

TOWN OF HUDSON

Planning Board

Glenn Della-Monica, Chairman

David Morin, Selectmen Liaison



12 School Street · Hudson, New Hampshire 03051 · Tel: 603-886-6008 · Fax: 603-594-1142

PUBLIC MEETING TOWN OF HUDSON, NH OCTOBER 24, 2018

The Town of Hudson Planning Board will hold a regularly scheduled meeting on Wednesday, October 24, 2018 at 7:00 p.m. in the “Buxton Community Development Conference Room” at Town Hall. The following items will be on the agenda:

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES

- V. MINUTES OF PREVIOUS MEETING(S)
 - 12 September 18 Meeting Minutes – Decisions
 - 26 September 18 Meeting Minutes – Decisions

- VI. CASES REQUESTED FOR DEFERRAL
- VII. CORRESPONDENCE

A. Street Acceptance – Lucier Park Drive

Reference interoffice memo dated 27 September 18 from Elvis Dhima, Town Engineer, to Brian Groth, Town Planner

- VIII. PERFORMANCE SURETIES
- IX. ZBA INPUT ONLY
- X. OLD BUSINESS/PUBLIC HEARINGS
- XI. DESIGN REVIEW PHASE
- XII. CONCEPTUAL REVIEW ONLY

A. Mansfield Drive Subdivision
SB# 05-18

215 Webster Street
Map 147/Lot 024

Purpose of Plan: to Subdivide 1 lot into 8 residential building lots on an extension of existing Mansfield Drove (off Derry Lane). Responses to CLD/Fuss & O’Neill Review including various existing & proposed easements and drainage/Storm Water Analysis. Conceptual Review only.

XIII. NEW BUSINESS/PUBLIC HEARINGS

A. Mal-Mar, LLC Site Plan
SP# 16-18

2 Tracy Lane
Map 101/Lot 011

Purpose of Plan: to allow a 20' x 60' building addition. Application Acceptance & Hearing.
Deferred from September 26, 2018.

B. Eagles Nest Estates (Extension)
SB# 11-18

Bush Hill Road
Map 186/Lot 24
Map 194/Lots 9 & 10
Map 195/Lot 1

Purpose of Plan: To request a One (1) year extension to the Planning Board approved
Subdivision Plan on 08/12/15 and approved 18 month extension on 8/24/16. Application
Acceptance & Hearing.

XIV. OTHER BUSINESS

- Election of Chairperson

XV. ADJOURNMENT

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting. The public is invited to attend.



Brian Groth
Town Planner

POSTED: Town Hall, Library & Post Office – 10-12-18

MINUTES/DECISIONS OF THE PLANNING BOARD
MEETING DATE: SEPTEMBER 12, 2018

In attendance = X; Alternates Seated = S; Partial Attendance = P; Excused Absence = E

Glenn Della-Monica Chairman <u> X </u>	Timothy Malley Vice-Chair <u> X </u>	William Collins Secretary <u> X </u>	Charles Brackett Member <u> A </u>
Jordan Ulery Member <u> E </u>	Dillon Dumont Member <u> X </u>	Ed Van der Veen Alternate <u> X </u>	Elliott Veloso Alternate <u> E </u>
David Morin Select. Rep. <u> X </u>	Roger Coutu Alt. Select. Rep. <u> X </u>		

Meeting called to order at approximately 7:00 p.m.

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES
- V. ELECTION OF OFFICERS
- VI. MINUTES OF PREVIOUS MEETING(S)

- 8 August 18 Meeting Minutes – Decisions

Mr. Dumont moved to approve the 8 August 18 Meeting Minutes (as written/amended).

Motion seconded by Mr. Van der Veen. All in favor – motion carried.

- 22 August 18 Meeting Minutes – Decisions

Mr. Dumont moved to approve the 22 August 18 Meeting Minutes (as written/amended).

Motion seconded by Mr. Van der Veen. Motion carried 5/0/1 (Collins).

VII. CASES REQUESTED FOR DEFERRAL

VIII. CORRESPONDENCE

A. Street Acceptance “Rolling Woods Subdivision”.

1. Rolling Woods Drive
2. York Road Extension

Reference Memo dated 24 August 18 from Elvis Dhima, Town Engineer, to Jay Minkarah, Interim Town Planner.

Mr. Malley moved to recommend acceptance of Rolling Woods Drive and York Road Extension per recommendation of the Town Engineer.

Motion seconded by Mr. Van der Veen. All in favor – motion carried.

B. Release of Surety Bond for Bradley Tree Service Site Plan.

Reference Memo dated 08-24-18 from Tim Bradley, Bradley Commercial Properties, to Jay Minkarah, Town Planner.

Mr. Malley moved to release the remaining site improvements surety for Bradley Tree, 30 Constitution Drive, Map 170/Lot 035 in the amount of \$20,109.00.

Motion seconded by Mr. Van der Veen. Motion carried 5/0/1 (Morin).

IX. PERFORMANCE SURETIES

X. ZBA INPUT ONLY

XI. PUBLIC HEARINGS

XII. OLD BUSINESS/PUBLIC HEARINGS

XIII. DESIGN REVIEW PHASE

XIV. CONCEPTUAL REVIEW ONLY

XV. NEW BUSINESS/PUBLIC HEARINGS

A. Laurel Landing Subdivision (Extension)
SB# 10-18

50 Speare Road
Map 186/Lot 013

Purpose of Plan: to request a one-year extension to the Planning Board approved Subdivision Plan on 08/16/17, which expired on 08/16/18. Application Acceptance & Hearing.

WAIVER MOTIONS:

1) Checklist Item “aw” HTC 275-9(D) – Fiscal Impact Study

Mr. Malley moved to grant the requested waiver of Checklist Item “aw” HTC 275-9(D) – Fiscal impact, study based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion seconded by Mr. Collins. All in favor – motion carried.

2) Checklist Item “ax” HTC 275-9(C) – Noise Study

Mr. Malley moved to grant the requested waiver of Checklist Item “ax” HTC 275-9(C) – Noise Study, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion seconded by Mr. Collins. All in favor – motion carried.

3) Checklist Item “ay” HTC 275-9(B) – Traffic Study

Mr. Malley moved to grant the requested waiver of Checklist Item “ay” HTC 275-9(B) – Traffic Study, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion seconded by Mr. Collins. All in favor – motion carried.

Mr. Malley moved to approve the proposed Site Plan entitled: Proposed Site Plan for Marco Plante, Tax Map 206/Lot 1, by Beals Associates and S&H Land Services, with cover sheet dated July 20, 2018, last revised on August 30, 2018, consisting of Sheets 1 – 12 and Notes 1 – 9 on Sheet 1 of 12 subject to the following stipulations:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Plan.
2. A cost allocation procedure (CAP) amount of \$5,759.00 per residential unit shall be paid prior to the issuance of a Certificate of Occupancy.
3. All monumentation shall be set or bonded for prior to the Planning Board endorsing the Plan-of-Record.
4. A cistern with a minimum capacity of 30,000 gallons shall be installed per NFPA 1142.

5. The plans shall be amended to provide a Planning Board Approval Block in the *lower left-hand* corner of each sheet to be recorded.
6. The proposed access road shall be labeled as a “private way” and assigned a street name to be approved by the Hudson Fire Department.
7. A note shall be added to the plan confirming compliance with MS4 requirements.
8. Approval of this plan shall be subject to final engineering review.
9. Construction activities involving the proposed undeveloped lots shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday.

Motion seconded by Mr. Collins All in favor – motion carried.

D. Highland Street Site Plan
SP# 12-18

3 Highland Street
Map 174/Lot 168

Purpose of Plan: to remove an existing two-family dwelling & construct a 3-unit (3-story) multi-family condex building with drive under garages. Application Acceptance & Hearing.

Mr. Malley moved to accept the Site Plan application for 3 Highland Street, Map 174/Lot 168.

Motion seconded by Mr. Van der Veen. All in favor – motion carried.

WAIVER MOTIONS:

- 1) Checklist Item “AM” – Soil type boundaries

Mr. Dumont moved to grant the requested waiver of Checklist Item “AM” HTC – Soil type boundaries, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted waiver request.

Motion seconded by Mr. Malley. Motion carried 5/1/0 (Collins).

- 2) Checklist Item “O” – Location of various structures and features within 200 ft. of the site.

Mr. Dumont moved to grant the requested waiver of Checklist Item “O” – Location of various structures and features within 200 ft. of the site, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted waiver request.

Motion seconded by Mr. Malley. Motion carried 5/1/0 (Collins).

- 3) Checklist Item “P” – Location of monuments and benchmarks within 200 ft. of the site.

Mr. Dumont moved to grant the requested waiver of Checklist Item “P” – Location of monuments and benchmarks within 200 ft. of the site, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted waiver request.

Motion seconded by Mr. Malley. Motion carried 5/1/0 (Collins)

- 4) Checklist Item “U” – Stormwater Drainage Plan

Mr. Malley moved to grant the requested waiver of Checklist Item “U” – Stormwater Drainage Plan, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted waiver request.

Motion seconded by Mr. Dumont. Motion carried 5/1/0 (Collins)

- 5) Checklist Item “AF” – Exterior Lighting

Mr. Malley moved to grant the requested waiver of Checklist Item “AF” – Exterior Lighting, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted waiver request.

Motion seconded by Mr. Dumont. Motion carried 5/1/0 (Collins).

- 6) HTC 193-10.E – Design Criteria Safe Stopping Distance

Mr. Malley moved to grant the requested waiver of HTC 193-10.E – Design Criteria Safe Stopping Distance, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted waiver request.

Motion seconded by Mr. Dumont. Motion carried 5/1/0 (Collins)

Mr. Malley moved to grant approval of the 3 Highland Street Site Plan prepared for Another Beautiful Day, LLC, by Bedford Design Consultants, dated April 18, 2018, (last revised August 28, 2018), consisting of 9 sheets with Notes 1 – 7 on Sheet 1, subject to the following conditions:

1. All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record.

2. All improvements shown on the Site Plan-of-Record, including Notes 1 – 17 on Sheet 4 shall be completed in their entirety and at the expense of the Applicant or his assigns.
3. A cost allocation procedure (CAP) amount of \$2,924.00 for each new residential unit shall be paid prior to the issuance of a Certificate of Occupancy.
4. Prior to the issuance of a final Certificate of Occupancy, a L.L.S. certified “As-Built” Site Plan shall be provided to the Town of Hudson Land Use Department, confirming that the site conforms to the Planning Board approved Site Plan.
5. The onsite drainage system shall be constructed and maintained in compliance with NHDES requirements for such systems.
6. A note shall be added to the Plan confirming compliance with MS4 requirements.
7. Prior to Planning Board endorsement of the Plan, is shall be subject to final review by the Town Engineer and CLD.
8. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M. No exterior construction activities shall be allowed on Sundays. A note shall be added to Sheet 7 to match this stipulation.
9. Underground utilities shall service the site.

Motion seconded by Mr. Dumont. Motion carried – 4/2/0 (Collins & Morin).

E. Rebel Road Garage Site Plan
SP# 15-18

1 Rebel Road
Map 101/Lot 030

Purpose of Plan: to propose a 5-stall garage in the existing parking area. Application Acceptance & Hearing.

Mr. Malley moved to defer further review of the 2 Rebel Road – Map 101/Lot 30 Site Plan application to a date certain, the September 26, 2018 meeting.

Motion seconded by Mr. Dumont. All in favor – motion carried.

XVI. OTHER BUSINESS

A. Zoning Amendment Workshop: Sign Ordinance.

XVII. ADJOURNMENT

Motion to adjourn by Mr. Malley. Seconded by Mr. Dumont. All in favor – motion carried 5/0/0.

Meeting adjourned at 9:10 p.m.

William Collins
Secretary

MINUTES/DECISIONS OF THE PLANNING BOARD
MEETING DATE: SEPTEMBER 26, 2018

In attendance = X; Alternates Seated = S; Partial Attendance = P; Excused Absence = E

Glenn Della-Monica Chairman <u> X </u>	Timothy Malley Vice-Chair <u> X </u>	William Collins Secretary <u> X </u>	Charles Brackett Member <u> A </u>
Jordan Ulery Member <u> X </u>	Dillon Dumont Member <u> E </u>	Ed Van der Veen Alternate <u> X </u>	Elliott Veloso Alternate <u> X </u>
Roger Coutu Select. Rep. <u> X </u>	David Morin Alt. Select. Rep. <u> X </u>		

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Meeting called to order at approximately 7:00 p.m.

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES

Mr. Van der Veen seated for Mr. Dumont.
- V. MINUTES OF PREVIOUS MEETING(S)
 - 8 August 18 Meeting Minutes – Done- already approved at 9/12/18 Meeting
- VI. CASES REQUESTED FOR DEFERRAL
- VII. CORRESPONDENCE
 - A. Request of Bond Reduction for Orchard Park Lane.

Reference Memo dated 09-04-18 from Don Nicolls, KLN Construction, to Town of Hudson Planning Board.

Mr. Malley motioned to recommend acceptance to reduce the bond for Orchard Park Lane to \$29,664.90 in accordance with recommendation of the Town Engineer.

Motion seconded by Mr. Ulery. All in favor – motion carried.

B. Driveway Waiver Requests – 4 Sandalwood Drive

Request of two waivers from Driveway Regulations §193-10.C and §193-10.G by Heath Ebbeson of 4 Sandalwood Drive, Map 133/Lot 020.

REQUESTED WAIVERS:

- 1) HTC 193-10.C – Establishment of grades
- 2) HTC 193-10.G – Number of driveways per parcel

Mr. Malley moved to grant the requested waiver - HTC 193-10.C, Establishment of grades - based on the testimony of the Applicant's representative, Heath Ebbeson, and in accordance with the language included in the submitted Waiver Request Form.

Motion seconded by Mr. Ulery. Motion failed 2/4/0 (Against-Mr. Collins, Mr.Coutu, Mr. Van der Veen, Mr. Della-Monica)

Waiver 2) HTC 193-10.G – Number of driveways per parcel was not heard.

The Public Hearing opened at 7:11 PM and closed at 7:11 PM.

- VIII. PERFORMANCE SURETIES – None
- IX. ZBA INPUT ONLY– None
- X. OLD BUSINESS/PUBLIC HEARINGS

- A. Rebel Square Garage Site Plan 1 Rebel Road
SP# 15-18 Map 101/Lot 030

Purpose of Plan: to propose a 5-stall in the existing parking area. Application Acceptance & Hearing.

Continued from September 12, 2018 Planning Board Meeting. Mike Hammer presented.

WAIVER REQUESTS:

Check List Items O and P relative to certain features within 200' of the site and AF – exterior lighting.

Mr. Malley moved to grant the requested waivers from Check List Items O and P relative to certain features within 200' of the site and AF– exterior lighting based on the testimony of the Applicant's representative, Mike Hammer, and in accordance with the language included in the submitted Waiver Request Form.

Motion seconded by Mr. Van der Veen. All in favor – motion carried.

MOTION TO APPROVE:

Mr. Malley moved to approve the Site Plan entitled: Proposed Garage Site Plan, Rebel Square Condominium, Land of Greenland Investment Realty Trust & Green Mountain Partners Realty Trust, Tax Map 101, Lot 30, 1 Rebel Road, Hudson, NH, dated May 31, 2018, prepared by Meridian Land Services, Inc., and consisting of one sheet with Notes 1- 6, subject to the following conditions:

1. All improvements shown on the Site Plan-of-Record, including Notes 1- 6 together with any additional notes added to comply with these conditions of approval, shall be completed in their entirety and at the expense of the Applicant or his assigns.
2. Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Land Use Department, confirming that the site conforms to the Planning Board approved site plan.
3. A note shall be added to the plan confirming compliance with MS4 requirements.
4. A note shall be added to the plan stating that no heavy commercial vehicles, recreational vehicles, busses or boats may be garaged on the site.
5. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M. No exterior construction activities shall be allowed on Sundays.
6. Hours of refuse removal shall be exclusive to the hours between 7:00 A.M. and 7:00 P.M. Monday through Saturday only.

Motion seconded by Mr. Van der Veen. All in favor – motion carried.

- XI. DESIGN REVIEW PHASE – None
- XII. CONCEPTUAL REVIEW ONLY – None
- XIII. NEW BUSINESS/PUBLIC HEARINGS

A. 292 Derry Road Conceptual Site Plan
CSP# 07-18

292 Derry Road
Map 109/Lot 007

Purpose of Plan: to add a 9,600 square foot warehouse with an office to the existing 1,800 square foot professional offices and 88 student day-care uses on site. Application Acceptance & Hearing.

Presenter- Jennifer McCourt
Conceptual only – no motions made
Suggestions made:

1. 10 ft. x 20 ft. parking spaces
2. Dumpster location
3. Snow Removal
4. Safety near playground

B. Mal-Mar, LLC Amended Site Plan
SP# 16-18

2 Tracy Lane
Map 101/Lot 011

Purpose of Plan: to amend the previously approved site plan to allow 1 20' x 60' building addition. Application Acceptance & Hearing.

This case has been deferred until the October 24, 2018 Planning Board Meeting

XIV. OTHER BUSINESS – None

XV. ADJOURNMENT

Motion to adjourn by Mr. Della-Monica. Seconded by Mr. Ulery. All in favor – motion carried.

Meeting adjourned at 8:24 p.m.

William Collins
Secretary

Lucier Park Drive Street Acceptance

STAFF REPORT

October 18, 2018

SITE: Lucier Park Drive & Eayer Pond Road - Map 247 Lots 45-6 to 45-16

ATTACHMENTS:

- 1) Memo from Elvis Dhima PE, Town Engineer, to Brian Groth, Town Planner with recommendation for acceptance – Attachment “**A**”
- 2) Memo from Elvis Dhima PE, Town Engineer, to Jess Forrence, Director of Public Works; Rob Buxton, Fire Chief; and Jason Lavoie, Police Chief with recommendation for acceptance – Attachment “**B**”
- 3) Memo from Rob Buxton, Fire Chief, to Elvis Dhima PE, Town Engineer, with recommendation for acceptance – Attachment “**C**”
- 4) Memo from Jess Forrence, Director of Public Works, to Elvis, Dhima PE, Town Engineer, with recommendation for acceptance – Attachment “**D**”

RECOMMENDATION: Staff recommends acceptance of Lucier Park Drive per recommendation of the Town Engineer in concurrence with the Director of Public Works, Fire Chief and Police Chief. A DRAFT MOTION is provided below:

MOTION TO RECOMMEND ACCEPTANCE:

I move to recommend acceptance of Lucier Park Drive per recommendation of the Town Engineer.

Motion by: _____ Second: _____ Carried/Failed: _____

APPLICATION FOR ACCEPTANCE OF A DEDICATED ROAD AS A TOWN ROAD

DATE: 9/20/18

NAME OF ROAD: Lucier Park Derive

NAME OF APPLICANT/AGENT: K&M Developers, LLC

APPLICANT ADDRESS: 46 Lowell Road

Hudson, NH 03051

TELEPHONE: 603 880-7799

COMPLETED APPLICATION FORM TO INCLUDE:

LOCATION OF ROAD: Attach three (3) copies of the approved subdivision plan and indicate the length of road for which acceptance is being requested.

LENGTH OF ROAD: 825 Feet. +/-

STATEMENT OF DEDICATION: H.C.R.D. Plan Number: 39187

H.C.R.D. Book and Page Number which references deed or other instrument dedication road to public use: See Attached

also see hcrd plan #39190 easement plan

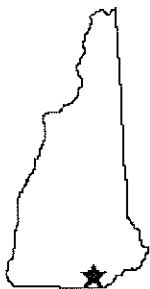
Attach three (3) copies of deed or other instrument.

STATEMENT OF APPLICANTS' INTEREST IN HAVING ROAD ACCEPTED:

Street has been completed to town standard and the applicant would like to have the street accepted pursuant to the original intent of the subdivision.

FEE (\$50.00): PAID: YES ✓ 9/21/18 NO

RECEIPT NO. 522,301 RECEIVED BY: DMS
CK# 2229



TOWN OF HUDSON
Engineering Department



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

INTEROFFICE MEMORANDUM

TO: Brian Groth, Town Planner
FROM: Elvis Dhima, P.E., Town Engineer
DATE: October 1, 2018
RE: Street Acceptance – Lucier Park Drive

Attached please find the Application for Street Acceptance for Lucier Park Drive on behalf of K&M Developers, LLC. I am also attaching a copy of the As-Built Plan for your review.

Please review this application and indicate your approval by initialing this memo and return it to the Engineering Department.

I have reviewed this application on behalf of the Engineering Department, and I support the acceptance of this road.

Thank you.



TOWN OF HUDSON
Engineering Department



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

INTEROFFICE MEMORANDUM

TO: Jess Forrence, Interim Road Agent
Rob Buxton, Fire Chief
Jason Lavoie, Police Chief

FROM: Elvis Dhima, P.E., Town Engineer E2D


DATE: September 21, 2018

RE: Street Acceptance – Lucier Park Drive

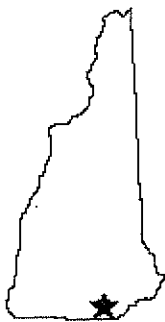
Attached please find the Application for Street Acceptance for Lucier Park Drive on behalf of K&M Developers, LLC. I am also attaching a copy of the As-Built Plan for your review.

Please review this application and indicate your approval by initialing this memo and return it to the Engineering Department.

I have reviewed this application on behalf of the Engineering Department, and I support the acceptance of this road.

 H.P.D.

Thank you.



TOWN OF HUDSON

FIRE DEPARTMENT

39 FERRY STREET, HUDSON, NEW HAMPSHIRE 03051



Emergency 911
Business 603-886-6021
Fax 603-594-1164

Robert M. Buxton
Chief of Department

TO: Elvis Dhima
Town Engineer

FR: Robert M. Buxton
Fire Chief

DT: September 26, 2018

RE: Lucier Park Drive

The Fire Department has reviewed Lucier Park Drive and finds no outstanding issues.

Should you have any further questions please feel free to contact me.

CC: Permit Technician



TOWN OF HUDSON

Highway Department

ATTACHMENT D

RECEIVED

SEP 25 2018


TOWN OF HUDSON
SELECTMENS OFF



2 Constitution Drive Hudson, New Hampshire 03051 6031886-6018 Fax 6031594-1143

September 25, 2019

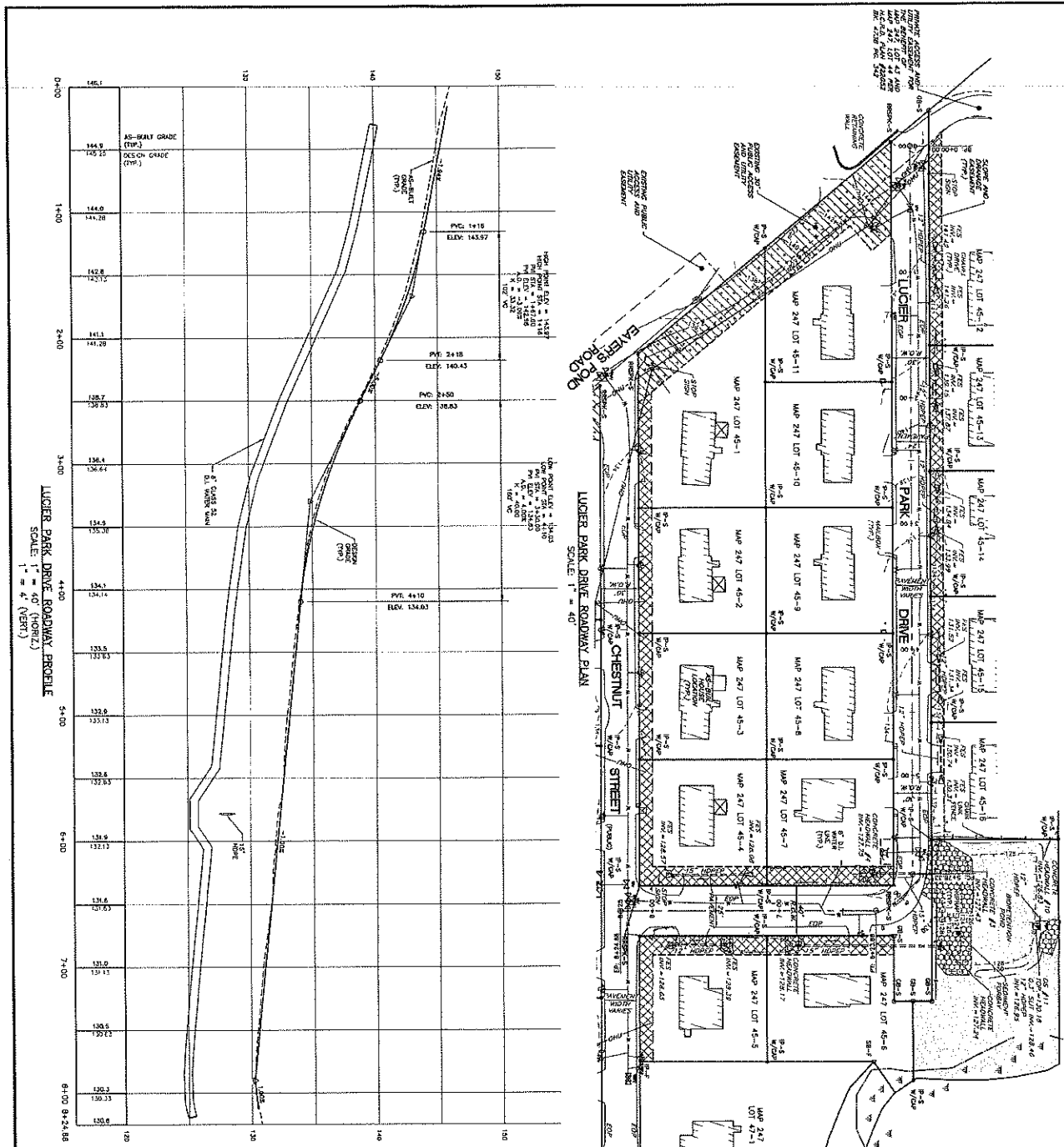
TO: Elvis Dhima

FM: Jess Forrence 

RE: Lucier Park Drive

I have reviewed Lucier Park Drive and on behalf of the Public Works Department I support the acceptance of Lucier Park Drive.

cc: Steve Malizia



AS-BUILT ROADWAY PLAN
LUCIER PARK DRIVE
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

DESIGNED BY: **KM**
 DRAWN BY: **KM**
 CHECKED BY: **KM**
 DATE: **SEPTEMBER 11, 2018**

SCALE: 1" = 40'
 PROJECT NO.: 18-000-02

KM
 KIMMEL & MERRILL, INC.
 444 CORNELL ROAD
 HUDSON, NH 03051

LEGEND

- 1" CONTINUOUS
- 2" CONTINUOUS
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- 45" CONTINUOUS
- 46" CONTINUOUS
- 47" CONTINUOUS
- 48" CONTINUOUS
- 49" CONTINUOUS
- 50" CONTINUOUS

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE AS-BUILT CONDITION OF THE ROADWAY AND TO PROVIDE A RECORD OF THE ROADWAY FOR FUTURE REFERENCE.
2. THE TOTAL AREA OF THE LUCIER PARK DRIVE RIGHT-OF-WAY IS 34,800 SQ. FT. AS SHOWN ON THE PLAN.
3. THE TOTAL AREA OF THE LUCIER PARK DRIVE RIGHT-OF-WAY IS 34,800 SQ. FT. AS SHOWN ON THE PLAN.
4. THE TOTAL AREA OF THE LUCIER PARK DRIVE RIGHT-OF-WAY IS 34,800 SQ. FT. AS SHOWN ON THE PLAN.
5. THE TOTAL AREA OF THE LUCIER PARK DRIVE RIGHT-OF-WAY IS 34,800 SQ. FT. AS SHOWN ON THE PLAN.

AS-BUILT STATEMENT:

THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE ROADWAY AND HAS FOUND THAT THE ROADWAY IS IN GOOD CONDITION AND THAT THE ROADWAY IS AS SHOWN ON THE PLAN. THE ENGINEER HAS NOT CONDUCTED ANY SURVEYING OR MEASUREMENTS OF THE ROADWAY AND THEREFORE CANNOT GUARANTEE THE ACCURACY OF THE PLAN. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE ROADWAY AND HAS FOUND THAT THE ROADWAY IS IN GOOD CONDITION AND THAT THE ROADWAY IS AS SHOWN ON THE PLAN. THE ENGINEER HAS NOT CONDUCTED ANY SURVEYING OR MEASUREMENTS OF THE ROADWAY AND THEREFORE CANNOT GUARANTEE THE ACCURACY OF THE PLAN.

SURVEYOR'S CERTIFICATION:

I, **M. MERRILL**, a duly licensed Professional Engineer in the State of New Hampshire, do hereby certify that the above information was prepared by me or those under my direct supervision and that the AS-BUILT ROADWAY INFORMATION was prepared by me or those under my direct supervision and that the AS-BUILT ROADWAY INFORMATION was prepared by me or those under my direct supervision.

DATE: **SEPTEMBER 11, 2018**

PROFESSIONAL ENGINEER

Mansfield Drive Subdivision Conceptual Plan Review Only

STAFF REPORT

October 18, 2018

SITE: Mansfield Drive – Map 147/Lot 24 – SB# 05-18

ZONING: R-1

PURPOSE OF PLAN: to subdivide one lot into eight residential building lots on an extension of existing Mansfield Drive (off of Derry Lane).

PLAN UNDER REVIEW: Subdivision Plan Mansfield Drive & Derry Lane, Hudson, NH, prepared by Maynard & Paquette Engineering Associates, LLC, 31 Quincy Street, Nashua, NH 03060, dated March 1, 2018, revised August 27, 2018, and consisting of 10 Sheets and Notes 1-18.

ATTACHMENTS:

1. Subdivision Plan, date stamped September 28, 2018 – Attachment “**A**”.
2. Applicant response to CLD/Fuss & O’Neill review comments, dated September 26, 2018, date stamped September 28, 2018 – Attachment “**B**”.
3. CLD/Fuss & O’Neill review comment memo dated April 9, 2018 – Attachment “**C**”.
4. Memo from Town Engineer, Elvis Dhima to Town Planner, Brian Groth, dated October 17, 2018 – Attachment “**D**”.

STAFF COMMENTS:

This subdivision plan was initially submitted on March 21, 2018, but staff determined that the application was not ready for Planning Board review due to the volume and nature of CLD/Fuss & O’Neill’s comments. The applicant has resubmitted a revised plan set and a memo addressing the review comments. While the resubmission is currently under review by CLD/Fuss & O’Neill, the plan is currently presented to the Board for conceptual discussion. It is anticipated that this will be on the agenda for plan acceptance and hearing at the next Planning Board meeting.

This is a proposed 8-lot subdivision for residential lots. The proposed lots will be accessed via an extension of Mansfield Drive. Public sewer and water will also be accessed via the utilities that run with Mansfield Drive.

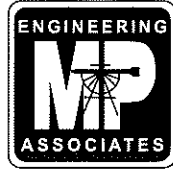
There is a proposed detention basin and an associated 30’ wide utility access easement running along the southern lot line of Map147/Lot 24.

APPLICATION TRACKING:

- 21 MARCH 2018 – Subdivision Application submitted.
- 9 APRIL 2018 – CLD/Fuss & O’Neill comments received.
- 28 SEPTEMBER 2018 – Subdivision Plan resubmitted for conceptual review and second engineering review.
- 24 OCTOBER 2018 – Conceptual Review hearing scheduled.

RECOMMENDATIONS:

For this Conceptual Review, staff recommends for the Planning Board to hold the hearing and receive input from the public. Conceptual review provides opportunity for the Board to discuss the project informally, before a formal site plan application is submitted to identify issues that may come up.



Maynard & Paquette

Engineering Associates, LLC

Consulting Engineers and Land Surveyors
31 Quincy Street, Nashua, NH 03060
Phone (603)883-8433 Fax (603)883-7227
mpeallc@aol.com

September 26, 2018

Glenn Della-Monica, Chairman
Hudson Planning Board
12 School Street
Hudson, NH 03051

Mansfield Drive Subdivision
Hudson NH (J-12,253)



Dear Chairman Della-Monica:

With regard to the CLD comments contained in their letter dated April 9, 2018, we have the following responses:

General – This is a proposed standard subdivision creating typical house lots for sale to individuals in the general public. Proposed houses, driveways and house elevations are unknown and are not required – These are determined and reviewed at the time of application for and issuance of building permits. The numerous CLD comments on this are not relevant.

Storm water calculations have been provided. Please note that the topography is fairly flat and gentle. An overall existing topo plan for the area has been provided with the calculations.

There is no “appears” – this is an 8 lot subdivision on 19.8 acres. CLD’s confusion, likely caused by the Town Engineers previous comments, is incorrect. The sewer, water, roadway and drainage for this project are and will all be public eventually becoming the Town’s responsibility for maintenance. The water is an extension of the existing Town line in Berkely Drive. Per the request of the Town Engineer the public water line will (in a later project) extend across the Town property, Map 138/lot 89 (old Circumferential Highway ROW) to the vicinity of a future proposed residential subdivision at/near lot 82/map 138 (Alvirne Drive) and lot 92/Map 28.

All proposed lots will be serviced by Town utilities and the lots will and do meet minimum requirements :

1a – Subdivision Plan sheets 2 and 3 are at 1”=50 foot scale. The comment that a master plan/overall drawing (Dwg No 1) has a scale less than 1”=50 feet is inappropriate.

1b – Noted N/A

1c – The Planning Board approval black is typically only shown on the 3 drawings to be recorded, however it has been added to the remainder of the drawings.

1d – Richard A. Maynard, manager of the Hudson Five, LLC, is the owner and will be signing the plans.

1e – comment noted

1f – vicinity plan corrected

1g – street sign and stop sign locations and note added to plans

1h – no exterior lighting proposed – note added

1i – plan updated

1j – the subject tract is lot 24, driveways shown

1k – site is essentially flat – contours and spot elevations shown are adequate

1l – comment noted

1j – driveways shown

1k – site is essentially flat – contours and elevations shown are adequate

1l – comment noted

1m – see 1k above

1n – the subdivision is for lots - houses and driveways are future building permit items when each individual new lot owner and proposed house are known

1o – future building permit matter

1p – site plan reg, not residential, not applicable

1q – future building permit issue

1r – done

1s – done

1t – done

1u – subdivision of lots only, house elevations part of future building permit

1v – easement amended

1w – comment noted, PSCo easement is predominately off site and not relevant

1x – PE on final plans



1y – submitted by letter

1z – sidewalk not desired by Road Agent and Town Engineer

1aa – phasing definitely not applicable for 8 lots, nor legally enforceable

2 a&b – this is a subdivision of lots. These comments are building permit issues

3 a – 24 foot street width approved by Road Agent and Town Engineer

3b – cul de sac length adjusted per current length interpretation

3c – cul de sac radius adjusted per current regulations

3d – L/S area added

3e – comment noted

3f – centerline curve info not relevant per modern road layout

3g – vert curves added

3h – sight distance is obviously well beyond 300 If even though Mansfield Drive is an existing ROW dedicated to the Town

3i – RADII added, this ROW pre-exists

3j – see roadway x-section detail

3k – comment noted

3l – profile adjusted

3m – ok

4a – preexisting Mansfield Drive Town ROW and Derry Lane, CB's added

4b – storm calcs provided subsequently

4c – see 4b

4d – ok

4e – ok

4f – comment noted



4g – comment noted

4h – comment noted

5a – not relevant

5b – these are future building lots and type of home will be per zoning at time of building permit

5c – all lots to be served by Town public water and sewer, recent town engineer correspondence is wrong

5d – note 12 eliminated

5e – comment noted

5f – repetitive comment, see above

5g – comment noted

6a – separation corrected

6b – PWW details added

6c – water line to be DIP

6d – GV added

6e – details added

6f – slopes are at 0.006

6g – ok

6h – will do

6i – noted

6j – same as 6i

6k – ok

6l – ok

7 – a-c erosion control sheets added to plan set. Note road and utility construction subject to erosion control



Page 5

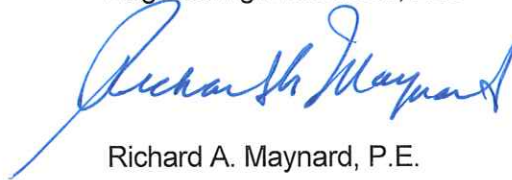
8 – no additional permits needed

9 – no stop bar needed

We trust the above responses adequately address the concerns of the reviewing firm.

Very Truly Yours,

Maynard & Paquette
Engineering Associates, LLC



Richard A. Maynard, P.E.

Encl.



Maynard & Paquette
Engineering Associates, LLC
Consulting Engineers and Land Surveyors

CLD | Fuss & O'Neill

April 9, 2018

Mr. George Theborge
Land Use Director
Town of Hudson
12 School Street
Hudson, NH 03051

Re: Town of Hudson Planning Board Review
Mansfield Drive Subdivision, Mansfield Drive & Derry Lane
Tax Map 147, Lot 024; Acct. #1350-912
CLD | Fuss & O'Neill Reference No. 03-0249.1710

Dear Mr. Theborge:

CLD | Fuss & O'Neill, Inc. has reviewed the first submission of materials related to the above-referenced project received on March 26, 2018. A list of items reviewed is enclosed. The scope of our review is based on the Subdivision Plan Review Codes, Driveway Review Codes, Stormwater Management Codes, Zoning Regulations, and criteria outlined in the CLD Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007 and September 3, 2008; modified to include a zoning overview.

We have included a copy of CLD | Fuss & O'Neill's evaluation of the checklist for your reference.

The project appears to consist of creating an eight (8)-lot residential subdivision out of a 19.84-acre existing lot. It is not clear whether the subject lots are proposed to be serviced by Town or private water and sewer. The plans do not show the source of the connection for the water supply and per Town communications the sewer service that the applicant is proposing a connection to is considered private. If the water or sewer services are not to be serviced by the Town, then several lots do not meet minimum sizing requirements.

