



TOWN OF HUDSON

Conservation Commission



William Collins, Chairman David Morin, Selectmen Liaison

12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

CONSERVATION COMMISSION MEETING AGENDA December 11, 2023

The Town of Hudson Conservation Commission will hold its next meeting on **December 11, 2023** at 7:00 p.m. in the Buxton Meeting Room, located in Town Hall 12 School Street, Hudson, NH.

- ✓ Call to Order
- ✓ Pledge of Allegiance
- ✓ Roll Call
- ✓ Alternates
- ✓ Public Input Related to Non-Agenda Items

I. New Business:

- a. Conditional Use Permit – 36 Campbello Street, Parcel ID: 165-049-000

II. Old Business:

- a. Conditional Use Permit – 78 Highland Street, Parcel ID: 175-019-000

III. Other Business:

- a: Game Cameras – S. Rumbaugh

IV. Financial Status:

Current Report

V. Correspondence

Correspondence a: Free Trees

Correspondence b: NRPC- Pedestrian Access

VI. Approval of Minutes:

- a. Meeting Minutes – October 16, 2023
- b. Meeting Minutes & Non-Public Meeting Minutes – November 13, 2023

VII. Commissioner's Comments:

Next Regular Meeting: Monday, January 8, 2024 at 7:00 p.m.

William Collins

William Collins, Chairman

Expenditure Report - Including Carry Forward Activity
Conservation Committee
 Town of Hudson, NH
 As Of: November 2023, GL Year 2024

Account Number	Budget & PY			MTD Exp	YTD Exp	Encumbered	Encumbered	Balance Available	%Used
	Budget	Prior Year Encumbered	Adjustments						
Selected Year	52,753.00	0.00	0.00	40.00	330,892.00	0.00	0.00	-278,139.00	627.248
Prior Year	0.00	28,000.00	0.00	0.00	0.00	28,000.00	28,000.00	0.00	100.000
Grand Total	52,753.00	28,000.00	0.00	40.00	330,892.00	28,000.00	28,000.00	-278,139.00	444.432

**Town of Hudson, NH
Conservation Cash Flow
Fiscal Year 2024**

	July	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	June
Conservation Beginning Bal.	764,609.09	766,596.24	768,588.55	770,603.72	772,691.53	-	-	-	-	-	-	-
Income												
Deposits	-	-	-	-	-	-	-	-	-	-	-	-
Interest	1,987.15	1,992.31	2,015.17	2,087.81	2,025.93	-	-	-	-	-	-	-
Total Income	1,987.15	1,992.31	2,015.17	2,087.81	2,025.93	-	-	-	-	-	-	-
Expenditures												
Expenditures	-	-	-	-	-	-	-	-	-	-	-	-
Bank Charges	-	-	-	-	-	-	-	-	-	-	-	-
Total Expend.	-	-	-	-	-	-	-	-	-	-	-	-
Ending Balance	766,596.24	768,588.55	770,603.72	772,691.53	774,717.46	-	-	-	-	-	-	-

Correspondence a:

Bill,

Thought this may be of interest to you.

Free Trees in New Hampshire

Does Your NH Property Meet the Requirements?

Now is the time for a property assessment to determine if you qualify for free trees and shrubs to be planted next spring. Help do your part to protect vulnerable shorelines, by improving water quality near the source.

In order to qualify for free trees, your property must:

- (1) be located in the Merrimack River watershed in NH,
- (2) be located along a shoreline - a river, stream or lake (not just the Merrimack River!)
- (3) show signs of erosion or a lack of plants, and be runoff prone,
- (4) be a suitable place for new plants to thrive.

Merrimack River Watershed Council must submit plants orders by February, and planting will occur from May to June. Although your property may seem to fit the criteria above, trees and shrub seedlings must be planted in accordance with state permitting and federal funding requirements determined by staff experts.

To find out more, contact Tyson Morrill, Restoration Project Manager at tyson@merrimack.org

(Source: Merrimack River Watershed Council)

Brenda Collins, President

Gr. Hudson Chamber of Commerce

71 Lowell Road, Hudson NH 03051

(603) 889-4731

www.HudsonChamber.com

email: info@hudsonchamber.com



Bike and pedestrian counting in the Bartell Trail in Brookline, NH



An EcoCounter pedestrian counter located on a Milford Oval sidewalk lamppost

2023 Bike & Pedestrian Counting

Did you know? NRPC has an increasingly active program of bicyclist and pedestrian counting. These data inform town officials' decisions as they relate to bicyclist/pedestrian safety, infrastructure, and use of recreation spaces, and they have the potential to increase access to federal funding for future improvements.

We use counters built and developed by EcoCounter, an international company that provides turnkey solutions for cyclists and pedestrian counting and analysis. These counters use infrared sensors to identify pedestrians walking past, and hollow rubber tubes to record bicycle traffic. We have successfully utilized these counters next to sidewalks, on paved multi-purpose trails, at conservation areas, and on pedestrian bridges.

This year, NRPC counted bicyclists and pedestrians in more locations than ever before. Our bike and pedestrian counters are installed at locations for typically two weeks at a time. At some locations, we may install the counters multiple times per year. We will continue to add new count locations over time, to characterize the most important bike and pedestrian locations in each of our region's communities.

To learn more about our bike and pedestrian counting check out [our webpage](#) or contact [Tyrel Borowitz](#).

NRPC Pedestrian and Bicyclist Counts 2023	
*denotes NEW location in 2023	
Count Locations	Daily Average
BROOKLINE	
* 11 Milford St (Rt 130) Sidewalk, South of Brookline Ballpark	42
*Cider Mill Pond Trailhead	28
*Palmer-Bartell Forest Trailhead	67
HUDSON	
*Musquash Conservation Area Trailhead	17
Sagamore Park Path (east entrance gate on Sagamore Park Rd)	42
LITCHFIELD	
Albuquerque Ave (btw High School & Sparrow Ct)	62
Albuquerque Ave (North of Hillcrest Rd)	23
MILFORD	
*101A/Nashua St., south sidewalk @ 483 (James St. intersection)	27
Keyes Memorial Park pedestrian bridge	223
*Oval Sidewalk @ #241 Union Square	745
*South St (Rt 13) Sidewalk @ #183	40
Swing Bridge	160
NASHUA	
Heritage Rail Trail (east Location @ Vine St)	377
Heritage Rail Trail (west Location by 12th St)	154
Main St (east sidewalk) B/T Pearl St and Hollis St	496
Main St (west sidewalk) B/T Canal St and Water St	567
Main St (west sidewalk) B/T Pearl St and Hollis St	528
Mine Falls Park (Everett St entrance)	193
*Mine Falls Park (Pine St Ext Trail Head)	205
Mine Falls Park (Whipple St entrance)	531
*Nashua River Footbridge behind The Apartments at Cotton Mill	124

New Additions to Trail Data in Milford & Mont Vernon

This summer and early fall, NRPC added several trail systems in two communities to our GIS inventory. Thanks to the guidance of Conservation Commission members Chris Costantino (Milford) and Shelley Brooks (Mont Vernon), NRPC staff walked and mapped trails and other associated features at the following properties:

Correspondence c: NRPC Pedestrian Counting

Mont Vernon

- Purgatory Falls
- Lamson Farm
- Archibald Property
- Hebert Town Forest
- Havinga Woods
- Herlihy Swamp



Milford

- Tucker Brook Town Forest
- Hitchiner Town Forest
- Mayflower Hill Town Forest
- Burns Farm

Also in Milford, NRPC was pleased to assist the Souhegan Valley Boys & Girls Club with a request to create kiosk maps for the portion of the Souhegan River Trail that runs through their property, featuring an interpretive nature walk with gardens, resting spots, and great riverside views. Be sure to check out the trail and the maps created by our summer intern Liam if you're looking for a fun walk in the area.

All these trails join our regional trails database and can be viewed on [NRPC Live Maps](#) by selecting Public Trails from the Themes menu. Happy hiking (and snowshoeing) as we enter the chilly months!

Free Trees In New Hampshire

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Correspondence c: NRPC Pedestrian Counting

with state permitting and federal funding requirements determined by staff experts.

(Source: Merrimack River Watershed Council)

To find out more, contact Tyson Morrill, Restoration Project Manager at tyson@merr



TOWN OF HUDSON

Conservation Commission



William Collins, Chairman Dave Morin, Selectmen Liaison

12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-816-1291

DATE: October 16, 2023

MEETING MINUTES: Below is a listing of minutes for the Hudson Conservation Commission. Minutes are not a verbatim record of each meeting, but rather represent a summary of the discussion and actions taken at the meeting. All Conservation Commission meetings are televised live and repeated during the following week on HCTV, cable television channel 22. Official copies of the minutes are available to read and copy at the Town Engineer's Office during regular business hours (Monday through Friday, 8:00 A.M. to 4:30 P.M.).

Should you have any questions concerning these minutes or wish to see the original recording, please contact the Town Engineer's Office at 603-886-6008.

In attendance = X Alternates Seated = S Partial Attendance = P Excused Absence = E

William Collins Carl Murphy Ken Dickinson Brian Pinsonneault
Chairman X Vice-Chair X Clerk X Member X

Sandra Rumbaugh Linda Krisciunas Open Seat David Morin Elvis Dhima
Member X Alternate X Alternate Selectman Rep E Town Rep E

.....
CALL TO ORDER BY CHAIRPERSON AT 07:00 P.M.

PLEDGE OF ALLEGIANCE

ROLL CALL

SEATING OF ALTERNATES:

Public Input Related to Non-Agenda Items: None

I. New Business

- a. Eagle Scout Project - Deferred Item to November Agenda

b. Annual LCHIP Monitoring Reports:

Mr. Murphy volunteered to perform the boundary inspections and annual monitoring reports for both Tri-Town Forest and Musquash Conservation Areas. Reports are due by Dec 31st. Chairman Collins will further coordinate with Mr. Murphy.

II. Old Business

a. Draft Warrant Discussion:

Mrs. Rumbaugh presented a draft wetland ordinance document. Mr. Pinsonneault inquired about the process of Prime Wetlands designation. Mr. Collins and Mr. Dickinson provided commentary regarding this process. Mr. Dickinson inquired regarding process and review timeline. Mr. Collins explained that Mrs. Rumbaugh used the Town of Merrimack's ordinance as a primary reference and incorporated comments from other NH municipalities as well. Mrs. Rumbaugh further explained the evolution of her draft ordinance since August, i.e. a tiered buffer system was incorporated similar to Town of Bow, NH. She mentioned that Bogs and Vernal Pools should receive greater protection than other wetlands. The classification of streams should be recognized, i.e. Town of Hampton, NH. Hampton, NH has both an aquifer protection protection and comprehensive shoreland protection overlay districts. Mr. Collins noted that Mrs. Rumbaugh made an excellent effort and provided a good start for Mr. Groth to refine and present to the Planning Board for their concurrence and approval.

Mr. Collins requested comments regarding the front end portion of the ordinance. Mrs. Krisciunas noted that some of the wording might be difficult for the general public to fully understand. Mr. Murphy asked if wetland functions and values were the same as wildlife functions and values. After a brief discussion, the Commission focused on reviewing wetland buffers. Mr. Dickinson suggested deleting the portion regarding Atlantic White Cedar Swamps and providing a vernal pool buffer exceeding 75 feet. He questioned if vernal pools should have their own category. There was discussion regarding if prime wetland buffers should be included in the ordinance revisions. Mr. Collins proposed to increase vernal pool buffers to 100 feet. He also noted that the soils portion of the draft ordinance needed further refinement. Mr. Dickinson recommended that references to the Town of Hudson GIS system layers should be noted. Mr. Pinsonneault noted that Section IV needs some rewording. Mr. Collins noted that a "List of Allowable Uses" within the buffer would be beneficial. He asked Mrs. Rumbaugh to review the "NHDES list of minimum impact projects" to see if our proposed list would require further modification. Mr. Collins also noted that the "List of Prohibited Uses" should be vetted by Town Staff. In general, the proposed revisions would give the ordinance refined definition.

A discussion regarding conservation land funding and future warrant articles followed the review of ordinances. A brief discussion followed on the proposed Aquifer Protection Overlay District ordinance. Mr. Collins suggested that we move the definitions (front end) portion to the wetlands ordinance itself. Mr. Dickinson suggested that the proposed district area also be reviewed for a "List of Allowable Uses" uses by planning staff. He noted that some of the verbiage did not apply to Hudson and that the proposed ordinance could be shortened. Further discussion on the proposed Aquifer Protection Overlay District was deferred to our regular November meeting.

Mrs. Rumbaugh asked Mr. Collins if she could coordinate with Mr. Groth and Mr. Dhima to obtain

their general impression and further refine the draft ordinances within the next month. Mr. Collins concurred. Mrs. Rumbaugh stated that she would edit our wetlands ordinance (Section 334) for Mr. Collins to submit to Mr. Groth; in effort to move that portion along with the Planning Board. Mr. Collins stated that he would obtain GRANIT view mapping information for Hudson's aquifer for review prior to our regular November meeting.

b. Weed Control Improvements at Musquash Conservation Area:

Mr. Dickinson noted that he contacted both Full Circle Forestry in NH and Bay State Forestry in MA. Both companies were fully booked for 2023; however Eric Radlof of Full Circle Forestry (FCF) provided a 2024 season bid for \$125 per man hour including travel and materials. They could provide full treatment for trails within the defined project area in one day for a price not to exceed \$3000 plus \$250 NHDES permit fee. For the Knotweed control area around the historic barn foundation two prices were submitted: \$125 per man hour not to exceed \$625 optional bid for Knotweed cutting and removal (prep work) and \$125 per man hour not to exceed \$1250 for a September 2024 foliar herbicide treatment. 2025 follow-up treatment was also recommended.

Mrs. Krisciunas asked if warning signs would be posted, if trails would need to be closed and if the treatments would need to occur annually. Mr. Dickinson responded that FCF would post signage prior to treatment and trails would be closed for a 48 hour period approx. following treatment. FCF intends to perform trail herbicide treatments annually. Knotweed treatment is intended to occur less frequently; however Mr. Dickinson projected that Knotweed would be a continued management issue, due to the larger stand located upstream.

Mr. Pinsonneault was in favor of moving forward with both treatments, in effort to reduce the spread of Knotweed and other invasive vegetation. Mrs. Rumbaugh asked what account the expenditure would occur within. Mr. Collins noted that it typically is Professional Services. Mr. Murphy noted that grant funds are available via USDA. Mr. Murphy will research grant funding for next year. Mr. Dickinson presented the following motion:

Motion #1: to approve the herbicide proposal by Full Circle Forestry "Part A" in the amount not to exceed \$3250. prior to June 30, 2024.

Mrs. Rumbaugh seconded the motion. Motion passed 4-1.

Chairman Collins was not in favor as he felt the cost was excessive for herbicide treatments for Poison Ivy. Mr. Dickinson noted that the herbicide treatments would target all invasive vegetation (not exclusive to Poison Ivy).

After continued discussion regarding the Knotweed portion, Mr. Dickinson presented the following second motion:

Motion #2: to approve the proposal as presented by Full Circle Forestry for Knotweed treatment services in the amount not to exceed \$1900 for FY 2024.

Mrs. Rumbaugh seconded the motion. Motion passed 5-0.

Mr. Dickinson noted that FCF has the ability to treat smaller portions other properties, i.e. Hudson Town Forest parking area, contingent upon work that can completed within one work day (similar to their annual contracts with Pelham, Hollis and Meredith).

c. Map Acceptance – Hudson Town Forest:

Chairman Collins presented the NRPC revised map. Mr. Dickinson requested a few revisions. Mr. Collins entertained a motion to approve the revised map with requests for limited revisions incorporated. Motion by Mr. Pinsonneault and seconded by Mr. Murphy. Motion Carried 5-0.

III. Other Business

a. Trail Work Day:

After some discussion of the need for continued work activities at Musquash Conservation Area, the HCC scheduled our November trail work day to Sunday, Nov. 19, 2023, 9:30 AM – 12 PM with meeting point TBD. A site walk will be scheduled to review our newest conservation property located at 13 Tiger Rd. (along Robinson Pond) in December. Mr. Collins intends to perform trail improvements on the eastern side of Musquash Conservation Area this winter.

IV. Financial Status:

\$400 were expended from the Professional Services account in Sept. Conservation Fund Balance = \$770,603.

V. Correspondence:

Chairman Collins reviewed our monthly correspondence which included the following:

- a) 13 Tiger Road news article
- b) NHACC Annual Conference Reminder
- c) Annual Land Monitoring Reports (Conservation Land Stewardship Program Reminder)
- d) Trail Conditions Memo (email from Mr. Dickinson to Chairman Collins)
- e) Invasive Weed Control Bid Scope (email from Mr. Dickinson to Eric Radlof)
- f) Invasive Weed Control Pricing (email from Mr. Radlof to Mr. Dickinson)
- g) Invasive Weed Control Bid (coordination emails between Mr. Radlof and Mr. Dickinson)

VI. Approval of Minutes:

Mr. Pinsonneault moved to approve the regular meeting minutes for August 14, 2023 and September 11, 2023. Mr. Murphy seconded the motion. Motion Carried 5-0.

VII. Commissioner's Comments:

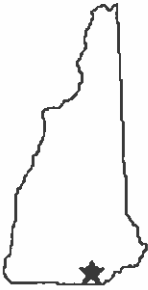
Mr. Pinsonneault reminded everyone that it is hunting season. Mr. Murphy and Mr. Dickinson thanked Mrs. Rumbaugh for her efforts with our ordinance revisions. In effort to further establish new our trails, Mr. Dickinson encouraged everyone to hike our new trail segments at both the Pelham Rd. conservation area and White Tail Way at Hudson Town Forest after tick season. Chairman Collins signed the contract for timber harvest work at Rangers Town Forest. Mr. Collins will also attend the next BOS meeting to discuss FY 2024 HCC budget items.

VIII. Motion to adjourn:

Mr. Pinsonneault moved to adjourn our regular meeting at 9:13 PM; seconded by Mr. Murphy. Motion Carried 5-0.

Ken Dickinson

Ken Dickinson, Clerk



TOWN OF HUDSON

Conservation Commission



William Collins, Chairman Dave Morin, Selectmen Liaison

12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-816-1291

DATE: November 13, 2023

MEETING MINUTES: Below is a listing of minutes for the Hudson Conservation Commission. Minutes are not a verbatim record of each meeting, but rather represent a summary of the discussion and actions taken at the meeting. All Conservation Commission meetings are televised live and repeated during the following week on HCTV, cable television channel 22. Official copies of the minutes are available to read and copy at the Town Engineer's Office during regular business hours (Monday through Friday, 8:00 A.M. to 4:30 P.M.).

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William Collins Carl Murphy Ken Dickinson Brian Pinsonneault
Chairman X Vice-Chair X Clerk X Member X

Sandra Rumbaugh Linda Krisciunas Open Seat David Morin Elvis Dhima
Member X Alternate X Alternate Selectman Rep X Town Rep X

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CALL TO ORDER BY CHAIRPERSON AT 07:00 P.M.

PLEDGE OF ALLEGIANCE

ROLL CALL

SEATING OF ALTERNATES:

Public Input Related to Non-Agenda Items: None

I. New Business

a. Eagle Scout Project -

Eagle scout candidate, Christopher Darbe, from Troop 20 and residing at 65 Bear Path Lane; presented a kiosk project that is intended to be constructed and installed in early summer 2024 at the Pelham Road Conservation Area. The kiosk will be similar to our other trailhead kiosks (8' height X 4' width overall dimensions). Mr. Darbe intends to conduct a car wash in effort to raise a minimum of \$200.00 for material costs. Mr. Pinsonneault asked where the kiosk would be located and noted that this project would be a great addition to the property. Mr. Darbe stated it would be installed along the Pelham Road frontage at the trail entrance. Mrs. Rumbaugh asked to have the name of the property clarified. Chairman Collins responded that it should be Pelham Road Conservation Area as it is currently identified as such. Mr. Dickinson asked if Mr. Darbe was willing to construct another kiosk. Mr. Darbe responded that he was open to the idea; however he wanted to build one kiosk successfully prior to committing to a second kiosk. Mrs. Krisciunas asked how the information would be displayed and what material would be used to protect the map. Mr. Darbe responded that he could install Plexiglass or whatever material the Commission desired to protect the map. Chairman Collins thanked Mr. Darbe for his presentation and encouraged other scouts to pursue their Eagle Scout projects with the Conservation Commission.

b. Conditional Use Permit Application – 78 Highland Street:

Steve Riker, CWS of Ambit Engineering, Inc. representing Ms. Christine Floyd, presented a request to remove 4300 SF of fill located in the adjacent wetland area found towards the rear of the property and restore 7848 SF of adjacent wetland buffer area. This project is a continuance of the restoration that was conducted within the last decade by Eversource on the adjacent lot. Steve Riker flagged the wetland in February 2021 for Chris Floyd. Mr. Floyd formerly conducted a landscape business on the property and filled wetlands as his business operations expanded. In June 2022, Mr. Floyd received an administrative order from NHDES informing him that he was in violation of RSA 42A (filling wetlands without permit). Chris Floyd no longer resides at 78 Highland St. and was not present at the meeting. Subsequently, Ms. Christine Floyd has worked with Mr. Riker in effort to obtain NHDES approval for the restoration plan.

Mr. Riker utilized aerial photo interpretation to determine historic wetland boundaries as it is completed obscured by the depth of imported fill. Imported fill is to be removed as indicated and a new slope established beyond the wetlands. The proposed slope will have a decreased gradient providing increased capacity for erosion control within the proposed wetland buffer area. Existing arborvitae shrubs are to be relocated to the proposed top of slope and the project area is to be seeded with a seed mix as specified from NE Wetland Plants. Wetland functions and values are to be enhanced by the proposed wetland restoration plan as per the submitted assessment and supporting documentation.

Mr. Dickinson requested the proposed erosion control devices to be more substantial, as the adjacent restoration had implemented, to better retain the proposed slope which has a net vertical change of approximately 20 feet. He also requested the existing arborvitae to be further identified. Mr. Riker stated that this would be a substantial operation that would require observation and enhanced erosion controls as recommended by the Town Engineer. Mr. Dickinson asked if the applicant had an excavating company selected for the project. Mr. Riker stated negative. Mr. Dickinson noted that Gove Environmental had previously prepared a wetland restoration plan that may have not been fully executed. Mr. Riker was unaware of the previous restoration efforts that occurred within the past

decade. Mr. Dhima confirmed that Gove Environmental had attempted to work with both Eversource and Mr. Floyd; however an agreement of restoration services was limited to the adjacent lot. A minor amount of incidental grading has occurred within the subject property boundary line.

Mrs. Rumbaugh asked several questions regarding Mr. Riker's qualitative assessment of the wetland complex. Mr. Riker stated that the wetland is large and has high functions and values; however no vernal pools were filled within the subject property. Mr. Pinsonneault asked if the fill material would need to be hauled off-site. Mr. Riker stated that the majority of the fill would need to be exported as there is not enough space to relocate the excavated fill on-site. Mr. Murphy asked if there was proposed vegetation for the proposed wetland buffer area. Mr. Riker stated that a conservation wildlife mix was proposed for the wetland area; however Mr. Murphy restated his question. Mr. Riker noted that he will amend his plan accordingly with an appropriate slope restoration/erosion control mix for the proposed wetland buffer area. Chairman Collins asked Mr. Dickinson for his input regarding an erosion control mix. Mr. Dickinson stated that NE Wetland Plants has a mix specific for erosion control and he highly recommended that Mr. Riker review the plans that Gove Environmental prepared for the adjacent lot. Mrs. Krisciunas asked if the fill was clean and Mr. Dhima stated that it is undetermined. Chairman Collins and Mr. Dhima clarified the exportation process. Selectman Morin added that it most likely would be taken to another construction project that requires fill.

Mr. Dhima asked for clarification from Mr. Riker that all runoff would be treated on-site and that all vehicles would be parked outside of the 50 foot wetland buffer area. Mr. Riker responded yes. Mrs. Rumbaugh asked who would provide project oversight. Mr. Dhima responded that the Town would provide oversight and possibly NHDES to a limited extent. Mr. Riker also noted that a Certified Wetland Scientist is required to perform oversight and signoff upon completion of the restoration. He intends to be present on-site to perform construction oversight. Mr. Collins asked what was stored in the temporary structure shown on the existing conditions plans. Mr. Riker thought it was landscape related material that was stored; however it is possible that it could be salt storage shed as plows and a loader are present in the photos. Mr. Dickinson added that Mr. Riker may want to consider adding some native deciduous shrubs that will assist with slope stabilization, i.e. Myrica (bayberry), Comptonia (sweetfern), Viburnum dentatum (arrowwood), and Cornus (red twig dogwood). A site walk was scheduled for Saturday, November 18th at 9:30AM.

II. Old Business

a. Draft Warrant Discussion:

Chairman Collins asked the Commission for comment on the draft aquifer protection district, as prepared by Mrs. Rumbaugh, that was deferred from our last regular meeting. Mr. Collins noted that the district perimeter would require mapping. Mr. Dhima informed us that a petition was submitted today which included wetland ordinance revisions by another group of residents. Mr. Dhima expressed some uncertainty of how an aquifer protection district would be executed. Selectman Morin asked about PFA levels in our soils and a brief discussion followed regarding potential soil contamination. Mrs. Rumbaugh expressed that she would like to have more scientific information, i.e. mapping and would have preferred to have worked with the Planning Board on the draft warrant article versus a petitioned warrant article that had no review from the Conservation Commission. Mr. Dhima will provide a copy of the mapping that was referenced in the petition.

Mrs. Rumbaugh asked what would happen with the revised draft of the wetland conservation

ordinance. Chairman Collins had submitted it earlier to Mr. Groth; however Mr. Groth could not review it as the Planning Board and ZBA had already closed commentary on the wetland ordinance revisions. Furthermore, Mr. Groth will be leaving his position shortly. Chairman Collins noted that an increased buffer width of 75 feet for non-residential uses was proposed. Mrs. Rumbaugh responded that it was not good enough. Mr. Dickinson recommended that a workshop be scheduled prior to the next meeting to discuss these items if the Chairman determines that it is necessary and a productive use of the Commission's time. A brief discussion followed regarding process moving forward and a future workshop would be considered after reviewing the draft petitioned warrant article.

