



TOWN OF HUDSON

Conservation Commission



William Collins, Chairman

David Morin, Selectmen Liaison

12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

CONSERVATION COMMISSION MEETING AGENDA July 8, 2024

The Town of Hudson Conservation Commission will hold its next meeting on July 8, 2024 at 7:00 p.m. in the Buxton Meeting Room, located in Town Hall 12 School Street, Hudson, NH.

- ✓ Call to Order
- ✓ Pledge of Allegiance
- ✓ Roll Call
- ✓ Alternates
- ✓ Public Input Related to Non-Agenda Items

I. **New Business:**

- a. Conditional Use Permit Application – Subaru Expansion, 6 Executive Dr., Map 210 Lot 1

II. **Old Business:**

- a. Conditional Use Permit Application – Miara Transportation, 12 Bockes Rd Map 136, Lot 1 post site walk follow up.
- b. Bruce Gilday, Brox Industries Pre-Application Discussion

III. **Other Business:**

- a. Picnic on the Pond Event- Early September
- b. Musquash Bridge Build – July workday
- c. Things to do List for 2024/2025

IV. Financial Status:

Current Report

V. Correspondence

- a. Correspondence a: Email from Bruce Gilday
- b. Correspondence b: Letter from BAG Land Consultants
- c. Correspondence c: C. Darby Eagle Scout Project

VI. Approval of Minutes:

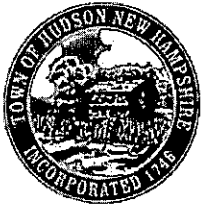
- a. Meeting Minutes – June 10, 2024 and June 20, 2024

VII. Commissioner's Comments:

Next Regular Meeting: Monday August 12, 2024 at 7:00 p.m.

William Collins

William Collins, Chairman



*Town of Hudson
12 School Street
Hudson, NH 03501*

CONDITIONAL USE PERMIT APPLICATION: **WETLAND CONSERVATION OVERLAY DISTRICT**

Revised April 2024

Applications must be received at least 21 days prior to the Planning Board and Conservation Commission meetings at which the application will be heard. *The following information must be filed to each board.*

CONSERVATION COMMISSION:

1. Ten (10) copies of the completed application, including the project narrative that demonstrates that the proposal meets the conditions of Article IX of the Zoning Ordinance.
2. Ten (10) reduced size plan sets *folded* (sheet size: 11" X 17"). Plans require the stamp of a licensed land surveyor and a certified wetlands scientist. At a minimum, plans must show topography and any wetland within fifty (50) feet of the proposed project.

***Complete Application material should be delivered to the Engineering Department (603)886-6008.**

PLANNING BOARD:

1. One (1) copy of the completed application, including the project narrative that demonstrates that the proposal meets the conditions of Article IX of the Zoning Ordinance.
2. One (1) full size plan set *folded* (sheet size: 22" x 34") and fifteen (15) reduced size plan sets *folded* (sheet size: 11" X 17"). Plans require the stamp of a licensed land surveyor and a certified wetlands scientist. At a minimum, plans must show topography and any wetland within fifty (50) feet of the proposed project.
3. A list of direct abutters and indirect abutters, and two (2) sets of mailing labels for abutter notifications.
4. All of the above application materials, including plans, shall also be submitted in electronic form as a PDF.
5. Check should be made payable to the *Town of Hudson*, and submitted to the Planning Department.

***Complete Application material & check should be delivered to the Planning Department (603)886-6008.**

Revised plans and other application materials must be filed with the Planning Department *no later than 10:00A.M., Tuesday ONE WEEK prior to the scheduled meeting, as applicable. The purpose of these materials is hardcopy distribution to Planning Board members, not review.*

Any plan revisions that require staff review must be submitted no later than 10:00A.M., Tuesday TWO WEEKS prior to the scheduled Planning meeting. Depending on the complexity of changes, more time may be required for review. Please contact the Town Planner if you have any questions on this matter.

Note: Prior to filing an application, it is recommended to schedule an appointment with the Town Planner and Town Engineer.

CONDITIONAL USE PERMIT APPLICATION

Date of Application: May 28, 2024 Tax Map #: 210 Lot #: 1

Site Address: 6 Executive Drive

Name of Project: Granite State Subaru Expansion

Zoning District: Business General CUP#: _____
(For Town Use Only)

Z.B.A. Action: _____

PROPERTY OWNER:

Name: Raymond James Granite Prop, LLC

Address: 193 Lowell Road

Address: Hudson, NH 03051

Telephone # _____

Email: jim@granitesubaru.com

PROJECT ENGINEER or SURVEYOR:

Name: Doug MacGuire, PE

Address: 136 Harvey Road Bldg B101

Address: Londonderry, NH 03053

Telephone # 603-458-6462

Email: doug@thedubaygroup.com

DEVELOPER:

same as owner

CERTIFIED WETLANDS SCIENTIST:

Luke Hurley, CWS

PO Box 356

Epsom, NH 03234

603-583-1745

luke@hurleyelp.com

PURPOSE OF PLAN:

To provide additional vehicle storage for Granite Subaru on the adjacent lot.

(For Town Use Only)

Routing Date: _____ Deadline Date: _____ Meeting Date: _____

_____ I have no comments _____ I have comments (attach to form)

_____ Title: _____ Date: _____
(Initials)

Department: _____

Zoning: ____ Engineering: ____ Assessor: ____ Police: ____ Fire: ____ DPW: ____ Consultant: ____

SITE DATA SHEET

PLAN NAME: Granite Subaru Expansion

PLAN TYPE: (Site Plan, Subdivision, or other) Site Plan

LEGAL DESCRIPTION: MAP 210 LOT 1

DATE: 5/28/2024

Location by Street: 6 Executive Drive

Zoning: Business

Proposed Land Use: Commercial

Existing Use: Undeveloped

Total Site Area: S.F.: 101,976 Acres: 2.34

Total Wetland Area (SF): 12,442

Permanent Wetland Impact Area (SF): 4,898

Permanent Wetland Buffer Impact Area (SF): 36,991

Temporary Wetland Impact Area (SF): 0

Temporary Wetland Buffer Impact Area (SF): 0

Flood Zone Reference: 33011C0656D

Proposed Mitigation:

(For Town Use Only)

Data Sheets Checked By: _____ Date: _____

WETLAND CONDITIONAL USE PERMIT CHECKLIST

Yes	No	NA	QUESTIONS/INFORMATION NEEDED	HCC Comments
NARRATIVE REPORT				
Existing Conditions				
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Has a DES Dredge and Fill Permit been issued for any part of this site? If yes, provide number, date, and description.	
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	Is there evidence of altered wetlands or surface waters on site?	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	All prime and other wetlands in the vicinity, plus any wetlands/watersheds past the immediate vicinity affected by this project	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• Description of each wetland and associated values	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Wetland mapping results – Including the flagging date and technique plus the name, company and qualifications of the wetland scientist	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Was property surveyed? If yes, the date of survey. (Please attach the survey plan)	
National Wetland Inventory				
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• Vegetative cover types	
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	• Existence of vernal pools and associated habitat	
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	• Unique geological and cultural features	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	NH Natural Heritage inventory – For list of rare and endangered species, contact the NH Division of Forests and Lands (603)271-3623	
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	• Wildlife and fauna species, including estimated number and locations (large projects)	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	• Public or private wells located within the vicinity	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	• Monitoring well(s) located on site	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• Current land use and zoning district	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Photos of existing area (please use color photos)	
Proposed Project Description				
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Entire project and associated activities	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Time table of project and anticipated phasing	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Land use	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Grading plan	
Impact to Wetlands and/or Buffers				
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	• Depending on size and proposed impacts, a report from a biologist may be appropriate	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Removing, filling, dredging, or altering (Area square ft. and locations)	
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	Intercepting or diverging of ground or surface water (Locations and size)	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• Change in run-off characteristics	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Delineation of drainage area contributing to each discharge point	

Conditional Use Permit Application: Wetlands Conservation Overlay District

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04/2024

Yes	No	NA	Questions/Information Needed	HCC COMMENTS
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Estimated water quality characteristics of runoff at each point of discharge for both pre- and post-development	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Erosion control practices	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<ul style="list-style-type: none"> If using rip-rap, attach documentation explaining why other erosion control methods are not feasible 	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<ul style="list-style-type: none"> How storm water runoff will be handled 	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	If backyards or lots include a buffer area, buffer restriction wording shall be included in each deed (A physical marker may be requested to designate buffer boundaries at site)	

Mitigation

<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Square footage of mitigation – wetland and upland areas	
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	Wetland or upland plants identified to replace any losses	
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<ul style="list-style-type: none"> Restoration plan for planting and vegetation 	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Conservation easements, including location and aesthetic, wildlife and vegetative values	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<ul style="list-style-type: none"> If easement is on or added to the site(s), a copy of the legal document shall be given to the HCC (HCC conservation easement markers may also be required along the easement) 	

CONCEPTUAL SITE PLAN/DRAWING

<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Locus map depicting project site and vicinity within approximately ½ mile and also on a larger scale	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	All prime and other wetlands in the vicinity	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Wetland(s) impacted (identified as prime or other) and the wetland boundaries with 50' buffer areas highlighted in color	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Assessor's sheet(s), lot(s), and property account number(s)	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Existing and proposed structures	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Square footage listed for temporary and permanent impact	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Erosion control plan (Suggested: Biodegradable silt fences so area won't be disturbed again and no hay to avoid invasive species)	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Topographical map with contours	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Storm water treatment swales and basins highlighted in color if in buffer area	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Conservation and utility easements	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Grading plan	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Culvert, arch, bridge - sizes, material, etc.	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Vegetative cover types	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Vernal pools	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Existing and proposed stone walls, tree lines, and unusually large, rare or beautiful trees, and other notable site features	


QUESTIONS TO CONSIDER BEFORE SUBMITTING

- Will the increased discharge cause erosion and channelization?
- Is there potential for off-site flooding?
- Does the decreased infiltration in the drainage area cause vegetation stress due to reduced or increased ground water or surface water discharge into wetland?
- Will the nutrients in the runoff increase eutrophication potential in downstream water bodies?
- Do you own any adjacent parcels or easements for roadways across adjacent parcels which could be used for access to avoid a wetland crossing
- Does a wetland crossing occur where it will result in the least amount of alteration to a wetland?
- Is preservation of upland areas adjacent to the impacted wetland a priority?
- Can using an alternative crossing design such as a bridge, retaining wall, etc. decrease the width or area of wetland alteration?
- Does a proposed road crossing of a wetland exceed the minimum width acceptable to the Planning Board and can this be negotiated downwards?
- Have you established that no reasonable alternative access from a public way to an upland is possible?
- Can the parking lot spaces be decreased?
- Is the roadway designed in such a way that does not restrict the flow of water?
- Is additional information needed to assess water quality impacts due to runoff?
- Is there an increase in other pollutants (e.g., heavy metals, turbidity, coli form) from streets and parking lots?
- Is there a need to restrict or prohibit the use of pesticides and fertilizers?
- Is there a need to restrict the use of roadway salting?

CONDITIONAL USE PERMIT APPLICATION AUTHORIZATION

I hereby apply for *Conditional Use Permit* and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the *Conditional Use Permit* specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Hudson Conservation Commission, the Town Planner, the Town Engineer, and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner:  Date: 5/31/24
Print Name of Owner: JAMES ANGOTTI

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: _____ Date: _____

Print Name of Developer: _____

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The individual in charge of the project must notify the Code Enforcement Officer/Building Inspector within two (2) working days of any change.



The Dubai Group, Inc.
136 Harvey Road, Bldg B101
Londonderry, NH 03053
603-458-6462 thedubaygroup.com

NARRATIVE REPORT

To:	Conservation Committee	Date:	May 31, 2024
From:	Sam Kauh The Dubai Group, Inc.	Re:	Narrative Report Map 210, Lot 1 – Hudson, NH

Existing Conditions

All pertinent information is shown on the Existing Conditions Plan as part of this submittal.

National Wetland Inventory

A printout from the NWI website is included. It was determined by the Wetland Scientist that the on-site wetland is not a vernal pool. A copy of the NHB DataCheck Results Letter is included and no recorded occurrences for sensitive species near this project area were found. The parcel is in the Business District and the current land use is vacant and undeveloped. Photos of the site were taken on February 24, 2022 and are included in this submittal.

Proposed Project Description

The proposed development will accommodate 156 total parking spaces consisting of display spaces and storage spaces. Customer access to this expansion of the Subaru dealership will not be allowed. As you access the site through the existing dealership, the parking lot is graded to a high point where the existing pavement ended as to not add any additional flow to the existing catch basin. The remainder of the access way drainage is directed to a catch basin which ultimately finds its way to the proposed wet pond. The wet pond also collects the remainder of the vehicle storage area drainage as it sheet flows across the pavement at approximately a two percent slope. Drainage exits the pond through a 6" orifice that leads to a 12" hdpe pipe. An overflow spillway also assists in outlet control in the larger storm events.

Construction is anticipated for summer of 2024 and should be completed in approximately 2 months.

Impact to Wetlands and/or Buffers

An impact plan is included showing the square footage of impact to both the wetland and the wetland buffer. Stormwater runoff is directed to the proposed wet pond where it discharges to the wetland as it naturally does now. The wet pond allows for settling of particles and pollutants. The 12" pipe along with the overflow spillway meter the flow exiting the pond as to not inundate the wetland during storm events.



Mitigation

An impact plan is included showing the square footage of impact to both the wetland and the wetland buffer.

Site Plans

A full plan set is included in this submittal.



The State of New Hampshire
Department of Environmental Services

Robert R. Scott, Commissioner



WETLANDS AND NON-SITE SPECIFIC PERMIT 2022-01911

NOTE CONDITIONS

PERMITTEE: GRANITE PROPERTIES LLC
ATTN: RAYMOND JAMES
193 LOWELL RD
HUDSON NH 03051

PROJECT LOCATION: 6 EXECUTIVE DR, HUDSON
TAX MAP #210, LOT #1

WATERBODY: UNNAMED WETLANDS

APPROVAL DATE: SEPTEMBER 25, 2023

EXPIRATION DATE: SEPTEMBER 25, 2028

Based upon review of permit application 2022-01911 in accordance with RSA 482-A and RSA 485-A:17, the New Hampshire Department of Environmental Services (NHDES) hereby issues this Wetlands and Non-Site Specific Permit. To validate this Permit, signatures of the Permittee and the Principal Contractor are required.

PERMIT DESCRIPTION:

Dredge and fill 4,898 square feet within palustrine forested wetlands for parking and stormwater improvements associated with expanding an existing commercial development.

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROJECT-SPECIFIC CONDITIONS:

1. In accordance with Env-Wt 307.16, all work shall be in accordance with the plans dated December 17, 2021, with plan sheets "3" and "4" and the "Wetland Impact Plan" last revised July 13, 2023 by The Dubay Group, Inc. as received by NHDES on August 21, 2023.
2. In accordance with Env-Wt 524.05(a), the permittee shall submit a construction notice with the department at least 48 hours prior to commencing work.
3. In accordance with Env-Wt 307.11(b), limits of fill shall be clearly identified prior to commencement of work and controlled in accordance with Env-Wt 307.03 to ensure that fill does not spill over or erode into any area where filling is not authorized.
4. In accordance with Env-Wt 307.11(a), fill shall be clean sand, gravel, rock, or other material that meets the project's specifications for its use; and does not contain any material that could contaminate surface or groundwater or otherwise adversely affect the ecosystem in which it is used.
5. In accordance with Env-Wt 307.10(f), dredged materials to be stockpiled in uplands shall be dewatered in sedimentation basins that are contained within turbidity controls that prevent turbid water from leaving the basins; and located outside of any jurisdictional area.
6. In accordance with Env-Wt 307.03(c)(1), water quality control measures shall be selected and implemented based on the size and nature of the project and the physical characteristics of the site, including slope, soil type, vegetative cover, and proximity to jurisdictional areas.
7. In accordance with Env-Wt 307.03(c)(5), water quality control measures shall be maintained to ensure continued effectiveness in minimizing erosion and retaining sediment on-site during and after construction.
8. In accordance with Env-Wt 307.11(c), slopes shall be immediately stabilized by a method specified in Env-Wq 1506 or Env-Wq 1508, as applicable, to prevent erosion into adjacent wetlands or surface waters.

www.des.nh.gov

29 Hazen Drive • PO Box 95 • Concord, NH 03302-0095

NHDES Main Line: (603) 271-3503 • Subsurface Fax: (603) 271-6683 • Wetlands Fax: (603) 271-6588

TDD Access: Relay NH 1 (800) 735-2964

9. In accordance with Env-Wt 307.03(e), all exposed soils and other fills shall be permanently stabilized within 3 days following final grading.
10. In accordance with Env-Wt 307.12(c), any seed mix used shall not contain plant species that are exotic aquatic weeds.
11. In accordance with Env-Wt 307.12(d), mulch used within an area being restored shall be natural straw or equivalent non-toxic, non-seed-bearing organic material.
12. In accordance with Env-Wt 307.03(g)(1)-(4), the person in charge of construction equipment shall inspect for leaking fuel, oil, and hydraulic fluid each day, repair any leaks prior to using the equipment in an area where such fluids could reach groundwater, surface waters, or wetlands and maintain oil spill kits and diesel fuel spill kits, as applicable to the type(s) and amount(s) of oil and diesel fuel used, on site.

MONITORING

13. Within 60 days following the completion of the project, a report that describes the stability of wetland systems including a description of any necessary adjustments, shall be submitted to the department, in accordance with Env-Wt 307.18.

THIS PERMIT IS SUBJECT TO THE FOLLOWING GENERAL CONDITIONS:

1. Pursuant to RSA 482-A:12, a copy of this permit shall be posted in a secure manner in a prominent place at the site of the approved project.
2. In accordance with Env-Wt 313.01(a)(5), and as required by RSA 482-A:11, II, work shall not infringe on the property rights or unreasonably affect the value or enjoyment of property of abutting owners.
3. In accordance with Env-Wt 314.01, a standard permit shall be signed by the permittee, and the principal contractor who will build or install the project prior to start of construction, and will not be valid until signed.
4. In accordance with Env-Wt 314.03(a), the permittee shall notify the department in writing at least one week prior to commencing any work under this permit.
5. In accordance with Env-Wt 314.08(a), the permittee shall file a completed notice of completion of work and certificate of compliance with the department within 10 working days of completing the work authorized by this permit.
6. In accordance with Env-Wt 314.06, transfer of this permit to a new owner shall require notification to, and approval of, the NHDES.
7. The permit holder shall ensure that work is done in a way that protects water quality per Env-Wt 307.03; protects fisheries and breeding areas per Env-Wt 307.04; protects against invasive species per Env-Wt 307.05; meets dredging activity conditions in Env-Wt 307.10; and meets filling activity conditions in Env-Wt 307.11.
8. This project has been screened for potential impact to known occurrences of protected species and exemplary natural communities in the immediate area. Since many areas have never been surveyed, or only cursory surveys have been performed, unidentified sensitive species or communities may be present. This permit does not absolve the permittee from due diligence in regard to state, local or federal laws regarding such communities or species. This permit does not authorize in any way the take of threatened or endangered species, as defined by RSA 212-A:2, or of any protected species or exemplary natural communities, as defined in RSA 217-A:3.
9. In accordance with Env-Wt 307.06(a) through (c), no activity shall jeopardize the continued existence of a threatened or endangered species, a species proposed for listing as threatened or endangered, or a designated or proposed critical habitat under the Federal Endangered Species Act, 16 U.S.C. §1531 et seq.; State Endangered Species Conservation Act, RSA 212-A; or New Hampshire Native Plant Protection Act, RSA 217-A.
10. In accordance with Env-Wt 307.02, and in accordance with federal requirements, all work in areas under the jurisdiction of the U.S. Army Corps of Engineers (USACE) shall comply with all conditions of the applicable state general permit.

APPROVED:

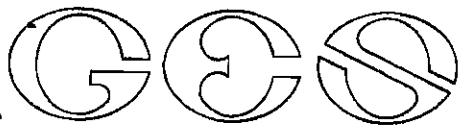


Seta A. Detzel
Wetlands Specialist, Wetlands Bureau
Land Resources Management, Water Division

THE SIGNATURES BELOW ARE REQUIRED TO VALIDATE THIS PERMIT (Env-Wt 314.01).

PERMITTEE SIGNATURE (required)

PRINCIPAL CONTRACTOR SIGNATURE (required)



GOVE ENVIRONMENTAL SERVICES, INC.

January 13, 2022

Sam Kauh, EIT
Project Engineer
The Dubay Group Inc.
136 Harvey Road Bldg B101
Londonderry, NH 03053

Subject: Subaru, Lowell Road, Hudson
Re: Site Assessment

Dear Mr. Kauh:

Per your request, this letter is to verify that Gove Environmental Services, Inc., performed a site inspection to identify wetlands at the above-referenced site. Wetlands were evaluated utilizing the following standards:

1. *US Army Corps of Engineers Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, Technical Report ERDC/EL TR-12-1 (January 2012).*
2. *Field Indicators for Identifying Hydric Soils in New England – Version 4, April 2019.* New England Hydric Soils Technical Committee.
3. *US Army Corps of Engineers National Wetland Plant List, 2018.*
4. *Classification of Wetlands and Deepwater Habitats of the United States.* USFW Manual FWS/OBS-79/31 (1979).

On wetland was delineated on the parcel on October 11, 2020. This wetland is on the eastern portion of the lot adjacent to Lowell Road. This wetland is poorly drained and drains to the southwest under. This wetland is not a vernal pool as water does not stay ponded for long enough during the spring. Dominant vegetation is red maple and American elm in the tree layer, highbush blueberry and winterberry in the shrub layer and cinnamon and sensitive fern in the herbaceous layer.

The main functions and values of this wetland are some flood flow attenuation and sediment/toxicant retention. Because of the small size of the wetland and its proximity to the adjacent developments and road, overall functions and values are low.

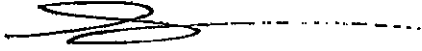
Wetland soils are similar to Walpole poorly drained. The upland is primarily flat in the north and eastern portion of the site and slopes gradually down to the wetland.

8 Continental Dr Unit H, Exeter, NH 03833-7507
Ph (603) 778 0644 / Fax (603) 778 0654
www.gesinc.biz
info@gesinc.biz

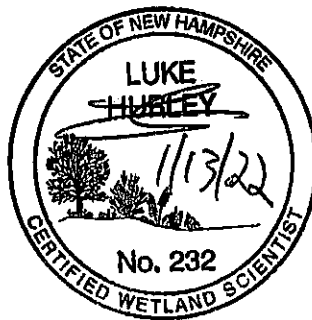
The upland if the site is disturbed by past land use and is a combination of open scrub vegetation and bramble, honeysuckle, and bittersweet, and open mowed grass on the northern side and an existing automobile parking area to the south and east..

Please let me know if you have any questions or need anything else.

Sincerely,



Luke D. Hurley, CWS, CSS
Vice President
Gove Environmental Services, Inc.



New Hampshire Natural Heritage Bureau
NHB DataCheck Results Letter

To: Jacob Doerfler
136 Harvey Rd
Bldg B101
Londonderry, NH 03053

From: NH Natural Heritage Bureau

Date: 2/28/2022 (This letter is valid through 2/28/2023)

Re: Review by NH Natural Heritage Bureau of request dated 2/28/2022

Permit Type: Hudson

NHB ID: NHB22-0844

Applicant: Jacob Doerfler

Location: Hudson
Tax Map: 210, Tax Lot: 1
Address: 6 Executive Drive

Proj. Description: Expansion of parking lot for additional car storage for Granite Subaru. No new buildings.

The NH Natural Heritage database has been checked for records of rare species and exemplary natural communities near the area mapped below. The species considered include those listed as Threatened or Endangered by either the state of New Hampshire or the federal government. We currently have no recorded occurrences for sensitive species near this project area.

A negative result (no record in our database) does not mean that a sensitive species is not present. Our data can only tell you of known occurrences, based on information gathered by qualified biologists and reported to our office. However, many areas have never been surveyed, or have only been surveyed for certain species. An on-site survey would provide better information on what species and communities are indeed present.

Based on the information submitted, no further consultation with the NH Fish and Game Department pursuant to Fis 1004 is required.

New Hampshire Natural Heritage Bureau
NHB DataCheck Results Letter

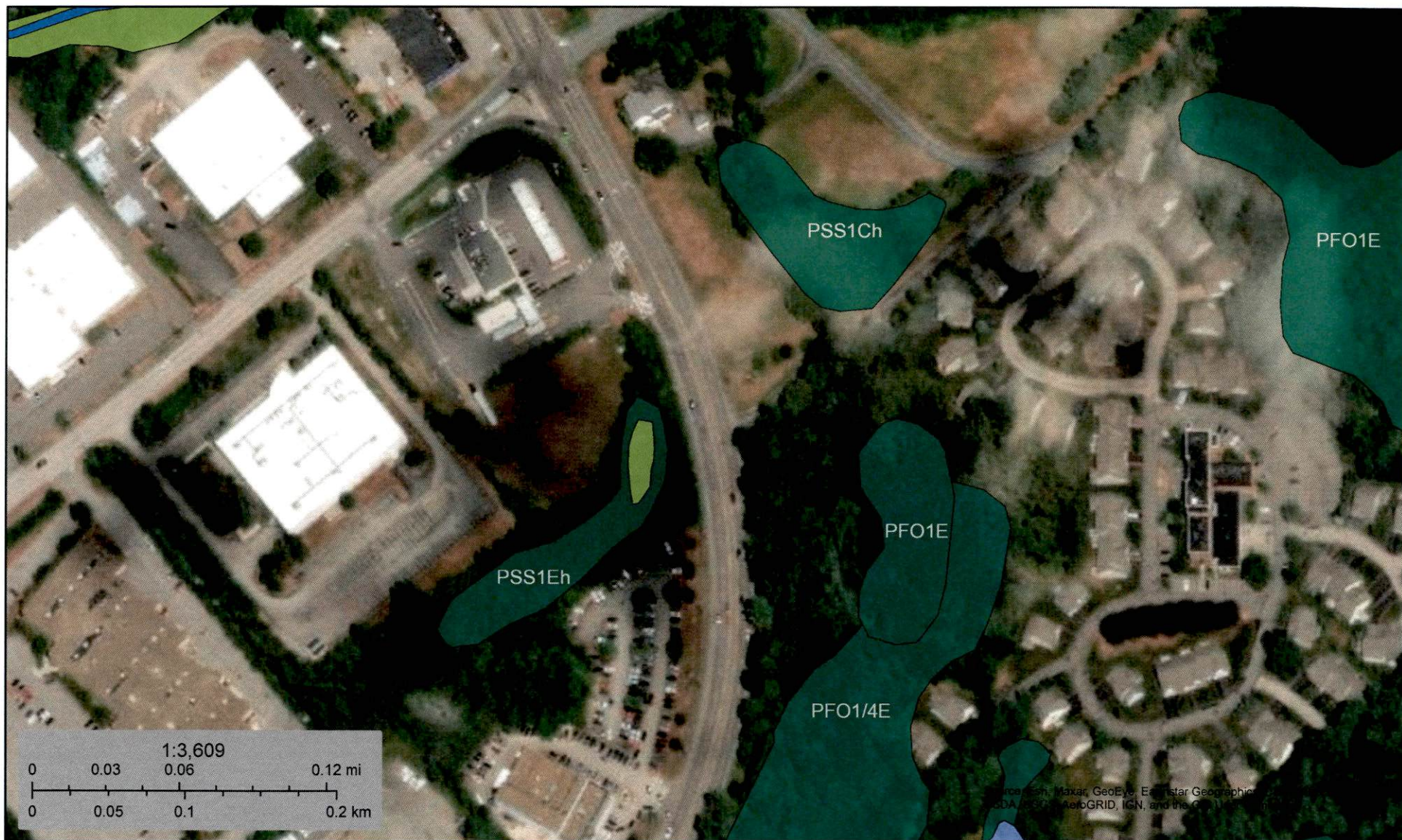
MAP OF PROJECT BOUNDARIES FOR: NHB22-0844





U.S. Fish and Wildlife Service
National Wetlands Inventory

NWI



February 28, 2022

Wetlands

- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland

- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond

- Lake
- Other
- Riverine

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.



Facing west into site.



Facing east into site.