The following items are noted:

1. Administrative and Subdivision Review Codes (HR 276 & HR 289)

- a. Hudson Regulation (HR) 276-11.1.B.(2). The applicant has included a subdivision plan sheet with a scale smaller than 50 feet to the inch.
- b. HR 276-11.1.B.(3). The applicant has not provided a revision block in the lower right-hand corner of the plans. The revision block is located along the left margin.
- c. HR 276-11.1.B.(4), 289-27.A.(3). The applicant has not included the Planning Board approval block on all plan sheets.
- d. HR 276-11.1.B.(6) and 289-26.B.(1). The applicant has not included the owner's signature on the plans.
- e. HR 276-11.1.B.(7). The applicant should review one of the labels for lot 139/89. It appears that this should be labeled 138/89.

- f. HR 276-11.1.B.(8) and 289-27.B.(10). The applicant has included a vicinity plan with a scale of one inch equals 500 feet, not one inch equals 1,000 feet as required. Also, the vicinity plan provided does not depict the proposed location.
- g. HR 276-11.1.B.(13) and 289-18.O. The applicant has not proposed any signs and has not provided the sign approval note on the plan set. At a minimum, the applicant needs to provide a street name sign at the intersection of Mansfield Drive and Derry Lane, along with appropriate sign details on the plans. Also, the applicant should review the need for a stop sign at the Derry Lane intersection.
- h. HR 276-11.1.B.(14). The applicant has not noted any proposed lighting or provided a note stating that there will be no exterior lighting.
- i. HR 276-11.1.B.(15). It does not appear as if the applicant has shown all buildings within 50 feet of the subject tract.
- j. HR 276-11.1.B.(16). The applicant has not shown all driveways located within 200 feet of the subject tract.
- k. HR 276-11.1.B.(17). The applicant has only provided existing contours in the area of the proposed road and a small portion of the proposed lots.
- l. HR 276-11.1.B.(17) and HR 289-27.B.(7). The applicant has not provided a reference to a USGS benchmark nor shown any benchmarks on the plan set.
- m. HR 276-11.1.B.(18) and 289-27.B.(3). The applicant has not shown proposed topography on the plans other than a few spot grades. We note that some of the spot grades provided do not appear to agree with the road profile.
- n. HR 276-11.1.B.(21)(b). The applicant has not shown the proposed locations of any houses or driveways on the plan set nor provided alternative proposals for consideration.
- o. HR 276-11.1.B.(22). The applicant has not shown any pavement, gravel or structures on any of the proposed lots so compliance with the Regulation could not be verified.
- p. HR 276-11.1.B.(24). The applicant did not provide any open space percentage calculations on the plans.
- q. HR 276-11.1.B.(25). The applicant has not shown any parking or travelways within the subject lots so compliance with the Regulation could not be verified.
- r. HR 276-15. The applicant has not noted the need to call DigSafe nor included their logo and/or phone number on the plan set.
- s. HR 289-4 and HR 289-28.A. The applicant has included a legend for the installation of stone bounds and iron pins but has not shown those proposed symbols on the plans. Also, the applicant should provide a detail for any stone bounds to be installed.
- t. HR 289-18.B.(5). The applicant has not proposed the required dead-end directional sign.
- u. HR 289-20.A.(1). The applicant has not provided finish floor elevations on the plan set for any proposed buildings.
- v. HR 289-21.A. The applicant has provided a copy of proposed utility easements for the subject subdivision. We note that the proposed easement area for the detention basin as described in the drainage easement does not match the dimensions shown on the plans.
- w. HR 289-26.B.(3). The applicant has shown an existing Public Service easement on Lot 24. A copy of the easement was not included in the review package.

- x. HR 289-27.B.(1). The applicant has not provided an engineer's seal on all plan sheets.
- y. HR 289-27.B.(9). The applicant has not provided a sworn statement dedicating the street and right-of-way for public use.
- z. HR 289-28.G. The applicant has not proposed a sidewalk along the roadway.
- aa. HR 289-37.A. The applicant has not included any phasing information in the subdivision submission.

2. Driveway Review Codes (HR 193-10)

- a. HR 193-10.A. The applicant has not shown the locations of any proposed driveways on the plans.
- b. The applicant has not shown any driveway grading other than as shown on the roadway cross section.

3. Roadway Design

- a. HR 289-18.B.(1) and 289-28.B.(2). The applicant has proposed a pavement width that is less than the 28 foot minimum required by the Regulation. We note that in separate correspondence the Town has accepted the proposed 24' width.
- b. HR 289-18.B.(2). When measured per the definition in the Regulation, the applicant has proposed a cul-de-sac length that is greater than the 1,000 foot maximum allowed by Regulation.
- c. HR 289-18.B.(3). The applicant has proposed a cul-de-sac Right-of-Way radius that is less than the Regulation minimum of 75'. The applicant has also proposed a minimum radius to the outside edge of pavement that is less than the Regulation minimum of 65'.
- d. HR 289-18.B.(4). The applicant has not proposed a permanent landscaped area in the center of the cul-de-sac.
- e. HR 289-18.B.(4). The applicant has not shown the intent for drainage in the center of the cul-de-sac.
- f. HR 289-18.C.(1). The applicant has not shown center line horizontal curve information on the plan set.
- g. HR 289-18.C.(2). The applicant has not shown vertical curves nor noted their proposed K-values on the plans. (The current plan appears to propose point of vertical angles.)
- h. HR 289-18.E. The applicant has not noted sight distances at the Mansfield Drive/Derry Lane intersection.
- i. HR 289-18.H. The applicant has not noted the proposed pavement radii for Mansfield Drive at the Derry Lane intersection.
- j. HR 289-28.F. The applicant has provided a curb detail that doesn't match the proposed road cross section (no crushed gravel is shown in the subbase).
- k. The applicant should provide a detail for the proposed paving and curbing tie-ins at Derry Lane.

- l. The applicant has shown on the profile that the Derry Lane centerline elevation and the area of road between the centerline and proposed road will be dropped vertically by over a quarter of a foot, but has not shown any reconstruction details on the plan set.
- m. The applicant should clarify on the plan set, the limits proposed for use of the perforated drain.

4. Drainage Design /Stormwater Management (HR 289-20.C. /Chapter 290)

- a. HR 289-20.B.(2). The applicant has not proposed the required catch basins near the corners of Mansfield Drive at the Derry Lane intersection.
- b. HR 289-20.C.(1-6) – The applicant did not provide any stormwater calculations or support materials. Closed drainage structures and piping are shown on the plans.
- c. HR 290 (Entire section) – The applicant did not provide any of the required stormwater material for review.
- d. The applicant should review the proposed rim elevation for drain manhole #4 as it does not appear to match the existing grading at this location.
- e. The applicant did not provide a detail for the proposed headwall.
- f. Although the applicant has shown a six foot deep stormwater basin, the street invert is only 3.3 feet above the bottom of the basin. Without calculations, we are unable to determine how far into the pipe the water is likely to remain.
- g. The applicant's stormwater management area is shown with angle points in the proposed grading design. Unless the feature is to be constructed using a solid material, the proposed concept will be difficult to build and maintain.
- h. The applicant should provide grading tie-in details and the proposed material design for the stormwater management area.

5. Zoning (HR 334)

- a. HR 334-14 and HR 276-11.1.B.(20). The applicant has not noted any proposed building heights on the plan set.
- b. HR 334-20. The site is located in the Residential One (R-1) and Residential Two (R-2) Districts. The plans do not indicate whether single family homes are intended for the subject lots. If single family homes are proposed, the applicant's proposed use for the site appears to be permitted in this district. Two family and multifamily homes are not permitted. The applicant should correct the zoning labels that have misnoted where the R-1 and R-2 Districts lie.
- c. HR 334-27. The applicant has proposed several lots whose size is less than the minimum required for lots without Town water or sewer. Per recent correspondence from the Town the sewer connection currently proposed is considered a private sewer system, not a Town system. The plans do not clearly indicate if the proposed water connection is public or private.
- d. HR 334-39. The applicant has shown wetlands on Lot 24 and included their square footage in the lot table on Sheet 1. We note that the applicant has also included note #12 on Sheet 1 which states that there are no wetlands on site. The applicant should address this inconsistency.
- e. HR 334-39. The applicant has not shown any wetlands buffer areas on the plans. We note that no construction activities or other impacts are currently shown for the wetlands area on Lot 24.

- f. HR 334-62. The applicant has not proposed any sign installations as a part of this project.
- g. HR 334-83. The site is not located in a designated flood hazard area. The applicant has not noted this on the plans.

6. Sewer/Water Design/Conflicts & Utility Design/Conflicts (HR 276-13.E.)

- a. The applicant has proposed water and sewer mains that have less than the minimum ten foot separation.
- b. The applicant has not provided any details for installation of the proposed water main, hydrant, valves, service lines, or other related appurtenances.
- c. The applicant has not shown the proposed material type for the water main.
- d. The applicant has proposed a hydrant installation without a separate dedicated gate valve.
- e. The applicant has not provided any details for installation of the proposed sewer main, sewer manholes, service lines, or other related appurtenances.
- f. The applicant has proposed a portion of sewer main whose slope is less than the minimum allowed by NHDES Env-Wq-700 (SMH 4 to SMH 3 on sheet 4). This sewer run is also shown on sheet 5 with different inverts and pipe slope. The applicant needs to coordinate the details between plan sheets and provide a pipe slope that meets the minimum required by the Regulation.
- g. The applicant should review the proposed rim elevations for sewer manholes as several do not appear to match the proposed or existing grading depicted on the profiles for those locations.
- h. The applicant has not provided utility crossing details in the plan set for the water and sewer mains.
- i. The applicant has not shown the proposed water main on the road profile.
- j. The applicant has not shown the water on the cross-country profile.
- k. The applicant should add the stationing to the plan views that coordinate with the cross-country utility profiles.
- l. The applicant should provide copies of the existing easements adjacent to this project that the applicant is proposing to utilize as part of the project.

7. Erosion Control/Wetland Impacts

- a. HR 290-5.K.(20). The applicant has not shown any proposed erosion control measures on the plan set.
- b. HR 290-5.K.(20). The applicant has not provided any erosion control measure details in the plan set.
- c. The Town should reserve the right to require additional erosion control measures.

8. State and Local Permits

- a. The applicant has not noted the need to acquire any permits for this project on the plan set.
- b. Additional local permitting may be required.

CLD | Fuss & O'Neill

Mr. George Theborge

CLD | Fuss & O'Neill Reference No. 03-0249.1710

April 9, 2018

Page 6 of 6

9. Other

- a. The applicant should review the need for a stop bar to be provided at the Mansfield Drive intersection with Derry Lane.

Please feel free to call if you have any questions.

Very truly yours,



Heidi J. Marshall, PE



Paul Konieczka, AICP

HJM:PK:mjt

Enclosure

cc: Town of Hudson Engineering Division – File
Maynard & Paquette Engineering Associates, LLC
31 Quincy Street
Nashua, NH 03060
Fax (603) 883-7227

Groth, Brian

From: Dhima, Elvis
Sent: Wednesday, October 17, 2018 3:27 PM
To: Groth, Brian
Subject: RE: Mansfield Drive Map147/Lot 24

Brian

Below are my comments related to this project:

1. Applicant shall state if they meet the new MS4 requirements
2. Applicant shall revise the detention basin to be located at least 15 feet away from the property line due to the proximity of the existing homes adjacent to it.
3. Applicant shall add 6 foot chain link fence around the detention basin which is shown to be 10 feet deep for safety.
4. Applicant shall revise access easement to be at least five feet away from the top of the detention basin
5. Applicant shall provide recorded access easement documents prior to the approval of this plan

Thanks

E

Elvis Dhima, P.E.
Town Engineer

Town of Hudson, NH
12 School Street
Hudson, NH 03051
Phone: (603) 886-6008
Mobile: (603) 318-8286



From: Groth, Brian
Sent: Wednesday, October 17, 2018 1:03 PM
To: Dhima, Elvis <edhima@hudsonnh.gov>
Subject: Mansfield Drive Map147/Lot 24

Elvis,

Please offer your comments regarding a proposed 100' x 50' detention basin with associated 30' access easement to be located on Map 147/Lot 24. Plan set is attached. Detention basin is shown on sheet 6.

Thank you,
Brian

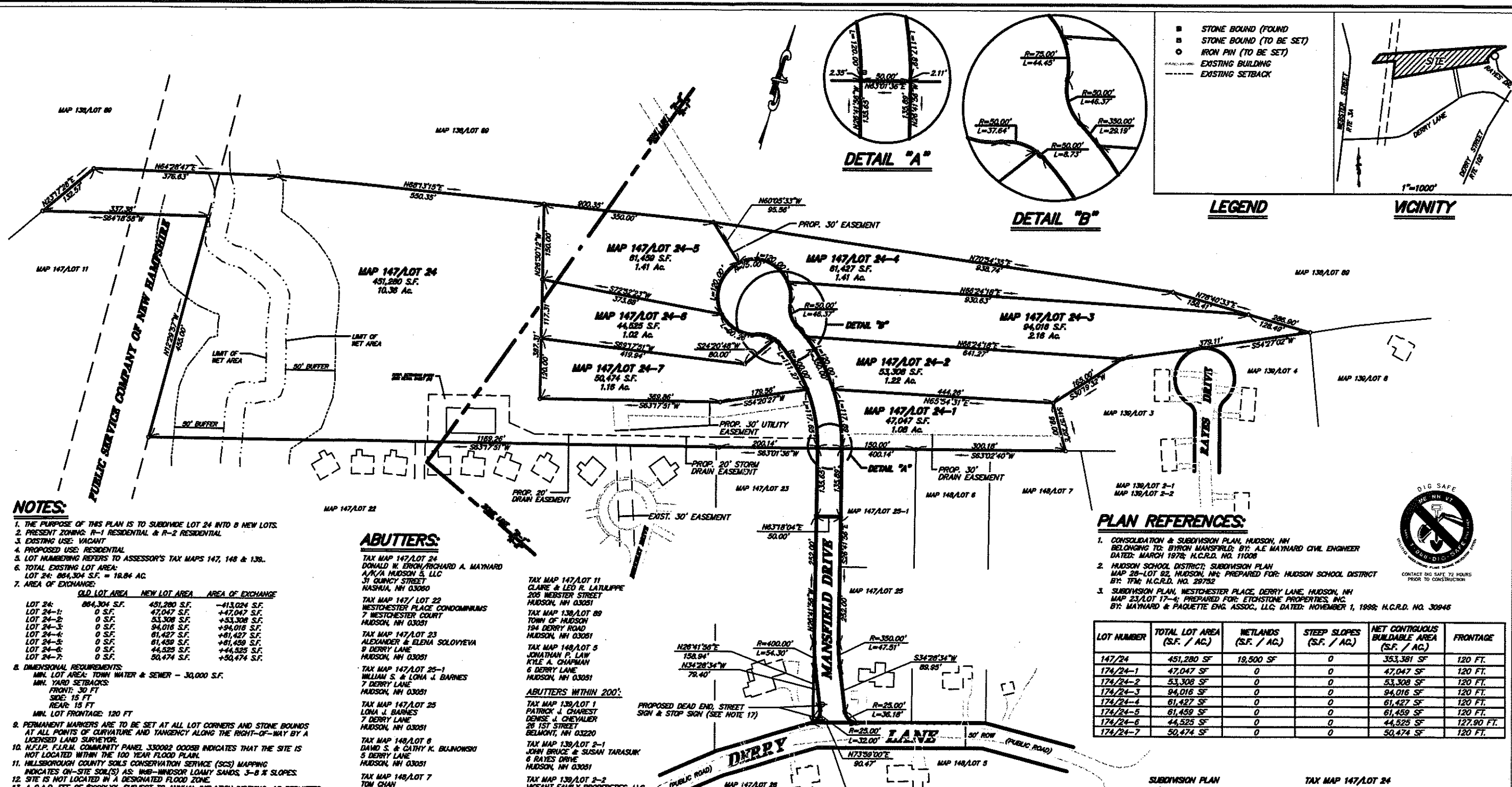
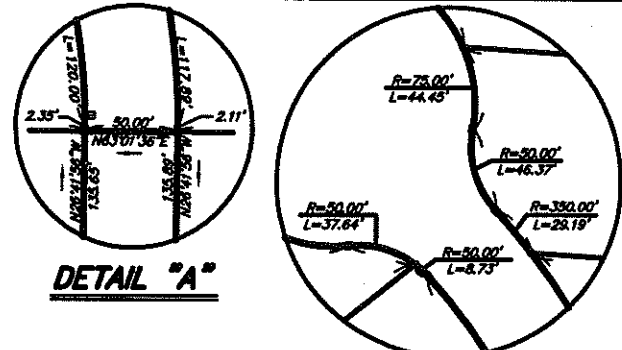
Brian Groth
Town Planner

LEGEND

- STONE BOUND (FOUND)
- STONE BOUND (TO BE SET)
- IRON PIN (TO BE SET)
- EXISTING BUILDING
- - - EXISTING SETBACK

VICINITY

1"=1000'



NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE LOT 24 INTO 8 NEW LOTS.
2. PRESENT ZONING: R-1 RESIDENTIAL & R-2 RESIDENTIAL
3. EXISTING USE: VACANT
4. PROPOSED USE: RESIDENTIAL
5. LOT NUMBERING REFERS TO ASSESSOR'S TAX MAPS 147, 148 & 139.
6. TOTAL EXISTING LOT AREA:
LOT 24: 864,304 S.F. = 19.84 AC.
7. AREA OF EXCHANGE:

LOT	OLD LOT AREA	NEW LOT AREA	AREA OF EXCHANGE
LOT 24	864,304 S.F.	451,280 S.F.	-413,024 S.F.
LOT 24-1	0 S.F.	47,047 S.F.	+47,047 S.F.
LOT 24-2	0 S.F.	53,308 S.F.	+53,308 S.F.
LOT 24-3	0 S.F.	94,016 S.F.	+94,016 S.F.
LOT 24-4	0 S.F.	61,427 S.F.	+61,427 S.F.
LOT 24-5	0 S.F.	61,459 S.F.	+61,459 S.F.
LOT 24-6	0 S.F.	44,525 S.F.	+44,525 S.F.
LOT 24-7	0 S.F.	50,474 S.F.	+50,474 S.F.

8. DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA: TOWN WATER & SEWER - 30,000 S.F.
MIN. YARD SETBACKS:
FRONT: 30 FT
SIDE: 15 FT
REAR: 15 FT
MIN. LOT FRONTAGE: 120 FT
9. PERMANENT MARKERS ARE TO BE SET AT ALL LOT CORNERS AND STONE BOUNDS AT ALL POINTS OF CURVATURE AND TANGENCY ALONG THE RIGHT-OF-WAY BY A LICENSED LAND SURVEYOR.
10. N.H.P. F.I.R.M. COMMUNITY PANEL J30092 0005B INDICATES THAT THE SITE IS NOT LOCATED WITHIN THE 100 YEAR FLOOD PLAIN.
11. HILLSBOROUGH COUNTY SOILS CONSERVATION SERVICE (SCS) MAPPING INDICATES ON-SITE SOIL(S) AS: HUB-WINDSOR LOAMY SANDS, 3-8 % SLOPES. SITE IS NOT LOCATED IN A DESIGNATED FLOOD ZONE.
12. A C.A.P. FEE OF \$1000.00, SUBJECT TO ANNUAL INFLATION INDEXING, AS PERMITTED BY THE IMPACT FEE METHODOLOGY, SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
13. A PUBLIC SCHOOL IMPACT FEE OF \$1000.00 SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE RESIDENCE.
14. A RECREATION CONTRIBUTION OF \$1000.00 SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE RESIDENCE.
15. NO EXTERIOR, NOR STREET LIGHTING PROPOSED.
16. STREET SIGNS, DEAD END SIGNS AND STOP SIGNS PER HIGHWAY DEPT. SPECS AND ORDINANCE SECTION 289-180 AND 289-9-5, SHALL BE INSTALLED IN LOCATIONS AS NEEDED.
17. EROSION CONTROL MEASURES IF NEEDED. (SEE DWG'S. 10 & 11) TO BE INSTALLED AS DIRECTED BY THE TOWN.

ABUTTERS:

- TAX MAP 147/LOT 24
DONALD W. ERION/RICHARD A. MAYNARD
A/K/A HUDSON FIVE, LLC
31 QUINCY STREET
NASHUA, NH 03060
- TAX MAP 147/LOT 22
WESTCHESTER PLACE CONDOMINIUMS
7 WESTCHESTER COURT
HUDSON, NH 03051
- TAX MAP 147/LOT 23
ALEXANDER & ELENA SOLOVYEVA
9 DERRY LANE
HUDSON, NH 03051
- TAX MAP 147/LOT 25-1
WILLIAM S. & LONA J. BARNES
7 DERRY LANE
HUDSON, NH 03051
- TAX MAP 147/LOT 25
LONA J. BARNES
7 DERRY LANE
HUDSON, NH 03051
- TAX MAP 148/LOT 6
DAVID S. & CATHY K. BUNOWSKI
5 DERRY LANE
HUDSON, NH 03051
- TAX MAP 148/LOT 7
TOM CHAN
P.O. BOX 1023
HUDSON, NH 03051
- TAX MAP 147/LOT 4
GREGORIO & WENDY L. WRIGHT
2 PINEWOOD ROAD
HUDSON, NH 03051
- TAX MAP 139/LOTS 3 & 8
RACHEL A. FRANCOEUR TRUSTEE
FRANCOEUR REVOCABLE TRUST
23 WOODCREST DRIVE
HUDSON, NH 03051
- TAX MAP 147/LOT 26
JOHN VINCENT O'BRIEN
9 DERRY LANE
HUDSON, NH 03051
- TAX MAP 147/LOT 11
CLAIRE & LEO R. LATULIPPE
205 WEBSTER STREET
HUDSON, NH 03051
- TAX MAP 139/LOT 89
TOWN OF HUDSON
154 DERRY ROAD
HUDSON, NH 03051
- TAX MAP 148/LOT 5
JONATHAN P. LAW
KYLE A. CHAPMAN
6 DERRY LANE
HUDSON, NH 03051
- TAX MAP 139/LOT 1
PATRICK J. CHAREST
DENISE J. CHEVALIER
26 1ST STREET
BELMONT, NH 03220
- TAX MAP 148/LOT 2-1
JOHN BRUCE & SUSAN TARASUK
6 RATES DRIVE
HUDSON, NH 03051
- TAX MAP 139/LOT 2-2
WAGANT FAMILY PROPERTIES, LLC
5 MOOKINGBARD LANE
HUDSON, NH 03051
- TAX MAP 147/LOT 10-3
DARRI S. WEEGERS
2 PINEWOOD ROAD
HUDSON, NH 03051
- TAX MAP 147/LOT 9
PAUL V. & ANIKA J. POMEROY
219 WEBSTER STREET
HUDSON, NH 03051
- ENGINEER:**
MAYNARD & PAQUETTE ENG. ASSOC., LLC
31 QUINCY STREET
NASHUA, NH 03060

PLAN REFERENCES:

1. CONSOLIDATION & SUBDIVISION PLAN, HUDSON, NH BELONGING TO: BYRON MANSFIELD; BY: A.E. MAYNARD CIVIL ENGINEER DATED: MARCH 1978; H.C.R.D. NO. 11006
2. HUDSON SCHOOL DISTRICT, SUBDIVISION PLAN MAP 28-LOT 82, HUDSON, NH; PREPARED FOR: HUDSON SCHOOL DISTRICT BY: TM; H.C.R.D. NO. 28752
3. SUBDIVISION PLAN, WESTCHESTER PLACE, DERRY LANE, HUDSON, NH MAP 23/LOT 17-4; PREPARED FOR: ETONSTONE PROPERTIES, INC. BY: MAYNARD & PAQUETTE ENG. ASSOC., LLC; DATED: NOVEMBER 1, 1998; H.C.R.D. NO. 30946

LOT NUMBER	TOTAL LOT AREA (S.F. / AC.)	WETLANDS (S.F. / AC.)	STEEP SLOPES (S.F. / AC.)	NET CONTIGUOUS BUILDABLE AREA (S.F. / AC.)	FRONTAGE
147/24	451,280 SF / 10.28 AC.	19,500 SF / 0.45 AC.	0	353,381 SF / 8.05 AC.	120 FT.
174/24-1	47,047 SF / 1.07 AC.	0	0	47,047 SF / 1.07 AC.	120 FT.
174/24-2	53,308 SF / 1.21 AC.	0	0	53,308 SF / 1.21 AC.	120 FT.
174/24-3	94,016 SF / 2.15 AC.	0	0	94,016 SF / 2.15 AC.	120 FT.
174/24-4	61,427 SF / 1.40 AC.	0	0	61,427 SF / 1.40 AC.	120 FT.
174/24-5	61,459 SF / 1.40 AC.	0	0	61,459 SF / 1.40 AC.	120 FT.
174/24-6	44,525 SF / 1.01 AC.	0	0	44,525 SF / 1.01 AC.	127.90 FT.
174/24-7	50,474 SF / 1.15 AC.	0	0	50,474 SF / 1.15 AC.	120 FT.

APPROVED BY THE HUDSON, N.H. PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE: _____
DATE: _____

I CERTIFY THAT THIS PLAN WAS PREPARED FROM A FIELD SURVEY LAST MADE ON THE GROUND ON OCTOBER 2017, HAVING A MAXIMUM ERROR OF CLOSURE OF 1:10,000.

DONALD W. ERION/RICHARD A. MAYNARD
A/K/A HUDSON FIVE, LLC
DATE: _____

SUBDIVISION PLAN
MANSFIELD DRIVE & DERRY LANE
HUDSON, NEW HAMPSHIRE

PREPARED FOR:
HUDSON FIVE, LLC
31 QUINCY STREET
NASHUA, NH 03060

DATE: MARCH 1, 2018

SCALE: 1" = 100'

Maynard & Paquette
Engineering Associates, LLC
Consulting Engineers and Land Surveyors
31 Quincy Street, Nashua, NH 03060
Phone: (603)883-8433 Fax: (603)883-7227

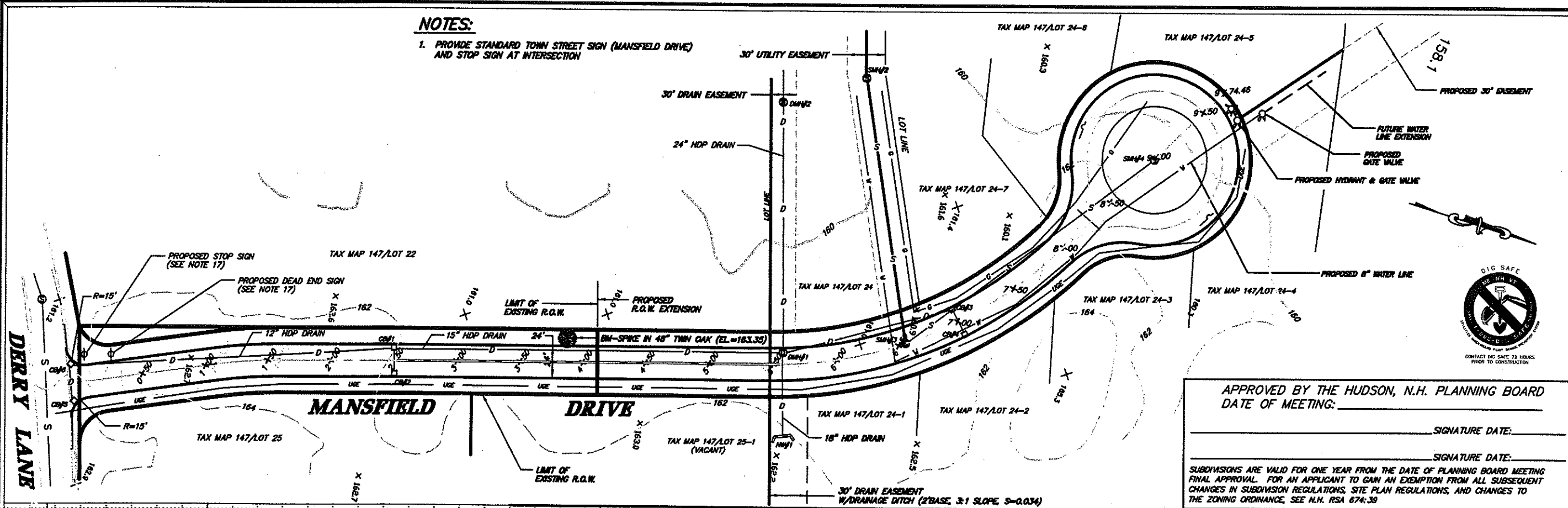
SEP 28 2018

TOWN OF HUDSON

KPM	APB	12253
REVISION	DATE	BY

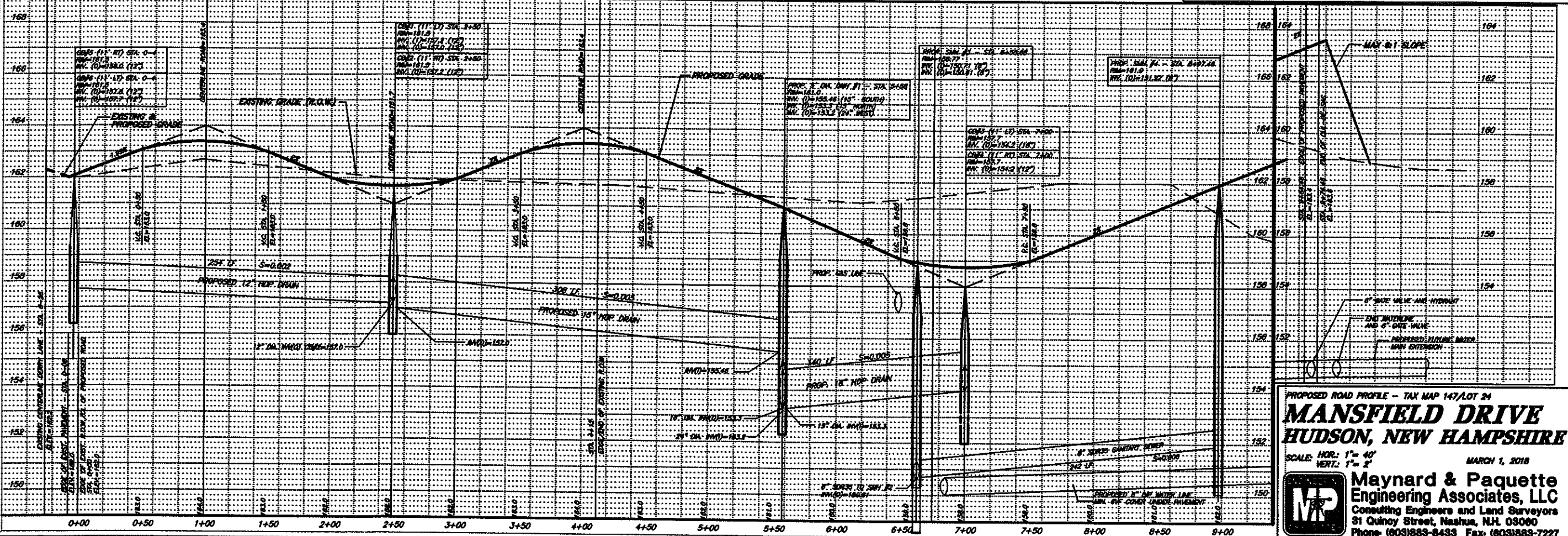
NOTES:

1. PROVIDE STANDARD TOWN STREET SIGN (MANSFIELD DRIVE) AND STOP SIGN AT INTERSECTION



APPROVED BY THE HUDSON, N.H. PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE: _____ DATE: _____
 SIGNATURE: _____ DATE: _____

SUBDIVISIONS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS, AND CHANGES TO THE ZONING ORDINANCE, SEE N.H. RSA 674:39

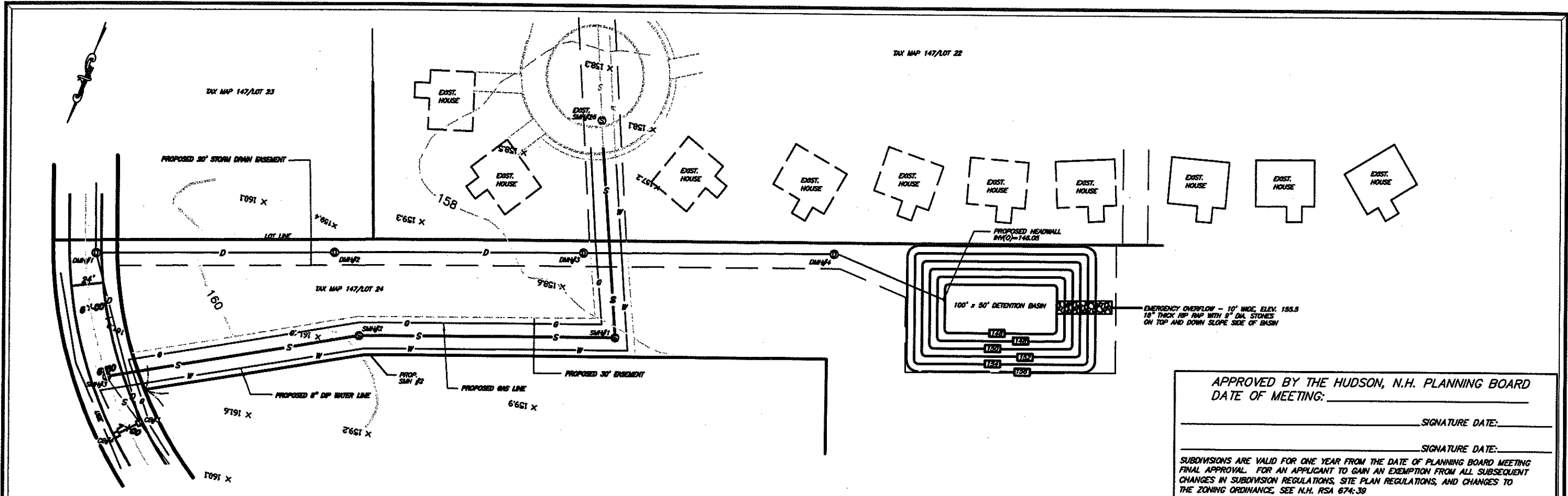


PROPOSED ROAD PROFILE - TAX MAP 147/LOT 24
MANSFIELD DRIVE
 HUDSON, NEW HAMPSHIRE
 SCALE: HOR: 1" = 40'
 VERT: 1" = 2'
 MARCH 1, 2018
Maynard & Paquette
 Engineering Associates, LLC
 Consulting Engineers and Land Surveyors
 31 Quinoy Street, Nashua, N.H. 03060
 Phone: (603)863-8433 Fax: (603)863-7227

NO.	DATE	BY	REVISIONS FOR OLD TOWN OF HUDSON REVIEW COMMENTS
1	3/27/2018	APB	REVISION

KPM	APB	RAM	D	12253
DESIGNED	DRAWN	CHECKED	APPROVED	REVISION

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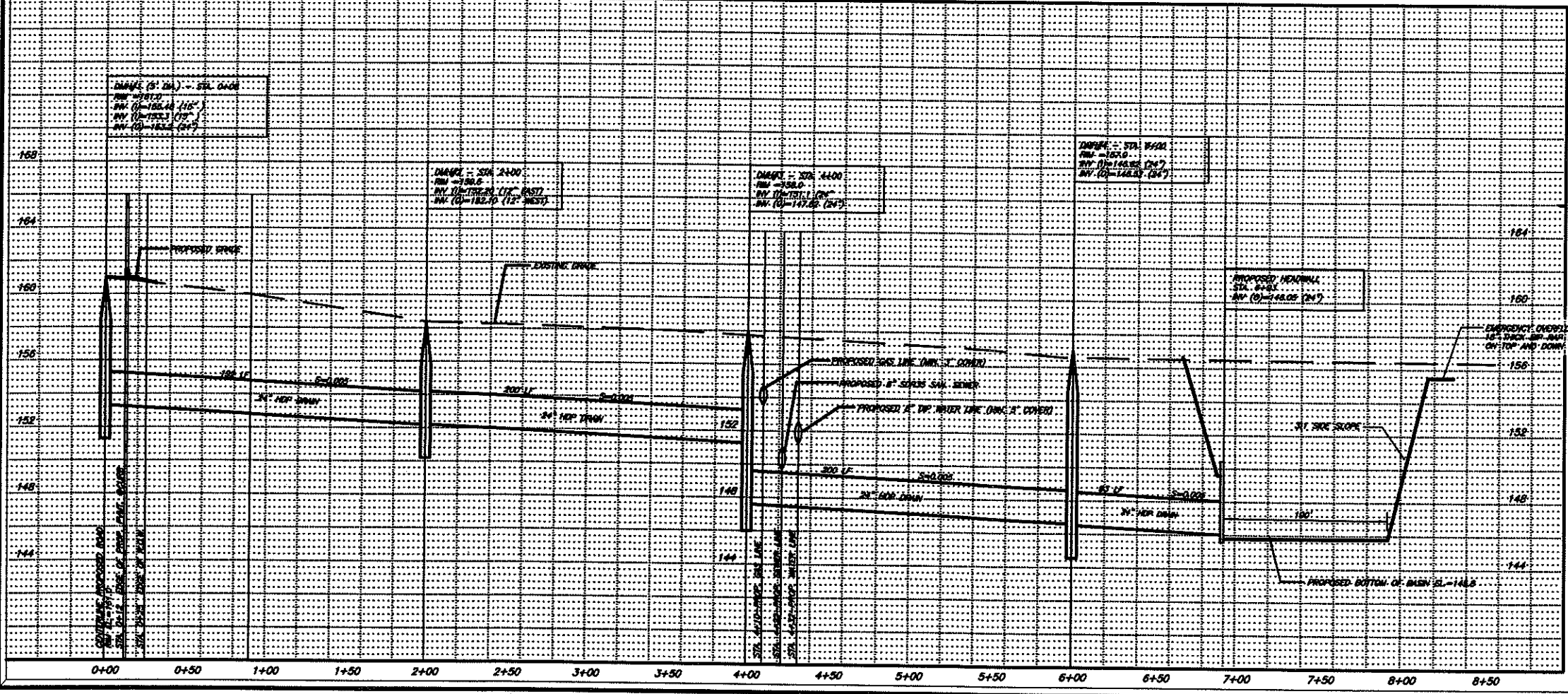


APPROVED BY THE HUDSON, N.H. PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE DATE: _____

SIGNATURE DATE: _____

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FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT
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NO.	DATE	REVISIONS PER OLD TOWN OF HUDSON REVIEW COMMENTS
1	8/22/2018	REVISED PER OLD TOWN OF HUDSON REVIEW COMMENTS
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROPOSED DRAINAGE/DETENTION BASIN - TAX MAP 147/LOT 24

MANSFIELD DRIVE

HUDSON, NEW HAMPSHIRE

SCALE: HOR: 1" = 40'
VERT: 1" = 4'

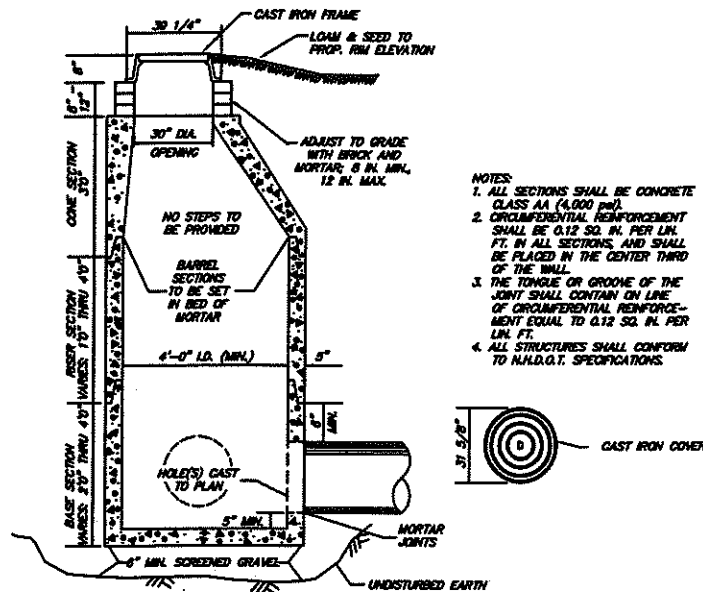
MARCH 1, 2018

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KPM	APB	RAM		D	12253
DESIGNED	DRAWN	CHECKED	APPROVED	REVISION	SIZE

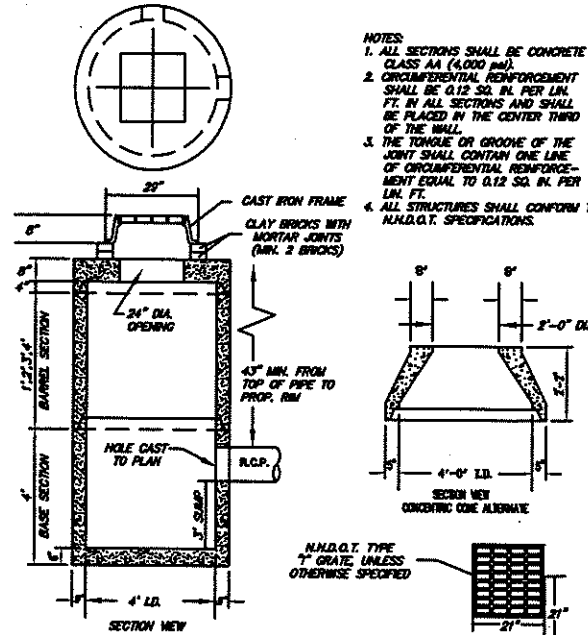
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 DWG. NO. 6 OF 10



- NOTES:
1. ALL SECTIONS SHALL BE CONCRETE CLASS AA (4,000 PSI).
 2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LIN. FT. IN ALL SECTIONS, AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
 3. THE TONGUE OR GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LIN. FT.
 4. ALL STRUCTURES SHALL CONFORM TO N.H.D.O.T. SPECIFICATIONS.

