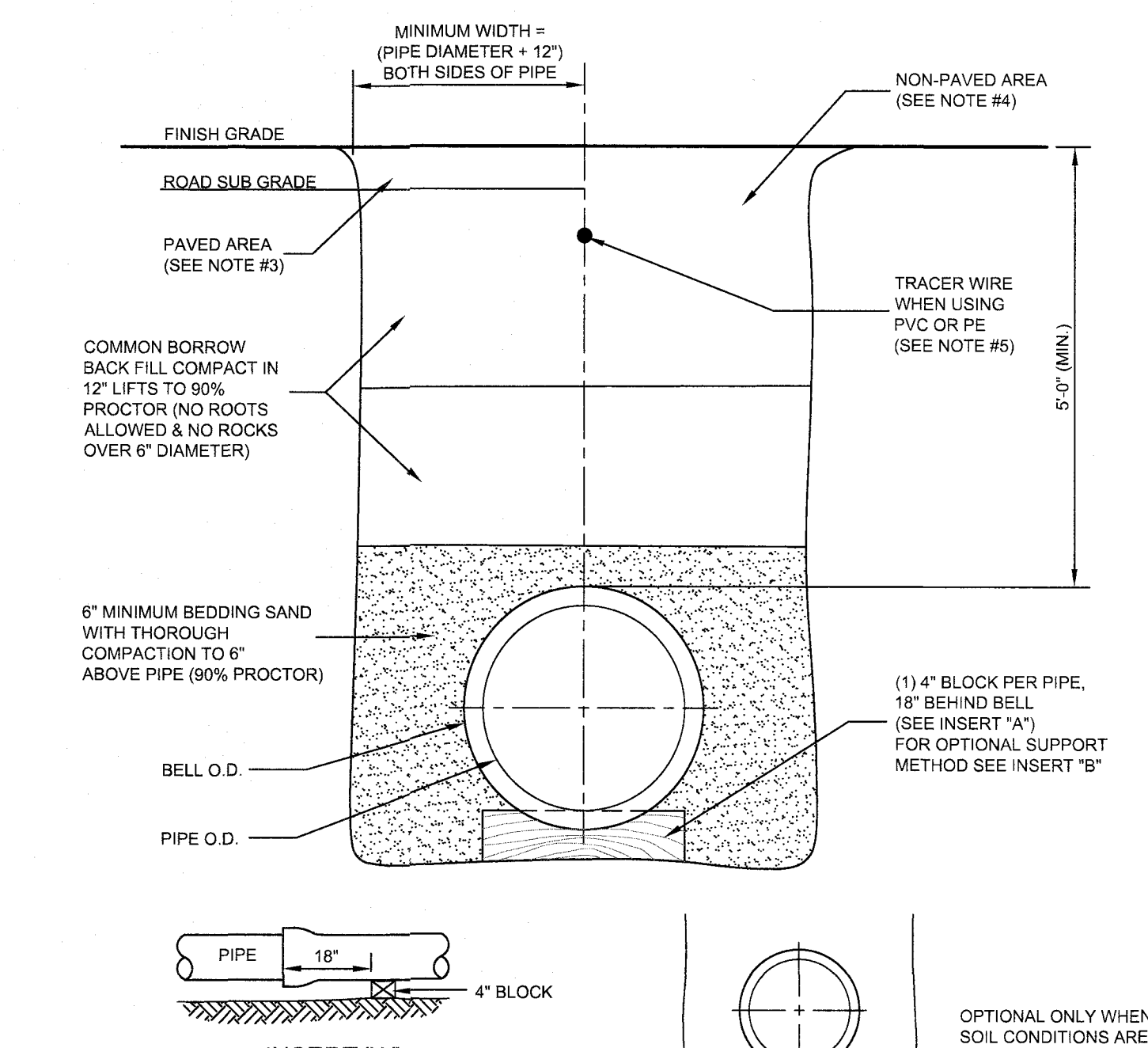
No.	DATE	DESCRIPTION	BY

DATE: MARCH 3, 2023 SCALE: 1" = 30'
PROJECT NO: 22-0126-2 SHEET 10 OF 12

PAUL CHISHOLM
No. 15076
LICENSED PROFESSIONAL ENGINEER

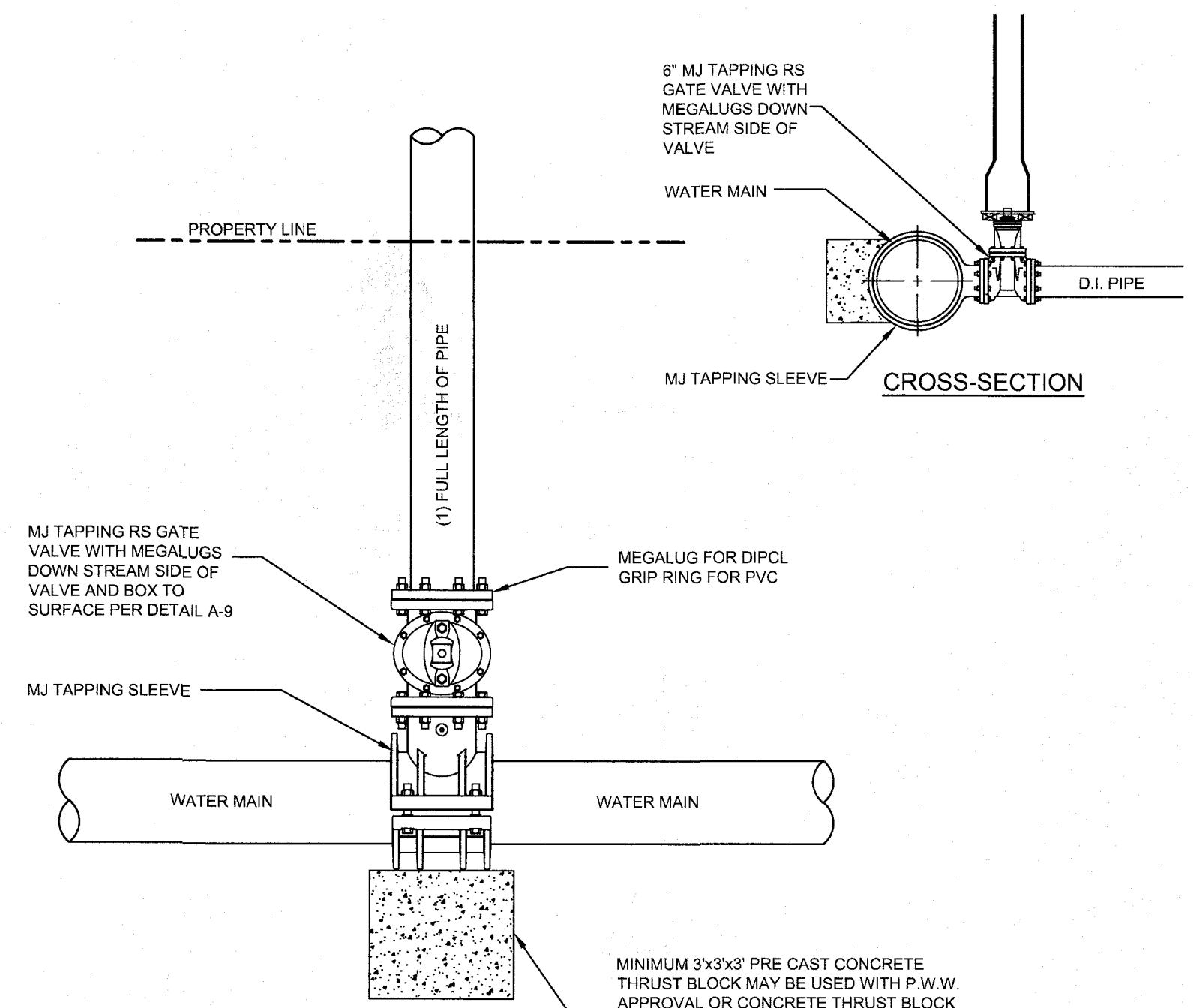


WATER SERVICE CONNECTION
NOT TO SCALE
(MARCH 2008)



