



TOWN OF HUDSON

Planning Board

Timothy Malley, Chairman

Roger Coutu, Selectmen Liaison



12 School Street · Hudson, New Hampshire 03051 · Tel: 603-886-6008 · Fax: 603-594-1142

PUBLIC MEETING TOWN OF HUDSON, NH JULY 10, 2019

The Town of Hudson Planning Board will hold a regularly scheduled meeting on Wednesday, July 10, 2019 at 7:00 p.m. in the “Buxton Community Development Conference Room” at Town Hall. The following items will be on the agenda:

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES

- V. MINUTES OF PREVIOUS MEETING(S)
 - 12 JUNE 2019 Meeting Minutes – Decisions
 - 26 JUNE 2019 Meeting Minutes – Decisions

- VI. CORRESPONDENCE

- VII. OLD BUSINESS
- VIII. DESIGN REVIEW PHASE
- IX. NEW BUSINESS/PUBLIC HEARINGS

A. Granite Subaru Amended Site Plan
SP# 05-19

193 Lowell Road
Map 216/Lot 011

Purpose of Plan: to propose the removal of the second building on-site and to expand the existing Subaru building with supporting infrastructure, while maintaining the same impervious footprint. Application Acceptance & Hearing.

- X. OTHER BUSINESS
- XI. ADJOURNMENT

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting. The public is invited to attend.

Brian Groth, Town Planner

POSTED: Town Hall, Library & Post Office – 6-27-19

MINUTES/DECISIONS OF THE PLANNING BOARD

MEETING DATE: June 12, 2019

In attendance = X, Alternates Seated = S, Partial Attendance = P, Excused Absence = E

Timothy Malley Chairman <u> X </u>	Jordan Ulery Vice-Chair <u> X </u>	William Collins Secretary <u> X </u>	Charles Brackett Member <u> E </u>
Ed Van der Veen Member <u> X </u>	Dillon Dumont Member <u> X </u>	Elliott Veloso Alternate <u> S </u>	Open Alternate _____
Roger Coutu Select. Rep. <u> E </u>	Marilyn McGrath Alt. Select. Rep. <u> X </u>	Brian Groth Town Planner: <u> X </u>	

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Note: The meeting was held at the Hudson Community Center, 12 Lions Ave., instead of Buxton Meeting Room at Town Hall. The Planning Board Chair made this decision in response to residents stating that they would be attending the hearing in large groups (50+). Thus, to accommodate the expected attendance, the meeting was moved to a higher capacity venue. Less than ten members of the public attended the meeting. Also in attendance was BOS Chairman Dave Morin, Fire Chief Robert Buxton, Lt. Mike Gosselin, Det. Adam Lischinsky and Town Engineer Elvis Dhima, PE.

I. CALL TO ORDER BY CHAIRPERSON AT 7:08 P.M.

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL

IV. SEATING OF ALTERNATES

Mr. Veloso seated for Mr. Brackett

Ms. McGrath seated for Mr. Coutu

V. MINUTES OF PREVIOUS MEETING(S)

J. Ulery moved to accept the 08 May 2019 Planning Board Meeting Minutes – Decisions as written.

Motion by: J. Ulery Second: E. Veloso Carried/Failed: 7 / 0 / 0

J. Ulery moved to accept the 22 May 2019 Planning Board Meeting Minutes – Decisions as written.

Attorney Leonard went on to mention that his client has been working closely with representatives from the Fire Department and Police Departments to address their concerns with the site access and maneuverability of fire equipment through the parking areas. Other items that he touched briefly on were snow storage, school aged children living in the new apartments and that the project area had been moved back ten feet to satisfy easement requirements along Lowell Road.

Before continuing his presentation Attorney Leonard introduced Architect Jesse Thompson, the architect for the project.

Mr. Thompson described the concept behind the building design stating that the goals of construction would be to build a highly energy efficient building that resulted in a low carbon footprint and lower utility costs for the occupants. He added that the building's façades, placements and orientations were given careful consideration and final decisions on such matters were made to help minimize the visual impact of the project. Mr. Thompson finished this portion of the presentation by describing the exterior and interior makeup of the building again relating these details to a traditional New England feel.

Selectman McGrath stated that the building was sterile looking and in her view did not fit in with the character of the town. Mr. Thompson had no rebuttal to this comment and concluded his presentation.

Attorney Leonard returned to the podium and stated that further discussion on the overall appearance of the build could be considered. He described the specific architectural elements of the building design that are consistent with traditional New England including: dormers, gable roof forms, low-pitched roof, asphalt shingles, white clapboard siding, and pronounced roof vents. Attorney Leonard added that economics plays a key role in overall design and that the project was being located in the business district as part of the zoning regulations.

Next Attorney Leonard addressed traffic impacts that a project like this could have. He stated that all possibilities had been assessed by the applicant's traffic engineer and that there studies concluded that the traffic entering and exiting the site would cause little added disturbance to an already busy roadway. Attorney Leonard went on to talk about the site entrance configuration and what the best configuration for this entrance might be. He stated that the applicant would agree to a right in/right out configuration if requested by the board but the applicant preferred a left hand turn into the development.

Before continuing his presentation Attorney Leonard introduced the applicant's Traffic Engineer to review the traffic study conducted for the site.

Mr. Jason Plourde of Vanasse, Hangen, Brustlin, VHB, first provided board members with guidelines he followed to produce the traffic impact data for the site. He stated further that his conclusions were based on resources set forth by ASHTOO and NHDOT. Mr. Plourde continued his presentation describing the daily traffic patterns of a right in and right out scenario stating that although the numbers seemed low it was reasonable to believe that not all residents would be departing the site at the exact same time. Mr. Plourde went on to describe the left hand turns that would occur at Executive Drive. Again he emphasized that there would not be a significant increase in turning traffic. Overall there would be less than

thoroughly vetted through the engineering process and would be suitable to handle exiting traffic.

Mr. Ulery asked about signage and whether or not the triangular island would be raised. Mr. Plourde stated that proper marking and signage would be deployed at the intersection in such a fashion to discourage left in turns but still allow for emergency vehicles to enter the site unabated

Mr. Veloso asked if the traffic study could be reevaluated to take into account the remaining seventy-seven acre lot. He noted that the current traffic study only addressed the proposed Friars Drive development and that future build out of the rear lot may have major implications on the Friars Drive extension. Mr. Plourde answered that although it was a valid question he could not speculate as to what the remaining portion of the property would be used and added that the town should be prepared to address that future issue.

Town Engineer Dhima came to the podium to explain the options for the entrance to the new development which are full access, right in/right out and right & left in/right. His professional opinion favored the right in, right out approach to minimize traffic at the site entrance.

Mr. Ulery asked Mr. Plourde if an additional south turning lane would be justified per ITE standards with additional traffic entering Friars Drive to access the back end of Executive Drive. Mr. Plourde stated that he really couldn't answer the question because not enough data concerning the larger traffic volumes was available.

Mr. Ulery went on to ask that if NHDOT approved an extra turning lane would the developer be willing to assist in its construction. Attorney Leonard replied that the developer was already going above and beyond with what they promised in regards to Friars Drive. He felt that it would be wrong to ask for additional monies and time in regards to the final design of the roadway. Mr. Pilotte of Dakota Partners added that the company will be paying traffic impact fees and these fees could be used to incorporate upgrades to Friars and Lowell Road as needed. With that said Attorney Leonard concluded his presentation.

Prior to the chairman opening the public hearing. Selectman McGrath asked that a state be made concerning the true purpose of the new apartment complex. Attorney Leonard obliged and stated that this project fell under the guide lines for work force housing not government housing. He added the goal was to provide affordable housing to families and individuals meeting medium income parameters. He also stated that this was not a Section-8 project.

Selectman McGrath asked if Attorney Leonard could elaborate on the tax credit mention by some in town. Attorney Leonard said that the tax credit is provided by the state not the town. He added that it is an incentive provided by the state to developers to encourage their participation in programs such as this.

With board members questions answered the Chairman opened the Public Hearing at 8:38 p.m.

provided to expand parking and that if needed and required it would be added when the second building was built. Selectman McGrath then asked about the existing conditions waiver being sought. She asked what would happen if Dakota Partners decide to sell the property. Attorney Leonard answered that covenants on the property would allow the units to continue to be rented as work force housing for at least thirty years. Lastly Selectman McGrath commented that the entrance island to be extended further to help prevent left turns in or out of the site.

Mr. Van der Veen asked what the comment of "condo lands" on sheet six of the submitted drawing package meant. Attorney Leonard responded that the term was generally used for financing purposes and that there were no plans to convert any of the units to condominiums. Mr. Van der Veen went on to say that in his opinion the wait and see approach in regards to parking was not a wise choice and felt uncomfortable with supporting any wavier requesting a reduction in parking spaces.

Mr. Dumont asked if the impact fees had been calculated for the project. Town Planner Groth said that they were and believed that they were about \$400,000.00 dollars. [Note: Groth corrected this estimate in an email to the Planning Board on 6/19/19 that the figure is about \$200,000] Mr. Dumont went on to add that the CAP fees paid by the developer would assist the town in future upgrades to the Lowell Road corridor.

Mr. Collins commented about the proposed right in and right out configuration. He stated that in his opinion there was ample space and time for motorist to make safe left hand turns into the site and if the intersection was reconsidered that he would support a left in turn.

Town Engineer suggested that the board provide the applicant with clear direction as to the entrance configuration tonight so that applicant could finalize their plan set and move forward.

Mr. Dumont asked if the entrance configuration could be reviewed as a minor site plan. Town Planner Groth answered no, that it needs to be addressed in this application.

Mr. Van der Veen stated that he thought Friars Drive was being extended to allow for emergency access to the site. Town Engineer Dhima replied that he was correct but also the Friars Drive extension would complete the planned connection between Lowell Road and Executive Drive, as discussed in previous meetings and staff reports. Town Planner Groth agreed and emphasized that the extension improves access by eliminating the need for additional curb cuts along Lowell Road. This pattern forms a grid, as opposed to the condition of Amherst Street in Nashua where a main thoroughfare is overloaded with curb cuts and no alternate routes. The extension was a revision made in response to comments from the Fire, Police, Engineering and Planning departments. There were also questions about the time line of construction on Friars Drive and the width of the roadway all these were answered satisfactorily to the Town Planner and Town Engineer.

The Chairman entertained a motion to restrict the Lowell Road entrance onto Friars Drive to a Right Turn in and Right Turn out limitation.

After a short discussion Planning Board members agreed that a waiver for relief of §276-11.1, subsections 15 and 16 were justified based on the testimony of the Applicant's representative.

D. Dumont moved to grant the requested waiver of §276-11.1, subsections 15 and 16 – to allow the existing conditions survey to pertain only to the portion of the parcel being developed based on the testimony of the Applicant's representative and in accordance with the language included in the in the submitted waiver request form.

Motion by: D. Dumont

Second: E. Veloso

Carried/Failed: 7 / 0 / 0

Waiver 3: §289-28 – Roadway Requirements

The Applicant is seeking relief of §289-28 – Roadway Requirements, The requested waiver would allow the Friars Drive roadway extension construction to be phased, with the initial reconstruction consisting of improvements required by the town and Town Engineer. The applicant states that these improvements will accommodate the proposed traffic on it. They further stated that at the time of future development is proposed on the parent lot, the roadway is predesigned to be further improved to meet those particular needs and requirements.

Based on the recommendation of Staff, PB members held off on consideration of the waiver until final resolution of design and easement associated with the roadway have been vetted properly.

The Chairman asked the applicants representative if there was any other information that they may need going forward. Attorney Leonard inquired as to the parking space waiver and asked if more information was needed for the board to make a decision. Town Planner Groth suggested that Dakota Properties show the Planning Board examples of their other sites.

This matter will continue to forward at the next meeting

Selectman McGrath asked for more information about the application process for those seeking to rent apartments and also about recreational space. Attorney Leonard replied that all residents would be vetted through the same application process. He provided the Board with the application that would be required of a potential tenant.

Town Planner Groth mentioned to the applicant that minor errors in some of the drawing notes need to be corrected that the waivers should be clearly noted on the site plan drawing.

Selectman McGrath added that she does not like the design of the building and would not support it if it goes forward as presented. Attorney Leonard answered he respectfully disagreed.

Prior to concluding the meeting Chairman Malley read aloud a letter from Kevin Lynch of 733 Fox Hollow Drive. Mr. Lynch opposes the project as stated in his letter in matters of traffic and architectural design.

MINUTES/DECISIONS OF THE PLANNING BOARD
MEETING DATE: JUNE 26, 2019

In attendance = X; Alternates Seated = S; Partial Attendance = P; Excused Absence = E

Timothy Malley Chairman <u> X </u>	Jordan Ulery Vice-Chair <u> X </u>	William Collins Secretary <u> X </u>	Charlie Brackett Member <u> X </u>
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Dillon Dumont Member <u> X </u>	Ed Van der Veen Member <u> X </u>	Elliott Veloso Alternate <u> X </u>
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Roger Coutu Select. Rep. <u> X </u>	Marilyn McGrath Alt. Select. Rep. <u> X </u>	Brian Groth Town Rep. <u> X </u>
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- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL

IV. SEATING OF ALTERNATES

Mr. Veloso seated for Mr. Brackett.

V. MINUTES OF PREVIOUS MEETING(S)

VI. CORRESPONDENCE

A. Release of Surety Bond for 24 Constitution Drive Site Plan

Reference Memo dated 06-14-19 from Gary Thomas, Northpoint Construction Management, to Brian Groth, Town Planner, requesting the release of \$38,250.00 for the purpose of completing the improvements at 24 Constitution Drive, Hudson, NH.

Mr. Van der Veen moved to release the site improvements surety for Princeton Technologies II, 24 Constitution Drive, Map 170/Lot 034 in the amount of \$38,250.00.

Motion seconded by Mr. Veloso. All in favor – motion carried.

Mr. Dumont moved to grant the requested waiver of §289.28, to waive the roadway requirements to allow for a 24-foot wide roadway without sidewalks or granite curbing for the extension of Friars Drive from the existing as-built port of Friars Drive to Lowell Road, to be constructed by the Applicant. At such time as a subdivision or site plan application may be approved for Map 209/Lot 001-000, Friars Drive extension shall be upgraded and widened to 32 feet, together with sidewalks and granite curbing, and otherwise in full compliance with §289.28, in order to match the existing condition of the portion of Friars Drive that is currently a town-accepted road. Notwithstanding the requested waiver, the Applicant may elect to construct Friars Drive extension to its full 32 foot width, with associated improvements, at any time prior to the development of Map 209/Lot 001-000. All roadway construction to be approved by the Town Engineer.

Motion seconded by Mr. Ulery. All in favor – motion carried.

MOTION TO APPROVE:

Mr. Veloso moved to approve the subdivision & site plan applications for the Plan Set entitled: Friars Court Site Plan; prepared for Dakota Partners, 1264 Main Street, Waltham, MA 02451; prepared by The Dubai Group, Inc., 84 Range Road, Windham, NH 03087; dated April 29, 2019, last revised June 24, 2019; and consisting of 33 Sheets and Notes on Sheet 2; and as revised per, and subject to the, following stipulations:

1. Friars Drive shall be extended and constructed as a right of way from the existing as-built port of Friars Drive to Lowell Road as shown on the Plans. The portion of the right of way from the as-built port to the westerly property line of Lot 001-001 shall be dedicated to the Town as a public road (the "Public Way"). The portion of the right of way that crosses new Lot 001-001 shall remain private until after Phase II is completed, at which time it will be offered for dedication to the Town.
2. The dedication of the Public Way shall be evidenced by a deed approved by and acceptable to the Town's attorney.
3. The entire area south of the right of way on Map 209, Lot 001-001 shall be subject to a Restrictive Easement, said Easement Deed to be approved by the Town's attorney. The Restrictive Easement shall prohibit future buildings but shall permit the construction of roads, drainage, and utility improvements along Friars Drive.
4. The site plan for Map 209 Lot 001-001 consisting of an 11.198 acre tract approved as an 81 unit multifamily residential rental complex. The complex is approved for financing and construction in two phases: Phase I is approved for 47 residential units in Building 1, Phase II is approved for 34 residential

- A. Tree clearing within dedicated right of way
 - B. Stump removal within dedicated right of way
 - C. Top soil removal within the dedicated right of way
 - D. Construction entrance installation
 - E. Erosion control in place
 - F. Rough grading of the proposed road envelope
15. Add Note to Plan: Trash pickup limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Friday.
16. Install a planter on the triangular island at the Lowell Road curb-cut to improve aesthetics and to deter left turns in and out of the property. Final design to be approved by Town Engineer.

