



# TOWN OF HUDSON

## Planning Board

Glenn Della-Monica, Chairman

David Morin, Selectmen Liaison



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

### **PUBLIC MEETING TOWN OF HUDSON, NH AUGUST 22, 2018**

The Town of Hudson Planning Board will hold a regularly scheduled meeting on Wednesday, August 22, 2018 at 7:00 p.m. in the “Buxton Community Development Conference Room” at Town Hall. The following items will be on the agenda:

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES
- V. MINUTES OF PREVIOUS MEETING(S)
- VI. CASES REQUESTED FOR DEFERRAL
- VII. CORRESPONDENCE
- VIII. PERFORMANCE SURETIES
- IX. ZBA INPUT ONLY
- X. OLD BUSINESS/PUBLIC HEARINGS
- XI. DESIGN REVIEW PHASE
- XII. CONCEPTUAL REVIEW ONLY

- A. BAE Systems – Proposed Equipment Yard  
CSP# 06-18

65 River Road  
Map 251/Lot 001

Purpose of Plan: to construct an exterior concrete equipment pad with appurtenant site improvements. No new building or parking is proposed. Application & Hearing.

### XIII. NEW BUSINESS/PUBLIC HEARINGS

- A. Abucewicz Subdivision Plan  
SB# 07-18

63 Kimball Hill Road  
Map 178/Lot 030

Purpose of Plan: to depict the subdivision of existing Map 178, Lot 030, into four separate lots. Application Acceptance & Hearing.

- B. Stable Road Lot Line Relocation  
SB# 08-18

4 & 6 Stable Road  
Map 236/Lot 018 & Map 230/Lot 002

Purpose of Plan: to relocate the existing lot line between Map 236/Lot 018 & Map 230/Lot 002 respectively, to relieve each lot from a driveway encroachment issue. Application Acceptance & Hearing.

C. Peter DeSalvo Contracting, LLC Amended Site Plan  
SP# 14-18

15 Central Street  
Map 182/Lot 050

Purpose of Plan: to amend the previously approved site plan to reflect a portion of the parking area located within the side-yard setback, and request a waiver to allow the parking spaces to remain. Application Acceptance & Hearing.

- XIV. OTHER BUSINESS
- XV. ADJOURNMENT

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting. The public is invited to attend.

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Jay Minkarah  
Interim Town Planner

POSTED: Town Hall, Library & Post Office – 08-10-18

**PUBLIC MEETING  
TOWN OF HUDSON, NH  
August 22, 2018  
(Addendum#1)**

In addition to items already scheduled and posted for review at the August 22, 2018 Planning Board Meeting, the following item is scheduled to be heard:

**XV. OTHER BUSINESS**

A. Partial Release of Surety Bond for Bradley Tree Service Site Plan.

Reference Memo dated 08-07-18 from Timothy Bradley, Bradley Tree Service, to Jay Minkarah, Interim Town Planner, requesting the release of \$21,891.00 for paving completion.

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting.

The public is invited to attend.

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Brooke Dubowik  
Planning Administrative Aide

POSTED: Town Hall, Library, Post Office – 8/10/18

# **Bradley Commercial Properties Surety Bond Release**

Staff Report  
August 16, 2018

**SITE:** 30 Constitution Drive -- Map 170/Lot 35

**PURPOSE OF PETITION:** Release of \$21,891 of the established \$42,000 surety for improvements at 30 Constitution Drive associated with the Site Plan approved by the Planning Board on May 16, 2017 entitled "Site Plan in Hudson, NH for Bradley Commercial Properties, LLC prepared by Holden Engineering."

**ATTACHMENTS:**

- 1) Letter from Timothy Bradley requesting release of funds dated August 8, 2018 – "A".
- 2) St. Mary's Bank Letter of Credit – "B".
- 3) Paving Invoice from Tate Brothers Paving Co., Inc., dated August 3, 2018 – "C"

**RECOMMENDATION:** Staff recommends partial release of said surety bond in the amount of \$21,891 to reflect improvements completed to date.

**DRAFT MOTION:**

I move to partially release the established surety in the amount of \$21,891 for Bradley Commercial Properties, LLC for improvements completed at 30 Constitution Drive.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_.

"A"

Aug. 7, 2017

To: Planning Board - Town of Hudson  
Att: Jay Minkarah

This letter is to request the partial release of funds held for the completion of the site plan for Bradley Commercial Properties, LLC.

I am requesting the release of \$ 21,891.00 to pay for the completed paving.

The business sign and parking stall lines are in the process of being completed.

However, the Paving (invoice attached) was completed on 6/20/18.

