

TOWN OF HUDSON

Planning Board

Glenn Della-Monica, Chairman

David Morin, Selectmen Liaison



12 School Street · Hudson, New Hampshire 03051 · Tel: 603-886-6008 · Fax: 603-594-1142

PUBLIC MEETING TOWN OF HUDSON, NH OCTOBER 24, 2018

The Town of Hudson Planning Board will hold a regularly scheduled meeting on Wednesday, October 24, 2018 at 7:00 p.m. in the “Buxton Community Development Conference Room” at Town Hall. The following items will be on the agenda:

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES

- V. MINUTES OF PREVIOUS MEETING(S)
 - 12 September 18 Meeting Minutes – Decisions
 - 26 September 18 Meeting Minutes – Decisions

- VI. CASES REQUESTED FOR DEFERRAL
- VII. CORRESPONDENCE

A. Street Acceptance – Lucier Park Drive

Reference interoffice memo dated 27 September 18 from Elvis Dhima, Town Engineer, to Brian Groth, Town Planner

- VIII. PERFORMANCE SURETIES
- IX. ZBA INPUT ONLY
- X. OLD BUSINESS/PUBLIC HEARINGS
- XI. DESIGN REVIEW PHASE
- XII. CONCEPTUAL REVIEW ONLY

A. Mansfield Drive Subdivision
SB# 05-18

215 Webster Street
Map 147/Lot 024

Purpose of Plan: to Subdivide 1 lot into 8 residential building lots on an extension of existing Mansfield Drove (off Derry Lane). Responses to CLD/Fuss & O’Neill Review including various existing & proposed easements and drainage/Storm Water Analysis. Conceptual Review only.

XIII. NEW BUSINESS/PUBLIC HEARINGS

- A. Mal-Mar, LLC Site Plan
SP# 16-18

2 Tracy Lane
Map 101/Lot 011

Purpose of Plan: to allow a 20' x 60' building addition. Application Acceptance & Hearing.
Deferred from September 26, 2018.

- B. Eagles Nest Estates (Extension)
SB# 11-18

Bush Hill Road
Map 186/Lot 24
Map 194/Lots 9 & 10
Map 195/Lot 1

Purpose of Plan: To request a One (1) year extension to the Planning Board approved
Subdivision Plan on 08/12/15 and approved 18 month extension on 8/24/16. Application
Acceptance & Hearing.

XIV. OTHER BUSINESS

- Election of Chairperson

XV. ADJOURNMENT

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting. The public is invited to attend.



Brian Groth
Town Planner

POSTED: Town Hall, Library & Post Office – 10-12-18

MINUTES/DECISIONS OF THE PLANNING BOARD
MEETING DATE: SEPTEMBER 12, 2018

In attendance = X; Alternates Seated = S; Partial Attendance = P; Excused Absence = E

Glenn Della-Monica Chairman <u> X </u>	Timothy Malley Vice-Chair <u> X </u>	William Collins Secretary <u> X </u>	Charles Brackett Member <u> A </u>
Jordan Ulery Member <u> E </u>	Dillon Dumont Member <u> X </u>	Ed Van der Veen Alternate <u> X </u>	Elliott Veloso Alternate <u> E </u>
David Morin Select. Rep. <u> X </u>	Roger Coutu Alt. Select. Rep. <u> X </u>		

Meeting called to order at approximately 7:00 p.m.

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES
- V. ELECTION OF OFFICERS
- VI. MINUTES OF PREVIOUS MEETING(S)

- 8 August 18 Meeting Minutes – Decisions

Mr. Dumont moved to approve the 8 August 18 Meeting Minutes (as written/amended).

Motion seconded by Mr. Van der Veen. All in favor – motion carried.

- 22 August 18 Meeting Minutes – Decisions

Mr. Dumont moved to approve the 22 August 18 Meeting Minutes (as written/amended).

Motion seconded by Mr. Van der Veen. Motion carried 5/0/1 (Collins).

VII. CASES REQUESTED FOR DEFERRAL

VIII. CORRESPONDENCE

A. Street Acceptance “Rolling Woods Subdivision”.

1. Rolling Woods Drive
2. York Road Extension

Reference Memo dated 24 August 18 from Elvis Dhima, Town Engineer, to Jay Minkarah, Interim Town Planner.

Mr. Malley moved to recommend acceptance of Rolling Woods Drive and York Road Extension per recommendation of the Town Engineer.

Motion seconded by Mr. Van der Veen. All in favor – motion carried.

B. Release of Surety Bond for Bradley Tree Service Site Plan.

Reference Memo dated 08-24-18 from Tim Bradley, Bradley Commercial Properties, to Jay Minkarah, Town Planner.

Mr. Malley moved to release the remaining site improvements surety for Bradley Tree, 30 Constitution Drive, Map 170/Lot 035 in the amount of \$20,109.00.

Motion seconded by Mr. Van der Veen. Motion carried 5/0/1 (Morin).

IX. PERFORMANCE SURETIES

X. ZBA INPUT ONLY

XI. PUBLIC HEARINGS

XII. OLD BUSINESS/PUBLIC HEARINGS

XIII. DESIGN REVIEW PHASE

XIV. CONCEPTUAL REVIEW ONLY

XV. NEW BUSINESS/PUBLIC HEARINGS

A. Laurel Landing Subdivision (Extension)
SB# 10-18

50 Speare Road
Map 186/Lot 013

Purpose of Plan: to request a one-year extension to the Planning Board approved Subdivision Plan on 08/16/17, which expired on 08/16/18. Application Acceptance & Hearing.

WAIVER MOTIONS:

1) Checklist Item “aw” HTC 275-9(D) – Fiscal Impact Study

Mr. Malley moved to grant the requested waiver of Checklist Item “aw” HTC 275-9(D) – Fiscal impact, study based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion seconded by Mr. Collins. All in favor – motion carried.

2) Checklist Item “ax” HTC 275-9(C) – Noise Study

Mr. Malley moved to grant the requested waiver of Checklist Item “ax” HTC 275-9(C) – Noise Study, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion seconded by Mr. Collins. All in favor – motion carried.

3) Checklist Item “ay” HTC 275-9(B) – Traffic Study

Mr. Malley moved to grant the requested waiver of Checklist Item “ay” HTC 275-9(B) – Traffic Study, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion seconded by Mr. Collins. All in favor – motion carried.

Mr. Malley moved to approve the proposed Site Plan entitled: Proposed Site Plan for Marco Plante, Tax Map 206/Lot 1, by Beals Associates and S&H Land Services, with cover sheet dated July 20, 2018, last revised on August 30, 2018, consisting of Sheets 1 – 12 and Notes 1 – 9 on Sheet 1 of 12 subject to the following stipulations:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Plan.
2. A cost allocation procedure (CAP) amount of \$5,759.00 per residential unit shall be paid prior to the issuance of a Certificate of Occupancy.
3. All monumentation shall be set or bonded for prior to the Planning Board endorsing the Plan-of-Record.
4. A cistern with a minimum capacity of 30,000 gallons shall be installed per NFPA 1142.

5. The plans shall be amended to provide a Planning Board Approval Block in the *lower left-hand* corner of each sheet to be recorded.
6. The proposed access road shall be labeled as a “private way” and assigned a street name to be approved by the Hudson Fire Department.
7. A note shall be added to the plan confirming compliance with MS4 requirements.
8. Approval of this plan shall be subject to final engineering review.
9. Construction activities involving the proposed undeveloped lots shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday.

Motion seconded by Mr. Collins All in favor – motion carried.

D. Highland Street Site Plan
SP# 12-18

3 Highland Street
Map 174/Lot 168

Purpose of Plan: to remove an existing two-family dwelling & construct a 3-unit (3-story) multi-family condex building with drive under garages. Application Acceptance & Hearing.

Mr. Malley moved to accept the Site Plan application for 3 Highland Street, Map 174/Lot 168.

Motion seconded by Mr. Van der Veen. All in favor – motion carried.

WAIVER MOTIONS:

- 1) Checklist Item “AM” – Soil type boundaries

Mr. Dumont moved to grant the requested waiver of Checklist Item “AM” HTC – Soil type boundaries, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted waiver request.

Motion seconded by Mr. Malley. Motion carried 5/1/0 (Collins).

- 2) Checklist Item “O” – Location of various structures and features within 200 ft. of the site.

Mr. Dumont moved to grant the requested waiver of Checklist Item “O” – Location of various structures and features within 200 ft. of the site, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted waiver request.

Motion seconded by Mr. Malley. Motion carried 5/1/0 (Collins).

- 3) Checklist Item “P” – Location of monuments and benchmarks within 200 ft. of the site.

Mr. Dumont moved to grant the requested waiver of Checklist Item “P” – Location of monuments and benchmarks within 200 ft. of the site, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted waiver request.

Motion seconded by Mr. Malley. Motion carried 5/1/0 (Collins)

- 4) Checklist Item “U” – Stormwater Drainage Plan

Mr. Malley moved to grant the requested waiver of Checklist Item “U” – Stormwater Drainage Plan, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted waiver request.

Motion seconded by Mr. Dumont. Motion carried 5/1/0 (Collins)

- 5) Checklist Item “AF” – Exterior Lighting

Mr. Malley moved to grant the requested waiver of Checklist Item “AF” – Exterior Lighting, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted waiver request.

Motion seconded by Mr. Dumont. Motion carried 5/1/0 (Collins).

- 6) HTC 193-10.E – Design Criteria Safe Stopping Distance

Mr. Malley moved to grant the requested waiver of HTC 193-10.E – Design Criteria Safe Stopping Distance, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted waiver request.

Motion seconded by Mr. Dumont. Motion carried 5/1/0 (Collins)

Mr. Malley moved to grant approval of the 3 Highland Street Site Plan prepared for Another Beautiful Day, LLC, by Bedford Design Consultants, dated April 18, 2018, (last revised August 28, 2018), consisting of 9 sheets with Notes 1 – 7 on Sheet 1, subject to the following conditions:

1. All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record.

2. All improvements shown on the Site Plan-of-Record, including Notes 1 – 17 on Sheet 4 shall be completed in their entirety and at the expense of the Applicant or his assigns.
3. A cost allocation procedure (CAP) amount of \$2,924.00 for each new residential unit shall be paid prior to the issuance of a Certificate of Occupancy.
4. Prior to the issuance of a final Certificate of Occupancy, a L.L.S. certified “As-Built” Site Plan shall be provided to the Town of Hudson Land Use Department, confirming that the site conforms to the Planning Board approved Site Plan.
5. The onsite drainage system shall be constructed and maintained in compliance with NHDES requirements for such systems.
6. A note shall be added to the Plan confirming compliance with MS4 requirements.
7. Prior to Planning Board endorsement of the Plan, is shall be subject to final review by the Town Engineer and CLD.
8. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M. No exterior construction activities shall be allowed on Sundays. A note shall be added to Sheet 7 to match this stipulation.
9. Underground utilities shall service the site.

Motion seconded by Mr. Dumont. Motion carried – 4/2/0 (Collins & Morin).

E. Rebel Road Garage Site Plan
SP# 15-18

1 Rebel Road
Map 101/Lot 030

Purpose of Plan: to propose a 5-stall garage in the existing parking area. Application Acceptance & Hearing.

Mr. Malley moved to defer further review of the 2 Rebel Road – Map 101/Lot 30 Site Plan application to a date certain, the September 26, 2018 meeting.

Motion seconded by Mr. Dumont. All in favor – motion carried.

XVI. OTHER BUSINESS

A. Zoning Amendment Workshop: Sign Ordinance.

XVII. ADJOURNMENT

Motion to adjourn by Mr. Malley. Seconded by Mr. Dumont. All in favor – motion carried 5/0/0.

Meeting adjourned at 9:10 p.m.

William Collins
Secretary

MINUTES/DECISIONS OF THE PLANNING BOARD
MEETING DATE: SEPTEMBER 26, 2018

In attendance = X; Alternates Seated = S; Partial Attendance = P; Excused Absence = E

Glenn Della-Monica Chairman <u> X </u>	Timothy Malley Vice-Chair <u> X </u>	William Collins Secretary <u> X </u>	Charles Brackett Member <u> A </u>
Jordan Ulery Member <u> X </u>	Dillon Dumont Member <u> E </u>	Ed Van der Veen Alternate <u> X </u>	Elliott Veloso Alternate <u> X </u>
Roger Coutu Select. Rep. <u> X </u>	David Morin Alt. Select. Rep. <u> X </u>		

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Meeting called to order at approximately 7:00 p.m.

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES

Mr. Van der Veen seated for Mr. Dumont.
- V. MINUTES OF PREVIOUS MEETING(S)
 - 8 August 18 Meeting Minutes – Done- already approved at 9/12/18 Meeting
- VI. CASES REQUESTED FOR DEFERRAL
- VII. CORRESPONDENCE
 - A. Request of Bond Reduction for Orchard Park Lane.

Reference Memo dated 09-04-18 from Don Nicolls, KLN Construction, to Town of Hudson Planning Board.

Mr. Malley motioned to recommend acceptance to reduce the bond for Orchard Park Lane to \$29,664.90 in accordance with recommendation of the Town Engineer.

Motion seconded by Mr. Ulery. All in favor – motion carried.

B. Driveway Waiver Requests – 4 Sandalwood Drive

Request of two waivers from Driveway Regulations §193-10.C and §193-10.G by Heath Ebbeson of 4 Sandalwood Drive, Map 133/Lot 020.

REQUESTED WAIVERS:

- 1) HTC 193-10.C – Establishment of grades
- 2) HTC 193-10.G – Number of driveways per parcel

Mr. Malley moved to grant the requested waiver - HTC 193-10.C, Establishment of grades - based on the testimony of the Applicant's representative, Heath Ebbeson, and in accordance with the language included in the submitted Waiver Request Form.

Motion seconded by Mr. Ulery. Motion failed 2/4/0 (Against-Mr. Collins, Mr.Coutu, Mr. Van der Veen, Mr. Della-Monica)

Waiver 2) HTC 193-10.G – Number of driveways per parcel was not heard.

The Public Hearing opened at 7:11 PM and closed at 7:11 PM.

- VIII. PERFORMANCE SURETIES – None
- IX. ZBA INPUT ONLY– None
- X. OLD BUSINESS/PUBLIC HEARINGS

- A. Rebel Square Garage Site Plan 1 Rebel Road
SP# 15-18 Map 101/Lot 030

Purpose of Plan: to propose a 5-stall in the existing parking area. Application Acceptance & Hearing.

Continued from September 12, 2018 Planning Board Meeting. Mike Hammer presented.

WAIVER REQUESTS:

Check List Items O and P relative to certain features within 200' of the site and AF – exterior lighting.

Mr. Malley moved to grant the requested waivers from Check List Items O and P relative to certain features within 200' of the site and AF– exterior lighting based on the testimony of the Applicant's representative, Mike Hammer, and in accordance with the language included in the submitted Waiver Request Form.

Motion seconded by Mr. Van der Veen. All in favor – motion carried.

MOTION TO APPROVE:

Mr. Malley moved to approve the Site Plan entitled: Proposed Garage Site Plan, Rebel Square Condominium, Land of Greenland Investment Realty Trust & Green Mountain Partners Realty Trust, Tax Map 101, Lot 30, 1 Rebel Road, Hudson, NH, dated May 31, 2018, prepared by Meridian Land Services, Inc., and consisting of one sheet with Notes 1- 6, subject to the following conditions:

1. All improvements shown on the Site Plan-of-Record, including Notes 1- 6 together with any additional notes added to comply with these conditions of approval, shall be completed in their entirety and at the expense of the Applicant or his assigns.
2. Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Land Use Department, confirming that the site conforms to the Planning Board approved site plan.
3. A note shall be added to the plan confirming compliance with MS4 requirements.
4. A note shall be added to the plan stating that no heavy commercial vehicles, recreational vehicles, busses or boats may be garaged on the site.
5. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M. No exterior construction activities shall be allowed on Sundays.
6. Hours of refuse removal shall be exclusive to the hours between 7:00 A.M. and 7:00 P.M. Monday through Saturday only.

Motion seconded by Mr. Van der Veen. All in favor – motion carried.

- XI. DESIGN REVIEW PHASE – None
- XII. CONCEPTUAL REVIEW ONLY – None
- XIII. NEW BUSINESS/PUBLIC HEARINGS

A. 292 Derry Road Conceptual Site Plan
CSP# 07-18

292 Derry Road
Map 109/Lot 007

Purpose of Plan: to add a 9,600 square foot warehouse with an office to the existing 1,800 square foot professional offices and 88 student day-care uses on site. Application Acceptance & Hearing.

Presenter- Jennifer McCourt
Conceptual only – no motions made
Suggestions made:

1. 10 ft. x 20 ft. parking spaces
2. Dumpster location
3. Snow Removal
4. Safety near playground

B. Mal-Mar, LLC Amended Site Plan
SP# 16-18

2 Tracy Lane
Map 101/Lot 011

Purpose of Plan: to amend the previously approved site plan to allow 1 20' x 60' building addition. Application Acceptance & Hearing.

This case has been deferred until the October 24, 2018 Planning Board Meeting

XIV. OTHER BUSINESS – None

XV. ADJOURNMENT

Motion to adjourn by Mr. Della-Monica. Seconded by Mr. Ulery. All in favor – motion carried.

Meeting adjourned at 8:24 p.m.

William Collins
Secretary

Lucier Park Drive Street Acceptance

STAFF REPORT

October 18, 2018

SITE: Lucier Park Drive & Eayer Pond Road - Map 247 Lots 45-6 to 45-16

ATTACHMENTS:

- 1) Memo from Elvis Dhima PE, Town Engineer, to Brian Groth, Town Planner with recommendation for acceptance – Attachment “**A**”
- 2) Memo from Elvis Dhima PE, Town Engineer, to Jess Forrence, Director of Public Works; Rob Buxton, Fire Chief; and Jason Lavoie, Police Chief with recommendation for acceptance – Attachment “**B**”
- 3) Memo from Rob Buxton, Fire Chief, to Elvis Dhima PE, Town Engineer, with recommendation for acceptance – Attachment “**C**”
- 4) Memo from Jess Forrence, Director of Public Works, to Elvis, Dhima PE, Town Engineer, with recommendation for acceptance – Attachment “**D**”

RECOMMENDATION: Staff recommends acceptance of Lucier Park Drive per recommendation of the Town Engineer in concurrence with the Director of Public Works, Fire Chief and Police Chief. A DRAFT MOTION is provided below:

MOTION TO RECOMMEND ACCEPTANCE:

I move to recommend acceptance of Lucier Park Drive per recommendation of the Town Engineer.

Motion by: _____ Second: _____ Carried/Failed: _____

APPLICATION FOR ACCEPTANCE OF A DEDICATED ROAD AS A TOWN ROAD

DATE: 9/20/18

NAME OF ROAD: Lucier Park Drive

NAME OF APPLICANT/AGENT: K&M Developers, LLC

APPLICANT ADDRESS: 46 Lowell Road
Hudson, NH 03051

TELEPHONE: 603 880-7799

COMPLETED APPLICATION FORM TO INCLUDE:

LOCATION OF ROAD: Attach three (3) copies of the approved subdivision plan and indicate the length of road for which acceptance is being requested.

LENGTH OF ROAD: 825 Feet. +/-

STATEMENT OF DEDICATION: H.C.R.D. Plan Number: 39187

H.C.R.D. Book and Page Number which references deed or other instrument dedication road to public use: See Attached

also see hcrd plan #39190 easement plan

Attach three (3) copies of deed or other instrument.

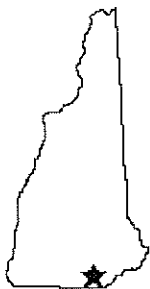
STATEMENT OF APPLICANTS' INTEREST IN HAVING ROAD ACCEPTED:

Street has been completed to town standard and the applicant would
like to have the street accepted pursuant to the original intent of the subdivision.

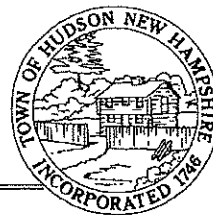
FEE (\$50.00): PAID: YES ✓ 9/21/18 NO

RECEIPT NO. 522,301 RECEIVED BY: DMS

CK# 2229



TOWN OF HUDSON
Engineering Department



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

INTEROFFICE MEMORANDUM

TO: Brian Groth, Town Planner
FROM: Elvis Dhima, P.E., Town Engineer
DATE: October 1, 2018
RE: Street Acceptance – Lucier Park Drive

Attached please find the Application for Street Acceptance for Lucier Park Drive on behalf of K&M Developers, LLC. I am also attaching a copy of the As-Built Plan for your review.

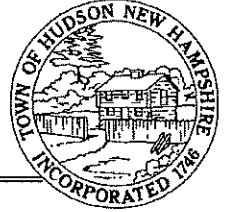
Please review this application and indicate your approval by initialing this memo and return it to the Engineering Department.

I have reviewed this application on behalf of the Engineering Department, and I support the acceptance of this road.

Thank you.



TOWN OF HUDSON
Engineering Department



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

INTEROFFICE MEMORANDUM

TO: Jess Forrence, Interim Road Agent
Rob Buxton, Fire Chief
Jason Lavoie, Police Chief

FROM: Elvis Dhima, P.E., Town Engineer *E2D*

DATE: September 21, 2018

RE: Street Acceptance – Lucier Park Drive

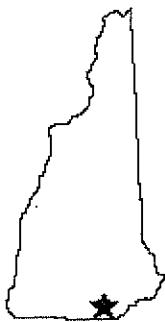
Attached please find the Application for Street Acceptance for Lucier Park Drive on behalf of K&M Developers, LLC. I am also attaching a copy of the As-Built Plan for your review.

Please review this application and indicate your approval by initialing this memo and return it to the Engineering Department.

I have reviewed this application on behalf of the Engineering Department, and I support the acceptance of this road.

[Signature] H.P.D.

Thank you.



TOWN OF HUDSON

FIRE DEPARTMENT

39 FERRY STREET, HUDSON, NEW HAMPSHIRE 03051



Emergency 911
Business 603-886-6021
Fax 603-594-1164

Robert M. Buxton
Chief of Department

TO: Elvis Dhima
Town Engineer

FR: Robert M. Buxton
Fire Chief

DT: September 26, 2018

RE: Lucier Park Drive

The Fire Department has reviewed Lucier Park Drive and finds no outstanding issues.

Should you have any further questions please feel free to contact me.

CC: Permit Technician



TOWN OF HUDSON

Highway Department

ATTACHMENT D

RECEIVED

SEP 25 2018

TOWN OF HUDSON
SELECTMENS OFF



2 Constitution Drive Hudson, New Hampshire 03051 6031886-6018 Fax 6031594-1143

September 25, 2019

TO: Elvis Dhima

FM: Jess Forrence 

RE: Lucier Park Drive

I have reviewed Lucier Park Drive and on behalf of the Public Works Department I support the acceptance of Lucier Park Drive.

cc: Steve Malizia

Mansfield Drive Subdivision Conceptual Plan Review Only

STAFF REPORT

October 18, 2018

SITE: Mansfield Drive – Map 147/Lot 24 – SB# 05-18

ZONING: R-1

PURPOSE OF PLAN: to subdivide one lot into eight residential building lots on an extension of existing Mansfield Drive (off of Derry Lane).

PLAN UNDER REVIEW: Subdivision Plan Mansfield Drive & Derry Lane, Hudson, NH, prepared by Maynard & Paquette Engineering Associates, LLC, 31 Quincy Street, Nashua, NH 03060, dated March 1, 2018, revised August 27, 2018, and consisting of 10 Sheets and Notes 1-18.

ATTACHMENTS:

1. Subdivision Plan, date stamped September 28, 2018 – Attachment “**A**”.
2. Applicant response to CLD/Fuss & O’Neill review comments, dated September 26, 2018, date stamped September 28, 2018 – Attachment “**B**”.
3. CLD/Fuss & O’Neill review comment memo dated April 9, 2018 – Attachment “**C**”.
4. Memo from Town Engineer, Elvis Dhima to Town Planner, Brian Groth, dated October 17, 2018 – Attachment “**D**”.

STAFF COMMENTS:

This subdivision plan was initially submitted on March 21, 2018, but staff determined that the application was not ready for Planning Board review due to the volume and nature of CLD/Fuss & O’Neill’s comments. The applicant has resubmitted a revised plan set and a memo addressing the review comments. While the resubmission is currently under review by CLD/Fuss & O’Neill, the plan is currently presented to the Board for conceptual discussion. It is anticipated that this will be on the agenda for plan acceptance and hearing at the next Planning Board meeting.

This is a proposed 8-lot subdivision for residential lots. The proposed lots will be accessed via an extension of Mansfield Drive. Public sewer and water will also be accessed via the utilities that run with Mansfield Drive.

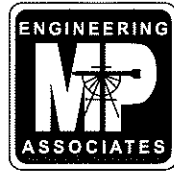
There is a proposed detention basin and an associated 30’ wide utility access easement running along the southern lot line of Map147/Lot 24.

APPLICATION TRACKING:

- 21 MARCH 2018 – Subdivision Application submitted.
- 9 APRIL 2018 – CLD/Fuss & O’Neill comments received.
- 28 SEPTEMBER 2018 – Subdivision Plan resubmitted for conceptual review and second engineering review.
- 24 OCTOBER 2018 – Conceptual Review hearing scheduled.

RECOMMENDATIONS:

For this Conceptual Review, staff recommends for the Planning Board to hold the hearing and receive input from the public. Conceptual review provides opportunity for the Board to discuss the project informally, before a formal site plan application is submitted to identify issues that may come up.