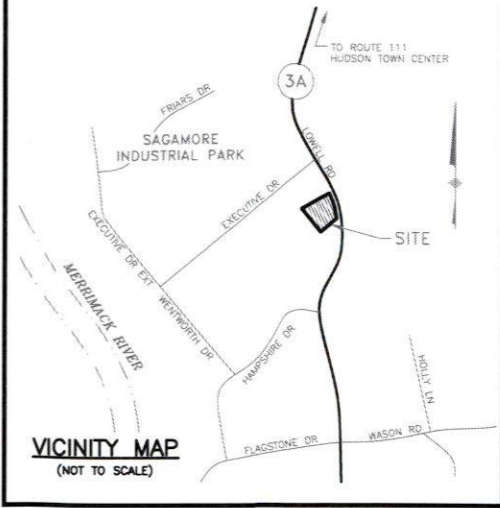
From existing Granite Subaru lot facing north into site where proposed connection is to be.



Facing south. On-site wetland.

GRANITE SUBARU EXPANSION

HUDSON, NEW HAMPSHIRE



The Dubay Group, Inc.
136 Harvey Road Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers

Planners

Surveyors

TheDubayGroup.com



SHEET INDEX

- 1 TITLE SHEET
- 2 EXISTING CONDITIONS PLAN
- 3 SITE PLAN
- 4 GRADING, DRAINAGE, & UTILITY PLAN
- 5-6 LANDSCAPE PLAN
- 7 LIGHTING PLAN
- 8 EROSION CONTROL PLAN
- 9-11 SITE CONSTRUCTION DETAILS

REVISIONS:			
REV:	DATE:	COMMENT:	BY:
1	9/1/22	NHDES COMMENTS	SJK
2	7/13/23	NHDES COMMENTS	SJK
3	4/24/24	TOWN COMMENTS	SJK

DRAWN BY: SJK
CHECKED BY: DGM
DATE: DEC. 17, 2021
SCALE: NONE
FILE: 469-COVER
DEED REF:
H.C.R.D.: BK. 9403 PG. 2706

PROJECT:
**GRANITE SUBARU
EXPANSION**
MAP 210 LOT 1
6 EXECUTIVE DRIVE
HUDSON, NH 03051

FOR
**RAYMOND JAMES
GRANITE PROP LLC**
193 LOWELL RD
HUDSON, NH 03051

SHEET TITLE:
TITLE SHEET

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____

SECRETARY _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

JAMES ANGOTT

OWNER: RAYMOND JAMES GRANITE PROP LLC
193 LOWELL ROAD
HUDSON, NH 03051

8/11/23

DATE

REQUIRED PERMITS:

1) NHDES WETLAND PERMIT

PERMIT #

2022-01911

DATE

9/25/23

N:\PROJECTS\469-Angott-Subaru, Hudson\DWG\CURRENT\469-COVER.dwg

PLAN REFERENCES:

1. SITE PLAN PREPARED FOR YANKEE MOTORS, LOWELL ROAD, HUDSON, NH. SCALE: 1"=20'; DATED SEPTEMBER 1982; PREPARED BY MAYNARD & PAQUETTE, INC.; RECORDED AT THE HILLSBOROUGH COUNTY RECORDS OF DEEDS AS PLAN #15165.
2. NHDOT AS-BUILT CONSTRUCTION PLANS FOR A SECTION OF NH ROUTE 3A/LOWELL ROAD, HUDSON, NH; REFER TO NH PROJECT NO. 13180; REFER TO FEDERAL PROJECT NO. STP-X-258 (002); SCALE: 1"=40'; DATED AUGUST 2001; SEE SHEET NO. 13 & 14 OF 58 TOTAL SHEETS.
3. SUBDIVISION PLAN PREPARED FOR STELLIOS FAMILY INVESTMENT PROPERTIES, ET AL. LOWELL RD, HUDSON, NH; SCALE: 1"=40'; DATED APRIL 2017; PREPARED BY HSI, INC.; RECORDED AT THE HILLSBOROUGH COUNTY RECORDS OF DEEDS AS PLAN #39409.
4. STREET DEDICATION PLAN PREPARED FOR RIVERVIEW INDUSTRIAL PARK ASSOC., EXECUTIVE DRIVE, HUDSON, NH; SCALE: 1"=50' DATED MAY 1987; PREPARED BY ALLAN H. SWANSON, INC.; RECORDED AT THE HILLSBOROUGH COUNTY RECORDS OF DEEDS AS PLAN #22540.
5. RESUBDIVISION & CONSOLIDATION PLAN LOT 10-13 & 10-13-1 PREPARED FOR FROMAN AND STABLE, EXECUTIVE DRIVE & WENTWORTH DRIVE, HUDSON, NH; SCALE: 1"=100' DATED FEBRUARY 1982; PREPARED BY THOMAS F. MORAN INC.; RECORDED AT THE HILLSBOROUGH COUNTY RECORDS OF DEEDS AS PLAN #15646.
6. SITE PLAN PREPARED FOR IRVING OIL MARKETING, INC., EXECUTIVE DRIVE, HUDSON, NH; SCALE: 1"=30' DATED APRIL 2017; PREPARED BY MHF, DESIGN CONSULTANTS INC.; RECORDED AT THE HILLSBOROUGH COUNTY RECORDS OF DEEDS AS PLAN #39503.
7. SUBDIVISION PLAN OF LOT 13-1, MAP 10; PREPARED FOR MOD-TAP; SCALE: 1"=000'; DATED OCTOBER 1988; PREPARED BY 000000; RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS AS PLAN #2861.

NOTES:

1. THE OWNER OF RECORD:
RAYMOND JAMES GRANITE PROP LLC
193 LOWELL RD
HUDSON, NH 03051
BK 9403 PG 2708
2. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS OF MAP 210 LOT 1 BASED ON AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE DURING OCTOBER 2020.
3. HORIZONTAL DATUM IS REFERENCED TO NAD83 (NAD83); VERTICAL DATUM BASED ON NAVD83, PER OBSERVATIONS TAKEN OCTOBER 27, 2020.
4. MAP 210 LOT 1 IS ZONED "B-BUSINESS" DISTRICT PER TOWN OF HUDSON ZONING MAP.
MIN. LOT FRONTAGE: 150FT
MIN. FRONT YARD: 50FT
MIN. SIDE YARD: 15FT
MIN. REAR YARD: 15FT
WETLAND SETBACK: 75FT
5. MAP 210 LOT 1 IS NOT LOCATED WITHIN THE SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33011C06560, WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2009.

WETLAND NOTES

1. WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN OCTOBER 2020, AND FIELD LOCATED BY THIS OFFICE IN OCTOBER 2020.
2. WETLAND DELINEATION WAS PERFORMED TO THE STANDARDS OF THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, (JANUARY, 1987).
3. DOMINANT HYDRIC SOIL CONDITIONS WITHIN THE WETLANDS WERE IDENTIFIED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE CRITERIA OF FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, 2004.
4. DOMINANCE OF WETLAND VEGETATION WAS ASSESSED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: 1988 NORTHEAST (REGION 1) (PORTER B. REED, JR.).

VICINITY MAP

(NOT TO SCALE)



The Dubai Group, Inc.
136 Harvey Road Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers

Planners

Surveyors

TheDubayGroup.com



REV.	DATE	REVISIONS:	BY:
3	4/24/24	TOWN COMMENTS	SJK

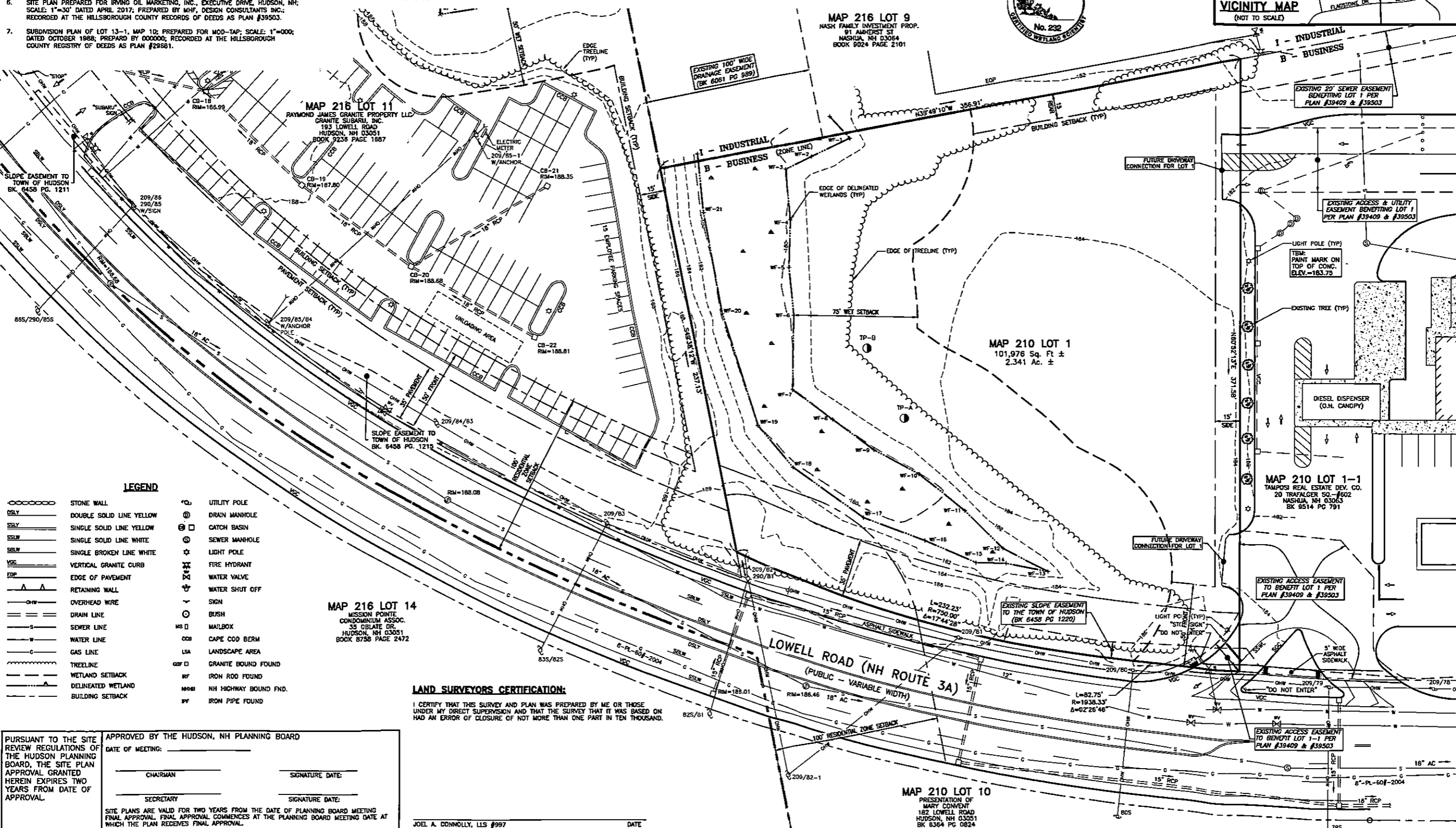
DRAWN BY: TWS
CHECKED BY: JAC
DATE: DEC. 17, 2021
SCALE: 1" = 30'
FILE: 469ws
DEED REF: H.C.R.D.: BK. 9403 PG. 2706

PROJECT:
**GRANITE SUBARU
EXPANSION**
MAP 210 LOT 1
6 EXECUTIVE DRIVE
HUDSON, NH 03051

FOR
**RAYMOND JAMES
GRANITE PROP LLC**
193 LOWELL RD
HUDSON, NH 03051

SHEET TITLE:
**EXISTING
CONDITIONS
PLAN**

PROJECT #469 SHEET 2 of 11



LAND SURVEYORS CERTIFICATION:

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THE SURVEY THAT IT WAS BASED ON HAD AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

JOEL A. CONNOLLY, LIS #997

DATE

NA=PROJECTS\489-Angelini-Susana_Hudson\DWG\CURRENT\489-SITE.dwg

GENERAL NOTES:

OWNER OF RECORD: MAP 210 LOT 1
101,788 SF (2.34 AC)
RAYMOND JAMES GRANITE PROP LLC
193 LOWELL RD
HUDSON, NH 03051

THE PURPOSE OF THIS PLAN IS TO PROVIDE ADDITIONAL VEHICLE STORAGE SPACES AND DISPLAY SPACES (156 SPACES) FOR GRANITE SUBARU ON THE ADJACENT LOT.

1. THE SUBJECT PARCEL 210-1 IS ZONED AS BUSINESS.

2. ALL WORK TO BE DONE IN CONFORMANCE WITH THE TOWN OF HUDSON REGULATIONS. ALL ROADS, STRUCTURES, AND DRAINAGE TO MEET TOWN OF HUDSON SPECIFICATIONS.

3. CURRENT BUSINESS ZONING REQUIREMENTS:

MINIMUM FRONTAGE = 150'
MAXIMUM BUILDING HEIGHT = 38'
FRONT SETBACK = 50'
SIDE SETBACK = 15'
REAR SETBACK = 15'
PAVEMENT SETBACK = 35'

4. ALL GRASS AND LANDSCAPED AREA MAINTENANCE SHALL BE PERFORMED WITH JUDICIOUS USE OF ORGANIC PESTICIDES, HERBICIDES AND FERTILIZERS, ALL OF WHICH SHALL BE APPLIED BY A LICENSED APPLICATOR.

5. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE TOWN OF HUDSON'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.

6. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.

7. SNOW AND ICE CONTROL SHALL BE PERFORMED BY A "GREEN SNO-PRO" CERTIFIED CONTRACTOR FOLLOWING BEST MANAGEMENT PRACTICES FOR THE APPLICATION OF DE-ICING MATERIALS.

8. IN THE EVENT ACCUMULATIONS OF WINTER SNOW VOLUMES EXCEED ON-SITE STORAGE CAPACITIES, EXCESS VOLUMES OF SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A LEGAL DUMPING SITE.

9. CONTRACTOR SHALL MAINTAIN AN EFFECTIVE MEANS OF DUST CONTROL DURING THE CONSTRUCTION PERIOD USING WATER TRUCKS AND SWEEPERS AS DEEMED NECESSARY BY THE TOWN INSPECTOR.

10. THE SITE IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP 33011C0656D WITH EFFECTIVE DATE OF SEPTEMBER 25, 2009.

11. THIS SITE PLAN MEETS THE EPA'S 2016 MS4 REQUIREMENTS.

12. THE DEVELOPMENT AGREEMENT WILL BE SIGNED BY THE OWNER AND BE ON FILE AT THE HUDSON PLANNING DEPARTMENT AND SHALL ALSO BE RECORDED.

13. ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD PRIOR TO INSTALLATION THEREOF.

14. OPEN SPACE REQUIRED: 35%
PROVIDED 37% (COMPLIES)

15. SITE LIGHTING HOURS TO BE CONSISTENT WITH EXISTING DEALERSHIP LOT DURING EVENING.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN

SIGNATURE DATE: _____

SECRETARY

SIGNATURE DATE: _____

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MAP 216 LOT 14
MISSION POINTE
CONDOMINIUM ASSOC.
35 OBLATE DR
HUDSON, NH 03051
BOOK 8758 PAGE 2472

MAP 216 LOT 9
NASH FAMILY INVESTMENT PROP.
91 AMHERST ST
NASHUA, NH 03064
BOOK 9024 PAGE 2101

MAP 210 LOT 1-1
TAMPOSI REAL ESTATE DEV. CO.
20 TRAFALGER SQ. #602
NASHUA, NH 03063
BK 9514 PG 791

MAP 210 LOT 10
PRESENTATION OF
MARY CONVENT
182 LOWELL ROAD
HUDSON, NH 03051
BK 6364 PG 0824



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Londonderry, NH 03053
603-458-6462

Engineers

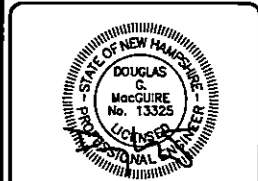
Planners

Surveyors

TheDubayGroup.com



1 INCH = 30 FEET



REVISIONS:

REV.	DATE	COMMENT	BY
1	9/1/22	NHDES COMMENTS	SJK
2	7/13/23	NHDES COMMENTS	SJK
3	4/24/24	TOWN COMMENTS	SJK

DRAWN BY: SJK
CHECKED BY: DGM
DATE: DEC. 17, 2021
SCALE: 1"=30'
FILE: 469-SITE
DEED REF: H.C.R.D.: BK. 9403 PG. 2706

PROJECT:

GRANITE SUBARU
EXPANSION
MAP 210 LOT 1
6 EXECUTIVE DRIVE
HUDSON, NH 03051

FOR

RAYMOND JAMES
GRANITE PROP LLC
193 LOWELL RD
HUDSON, NH 03051

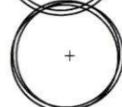
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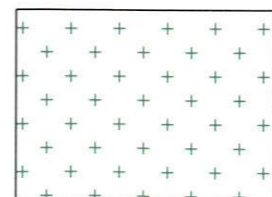
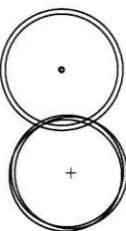
SITE PLAN



PROJECT #469 SHEET 3 of 11

1. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL EXISTING AND NEWLY INSTALLED UTILITIES AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS.
2. WHEREVER POSSIBLE EXISTING TREES SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION. DISTURBED SIDE SLOPES SHALL BE ALLOWED TO NATURALLY VEGETATE TO SUSTAIN EXISTING WILDLIFE AND PLANT LIFE.
3. THE PROPOSED DECIDUOUS TREES SHALL BE A MIN. 2" CALIPER @ 4' ABOVE GRADE. WITH EVERGREENS AT 6" HT.
4. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED WITH A MINIMUM OF 6" SUITABLE LOAM, EXCEPT UNDER THE MULCH BEDS. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. (SEE PLANS BY ENGINEER)
5. PLANTS SHALL NOT BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA OF THE PLANTING.
6. ALL TREES SHALL BE BALLED AND BURLAP UNLESS OTHERWISE NOTED.
7. ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
8. WHERE APPLICABLE THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
9. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES; DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
10. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
11. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
12. INsofar AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
13. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI 260 (REV. 1996) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
14. ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
15. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
16. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH WILT-FRUF OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
17. NO PLANT, SHALL BE PLANTED LESS THAN SIX FEET FROM EXISTING STRUCTURES.
18. SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
19. ALL PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
20. NO SOIL CONTAINING ANY LIVING OR VIABLE PORTION OF PLANTS ON THE NEW HAMPSHIRE PROHIBITED INVASIVE SPECIES LIST (AGR TABLE 3000) SHALL BE TRANSPORTED TO OR FROM CONSTRUCTION SITES WITHOUT NOTIFICATION AND APPROVAL FROM THE NEW HAMPSHIRE DEPT. OF AGRICULTURE PER RSA 430:55.

	BOTANICAL NAME / COMMON NAME	SIZE & REMARKS	MATURE HT.	MATURE WIDTH
DECIDUOUS SHADE TREE				
	5 ACER SACCHARUM 'COMMEMORATION' / COMMEMORATION SUGAR MAPLE	2" CAL. @ 4' ABOVE GRADE) B4B	40'-60'	30'-40'
	5 GLEDITSIA T.L. 'HALKA' / HALKA HONEYLOCUST	2" CAL. @ 4' ABOVE GRADE) B4B	30'-40'	30'-40'
	70 TAXUS MEDIA 'EVER-LOW' / EVER-LOW YEW	5 GAL.	2'	5'-6'
	12 THUJA PLICATA 'GREEN GIANT' / ARBORVITAE, GREEN GIANT	6" HT. B4B	30'-40'	15'-20'
	19 JUNIPERUS CHINENSIS 'SEAGREEN' / SEAGREEN JUNIPER	30" B4B	5'-6'	4'-5'
	8 VIBURNUM DENTANUM / ARROWWOOD VIBURNUM	4" HT. B4B	8'-10'	8'-10'
	15 VACCINIUM CORYMBOSUM / HIGH BUSH BLUEBERRY	4" HT. B4B	8'-10'	8'-10'
	18 ILEX VERTICILLATA 'RED SPRITE' / RED SPRITE WINTERBERRY	3 GAL.	3'-4'	3'-4'



SEED DETENTION POND WITH ERNST NATIVE DETENTION AREA MIX -ITEM NUMBER: ERNMX-183
MIX COMPOSITION 26.0% PANICUM CLANDESTINUM, TIOGA (DEERTONGUE, TIOGA), 25.0% PANICUM VIRGATUM, 'SHELTER' (SWITCHGRASS, 'SHELTER'), 20.0% CAREX VULPINOIDEA, PA ECOTYPE (FOX SEDGE, PA ECOTYPE), 20.0% ELYMUS VIRGINICUS, 'MADISON' (VIRGINIA WILDRYE, 'MADISON') 4.0% AGROSTIS PERENNANS, ALBANY PINE BUSH-NY ECOTYPE (AUTUMN BENTGRASS, ALBANY PINE BUSH-NY ECOTYPE), 3.0% JUNCUS EFFUSUS (SOFT RUSH), 1.0% JUNCUS TENUIS, PA ECOTYPE (PATH RUSH, PA ECOTYPE), 1.0% PANICUM RIGIDULUM, PA ECOTYPE (REDTOP PANICGRASS, PA ECOTYPE)
SEEDING RATE: 20 LB PER ACRE, OR 1/2 LB PER 1,000 SQ FT
MAINTENANCE: ONCE A YEAR, IN LATE FALL WHEN ALL FLOWERS HAVE RIPENED AND DROPPED THEIR SEEDS MOW THE DETENTION/RETENTION AREAS. ONCE-A-YEAR MOWING WILL REMOVE TREE AND BRUSH SEEDLINGS, IF LEFT UN-MOWED, TREES AND BRUSH WILL EVENTUALLY TAKE OVER.



136 Harvey Road Bldg B101
Londonderry, NH 03053
603-458-6462

TheDubayGroup.com

[illegible]

DRAWN BY: REK
CHECKED BY: DGM
DATE: DEC. 17, 2021
SCALE: 1"=30'
FILE: 469-LANDSCAPE
DEED REF:
H.C.R.D.: BK. 9403 PG. 2706

PROJECT:

**GRANITE SUBARU
EXPANSION**
MAP 210 LOT 1
6 EXECUTIVE DRIVE
HUDSON, NH 03051

FO

**RAYMOND JAMES
GRANITE PROP LLC**
193 LOWELL RD
HUDSON, NH 03051

SHEET TITLE:

LANDSCAPE PLAN

PROJECT #469 SHEET 5 of 11

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING:

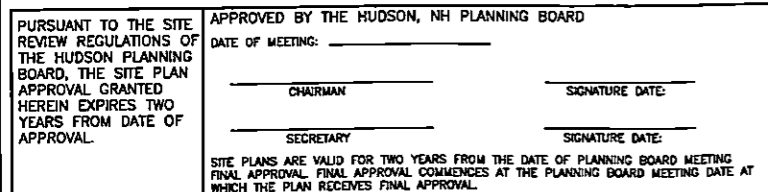
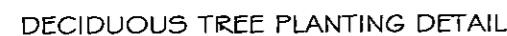
CHAIRMAN

SIGNATURE DATE:

SECRETARY

SIGNATURE DATE:

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING
FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT
WHICH THE PLAN RECEIVES FINAL APPROVAL.



E Methods for Disposing Non-Native Invasive Plants

Invasive plants grow well even in less than desirable conditions such as sandy soils along roadsides, shaded wooded areas, and in wetlands. In ideal conditions, they grow and spread even faster. There are many ways to remove these non-native invasives, but once removed, care is needed to dispose the removed plant material so the plants don't grow where disposed.



USDA-NRCS PLANTS Database / Britton, N.L., and A. Brown. 1913. *An illustrated flora of the northern United States, Canada and the British Possessions*. Vol. 3: 282.

Because movement and disposal of viable plant parts is restricted (see NH Regulations), viable invasive parts can't be brought to most transfer stations in the state. Check with your transfer station to see if there is an approved, designated area for invasives disposal. This fact sheet gives recommendations for rendering plant parts non-viable.

Control of invasives is beyond the scope of this fact sheet. For information about control visit www.nhinvasives.org or contact your UNH Cooperative Extension office.

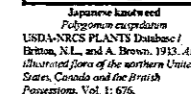
Suggested Disposal Methods for Non-Native Invasive Plants

This table provides information concerning the disposal of removed invasive plant material. If the infestation is treated with herbicide and left in place, these guidelines don't apply. Don't bring invasives to a local transfer station, unless there is a designated area for their disposal, or they have been rendered non-viable. This listing includes wetland and upland plants from the New Hampshire Prohibited Invasive Species List. The disposal of aquatic plants isn't addressed.

Woody Plants	Method of Reproducing	Methods of Disposal
Norway maple <i>(Acer platanoides)</i> European barberry <i>(Berberis vulgaris)</i> Japanese barberry <i>(Berberis thunbergii)</i> autumn olive <i>(Elaeagnus umbellata)</i> burning bush <i>(Euonymus alatus)</i> Morrow's honeysuckle <i>(Lonicera morrowii)</i> Tatarian honeysuckle <i>(Lonicera tatarica)</i> showy bush honeysuckle <i>(Lonicera x bella)</i> common buckthorn <i>(Rhamnus cathartica)</i> glossy buckthorn <i>(Frangula alnus)</i>	Fruit and Seeds 	Prior to fruit/seed ripening Seedlings and small plants <ul style="list-style-type: none"> ▪ Pull or cut and leave on site with roots exposed. No special care needed. Larger plants <ul style="list-style-type: none"> ▪ Use as firewood. ▪ Make a brush pile. ▪ Chip. ▪ Burn.
oriental bittersweet <i>(Celastrus orbiculatus)</i> multiflora rose <i>(Rosa multiflora)</i>	Fruits, Seeds, Plant Fragments 	Prior to fruit/seed ripening Seedlings and small plants <ul style="list-style-type: none"> ▪ Pull or cut and leave on site with roots exposed. No special care needed. Larger plants <ul style="list-style-type: none"> ▪ Make a brush pile. ▪ Burn.
		After fruit/seed is ripe Don't remove from site. <ul style="list-style-type: none"> ▪ Burn. ▪ Make a covered brush pile. ▪ Chip – only after material has fully dried (1 year) and all fruit has dropped from branches. Leave resulting chips on site and monitor.

How and When to Dispose of Invasives?

To prevent seed from spreading remove invasive plants before seeds are set (produced). Some plants continue to grow, flower and set seed even after pulling or cutting. Seeds can remain viable in the ground for many years. If the plant has flowers or cuttings, place the flowers and seeds in a heavy plastic bag "head first" at the weeding site and transport to the disposal site. The following are general descriptions of disposal methods. See the chart for recommendations by species.



Bagging (solarization): Use this technique with soft-tissue plants. Use heavy black or clear plastic bags (contractor grade), making sure that no parts of the plants poke through. Allow the bags to sit in the sun for several weeks and on dark pavement for the best effect.

Tarping and Drying: Pile material on a sheet of plastic and cover with a tarp, fastening the tarp to the ground and monitoring it for escapes. Let the material dry for several weeks, or until it is clearly nonviable.


Chipping: Use this method for woody plants that don't reproduce vegetatively.

Burying: This is risky, but can be done with watchful diligence. Lay thick plastic in a deep pit before placing the cut up plant material in the hole. Place the material away from the edge of the plastic before covering it with more heavy plastic. Eliminate as much air as possible and toss in soil to weigh down the material in the pit. Note that the top of the buried material should be at least three feet underground. Japanese knotweed should be at least 5 feet underground!

Drowning: Fill a large barrel with water and place soft-tissue plants in the water. Check after a few weeks and look for rotted plant material (roots, stems, leaves, flowers). Well-rotted plant material may be composted. A word of caution—seeds may still be viable after using this method. Do this before seeds are set. This method isn't used often. Be prepared for an awful stink!

Composting: Invasive plants can take root in compost. Don't compost any invasives unless you know there is no viable (living) plant material left. Use one of the above techniques (bagging, tarping, drying, chipping, or drowning) to render the plants nonviable before composting. Closely examine the plant before composting and avoid composting seeds.

Be diligent looking for seedlings for years in areas where removal and disposal took place.