III. Other Business

a. Trail Work Day:

Chairman Collins noted that we had a very productive trail work day last weekend at Musquash Conservation Area (MCA). After some discussion of the need for continued work activities at MCA, the HCC scheduled a trail work day on Saturday, Dec. 16, 2023, 9–11:30 AM with meeting point TBD. November 19 work day duration will be 9–11 AM meeting at Woodland Dr. A site walk will be scheduled to review our newest conservation property located at 13 Tiger Rd. (along Robinson Pond) in December. Mr. Collins intends to perform trail improvements on the eastern side of MCA this winter.

b. Melendy Rd. Bridge Replacement Project:

Mr. Dhima stated that the Town is pursuing a bridge replacement project where Melendy Road crosses First Brook. Mr. Dhima noted that the bridge will have an open bottom culvert design with river stones naturally placed to facilitate access for turtles and other amphibians.

Motion by Mr. Pinsonneault to authorize the Chairman to sign a letter of support for the “Melendy Road Bridge Replacement Project” to be constructed by the end of October 2024; as proposed by the Town Engineer.

Mr. Murphy seconded the motion.

Motion Carried 5/0/0

IV. Financial Status:

Chairman Collins followed up with Town of Hudson's Finance Director, Lisa Labrie, regarding the Town's Forestry Account. The Forestry Funds will not appear as a separate line item on our monthly reports as it is technically part of the General Fund. The Conservation Commission remains as the caretaker for the funds. The Chairman will need to contact the Finance Director if a request is made to expend any of these forestry funds. \$0 expended was from the Professional Services account in October as there was no DASH or herbicide treatment conducted this year.

As of 2013, there was \$544,882 in Hudson's Conservation Land Capital Reserve Fund. A Town Vote via a warrant article is required to expend money from this fund. There was also a smaller Pond Reclamation Capital Reserve Fund \$10,189, and several small donations, as per memo prepared by our former Finance Director on February 11, 2013. Conservation Fund Balance = \$770,603. – \$328,452 (13 Tiger Rd purchase) = \$442,151. Mr. Dhima noted that a significant amount of money will be received soon into the Conservation Fund to replenish it. Mrs. Rumbaugh asked if funds can be used from the Conservation Fund and Land Capital Reserve Fund for the same property. Chairman Collins responded in the affirmative. Mrs. Krisciunas asked if there is expiration on usage of the funds. Mr. Dhima responded that it depends how it is written and that many warrant articles have a five year expiration timeframe. Further discussion followed on this general topic.

V. Correspondence:

Chairman Collins reviewed our monthly correspondence which included the following:

- a) Lake Host Program
- b) NHDES Aquatic Species Control Grant Program
- c) Piscataquog News Land Trust Periodical (Winter 2023)
- d) Permit By Notification along Eversource corridor due west of Musquash Rd. as submitted by VHB
- e) NH Lakes Donation Request (deferred to HCC December regular meeting)

VI. Approval of Minutes:

Deferred to HCC December regular meeting

VII. Commissioner's Comments:

Mr. Dickinson noted that the redevelopment of the Riverview Golf Course has commenced. The HCC had a successful work day last weekend clearing several trees, blowing trails, removing litter and a large metal truck part from Musquash Conservation Area.

Chairman Collins informed us that timber harvest work at Rangers Town Forest is going well and should be completed by November 25th. The land has been opened up for winter activities, i.e. snowshoeing and cross-country skiing. Mr. Collins also informed everyone that a new local newspaper "Hudson Times" is now in publication.

VIII. Motion to enter into Non-Public Session:

Mr. Dickinson moved to enter into a non-public session at 8:36 PM; seconded by Mr. Pinsonneault.
Motion Carried 5/0/0

IX. Motion to seal Non-Public Session Meeting Minutes:

Mr. Pinsonneault moved to seal the non-public session meeting minutes; seconded by Mr. Murphy.
Motion Carried 5/0/0

X. Motion to adjourn:

Mr. Murphy moved to adjourn our regular meeting at 8:59 PM; seconded by Mr. Pinsonneault.
Motion Carried 5/0/0

Ken Dickinson

Ken Dickinson, Clerk

November 21, 2023

Hudson Planning Board
12 School Street
Hudson, NH 03051

RE: Conditional Use Permit Application
Campbello Road Extension
Map 165, Lot 49
Sousa Realty & Development Corp.

Dear Members of the Hudson Planning Board:

Greenman-Pedersen, Inc. (GPI), on behalf of the project applicant, Sousa Realty & Development Corp., is requesting a Conditional Use Permit from the Hudson Planning Board to allow construction of stormwater infiltration basin within approximately 15 feet of a wetland where 50 feet is required by the Hudson Zoning Ordinance, Section 334-36. This request is made as provided for in Section 334-37 of the Hudson Zoning Ordinance. GPI is providing the following information in support of the criteria listed in Section 334-37 A.:

(1) *The proposed activity minimizes degradation of land situated within the District and offsets potential adverse impacts to functions and values of wetlands, surface waters, and vernal pools including but not limited to their capacity to:*

(a) Support fish and wildlife;

The stormwater infiltration basin will provide stormwater treatment and groundwater recharge, which will support fish and wildlife.

(b) Attenuate flooding;

The stormwater infiltration basin will provide peak runoff rate reduction and runoff volume attenuation, which will attenuate flooding.

(c) Supply and protect surface and groundwater resources;

The stormwater infiltration basin will provide stormwater treatment and groundwater recharge, which will supply and protect surface and groundwater resources.

(d) Remove sediments;

The stormwater BMP's that are incorporated into the design will provide stormwater treatment to remove sediments.

(e) Remove pollutants;

The stormwater BMP's that are incorporated into the design will provide stormwater treatment to remove pollutants.

(f) Support wetland vegetation;

The stormwater infiltration basin will provide stormwater treatment and groundwater recharge, which will support wetland vegetation.

(g) Promote public health and safety; and

A shallow (2' deep) infiltration basin that is dry between storm events does promote public health and safety.

(h) Moderate fluctuations in surface water levels.

The stormwater infiltration basin will provide stormwater treatment and groundwater recharge, which will moderate fluctuations in surface water levels.

(2) *The proposed activity will have no significant negative environmental impact to abutting or downstream properties and/or hydrologically connected water and/or wetland resources, including:*

(a) Increased potential for erosion, siltation, and turbidity of surface waters;

The stormwater BMP's that are incorporated into the design will protect abutting and downstream properties from potential for erosion, siltation, and turbidity of surface waters.

(b) Loss of fish and wildlife habitat;

The stormwater BMP's that are incorporated into the design will protect abutting and downstream properties from loss of fish and wildlife habitat.

(c) Loss of unique habitat having demonstrable natural, scientific, or educational value;

The stormwater BMP's that are incorporated into the design will protect abutting and downstream properties from loss of unique habitat having demonstrable natural, scientific, or educational value.

(d) Loss or decrease of beneficial aquatic organisms and wetland plants and their habitat;

The stormwater BMP's that are incorporated into the design will protect abutting and downstream properties from loss or decrease of beneficial aquatic organisms and wetland plants and their habitat.

(e) Increased danger of flooding and/or transport of pollutants; and

The stormwater BMP's that are incorporated into the design will protect abutting and downstream properties from increased danger of flooding and/or transport of pollutants.

(f) Destruction of the economic, aesthetic, recreational, and other public and private uses and values of the wetland to the community.

The stormwater BMP's that are incorporated into the design will protect abutting and downstream properties from destruction of the economic, aesthetic, recreational, and other public and private uses and values of the wetland to the community.

(3) The proposed activity or use cannot practicably be located otherwise on the site to eliminate or reduce impact to the Wetland Conservation Overlay District.

By necessity, the stormwater infiltration basin has to be located at the lowest point of the property, which due to the relatively flat topography throughout the property, is only at this location.

(4) The proposed activity incorporates the use of those Best Management Practices recommended by the New Hampshire Department of Environmental Services and/or other state agencies having jurisdiction.

The stormwater BMPs for this project have been designed in full compliance with the New Hampshire Stormwater handbook and the requirements of the NH DES Alteration of Terrain Program.

(5) All applicable federal and/or state permit(s) have been received for the proposed activity in accordance with New Hampshire Code of Administrative Rules, Part Env-Wt 100-800 and Section 404 of the Federal Clean Water Act, as amended.

An Alteration of Terrain Permit application will be filed with the NH DES for this project. All construction activities will be performed in accordance with the requirements of the US EPA 2022 Construction General Permit.

(6) Where applicable, proof of application to all required state and/or federal permits.

Proof of application to the NH DES Alteration of Terrain program will be provided.

(7) Prior to making a decision on any Conditional Use Permit pursuant to the Wetland Conservation Overlay District, the Planning Board shall receive a written comment from the Conservation Commission. The Conservation Commission may recommend the Planning Board impose conditions of approval is deemed necessary to mitigate the potential for adverse effects of the proposed activity or use.

Written comment from the Conservation Commission will be forwarded once they have reviewed the project.

If you have any questions or need additional information, please feel free to contact me at (603) 374-7912 or by email to djordan@gpinet.com.

Sincerely,

Greenman-Pedersen, Inc.



David R. Jordan, P.E., L.L.S., LEED AP
Vice President
Director of Project Delivery – Land Development

CONDITIONAL USE PERMIT APPLICATION

Date of Application: November 28, 2023 Tax Map #: 165 Lot #: 49

Site Address: 36 Campbello Street

Name of Project: Campbello Street Extension

Zoning District: Town Residence (TR) General CUP#: _____

(For Town Use Only)

Z.B.A. Action: _____

PROPERTY OWNER:

Name: A. Jack Atkinson, Trustee

Address: 36 Campbello Street

Address: Hudson, NH 03051

Telephone # _____

Email: _____

DEVELOPER:

Sousa Realty & Development Corp.

46 Lowell Road

Hudson, NH 03051

(603) 880-7799

msousa@sousarealtynh.com

PROJECT ENGINEER or SURVEYOR:

Name: Greenman-Pedersen, Inc.

Address: 44 Stiles Road, Suite One

Address: Salem, NH 03079

Telephone # (603) 893-0720

Email: djordan@gpinet.com

CERTIFIED WETLANDS SCIENTIST:

Gove Environmental Services, Inc.

PURPOSE OF PLAN:

A subdivision of land at 36 Campbello Street to create 11 single family house lots.

(For Town Use Only)

Routing Date: _____ Deadline Date: _____ Meeting Date: _____

_____ I have no comments _____ I have comments (attach to form)

_____ Title: _____ Date: _____

(Initials)

Department: _____

Zoning: ___ Engineering: ___ Assessor: ___ Police: ___ Fire: ___ DPW: ___ Consultant: ___

SITE DATA SHEET

PLAN NAME: Subdivision Plan Campbello Street

PLAN TYPE: (Site Plan, Subdivision, or other) Subdivision

LEGAL DESCRIPTION: MAP 165 LOT 49

DATE: November 20, 2023

Location by Street: 36 Campbello Street

Zoning: Town Residence (TR)

Proposed Land Use: Single family residential

Existing Use: Single family residential

Total Site Area: S.F.: 206,400 Acres: 4.74

Total Wetland Area (SF): 2,518 sf wetlands on-site

Permanent Wetland Impact Area (SF): 0

Permanent Wetland Buffer Impact Area (SF): 4,500

Temporary Wetland Impact Area (SF): 0

Temporary Wetland Buffer Impact Area (SF): 4,500

Flood Zone Reference: FIRM Number 33011C0514E, effective April 18, 2011

Proposed Mitigation:
N/A no impacts to the FEMA Flood Zone are proposed.

(For Town Use Only)

Data Sheets Checked By: _____ Date: _____

WETLAND CONDITIONAL USE PERMIT CHECKLIST

Yes	No	NA	<u>QUESTIONS/INFORMATION NEEDED</u>	HCC Comments
NARRATIVE REPORT				
Existing Conditions				
<input type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>	Has a DES Dredge and Fill Permit been issued for any part of this site? If yes, provide number, date, and description.	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>	Is there evidence of altered wetlands or surface waters on site?	
<input checked="" type="checkbox"/>	<input type="radio"/>	<input type="radio"/>	All prime and other wetlands in the vicinity, plus any wetlands/watersheds past the immediate vicinity affected by this project	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> • Description of each wetland and associated values 	
<input checked="" type="checkbox"/>	<input type="radio"/>	<input type="radio"/>	Wetland mapping results – Including the flagging date and technique plus the name, company and qualifications of the wetland scientist	
<input checked="" type="checkbox"/>	<input type="radio"/>	<input type="radio"/>	Was property surveyed? If yes, the date of survey. (Please attach the survey plan)	
National Wetland Inventory				
<input checked="" type="checkbox"/>	<input type="radio"/>	<input type="radio"/>	<ul style="list-style-type: none"> • Vegetative cover types 	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> • Existence of vernal pools and associated habitat 	
<input checked="" type="checkbox"/>	<input type="radio"/>	<input type="radio"/>	<ul style="list-style-type: none"> • Unique geological and cultural features 	
<input checked="" type="checkbox"/>	<input type="radio"/>	<input type="radio"/>	<ul style="list-style-type: none"> • NH Natural Heritage inventory – For list of rare and endangered species, contact the NH Division of Forests and Lands (603)271-3623 	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> • Wildlife and fauna species, including estimated number and locations (large projects) 	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> • Public or private wells located within the vicinity 	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> • Monitoring well(s) located on site 	
<input checked="" type="checkbox"/>	<input type="radio"/>	<input type="radio"/>	<ul style="list-style-type: none"> • Current land use and zoning district 	
<input checked="" type="checkbox"/>	<input type="radio"/>	<input type="radio"/>	Photos of existing area (please use color photos)	
Proposed Project Description				
<input checked="" type="checkbox"/>	<input type="radio"/>	<input type="radio"/>	Entire project and associated activities	
<input checked="" type="checkbox"/>	<input type="radio"/>	<input type="radio"/>	Time table of project and anticipated phasing	
<input checked="" type="checkbox"/>	<input type="radio"/>	<input type="radio"/>	Land use	
<input checked="" type="checkbox"/>	<input type="radio"/>	<input type="radio"/>	Grading plan	
Impact to Wetlands and/or Buffers				
<input type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> • Depending on size and proposed impacts, a report from a biologist may be appropriate 	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>	Removing, filling, dredging, or altering (Area square ft. and locations)	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>	Intercepting or diverging of ground or surface water (Locations and size)	
<input checked="" type="checkbox"/>	<input type="radio"/>	<input type="radio"/>	<ul style="list-style-type: none"> • Change in run-off characteristics 	
<input checked="" type="checkbox"/>	<input type="radio"/>	<input type="radio"/>	Delineation of drainage area contributing to each discharge point	

Yes	No	NA	Questions/Information Needed	HCC COMMENTS
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Estimated water quality characteristics of runoff at each point of discharge for both pre- and post-development	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Erosion control practices	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> If using rip-rap, attach documentation explaining why other erosion control methods are not feasible 	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> How storm water runoff will be handled 	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	If backyards or lots include a buffer area, buffer restriction wording shall be included in each deed (A physical marker may be requested to designate buffer boundaries at site)	

Mitigation

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Square footage of mitigation – wetland and upland areas	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wetland or upland plants identified to replace any losses	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> Restoration plan for planting and vegetation 	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Conservation easements, including location and aesthetic, wildlife and vegetative values	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> If easement is on or added to the site(s), a copy of the legal document shall be given to the HCC (HCC conservation easement markers may also be required along the easement) 	

CONCEPTUAL SITE PLAN/DRAWING

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Locus map depicting project site and vicinity within approximately ½ mile and also on a larger scale	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All prime and other wetlands in the vicinity	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Wetland(s) impacted (identified as prime or other) and the wetland boundaries with 50', buffer areas highlighted in color	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Assessor's sheet(s), lot(s), and property account number(s)	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed structures	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Square footage listed for temporary and permanent impact	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Erosion control plan (Suggested: Biodegradable silt fences so area won't be disturbed again and no hay to avoid invasive species)	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Topographical map with contours	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Storm water treatment swales and basins highlighted in color if in buffer area	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conservation and utility easements	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Grading plan	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Culvert, arch, bridge - sizes, material, etc.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Vegetative cover types	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Vernal pools	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed stone walls, tree lines, and unusually large, rare or beautiful trees, and other notable site features	

QUESTIONS TO CONSIDER BEFORE SUBMITTING

- Will the increased discharge cause erosion and channelization?

- Is there potential for off-site flooding?

- Does the decreased infiltration in the drainage area cause vegetation stress due to reduced or increased ground water or surface water discharge into wetland?

- Will the nutrients in the runoff increase eutrophication potential in downstream water bodies?

- Do you own any adjacent parcels or easements for roadways across adjacent parcels which could be used for access to avoid a wetland crossing

- Does a wetland crossing occur where it will result in the least amount of alteration to a wetland?

- Is preservation of upland areas adjacent to the impacted wetland a priority?

- Can using an alternative crossing design such as a bridge, retaining wall, etc. decrease the width or area of wetland alteration?

- Does a proposed road crossing of a wetland exceed the minimum width acceptable to the Planning Board and can this be negotiated downwards?

- Have you established that no reasonable alternative access from a public way to an upland is possible?

- Can the parking lot spaces be decreased?

- Is the roadway designed in such a way that does not restrict the flow of water?

- Is additional information needed to assess water quality impacts due to runoff?

- Is there an increase in other pollutants (e.g., heavy metals, turbidity, coli form) from streets and parking lots?

- Is there a need to restrict or prohibit the use of pesticides and fertilizers?

- Is there a need to restrict the use of roadway salting?

SUBDIVISION PLAN APPLICATION AUTHORIZATION

I hereby apply for *Subdivision Plan Review* and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the *Subdivision Plan* specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Planner, the Town Engineer, and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: JB Date: 11/21/23
Print Name of Owner: James Bernard

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: Manuel D Sousa Jr Date: 11/21/23
Print Name of Developer: Manuel D Sousa Jr

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The individual in charge of the project must notify the Code Enforcement Officer/Building Inspector within two (2) working days of any change.

SCHEDULE OF FEES

(Fee covers both Conservation Commission & Planning Board)

A. REVIEW FEES:

1. Conditional Use Permit
\$100 Flat Fee \$ 100.00

LEGAL FEE:

The applicant shall be charged attorney costs billed to the Town for the Town's attorney review of any application plan set documents.

B. POSTAGE:

_____ Direct Abutters Applicant, Professionals, etc. as required \$ _____
by RSA 676:4.1.d @\$5.01 (or **Current Certified Mail Rate**)

_____ Indirect Abutters (property owners within 200 feet) \$ _____
@\$0.66 (or **Current First Class Rate**)

TOTAL \$100*

(For Town Use)	
AMOUNT RECEIVED: \$ _____	DATE RECEIVED: _____
RECEIPT NO.: _____	RECEIVED BY: _____

* CUP fee paid already. Abutters fees paid with subdivision application.

ABUTTERS:

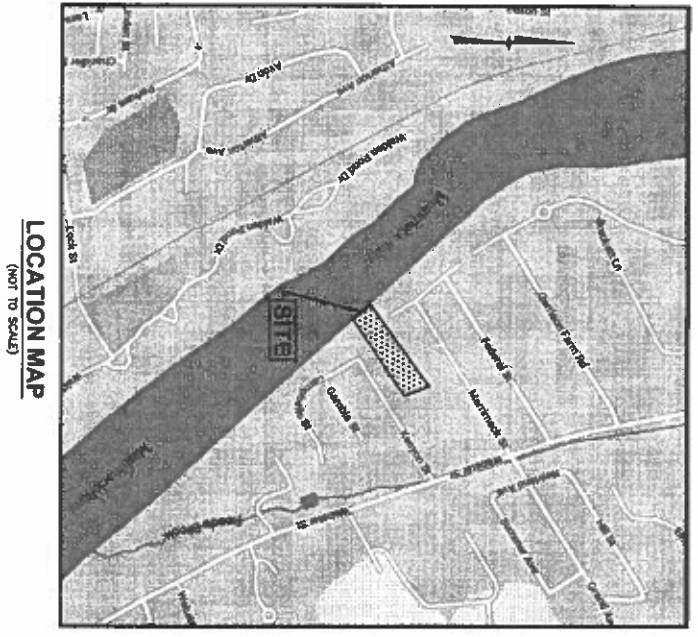
MAP/LOT #	NAME & ADDRESS		
165-049 (SUBJECT PARCEL)	A. JACK ATKINSON REVOCABLE TRUST AGREEMENT OF FEBRUARY 23, 1983 25 JACK ATKINSON, TRUSTEE 36 CAMPBELLO STREET HUDSON, NH 03051		
165-050	EDWARD J. WELSH II, TRUSTEE JOYCE M. WELSH, TRUSTEE 38 CAMPBELLO STREET HUDSON, NH 03051		
165-048	JOSELYN MANGUAL DANIEL R. JOWERS 32 MERRIMACK STREET HUDSON, NH 03051		
165-047	ROBERT A. MILLER SYLVIA E. MILLER 28 MERRIMACK STREET HUDSON, NH 03051		
165-046	RICHARD H. MORROW 20 MERRIMACK STREET HUDSON, NH 03051		
165-044	CHESTER E. HURD, TRUSTEE JOYCE M. HURD, TRUSTEE 18 MERRIMACK STREET HUDSON, NH 03051		
165-045	165-043	165-042	165-041
165-039	DONALD R. FITZGERALD LISA Y. FITZGERALD 100 WEBSTER STREET HUDSON, NH 03051		
165-038	JOHN R. COLBY SONYA J. COLBY 11 KENYON STREET HUDSON, NH 03051		
165-035	CYNTHIA TUTTON JOHN TUTTON 13 KENYON STREET HUDSON, NH 03051		
165-034	FABIAN GALINDO TRUJILLO ROSALVA GALINDO 15 KENYON STREET HUDSON, NH 03051		
165-033	165-032	165-031	165-030
165-022	WILLIAM R. WILLINGSMORTH KARLA E. WILLINGSMORTH 28 CAMPBELLO STREET HUDSON, NH 03051		

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____ DATE: _____
 SIGNATURE: _____ DATE: _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINALS APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

**SUBDIVISION PLAN
 CAMPBELLO STREET
 ASSESSORS MAP 165 LOT 49
 36 CAMPBELLO STREET
 HUDSON, NEW HAMPSHIRE**



LOCATION MAP
(NOT TO SCALE)

**Prepared for:
 SOUSA REALTY &
 DEVELOPMENT CORP.
 46 LOWELL ROAD
 HUDSON, NH 03051**

SHEET INDEX

1. TITLE SHEET
2. GENERAL NOTES AND LEGEND
3. EXISTING CONDITIONS PLAN
4. SUBDIVISION PLAN
5. GRADING & DRAINAGE PLAN
6. EROSION & SEDIMENT CONTROL PLAN
7. ROADWAY PLAN & PROFILE
8. OFF-SITE UTILITY EXTENSION PLAN
- 9-10. ROADWAY CROSS SECTIONS
- 11-16. CONSTRUCTION DETAILS

PERMITS AND APPROVALS

TYPE	PERMIT NUMBER	DATE
NH DES ALTERATION OF TERRESTRIAL	PENDING	
NH DES SHORELAND	PENDING	

GPI Engineering
 Surveying
 Construction Management
 GRIFFIN, COV
 603.883.0720
 Gosselin-Parsons, Inc.
 44 State Road, Suite One
 Salem, NH 03079

PREPARED FOR:
 SOUSA REALTY &
 DEVELOPMENT CORP.
 46 LOWELL ROAD
 HUDSON, NH 03051

**ASSESSOR MAP 165 LOT 49
 36 CAMPBELLO STREET
 HUDSON, NEW HAMPSHIRE**

NO.	REVISION	DATE

NOVEMBER 20, 2023
 DRAWING DESIGN BY: _____ CHECKED BY: _____
 CMM: _____ DRJ: _____

TITLE SHEET

SCALE: AS SHOWN
 PROJECT NO: NEX-2300191
 1 OF 16

LEGEND

- 552 SLOPED GRANITE CURB
- 553 VERTICAL GRANITE CURB
- 554 SLOPED CONCRETE CURB
- 555 VERTICAL CONCRETE CURB
- 556 CAFE COO BEAM
- 557 DOUBLE DASHED LINE YELLOW
- 558 SINGLE DASHED LINE YELLOW
- 559 SINGLE SOLID LINE YELLOW
- 560 SINGLE SOLID LINE WHITE
- 561 SINGLE DASHED LINE WHITE
- 562 GAS LINE
- 563 UNDERGROUND TELEPHONE
- 564 WATER LINE
- 565 UNDERGROUND ELECTRIC
- 566 WOOD GUARDRAIL
- 567 METAL GUARDRAIL
- 568 CHAIN LINK FENCE
- 569 STOCKADE FENCE
- 570 POST & RAIL FENCE
- 571 WIRE FENCE
- 572 CONTOUR ELEVATION
- 573 TREE
- 574 UTILITY POLE
- 575 GUY WIRE
- 576 OVERHEAD WIRE
- 577 TREELINE
- 578 RAIL BOX
- 579 SIGN
- 580 SPOT ELEVATION
- 581 DRAIN MANHOLE
- 582 CATCH BASIN
- 583 ROOF DRAIN
- 584 CLEANOUT
- 585 VENT
- 586 SEWER MANHOLE
- 587 TELEPHONE MANHOLE
- 588 ELECTRIC MANHOLE
- 589 WATER MANHOLE
- 590 MANHOLE
- 591 GAS VALVE
- 592 GAS SHUT OFF
- 593 WATER VALVE
- 594 WATER SHUT OFF
- 595 FINE MESH WIRE
- 596 ROLLTOP
- 597 GAS METER
- 598 ELECTRIC METER
- 599 MONITORING WELL
- 600 LIGHT POLE
- 601 BORING
- 602 WETLAND LINE
- 603 WATER FEATURE
- 604 UNDERGROUND CONDUIT
- 605 OPTIC LINE
- 606 EASEMENT LINE
- 607 PROPERTY LINE
- 608 ADJUTER PROPERTY LINE
- 609 BUILDING SETBACK
- 610 SOIL TYPE LINE
- 611 FLOOD ZONE LINE
- 612 TIER
- 613 TO BE REMOVED
- 614 TO BE REPAIRED
- 615 NUMBER OF PARKING SPACES
- 616 TIP DOWN CURB
- 617 PROP. SLOPED GRANITE CURB (50C)
- 618 C.O.
- 619 PROP. RAIN GUARDRAIL
- 620 PROP. CATCH BASIN
- 621 PROP. DRAIN MANHOLE
- 622 METE DRAINING GRAVE
- 623 PROP. SPOT ELEVATION
- 624 PROP. CONTOUR ELEVATION
- 625 TOP OF WALL ELEV.
- 626 BOTTOM OF WALL ELEV.
- 627 GRADE BREAK
- 628 G.S.
- 629 REST PT
- 630 PROP. GATE VALVE
- 631 PROP. STRAIN WHITE

PROJECT NOTES:

- 1) THE PURPOSE OF THIS PLAN IS TO SHOW AN 11-LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION ON MAP 165 LOT 49.
- 2) ZONING DESIGN: TOWN RESIDENCE (TR)
- 3) EXISTING LOT AREA = 206,400 SF
4.74 AC.F
- 4) OWNER OF RECORD:
A JACK ANDERSON REVOCABLE TRUST AGREEMENT OF FEBRUARY 25, 1983
JACK ANDERSON, TRUSTEE
Hudson, NH 03051
BOOK 9180 PAGE 1549
- 5) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN AUGUST 4, 2023 AND AUGUST 10, 2023.
- 6) BEYOND SWORN HEREON ARE BASED ON MAPS PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON AUGUST 4, 2023.
- 7) ELEVATIONS SHOWN HEREON ARE BASED ON WINDORS PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON AUGUST 4, 2023.
- 8) LOCATIONS OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED. WINDERS ARE LISTED IN A CLOSURE ORIENTATION SHOWING WITH THE HIGHEST CUT (UNLESS OTHERWISE NOTED).
- 9) A PORTION OF THE SURVEY TRACT IS LOCATED IN A SPECIAL FLOOD HAZARD AREA ZONE AE (1% CHANCE ANNUAL FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 2201100914E, WITH AN EFFECTIVE DATE OF APRIL 18, 2011.
- 10) FEMA FLOOD BOUNDARIES SHOWN HEREON TAKEN FROM FEMA'S NATIONAL FLOOD HAZARD LAYER GIS DATA.
- 11) WETLAND LINES SHOWN HEREON DELINEATED BY GORE ENVIRONMENTAL SERVICES, INC. ON AUGUST 7, 2023.
- 12) A SITE SPECIFIC SOIL SURVEY WAS CONDUCTED BY GORE ENVIRONMENTAL SERVICES, INC. ON OCTOBER 3, 2023.
- 13) THE PROJECT REQUIRES STATE ALTERATION OF TERRAIN (S&T) AND SHOULDER PERMITS FROM NHDES.
- 14) LENGTH OF C&I-DE-S&C = 715 FEET (CENTRELINE HERBACKE STREET TO END OF RIGHT-OF-WAY).

