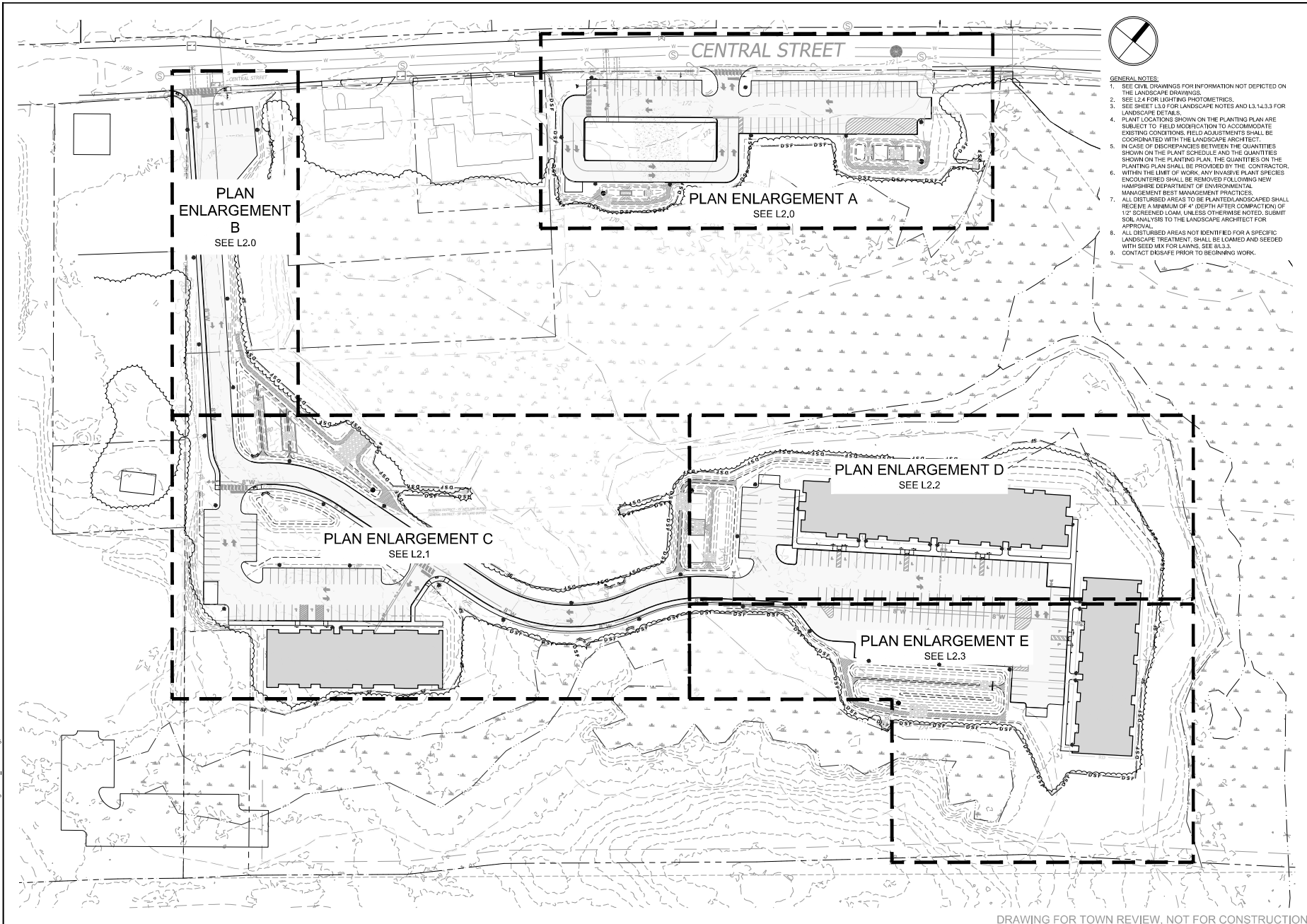


S:\2026\01 - Central St Mixed-Use Hudson\Drawings\L1-LP_200600.dwg, JFH 16/03/2026 3:28:37 PM



GENERAL NOTES

1. SEE CIVIL DRAWINGS FOR INFORMATION NOT DEPICTED ON THE LANDSCAPE DRAWINGS.
2. SEE L2.4 FOR LIGHTING PHOTOMETRICS.
3. SEE SHEET L3.0 FOR LANDSCAPE NOTES AND L3.1-L3.3 FOR LANDSCAPE DETAILS.
4. PLANT LOCATIONS SHOWN ON THE PLANTING PLAN ARE SUBJECT TO FIELD MODIFICATION TO ACCOMMODATE EXISTING CONDITIONS. FIELD ADJUSTMENTS SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT.
5. IN CASE OF DISCREPANCIES BETWEEN THE QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THE QUANTITIES SHOWN ON THE PLANTING PLAN, THE QUANTITIES ON THE PLANTING PLAN SHALL BE PROVIDED BY THE CONTRACTOR.
6. WITHIN THE LIMIT OF WORK, ANY INVASIVE PLANT SPECIES ENCOUNTERED SHALL BE REMOVED FOLLOWING NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT BEST MANAGEMENT PRACTICES.
7. ALL DISTURBED AREAS TO BE PLANTED/LANDSCAPED SHALL RECEIVE A MINIMUM OF 4" (DEPTH AFTER COMPACTION) OF 1/2" SCREENED COM. UNLESS OTHERWISE NOTED, SUBMIT SOIL ANALYSES TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
8. ALL DISTURBED AREAS NOT IDENTIFIED FOR A SPECIFIC LANDSCAPE TREATMENT, SHALL BE LOAMED AND SEEDED WITH SEED MIX FOR LAWNS. SEE BIL.3.
9. CONTACT DKS&E PRIOR TO BEGINNING WORK.

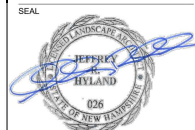
MIXED-USE DEVELOPMENT

TAX MAP 176, LOT 041-00

Dumont Realty and Development
43 Lowell Rd., Suite 202-A Hudson, NH 03051

SHEET TITLE LANDSCAPE & LIGHTING KEY PLAN

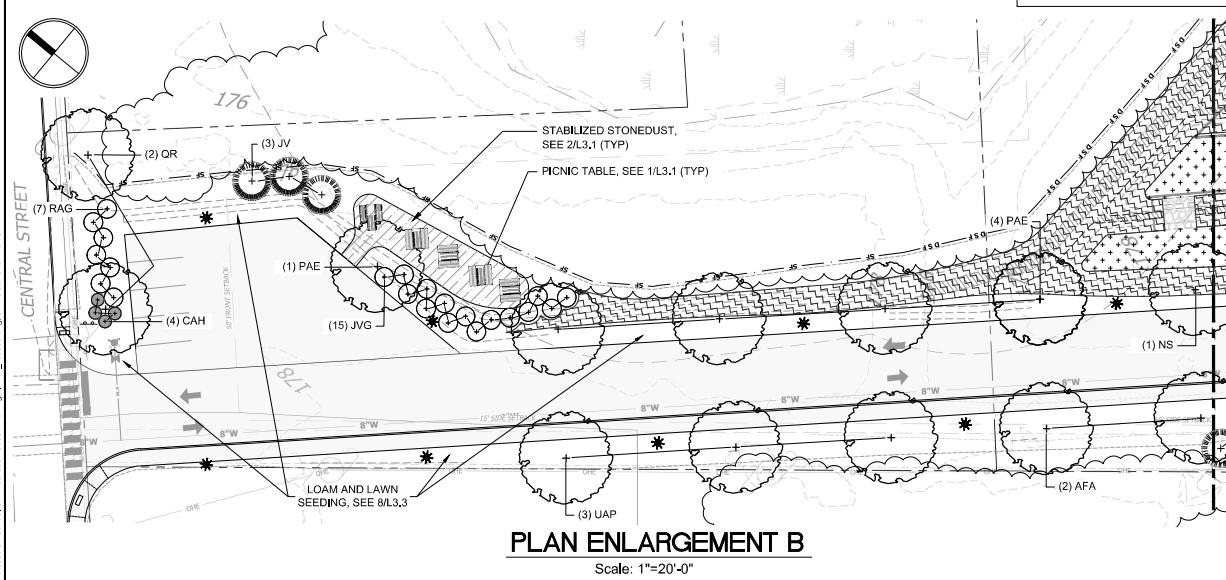
REVISION LOG		
—	Δ	6/30/26
—	Δ	REVISIONS FOR TOWN REVIEW
—	Δ	CORRECTIONS & CIVIL LAYOUT
—	Δ	
—	Δ	
—	Δ	
REV#	DATE	DESCRIPTION
PROJECT NO. 25056.0		
DESIGNED BY	J. HYLAND / R. SMALL	
DRAWN BY	R. SMALL / J. HYLAND	
CHECKED BY	D. JENSEN / J. HYLAND	
DATE	JUNE 30, 2026	
SCALE	SCALE: 1"=50'-0"	



L1.0

DRAWING FOR TOWN REVIEW, NOT FOR CONSTRUCTION

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Town of Hudson Planting Requirements	Parking Qty.	Required Plants	Provided Plants
1 shade tree per 5 parking spaces	225 (9'x18')	45	49
Understory / flowering trees		0	17
Evergreen trees		0	20
1.6 shrubs per parking space	225 (9'x18')	360	258

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DRAWING FOR TOWN REVIEW, NOT FOR CONSTRUCTION

 DECIDUOUS TREE PLANTING,
SEE 1/L3.3

 DECIDUOUS MULT-STEMMED TREE
PLANTING, SEE 3/L3.3

 EVERGREEN TREE PLANTING,
SEE 2/L3.3

 SHRUB PLANTING, SEE 4/L3.3

 LOAM AND NATIVE POLLINATOR
MEADOW SEEDING, SEE 7/L3.3

 WET MEADOW SEEDING, SEE
5/L3.3 (TYP)

 LOAM AND LAWN SEEDING,
SEE 8/L3.3

 AREA LIGHT, SEE 1/L3.2

 BOLLARD LIGHT, SEE 2/L3.2

 ARCHITECTURAL SURFACE
MOUNTED LIGHT, SEE 2/L3.1

GENERAL NOTES:

