



TOWN OF HUDSON

Planning Board

Timothy Malley, Chairman

Roger Coutu, Selectmen Liaison



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

PUBLIC MEETING TOWN OF HUDSON, NH JUNE 12, 2019

The Town of Hudson Planning Board will hold a regularly scheduled meeting on Wednesday, June 12, 2019 at 7:00 p.m. in the “Buxton Community Development Conference Room” at Town Hall. The following items will be on the agenda:

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES

V. MINUTES OF PREVIOUS MEETING(S)

- 8 MAY 2019 Meeting Minutes – Decisions
- 22 MAY 2019 Meeting Minutes – Decisions

VI. NEW BUSINESS/PUBLIC HEARINGS

- A. 161 Lowell Road 2-Lot Subdivision
SB# 02-19

161 Lowell Rd
Map 209, Lot 001

Purpose of Plan: to depict the subdivision of Map 209, Lot 1, into two separate lots.
Application Acceptance & Hearing.

- B. Friars Court Site Plan
SP# 03-19

161 Lowell Rd
Map 209, Lot 001

Purpose of Plan: to develop newly created Map 209, Lot 001-001 into multifamily apartments consisting of 81 units, and a clubhouse. Application Acceptance & Hearing.

- VII. OTHER BUSINESS
- VIII. ADJOURNMENT

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting. The public is invited to attend.

Brian Groth, Town Planner

POSTED: Town Hall, Library & Post Office 05/31/19

161 LOWELL ROAD – FRIARS COURT SUBDIVISION & SITE PLAN

STAFF REPORT

June 12, 2019

SITE: 161 Lowell Road – Map 209 Lot 1

ZONING: Business/General/Industrial

PURPOSE OF PLANS: to subdivide Map 209, Lot 1 and to develop multifamily housing on the newly created 11-acre lot that is the Business Zone. Other than the extension of Friars Drive, no development is being proposed on remaining land in the General and Industrial zones

PLANS UNDER REVIEW:

SB# 02-19: Conceptual Subdivision Plan Application, prepared by The Dubay Group, Inc., 84 Range Rd., Windham, NH 03087, for Dakota Partners, Inc., 1264 Main St., Waltham, MA 02451, dated April 29, 2019, last revised June 5, 2019, and consisting of 33 sheets.

SP# 03-19: Conceptual Site Plan Application, prepared by The Dubay Group, Inc., 84 Range Rd., Windham, NH 03087, for Dakota Partners, Inc., 1264 Main St., Waltham, MA 02451, dated April 29, 2019, last revised June 5, 2019, and consisting of 33 sheets.

ATTACHMENTS:

- A. Subdivision Application & Plans – SB# 02-19 (plans at end of e-packet)
- B. Site Plan Application & Plans – SP# 03-19 (plans at end of e-packet)
- C. Department Review Comments (Police, Fire, Assessing, Engineering, Zoning)
- D. Fuss & O'Neill Review Memorandum, received May 30, 2019
- E. The Dubay Group Response to Review Comments, received June 4, 2019
- F. April 24, 2019 Staff Report on Design Review Phase

NOTE: ATTACHMENT F - PLEASE REFER TO THE APRIL 24, 2019 STAFF REPORT FOR PRELIMINARY BACKGROUND, FOUND IN THE APRIL 24, 2019 PLANNING BOARD MEETING PACKET

PROJECT TRACKING

- April 2, 2019 – Conceptual plans received.
- April 24, 2019 – Design Review Phase.
- May 8, 2019 – Site Walk.
- May 15, 2019 – Site Plan & Subdivision Applications received.
- May 23, 2019 – Wetland Special Exception granted by ZBA.
- May 29, 2019 – Fuss & O'Neill peer review received.
- June 4, 2019 – Dubay Group response and additional materials received.
- June 12, 2019 – Public Hearing scheduled.

Important Topics

WORKFORCE HOUSING

The applicant before the Planning Board is a developer and manager of Workforce Housing developments. It is understood by Staff and the Board that 50% or more of the units will qualify as Workforce Housing under the program administered by the New Hampshire Housing and Finance Authority (NHHFA). Further, it is understood that the applicant/developer will maintain & manage this development as rental units.

NHHFA determines the housing purchase and rent limits based on the location's HUD Metropolitan Fair Market Rent Area (HMFA). Hudson is in the Nashua, NH HMFA. The pricing of Workforce Housing units are as follows:

1. Rental: based on 60% of the HUD Median Area Income adjusted for a family of three. As of 2019, this income figure is \$55,570, imputing a monthly rent limit of \$1,360 including utilities.
2. Ownership: does not apply in this application, but it is based on 100% of 2019 HUD Median Area Income adjusted for a family of four. As of 2019, this income figure is \$102,900, imputing a maximum purchase price of \$336,500.

As an incentive for developing Workforce Housing, developers receive a tax credit. Potential tenants are subject to an application process and other lease requirements.

PHASING - WHAT ARE WE TALKING ABOUT?

The term "phasing" has been used in several different contexts:

1. Site Plan Phasing – the building phasing of the apartment construction. The applicant proposes building 47 units in Phase One and 34 units in Phase Two.
2. Subdivision or Street Phasing – If approved and developed, Friars Drive may be phased in terms of construction and ownership. In the near-term, the portion of Friars Drive on the apartment lot will be a private driveway. The portion outside of the apartment lot is proposed to be constructed to a 24' wide standard. In the long-term, the entirety of Friars Drive is envisioned to be built to full town standards for a commercial street to match the existing portion of Friars Drive.
3. Phasing of the Entire Lot – There has been concern and speculation over the fate of the remainder of the lot. The remainder of the lot is zoned G (General) and I (Industrial) where **Multi-Family Housing is NOT PERMITTED**. The Planning Department nor the Planning Board has any applications, designs, concepts or otherwise for the remainder of the lot.

TRAFFIC IMPACT

Town departments, board members and the general public have expressed concern over the traffic impact of this project. Any and all development has an impact on traffic. Since landowners have a constitutional right to develop their land, the Town cannot prohibit development that meets State and local standards. However, the Town does have the ability to

best manage, or mitigate, the traffic impacts of development. In this proposal, there are essentially three options regarding access & traffic management:

1. Full access curb-cut: Allowing for all turns to be made in/out of the development. This was the concept originally proposed. In this configuration, the concept also proposed providing frontage to the remainder of the parcel on Lowell Road. This option would have the greatest impact to traffic and public safety.
2. Hybrid, Left/Right-In/Right-Out: This option would allow left turning traffic into the site, but limit exit traffic to right-out. This option might have a lesser impact to traffic & public safety than #1.
3. Right-In/Right-Out: This option allows only right turns in and out of the site on Lowell Road, and requires all other turns to be made from the controlled intersection at Executive Drive. This option has the lowest impact to traffic & public safety of #'s 1-3.
4. One-Way: This option would designate Friars Drive a one-way private driveway up to the site entrance of the proposed apartment buildings. This would prohibit traffic from exiting Friars Drive onto Lowell Road.

Police, Engineering and Planning have all recommended Option #3, though Option #4 is a concept only recently discussed and worthy of further consideration.

Will people cheat the turning rules? Probably, but consider the following:

1. Staff has requested the applicant design a more articulated curbed access on Lowell Road to discourage bad behavior. Revisions are still necessary to satisfy this request.
2. Commuting patterns on Lowell Road are heavy southbound in the AM, heavy northbound in the PM. A resident coming from the South (a potential left-turner) will reach Executive Drive well before the site. Given the gridlock condition on Lowell Road Northbound in the evening, turning onto Executive Drive will likely be the quickest way to get home. A resident heading to work in the morning can turn right-out to head south (which is the typical commuter demand). Should they need to head north, a left turn out of the site would take so long, it would be quicker to go to the light at Executive Drive.
3. The occupants of the proposed development are residents, a captive audience that can be educated by property management on the "rules of the road." Rule-breaking would likely be more common in a retail condition.
4. Of the allowed uses in the Business Zone, multi-family housing has one of the lowest impacts on traffic.

(Continued on next page)

Findings

ZONING & REGULATIONS

Our peer review consultant has completed its first review of the submissions. The applicant's engineer, The Dubai Group, has submitted an initial response memo. The subdivision and site plan are largely conforming, however they are requesting several waivers. At the time of this report, staff is waiting for revised waiver forms which are required to be in our physical possession in order to accept the application. The applicant will speak to those at the meeting.

CONDITIONS OF APPROVAL

If this application is approved, a series of conditions will need to be structured. These conditions would primarily deal with the evolution of construction and ownership of Friars Drive and the creation of "Defacto Parcels."

1. Friars Drive – the proposal contemplates a phased approach to the construction & ownership of Friars Drive. It is proposed that it evolves from a private driveway to a commercial standard road for the Town's acceptance. In the future, development conditions for the remainder parcel, and other parcels on Lowell Road might require the installation of a traffic light at Friars Drive and Lowell Road. In the event this occurs, the right-in/right-out control curb would be removed and the intersection would be realigned. The proposal shows an easement that sufficiently allows for this condition.
2. "Defacto Parcels" – If the long-term vision of Friars Drive is achieved, two parcels might be automatically created on the south side of Friars Drive. Regarding the portion that is initially part of the development parcel, a covenant or conservation easement should be constructed to preclude future development. Regarding the other defacto parcel, which is south of Friars drive but part of the remainder parcel, a similar treatment should be applied however Staff notes that much of this piece is undevelopable wetland. The applicant has indicated a no-build covenant as well.

These conditions have not been fully vetted at the time of this report. Moving forward, the conditions are to be drafted and reviewed by Staff and the Town Attorney to ensure Planning Board satisfaction.

INPUT OF TOWN DEPARTMENTS

1. Police Department: The Police Department has expressed the desire for a well-controlled right-in/right-out access on Lowell Road for public safety purposes. They also expressed concern for the site distance of southbound traffic approaching the site.
2. Fire Department: The Fire Chief has met with the applicant to discuss his concerns and needs from a fire safety standpoint. The applicant has agreed to revise the plans to accommodate his recommendations.
3. Assessing Department: The Chief Assessor has raised issues regarding the naming of the new parcels. He also raised the question of eventual ownership of the development parcel.

4. Engineering Department: The Town Engineer requests a slip lane to accommodate turns into the site. In previous reports, the Town Engineer has also requested a more articulated (defined) curb cut to minimize illegal left turns.
5. Zoning Department: The Zoning Administer requested additional information assuring that the building height complies with the zoning maximum of 38'. The building elevations show a height of 37'9.25".
6. Department of Public Works: No Comment.
7. Planning Department: Comments are encompassed in this staff report and the April 24, 2019 staff report.

Recommendations

Staff recommends this application be accepted by the Planning Board, but neither approved nor denied at the June 12, 2019 meeting. Staff recommends the Board commence the public hearing on the application, and continue it to the next meeting to accommodate additional revisions and final review by the peer-review consultant, Fuss & O'Neill. Please note the term "public hearing" means the public process in which the Board considers an application for denial/approval, public input is a portion of the public hearing.

DRAFT MOTIONS

To accept the application:

I move to accept the subdivision and site plan application for 161 Lowell Road, Map 209/Lot 1.

Motion by: _____ Second: _____ Carried/Failed: _____

To continue the public hearing to a date certain:

I move to continue the public hearing for 161 Lowell Road, Map 209/Lot 1, date certain, to June 26, 2019.

Motion by: _____ Second: _____ Carried/Failed: _____

RECEIVED "A"

SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE

APR 30 2019

TOWN OF HUDSON
PLANNING DEPARTMENT

Date of Application: 4/29/2019 Tax Map # 209 Lot # 1

Name of Project: Friars Court

Zoning District: _____ (For Town Use) General SB# 02-19 (For Town Use)

ZBA Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: 5 Way Realty Trust, Peter Horne, Trustee

Dakota Partners, Inc. (authorized agent)

Address: PO Box 1435

1264 Main Street

Address: North Hampton, NH 03862

Waltham, MA 02451

Telephone # (use authorized agent)

781-889-4002

Fax # (use email)

(use email)

Email: (use authorized agent)

mpilotte@dakotapartners.net

PROJECT ENGINEER

Name: Karl Dubay, PE

Telephone # 603-458-6462

Address: The Dubay Group, Inc. 84 Range Road

Fax # (use email)

Address: Windham, NH 03087

Email: karl@thedubaygroup.com

PURPOSE OF PLAN:

Subdivide parent tract into: (1) frontage lot on Lowell Road for apartment site plan & access easements, (2) dedicate town right of way along Friars Drive, (3) creates a non-buildable parcel south of ROW dedication for administrative purposes only, and (4) multiple easements for future planning

(FOR TOWN USE)

Plan Routing Date: 5/2/19 Sub/Site Date: 5/22/19

I have no comments I have comments (attach to form)

Title: _____ Date: _____

(Initials)

DEPT:

Zoning Engineering Assessor Police Fire Planning

Consultant Highway Department

Fees Paid \$2,587.90

PLANNING BOARD

NOTICE TO SUBDIVISION APPLICANTS

The following information is required to be filed with the Community Development Department at the time of subdivision application.

Note: An appointment is required to file applications.

1. One original and one copy of the completed application.
2. Submission of nine (9) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M. Tuesday the week prior to the scheduled public hearing/conceptual review date.
3. Seventeen copies of the project narrative, describing the project.
4. All plans shall be folded and all pertinent data shall be attached to the folded plans with an elastic band.
5. All plan revisions and supporting documentation must be submitted to the Community Development Department no later than 10:00 A.M., Tuesday the week prior to the scheduled Planning meeting.
6. Five (5) 22" x 34" copies of the plan shall be brought to the Planning Board meeting and distributed to the Planning Board members at the meeting.
7. Three sets of mailing labels for abutters notices.

2012 SUBDIVISION APPLICATION FEES

FEE TYPE	AMOUNT	ACCOUNT
Consultant Review	\$1.25 per linear foot of roadway* (including cul-de-sac) \$1,250.00 minimum* *Estimated cost, billing based on actual hours expended multiplied by hourly rates, plus expenses	1350-***
Town General Review Fees/Application Fee Regular Application	\$170.00/lot	GEN 4313
Conceptual Review	\$100.00	GEN 4313
ZBA Input	\$100.00	GEN 4313
Lot Line Relocation	\$340.00 for first two lots \$170.00 for each additional lot	GEN 4313
On Site Signs Advertising	\$15.00 \$40.00 (flat fee)	GEN 4313 GEN 4313
Tax Map Updating	\$30.00/lot + \$25.00 Min. \$85.00 for 2-7 lots Min. \$325.00 for 8 lots or more	1312-505
Postage	USPS Current Rates	GEN 4313
Recording Fees Plan Easements/Agreements	\$24.00/sheet + \$2.00 surcharge \$10.00/first sheet \$4.00 thereafter + \$2.00 surcharge + first class postage (fees dictated by HCRD) \$25.00 Land & Community Heritage Investment Program (LCHIP) fee, please make check payable to HCRD	GEN 4313

SITE DATA SHEET

Plan Name: Friars Court

Plan Type: Subdivision Plan

Legal Description: Map 209 Lot 1

 Map _____ Lot _____

Date: 4/29/2019



Location: 161 Lowell Road

Total Area: S.F. _____ Acres: 88.86

Area in Wetlands: (see plans)

Zoning: Business & General

Lots Not Meeting
Required Dimensions: N/A

Required Area: 1Ac (GREEN) 1/2 per unit density (B30 UE)

Required Frontage: 150 LF

Water and Waste System
Proposed: (municipal water & sewer)

Number of Lots With
Existing Buildings: N/A

Existing Buildings
To Be Removed: N/A

Flood Zone Reference: N/A (FEMA Map 33011C0656D dated 9/25/2009)

Proposed Linear Feet
Of New Roadway: 1,125 (rebuild existing Friars Drive)

(see plans)

LOT AREA CALCULATION TABLE

LOT #	TOTAL AREA	WETLAND AREA	AREA > 25% SLOPE	BUILDABLE AREA (net contiguous upland useable)	FRONTAGE
1.					
2.					
3.					
4.					
5.					
6.					
7.					
8.					
9.					
10.					

Data Sheets Checked By: _____ Date: _____

SUBDIVISION PLAN DATA SHEET

Dates/Case #/Description/
 Stipulations of ZBA,
 Conservation Commission,
 NH Wetlands Board Action:

(Attach Stipulations on
 Separate Sheet)

List Permits Required: ZBA special exception for work within buffer

<u>*Waivers Requested:</u>	<u>Hudson Town Code Reference</u>	<u>Regulation Description</u>
	1. 289-17.A	Lot Area for Lot C
	2.	(unbuildable/administrative)
	2. 3-289-28	Road Stds (width 24FT,
	4.	open drainage exist)
	3. 5-276-11.1	General Existing Conditions
	6.	for rear of parent lot
	7.	portion (undeveloped)

*(Left Column for Town Use)

	<u>Amount</u>	<u>Account</u>
Impact Fees	(TBD)	
	_____	_____
	_____	_____
	_____	_____
Cap Fees	(TBD)	
	_____	_____
	_____	_____

Development Agreement Proposed: Yes No (TBD)

If Yes Endorsed Yes No Date _____ No

**APPLICATION FOR SUBDIVISION PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Twenty one (21) days prior to Planning Board Meeting, a complete subdivision plan to include all supporting materials/documents must be submitted in final form. The subdivision plan shall comply with the following specifications/requirements:

Applicant Initials		Staff Initials
<u> KD </u> a)	Submission of eight (8) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M. Tuesday the week prior to the scheduled public hearing/conceptual review date.	_____
<u> KD </u> b)	Seventeen (17)-subdivision narratives, describing the project.	_____
<u> KD </u> c)	Plan scale at not less than one inch equals fifty feet (example: 1" = 50' acceptable).	_____
<u> KD </u> d)	Locus plan with 1,000 minimum radius of site to surrounding area.	_____
<u> KD </u> e)	Plan dated by day/month/year.	_____
<u> KD </u> f)	Revision block.	_____
<u> KD </u> g)	Planning Board approval block.	_____
<u> KD </u> h)	Title of project inscribed on plan.	_____
<u> KD </u> i)	Name(s) and address of property owner(s) and signature(s) shall be inscribed on plan.	_____
<u> KD </u> j)	North point shall be inscribed on plan.	_____
<u> KD </u> k)	Property lines-exact locations and dimensions.	_____
<u> KD </u> l)	Acreage/sq. ft. of entire subdivision.	_____
<u> KD </u> m)	Proposed lots, with lot numbers and area of each lot. Note: each proposed Lot shall be listed on the plan, in chart form, indicating in square feet/ acreage the total lot area, wetland, slope area greater than 25% and total net contiguous useable upland area.	_____
	(Waiver requested for residual area of parent tract)	

Applicant
Initials

Staff
Initials

- | | | |
|----------------|--|-------|
| <u>KD</u> n) | Certified list of names and addresses of bordering abutters, shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on plan. | _____ |
| <u>KD</u> o) | Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve area, floodways/floodplains, driveways, travel areas, parking areas, natural features within 200 feet of the tract. | _____ |
| <u>KD</u> p) | Locations of existing and proposed permanent monuments and benchmarks within 200 feet of the tract. | _____ |
| <u>N/A</u> q) | Pertinent highway projects. | _____ |
| <u>KD</u> r) | Assessor map and lot number. (Assignment of lot numbers pending) | _____ |
| <u>KD</u> s) | Waiver application form shall be submitted with subdivision application, Note on plan listing waivers requested/granted; and all waivers granted to the subdivision regulations shall be listed on the final plan. | _____ |
| <u>KD</u> t) | Delineate zoning. | _____ |
| <u>KD</u> u) | Storm water drainage plan. | _____ |
| <u>KD</u> v) | Topographical contours at 2-foot intervals existing and proposed. | _____ |
| <u>KD</u> w) | Utilities: existing and proposed. | _____ |
| <u>KD</u> x) | Building and wetland setback lines. | _____ |
| <u>KD</u> y) | Rights of way, existing and proposed. | _____ |
| <u>N/A</u> z) | Location of dedicated recreational public use land(s) proposed. | _____ |
| <u>N/A</u> aa) | Detailed designs of bridges and culverts. | _____ |
| <u>KD</u> ab) | Typical roadway cross-section, road profile, stationing, and curve data, etc. | _____ |

Applicant Initials		Staff Initials
(municipal)	ac) Proposed location of water supply and sewage disposal systems, including perk test data, test-pit logs and locations; wells, (proposed and existing) 75' protective well radii and attached copies of any required well protection easements.	_____
<u> </u> KD	ad) All notes from plats.	_____
<u> </u> N/A	ae) Buffers as required by subdivision regulations.	_____
<u> </u> KD	af) Soil types and boundaries, Note: If site contains marginal or questionable soils, a High Intensity Soil Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire Certified Soil Scientist, who shall affix his/her stamp and signature and this shall be inscribed on the plan.	_____
<u> </u> KD	ag) Wetlands (and poorly-drained and very poorly-drained soils), also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire Certified Wetland or Soil Scientist, who shall affix his/her stamp and signature to the respective plan.	_____
<u> </u> KD	ah) Easements, existing and proposed.	_____
<u> </u> KD	ai) State of New Hampshire Engineer's seal and signature. Surveyor's seal and signature.	_____
<u> </u> KD	aj) Error of closure (1 in 10,000 or better).	_____
<u> </u> KD	ak) Drafting errors/omissions.	_____
<u> </u> KD	al) Note outlining phasing schedule.	_____
<u> </u> KD	am) Narrative description stating the purpose, location, long range plans impacts on traffic, schools, and utilities.	_____
<u> </u> (GIS)	an) Aerial photograph of site and area within 200 feet of the subdivision parcel.	_____
<u> </u> N/A	ao) Fiscal impact study.	_____
<u> </u> KD	ap) Traffic study.	_____
<u> </u> N/A	aq) Drainage calculations and supporting data.	_____

Applicant
Initials

Staff
Initials

- (TBD) ar) Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents. _____
- KD as) Copy of applicable town, state, federal approval/permits to include but not limited to the following: _____
 - sewer applications -pending via site plan app
 - ~~flood plain permit~~
 - wetlands special exception -pending
 - ~~variance~~
 - erosion control permit (149:8a) -see site plans
 - ~~WSPCC subdivision approval (septic)~~
 - ~~dredge and fill permit~~
 - ~~curb cut/driveway permit~~
 - ~~shore land protection certification in accordance with RSA 483-B.~~
 - ~~if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.~~ (all work is >2,000 ft from river)
- N/A at) Off-site agreement(s). _____
- KD au) Presentation plan (colored, with color-coded bar chart). _____
- KD av) Fees paid to clerk. _____
- N/A aw) Plans that include relocation of lot lines shall clearly delineate the former (old) lot lines from proposed (new) lot lines. _____

- Any or all items may be waived under the purview of the Planning Board.

**APPLICATION FOR SUBDIVISION PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Subdivision Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Subdivision Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s), by the filing of this application as indicated above, hereby give permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and inspections conducted on his (their) property in connection with this applications.

Signature of Owner: _____

Mark Pillette
DULY AUTHORIZED BY PETER HORNE

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: _____

Mark Pillette
MARK PILLETTE

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

Technical Review Signature: _____

Planner Approval Signature: _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: _____

Street Address: _____

I _____ hereby request that the Planning Board waive the requirements of item _____ of the Subdivision/Site Plan Checklist in reference to a plan presented by _____

_____ (name of surveyor and engineer) dated _____

_____ for property tax map(s) _____ and lot(s) _____

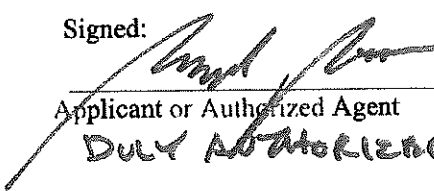
_____ in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

Signed:

 **MARK PLOTTE**
Applicant or Authorized Agent
DULY AUTHORIZED BY PETER HORNE

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

**APPLICATION FOR SUBDIVISION PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE
SCHEDULE OF FEES**

A. REVIEW FEES

1. \$170.00 per lot Apartment lot + parent lot + residual nonbuildable lot = 3 x \$170 \$ 510.00

2. Consultant review fee:(separate check)
 Linear feet of roadway (including cul-de-sac).
 Length of roadway 1,150 feet, @ \$1.25 per linear foot or \$1,250.00, whichever is greater.
*This is an estimate for the cost of consultant review. The fee is expected to cover the amount.
 A complex project may require additional funds. A simple project may result in a refund.*
 \$ 1,437.70

Legal Fees.

The applicant shall be charged attorney costs billed to the Town for Town's attorney review of any application plan set documents. \$ (TBD)

3. Conceptual Review Only - \$100.00 \$ N/A

4. ZBA Input Only - \$100.00 \$ N/A

B. POSTAGE

Current "certified mail" postage rate per abutter to proposed site plan and current first class postage rate per property owner within 200 feet of proposed site plan.

	\$6.85		
<u>38</u>	abutters @ \$6.74 (certified mail) \$0.55	\$	<u>260.30</u>
<u>18</u>	property owners within 200 feet @ \$0.49 (first class)	\$	<u>9.90</u>

C. ON SITE SIGNS

\$ 15.00

D. ADVERTISING

(PUBLIC NOTICE) For all subdivisions

\$ 40.00

E. TAX MAP UPDATE FEE

2 to 7 lots (# of lots x \$30.00) + \$25.00 (min. \$85.00) (3 x \$30) + \$25
 8 lots or more (min. \$325.00)

\$ 115.00
 \$ N/A

TOTAL \$ 2,387.90

**APPLICATION FOR SUBDIVISION PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

**SCHEDULE OF FEES
(CONTINUED)**

AMOUNT DUE	\$ <u>2387.90</u>	DATE RECEIVED	<u>5/2/19</u>
AMOUNT RECEIVED	\$ <u>2387.90</u>	RECEIPT NO.	<u>549,004 #</u>
		RECEIVED BY	<u>Brooke</u>

F. RECORDING FEES

The applicant shall pay the costs of recording the final plan layout prior to final subdivision recording, in accordance with fees established by the County.

Recording of Plan	@ \$24.00/sheet	\$ _____
	+ \$2.00/surcharge/Plan	
Land & Community Heritage Investment Program (LCHIP) fee	\$25.00	\$ _____
Easements/Agreements (if applicable)	@ \$10.00/first sheet	\$ _____
	@ 4.00/each sheet thereafter	\$ _____
	+ \$2.00/surcharge/doc.	\$ _____
	+ first class return postage rate	\$ _____
TOTAL		\$ _____

PLEASE NOTE: Recording fees shall be computed when plans are finalized for recording. The applicant must pay recording fees prior to recording.

The applicant shall be responsible for all fees incurred by the Town for processing and review of the applicant's application, plan, and related materials. All such fees must be paid prior to recording.

G. COST ALLOCATION PROCEDURE AMOUNT CONTRIBUTION AND OTHER IMPACT FEE PAYMENTS

To be determined by vote of the Planning Board and paid by the applicant at the time of submittal of the Certificate of Occupancy Permit request, subject to annual inflation as permitted by the impact fee methodology.

**APPLICATION FOR SUBDIVISION PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

FOOTNOTES:

1. In the event of the denial of a plan, the recording fees collected will not be reimbursed, but will instead be used as an additional fee to help defray administrative costs associated with a denial.
2. The "Review Fees" are fees (estimated) necessary to offset costs incurred to review and/or compile plans, data, or other information relative to the proposal.
3. The "Amount Due" does not include fees for studies or reviews as authorized in Section G-2 of this regulation.
4. Fees must be paid in full prior to the commencement of any formal subdivision review performed by the Town of Hudson.

STATUS:

DATE:

_____	1. Application incomplete	_____
_____	2. Application complete. Include any applicable requested waivers, fees paid, routing sheet returned	_____
_____	3. Application formally accepted or denied by Planning Board.	_____
_____	4. Final approval granted or denied	_____
_____	5. Comments	_____

LIST OF ABUTTERS (See attached list & labels)

List of all the names and addresses of the owner(s) of record of the property and abutters, as of the time of the last assessment for taxation made by the concerned property by a street(s), public land(s) or stream(s) up to distance of 200 feet from subject tract.

I. ADJACENT PROPERTY OWNERS

MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____

II. PROPERTY OWNERS WITHIN 200 FEET

MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____

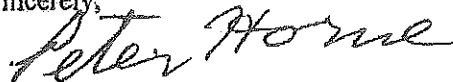
March 21, 2019

RE: 161 Lowell Road, Hudson, NH/Dakota Partners, LLC

To Whom It May Concern:

I, Peter Horne, am Trustee of the 5 Way Realty Trust which is owner of the above-referenced property. Please accept this letter as written authorization for Dakota Partners, LLC and any of their representatives, including Mark Pilotte and/or Roberto Arista, to sign applications and other documents and otherwise proceed with land use permitting for a multifamily rental project at 161 Lowell Road, Hudson, NH. I will be unavailable for the month of April and wish to authorize Dakota Partners, LLC to sign all applications and proceed as necessary.

Sincerely,

A handwritten signature in cursive script that reads "Peter Horne". The signature is written in dark ink and is positioned above the printed name.

Peter Horne

Abutter Notification Labels

April 30, 2019
161 Lowell Road, Hudson NH 3051
Parcel 209-001

Page 1 of 2

Town of Hudson
12 School Street
Hudson, NH 03051

Richard W. Olson
Lisa A. Olson
18 Hickory Street
Hudson, NH 03051

Pamela M. Chartrand
Donald J. Chartrand
24 Hickory Street
Hudson, NH 03051

Gregory Al Nelson
Lee Ann Nelson
8 Hickory Street
Hudson, NH 03051

Charles Boissonneault
Mary Boissonneault
20 Hickory Street
Hudson, NH 03051

Victor Gomez
26 Hickory Street
Hudson, NH 03051

Philip J. MacSweeney
Joan M. MacSweeney
10 Hickory Street
Hudson, NH 03051

Donald H. Ouellette
Deborah Ouellette
22 Hickory Street
Hudson, NH 03051

Jonathan D. Davis
Dorothy A. Davis
7 Juniper Street
Hudson, NH 03051

Todd R. Newcombe
Dina M. Fagundes-Newcombe
12 Hickory Street
Hudson, NH 03051

Thomas J. Leonard, Esq.
Welts, White & Fontaine, P.C.
29 Factory Street
Nashua, NH 03060

Dale Seiberg
Susan Seiberg
5 Juniper Street
Hudson, NH 03051

Timothy Coulter
Barbara Coulter
14 Hickory Street
Hudson, NH 03051

Evan C. Goduco
43 Cottonwood Drive
Hudson, NH 03051

James F. Queenan
Sheila A. Queenan
47 Cottonwood Drive
Hudson, NH 03051

James M. Hulse, Trustee
Denise M. Hulse, Trustee
Hulse Joint Revocable Trust
16 Hickory Street
Hudson, NH 03051

Joseph W. Schmitt, Trustee
Schmitt Revocable Trust
19 Hickory Street
Hudson, NH 03051

John J. Creeden, III Trustee
Arlene M. Creeden, Trustee
Creeden Living Trust
17 Murphy Circle
Middletown, RI 02842

DBV, Inc.
c/o Walter Flowers
15 Court Square, #340
Boston, MA 02108

Michael P. Rice
9 Hickory Street
Hudson, NH 03051

Lowell Road, LLC
PO Box 1435
North Hampton, NH 03862

Fox Hollow Condo Assoc.
c/o Great North Property Mgmt
PO Box 65434
Houston, TX 77210-5434

Zachary S. Phillips
7 Hickory Street
Hudson, NH 03051

Patrick I. Cowan
153 Lowell Road
Hudson, NH 03051

Rosemarie J. Boyer Rev. Trust
Rosemarie J. Boyer Trustee
65 Plateau Ridge Road
Loudon, NH 03307

Rupert & Alice Tate, Trustees
Rupert E. Tate and Alice E. Tate RT
7 Prince Drive
Hudson, NH 03051

Yue Yun Zheng
Zhou Deng Zheng
4 Paula Circle
Hudson, NH 03051

Boyer Associates
65 Plateau Ridge Road
Loudon, NH 03307

David J. Lafond, President
Fox Hollow Condo Assoc.
421 Fox Hollow Drive
Hudson, NH 03051

Joseph Martin
Lindsay Lemieux
17 Hickory Street
Hudson, NH 03051

Matrix Realty, LLC
9389 Waples Street
San Diego, CA 92121

Farley White Hudson, LLC
1 Bedford Farms Drive, Suite 200
Bedford, NH 03110

Jennifer Garneau
13 Hickory Street
Hudson, NH 03051

CDC Realty Group, Inc.
175 Lowell Road
Hudson, NH 03051

Harry M. Haytayan, Trustee
Harry M. Haytayan Revocable Trust
17 Friars Drive
Hudson, NH 03051

Richard H. Charbonneau
Mark Charbonneau
c/o R and M Realty
1 Continental Drive
Londonderry, NH 03053

171 JMJ Realty LLC
171 Lowell Road
Hudson, NH 03051

Paul E. Gregoire
Jean Gregoire
173 Lowell Road
Hudson, NH 03051

David Tavares
41 Cottonwood Drive
Hudson, NH 03051

Presentation of Mary Convent
182 Lowell Road
Hudson, NH 03051

Mark J. Scanlon
Carol A. Scanlon
11 Hickory Street
Hudson, NH 03051

Katlyn Pearl Deluca
Nicholas Adam Burns
15 Hickory Street
Hudson, NH 03051

Cheryl A. Savard
Christine M. Savard
6 Hickory Street
Hudson, NH 03051

Michael Martinez
Great North Property Management
636 DW Highway
Merrimack, NH 03054

5 Way Realty Trust
Peter Horne, Trustee
PO Box 1435
North Hampton, NH 03862

Dakota Partners LLC
Mark Pilotte
1264 Main Street
Waltham, MA 02451

Karl Dubay, PE
The Dubay Group, Inc.
84 Range Road
Windham, NH 03087

Tim Sutherland, LLS
The Dubay Group, Inc.
84 Range Road
Windham, NH 03087

Luke Hurley, CWS
Gove Environmental Services Inc.
8 Continental Drive, Bldg 2, Unit H
Exeter, NH 03833

RECEIVED "B"

PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

APR 30 2019

TOWN OF HUDSON
PLANNING DEPARTMENT

Date of Application: 4/29/2019 Tax Map # 209 Lot # 1

Name of Project: Friars Court

Zoning District: Business General SP# 03-19
(For Town Use) (For Town Use)

ZBA Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: 5 Way Realty Trust, Peter Horne, Trustee Dakota Partners, Inc. (authorized agent)

Address: PO Box 1435 1264 Main Street

Address: North Hampton, NH 03862 Waltham, MA 02451

Telephone # (use authorized agent) 781-889-4002

Fax # (use email) (use email)

Email: (use authorized agent) mpilotte@dakotapartners.net

PROJECT ENGINEER

SURVEYOR

Name: Karl Dubay, PE Tim Sutherland, LLS

Address: The Dubay Group, Inc.

Address: 84 Range Road, Windham, NH 03087

Telephone # 603-458-6462

Fax # (use email)

Email: karl@thedubaygroup.com

PURPOSE OF PLAN:

Develop vacant lot into multifamily apartments

Phase 1 = 47 unit building

Phase 2 = 34 unit building and clubhouse

<i>For Town Use</i>	
Plan Routing Date: <u>5/2/19</u>	Sub/Site Date: <u>5/22/19</u>
<input type="checkbox"/> I have no comments <input type="checkbox"/> I have comments (attach to form)	
Title: _____	Date: _____
(Initials)	
DEPT: _____	
<input type="checkbox"/> Zoning <input type="checkbox"/> Engineering <input type="checkbox"/> Assessor <input type="checkbox"/> Police <input type="checkbox"/> Fire <input type="checkbox"/> Planning <input type="checkbox"/> Consultant <input type="checkbox"/> Highway Department	
Fees Paid: <u>\$14,733.30</u>	

**PLANNING BOARD
NOTICE TO SITE PLAN APPLICANTS**

The following information is required to be filed with the Community Development Department at the time of site plan application.

Note: An appointment is required to file applications.

1. One original and one copy of the completed application.
2. Submission of eight (8) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M. Tuesday the week prior to the scheduled public hearing.
3. One (1) copy of the project narrative, describing the project, shall be attached to each submitted plan set.
4. All plans shall be folded and all pertinent data shall be attached to the plans with an elastic band.
5. All plan revisions and supporting documentation must be submitted to the Community Development Department no later than 10:00 A.M., Tuesday the week prior to the scheduled Planning meeting.
6. Five (5) 22" x 34" copies of the plan shall be brought to the Planning Board meeting and distributed to the Planning Board members at the meeting.
7. Three (3) sets of mailing labels for abutter notifications.
8. Applications and plans shall be made in writing and by electronic filing (in pdf format).
9. **Applications shall include the submission of a Zoning Determination prepared by the Zoning Administrator.**

2012 SITE PLAN APPLICATION FEES

FEE TYPE	AMOUNT	ACCOUNT
Consultant Review	\$600.00/acre of total lot area* or \$1,250.00 (whichever is greater)* *Estimated cost, billing based on actual hours expended multiplied by hourly rates, plus expenses	1350-***
Town General Review Fees/Application Fee		
Multi-Family	\$105.00/unit for 3-50units;	
Commercial/Semi-Public/Civic/Recreational	\$157.00/1,000 sf. for first 100,000 sf of bldg. area; \$78.50/1,000 sf thereafter	GEN 4313
Industrial	\$150.00/1,000 sf for first 100,000 sf of bldg. area; 78.50/1,000 sf thereafter	
No-Buildings	\$30.00 per 1,000 sf of proposed developed area	
Conceptual Review	\$100.00	GEN 4313
ZBA Input	\$100.00	GEN 4313
On Site Signs Advertising	\$15.00 \$40.00 (flat fee)	GEN 4313 GEN 4313
Tax Map Updating	\$275.00 (flat fee)	1312-505
Postage	USPS Current Rates	GEN 4313
Recording Fees	\$24.00/sheet + \$2.00 surcharge	
Plan Easements	\$10.00/ first sheet \$4.00 thereafter+ \$2.00 surcharge + first class postage (fees dictated by HCRD) \$25.00 Land & Community Heritage Investment Program (LCHIP) fee	GEN 4313

SITE DATA SHEET

PLAN NAME: Friars Court

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 209 LOT 1

DATE: 4/29/2019

Location by Street 161 Lowell Road

Zoning: Business

Proposed Land Use: Apartment Complex

Existing Use: N/A

Surrounding Land Use(s): Mixed

Number of Lots Occupied: 1

Existing Area Covered by Building: N/A

Existing Buildings to be removed: N/A

Proposed Area Covered by Building: 27,457 SF

Open Space Proposed: N/A

Open Space Required: N/A

Total Area: S.F.: 486,699 Acres: 11.17

Area in Wetland: 35,925 Area Steep Slopes: 2,000

Required Lot Size: 53,560 + (5,000 x 78) = 443,560

Existing Frontage: 758

Required Frontage: 150 LF (min)

Building Setbacks:	<u>Required*</u>	<u>Proposed</u>
Front:	<u>50</u>	<u>61</u>
Side:	<u>15</u>	<u>58</u>
Rear:	<u>15</u>	<u>46</u>

**SITE PLAN DATA SHEET
(Continued)**

Flood Zone Reference: N/A FEMA 33011C0656D 9/25/2009

Width of Driveways: 24 ft (min)

Number of Curb Cuts: 1 (rebuild existing)

Proposed Parking Spaces: 162 = 2 per unit. Waiver requested for 1.5 per unit to be constructed with 0.5 per unit be predesigned and "banked for ready implementation if needed.

Required Parking Spaces: 2 per unit @ 81 = 162

Basis of Required Parking (Use): (apartment unit)

Dates/Case #/Description/Stipulations of ZBA, Conservation Commission, NH Wetlands Board Actions:
(Attach stipulations on separate sheet)

Hudson Town Code

<u>Waivers Requested:</u>	<u>Reference</u>	<u>Regulation Description</u>
	1. <u>275-8.C2.0</u>	<u>2 SPACES PER UNIT</u>
	2. _____	_____
	3. <u>289-28</u>	<u>POND STANDARDS FOR CONSTRUCTION</u>
	4. <u>276-11.1</u>	<u>EXISTING CONDITIONS DATA OF UNDEVELOPED PORTION OF MOTHER LOT TO BE RETAINED</u>
	5. _____	_____
	6. _____	_____
	7. _____	_____
	8. _____	_____

Impact Fees:
C.A.P Fee: (to be determined)

Development Agreement Proposed: (refer to required legal documents)

<i>For Town Use</i>	
Data Sheet Checked By: _____	Date: _____

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Thirty (30) days prior to Planning Board Meeting, a complete site plan to include all supporting materials/documents must be submitted in final form. The site plan shall comply with the following specifications/requirements:

Applicant Initials		Staff Initials
<u> </u> KD	a) Submission of nine (9) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M., Tuesday the week prior to the scheduled public hearing/conceptual review date.	_____
<u> </u> KD	b) A Site Plan narrative, describing the purpose, locations, long-range plans, impacts on traffic, schools, and utilities	_____
<u> </u> KD	c) Plan scale at not less the one inch equals fifty feet (1" = 50')	_____
<u> </u> KD	d) Locus plan with 1,000' minimum radius of site to surrounding area	_____
<u> </u> KD	e) Plan date by day/month/year	_____
<u> </u> KD	f) Revision block inscribed on the plan	_____
<u> </u> KD	g) Planning Board approval block inscribed on the plan	_____
<u> </u> KD	h) Title of project inscribed on the plan	_____
<u> </u> KD	i) Names and addresses of property owners and their signatures inscribed on the plan	_____
<u> </u> KD	j) North point inscribed on the plan	_____
<u> </u> KD	k) Property lines: exact locations and dimensions	_____
<u> </u> KD	l) Square feet and acreage of site	_____
<u> </u> KD	m) Square feet of each building (existing and proposed)	_____
<u> </u> KD	n) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan.	_____

Applicant
Initials

Staff
Initials

<u> </u> KD	o)	Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve areas, floodways/floodplains, driveways, travel areas, parking areas and natural features within 200 feet of the tract	_____
<u> </u> KD	p)	Locations of existing and proposed permanent monuments and bench marks within 200 feet of the development tract	_____
<u> </u> KD	q)	Pertinent highway projects	_____
<u> </u> KD	r)	Assessor's Map and Lot number(s)	_____
<u> </u> KD	s)	Waiver application form shall be submitted with the site plan application, note on plan listing waivers requested/granted; and all waivers granted to the site plan regulations shall be listed on the final plan; waivers to checklist shall be reduced to writing and be signed by the Planning Board Chairman and Planning Board Secretary and recorded with the plan	_____
<u> </u> KD	t)	Delineate zoning district on the plan	_____
<u> </u> KD	u)	Storm water drainage plan	_____
<u> </u> KD	v)	Topographical elevations at 2-foot intervals contours: existing and proposed	_____
<u> </u> KD	w)	Utilities: existing and proposed	_____
<u> </u> KD	x)	Parking: existing and proposed	_____
<u> </u> KD	y)	Parking space: length and width	_____
<u> </u> KD	z)	Aisle width/maneuvering space	_____
<u> </u> KD	aa)	Landscaping: existing and proposed	_____
<u> </u> KD	ab)	Building and wetland setback lines	_____
<u> </u> KD	ac)	Curb cuts	_____
<u> </u> KD	ad)	Rights of way: existing and proposed	_____
<u> </u> KD	ae)	Sidewalks: existing and proposed	_____
<u> </u> KD	af)	Exterior lighting plan	_____
<u> </u> KD	ag)	Sign locations: size and design	_____
<u> </u> KD	ah)	Water mains and sewerage lines	_____
<u> </u> KD	ai)	Location of dumpsters on concrete pads	_____
<u> </u> KD	aj)	All notes from plats	_____

Applicant Initials		Staff Initials
<u> N/A </u> ak)	Buffer as required by site plan regulations	_____
<u> KD </u> al)	Green and open space requirements met with both types of spaces inscribed on the plan	_____
<u> KD </u> am)	Soil types and boundaries, Note: If site contains marginal or questionable soils, a High Intensity Soil, Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire Certified Soil Scientist, who shall affix his/her stamp and signature shall be inscribed on the plan.	_____
<u> KD </u> an)	Wetlands (and poorly-drained and very poorly-drained soils, also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire certified wetland or soil scientist, who shall affix his/her stamp and signature to the respective plan.	_____
<u> KD </u> ao)	“Valid for one year after approval” statement inscribed on the plan.	_____
<u> N/A </u> ap)	Loading bays/docks	_____
<u> KD </u> aq)	State of New Hampshire engineer’s stamp, signature, surveyor’s stamp, and signature	_____
<u> KD </u> ar)	Error of closure (1 in 10,000 or better)	_____
<u> KD </u> as)	Drafting errors/omissions	_____
<u> KD </u> at)	Developer names, addresses, telephone numbers and signatures	_____
<u> (GIS) </u> au)	Photographs, electronic/digital display or video of site and area	_____
<u> KD </u> av)	Attach one (1) copy of the building elevations	_____
<u> (TBD) </u> aw)	Fiscal impact study	_____
<u> KD </u> ax)	Traffic study	_____
<u> N/A </u> ay)	Noise study	_____

Applicant
Initials

Staff
Initials

- (PENDING) az) Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents _____
- KD ba) Copy of applicable Town, State, Federal approval/permits to include but not limited to the following: _____
- NHDES Alteration of Terrain Permit -- pending
 - ~~▪ industrial discharge application~~
 - sewer application -pending for service connection permit
 - ~~▪ flood plain permit~~
 - wetlands special exception -pending
 - ~~▪ variance~~
 - erosion control permit (149:8a) -see EC plans, EPA/SWPPP pending
 - ~~▪ septic construction approval~~
 - ~~▪ dredge and fill permit~~
 - ~~▪ curb cut permit~~
 - ~~▪ shore land protection certification in accordance with RSA 483-B~~
 - if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto. (all work is > 2,000 ft from river)
- KD bb) Presentation plan (colored, with color-coded bar chart) _____
- KD bc) Fees paid to clerk (see fee schedule) _____
- KD bd) Five (5) 22" x 34" copies of the plan shall be brought to the Planning Board meeting and distributed to the Planning Board members at the meeting. Note: for all subsequent meetings involving revised plans, five 22" x 34" copies of said plan shall be brought to the meeting for distribution to the board members. _____

*Under the purview of the Planning Board, any and all items may be waived.

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Site Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Site Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: _____

and by DEEY AUTHORIZED BY PETER HORNE
MARK PILOTTA

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: _____

and by
MARK PILOTTA

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

APPLICATION IS DUE AT NOON 21 days prior to the Planning Board Meeting. (The date the Agenda is CLOSED.) Any applications received after that time will be deferred until the next available meeting.

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: FRIARS COURT

Street Address: 161 LOWER RD

I KARL DUBAY hereby request that the Planning Board waive the requirements of item 289-17.A & 289-28 of the Subdivision/Site Plan Checklist in reference to a plan presented by THE DUBAY GROUP, INC

_____ (name of surveyor and engineer) dated _____ for property tax map(s) 209-1 and lot(s) _____ in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

289-17.A LOT REQUIREMENTS for LOT C' - UNBUILDABLE
supplemental property to be converted unbuildable.
289-28 Road width, curbing, etc. - phase I of Friars
drive road reconstruction to provide access secondary
connectivity per Town Request.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

LOT C is supplemental resultant from the Right of Way
dedication over existing Friars Drive and will be converted
non-buildable.
Road reconstruction/reclaim is phase I (24 ft wide exist sheet
drainage) and would be further upgraded at the time of
future development.

Signed:



Applicant or Authorized Agent

KARL DUBAY

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

FOOTNOTES:

1. In the event of the denial of a plan, the recording fees collected will not be reimbursed, but will instead be used as an additional fee to help defray administrative costs associated with a denial.
2. The "Review Fees" are fees estimated necessary to offset costs incurred to review and/or compile plans, data, or other information relative to the proposal.
3. The "Amount Due" does not include fees for studies or reviews as authorized in Section G-2 of this regulation.
4. Fees must be paid in full prior to the commencement of any formal review by the Town of Hudson.

STATUS:

DATE:

<u> </u>	1. Application incomplete	_____
<u> </u>	2. Application complete. Include any applicable requested waivers, fees paid, routing sheet returned	_____
<u> </u>	3. Application formally accepted or denied by Planning Board (90-day review clock by RSA 674:43 to start upon acceptance granted)	_____
<u> </u>	4. Final approval granted or denied	_____
<u> </u>	5. Comments:	

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

SCHEDULE OF FEES

A. Review Fees

1. <u>Site Plan Use</u>	<u>Project Size/Fee</u>	
	(\$105 x 50) + (\$78.50 x 31)	
Multi-Family	\$105/unit for 3-50 units \$78.50/unit for each additional unit over 50	\$ <u>7,683.50</u>
Commercial/Semi Public/Civic or Recreational	\$157/1,000 sq. ft. for first 100,000 sq.ft. (bldg area): \$78.50/1,000 sq.ft. thereafter.	\$ <u>N/A</u>
Industrial	\$150/1,000 sq.ft for first 100,000 sq.ft. (bldg. area);\$78.50/1,000 sq.ft thereafter	\$ <u>N/A</u>
No Buildings	\$30.00 per 1,000 sq.ft. of proposed developed area	\$ <u>N/A</u>

Plus Consultant Review Fee:

Total 11.2 acres @ \$600.00
per acre or \$1,250.00, whichever is greater

\$ 6,720

This is an estimate for cost of consultant review. The fee is expected to cover the amount. A complex project may require additional funds. A simple project may result in a refund.

Legal Fee:

The applicant shall be charged attorney costs billed to the Town for the Town's attorney review of any application plan set documents. (TBD)

2. Conceptual Review Only \$100.00	\$ <u>N/A</u>
3. ZBA Input Only \$100.00	\$ <u>N/A</u>

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

**SCHEDULE OF FEES
(Continued)**

B. Postage

Current "certified mail" postage rate per abutter to proposed Site Plan and current first class postage rate per property Owner within 200 feet of proposed site plan. (Fees are covered under the Subdivision Application)

_____ Abutters @\$6.74 (Certified Mail) \$ _____
 _____ Property owners within 200 feet \$ _____
 @.49 (First class)

C. On Site Signs

\$ _____ ~~15.00~~ 14.80 (Short Paid) \$0.20

D. Advertising (PUBLIC NOTICE) For all site plans \$ _____ 40.00

E. Tax Map Updating Fee (FLAT FEE) \$ _____ 275.00

TOTAL \$ _____ 14,733.30

AMOUNT DUE	\$ <u>14,733.30</u>	DATE RECEIVED	<u>5/2/19</u>
AMOUNT RECEIVED	\$ <u>14,733.30</u>	RECEIPT NO.	<u>549,004 #</u>
		RECEIVED BY:	<u>Brooke</u>

F. Recording Fees

The applicant shall pay the costs of recording the final site plan layout prior to final site plan approval, in accordance with fees established by the County.

Recording of Plan @\$24.00/sheet \$ _____
 +\$2.00/surcharge plan \$ _____
 Land & Community Heritage Investment Program (LCHIP) fee +25.00 \$ _____
 Easements/Agreements @\$10.00/first sheet \$ _____
 (if applicable) @\$ 4.00/each sheet \$ _____
 Thereafter +\$2.00/surcharge/doc. \$ _____
 +First Class return postage rate \$ _____
TOTAL \$ _____

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

**SCHEDULE OF FEES
(Continued)**

PLEASE NOTE: RECORDING FEES SHALL BE COMPUTED WHEN PLANS ARE FINALIZED FOR RECORDING. RECORDING FEES MUST BE PAID BY THE APPLICANT PRIOR TO RECORDING.

THE APPLICANT SHALL BE RESPONSIBLE FOR ALL FEES INCURRED BY THE TOWN FOR PROCESSING AND REVIEW OF THE APPLICANT'S APPLICATION, PLAN AND RELATED MATERIALS. ALL SUCH FEES MUST BE PAID PRIOR TO RECORDING.

E. COST ALLOCATION PROCEDURE AMOUNT CONTRIBUTION AND OTHER IMPACT FEE PAYMENTS:

TO BE DETERMINED BY VOTE OF THE PLANNING BOARD AND SHALL BE PAID BY THE APPLICANT AT THE TIME OF SUBMITTAL OF CERTIFICATE OF OCCUPANCY PERMIT REQUEST.

LIST OF ABUTTERS

(See attached list & labels)

List of all the names and addresses of the owner (s) of record of the property and abutters, as of the time of the last assessment for taxation made by the concerned property by a street(s), public land(s) or stream(s) up to distance of 200 feet from subject tract.

I. ADJACENT PROPERTY OWNERS

MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
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MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____

II. PROPERTY OWNERS WITHIN 200 FEET

MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____

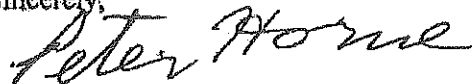
March 21, 2019

RE: 161 Lowell Road, Hudson, NH/Dakota Partners, LLC

To Whom It May Concern:

I, Peter Horne, am Trustee of the 5 Way Realty Trust which is owner of the above-referenced property. Please accept this letter as written authorization for Dakota Partners, LLC and any of their representatives, including Mark Pilotte and/or Roberto Arista, to sign applications and other documents and otherwise proceed with land use permitting for a multifamily rental project at 161 Lowell Road, Hudson, NH. I will be unavailable for the month of April and wish to authorize Dakota Partners, LLC to sign all applications and proceed as necessary.

Sincerely,

A handwritten signature in cursive script that reads "Peter Horne". The signature is written in black ink and is positioned above the printed name.

Peter Horne

Abutter Notification Labels

April 30, 2019
161 Lowell Road, Hudson NH 3051
Parcel 209-001

Page 1 of 2

Town of Hudson
12 School Street
Hudson, NH 03051

Richard W. Olson
Lisa A. Olson
18 Hickory Street
Hudson, NH 03051

Pamela M. Chartrand
Donald J. Chartrand
24 Hickory Street
Hudson, NH 03051

Gregory Al Nelson
Lee Ann Nelson
8 Hickory Street
Hudson, NH 03051

Charles Boissonneault
Mary Boissonneault
20 Hickory Street
Hudson, NH 03051

Victor Gomez
26 Hickory Street
Hudson, NH 03051

Philip J. MacSweeney
Joan M. MacSweeney
10 Hickory Street
Hudson, NH 03051

Donald H. Ouellette
Deborah Ouellette
22 Hickory Street
Hudson, NH 03051

Jonathan D. Davis
Dorothy A. Davis
7 Juniper Street
Hudson, NH 03051

Todd R. Newcombe
Dina M. Fagundes-Newcombe
12 Hickory Street
Hudson, NH 03051

Thomas J. Leonard, Esq.
Welts, White & Fontaine, P.C.
29 Factory Street
Nashua, NH 03060

Dale Seiberg
Susan Seiberg
5 Juniper Street
Hudson, NH 03051

Timothy Coulter
Barbara Coulter
14 Hickory Street
Hudson, NH 03051

Evan C. Goduco
43 Cottonwood Drive
Hudson, NH 03051

James F. Queenan
Sheila A. Queenan
47 Cottonwood Drive
Hudson, NH 03051

James M. Hulse, Trustee
Denise M. Hulse, Trustee
Hulse Joint Revocable Trust
16 Hickory Street
Hudson, NH 03051

Joseph W. Schmitt, Trustee
Schmitt Revocable Trust
19 Hickory Street
Hudson, NH 03051

John J. Creeden, III Trustee
Arlene M. Creeden, Trustee
Creeden Living Trust
17 Murphy Circle
Middletown, RI 02842

DBV, Inc.
c/o Walter Flowers
15 Court Square, #340
Boston, MA 02108

Michael P. Rice
9 Hickory Street
Hudson, NH 03051

Lowell Road, LLC
PO Box 1435
North Hampton, NH 03862

Fox Hollow Condo Assoc.
c/o Great North Property Mgmt
PO Box 65434
Houston, TX 77210-5434

Zachary S. Phillips
7 Hickory Street
Hudson, NH 03051

Patrick I. Cowan
153 Lowell Road
Hudson, NH 03051

Rosemarie J. Boyer Rev. Trust
Rosemarie J. Boyer Trustee
65 Plateau Ridge Road
Loudon, NH 03307

Rupert & Alice Tate, Trustees
Rupert E. Tate and Alice E. Tate RT
7 Prince Drive
Hudson, NH 03051

Yue Yun Zheng
Zhou Deng Zheng
4 Paula Circle
Hudson, NH 03051

Boyer Associates
65 Plateau Ridge Road
Loudon, NH 03307

David J. Lafond, President
Fox Hollow Condo Assoc.
421 Fox Hollow Drive
Hudson, NH 03051

Joseph Martin
Lindsay Lemieux
17 Hickory Street
Hudson, NH 03051

Matrix Realty, LLC
9389 Waples Street
San Diego, CA 92121

Farley White Hudson, LLC
1 Bedford Farms Drive, Suite 200
Bedford, NH 03110

Jennifer Garneau
13 Hickory Street
Hudson, NH 03051

CDC Realty Group, Inc.
175 Lowell Road
Hudson, NH 03051

Harry M. Haytayan, Trustee
Harry M. Haytayan Revocable Trust
17 Friars Drive
Hudson, NH 03051

Richard H. Charbonneau
Mark Charbonneau
c/o R and M Realty
1 Continental Drive
Londonderry, NH 03053

171 JMJ Realty LLC
171 Lowell Road
Hudson, NH 03051

Paul E. Gregoire
Jean Gregoire
173 Lowell Road
Hudson, NH 03051

David Tavares
41 Cottonwood Drive
Hudson, NH 03051

Presentation of Mary Convent
182 Lowell Road
Hudson, NH 03051

Mark J. Scanlon
Carol A. Scanlon
11 Hickory Street
Hudson, NH 03051

Katlyn Pearl Deluca
Nicholas Adam Burns
15 Hickory Street
Hudson, NH 03051

Cheryl A. Savard
Christine M. Savard
6 Hickory Street
Hudson, NH 03051

Michael Martinez
Great North Property Management
636 DW Highway
Merrimack, NH 03054

5 Way Realty Trust
Peter Horne, Trustee
PO Box 1435
North Hampton, NH 03862

Dakota Partners LLC
Mark Pilotte
1264 Main Street
Waltham, MA 02451

Karl Dubay, PE
The Dubay Group, Inc.
84 Range Road
Windham, NH 03087

Tim Sutherland, LLS
The Dubay Group, Inc.
84 Range Road
Windham, NH 03087

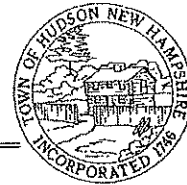
Luke Hurley, CWS
Gove Environmental Services Inc.
8 Continental Drive, Bldg 2, Unit H
Exeter, NH 03833

"11"



TOWN OF HUDSON FIRE DEPARTMENT

39 FERRY STREET, HUDSON, NEW HAMPSHIRE 03051



Robert M. Buxton
Chief of Department

Emergency 911
Business 603-886-6021
Fax 603-594-1164

TO: Brian Groth
Town Planner

FR: Robert M. Buxton RMB
Fire Chief

DT: June 6, 2019

RE: 161 Lowell Road (Map 209, Lot 1)

The following is a list of site plan concerns for this project. This review was completed utilizing plans submitted by Dakota Partners Inc, dated April 29, 2019.