STORM DRAIN MANHOLE

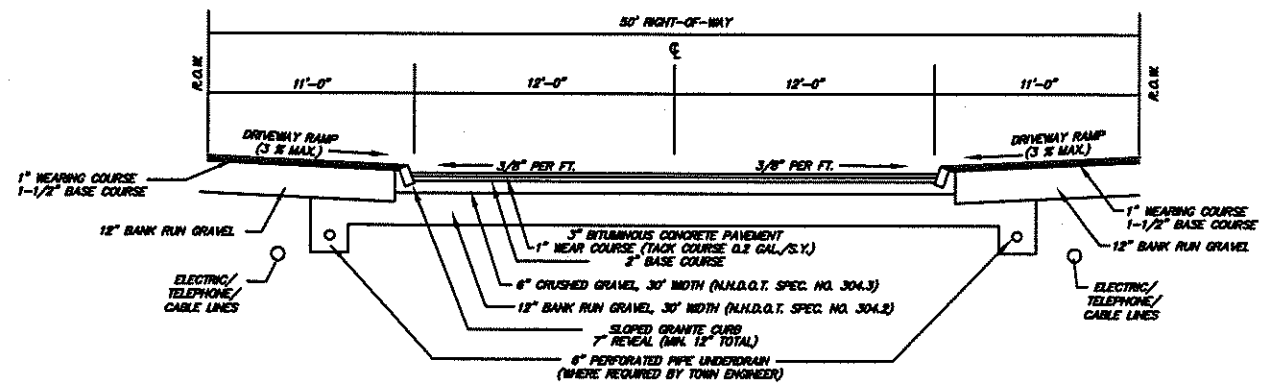
N.T.S.



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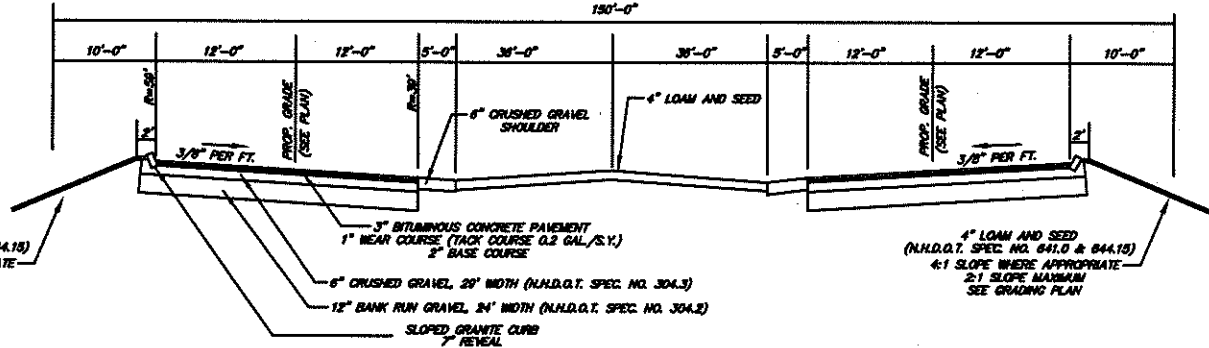
CATCH BASIN

N.T.S.



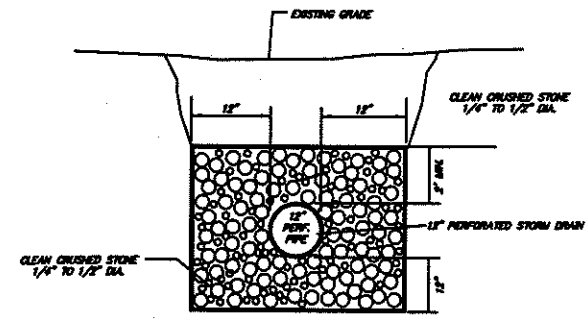
ROADWAY CROSS SECTION

N.T.S.



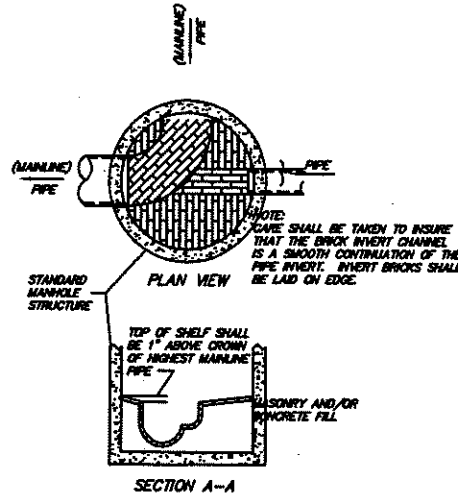
TYP. ROADWAY CROSS SECTION AT CUL-DE-SAC

N.T.S.



PERFORATED STORM DRAIN

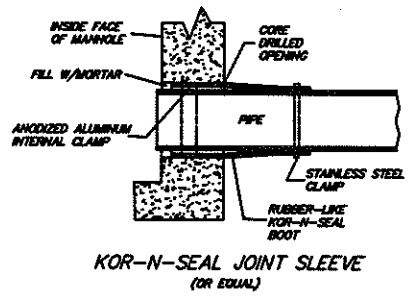
N.T.S.



- NOTES: STANDARD MANHOLE
- 1.0 INVERTS AND SHELVESS MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVESS SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.

SANITARY MH INVERT CHANNEL AND PIPE SLEEVE

N.T.S.



- NOTES: MANHOLE DETAILS
- 1) ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.
 - 2) FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY. APPROVED BITUMASTIC SEALANTS: RAM-SEAL KENT SEAL NO. 2
 - 3) PIPE TO MANHOLE JOINTS SHALL BE AS FOLLOWS: (A) ELASTOMERIC RUBBER SLEEVE WITH WATERPROOF JOINTS AT THE MANHOLE OPENING AND PIPE SURFACES. (B) JOINTS AT THE MANHOLE MAY BE CAST INTO WALL OR SECURED WITH STAINLESS STEEL CLAMPS. JOINTS AT THE PIPE SHALL BE SECURED WITH STAINLESS STEEL CLAMPS. (C) ELASTOMERIC SEALING RING CAST IN THE MANHOLE OPENING WITH SEAL FORMED ON THE SURFACE OF THE PIPE BY COMPRESSION OF THE RING. (D) NON-SHRINK GROUTED JOINTS WHERE WATERPROOF BONDING TO THE MANHOLE AND PIPE CAN BE OBTAINED.

KOR-N-SEAL JOINT SLEEVE (OR EQUAL)

CONSTRUCTION DETAILS - TAX MAP 147/LOT 24
MANSFIELD DRIVE
HUDSON, NEW HAMPSHIRE

SCALE: N.T.S. MARCH 1, 2018

Maynard & Paquette
 Engineering Associates, LLC
 Consulting Engineers and Land Surveyors
 31 Quincy Street, Nashua, N.H. 03060
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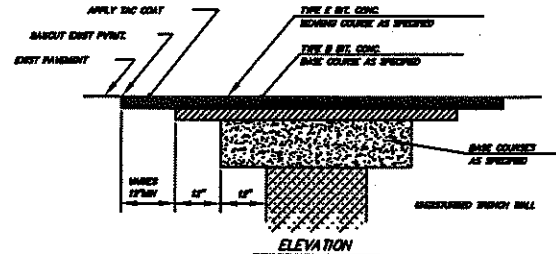
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DESIGNED	DRAWN	CHECKED	APPROVED	REVISION
				SIZE
				JOB NUMBER

APPROVED BY THE HUDSON, N.H. PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE DATE: _____
 SIGNATURE DATE: _____



NO.	DATE	REVISIONS PER CLIENT/TYPE OF REVISION REVIEW COMMENTS
1	02/27/2018	REVISED PER CLIENT/TYPE OF REVISION REVIEW COMMENTS

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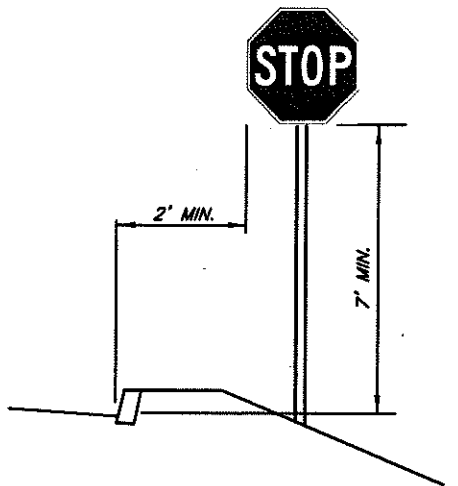
NOTE: SURFACE CONNECTION IN EXISTING PAVED PUBLIC ROW

- 1.0 GENERAL
- 1.1 CONTRACTOR IS RESPONSIBLE TO HAVE ALL PROPER NOTIFICATIONS TO UTILITIES AND OTHER RELATED PARTIES FROM GOVERNMENTAL AGENCIES IN CHARGE OF THE PUBLIC RIGHT-OF-WAY TO BE OBTAINED PRIOR TO START OF CONSTRUCTION.
- 2.0 CURBS AND SIDEWALK PAVEMENT
- 2.1 PAVEMENT REMOVAL SHALL BE APPROVED.
- 2.2 PAVEMENT AREAS OF THE EXISTING SHALL BE SAW CUT BEFORE REMOVAL AND REBOUND IT WITH THE EXISTING LIMITS.
- 2.3 SAWING AND PAVEMENT REMOVAL SHALL BE DONE SO AS TO PRODUCE CLEAN, UNIFORM, VERTICAL EDGES WITHOUT DAMAGE TO THE REMAINING PAVEMENT AND/OR UNDERDRYNS BY TRENCH EXCAVATION.
- 2.4 CONTRACTOR SHALL FURNISH PUT IN PLACE, AND MAINTAIN CURBS AND BRACKS IF NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO PREVENT LOSS OF GROUND WHICH COULD DAMAGE OR DESTROY ANY OF EXISTING ADJACENT STRUCTURES OR CAUSE UNDERSIDE OF EXISTING PAVEMENT.
- 2.5 ALL DISPOSABLE STOPS SHALL BE GIVEN BY CONTRACTOR TO MAINTAIN THE TRENCH.
- 4.0 PIPE INSTALLATION AND BEDDING
- 4.1 PERMIT TO PLACE FOR SIZE AND MATERIAL OF PIPE AND STANDARD TRENCH SECTION DETAIL PER DESIGN.
- 6.0 BACKFILL
- 6.1 AS SOON AS PRACTICABLE AFTER THE PIPE HAS BEEN Laid, COVER, PROPERLY BEDDED (AND TESTED, IF REQUIRED), BACKFILLING SHALL BEGIN AND BACKFILLER BE PROVIDED BACKFILLING SHALL BE THE REMAINDER OF THE TRENCH TO BE IN ACCORDANCE WITH THE STANDARD TRENCH SECTION DETAIL.
- 6.6 PAVEMENT REPLACEMENT

- 4.1 NO PERMANENT PAVEMENT SHALL BE PLACED OVER A BACKFILLED TRENCH UNTIL 90 DAYS AFTER COMPLETION OF THE BACKFILLING UNLESS PERMITTED TO DO SO IN WRITING BY THE TOWN/CITY ENGINEER. REPAIRS MAY BE GRANTED FOR A LOWER RISE OF THE TOWN/CITY ENGINEER'S OFFICE.
 - 4.2 CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN APPROVAL OF QUALIFIED FACILITY TO SUPPLY PERMANENT STABILIZED PAVEMENT MATERIAL FROM TOWN/CITY ENGINEER PRIOR TO START OF PAVEMENT REPLACEMENT.
 - 4.3 THE PERMANENT PAVEMENT SHALL CONSIST OF A 2 INCH BASE COURSE OF TYPE B AND 1 INCH COURSE OF TYPE C HOT BITUMINOUS PAVEMENT MIXTURE LISTED BELOW.
- | PERCENTAGE BY WEIGHT PASSING - COMBINED APPROXIMATE | TYPE B | | TYPE C | |
|---|--------|-----|--------|-----|
| | MIN | MAX | MIN | MAX |
| 3/4" | 80 | 100 | 80 | 100 |
| 1/2" | 20 | 80 | 20 | 80 |
| 3/8" | 10 | 70 | 10 | 60 |
| 1/4" | 5 | 50 | 5 | 40 |
| NO. 10 | 2 | 30 | 2 | 25 |
| NO. 20 | 1 | 20 | 1 | 15 |
| NO. 40 | 0.5 | 10 | 0.5 | 8 |
| NO. 60 | 0.2 | 5 | 0.2 | 4 |
| NO. 100 | 0.1 | 2 | 0.1 | 1 |
- 4.4 THE WEARING COURSE SHALL BE ROLLED UNTIL INDIVIDUALLY COMPACTED BY A ROLLER BEHIND APPROXIMATELY 1/2 IN. TOL, BUT NOT HEAVY ENOUGH TO DAMAGE THE EXISTING ADJACENT PAVEMENT.

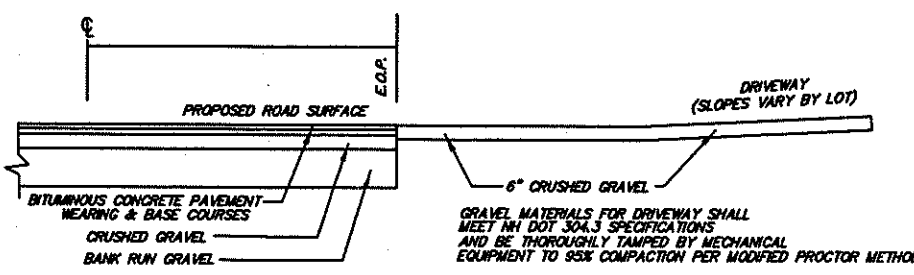
PAVEMENT PATCH DETAIL WITHOUT OVERLAY

- N.T.S. -



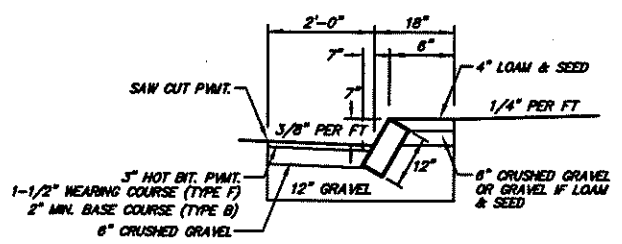
STOP SIGN DETAIL

N.T.S.



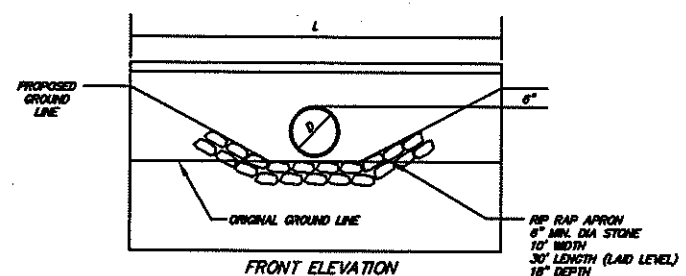
TYPICAL DRIVEWAY SECTION

N.T.S.

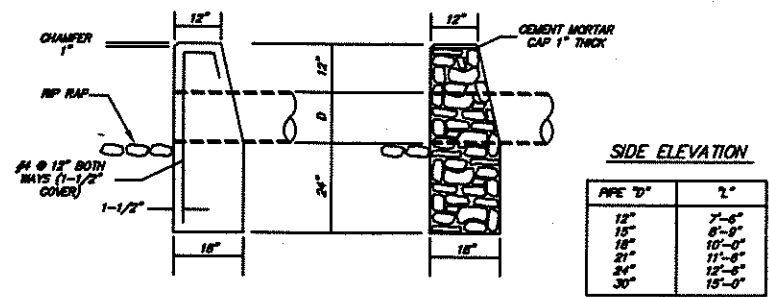


SLOPED GRANITE CURB DETAIL

N.T.S.



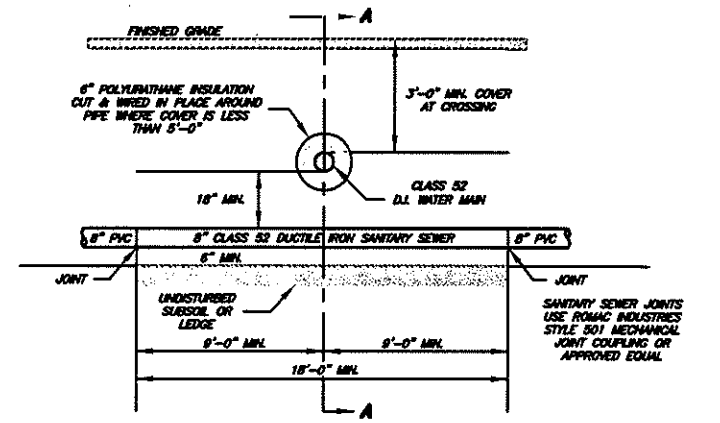
FRONT ELEVATION



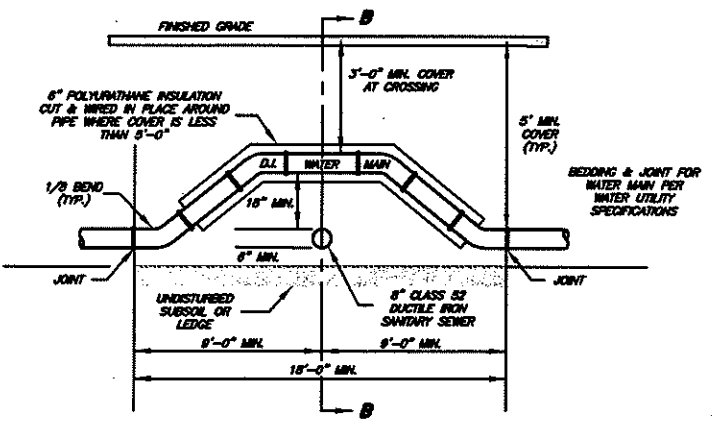
SIDE ELEVATION

FIELD STONE MASONRY & CONCRETE HEADWALL

N.T.S.



SECTION B-B



SECTION A-A

- NOTES:
1. THE CONTRACTOR SHALL CONTACT 'DIG SAFE' TO HAVE ALL EXISTING UTILITIES LOCATED AT LEAST 72 HOURS PRIOR TO CONSTRUCTION WITHIN A PUBLIC RIGHT-OF-WAY.
 2. A 10 FOOT HORIZONTAL SEPARATION BETWEEN WATER LINE AND SANITARY SEWER LINE OR 18 INCH VERTICAL SEPARATION ON CROSSINGS ARE REQUIRED.
 3. WHICHEVER A SANITARY SEWER LINE CROSSES A WATER LINE WITHIN 18 INCHES OF VERTICAL ELEVATION, THE SEWER LINE SHALL BE CLASS 52 DUCTILE IRON FOR A MINIMUM DISTANCE OF 9 FEET EACH SIDE OF THE CROSSING. THE SEWER SHALL ALSO MEET THE REQUIREMENTS OF EN-196 720.00(4)(2), WHICH STATES THAT THERE BE NO LEAKAGE AT 25 PSI AT THE WATER/SEWER CROSSING.
 4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CURRENT CITY/TOWN SPECIFICATIONS.

SEWER-WATER CROSSING

N.T.S.

CONSTRUCTION DETAILS - TAX MAP 147/LOT 24
MANSFIELD DRIVE
HUDSON, NEW HAMPSHIRE

SCALE: N.T.S. MARCH 1, 2018

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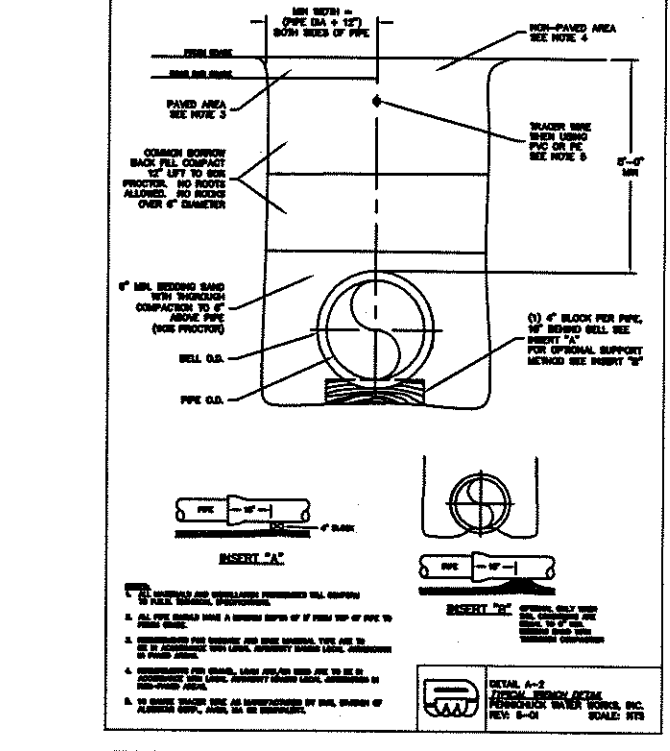
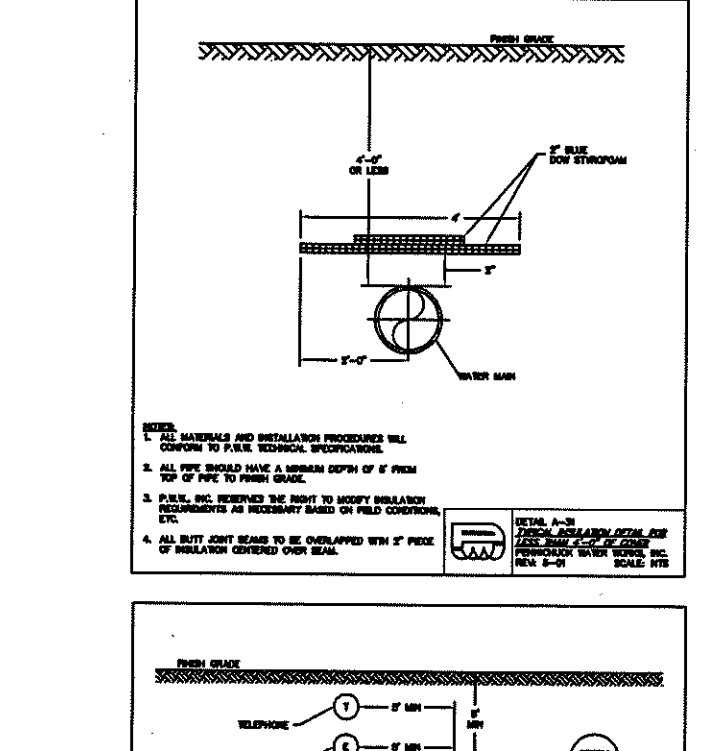
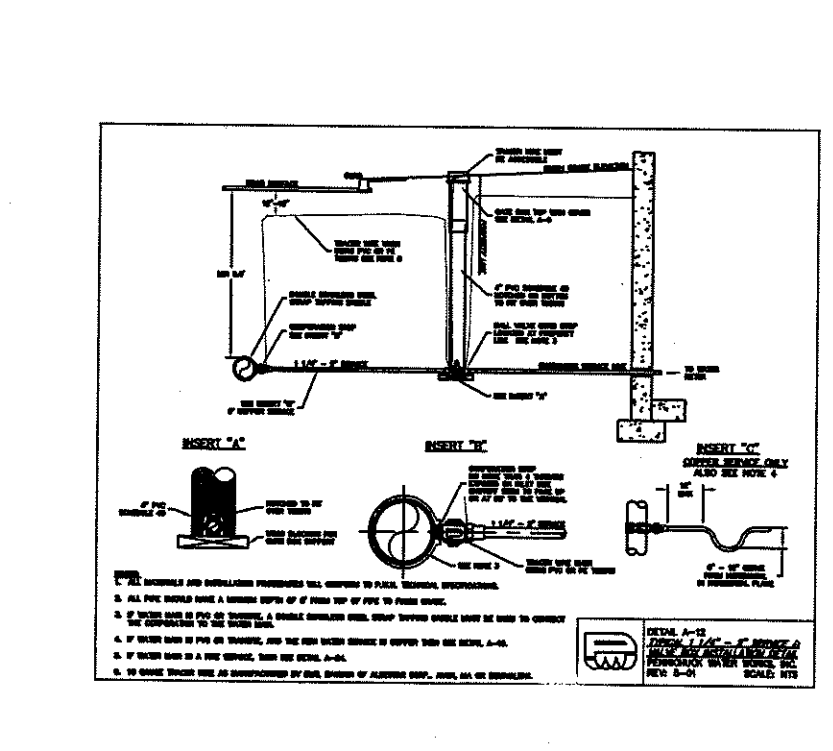
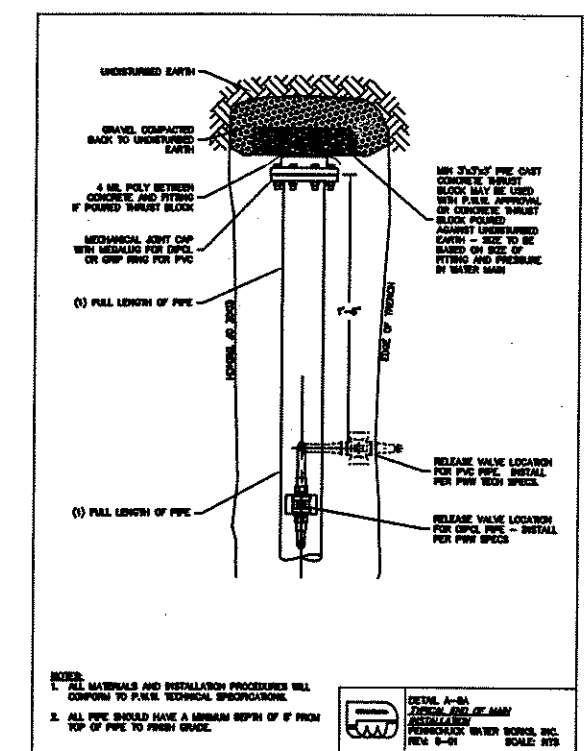
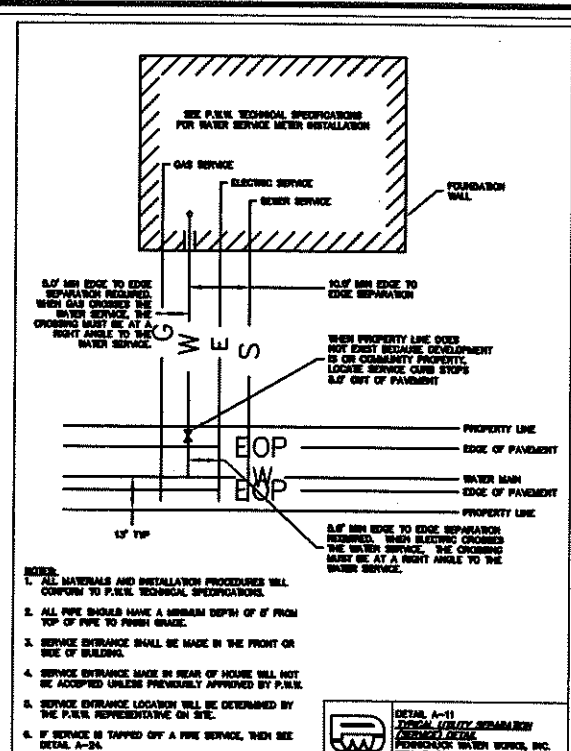
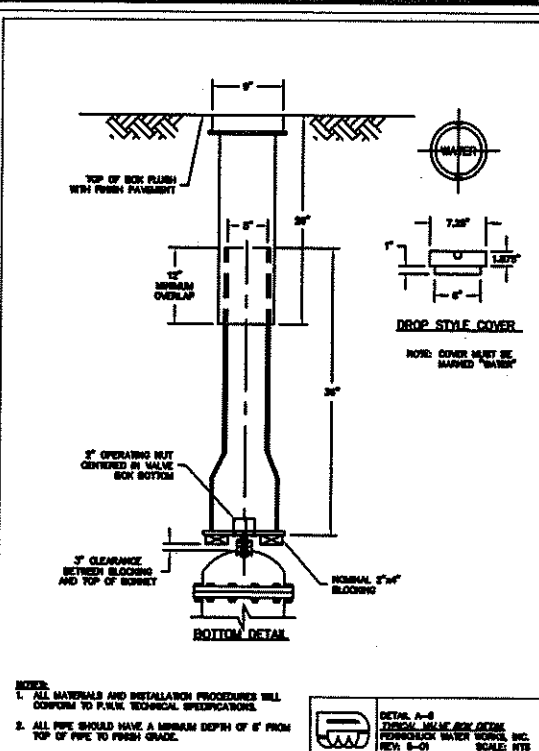
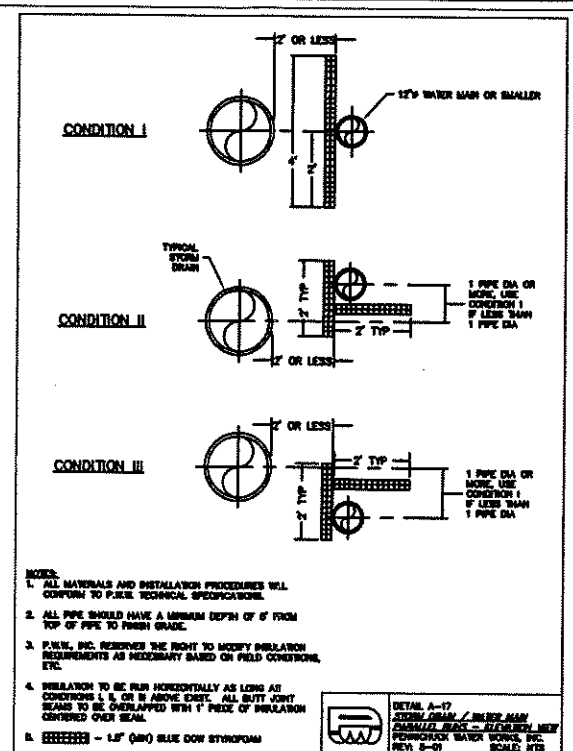
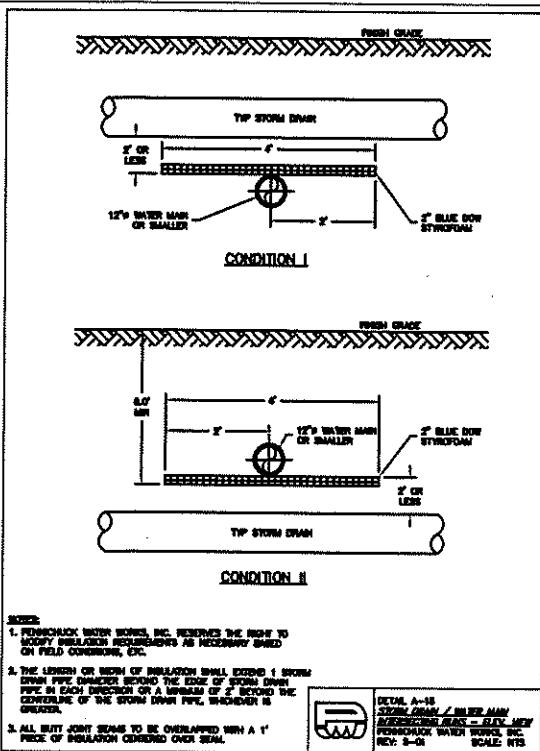
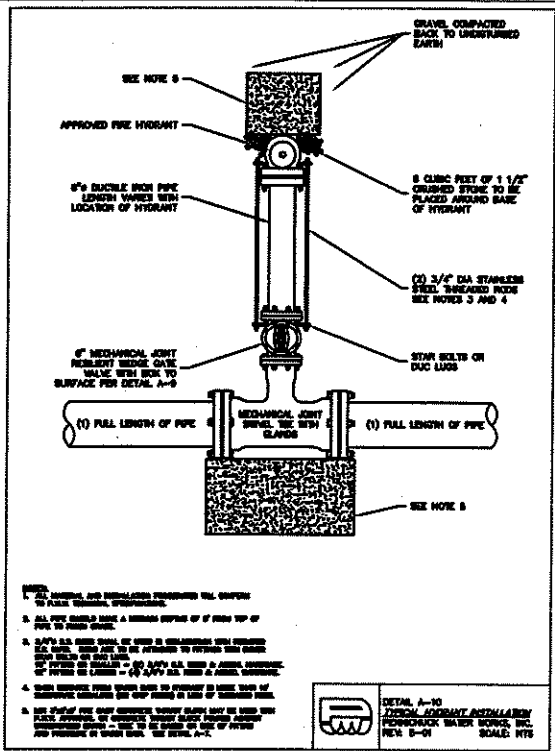
KPM	APB	RAM	D	12253
DESIGNED	DRAWN	CHECKED	APPROVED	REVISION

APPROVED BY THE HUDSON, N.H. PLANNING BOARD
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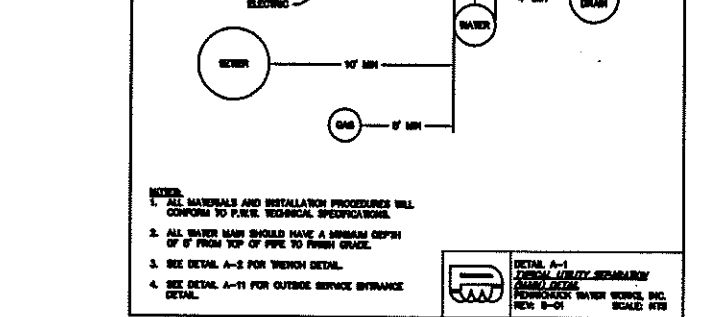


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CONSTRUCTION DETAILS - TAX MAP 147/L07 24
MANSFIELD DRIVE
HUDSON, NEW HAMPSHIRE
SCALE: N.T.S. MARCH 1, 2018
Maynard & Paquette
Engineering Associates, LLC
Consulting Engineers and Land Surveyors
31 Quincy Street, Nashua, NH 03060
Phone: (603)863-8433 Fax: (603)863-7227

KPM	APB	RAM	D	12253
DESIGNED	DRAWN	CHECKED	APPROVED	REVISION
				SIZE
				JOB NUMBER

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CONSTRUCTION NOTES

A. GENERAL

EROSION AND SEDIMENT CONTROL PRACTICES INCLUDE THE USE OF THE FOLLOWING: STRAW BALE BARRIERS, SILT SCREEN FENCE BARRIERS, TEMPORARY SEDIMENTATION BASINS, PERMANENT DETENTION/SEDIMENTATION BASINS, GRASS AND/OR ROCK LINED SWALES, DIMENSIONS WITH LEVEL SPREADERS.