1. SEE CIVIL DRAWINGS FOR INFORMATION NOT SPECIFIED HEREIN.
2. SEE SHEET 1.04 FOR LANDSCAPE NOTES AND DETAILS.
3. SEE 1.2.4 FOR LIGHTING PHOTOMETRICS.
4. SEE SHEET 1.04 FOR LANDSCAPE NOTES AND DETAILS.
5. ALL PLANT LOCATIONS SHOWN ON THE PLANTING PLAN SHALL BE IDENTICAL TO ALL LANDSCAPE ARCHITECT PLANTING PLANS.
6. ACCOMMODATE EXISTING CONDITIONS. FIELD ADJUSTMENTS SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT.
7. IN CASE OF DISCREPANCIES BETWEEN THE PLANTING SCHEDULE, THE PLANTING PLAN, AND THE QUANTITIES SHOWN ON THE PLANTING PLAN, THE QUANTITIES ON THE PLANTING PLAN SHALL BE USED.
8. WITHIN THE CONTRACT AREA, ALL PLANTING SHALL BE WITHIN THE LIMIT OF WORK. ANY INVASIVE PLANT SPECIES SHALL BE REMOVED.
9. FOLLOWING NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT BEST MANAGEMENT PRACTICES:
10. ALL DISTURBED AREAS TO BE PLANTED/LANDSCAPED SHALL BE COVERED WITHIN A MINUTE OF THE COMPLETION OF 10" SCREENED LAWN UNLESS SPECIFICALLY NOTED OTHERWISE. ACCESS TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
11. ALL DISTURBED AREAS NOT IDENTIFIED FOR A SPECIFIC PLANTING SCHEDULE SHALL BE SOLOED AND SEEDED WITH SEED MIX FOR LAWNS.
12. CONTACT DGSF FIRST TO BEGINNING WORK.

MIXED-USE DEVELOPMENT

TAX MAP 176, LOT 041-00

Dumont Realty and Development

Concord, NH 03051

SHEET TITLE

LANDSCAPE &
LIGHTING PLAN

REVISION LOG

1	△	6/30/26	REVISIONS PER TOWN REVIEW COMMENTS & CIVIL LAYOUT
	△		
	△		
	△		
	△		

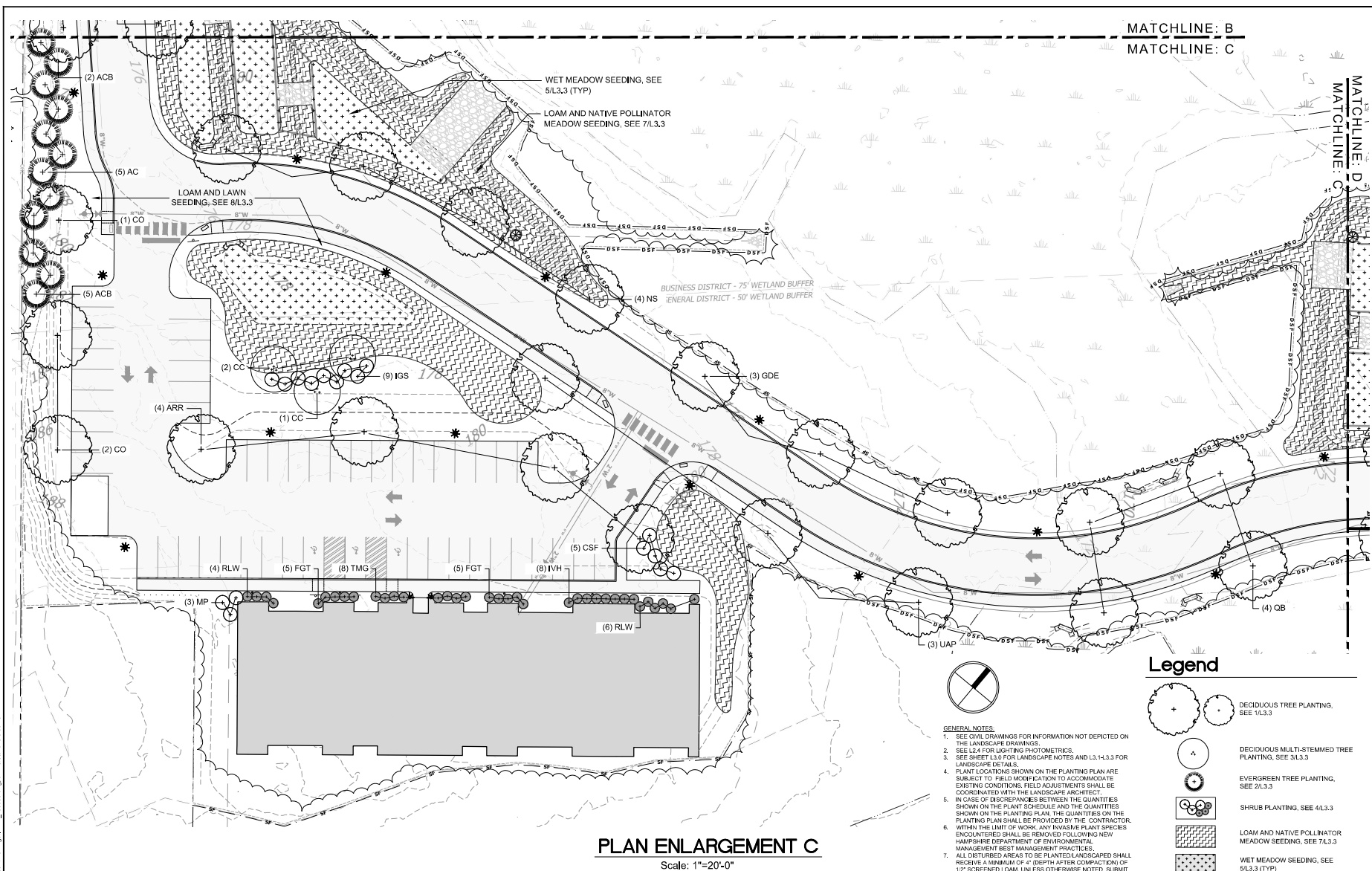
REV#	DATE	DESCRIPTION
PROJECT NO.	25056.0	
DESIGN BY	J. HYLAND / R. SMALL	
DRAWN BY	R. SMALL / J. HYLAND	
CHECKED BY	D. JENSEN / J. HYLAND	
DATE	JUNE 30, 2026	
SCALE		

SEAL



L2.0

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PLAN ENLARGEMENT C

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Legend

DRAWING FOR TOWN REVIEW, NOT FOR CONSTRUCTION



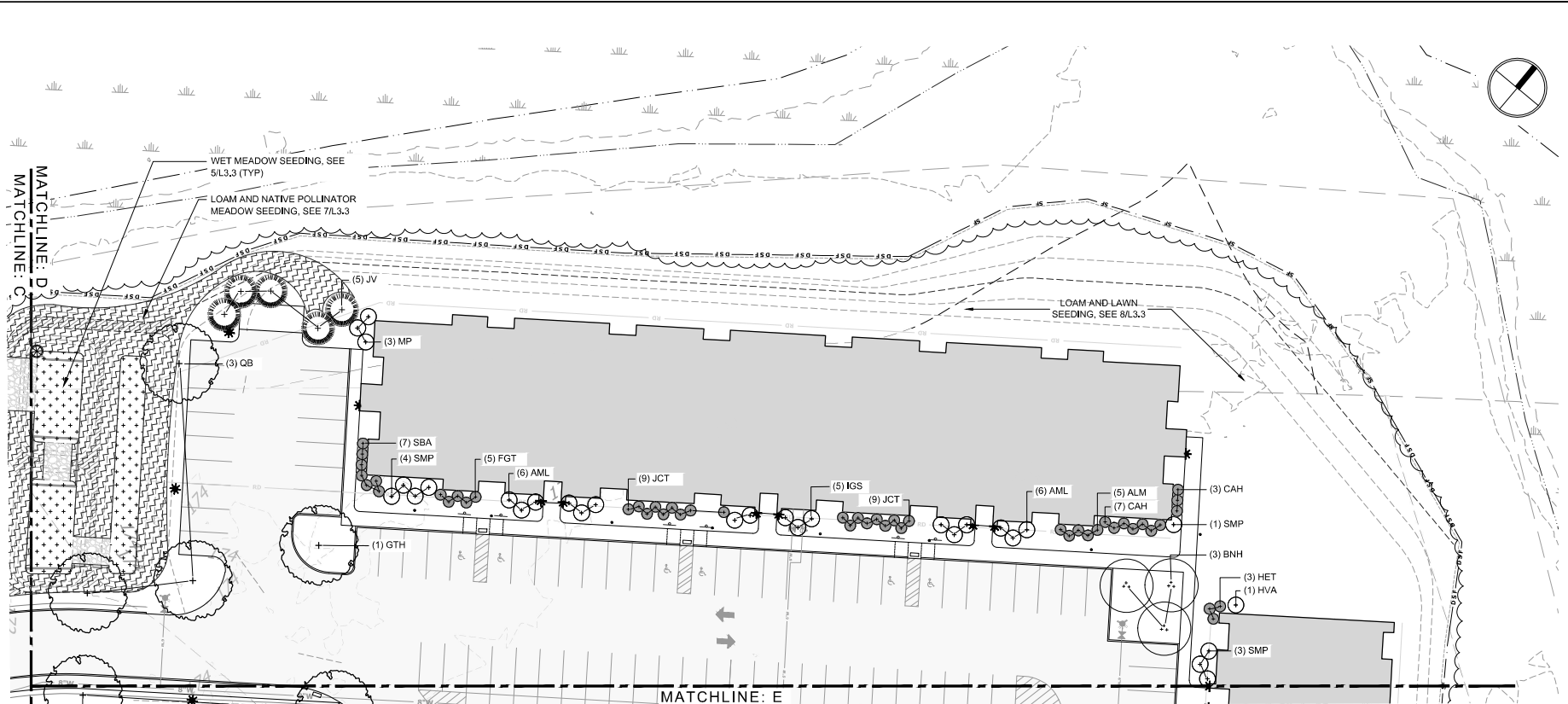
SHEET TITLE
**LANDSCAPE &
LIGHTING PLAN**