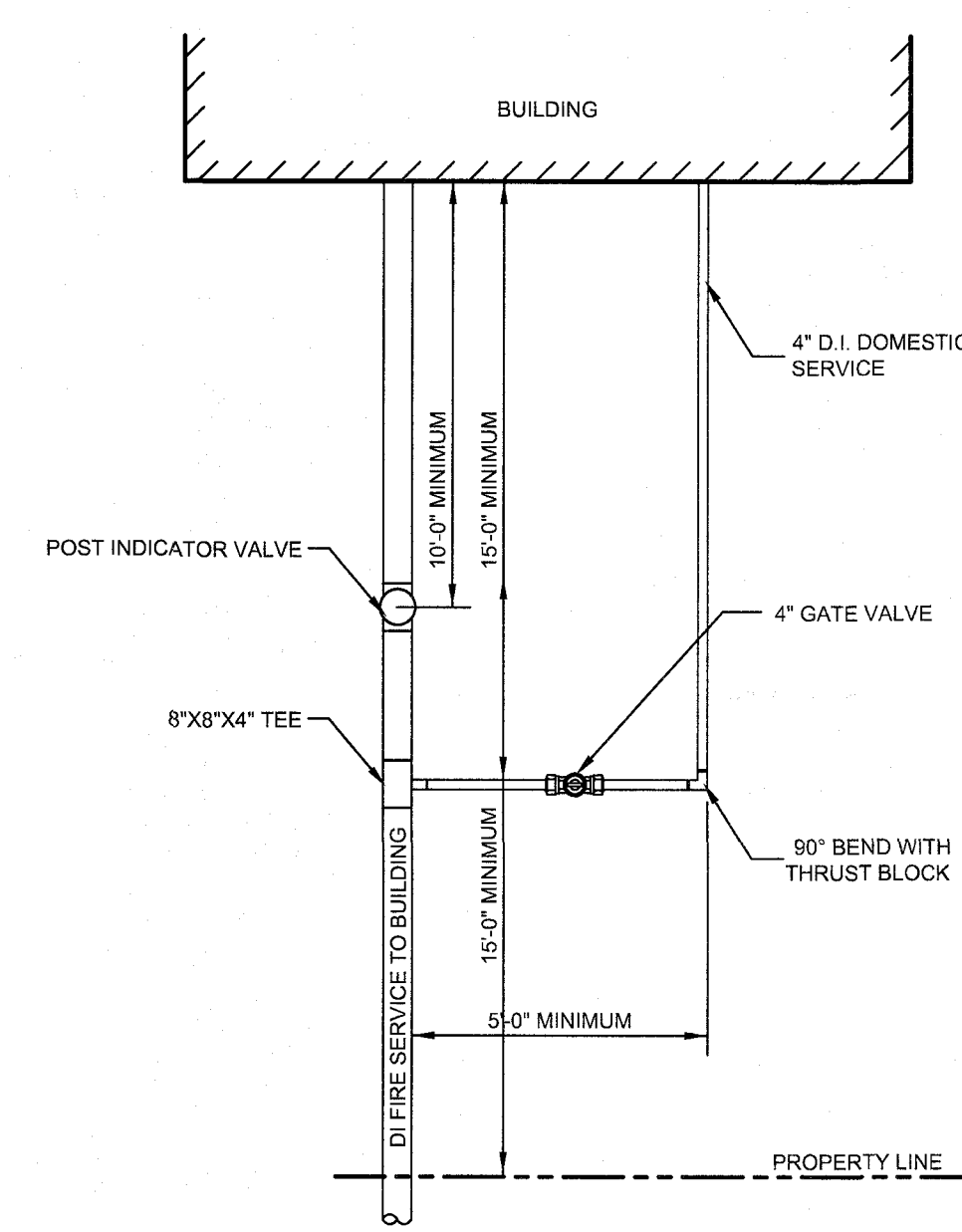
- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO FENNICHUCK WATER WORKS, INC. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
 3. REQUIREMENTS FOR SUBBASE AND BASE MATERIAL TYPE ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN PAVED AREAS.
 4. REQUIREMENTS FOR GRAVEL, LOAM AND/OR SEED ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN NON-PAVED AREAS.
 5. 10 GAUGE TRACER WIRE AS MANUFACTURED BY BMS, DIVISION OF ALBESTAR CORP., AVON, MA OR EQUIVALENT.

TRENCH DETAIL
(A-02)
NOT TO SCALE
(MARCH 2008)



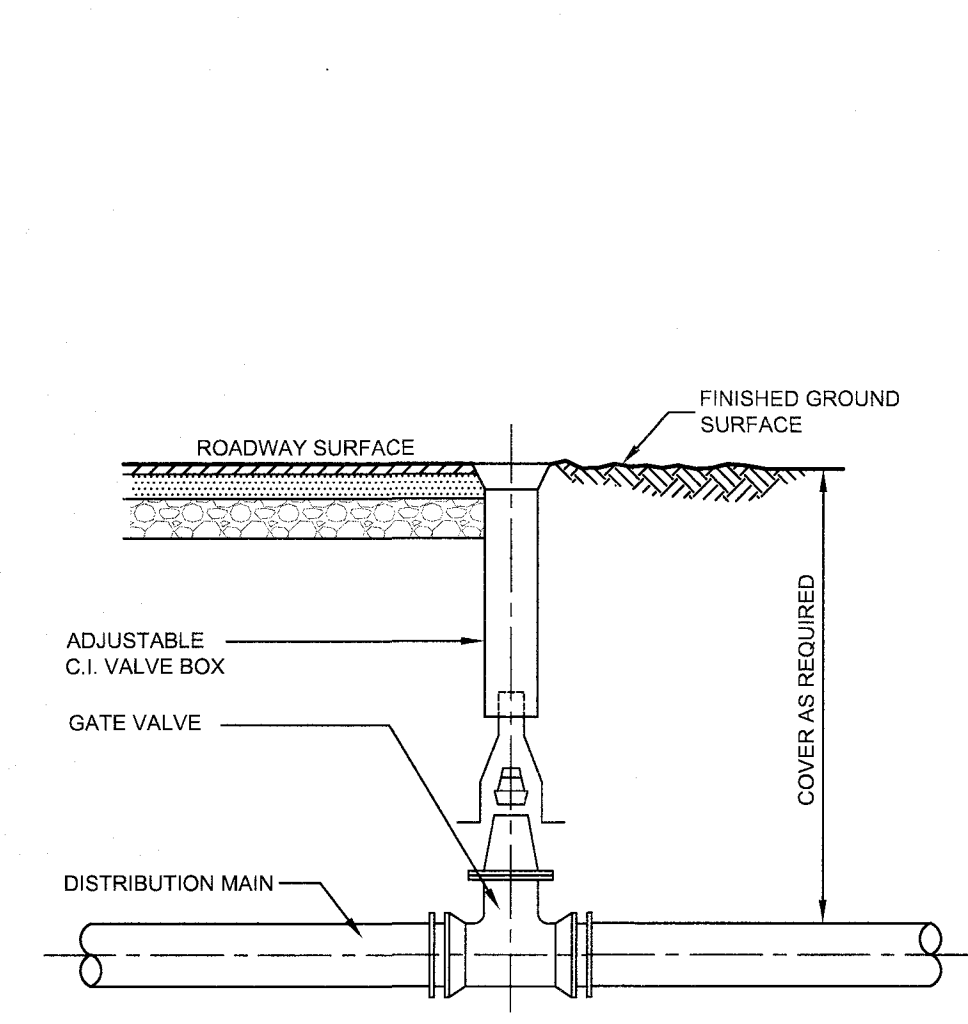
- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.