Maynard & Paquette
Engineering Associates, LLC
 Consulting Engineers and Land Surveyors
 31 Quincy Street, Nashua, NH 03060
 Phone (603)883-8433 Fax (603)883-7227
 mpeallc@aol.com

September 26, 2018

Glenn Della-Monica, Chairman
 Hudson Planning Board
 12 School Street
 Hudson, NH 03051

Mansfield Drive Subdivision
 Hudson NH (J-12,253)



Dear Chairman Della-Monica:

With regard to the CLD comments contained in their letter dated April 9, 2018, we have the following responses:

General – This is a proposed standard subdivision creating typical house lots for sale to individuals in the general public. Proposed houses, driveways and house elevations are unknown and are not required – These are determined and reviewed at the time of application for and issuance of building permits. The numerous CLD comments on this are not relevant.

Storm water calculations have been provided. Please note that the topography is fairly flat and gentle. An overall existing topo plan for the area has been provided with the calculations.

There is no “appears” – this is an 8 lot subdivision on 19.8 acres. CLD’s confusion, likely caused by the Town Engineers previous comments, is incorrect. The sewer, water, roadway and drainage for this project are and will all be public eventually becoming the Town’s responsibility for maintenance. The water is an extension of the existing Town line in Berkely Drive. Per the request of the Town Engineer the public water line will (in a later project) extend across the Town property, Map 138/lot 89 (old Circumferential Highway ROW) to the vicinity of a future proposed residential subdivision at/near lot 82/map 138 (Alvirne Drive) and lot 92/Map 28.

All proposed lots will be serviced by Town utilities and the lots will and do meet minimum requirements :

1a – Subdivision Plan sheets 2 and 3 are at 1”=50 foot scale. The comment that a master plan/overall drawing (Dwg No 1) has a scale less than 1”=50 feet is inappropriate.

1b – Noted N/A

1c – The Planning Board approval black is typically only shown on the 3 drawings to be recorded, however it has been added to the remainder of the drawings.

1d – Richard A. Maynard, manager of the Hudson Five, LLC, is the owner and will be signing the plans.

1e – comment noted

1f – vicinity plan corrected

1g – street sign and stop sign locations and note added to plans

1h – no exterior lighting proposed – note added

1i – plan updated

1j – the subject tract is lot 24, driveways shown

1k – site is essentially flat – contours and spot elevations shown are adequate

1l – comment noted

1j – driveways shown

1k – site is essentially flat – contours and elevations shown are adequate

1l – comment noted

1m – see 1k above

1n – the subdivision is for lots - houses and driveways are future building permit items when each individual new lot owner and proposed house are known

1o – future building permit matter

1p – site plan reg, not residential, not applicable

1q – future building permit issue

1r – done

1s – done

1t – done

1u – subdivision of lots only, house elevations part of future building permit

1v – easement amended

1w – comment noted, PSCo easement is predominately off site and not relevant

1x – PE on final plans



1y – submitted by letter

1z – sidewalk not desired by Road Agent and Town Engineer

1aa – phasing definitely not applicable for 8 lots, nor legally enforceable

2 a&b – this is a subdivision of lots. These comments are building permit issues

3 a – 24 foot street width approved by Road Agent and Town Engineer

3b – cul de sac length adjusted per current length interpretation

3c – cul de sac radius adjusted per current regulations

3d – L/S area added

3e – comment noted

3f – centerline curve info not relevant per modern road layout

3g – vert curves added

3h – sight distance is obviously well beyond 300 If even though Mansfield Drive is an existing ROW dedicated to the Town

3i – RADII added, this ROW pre-exists

3j – see roadway x-section detail

3k – comment noted

3l – profile adjusted

3m – ok

4a – preexisting Mansfield Drive Town ROW and Derry Lane, CB's added

4b – storm calcs provided subsequently

4c – see 4b

4d – ok

4e – ok

4f – comment noted



4g – comment noted

4h – comment noted

5a – not relevant

5b – these are future building lots and type of home will be per zoning at time of building permit

5c – all lots to be served by Town public water and sewer, recent town engineer correspondence is wrong

5d – note 12 eliminated

5e – comment noted

5f – repetitive comment, see above

5g – comment noted

6a – separation corrected

6b – PWW details added

6c – water line to be DIP

6d – GV added

6e – details added

6f – slopes are at 0.006

6g – ok

6h – will do

6i – noted

6j – same as 6i

6k – ok

6l – ok

7 – a-c erosion control sheets added to plan set. Note road and utility construction subject to erosion control



Page 5

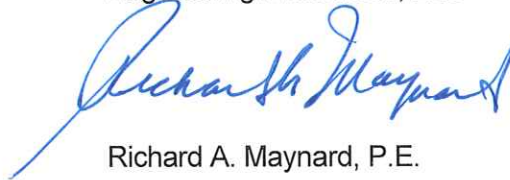
8 – no additional permits needed

9 – no stop bar needed

We trust the above responses adequately address the concerns of the reviewing firm.

Very Truly Yours,

Maynard & Paquette
Engineering Associates, LLC



Richard A. Maynard, P.E.

Encl.



Maynard & Paquette
Engineering Associates, LLC
Consulting Engineers and Land Surveyors

CLD | Fuss & O'Neill

April 9, 2018

Mr. George Theborge
Land Use Director
Town of Hudson
12 School Street
Hudson, NH 03051

Re: Town of Hudson Planning Board Review
Mansfield Drive Subdivision, Mansfield Drive & Derry Lane
Tax Map 147, Lot 024; Acct. #1350-912
CLD | Fuss & O'Neill Reference No. 03-0249.1710

Dear Mr. Theborge:

CLD | Fuss & O'Neill, Inc. has reviewed the first submission of materials related to the above-referenced project received on March 26, 2018. A list of items reviewed is enclosed. The scope of our review is based on the Subdivision Plan Review Codes, Driveway Review Codes, Stormwater Management Codes, Zoning Regulations, and criteria outlined in the CLD Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007 and September 3, 2008; modified to include a zoning overview.

We have included a copy of CLD | Fuss & O'Neill's evaluation of the checklist for your reference.

The project appears to consist of creating an eight (8)-lot residential subdivision out of a 19.84-acre existing lot. It is not clear whether the subject lots are proposed to be serviced by Town or private water and sewer. The plans do not show the source of the connection for the water supply and per Town communications the sewer service that the applicant is proposing a connection to is considered private. If the water or sewer services are not to be serviced by the Town, then several lots do not meet minimum sizing requirements.

The following items are noted:

1. Administrative and Subdivision Review Codes (HR 276 & HR 289)

- a. Hudson Regulation (HR) 276-11.1.B.(2). The applicant has included a subdivision plan sheet with a scale smaller than 50 feet to the inch.
- b. HR 276-11.1.B.(3). The applicant has not provided a revision block in the lower right-hand corner of the plans. The revision block is located along the left margin.
- c. HR 276-11.1.B.(4), 289-27.A.(3). The applicant has not included the Planning Board approval block on all plan sheets.
- d. HR 276-11.1.B.(6) and 289-26.B.(1). The applicant has not included the owner's signature on the plans.
- e. HR 276-11.1.B.(7). The applicant should review one of the labels for lot 139/89. It appears that this should be labeled 138/89.

- f. HR 276-11.1.B.(8) and 289-27.B.(10). The applicant has included a vicinity plan with a scale of one inch equals 500 feet, not one inch equals 1,000 feet as required. Also, the vicinity plan provided does not depict the proposed location.
- g. HR 276-11.1.B.(13) and 289-18.O. The applicant has not proposed any signs and has not provided the sign approval note on the plan set. At a minimum, the applicant needs to provide a street name sign at the intersection of Mansfield Drive and Derry Lane, along with appropriate sign details on the plans. Also, the applicant should review the need for a stop sign at the Derry Lane intersection.
- h. HR 276-11.1.B.(14). The applicant has not noted any proposed lighting or provided a note stating that there will be no exterior lighting.
- i. HR 276-11.1.B.(15). It does not appear as if the applicant has shown all buildings within 50 feet of the subject tract.
- j. HR 276-11.1.B.(16). The applicant has not shown all driveways located within 200 feet of the subject tract.
- k. HR 276-11.1.B.(17). The applicant has only provided existing contours in the area of the proposed road and a small portion of the proposed lots.
- l. HR 276-11.1.B.(17) and HR 289-27.B.(7). The applicant has not provided a reference to a USGS benchmark nor shown any benchmarks on the plan set.
- m. HR 276-11.1.B.(18) and 289-27.B.(3). The applicant has not shown proposed topography on the plans other than a few spot grades. We note that some of the spot grades provided do not appear to agree with the road profile.
- n. HR 276-11.1.B.(21)(b). The applicant has not shown the proposed locations of any houses or driveways on the plan set nor provided alternative proposals for consideration.
- o. HR 276-11.1.B.(22). The applicant has not shown any pavement, gravel or structures on any of the proposed lots so compliance with the Regulation could not be verified.
- p. HR 276-11.1.B.(24). The applicant did not provide any open space percentage calculations on the plans.
- q. HR 276-11.1.B.(25). The applicant has not shown any parking or travelways within the subject lots so compliance with the Regulation could not be verified.
- r. HR 276-15. The applicant has not noted the need to call DigSafe nor included their logo and/or phone number on the plan set.
- s. HR 289-4 and HR 289-28.A. The applicant has included a legend for the installation of stone bounds and iron pins but has not shown those proposed symbols on the plans. Also, the applicant should provide a detail for any stone bounds to be installed.
- t. HR 289-18.B.(5). The applicant has not proposed the required dead-end directional sign.
- u. HR 289-20.A.(1). The applicant has not provided finish floor elevations on the plan set for any proposed buildings.
- v. HR 289-21.A. The applicant has provided a copy of proposed utility easements for the subject subdivision. We note that the proposed easement area for the detention basin as described in the drainage easement does not match the dimensions shown on the plans.
- w. HR 289-26.B.(3). The applicant has shown an existing Public Service easement on Lot 24. A copy of the easement was not included in the review package.

- x. HR 289-27.B.(1). The applicant has not provided an engineer's seal on all plan sheets.
- y. HR 289-27.B.(9). The applicant has not provided a sworn statement dedicating the street and right-of-way for public use.
- z. HR 289-28.G. The applicant has not proposed a sidewalk along the roadway.
- aa. HR 289-37.A. The applicant has not included any phasing information in the subdivision submission.

2. Driveway Review Codes (HR 193-10)

- a. HR 193-10.A. The applicant has not shown the locations of any proposed driveways on the plans.
- b. The applicant has not shown any driveway grading other than as shown on the roadway cross section.

3. Roadway Design

- a. HR 289-18.B.(1) and 289-28.B.(2). The applicant has proposed a pavement width that is less than the 28 foot minimum required by the Regulation. We note that in separate correspondence the Town has accepted the proposed 24' width.
- b. HR 289-18.B.(2). When measured per the definition in the Regulation, the applicant has proposed a cul-de-sac length that is greater than the 1,000 foot maximum allowed by Regulation.
- c. HR 289-18.B.(3). The applicant has proposed a cul-de-sac Right-of-Way radius that is less than the Regulation minimum of 75'. The applicant has also proposed a minimum radius to the outside edge of pavement that is less than the Regulation minimum of 65'.
- d. HR 289-18.B.(4). The applicant has not proposed a permanent landscaped area in the center of the cul-de-sac.
- e. HR 289-18.B.(4). The applicant has not shown the intent for drainage in the center of the cul-de-sac.
- f. HR 289-18.C.(1). The applicant has not shown center line horizontal curve information on the plan set.
- g. HR 289-18.C.(2). The applicant has not shown vertical curves nor noted their proposed K-values on the plans. (The current plan appears to propose point of vertical angles.)
- h. HR 289-18.E. The applicant has not noted sight distances at the Mansfield Drive/Derry Lane intersection.
- i. HR 289-18.H. The applicant has not noted the proposed pavement radii for Mansfield Drive at the Derry Lane intersection.
- j. HR 289-28.F. The applicant has provided a curb detail that doesn't match the proposed road cross section (no crushed gravel is shown in the subbase).
- k. The applicant should provide a detail for the proposed paving and curbing tie-ins at Derry Lane.

- l. The applicant has shown on the profile that the Derry Lane centerline elevation and the area of road between the centerline and proposed road will be dropped vertically by over a quarter of a foot, but has not shown any reconstruction details on the plan set.
- m. The applicant should clarify on the plan set, the limits proposed for use of the perforated drain.

4. Drainage Design /Stormwater Management (HR 289-20.C. /Chapter 290)

- a. HR 289-20.B.(2). The applicant has not proposed the required catch basins near the corners of Mansfield Drive at the Derry Lane intersection.
- b. HR 289-20.C.(1-6) – The applicant did not provide any stormwater calculations or support materials. Closed drainage structures and piping are shown on the plans.
- c. HR 290 (Entire section) – The applicant did not provide any of the required stormwater material for review.
- d. The applicant should review the proposed rim elevation for drain manhole #4 as it does not appear to match the existing grading at this location.
- e. The applicant did not provide a detail for the proposed headwall.
- f. Although the applicant has shown a six foot deep stormwater basin, the street invert is only 3.3 feet above the bottom of the basin. Without calculations, we are unable to determine how far into the pipe the water is likely to remain.
- g. The applicant's stormwater management area is shown with angle points in the proposed grading design. Unless the feature is to be constructed using a solid material, the proposed concept will be difficult to build and maintain.
- h. The applicant should provide grading tie-in details and the proposed material design for the stormwater management area.

5. Zoning (HR 334)

- a. HR 334-14 and HR 276-11.1.B.(20). The applicant has not noted any proposed building heights on the plan set.
- b. HR 334-20. The site is located in the Residential One (R-1) and Residential Two (R-2) Districts. The plans do not indicate whether single family homes are intended for the subject lots. If single family homes are proposed, the applicant's proposed use for the site appears to be permitted in this district. Two family and multifamily homes are not permitted. The applicant should correct the zoning labels that have misnoted where the R-1 and R-2 Districts lie.
- c. HR 334-27. The applicant has proposed several lots whose size is less than the minimum required for lots without Town water or sewer. Per recent correspondence from the Town the sewer connection currently proposed is considered a private sewer system, not a Town system. The plans do not clearly indicate if the proposed water connection is public or private.
- d. HR 334-39. The applicant has shown wetlands on Lot 24 and included their square footage in the lot table on Sheet 1. We note that the applicant has also included note #12 on Sheet 1 which states that there are no wetlands on site. The applicant should address this inconsistency.
- e. HR 334-39. The applicant has not shown any wetlands buffer areas on the plans. We note that no construction activities or other impacts are currently shown for the wetlands area on Lot 24.

- f. HR 334-62. The applicant has not proposed any sign installations as a part of this project.
- g. HR 334-83. The site is not located in a designated flood hazard area. The applicant has not noted this on the plans.

6. Sewer/Water Design/Conflicts & Utility Design/Conflicts (HR 276-13.E.)

- a. The applicant has proposed water and sewer mains that have less than the minimum ten foot separation.
- b. The applicant has not provided any details for installation of the proposed water main, hydrant, valves, service lines, or other related appurtenances.
- c. The applicant has not shown the proposed material type for the water main.
- d. The applicant has proposed a hydrant installation without a separate dedicated gate valve.
- e. The applicant has not provided any details for installation of the proposed sewer main, sewer manholes, service lines, or other related appurtenances.
- f. The applicant has proposed a portion of sewer main whose slope is less than the minimum allowed by NHDES Env-Wq-700 (SMH 4 to SMH 3 on sheet 4). This sewer run is also shown on sheet 5 with different inverts and pipe slope. The applicant needs to coordinate the details between plan sheets and provide a pipe slope that meets the minimum required by the Regulation.
- g. The applicant should review the proposed rim elevations for sewer manholes as several do not appear to match the proposed or existing grading depicted on the profiles for those locations.
- h. The applicant has not provided utility crossing details in the plan set for the water and sewer mains.
- i. The applicant has not shown the proposed water main on the road profile.
- j. The applicant has not shown the water on the cross-country profile.
- k. The applicant should add the stationing to the plan views that coordinate with the cross-country utility profiles.
- l. The applicant should provide copies of the existing easements adjacent to this project that the applicant is proposing to utilize as part of the project.

7. Erosion Control/Wetland Impacts

- a. HR 290-5.K.(20). The applicant has not shown any proposed erosion control measures on the plan set.
- b. HR 290-5.K.(20). The applicant has not provided any erosion control measure details in the plan set.
- c. The Town should reserve the right to require additional erosion control measures.

8. State and Local Permits

- a. The applicant has not noted the need to acquire any permits for this project on the plan set.
- b. Additional local permitting may be required.

CLD | Fuss & O'Neill

Mr. George Theborge

CLD | Fuss & O'Neill Reference No. 03-0249.1710

April 9, 2018

Page 6 of 6

9. Other

- a. The applicant should review the need for a stop bar to be provided at the Mansfield Drive intersection with Derry Lane.

Please feel free to call if you have any questions.

Very truly yours,



Heidi J. Marshall, PE



Paul Konieczka, AICP

HJM:PK:mjt

Enclosure

cc: Town of Hudson Engineering Division – File
Maynard & Paquette Engineering Associates, LLC
31 Quincy Street
Nashua, NH 03060
Fax (603) 883-7227

Groth, Brian

From: Dhima, Elvis
Sent: Wednesday, October 17, 2018 3:27 PM
To: Groth, Brian
Subject: RE: Mansfield Drive Map147/Lot 24

Brian

Below are my comments related to this project:

1. Applicant shall state if they meet the new MS4 requirements
2. Applicant shall revise the detention basin to be located at least 15 feet away from the property line due to the proximity of the existing homes adjacent to it.
3. Applicant shall add 6 foot chain link fence around the detention basin which is shown to be 10 feet deep for safety.
4. Applicant shall revise access easement to be at least five feet away from the top of the detention basin
5. Applicant shall provide recorded access easement documents prior to the approval of this plan

Thanks

E

Elvis Dhima, P.E.
Town Engineer

Town of Hudson, NH
12 School Street
Hudson, NH 03051
Phone: (603) 886-6008
Mobile: (603) 318-8286



From: Groth, Brian
Sent: Wednesday, October 17, 2018 1:03 PM
To: Dhima, Elvis <edhima@hudsonnh.gov>
Subject: Mansfield Drive Map147/Lot 24

Elvis,

Please offer your comments regarding a proposed 100' x 50' detention basin with associated 30' access easement to be located on Map 147/Lot 24. Plan set is attached. Detention basin is shown on sheet 6.

Thank you,
Brian

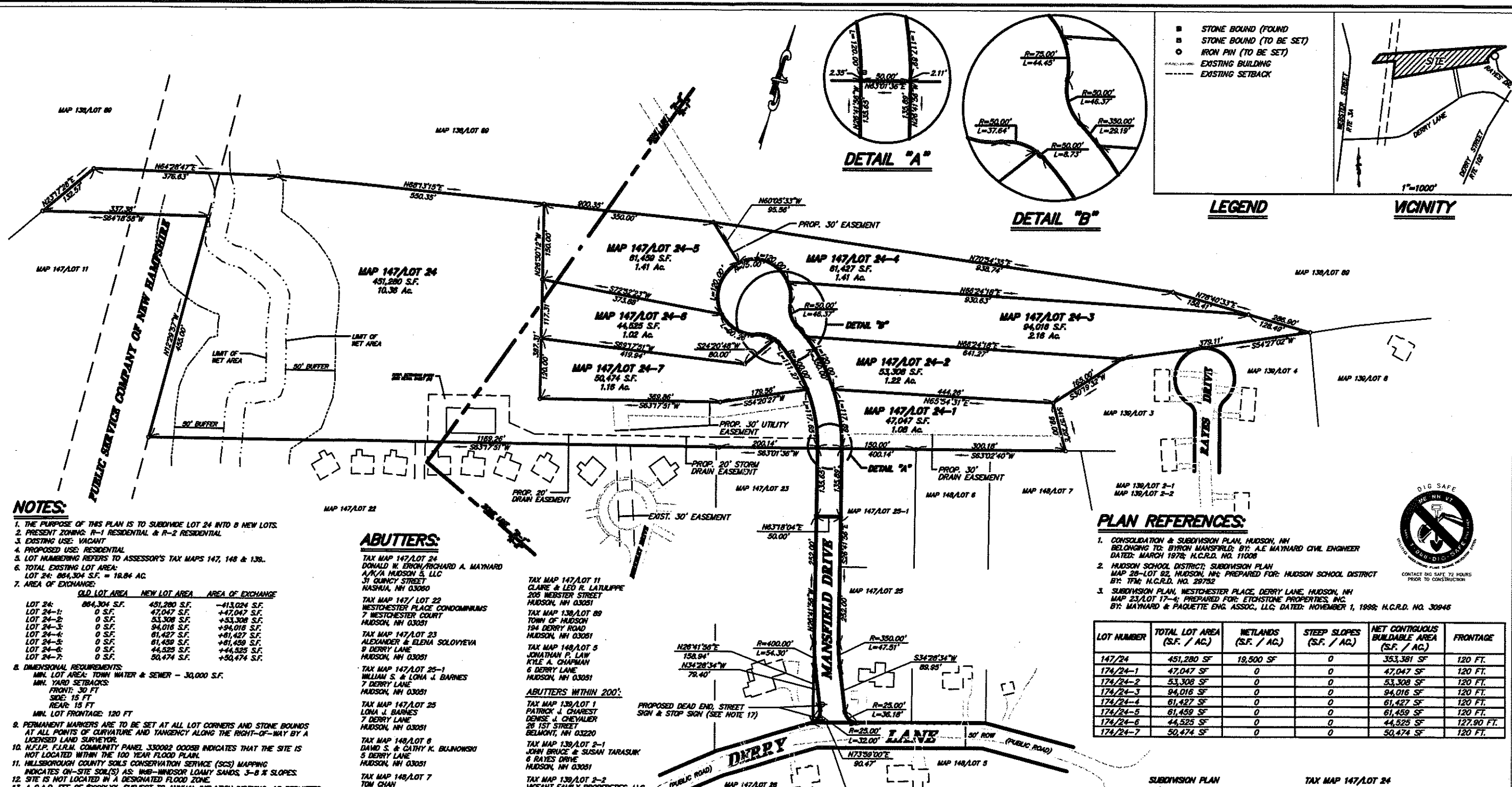
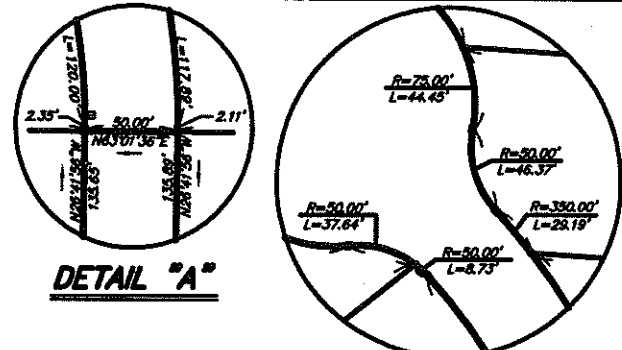
Brian Groth
Town Planner

LEGEND

- STONE BOUND (FOUND)
- STONE BOUND (TO BE SET)
- IRON PIN (TO BE SET)
- EXISTING BUILDING
- - - EXISTING SETBACK

VICINITY

1"=1000'



NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE LOT 24 INTO 8 NEW LOTS.
2. PRESENT ZONING: R-1 RESIDENTIAL & R-2 RESIDENTIAL
3. EXISTING USE: VACANT
4. PROPOSED USE: RESIDENTIAL
5. LOT NUMBERING REFERS TO ASSESSOR'S TAX MAPS 147, 148 & 139.
6. TOTAL EXISTING LOT AREA:
LOT 24: 864,304 S.F. = 19.84 AC.
7. AREA OF EXCHANGE:

LOT	OLD LOT AREA	NEW LOT AREA	AREA OF EXCHANGE
LOT 24	864,304 S.F.	451,280 S.F.	-413,024 S.F.
LOT 24-1	0 S.F.	47,047 S.F.	+47,047 S.F.
LOT 24-2	0 S.F.	53,308 S.F.	+53,308 S.F.
LOT 24-3	0 S.F.	94,016 S.F.	+94,016 S.F.
LOT 24-4	0 S.F.	61,427 S.F.	+61,427 S.F.
LOT 24-5	0 S.F.	61,459 S.F.	+61,459 S.F.
LOT 24-6	0 S.F.	44,525 S.F.	+44,525 S.F.
LOT 24-7	0 S.F.	50,474 S.F.	+50,474 S.F.

8. DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA: TOWN WATER & SEWER - 30,000 S.F.
MIN. YARD SETBACKS:
FRONT: 30 FT
SIDE: 15 FT
REAR: 15 FT
MIN. LOT FRONTAGE: 120 FT
9. PERMANENT MARKERS ARE TO BE SET AT ALL LOT CORNERS AND STONE BOUNDS AT ALL POINTS OF CURVATURE AND TANGENCY ALONG THE RIGHT-OF-WAY BY A LICENSED LAND SURVEYOR.
10. N.H.P.P. F.I.R.M. COMMUNITY PANEL J30092 0005B INDICATES THAT THE SITE IS NOT LOCATED WITHIN THE 100 YEAR FLOOD PLAIN.
11. HILLSBOROUGH COUNTY SOILS CONSERVATION SERVICE (SCS) MAPPING INDICATES ON-SITE SOIL(S) AS: HUB-WINDSOR LOAMY SANDS, 3-8 % SLOPES.
12. SITE IS NOT LOCATED IN A DESIGNATED FLOOD ZONE.
13. A C.A.P. FEE OF \$1000.00, SUBJECT TO ANNUAL INFLATION INDEXING, AS PERMITTED BY THE IMPACT FEE METHODOLOGY, SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
14. A PUBLIC SCHOOL IMPACT FEE OF \$1000.00 SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE RESIDENCE.
15. A RECREATION CONTRIBUTION OF \$1000.00 SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE RESIDENCE.
16. NO EXTERIOR, NOR STREET LIGHTING PROPOSED.
17. STREET SIGNS, DEAD END SIGNS AND STOP SIGNS PER HIGHWAY DEPT. SPECS AND ORDINANCE SECTION 289-180 AND 289-9-5, SHALL BE INSTALLED IN LOCATIONS AS NEEDED.
18. EROSION CONTROL MEASURES IF NEEDED. (SEE DWG'S. 10 & 11) TO BE INSTALLED AS DIRECTED BY THE TOWN.