SEAL



L2.1

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PLAN ENLARGEMENT D
Scale: 1"=20'-0"

- GENERAL NOTES:**
1. SEE CIVIL DRAWINGS FOR INFORMATION NOT DEPICTED ON THE LANDSCAPE DRAWINGS.
 2. SEE L2.4 FOR LIGHTING PHOTOMETRICS.
 3. SEE SHEET L3.0 FOR LANDSCAPE NOTES AND L3.1-L3.3 FOR LANDSCAPE DETAILS.
 4. PLANT LOCATIONS SHOWN ON THE PLANTING PLAN ARE SUBJECT TO FIELD MODIFICATION TO ACCOMMODATE EXISTING CONDITIONS. FIELD ADJUSTMENTS SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT.
 5. IN CASE OF DISCREPANCIES BETWEEN THE QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THE QUANTITIES SHOWN ON THE PLANTING PLAN, THE QUANTITIES ON THE PLANTING PLAN SHALL BE PROVIDED BY THE CONTRACTOR. WITHIN THE LIMIT OF WORK, ANY INVASIVE PLANT SPECIES ENCOUNTERED SHALL BE REMOVED FOLLOWING NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT BEST MANAGEMENT PRACTICES.
 7. ALL DISTURBED AREAS TO BE PLANTED. LANDSCAPE SHALL RESERVE A MINIMUM OF 4" DEPTH AFTER COMPACTION OF 10" SCREENED LOAM, UNLESS OTHERWISE NOTED. SUBMIT SOIL ANALYSIS TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
 8. ALL DISTURBED AREAS NOT IDENTIFIED FOR A SPECIFIC LANDSCAPE TREATMENT SHALL BE LOAMED AND SEEDED WITH SEED MIX FOR LAWNS. SEE 8/L3.3.
 9. CONTACT DRS/SAFE PRIOR TO BEGINNING WORK.

Legend

- DECIDUOUS TREE PLANTING, SEE 1/L3.3
- DECIDUOUS MULTI-STEMMED TREE PLANTING, SEE 3/L3.3
- EVERGREEN TREE PLANTING, SEE 2/L3.3
- SHRUB PLANTING, SEE 4/L3.3
- LOAM AND NATIVE POLLINATOR MEADOW SEEDING, SEE 5/L3.3 (TYP)
- WET MEADOW SEEDING, SEE 5/L3.3 (TYP)
- LOAM AND LAWN SEEDING, SEE 8/L3.3
- AREA LIGHT, SEE 1/L3.2
- BOLLARD LIGHT, SEE 2/L3.2
- ARCHITECTURAL SURFACE MOUNTED LIGHT, SEE 2/L3.1

DRAWING FOR TOWN REVIEW, NOT FOR CONSTRUCTION

MIXED-USE DEVELOPMENT
TAX MAP 176, LOT 041-00

Dumont Realty and Development
43 Lowell Rd., Suite 202-A Hudson, NH 03051

LANDSCAPE & LIGHTING PLAN

REVISION LOG

REV#	DATE	DESCRIPTION
1	6/30/26	REVISIONS PER TOWN REVIEW COMMENTS & CIVIL LAYOUT

PROJECT NO. 25056.0

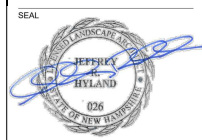
DESIGNED BY J. HYLAND / R. SMALL

DRAWN BY R. SMALL / J. HYLAND

CHECKED BY D. JENSEN / J. HYLAND

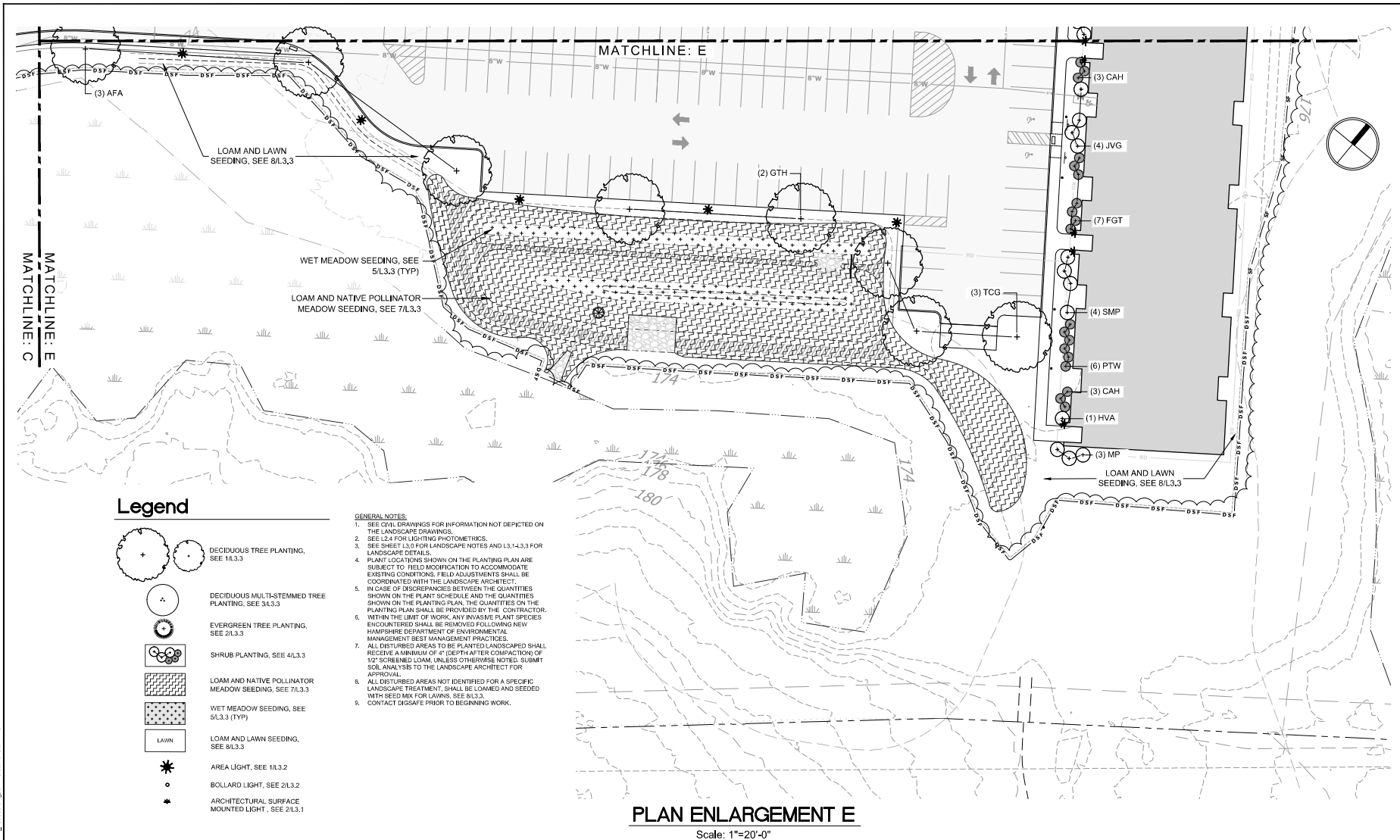
DATE JUNE 30, 2026

SCALE 1"=20'-0"



L2.2

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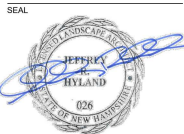