Non-Weedy Plants	Method of Reproducing	Methods of Disposal
<p>garlic mustard (<i>Alliaria petiolata</i>)</p> <p>spotted knapweed (<i>Centaurea maculosa</i>)</p> <ul style="list-style-type: none"> Sap of related knapweed can cause skin irritation and tumors. Wear gloves when handling. <p>black swallow-wort (<i>Cynanchum nigricum</i>)</p> <ul style="list-style-type: none"> May cause skin rash. Wear gloves and long sleeves when handling. <p>pale swallow-wort (<i>Cynanchum rostratum</i>)</p> <p>giant hogweed (<i>Hieracium magnificum</i>)</p> <ul style="list-style-type: none"> Can cause major skin rash. Wear gloves and long sleeves when handling. <p>dame's rocket (<i>Hesperis matronalis</i>)</p> <p>perennial peppervetch (<i>Lepidium latifolium</i>)</p> <p>purple loosestrife (<i>Lythrum salicaria</i>)</p> <p>Japanese stilt grass (<i>Microstegium vimineum</i>)</p> <p>mile-a-minute weed (<i>Polygonum perfoliatum</i>)</p>	<p>Fruits and Seeds</p> 	<p>Prior to flowering Depends on scale of infestation</p> <p>Small infestation</p> <ul style="list-style-type: none"> Pull or cut plant and leave on site with roots exposed. <p>Large infestation</p> <ul style="list-style-type: none"> Pull or cut plant and pile. (You can pile on top or cover with plastic sheeting). Monitor. Remove any re-sprouting material. <p>During and following flowering Do nothing until the following year or remove flowering heads and bag and let rot.</p> <p>Small infestation</p> <ul style="list-style-type: none"> Pull or cut plant and leave on site with roots exposed. <p>Large infestation</p> <ul style="list-style-type: none"> Pull or cut plant and pile remaining material. (You can pile onto plastic or cover with plastic sheeting). Monitor. Remove any re-sprouting material.
<p>common reed (<i>Phragmites australis</i>)</p> <p>Japanese knotweed (<i>Polygonum cuspidatum</i>)</p> <p>Bohemian knotweed (<i>Polygonum x bohemicum</i>)</p>	<p>Fruits, Seeds, Plant Fragments</p> <p>Primary means of spread is by plant parts. Although all care should be given to preventing the dispersal of seed during control activities, the presence of seed doesn't materially influence dispersal activities.</p>	<p>Small infestation</p> <ul style="list-style-type: none"> Bag all plant material and let rot. Never pile and use resulting material as compost. Burn. <p>Large infestation</p> <ul style="list-style-type: none"> Remove material to unsuitable habitat (dry, hot and sunny or dry and shaded location) and scatter or pile. Monitor and remove any sprouting material. Pile, let dry, and burn.

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The Dubai Group, Inc.

136 Harvey Road Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers

Planners

Surveyors

TheDubayGroup.com

[illegible]

DRAWN BY: REK
CHECKED BY: DGM
DATE: DEC. 17, 2021
SCALE: 1"=30'
FILE: 469-LANDSCAPE
DEED REF:

H.C.R.D.: BK. 9403 PG. 2706

PROJECT:

**GRANITE SUBARU
EXPANSION**
MAP 210 LOT 1
6 EXECUTIVE DRIVE
HUDSON, NH 03051

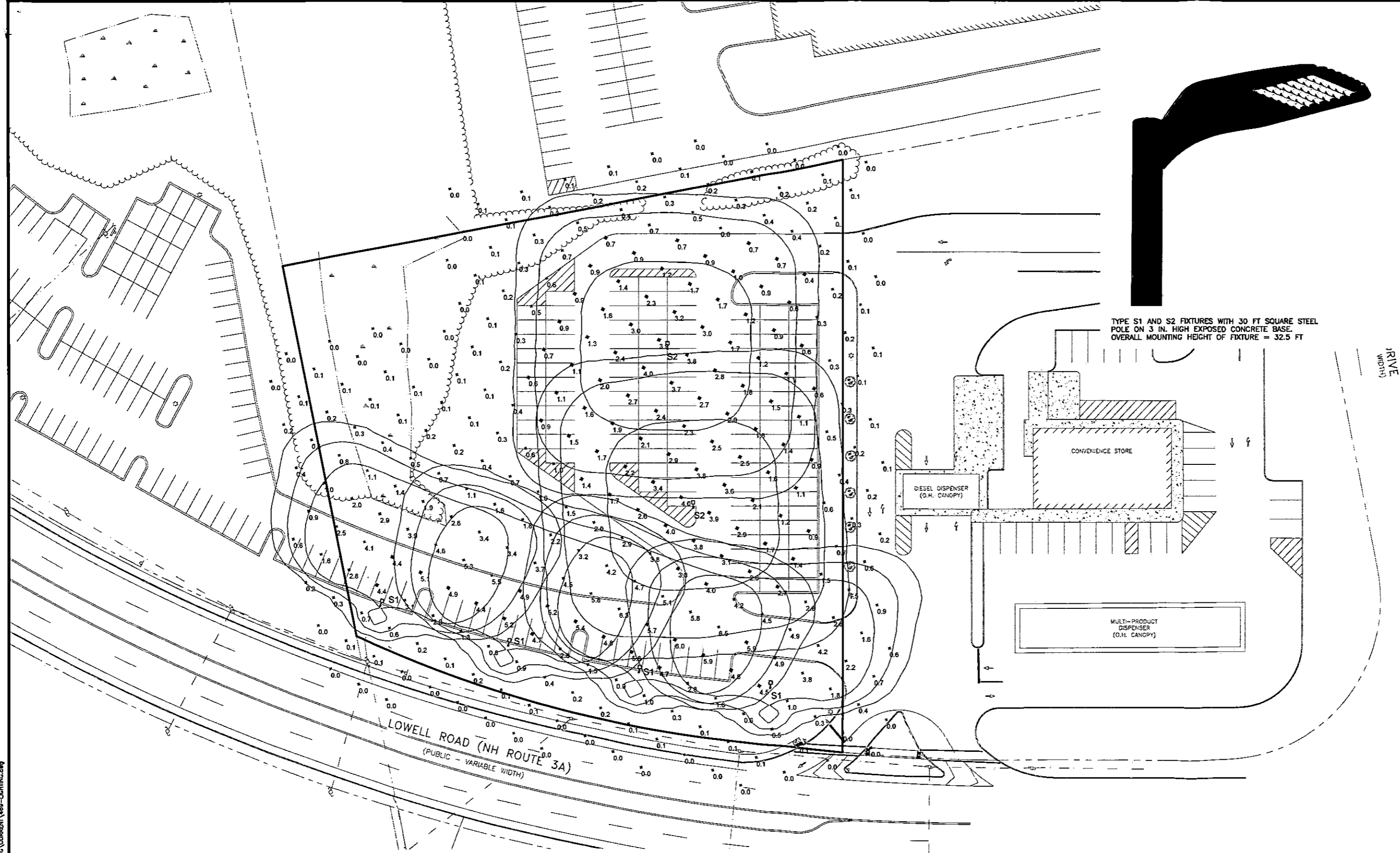
—FOR

**RAYMOND JAMES
GRANITE PROP LLC**
193 LOWELL RD
HUDSON, NH 03051

SHEET TITLE:

LANDSCAPE DETAILS

PROJECT #469 SHEET 6 of 11



The Dubai Group, Inc.
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Engineers
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1 INCH = 30 FEET

PHILIP J. INFURNA
LIGHTING CONSULTANT
CELL: 774-212-7981
EMAIL: pinfurno@gmail.com

REVISIONS:			
REV.	DATE	COMMENT	BY

DRAWN BY: SJK
CHECKED BY: DGM
DATE: DEC. 17, 2021
SCALE: 1"=30'
FILE: 489-LIGHTING
DEED REF: H.C.R.D.: BK. 9403 PG. 2706

PROJECT:
**GRANITE SUBARU
EXPANSION**
MAP 210 LOT 1
6 EXECUTIVE DRIVE
HUDSON, NH 03051

FOR

**RAYMOND JAMES
GRANITE PROP LLC**
193 LOWELL RD
HUDSON, NH 03051

SHEET TITLE:
**LIGHTING
PLAN**

PROJECT #489 SHEET 7 of 11

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

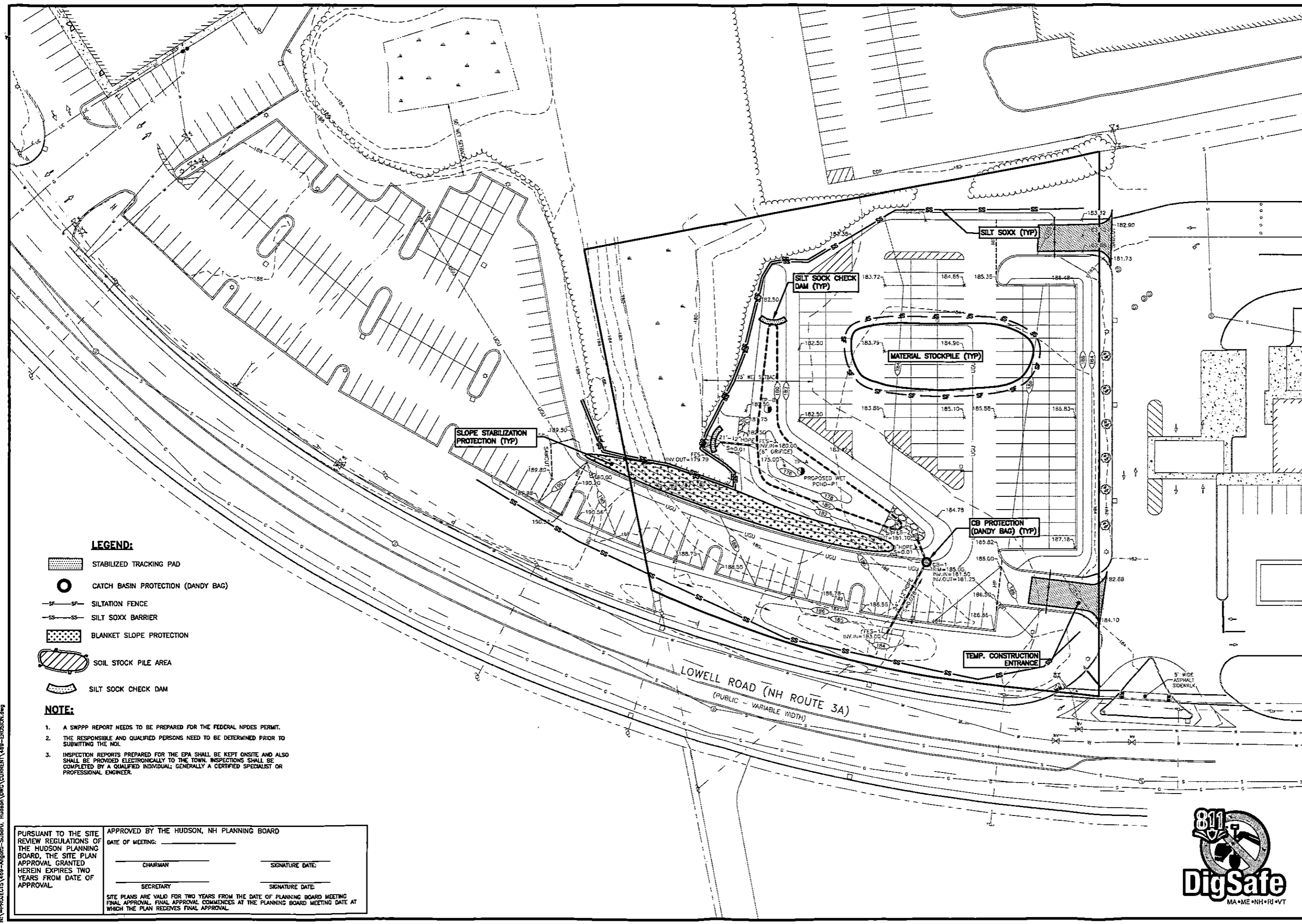
SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

Schedule					
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description
	S1	4	LSI Lighting	MRM-LED-42L-SL-FT-40-70CRI-41 with SSQ S07630 S BRZ 5 BC	Full Cut Off LED Luminaire - Forward Throw Distribution with 30 ft. Square Steel Pole
	S2	2	LSI Lighting	MRM-LED-42L-SL-SW-40-70CRI-41 with SSQ S07630 S BRZ 5 BC	Full Cut Off LED Luminaire - Type V Square Distribution with 30 ft. Square Steel Pole

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Entire Calculation Area	+	1.3 fc	6.5 fc	0.0 fc	N/A	N/A
Front Display Spaces	X	5.1 fc	6.0 fc	4.4 fc	1.4:1	1.2:1
Rear Paved Lot	X	1.9 fc	4.0 fc	0.4 fc	10.0:1	4.8:1

NA=PROJECTS\469-Angelo-Suena, Hudson\DWG\CURRENT\469-EROSION.dwg




LEGEND:

- STABILIZED TRACKING PAD
- CATCH BASIN PROTECTION (DANDY BAG)
- SILTATION FENCE
- SILT SOXX BARRIER
- BLANKET SLOPE PROTECTION
- SOIL STOCK PILE AREA
- SILT SOCK CHECK DAM

NOTE:

1. A SWPPP REPORT NEEDS TO BE PREPARED FOR THE FEDERAL NPDES PERMIT.
2. THE RESPONSIBLE AND QUALIFIED PERSONS NEED TO BE DETERMINED PRIOR TO SUBMITTING THE NOI.
3. INSPECTION REPORTS PREPARED FOR THE EPA SHALL BE KEPT ONSITE AND ALSO SHALL BE PROVIDED ELECTRONICALLY TO THE TOWN. INSPECTIONS SHALL BE COMPLETED BY A QUALIFIED INDIVIDUAL; GENERALLY A CERTIFIED SPECIALIST OR PROFESSIONAL ENGINEER.


PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.	
APPROVED BY THE HUDSON, NH PLANNING BOARD	
DATE OF MEETING: _____	
CHAIRMAN _____	SIGNATURE DATE: _____
SECRETARY _____	SIGNATURE DATE: _____
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Planners
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REVISIONS:			
REV#	DATE	COMMENT	BY
3	4/24/24	TOWN COMMENTS	SJK

DRAWN BY: SJK
CHECKED BY: DGM
DATE: DEC. 17, 2021
SCALE: 1"=30'
FILE: 469-EROSION
DEED REF:
H.C.R.D.: BK. 9403 PG. 2706

PROJECT:
GRANITE SUBARU EXPANSION
MAP 210 LOT 1
6 EXECUTIVE DRIVE
HUDSON, NH 03051

FOR

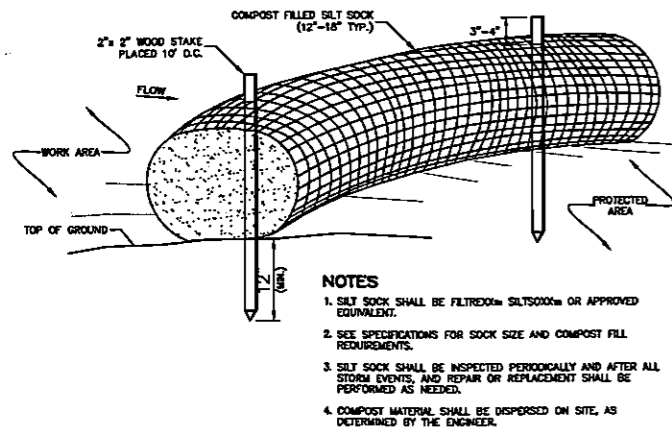
RAYMOND JAMES GRANITE PROP LLC
193 LOWELL RD
HUDSON, NH 03051

SHEET TITLE:
EROSION PLAN

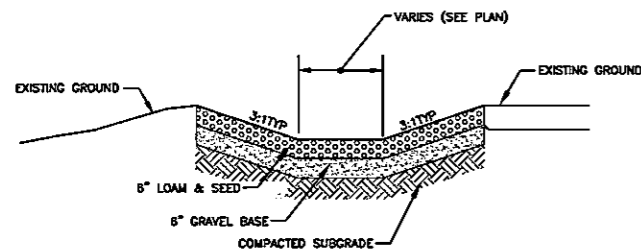
PROJECT #469 SHEET 8 of 11



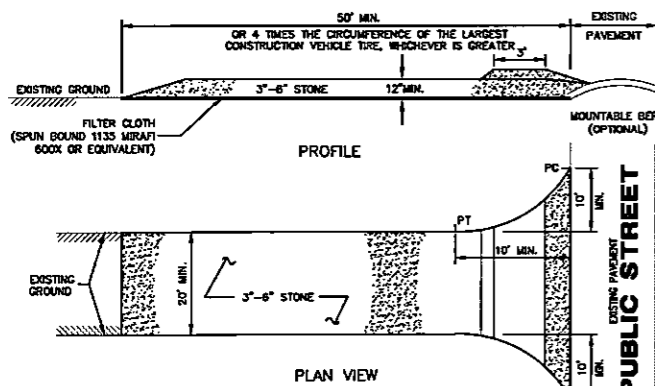
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SILT SOCK DETAIL
NOT TO SCALE



TYPICAL GRASS LINED SWALE
NOT TO SCALE

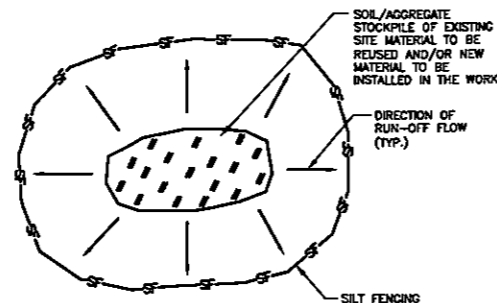


NOTES

1. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
2. WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
3. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
4. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

USDA-SCS STABILIZED TRACKING PAD
NOT TO SCALE

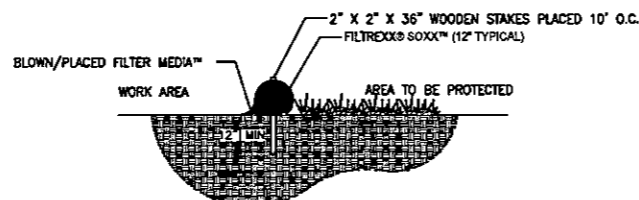
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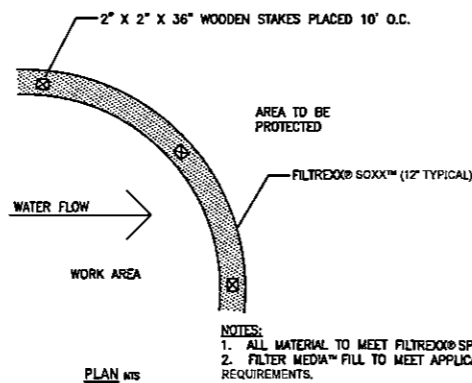
NOTES:

1. ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
2. RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
3. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.

MATERIALS STOCKPILE DETAIL
NOT TO SCALE



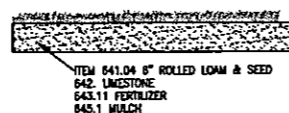
SECTION WTS



PLAN WTS

- NOTES:**
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
 2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

FILTREXX® SEDIMENT CONTROL
NOT TO SCALE



LOAM & SEED DETAIL
NOT TO SCALE

EROSION CONTROL NOTES

CONSTRUCTION SEQUENCE

1. PRIOR TO CONSTRUCTION, AN INITIAL PRE CONSTRUCTION MEETING(S) SHALL TAKE PLACE WITH THE CONTRACTOR, OWNER, AND TOWN AGENTS.
2. THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE EXCEEDS ONE ACRE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTED IS RESPONSIBLE; OR ANOTHER OPERATOR/PERMITEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
3. INSTALL PERIMETER CONTROLS, I.E. SILT FENCE AND/OR SILT SOCKS AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATION.
4. CONSTRUCT TEMPORARY CONSTRUCTION EXIT.
5. CLEAR AND GRUB WITHIN AREAS OF DISTURBANCE UNLESS OTHERWISE NOTED.
6. REMOVE AND STOCKPILE MATERIALS AS REQUIRED. STOCKPILE SHALL BE SURROUNDED WITH AN EROSION CONTROL DEVICE TO PREVENT EROSION. STOCKPILE AREAS ARE LIMITED AND THUS MANAGEMENT OF MATERIALS WILL BE REQUIRED.
7. SHAPE PROPOSED DRAINAGE PONDS, DITCHES AND/OR SWALES.
8. PERFORM ROUGH SITE GRADING. INSTALL DRAINAGE SYSTEMS AND UTILITIES.
9. INSTALL UNDERGROUND UTILITIES AND PLACE EROSION CONTROL MEASURES AROUND ANY CATCH BASINS PRIOR TO DIRECTING ANY RUNOFF TO THEM. DRAINAGE SYSTEMS SHALL BE CONSTRUCTED AND STABILIZED PRIOR TO DIRECTING ANY FLOW TO THEM. ALL SIDE SLOPES SHALL BE STABILIZED WITHIN 72 HOURS.
10. LAYOUT AND INSTALL ALL BURIED UTILITIES AND SERVICES UP TO 10' OF THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIES.
11. FINISH GRADE SITE, BACKFILL ROAD SUBBASE GRAVEL IN TWO, COMPACTED LIFTS. PROVIDE TEMPORARY EROSION PROTECTION TO DITCHES AND SWALES WHERE APPLICABLE, IN THE FORM OF MULCHING, JUTE MATTING OR STONE CHECK DAMS.
12. INSTALL EXTERIOR LIGHT POLE BASES, AND MAKE FINAL CONNECTIONS TO CONDUIT.
13. ANY PERMANENT DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
14. PLACE BINDER LAYER OF PAVEMENT, THEN RAISE CATCH BASIN FRAMES TO FINAL GRADE. REINSTALL BASIN INLET PROTECTION.
15. AFTER ALL DRAINAGE AND ROADWAY IMPROVEMENTS (NOT INCLUDING FINAL LAYER OF PAVEMENT) HAVE BEEN COMPLETED, BEGIN CONSTRUCTION OF THE BUILDING FOUNDATIONS AND CONNECT TO SITE UTILITIES. BEGIN BUILDING CONSTRUCTION.
16. PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.
17. AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING LANDSCAPED WORK.
18. CONSTRUCT ASPHALT WEARING COURSE.
19. REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

GENERAL CONSTRUCTION NOTES

1. THE TEMPORARY BMPs ASSOCIATED WITH THIS PROJECT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND LANDOWNER, WHO WILL BE RESPONSIBLE FOR INSPECTION, OPERATION, AND MAINTENANCE.
2. EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 845 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION OF THE NHDOT". EROSION CONTROL SHALL BE INSTALLED DOWNHILL OF ALL AREAS WHERE WORK WILL EXPOSE UNPROTECTED SOIL TO PREVENT SEDIMENT FROM ENTERING CATCH BASINS, DRAINAGE STRUCTURES AND/OR DRAINAGE WAYS. INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES PRIOR TO ANY EARTH MOVING OPERATIONS. THE CONTRACTOR SHALL MANAGE THE PROJECT IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
3. EROSION CONTROL DEVICES SHALL BE INSTALLED WHERE REQUIRED PRIOR TO ANY ON-SITE GRADING OR DISTURBANCE OF EXISTING SURFACE. EROSION CONTROL MEASURES SHALL BE MAINTAINED DURING DEVELOPMENT AND SHALL BE CHECKED PERIODICALLY AND EXCESS SILT SHALL BE REMOVED.
4. ALL DISTURBED AREAS WHICH ARE FINISH GRADED SHALL BE LOAMED (6" MINIMUM) AND SEEDED. SEE SEEDING AND FERTILIZER SPECIFICATION. SEE SLOPE DESIGN AND/OR LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
5. ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER SHALL BE MACHINED STRAW MULCHED AND SEEDED WITH SLOPE STABILIZATION SEED MIXTURE TO PREVENT EROSION. STRAW MULCH SHALL BE APPLIED AT A RATE OF 2 TONS/ACRE.
6. ALL DRAINAGE SYSTEMS (DITCHES, SWALES, DRAINAGE PONDS/BASINS, ETC.) SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM. STORMWATER FLOWS ARE NOT TO BE DIRECTED TO THESE SYSTEMS UNTIL CONTRIBUTING AREAS HAVE ALSO BEEN FULLY STABILIZED.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH NHDES, EPA & TOWN REQUIREMENTS FOR THE DURATION OF THE PROJECT. WATER FOR DUST CONTROL SHALL BE PROVIDED ON SITE. FUGITIVE DUST IS CONTROLLED IN ACCORDANCE WITH ENV-A 1000.
8. ALL EROSION CONTROLS ARE TO BE INSPECTED WEEKLY AND AFTER 0.5" OR GREATER OF RAINFALL WITHIN A 24 HOUR PERIOD.
9. ALL FILLS SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED. FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC. AND SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.
10. SILT FENCES AND/OR SILT SOCKS SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT FENCES AND/OR SILT SOCKS SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL BE PERIODICALLY REMOVED AND DISPOSED IN A SECURE LOCATION.
11. PAVED AREAS MUST BE KEPT CLEAN AT ALL TIMES.
12. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.
13. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING. EXPOSURE OF UNSTABILIZED SOILS SHALL BE TEMPORARILY STABILIZED AS SOON AS POSSIBLE BUT NO LATER THAN 45 DAYS OF INITIAL DISTURBANCE.
14. WINTERIZATION EFFORTS FOR AREAS NOT STABILIZED BY NOV. 1ST SHALL BE MADE BY THE APPROPRIATE USE OF MATTING, BLANKETS, MULCH AND SEEDING.
15. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS HAS BEEN INSTALLED IN AREAS TO BE PAVED;

- B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
- C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
- D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

16. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO IMMEDIATELY INSTALL AND MAINTAIN THE NECESSARY EROSION PROTECTION.

SEEDING SPECIFICATION

1. TEMPORARY SEED
A. TEMPORARY VEGETATIVE COVER SHOULD BE APPLIED WHERE EXPOSED SOIL SURFACES WILL NOT BE FINAL GRADED WITHIN 45 DAYS.
B. SEED BED PREPARATION SHALL BE IN ACCORDANCE WITH THE NHDES STORMWATER MANAGEMENT MANUAL, VOLUME 3, TEMPORARY VEGETATION SECTION.
C. SEEDING MIXTURE

MIXTURE	SPECIES	POUNDS PER ACRE	POUNDS PER 1,000 SQ. FT.
WINTER RYE		112	2.50
OATS		80	2.00
ANNUAL RYEGRASS		40	1.00
PERENNIAL RYEGRASS		30	0.75
TOTAL		262	5.67

2. SEEDING SCHEDULE
A. SPRING SEEDING USUALLY GIVES THE BEST RESULTS FOR ALL SEED MIXES OR WITH LEGUMES.
B. PERMANENT SEEDING SHOULD BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST. IF SEEDING CANNOT BE DONE WITHIN THE SPECIFIED SEEDING DATES, MULCH ACCORDING TO THE NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3, CONSTRUCTION PHASE EROSION AND SEDIMENT CONTROLS AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
3. ESTABLISHING A STAND OF GRASS
A. STONES AND TRASH SHOULD BE REMOVED FROM LOAMED AREAS SO AS NOT TO INTERFERE WITH THE SEEDING PROCESS.
B. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
C. IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHOULD BE APPLIED DURING THE GROWING SEASON.
D. APPLY LIME/STONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHATE FERTILIZER (N-P205-K20) OR EQUIVALENT. APPLY LIME/STONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET).
E. FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER.

4. SEED SHOULD BE SPREAD UNIFORMLY BY A METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDING HAND, CYCLONE SEEDER, DRILL, CULPACKER TYPE SEEDER OR HYDROSEEDER.
A. INOCULATE ALL LEGUME SEED WITH THE CORRECT TYPE AND AMOUNT OF INOCULANTS.
B. NORMAL SEEDING DEPTH IS FROM 1/4 TO 1/2 INCH. HYDROSEEDING THAT INCLUDES MULCH MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10 % WHEN HYDROSEEDING.
C. WHERE FEASIBLE, EXCEPT WHERE EITHER A CULPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A ROLLER, OR LIGHT DRAG.