Motion seconded by Mr. Van der Veen. All in favor – motion carried.

VIII. DESIGN REVIEW PHASE

- A. Boyer Site Plan 156 Lowell Road & 162 Lowell Road
 CSP# 03-19 Map 209/Lot 1 & Map 210/Lot 009

Purpose of Plan: to depict the proposed redevelopment of the site to include the removal of the existing buildings and construction of a 21,600 sf business/professional office building, a 4,000 sf gas station, covered gas pumps, and a 600 sf car wash.

NOTE: Applicant has requested to withdraw this Application.

Applicant withdrew the Application prior to the meeting.

IX. NEW BUSINESS/PUBLIC HEARING

- A. Chapin Street 2-Lot Subdivision 1 Chapin Street
 SB# 03-19 Map 190/Lot 109

Purpose of Plan: to depict the subdivision of Map 190, Lot 109, into two residential lots. Application Acceptance & Hearing.

The Planning Board moved to accept the Subdivision Application for Chapin Street, Map 190/Lot 109.

APPROVED WAIVERS:

3. A school impact fee amount of \$3,578.00 per residential unit shall be paid prior to the issuance of a Certificate of Occupancy in accordance with the cost allocation procedure (CAP).
4. A recreation contribution amount of \$400.00 per residential unit shall be paid prior to the issuance of a Certificate of Occupancy in accordance with the cost allocation procedure (CAP).
5. All monumentation shall be set or bonded prior to issuance of building permits.
6. Approval of this plan shall be subject to final review and approval by the Town Engineer.
7. Construction activities involving this plan shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday.
8. Existing driveway shown as part of Map 190/Lot 109 shall be relocated to Fulton Street.
9. Plans shall be revised to show the sewer line for the newly created lot 190/Lot 109-001 located in the town right of way along Chapin Street.

Motion seconded by Ulery. All in favor – motion carried.

- C. Highland Street Lot Line Relocation 10 R Highland Street & 7 Lee Way
SB# 04-19 Map 174/Lot 086, Map 174/Lot 079-005

Purpose of Plan: to relocate the lot line between Map 174, Lot 086, and Map 174, Lot 079-005 to make a non-conforming lot conforming by giving it adequate frontage on Lee Way. Application Acceptance & Hearing.

The Planning Board moved to accept the Lot Line Application for Highland Street, Map 174/Lot 086, and Lee Way, Map 174/Lot 079-005.

MOTION TO APPROVE:

Mr. Veloso moved to approve the lot line relocation plan entitled: Plan Showing Lot Line Adjustment between Tax Map 174 Lot 79-5 & Lot 86; prepared by Boundreau Land Surveying, PLLC, 2 Beatrice Lane, Newmarket, NH 03857; prepared for Posey Investments, LLC, 195R Central Street, Hudson, NH 03051; consisting of 1 sheet in accordance with the following terms and conditions:

GRANITE SUBARU SITE PLAN AMENDMENT

STAFF REPORT

July 10, 2019

SITE: 193 Lowell Road – Map 216 Lot 11

ZONING: Business (B)

PURPOSE OF PLANS: to remove a building and expand the existing Subaru building with supporting infrastructure.

PLANS UNDER REVIEW: SP# 05-19 Granite Subaru Amended Site Plan; prepared by The Dubai Group, Inc., 84 Range Rd., Windham, NH 03087; prepared for AMR Real Estate Holdings – Hudson LLC, 425 Providence HWY, Westwood, MA 02090; consisting of 11 sheets and notes 1-17 on sheet; and Elevations, sheet A-201, prepared by Claris Construction/Ballina Group, LLC

ATTACHMENTS:

- A. Site Plan Application
- B. Project Narrative
- C. Drainage Memorandum
- D. Waiver Request Forms
- E. Departmental Review Comments (Fire, Engineering, Zoning)

APPLICATION TRACKING:

- June 4, 2019 – Application received.
- June 21, 2019 – Peer review fee received.
- July 10, 2019 – Public hearing scheduled.

WAIVER REQUESTS:

1. §275.8.C.5.a – Parking lot aisle width: applicant requests allowance of a 20' aisle where 24' is required.
2. §275.8.C.4 – Parking space dimensions: applicant requests 9' x 18' spaces, where 10' x 20' is required.

STAFF COMMENTS:

At the time of this report, peer-review comments have not been received as the review fee was not received until June 21st, 2019. Staff expects to receive Fuss & O'Neil's comments prior to the July 10, 2019 public hearing. In addition to the comments below, please see *Attachment E* for additional staff input.

DRAINAGE

- **Impervious Surface:** In *Attachment C*, The applicant asserts that the amended site plan will result in an approximate 400 square foot reduction in impervious area. It appears

that the plan results in the removal of more than 16,000 square feet of porous (pervious pavement). This area is being replaced by a portion of the proposed building and parking area that is not proposed to be porous. The applicant should further demonstrate the net change in impervious surface with calculations and a plan illustrating the change.

- **Roof Drainage:** *Sheet 6* shows a grade break in the roof, noting that the northern portion of the roof will drain to an existing catch-basing (CB-15), but does not address drainage of the southern portion of the roof. Further, the plan view of the building footprint and the building elevations do not match. Where the plan view shows one grade break near the midpoint of the building, the elevations show two tower elements at either end of the building. The applicant should revise *Sheet 6* to match the building elevations and to depict the drainage strategy.

ARCHITECTURE

- **South Elevation:** On *Sheet A-201*, the Proposed Left (South) Elevation Left shows a 6'11" drop from the first floor elevation, or 4'5" drop from the shop floor elevation. Staff does not see this reflected in the site plan, as the grade remains consistent along this building edge. It is possible this elevation is showing interior conditions, but the applicant should clarify.

PARKING & ACCESS

- **Rear Setback:** Normally asphalt (or any development activity) wouldn't be allowed in the rear setback, but this is an existing condition. However, the proposed building creates a condition that is of concern to the Fire Chief: a 15-foot wide access way along building's backside (*Attachment E*). Also, there is a portion that is approximately 10-foot wide in the rear near the existing building. While Staff understands that a portion of the abutting lot is currently used to supplement the access way width in some areas, the Planning Board cannot recognize this as a legitimate provision without an easement. The Planner will continue discussions with the Fire Chief on the matter.
- **Parking:** The applicant should distinguish which spaces are customer parking and which are for product. This will affect the required/provided parking count, which is currently calculated using retail rates. The reality of the site, from a parking standpoint, is a mix of uses: retail, office, showroom, automotive, etc. Section 275-8.C.2 of the Site Plan Review regulations allows the Planning Board to vary the requirements if the applicant can demonstrate adequate provision of parking spaces. Given the unique nature of the site, Staff recommends the applicant provide a more detailed parking plan to the Board.

RECOMMENDATIONS:

Staff expects to receive documentation related to the sewer easement prior to the meeting. Upon its receipt, this application may be considered complete and appropriate for acceptance. A plan may be accepted when all required application materials have been submitted, notwithstanding that revisions may be needed prior to approval.

Assuming the easement documentation is received, Staff recommends this application be **accepted** by the Planning Board, but neither approved nor denied at the July 10, 2019 meeting. Staff recommends the Board commence the public hearing on the application to hear testimony from the applicant and the public, allow the Board to ask questions, provide recommendations and take action on waivers if desired. Staff then recommends continuing the application to the Planning Board's next meeting to accommodate additional revisions and final review by the peer-review consultant, Fuss & O'Neill.

WAIVER MOTIONS/REQUESTS:

1. §275.8.C.5.a – Parking lot aisle width.

I move to grant the requested waiver of §275.8.C.5.a – parking lot aisle width, to allow for 20-feet where 24-feet is required, based on the Board's discussion, the testimony of the Applicant's representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: _____ Second: _____ Carried/Failed: _____

2. §275.8.C.4 – Parking space dimensions

I move to grant the requested waiver of §275.8.C.4 – parking space dimensions, to allow for 9'x18' spaces where 10'x20' spaces are required, based on the Board's discussion, the testimony of the Applicant's representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: _____ Second: _____ Carried/Failed: _____

DRAFT MOTIONS

To accept the application:

I move to accept the site plan application for 193 Lowell Road, Map 216 Lot 11.

Motion by: _____ Second: _____ Carried/Failed: _____

To continue the public hearing to a date certain:

I move to continue the public hearing for 193 Lowell Road, Map 216 Lot 11, date certain, _____.

Motion by: _____ Second: _____ Carried/Failed: _____

PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: 6/4/19 Tax Map # 216 Lot # 11
Name of Project: Granite Subaru - Amended Site Plan
Zoning District: Business General SP#
ZBA Action: N/A - Amendment

PROPERTY OWNER:

DEVELOPER:

Name: AMR Real Estate Holdings - Hudson, LLC Jim Angotti - Granite Subaru
Address: 425 Providence Highway 193 Lowell Road
Address: Westwood, MA 02090 Hudson, NH 03051
Telephone # 603-888-9999
Fax #
Email: jim@granitesubaru.com

PROJECT ENGINEER

SURVEYOR

Name: Doug MacGuire, PE, The Dubay Group, Inc. Tim Sutherland, The Dubay Group, Inc.
Address: 84 Range Road 84 Range Road
Address: Windham, NH 03087 Windham, NH 03087
Telephone # 603-458-6462 603-458-6462
Fax #
Email: doug@thedubaygroup.com tim@thedubaygroup.com

PURPOSE OF PLAN:

The proposed project is to remove the second building on-site and to expand the existing Subaru building with supporting infrastructure, while maintaining the same impervious footprint.

For Town Use
Plan Routing Date: Deadline Date: Meeting Date:
I have no comments I have comments (attach to form)
Title: Date:
DEPT: Zoning Engineering Assessor Police Fire Planning
Consultant DPW
Fees Paid:

SITE DATA SHEET

PLAN NAME: Granite Subaru - Amended Site Plan

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 216 LOT 11

DATE: _____

Location by Street	<u>193 Lowell Road</u>	
Zoning:	<u>Business</u>	
Proposed Land Use:	<u>Commercial - Vehicle Sales & Service</u>	
Existing Use:	<u>Commercial - Vehicle Sales & Service</u>	
Surrounding Land Use(s):	<u>Industrial & Residential</u>	
Number of Lots Occupied:	<u>1</u>	
Existing Area Covered by Building:	<u>22,115 SF</u>	
Existing Buildings to be removed:	<u>6,615 SF</u>	
Proposed Area Covered by Building:	<u>32, 250 SF</u>	
Open Space Proposed:	<u>N/A</u>	
Open Space Required:	<u>N/A</u>	
Total Area:	<u>S.F.: 260,809 Acres: 5.99</u>	
Area in Wetland:	<u>6,379 SF Area Steep Slopes: N/A</u>	
Required Lot Size:	<u>30,000 SF</u>	
Existing Frontage:	<u>1,053 FT.</u>	
Required Frontage:	<u>150 FT</u>	
Building Setbacks:	<u>Required*</u>	<u>Proposed</u>
Front:	<u>50'</u>	<u>84 +/- existing</u>
Side:	<u>15'</u>	<u>200', 233'</u>
Rear:	<u>15'</u>	<u>16 +/-</u>

**SITE PLAN DATA SHEET
(Continued)**

Flood Zone Reference: N/A, based on FIRM map #33011CO656D

Width of Driveways: 50 FT, 24 FT (existing)

Number of Curb Cuts: 2 (existing)

Proposed Parking Spaces: 318 (with existing)

Required Parking Spaces: 177

Basis of Required Parking (Use): Retail Business & Personal Service Establishments

Dates/Case #/Description/Stipulations
of ZBA, Conservation Commission,
NH Wetlands Board Actions:
(Attach stipulations on separate sheet)

Hudson Town Code

<u>Waivers Requested:</u>	<u>Reference</u>	<u>Regulation Description</u>
_____	1. <u>275-8-C-(5)(a)</u>	<u>aisle width</u>
_____	2. <u>275-8-C-(4)</u>	<u>parking space size</u>
_____	3. _____	_____
_____	4. _____	_____
_____	5. _____	_____
_____	6. _____	_____
_____	7. _____	_____
_____	8. _____	_____

(Left column for Town Use)

Impact Fees:
C.A.P Fee: _____

Development Agreement
Proposed: _____

<i>For Town Use</i>	
Data Sheet Checked By: _____	Date: _____

**The Dubay Group, Inc.**

84 Range Road, Windham, NH 03087

603-458-6462 thedubaygroup.com

MEMORANDUM

To: Hudson Planning Board**Date:** June 4, 2019**From:** Doug MacGuire, PE**Re:** Project NarrativeGranite Subaru – Amended Site Plan

The proposed amended Site Plan is located on 193 Lowell Road, Map 216 Lot 11. The owner of record is AMR Real Estate Holdings, LLC. The parcel is approximately 5.99 acres, and currently has two buildings on site. These two buildings on site, with supporting infrastructure, are used by Granite Subaru for the commercial use of motor vehicle sales and service.

The proposed design includes the removal of the secondary commercial building and expanding the primary Subaru building. The amended site plan proposes the expansion to be within the existing impervious area, and results in a minor reduction of impervious cover. The building expansion limits the work area to one section of the parcel – surrounding the existing secondary commercial building. The lot configuration is not changing in terms of frontage, setbacks, area in and surrounding the wetland, parking requirements, etc.

Two waivers are proposed, reflecting both the existing conditions of the site and the proposed design. The proposed parking area to be redone reflects the same dimensional layout as the existing parking for the site. The existing parking spaces are 9 feet by 18 feet, and the proposed project includes the same sized spaces, therefore requiring a waiver. The second waiver is regarding the parking aisle width. The existing parking lots include aisle widths that are less than the required 24 feet. The proposed design includes one aisle width that is also less than the required 24 feet. Both waivers allow for the area of expansion to be consistent with the existing layout for Granite Subaru, and for the impervious area to remain unchanged.



The Dubai Group, Inc.

84 Range Road, Windham, NH 03087

603-458-6462 thedubaygroup.com

DRAINAGE MEMORANDUM

To: Hudson Planning Board

Date: June 4, 2019

From: Doug MacGuire, PE

Re: Drainage Memorandum

Granite Subaru – Amended Site Plan

The proposed amended Site Plan is located on 193 Lowell Road, Map 216 Lot 11. The parcel is approximately 5.99 acres, and currently has two buildings on site. The two buildings, with supporting infrastructure, are used by Granite Subaru for the commercial use of motor vehicle sales and service. The proposed design includes the removal of the secondary commercial building and expanding the primary Subaru building. The proposed expansion is within the existing developed area of the site.

The amended site plan includes an approximate 400 SF reduction in overall impervious area on the site when comparing the existing conditions to the proposed. This is due to the realignment of the front pavement limit per the new building.

The resulting grading has been designed to similarly match the flow patterns of the existing developed site. Proposed roof drains will direct the new roof to specific locations to match these flow patterns.

The existing drainage system will be improved through installation of the “Flexstorm Pure Inlet Filter”, proposed at both existing catch basin locations in the construction area (CB-9 and CB-15). This permanent filter provides inlet protection and stormwater runoff control, as well as treatment through the filtering medium.

In conclusion, drainage flow rates will remain consistent for the drainage design points of the site and improvements to runoff treatment will occur prior to exiting the site.

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: Granite Subaru - Amended Site Plan

Street Address: 193 Lowell Road

I Doug MacGuire hereby request that the Planning Board waive the requirements of item 275-8-c-(5)(a) of the Subdivision/Site Plan Checklist in reference to a plan presented by The Dubai Group, Inc., Doug MacGuire

(name of surveyor and engineer) dated 4/30/19 for property tax map(s) 216 and lot(s) 11 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The amended site plan proposes no net change to impervious area, and the existing parking includes aisle widths less than 24 feet wide. The proposed amendment follows the existing design.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

the spirit and intent is upheld because this is an existing feature of the site. The proposed aisles that are less than 24 feet are for the purpose of vehicle storage and employee travel.

Signed: [Signature]
Applicant or Authorized Agent

Planning Board Action:

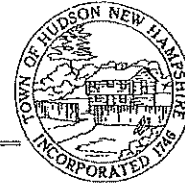
Waiver Granted: _____

Waiver Not Granted: _____



TOWN OF HUDSON FIRE DEPARTMENT


39 FERRY STREET, HUDSON, NEW HAMPSHIRE 03051



Emergency 911
Business 603-886-6021
Fax 603-594-1164

Robert M. Buxton
Chief of Department

TO: Brian Groth
Town Planner

FR: Robert M. Buxton 
Fire Chief

DT: June 11, 2019

RE: 193 Lowell Road

The following is a list of site plan concerns for this project. This review was completed utilizing plans submitted by the Dubai Group dated April 30, 2019.