ABUTTERS:

- TAX MAP 147/LOT 24
DONALD W. ERION/RICHARD A. MAYNARD
A/K/A HUDSON FIVE, LLC
31 QUINCY STREET
NASHUA, NH 03060
- TAX MAP 147/ LOT 22
WESTCHESTER PLACE CONDOMINIUMS
7 WESTCHESTER COURT
HUDSON, NH 03051
- TAX MAP 147/LOT 23
ALEXANDER & ELENA SOLOVYEVA
9 DERRY LANE
HUDSON, NH 03051
- TAX MAP 147/LOT 25-1
WILLIAM S. & LONA J. BARNES
7 DERRY LANE
HUDSON, NH 03051
- TAX MAP 147/LOT 25
LONA J. BARNES
7 DERRY LANE
HUDSON, NH 03051
- TAX MAP 148/LOT 6
DAVID S. & CATHY K. BUNOWSKI
5 DERRY LANE
HUDSON, NH 03051
- TAX MAP 148/LOT 7
TOM CHAN
P.O. BOX 1023
HUDSON, NH 03051
- TAX MAP 147/LOT 4
GREGORIO & WENDY L. WRIGHT
2 PINWOOD ROAD
HUDSON, NH 03051
- TAX MAP 139/LOTS 3 & 8
RACHEL A. FRANCOEUR TRUSTEE
FRANCOEUR REVOCABLE TRUST
23 WOODCREST DRIVE
HUDSON, NH 03051
- TAX MAP 147/LOT 26
JOHN VINCENT O'BRIEN
9 DERRY LANE
HUDSON, NH 03051
- TAX MAP 147/LOT 11
CLAIRE & LEO R. LATULIPPE
205 WEBSTER STREET
HUDSON, NH 03051
- TAX MAP 139/LOT 89
7 WESTCHESTER COURT
HUDSON, NH 03051
- TAX MAP 147/LOT 23
154 DERRY ROAD
HUDSON, NH 03051
- TAX MAP 148/LOT 5
JONATHAN P. LAW
KYLE A. CHAPMAN
6 DERRY LANE
HUDSON, NH 03051
- TAX MAP 139/LOT 1
PATRICK J. CHAREST
DENISE J. CHEVALIER
26 1ST STREET
BELMONT, NH 03220
- TAX MAP 148/LOT 2-1
JOHN BRUCE & SUSAN TARASUK
6 RATES DRIVE
HUDSON, NH 03051
- TAX MAP 139/LOT 2-2
WAGANT FAMILY PROPERTIES, LLC
5 MOOKINGBARD LANE
HUDSON, NH 03051
- TAX MAP 147/LOT 10-3
DARRI S. WEGGERS
2 PINWOOD ROAD
HUDSON, NH 03051
- TAX MAP 147/LOT 9
PAUL V. & ANIKA J. POMEROY
219 WEBSTER STREET
HUDSON, NH 03051
- ENGINEER:**
MAYNARD & PAQUETTE ENG. ASSOC., LLC
31 QUINCY STREET
NASHUA, NH 03060

PLAN REFERENCES:

1. CONSOLIDATION & SUBDIVISION PLAN, HUDSON, NH BELONGING TO: BYRON MANSFIELD; BY: A.E. MAYNARD CIVIL ENGINEER DATED: MARCH 1978; H.C.R.D. NO. 11006
2. HUDSON SCHOOL DISTRICT; SUBDIVISION PLAN MAP 28-LOT 82, HUDSON, NH; PREPARED FOR: HUDSON SCHOOL DISTRICT BY: TM; H.C.R.D. NO. 28752
3. SUBDIVISION PLAN, WESTCHESTER PLACE, DERRY LANE, HUDSON, NH MAP 23/LOT 17-4; PREPARED FOR: ETONSTONE PROPERTIES, INC. BY: MAYNARD & PAQUETTE ENG. ASSOC., LLC; DATED: NOVEMBER 1, 1998; H.C.R.D. NO. 30946

LOT NUMBER	TOTAL LOT AREA (S.F. / AC.)	WETLANDS (S.F. / AC.)	STEEP SLOPES (S.F. / AC.)	NET CONTIGUOUS BUILDABLE AREA (S.F. / AC.)	FRONTAGE
147/24	451,280 SF / 10.26 AC.	19,500 SF / 0.45 AC.	0	353,381 SF / 8.05 AC.	120 FT.
174/24-1	47,047 SF / 1.07 AC.	0	0	47,047 SF / 1.07 AC.	120 FT.
174/24-2	53,308 SF / 1.21 AC.	0	0	53,308 SF / 1.21 AC.	120 FT.
174/24-3	94,016 SF / 2.14 AC.	0	0	94,016 SF / 2.14 AC.	120 FT.
174/24-4	61,427 SF / 1.40 AC.	0	0	61,427 SF / 1.40 AC.	120 FT.
174/24-5	61,459 SF / 1.40 AC.	0	0	61,459 SF / 1.40 AC.	120 FT.
174/24-6	44,525 SF / 1.01 AC.	0	0	44,525 SF / 1.01 AC.	127.90 FT.
174/24-7	50,474 SF / 1.15 AC.	0	0	50,474 SF / 1.15 AC.	120 FT.

APPROVED BY THE HUDSON, N.H. PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE: _____
DATE: _____

I CERTIFY THAT THIS PLAN WAS PREPARED FROM A FIELD SURVEY LAST MADE ON THE GROUND ON OCTOBER 2017, HAVING A MAXIMUM ERROR OF CLOSURE OF 1:10,000.

DONALD W. ERION/RICHARD A. MAYNARD
A/K/A HUDSON FIVE, LLC
DATE: _____

Subdivision Plan
TAX MAP 147/LOT 24
MANSFIELD DRIVE & DERRY LANE
HUDSON, NEW HAMPSHIRE

PREPARED FOR:
HUDSON FIVE, LLC
31 QUINCY STREET
NASHUA, NH 03060

DATE: MARCH 1, 2018

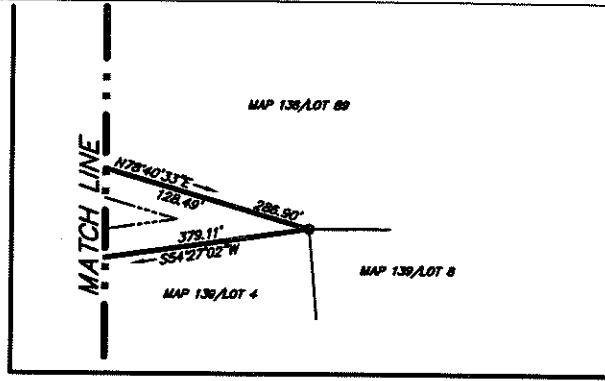
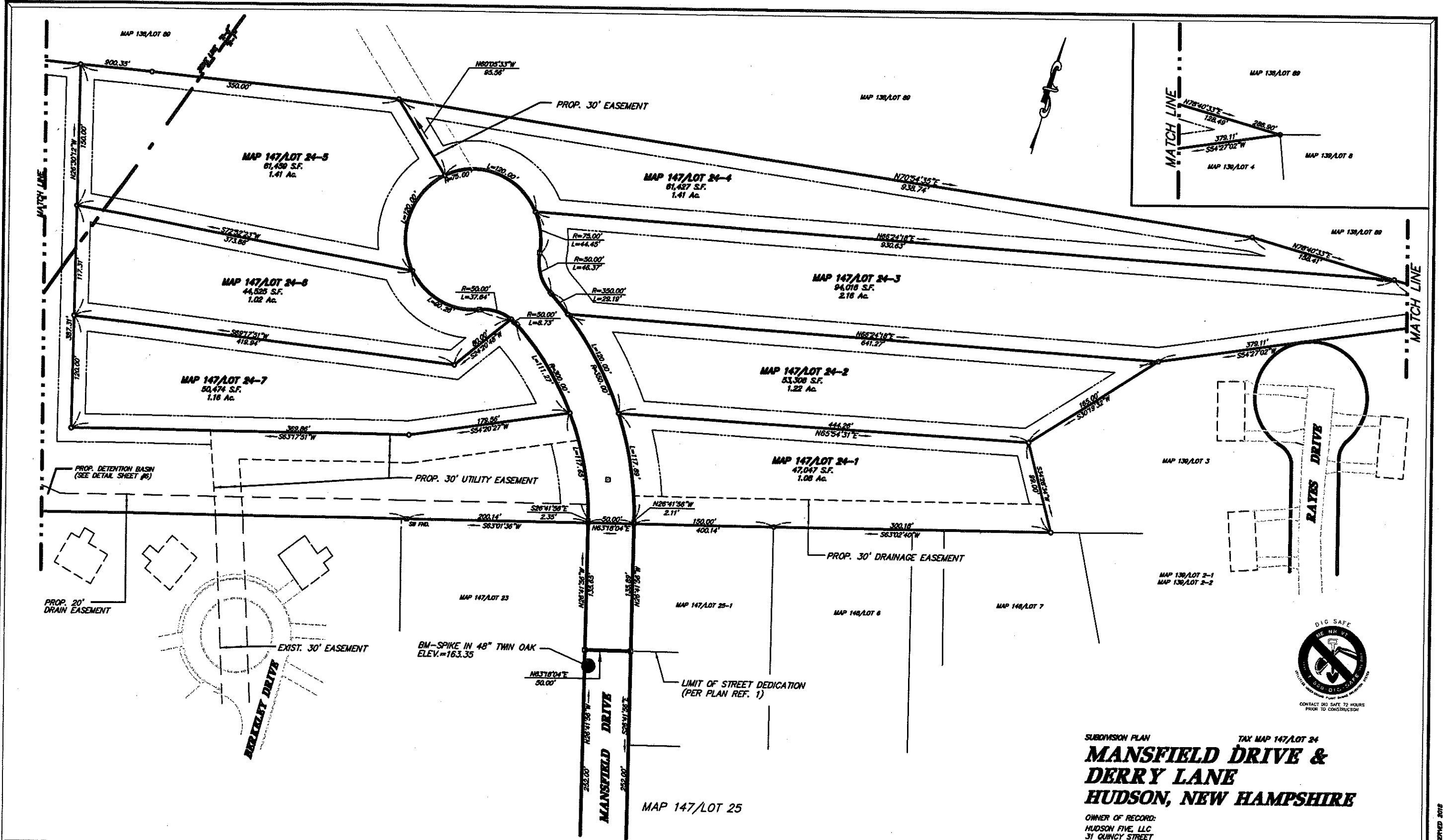
SCALE: 1" = 100'

Maynard & Paquette
Engineering Associates, LLC
Consulting Engineers and Land Surveyors
31 Quincy Street, Nashua, NH 03060
Phone: (603)883-8433 Fax: (603)883-7227

SEP 28 2018

PLANNING DEPARTMENT

KPM	APB	12253
REVISION	DATE	BY



NO.	DATE	REVISIONS PER OLD FORM OF HUDSON REVIEW COMMENTS
1	3/27/2018	APR BY

APPROVED BY THE HUDSON, N.H. PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE DATE: _____

SIGNATURE DATE: _____

SUBDIVISIONS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING
FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT
CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS, AND CHANGES TO
THE ZONING ORDINANCE, SEE N.H. RSA 674:30

I CERTIFY THAT THIS PLAN WAS PREPARED FROM
A FIELD SURVEY LAST MADE ON THE GROUND
ON OCTOBER 2017, HAVING A MAXIMUM ERROR OF
CLOSURE OF 1:10,000.

SUBDIVISION PLAN TAX MAP 147/LOT 24
**MANSFIELD DRIVE &
DERRY LANE**
HUDSON, NEW HAMPSHIRE

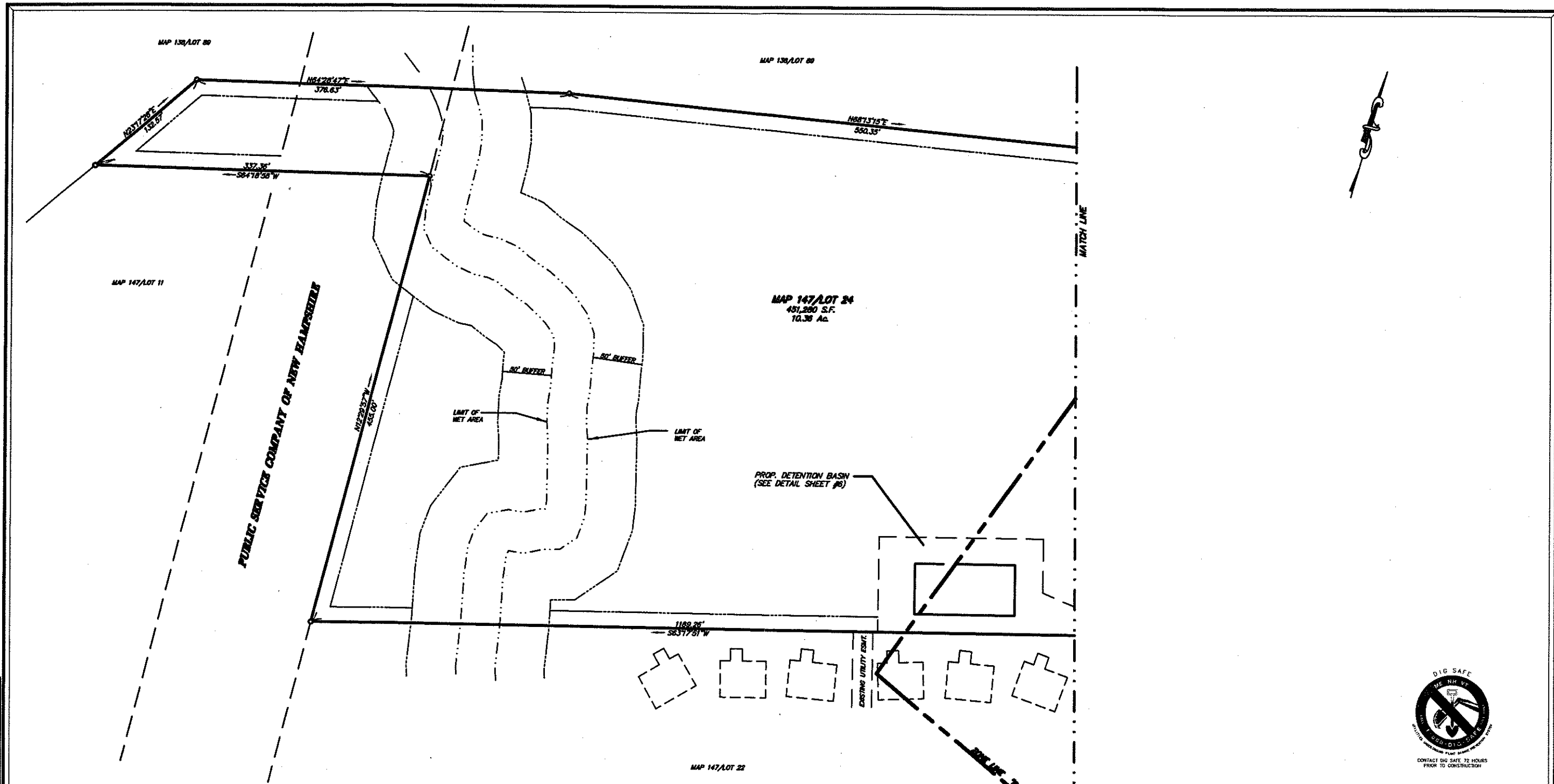
OWNER OF RECORD:
HUDSON FIVE, LLC
31 QUINCY STREET
NASHUA, NH 03060

SCALE: 1" = 50' DATE: MARCH 1, 2018

MP **Maynard Paquette**
Engineering Associates, LLC
Consulting Engineers and Land Surveyors
31 Quincy Street, Nashua, N.H. 03060
Phone: (603)883-8433 Fax: (603)883-7227



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SUBDIVISION PLAN TAX MAP 147/LOT 24
MANSFIELD DRIVE & DERRY LANE
HUDSON, NEW HAMPSHIRE

OWNER OF RECORD:
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 31 QUINCY STREET
 NASHUA, NH 03060

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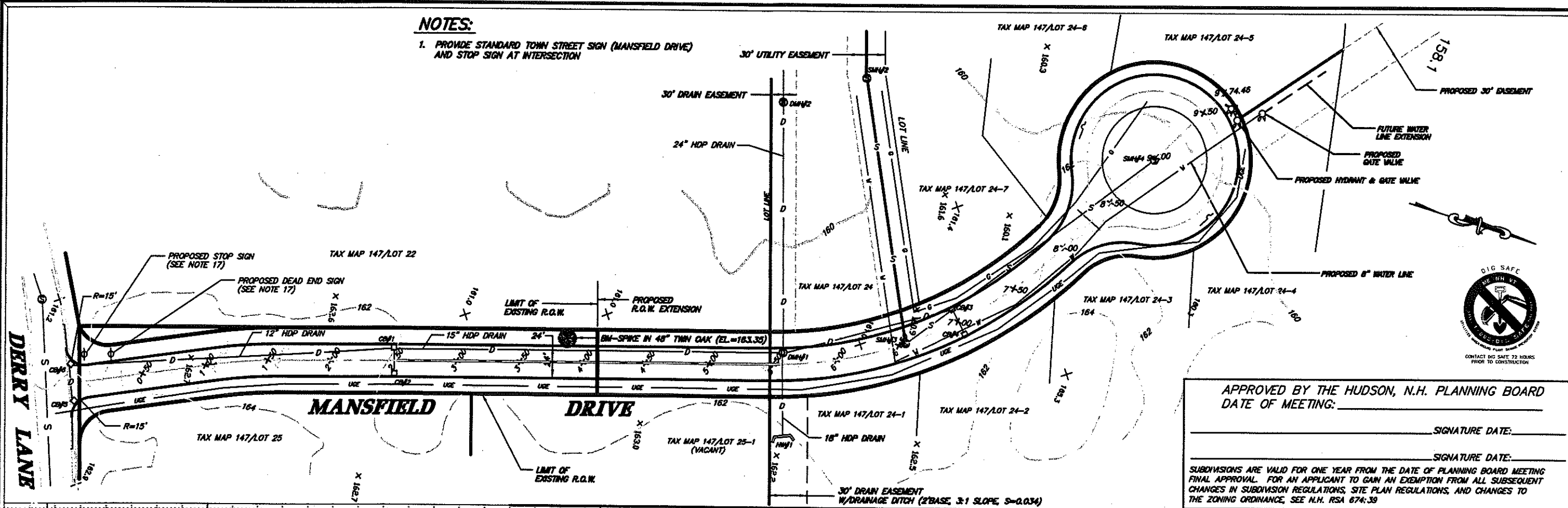


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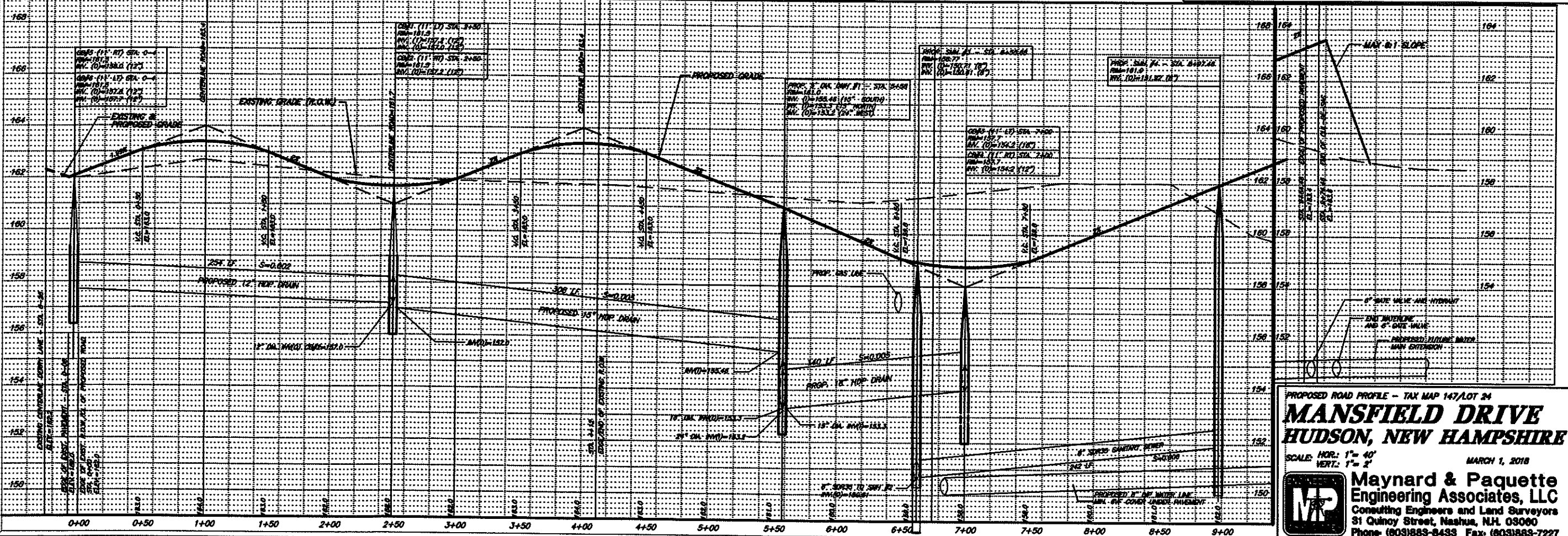
NOTES:

1. PROVIDE STANDARD TOWN STREET SIGN (MANSFIELD DRIVE) AND STOP SIGN AT INTERSECTION



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 SIGNATURE: _____ DATE: _____

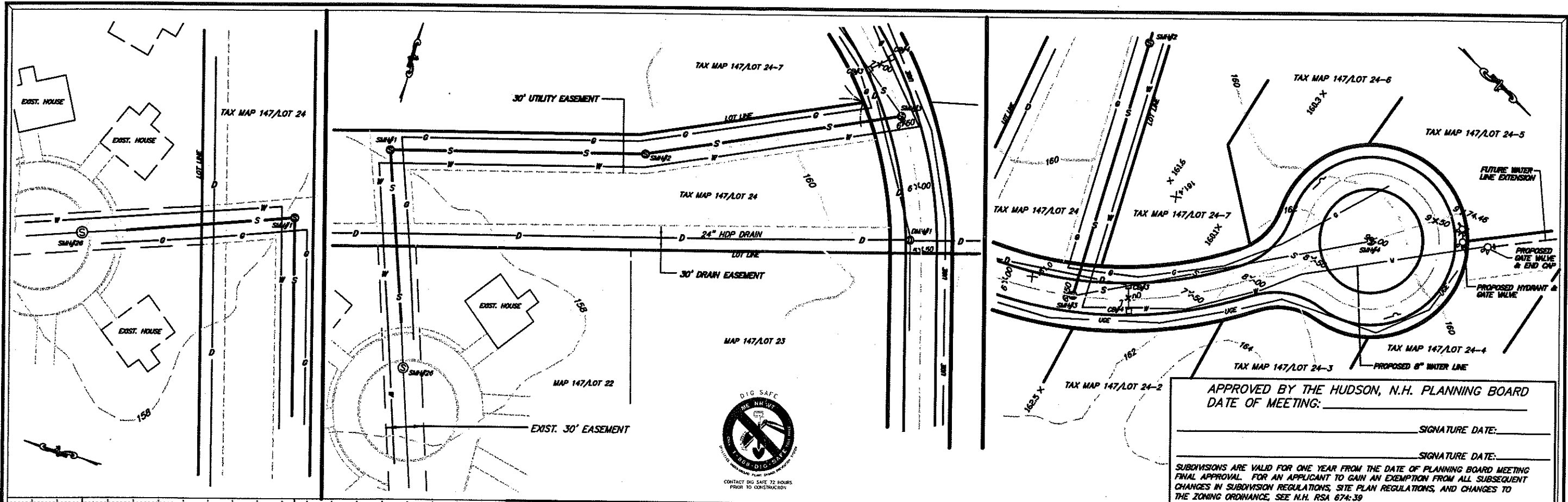
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PROPOSED ROAD PROFILE - TAX MAP 147/LOT 24
MANSFIELD DRIVE
HUDSON, NEW HAMPSHIRE
 SCALE: HOR: 1" = 40'
 VERT: 1" = 2'
 MARCH 1, 2018
Maynard & Paquette
 Engineering Associates, LLC
 Consulting Engineers and Land Surveyors
 31 Quinoy Street, Nashua, N.H. 03060
 Phone: (603)863-8433 Fax: (603)863-7227