MIXTURE	SPECIES	POUNDS PER ACRE	POUNDS PER 1,000 SQ. FT.
A	TALL FESCUE	45	1.04
	CREeping RED FESCUE	45	1.04
	REDTOP	7	0.12
TOTAL		97	2.22
5. ALTERNATE PERMANENT SEEDING FOR AREAS NOT RECEIVING LAWN OR LANDSCAPING SHALL BE AS FOLLOWS:

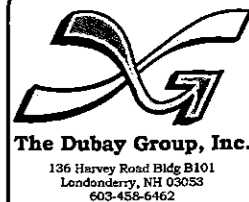
- A. THE NEW ENGLAND EROSION CONTROL/RESTORATION MIX CONTAINS A SELECTION OF NATIVE GRASSES AND WILDFLOWERS DESIGNED TO COLONIZE GENERALLY MOIST, RECENTLY DISTURBED SITES WHERE QUICK GROWTH OF VEGETATION IS DESIRED TO STABILIZE THE SOIL SURFACE. THIS MIX IS PARTICULARLY APPROPRIATE FOR DETENTION BASINS WHICH DO NOT NORMALLY HOLD STANDING WATER. THE PLANTS IN THIS MIX CAN TOLERATE INFREQUENT INUNDATION, BUT NOT CONSTANT FLOODING. IN NEW ENGLAND, THE BEST RESULTS ARE OBTAINED WITH A SPRING OR EARLY FALL SEEDING. SUMMER AND FALL SEEDING CAN BE SUCCESSFUL WITH A LIGHT MULCHING OF WEED-FREE STRAW TO CONSERVE MOISTURE. LATE FALL AND WINTER DORMANT SEEDING REQUIRE A SLIGHT INCREASE IN THE SEEDING RATE. FERTILIZATION IS NOT REQUIRED UNLESS THE SOILS ARE PARTICULARLY INFERTILE.
- B. APPLICATION RATE: 35 LBS/ACRE 1245 SQ FT/LB
- C. SPECIES: SWITCHGRASS (Panicum virgatum), CREeping RED FESCUE (Festuca rubra), VIRGINIA WILD RYE (Elymus virginicus), FOX SEDGE (Carex vulpinoidea), CREeping BENTGRASS (Agrostis stolonifera), SILKY WILD RYE (Elymus villosus), NOODING BUR-MARGOLD (Bidens cernua), SOFT RUSH (Juncus effusus), GRASS-LEAVED GOLDENROD (Solidago graminifolia), SENSITIVE FERN (Onoclea sensibilis), JOE-PYE WEED (Eupatorium maculatum), BONESET (Eupatorium perfoliatum), FLAT-TOP ASTER (Aster umbellatus), NEW YORK ASTER (Aster nov-belgii), BLUE VERVAIN (Verbena hastata).

WINTER NOTES

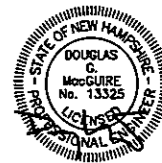
1. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS;
2. ALL AREAS TO BE PLANTED WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER OCTOBER 15TH, INCOMPLETE SURFACES TO BE PAVED, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3 OR CRUSHED STONE.

MAINTENANCE AND PROTECTION

1. THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT DEVELOPS.
2. TO BE ACCEPTABLE, SEEDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH A UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.
3. SEEDED AREAS WILL BE FERTILIZED AND RE-SEEDED AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.
4. THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY, UNTIL ADEQUATE VEGETATION IS ESTABLISHED.
5. THE SILT FENCE AND/OR SILT SOCK BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
6. SILT FENCE AND/OR SILT SOCK SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SILT FENCE AND/OR SILT SOCK REMOVAL SHALL BE PERMANENTLY SEEDED.



Engineers
Planners
Surveyors
TheDubayGroup.com



REVISIONS:			
REV.	DATE	COMMENT	BY

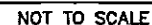
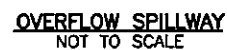
DRAWN BY: SJK
CHECKED BY: DGM
DATE: DEC. 17, 2021
SCALE:
FILE: 469-DETAILS
DEED REF:
H.C.R.D.: BK. 9403 PG. 2706

PROJECT:
**GRANITE SUBARU
EXPANSION**
MAP 210 LOT 1
6 EXECUTIVE DRIVE
HUDSON, NH 03051

FOR
**RAYMOND JAMES
GRANITE PROP LLC**
193 LOWELL RD
HUDSON, NH 03051

SHEET TITLE:
**SITE
DETAILS-1**

N:\PROJECTS\489-Angotti-Subaru, Hudson\DWG\CURRENT\489-DETAILS.dwg



PRECAST SECTIONS
SHALL CONFORM TO
ASTM C-478

ADJUST FRAME TO GRADE
WITH TWO COURSES OF
HARD RED BRICK MINIMUM, —
12" MAXIMUM ADJUSTMENT —
OR PRECAST CONCRETE RINGS

PIPE JOINTS SHALL BE:
LOCKJOINT FLEXIBLE SLEEVE
KOR-N-SEAL FLEX. SLEEVE
OR A-LOK RUBBER GASKET

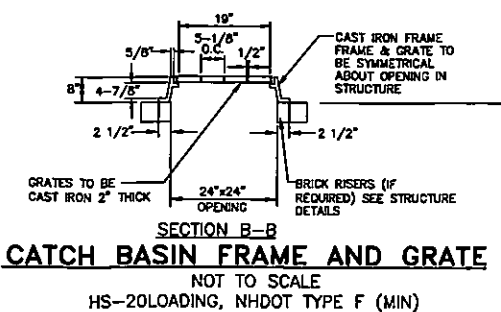
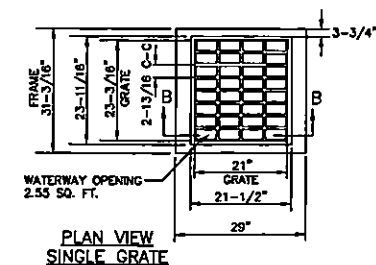
BITUMASTIC SEALER (TYP)
CIRCUMFERENTIAL REINF. SHALL
BE .12 SQ.-IN. PER L.F. FOR
4' DIA. CB AND .15 SQ.-IN.
PER L.F. FOR 5' DIA. CB —

6" BEDDING IF IN EARTH
12" BEDDING IF IN LEDGE

[illegible]

TOWN OF HUDSON
12 SCHOOL STREET
HUDSON, NH 03051

DETAIL D-2	
<u>PRECAST REINFORCED CATCH BASIN</u>	
TOWN OF HUDSON	AUGUST-01
REV:	SCALE: NTS

[illegible]

DRAWN BY: SJK
CHECKED BY: DGM
DATE: DEC. 17, 2021
SCALE:
FILE: 469-DETAILS
DEED REF:
H.C.R.D.: BK. 9403 PG. 2706

PROJECT:

**GRANITE SUBARU
EXPANSION
MAP 210 LOT 1
6 EXECUTIVE DRIVE
HUDSON, NH 03051**

—FOR—

**RAYMOND JAMES
GRANITE PROP LLC**
193 LOWELL RD
HUDSON, NH 03051

SHEET TITLE:

SITE DETAILS-3

PROJECT 469 SHEET 11 of 11

\\proj01\projects\489-Subaru, Hudson\DWG\CURRENT\489-DETAILS.dwg

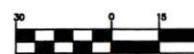


Engineers

Planners

Survivors

TheDubayGroup.com



1 INCH = 30 FEET



DRAWN BY: SJ
CHECKED BY: DG
DATE: FEB 28, 2021
SCALE: 1"=30'
FILE: 469-IMPAC
DEED REF:
H.C.R.D.: BK. 9403 PG. 270

PROJECT:

**GRANITE SUBARU
EXPANSION**
MAP 210 LOT 1
6 EXECUTIVE DRIVE
HUDSON, NH 03051

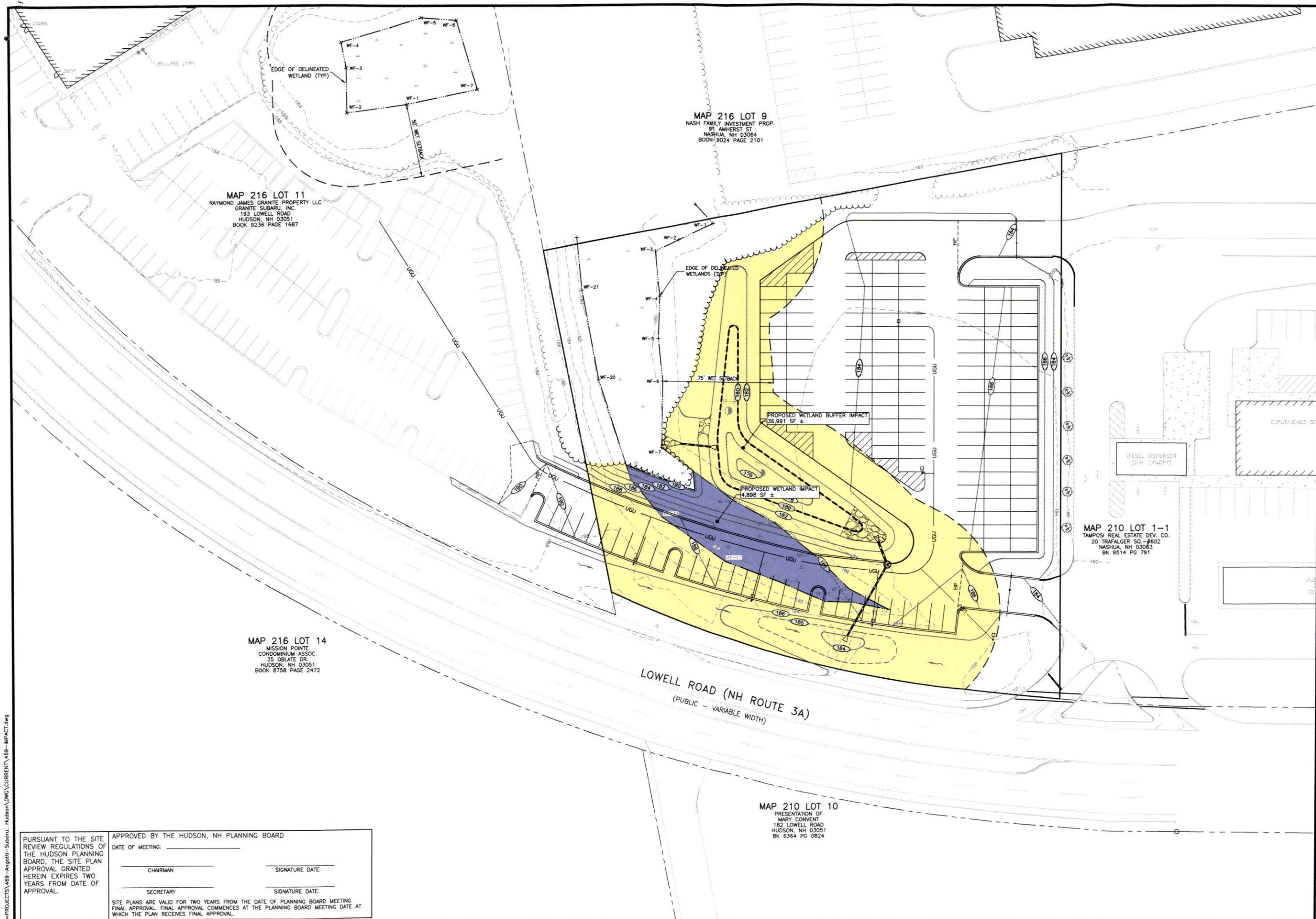
— FOR —

**RAYMOND JAMES
GRANITE PROP LLC**
193 LOWELL RD
HUDSON, NH 03051

SHEET TITLE:

WETLAND IMPACT PLAN

PROJECT #469 SHEET 1 of 1



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

_____	_____
CHAIRMAN	SIGNATURE DATE:
_____	_____
SECRETARY	SIGNATURE DATE:
_____	_____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

 SUBCATCHMENT: A RELATIVELY HOMOGENEOUS AREA OF LAND THAT DRAINS INTO A SINGLE REACH OR POND. EACH SUBCATCHMENT GENERATES A RUNOFF HYDROGRAPH. (A SUBCATCHMENT MAY ALSO BE USED TO ACCOUNT FOR THE RAIN FALLING DIRECTLY ON THE SURFACE OF A POND.)

 REACH: A UNIFORM STREAM CHANNEL, OR PIPE THAT CONVEYS WATER FROM ONE POINT TO ANOTHER REACH OR POND. THE OUTFLOW OF EACH REACH IS DETERMINED BY A HYDROGRAPH ROUTING CALCULATION.

 POND: A POND, SWAMP, DAM, OR OTHER IMPOUNDMENT THAT FILLS WITH WATER FROM ONE OR MORE SOURCES AND EMPTIES IN A MANNER DETERMINED BY A WEIR, CULVERT, OR OTHER DEVICE(S) AT ITS OUTLET. THE OUTFLOW(S) OF EACH POND IS DETERMINED BY A HYDROGRAPH ROUTING CALCULATION. THE PRIMARY AND/OR SECONDARY OUTFLOW MAY DRAIN INTO A REACH OR INTO ANOTHER POND.

 LINK: A METHOD OF INTERCONNECTING SEVERAL HYDROGRAPHS WHICH MAY CONVERGE TOGETHER AT A COMMON ANALYSIS POINT.

MAP 210 LOT 10
PRESENTATION OF
MARY CONVENT
182 LOWELL ROAD
HUDSON, NH 03051
BK 6364 PG 0824

LOT 14
MONTE
ASSOC.
DR.
03051
GE 2472

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

DATE OF MEETING:

SIGNATURE DATE:

SIGNATURE DATE:

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



WATERSHED LEGEND:

- 1** SUBCATCHMENT: A RELATIVELY HOMOGENEOUS AREA OF LAND THAT DRAINS INTO A SINGLE REACH OR POND. EACH SUBCATCHMENT GENERATES A RUNOFF HYDROGRAPH. (A SUBCATCHMENT MAY ALSO BE USED TO ACCOUNT FOR THE RAIN FALLING DIRECTLY ON THE SURFACE OF A POND.)
- 1** REACH: A UNIFORM STREAM, CHANNEL, OR PIPE THAT CONVEYS WATER FROM ONE POINT TO ANOTHER REACH OR POND. THE OUTFLOW OF EACH REACH IS DETERMINED BY A HYDROGRAPH ROUTING CALCULATION.
- 1** POND: A POND, SWAMP, DAM, OR OTHER IMPOUNDMENT THAT FILLS WITH WATER FROM ONE OR MORE SOURCES AND EMPTIES IN A MANNER DETERMINED BY A WEIR, CULVERT, OR OTHER DEVICE(S) AT ITS OUTLET. THE OUTFLOW(S) OF EACH POND IS DETERMINED BY A HYDROGRAPH ROUTING CALCULATION. THE PRIMARY AND/OR SECONDARY OUTFLOW MAY DRAIN INTO A REACH OR INTO ANOTHER POND.
- L1** LINK: A METHOD OF INTERCONNECTING SEVERAL HYDROGRAPHS WHICH MAY CONVERGE TOGETHER AT A COMMON ANALYSIS POINT.

MAP 216 LOT 9
NASH FAMILY INVESTMENT PROP.
91 AMHERST ST
NASHUA, NH 03084
BOOK 9024 PAGE 2101

MAP 210 LOT 1-1
TAMPOSI REAL ESTATE DEV. CO.
20 TRAFALGER SQ. #802
NASHUA, NH 03063
BK 9514 PG 791

MAP 210 LOT 10
PRESENTATION OF
MARY CONVENT
182 LOWELL ROAD
HUDSON, NH 03051
BK 6364 PG 0824



The Dubay Group, Inc.
136 Harvey Road Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers
Planners
Surveyors
TheDubayGroup.com



1 INCH = 30 FEET



REVISIONS:			
REV.	DATE	COMMENT	BY
3	4/24/24	TOWN COMMENTS	SJK

DRAWN BY: SJK
CHECKED BY: DGM
DATE: DEC. 17, 2021
SCALE: 1"=30'
FILE: 469-POST-DEVELOPMENT
DEED REF:
H.C.R.D.: BK. 9403 PG. 2706

PROJECT:
**GRANITE SUBARU
EXPANSION**
MAP 210 LOT 1
6 EXECUTIVE DRIVE
HUDSON, NH 03051

FOR
**RAYMOND JAMES
GRANITE PROP LLC**
193 LOWELL RD
HUDSON, NH 03051

SHEET TITLE:
**POST DEVELOPMENT
WATERSHED
PLAN**

PROJECT #469 SHEET S2 of S2



LOT 14
DATE ASSOC.
DR.
03051
DE 2472

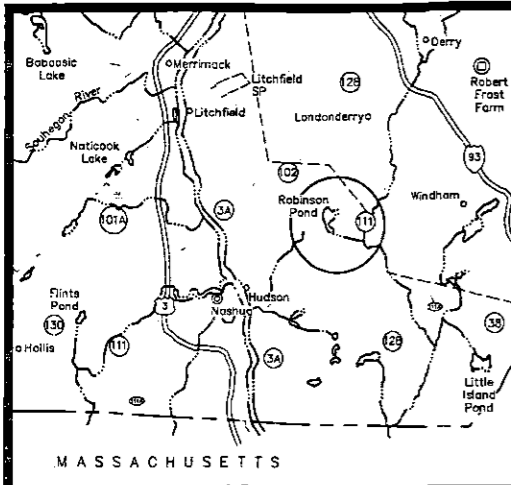
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____

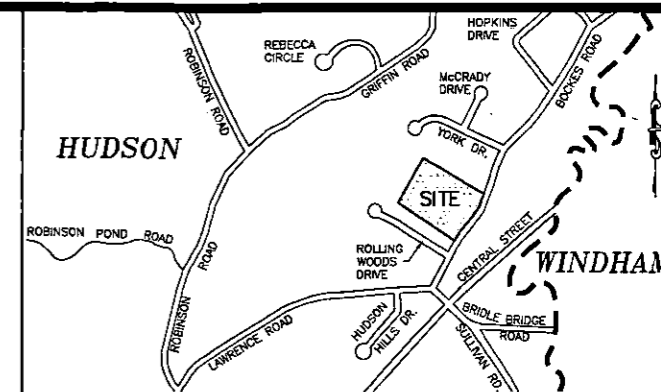
SECRETARY _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



VICINITY PLAN
NOT TO SCALE

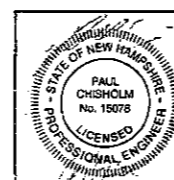
NON-RESIDENTIAL SITE PLAN MIARA TRANSPORTATION MAP 136 LOT 1 12 BOCKES ROAD HUDSON, NEW HAMPSHIRE



LOCUS PLAN
SCALE: 1"=1,000'

OWNER/APPLICANT:
JOSEPH A. MIARA JR., TRUSTEE
GRANITE REALTY TRUST
12 BOCKES ROAD
HUDSON, NEW HAMPSHIRE 03051

PREPARED BY:
KEACH-NORDSTROM ASSOCIATES, INC.
10 COMMERCE PARK NORTH, SUITE 3
BEDFORD, NEW HAMPSHIRE 03110
(603) 627-2881



KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

MAY 20, 2024

LAST REVISED: JUNE 17, 2024

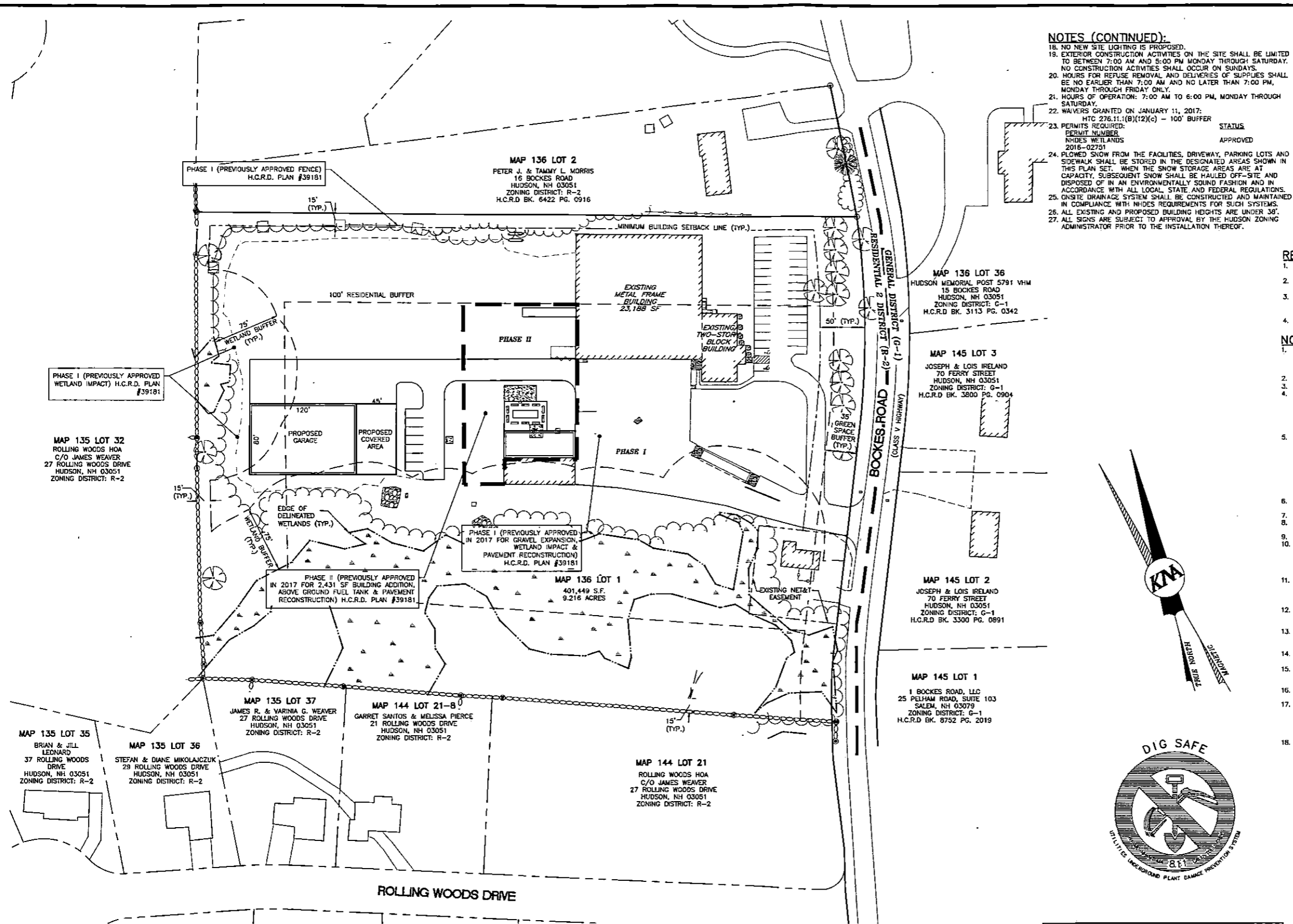
PROJECT NO. 16-0223-1

SHEET TITLE

OVERVIEW PLAN
EXISTING CONDITIONS PLAN
REMOVALS/DEMOLITION PLAN
NON-RESIDENTIAL SITE LAYOUT PLAN
GRADING, DRAINAGE & UTILITY
LANDSCAPE PLAN
CONSTRUCTION DETAILS

SHEET No.

1
2
3
4
5
6
7-8



NOTES (CONTINUED):

18. NO NEW SITE LIGHTING IS PROPOSED.

19. EXTERIOR CONSTRUCTION ACTIVITIES ON THE SITE SHALL BE LIMITED TO BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH SATURDAY. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS.

20. HOURS FOR REFUSE REMOVAL AND DELIVERIES OF SUPPLIES SHALL BE NO EARLIER THAN 7:00 AM AND NO LATER THAN 7:00 PM, MONDAY THROUGH FRIDAY ONLY.

21. HOURS OF OPERATION: 7:00 AM TO 6:00 PM, MONDAY THROUGH SATURDAY.

22. WAIVERS GRANTED ON JANUARY 11, 2017:
HTC 276.11.1(8)(12)(c) - 100' BUFFER

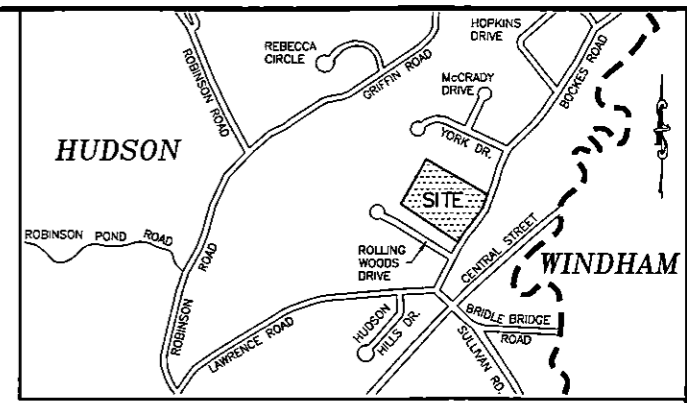
23. PERMITS REQUIRED:
FERTILIZER
NIDES WETLANDS
2016-02751

24. PLOWED SNOW FROM THE FACILITIES, DRIVEWAY, PARKING LOTS AND SIDEWALK SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

25. ON-SITE DRAINAGE SYSTEM SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH NIDES REQUIREMENTS FOR SUCH SYSTEMS.

26. ALL EXISTING AND PROPOSED BUILDING HEIGHTS ARE UNDER 38'.

27. ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON ZONING ADMINISTRATOR PRIOR TO THE INSTALLATION THEREOF.