MIXED-USE DEVELOPMENT
TAX MAP 176, LOT 041-00

Dumont Realty and Development
43 Lowell Rd., Suite 202-A Hudson, NH 03051

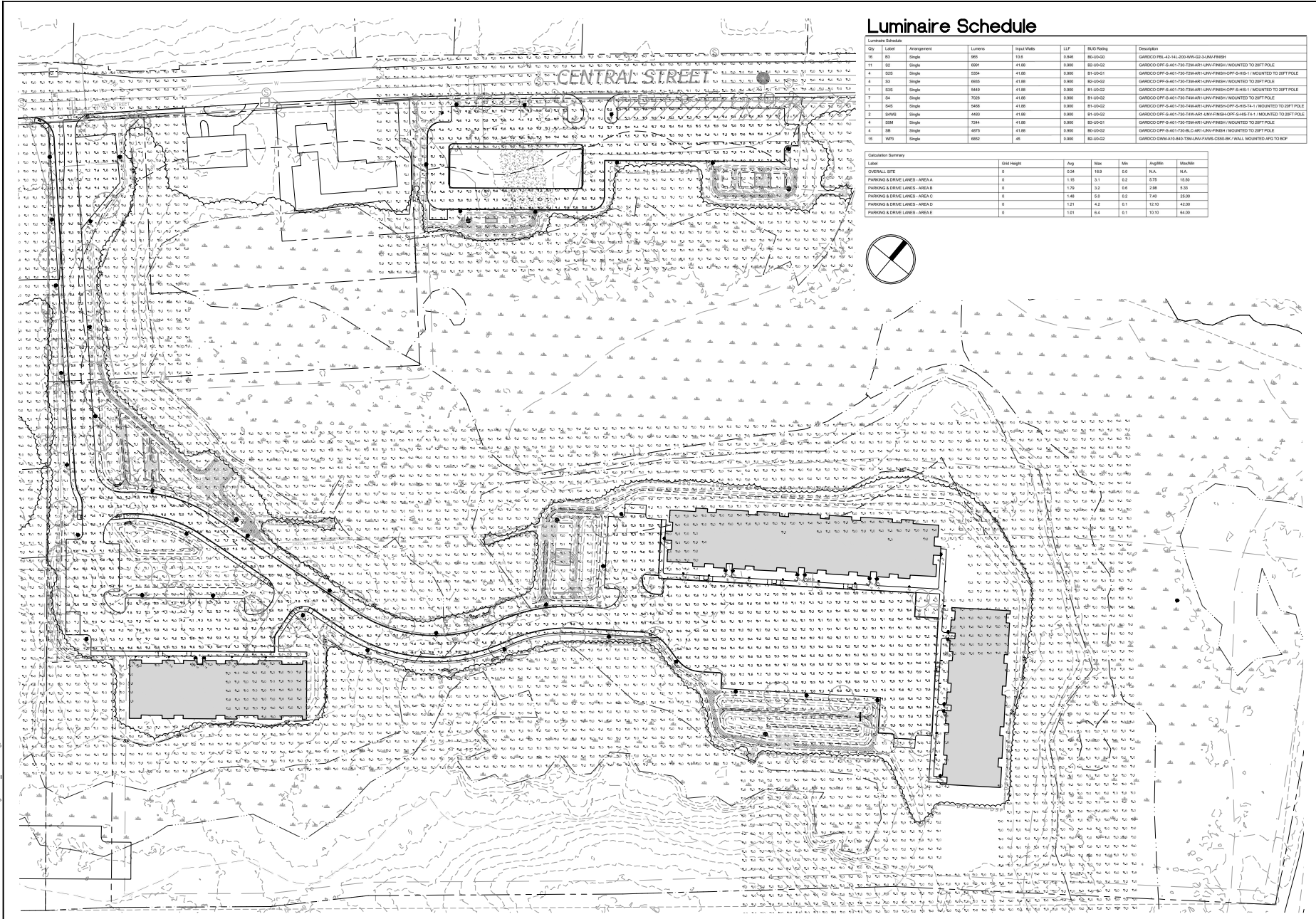
LANDSCAPE & LIGHTING PLAN

REVISION LOG		
1	6/30/26	REVISIONS PER TOWN REVIEW COMMENTS & CIVIL LAYOUT
2		
3		
4		
5		
REV#	DATE	DESCRIPTION
PROJECT NO.	25056.0	
DRAWN BY	J. HYLAND / R. SMALL	
CHECKED BY	D. JENSEN / J. HYLAND	
DATE	JUNE 30, 2026	
SCALE		
SCALE: 1"=20'-0"		



L2.3

S:\2025\6-0 - Central St Mixed-Use Historic District\DWG\250601.dwg, JHY 13/03/2025 3:41:56 PM



Luminaire Schedule

Luminaire Schedule							
Qty	Label	Arrangement	Luminaire	Input Watts	LLF	BUS Rating	Description
16	S2	Single	585	165	0.80	80-04-02	GARCOO PHL 42-142-200-WW-02-0-LUM-FINISH
11	S2	Single	585	41.86	0.80	80-04-02	GARCOO OPF 6-A51-730-TM-ARI-LUM-FINISH MOUNTED TO SPT POLE
4	S2	Single	5254	41.86	0.80	81-04-01	GARCOO OPF 6-A51-730-TM-ARI-LUM-FINISH OPF 6-HIS-1 MOUNTED TO SPT POLE
4	S3	Single	6005	41.86	0.80	80-04-02	GARCOO OPF 6-A51-730-TM-ARI-LUM-FINISH MOUNTED TO SPT POLE
1	S2	Single	5448	41.86	0.80	81-04-02	GARCOO OPF 6-A51-730-TM-ARI-LUM-FINISH OPF 6-HIS-1 MOUNTED TO SPT POLE
7	S4	Single	7018	41.86	0.80	81-04-02	GARCOO OPF 6-A51-730-TM-ARI-LUM-FINISH MOUNTED TO SPT POLE
1	S4	Single	5448	41.86	0.80	81-04-02	GARCOO OPF 6-A51-730-TM-ARI-LUM-FINISH OPF 6-HIS-1 MOUNTED TO SPT POLE
2	S4	Single	4403	41.86	0.80	81-04-02	GARCOO OPF 6-A51-730-TM-ARI-LUM-FINISH OPF 6-HIS-1 MOUNTED TO SPT POLE
4	S8	Single	4375	41.86	0.80	80-04-02	GARCOO OPF 6-A51-730-TM-ARI-LUM-FINISH MOUNTED TO SPT POLE
10	WPS	Single	6852	45	0.80	80-04-02	GARCOO OPF 6-A51-730-TM-ARI-LUM-FINISH OPF 6-HIS-1 MOUNTED TO SPT POLE

Calculation Summary							
Label	Grid Height	Avg	Max	Min	Height	Height	Height
OVERALL SITE	0	5.24	16.9	0.0	N/A	N/A	N/A
PARKING & DRIVE LINES - AREA A	0	1.15	3.1	0.2	2.75	15.50	
PARKING & DRIVE LINES - AREA B	0	1.75	3.2	0.6	2.88	5.30	
PARKING & DRIVE LINES - AREA C	0	1.48	6.0	0.2	7.41	25.00	
PARKING & DRIVE LINES - AREA D	0	1.21	4.2	0.1	12.18	42.00	
PARKING & DRIVE LINES - AREA E	0	1.01	6.4	0.1	15.70	64.00	



MIXED-USE DEVELOPMENT
TAX MAP 176, LOT 041-00
Dumont Realty and Development
43 Lowell Rd., Suite 202-A Hudson, NH 03051

SHEET TITLE
LIGHTING PHOTOMETRICS PLAN

REVISION LOG

1	Δ	6/30/2024	PROVIDING FOR TOWN REVIEW COMMENTS & CIVIL LAYOUT
2	Δ		
3	Δ		
4	Δ		

REV# **DATE** **DESCRIPTION**

PROJECT NO. 25056.0

DESIGN BY J. HYLAND / R. SMALL

DRAWN BY R. SMALL / J. HYLAND

CHECKED BY D. JENSEN / J. HYLAND

DATE JUNE 30, 2025

SCALE 1"=50'-0"

SCALE 1"=100'

SEAL

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GENERAL NOTES

1. THE CONTRACTOR MUST FAMILIARIZE THEMSELVES WITH ALL UTILITIES ABOVE GRADE, AT GRADE, AND UNDERGROUND INCLUDING UTILITY PIPES AND STRUCTURES. THE CONTRACTOR SHALL VERIFY WITH THE UTILITY COMPANIES THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST TAKE SOLE RESPONSIBILITY FOR THE COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF ALL UTILITIES ON SITE. THE CONTRACTOR SHALL CONTACT DIG-SAFE AND NECESSARY OWNER DEPARTMENTS TO FIELD LOCATE ALL UTILITIES BEFORE STARTING WORK.
2. THE LIMIT OF WORK SHALL FALL EXCLUSIVELY WITHIN THE OWNER RIGHT OF WAY. THE CONTRACTOR SHALL NOT DO ANY WORK BEYOND THE LIMITS OF WORK, EXCEPT AS SHOWN ON THE DRAWINGS AND AUTHORIZED BY THE OWNER. REPRESENTATIVE, THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR THE COST INCURRED DUE TO REPLACEMENT OF WORK DONE BEYOND THE CONTRACT LIMIT AND REPLACEMENT FOR WORK DONE WITHOUT PERMISSION OF THE OWNER REPRESENTATIVE.
3. CONDUCT ALL THE COORDINATION NEEDED TO COMPLETE THE WORK SHOWN ON THE DRAWINGS.
4. ALL NOTES ARE APPLICABLE TO ALL DRAWINGS.
5. SUPPLY AND MAINTAIN FOR THE DURATION OF CONSTRUCTION ALL NECESSARY DEVICES OR MATERIALS FOR EROSION, SEDIMENT AND DUST CONTROL, SUCH AS HAY BALES, GRAVEL, BOARDS, ETC. INCLUDING THOSE ITEMS NECESSARY FOR STOCKPILES AND PROTECTION OF ADJACENT PUBLIC WAYS. AND SHALL REMOVE THE DEVICES AFTER PROJECT COMPLETION.
6. REPAIR OR REMOVE AND REPLACE DEFECTIVE CONSTRUCTION, RESTORE DAMAGED SUBSTRATES AND FINISHES, REPAIRS INCLUDING REPLACING DEFECTIVE PARTS, REFINISHING DAMAGES SURFACES, TOUCHING UP WITH MATCHING MATERIALS, AND PROPERLY ADJUSTING OPERATING EQUIPMENT, RESTORE PERMANENT FACILITIES USED DURING INSTRUCTION TO THEIR SPECIFIED CONDITION. REMOVE AND REPLACE DAMAGED SURFACES THAT ARE EXPOSED TO VIEW IF SURFACES CANNOT BE REPAIRED WITHOUT VISIBLE EVIDENCE OF REPAIR. REPAIR COMPONENTS THAT DO NOT OPERATE PROPERLY. REMOVE AND REPLACE OPERATING COMPONENTS THAT CANNOT BE REPAIRED.
7. FINAL CLEANING. USE CLEANING MATERIALS AND AGENTS RECOMMENDED BY MANUFACTURER OR FABRICATOR OF THE SURFACE TO BE CLEANED. DO NOT USE CLEANING AGENTS THAT ARE POTENTIALLY HAZARDOUS TO HEALTH OR PROPERTY OR THAT MIGHT DAMAGE FINISHED SURFACES. COMPLY WITH MANUFACTURERS WRITTEN INSTRUCTIONS. COMPLY WITH SAFETY STANDARDS FOR CLEANING. CLEANING AND WASTE-REMOVAL OPERATIONS TO COMPLY WITH LOCAL LAWS AND ORDINANCES AND FEDERAL AND LOCAL ENVIRONMENTAL AND AIRPOLLUTION REGULATIONS. DO NOT BURN WASTE MATERIALS. DO NOT BURY DEBRIS OR EXCESS MATERIALS ON THE OWNERS PROPERTY. DO NOT DISCHARGE VOLATILE, HAZARDOUS, OR DANGEROUS MATERIALS INTO THE SEWERAGE SYSTEMS. REMOVE WASTE MATERIALS FROM THE PROJECT SITE AND DISPOSE OF LAWFULLY. COMPLETE THE FOLLOWING CLEANING OPERATIONS BEFORE REQUESTING INSPECTION FOR CERTIFICATION OF FINAL ACCEPTANCE FOR THE ENTIRE PROJECT OR FOR A PORTION OF THE PROJECT:
 - A. CLEAN PROJECT SITE, YARD, AND GROUNDS. IN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, OF RUBBISH, WASTE MATERIAL, LITTER, AND OTHER FOREIGN SUBSTANCES.
 - B. SWEEP PAVED AREAS BROOM CLEAN. REMOVE PETROCHEMICAL SPILLS, STAINS, AND OTHER FOREIGN DEPOSITS.
 - C. RAKE GROUNDS THAT ARE NEITHER PLANTED NOR PAVED TO A SMOOTH, EVEN-TEXTURED SURFACE.
 - D. REMOVE TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, AND SURPLUS MATERIAL FROM PROJECT SITE.
 - E. REMOVE OBSTACLES, INCLUDING IF APPLICABLE SNOW AND ICE, TO PROVIDE SAFE ACCESS FOR PEDESTRIANS.
 - F. CLEAN EXPOSED HARD-SURFACED FINISHED TO A DIRT-FREE CONDITION. FREE OF STAINS, FILMS, AND SIMILAR FOREIGN SUBSTANCES. AVOID DISTURBING NATURAL WEATHERING OF EXTERIOR SURFACES. RESTORE REFLECTIVE SURFACES TO THEIR ORIGINAL CONDITION.
 - G. REMOVE LABELS THAT ARE NOT PERMANENT.
 - H. TOUCH UP AND OTHERWISE REPAIR AND RESTORE MARRED, EXPOSED FINISHES AND SURFACES. REPLACE FINISHES AND SURFACES THAT CANNOT BE SATISFACTORILY REPAIRED OR RESTORED OR THAT ALREADY SHOW EVIDENCE OF REPAIR OR RESTORATION.