1. Please provide the markings for fire apparatus access in accordance with NFPA 1. As discussed, the fire department would like to see the spacing between Building 2 and the Club House increased. This will provide better access across the face of Building 2.

After reviewing the project, the proposed right in / right out traffic pattern will not provide an issue to the Fire Department with the improvements proposed to Friar Drive.

We have additionally requested, the removal of one of the proposed trees on Lowell Road to allow ladder truck access from Lowell Road to the end of Building 1.

2. Please provide three (3) hydrant maps signed by the Hudson Fire Department, the Hudson Water Company and the property owner. There shall be a hydrant flag and painting acceptable to the current Town of Hudson Engineering Department's specifications provided for all water supply appurtenances.

The Fire Department has requested that the hydrant located on Friars Drive be located closer to Lowell Road prior to the project driveway. The relocation of the hydrant located in the island near Building 2 to the main travel path along the drive. Additionally, we have requested an additional hydrant to the rear parking lot area that is located behind Building 1.

3. The common driveway shall have a permanent sign approved by the Hudson Fire Department noting the addresses of the buildings that are accessed from that driveway. These signs shall be approved and installed before issuance of any building permits.
4. Please make sure that the proposed snow storage area shown on the plan in the area of the cistern is cut back to make sure access is maintained.

****The following life safety and fire protection concerns provided are for informational purposes to the applicant and Planning Board for this project. Final determinations on these issues occur after further review of the project.**

- A. The proposed building may require an approved sprinkler system. The Hudson Fire Department upon review of the building plans makes this determination. This requirement is in accordance with the **International Building Code (IBC) and Hudson Town Code (HTC), current revision, Chapter 210, Article VI**. It may be possible following the IBC to separate the tenants by providing firewalls in the building. This would eliminate the need to sprinkle the building according to the HTC. Separate occupancies may still require a sprinkler system according to the IBC, State Code, and applicable codes or ordinances. Further plan reviews will uncover those requirements.
- B. Any fire protection system shall be monitored by an approved fire alarm system. The fire alarm system shall be connected to the Hudson Fire Department's municipal fire alarm system or a substantially equivalent system in accordance with the **Hudson Town Code, Chapter 210**. A site plan detailing the aerial or underground layout to the municipal fire alarm connection must be provided before the utilities are completed for this project. Any required fire alarm system component must remain accessible and visible at all times.
- C. Will there be inside or outside storage above the exempt amounts of hazardous materials, liquids or chemicals presenting a physical or health hazard as listed in the **International Building Code, Sections 307, 414 or 415**?
- D. A blasting permit will be required for any blasting on the site in accordance with the **Hudson Town Code, Chapter 202**.
- E. All storage either inside or outside of hazardous materials, liquids or chemicals presenting a physical or health hazard as listed in **NFPA 1, Section 20.15.2.2** shall be in accordance with the applicable portions of the following:

- NFPA 13, Standard for the Installation of Sprinkler Systems**
- NFPA 30, Flammable and Combustible Liquids Code**
- NFPA 30B, Code for the Manufacture and Storage of Aerosol Products**
- NFPA 230, Standard for the Fire Protection of Storage**
- NFPA 430, Code for the Storage of Liquid and Solid Oxidizers**
- NFPA 432, Code for the Storage of Organic Peroxide Formulations**
- NFPA 434, Code for the Storage of Pesticides**

These are all of the Hudson Fire Department's concerns as of this time. If you have any further questions, please call me directly and thank you for your continued cooperation.

cc: Project Engineer
File



TOWN OF HUDSON

Office of the Assistant Assessor

Jim Michaud
Chief Assessor, CAE
email: jmichaud@hudsonnh.gov
www.hudsonnh.gov



12 School Street · Hudson, New Hampshire 03051 · Tel: 603-886-6009 · Fax: 603-594-1160

To: Brian Groth, Town Planner

June 6, 2019

From: Jim Michaud, Chief Assessor

Re: Friars Court Apartments - Tax Map 209 Lot 1

In reviewing the proposed subdivision and subsequent site plan submittals, I offer the following comments;

1. On plan, remainder parcel of 74.877 AC's , shown as Map 209 Lot 001 Sublot 00B – keep as Tax Map 209 Lot 001 Sublot 001
2. On plan, Map 209 Lot 001 Sublot 00A – needs to be shown as – Tax Map 209 Lot 001 Sublot 001
3. On plan, Map 209 Lot 001 Sublot 00C – needs to be shown as Tax Map 209 Lot 001 Sublot 002
4. The “condo land area 1 & 2” referenced on the plan, am under the impression that this is apartment property, held in common ownership under 1 owner, that this is not condominiums being proposed. Need written clarification that the land area for the apartment lot, 11.198 AC, on Plan as Lot 1-A, will be held all together in fee simple ownership by the same owners as the apartment buildings, not 1 separate owner, and not 1 separate owner for the buildings. Also would like to see written clarification that this is also not a ground lease situation. It is very unorthodox to see a delineation of “condo land areas” on plans that are not being set up as condos.

Dhima, Elvis

From: Dhima, Elvis
Sent: Wednesday, June 05, 2019 12:19 PM
To: Groth, Brian
Cc: Dubowik, Brooke
Subject: 161 Lowell Road Review

Brian

My only comment is as follows:

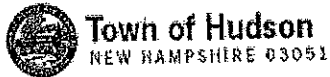
1. Applicant shall provide a slip lane on Lowell Road to accommodate right turns to the proposed site, without impacting movement on Lowell Road. This will accommodate any addition traffic volume related to all the businesses on Friar & Executive Drive that will use the new access in the AM traffic.

Thank you

E

Elvis Dhima, P.E.
Town Engineer

Town of Hudson, NH
12 School Street
Hudson, NH 03051
Phone: (603) 886-6008
Mobile: (603) 318-8286





TOWN OF HUDSON

Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

June 6, 2019

Site Plan Review *BB*
Zoning Review/Comments

Re: Case: SP# 02-19
Site development for 2 mutli-family apt buildings and associated improvements
Address: 161 Lowell Rd
Map 209 /Lot 001
Zoning district: Business (B)

Based on submitted plan (rev #1 dated 5/6/19)

Verify the heights of the proposed structures don't exceed the height limits in the Zoning Ordinance 334-14.

Sincerely,

Bruce Buttrick, MCP
Zoning Administrator/Code Enforcement Officer
(603) 816-1275
bbuttrick@hudsonnh.gov

encl: Rev 1 plan submitted
cc: Public Folder
B. Groth - Town Planner
file

"D"

MEMORANDUM

TO: File

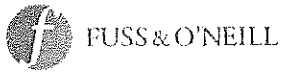
FROM: Steven W. Reichert PE *SWR*

DATE: May 29, 2019

RE: Town of Hudson Planning Board Review
Friars Court Proposed Site Development Plan
Tax Map 209, Lot1; Acct. #1350-928
Fuss & O'Neill Reference No. 20030249.1790

The following list itemizes the set of documents reviewed related to the Friars Court Site Plan, located at 161 Lowell Road, in Hudson, New Hampshire.

- Email communication between the Town of Hudson and Fuss & O'Neill, dated between May 1 and May 22, 2019.
- Plan Review Package received by Fuss & O'Neill, from The Dubay Group, Inc., including the following:
 1. Copy of *NHDES Alteration of Terrain Permit Application and Drainage Analysis*, prepared by The Dubay Group, Inc., dated May 13, 2019, and received on May 16, 2019.
 2. Copy of *Proposed Site Plans for Friars Court*, Map 209, Lot 1, 161 Lowell Road, Hudson, New Hampshire, prepared by The Dubay Group, Inc., dated April 29, 2019 unless otherwise noted, received on May 16, 2019, and including the following:
 - a. Title Sheet, Sheet 1 of 33, revised May 14, 2019.
 - b. Project Compliance Notes, Sheet 2 of 33.
 - c. Tract Overview Plan, Sheet 3 of 33.
 - d. Site Specific Soils, Sheet 4 of 33.
 - e. Existing Conditions Plan, Sheet 5 of 33.
 - f. Subdivision Plan, Sheet 6 of 33, revised May 6, 2019.
 - g. Easement Plan, Sheet 7 of 33, revised May 6, 2019.
 - h. Tract Access & Density Summary Plan, Sheet 8 of 33, revised May 6, 2019.
 - i. Site Layout Plan, Sheet 9 of 33, dated April 25, 2019, revised May 6, 2019.
 - j. Landscape Plan, Sheet 10 of 33, revised May 6, 2019.
 - k. Landscape Notes and Details, Sheet 11 of 33, revised May 6, 2019.
 - l. Grading and Drainage Plan, Sheet 12 of 33, revised May 14, 2019.
 - m. Utility Plan, Sheet 13 of 33, dated May 13, 2019.
 - n. Lighting Plan, Sheet 14 of 33.
 - o. Erosion Control Plan, Sheet 15 of 33, revised May 14, 2019.
 - p. Truck Circulation Plan, Sheet 16 of 33.
 - q. Site Details - 1, Sheet 17 of 33.



Memo to File

Fuss & O'Neill Reference No. 20030249.1790

May 29, 2019

Page 2 of 2

- r. Site Details - 2, Sheet 18 of 33, dated May 13, 2019, revised May 14, 2019
 - s. Site Details - 3 and 4, Sheets 19 and 20 of 33.
 - t. Site Details - 5 and 6, Sheets 21 and 22 of 33, revised May 14, 2019.
 - u. Site Details - 7, Sheet 23 of 33.
 - v. Site Details - 8 – 12, Sheets 24 thru 28 of 33, revised May 14, 2019.
 - w. Site Details – 13, Sheet 29 of 33.
 - x. Impervious Area Summary, Sheet 30 of 33.
 - y. Sewer Profiles, Sheet 31 of 33, dated May 13, 2019, revised May 14, 2019.
 - z. Pre Development Watershed Plan, Sheet 32 of 33, dated April 25, 2019, revised May 14, 2019.
 - aa. Post Development Watershed Plan, Sheet 33 of 33, dated April 25, 2019, revised May 14, 2019.
 - bb. Roadway Reconstruction Plan, R1, revised May 14, 2019.
 - cc. Road Reconstruction Profile and Typical Section, R2, dated April 24, 2019, revised May 14, 2019.
 - dd. Roadway Erosion Control Plan, R3, revised May 14, 2019.
 - ee. Road Upgrade Details 1-4, R4 thru R7.
3. Copy of *Traffic Impact Assessment*, prepared by VHB, dated April 23, 2019 and received on May 13, 2019.

SWR:mjt

cc: Brian Groth – Town of Hudson
Town of Hudson Engineering Division – File



FUSS & O'NEILL

May 29, 2019

Mr. Brian Groth
Town Planner
Town of Hudson
12 School Street
Hudson, NH 03051

Re: Town of Hudson Planning Board Review
Friars Court Proposed Site Development Plan
Tax Map 29, Lot 1; Acct. #1350-928
Fuss & O'Neill Reference No. 20030249.1790

Dear Mr. Groth:

Fuss & O'Neill, Inc. has reviewed the first submission of the materials received on May 7, May 13, and May 16, 2019, related to the above-referenced project. Authorization to proceed was received on May 7, 2019. A list of items reviewed is enclosed. The scope of our review is based on the Site Plan Review Codes, Stormwater Codes, Driveway Review Codes, Sewer Use Ordinance 77, Zoning Regulations, and criteria outlined in the CLD Consulting Engineers Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007, September 3, 2008, and October 2015.

We have included a copy of Fuss & O'Neill's evaluation of the checklist for your reference. We note that several items could not be verified by Fuss & O'Neill and require action by the Town.

The project would subdivide an existing vacant 88.866 acre lot into three lots of 74.877, 11.198 and 2.279 acres as depicted on the plans. The project would then develop the 11.198 acre lot (Parcel 209-1-A) into a two building, 81 unit multi-family residential development. Proposed improvements to the site include the construction of a driveway off of Friars Drive, a clubhouse, parking areas, drainage improvements, landscaping, and other associated site improvements. The project also includes proposed off-site improvements, namely the reclaiming and paving of a 600+ foot section of Friars Drive and providing a connection between Executive Drive and Lowell Road.

The following items are noted:

1. Site Plan Review Codes and Administrative Requirements and Definitions

- a. Hudson Regulation (HR) 275-6.I. The scope of this review does not include the adequacy of any fire protection provisions for the site. The applicant should review with the Hudson Fire Department to confirm that proposed measures are acceptable.

540 No Commercial Street
Manchester, NH
03101
t 603.668.8223
800.286.2469
f 603.668.8802
www.fando.com

California
Connecticut
Maine
Massachusetts
New Hampshire
Rhode Island
Vermont



Mr. Brian Groth

May 29, 2019

Page 2 of 7

- b. HR 275-6.T.(1). The applicant has proposed improvements to a portion of Friars Drive by reclaiming the existing pavement and re-paving. As discussed at the meeting on May 7, 2019, the Town Engineer does not know the condition of the existing subbase for this portion of the road and will not accept reclaiming and paving of this road without construction of the subbase to meet Town standards. The applicant should continue to coordinate this effort with the Town Engineer.
- c. HR 275-8.C.(2)(o) and ZO 334-15.A. The applicant has provided parking calculations for the proposed use. The applicant has noted on sheet #2 that a waiver is requested for the minimum number of parking spaces to be provided, with an area reserved for future parking should the Code Enforcement Officer determine additional parking is needed. A copy of the waiver request letter was not included in Fuss & O'Neill's review package.
- d. HR 275-8.C.(5). We note that with the layout of parking spaces at the proposed/future boundary line, vehicles parking in the spaces furthest north may have difficulty backing out of those spaces if there is no additional area provided for turning around. The applicant should review this proposed layout.
- e. HR 275-8.C.(6). The applicant has not proposed any loading spaces for the development.
- f. HR 275-8.C.(6)(d). The applicant has noted that maneuvering areas are sufficient to accommodate UPS and moving box trucks, as well as fire trucks. WB-50 trucks appear to be able to maneuver within the site without conflicting with parking spaces or curbed areas, but WB-67 trucks do not. We also note that the truck circulation plan shows fire truck access through the site. The applicant should confirm with the Hudson Fire Department that the truck shown on the circulation plan is the largest that the Fire Department will use at this site.
- g. HR 275-9.D. The applicant has noted that a Fiscal Impact Study will be provided relative to public school statistics. This study was not included in Fuss & O'Neill's review package.
- h. HR 275-9.F. and 276-11.1.B.(20). The applicant has noted that easements, covenants, deed restrictions and other legal documents will be provided. These documents were not included in Fuss & O'Neill's review package. The applicant did provide an Easement Plan detailing the easement areas within the site.
- i. HR 276-7.B & 276-7.C. The applicant has noted waivers from several Regulations on sheet #2. Formal waiver requests were not included in Fuss & O'Neill's review package. All waivers that are granted by the Planning Board should be noted on the plans.
- j. HR 276-11.1.B.(1). We note that several plan sheets are stamped by a professional engineer but most others do not have a stamp affixed to them. The applicant's engineer should stamp all relevant plan sheets.
- k. HR 276-11.1.B.(5). The approval expiration block is located above the approval block on several plan sheets, not adjacent to the block as required by the Regulation.
- l. HR 276-11.1.B.(6). The Owner's signature is not on the plans.
- m. HR 276-11.1.B.(9). The Land Surveyor's Certification statements on the Existing Conditions plan, Subdivision plan, and Easement plan are not signed and the surveyor's stamp does not appear on those drawings.



Mr. Brian Groth
May 29, 2019
Page 3 of 7

- n. HR 276-11.1.B.(12). The applicant has proposed a portion of the building #1 parking area within the building setback. Also, note #4 on plan sheet #9 shows this setback to be 30 feet where 50 feet is required by Ordinance.
- o. HR 276-11.1.B.(13). The applicant should label all proposed signs within the site (stop sign at Friars Court driveway intersection with Friars Drive is not labelled). The applicant should also provide a traffic sign summary table in the plans detailing sign quantities and sizes.
- p. HR 276-11.1.B.(16). The applicant has not shown all roadways, driveways, travel or parking areas within 200 feet of the tract.
- q. HR 276-11.1.B.(17). We were unable to locate any benchmarks within the plan set. We were also unable to locate a USGS benchmark reference in the plans.
- r. HR 276-11.1.B.(18). The applicant has noted the proposed lot numbers for the subdivided lot, along with acreage for each lot. We note that the total acreage of the three subdivided lots does not equal the total original lot size (88.354 vs. 88.866). The applicant should review these areas and correct.
- s. HR 276-11.1.B.(24)(a). The applicant has not provided any open space calculations within the plans.

2. Driveway Review Codes (HR 275-8.B. (34)/Chapter 193)

- a. HR 193.10.C. The applicant has proposed a short 15' section of double yellow line striping at the entrance/exit to the site. We recommended extending this striping to be able to accommodate more than one car queueing at the stop sign at this intersection.
- b. HR 193.10.C. The applicant has shown the proposed curb at the driveway terminating at the easement line and not extending around the radius to terminate along the roadway as required by Town of Hudson typical detail R-10, a copy of which is included on plan sheet #19.
- c. HR 193.10.E. The applicant has not shown sight distances for the proposed driveway or for the proposed Friars Drive entrance onto Lowell Road. We note that the Friars Drive sight line onto Lowell Road may be partially obstructed by signs proposed for the island. The applicant should evaluate the impacts of these proposed features to sight lines and address as appropriate.

3. Traffic

Fuss & O'Neill has reviewed the Traffic Impact Assessment memorandum prepared by VHB dated April 23, 2019 in support of this development, and has the following comments:

- a. The study properly describes the proposed roadway connections and the existing sight distance condition.
- b. The report uses traffic counts provided by the Town at the Lowell Road/Pelham Road intersection north of the site to determine existing traffic volume conditions near the site.



Mr. Brian Groth

May 29, 2019

Page 4 of 7

- Since traffic will be redirected to and from the Executive Drive intersection to the south as a result of the proposed right-turn in/out driveway and the extension of Friars Drive to Executive Drive, it would have been more appropriate to use those intersection counts.
- c. The adjustment factors used to determine the peak month volumes were appropriate for this roadway. It was noted in the report that the traffic volumes are fairly consistent over many hours of the day.
 - d. Trip generation estimates were developed based on the 9th edition of the ITE *Trip Generation* publication, while the 10th edition is the current version. Although there may not be substantial differences between the two versions, the more current version should be used. In any event, the trip generation summary in Table 3 is accurate based on the 9th edition.
 - e. The report notes that because the site will not generate more than 100 new trips during the peak hour, no analysis is necessary, and comes to the conclusion that the proposed development would 'result in negligible impacts to the adjacent roadway system'. However, the driveway limitations will direct traffic to and from the Executive Drive intersection, including diversions of existing traffic. The report did not examine the distribution of traffic nor the additions/subtractions to various turning movements at Executive Drive as a result of providing a formal extension of Friars Drive to Executive Drive. As such, we do not believe that there is sufficient analysis provided to support the conclusion of no significant impact to adjacent intersections, including Executive Drive.
 - f. The right turn in-out driveway is designed to preclude left turn exit and entering maneuvers. While prohibiting left turn exits is reasonable, there is no evaluation of the potential for allowing northbound left turns to enter Friars Drive at this location from the dual use center lane, especially since this roadway will be connected to Executive Drive.

4. Utility Design/Conflicts

- a. HR 275-9.E. and 276-13. The applicant has noted that the contractor shall confirm the depth of utilities in Lowell Road prior to performing directional drilling for the sewer main connection, and has noted that shop drawings are required for the direction drilling with casing. The applicant should forward these shop drawings to the Town for their review and records.
- b. HR 275-9.E. and 276-13. The applicant has revised the sewer and water layouts as requested by the Town Engineer in the meeting held on May 7, 2019. The applicant should confirm with the Town that this layout is acceptable, as at Friars Drive west of the proposed easement area there is a 15' water easement on the south side of the road whereas the applicant is proposing sewer on that side of the road.
- c. HR 275-9.E. and 276-13. The applicant should include a water/sewer crossing detail in the plans which shall be implemented at locations where these utilities cross.



Mr. Brian Groth
May 29, 2019
Page 5 of 7

5. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- a. HR 275-9.A(3). The Alteration of Terrain (AoT) BMP Sheets and HydroCAD analysis illustrate that the Bio-Retention Area utilizes a 5.0 inches per hour rate. The applicant should provide additional data (conversion calculation) to support the use of the infiltration rate. We assume it associated with Env-Wq 1504.14.
- b. HR 290-4.C. We note a rip rap detail shows depths on Detail Sheet 8 that do not coincide with the calculations within the Drainage Analysis. The applicant should coordinate the detail with the dimensions calculated within the Drainage Analysis.
- c. HR 290-5.H. We note the applicants Drainage Report calculations do not account for frozen ground conditions. The applicant should provide additional information on performance of the drainage system during this condition, or request a waiver for this requirement.
- d. HR 290-5.L(1). The applicant should keep the Town informed of all communication with the NHDES in relation to the Alteration of Terrain Permit discussions to ensure NHDES engineering comments do not alter the proposed drainage design/calculations.
- e. HR 290-9.B. The requirement for the preparation of a Stormwater Pollution Prevention Plan (SWPPP) has been noted on the plans.
- f. HR 290-5.L(8). The outlet of Detention Basin 2 within the plan set does not appear to coincide with the Drainage Analysis. The plans illustrate FES-4, while the Drainage Analysis illustrates a 3" vertical orifice. The applicant should review and coordinate the design documents accordingly.
- x. The applicant has shown a foundation drain and noted this as "if required" at each building. The applicant should clarify if these are in fact required for this project.
- x. The applicant has included a detail for underdrain installation. The applicant should clarify the propose location of this drainage feature.

6. Zoning (ZO 334)

- a. ZO 334-20. The subdivided lot where the development is proposed is located entirely within the Business (B) zoning district where multi-family dwellings are permitted.
- b. ZO 334.25. The applicant has not provided architectural drawings with the plan set so we are unable to verify if the height of the proposed structures conforms with the Ordinance.
- c. ZO 334.27. The applicant should correct note #4 on sheet #9 which states the front setback to be 30 feet, where 50 feet is required by the Ordinance.
- d. ZO 334.27. The applicant has provided calculations demonstrating that the proposed subdivided lot complies with 334 Attachment 4 Note #2 for buildable lot area.
- e. ZO 334-35.B.(2)(e) and HR-275-9.G(3). The applicant has shown existing wetlands within the subject lot. The applicant has noted that they received a Wetland Special Exception with the Zoning Board of Adjustment to be able to build the extension of Friars Drive across a jurisdictional wetland.



Mr. Brian Groth

May 29, 2019

Page 6 of 7

- f. ZO 334-58. The applicant has proposed a project sign at the driveway into the development. The applicant has noted that the sign detail provided is more of a place-holder pending final sign design. The applicant should provide details for the construction of the sign to the Town for their permitting and approval.
- g. ZO 334-60.C & 60.D. If the portion of the site along Friars Drive is considered frontage then the sign needs to be a minimum of 25 feet from the Right-of-Way line per section 60.C. The applicant should review the application of this Ordinance with the Town.
- h. ZO 334-83. The applicant has noted on the plans that the subject parcel does not fall within a special flood hazard area.

7. Erosion Control/Wetland Impacts

- a. HR 290-5.K.(16). The applicant has not indicated the proposed method of stump disposal, but has included a detail showing a stump grindings berm. The applicant should show on the plans the proposed location(s) for this berm.
- b. HR 290-5.K.(20). The applicant should review the need for erosion controls outside the limits of construction of the drain line connecting to DMH #6.
- c. HR 290-5.K.(22). The applicant has proposed one snow storage area north of the north parking area. The applicant should review and confirm that this storage area is adequately sized for the anticipated snow clearing volume.
- d. HR 290-5.K.(26). The applicant has proposed a stabilized tracking pad directly abutting Lowell Road. The applicant should consider moving this further back into Friars Drive to avoid traffic conflicts during installation and maintenance of this pad.
- e. HR 290-5.K.(26). The applicant should consider the installation of erosion control measures along the northeast corner of the site near the proposed treeline.
- f. The Town should reserve the right to require additional erosion control measures.
- g. The applicant has noted that EPA/SWPPP permit and monitoring is required.

8. Landscaping (HR 275-8.C.(7) & 276-11.1.B.(20)) and Lighting (HR 276-11.1.B.(14))

- a. HR 275-8.C.(7)(a). The applicant has noted on sheet #2 that calculations for the 10% minimum landscaping area are on the landscape plans. We are unable to locate these calculations.
- b. HR 276-11.1.B.(14). The applicant has not noted the hours of operation for the site lighting. The means for operation (timer, photocell, etc.) should also be noted on the plans.
- c. HR 276-11.1.B.(14). The applicant has proposed a light pole northeast of the clubhouse that appears to conflict with a proposed tree installation. The applicant should review this layout and revise as appropriate.
- d. HR 276-11.1.B.(14). The applicant has noted to refer to the architectural plans for proposed building lighting. Copies of architectural plans were not included in Fuss & O'Neill's review package.



Mr. Brian Groth

May 29, 2019

Page 7 of 7

- e. The applicant has shown loam and seeding at 4" and 6" depths in various details. The applicant should coordinate the plan details.

9. State and Local Permits (HR 275-9.G.)

- a. HR 275-9.G. No copies of applicable approvals or permits were provided in the package received for review.
- b. HR 275-9.G. The applicant has noted that a New Hampshire Department of Environmental Services (NHDES) Alteration of Terrain Permit is required. The applicant should forward all relevant AoT Permit documentation to the Town for their records.
- c. HR 275-9.G. The applicant has noted that a Sewer Connection Permit is required for this project.
- d. Additional local permitting may be required.

10. Other

- a. The applicant has not provided any details for construction of any features of the proposed playground or garden plot area.
- b. The applicant has not provided any details for the construction of the dumpster enclosure.
- c. The applicant has noted that shop drawings will be require for the proposed retaining wall. The applicant should forward a copy of those shop drawings, stamped by a professional engineer licensed in New Hampshire, to the Town for their records.

Please feel free to call if you have any questions.

Vety truly yours,

Steven W. Reichert, PE

Paul Konieczka, AICP

SWR:PK:mjt

Enclosure

cc: Town of Hudson Engineering Division – File
The Dubay Group, Inc.
84 Range Road
Windham, NH 03087
(603) 458-6462

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Frans Court, 161 Lowell Road
Town of Hudson
Fuss & O'Neill Reference No. 03-0249.1790
Reviewed May 29, 2019

Thirty (30) days prior to Planning Board Meeting, a complete site plan to include all supporting materials/documents must be submitted in final form. The site plan shall comply with the following specifications/requirements.

Applicant
Initials

Staff
Initials

- a) Submission of nine (9) full sets of Site Plans (sheet size: 24" x 34") at the time of application filing, followed by the submission of seventeen (17) 11" x 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 AM Tuesday of the week prior to the scheduled public hearing/conceptual review date.
- b) A Site Plan narrative, describing the purpose, locations, long range plans, impacts on traffic, schools and utilities.
- c) Plan scale at not less the one inch equals fifty feet (1" = 50')
- d) Locus plan with 1,000' minimum radius of site to surrounding area
- e) Plan date by day/month/year
- f) Revision block inscribed on the plan
- g) Planning Board approval block inscribed on the plan
- h) Title of project inscribed on the plan
- i) Names and addresses of property owners and their signatures inscribed on the plan
- j) North point inscribed on the plan
- k) Property lines: exact locations and dimensions
- l) Square feet and acreage of site
- m) Square feet of each building (existing & proposed)
- n) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan

- a) One full size set and one half size set received by Fuss & O'Neill
- b) Traffic study provided. Narrative not provided.
- c) Month/day/year
- d) Signatures not provided
- e) Unable to verify 5-day update criteria.

Fuss & O'Neill/SWR
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Applicant Initials	Staff Initials
o) Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4x reserve areas, floodways/floodplains, driveways, travel areas, parking areas and natural features within 200 feet of the tract	o) Not all driveways within 200 feet of tract shown
p) Locations of existing and proposed permanent monuments and benchmarks within 200 feet of the development tract	p) Couldn't locate benchmarks on the plan
q) Pertinent highway projects	q) None noted.
r) Assessor's Map and Lot number(s)	r) None noted.
s) Waiver application form shall be submitted with the site plan application, note on plan listing waivers requested/granted; and all waivers granted to the site plan regulations shall be listed on the final plan, waivers to checklist shall be reduced to writing and be signed by the Planning Board Chairman and Planning Board Secretary and recorded with the plan	s) Waivers requested. Request forms not included.
t) Deliniate zoning district on the plan	t) Received. Fuss & O'Neill review comments in letter.
u) Stormwater drainage plan	u) Received. Fuss & O'Neill review comments in letter.
v) Topographical elevations at 2-foot intervals contours: existing and proposed	v) Received. Fuss & O'Neill review comments in letter.
w) Utilities: existing and proposed	w) Received. Fuss & O'Neill review comments in letter.
x) Parking: existing and proposed	x) Received. Fuss & O'Neill review comments in letter.
y) Parking space: length and width	y) Received. Fuss & O'Neill review comments in letter.
z) Aisle width/maneuvering space	z) Received. Fuss & O'Neill review comments in letter.
aa) Landscaping: existing and proposed	aa) Received. Fuss & O'Neill review comments in letter.
ab) Building and wetland setback lines	ab) Lines shown. Parking area within front setback
ac) Curb cuts	ac) Received. Fuss & O'Neill review comments in letter.
ad) Rights of way: existing and proposed	ad) Received. Fuss & O'Neill review comments in letter.
ae) Sidewalks: existing and proposed	ae) Received. Fuss & O'Neill review comments in letter.
af) Exterior lighting plan	af) Operational details for lighting not provided.
ag) Sign locations: size and design	ag) Sign summary table not provided. Sign details for monument sign not provided.
ah) Water mains and sewerage lines	ah) Detail for dumpster pad construction not provided.
ai) Location of dumpsters on concrete pads	ai) Detail for dumpster pad construction not provided.
aj) All notes from plats	aj) See other comments.

Applicant
Initials

- _____ ak) Buffer as required by site plan regulations
- _____ al) Green and open space requirements met with percentages of both types of spaces inscribed on the plan
- _____ am) Soil types and boundaries, Note: if site contains marginal or questionable soils, a High Intensity Soil Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire certified Soil Scientist, who shall affix his/her stamp and signature shall be inscribed on the plan.
- _____ an) Wetlands (and poorly-drained and very poorly-drained soils), also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire certified Wetland or Soil Scientist, who shall affix his/her stamp and signature to the respective plan
- _____ ao) "Valid for one year after approval" statement inscribed on the plan
- _____ ap) Loading bays/docks
- _____ aq) State of New Hampshire engineer's stamp, signature, surveyor's stamp, and signature
- _____ ar) Error of closure (1 in 10,000 or better)
- _____ as) Drafting errors/omissions
- _____ at) Developer names, addresses, telephone numbers and signatures
- _____ au) Photographs, electronic/digital display or video of site and area
- _____ av) Attach one (1) copy of the building elevations
- _____ aw) Fiscal impact study
- _____ ax) Traffic study
- _____ ay) Noise study

Staff
Initials

- _____ Fuss & O'Neill/SWR
- _____ a) Open space percentages, calculations not noted on plans.
- _____ Fuss & O'Neill/SWR
- _____ Fuss & O'Neill/SWR
- _____ an) Applicant noted that Wetlands Special Exception received from ZBA.
- _____ Fuss & O'Neill/SWR
- _____ ap) Loading spaces not shown.
- _____ aq) PE stamp missing from some pages. Surveyors stamp and signature not provided.
- _____ Fuss & O'Neill/SWR
- _____ as) Not stated.
- _____ at) Signatures not provided.
- _____ au) Not provided, but color tract overview plan was provided.
- _____ av) Not provided.
- _____ aw) Not included. Applicant has noted that one will be provided relative to school impacts.
- _____ Fuss & O'Neill/SWR
- _____ ay) Not provided.

Applicant
Initials

Staff
Initials

_____ az) Copies of any proposed or existing easements, covenants,
deed restrictions, right of way agreements or other
similar documents

_____ az) Copy of easements not provided.

_____ ba) Copy of applicable Town, State, Federal approval/permits to
include but not limited to the following:
- industrial discharge application
- sewer application
- flood plan permit
- wetlands special exception
- variance
- erosion control permit (149:8a)
- septic construction approval
- dredge and fill permit
- curb cut permit
- shoreland protection certification in accordance with RSA483-B
- if applicable, review application with Lower Merrimack River
Local Advisory Committee (LMRLAC) and attach LMRLAC
project comments hereto.
_____ bb) Presentation plan (colored, with color coded bar chart)
_____ bc) Fees paid to clerk
_____ bd) Five (5) 22" x 34" copies of the plan shall be brought to the
Planning Board meeting and distributed to the Planning Board
members at the meeting. Note: for all subsequent meetings
involving revised plans, five 22" x 34" copies of said plan shall
be brought to the meeting for distribution to the board members.

_____ ba) None provided. AOT, sewer connection, driveway needed.
_____ bb) No presentation plan received, requires a Town action.
_____ bc) Requires Town action.
_____ bd) Requires Town action.

* Under the purview of the Planning Board any and all items may be waived.

RECEIVED

JUN 04 2019



The Dubai Group, Inc.
84 Range Road, Windham, NH 03087
603-458-6462 thedubaygroup.com

"E"

TOWN OF HUDSON
PLANNING DEPARTMENT **MEMORANDUM**

To: Brian Groth Date: 03 June 2019
From: Karl Dubay Re: Friars Court – Response to Review Comments

This memo provides confirmation/clarification of the May 29th Fuss & O'Neill Review Comments. Virtually all of the comments pertain to administrative notes, details, and confirmatory additional information—which we can easily and quickly provide.

- 1.a HFD – We are coordinating work session with you and HFD to verify the fire protection and design provisions for the site and buildings.
- 1.b Friars Drive Base – The plans and details reference Hudson Standards including the selects/base/subbase box to be in compliance under the reclaim and widening. Construction phase processes will also include the required inspections and testing protocol to ensure compliance.
- 1.c Parking Calculations – The waiver will be discussed with the Planning Board
- 1.d Parking Phase Interface – the nine spaces referenced at the center island are screened and are not included in the 1.5 phase calculations as they would only be painted in the 2.0 phase. Thus, full circulation is provided and there are no conflicts with backing and no dead-ends.
- 1.e/f Loading – The regulation involves “acceptance or distribution of materials or merchandise”. In this case, the affordable apartments are small and primarily single bedroom in size. The regulation does not require dedicated loading spaces for residential projects. Loading activity will consist of UPS-type deliveries from small urban scaled vehicles and moving in/out. Moving in/out of these small units is typically provided by small rental UHaul type cube trucks and definitely not WB-67 extended semitrailers. Sufficient loading areas in aisles allow for traffic bypass. Smaller trucks are accommodated (even the WB-50) as the controlling geometry is for the larger fire ladder truck depicted in the routing plans (refer to 1.a above). Protected and ramped accesses from aisles onto walkways are provided to all front doors.
- 1.g Public School Fiscal Impact – The project will provide extensive impact contribution fees including mitigation for traffic and public education, in accordance with the ordinances and regulations. The project will also provide extensive recurring tax revenues. The project is allowed by right by zoning, with no relief on density or other matters that would subrogate impact fee or tax revenue benefits to the Town.
- 1.h Legal Docs - Will be provided for review by the Town's legal counsel as part of the Board's conditional approval, including administrative deeds, easements, arrangements

on the ROW convertability, and all other expected legal documents.

- 1.i The waivers will be discussed with the Planning Board
- 1.j-m Stamps/Blocks/Signatures – All remaining plans will be stamped and signed. The approval expiration block positioning above (instead of beside) the approval block will be moved on certain sheets if that is a relevant item to the Board. All required plans will indeed have the owner's signature, note that the owner's written authorization in duly filed with the Town.
- 1.n Parking Setback – HR 276-11.1.B(22) allows for an effective 35-foot setback. Subsection (12) primarily deals with proposed nonresidential uses and a 50-foot setback in this zone. The setback shown is 35 feet to the face of 12-inch cape cod berm curb, or 34 feet. We proposed to revise the plan to provide the additional 12 inches for 35 feet of separation, meeting section (22). If staff and the Board determine that section (12) supercedes the specifics and obvious intent of section (22), then we respectfully request the waiver of (22) in favor of (12), as the intent of (22) as written would not be allowed if interpreted otherwise.
- 1.o MUTCD Labels - The details on Sheet 25 depict MUTCD signage and sizing. We will expand and edit this detail to update the final signage on site (for example, the traffic control island signs). Note that the label set for one stop sign on the site plan is labeled as typical and applies to all stop signs which is detailed.
- 1.p Info within 200 Feet – Portions of the tract being subdivided off include areas that are up to ½ mile away from the proposed site development (see Sheet 3). For those areas that are within 200 feet of the site development, the plans generally depict the abutting roads/drives, and for areas immediately adjacent, the detail is indeed provided by survey. We request a waiver of survey-locating every detail of driveway and parking area and road within 200 feet of the tract where that detail has no bearing on the proposed site work area.
- 1.q TBM's & Datum – The TBM and datum cadd layers were inadvertently turned off on the submitted plots and we will fix that. Several TBM's were established on the site with the survey, associated with the project at State Plane coordinate system and will include the associated datum notes/annotation.
- 1.r Areas – The residual area on the lotting is the area of the dedicated street right of way, which is annotated on Sheet 6 of the plans.
- 1.s Open Space - The Drainage Report AOT forms indicate 121KSF of increased impervious area, which yields an open space of approximately 74% for the proposed lot of 487KSF. The minimum required open space for the project tract lots are 35% which obviously comply. We will add a figure to the details depicting the percentages.
- 2.a Centerline Striping Length – We will extend one drive paint centerline the additional length along two vehicles.
- 2.b Drive Curb Transition – We will extend the interface with the transition in accordance with the Curb End detail R-10 on Sheet 19.
- 2.c Sight Distances – All of the drive and road intersections meet the minimum required sight lines. We will depict those on the plans which correspond to the traffic engineer's minimum associated requirements. The thin MUTCD traffic sign posts themselves are not subject to sight distance criteria.
- 3.a-f Traffic – The project traffic engineer will be addressing the supplemental information as requested, although we do not expect it would change the overall summary recommendations. We have indeed planned and designed the project to accommodate

- the Town Planning and Engineering staff's suggestions and recommendations.
- 4.a Shop Drawings – Shop drawings are indeed required for Town review, including the sewer work, and this requirement is annotated on the plans.
 - 4.b Easements – The existing sewer and water infrastructure on existing Friars Drive include easements throughout. For future flexibility, we will accommodate new easements flanking the proposed ROW benefitting the Town and development lots that can be used for all utilities, and not necessarily limited to selected utilities. The sewer design has been approved by the Town Engineer and is pending approval by NHDES with the provision of a few details that are supplementary to the Town standard sewer details.
 - 4.c Pipe Crossing Detail – We will add the standard sewer/water pipe crossing detail, although all of the crossings are planned at 18-inch minimum vertical and 10-foot minimum horizontal separation which technically do not invoke the crossing detail.
 - 5.a Infiltration Rate – The onsite testing revealed quality sands and gravels that exhibit very high infiltration rates. The regulations require us to very conservatively utilize rates of 5 iph in the calculations.
 - 5.b Riprap – The riprap detail depths will be revised as necessary to coincide with the calcs.
 - 5.c Frozen Ground Conditions – Calculations will be accounted for when systems are not functioning at their optimal design.
 - 5.d AOT Review Process – As suggested, we will keep the town reviewers informed of the AOT review progress.
 - 5.e SWPPP – Will be required to be in place and monitored in accordance with EPA regulations as notes on the plans.
 - 5.f Basin Outlet Detail – Will be revised with the calculation to be consistent at Basin 2.
 - 5.g Foundation Drains – Are shown conservatively if required by the foundation engineer's final design. We will follow up on those details.
 - 5.h Underdrain Detail – Is provided conservatively if required by the geotechnical engineer's final design, and/or if required by the Town Engineer. We will follow up on this.
 - 6.a Zoning – Comment verifies use by right in the zone.
 - 6.b Building Height – Has been provided in the architectural drawings and was verified by the Code Enforcement Officer.
 - 6.c Front Setback – Typo will be corrected on Note 4 Sheet 9 (plan information complies).
 - 6.d Density Calcs – Comment verifies buildable lot area calculations.
 - 6.e Wetland Special Exception – Comment verifies ZBA approval in place.
 - 6.f Project Signs – The applicant will provide additional details on the project signs.
 - 6.g Sign Setback – As suggested, we will coordinate with Staff on the applicable setbacks to the signage relative to the future ROW.
 - 6.h Flood Zone – Comment verifies certs that proposed site is not within flood zone.
 - 7.a Stumps/Grindings – We will add a plan note prohibiting stump disposal on site. We will remove the grindings berm detail on Sheet 23 as we intend to favor the Filtrexx system detail on Sheet 24.
 - 7.b EC @ DMH6 – The need for erosion controls outside the limits of construction of the drain line connecting to DMH #6 will be considered with final design.
 - 7.c Snow Storage – There are perimeter areas for snow storage under normal plowing circumstances, and a large snow storage area platform in the rear of the site for accumulations can be moved. See Snow Storage Areas detail on Sheet 29 for additional areas. Ultimately, Sheet 9 Note 6, and the Sheet 29 notes, require offsite removal of excess snow. The site will be required to be managed by a NH Certified Green SnowPro

contractor per the plan notes.

- 7.d Tracking Pads – Are shown on both ends of Friars Drive, and at the site entrance, as would typically be required by the EPA/SWPPP. The SWPPP management will move these pads as road and site construction and stabilization progresses. Part of these pad relocations would indeed involve moving the tracking pad away from Lowell Road adjacency once that entrance area can sufficiently be stabilized and provide protection itself.
- 7.e Erosion Control – As suggested, we will add secondary EC measures around the northeast corner of the work site, including intermediary systems to protect the newly-formed slopes drainage towards the building work zone area, and along entire Lowell Road for interception treatment of off-road sheet drainage onto the work area.
- 7.f Additional EC During Work – Confirms intent to provide additional EC measures as needed and/or as directed by Town during construction. We will add that plan note.
- 7.g EPA/SWPPP – Confirms permit/monitoring requirements as notes on the plans.
- 8.a Landscape Area Calcs – Are shown on Sheet 30 (we will revise the reference note on sheet 2).
- 8.b Lighting Control – Notes will be added to the plans for timer and photocell control.
- 8.c Light Pole / Tree – The plan will be revised to avoid the referenced conflict at that location.
- 8.d Building Lighting – Will be added to the architectural plans (e.g., at canopies, code egress locations, any feature lighting, etc.).
- 8.e Loam Depths – Will be set to a consistent depth (4 and 6 inches are specified depending on application).
- 9. State Permits – NHDES AOT and Sewer permit documentation will be provided (pending).
- 10.a Playground/Garden – Descriptions will be provided by Dakota.
- 10.b Dumpster Enclosure – Detail is provided on Sheet 30.
- 10.c Retaining Wall Shop Drawings – Will be required for review and approval prior to construction, as noted.



FUSS & O'NEILL

May 29, 2019

Mr. Brian Groth
Town Planner
Town of Hudson
12 School Street
Hudson, NH 03051

Re: Town of Hudson Planning Board Review
Friars Court Proposed Site Development Plan
Tax Map 29, Lot 1; Acct. #1350-928
Fuss & O'Neill Reference No. 20030249.1790

Dear Mr. Groth:

Fuss & O'Neill, Inc. has reviewed the first submission of the materials received on May 7, May 13, and May 16, 2019, related to the above-referenced project. Authorization to proceed was received on May 7, 2019. A list of items reviewed is enclosed. The scope of our review is based on the Site Plan Review Codes, Stormwater Codes, Driveway Review Codes, Sewer Use Ordinance 77, Zoning Regulations, and criteria outlined in the CLD Consulting Engineers Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007, September 3, 2008, and October 2015.

We have included a copy of Fuss & O'Neill's evaluation of the checklist for your reference. We note that several items could not be verified by Fuss & O'Neill and require action by the Town.

The project would subdivide an existing vacant 88.866 acre lot into three lots of 74.877, 11.198 and 2.279 acres as depicted on the plans. The project would then develop the 11.198 acre lot (Parcel 209-1-A) into a two building, 81 unit multi-family residential development. Proposed improvements to the site include the construction of a driveway off of Friars Drive, a clubhouse, parking areas, drainage improvements, landscaping, and other associated site improvements. The project also includes proposed off-site improvements, namely the reclaiming and paving of a 600+ foot section of Friars Drive and providing a connection between Executive Drive and Lowell Road.

The following items are noted:

1. Site Plan Review Codes and Administrative Requirements and Definitions

- a. Hudson Regulation (HR) 275-6.I. The scope of this review does not include the adequacy of any fire protection provisions for the site. The applicant should review with the Hudson Fire Department to confirm that proposed measures are acceptable.

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Mr. Brian Groth

May 29, 2019

Page 2 of 7

- b. HR 275-6.T.(1). The applicant has proposed improvements to a portion of Friars Drive by reclaiming the existing pavement and re-paving. As discussed at the meeting on May 7, 2019, the Town Engineer does not know the condition of the existing subbase for this portion of the road and will not accept reclaiming and paving of this road without construction of the subbase to meet Town standards. The applicant should continue to coordinate this effort with the Town Engineer.
- c. HR 275-8.C.(2)(o) and ZO 334-15.A. The applicant has provided parking calculations for the proposed use. The applicant has noted on sheet #2 that a waiver is requested for the minimum number of parking spaces to be provided, with an area reserved for future parking should the Code Enforcement Officer determine additional parking is needed. A copy of the waiver request letter was not included in Fuss & O'Neill's review package.
- d. HR 275-8.C.(5). We note that with the layout of parking spaces at the proposed/future boundary line, vehicles parking in the spaces furthest north may have difficulty backing out of those spaces if there is no additional area provided for turning around. The applicant should review this proposed layout.
- e. HR 275-8.C.(6). The applicant has not proposed any loading spaces for the development.
- f. HR 275-8.C.(6)(d). The applicant has noted that maneuvering areas are sufficient to accommodate UPS and moving box trucks, as well as fire trucks. WB-50 trucks appear to be able to maneuver within the site without conflicting with parking spaces or curbed areas, but WB-67 trucks do not. We also note that the truck circulation plan shows fire truck access through the site. The applicant should confirm with the Hudson Fire Department that the truck shown on the circulation plan is the largest that the Fire Department will use at this site.
- g. HR 275-9.D. The applicant has noted that a Fiscal Impact Study will be provided relative to public school statistics. This study was not included in Fuss & O'Neill's review package.
- h. HR 275-9.F. and 276-11.1.B.(20). The applicant has noted that easements, covenants, deed restrictions and other legal documents will be provided. These documents were not included in Fuss & O'Neill's review package. The applicant did provide an Easement Plan detailing the easement areas within the site.
- i. HR 276-7.B & 276-7.C. The applicant has noted waivers from several Regulations on sheet #2. Formal waiver requests were not included in Fuss & O'Neill's review package. All waivers that are granted by the Planning Board should be noted on the plans.
- j. HR 276-11.1.B.(1). We note that several plan sheets are stamped by a professional engineer but most others do not have a stamp affixed to them. The applicant's engineer should stamp all relevant plan sheets.
- k. HR 276-11.1.B.(5). The approval expiration block is located above the approval block on several plan sheets, not adjacent to the block as required by the Regulation.
- l. HR 276-11.1.B.(6). The Owner's signature is not on the plans.
- m. HR 276-11.1.B.(9). The Land Surveyor's Certification statements on the Existing Conditions plan, Subdivision plan, and Easement plan are not signed and the surveyor's stamp does not appear on those drawings.

Mr. Brian Groth
May 29, 2019
Page 3 of 7

- n. HR 276-11.1.B.(12). The applicant has proposed a portion of the building #1 parking area within the building setback. Also, note #4 on plan sheet #9 shows this setback to be 30 feet where 50 feet is required by Ordinance.
- o. HR 276-11.1.B.(13). The applicant should label all proposed signs within the site (stop sign at Friars Court driveway intersection with Friars Drive is not labelled). The applicant should also provide a traffic sign summary table in the plans detailing sign quantities and sizes.
- p. HR 276-11.1.B.(16). The applicant has not shown all roadways, driveways, travel or parking areas within 200 feet of the tract.
- q. HR 276-11.1.B.(17). We were unable to locate any benchmarks within the plan set. We were also unable to locate a USGS benchmark reference in the plans.
- r. HR 276-11.1.B.(18). The applicant has noted the proposed lot numbers for the subdivided lot, along with acreage for each lot. We note that the total acreage of the three subdivided lots does not equal the total original lot size (88.354 vs. 88.866). The applicant should review these areas and correct.
- s. HR 276-11.1.B.(24)(a). The applicant has not provided any open space calculations within the plans.

2. Driveway Review Codes (HR 275-8.B. (34)/Chapter 193)

- a. HR 193.10.C. The applicant has proposed a short 15' section of double yellow line striping at the entrance/exit to the site. We recommended extending this striping to be able to accommodate more than one car queueing at the stop sign at this intersection.
- b. HR 193.10.C. The applicant has shown the proposed curb at the driveway terminating at the easement line and not extending around the radius to terminate along the roadway as required by Town of Hudson typical detail R-10, a copy of which is included on plan sheet #19.
- c. HR 193.10.E. The applicant has not shown sight distances for the proposed driveway or for the proposed Friars Drive entrance onto Lowell Road. We note that the Friars Drive sight line onto Lowell Road may be partially obstructed by signs proposed for the island. The applicant should evaluate the impacts of these proposed features to sight lines and address as appropriate.

3. Traffic

Fuss & O'Neill has reviewed the Traffic Impact Assessment memorandum prepared by VHB dated April 23, 2019 in support of this development, and has the following comments:

- a. The study properly describes the proposed roadway connections and the existing sight distance condition.
- b. The report uses traffic counts provided by the Town at the Lowell Road/Pelham Road intersection north of the site to determine existing traffic volume conditions near the site.

Mr. Brian Groth
May 29, 2019
Page 4 of 7

Since traffic will be redirected to and from the Executive Drive intersection to the south as a result of the proposed right-turn in/out driveway and the extension of Friars Drive to Executive Drive, it would have been more appropriate to use those intersection counts.

- c. The adjustment factors used to determine the peak month volumes were appropriate for this roadway. It was noted in the report that the traffic volumes are fairly consistent over many hours of the day.
- d. Trip generation estimates were developed based on the 9th edition of the ITE *Trip Generation* publication, while the 10th edition is the current version. Although there may not be substantial differences between the two versions, the more current version should be used. In any event, the trip generation summary in Table 3 is accurate based on the 9th edition.
- e. The report notes that because the site will not generate more than 100 new trips during the peak hour, no analysis is necessary, and comes to the conclusion that the proposed development would 'result in negligible impacts to the adjacent roadway system'. However, the driveway limitations will direct traffic to and from the Executive Drive intersection, including diversions of existing traffic. The report did not examine the distribution of traffic nor the additions/subtractions to various turning movements at Executive Drive as a result of providing a formal extension of Friars Drive to Executive Drive. As such, we do not believe that there is sufficient analysis provided to support the conclusion of no significant impact to adjacent intersections, including Executive Drive.
- f. The right turn in-out driveway is designed to preclude left turn exit and entering maneuvers. While prohibiting left turn exits is reasonable, there is no evaluation of the potential for allowing northbound left turns to enter Friars Drive at this location from the dual use center lane, especially since this roadway will be connected to Executive Drive.

4. Utility Design/Conflicts

- a. HR 275-9.E. and 276-13. The applicant has noted that the contractor shall confirm the depth of utilities in Lowell Road prior to performing directional drilling for the sewer main connection, and has noted that shop drawings are required for the direction drilling with casing. The applicant should forward these shop drawings to the Town for their review and records.
- b. HR 275-9.E. and 276-13. The applicant has revised the sewer and water layouts as requested by the Town Engineer in the meeting held on May 7, 2019. The applicant should confirm with the Town that this layout is acceptable, as at Friars Drive west of the proposed easement area there is a 15' water easement on the south side of the road whereas the applicant is proposing sewer on that side of the road.
- c. HR 275-9.E. and 276-13. The applicant should include a water/sewer crossing detail in the plans which shall be implemented at locations where these utilities cross.

Mr. Brian Groth
May 29, 2019
Page 5 of 7

5. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- a. HR 275-9.A(3). The Alteration of Terrain (AoT) BMP Sheets and HydroCAD analysis illustrate that the Bio-Retention Area utilizes a 5.0 inches per hour rate. The applicant should provide additional data (conversion calculation) to support the use of the infiltration rate. We assume it associated with Env-Wq 1504.14.
- b. HR 290-4.C. We note a rip rap detail shows depths on Detail Sheet 8 that do not coincide with the calculations within the Drainage Analysis. The applicant should coordinate the detail with the dimensions calculated within the Drainage Analysis.
- c. HR 290-5.H. We note the applicants Drainage Report calculations do not account for frozen ground conditions. The applicant should provide additional information on performance of the drainage system during this condition, or request a waiver for this requirement.
- d. HR 290-5.L(1). The applicant should keep the Town informed of all communication with the NHDES in relation to the Alteration of Terrain Permit discussions to ensure NHDES engineering comments do not alter the proposed drainage design/calculations.
- e. HR 290-9.B. The requirement for the preparation of a Stormwater Pollution Prevention Plan (SWPPP) has been noted on the plans.
- f. HR 290-5.L(8). The outlet of Detention Basin 2 within the plan set does not appear to coincide with the Drainage Analysis. The plans illustrate FES-4, while the Drainage Analysis illustrates a 3" vertical orifice. The applicant should review and coordinate the design documents accordingly.
- x. The applicant has shown a foundation drain and noted this as "if required" at each building. The applicant should clarify if these are in fact required for this project.
- x. The applicant has included a detail for underdrain installation. The applicant should clarify the propose location of this drainage feature.

6. Zoning (ZO 334)

- a. ZO 334-20. The subdivided lot where the development is proposed is located entirely within the Business (B) zoning district where multi-family dwellings are permitted.
- b. ZO 334.25. The applicant has not provided architectural drawings with the plan set so we are unable to verify if the height of the proposed structures conforms with the Ordinance.
- c. ZO 334.27. The applicant should correct note #4 on sheet #9 which states the front setback to be 30 feet, where 50 feet is required by the Ordinance.
- d. ZO 334.27. The applicant has provided calculations demonstrating that the proposed subdivided lot complies with 334 Attachment 4 Note #2 for buildable lot area.
- e. ZO 334-35.B.(2)(e) and HR-275-9.G(3). The applicant has shown existing wetlands within the subject lot. The applicant has noted that they received a Wetland Special Exception with the Zoning Board of Adjustment to be able to build the extension of Friars Drive across a jurisdictional wetland.

Mr. Brian Groth

May 29, 2019

Page 6 of 7

- f. ZO 334-58. The applicant has proposed a project sign at the driveway into the development. The applicant has noted that the sign detail provided is more of a place-holder pending final sign design. The applicant should provide details for the construction of the sign to the Town for their permitting and approval.
- g. ZO 334-60.C & 60.D. If the portion of the site along Friars Drive is considered frontage then the sign needs to be a minimum of 25 feet from the Right-of-Way line per section 60.C. The applicant should review the application of this Ordinance with the Town.
- h. ZO 334-83. The applicant has noted on the plans that the subject parcel does not fall within a special flood hazard area.

7. Erosion Control/Wetland Impacts

- a. HR 290-5.K.(16). The applicant has not indicated the proposed method of stump disposal, but has included a detail showing a stump grindings berm. The applicant should show on the plans the proposed location(s) for this berm.
- b. HR 290-5.K.(20). The applicant should review the need for erosion controls outside the limits of construction of the drain line connecting to DMH #6.
- c. HR 290-5.K.(22). The applicant has proposed one snow storage area north of the north parking area. The applicant should review and confirm that this storage area is adequately sized for the anticipated snow clearing volume.
- d. HR 290-5.K.(26). The applicant has proposed a stabilized tracking pad directly abutting Lowell Road. The applicant should consider moving this further back into Friars Drive to avoid traffic conflicts during installation and maintenance of this pad.
- e. HR 290-5.K.(26). The applicant should consider the installation of erosion control measures along the northeast corner of the site near the proposed treeline.
- f. The Town should reserve the right to require additional erosion control measures.
- g. The applicant has noted that EPA/SWPPP permit and monitoring is required.

8. Landscaping (HR 275-8.C.(7) & 276-11.1.B.(20)) and Lighting (HR 276-11.1.B.(14))

- a. HR 275-8.C.(7)(a). The applicant has noted on sheet #2 that calculations for the 10% minimum landscaping area are on the landscape plans. We are unable to locate these calculations.
- b. HR 276-11.1.B.(14). The applicant has not noted the hours of operation for the site lighting. The means for operation (timer, photocell, etc.) should also be noted on the plans.
- c. HR 276-11.1.B.(14). The applicant has proposed a light pole northeast of the clubhouse that appears to conflict with a proposed tree installation. The applicant should review this layout and revise as appropriate.
- d. HR 276-11.1.B.(14). The applicant has noted to refer to the architectural plans for proposed building lighting. Copies of architectural plans were not included in Fuss & O'Neill's review package.

Mr. Brian Groth

May 29, 2019

Page 7 of 7

- e. The applicant has shown loam and seeding at 4" and 6" depths in various details. The applicant should coordinate the plan details.

9. State and Local Permits (HR 275-9.G.)

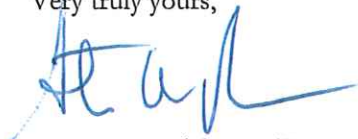
- a. HR 275-9.G. No copies of applicable approvals or permits were provided in the package received for review.
- b. HR 275-9.G. The applicant has noted that a New Hampshire Department of Environmental Services (NHDES) Alteration of Terrain Permit is required. The applicant should forward all relevant AoT Permit documentation to the Town for their records.
- c. HR 275-9.G. The applicant has noted that a Sewer Connection Permit is required for this project.
- d. Additional local permitting may be required.

10. Other

- a. The applicant has not provided any details for construction of any features of the proposed playground or garden plot area.
- b. The applicant has not provided any details for the construction of the dumpster enclosure.
- c. The applicant has noted that shop drawings will be require for the proposed retaining wall. The applicant should forward a copy of those shop drawings, stamped by a professional engineer licensed in New Hampshire, to the Town for their records.

Please feel free to call if you have any questions.