WAIVERS:

- 1) SECTION 229-18 A STREETS - TO ALLOW A RIGHT-OF-WAY WIDTH OF LESS THAN 90'. 40' PROPOSED.
- 2) SECTION 229-28 G. REQUIREMENTS - TO ALLOW FINANCIAL CONTRIBUTION TO TOWN IN LIEU OF CONSTRUCTING A SIDEWALK AS REQUIRED.

CONSTRUCTION NOTES:

- 1) ALL DRAINAGE PIPE SHALL BE CORROSION-RESISTANT POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR, AS MANUFACTURED BY A.S. INC. OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN.
- 2) ELEVATIONS ARE BASED ON WINDORS DATA.
- 3) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND COORDINATED WITH THE APPROPRIATE LOCAL UTILITY COMPANY.
- 4) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST WIRE (POINT OF CONNECTION) AND PROGRESS UPWARD. PROPOSED INTERFERENCE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR TO CORROBORATE CONSTRUCTION.
- 5) ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
- 6) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DPW-S&E (PH: 811) PRIOR TO COMMENCING ANY EXCAVATION.
- 7) THIS SITE WILL REQUIRE A USPA HOPES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE EXCEEDS ONE ACRE (ACTUAL DISTURBANCE = 185,000 SQ. FT.). THE CONTRACTOR SHALL OBTAIN A USPA HOPES PERMIT FROM THE STATE OF NEW HAMPSHIRE PRIOR TO CONSTRUCTION. THE PERMIT SHALL BE FILED WITH THE EPA AT (LEAST) 14 CALENDAR DAYS PRIOR TO CONSTRUCTION. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO THE EPA WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING: THE SITE IS FULLY STABILIZED; FINAL STABILIZATION HAS BEEN COMPLETED ON ALL PORTIONS OF THE SITE OR WITHIN THE TIME FRAME OF THE PERMIT. THE CONTRACTOR SHALL MAINTAIN CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FULLY STABILIZED.
- 8) ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SWAPPE ARRANGEMENTS, ACCEPTABLE OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- 9) TEMPORARY CATCH BASINS SHALL HAVE 4" SLUICING AND OUTLETS EQUIPPED WITH TELLURATOR OIL HOOPS OR APPROVED EQUAL.
- 10) ALL PIPE DATA IS CALCULATED TO CENTER OF STRUCTURE, TYP.
- 11) CONTRACTOR TO REFER TO THE INSPECTION AND MAINTENANCE MANUAL FOR STORMWATER MANAGEMENT SYSTEMS (MMS) FOR SITE MAINTENANCE DURING AND AFTER CONSTRUCTION.
- 12) THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
- 13) ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- 14) THE CONTRACTOR SHALL STABILIZE ALL DITCHES, SWALES, AND POUNDS PRIOR TO DRAINING STORMWATER RUN-OFF TO THEM.
- 15) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONDUCT WITH THE ENGINEER THAT HE HAS THE MOST RECENT SET OF PLANS. SITE WORK SHALL BE CONDUCTED FROM THE MOST RECENT SET OF PLANS, NOT ALL FEATURES ARE DETAIL ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
- 16) CONTRACTOR SHALL CONDUCT WITH ENGINEER ALL LAYOUT ITEMS NOT SHOWN OR AMOUNTED TO THE LOCATION OF ALL STRUCTURES AND UTILITIES SHALL BE CORROBORATED PRIOR TO LAYOUT OR PAVED AREAS. EXACT LOCATION OF PAVEMENT SHALL BE CORROBORATED WITH ENGINEER PRIOR TO PLACEMENT OF BINDER COURSE PAVEMENT.
- 17) SEE CONSTRUCTION DETAIL SHEETS FOR ADDITIONAL INFORMATION.
- 18) ROOF RUNOFF FROM ALL HOMES SHALL BE COLLECTED BY GUTTERS AND DOWNSPOUTS CONNECTED TO STORMWATER CHAMBERS (SEE DETAIL SHEET 13). THE ROOF INSTALLATION UNITS SHALL BE MAINTAINED BY THE HOMEOWNER.
- 19) ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- 20) THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN IN THE PLANS THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE STANDARDS. THE DETAILS PROVIDED SERVE AS A GUIDE ONLY.
- 21) CONTRACTOR SHALL VERIFY TIER ELEVATIONS PRIOR TO CONSTRUCTION.
- 22) THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE MUNICIPAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
- 23) THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONDUCT THIS WORK (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATION.
- 24) CONTRACTOR SHALL DEPOSE OF ANY UNSUITABLE MATERIAL ON-SITE (I.E. TRASH, STUMPS, ETC.) IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- 25) STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO TOWN OF HUDSON STANDARDS.
- 26) ALL RIMS AND GATES TO BE SET AT FINISH PAVEMENT GRADE, REGARDLESS OF STAGED RIM ELEVATIONS.

TEMPORARY EROSION CONTROL MEASURES:

- 1) SEDIMENT TRAPS SHALL BE INSTALLED AS REQUIRED. BARRIERS AND TRAPS ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
- 2) MULCH SHALL BE LAYED AS ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SLAT HAY SHALL BE USED.
- 3) FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
- 4) STOCKPILED MATERIALS SHALL BE PLACED ONLY IN AREAS SHOWN ON THE PLANS. STOCKPILES SHALL BE PROTECTED BY SEDIMENT CONTROL FENCE AND SEEDED TO PREVENT EROSION. THESE MEASURES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
- 5) ALL DISTURBED AREAS SHALL BE LOADED AND SEEDED A MINIMUM OF 6 INCHES OF LOAM MULCH. MULCH SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA.
- 6) SEED MIX SHALL BE EQUAL PARTS OF RED FESCUE (PREEMIO), KENTUCKY BLUEGRASS, REITOP, PERENNIAL RITERSGRASS.
- 7) AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED.
- 8) PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. PROVIDE SWEEPING ON A DAILY BASIS OR AS DIRECTED BY THE CITY.
- 9) ALL CATCH BASIN INLETS WILL BE PROTECTED WITH INLET PROTECTION - SEE DETAIL.
- 10) ALL DEMANDING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA AREA.

CONSTRUCTION SEQUENCE:

- 1) INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED.
- 2) CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
- 3) REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEED TO PREVENT EROSION.
- 4) CONSTRUCT CLOSED DRAINAGE SYSTEM, PROTECT CATCHMENT INLETS AND CATCH BASINS WITH SEDIMENTATION BARRIERS.
- 5) PERFORM SITE GRADING, PLACING SEDIMENT CONTROL BARRIERS AS REQUIRED TO CONTROL SOIL EROSION.
- 6) INSTALL UNDERGROUND UTILITIES.
- 7) BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED OR MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
- 8) DAILY 90' AS REQUIRED, CONDUCT VISUAL INSPECTION AND IF NECESSARY, RECONSTRUCT STUMP WHITE COMPOST FILTER SOCK, EROSION CONTROL BARRIER, TEMPORARY BERTS, PANS, DITCHES, SEDIMENT CONTROL FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING. REFER TO INSPECTION AND MAINTENANCE MANUAL FOR STORMWATER MANAGEMENT SYSTEMS (MMS) FOR ADDITIONAL REQUIREMENTS AND INFORMATION. COMES OF ALL INSPECTION REPORTS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION AND AVAILABLE UPON REQUEST AFTER CONSTRUCTION IS COMPLETED.
- 9) BEGIN EXCAVATION FOR AND CONSTRUCTION OF HOMES.
- 10) FINISH PAVING ALL ROADWAYS.
- 11) COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 12) AFTER GRASS HAS BEEN FULLY ESTABLISHED IN ALL SEEDED AREAS, REMOVE ALL TEMPORARY EROSION CONTROL DEVICES.

INSPECTION & MAINTENANCE PLAN FOR STORMWATER SYSTEM:

- CONSTRUCTION PHASE:**
- 1) THE CONTRACTOR IS TO INSTALL AND MAINTAIN DRAINAGE FACILITIES AS SHOWN ON THE SITE PLANS BY GREENWAY-PEDERSEN, INC.
 - 2) PRIOR TO CONSTRUCTION, ALL EROSION/SEDIMENT CONTROL DEVICES SHOWN ON SURROUNDING AREAS DURING CONSTRUCTION, THE CONTRACTOR IS TO SET SEDIMENT CONTROL FENCES AT ALL SLOPES WHICH MAY ENJOY IN THE DIRECTION OF ANY OPEN DRAINAGE FACILITIES OF ADJUTER PROPERTY. SUCH PREVENTIVE MEASURES ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
 - 3) ALL CONSTRUCTION OF DRAINAGE FACILITIES IS TO BE INSPECTED BY INSPECTORS FROM THE CITY OF HUDSON AND BY AN AUTHORIZED AGENT TO VERIFY CONFORMANCE TO THE DESIGN PLAN.
 - 4) THE SEQUENCE OF DRAINAGE CONSTRUCTION SHALL BE AS FOLLOWS:
 - A) CLEAR, GRUB, EXCAVATE AREAS FOR STORMWATER BASINS.
 - B) INSTALL CATCH BASINS, PIPES AND MANHOLES.
 - 5) EROSION CONTROLS ARE TO BE INSPECTED AND MAINTAINED ON A DAILY BASIS. UPON DISCOVERY OF SEDIMENT CONTROL BUILD-UP IN ANY CATCH BASIN SLUIC OR ANY OTHER STRUCTURE, CLEANING SHALL BE PERFORMED WITHIN 24 HOURS.
 - 6) ALL EXPOSED SOILS SHALL BE IMMEDIATELY STABILIZED WITH A LAYER OF MULCH HAY.
 - 7) UPON INSTALLATION OF CATCH BASINS, INLET PROTECTION - AS DESCRIBED ON APPROVED/REPAIRED PLAN - SHALL BE INSTALLED AND MAINTAINED UNTIL READY FOR PAVING.
 - 8) PRIOR TO CONSTRUCTION OF INTERIORS AREAS, ALL DRAINAGE STRUCTURES AND PIPES SHALL BE INSTALLED AND INSPECTED FOR PROPER FUNCTION. DURING CONSTRUCTION OF OTHER SITE FEATURES, ALL DRAINAGE FACILITIES SHALL BE INSPECTED ON A DAILY BASIS AND CLEANED/REPAIRED IMMEDIATELY UPON DISCOVERY OF SEDIMENT BUILD-UP OR DAMAGE.
 - 9) AFTER PAVING IS INSTALLED, IT SHALL BE SWEEP CLEAN AS NEEDED.

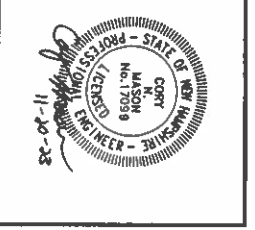
POST CONSTRUCTION PHASE:

- 10) INSPECTIONS ARE TO BE PERFORMED AND INSPECTION LOGS FILLED OUT IN ACCORDANCE WITH THE MMS. THE FIRST START OF CONSTRUCTION SHALL BE CONDUCTED WITHIN 72 HOURS OF THE START OF CONSTRUCTION. FINAL STABILIZATION MEANS FOR VEGETATIVE GROWTH FOR UNPAVED AREAS.

CONSTRUCTION AND MAINTENANCE MANUAL FOR STORMWATER MANAGEMENT SYSTEMS (MMS) MANUFACTURED BY GREENWAY-PEDERSEN, INC.

GENERAL NOTES AND LEGEND

SCALE: NOT TO SCALE
PROJECT NO: NEX-2300191
2 OF 16

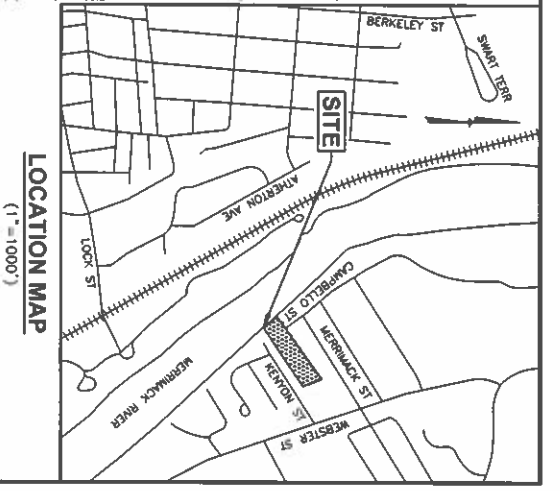
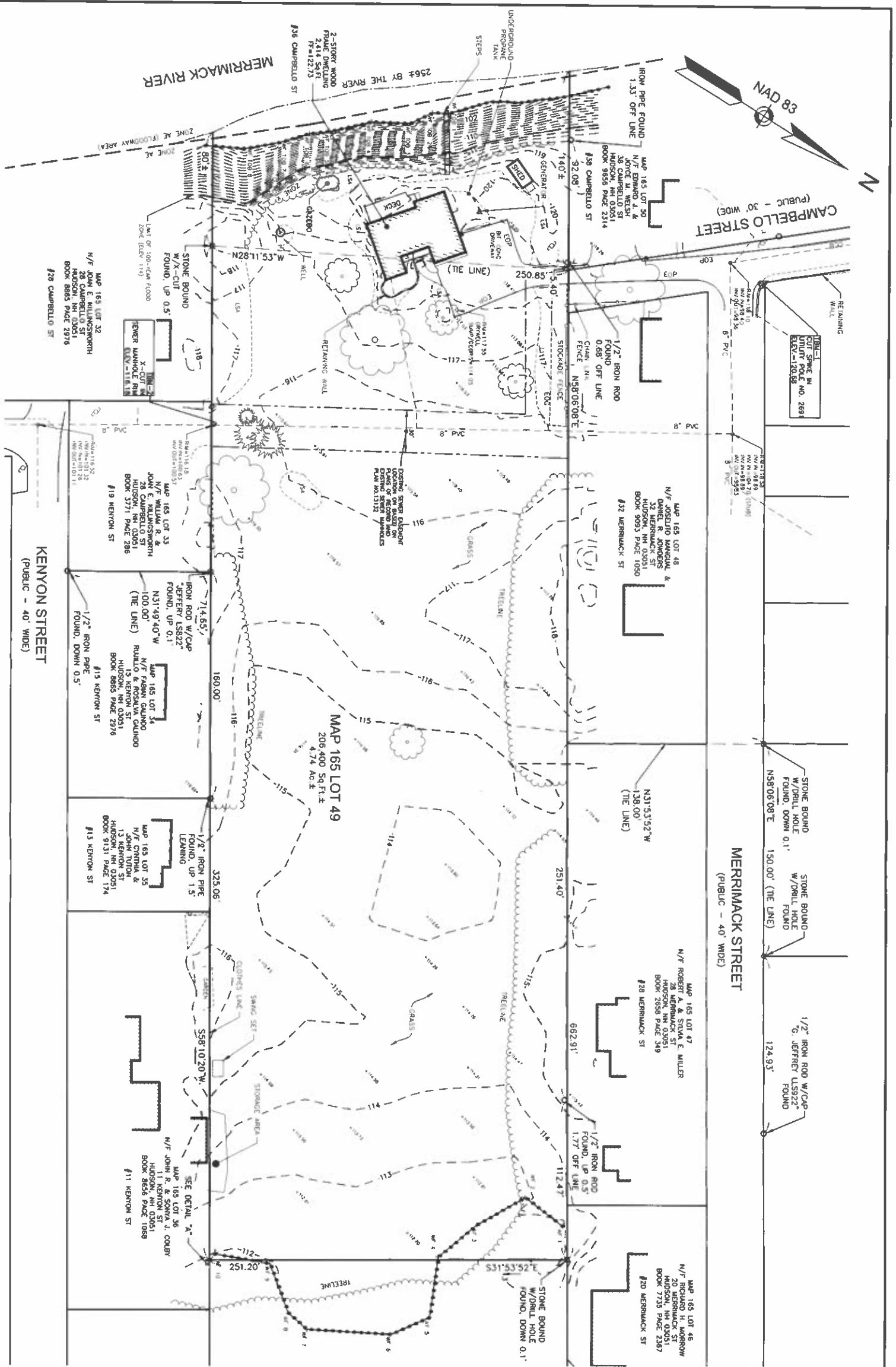


ASSESSOR MAP 165 LOT 49
36 CAMPBELLO STREET
HUDSON, NEW HAMPSHIRE

PREPARED FOR
Sousa Realty & Development Corp.
46 LOWELL ROAD
HUDSON, NH 03051



NO	REVISION	DATE
		NOVEMBER 20, 2023
	DRAWING DESIGN BY	CHEKED BY
	CNM	DRJ



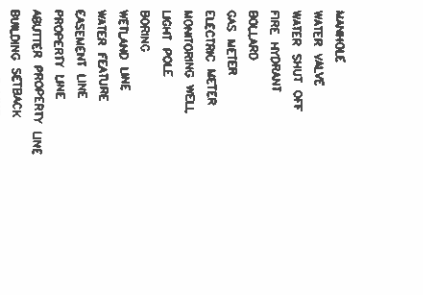
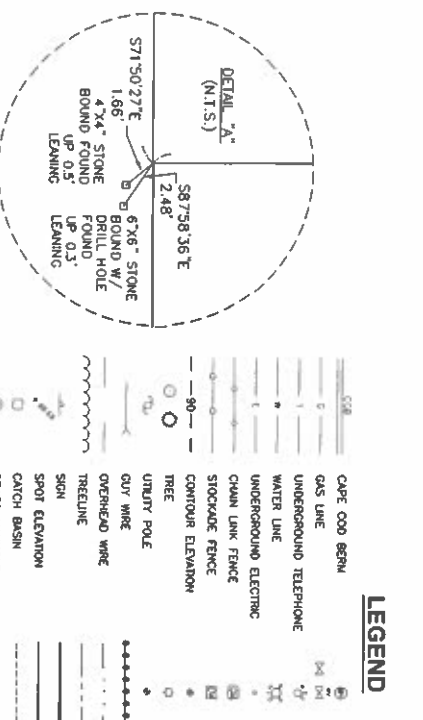
- NOTES:**
- 1) ZONE: TOWN RESIDENTIAL DISTRICT (TR)
MIN. LOT SIZE: 10,000 Sq.Ft.
SETBACKS:
FRONT: 90 Ft.
REAR: 30 Ft.
SIDE: 15 Ft.
 - 2) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY THIS OFFICE BETWEEN AUGUST 4, 2023 AND AUGUST 10, 2023.
 - 3) BEARINGS SHOWN HEREIN ARE BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON AUGUST 4, 2023.
 - 4) ELEVATIONS SHOWN HEREIN ARE BASED ON NAVD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON AUGUST 4, 2023.
 - 5) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED. INVERTS ARE LISTED IN A CLOCKWISE DIRECTION ENDING WITH THE INVERT OUT (UNLESS OTHERWISE NOTED).
 - 6) A PORTION OF THE SURVEY TRACT IS LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 3301100514E, WITH AN EFFECTIVE DATE OF APRIL 19, 2011.
 - 7) FEMA FLOOD BOUNDARIES SHOWN HEREIN TAKEN FROM FEMA'S NATIONAL FLOOD HAZARD LAYER G15 DATA.
 - 8) WETLAND LINES SHOWN HEREIN DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. ON AUGUST 7, 2023.

- PLAN REFERENCES:**
HILLSBOROUGH COUNTY REGISTRY OF DEEDS
- 1) PLAN NO. 13132
 - 2) PLAN NO. 407
 - 3) PLAN NO. 511
 - 4) PLAN NO. 12135
 - 5) PLAN NO. 13134
 - 6) PLAN NO. 13218
 - 7) PLAN NO. 25875
 - 8) PLAN NO. 30647
 - 9) PLAN NO. 31388
 - 10) PLAN NO. 39078

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____ DATE _____

SIGNATURE: _____ DATE _____

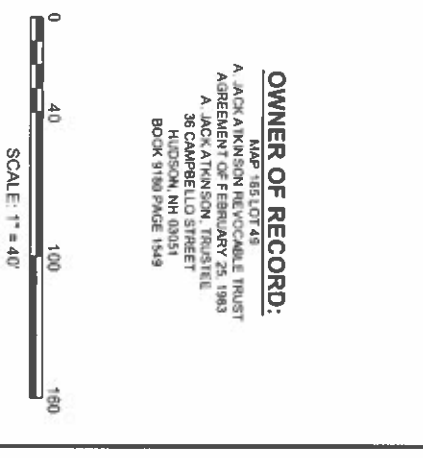


CERTIFICATION:

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND IN AUGUST 2023 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

OWNER OF RECORD:
MAP 165 LOT 49
A. JACK ANKINSON REVOCABLE TRUST
AGREEMENT OF FEBRUARY 25, 1983
A. JACK ANKINSON, TRUSTEE
38 CAMPBELLO STREET
HUDSON, NH 03051
BOOK 9189 PAGE 1549

SCOTT M. LITALEN, L.L.S. #1019
11/20/2023
DATE



ASSESSOR MAP 165 LOT 49

36 CAMPBELLO STREET

HUDSON, NEW HAMPSHIRE

PREPARED FOR:
SUSA REALTY & DEVELOPMENT CORP.
46 LOWELL ROAD
HUDSON, NH 03051

EXISTING CONDITIONS

SCALE: 1"=40'

PROJECT NO: NEX-2300191

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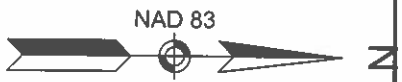
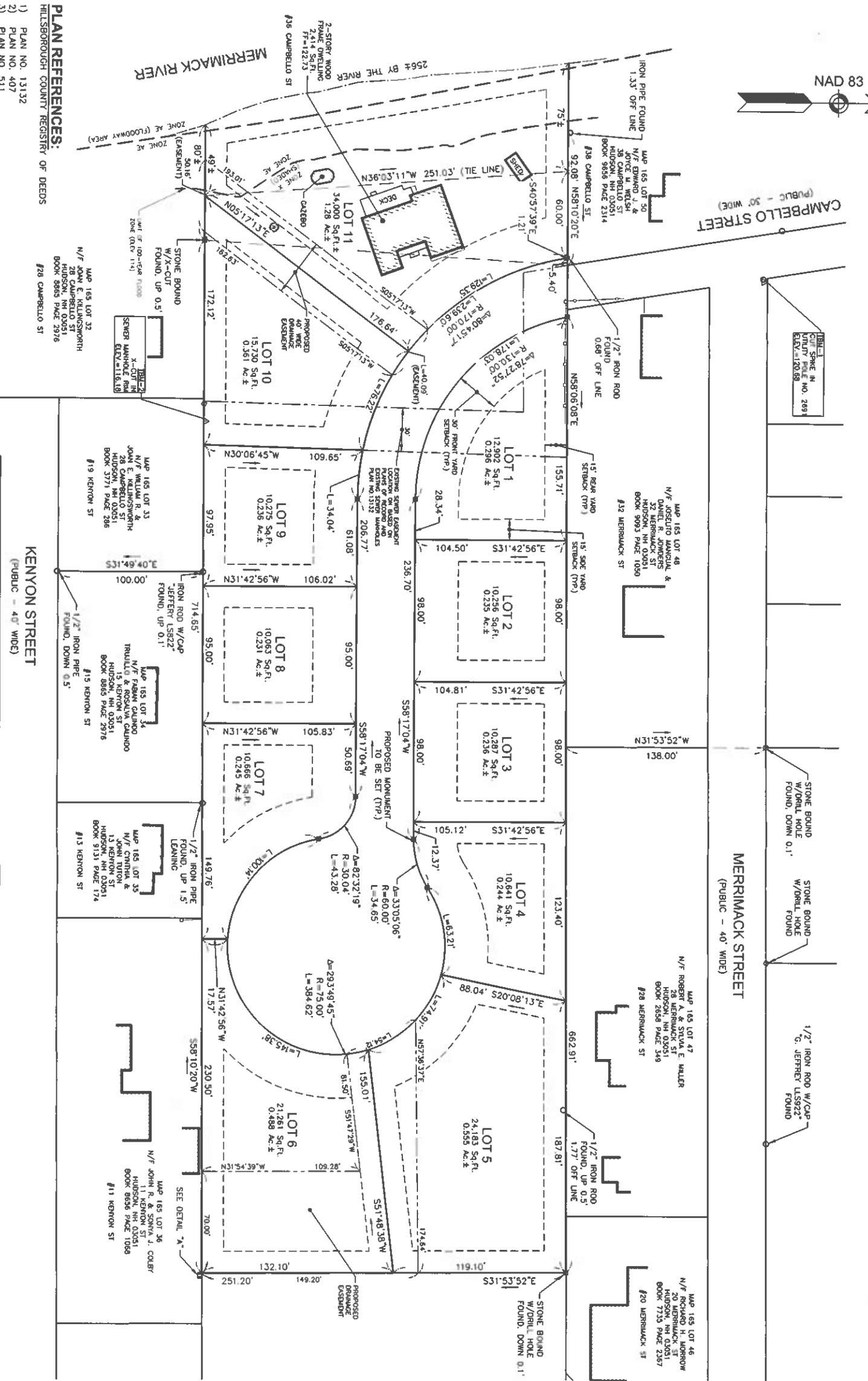


TABLE OF ZONING REGULATIONS - HUDSON, NH

DESCRIPTION	ZONE: (TR) TOWN RESIDENTIAL DISTRICT	REQUIRED	PROVIDED
MINIMUM LOT AREA SQ. FT.		10,000 SQ.	10,000 SQ. MIN.
MINIMUM LOT FRONTAGE		50'	50' MIN.
MINIMUM FRONT YARD BUILDING SETBACK		10' (5' MIN.)	10' (5' MIN.)
MINIMUM REAR YARD BUILDING SETBACK		10' (5' MIN.)	10' (5' MIN.)
MINIMUM SIDE YARD BUILDING SETBACK		15'	15' (5' MIN.)