LARGE SERVICE AND/OR TAPPING SLEEVE DETAIL
(A-21)
NOT TO SCALE
(MARCH 2008)

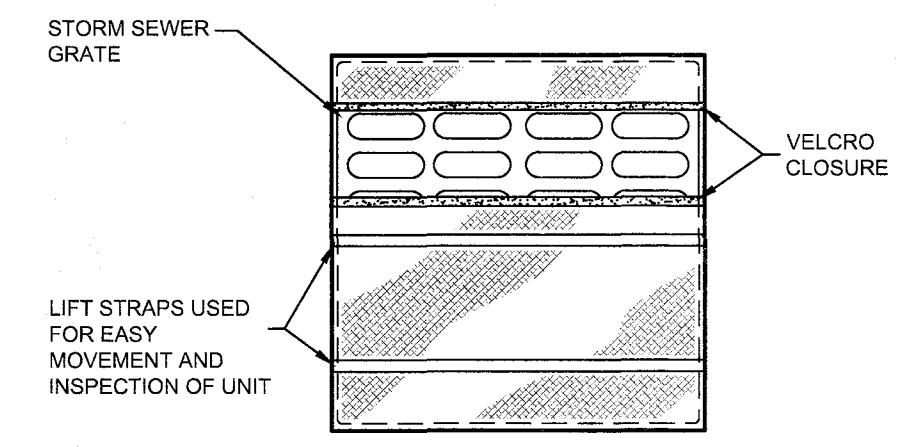


- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO FENNICHUCK WATER WORKS, INC. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-6" FROM TOP OF PIPE TO FINISH GRADE.
 3. SEE DETAIL FOR SERVICE AND VALVE BOX INSTALLATION DETAIL.
 4. SEE DETAIL A-11 FOR OUTSIDE SERVICE ENTRANCE PLAN VIEW.

DOMESTIC SERVICE TAPPED OFF FIRE SERVICE
(A-24)
NOT TO SCALE
(MARCH 2008)



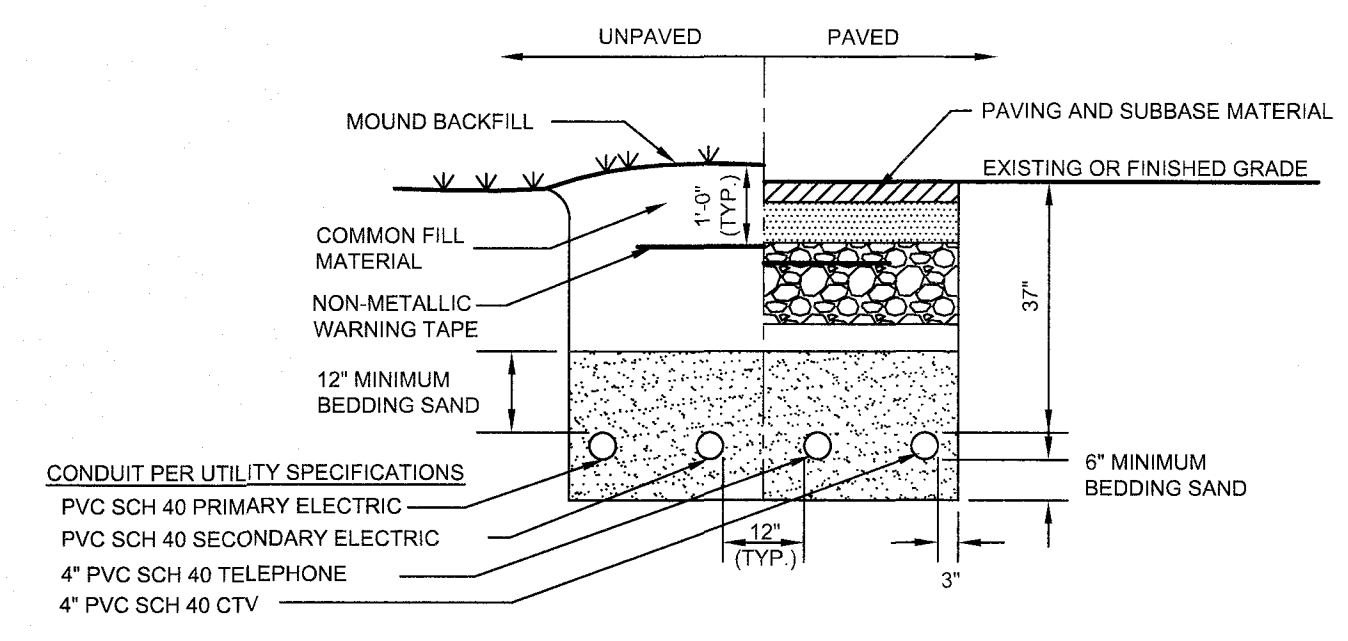
WATER AND GAS GATE VALVE
NOT TO SCALE
(MARCH 2008)



HI-FLOW DANDY BAG® (SAFETY ORANGE)