Thank you

Signed:   
Timothy H. Bradley

Date: 8/1/18

"B"

Letter of Credit No.20180306  
Irrevocable Standby Letter of Credit  
Expiration Date of September 6, 2018

March 6, 2018

Planning Board  
Town of Hudson  
12 School Street  
Hudson, NH 03051

Account Party: Bradley Commercial Properties, LLC.  
Beneficiary: Town of Hudson NH  
Amount: \$42,000.00  
RE: Site Plan in Hudson NH for Bradley Commercial Properties, LLC.

Dear Planning Board:

By this document, St. Mary's Bank hereby issues an irrevocable Letter of Credit in the amount of \$42,000.00 to the Town of Hudson on behalf of Bradley Commercial properties, LLC. This irrevocable Letter of Credit is issued to guarantee completion of all improvements required by the Hudson Planning Board and the Town of Hudson *Subdivision and/or Site Plan Review Regulations in conjunction with a plan entitled Site Plan in Hudson NH for Bradley Commercial Properties, LLC prepared by Holden Engineering and approved by the Hudson Planning Board on May 16, 2017.*

It is understood that the improvements guaranteed by this irrevocable letter of credit include, but are not limited to the following: Final paving, parking area painting, landscaping, granite curbing, sidewalk paving and seeding of embankments.

It is agreed and understood by the issue of this Letter of Credit that it shall be issued for a period of 6 months. If all improvements guaranteed by this Letter of Credit are not completed by September 6, 2018 (6 months) and if a certificate indicating completion of all improvements have not been issued by the Town Engineer or such other individuals as the Town of Hudson designates, then this Letter of Credit shall be automatically considered to have been called and without further action of the Town of Hudson or its Planning Board, St. Mary's Bank shall forward a check in the amount of \$42,000.00 to the Treasurer of the Town of Hudson. The funds so forwarded to the Town Treasurer shall be used exclusively for the purpose of completing the improvements which are guaranteed by this Letter of Credit. Any funds not needed by the Town to complete improvements required by the site plan indicated above shall be returned to St. Mary's Bank.

Sincerely,



Steven Scheiner  
VP, Commercial Lending  
St. Mary's Bank

I have read this Letter of Credit and agree to its terms.



Timothy Bradley

3/6/18

\_\_\_\_\_  
Timothy Bradley/Bradley Commercial Properties, LLC DATE

"C"

# Statement

Tate Brothers Paving Co., Inc.  
 72 Old Derry Road  
 Hudson, NH 03051  
 603-882-0527

Date
8/3/2018

To:
Bradley Commercial Properties: 21 Pinecrest Rd Litchfield NH 03052

		Amount Due	Amount Enc.		
		\$21,891.00			
Date	Transaction	Amount	Balance		
06/20/2018	INV #12549. Due 06/20/2018. Orig. Amount \$21,891.00. --- Constitution Dr Hudson --- Paving \$21,491.00 --- Paving \$400.00	21,891.00	21,891.00		
CURRENT	1-30 DAYS PAST DUE	31-60 DAYS PAST DUE	61-90 DAYS PAST DUE	OVER 90 DAYS PAST DUE	Amount Due
0.00	0.00	21,891.00	0.00	0.00	\$21,891.00



# **BAE Systems Proposed Exterior Equipment Pad Conceptual Review/Waiver of Site Plan Review**

## **STAFF REPORT**

August 15, 2018

**SITE:** 65 River Road -- Map 251/Lot 01 -- CSP# 06-18

**ZONING:** Industrial (I)

**PURPOSE OF PLAN:** to construct a 41'-5" x 118'-5" exterior concrete equipment pad and related site improvements including access drive, utility relocation and fencing. No new parking is proposed. **Conceptual Review & Waiver Request.**

**PLAN UNDER REVIEW ENTITLED:** Master Site Plan (Lot 1, Hudson Tax Map 251) - Proposed Equipment Yard - 65 River Road, Hudson, NH, prepared for BAE Systems Information and Electronic Systems Integration, Inc., by HSI, Three Congress St., Nashua, NH, dated 29 June 2018 (no revision date) and consisting of Sheets 1 - 5 and Notes 1 - 9 on Sheet 1.