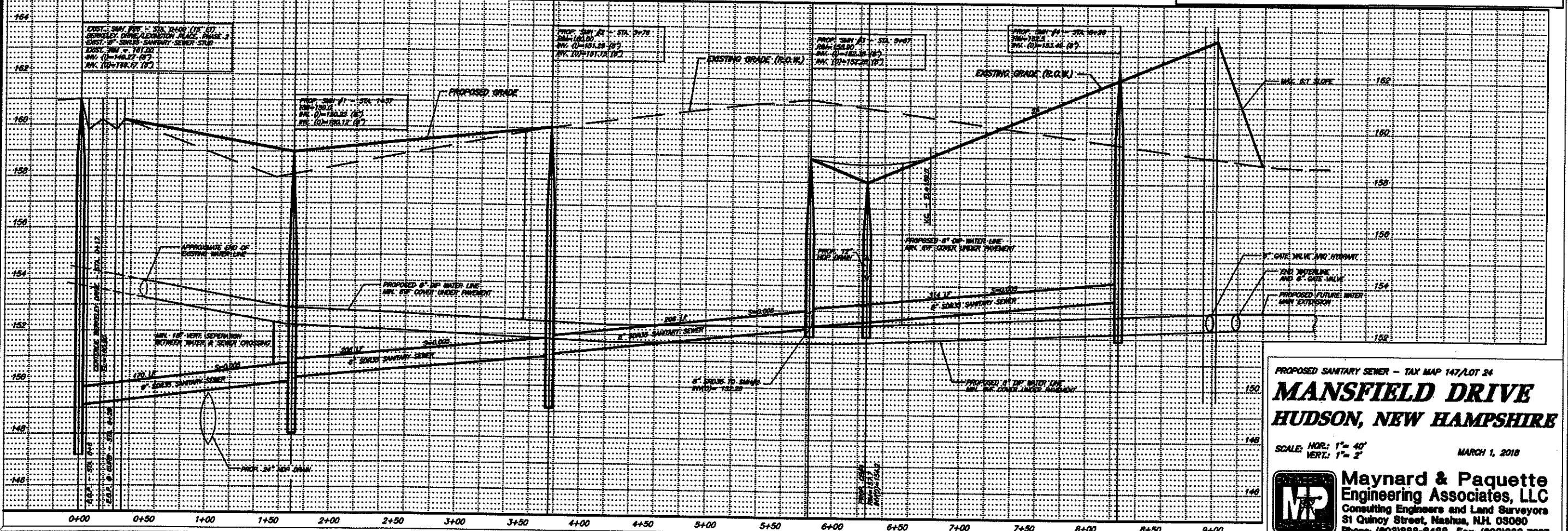
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PROPOSED SANITARY SEWER - TAX MAP 147/LOT 24
MANSFIELD DRIVE
HUDSON, NEW HAMPSHIRE

SCALE: HOR: 1" = 40'
 VERT: 1" = 2'

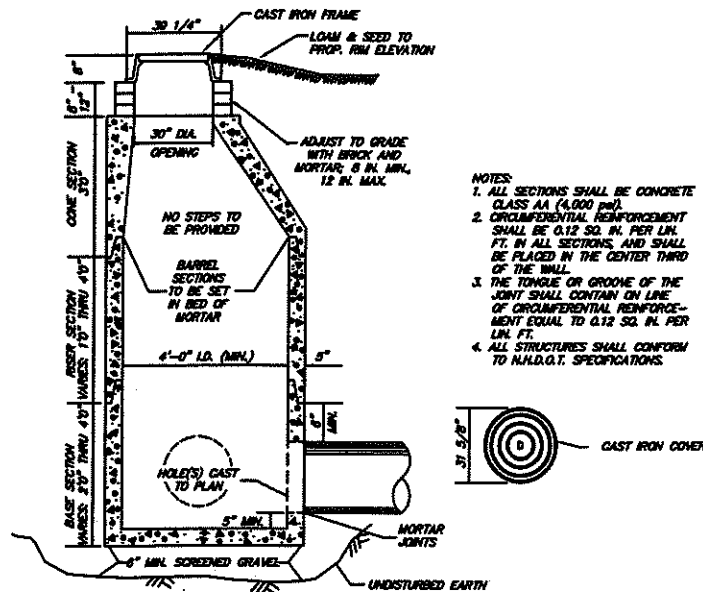
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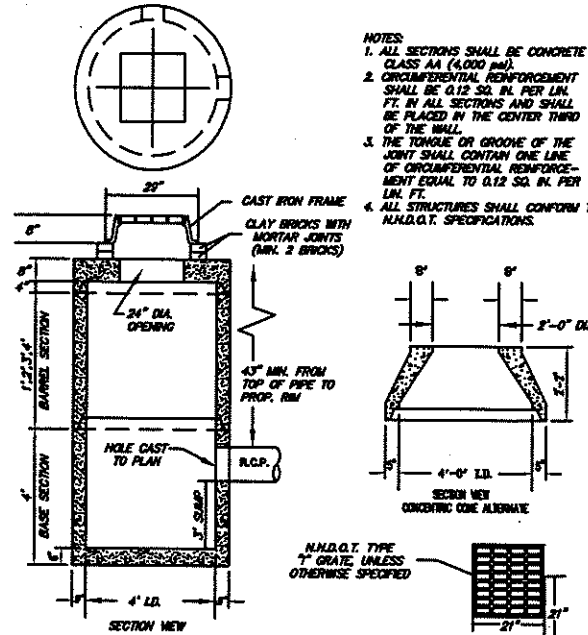
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3	3/1/2018	DATE
4	3/1/2018	DATE
5	3/1/2018	DATE
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7	3/1/2018	DATE
8	3/1/2018	DATE
9	3/1/2018	DATE
10	3/1/2018	DATE

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				JOB NUMBER

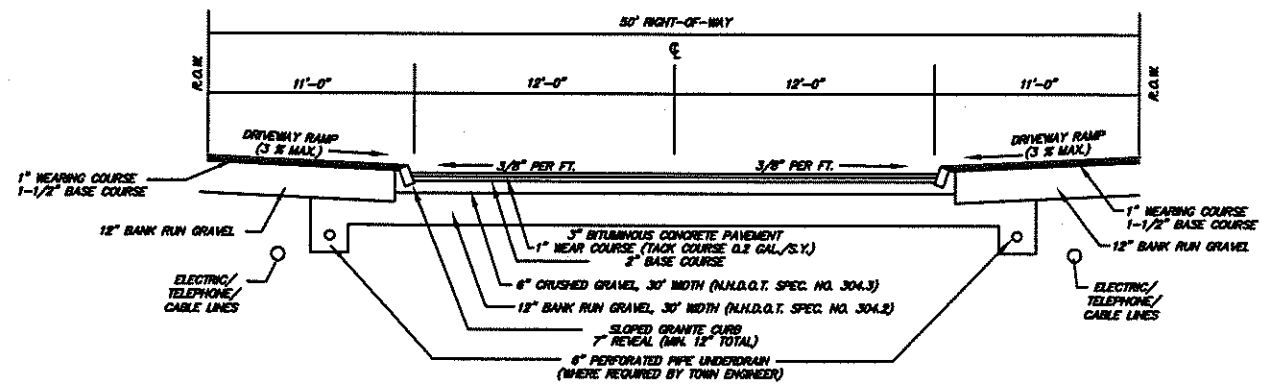
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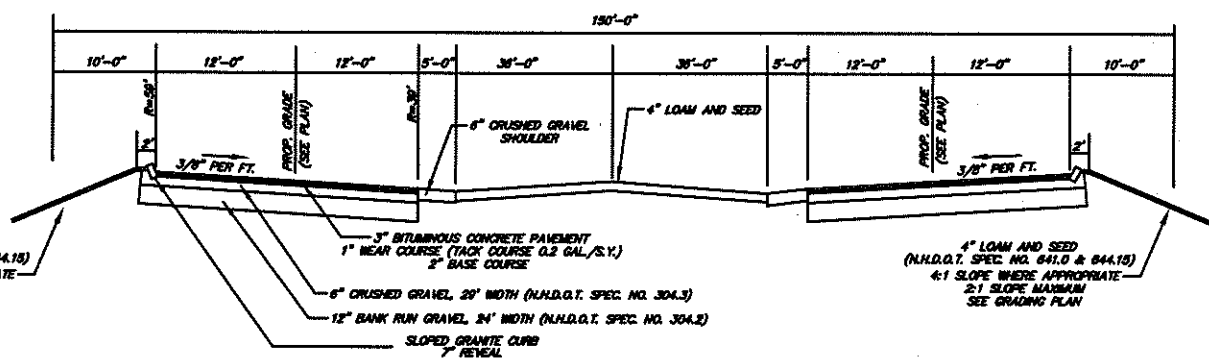
NOTES:
 1. ALL SECTIONS SHALL BE CONCRETE CLASS AA (4,000 PSI).
 2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LIN. FT. IN ALL SECTIONS, AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
 3. THE TONGUE OR GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LIN. FT.
 4. ALL STRUCTURES SHALL CONFORM TO N.H.D.O.T. SPECIFICATIONS.



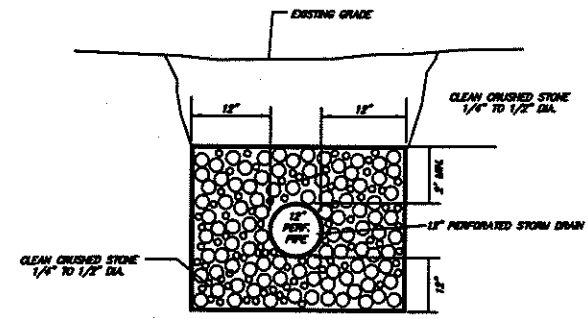
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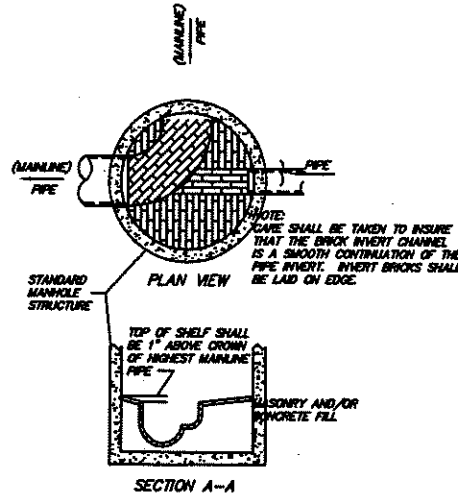
ROADWAY CROSS SECTION
N.T.S.



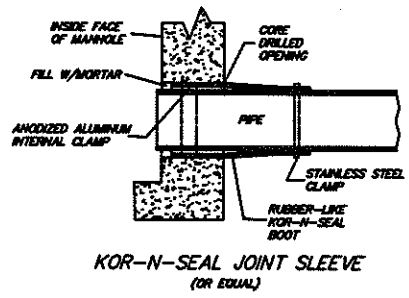
TYP. ROADWAY CROSS SECTION AT CUL-DE-SAC
N.T.S.



PERFORATED STORM DRAIN
N.T.S.



NOTES: STANDARD MANHOLE
 1.0 INVERTS AND SHELVESS MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.



NOTES: MANHOLE DETAILS
 1) ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.
 2) FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY. APPROVED BITUMASTIC SEALANTS: RAM-SEAL KENT SEAL NO. 2
 3) PIPE TO MANHOLE JOINTS SHALL BE AS FOLLOWS:
 (A) ELASTOMERIC RUBBER SLEEVE WITH WATER TIGHT JOINTS AT THE MANHOLE OPENING AND PIPE SURFACES.
 (B) JOINTS AT THE MANHOLE MAY BE CAST INTO WALL OR SECURED WITH STAINLESS STEEL CLAMPS. JOINTS AT THE PIPE SHALL BE SECURED WITH STAINLESS STEEL CLAMPS.
 (C) ELASTOMERIC SEALING RING CAST IN THE MANHOLE CROWN WITH SEAL FORMED ON THE SURFACE OF THE PIPE BY COMPRESSION OF THE RING.
 (D) NON-SHRINK GROUTED JOINTS WHERE WATER TIGHT BONDING TO THE MANHOLE AND PIPE CAN BE OBTAINED.

SANITARY MH INVERT CHANNEL AND PIPE SLEEVE
N.T.S.

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CONSTRUCTION DETAILS - TAX MAP 147/LOT 24
MANSFIELD DRIVE
HUDSON, NEW HAMPSHIRE

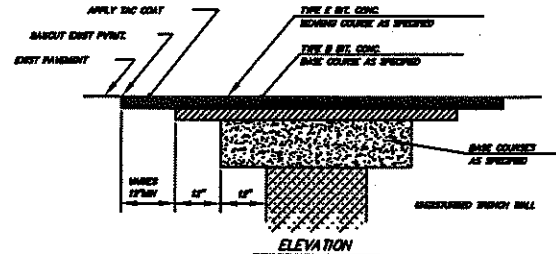
SCALE: N.T.S. MARCH 1, 2018

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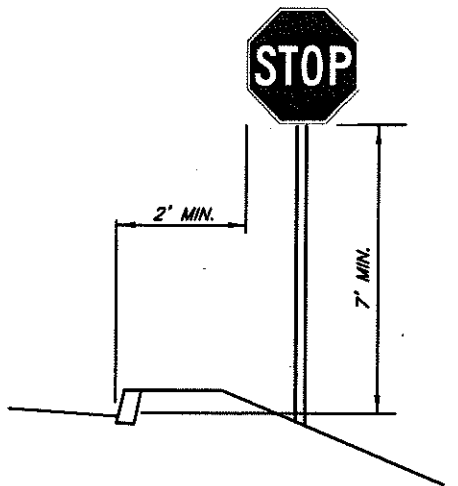
NOTE: SURFACE CONNECTION IN EXISTING PAVED PUBLIC ROW

- 1.0 GENERAL
- 1.1 CONTRACTOR IS RESPONSIBLE TO HAVE ALL PROPER NOTIFICATIONS TO UTILITIES AND OTHER RELATED PARTIES FROM GOVERNMENTAL AGENCIES IN CHARGE OF THE PUBLIC RIGHT-OF-WAY TO BE OBTAINED PRIOR TO START OF CONSTRUCTION.
- 2.0 CUTTING AND REPAIRING PAVEMENT
- 2.1 PAVEMENT REMOVAL SHALL BE APPROVED.
- 2.2 PAVEMENT AREAS OF THE EXCAVATION SHALL BE SAW CUT BEFORE BEGINNING AND REPAIRING IT WITHIN THE EXCAVATION LIMITS.
- 2.3 SAWING AND PAVEMENT REMOVAL SHALL BE DONE SO AS TO PRODUCE CLEAN, UNIFORM, VERTICAL EDGES WITHOUT DAMAGE TO THE REMAINING PAVEMENT AND/OR UNDERDRYNS BY TRUCK EXCAVATION.
- 2.4 CONTRACTOR SHALL FURNISH PUT IN PLACE, AND MAINTAIN CURBS AND BRACKS IF NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO PREVENT LOSS OF GROUND WHICH COULD DAMAGE OR DESTROY ANY OF EXISTING ADJACENT STRUCTURES OR CAUSE UNDERSHOOTS OF EXISTING PAVEMENT.
- 2.5 ALL DISPOSABLE STOPS SHALL BE GIVEN BY CONTRACTOR TO MAINTAIN THE TRAFFIC.
- 4.0 PIPE INSTALLATION AND BEDDING
- 4.1 PERMIT TO PLACE FOR SIZE AND MATERIAL OF PIPE AND STANDARD TRINCH SECTION DETAIL PER DESIGN.
- 6.0 BACKFILL
- 6.1 AS SOON AS PRACTICABLE AFTER THE PIPE HAS BEEN LAID, COVER, PROPERLY BEDDED (AND TESTED, IF REQUIRED), BACKFILLING SHALL BEGIN AND BACKFILLER BE PROVIDED.
- 6.2 BACKFILL OF THE REMAINDER OF THE TRINCH TO BE IN ACCORDANCE WITH THE STANDARD TRINCH SECTION DETAIL.
- 6.3 PAVEMENT REPLACEMENT

- 4.1 NO PERMANENT PAVEMENT SHALL BE PLACED OVER A BACKFILLED TRINCH UNTIL 90 DAYS AFTER COMPLETION OF THE BACKFILLING UNLESS PERMITTED TO DO SO IN WRITING BY THE TOWN/CITY ENGINEER. REPAIRS MAY BE GRANTED FOR A LOWER RISE OF THE TOWN/CITY ENGINEER'S OFFICE.
 - 4.2 CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN APPROVAL OF QUALIFIED FACILITY TO SUPPLY PERMANENT STABILIZED PAVEMENT MATERIAL FROM TOWN/CITY ENGINEER PRIOR TO START OF PAVEMENT REPLACEMENT.
 - 4.3 THE PERMANENT PAVEMENT SHALL CONSIST OF A 2 INCH BASE COURSE OF TYPE B AND 1 INCH COURSE OF TYPE C HOT BITUMEN PAVEMENT MIXTURE LISTED BELOW.
- | PERCENTAGE BY WEIGHT PASSING - COMBINED GRANULAR BASE COURSE | TYPE B | | TYPE C | |
|--------------------------------------------------------------|--------|-----|--------|-----|
| | MIN | MAX | MIN | MAX |
| 3/4" | 80 | 100 | 80 | 100 |
| 1/2" | 20 | 80 | 20 | 100 |
| 3/8" | 10 | 70 | 10 | 100 |
| NO. 10 | 5 | 50 | 5 | 100 |
| NO. 20 | 3 | 30 | 3 | 100 |
| NO. 40 | 2 | 20 | 2 | 100 |
| NO. 60 | 1 | 15 | 1 | 100 |
| NO. 80 | 1 | 10 | 1 | 100 |
| NO. 100 | 0 | 5 | 0 | 100 |
- 6.4 THE WEARING COURSE SHALL BE ROLLED UNTIL INDIVIDUALLY COMPACTED BY A ROLLER BEHIND APPROXIMATELY 1/2 IN. TOL, BUT NOT HEAVY ENOUGH TO DAMAGE THE EXISTING ADJACENT PAVEMENT.

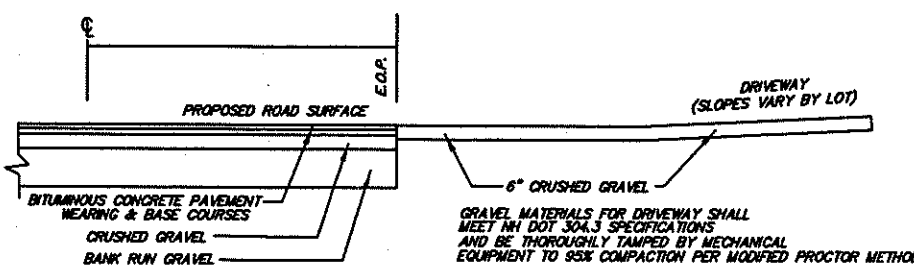
PAVEMENT PATCH DETAIL WITHOUT OVERLAY

- N.T.S. -



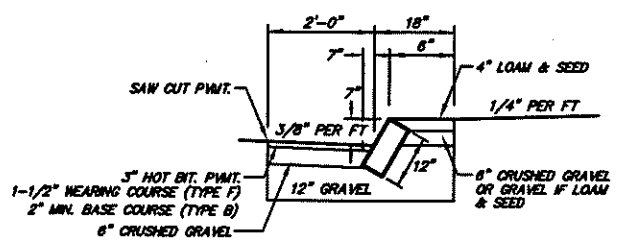
STOP SIGN DETAIL

N.T.S.



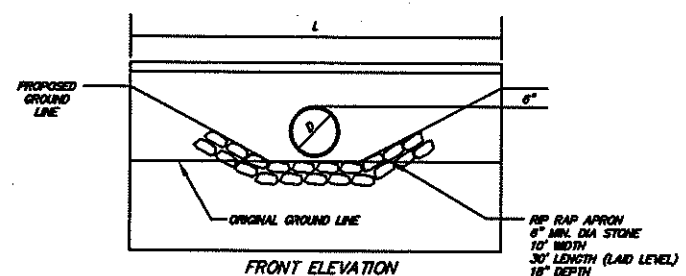
TYPICAL DRIVEWAY SECTION

N.T.S.

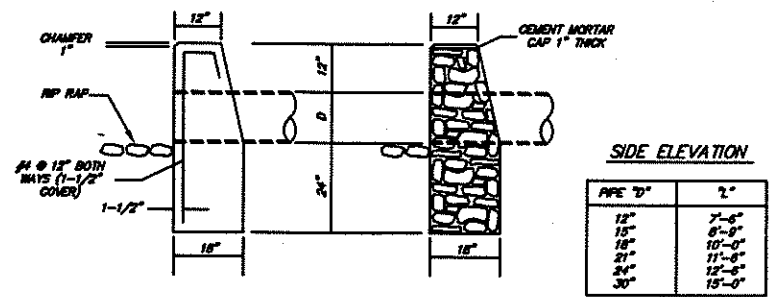


SLOPED GRANITE CURB DETAIL

N.T.S.



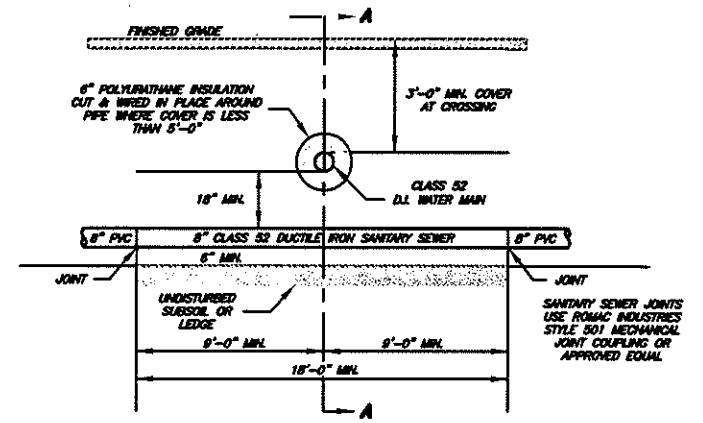
FRONT ELEVATION



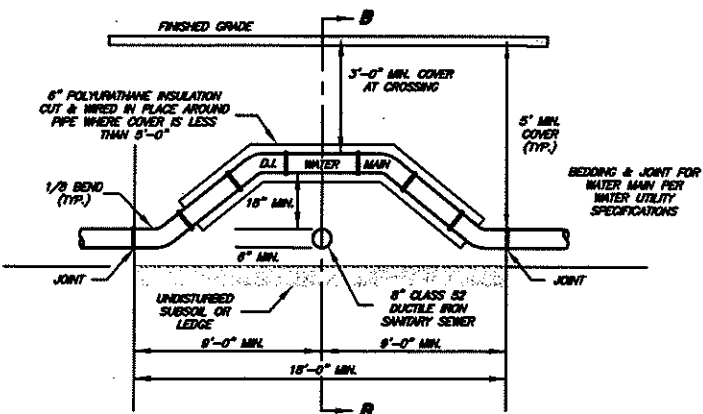
SIDE ELEVATION

FIELD STONE MASONRY & CONCRETE HEADWALL

N.T.S.



SECTION B-B



SECTION A-A

- NOTES:
1. THE CONTRACTOR SHALL CONTACT "DIG SAFE" TO HAVE ALL EXISTING UTILITIES LOCATED AT LEAST 72 HOURS PRIOR TO CONSTRUCTION WITHIN A PUBLIC RIGHT-OF-WAY.
 2. A 10 FOOT HORIZONTAL SEPARATION BETWEEN WATER LINE AND SANITARY SEWER LINE OR 18 INCH VERTICAL SEPARATION ON CROSSINGS ARE REQUIRED.
 3. WHICHEVER A SANITARY SEWER LINE CROSSES A WATER LINE WITHIN 18 INCHES OF VERTICAL ELEVATION, THE SEWER LINE SHALL BE CLASS 52 DUCTILE IRON FOR A MINIMUM DISTANCE OF 9 FEET EACH SIDE OF THE CROSSING. THE SEWER SHALL ALSO MEET THE REQUIREMENTS OF EN-105 220.00(4)(2), WHICH STATES THAT THERE BE NO LEAKAGE AT 25 PSI AT THE WATER/SEWER CROSSING.
 4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CURRENT CITY/TOWN SPECIFICATIONS.

SEWER-WATER CROSSING

N.T.S.