1. Please provide the markings for fire apparatus access in accordance with NFPA 1.

The Fire Department notes that there is an access road around the rear of the new addition. The proposed width of the roadway is fifteen feet. We would request that the width of the roadway be increased to twenty feet.

It is further noted that the roadway in the parking area decreases in width at the Hampshire end of the property along the new building. We would request that this width be increased to twenty four feet, remaining consistent with the remainder of the site.

2. The driveway shall have a permanent sign approved by the Hudson Fire Department noting the addresses of the buildings that are accessed from that driveway. These signs shall be approved and installed before issuance of any building permits.
3. Addressing will need to be obtained from the Hudson Fire Department prior to a building permit being issued. It is assumed with the building being attached to the original Subaru building this will fall under one street address.
4. Please make sure that the proposed snow storage area shown on the plan in the area of the cistern is cut back to make sure access is maintained.

****The following life safety and fire protection concerns are provided for informational purposes to the applicant and Planning Board for this project. Final determinations on these issues occur after further review of the project.**

- A. The proposed building will require an approved sprinkler system. The Hudson Fire Department upon review of the building plans makes this determination. This requirement is in accordance with the **International Building Code (IBC)** and **Hudson Town Code (HTC)**, current revision, Chapter 210, Article VI. It may be possible following the IBC

to separate the tenants by providing firewalls in the building. This would eliminate the need to sprinkle the building according to the HTC. Separate occupancies may still require a sprinkler system according to the IBC, State Code, and applicable codes or ordinances. Further plan reviews will uncover those requirements.

- B. Any fire protection system shall be monitored by an approved fire alarm system. The fire alarm system shall be connected to the Hudson Fire Department's municipal fire alarm system or a substantially equivalent system in accordance with the **Hudson Town Code, Chapter 210**. A site plan detailing the aerial or underground layout to the municipal fire alarm connection must be provided before the utilities are completed for this project. Any required fire alarm system component must remain accessible and visible at all times.
- C. Will there be inside or outside storage above the exempt amounts of hazardous materials, liquids or chemicals presenting a physical or health hazard as listed in the **International Building Code, Sections 307, 414 or 415**?
- D. A blasting permit will be required for any blasting on the site in accordance with the **Hudson Town Code, Chapter 202**.
- E. All storage either inside or outside of hazardous materials, liquids or chemicals presenting a physical or health hazard as listed in **NFPA 1, Section 20.15.2.2** shall be in accordance with the applicable portions of the following:

NFPA 13, Standard for the Installation of Sprinkler Systems
NFPA 30, Flammable and Combustible Liquids Code
NFPA 30B, Code for the Manufacture and Storage of Aerosol Products
NFPA 230, Standard for the Fire Protection of Storage
NFPA 430, Code for the Storage of Liquid and Solid Oxidizers
NFPA 432, Code for the Storage of Organic Peroxide Formulations
NFPA 434, Code for the Storage of Pesticides

These are all of the Hudson Fire Department's concerns as of this time. If you have any further questions, please call me directly and thank you for your continued cooperation.

cc: Project Engineer
File

Dhima, Elvis

From: Dhima, Elvis
Sent: Thursday, June 06, 2019 2:52 PM
To: Dubowik, Brooke; Groth, Brian
Subject: RE: Dept. Sign Off - Granite Subaru

B/B

Please see below

1. Applicant shall state if they meet the new MS4 requirements.
2. The applicant shall state the net total of the impervious area and will include the area of the existing porous pavement that will be removed.
3. Plans show pavement within the building setbacks.

Thank you

E

Elvis Dhima, P.E.
Town Engineer


Town of Hudson, NH
12 School Street
Hudson, NH 03051
Phone: (603) 886-6008
Mobile: (603) 318-8286



From: Dubowik, Brooke
Sent: Thursday, June 06, 2019 11:08 AM
To: Bianchi, Dave <dbianchi@hudsonnh.gov>; Buttrick, Bruce <bbuttrick@hudsonnh.gov>; Buxton, Robert <RBuxton@hudsonnh.gov>; Dhima, Elvis <edhima@hudsonnh.gov>; Forrence, Jess <jforrence@hudsonnh.gov>; Groth, Brian <bgroth@hudsonnh.gov>; Michaud, Jim <jmichaud@hudsonnh.gov>
Subject: Dept. Sign Off - Granite Subaru

Good morning,
Attached is a sign off for an Amended Site Plan at Granite Subaru.
This project is also on the agenda for the June 26th meeting, so if you could have your comments back to me by June 12th, I would greatly appreciate it.
Thank you,

Brooke Dubowik
Planning Administrative Aide II

Town of Hudson 
12 School Street
Hudson, NH 03051



TOWN OF HUDSON

Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

June 6, 2019

Site Plan Review
Zoning Review/Comments

BB

Re: Case: SB
Proposed removal of 2nd bldg. and expand an existing bldg. on an existing developed lot
Address: 193 Lowell Rd
Map 216 /Lot 011
Zoning district: Business (B)

Based on submitted plan dated April 30, 2019

Verify the heights of the proposed structure doesn't exceed the height limits in the Zoning Ordinance 334-14.

Identify (if necessary) automotive display areas vs. customer/employee parking.

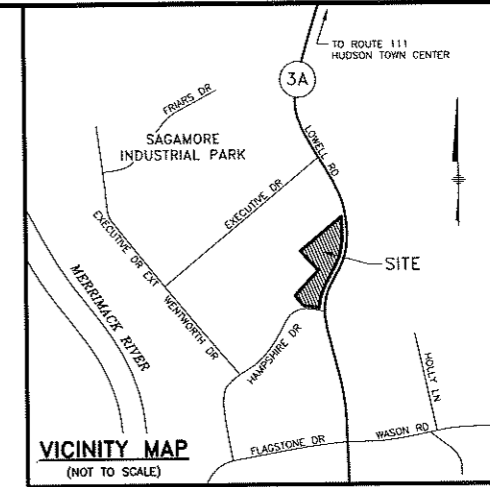
Sincerely,

Bruce Buttrick, MCP
Zoning Administrator/Code Enforcement Officer
(603) 816-1275
bbuttrick@hudsonnh.gov

encl: April 30, 2019 plan submitted
cc: Public Folder
B. Groth - Town Planner
file

Granite Subaru

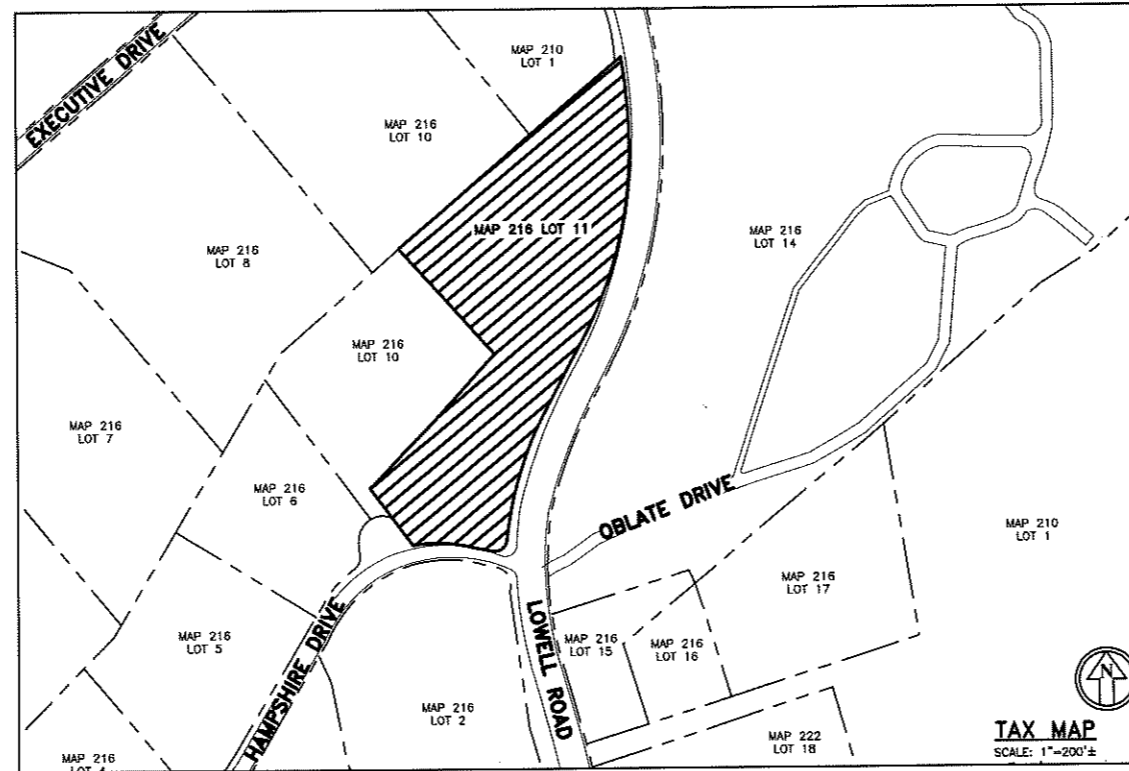
Amended Site Plan



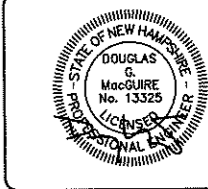
The Dubai Group, Inc.
84 Range Road
Windham, NH 03087
603-458-6462

Engineers
Planners
Surveyors

TheDubayGroup.com



RECEIVED
JUL 08 2019
TOWN OF HUDSON
PLANNING DEPARTMENT



REVISIONS:			
REV.	DATE:	COMMENT:	BY:

DRAWN BY: JMM
CHECKED BY: DGM
DATE: APRIL 30, 2019
SCALE: AS SHOWN
FILE: 347-COVER
DEED REF:
BK 8816 PG 0883
BK 8632 PG 0463

PROJECT:
GRANITE SUBARU
193 LOWELL ROAD
HUDSON, NH 03051
MAP 216 LOT 11

FOR
AMR REAL ESTATE
HOLDINGS - HUDSON, LLC
425 PROVIDENCE HWY
WESTWOOD, MA 02090

SHEET TITLE:
COVER SHEET

PROJECT #347 SHEET 1 of 11

SHEET INDEX

- 1 TITLE SHEET
- 2-3 EXISTING CONDITIONS PLANS
- 4 PREPARATION PLAN
- 5 SITE LAYOUT PLAN
- 6 GRADING, DRAINAGE, & UTILITIES PLAN
- 7 LIGHTING PLAN
- 8-11 SITE DETAILS

- A-201 BUILDING ELEVATIONS

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

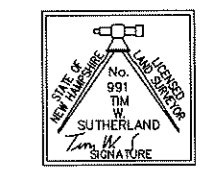
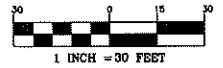
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
CHAIRMAN _____ SIGNATURE DATE: _____
SECRETARY _____ SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

N:\PROJECTS\347-Angotti, Subaru - Hudson\DWG\CURRENT\347-COVER.dwg



The Dubay Group, Inc.
 84 Range Road
 Windham, NH 03087
 603-458-6462

Engineers
 Planners
 Surveyors
 TheDubayGroup.com



REVISIONS:			
REV.	DATE	COMMENT	BY

DRAWN BY: MNW
 CHECKED BY: TWS
 DATE: APRIL 30, 2019
 SCALE: 1"=30'
 FILE: 347ws
 DEED REF: BK 8816 PG 0883
 BK 8632 PG 0463

PROJECT:
GRANITE SUBARU
 193 LOWELL ROAD
 HUDSON, NH 03051
 MAP 216 LOT 11

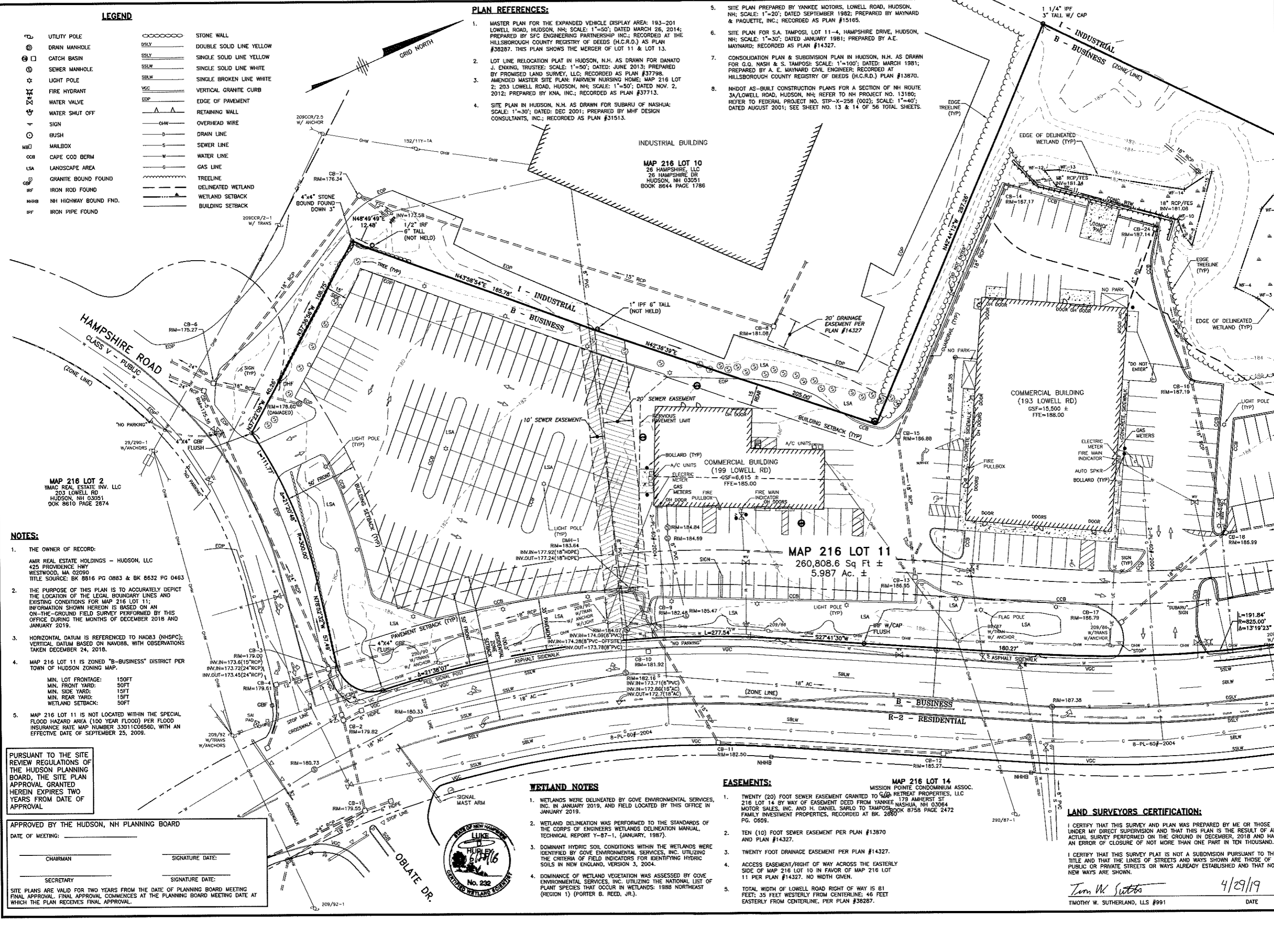
FOR _____

AMR REAL ESTATE HOLDINGS - HUDSON, LLC
 425 PROVIDENCE HWY
 WESTWOOD, MA 02090

SHEET TITLE:

EXISTING CONDITIONS PLAN - A

DATE: 4/29/19
 TIMOTHY W. SUTHERLAND, L.L.S. #991



LEGEND

○	UTILITY POLE	○	STONE WALL
⊙	DRAIN MANHOLE	—	DOUBLE SOLID LINE YELLOW
⊕	CATCH BASIN	—	SINGLE SOLID LINE YELLOW
⊗	SEWER MANHOLE	—	SINGLE SOLID LINE WHITE
☆	LIGHT POLE	—	SINGLE BROKEN LINE WHITE
⊕	FIRE HYDRANT	—	VERTICAL GRANITE CURB
⊕	WATER VALVE	—	EDGE OF PAVEMENT
⊕	WATER SHUT OFF	—	RETAINING WALL
⊕	SIGN	—	OVERHEAD WIRE
⊕	BUSH	—	DRAIN LINE
MB	MAILBOX	—	SEWER LINE
CCB	CAPE COD BERM	—	WATER LINE
LSA	LANDSCAPE AREA	—	GAS LINE
GBF	GRANITE BOUND FOUND	—	TREELINE
IRF	IRON ROD FOUND	—	DELINEATED WETLAND
NHBB	NH HIGHWAY BOUND FND.	—	WETLAND SETBACK
IPF	IRON PIPE FOUND	—	BUILDING SETBACK

- PLAN REFERENCES:**
1. MASTER PLAN FOR THE EXPANDED VEHICLE DISPLAY AREA: 193-201 LOWELL ROAD, HUDSON, NH; SCALE: 1"=50'; DATED MARCH 26, 2014; PREPARED BY SFC ENGINEERING PARTNERSHIP, INC.; RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS (H.C.R.D.) AS PLAN #38287. THIS PLAN SHOWS THE MERGER OF LOT 11 & LOT 13.
 2. LOT LINE RELOCATION PLAT IN HUDSON, N.H. AS DRAWN FOR DANATO J. ENKING, TRUSTEE; SCALE: 1"=50'; DATED: JUNE 2013; PREPARED BY PROMISED LAND SURVEY, LLC; RECORDED AS PLAN #37798.
 3. AMENDED MASTER SITE PLAN: FAIRVIEW NURSING HOME; MAP 216 LOT 2; 203 LOWELL ROAD, HUDSON, NH; SCALE: 1"=50'; DATED NOV. 2, 2012; PREPARED BY KNA, INC.; RECORDED AS PLAN #37713.
 4. SITE PLAN IN HUDSON, N.H. AS DRAWN FOR SUBARU OF NASHUA; SCALE: 1"=30'; DATED: DEC 2001; PREPARED BY MHF DESIGN CONSULTANTS, INC.; RECORDED AS PLAN #31513.