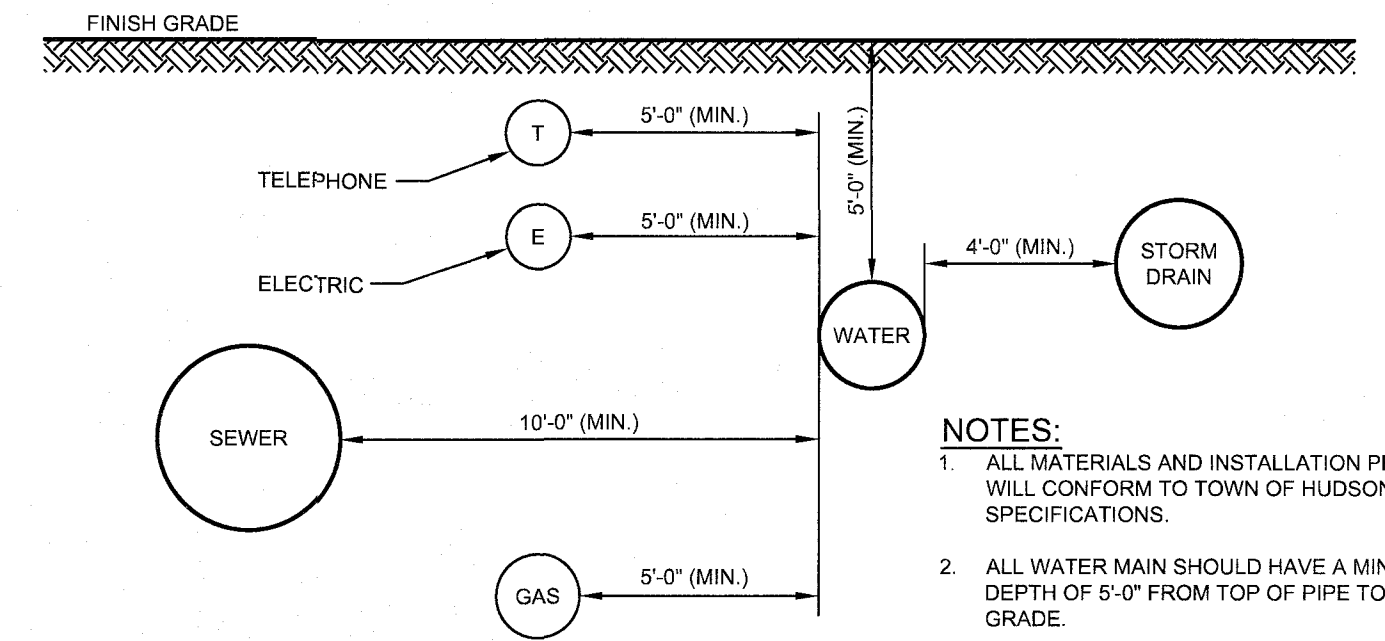
MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4832	kN (lbs)	1.62 (365) x 0.89 (200)
GRAB TENSILE ELONGATION	ASTM D 4832	%	24 x 10
PUNCTURE STRENGTH	ASTM D 4833	kN (lbs)	0.40 (90)
MULLEN BURST STRENGTH	ASTM D 3786	kPa (psi)	3097 (450)
TRAPEZOID TEAR STRENGTH	ASTM D 4533	kN (lbs)	0.51 (115) x 0.33 (75)
UV RESISTANCE	ASTM D 4355	%	90
APPARENT OPENING SIZE	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
FLOW RATE	ASTM D 4491	l/min/m ² (gal/min/ft ²)	9907 (145)
PERMITTIVITY	ASTM D 4481	Sec-1	2.1

DANDY BAG®
NOT TO SCALE
(APRIL 2010)

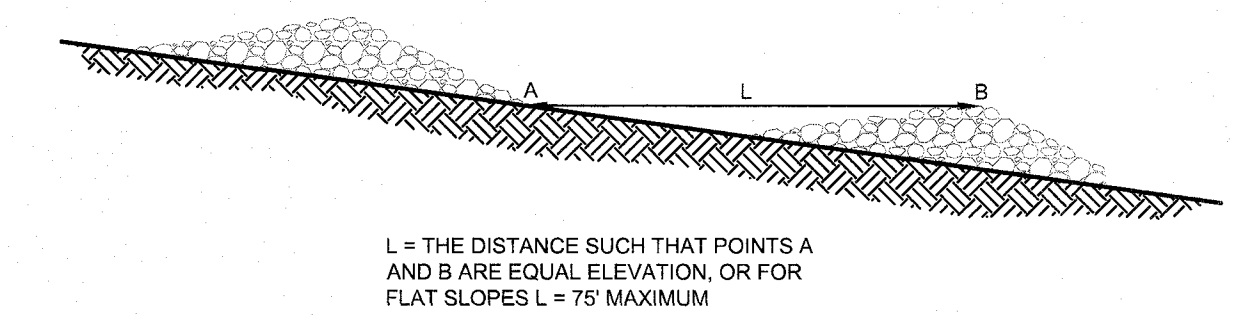


- NOTES:**
1. INSTALLATION AND MATERIALS OF UNDERGROUND UTILITIES SHALL CONFORM TO LOCAL UTILITY COMPANY SPECIFICATIONS.
 2. COORDINATE WITH UTILITY COMPANIES PRIOR TO THE START OF CONSTRUCTION.

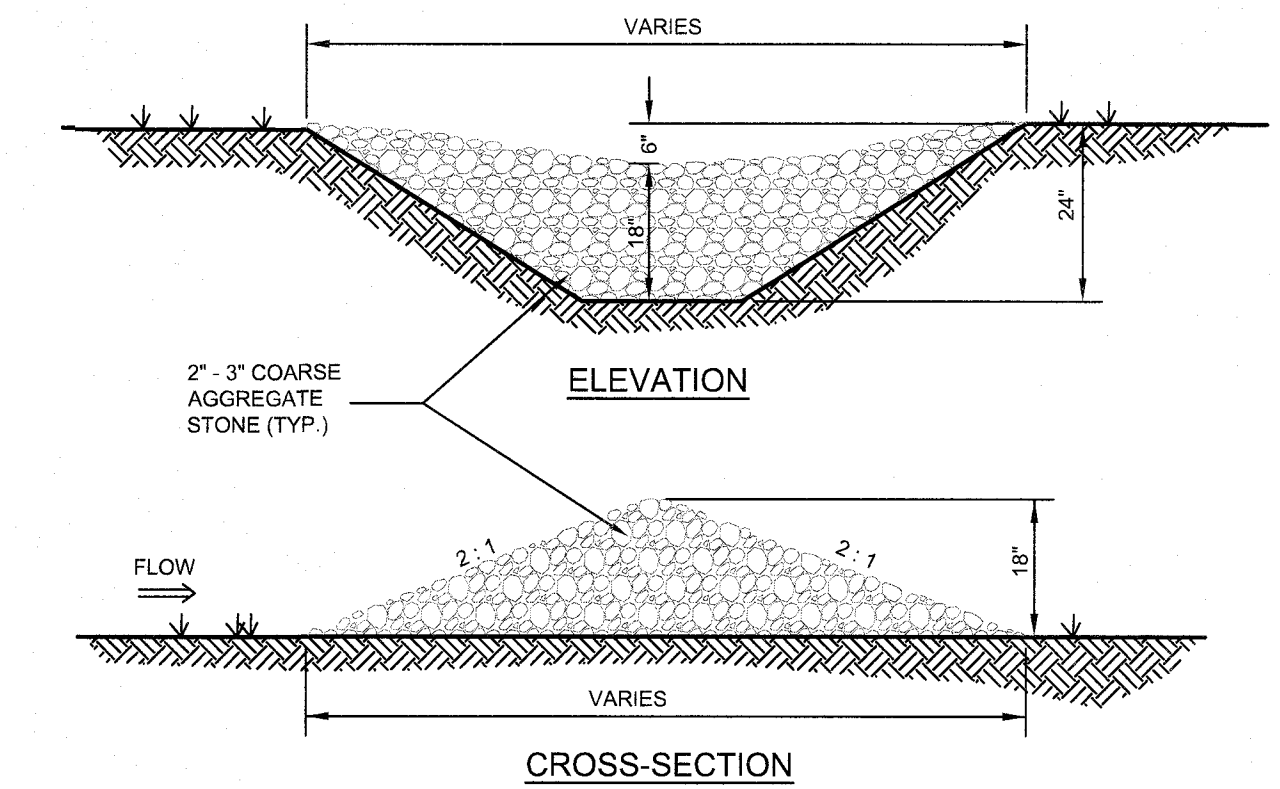
UTILITY TRENCH DETAIL
NOT TO SCALE



UTILITY SEPARATION (MAIN) DETAIL
(A-01)
NOT TO SCALE
(MARCH 2008)



STONE CHECK DAM SPACING DETAIL
NOT TO SCALE
(MARCH 2008)

