



TOWN OF HUDSON

Planning Board

Timothy Malley, Chairman

Roger Coutu, Selectmen Liaison



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

PUBLIC MEETING TOWN OF HUDSON, NH JULY 24, 2019

The Town of Hudson Planning Board will hold a regularly scheduled meeting on Wednesday, July 24, 2019 at 7:00 p.m. in the “Buxton Community Development Conference Room” at Town Hall. The following items will be on the agenda:

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES
- V. MINUTES OF PREVIOUS MEETING(S)
 - 10 JULY 2019 Meeting Minutes – Decisions

- VI. CORRESPONDENCE
- VII. OLD BUSINESS

- A. Granite Subaru Amended Site Plan
SP# 05-19

193 Lowell Road
Map 216/Lot 011

Purpose of Plan: to propose the removal of the second building on-site and to expand the existing Subaru building with supporting infrastructure, while maintaining the same impervious footprint. Application Acceptance & Hearing.

- VIII. DESIGN REVIEW PHASE
- IX. NEW BUSINESS/PUBLIC HEARINGS

- A. Roosevelt Ave Self-Storage Site Plan
SP# 06-19

23 & 27 Roosevelt Ave
Map 191/Lots 116 & 115

Purpose of Plan: the purpose of the plan is to show a proposed 3-story storage facility and parking improvements. Application Acceptance & Hearing.

- X. OTHER BUSINESS
- XI. ADJOURNMENT

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting. The public is invited to attend.

Brian Groth, Town Planner

POSTED: Town Hall, Library & Post Office – 7-12-19

MINUTES/DECISIONS OF THE PLANNING BOARD
MEETING DATE: JULY 10, 2019

In attendance = X; Alternates Seated = S; Partial Attendance = P; Excused Absence = E

Timothy Malley Chairman <u> X </u>	Jordan Ulery Vice-Chair <u> X </u>	William Collins Secretary <u> E </u>	Charlie Brackett Member <u> X </u>
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Dillon Dumont Member <u> X </u>	Ed Van der Veen Member <u> X </u>	Elliott Veloso Alternate <u> S </u>
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Roger Coutu Select. Rep. <u> X </u>	David Morin Alt. Select. Rep. <u> E </u>	Brian Groth Town Rep. <u> X </u>
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- I. CALL TO ORDER BY CHAIRPERSON AT 7:01 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL

IV. SEATING OF ALTERNATES

Mr. Veloso seated for Mr. Brackett.

V. MINUTES OF PREVIOUS MEETING(S)

- 12 JUNE 19 Meeting Minutes – Decisions

Mr. Coutu moved to approve the 12 JUNE 19 Meeting Minutes (as written/amended).

Motion seconded by Mr. Ulery. Motion carried 6/0/1 (Brackett abstained).

- 26 JUNE 19 Meeting Minutes – Decisions

Mr. Ulery moved to approve the 26 JUNE 19 Meeting Minutes (as written/amended).

Motion seconded by Mr. Coutu. Motion carried 6/0/1 (Brackett abstained).

- VI. CORRESPONDENCE
- VII. OLD BUSINESS

VIII. DESIGN REVIEW PHASE

IX. NEW BUSINESS/PUBLIC HEARING

A. Granite Subaru Amended Site Plan
SP# 05-19

193 Lowell Road
Map 216/Lot 011

Purpose of Plan: to propose the removal of the second building on-site and to expand the existing Subaru building with supporting infrastructure, while maintaining the same impervious footprint. Application Acceptance & Hearing.

Mr. Ulery moved to defer the amended site plan for Granite Subaru, located at 193 Lowell Road, Map 216/Lot 011, per the request of the applicant, date specific, to the July 24, 2019 meeting.

Motion seconded by Mr. Veloso. All in favor – motion carried.

X. OTHER BUSINESS

A. Regulation Amendment Proposal - §276 Administrative Requirements & Definitions – Plan Expiration.

Purpose of proposal: to change the regulation language that says plans expire one year from the date of Planning Board approval if substantial development has not occurred, to two years, or twenty-four months.

Mr. Coutu moved to schedule a public hearing on August 7, 2019, for amendments regarding plan validity in accordance with RSA 674:39 to §276 of the Hudson Land Use Regulations.

Motion seconded by Mr. Brackett. All in favor – motion carried.

XI. ADJOURNMENT

Motion to adjourn by Mr. Veloso. Seconded by Mr. Dumont. All in favor – motion carried.

Meeting adjourned at 7:07 p.m.

Brian Groth
Town Planner

ROOSEVELT AVE SELF-STORAGE SITE PLAN APPLICATION #06-19

STAFF REPORT

July 24, 2019

SITE: 23 Roosevelt Avenue – Map 191 Lots 115 & 116

ZONING: Business & Town Residential (split-zoned)

PURPOSE OF PLANS: to construct a 3-story storage facility and associated parking.

Plans Under Review: Roosevelt Ave Self-Storage; prepared by Keach-Nordstrom Associates, Inc., 10 Commerce Park North, Suite 3, Bedford, NH, 03110; prepared for James D. Allard, 26 Cherokee Ave, Nashua, NH 03062; consisting of 10 Sheets, Notes 1-32 on Sheet 1, and architectural elevations prepared by HL Turner Group, Concord, NH.

ATTACHMENTS:

- A. Site Plan Application & Project Narrative
- B. Lot Merger Application
- C. ZBA Notice of Decision for 23 Roosevelt Ave.
- D. Parking Study Letter from Paul Chisholm, P.E.
- E. Waiver Request Forms
- F. Fuss & O'Neill Peer Review Comments
- G. Department Review Comments (Fire, Engineering)
- H. CAP Fee worksheet

APPLICATION TRACKING:

- May 2019 – Variance granted by the ZBA to permit self-storage.
- July 2, 2019 – Site Plan application received.
- July 17, 2019 – Fuss & O'Neill review comments received.
- July 24, 2019 – Public Hearing scheduled.

WAIVER REQUESTS:

1. §276.11.1 (12) (b) – Buffer between non-residential and residential uses.
2. §275-8.C(2) – Parking calculations.

STAFF COMMENTS:

Lot Merger

The application concerns two lot under common ownership. Without merging the lots, the plan would not conform to the Zoning Ordinance. Prior to taking any action on this application, the Board should address the Application to Merge Lots (*Attachment B*). A draft motion for this action is in the Draft Motions section later in this report.

Use

The applicant was granted a variance to permit the proposed use on the site on April 11, 2019 (*Attachment C*). Still, in order to execute the proposed site plan, the applicant needs to secure a waiver from §276.11.1 (12) (b) which requires a 100-foot buffer between a residential use or zoning district and any improved part of a nonresidential development (*Attachment E*). The site directly abuts five (5) residential lots. With respect to the abutting residential lot at the corner of Roosevelt Avenue and F Street, the proposed parking area is 15-feet from the lot-line and the proposed building is about 50-feet from the lot-line. With respect to the abutting residential lot that is at the rear lot-line of the subject parcel, the proposed access way is 25-feet from the lot-line and the proposed building comes within 50-feet of the lot-line.

It is worth noting that there is a significant grade change between the site (~169' elevation) and the residential lots to the rear (~180'+ elevation). This elevation change offers some mitigation of sight and sound between uses.

The Landscape Plan (Sheet 6) shows landscape buffering along the corner residential lot. It shows existing landscape to remain along the other lot-lines.

The proposed use is expected to be low-impact (sight, sound, smell) relative to other commercial uses.

Parking

Hudson's site plan regulations do not address self-storage facilities. The applicant's engineer has submitted a parking study of a comparable site in Bedford, NH to demonstrate the parking usage of such facilities (*Attachment D*). They have submitted a waiver request in accordance with their proposal (*Attachment E*). Fuss & O'Neill noted that the study was conducted mid-month and opined that these facilities might be busier at month's end when leases begin/end.

Architecture

As noted in Fuss & O'Neill's comments (*Attachment F*), the elevations do not match the site plan, specifically in regards to building entrances. The applicant should revise accordingly.

The plan set states that the permitted building height per Zoning is 50-feet which is incorrect. The maximum building height is 38-feet. The building height should be noted on the elevations

While not required, it is recommended that the applicant show signage they may intend to install on the building.

It is recommended that the applicant provide the Planning Board with additional detail on the materials and colors to be used on the exterior of the building.

Stormwater Management

The applicant will need to address the comments related to Stormwater Management provided in Fuss & O'Neill's review letter (*Attachment F*). The plan must also state that it meets the new MS4 requirements.

Exterior Lighting

More detail on the exterior lighting plan should be provided to ensure light pollution will not affect the abutting residential properties, especially given the grade change. This discussion should include hours of operation.

Trash Removal

The proposal does not show any dumpsters or trash removal areas. The applicant should verify this is not needed.

Loading

As noted in Fuss & O'Neill's review letter (1.e,f g page 2), the proposal does not meet the loading spaces requirements of the Site Plan Regulations in terms of number and size. The plan shows what appears to be a loading area, but there are no doors shown at that location. The loading design will likely require a waiver.

Vehicular Circulation

See Attachment G for the Town Engineer's comments #5 and #6. Mr. Dhima recommends one-way circulation around the building instead of two-way. A stop bar and stop sign is also required at the entrance.

As recommended in Fuss & O'Neill's review letter (3.c page 3), the applicant should consider signage, mirrors, or other strategies to ensure the safety of vehicles travelling around the "blind corners" of the building.

Fire Safety

Fire Chief Buxton has issued a letter with his comments (*Attachment G*). Chief Buxton has also discussed his comments with the applicant's engineer, who intends to revise the plans in accordance with Fire Safety concerns.

Other

There are several other comments contained in Fuss & O'Neill's letter that will need to be addressed in a revised plan. Some of these revisions might be delivered after the issuance of this report but prior to the hearing.

WAIVER MOTIONS/REQUESTS:

- 1. §276.11.1(23)(c) – 100-foot Residential Buffer.

I move to grant the requested waiver of §277.11.1(23)(c) – 100-foot Residential Buffer, based on the Board’s discussion, the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: _____ Second: _____ Carried/Failed: _____

- 2. §275.8.C(2) – Parking Requirements

I move to grant the requested waiver of §275.8.C(2) – Parking Requirements, to allow for 19 spaces, based on the Board’s discussion, the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: _____ Second: _____ Carried/Failed: _____

DRAFT MOTIONS:

To merge the lots:

I move to approve the application to merge lots by James Allard for Tax Map 191, Lots 115 and 116.

Motion by: _____ Second: _____ Carried/Failed: _____

To accept the application:

I move to accept the site plan application for 23 Roosevelt Ave, Map 191 Lot 115 & 116.

Motion by: _____ Second: _____ Carried/Failed: _____

To continue the public hearing to a date certain:

I move to continue the public hearing for 23 Roosevelt Ave, Map 191 Lot 115 & 116, date certain, _____.

Motion by: _____ Second: _____ Carried/Failed: _____

To approve:

I move to approve the subdivision & site plan applications for the Plan Set entitled: Roosevelt Ave Self-Storage; prepared by Keach-Nordstrom Associates, Inc., 10 Commerce Park North, Suite 3, Bedford, NH, 03110; prepared for James D. Allard, 26 Cherokee Ave, Nashua, NH 03062; consisting of 10 Sheets, Notes 1-32 on Sheet 1, and architectural elevations prepared by HL Turner Group, Concord, NH and as revised per, and subject to the, following stipulations:

1. All waivers and stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Plan.
2. A traffic impact fee amount of \$26,100.00 shall be paid prior to the issuance of a Certificate of Occupancy in accordance with the cost allocation procedure (CAP).
3. All monumentation shall be set or bonded for prior to the issuance of building permits.
4. The applicant shall have an approved NHDES Alteration of Terrain permit prior to starting construction.
5. The applicant shall be responsible for scheduling a pre-construction meeting with town staff prior to starting construction.
6. The applicant shall not bury stumps within the site.
7. The applicant shall not bring off-site, non-feasible material, such as ledge or byproduct of ledge blasting, for backfill material.
8. Approval of this plan shall be subject to final review by the Town Engineer.
9. Construction activities involving the proposed undeveloped lots shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday.
10. Active and substantial development will have occurred when the following activities have been completed:
 - A. Tree clearing
 - B. Stump removal
 - C. Top soil removal
 - D. Construction entrance installation
 - E. Erosion control in place
 - F. Rough grading of the proposed site envelope

Motion by: _____ Second: _____ Carried/Failed: _____.

RECEIVED

JUL 02 2019

PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

TOWN OF HUDSON
PLANNING DEPARTMENT

Date of Application: July 2, 2019 Tax Map # 191 Lot # 115 & 116

Name of Project: Roosevelt Ave Self-Storage

Zoning District: _____ General SP# 06-19
(For Town Use) (For Town Use)

ZBA Action: #19-021

PROPERTY OWNER:

DEVELOPER:

Name: James D. Allard

James D. Allard

Address: 26 Cherokee Avenue

26 Cherokee Avenue

Address: Nashua NH, 03062

Nashua NH, 03062

Telephone # 603-880-6664

603-880-6664

Fax # _____

Email: jim@allardcontracting.com

jim@allardcontracting.com

PROJECT ENGINEER

SURVEYOR

Name: Keach & Nordstrom Associates

Peter Stoddard

Address: 10 Commerce Park North, Suite 3

1600 Candia Rd Suite 5

Address: Bedford, NH 03110

Manchester, NH 03104

Telephone # (603) 627-2881

(603) 628-8500

Fax # (603) 627-2915

Email: tmccarthy@keachnordstrom.com

petes@shlandservices.com

PURPOSE OF PLAN:

To show proposed 3-story storage facility and parking improvements

For Town Use

Plan Routing Date: 7/3/19 Sub/Site Date: _____

I have no comments I have comments (attach to form)

DaB _____ Title: Lieutenant Date: 07/17/19

(Initials)

DEPT:

Zoning Engineering Assessor Police Fire Planning

Consultant Highway Department

Fees Paid: \$15,374.92

SITE DATA SHEET

PLAN NAME: Roosevelt Ave Self-Storage

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 191 LOT 115 & 116

DATE: July 1, 2019

Location by Street 23 Roosevelt Avenue

Zoning: Town Residence (TR) & Business (B)

Proposed Land Use: Self-storage Facility

Existing Use: Industrial Warehouse

Surrounding Land Use(s): Residential/Multi-family

Number of Lots Occupied: 1

Existing Area Covered by Building: 4,990

Existing Buildings to be removed: 1

Proposed Area Covered by Building: 30,300 sf

Open Space Proposed: 52.2%

Open Space Required: 35%

Total Area: S.F.: 132,400 Acres: 3.014

Area in Wetland: 7,600 sf Area Steep Slopes: 14,500 sf

Required Lot Size: 10,000 sf (TC)/30,000 sf (B)

Existing Frontage: 246.44' (Roosevelt)/170.04' (F Street)

Required Frontage: 90' (TR)/150' (B)

Building Setbacks:	<u>Required*</u>	<u>Proposed</u>
Front:	<u>30' (TC)/50' (B)</u>	<u>94'</u>
Side:	<u>15' (TC)/15' (B)</u>	<u>55.8'</u>
Rear:	<u>15' (TC)/15' (B)</u>	<u>177'</u>

**SITE PLAN DATA SHEET
(Continued)**

Flood Zone Reference: Map No. 33011C0518D PANEL 518 OF 701

Width of Driveways: 24'

Number of Curb Cuts: 1

Proposed Parking Spaces: 19

Required Parking Spaces: 152

Basis of Required Parking (Use): 1 SPACE/600 SF OFFICE x 90,900 SF = 151.5 SPACES

Dates/Case #/Description/Stipulations
of ZBA, Conservation Commission,
NH Wetlands Board Actions: 4/11/19 - Case No. #19-021
(Attach stipulations on separate sheet) to allow a self-storage use in (TC)
and (B) zones

Hudson Town Code

<u>Waivers Requested:</u>	<u>Reference</u>	<u>Regulation Description</u>
	1. <u>276.11.1(12)(C)</u>	<u>100 ft distance between residential use and any improved part of the nonresidential development</u>
	2. <u>275-8.C(2)</u>	<u>Parking Calculations</u>
	3. _____	_____
	4. _____	_____
	5. _____	_____
	6. _____	_____
	7. _____	_____
	8. _____	_____

(Left column for Town Use)

Impact Fees:
C.A.P Fee: _____

Development Agreement
Proposed: _____

<i>For Town Use</i>	
Data Sheet Checked By: _____	Date: _____

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Site Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Site Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: James Allard

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: James Allard

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

APPLICATION IS DUE AT NOON 21 days prior to the Planning Board Meeting. (The date the Agenda is CLOSED.) Any applications received after that time will be deferred until the next available meeting.

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

SCHEDULE OF FEES

A. Review Fees

<u>1. Site Plan Use</u>	<u>Project Size/Fee</u>	
Multi-Family	\$105/unit for 3-50 units \$78.50/unit for each additional unit over 50	\$ _____
Commercial/Semi Public/Civic or Recreational	\$157/1,000 sq. ft. for first 100,000 sq.ft. (bldg area); \$78.50/1,000 sq.ft. thereafter.	\$ _____
Industrial	x 90,900 sf \$150/1,000 sq.ft for first 100,000 sq.ft. (bldg. area);\$78.50/1,000 sq.ft thereafter	\$ <u>13,635.00</u>
No Buildings	\$30.00 per 1,000 sq.ft. of proposed developed area	\$ _____

Plus Consultant Review Fee:

Total _____ acres @ \$600.00	\$ <u>1,250.00</u>
per acre or \$1,250.00, whichever is greater	

This is an estimate for cost of consultant review. The fee is expected to cover the amount. A complex project may require additional funds. A simple project may result in a refund.

Legal Fee:

The applicant shall be charged attorney costs billed to the Town for the Town’s attorney review of any application plan set documents.

2. Conceptual Review Only	\$ _____
\$100.00	
3. ZBA Input Only	\$ _____
\$100.00	

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

**SCHEDULE OF FEES
(Continued)**

B. Postage

Current "certified mail" postage rate per abutter to proposed Site Plan and current first class postage rate per property Owner within 200 feet of proposed site plan.

<u>23</u> Abutters @\$6.74 (Certified Mail)	\$ <u>155.02</u>
<u>10</u> Property owners within 200 feet @.49 (First class)	\$ <u>4.90</u>

C. On Site Signs \$ 15.00

D. Advertising (PUBLIC NOTICE) For all site plans \$ 40.00

E. Tax Map Updating Fee (FLAT FEE) \$ 275.00

TOTAL \$ 15,374.92

<i>For Town Use</i>	
AMOUNT DUE	\$ _____ DATE RECEIVED _____
AMOUNT RECEIVED	\$ _____ RECEIPT NO. _____
	RECEIVED BY: _____

F. Recording Fees

The applicant shall pay the costs of recording the final site plan layout prior to final site plan approval, in accordance with fees established by the County.

Recording of Plan	@\$24.00/sheet	\$ _____
	+\$2.00/surcharge plan	\$ _____
Land & Community Heritage Investment Program (LCHIP) fee	+25.00	\$ _____
Easements/Agreements (if applicable)	@\$10.00/first sheet @\$ 4.00/each sheet	\$ _____ \$ _____
Thereafter	+\$2.00/surcharge/doc.	\$ _____
	+First Class return postage rate	
TOTAL		\$ _____



July 1, 2019

Project Narrative:

Roosevelt Avenue Self-Storage
23 Roosevelt Avenue

The property located at 23 Roosevelt Avenue is owned by James D. Allard and currently contains an existing industrial single-story concrete building. The property also includes a paved parking lot and driveway, as well as an additional gravel drive. The paved driveway runs east to west and connects to Roosevelt Avenue. The gravel drive runs northeast to southwest and connects to F Street. Additionally, the site is comprised of two separate lots, which are to be combined per a variance from the Town of Hudson.