5. SITE PLAN PREPARED BY YANKEE MOTORS, LOWELL ROAD, HUDSON, NH; SCALE: 1"=20'; DATED SEPTEMBER 1982; PREPARED BY MAYNARD & PAQUETTE, INC.; RECORDED AS PLAN #15165.
6. SITE PLAN FOR S.A. TAMPOSI, LOT 11-4, HAMPSHIRE DRIVE, HUDSON, NH; SCALE: 1"=30'; DATED JANUARY 1981; PREPARED BY A.E. MAYNARD; RECORDED AS PLAN #14327.
7. CONSOLIDATION PLAN & SUBDIVISION PLAN IN HUDSON, N.H. AS DRAWN FOR G.O. NASH & S. TAMPOSI; SCALE: 1"=100'; DATED: MARCH 1981; PREPARED BY A. E. MAYNARD CIVIL ENGINEER; RECORDED AT HILLSBOROUGH COUNTY REGISTRY OF DEEDS (H.C.R.D.) PLAN #13870.
8. NHDOT AS-BUILT CONSTRUCTION PLANS FOR A SECTION OF NH ROUTE 3A/LOWELL ROAD, HUDSON, NH; REFER TO NH PROJECT NO. 13180; REFER TO FEDERAL PROJECT NO. STP-X-258 (002); SCALE: 1"=40'; DATED AUGUST 2001; SEE SHEET NO. 13 & 14 OF 56 TOTAL SHEETS.

MAP 216 LOT 10
 26 HAMPSHIRE, LLC
 28 HAMPSHIRE DR
 HUDSON, NH 03051
 BOOK 8644 PAGE 1788

MAP 216 LOT 11
 260,808.6 Sq Ft ±
 5.987 Ac. ±

MAP 216 LOT 14
 MISSION POINTE CONDOMINIUM ASSOC.
 RETREAT PROPERTIES, LLC
 173 AMHERST ST
 NASHUA, NH 03064
 FAMILY INVESTMENT PROPERTIES, RECORDED AT BK. 2880
 PG. 0659.

- NOTES:**
1. THE OWNER OF RECORD:
 AMR REAL ESTATE HOLDINGS - HUDSON, LLC
 425 PROVIDENCE HWY
 WESTWOOD, MA 02090
 TITLE SOURCE: BK 8816 PG 0883 & BK 8632 PG 0463
 2. THE PURPOSE OF THIS PLAN IS TO ACCURATELY DEPICT THE LOCATION OF THE LEGAL BOUNDARY LINES AND EXISTING CONDITIONS FOR MAP 216 LOT 11; INFORMATION SHOWN HEREON IS BASED ON AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE DURING THE MONTHS OF DECEMBER 2018 AND JANUARY 2019.
 3. HORIZONTAL DATUM IS REFERENCED TO NAD83 (NHSPC); VERTICAL DATUM BASED ON NAVD83, WITH OBSERVATIONS TAKEN DECEMBER 24, 2018.
 4. MAP 216 LOT 11 IS ZONED "B-BUSINESS" DISTRICT PER TOWN OF HUDSON ZONING MAP.
 MIN. LOT FRONTAGE: 150FT
 MIN. FRONT YARD: 50FT
 MIN. SIDE YARD: 15FT
 MIN. REAR YARD: 15FT
 WETLAND SETBACK: 50FT
 5. MAP 216 LOT 11 IS NOT LOCATED WITHIN THE SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33011C0656D, WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2009.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

- WETLAND NOTES**
1. WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN JANUARY 2019, AND FIELD LOCATED BY THIS OFFICE IN JANUARY 2019.
 2. WETLAND DELINEATION WAS PERFORMED TO THE STANDARDS OF THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, (JANUARY, 1987).
 3. DOMINANT HYDRIC SOIL CONDITIONS WITHIN THE WETLANDS WERE IDENTIFIED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE CRITERIA OF FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, 2004.
 4. DOMINANCE OF WETLAND VEGETATION WAS ASSESSED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: 1988 NORTHEAST (REGION 1) (PORTER B. REED, JR.).

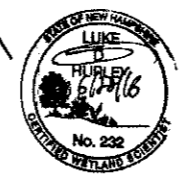
- EASEMENTS:**
1. TWENTY (20) FOOT SEWER EASEMENT GRANTED TO MAP 216 LOT 14 BY WAY OF EASEMENT DEED FROM YANKEE MOTOR SALES, INC. AND H. DANIEL SARLO TO TAMPOSI/BOOK 8758 PAGE 2472 PG. 0659.
 2. TEN (10) FOOT SEWER EASEMENT PER PLAN #13870 AND PLAN #14327.
 3. TWENTY FOOT DRAINAGE EASEMENT PER PLAN #14327.
 4. ACCESS EASEMENT/RIGHT OF WAY ACROSS THE EASTERLY SIDE OF MAP 216 LOT 10 IN FAVOR OF MAP 216 LOT 11 PER PLAN #14327. NO WIDTH GIVEN.
 5. TOTAL WIDTH OF LOWELL ROAD RIGHT OF WAY IS 81 FEET, 35 FEET WESTERLY FROM CENTERLINE; 46 FEET EASTERLY FROM CENTERLINE. PER PLAN #38287.

LAND SURVEYORS CERTIFICATION:

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND IN DECEMBER, 2018 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

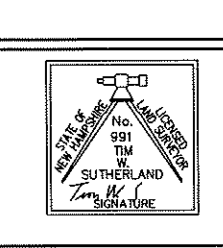
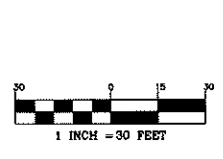
Timothy W. Sutherland
 4/29/19
 TIMOTHY W. SUTHERLAND, L.L.S. #991 DATE





The Dubai Group, Inc.
94 Range Road
Windham, NH 03087
603-458-6462

Engineers
Planners
Surveyors
TheDubayGroup.com



REV#	DATE	COMMENT	BY

DRAWN BY: MNW
CHECKED BY: TWS
DATE: APRIL 30, 2019
SCALE: 1"=30'
FILE: 347ws
DEED REF: BK 8816 PG 0883
BK 8632 PG 0463

PROJECT:
GRANITE SUBARU
193 LOWELL ROAD
HUDSON, NH 03051
MAP 216 LOT 11

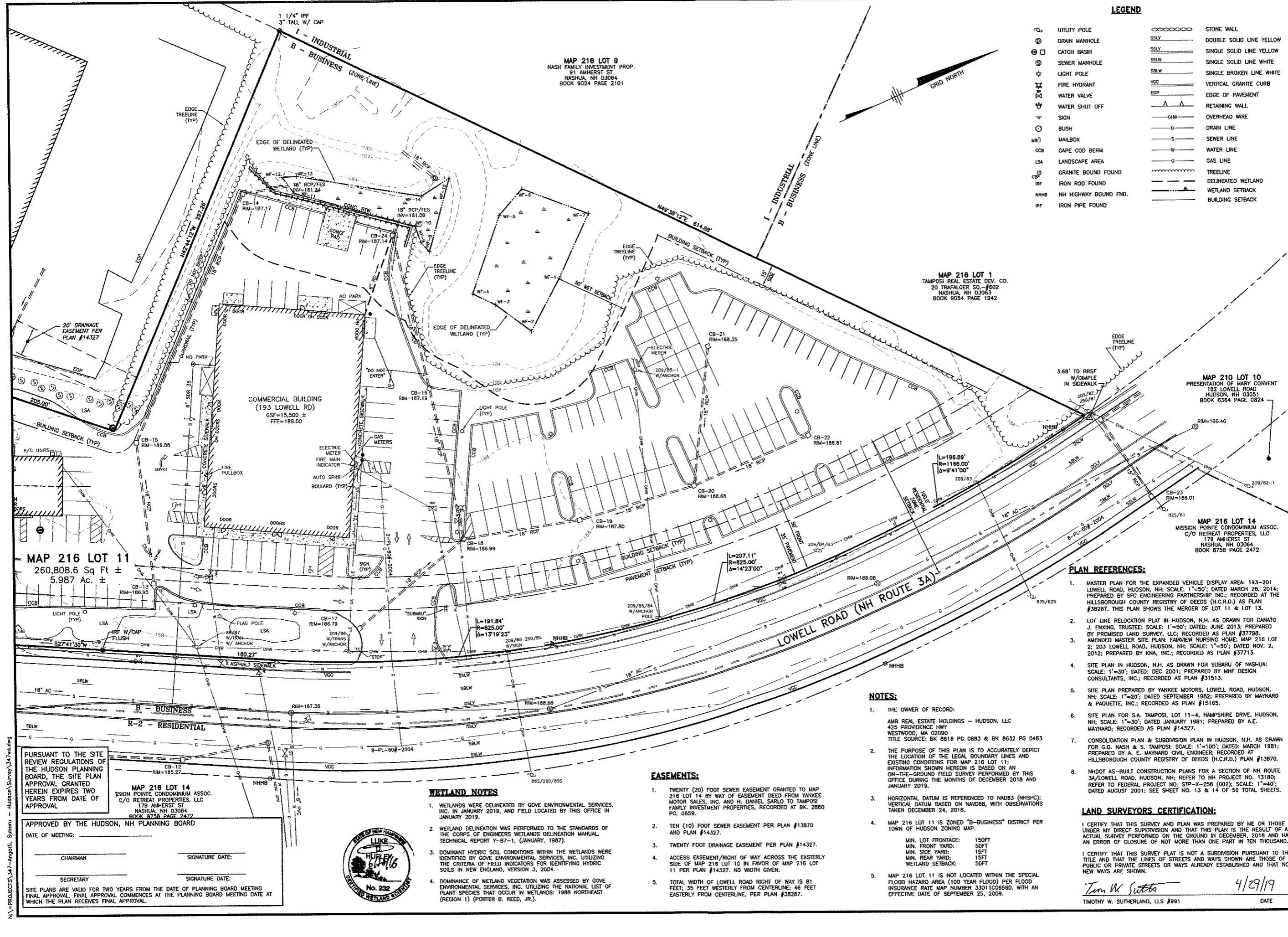
FOR
AMR REAL ESTATE HOLDINGS - HUDSON, LLC
425 PROVIDENCE HWY
WESTWOOD, MA 02090

SHEET TITLE:
EXISTING CONDITIONS PLAN - B

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND IN DECEMBER, 2018 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.
I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.
Timothy W. Sutherland 4/29/19
TIMOTHY W. SUTHERLAND, L.L.S. #991 DATE

LEGEND

- UTILITY POLE
- ⊙ DRAIN MANHOLE
- ⊗ CATCH BASIN
- ⊙ SEWER MANHOLE
- ☆ LIGHT POLE
- ⊕ FIRE HYDRANT
- ⊖ WATER VALVE
- ⊖ WATER SHUT OFF
- ⊖ SIGN
- ⊖ BUSH
- ⊖ MAILBOX
- ⊖ CCB
- ⊖ LSA
- ⊖ GB
- ⊖ IRF
- ⊖ NNHB
- ⊖ IPF
- ○ ○ ○ ○ STONE WALL
- DOUBLE SOLID LINE YELLOW
- SINGLE SOLID LINE YELLOW
- SINGLE SOLID LINE WHITE
- SINGLE BROKEN LINE WHITE
- VERTICAL GRANITE CURB
- EDGE OF PAVEMENT
- RETAINING WALL
- OVERHEAD WIRE
- DRAIN LINE
- SEWER LINE
- WATER LINE
- GAS LINE
- TREELINE
- DELINEATED WETLAND
- WETLAND SETBACK
- BUILDING SETBACK



MAP 216 LOT 9
NASH FAMILY INVESTMENT PROP.
91 AMHERST ST
NASHUA, NH 03064
BOOK 9024 PAGE 2101

MAP 216 LOT 1
TAMPOSI REAL ESTATE DEV. CO.
20 TRAFALGER SQ., #602
NASHUA, NH 03083
BOOK 9034 PAGE 1942

MAP 210 LOT 10
PRESENTATION OF MARY CONVENT
182 LOWELL ROAD
HUDSON, NH 03051
BOOK 6364 PAGE 0824

MAP 216 LOT 14
MISSION POINTE CONDOMINIUM ASSOC.
C/O RETREAT PROPERTIES, LLC
179 AMHERST ST
NASHUA, NH 03064
BOOK 8758 PAGE 2472

MAP 216 LOT 11
260,808.6 Sq Ft ±
5.987 Ac. ±

PLAN REFERENCES:

- MASTER PLAN FOR THE EXPANDED VEHICLE DISPLAY AREA: 193-201 LOWELL ROAD, HUDSON, NH; SCALE: 1"=50'; DATED MARCH 26, 2014; PREPARED BY SFC ENGINEERING PARTNERSHIP, INC.; RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS (H.C.R.D.) AS PLAN #38287. THIS PLAN SHOWS THE MERGER OF LOT 11 & LOT 13.
- LOT LINE RELOCATION PLAT IN HUDSON, N.H. AS DRAWN FOR DANATO J. ENXING, TRUSTEE; SCALE: 1"=50'; DATED JUNE 2013; PREPARED BY PROMISED LAND SURVEY, LLC; RECORDED AS PLAN #37798.
- AMENDED MASTER SITE PLAN: FAIRVIEW NURSING HOME; MAP 216 LOT 2; 203 LOWELL ROAD, HUDSON, NH; SCALE: 1"=50'; DATED NOV. 2, 2012; PREPARED BY KNA, INC.; RECORDED AS PLAN #37713.
- SITE PLAN IN HUDSON, N.H. AS DRAWN FOR SUBARU OF NASHUA; SCALE: 1"=30'; DATED DEC 2001; PREPARED BY MHF DESIGN CONSULTANTS, INC.; RECORDED AS PLAN #31513.
- SITE PLAN PREPARED BY YANKEE MOTORS, LOWELL ROAD, HUDSON, NH; SCALE: 1"=20'; DATED SEPTEMBER 1982; PREPARED BY MAYNARD & PAQUETTE, INC.; RECORDED AS PLAN #15165.
- SITE PLAN FOR S.A. TAMPOSI, LOT 11-4, HAMPSHIRE DRIVE, HUDSON, NH; SCALE: 1"=30'; DATED JANUARY 1981; PREPARED BY A.E. MAYNARD; RECORDED AS PLAN #14327.
- CONSOLIDATION PLAN & SUBDIVISION PLAN IN HUDSON, N.H. AS DRAWN FOR G.O. NASH & S. TAMPOSI; SCALE: 1"=100'; DATED JUNE 1981; PREPARED BY A. E. MAYNARD CIVIL ENGINEER; RECORDED AT HILLSBOROUGH COUNTY REGISTRY OF DEEDS (H.C.R.D.) AS PLAN #13870.
- NHDOT AS-BUILT CONSTRUCTION PLANS FOR A SECTION OF NH ROUTE 3A/LOWELL ROAD, HUDSON, NH; REFER TO NH PROJECT NO. 13180; REFER TO FEDERAL PROJECT NO. STP-X-258 (002); SCALE: 1"=40'; DATED AUGUST 2001; SEE SHEET NO. 13 & 14 OF 56 TOTAL SHEETS.