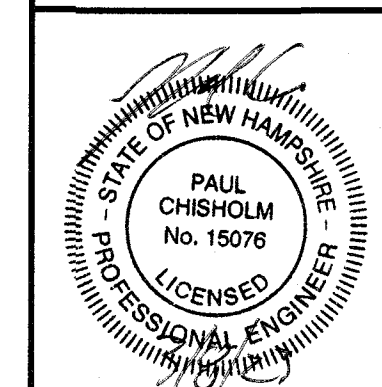


STONE CHECK DAM DETAIL
NOT TO SCALE

CONSTRUCTION DETAILS
S.L. CHASSE STEEL
MAP 105 LOT 14
5 CHRISTINE DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:
STEELE PROPERTIES, LLC
8 CHRISTINE DRIVE
HUDSON, NH 03051
H.C.R.D. BK. 9177 PG. 305

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: MARCH 3, 2023 SCALE: 1" = 30"
PROJECT NO: 22-0126-2 SHEET 11 OF 12

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

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TURF ESTABLISHMENT SCHEDULE

PURPOSE:

TO ESTABLISH AND MAINTAIN PERMANENT AND TEMPORARY TURF AREAS, RESTORE GROWTH TO EXISTING TURF AREAS DISTURBED DURING CONSTRUCTION AND CONTROL SOIL EROSION.

PREPARATION AND EXECUTION:

1. RAKE THE SUBGRADE OF ALL AREAS TO BE LOAMED AND SEEDED TO REMOVE RUBBISH, STICKS, ROOTS AND STONES LARGER THAN 1 INCH.
2. PLACE LOAM OVER AREAS TO BE SEEDDED AND SPREAD.
3. FINE GRADE SURFACE AND SUPPLEMENT WITH SUITABLE LOAM WHERE NEEDED TO CREATE A UNIFORM SURFACE ACCORDING TO THE FINISH GRADES INDICATED. TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED. NO LOAM SHALL BE SPREAD IF THE SUBGRADE IS EXCESSIVELY WET OR FROZEN.
4. APPLY LIME EVENLY OVER LOAM SURFACE AND THOROUGHLY INCORPORATE LIME INTO THE LOAM BY HEAVY RAKING TO AT LEAST ONE-HALF THE DEPTH OF THE LOAM.
5. APPLY NO PHOSPHATE, SLOW RELEASE FERTILIZER AND MIX WITH THE UPPER 2 INCHES OF LOAM.
6. DETERMINE APPROPRIATE MIXTURE FOR AREA TO BE SEEDDED BASED ON EXAMINATION OF PROJECT PLANS. UNIFORMLY SPREAD THE SEED BY BROADCASTING OR HYDROSEEDING. IF BROADCASTING, LIGHTLY RAKE INTO THE PREPARED SURFACE AND ROLL. IF HYDROSEEDING, USE 4 TIMES THE RECOMMENDED RATE OF INOCULANT AFTER SEED IS SPREAD, WATER THOROUGHLY WITH A FINE SPRAY.
7. SEEDING FOR PERMANENT COVER SHALL OCCUR BETWEEN SEPTEMBER 15 AND OCTOBER 15 AND BETWEEN APRIL 15 AND JUNE 15. SEEDING SHALL NOT BE DONE DURING WINDY WEATHER, WHEN THE GROUND IS FROZEN OR EXCESSIVELY WET OR OTHERWISE UNLITABLE.
8. WITHIN 24 HOURS AFTER SEEDING OPERATION, UNIFORMLY MULCH THE AREA WITH STRAW. ANCHOR MULCH ON ALL SLOPES EXCEEDING 3:1 USING MULCH NETTING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER.
9. PROTECT AND PREVENT AGAINST WASHOUTS, ANY WASHOUTS WHICH OCCUR SHALL BE PROMPTLY REGRADED AND RESEEDED.
10. WHEN IT IS IMPRACTICAL TO ESTABLISH PERMANENT GROWTH ON DISTURBED EARTH BY OCTOBER 15, A TEMPORARY SEED MIXTURE SHALL BE USED. WHEN TEMPORARY SEEDING CANNOT ESTABLISH VISIBLE GROWTH, THE DISTURBED AREA SHALL BE COVERED WITH SIX INCHES OF MULCH FOR THE WINTER.

MAINTENANCE:

ALL SEEDED AREAS SHALL BE KEPT WATERED AND IN GOOD CONDITION. RESEED AS NECESSARY TO ESTABLISH HEALTHY UNIFORM GROWTH OVER THE ENTIRE SEEDED AREA. MAINTAIN SEEDED AREAS IN AN APPROVED CONDITION UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE REPAIRS FOR DAMAGE CAUSED BY EROSION.

APPLICATION RATES:

1. LOAM SHALL BE APPLIED AT A MINIMUM COMPACTED THICKNESS OF 4 INCHES.
2. LIME SHALL BE APPLIED AT A RATE OF 75 TO 100 POUNDS PER 1,000 S.F.
3. FERTILIZER SHALL BE APPLIED AT A RATE OF 30 POUNDS PER 1,000 S.F. IT IS RECOMMENDED THAT THE SOIL BE TESTED PRIOR TO APPLYING ANY FERTILIZERS TO DETERMINE WHAT LEVELS AND RATES ARE NECESSARY.
4. SEED MIXTURE FOR LAWN AREAS SHALL BE APPLIED AT A RATE OF AT LEAST 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
5. TEMPORARY SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1,000 S.F.
6. SEED MIXTURE FOR SLOPE AREAS SHALL BE APPLIED AT A RATE OF 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
7. SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS SHALL BE APPLIED AT A RATE OF 70 POUNDS PER ACRE OR 1.6 POUNDS PER 1,000 S.F.
8. MULCH SHALL BE APPLIED AT A RATE OF 90 POUNDS PER 1,000 S.F.

MATERIALS:

1. LOAM USED FOR TOPSOIL SHALL BE FRABLE, FERTILE, NATURAL FREE-DRAINING LOAM; FREE OF ROOTS, GRASS, STICKS, WEEDS, CLAY, SOD LUMPS, DEBRIS AND STONES LARGER THAN 1 INCH IN ANY DIMENSION. SOIL SHALL NOT BE EXCESSIVELY ACID OR ALKALINE AND CONTAIN NO TOXIC MATERIALS.
2. LIME SHALL BE GROUND LIMESTONE CONTAINING NO LESS THAN 95% CALCIUM AND MAGNESIUM CARBONATES.
3. FERTILIZER SHALL BE NO PHOSPHORUS, SLOW RELEASE.
4. SEED MIXTURE FOR LAWN AREAS SHALL BE 99% PURE LIVE SEED AND CONSIST OF THE FOLLOWING:

- 25% CREEPING RED FESCUE
- 25% KENTUCKY BLUEGRASS
- 25% REDTOP
- 25% MANHATTAN PERENNIAL RYEGRASS

5. TEMPORARY SEEDING MIXTURE SHALL BE AN APPROVED CONSERVATION MIX OR CONSIST OF THE FOLLOWING:

- 15% BLACKWELL OR SHELTER SWITCHGRASS
- 30% NIAGRA OR KAW BIG BLUESTEM
- 30% CAMPER OR BLAZE LITLLESTEM
- 15% NE-27 OR BLAZE SAND LOVEGRASS
- 10% VIKING BIRDSFOOT TREFLOID