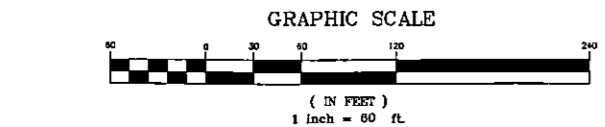
REFERENCE PLANS:

1. "SUBDIVISION PLAN OF LAND, PREPARED FOR, BERTHA A. MOONEY, HUDSON, NH," SCALE: 1"=50', DATED: MAY 29, 1984, PREPARED BY RONALD R. BURD, INC., H.C.R.D. PLAN NO. 15106.
2. "BOUNDARY PLAN OF MAP 36 LOT 27 & 28, LOCATED ON: BOCKES ROAD, HUDSON, N.H.," SCALE: 1"=100', DATED: NOV. 16, 1987, PREPARED BY GEORGE F. KELLER INC. H.C.R.D. PLAN NO. 21586.
3. "AS-BUILT SITE PLAN: TAX MAP 36 LOT 29-2, ABC MOVING AND STORAGE CO., C/O FRANK FISHER, BOCKES ROAD, HUDSON, N.H.," SCALE: 1"=50', DATED: JANUARY 15, 1990, WITH REVISIONS THROUGH 11/12/90, PREPARED BY GEORGE F. KELLER INC.
4. "MASTER PLAN, MIARA TRANSPORTATION," SCALE: 1"=50', DATED: OCTOBER 3, 2016, LAST REVISED: JANUARY 18, 2017, PREPARED BY KEACH-NORDSTROM ASSOCIATES INC. H.C.R.D. PLAN NO. 39181

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED 9,600 SF GARAGE AND ATTACHED COVERED AREA, ON TAX MAP 136 LOT 1. THIS LOT WAS PREVIOUSLY APPROVED FOR A TWO PHASE PROJECT AS DETAILED IN REFERENCE PLAN 4, AND THIS GARAGE WILL BE CONSTRUCTED DURING THAT CONSTRUCTION PROCESS.
2. TOTAL LOT AREA = 401,449 SF, OR 9.216 ACRES.
3. MAP 136 LOT 1 INDICATES TOWN OF HUDSON TAX ASSESSOR'S MAP AND LOT NUMBERS.
4. OWNER OF RECORD:
JOSEPH A. MIARA JR., TRUSTEE
GRANITE REALTY TRUST
12 BOCKES ROAD
HUDSON, NH 03051
H.C.R.D. BK. 8410 PG. 2473
5. THE SUBJECT PARCEL IS LOCATED WITHIN THE RESIDENTIAL 2 DISTRICT (R-2). DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS FOR LOTS NOT SERVED BY MUNICIPAL SEWER AND WATER:

	REQUIRED:	EXISTING:	PROPOSED:
-MINIMUM LOT AREA	60,000 SF	401,449 SF	401,449 SF
-MINIMUM LOT FRONTAGE	120 FT	569.85 FT	569.85 FT
-MINIMUM BUILDING SETBACKS:			
- FRONT	50 FT	27.6 FT	27.6 FT
- SIDE	15 FT	20.8 FT	20.8 FT
- REAR	15 FT	42.1 FT	94.9 FT
6. TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON REFERENCE PLAN #1 AND AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE DURING MARCH OF 2016 AND JUNE OF 2022.
7. HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NAVD 29.
8. WETLAND MAPPING WAS PERFORMED BY CHRISTOPHER K. DANFORTH, CERTIFIED WETLAND SCIENTIST #077, IN JANUARY OF 2022.
9. SITE IS SERVED BY PRIVATE ON-SITE WELL AND SEPTIC SYSTEM.
10. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN. UTILITIES SHOWN HEREON ARE ONLY THOSE FOUND WITHIN THE AREA OF KNA FIELD SURVEY AND ARE SOLELY BASED UPON VISIBLE SURFACE EVIDENCE. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 811.
11. EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF HUDSON MAP NUMBER 330620536D, PANEL 536 OF 701, EFFECTIVE DATE: SEPTEMBER 25, 2009 INDICATES THAT NO PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
12. A WETLAND SPECIAL EXCEPTION FROM ARTICLE IX, SECTION 334-35, TO ALLOW THE PROPOSED STORAGE EXPANSION AREA OF APPROXIMATELY 58,000 SF, TO IMPACT A WETLAND AND BUFFER AREA WAS APPROVED BY THE HUDSON ZONING BOARD ON SEPTEMBER 26, 2016.
13. A VARIANCE TO ALLOW EXPANSION OF THE EXISTING NON-CONFORMING USE TO EXPAND THE PARKING AREA, LOADING AREA, AND CONSTRUCTION OF A 2,430 SF MAINTENANCE BUILDING WAS APPROVED BY THE HUDSON ZONING BOARD ON SEPTEMBER 29TH, 2016 (CASE #136-001).
14. A VARIANCE TO ALLOW THE EXPANSION OF THE EXISTING NON-CONFORMING USE TO CONSTRUCT AN 80 FT. BY 79 FT 'HOOP' STRUCTURE WAS APPROVED BY THE HUDSON ZONING BOARD ON MARCH 24, 2022.
15. A VARIANCE TO ALLOW THE EXPANSION OF THE EXISTING NON-CONFORMING USE TO CONSTRUCT A 9,600 SF GARAGE WITH ATTACHED 3,600 COVERED AREA WAS APPROVED BY THE HUDSON ZONING BOARD ON APRIL 27, 2023.
16. OPEN SPACE REQUIRED = 35%
OPEN SPACE PROPOSED = 58.1%
17. PARKING CALCULATIONS:
PARKING REQUIRED = 2 SPACES/AUTOMOTIVE BAY x 8 BAYS = 12 SPACES
1 SPACE/500 SF OFFICE x 5,500 SF = 21.7 SPACES
TOTAL PARKING REQUIRED = 33.7 = 34 SPACES
TOTAL PARKING PROVIDED = 39 SPACES EXISTING (INCLUDES 2 HANDICAP SPACES)
18. LOADING:
1 SPACE/FIRST 5,000 SF + (1 SPACE/10,000 SF x 23,049 SF) = 1 + 2.3 = 3.3 SPACES
TOTAL SPACES REQUIRED: 4 SPACES
TOTAL SPACES PROVIDED: 4+ SPACES



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE DATE: _____

SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

WETLAND CERTIFICATION

JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED IN JANUARY OF 2022 BY CHRISTOPHER K. DANFORTH CWS #077. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES* A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, NRCS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USACE 2020 NATIONAL WETLAND PLANT LIST, NWPL 2020 VERSION 3.5. [HTTP://WETLAND-PLANTS.USACE.ARMY.MIL](http://wetland-plants.usace.army.mil)



OWNER OF MAP 136 LOT 1

SIGNATURE: _____

DATE: _____

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE DURING MARCH OF 2016 AND UPDATED IN 2024. SAID SURVEY HAS A RELATIVE ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) OR BETTER.

LICENSED LAND SURVEYOR

DATE

OVERVIEW PLAN

MIARA TRANSPORTATION

MAP 136 LOT 1

12 BOCKES ROAD

HUDSON, NEW HAMPSHIRE

HILLSBOROUGH COUNTY

OWNER OF RECORD:

JOSEPH A. MIARA JR., TRUSTEE
GRANITE REALTY TRUST
12 BOCKES ROAD
HUDSON, NH 03051
H.C.R.D. BK. 8410 PG. 2473

APPLICANT:

JOSEPH A. MIARA JR., TRUSTEE
GRANITE REALTY TRUST
12 BOCKES ROAD
HUDSON, NH 03051

KNA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

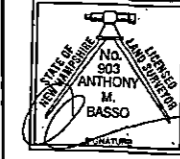
REVISIONS				
No.	DATE	DESCRIPTION	BY	ACL
1	6-17-24	REV. PER CON. COM. COMMENTS		

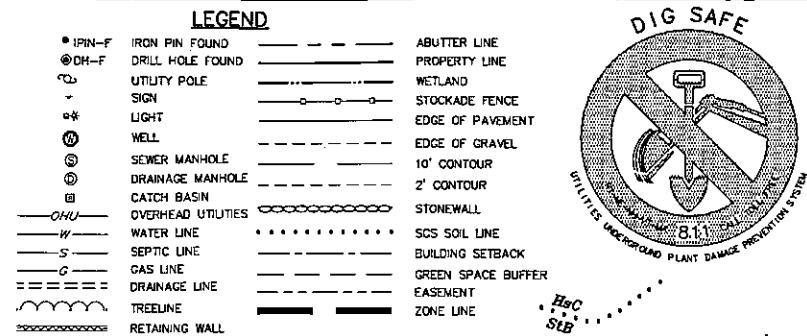
DATE: MAY 20, 2024

PROJECT NO: 16-0223-1

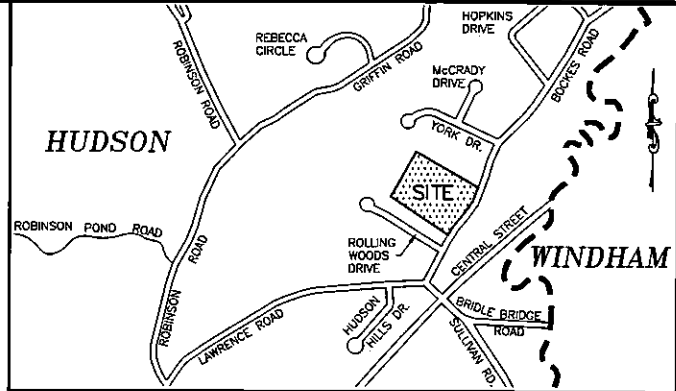
SCALE: 1" = 60'

SHEET 1 OF 8





MAP 136 LOT 2
PETER J. & TAMMY L. MORRIS
18 BOCKES ROAD
HUDSON, NH 03051
ZONING DISTRICT: R-2
H.C.R.D. BK. 6422 PG. 0916

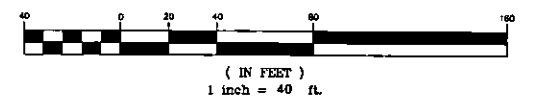


- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS PRESENT ON TAX MAP 136 LOT 1 AS OF THE DATE OF FIELD SURVEY AND THE REMOVALS REQUIRED FOR PROPOSED SITE PLAN IMPROVEMENTS.
 2. TOTAL LOT AREA = 401,449 SF, OR 9.216 ACRES.
 3. MAP 136 LOT 1 INDICATES TOWN OF HUDSON TAX ASSESSOR'S MAP AND LOT NUMBERS.
 4. OWNER OF RECORD:
JOSEPH A. MIARA JR., TRUSTEE
GRANITE REALTY TRUST
12 BOCKES ROAD
HUDSON, NH 03051
H.C.R.D. BK. 6410 PG. 2473
 5. THE SUBJECT PARCEL IS LOCATED WITHIN THE RESIDENTIAL 2 DISTRICT (R-2). DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS FOR LOTS NOT SERVICED WITH MUNICIPAL SEWER AND WATER:
 - MINIMUM LOT AREA 60,000 SF
 - MINIMUM LOT FRONTAGE 120 FT
 - MINIMUM BUILDING SETBACKS:
 - FRONT 50
 - SIDE 15
 - REAR 15
 6. TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON REFERENCE PLAN #1 AND AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE DURING MARCH OF 2016.
 7. HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NGVD 29.
 8. WETLAND MAPPING WAS PERFORMED BY MICHAEL F. GRENIER, CERTIFIED WETLAND SCIENTIST #102, IN APRIL OF 2016.
 9. SITE IS SERVICED BY PRIVATE ON-SITE WELL AND SEPTIC SYSTEM.
 10. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN. UTILITIES SHOWN HEREON ARE ONLY THOSE FOUND WITHIN THE AREA OF FIELD SURVEY AND ARE SOLELY BASED UPON VISIBLE SURFACE EVIDENCE. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 811.
 11. EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF HUDSON MAP NUMBER 3300920536D, PANEL 536 OF 701, EFFECTIVE DATE: SEPTEMBER 25, 2009 INDICATES THAT NO PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
 12. EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS, AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.
 13. IN 2016 THE TOWN OF HUDSON ZONING BOARD OF ADJUSTMENT GRANTED A WETLAND SPECIAL EXCEPTION TO ALLOW 5,350 SF OF WETLAND IMPACT AND 31,700 SF OF WETLAND BUFFER IMPACT. THE WESTERLY WETLAND SHOWN ON THIS PLAN IS THE REMAINING WETLAND AFTER THE APPROVED 2016 IMPACTS.

SCS SOILS LEGEND

CsC CHATFIELD-HOLLS COMPLEX, 8-15% SLOPES
DeB DEERFIELD LOAMY FINE SAND, 3-8% SLOPES
HsC HINCKLEY LOAMY SAND, 8-15% SLOPES
StB SCITUATE STONY FINE SANDY LOAM, 3-8% SLOPES
WdB WINDSOR LOAMY SAND, 3-8% SLOPES
SOURCE: USDA-SCS WEB SOIL SURVEY

GRAPHIC SCALE



EXISTING CONDITIONS PLAN

MIARA TRANSPORTATION

MAP 136 LOT 1

12 BOCKES ROAD

HUDSON, NEW HAMPSHIRE

HILLSBOROUGH COUNTY

OWNER OF RECORD:

JOSEPH A. MIARA JR., TRUSTEE
GRANITE REALTY TRUST
12 BOCKES ROAD
HUDSON, NH 03051
H.C.R.D. BK. 6410 PG. 2473

APPLICANT:

JOSEPH A. MIARA JR., TRUSTEE
GRANITE REALTY TRUST
12 BOCKES ROAD
HUDSON, NH 03051

KMA

KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2891

REVISIONS

No.	DATE	DESCRIPTION	BY
1	6-17-24	REV. PER CON. COM. COMMENTS	ACL

DATE: MAY 20, 2024	SCALE: 1" = 40'
PROJECT NO: 16-0223-1	SHEET 2 OF 8

MAP 135 LOT 32
STINSON HILLS, LLC
317 SOUTH RIVER ROAD
BEDFORD, NH 03110
ZONING DISTRICT: R-2
H.C.R.D. BK. 8623 PG. 2367

MAP 136 LOT 36
HUDSON MEMORIAL POST 5791 VHM
15 BOCKES ROAD
HUDSON, NH 03051
ZONING DISTRICT: G-1
H.C.R.D. BK. 3113 PG. 0342

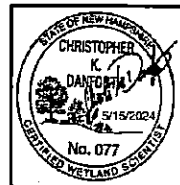
MAP 145 LOT 3
JOSEPH & LOIS IRELAND
70 FERRY STREET
HUDSON, NH 03051
ZONING DISTRICT: G-1
H.C.R.D. BK. 3800 PG. 0804

MAP 145 LOT 2
JOSEPH & LOIS IRELAND
70 FERRY STREET
HUDSON, NH 03051
ZONING DISTRICT: G-1
H.C.R.D. BK. 3300 PG. 0891

MAP 145 LOT 1
1 BOCKES ROAD, LLC
25 PELHAM ROAD, SUITE 103
SALEM, NH 03079
ZONING DISTRICT: G-1
H.C.R.D. BK. 8752 PG. 2019

WETLAND CERTIFICATION

JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED IN JANUARY OF 2022 BY CHRISTOPHER K. DANFORTH CWS #077. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING "FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES" A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USACE 2020 NATIONAL WETLAND PLANT LIST, NWPL 2020 VERSION 3.5 HTTP://WETLAND-PLANTS.USACE.ARMY.MIL

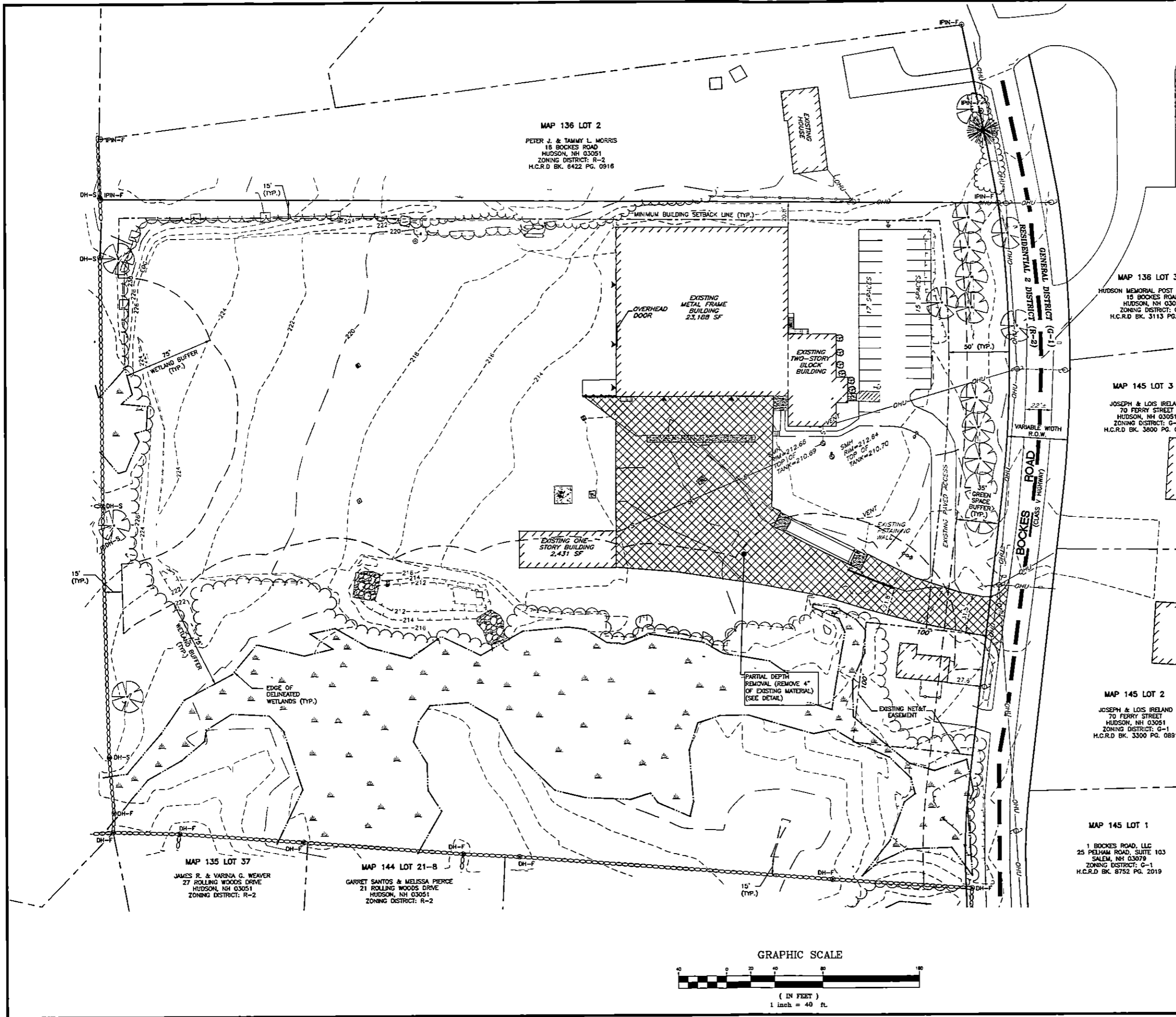


CERTIFICATION:

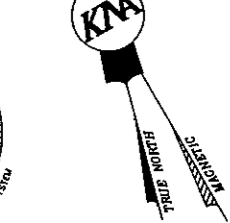
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE DURING MARCH OF 2016. SAID SURVEY HAS A RELATIVE ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) OR BETTER.

LICENSED LAND SURVEYOR

DATE



- REMOVALS/DEMOLITION NOTES:**
1. ALL STUMPS, ROOTS, BRANCHES, BRUSH, WOODS AND OTHER PERISHABLE MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATIONS SHALL BE DISPOSED OF BY AN APPROVED METHOD.
 2. ITEMS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH THE TOWN OF HUDSON REQUIREMENTS, UNLESS OTHERWISE SHOWN HEREON OR DIRECTED BY OWNER.
 3. ALL EXISTING PAVEMENT AND GRAVEL WITHIN THE CROSS HATCHED AREA IS TO BE REMOVED DURING THE DEMOLITION PHASE OF THE PROJECT. EXCESS MATERIAL FROM THESE AREAS SHALL BE APPROPRIATELY DISPOSED OF OFFSITE BY AN APPROVED METHOD.
 4. THE CONTRACTOR SHALL CONTROL ALL DUST GENERATED DURING THE REMOVAL PHASE AND CONSTRUCTION PHASE SO THAT NO DUST LEAVES THE SITE.
 5. ANY MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE RESET BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR AT THE SITE CONTRACTORS EXPENSE.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
 7. DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
 8. WELLS SHALL BE DECOMMISSIONED BY A LICENSED WATER WELL CONTRACTOR IN ACCORDANCE WITH W-604 OR ANY OTHER LOCAL, STATE OR FEDERAL REGULATIONS.
 9. THE UNDERGROUND STORAGE TANK SHALL BE REMOVED IN ACCORDANCE WITH ENV-D 400 OR ANY OTHER LOCAL, STATE OR FEDERAL REGULATIONS.



- LEGEND**
- | | | | |
|---------|--------------------|-----|--------------------|
| • IPN-F | IRON PIN FOUND | --- | ABUTTER LINE |
| ⊙ DH-F | DRILL HOLE FOUND | --- | PROPERTY LINE |
| U | UTILITY POLE | --- | WETLAND |
| + | SIGN | --- | STOCKADE FENCE |
| ⊙ | LIGHT | --- | EDGE OF PAVEMENT |
| ⊙ | WELL | --- | EDGE OF GRAVEL |
| ⊙ | SEWER MANHOLE | --- | STONEWALL |
| ⊙ | DRAINAGE MANHOLE | --- | BUILDING SETBACK |
| ⊙ | CATCH BASIN | --- | GREEN SPACE BUFFER |
| OHU | OVERHEAD UTILITIES | --- | EASEMENT |
| W | WATER LINE | | |
| S | SEPTIC LINE | | |
| G | GAS LINE | | |
| --- | DRAINAGE LINE | | |
| --- | TREELINE | | |
| --- | RETAINING WALL | | |

REMOVALS/DEMOLITION PLAN

MIARA TRANSPORTATION
MAP 136 LOT 1
12 BOCKES ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: JOSEPH A. MIARA JR., TRUSTEE GRANITE REALTY TRUST 12 BOCKES ROAD HUDSON, NH 03051 H.C.R.D. BK. 8410 PG. 2473	APPLICANT: JOSEPH A. MIARA JR., TRUSTEE GRANITE REALTY TRUST 12 BOCKES ROAD HUDSON, NH 03051
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KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

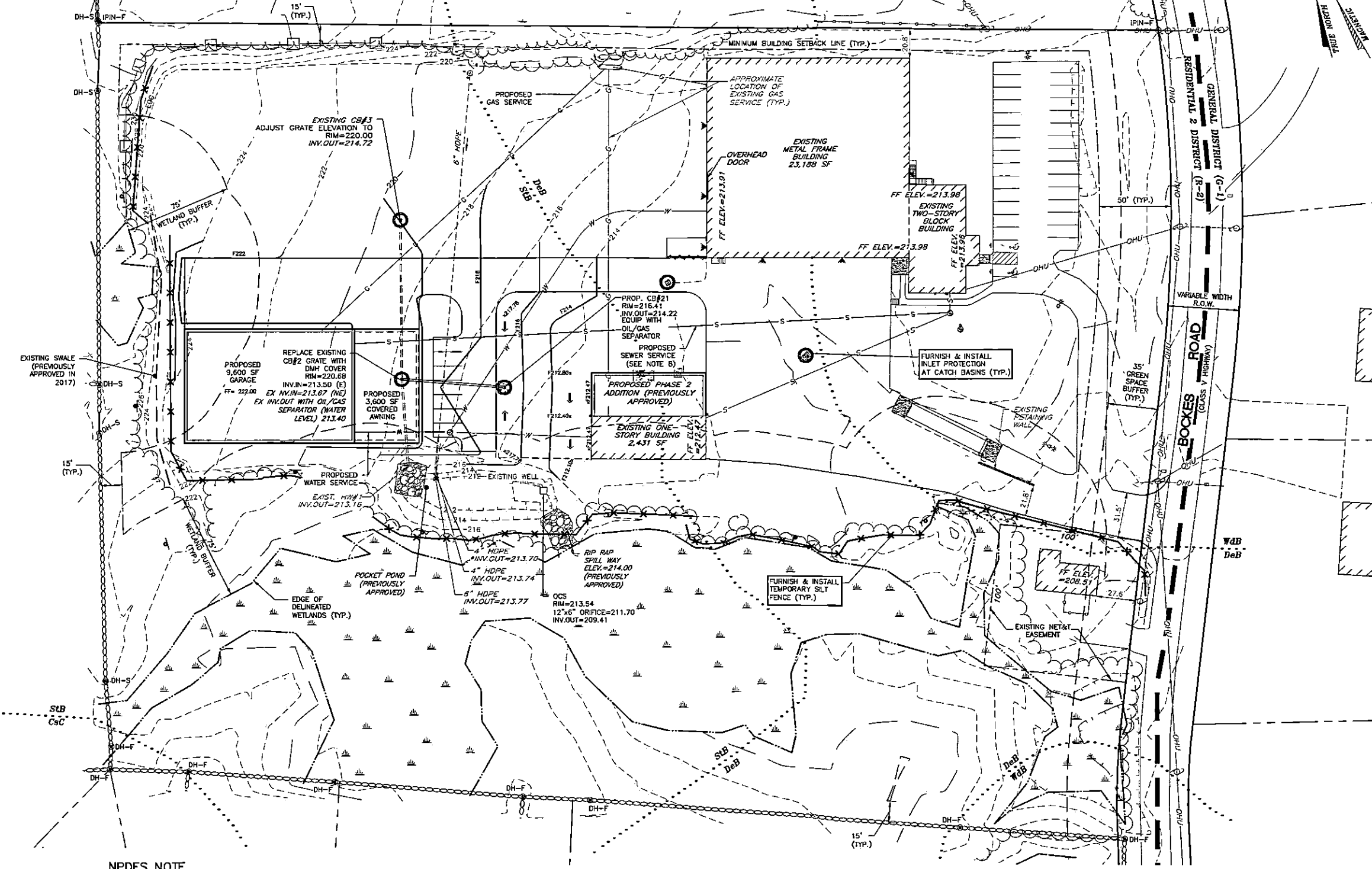
REVISIONS			
No.	DATE	DESCRIPTION	BY
1	6-17-24	REV. PER CON. COM. COMMENTS	ACL

DATE: MAY 20, 2024 SCALE: 1" = 40'
PROJECT NO: 16-0223-1 SHEET 3 OF 8

PAUL CHISHOLM
No. 15078
LICENSED PROFESSIONAL ENGINEER

- LEGEND**
- IPIN-F IRON PIN FOUND
 - DH-F DRILL HOLE FOUND
 - UTILITY POLE
 - WETLAND
 - EDGE OF PAVEMENT
 - EDGE OF GRAVEL
 - 10' CONTOUR
 - 2' CONTOUR
 - STONEWALL
 - SCS SOIL LINE
 - BUILDING SETBACK
 - GREEN SPACE BUFFER
 - EASEMENT
 - ZONE LINE
 - PROPOSED EDGE OF GRAVEL
 - PROPOSED STOCKADE FENCE
 - PROPOSED WATER LINE
 - SEWER MANHOLE
 - CATCH BASIN
 - OVERHEAD UTILITIES
 - WATER LINE
 - SEPTIC LINE
 - GAS LINE
 - DRAINAGE LINE
 - TREELINE
 - RETAINING WALL
 - STOCKADE FENCE
 - ABUTTER LINE
 - PROPERTY LINE
 - WETLAND
 - EDGE OF PAVEMENT
 - EDGE OF GRAVEL
 - 10' CONTOUR
 - 2' CONTOUR
 - STONEWALL
 - SCS SOIL LINE
 - BUILDING SETBACK
 - GREEN SPACE BUFFER
 - EASEMENT
 - ZONE LINE
 - PROPOSED EDGE OF GRAVEL
 - PROPOSED STOCKADE FENCE
 - PROPOSED WATER LINE

LOAM & SEED ALL
DISTURBED AREAS (TYP.)



- CONSTRUCTION NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPARTMENT, HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHOWN SHALL BE HDPE. CATCH BASINS SHALL BE TYPE B, AND HAVE 3' SUMPS UNLESS OTHERWISE NOTED.
 3. CATCH BASINS TO BE REPLACED IF FOUND NOT TO HAVE 3' SUMPS OR PROPOSED OIL/GAS SEPARATORS DO NOT FIT IN STRUCTURE.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 611 AT LEAST 72 HOURS BEFORE DIGGING.
 5. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 6. SEE DRAINAGE PROFILES AND CONSTRUCTION DETAILS FOR SPECIFIC CONSTRUCTION INFORMATION.
 7. THE INSTALLATION OF THE PROPOSED ABOVE GROUND STORAGE TANK, FUEL DISPENSARY SYSTEM, CONCRETE PAD AND APPURTENANCES SHALL CONFORM TO ENV-00-300 AND ALL OTHER LOCAL, STATE AND FEDERAL REGULATIONS PRIOR TO CONSTRUCTION. ANY APPROVALS SHALL BE SENT TO THE TOWN OF HUDSON.
 8. EXISTING SEPTIC SYSTEM CAPACITY TO BE VERIFIED BY A LICENSED SEPTIC DESIGNER PRIOR TO CONSTRUCTION.

- EROSION CONTROL NOTES:**
1. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME.
 2. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
 3. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
 4. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
 5. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
 6. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSIDE DRAINAGE SYSTEMS SHALL BE MAINTAINED.
 7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
 8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
 9. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
 10. SNOW ACCUMULATED DURING THE WINTER CONSTRUCTION CONDITIONS SHOULD BE STORED IN THE STAGING & STOCKPILE AREA, SURROUNDED BY SILT FENCE.

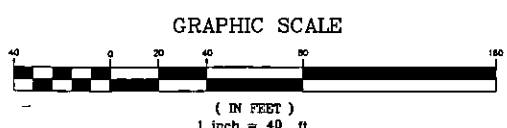


- EROSION & SEDIMENT CONTROL LEGEND**
- TEMPORARY BLOCK AND GRAVEL SEDIMENT BARRIERS AT ALL CATCH BASINS
 - TEMPORARY SILT FENCE
 - TEMPORARY STONE CHECK DAM
 - LIMITS OF CLEARING
 - EROSION CONTROL BLANKETS
 - STAGING AND STOCKPILE AREA

NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND. THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.