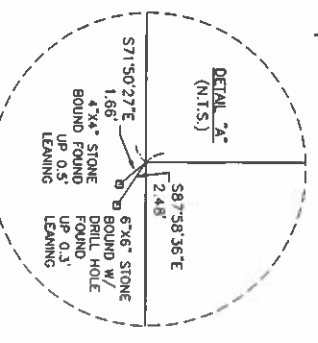
- PLAN REFERENCES:**
- 1) PLAN NO. 13132
 - 2) PLAN NO. 407
 - 3) PLAN NO. 511
 - 4) PLAN NO. 12135
 - 5) PLAN NO. 13134
 - 6) PLAN NO. 13218
 - 7) PLAN NO. 25875
 - 8) PLAN NO. 30647
 - 9) PLAN NO. 31388
 - 10) PLAN NO. 39078

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____ DATE _____

SIGNATURE: _____ DATE _____

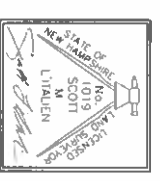
SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINALS APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



- LEGEND**
- CAPE COD BERM
 - CHAIN LINK FENCE
 - SHOULDER FENCE
 - WATERLINE
 - WATER FEATURE
 - DESIGNER LINE
 - PROPERTY LINE
 - ADJUTER PROPERTY LINE
 - BUILDING SETBACK
 - FLOOD ZONE LINE

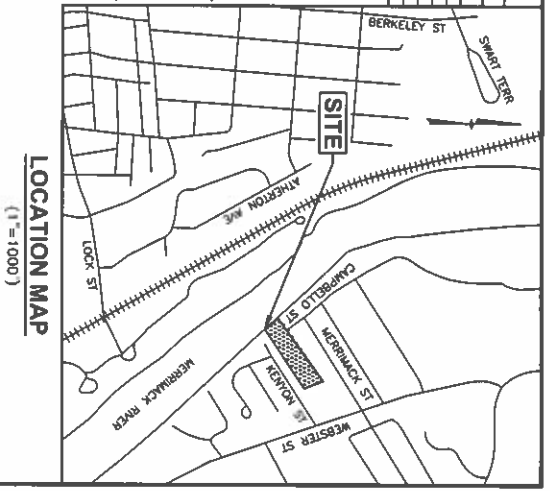
CERTIFICATION:

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND IN AUGUST 2023 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.



SCOTT M. LITALIEN, L.L.S. #1019

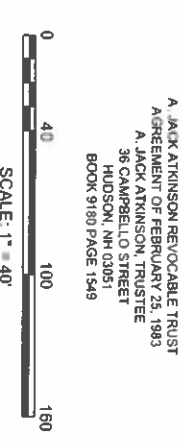
11/20/2023



- NOTES:**
- 1) ZONE: TOWN RESIDENTIAL DISTRICT (TR)
 - 2) REFER TO THE TOWN OF HUDSON ZONING ORDINANCE FOR VERIFICATION, ADDITIONAL RESTRICTIONS AND PERMITTED USES. THE ZONING INFORMATION SHOWN HEREON IS BASED ON A REVIEW OF THE HUDSON ZONING ORDINANCE.
 - 3) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN AUGUST 4, 2023 AND AUGUST 10, 2023.
 - 4) BEARINGS SHOWN HEREON ARE BASED ON NAVD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON AUGUST 4, 2023.
 - 5) ELEVATIONS SHOWN HEREON ARE BASED ON NAVD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON AUGUST 4, 2023.
 - 6) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED. INVERTS ARE LISTED IN A CLOCKWISE DIRECTION ENDING WITH THE INVERT OUT (UNLESS OTHERWISE NOTED).
 - 7) A PORTION OF THE SURVEY TRACT IS LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33011C0314E, WITH AN EFFECTIVE DATE OF APRIL 18, 2011.
 - 8) FEMA FLOOD BOUNDARIES SHOWN HEREON TAKEN FROM FEMA'S NATIONAL FLOOD HAZARD LAYER GIS DATA.

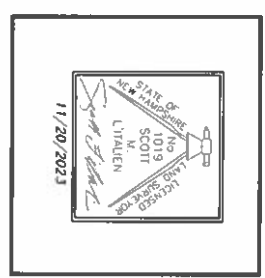
OWNER OF RECORD:

MAP 165 LOT 49
 A JACK ANTONSON REVOCABLE TRUST
 AGREEMENT OF FEBRUARY 23, 1993
 A JACK ANTONSON TRUSTEE
 38 HUDSON ST. SUITE 100
 HUDSON, NH 03051
 BOOK 9180 PAGE 1549



REVISIONS

NO	REVISION	DATE
NOVEMBER 20, 2023		
DRAWN/DESIGN BY: KAC	CHECKED BY: SML	



ASSESSOR MAP 165 LOT 49

36 CAMPBELLO STREET

HUDSON, NEW HAMPSHIRE

PREPARED FOR:
 SOUSA REALTY &
 DEVELOPMENT CORP.
 46 LOWELL ROAD
 HUDSON, NH 03051

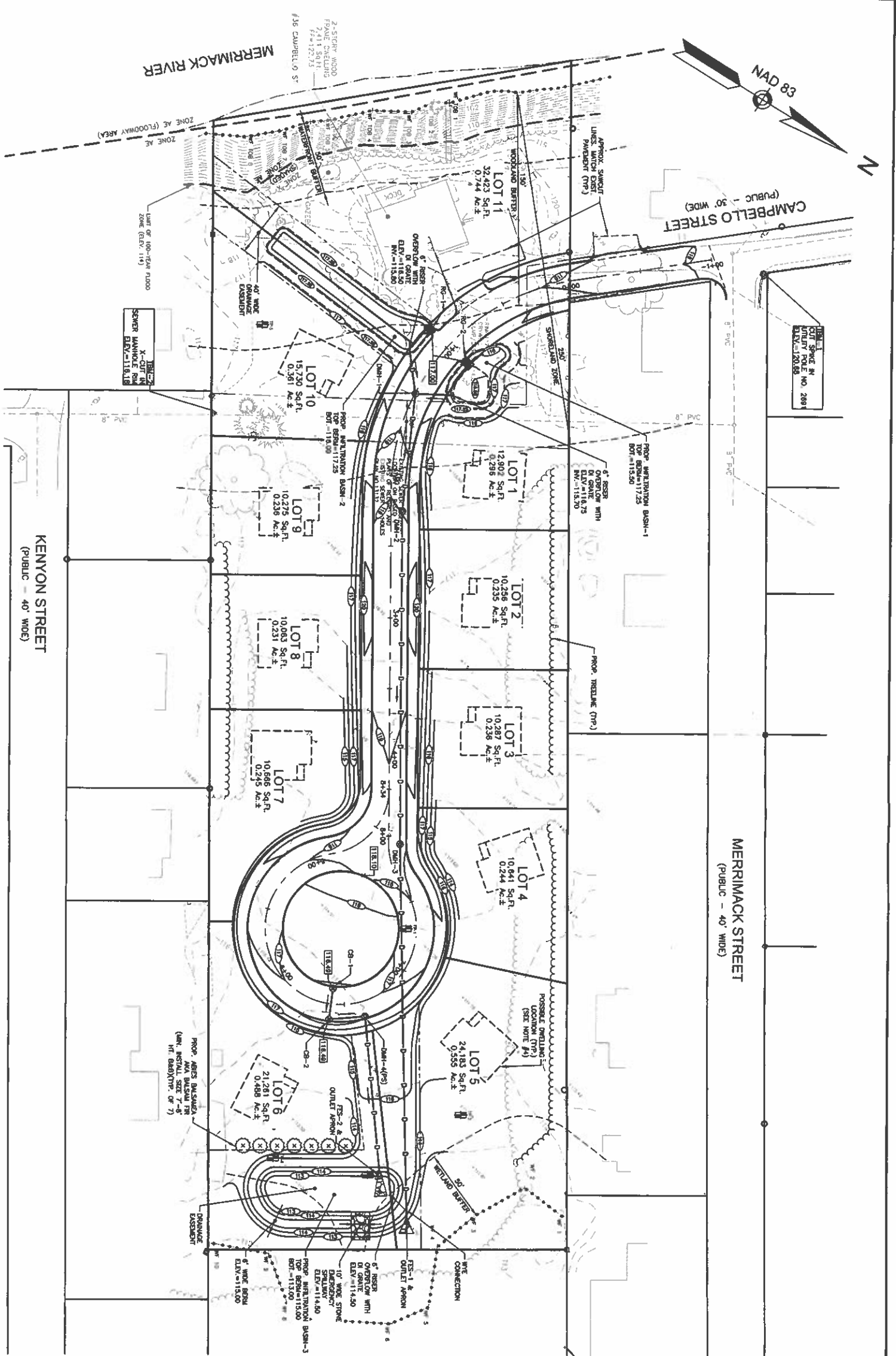
Greenleaf-Anderson, Inc.
 44 Silas Road, Suite One
 Salem, NH 03079

SUBDIVISION PLAN

SCALE: 1"=40'

PROJECT NO: NEX-2300191

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- NOTES:**
- 1) SEE SHEET 2 FOR NOTES AND LEGEND INFORMATION.
 - 2) SEE SHEETS 9 AND 10 FOR CROSS-SECTIONS.
 - 3) SEE SHEETS 11 THRU 16 FOR CONSTRUCTION DETAILS.
 - 4) THE SIZE AND LOCATION OF THE FUTURE DRAINAGE IS APPROXIMATE ONLY AND IS SUBJECT TO CHANGE.

DRAINAGE PIPE SCHEDULE

EROM. STRUCTURE NUMBER (INCHES)	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FT.)	SLOPE (FT./FT.)	TO STRUCTURE NUMBER
CB-1	12	HPIPE	22	0.005	DMH-4(FS)
CB-2	12	HPIPE	25	0.008	DMH-4(FS)
DMH-1	12	HPIPE	64	0.004	DMH-2
DMH-2	12	HPIPE	235	0.004	DMH-3
DMH-3	12	HPIPE	266	0.004	FTS-1
DMH-4(FS)	12	HPIPE	113	0.005	FTS-2
WTF BASIN-1	8	Ductile Iron	27	0.006	DMH-1
WTF BASIN-2	8	Ductile Iron	31	0.008	DMH-1

DRAINAGE STRUCTURES

CB-1 ¹	12" HDPE	118.48	118.48	118.48
CB-2 ¹	12" HDPE	118.48	118.48	118.48
DMH-1	12" HDPE	118.48	118.48	118.48
DMH-2	12" HDPE	118.48	118.48	118.48
DMH-3	12" HDPE	118.48	118.48	118.48
DMH-4	12" HDPE	118.48	118.48	118.48
DMH-5	12" HDPE	118.48	118.48	118.48
DMH-6	12" HDPE	118.48	118.48	118.48
DMH-7	12" HDPE	118.48	118.48	118.48
DMH-8	12" HDPE	118.48	118.48	118.48
DMH-9	12" HDPE	118.48	118.48	118.48
DMH-10	12" HDPE	118.48	118.48	118.48
DMH-11	12" HDPE	118.48	118.48	118.48
DMH-12	12" HDPE	118.48	118.48	118.48
DMH-13	12" HDPE	118.48	118.48	118.48
DMH-14	12" HDPE	118.48	118.48	118.48
DMH-15	12" HDPE	118.48	118.48	118.48
DMH-16	12" HDPE	118.48	118.48	118.48
DMH-17	12" HDPE	118.48	118.48	118.48
DMH-18	12" HDPE	118.48	118.48	118.48
DMH-19	12" HDPE	118.48	118.48	118.48
DMH-20	12" HDPE	118.48	118.48	118.48
DMH-21	12" HDPE	118.48	118.48	118.48
DMH-22	12" HDPE	118.48	118.48	118.48
DMH-23	12" HDPE	118.48	118.48	118.48
DMH-24	12" HDPE	118.48	118.48	118.48
DMH-25	12" HDPE	118.48	118.48	118.48
DMH-26	12" HDPE	118.48	118.48	118.48
DMH-27	12" HDPE	118.48	118.48	118.48
DMH-28	12" HDPE	118.48	118.48	118.48
DMH-29	12" HDPE	118.48	118.48	118.48
DMH-30	12" HDPE	118.48	118.48	118.48
DMH-31	12" HDPE	118.48	118.48	118.48
DMH-32	12" HDPE	118.48	118.48	118.48
DMH-33	12" HDPE	118.48	118.48	118.48
DMH-34	12" HDPE	118.48	118.48	118.48
DMH-35	12" HDPE	118.48	118.48	118.48
DMH-36	12" HDPE	118.48	118.48	118.48
DMH-37	12" HDPE	118.48	118.48	118.48
DMH-38	12" HDPE	118.48	118.48	118.48
DMH-39	12" HDPE	118.48	118.48	118.48
DMH-40	12" HDPE	118.48	118.48	118.48
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DMH-42	12" HDPE	118.48	118.48	118.48
DMH-43	12" HDPE	118.48	118.48	118.48
DMH-44	12" HDPE	118.48	118.48	118.48
DMH-45	12" HDPE	118.48	118.48	118.48
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DMH-47	12" HDPE	118.48	118.48	118.48
DMH-48	12" HDPE	118.48	118.48	118.48
DMH-49	12" HDPE	118.48	118.48	118.48
DMH-50	12" HDPE	118.48	118.48	118.48
DMH-51	12" HDPE	118.48	118.48	118.48
DMH-52	12" HDPE	118.48	118.48	118.48
DMH-53	12" HDPE	118.48	118.48	118.48
DMH-54	12" HDPE	118.48	118.48	118.48
DMH-55	12" HDPE	118.48	118.48	118.48
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DMH-64	12" HDPE	118.48	118.48	118.48
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DMH-66	12" HDPE	118.48	118.48	118.48
DMH-67	12" HDPE	118.48	118.48	118.48
DMH-68	12" HDPE	118.48	118.48	118.48
DMH-69	12" HDPE	118.48	118.48	118.48
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DMH-76	12" HDPE	118.48	118.48	118.48
DMH-77	12" HDPE	118.48	118.48	118.48
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DMH-81	12" HDPE	118.48	118.48	118.48
DMH-82	12" HDPE	118.48	118.48	118.48
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DMH-97	12" HDPE	118.48	118.48	118.48
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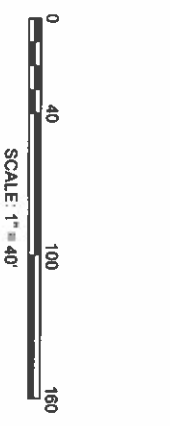
APPROVED BY THE HUDSON, NH PLANNING BOARD

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SIGNATURE _____ DATE _____



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GPI Engineers
 503.893.0270
 Greenman-Pedersen, Inc.
 44 State Road, Suite One
 Salem, NH 03079

PREPARED FOR
 SOUSA REALTY &
 DEVELOPMENT CORP.
 48 LOWELL ROAD
 HUDSON, NH 03051

ASSESSOR MAP 165 LOT 49

36 CAMPBELLO STREET
HUDSON, NEW HAMPSHIRE

REVISIONS

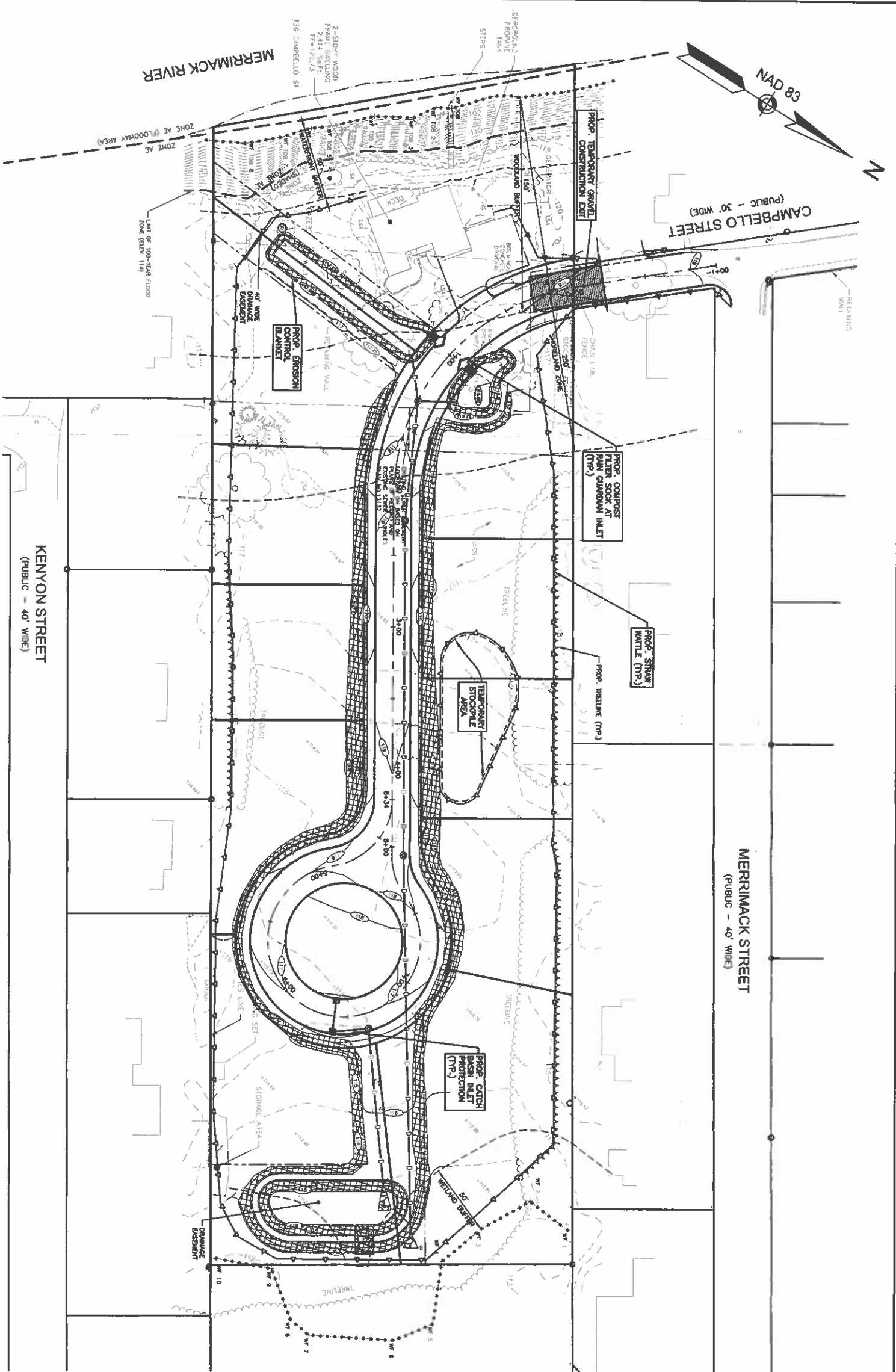
NO.	REVISION	DATE
NOVEMBER 20, 2023 <td>DRAWN/DESIGN BY</td> <td>CNM</td>	DRAWN/DESIGN BY	CNM
	CHECKED BY	DRJ

GRADING & DRAINAGE PLAN

SCALE: 1"=40'

PROJECT NO: NEX-2300191

5 OF 16



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SIGNATURE: _____ DATE _____

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NOTES:

- 1) SEE SHEET 2 FOR NOTES AND LEGEND INFORMATION.
- 2) SEE SHEETS 11 THRU 16 FOR CONSTRUCTION DETAILS.



GPI Engineers
 Design & Construction Management
 631 831 0230
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 HUDSON, NH 03051

ASSESSOR MAP 165 LOT 49

**36 CAMPBELLO STREET
 HUDSON, NEW HAMPSHIRE**

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NO.	REVISION DATE
1	NOVEMBER 20, 2023
DRAWING DESIGN BY: CNM	
CHECKED BY: DRJ	

EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=40'

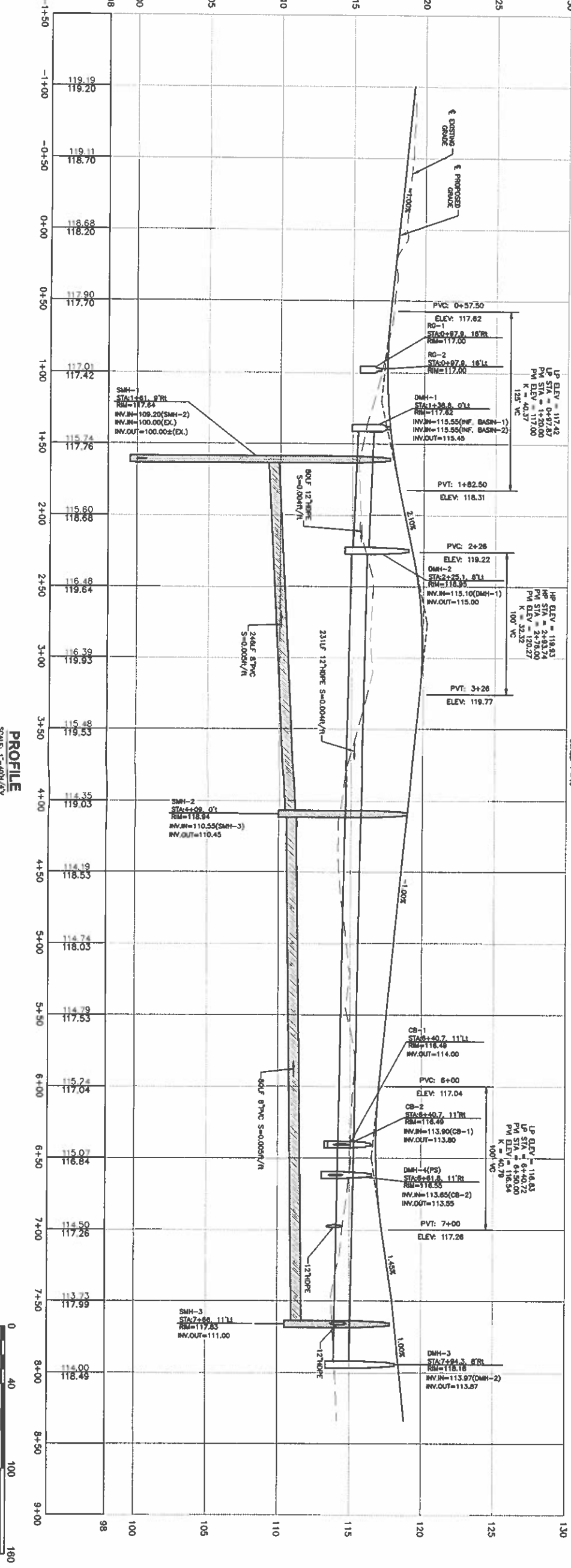
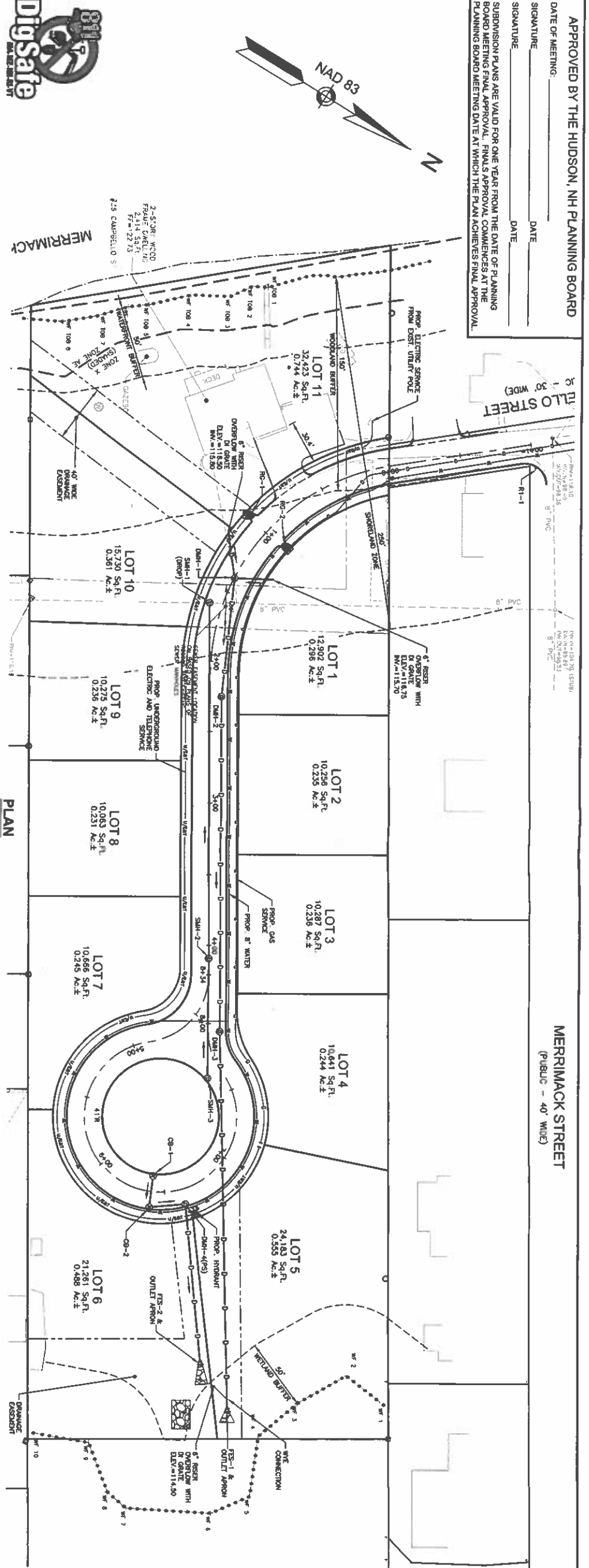
PROJECT NO. NEX-2300191