1. ALL PERMANENT AND TEMPORARY EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS OF NEW HAMPSHIRE", AUGUST 1992, PREPARED BY ANDRES AND ROOD IN COOPERATION WITH USDA-SCS.
2. ALL CONSTRUCTION ACTIVITY SHALL BE DONE IN COMPLIANCE WITH THE EPA'S PHASE II STORM WATER REGULATIONS. THE CONTRACTOR SHALL FILE THE EPA NOTICE OF INTENT (NOI) FORM AT LEAST ONE WEEK PRIOR TO THE START OF CONSTRUCTION. THE ENTIRE CONTENTS OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ON SITE BY THE CONTRACTOR AND MADE AVAILABLE TO ALL LOCAL, STATE, AND FEDERAL CODE ENFORCEMENT PERSONNEL.
3. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - a. BASE COURSE GRADINGS HAVE BEEN INSTALLED IN THE AREAS TO BE STABILIZED;
 - b. A MINIMUM OF 80% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - c. A MINIMUM OF 3" OF HIGH-EROSION MATERIAL SUCH AS STONE OR BRICK HAS BEEN INSTALLED;
 - d. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
4. WINTER CONSTRUCTION:
 - a. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 80% VEGETATED GROWTH BY OCTOBER 15TH OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1; AND SEEDING AND PLACING SOIL ON 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR UNLESS ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THEM OR DEBRIS SHALL BE REMOVED.
 - b. ALL TRENCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 80% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
 - c. AFTER NOVEMBER 15TH, INCOMPLETE ROAD AND/OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL (M80) (ITEM 304.3).
5. THE SMALLEST PRACTICAL AREA OF LAND NECESSARY FOR ROAD AND LOT DEVELOPMENT SHALL BE EXPOSED AT ONE TIME. IN NO CASE SHALL THIS AREA EXCEED THAT WHICH SHALL ACHIEVE PERMANENT VEGETATION COVER PRIOR TO THE NEXT WINTER SEASON OR 5 ACRES, WHICHEVER IS GREATER.
6. FILL MATERIAL USED FOR ROADWAY CONSTRUCTION SHALL BE FREE FROM STUMPS, ROOTS, AND OTHER ALIEN MATERIALS.
7. ALL DISTURBED AREAS SHALL MAINTAIN A MINIMUM OF 4 INCHES OF CLEAN, SCREENED LOAM PLACED BEFORE BEING SEEDING AND COVERED.
8. THE SLOPS FOR ALL CATCH BASINS SHALL BE PERIODICALLY CLEANED, WITH THE SEDIMENT REMOVED TO A SECURE LOCATION SO AS TO PREVENT SITUATION OF NATURAL DRAINAGE AND VEGETATION.
9. STRAW AND/OR MULCH SHALL BE MINIMUMS OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM MOISTURE NEEDS AND STEMS, AND SHALL BE DRY.
10. SILT SCREEN FENCES SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT. FENCES WHICH ARE DAMAGED OR WEAR SHALL BE REPAIRED OR REPLACED. SEDIMENT SHALL BE REMOVED PERIODICALLY AND SHALL NOT BE ALLOWED TO ACCUMULATE TO THE POINT OF AFFECTING THE FUNCTION OF THE FENCES.

B. STRUCTURAL MEASURES

1. STRAW BALE BARRIERS/SILT SCREEN FENCES: STRAW BALE BARRIERS AND/OR SILT SCREEN FENCES ARE TO BE INSTALLED IN THE AREAS SHOWN ON THE PLAN. STRAW BALE BARRIERS SHALL BE INSTALLED WITH FILTER STRIPS. VOLUMES OF "SHEET FLOW" RUNOFF, OR AS SEDIMENT TRAPS IN SMALL SWALES. STRAW BALE BARRIERS HAVE A USEFUL LIFE OF THREE MONTHS WHEN WET AND THEREFORE MUST BE INSPECTED AND REPAIRED OR REPLACED PERIODICALLY. SILT SCREEN FENCES WILL FUNCTION SIX MONTHS OR LONGER IF KEPT FREE OF SEDIMENT ACCUMULATIONS. (SEE DETAILS FOR ADDITIONAL INFORMATION).
2. SWALES: TEMPORARY AND/OR PERMANENT SWALES ARE TO BE INSTALLED AS SHOWN ON THE PLAN. SWALES ARE USED TO CONVERT SHEET FLOW TO CHANNEL FLOW AND CONVEY THE RUNOFF TO A PERMANENT CHANNEL, STORM DRAIN, OR DETENTION/SEDIMENTATION STRUCTURE. SWALES ARE INTENDED TO INTERCEPT RUNOFF AND DIVERT IT FROM AN EXPOSED OR NEWLY SEEDING SLOPE TOWARD AN ACCEPTABLE OUTLET (GRASS SWALES, SEDIMENTATION POND, ETC.) OR TO REDUCE THE VELOCITY OF RUNOFF FLOWING DOWN FROM A DRAINAGE AREA. (SEE DETAIL FOR ADDITIONAL INFORMATION).

C. VEGETATIVE MEASURES

1. TOPSOIL STOCKPILES: TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR LATER USE ON CRITICAL AREAS AND ALL OTHER AREAS TO BE SEEDING. THE STOCKPILE WILL NOT BE COMPACTED AND SHALL BE STABILIZED AGAINST EROSION WITH TEMPORARY SEEDING.
2. TEMPORARY SEEDING:
 - a. BEDDING-REMOVE STONES AND TRASH THAT WILL INTERFERE WITH SEEDING THE AREA. WHERE FEASIBLE, TILL THE SOIL TO A DEPTH OF ABOUT 3" TO PREPARE SEED BED AND MIX THE FERTILIZER INTO THE SOIL.
 - b. FERTILIZER-FERTILIZER SHOULD BE UNIFORMLY SPREAD OVER THE AREA PRIOR TO BEING BELLED INTO THE SOIL. A 10-10-10 MIX OF FERTILIZER SHOULD BE APPLIED AT A RATE OF 300 LBS/ACRE, OR 7 LBS PER 1000 S.F.
 - c. SEED MIXTURE: USE ANY OF THE FOLLOWING:

SPECIES	SEEDING RATE PER ACRE	PER 1000 S.F.	DATES	DEPTH
WINTER RYE	112 LBS	2.5 LBS	8/15-9/5	1 IN
GRASS	80 LBS	2.0 LBS	SPRING-10-5/3	1 IN
ORCHARD GRASS (ANNUAL)	40 LBS	1.0 LBS	4/15-9/15 (W/MULCH)	0.25 IN

4. MULCHING: WHERE IT IS IMPRACTICAL TO INCORPORATE FERTILIZER AND SEED INTO MOST SOIL, THE SEEDING AREA SHOULD BE MULCHED TO FACILITATE GERMINATION. MULCH IN THE FORM OF STRAW SHOULD BE APPLIED AT A RATE OF 70 TO 80 LBS/1000 S.F.
3. PERMANENT SEEDING:
 - a. BEDDING-STONES LARGER THAN 4", TRASH, ROOTS, AND OTHER DEBRIS THAT INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA SHOULD BE REMOVED. WHERE FEASIBLE, THE SOIL SHOULD BE BELLED TO A DEPTH OF 4" TO PREPARE A SEEDING AND NOT FERTILIZER INTO THE SOIL. THE SEED BED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION.
 - b. FERTILIZER-LINE AND FERTILIZER SHOULD BE APPLIED EVENLY OVER THE AREA PRIOR TO OR AT THE TIME OF SEEDING AND SHOULD BE INCORPORATED INTO THE SOIL. ADVANTAGES OF LINE AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED: AGRICULTURAL LIMESTONE @ 100 LBS/1000 S.F. 10-20-20 FERTILIZER @ 12 LBS/1000 S.F.
 - c. SEED MIXTURE (RECOMMENDED RATE)

TYPE	LBS/ACRE	LBS/1000 S.F.	USE
FALL FRESQUE	20	0.45	STEEP CUTS AND FILLS
CREEPING RED FRESQUE	20	0.45	DETENTION BASINS
FRESQUE	2	0.20	SWALES
RED TOP	2	0.20	
TOTAL	42	2.30	
CREEPING RED FRESQUE	50	1.15	ALL OTHER AREAS
KENTUCKY BLUEGRASS	50	1.15	ALL OTHER AREAS
TOTAL	100	2.30	

D. MULCHING: MULCH SHOULD BE USED ON MOISTLY ERODABLE SOILS, ON CRITICALLY ERODABLE AREAS, AND ON AREAS WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT.

TYPE	RATE/100 S.F.	USE AND COMMENTS
HAY OR STRAW	70-80 LBS	MUST BE DRY AND FREE FROM MOLD. MAY BE USED WITH PLANTINGS.
WOOD CHIPS/BARK	AS PER MANUFACTURER'S SPECIFICATIONS	USED MOSTLY WITH TREES AND MULCH-SHRUBS PLANTINGS
JUTE AND FIBROUS MATTING	AS PER MANUFACTURER'S SPECIFICATIONS	USED IN SCOPE AREAS, WATER COURSES AND OTHER AREAS
CRUSHED STONE	SPREAD MORE THAN 1/2" THICK	EFFECTIVE IN CONTROLLING WIND AND WATER EROSION

E. SOODING: SOODING IS DONE WHERE IT IS DESIRABLE TO RAPIDLY ESTABLISH COVER ON A DISTURBED AREA. SOODING ON AREA MAY BE SUBSTITUTED FOR PERMANENT SEEDING PROCEDURES ANYWHERE ON SITE. BED PREPARATION, FERTILIZING, AND PLACEMENT OF SOO SHALL BE PERFORMED ACCORDING TO THE S.C.S. HANDBOOK.

SOODING IS RECOMMENDED FOR STEEP SLOPED AREAS, AREAS IMMEDIATELY ADJACENT TO SENSITIVE WATER COURSE, EARLY ERODABLE SITES (FINE SANDS/SILTS), ETC.

D. MAINTENANCE

- DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED.
1. SEEDING AREAS WILL BE FERTILIZED AND SEEDING AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.
 2. ADDITIONAL STONE MAY HAVE TO BE ADDED TO THE CONSTRUCTION OF TRENCHES, SWALES, ETC. PERIODICALLY, TO MAINTAIN THE PROPER FUNCTIONING OF THE EROSION CONTROL MEASURES.
 3. EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EVERY 0.5 INCHES OF RAINFALL.

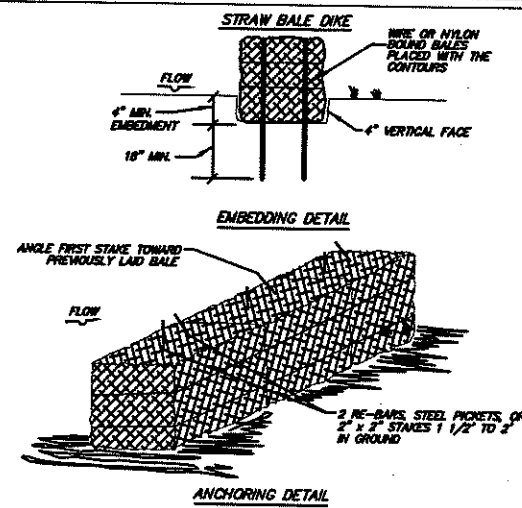
E. SEQUENCE OF CONSTRUCTION

1. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS AND SHALL BE CLEANED AND REPLACED AS NECESSARY. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS NECESSARY TO DEVELOPING SITE CONDITIONS UNWARRANTED.
2. THE LIMIT OF TREE CLEARING AND DEMOLITION SHALL BE MARKED BY THE OWNER/ENGINEER BEFORE ANY WORK IS TO TAKE PLACE. ALL CLEARING OPERATIONS FOR SITE WORK AND DRAINAGE CONSTRUCTION SHALL BE COMPLETED ONE PHASE AT A TIME.
3. AFTER THE CLEARING OPERATION IS COMPLETE, CONSTRUCTION SHALL BEGIN ON THE MAIN CONSTRUCTION ENTRANCE. AN RAP (TRAP-ROCK) SHALL BE PLACED ACROSS THE FULL WIDTH OF THE ENTRANCE FOR A DISTANCE OF 50-60 FEET AS SHOWN ON THE PLANS. THE RAP SHALL BE COVERED WITH SEDIMENT, ADDITIONAL 2 TO 3 INCH STONE SHALL BE LAD DOWN TO MAINTAIN THIS AREA. ALL TRAFFIC ENTERING THE SITE SHALL CROSS OVER THIS PREPARED CONSTRUCTION ENTRANCE.

SEPARATIONS FOR STABILIZED CONSTRUCTION ENTRANCE

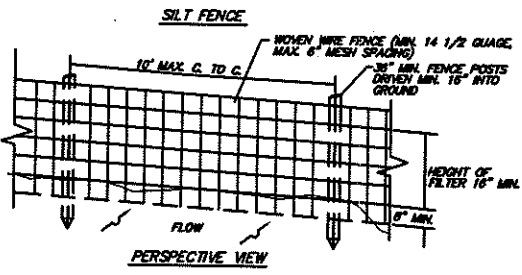
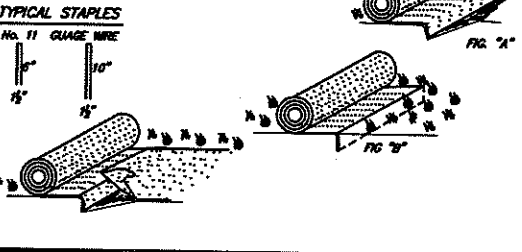
- a. STONE SIZE: 2 TO 3 INCH DIAMETER
- b. LENGTH: NOT LESS THAN 8 FEET
- c. THICKNESS: NOT LESS THAN 8 INCHES
- d. WIDTH: NOT LESS THAN THE FULL WIDTH AT POINTS WHERE VEHICLES INGRESS AND EGRESS.
- e. FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
- f. ALL SURFACE WHEN FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE FIRMED ACROSS THE ENTRANCE. IF FIRING IS IMPRACTICAL, A MOUNTAINABLE BERM WITH 2:1 SLOPES WILL BE PERMITTED.
- g. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE ADDITIONAL TOP DRESSING WITH ADDITIONAL STONES AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- h. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AFTER EACH RAINFALL.

4. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AROUND ALL EXISTING CATCH BASINS AND DRAINAGE OUTLETS. THESE MEASURES SHALL BE MAINTAINED IN PLACE UNTIL LONG DRAINAGE STRUCTURES ARE INSTALLED AND FUNCTIONING.
5. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS, AND SHALL BE CLEANED AND REPLACED AS NECESSARY. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS NECESSARY TO DEVELOPING SITE CONDITIONS UNWARRANTED.
6. TOPSOIL SHALL BE REMOVED FROM ALL PROPOSED ROADWAY AREAS AND BUILDING SITES WHICH WILL BE PAVED/CONSTRUCTED BEFORE THE NEXT WINTER SEASON. THE TOPSOIL SHALL BE STORED IN AREAS DESIGNATED ON THE PLANS. ANY STOCKPILED MATERIAL OR TEMPORARY GRADING SHALL BE STABILIZED BY SEEDING AND MULCHING WITHIN 72 HOURS IF THEY ARE TO REMAIN UNWORKED FOR MORE THAN 30 DAYS. ALL SOILS SHALL BE STABILIZED PRIOR TO THE NEXT WINTER SEASON, AND SHALL NOT BE LEFT EXPOSED THROUGHOUT THE WINTER. NO AREA OF SOIL SHALL BE LEFT UNSTABILIZED FOR MORE THAN 90 DAYS.
7. AFTER DEMOLITION OPERATIONS ARE COMPLETE, ROUGH GRADING OF THE ROADWAY AND ASSOCIATED BUILDING SITES SHALL BE DONE. EROSION CONTROL MEASURES SHALL BE INSTALLED AROUND ALL DRAINAGE STRUCTURES IMMEDIATELY AFTER INSTALLATION.
8. ALL CLOSED DRAINAGE SHALL BE INSTALLED AS THE SITE IS BROUGHT TO GRADE. WHEN THE ROADWAY AND BUILDING SITES ARE STABILIZED TO DESIGN GRADE, ALL SIDE SLOPES SHALL BE PERMANENTLY LOANED AND SEEDED.
9. FINAL GRADING SHALL BE STABILIZED WITHIN 72 HOURS OF COMPLETION. LOAM AND SEEDING OF FINISHED GRADING SHOULD BE ACCOMPLISHED PRIOR TO SEPTEMBER 15. AFTER WHICH THESE AREAS SHALL BE MULCHED AND FURTHER STABILIZED IN THE EVENT THAT SEEDING DOES NOT PRODUCE A HEALTHY VEGETATION COVER BY THE END OF THE GROWING SEASON. ANY FINISHED SLOPE GREATER THAN 1:1 WHICH IS NOT STABILIZED PRIOR TO SEPTEMBER 15 SHALL BE COVERED WITH JUTE MATTING AND SEEDING.
10. CONTINUE TO MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES IN PLACE UNTIL ACHIEVED ADEQUATE VEGETATION COVER. REMOVE ALL REMAINING EXPOSED SOIL ALONG WITH THE TEMPORARY EROSION CONTROL MEASURES AND DISPOSE OF THEM PROPERLY.



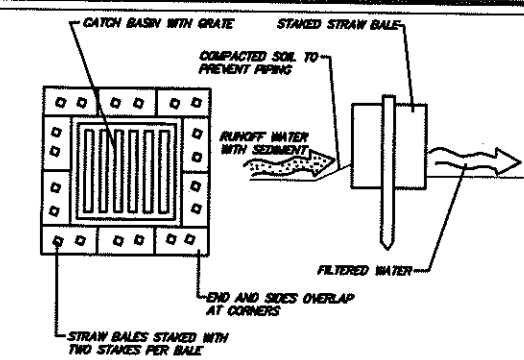
DETAIL FOR STABILIZING WITH JUTE MATTING

1. BURY THE TOP ENDS OF THE JUTE STRIPS IN A TRENCH 6 INCHES OR MORE IN DEPTH.
2. TAMP THE TRENCH FULL OF SOIL. SECURE IT WITH A ROW OF STAPLES 8 INCH SPACING, 4 INCHES DOWN FROM THE TRENCH.
3. OVERLAP AND BURY THE UPPER END OF THE LOWER STRIP AS IN FIGURES "A" AND "B". OVERLAP THE END OF THE TOP STRIP 4 INCHES AND STAPLE.
4. EROSION STOP-FOLD OF JUTE BURIED IN SILT TRENCH AND TAMPED; DOUBLE ROW OF STAPLES.



GENERAL SITE CONSTRUCTION SPECIFICATIONS

1. ALL GRADING OR DISTURBED AREAS, INCLUDING SLOPES, SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION, IN ACCORDANCE WITH THESE PLANS, UNTIL THEY ARE PERMANENTLY STABILIZED.
2. ALL EROSION CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED, AND MAINTAINED IN ACCORDANCE WITH THESE PLANS.
3. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
4. AREAS TO BE FINISHED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, OR OTHER OBJECTIONABLE MATERIAL.
5. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCANNED TO A MINIMUM DEPTH OF 3 INCHES PRIOR TO THE PLACEMENT OF TOPSOIL.
6. ALL FILL AREAS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION SURFACE SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL RESTRAINTS AND CODES.
7. ALL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS.
8. FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBER, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
9. FROZEN MATERIAL OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
10. FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
11. SEEDS AND SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE SUBSURFACE DRAIN OR OTHER METHODS APPROVED BY THE CITY/TOWN ENGINEER AND MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC.

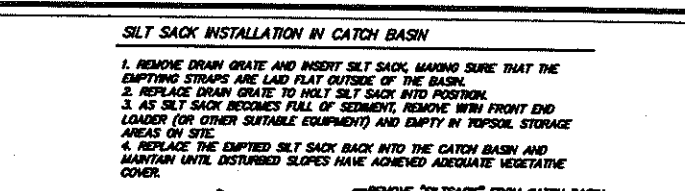


CONSTRUCTION SPECIFICATIONS

1. BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALE.
2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4".
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR REBARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD THE PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
4. INSPECTIONS SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

STRAW BALE INSTALLATION AT CATCH BASINS/OUTLET STRUCTURES

1. EXCAVATE A 4 INCH DEEP TRENCH AROUND THE INLET. MAKE THE TRENCH AS WIDE AS A STRAW BALE.
2. ORIENT STRAW BALES WITH THE BINDINGS AROUND THE SIDES OF THE BALES, RATHER THAN OVER AND UNDER THE BALES.
3. PLACE BALES LENGTHWISE AROUND THE INLET AND PRESS THE ENDS OF ADJACENT BALES TOGETHER.
4. DRIVE TWO 2 INCH X 3 INCH STAKES THROUGH EACH BALE TO ANCHOR THE BALE SECURELY IN PLACE.
5. BACKFILL THE EXCAVATED SOIL AND COMPACT IT AGAINST THE BALES.
6. WEDGE LOOSE STRAW BETWEEN THE BALES TO PREVENT WATER FROM FLOWING IN BETWEEN THEM.



INSTALLATION NOTES

1. STRAW BALES MAY BE USED AROUND CATCH BASINS PRIOR TO THE BASE COAT PAVING OPERATIONS. STRAW BALES SHALL NOT BE USED AS A TEMPORARY EROSION CONTROL MEASURE FOR CATCH BASINS AFTER BASE COAT PAVING.
2. SILT SACKS MAY BE USED PRIOR TO FINAL PAVING, AND MUST BE INSTALLED IN ALL CATCH BASINS AFTER FINAL PAVING. SILT SACKS TO BE MAINTAINED IN PLACE UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED.

REMOVE 'SILT SACK' FROM CATCH BASIN BY ATTACHING TO BOTH BARS AND LIFTING WITH AVAILABLE EQUIPMENT.

SILT SACK INSTALLED UNDER CATCH BASIN GRATE, WITH EMPTYING STRAPS LAID OUT FLAT.

SITE MAINTENANCE AND INSPECTION PROGRAM

1. INSPECTIONS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT. MAINTENANCE PRACTICES SHALL INCLUDE, BUT ARE NOT LIMITED TO:
 - a. CLEANING OF CATCH BASINS THREE PER YEAR OR MORE FREQUENTLY AS INDICATED BY QUARTERLY INSPECTIONS AND/OR AFTER SIGNIFICANT RAINFALL EVENTS.
 - b. CLEANING OF SEDIMENT OR DEBRIS FROM STORM WATER MANAGEMENT AREA INLETS TWICE PER YEAR OR MORE FREQUENTLY AS INDICATED BY QUARTERLY INSPECTIONS AND/OR AFTER SIGNIFICANT RAINFALL EVENTS.
 - c. NEEDY SITE INSPECTIONS TO DETERMINE/IMPLEMENT NECESSARY REPAIR AND MAINTENANCE ACTIVITIES.
 - d. REMOVAL OF SEDIMENT BUILDUP ALONG SILT FENCES, STRAW BALE BARRIERS, GRASS SWALES AND TREATMENT BASIN INLETS. REMOVE SEDIMENT BUILDUP IN BOTTOM OF TREATMENT BASINS SUCH THAT ALL OUTLETS ARE KEPT FREE FROM SEDIMENT AND DEBRIS.
 - e. INSPECTION/RECONSTRUCTION OF THE STABILIZED CONSTRUCTION ENTRANCE.
 - f. TREATMENT OF NON-STORMWATER RELATED DISCHARGES SUCH AS WATER LINE INSTALLATION FLUSH WATER OR GROUNDWATER FROM DEMOLITION ACTIVITIES. THESE DISCHARGES SHOULD BE DIRECTED TO A TEMPORARY SEDIMENTATION BASIN OR CONSTRUCTED STORM WATER MANAGEMENT AREA.
 - g. SNEEP PAVED PARKING LOTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION.

GOOD HOUSEKEEPING PRACTICES

- THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM WATER RUNOFF. THE CONTRACTOR SHALL USE CARE IN THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THE USE OF THESE PRODUCTS IS MINIMIZED. THE FOLLOWING PRACTICES SHALL BE FOLLOWED DURING THE CONSTRUCTION OF THIS PROJECT:
1. AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED FOR THIS SPECIFIC SITE.
 2. ALL MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR ORIGINAL CONTAINERS, IF POSSIBLE, UNDER A ROOF OR OTHER SUITABLE ENCLOSURE.
 3. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR ORIGINAL LABELS.
 4. WHENEVER POSSIBLE, ALL OF THE PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER.
 5. THE MANUFACTURER'S RECOMMENDATIONS SHALL BE FOLLOWED IN REGARD TO THE PROPER USE AND DISPOSAL OF ALL PRODUCTS.
 6. THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE THE PROPER USE AND DISPOSAL OF ALL MATERIALS ON SITE.

SPILL PREVENTION AND CLEANUP PRACTICES

THE CONTRACTOR/OPERATOR SHALL BE RESPONSIBLE FOR THE SAFE HANDLING, USE AND DISPOSAL PROGRAM OF ALL HAZARDOUS MATERIALS FOR THE DURATION OF THIS PROJECT AND SHALL HAVE A SPILL PREVENTION AND CLEANUP PROTOCOL FOR ALL HAZARDOUS MATERIALS, INCLUDING, BUT NOT LIMITED TO:

1. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THESE PROCEDURES AND THE LOCATION OF THE CLEANUP SUPPLIES.
2. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIAL WILL INCLUDE, BUT NOT BE LIMITED TO, BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAUNDUST, AND PLASTIC/METAL SHEETS.
3. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
4. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INHALATION FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
5. SPILLS OF ALL HAZARDOUS MATERIALS WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE QUANTITY.
6. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING, AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

STORMWATER POLLUTION PREVENTION PLAN & DETAILS SHEET 58 / LOT 14

MANSFIELD DRIVE & DERRY LANE HUDSON, NEW HAMPSHIRE

PREPARED FOR:
HUDSON FIVE, LLC
31 QUINCY STREET
NASHUA, NH 03060

SCALE: NONE DATE: MARCH 1, 2018

Maynard & Paquette Engineering Associates, LLC
Consulting Engineers and Land Surveyors
31 Quincy Street, Nashua, NH 03060
Phone: (603)883-8439 Fax: (603)883-7227

DESIGNED	DRAWN	CHECKED	APPROVED	BOOK & PAGE	REVISION	DATE	JOB NUMBER
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2 Tracy Lane Site Plan

Staff Report
October 18, 2018

SITE: 2 Tracy Lane -- Map 101/Lot 11 -- SP# 16-18

ZONING: B

PURPOSE OF PLAN: the applicant is seeking site plan approval for a change of use from an automotive fuel station with general retail to motor vehicle light service, sales and rental per Zoning Ordinance §334-16.1. The application also seeks approval for a 20' x 60' building addition.

PLAN UNDER REVIEW ENTITLED: Revised Site Plan, Mal-Mar, LLC, Map 101 Lot 11, 2 Tracy Ln., Hudson, NH, prepared by Joseph M. Wichert, LLS, Inc. dated: October 17, 2018, consisting of one sheet.

ATTACHMENTS:

- 1) Site Plan application, date stamped August 22, 2018 – Attachment “**A**”.
- 2) Project Narrative – Attachment “**B**”.
- 3) Revised waiver requests received October 9, 2018 – Attachment “**C**”.
- 4) Building elevation drawings received October 9, 2018 – Attachment “**D**”.
- 5) Comments from Town Engineer Elvis Dhima dated August 23, 2018 – Attachment “**E**”.
- 6) Comments from Bruce Buttrick, Zoning Admin., dated August 30, 2018 – Attachment “**F**”.
- 7) Joseph M. Wichert, LLS, Inc response to Engineer and Zoning Admin. review comments dated September 17, 2018 – Attachment “**G**”.
- 8) Joseph M. Wichert, LLS, Inc response to Engineer and Zoning Admin. review comments dated October 9, 2018 - Attachment “**H**”.
- 9) Request for Zoning Determination dated June 9, 2009 and response dated June 24, 2009 – Attachment “**I**”.
- 10) CAP Fee worksheet – Attachment “**J**”.
- 11) 1997 Approved Site Plan Amendment – Attachment “**K**”.
- 12) 1984 Approved Site Plan – Attachment “**L**”.

REQUESTED WAIVERS:

- 1) HTC §275-8.C.7 – landscaping plan
- 2) HTC §275-9.A – stormwater drainage plan
- 3) HTC §276-11.1.B.12 – no display in setbacks
- 4) HTC §276-11.1.B.22 – 35' landscaped area

APPLICATION TRACKING:

- 22 AUG 2018 – Site Plan application submitted.
- 17 SEPT 2018 – Revised Site Plan submitted.
- 26 SEPT 2018 – Public Hearing scheduled, deferred to October 24, 2018.
- 9 OCT 2018 – Revised Site Plan submitted.
- 17 OCT 2018 – Revised Site Plan submitted.
- 24 OCT 2018 – Public Hearing scheduled.

STAFF COMMENTS: The applicant initially sought to file a site plan amendment to build a 20’ x 60’ addition to an existing building. However, the last approved plan for this site is for a convenience store and gas station in 1984, with an amendment for auto-sales display area in 1997. Subsequently in 2009, the applicant asked for a zoning determination on if a Bobcat service, rental and sales business was permitted, to which they were informed Planning Board approval was required for a change of use. The applicant never received this approval.

Currently, the applicant is seeking an approved site plan for the change of use from a convenience store & gas station to a Bobcat service, sales and rental operation, as well as the aforementioned building addition. Since the initial application, the applicant has been working with the Land Use Division to address concerns raised by Planning, Zoning and Engineering.

The latest iteration of the plan includes additional drainage detail as requested by the Town Engineer, but continues to show vehicle display within the drainage swale which was advised against. The applicant is also seeking to display construction equipment and vehicles in the landscaped buffer area, although staff encouraged the applicant to limit display areas to paved surfaces. This display area, if agreeable to the Board, requires two waivers.

RECOMMENDATION: Staff recommends application acceptance and conduct of the public hearing and for possible final action to be considered in accordance with the below DRAFT MOTIONS. A motion to defer is included in case the Board considers that more time is needed to review the application.

DRAFT MOTIONS:

MOTION TO ACCEPT THE APPLICATION:

I move to accept the Site Plan application for 2 Tracy Lane, Map 101/Lot 11.

Motion by: _____ Second: _____ Carried/Failed: _____.

MOTION TO DEFER CONSIDERATION OF THE APPLICATION:

I move to defer further review of the 24 Constitution Drive Site Plan application, date specific, to the June 13, 2018 meeting.

Motion by: _____ Second: _____ Carried/Failed: _____

WAIVER MOTIONS:

1) §HTC 275-8.C.7 – Landscaping Requirements.

I move to grant the requested waiver HTC 275-8.C.7 – Landscaping Requirements based on the testimony of the Applicant’s representative here this evening, and in accordance with the language included in the submitted Waiver Request Form.

Motion by: _____ Second: _____ Carried/Failed: _____.

2) §HTC 275-8.9.A – Stormwater Management Plan.

I move to grant the requested waiver HTC 275-8.9.A – Stormwater Management Plan based on the testimony of the Applicant’s representative here this evening, and in accordance with the language included in the submitted Waiver Request Form.

Motion by: _____ Second: _____ Carried/Failed: _____.

3) §HTC 276-11.1.B.12 – no display in setbacks.

I move to grant the requested waiver HTC 276-11.1.B.12 – No buildings, parking or display areas maybe located in this setback, based on the testimony of the Applicant’s representative here this evening, and in accordance with the language included in the submitted Waiver Request Form.

Motion by: _____ Second: _____ Carried/Failed: _____.

4) §HTC 276-11.1.B.22 – 35’ Landscaped Area.

I move to grant the requested waiver HTC 276-11.1.B.22 – 35’ Landscaped Area based on the testimony of the Applicant’s representative here this evening, and in accordance with the language included in the submitted Waiver Request Form.

Motion by: _____ Second: _____ Carried/Failed: _____.

MOTION to APPROVE:

Site Plan, Mal-Mar, LLC, Map 101 Lot 11, 2 Tracy Ln., Hudson, NH, prepared by Joseph M. Wichert, LLS, Inc. dated: October 17, 2018, consisting of one sheet, subject to the following conditions:

1. All improvements shown on the Site Plan-of-Record, including Notes 1- 7 together with any additional notes added to comply with these conditions of approval, shall be completed in their entirety and at the expense of the Applicant or his assigns.
2. Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Land Use Department, confirming that the site conforms to the Planning Board approved site plan.
3. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M. No exterior construction activities shall be allowed on Sundays.
4. Hours of refuse removal shall be exclusive to the hours between 7:00 A.M. and 7:00 P.M. Monday through Saturday only.

Motion by: _____ Second: _____ Carried/Failed: _____.



PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: August 20, 2018 Tax Map # 101 Lot # 11

Name of Project: Mal-Mar, LLC ~ Amended Site Plan

Zoning District: _____ General SP# 110-18
(For Town Use) (For Town Use)

ZBA Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: Mal-Mar, LLC

Address: 9 Dover Road

Address: Chichester, NH 03258-6515

Telephone # 603 765 0013

Fax # _____

Email: blanchman01@gmail.com

PROJECT ENGINEER

SURVEYOR

Name: _____

Joseph M. Wichert, LLS, Inc

Address: _____

802 Amherst Street

Address: _____

Manchester, NH 03104

Telephone # _____

Fax # _____

Email: _____

PURPOSE OF PLAN:

To amend the perviously approved site plan to allow a 20' x 60' building addition.

<i>For Town Use</i>	
Plan Routing Date: <u>8/23/18</u>	Sub/Site Date: <u>9/26/18</u>
<input type="checkbox"/> I have no comments <input type="checkbox"/> I have comments (attach to form)	
(Initials) _____	Title: _____ Date: _____
DEPT: _____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning _____ _____ Consultant _____ Highway Department	
Fees Paid: <u>\$572.81</u>	

SITE DATA SHEET

PLAN NAME: Amended Site Plan for Mal-Mar, LLC

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 101 LOT 11

DATE: August 20, 2018

Location by Street	<u>2 Tracy Lane</u>	
Zoning:	<u>B - Business</u>	
Proposed Land Use:	<u>Sales & service - Bobcat construction equipment</u>	
Existing Use:	<u>Same as above</u>	
Surrounding Land Use(s):	<u>Business/Commercial</u>	
Number of Lots Occupied:	<u>1</u>	
Existing Area Covered by Building:	<u>4,280 s.f.</u>	
Existing Buildings to be removed:	<u>none</u>	
Proposed Area Covered by Building:	<u>4,280 sf + 1,200 sf addition = 5,480 sf</u>	
Open Space Proposed:	<u>no change</u>	
Open Space Required:	<u>71,604 x 40% = 28,642 sf</u>	
Total Area:	S.F.: <u>71,604</u>	Acres: <u>1.644</u>
Area in Wetland:	<u>no change</u> Area Steep Slopes: <u>no change</u>	
Required Lot Size:	<u>43,560 sf</u>	
Existing Frontage:	<u>717.60'</u>	
Required Frontage:	<u>150'</u>	
Building Setbacks:	<u>Required*</u>	<u>Proposed</u>
Front:	<u>50'</u>	<u>81.5'</u>
Side:	<u>15'</u>	<u>54.8'</u>
Rear:	<u>15'</u>	<u>none</u>

**SITE PLAN DATA SHEET
(Continued)**

Flood Zone Reference: Zone X - outside of 0.2% annual chance floodplain

Width of Driveways: 24.8' existing

Number of Curb Cuts: 2 existing

Proposed Parking Spaces: None required

Required Parking Spaces: _____

Basis of Required Parking (Use): Proposed addition will not result in any additional employees

Dates/Case #/Description/Stipulations
of ZBA, Conservation Commission,
NH Wetlands Board Actions:
(Attach stipulations on separate sheet)

Hudson Town Code		
<u>Waivers Requested:</u>	<u>Reference</u>	<u>Regulation Description</u>
_____	1. _____	_____
_____	2. _____	_____
_____	3. _____	_____
_____	4. _____	_____
_____	5. _____	_____
_____	6. _____	_____
_____	7. _____	_____
_____	8. _____	_____
(Left column for Town Use)		

Impact Fees:
C.A.P Fee: _____

Development Agreement
Proposed: _____

<i>For Town Use</i>	
Data Sheet Checked By: _____	Date: _____

ATTACHMENT B

Amended Site Plan Narrative for
For Mal-Mar, LLC
DBA Bobcat of New Hampshire
Hudson Tax Map 101 Lot 11
2 Tracy Lane
Hudson, New Hampshire

Mal-Mar, LLC owns the subject property and operates Bobcat of New Hampshire at the site. The business sells, leases and repairs Bobcat construction equipment. There is an existing 4,280 SF one-story building with a sales and maintenance service area along with a large paved parking area. Previously the Hudson Planning Board approved a site plan for the construction of the building and the paved parking area. The current owner purchased the property in 2009 and has been using the site since then for the Bobcat of New Hampshire business. The site consists of 1.644 Acres of land located in the business zone and is improved with a building, paved area for display/storage of equipment, employee and customer parking, storage trailers and 2 entrances on to Tracy Lane.