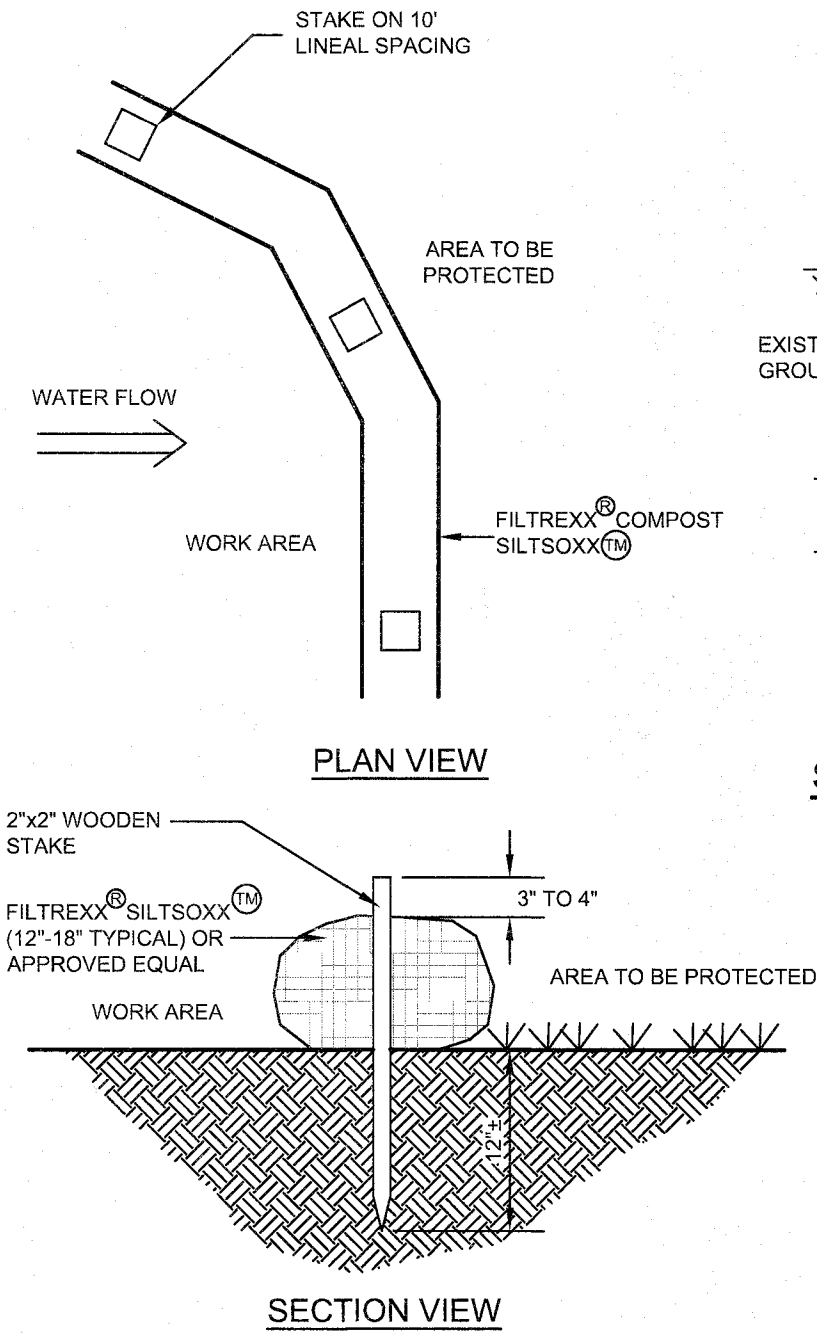
6. SEED MIXTURE FOR SLOPE AREAS SHALL BE 99% PURE LIVE SEED AND SHALL CONSIST OF THE FOLLOWING:

- 30% CREEPING RED FESCUE
 - 40% PERENNIAL RYE GRASS
 - 15% REDTOP
 - 15% BIRDSFOOT TREFLOID
- *IN ADDITION TO THE MIX SPECIFIED ABOVE, CROWN VETCH SHALL BE USED ON ALL SLOPES STEEPER THAN 3:1. CROWN VETCH SHALL BE APPLIED AT A RATE OF 10 POUNDS PER ACRE AND INOCULUM SPECIFIC TO CROWN VETCH MUST BE USED.

7. SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS, INCLUDING DETENTION BASINS AND VEGETATED TREATMENT SWALES SHALL CONSIST OF THE FOLLOWING:

- 25% CREEPING RED FESCUE
- 15% SWITCH GRASS
- 15% FOX SEDGE
- 15% CREEPING BENTGRASS
- 10% FLATPEA
- 20% WILDFLOWER VARIETY

8. STRAW USED FOR MULCH SHALL CONSIST OF MOWED AND PROPERLY CURED GRASS OR LEGUME MOWINGS, FREE FROM WEEDS, TWIGS, DEBRIS OR OTHER DELETERIOUS MATERIAL AND ROT OR MOLD.
9. NATIVE PLANTINGS SHOULD BE USED FOR ALL NEW GREENSCAPES.
10. ALL WILDFLOWER SEEDING MIXES SHOULD BE FREE OF INVASIVE SPECIES.



STABILIZED CONSTRUCTION EXIT DETAIL
NOT TO SCALE

MAINTENANCE:

1. MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE CRUSHED STONE AND THE EFFECTIVENESS OF THE CRUSHED STONE PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW CRUSHED STONE OR COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.
2. IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS DISPLAY OF VEGETATION AT ALL TIMES.

CONSTRUCTION SPECIFICATIONS:

1. STONE FOR A STABILIZED CONSTRUCTION EXIT SHALL BE 3 INCH MINIMUM STONE, RECLAIMED STONE OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED EXIT SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THE THICKNESS OF THE STABILIZED EXIT SHALL NOT BE LESS THAN 3 INCHES.
4. THE WIDTH OF THE EXIT SHALL NOT BE LESS THAN THE FULL WIDTH OF THE AREA WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION EXIT SHALL BE PIPED BENEATH THE EXIT. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
8. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. THE MOUNTABLE BERM IS REQUIRED FOR 50' LONG EXITS.

NOTES:

1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
2. SILT/STORM/COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
3. SILT/STORM/COMPOST/IS FOR MINIMUM SLOPES. GREAT SLOPES MAY REQUIRE LARGER SOCKS PER THE ENGINEER.
4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