6 OF 16

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 SIGNATURE: _____ DATE _____

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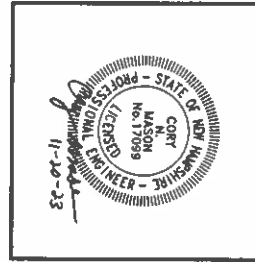
ROADWAY PLAN & PROFILE

SCALE: 1"=40'

PROJECT NO. NEX-2300191

7 OF 16

NO.	REVISION	DATE
1	NOVEMBER 20, 2023	
DRAWN/DESIGNED BY: CNM		
CHECKED BY: DRJ		



ASSESSOR MAP 165 LOT 49

36 CAMPBELLO STREET

HUDSON, NEW HAMPSHIRE

PREPARED FOR:
 SOUSA REALTY & DEVELOPMENT CORP.
 48 LOWELL ROAD
 HUDSON, NH 03051

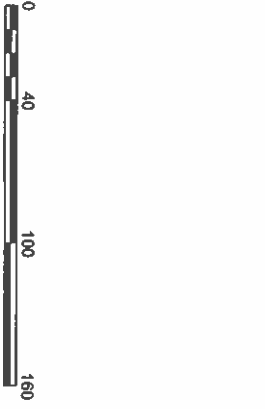
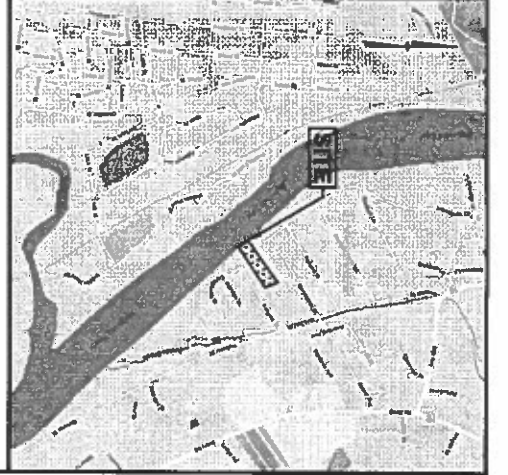
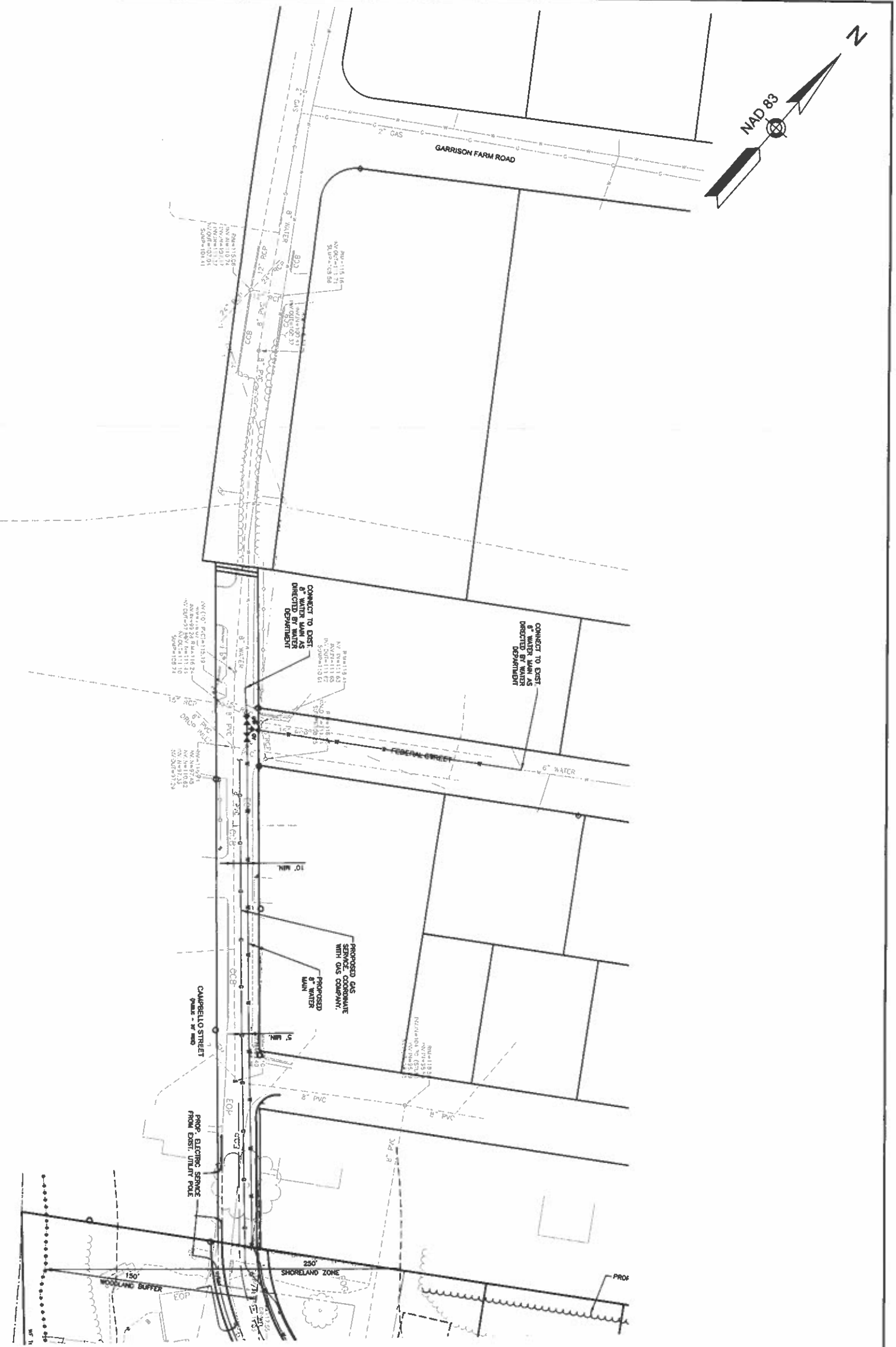
GPI Engineering
 44 Sibley Road, Suite One
 Salem, NH 03079

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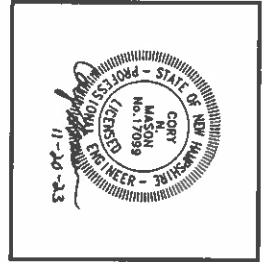


GPI Engineering
 Consulting & Management
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 GPNEX1.03X
 44 State Road, Suite One
 Salem, NH 03078

PREPARED FOR
 SOUSA REALTY &
 DEVELOPMENT CORP.
 46 LOWELL ROAD
 HUDSON, NH 03051

ASSESSOR MAP 165 LOT 49

**36 CAMPBELLO STREET
 HUDSON, NEW HAMPSHIRE**



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NO.	REVISION
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2	CHECKED BY
3	DRJ

**OFF-SITE
 UTILITY
 EXTENSION
 PLAN**

SCALE: 1"=40'

PROJECT NO.
 NEX-2300191

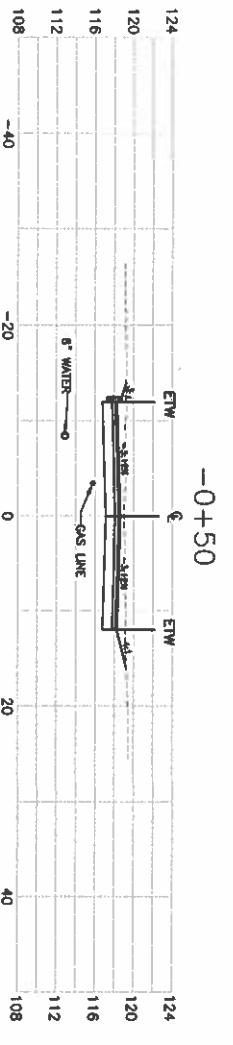
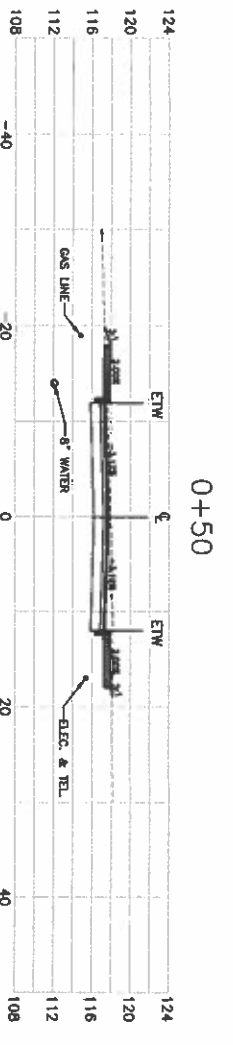
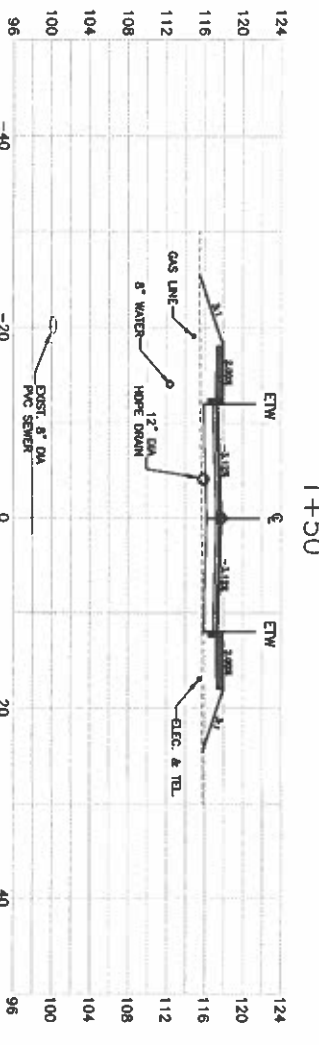
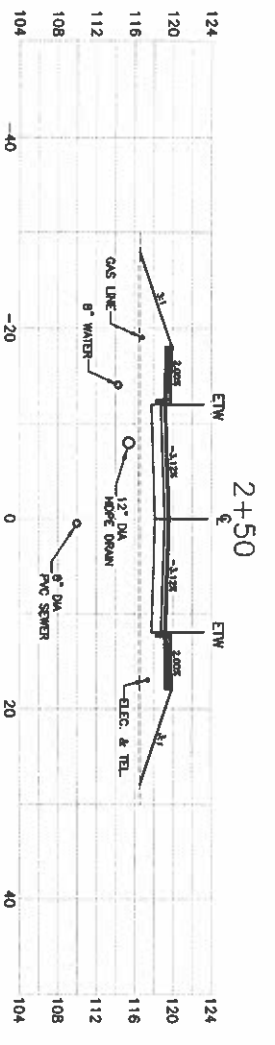
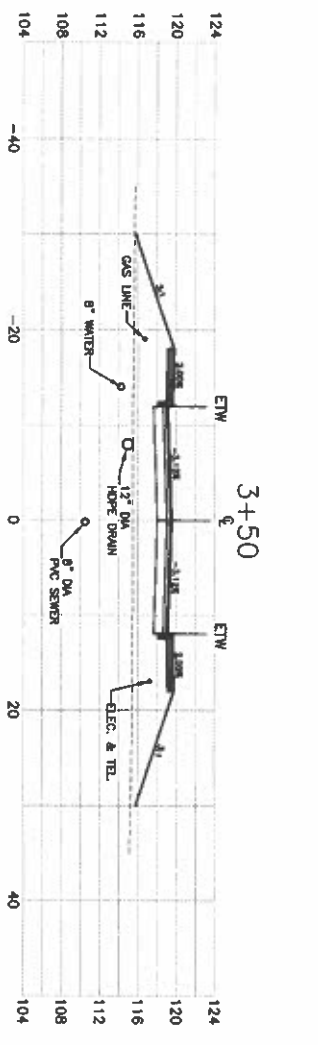
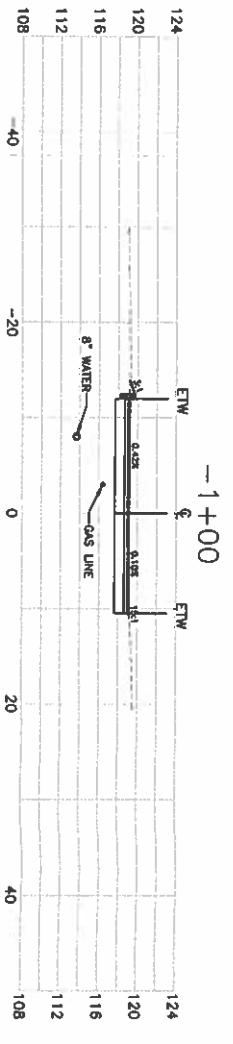
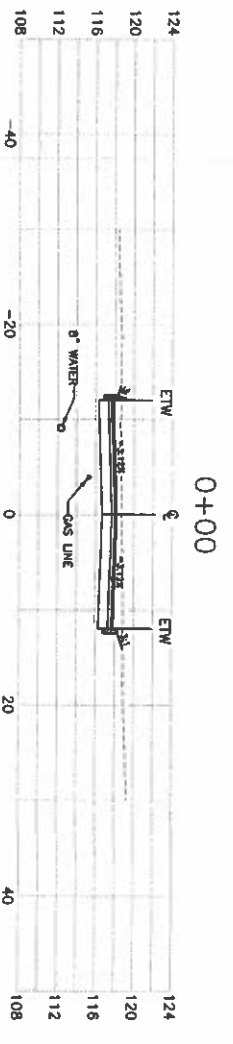
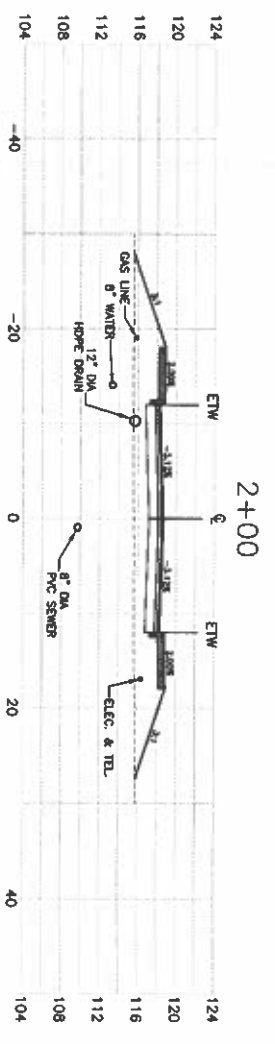
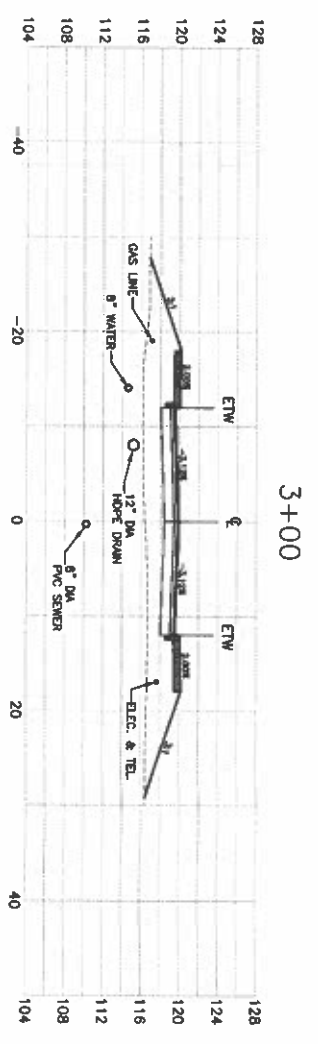
8 OF 16

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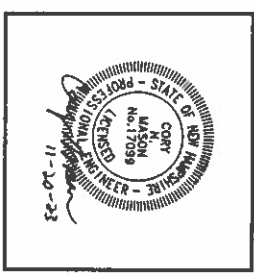
SCALE: 1" = 10'

GPI Engineering
 603.893.8723
 Greenville, Providence, Inc.
 44 State Road, Suite One
 Salem, NH 03079
 gpi@et.com

PREPARED FOR
Sousa Realty & Development Corp.
 46 LOWELL ROAD
 HUDSON, NH 03051

ASSESSOR MAP 165 LOT 49

**36 CAMPBELLO STREET
 HUDSON, NEW HAMPSHIRE**



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NO.	REVISION

NO.	REVISION	DATE

NOVEMBER 20, 2023
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ROADWAY CROSS SECTIONS (1 OF 2)

SCALE: 1" = 10'

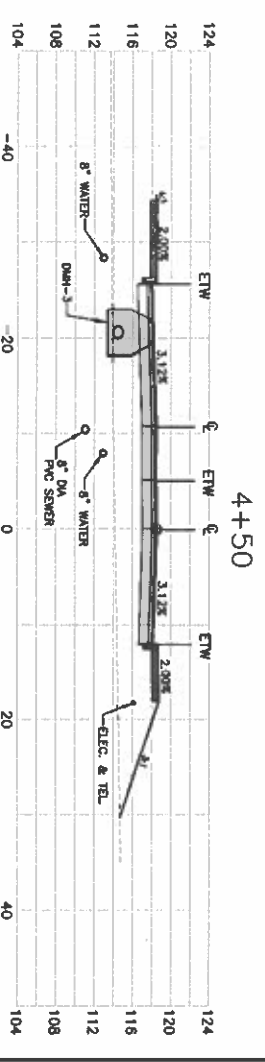
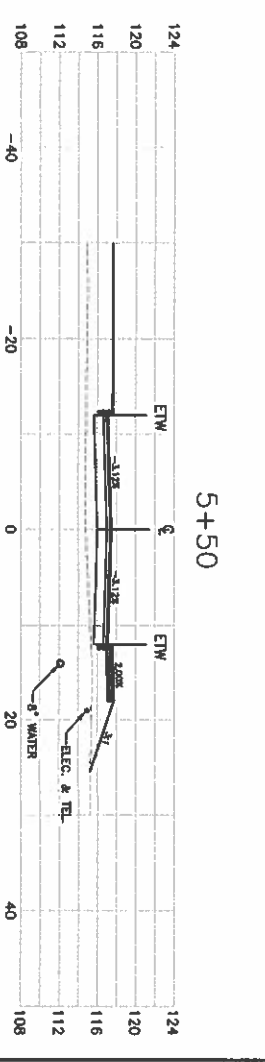
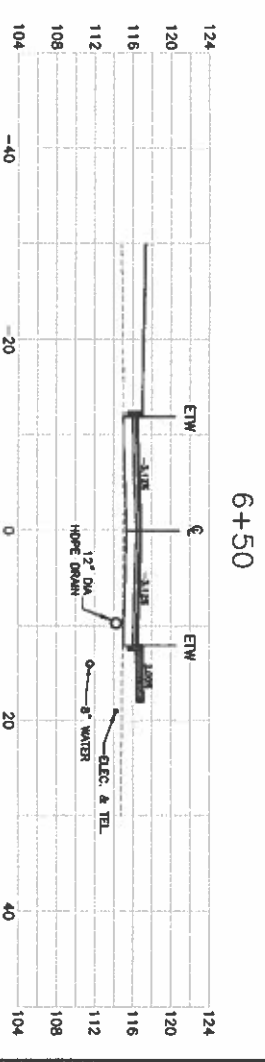
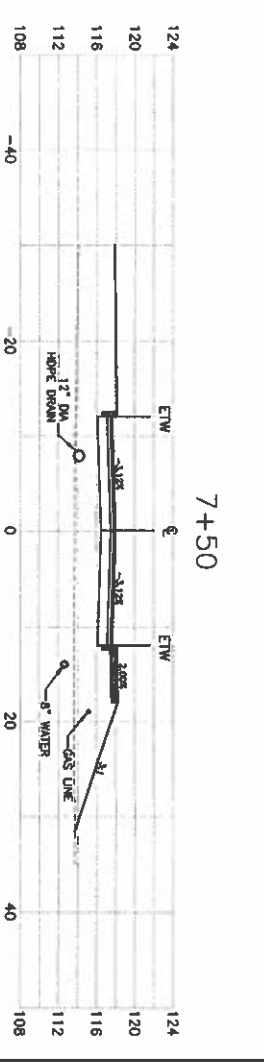
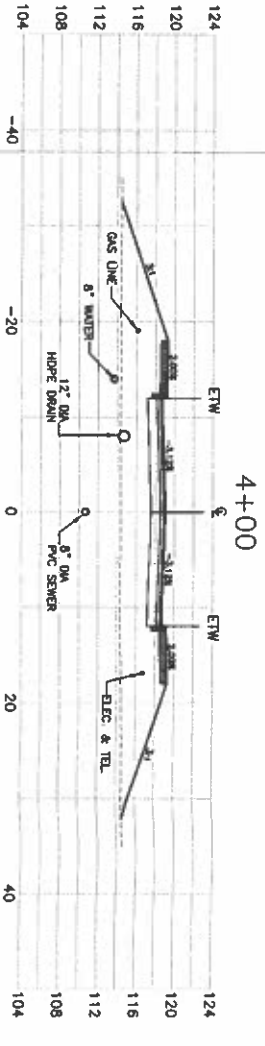
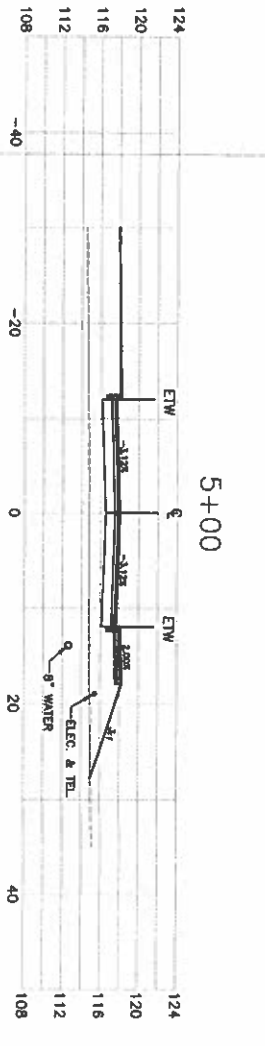
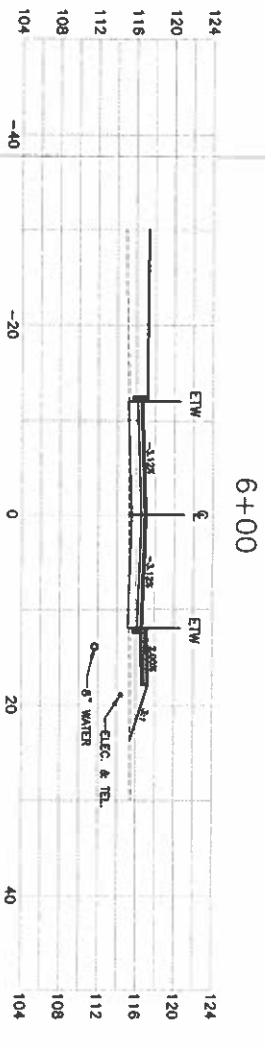
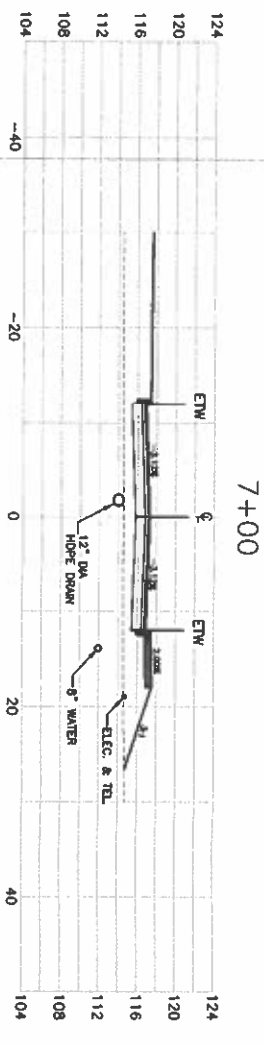
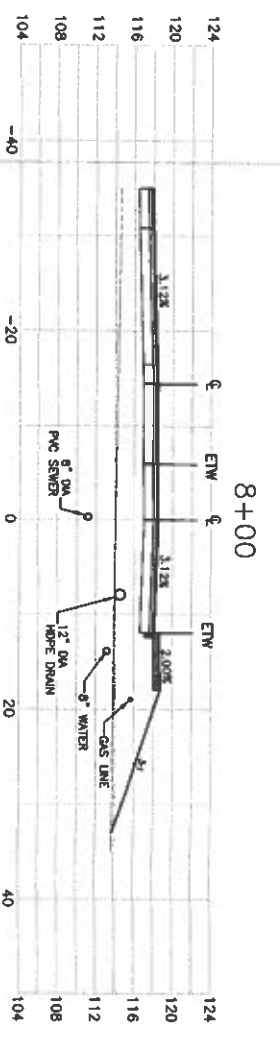
PROJECT NO. NEX-2300191

9 OF 16

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0 10 20 30 40
SCALE: 1" = 10'

ROADWAY CROSS SECTIONS (2 OF 2)

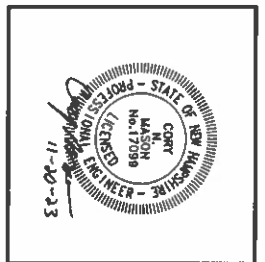
SCALE: 1"=10'