Two existing lots must be combined in order to complete this project. Map 191; Lots 115 and 116 must be combined. Both lots are zoned Business to the north and partially zoned town residential to the south. On April 11, 2019, the Hudson Zoning Board of Adjustment granted a variance to allow construction of a self-storage facility in both lots.

Several items must be removed in order to properly prepare the site for construction. The existing 4,990 square foot building must be razed, the paved driveway and parking lot must be removed, the existing gravel drive must be removed, and an existing overhead utility line and pole must be removed.

The proposed site will include a three-story self-storage building with a paved driveway and parking lot. The proposed building will have a 30,300 square foot footprint and 90,900 square foot in gross area. The parking lot will contain 19 total spaces, with two spaces being handicap accessible.

In addition to the building and parking lot, a series of drainage pipes and detention ponds must be added to the site. Three detention ponds will help prevent excess runoff into the bordering streets or the surrounding properties. One pond will lie in the southwest side of the lot directly adjacent to F Street. The other two ponds will lie in the northwest side of the lot bordering the proposed driveway connecting to Roosevelt Avenue.

Civil Engineering

Land Surveying

Landscape Architecture

10 Commerce Park North, Suite 3B

Bedford, NH 03110

Phone (603) 627-2881

Fax (603) 627-2915

APPLICATION TO MERGE LOTS FOR TAX ASSESSMENT AND LAND USE PURPOSES

TOWN OF HUDSON, NEW HAMPSHIRE

The undersigned, James Allard (type or print name here) is / are the owner(s) of lots or parcels shown on the Town Tax Maps as follows:

Tax Map 191 Lot 115
Tax Map 191 Lot 116
Tax Map Lot

The undersigned requests that the Town of Hudson Planning Board combine the above described parcels or lots into one parcel or one lot to be known as, Tax Map 191, Lot 116 for tax assessment, and land use purposes.

The undersigned acknowledges and agrees that the merged lots or parcels shall be shown as a single lot or single parcel on the Town Tax map and shall be one lot or one parcel for land use purposes. The Town of Hudson will assess the merged lots or merged parcels as a single lot or a single parcel.

If at any time the undersigned, or its heirs, legatees, successors and assigns of the undersigned wish to subdivide the merged lot or merged parcel, subdivision approval must be obtained from the Town of Hudson Planning Board under the Town of Hudson Subdivision of Land Regulations.

The undersigned agrees that the approval of this application shall be filed at the expense of the undersigned in the Hillsborough County Registry of Deeds.

Dated this 18 day of July, 20 19.

James D. Allard (SIGN HERE) LANDOWNER (SIGN HERE) LANDOWNER

James Allard (TYPE OR PRINT NAME) (TYPE OR PRINT NAME)

This application for the merger of lots for tax assessment and land use purposes is approved by action of the Town of Hudson Planning Board. This application shall be recorded in the Hillsborough County Registry of Deeds.

Dated this day of , 20.

Town of Hudson, NH Planning Board

Chairperson

For Registry of Deed use only:

Doc # 9018364 May 14, 2019 11:16 AM
Book 9168 Page 0037 Page 1 of 1
Register of Deeds, Hillsborough County

Hudson Zoning
A43

FEES:	10.50
SURCHARGE:	2
CASH:	—

Send recorded copy to:

TOWN OF HUDSON
ZONING BOARD OF ADJUSTMENT
12 School Street, Hudson, New Hampshire 03051

NOTICE OF DECISION

Map 191, Lot 115 & 116, Zone TR (Town Residential) & B (Business), Case # 191-116 & 115

ZBA Decision 04/11/2019

Property Owner & Address: James Allard, 26 Cherokee Ave, Nashua, NH 03062

Property Location: 23 & 27 Roosevelt Ave., Hudson, NH 03051

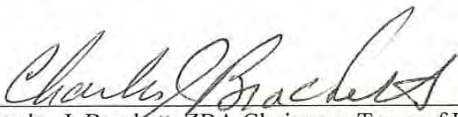
Authorized Representative: Brad Westgate, Esq., Winer and Bennett, PA
111 Concord Street, Nashua NH 03063

Action sought: Variance to permit a climate-controlled self-storage facility located partially in the B Zone and partially in the TR Zone, which is a Use not permitted in either Zone.

Zoning Ordinance Articles: V §334-20, Allowed Uses provided in Tables
V §334-21, Table of Permitted Principal Uses (E8)

Action granted: After review of the criteria for the granting of a Variance and having determined that each criteria has been met, the motion was made, duly seconded, and unanimously voted (5:0) to approve the request in Case #191-116 & 115 submitted by James Allard for a Variance to permit use of the site for a climate-controlled self-storage facility.

NOTE: All representations of fact or intention made by the applicant or any applicant's representative during testimony before the Zoning Board of Adjustment relative to the obtaining of this Variance shall be considered conditions of this Variance, regardless of the fact that such facts or intentions may not have been specifically stated as stipulations of the motion.



Charles J. Brackett, ZBA Chairman, Town of Hudson Signature

4/25/19

Date



Bruce Buttrick, Zoning Administrator, Town of Hudson Signature

4-22-19

Date



March 19, 2019

Brian Groth, Town Planner
 Town of Hudson – Community Development Department
 12 School Street
 Hudson, New Hampshire 03051

Subject: **Self-Storage Facility**
Map 191 Lots 115 & 116
23 Roosevelt Avenue
Hudson, New Hampshire 03051
 KNA Project No. 18-1210-1

Mr. Groth:

Keach-Nordstrom Associates, Inc. (KNA) performed a parking study of an indoor self-storage facility located in Bedford, New Hampshire, which is similar in size to the development proposed at 23 Roosevelt Avenue. The parking study was conducted over the course of three days; Monday March 11th, Wednesday March 13th and Saturday March 15th at various times during each day. Our goal was to create a representative sample of the overall parking demand at any given time for an indoor climate controlled self-storage use in southern New Hampshire.

The study site selected features an existing 115,000-sf indoor climate controlled self-storage facility, which is larger than the proposed 90,900-sf facility but similar in style. It is located in Bedford, which has a total population of approximately 21,200 people and is similar in population to Hudson (24,500 residents).

The study was performed by conducting several site visits over the course of each day to identify the total parking demand for the facility. The time of day, weather and vehicle counts were recorded for each visit. Site visits lasted approximately three to five minutes and all vehicles within the parking lot were counted, regardless of whether they were parked, actively loading or unloading, or entering or leaving the site. The total number of vehicles onsite ranged from zero at a minimum to seven at a maximum. The attached document details each site visit as noted herein.

We trust that the contents of this letter will provide insight into the proposed development and highlight that self-storage uses are an inherently low intensity use in terms of parking demand and total site visits.

Respectfully,

Paul Chisholm, P.E., LEED AP ND
 Project Manager
 Keach-Nordstrom Associates, Inc.

Civil Engineering

Land Surveying

Landscape Architecture

**March 11, 2019**

8:00 A.M. 37°F Overcast: 0 vehicles

10:00 A.M. 41°F Partly Cloudy: 1 vehicle

12:00 P.M. 46°F Partly Cloudy: 1 vehicle

5:00 P.M. 44°F Clear Skies: 4 vehicles

March 13, 2019

8:00 A.M. 24°F Clear Skies: 0 vehicles

10:00 A.M. 34°F Partly Cloudy: 4 vehicles

12:00 P.M. 43°F Overcast: 3 vehicles

3:00 P.M. 44°F Overcast: 1 vehicle

5:00 P.M. 46°F Clear Skies: 2 vehicles

March 16, 2019

9:55 A.M. 42°F Clear Skies: 5 vehicles

11:55 A.M. 45°F Partly Cloudy: 7 vehicles

2:00 P.M. 43°F Partly Cloudy: 4 vehicles

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: Roosevelt Ave Self-Storage

Street Address: 23 Roosevelt Avenue

I James D. Allard hereby request that the Planning Board waive the requirements of item 275-8.C(2) Parking Requirements of the Subdivision/Site Plan Checklist in reference to a plan presented by Keach & Nordstrom Associates & S&H Land Services

(name of surveyor and engineer) dated July 1, 2019 for property tax map(s) 191 and lot(s) 115 & 116 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):
The required parking ratio is not specific to the actual use being proposed. The parking spaces provided are sufficient based on case studies and experience with these types of uses. Compliance with the regulations would require many more spaces than necessary.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):
The spirit and intent is met as the actual number of spaces provided is adequate for this use. The regulations do not provide specific requirements for this use. These facilities are very light industrial uses and do not demand a large volume of traffic.

Signed: 
Applicant or Authorized Agent

Planning Board Action:
Waiver Granted: _____
Waiver Not Granted: _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: Roosevelt Ave Self-Storage

Street Address: 23 Roosevelt Avenue

I James D. Allard hereby request that the Planning Board waive the requirements of item 276.11.1(12)(C) 100' Residential Buffer of the Subdivision/Site Plan Checklist in reference to a plan presented by Keach & Nordstrom Associates & S&H Land Services

(name of surveyor and engineer) dated July 1, 2019 for property tax map(s) 191 and lot(s) 115 & 116 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

Literal interpretation of the ordinance would not allow the development to move forward for the use in which the variance was granted and the site would have constraints preventing development on the site.
There is currently an industrial building on the property. Self-storage is a soft use and does not create a lot of traffic or activity.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

Existing and proposed landscaping will provide a buffer from abutting residential uses. The use is a soft one and does not generate a lot of traffic or activity. Most of the activity will be contained within the building. Granting the waiver will meet the spirit and intent of the ordinance.

Signed: 
Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____



July 17, 2019

Mr. Brian Groth
Town Planner
Town of Hudson
12 School Street
Hudson, NH 03051

Re: Town of Hudson Planning Board Review
23 Roosevelt Ave Self Storage Site Plan, 23 Roosevelt Avenue
Tax Map 191, Lots 115 & 116; Acct. #1350-932
Reference No. 03-0249.1820

Dear Mr. Groth:

Fuss & O'Neill (F&O) has reviewed the first submission of the materials received on July 2, 2019, related to the above-referenced project. Authorization to proceed was received on July 3, 2018. A list of items reviewed is enclosed. The scope of our review is based on the Site Plan Review Codes, Stormwater Codes, Driveway Review Codes, Sewer Use Ordinance 77, Zoning Regulations, and criteria outlined in the CLD Consulting Engineers Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007, September 3, 2008, and October 2015.

We have included a copy of Fuss & O'Neill's evaluation of the checklist for your reference. We note that several items could not be verified by Fuss & O'Neill and require action by the Town.

The project appears to consist of the redevelopment of a two lot site into a self-storage facility. Proposed improvements to the site also include the construction of a driveway, parking areas, drainage improvements, landscaping, and other associated site improvements. The proposed building will be serviced by a private septic system and Municipal water.

The following items are noted:

1. Site Plan Review Codes and Administrative Requirements and Definitions
 - a. Hudson Regulation (HR) 275-6.I. The scope of this review does not include the adequacy of any fire protection provisions for the site. No proposed measures were included in Fuss & O'Neill's review package.
 - b. HR 275-6.T.(1) The applicant has not proposed installation of any off-site improvements.
 - c. HR 275-8.C.(2) and ZO 334-15.A. The applicant has provided a parking study memo for the proposed self-storage use. The study was performed on a similarly sized site in Bedford, and notes that self-storage uses are inherently low intensity uses in terms of parking demand and total site visits. The plans and study do not note how many internal storage units are proposed for the Hudson facility or how that compares to the Bedford site that was evaluated. Our other concern with the parking study is that it was performed over several days in the middle of the month. We suspect that site visits and parking demands increase at the end of the month when leases expire, renters move, etc., and

540 No Commercial Street
Manchester, NH
03101
t 603.668.8223
800.286.2469
f 603.668.8802
www.fando.com

California
Connecticut
Maine
Massachusetts
New Hampshire
Rhode Island
Vermont

Mr. Brian Groth
July 17, 2019
Page 2 of 5

- would be a more accurate demonstration of the parking demand for such a facility.
- d. HR 275-8.C.(2) and ZO 334-15.A. Parking calculations provided by the applicant indicate that the proposed site does not provide the minimum number of spaces required. The applicant has requested a waiver from this Regulation. Also, the applicant should confirm with the Town that the proposed use is an industrial use, not a retail use or other use category required by the Planning Board.
 - e. HR 275-8.C.(6). The applicant has not labeled any specific loading spaces on the plan set. There is an area west of the parking spaces in front of the building that may be intended to be a vehicle loading area, but there are no doors/overhead doors shown in this area on the site plan. The applicant should provide additional information on the proposed loading spaces for the site.
 - f. HR 275-8.C.(6)(a). The applicant has not shown an adequate number of loading spaces based on the building's gross floor area.
 - g. HR 275-8.C.(6)(b). For the loading area noted in comment 1.e. above, the dimensions of the loading area do not meet the required 12 feet by 60 feet and no information was provided about the type of trucks expected to use the space.
 - h. HR 275-8.C.(8). The subject lot abuts a residential zone to the east. The applicant should review the proposed clearing, landscaping, and existing vegetation to confirm that adequate screening will exist upon completion of the project. It appears that most of the existing buffer vegetation is located on abutting properties.
 - i. HR 275-8.C.(11). The applicant should provide a tipdown detail for construction of the sidewalk at the accessible parking spaces.
 - j. HR 276-11.1.B.(9). A licensed land surveyor has not certified the Existing Conditions plan.
 - k. HR 276-11.1.B.(12)(c). The applicant has proposed improvements within 100 feet of a residential use/zoning district. The applicant has requested a waiver from this Regulation.
 - l. HR 276-11.1.B.(13). The applicant has not proposed any signs other than traffic signs and handicapped parking signs within the site.
 - m. HR 276-11.1.B.(13). The applicant has not included details for any proposed business signage or provided the required note on the plan set stating that, "All signs are subject to approval by the Hudson PLANNING BOARD prior to installation thereof."
 - n. HR 276-11.1.B.(16). The applicant has not shown all roadways, driveways, travel or parking areas within 200 feet of the tract.
 - o. HR 276-11.1.B.(17). We were unable to locate any benchmarks within the plan.
 - p. HR 276-11.1.B.(20). The applicant has not shown any existing or proposed easements on the plans.
 - p. HR 276-11.1.B.(23). The applicant has not noted any pertinent highway projects on the plan set.
2. Driveway Review Codes (HR 275-8.B. (34)/Chapter 193)
- a. HR 193.10.E. The applicant has not shown sight distances for the proposed driveway on the plan set.
 - b. HR 193.10.J. The applicant has not provided a tie-in detail for the connection of the proposed driveways to the existing pavement on Roosevelt Avenue.

Mr. Brian Groth
July 17, 2019
Page 3 of 5

3. Traffic

- a. HR 275-9.B. The applicant has not provided a Traffic Study for this project. Given the nature of the proposed project and configuration of driveways/road access, Fuss & O'Neill believes the preparation of a Traffic Study is not warranted at this time.
- b. It appears that WB-50 or larger trucks or vehicles with trailers will have difficulty traversing the entire driveway without encroaching on parking or landscape areas. The applicant should review and verify that all anticipated trucks can safely navigate the site.
- c. The applicant has not noted the intent for traffic flow around the proposed building, i.e. two-way traffic throughout; one way traffic in some areas; etc. If two-way traffic is proposed the applicant should consider the installation of some type of warning signs for traffic approaching the blind corner at the southeast corner of the building. If one-way traffic is proposed then appropriate signage and pavement markings should be provided.

4. Utility Design/Conflicts

- a. HR 275-9.E and 276-13. The applicant has not provided a utility crossing detail for the water main and drainage pipe.
- b. HR 275-9.E and 276-13. The applicant has shown a proposed fire service connection to the subject building. Fuss & O'Neill did not review this element of work for fire protection adequacy or code conformance.
- c. HR 275-9.E and 276-13. The applicant has noted that the proposed size of the domestic service and fire alarm shall be confirmed by the project fire suppression engineer prior to the start of construction. The applicant has also noted that any adjustments to the design must be approved by the Town of Hudson.
- d. HR 275-9.E and 276-13. The applicant has not provided any details for the tapping sleeve or domestic service connection for the proposed water service to the building.
- e. HR 275-9.E. and 276-13. The applicant has not shown nor provided any installation details for underground utilities (electric, telephone, gas, etc.) proposed for the site.
- f. HR 275-9.E and 276-13. The applicant has not provided any information regarding the proposed septic system on the plan set (inverts, grades, details, etc.).

5. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- a. HR 275-9.A.(2). The applicant has not shown the direction of flow through the use of arrows for all areas.
- b. HR 275-9.A.(3). The applicant has not provided the size of various proposed drainage structures such as spillways, forebays, etc.
- c. HR 275-9.A.(3). The HydroCAD analysis illustrates that the existing depression and the proposed infiltration basins utilize a 3.0 inches per hour infiltration rate. The applicant should provide additional conversion calculations for the percolation rates illustrated on Plan Sheet 10 to support the use of the infiltration rate.

Mr. Brian Groth

July 17, 2019

Page 4 of 5

- d. HR 275-9.A.(4)(b). The applicant should provide twenty-five year storm event calculations for the proposed culvert, swale and detention pond.
 - e. HR 290-4.C. The applicant should provide sediment forebay sizing calculations for proper pretreatment of the stormwater.
 - f. HR 290-4.C. The applicant should provide scour hole sizing calculations within the sediment forebays.
 - g. HR 290-4.C. The applicant should provide additional construction information for the infiltration basins to ensure their long term functionality. Information such as, but not limited to, inundation of grass seed, tilling of soil, restrictions on compacting soil, etc. should be noted on the plans.
 - h. HR 290-5.K.(22). The applicant has not shown proposed snow storage areas on the plans.
 - i. HR 290-5.L(1). It is uncertain if the total disturbed area for this project exceeds 100,000 square feet, requiring a New Hampshire Department of Environmental Services (NHDES) Alteration of Terrain (AoT) permit. The applicant should note the total disturbed area on the plans and the need for an AoT permit. If the permit is required the applicant should keep the Town informed of all communication with NHDES in relation to the AoT permit discussions to ensure NHDES comments do not alter drainage design/calculations.
6. Zoning (ZO 334)
- a. ZO 334-21. The applicant has noted that the subject parcel is located within the Town Residence (TR) and Business (B) zoning districts. The applicant has also noted that the Hudson Zoning Board of Adjustment granted a variance to allow a self-storage facility in the Town Residence and Business zones.
 - b. ZO 334-33. The applicant has shown wetlands within a portion of the subject site. There are no improvements proposed within these wetland areas.
 - c. ZO 334-60. The applicant has not proposed any signs other than handicapped parking and traffic signs within the subject lot.
 - d. ZO 334-83. The applicant has noted that the subject parcel does not fall within a special flood hazard area.
7. Erosion Control/Wetland Impacts
- a. HR 290-5.K.(14). The applicant has not indicated the proposed areas for earth stockpiles.
 - b. HR 290-5.K.(15). The applicant has not indicated the proposed areas for equipment storage and staging.
 - c. HR 290-5.K.(16). The applicant has not indicated the proposed method of stump disposal, instead just noting that stumps will be disposed of in an approved method.
8. Landscaping (HR 276-11.1.B.(20)) and Lighting (HR 276-11.1.B.(14))
- a. HR 275-8.C.(7). The applicant has proposed landscaped areas that meet the minimum required by the Regulation.
 - b. HR 276-11.1.B.(14). The applicant has not provided information detailing the proposed hours of operation for the site lighting (i.e. will the lights operate only during the

Mr. Brian Groth

July 17, 2019

Page 5 of 5

prescribed hours of operation for the facility; will they operate during all night time hours; etc.).