The intent of the proposed amendment to the previously approved site plan is to add a 20' x 60' addition to the rear existing building. The addition will be used to expand the maintenance and service area for the construction equipment, will be accessed by a garage type door on both ends of the addition and the existing service facility. No additional pavement is proposed and since the addition will be built on an existing paved area, there will be no decrease in open space and no increase in storm water runoff. The reason for the proposed addition is that the existing service facility is undersized and this expansion will allow the applicant to better service their existing clients and improve the work areas of his existing employees. There are no immediate plans to hire any additional employees due to this proposed expansion.

After discussing the proposal with the interim planner, the applicant's surveyor has tied into existing boundary monumentation from the record subdivision plan, located the existing improvements on the property, showed the location of the proposed addition and treated this as a site plan amendment. The applicant needs the 1,200 SF of space (28% expansion) so we cannot utilize the minor site plan approval process as the maximum increase allowed is 20%. As the site is fully developed and the addition is relatively minor, multiple waivers have been requested. The majority of these requests involve not having to show the detail typical of a new site plan application. As the site was previously approved, the site is already developed and this is relatively minor expansion to the building and site, we believe these requests are reasonable.

Approval of this application by the Hudson Planning Board will result in the construction of a 20' x 60' addition to the rear of the existing building. We believe the proposed amended site plan meets the intent of the regulations and will comply with all of the Town requirements with the exception of the items that waivers have been requested for.

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: Site Plan for Mal-Mar, LLC

Street Address: 2 Tracy Lane

I Mark Blanchard of Mal-Mar, LLC hereby request that the Planning Board waive the requirements of item Section 275-8.C.7 - Landscaping plan of the Subdivision/Site Plan Checklist in reference to a plan presented by Joseph M. Wichert, LLS, Inc & Jon Rokeh (name of surveyor and engineer) dated August 17, 2018 for property tax map(s) 101 and lot(s) 11 in the Town of Hudson, NH.

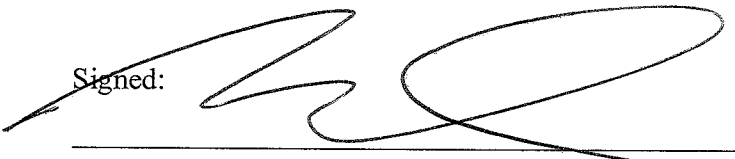
As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The original site plan was previously approved by the Planning Board in 1985 and amended in 1997. Applicant moved into the site in 2009 but no amended site plan was done at that time. There is no change proposed to landscaping or buffers for this addition. The proposed new addition is relatively small (1200 SF) and is being built in an area that is already paved and impervious.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

The intent of the regulations would be to insure the landscaping on the property is adequate. The site is fully developed and there is no changes proposed for landscaping. The construction of the proposed addition will not result in the need for any new landscaping work.

Signed: 

Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: Site Plan for Mal-Mar, LLC

Street Address: 2 Tracy Lane

I Mark Blanchard of Mal-Mar, LLC hereby request that the Planning Board waive the requirements of item Section 275-9.A - Storm Water Drainage Plan of the Subdivision/Site Plan Checklist in reference to a plan presented by Joseph M. Wichert, LLS, Inc & Jon Rokeh (name of surveyor and engineer) dated August 17, 2018 for property tax map(s) 101 and lot(s) 11 in the Town of Hudson, NH.

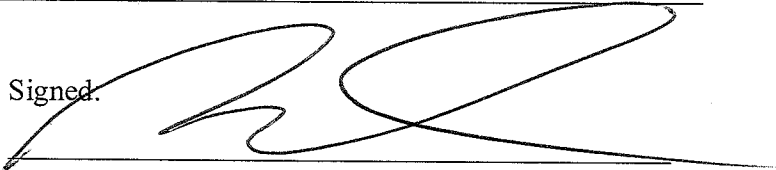
As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The original site plan was previously approved by the Planning Board in 1985 and amended in 1997. Applicant moved into the site in 2009 but no amended site plan was done at that time. We have met with the Town Engineer and are proposing a new catch basin and swale to handle the new addition but are not addressing the rest of the site which was built with Planning Board approval. Other than the proposed building addition, no change is proposed to the site.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

The intent of the regulations would be to prove the property is buildable and insure that the proposed project would not create any issues with the grading or runoff. The site is fully developed and the construction of the proposed addition will not change the grading of the property or run off patterns. The applicant has proposed a new catch basin and swale to handle runoff from addition.

Signed. 

Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: Site Plan for Mal-Mar, LLC

Street Address: 2 Tracy Lane

I Mark Blanchard of Mal-Mar, LLC hereby request that the Planning Board waive the requirements of item Section 276-11.1.B.12 - No display in setbacks of the Subdivision/Site Plan Checklist in reference to a plan presented by Joseph M. Wichert, LLS, Inc & Jon Rokeh (name of surveyor and engineer) dated August 17, 2018 for property tax map(s) 101 and lot(s) 11 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The original site plan was previously approved by the Planning Board in 1985 and amended in 1997. At the time of approval, the required setback was 35' but has since changed to 50'. The current 50' setback extends into the asphalt. We would like to use the existing pavement and a portion of the grass area for display of new equipment. The applicant is trying to reconfigure the site into the most complying layout and still be able to operate his existing business.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

Due to the setback change, full compliance would be impossible. Much of the area we are asking for the relief on has been used for parking and/or display. We are trying to define specific limits to make things simpler for the applicant and enforcement easier for the town (a set distance off lot line). Should the Planning Board agree to these waiver requests, the applicant will try to improve the remaining buffer to mitigate the reduction in size.

Signed:

Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: Site Plan for Mal-Mar, LLC

Street Address: 2 Tracy Lane

I Mark Blanchard of Mal-Mar, LLC hereby request that the Planning Board waive the requirements of item Section 276-11.1.B.22 - 35' grass area of the Subdivision/Site Plan Checklist in reference to a plan presented by Joseph M. Wichert, LLS, Inc & Jon Rokeh (name of surveyor and engineer) dated August 17, 2018 for property tax map(s) 101 and lot(s) 11 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The original site plan was previously approved by the Planning Board in 1985 and amended in 1997. At the time of approval, the required setback was 35' but has since changed to 50'. Under the current setbacks a 35' grass area is required. However, with a 30' setback only a 20' grass strip is required. We are requesting relief to 15' as it matches the existing fence on Tracy Lane by Route 102. This would be less than required but we believe it is a reasonable compromise for this existing developed site. Full compliance would make it very difficult for the applicant to keep the proper amount of inventory on site.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

As the lot is already developed and because of the setback change, full compliance would be very difficult. The 15' proposed reduction is relatively close to the 20' required with a 30' setback and there was a 35' setback when the lot was developed. The applicant is making a good faith effort to comply with the regulations and still keep enough inventory on site to make the location feasible. Should the Planning Board agree to these waiver requests, the applicant will try to improve the remaining buffer to mitigate the reduction in size.

Signed:

[Signature line]

Applicant or Authorized Agent

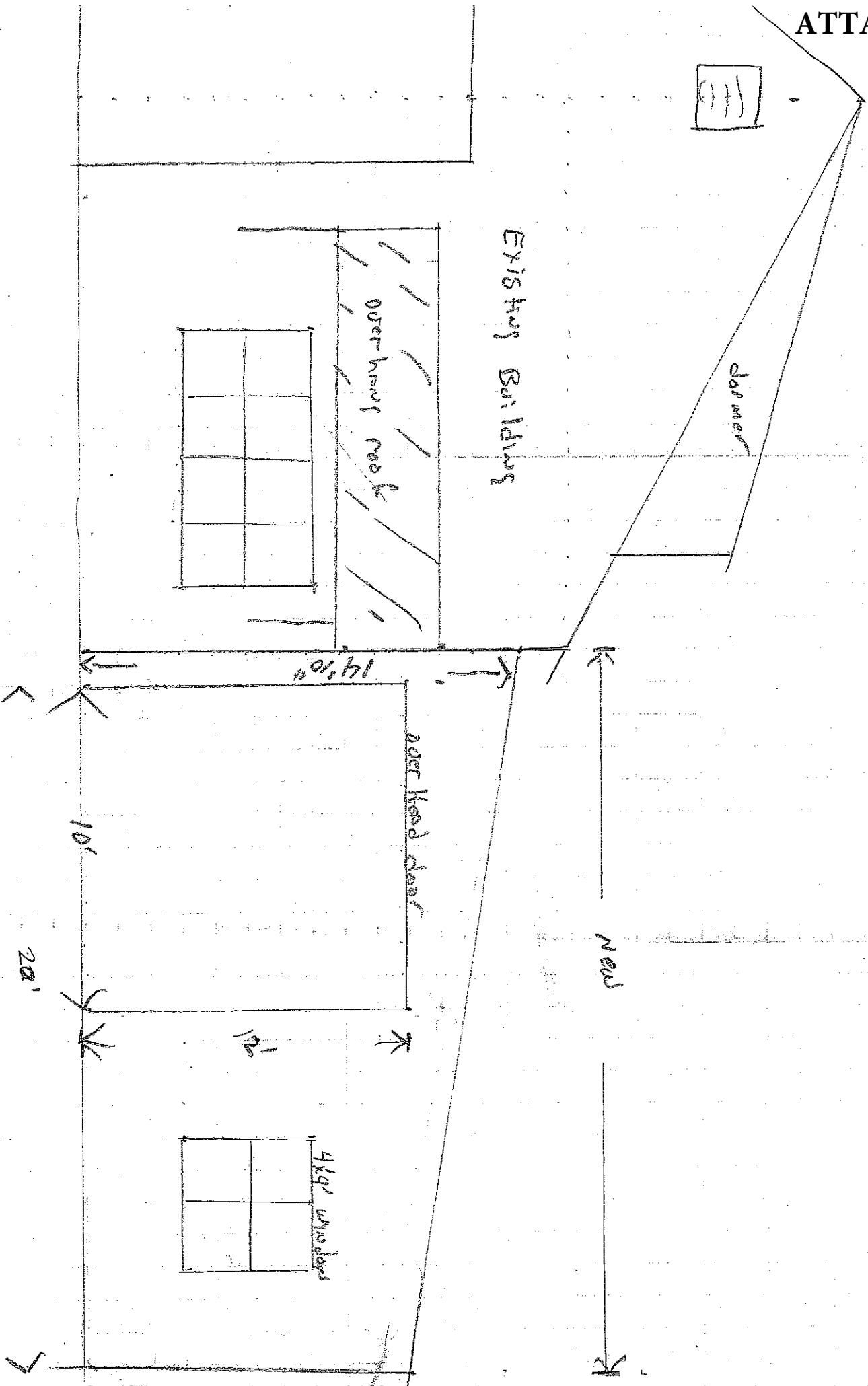
Planning Board Action:

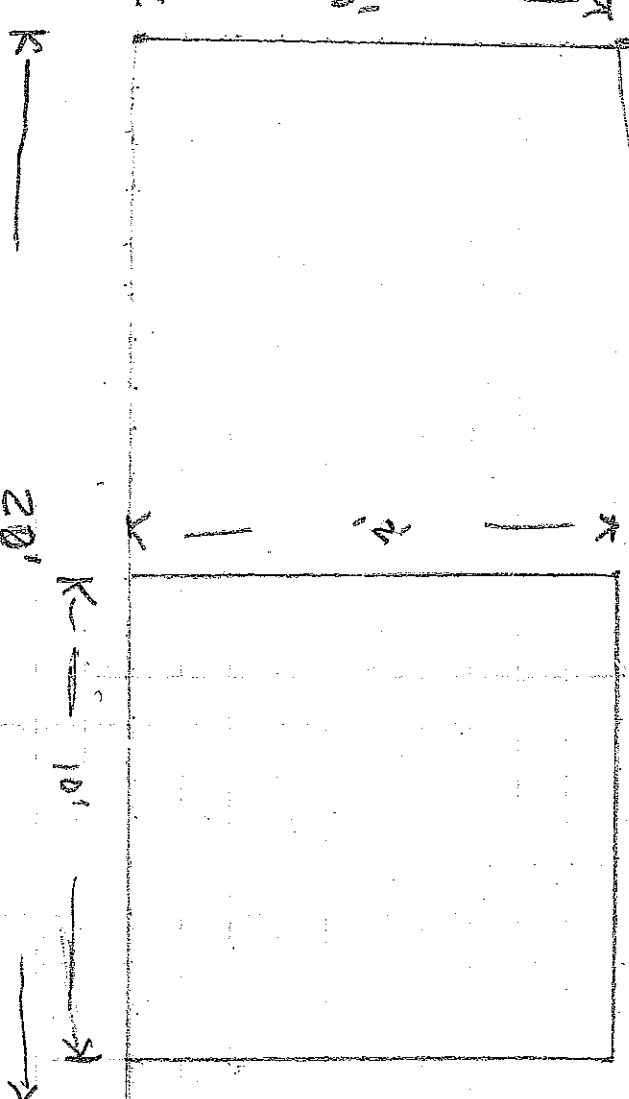
Waiver Granted [line]

Waiver Not Granted [line]

Robert & M.H. - Hudson

Front View

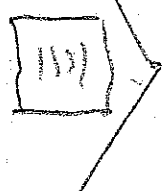
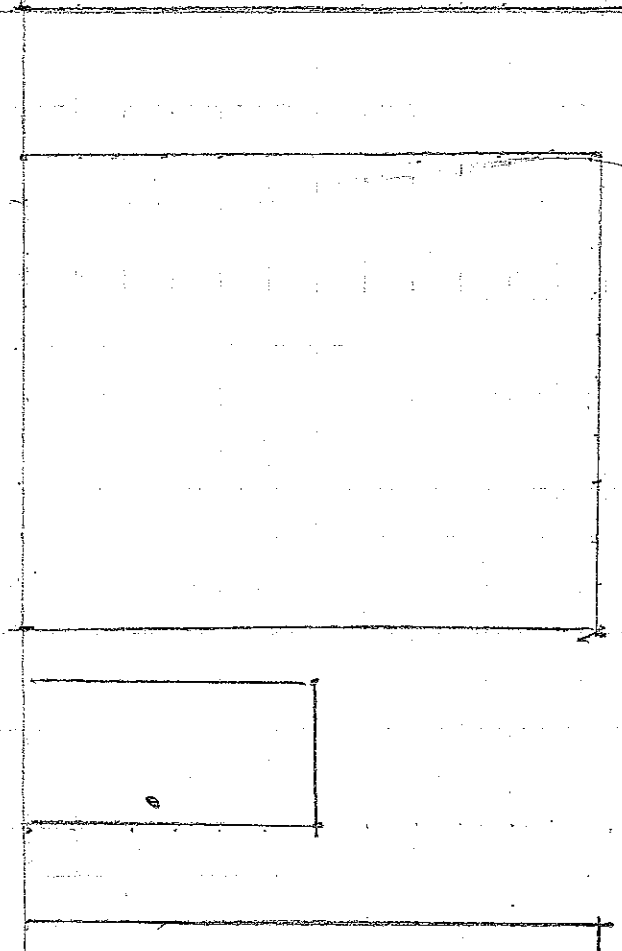


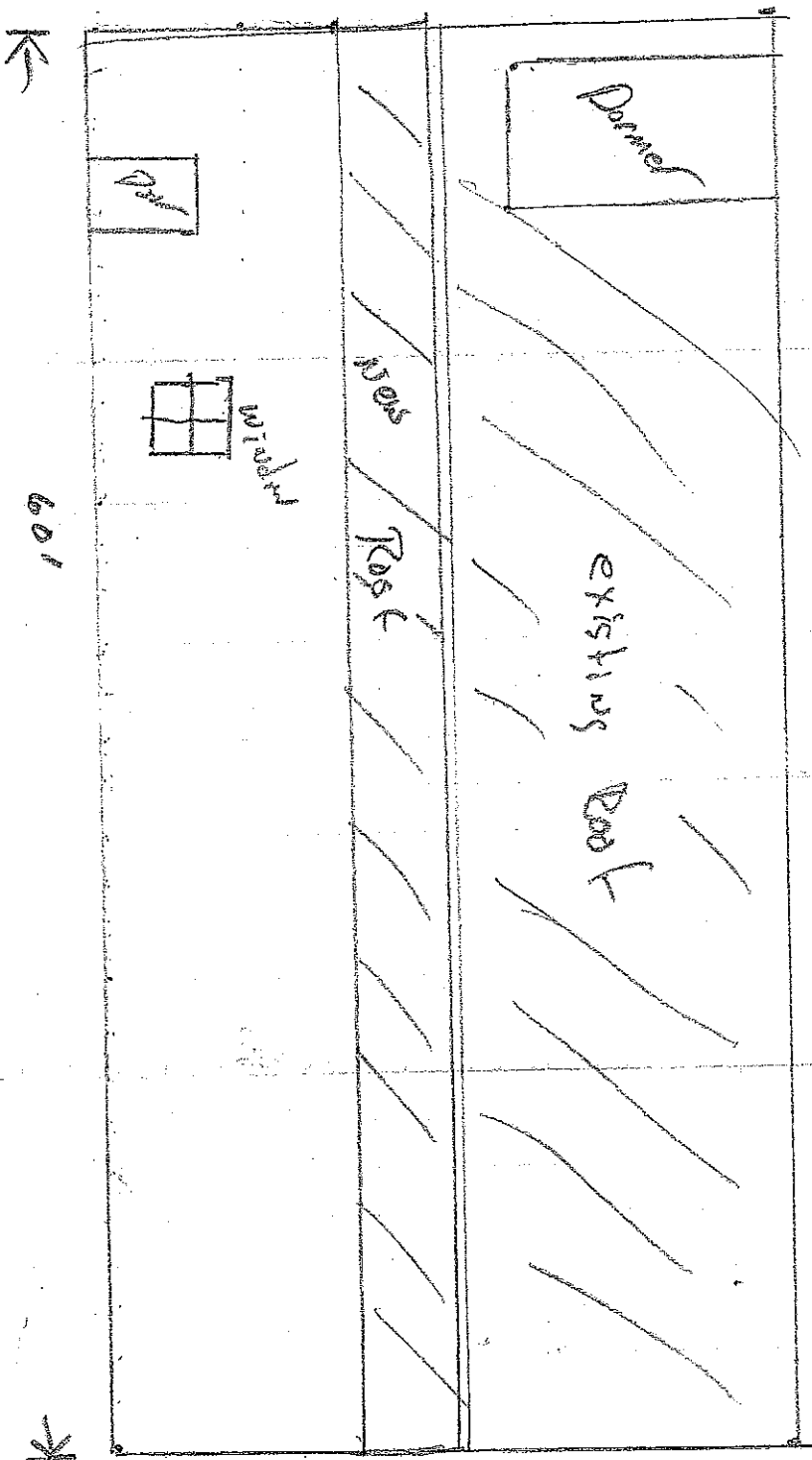


New

Rear of Building

Existing





side view



Dhima, Elvis

From: Dhima, Elvis
Sent: Thursday, August 23, 2018 1:24 PM
To: JayM@nashuarpc.org
Cc: Dubowik, Brooke
Subject: 2 Tracy Lane - Engineering Technical Review

Jay

Please see below

1. Applicant shall state if there is an increase in impervious area.
2. If there is an increase, the applicant shall meet drainage requirements.
3. Applicant shall state on the plan, stamped by a NH PE, if they meet the new MS4 requirements or not.

Thank you

E

Elvis Dhima, P.E.
Town Engineer

Town of Hudson, NH
12 School Street
Hudson, NH 03051
Phone: (603) 886-6008
Mobile: (603) 318-8286





TOWN OF HUDSON

Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

August 30, 2018

**Site Plan Review
Zoning Review/Comments**

BB B3018

Re: Case: SP# 16-18
Proposed 20' x 60' addition for service and maint.
Address: 2 Tracy Lane
Map 101 /Lot 011
Zoning district: Business (B)

Garaging of heavy commercial vehicles and equipment (D-32) is not a permitted use per §334-21 Table of Permitted Uses in this zone.
I note that there are two "existing" box trailers in the setback shown on the proposed "amended" site plan. I attach a 2015 aerial (no trailers) and a 2017 aerial showing the trailers.

Sincerely,

Bruce Buttrick, MCP
Zoning Administrator/Code Enforcement Officer
(603) 816-1275
bbuttrick@hudsonnh.gov

encl: 2015 aerial & 2017 aerial
cc: Public Folder
J. Minkarah - Interim Town Planner
file


Joseph M. Wichert, L.L.S., Inc.

Memo



To: Brian Groth, Hudson Town Planner
From: Joseph Wichert
CC: Brooke Dubowik, Town of Hudson, client & File
Date: 17 September 2018
Re: 2 Tracy Lane – Miner Site Plan for Building Addition

Brian;

Per our emails and conversations with Town staff, attached please find 9 full sized and 17 half sized copies of the revised plan for the above referenced project. Am also enclosing a copy of the initial zoning determination paperwork the client had submitted in 2009 and a copy of the original site plan that the client had from that time. Mr. Blanchard's father will continue to look for the Town response but recently had some surgery so he is a little limited right now. Per the emails and staff comments, we have made the following changes to the plan:

ENGINEERING COMMENTS:

1. Added note 8 which states there will be no increase in impervious area
2. Added note regarding MS4 compliance stamped by our engineer

ZONING COMMENTS:

1. Still trying to get the copy of the original Town response but see the request submitted
2. Revised note 4 regarding no parking/garaging of heavy commercial vehicles or equipment. In addition, Bruce asked what the GVW of the equipment was. The client has indicated that the majority of the equipment is under 4 tons. They do sell a few 8.5 ton units/year (less than 10 out of 400 units total/year)
3. Added a note to the plan that the trailers in the setback will be relocated. The units were actually moved on Friday but we did not have time to locate them and resubmit today. I will locate them prior to the meeting to verify they comply with the setback requirements. If they do not, we will move them to a complying location.

I believe these changes will resolve the issues listed in the review comments that we were provided. Let me know if you think I have missed something. Thank you for your time and assistance in this matter, please feel free to contact me if you have any questions or concerns.

Joe Wichert

802 Amherst Street
 Manchester, New Hampshire 03104-5427
 Ph (603) 647-4282 Fax (603) 623-1910
 Email: Joewichert@Jmwlls.com

Memo

To: Brian Groth, Hudson Town Planner
From: Joseph Wichert
CC: Brooke Dubowik, Town of Hudson, client & File
Date: 18 October 2018
Re: 2 Tracy Lane – Minor Site Plan for Building Addition



Brian;

Per our emails and meeting with Town staff, attached please find 9 full sized and 17 half sized copies of the revised plan for the above referenced project. Am also enclosing an elevation view of the proposed addition. We have made the following changes to the plan:

ENGINEERING COMMENTS:

1. Added a proposed catch basin with separator as discussed with the Town Engineer
2. Revised the MS4 compliance note

ZONING COMMENTS:

1. Added 10 parking spaces behind the building as shown on the approved site plans.
2. Added note 9 which has the parking schedule listed.
3. Revised note 8 to include the lot coverage. The lot coverage shown is less than the maximum allowed and within 0.5% of what was shown on the approved site plans.
4. Showed a loading area west of the proposed addition.
5. Labeled the area between the pavement and Tracy Lane as Green Area. The current regulations call for a 35' green strip. The existing pavement is close to 35' and appears to match what was shown on the approved site plan. The site plans showed a 35' setback.
6. Added some traffic flow arrows to the plan.
7. Revised the labels for display and storage areas
8. Added the existing lights onto the building and added note 10
9. Revised the list of waivers needed

Thank you for your time and assistance in this matter, please feel free to contact me if you have any questions or concerns.

Joe Wichert

802 Amherst Street
Manchester, New Hampshire 03104-5427
Ph (603) 647-4282 Fax (603) 623-1910
Email: Joewichert@Jmwlls.com

TOWN OF HUDSON

09-37

COMMUNITY DEVELOPMENT DEPARTMENT

ZONING DETERMINATION



12 School Street • Hudson, New Hampshire 03051 • 603-886-6005 • Fax 603-594-1142



June 24, 2009

Jeffrey Blanchard
Bobcat of NH South
317 Derry Road
Hudson, NH 03051

Re: 2 Tracey Lane, Hudson (Map 101/Lot 011-000)

Dear Mr. Blanchard:

Your request for information has been reviewed by the Community Development Department. To sell service and rent compact construction equipment, is a permitted use within the Business zoning district. Planning Board approval will be needed in order to conduct this business. Please contact the Planning Department for further information at 603-886-6005.

Please feel free to contact the Community Development Department if you have any further questions.

This decision may be appealed within 30 days.

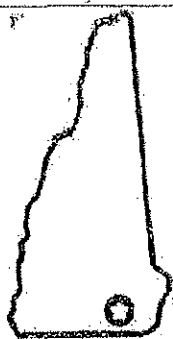
Sincerely,

COMMUNITY DEVELOPMENT DEPARTMENT

William A. Oleksak
Zoning Administrator

cc: Zoning Board of Adjustment
Planning Board
Board of Selectmen
Assistant Town Administrator
File

WO/jk



TOWN OF HUDSON

COMMUNITY DEVELOPMENT DEPARTMENT

REQUEST FOR ZONING INFORMATION / DETERMINATION



12 School Street Hudson, New Hampshire 03051
Community Development Department 603-886-6005 • Engineering Division 603-886-6008 • Fax 603-594-1142

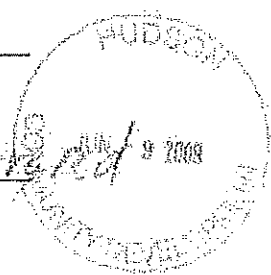
Date of request: 6/09/09

Subject Property specifics: 2 Tracy Lane

Property Location: Corner Tracy Lane & Derby Rd

Map 101 Lot 11

Zoning District if known: "B" Business



Request specifics:

Zoning District Determination Use Determination Set-Back Requirements Other

Description of request / determination (please attach all relevant documentation):

would like to know if I can operate
my Business out of that location. We sell
Service & Rent Compact const. Equipment
use to be used for auto sales and
Auto Repair business Now empty
FUEL + FUEL ISLAND REMOVED
OK ZONING WISE - WOULD THEY NEED SITE PLAN
REVIEW?

Applicant Contact Information:

Name: Scotty Blanchard Resident of NH South

Address: 317 Derby Rd Hudson NH 03051

Phone Number: 603-579-9955

For Office use:	
ATTACHMENTS:	
TAX CARD <input checked="" type="checkbox"/>	GIS <input checked="" type="checkbox"/>
NOTES: _____	
ZONING DETERMINATION LETTER SENT <input type="checkbox"/>	DATE SENT _____



TOWN OF HUDSON

Planning Board



Glenn Della-Monica, Chairman

David Morin, Selectmen Liaison

12 School Street · Hudson, New Hampshire 03051 · Tel: 603-886-6008 · Fax: 603-594-1142

CAP FEE WORKSHEET - 2018

Date: 09-26-18 Zone # 1 Map/Lot: 101/11
2 Tracy Ln.

Project Name: 2 Tracy Lane. Site Plan

Proposed ITE Use #1: Bobcat Sales, Service addition Light Industrial Buidling

Proposed Building Area (square footage): 1,200

CAP FEES: (ONE CHECK NEEDED)

1.	(Bank 09) 2070-701	Zone 1	<u>\$ 1,548.00 (1,200sf x \$1.29)</u>
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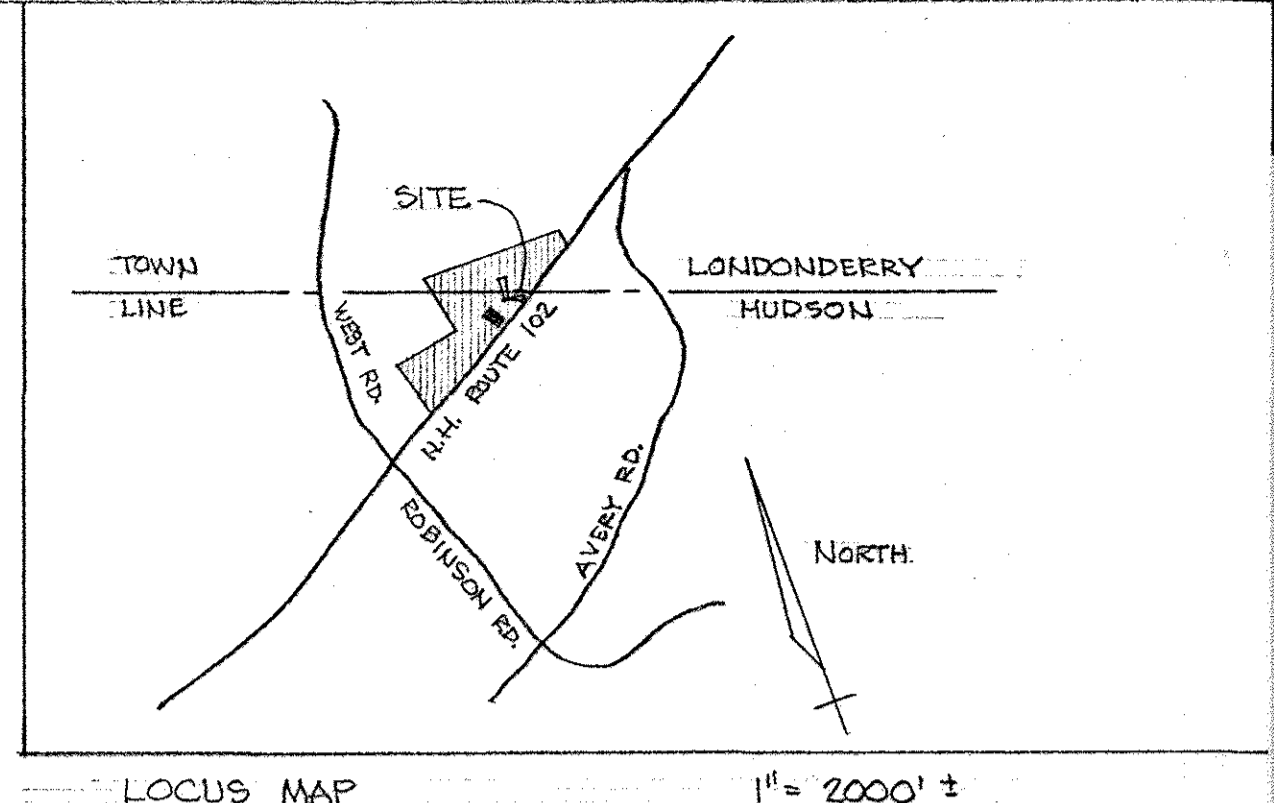
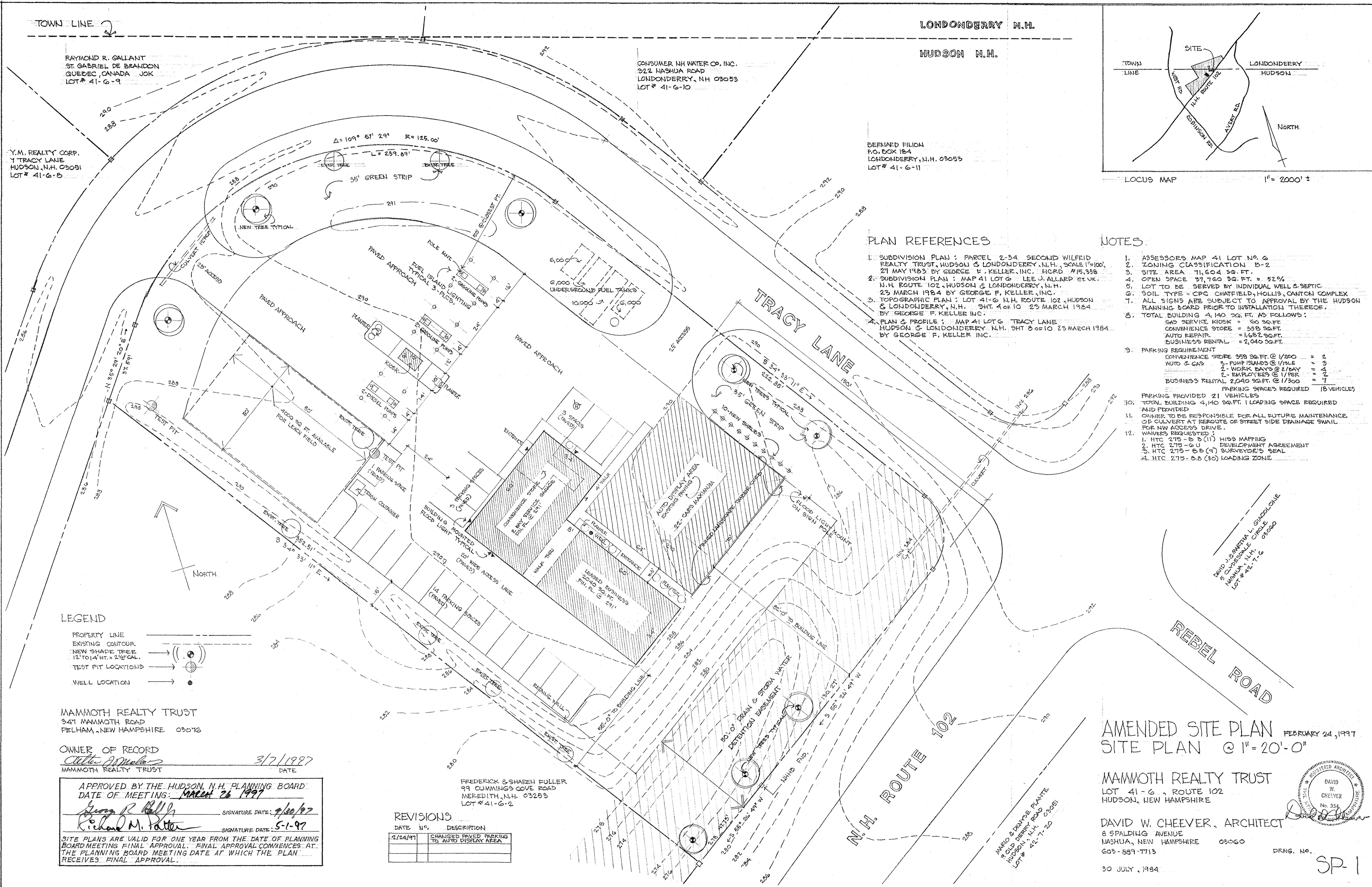
Total CAP Fee	<u>\$ 1,548.00</u>
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Check should be made payable to the Town of Hudson.

Thank you,

Brooke Dubowik

Planning Administrative Aide



BERNARD FILON
P.O. BOX 184
LONDONDERRY, N.H. 03055
LOT # 41-6-11

PLAN REFERENCES

1. SUBDIVISION PLAN: PARCEL 2-34 SECOND WILFELD REALTY TRUST, HUDSON & LONDONDERRY, N.H., SCALE 1"=100', 21 MAY 1983 BY GEORGE F. KELLER, INC. HCRD #15,338
2. SUBDIVISION PLAN: MAP 41 LOT 6 LEE J. ALLARD ET UX. N.H. ROUTE 102, HUDSON & LONDONDERRY, N.H. 23 MARCH 1984 BY GEORGE F. KELLER, INC.
3. TOPOGRAPHIC PLAN: LOT 41-6 N.H. ROUTE 102, HUDSON & LONDONDERRY, N.H. SHT. 4 OF 10 23 MARCH 1984 BY GEORGE F. KELLER, INC.
4. PLAN & PROFILE: MAP 41 LOT 6 TRACY LANE HUDSON & LONDONDERRY, N.H. SHT. 8 OF 10 23 MARCH 1984 BY GEORGE F. KELLER, INC.