NOTES:

- THE OWNER OF RECORD:
AMR REAL ESTATE HOLDINGS - HUDSON, LLC
425 PROVIDENCE HWY
WESTWOOD, MA 02090
TITLE SOURCE: BK 8816 PG 0883 & BK 8632 PG 0463
- THE PURPOSE OF THIS PLAN IS TO ACCURATELY DEPICT THE LOCATION OF THE LEGAL BOUNDARY LINES AND EXISTING CONDITIONS FOR MAP 216 LOT 11; INFORMATION SHOWN HEREON IS BASED ON AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE DURING THE MONTHS OF DECEMBER 2018 AND JANUARY 2019.
- HORIZONTAL DATUM IS REFERENCED TO NAD83 (NHPSP); VERTICAL DATUM BASED ON NAVD88, WITH OBSERVATIONS TAKEN DECEMBER 24, 2018.
- MAP 216 LOT 11 IS ZONED "B-BUSINESS" DISTRICT PER TOWN OF HUDSON ZONING MAP.
MIN. LOT FRONTAGE: 150FT
MIN. FRONT YARD: 50FT
MIN. SIDE YARD: 15FT
MIN. REAR YARD: 15FT
WETLAND SETBACK: 50FT
- MAP 216 LOT 11 IS NOT LOCATED WITHIN THE SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33011C0658D, WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2009.

EASEMENTS:

- TWENTY (20) FOOT SEWER EASEMENT GRANTED TO MAP 216 LOT 14 BY WAY OF EASEMENT DEED FROM YANKEE MOTOR SALES, INC. AND H. DANIEL SARLO TO TAMPOSI FAMILY INVESTMENT PROPERTIES, RECORDED AT BK. 2860 PG. 0659.
- TEN (10) FOOT SEWER EASEMENT PER PLAN #13870 AND PLAN #14327.
- TWENTY FOOT DRAINAGE EASEMENT PER PLAN #14327.
- ACCESS EASEMENT/RIGHT OF WAY ACROSS THE EASTERLY SIDE OF MAP 216 LOT 10 IN FAVOR OF MAP 216 LOT 11 PER PLAN #14327. NO WIDTH GIVEN.
- TOTAL WIDTH OF LOWELL ROAD RIGHT OF WAY IS 81 FEET; 35 FEET WESTERLY FROM CENTERLINE; 46 FEET EASTERLY FROM CENTERLINE, PER PLAN #38287.

WETLAND NOTES

- WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN JANUARY 2019, AND FIELD LOCATED BY THIS OFFICE IN JANUARY 2019.
- WETLAND DELINEATION WAS PERFORMED TO THE STANDARDS OF THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, (JANUARY, 1987).
- DOMINANT HYDRIC SOIL CONDITIONS WITHIN THE WETLANDS WERE IDENTIFIED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE CRITERIA OF FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, 2004.
- DOMINANCE OF WETLAND VEGETATION WAS ASSESSED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: 1988 NORTHEAST (REGION 1) (PORTER B. REED, JR.).

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

MAP 216 LOT 14
SSION POINTE CONDOMINIUM ASSOC.
C/O RETREAT PROPERTIES, LLC
179 AMHERST ST
NASHUA, NH 03064
BOOK 8758 PAGE 2472



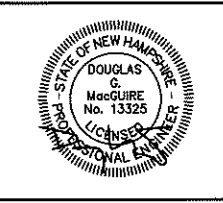
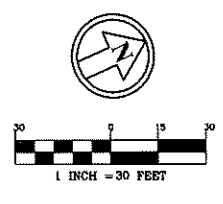
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

NH - PROJECTS 347 - Granite Subaru - Hudson, Survey 347.wpd



The Dubay Group, Inc.
 84 Range Road
 Windham, NH 03087
 603-458-6462

Engineers
 Planners
 Surveyors
 TheDubayGroup.com



REVISIONS:			
REV#	DATE	COMMENT	BY#

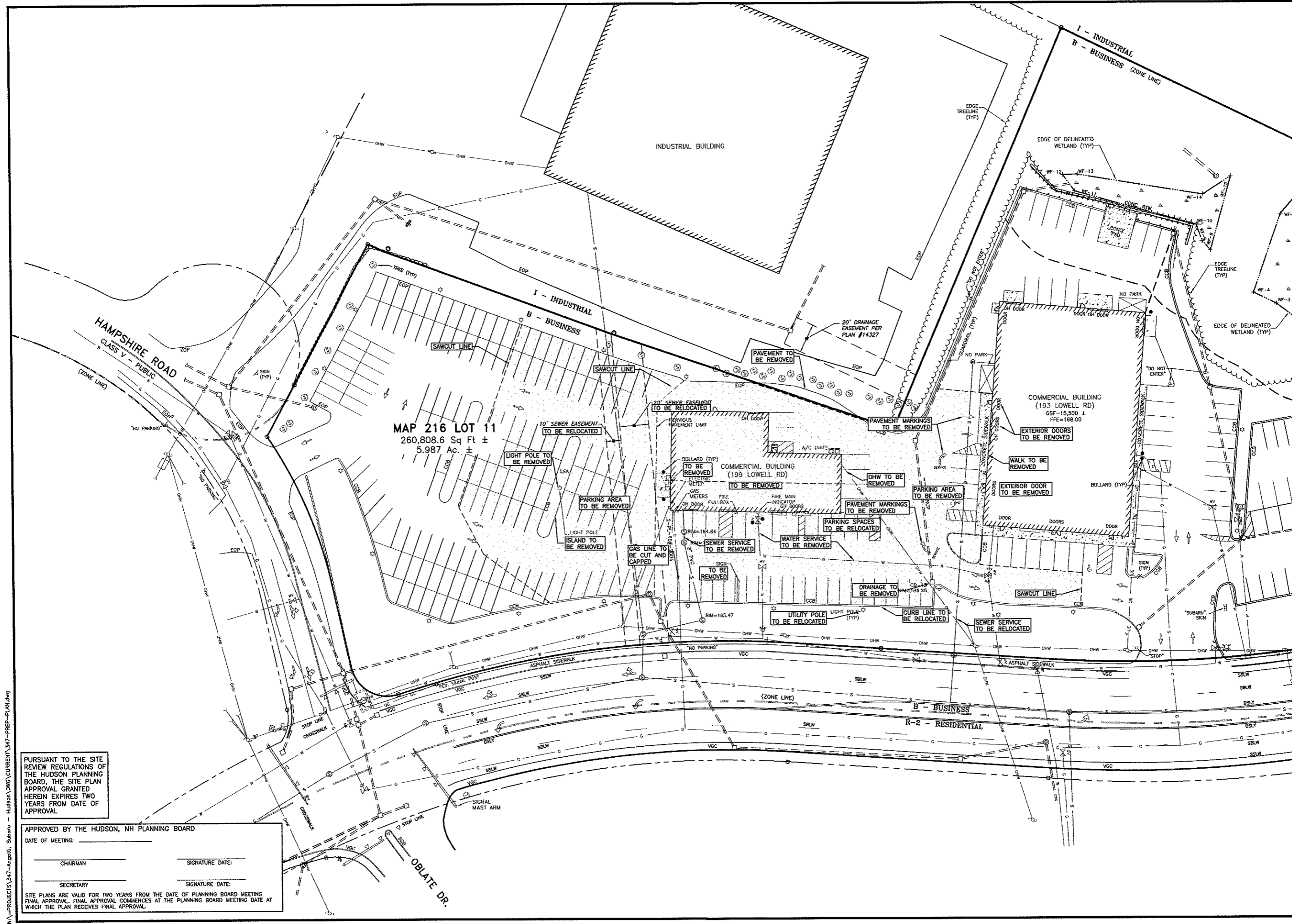
DRAWN BY: JMM
 CHECKED BY: DGM
 DATE: APRIL 30, 2019
 SCALE: 1"=30'
 FILE: 347-PREP-PLAN
 DEED REF: BK 8816 PG 0883
 BK 8632 PG 0463

PROJECT:
GRANITE SUBARU
 193 LOWELL ROAD
 HUDSON, NH 03051
 MAP 216 LOT 11

FOR
AMR REAL ESTATE HOLDINGS - HUDSON, LLC
 425 PROVIDENCE HWY
 WESTWOOD, MA 02090

SHEET TITLE:
PREPARATION PLAN

PROJECT #347 SHEET 4 of 11



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 CHAIRMAN _____ SIGNATURE DATE: _____
 SECRETARY _____ SIGNATURE DATE: _____

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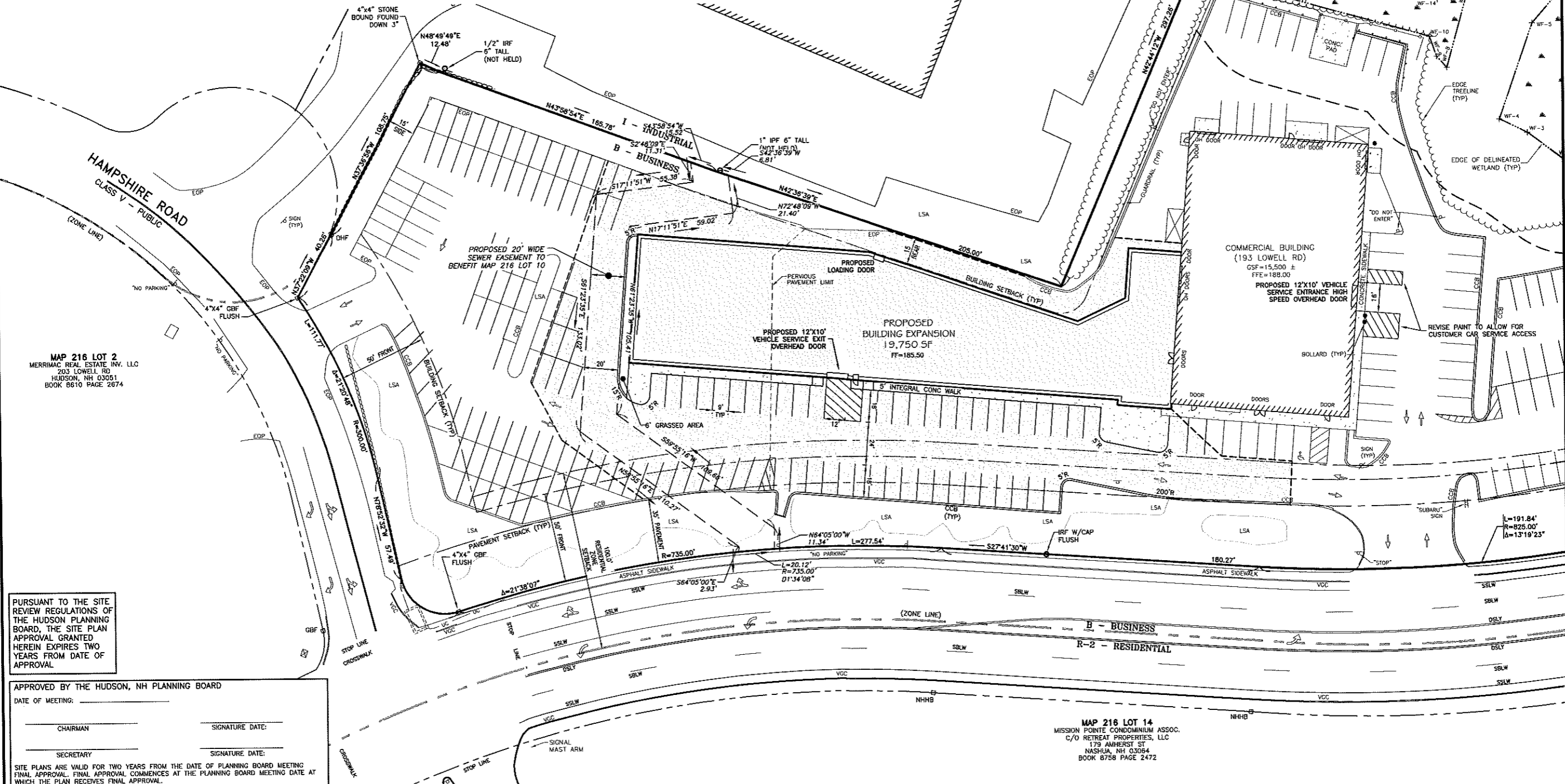
N:\PROJECTS\347-PREP-PLAN.dwg Hudson\DWG\CURRENT\347-PREP-PLAN.dwg Subaru - Agapoti, Subaru

GENERAL NOTES:

OWNER OF RECORD: MAP 216 LOT 11 280,809 SF (5.99 AC)
 AMR R.E. HOLDINGS - HUDSON LLC
 425 PROVIDENCE HWY
 WESTWOOD, MA 02090

- THE PURPOSE OF THIS PLAN IS TO REMOVE THE SECONDARY COMMERCIAL BUILDING AND TO EXPAND THE PRIMARY SUBARU BUILDING WITH SUPPORTING INFRASTRUCTURE.
- THE SUBJECT PARCEL 216-11 IS ZONED AS BUSINESS.
- THE PROPOSED LOT WILL BE SERVED BY TOWN WATER AND TOWN SEWER.
- ALL WORK TO BE DONE IN CONFORMANCE WITH THE TOWN OF HUDSON REGULATIONS. ALL ROADS, STRUCTURES, AND DRAINAGE TO MEET TOWN OF GOFFSTOWN SPECIFICATIONS.
- SEWER PERMIT SHALL BE OBTAINED FOR THIS PROJECT.
- CURRENT BUSINESS ZONING REQUIREMENTS:
 MINIMUM LOT AREA = 30,000 SF
 MINIMUM FRONTAGE = 150'
 MAXIMUM BUILDING HEIGHT = 38'
 FRONT SETBACK = 50'
 SIDE SETBACK = 15'
 REAR SETBACK = 15'
- PARKING CALCULATIONS:
 RETAIL BUSINESS AND PERSONAL SERVICE ESTABLISHMENT USE REQUIRES 1 SPACE PER 200 SQUARE FEET OF GROSS LEASABLE AREA.
 PROPOSED BUILDING SQUARE FOOTAGE = 35250 SF
 TOTAL REQUIRED SPACES = 35250 SF/200 SF = 177 SPACES
 TOTAL SPACES PROVIDED = 318 SPACES (COMPLIES).

- ALL GRASS AND LANDSCAPED AREA MAINTENANCE SHALL BE PERFORMED WITH JUDICIOUS USE OF ORGANIC PESTICIDES, HERBICIDES AND FERTILIZERS, ALL OF WHICH SHALL BE APPLIED BY A LICENSED APPLICATOR.
- ALL CATCH BASINS SHALL BE CLEANED OF DEBRIS TWICE PER YEAR & INSPECTED TO MAKE SURE THEY ARE OPERATING AS DESIGNED. THE TIME OF REMOVAL OF DEBRIS SHOULD BE IN THE SPRING AND FALL SEASONS.
- SEE ARCHITECTURAL PLANS FOR WALKWAYS AND OTHER FEATURES AT THE BUILDINGS. CONTRACTOR TO PERFORM THIS WORK AS DIRECTED BY THE OWNER.
- ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE TOWN OF HUDSON'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- SNOW AND ICE CONTROL SHALL BE PERFORMED BY A "GREEN SNO-PRO" CERTIFIED CONTRACTOR FOLLOWING BEST MANAGEMENT PRACTICES FOR THE APPLICATION OF DE-ICING MATERIALS.
- IN THE EVENT ACCUMULATIONS OF WINTER SNOW VOLUMES EXCEED ON-SITE STORAGE CAPACITIES, EXCESS VOLUMES OF SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A LEGAL DUMPING SITE.
- CONTRACTOR SHALL MAINTAIN AN EFFECTIVE MEANS OF DUST CONTROL DURING THE CONSTRUCTION PERIOD USING WATER TRUCKS AND SWEEPERS AS DEEMED NECESSARY BY THE TOWN INSPECTOR.
- THE SITE IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP 33011C0658D WITH EFFECTIVE DATE OF SEPTEMBER 25, 2009.
- ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD PRIOR TO INSTALLATION THEREOF.