Very truly yours,



Steven W. Reichert, PE



Paul Konieczka, AICP

SWR:PK:mjt

Enclosure

cc: Town of Hudson Engineering Division – File
The Dubay Group, Inc.
84 Range Road
Windham, NH 03087
(603) 458-6462



June 4, 2019

Ref: 52587.00

Mr. Mark Pilotte
Dakota Partners
1264 Main Street
Waltham, MA 02451

Re: Response to Comments
Multi-Unit Housing Development
161 Lowell Road, Hudson, New Hampshire

Mr. Pilotte,

Vanasse Hangen Brustlin, Inc. (VHB) has prepared this letter to respond to comments provided in a May 29, 2019 letter prepared by the Town of Hudson's peer review consultant, Fuss & O'Neill, Inc., on the proposed residential development to be located at 161 Lowell Road (NH3A) in Hudson, New Hampshire. Access to the site is currently provided by way of a full access driveway on Lowell Road. VHB has reviewed the traffic-related comments and suggestions made by Fuss & O'Neill, Inc. (Comments 3a-f). This letter has been prepared to address any of these outstanding concerns (Comments 3b, e, and f).

Comment 3b: *The report uses traffic counts provided by the Town at the Lowell Road/Pelham Road intersection north of the site to determine existing traffic volume conditions near the site. Since traffic will be redirected to and from the Executive Drive intersection to the south as a result of the proposed right-turn in/out driveway and the extension of Friars Drive to Executive Drive, it would have been more appropriate to use those intersection counts.*

Response: Based on coordination efforts with the Hudson Town Engineer, traffic counts at the Lowell Road and Pelham Road intersection were provided to determine traffic volumes adjacent to our site. It should be noted that using the traffic counts along Lowell Road at either the Pelham Road intersection or the Executive Drive intersection are not expected to change the findings of the proposed development (i.e., negligible impacts to the adjacent roadway system).

Comment 3e: The report notes that because the site will not generate more than 100 new trips during the peak hour, no analysis is necessary, and comes to the conclusion that the proposed development would 'result in negligible impacts to the adjacent roadway system'. However, the driveway limitations will direct traffic to and from the Executive Drive intersection, including diversions of existing traffic. The report did not examine the distribution of traffic nor the additions/subtractions to various turning movements at

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Executive Drive as a result of providing a formal extension of Friars Drive to Executive Drive. As such, we do not believe that there is sufficient analysis provided to support the conclusion of no significant impact to adjacent intersections, including Executive Drive.

Response: The proposed right-turn in/right-turn out only site driveway along Lowell Road was developed per discussions with Town representatives and has been reflected within VHB's April 23, 2019 Traffic Impact Assessment memorandum. In addition, VHB has prepared an April 29, 2019 Supplemental Traffic Assessment letter to determine the traffic impacts of the proposed development assuming left turns entering the proposed site driveway from Lowell Road northbound are allowed by using the existing center-turn lane (i.e., lefts in, rights in, and rights out). The Supplemental Traffic Assessment is enclosed with this response to comments letter.

Under the first driveway configuration scenario (right-turn in/right-turn out only driveway), the left turns from Lowell Road northbound onto Executive Drive (i.e., entering site trips) are estimated to increase by 3, 14, and 10 vehicles per hour during the weekday morning, weekday evening, and Saturday midday peak hours, respectively. These minimal increases represent approximately 1 additional vehicle every 4.3 to 20 minutes during the peak hours.

Under both driveway configuration scenarios, the left turns from Executive Drive onto Lowell Road northbound (i.e., exiting site trips destined for Lowell Road north) are estimated to increase by 7, 9, and 10 vehicles per hour during the weekday morning, weekday evening, and Saturday midday peak hours, respectively. These minimal increases represent approximately 1 additional vehicle every 6 to 8.6 minutes during the peak hours.

These traffic volume increases at the Lowell Road and Executive Drive intersection would be negligible and could be considered to be associated with normal traffic fluctuations (i.e., day of the week, seasonal, or general historical growth). As such, no significant impact is anticipated at the Lowell Road and Executive Drive under either of the site driveway configuration scenarios.

Comment 3f: The right turn in-out driveway is designed to preclude left turn exit and entering maneuvers. While prohibiting left turn exits is reasonable, there is no evaluation of the potential for allowing northbound left turns to enter Friars Drive at this location from the dual use center lane, especially since this roadway will be connected to Executive Drive.

Response: As identified in Response to Comment 3e, VHB prepared an April 29, 2019 Supplemental Traffic Assessment letter to summarize the anticipated traffic impacts should the proposed right-turn in/right-turn out only driveway be modified to also allow Lowell Road northbound vehicles to turn left into the site by utilizing the existing center turn lane. The findings show that the presence of the center-turn lane and the low volume of entering site trips traveling northbound along Lowell Road would be expected to result in negligible impacts to traffic operations should the proposed right-turn in/right-turn out only driveway be modified to also allow Lowell Road northbound vehicles to turn left into the site.

Mr. Mark Pilotte
Ref: 52587.00
June 4, 2019
Page 3



In summary, VHB has prepared responses to the outstanding traffic-related comments and find that proposed development would have negligible traffic impacts on the adjacent roadway system. The traffic impacts have been evaluated in accordance with applicable local, state, and national guidelines, standards, and regulations. VHB appreciates the Town and Fuss & O'Neill, Inc.'s time and efforts in reviewing the proposed development. Please contact me should you have any questions or require additional information.

Sincerely,

Vanasse Hangen Brustlin, Inc.

A handwritten signature in black ink that reads "Jason R. Plourde". The signature is written in a cursive, flowing style.

Jason R. Plourde, P.E., PTP

Transportation Systems Team Leader
JPlourde@vhb.com

Enc. April 29, 2019 Supplemental Traffic Assessment



ATTACHMENT:

Supplemental Traffic Assessment



April 29, 2019

Ref: 52587.00

Mr. Mark Pilotte
Dakota Partners
1264 Main Street
Waltham, MA 02451

Re: Supplemental Traffic Assessment
Multi-Unit Housing Development
161 Lowell Road, Hudson, New Hampshire

Mr. Pilotte,

Vanasse Hangen Brustlin, Inc. (VHB) has prepared this letter to summarize the anticipated transportation impacts associated with a potential modification to the proposed access associated with the residential development to be located at 161 Lowell Road (NH3A) in Hudson, New Hampshire. Access to the site is currently provided by way of a full access driveway on Lowell Road. As proposed, the driveway would be modified to provide right-turns in/right-turns out only. This supplemental assessment has been conducted to summarize the anticipated traffic impacts should the proposed right-turn in/right-turn out only driveway be modified to also allow Lowell Road northbound vehicles to turn left into the site.

Mainline Left-Turn Movement Impacts

The subject site is located along the west side of Lowell Road. Adjacent to the site, Lowell Road provides a northbound travel lane and a southbound travel lane with a center-turn lane (Two-Way Left-Turn Lane) striped to separate directional flow. The center-turn lane provides a striped median area to remove mainline left-turning vehicles from the through lanes in order to improve traffic flow and roadway efficiency. Left-turning vehicles traveling northbound and southbound can use this center-turn lane to wait for gaps in the opposing traffic stream before turning left onto side streets or driveways.

As detailed within the April 26, 2019 Traffic Impact Assessment, the proposed residential development is estimated to generate 30 vehicular trips (8 entering and 22 exiting) during the weekday morning commuter peak hour, and 36 vehicular trips (22 entering and 14 exiting) during the weekday afternoon commuter peak hour. These site trips have been distributed along the adjacent roadway system based on existing travel patterns along the Lowell Road corridor adjacent to the site. During the weekday morning peak hour, 32% of the site trips were distributed to and from Lowell Road south and 68% were distributed to and from Lowell Road north. During the weekday afternoon peak hour, 62% of the estimated site trips were distributed to and from Lowell Road south and 38% were distributed to and from Lowell Road north.

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Mr. Mark Pilotte
Ref: 52587.00
April 29, 2019
Page 2



Based on these methodologies, 3 vehicles would turn left into the site via Lowell Road northbound during the weekday morning peak hour and 14 vehicles would turn left into the site during the weekday afternoon peak hour. These site trips equate to 1 vehicle per 20 minutes during the weekday morning peak hour and 1 vehicle per 4.3 minutes during the weekday afternoon peak hour. These minimal traffic-volume increases combined with the presence of the center-turn lane along Lowell Road would be expected to result in negligible impacts.

Mainline Right-Turn Treatment Evaluation

A right-turn lane warrant evaluation was conducted along Lowell Road southbound at the proposed site driveway in accordance with National Cooperative Highway Research Program (NCHRP) Report 457.¹ Based on NCHRP guidelines, the peak-hour traffic volumes on an average day (i.e., weekday morning and weekday afternoon commuter peak hours) would suggest that an exclusive right-turn lane is not justified to be provided along Lowell Road southbound at the proposed site driveway.

In accordance with New Hampshire Department of Transportation (NHDOT) practice, a taper or deceleration area is not generally considered when a right-turn lane is not warranted. The times when a taper may be applicable is when accommodating a design vehicle turning right from the mainline onto a side street or driveway so as not to cross into the opposing traffic stream.

Conclusion

In summary, the presence of the center-turn lane and the low volume of entering site trips traveling northbound along Lowell Road would be expected to result in negligible impacts to traffic operations should the proposed right-turn in/right-turn out only driveway be modified to also allow Lowell Road northbound vehicles to turn left into the site. In addition, the low volume of entering site trips traveling southbound along Lowell Road would not meet the requirements of right-turn treatment beyond accommodating vehicular movements turning into the site.

Sincerely,

Vanasse Hangen Brustlin, Inc.

A handwritten signature in black ink that reads "Jason R. Plourde". The signature is written in a cursive, flowing style.

Jason R. Plourde, P.E., PTP

Transportation Systems Team Leader
JPlourde@vhb.com

¹ Bonneson, James A. and Michael D. Fontaine. *Evaluating Intersection Improvements: An Engineering Study Guide*. National Cooperative Highway Research Program Report 457. Washington, DC: Transportation Research Board, 2001.



ATTACHMENTS:

*Build Traffic-Volume Networks
NCHRP Right-Turn Lane Warrant Calculations*



Project Multi-Unit Housing
Location Hudson, NH
Calculated by JRP
Checked by
Title Build Networks

Project # 52587.00
Sheet 1 of 1
Date 4/29/19
Date

Computations

RIGHT-TURN IN / RIGHT-TURN OUT	
<p>Diagram showing traffic flow for Right-Turn In / Right-Turn Out during Weekday AM. A vertical line separates the left and right sides. On the left, a horizontal arrow labeled '578' points right. On the right, a horizontal arrow labeled '1202' points left. Above the vertical line, a '15' is written with a downward arrow. To the right of the vertical line, a '5' is written with an upward arrow, and a '5' is written with a leftward arrow.</p>	<p>Diagram showing traffic flow for Right-Turn In / Right-Turn Out during Weekday PM. A vertical line separates the left and right sides. On the left, a horizontal arrow labeled '1326' points right. On the right, a horizontal arrow labeled '795' points left. Above the vertical line, a '5' is written with a downward arrow. To the right of the vertical line, an '8' is written with an upward arrow, and a '8' is written with a leftward arrow.</p>
Weekday AM	Weekday PM
NO LEFTS OUT	
<p>Diagram showing traffic flow for No Lefts Out during Weekday AM. A vertical line separates the left and right sides. On the left, a horizontal arrow labeled '578' points right. Above the vertical line, a '15' is written with a downward arrow. To the right of the vertical line, a '5' is written with an upward arrow, and a '5' is written with a leftward arrow. Below the horizontal arrow, a '3' is written with an upward arrow.</p>	<p>Diagram showing traffic flow for No Lefts Out during Weekday PM. A vertical line separates the left and right sides. On the left, a horizontal arrow labeled '1326' points right. Above the vertical line, a '5' is written with a downward arrow. To the right of the vertical line, an '8' is written with an upward arrow, and a '8' is written with a leftward arrow. Below the horizontal arrow, a '14' is written with an upward arrow.</p>
Weekday AM	Weekday PM

Figure 2 - 6. Guideline for determining the need for a major-road right-turn bay at a two-way stop-controlled intersection.

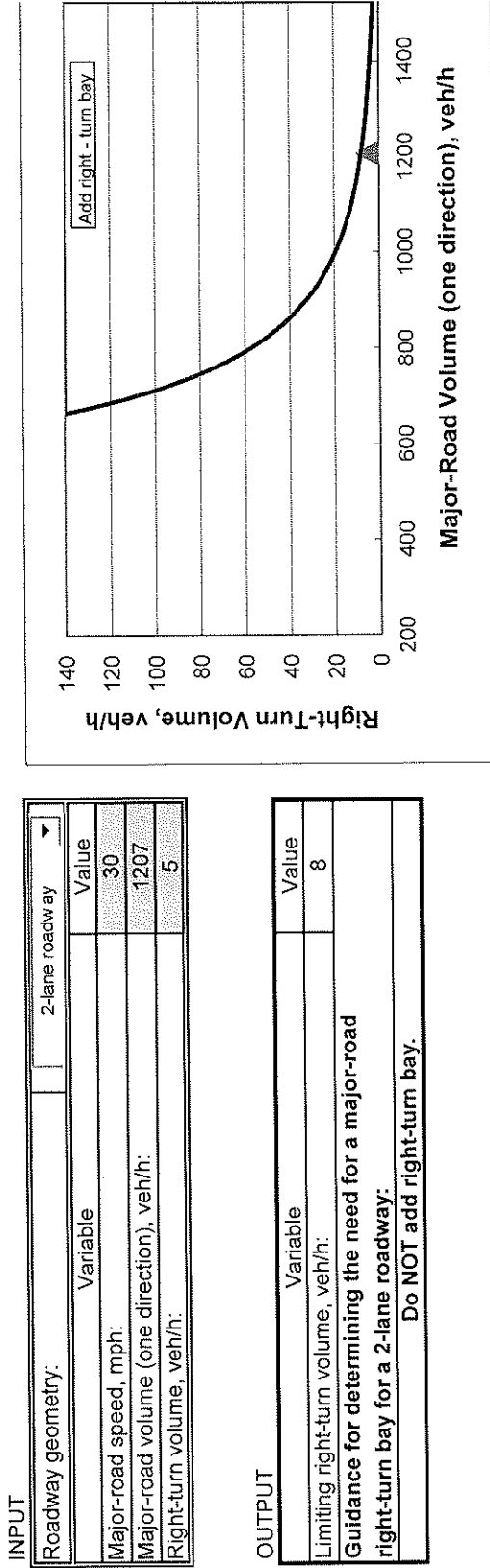
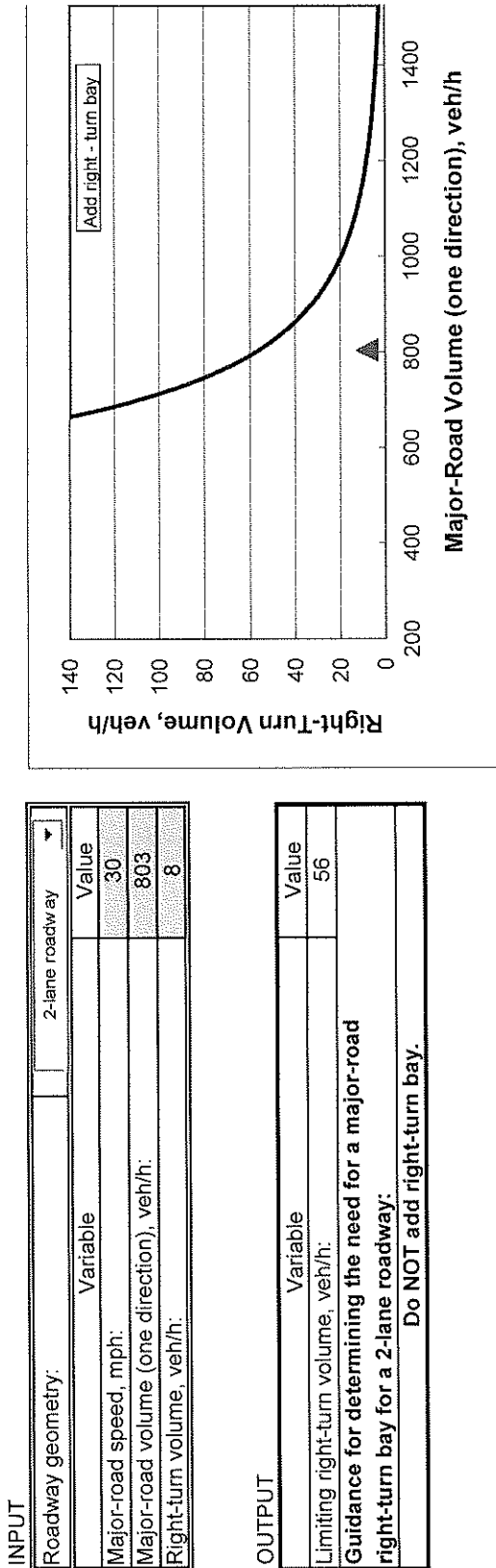
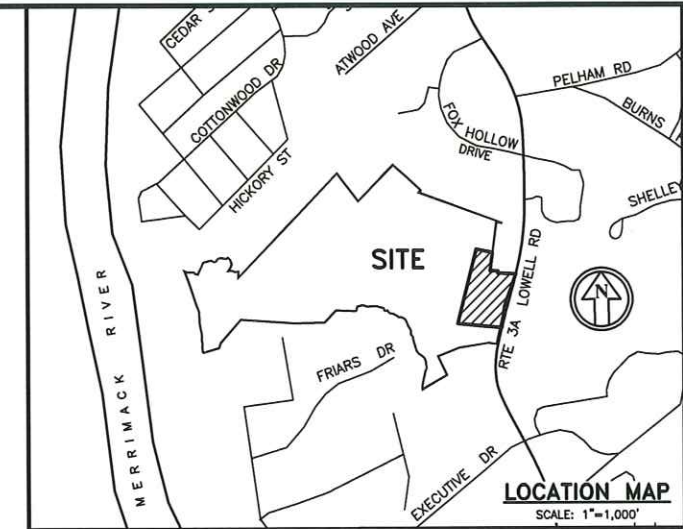


Figure 2 - 6. Guideline for determining the need for a major-road right-turn bay at a two-way stop-controlled intersection.



FRIARS COURT SITE PLAN



The Dubay Group, Inc.
84 Range Road
Windham, NH 03087
603-458-6462

Engineers
Planners
Surveyors
TheDubayGroup.com



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JUN 07 2019
TOWN OF HUDSON
PLANNING DEPARTMENT



REVISIONS:			
REV.	DATE	COMMENT	BY
1	5/6/19	MISC. REVS	WA
2	5/14/19	REV. PER DRAINAGE GRADING MODIF.	WA
3	5/21/19	MISC. SEWER PER NHDES	SK
4	6/5/19	REV. PER TOWN COMMENTS	SK

DRAWN BY: WA
CHECKED BY: KRD
DATE: APRIL 29, 2019
SCALE: NONE
FILE: 357-COVER
DEED REF: -

SHEET INDEX

- 1 TITLE SHEET
- 2 PROJECT COMPLIANCE NOTES
- 3 TRACT OVERVIEW PLAN
- 4 SITE SPECIFIC SOILS
- 5 EXISTING CONDITIONS PLAN
- 6-7 SUBDIVISION & EASEMENT PLANS
- 8 TRACT ACCESS & DENSITY SUMMARY PLAN
- 9 SITE LAYOUT PLAN
- 10-11 LANDSCAPE PLAN & DETAILS
- 12 GRADING & DRAINAGE PLAN
- 13 UTILITY PLAN
- 14 LIGHTING PLAN
- 15 EROSION CONTROL PLAN
- 16 TRUCK CIRCULATION PLAN
- 17-29 SITE DETAILS - 1 THRU 13
- 30 IMPERVIOUS AREA SUMMARY
- 31 SEWER PROFILES
- 32-33 PRE/POST DEVELOPMENT WATERSHED PLAN

FRIARS ROAD RECONSTRUCTION PLANS

- R1 ROADWAY RECONSTRUCTION PLAN
- R2 ROAD RECONSTRUCTION PROFILE & TYPICAL SECTION
- R3 ROADWAY EROSION CONTROL PLAN
- R4-R7 ROAD UPGRADE DETAILS 1-4

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

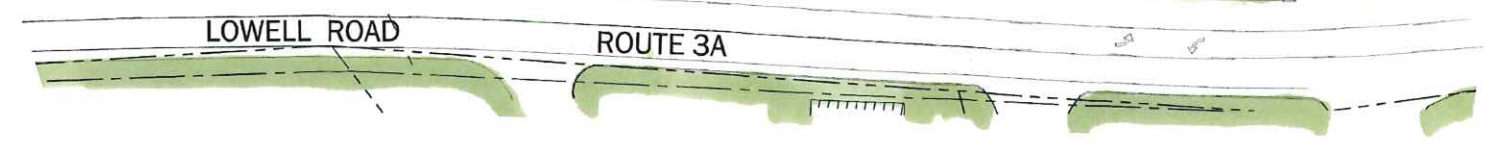
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____

SECRETARY _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



PROJECT:
**FRIARS COURT
MAP 209 LOT 1**
161 LOWELL ROAD
HUDSON, NH

FOR _____

**DAKOTA
PARTNERS, INC.**
1264 MAIN STREET
WALTHAM, MA 02451

SHEET TITLE:
TITLE SHEET

PROJECT #357 SHEET 1 of 33

N:\PROJECTS\357-Dubay\Lowell Rd Hudson\DWG\CURRENT\357-COVER.dwg

N:\PROJECTS\357-Obispo Lowell Rd. Hudson\DWG\CURRENT\357-NOTES.dwg

Zoning Ordinance Compliance Notes

- I-334-2.G Zoning Purposes**
Includes "Facilitate the adequate provision of...housing opportunities for all family types ad income levels". This project facilitates these needs.
- III-334-14 Building Height**
38 FT (max) - Refer to architectural plans.
"measured from the average elevation of the finished grade within five feet of the structure to the highest point of the roof, excluding accessory, unoccupied protuberances"
- III-334-15.A Parking**
(1) Required on parcel of use served (complies)
(2) Multifamily - Provided per Site Plan requirements
(3) Setbacks - (n/a as the parcel is not located in a residential zone).
- III-334-16.C(2)(d) Minimum Multifamily Unit Size**
Minimum required building size 750 SF per unit. Refer to architectural plan data.
- III-334-16.C(4) Planning Board Site Plan Approval**
Multifamily projects required Planning Board site plan approval. The Planning Board has jurisdiction, prior to the issuance of a building permit, over the site location, parking facilities and recreational facilities of all multifamily dwellings in all zones.
- III-334-16.1 Multifamily Site Plan Approval**
Defined as any structures containing more than two dwelling units, whether or not such development includes a subdivision or re-subdivision of the site. No building permits shall be issued until site plan approval has been obtained from the Town of Hudson Planning Board and is recorded with the HCRD.
- IV-334-18.D Zoning (Front of Site within 500 FT to Route 3A Centerline) - Business (B)**
Established to provide for the development of general wholesale and retail commercial uses, services, offices uses, industry, warehousing, multifamily dwellings and customary accessory uses and structures. (Multifamily use is allowed by right).
- IV-334-18.F Zoning (Rear of Site) - General (G)**
Includes all areas not specifically designated as being within an R-1, R-2, TR, B or I District. The district is designed to permit a wide diversity of land uses. Most uses permitted in the other five districts are permitted in the G District. The G District is intended to allow natural constraints, such as infrastructure development and market forces, to determine the most appropriate use of land. It is also intended that the G District will eventually be absorbed by the expansion of other existing districts or replaced by newly created districts.
- V-334-21.A.3 Permitted Principal Uses Table**
Residential Uses - Multifamily Dwelling
(P1) - Permitted Use in B Zone when serviced by Town water & Sewer.
- V-334-22 Permitted Accessory Uses Table**
Traditional secondary accessory uses and structures, including garages, parking areas, recreational facilities, outdoor inground swimming pools and other customary uses and structures. Health, fitness or athletic club. All (P) Permitted Uses by right in both the B and G Zones.
- VI-334-23 Special Exceptions - General Requirements**
Unless otherwise specified, the Zoning Board of Adjustment shall permit a use by special exception, subject to the following conditions:
A. The use requested is listed as permitted by special exception in the Table of Permitted Principal or Accessory Uses for the district in which the use is requested or is so similar to other uses permitted by special exception in the relevant district that prohibition of the proposed use ould not have been intended. (complies)
B. The proposed use meets all the applicable requirements established in this chapter. (complies)
C. The proposed use is consistent with the purpose and intent of the district in which it is proposed to be located. (complies for improvement of existing access)
D. The proposed use is compatible with the character of the surrounding neighborhood. (complies - existing Friars Drive improvement)
E. Nonresidential principal uses proposed to be located in residential districts must take primary access from arterial or collector roads. (not applicable)
- VII-334-27 Dimensional Requirements Table (minimums)**
Lot Area (with swr/wtr) B Zone Note 2: Multifamily 53,560 square feet of buildable lot area for the building of 3 attached dwelling units of a multifamily complex, with each additional dwelling unit requiring a minimum of 5,000 SF of additional buildable lot area.
Refer density calculations depicted in plans.
G Zone: 43,560 SF = 1.00 AC
Lot Frontage 150 LF (min) (B & G Zones) - complies with frontages along Lowell Road and Friars Drive Rights of Ways
Building Setbacks F/S/R 50/15/15 FT (Arterial Roads)
- V-334-(27.1).B Minimum Buildable Lot Area**
Shall not contain wetlands, as defined by the Ordinance, shall be contiguous dry land and shall contain no slopes in excess of 25%.
Refer density calculations in plans (complies).
- V-334-(27.1).D Frontage**
Shall be measured in a continuous line along the sideline of a Class V or better street between the points of intersection of the side lot lines with the street. If a lot has frontage on more than one street, the frontage on one street only may be used to satisfy the minimum lot frontage.

- V-334-(27.2) Lot Requirements for Subdividing**
All lots shall meet the minimum lot area, minimum lot frontage, and building setback requirements provided in § 334-27, Table of Minimum Dimensional Requirements. The minimum lot area shall be contiguous land and shall not be separated by a wetland, a waterway, or a right-of-way. The minimum lot area shall not contain wetland, as defined by the Hudson Zoning Ordinance, and shall contain no slopes in excess of 25%. (complies).
- IX-334-35.B Wetland Conservation District - Permitted Uses by ZBA Special Exception**
Required for a specific area of 50-foot upland buffer which is located within the existing Friars Drive roadway which is to be improved/reconstructed. No buffers are proposed to be disturbed in association with the site plan work.
(1) Refer to conditions in the ZBA application filing (a) through (e) (see Section 23 above) that are in compliance, with input including concom and planning board)
(2) Allowed uses include drainage, utilities, access ways, buffer grading related thereto, etc.
- XII-334-60 Signage**
C. Front setback - Not less than 50% of the front building setback.
D. Side/Rear setback - Not less than 100% of the associated building setbacks.
J. E911 - 4 inch B/W lettering for street address required.
Refer to ordinances/regulations for sign sizing/design which shall be in compliance in order to issue a sign permit.
- XIV Impact Fees**
(To Be Determined as required)
- XVI Flood Hazard Areas**
Per FEMA Map 33011C0652E dated 4-18-2011, 100-YR flood Zone along Merrimack River ELEV 112.0. None of the proposed work is located within or near the Flood Zone. The distance to the Merrimack River from the limit of road reconstruction work and proposed site parcel is approximately 2,200 feet and 2,600 feet, respectively.

Site Plan Regulations Compliance Notes

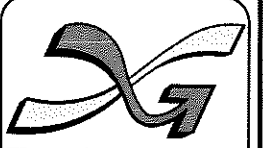
- II-275-8.C Parking**
(2)(o) Residential Units - 2 spaces per unit. Plans depict 1.5 spaces per unit proposed, and also depict 2.0 spaces per unit to show compliance. A waiver is requested for 1.5 with the 2.0 depicted as "banked" loamed/seeded which could be invoked at any point in the future as determined by the Code Enforcement Officer if a demonstrated need is obvious.
(3) Spaces - 96 units x 2 spaces per unit = 192 spaces required (min). @1.5 factor, 144 spaces are required (see waiver language above).
(4) Dimensions - 10 x 20 FT
(5)(a) Aisles - 24 FT (min) @ 90-degree spaces two way
(6)(d) Loading Maneuvering Areas - Sufficient to accommodate vehicles (UPS and moving box trucks as well as Fire Trucks)
(7)(a) Interior Area of parking lot (spaces and drive aisles) for landscaping (10% min) - see sheet 30 for calculations.
(7)(c) Shade Trees: 1:1600 SF pavement or 1:5 parking spaces (greater of) - see landscape plan.
(7)(d) Shrubs - 1:200 SF pavement or 1:1.6 parking spaces (greater of) - see landscape plan.
(8) Screening - required between parking or loading areas and, if present, an abutting residential zone. Screening may be required between abutting nonresidential sites. Where screening is required, it shall provide a reasonable effective visual buffer by:
(8)(a) Use of existing vegetation and terrain where possible
(8)(b) Use of new plantings, grade separations, fences, etc.
(9) Parking shall be on same lot as use served.
(10) Entrance design and construction shall conform with the requirements of Chapter 193 driveways except that site plan approval shall constitute the issuance of a driveway Permit.
(11) ADA per federal regulations - at 192 spaces, 6 spaces to be ADA. Provide 2 additional at club house additional parking area, provide ADA compliant path of travel between buildings and club house and between all ADA parking and entrances/exits.
- II-275-9.A Stormwater Management**
(1) No stormwater runoff in excess of rates existing prior to new construction shall be allowed to be discharged onto a public way or into a drainage system unless there is sufficient capacity to handle the additional runoff. All drainage shall be designed to achieve a zero increase in runoff for both peak and volume where practicable, except where the off-site drainage system has been designed to accommodate the site drainage.
(4a) 10-YR event for closed drainage systems and roadside ditches.
(4b) 25-YR event for culverts, major swales and detention ponds.
- II-275-9.B Traffic Study - to be provided**
- II-275-9.D Fiscal Impact Study - to be provided relative to public school statistics**
- II-275-9.E Utility Plan - provided**
- II-275-9.F Easements, Covenants, Deed Restrictions, Legal Docs - to be provided**
- II-275-9.G Permits as Applicable**
(1) Sewer - building connections
(3) Wetlands Ordinance Special Exception - for Friars Drive reconstruction

Driveway Regulations

- 193-10.G Limitations - One driveway maximum per parcel is allowed.
- 193-10.H Location - Not allowed in side or rear setback areas, unless a shared access is required by Planning Board.

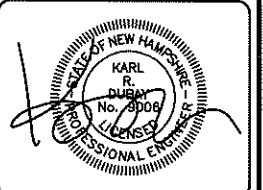
Subdivision Regulations

- III-289-16 Shared Access Roads - May be required depending on the overall buildout planning provisions.
- III-289-17.C Sideline Angle at ROW - 45 degrees minimum required.
- III-289-18 Streets - Access has been master planned for full development, see plans.
- III-289-21 Utility Easements - Provided as needed, min width 15 FT (20 FT for drainage public watercourses).



The Dubay Group, Inc.
84 Range Road
Windham, NH 03087
603-458-6462

Engineers
Planners
Surveyors
TheDubayGroup.com



REVISIONS:			
REV#	DATE	COMMENT	BY
4	6/5/19	REV. PER TOWN COMMENTS	SK

DRAWN BY: SKJ
CHECKED BY: KRD
DATE: APRIL 29, 2019
SCALE: NONE
FILE: 357-NOTES
DEED REF: -

PROJECT:
**FRIARS COURT
MAP 209 LOT 1**
161 LOWELL ROAD
HUDSON, NH

FOR _____

**DAKOTA
PARTNERS, INC.**
1264 MAIN STREET
WALTHAM, MA 02451

SHEET TITLE:
**PROJECT
COMPLIANCE
NOTES**

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN

SECRETARY

SIGNATURE DATE:

SIGNATURE DATE:

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The Dubay Group, Inc.

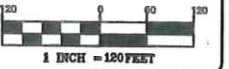
84 Range Road
Windham, NH 03087
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REV.	DATE	COMMENT	BY
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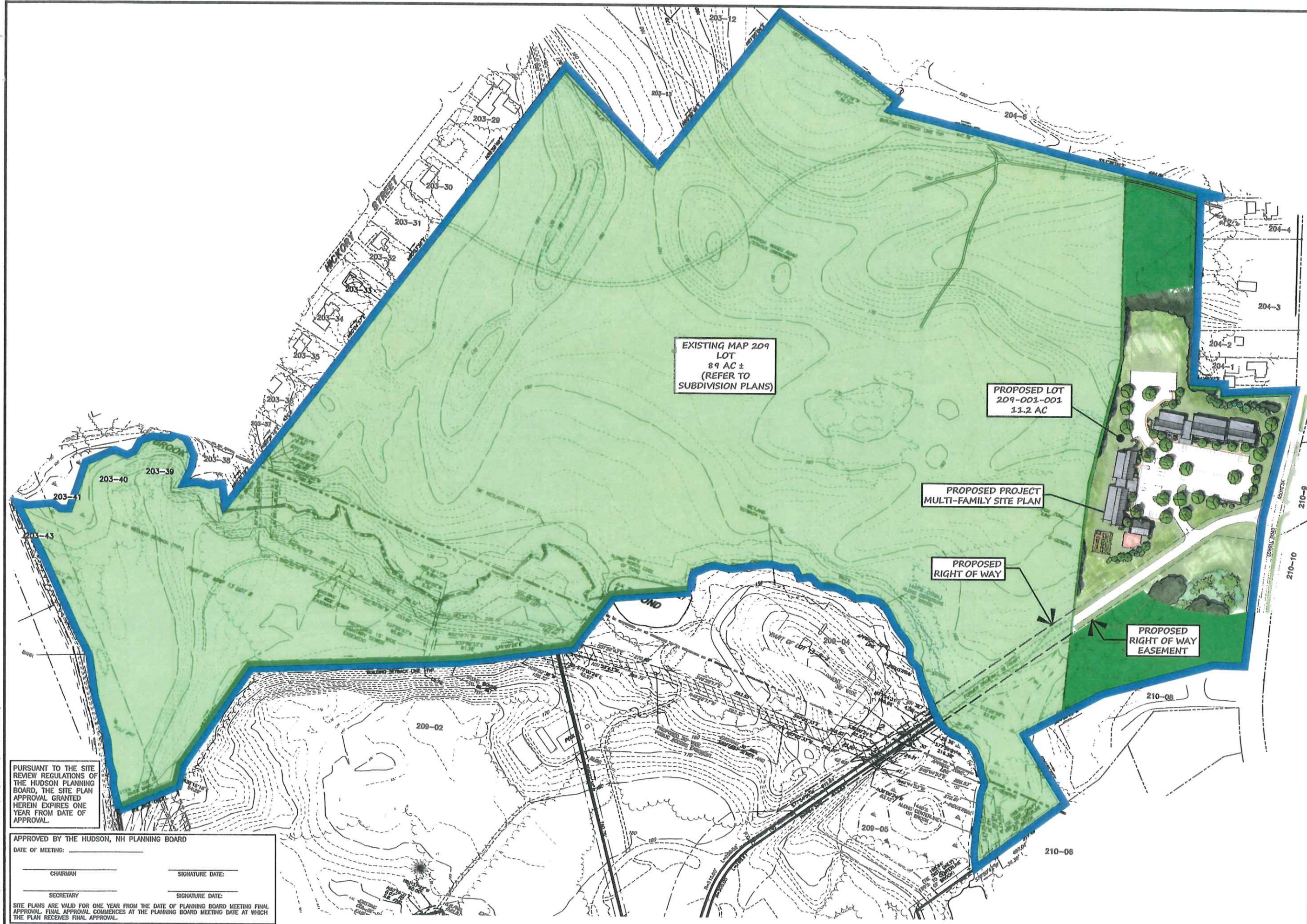
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 SCALE: 1" = 120'
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 DEED REF: -

PROJECT:
**FRIARS COURT
 MAP 209 LOT 1**
 161 LOWELL ROAD
 HUDSON, NH

FOR

**DAKOTA
 PARTNERS, INC.**
 1264 MAIN STREET
 WALTHAM, MA 02451

SHEET TITLE:
**TRACT
 OVERVIEW
 PLAN**



EXISTING MAP 209
 LOT
 89 AC ±
 (REFER TO
 SUBDIVISION PLANS)

PROPOSED LOT
 209-001-001
 11.2 AC

PROPOSED PROJECT
 MULTI-FAMILY SITE PLAN

PROPOSED
 RIGHT OF WAY

PROPOSED
 RIGHT OF WAY
 EASEMENT

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

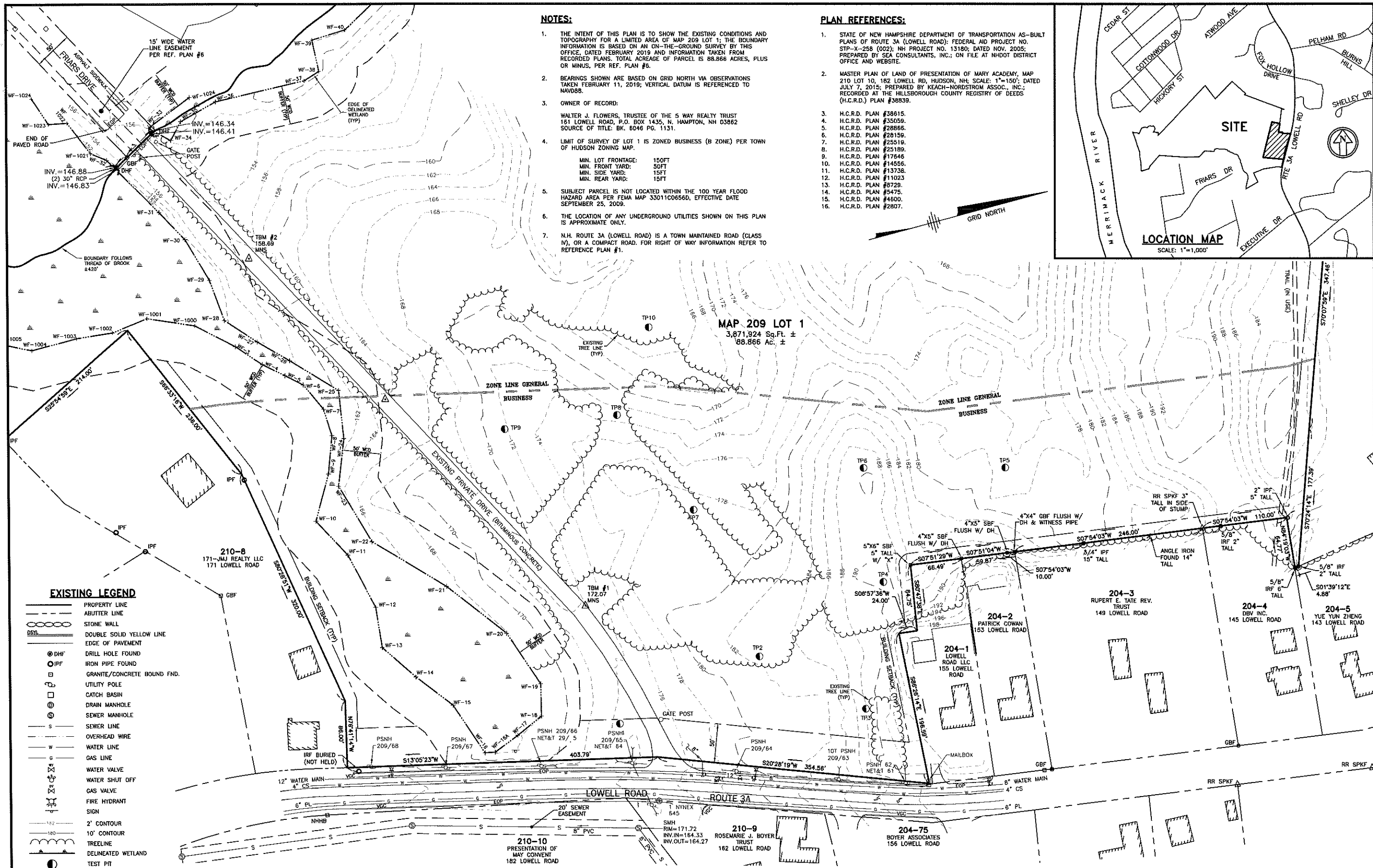
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SECRETARY _____ SIGNATURE DATE: _____

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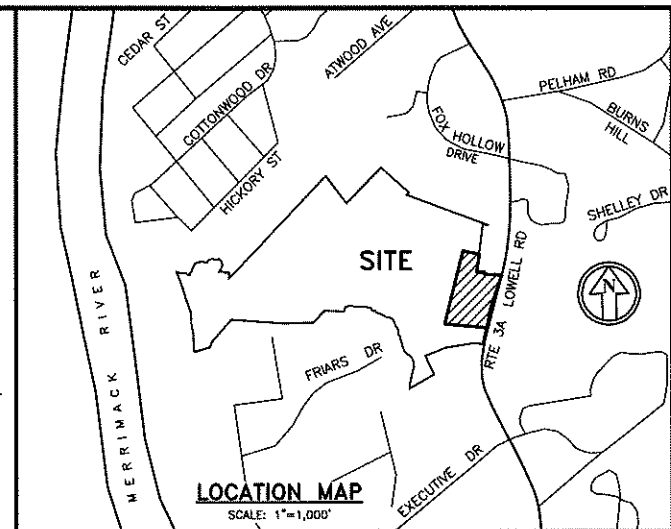


NOTES:

1. THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS AND TOPOGRAPHY FOR A LIMITED AREA OF MAP 209 LOT 1; THE BOUNDARY INFORMATION IS BASED ON AN ON-THE-GROUND SURVEY BY THIS OFFICE, DATED FEBRUARY 2019 AND INFORMATION TAKEN FROM RECORDED PLANS. TOTAL ACREAGE OF PARCEL IS 88.866 ACRES, PLUS OR MINUS, PER REF. PLAN #6.
2. BEARINGS SHOWN ARE BASED ON GRID NORTH VIA OBSERVATIONS TAKEN FEBRUARY 11, 2019; VERTICAL DATUM IS REFERENCED TO NAVD83.
3. OWNER OF RECORD:
WALTER J. FLOWERS, TRUSTEE OF THE 5 WAY REALTY TRUST
161 LOWELL ROAD, P.O. BOX 1435, N. HAMPTON, NH 03862
SOURCE OF TITLE: BK. 6046 PG. 1131.
4. LIMIT OF SURVEY OF LOT 1 IS ZONED BUSINESS (B ZONE) PER TOWN OF HUDSON ZONING MAP.
MIN. LOT FRONTAGE: 150FT
MIN. FRONT YARD: 50FT
MIN. SIDE YARD: 15FT
MIN. REAR YARD: 15FT
5. SUBJECT PARCEL IS NOT LOCATED WITHIN THE 100 YEAR FLOOD HAZARD AREA PER FEMA MAP 33011C0656D, EFFECTIVE DATE SEPTEMBER 25, 2009.
6. THE LOCATION OF ANY UNDERGROUND UTILITIES SHOWN ON THIS PLAN IS APPROXIMATE ONLY.
7. N.H. ROUTE 3A (LOWELL ROAD) IS A TOWN MAINTAINED ROAD (CLASS IV), OR A COMPACT ROAD. FOR RIGHT OF WAY INFORMATION REFER TO REFERENCE PLAN #1.

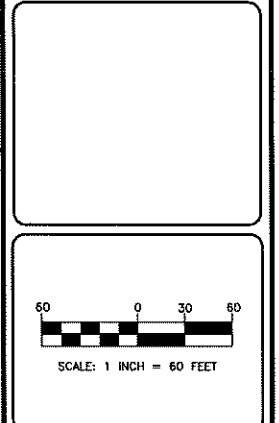
PLAN REFERENCES:

1. STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION AS-BUILT PLANS OF ROUTE 3A (LOWELL ROAD); FEDERAL AID PROJECT NO. STP-X-258 (002); NH PROJECT NO. 13180; DATED NOV. 2005; PREPARED BY SEA CONSULTANTS, INC.; ON FILE AT NHDOT DISTRICT OFFICE AND WEBSITE.
2. MASTER PLAN OF LAND OF PRESENTATION OF MARY ACADEMY, MAP 210 LOT 10, 182 LOWELL RD, HUDSON, NH; SCALE: 1"=150'; DATED JULY 7, 2015; PREPARED BY KEACH-NORDSTROM ASSOC., INC.; RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS (H.C.R.D.) PLAN #38839.
3. H.C.R.D. PLAN #38615.
4. H.C.R.D. PLAN #35059.
5. H.C.R.D. PLAN #28866.
6. H.C.R.D. PLAN #28159.
7. H.C.R.D. PLAN #25519.
8. H.C.R.D. PLAN #25189.
9. H.C.R.D. PLAN #17646.
10. H.C.R.D. PLAN #14556.
11. H.C.R.D. PLAN #13738.
12. H.C.R.D. PLAN #11023.
13. H.C.R.D. PLAN #8728.
14. H.C.R.D. PLAN #5475.
15. H.C.R.D. PLAN #4600.
16. H.C.R.D. PLAN #2807.



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Windham, NH 03087
603-458-6462

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Planners
Surveyors
TheDubayGroup.com



REVISIONS:

REV.	DATE	COMMENT	BY
4	6/5/19	REV. PER TOWN COMMENTS	SK

DRAWN BY: MNW
CHECKED BY: TWS
DATE: APRIL 29, 2019
SCALE: 1"=60'
FILE: 357ws
DEED REF: BK. 6046 PG. 1131

PROJECT:
**FRIARS COURT
MAP 209 LOT 1**
161 LOWELL ROAD
HUDSON, NH

FOR

**DAKOTA
PARTNERS, INC.**
1264 MAIN STREET
WALTHAM, MA 02451

SHEET TITLE:
**EXISTING
CONDITIONS
PLAN**

PROJECT #357 SHEET 5 of 33

EXISTING LEGEND

	PROPERTY LINE
	ABUTTER LINE
	STONE WALL
	EDGE OF PAVEMENT
	DRILL HOLE FOUND
	IRON PIPE FOUND
	GRANITE/CONCRETE BOUND FND.
	UTILITY POLE
	CATCH BASIN
	DRAIN MANHOLE
	SEWER MANHOLE
	SEWER LINE
	OVERHEAD WIRE
	WATER LINE
	GAS LINE
	WATER VALVE
	WATER SHUT OFF
	GAS VALVE
	FIRE HYDRANT
	SIGN
	2' CONTOUR
	10' CONTOUR
	TREELINE
	DELINEATED WETLAND
	TEST PIT

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

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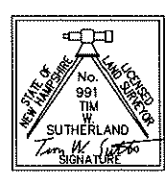
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WETLAND NOTES

1. WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN MARCH 2019, AND LOCATED BY THIS OFFICE IN MARCH 2019.
2. WETLAND DELINEATION WAS PERFORMED TO THE STANDARDS OF THE CORPUS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, (JANUARY, 1987).
3. DOMINANT HYDRIC SOIL CONDITIONS WITHIN THE WETLANDS WERE IDENTIFIED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE CRITERIA OF FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, 2004.
4. DOMINANCE OF WETLAND VEGETATION WAS ASSESSED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: 1988 NORTHEAST (REGION 1) (PORTER B. REED, JR.).



LAND SURVEYORS CERTIFICATION:

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND IN FEBRUARY, 2019 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

Tim W. Sutherland
TIMOTHY W. SUTHERLAND, LLS #991

6/5/19
DATE



The Dubay Group, Inc.

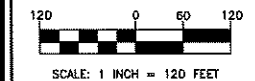
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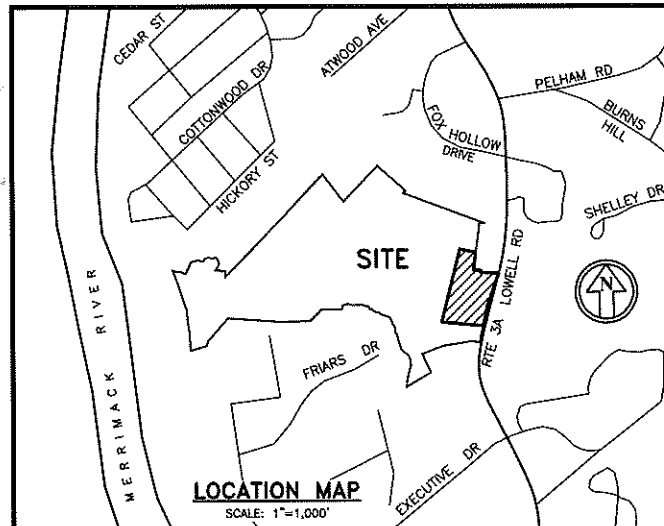
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 DATE: APRIL 29, 2019
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PROJECT:
FRIARS COURT
MAP 209 LOT 1
 161 LOWELL ROAD
 HUDSON, NH

FOR
DAKOTA PARTNERS, INC.
 1264 MAIN STREET
 WALTHAM, MA 02451

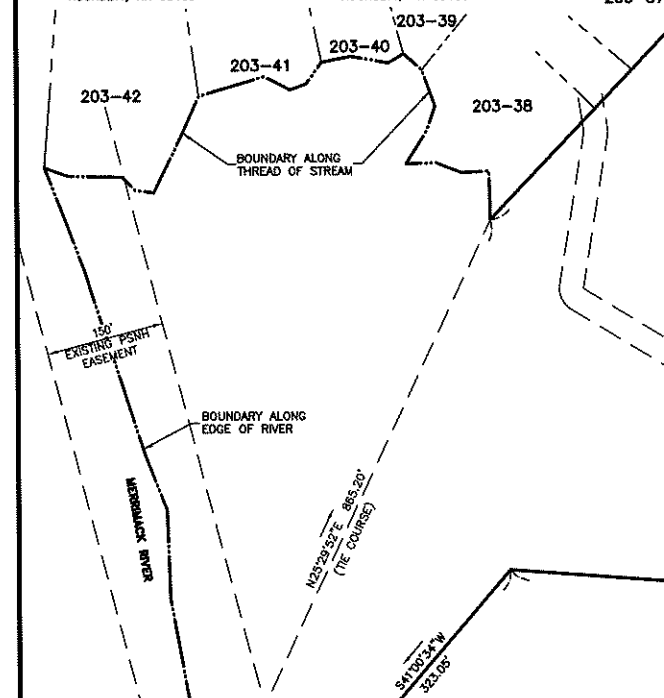
SHEET TITLE:
SUBDIVISION PLAN

PROJECT #357 SHEET 6 of 33



ABUTTER LIST:

MAP/LOT	ABUTTER
6-64	JUAN M. & ANN M. GRANA, 18 HIGHLAND ST. HOOKSETT, NH 03106
6-65	DARYL R. & JANET Y. GOULD, 1 PRSECOTT HEIGHTS ROAD HOOKSETT, NH 03106
6-66	THOMAS D. & SUZANNE M. BOWEN, 26 HIGHLAND ST. HOOKSETT, NH 03106
6-67	BENOIT NOEL, 28 HIGHLAND ST. HOOKSETT, NH 03106
6-68	RAYMOND B. & LINDA M. ZALINSKIE, 30 HIGHLAND ST. HOOKSETT, NH 03106
6-69	ALVIN B. & PAMELA J. GARLAND, 46 GRANITE ST. HOOKSETT, NH 03106
6-69	MICHAEL S. & MELUSSA S. BALL, 6 BERT ST. HOOKSETT, NH 03106
6-100	JUSTIN W. BERUBE, 10 BERT ST. HOOKSETT, NH 03106
6-101	DEREK R. & KERRI L. BEDROSIAN, 10 BERT ST. HOOKSETT, NH 03106
6-102	JOANNE W. STONE, 18 BERT ST. HOOKSETT, NH 03106
6-103	ROSS REYNOLDS, JR, 22 BERT ST. HOOKSETT, NH 03106
6-104	FRENCH REV. TRUST, 26 BERT ST. HOOKSETT, NH 03106
6-105	DAVID J. & JANET M. CHAMPAGNE, 30 BERT ST. HOOKSETT, NH 03106
6-106	VEILLEUX FAMILY TRUST, 12430 COMMUNITY DR. BONITA SPRINGS, FL 34135
6-107	RICHARD E. & PATRICIA ZIEMBA, 38 BERT ST. HOOKSETT, NH 03106
6-108	ROBIN M. LOPEZ, 42 BERT ST. HOOKSETT, NH 03106
6-109	MAURICE & SYLVIE BEAUCHESE, 46 BERT ST. HOOKSETT, NH 03106
6-110	ALLEN W. & JACQUELINE L. NOEL, 15 OTTERRSON ST. HOOKSETT, NH 03106
6-111	JOSHUA F. & JENNIFER D. HADLEY, 13 BERNICE ST. HOOKSETT, NH 03106
6-112	ROBERT G. & MARY L. FOWLER, 14 BERNICE ST. HOOKSETT, NH 03106



MAP 209 LOT 1
 3,871,924 Sq. Ft. ±
 88,866 Ac. ±

PROPOSED PARCEL 209-001-000
 3,262,415 Sq. Ft. ±
 74,877 Ac. ±

PROPOSED PARCEL 209-001-001
 487,801 Sq. Ft. ±
 11.198 Ac. ±

L=64.42'
 R=500.00'
 D=7°22'56"

L=187.74'
 R=1182.25'
 D=9°01'20"

NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF MAP 209 LOT 1; THE BOUNDARY INFORMATION IS BASED ON AN ON-THE-GROUND SURVEY BY THIS OFFICE, DATED FEBRUARY 2019 AND INFORMATION TAKEN FROM RECORDED PLANS. TOTAL ACREAGE OF PARCEL IS 88.866 ACRES, PLUS OR MINUS, PER REF. PLAN #6.
- BEARINGS SHOWN ARE BASED ON GRID NORTH VIA OBSERVATIONS TAKEN FEBRUARY 11, 2019; VERTICAL DATUM IS REFERENCED TO NAVD83.
- OWNER OF RECORD:
 WALTER J. FLOWERS, TRUSTEE OF THE 5 WAY REALTY TRUST
 161 LOWELL ROAD, P.O. BOX 1435, N. HAMPTON, NH 03862
 SOURCE OF TITLE: BK. 6046 PG. 1131.
- LIMIT OF SURVEY OF LOT 1 IS ZONED BUSINESS (B ZONE) PER TOWN OF HUDSON ZONING MAP.
 MIN. LOT FRONTAGE: 150FT
 MIN. FRONT YARD: 50FT
 MIN. SIDE YARD: 15FT
 MIN. REAR YARD: 15FT
- SUBJECT PARCEL IS NOT LOCATED WITHIN THE 100 YEAR FLOOD HAZARD AREA PER FEMA MAP 33011C0658D, EFFECTIVE DATE SEPTEMBER 25, 2009.
- THE LOCATION OF ANY UNDERGROUND UTILITIES SHOWN ON THIS PLAN IS APPROXIMATE ONLY.
- N.H. ROUTE 3A (LOWELL ROAD) IS A TOWN MAINTAINED ROAD (CLASS N), OR A COMPACT ROAD. FOR RIGHT OF WAY INFORMATION REFER TO REFERENCE PLAN #1.

PLAN REFERENCES:

- STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION AS-BUILT PLANS OF ROUTE 3A (LOWELL ROAD); FEDERAL AID PROJECT NO. STP-X-258 (002); NH PROJECT NO. 13180; DATED NOV. 2005; PREPARED BY SEA CONSULTANTS, INC.; ON FILE AT NHDOT DISTRICT OFFICE AND WEBSITE.
- MASTER PLAN OF LAND OF PRESENTATION OF MARY ACADEMY, MAP 210 LOT 10, 182 LOWELL RD, HUDSON, NH; SCALE: 1"=150'; DATED JULY 7, 2015; PREPARED BY KEACH-NORDSTROM ASSOC., INC.; RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS (H.C.R.D.) PLAN #38839.
- H.C.R.D. PLAN #38615.
- H.C.R.D. PLAN #35059.
- H.C.R.D. PLAN #28866.
- H.C.R.D. PLAN #28159.
- H.C.R.D. PLAN #25519.
- H.C.R.D. PLAN #25189.
- H.C.R.D. PLAN #17546.
- H.C.R.D. PLAN #14556.
- H.C.R.D. PLAN #13738.
- H.C.R.D. PLAN #11023.
- H.C.R.D. PLAN #8729.
- H.C.R.D. PLAN #5475.
- H.C.R.D. PLAN #4600.
- H.C.R.D. PLAN #2807.

LAND SURVEYORS CERTIFICATION:
 I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND IN FEBRUARY, 2019 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

Tom W. Sutherland
 TIMOTHY W. SUTHERLAND, LLS #991
 DATE: 6/5/19

LEGEND

- DRILL HOLE
- IRON PIPE OR IRON ROD
- BOUND
- GRANITE BOUND TO BE SET
- REBAR TO BE SET
- WELL
- ABUTTER LINE
- CURB
- EDGE OF PAVEMENT
- STONEWALL
- DELINEATED WETLAND
- W.W.P.D.
- BUILDING SETBACK

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

"SUBDIVISIONS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39."