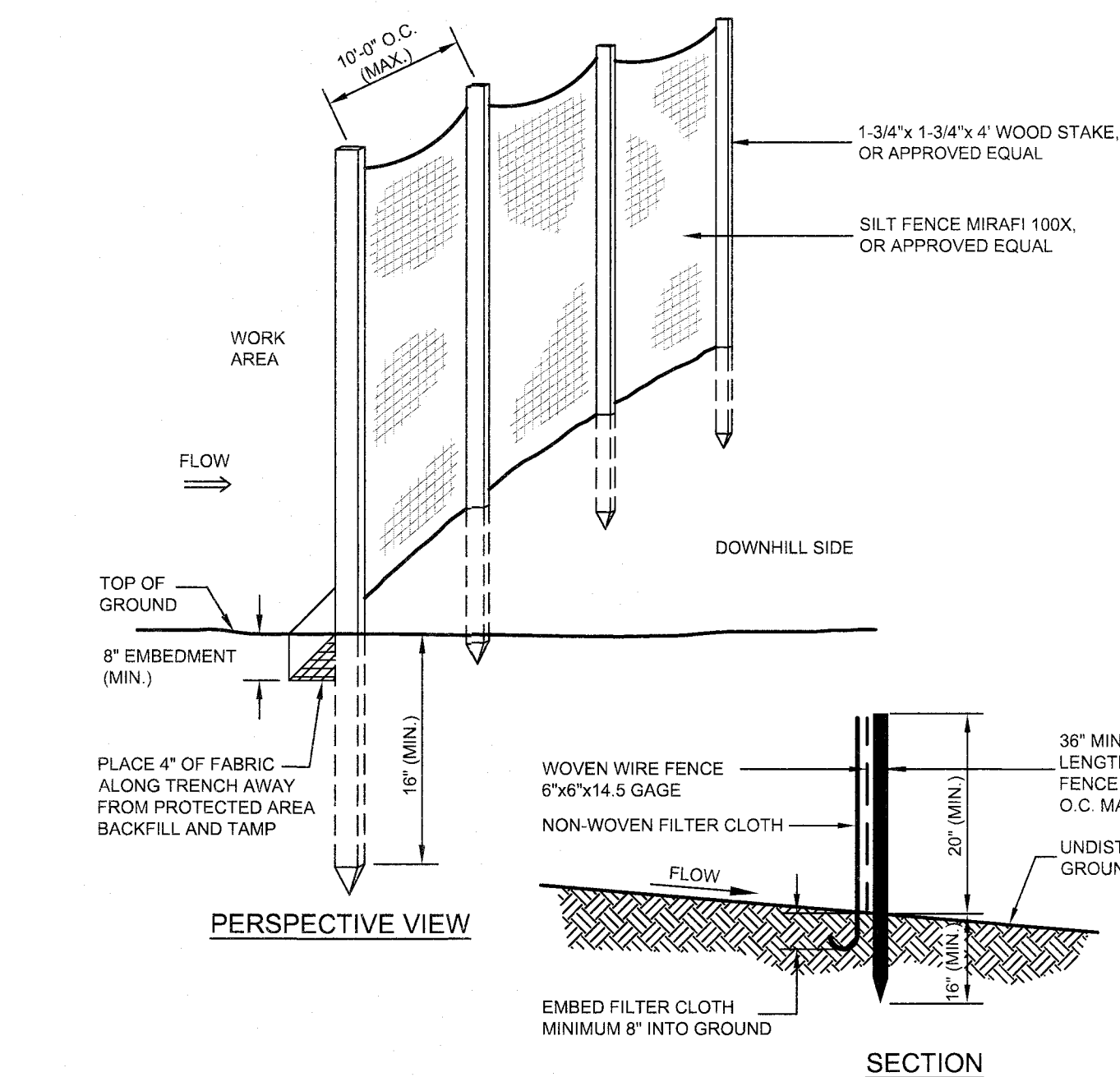
FILTREXX® SILT/STORM® DETAIL
NOT TO SCALE
(AUGUST 2011)

CONSTRUCTION SPECIFICATIONS:

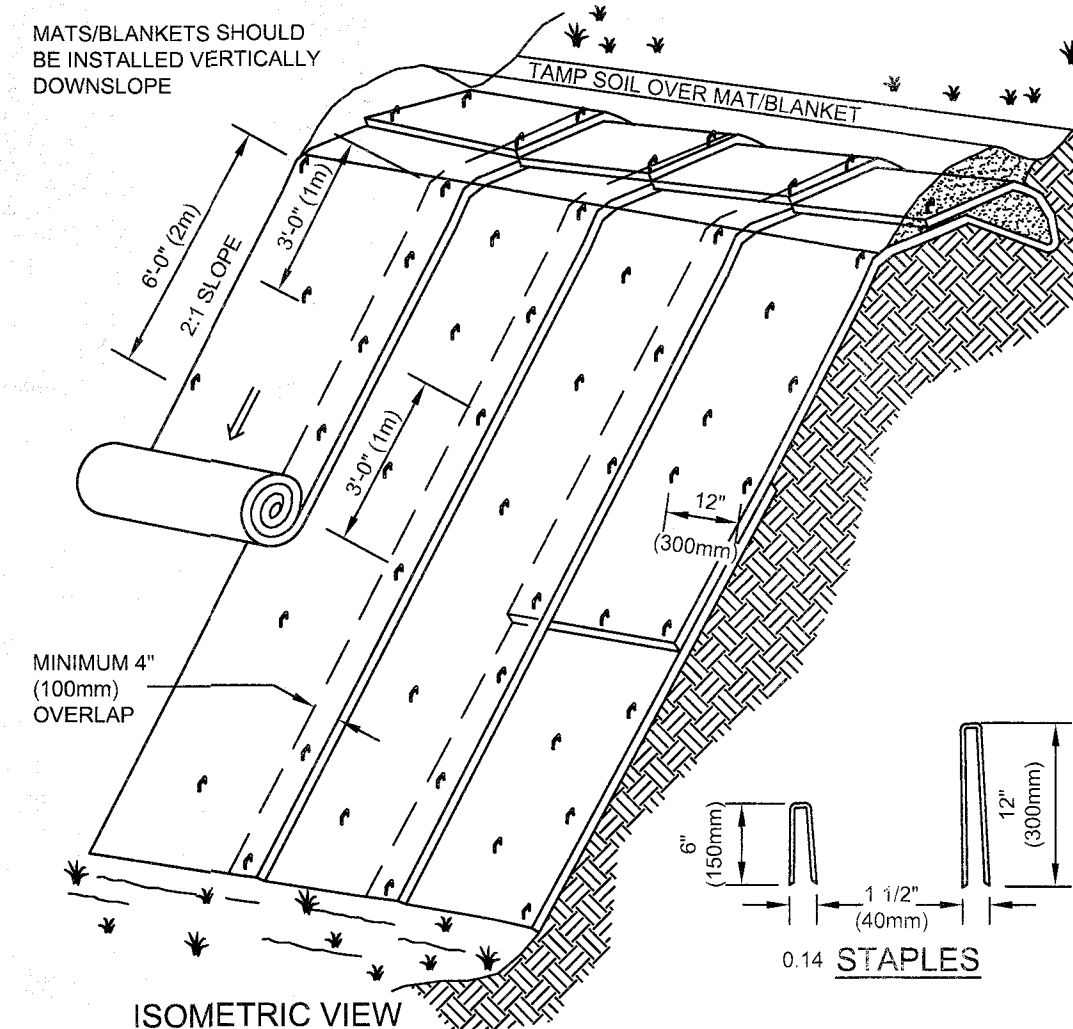
1. THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
2. THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
3. WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIE OR STAPLES WHERE NOTED OR AS DIRECTED BY DESIGN ENGINEER.
4. FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MIDSECTION AND BOTTOM.
5. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
6. FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
7. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

MAINTENANCE:

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.



SILT FENCE DETAIL
NOT TO SCALE
(MARCH 2008)



NOTES:

1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
2. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
4. EROSION BLANKETS TO BE A BCN150 OR AN APPROVED ALTERNATIVE WHICH MUST CONSIST OF ALL NATURAL FIBERS.