- c. HR 276-11.1.B.(14). and (21). The applicant should coordinate proposed tree and lighting installations to determine if there will be any conflicts between these features. Several trees are shown immediately adjacent to proposed lighting.

9. State and Local Permits (HR 275-9.G.)


- a. HR 275-9.G. The applicant has not noted whether a New Hampshire Department of Environmental Services (NHDES) Alteration of Terrain Permit or Septic System Permit are required. The applicant should forward all relevant NHDES permit documentation to the Town for their records.
- b. HR 275-9.G. The applicant has noted that a NPDES permit and preparation of a SWPPP will be required for this project.
- c. HR 275-9.G. The applicant did not provide copies of any applicable Town, State or Federal approvals or permits in the review package.
- d. Additional local permitting may be required.

10. Other

- a. The applicant has not included any provisions for a dumpster on the plans. The applicant should verify that a dumpster is not needed for the proposed use.
- b. The applicant has provided an architectural rendering of the proposed building that doesn't appear to match the site plan drawings. On the north side of the building the architectural plans show the building entrance near the northwest corner while the site plans show the building entrance in front of the parking spaces near the center of the building. The applicant should review and coordinate these plans.
- c. The applicant is proposing retaining walls on the site that are three feet tall, and has included a Redi-Rock wall detail for a 7.5' tall gravity wall. The applicant should coordinate the retaining wall detail with the plans.

Please feel free to call if you have any questions.

Very truly yours,



Steven W. Reichert, P.E.

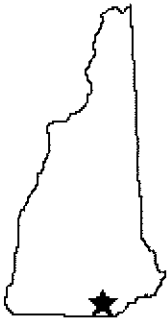


Paul Konieczka, AICP

SWR:PK:

Enclosure

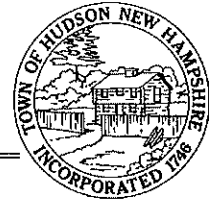
cc: Town of Hudson Engineering Division – File
Keach-Nordstrom Associates, Inc.
Commerce Park North
Bedford, NH 03110
tmccarthy@keachnordstrom.com



TOWN OF HUDSON

FIRE DEPARTMENT

39 FERRY STREET, HUDSON, NEW HAMPSHIRE 03051



Emergency 911
 Business 603-886-6021
 Fax 603-594-1164

Robert M. Buxton
 Chief of Department

TO: Brian Groth
 Town Planner

FR: Robert M. Buxton
 Fire Chief

DT: July 12, 2019

RE: Roosevelt Avenue Self-Storage Map 191, Lot 115 &116

The following is a list of site plan concerns for this project. This review was completed utilizing plans submitted by Paul Chisholm from KNA dated July 1, 2019.

1. The trash receptacle should be placed not less than 20 feet (preferably 50 feet) from a building and at least 50 feet from a public roadway and sources of ignition. It should also be enclosed with a secure noncombustible fence of adequate height. This is a nationally accepted fire prevention practice found in the **National Fire Protection Association's (NFPA) Fire Protection Handbook, 18 Edition, Section 3, Chapter 33.**
2. Please provide the markings for fire apparatus access in accordance with **NFPA 1-2015 Edition, Uniform Fire Code, Section 18.2.2.5.7.**
3. Two fire hydrants shall be added to the site. One shall be located to support the fire sprinkler system and the other shall be located on the F Street end of the facility.
4. Please provide three (3) hydrant maps signed by the Hudson Fire Department, the Hudson Water Company and the property owner. There shall be a hydrant flag acceptable to the current Town of Hudson Engineering Department's specifications provided for all water supply appurtenances.
5. Please make sure that the proposed snow storage area shown on the plan in the area of the cistern is cut back to make sure access is maintained.

****The following life safety and fire protection concerns provided are for informational purposes to the applicant and Planning Board for this project. Final determinations on these issues occur after further review of the project.**

- A. Any fire protection system shall be monitored by an approved fire alarm system. The fire alarm system shall be connected to the Hudson Fire Department's municipal fire alarm system or a substantially equivalent system in accordance with the **Code of the Town of Hudson, Chapter 210.** A site plan detailing the aerial or underground layout to the

municipal fire alarm connection must be provided before the utilities are completed for this project. Any required fire alarm system component must remain accessible and visible at all times.

- B. Will there be inside or outside storage above the exempt amounts of hazardous materials, liquids or chemicals presenting a physical or health hazard as listed in **International Building Code, Sections 307, 414 or 415?**
- C. A blasting permit will be required for any blasting on the site in accordance with the **Code of the Town of Hudson, Chapter 202.**
- D. All storage either inside or outside of hazardous materials, liquids or chemicals presenting a physical or health hazard as listed in **NFPA 1, Section 20.15.2.2** shall be in accordance with the applicable portions of the following:

NFPA 13, Standard for the Installation of Sprinkler Systems
NFPA 30, Flammable and Combustible Liquids Code
NFPA 30B, Code for the Manufacture and Storage of Aerosol Products
NFPA 230, Standard for the Fire Protection of Storage
NFPA 430, Code for the Storage of Liquid and Solid Oxidizers
NFPA 432, Code for the Storage of Organic Peroxide Formulations
NFPA 434, Code for the Storage of Pesticides

These are all of the Hudson Fire Department's concerns as of this time. If you have any further questions, please call me directly and thank you for your continued cooperation.

cc: Project Engineer
File

Groth, Brian

From: Dhima, Elvis
Sent: Thursday, July 18, 2019 3:55 PM
To: Groth, Brian
Cc: Dubowik, Brooke
Subject: RE: Department Sign Off - Planning

Brian

I have the following comments:

1. Applicant shall state that they meet the new MS4 requirements
2. Applicant shall have the approved NHDES AOT permit prior to starting construction
3. Applicant shall be responsible for scheduling a preconstruction meeting prior to construction
4. Insulation shall be added between the proposed water line and the proposed drainage pipe at the entrance
5. Directional pavement markings need to be added. It appears unrealistic a two way traffic movement in the back of the building. One way direction around the building is recommended.
6. Stop bar and stop sign is required at the entrance.

E

Elvis Dhima, P.E.
Town Engineer

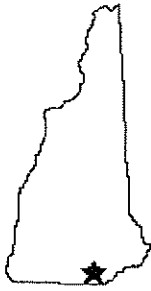
Town of Hudson, NH
12 School Street
Hudson, NH 03051
Phone: (603) 886-6008
Mobile: (603) 318-8286



From: Dhima, Elvis
Sent: Thursday, July 18, 2019 3:32 PM
To: Dhima, Elvis <edhima@hudsonnh.gov>
Subject: FW: Department Sign Off - Planning

Elvis Dhima, P.E.
Town Engineer

Town of Hudson, NH
12 School Street
Hudson, NH 03051
Phone: (603) 886-6008
Mobile: (603) 318-8286



TOWN OF HUDSON

Planning Board

Timothy Malley, Chairman



12 School Street · Hudson, New Hampshire 03051 · Tel: 603-886-6008 · Fax: 603-594-1142

CAP FEE WORKSHEET - 2019

Date: 07-24-19 Zone # 2 Map/Lot: 191/Lots 115 & 116
23 Roosevelt Ave

Project Name: Roosevelt Ave Self-Storage

Proposed ITE Use #1: #151 Mini-Warehouse

Proposed Building Area (net square footage): 90,000 S.F.

CAP FEES: (ONE CHECK NEEDED)

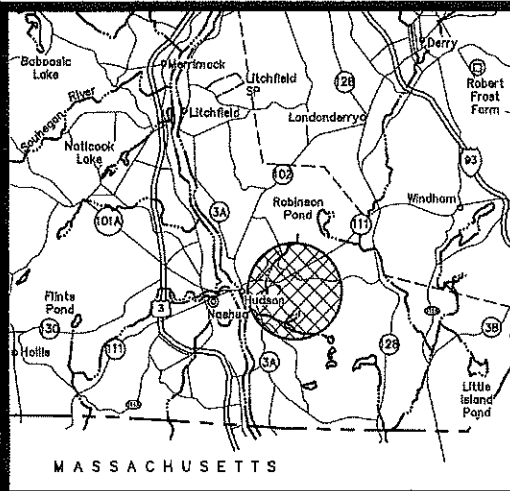
1.	(Bank 09) 2070-701	Zone 2 (\$0.29 per sf)	\$ <u>\$26,100.00</u>
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Check should be made payable to the Town of Hudson.

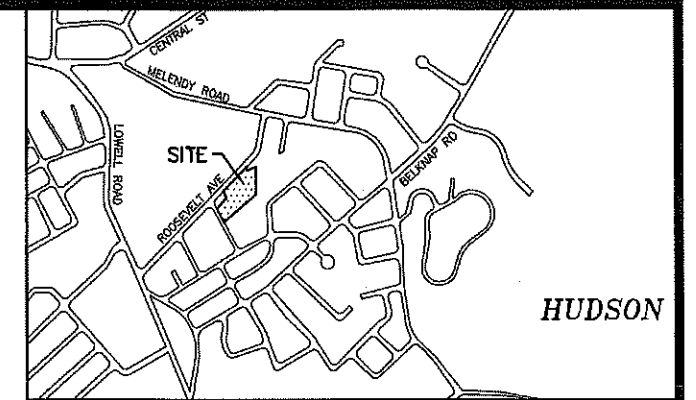
Thank you,

Brian Groth

Town Planner



VICINITY PLAN
NOT TO SCALE



LOCUS PLAN
SCALE: 1"=1,000'

NON-RESIDENTIAL SITE PLAN ROOSEVELT AVE SELF-STORAGE

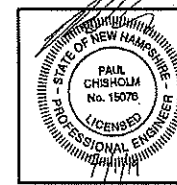
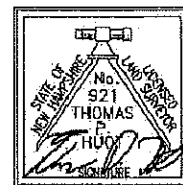
MAP 191 LOTS 115 & 116
23 ROOSEVELT AVENUE
HUDSON, NEW HAMPSHIRE

RECEIVED
JUL 02 2019
TOWN OF HUDSON
PLANNING DEPARTMENT

OWNER/APPLICANT:
JAMES D. ALLARD
26 CHEROKEE AVE
NASHUA, NH 03062

PREPARED BY:
KEACH-NORDSTROM ASSOCIATES, INC.
10 COMMERCE PARK NORTH, SUITE 3
BEDFORD, NEW HAMPSHIRE 03110
(603) 627-2881

SURVEY PREPARED BY:
S&H LAND SERVICES, LLC
1600 CANDIA ROAD, SUITE #5
MANCHESTER NEW HAMPSHIRE 03109
(603) 628-8500



KNA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

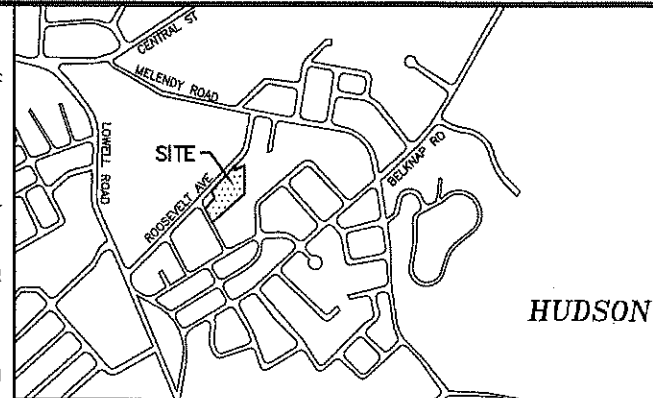
JULY 1, 2019
PROJECT NO. 18-1210-1

<u>SHEET TITLE</u>	<u>SHEET No.</u>
MASTER SITE PLAN	1
REMOVALS/DEMOLITION PLAN	2
NON-RESIDENTIAL SITE LAYOUT PLAN	3
GRADING, DRAINAGE, AND UTILITY PLAN	4
EROSION CONTROL PLAN	5
LANDSCAPE PLAN	6
LIGHTING PLAN	7
CONSTRUCTION DETAILS	8-10
EXISTING CONDITIONS PLAN (BY S&H LAND SERVICES, LLC)	

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL	APPROVED BY THE HUDSON, NH PLANNING BOARD
	DATE OF MEETING: _____
	SIGNATURE _____ SIGNATURE DATE _____
	SIGNATURE _____ SIGNATURE DATE _____
	SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

MAP 191 LOT 132
PROLYN CORPORATION
6 LAWRENCE CORNER ROAD
PELHAM NH 03076

ROOSEVELT AVENUE
(PUBLIC)



LOCUS PLAN
SCALE: 1"=1,000'

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT A SITE PLAN FOR A PROPOSED 90,900 SF CLIMATE CONTROLLED SELF STORAGE FACILITY ON MAP 191 LOTS 115 & 116. THE PARCELS WILL BE CONSOLIDATED BY VOLUNTARY MERGER.
 - TOTAL LOT AREA
EXISTING:
MAP 191 LOT 116 = 103,539 SF
MAP 191 LOT 115 = 29,041 SF
PROPOSED:
MAP 191 LOT 116 = 103,539 SF + 29,041 SF = 132,580 SF OR 3.044 ACRES
 - MAP 191 LOT 115 & 116 INDICATES TOWN OF HUDSON TAX ASSESSOR'S MAP AND LOT NUMBERS.
 - OWNER OF RECORD:
JAMES D. ALLARD
26 CHEROKEE AVE
NASHUA, NH 03082
 - THE SUBJECT PARCEL IS LOCATED WITHIN THE TOWN RESIDENCE (TR) & BUSINESS (B) ZONING DISTRICTS AND SUBJECT TO THE FOLLOWING DIMENSIONAL REGULATIONS:
- | | REQUIRED | EXISTING | PROPOSED |
|--------------------------|-----------|-----------|-------------|
| -MINIMUM LOT AREA: | 10,000 SF | 30,000 SF | 107,015± SF |
| -MINIMUM LOT FRONTAGE: | 90 FT | 150' | 246.45' |
| -FRONT BUILDING SETBACK: | 30 FT | 50' | 94' |
| -SIDE BUILDING SETBACK: | 15 FT | 15' | 55.8' |
| -REAR BUILDING SETBACK: | 15 FT | 15' | 63.8' |
| -MAX BUILDING HEIGHT: | 60 FT | 60' | 36' |
- THE LOT IS WITHIN THE SERVICE AREA FOR MUNICIPAL WATER AND SEWER, BUT THE PROPOSED BUILDING IS SERVED BY MUNICIPAL WATER AND AN ON-SITE SEPTIC SYSTEM.
 - BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS THE RESULT OF A FIELD SURVEY PERFORMED BY S & H LAND SERVICES, LLC IN MARCH 2018.
 - HORIZONTAL DATUM IS NAD83 (NAD83) PER REF PLAN #1.
 - VERTICAL DATUM IS NAVD 88 PER REF PLAN #1.
 - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 33011C0518D PANEL 518 OF 701, REVISED DATE SEPTEMBER 25, 2009 INDICATES THAT THE SUBJECT PARCEL IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
 - ON APRIL 11, 2019, THE HUDSON ZONING BOARD OF ADJUSTMENT (ZBA) GRANTED A VARIANCE TO ALLOW CONSTRUCTION OF A SELF-STORAGE FACILITY WHICH IS NOT A PERMITTED USE IN THE TOWN RESIDENCE OR BUSINESS ZONES.
 - A WAIVER FROM SECTION 278.11(12)(C) WILL BE REQUESTED FROM THE PLANNING BOARD TO REMOVE THE 100' RESIDENTIAL BUILDING SETBACK. A WAIVER FROM SECTION 275-B.C(2) WILL ALSO BE REQUESTED FROM THE PLANNING BOARD TO REMOVE THE REQUIRED NUMBER OF PARKING SPACES.
 - WETLAND MAPPING WAS PERFORMED BY ALDEN BEAUCHEMIN, CERTIFIED WETLAND SCIENTIST #029, IN DECEMBER OF 2017.
 - OPEN SPACE REQUIRED = 35%
OPEN SPACE PROPOSED = 62.2%
 - PARKING CALCULATIONS:
PARKING REQUIRED = 1 SPACE/600 SF INDUSTRIAL x 90,900 SF = 151.5 SPACES
TOTAL PARKING PROVIDED = 152 SPACES
TOTAL PARKING PROVIDED = 10 SPACES (INCLUDES 2 HANDICAP SPACES)*
* WAIVER REQUESTED
 - LANDSCAPE PLANTINGS THAT FAIL TO THRIVE SHALL BE REPLACED IN KIND AT THE EXPENSE OF THE DEEDED PROPERTY OWNER IN PERPETUITY.
 - SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH 2010 TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADE.
 - IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.

MAP 191 LOT 118
ROOSEVELT AVENUE
CONDOMINIUM ASSOCIATION
C/O M & N NORDSTROM
158 ROOSEVELT AVENUE
HUDSON NH, 03051

MAP 191 LOT 117
THE DANIEL G. DUMONT & VIRGINIA L. DUMONT REVOCABLE TRUST OF FEBRUARY 9, 2009
DANIEL G. DUMONT & VIRGINIA L. DUMONT TRUSTEES
21 ROOSEVELT AVENUE
HUDSON, NH 03051

MAP 191 LOT 118
EXISTING LOT AREA
103,539 SF± 2.373 ACRES±
LOT AREA AFTER MERGER
132,580 SF± 3.044 ACRES±

MAP 191 LOT 115
EXISTING LOT AREA
29,041 SF±
0.667 ACRES±

MAP 191 LOT 54
ROBERT M. VENS &
SUSAN D. CARLSON
6 F STREET
HUDSON, NH 03051

MAP 191 LOT 55
JAMES D. ALLARD
26 CHEROKEE AVENUE
NASHUA, NH 03082

MAP 191 LOT 75
VANESSA N. EATON &
SEAN K. BOUDREAU
32 B STREET
HUDSON, NH 03051

NOTES (CONTINUED):

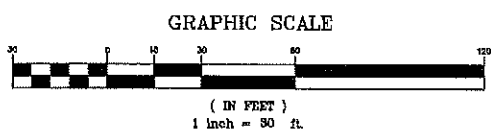
- EXTERIOR CONSTRUCTION ACTIVITIES ON THE SITE SHALL BE LIMITED TO BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH SATURDAY. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS.
- IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON WEEKENDS.
- HOURS FOR REFUSE REMOVAL AND DELIVERIES OF SUPPLIES SHALL BE NO EARLIER THAN 7:00 AM AND NO LATER THAN 7:00 PM, MONDAY THROUGH FRIDAY ONLY.
- HOURS OF OPERATION: ACCESS WILL BE 6:00AM - 9:00PM MONDAY THROUGH SATURDAY; 7:00AM - 7:00PM SUNDAY, OFFICE HOURS SHALL BE 9:00AM - 5:00PM MONDAY THROUGH SATURDAY; 9:00AM - 4:00PM SUNDAY.
- PLOWED SNOW FROM THE FACILITIES, DRIVEWAY, PARKING LOTS AND SIDEWALK SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ON-SITE DRAINAGE SYSTEM SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH NHDES REQUIREMENTS FOR SUCH SYSTEMS.
- THE APPLICANT'S ENGINEER AND/OR CONTRACTOR SHALL CONTACT THE TOWN OF HUDSON TO SCHEDULE A PRECONSTRUCTION MEETING, WHICH WILL BE HELD WITH STAFF PRIOR TO STARTING CONSTRUCTION.
- ALL STIPULATIONS OF APPROVAL SHALL BE INCORPORATED INTO THE DEVELOPMENT AGREEMENT, WHICH SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS, TOGETHER WITH THE SITE PLAN-OF-RECORD.
- ALL IMPROVEMENTS SHOWN ON THE SITE PLAN-OF-RECORD, INCLUDING NOTES 1-32, SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
- AFTER ISSUANCE OF THE FOUNDATION PERMIT FOR THE PROPOSED BUILDING, AND PRIOR TO THE ISSUANCE OF THE FRAMING PERMIT THEREOF, THE APPLICANT SHALL SUBMIT TO THE HUDSON COMMUNITY DEVELOPMENT DEPARTMENT A FOUNDATION "AS-BUILT" PLAN ON A TRANSPARENT AND TO THE SAME SCALE AS THE APPROVED SITE PLAN. THE FOUNDATION "AS-BUILT" PLAN SHALL INCLUDE ALL STRUCTURAL DIMENSIONS AND LOT LINE SETBACK MEASUREMENTS TO THE FOUNDATION AND BE STAMPED BY A LICENSED LAND SURVEYOR. ANY DISCREPANCY BETWEEN THE APPROVED SITE PLAN AND FOUNDATION "AS-BUILT" PLANS SHALL BE DOCUMENTED BY THE APPLICANT AND BE PART OF THE FOUNDATION "AS-BUILT" SUBMISSION.
- PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, A L.L.S. CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED PLAN.
- ALL EXISTING AND PROPOSED BUILDING HEIGHTS ARE UNDER 35'.