SITE PREPARATION NOTES

1. THE CONTRACTOR MUST MAKE EVERY EFFORT TO PRESERVE THE HEALTH OF THE EXISTING VEGETATION ON SITE. PRIOR TO BEGINNING ANY CONSTRUCTION WORK, ACTIONS MUST BE TAKEN TO PROTECT ALL LANDSCAPING TO REMAIN.
2. DEMARKATE ALL ELEMENTS REQUIRING PROTECTION BY ENCIRCLING WITH AN ORANGE PLASTIC, 4-FOOT-HIGH BARRICADE FENCE THAT MUST REMAIN STAKED IN-PLACE FOR THE DURATION OF THE PROJECT.
3. POST APPROPRIATE SIGNAGE FOR THE ROOT PROTECTION ZONE.
4. PROTECT TREES IN THE ROOT PROTECTION ZONE FROM SCRAPING AND GOUGING; PLACE A BAND OF 2" X 4" LUMBER AROUND TREE TRUNKS WITH A MAXIMUM DISTANCE OF 8" APART TO ENCIRCLE THE TRUNK TO A HEIGHT OF 6 FEET. SECURE THE LUMBER EVERY 16" WITH 1/2" POLY-STRAPPING WITH 0.20" MINIMUM THICKNESS.
5. CONDUCT ALL EXCAVATION WORK IN ROOT PROTECTION ZONES WITH AN AIR SPADE AND/OR BY HAND DIGGING. WHEN ROOTS ARE ENCOUNTERED THAT MUST BE CUT, IN ORDER TO INSTALL UTILITIES OR PAVEMENT, THE ROOTS MUST BE PRUNED WITH HAND SAWS, LOPPERS, OR HAND PRUNERS. PRUNE JAGGED ROOTS BACK TO THE TRENCH WALL CLOSEST TO THE TREE.
 - A. KEEP EQUIPMENT AND EXCAVATED BACKFILL ON THE SIDE FURTHEST FROM THE TREE.
 - B. REPLACE BACKFILL ON THE SAME DAY. IF THIS IS NOT POSSIBLE, COVER THE EXPOSED ANY ROOTS WITH WET BURLAP TO PREVENT DRYING.
 - C. KEEP CHEMICALS AND FOREIGN DEBRIS FROM MIXING WITH BACKFILL.
 - D. PACK BACKFILL TO THE SAME FIRMNESS AS THE SURROUNDING SOIL.
 - E. WATER AND DAMPEN BACKFILL IF EXCAVATION OPERATIONS OCCURS DURING HOT, DRY WEATHER.
6. AVOID THE FOLLOWING ACTIVITIES WITHIN THE ROOT PROTECTION ZONE.
 - A. STORAGE OF CONSTRUCTION MATERIALS.
 - B. CONCRETE WASH-OUT OPERATIONS.
 - C. STOCKPIILING OF DEMOLITION DEBRIS.
 - D. PARKING OF ANY VEHICLES OR EQUIPMENT.
 - E. STOCKPIILING OF SOIL AND/OR MULCH.
7. DISPOSE OF EXISTING VEGETATION MARKED AS INVASIVE ACCORDING TO NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION BEST MANAGEMENT PRACTICES. ANY TRUCKS COLLECTING CHIPPED VEGETATIVE MATERIALS MUST BE EMPTY UPON ARRIVAL ON THE PROJECT SITE. USE APPROPRIATE HYGIENE AND BEST PRACTICES TO AVOID CONTAMINATION OF, AND TO PROTECT STOCKPILED WOOD CHIPS THAT WILL BE USED ON SITE IN TREE BOX FILTERS OR AS THE WOOD CHIP COMPONENT OF PLANTING MIXES.

PLANTING NOTES

1. PLEASE SEE LANDSCAPE SPECIFICATIONS FOR DETAILED INFORMATION.
2. LOCATE AND VERIFY ALL EXISTING AND NEW UTILITY LINE LOCATIONS PRIOR TO PLANTING, AND REPORT ANY CONFLICTS TO THE OWNER REPRESENTATIVE.
3. ENSURE THAT ALL PLANT MATERIAL CONFORM TO THE GUIDELINES ESTABLISHED BY THE "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN SOCIETY OF NURSERY MEN, INC. LATEST EDITION.
4. STAKE THE LOCATION OF ALL THE PROPOSED PLANT MATERIAL FOR APPROVAL BY THE OWNER REPRESENTATIVE PRIOR TO PLANTING. NO PLANTS SHALL BE PLANTED UNTIL THE ACCEPTANCE OF ROUGH GRADING.
5. PROPOSE ONLY SUBSTITUTIONS OF PLANT SPECIES WITH EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER COLOR, LEAF COLOR, FRUIT COLOR, AND TIME OF BLOOM. TO THE OWNER REPRESENTATIVE FOR THEIR APPROVAL.
6. EXISTING LOAM: REMOVE CLAY LUMPS, BRUSH, LITTER, ROOTS, STONES 1" AND LARGER, AND OTHER FOREIGN MATERIALS FROM EXISTING STOCKPILED LOAM.
7. ADDITIONAL LOAM: IF STOCKPILED LOAM QUANTITY IS INSUFFICIENT PROVIDE LOAM THAT IS A "FINE SANDY LOAM" OR A "SANDY LOAM" DETERMINED BY MECHANICAL ANALYSIS AND BASED ON THE "U.S.D.A. CLASSIFICATION SYSTEM." IT SHALL BE OF UNIFORM COMPOSITION WITHOUT ADMIXTURE OF SUBSOIL. LOAM SHALL HAVE AN ACIDITY RANGE OF PH 5.8 TO PH 7.0 AND SHALL CONTAIN NOT LESS THAN 4% NOR MORE THAN 10% ORGANIC MATTER AS DETERMINED BY THE LOSS OF IGNITION OR OVERDRIED SAMPLES. PROVIDE LOAM THAT IS FERTILE, FRAGILE, NATURAL LOAM FREE FROM SUBSOIL, CLAY LUMPS, BRUSH, LITTER, ROOTS, STONES 1" AND LARGER, AND ANY FOREIGN MATERIALS.
8. MULCHES: PROVIDE PARTIALLY DECOMPOSED MINIMUM SIX MONTH AGED FINELY SHREDDED PINE BARK MULCH WITH DARK BROWN COLOR AND FREE OF WEEDS, EXCESSIVE FINE PARTICLES, STRINGY MATERIAL, AND CHUNKS OF WOOD THICKER THAN 1/2" AS APPROVED BY THE OWNER REPRESENTATIVE. APPLY JACKED MULCH TO ALL SEEDED AREAS. PROVIDE SMOOTH RIVERSTONE MULCH CONSISTING OF 50% 1" TO 2.5" STONES, 25% 3" TO 4" STONES, AND 25% 3/4" TO 1" STONES.
9. ALL PLANTS SHALL BE PLUM VERTICALLY AFTER SETTLING. THE BASE OF THE FLARE OF TREE TRUNKS SHALL BE EXPOSED AND PLACED 2" ABOVE FINISH GRADE.
10. ALL PLANT MATERIAL SHALL BE MULCHED AFTER PLANTING.
11. UNLESS OTHERWISE INDICATED, DICTATED BY CONDITIONS AT THE SITE, AND DIRECTED BY THE OWNER REPRESENTATIVE, BACKFILL SHALL CONSIST OF UNAMENDED SOIL EXCAVATED FROM THE PLANTING PIT. BACKFILL IN 3-4" LAYERS AND CONSOLIDATE EACH LAYER WITH WATER TO ELIMINATE VOIDS AND ARE POCKETS BEFORE PLACING SUBSEQUENT LAYERS. CONTINUE UNTIL BACKFILL HAS REACHED FINISHED GRADE. WATER THOROUGHLY WHEN EXCAVATION IS BACK FILLED AND CONTINUE WATERING UNTIL SATURATED. IF EXISTING UNAMENDED SOIL IS NOT ACCEPTED, PROVIDE PLANTING SOIL MIXTURE CONSISTING OF 7 PARTS LOAM AND 1 PART HUMUS. MIX QUANTITY OF FERTILIZER AND SOIL. AMENDMENTS AS RECOMMENDED BY SOIL ANALYSIS AND APPROVED BY THE OWNER REPRESENTATIVE.
12. WATERING: FLOOD ALL PLANTS WITH WATER TWICE WITHIN THE FIRST 24 HOURS AFTER PLANTING.
13. LOAMING: LOOSEN SUBGRADE AND EXISTING LOAM AREAS BY DIGGING OR ROTOTILLING TO MINIMUM DEPTH OF 6". REMOVE STONES GREATER THAN 2" AND ALL RUBBISH AND DEBRIS. PLACE LOAM IN TWO EQUAL LIFTS MIXING FIRST APPLICATION INTO LOOSENED SUBGRADE THEN PLACE SECOND LIFT TO BRING LOAM FROM BOTH SETTLING AND COMPACTING TO THE LINES AND GRADES SHOWN IN THE CONTRACT DOCUMENTS. 6" DEEP MINIMUM. DO NOT HANDLE LOAM OR SUBSOIL IF IT IS WET OR FROZEN.
14. AFTER LOAM HAS BEEN SPREAD, CAREFULLY PREPARE IT FOR SEEDING OR SOODING BY SCARPING AND HAND RAKING. REMOVE FROM LOAM ALL LARGE STIFF CLODS, LUMPS, BRUSH, ROOTS, STUMPS, LITTER AND FOREIGN MATTER, AND STONES OVER ONE INCH IN DIAMETER. LOAM MUST BE FREE OF SMALLER STONES IN EXCESSIVE QUANTITIES AS DETERMINED BY THE OWNER REPRESENTATIVE.
15. FIN GRADING: SET SURVEYOR GRADE STAKES FOR CHECKING THE FINISHED GRADES. STAKES MUST BE SET AT THE BOTTOM AND TOP OF SLOPES. ESTABLISH GRADES THAT ARE ACCURATE TO 1/10TH OF A FOOT EITHER WAY. CONNECT CONTOURS AND SPOT ELEVATIONS WITH AN EVEN SLOPE. GRADES MUST INSURE DRAINAGE AWAY FROM STRUCTURES.
16. FINISH GRADING: LAWN SURFACES TO BE FINISHED WITH A FINE TEXTURE, ROLL, RAKE, AND DRAW LAWN AREAS TO FLATTEN RIDGES AND FILL DEPRESSIONS, EXCEPT AT SELECT AREAS AS SHOWN ON THE DRAWINGS. CONTROL MOISTURE CONTENT TO MAINTAIN OPTIMUM CONDITIONS, BUT DO NOT CREATE MUDDY CONDITIONS.
17. ROLLING - TYPICAL ROLL THE ENTIRE AREA WITH A HAND ROLLER WEIGHING NOT MORE THAN 100 POUNDS. PER FOOT OF WIDTH. DURING THE ROLLING, ALL EXPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE OR TO THE FINISH GRADES AND CONTOURINGS AS SHOWN ON THE DETAILS.
18. LIMIT OF WORK LINE SHALL BE LIMIT OF SEEDING AND SOODING UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ALL AREAS DISTURBED OUTSIDE THE LIMIT OF WORK SHALL BE SEEDED OR SOODED AS INDICATED ON THE DRAWINGS.
19. IN CASE OF DISCREPANCIES BETWEEN THE QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THE QUANTITIES SHOWN ON THE PLANTING PLAN, THE QUANTITIES ON THE PLANTING PLAN SHALL BE PROVIDED BY THE CONTRACTOR.