APPROVED BY THE HUDSON, NH PLANNING BOARD

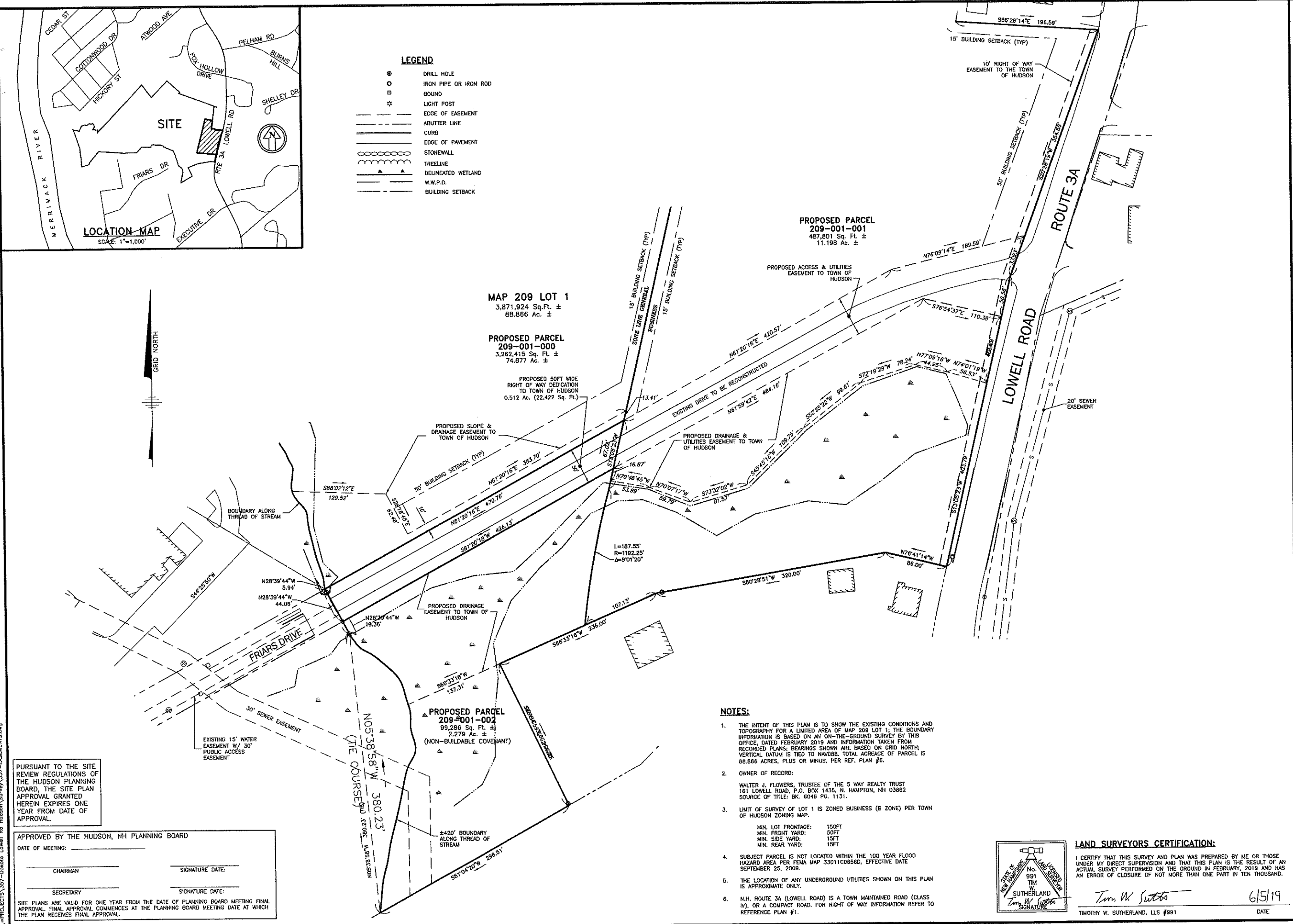
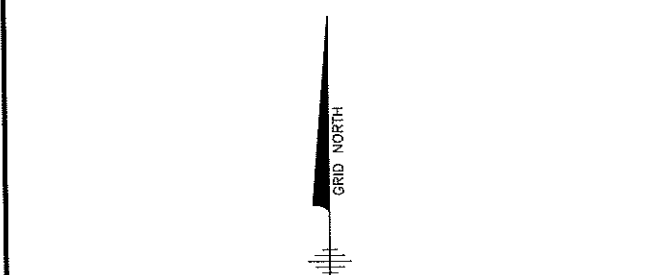
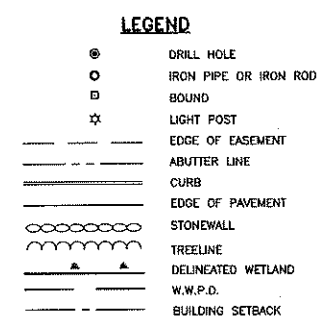
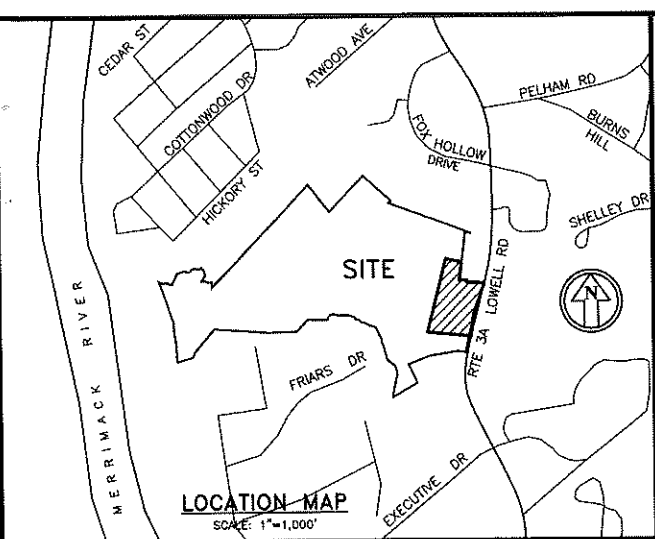
DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

N:\PROJECTS\357-Dakota Lowell Rd Hudson\Survey\357sub.dwg



MAP 209 LOT 1
 3,871,924 Sq. Ft. ±
 88.866 Ac. ±

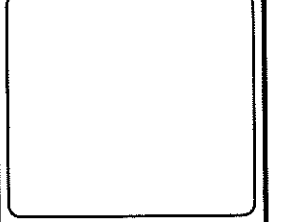
PROPOSED PARCEL 209-001-001
 487,801 Sq. Ft. ±
 11.198 Ac. ±

PROPOSED PARCEL 209-001-002
 99,286 Sq. Ft. ±
 2.279 Ac. ±
 (NON-BUILDABLE COVENANT)

The Dubay Group, Inc.
 84 Range Road
 Windham, NH 03087
 603-458-6462

Engineers
 Planners
 Surveyors

TheDubayGroup.com



REVISIONS:

REV.	DATE	COMMENT	BY
1	5/6/19	MISC. REVS	WA
4	6/9/19	REV. PER TOWN COMMENTS	SK

REV.	DATE	COMMENT	BY

DRAWN BY: MNW
 CHECKED BY: TWS
 DATE: APRIL 29, 2019
 SCALE: 1"=60'
 FILE: 357-EASEMENTS
 DEED REF: -

PROJECT:

**FRIARS COURT
 MAP 209 LOT 1**
 161 LOWELL ROAD
 HUDSON, NH

FOR

**DAKOTA
 PARTNERS, INC.**
 1264 MAIN STREET
 WALTHAM, MA 02451

SHEET TITLE:

**EASEMENT
 PLAN**

PROJECT #357 SHEET 7 of 33

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

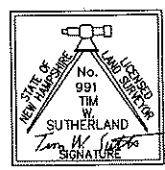
DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

- NOTES:**
- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS AND TOPOGRAPHY FOR A LIMITED AREA OF MAP 209 LOT 1; THE BOUNDARY INFORMATION IS BASED ON AN ON-THE-GROUND SURVEY BY THIS OFFICE, DATED FEBRUARY 2019 AND INFORMATION TAKEN FROM RECORDED PLANS; BEARINGS SHOWN ARE BASED ON GRID NORTH; VERTICAL DATUM IS TIED TO NAVD83. TOTAL ACRES OF PARCEL IS 88.866 ACRES, PLUS OR MINUS, PER REF. PLAN #6.
 - OWNER OF RECORD:
 WALTER J. FLOWERS, TRUSTEE OF THE 5 WAY REALTY TRUST
 161 LOWELL ROAD, P.O. BOX 1435, N. HAMPTON, NH 03862
 SOURCE OF TITLE: BK. 6046 PG. 1131.
 - LIMIT OF SURVEY OF LOT 1 IS ZONED BUSINESS (B ZONE) PER TOWN OF HUDSON ZONING MAP.
 MIN. LOT FRONTAGE: 150FT
 MIN. FRONT YARD: 50FT
 MIN. SIDE YARD: 15FT
 MIN. REAR YARD: 15FT
 - SUBJECT PARCEL IS NOT LOCATED WITHIN THE 100 YEAR FLOOD HAZARD AREA PER FEMA MAP 33011C06560, EFFECTIVE DATE SEPTEMBER 25, 2008.
 - THE LOCATION OF ANY UNDERGROUND UTILITIES SHOWN ON THIS PLAN IS APPROXIMATE ONLY.
 - N.H. ROUTE 3A (LOWELL ROAD) IS A TOWN MAINTAINED ROAD (CLASS IV), OR A COMPACT ROAD. FOR RIGHT OF WAY INFORMATION REFER TO REFERENCE PLAN #1.



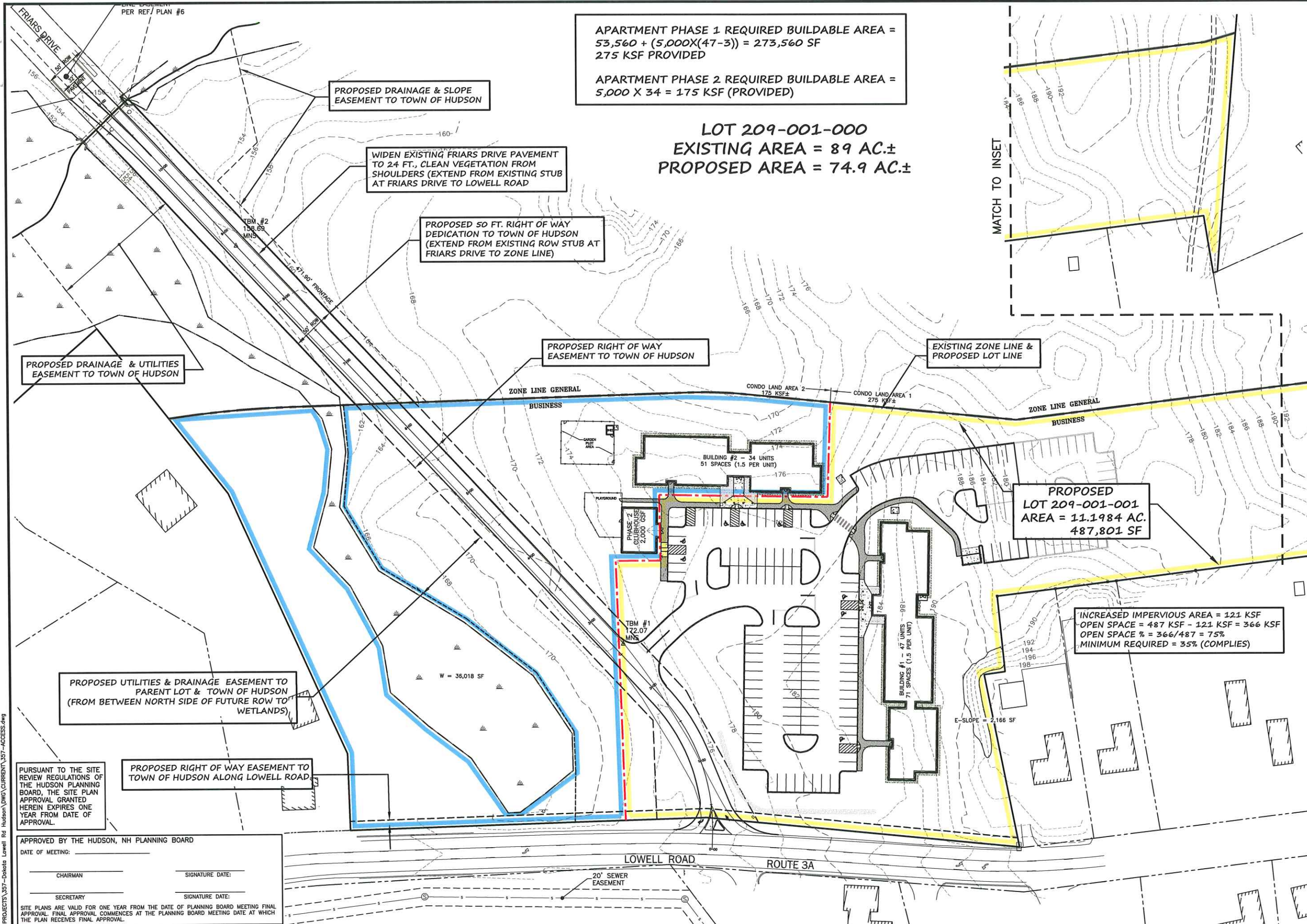
LAND SURVEYORS CERTIFICATION:

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND IN FEBRUARY, 2019 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

Tim W. Sutherland
 TIMOTHY W. SUTHERLAND, LLS #991

6/5/19
 DATE

K:\PROJECTS\357-Dakota Lowell Rd Hudson\Survey\357-EASEMENTS.dwg



APARTMENT PHASE 1 REQUIRED BUILDABLE AREA =
 $53,560 + (5,000 \times (47-3)) = 273,560$ SF
 275 KSF PROVIDED

APARTMENT PHASE 2 REQUIRED BUILDABLE AREA =
 $5,000 \times 34 = 175$ KSF (PROVIDED)

LOT 209-001-000
 EXISTING AREA = 89 AC.±
 PROPOSED AREA = 74.9 AC.±

MATCH TO INSET

The Dubay Group, Inc.
 84 Range Road
 Windham, NH 03087
 603-458-6462

Engineers
 Planners
 Surveyors
 TheDubayGroup.com

1 INCH = 60 FEET

REVISIONS:			
REV#	DATE	COMMENT	BY
1	5/6/19	MISC. REVS	WA
4	6/5/19	REV. PER TOWN COMMENTS	SK

DRAWN BY: WA
 CHECKED BY: KRD
 DATE: APRIL 29, 2019
 SCALE: 1"=50'
 FILE: 357-ACCESS
 DEED REF: -

PROJECT:
FRIARS COURT
MAP 209 LOT 1
 161 LOWELL ROAD
 HUDSON, NH

FOR

DAKOTA PARTNERS, INC.
 1264 MAIN STREET
 WALTHAM, MA 02451

SHEET TITLE:
TRACT ACCESS & DENSITY SUMMARY PLAN

N:\PROJECTS\357-Dakota Lowell Rd Hudson.DWG\CURRENT\357-ACCESS.dwg

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PROPOSED UTILITIES & DRAINAGE EASEMENT TO PARENT LOT & TOWN OF HUDSON (FROM BETWEEN NORTH SIDE OF FUTURE ROW TO WETLANDS)

PROPOSED RIGHT OF WAY EASEMENT TO TOWN OF HUDSON ALONG LOWELL ROAD

PROPOSED DRAINAGE & UTILITIES EASEMENT TO TOWN OF HUDSON

PROPOSED DRAINAGE & SLOPE EASEMENT TO TOWN OF HUDSON

WIDEN EXISTING FRIARS DRIVE PAVEMENT TO 24 FT., CLEAN VEGETATION FROM SHOULDERS (EXTEND FROM EXISTING STUB AT FRIARS DRIVE TO LOWELL ROAD)

PROPOSED 50 FT. RIGHT OF WAY DEDICATION TO TOWN OF HUDSON (EXTEND FROM EXISTING ROW STUB AT FRIARS DRIVE TO ZONE LINE)

PROPOSED RIGHT OF WAY EASEMENT TO TOWN OF HUDSON

EXISTING ZONE LINE & PROPOSED LOT LINE

INCREASED IMPERVIOUS AREA = 121 KSF
 OPEN SPACE = 487 KSF - 121 KSF = 366 KSF
 OPEN SPACE % = 366/487 = 75%
 MINIMUM REQUIRED = 35% (COMPLIES)

LOWELL ROAD ROUTE 3A

20' SEWER EASEMENT

CONDO LAND AREA 2 175 KSF±

CONDO LAND AREA 1 275 KSF±

ZONE LINE GENERAL BUSINESS

ZONE LINE GENERAL BUSINESS

PHASE 2E 2,000 GSF

BUILDING #2 - 34 UNITS 51 SPACES (1.5 PER UNIT)

PHASE 1E 47 UNITS 71 SPACES (1.5 PER UNIT)

TBM #1 172.07 MNS

TBM #2 158.69 MNS

W = 36,018 SF

E-SLOPE = 2,166 SF

PLAYGROUND

SAVED PARKING

CONDO LAND AREA 2 175 KSF±

CONDO LAND AREA 1 275 KSF±

ZONE LINE GENERAL BUSINESS

PHASE 2E 2,000 GSF

BUILDING #2 - 34 UNITS 51 SPACES (1.5 PER UNIT)

PHASE 1E 47 UNITS 71 SPACES (1.5 PER UNIT)

TBM #1 172.07 MNS

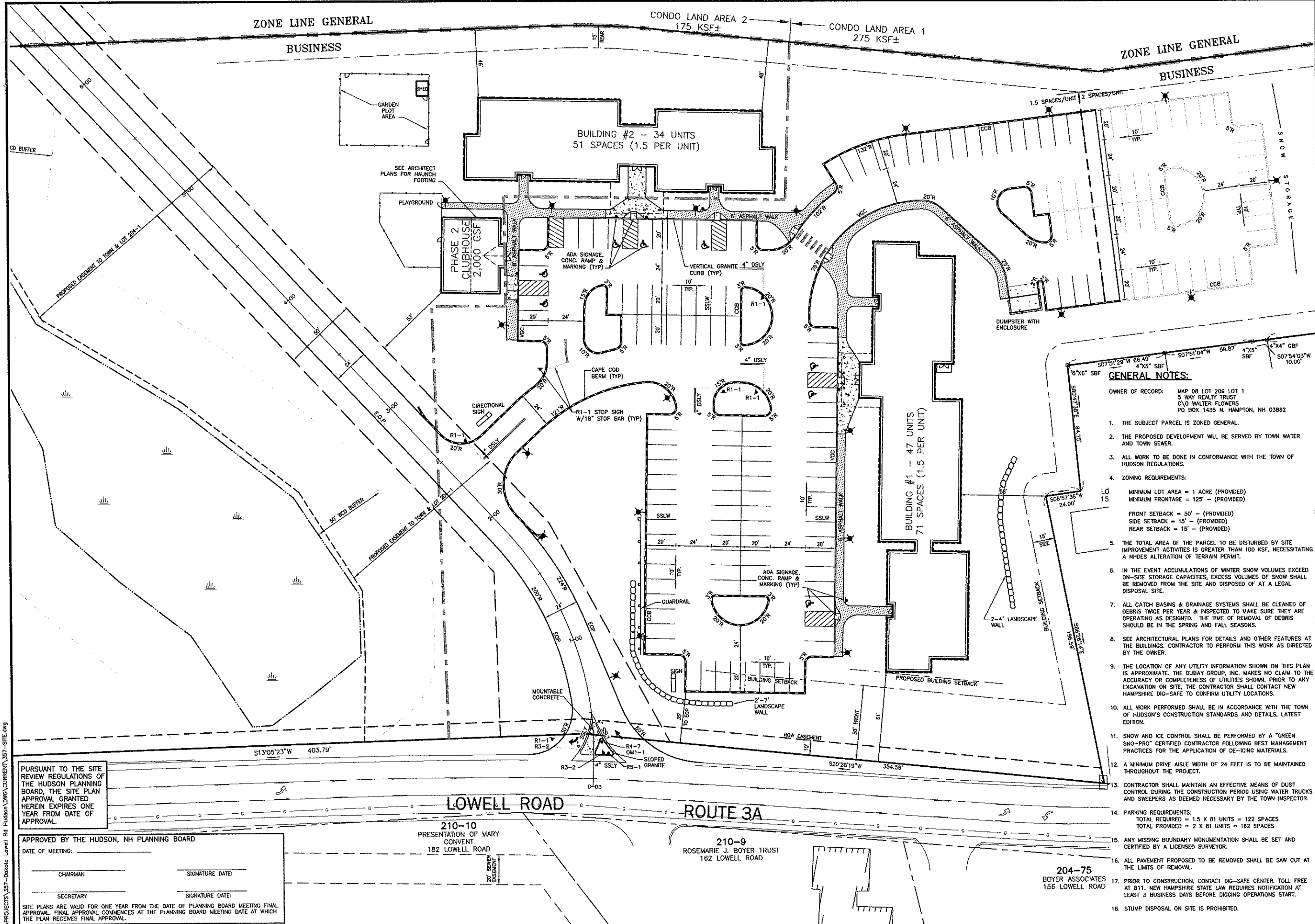
TBM #2 158.69 MNS

W = 36,018 SF

E-SLOPE = 2,166 SF

PLAYGROUND

SAVED PARKING



The Dubay Group, Inc.

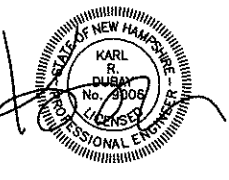
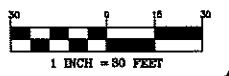
84 Range Road
Windham, NH 03087
603-458-6462

Engineers

Planners

Surveyors

TheDubayGroup.com



GENERAL NOTES:

OWNER OF RECORD: MAP 08 LOT 209 LOT 1
5 WAY REALTY TRUST
C/O WALTER FLOWERS
PO BOX 1435 N. HAMPTON, NH 03862

1. THE SUBJECT PARCEL IS ZONED GENERAL.
2. THE PROPOSED DEVELOPMENT WILL BE SERVED BY TOWN WATER AND TOWN SEWER.
3. ALL WORK TO BE DONE IN CONFORMANCE WITH THE TOWN OF HUDSON REGULATIONS.
4. ZONING REQUIREMENTS:
MINIMUM LOT AREA = 1 ACRE (PROVIDED)
MINIMUM FRONTAGE = 125' - (PROVIDED)
FRONT SETBACK = 50' - (PROVIDED)
SIDE SETBACK = 15' - (PROVIDED)
REAR SETBACK = 15' - (PROVIDED)
5. THE TOTAL AREA OF THE PARCEL TO BE DISTURBED BY SITE IMPROVEMENT ACTIVITIES IS GREATER THAN 100 KSF, NECESSITATING A NHDES ALTERATION OF TERRAIN PERMIT.
6. IN THE EVENT ACCUMULATIONS OF WINTER SNOW VOLUMES EXCEED ON-SITE STORAGE CAPACITIES, EXCESS VOLUMES OF SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A LEGAL DISPOSAL SITE.
7. ALL CATCH BASINS & DRAINAGE SYSTEMS SHALL BE CLEANED OF DEBRIS TWICE PER YEAR & INSPECTED TO MAKE SURE THEY ARE OPERATING AS DESIGNED. THE TIME OF REMOVAL OF DEBRIS SHOULD BE IN THE SPRING AND FALL SEASONS.
8. SEE ARCHITECTURAL PLANS FOR DETAILS AND OTHER FEATURES AT THE BUILDINGS. CONTRACTOR TO PERFORM THIS WORK AS DIRECTED BY THE OWNER.
9. THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. THE DUBAY GROUP, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT NEW HAMPSHIRE DIG-SAFE TO CONFIRM UTILITY LOCATIONS.
10. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE TOWN OF HUDSON'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
11. SNOW AND ICE CONTROL SHALL BE PERFORMED BY A "GREEN SNO-PRO" CERTIFIED CONTRACTOR FOLLOWING BEST MANAGEMENT PRACTICES FOR THE APPLICATION OF DE-ICING MATERIALS.
12. A MINIMUM DRIVE AISLE WIDTH OF 24 FEET IS TO BE MAINTAINED THROUGHOUT THE PROJECT.
13. CONTRACTOR SHALL MAINTAIN AN EFFECTIVE MEANS OF DUST CONTROL DURING THE CONSTRUCTION PERIOD USING WATER TRUCKS AND SWEEPERS AS DEEMED NECESSARY BY THE TOWN INSPECTOR.
14. PARKING REQUIREMENTS:
TOTAL REQUIRED = 1.5 X 81 UNITS = 122 SPACES
TOTAL PROVIDED = 2 X 81 UNITS = 162 SPACES
15. ANY MISSING BOUNDARY MONUMENTATION SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR.
16. ALL PAVEMENT PROPOSED TO BE REMOVED SHALL BE SAW CUT AT THE LIMITS OF REMOVAL.
17. PRIOR TO CONSTRUCTION, CONTACT DIG-SAFE. TOLL FREE AT 811. NEW HAMPSHIRE STATE LAW REQUIRES NOTIFICATION AT LEAST 3 BUSINESS DAYS BEFORE DIGGING OPERATIONS START.
18. STUMP DISPOSAL ON SITE IS PROHIBITED.

REVISIONS:			
REV#	DATE	COMMENT	BY
1	5/6/19	MISC. REVS	WA
4	8/5/19	REV. PER TOWN COMMENTS	SK

DRAWN BY: WA
CHECKED BY: KR
DATE: APRIL 25, 2019
SCALE: 1"=30'
FILE: 357-SITE
DEED REF: -

PROJECT:
**FRIARS COURT
MAP 209 LOT 1**
161 LOWELL ROAD
HUDSON, NH

FOR
**DAKOTA
PARTNERS, INC.**
1264 MAIN STREET
WALTHAM, MA 02451

SHEET TITLE:
**SITE
LAYOUT
PLAN**

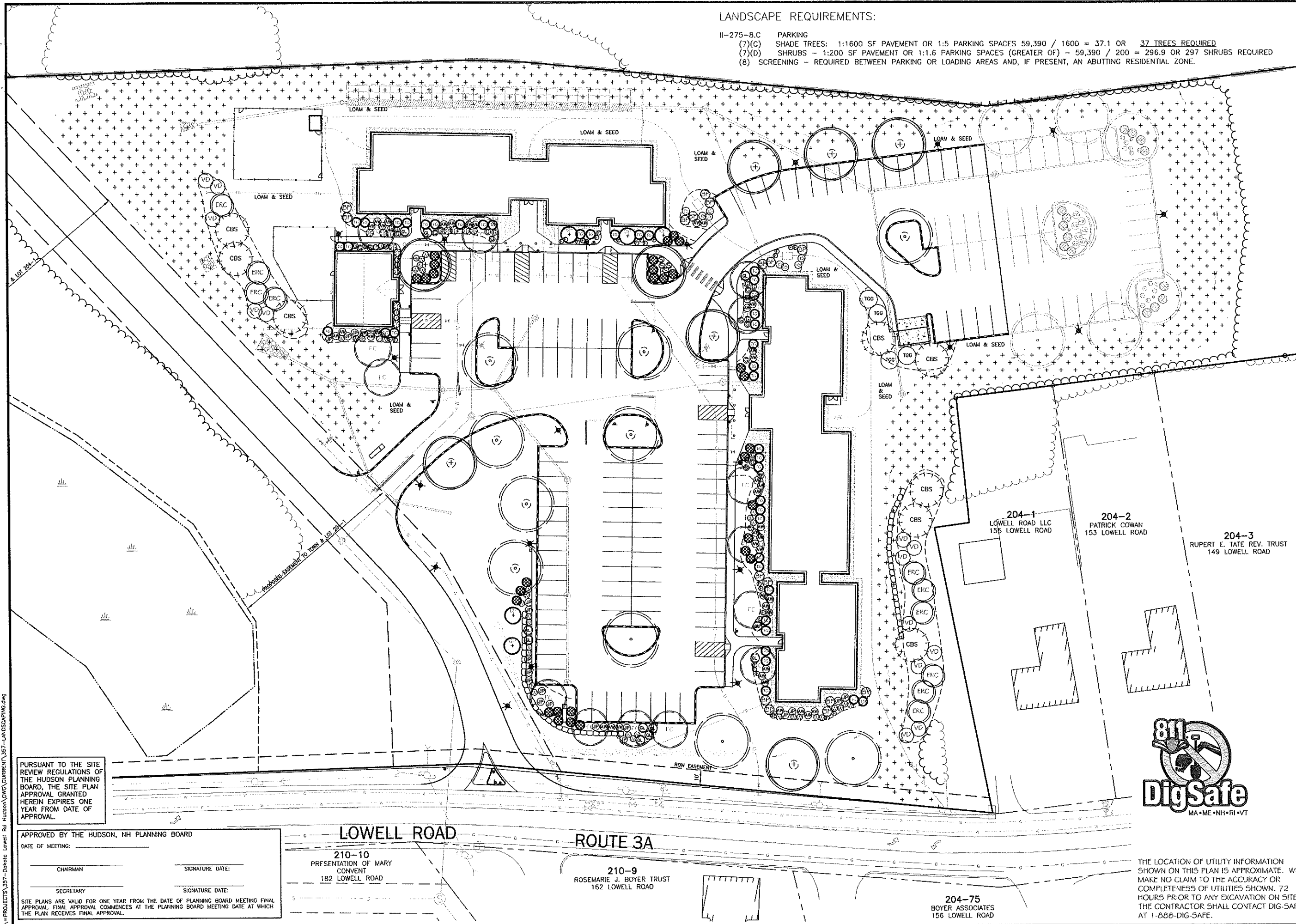
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

N:\PROJECTS\357-Dakota Lowell Rd Hudson\DWG\CURRENT\357-SITE.dwg

LANDSCAPE REQUIREMENTS:

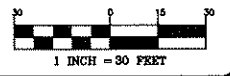
- II-275-8.C PARKING
- (7)(C) SHADE TREES: 1:1600 SF PAVEMENT OR 1:5 PARKING SPACES 59,390 / 1600 = 37.1 OR 37 TREES REQUIRED
- (7)(D) SHRUBS - 1:200 SF PAVEMENT OR 1:1.6 PARKING SPACES (GREATER OF) - 59,390 / 200 = 296.9 OR 297 SHRUBS REQUIRED
- (8) SCREENING - REQUIRED BETWEEN PARKING OR LOADING AREAS AND, IF PRESENT, AN ABUTTING RESIDENTIAL ZONE.



The Dubai Group, Inc.

84 Range Road
Windham, NH 03087
603-458-6462

Engineers
Planners
Surveyors
TheDubayGroup.com



REVISIONS:			
REV.	DATE	COMMENT	BY:
1	5/6/19	MISC. REVS	WA
4	6/5/19	REV. PER TOWN COMMENTS	SK

DRAWN BY: REK
CHECKED BY: KR D
DATE: APRIL 29, 2019
SCALE: 1"=30'
FILE: 357-LANDSCAPING
DEED REF: -

PROJECT:
**FRIARS COURT
MAP 209 LOT 1**
161 LOWELL ROAD
HUDSON, NH
FOR
**DAKOTA
PARTNERS, INC.**
1264 MAIN STREET
WALTHAM, MA 02451



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
CHAIRMAN _____ SIGNATURE DATE: _____
SECRETARY _____ SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

LOWELL ROAD
ROUTE 3A
210-10 PRESENTATION OF MARY CONVENT 182 LOWELL ROAD
210-9 ROSEMARIE J. BOYER TRUST 162 LOWELL ROAD
204-75 BOYER ASSOCIATES 156 LOWELL ROAD

THE LOCATION OF UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. WE MAKE NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. 72 HOURS PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 1-888-DIG-SAFE.

SHEET TITLE:
LANDSCAPE PLAN
PROJECT #357 SHEET 10 of 33

N:\PROJECTS\357-Dakota Lowell Rd Hudson\DWG\CURRENT\357-LANDSCAPING.dwg

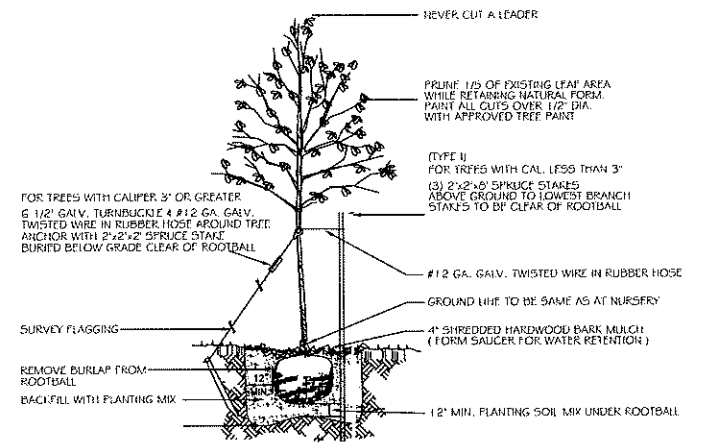
LANDSCAPE NOTES:

- 1. PRIOR TO CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING AND NEWLY INSTALLED UTILITIES AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS.
2. WHEREVER POSSIBLE EXISTING TREES SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION. DISTURBED SIDE SLOPES SHALL BE ALLOWED TO NATURALLY VEGETATE TO SUSTAIN EXISTING WILDLIFE AND PLANT LIFE.
3. THE PROPOSED DECIDUOUS TREES SHALL BE A MIN. 2.5" CALIFER WITH EVERGREENS AT 6' HT.
4. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED WITH A MINIMUM OF 6" SUITABLE LOAM, EXCEPT UNDER THE MULCH BEDS. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
5. PLANTS SHALL NOT BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA OF THE PLANTING.
6. ALL TREES SHALL BE BALLED AND BURLAP UNLESS OTHERWISE NOTED.
7. ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
8. WHERE APPLICABLE THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
9. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
10. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
11. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
12. INSOFAR AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
13. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI 260 (REV. 1996) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
14. ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
15. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
16. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH "WILT-PRUF" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
17. NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
18. SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
19. ALL PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
20. NO SOIL CONTAINING ANY LIVING OR VIABLE PORTION OF PLANTS ON THE NEW HAMPSHIRE PROHIBITED INVASIVE SPECIES LIST (AGR TABLE 3500) SHALL BE TRANSPORTED TO OR FROM CONSTRUCTION SITES WITHOUT NOTIFICATION AND APPROVAL FROM THE NEW HAMPSHIRE DEPT. OF AGRICULTURE PER RSA 480:55.

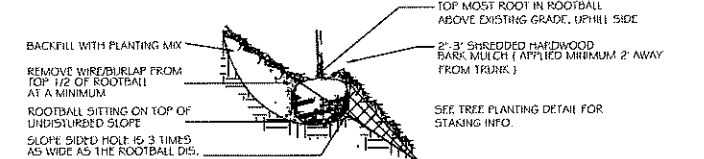
LANDSCAPE LEGEND

Table with 6 columns: Symbol, Quantity, Species Name, Container/Size, Height, and Spacing. Includes entries for Acer saccharum, Gleditsia, Prunus, Quercus, Ficea, Juniperus, Thuja, Taxus, Spiraea, Viburnum, Rhus, and Weigela.

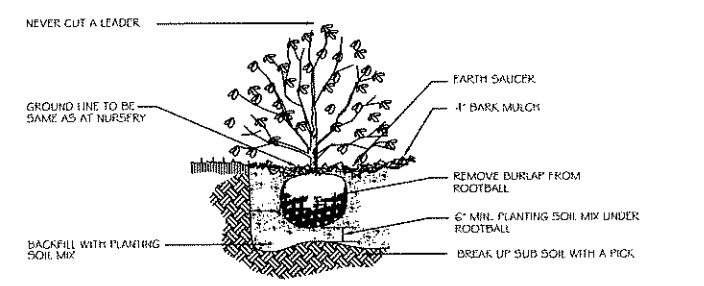
SIDE SLOPE AREAS TO BE SEEDED WITH ERNST SEED - MEADOW MIX (OR EQUIVALENT) - 20 LB PER ACRE, OR 1/2 LB PER 1,000 SQ FT. MOW ONCE IN THE FALL WHEN SEEDS HAVE DROPPED TO PREVENT SAPLINGS FROM ESTABLISHING.



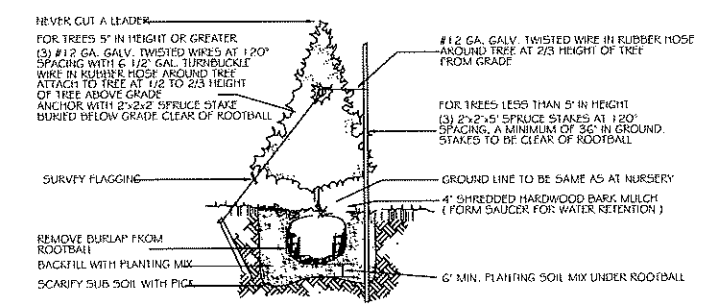
DECIDUOUS TREE PLANTING DETAIL



SLOPE PLANTING DETAIL



SHRUB PLANTING DETAIL



EVERGREEN PLANTING DETAIL

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD. Includes fields for Date of Meeting, Chairman, Secretary, and Signature Date.



The Dubay Group, Inc. 84 Range Road Windham, NH 03087 603-458-6462. Roles: Engineers, Planners, Surveyors. Website: TheDubayGroup.com



REVISIONS table with columns: REV, DATE, COMMENT, BY. Row 1: 1, 5/6/19, MISC. REVS, WA.

Table with columns: REV, DATE, COMMENT, BY. Contains revision entry 1 dated 5/6/19 by WA.

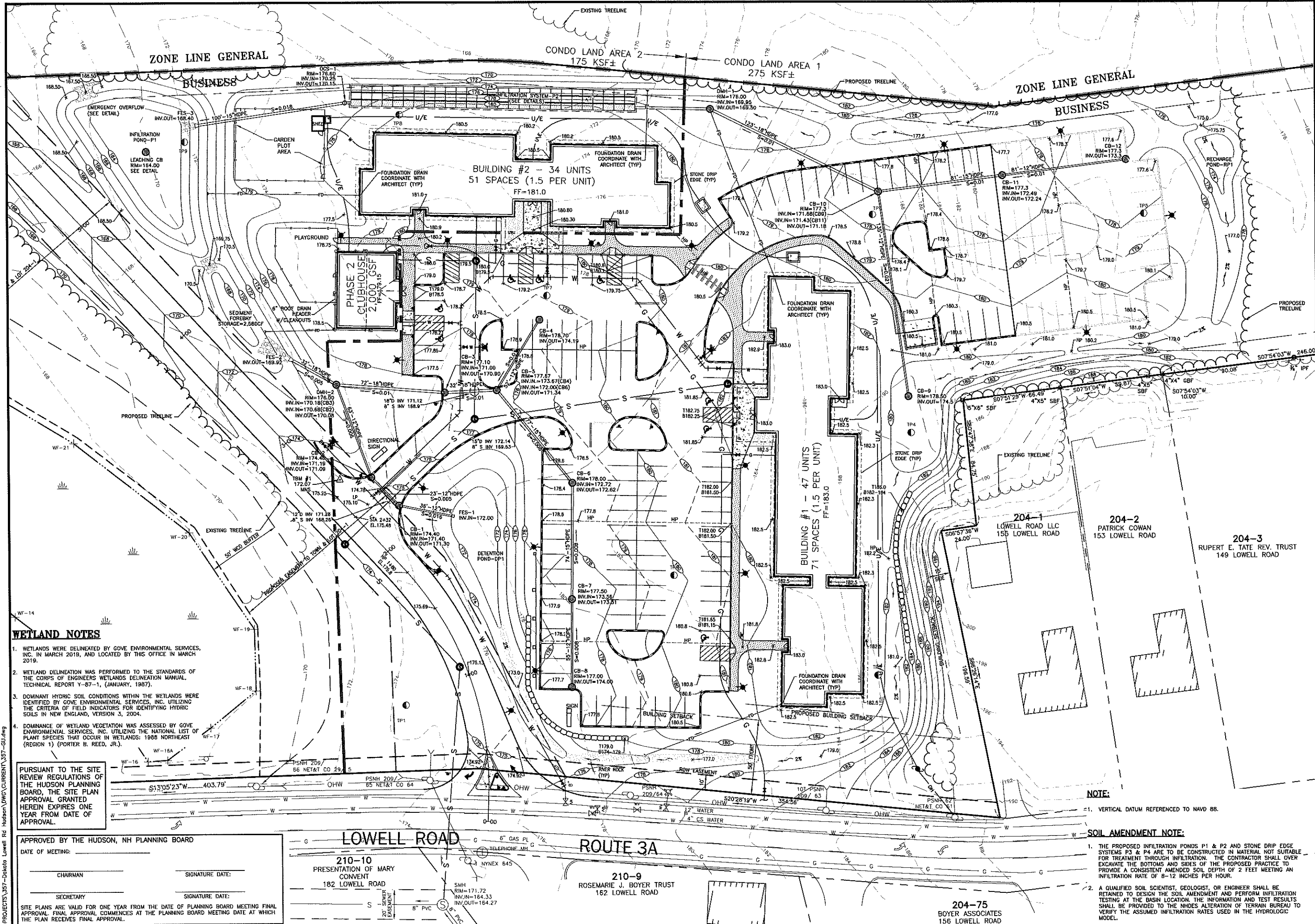
DRAWN BY: REK CHECKED BY: KRD DATE: APRIL 29, 2019 SCALE: FILE: 357-LANDSCAPING DEED REF:

PROJECT: FRIARS COURT MAP 209 LOT 1 161 LOWELL ROAD HUDSON, NH. FOR: DAKOTA PARTNERS, INC. 1264 MAIN STREET WALTHAM, MA 02451

SHEET TITLE: LANDSCAPE NOTES AND DETAILS. PROJECT #357 SHEET 11 of 33



THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. WE MAKE NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. 72 HOURS PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 1-888-DIG-SAFE.



ZONE LINE GENERAL

ZONE LINE GENERAL

BUILDING #2 - 34 UNITS
51 SPACES (1.5 PER UNIT)
FF=181.0

BUILDING #1 - 47 UNITS
71 SPACES (1.5 PER UNIT)
FF=183.0

PHASE 2 CLUBHOUSE
2,000 GSF

WETLAND NOTES

1. WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN MARCH 2019, AND LOCATED BY THIS OFFICE IN MARCH 2019.
2. WETLAND DELINEATION WAS PERFORMED TO THE STANDARDS OF THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, (JANUARY, 1987).
3. DOMINANT HYDRIC SOIL CONDITIONS WITHIN THE WETLANDS WERE IDENTIFIED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE CRITERIA OF FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, 2004.
4. DOMINANCE OF WETLAND VEGETATION WAS ASSESSED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: 1988 NORTHEAST (REGION 1) (PORTER B. REED, JR.).

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____
CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

210-10
PRESENTATION OF MARY
CONVENT
182 LOWELL ROAD

210-9
ROSEMARIE J. BOYER TRUST
162 LOWELL ROAD

204-75
BOYER ASSOCIATES
156 LOWELL ROAD



The Dubay Group, Inc.

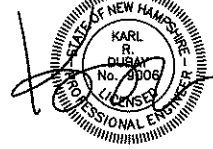
84 Range Road
Windham, NH 03087
603-458-6462

Engineers
Planners
Surveyors

TheDubayGroup.com



1 INCH = 30 FEET



REV#	DATE	COMMENT	BY
1	5/6/19	MISC. REVS	WA
2	5/14/19	REV. PER DRAINAGE/GRADING MODS.	WA
3	5/21/19	MISC. SEWER PER NHDES	SK
4	5/5/19	REV. PER TOWN COMMENTS	SK

DRAWN BY: WA
CHECKED BY: KRD
DATE: APRIL 29, 2019
SCALE: 1"=30'
FILE: 357-GU
DEED REF: -

PROJECT:
**FRIARS COURT
MAP 209 LOT 1**
161 LOWELL ROAD
HUDSON, NH

FOR
**DAKOTA
PARTNERS, INC.**
1264 MAIN STREET
WALTHAM, MA 02451

SHEET TITLE:
**GRADING &
DRAINAGE
PLAN**

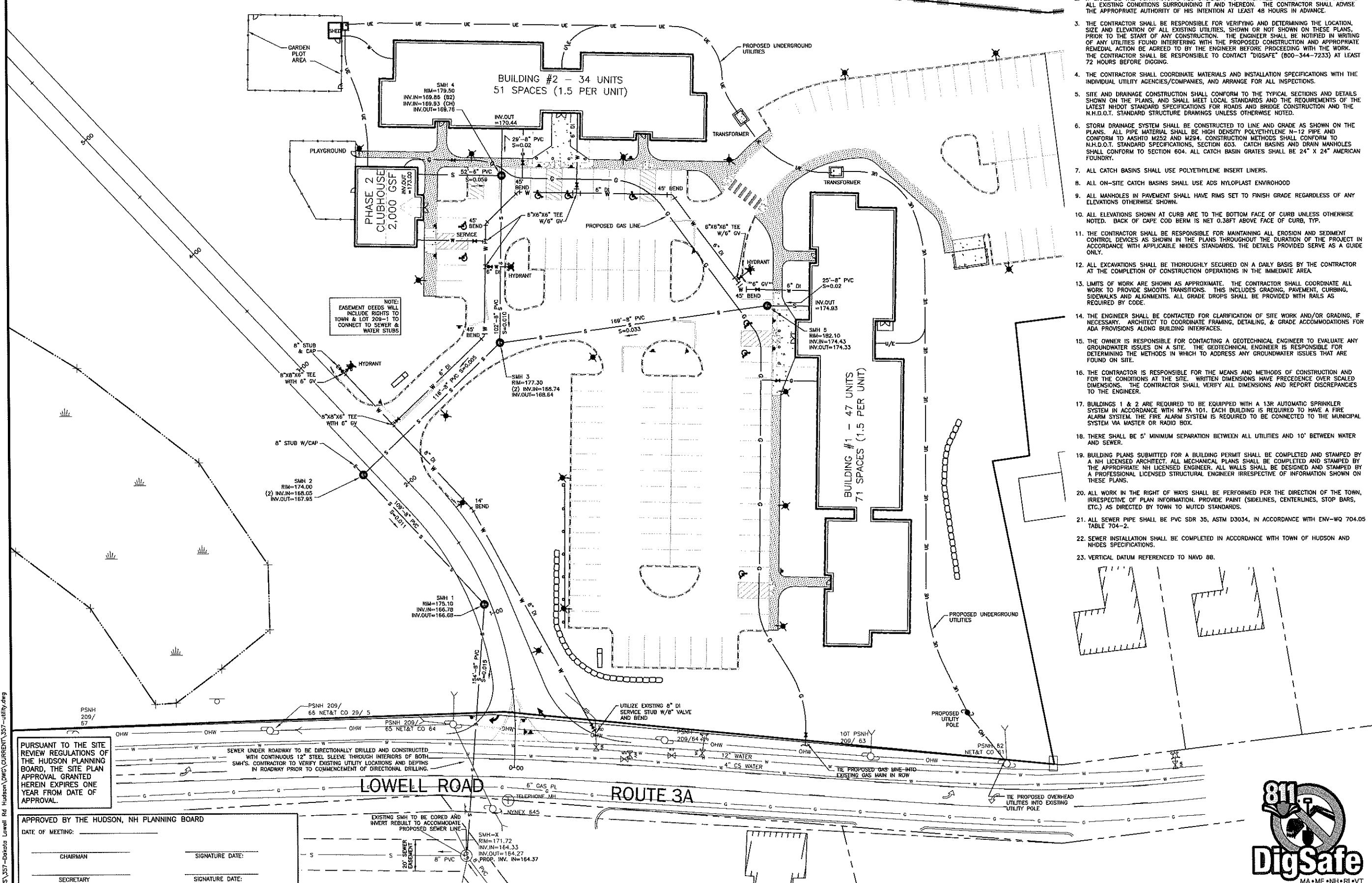
PROJECT #357 SHEET 12 OF 33

NOTE:
#1. VERTICAL DATUM REFERENCED TO NAVD 88.

SOIL AMENDMENT NOTE:
1. THE PROPOSED INFILTRATION PONDS P1 & P2 AND STONE DRIP EDGE SYSTEMS P3 & P4 ARE TO BE CONSTRUCTED IN MATERIAL NOT SUITABLE FOR TREATMENT THROUGH INFILTRATION. THE CONTRACTOR SHALL OVER EXCAVATE THE BOTTOMS AND SIDES OF THE PROPOSED PRACTICE TO PROVIDE A CONSISTENT AMENDED SOIL DEPTH OF 2 FEET MEETING AN INFILTRATION RATE OF 8-12 INCHES PER HOUR.
2. A QUALIFIED SOIL SCIENTIST, GEOLOGIST, OR ENGINEER SHALL BE RETAINED TO DESIGN THE SOIL AMENDMENT AND PERFORM INFILTRATION TESTING AT THE BASIN LOCATION. THE INFORMATION AND TEST RESULTS SHALL BE PROVIDED TO THE NHDES ALTERATION OF TERRAIN BUREAU TO VERIFY THE ASSUMED INFILTRATION RATES USED IN THE HYDROLOGIC MODEL.

ZONE LINE GENERAL

BUSINESS



NOTE:
EASEMENT DEEDS WILL
INCLUDE RIGHTS TO
TOWN & LOT 209-1 TO
CONNECT TO SEWER &
WATER STUBS

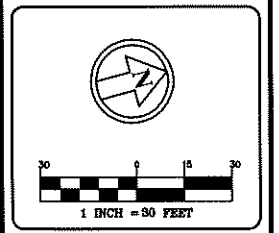
NOTES

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF HIS INTENTION AT LEAST 48 HOURS IN ADVANCE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (800-344-7233) AT LEAST 72 HOURS BEFORE DIGGING.
4. THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
5. SITE AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHOOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE N.H.D.O.T. STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
6. STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. ALL PIPE MATERIAL SHALL BE HIGH DENSITY POLYETHYLENE N-12 PIPE AND CONFORM TO AASHTO M252 AND M294. CONSTRUCTION METHODS SHALL CONFORM TO N.H.D.O.T. STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE 24" X 24" AMERICAN FOUNDRY.
7. ALL CATCH BASINS SHALL USE POLYETHYLENE INSERT LINERS.
8. ALL ON-SITE CATCH BASINS SHALL USE ADS NYLOPLAST ENVIROHOOD
9. ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
10. ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM FACE OF CURB UNLESS OTHERWISE NOTED. BACK OF CAPE COD BERM IS NET 0.38FT ABOVE FACE OF CURB, TYP.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN IN THE PLANS THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE NHDES STANDARDS. THE DETAILS PROVIDED SERVE AS A GUIDE ONLY.
12. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
13. LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS. ALL GRADE DROPS SHALL BE PROVIDED WITH RAILS AS REQUIRED BY CODE.
14. THE ENGINEER SHALL BE CONTACTED FOR CLARIFICATION OF SITE WORK AND/OR GRADING, IF NECESSARY. ARCHITECT TO COORDINATE FRAMING, DETAILING, & GRADE ACCOMMODATIONS FOR ADA PROVISIONS ALONG BUILDING INTERFACES.
15. THE OWNER IS RESPONSIBLE FOR CONTACTING A GEOTECHNICAL ENGINEER TO EVALUATE ANY GROUNDWATER ISSUES ON A SITE. THE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR DETERMINING THE METHODS IN WHICH TO ADDRESS ANY GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
16. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
17. BUILDINGS 1 & 2 ARE REQUIRED TO BE EQUIPPED WITH A 13R AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 101. EACH BUILDING IS REQUIRED TO HAVE A FIRE ALARM SYSTEM. THE FIRE ALARM SYSTEM IS REQUIRED TO BE CONNECTED TO THE MUNICIPAL SYSTEM VIA MASTER OR RADIO BOX.
18. THERE SHALL BE 5' MINIMUM SEPARATION BETWEEN ALL UTILITIES AND 10' BETWEEN WATER AND SEWER.
19. BUILDING PLANS SUBMITTED FOR A BUILDING PERMIT SHALL BE COMPLETED AND STAMPED BY A NH LICENSED ARCHITECT. ALL MECHANICAL PLANS SHALL BE COMPLETED AND STAMPED BY THE APPROPRIATE NH LICENSED ENGINEER. ALL WALLS SHALL BE DESIGNED AND STAMPED BY A PROFESSIONAL LICENSED STRUCTURAL ENGINEER IRRESPECTIVE OF INFORMATION SHOWN ON THESE PLANS.
20. ALL WORK IN THE RIGHT OF WAYS SHALL BE PERFORMED PER THE DIRECTION OF THE TOWN, IRRESPECTIVE OF PLAN INFORMATION. PROVIDE PAINT (SIDELINES, CENTERLINES, STOP BARS, ETC.) AS DIRECTED BY TOWN TO MUTCD STANDARDS.
21. ALL SEWER PIPE SHALL BE PVC SDR 35, ASTM D3034, IN ACCORDANCE WITH ENV-WQ 704.05 TABLE 704-2.
22. SEWER INSTALLATION SHALL BE COMPLETED IN ACCORDANCE WITH TOWN OF HUDSON AND NHDES SPECIFICATIONS.
23. VERTICAL DATUM REFERENCED TO NAVD 88.



The Dubay Group, Inc.
84 Range Road
Windham, NH 03087
603-458-6462

Engineers
Planners
Surveyors
TheDubayGroup.com



REVISIONS:			
REV#	DATE	COMMENT	BY
1	5/6/19	MISC. REVS	WA
2	5/13/19	MISC. REVS	SK
3	5/21/19	MISC. SEWER PER NHDES	SK
4	6/5/19	REV. PER TOWN COMMENTS	SK

DRAWN BY: WA
CHECKED BY: KR
DATE: MAY 13, 2019
SCALE: 1"=30'
FILE: 357-utility
DEED REF: -

PROJECT:
**FRIARS COURT
MAP 209 LOT 1**
161 LOWELL ROAD
HUDSON, NH

FOR

**DAKOTA
PARTNERS, INC.**
1264 MAIN STREET
WALTHAM, MA 02451

SHEET TITLE:
**UTILITY
PLAN**

PROJECT #357 SHEET 13 OF 33

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

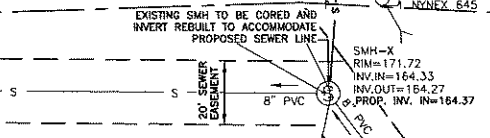
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____

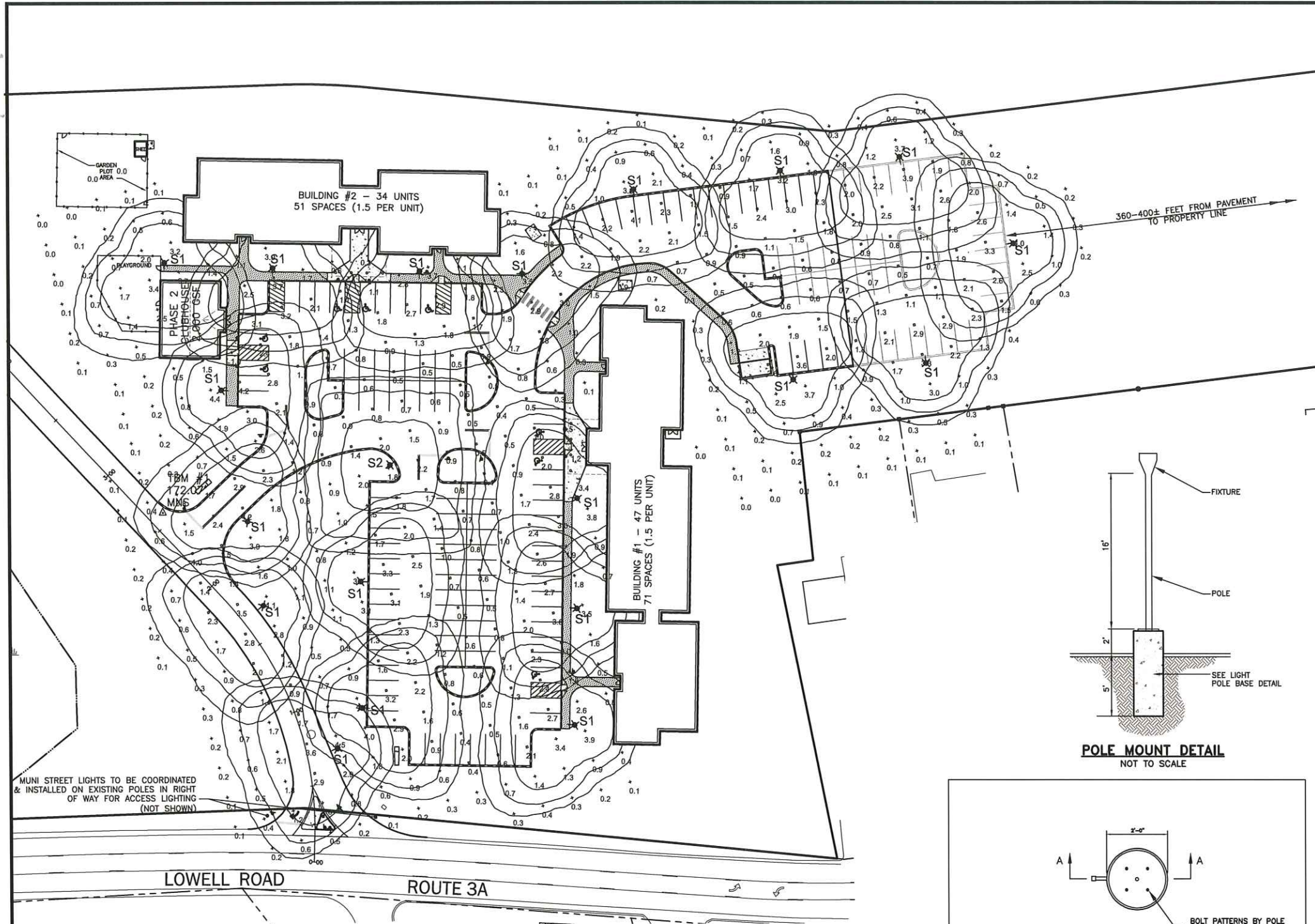
SECRETARY _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



N:\PROJECTS\357-Dakota Partners\Lowell Rd Hudson\DWG\CURRENT\357-utility.dwg





Catalog # : _____
 Prepared By : _____
 Project : _____
 Date : _____

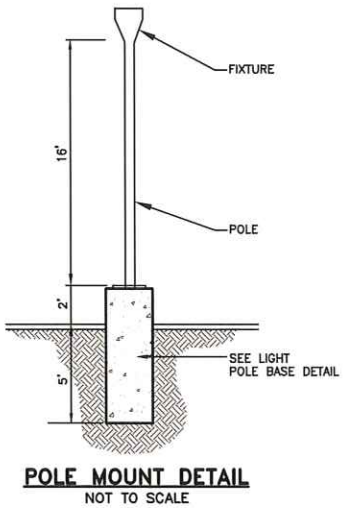
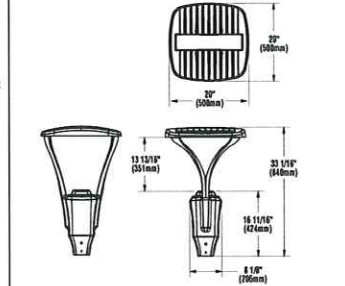


Mirada Post Top - MPH Outdoor LED Post Top

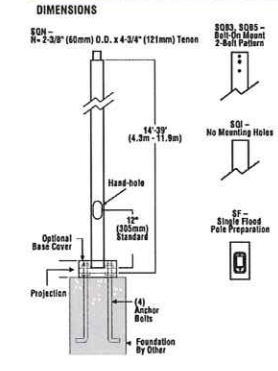
The Mirada Post Top (MPH) interweaves modern urban aesthetics and exceptional performance. With superior distributions, high product configurability, and intelligent controls, the innovative Mirada Post Top boasts up to a peerless 72k delivered lumens, while delivering a desirable super-efficient 135LPW platform.

Features & Specifications

- Optical System**
- State-of-the-art one-piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
 - Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, SW, FT and FA.
 - Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
 - Available in 5000K, 4000K, 3000K, and 2700K color temperatures per ANSI C78.377. Optional 5700K CCT available in 90CRI only.
 - Minimum CRI of 70. Optional 80 and 90 CRI available, consult factory for lead time.
 - Integral Louver (LL) option available for improved back-light control without sacrificing street side performance. See page 5 for more details.
 - Minimal uplight with less than 5% of the total lumen output going above 90°.
- Electrical**
- High-performance driver features over-voltage, under-voltage, short-circuit and over-temperature protection.
 - 0-10V dimming (10% - 100%) standard.
 - Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
 - L82 Calculated Life: >100k Hours (See Lumen Maintenance on Page 2)
 - Total harmonic distortion: <20%
 - Operating temperature: -40°C to +50°C (-40°F to +122°F). 72L Package is limited to +40°C.
 - Power factor: >.90
 - Input power stays constant over life.
 - Field replaceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C82.41.2).
 - High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation.
 - Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards.
 - Internal power supplies and controls can be serviced via (2) integral filter removable power trays.