- SCS SOILS LEGEND**
- CsC CHATFIELD-HOLIS COMPLEX, 8-15% SLOPES
 - DeB DEERFIELD LOAMY FINE SAND, 3-8% SLOPES
 - HsC HINCKLEY LOAMY SAND, 8-15% SLOPES
 - StB SORTUATE STONY FINE SANDY LOAM, 3-8% SLOPES
 - WdB WINDSOR LOAMY SAND, 3-8% SLOPES
- SOURCE: USDA-SCS WEB SOIL SURVEY



GRADING, DRAINAGE, UTILITY & EROSION CONTROL PLAN
MIARA TRANSPORTATION
MAP 136 LOT 1
12 BOCKES ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:		APPLICANT:	
JOSEPH A. MIARA JR., TRUSTEE GRANITE REALTY TRUST 12 BOCKES ROAD HUDSON, NH 03051 H.C.R.D. BK. 8410 PG. 2473		JOSEPH A. MIARA JR., TRUSTEE GRANITE REALTY TRUST 12 BOCKES ROAD HUDSON, NH 03051	

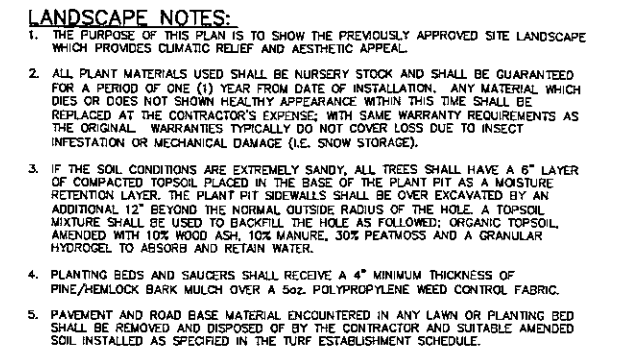
KMA KEACH-NORDSTROM ASSOCIATES, INC.
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REVISIONS			
No.	DATE	DESCRIPTION	BY
1	6-17-24	REV. PER CON. COM. COMMENTS	ACL

DATE: MAY 20, 2024 SCALE: 1" = 40'
PROJECT NO: 16-0223-1 SHEET 5 OF 8

PAUL CHISHOLM
No. 15078
LICENSED PROFESSIONAL ENGINEER
STATE OF NEW HAMPSHIRE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT
TREES					
Ar	11	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2-2.5' CAL	40-60'
SHRUBS					
To	15	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT WESTERN ARBORVITAE	5-6' B&B	30-40'
To	11	THUJA OCCIDENTALIS 'WINTERGREEN'	WINTERGREEN ARBORVITAE	4-5' B&B	15-20'



REQUIRED PARKING LOT INTERIOR LANDSCAPE AREA
PROPOSED PARKING AREA PAVED: 17,512 SF
TOTAL REQUIRED LANDSCAPE AREA: 17,512 SF
PROPOSED LANDSCAPE AREA: 3,224 SF

REQUIRED PARKING LOT SHADE TREES AND SHRUBS
PROPOSED PAVED AREA: 17,512 SF
SHADE TREES REQUIRED: (17,512/1,600): 11 TREES REQUIRED
SHADE SHRUBS REQUIRED: (17,512/200): 88 SHRUBS
(OR 1.6 x 7 PROP. PARKING SPACES) 11 SHRUBS
SHRUBS PROVIDED: 11 SHRUBS PROVIDED