ELECTRICAL NOTES

1. THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE TO MAKE THEMSELF AWARE OF THE EXISTING CONDITIONS AND EXISTING EQUIPMENT.
2. ELECTRICAL CONTRACTOR IS REQUIRED TO COORDINATE THEIR WORK WITH ALL UTILITIES INVOLVED.
3. THE ELECTRICAL CONTRACTOR MUST FURNISH AND INSTALL ALL LABOR, MATERIALS, APPLIANCES, EQUIPMENT TOOLS, TRANSPORTATION, SUPERVISION, AND SERVICES REQUIRED. COMPLETELY TEST AND MAKE OPERATIVE. ALL ELECTRICAL WORK AS OUTLINED IN THE DRAWINGS AND SPECIFICATIONS.
4. ELECTRICAL WORK MAY INCLUDE, BUT NOT BE LIMITED TO, THE FURNISHING OF MATERIALS AND INSTALLATION OF THE FOLLOWING IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
 - A. WIRING DEVICES
 - B. LIGHTING SYSTEM
 - C. CONDUIT, RACEWAYS, ETC.
 - D. BRANCH CIRCUIT WIRING
 - E. PANELBOARD CIRCUIT BREAKER
 - F. GROUNDING, WIRE, AND CABLE

THE ELECTRICAL CONTRACTOR MUST:

5. CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE NEC, STATE OF NEW HAMPSHIRE BUILDING CODE, OSHA, ADA, AND IN A PROFESSIONAL MANNER.
6. PAY FOR ALL INSPECTION FEES, LICENSES, AND PERMITS.
7. INCLUDE ANY MATERIAL, ITEM OR WORK NOT SHOWN ON THE DRAWINGS BUT MENTIONED ON THE SPECIFICATIONS OR VICE-VERSA, OR ANY ACCESSORIES NECESSARY TO MAKE THE WORK COMPLETE IN ALL RESPECTS AND READY FOR OPERATION IN THE CONTRACTORS BID WITHOUT CAUSING EXTRA WORK OR EXTRA COST TO THE OWNER.
8. SUBMIT SHOP DRAWINGS AND PRODUCT DATA, AND CHECK, STAMP, AND MARK SUBMITTALS WITH PROJECT NAME BEFORE TRANSMITTING TO THE OWNER REPRESENTATIVE.
9. PROVIDE SHOP DRAWINGS FOR ALL EQUIPMENT FOR APPROVAL BEFORE PURCHASING. ALL EQUIPMENT SHALL BEAR THE LABEL OF A NATIONALLY RECOGNIZED TESTING LABORATORY.
10. STORE ALL ELECTRICAL EQUIPMENT, MATERIALS, ETC. ON SITE IN SUCH MANNER THAT IT IS SAFE FROM DAMAGE BY MOISTURE, IMPACT, ETC.
11. PERFORM WORK IN A NEAT AND ORDERLY, PROFESSIONAL MANNER. PROPERLY DISPOSE OF ALL REFUSE, DIRT, AND DEBRIS RESULTANT FROM THEIR WORK AT THE END OF EACH DAY.
12. FOLLOW THE MANUFACTURERS INSTALLATION RECOMMENDATIONS AND DIRECTIONS FOR ALL EQUIPMENT AND MATERIALS USED.
13. USE ONLY NEW MATERIALS THAT CONFORM TO THE NEHA NATIONAL ELECTRIC CODE (NEC) AND UNDERWRITERS LABORATORIES, INC. STANDARDS IN EVERY CASE WHERE SUCH A STANDARD HAS BEEN ESTABLISHED FOR THE PARTICULAR TYPE OF MATERIAL.
14. WHERE MATERIAL IS CALLED OUT IN THE LEGEND, FIXTURE SCHEDULE, NOTES, SPECIFICATIONS, OR ELSEWHERE BY THE MANUFACTURER, TYPE OR CATALOG NUMBER, SUCH DESIGNATIONS ARE TO ESTABLISH STANDARDS OF DESIRED QUALITY. ACCEPTANCE OR REJECTIONS OF PROPOSED SUBSTITUTIONS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER REPRESENTATIVE.
15. PHOTOCELL
 - A. FURNISH AND INSTALL A PHOTOCELL AS DIRECTED FOR THE CONTROL OF ALL LIGHTS. PHOTOCELL SHALL BE MANUFACTURED BY TORK OR EQUIVALENT.
16. LIGHTING
 - A. FURNISH AND INSTALL ALL LIGHTING FIXTURES AS INDICATED ON THE DRAWINGS.