STEEL SQUARE POLES



DIMENSIONS

POLE SHAFT - Pole shaft is electro-welded ASTM-A500 Grade C steel tubing with a minimum yield strength of 50,000 psi. On Tenon Mount steel poles, tenon is 2-3/8" O.D. high-strength pipe. Tenon is 4-3/4" in length. Straight poles are 4", 5", and 6" square.

HAND-HOLE - Standard hand-hole location is 12" above pole base. Poles 22" and above have a 3" x 6" reinforced hand-hole. Shorter poles have a 2" x 4" non-reinforced hand-hole.

BASE - Pole base is ASTM-A36 hot-rolled steel plate with a minimum yield strength of 36,000 psi. Two-piece square base cover is optional.

ANCHOR BOLTS - Poles are furnished with anchor bolts featuring zinc-plated double nuts and washers. Galvanized anchor bolts are optional. Anchor bolts conform to ASTM F 1554-07a Grade 55 with a minimum yield strength of 55,000 psi.

GROUND LUG - Ground lug is standard.

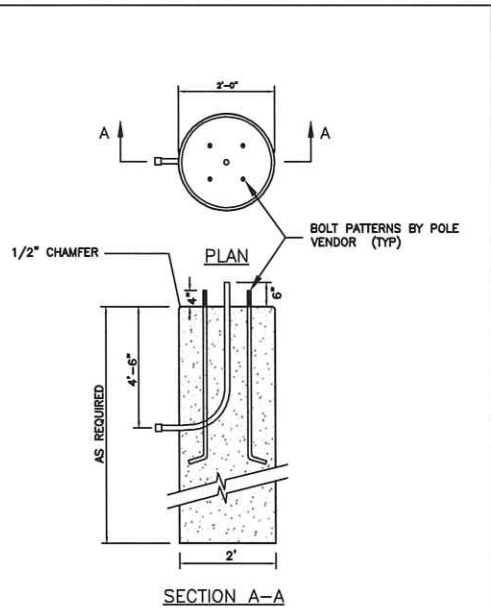
DUPLEX RECEPTACLE - Weatherproof duplex receptacle is optional.

GROUND FAULT CIRCUIT INTERRUPTER - Self-testing ground fault circuit interrupter is optional.

FINISHES - Each pole is finished with DuraGrip®. LSI's baked-on polyester-powder finishing process which electrostatically applies and fuses a polyester powder to the pole. Provides an extremely smooth and uniform finish to withstand extreme weather changes without cracking or peeling, and features a five-year limited warranty. Optional DuraGrip® Plus features the added protection of a 3.0 to 5.0 mil thickness of polyester-powder finish plus an inner coating, as well as a seven-year limited warranty.

DETERMINING THE LUMINAIRE/POLE COMBINATION FOR YOUR APPLICATION:

- Select luminaire from luminaire ordering information.
- Select bracket configuration if required.
- Determine EPA value from luminaire/bracket EPA chart.
- Select pole height.
- Select MPH to match wind speed in the application area (See wind speed maps).
- Confirm pole EPA equal to or exceeding value from note above.
- Consult factory for special wind load requirements and banner brackets.



DRILLING LOCATIONS

Side	A	B	C	D
Side "A"	X	X	X	X
Side "B"	X	X	X	X
Side "C"	X	X	X	X
Side "D"	X	X	X	X

Note: Standard SF and OF pole preparations are located 3/4" of the height of the pole from the base, unless otherwise specified.

SHIPPING WEIGHTS - Steel Square Poles

Size	Weight
4" (102mm) x 4" (102mm)	7.50 lbs.
4" (102mm) x 4" (102mm) w/ 1/2" (12.7mm) chamfer	10.00 lbs.
5" (127mm) x 5" (127mm)	9.00 lbs.
5" (127mm) x 5" (127mm) w/ 1/2" (12.7mm) chamfer	12.50 lbs.
6" (152mm) x 6" (152mm)	14.00 lbs.
6" (152mm) x 6" (152mm) w/ 1/2" (12.7mm) chamfer	18.00 lbs.
Anchor Bolts (1" x 36" (914mm))	30 lbs. (13.6kg)



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	File Name	Lumens Per Lamp	Light Loss Factor	Wattage
S1	S1	19	LSI Lighting	MPP-LED-15L-SIL-FT-27-70CRI with 4SON S11G 16	Post top Full Cut Off Forward Throw Distribution Luminaire on 16 ft. Pole with 2 ft. Concrete base for 18 ft. Mounting Height	LED	1	MPP-LED-15L-SIL-FT-27-70CRI	14824	0.95	117
S2	S2	1	LSI Lighting	MPP-LED-15L-SIL-SW-27-70CRI with 4SON S11G 16	Post top Full Cut Off Type V Distribution Luminaire on 16 ft. Pole with 2 ft. Concrete base for 18 ft. Mounting Height	LED	1	MPP-LED-15L-SIL-SW-27-70CRI	13985	0.95	117

Statistics

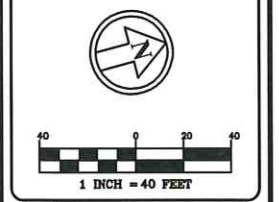
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Entire Calculation Area	+	0.8 fc	4.5 fc	0.0 fc	N/A	N/A
Parking & Drives	□	1.8 fc	4.2 fc	0.4 fc	10.5:1	4.0:1

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 CHAIRMAN: _____ SIGNATURE DATE: _____
 SECRETARY: _____ SIGNATURE DATE: _____
 SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

NOTE:
 REFER TO ARCHITECTURAL PLANS FOR LIGHTING PROVIDED AT BUILDINGS, ENTRIES/EXITS, CANOPIES, SOFFITS, DECORATIVE LIGHTING, WALL MOUNTED/CODE LIGHTING, ETC.
 ALL GENERAL SITE LIGHTING WILL BE PHOTO-SENSOR AND TIMER CONTROLLED.



84 Range Road
 Windham, NH 03087
 603-458-6462
 Engineers
 Planners
 Surveyors
 TheDubayGroup.com



REVISIONS:

REV	DATE	COMMENT	BY
4	6/5/19	REV. PER TOWN COMMENTS	SK

DRAWN BY: WA
 CHECKED BY: KR
 DATE: APRIL 29, 2019
 SCALE: 1"=40'
 FILE: 357-LIGHTING
 DEED REF: _____

PROJECT:
**FRIARS COURT
 MAP 209 LOT 1**
 161 LOWELL ROAD
 HUDSON, NH
 FOR _____
**DAKOTA
 PARTNERS, INC.**
 1264 MAIN STREET
 WALTHAM, MA 02451

SHEET TITLE:
**LIGHTING
 PLAN**
 PROJECT #357 SHEET 14 of 33

N:\PROJECTS\357-Dakota Partners\Lowell Rd Hudson\DWG\CURRENT\357-LIGHTING.dwg

NOTES:
 1. CONCRETE MINIMUM STRENGTH 4,000 PSI AFTER 28 DAYS.
 2. CONDUIT, ANCHOR BOLTS AND TEMPLATE SUPPLIED BY OTHERS.
 3. LIGHT POLE BASE SIZE IS TO BE SPECIFIED BY A QUALIFIED ENGINEER.
 WEIGHT: 455LBS/VERTICAL FOOT
 LIGHT POLE BASE 24" DIAMETER
 773 Salem Street - Wilmington, MA 153 Cranberry Hwy - Rochester, MA 87 Heverhill Road - Amherst, MA 150 Old Turnpike Rd - Westfield, NH
 800-696-7432 (SHEA) www.ahconcrete.com
 18 ft. (5490mm) Anchor Bolts (1" x 36" (914mm)) 30 lbs. (13.6kg)
 Page: 11.2
 6/19/2013
 Specifications subject to change without notice



The Dubay Group, Inc.

84 Range Road
Windham, NH 03087
603-458-6462

Engineers

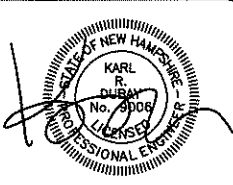
Planners

Surveyors

TheDubayGroup.com



1 INCH = 30 FEET



REVISIONS:			
REV.	DATE	COMMENT	BY
1	5/8/19	MISC. REVS	WA
2	5/14/19	REV. PER DRAINAGE/GRADING MODS.	JHD
4	6/5/19	REV. PER TOWN COMMENTS	JMM

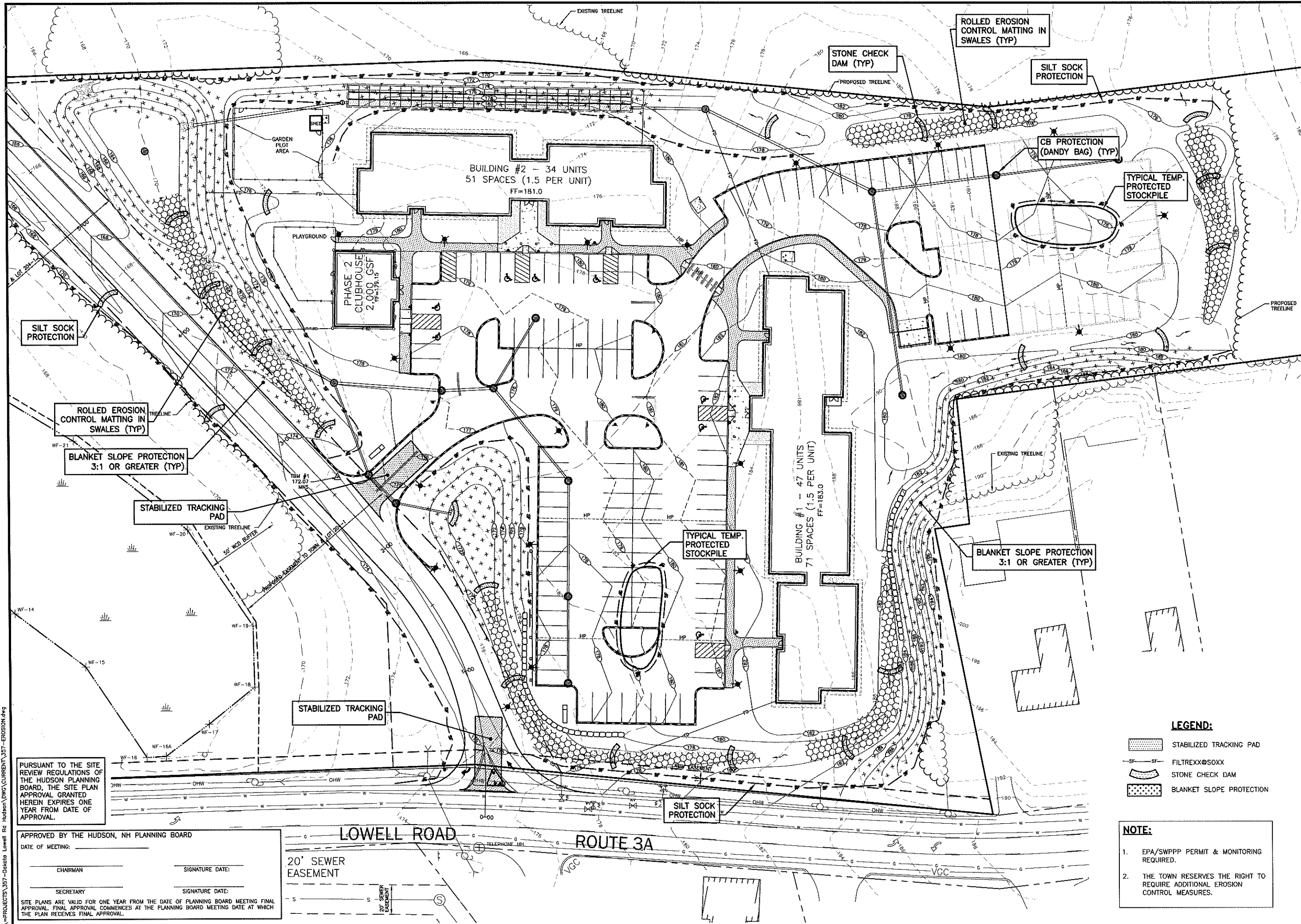
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 SCALE: 1"=30'
 FILE: 357-EROSION
 DEED REF: -

PROJECT:
**FRIARS COURT
 MAP 209 LOT 1**
 161 LOWELL ROAD
 HUDSON, NH

FOR
**DAKOTA
 PARTNERS, INC.**
 1264 MAIN STREET
 WALTHAM, MA 02451

SHEET TITLE:
**EROSION
 CONTROL
 PLAN**

PROJECT #357 SHEET 15 of 33



- LEGEND:**
- STABILIZED TRACKING PAD
 - FILTER SOCK
 - STONE CHECK DAM
 - BLANKET SLOPE PROTECTION

- NOTE:**
1. EPA/SWPPP PERMIT & MONITORING REQUIRED.
 2. THE TOWN RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

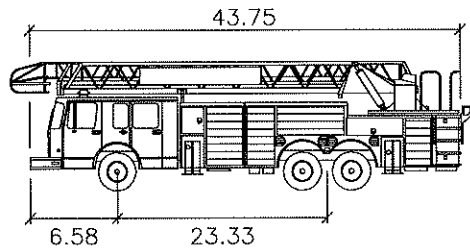
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

LOWELL ROAD
 ROUTE 3A

20' SEWER EASEMENT

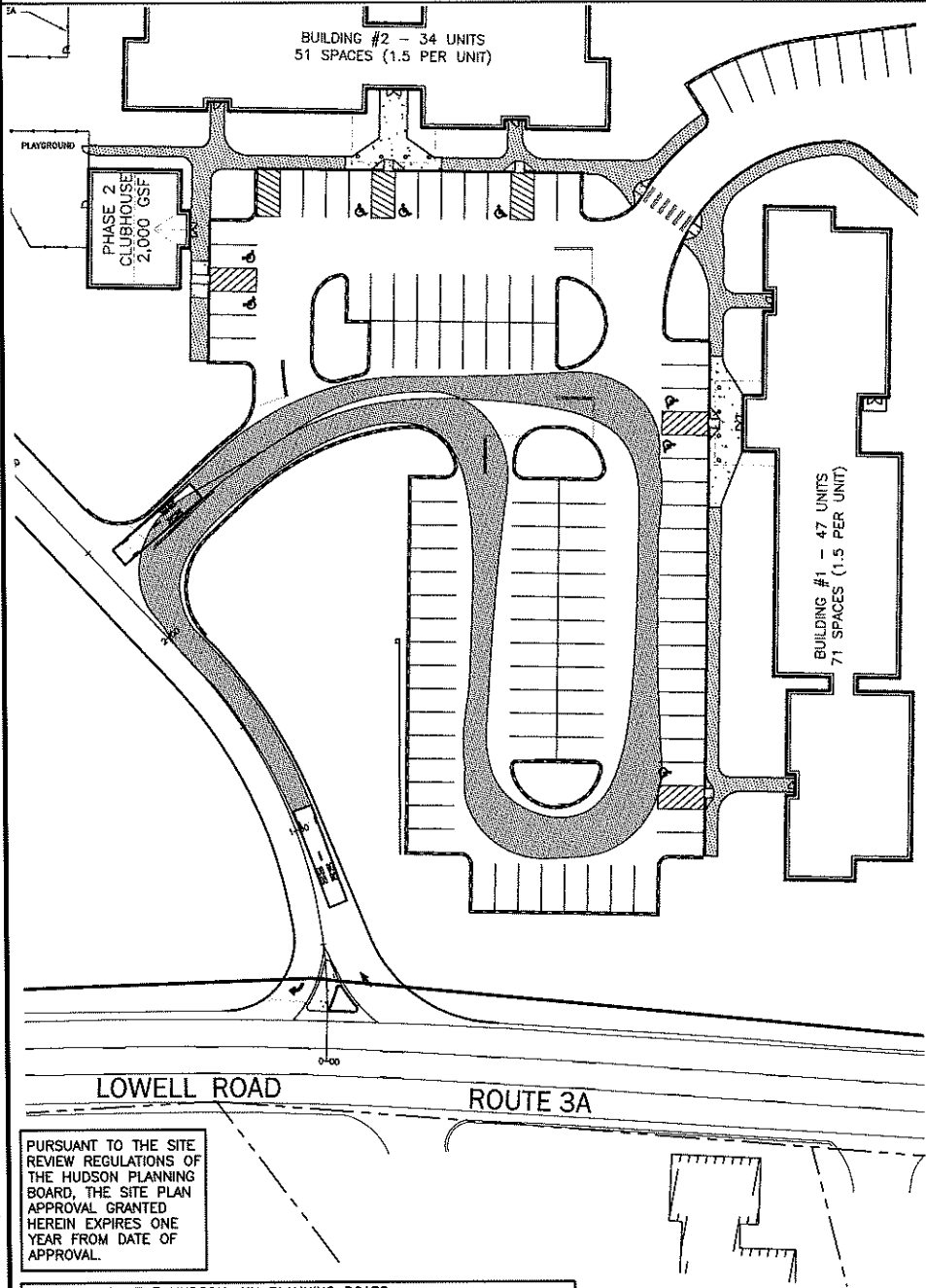
20' SEWER EASEMENT

N:\PROJECTS\357-Dakota Lowell Rd. Hudson\DWG\CURRENT\357-EROSION.dwg

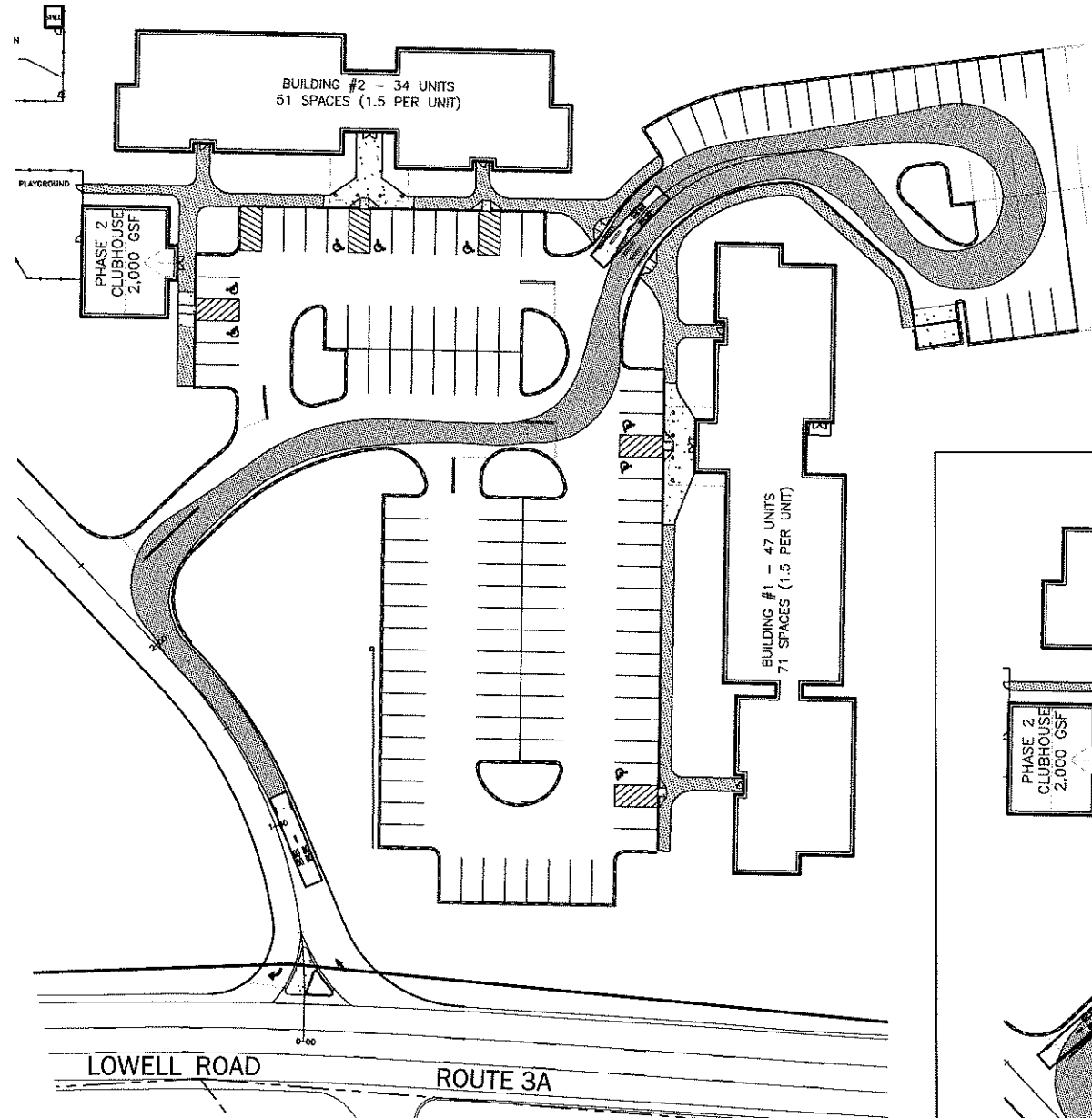


AERIAL FIRE APPARATUS

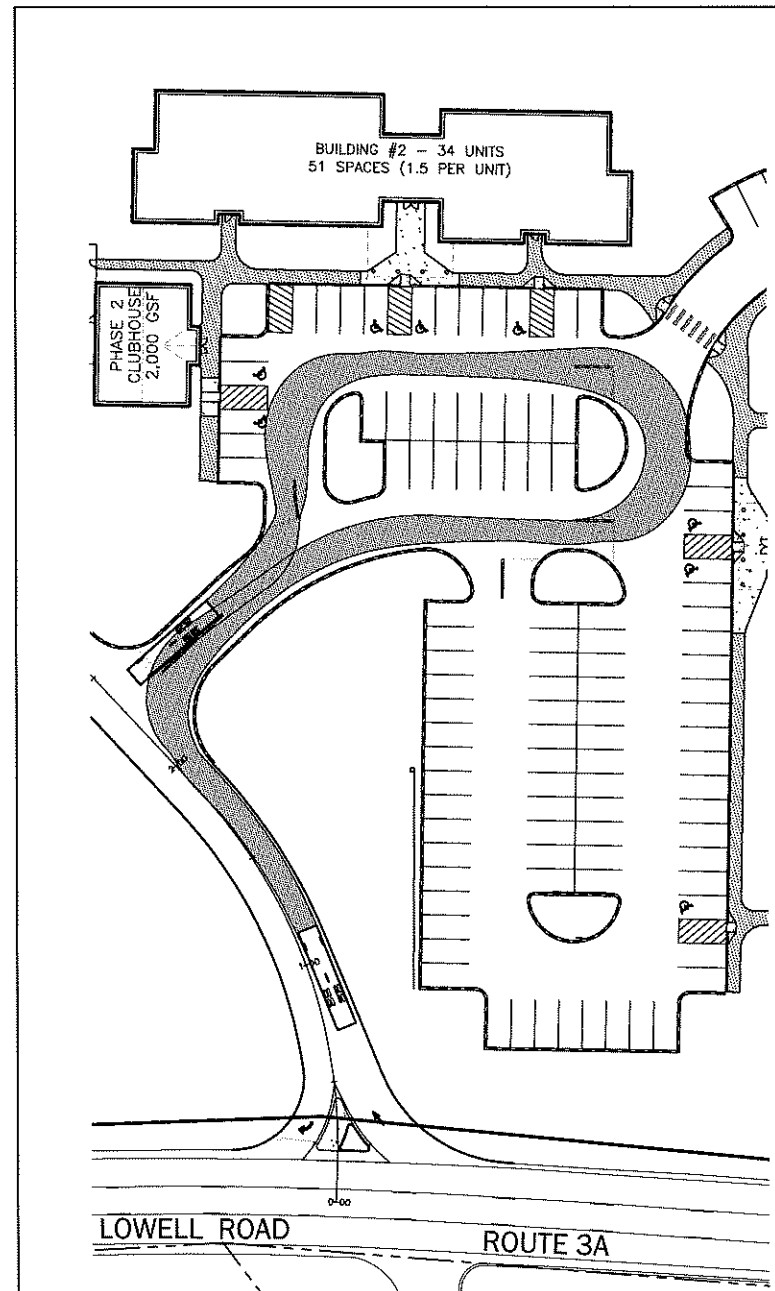
	feet
Width	: 8.25
Track	: 8.25
Lock to Lock Time	: 6.0
Steering Angle	: 45.0



TRUCK MOVEMENT #1



TRUCK MOVEMENT #2



TRUCK MOVEMENT #3

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

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SECRETARY	SIGNATURE DATE:

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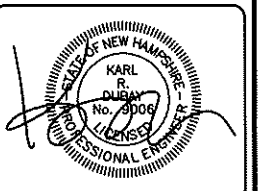
84 Range Road
Windham, NH 03087
603-458-6462

Engineers

Planners

Surveyors

TheDubayGroup.com



REVISIONS:			
REV.	DATE:	COMMENT:	BY:

DRAWN BY: WA
CHECKED BY: KRD
DATE: APRIL 29, 2019
SCALE: 1"=40'
FILE: 357-FIRETURNING
DEED REF: -

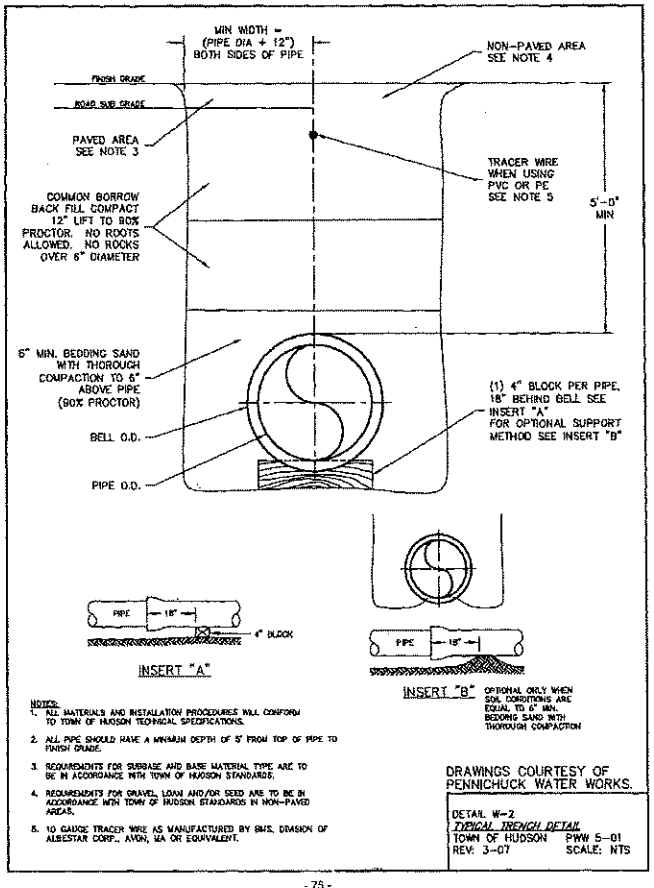
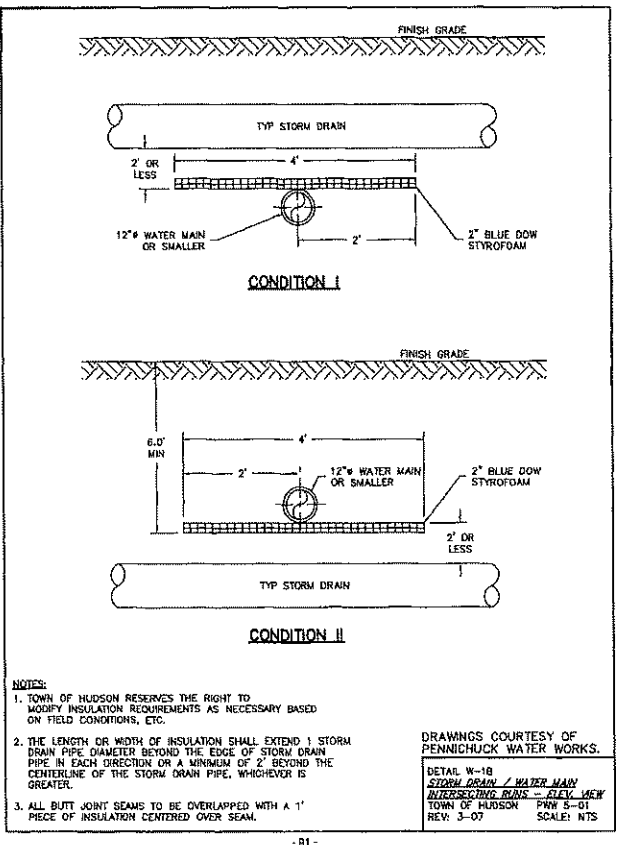
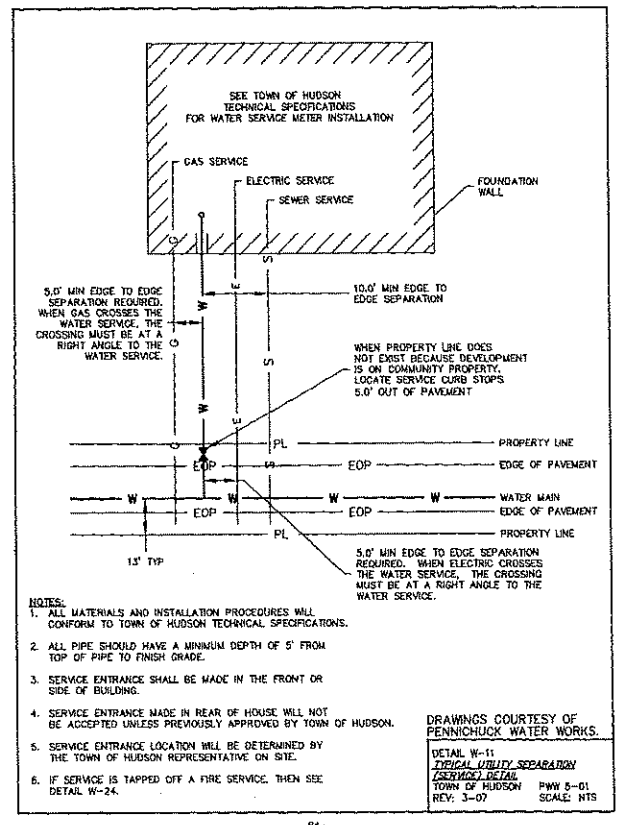
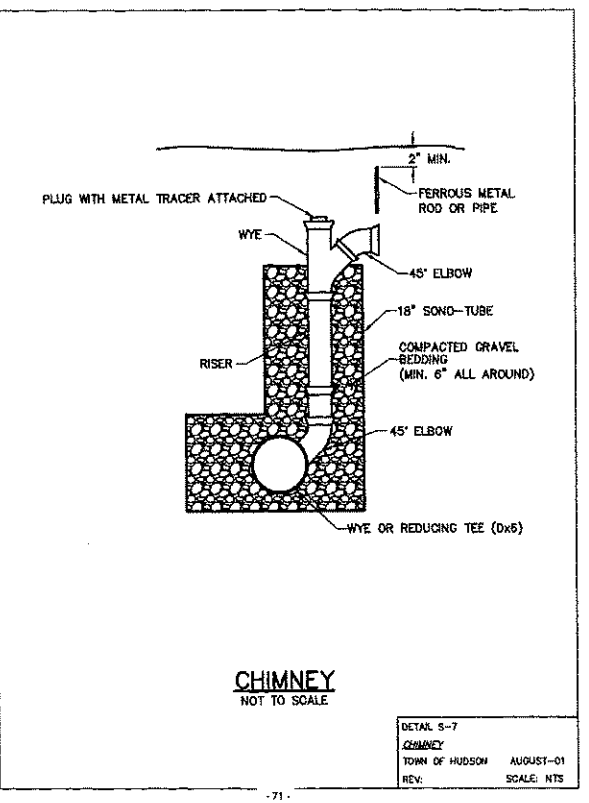
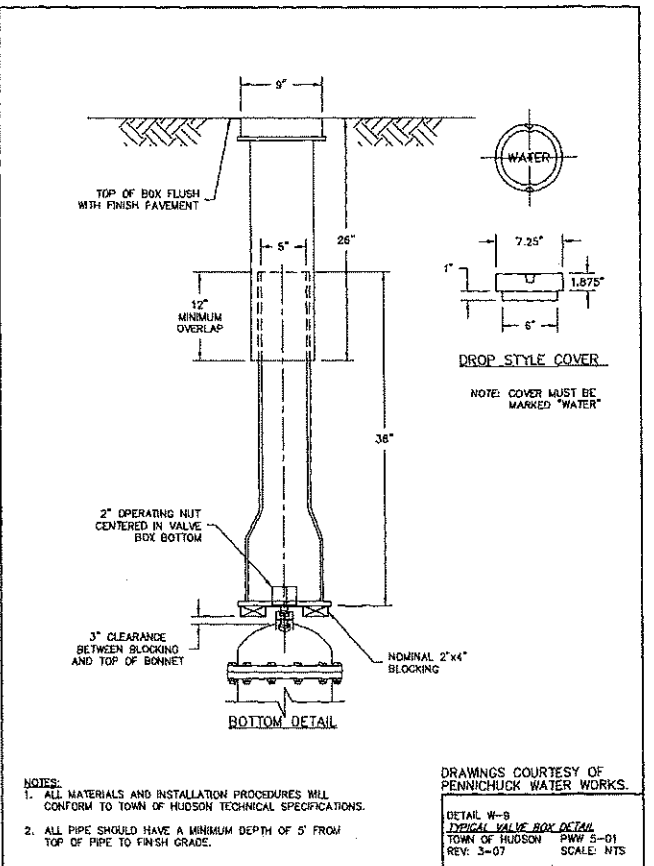
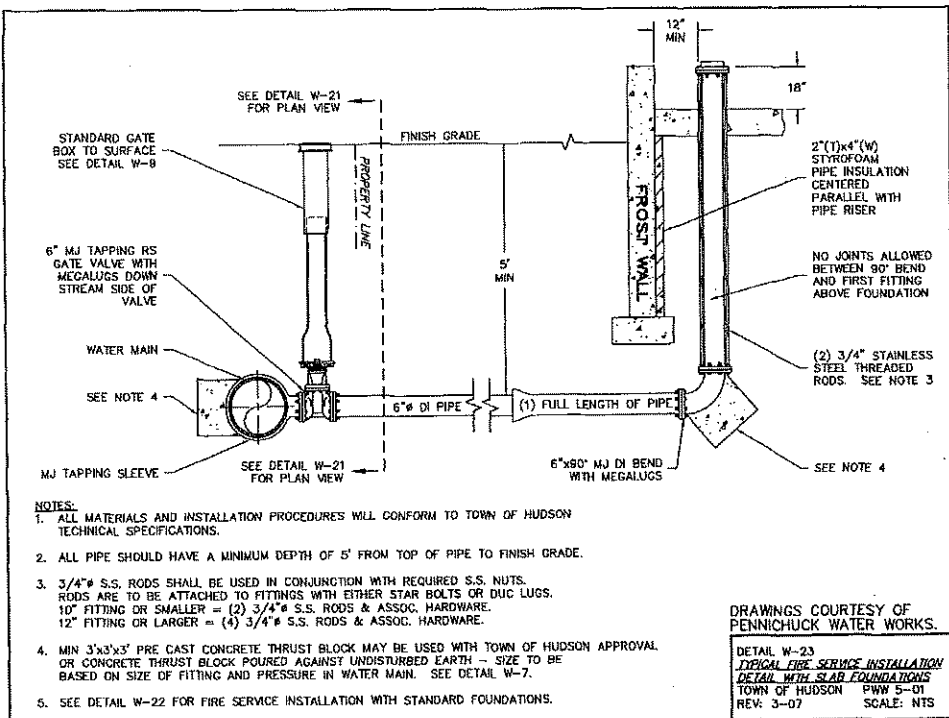
PROJECT:
**FRIARS COURT
MAP 209 LOT 1**
161 LOWELL ROAD
HUDSON, NH

FOR

**DAKOTA
PARTNERS, INC.**
1264 MAIN STREET
WALTHAM, MA 02451

SHEET TITLE:
**TRUCK
CIRCULATION
PLAN**

N:\PROJECTS\357-Dakota Lowell Rd Hudson\DWG\CURRENT\357-FIRETURNING.dwg



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____

SECRETARY _____ SIGNATURE DATE: _____

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The Dubay Group, Inc.
84 Range Road
Windham, NH 03087
603-458-6462

Engineers
Planners
Surveyors
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REVISIONS:			
REV:	DATE:	COMMENT:	BY:

DRAWN BY: SUK
CHECKED BY: KR D
DATE: APRIL 29, 2019
SCALE: AS SHOWN
FILE: 357-DETAILS1-3
DEED REF: -

PROJECT:

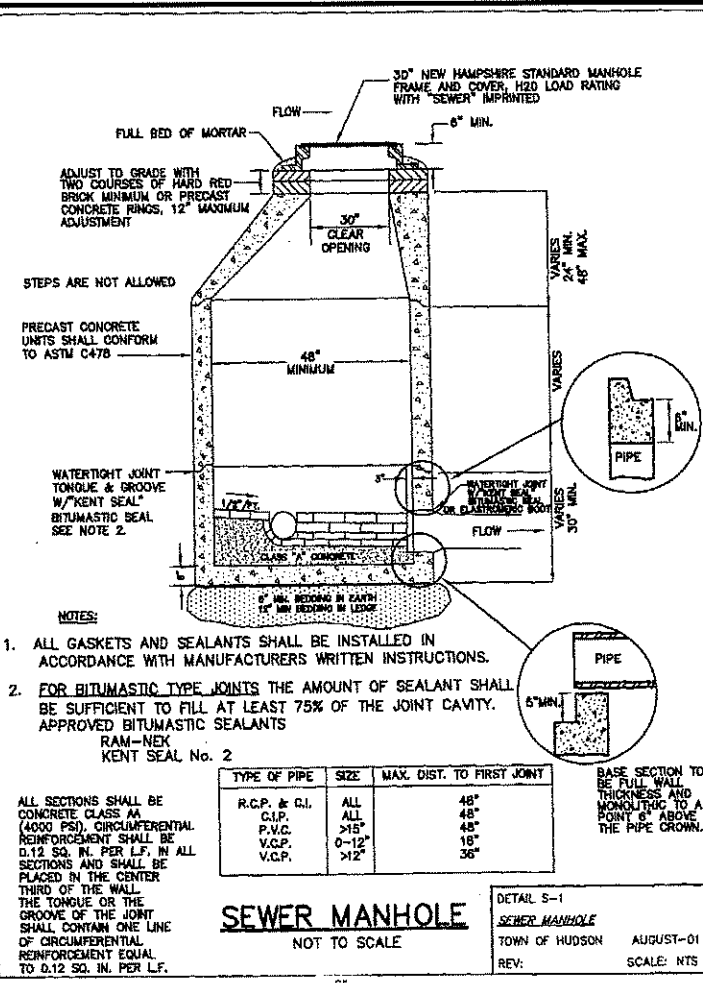
FRIARS COURT
MAP 209 LOT 1
161 LOWELL ROAD
HUDSON, NH

FOR _____

DAKOTA PARTNERS, INC.
1264 MAIN STREET
WALTHAM, MA 02451

SHEET TITLE:

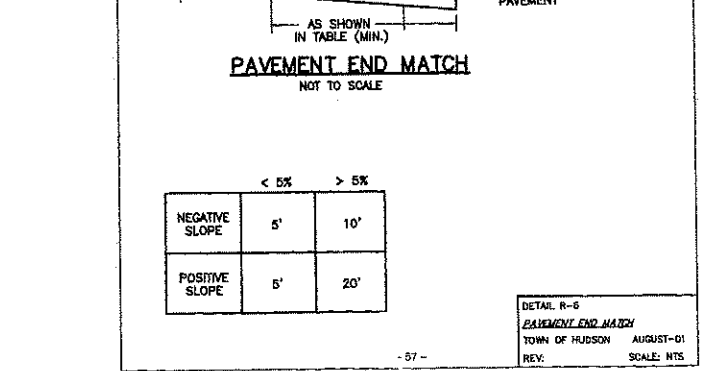
SITE DETAILS - 1



- NOTES:
1. ALL GASKETS AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
 2. FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY. APPROVED BITUMASTIC SEALANTS
RAM-NEK
KENT SEAL No. 2

TYPE OF PIPE	SIZE	MAX. DIST. TO FIRST JOINT
R.C.P. & C.I.	ALL	48"
P.V.C.	>12"	48"
V.C.P.	0-12"	18"
V.C.P.	>12"	36"

ALL SECTIONS SHALL BE CONCRETE CLASS AA (4000 PSI). CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER L.F. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER L.F.



	< 5%	> 5%
NEGATIVE SLOPE	5'	10'
POSITIVE SLOPE	5'	20'

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

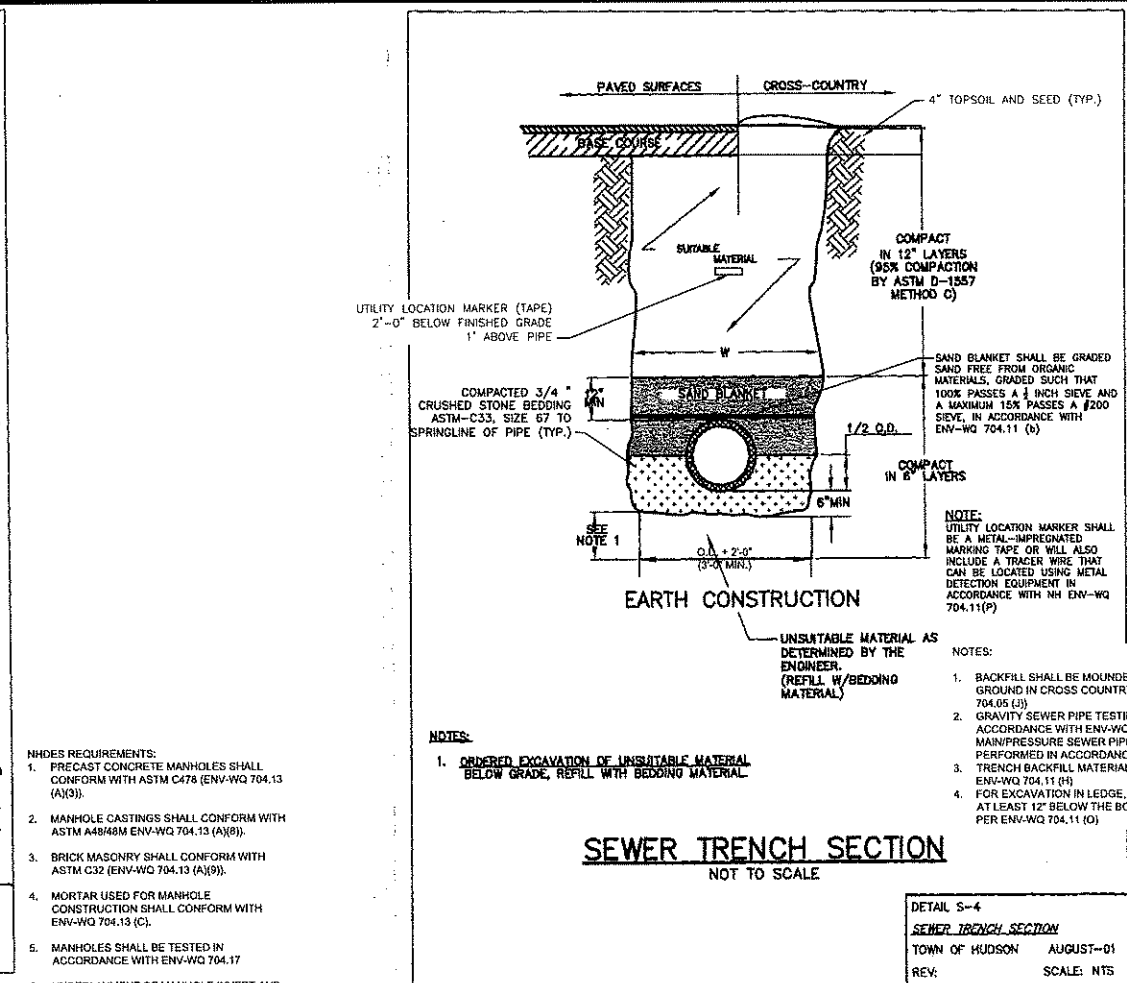
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

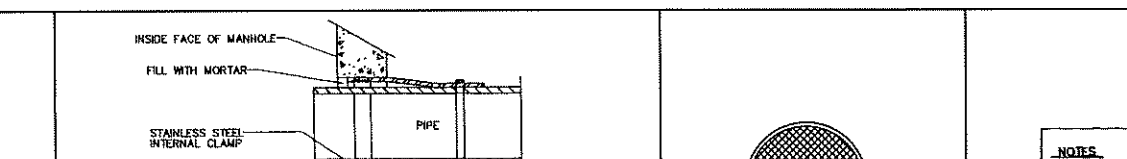
CHAIRMAN _____ SIGNATURE DATE: _____

SECRETARY _____ SIGNATURE DATE: _____

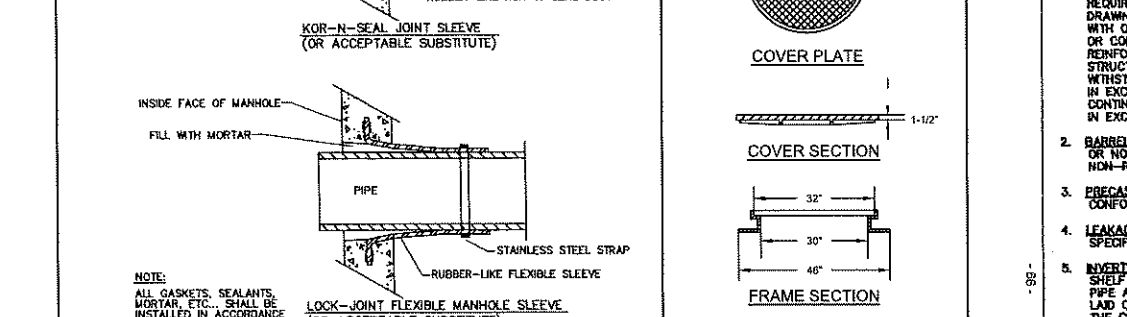
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- NOTES:
1. ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE, REFILL WITH BEDDING MATERIAL



- NOTES:
1. PVC JOINTS SEALS SHALL CONFORM WITH ASTM D3212

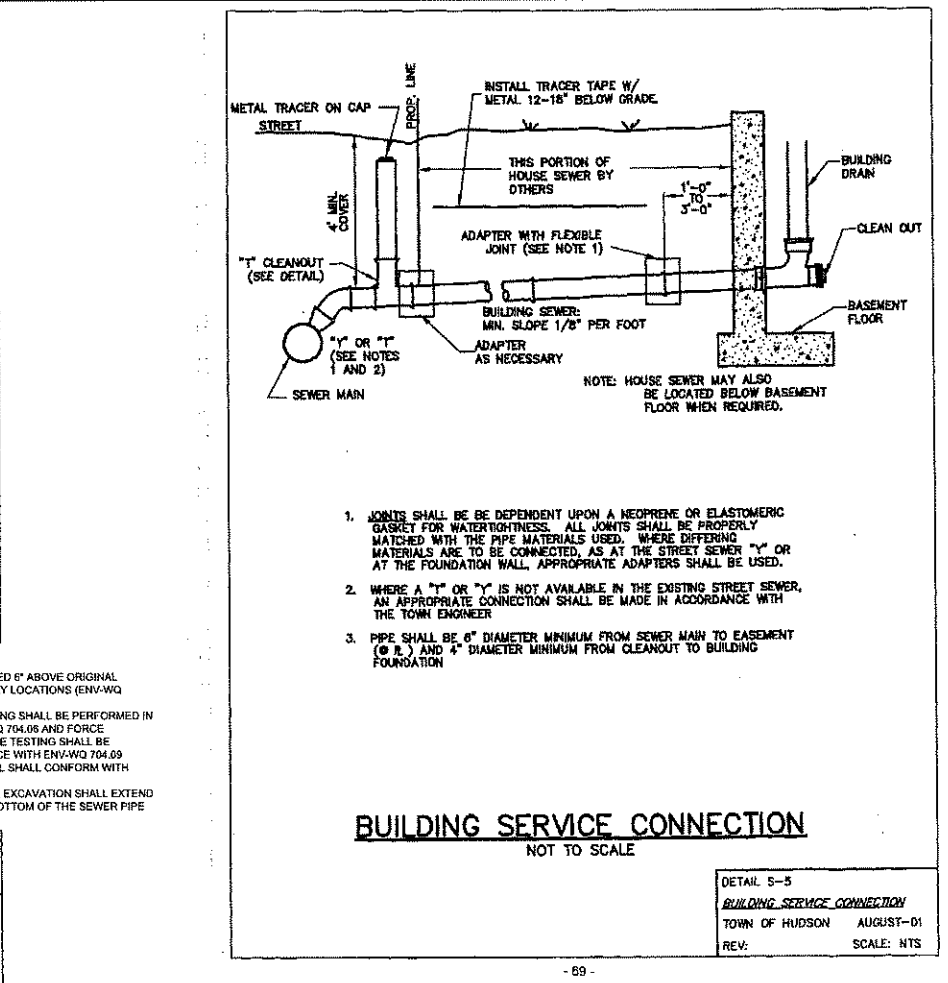


COVER PLATE

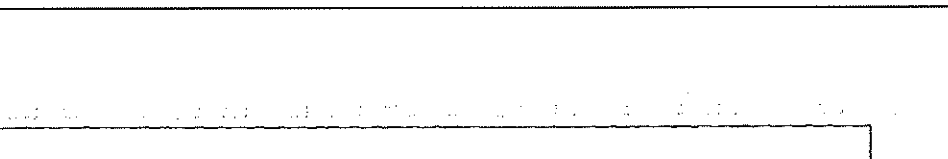
COVER SECTION

FRAME SECTION

SEWER MANHOLE COVER NOT TO SCALE

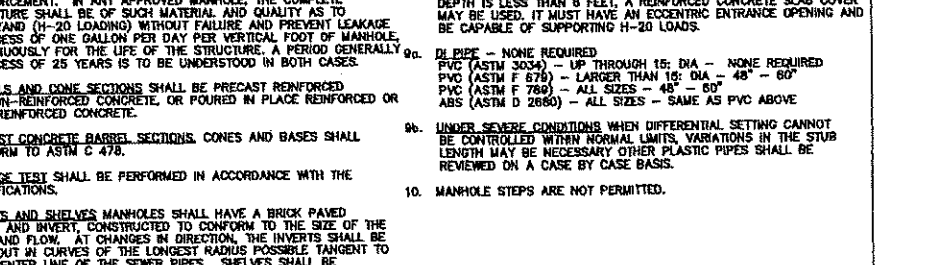


- NOTES:
1. JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER "Y" OR AT THE FOUNDATION WALL, APPROPRIATE ADAPTERS SHALL BE USED.
 2. WHERE A "Y" OR "Y" IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE IN ACCORDANCE WITH THE TOWN ENGINEER
 3. PIPE SHALL BE 6" DIAMETER MINIMUM FROM SEWER MAIN TO EASEMENT (Ø L) AND 4" DIAMETER MINIMUM FROM CLEANOUT TO BUILDING FOUNDATION



- NOTES:
1. ALL MANHOLES INCLUDING ALL COMPONENT PARTS, SHALL HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY BY THE ENGINEER FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS, WITH OR WITHOUT STEEL REINFORCEMENT, WITH ADEQUATE JOINTING, OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH OR WITHOUT REINFORCEMENT. IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
 2. BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED OR NON-REINFORCED CONCRETE, OR POURED IN PLACE REINFORCED OR NON-REINFORCED CONCRETE.
 3. PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C 478.
 4. LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS.
 5. INVERTS AND SHELVES MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAD OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE. CROWN AND SLOPE TO DRAIN TOWARD THE FLOW THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY. INVERTS AND SHELVES SHALL BE PLACED AFTER TESTING.
 6. FRAMES AND COVERS MANHOLE FRAMES AND COVERS SHALL PROVIDE A 30 INCH CLEAR OPENING. A 3 INCH (MINIMUM HEIGHT) LETTER "S" OR THE WORD "SEWER" SHALL BE CAST INTO THE TOP SURFACE. CASTINGS SHALL BE EVEN-GRAINED CAST IRON AND SHALL BE EQUAL TO CLASS 30, CONFORMING TO ASTM A 48.
 7. BEDDING SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33
100 PASSING 1 INCH SCREEN
90-100 PASSING 3/4 INCH SCREEN
20-55 PASSING 3/8 INCH SCREEN
0-10 PASSING #4 SIEVE
0-5 PASSING #8 SIEVE
WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1/2 TO 1-1/2 INCH SHALL BE USED.
 8. FLEXIBLE JOINT A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:
RCP & CI PIPE (ALL SIZES): 48"
AC & VC PIPE (UP THROUGH 12" DIA.): 18"
AC & VC PIPE (LARGER THAN 12" DIA.): 36"
 9. SHALLOW MANHOLE IN LIEU OF A DONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 8 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED. IT MUST HAVE AN ECCENTRIC ENTRANCE OPENING AND BE CAPABLE OF SUPPORTING H-20 LOADS.
 10. UNDER SEVERE CONDITIONS WHEN DIFFERENTIAL SETTING CANNOT BE CONTROLLED WITHIN NORMAL LIMITS, VARIATIONS IN THE STUR LENGTH MAY BE NECESSARY OTHER PLASTIC PIPES SHALL BE REVIEWED ON A CASE BY CASE BASIS.
 11. MANHOLE STEPS ARE NOT PERMITTED.