PROJECT NO. NEX-2300191

10 OF 16

NO.	REVISION	DATE

NOVEMBER 20, 2023
 DRAWN/DESIGN BY: _____ CHECKED BY: _____
 CNM DRU

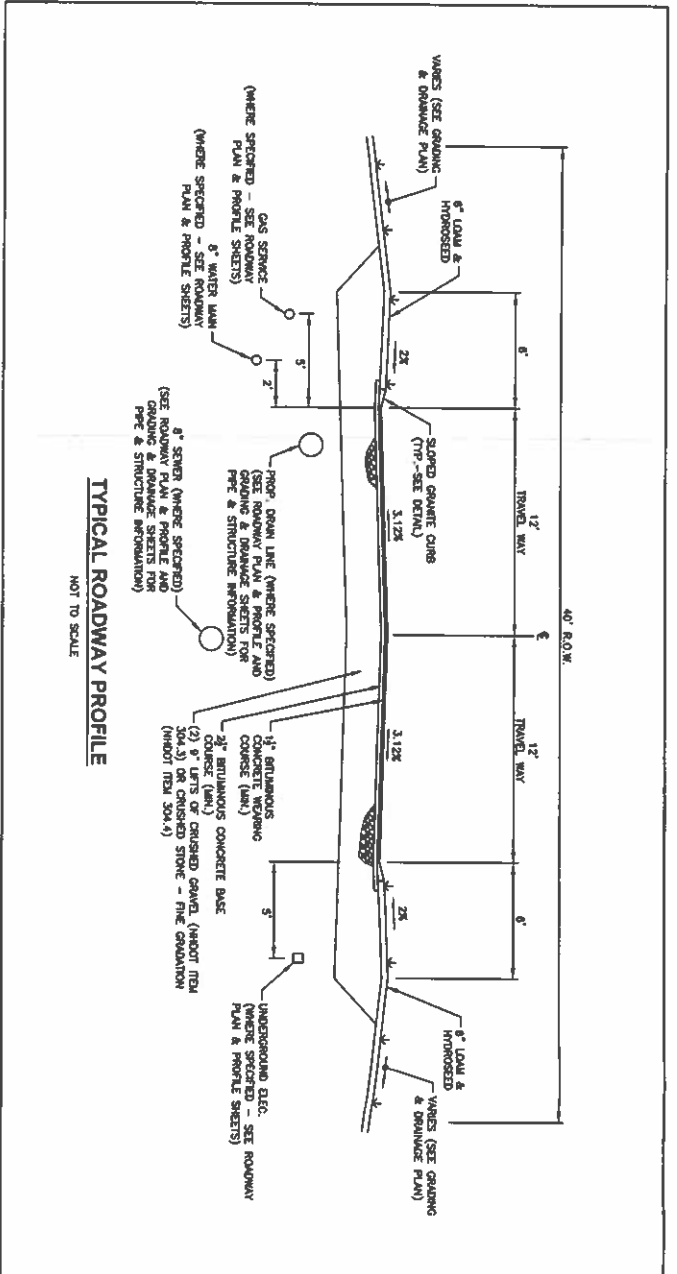


ASSESSOR MAP 165 LOT 49

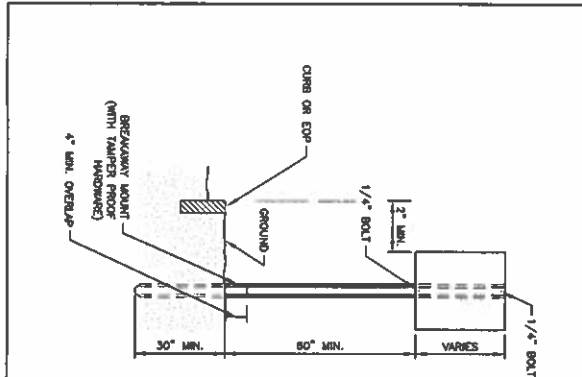
**36 CAMPBELLO STREET
 HUDSON, NEW HAMPSHIRE**

GPI Geomatics
 Engineering
 Planning
 Construction Management
 603.873.0720
 44 State Road, Suite One
 Orem, UT 84057

PREPARED FOR:
 SOUSA REALTY &
 DEVELOPMENT CORP.
 46 LOWELL ROAD
 HUDSON, NH 03051



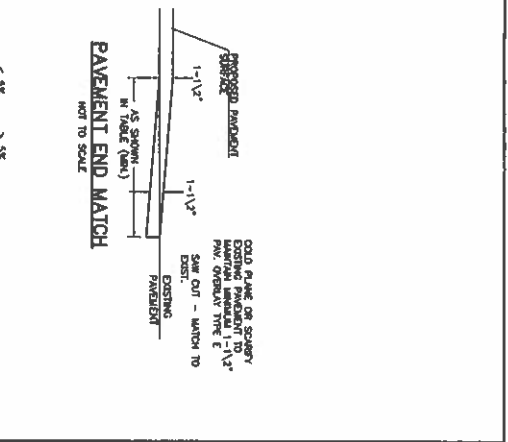
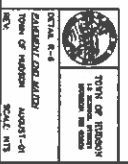
TYPICAL ROADWAY PROFILE
NOT TO SCALE



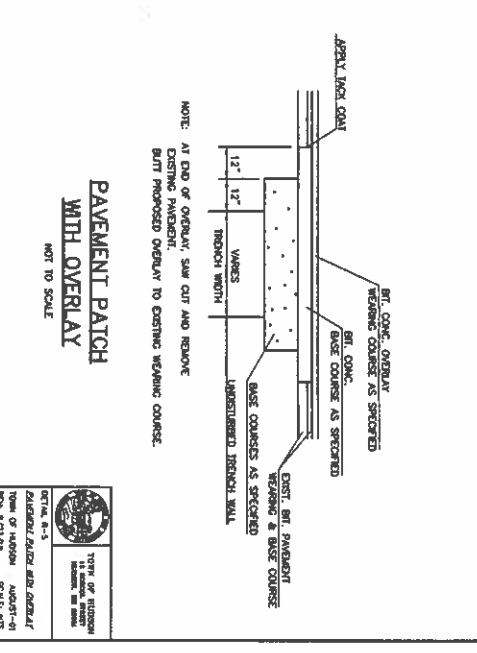
MUTCD SIGN
NOT TO SCALE

REGULAR SLOPE	< 5%	5'	10'
POSITIVE SLOPE	5'	20'	

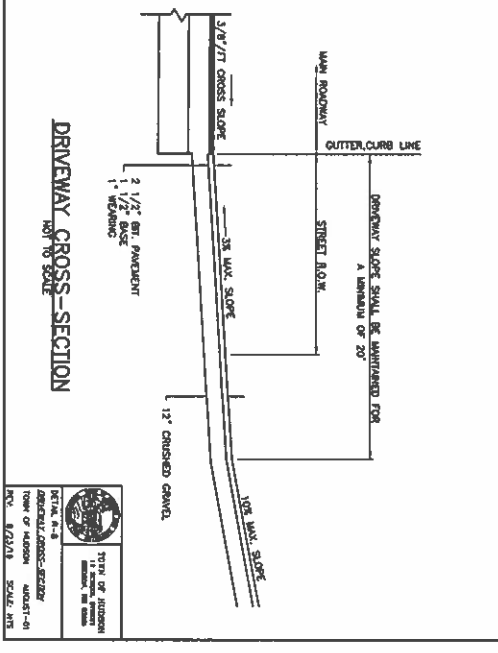
PAVEMENT END MATCH
NOT TO SCALE



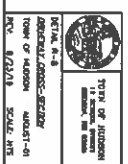
SLOPED GRANITE CURB REMOVED & RESET OR INSTALLED
NOT TO SCALE



PAVEMENT PATCH WITH OVERLAY
NOT TO SCALE



DRIVEWAY CROSS-SECTION
NOT TO SCALE



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GPI Engineering
603.893.0720
Greenleaf-Pedersen, Inc.
44 State Road, Suite One
Salem, NH 03079

PREPARED FOR
SOUISA REALTY & DEVELOPMENT CORP.
46 LOWELL ROAD
HUDSON, NH 03051

ASSESSOR MAP 165 LOT 49
36 CAMPBELLO STREET
HUDSON, NEW HAMPSHIRE

STATE OF NEW HAMPSHIRE
COPY
N. N. 11/20/23
LICENSED PROFESSIONAL ENGINEER - 81218
11-20-23

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NO.	REVISION	DATE

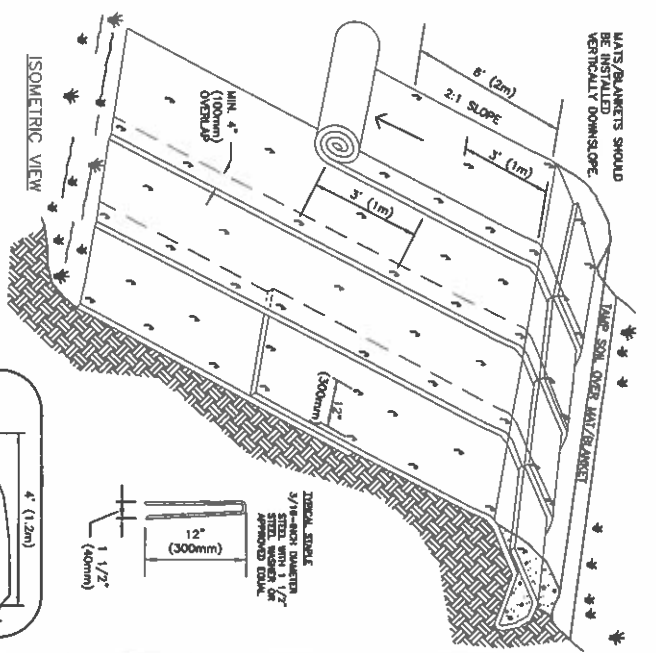
NOVEMBER 20, 2023
DRAWN/DESIGN BY: CNM
CHECKED BY: DRU

CONSTRUCTION DETAILS

SCALE: AS SHOWN

PROJECT NO: NEX-2300191

11 OF 16



TYPICAL SLOPE SOIL STABILIZATION

NOTES:

1. BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET TO EXISTING PAVEMENT OR CONCRETE.
2. REMOVE ALL WEEDS, GRASS, AND OTHER VEGETATION FROM THE AREA TO BE STABILIZED.
3. THE SLOPE OF BLANKETS MUST BE STABILIZED WITH APPROX. 4" HIGH DRAINAGE MATS OR 2" OR LARGER TYPE STABILIZATION MATS.
4. ANCHOR 2" OR LARGER TYPE STABILIZATION MATS TO EXISTING PAVEMENT OR CONCRETE WITH 1/2" DIA. (12.7mm) ANCHORS.
5. BLANKETS SHALL BE PLACED DOWN THE SLOPE WITH AN ANCHOR AT THE TOP AND AN ANCHOR AT THE BOTTOM.
6. BLANKETS SHALL BE INSTALLED WITH AN ANCHOR AT THE TOP AND AN ANCHOR AT THE BOTTOM.

MAINTENANCE:

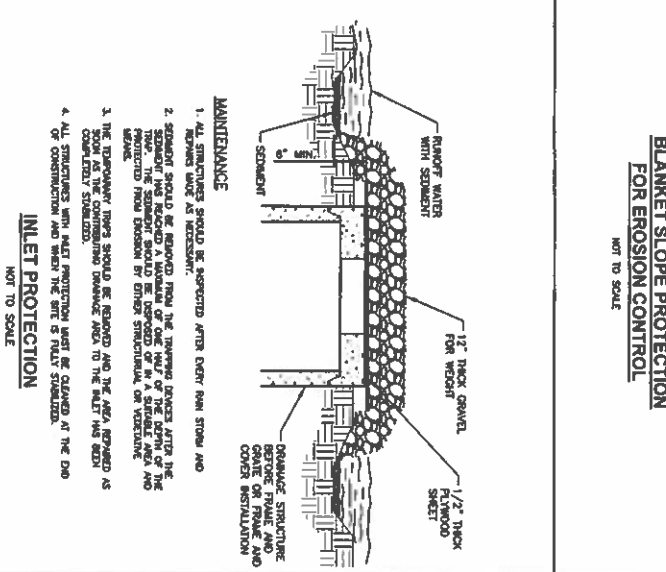
1. BLANKETS SHALL BE INSPECTED AFTER EACH CONSTRUCTION & AFTER A MAJOR WEATHER EVENT.
2. IF ANY DAMAGE TO BLANKETS IS OBSERVED, THE AREA SHALL BE REPAIRED AS SOON AS POSSIBLE.
3. ALL DAMAGED AREAS SHALL BE REPAIRED WITH THE SAME MATERIALS AND METHODS AS THE ORIGINAL INSTALLATION.

TYPICAL INSTALLATION OF EROSION CONTROL BLANKETS FOR SLOPES

NOT TO SCALE

NOTES:

- 1) DO NOT USE PRODUCTS THAT CONTAIN WEADED PLASTIC OR BLENDED WEADED NETTING AND NATURAL FIBER MATERIAL (I.E. MONOCRYSTALL POLYPROPYLENE NETTING OR LUSH WITH AN OPENING SIZE OF GREATER THAN 1/8" (3.175mm) DIAMETER.
- 2) USE PRODUCTS THAT ARE PHOTODEGRADABLE, USE PRODUCTS WITH BIODegradable NETTING AND NATURAL FIBER MATERIAL (I.E. MONOCRYSTALL POLYPROPYLENE NETTING OR LUSH WITH AN OPENING SIZE OF GREATER THAN 1/8" (3.175mm) DIAMETER).

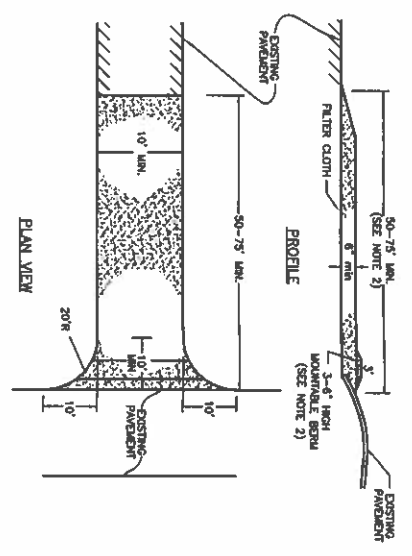


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STABILIZED CONSTRUCTION EXIT

NOT TO SCALE

1. STONE FOR A STABILIZED CONSTRUCTION EXIT SHALL BE 3" HIGH GRANULAR STONE, REDUCED STONE, OR RECYCLED CONCRETE (SEE NOTE 2).

2. THE MINIMUM LENGTH OF THE STABILIZED EXIT SHALL NOT BE LESS THAN 75 FEET UNLESS A MANUFACTURED STONE IS INSTALLED AT THE EXIT. THE LENGTH MAY BE REDUCED TO 50 FEET.

3. THE THICKNESS OF THE STONE FOR THE STABILIZED EXIT SHALL NOT BE LESS THAN 8" (203mm).

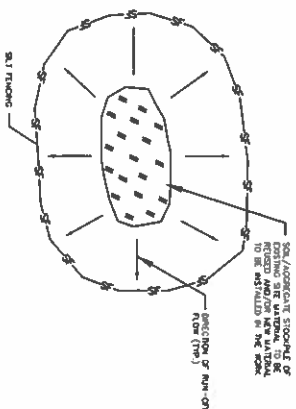
4. THE WIDTH OF THE EXIT SHALL NOT BE LESS THAN THE FULL WIDTH OF THE DRIVEWAY.

5. GRANULAR FILTER CLOTH SHALL BE PLACED OVER THE DRIVEWAY AREA PRIOR TO PLACING THE STONE.

6. ALL SURFACE WATER THAT IS ALLOWED TO OR DIVERTED TOWARD THE CONSTRUCTION EXIT SHALL BE PAVED SEPARATELY THE EXIT IF THE EXIT IS TO BE USED FOR TRAFFIC.

7. THE EXIT SHALL BE CONSTRUCTED IN A MANNER THAT WILL PREVENT TRACKING OF MUD OR SOIL ON TO EXISTING PAVEMENT. ADDITIONAL STONE IS CONTIGUOUS SQUARE AND ROUND AND/OR CLEVERLY OF ANY SIZE SHALL BE USED TO FILL GAPS. ALL STONE SHALL BE PLACED TO FULLY COVER THE EXIT. CONSTRUCTION SHALL BE COMPLETED PRIOR TO TRAFFIC BEING ALLOWED TO CROSS THE EXIT.

8. WEEDS SHALL BE CLEARED TO REMOVE AND PREVENT TO GROW ON THE EXIT. ALL WEEDS SHALL BE REMOVED AND THE EXIT SHALL BE MAINTAINED AS FREE OF WEEDS AS POSSIBLE. ALL WEEDS SHALL BE REMOVED FROM DRIVEWAY STALL DRINK, DRINKERS OR BARRIERS.

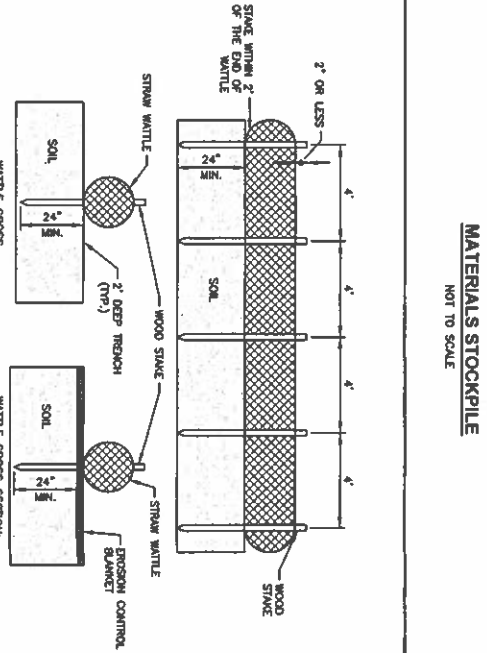


MATERIALS STOCKPILE

NOT TO SCALE

NOTES:

1. STOCKPILE SHALL BE CONSTRUCTED TO BE 2' OR LESS HIGH.
2. STOCKPILE SHALL BE CONSTRUCTED TO BE 2' OR LESS HIGH.
3. STOCKPILE SHALL BE CONSTRUCTED TO BE 2' OR LESS HIGH.
4. STOCKPILE SHALL BE CONSTRUCTED TO BE 2' OR LESS HIGH.

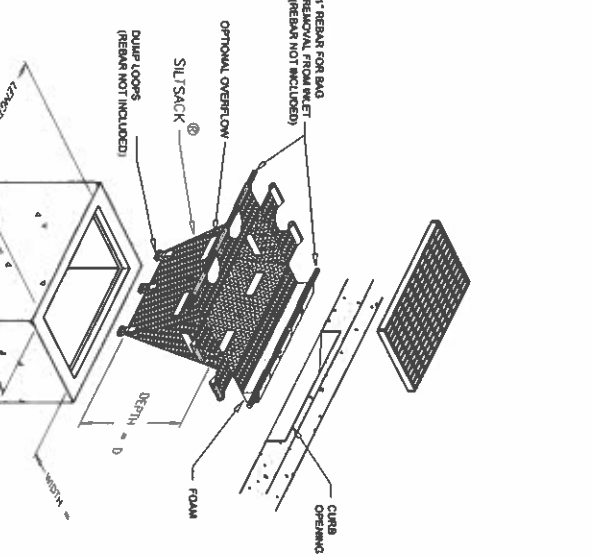


STRAW WATTLE

NOT TO SCALE

NOTES:

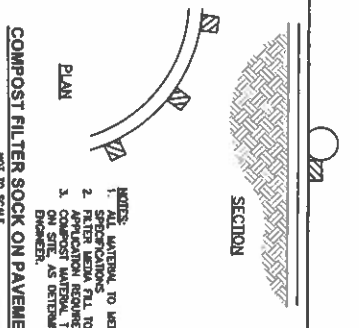
1. DIPS OF WATTLES SHALL BE TURNED SLIGHTLY UP.
2. RECOMMENDED SPACES ARE 1 1/2\"/>



SILT SACK

NOT TO SCALE

INSTALLATION DETAIL

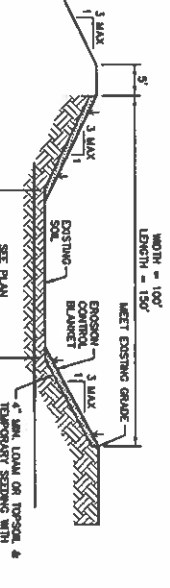


COMPOST FILTER SOCK ON PAVEMENT

NOT TO SCALE

NOTES:

1. SPECIFICATIONS TO MEET FILTER SOCK.
2. FILTER SOCK SHALL BE PLACED ON PAVEMENT.
3. FILTER SOCK SHALL BE PLACED ON PAVEMENT.



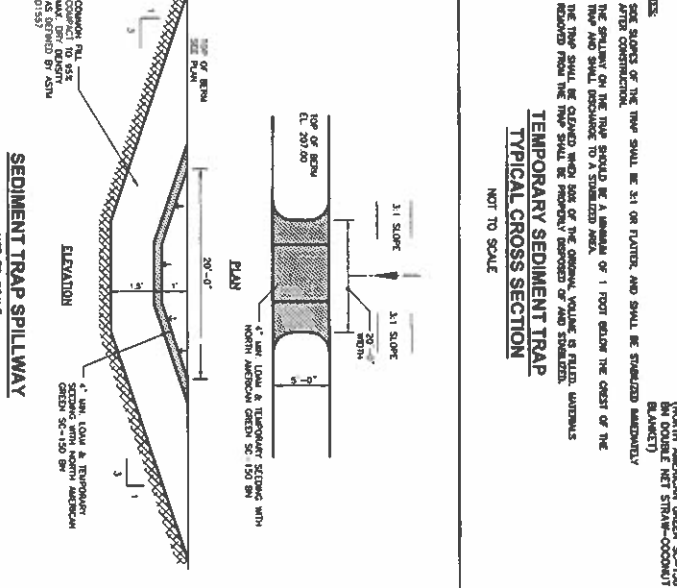
TEMPORARY SEDIMENT TRAP

TYPICAL CROSS SECTION

NOT TO SCALE

NOTES:

1. SEE SLOPES OF THE TRAP SHALL BE 2:1 ON FLAT, AND SHALL BE STABILIZED IMMEDIATELY AFTER CONSTRUCTION.
2. THE SPILLWAY ON THE TRAP SHOULD BE A MINIMUM OF 1 FOOT ABOVE THE CREST OF THE TRAP AND SHALL DISCHARGE TO A STABILIZED AREA.
3. THE TRAP SHALL BE CLEARED WHEN SIZE OF THE CHANNEL, VOLUME OF FLOW, WEATHERS REVERT FROM THE TRAP SHALL BE PROMPTLY REPAIRED AND STABILIZED.

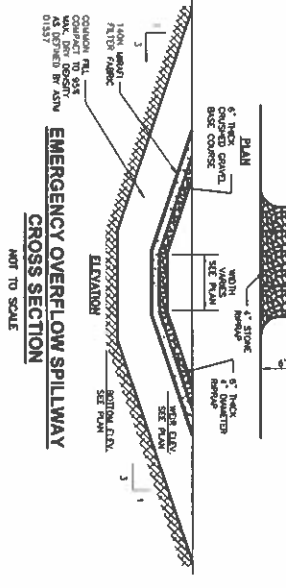


SEDIMENT TRAP SPILLWAY

NOT TO SCALE

NOTES:

1. SEE SLOPES OF THE TRAP SHALL BE 2:1 ON FLAT, AND SHALL BE STABILIZED IMMEDIATELY AFTER CONSTRUCTION.
2. THE SPILLWAY ON THE TRAP SHOULD BE A MINIMUM OF 1 FOOT ABOVE THE CREST OF THE TRAP AND SHALL DISCHARGE TO A STABILIZED AREA.
3. THE TRAP SHALL BE CLEARED WHEN SIZE OF THE CHANNEL, VOLUME OF FLOW, WEATHERS REVERT FROM THE TRAP SHALL BE PROMPTLY REPAIRED AND STABILIZED.



EMERGENCY OVERFLOW SPILLWAY

CROSS SECTION

NOT TO SCALE

GPI Engineers
 Environmental-Professional, Inc.
 44 Sible Road, Suite One
 Salem, NH 03078
 603.893.0738
 GPR-LET-G018

PREPARED FOR
 SOUSA REALTY &
 DEVELOPMENT CORP.
 46 LOWELL ROAD
 HUDSON, NH 03051

ASSESSOR MAP 165 LOT 49

36 CAMPBELLO STREET
HUDSON, NEW HAMPSHIRE

STATE OF NEW HAMPSHIRE
 COURT
 MASON
 NO. 17099
 LICENSED REGISTERED
 11-20-23

NO.	REVISION	DATE
NOVEMBER 20, 2023 <td></td> <td></td>		
NOVEMBER 20, 2023 <td>CHECKED BY DRJ <td></td> </td>	CHECKED BY DRJ <td></td>	
	DRAWN/DESIGN BY CNM <td></td>	

CONSTRUCTION DETAILS

SCALE AS SHOWN

PROJECT NO. NEX-2300191

12 OF 16

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____
 SIGNATURE: _____ DATE: _____
 SIGNATURE: _____ DATE: _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINALS APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

CONSTRUCTION NOTES:

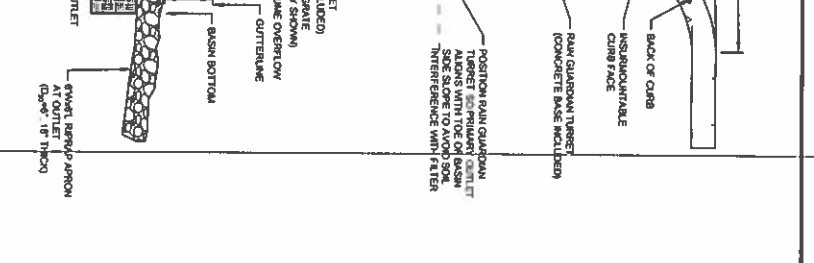
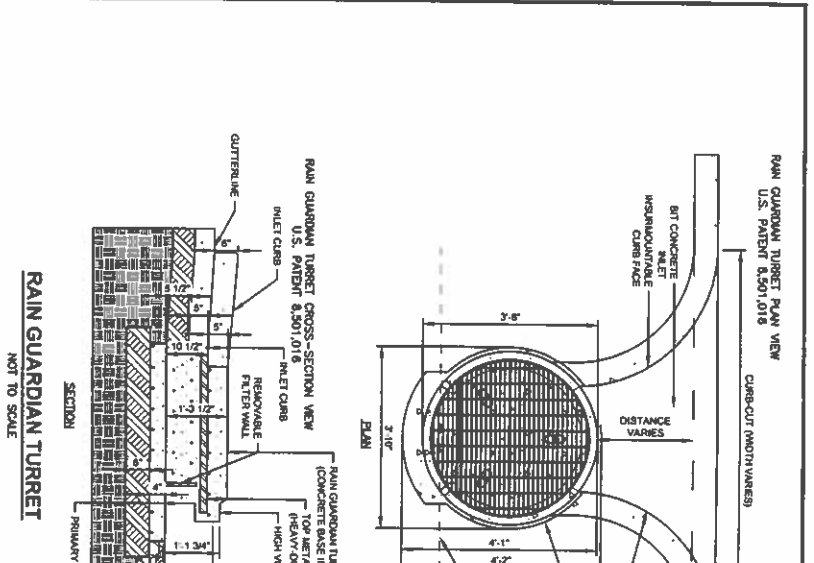
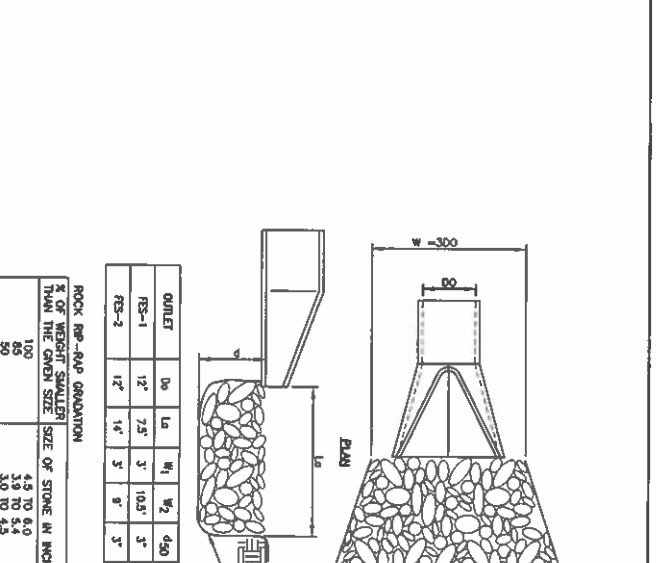
1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RP-APP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. GEOTEXTILE FABRIC SHALL BE PROTECTED FROM PUNCTURE OR Tearing DURING THE PLACEMENT OF THE ROCK RP-APP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA FABRIC SHALL BE REPAIRED TO THE ORIGINAL SPECIFICATION.
3. ALL OVERLAYS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE REPAIRED TO THE ORIGINAL SPECIFICATION.
4. STONE FOR THE RP-APP SHALL BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
5. STONE FOR THE RP-APP SHALL BE PLACED TO THE LINES AND GRADES SHOWN ON THE PLANS. THE PROPOSED THICKNESS SHALL BE SMALLER THAN THE LAYERS SHOWN ON THE PLANS. THE LARGEST STONE SIZE IN THE LAYERS SHALL BE 1.5 (40).