REFERENCE PLANS:

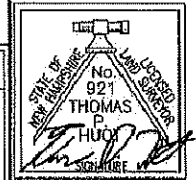
- "EXISTING CONDITIONS PLAN" TAX MAP 191 LOTS 95, 115 & 116, FOR JAMES D. ALLARD, HUDSON, N.H. DATED: MARCH 15, 2018. PREPARED BY: S&H LAND SERVICES, LLC.

LEGEND

- ABUTTER LINE
- PROPERTY LINE
- WETLAND
- EDGE OF PAVEMENT
- 10' CONTOUR
- 2' CONTOUR
- BUILDING SETBACK
- GREEN SPACE BUFFER
- EASEMENT
- ZONE LINE
- IRON PIN
- STONE BOUND
- UTILITY POLE
- GAS VALVE
- WATER VALVE
- HYDRANT
- WATER SHUT OFF
- SEWER MANHOLE
- TREETLINE
- GB-TBS GRANITE BOUND TO BE SET
- IPN-TBS IRON PIN TO BE SET
- OH-TBS ORILL HOLE TO BE SET
- PROPOSED UTILITY POLE
- PROPOSED SIGN
- PROPOSED LIGHT
- PROPOSED GAS VALVE
- PROPOSED WATER VALVE
- PROPOSED HYDRANT
- PROPOSED CHAIN LINK FENCE
- PROPOSED BARBED WIRE FENCE
- PROPOSED OVERHEAD UTILITIES
- PROPOSED UNDERGROUND UTILITIES
- PROPOSED GAS LINE
- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- PROPOSED DRAINAGE LINE
- PROPOSED TREETLINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED VERTICAL GRANITE CURB
- PROPOSED 2' CONTOUR
- PROPOSED RETAINING WALL
- PROPOSED BITUMINOUS CURB



OWNER OF MAP 191 LOT 115 & 116
SIGNATURE: James Allard
DATE: July 1st 2019



CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY S&H LAND SERVICES, LLC DURING MARCH OF 2018. SAID SURVEY HAS AN ERROR OF CLOSURE BETTER THAN ONE PART IN TEN THOUSAND (1:10,000).
DATE: 7/01/2019
LICENSED LAND SURVEYOR



MASTER SITE PLAN
ROOSEVELT AVE SELF-STORAGE
MAP 191 LOTS 115 & 116
23 ROOSEVELT AVENUE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:
JAMES D. ALLARD
26 CHEROKEE AVE.
NASHUA, NH 03082

K&A KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 5B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY

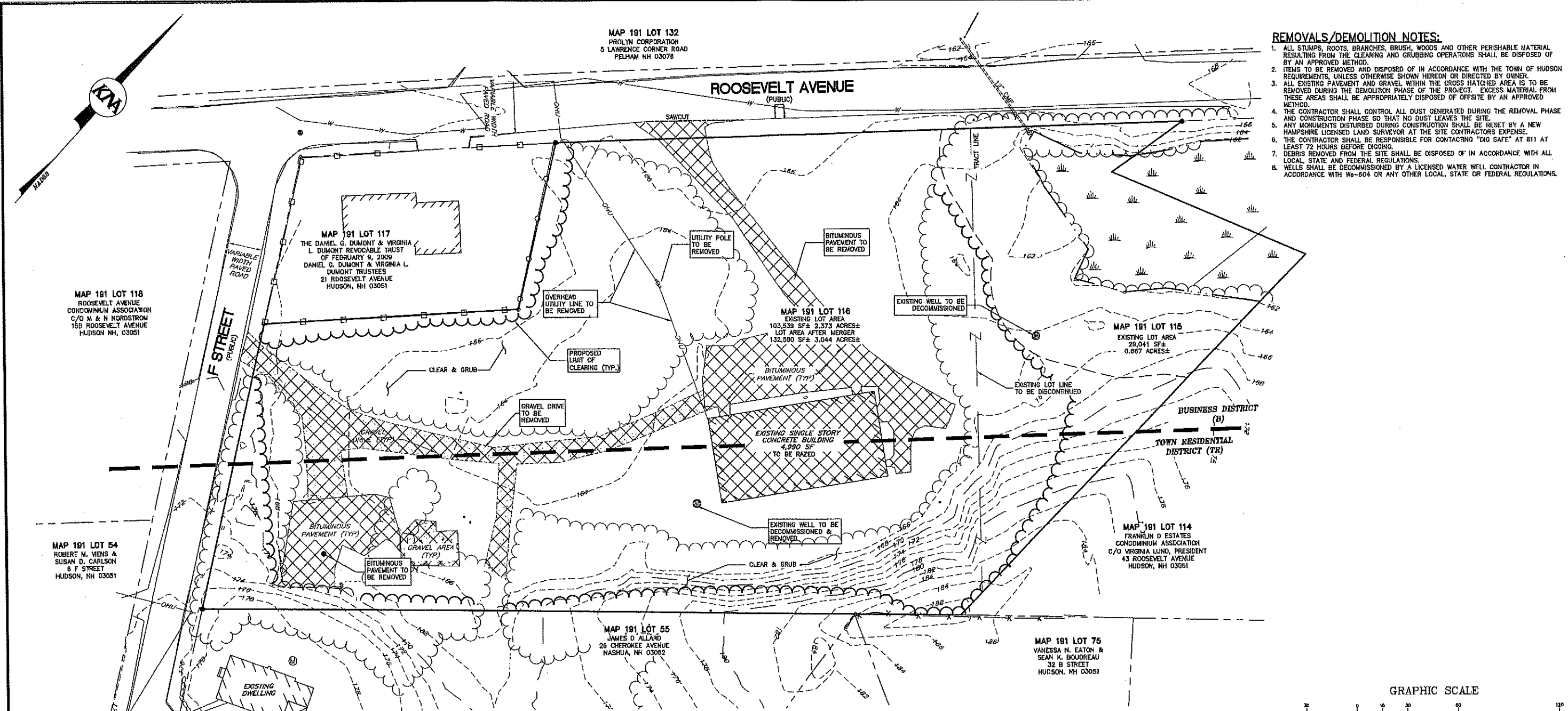
DATE: JULY 1, 2019
PROJECT NO: 18-1210-1
SCALE: 1" = 30'
SHEET 1 OF 10

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE _____ SIGNATURE DATE _____
SIGNATURE _____ SIGNATURE DATE _____
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

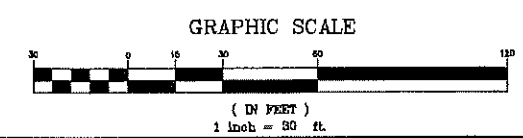
MAP 191 LOT 132
 PROLYN CORPORATION
 5 LAWRENCE CORNER ROAD
 PELHAM NH 03078

- REMOVALS/DEMOLITION NOTES:**
1. ALL STUMPS, ROOTS, BRANCHES, BRUSH, WOODS AND OTHER PERISHABLE MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATIONS SHALL BE DISPOSED OF BY AN APPROVED METHOD.
 2. ITEMS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH THE TOWN OF HUDSON REQUIREMENTS, UNLESS OTHERWISE SHOWN HEREON OR DIRECTED BY OWNER.
 3. ALL EXISTING PAVEMENT AND GRAVEL WITHIN THE CROSS HATCHED AREA IS TO BE REMOVED DURING THE DEMOLITION PHASE OF THE PROJECT. EXCESS MATERIAL FROM THESE AREAS SHALL BE APPROPRIATELY DISPOSED OF OFFSITE BY AN APPROVED METHOD.
 4. THE CONTRACTOR SHALL CONTROL ALL DUST GENERATED DURING THE REMOVAL PHASE AND CONSTRUCTION PHASE SO THAT NO DUST LEAVES THE SITE.
 5. ANY MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE RESET BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR AT THE SITE CONTRACTOR'S EXPENSE.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
 7. DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
 8. WELLS SHALL BE DECOMMISSIONED BY A LICENSED WATER WELL CONTRACTOR IN ACCORDANCE WITH 96-604 OR ANY OTHER LOCAL, STATE OR FEDERAL REGULATIONS.



LEGEND

GB-F	GRANITE BOUND FOUND	—C—C—	GAS LINE
IFH-F	IRON FIN FOUND	—W—W—	WATER LINE
GH-F	GRILL HOLE FOUND	—S—S—	SEWER LINE
IP-F	IRON PIPE FOUND	—D—D—	DRAINAGE LINE
RRS-F	RAILROAD SPIKE FOUND	—T—T—	TREELINE
U-P	UTILITY POLE	—E—E—	EDGE OF PAVEMENT
S	SIGN	—V—V—	VERTICAL GRANITE CURB
L	LIGHT	—S—S—	SLOPED GRANITE CURB
G	GAS VALVE	—B—B—	BITUMINOUS CURB
W	WATER VALVE	—E—E—	EDGE OF GRAVEL
H	HYDRANT	—10'—	10' CONTOUR
WS	WATER SHUT OFF	—2'—	2' CONTOUR
W	WELL	—S—S—	STONEWALL
SM	SEWER MANHOLE	—SDS—	SDS SOIL LINE
DM	DRAINAGE MANHOLE	—B—B—	BUILDING SETBACK
C	CATCH BASIN	—E—E—	EASEMENT
FL	FLARED END SECTION	—L—L—	LIMIT OF CLEARING
AL	ABUTTER LINE	—S—S—	SAWCUT LINE
P	PROPERTY LINE	—X—X—	PAVEMENT TO BE REMOVED
W	WETLAND		
S	STOCKADE FENCE		
OHU	OVERHEAD UTILITIES		



REMOVALS/DEMOLITION PLAN
ROOSEVELT AVE SELF-STORAGE
 MAP 191 LOTS 115 & 116
 23 ROOSEVELT AVENUE
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:
 JAMES D. ALLARD
 26 CHEROKEE AVE
 NASHUA, NH 03062

KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 9B, Bedford, NH 03110 Phone (603) 837-2861



REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JULY 1, 2019 SCALE: 1" = 30'
 PROJECT NO: 18-1210-1 SHEET 2 OF 10

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

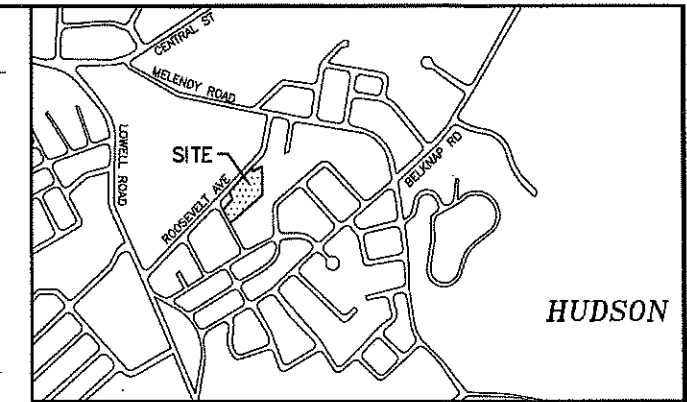
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____
 SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

MAP 191 LOT 132
 PROLYN CORPORATION
 5 LAWRENCE CORNER ROAD
 PELHAM NH 03076

ROOSEVELT AVENUE
 (PUBLIC)

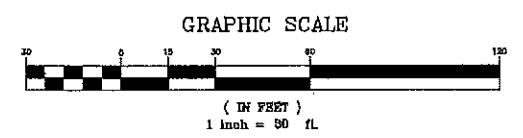


LOCUS PLAN
 SCALE: 1"=1,000'

SEE SHEET 1 FOR NOTES
 & REFERENCE PLANS

LOAM & SEED ALL DISTURBED AREAS (TYP.)

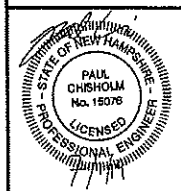
- LEGEND**
- IPIN-F IRON PIN FOUND
 - OH-F DRILL HOLE FOUND
 - U UTILITY POLE
 - S SIGN
 - L LIGHT
 - W WELL
 - SM SEWER MANHOLE
 - DM DRAINAGE MANHOLE
 - CB CATCH BASIN
 - OU OVERHEAD UTILITIES
 - TR TREETRIMLINE
 - RW RETAINING WALL
 - AL ABUTTER LINE
 - PL PROPERTY LINE
 - WT WETLAND
 - SF STOCKADE FENCE
 - EP EDGE OF PAVEMENT
 - EG EDGE OF GRAVEL
 - ST STONEWALL
 - BS BUILDING SETBACK
 - GS GREEN SPACE BUFFER
 - EA EASEMENT
 - ZN ZONE LINE
 - PE PROPOSED EDGE OF GRAVEL
 - PR PROPOSED STOCKADE FENCE
 - PRW PROPOSED RETAINING WALL
 - PBT PROPOSED BITUMINOUS CURB



NON-RESIDENTIAL SITE PLAN
ROOSEVELT AVE SELF-STORAGE
 MAP 191 LOTS 115 & 116
 23 ROOSEVELT AVENUE
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:
 JAMES D. ALLARD
 26 CHEROKEE AVE
 NASHUA, NH 03062

KMA
 KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JULY 1, 2019 SCALE: 1" = 30'
 PROJECT NO: 18-1210-1 SHEET 3 OF 10

MAP 191 LOT 118
 ROOSEVELT AVENUE
 CONDOMINIUM ASSOCIATION
 C/O W & N NORDSTROM
 159 ROOSEVELT AVENUE
 HUDSON NH, 03051

MAP 191 LOT 54
 ROBERT M. VENS &
 SUSAN D. CARLSON
 6 F STREET
 HUDSON, NH 03061

MAP 191 LOT 117
 THE DANIEL G. DUMONT & VIRGINIA
 L. DUMONT REVOCABLE TRUST
 OF FEBRUARY 9, 2009
 DANIEL G. DUMONT & VIRGINIA L.
 DUMONT TRUSTEES
 21 ROOSEVELT AVENUE
 HUDSON, NH 03051

MAP 191 LOT 116
 PROPOSED LOT
 132,580 SF ± 3.044 ACRES ±

MAP 191 LOT 114
 FRANKLIN D ESTATES
 CONDOMINIUM ASSOCIATION
 C/O VIRGINIA LUND, PRESIDENT
 43 ROOSEVELT AVENUE
 HUDSON, NH 03051

MAP 191 LOT 55
 JAMES D. ALLARD
 26 CHEROKEE AVENUE
 NASHUA, NH 03062

MAP 191 LOT 75
 VANESSA N. EATON &
 SEAN K. BOUDREAU
 32 B STREET
 HUDSON, NH 03051

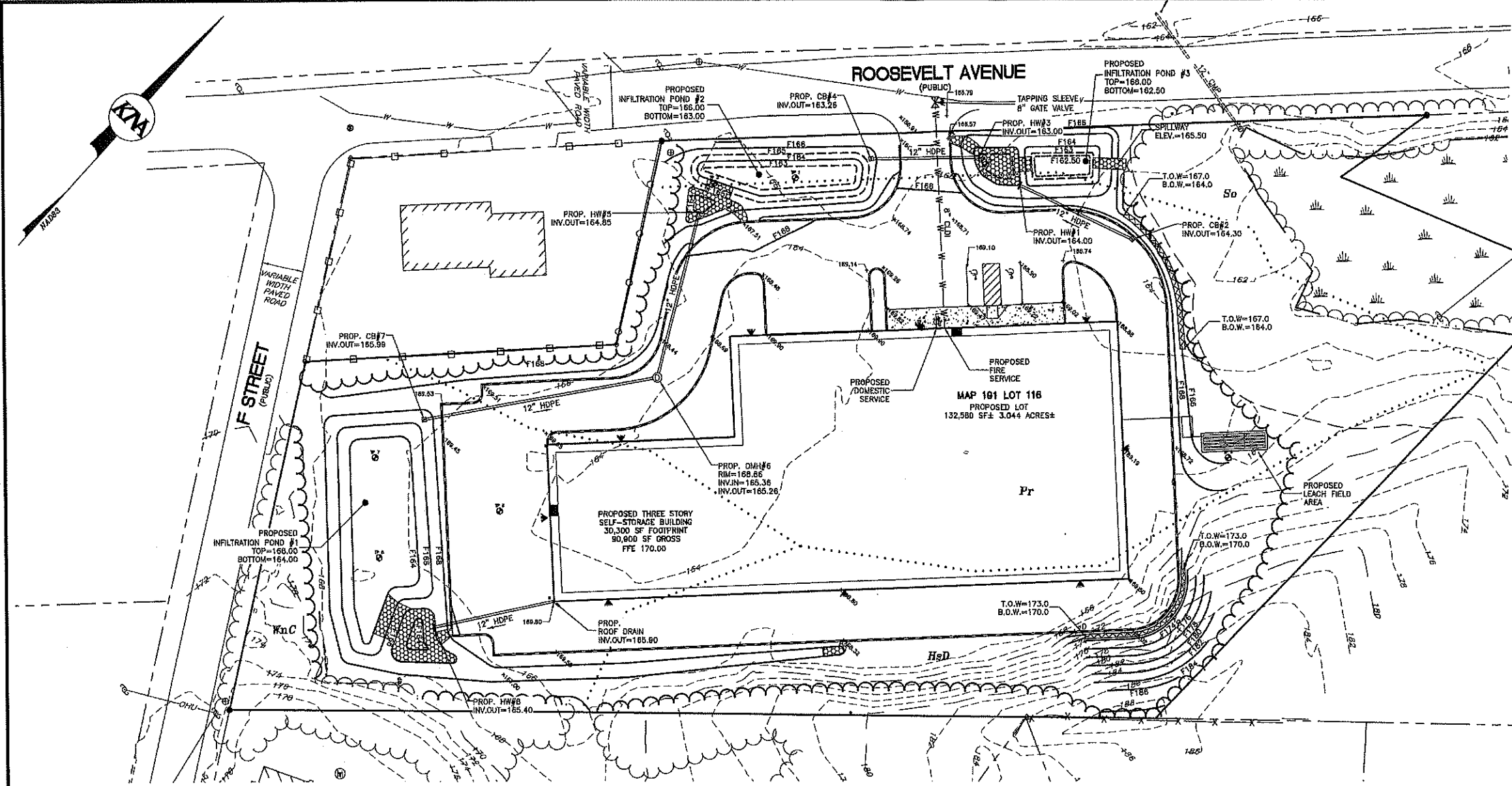
MAP 191 LOT 74
 HENRY L. & NANCY L. NARO
 116 CITRUS RIDGE ROAD
 DAVENPORT, FL 33837

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____
 SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

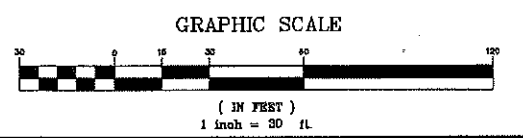


- CONSTRUCTION NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPARTMENT, HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHOWN SHALL BE HDPEP. CATCH BASINS SHALL BE TYPE B, AND HAVE 3' SUMPS UNLESS OTHERWISE NOTED.
 3. ALL PIPES SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 4. CONTRACTOR TO VERIFY SIZE OF WATER AND GAS SERVICE LINES WITH MECHANICAL CONTRACTOR/FIRE SUPPRESSION ENGINEER PRIOR TO THE START OF CONSTRUCTION.
 5. PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO ORDERING ANY WATER SYSTEM/SERVICE PARTS, THE PROPOSED SIZE OF THE VARIOUS WATER SERVICES SHALL BE CONFIRMED BY THE PROJECT FIRE SUPPRESSION ENGINEER. ANY ADJUSTMENTS TO THE DESIGN MUST BE APPROVED BY THE TOWN OF HUDSON.
 6. THE PROPOSED BUILDINGS SHALL BE FULLY SPRINKLER PROTECTED.
 7. FINAL LAYOUT OF UNDERGROUND UTILITIES TO BE APPROVED BY LOCAL PROVIDER PRIOR TO CONSTRUCTION.
 8. CONTRACTOR IS RESPONSIBLE FOR SIZING WATER SERVICES AND/OR VERIFYING EXISTING WATER SERVICES ARE ADEQUATE FOR THE PROPOSED BUILDING.
 9. PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ELECTRICIAN FOR THE EXACT LOCATION, LAYOUT, CONDUIT SIZE AND CIRCUITS ASSOCIATED WITH THE SITE LIGHTING, EMERGENCY GATE AND COMPACTOR.