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____

SECRETARY _____ SIGNATURE DATE: _____

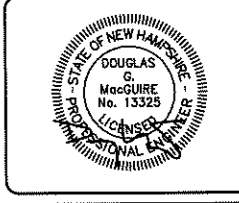
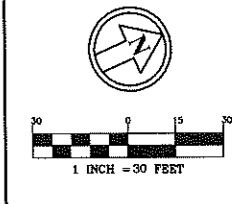
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MAP 216 LOT 14
 MISSION POINTE CONDOMINIUM ASSOC.
 C/O RETREAT PROPERTIES, LLC
 179 ANHERST ST
 NASHUA, NH 03084
 BOOK 8758 PAGE 2472



The Dubai Group, Inc.
 84 Range Road
 Windham, NH 03087
 603-458-6462

Engineers
 Planners
 Surveyors
 TheDubaiGroup.com



REVISIONS:			
REV:	DATE:	COMMENT:	BY:

DRAWN BY: JMM
 CHECKED BY: DGM
 DATE: APRIL 30, 2019
 SCALE: SCALE: 1"=30'
 FILE: 347-SITEPLAN
 DEED REF: BK 8816 PG 0883
 BK 8632 PG 0463

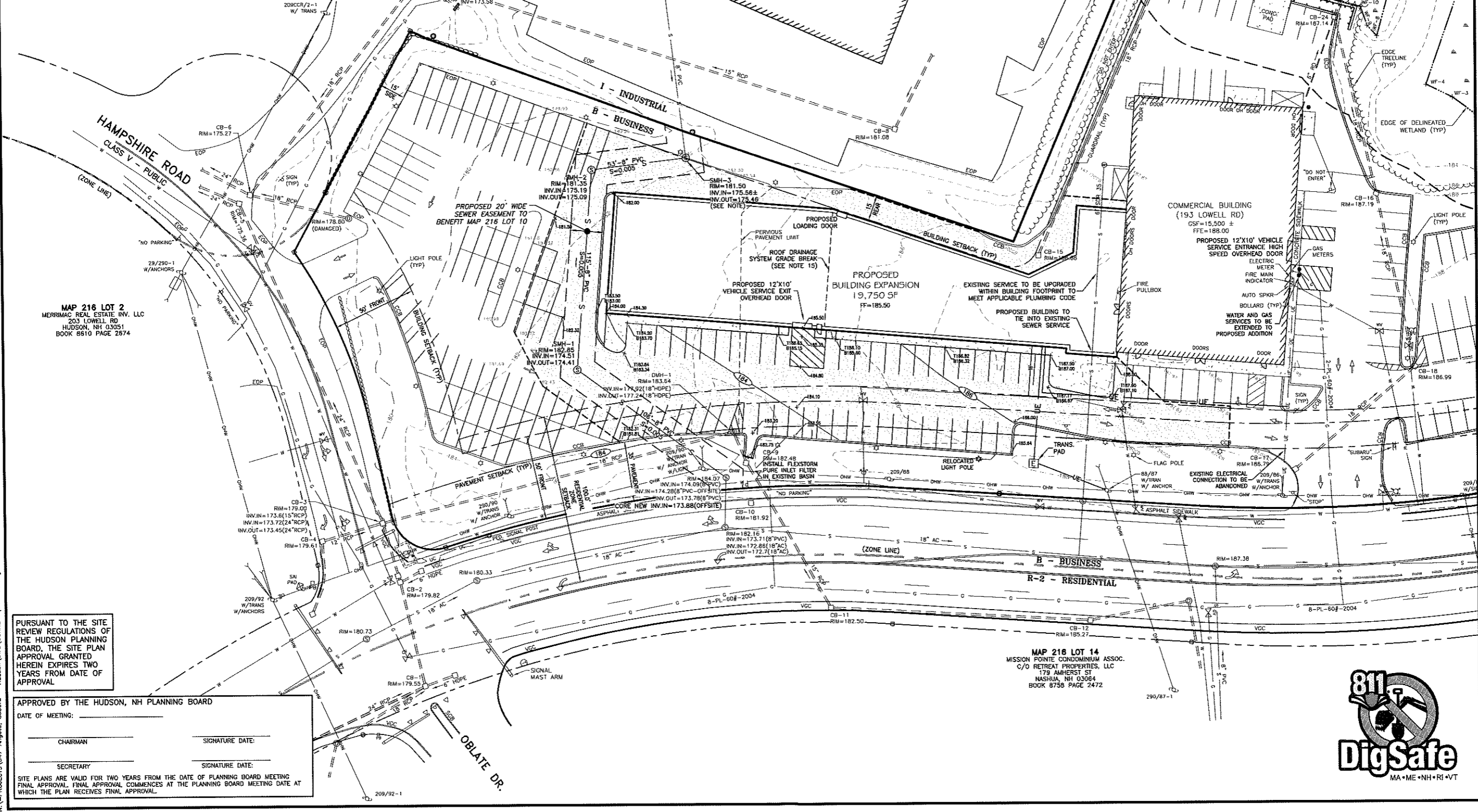
PROJECT:
 GRANITE SUBARU
 193 LOWELL ROAD
 HUDSON, NH 03051
 MAP 216 LOT 11

FOR _____
 AMR REAL ESTATE
 HOLDINGS - HUDSON, LLC
 425 PROVIDENCE HWY
 WESTWOOD, MA 02090

SHEET TITLE:
 SITE PLAN

CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER AND THE TOWN OF HUDSON SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER AND THE TOWN OF HUDSON BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
- ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
- SANITARY SEWER SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PVC AND SHALL CONFORM TO ASTM F 679 (SDR 35 MINIMUM). SANITARY MANHOLES SHALL CONFORM TO N.H.D.E.S. WATER DIVISION WASTEWATER ENGINEERING BUREAU STANDARDS AND HUDSON SEWER DEPARTMENT SPECIFICATIONS SHOWN HEREON.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
- VERIFY UTILITY CONNECTIONS TO BUILDING WITH ARCHITECTURAL DRAWINGS.
- COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR THE WATER SERVICE PIPE SIZE AND TYPE.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
- CONTRACTOR SHALL VERIFY THE INVERT FOR THE EXISTING OFFSITE SEWER SERVICE PRIOR TO CONSTRUCTION OF THE PROPOSED OFFSITE SERVICE.
- CONTRACTOR MUST VERIFY GRAVITY VIABILITY FOR THE PROPOSED OFFSITE SEWER SERVICE. ANY DISCREPANCIES SHALL BE COORDINATED WITH THE DUBAY GROUP, INC.
- CONTRACTOR TO ENSURE THE ROOF DRAIN SYSTEM DIRECTS THE NORTHERN PORTION OF THE EXPANDED BUILDING TO CB-15 IN ORDER TO MATCH EXISTING FLOW PATTERNS.



The Dubay Group, Inc.
 84 Range Road
 Windham, NH 03087
 603-458-6462

Engineers
 Planners
 Surveyors
 TheDubayGroup.com

1 INCH = 30 FEET

DOUGLAS G. MacGUIRE
 No. 13325
 PROFESSIONAL ENGINEER

REVISIONS:

REV.	DATE:	COMMENT:	BY:

DRAWN BY: JMM
 CHECKED BY: DGM
 DATE: APRIL 30, 2019
 SCALE: SCALE: 1"=30'
 FILE: 347-GU
 DEED REF: BK 8816 PG 0883
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PROJECT:
 GRANITE SUBARU
 193 LOWELL ROAD
 HUDSON, NH 03051
 MAP 216 LOT 11

FOR
 AMR REAL ESTATE HOLDINGS - HUDSON, LLC
 425 PROVIDENCE HWY
 WESTWOOD, MA 02090

SHEET TITLE:
 GRADING, DRAINAGE, & UTILITIES PLAN

PROJECT #347 SHEET 6 of 11

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

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MIRADA WALL SCONCE (XWM)



SMARTTEC™ - LED drivers feature digital sensor which reduces drive current, when ambient temperatures exceed rated temperature.

ENERGY SAVING CONTROL OPTIONS - 0-10 V dimming, on/off control switches available.

OPTIONAL INTEGRAL MOTION SENSOR - Pardon infrared motion sensor activates cutting off luminaires light levels. High level light is activated when presence within target zone and recessed to full by 20% in 2 seconds. Low light level (20% of maximum drive current) is activated when target zone is absent of motion activity for 5 minutes and is gradually reactivated to full level. Sensor detection range 110' horizontal x 33' vertical x 10 meters maximum distance.

LEDS - Available in 5000K, 4000K or 3000K color temperature, 10 CRI min.

OPTICS/DISTRIBUTION - Uses high efficiency reflector profile that provides three distributions. Check out Fig 2, Type 2 or Type FT.

HOUSING - These space efficient aluminum housings are completely contained in profile. Slope housing features a slanted shield that directs light downward. Housing and optical are casted in high strength die cast aluminum. Supply conductors sets include EPDM bushing.

OPTICAL UNIT - Proprietary column optical optics provide exceptional contrast and uniformity. Precision stacking bracket allows rapid optic protection while preventing light from building up internal pressure and ensures that low stress optical unit with **WALL MOUNTING** - Galvanized steel universal wall mounting plate easily mounts directly to 4" square or square junction box. EPDM gasket is applied to be installed between mounting plate and junction box, and junction box from entrance of water. Universal plate panels feature to be mounted in a vertical (indoor only) or horizontal position. On-site mounting brackets according to standard codes (IFMA).

ELECTRICAL - Two-stage surge protection (including capacitor stage) protection built into electronic driver needs IEEE C62.41.2-2002, Location Category C, Air Cable with ambient voltage power supply 120-277VAC (50/60 Hz) to 347-480VAC.

DRIVER - Drivers are dimming, dimmable, components and fully enclosed in pulling material for PCS and surge resistance. Driver complies with IEEE and FCC standards. Driver cables easily accessed.

EMERGENCY OPTIONS - Optional integral emergency battery back-up options are available. EB system operates in 0°C to 40°C ambient temperature and CUBB operates in 20°C to 30°C ambient temperature. When primary AC power failure occurs, both options operate reliably for minimum of 90 minutes.

OPERATING TEMPERATURE - 40°C to 150°C (104°F to 312°F).

FINISH - Housings are finished with LSP's Duragrip™ powder powder coat finishing process. The Duragrip finish withstands extreme weather changes without cracking or peeling.

WARRANTY - LSI LED fixtures carry a limited 5 year warranty.

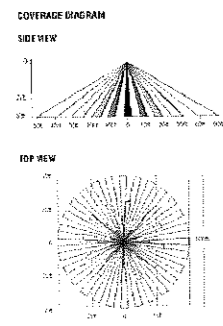
PHOTOMETRICS - Please visit our website at www.lsi-lighting.com for detailed photometric data.

SHIPPING WEIGHT (in cartons) - 37 lbs./13.0kg.

COMPLIANCE - All listed to APPROVALS: UL, ENEC, IEC, CE, and other U.S. and international safety standards. See website for full list of approvals. IEC, UL, CE, and other U.S. and international safety standards. See website for full list of approvals.

LUMEN OUTPUT - XWM - 3 BROAD CCT

Beam Angle	Wattage	Beam Diameter @ 30m	Beam Diameter @ 10m	Beam Diameter @ 5m	Beam Diameter @ 2m
60°	10W	7.2m	2.3m	1.15m	0.46m
44°	10W	5.1m	1.6m	0.8m	0.31m
36°	10W	4.2m	1.3m	0.65m	0.26m
28°	10W	3.2m	1.0m	0.5m	0.2m



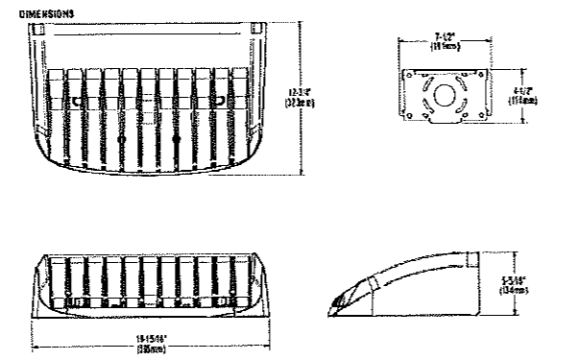
MIRADA WALL SCONCE (XWM)

LUMINAIRE ORDERING INFORMATION

Part #	Quantity	Part Name	Color Temperature	Beam Angle	Power	Beam Diameter @ 30m	Beam Diameter @ 10m	Beam Diameter @ 5m	Beam Diameter @ 2m
W1	6	LSI LIGHTING	3000K	60°	10W	7.2m	2.3m	1.15m	0.46m

ACCESSORY ORDERING INFORMATION

Part #	Description	Quantity
...



Project Name: _____, Issue Type: _____, Date: 04/30/2019, Drawing #: _____

Project Name: _____, Issue Type: _____, Date: 04/30/2019, Drawing #: _____

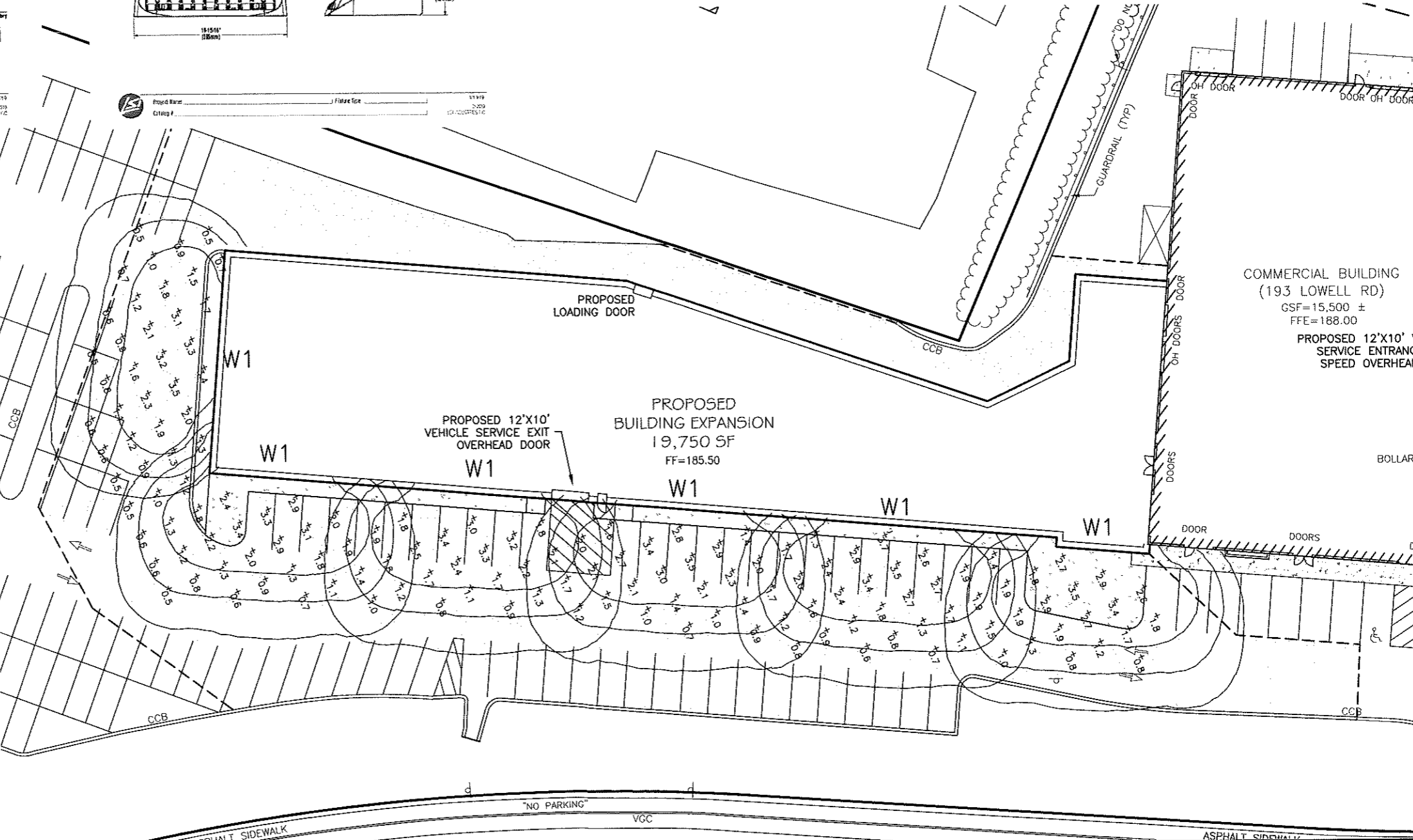
Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	W1	6	LSI LIGHTING	XWM-FT-LED-08-50	FULL CUT OFF LED WALL PACKED DARK SKY FRIENDLY (MOUNTED AT 16 FT. AFO)		1	XWM-FT-LED-08-50.LES	8657	0.95	76

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calculation Area	+	1.8 fc	3.7 fc	0.5 fc	7.4:1	3.6:1

LIGHTING CALCULATED AT GRADE WITH POLE LIGHTS OFF



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APPROVED BY THE HUDSON, NH PLANNING BOARD

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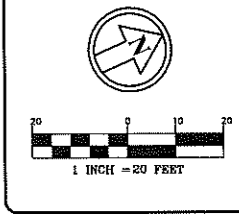
CHAIRMAN	SIGNATURE DATE:
SECRETARY	SIGNATURE DATE:

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The Dubai Group, Inc.
84 Range Road
Windham, NH 03087
603-458-6462

Engineers
Planners
Surveyors
TheDubayGroup.com



PHILIP J. INFURNA
LIGHTING CONSULTANT
CELL: 774-212-7981
EMAIL: pinfurna@gmail.com

REVISIONS:

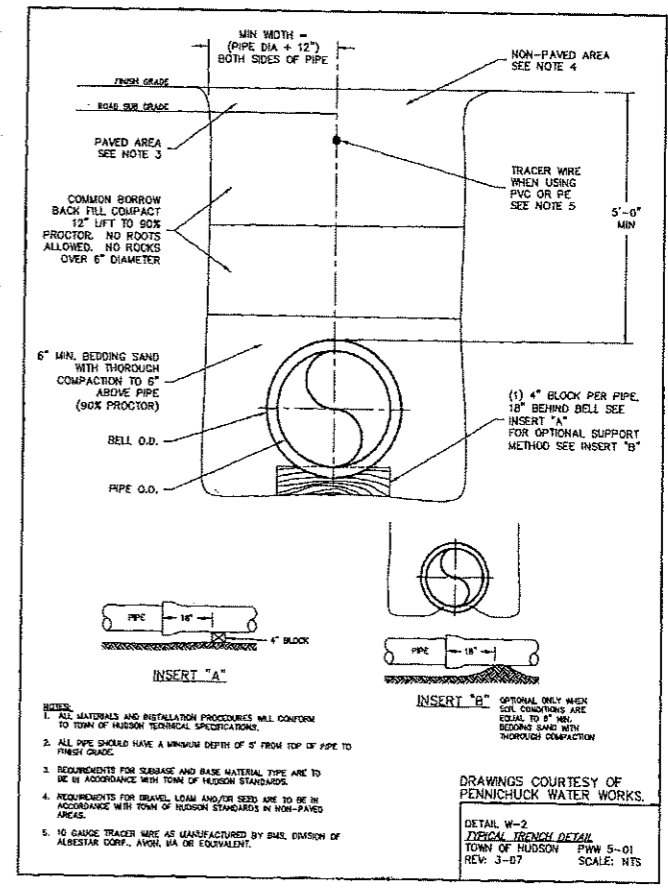
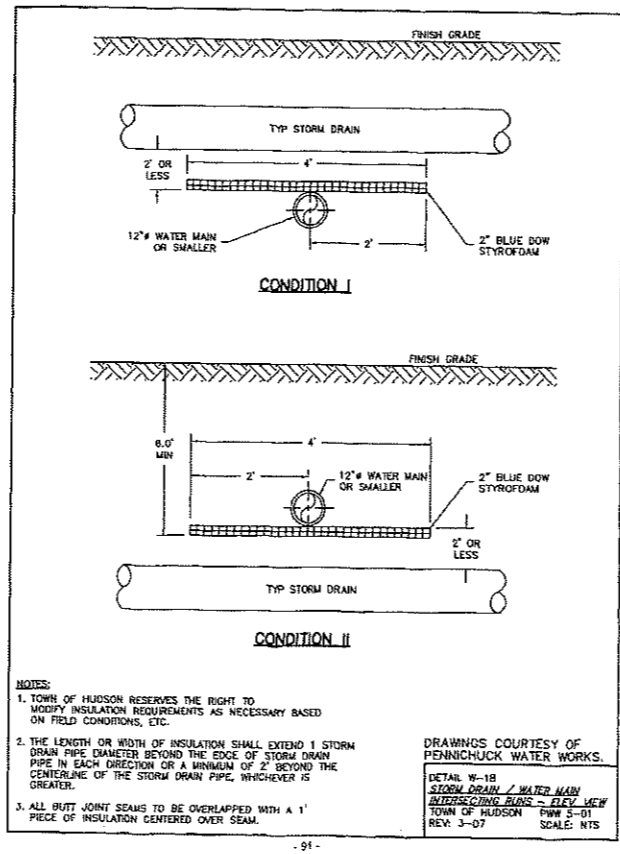
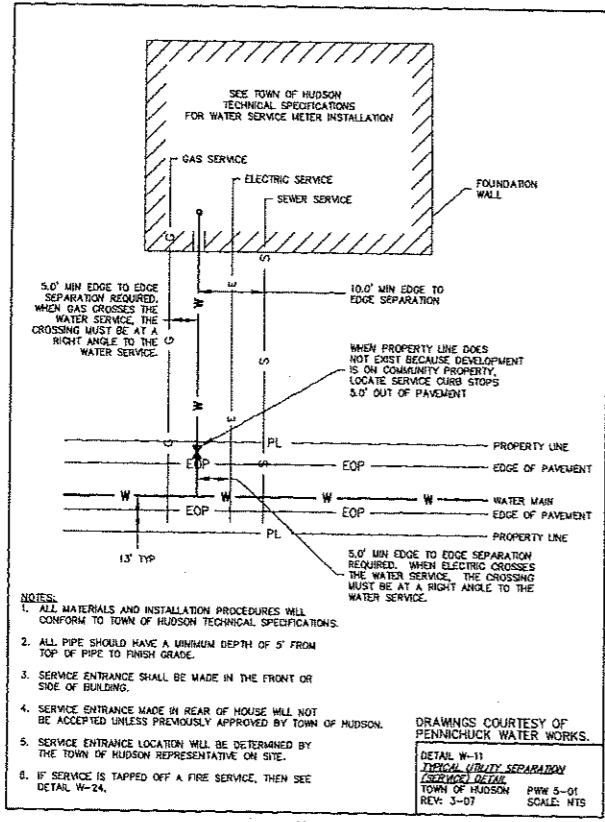
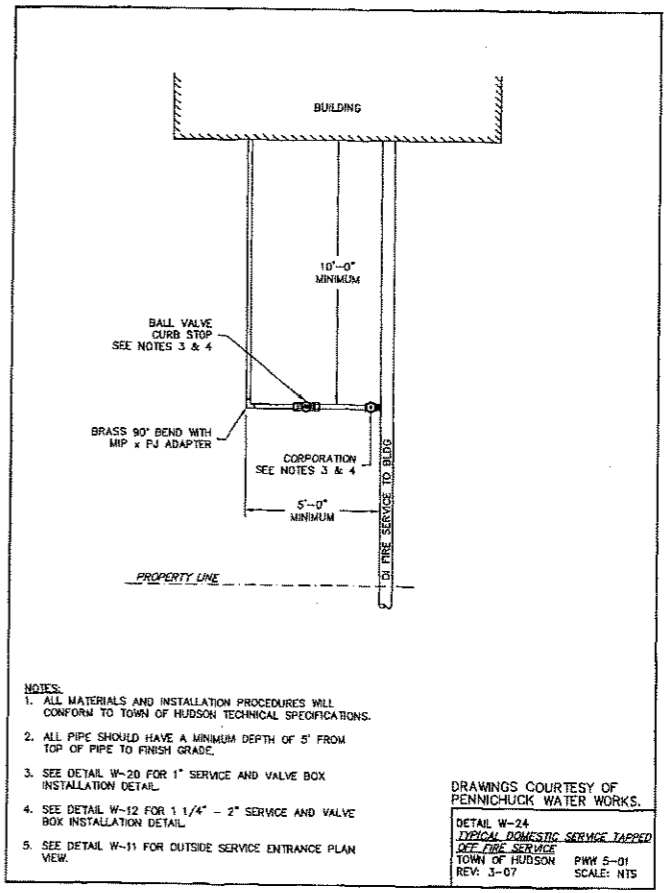
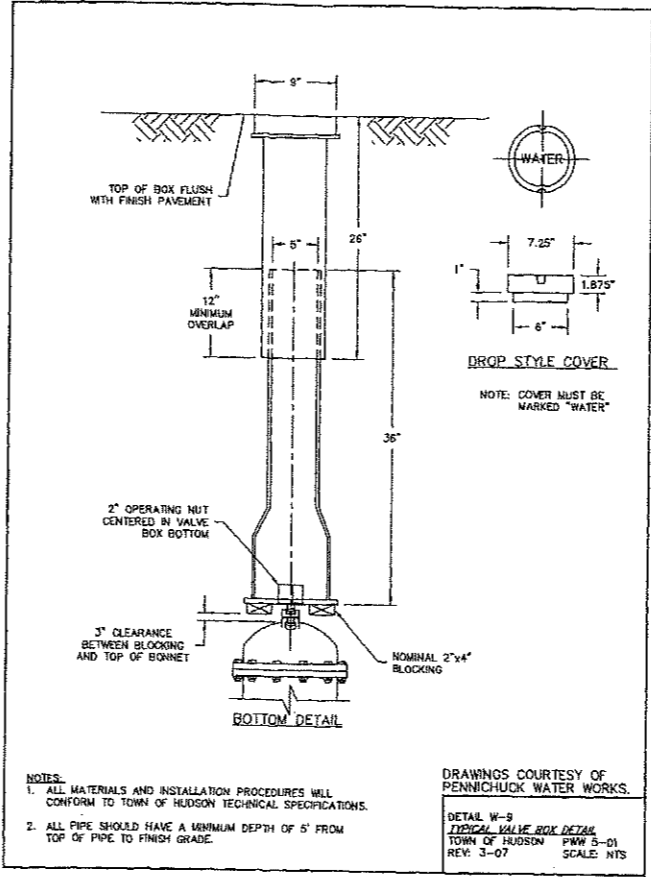
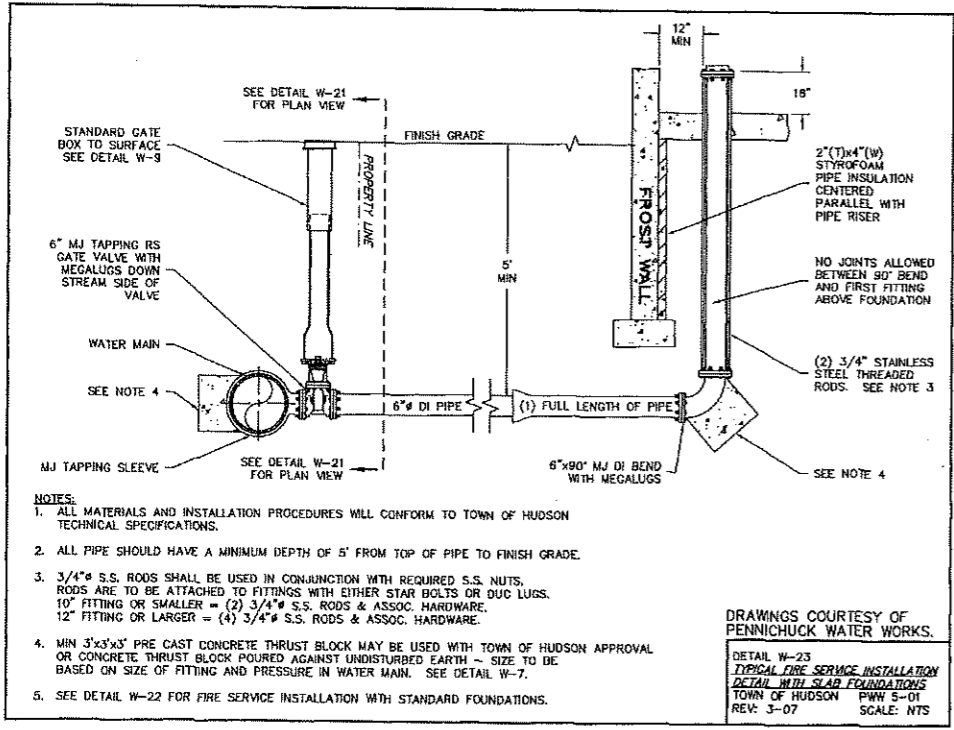
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DRAWN BY: JMM
CHECKED BY: DGM
DATE: APRIL 30, 2019
SCALE: SCALE: 1"=20'
FILE: 347-lighting
DEED REF: BK 8816 PG 0883
BK 8632 PG 0463

PROJECT:
GRANITE SUBARU
193 LOWELL ROAD
HUDSON, NH 03051
MAP 216 LOT 11

FOR:
AMR REAL ESTATE HOLDINGS - HUDSON, LLC
425 PROVIDENCE HWY
WESTWOOD, MA 02090

SHEET TITLE:
LIGHTING PLAN



N:\PROJECTS\347-Angelini, Subaru - Hudson\DWG\CURRENT\347-DETAILS.rvt

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

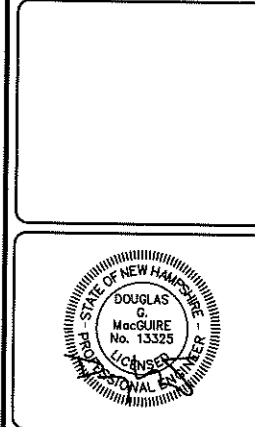
CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

The Dubai Group, Inc.
84 Range Road
Windham, NH 03087
603-458-6462

Engineers
Planners
Surveyors
TheDubaiGroup.com



REVISIONS:			
REV:	DATE:	COMMENT:	BY:

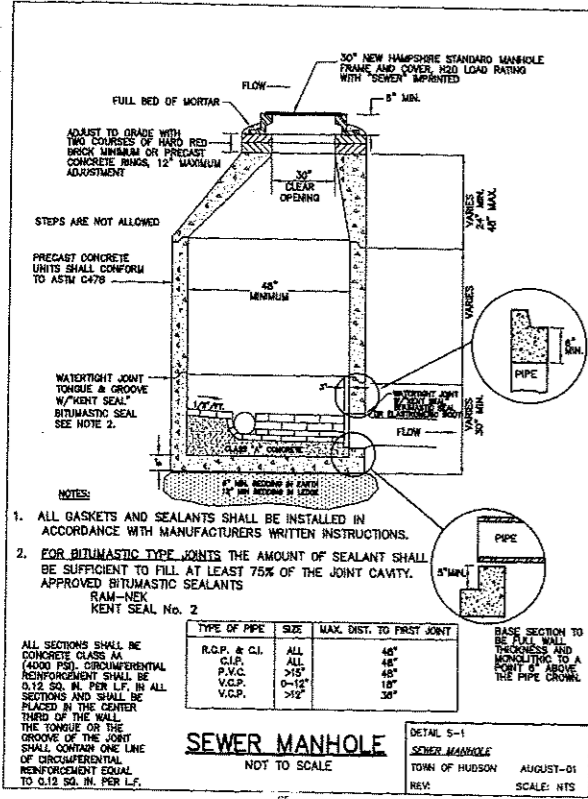
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CHECKED BY: DGM
DATE: APRIL 30, 2019
SCALE: AS SHOWN
FILE: 347-DETAILS
DEED REF: BK 8816 PG 0883
BK 8632 PG 0463