17. GROUNDING

- A. PROVIDE COMPLIANT GROUNDING FOR ALL ELECTRICAL EQUIPMENT AND DEVICES.
 - B. BONDING JUMPS SHALL BE INSTALLED AT ALL LOCATIONS REQUIRED BY NEC.
 - C. GREEN GROUNDING CONDUCTOR OF PROPER-SIZE SHALL BE INSTALLED AND CONNECTED WITH THE BRANCH CIRCUIT CONDUCTORS FROM THE PANELBOARD TO THE LIGHTING FIXTURES. CONNECTIONS TO THE EQUIPMENT SHALL BE BOLTED OR SCREWED USING CORROSION RESISTING BOLTS OR SCREWS. A GREEN GROUNDING CONDUCTOR SHALL BE INSTALLED IN ALL BRANCH AND FEEDER CIRCUITS.
18. RACEWAYS
- A. ALL EXPOSED EXTERIOR CONDUIT THAT RUNS OUTSIDE SHALL BE HOT DIPPED GALVANIZED STEEL CONDUIT.
19. HANGERS AND SUPPORTS
- A. PROVIDE ALL REQUIRED HANGERS, SUPPORTS, SLEEVES, CLAMPS, ETC. AS REQUIRED AND/OR AS INDICATED ON THE DRAWINGS.
20. PULL AND JUNCTION BOXES
- A. BOXES FOR EXTERIOR WORK SHALL MEET ANSI-CITE TIER 15 MEDIUM DUTY RATING, SUCH AS OLDCASTLE SYNERTECH1212-18 MADE OF DUOMOLD COMPOSITE OR APPROVED EQUAL. STEEL OR ANY CONDUCTIVE BOXES WILL NOT BE PERMITTED.
 - B. FEEDER AND BRANCH CIRCUIT CONDUCTORS
 - C. ALL FEEDER, BRANCH CIRCUIT, REMOTE CONTROL, SIGNAL CIRCUIT, AND INTERLOCK WIRING SHALL BE MANUFACTURED OF COPPER AND RATED 600 VOLTS.
 - D. MINIMUM SIZE WIRE FOR BRANCH CIRCUIT AND POWER WIRING SHALL BE #12 AWG.
 - E. INSULATION SHALL BE THIN-TURN FOR LIGHTING.
 - F. ALL WIRING SHALL CONFORM TO THE NEC FOR CONSTRUCTION AND USE.
22. WIRING DEVICES
- A. FURNISH AND INSTALL WIRING DEVICES AND SPECIFICATION GRADE, COMPLETE WITH ALL ACCESSORIES AS INDICATED ON THE DRAWINGS AND AS SPECIFIED HEREUNDER. ALL WIRING DEVICES SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER EXCEPT WHERE SPECIFICALLY STATED OTHERWISE.
 - B. FURNISH AND INSTALL NAME PLATES ON ALL ELECTRICAL EQUIPMENT.
 - C. ALL EQUIPMENT EXPOSED TO MOISTURE SHALL BE OF THE APPROPRIATE (NEMA) WEATHERPROOF TYPE. SEAL ALL APPLICABLE CONDUITS THAT PENETRATE THE BUILDING.
25. PERFORM ALL TESTS REQUIRED AND VERIFY PHASE BALANCE OF THE PANELBOARD.
- A. COMPLETE TEST AND INSPECTION RECORDS SHALL BE MADE AND INCORPORATED INTO A REPORT FOR EACH PIECE OF EQUIPMENT TESTED. ALL READINGS TAKEN SHALL BE RECORDED. TEST REPORTS SHALL BE SUBMITTED TO THE OWNER REPRESENTATIVE FOR APPROVAL.
 - B. FURNISH NECESSARY METERS, INSTRUMENTS, TEMPORARY WIRING, AND LABOR TO PERFORM ALL REQUIRED TESTS AND ADJUSTMENTS OF EQUIPMENT AND WIRING INSTALLED AND/OR CONNECTED UNDER THIS CONTRACT, INCLUDING ELECTRICAL EQUIPMENT FURNISHED BY OTHERS, TO DETERMINE PROPER POLARITY, PHASING, FREEDOM FROM GROUND AND SHORTS AND OPERATION OF EQUIPMENT. ALL MEASURING INSTRUMENTS SHALL BE PROPERLY CALIBRATED.
 - C. ALL MATERIALS AND MANNER OF INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF STATE AND LOCAL AUTHORITIES, THE UTILITY COMPANY, AND THE CODES OF THE NATIONAL BOARD OF UNDERWRITERS.
 - D. WHENEVER ANY OF THE AFOREMENTIONED CODES, LAWS, ETC. REQUIRE THAT ANY WORK BE TESTED OR APPROVED, THE CONTRACTOR SHALL PROVIDE PROPER FACILITIES FOR ACCESS AND FOR INSPECTION. ALL AT THEIR OWN EXPENSE.
 - E. WIRING. THE CONTRACTOR SHALL CORRECT OR REPLACE ANY NOMINAL CURRENT-CARRYING CIRCUIT WHICH IS DEFECTIVE OR GROUNDED AND HE SHALL ALSO CORRECT ALL OTHER TROUBLES ENCOUNTERED BY THESE TESTS. ALL DEFECTS WHETHER THROUGH FAULTY WORKMANSHIP OF MATERIAL FURNISHED SHALL BE CORRECTED UNDER THIS SECTION AT THE CONTRACTORS EXPENSE.
26. UPON COMPLETION OF THE WORK, THE ELECTRICAL CONTRACTOR SHALL BE REQUIRED TO DEMONSTRATE PROPER OPERATION OF THE LIGHTING SYSTEM.
27. FINAL INSPECTION. WHEN WORK ON THIS PROJECT HAS BEEN COMPLETED AND IS READY FOR FINAL INSPECTION, SUCH INSPECTION WILL BE MADE. AT THIS TIME, THE CONTRACTOR SHALL DEMONSTRATE THAT THE REQUIREMENTS OF THESE SPECIFICATIONS HAVE BEEN MET. WRITTEN RESULTS FOR ALL TESTS SHALL BE SUBMITTED TO THE OWNER REPRESENTATIVE.
29. RECORD DRAWINGS. THE CONTRACTOR SHALL PREPARE A COMPLETE SET OF RECORD CONSTRUCTION DRAWINGS AND SUBMIT THEM TO THE OWNER REPRESENTATIVE FOR APPROVAL.
29. ELECTRICAL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE. DEFECTS SHALL BE CORRECTED WITHOUT CHARGE, INCLUDING ALL PATCHING, PAINTING, AND OTHER INCIDENTAL REPAIRS AND REPLACEMENTS. COORDINATE ALL WORK WITH OTHER TRADES. FURNISH AND INSTALL ALL POWER AND CONTROL WIRING FOR A COMPLETE INSTALLATION.

MIXED-USE DEVELOPMENT

TAX MAP 176, LOT 041-00

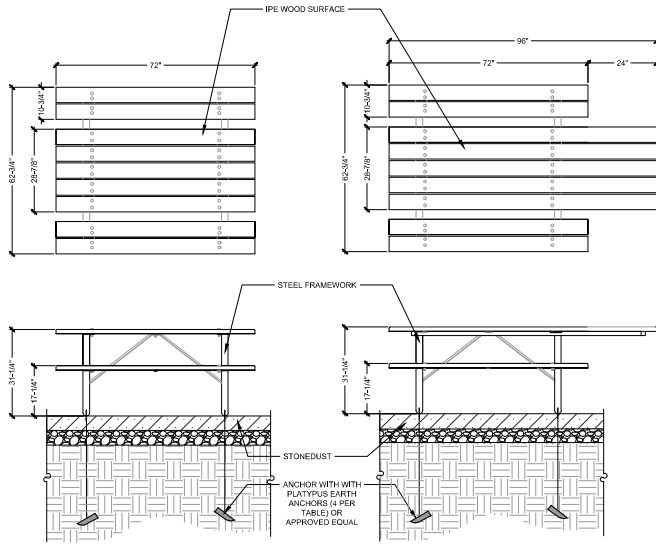
Dumont Realty and Development
43 Lowell Rd., Suite 202-A Hudson, NH 03051

SHEET TITLE

LANDSCAPE & LIGHTING NOTES

REVISION LOG		
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2	Δ	REVISIONS PER TOWN REVIEW COMMENTS & CIVIL LAYOUT
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- NOTES:
1. PICNIC TABLE SHALL BE MODEL EP-2830 WITH WOOD SLATS AND BLACK POWDER-COATED STEEL FINISH AS MANUFACTURED BY EQUIPARC OR EQUAL.
 2. PICNIC TABLES INCLUDE BOTH STANDARD LENGTH AND ADA ACCESSIBLE LENGTH.
 3. FOUR (4) STANDARD AND ONE (1) ACCESSIBLE PICNIC TABLES TO BE PROVIDED.

Wood Picnic Table

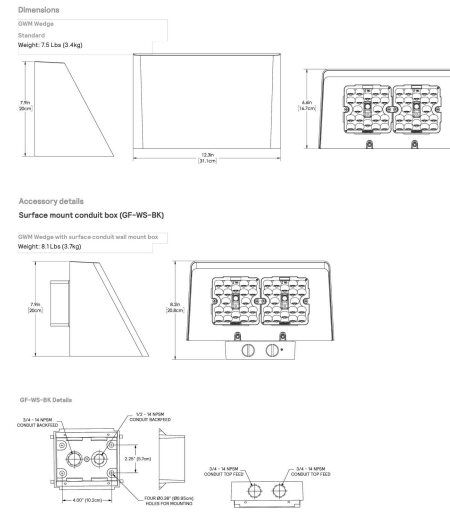
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1

L3.1

GWM GeoForm wedge medium Wall sconce



- NOTES:
1. ARCHITECTURAL BUILDING MOUNTED SCONCE SHALL BE THE GWM WEDGE MEDIUM LED ICGW-A10-840-T3M-UV-FAWS-C550-BK

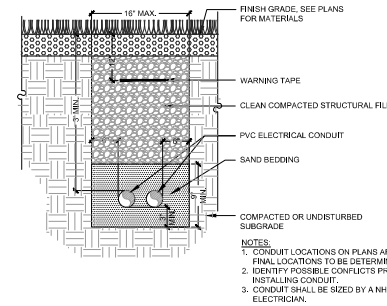
Architectural Building Wall Sconce

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2

L3.1



- NOTES:
1. CONDUIT LOCATIONS ON PLANS ARE SCHEMATIC. FINAL LOCATIONS TO BE DETERMINED IN THE FIELD.
 2. IDENTIFY POSSIBLE CONFLICTS PRIOR TO INSTALLING CONDUIT.
 3. CONDUIT SHALL BE SIZED BY A NH LICENSED ELECTRICIAN.

Underground Electrical Trench

Not to Scale

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3

L3.1

MIXED-USE DEVELOPMENT

TAX MAP 176, LOT 041-00

Dumont Realty and Development
43 Lowell Rd., Suite 202-A Hudson, NH 03051

SHEET TITLE

LANDSCAPE & LIGHTING DETAILS

REVISION LOG

REV#	DATE	DESCRIPTION
1	6/30/26	REVISIONS FOR TOWN REVIEW COMMENTS & CIVIL LAYOUT
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L3.1

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Area Light

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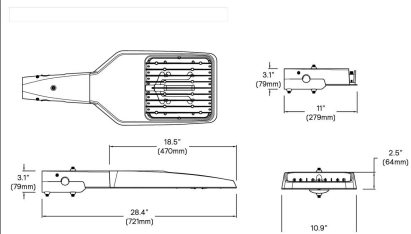
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1
L3.2

OPF-S OptiForm small

Site & area luminaire

Dimensions
OptiForm Standard Arm
Weight: 11 lb (5.0 kg)
EPA: 0.2 ft² (0.018 m²)
OptiForm Mast Arm
Weight: 12.6 lb (5.7 kg)



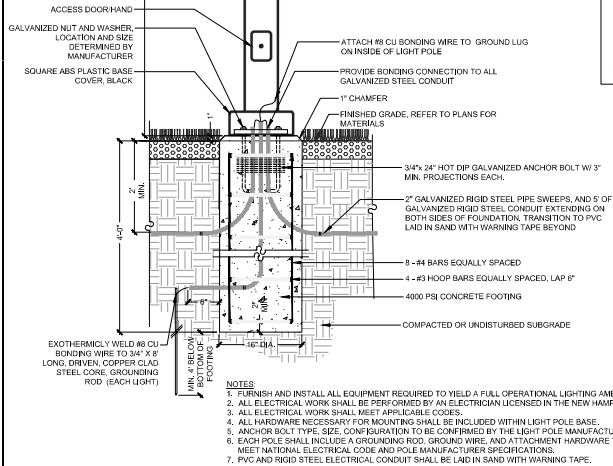
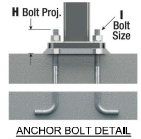
OPF-S OptiForm small