CONSTRUCTION DETAILS - TAX MAP 147/LOT 24
MANSFIELD DRIVE
HUDSON, NEW HAMPSHIRE

SCALE: N.T.S. MARCH 1, 2018

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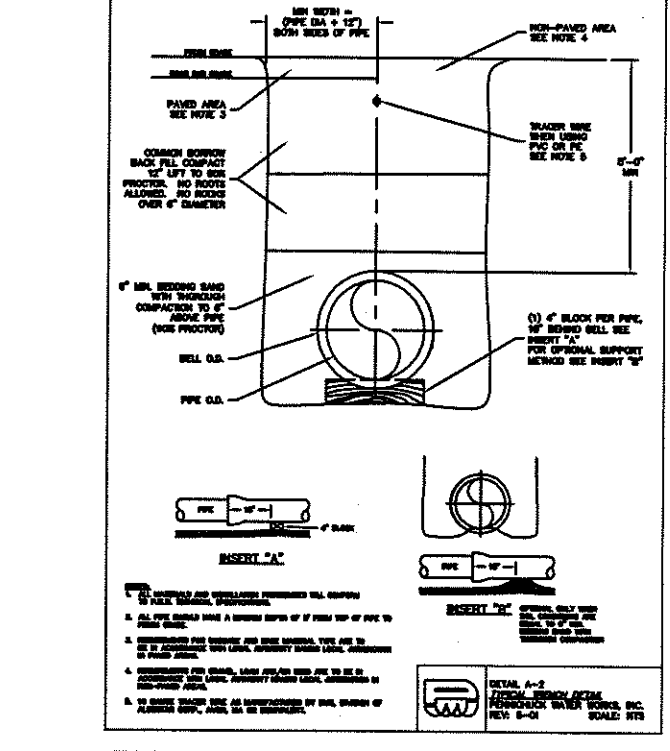
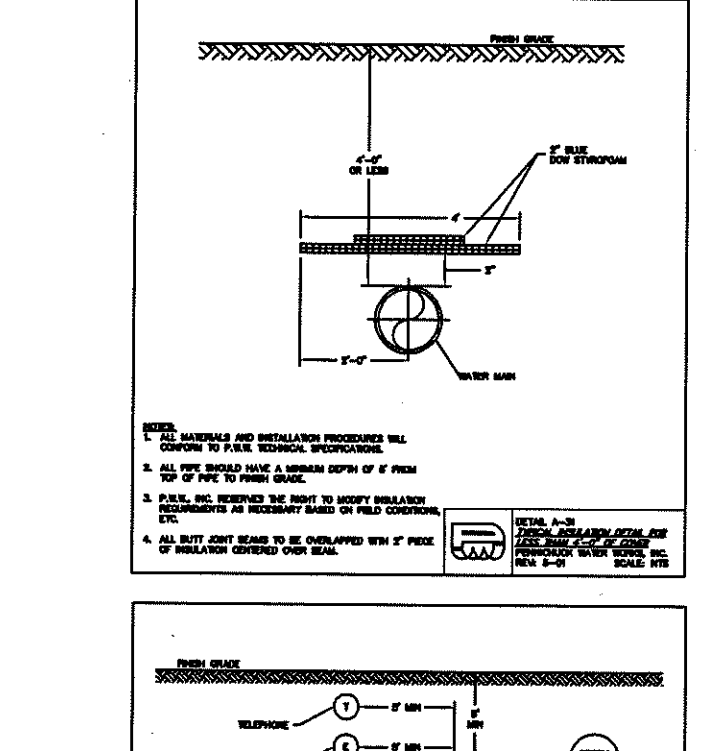
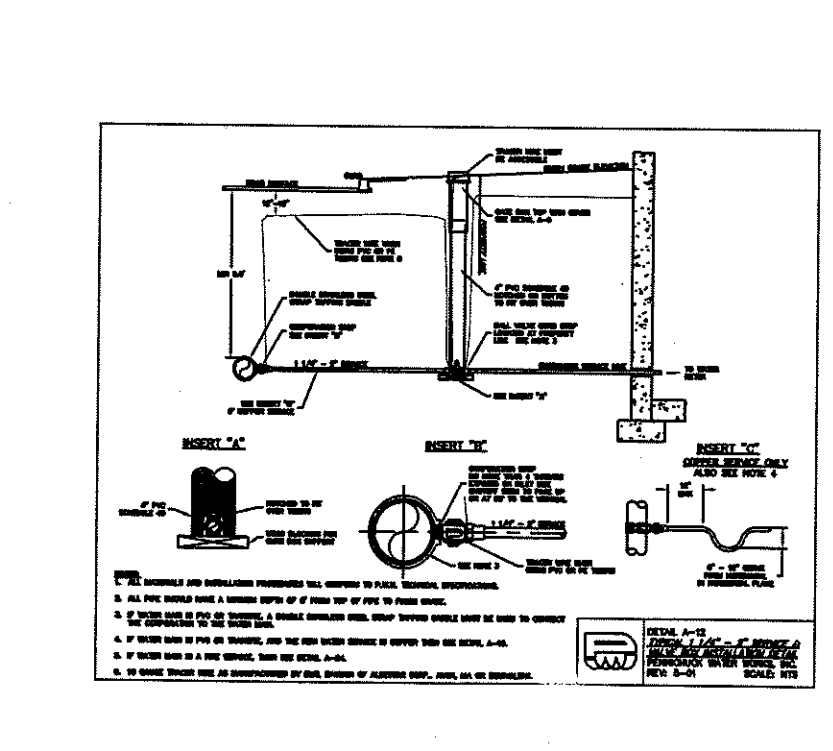
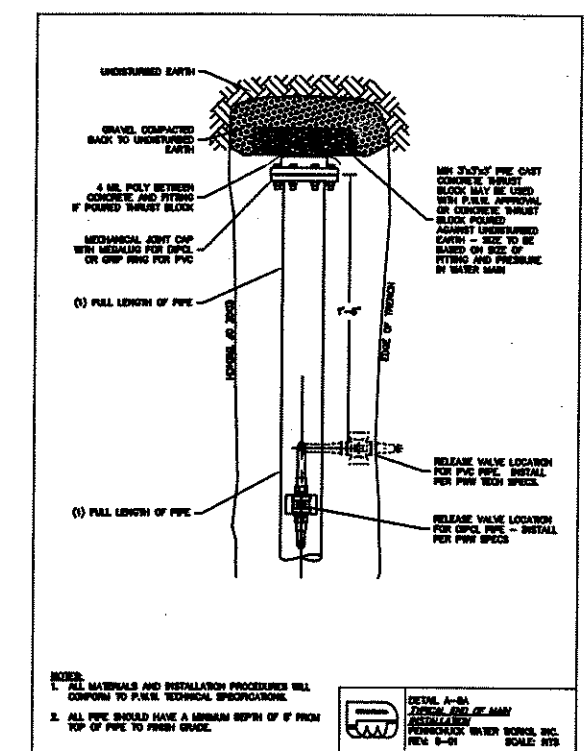
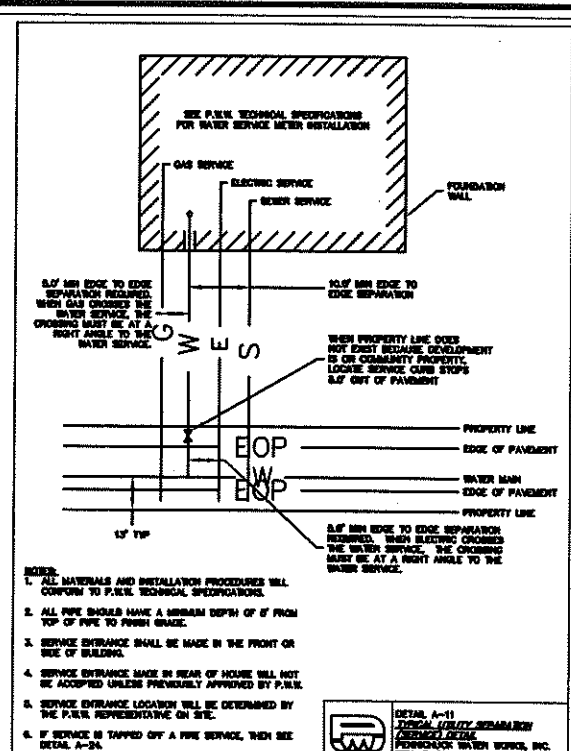
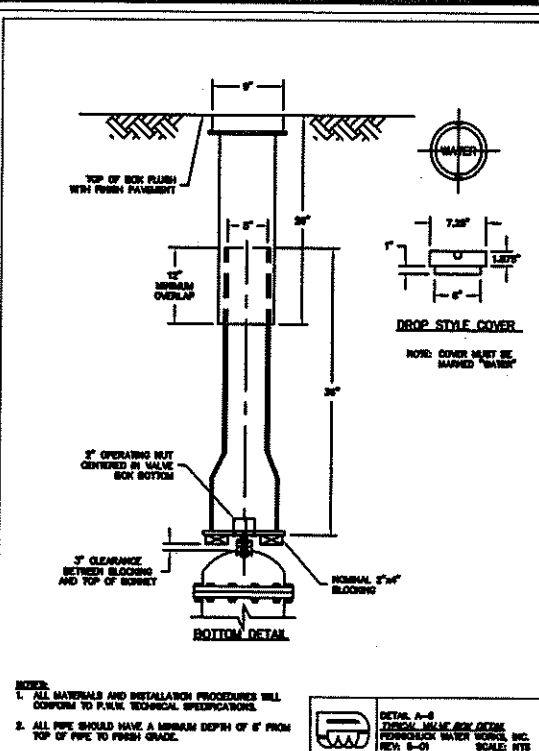
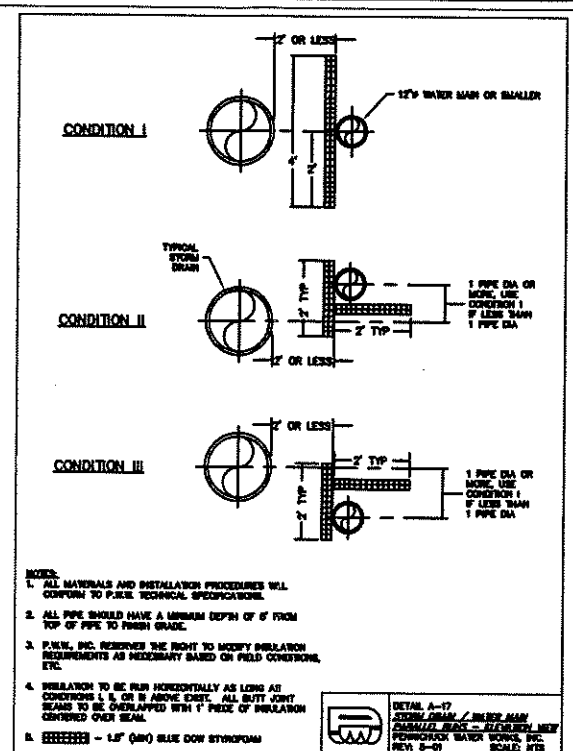
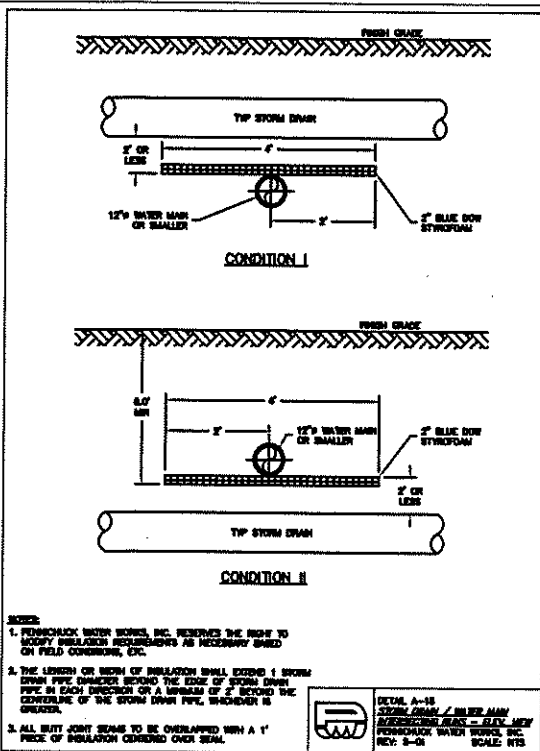
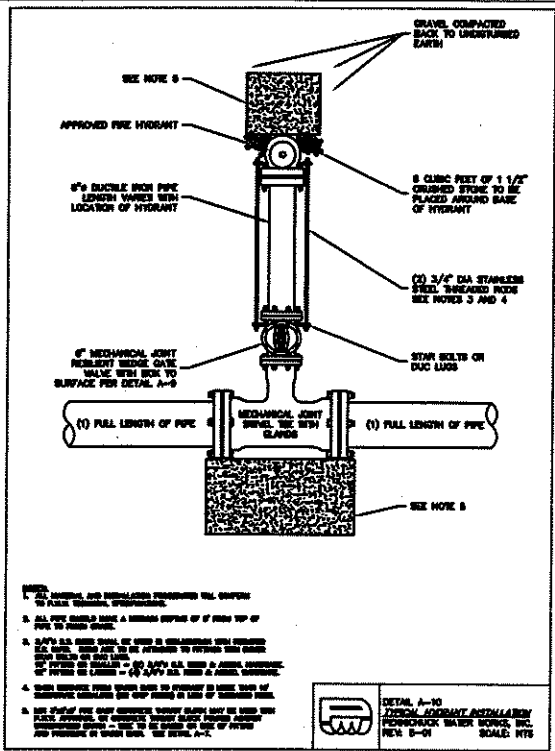
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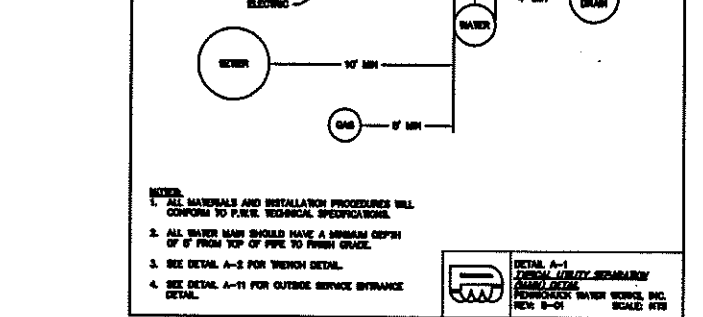


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CONSTRUCTION DETAILS - TAX MAP 147/L07 24

MANSFIELD DRIVE

HUDSON, NEW HAMPSHIRE

SCALE: N.T.S. MARCH 1, 2018

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CONSTRUCTION NOTES

A. GENERAL

EROSION AND SEDIMENT CONTROL PRACTICES INCLUDE THE USE OF THE FOLLOWING: STRAW BALE BARRIERS, SILT SCREEN FENCE BARRIERS, TEMPORARY SEDIMENTATION BASINS, PERMANENT DETENTION/SEDIMENTATION BASINS, GRASS AND/OR ROCK LINED SWALES, DIVERSIONS WITH LEVEL SPREADERS.

- ALL PERMANENT AND TEMPORARY EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS OF NEW HAMPSHIRE", AUGUST 1992, PREPARED BY ANDRES AND ROOD IN COOPERATION WITH USDA-SOS.
- ALL CONSTRUCTION ACTIVITY SHALL BE DONE IN COMPLIANCE WITH THE EPA'S PHASE II STORM WATER REGULATIONS. THE CONTRACTOR SHALL FILE THE EPA NOTICE OF INTENT (NOI) FORM AT LEAST ONE WEEK PRIOR TO THE START OF CONSTRUCTION. THE ENTIRE CONTENTS OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE RETAINED ON SITE BY THE CONTRACTOR AND MADE AVAILABLE TO ALL LOCAL, STATE, AND FEDERAL CODE ENFORCEMENT PERSONNEL.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRADINGS HAVE BEEN INSTALLED IN THE AREAS TO BE STABLED;
 - A MINIMUM OF 80% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF HIGH-EROSION MATERIAL SUCH AS STONE OR BRICK HAS BEEN INSTALLED;
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- WATER CONSTRUCTION:
 - ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 80% VEGETATED GROWTH BY OCTOBER 15TH OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1; AND SEEDING AND PLACING SOIL ON 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR UNTIL AFTER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THEM OR DEBRIS WHICH IS REMOVED.
 - ALL TRENCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 80% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
 - AFTER NOVEMBER 15TH, INCOMPLETE ROAD AND/OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL (M80/100 ITEM 304-3).
- THE SMALLEST PRACTICAL AREA OF LAND NECESSARY FOR ROAD AND LOT DEVELOPMENT SHALL BE EXPOSED AT ONE TIME. IN NO CASE SHALL THIS AREA EXCEED THAT WHICH SHALL ACHIEVE PERMANENT VEGETATION COVER PRIOR TO THE NEXT WINTER SEASON OR 5 ACRES, WHICHEVER IS GREATER.
- FILL MATERIAL USED FOR ROADWAY CONSTRUCTION SHALL BE FREE FROM STUMPS, ROOTS, AND OTHER ALIEN MATERIALS.
- ALL DISTURBED AREAS SHALL MAINTAIN A MINIMUM OF 4 INCHES OF CLEAN, SCREENED LOAM PLACED BEFORE BEING SEEDING AND SOWN.
- THE MULCH FOR ALL CATCH BASINS SHALL BE PERIODICALLY CLEANED, WITH THE SEDIMENT REMOVED TO A SECURE LOCATION SO AS TO PREVENT SITUATION OF NATURAL DRAINAGE AND WATERSHEDS.
- STRAW AND/OR MULCH SHALL BE MINIMUM OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS AND STEMS, AND SHALL BE DRY.
- SILT SCREEN FENCES SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT. FENCES WHICH ARE DAMAGED OR WEAR SHALL BE REPAIRED, PERIODICALLY AND SHALL NOT BE ALLOWED TO ACCUMULATE TO THE POINT OF AFFECTING THE FUNCTION OF THE FENCES.

B. STRUCTURAL MEASURES

- STRAW BALE BARRIERS/SILT SCREEN FENCES: STRAW BALE BARRIERS AND/OR SILT SCREEN FENCES ARE TO BE INSTALLED IN THE AREAS SHOWN ON THE PLAN. STRAW BALE BARRIERS SHALL BE INSTALLED WITH FILTER STRIPS. VOLUMES OF "SILT FLOW" RUNOFF, OR AS SEDIMENT TRAPS IN SMALL SWALES, STRAW BALES HAVE A USEFUL LIFE OF THREE MONTHS WHEN WET AND THEREFORE MUST BE INSPECTED AND REPAIRED OR REPLACED PERIODICALLY. SILT SCREEN FENCES SHALL FUNCTION 30 MONTHS OR LONGER IF KEPT FREE OF SEDIMENT ACCUMULATIONS. (SEE DETAILS FOR ADDITIONAL INFORMATION.)
- SWALES: TEMPORARY AND/OR PERMANENT SWALES ARE TO BE INSTALLED AS SHOWN ON THE PLAN. SWALES ARE USED TO CONVERT SHEET FLOW TO CHANNEL FLOW AND CONVEY THE RUNOFF TO A PERMANENT CHANNEL, STORM DRAIN, OR DETENTION/SEDIMENT STRUCTURE. SWALES ARE INTENDED TO INTERCEPT RUNOFF AND DIVERT IT FROM AN EXPOSED OR NEWLY SEEDING SLOPE TOWARD AN ACCEPTABLE OUTLET (GRASS SWALES, SEDIMENTATION POND, ETC.) OR TO REDUCE THE VELOCITY OF RUNOFF FLOWING DOWN FROM A DRAINAGE AREA. (SEE DETAIL FOR ADDITIONAL INFORMATION.)

C. VEGETATIVE MEASURES

- TOPSOIL STOCKPILES: TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR LATER USE ON CRITICAL AREAS AND ALL OTHER AREAS TO BE SEEDING. THE STOCKPILE WILL NOT BE COMPACTED AND SHALL BE STABILIZED AGAINST EROSION WITH TEMPORARY SEEDING.
- TEMPORARY SEEDING:
 - SEEDING-REMOVE STONES AND TRASH THAT WILL INTERFERE WITH SEEDING THE AREA. WHERE FEASIBLE, TILL THE SOIL TO A DEPTH OF ABOUT 3" TO PREPARE SEED BED AND MIX THE FERTILIZER INTO THE SOIL.
 - FERTILIZER-FERTILIZER SHOULD BE UNIFORMLY SPREAD OVER THE AREA PRIOR TO BEING BELLED INTO THE SOIL. A 10-10-10 MIX OF FERTILIZER SHOULD BE APPLIED AT A RATE OF 300 LBS/ACRE, OR 7 LBS PER 1000 S.F.
 - SEED MIXTURE: USE ANY OF THE FOLLOWING:

SPECIES	SEEDING RATE		DATES	DEPTH
	PER ACRE	PER 1000 S.F.		
WINTER RYE	112 LBS	2.5 LBS	9/15-9/3	1 IN
GRASS	60 LBS	2.0 LBS	SPRING-15-9/3	1 IN
RYEGRASS (ANNUAL)	40 LBS	1.0 LBS	4/15-9/15 (W/MULCH)	0.25 IN

4. MULCHING: WHERE IT IS IMPRACTICAL TO INCORPORATE FERTILIZER AND SEED INTO MOST SOIL, THE SEEDING AREA SHOULD BE MULCHED TO FACILITATE GERMINATION. MULCH IN THE FORM OF STRAW SHOULD BE APPLIED AT A RATE OF 70 TO 80 LBS/1000 S.F.

5. PERMANENT SEEDING:

- SEEDING-STONES LARGER THAN 4", TRASH, ROOTS, AND OTHER DEBRIS THAT INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA SHOULD BE REMOVED. WHERE FEASIBLE, THE SOIL SHOULD BE BELLED TO A DEPTH OF 4" TO PREPARE A SEEDBED AND NOT FERTILIZER INTO THE SOIL. THE SEED BED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION.
- FERTILIZER-LINE AND FERTILIZER SHOULD BE APPLIED EVENLY OVER THE AREA PRIOR TO OR AT THE TIME OF SEEDING AND SHOULD BE INCORPORATED INTO THE SOIL. AN AMOUNT OF LINE AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED: AGRICULTURAL LIMESTONE @ 100 LBS/1000 S.F. 10-20-20 FERTILIZER @ 12 LBS/1000 S.F.

TYPE	LBS./ACRE	LBS./1000 S.F.	USE
FALL PRESHOE	20	0.45	STEEP CUTS AND FILLS
CREEPING RED FESCUE	20	0.45	DETENTION BASINS
FRESHOE			
RED TOP	2	0.50	SWALES
TOTAL	42	2.30	
CREEPING RED FESCUE	50	1.15	ALL OTHER AREAS
KENTUCKY BLUEGRASS	50	1.15	ALL OTHER AREAS
TOTAL	100	2.30	

D. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODIBLE SOILS, ON CRITICALLY ERODIBLE AREAS, AND ON AREAS WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT.

TYPE	RATE/100 S.F.	USE AND COMMENTS
HAY OR STRAW	70-80 LBS	MUST BE DRY AND FREE FROM MOLD. MAY BE USED WITH PLANTINGS.
WOOD CHIPS/BARK	AS PER MANUFACTURER'S SPECIFICATIONS	USED MOSTLY WITH TREES AND MULCH-SHRUBS PLANTINGS
JUTE AND FIBROUS MATTING	AS PER MANUFACTURER'S SPECIFICATIONS	USED IN SCOPE AREAS, WATER COURSED AND OTHER AREAS
CRUSHED STONE	SPREAD MORE THAN 1/4" THICK	EFFECTIVE IN CONTROLLING WIND AND WATER EROSION

E. SOODING: SOODING IS DONE WHERE IT IS DESIRABLE TO RAPIDLY ESTABLISH COVER ON A DISTURBED AREA. SOODING ON AREA MAY BE SUBSTITUTED FOR PERMANENT SEEDING PROCEDURES ANYWHERE ON SITE. BED PREPARATION, FERTILIZING, AND PLACEMENT OF SOO SHALL BE PERFORMED ACCORDING TO THE S.C.S. HANDBOOK.

SOODING IS RECOMMENDED FOR STEEP SLOPED AREAS, AREAS IMMEDIATELY ADJACENT TO SENSITIVE WATER COURSE, EARLY ERODIBLE SITES (FINE SANDS/SILTS), ETC.

F. MAINTENANCE

DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED:

- SEEDING AREAS WILL BE FERTILIZED AND SEEDING AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.
- ADDITIONAL STONE MAY HAVE TO BE ADDED TO THE CONSTRUCTION ENTRANCE, TRENCHES, SWALES, ETC. PERIODICALLY, TO MAINTAIN THE PROPER FUNCTIONING OF THE EROSION CONTROL MEASURES.
- EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EVERY 0.5 INCHES OF RAINFALL.

G. SEQUENCE OF CONSTRUCTION

- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS AND SHALL BE CLEANED AND REPLACED AS NECESSARY. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS NECESSARY TO DEVELOPING SITE CONDITIONS UNWARRANTED.
- THE LIMIT OF TREE CLEARING AND DEMOLITION SHALL BE MARKED BY THE OWNER/ENGINEER BEFORE ANY WORK IS TO TAKE PLACE. ALL CLEARING OPERATIONS FOR SITE WORK AND DRAINAGE CONSTRUCTION SHALL BE COMPLETED ONE PHASE AT A TIME.
- AFTER THE CLEARING OPERATION IS COMPLETE, CONSTRUCTION SHALL BEGIN ON THE MAIN CONSTRUCTION ENTRANCE. AN RAP (TRAP-ROCK) SHALL BE PLACED ACROSS THE FULL WIDTH OF THE ENTRANCE FOR A DISTANCE OF 50-60 FEET AS SHOWN ON THE PLANS. THE RAP SHALL BE COVERED WITH SEDIMENT, ADDITIONAL 2 TO 3 INCH STONE SHALL BE LAD DOWN TO MAINTAIN THIS AREA. ALL TRAFFIC ENTERING THE SITE SHALL CROSS OVER THIS PREPARED CONSTRUCTION ENTRANCE.

H. SPECIFICATIONS FOR STABILIZED CONSTRUCTION ENTRANCE

- STONE SIZE: 2 TO 3 INCH DIAMETER
- LENGTH: NOT LESS THAN 8 FEET
- THICKNESS: NOT LESS THAN 8 INCHES
- SPACING: 18 INCHES TO 24 INCHES
- POINTS WHERE VEHICLES INGRESS AND EGRESS.
- FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
- ALL SURFACE WHEN FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE FIRM ACROSS THE ENTRANCE. IF PAVING IS IMPRACTICAL, A MOUNTABLE BERM WITH 2:1 SLOPES WILL BE PERMITTED.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE ADDITIONAL TOP DRESSING WITH ADDITIONAL STONES AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AFTER EACH RAINFALL.

I. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AROUND ALL EXISTING CATCH BASINS AND DRAINAGE OUTLETS. THESE MEASURES SHALL BE MAINTAINED IN PLACE UNTIL LONG TERM DRAINAGE STRUCTURES ARE INSTALLED AND FUNCTIONING.

J. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS, AND SHALL BE CLEANED AND REPLACED AS NECESSARY. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS NECESSARY TO DEVELOPING SITE CONDITIONS UNWARRANTED.

K. TOPSOIL SHALL BE REMOVED FROM ALL PROPOSED ROADWAY AREAS AND BUILDING SITES WHICH WILL BE PAVED/CONSTRUCTED BEFORE THE NEXT WINTER SEASON. THE TOPSOIL SHALL BE STORED IN AREAS DESIGNATED ON THE PLANS. ANY STOCKPILED MATERIAL OR TEMPORARY GRADING SHALL BE STABILIZED BY SEEDING AND MULCHING WITHIN 72 HOURS IF THEY ARE TO REMAIN UNWORKED FOR MORE THAN 30 DAYS. ALL SOILS SHALL BE STABILIZED PRIOR TO THE NEXT WINTER SEASON, AND SHALL NOT BE LEFT EXPOSED THROUGH THE WINTER. NO AREA OF SOIL SHALL BE LEFT UNSTABILIZED FOR MORE THAN 90 DAYS.

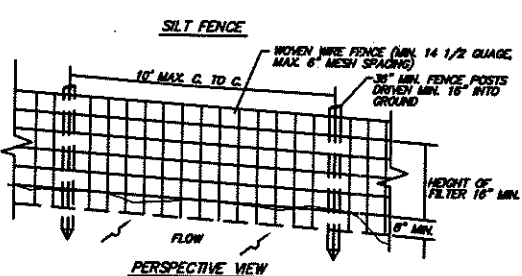
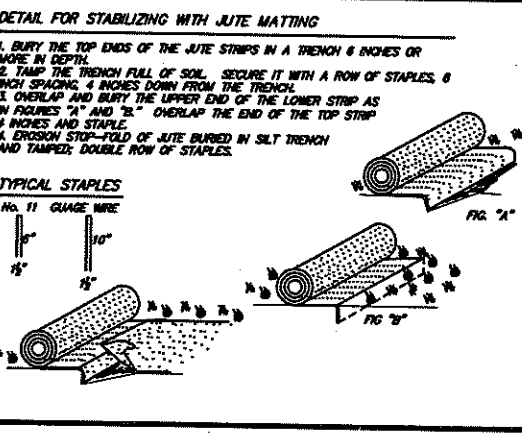
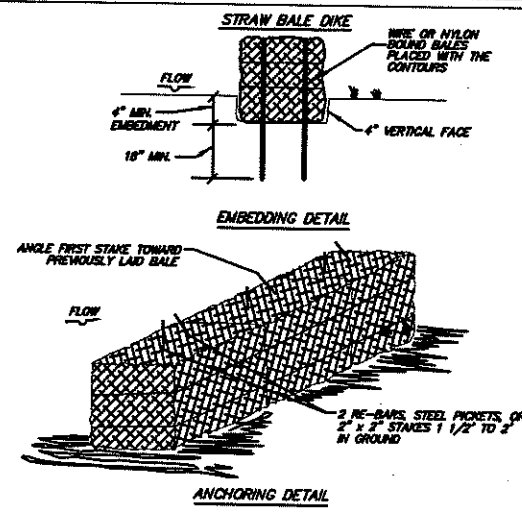
L. AFTER DEMOLITION OPERATIONS ARE COMPLETE, ROUGH GRADING OF THE ROADWAY AND ASSOCIATED BUILDING SITES SHALL BE DONE. EROSION CONTROL MEASURES SHALL BE INSTALLED AROUND ALL DRAINAGE STRUCTURES IMMEDIATELY AFTER INSTALLATION.

M. ALL CLOSED DRAINAGE SHALL BE INSTALLED AS THE SITE IS BROUGHT TO GRADE. WHEN THE ROADWAY AND BUILDING SITES ARE STABILIZED TO DESIGN GRADE, ALL SIDE SLOPES SHALL BE PERMANENTLY LOADED AND SEEDED.

N. FINAL GRADING SHALL BE STABILIZED WITHIN 72 HOURS OF COMPLETION. LOAM AND SEEDING OF FINISHED GRADING SHOULD BE ACCOMPLISHED PRIOR TO SEPTEMBER 15, AFTER WHICH THESE AREAS SHALL BE MULCHED AND FURTHER STABILIZED IN THE EVENT THAT SEEDING DOES NOT PRODUCE A HEALTHY FINISHED SOIL GREATER THAN 100 INCHES FROM THE END OF THE GROWING SEASON. ANY FINISHED SOIL GREATER THAN 100 INCHES FROM THE END OF THE GROWING SEASON SHOULD BE COVERED WITH JUTE MATTING AND RESEEDED.

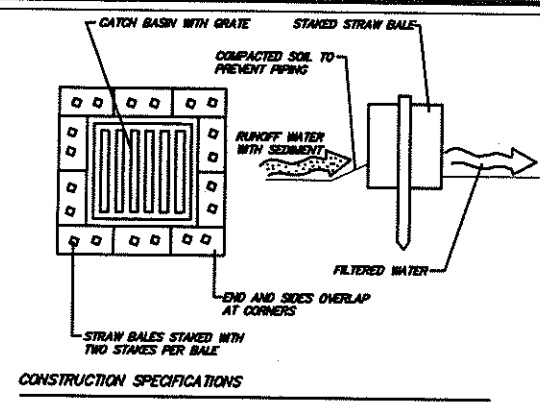
O. CONTINUE TO MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES IN PLACE UNTIL PERMANENT VEGETATION HAS ACHIEVED ADEQUATE VEGETATION COVER. RESEED AREAS AS NECESSARY TO PROMOTE PERMANENT GROUND COVER.

P. AFTER ROAD CONSTRUCTION (PAVING) IS COMPLETE AND ALL DISTURBED AREAS HAVE ACHIEVED ADEQUATE VEGETATION COVER, REMOVE ALL REMAINING EXPOSED SOIL ALONG WITH THE TEMPORARY EROSION CONTROL MEASURES AND DISPOSE OF THEM PROPERLY.



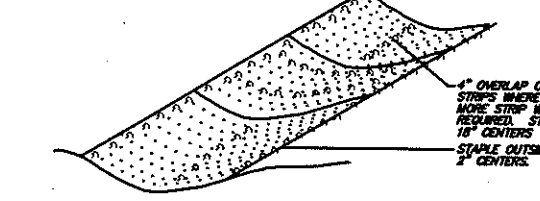
GENERAL SITE CONSTRUCTION SPECIFICATIONS

- ALL GRADING OR DISTURBED AREAS, INCLUDING SLOPES, SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION, IN ACCORDANCE WITH THESE PLANS, UNTIL THEY ARE PERMANENTLY STABILIZED.
- ALL EROSION CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED, AND MAINTAINED IN ACCORDANCE WITH THESE PLANS.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FINISHED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, OR OTHER OBJECTIONABLE MATERIAL.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCANNED TO THE MINIMUM DEPTH OF 3 INCHES PRIOR TO THE PLACEMENT OF TOPSOIL.
- ALL FILL AREAS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SURFACE SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS. FILL AREAS TO SUPPORT BUILDINGS, STRUCTURES, CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL RESTRAINMENTS AND CODES.
- ALL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 6 INCHES IN THICKNESS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBER, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIAL OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
- SEEDS AND SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE SUBSURFACE DRAIN OR OTHER METHODS APPROVED BY THE CITY/TOWN ENGINEER AND MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC.



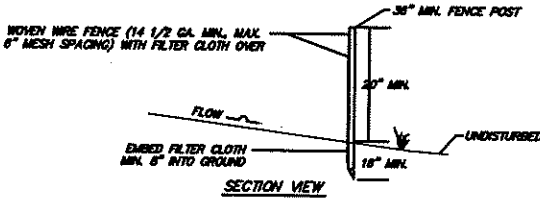
CONSTRUCTION SPECIFICATIONS

- BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALE.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4\"/>



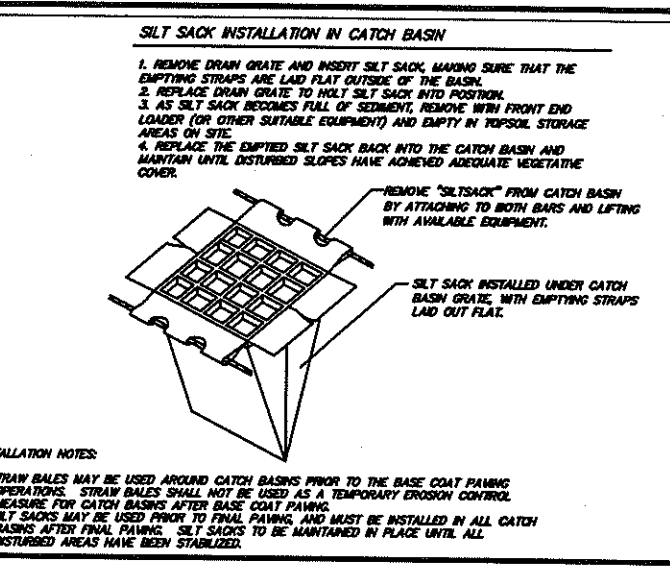
CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES OR STAPLES.
- WHERE TWO SECTIONS OF FILTER CLOTH MEET EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES AND FOLDED TOGETHER.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.



INSTALLATION PROCEDURE

- LAY OUT A SUITABLE FENCE LINE AND SET POSTS ALONG IT. ON SLOPES, ALIGN THE FENCE ALONG THE CONTOUR AS CLOSELY AS POSSIBLE. IN SMALL SWALES, CURVE THE FENCE LINE UPSTREAM AT THE SIDES TO DIRECT THE FLOW TOWARD THE MIDDLE OF THE FENCE. THE SIDES SHOULD BE HIGHER THAN THE CENTER. SPACE POSTS A MAXIMUM OF 10 FEET APART AND DRIVE THEM AT LEAST 12 INCHES INTO THE GROUND. WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING MUST NOT EXCEED 6 FEET. POSTS FOR SILT FENCES CAN BE EITHER 4 INCH WOOD OR 1.33 LB/FT STEEL, WITH A MINIMUM LENGTH OF FIVE FEET. STEEL POSTS HAVE PROJECTIONS FOR FASTENING WIRE TO THEM. EXCAVATE A TRENCH APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPES FROM THE BARBERS.
- FASTEN WIRE MESH SECURELY TO THE UPSLOPE SIDE OF THE POSTS. USE HEAVY-DUTY WIRE STAPLES AT LEAST 1 INCH LONG TO TIE THE WIRE OR HOO RINGS. EXTEND THE WIRE 6 INCHES INTO THE TRENCH. WIRE FENCE REINFORCEMENT FOR SILT FENCES MUST BE A MINIMUM OF 40 INCHES WIDE, A MINIMUM OF 1/4 GAUGE, AND HAVE A MAXIMUM MESH SPACING OF 6 INCHES. THE 42 INCH LENGTH IS NEEDED SO THAT 6 INCHES CAN BE EXTENDED INTO THE TRENCH AND LEAVE A 36 INCH SUPPORT FENCE ABOVE THE GROUND. WHEN EXTRA-STRENGTH FABRIC IS USED AND FENCE POSTS ARE MORE CLOSELY SPACED, THE WIRE MESH CAN BE OMITTED.
- FASTEN THE FILTER FABRIC TO THE UPSLOPE SIDE OF THE FENCE POSTS AND EXTEND IT 6 TO 8 INCHES INTO THE TRENCH. THE HEIGHT OF THE FENCE SHOULD NOT EXCEED 36 INCHES. DO NOT STAPLE FABRIC ONTO TREES. CUT THE FILTER FABRIC FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, SEW THE FILTER CLOTH AT A SUPPORT POST, WITH A MINIMUM 6 INCH OVERLAP, AND SECURELY FASTEN BOTH ENDS TO THE POST.
- BACKFILL THE TRENCH OVER THE TOP OF THE FABRIC AND COMPACT THE SOIL.



INSTALLATION NOTES:

- STRAW BALES MAY BE USED AROUND CATCH BASINS PRIOR TO THE BASE COAT PAVING OPERATIONS. STRAW BALES SHALL NOT BE USED AS A TEMPORARY EROSION CONTROL MEASURE FOR CATCH BASINS AFTER BASE COAT PAVING.
- SILT SACKS MAY BE USED PRIOR TO FINAL PAVING, AND MUST BE INSTALLED IN ALL CATCH BASINS AFTER FINAL PAVING. SILT SACKS TO BE MAINTAINED IN PLACE UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED.

SITE MAINTENANCE AND INSPECTION PROGRAM

A. INSPECTIONS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT. MAINTENANCE PRACTICES SHALL INCLUDE, BUT ARE NOT LIMITED TO:

- CLEANING OF CATCH BASINS THREE PER YEAR OR MORE FREQUENTLY AS INDICATED BY QUARTERLY INSPECTIONS AND/OR AFTER SIGNIFICANT RAINFALL EVENTS.
- CLEANING OF SEDIMENT OR DEBRIS FROM STORM WATER MANAGEMENT AREA INLETS TWICE PER YEAR OR MORE FREQUENTLY AS INDICATED BY QUARTERLY INSPECTIONS AND/OR AFTER SIGNIFICANT RAINFALL EVENTS.
- NEEDY SITE INSPECTIONS TO DETERMINE/IMPLEMENT NECESSARY REPAIR AND MAINTENANCE ACTIVITIES.
- REMOVAL OF SEDIMENT BUILDUP ALONG SILT FENCES, STRAW BALE BARRIERS, GRASS SWALES AND TREATMENT BASIN INLETS. REMOVE SEDIMENT BUILDUP IN BOTTOM OF TREATMENT BASINS SUCH THAT ALL OUTLETS ARE KEPT FREE FROM SEDIMENT AND DEBRIS.
- INSPECTION/RECONSTRUCTION OF THE STABILIZED CONSTRUCTION ENTRANCE.
- TREATMENT OF NON-STORMWATER RELATED DISCHARGES SUCH AS WATER LINE INSTALLATION FLUSH WATER OR GROUNDWATER FROM DEMOLITION ACTIVITIES. THESE FLOWS SHOULD BE DIRECTED TO A TEMPORARY SEDIMENTATION BASIN OR CONSTRUCTED STORM WATER MANAGEMENT AREA.
- SNOW PAVED PARKING LOTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION.

GOOD HOUSEKEEPING PRACTICES

THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL LEAKS OF MATERIALS TO STORM WATER RUNOFF. THE CONTRACTOR SHALL USE CARE IN THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THE USE OF THESE PRODUCTS IS MINIMIZED. THE FOLLOWING PRACTICES SHALL BE FOLLOWED DURING THE CONSTRUCTION OF THIS PROJECT:

- AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED FOR THIS SPECIFIC SITE.
- ALL MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR ORIGINAL CONTAINERS OR IN CONTAINERS UNDER A ROOF OR OTHER SUITABLE ENCLOSURE.
- PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR ORIGINAL LABELS.
- WHENEVER POSSIBLE, ALL OF THE PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER.
- THE MANUFACTURER'S RECOMMENDATIONS SHALL BE FOLLOWED IN REGARD TO THE PROPER USE AND DISPOSAL OF ALL PRODUCTS.
- THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE THE PROPER USE AND DISPOSAL OF ALL MATERIALS ON SITE.

SPILL PREVENTION AND CLEANUP PRACTICES

THE CONTRACTOR/OPERATOR SHALL BE RESPONSIBLE FOR THE SAFE HANDLING, USE AND DISPOSAL PROGRAM OF ALL HAZARDOUS MATERIALS FOR THE DURATION OF THIS PROJECT AND SHALL HAVE A SPECIFIC SPILL PREVENTION AND CLEANUP PROTOCOL FOR ALL HAZARDOUS MATERIALS, INCLUDING, BUT NOT LIMITED TO:

- MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THESE PROCEDURES AND THE LOCATION OF THE CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIAL WILL INCLUDE, BUT NOT BE LIMITED TO, BROOMS, DUSTPANS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWS/DUST, AND PLASTIC/METAL SHEETS.
- ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INHALATION FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- WHEN CLEANING UP HAZARDOUS MATERIAL, THE MATERIAL MUST BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE QUANTITY.
- THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING, AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

STORMWATER POLLUTION PREVENTION PLAN & DETAILS SHEET 58 / LOT 14

MANSFIELD DRIVE & DERRY LANE HUDSON, NEW HAMPSHIRE

PREPARED FOR:
HUDSON FIVE, LLC
31 QUINCY STREET
NASHUA, NH 03060

SCALE: NONE DATE: MARCH 1, 2018

Maynard & Paquette Engineering Associates, LLC
Consulting Engineers and Land Surveyors
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KPM	APB	RAM	DESIGNED	DRAWN	CHECKED	APPROVED	BOOK & PAGE	REVISION	DATE	JOB NUMBER
										12253

2 Tracy Lane Site Plan

Staff Report
October 18, 2018

SITE: 2 Tracy Lane -- Map 101/Lot 11 -- SP# 16-18

ZONING: B

PURPOSE OF PLAN: the applicant is seeking site plan approval for a change of use from an automotive fuel station with general retail to motor vehicle light service, sales and rental per Zoning Ordinance §334-16.1. The application also seeks approval for a 20' x 60' building addition.

PLAN UNDER REVIEW ENTITLED: Revised Site Plan, Mal-Mar, LLC, Map 101 Lot 11, 2 Tracy Ln., Hudson, NH, prepared by Joseph M. Wichert, LLS, Inc. dated: October 17, 2018, consisting of one sheet.

ATTACHMENTS:

- 1) Site Plan application, date stamped August 22, 2018 – Attachment “**A**”.
- 2) Project Narrative – Attachment “**B**”.
- 3) Revised waiver requests received October 9, 2018 – Attachment “**C**”.
- 4) Building elevation drawings received October 9, 2018 – Attachment “**D**”.
- 5) Comments from Town Engineer Elvis Dhima dated August 23, 2018 – Attachment “**E**”.
- 6) Comments from Bruce Buttrick, Zoning Admin., dated August 30, 2018 – Attachment “**F**”.
- 7) Joseph M. Wichert, LLS, Inc response to Engineer and Zoning Admin. review comments dated September 17, 2018 – Attachment “**G**”.
- 8) Joseph M. Wichert, LLS, Inc response to Engineer and Zoning Admin. review comments dated October 9, 2018 - Attachment “**H**”.
- 9) Request for Zoning Determination dated June 9, 2009 and response dated June 24, 2009 – Attachment “**I**”.
- 10) CAP Fee worksheet – Attachment “**J**”.
- 11) 1997 Approved Site Plan Amendment – Attachment “**K**”.
- 12) 1984 Approved Site Plan – Attachment “**L**”.

REQUESTED WAIVERS:

- 1) HTC §275-8.C.7 – landscaping plan
- 2) HTC §275-9.A – stormwater drainage plan
- 3) HTC §276-11.1.B.12 – no display in setbacks
- 4) HTC §276-11.1.B.22 – 35' landscaped area

APPLICATION TRACKING:

- 22 AUG 2018 – Site Plan application submitted.
- 17 SEPT 2018 – Revised Site Plan submitted.
- 26 SEPT 2018 – Public Hearing scheduled, deferred to October 24, 2018.
- 9 OCT 2018 – Revised Site Plan submitted.
- 17 OCT 2018 – Revised Site Plan submitted.
- 24 OCT 2018 – Public Hearing scheduled.

STAFF COMMENTS: The applicant initially sought to file a site plan amendment to build a 20’ x 60’ addition to an existing building. However, the last approved plan for this site is for a convenience store and gas station in 1984, with an amendment for auto-sales display area in 1997. Subsequently in 2009, the applicant asked for a zoning determination on if a Bobcat service, rental and sales business was permitted, to which they were informed Planning Board approval was required for a change of use. The applicant never received this approval.

Currently, the applicant is seeking an approved site plan for the change of use from a convenience store & gas station to a Bobcat service, sales and rental operation, as well as the aforementioned building addition. Since the initial application, the applicant has been working with the Land Use Division to address concerns raised by Planning, Zoning and Engineering.

The latest iteration of the plan includes additional drainage detail as requested by the Town Engineer, but continues to show vehicle display within the drainage swale which was advised against. The applicant is also seeking to display construction equipment and vehicles in the landscaped buffer area, although staff encouraged the applicant to limit display areas to paved surfaces. This display area, if agreeable to the Board, requires two waivers.

RECOMMENDATION: Staff recommends application acceptance and conduct of the public hearing and for possible final action to be considered in accordance with the below DRAFT MOTIONS. A motion to defer is included in case the Board considers that more time is needed to review the application.

DRAFT MOTIONS:

MOTION TO ACCEPT THE APPLICATION:

I move to accept the Site Plan application for 2 Tracy Lane, Map 101/Lot 11.

Motion by: _____ Second: _____ Carried/Failed: _____.

MOTION TO DEFER CONSIDERATION OF THE APPLICATION:

I move to defer further review of the 24 Constitution Drive Site Plan application, date specific, to the June 13, 2018 meeting.

Motion by: _____ Second: _____ Carried/Failed: _____

WAIVER MOTIONS:

1) §HTC 275-8.C.7 – Landscaping Requirements.

I move to grant the requested waiver HTC 275-8.C.7 – Landscaping Requirements based on the testimony of the Applicant’s representative here this evening, and in accordance with the language included in the submitted Waiver Request Form.

Motion by: _____ Second: _____ Carried/Failed: _____.

2) §HTC 275-8.9.A – Stormwater Management Plan.

I move to grant the requested waiver HTC 275-8.9.A – Stormwater Management Plan based on the testimony of the Applicant’s representative here this evening, and in accordance with the language included in the submitted Waiver Request Form.

Motion by: _____ Second: _____ Carried/Failed: _____.

3) §HTC 276-11.1.B.12 – no display in setbacks.

I move to grant the requested waiver HTC 276-11.1.B.12 – No buildings, parking or display areas maybe located in this setback, based on the testimony of the Applicant’s representative here this evening, and in accordance with the language included in the submitted Waiver Request Form.

Motion by: _____ Second: _____ Carried/Failed: _____.

4) §HTC 276-11.1.B.22 – 35’ Landscaped Area.

I move to grant the requested waiver HTC 276-11.1.B.22 – 35’ Landscaped Area based on the testimony of the Applicant’s representative here this evening, and in accordance with the language included in the submitted Waiver Request Form.

Motion by: _____ Second: _____ Carried/Failed: _____.

MOTION to APPROVE:

Site Plan, Mal-Mar, LLC, Map 101 Lot 11, 2 Tracy Ln., Hudson, NH, prepared by Joseph M. Wichert, LLS, Inc. dated: October 17, 2018, consisting of one sheet, subject to the following conditions:

1. All improvements shown on the Site Plan-of-Record, including Notes 1- 7 together with any additional notes added to comply with these conditions of approval, shall be completed in their entirety and at the expense of the Applicant or his assigns.
2. Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Land Use Department, confirming that the site conforms to the Planning Board approved site plan.
3. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M. No exterior construction activities shall be allowed on Sundays.
4. Hours of refuse removal shall be exclusive to the hours between 7:00 A.M. and 7:00 P.M. Monday through Saturday only.

Motion by: _____ Second: _____ Carried/Failed: _____.



PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: August 20, 2018 Tax Map # 101 Lot # 11

Name of Project: Mal-Mar, LLC ~ Amended Site Plan

Zoning District: _____ General SP# 110-18
(For Town Use) (For Town Use)

ZBA Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: Mal-Mar, LLC
Address: 9 Dover Road
Address: Chichester, NH 03258-6515
Telephone # 603 765 0013
Fax # _____
Email: blanchman01@gmail.com

PROJECT ENGINEER

SURVEYOR

Name: _____ Joseph M. Wichert, LLS, Inc
Address: _____ 802 Amherst Street
Address: _____ Manchester, NH 03104
Telephone # _____
Fax # _____
Email: _____

PURPOSE OF PLAN:

To amend the perviously approved site plan to allow a 20' x 60' building addition.

<i>For Town Use</i>	
Plan Routing Date: <u>8/23/18</u>	Sub/Site Date: <u>9/26/18</u>
<input type="checkbox"/> I have no comments <input type="checkbox"/> I have comments (attach to form)	
(Initials) _____	Title: _____ Date: _____
DEPT: _____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning _____ _____ Consultant _____ Highway Department	
Fees Paid: <u>\$572.81</u>	

SITE DATA SHEET

PLAN NAME: Amended Site Plan for Mal-Mar, LLC

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 101 LOT 11

DATE: August 20, 2018

Location by Street: 2 Tracy Lane

Zoning: B - Business

Proposed Land Use: Sales & service - Bobcat construction equipment

Existing Use: Same as above

Surrounding Land Use(s): Business/Commercial

Number of Lots Occupied: 1

Existing Area Covered by Building: 4,280 s.f.