SEWER MANHOLE COVER NOT TO SCALE

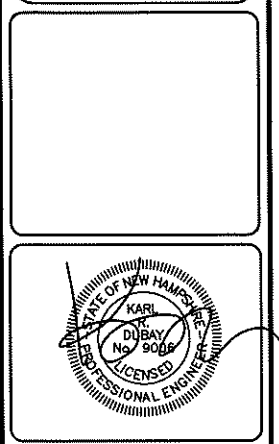


SEWER MANHOLE COVER NOT TO SCALE

SEWER MANHOLE COVER NOT TO SCALE

The Dubay Group, Inc.
84 Range Road
Windham, NH 03087
603-458-6452

Engineers
Planners
Surveyors
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REVISIONS:

REV:	DATE:	COMMENT:	BY:
2	5/14/19	MISC. REVS	SJK
3	5/21/19	MISC. SEWER PER NHDES	SJK

DRAWN BY: SJK
CHECKED BY: KR D
DATE: MAY 13, 2019
SCALE: AS SHOWN
FILE: 357-DETAILS1-3
DEED REF: -

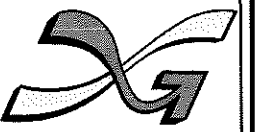
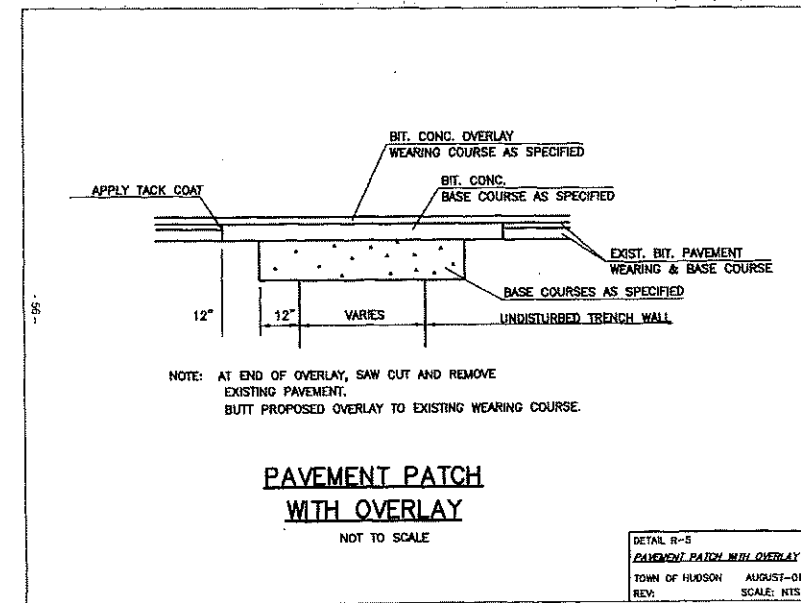
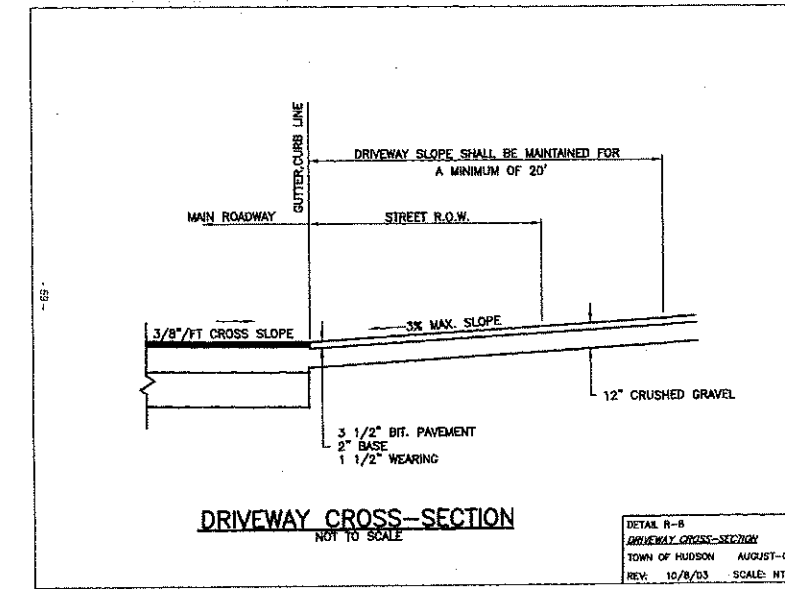
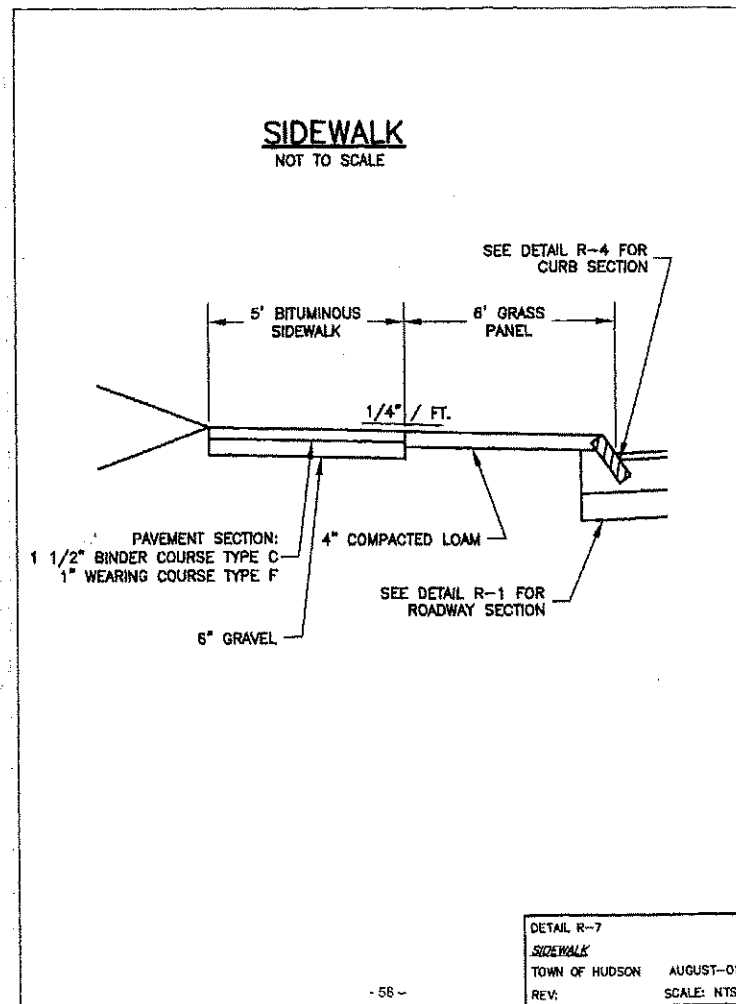
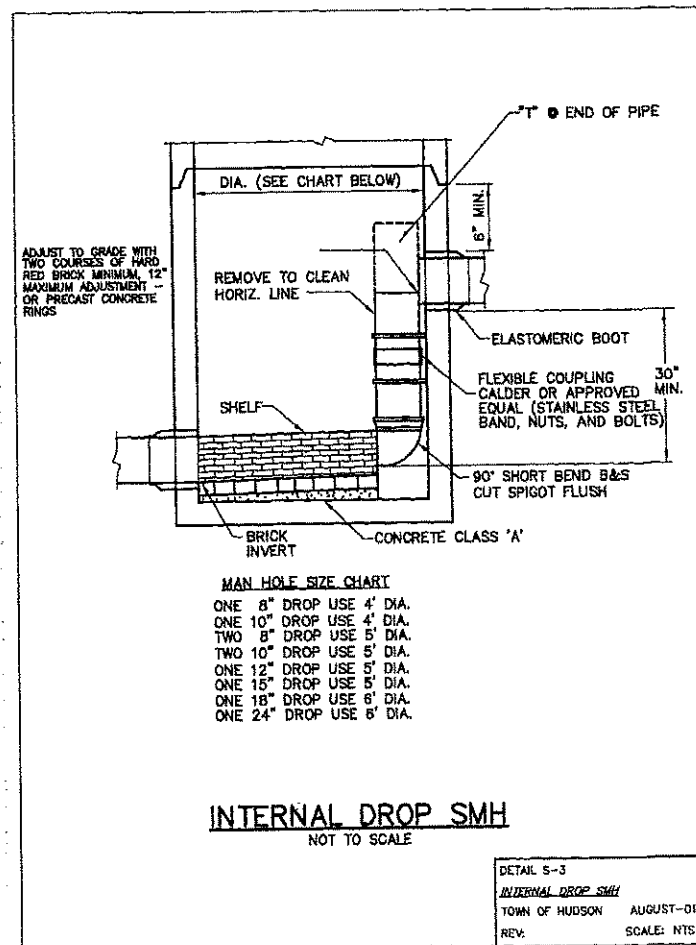
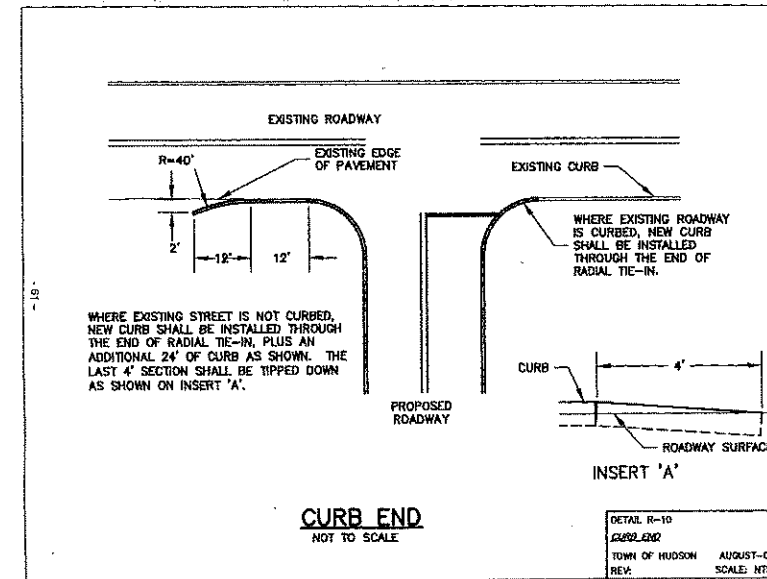
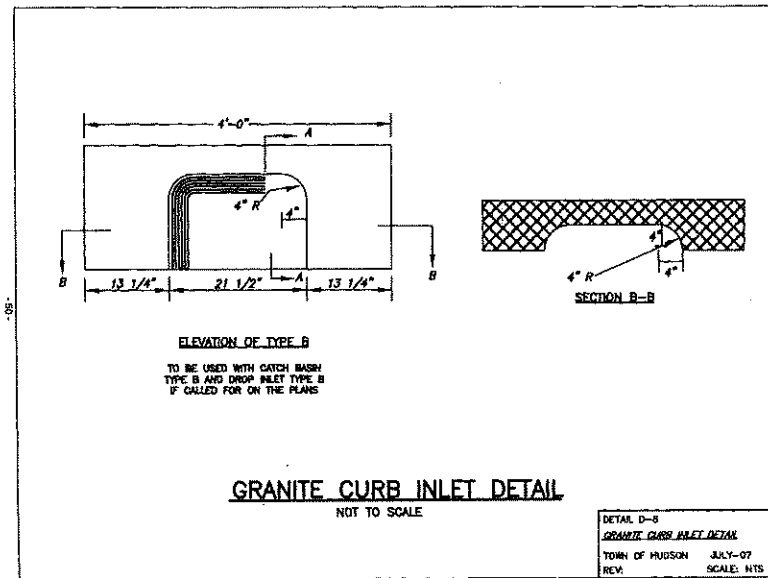
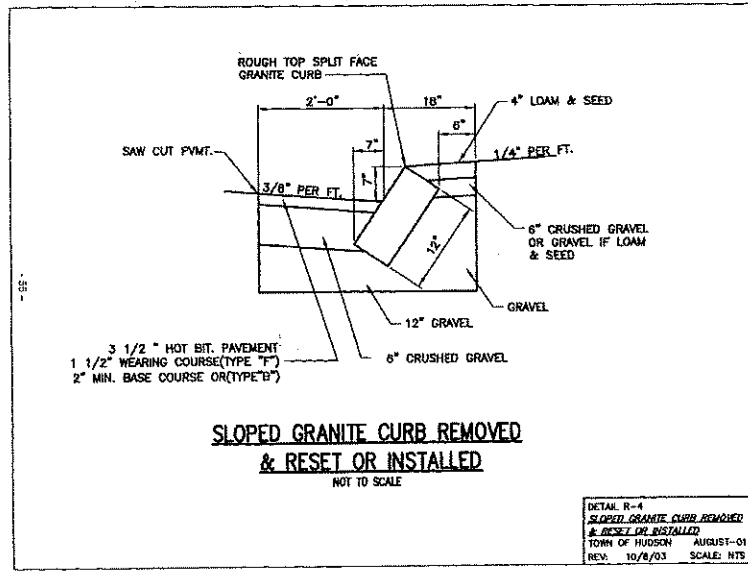
PROJECT:
FRIARS COURT
MAP 209 LOT 1
161 LOWELL ROAD
HUDSON, NH

FOR

DAKOTA
PARTNERS, INC.
1264 MAIN STREET
WALTHAM, MA 02451

SHEET TITLE:
SITE
DETAILS - 2

PROJECT #357 SHEET 18 of 33



The Dubay Group, Inc.

84 Range Road
Windham, NH 03087
603-458-6462

Engineers
Planners
Surveyors
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REVISIONS:			
REV#	DATE	COMMENT	BY
3	5/21/19	MISC. SEWER PER NHDES	SJK

DRAWN BY: SJK
CHECKED BY: KRJ
DATE: APRIL 29, 2019
SCALE: AS SHOWN
FILE: 357-DETAILS1-3
DEED REF: -

PROJECT:
FRIARS COURT
MAP 209 LOT 1
161 LOWELL ROAD
HUDSON, NH
FOR
DAKOTA PARTNERS, INC.
1264 MAIN STREET
WALTHAM, MA 02451

SHEET TITLE:
SITE DETAILS - 3

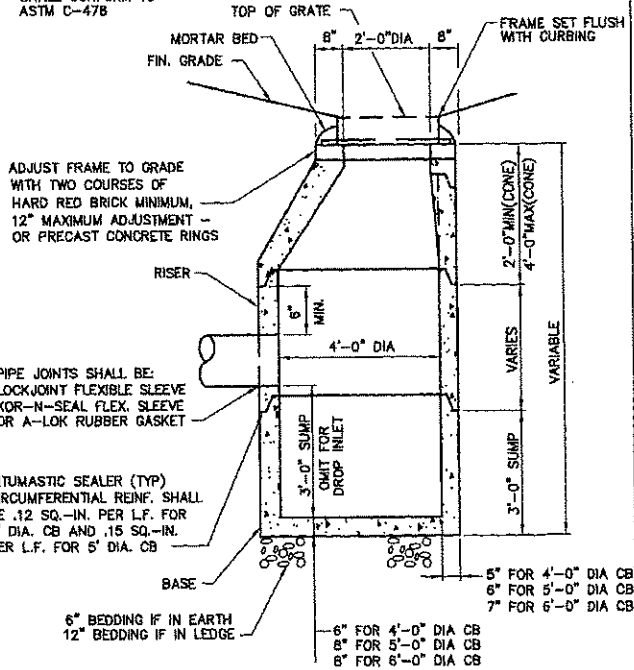
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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
CHAIRMAN _____ SIGNATURE DATE: _____
SECRETARY _____ SIGNATURE DATE: _____
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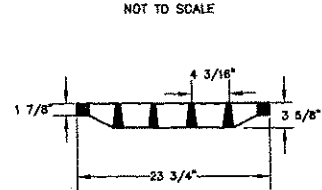
PRECAST REINFORCED CATCH BASIN
NOT TO SCALE

PRECAST SECTIONS SHALL CONFORM TO ASTM C-478

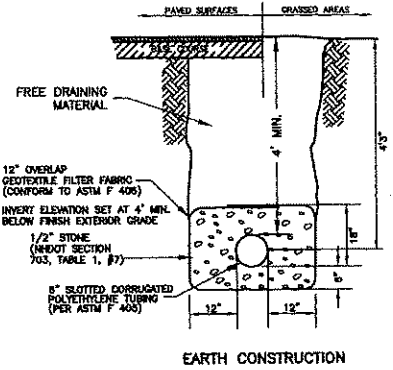


DETAIL D-2
PRECAST REINFORCED CATCH BASIN
TOWN OF HUDSON AUGUST-01
REV: SCALE: NTS

ON PAVEMENT CATCH BASIN GRATE
NOT TO SCALE



DETAIL D-7
ON PAVEMENT CATCH BASIN GRATE
TOWN OF HUDSON AUGUST-01
REV: SCALE: NTS



UNDERDRAIN
NOT TO SCALE

DETAIL R-8
UNDERDRAIN
TOWN OF HUDSON AUGUST-01
REV: SCALE: NTS



The Dubay Group, Inc.

84 Range Road
Windham, NH 03087
603-458-6462

Engineers
Planners
Surveyors
TheDubayGroup.com



REVISIONS:

REV#	DATE	COMMENT	BY:

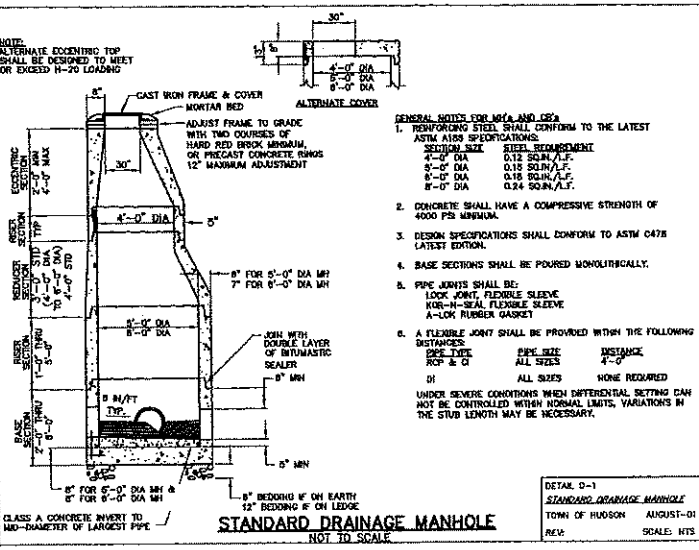
DRAWN BY: SJK
CHECKED BY: KRK
DATE: APRIL 29, 2019
SCALE: AS SHOWN
FILE: 357-DETAILS4-13
DEED REF: -

PROJECT:
**FRIARS COURT
MAP 209 LOT 1**
161 LOWELL ROAD
HUDSON, NH

FOR:

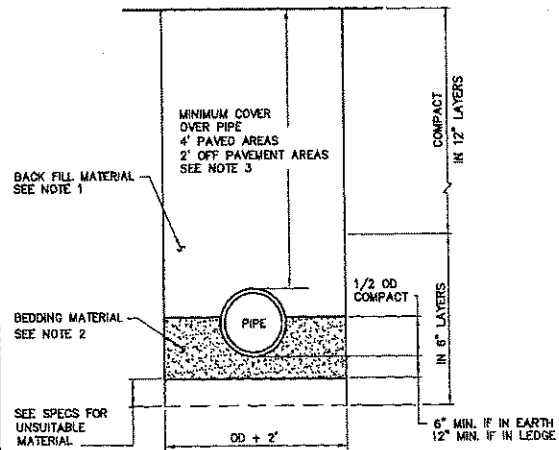
**DAKOTA
PARTNERS, INC.**
1264 MAIN STREET
WALTHAM, MA 02451

SHEET TITLE:
**SITE
DETAILS - 4**



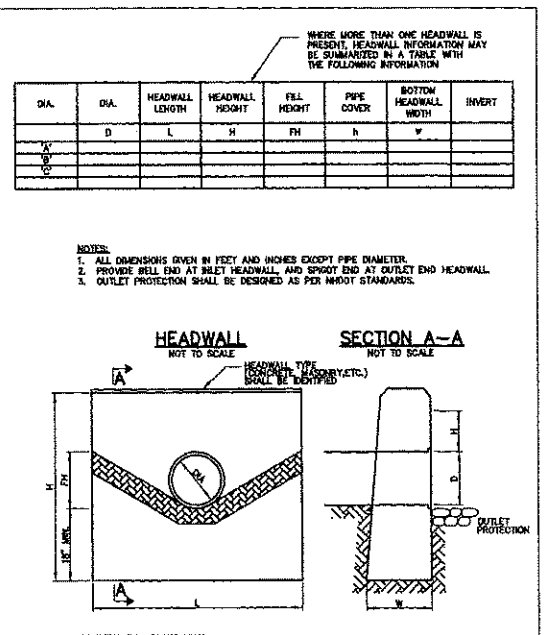
DETAIL D-1
STANDARD DRAINAGE MANHOLE
TOWN OF HUDSON AUGUST-01
REV: SCALE: NTS

DRAINAGE TRENCH - RCP
NOT TO SCALE



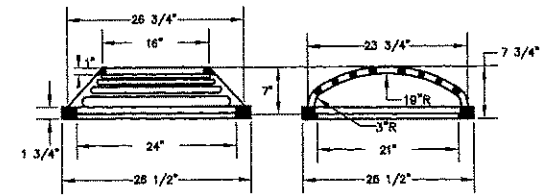
NOTES:
1. COMMON BORROW BACKFILL SHALL BE COMPACTED TO 90% PROCTOR. NO ROOTS OVER 6" IN DIAMETER ALLOWED.
2. BEDDING SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND METTING ASTM C33, STONE SIZE #87
100% PASSING 1" INCH SCREEN
90-100% PASSING 3/4" INCH SCREEN
20-50% PASSING 3/8" INCH SCREEN
0-10% PASSING #4 SIEVE
0-5% PASSING #8 SIEVE
WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED SCREENED GRAVEL OR CRUSHED STONE 1/2 TO 3/4 INCH SHALL BE USED.

DETAIL D-3
DRAINAGE TRENCH - RCP
TOWN OF HUDSON AUGUST-01
REV: SCALE: NTS



DETAIL D-5
HEADWALL
TOWN OF HUDSON AUGUST-01
REV: SCALE: NTS

OFF PAVEMENT CATCH BASIN GRATE
NOT TO SCALE



DETAIL D-6
OFF PAVEMENT CATCH BASIN GRATE
TOWN OF HUDSON AUGUST-01
REV: SCALE: NTS

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

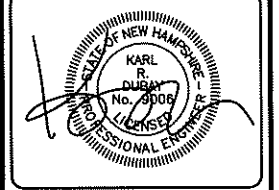
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

N:\PROJECTS\357-Dakota Lowell Rd. Hudson\DWG\CURRENT\357-DETAILS4-13.dwg



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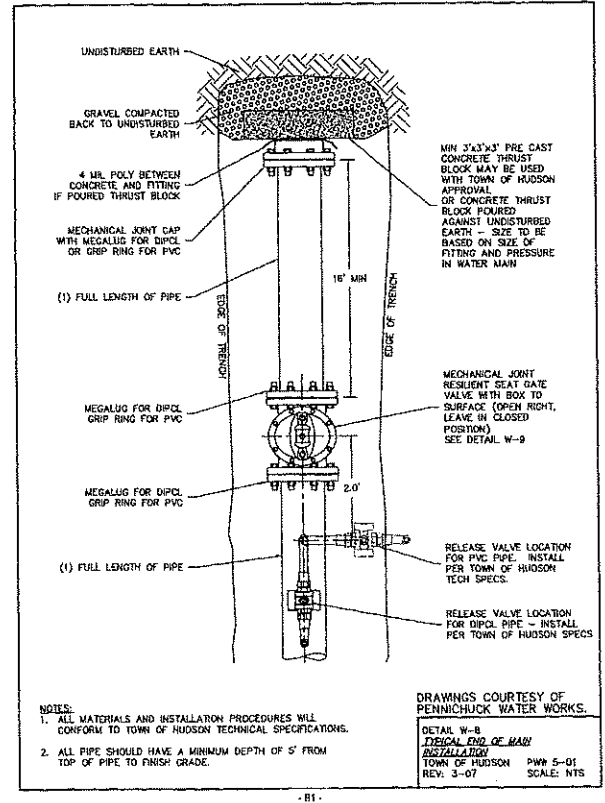
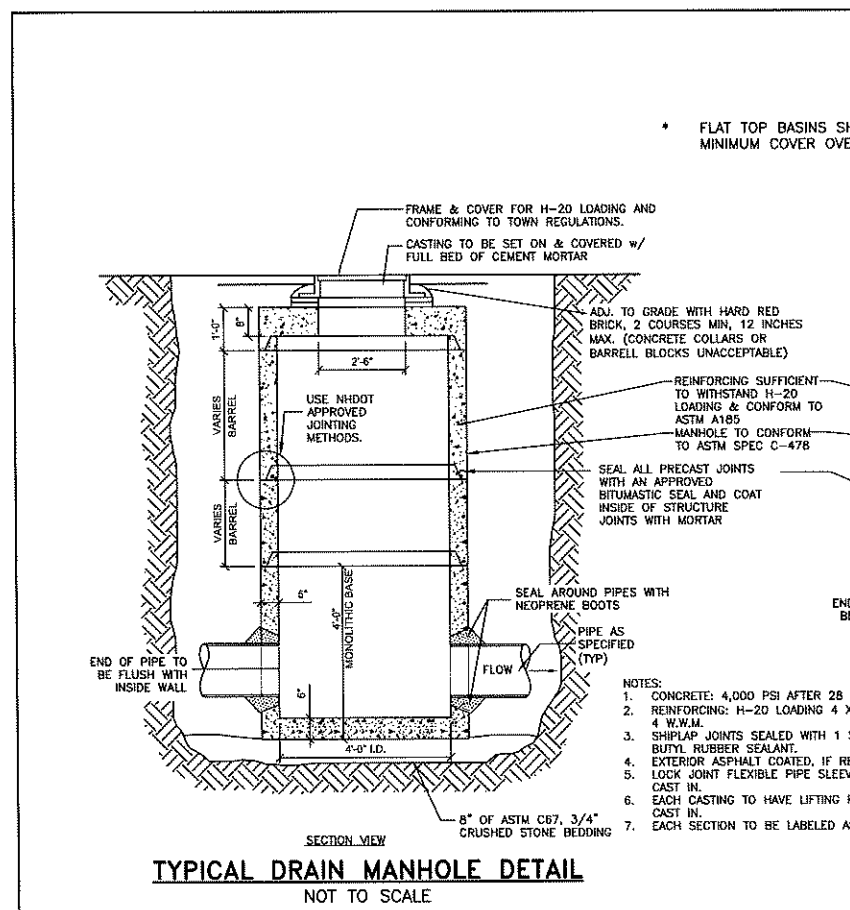
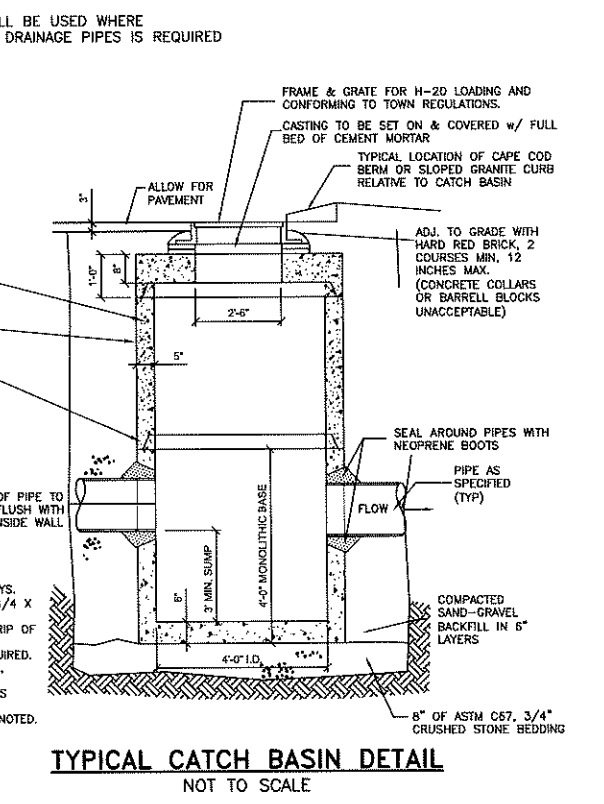
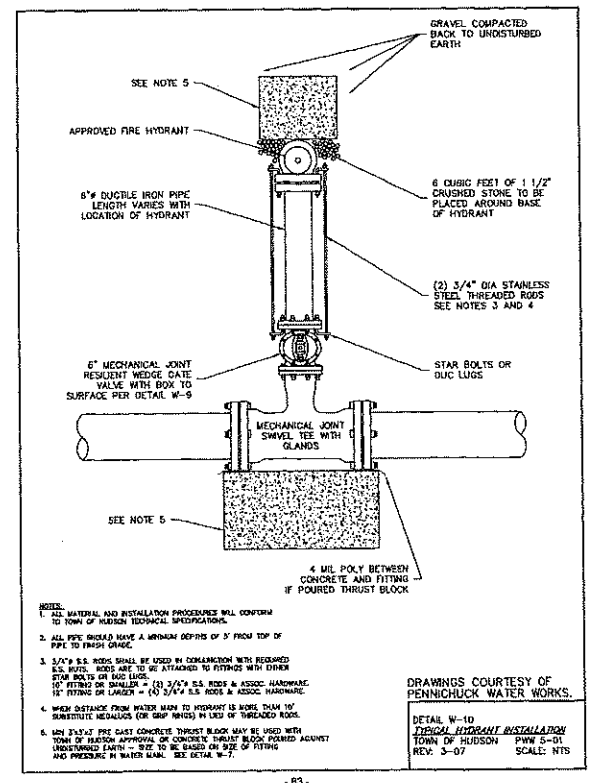
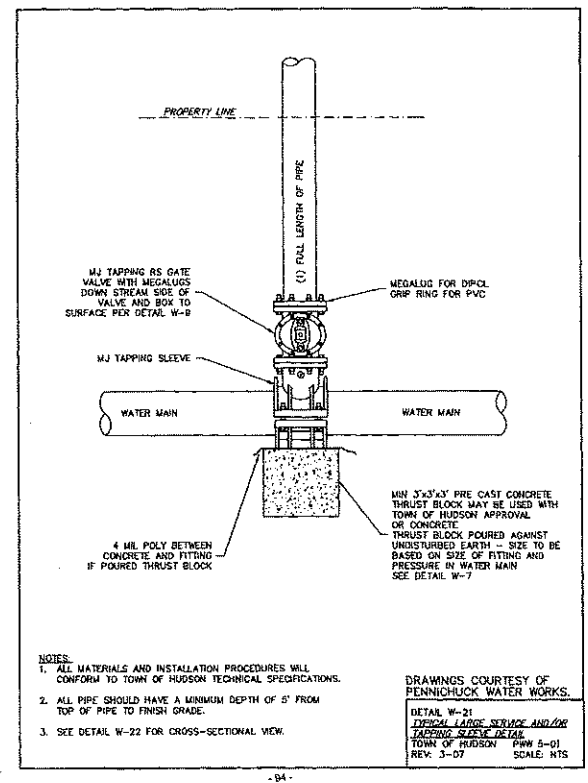
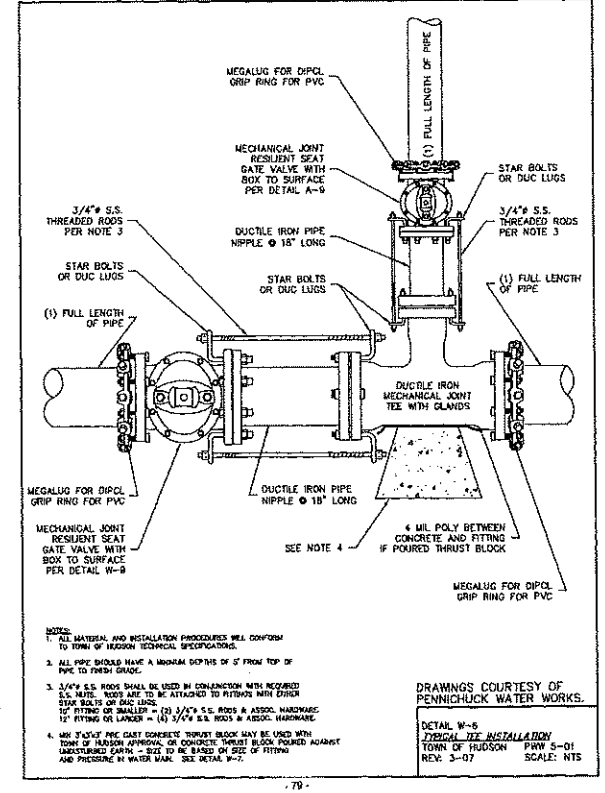
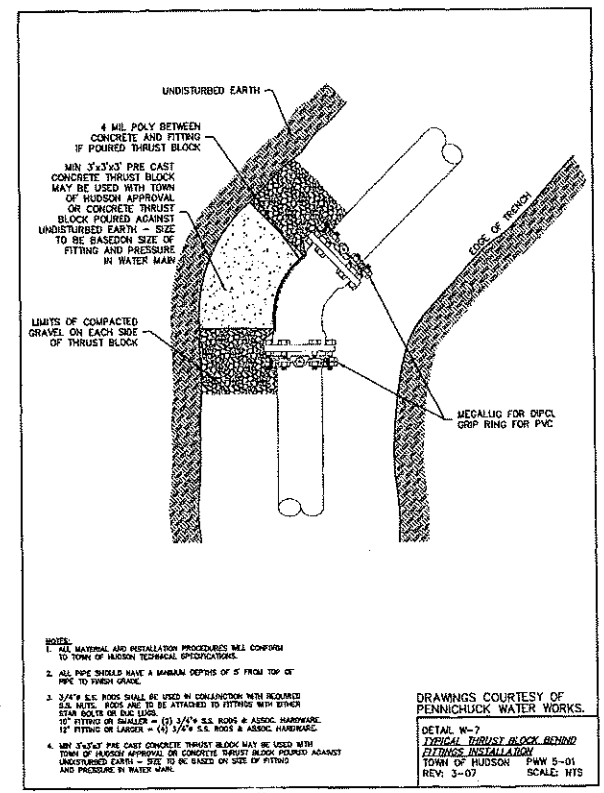
REVISIONS:			
REV.	DATE	COMMENT	BY
2	5/14/19	REV. PER DRAINAGE/GRADING MODS.	WA

DRAWN BY: SJK
CHECKED BY: KRJ
DATE: APRIL 29, 2019
SCALE: AS SHOWN
FILE: 357-DETAILS4-13
DEED REF: -

PROJECT:
**FRIARS COURT
MAP 209 LOT 1**
161 LOWELL ROAD
HUDSON, NH

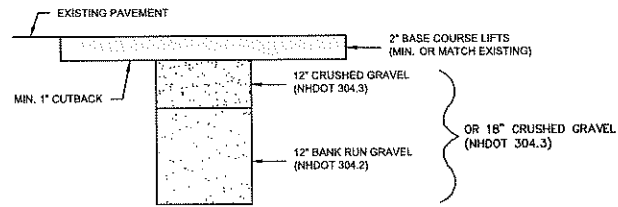
FOR
**DAKOTA
PARTNERS, INC.**
1264 MAIN STREET
WALTHAM, MA 02451

SHEET TITLE:
**SITE
DETAILS - 5**

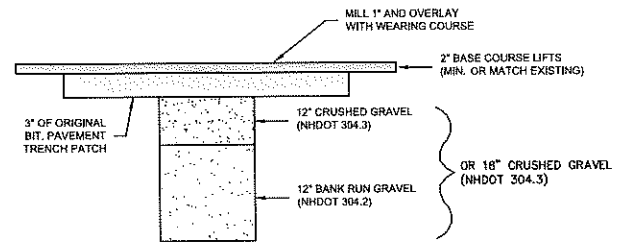


PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

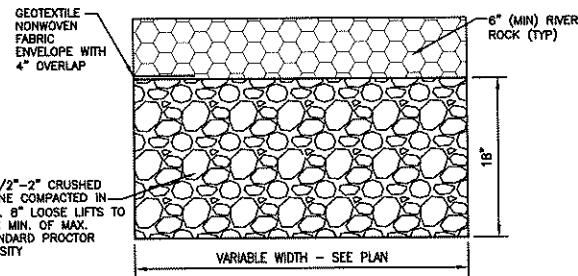
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



BITUMINOUS PAVEMENT TRENCH PATCH
NOT TO SCALE



MILL AND TRENCH OVERLAY
NOT TO SCALE



GENERAL NOTES:

- MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED. SEE ASTM D2321.
- FILTER FABRIC:** GEOTEXTILE FABRIC SHALL BE MIRA1 140N (OR APPROVED EQ.) TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
- FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE GEOTECHNICAL ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE GEOTECHNICAL ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.

TYPICAL ROOF RECHARGE SECTION (STONE DRIP EDGE)
NOT TO SCALE

RECHARGE SYSTEM MAINTENANCE REQUIREMENTS:

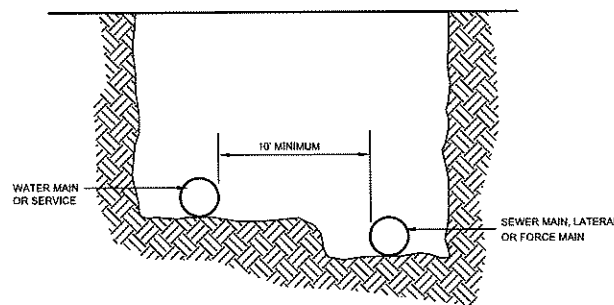
- REMOVAL OF DEBRIS FROM TRENCH AREA.
- REMOVAL OF ACCUMULATED SEDIMENT FROM TRENCH AREA.
- INSPECTION OF INFILTRATION COMPONENTS AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- IF AN INFILTRATION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE INFILTRATION TRENCH.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

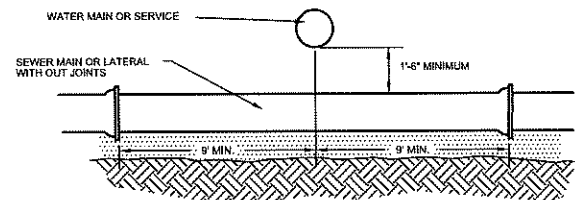
APPROVED BY THE HUDSON, NH PLANNING BOARD

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PARALLEL INSTALLATION

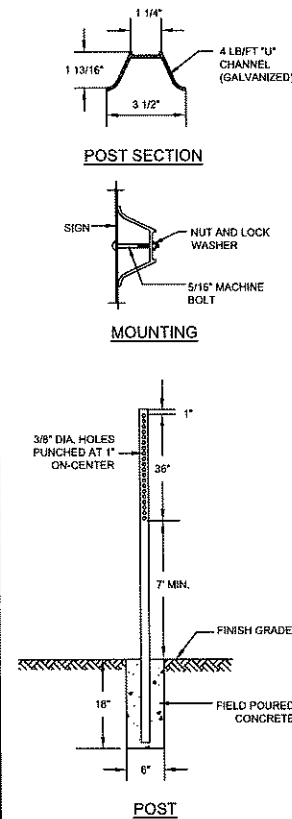


MAIN CROSSINGS

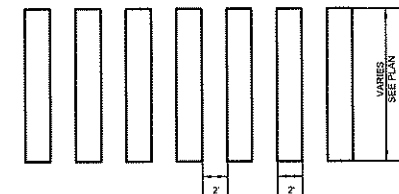
WATER PIPE/SEWER PIPE SEPARATION
NOT TO SCALE

IDENTIFICATION NUMBER	SIZE OF SIGN		TEXT	NUMBER OF PROPOSED SIGNS
	WIDTH	HEIGHT		
R1-1	30"	30"	STOP	6
R3-2	24"	24"	NO LEFT TURN	3
R4-7	18"	24"	ONE WAY	1
OM1-1	18"	18"	DIAMETER	1
R5-1	30"	30"	DO NOT ENTER	1
R3-2	24"	24"	NO LEFT TURN	1
R7-8P6	12"	6"	VAN ACCESSIBLE	8
R7-8	12"	18"	RESERVED PARKING	8

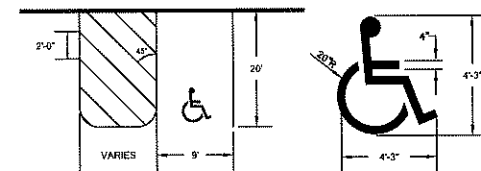
PROPOSED TRAFFIC SIGN INVENTORY
NOT TO SCALE



TYPICAL SIGN POST DETAIL
NOT TO SCALE



CROSSWALK MARKING

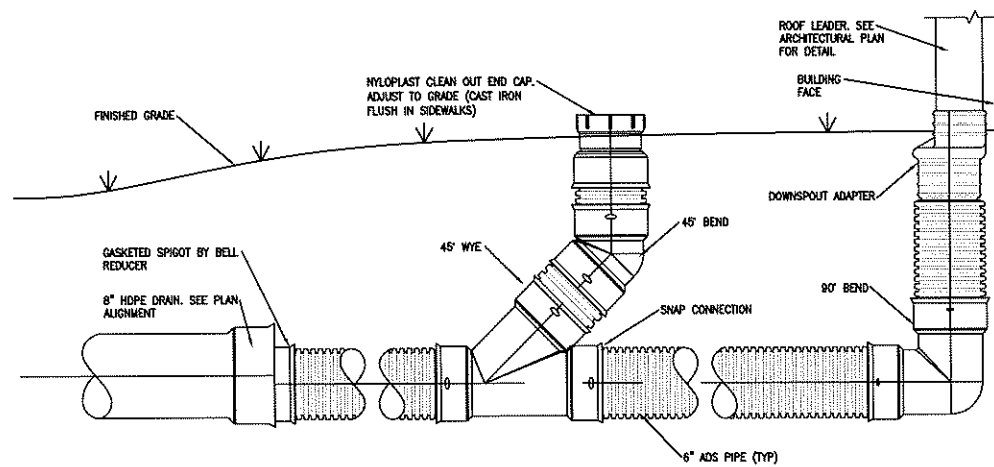


ACCESSIBLE PARKING

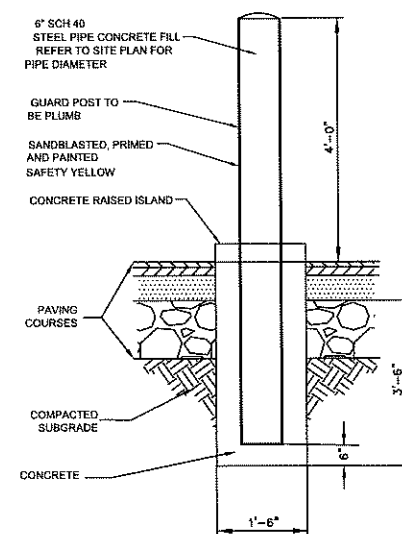
GENERAL NOTES:

- ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE CURRENT EDITION OF MUTCD.
- WIDTH OF LINES SHALL VARY NO MORE THAN + 1/4 INCH FROM THAT SPECIFIED.
- THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED.
- OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.
- STOP LINES & CROSSWALKS SHALL BE WHITE THERMOPLASTIC.
- CROSSWALK BARS SHALL BE 24" WIDTH AND 10" IN LENGTH WITH 24" SPACINGS.

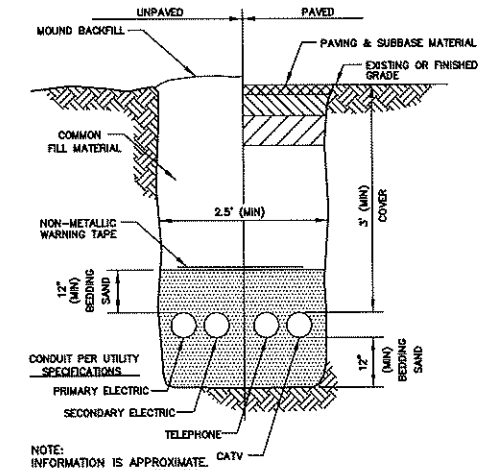
TYPICAL PAVEMENT STRIPING DETAILS
NOT TO SCALE



ADS ROOF DRAIN DETAIL
NOT TO SCALE



TYPICAL BOLLARD DETAIL
NOT TO SCALE



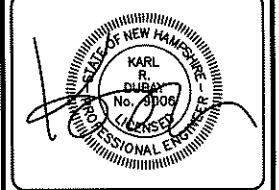
CONDUIT TRENCH DETAIL
NOT TO SCALE



The Dubay Group, Inc.

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Windham, NH 03087
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Engineers
Planners
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REVISIONS:			
REV.	DATE	COMMENT	BY
2	5/14/19	REV. PER DRAINAGE/GRADING MODS.	WA
4	6/5/19	REV. PER TOWN COMMENTS	SK

DRAWN BY: SKJ
 CHECKED BY: KRJ
 DATE: APRIL 29, 2019
 SCALE: AS SHOWN
 FILE: 357-DETAILS4-13
 DEED REF: -

PROJECT:

FRIARS COURT
MAP 209 LOT 1

161 LOWELL ROAD
HUDSON, NH

FOR
DAKOTA PARTNERS, INC.
1264 MAIN STREET
WALTHAM, MA 02451

SHEET TITLE:

SITE
DETAILS - 9



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REVISIONS:			
REV#	DATE	COMMENT	BY
1	5/6/19	MISC. REVS	WA
2	5/14/19	REV. PER DRAINAGE/GRADING MODS.	WA
4	6/5/19	REV. PER TOWN COMMENTS	JMM

DRAWN BY: SUK
CHECKED BY: KR D
DATE: APRIL 29, 2019
SCALE: AS SHOWN
FILE: 357-DETAILS4-13
DEED REF: -

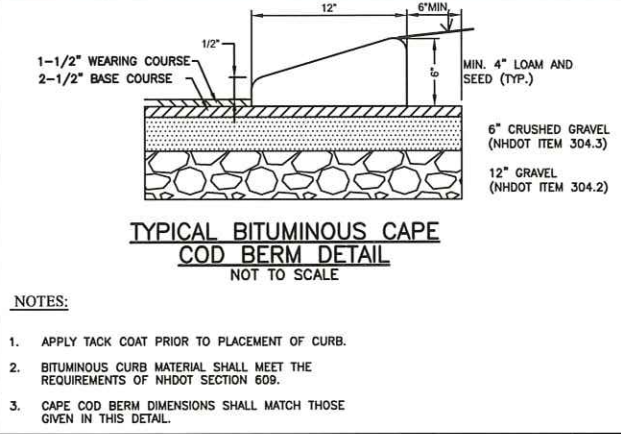
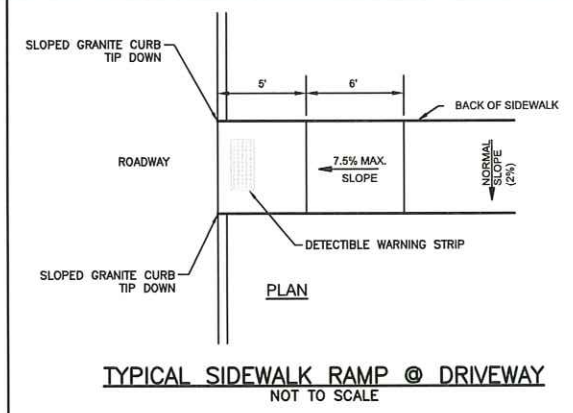
PROJECT:
**FRIARS COURT
MAP 209 LOT 1**
161 LOWELL ROAD
HUDSON, NH

FOR
**DAKOTA
PARTNERS, INC.**
1264 MAIN STREET
WALTHAM, MA 02451

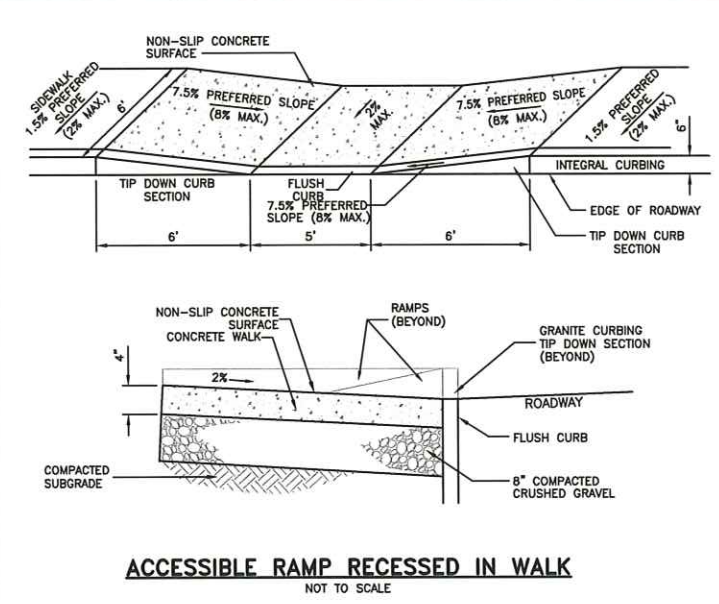
SHEET TITLE:

**SITE
DETAILS - 10**

PROJECT #357 SHEET 26 of 33

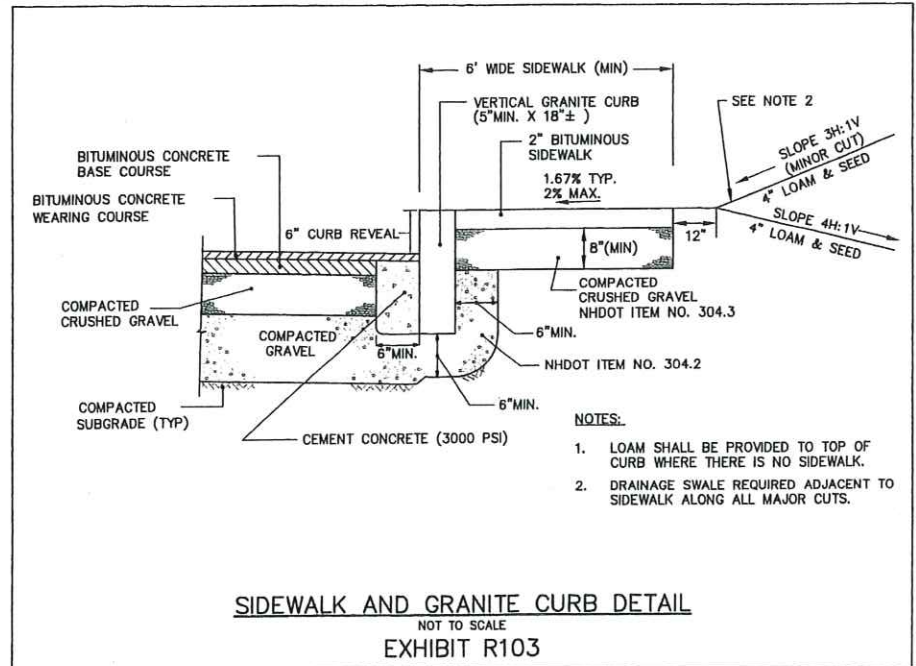
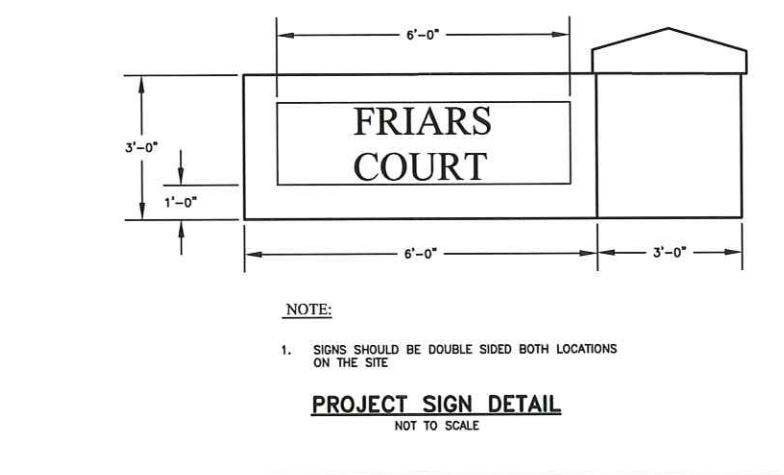
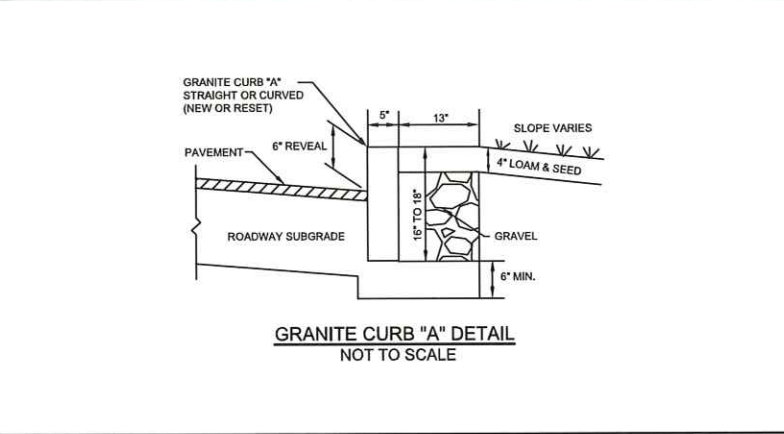


- NOTES:
1. APPLY TACK COAT PRIOR TO PLACEMENT OF CURB.
 2. BITUMINOUS CURB MATERIAL SHALL MEET THE REQUIREMENTS OF NHDOT SECTION 609.
 3. CAPE COD BERM DIMENSIONS SHALL MATCH THOSE GIVEN IN THIS DETAIL.



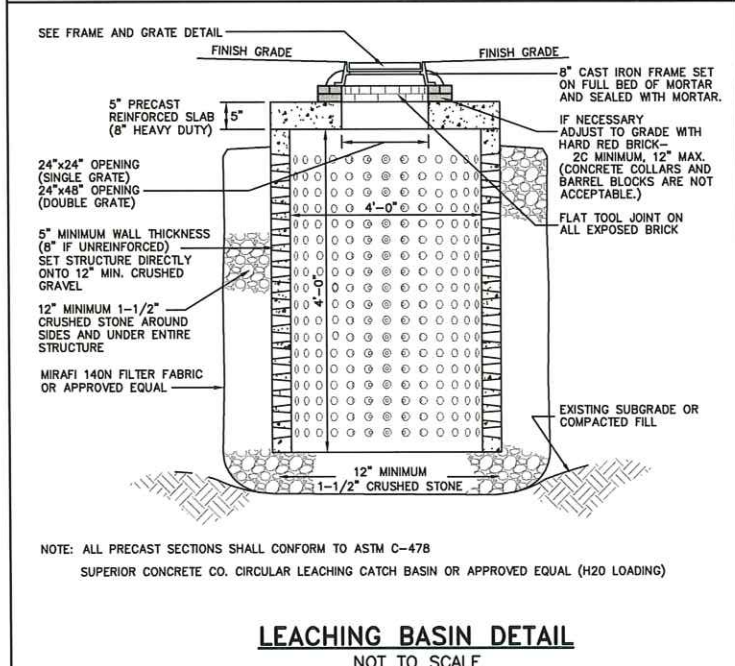
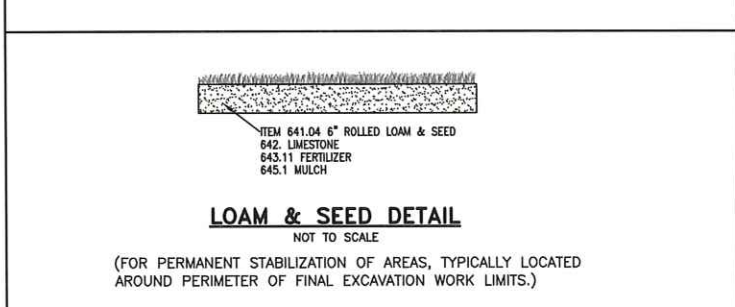
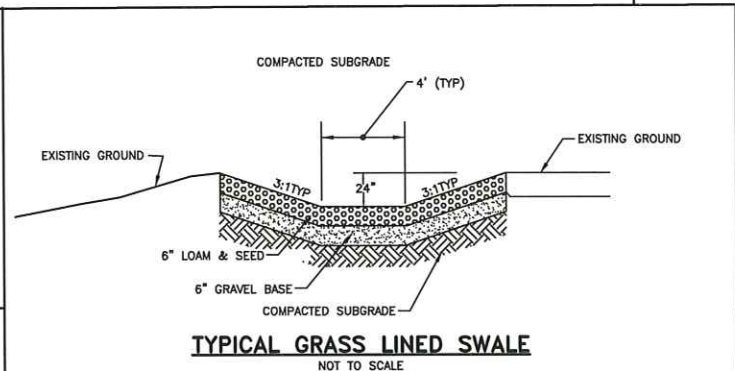
PIPE DIAMETER	DIMENSIONS, INCHES (MM)					
	PART No.	A ± 1 (25)	B MAX	H ± 1 (25)	L ± 1/2(13)	W ± 2 (50)
12 (15)	1210 NP	6.5 (165)	10 (254)	6.5 (165)	25 (635)	29 (736)
18 (450)	1810 NP	7.5 (190)	15 (380)	6.5 (165)	32 (812)	35 (890)
24 (600)	2410 NP	7.5 (190)	18 (450)	6.5 (165)	36 (900)	45 (1140)
30 (750)	3010 NP	10.5 (266)	NA	7.0 (178)	53 (1346)	68 (1735)
36 (900)	3610 NP	10.5 (266)	NA	7.0 (178)	53 (1346)	68 (1725)

FES-4 ORIFICE DETAIL NOT TO SCALE

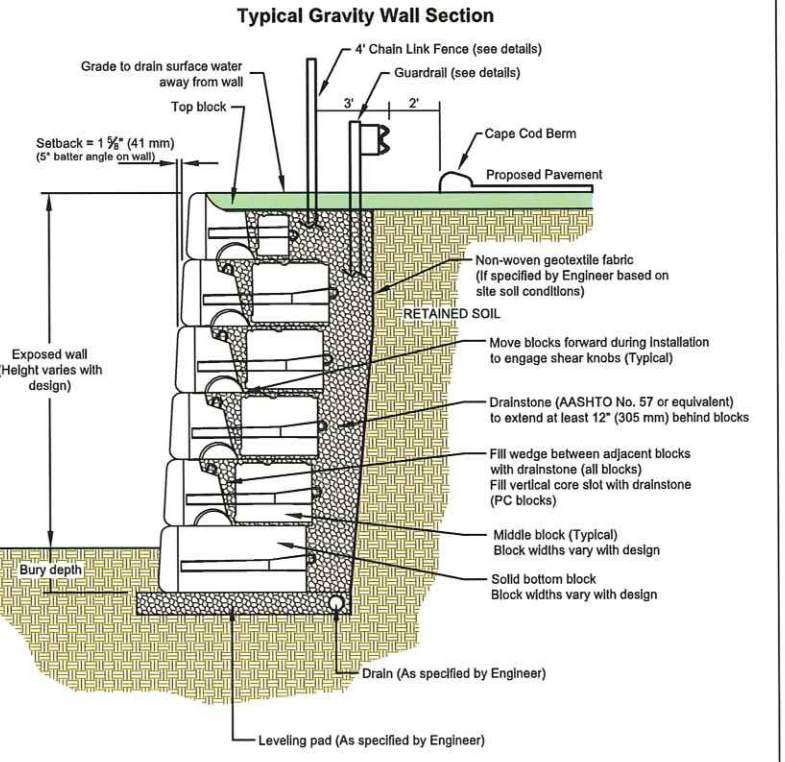


PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

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- NOTES
- THE STAMPED SHOP DRAWINGS AND CALCULATIONS FOR THE ACTUAL RETAINING WALL MUST BE PROVIDED FOR REVIEW AND APPROVAL PRIOR TO THE PROJECT PRE-CONSTRUCTION MEETING. THE PROVIDED PLANS AND CALCULATIONS MUST ADDRESS THE FOLLOWING CRITERIA:
1. DESIGN CALCULATIONS STAMPED BY A QUALIFIED PE LICENSED IN NH
 2. STABILITY CALCULATIONS (INCLUDING BEARING CAPACITY, GLOBAL STABILITY, OVERTURNING & SLIDING)
 3. GEOGRID PULLOUT AND OTHER PERTINENT DATA & EVALUATIONS
 4. CONSTRUCTION INSTALLATION SPECIFICATION
 5. LATERAL EARTH PRESSURE COEFFICIENT
 6. SURCHARGE LOAD, EMBEDMENT DEPTH
 7. BOTH A PLAN AND PROFILE OF EACH WALL SECTION
 8. GUARDRAIL/HANDRAIL DETAILS AND GEOGRID PENETRATION PROCEDURES
 9. THE LOCATION OF THE REQUIRED CHAIN LINK FENCE.



This drawing is for reference only. Determination of the suitability and/or manner of use of any details contained in this document is the sole responsibility of the design engineer of record. Final project designs, including all construction details, shall be prepared by a licensed professional engineer using the actual conditions of the proposed site.