EROSION CONTROL BLANKETS - SLOPE INSTALLATION
NOT TO SCALE
(AUGUST 2011)

CONSTRUCTION SEQUENCE

1. THE CONTRACTOR WILL ENSURE THAT NO MORE THAN 5 ACRES IS DISTURBED AT ANY ONE TIME.
2. FIRST CUT AND CLEAR TREES AND BRUSH ONLY WITHIN DESIGNATED LIMITS OF CLEARING AS NECESSARY TO FACILITATE PROPOSED CONSTRUCTION. ALL TREES, BRANCHES AND OTHER VEGETATIVE MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR. THIS PROJECT IS MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
3. PRIOR TO COMMENCEMENT OF ANY EARTHMOVING OPERATIONS, ALL APPLICABLE TEMPORARY EROSION CONTROL MEASURES, INCLUDING SPECIFIED PERIMETER SILTATION FENCING AND STABILIZED CONSTRUCTION EXIT SHALL BE IN PLACE AS SHOWN ON THE PROJECT PLANS.
4. COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR ORGANIC DEBRIS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR. NATIVE ORGANIC SOIL MATERIALS SHALL BE STOCKPILED WITHIN AREAS OUT OF THE WAY OF OTHER CONSTRUCTION ACTIVITIES AND DRAINAGE FLOW. STOCKPILES SHALL BE TEMPORARILY SEEDDED WITH WINTER RYE AND BE SURROUNDED WITH STRAW BALES AND/OR FABRIC SILTATION FENCE IN ORDER TO PREVENT LOSS DUE TO EROSION.
5. BEGIN EARTHMOVING OPERATIONS, COMMENCING WITH WORK NEEDED TO BALANCE SITE AND FACILITATE BUILDING FOUNDATION AND PERIMETER WALL CONSTRUCTION. PERMANENT DOWNSLOPE WORK SHALL BE PROTECTED FROM UPGRADING STORMWATER FLOW BY THE CONSTRUCTION OF TEMPORARY EARTHEN DIKES OR EXCAVATED SWALES.
6. ONCE BUILDING FOUNDATION WORK IS UNDERWAY, CONTINUE EARTHMOVING OPERATIONS UNTIL DESIGN SUBGRADE IS ACHIEVED.
7. DETENTION BASINS/SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
8. DITCHES/SWALES/BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
9. TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC.) MUST BE USED AS NECESSARY UNTIL SOILS ARE STABILIZED.
10. INSTALL DRAINAGE SWALE SYSTEMS AND OTHER UTILITIES WORKING FROM LOW TO HIGH. INCOMPLETE WORK SHALL BE PROTECTED FROM SILTATION BY THE USE OF SILTATION BARRIERS AROUND SWALES UNTIL THE SITE HAS BECOME FULLY STABILIZED.
11. INSTALL THE BINDER COURSE OF PAVEMENT FOLLOWED BY A PASS WITH A LEVELING DRAG. STORMWATER FLOWS ARE NOT TO BE DIRECTED TO THE INFILTRATION AREA UNTIL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
12. PLACE GRAVEL AND CRUSHED GRAVEL OVER PROPOSED DRIVEWAY, WALKS AND PARKING AREAS AND COMPACT IN SPECIFIED LIFT THICKNESS.
13. COMPLETE EXCAVATION/STABILIZATION GRADING ACTIVITIES. WHEN COMPLETE, IMMEDIATELY BEGIN TOPSOILING PROPOSED TURF AREAS USING STOCKPILED LOAM SUPPLEMENTED WITH BORROW LOAM, IF NECESSARY, TO LEAVE A THICKNESS OF 4 INCHES OF FRABLE LOAM.
14. FINE GRADE ALL FUTURE TURF AREAS AND HYDROSEED WITH THE SPECIFIED SEED MIXTURE IMMEDIATELY AFTER FINE GRADING IS COMPLETED. ALL AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
15. INSTALL THE BINDER COURSE OF PAVEMENT FOLLOWED BY A PASS WITH A LEVELING DRAG.
16. CONTINUE TO MONITOR AND RECTIFY MINOR SITE AND SLOPE EROSION UNTIL ENTIRE SITE APPEARS TO BE COMPLETELY STABILIZED AND VEGETATED WITH A HEALTHY STAND OF TURF OR GROUND COVER. MAINTAIN SPECIFIED SILTATION/EROSION CONTROL MEASURES THROUGHOUT ONE WINTER.
17. INSTALL THE SPECIFIED WEARING COURSE OF PAVEMENT OVER THE BINDER COURSE.
18. COMPLETE INSTALLATION OF LANDSCAPING, SIGNAGE AND OTHER SITE AMENITIES.

CERTIFICATE OF OCCUPANCY PHASING PLAN AGREEMENT:

1. THE FOLLOWING SITE IMPROVEMENTS ARE REQUIRED FOR INDIVIDUAL CERTIFICATES OF OCCUPANCY AS CONSTRUCTION PROGRESSES:
 - A. STOP SIGNS AND TEMPORARY STRIPING OF STOP BARS;
 - B. STOP SIGNS AND TEMPORARY STRIPING OF STOP BARS;
 - C. GRADING AND DRAINAGE;
 - D. LOAM AND SEED THAT SUPPORTS THE SUBJECT UNIT OF THE CERTIFICATE OF OCCUPANCY;
 - E. TEMPORARY STRIPING OF VISITOR PARKING; AND
 - F. UTILITIES.

EROSION CONTROL NOTES

1. EXPOSED EARTHWORK SHALL BE CONFINED TO AS LIMITED AN AREA AS IS PRACTICAL AT ANY GIVEN TIME THROUGHOUT THE CONSTRUCTION SEQUENCE. AT NO TIME SHALL MORE THAN FIVE (5) ACRES OF SITE AREA BE IN AN UNSTABLE CONDITION UNLESS AN ENVIRONMENTAL MONITOR IS EMPLOYED THROUGHOUT THE DURATION OF CONSTRUCTION. NO GIVEN AREA OF THE SITE SHALL BE LEFT IN AN UNSTABILIZED CONDITION FOR A PERIOD OF TIME EXCEEDING FORTY-FIVE (45) CALENDAR DAYS.
2. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS. IN ADDITION, SIMILAR MEASURES SHALL BE INSTALLED WHERE AND WHEN THE FIELD CONDITION, OR FIELD OPERATION OF THE INDIVIDUAL SITE CONTRACTOR MAY WARRANT. ALL TEMPORARY EROSION CONTROL MEASURES USED SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25\"/>

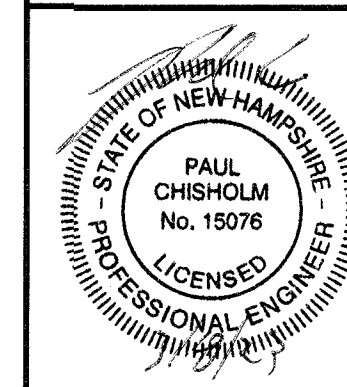
WINTER CONSTRUCTION NOTES:

1. ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 1:1, AND SEEDING AND MATS/BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS. ELSEWHERE, THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3 OR, IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON, BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.
4. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 3\"/>

CONSTRUCTION DETAILS
S.L. CHASSE STEEL
MAP 105 LOT 14
5 CHRISTINE DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:
STEELE PROPERTIES, LLC
8 CHRISTINE DRIVE
HUDSON, NH 03051
H.C.R.D. BK. 9177 PG. 305

K&A KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: MARCH 3, 2023 SCALE: 1" = 30'
PROJECT NO: 22-0126-2 SHEET 12 OF 12

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE DATE: _____

SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.