LOAM & SEED ALL DISTURBED AREAS (TYP.)

SCS SOILS LEGEND

HaD HINKLEY LOAMY SAND, 15-35% SLOPES
Pr FITS, GRAVEL
So SCARBORO MUCKY FINE SANDY LOAM, 0-3% SLOPES
WnC WINDSOR-URBAN LAND COMPLEX, 3-15% SLOPES
 SOURCE: USDA-SCS WEB SOIL SURVEY



- LEGEND**
- | | | | |
|----------|--------------------|-----|--------------------------|
| • IPIN-F | IRON PIN FOUND | --- | ABUTTER LINE |
| ⊙ DH-F | DRILL HOLE FOUND | --- | PROPERTY LINE |
| ⊕ | UTILITY POLE | --- | WETLAND |
| - | SIGN | --- | STOCKADE FENCE |
| ** | LIGHT | --- | EDGE OF PAVEMENT |
| ⊙ | WELL | --- | EDGE OF GRAVEL |
| ⊙ | SEWER MANHOLE | --- | STONEMASS |
| ⊙ | DRAINAGE MANHOLE | --- | BUILDING SETBACK |
| ⊙ | CATCH BASIN | --- | GREEN SPACE BUFFER |
| OHU | OVERHEAD UTILITIES | --- | EASEMENT |
| --- | TREELINE | --- | ZONE LINE |
| --- | RETAINING WALL | --- | PROPOSED EDGE OF GRAVEL |
| | | --- | PROPOSED STOCKADE FENCE |
| | | --- | PROPOSED RETAINING WALL |
| | | --- | PROPOSED BITUMINOUS CURB |



GRADING, DRAINAGE, & UTILITY PLAN
ROOSEVELT AVE SELF-STORAGE
 MAP 191 LOTS 115 & 116
 23 ROOSEVELT AVENUE
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:
 JAMES D. ALLARD
 26 CHEROKEE AVE
 NASHUA, NH 03062

KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-8881

REVISIONS			
No.	DATE	DESCRIPTION	BY

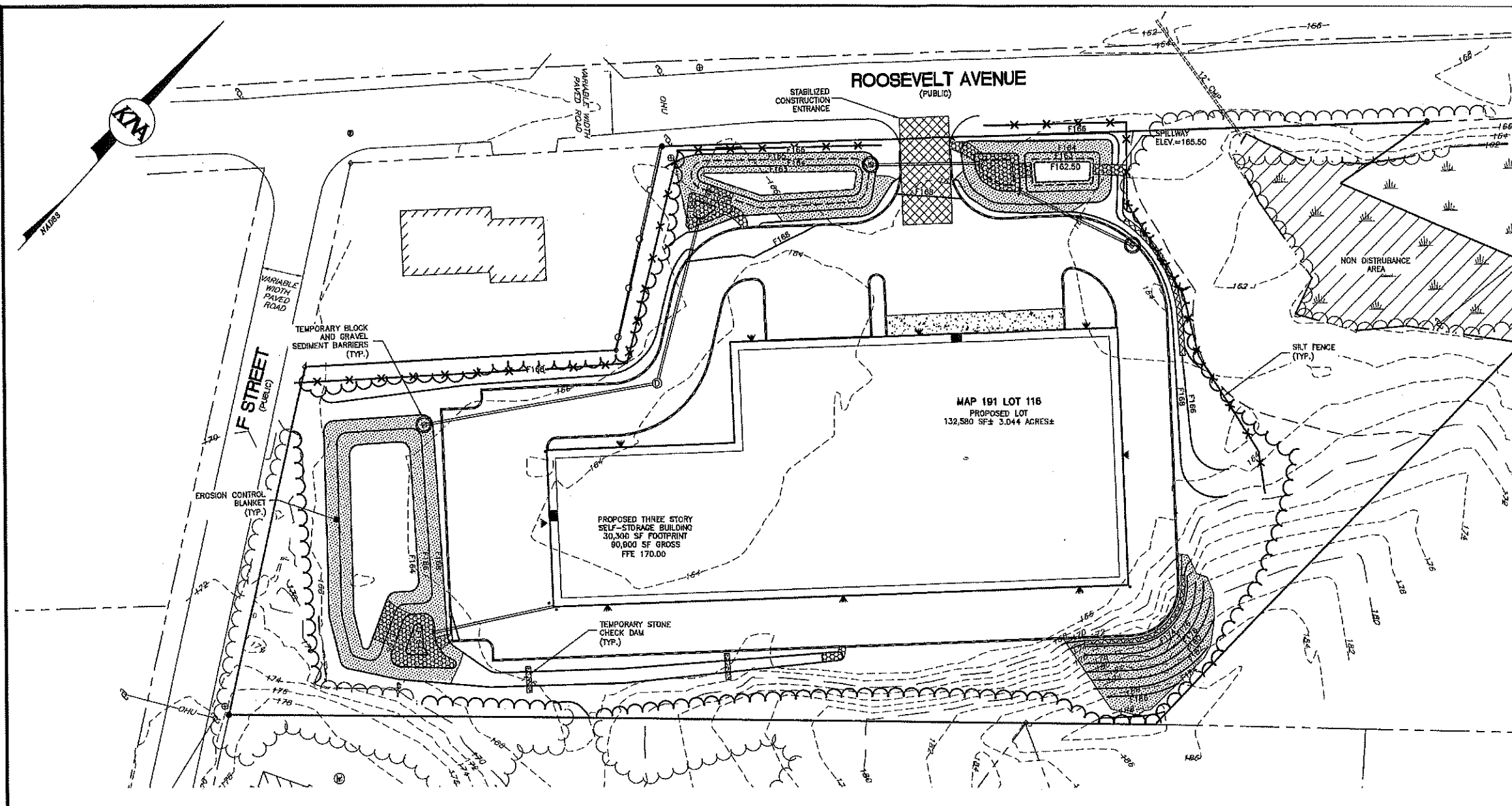
DATE: JULY 1, 2019 SCALE: 1" = 30'
 PROJECT NO: 18-1210-1 SHEET 4 OF 10

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____
 SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

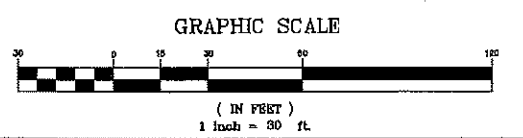


- EROSION CONTROL NOTES:**
1. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME.
 2. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
 3. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
 4. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDELE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
 5. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
 6. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
 7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
 8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
 9. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.

LOAM & SEED ALL DISTURBED AREAS (TYP.)

LEGEND

○ IPIN-F	IRON PIN FOUND	---	ABUTTER LINE
⊙ DH-F	DRILL HOLE FOUND	---	PROPERTY LINE
⊙ U	UTILITY POLE	---	WETLAND
+	SIGN	---	STOCKADE FENCE
⊙ L	LIGHT	---	EDGE OF PAVEMENT
⊙ W	WELL	---	EDGE OF GRAVEL
⊙ S	SEWER MANHOLE	---	STONEWALL
⊙ D	DRAINAGE MANHOLE	---	BUILDING SETBACK
⊙ C	CATCH BASIN	---	GREEN SPACE BUFFER
OHU	OVERHEAD UTILITIES	---	EASEMENT
---	TREELINE	---	ZONE LINE
---	RETAINING WALL	---	PROPOSED EDGE OF GRAVEL
		---	PROPOSED STOCKADE FENCE
		---	PROPOSED RETAINING WALL
		---	PROPOSED BITUMINOUS CURB



EROSION & SEDIMENT CONTROL LEGEND

	STABILIZED CONSTRUCTION EXIT
	TEMPORARY BLOCK AND GRAVEL SEDIMENT BARRIERS AT ALL CATCH BASINS
	TEMPORARY SILT FENCE
	TEMPORARY STONE CHECK DAM
	LIMITS OF CLEARING
	EROSION CONTROL BLANKETS
	STAGING AND STOCKPILE AREA
	NON DISTURBANCE AREA



NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND. THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____

SIGNATURE _____ SIGNATURE DATE _____

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EROSION CONTROL PLAN
ROOSEVELT AVE SELF-STORAGE
 MAP 191 LOTS 115 & 116
 23 ROOSEVELT AVENUE
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:
 JAMES D. ALLARD
 26 CHEROKEE AVE
 NASHUA, NH 03062

KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-8981

REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: JULY 1, 2019 SCALE: 1" = 30'
 PROJECT NO: 18-1210-1 SHEET 5 OF 10

MAP 191 LOT 132
PROLYN CORPORATION
5 LAWRENCE CORNER ROAD
PELHAM NH 03076

ROOSEVELT AVENUE
(PUBLIC)

LANDSCAPE NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE LANDSCAPE WHICH PROMOTES CLIMATIC RELIEF AND AESTHETIC APPEAL.
2. ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOW HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTIES TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
3. IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS: ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% PEATMOSS AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
4. PLANTING BEDS AND SAUCERS SHALL RECEIVE A 4" MINIMUM THICKNESS OF PINE/HEMLOCK BARK MULCH OVER A 6oz. POLYPROPYLENE WEED CONTROL FABRIC.
5. PAVEMENT AND ROAD BASE MATERIAL ENCOUNTERED IN ANY LAWN OR PLANTING BED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AND SUITABLE AMENDED SOIL INSTALLED AS SPECIFIED IN THE TURF ESTABLISHMENT SCHEDULE.

LANDSCAPE CALCULATIONS

REQUIRED PARKING LOT INTERIOR LANDSCAPE AREA	9,037 SF
PROPOSED PARKING AREA PAVED:	9,037 SF
10X REQUIRED LANDSCAPE AREA:	904 SF
PROVIDED LANDSCAPE AREA:	2,188 SF

REQUIRED PARKING LOT SHADE TREES AND SHRUBS	9,037 SF
PROPOSED PAVED AREA:	9,037 SF
SHADE TREES REQUIRED (9,037/1,600):	6 TREES REQUIRED
(OR 1 TREE/5 PROP. PARKING SPACES)	7 TREES PROVIDED
SHRUBS REQUIRED (9,037/200):	45 SHRUBS, OR
(OR 1.6 x 19 PROP. PARKING SPACES)	30 SHRUBS PROVIDED
SHRUBS PROVIDED:	40 SHRUBS PROVIDED

MAP 191 LOT 118
ROOSEVELT AVENUE
CONDOMINIUM ASSOCIATION
C/O M & N NORDSTROM
158 ROOSEVELT AVENUE
HUDSON NH, 03051

MAP 191 LOT 117
THE DANIEL G. DUMONT & VIRGINIA
L. DUMONT REVOCABLE TRUST
OF FEBRUARY 9, 2009
DANIEL G. DUMONT & VIRGINIA L.
DUMONT TRUSTEES
21 ROOSEVELT AVENUE
HUDSON, NH 03051

MAP 191 LOT 116
EXISTING LOT AREA
103,839 SF± 2.373 ACRES±
LOT AREA AFTER MERGER
132,400 SF± 3.014 ACRES±

MAP 191 LOT 115
EXISTING LOT AREA
29,041 SF±
0.667 ACRES±

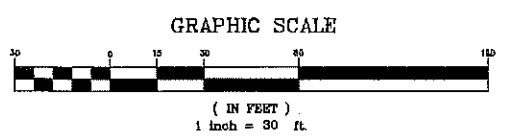
MAP 191 LOT 54
ROBERT M. WENS &
SUSAN D. CARLSON
8 F STREET
HUDSON, NH 03051

MAP 191 LOT 55
JAMES D. ALLARD
26 CHEROKEE AVENUE
NASHUA, NH 03062

MAP 191 LOT 75
VANESSA N. EATON &
SEAN K. BOUDREAU
32 B STREET
HUDSON, NH 03051

PROPOSED THREE STORY
SELF-STORAGE BUILDING
30,300 SF FOOTPRINT
90,800 SF GROSS

BUSINESS DISTRICT
(B)
TOWN RESIDENTIAL
DISTRICT (TR)



PLANT LIST

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT
TREES					
Ar	1	ACER RUBRUM 'KARPICK'	KARPICK RED MAPLE	2.5" CAL	40-60'
Pg	2	PICEA GLAUCA	WHITE SPRUCE	6-7" B&B	40-60'
Sr	4	SYRINGA RETICULATA	JAPANESE LILAC TREE	2.5" CAL	20-30'
To	4	THUJA OCCIDENTALIS 'NIGRA'	DARK AMERICAN ARBORVITAE	6-7" B&B	20-30'
SHRUBS					
Hp	9	HYDRANGEA PANICULATA 'LITTLE LAMB'	LITTLE LAMB PANICLE HYDRANGEA	24"	5-6'
Ig	15	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	24"	4-5'
Pp	3	PICEA PUNGENS 'GLAUCA GLOBOSA'	GLOBAL BLUE SPRUCE	2.5-3" B&B	5-6'
Rm	3	RHODODENDRON MAXIMUM 'ROSEUM'	PINK ROSEBAY RHODODENDRON	2.5-3" B&B	5-6'
Tm	2	TAXUS MEDIA 'LO BOBBINK'	BOBBINK YEW	2.5-3" B&B	6-8'
Vd	6	VIBURNUM DENTATUM 'BLUE MUFFIN'	BLUE MUFFIN VIBURNUM	2.5-3" B&B	6-8'
Wf	2	WEIGELA FLORIDA 'WINE & ROSES'	WINE & ROSES WEIGELA	24"	4-5'

LEGEND

● PIN-F	IRON PIN FOUND	---	ABUTTER LINE
⊙ DH-F	DRILL HOLE FOUND	---	PROPERTY LINE
⊕	UTILITY POLE	---	WETLAND
+	SIGN	---	STOCKADE FENCE
*	LIGHT	---	EDGE OF PAVEMENT
⊙	WELL	---	EDGE OF GRAVEL
⊙	SEWER MANHOLE	---	STONEWALL
⊙	DRAINAGE MANHOLE	---	BUILDING SETBACK
⊙	CATCH BASIN	---	GREEN SPACE BUFFER
OHU	OVERHEAD UTILITIES	---	EASEMENT
---	TREELINE	---	ZONE LINE
---	RETAINING WALL	---	PROPOSED EDGE OF GRAVEL
		---	PROPOSED STOCKADE FENCE

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
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LANDSCAPE PLAN
ROOSEVELT AVE SELF-STORAGE
MAP 191 LOTS 115 & 116
23 ROOSEVELT AVENUE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:
JAMES D. ALLARD
26 CHEROKEE AVE
NASHUA, NH 03062

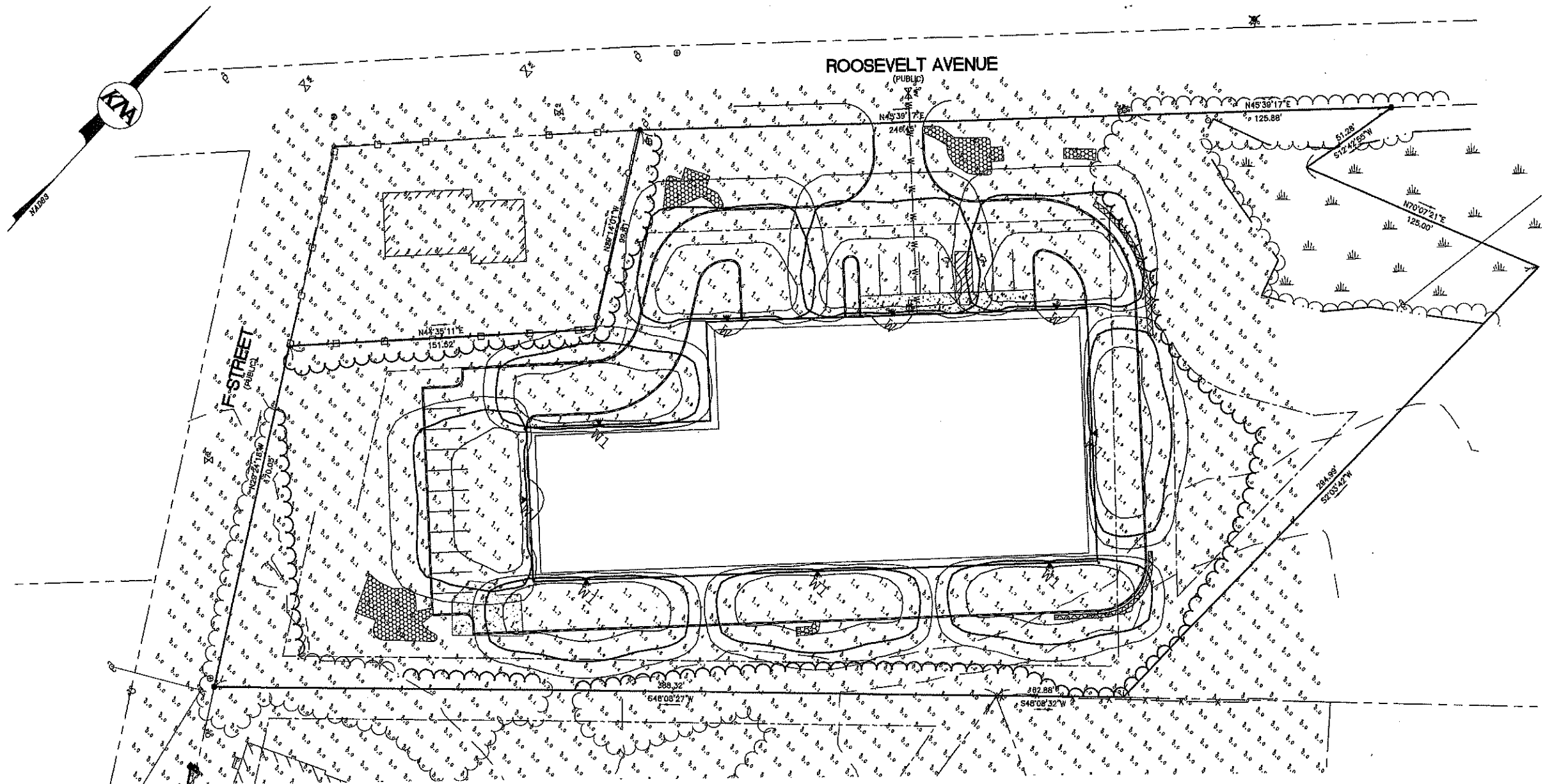
KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Cottage Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS

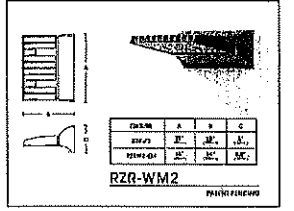
No.	DATE	DESCRIPTION	BY

DATE: JULY 1, 2019 SCALE: 1" = 30'
PROJECT No: 18-1210-1 SHEET 6 OF 10

U:\projects\1812101\Drawings\1812101-LAND-LIGHT.dwg, LANDSCAPE, 7/2/2019 11:36:33 AM, Incentrix, \\hmc-researcher\SAVIN MP W6700 P5, 22" x 34", 1:1



- LIGHTING NOTES:**
1. ALL LIGHTS/FIXTURES SHALL BE AS SPECIFIED BY CHARRON LIGHTING.
 2. ALL PROPOSED LIGHTS/FIXTURES ARE TO BE FULL CUTOFF.
 3. FIXTURES SHALL BE MOUNTED AS HEIGHTS AS SPECIFIED IN TABLE.
 4. PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ELECTRICAL FOR THE EXACT LOCATION, LAYOUT, CONDUIT SIZE AND CIRCUITS ASSOCIATED WITH THE SITE LIGHTING.