Typical Gravity Wall Detail
(Shop Drawings Required)

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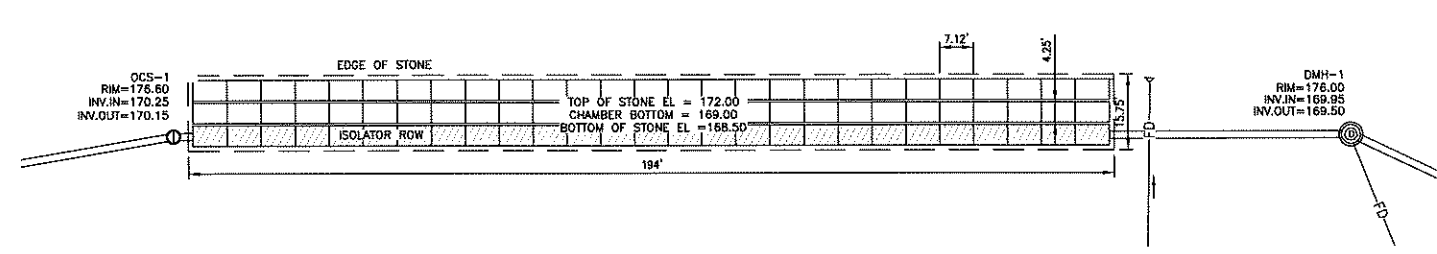
84 Range Road
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603-458-6462

Engineers

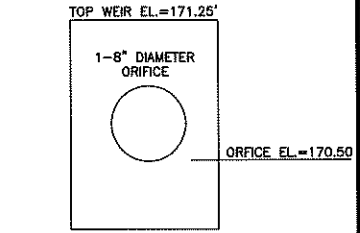
Planners

Surveyors

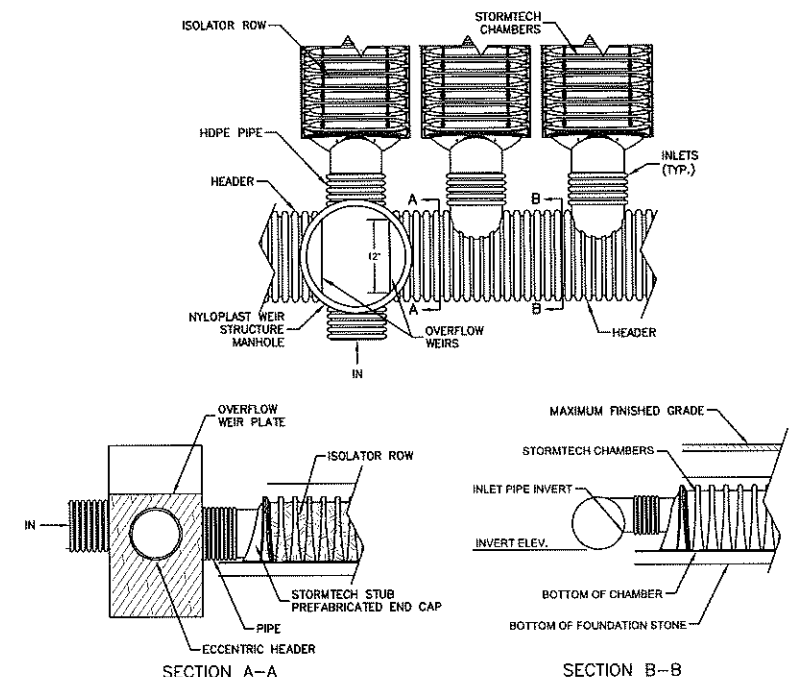
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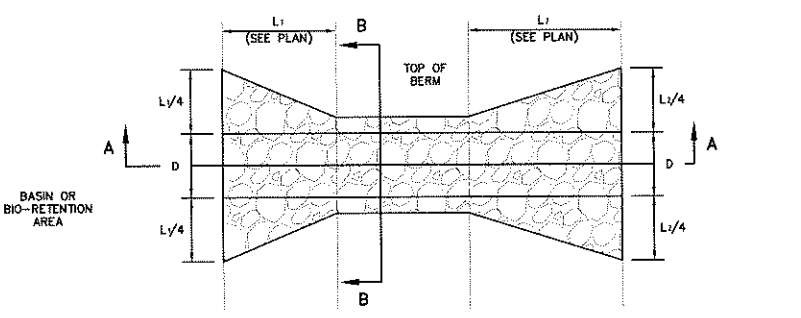
STORMTECH INFILTRATION POND (P2) DETAIL
NOT TO SCALE



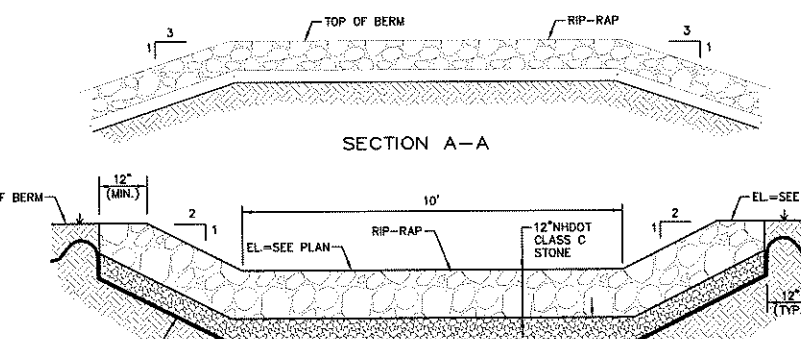
OCS-1 WEIR PLATE
DETAIL
NOT TO SCALE



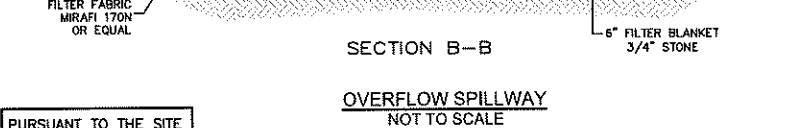
STORMTECH WEIR MANHOLE & INLET MANIFOLD
NOT TO SCALE



PLAN VIEW



SECTION A-A



OVERFLOW SPILLWAY
NOT TO SCALE

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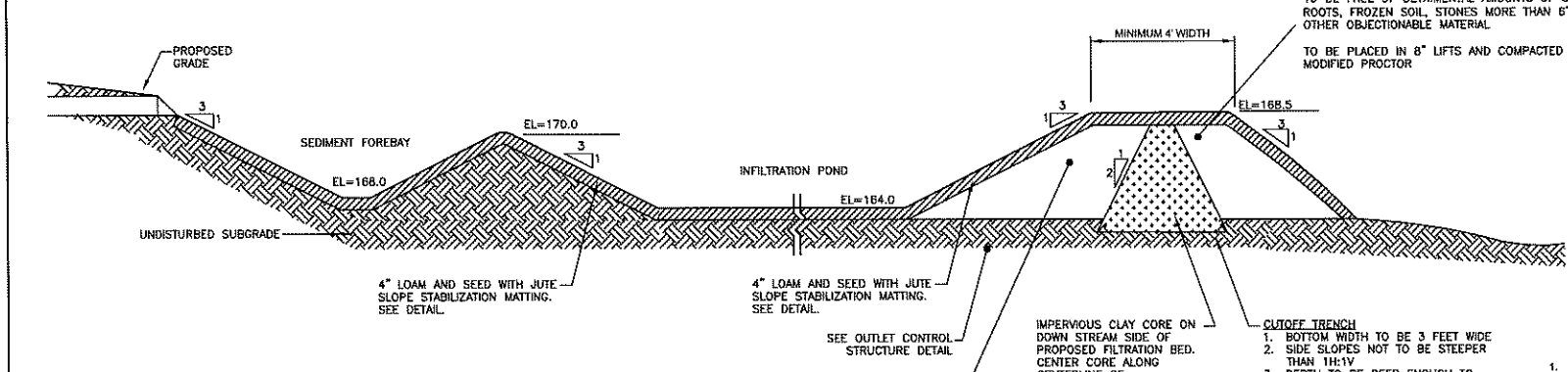
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CONSTRUCTION CRITERIA:

- 1. FOUNDATION PREPARATION - THE FOUNDATION AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOD, AND RUBBISH. IF NEEDED TO ESTABLISH VEGETATION, THE TOPSOIL AND SOD SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED DAM AND SPILLWAYS. FOUNDATION SURFACES SHALL BE SLOPED NO STEEPER THAN 1:1. THE FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IT SHALL BE COMPACTED IF NECESSARY SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE FOUNDATIONS.
2. FILL PLACEMENT - THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOD, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILLS), AND OTHER OBJECTIONABLE MATERIAL.
3. MOISTURE CONTROL - THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND MIXED UNTIL THE REQUIREMENT IS MET.
4. COMPACTION - CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION.
5. PROTECTION - A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS, SUCH AS MULCHES OR GRAVEL, MAY BE USED. IN SOME PLACES, TEMPORARY VEGETATION MAY BE USED UNTIL CONDITIONS PERMIT ESTABLISHMENT OF PERMANENT VEGETATION. THE EMBANKMENT AND SPILLWAY SHALL BE FENCED IF NECESSARY TO PROTECT THE VEGETATION.
6. CONCRETE - ALL CONCRETE SHALL MEET SPECIFICATIONS OF MHDOT CLASS 'A' CONCRETE UNLESS OTHERWISE NOTED.
7. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO INFILTRATION BASINS.
8. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION BASIN.
9. AFTER THE BASIN IS EXCAVATED TO FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
10. VEGETATION SHOULD BE ESTABLISHED IMMEDIATELY.
11. DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

MAINTENANCE:

- 1. EMBANKMENT - THE EMBANKMENT SHOULD BE INSPECTED ANNUALLY TO DETERMINE IF RODENT BURROWS, WET AREAS, OR EROSION OF THE FILL IS TAKING PLACE.
2. VEGETATION - THE VEGETATED AREAS OF THE STRUCTURE SHOULD BE PROTECTED FROM DRAINAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. LIME AND FERTILIZER SHOULD BE APPLIED AS NECESSARY AS DETERMINED BY SOIL TESTS. TREES AND SHRUBS SHOULD BE KEPT OFF THE EMBANKMENT AND EMERGENCY SPILLWAY AREAS.
3. INLETS - PIPE INLETS AND SPILLWAY STRUCTURES SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY. IF PIPES ARE COATED, THE COATING SHOULD BE CHECKED AND REPAIRED AS NECESSARY.
4. OUTLETS - PIPE OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY. IF EROSION IS TAKING PLACE THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE AFFECTED AREA OF THE OUTLET.
5. SEDIMENT - SEDIMENT SHOULD BE CONTINUALLY CHECKED IN THE BASIN, WHEN SEDIMENT ACCUMULATIONS REACH THE PREDETERMINED DESIGN ELEVATION, THEN THE SEDIMENT SHOULD BE REMOVED AND PROPERLY DISPOSED OF.
6. SAFETY INSPECTIONS - ALL PERMANENT IMPOUNDMENTS SHOULD BE INSPECTED BY A QUALIFIED PROFESSIONAL ENGINEER ON A PERIODIC BASIS. IF THERE IS A POTENTIAL FOR SIGNIFICANT DAMAGE OR LOSS OF LIFE DOWNSTREAM, THEN THE INSPECTION SHOULD BE CARRIED OUT ANNUALLY. THE DESIGNATED INDIVIDUAL OR GROUP SHOULD ALSO MAKE INSPECTIONS AFTER EVERY MAJOR STORM EVENT.



INFILTRATION POND (P1)
TYPICAL POND SECTION & PRINCIPLE
SPILLWAY PROFILE DETAILS
NOT TO SCALE

RECHARGE BASIN NOTES:

- 1. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASIN.
2. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION BASIN.
3. AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
4. VEGETATION SHOULD BE ESTABLISHED IMMEDIATELY.
5. DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

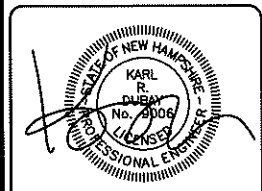


Table with columns: REV#, DATE, COMMENT, BY. Row 1: 2, 5/14/19, REV. PER DRAINAGE/GRADING MODS., WA.

DRAWN BY: SJK
CHECKED BY: KRJ
DATE: APRIL 29, 2019
SCALE: AS SHOWN
FILE: 357-DETAILS4-13
DEED REF: -

PROJECT:
FRIARS COURT
MAP 209 LOT 1
161 LOWELL ROAD
HUDSON, NH

FOR
DAKOTA
PARTNERS, INC.
1264 MAIN STREET
WALTHAM, MA 02451

SHEET TITLE:
SITE
DETAILS - 11

Anti-Icing

NH Best Management Practices

GET OUT EARLY

Typically anti-icing is most effective if applied 1-2 hours before the precipitation begins however it can be applied up to 24 hours in advance.

TRY IT FIRST

Try anti-icing for the first time? Make a 23.3% brine solution and before a storm spray pavement on your own property using a masonry paint sprayer. Use this experiment to determine how best to use it with your clients.

LEAVE SOME PAVEMENT BARE

It's always best to use stream nozzles instead of fan tip to avoid creating a slippery condition. If the anti-icing liquid freezes the bare pavement will still provide a traction surface.

USE A FILTER

Having a filter in your liquid dispensing system will reduce clogs in your nozzle. Automotive in-line fuel filters work great well. If your liquid dispenser is not functioning properly be sure to check the filter first.

A Proactive Treatment

Anti-icing before a storm is very similar to using a non-stick spray on a pan before cooking. Just like a non-stick spray prevents food from bonding to the pan, anti-icing prevents snow and ice from bonding to the pavement so that it can be plowed away. Anti-icing can save you money as it costs 50% less than reactive deicing.



Make Your Own Salt Brine

When making brine it is important to add enough salt to produce a 23.3% solution which freezes around 0°F. Roughly 2.5lb per gallon of water will produce a 23.3% solution. You can verify using a salometer (-\$20) a 23.3% solution will have a specific gravity of 1.176, or 85% salinity. Consult the Brine Making BMP sheet for more info.



Produced in partnership with:



NHDES ANTI-ICING BEST MANAGEMENT PRACTICES
NOT TO SCALE

ENVIRONMENTAL Fact Sheet

NEW HAMPSHIRE DEPARTMENT OF Environmental Services

29 Hazen Drive, Concord, New Hampshire 03301 • (603) 271-3503 • www.des.nh.gov

WMB-3

2007

Snow Disposal Guidelines

Introduction

During each snowfall season from November to April, the Department of Environmental Services receives many complaints related to snow disposal into and/or near surface water. There are several different concerns regarding disposal of snow cleared from streets and parking lots. These can be initially categorized as aesthetic concerns, such as minimizing the visibility of debris and huge snow piles, and environmental concerns, such as protection of groundwater quality, surface water quality, and aquatic life.

The environmental effects of disposed snow result from high levels of sodium chloride, sand, debris and contaminants from automobile exhaust. It is the debris contained in plowed snow that makes it illegal to dump snow directly in water bodies. RSA 485-A:13.(a) prohibits discharging wastes to surface waters without a permit. Groundwater is sensitive to snow dumping due to the high levels of sodium chloride in plowed snow. RSA 485-C:12 prohibits the siting or operation of snow dumps within classified wellhead protection areas.

Refer to the following guidelines for siting legal snow dumps and protecting the environment.

Recommended Guidelines for Snow Disposal

By following these guidelines you will find a safe place to dump plowed snow. Please note that snow dumps are kept out of water bodies due to litter and debris. Litter and debris do not belong on the land surface either; after the snow melts, all litter and debris must be collected and disposed of properly.

- Disposed snow should be stored near flowing surface waters, but at least 25 feet from the high water mark of the surface water.
- A silt fence or equivalent barrier should be securely placed between the snow storage area and the high water mark.
- The snow storage area should be at least 75 feet from any private water supply wells, at least 200 feet from any community water supply wells, and at least 400 feet from any municipal wells. (Note: Snow storage areas are prohibited in wellhead protection areas [class GAA groundwater].)
- All debris in the snow storage area should be cleared from the site prior to snow storage.
- All debris in the snow storage area should be cleared from the site and properly disposed of no later than May 15 of each year the area is used for snow storage.

For more information about snow storage contact DES Watershed Management Bureau at (603) 271-2457.

SNOW DISPOSAL GUIDELINES & RECOMMENDED PRACTICES

NOT TO SCALE

Pavement Temp. (°F) and Trend (↑ ↓)	Weather Condition	Maintenance Actions	Application Rate (lbs/per 1000 sq.ft.)			
			Salt Pretreated/Pre-treated with salt brine	Salt Pretreated/Pre-treated with other blends	Dry salt	Winter sand
>30 ↑	Snow	Plow, treat Intersections only	4.5	4	4.5	Not recommended
	Frz. Rain	Apply chemical	5.75	5.25	6.5	Not recommended
30 ↓	Snow	Plow and apply chemical	5.75	5.25	6.5	Not recommended
	Frz. Rain	Apply chemical	6.5	5.75	7	Not recommended
25 - 30 ↑	Snow	Plow and apply chemical	5.75	5.25	6.5	Not recommended
	Frz. Rain	Apply chemical	6.5	5.75	7	Not recommended
25 - 30 ↓	Snow	Plow and apply chemical	5.75	5.25	6.5	Not recommended
	Frz. Rain	Apply chemical	7	6.5	8.25	10.5
20 - 25 ↑	Snow or frz. Rain	Plow and Apply chemical	7	6.5	8.25	10.5 for frz. Rain
20 - 25 ↓	Snow	Plow and apply chemical	5.75	7.5	9.5	Not recommended
	Frz. Rain	Apply chemical	7	7.5	10	10.5
15 - 20 ↑	Snow	Plow and apply chemical	7.5	7.5	9.5	Not recommended
	Frz. Rain	Apply chemical	8.75	7.5	10	10.5
15 - 20 ↓	Snow or Frz. Rain	Plow and apply chemical	8.25	7.5	10	10.5 for frz. Rain
0 to 15 ↑ ↓	Snow	Plow, treat with blends, sand hazardous areas	Not recommended	10	Not recommended	13 and spot-treat as needed
< 0	Snow	Plow, treat with blends, sand hazardous areas	Not recommended	23	Not recommended	13 and spot-treat as needed

Table 19. Application Rates for Deicing

The format and methodology are based on (Mn Snow & Ice Control Field Handbook, Manual 2005-1). Develop your own application rates by adjusting your current rates incrementally downward toward these guidelines. Where temperature categories overlap, select the rate most applicable to your situation.

DEICING APPLICATION RATES

NOT TO SCALE

NOTES:

1. THE SITE SNOW MANAGEMENT VENDOR SHALL BE A NH CERTIFIED GREEN SNOW PRO APPLICATOR AND BE PROPERLY TRAINED IN ACCORDANCE WITH RSA 489-C AND Env-Wq 2200 PRIOR TO COMMENCING ANY SNOW MANAGEMENT OR DEICING PRACTICES.
2. REFER TO Env-Wq 2203 FOR ADDITIONAL INFORMATION ON THE COMMERCIAL APPLICATORS CERTIFICATION PROCESS AND PROCEDURES.

PROHIBITED ON PERVIOUS PAVEMENT AREAS. PROVIDE PROTECTIVE SIGNAGE AND SPECIFIC VENDOR/APPLICATOR TRAINING

REVISIONS:

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 DATE: APRIL 29, 2019
 SCALE: AS SHOWN
 FILE: 357-DETAILS4-13
 DEED REF: -

PROJECT:

FRIARS COURT MAP 209 LOT 1
 161 LOWELL ROAD
 HUDSON, NH

FOR
DAKOTA PARTNERS, INC.
 1264 MAIN STREET
 WALTHAM, MA 02451

SHEET TITLE:

SITE DETAILS - 13

PROJECT #357 SHEET 29 of 33

ENVIRONMENTAL Fact Sheet

NEW HAMPSHIRE DEPARTMENT OF Environmental Services

29 Hazen Drive, Concord, New Hampshire 03301 • (603) 271-3503 • www.des.nh.gov

WD-DWGB-22-30

2011

Storage and Management of Deicing Materials

Storage and management of deicing material can be a source of contamination of surface water and groundwater, causing a violation of state water quality standards. These salt-based products dissolve in precipitation and either infiltrate through the ground surface to groundwater, or run off into surface water. Salt that infiltrates the subsurface at significant concentrations can also react with the soils and release metals into groundwater and surface water at concentrations that exceed water quality standards.

The term "deicing material" used here refers to deicing salts, and may include any of the following in either solid or liquid form: sodium chloride (often called rock salt), potassium chloride, calcium chloride, magnesium chloride, and other mixtures that contain salts (chlorides) including mixtures with abrasives, such as sand, cinder, slag, etc.

Need for Proper Management

Due to their high potential for causing groundwater and surface water pollution, salt storage facilities should not be placed in environmentally sensitive areas. The best strategy to prevent pollution from deicing materials and the associated liability is to use and store these materials responsibly. Facilities should develop good housekeeping practices to minimize loss and waste during the delivery, storage, and management of deicing materials.

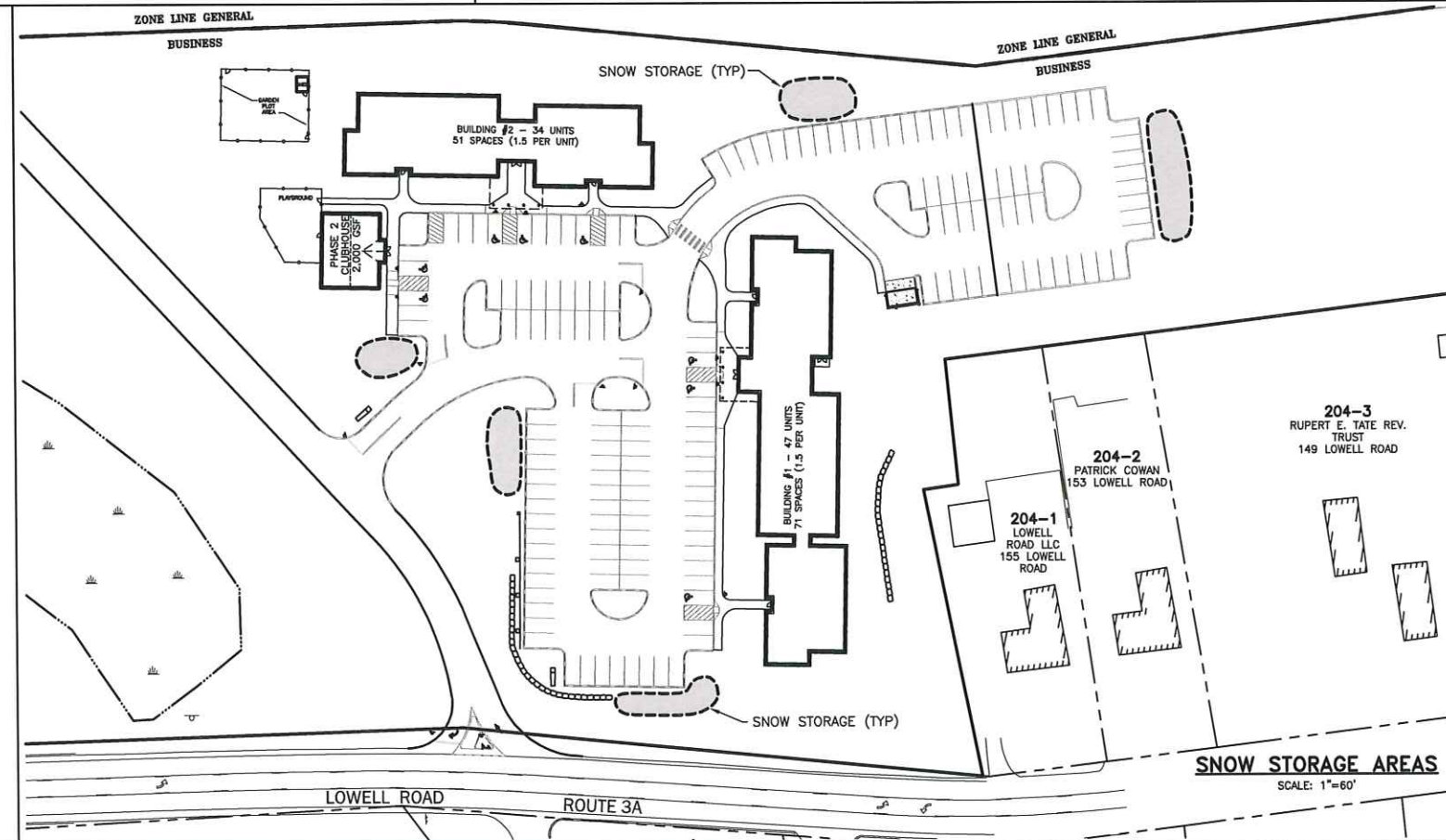
Existing and new facilities that operate without impermeable surfaces and infiltrate brine to the ground or groundwater need to register with DES under Env-Wq 402 Groundwater Discharge Permit and Registration Rules. This is a free registration and is a method of tracking potential contaminant sources. If there are sensitive receptors nearby, some sites may be required to monitor drinking water wells and/or the groundwater. The registration form can be found at: http://des.nh.gov/organization/divisions/water/dwgb/dwsgp/bmrs/documents/floor_drain_form.pdf.

Best management practices (BMPs) for locating a new deicing materials storage facility should include the following:

- The facility should be located in an area that is not environmentally sensitive. Avoid areas where there are wells, reservoirs, or within the footprint of stratified-drift aquifers.
- The facility should be located on a flat site away from surface water and wetlands.
- Site drainage should be designed to direct clean stormwater away from the operations and storage areas in order to keep the stockpiles as dry as possible.

DEICING GUIDELINES

NOT TO SCALE



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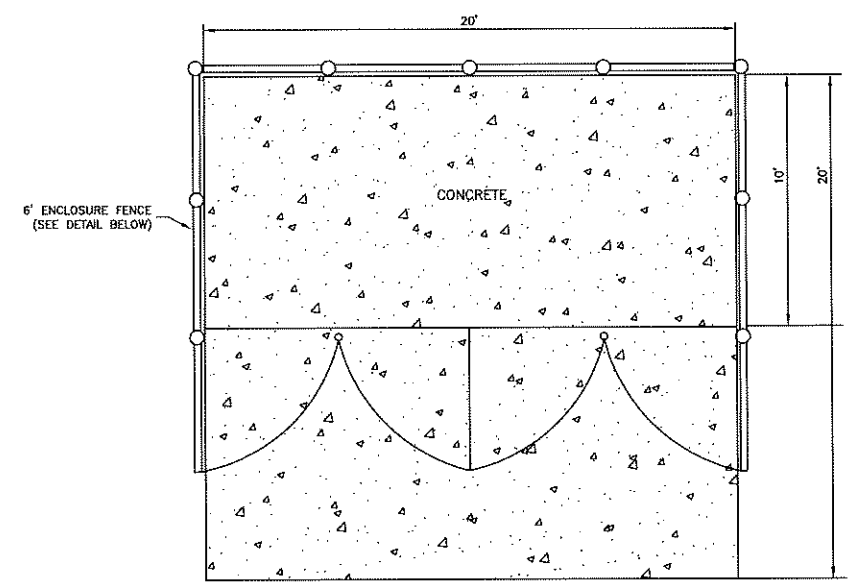
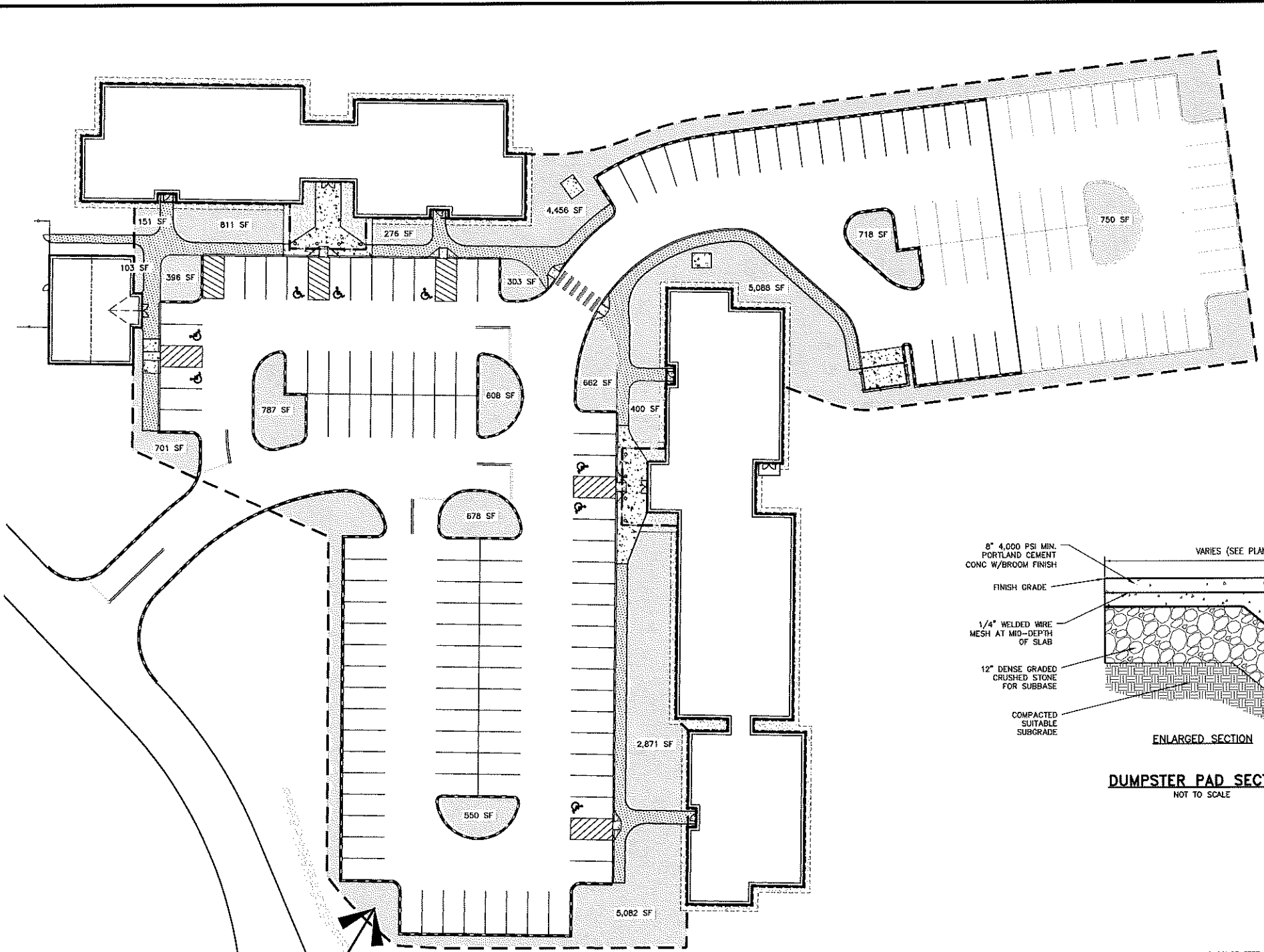
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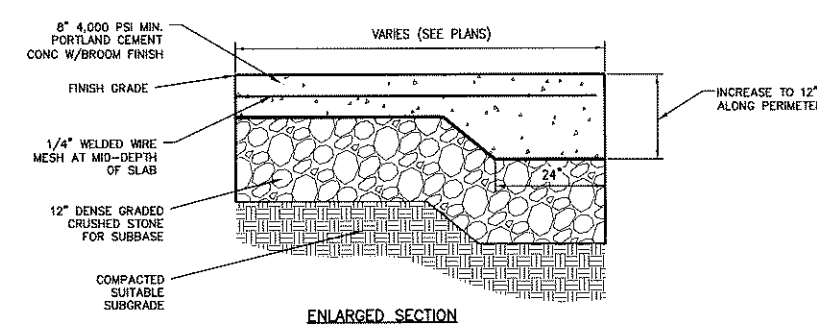
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SECRETARY: _____ SIGNATURE DATE: _____

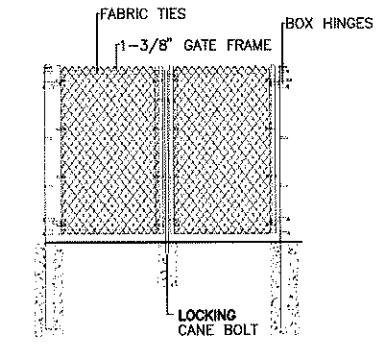
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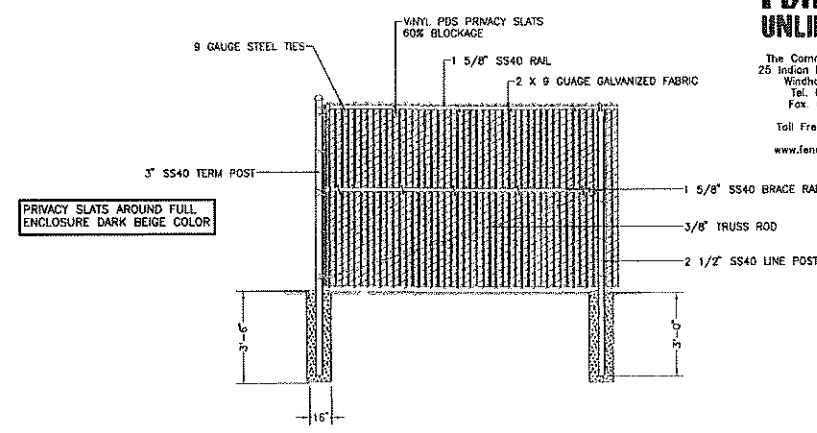
DUMPSTER ENCLOSURE
NOT TO SCALE



DUMPSTER PAD SECTION
NOT TO SCALE



DOUBLE GATE
NOT TO SCALE



6' ENCLOSURE FENCE
NOT TO SCALE

PARKING LOT LANDSCAPE AREA CALCULATION

TOTAL OUTLINED PARKING AREA = 104,969 SF
 LANDSCAPED (SHADED) AREA = 25,391 SF
 LANDSCAPED PERCENT = 25,391 SF / 104,969 SF = 24%
 MINIMUM REQUIRED = 10% (COMPLIES)

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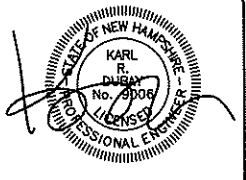
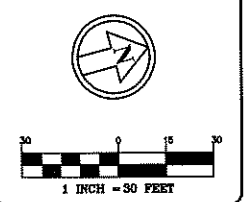
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Fences UNLIMITED INC

The Commons at Windham
 25 Indian Rock Road, Rt 111
 Windham, NH 03087
 Tel. 603.537.0555
 Fax 603.537.0556
 Toll Free 800.892.0456
 www.fencesunlimited.com

The Dubay Group, Inc.
 84 Range Road
 Windham, NH 03087
 603-458-6462

Engineers
 Planners
 Surveyors
 TheDubayGroup.com



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PROJECT:
**FRIARS COURT
 MAP 209 LOT 1**
 161 LOWELL ROAD
 HUDSON, NH

FOR _____
**DAKOTA
 PARTNERS, INC.**
 1264 MAIN STREET
 WALTHAM, MA 02451

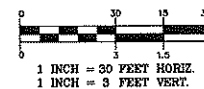
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 AREA
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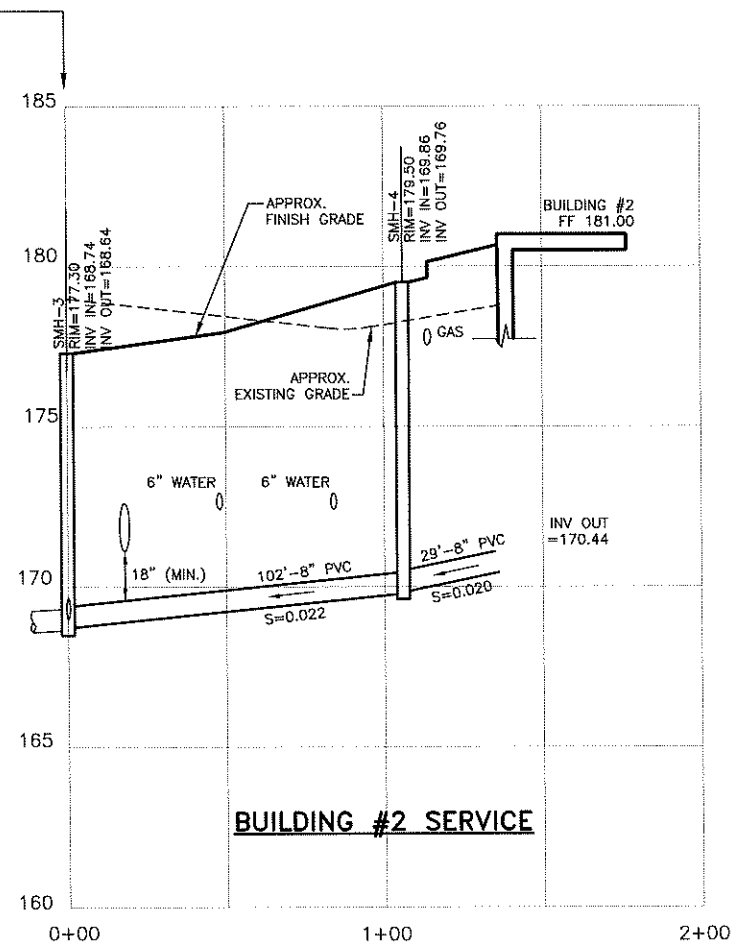
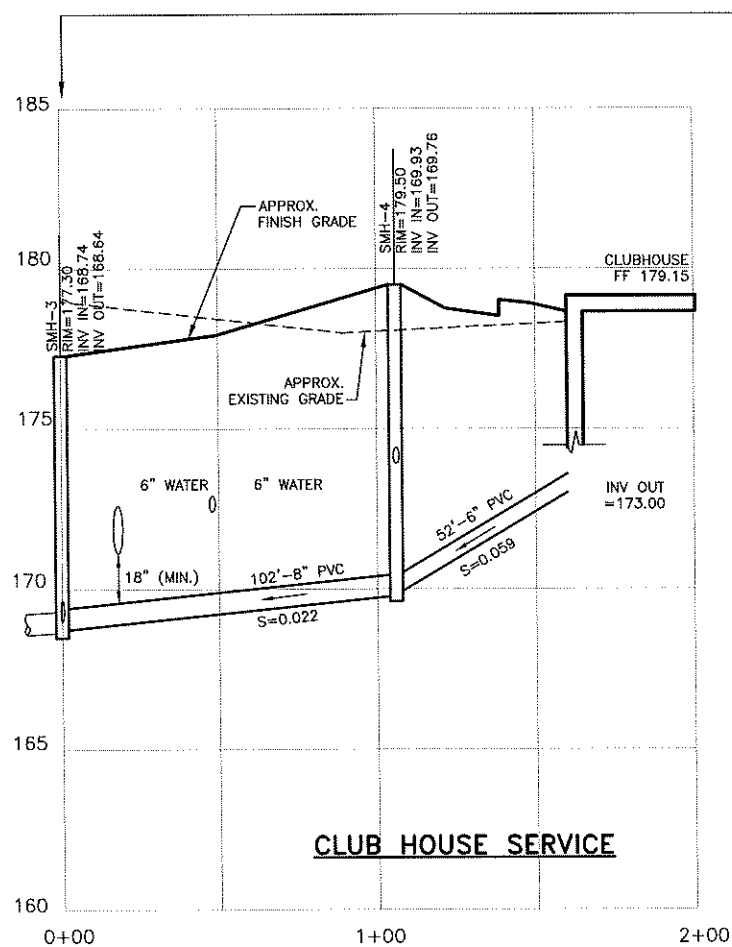
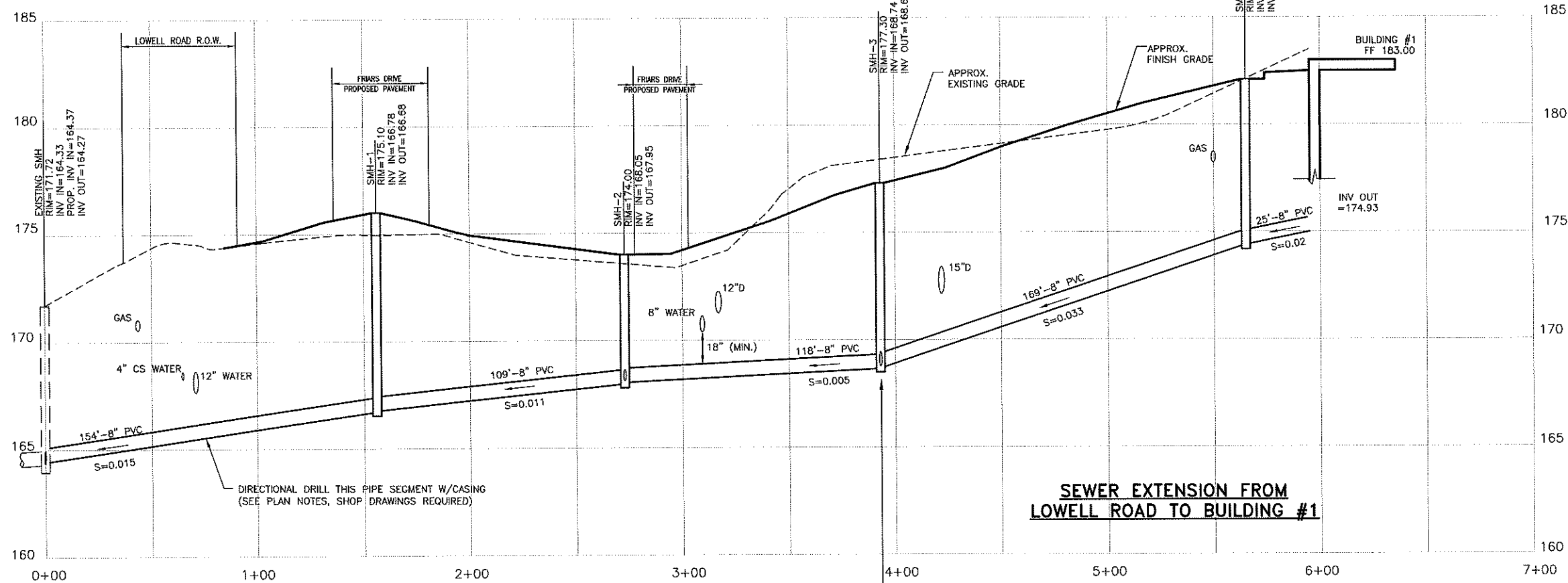
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3	5/21/19	MISC. SEWER PER NHDES	SJK

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PROJECT:
**FRIARS COURT
MAP 209 LOT 1**
161 LOWELL ROAD
HUDSON, NH

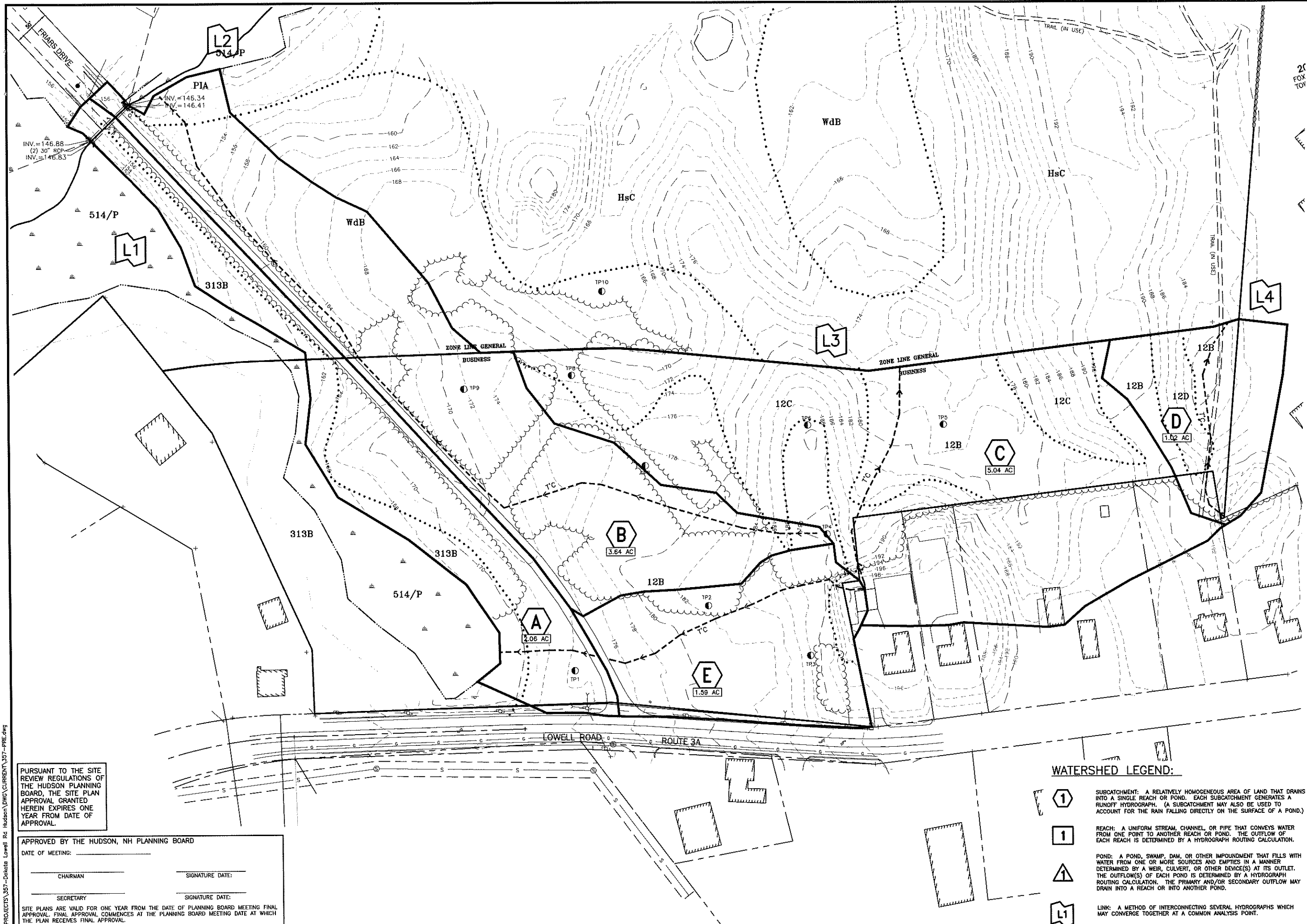
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1264 MAIN STREET
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1 INCH = 60 FEET

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2	5/14/19	REV. PER DRAINAGE GRADING MODIF.	JHD

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PROJECT:
**FRIARS COURT
 MAP 209 LOT 1**
 161 LOWELL ROAD
 HUDSON, NH

FOR

**DAKOTA
 PARTNERS, INC.**
 1264 MAIN STREET
 WALTHAM, MA 02451

SHEET TITLE:
**PRE-DEVELOPMENT
 WATERSHED
 PLAN**

PROJECT #357 SHEET 32 of 33

WATERSHED LEGEND:

- SUBCATCHMENT: A RELATIVELY HOMOGENEOUS AREA OF LAND THAT DRAINS INTO A SINGLE REACH OR POND. EACH SUBCATCHMENT GENERATES A RUNOFF HYDROGRAPH. (A SUBCATCHMENT MAY ALSO BE USED TO ACCOUNT FOR THE RAIN FALLING DIRECTLY ON THE SURFACE OF A POND.)
- REACH: A UNIFORM STREAM, CHANNEL, OR PIPE THAT CONVEYS WATER FROM ONE POINT TO ANOTHER REACH OR POND. THE OUTFLOW OF EACH REACH IS DETERMINED BY A HYDROGRAPH ROUTING CALCULATION.
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- LINK: A METHOD OF INTERCONNECTING SEVERAL HYDROGRAPHS WHICH MAY CONVERGE TOGETHER AT A COMMON ANALYSIS POINT.

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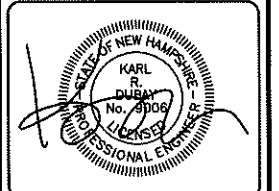
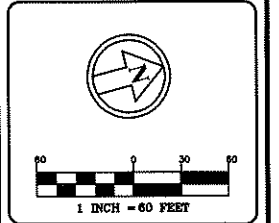
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PROJECT:
FRIARS COURT
MAP 209 LOT 1
 161 LOWELL ROAD
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FOR
DAKOTA PARTNERS, INC.
 1264 MAIN STREET
 WALTHAM, MA 02451

SHEET TITLE:
POST DEVELOPMENT WATERSHED PLAN

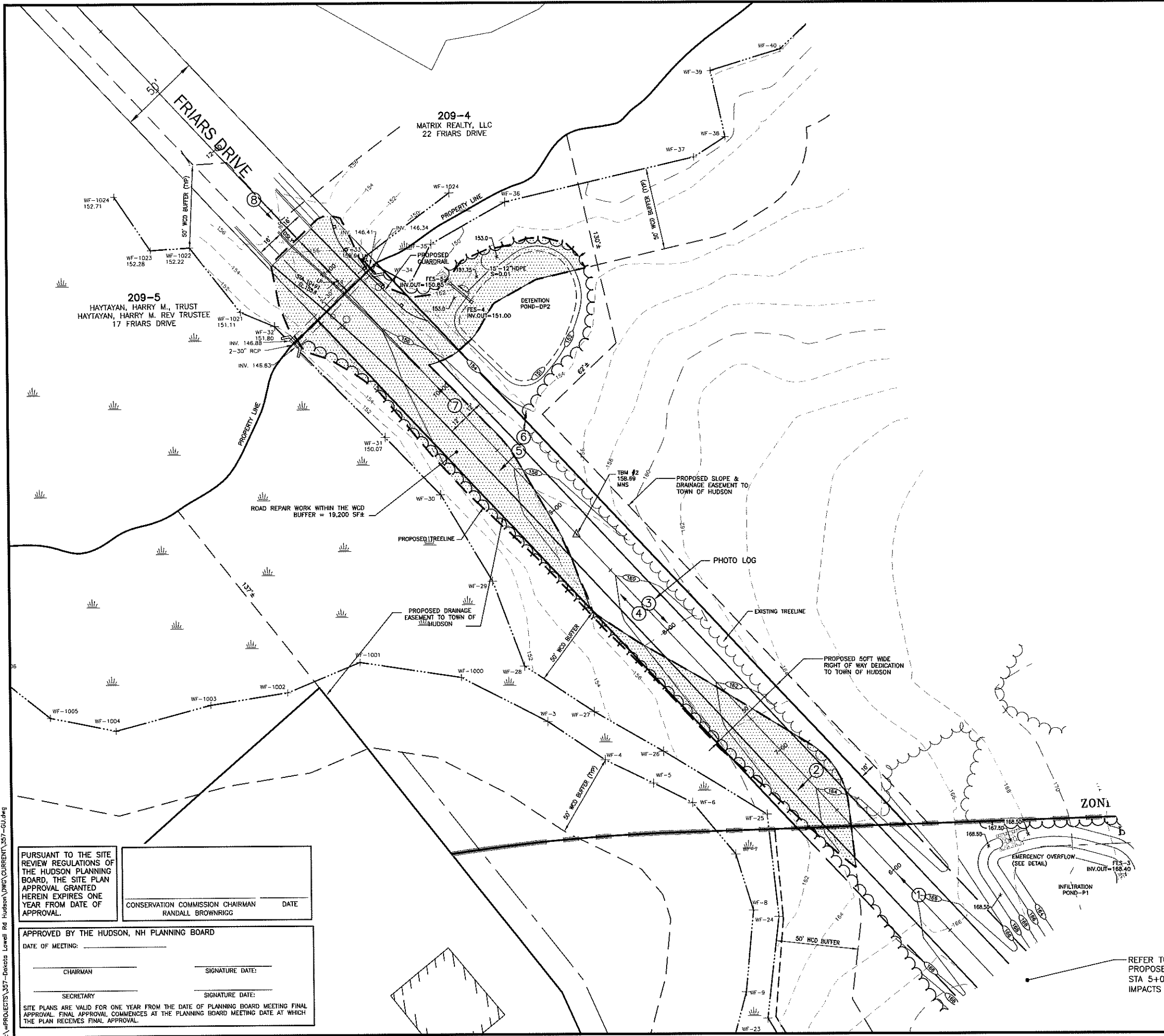
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BUFFER AREA SUMMARY

EXISTING PAVEMENT AREA WITHIN BUFFER TO BE RECLAIMED:
5,200 SF± = 27% OF BUFFER IMPACT AREA

PROPOSED ADDITIONAL PAVEMENT AREA WITHIN BUFFER TO ACHIEVE 24 FT WIDTH PER TOWN STANDARDS:
2,500 SF± = 13% OF BUFFER IMPACT AREA

SHOULDER AREAS TO BE RESTORED & NATURALIZED WITHIN BUFFER:
11,500 SF± = 60% OF BUFFER IMPACT AREA



The Dubay Group, Inc.

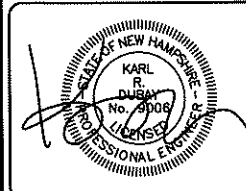
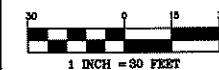
84 Range Road
Windham, NH 03087
603-458-6462

Engineers

Planners

Surveyors

TheDubayGroup.com



REVISIONS:			
REV.	DATE	COMMENT	BY
1	5/6/19	MISC. REVS	WA
2	5/14/19	REV. PER DRAINAGE/GRADING MODS.	WA

DRAWN BY: WA
CHECKED BY: KR D
DATE: APRIL 29, 2019
SCALE: 1"=30'
FILE: 357-GU
DEED REF: -

WETLAND NOTES

1. WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN MARCH 2019, AND LOCATED BY THIS OFFICE IN MARCH 2019
2. WETLAND DELINEATION WAS PERFORMED TO THE STANDARDS OF THE CORPUS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, (JANUARY, 1987).
3. DOMINANT HYDRIC SOIL CONDITIONS WITHIN THE WETLANDS WERE IDENTIFIED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE CRITERIA OF FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, 2004.
4. DOMINANCE OF WETLAND VEGETATION WAS ASSESSED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: 1988 NORTHEAST (REGION 1) (PORTER B. REED, JR.).



REFER TO SITE PLANS FOR PROPOSED WORK STA 0+00 TO STA 5+00 (NO WETLAND BUFFER IMPACTS PROPOSED)

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

CONSERVATION COMMISSION CHAIRMAN _____ DATE _____
RANDALL BROWN RIGG

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____
SECRETARY _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PROJECT:

**FRIARS COURT
MAP 209 LOT 1**
161 LOWELL ROAD
HUDSON, NH

FOR _____

**DAKOTA
PARTNERS, INC.**
1264 MAIN STREET
WALTHAM, MA 02451

SHEET TITLE:

**ROADWAY
RECONSTRUCTION
PLAN**

N:\PROJECTS\357-Dakota Lowell Rd Hudson\DWG\CURRENT\357-GU.dwg



The Dubay Group, Inc.