PROJECT:
GRANITE SUBARU
193 LOWELL ROAD
HUDSON, NH 03051
MAP 216 LOT 11

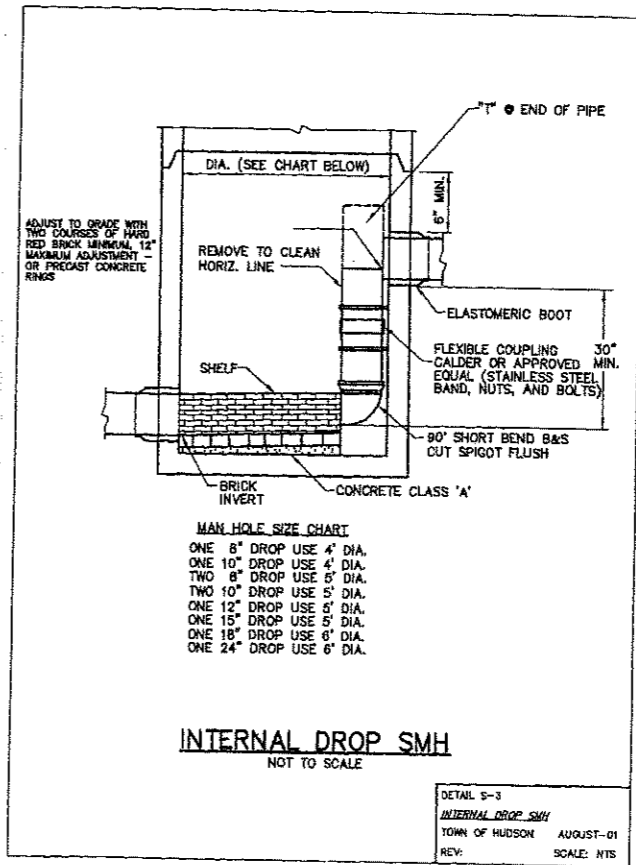
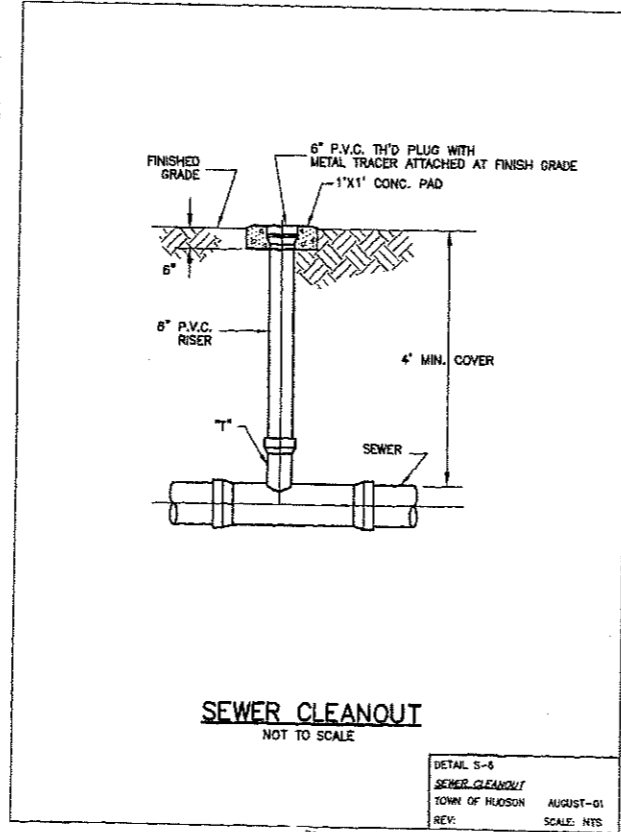
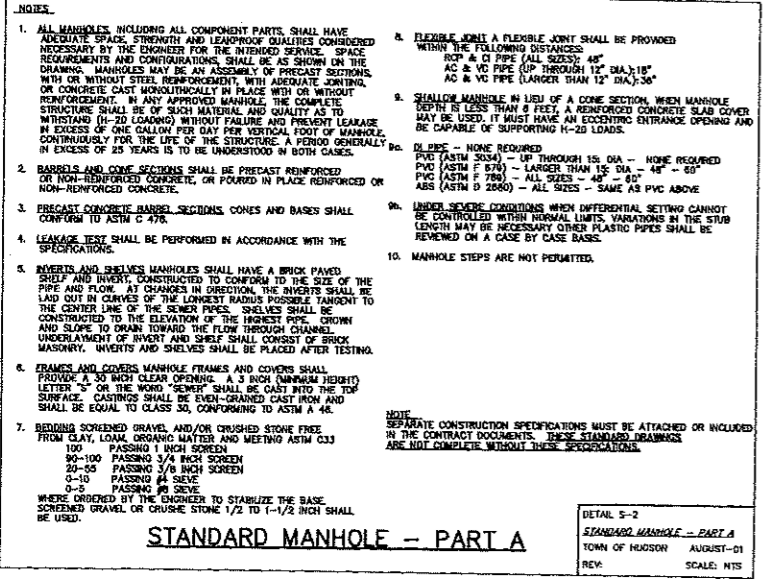
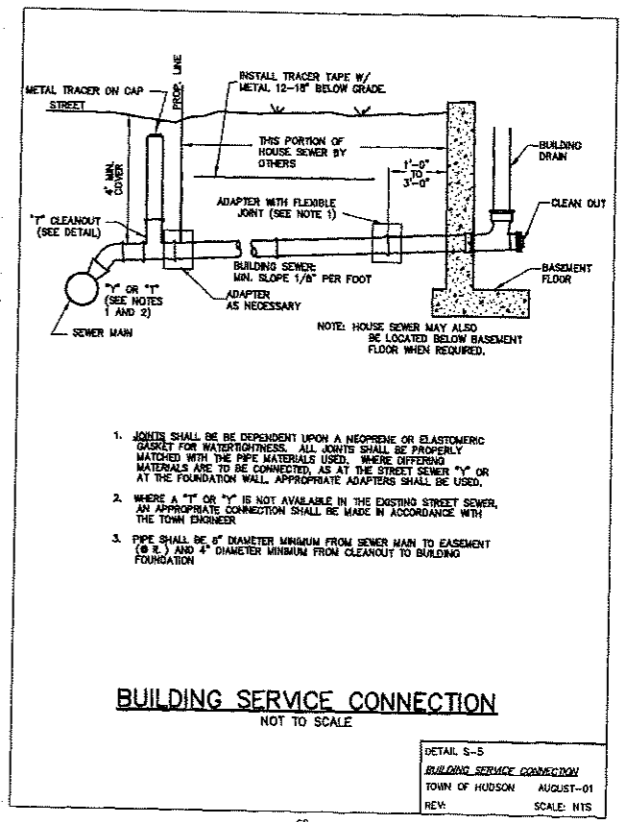
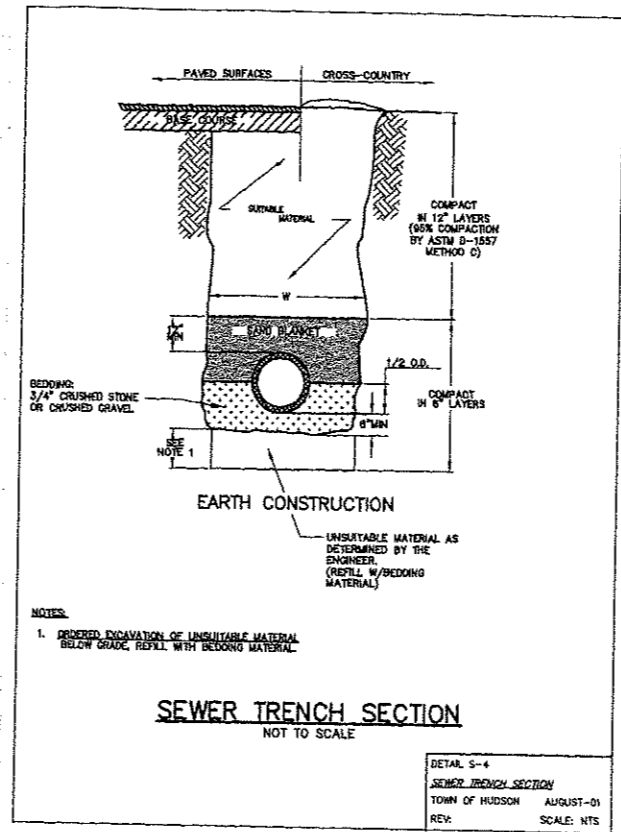
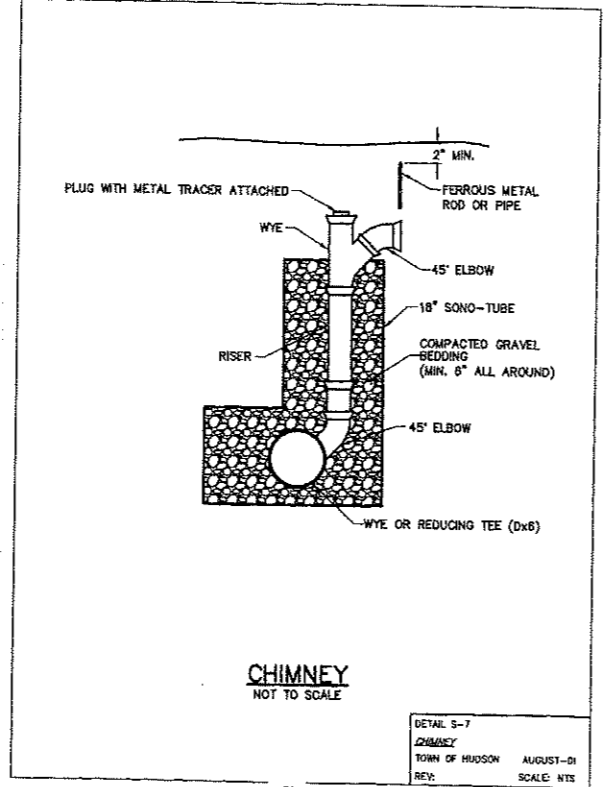
FOR _____
AMR REAL ESTATE HOLDINGS - HUDSON, LLC
425 PROVIDENCE HWY
WESTWOOD, MA 02090

SHEET TITLE:
SITE DETAILS - 3

PROJECT #347 SHEET 10 of 11



TYPE OF PIPE	SIZE	MAX. DIST. TO FIRST JOINT
R.C.P. & C.I.	ALL	40'
P.V.C.	>15"	40'
V.C.P.	18"	18'
V.C.P.	>12"	30'



MAN HOLE SIZE CHART

- ONE 8" DROP USE 4" DIA.
- ONE 10" DROP USE 4" DIA.
- TWO 8" DROP USE 5" DIA.
- TWO 10" DROP USE 5" DIA.
- ONE 12" DROP USE 6" DIA.
- ONE 15" DROP USE 5" DIA.
- ONE 18" DROP USE 6" DIA.
- ONE 24" DROP USE 6" DIA.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

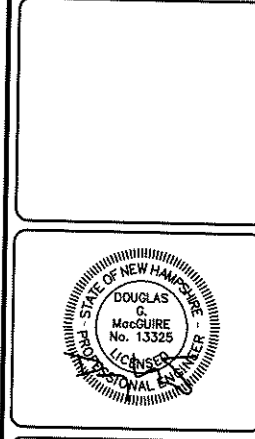
CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

The Dubay Group, Inc.
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Engineers
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TheDubayGroup.com



REVISIONS:

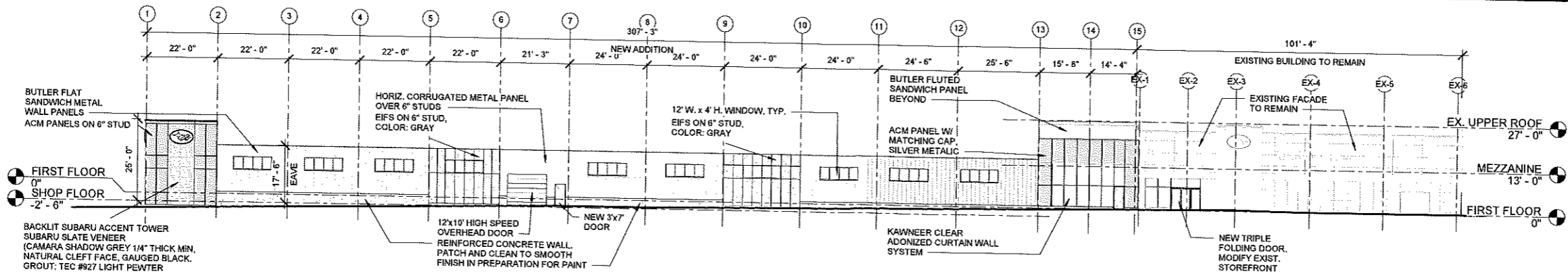
REV:	DATE:	COMMENT:	BY:

DRAWN BY: JMM
CHECKED BY: DGM
DATE: APRIL 30, 2019
SCALE: AS SHOWN
FILE: 347-DETAILS
DEED REF: BK 8816 PG 0883
BK 8632 PG 0463

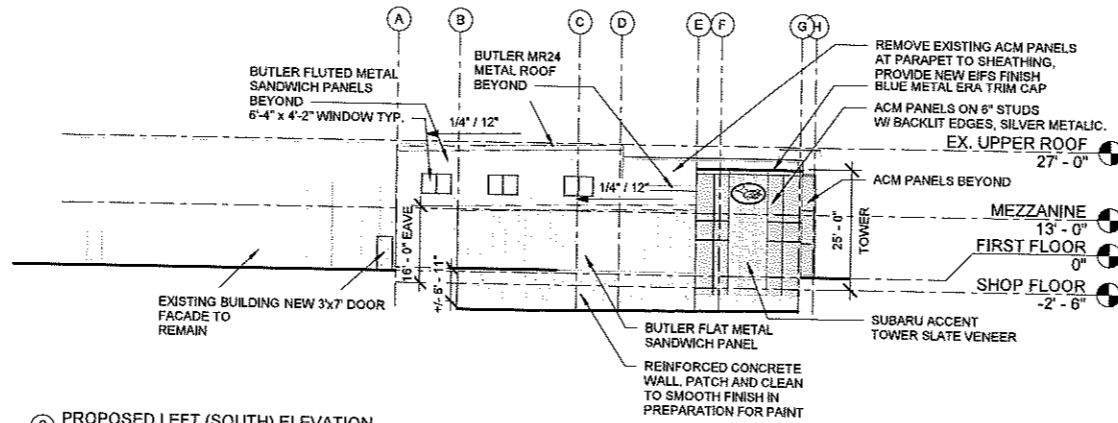
PROJECT: GRANITE SUBARU
193 LOWELL ROAD
HUDSON, NH 03051
MAP 216 LOT 11

FOR: AMR REAL ESTATE HOLDINGS - HUDSON, LLC
425 PROVIDENCE HWY
WESTWOOD, MA 02090

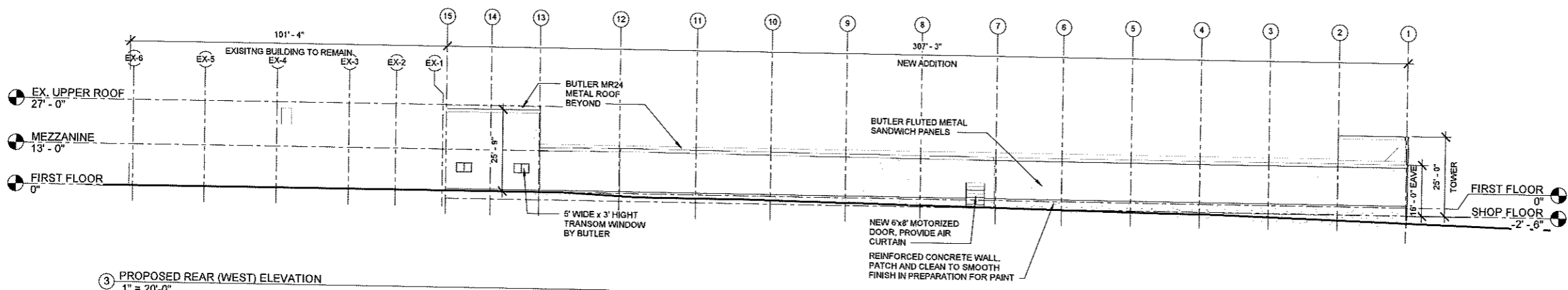
SHEET TITLE: SITE DETAILS - 4



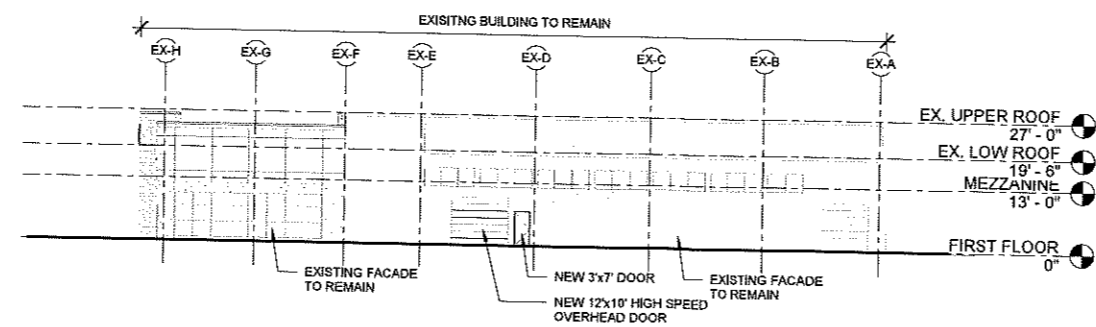
1 PROPOSED FRONT (EAST) ELEVATION
1" = 20'-0"



2 PROPOSED LEFT (SOUTH) ELEVATION
1" = 20'-0"



3 PROPOSED REAR (WEST) ELEVATION
1" = 20'-0"



4 PROPOSED RIGHT (NORTH) ELEVATION
1" = 20'-0"



04/25/2019

CLARIS Bällina GROUP, LLC
 CONSTRUCTION INC.
 1610 Admas Ave., Dummer, Pennsylvania 18609
 53 Church Hill Road Newtown, Connecticut 06470
 Tel. 203 364 9460 Fax. 203 364 9465
 www.clarisconstruction.com www.ballinagroup.com

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GRANITE SUBARU
 193 LOWELL ROAD
 HUDSON, NH 03051

No.	Description	Date

ELEVATIONS	
GRANITE SUBARU	
Project Number	19-05
Date	04/25/2019
Drawn By	MJ
Checked By	JGC
Scale	1" = 20'-0"

A-201