RAZAR WALL LUMINAIRE LED
NOT TO SCALE

StatArea 1
PAVED AREAS AROUND BUILDING
Illuminance (Fc)
Average = 1.20
Maximum = 2.0
Minimum = 0.3
Avg/Min Ratio = 4.00
Max/Min Ratio = 6.67

Symbol	Qty	Label	Arrangement	Description
◀	4	W	SINGLE	RZR-WM2-IV-FT-40PLED-700mA-NW-HS/ WALL MTD 20' AFG
◀	5	W1	SINGLE	RZR-WM2-III-40PLED-525mA-NW-HS/ WALL MTD 20' AFG

LEGEND

● IPN-F	IRON PIN FOUND	---	ABUTTER LINE
⊙ DH-F	DRILL HOLE FOUND	---	PROPERTY LINE
⊙ U	UTILITY POLE	---	WETLAND
⊙ S	SIGN	---	STOCKADE FENCE
⊙ L	LIGHT	---	EDGE OF PAVEMENT
⊙ W	WELL	---	EDGE OF GRAVEL
⊙ SM	SEWER MANHOLE	---	STONEWALL
⊙ DM	DRAINAGE MANHOLE	---	BUILDING SETBACK
⊙ CB	CATCH BASIN	---	GREEN SPACE BUFFER
OHU	OVERHEAD UTILITIES	---	EASEMENT
---	TREELINE	---	ZONE LINE
---	RETAINING WALL	---	PROPOSED EDGE OF GRAVEL
		---	PROPOSED STOCKADE FENCE

IN ASSOCIATION WITH:

CHARRON
BRIGHTER.

P.O. BOX 4850
MANCHESTER, NH 03106
(603) 624-4627
FAX (603) 624-0704
SALES@CHARRONINC.COM

LIGHTING PLAN
ROOSEVELT AVE SELF-STORAGE
MAP 191 LOTS 115 & 116
23 ROOSEVELT AVENUE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:
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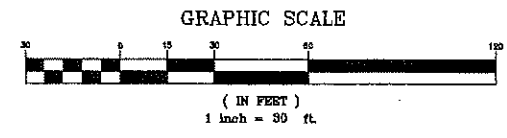
REVISIONS			
No.	DATE	DESCRIPTION	BY

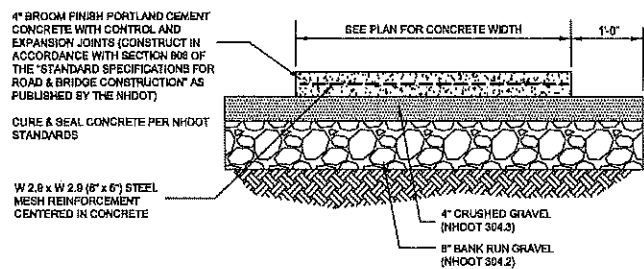
DATE: JULY 1, 2019 SCALE: 1" = 30'
PROJECT NO: 18-1210-1 SHEET 7 OF 10

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

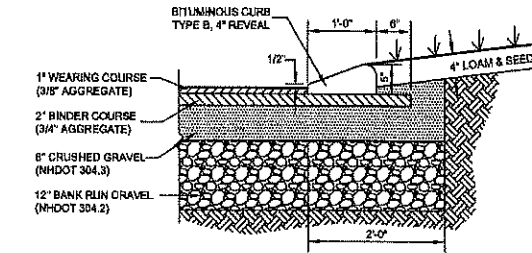
APPROVED BY THE HUDSON, NH PLANNING BOARD
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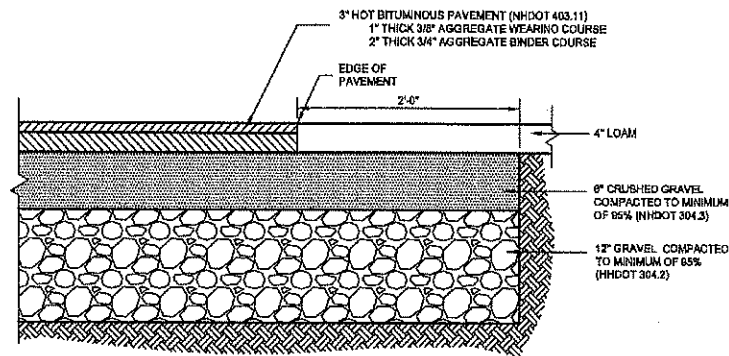




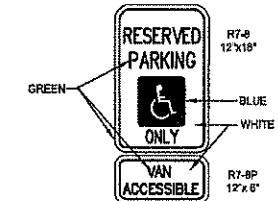
CONCRETE WALK DETAIL
NOT TO SCALE



BITUMINOUS CURB TYPE B DETAIL
NOT TO SCALE
(MARCH 2009)



DRIVEWAY AND PARKING LOT SECTION
NOT TO SCALE
(MARCH 2008)



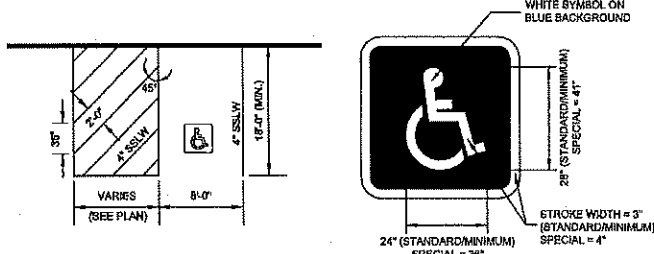
VAN ACCESSIBLE HANDICAP PARKING SIGN DETAIL
NOT TO SCALE
(NOVEMBER 2016)



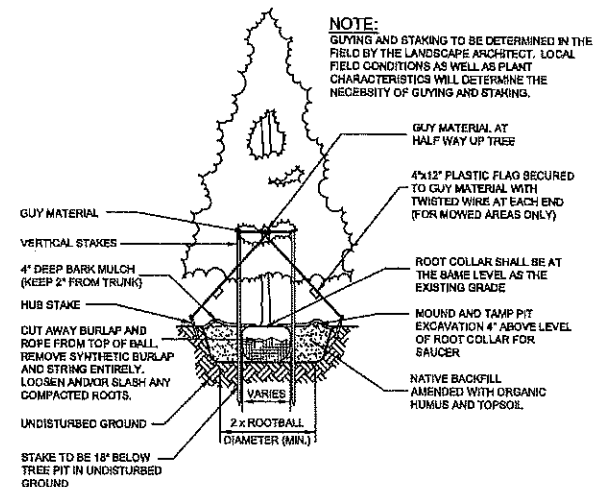
STOP SIGN DETAIL
NOT TO SCALE



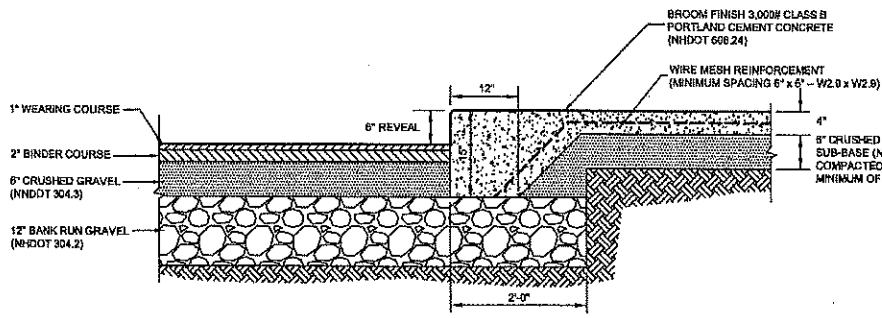
HANDICAP PARKING SIGN DETAIL
NOT TO SCALE



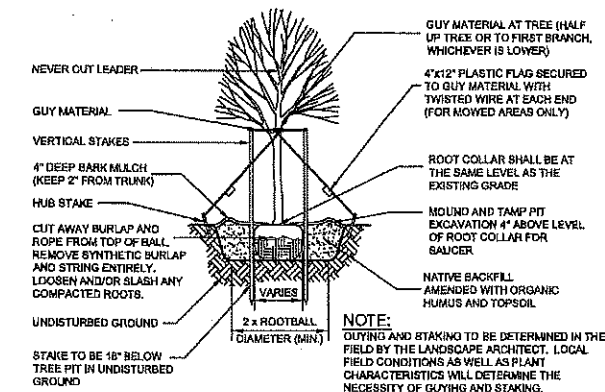
HANDICAP STRIPING DETAIL
NOT TO SCALE
(MARCH 2012)



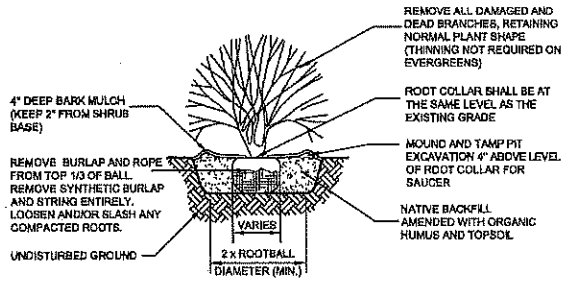
EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



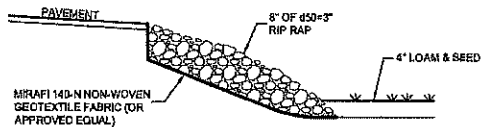
INTEGRAL CURB AND WALK DETAIL
NOT TO SCALE
(MARCH 2009)



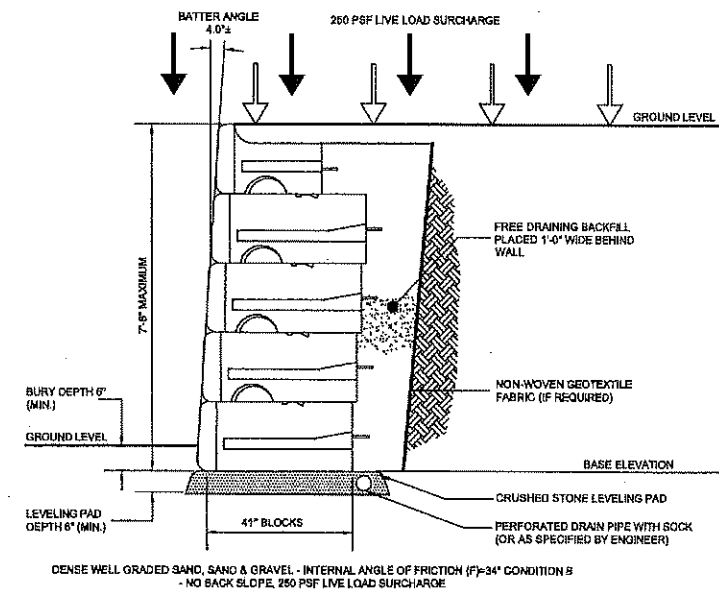
DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



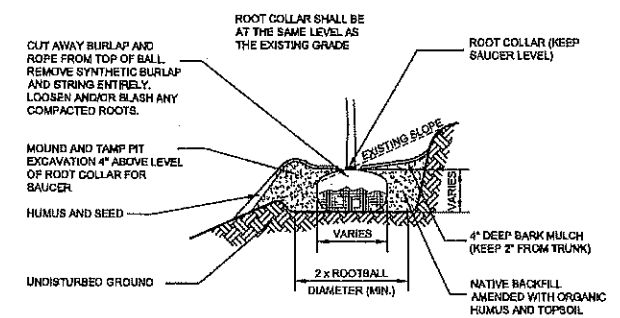
BALLED & BURLAP SHRUB PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



CURB BREAK DETAIL
NOT TO SCALE
(SEPTEMBER 2010)



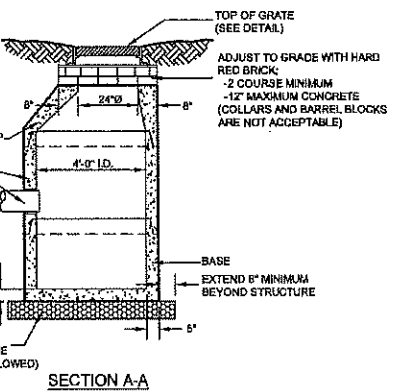
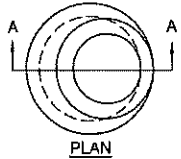
REDI-ROCK WALL
NOT TO SCALE
(AUGUST 2011)



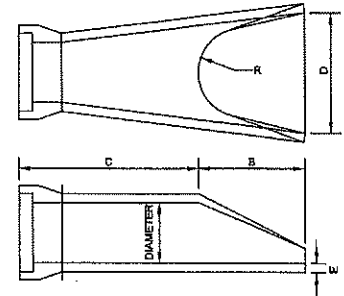
TYPICAL PLANTING PIT ON SLOPE 4:1 OR GREATER
NOT TO SCALE
(JANUARY 2012)

NOTES:

- ALL SECTIONS SHALL BE CONCRETE CLASS AA/4000 PSI. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCH PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
- THE TONGUE OR GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCH PER LINEAR FOOT.
- RISER OF 1', 2', 3' & 4' CAN BE USED TO REACH DESIRED DEPTH.
- MATERIALS AND CONSTRUCTION TO NHDOT STANDARDS.



PRECAST REINFORCED CATCH BASIN
NOT TO SCALE
(MAY 2012)



DIAMETER	A	B	C	D	E	R
12"	4"	2'-0"	4'-0 7/8"	2'-0"	2"	8"
15"	6"	2'-3"	3'-10"	2'-0"	2 1/4"	11"
18"	8"	2'-3"	3'-10"	3'-0"	2 1/2"	12"
24"	8 1/2"	3'-1 1/2"	3'-2"	3'-0"	2 3/4"	14"
30"	12"	4'-0"	3'-7 3/4"	5'-0"	3 1/2"	18"
36"	15"	5'-3"	2'-10 3/4"	5'-0"	4"	20"

RCP FLARED END SECTION DETAIL
NOT TO SCALE
(MARCH 2008)

CONSTRUCTION DETAIL
ROOSEVELT AVE SELF-STORAGE
MAP 191 LOTS 115 & 116
23 ROOSEVELT AVENUE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

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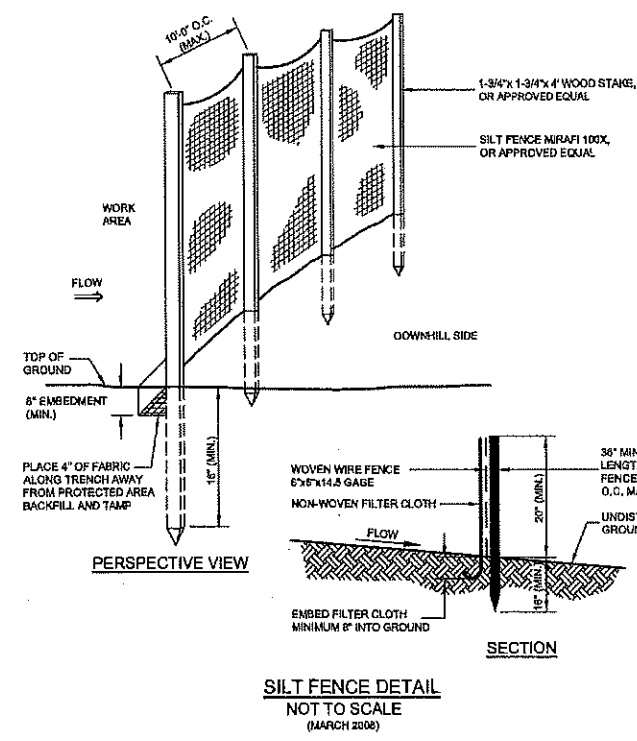
KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 305, Bedford, NH 03110 Phone (603) 627-8881

REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: JULY 1, 2019 **SCALE:**
PROJECT NO: 18-1210-1 **SHEET 8 OF 10**

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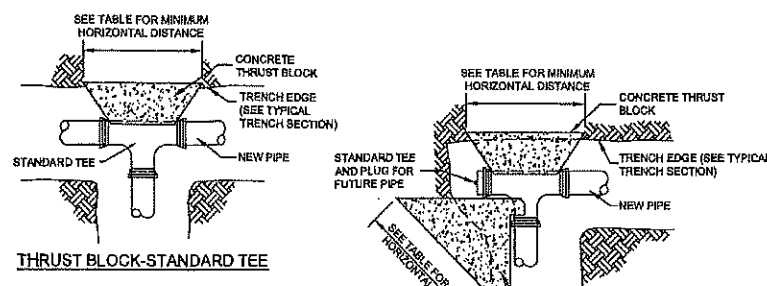
SILT FENCE DETAIL
NOT TO SCALE
(MARCH 2008)

CONSTRUCTION SPECIFICATIONS:

1. THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
2. THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
3. WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIE OR STAPLES WHERE NOTED OR AS DIRECTED BY DESIGN ENGINEER.
4. FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MIDSECTION AND BOTTOM.
5. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 8 INCHES, FOLDED AND STAPLED.
6. FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 18 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
7. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

MAINTENANCE:

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.