• IPH-F	IRON PIN FOUND	_____	ABUTTER LINE
⊙ DH-F	DRILL HOLE FOUND	_____	PROPERTY LINE
⊙	UTILITY POLE	_____	WETLAND
+	SIGN	_____	STOCKADE FENCE
⋄	LIGHT	_____	EDGE OF PAVEMENT
⊙	WELL	_____	EDGE OF GRAVEL
⊙	SEWER MANHOLE	_____	STONEWALL
⊙	DRAINAGE MANHOLE	_____	BUILDING SETBACK
⊙	CATCH BASIN	_____	GREEN SPACE BUFFER
— OHU —	OVERHEAD UTILITIES	_____	EASEMENT
~~~~~	RETAINING WALL	_____	PROPOSED EDGE OF GRAVEL
_____		_____	PROPOSED STOCKADE FENCE
		_____	PROPOSED LOAM & SEED

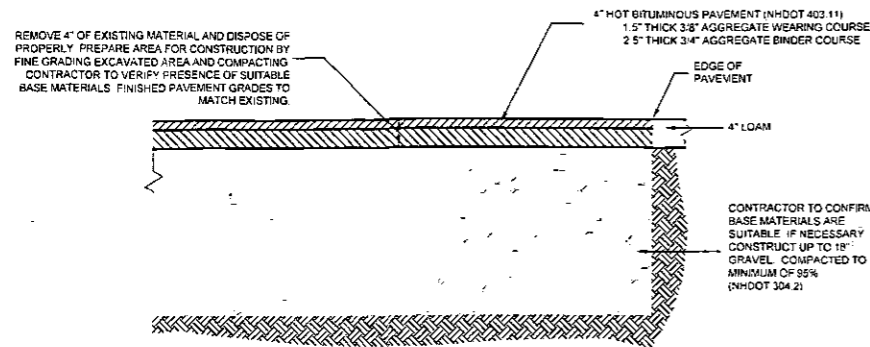
**MIARA TRANSPORTATION**  
**MAP 136 LOT 1**  
**12 BOCKES ROAD**  
**HUDSON, NEW HAMPSHIRE**  
**HILLSBOROUGH COUNTY**

**OWNER OF RECORD:**  
JOSEPH A. MIARA JR., TRUSTEE  
GRANITE REALTY TRUST  
12 BOCKES ROAD  
HUDSON, NH 03051  
H.C.R.D. BK. 8410 PG. 2473

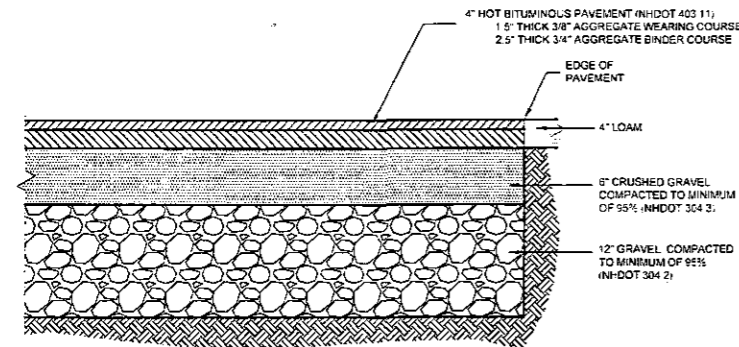
**APPLICANT:**  
JOSEPH A. MIARA JR., TRUSTEE  
GRANITE REALTY TRUST  
12 BOCKES ROAD  
HUDSON, NH 03051

**KNA**  
KEACH-NORDSTROM ASSOCIATES, INC.  
Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite SE, Bedford, NH 03110 Phone (603) 827-2881

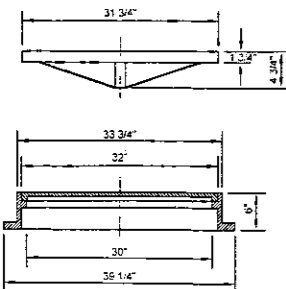
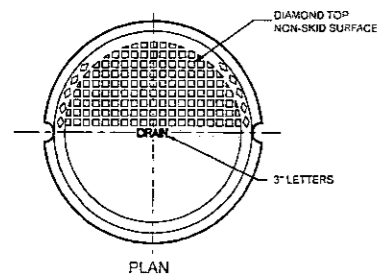
<b>REVISIONS</b>					
<b>No.</b>	<b>DATE</b>	<b>DESCRIPTION</b>			<b>BY</b>
1	6-17-24	REV.	PER	CON. COM.	COMMENTS AC
<b>DATE: MAY 20, 2024</b>				<b>SCALE: 1" = 40'</b>	
<b>PROJECT NO: 16-0223-1</b>				<b>SHEET 6 OF 8</b>	



PHASE I & II PAVEMENT RECONSTRUCTION SECTION  
NOT TO SCALE



FULL DEPTH PAVEMENT SECTION  
NOT TO SCALE



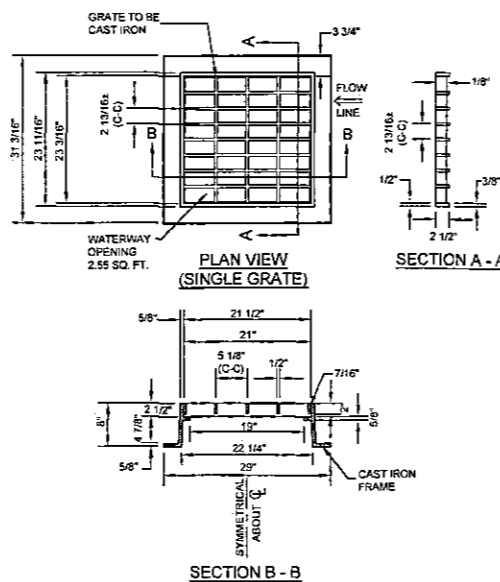
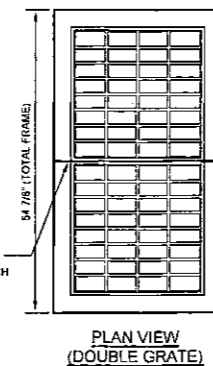
DRAIN MANHOLE FRAME AND COVER DETAIL  
NOT TO SCALE  
(JANUARY 2012)

- NOTES:**  
NEW HAMPSHIRE MAINTAINS A CLEAR OPENING DESIGNATION OF 30\"/>
  - 3\"/>
  - COVERS MARKED DRAIN
  - NONROCKING COVER
  - DIAMOND SURFACE DESIGN

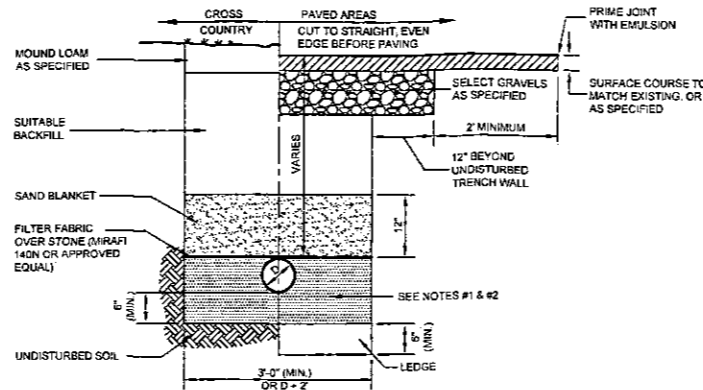
**SPECIFICATIONS:**

  - FULLY MACHINED FRAME AND COVER
  - H-20 LOAD RATED
  - GRAY CAST IRON MEETS ASTM A48 CLASS 30

NOTE: FOR DOUBLE GRATE, OMIT FLANGE ON ONE SIDE ON EACH FRAME

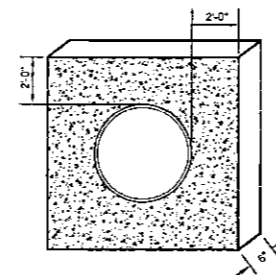


TYPE B FRAME & GRATE DETAIL  
NOT TO SCALE  
(MARCH 2008)



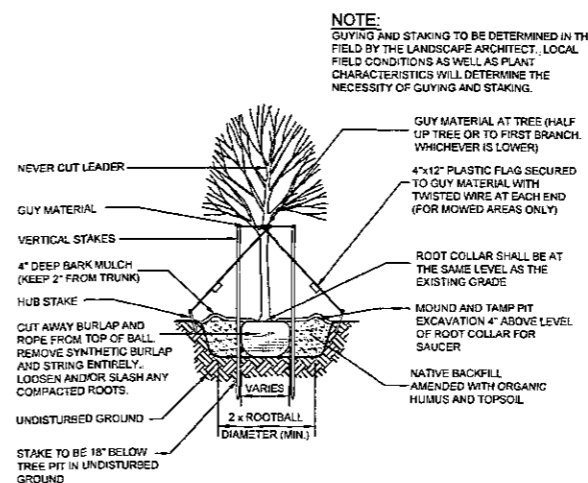
- NOTES**
1. THOROUGHLY COMPACTED SCREENED GRAVEL FOR RCP PIPE. SCREENED GRAVEL TO EXTEND TO SELECT FILL LINE.
  2. FOR HDPE OR PVC PIPE, BEDDING SHALL BE 3/4\"/>

STORM DRAINAGE TRENCH DETAIL  
NOT TO SCALE  
(MARCH 2008)

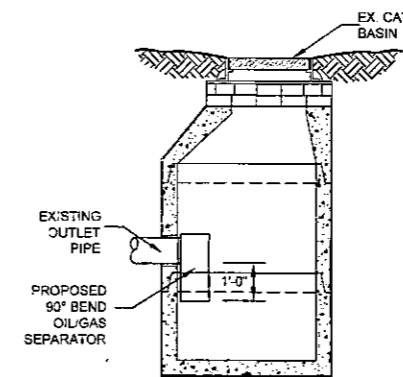


- NOTES:**
1. 3,000 PSI POURED IN PLACE CONCRETE.

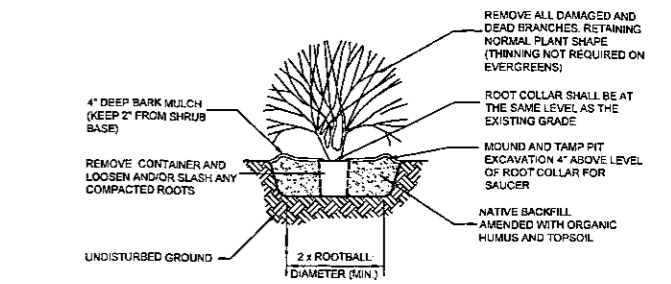
CONCRETE COLLAR DETAIL  
NOT TO SCALE



DECIDUOUS TREE PLANTING DETAIL  
NOT TO SCALE  
(JANUARY 2012)

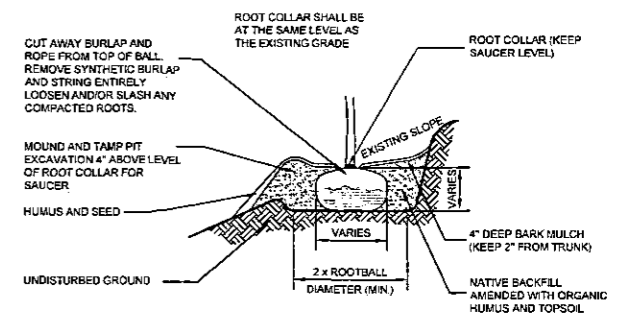


OIL/GAS SEPARATOR  
NOT TO SCALE



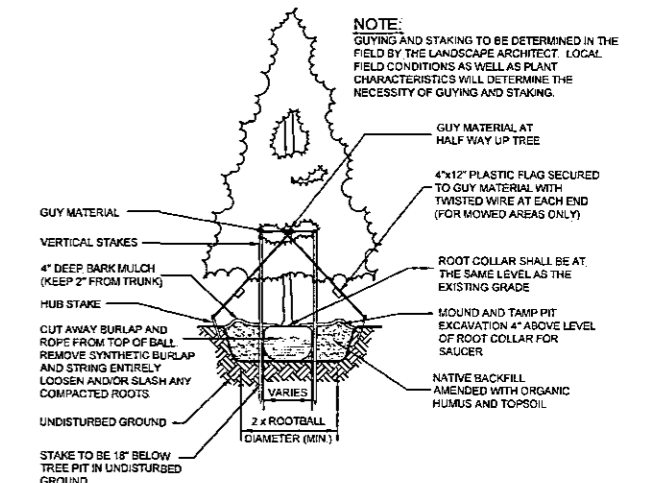
CONTAINER SHRUB PLANTING DETAIL

NOT TO SCALE  
(JANUARY 2012)



TYPICAL PLANTING PIT ON SLOPE 4:1 OR GREATER

NOT TO SCALE  
(JANUARY 2012)



EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE  
(JANUARY 2012)

## CONSTRUCTION DETAILS

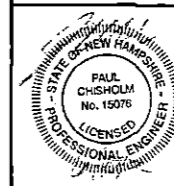
**MIARA TRANSPORTATION**  
MAP 136 LOT 1  
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Civil Engineering Land Surveying Landscape Architecture

10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2861



### REVISIONS

No.	DATE	DESCRIPTION	BY
1	6-17-24	REV. PER CON. COM. COMMENTS	ACL

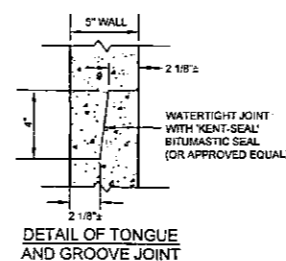
DATE: MAY 20, 2024

PROJECT NO: 16-0223-1

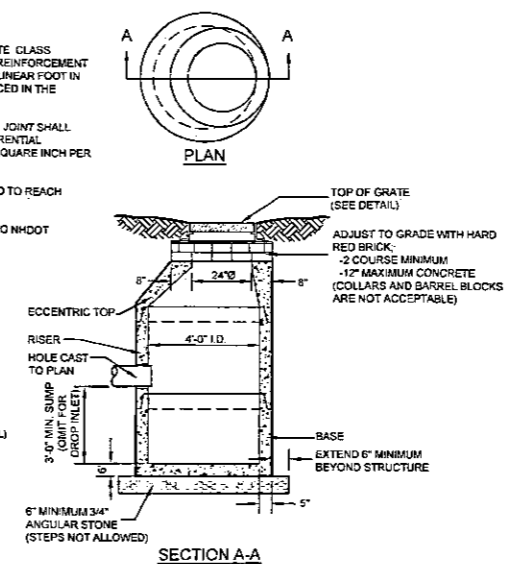
SCALE: AS SHOWN

SHEET 7 OF 8

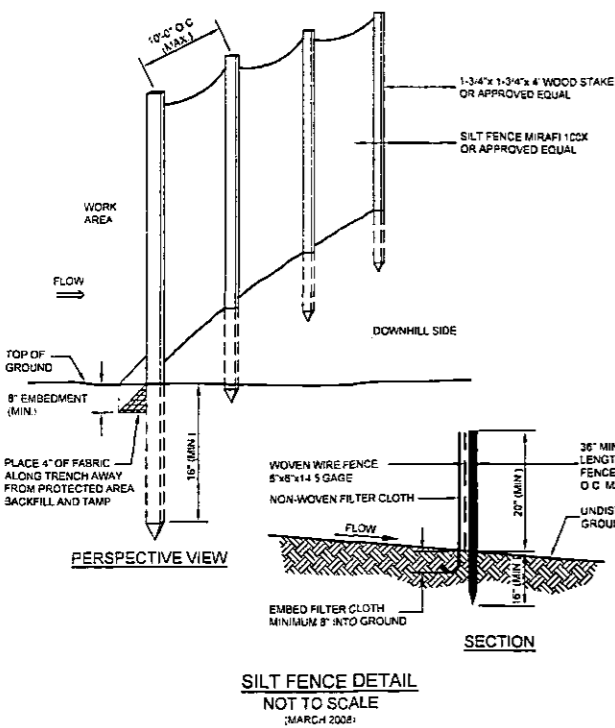
- NOTES:**
1. ALL SECTIONS SHALL BE CONCRETE CLASS AA(4000 PSI). CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCH PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
  2. THE TONGUE OR GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCH PER LINEAR FOOT.
  3. RISER OF 1", 2", 3" & 4" CAN BE USED TO REACH DESIRED DEPTH.
  4. MATERIALS AND CONSTRUCTION TO NHDOT STANDARDS.



DETAIL OF TONGUE AND GROOVE JOINT

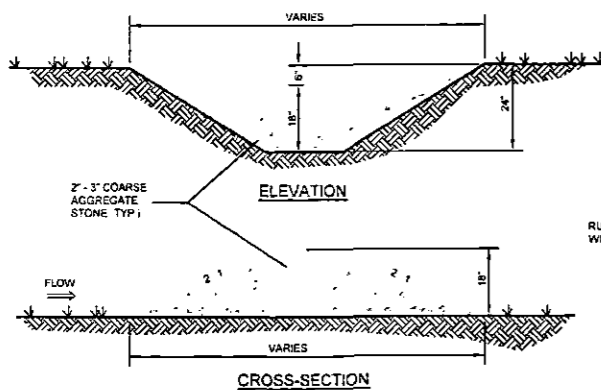


PRECAST REINFORCED CATCH BASIN  
NOT TO SCALE  
(MAY 2012)

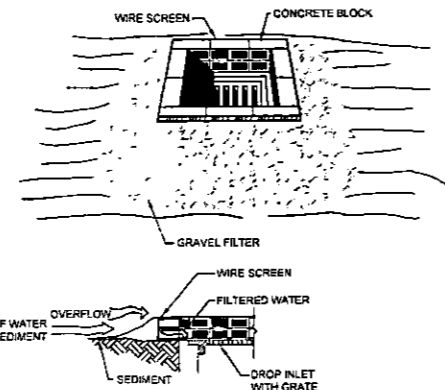


**SILT FENCE DETAIL**  
NOT TO SCALE  
(MARCH 2008)

**STONE CHECK DAM SPACING DETAIL**  
NOT TO SCALE  
(MARCH 2008)



**STONE CHECK DAM DETAIL**  
NOT TO SCALE  
(MARCH 2008)



#### NOTES:

- CONCRETE BLOCKS SHOULD BE PLACED LENGTHWISE ON THEIR SIDES IN A SINGLE ROW AROUND THE PERIMETER OF THE INLET. THE ENDS OF EACH BLOCK SHOULD BE ABUTTING. THE HEIGHT OF THE BARRIER CAN BE VARIED DEPENDING ON THE DESIGN BY STACKING VARIOUS COMBINATIONS OF DIFFERENT SIZED BLOCKS. THE BARRIER SHOULD BE A MINIMUM OF 12 INCHES HIGH AND A MAXIMUM OF 24 INCHES HIGH.
- HARDWARE CLOTH OR WIRE MESH SHOULD BE PLACED OVER OPENINGS OF THE CONCRETE BLOCKS AND EXTENDED AT LEAST 12 INCHES AROUND THE OPENING TO PREVENT AGGREGATE FROM BEING TRANSPORTED THROUGH THE OPENINGS IN THE BLOCK.
- SEWER STONE OR OTHER CLEAN COARSE AGGREGATE SHOULD BE PLACED AGAINST THE BLOCK TO THE TOP OF THE BARRIER.

#### BLOCK & GRAVEL DROP INLET SEDIMENT FILTER

**NOT TO SCALE**  
(MARCH 2008)

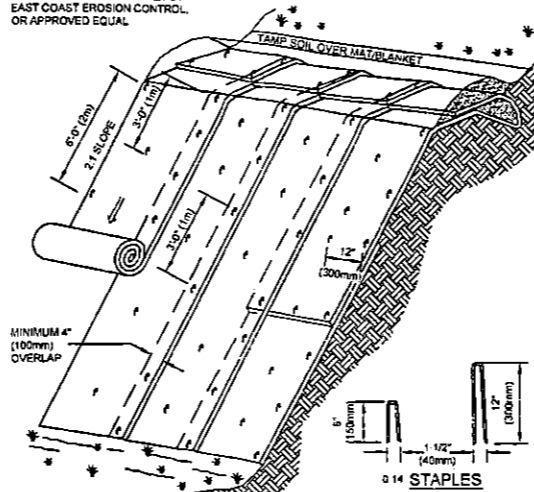
#### CONSTRUCTION SPECIFICATIONS:

- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIE OR STAPLES WHERE NOTED OR AS DIRECTED BY DESIGN ENGINEER.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MIDSECTION AND BOTTOM.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 8 INCHES, FOLDED AND STAPLED.
- FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 18 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOLID QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

#### MAINTENANCE:

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

MATS/BLANKETS SHOULD BE INSTALLED VERTICALLY DOWNSLOPE AND SHALL BE DOUBLE NET COCONUT BIODEGRADABLE ROLLED EROSION CONTROL BLANKET BY EAST COAST EROSION CONTROL, OR APPROVED EQUAL.



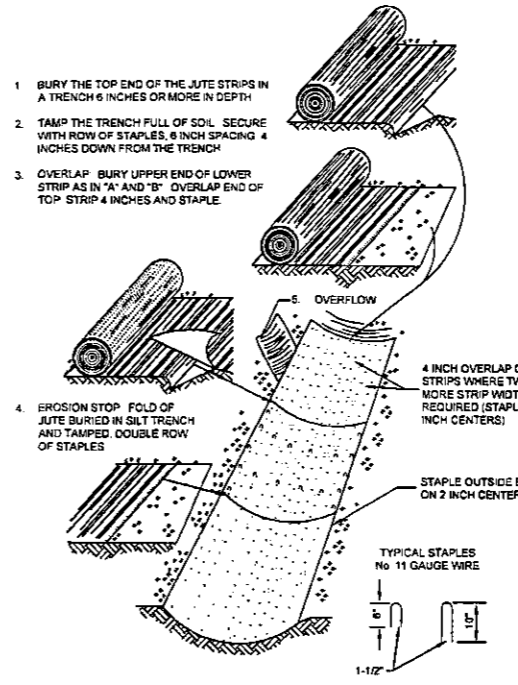
**ISOMETRIC VIEW**

#### NOTES:

- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
- APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
- LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL DO NOT STRETCH.

#### EROSION CONTROL BLANKETS - SLOPE INSTALLATION

**NOT TO SCALE**  
(AUGUST 2011)



#### EROSION CONTROL BLANKETS - SWALE INSTALLATION

**NOT TO SCALE**  
(MARCH 2008)

#### CONSTRUCTION SEQUENCE

- FIRST CUT AND CLEAR TREES AND BRUSH ONLY WITHIN DESIGNATED LIMITS OF CLEARING AS NECESSARY TO FACILITATE PROPOSED CONSTRUCTION. ALL TREES, BRANCHES AND OTHER VEGETATIVE MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR. THIS PROJECT IS MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 480:33 AND AGR 360:2 RELATIVE TO INVASIVE SPECIES.
- PRIOR TO COMMENCEMENT OF ANY EARTHMOVING OPERATIONS, ALL APPLICABLE TEMPORARY EROSION CONTROL MEASURES, INCLUDING SPECIFIED PERIMETER SILTATION FENCING AND STABILIZED CONSTRUCTION EXIT SHALL BE IN PLACE AS SHOWN ON THE PROJECT PLANS.
- COMPLETE GRADING OPERATIONS. ALL STUMPS AND SIMILAR ORGANIC DEBRIS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR. NATURE ORGANIC MATERIALS SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED WITHIN AREAS OUT OF THE WAY OF OTHER CONSTRUCTION ACTIVITIES AND DRAINAGE FLOW STOCKPILES SHALL BE TEMPORARILY SEED WITH WINTER RYE AND BE SURROUNDED WITH HAY BALES AND/OR FABRIC SILTATION FENCE IN ORDER TO PREVENT LOSS DUE TO EROSION.
- BEGIN EARTHMOVING OPERATIONS. ALL EARTHMOVING WORK NEEDED TO BALANCE SITE AND FACILITATE BUILDING FOUNDATION AND RETAINING WALL CONSTRUCTION. PERMANENT DOWNSLOPE WORK SHALL BE PROTECTED FROM UPGRAD/ENT STORMWATER FLOW BY THE CONSTRUCTION OF TEMPORARY EARTHEN DIKES OR EXCAVATED SWALES.
- ONCE BUILDING FOUNDATION WORK IS UNDERWAY, CONTINUE EARTHMOVING OPERATIONS UNTIL DESIGN SUBGRADE IS ACHIEVED.
- INSTALL DRAINAGE SWALE SYSTEMS AND OTHER UTILITIES WORKING FROM LOW TO HIGH. INCOMPLETE WORK SHALL BE PROTECTED FROM SILTATION BY THE USE OF SILTATION BARRIERS AROUND SWALES UNTIL THE SITE HAS BECOME FULLY STABILIZED.
- PLACE GRAVEL AND CRUSHED GRAVEL OVER PROPOSED DRIVEWAY, WALKS AND PARKING AREAS AND COMPACT IN SPECIFIED LIFT THICKNESS.
- COMPLETE EXCAVATION/STABILIZATION GRADING ACTIVITIES. WHEN COMPLETE, IMMEDIATELY BEGIN TOPSOILING PROPOSED TURF AREAS USING STOCKPILED LOAM SUPPLEMENTED WITH BORROW LOAM. IF NECESSARY TO LEAVE A THICKNESS OF 4 INCHES OF FRIABLE LOAM.
- FINE GRADE ALL FUTURE TURF AREAS AND HYDROSEED WITH THE SPECIFIED SEED MIXTURE IMMEDIATELY AFTER FINE GRADING IS COMPLETED. ALL AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
- IN THE BINDER COURSE OF PAVEMENT OVER ALL DESIGNATED AREAS.
- CONTINUE TO MONITOR AND RECTIFY MINOR SITE AND SLOPE EROSION UNTIL ENTIRE SITE APPEARS TO BE COMPLETELY STABILIZED AND COVERED WITH A HEALTHY STAND OF TURF OR GROUND COVER. MAINTAIN SPECIFIED SILTATION/EROSION CONTROL MEASURES THROUGH ONE WINTER.
- INSTALL THE SPECIFIED WEARING COURSE OF PAVEMENT OVER THE BINDER COURSE.
- COMPLETE INSTALLATION OF LANDSCAPING, SIGNAGE AND OTHER SITE AMENITIES.

#### EROSION CONTROL NOTES

- EXPOSED EARTHWORK SHALL BE CONFINED TO AS LIMITED AN AREA AS IS PRACTICAL AT ANY GIVEN TIME THROUGHOUT THE CONSTRUCTION SEQUENCE. AT NO TIME SHALL MORE THAN FIVE (5) ACRES OF SITE AREA BE IN AN UNSTABLE CONDITION. NO GIVEN AREA OF THE SITE SHALL BE LEFT IN AN UNSTABILIZED CONDITION FOR A PERIOD OF TIME EXCEEDING THIRTY (30) CALENDAR DAYS.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS. IN ADDITION, SIMILAR MEASURES SHALL BE INSTALLED WHERE AND WHEN THE FIELD CONDITION OR FIELD OPERATION OF THE INDIVIDUAL SITE CONTRACTOR, MAY WARRANT. ALL TEMPORARY EROSION CONTROL MEASURES USED SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25\"/>

#### WINTER CONSTRUCTION NOTES:

- ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF TRAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROXIMATELY 12 INCHES ABOVE FINISH GRADE.
- AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER MDOT ITEM 304.3 OR, IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON, BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED.
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
  - A MINIMUM OF 3\"/>

#### TURF ESTABLISHMENT SCHEDULE

##### PURPOSE:

TO ESTABLISH AND MAINTAIN PERMANENT AND TEMPORARY TURF AREAS, RESTORE GROWTH TO EXISTING TURF AREAS DISTURBED DURING CONSTRUCTION AND CONTROL SOIL EROSION.

##### PREPARATION AND EXECUTION:

- RAKE THE SUBGRADE OF ALL AREAS TO BE LOAMED AND SEED TO REMOVE RUBBISH, STICKS, ROOTS AND STONES LARGER THAN 1 INCH.
- PLACE LOAM OVER AREAS TO BE SEED AND SPREAD.
- FINE GRADE SURFACE AND SUPPLEMENT WITH SUITABLE LOAM WHERE NEEDED TO CREATE A UNIFORM SURFACE ACCORDING TO THE FINISH GRADES INDICATED. TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED. NO LOAM SHALL BE SPREAD IF THE SUBGRADE IS EXCESSIVELY WET OR FROZEN.
- APPLY LOAM EVENLY OVER LOAM SURFACE AND THOROUGHLY INCORPORATE LOAM INTO THE LOAM BY HEAVY RAKING TO AT LEAST ONE-HALF THE DEPTH OF THE LOAM.
- APPLY FERTILIZER AND MIX WITH THE UPPER 2 INCHES OF LOAM.
- DETERMINE APPROPRIATE MIXTURE FOR AREA TO BE SEED BASED ON EXAMINATION OF PROJECT PLANS. UNIFORMLY SPREAD THE SEED BY BROADCASTING OR HYDROSEEDING. IF BROADCASTING, LIGHTLY RAKE INTO THE PREPARED SURFACE AND ROLL. IF, HYDROSEEDING, USE 4 TIMES THE RECOMMENDED RATE OF INOCULANT AFTER SEED IS SPREAD, WATER THOROUGHLY WITH A FINE SPRAY.
- SEEDING FOR PERMANENT COVER SHALL OCCUR BETWEEN SEPTEMBER 15 AND OCTOBER 15 AND BETWEEN APRIL 15 AND JUNE 15. SEEDING SHALL NOT BE DONE DURING WINDY WEATHER, WHEN THE GROUND IS FROZEN OR EXCESSIVELY WET OR OTHERWISE UNTILTABLE.
- WITHIN 24 HOURS AFTER SEEDING OPERATION, UNIFORMLY MULCH THE AREA WITH HAY, ANCHOR MULCH ON ALL SLOPES EXCEEDING 3:1 USING MULCH NETTING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER.
- PROTECT AND PREVENT AGAINST WASHOUTS. ANY WASHOUTS WHICH OCCUR SHALL BE PROMPTLY REGRADED AND RESEED.
- WHEN IT IS IMPRACTICAL TO ESTABLISH PERMANENT GROWTH ON DISTURBED EARTH BY OCTOBER 15, A TEMPORARY SEED MIXTURE SHALL BE USED. WHEN TEMPORARY SEEDING CANNOT ESTABLISH VISIBLE GROWTH, THE DISTURBED AREA SHALL BE COVERED WITH SIX INCHES OF MULCH FOR THE WINTER.

##### MAINTENANCE:

ALL SEEDING AREAS SHALL BE KEPT WATERED AND IN GOOD CONDITION. RESEED AS NECESSARY TO ESTABLISH HEALTHY UNIFORM GROWTH OVER THE ENTIRE SEEDING AREA. MAINTAIN SEEDING AREAS IN AN APPROVED CONDITION UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE REPAIRS FOR DAMAGE CAUSED BY EROSION.

##### APPLICATION RATES:

- LOAM SHALL BE APPLIED AT A MINIMUM COMPACTED THICKNESS OF 4 INCHES.
- LOAM SHALL BE APPLIED AT A RATE OF 75 TO 100 POUNDS PER 1,000 S.F.
- FERTILIZER SHALL BE APPLIED AT A RATE OF 30 POUNDS PER 1,000 S.F.
- SEED MIXTURE FOR LAWN AREAS SHALL BE APPLIED AT A RATE OF AT LEAST 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
- TEMPORARY SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1,000 S.F.
- SEED MIXTURE FOR SLOPE AREAS SHALL BE APPLIED AT A RATE OF 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
- SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS SHALL BE APPLIED AT A RATE OF 70 POUNDS PER ACRE OR 1.5 POUNDS PER 1,000 S.F.
- MULCH SHALL BE APPLIED AT A RATE OF 90 POUNDS PER 1,000 S.F.

##### MATERIALS:

- LOAM USED FOR TOPSOIL SHALL BE FRIABLE, FERTILE, NATURAL FREE-DRAINING LOAM FREE OF ROOTS, GRASS, STICKS, WEEDS, CLAY, SOO LUMPS, DEBRIS AND STONES LARGER THAN 1 INCH IN ANY DIMENSION. SOIL SHALL NOT BE EXCESSIVELY ACID OR ALKALINE AND CONTAIN NO TOXIC MATERIALS.
- LIME SHALL BE GROUND LIMESTONE CONTAINING NO LESS THAN 85% CALCIUM AND MAGNESIUM CARBONATES.
- FERTILIZER SHALL BE 10-20-20 COMMERCIAL GRADE.
- SEED MIXTURE FOR LAWN AREAS SHALL BE 99% PURE LIVE SEED AND CONSIST OF THE FOLLOWING:
  - 25% CREEPING RED FESCUE
  - 25% KENTUCKY BLUEGRASS
  - 25% REDTOP
  - 25% MANHATTAN PERENNIAL RYEGRASS
- TEMPORARY SEEDING MIXTURE SHALL BE AN APPROVED CONSERVATION MIX OR CONSIST OF THE FOLLOWING:
  - 15% BLACKWELL OR SHELTER SWITCHGRASS
  - 20% NAGRA OR KAY BIG BLUESTEM
  - 30% CAMPER OR BLAZE LITTLESTEM
  - 15% NE-27 OR BLAZE SAND LOVEGRASS
  - 10% VIKING BIRDFOOT TREFOIL
  - INOCULUM SPECIFIC TO BIRDFOOT TREFOIL MUST BE USED WITH THIS MIXTURE. IF SEEDING BY HAND, A STICKING AGENT SHALL BE USED. IF SEEDING WITH A HYDROSEEDER, USE FOUR TIMES THE RECOMMENDED AMOUNT OF INOCULUM.
- SEED MIXTURE FOR SLOPE AREAS SHALL BE 99% PURE LIVE SEED AND SHALL CONSIST OF THE FOLLOWING:
  - 20% CREEPING RED FESCUE
  - 40% PERENNIAL RYEGRASS
  - 15% REDTOP
  - 15% BIRDFOOT TREFOIL
  - INOCULUM SPECIFIC TO BIRDFOOT TREFOIL MUST BE USED WITH THIS MIXTURE. IF SEEDING BY HAND, A STICKING AGENT SHALL BE USED. IF SEEDING WITH A HYDROSEEDER, USE FOUR TIMES THE RECOMMENDED AMOUNT OF INOCULUM.
- SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS, INCLUDING DETENTION BASINS AND VEGETATED TREATMENT SWALES SHALL CONSIST OF THE FOLLOWING:
  - 25% CREEPING RED FESCUE
  - 25% SWITCH GRASS
  - 15% FOX SEDGE
  - 15% CREEPING BENTGRASS
  - 15% FLATPEA
  - 20% WILDFLOWER VARIETY
- HAY USED FOR MULCH SHALL CONSIST OF MOWED AND PROPERLY CURED GRASS OR LEGUME MIXINGS, FREE FROM WEEDS, TWIGS, DEBRIS OR OTHER DELETERIOUS MATERIAL AND ROT OR MOLD.

#### CONSTRUCTION DETAILS

**MIARA TRANSPORTATION**  
MAP 136 LOT 1  
12 BOCKES ROAD  
HUDSON, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

##### OWNER OF RECORD:

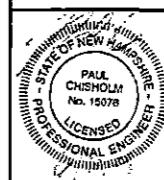
JOSEPH A. MIARA JR., TRUSTEE  
GRANITE REALTY TRUST  
12 BOCKES ROAD  
HUDSON, NH 03051  
H.C.R.D. BK. 8410 PG. 2473

##### APPLICANT:

JOSEPH A. MIARA JR., TRUSTEE  
GRANITE REALTY TRUST  
12 BOCKES ROAD  
HUDSON, NH 03051

**KMA**  
KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



##### REVISIONS

No.	DATE	DESCRIPTION	BY
1	6-17-24	REV. PER CON. COM. COMMENTS	ACL

DATE: MAY 20, 2024

PROJECT NO: 16-0223-1

SCALE: AS SHOWN

SHEET 8 OF 8

WETLAND IMPACT PLAN

BROX INDUSTRIES, INC.

85 GREELEY STREET  
HUDSON, NEW HAMPSHIRE

WILDLIFE NOTE:

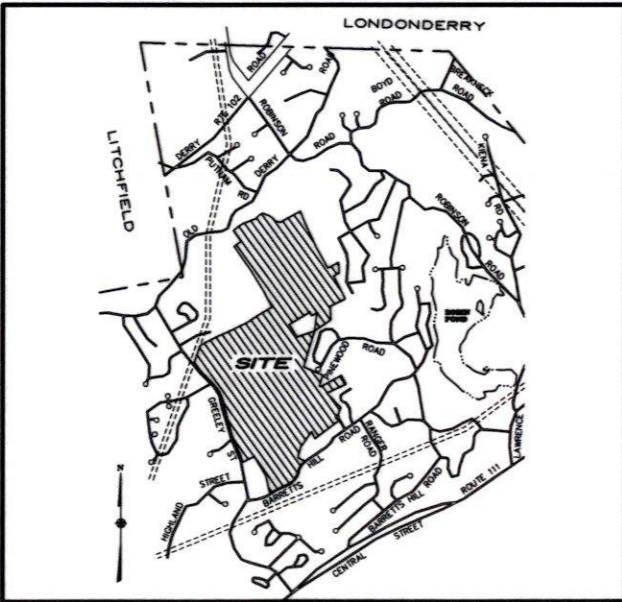
THE CONTRACTOR SHALL MAKE SURE HIGHER OUTSIDE CONSTRUCTION PERSONNEL RECEIVE TRAINING IN THE IDENTIFICATION OF THE FOLLOWING AND BE AWARE OF THEIR PROTECTED STATUS.

BLANDING'S TURTLE (state endangered)



- Large, dark/black domed shell with lighter speckles
- Distinct yellow throat/chin
- Aquatic by often moves on land

IF SPOTTED OR BLANDING TURTLES ARE FOUND LAYING EGGS IN A WORK AREA, PLEASE CONTACT MELISSA DOPHERSKI AT 803 271-1728 OR JOSH MEOVESY AT 803 271-1125 FOR FURTHER INSTRUCTIONS.



VICINITY PLAN  
SCALE: 1"=3,000'

PREPARED FOR

BROX INDUSTRIES, INC.

1 TECH DRIVE, SUITE 310  
ANDOVER, MASSACHUSETTS 01810  
(978) 454-9105

15 JULY 2024

INDEX OF PLANS

SHEET No.	TITLE	
1 OF 4	MASTER WETLAND IMPACT PLAN	1"= 400'
2 OF 4	EXISTING CONDITIONS PLAN	1"= 400'
3 OF 4	WETLAND IMPACT PLAN	1"= 100'
4 OF 4	DETAIL SHEET - EROSION CONTROL	

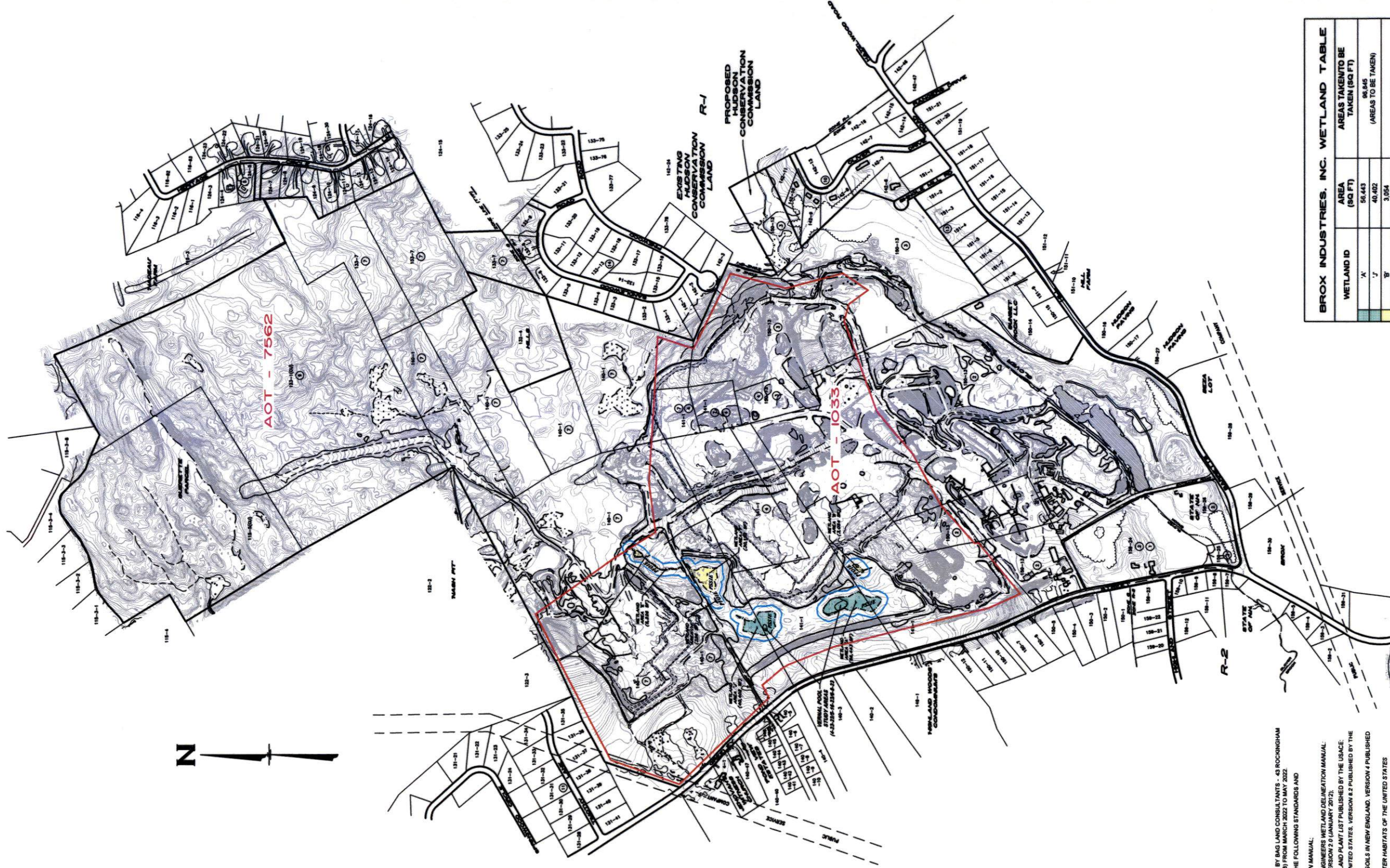


Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors  
3 Congress Street Nashua, NH 03062 (603) 883-2057  
131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501  
www.hayner-swanson.com







WETLAND CERTIFICATION

THE WETLANDS ON THIS PROJECT WERE DELINEATED BY BAG LAND CONSULTANTS - 43 ROCKINGHAM STREET, CONCORD NH 03301 (BRUCE GILDAY, CWS #88) FROM MARCH 2022 TO MAY 2022. WETLAND BOUNDARIES WERE PREPARED UTILIZING THE FOLLOWING STANDARDS AND METHODOLOGIES:

- CORPS OF ENGINEERS WETLAND DELINEATION MANUAL;
- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEASTERN AND NORTHEAST REGION, VERSION 2.0 (JANUARY 2012);
- NORTHEASTERN REGIONAL WETLAND PLANT LIST PUBLISHED BY THE USACE;
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.2 PUBLISHED BY THE USDA NRCS;
- FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4 PUBLISHED BY THE NEMPPCC;
- CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES (COMARON ET AL., 1976, REVISED 1985);
- HIGHWAY METHODOLOGY WORKBOOK SUPPLEMENT (USACE, 1996) FOR ASSESSING FUNCTIONS AND VALUES.

VERNAL POOL STUDY VERIFICATION

ON JUNE 8, 2023, A VERNAL POOL STUDY WAS PERFORMED ON WETLAND AREAS 'A', 'J', & 'J' BY BRUCE GILDAY, CWS AND DANIEL GEIGER, CWS. STUDIES WERE PERFORMED THROUGHOUT THE DRY POOL AREAS AND MORE SPECIFICALLY IN AREAS WITH STANDING WATER. NO PRIMARY VERNAL POOL SPECIES WERE OBSERVED OR DOCUMENTED.

BROX INDUSTRIES, INC. WETLAND TABLE		
WETLAND ID	AREA (SQ FT)	AREAS TAKEN TO BE TAKEN (SQ FT)
'A'	58,443	90,845 (AREAS TO BE TAKEN)
'J'	40,402	
'B'	3,054	
'H'	326	
'F'	30,152	38,758 (PREVIOUSLY TAKEN PER NHDES PERMIT # 2023-00753)
TOTAL	5,228	135,603 SQ FT (3.11 AC)



**HASI** Haymer/Swanson, Inc.  
Chief Engineer/Lead  
13 Williams Through  
Hudson, NH 03053  
603 867-5077 www.haymer-swanson.com

FIELD BOOK -	DATE LOC. 11/03/2023	SCALE 1" = 400'
NO. 4383-W-128		
2 OF 4	4-283-W2	DATE 15 JULY 2024
BY	DATE	REVISION
400	0	400 800 1,200 1,600 FEET

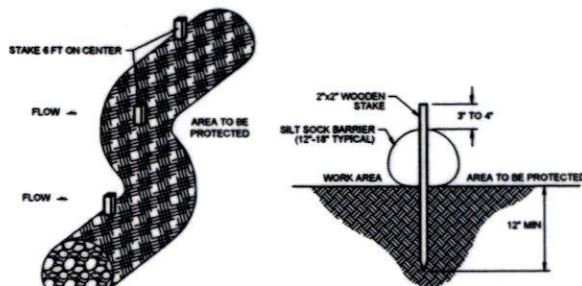
EXISTING CONDITIONS PLAN  
**BROX INDUSTRIES, INC.**  
85 GREELEY STREET  
HUDSON, NEW HAMPSHIRE

PREPARED FOR:  
**BROX INDUSTRIES, INC.**  
1 TECH DRIVE, SUITE 310  
ANDOVER, MASSACHUSETTS 01810 (978) 484-8105

DESIGN REVIEW

NO.	DATE	REVISION	BY
400	0	400 800 1,200 1,600 FEET	



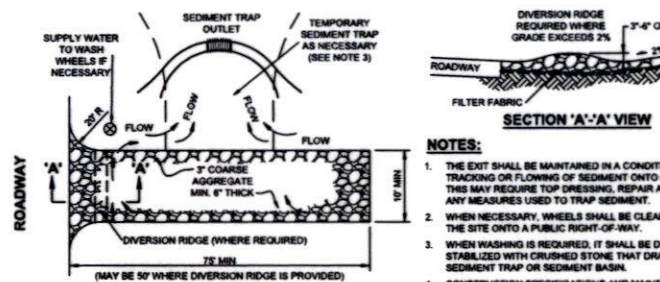


#### NOTES:

1. SILT SOCK BARRIER SHALL BE FILTRIXX SILT SOCK NATURAL PLUS (OR APPROVED EQUAL) AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
2. SILT SOCK BARRIER SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
3. IF THE SILT SOCK SHOULD DECOMPOSE OR BECOME INEFFECTIVE, THE BARRIER SHALL BE REPLACED PROMPTLY.
4. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
5. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE BARRIER HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.
6. COMPOST TO BE REMOVED OR DISPOSED ON-SITE AS DETERMINED BY THE ENGINEER.

#### SILT SOCK DETAIL

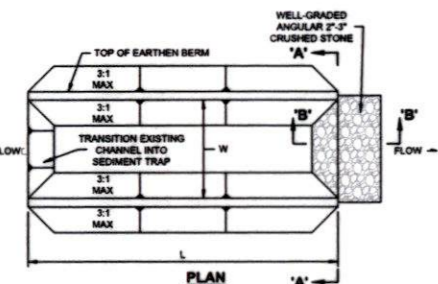
NOT TO SCALE



#### PLAN VIEW

#### TEMPORARY GRAVEL CONSTRUCTION EXIT

NOT TO SCALE



#### PLAN

#### SECTION A

#### SECTION B

#### SEDIMENT TRAP DETAIL

NOT TO SCALE

#### SEDIMENT TRAP INSTALLATION NOTES:

1. SEE PLAN VIEW FOR LOCATION, LENGTH AND WIDTH OF SEDIMENT TRAP.
2. SEDIMENT TRAPS SHALL BE SIZED TO PROVIDE A VOLUME OF 3,600 PER ACRE OF CONTRIBUTING DRAINAGE AREA.
3. SEDIMENT TRAPS SHALL BE INSTALLED PRIOR TO ANY UPGRADING LAND-DISTURBING ACTIVITIES.
4. SEDIMENT TRAP BERM SHALL BE CONSTRUCTED FROM MATERIAL FROM EXCAVATION. THE BERM SHALL BE COMPACTED TO 80% OF THE MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D698.
5. SEDIMENT TRAP OUTLET TO BE CONSTRUCTED OF WELL-GRADED ANGULAR 2"-3" CRUSHED STONE.
6. THE TOP OF THE EARTHEN BERM SHALL BE A MINIMUM OF 6" HIGHER THAN THE TOP OF THE OUTLET STRUCTURE.
7. THE ENDS OF THE OUTLET STRUCTURE SHALL BE A MINIMUM OF 6" HIGHER THAN THE CENTER OF THE OUTLET STRUCTURE.

#### SEDIMENT TRAP MAINTENANCE NOTES:

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. REMOVE SEDIMENT ACCUMULATED IN TRAP AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP. TYPICALLY WHEN THE SEDIMENT DEPTH REACHES 1/2 THE HEIGHT OF THE OUTLET.
5. SEDIMENT TRAPS SHALL REMAIN IN PLACE UNTIL THE CONTRIBUTING DISTURBED AREA IS STABILIZED.
6. WHEN SEDIMENT TRAPS ARE REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOPSOIL, SEEDING AND MULCHED OR OTHERWISE STABILIZED.

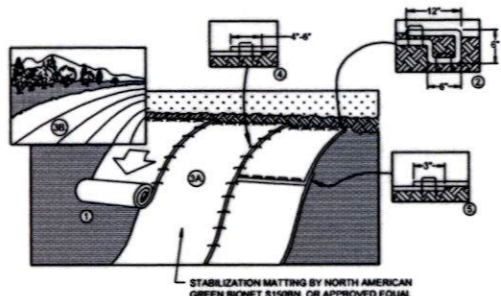


#### NOTES:

1. EROSION CONTROL MIX CAN BE MANUFACTURED ON OR OFF THE PROJECT SITE. IT MUST CONSIST PRIMARILY OF ORGANIC MATERIAL, SEPARATED AT THE POINT OF GENERATION, AND MAY INCLUDE: SHREDED BARK, STUMP GRINDINGS, COMPOSTED BARK, OR ACCEPTABLE MANUFACTURED PRODUCTS, WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS OR REPROCESSED WOOD PRODUCTS WILL NOT BE ACCEPTABLE AS THE ORGANIC COMPONENT OF THE MIX.
2. EROSION CONTROL MIX SHOULD CONTAIN A WELL-GRADED MIXTURE OF PARTICLE SIZES AND MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER. EROSION CONTROL MIX MUST BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH. THE MIX COMPOSITION SHOULD MEET THE FOLLOWING STANDARDS:
  - THE ORGANIC MATTER CONTENT SHOULD BE BETWEEN 25 AND 65 %, DRY WEIGHT BASIS
  - PARTICLE SIZE BY WEIGHT SHOULD BE 100% PASSING A 3" SCREEN, 90% TO 100% PASSING A 1-INCH SCREEN, 70%-100% PASSING A 0.75-INCH SCREEN, AND A MAXIMUM OF 30% TO 75% PASSING A 0.25-INCH SCREEN.
  - THE ORGANIC PORTION NEEDS TO BE FIBROUS AND ELONGATED.
  - THE MIX SHOULD NOT CONTAIN SILTS, CLAYS OR FINE SANDS.
  - SOLUBLE SALTS CONTENT SHOULD BE <0.1 MBARS/CM
  - THE PH SHOULD BE BETWEEN 5.0 AND 8.5.
3. FILTER BERMS SHOULD BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHOULD BE REPAIRED IMMEDIATELY IF THERE ARE SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. IF THERE ARE SIGNS OF BREACHING OF THE BARRIER, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, THEY SHOULD BE REPLACED WITH OTHER MEASURES TO INTERCEPT AND TRAP SEDIMENT.
4. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD OF THE HEIGHT OF THE BARRIER.
5. FILTER BERMS SHOULD BE RESHAPED OR REPLACED AS NEEDED.
6. EROSION CONTROL MIX TO BE REMOVED OR SPREAD OUT AS COMPOST UPON PROJECT COMPLETION.

#### EROSION CONTROL MIX BERM

NOT TO SCALE

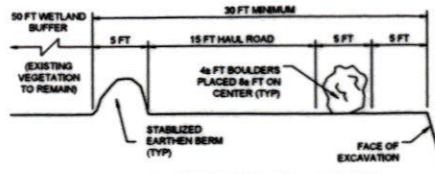


1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LINE, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDING BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL, AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURER'S RECOMMENDATION.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
6. PLACE STAPLES/STAKES PER MANUFACTURE RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.

NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

#### STABILIZATION MATTING DETAIL

NOT TO SCALE



#### EXCAVATION HAUL ROAD TYPICAL DIMENSIONS

NOT TO SCALE

#### GENERAL NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES STORMWATER MANUALS, VOLUME 1-3, LATEST EDITION.
2. THE WORK AREA SHALL BE GRADED, SHAPED, AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA. SILT FENCES, STRAW BALES AND/OR DETENTION BASINS SHALL BE NECESSARY TO ACCOMPLISH THIS END.
3. STRIPPED TOPSOIL SHALL BE STOCKPILED, WITHOUT COMPACTION, AND STABILIZED AGAINST EROSION IN ACCORDANCE WITH "TEMPORARY STABILIZATION OF DISTURBED AREAS", AS OUTLINED IN NOTE NO. 4.
4. TEMPORARY STABILIZATION OF DISTURBED AREAS:
  - SEED BED PREPARATION: 10-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS PER 1,000 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 50 LBS PER 1,000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.
  - A. SEED MIXTURE: USE ANY OF THE FOLLOWING:
 

SPECIES	RATE PER 1,000 SF	DEPTH	SEEDING DATES
WINTER RYE	2.5 LBS	1"	08/15 TO 09/15
OATS	2.5 LBS	1"	04/15 TO 10/15
ANNUAL RYE GRASS	1.0 LBS	0.25"	08/15 TO 09/15
  - B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODABLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:
 

TYPE	RATE PER 1,000 SF	USE & COMMENTS
STRAW	70 TO 90 LBS	MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE
WOOD CHIPS OR BARK MULCH	400 TO 800 LBS	USED WITH TREE AND SHRUB PLANTINGS
FIBROUS MATTING	AS RECOMMENDED BY MANUFACTURER	MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE
CRUSHED STONE	SPREAD TO GREATER THAN 1/2" THICKNESS	USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED
5. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
  - A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
  - B. A MINIMUM OF 80% VEGETATED GROWTH HAS BEEN ESTABLISHED.
  - C. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
  - D. OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
6. NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES ALTERATION OF TERRAIN PERMIT NO. A-01-1033
7. SITE LOCATION: 42° 47' 27" N LATITUDE, 71° 34' 30" W LONGITUDE (PER GOOGLE EARTH)
8. TOTAL AREA OF DISTURBED SOILS: SEE A-01 PERMIT NO. A-01-1033