NOTES

1. ASSESSORS MAP 41 LOT NO. 6
2. ZONING CLASSIFICATION B-2
3. SITE AREA 71,604 SQ. FT.
4. OPEN SPACE 37,760 SQ. FT. = 52%
5. LOT TO BE SERVED BY INDIVIDUAL WELL & SEPTIC
6. SOIL TYPE - CPC CHATFIELD, HOLLIS, GANTON COMPLEX
7. ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD PRIOR TO INSTALLATION THEREOF.
8. TOTAL BUILDING 4,140 SQ. FT. AS FOLLOWS:
 GAS SERVICE KIOSK = 30 SQ. FT.
 CONVENIENCE STORE = 358 SQ. FT.
 AUTO REPAIR = 1,682 SQ. FT.
 BUSINESS RENTAL = 2,040 SQ. FT.
9. PARKING REQUIREMENT
 CONVENIENCE STORE 358 SQ. FT. @ 1/200 = 2
 AUTO & GAS 3-PUMP ISLANDS @ 1/100 = 3
 2-WORK BAYS @ 2/BAY = 4
 2-EMPLOYEES @ 1/PER = 2
 BUSINESS RENTAL 2,040 SQ. FT. @ 1/300 = 7
 PARKING SPACES REQUIRED 18 VEHICLES
10. PARKING PROVIDED 21 VEHICLES
 TOTAL BUILDING 4,140 SQ. FT. LOADING SPACE REQUIRED AND PROVIDED
11. OWNER TO BE RESPONSIBLE FOR ALL FUTURE MAINTENANCE OF CULVERT AT REROUTE OF STREET SIDE DRAINAGE SWAIL FOR NW ACCESS DRIVE.
12. WAIVERS REQUESTED:
 1. HTC 275-B B (1) HISS MAPPING
 2. HTC 275-G U DEVELOPMENT AGREEMENT
 3. HTC 275-B B (9) SURVEYOR'S SEAL
 4. HTC 275-B B (30) LOADING ZONE

RAYMOND R. GALLANT
ST. GABRIEL DE BRANDON
QUEBEC, CANADA JOK
LOT # 41-6-9

CONSUMER NH WATER CO., INC.
322 NASHUA ROAD
LONDONDERRY, NH 03055
LOT # 41-6-10

Y.M. REALTY CORP.
7 TRACY LANE
HUDSON, N.H. 03051
LOT # 41-6-8

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- NEW SHADE TREE 12' TO 14' HT. x 2 1/2" CAL.
- TEST PIT LOCATIONS
- WELL LOCATION

MAMMOTH REALTY TRUST
341 MAMMOTH ROAD
PELHAM, NEW HAMPSHIRE 03076

OWNER OF RECORD
Clara Amela
MAMMOTH REALTY TRUST
DATE: 3/7/1997

APPROVED BY THE HUDSON, N.H. PLANNING BOARD.
DATE OF MEETING: MARCH 26 1997
George R. Bell SIGNATURE DATE: 4/30/97
Richard M. Patten SIGNATURE DATE: 5-1-97

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

REVISIONS

DATE	Nº	DESCRIPTION
2/24/97	1	CHANGED PAVED PARKING TO AUTO DISPLAY AREA

FREDERICK & SHAREN FULLER
99 CUMMINGS COVE ROAD
MEREDITH, N.H. 03253
LOT # 41-6-2

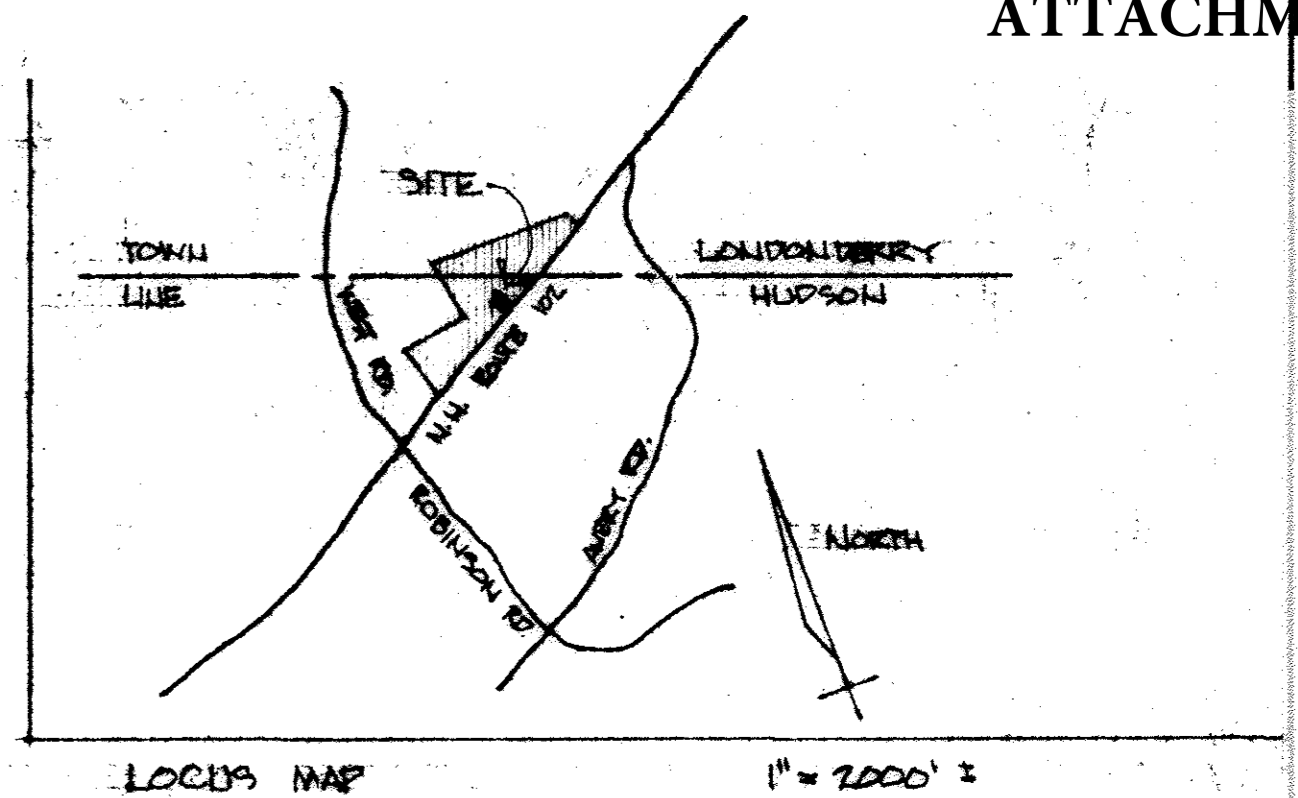
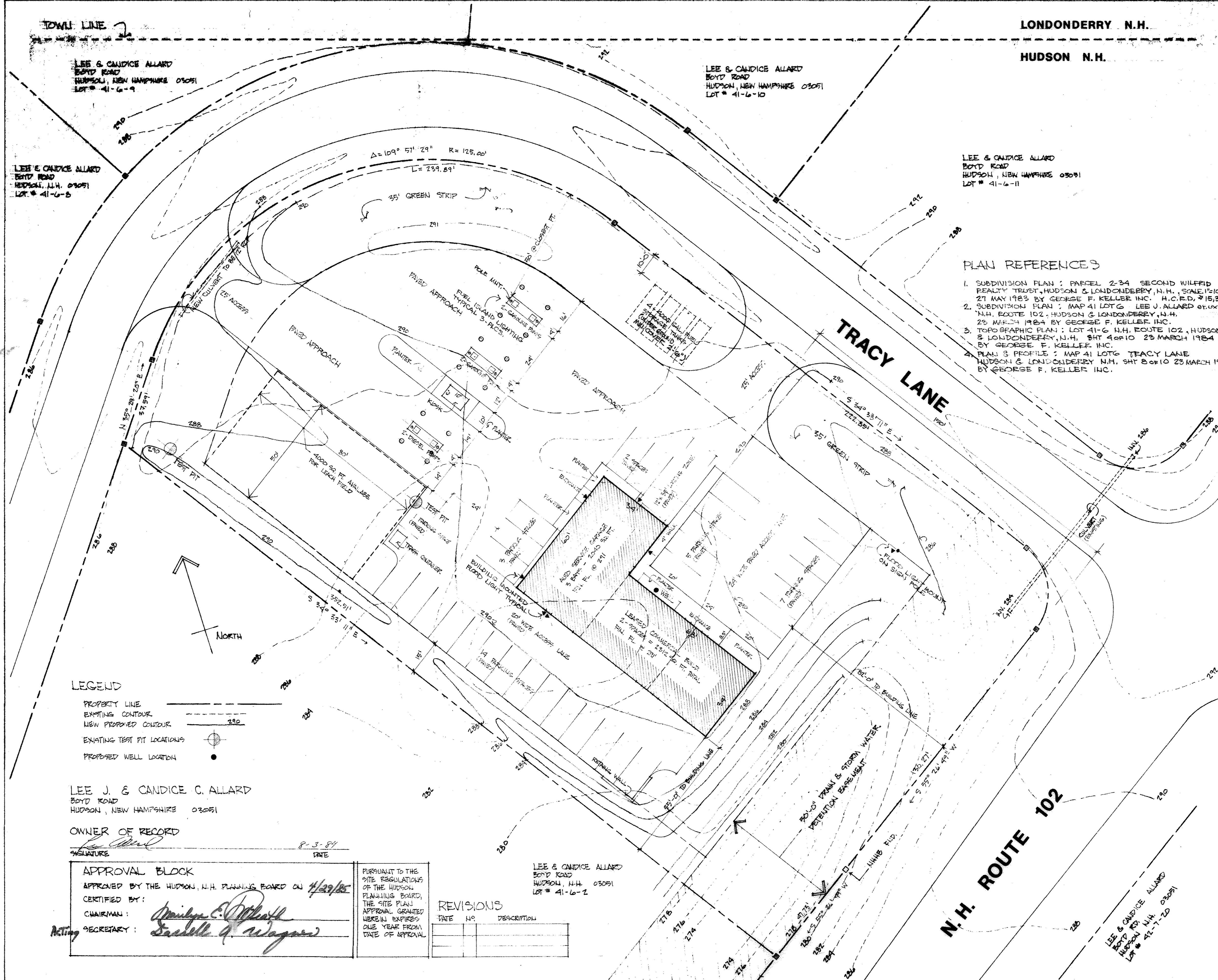
DAVID W. CHEEVER, ARCHITECT
8 SPALDING AVENUE
NASHUA, N.H. 03060
LOT # 42-7-6

AMENDED SITE PLAN FEBRUARY 24, 1997
SITE PLAN @ 1"=20'-0"

MAMMOTH REALTY TRUST
LOT 41-6, ROUTE 102
HUDSON, NEW HAMPSHIRE

DAVID W. CHEEVER, ARCHITECT
8 SPALDING AVENUE
NASHUA, NEW HAMPSHIRE 03060
603-887-7713
PRNG. NO. SP-1

30 JULY, 1984



PLAN REFERENCES

1. SUBDIVISION PLAN: PARCEL 2-34 SECOND WILFRID REALTY TRUST, HUDSON & LONDONDERRY, N.H., SCALE 1"=100', 27 MAY 1983 BY GEORGE F. KELLER INC. H.C.E.D. #15,338.
2. SUBDIVISION PLAN: MAP 41 LOT 6 LEE J. ALLARD et. al., N.H. ROUTE 102, HUDSON & LONDONDERRY, N.H., 23 MARCH 1984 BY GEORGE F. KELLER INC.
3. TOPOGRAPHIC PLAN: LOT 41-6 N.H. ROUTE 102, HUDSON & LONDONDERRY, N.H., SHT 4 OF 10 23 MARCH 1984 BY GEORGE F. KELLER INC.
4. PLAN & PROFILE: MAP 41 LOT 6 TRACY LANE HUDSON & LONDONDERRY, N.H., SHT 2 OF 10 23 MARCH 1984 BY GEORGE F. KELLER INC.

NOTES

1. ASSESSOR'S MAP 41 LOT NO. 6
2. ZONING CLASSIFICATION B-2
3. SITE AREA 71,604 SQ. FT.
4. OPEN SPACE 37,760 SQ. FT. = 52%
5. LOT TO BE SERVED BY INDIVIDUAL WELL & SEPTIC
6. SOIL TYPE - CPC CHATFIELD, HOLLIS, CANTON COMPLEX
7. "ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD PRIOR TO INSTALLATION THEREOF."
8. TOTAL BUILDING 4,412 SQ. FT. AS FOLLOWS:
 GAS SERV. KIOSK = 60 SQ. FT.
 AUTO REPAIR = 2040 SQ. FT.
 BUSINESS RENTAL = 2312 SQ. FT.
9. PARKING REQUIREMENT
 AUTO & GAS 3- PUMP ISLANDS @ 1/ISLE = 3
 3- WORK BAYS @ 7 BAY = 6
 5- EMPLOYEES @ 1/PER = 5
 BUSINESS 2,312 SQ. FT. RENTAL @ 1/200 = 12
 PARKING SPACES REQ'D. 26 VEHICLES
10. PARKING PROVIDED 32 VEHICLES
 TOTAL BLDG. 4,412 SQ. FT. 1 LOADING SPACE REQ'D. & PROVIDED
11. OWNER TO BE RESPONSIBLE FOR ALL FUTURE MAINTENANCE OF CULVERT AT ROUTE OF STREET SIDE DRAINAGE SWAIL FOR ACCESS DRIVE.

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- NEW PROPOSED CONTOUR
- EXISTING TEST PIT LOCATIONS
- PROPOSED WELL LOCATION

LEE J. & CANDICE G. ALLARD
 BOYD ROAD
 HUDSON, NEW HAMPSHIRE 03051

OWNER OF RECORD

Signature: *Lee J. Allard* DATE: 8-3-84

APPROVAL BLOCK
 APPROVED BY THE HUDSON, N.H. PLANNING BOARD ON 4/29/85
 CERTIFIED BY:
 CHAIRMAN: *William E. O'Connell*
 SECRETARY: *Barbelle J. Wagner*

PURSUANT TO THE SITE REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES DUE YEAR FROM DATE OF APPROVAL

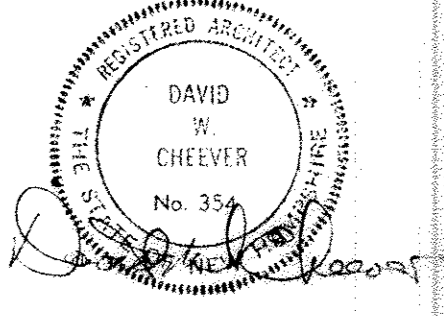
REVISIONS	DATE	NO.	DESCRIPTION

LEE & CANDICE ALLARD
 BOYD ROAD
 HUDSON, N.H. 03051
 LOT # 41-6-2

SITE PLAN @ 1"=20'-0"

LEE ALLARD
 LOT 41-6, ROUTE 102
 HUDSON, NEW HAMPSHIRE

DAVID W. CHEEVER, ARCHITECT
 8 SPALDING AVENUE
 NASHUA, NEW HAMPSHIRE 03060
 603-889-7713
 30 JULY 1984



DRWG. NO. SP-1

PLAN REFERENCES:

- 1.) "SUBDIVISION PLAN : MAP 41 LOT 6, LEE J. ALLARD ET. UX., N.H. ROUTE 102, HUDSON & LONDONDERRY N.H.", DATED 23 MARCH 1984, LAST REVISED 7/18/84 AND PREPARED BY GEORGE F. KELLER INC. HCRD PLAN #16964.
- 2.) "SITE PLAN LEE ALLARD, LOT 41-6, ROUTE 102, HUDSON, NEW HAMPSHIRE" DATED 30 JULY 1984 AND PREPARED BY DAVID W. CHEEVER, ARCHITECT. ON FILE AT TOWN OF HUDSON
- 3.) "AMENDED SITE PLAN MAMMOTH REALTY TRUST, LOT 41-6, ROUTE 102, HUDSON, NEW HAMPSHIRE" DATED 30 JULY 1984 AND LAST REVISED ON 2/24/97 BY DAVID W. CHEEVER, ARCHITECT. ON FILE AT TOWN OF HUDSON



TAX MAP 101 LOT 14
SMT 7 TRACY LANE, LLC
3 TRACY LANE
HUDSON, NH 03051
V. 8941 P. 1552

WETLANDS NOTE:

THE SITE WAS CHECKED FOR WETLANDS ON SEPTEMBER 27, 2018 USING STANDARDS AND METHODOLOGY APPROVED BY THE ARMY CORPS OF ENGINEERS AND THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES WETLANDS BUREAU BY AARON WECHSLER, CWS #250, FROM ASPEN ENVIRONMENTAL CONSULTANTS, LLC. NO WETLANDS WERE OBSERVED ON THE SUBJECT PROPERTY.

WAIVERS REQUESTED FROM DEVELOPMENT REGS:

- 1.) SECTION 275-9.A: STORM WATER DRAINAGE PLAN
- 2.) SECTION 275-8.C.7: LANDSCAPING PLAN
- 3.) SECTION 276-11.1.B.12: NO DISPLAY IN SETBACK
- 4.) SECTION 276-11.1.B.22: 15' GRASS WHERE 35' IS REQUIRED

STATUS OF PERMITS:

- 1.) NHDES SUBDIVISION APPROVAL = NOT REQUIRED
- 2.) NHDES ALTERATION OF TERRAIN PERMIT = NOT REQUIRED
- 3.) NHDES WETLANDS PERMIT = NOT REQUIRED
- 4.) ARMY CORPS OF ENGINEER DREDGE & FILL PERMIT = NOT REQUIRED
- 5.) EPA NOI/SWPPP APPROVAL = NOT REQUIRED
- 6.) NHDES SEWER DISCHARGE PERMIT = NOT REQUIRED
- 7.) NHDOT DRIVEWAY PERMIT = NOT REQUIRED

OWNER'S SIGNATURE:

MARK BLANCHARD ON BEHALF OF MAL-MAR, LLC

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

CHAIRPERSON _____ SIGNATURE DATE _____
SECRETARY _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

SYMBOL LEGEND

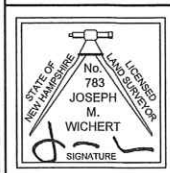
- ▣ PROP. CATCH BASIN
- IRON ROD FOUND
- ◻ CONCRETE BOUND FOUND
- ⊙ DRAIN MANHOLE
- ⊕ SIGN
- ⊕ SIGN POST
- ⊕ GATE POST
- ⊕ UTILITY POLE
- X290.2 SPOT ELEVATION
- OVERHEAD WIRES
- ▬ STOCKADE FENCE
- POST & BOARD FENCE
- PSD PROP. STORM DRAIN

I CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE WITH A TOPCON GT 503. THE ERROR OF CLOSURE ON ALL LOT LINES WITHIN AND BORDERING THE SUBJECT PROPERTY IS BETTER THAN 1 IN 10,000.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I HEREBY CERTIFY THAT A COPY OF THIS PLAN HAS BEEN FILED WITH THE HUDSON PLANNING BOARD IN ACCORDANCE WITH RSA 676:18(IV).

17 Oct. 2018
DATE



NRCS SOILS DATA:

CPC—CHATFIELD-HOLLIS-CANTON COMPLEX, 8 TO 15 PERCENT SLOPES (ENTIRE SITE)
SOILS TYPE FROM NRCS WEB SOIL SURVEY - CREATED 8/20/2018

SOIL TYPE	AREA (SQ. FT.)	PERCENT
U1	10,000	10.0
U2	20,000	20.0
U3	30,000	30.0
U4	40,000	40.0
U5	50,000	50.0
U6	60,000	60.0
U7	70,000	70.0
U8	80,000	80.0
U9	90,000	90.0
U10	100,000	100.0

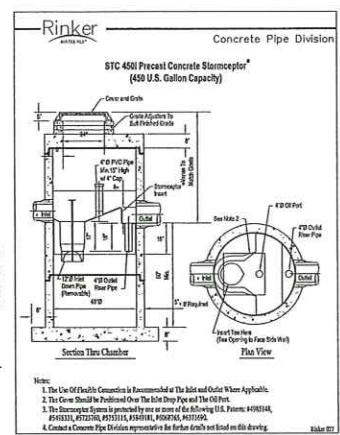
NOTE
1. THE SOILS TYPE IS THE DETERMINED SOIL TYPE FOR THE ENTIRE SITE.
2. THE SOILS TYPE IS THE DETERMINED SOIL TYPE FOR THE ENTIRE SITE.
3. THE SOILS TYPE IS THE DETERMINED SOIL TYPE FOR THE ENTIRE SITE.
4. THE SOILS TYPE IS THE DETERMINED SOIL TYPE FOR THE ENTIRE SITE.

PIPE OUTLET PROTECTION APRON

NOT TO SCALE

DRAINAGE DETAILS

NOT TO SCALE



SIZE (IN)	DEPTH (IN)	SPACING (IN)
1/2	10	12
3/4	10	12
1	10	12
1 1/4	10	12
1 1/2	10	12
1 3/4	10	12
2	10	12
2 1/4	10	12
2 1/2	10	12
2 3/4	10	12
3	10	12

CONSTRUCTION NOTES

1. THE PROPOSED ADDITION SHALL BE CONSTRUCTED ON THE EXISTING FOUNDATION.
2. THE PROPOSED ADDITION SHALL BE CONSTRUCTED ON THE EXISTING FOUNDATION.
3. THE PROPOSED ADDITION SHALL BE CONSTRUCTED ON THE EXISTING FOUNDATION.
4. THE PROPOSED ADDITION SHALL BE CONSTRUCTED ON THE EXISTING FOUNDATION.

MAINTENANCE

THE PROPOSED ADDITION SHALL BE MAINTAINED AS SHOWN ON THE PLAN.

GRASS LINED TREATMENT SWALE

NOT TO SCALE

MS4 NOTE:

THE PROPOSED ADDITION MEETS THE MS4 REQUIREMENTS.

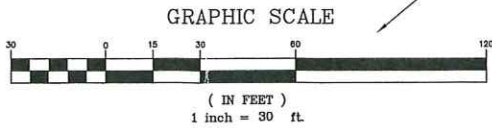


TAX MAP 101 LOT 19
SMT REBEL ROAD, LLC
3 TRACY LANE
HUDSON, NH 03051
V. 8812 P. 1401

TAX MAP 101 LOT 30
MARIO PLANTE, TRUSTEE & DENYSE PLANTE, TRUSTEE
GREEN MOUNTAIN PARTNERS REALTY TRUST
9 OLD DERRY ROAD
HUDSON, NH 03051
V. 7167 P. 1210

TAX MAP 101 LOT 30-1 - 30-5
ANTHONY E. DIONNE, TRUSTEE
GREENLAND INVESTMENT REALTY TRUST
PO BOX 1206
LONDONDERRY, NH 03063-1206
V. 8785 P. 2799 & V. 7421 P. 1845

TAX MAP 101 LOT 32
MICHAEL R. GENEST & DAVID B. GENEST
32 GUILLETTE STREET
SANFORD, ME 04073
V. 6616 P. 1772 (WITHIN 200')



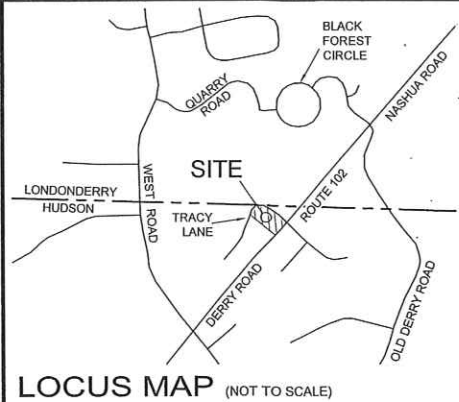
NO.	DATE	DESCRIPTION	BY
4	10/16/18	REV. SWALE & DISPLAY AREA	JMW
3	10/7/18	ADD TOPO, WET CERT; REV. PER STAFF	JMW
2	9/24/18	REVERT BACK TO SITE PLAN	JMW
1	9/17/18	REVISE PER TOWN COMMENTS	JMW
NO.	DATE	DESCRIPTION	BY

SITE PLAN FOR MAL-MAR, LLC
dba BOBCAT OF NEW HAMPSHIRE
TAX MAP 101 LOT 11
2 TRACY LANE
HUDSON, NEW HAMPSHIRE
DATE: AUGUST 17, 2018 SCALE: 1" = 30'

SITE PLAN BY:
802 AMHERST STREET
MANCHESTER, NH 03104
TEL: (603) 647-4282 OR 736-8203
FAX: (603) 623-1910
WEB: WWW.JMWLLS.COM
Joseph M. Wichert
LLS, INC.

LAND SURVEYOR & SEPTIC SYSTEM DESIGNER

SHEET S1 SHEET 1 OF 1 F.B. - P. - JOB #2018167



NOTES:

- 1.) THE SUBJECT PARCEL IS LOT 11 ON THE TOWN OF HUDSON TAX MAP 101. THE OWNER OF RECORD IS MAL-MAR, LLC OF 9 DOVER ROAD, CHICHESTER, NEW HAMPSHIRE 03258-6516. SEE HCRD V. 8144 P. 2494.
- 2.) THE SUBJECT PARCEL IS ZONED B. MINIMUM LOT SIZE IS 43,560 SQ. FT. MINIMUM LOT FRONTAGE = 150'. SETBACKS ARE AS FOLLOWS: FRONT = 50', SIDE = 15' AND REAR = 15'. THE SETBACKS SHOWN ARE FOR REFERENCE ONLY AND NEED TO BE VERIFIED WITH THE ZONING COMPLIANCE OFFICER.
- 3.) THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE IN AUGUST OF 2018. I, JOSEPH M. WICHERT, NHLS #783, CERTIFY THAT THE WORK WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION.
- 4.) THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED ADDITION TO THE EXISTING BUILDING IN RELATIONSHIP TO THE BOUNDARY OF THE SUBJECT PARCEL. THE BOUNDARY SHOWN WAS ESTABLISHED BY A FIELD TIE INTO THE PLAN REFERENCE AND IS NOT INTENDED TO BE A NEW BOUNDARY SURVEY. THE PROPOSED ADDITION IS TO EXPAND THE EXISTING MAINTENANCE AND REPAIR AREA. THERE WILL BE NO PARKING/GARAGING OF HEAVY COMMERCIAL VEHICLES OR EQUIPMENT. THE SITE HAS BEEN USED FOR BOBCAT OF NH SINCE 2009 BUT NO SITE PLAN APPROVAL WAS OBTAINED AT THAT TIME; SEE REFERENCE PLANS 2 & 3.
- 5.) THE PARCEL IS LOCATED WITHIN FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE OF 0.2% ANNUAL CHANCE OF FLOODPLAIN, AS SHOWN ON THE HILLSBOROUGH COUNTY FLOOD INSURANCE RATE MAP #33011C0508D, EFFECTIVE DATE SEPTEMBER 25, 2009.
- 6.) THE ELEVATION DATUM USED ON THIS PLAN IS NAVD 1988 AND THE HORIZONTAL DATUM IS NAD83 83/11. THE DATUM WERE ESTABLISHED ON SITE BY STATIC GPS OBSERVATIONS.
- 7.) THE UTILITY INFORMATION SHOWN IS BASED ON THE ABOVE GROUND LOCATION OF VISIBLE UTILITIES. THE CONTRACTOR NEEDS TO FIELD VERIFY ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THIS OFFICE DOES NOT GUARANTEE THE LOCATION AND ACCURACY OF THE UTILITY DATA. DIG SAFE SHALL BE CONTACTED 72 HOURS PRIOR TO COMMENCING ANY CONSTRUCTION (811).
- 8.) THE PROPOSED ADDITION WILL BE BUILT ON AN AREA THAT WAS ALREADY IMPERVIOUS SO THERE WILL BE NO CHANGE IN LOT COVERAGE OR INCREASE IN IMPERVIOUS AREA. EXISTING LOT COVERAGE: 34,000 SF OR 47.5% (34,000 / 71,604). ORIGINAL APPROVAL WAS 52% OPEN SPACE (52.5% AS SHOWN ON PLAN).
- 9.) PARKING CALCULATION: INDUSTRIAL USE (CLOSEST FOUND) REQUIRES 1 SPACE/600 SF BLDG OR 0.75 SPACE/EMPLOYEE OF 2 LARGEST SHIFTS. 12 EMPLOYEES = 9 SPACES OR 5,480 SF/600 SF = 9.1 SPACES. USE 10 REQUIRED. 16 SPACES SHOWN.
- 10.) THE EXISTING LIGHTING FIXTURE ARE SHOWN ON THE PLAN. THE EXISTING LIGHTS ON THE WEST SIDE OF THE BUILDING WILL BE RELOCATED ONTO THE NEW ADDITION. NO NEW EXTERIOR LIGHTING IS PROPOSED.

Eagles Nest Estates Subdivision Extension Request

STAFF REPORT

October 18, 2018

SITE: Bush Hill Road - Map 186, Lot 24 Map 194, Lots 9 & 10 Map 195, Lot 1 - SB# 11-18

ZONING: G-1

PURPOSE OF PETITION: To request a one-year extension to the Planning Board approved Subdivision Plan on 08/12/15. Application acceptance & hearing.

PLAN UNDER REVIEW: Open Space Development Eagles Nest Estates, Map 186; Lots 20 – 4 & 24, Map 194; Lots 9 & 10, Map 195; Lot 1 and Map 201; Lot 7, Bush Hill Road, Hudson, NH, prepared by Keach-Nordstrom Associates, Inc. dated: 7 JAN 2015, last revised 20 APR 2105, consisting of Sheets 1 – 101, Sheets L1 – L8, S1 – S5 and Y1 – Y5, together with Notes 1 – 42 on Sheet 2 of 102 (said plans are attached hereto).

ATTACHMENTS:

1. Subdivision Application dated February 9, 2015 - Attachment “A”.
2. Notice of Approval dated August 19, 2015 – Attachment “B”.
3. Waiver request and supporting documentation date-stamped October 17 and October 5, 2018 – Attachment “C”.
4. Letter from Andrew Prolman to Hudson Planning Board dated October 17, 2018 – Attachment “D”.

REQUESTED WAIVERS:

1. HR 276-9, A – Plan and Permit Validity

APPLICATION TRACKING:

- 5 OCT 2018 – Extension request filed.
- 24 OCT 2018 – Public Hearing scheduled.

STAFF COMMENTS:

This open space development was originally approved on August 19, 2015 and received a previous 18-month extension through January 1, 2018. Due to a technicality, staff does not consider this project to be vested and therefore requires an additional extension. Additionally, staff has found that the Applicant was reasonably under the impression that an additional extension would not be required due to a letter authored to them by a previous Planning Director.

Granting the extension will require a waiver from Section 276-9.A of the Hudson Land Use Regulations that states:

“SUBDIVISION and SITE PLANS shall expire one year from the date of PLANNING BOARD meeting final approval or as specified on the permit if substantial development has not occurred unless the permit is extended by majority vote of the BOARD.”

The Planning Board has the authority, both inherent and pursuant to its regulations, to grant a waiver and an extension of its prior approval, and further, the waiver and extension are appropriate in this case since there were no material changes to the Town’s land use regulations which would impact the prior approval. This has been confirmed with the Town’s attorney.

The applicant disagrees with staff finding that an extension is required, however they have agreed to apply for the extension as a compromise to resolve this matter.

DRAFT MOTIONS:

MOTION TO ACCEPT THE APPLICATION:

I move to accept the Subdivision Plan Extension Request for Eagles Nest Estates, Bush Hill Road - Map 186, Lot 24 Map 194, Lots 9 & 10 Map 195, Lot 1.

Motion by: _____ Second: _____ Carried/Failed: _____.

MOTION TO DEFER CONSIDERATION OF THE APPLICATION:

I move to defer further review the Subdivision Plan Extension Request for Eagles Nest Estates, Bush Hill Road - Map 186, Lot 24 Map 194, Lots 9 & 10 Map 195, Lot 1.

Motion by: _____ Second: _____ Carried/Failed: _____.

WAIVER MOTIONS:

- 1) HTC 276-9, A – Plan and Permit Validity.

I move to grant the requested waiver HTC 276-9, A – Plan and Permit Validity based on the testimony of the Applicant’s representative here this evening, the Applicant’s supporting documentations, and in accordance with the language included in the submitted Waiver Request Form.

DRAFT MOTION TO GRANT THE EXTENSION:

I move to grant a one-year extension (i.e., from October 24, 2018 to October 24, 2019) of the subdivision approval for the Eagles Nest Estates Open Space Development Subdivision Plan, located at Bush Hill Road - Map 186, Lot 24 Map 194, Lots 9 & 10 Map 195, Lot 1.

Motion by: _____ Second: _____ Carried/Failed: _____

SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE

Map 186, Lot 24
Map 194, Lot 9&10
Map 195, Lot 1

Date of Application: February 9, 2015 Tax Map # _____ Lot # _____
Name of Project: Eagles Nest Estates
Zoning District: _____ General SB# 11-18
(For Town Use) (For Town Use)
ZBA Action: Wetland Special Exception - 10/23/2014

PROPERTY OWNER:

Name: Eagles Nest Estates, LCC
Address: 21 Continental Boulevard
Address: Merrimack, NH 03054
Telephone # (603) 321-1946
Fax # _____
Email: johngargasz@gmail.com

DEVELOPER:

Name: Eagles Nest Estates, LCC
Address: 21 Continental Boulevard
Address: Merrimack, NH 03054
Telephone # (603) 321-1946
Fax # _____
Email: johngargasz@gmail.com

PROJECT ENGINEER

Name: Keach-Nordstrom Associates, Inc
Address: 10 Commerce park North, Suite 3
Address: Bedford, New Hampshire 03110

Telephone # (603) 627-2881
Fax # (603) 627-2915
Email: jmerritt@keachnordstrom.com

PURPOSE OF PLAN:

Proposed 65 lot open space residential development. Project includes a proposed lot line adjustment between Map 186 Lot 24 and Map 186; Lot 20-4. The newly adjusted Map 186, Lot 24 will be consolidated with Map 194, Lots 9 & 10, Map 195, Lot 1, and Map 201, Lot 7. The consolidated tract will then be subdivided into 65 open space residential lots.

(FOR TOWN USE)

Plan Routing Date: N/A Sub/Site Date: _____

_____ I have no comments _____ I have comments (attach to form)

_____ Title: _____ Date: 10-5-18

(Initials)

DEPT:

_____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning

_____ Consultant _____ Highway Department

Fees Paid \$319.20



**SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: February 9, 2015 Tax Map # 186 Lot # 20-4

Name of Project: Eagles Nest Estates

Zoning District: _____ General SB# _____
(For Town Use) (For Town Use)

ZBA Action: Wetland Special Exception - 10/23/2014

PROPERTY OWNER:

Name: Kelly A. Trudel

Address: 11 Karras Crossing Drive

Address: Hudson, NH 03051

Telephone # (603) 765-2375

Fax # _____

Email: ktrudel@sheehan.com

DEVELOPER:

Eagles Nest Estates, LCC

21 Continental Boulevard

Merrimack, NH 03054

(603) 321-1946

johngargasz@gmail.com

PROJECT ENGINEER

Name: Keach-Nordstrom Associates, Inc.

Address: 10 Commerce Park North, Suite 3

Address: Bedford, New Hampshire 03110

Telephone # (603) 627-2881

Fax # (603) 627-2915

Email: jmerritt@keachnordstrom.com

PURPOSE OF PLAN:

Proposed 65 lot open space residential development. Project includes a proposed lot line adjustment between Map 186 Lot 24 and Map 186; Lot 20-4. The newly adjusted Map 186, Lot 24 will be consolidated with Map 194, Lots 9 & 10, Map 195, Lot 1, and Map 201, Lot 7. The consolidated tract will then be subdivided into 65 open space residential lots.

(FOR TOWN USE)

Plan Routing Date: _____ Sub/Site Date: _____

_____ I have no comments _____ I have comments (attach to form)

_____ Title: _____ Date: _____

(Initials)

DEPT:

_____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning

_____ Consultant _____ Highway Department

Fees Paid _____

**SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: February 9, 2015 Tax Map # 201 Lot # 7

Name of Project: Eagles Nest Estates

Zoning District: _____ General SB# _____
(For Town Use) (For Town Use)

ZBA Action: Wetland Special Exception - 10/23/2014

PROPERTY OWNER:

Green Mountain Partners Realty Trust
Name: Mario & Denyse Plante (trustees)

Address: 9 Old Derry Road

Address: Hudson, NH 03051

Telephone # (603) 235-8065

Fax # _____

Email: mario@saveonwall.com

DEVELOPER:

Eagles Nest Estates, LCC

21 Continental Boulevard

Merrimack, NH 03054

(603) 321-1946

johngargasz@gmail.com

PROJECT ENGINEER

Name: Jeffrey Merritt, PE

Address: Keach Nordstrom Associates, Inc

Address: 10 Commerce Park No. Suite 3 Bedford, NH 03110

Telephone # (603) 627-2881

Fax # (603) 627-2915

Email: jmerritt@keachnordstrom.com

PURPOSE OF PLAN:

Proposed 65 lot open space residential development. Project includes a proposed lot line adjustment between Map 186 Lot 24 and Map 186; Lot 20-4. The newly adjusted Map 186, Lot 24 will be consolidated with Map 194, Lots 9 & 10, Map 195, Lot 1, and Map 201, Lot 7. The consolidated tract will then be subdivided into 65 open space residential lots.

(FOR TOWN USE)

Plan Routing Date: _____ Sub/Site Date: _____
 I have no comments I have comments (attach to form)
 Title: _____ Date: _____

(Initials)

DEPT:

Zoning Engineering Assessor Police Fire Planning
 Consultant Highway Department

Fees Paid _____

PLANNING BOARD

NOTICE TO SUBDIVISION APPLICANTS

The following information is required to be filed with the Community Development Department at the time of subdivision application.

Note: An appointment is required to file applications.

1. One original and one copy of the completed application.
2. Submission of nine (9) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M. Tuesday the week prior to the scheduled public hearing/conceptual review date.
3. Seventeen copies of the project narrative, describing the project.
4. All plans shall be folded and all pertinent data shall be attached to the folded plans with an elastic band.
5. All plan revisions and supporting documentation must be submitted to the Community Development Department no later than 10:00 A.M., Tuesday the week prior to the scheduled Planning meeting.
6. Five (5) 22" x 34" copies of the plan shall be brought to the Planning Board meeting and distributed to the Planning Board members at the meeting.
7. Three sets of mailing labels for abutters notices.

2012 SUBDIVISION APPLICATION FEES

FEE TYPE	AMOUNT	ACCOUNT
Consultant Review	\$1.25 per linear foot of roadway* (including cul-de-sac) \$1,250.00 minimum* *Estimated cost, billing based on actual hours expended multiplied by hourly rates, plus expenses	1350-***
Town General Review Fees/Application Fee Regular Application	\$170.00/lot	GEN 4313
Conceptual Review	\$100.00	GEN 4313
ZBA Input	\$100.00	GEN 4313
Lot Line Relocation	\$340.00 for first two lots \$170.00 for each additional lot	GEN 4313
On Site Signs Advertising	\$15.00 \$40.00 (flat fee)	GEN 4313 GEN 4313
Tax Map Updating	\$30.00/lot + \$25.00 Min. \$85.00 for 2-7 lots Min. \$325.00 for 8 lots or more	1312-505
Postage	USPS Current Rates	GEN 4313
Recording Fees Plan Easements/Agreements	\$24.00/sheet + \$2.00 surcharge \$10.00/first sheet \$4.00 thereafter + \$2.00 surcharge + first class postage (fees dictated by HCRD) \$25.00 Land & Community Heritage Investment Program (LCHIP) fee, please make check payable to HCRD	GEN 4313

LOT AREA CALCULATION TABLE

LOT #	TOTAL AREA	WETLAND AREA	AREA > 25% SLOPE	BUILDABLE AREA (net contiguous upland useable)	FRONTAGE
1.	*See Attached Spreadsheet*				
2.					
3.					
4.					
5.					
6.					
7.					
8.					
9.					
10.					