Existing Buildings to be removed: none

Proposed Area Covered by Building: 4,280 sf + 1,200 sf addition = 5,480 sf

Open Space Proposed: no change

Open Space Required: 71,604 x 40% = 28,642 sf

Total Area: S.F.: 71,604 Acres: 1.644

Area in Wetland: no change Area Steep Slopes: no change

Required Lot Size: 43,560 sf

Existing Frontage: 717.60'

Required Frontage: 150'

Building Setbacks:	<u>Required*</u>	<u>Proposed</u>
Front:	<u>50'</u>	<u>81.5'</u>
Side:	<u>15'</u>	<u>54.8'</u>
Rear:	<u>15'</u>	<u>none</u>

**SITE PLAN DATA SHEET
(Continued)**

Flood Zone Reference: Zone X - outside of 0.2% annual chance floodplain

Width of Driveways: 24.8' existing

Number of Curb Cuts: 2 existing

Proposed Parking Spaces: None required

Required Parking Spaces: _____

Basis of Required Parking (Use): Proposed addition will not result in any additional employees

Dates/Case #/Description/Stipulations
of ZBA, Conservation Commission,
NH Wetlands Board Actions:
(Attach stipulations on separate sheet)

Hudson Town Code		
<u>Waivers Requested:</u>	<u>Reference</u>	<u>Regulation Description</u>
_____	1. _____	_____
_____	2. _____	_____
_____	3. _____	_____
_____	4. _____	_____
_____	5. _____	_____
_____	6. _____	_____
_____	7. _____	_____
_____	8. _____	_____
(Left column for Town Use)		

Impact Fees:
C.A.P Fee: _____

Development Agreement
Proposed: _____

<i>For Town Use</i>	
Data Sheet Checked By: _____	Date: _____

ATTACHMENT B

Amended Site Plan Narrative for
For Mal-Mar, LLC
DBA Bobcat of New Hampshire
Hudson Tax Map 101 Lot 11
2 Tracy Lane
Hudson, New Hampshire

Mal-Mar, LLC owns the subject property and operates Bobcat of New Hampshire at the site. The business sells, leases and repairs Bobcat construction equipment. There is an existing 4,280 SF one-story building with a sales and maintenance service area along with a large paved parking area. Previously the Hudson Planning Board approved a site plan for the construction of the building and the paved parking area. The current owner purchased the property in 2009 and has been using the site since then for the Bobcat of New Hampshire business. The site consists of 1.644 Acres of land located in the business zone and is improved with a building, paved area for display/storage of equipment, employee and customer parking, storage trailers and 2 entrances on to Tracy Lane.

The intent of the proposed amendment to the previously approved site plan is to add a 20' x 60' addition to the rear existing building. The addition will be used to expand the maintenance and service area for the construction equipment, will be accessed by a garage type door on both ends of the addition and the existing service facility. No additional pavement is proposed and since the addition will be built on an existing paved area, there will be no decrease in open space and no increase in storm water runoff. The reason for the proposed addition is that the existing service facility is undersized and this expansion will allow the applicant to better service their existing clients and improve the work areas of his existing employees. There are no immediate plans to hire any additional employees due to this proposed expansion.

After discussing the proposal with the interim planner, the applicant's surveyor has tied into existing boundary monumentation from the record subdivision plan, located the existing improvements on the property, showed the location of the proposed addition and treated this as a site plan amendment. The applicant needs the 1,200 SF of space (28% expansion) so we cannot utilize the minor site plan approval process as the maximum increase allowed is 20%. As the site is fully developed and the addition is relatively minor, multiple waivers have been requested. The majority of these requests involve not having to show the detail typical of a new site plan application. As the site was previously approved, the site is already developed and this is relatively minor expansion to the building and site, we believe these requests are reasonable.

Approval of this application by the Hudson Planning Board will result in the construction of a 20' x 60' addition to the rear of the existing building. We believe the proposed amended site plan meets the intent of the regulations and will comply with all of the Town requirements with the exception of the items that waivers have been requested for.

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: Site Plan for Mal-Mar, LLC

Street Address: 2 Tracy Lane

I Mark Blanchard of Mal-Mar, LLC hereby request that the Planning Board waive the requirements of item Section 275-8.C.7 - Landscaping plan of the Subdivision/Site Plan Checklist in reference to a plan presented by Joseph M. Wichert, LLS, Inc & Jon Rokeh (name of surveyor and engineer) dated August 17, 2018 for property tax map(s) 101 and lot(s) 11 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The original site plan was previously approved by the Planning Board in 1985 and amended in 1997. Applicant moved into the site in 2009 but no amended site plan was done at that time. There is no change proposed to landscaping or buffers for this addition. The proposed new addition is relatively small (1200 SF) and is being built in an area that is already paved and impervious.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

The intent of the regulations would be to insure the landscaping on the property is adequate. The site is fully developed and there is no changes proposed for landscaping. The construction of the proposed addition will not result in the need for any new landscaping work.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: Site Plan for Mal-Mar, LLC

Street Address: 2 Tracy Lane

I Mark Blanchard of Mal-Mar, LLC hereby request that the Planning Board waive the requirements of item Section 275-9.A - Storm Water Drainage Plan of the Subdivision/Site Plan Checklist in reference to a plan presented by Joseph M. Wichert, LLS, Inc & Jon Rokeh (name of surveyor and engineer) dated August 17, 2018 for property tax map(s) 101 and lot(s) 11 in the Town of Hudson, NH.

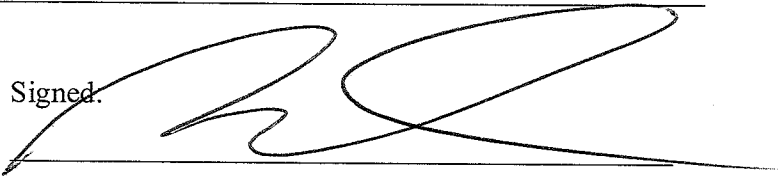
As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The original site plan was previously approved by the Planning Board in 1985 and amended in 1997. Applicant moved into the site in 2009 but no amended site plan was done at that time. We have met with the Town Engineer and are proposing a new catch basin and swale to handle the new addition but are not addressing the rest of the site which was built with Planning Board approval. Other than the proposed building addition, no change is proposed to the site.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

The intent of the regulations would be to prove the property is buildable and insure that the proposed project would not create any issues with the grading or runoff. The site is fully developed and the construction of the proposed addition will not change the grading of the property or run off patterns. The applicant has proposed a new catch basin and swale to handle runoff from addition.

Signed. 
Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: Site Plan for Mal-Mar, LLC

Street Address: 2 Tracy Lane

I Mark Blanchard of Mal-Mar, LLC hereby request that the Planning Board waive the requirements of item Section 276-11.1.B.12 - No display in setbacks of the Subdivision/Site Plan Checklist in reference to a plan presented by Joseph M. Wichert, LLS, Inc & Jon Rokeh (name of surveyor and engineer) dated August 17, 2018 for property tax map(s) 101 and lot(s) 11 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The original site plan was previously approved by the Planning Board in 1985 and amended in 1997. At the time of approval, the required setback was 35' but has since changed to 50'. The current 50' setback extends into the asphalt. We would like to use the existing pavement and a portion of the grass area for display of new equipment. The applicant is trying to reconfigure the site into the most complying layout and still be able to operate his existing business.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

Due to the setback change, full compliance would be impossible. Much of the area we are asking for the relief on has been used for parking and/or display. We are trying to define specific limits to make things simpler for the applicant and enforcement easier for the town (a set distance off lot line). Should the Planning Board agree to these waiver requests, the applicant will try to improve the remaining buffer to mitigate the reduction in size.

Signed:

Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: Site Plan for Mal-Mar, LLC

Street Address: 2 Tracy Lane

I Mark Blanchard of Mal-Mar, LLC hereby request that the Planning Board waive the requirements of item Section 276-11.1.B.22 - 35' grass area of the Subdivision/Site Plan Checklist in reference to a plan presented by Joseph M. Wichert, LLS, Inc & Jon Rokeh (name of surveyor and engineer) dated August 17, 2018 for property tax map(s) 101 and lot(s) 11 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The original site plan was previously approved by the Planning Board in 1985 and amended in 1997. At the time of approval, the required setback was 35' but has since changed to 50'. Under the current setbacks a 35' grass area is required. However, with a 30' setback only a 20' grass strip is required. We are requesting relief to 15' as it matches the existing fence on Tracy Lane by Route 102. This would be less than required but we believe it is a reasonable compromise for this existing developed site. Full compliance would make it very difficult for the applicant to keep the proper amount of inventory on site.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

As the lot is already developed and because of the setback change, full compliance would be very difficult. The 15' proposed reduction is relatively close to the 20' required with a 30' setback and there was a 35' setback when the lot was developed. The applicant is making a good faith effort to comply with the regulations and still keep enough inventory on site to make the location feasible. Should the Planning Board agree to these waiver requests, the applicant will try to improve the remaining buffer to mitigate the reduction in size.

Signed:

[Signature line]

Applicant or Authorized Agent

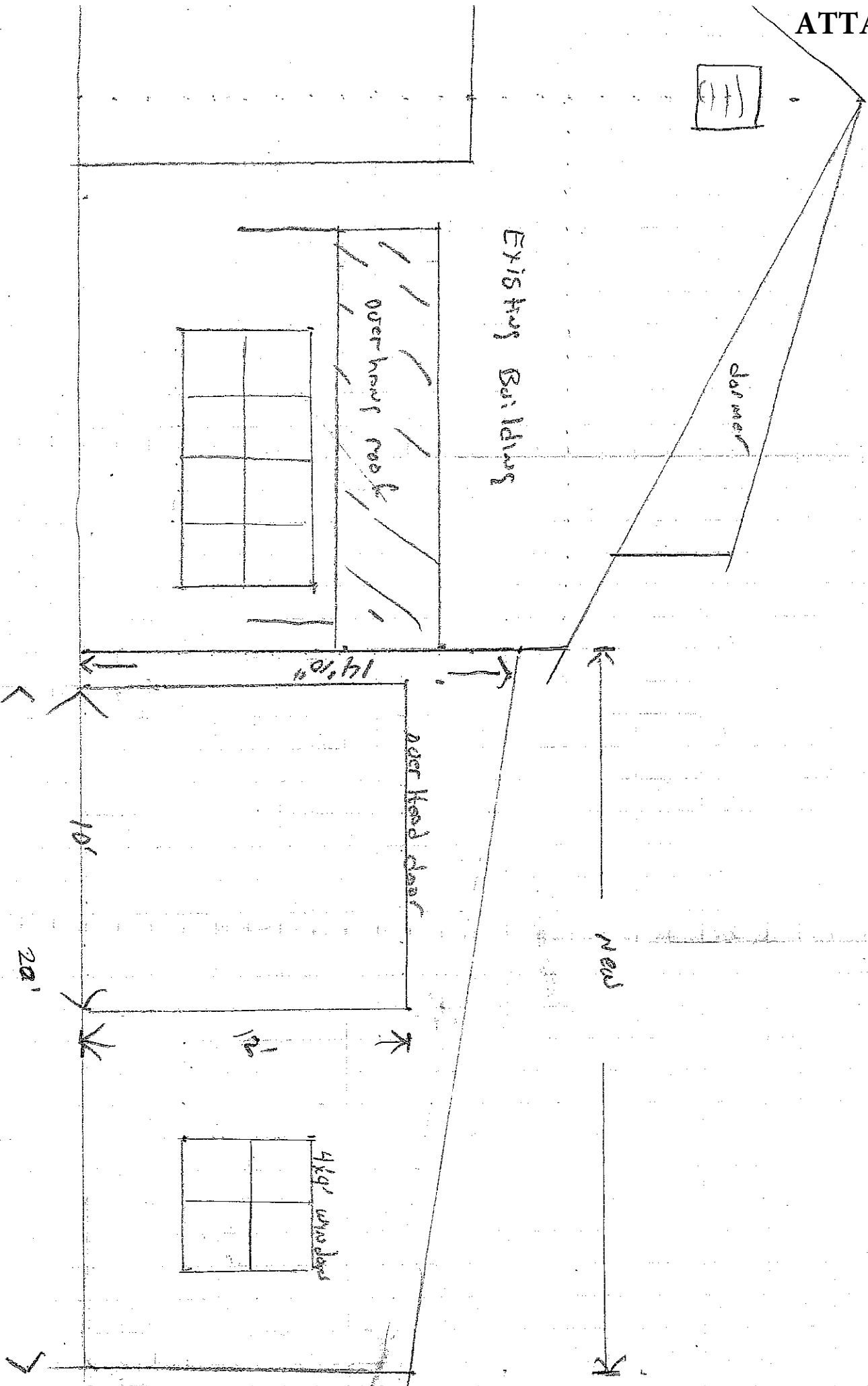
Planning Board Action:

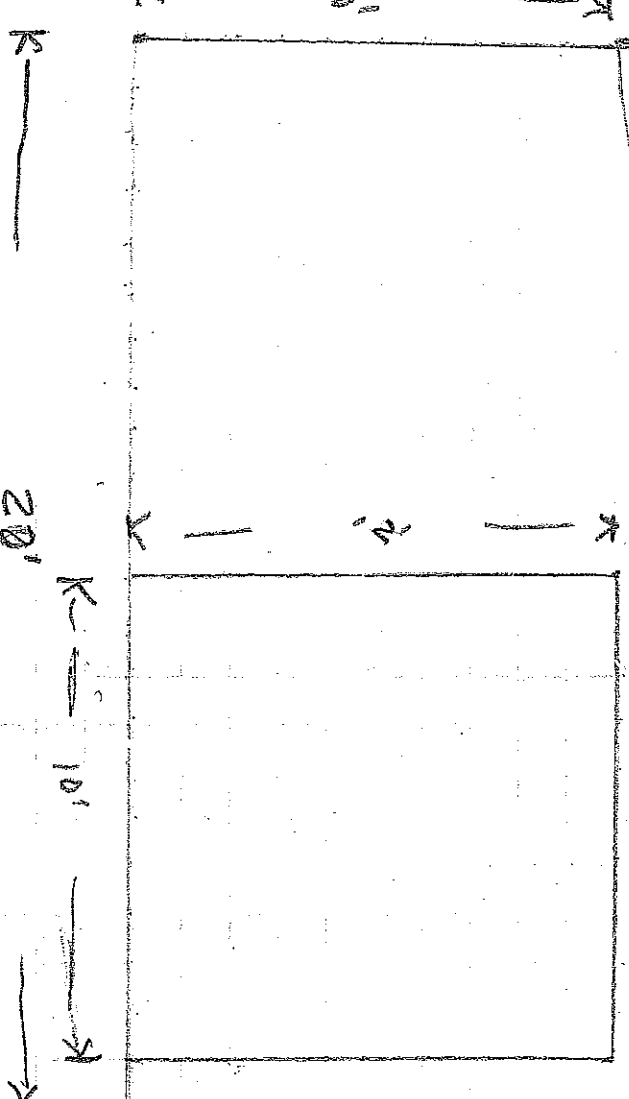
Waiver Granted [line]

Waiver Not Granted [line]

Robert & M.H. - Hudson

Front View

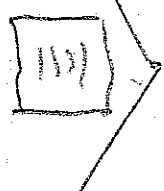
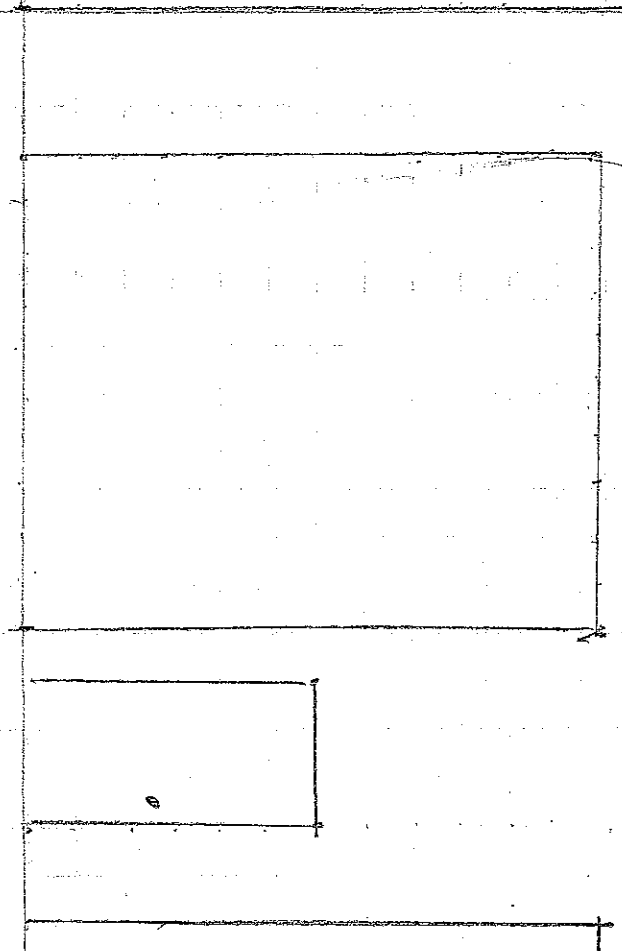


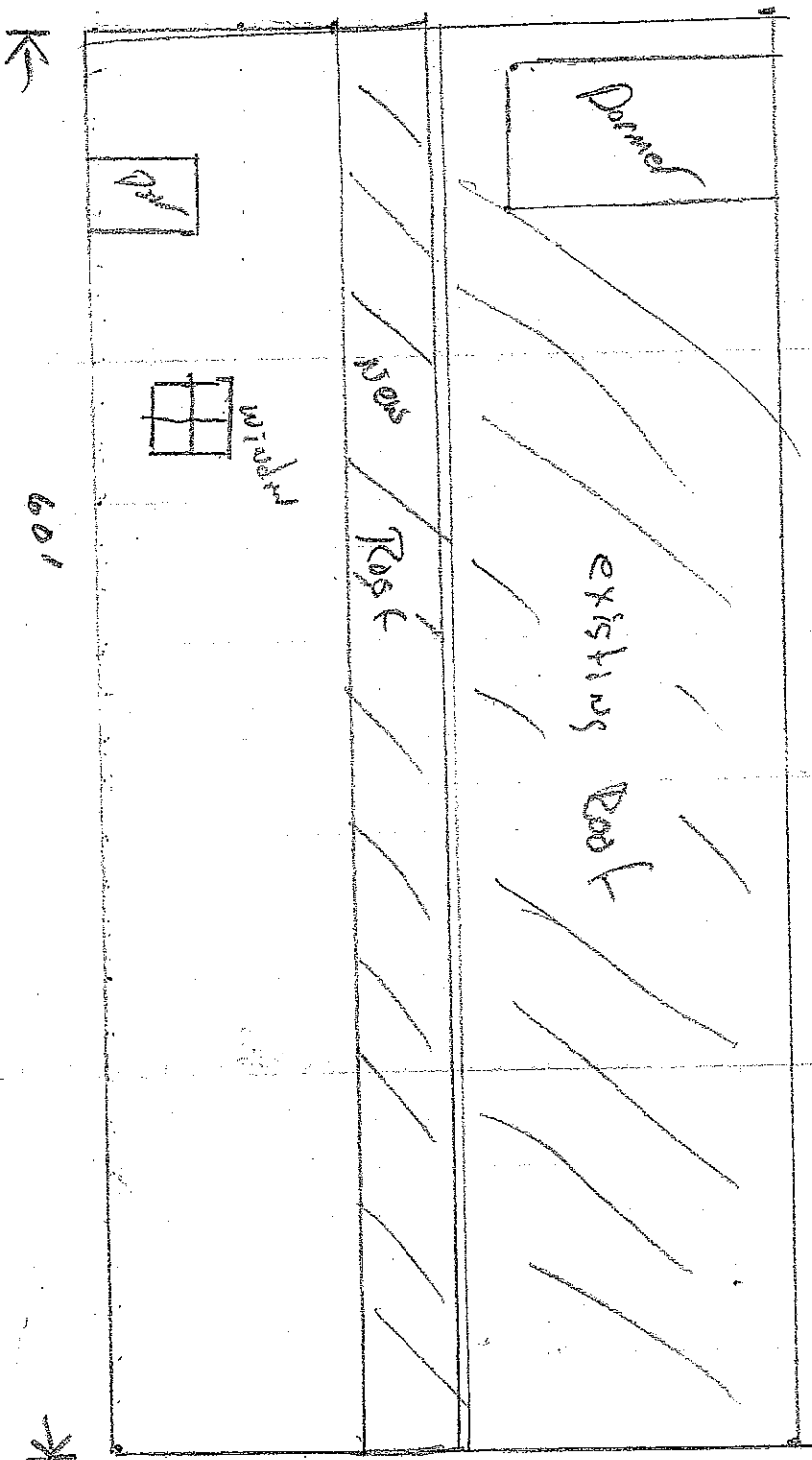


New

Rear of Building

Existing





side view

601



Dhima, Elvis

From: Dhima, Elvis
Sent: Thursday, August 23, 2018 1:24 PM
To: JayM@nashuarpc.org
Cc: Dubowik, Brooke
Subject: 2 Tracy Lane - Engineering Technical Review

Jay

Please see below

1. Applicant shall state if there is an increase in impervious area.
2. If there is an increase, the applicant shall meet drainage requirements.
3. Applicant shall state on the plan, stamped by a NH PE, if they meet the new MS4 requirements or not.

Thank you

E

Elvis Dhima, P.E.
Town Engineer

Town of Hudson, NH
12 School Street
Hudson, NH 03051
Phone: (603) 886-6008
Mobile: (603) 318-8286





TOWN OF HUDSON

Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

August 30, 2018

**Site Plan Review
Zoning Review/Comments**

BB B3018

Re: Case: SP# 16-18
Proposed 20' x 60' addition for service and maint.
Address: 2 Tracy Lane
Map 101 /Lot 011
Zoning district: Business (B)

Garaging of heavy commercial vehicles and equipment (D-32) is not a permitted use per §334-21 Table of Permitted Uses in this zone.
I note that there are two "existing" box trailers in the setback shown on the proposed "amended" site plan. I attach a 2015 aerial (no trailers) and a 2017 aerial showing the trailers.

Sincerely,

Bruce Buttrick, MCP
Zoning Administrator/Code Enforcement Officer
(603) 816-1275
bbuttrick@hudsonnh.gov

encl: 2015 aerial & 2017 aerial
cc: Public Folder
J. Minkarah - Interim Town Planner
file



Joseph M. Wichert, L.L.S., Inc.

Memo



To: Brian Groth, Hudson Town Planner
From: Joseph Wichert
CC: Brooke Dubowik, Town of Hudson, client & File
Date: 17 September 2018
Re: 2 Tracy Lane – Miner Site Plan for Building Addition

Brian;

Per our emails and conversations with Town staff, attached please find 9 full sized and 17 half sized copies of the revised plan for the above referenced project. Am also enclosing a copy of the initial zoning determination paperwork the client had submitted in 2009 and a copy of the original site plan that the client had from that time. Mr. Blanchard's father will continue to look for the Town response but recently had some surgery so he is a little limited right now. Per the emails and staff comments, we have made the following changes to the plan:

ENGINEERING COMMENTS:

1. Added note 8 which states there will be no increase in impervious area
2. Added note regarding MS4 compliance stamped by our engineer

ZONING COMMENTS:

1. Still trying to get the copy of the original Town response but see the request submitted
2. Revised note 4 regarding no parking/garaging of heavy commercial vehicles or equipment. In addition, Bruce asked what the GVW of the equipment was. The client has indicated that the majority of the equipment is under 4 tons. They do sell a few 8.5 ton units/year (less than 10 out of 400 units total/year)
3. Added a note to the plan that the trailers in the setback will be relocated. The units were actually moved on Friday but we did not have time to locate them and resubmit today. I will locate them prior to the meeting to verify they comply with the setback requirements. If they do not, we will move them to a complying location.

I believe these changes will resolve the issues listed in the review comments that we were provided. Let me know if you think I have missed something. Thank you for your time and assistance in this matter, please feel free to contact me if you have any questions or concerns.

Joe Wichert

802 Amherst Street
 Manchester, New Hampshire 03104-5427
 Ph (603) 647-4282 Fax (603) 623-1910
 Email: Joewichert@jmwlls.com

Memo

To: Brian Groth, Hudson Town Planner
From: Joseph Wichert
CC: Brooke Dubowik, Town of Hudson, client & File
Date: 18 October 2018
Re: 2 Tracy Lane – Minor Site Plan for Building Addition



Brian;

Per our emails and meeting with Town staff, attached please find 9 full sized and 17 half sized copies of the revised plan for the above referenced project. Am also enclosing an elevation view of the proposed addition. We have made the following changes to the plan:

ENGINEERING COMMENTS:

1. Added a proposed catch basin with separator as discussed with the Town Engineer
2. Revised the MS4 compliance note

ZONING COMMENTS:

1. Added 10 parking spaces behind the building as shown on the approved site plans.
2. Added note 9 which has the parking schedule listed.
3. Revised note 8 to include the lot coverage. The lot coverage shown is less than the maximum allowed and within 0.5% of what was shown on the approved site plans.
4. Showed a loading area west of the proposed addition.
5. Labeled the area between the pavement and Tracy Lane as Green Area. The current regulations call for a 35' green strip. The existing pavement is close to 35' and appears to match what was shown on the approved site plan. The site plans showed a 35' setback.
6. Added some traffic flow arrows to the plan.
7. Revised the labels for display and storage areas
8. Added the existing lights onto the building and added note 10
9. Revised the list of waivers needed

Thank you for your time and assistance in this matter, please feel free to contact me if you have any questions or concerns.

Joe Wichert

802 Amherst Street
Manchester, New Hampshire 03104-5427
Ph (603) 647-4282 Fax (603) 623-1910
Email: Joewichert@Jmwlls.com

TOWN OF HUDSON

09-37

COMMUNITY DEVELOPMENT DEPARTMENT

ZONING DETERMINATION



12 School Street • Hudson, New Hampshire 03051 • 603-886-6005 • Fax 603-594-1142

June 24, 2009

Jeffrey Blanchard
Bobcat of NH South
317 Derry Road
Hudson, NH 03051

Re: 2 Tracey Lane, Hudson (Map 101/Lot 011-000)

Dear Mr. Blanchard:

Your request for information has been reviewed by the Community Development Department. To sell service and rent compact construction equipment, is a permitted use within the Business zoning district. Planning Board approval will be needed in order to conduct this business. Please contact the Planning Department for further information at 603-886-6005.