9. REFERENCE IS MADE TO THE LATEST EDITION OF THE FEDERAL REGISTER (35 FR 7857), ENVIRONMENTAL PROTECTION AGENCY NPDES GENERAL PERMITS FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. FOR ADDITIONAL INFORMATION CONTACT (202) 564-9545 OR [www.epa.gov/npdes/stormwater](http://www.epa.gov/npdes/stormwater).
10. THE ENTIRE CONTENTS OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE RETAINED ON-SITE FOR THE DURATION OF THE CONTRACT AND BE MADE AVAILABLE TO LOCAL, STATE AND FEDERAL CODE ENFORCEMENT PERSONNEL.
11. THIS PROJECT SHALL BE MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:3 AND AGR 3800 RELATIVE TO INVASIVE SPECIES, AND FUGITIVE DUST IS CONTROLLED IN ACCORDANCE WITH ENV-A 1000.

#### CONSTRUCTION SEQUENCE

1. CLEAR SITE ACCORDING TO PLAN.
2. CONSTRUCTION OF TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES TO BE IN ACCORDANCE WITH THE PLANS.
3. GRUB SITE ACCORDING TO PLAN.
4. CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
5. STOCK PILE TOPSOIL AND INSTALL ASSOCIATED EROSION CONTROL MEASURES.
6. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL OCCUR AT THE END OF EACH WORKING DAY AND STORM EVENT. NECESSARY REPAIRS SHALL BE MADE IN TIMELY FASHION.
7. REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.

#### SITE MAINTENANCE/INSPECTION PROGRAM

THE FOLLOWING PROVIDES AN ITEMIZATION OF SPECIFIC SITE MAINTENANCE PRACTICES THAT WILL BE EMPLOYED ON THE SITE TO MINIMIZE POLLUTANT GENERATION AND TRANSPORT FROM THE SITE. THE SITE MAINTENANCE PROGRAM INCLUDES ROUTINE INSPECTIONS, PREVENTATIVE MAINTENANCE AND "GOOD HOUSEKEEPING" PRACTICES.

#### ROUTINE INSPECTIONS

THE CONTRACTOR SHALL INSPECT ALL CONTROL MEASURES AT LEAST ONCE A WEEK AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 0.5 INCHES. THE INSPECTIONS WILL VERIFY THAT THE STRUCTURAL BMPs DESCRIBED IN THE PLANS ARE IN GOOD CONDITION AND ARE MINIMIZING EROSION. A MAINTENANCE INSPECTION REPORT WILL BE MADE WITH EACH INSPECTION. COMPLETED INSPECTION FORMS SHALL BE KEPT ON-SITE FOR THE DURATION OF THE PROJECT. FOLLOWING CONSTRUCTION, THE COMPLETED FORMS SHALL BE RETAINED AT THE CONTRACTOR'S OFFICE FOR A MINIMUM OF ONE YEAR.

#### PREVENTATIVE MAINTENANCE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT CONTROLS THROUGHOUT THE DURATION OF THIS CONTRACT. MAINTENANCE PRACTICES SHALL INCLUDE, BUT ARE NOT LIMITED TO:

1. CLEANING OF CATCH BASINS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY QUARTERLY INSPECTIONS.
2. CLEANING OF SEDIMENT AND DEBRIS FROM STORMWATER MANAGEMENT AREA FOREBAY TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY MONTHLY INSPECTIONS.
3. IMPLEMENTATION OF OTHER MAINTENANCE OR REPAIR ACTIVITIES AS DEEMED NECESSARY BASED UPON WEEKLY INSPECTIONS.
4. REMOVAL OF BUILT UP SEDIMENT ALONG SILT FENCES AND/OR HAY BALE BARRIERS.
5. REMOVAL OF BUILT UP SEDIMENT IN BOTH TEMPORARY AND PERMANENT CONTROLS SUCH AS GRASS SWALES, SEDIMENT FOREBAYS AND RECHARGE/DETENTION BASINS.
6. RECONSTRUCTING THE TEMPORARY GRAVEL CONSTRUCTION EXIT IF NOT WORKING PROPERLY.
7. TREATMENT OF NON-STORM WATER DISCHARGES SUCH AS WATER FROM WATER LINE PUSHINGS OR GROUNDWATER FROM DEWATERING EXCAVATIONS. SUCH FLOWS SHOULD BE DIRECTED TO A TEMPORARY SEDIMENTATION BASIN OR STORMWATER MANAGEMENT AREA.
8. SWEEP PARKING LOTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION. FREQUENCY WILL VARY SEASONALLY DEPENDING ON SEDIMENT ACCUMULATION ON PAVE SURFACES (E.G., MORE FREQUENT SWEEPING DURING THE WINTER AND SPRING).

#### GOOD HOUSEKEEPING PRACTICES

THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM AND WATER RUNOFF. THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THE USE OF THESE PRODUCTS IS MINIMIZED. THE FOLLOWING "GOOD HOUSEKEEPING" PRACTICES SHALL BE FOLLOWED DURING CONSTRUCTION OF THE PROJECT:

- A. AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
- B. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- C. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR MANUFACTURERS' LABELS.
- D. WHENEVER POSSIBLE, ALL OF A PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER.
- E. MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
- F. THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.

#### SPILL PREVENTION AND CLEANUP PRACTICES

- A. MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIAL WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- C. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- D. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- E. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- F. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

#### NHDES EROSION CONTROL INSPECTION NOTES

AS THIS PROJECT WILL BE DISTURBING MORE THAN 5 ACRES AT ANY ONE TIME THE PERMIT FOR THIS PROJECT WILL INCLUDE THE FOLLOWING REQUIREMENTS:

1. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR'S NAME, ADDRESS, AND PHONE NUMBER SHALL BE SUBMITTED TO DES VIA EMAIL (SEE ABOVE).
2. A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC) OR A PROFESSIONAL ENGINEER (PE) LICENSED IN THE STATE OF NEW HAMPSHIRE ("MONITOR") SHALL BE EMPLOYED TO INSPECT THE SITE FROM THE START OF ALTERATION OF TERRAIN ACTIVITIES UNTIL THE SITE IS IN FULL COMPLIANCE WITH THE ALTERATION OF TERRAIN PERMIT ("PERMIT").
3. DURING THIS PERIOD, THE MONITOR SHALL INSPECT THE SUBJECT SITE AT LEAST ONCE A WEEK, AND IF POSSIBLE, DURING ANY 1/2 INCH OR GREATER RAIN EVENT (A 1/2 INCH OF PRECIPITATION OR MORE WITHIN A 2 HOUR PERIOD). IF UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF THIS EVENT.
4. THE MONITOR SHALL PROVIDE TECHNICAL ASSISTANCE AND RECOMMENDATIONS TO THE CONTRACTOR ON THE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROLS REQUIRED TO MEET THE REQUIREMENTS OF RSA 485:1-17 AND ALL APPLICABLE DES PERMIT CONDITIONS.
5. WITHIN 24 HOURS OF EACH INSPECTION, THE MONITOR SHALL SUBMIT A REPORT TO DES VIA EMAIL.



DESIGN REVIEW

PREPARED FOR:  
**BROX INDUSTRIES, INC.**  
1 TECH DRIVE, SUITE 310  
ANDOVER, MASSACHUSETTS 01810  
(978) 454-8105

DETAIL SHEET  
EROSION CONTROL  
**BROX INDUSTRIES, INC.**  
85 GREELEY STREET  
HUDSON, NEW HAMPSHIRE

**HSI** Haynes/Burrows, Inc.  
Civil Engineer/Lead Surveyor  
10 Middlebury Street  
Andover, MA 01810  
(978) 454-1231  
[www.haynesburrows.com](http://www.haynesburrows.com)

FIELD BOOK -  
DATE: 03-03-2024  
TIME: 10:00 AM  
SHEET: 4 OF 4  
DATE: 15 JULY 2024  
TIME: 4:28 PM  
SHEET: 4 OF 4

## Hudson Conservation Trail Work Days 2024/2025

Below are some suggested activities for our trail work days during 2024 and 2025.

We can add to the list as new projects and tasks popup.

### **Pelham Road Conservation Area**

1. Install kiosk at Pelham Road (Boy Scout, in process)
2. Install trail markers along the three trails
3. Remove old automobile
4. Expose some of the unique features
5. Build bridges where needed

### **Hudson Town Forest**

1. Parking Area fill
2. New Gate
3. Update Map in Kiosk
4. Trails Signs and Blazing

**Ref item #3 nearest point to extract is Tiffany Cir. Distance 710 feet**  
**other option would be to cut up and haul out piece by piece**

### **Musquash Pond Conservation Area**

1. Trail Signs and Blazing
2. Update Trail Map with re-route of Hamblett-Nash
3. Update Maps in Kiosks
4. Create Path from Parking to Kiosk
5. Make Rules Signs more visible
6. Trails and Bridge in Northern End

### **Rangers Town Forest**

1. Install a Kiosk
2. Mark out some loop trails
3. Apply for grant in 2025
4. Clean up debris west side of property

### **Robinson Pond Recreation Area**

1. Update map in Kiosk
2. Evaluate the work out stations
3. Trail Signs or blazing?

### **Colburn Town Forest**

1. Install two Kiosks, Musquash Rd. Trigate Rd
2. New maps both ends
3. Trails Signs and Blazing

### **Parker Preserve**

1. Open up the Easement
2. Install ConCom entry point sign
3. Create small loop trail
4. Record GPS data of property

### **Southern end of Robinson Pond**

No immediate plans to create trails or pond access.

Remove No Trespass Signs (Stabler property)

Install Conservation Markers (Stabler, Berrigan)

***Preliminary***

Run: 7/01/24  
10:41AM

Expenditure Report - Including Carry Forward Activity  
Conservation Committee  
Town of Hudson, NH  
As Of: June 2024, GL Year 2024

Page: 1  
bmckee  
Report Sorted Expenditure  
Conservation

Account Number	Budget	Prior Year Encumbered	Budget & PY Adjustments	Net Budget	MTD Exp	YTD Exp	Encumbered	Balance Available	%Used
<b>Conservation Fund</b>									
06-0000-6500-000-000	Purchase Property								
	0.00	0.00	0.00	0.00	0.00	328,452.00	0.00	-328,452.00	0.000
06-4619-5586-202-000	Conserv Comm, Sm. Equipment Mtce								
	2,300.00	0.00	0.00	2,300.00	0.00	331.56	0.00	1,968.44	14.416
06-4619-5586-217-000	Conserv Comm, Assoc Dues/Fees								
	1,327.00	0.00	0.00	1,327.00	0.00	1,225.00	0.00	102.00	92.313
06-4619-5586-235-000	Conserv Comm, Registration Fees								
	500.00	0.00	0.00	500.00	0.00	0.00	0.00	500.00	0.000
06-4619-5586-252-000	Conserv Comm, Prof Services								
	48,626.00	28,000.00	-23,200.00	53,426.00	16,847.06	26,007.06	165,402.94	-137,984.00	358.271
<b>Total Conservation Fund</b>									
Selected Year	52,753.00	0.00	0.00	52,753.00	16,847.06	351,215.62	165,402.94	-463,865.56	979.316
Prior Year	0.00	28,000.00	-23,200.00	4,800.00	0.00	4,800.00	0.00	0.00	100.000
Sort Total	52,753.00	28,000.00	-23,200.00	57,553.00	16,847.06	356,015.62	165,402.94	-463,865.56	905.980

**Correspondence a:**

**RE: Brox Update Letter**

## Email from bagilday@comcast.net: Brox Update Letter

**B**

**From:** bagilday@comcast.net

10:30 AM

**To** Bill Collins **Copy** Elvis Dhima, Erik Stevenson

- Reply
- Forward
- Delete
- ☐

Hi Bill

Thanks for the below response.

I would like to take you up on your "pre-game" offer which means meeting with the HCC twice. The first meeting on July 8th should be viewed as a preliminary briefing. August 12th will be the second meeting which will occur after the application has been submitted and the abutters have been notified.

I will send the plans to Doreena in preparation for the July 8th meeting.

Please do not hesitate to let me know if you have any questions.

Best  
Bruce

Bruce Gilday

**From:** Bill Collins <bcoll66956@comcast.net>

**Sent:** Wednesday, June 19, 2024 8:17 PM

**To:** bagilday@comcast.net

**Subject:** RE: Brox Update Letter

Hi Bruce,

I just got back into town and getting caught up on emails. As always its nice to hear from you. We have an open slate at HCC so I'd be happy to move your presentation to the August 12th meeting agenda for formal review. Per your letter this sounds like a new Dredge and Fill permit affecting wetlands discussed and reviewed at prior HCC meetings. With that said, please keep in mind that the HCC has a limited amount of time

to submit comments to NHDES in regards to new applications so it would be appreciated if you could give me a heads up when the application is presented to the town clerk for acceptance. The clock starts with their acceptance. In the meantime it never hurts to get a "pre-game" briefing. If you and the applicant want to provide some insight as to what's changed since we last met I'm sure the commission would appreciate it. In the interim I'll pencil you in for July 8th as a place holder.

Thanks, let me know if this is acceptable,  
Bill

On 06/14/2024 11:08 AM EDT [bagilday@comcast.net](mailto:bagilday@comcast.net) wrote:

Bill

Thanks for the follow-up.

The D & F permit application will not be submitted to DES until the end of July. If you think it still will be helpful to attend the July 8th meeting, I am more than happy to be there. Or if you prefer, I can appear at the August 12th meeting after the application has been submitted.

Let me know which meeting you prefer I attend.

Have a great weekend.

Thanks again,  
Bruce

**From:** Bill Collins <[bcoll66956@comcast.net](mailto:bcoll66956@comcast.net)>  
**Sent:** Wednesday, June 12, 2024 1:23 PM  
**To:** [bagilday@comcast.net](mailto:bagilday@comcast.net)  
**Subject:** Re: Brox Update Letter

Hi Bruce,

Thanks for the information. I'll be sure to add you to the July agenda.  
Thanks  
Bill  
Sent from my iPhone

On Jun 10, 2024, at 11:54 AM, [bagilday@comcast.net](mailto:bagilday@comcast.net) wrote:

Dear Bill

The attached letter is a brief update on Brox activities.

I plan to go before the Hudson Con Comm in July with more details.

Call if you have any questions.

Best,  
Bruce

Bruce Gilday

**BAG Land Consultants**  
**43 Rockingham Street**  
**Concord, NH 03301**  
**(603) 228-5775**

<L- 06_10_2024 Hudson Con Com re Brox.pdf>

**Correspondence b**



LAND CONSULTANTS

June 10, 2024

William Collins, Chairman  
Hudson Conservation Committee  
Town Hall – Buxton Room  
12 School Street  
Hudson, NH 03051

**RE:** New Standard Dredge & Fill Permit Application – Phase II  
Brox Industries, Inc [Tax Map 140, Lot 1; Tax Map 141, Lot 1]  
85 Greeley St. Hudson NH

Dear Bill:

I trust the Hudson Conservation Commission (HCC) is busy with spring/summer project reviews that allow members to get out and walk the woods and wetlands.

As you know, my client, Brox Industries, LLC (Brox) and I met with HCC members and town officials periodically in 2022 and 2023 to discuss activities for the initial NH Dept of Environmental Services Dredge & Fill permit application. In February 2024 the D & F permit application was approved (Permit #2023 – 00753) for the four (4) isolated wetland pockets impacting 0.89 acres of wetlands.

A listed condition in the approved permit requires Brox to file another D & F permit application by November 2024 for impacting the remaining two wetlands (2.2 acres). I refer to the wetlands as “A” and “J”. We are currently in the process of completing this new application.

Since February 2024 I have conducted numerous onsite activities including revisiting, traversing and delineating the entire wetland boundary of both wetlands, “A” & “J”. Vernal pool studies of both wetlands were started in April and will conclude in June. We also conducted a recent NHB data check & retained a qualified biologist due to concern about the presence of Blanding Turtles in the vicinity.

It is anticipated that the new wetland application with support materials will be submitted to the HCC in July 2024. I look forward to presenting the new wetland application to all members. In the interim, please do not hesitate to contact me if you have any questions.

Sincerely,

  
Bruce Gilday  
Certified Wetland Scientist

Cc; Erik Stevenson, VP of Real Estate, Brox Industries, Inc.  
Scott Reilly, Site Operations Manager, Brox Industries, Inc  
Ari Pollack, Esq. Gallagher, Callahan & Gartrell  
Elvis Dhima, P.E., Town of Hudson

## Correspondence c Boy Scout Eagle Project

Hi Christopher,

Unfortunately I can't do mornings as I'm working. I can however go over to the Pelham Road site after work and mark an appropriate area that you can clear out and install the kiosk in when your ready. I'll try to get over there one night this week or early this Saturday morning, look for the orange flagging tape designating the area.

Thanks

Bill

Hudson ConCom

On 06/24/2024 10:50 AM EDT Christopher Darbe <[christopher.darbe@icloud.com](mailto:christopher.darbe@icloud.com)> wrote:

Hi Mr. Collins,

Evenings are very busy for me that week. Would you be available one morning that week?

Thank you,

Christopher

On Jun 21, 2024, at 7:05 PM, Bill Collins <[bcoll66956@comcast.net](mailto:bcoll66956@comcast.net)> wrote:

No Problem Christoper. The commission is currently working on a few other projects and the Pelham Road Kiosk came up. Let's meet up prior to the 13th and take a look at installation spots. There's plenty of room just off road for it. As for the plexiglass I think that screws would be the way to go. They are easy to replace when needed.

I'm out of town the week of the July 4th and we have a ConCom meeting on July 8th so let's plan on meeting up one of the remaining days of that week. Let me know which night you and your Dad are available and I'll put it in my calendar.

Thanks,

Bill Collins , chairman

Hudson ConCom

Sent from my iPhone

On Jun 21, 2024, at 4:06 PM, Christopher Darbe <[christopher.darbe@icloud.com](mailto:christopher.darbe@icloud.com)> wrote:

Hi Mr. Collins,

I have been meaning to update you. It is going good. I had my car wash fundraiser last month and had one work day. I am planning to install it on July 13 and maybe paint it the next day.

I did have a few questions for you.

Is there any particular spot you would like the kiosk, and if so could we set up a time for you to show me?

For the protective price of plexiglass, how would you like it to be attached and be able to open. I was thinking of just screwing it to the plywood. This would make it difficult, but not too difficult to get into the display area.

Sorry you had to reach out to me. I will keep you better informed moving forward.

Thank you,

Christopher Darbe

>> On Jun 20, 2024, at 5:20 PM, Bill Collins <[bcoll66956@comcast.net](mailto:bcoll66956@comcast.net)> wrote:

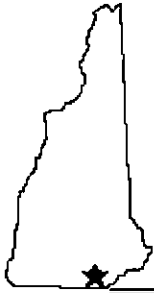
Hi Christopher,

I'm just checking to see how your Eagle Scout project for Pelham road is coming along.

Thanks,

Bill Collins

Hudson ConCom



# TOWN OF HUDSON

## Conservation Commission



William Collins, Chairman

Dave Morin, Selectmen Liaison

12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-816-1291

**DATE: June 10, 2024**

MEETING MINUTES: Below is a listing of minutes for the Hudson Conservation Commission. Minutes are not a verbatim record of each meeting, but rather represent a summary of the discussion and actions taken at the meeting. All Conservation Commission meetings are televised live and repeated during the following week on HCTV, cable television channel 22. Official copies of the minutes are available to read and copy at the Town Engineer's Office during regular business hours (Monday through Friday, 8:00 A.M. to 4:30 P.M.).

Should you have any questions concerning these minutes or wish to see the original recording, please contact the Town Engineer's Office at 603-886-6008.

In attendance = X Alternates Seated = S Partial Attendance = P Excused Absence = E

William Collins  
Chairman E

Carl Murphy  
Vice-Chair X

Ken Dickinson  
Clerk X

Brian Pinsonneault  
Member X

John Walter  
Member X

Linda Krisciunas  
Alternate X

David Morin  
Selectman Rep X

Elvis Dhima  
Town Engineer X

CALL TO ORDER BY CHAIRPERSON AT 07:00 P.M.

PLEDGE OF ALLEGIANCE

ROLL CALL

SEATING OF ALTERNATES:

Public Input Related to Non-Agenda Items: none

**I. New Business:**

- a. **New alternate commission member:** Mike Catanzaro was not present/ item deferred.

b. **Conditional Use Permit Application:**

Mrs. Allison Lewis Of Keach Nordstrom Associates was present to represent the applicant Miara Transportation, 12 Bockes Rd. Map136, Lot 1 for the proposed expansion of their existing facility. The project proposes to construct a 9600 SF trailer storage garage with attached 3600 SF awning in the rear of the property. The application was presented and discussed for approximately 15 minutes. A site walk was scheduled for Thursday, June 20, 2024 at 6pm.

**II. Old Business: none**

**III. Other Business:**

- a. **Amendment to Zoning Ordinance 334, Article IX, Wetland Conservation District: Town of Hudson, NH** wetland buffer was recently increased from 50 feet to 75 feet for Non-residential development. Mr. Dhima was present to discuss this amendment effective March 20, 2024 and answer a few questions from commission members.

b. **Musquash (Hamblett-Nash Trail) Bridge Cost:**

Vice Chairman Murphy presented a materials estimate for lumber and associated items to construct a bridge along the newly rerouted section of the Hamblett-Nash Trail found nearby the Kingfisher Trail. The proposed 12 ft x 2'-6" bridge will cross a small intermittent stream at the narrowest point utilizing an existing hunting path.

Motion to expend an amount not to exceed \$600.00 from the Conservation Fund to cover the cost of materials for construction of a bridge along the rerouted Hamblett-Nash Trail located in the Musquash Conservation Area.

Motion by Mr. Walter to accept the proposal; seconded by Mr. Pinsonneault.

Motion Carried 5/0/0

c. **HCC 2024/2025 Trail Improvement Activities List:**

Vice Chairman Murphy asked the commission to review and comment on the list of potential projects that was recently drafted by Chairman Collins. Approx. one hour discussion continued on this topic.

In addition to the items presented, there is a large tree that requires removal at Pelham Road Conservation Area and a few other smaller trees located between Old Robinson Pond and the outlet to Robinson Pond blocking fishing access. Refer to trail work day schedule on following page.

d. **Trail Workday Scheduling:**

The aforementioned trail bridge is intended to be constructed on our July trail work day. Ms. Krisciunas volunteered to mark and blaze trails on located on the NE side of Musquash Conservation Area on the same day and perform some vegetation pruning on the other trails found closer to the main trailhead

parking lot. Removal work at Pelham Road Conservation Area and Robinson Pond was scheduled:

Sunday, June 22, 9 AM-12 PM,                      Location: 68 Pelham Road Conservation Area

Saturday, July 13, 8 AM-12 PM,                      Location: Musquash Conservation Area Parking Lot

**IV. Financial Status:**

Conservation Fund Balance = \$787,162.

**V. Correspondence:**

Vice Chairman Murphy reviewed our monthly correspondence which included the following:

**a. Brox land donation and project update:**

Presentation by Town Engineer, Elvis Dhima. Mr. Dhima explained that the NHDES permit was recently approved for the proposed Brox Quarry expansion. It includes a \$10,000. Donation to the Town. Final approvals and land acquisition should be completed in 2024.

**b. Pond Treatments: Ponds are due to be treated on June 18.**

**VI. Approval of Minutes:**

Meeting minutes for both April 8, 2024 and May 13, 2024 were accepted.  
Motion by Mr. Walter to accept minutes; seconded by Mr. Pinsonneault.

Motion Carried 5/0/0

**VII. Commissioner's Comments:**

Selectman Morin thanked the HCC for providing funds for the Robinson Pond improvement project.

John Walter provided a summary of the first ZORC meeting he attended last week and looks forward attending the next ZORC (Zoning Ordinance Review Committee) meeting in July.

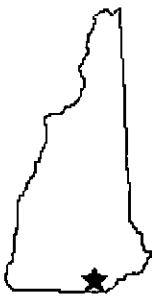
**VIII. Motion to adjourn:**

Mr. Walter moved to adjourn our regular meeting at 8:33 PM; seconded by Mr. Pinsonneault.

Motion Carried 5/0/0

Ken Dickinson

Ken Dickinson, Clerk



# TOWN OF HUDSON

## Conservation Commission



William Collins, Chairman

Dave Morin, Selectmen Liaison

12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-816-1291

DATE: June 20, 2024 - Field Site Walk

MEETING MINUTES: Below is a listing of minutes for the Hudson Conservation Commission. Minutes are not a verbatim record of each meeting, but rather represent a summary of the discussion and actions taken at the meeting. All Conservation Commission meetings are televised live and repeated during the following week on HCTV, cable television channel 22. Official copies of the minutes are available to read and copy at the Town Engineer's Office during regular business hours (Monday through Friday, 8:00 A.M. to 4:30 P.M.).

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In attendance = X Alternates Seated = S Partial Attendance = P Excused Absence = E

William Collins	Carl Murphy	Ken Dickinson	Brian Pinsonneault	John Walter
Chairman <u>X</u>	Vice-Chair <u>X</u>	Member <u>X</u>	Member <u>X</u>	Member <u>X</u>

Linda Krisciunas	David Morin	Elvis Dhima
Member <u>E</u>	Select. Rep. <u>E</u>	Town Engineer <u>E</u>

I. CALL TO ORDER BY CHAIRPERSON AT 6:00 P.M.

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL

IV. SEATING OF ALTERNATES

V. Public Input Related to Non-Agenda Items: None

## VI. Site Walk

### a. Conditional Use Permit Application – Miara Transportation, 12 Bockes Rd, Map 136, Lot 1

Commission members were on site at 12 Bockes Road to see what impact a proposed 13,600 square foot Garage/Roofed Overhang would have on the wetland buffer area and nearby wetlands. Members were led around the site by the applicant's representative Allison Lewis of Keach-Nordstrom Associates and Miara Transportation representative Chris Jiroux. Members were shown the area where the garage would be built, and the approximate location of the garage building corners (as mark on the ground) so that a better visualization of the relative distance to a nearby swale and abutting wetlands could be made. It is noted that in 2017 this same site had been granted a Dredge and Fill permit by the state of NHDES and also at that time a "Wetlands Special Exception" by the Town of Hudson ZB to allow for the expansion of a gravel parking area that would support parking of specialty type trailers. This new Conditional Use Application being reviewed by the HCC is for the construction of a 13,600 structure, paved driveway access to the structure and a small employee parking area within the previously disturbed wetland buffer area on the northwestern side of the property. No decisions were made while on site and further discussion on the matter will take place at the next Hudson Conservation meeting scheduled for July 8, 2024 at 7:00 p.m., at the Buxton Meeting Room in Town Hall

Mr. Walter moved to adjourn the site walk meeting at 6:50 p.m.; seconded by Mr. Murphy.  
Motion carried: 5/0/0

William Collins

---

William Collins, HCC Chairman