STONE OUTLET APRON
NOT TO SCALE

OUTLET	D ₅₀	L ₅₀	W ₁	W ₂	D ₉₀	d
RES-1	12"	7.5'	3'	10.5'	3"	8"
RES-2	12"	14'	3'	9'	3"	8"

ROCK RP-APP GRANULATION
 PER THE DESIGN SIZE
 SIZE OF STONE IN INCHES

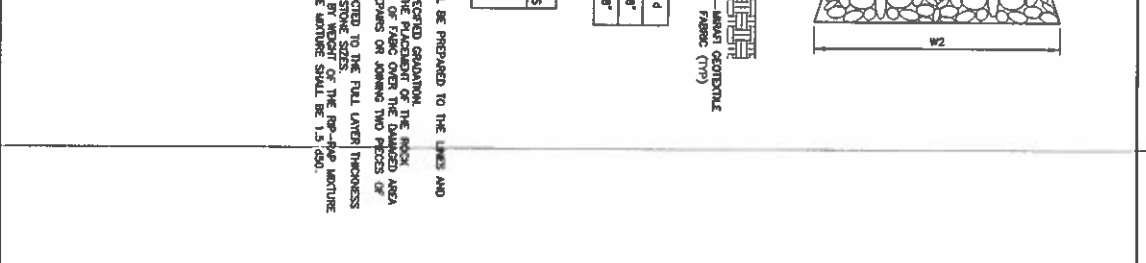
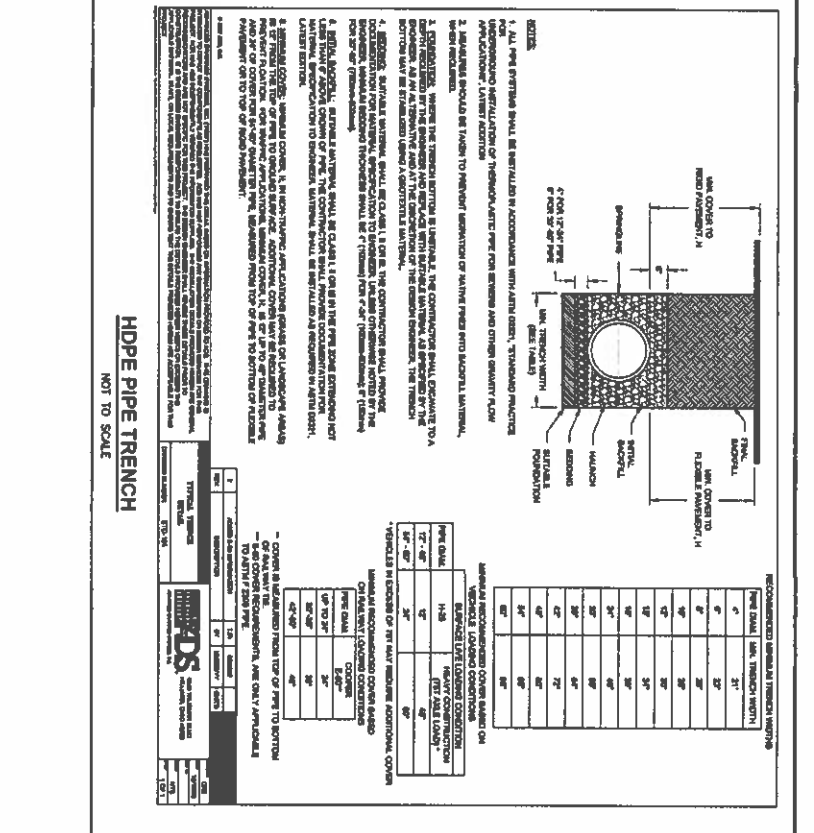
100	4.5 TO 6.0
85	3.0 TO 4.5
50	3.0 TO 4.5
15	0.0 TO 1.5



STORMTECH SC-310 CHAMBER SYSTEM
 TYPICAL CROSS SECTION
 (FOR ROOF RECHARGE)
 NOT TO SCALE

FOR STORMTECH INFORMATION CALL 1-888-892-2894

PIPE DIAMETER	DEPTH (ft)	WIDTH (ft)	LENGTH (ft)	WEIGHT (lb)
12"	12.0	4.5	11.2	28 (730)
15"	15.0	7.5	11.0	32 (812)
18"	18.0	10.5	11.0	45 (1140)
24"	24.0	18.0	11.0	88 (1728)
30"	30.0	24.0	11.0	128 (3200)
36"	36.0	30.0	11.0	176 (4480)



CONSTRUCTION SPECIFICATIONS:

PREPARE BEDDING:
 BACKFILL MATERIAL AROUND THE END SECTION MAY BE THE SAME AS THE MATERIAL AROUND THE PIPE. THE END SECTION OF THE PIPE SHALL BE INSTALLED TO THE ORIGINAL GRADE OR TO THE GRADE SHOWN ON THE PLANS. THE END SECTION OF THE PIPE SHALL BE INSTALLED TO THE ORIGINAL GRADE OR TO THE GRADE SHOWN ON THE PLANS. THE END SECTION OF THE PIPE SHALL BE INSTALLED TO THE ORIGINAL GRADE OR TO THE GRADE SHOWN ON THE PLANS.

FLARED END SECTION:
 PLACE THE END SECTION OF PIPE AND SET IT OVER THE TWO PIPE CONNECTIONS. ONCE THE END SECTION IS IN PLACE, CHECK TO MAKE SURE THAT THE END SECTION MATCHES THE OTHER END OF THE PIPE AND THE TWO PIPE CONNECTIONS. PLACE A WISHER ON EITHER END OF THE PIPE. PLACE A WISHER ON EITHER END OF THE PIPE AND INCHES WITH A WISHER.

StormTech Chambers For Residential Downspout Drainage Systems.

Solve Your Puddle Problems Today!
 Keep your yard free from puddles and pooling during heavy rain storms with StormTech downspout drainage systems. StormTech chambers are designed to collect and divert water away from your property, eliminating waterlogged or slippery frozen water conditions. Constructed of polypropylene plastic, StormTech chambers are lightweight and easy to install. They are available in 12, 18, 24, 30, and 36 inch diameters. StormTech chambers are designed to fit into existing downspouts and can be installed in a variety of locations. StormTech chambers are available in a variety of colors to match your home's exterior.

StormTech Downspout Drainage System.
 StormTech offers three chamber sizes to manage water from downspouts or porous areas. StormTech chambers are designed to collect and divert water away from your property, eliminating waterlogged or slippery frozen water conditions. Constructed of polypropylene plastic, StormTech chambers are lightweight and easy to install. They are available in 12, 18, 24, 30, and 36 inch diameters. StormTech chambers are designed to fit into existing downspouts and can be installed in a variety of locations. StormTech chambers are available in a variety of colors to match your home's exterior.

StormTech Drainage Benefits.
 Installation: StormTech chambers can be installed in a variety of locations and are designed to fit into existing downspouts. StormTech chambers are designed to collect and divert water away from your property, eliminating waterlogged or slippery frozen water conditions. Constructed of polypropylene plastic, StormTech chambers are lightweight and easy to install. They are available in 12, 18, 24, 30, and 36 inch diameters. StormTech chambers are designed to fit into existing downspouts and can be installed in a variety of locations. StormTech chambers are available in a variety of colors to match your home's exterior.

HDPE PIPE TRENCH
NOT TO SCALE

CONSTRUCTION DETAILS

SCALE: AS SHOWN

PROJECT NO: NEX-2300191

13 OF 16

ASSESSOR MAP 165 LOT 49

36 CAMPBELLO STREET
HUDSON, NEW HAMPSHIRE

GPI Engineers
 603.893.0230
 44 Sibley Road, Suite One
 Salem, NH 03079

PREPARED FOR
 SOUSA REALTY &
 DEVELOPMENT CORP.
 46 LOWELL ROAD
 HUDSON, NH 03051

REVISIONS

NO	REVISION	DATE
NOVEMBER 20, 2023	CHECKED BY DRJ	

CONSTRUCTION DETAILS

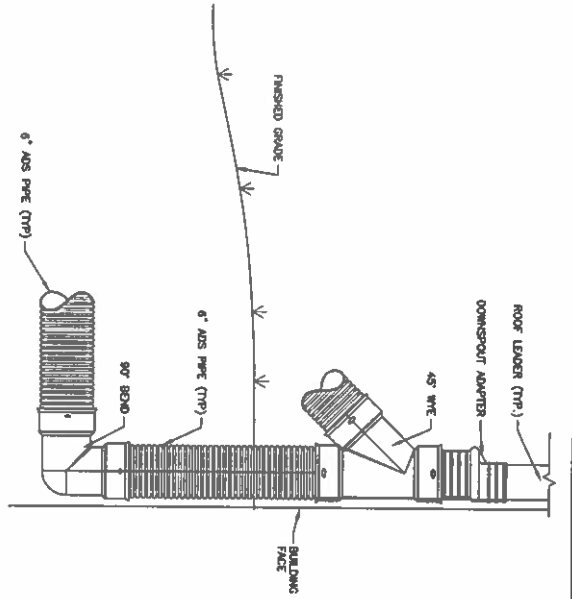
SCALE: AS SHOWN

PROJECT NO: NEX-2300191

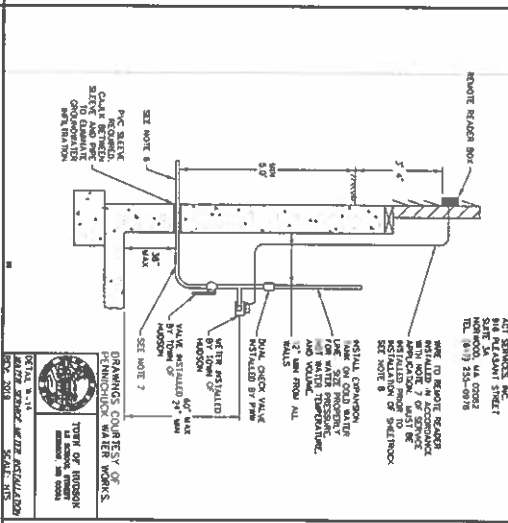
13 OF 16

STATE OF NEW HAMPSHIRE
 CORP. MASON
 No. 17099
 11-20-23

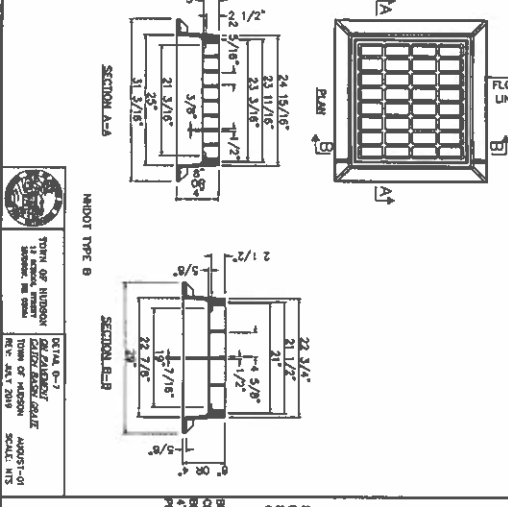
ROOF DRAIN DETAIL WITH OVERFLOW
NOT TO SCALE



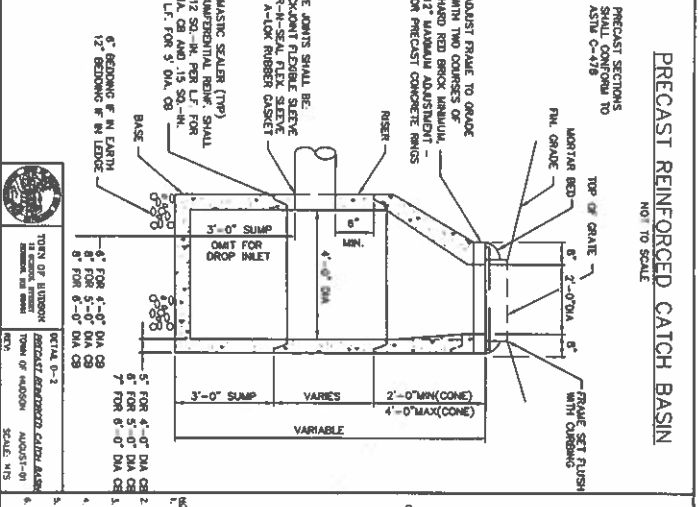
- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES TO BE APPROVED BY TOWN OF HUDSON AND CITY ENGINEER.
 2. SEE SERVICE APPLICATION REQUIREMENTS.
 3. INSTALLATION UNDER ROOFING OR THROUGH ROOFING SHALL BE IN ACCORDANCE WITH THE ROOFING CONTRACTOR'S SPECIFICATIONS.
 4. OWNER MUST PROVIDE A CLEAN, OPEN, ACCESSIBLE, AND UNOBSTRUCTED PATH FOR THE DOWNSPOUT FROM THE LEADER TO THE SERVICE AREA.
 5. OUTSIDE LEADER MUST BE LOCATED AWAY FROM THE SERVICE AREA.
 6. SEE SERVICE APPLICATION REQUIREMENTS FOR THE SERVICE AREA.
 7. PROVIDE A MINIMUM OF 2" OF STURDY COVER OVER THE LEADER AND VENTS. USE 1/2" RIGID POLYURETHANE INSULATION UNDER THE COVER.
 8. PROVIDE A MINIMUM OF 1" OF STURDY COVER OVER THE LEADER AND VENTS. USE 1/2" RIGID POLYURETHANE INSULATION UNDER THE COVER.
 9. PROVIDE A MINIMUM OF 1" OF STURDY COVER OVER THE LEADER AND VENTS. USE 1/2" RIGID POLYURETHANE INSULATION UNDER THE COVER.
 10. PROVIDE A MINIMUM OF 1" OF STURDY COVER OVER THE LEADER AND VENTS. USE 1/2" RIGID POLYURETHANE INSULATION UNDER THE COVER.



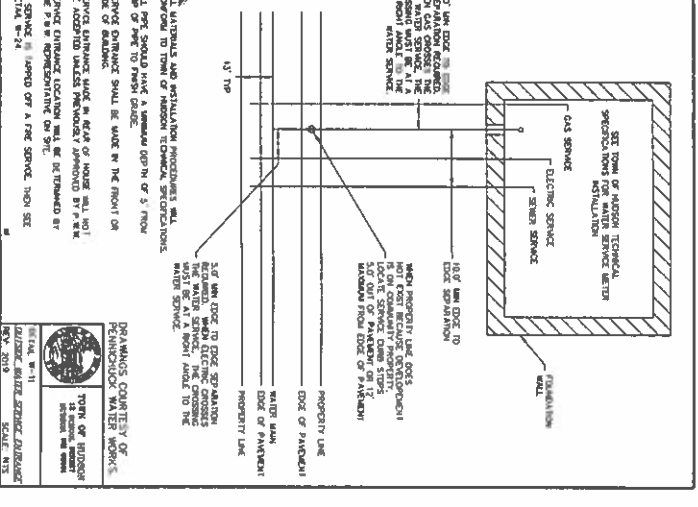
ON PAVEMENT CATCH BASIN GRADE
NOT TO SCALE



PRECAST REINFORCED CATCH BASIN
NOT TO SCALE

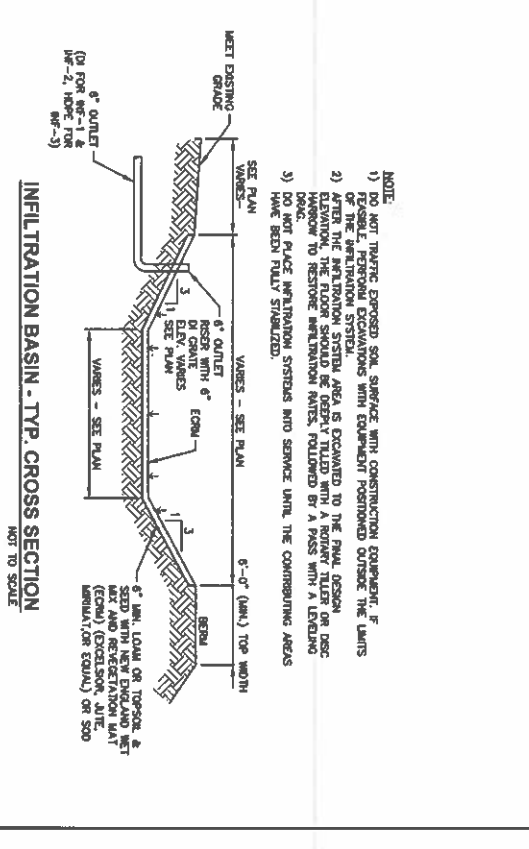
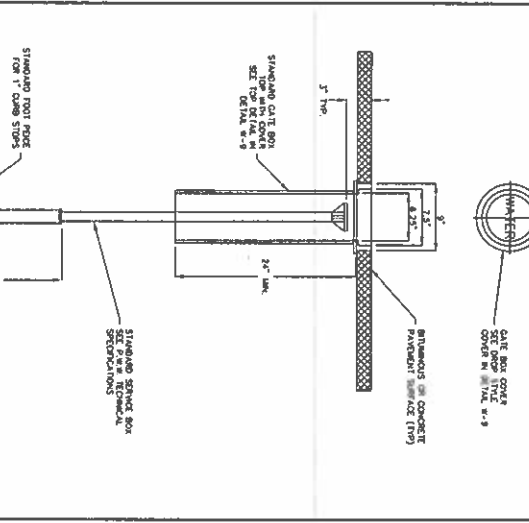


INFILTRATION BASIN - TYP. CROSS SECTION
NOT TO SCALE



Client: Sousa Realty
Project Address: 36 Campello Street, Hudson, NH
Job Number: NEX-2300191
Date: September 28, 2023
Performed by: Dave Farnsworth

Test Pit No.	Depth	Horizon	Soil Texture	Color	Consistence	Standing Water	Layer Description (Gravel, Stones, Fill, etc)
1	36"	A	Loamy Sand	10yr 3/4	Friable	None	Ocean Fine Sandy Loam
2	84"	B	Loamy Sand	10yr 5/6	Friable	None	Loam
3	84"	C	Loamy Sand	2.5y 6/3	Friable	None	None
4	36"	A	Loamy Sand	10yr 3/2	Friable	None	Ocean Fine Sandy Loam
5	84"	B	Loamy Sand	10yr 5/6	Friable	None	Loam
6	84"	C	Loamy Sand	2.5y 6/3	Friable	None	None

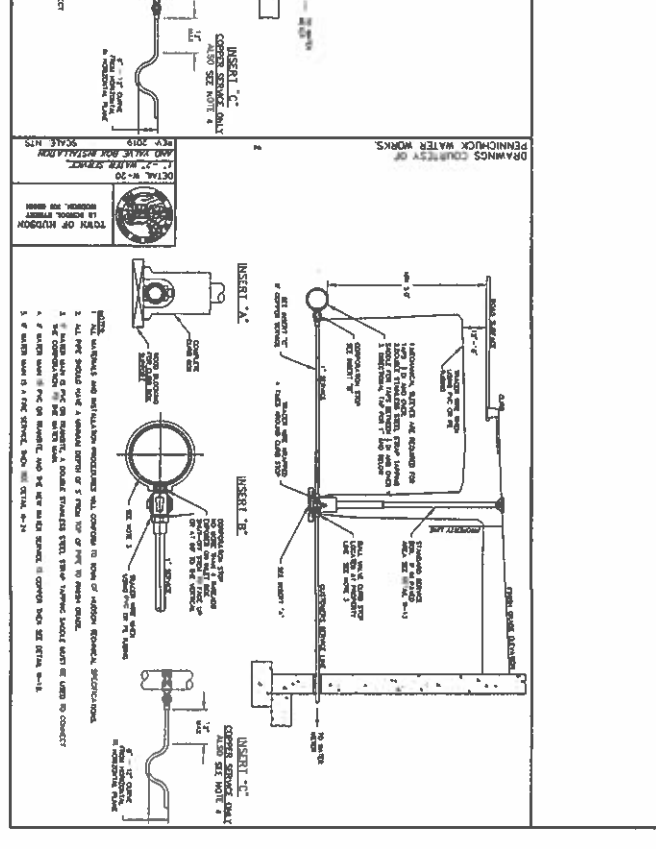
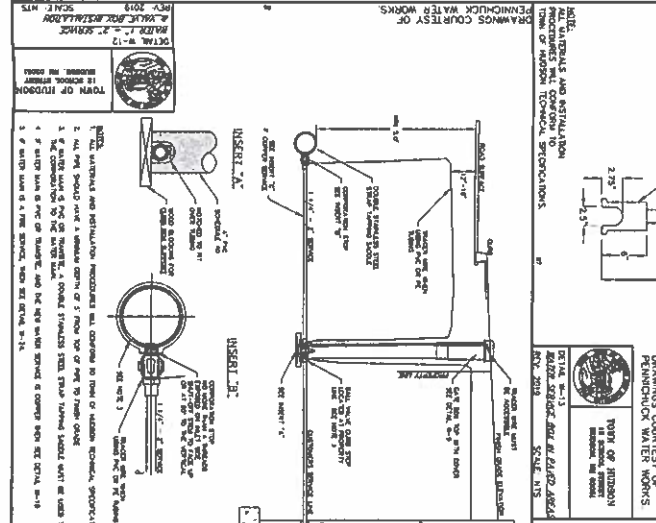


APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE: _____
SIGNATURE: _____
DATE: _____
SIGNATURE: _____

TEST PIT LOGS

Test Pit No.	Depth	Horizon	Soil Texture	Color	Consistence	Standing Water	Layer Description (Gravel, Stones, Fill, etc)
1	36"	A	Loamy Sand	10yr 3/4	Friable	None	Ocean Fine Sandy Loam
2	84"	B	Loamy Sand	10yr 5/6	Friable	None	Loam
3	84"	C	Loamy Sand	2.5y 6/3	Friable	None	None
4	36"	A	Loamy Sand	10yr 3/2	Friable	None	Ocean Fine Sandy Loam
5	84"	B	Loamy Sand	10yr 5/6	Friable	None	Loam
6	84"	C	Loamy Sand	2.5y 6/3	Friable	None	None



GPI Engineering
503.893.0730
Gordon-Pedersen, Inc.
44 Sibley Road, Suite One
Salem, NH 03079