Please feel free to contact the Community Development Department if you have any further questions.

This decision may be appealed within 30 days.

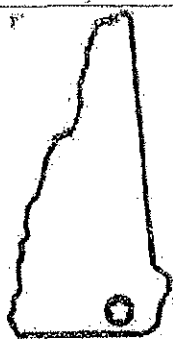
Sincerely,

COMMUNITY DEVELOPMENT DEPARTMENT

William A. Oleksak
Zoning Administrator

cc: Zoning Board of Adjustment
Planning Board
Board of Selectmen
Assistant Town Administrator
File

WO/jk



TOWN OF HUDSON

COMMUNITY DEVELOPMENT DEPARTMENT

REQUEST FOR ZONING INFORMATION / DETERMINATION



12 School Street Hudson, New Hampshire 03051
Community Development Department 603-886-6005 • Engineering Division 603-886-6008 • Fax 603-594-1142

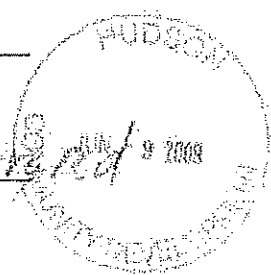
Date of request: 6/09/09

Subject Property specifics: 2 Tracy Lane

Property Location: Corner Tracy Lane & Derry Rd

Map 101 Lot 11

Zoning District if known: "B" Business



Request specifics:

Zoning District Determination Use Determination Set-Back Requirements Other

Description of request / determination (please attach all relevant documentation):

would like to know if I can operate
my Business out of that location. We sell
Service & Rent Compact const. Equipment
use to be used for auto sales and
Auto Repair business Now empty

FUEL + FUEL ISLAND REMOVED
OK ZONING WISE - WOULD THEY NEED SITE PLAN
REVIEW?

Applicant Contact Information:

Name: Scotty Blanchard Resident of NH South

Address: 317 Derry Rd Hudson NH 03051

Phone Number: 603-579-9955

For Office use:

ATTACHMENTS:

TAX CARD GIS

NOTES: _____

ZONING DETERMINATION LETTER SENT DATE SENT _____



TOWN OF HUDSON

Planning Board



Glenn Della-Monica, Chairman

David Morin, Selectmen Liaison

12 School Street · Hudson, New Hampshire 03051 · Tel: 603-886-6008 · Fax: 603-594-1142

CAP FEE WORKSHEET - 2018

Date: 09-26-18 Zone # 1 Map/Lot: 101/11
2 Tracy Ln.

Project Name: 2 Tracy Lane. Site Plan

Proposed ITE Use #1: Bobcat Sales, Service addition Light Industrial Buidling

Proposed Building Area (square footage): 1,200

CAP FEES: (ONE CHECK NEEDED)

1.	(Bank 09) 2070-701	Zone 1	<u>\$ 1,548.00 (1,200sf x \$1.29)</u>
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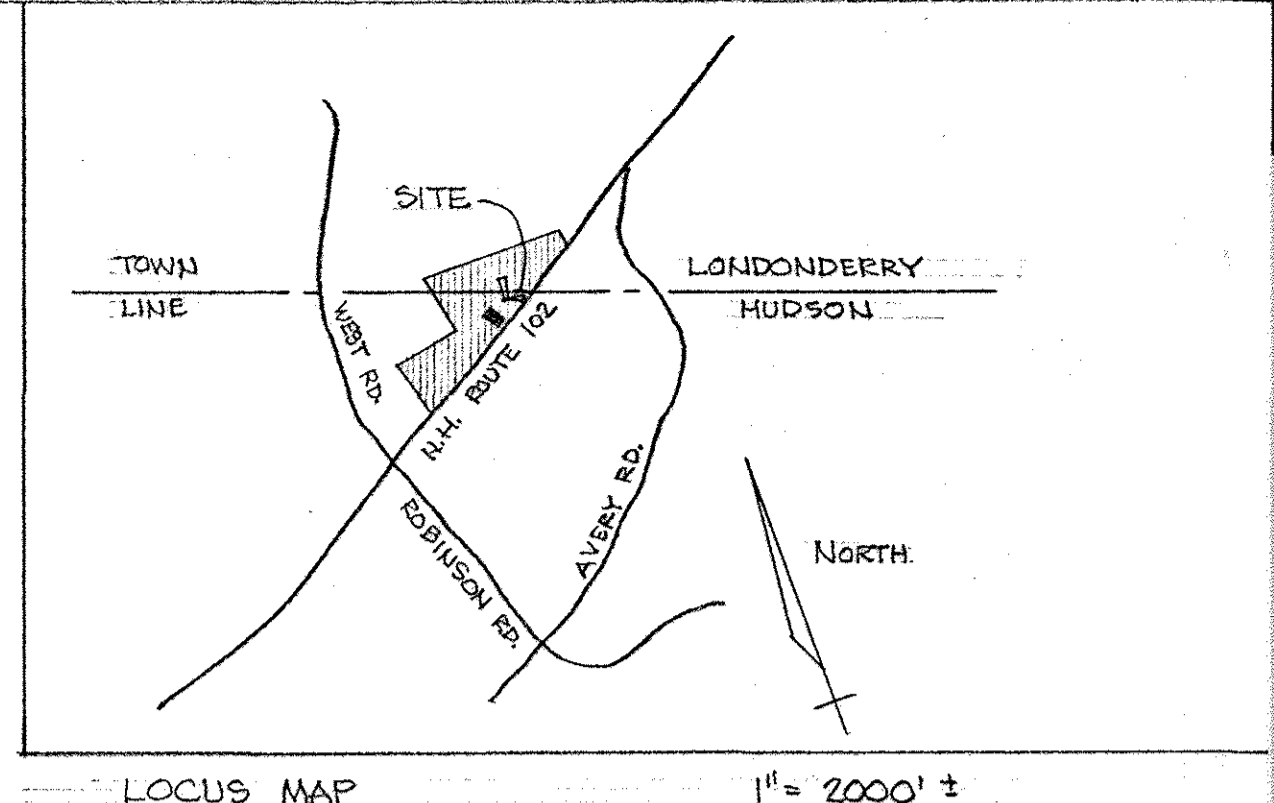
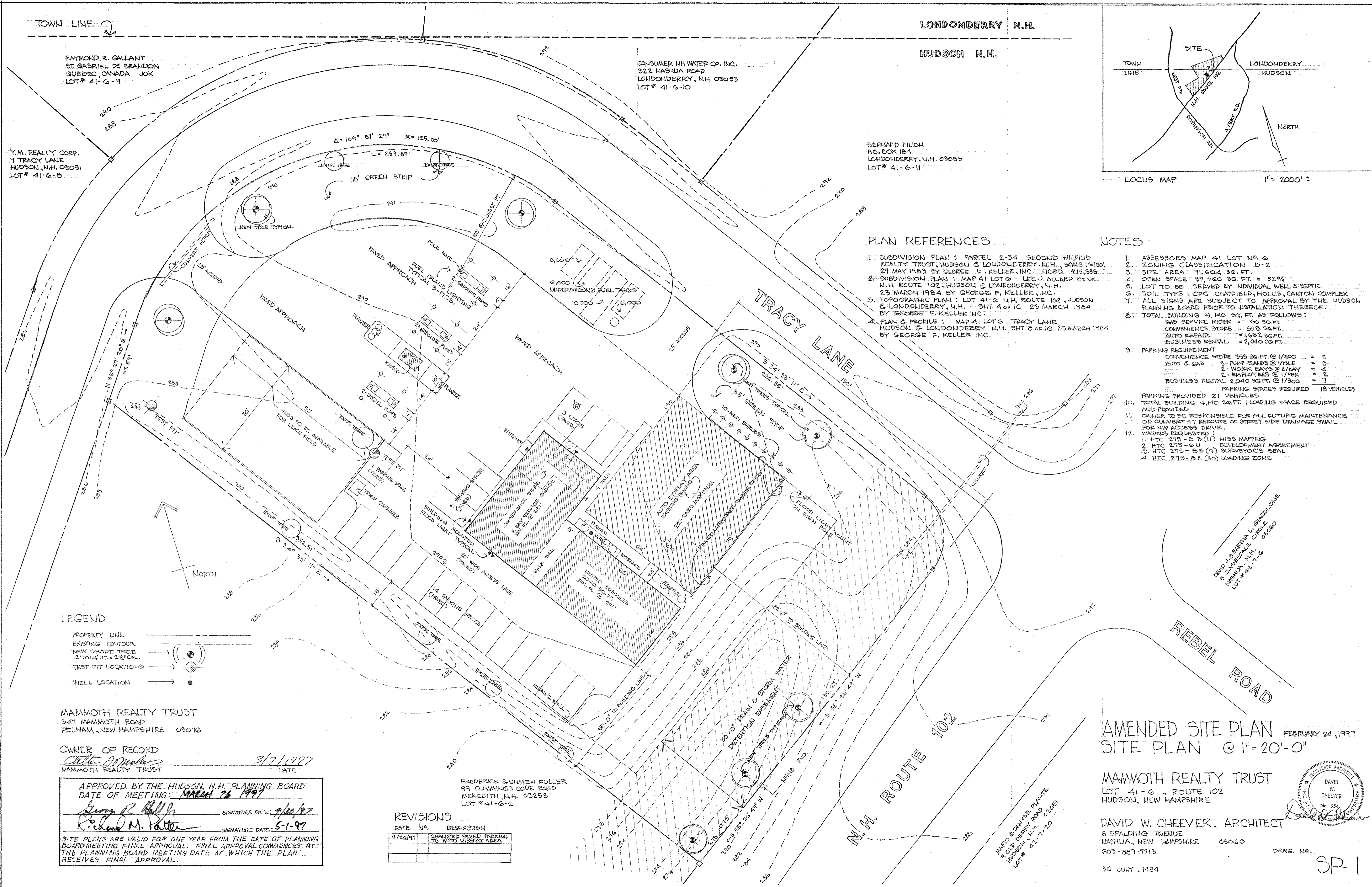
Total CAP Fee	<u>\$ 1,548.00</u>
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Check should be made payable to the Town of Hudson.

Thank you,

Brooke Dubowik

Planning Administrative Aide



BERNARD FILON
P.O. BOX 184
LONDONDERRY, N.H. 03055
LOT # 41-6-11

PLAN REFERENCES

1. SUBDIVISION PLAN: PARCEL 2-34 SECOND WILFELD REALTY TRUST, HUDSON & LONDONDERRY, N.H., SCALE 1"=100', 21 MAY 1983 BY GEORGE F. KELLER, INC. HCRD #15,338
2. SUBDIVISION PLAN: MAP 41 LOT 6 LEE J. ALLARD ET UX. N.H. ROUTE 102, HUDSON & LONDONDERRY, N.H. 23 MARCH 1984 BY GEORGE F. KELLER, INC.
3. TOPOGRAPHIC PLAN: LOT 41-6 N.H. ROUTE 102, HUDSON & LONDONDERRY, N.H. SHT. 4 of 10 23 MARCH 1984 BY GEORGE F. KELLER, INC.
4. PLAN & PROFILE: MAP 41 LOT 6 TRACY LANE HUDSON & LONDONDERRY, N.H. SHT. 8 of 10 23 MARCH 1984 BY GEORGE F. KELLER, INC.

NOTES

1. ASSESSORS MAP 41 LOT NO. 6
2. ZONING CLASSIFICATION B-2
3. SITE AREA 71,604 SQ. FT.
4. OPEN SPACE 37,760 SQ. FT. = 52%
5. LOT TO BE SERVED BY INDIVIDUAL WELL & SEPTIC
6. SOIL TYPE - CPC CHATFIELD, HOLLIS, GANTON COMPLEX
7. ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD PRIOR TO INSTALLATION THEREOF.
8. TOTAL BUILDING 4,140 SQ. FT. AS FOLLOWS:
 GAS SERVICE KIOSK = 30 SQ. FT.
 CONVENIENCE STORE = 358 SQ. FT.
 AUTO REPAIR = 1,682 SQ. FT.
 BUSINESS RENTAL = 2,040 SQ. FT.
9. PARKING REQUIREMENT
 CONVENIENCE STORE 358 SQ. FT. @ 1/200 = 2
 AUTO & GAS 3-PUMP ISLANDS @ 1/100 = 3
 2-WORK BAYS @ 2/BAY = 4
 2-EMPLOYEES @ 1/PER = 2
 BUSINESS RENTAL 2,040 SQ. FT. @ 1/300 = 7
 PARKING SPACES REQUIRED 18 VEHICLES
10. PARKING PROVIDED 21 VEHICLES
 TOTAL BUILDING 4,140 SQ. FT. LOADING SPACE REQUIRED AND PROVIDED
11. OWNER TO BE RESPONSIBLE FOR ALL FUTURE MAINTENANCE OF CULVERT AT REROUTE OF STREET SIDE DRAINAGE SWAIL FOR NW ACCESS DRIVE.
12. WAIVERS REQUESTED:
 1. HTC 275-B B (1) HISS MAPPING
 2. HTC 275-G U DEVELOPMENT AGREEMENT
 3. HTC 275-B B (9) SURVEYOR'S SEAL
 4. HTC 275-B B (30) LOADING ZONE

RAYMOND R. GALLANT
ST. GABRIEL DE BRANDON
QUEBEC, CANADA JOK
LOT # 41-6-9

CONSUMER NH WATER CO., INC.
322 NASHUA ROAD
LONDONDERRY, NH 03055
LOT # 41-6-10

Y.M. REALTY CORP.
7 TRACY LANE
HUDSON, N.H. 03051
LOT # 41-6-8

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- NEW SHADE TREE 12' TO 14' HT. x 2 1/2" CAL.
- TEST PIT LOCATIONS
- WELL LOCATION

MAMMOTH REALTY TRUST
341 MAMMOTH ROAD
PELHAM, NEW HAMPSHIRE 03076

OWNER OF RECORD
Clara Amela
MAMMOTH REALTY TRUST
DATE: 3/7/1997

APPROVED BY THE HUDSON, N.H. PLANNING BOARD.
DATE OF MEETING: MARCH 26 1997
George R. Bellis SIGNATURE DATE: 4/30/97
Richard M. Patten SIGNATURE DATE: 5-1-97

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

REVISIONS

DATE	Nº	DESCRIPTION
2/24/97	1	CHANGED PAVED PARKING TO AUTO DISPLAY AREA

FREDERICK & SHAREN FULLER
99 CUMMINGS COVE ROAD
MEREDITH, N.H. 03253
LOT # 41-6-2

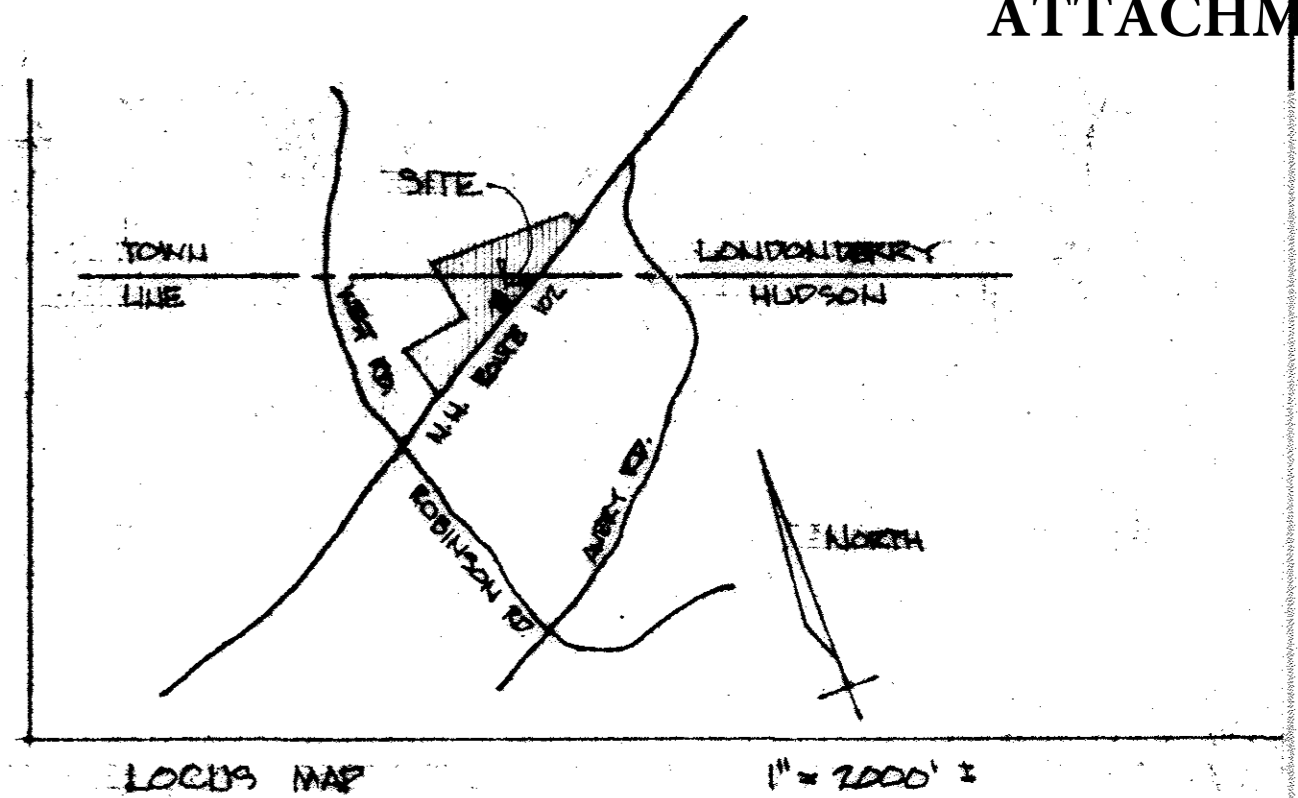
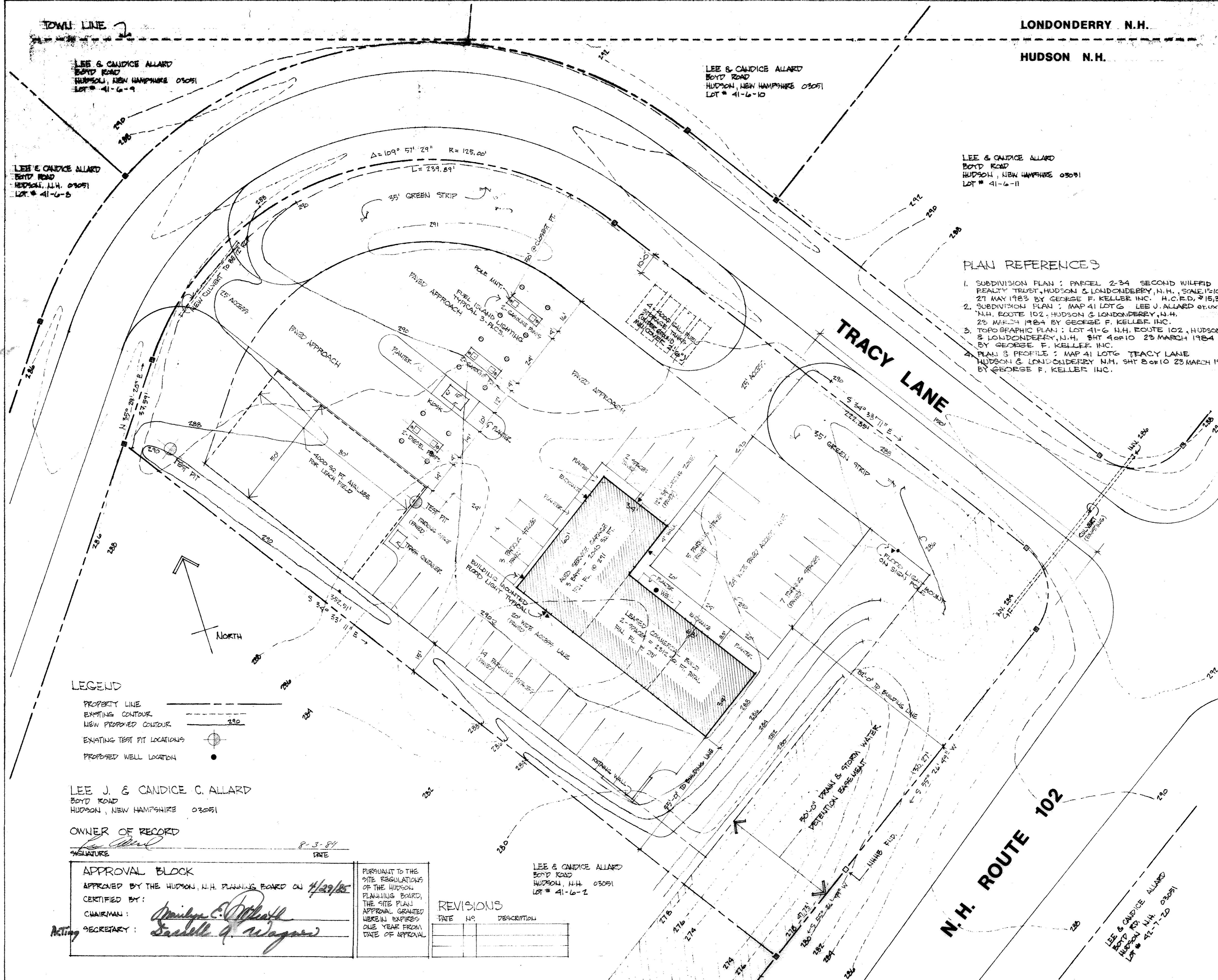
DAVID W. CHEEVER, ARCHITECT
8 SPALDING AVENUE
NASHUA, N.H. 03060
Lot # 42-7-6

AMENDED SITE PLAN FEBRUARY 24, 1997
SITE PLAN @ 1"=20'-0"

MAMMOTH REALTY TRUST
LOT 41-6, ROUTE 102
HUDSON, NEW HAMPSHIRE

DAVID W. CHEEVER, ARCHITECT
8 SPALDING AVENUE
NASHUA, NEW HAMPSHIRE 03060
603-887-7713
PRNG. NO. SP-1

30 JULY, 1984



PLAN REFERENCES

1. SUBDIVISION PLAN: PARCEL 2-34 SECOND WILFRID REALTY TRUST, HUDSON & LONDON DERRY, N.H., SCALE 1"=100', 27 MAY 1983 BY GEORGE F. KELLER INC. H.C.E.D. #15,338.
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NOTES

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4. OPEN SPACE 37,760 SQ. FT. = 52%
5. LOT TO BE SERVED BY INDIVIDUAL WELL & SEPTIC
6. SOIL TYPE - CPC CHATFIELD, HOLLIS, CANTON COMPLEX
7. "ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD PRIOR TO INSTALLATION THEREOF."
8. TOTAL BUILDING 4,412 SQ. FT. AS FOLLOWS:
 GAS SERV. KIOSK = 60 SQ. FT.
 AUTO REPAIR = 2040 SQ. FT.
 BUSINESS RENTAL = 2312 SQ. FT.
9. PARKING REQUIREMENT
 AUTO & GAS 3- PUMP ISLANDS @ 1/ISLE = 3
 3- WORK BAYS @ 7 BAY = 6
 5- EMPLOYEES @ 1/PER = 5
 BUSINESS 2,312 SQ. FT. RENTAL @ 1/200 = 12
 PARKING SPACES REQ'D. 26 VEHICLES
10. PARKING PROVIDED 32 VEHICLES
 TOTAL BLDG. 4,412 SQ. FT. 1 LOADING SPACE REQ'D. & PROVIDED
11. OWNER TO BE RESPONSIBLE FOR ALL FUTURE MAINTENANCE OF CULVERT AT ROUTE OF STREET SIDE DRAINAGE SWAIL FOR ACCESS DRIVE.

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- NEW PROPOSED CONTOUR
- EXISTING TEST PIT LOCATIONS
- PROPOSED WELL LOCATION

LEE J. & CANDICE G. ALLARD
 BOYD ROAD
 HUDSON, NEW HAMPSHIRE 03051

OWNER OF RECORD

Signature: *Lee J. Allard*
 DATE: 8-3-84

APPROVAL BLOCK
 APPROVED BY THE HUDSON, N.H. PLANNING BOARD ON 4/29/85
 CERTIFIED BY:
 CHAIRMAN: *William E. O'Connell*
 SECRETARY: *Barbelle J. Wagner*

PURSUANT TO THE SITE REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES DUE YEAR FROM DATE OF APPROVAL

REVISIONS

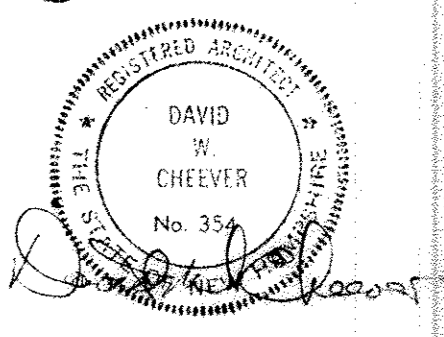
DATE	NO.	DESCRIPTION

LEE & CANDICE ALLARD
 BOYD ROAD
 HUDSON, N.H. 03051
 LOT # 41-6-2

SITE PLAN @ 1"=20'-0"

LEE ALLARD
 LOT 41-6, ROUTE 102
 HUDSON, NEW HAMPSHIRE

DAVID W. CHEEVER, ARCHITECT
 8 SPALDING AVENUE
 NASHUA, NEW HAMPSHIRE 03060
 603-889-7713



30 JULY 1984

DRWG. NO.

SP-1

41/6

HCRD # 17786