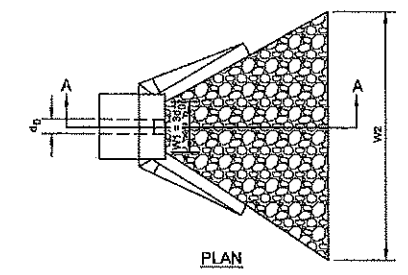
THRUST BLOCK-STANDARD TEE

THRUST BLOCK-STANDARD TEE AND PLUG

STANDARD BEND

90° BEND

THRUST BLOCK DETAIL
NOT TO SCALE
(MARCH 2008)



PIPE OUTLET TO FLAT AREA WITH NO DEFINED CHANNEL
NOT TO SCALE
(MARCH 2008)

THRUST BLOCK TABLE

SIZE	TYPE	HORIZONTAL DISTANCE		VERTICAL DISTANCE
		IN SAND OR GRAVEL	IN ROCK	
4"	TEE BRANCH	2'-0"	2'-0"	2'-0"
	90° BEND	2'-0"	2'-0"	2'-0"
	22 1/2° BEND OR LESS	2'-0"	2'-0"	2'-0"
6"	TEE BRANCH	2'-0"	2'-0"	2'-0"
	90° BEND	2'-0"	2'-0"	2'-0"
	22 1/2° BEND OR LESS	2'-0"	2'-0"	2'-0"
8"	TEE BRANCH	2'-0"	2'-0"	2'-0"
	90° BEND	3'-0"	2'-0"	2'-0"
	22 1/2° BEND OR LESS	2'-0"	2'-0"	2'-0"
10"	TEE BRANCH	3'-0"	2'-0"	3'-0"
	90° BEND	3'-0"	2'-0"	3'-0"
	22 1/2° BEND OR LESS	2'-0"	2'-0"	2'-0"
12"	TEE BRANCH	4'-0"	3'-0"	4'-0"
	90° BEND	3'-0"	2'-0"	3'-0"
	22 1/2° BEND OR LESS	2'-0"	2'-0"	2'-0"
16"	TEE BRANCH	4'-0"	3'-0"	4'-0"
	90° BEND	5'-0"	4'-0"	5'-0"
	22 1/2° BEND OR LESS	3'-0"	2'-0"	3'-0"
20"	TEE BRANCH	5'-0"	4'-0"	5'-0"
	90° BEND	6'-0"	5'-0"	6'-0"
	22 1/2° BEND OR LESS	3'-0"	2'-0"	3'-0"

TABLE 7-24 - RECOMMENDED RIP RAP GRADATION RANGES

PERCENT OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE
100%	1.5 TO 2.0 (65)
85%	1.3 TO 1.8 (65)
55%	1.0 TO 0.6 (65)
15%	0.3 TO 0.6 (65)

CONSTRUCTION SPECIFICATIONS:

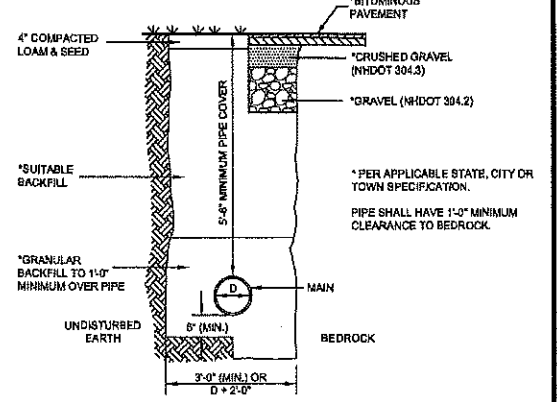
1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK OR GRAVEL USED FOR FILTER OR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

MAINTENANCE:

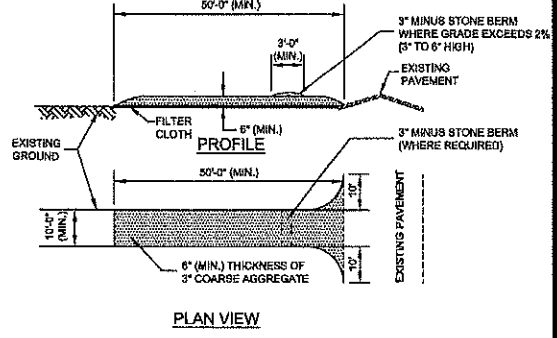
THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR RAIN EVENT. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED, OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAIL WATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION AREA.

CONSTRUCTION SEQUENCE

1. CONTRACTOR TO NOTIFY DIG-SAFE 72-HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. PRIOR TO GRUBBING OF CLEARED AREAS, ALL SILTATION BARRIERS DESIGNED FOR USE AS TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AS CALLED FOR ON PROJECT PLANS. INSTALL STABILIZED CONSTRUCTION EXIT AT LOCATION OF CONSTRUCTION ACCESS AT LOCATION OF INTERSECTION WITH EXISTING PAVEMENT.
3. CUT AND CLEAR TREES AND BRUSH FROM CONSTRUCTION AREAS TO THE EXTENT NECESSARY. ALL BRANCHES, TOPS AND BRUSH TO BE PROPERLY DISPOSED OF BY CONTRACTOR. THIS PROJECT IS MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
4. COMPLETE GRUBBING OPERATIONS UNDER THE ROADWAY AND SLOPE SECTIONS. ALL STUMPS AND SIMILAR DEBRIS SHALL BE PROPERLY DISPOSED OF BY CONTRACTOR. ORGANIC MATERIAL SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED IN UPLAND AREAS. ALL STOCKPILES SHALL BE SEED WITH WINTER RYE AND, IF NECESSARY, SURROUNDED WITH HAY BALES IN ORDER TO PREVENT LOSS DUE TO EROSION.
5. CONSTRUCT TEMPORARY CULVERTS AS NECESSARY TO FACILITATE CONSTRUCTION ACTIVITIES. ALL SUCH CROSSINGS SHALL BE PROTECTED WITH HAY BALE BARRIERS TO LIMIT EROSION.
6. STABILIZE ALL DITCHLINES AND PONDS PRIOR TO DIRECTING FLOW INTO THEM. CONSTRUCT DRAINAGE SYSTEM SEWER AND OTHER SUBSURFACE UTILITIES.
7. COMMENCE CONSTRUCTION OF ROADWAY. PERFORM EXCAVATION ACTIVITIES REQUIRED TO ACHIEVE SUBGRADE ELEVATION. ALL EXCAVATED EMBANKMENTS, DITCHES, SWALES AND ROADWAY CROSS CULVERTS SHALL BE INSTALLED AND STABILIZED. ALL SWALES AND DITCHLINES SHALL BE PROTECTED FROM EROSION BY IMPLEMENTATION OF HAY BALE SILTATION FENCES AS SHOWN ON PROJECT PLANS. DIVERT STORMWATER RUNOFF THROUGH THE USE OF TEMPORARY CULVERTS, OR OTHER MEANS NECESSARY PRIOR TO THE COMPLETIONS OF A FUNCTIONAL STORM DRAINAGE SYSTEM. SLOPES AND EMBANKMENTS SHALL BE STABILIZED BY TRACKING AND TEMPORARY SEEDING WITH WINTER RYE PRIOR TO TURF ESTABLISHMENT. ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO HAVING RUNOFF DIRECTED TO THEM.
8. COMPLETE CONSTRUCTION OF ROADWAY EMBANKMENTS BY ADDING APPROPRIATE BASE MATERIALS GRADED TO PROPER ELEVATION.
9. APPLY TOPSOIL TO ROADWAY SLOPES AND OTHER AREAS DISTURBED BY CONSTRUCTION. TOPSOIL USED MAY BE NATIVE ORGANIC MATERIAL SCREENED SO AS TO BE FREE OF ROOTS, BRANCHES, STONES AND OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL BE APPLIED SO AS TO PROVIDE A MINIMUM OF A 4-INCH COMPACTED THICKNESS. UPON COMPLETION OF TOPSOILING, FINISHED SECTIONS ARE TO BE LIMED, SEEDED AND MULCHED. CONSTRUCTION PERSONNEL SHALL INSPECT COMPLETED SECTIONS OF WORK ON A REGULAR BASIS AND REMEDY ANY PROBLEM AREAS UNTIL A HEALTHY STAND OF GRASS HAS BECOME ESTABLISHED.
10. PERFORM FINE GRADING OF ROADWAY BASE MATERIALS.
11. MAINTAIN, REPAIR AND REPLACE AS NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL SUCH TIME AS THE ENTIRE CONSTRUCTION AREA HAS BEEN STABILIZED (A MINIMUM OF ONE WINTER SHALL HAVE PASSED).
12. AFTER STABILIZATION REMOVAL AND SUITABLE DISPOSAL OF TEMPORARY EROSION CONTROL MEASURES.
13. MONITOR CONSTRUCTION ACTIVITIES ON INDIVIDUAL LOTS TO INSURE CONSTRUCTION ACTIVITIES ARE BEING PERFORMED IN SUCH A WAY AS NOT TO ENDANGER THE INTEGRITY OF ROADWAY EMBANKMENTS, STORMWATER SYSTEMS AND UTILITIES. ALL DRIVEWAYS ACROSS DITCHLINES SHALL HAVE CULVERTS INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS.
14. LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.



WATER LINE TRENCH DETAIL
NOT TO SCALE
(MARCH 2008)



STABILIZED CONSTRUCTION EXIT DETAIL
NOT TO SCALE

MAINTENANCE:

MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE Voids IN THE CRUSHED STONE AND THE EFFECTIVENESS OF THE CRUSHED STONE PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW CRUSHED STONE OR COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.

IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

CONSTRUCTION SPECIFICATIONS:

1. STONE FOR A STABILIZED CONSTRUCTION EXIT SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED EXIT SHALL NOT BE LESS THAN 60 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED EXIT SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE EXIT SHALL NOT BE LESS THAN THE FULL WIDTH OF THE AREA WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERSED TOWARD THE CONSTRUCTION EXIT SHALL BE PIPED BENEATH THE EXIT. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND/OR REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT FILLED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
8. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

CONSTRUCTION DETAIL
ROOSEVELT AVE SELF-STORAGE
MAP 191 LOTS 115 & 116
23 ROOSEVELT AVENUE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

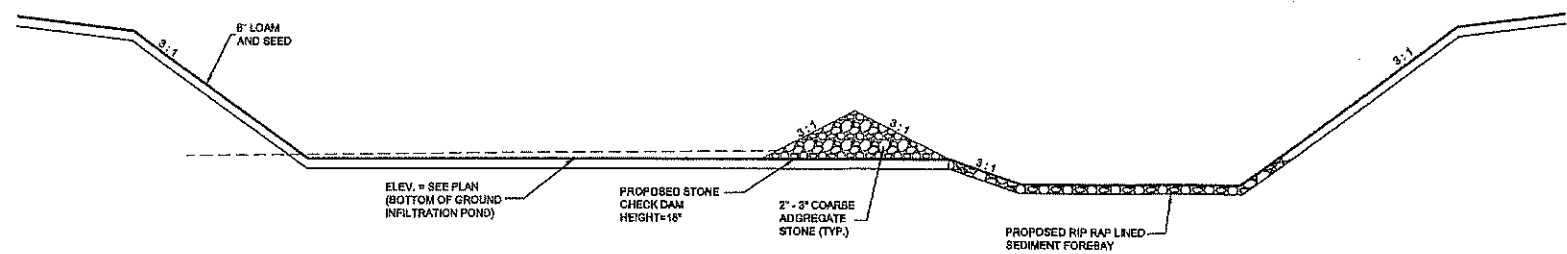
OWNER OF RECORD/APPLICANT:
JAMES D. ALLARD
26 CHEROKEE AVE
NASHUA, NH 03062

K&A KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-8881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JULY 1, 2019 **SCALE:**
PROJECT NO: 18-1210-1 **SHEET** 9 OF 10

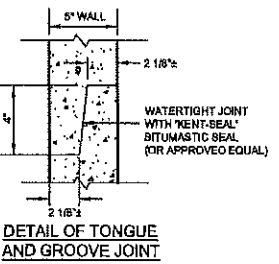
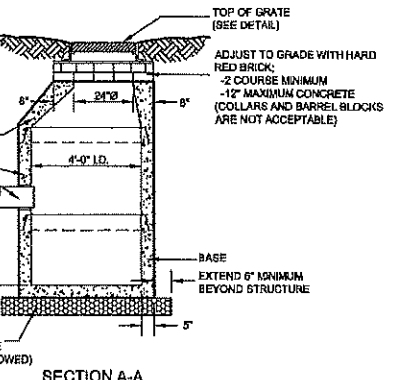
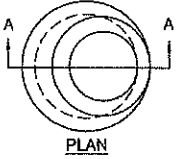
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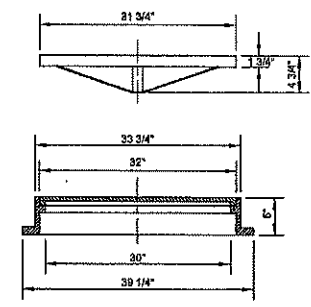
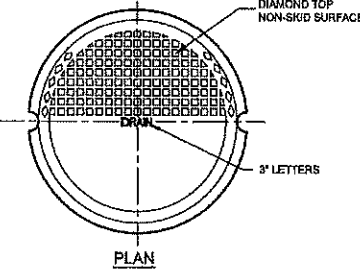
TYPICAL INFILTRATION POND SECTION
NOT TO SCALE

NOTES:

1. ALL SECTIONS SHALL BE CONCRETE CLASS AA(4000 PSI). CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCH PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
2. THE TONGUE OR GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCH PER LINEAR FOOT.
3. RISER OF 1", 2", 3" & 4" CAN BE USED TO REACH DESIRED DEPTH.
4. MATERIALS AND CONSTRUCTION TO MEET STANDARDS.

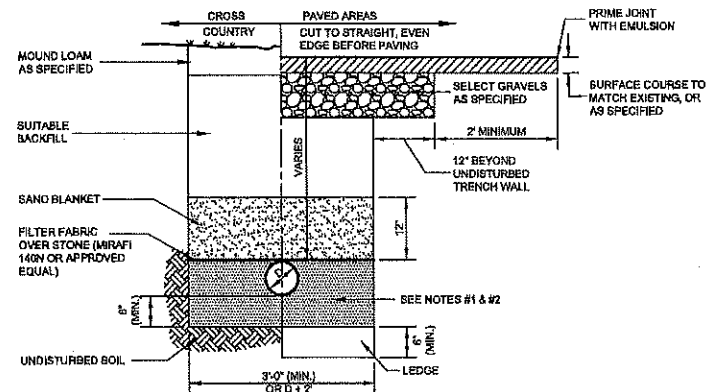


PRECAST REINFORCED CATCH BASIN
NOT TO SCALE
(MAY 2012)



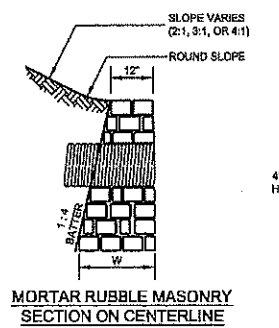
DRAIN MANHOLE FRAME AND COVER DETAIL
NOT TO SCALE
(JANUARY 2012)

- NOTES:
NEW HAMPSHIRE MAINTAINS A CLEAR OPENING DESIGNATION OF 30" FOR ITS MANHOLE CASTINGS.
- FEATURES:
- 3" LETTERING
 - COVERS MARKED DRAIN
 - NONROCKING COVER
 - DIAMOND SURFACE DESIGN
- SPECIFICATIONS:
- FULLY MACHINED FRAME AND COVER
 - H-20 LOAD RATED
 - GRAY CAST IRON MEETS ASTM A48 CLASS 30

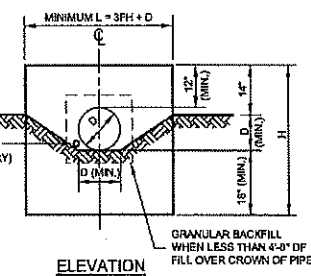


STORM DRAINAGE TRENCH DETAIL
NOT TO SCALE
(MARCH 2008)

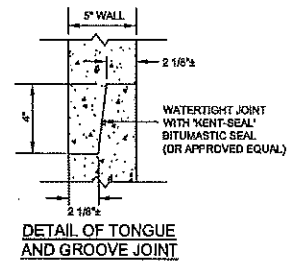
- NOTES:
1. THOROUGHLY COMPACTED SCREENED GRAVEL FOR RIP PIPE. SCREENED GRAVEL TO EXTEND TO SELECT FILL LINE.
 2. FOR HOPE OR PVC PIPE, BEDDING SHALL BE 3/4" STONE TO THE TOP OF THE PIPE.