84 Range Road
Windham, NH 03087
603-458-6462

Engineers

Planners

Surveyors

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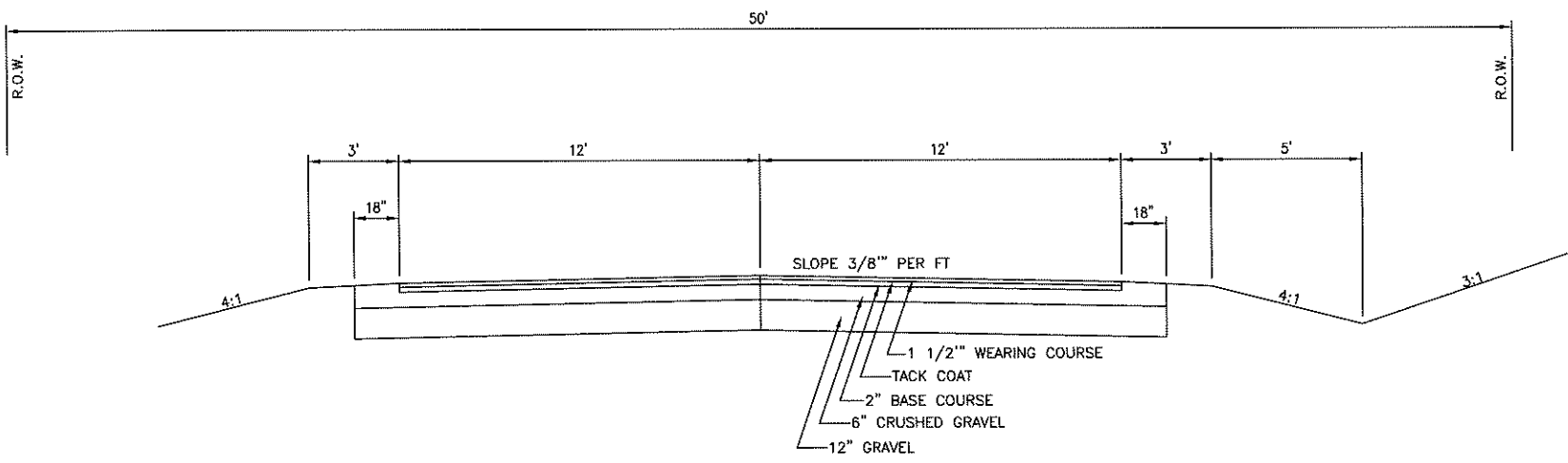
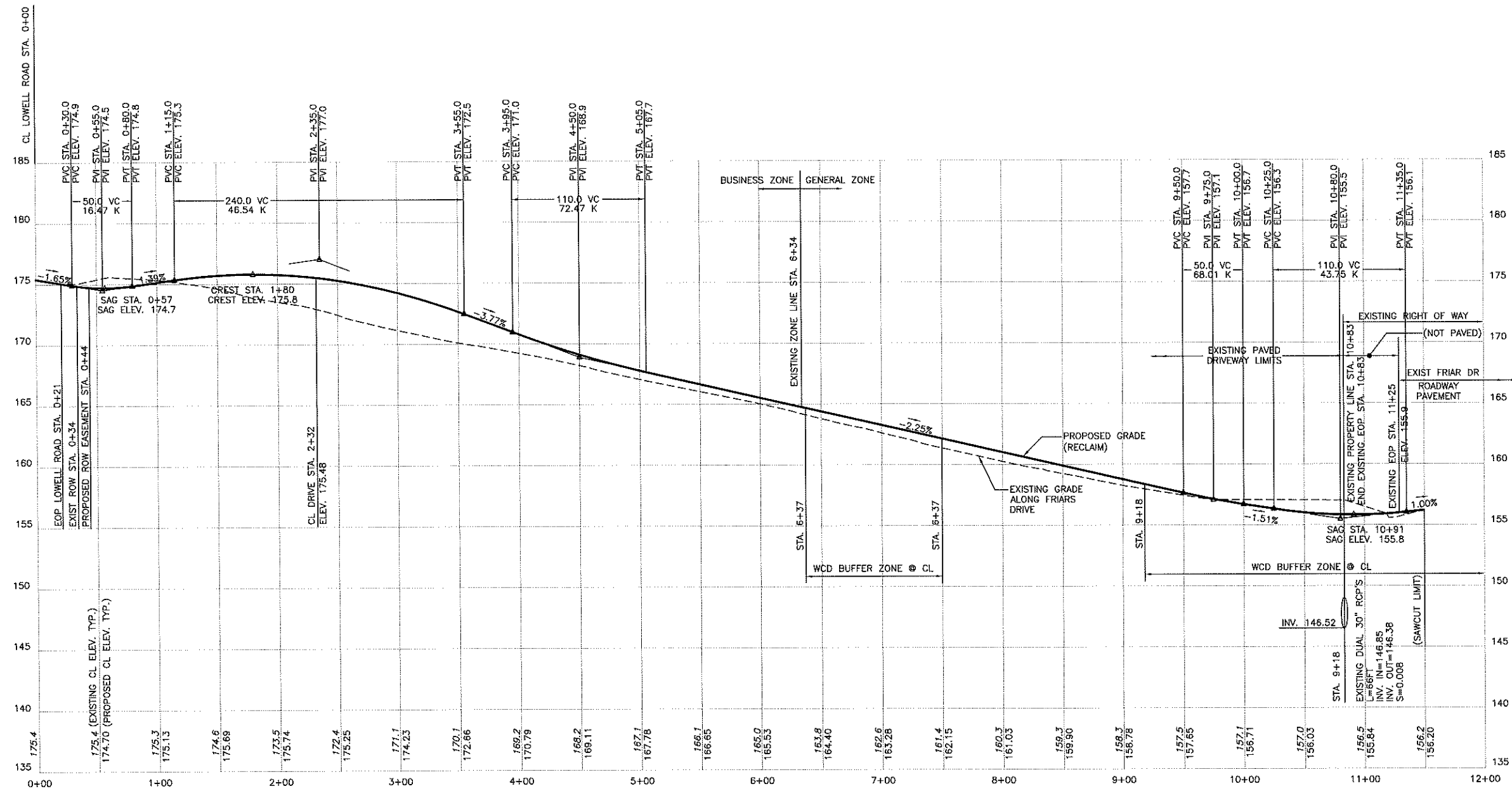
REVISIONS:			
REV.	DATE	COMMENT	BY
1	5/6/19	MISC. REVS	WA
2	5/14/19	REV. PER DRAINAGE/GRADING MODS.	WA

DRAWN BY: _____
 CHECKED BY: _____
 DATE: APRIL 24, 2019
 SCALE: 1"=50'H, 5'V
 FILE: 357-ROAD
 DEED REF: _____

PROJECT:
**FRIARS COURT
 MAP 209 LOT 1**
 161 LOWELL ROAD
 HUDSON, NH
 FOR
**DAKOTA
 PARTNERS, INC.**
 1264 MAIN STREET
 WALTHAM, MA 02451

SHEET TITLE:
**ROAD
 RECONSTRUCTION
 PROFILE
 &
 TYPICAL SECTION**

PROJECT #357 SHEET R2



TYPICAL ROADWAY CROSS SECTION
 NOT TO SCALE

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

CONSERVATION COMMISSION CHAIRMAN _____ DATE _____
 RANDALL BROWNRISS

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____
 SECRETARY _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

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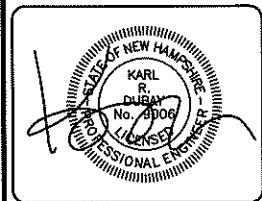
84 Range Road
Windham, NH 03087
603-458-6462

Engineers





Planners

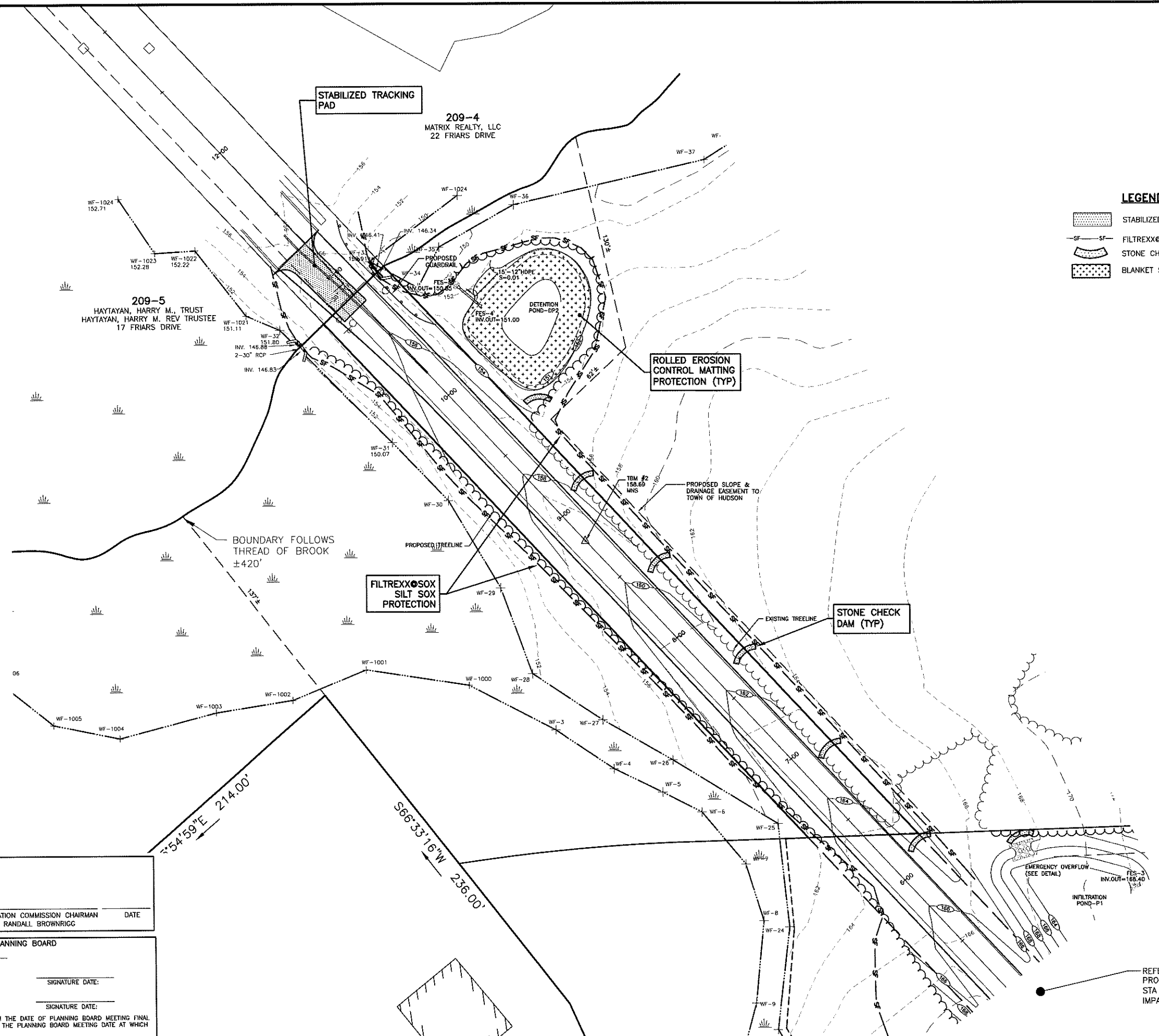
Surveyors

TheDubayGroup.com



LEGEND:

-  STABILIZED TRACKING PAD
-  FILTREXX@SOXX
-  STONE CHECK DAM
-  BLANKET SLOPE PROTECTION



REVISIONS:			
REV.	DATE:	COMMENT:	BY:
1	5/6/19	MISC. REVS	WA
2	5/14/19	REV. PER DRAINAGE GRADING MODIF.	WA

DRAWN BY: WA
 CHECKED BY: KR D
 DATE: APRIL 29, 2019
 SCALE: 1"=30'
 FILE: 357-EROSIONROAD
 DEED REF: -

PROJECT:
**FRIARS COURT
 MAP 209 LOT 1**
 161 LOWELL ROAD
 HUDSON, NH
 FOR
**DAKOTA
 PARTNERS, INC.**
 1264 MAIN STREET
 WALTHAM, MA 02451

SHEET TITLE:
**ROADWAY
 EROSION
 CONTROL
 PLAN**
 PROJECT #357 SHEET R3

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

CONSERVATION COMMISSION CHAIRMAN _____ DATE _____
 RANDALL BROWN RIGG

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

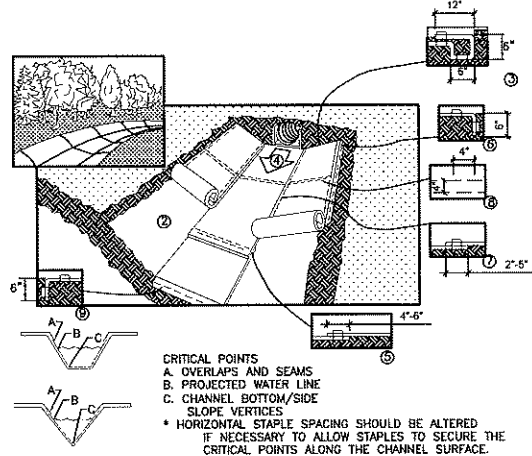
CHAIRMAN _____ SIGNATURE DATE: _____
 SECRETARY _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

N:\PROJECTS\357-Dakota Lowell Rd Hudson\DWG\CURRENT\357-EROSIONROAD.dwg

CHANNEL INSTALLATION SPECIFICATIONS

1. INSTALL PRODUCT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
 2. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-0-SEED, DO NOT SEED PREPARED AREA. CELL-0-SEED MUST BE INSTALLED WITH THE PAPER SIDE DOWN.
 3. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 4. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 5. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4"(10") ON CENTER TO SECURE BLANKETS.
 6. FULL-LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 7. ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2"-5" (DEPENDS ON BLANKET TYPE) AND STAPLED TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE BLANKET BEING OVERLAPPED.
 8. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30' TO 40' INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF CHANNEL.
- THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

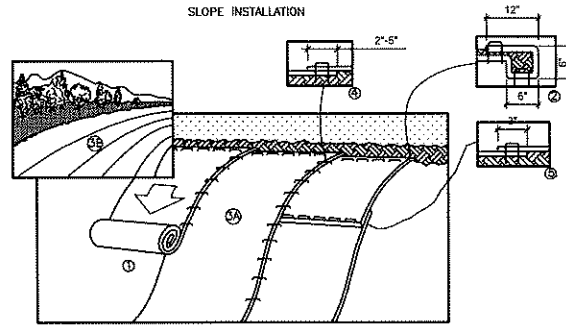


CRITICAL POINTS
 A. OVERLAPS AND SEAMS
 B. PROJECTED WATER LINE
 C. CHANNEL BOTTOM/SIDE SLOPE VERTICES
 * HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
 ** IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 cm) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

ROLLED EROSION CONTROL MATTING
 NOT TO SCALE

(THIS DETAIL IS PROVIDED FOR AREAS THAT MAY REQUIRE ADDITIONAL PROTECTION BASED ON FIELD CONDITIONS.)

SLOPE INSTALLATION

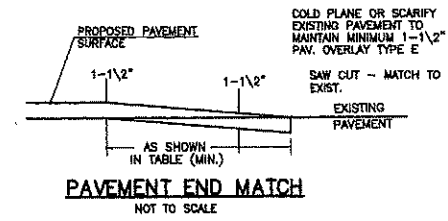


MATting INSTALLATION NOTES

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-0-SEED DO NOT SEED PREPARED AREA. CELL-0-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
6. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
7. INSTALL PRODUCT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
8. MATting IS REQUIRED ON ALL SLOPES STEEPER THAN 3:1.

SLOPE PROTECTION EROSION CONTROL MATTING
 NOT TO SCALE

(THIS DETAIL IS PROVIDED FOR AREAS THAT MAY REQUIRE ADDITIONAL PROTECTION BASED ON FIELD CONDITIONS.)



	< 5%	> 5%
NEGATIVE SLOPE	5'	10'
POSITIVE SLOPE	5'	20'

DETAIL R-6
 PAVEMENT END MATCH
 TOWN OF HUDSON AUGUST-01
 REV: SCALE: NTS

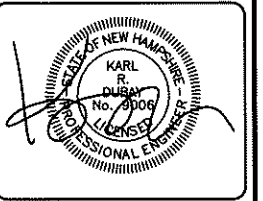


The Dubay Group, Inc.

84 Range Road
 Windham, NH 03087
 603-458-5462

Engineers
 Planners
 Surveyors

TheDubayGroup.com



REVISIONS:

REV:	DATE:	COMMENT:	BY:

DRAWN BY: SJK
 CHECKED BY: KRD
 DATE: APRIL 29, 2019
 SCALE: AS SHOWN
 FILE: 357-DETAILSROAD
 DEED REF: -

PROJECT:
**FRIARS COURT
 MAP 209 LOT 1**
 161 LOWELL ROAD
 HUDSON, NH

FOR _____

**DAKOTA
 PARTNERS, INC.**
 1264 MAIN STREET
 WALTHAM, MA 02451

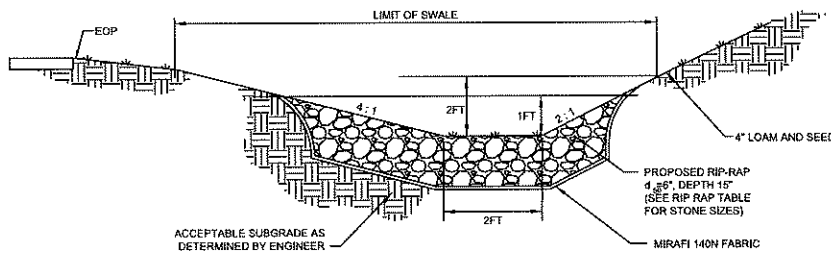
SHEET TITLE:

**ROAD UPGRADE
 DETAILS - 1**

PROJECT #357 SHEET R4

TABLE 7-24 - RECOMMENDED RIPRAP GRADATION RANGES

% OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE
100	1.5 TO 2.0 d
85	1.3 TO 1.8 d
50	1.0 TO 1.5 d
15	0.3 TO 0.5 d



TYPICAL RIPRAP LINED SWALE DETAIL
 NOT TO SCALE

(THIS DETAIL IS PROVIDED FOR AREAS THAT MAY REQUIRE ADDITIONAL PROTECTION BASED ON FIELD CONDITIONS.)

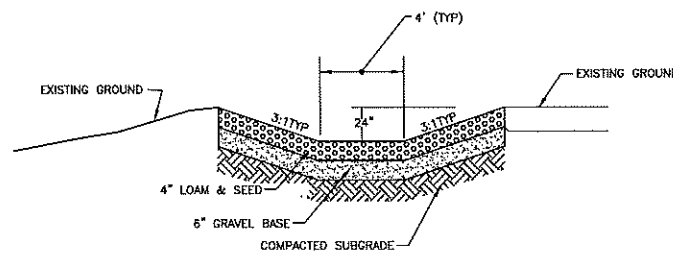
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

CONSERVATION COMMISSION CHAIRMAN _____ DATE _____
 RANDALL BROWNRIGGS

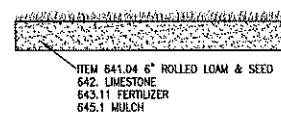
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____
 SECRETARY _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

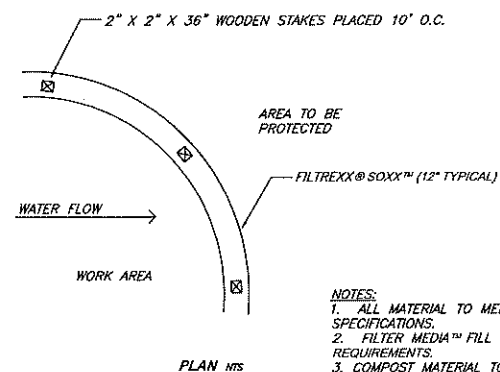
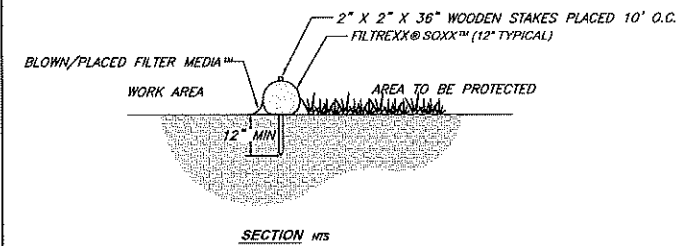


TYPICAL GRASS LINED SWALE
 NOT TO SCALE



LOAM & SEED DETAIL
 NOT TO SCALE

(FOR PERMANENT STABILIZATION OF AREAS, TYPICALLY LOCATED AROUND PERIMETER OF FINAL EXCAVATION WORK LIMITS.)



- NOTES:**
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
 2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

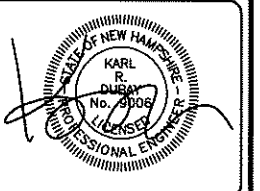
FILTREXX® SEDIMENT CONTROL
 NTS



The Dubay Group, Inc.

84 Range Road
Windham, NH 03087
603-458-6462

Engineers
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CHECKED BY: KRD
DATE: APRIL 29, 2019
SCALE: AS SHOWN
FILE: 357-DETAILSROAD
DEED REF: -

PROJECT:
FRIARS COURT
MAP 209 LOT 1
161 LOWELL ROAD
HUDSON, NH

FOR

DAKOTA
PARTNERS, INC.
1264 MAIN STREET
WALTHAM, MA 02451

SHEET TITLE:

ROAD UPGRADE
DETAILS - 4

PROJECT #357 SHEET R7

STANDARD NO. GR-2

REVISION DATE
01-17-2010
06-03-2011
08-19-2015

POSTER NAME
GR-2

STANDARD PLANS

GENERAL NOTES

1. THE DEFINITION OF ROADSIDE BARRIER IS FOR THE LATEST ADOPTED EDITION OF THE HANDBOOK FOR DESIGN GUIDES EXCLUDED FROM THIS IS THE GATE PORTION OF A COMBINED TERMINAL UNIT OR CRASH CUSHION AS WELL AS THE ENTIRE G-2 TERMINAL UNIT.
2. STEPS IN BRACKETS [] ARE STANDARD ELEMENTS DESCRIBED IN BRACKET'S "A" GUIDE TO STANDARDIZED HIGHWAY BARRIER HARDWARE.
3. ONLY USE RECTANGULAR PLATE WASHERS (FW905) WHEN SHOWN ON THE GIVEN STANDARD SHEETS OR AS REQUIRED BY THE MANUFACTURER FOR THEIR PROPRIETARY PRODUCTS.
4. USE 1/2" x 1/4" LENGTH RAIL ELEMENTS ON RAIL ENDS OF 1'55" OVER TOTAL WIDTH.
5. ESTABLISH RAIL HEIGHT AS FOLLOWS:
 - a) SET THE HEIGHT OF RAIL FROM THE EDGE OF THE PAVEMENT LEFT WITH THE FACE OF RAIL BE AT THE EDGE OF PAVEMENT.
 - b) SET THE HEIGHT OF RAIL FROM THE END OF THE FACE OF RAIL.
 - c) THE FACE OF RAIL IS OFFSET FROM THE TP AND THE CROSS SLOPE FROM THE EP TO THE FACE OF RAIL IS 10% ON FLATTER SLOPES.
 - d) THE FACE OF RAIL IS AT THE BACK OF A CONCRETE SIDEWALK AND THE CORE IS AT THE EDGE OF PAVEMENT.
 - e) WITH SITUATIONS OTHER THAN THOSE DESCRIBED IN A-D, A ROAD ENGINEER DETERMINING ESTABLISH RAIL HEIGHT THROUGH AN ENGINEERING REVIEW TO ENSURE APPROPRIATE SYSTEM PERFORMANCE.
6. USE OF POSTS SHORTER THAN 7'-0" BUT NOT LESS THAN 6'-0" LONG IS ONLY ALLOWED UNDER THE FOLLOWING CONDITIONS:
 - a) THERE IS A MINIMUM DISTANCE OF 3' FROM THE BACK OF THE GUARDRAIL POST (TOWARD THE FLATTER SIDE) TO THE 5:0% BREAK OR A 4% ON FLATTER SLOPE OR
 - b) WHEN THERE IS A MINIMUM DISTANCE OF 2' FROM THE BACK OF THE GUARDRAIL POST (TOWARD THE FLATTER SIDE) TO THE TOP OF A SLOPE OF A STEEPER THAN 4:1 SLOPE.
 - c) WHEN THE SLOPE OF A STEEPER THAN 4:1 SLOPE IS ON A SLOPE END SLOPE, THE LONG STEEPER INCLUDES NOT-GROUND SLOPE OF SLOPE MOMENT EXHIBIT AS REPRESENTED, CARET PARALLEL TO THE ROADWAY, ETC. IN ACTIVE PROFILES.
7. THE PLAN IS LISTED OFFSET BLOCKS ON THEIR RESPECTIVE ARE SPECIFIC FOR FEDERAL PARTICIPATION PER MAND 350 TEST LEVEL 2 ON HIGHWAYS IN THE FUTURE, SOME OF THESE BLOCKS MAY OR MAY HAVE DIMENSIONS THAT VARY MORE THAN WOULD BE CONSIDERED WITHIN THE NORMAL TOLERANCE DIMENSIONS. IN ORDER TO USE ANY OFFSET BLOCKS THAT HAVE OTHER THAN THE NORMAL DIMENSIONS AS SHOWN ON THE PLANS, THE FOLLOWING APPLY:
 - a) THE FACE OF RAIL SHALL REMAIN AT THE EDGE OF PAVEMENT OR AT THE INDICATED LOCATION AS SHOWN ON THE PLAN.
 - b) THE DISTANCE FROM THE BACK OF THE POST TO THE BREAK IN THE SLOPE SHALL NOT BE LESS THAN WHAT IS SHOWN ON THE PLAN BUT IT MAY BE MORE.
 - c) ALL OTHER DIMENSIONS OF THE PARTS MUST SPECIFICATIONS AND DETAILS REMAIN IN FORCE.

GUARDRAIL STANDARD
BEAM GUARDRAIL
STANDARD SECTION STEEL POSTS & HARDWARE DETAILS

STANDARD NO. GR-2

Plan View
Elevation
Section Thru Rail Element
Synthetic Offset Block
Structural Shape Steel Post
Line Post Elevation
Typical Side View
Clarification Detail

DESCRIPTION

ITEM	DESCRIPTION	INTERIOR USE
F9001	1 1/2" FULL LENGTH IN-HEAD RAIL SPICE	BEAM GUARDRAIL
F9002	1 1/2" FULL LENGTH END POST	BEAM GUARDRAIL
F9003	1 1/2" FULL LENGTH END POST	BEAM GUARDRAIL
F9004	1 1/2" FULL LENGTH END POST	BEAM GUARDRAIL

STANDARD NO. GR-10

REVISION DATE
01-17-2010
06-03-2011
08-19-2015

POSTER NAME
GR-10

STANDARD PLANS

GENERAL NOTES

1. THE LENGTH OF NEED IS THE TOTAL LENGTH OF A LONGITUDINAL BARRIER NEEDED TO SHIELD AN AREA OF CONCERN. TO DETERMINE THE LENGTH OF NEED, REFER TO THE HANDBOOK DESIGN GUIDE - BARRIERS LATEST ADOPTED VERSION, THE G-2 UNIT SHALL TERMINATE IN A 4:1 ON FLATTER SLOPE.
2. DIMENSIONS PROVIDED IN BRACKETS [] REFERENCE STANDARD ELEMENTS DESCRIBED IN A GUIDE TO STANDARDIZED HIGHWAY BARRIER HARDWARE - LATEST ADOPTED VERSION, ASHED-ACC-ARTBA JOINT COOPERATIVE COMMITTEE.
3. ALL DIMENSIONS SUBJECT TO MANUFACTURER'S TOLERANCES.
4. STANDARDS NO. GR-1 (COR OF-2), SHALL BE USED IN CONJUNCTION WITH THIS STANDARD - SEE THESE STANDARDS FOR ADDITIONAL DETAILS OF COMMON HARDWARE.
5. TIGHTEN CABLE ASSEMBLY TO TIGHT TENSION AND DOUBLE-NUT BOTH ENDS.
6. DIMENSIONS OF PLASTIC AND SYNTHETIC BLOCKS ARE AS SHOWN ON MANUFACTURER'S DRAWINGS.

GUARDRAIL STANDARD
BEAM GUARDRAIL
TERMINAL UNIT TYPE G-2

STANDARD NO. GR-10

Plan View
Elevation
Anchor Plate Assembly Details
Cable Assembly
Structural Shape Steel Post & Block
End Section
Soil Plate
Bearing Plate
Rectangular Plate Washer
End Plate
Anchor Plate

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

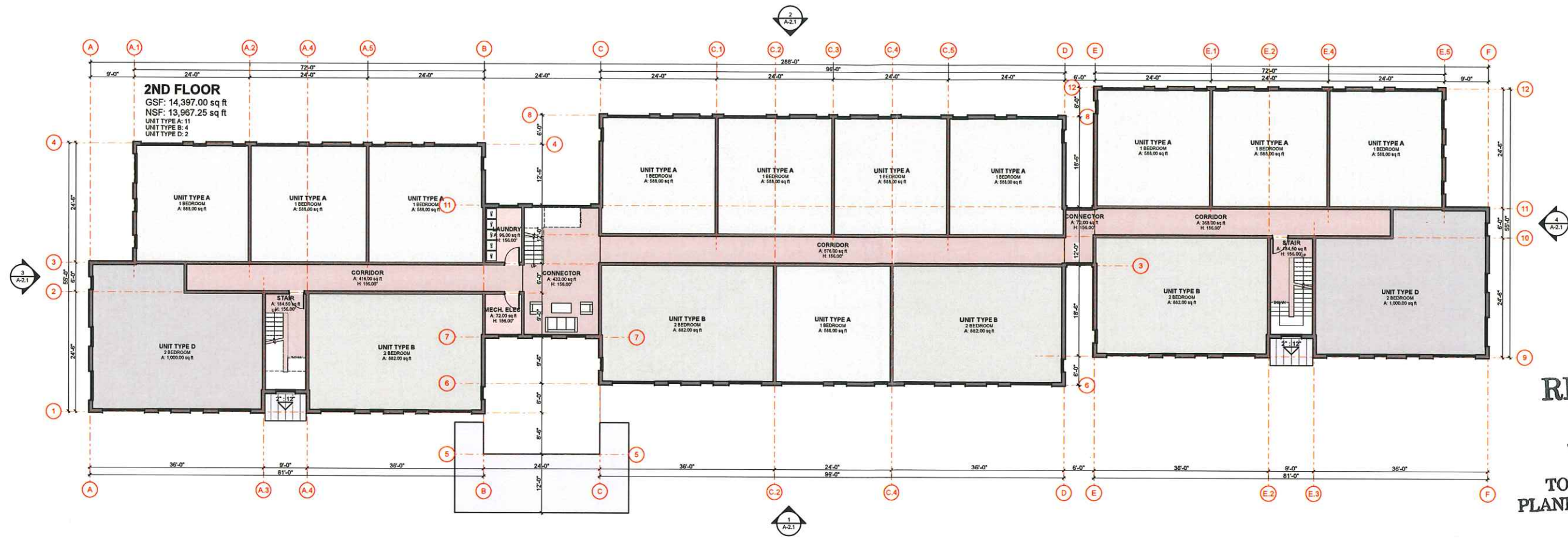
CONSERVATION COMMISSION CHAIRMAN: _____ DATE: _____
RANDALL BROWNIRGG

APPROVED BY THE HUDSON, NH PLANNING BOARD

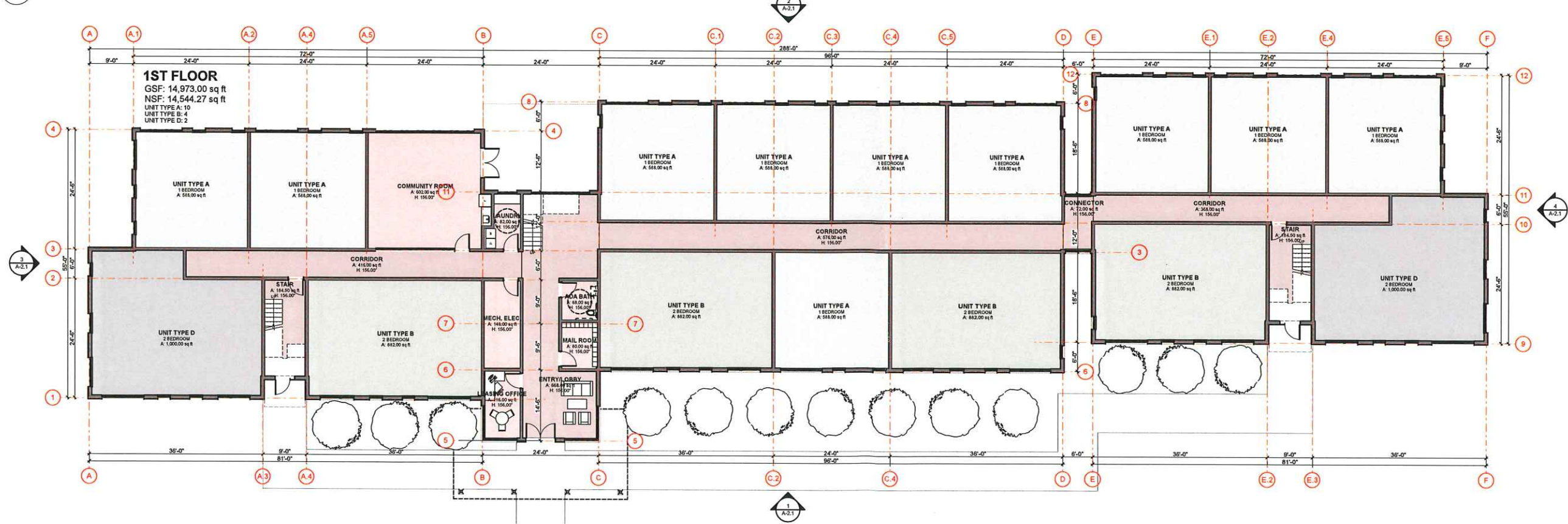
DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



2 2ND FLOOR
 SCALE: 3/32" = 1'-0"



1 1ST FLOOR
 SCALE: 3/32" = 1'-0"

RECEIVED
 JUN 05 2019
 TOWN OF HUDSON
 PLANNING DEPARTMENT

Kaplan Thompson Architects
 102 Elm Street
 Portland, ME 04101
 (603) 842-2888
 kta@kaptan.com

PROJECT
Dakota Partners Hudson Crossing
 161 Lowell Road
 Hudson, NH 03051

DATE	ISSUE DESCRIPTION	CHG. CHANGE NAME

NOT FOR CONSTRUCTION

PROJECT	DK_HUD
DATE	04/15/2019
REVISED 1	
REVISED 2	
DRAWN BY	JT, KF, BB
PHASE	Schematic Design

PHASE I PLANS
 - 1ST & 2ND
A-1.0



① VIEW 1



② VIEW 2



③ VIEW 3

**Kaplan
Thompson
Architects**

105 Exchange Street
Portland, ME 04101
(207) 842-2828
k@ktdesign.com

PROJECT
**Dakota
Partners
Hudson
Crossing**

161 Lowell Road
Hudson, NH 03051

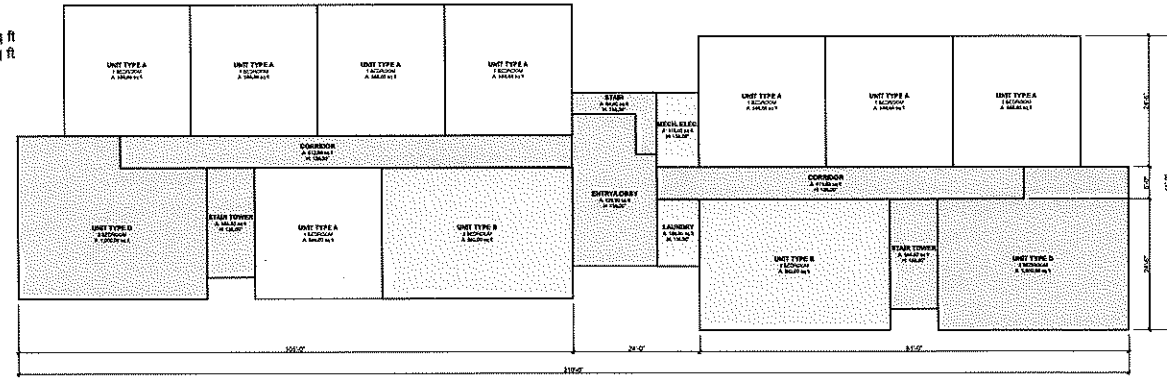
DATE	CHANGED BY	DESCRIPTION

NOT FOR CONSTRUCTION

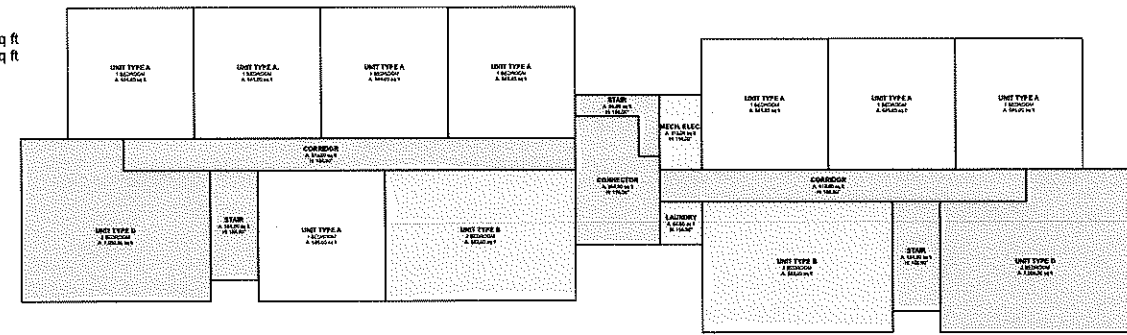
PROJECT	DK_HUD
DATE	04/15/2019
REVISED 1	
REVISED 2	
DRAWN BY	JT, KF, BB
PHASE	Schematic Design

PHASE 2: BUILDING LAYOUT - 34 UNIT

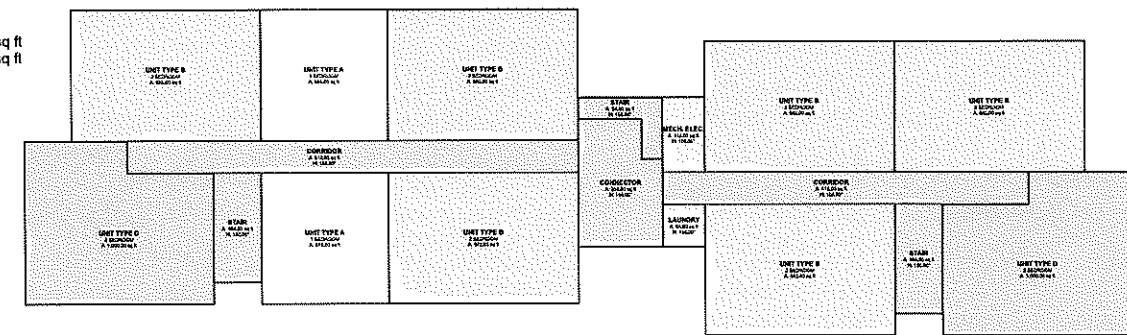
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 NSF: 10,196.39 sq ft
 UNIT TYPE A: 8
 UNIT TYPE B: 2
 UNIT TYPE D: 2



2ND FLOOR
 GSF: 10,389.00 sq ft
 NSF: 10,083.79 sq ft
 UNIT TYPE A: 8
 UNIT TYPE B: 2
 UNIT TYPE D: 2



3RD FLOOR
 GSF: 10,389.00 sq ft
 NSF: 10,083.79 sq ft
 UNIT TYPE A: 2
 UNIT TYPE B: 6
 UNIT TYPE D: 2



TOTALS
 GSF: 31,275.00 sq ft
 NSF: 30,363.97 sq ft
 UNIT TYPE A: 18
 UNIT TYPE B: 10
 UNIT TYPE D: 6

**Kaplan
Thompson
Architects**
142 Exchange Street
Portland, ME 04101
(207) 247-2555
k[at]kapthom[dot]com

PROJECT
**Dakota
Partners
Hudson
Crossing**

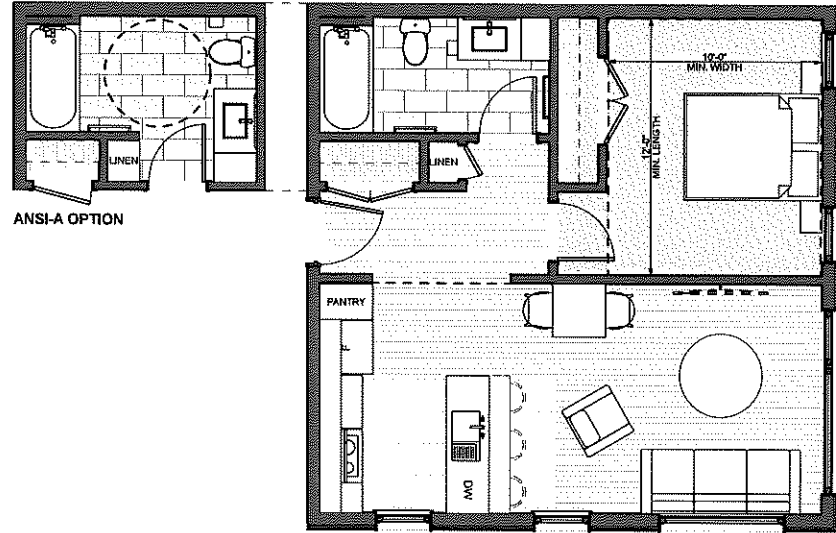
161 Lowell Road
Hudson, NH 03051

REVISION NO.	DESCRIPTION	DRAWN BY	DATE

NOT FOR CONSTRUCTION

PROJECT	DK_HUD
DATE	04/15/2019
REVISED 1	
REVISED 2	
DRAWN BY	JT, KE, BB
PHASE	Schematic Design

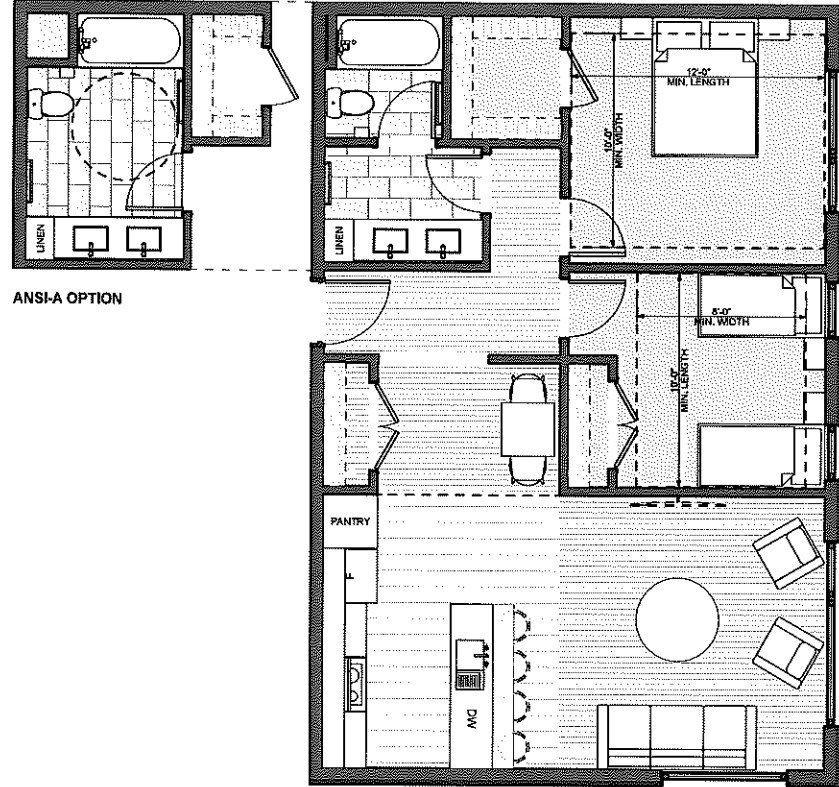
UNIT TYPE A 1 BED 1 BATH A: 588.00 sq ft
ENTRY/HALL A: 67.14 sq ft
KITCHEN A: 122.23 sq ft
LIVING A: 134.80 sq ft
BATHROOM A: 58.68 sq ft
BATHROOM ANSI-A A: 74.67 sq ft
BEDROOM A: 149.63 sq ft



1 UNIT TYPE A
SCALE: 1/4" = 1'-0"



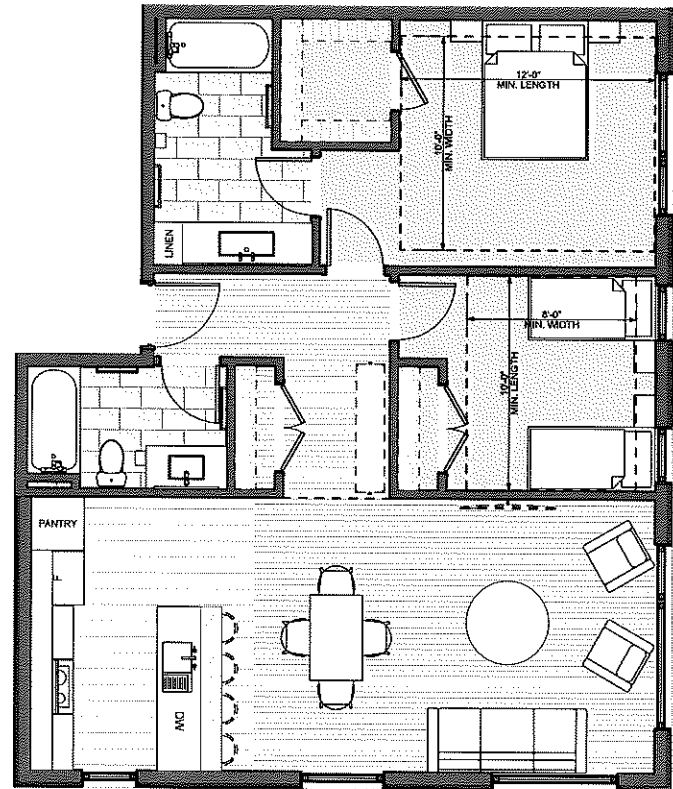
UNIT TYPE B 2 BED 1 BATH A: 682.00 sq ft
ENTRY A: 30.40 sq ft
HALL A: 32.33 sq ft
DINING NOOK A: 68.67 sq ft
KITCHEN A: 142.21 sq ft
LIVING A: 160.30 sq ft
BATHROOM A: 73.59 sq ft
BATHROOM ANSI-A A: 85.21 sq ft
BEDROOM A: 122.22 sq ft
MASTER BEDROOM A: 172.16 sq ft



2 UNIT TYPE B
SCALE: 1/4" = 1'-0"



UNIT TYPE D 2 BED 2 BATH A: 1,006.00 sq ft
ENTRY A: 37.98 sq ft
HALL A: 52.67 sq ft
KITCHEN A: 134.09 sq ft
DINING A: 82.08 sq ft
LIVING A: 160.30 sq ft
BATHROOM A: 53.62 sq ft
MASTER BATH A: 73.59 sq ft
BEDROOM A: 122.22 sq ft
MASTER BEDROOM A: 193.66 sq ft



4 UNIT TYPE D
SCALE: 1/4" = 1'-0"



REV#	DESCRIPTION	CHD	CHANGE NAME	DATE

NOT FOR CONSTRUCTION

PROJECT	DK_HUD
DATE	04/15/2015
REVISED 1	
REVISED 2	
DRAWN BY	JT, KF, BB
PHASE	Schematic Design

**MINUTES/DECISIONS OF THE PLANNING BOARD
MEETING DATE: MAY 8, 2019**

In attendance = X; Alternates Seated = S; Partial Attendance = P; Excused Absence = E

Timothy Malley Chairman <u> X </u>	Jordan Ulery Vice-Chair <u> X </u>	William Collins Secretary <u> X </u>	Charlie Brackett Member <u> X </u>
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Dillon Dumont Member <u> X </u>	Ed Van der Veen Member <u> X </u>	Elliott Veloso Alternate <u> E </u>
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Roger Coutu Select. Rep. <u> X </u>	Marilyn McGrath Alt. Select. Rep. <u> X </u>	Brian Groth Town Rep. <u> X </u>
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- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL

- IV. SEATING OF ALTERNATES

None

- V. MINUTES OF PREVIOUS MEETING(S)

- 24 April 19 Meeting Minutes – Decisions.

Mr. Coutu moved to approve the 24 April 19 Meeting Minutes (as written/amended).

Motion seconded by Mr. Brackett. All in favor - Motion carried.

- VI. CASES REQUESTED FOR DEFERRAL

- VII. CORRESPONDENCE

- A. Request to release Corridor Impact Funds in the amount of \$37,850.00 from Impact Fee Account 2070-000-702, Corridor – Zone 2 Traffic Improvements for Lowell Road and Wason Road Intersection Project in accordance with the

written request for same from the Town Engineer (please see attached memo from Town Engineer, Elvis Dhima, dated 30 April 2019).

Town Planner Groth provided some details as to the request by Town Engineer Dhima for release of impact fees. He stated the monies would be used for continued traffic light upgrades along Lowell Road. Mr. Van der Veen asked if there would be a need for future impact fee allocations or was this the last set of traffic lights to be upgraded. Mr. Groth explained that there were at least four more lights that could be potentially upgraded in the future. With no other discussion on the matter.

Mr. Dumont moved to recommend to the Board of Selectmen the release of \$37,850.00 from Impact Fee Account 2070-000-702, Corridor – Zone 2 Traffic Improvements for Lowell Road and Wason Road Intersection Project in accordance with the written request for same from the Town Engineer (please see attached memo from Town Engineer, Elvis Dhima, dated 30 April 2019).

Motion seconded by Mr. Van der Veen. All in favor – Motion carried.

VIII. PERFORMANCE SURETIES

IX. ZBA INPUT ONLY

A. ZBA Input Application #01-19, Wetland Special Exception, 161 Lowell Road.

The Chairman opened discussion on the matter of the Wetland Special Exception sought by the applicant as part of the proposed Friars Drive to Lowell Road roadway improvement. He asked if members present were ready to make a determination or offer any additional input on the matter. There was minimal discussion between board members as to the possibility of waiting until the Conservation Commission had a chance to provide input but in the end planning board members decided to forward the board's recommendation on to the ZBA for considerations.

Mr. Ulery moved to forward the following "ZBA Input Only" recommendation to the ZBA concerning the wetland buffer impact associated with the extension of Friars Drive for Map 209 Lot 1. The PB recommended that the WSE be granted provided the applicant follow Best Management Practices.

Motion seconded by Mr. Dumont. Motion carried – 6/0/1 (Coutu abstained)

- X. PUBLIC HEARINGS
- XI. OLD BUSINESS/PUBLIC HEARINGS
- XII. DESIGN REVIEW PHASE
- XIII. NEW BUSINESS/PUBLIC HEARINGS

A. Proposed Building Addition Presentation 200 Derry Road
Palmer Career & Technical Education Center, Alvirne HS Map 130 Lot 3

Purpose of Plan: to build a 35,500 sf addition and 75 space parking lot.

The applicant's representative, James Petropulos, came forward and presented a site plan proposed by the Hudson School Board for the renovations and improvement to the current Center for Technical Excellence at Alvirne High School. Mr. Petropulos reviewed current conditions, abutters to the property along with some of the historical aspects of the current Palmer CTE agricultural facility. After a brief overview of existing conditions Mr. Petropulos stated that approximately 12,000 square feet of the old building would be coming down to make way for a new two story building addition which totals about 35,000 square feet of new structure. The improvements will meet the needs of the school today. Mr. Petropulos added that additional parking would also be added to the front and rear of the building for staff. He also pointed out that a new storage building and greenhouse were part of the new site improvements. Mr. Petropulos reviewed the storm water plan and how storm water would be handle and what traffic problems might be encountered and how they could be addressed. Lastly Mr. Petropulos went over what the final landscape would possibly be and added that overall the project would take about twenty-four months to complete.

Alvirne Principle Steven Beals added to the presentation by providing graphical slides showing what the new CTE center would look like from different prospective. Mr. Beals reiterated some of the history behind the existing facility and what was being envisioned for today's student body. Utilizing the slide presentation Mr. Beals went on to discuss the new facility, parking, security and various aspects of the new facility from inside and outside perspectives. Mr. Beals also described the benefits of the new access for the adult day program and the inner court yard. Lastly Mr. Beals strongly emphasized how security and the student experience would be greatly enhanced. With his presentation completed Mr. Beals answered questions from the board.

Selectmen Coutu asked what the capacity of the renovated restaurant would be. Mr. Beals replied that seating would probably accommodate 75 guests in a traditional fashion but that there was a possibility that a higher capacity could be reached if configured as an evening meeting space.

Mr. Collins asked if current programs being offered would be expanded to better utilize the new space. Mr. Beals replied that the welding program would be greatly expanded. He added that the Building Trades and Heavy Equipment programs along with Health Sciences and the restaurant would also benefit from the new square footage.

Mr. Collins asked if a closer relationship with business could be fostered in the forms of internships to promote real life skills for the technical students. Mr. Beals replied that the school has current programs and strong support by local business but did add that rules and regulations were ever changing and that other challenges to provide a strong ethical and dependable works force would be an ongoing issue.

Mr. Ulery stated that he had heard that newer welding techniques were being taught. Mr. Beals answered that the goal of the new welding lab was to offer state of the art technology and that all resources would be in place to make that happen. He also added that every aspect of the renovations were to address today's demand by industry for a better trained and highly educated work force.

Selectmen McGrath inquired as to the security between the new CTE building and the existing building. Mr. Beals answered that the buildings was interconnected and opened to the students. He stated that security would be achieved by the way students of the school. Mr. Beals also added that cameras both inside and outside of the building added an additional layer of security to the campus.

Selectman McGrath asked if the current security was vetted by the Hudson Police Department. Mr. Beals replied that both Police and Fire agencies have weighed in on matters concerning safety and security and that they would continue to work with the school during construction.

Selectmen McGrath then turned to questions regarding construction time line, parking space size lighting in the rear parking lot. Mr. Beals answered that the summer month would see an increase in construction activities to reduce build time. Mr. Beals deferred the parking and lighting questions to Mr. Petropulos. Mr. Petropulos answered that the front parking lot spaces would conform to town standards. He stated that the rear lot space size would be a foot narrower to get an additional three spaces. Mr. Petropulos stated that these spaces would be utilized by school staff so it be unlikely that cars would be coming and going.

Selectman McGrath voiced concern over a lack of additional lighting in the rear parking lot. Both Mr. Beals and Mr. Petropulos stated that the issue was reviewed and the consensus was that the tennis court lighting would provide enough spill over to illuminate the parking area but that another look at the issue would be considered.

Mr. Van der Veen stated that winter months had shorter daylight hours and if this parking was for employee's they may be leaving in the dark. Mr. Beals pointed out that primary staff parking was in the southern parking lot and that

these spots would mostly be used by the paraprofessional staff whom work shorter hours.’

Mr. Beals did add that it might be worth another consultation with the electrical and lighting engineer to evaluate site requirements moving forward.

Chairman Malley mentioned that the parking lot in question already exists. Mr. Beals acknowledge that it did and said that it would just be rejuvenated with new asphalt.

With no other questions by board members the Chairman opened the public hearing at 7:49 p.m. and promptly closed the hearing at 7:49 p.m. as no member of the public came forward to provide comments or input.

Town Planner Groth stated that part of RSA 674:54 allows the Planning Board may submit nonbinding comments as to conformity of the project with local regulations. Mr. Groth added that he had met with the Zoning Administrator and the staff report he had prepared addressed most of the issues discussed tonight. Lastly Mr. Groth added that board could make a motion to forward these comments on to the school district for consideration.

Selectman McGrath asked if there should be review of the wetland impacts by the Conservation Commission. Town Planner Groth replied that the applicant did not need review of the impacts at the local level but did need and was working on the necessary permitting at the state level.

Chairman Malley added that by right the applicant did not even require Planning Board approval but was willing to provide a public review of the project. Mr. Groth interjected that the RSA concerning government projects stated the Select Board and Planning Board had the option of having the project presented in a public format and that this option was not extended to other municipal boards.

Selectman McGrath stated that she was satisfied with the report written by Town Planner Groth and supported the document being forwarded for consideration by the applicant as it reflected the concerns of the Planning Board.

Mr. Brackett asked if the parking concerns should be addressed by the board as they did not seem to be addressed in the report. Mr. Dumont stated that the reduced parking space width and narrower isles ways were noted on page 2 of the report. Mr. Groth added that purview of the review was to add comments and concerns over the conformity or nonconformity of the project.

Selectman Coutu moved to forward the Town Staff Report dated May 8, 2019 represents the Planning Board comments and recommendations concerning the Alvirne High School, Palmer CTE Building Addition to the Hudson School Board for consideration.

Motion seconded by Mr. Van der Veen. All in favor – Motion carried.

XIV. OTHER BUSINESS

A. Report on NHDOT pedestrian safety workshop, Bill Collins

Mr. Collins gave a brief presentation on information he obtained while attending the STEP (Safe Transportation for Every Pedestrian) workshop in Manchester recently. He stated that the workshop was informative and while not every topic directly related to Hudson, enough of the material presented could be used to evaluate and help improve pedestrian safety in town. Some of the points made during his presentation concerned crosswalk marking, distance between crosswalk along the busier Central Street and Lowell Road corridors and the lack of pedestrian traffic controls at key intersections such as Greely Street and Rt. 111. Lastly, Mr. Collins added that this topic should be a part of the Master Plan in general and that more people within the community might consider walking and biking if the town provided a safe environment for them to do so.

B. Discussion of CMAQ grant opportunities (Congestion Mitigation and Air Quality Control).

Town Planner Groth reviewed information about CMAQ grants stating that these grants could be used for traffic improvements at heavily congested intersections within the community. Mr. Groth added that the deadline for the grant application was June 7, 2019.

C. Census Boundary Update

Town Planner Groth discussed the 2020 Census Tracts and Block Group updates proposed for the town of Hudson by the U.S. Census Bureau. Mr. Groth stated that the Census Bureau is considering splitting the current Block Groups and Tracts into two where the population has grown to exceed size limits and that is looking for town input. Mr. Groth added that there are 10 Block Groups of which two of them would be split, the location of the splits would be at the northern end of town along Derry Road and at the west side of town along Kimball Hill Road. He also stated that the current Tracts would be split in half resulting in six Tracts within the town. Census Blocks are Statistical areas bounded by visible features such as roads, streams, and railroad tracks, and by nonvisible boundaries such as property lines, city, township, school district, county limits and short line-of-sight extensions of

roads. Census tracts are Area that is small and relatively stable. Census tracts usually have a population between 2,500 and 8,000 persons.

XV. ADJOURNMENT

Motion to adjourn by Mr. Coutu. Seconded by Mr. Van der Veen. All in favor – motion carried.

Meeting adjourned at 8:41 p.m.

William Collins
Secretary

DRAFT

MINUTES/DECISIONS OF THE PLANNING BOARD
MEETING DATE: MAY 22, 2019

In attendance = X; Alternates Seated = S; Partial Attendance = P; Excused Absence = E

Timothy Malley Chairman <u> X </u>	Jordan Ulery Vice-Chair <u> E </u>	William Collins Secretary <u> X </u>	Charlie Brackett Member <u> X </u>
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Dillon Dumont Member <u> E </u>	Ed Van der Veen Member <u> E </u>	Elliott Veloso Alternate <u> S </u>
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Roger Coutu Select. Rep. <u> X </u>	Marilyn McGrath Alt. Select. Rep. <u> E </u>	Brian Groth Town Rep. <u> X </u>
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- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL

IV. SEATING OF ALTERNATES

Mr. Veloso seated for Mr. Van der Veen.

V. MINUTES OF PREVIOUS MEETING(S)

- 08 May 19 Meeting Minutes – Decisions.

Mr. Coutu moved to approve the 08 May 19 Meeting Minutes (as written/amended).

Motion seconded by Mr. Brackett. All in favor - Motion carried.

- 08 May 19 Sitewalk Minutes – Decisions.

Mr. Veloso moved to approve the 08 May 19 Sitewalk Minutes (as written/amended).

Motion seconded by Mr. Coutu. All in favor – Motion carried.

VI. OTHER BUSINESS

A. CMAQ Grant Opportunities

The purpose of the Congestion Mitigation and Air Quality (CMAQ) grant program is to provide assisted funding for road projects that will help reduce vehicle emission in local communities.

The conversation on this matter initially started with Town Planner Groth stating that after conferring with the Town Administrator it was deemed that there were no projects currently proposed in town that would meet the threshold of funding required to make applying for such a grant worth wild. Mr. Groth added that there were projects such as completing sidewalks along Rt. 102 going towards Alvirne but funding for this could come from other sources.

Mr. Veloso asked if there might future projects that would be applicable to this type of grant funding. Town Planner Groth replied that there is already a CMAQ project taking place where an additional traffic lane will be added to Lowell Road at the Sagamore Bridge on ramp to get a better flow of traffic onto the bridge. Mr. Groth added that other projects considered such as improvements at the intersection of Wason Road and Lowell Rd would not be taken up this year. Lastly he added that a slip lane proposed by for the Town Engineer for traffic entering the new CTE addition at Alvirne High School could be paid for with impact fees.

Chairman Malley asked if the improvements to Lowell Road near Birch Street could be considered. Mr. Groth said that the improvement to that area were more for infrastructure improvements. He stated that the CMAQ grant program addressed issues more related to traffic flow and pedestrian safety.

Selectman Coutu pointed out that the Lowell Road and Birch Street project might be applicable as any improvement made there would help move traffic off of County Road. He added that in regards to Wason and Lowell Road, Market Basket was still planning on expanding and it might be prudent to wait on making improvements at this intersection until a time frame for work could be established. Selectman Coutu stated that if the work could be coordinated in this area it would help minimize disruptions during construction.

Town Planner Groth said he would review the Lowell Road and Birch Street financing idea with the Town Engineer and Town Administrator and that he would be willing to submit a letter of intent to CMAQ if the board pleased.

With no objections by board members, Selectman Coutu moved to authorize the Chairman of the Planning Board, with the assistance of the Planning Department, to send a Letter of Intent to the NHDOT by June 7, 2019 as discussed at this meeting, to be considered for the 2019 CMAQ funding

Motion by: R. Coutu

Second: E. Veloso

Mr. Veloso asked if the motion should be amended to include that the letter of intent was to address issue at Lowell Road and Birch Street. The Chairman pointed out that including such wording may limit town staff to change the use of possible funding to a more urgent and costlier project. Mr. Veloso then withdrew his suggestion to amend the motion.

With no other discussion on the matter the Chairman poled board members on the motion. The motion to file a Letter of Intent made by Selectman Coutu **carried: 5 / 0 / 0**

B. CIP Update

Town Planner Groth provided an update as to the progress of the Capital Improvement Committee (CIC) stating the committee has met twice and has now heard all suggestions made by town departments heads, boards and committees for addition to the 2019 Capital Improvement Plan (CIP). Mr. Groth said that there were a few submission made by the Engineer Department but that some of these had already be addressed through the use of impact fees. He added that there was a total of 17 project submissions and that the next step would be for the committee to organize and prioritize the projects in terms of importance to the community.

Mr. Collins asked what were some of the bigger projects submitted by department heads. Town Planner Groth answered that the Police Department was in need of space and looking into expanding its current facility. The other major project was submitted by town staff for possibly expanding town hall. Mr. Groth went on to mention that the schools submissions included improvements and repairs to building roofs, football field and tennis courts. Lastly, Mr. Groth said the Benson Park Committee had proposed repairs to the Hazelton Barn, Kitchen Building and Sustainability Committee wants to initiate establish a fund to finance energy saving projects in various town facilities.

Selectman Coutu discussed the Town Hall expansion proposal stating that preliminary costs could be under \$1,000,000 dollars. He stated that adding an addition to the existing building rather than razing and building a new facility would be more cost efficient and cause less problems. Selectmen Coutu went on to add that spending money on the Hazelton Barn was not a practical use of town funds and the Board of Selectmen would be looking to see if NHDOT would be willing to remove the building from the state historical records thus relieving the town of its responsibility to repair and maintain the building. Selectman Coutu added the improvements to the Office Building and kitchen addition made sense and would provide a source of revenue to the park through the sales of snack foods.

Mr. Collins asked if any of the quotes to Town Hall included improvements to the existing building. Town Planner Groth and Selectman Coutu stated that they did not believe so and that initial cost estimates were based on a \$300 per square foot price. Mr. Groth did add that these existing HVAC system would have to be

considered for an upgrade as part of the addition. Mr. Collins asked if building a New Town Hall building now would be more prudent than simply adding on to the existing building pointing out that any addition might reach capacity in a short time and that town would be again in the same position within 5 or 6 years. Town Planner Groth stated that no one suggested the idea so it was not added to the 2019 CIP update.

Town Planner Groth spoke on the issue of Storm Water Management stating that the town was in the process of updating the plan to reflect compliance with state regulations. He said the goal is to better manage storm water runoff by applying better construction management practices and tailoring land use regulations towards the practices.

Mr. Veloso asked if there was a time frame for submission of the MS4 plan updates and if any of the changes to the plan required approval of the Planning Board. Town Planner Groth replied that he was not sure but would look into the matter.

Selectman Coutu stated that he had heard other communities were discussing implementing fees for this program and was wondering if this was a requirement. Mr. Groth he did know of any regulation coming from the state that would force local government to institute a fee schedule. He did add that he will research the matter for clarification.

Lastly, Town Planner Groth mentioned that he was in the process of reviewing the Land Use Regulations and would be bringing his suggestions to the board for review. He also mentioned that the town was in the process of instituting a new I.D. badging program for all employee and committee members starting July 1, 2019.

Mr. Collins asked if committee and board members would be getting assigned email addresses as part of this new program. Selectman Coutu suggested that Chairman Malley send a list of current board members to the IT Department so that email addresses could be provided.

VII. ADJOURNMENT

Motion to adjourn by Mr. Collins. Seconded by Mr. Veloso. All in favor – motion carried.

Meeting adjourned at 7:41 p.m.

William Collins
Secretary