Data Sheets Checked By: Jeffrey Merritt, P.E. Date: February 9, 2015

PROPOSED LOT AREAS

LOT NUMBER	TOTAL LOT AREA		WETLAND AREA		AREA >25% SLOPE		*BUILDABLE LOT AREA		FRONTAGE FEET
	SF	ACRES	SF	ACRES	SF	ACRES	SF	ACRES	
1	74,345	1.707	12,186	0.280	10,332	0.237	51,827	1.190	164.25
2	118,827	2.728	11,968	0.275	20,496	0.471	86,363	1.983	147.62
3	95,872	2.196	N/A	N/A	46,738	1.073	48,934	1.123	611.84
4	82,342	1.890	N/A	N/A	16,362	0.376	65,981	1.515	109.56
5	72,108	1.655	N/A	N/A	12,234	0.281	59,875	1.375	108.56
6	63,401	1.455	N/A	N/A	7,225	0.166	56,177	1.290	106.27
7	60,203	1.382	864	0.020	3,786	0.087	55,563	1.275	125.15
8	44,103	1.012	N/A	N/A	N/A	N/A	44,103	1.012	216.13
9	43,809	1.006	N/A	N/A	N/A	N/A	43,809	1.006	346.99
10	53,860	1.236	N/A	N/A	9,657	0.222	44,203	1.016	221.21
11	48,510	1.114	N/A	N/A	2,989	0.069	45,521	1.045	545.57
12	49,007	1.125	N/A	N/A	625	0.014	48,383	1.111	242.69
13	44,652	1.026	N/A	N/A	194	0.004	44,458	1.021	253.23
14	44,989	1.033	N/A	N/A	256	0.006	44,733	1.027	298.56
15	72,953	1.675	N/A	N/A	326	0.007	72,627	1.667	100.00
16	63,758	1.464	N/A	N/A	N/A	N/A	63,758	1.464	100.00
17	76,445	1.755	N/A	N/A	6,897	0.158	69,548	1.597	100.00
18	61,750	1.418	4,161	0.096	1,919	0.044	55,670	1.278	189.92
19	61,852	1.420	2,799	0.064	N/A	N/A	59,053	1.356	195.41
20	44,637	1.025	N/A	N/A	603	0.014	44,034	1.011	425.42
21	45,575	1.046	N/A	N/A	N/A	N/A	45,575	1.046	265.71
22	44,039	1.011	N/A	N/A	N/A	N/A	44,039	1.011	163.60
23	69,202	1.589	N/A	N/A	406	0.009	68,796	1.579	100.28
24	65,535	1.504	N/A	N/A	N/A	N/A	65,535	1.504	135.27
25	54,106	1.242	N/A	N/A	906	0.021	53,200	1.221	100.06
26	48,140	1.105	N/A	N/A	524	0.012	47,616	1.083	135.00
27	50,808	1.162	N/A	N/A	1,386	0.032	49,222	1.130	198.87
28	48,983	1.078	996	0.023	548	0.013	45,419	1.043	190.73
29	54,993	1.262	7,116	0.163	N/A	N/A	47,877	1.089	153.83
30	47,144	1.082	N/A	N/A	N/A	N/A	47,144	1.082	125.43
31	43,980	1.010	N/A	N/A	N/A	N/A	43,980	1.010	111.07
32	43,660	1.000	N/A	N/A	N/A	N/A	43,660	1.000	140.39
33	43,560	1.000	N/A	N/A	N/A	N/A	43,560	1.000	162.09
34	43,565	1.000	N/A	N/A	N/A	N/A	43,565	1.000	151.44
35	52,874	1.214	N/A	N/A	589	0.014	52,285	1.200	161.50
36	50,566	1.161	N/A	N/A	N/A	N/A	50,566	1.161	100.00
37	77,403	1.777	N/A	N/A	N/A	N/A	77,403	1.777	100.00
38	61,230	1.406	N/A	N/A	N/A	N/A	61,230	1.406	100.00
39	57,233	1.314	N/A	N/A	1,347	0.031	55,886	1.283	100.00
40	56,296	1.282	N/A	N/A	11,227	0.268	45,070	1.035	100.00
41	44,281	1.017	N/A	N/A	N/A	N/A	44,281	1.017	101.94
42	44,328	1.018	N/A	N/A	N/A	N/A	44,328	1.018	147.09
43	62,006	1.423	2,987	0.069	N/A	N/A	59,019	1.355	173.04
44	55,847	1.282	1,629	0.037	677	0.016	53,540	1.229	205.51
45	48,497	1.113	1,497	0.034	N/A	N/A	47,000	1.079	282.18
46	57,037	1.309	2,858	0.066	618	0.014	53,561	1.230	120.14
47	51,426	1.181	2,384	0.055	N/A	N/A	49,042	1.126	112.96
48	51,323	1.178	2,399	0.055	435	0.010	48,388	1.111	100.00
49	69,225	1.589	17,388	0.399	N/A	N/A	45,290	1.040	133.57
50	55,088	1.265	N/A	N/A	1,246	0.029	53,842	1.236	281.67
51	49,346	1.133	N/A	N/A	N/A	N/A	49,346	1.133	395.50
52	65,733	1.509	N/A	N/A	N/A	N/A	65,733	1.509	138.47
53	53,802	1.235	N/A	N/A	N/A	N/A	53,802	1.235	134.34
54	62,797	1.442	1,030	0.024	N/A	N/A	61,767	1.418	100.00
55	70,464	1.618	4,872	0.112	378	0.009	65,214	1.497	130.00
56	63,026	1.447	N/A	N/A	287	0.007	62,739	1.440	100.00
57	64,158	1.473	N/A	N/A	4,554	0.105	59,604	1.388	100.00
58	66,499	1.527	N/A	N/A	2,957	0.068	63,542	1.459	100.00
59	63,243	1.452	N/A	N/A	N/A	N/A	63,243	1.452	125.01
60	68,614	1.575	N/A	N/A	N/A	N/A	68,614	1.575	211.00
61	64,027	1.470	1,077	0.025	1,134	0.026	61,816	1.419	170.00
62	69,594	1.598	11,533	0.265	N/A	N/A	58,061	1.333	465.33
63	62,295	1.430	N/A	N/A	N/A	N/A	62,295	1.430	199.50
64	170,155	3.908	3,798	0.087	38,964	0.894	127,393	2.925	1243.13
65	110,172	2.529	N/A	N/A	55,291	1.269	54,881	1.260	893.76
MAP 186, LOT 20-4	140,560	3.227	2,731	0.063	14,515	0.381	92,985	2.135	200.00
OPEN SPACE 'A'	4,222,752	96.941	1,101,172	25.279	242,613	5.570	2,878,967	66.092	1,656.23
OPEN SPACE 'B'	90,948	2.09	57,286	1.315	13,644	0.313	20,018	0.459	215.25
OPEN SPACE 'C'	181,005	4.155	24,736	0.568	17,071	0.392	139,198	3.196	562.67
OPEN SPACE 'D'	957,098	22.385	209,473	4.809	160,684	3.850	597,921	13.726	523.12
OPEN SPACE 'E'	1,248,248	28.655	368,387	8.456	80,524	1.848	799,377	18.350	197.67
OPEN SPACE 'F'	83,230	1.910	961	0.022	N/A	0.000	82,269	1.889	12.03

SUBDIVISION PLAN DATA SHEET

Dates/Case #/Description/
 Stipulations of ZBA,
 Conservation Commission,
 NH Wetlands Board Action:

ZBA Special Exception granted on October 23, 2014.

(Attach Stipulations on
 Separate Sheet)

List Permits Required:

NHDES Subdivision Approval, NHDES Alteration of Terrain, NHDES Dredge and Fill,

NPDES Notice of Intent

<u>*Waivers Requested:</u>	<u>Hudson Town Code Reference</u>	<u>Regulation Description</u>
	1. 289-18.B.(2)	Cul-De-Sac Roadway Length
	2. 289-6(D)	Fiscal Impact Study
	3. 289-37	Plan Schedule Form
	4.	
	5.	
	6.	
	7.	

**(Left Column for Town Use)*

	<u>Amount</u>	<u>Account</u>
Impact Fees	School = \$3,578.00/Unit	_____
	Rec = \$400.00/Unit	_____
	_____	_____
Cap Fees	CAP = \$1,554.33/Unit	_____
	_____	_____

Development Agreement
 Proposed:
 If Yes Endorsed

Yes No
 Yes Date _____ No

**APPLICATION FOR SUBDIVISION PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Twenty one (21) days prior to Planning Board Meeting, a complete subdivision plan to include all supporting materials/documents must be submitted in final form. The subdivision plan shall comply with the following specifications/requirements:

Applicant Initials		Staff Initials
<u>JDM</u>	a) Submission of eight (8) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M. Tuesday the week prior to the scheduled public hearing/conceptual review date.	_____
<u>JDM</u>	b) Seventeen (17)-subdivision narratives, describing the project.	_____
<u>JDM</u>	c) Plan scale at not less than one inch equals fifty feet (example: 1" = 50' acceptable).	_____
<u>JDM</u>	d) Locus plan with 1,000 minimum radius of site to surrounding area.	_____
<u>JDM</u>	e) Plan dated by day/month/year.	_____
<u>JDM</u>	f) Revision block.	_____
<u>JDM</u>	g) Planning Board approval block.	_____
<u>JDM</u>	h) Title of project inscribed on plan.	_____
<u>JDM</u>	i) Name(s) and address of property owner(s) and signature(s) shall be inscribed on plan.	_____
<u>JDM</u>	j) North point shall be inscribed on plan.	_____
<u>JDM</u>	k) Property lines-exact locations and dimensions.	_____
<u>JDM</u>	l) Acreage/sq. ft. of entire subdivision.	_____
<u>JDM</u>	m) Proposed lots, with lot numbers and area of each lot. Note: each proposed Lot shall be listed on the plan, in chart form, indicating in square feet/ acreage the total lot area, wetland, slope area greater than 25% and total net contiguous useable upland area.	_____

Applicant Initials		Staff Initials
<u>JDM</u>	n) Certified list of names and addresses of bordering abutters, shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on plan.	_____
<u>JDM</u>	o) Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve area, floodways/floodplains, driveways, travel areas, parking areas, natural features within 200 feet of the tract.	_____
<u>JDM</u>	p) Locations of existing and proposed permanent monuments and benchmarks within 200 feet of the tract.	_____
<u>N/A</u>	q) Pertinent highway projects.	_____
<u>JDM</u>	r) Assessor map and lot number.	_____
<u>JDM</u>	s) Waiver application form shall be submitted with subdivision application, Note on plan listing waivers requested/granted; and all waivers granted to the subdivision regulations shall be listed on the final plan.	_____
<u>JDM</u>	t) Delineate zoning.	_____
<u>JDM</u>	u) Storm water drainage plan.	_____
<u>JDM</u>	v) Topographical contours at 2-foot intervals existing and proposed.	_____
<u>JDM</u>	w) Utilities: existing and proposed.	_____
<u>JDM</u>	x) Building and wetland setback lines.	_____
<u>JDM</u>	y) Rights of way, existing and proposed.	_____
<u>N/A</u>	z) Location of dedicated recreational public use land(s) proposed.	_____
<u>JDM</u>	aa) Detailed designs of bridges and culverts.	_____
<u>JDM</u>	ab) Typical roadway cross-section, road profile, stationing, and curve data, etc.	_____

Applicant Initials			Staff Initials
<u>JDM</u>	ac)	Proposed location of water supply and sewage disposal systems, including perk test data, test-pit logs and locations; wells, (proposed and existing) 75' protective well radii and attached copies of any required well protection easements.	_____
<u>JDM</u>	ad)	All notes from plats.	_____
<u>JDM</u>	ae)	Buffers as required by subdivision regulations.	_____
<u>JDM</u>	af)	Soil types and boundaries, Note: If site contains marginal or questionable soils, a High Intensity Soil Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire Certified Soil Scientist, who shall affix his/her stamp and signature and this shall be inscribed on the plan.	_____
<u>JDM</u>	ag)	Wetlands (and poorly-drained and very poorly-drained soils), also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire Certified Wetland or Soil Scientist, who shall affix his/her stamp and signature to the respective plan.	_____
<u>JDM</u>	ah)	Easements, existing and proposed.	_____
<u>JDM</u>	ai)	State of New Hampshire Engineer's seal and signature. Surveyor's seal and signature.	_____
<u>JDM</u>	aj)	Error of closure (1 in 10,000 or better).	_____
<u>JDM</u>	ak)	Drafting errors/omissions.	_____
<u>JDM</u>	al)	Note outlining phasing schedule.	_____
<u>JDM</u>	am)	Narrative description stating the purpose, location, long range plans impacts on traffic, schools, and utilities.	_____
<u>JDM</u>	an)	Aerial photograph of site and area within 200 feet of the subdivision parcel.	_____
<u>W</u>	ao)	Fiscal impact study.	_____
<u>JDM</u>	ap)	Traffic study.	_____
<u>JDM</u>	aq)	Drainage calculations and supporting data.	_____

Applicant
Initials

Staff
Initials

JDM ar) Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents. _____

JDM as) Copy of applicable town, state, federal approval/permits to include but not limited to the following: _____

- sewer applications
- flood plain permit
- X - wetlands special exception
- variance
- erosion control permit (149:8a)
- X - WSPCC subdivision approval (septic)
- X - dredge and fill permit
- curb cut/driveway permit
- shore land protection certification in accordance with RSA483-B.
- if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.
- X - NHDES AOT

N/A at) Off-site agreement(s). _____

JDM au) Presentation plan (colored, with color-coded bar chart). _____

JDM av) Fees paid to clerk. _____

JDM aw) Plans that include relocation of lot lines shall clearly delineate the former (old) lot lines from proposed (new) lot lines. _____

- Any or all items may be waived under the purview of the Planning Board.

**APPLICATION FOR SUBDIVISION PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Subdivision Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Subdivision Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s), by the filing of this application as indicated above, hereby give permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and inspections conducted on his (their) property in connection with this applications.

Signature of Owner:  _____

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer:  _____

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

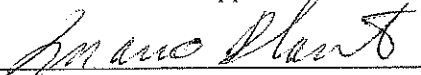
Technical Review Signature: _____

Planner Approval Signature: _____

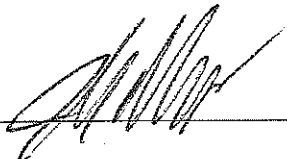
**APPLICATION FOR SUBDIVISION PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

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Signature of Owner: 

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: 

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.


Technical Review Signature: _____

Planner Approval Signature: _____

**APPLICATION FOR SUBDIVISION PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Subdivision Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Subdivision Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s), by the filing of this application as indicated above, hereby give permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and inspections conducted on his (their) property in connection with this applications.

Signature of Owner: _____


- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: _____


- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

Technical Review Signature: _____

Planner Approval Signature: _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: **Eagles Nest Estates**

Street Address: **Bush Hill Road, Franklin Street, Proposed Standish Lane, Proposed Warren Road**

Eagles Nest Estates, LLC hereby request that the Planning Board waiver the requirements of item **HTC 289-6 (D) (Fiscal Impact Study)** of the Subdivision/Site Plan Checklist in reference to a plan presented by **Keach-Nordstrom Associates** dated **January 7, 2015** for property **Tax Map 186, Lots 20-4 and 24; Map 194 Lots 9 and 10; Map 195 Lot 1, and Map 201, Lot 7**, in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The costs and delay to the Applicant are an unnecessary hardship for a report that will have little if any impact to the Board's review of the application.

Reason(s) for granting this waiver, relative to not being contrary to the spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attached the appropriate documentation hereto):

The Applicant will pay its fair share of costs to the Town through the impact fees. The impact fees (school, CAP & Rec) are approximately $\$5,400 \times 65 = \$351,000$.

Eagles Nest Estates, LLC



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: **Eagles Nest Estates**

Street Address: **Bush Hill Road, Franklin Street, Proposed Standish Lane, Proposed Warren Road**

Eagles Nest Estates, LLC hereby request that the Planning Board waive the requirements of item **HTC 289-18.B (2) (Cul-de-sac length)** of the Subdivision/Site Plan Checklist in reference to a plan presented by **Keach-Nordstrom Associates** dated **January 7, 2015** for property **Tax Map 186, Lots 20-4 and 24; Map 194 Lots 9 and 10; Map 195 Lot 1, and Map 201, Lot 7**, in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

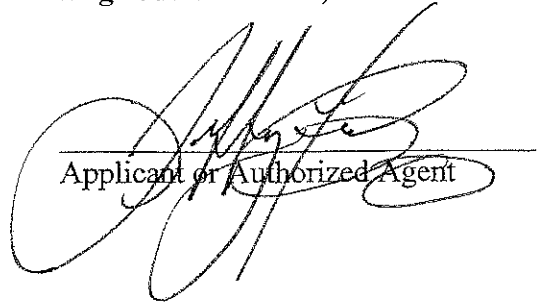
Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The Kara's Crossing Drive and Hawkview Road residents understandably oppose full street access through their neighborhoods. The hardship to the applicant is that the property cannot be developed without some connection to either Kara's Crossing Drive or Hawkview Road.

Reason(s) for granting this waiver, relative to not being contrary to the spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attached the appropriate documentation hereto):

- **Working with the Hudson Fire Department, the Applicant proposes a solution to satisfy the Town's life safety concerns (the purpose of the 1000' regulation) and the abutting neighborhoods.**
- **The Hudson Fire Department supports our proposal because it greatly reduces their response time from the Burns Hill Road Station to the Gibson Road and Hawkview Road neighborhoods.**
- **Two gated emergency access roads are provided – one to Kara's Crossing Drive and one to Hawkview Road. The gates will be radio controlled only accessible by the Hudson Fire, Police, and Public Works Departments.**
- **Five cisterns are included with the project.**

Eagles Nest Estates, LLC



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: **Eagles Nest Estates**

Street Address: **Bush Hill Road, Franklin Street, Proposed Standish Lane, Proposed Warren Road**

Eagles Nest Estates, LLC hereby request that the Planning Board waiver the requirements of item **HTC 289-37 (Plan Schedule)** of the Subdivision/Site Plan Checklist in reference to a plan presented by **Keach-Nordstrom Associates** dated **January 7, 2015** for property **Tax Map 186, Lots 20-4 and 24; Map 194 Lots 9 and 10; Map 195 Lot 1, and Map 201, Lot 7**, in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

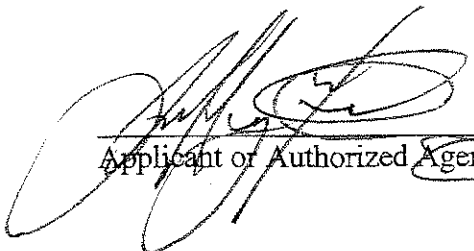
Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

HTC 289-37 would require a five year built out of the project. The hardships to the applicant are (i) the long carrying costs of the project infrastructure with an artificial delay of return on investment; and (ii) the risk of losing the current positive economic cycle. We suggest the market should dictate the pace of development.

Reason(s) for granting this waiver, relative to not being contrary to the spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attached the appropriate documentation hereto):

- **A quicker build out will reduce the duration of construction for the first lots of the project.**
- **Town services will not be adversely affected.**
- **Applicant respectfully requests a three phase build out as described in the "Phasing Notes" on sheet 2 of the Plans.**

Eagles Nest Estates, LLC



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

**APPLICATION FOR SUBDIVISION PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

SCHEDULE OF FEES

A. REVIEW FEES

1. \$170.00 per lot 65 Lots * \$170 = \$11,050.00 \$ ~~11,050.00~~ N/A

2. Consultant review fee:(separate check)
 Linear feet of roadway (including cul-de-sac).
 Length of roadway 9,311 feet, @ \$1.25 per linear foot or \$1,250.00, whichever is greater.
*This is an estimate for the cost of consultant review. The fee is expected to cover the amount.
 A complex project may require additional funds. A simple project may result in a refund.*
 (\$1500 for Traffic Study Review) \$ ~~11,638.75~~ + \$1,500
 = \$13,138.75 N/A

Legal Fees.

The applicant shall be charged attorney costs billed to the Town for Town's attorney review of any application plan set documents. \$ _____

3. Conceptual Review Only - \$100.00 \$ _____

4. ZBA Input Only - \$100.00 \$ _____

Extension Fees

B. POSTAGE

Current "certified mail" postage rate per abutter to proposed site plan and current first class postage rate per property owner within 200 feet of proposed site plan.

41 ~~46~~ abutters @ ~~\$3.56~~ ^{6.70} (certified mail) (includes 4 professionals) \$ ~~163.76~~ ^{274.70}
 9 ~~7~~ property owners within 200 feet @ ~~\$46~~ (first class) \$ ~~322~~ ^{4.50}

C. ON SITE SIGNS

\$ ~~15.00~~ N/A

D. ADVERTISING

(PUBLIC NOTICE) For all subdivisions

\$ 40.00

E. TAX MAP UPDATE FEE

2 to 7 lots (# of lots x \$30.00) + \$25.00 (min. \$85.00)

\$ _____
\$ ~~1975.00~~ N/A

8 lots or more (min. \$325.00) (65 lots*\$30)+\$25=\$1975

TOTAL

\$ ~~26,385.73~~ ^{319.20}

Check 1 = \$13,138.75

Check 2 = \$13,246.98

check # 15202

**APPLICATION FOR SUBDIVISION PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

**SCHEDULE OF FEES
(CONTINUED)**

AMOUNT DUE	\$ <u>319.20</u>	DATE RECEIVED	<u>10/5/18</u>
AMOUNT RECEIVED	\$ <u>319.20</u>	RECEIPT NO.	<u>523,867</u>
		RECEIVED BY	<u>TRACY G.</u>

F. RECORDING FEES

The applicant shall pay the costs of recording the final plan layout prior to final subdivision recording, in accordance with fees established by the County.

Recording of Plan	@ \$24.00/sheet	\$ _____
	+ \$2.00/surcharge/Plan	
Land & Community Heritage Investment Program (LCHIP) fee \$25.00		\$ _____
Easements/Agreements (if applicable)	@ \$10.00/first sheet	\$ _____
	@ 4.00/each sheet thereafter	\$ _____
	+ \$2.00/surcharge/doc.	\$ _____
	+ first class return postage rate	\$ _____
TOTAL		\$ _____

PLEASE NOTE: Recording fees shall be computed when plans are finalized for recording. The applicant must pay recording fees prior to recording.

The applicant shall be responsible for all fees incurred by the Town for processing and review of the applicant's application, plan, and related materials. All such fees must be paid prior to recording.

G. COST ALLOCATION PROCEDURE AMOUNT CONTRIBUTION AND OTHER IMPACT FEE PAYMENTS

To be determined by vote of the Planning Board and paid by the applicant at the time of submittal of the Certificate of Occupancy Permit request, subject to annual inflation as permitted by the impact fee methodology.

LIST OF ABUTTERS

List of all the names and addresses of the owner(s) of record of the property and abutters, as of the time of the last assessment for taxation made by the concerned property by a street(s), public land(s) or stream(s) up to distance of 200 feet from subject tract.

I. ADJACENT PROPERTY OWNERS

MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____

II. PROPERTY OWNERS WITHIN 200 FEET

MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____
MAP _____	LOT _____	NAME _____	ADDRESS _____



**TOWN OF HUDSON
PLANNING BOARD**

APPLICANT NOTIFICATION



12 School Street

Hudson, New Hampshire 03051

603/886-6008

DATE: OCTOBER 12, 2018

**SUBJECT: EAGLES NEST ESTATES (EXTENSION) – SB# 11-18
PURPOSE OF PLAN: TO REQUEST A ONE-YEAR EXTENSION TO
THE PLANNING BOARD APPROVED SUBDIVISION. APPLICATION
ACCEPTANCE & HEARING.**

**LOCATION: BUSH HILL ROAD – MAP 186/LOT 24
MAP 194/LOTS 9 & 10
MAP 195/LOT 1**

NOTICE OF A PUBLIC HEARING ON THE SUBJECT PLAT

YOU ARE HEREBY NOTIFIED OF THE SUBJECT PLAT THAT WILL BE PRESENTED BEFORE THE PLANNING BOARD FOR REVIEW AND/OR ACTION ON WEDNESDAY, OCTOBER 24, 2018 AT 7:00 P.M., TOWN HALL, 12 SCHOOL STREET, HUDSON, NH.

**OWNER OR APPLICANT: EAGLES NEST ESTATES, LLC
1 POWDERHORN DRIVE
PELHAM, NH 03076**

PLEASE BE ADVISED, THE ABOVE NOTICE IS BEING SENT TO ALL ABUTTERS LISTED ON THE APPLICATION. YOU, OR A REPRESENTATIVE, ARE EXPECTED TO ATTEND THE MEETING, AND MAKE A PRESENTATION.

RESPECTFULLY,

BRIAN GROTH
TOWN PLANNER



**TOWN OF HUDSON
PLANNING BOARD**

ABUTTER NOTIFICATION



12 School Street

Hudson, New Hampshire 03051

603/886-6008

DATE: OCTOBER 12, 2018

**SUBJECT: EAGLES NEST ESTATES (EXTENSION) – SB# 11-18
PURPOSE OF PLAN: TO REQUEST A ONE-YEAR EXTENSION TO
THE PLANNING BOARD APPROVED SUBDIVISION. APPLICATION
ACCEPTANCE & HEARING.**

**LOCATION: BUSH HILL ROAD – MAP 186/LOT 24
 MAP 194/LOTS 9 & 10
 MAP 195/LOT 1**

NOTICE OF A PUBLIC HEARING ON THE SUBJECT PLAT

YOU ARE HEREBY NOTIFIED OF THE SUBJECT PLAT THAT WILL BE PRESENTED BEFORE THE PLANNING BOARD FOR REVIEW AND/OR ACTION ON WEDNESDAY, OCTOBER 24, 2018 AT 7:00 P.M., TOWN HALL, 12 SCHOOL STREET, HUDSON, NH.

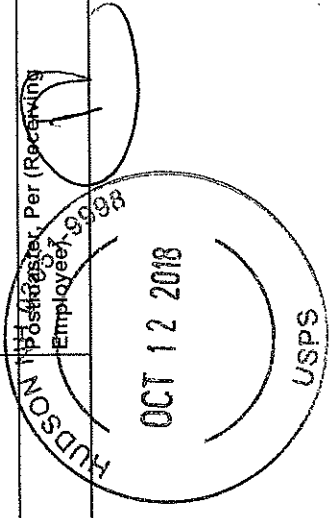
**OWNER OR APPLICANT: EAGLES NEST ESTATES, LLC
 1 POWDERHORN DRIVE
 PELHAM, NH 03076**

PLEASE BE ADVISED, THIS NOTICE IS FOR YOUR INFORMATION ONLY. YOUR ATTENDANCE IS NOT REQUIRED; HOWEVER, YOU MAY ATTEND THIS MEETING FOR THE PURPOSE OF PLACING YOUR COMMENTS ON ANY ACTION PROPOSED ON THIS PLAT.

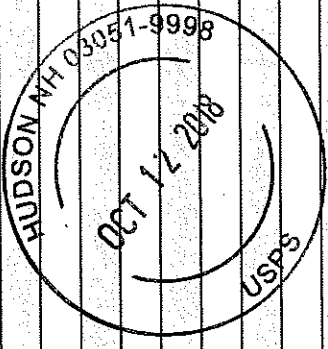
RESPECTFULLY,

BRIAN GROTH
TOWN PLANNER

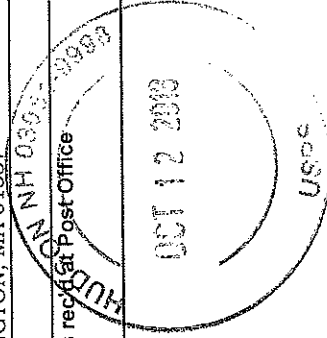
SENDER:	TOWN OF HUDSON 12 SCHOOL STREET HUDSON, NH 03051	US POSTAL SERVICE - CERTIFIED MAIL	EAGLES NEST ESTATES, LLC (1 YR EXTENSION) SB# 11-18, Map 186/Lot 24, Map 194/Lots 9&10, Map 195/Lot 1 - ABUTTERS NOTICES
ARTICLE NUMBER	Name of Addressee, Street, and post office address	Name of Addressee, Street, and post office address	OWNER/APPLICANT
1	7015 3430 0000 7596 5395	EAGLES NEST ESTATES, LLC	10/24/2018
2	7015 3430 0000 7596 5371	1 POWDERHORN DR, PELHAM NH 03076 KELLY A. TRUDEL	
3	7015 3430 0000 7596 5487	11 KARA'S CROSSING DR, HUDSON NH 03051 MARIO & DENYSE PLANTE, TRUSTEE	
4	7015 3430 0000 7596 5494	9 OLD DERRY RD, HUDSON NH 03051 RENALD & MADELINE DAIGLE	
5	7015 3430 0000 7596 5500	119 KIMBALL HILL RD, HUDSON NH 03051 THOMAS P. & SUSAN L. DUVAL	
6	7015 3430 0000 7596 5517	60 SPEARE RD, HUDSON NH 03051 RONALD A. & CARLA A. FRASER	
7	7015 3430 0000 7596 5524	64 SPEARE RD, HUDSON NH 03051 SHARON M. BAILEY	
8	7015 3430 0000 7596 5531	5 KARA'S CROSSING DR, HUDSON NH 03051 ANTHONY J. & LEAH D. MICHAUD	
9	7015 3430 0000 7596 5548	7 KARA'S CROSSING DR, HUDSON NH 03051 ROGER J. & PAULA M. HUBERT	
10	7015 3430 0000 7596 5555	9 KARA'S CROSSING DR, HUDSON NH 03051 HAROLD & PAMELA LALMOND, TRUSTEES	
		10 KARA'S CROSSING DR, HUDSON NH 03051	
	Total Number of pieces listed by sender 10	Total number of pieces rec'd at Post Office	Total number of pieces registered Per (Receiving Employee) 9998



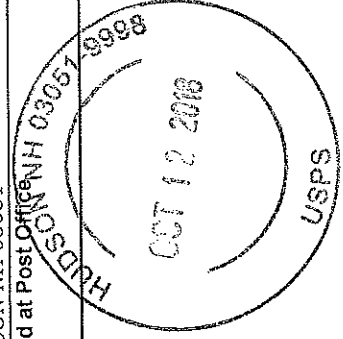
SENDER:	TOWN OF HUDSON 12 SCHOOL STREET HUDSON, NH 03051	US POSTAL SERVICE - CERTIFIED MAIL	EAGLES NEST ESTATES, LLC (1 YR EXTENSION) SB# 11-18, Map 186/Lot 24, Map 194/Lots 9&10, Map 195/Lot 1 - ABUTTERS NOTICES
ARTICLE NUMBER	Name of Addressee, Street, and post office address	Name of Addressee, Street, and post office address	10/24/2018
1	7015 3430 0000 7596 5562	SALEOTINO & JEANNE SANTOS	
2	7015 3430 0000 7596 5579	69B SPEARE RD, HUDSON NH 03051 IRENE M. & JOHN A. BYRNE	
3	7015 3430 0000 7596 5586	PO BOX 148, HARVARD, MA 01451 ROBERT J. & JANICE E. WESSON	
4	7015 3430 0000 7596 5593	65 A SPEARE RD, HUDSON NH 03051 ALLEN K. PECK	
5	7015 3430 0000 7596 5609	63 A SPEARE RD, HUDSON NH 03051 STEVEN J. DUCHESNE	
6	7015 3430 0000 7596 5616	63 B SPEARE RD, HUDSON NH 03051 JOSEPH R. & ALINE T. BOUTIN	
7	7015 3430 0000 7596 5623	61 SPEARE RD, HUDSON NH 03051 DIANA M. TRUITT	
8	7015 3430 0000 7596 5630	12 HAWKVIEW RD, HUDSON NH 03051 SANDY SILVA	
9	7015 3430 0000 7596 5647	14 HAWKVIEW RD, HUDSON NH 03051 EDWARD C. & VELINDA S. JONSON	
10	7015 3430 0000 7596 5654	16 HAWKVIEW RD, HUDSON NH 03051 RAYMOND C. & COLLEEN M. LAFORTUNE	
		18 HAWKVIEW RD, HUDSON NH 03051	
	Total Number of pieces listed by sender 10	Total number of pieces rec'd at Post Office <i>10 Paula Argella</i>	Postmaster, Per (Receiving Employee)



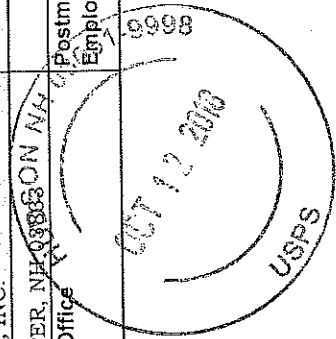
SENDER:	TOWN OF HUDSON 12 SCHOOL STREET HUDSON, NH 03051	US POSTAL SERVICE - CERTIFIED MAIL	EAGLES NEST ESTATES, LLC (1 YR EXTENSION) SB# 11-18, Map 186/Lot 24, Map 194/Lots 9&10, Map 195/Lot 1 - ABUTTERS NOTICES
ARTICLE NUMBER	Name of Addressee, Street, and post office address	Name of Addressee, Street, and post office address	10/24/2018
7015 3430 0000 7596 5661	KENNETH S. JR. & NICOLE M. WILDE	KENNETH S. JR. & NICOLE M. WILDE	
7015 3430 0000 7596 5678	FRANCIS C. & CHRISTINE M. CAPRIO	20 HAWKVIEW RD, HUDSON NH 03051	
7015 3430 0000 7596 5685	PAUL M. BEACH	22 HAWKVIEW RD, HUDSON NH 03051	
7015 3430 0000 7596 5692	ADAM J. & AMBER M. THISTLE	25 HAWKVIEW RD, HUDSON NH 03051	
7015 3430 0000 7596 5708	DAVID J. SMITH	23 HAWKVIEW RD, HUDSON NH 03051	
7015 3430 0000 7596 5715	LESLIE & JENNIFER L. SIBLEY	21 HAWKVIEW RD, HUDSON NH 03051	
7015 3430 0000 7596 5722	MALENDA ANDERSON & KEITH ZAJAC	17 HAWKVIEW RD, HUDSON NH 03051	
7015 3430 0000 7596 5739	MARILYN M. SMITH	12 KARA'S CROSSING DR, HUDSON NH 03051	
7015 3430 0000 7596 5746	STATE OF NH DEPT. OF TRANSPORTATION	14 KARA'S CROSSING RD, HUDSON NH 03051	
7015 3430 0000 7596 5753	GEORGE H. WHITE	PO BOX 483, 1 HAZEN DR., ROOM 204, CONCORD NH 03302	
	2 CEDAR ST., WILMINGTON, MA 01887	GEORGE H. WHITE	
Total Number of pieces listed by sender	10	Total number of pieces received at Post Office	Postmaster, Per (Receiving Employee)



SENDER:		TOWN OF HUDSON 12 SCHOOL STREET HUDSON, NH 03051	US POSTAL SERVICE - CERTIFIED MAIL		EAGLES NEST ESTATES, LLC (1 YR EXTENSION) SB# 11-18, Map 186/Lot 24, Map 194/Lots 9&10, Map 195/Lot 1 - ABUTTERS NOTICES
ARTICLE NUMBER		Name of Addressee, Street, and post office address			10/24/2018
1	7015 3430 0000 7596 5760	RICHARD G. & MARY BOYLE PO BOX 399, TYNGSBORO, MA 01879			
2	7015 3430 0000 7596 5777	KAY E. NASH 175 A BUSH HILL RD, HUDSON NH 03051			
3	7015 3430 0000 7596 5784	THOMAS E. & KATHERINE V. SMITH 3 GIBSON RD, HUDSON NH 03051			
4	7015 3430 0000 7596 5791	SUSAN BERGERON 35 CAR MAR LANE, SALEM NH 03079			
5	7015 3430 0000 7596 5807	BARBARA K. BOUCHER 55 GIBSON RD, HUDSON NH 03051			
6	7015 3430 0000 7596 5814	PUBLIC SERVICE OF NH & DBA: EVERSOURCE ENERGY PO BOX 270, HARTFORD, CT 06141			
7	7015 3430 0000 7596 5821	CHARLOTTE COHEN & TIMOTHY D. SMITH 101 BUSH HILL RD, HUDSON NH 03051			
8	7015 3430 0000 7596 5838	STEVEN PLANTE & MARIE-CLAUDE POULIN 110 BUSH HILL RD, HUDSON NH 03051			
9	7015 3430 0000 7596 5845	JESSICA DAWN BERGERON SEELEY 5 OCEAN BREEZE, YORK, ME 03909			
10	7015 3430 0000 7596 5852	JAMES G. & KATHLEEN E. MILLS 118 BUSH HILL RD, HUDSON NH 03051			
11		JAMES G. MILLS			
	7016 3010 0000 6167 0431	118 BUSH HILL RD, HUDSON NH 03051			
	Total Number of pieces listed by sender	Total number of pieces rec'd at Post Office			Postmaster, Per (Receiving Employee) <i>PH</i>
	11	HUDSON NH 03051 10/24/2018			



SENDER:	TOWN OF HUDSON 12 SCHOOL STREET HUDSON, NH 03051	US POSTAL SERVICE - FIRST CLASS MAIL	EAGLES NEST ESTATES, LLC (1 YR EXTENSION) SB# 11-18, Map 186/Lot 24, Map 194/Lots 9&10, Map 195/Lot 1 - ABUTTERS NOTICES
ARTICLE NUMBER	Name of Addressee, Street, and post office address		10/24/2018
1	JAMES G. & SHARON ANN ANGOTTI		
2	8 KARA'S CROSSING DR., HUDSON, NH 03051		
3	ELAINE L. & DONALD J. TREMBLAY		
4	19 HAWKVIEW ROAD., HUDSON, NH 03051		
5	ROBERT A. & NATALYA A. FRASER		
6	2 KESTRAL LANE, HUDSON, NH 03051		
7	JULIE A. CONNOLLY		
8	4 KESTRAL LANE, HUDSON, NH 03051		
9	KENNETH A. BOUCHER		
10	45 GIBSON ROAD, HUDSON, NH 03051		
11	PETER Q. NASH		
12	91 AMHERST STREET, NASHUA, NH 03064		
13	TOWN OF HUDSON		
14	12 SCHOOL STREET, HUDSON, NH 03051		
15	KEACH-NORDSTROM ASSOCIATES INC.		
16	10 COMMERCE PARK NORTH, SUITE 3, BEDORD, NH 03110		
17	PRUNIER & PROLMAN, P.A.		
18	20 TRAFALGAR SQUARE, SUITE 626, NASHUA, NH 03063		
19	GREENMAN-PEDERSEN, INC., ATTN:HEATHER MONTICUP, P.E.		
20	181 BALLARDVALE ST., SUITE 202, WILMINGTON, MA 01887		
21	GOVE ENVIRONMENTAL SERVICES, INC.		
22	8 CONTINENTAL DR., UNIT H, EXETER, NH 03038		
Total Number of pieces listed by sender	11		Postmaster, Per (Receiving Employee) <i>PFF</i>



Abutters List
Hawkview Subdivision
Hudson, NH
KNA#11-0202-1
Updated 10-04-18

Tax Map	Lot(s)	Owners
186	20-4	Kelly A. Trudel 11 Kara's Crossing Drive Hudson, NH 03051
201	7	Mario Plante, Trustee Denyse Plante, Trustee 9 Old Derry Road Hudson, NH 03051
186	24	Owner/Applicant Eagles Nest Estates, LLC 1 Powderhorn Drive Pelham, NH 03076
194	10	
195	1	
194	9	
Tax Map	Lot(s)	Direct Abutters
179	39	Renald & Madeline Daigle 119 Kimball Hill Road Hudson, NH 03051
186	15	Thomas P. & Susan L. Duval 60 Speare Road Hudson, NH 03051
186	16	Ronald A. & Carla A. Fraser 64 Speare Road Hudson, NH 03051
186	20-1	Sharon M. Bailey 5 Kara's Crossing Drive Hudson, NH 03051
186	20-2	Anthony J. & Leah D. Michaud 7 Kara's Crossing Drive Hudson, NH 03051
186	20-3	Roger J. & Paula M. Hubert 9 Kara's Crossing Drive Hudson, NH 03051

186	20-8	Harold J. Lalmond, Trustee Pamela J. Lalmond, Trustee 10 Kara's Crossing Drive Hudson, NH 03051
186	21	Saleotino & Jeanne Santos 69B Speare Road Hudson, NH 03051
186	22	Irene M. & John A. Byrne PO Box 148 Harvard, MA 01451
186	23	Robert J. & Janice E. Wesson 65A Speare Road Hudson, NH 03051
186	25-1	Allen K. Peck 63A Speare Road Hudson, NH 03051
186	25-2	Steven J. Duchesne 63B Speare Road Hudson, NH 03051
186	26	Joseph R. & Aline T. Boutin 61 Speare Road Hudson, NH 03051
187	4	Diana M. Truitt 12 Hawkview Road Hudson, NH 03051
187	5	Sandy Silva 14 Hawkview Road Hudson, NH 03051
187	6	Edward C. & Velinda S. Jonson 16 Hawkview Road Hudson, NH 03051
187	7	Raymond C. & Colleen M. Lafortune 18 Hawkview Road Hudson, NH 03051

194	8	Kay E. Nash 175A Bush Hill Road Hudson, NH 03051
195	2	Thomas E. & Katherine V. Smith 3 Gibson Road Hudson, NH 03051
195	3	Susan Bergeron 35 Car Mar Lane Salem, NH 03079
195	4	Barbara K. Boucher 55 Gibson Road Hudson, NH 03051
195	5	Public Service of NH & DBA: Eversource Energy PO Box 270 Hartford, CT 06141
201	4 & 6	Charlotte Cohen Timothy D. Smith 101 Bush Hill Road Hudson, NH 03051
201	8	Steven Plante Marie-Claude Poulin 110 Bush Hill Road Hudson, NH 03051
201	10	Jessica Dawn Bergeron Seeley 5 Ocean Breeze York, ME 03909
201	11	James G. & Kathleen E. Mills 118 Bush Hill Road Hudson, NH 03051
201	12	James G. Mills 118 Bush Hill Road Hudson, NH 03051

Tax Map	Lot	Indirect Abutters
186	20-7	James G. & Sharon Ann Angotti 8 Kara's Crossing Drive Hudson, NH 03051
187	13	Elaine L. & Donald J. Tremblay 19 Hawkview Road Hudson, NH 03051
187	15	Robert A. & Natalya A. Fraser 2 Kestral Lane Hudson, NH 03051
187	16	Julie A. Connolly 4 Kestral Lane Hudson, NH 03051
195	7	Kenneth A. Boucher 45 Gibson Road Hudson, NH 03051
201	5	Peter Q. Nash 91 Amherst Street Nashua, NH 03064
201	9	Town of Hudson 12 School Street Hudson, NH 03051

Professionals to be notified:

Engineer/Surveyor

Keach-Nordstrom Associates Inc.
10 Commerce Park North, Suite 3
Bedford, NH 03110

Attorney

Prunier & Prolman, P.A.
20 Trafalgar Square
Suite 626
Nashua, NH 03063

Traffic Consultant

Greenman-Pedersen, Inc.