MORTAR RUBBLE MASONRY SECTION ON CENTERLINE



ELEVATION



DETAIL OF TONGUE AND GROOVE JOINT

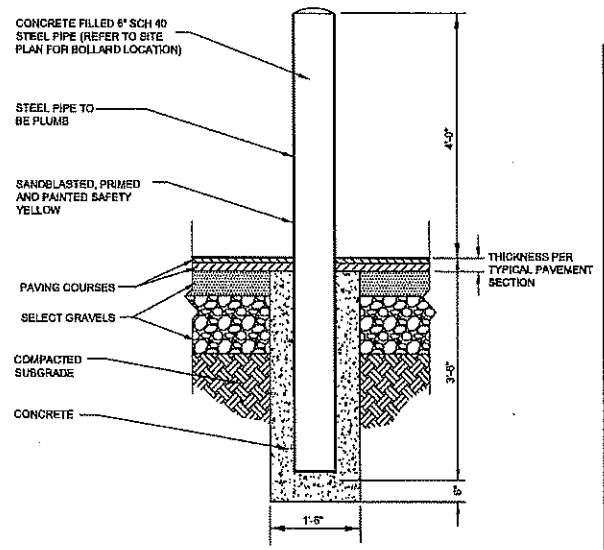
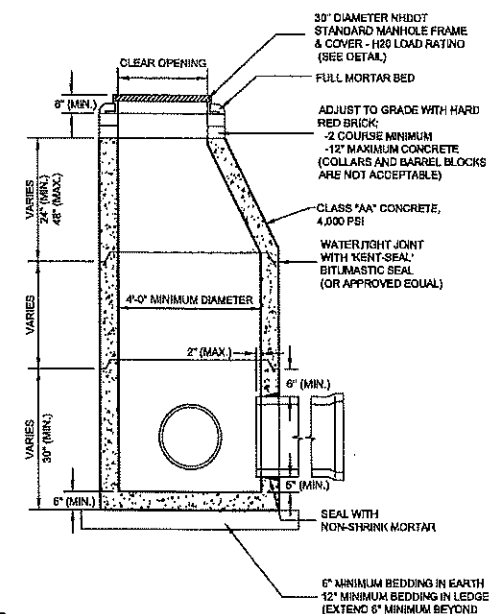
										1/2" HEADWALL			
DIAMETER D (INCH)	AREA OF PIPE (SF)	MASONRY PER FOOT OF WALL (CU. YD.)	MASONRY PER HOLE (CU. FT.)	MASONRY PER STANDARD HEADER (CU. YD.)	PIPE EXC. 1' DEPTH (CU. YD.)	HEADER EXC. PER HEADER 1' DEPTH (CU. YD.)	BACKFILL PER LINEAR FOOT	HEADER LENGTH L	HEADER HEIGHT H	FILL HEIGHT FH	WIDTH AT BOTTOM OF HEADER W	MASONRY IN CORNER FRUSTRUM (CU. YD.)	HEADER EXC. PER HEADER 1' DEPTH (CU. YD.)
12"	0.79	0.198	1.08	0.81	0.111	0.789	0.30	3'-6"	3'-6"	10"	1'-10 1/2"	0.28	1.057
15"	1.23	0.292	1.73	0.85	0.120	0.947	0.35	4'-0"	3'-9"	11-1/2"	1'-11 1/4"	0.31	1.232
18"	1.77	0.222	2.52	1.13	0.190	1.111	0.39	5'-0"	4'-9"	14'-4"	2'-0"	0.35	1.406
24"	3.14	0.380	4.71	1.78	0.148	1.451	0.48	7'-6"	4'-6"	15'-10"	2'-1 1/2"	0.42	1.776
30"	4.51	0.331	7.97	2.99	0.185	1.810	0.65	9'-6"	5'-9"	24'-4"	2'-3"	0.51	2.194
36"	7.07	0.344	11.49	3.63	0.222	2.167	0.85	11'-6"	6'-6"	24'-10"	2'-4 1/2"	0.61	2.572
42"	9.62	0.399	16.24	4.65	0.258	2.581	1.07	13'-6"	6'-9"	3'-4"	2'-5"	0.72	3.000
48"	12.57	0.438	21.99	5.85	0.296	3.000	1.31	15'-6"	6'-6"	3'-10"	2'-7 1/2"	0.84	3.447
54"	15.90	0.496	28.83	7.44	0.333	3.432	1.56	17'-6"	7'-0"	4'-4"	2'-8"	0.98	3.814
60"	19.63	0.538	36.82	9.13	0.370	3.882	1.87	19'-6"	7'-5"	4'-10"	2'-10 1/2"	1.12	4.401
66"	23.76	0.593	46.03	11.04	0.407	4.350	2.17	21'-6"	8'-0"	5'-4"	3'-0"	1.28	4.807
72"	28.27	0.648	56.55	13.17	0.443	4.838	2.50	23'-6"	8'-6"	6'-10"	3'-1 1/2"	1.48	5.433

MORTAR RUBBLE MASONRY HEADWALLS
NOT TO SCALE
(AUGUST 2011)

NOTES:

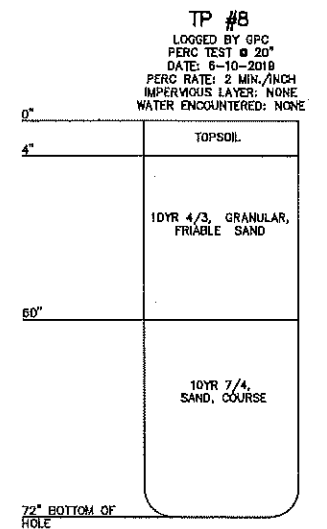
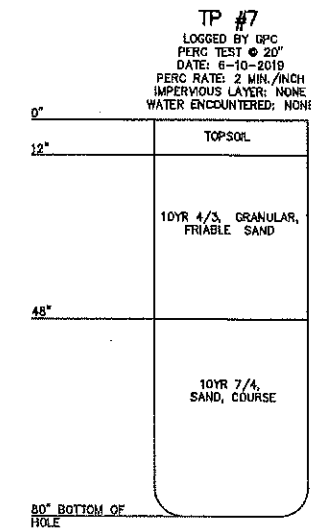
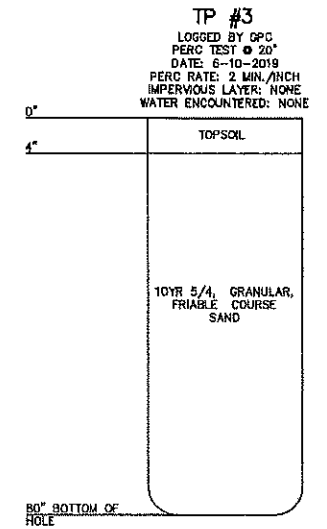
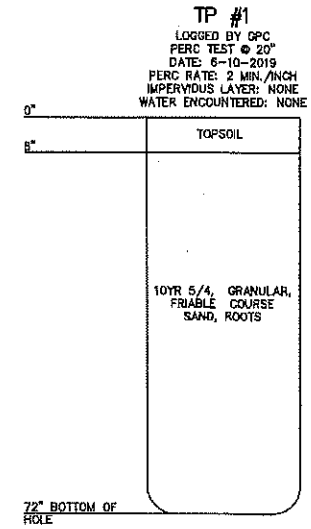
1. STEPS ARE NOT ALLOWED.
2. ALL SECTIONS SHALL BE CONCRETE CLASS AA (4,000 PSI). CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER L.F. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER OF THE WALL.
3. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER L.F.
4. MATERIALS AND CONSTRUCTION TO MEET STANDARDS.

PRECAST REINFORCED DRAIN MANHOLE DETAIL
NOT TO SCALE
(MARCH 2008)



BOLLARD DETAIL
NOT TO SCALE
(MARCH 2008)

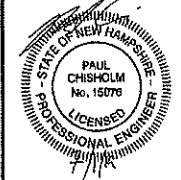
TEST PIT LOGS



CONSTRUCTION DETAIL
ROOSEVELT AVE SELF-STORAGE
MAP 191 LOTS 115 & 116
23 ROOSEVELT AVENUE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:
JAMES D. ALLARD
26 CHEROKEE AVE
NASHUA, NH 03062

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 303, Bedford, NH 03110 Phone (603) 627-8881



REVISIONS			
No.	DATE	DESCRIPTION	BY

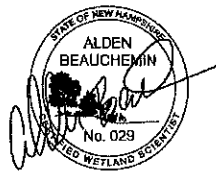
DATE: JULY 1, 2019 SCALE:
PROJECT NO: 18-1210-1 SHEET 10 OF 10

REFERENCE PLANS

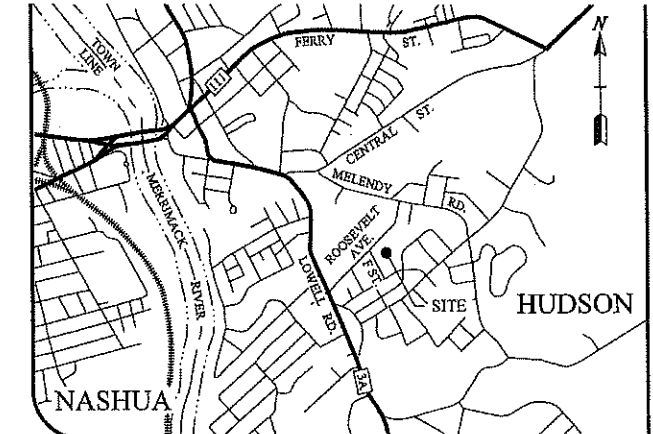
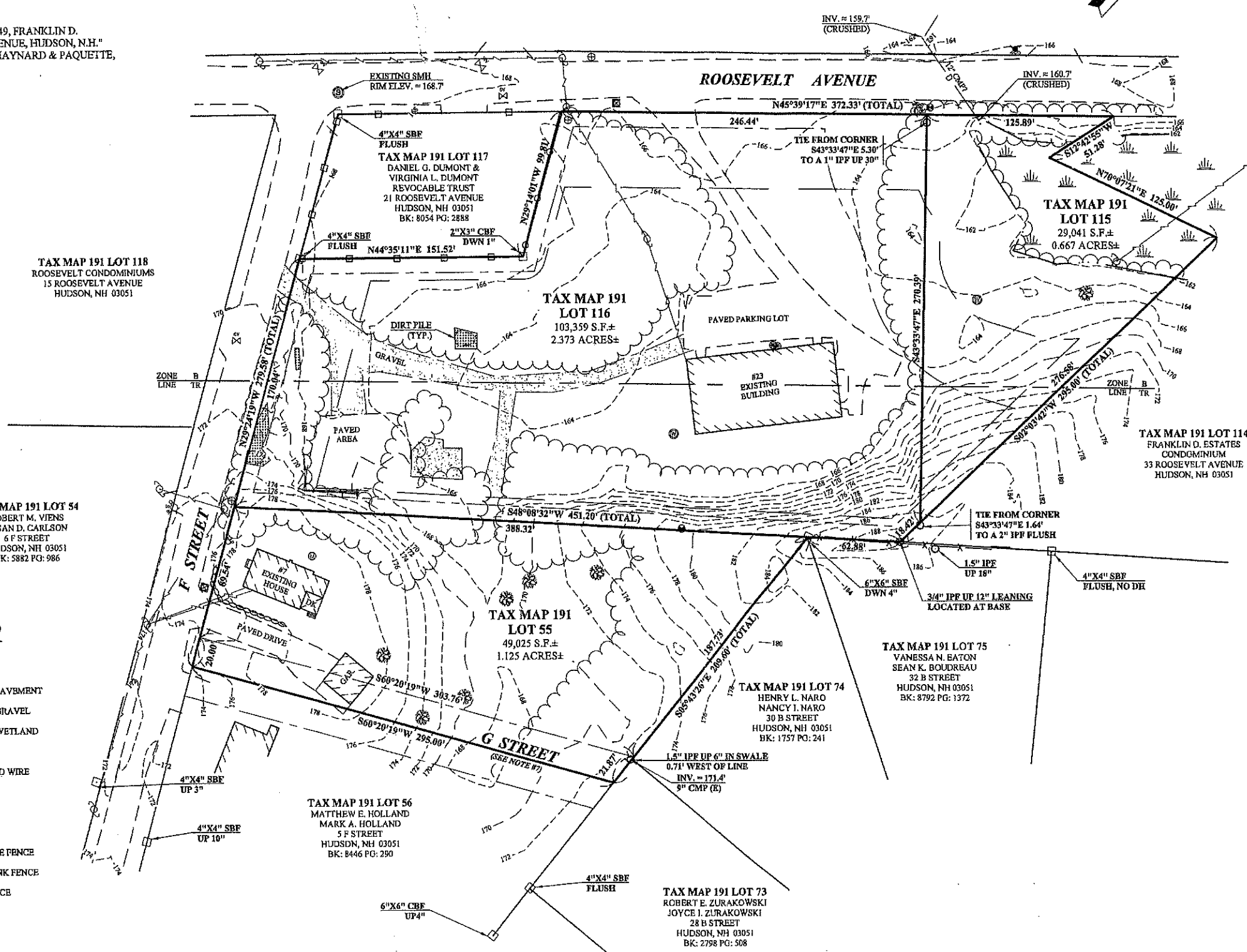
1. "PLAN OF BROOKSIDE PARK, HUDSON, N.H." DATED OCTOBER 1912 AND PREPARED BY E. HATHAWAY, C.E. H.C.R.D. PLAN #416.
2. "PLAN OF LAND OF PAUL P. & ROSE G. TANGUAY, ROOSEVELT AVE, HUDSON, N.H." LAST REVISED MARCH 1959 AND PREPARED BY NED SPAULDING, C.E. H.C.R.D. PLAN #1683.
3. "PART NO. 3, TESSIER HEIGHTS, BELKNAP ROAD, HUDSON, N.H." DATED APRIL 1963 AND PREPARED BY NED SPAULDING, C.E. H.C.R.D. PLAN #2465.
4. "CONDOMINIUM SITE PLAN - LOT 61 / MAP 49, FRANKLIN D. ESTATES, A CONDOMINIUM, ROOSEVELT AVENUE, HUDSON, N.H." DATED MARCH 12, 1990 AND PREPARED BY MAYNARD & PAQUETTE, INC. H.C.R.D. PLAN #24316.

WETLAND CERTIFICATION

WETLANDS SHOWN ON THIS PLAN HAVE BEEN DELINEATED IN DECEMBER 2017 IN ACCORDANCE WITH THE 1987 ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, AND THE N.E. REGIONAL SUPPLEMENT, DATE: JANUARY 2012, BY ALDEN BEAUCHEMIN, N.H. CERTIFIED WETLAND SCIENTIST #29, OF KEYLAND ENTERPRISES, LLC 412 WEST RIVER ROAD, HOOKSETT, NH 03106, (603) 485-5111.



TAX MAP 191 LOT 132
PROLYN CORPORATION
5 LAWRENCE CORNER ROAD
PELHAM, NH 03076
BK: 5629 PG: 262



LOCUS MAP
NOT TO SCALE

- NOTES**
1. OWNER OF RECORD:

TAX MAP 191 LOT 55 JAMES D. ALLARD 26 CHEROKEE AVE. NASHUA, NH 03062 BK: 8933 PG: 2741	TAX MAP 191 LOT 115 JAMES D. ALLARD 26 CHEROKEE AVE. NASHUA, NH 03062 BK: 8933 PG: 2771	TAX MAP 191 LOT 116 JAMES D. ALLARD 26 CHEROKEE AVE. NASHUA, NH 03062 BK: 8933 PG: 2790
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 2. THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF THE SUBJECT PARCELS AND THE EXISTING IMPROVEMENTS THEREON.
 3. THE SUBJECT AND ABUTTING PARCELS ARE ZONED "B" AND "TR". DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS:

DISTRICT	"B"	"TR"
MINIMUM LOT SIZE:	30,000 SQ FT	10,000 SQ FT
MINIMUM FRONTAGE:	150'	90'
MINIMUM SETBACKS:		
FRONT:	50'	30'
SIDE:	15'	15'
REAR:	15'	15'
 4. THIS PLAN REPRESENTS EXISTING CONDITIONS, BOUNDARY EVIDENCE, AND MONUMENTATION AS OBSERVED DURING A SURVEY BY THIS OFFICE IN JANUARY & FEBRUARY 2018.
 5. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 1% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR HILLSBOROUGH COUNTY, NEW HAMPSHIRE. MAP NUMBER 33011C0518D. EFFECTIVE DATE SEPTEMBER 25, 2009.
 6. ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. THIS OFFICE HAS NOT LOCATED ANY UNDERGROUND UTILITIES. ALWAYS CALL DIG SAFE TO MARK OUT UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION ACTIVITIES.
 7. AT THE 1948 TOWN MEETING, WARRANT ARTICLE 18 WAS "TO SEE IF THE TOWN WILL VOTE TO AUTHORIZE THE SELECTMEN TO TAKE PROPER STEPS COVERING THE LEGAL PROCESS NECESSARY TO CLOSE G STREET". THIS OFFICE HAS NOT BEEN ABLE TO RECOVER A RECORD OF THE RESULT OF THE VOTE. DISCONTINUANCE BY THE TOWN DOES NOT EXTINGUISH PRIVATE RIGHTS TO THE RIGHT-OF-WAY. A QUIET TITLE ACTION IS RECOMMENDED.
 8. THE HORIZONTAL DATUM IS NHSPC (NAD83) AND THE VERTICAL DATUM IS NGVD 88, OBTAINED FROM STATIC GPS OBSERVATIONS.

SYMBOL LEGEND

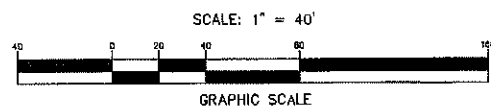
- BOUND FOUND
- IRON PIPE FOUND
- IRON ROD FOUND
- IRON ROD SET
- UTILITY POLE
- ⊙ GUY ANCHOR
- ⊙ MANHOLE
- ⊙ SEWER MANHOLE
- ⊙ FIRE HYDRANT
- ⊙ WATER VALVE
- ⊙ WATER SHUTOFF
- ⊙ GAS VALVE
- ⊙ GAS METER
- ⊙ BOLLARD
- ⊙ POST
- ⊙ MAILBOX
- ⊙ WELL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- EDGE OF WETLAND
- TREE LINE
- OVERHEAD WIRE
- SEWER
- WATER
- GAS
- STOCKADE FENCE
- CHAIN LINK FENCE
- WIRE FENCE
- ⊙ TREE

SURVEYOR'S CERTIFICATION

"I HEREBY CERTIFY THAT THIS SURVEY AND PLAT WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000)."

LICENSED LAND SURVEYOR

DATE

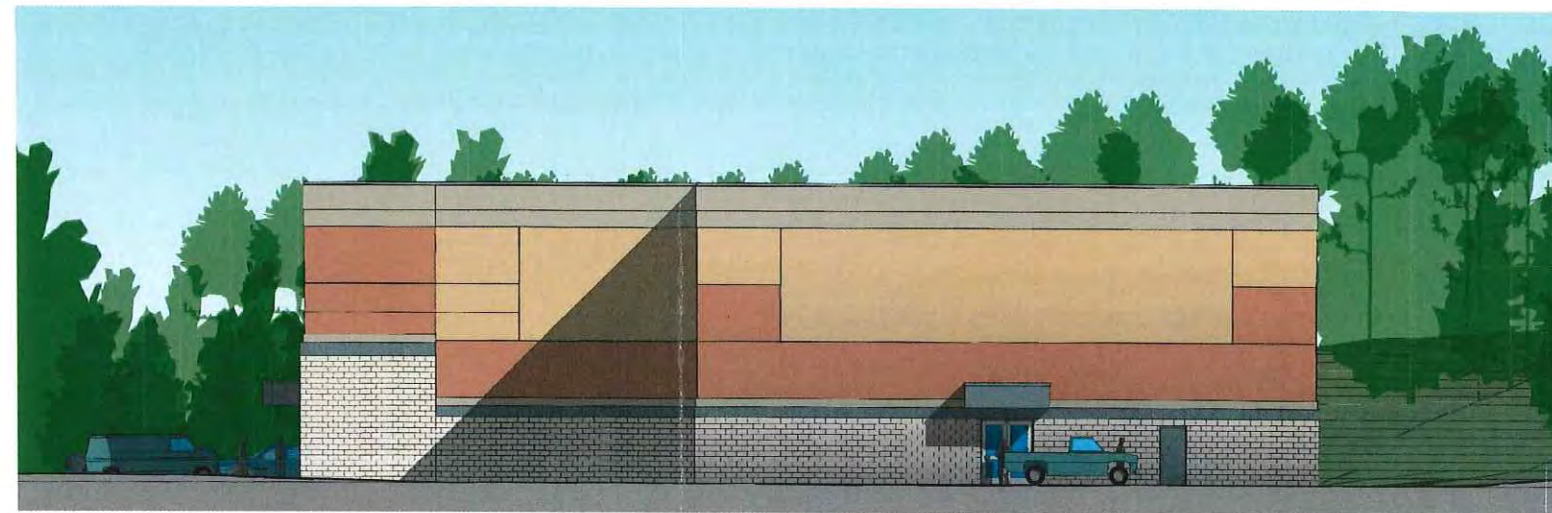


EXISTING CONDITIONS PLAN
TAX MAP 191 LOTS 55, 115 & 116
 LAND OF:
JAMES D. ALLARD
 LOCATED AT:
ROOSEVELT AVENUE & F STREET
HUDSON, NEW HAMPSHIRE





Conceptual North Elevation



Conceptual West Elevation



Conceptual Northwest Perspective

Jim Allard Contracting, LLC

Climate Controlled Self Storage Facility

PREPARED BY: HL TURNER GROUP, INC. ■ ARCHITECTS ■ ENGINEERS ■ BUILDING SCIENTISTS ■ 27 LOCKE RD. CONCORD, NH 03301, USA ■ 603.228.1122 ■ 603.228.1124 ■ www.hlturner.com

Conceptual Exterior Views

SCALE:
DATE: 00/00/0000
PROJECT: 124