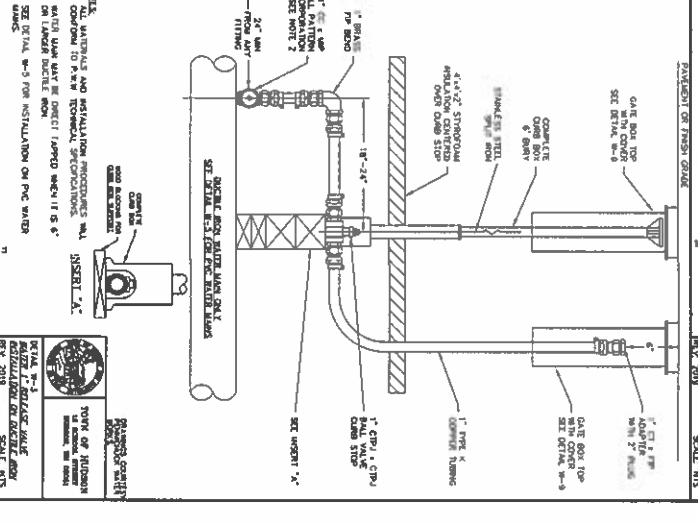
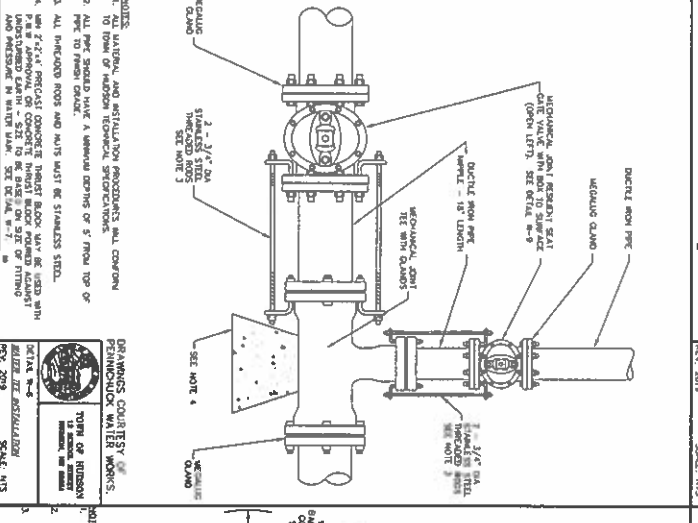
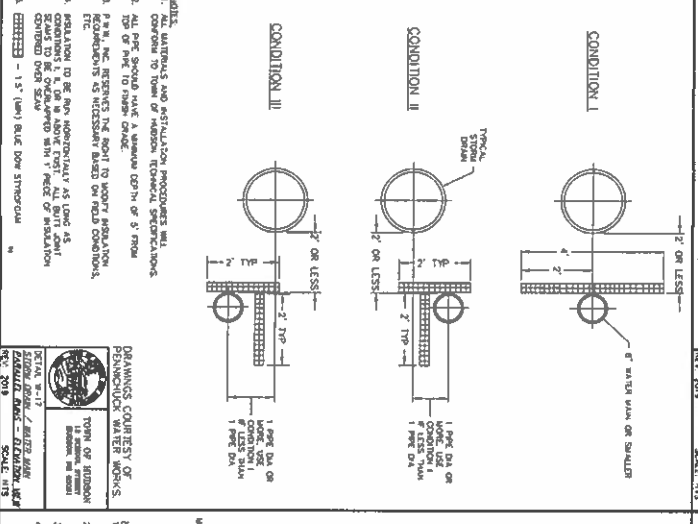
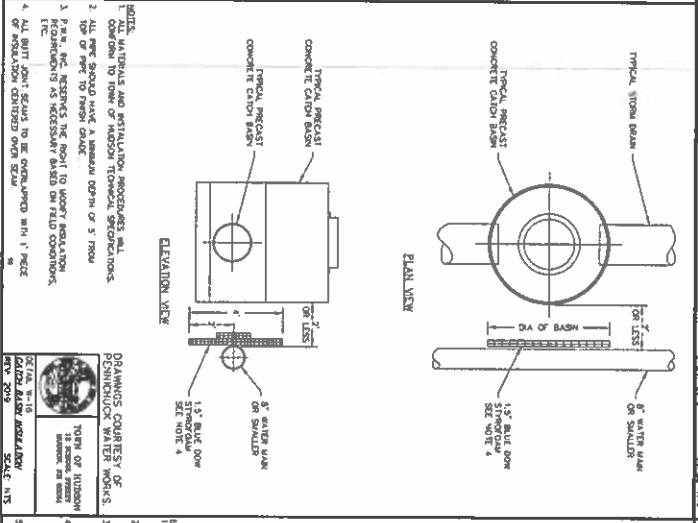
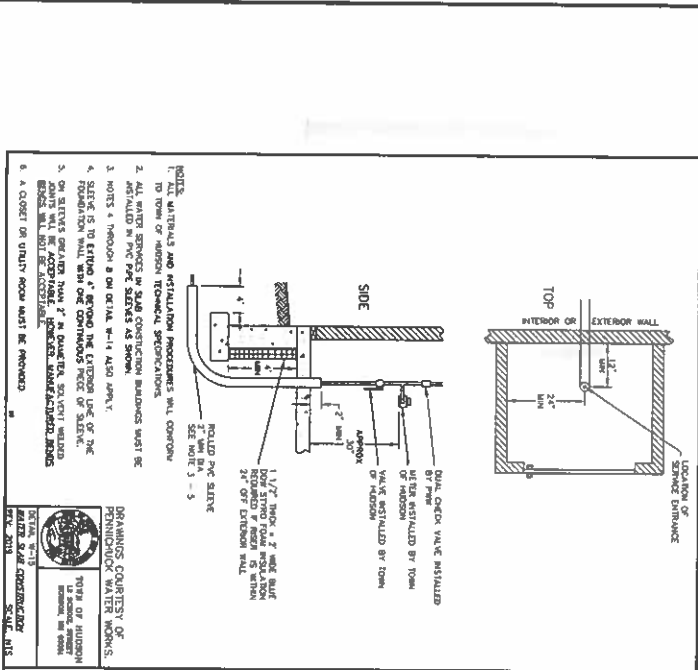
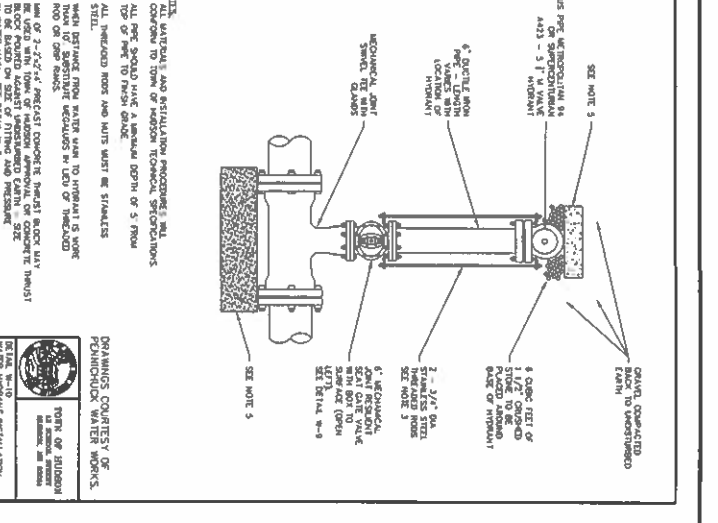
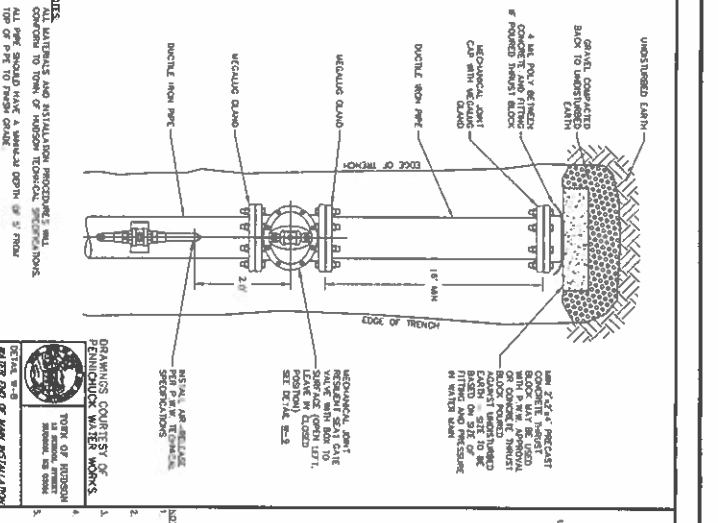
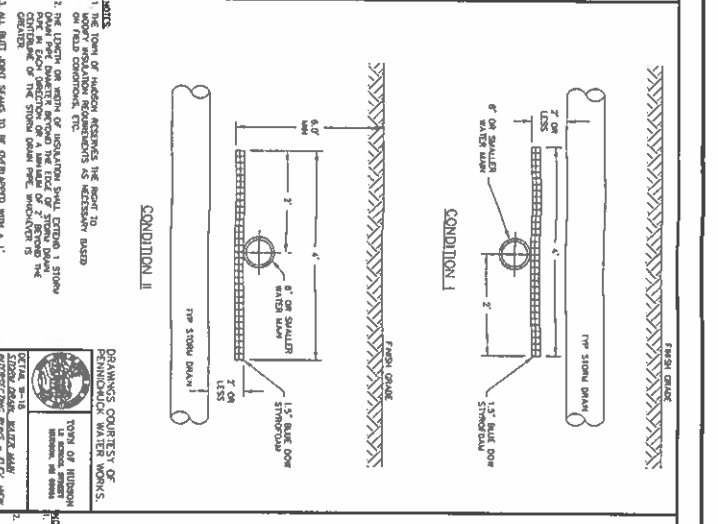
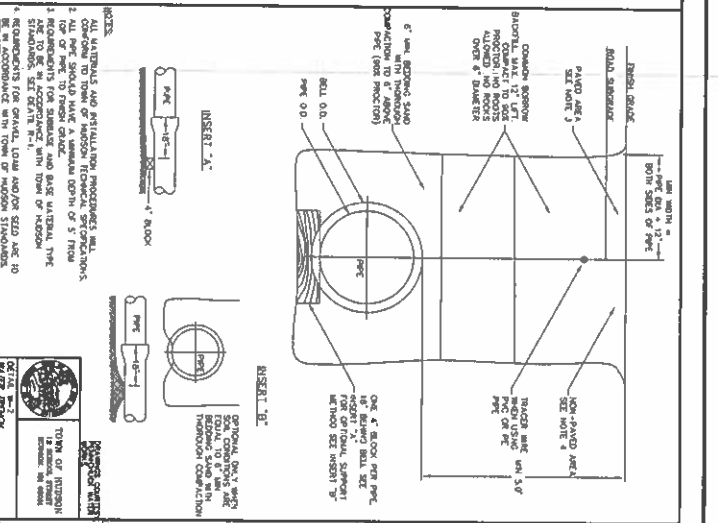
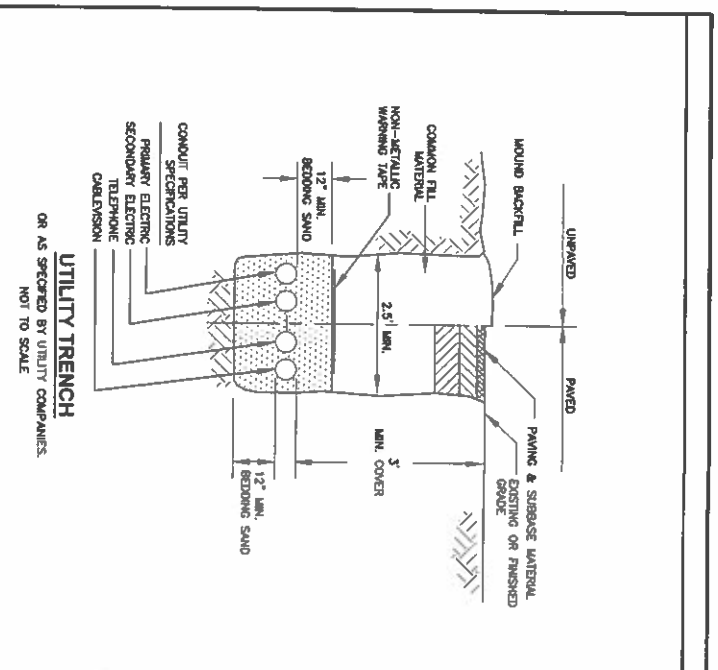
PREPARED FOR
SOUSA REALTY & DEVELOPMENT CORP.
46 LOWELL ROAD
HUDSON, NH 03051

ASSESSOR MAP 165 LOT 49
36 CAMPBELLO STREET
HUDSON, NEW HAMPSHIRE

STATE OF NEW HAMPSHIRE
CORP.
NATHAN
NO. 17039
LICENSED PROFESSIONAL ENGINEER
11-20-23

NO	REVISION	DATE
NOVEMBER 20, 2023 <td></td> <td></td>		
DRAWN/DESIGN BY	CNM	CHECKED BY
		DRJ

CONSTRUCTION DETAILS
SCALE: AS SHOWN
PROJECT NO: NEX-2300191
14 OF 16



APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____ DATE _____

SIGNATURE: _____ DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINALS APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

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GPI Engineering
 603.893.0720
 Greenleaf-Pedersen, Inc.
 44 Sibley Road, Suite One
 Salem, NH 03079

PREPARED FOR
SOSA REALTY & DEVELOPMENT CORP.
 46 LOWELL ROAD
 HUDSON, NH 03051

ASSESSOR MAP 165 LOT 49
36 CAMPBELLO STREET
HUDSON, NEW HAMPSHIRE

REVISIONS

NO	REVISION	DATE
NOVEMBER 20, 2023	CNM	

NOVEMBER 20, 2023
 DRAWN/DESIGN BY: CNM
 CHECKED BY: DRJ

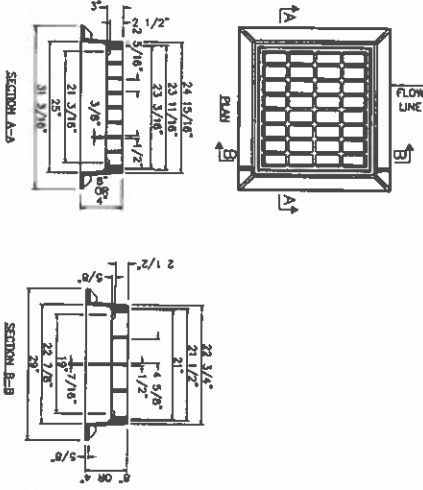
CONSTRUCTION DETAILS

SCALE: AS SHOWN

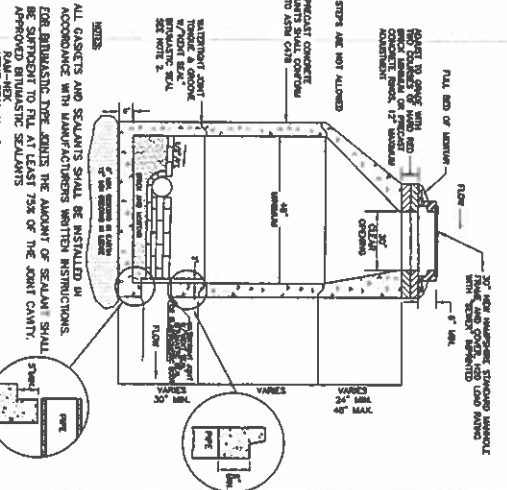
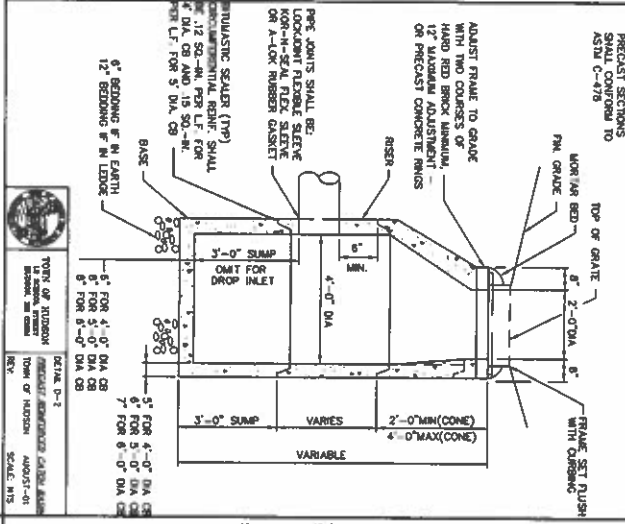
PROJECT NO: NEX-2300191

15 OF 16

**ON PAVEMENT
CATCH BASIN GRATE**
NOT TO SCALE



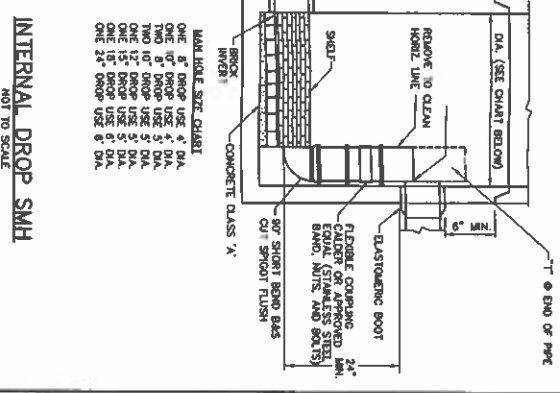
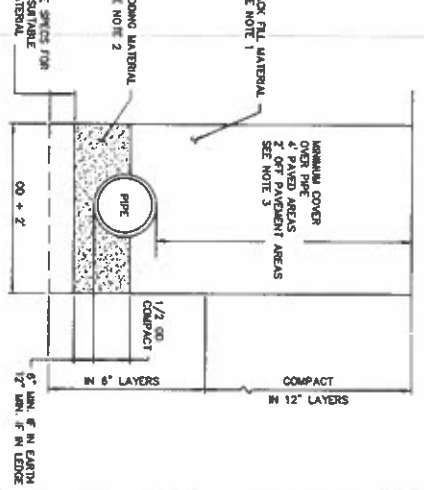
PRECAST REINFORCED CATCH BASIN
NOT TO SCALE



SEWER MANHOLE
NOT TO SCALE

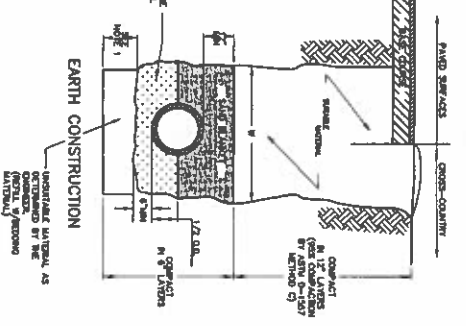
ALL SECTIONS SHALL BE CONFORM TO THE PRECAST REINFORCED CATCH BASIN SPECIFICATIONS. SEE DETAIL S-1 FOR PRECAST REINFORCED CATCH BASIN SPECIFICATIONS. SEE DETAIL S-2 FOR SEWER MANHOLE SPECIFICATIONS. SEE DETAIL S-3 FOR INTERNAL DROP SMH SPECIFICATIONS. SEE DETAIL S-4 FOR SEWER TRENCH SECTION SPECIFICATIONS. SEE DETAIL S-5 FOR BUILDING SERVICE CONNECTION SPECIFICATIONS. SEE DETAIL S-6 FOR SEWER CLEANOUT SPECIFICATIONS. SEE DETAIL S-7 FOR STANDARD DRAINAGE MANHOLE SPECIFICATIONS. SEE DETAIL S-8 FOR STANDARD DRAINAGE MANHOLE PART A SPECIFICATIONS. SEE DETAIL S-9 FOR STANDARD DRAINAGE MANHOLE PART B SPECIFICATIONS.

DRAINAGE TRENCH - RCP
NOT TO SCALE



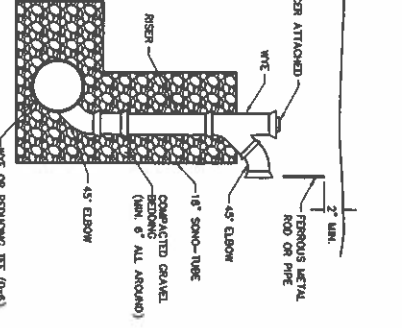
INTERNAL DROP SMH
NOT TO SCALE

ALL SECTIONS SHALL BE CONFORM TO THE PRECAST REINFORCED CATCH BASIN SPECIFICATIONS. SEE DETAIL S-1 FOR PRECAST REINFORCED CATCH BASIN SPECIFICATIONS. SEE DETAIL S-2 FOR SEWER MANHOLE SPECIFICATIONS. SEE DETAIL S-3 FOR INTERNAL DROP SMH SPECIFICATIONS. SEE DETAIL S-4 FOR SEWER TRENCH SECTION SPECIFICATIONS. SEE DETAIL S-5 FOR BUILDING SERVICE CONNECTION SPECIFICATIONS. SEE DETAIL S-6 FOR SEWER CLEANOUT SPECIFICATIONS. SEE DETAIL S-7 FOR STANDARD DRAINAGE MANHOLE SPECIFICATIONS. SEE DETAIL S-8 FOR STANDARD DRAINAGE MANHOLE PART A SPECIFICATIONS. SEE DETAIL S-9 FOR STANDARD DRAINAGE MANHOLE PART B SPECIFICATIONS.



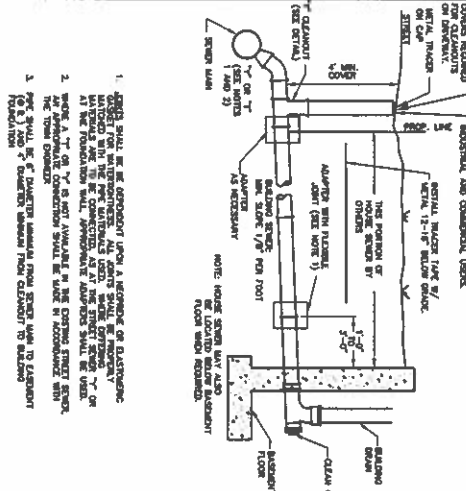
SEWER TRENCH SECTION
NOT TO SCALE

ALL SECTIONS SHALL BE CONFORM TO THE PRECAST REINFORCED CATCH BASIN SPECIFICATIONS. SEE DETAIL S-1 FOR PRECAST REINFORCED CATCH BASIN SPECIFICATIONS. SEE DETAIL S-2 FOR SEWER MANHOLE SPECIFICATIONS. SEE DETAIL S-3 FOR INTERNAL DROP SMH SPECIFICATIONS. SEE DETAIL S-4 FOR SEWER TRENCH SECTION SPECIFICATIONS. SEE DETAIL S-5 FOR BUILDING SERVICE CONNECTION SPECIFICATIONS. SEE DETAIL S-6 FOR SEWER CLEANOUT SPECIFICATIONS. SEE DETAIL S-7 FOR STANDARD DRAINAGE MANHOLE SPECIFICATIONS. SEE DETAIL S-8 FOR STANDARD DRAINAGE MANHOLE PART A SPECIFICATIONS. SEE DETAIL S-9 FOR STANDARD DRAINAGE MANHOLE PART B SPECIFICATIONS.



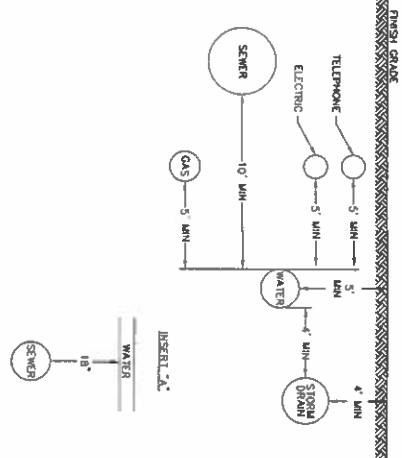
CHIMNEY
NOT TO SCALE

ALL SECTIONS SHALL BE CONFORM TO THE PRECAST REINFORCED CATCH BASIN SPECIFICATIONS. SEE DETAIL S-1 FOR PRECAST REINFORCED CATCH BASIN SPECIFICATIONS. SEE DETAIL S-2 FOR SEWER MANHOLE SPECIFICATIONS. SEE DETAIL S-3 FOR INTERNAL DROP SMH SPECIFICATIONS. SEE DETAIL S-4 FOR SEWER TRENCH SECTION SPECIFICATIONS. SEE DETAIL S-5 FOR BUILDING SERVICE CONNECTION SPECIFICATIONS. SEE DETAIL S-6 FOR SEWER CLEANOUT SPECIFICATIONS. SEE DETAIL S-7 FOR STANDARD DRAINAGE MANHOLE SPECIFICATIONS. SEE DETAIL S-8 FOR STANDARD DRAINAGE MANHOLE PART A SPECIFICATIONS. SEE DETAIL S-9 FOR STANDARD DRAINAGE MANHOLE PART B SPECIFICATIONS.



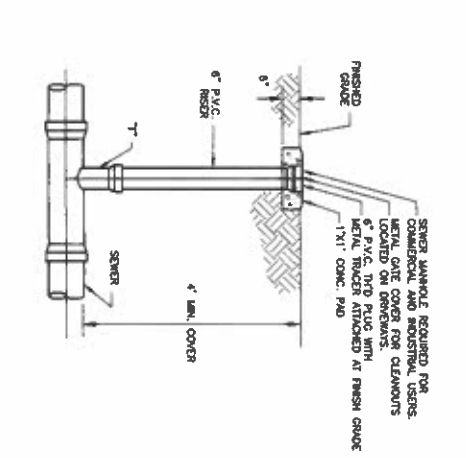
BUILDING SERVICE CONNECTION
NOT TO SCALE

ALL SECTIONS SHALL BE CONFORM TO THE PRECAST REINFORCED CATCH BASIN SPECIFICATIONS. SEE DETAIL S-1 FOR PRECAST REINFORCED CATCH BASIN SPECIFICATIONS. SEE DETAIL S-2 FOR SEWER MANHOLE SPECIFICATIONS. SEE DETAIL S-3 FOR INTERNAL DROP SMH SPECIFICATIONS. SEE DETAIL S-4 FOR SEWER TRENCH SECTION SPECIFICATIONS. SEE DETAIL S-5 FOR BUILDING SERVICE CONNECTION SPECIFICATIONS. SEE DETAIL S-6 FOR SEWER CLEANOUT SPECIFICATIONS. SEE DETAIL S-7 FOR STANDARD DRAINAGE MANHOLE SPECIFICATIONS. SEE DETAIL S-8 FOR STANDARD DRAINAGE MANHOLE PART A SPECIFICATIONS. SEE DETAIL S-9 FOR STANDARD DRAINAGE MANHOLE PART B SPECIFICATIONS.



SEWER CLEANOUT
NOT TO SCALE

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STANDARD DRAINAGE MANHOLE - PART A
NOT TO SCALE

ALL SECTIONS SHALL BE CONFORM TO THE PRECAST REINFORCED CATCH BASIN SPECIFICATIONS. SEE DETAIL S-1 FOR PRECAST REINFORCED CATCH BASIN SPECIFICATIONS. SEE DETAIL S-2 FOR SEWER MANHOLE SPECIFICATIONS. SEE DETAIL S-3 FOR INTERNAL DROP SMH SPECIFICATIONS. SEE DETAIL S-4 FOR SEWER TRENCH SECTION SPECIFICATIONS. SEE DETAIL S-5 FOR BUILDING SERVICE CONNECTION SPECIFICATIONS. SEE DETAIL S-6 FOR SEWER CLEANOUT SPECIFICATIONS. SEE DETAIL S-7 FOR STANDARD DRAINAGE MANHOLE SPECIFICATIONS. SEE DETAIL S-8 FOR STANDARD DRAINAGE MANHOLE PART A SPECIFICATIONS. SEE DETAIL S-9 FOR STANDARD DRAINAGE MANHOLE PART B SPECIFICATIONS.

APPROVED BY THE HUDSON, NH PLANNING BOARD

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINALS APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



KOR-NS-EAL
NOT TO SCALE

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PREPARED FOR
SOUZA REALTY & DEVELOPMENT CORP
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HUDSON, NH 03051

ASSESSOR MAP 165 LOT 49
36 CAMPBELLO STREET
HUDSON, NEW HAMPSHIRE

STATE OF NEW HAMPSHIRE
CORP
MASON
NO. 117099
LICENSED PROFESSIONAL ENGINEER
11-20-23

NO.	REVISION	DATE
1	NOVEMBER 20, 2023	
2	DRAWN/DESIGN BY: DRJ	
3	CHECKED BY:	

CONSTRUCTION DETAILS
SCALE: AS SHOWN
PROJECT NO.: NEX-2300191
16 OF 16