Site & area luminaire

OPF-S Area Optic Lumen values

Performance Package	System Watts	Distribution Type	10 CRI			70 CRI			70 CRI		
			Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
A03	64	A/R	10811	83-U0-03	170	11429	82-U0-02	180	11429	83-U0-03	180
		T/W	9991	82-U0-03	167	10563	82-U0-02	166	10563	82-U0-03	166
		T/N	10740	83-U0-02	169	11365	83-U0-01	179	11365	83-U0-02	179
		T/W	10341	84-U0-02	163	10933	83-U0-02	172	10933	84-U0-02	172
		L/C	5879	81-U0-01	89	6004	81-U0-01	94	6004	81-U0-01	94
		B/C	5879	81-U0-01	89	6004	81-U0-01	94	6004	81-U0-01	94

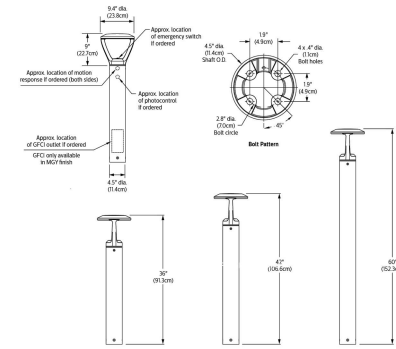
MOUNTING PLATE DETAIL



- NOTES:
- FURNISH AND INSTALL ALL EQUIPMENT REQUIRED TO YIELD A FULL OPERATIONAL LIGHTING AMENITY.
 - ALL ELECTRICAL WORK SHALL BE PERFORMED BY AN ELECTRICIAN LICENSED IN THE NEW HAMPSHIRE.
 - ALL ELECTRICAL WORK SHALL MEET APPLICABLE CODES.
 - ALL HARDWARE NECESSARY FOR MOUNTING SHALL BE INCLUDED WITHIN LIGHT POLE BASE.
 - ANCHOR BOLT TYPE, SIZE, CONFIGURATION TO BE CONFIRMED BY THE LIGHT POLE MANUFACTURER.
 - EACH POLE SHALL INCLUDE A GROUNDING ROD, GROUND WIRE, AND ATTACHMENT HARDWARE TO MEET NATIONAL ELECTRICAL CODE AND POLE MANUFACTURER SPECIFICATIONS.
 - PVC AND RIGID STEEL ELECTRICAL CONDUIT SHALL BE LAID IN SAND WITH WARNING TAPE.

PBL PureForm LED bollard

Dimensions



Specifications

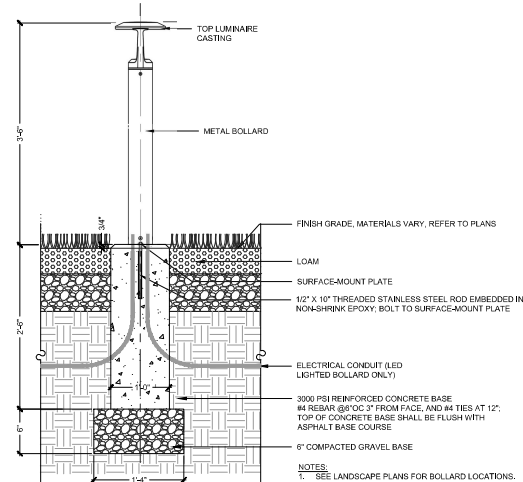
Mounting
Main body housing and yoke made of low copper cast aluminum alloy for a high resistance to corrosion. Luminaire shaft features a cylindrical extruded aluminum base housing. Bottom section has a nested ring for ease of assembly. It attaches to base assembly with four (4) hex head set screws. Most electrical components are integrated in the shaft of the bollard by design. This allows for this steel profile, giving the freedom to have a clean minimalist aesthetic design with minimum distribution to optics performance. Luminaire housing rated to IP65, tested in accordance to Section 9 of IEC 60598-1.

Light engine
Light engine comprises of a 14-LED module made out of aluminum metal clad board fully sealed with optics. Module is RoHS compliant. Color temperature: 3000K +/-10%, 4000K, 5000K +/-20%, Minimum CRI of 70. LED light engine is rated IP68 in accordance to IEC 60598.

Energy saving benefits
System efficiency up to 100 lm/w with significant energy savings over Pure Start Metal Halide luminaires. Optional control options provide added energy savings during unoccupied periods.

Optical options
Type 3 and 5 data fixtures available. Performance tested per LM-79 and TM-18 certifying its photometric performance. Luminaire designed with ON/OFF (0/0) per IESNA TM-18.

Base assembly
Base assembly consists of a cast aluminum platform. Assembly is secured and tested to the mounting foundation with four (4) 3/8" x 8" x 1 1/2" (953 cm x 30.32 cm x 3.81 cm) anchor bolts on a 2.5/4" (6.35 cm) bolt circle.



- FINISH GRADE, MATERIALS VARY, REFER TO PLANS
- LOAM
- SURFACE-MOUNT PLATE
- 1/2" X 10" THREADED STAINLESS STEEL ROD EMBEDDED IN NON-SHRINK EPOXY; BOLT TO SURFACE-MOUNT PLATE
- ELECTRICAL CONDUIT (LED LIGHTED BOLLARD ONLY)
- 3000 PSI REINFORCED CONCRETE BASE
- 84 REBAR @ 6" OC 3" FROM FACE, AND #4 TIES AT 12"; TOP OF CONCRETE BASE SHALL BE FLUSH WITH ASPHALT BASE COURSE
- 6" COMPACTED GRAVEL BASE

- NOTES:
- SEE LANDSCAPE PLANS FOR BOLLARD LOCATIONS.
 - ALL METAL TO BE FINISHED WITH A POLYESTER POWDER COAT, GLOSS BLACK.
 - ALL WELDS CONTINUOUS THEN GROUND SMOOTH.
 - IF PAVEMENT AROUND LIGHT POLE IS SLOPING, CONTRACTOR SHALL CONFIRM THAT THE BASE WILL SIT ON FOOTING/PAVEMENT UNIFORMLY.

Lighted Bollard

Not to Scale

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2
L3.2

DRAWING FOR TOWN REVIEW, NOT FOR CONSTRUCTION

MIXED-USE DEVELOPMENT

TAX MAP 176, LOT 041-00

Dumont Realty and Development
43 Lowell Rd., Suite 202-A Hudson, NH 03051

LANDSCAPE & LIGHTING DETAILS

REVISION LOG

REV#	DATE	DESCRIPTION
1	6/30/26	REVISED PER TOWN REVIEW COMMENTS & CIVIL LAYOUT
2		
3		
4		
5		

PROJECT NO. 25066.0

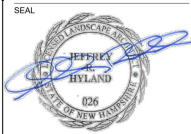
DESIGN BY J. HYLAND / R. SMALL

DRAWN BY R. SMALL / J. HYLAND

CHECKED BY D. JENSEN / J. HYLAND

DATE JUNE 30, 2026

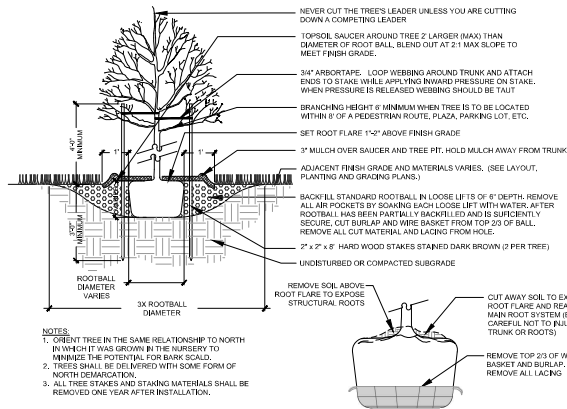
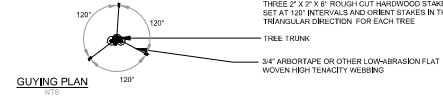
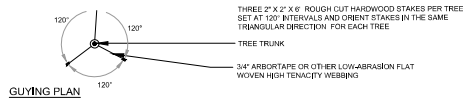
SCALE AS SHOWN



L3.2

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Deciduous Tree Planting

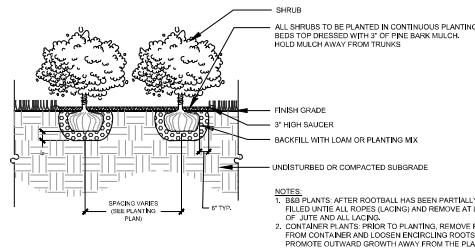
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Evergreen Tree Planting

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Deciduous Multi-Stemmed Tree Planting

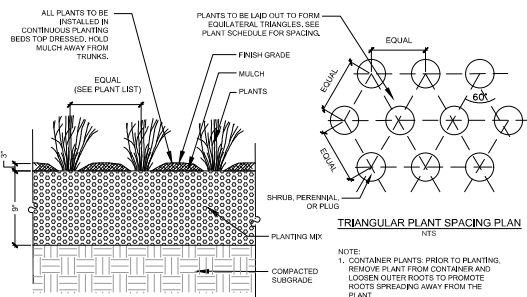
IRONWOOD 2026



IRONWOOD 2026

Shrub Planting

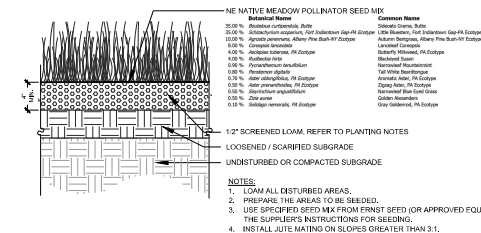
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Perennial/Ornamental Grass/Groundcover Planting

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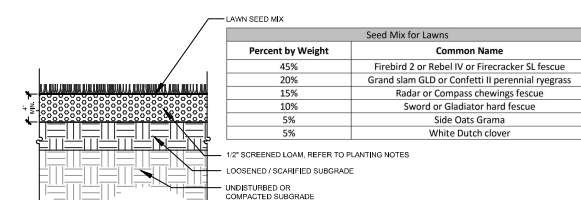
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Loam and Native Pollinator Meadow Seeding

Wet Meadow Seeding

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Not to Scale



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Loam and Lawn Seeding

L3.3

MIXED-USE DEVELOPMENT

TAX MAP 176, LOT 041-00

Dumont Realty and Development
43 Lowell Rd., Suite 202-A Hudson, NH 03051

LANDSCAPE & LIGHTING DETAILS

REVISION LOG		
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