Attn: Heather Monticup, P.E.

181 Bollardvale Street, Suite 202

Wilmington, MA 01887

Wetland/Soil Scientist

Gove Environmental Services, Inc.

8 Continental Drive, Unit H

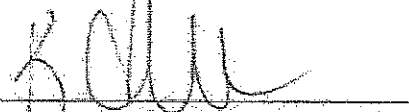
Exeter, NH 03833



Owner Affidavit

Kelly A. Trudel, owner of the property referenced on Tax Map 186; Lot 20-4, located on Kara's Crossing Drive in Hudson, New Hampshire, hereby verify that I authorize Keach-Nordstrom Associates, Inc. (KNA) to prepare, submit and represent, on my behalf, throughout the federal, state and municipal application process.

Signature of Landowner:



Printed Name of Landowner:

Kelly Trudel

Address of Owner:

11 Kara's Crossing Dr.
Hudson NH 05051

Date:

1/8/15



KEACH-NORDSTROM ASSOCIATES, INC.

KNA Project No. 11-0202-1

Owner Affidavit

Eagles Nest Estates, LLC, applicant and owner of the properties referenced on Tax Map 186; Lots 20-4 & 24, Map 194; Lot 10, and Map 195; Lot 1, located at White Service Road and Kara's Crossing Drive in Hudson, New Hampshire, hereby verify that I authorize Keach-Nordstrom Associates, Inc. (KNA) to prepare, submit and represent, on my behalf, throughout the federal, state and municipal application process.

Signature of Landowner:

Printed Name of Landowner:

JOHN GARGASZ

Address of Owner:

21 Continental PLVD

Merrimack NH 03054

Date:

7/29/14



KEACH-NORDSTROM ASSOCIATES, INC.

KNA Project No. 07-0511-4A

Owner Affidavit

Green Mountain Partners Realty Trust, owner of the property referenced on Tax Map 201; Lot 7, located on Bush Hill Road in Hudson, New Hampshire, hereby verify that I authorize Keach-Nordstrom Associates, Inc. (KNA) to prepare, submit and represent, on my behalf, throughout the federal, state and municipal application process.

Signature of Landowner:

Denyse Plante

Printed Name of Landowner:

Denyse Plante
DENYSE PLANTE

Address of Owner:

9 OLD DERRY RD
Hudson n.h.

Date:

07-31-2014

TOWN OF HUDSON
PLANNING BOARD

NOTICE OF APPROVAL



12 School Street

Hudson, New Hampshire 03051

603/886-6005



August 19, 2015

Owner or Applicant: Eagles Nest Estates, LCC
21 Continental Boulevard
Merrimack, NH 03054

On Wednesday, August 12, 2015, the Hudson Planning Board heard subject case SP# 02-15 "Eagles Nest Estates"

SUBJECT: PURPOSE OF PLAN: PROPOSED 66-LOT OPEN SPACE RESIDENTIAL DEVELOPMENT. PROJECT INCLUDES A PROPOSED LOT-LINE ADJUSTMENT BETWEEN MAP 186, LOT 24 AND MAP 186; LOT 20-4. THE NEWLY ADJUSTED MAP 186, LOT 24 WILL BE CONSOLIDATED WITH MAP 194, LOTS 9 & 10, MAP 195, LOT 1, AND MAP 201, LOT 7. THE CONSOLIDATED TRACT WILL THEN BE SUBDIVIDED INTO 66 OPEN-SPACE RESIDENTIAL LOTS. DEFERRED DATE SPECIFIC FROM THE JULY 8, 2015 PLANNING BOARD MEETING.

LOCATION: BUSH HILL ROAD- MAP 186/LOT 24
MAP 194/LOTS 9 & 10
MAP 195/LOT 1

You are hereby notified of the subject plat presented before the Planning Board and the following action:

The Planning Board moved to approve the subdivision plan entitled: Open Space Development Eagles Nest Estates, Map 186; Lots 20 - 4 & 24, Map 194; Lots 9 & 10, Map 195; Lot 1 and Map 201; Lot 7, Bush Hill Road, Hudson, NH, prepared by Keach-Nordstrom Associates, Inc. dated: 7 JAN 2015, last revised 27 JUL 2105, consisting of Sheets 1 - 102, Sheets L1 - L8, S1 - S5 and Y1 - Y5, together with Notes 1 - 44 on Sheet 2 of 102, in accordance with the following terms and conditions:

1. All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the above Subdivision Plan-of-Record (hereafter referred to as the Plan).
2. Prior to Planning Board endorsement of the Plan, Town Counsel shall favorably recommend on the Development Agreement, as well as all

drainage, open space, slope, sight distance, association and cistern easements and their respective deeds.

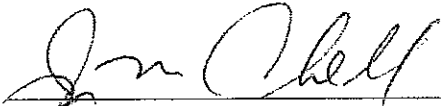
3. A CAP amount of \$892.01, per residential unit, shall be paid prior to the issuance of a Certificate of Occupancy.
4. A public school impact fee in the amount of \$3,578.00, per residential unit, shall be paid prior to the issuance of a Certificate of Occupancy.
5. A recreation contribution in the amount of \$400.00, per residential unit, shall be paid prior to the issuance of a Certificate of Occupancy.
6. This approval is subject to final engineering review, including NH DOT's approval of the construction plans for White Service Road.
7. Maintenance of the onsite drainage system shall be constructed and maintained in compliance with local and NHDES requirements for such systems, and the perpetual maintenance of the storm water treatment structures and treatment and retention basins outside of the ROW, shall be the responsibility of the future homeowner's association comprised of all the homeowners within this subdivision.
8. The number of dwelling lots for this subdivision shall be limited to 67.
9. If lot development involves blasting and/or ramming of bedrock materials, said activities shall be limited to the hours between 7:00 A.M. and 5:00 P.M. Monday through Friday only. Said blasting/ramming activities shall be prohibited on Saturday and Sunday.
10. Construction activities involving the proposed undeveloped lots shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Friday. No construction activities shall occur on Saturday and Sunday (refer to Note 32, Sheet 2 of 102 on the Plan).
11. The developer shall be responsible for the installation of a road status sign at the entrance drives to this subdivision in accordance with Section 289-40 of the Planning Board's Land Use Regulations, and adding the following language to said signs: "Not a through street."
12. An offsite traffic improvement fee, in the amount of \$1,000.00, shall be paid prior to the issuance of a Certificate of Occupancy for each dwelling unit within this subdivision, and this fee shall be expended by the Town for the exclusive purpose of improving Gibson Road and Hawkview Road, starting at the intersection of Kimball Hill Road and Gibson Road, to the present terminus of Hawkview Road.
13. Building Permit phasing for this subdivision shall be as follows and inscribed as such on sheet 2 of 102 on the Plan:

a) Issuance of (17) building permits shall be available for the first 365 days after receiving final subdivision approval from the Planning Board, and the same number (17) of building permits shall be available for each subsequent 365 days thereafter until the subdivision is completed in its entirety.

14. A 25-ft. in-width access easement shall be provided for the benefit of the parcel identified on the Plan as Map 194/Lot 9-2. Said easement shall extend from Standish Lane to the south boundary line of the property. Additionally, a 25-ft. in-width access easement shall be provided from Warren Road to the parcel identified on the Plan as Map 195/Lot 2. The aforementioned easement shall be inscribed on the Plan, and deeds shall be provided for same prior to Planning Board endorsement of the Plan.

15. Prior to Planning Board endorsement of the Plan, it shall include a 10-ft. in-width walking easement from Standish Lane to the parcel identified on the Plan as Map 201/Lot 12.

All representations of fact or intention made by the applicant or any applicant's representative during testimony before the Planning Board relative to the obtaining approval of this plan, shall be considered conditions of this approval regardless of the fact that such fact or intentions were not specifically stated as part of the motion to grant.

Signed:  Date: 8-21-15
John M. Cashell
Town Planner

cc: Keach-Nordstrom Associates, Inc.

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire



Name of Subdivision/Site Plan: **Eagles Nest Estates**

Street Address: **Bush Hill Road, Hawkview Road**

Eagles Nest Estates, LLC hereby requests that the Planning Board waive the requirements of item §276-9, A of the Subdivision/Site Plan Checklist in reference to a plan presented by **Keach-Nordstrom Associates, Inc.** dated **January 7, 2015** for property tax maps **186-24, 194-9&10, 195-1.**

Eagles Nest Estates, LLC herein acknowledges that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), (for Subdivisions) and RSA 674:44, III (e) (for Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon the applicant, and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto).

Please see attached.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

Please see attached.

EAGLES NEST ESTATES, LLC
By its Attorney:
Prunier & Prolman, P.A.

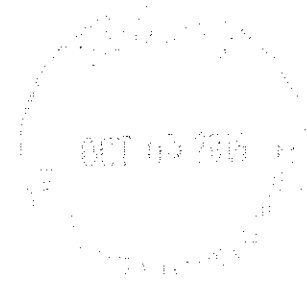
Andrew A. Prolman, Esq.

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

PRUNIER & PROLMAN, P.A.
ATTORNEYS AT LAW
20 Trafalgar Square, Suite 626
Nashua, New Hampshire 03063-1981
TEL (603) 883-8900
FAX (603) 883-7959
www.prunierlaw.com



GERALD R. PRUNIER
gprunier@prunierlaw.com

ANDREW A. PROLMAN
aprolman@prunierlaw.com

October 4, 2018

Hudson Planning Board
12 School Street
Hudson, NH 03051

Re: Eagles Nest Estates

Dear Vice Chair Malley and Members of the Board:

Please accept this letter in support of Eagles Nest Estates, LLC's Waiver Request from HTC §276-8, A to allow a one-year extension of the Board's approval of the Subdivision Plan. This request is made because Eagles Nest Estates, LLC relied upon:

1. The Town of Hudson Planning Board's "Vested Rights" letter to the project owner, dated June 23, 2017, "as acknowledgement that you have the right to continue working hence forth on this subdivision through to its full completion...;" and
2. The Town of Hudson Planning Board's June 16, 2017 letter to Keach-Nordstrom Associates, Inc. which states: "Based on my review of the submitted documents, all conditions [of approval] have been addressed." (Copies of both letters are attached.)

This Waiver Request is submitted in accordance with RSA 674:36, II (n):

(1) Strict conformity with the Eagles Nest Subdivision expiration poses an unnecessary hardship to the applicant because (a) the Applicant reasonably relied on the Town's representation that the project is vested, and (b) the project approval would otherwise be at risk. Further, extending the current approvals would not be contrary to the spirit and intent of the regulations because there have been no substantive changes to Article XI, Hudson's Open Space Development since the original project approval.

(2) Given that (a) the Applicant requested a determination from the Town Planner well in advance of the January 1, 2018 approval expiration, and (b) the Town agreed with the Applicant that the project is vested, specific conditions relative to this subdivision indicate that the requested waiver is appropriate and will not violate the spirit and intent of the regulation.

Hudson Planning Board
October 4, 2018
Page 2

Eagles Nest Estates, LLC believes the above reasons for the requested waiver also satisfies the Town's waiver criteria of HTC §276-7, A.

This Waiver and extension request is submitted under protest. The Town has already determined that the project is vested "through to its full completion." Eagles Nest Estates, LLC reserves all of its legal and equitable rights to contest any determination that the project cannot be built out as approved. Nevertheless, we respectfully submit that a waiver of HTC §276-8, A to allow a one-year extension of the subdivision approval is a fair and reasonable resolution for the Board and the Applicant.

Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read 'A.P.', with a long horizontal flourish extending to the right.

Andrew A. Prolman

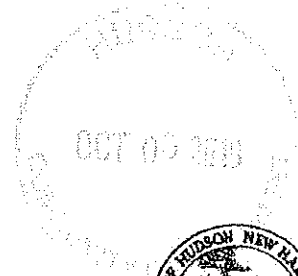
AAP/jd

Enclosures

cc: Eagles Nest Estates, LLC
Keach-Nordstrom Associates, Inc.



TOWN OF HUDSON
PLANNING BOARD



12 School Street

Hudson, New Hampshire 03051

603/886-6005

June 23, 2017

John Gargasz
Owner/Developer Eagles Nest Subdivision
196 Bridge Street
Manchester, NH 03104

RE: Vested Rights of Eagles Nest Subdivision, located off Bush Hill Rd., Hudson, NH

Dear Mr. Gargasz:

Pursuant to our conversation in regard to the vesting of the Eagles Nest Subdivision, located off Bush Hill Road, Hudson, NH, taking into consideration that the following activities have either commenced or have been completed over the past year, i.e., since the initial approval of this subdivision, please accept this correspondence as acknowledgment that you have the right to continue working henceforth on this subdivision through to its full completion:

- 1) Over the past 9 months the subject subdivision parcel has been cleared of trees and undergrowth to include the roadway network, drainage areas and approximately 50% of the house lot areas. Note: as you informed this author, this logging will remain ongoing with the exception of the hiatus this summer as per the AOT permit.
- 2) Legal and engineering work has continued since the approval of this subdivision, and relative to completing the requirements that will eventually lead to the recording of the Plan-of-Record, together with the Development Agreement, associated Easement Deeds and the recording of the so called "Trudel Parcel", which will be incorporated into the Eagles Nest Subdivision Parcel, as approved by the Planning Board, cited in the Subdivision Notice of Approval, and as shown on the Approved Plan-of-Record.
- 3) Bids are being actively solicited for the road building, and to this effect, attached herewith is a copy of a road construction estimate for the "Franklin Street Phase of Eagles Nest

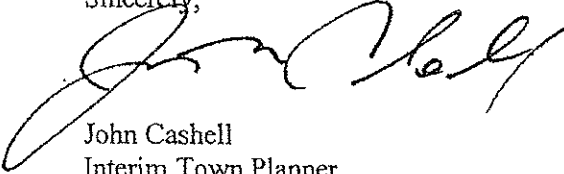
Vested Rights of Eagles Nest Subdivision
Pg. 2 of 2

Estates, as prepared by Ryan Charbonneau, Project Mgr., for Continental Paving, Inc., dated 31 January 2017.

In closing, as you are aware, you have the right to convey the Eagles Nest Subdivision parcel in its entirety, however, you do not have the right, under the NH RSA's, to convey any lot within the subdivision parcel, as depicted on the approved Plan-of-Record. That is, without first establishing a surety, approved by a majority of the Planning Board at a regular meeting, and that only upon said surety being establishment, and subsequent recording at the Hillsborough County Registry of Deeds the Subdivision Plan-of-Record, Development Agreement and associated Easement Deeds, as referenced in the Notice of Subdivision Approval, shall you be entitled to the conveyance of any of the lots within this subdivision.

If you have any questions or concerns regarding the contents of this correspondence, please feel free to contact me.

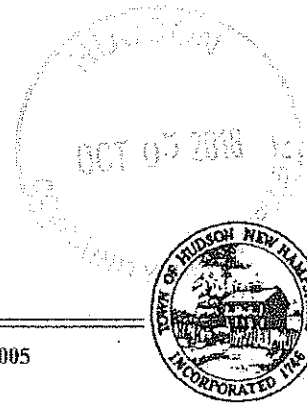
Sincerely,



John Cashell
Interim Town Planner



TOWN OF HUDSON
PLANNING BOARD



12 School Street

Hudson, New Hampshire 03051

603/886-6005

June 16, 2017

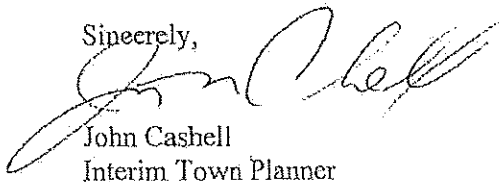
Keach-Nordstrom Associates, Inc.
10 Commerce Park North, Suite 3
Bedford, New Hampshire 03110

RE: Eagles Nest Estates Subdivision, off Bush Hill Road and Hawkview Rd.

Dear Mr. Merritt,

I have received your May 25, 2017 submittal of revised plans (project plans with a last revised date of 8/17/15) and documents for the Eagles Nest Estates subdivision project. As requested, I have reviewed the submitted documents to verify that they address the Planning Boards August 12, 2015 conditional approval. Based on my review of the submitted documents, all conditions have been addressed.

Sincerely,



John Cashell
Interim Town Planner

PRUNIER & PROLMAN, P.A.
ATTORNEYS AT LAW
20 Trafalgar Square, Suite 626
Nashua, New Hampshire 03063-1981
TEL (603) 883-8900
FAX (603) 883-7959
www.prunierlaw.com

GERALD R. PRUNIER
gprunier@prunierlaw.com

ANDREW A. PROLMAN
aprolman@prunierlaw.com

October 17, 2018

Via Email: bgroth@hudsonnh.gov

Hudson Planning Board
12 School Street
Hudson, NH 03051

Re: Eagles Nest Estates

Dear Vice Chair Malley and Members of the Board:

Please accept this letter to supplement Eagles Nest Estates, LLC's Waiver Request filed on October 5, 2018. As the Board is aware, Eagles Nest Estates, LLC does not believe a waiver or any extension of the subdivision approval is necessary because the Town has already determined that the project is vested.

Eagles Nest Estates, LLC requested and relied upon the Town's June 23, 2017 Vested Rights letter which confirmed that the owner has "the right to continue working henceforth on this subdivision through to its full completion." The Vested Rights letter then listed three criteria which supported Mr. Cashell's determination.

On September 21, 2018, Town Planner Brian Groth emailed counsel to advise that the subdivision approval has expired. When asked, Mr. Groth explained that the first of the criteria of the Vested Rights letter had not been met. Specifically, Town officials inspected the site and determined that the tree clearing is not nearly as much completed as Eagles Nest Estates, LLC represented. This is not true.

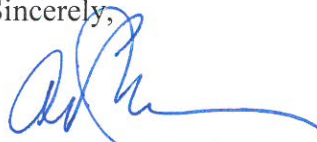
Attached please find the October 2, 2018 Memorandum from John Gargas, Managing Member of Eagles Nest Estates, LLC. Mr. Gargas explains the significant tree and bush clearing work completed to begin the project. Supporting the October 2, 2018 Memorandum as proof of the extent of the clearing, are (i) Burl Land Clearing, LLC contract, (ii) Notices of Intent to Cut, and (iii) Report of Wood or Timber Cuts.

Hudson Planning Board
October 17, 2018
Page 2

We respectfully but strongly disagree with today's assessment that significant work was not done on site as we represented in 2017. We further object to the Town nullifying the June 23, 2017 Vested Rights Letter.

Thank you.

Sincerely,



Andrew A. Prohman

AAP/jd
Enclosures

cc: Eagles Nest Estates, LLC
Keach-Nordstrom Associates, Inc.

Memorandum

Date: 10/2/2018

Subject: Status of lot clearing, Eagles Nest subdivision

To whom it may concern:

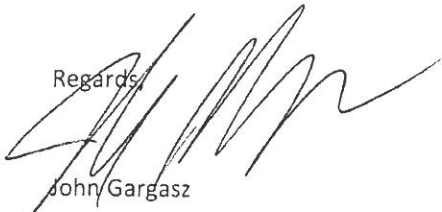
It has been brought to my attention that the town of Hudson is disputing the condition of the Eagle's Nest vesting letter from John Cashell regarding clearing of trees on lots. In the letter from Attorney Prolman to Mr. Cashell dated March 24, 2017, we stated that that "approximately 50% of the lots have had trees and brush thinned by Burl Land Clearing." Pursuant to this letter clearing of trees continued through approximately July of 2017 as evidenced by timber cut reports submitted to the town and invoices from Burl Land Clearing.

It was our intent to commence work on Franklin Street last Fall but Continental Paving, Inc. was unable to fit us into their construction schedule. Other road builder bids were significantly higher than Continental. Given the very challenging economics of the project and the fact that we had a vesting letter at the time, we elected to wait until Continental was available to start road construction. We are now at that time.

In the interim, brush has grown back up on the lots that had been thinned. This may give the impression that we did not log these areas. But upon closer inspection of the stumpage, it is clear that we did in fact thin the lots as stated. The inspector may have anticipated seeing clear cut lots. As stated in our letter, we did not intend to clear cut the lots. These homes will likely retain some number of trees and final cutting will take place once home and drive locations are finalized. Since the March letter, it is appropriate to state that we have in fact thinned the majority of lots well over 50% during the March – July 2017 period.

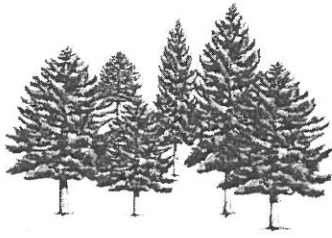
So, I respectfully dispute the claim by the town that we did not meet the intent of the vesting letter.

Regards,



John Gargas

Managing Member, Eagles Nest Estates LLC



BURL LAND CLEARING LLC

COMMERCIAL & RESIDENTIAL
TREE CUTTING, CHIPPING AND STUMP GRINDING
397 HERMIT ROAD - MANCHESTER, NH - 03109
(O) 603.645.6011 (F) 603.232.2667

Date: 4/12/17

Agreement entered between:

John Gulgasz
Name (seller)

21 Continental Blvd. Merrimack, NH
Street / City / State / Zip

Hereinafter called the Seller(s) and

Burl Land Clearing LLC of 397 Hermit Rd., Manchester, NH 03109

Hereinafter called the Purchaser(s).

The Seller(s) agree to permit the Purchaser(s) access to the Tract(s) hereinbefore described for the purpose of cutting and removing said timber which is the subject of this agreement.

Harvest location:

Dudson, NH
City/Town/State

146-24
195-1, 199-10, 199-9
Map/Lot

HAWK VIEW
Access Road

190
Total Acreage of Parcel

Selective 190
Total Acreage to be cut

Unless an extension of time is granted, all timber, the subject of this agreement, shall be cut and removed on or before: 3/31/19

The Purchaser agrees to clear all specified timber located on the above parcel.

N/A/Special Conditions: _____ N/A/Misc. costs responsible by seller:

Payment Conditions:

Red oak ^{select + greater} grade	\$ 400/MBF
Red oak pallet #1 1/2	\$ 150/MBF
Black oak grade Prime's	\$ 250/MBF
Black oak pallet #1 1/2	\$ 125 /MBF
Pine Below	\$ 150 /MBF
Pine box	\$ 40 /MBF
Soft maple	\$ 75 /MBF
Hard maple	\$ 100 /MBF
Mixed pallet	\$ 75 /MBF

Firewood	\$ 12 /Cord
Chips	\$ 1.0/Ton
Mixed hard softwood	\$ 75/MBF
_____	\$ /MBF
_____	\$ /MBF
_____	\$ /MBF

I have read and agree to the terms and conditions located on the back of this contract

Seller

4/13/17

Date

Purchaser / Burl Land Clearing LLC

4/17

Date

Terms and Conditions

Article I

The Purchaser(s) further agrees to cut and remove said timer in strict accordance with the following conditions.

- 1) Timber shall be scaled at the MBF rule and measured at Burl Land Clearing LLC.
- 2) The purchaser shall utilize all trees, tree slash and tree tops to the lowest possible diameter for the commercially salable material. Stumps shall be cut so as to cause the least possible waste. All trees having 50% sound scale shall be cut and paid for.
- 3) Whenever possible, young trees shall be protected against unnecessary injury to the best of our ability.
- 4) To comply with all Federal and State Laws pertaining to the operation.
- 5) Failure on the part of the Purchaser(s) to comply with any conditions herein contained shall, at the option of the Seller(s), be deemed a breach of this agreement.

Article II

Purchaser agrees to carry General Liability Insurance and Workers Compensation. This insurance will remain in effect for the duration of the job.

Article III

Seller will be responsible for all timber taxes resulting from this project.

Article IV

Heavy Equipment will be used to perform all land clearing tasks. We should be instructed where leach fields, septic tanks, irrigation/sprinkler systems, etc., are located. Lawn and/or driveway damage may occur.

Article V

Boundary Lines: We are not surveyors. Boundary lines, flagging, identification are the responsibility of the seller. Abutters should be notified by seller prior to work. If access through abutters is needed, seller must obtain their written permission. Seller will be responsible for any trees cut on abutter's property, if boundaries are not properly flagged. Areas to be cut or clearing limits shall also be flagged with a different color flagging so that there will be no discrepancy between boundary lines and cutting limits.

Article VI

If power, cable or telephone wires have to be temporarily dropped for tree removal, you will be told ahead of time. We will schedule this with utility companies to do the work. If there is a related charge for this, it will become a cost above the estimate to you.

Article VII

Stump Grinding is an option, and a separate job from tree removal. A separate estimate can be given.

Article VIII

This contract states that no money is being exchanged unless land owner is being charged for the work and it is specified on front page under cost owed by seller. If there is a charge for the work, payment is due upon job completion. Please be aware that 18% annual interest will be charge on any unpaid balances.

Article IX

Seller stipulates that he/she is the sole owner of the parcel being harvested.

Article X

If payments are to be paid to seller, they will be paid on a bi-weekly basis.

NEW HAMPSHIRE DEPARTMENT OF REVENUE ADMINISTRATION
NOTICE OF INTENT TO CUT WOOD OR TIMBER

YR TOWN OP#
17-229-02-T (Assigned by Municipality)

For Tax Year April 1, 17 to March 31, 18

PLEASE TYPE OR PRINT (If filling in form on-line, use TAB Key to move through fields)

8. Description of Wood or Timber To Be Cut

- City/Town of Hudson
- Tax Map No./Lot or USFS sale name & unit #: 195-1, 194-10, 194-9, 196-24
- Intent Type: Original Supplemental
(Use mouse to click on Check Boxes) Original Operation # _____
- Name of road from which accessible: Hawk View
- a. Acreage of Lot: 190 Acreage of cut: Selective
- b. Anticipated start date: 4/17/2017
- Type of ownership (check only one):
 - Owner of Land and Stumpage (Joint Tenants)
 - Owner of Land and Stumpage (Tenants in Common)
 - Previous owner retaining deeded timber rights
 - Owner/Purchaser of stumpage & timber rights on public lands (Fed., State, municipal, etc.) or Utility Easements

Species	Estimated Amount To Be Cut	
White Pine	110	MBF
Hemlock		MBF
Red Pine		MBF
Spruce & Fir		MBF
Hard Maple		MBF
White Birch		MBF
Yellow Birch		MBF
Oak	100	MBF
Ash		MBF
Beech & Soft Maple		MBF
Pallet or Tie Logs	1100	MBF
Other (Specify)		MBF
	Pulpwood	Tons Cords
Spruce & Fir		
Hardwood & Aspen		
Pine	120	
Hemlock		
Whole Tree Chips	8000	
Miscellaneous		
High Grade Spruce/Fir		Tons
Cordwood & Fuelwood	450	Cords

REPORT OF CUT FORM / CERTIFICATE TO BE SENT TO:

OWNER OR BY MAIL OR
 LOGGER/FORESTER E-MAIL

7. I/We hereby accept responsibility for reporting all timber cut within 60 days after the completion of the operation or by May 15, whichever comes first. I/We also assume responsibility for any yield tax which may be assessed. (If a corporation, an officer must sign.)

Timber Tax Information is Available at www.revenue.nh.gov
 Questions?? Call (603) 230-5950

SIGNATURE OF OWNER(S) OR CORPORATE OFFICER [Signature] DATE 4/13/17

SIGNATURE OF OWNER(S) OR CORPORATE OFFICER _____ DATE _____

PRINT CORPORATE OFFICER NAME AND TITLE _____ DATE _____

PRINT OWNER(S) NAME _____

MAILING ADDRESS 21 Commercial Blvd.

CITY/TOWN Merrimack STATE NH ZIP CODE 03054

PHONE 603-520-5123 E-MAIL jungargal@e-mail.com

9. Species and Amount of Wood or Timber For Personal Use or Exempt. See exemptions on back of form.

Species:	Amount:

10. By signing below, the Logger/Forester or person responsible for cutting hereby accepts responsibility for verifying the volumes of wood and timber to be reported by the owner. I have become familiar with RSA 227-J, the timber harvest laws.

SIGNATURE OF PERSON RESPONSIBLE FOR CUTTING [Signature] DATE 4-11-17

PRINT NAME David J Bull / Bull Land Clearing LLC

MAILING ADDRESS 397 Hermit Rd.

CITY/TOWN Merrimack STATE NH ZIP CODE 03104

PHONE 603-255-2601 E-MAIL Bull Land Clearing LLC

FOR ASSESSING OFFICIALS ONLY

The Selection/Assessing Officials hereby certify that:

- All owners of record have signed the Intent;
- The land is not under the Current Use Unproductive category;
- The form is complete and accurate; and
- Any timber tax bond required has been received:
\$ _____ Date _____

5. The tax collector will be notified within 30 days or receipt pursuant to RSA 78:10;

6. This form to be forwarded to DRA within 30 days.

Signature (in ink) of Assessing Official	Date	Signature (in ink) of Assessing Official	Date	Signature (in ink) of Assessing Official	Date
Signature (in ink) of Assessing Official	Date	Signature (in ink) of Assessing Official	Date		

REPORT OF WOOD OR TIMBER CUT

RSA 79:11

See instructions on back of form

OPERATION # 16-229-02 - T

For Tax Year April 1, 2016 to March 31, 2017

Mailing Address:

BURL LANDCLEARING LLC
DAVID BURL
397 HERMIT ROAD
MANCHESTER NH 03109-

- City/Town of: **HUDSON**
- Tax Map/Lot # or USFS sale name/unit #: **M195 L1 M194 L10,9 M186 L24**
- Exact Acreage of Cut: **Selective 75 Acres**
- Is the cutting complete? Yes No
- If yes, date cutting was completed? **still cutting**
- Name of sawmill or pulpmill logs or pulpwood was sold to:

Burl Land Clearing
 NAME

NAME

NAME

NAME

7. I hereby report the wood or timber cut under penalty of perjury.
(If a corporation, an officer must sign)

[Signature]
 SIGNATURE (IN INK) OF OWNER(S) OR CORPORATE OFFICER DATE **5/23/17**

SIGNATURE (IN INK) OF OWNER(S) OR CORPORATE OFFICER DATE

John Gargasz, Owner
 CORPORATE OFFICER NAME AND TITLE DATE

Eagles Nest Estates
 PRINT OWNER(S) NAME

21 Continental Blvd.
 MAILING ADDRESS

Merrimack NH 03076
 CITY / TOWN STATE ZIP CODE

TELE NO: **603-320-5123**

8. Description of Wood or Timber Cut

SPECIES	EXACT SCALE CUT	
	USE INTERNATIONAL 1/4	RULE LOG SCALE
White Pine	61.815	MBF
Hemlock Hickory	6.135	MBF
Red Pine		MBF
Spruce & Fir		MBF
Hard Maple	1.36	MBF
White Birch	.075	MBF
Yellow Birch Black Birch	.745	MBF
Oak		MBF
Ash	.115	MBF
Beech & Soft Maple	.965	MBF
Pallet or Tie Logs		MBF
Others (Specify)		MBF
PULPWOOD		TONS OR CORDS
Spruce & Fir		
Hardwood & Aspen		
Pine		1.36
Hemlock		
Whole Tree Chips		3008.81
MISCELLANEOUS:		
High Grade Spruce/Fir		Tons
Cordwood & Fuelwood		120 Cords

9. Species and Amount of Wood or Timber for Personal Use or Exempt. See exemptions on back of form.

Species:	Amount

10. Under penalty of perjury, I (the logger/forester or person responsible for cutting) declare that I have verified that the above figures are true and correct.

[Signature]
 SIGNATURE (IN INK) OF LOGGER/FORESTER RESPONSIBLE FOR CUTTING

DATE: **March 30, 2017**

PENALTY: Any person who fails to file a Report of Wood or Timber Cut with the proper assessing officials or fails to send copies to the Department of Revenue administration in accordance with RSA 79:11, shall be guilty of a misdemeanor.

DOOMAGE: If an owner neglects to file a report or willfully falsifies a report, the assessing officials shall assess doamage which is two times what the tax would have been if the report has been properly filed. Refer to RSA 79:12 for the complete statute on doamage.

ELECTION OF NEW PLANNING BOARD OFFICERS

Vice Chairman, Tim Malley shall address the need to elect new officers for reorganization of the Board, and shall first ask for a nomination for the position of Chairperson, then Vice Chairperson if necessary.

DRAFT MOTIONS FOR ELECTION OF OFFICERS:

MOTION FOR CHAIRMAN:

I move to nominate _____ to be Chairperson.

Second: _____.

If there are no other nominations for this office, the next motion is:

MOTION:

**There being no other nominations, I move to close the nominations and to elect
_____ as Chairperson by acclamation.**

Motion by: _____ Second: _____ Motion carried/failed: _____.

MOTION FOR VICE-CHAIRPERSON:

I move to nominate _____ to be Vice-Chairperson.

Second: _____.

If there are no other nominations for this office, the next motion is:

MOTION:

**There being no other nominations, I move to close the nominations and to elect
_____ as Vice-Chairman by acclamation.**

Motion by: _____ Second: _____ Motion carried/failed: _____.