### **ATTACHMENTS:**

- 1) Conceptual Site Plan Application, date stamped July 26, 2017 - "A".
- 2) Project Narrative letter from project mgr., James Petropulos, PE, dated July 26, 2018 - "B".
- 3) Waiver Request Letter from project mgr., James Petropulos, PE, dated July 26, 2018 - "C"

### **STAFF COMMENTS:**

The Applicant is seeking a Waiver of Site Plan Review to permit Administrative approval of a 41'-5" x 118'-5" exterior concrete equipment pad and related site improvements including access drive, utility relocation and fencing, as described in the attached Project Narrative and shown on the attached Plans. A waiver of Site Plan Review to permit administrative approval was approved by the Planning Board for a single-story 1,770 sf addition on 8/16/17 and in 2010 for a 1,500 sf addition. It should be noted that BAE was previously approved for 200,000 sf of building area that has not as of yet been constructed. The proposed improvements would not require any additional parking nor result in any significant impacts to stormwater management, traffic, internal circulation or abutting land uses.

### **REQUESTED WAIVER:**

- HR 275-4 -- [Site Plan] Approval required; jurisdiction.

### **APPLICATION TRACKING:**

- This application was submitted on 7/26/18.
- Review scheduled for 8/22/18.

**RECOMMENDATION:**

Staff recommends that the Planning Board approve the requested waiver from Site Plan Review; thereby allowing administrative approval of the proposed improvements. To this effect, a DRAFT MOTION is provided below.

**DRAFT MOTION:**

I move to grant the requested waiver from HR 275-4 to allow Administrative Approval of the plan entitled: Master Site Plan (Lot 1, Hudson Tax Map 251) - Proposed Equipment Yard - 65 River Road, Hudson, NH, prepared for BAE Systems Information and Electronic Systems Integration, Inc., by HSI, Three Congress St., Nashua, NH, dated 29 June 2018 and consisting of Sheets 1 - 5 and Notes 1 – 9 on Sheet 1.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_.

"A"

CONCEPTUAL SITE PLAN APPLICATION  
FOR PLAN REVIEW  
TOWN OF HUDSON, NEW HAMPSHIRE



Date of Application: 26 July 2018 Tax Map # 251 Lot # 1

Name of Project: BAE Systems – Proposed Equipment Yard

Zoning District: I: Industrial General CSP# DL-18

(For Town Use)

ZBA Action: n/a

PROPERTY OWNER:

DEVELOPER:

Name: BAE Systems

(Same as owner)

Address: P.O. Box 868

\_\_\_\_\_

Address: Nashua, NH 03061-0868

\_\_\_\_\_

Telephone # (603) 885-5980

\_\_\_\_\_

Fax # (603)885-6415

\_\_\_\_\_

Email: dennis.regan@baesystems.com

\_\_\_\_\_

PROJECT ENGINEER:

SURVEYOR:

Name: Hayner/Swanson, Inc.

(Same as engineer)

Address: 3 Congress Street

\_\_\_\_\_

Address: Nashua, NH 03062

\_\_\_\_\_

Telephone # (603)883-2057

\_\_\_\_\_

Fax # \_\_\_\_\_

\_\_\_\_\_

Email: jpetropulos@hayner-swanson.com

\_\_\_\_\_

PURPOSE OF PLAN:

To construct an exterior concrete equipment pad with appurtenant site improvements. No new building or parking is proposed.

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CONCEPTUAL SITE PLAN DATA SHEET

PLAN NAME: BAE Systems – Proposed Equipment Yard

PLAN TYPE: CONCEPTUAL SITE PLAN

LEGAL DESCRIPTION: MAP 251 LOT 1

DATE: 29 June 2018 with revisions through 7/27/18

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Location by Street: 65 River Road

Zoning: I: Industrial

Proposed Land Use: Office/Manufacturing

Existing Use: Office/Manufacturing

Surrounding Land Use(s): Residential/Commercial

Number of Lots Occupied: 1

Existing Area Covered by Building: 553,270 s.f.

Existing Buildings to be removed: n/a

Proposed Area Covered by Building: 553,270 s.f.

Open Space Proposed: 77%

Open Space Required: 35%

Total Area: S.F.: 8,265,800 Acres: 189.76 +/-

Area in Wetland: n/a Area Steep Slopes: n/a

Required Lot Size: 30,000 s.f.

Existing Frontage: 919 ft.

Required Frontage: 150 ft.

Building Setbacks:	Required*	Proposed
Front:	<u>50 ft.</u>	<u>2,250 ft.</u>
Side:	<u>15 ft.</u>	<u>610 ft.</u>
Rear:	<u>15 ft.</u>	<u>215 ft.</u>

**CONCEPTUAL SITE PLAN DATA SHEET**

**(Continued)**

Flood Zone Reference: See plan note #9

Width of Driveways: 24 +/- ft.

Number of Curb Cuts: 1

Proposed Parking Spaces: 1,924 (existing)

Required Parking Spaces: 923

Basis of Required Parking (Use): 1 space/ 600 s.f.

Dates/Case #/Description/Stipulations

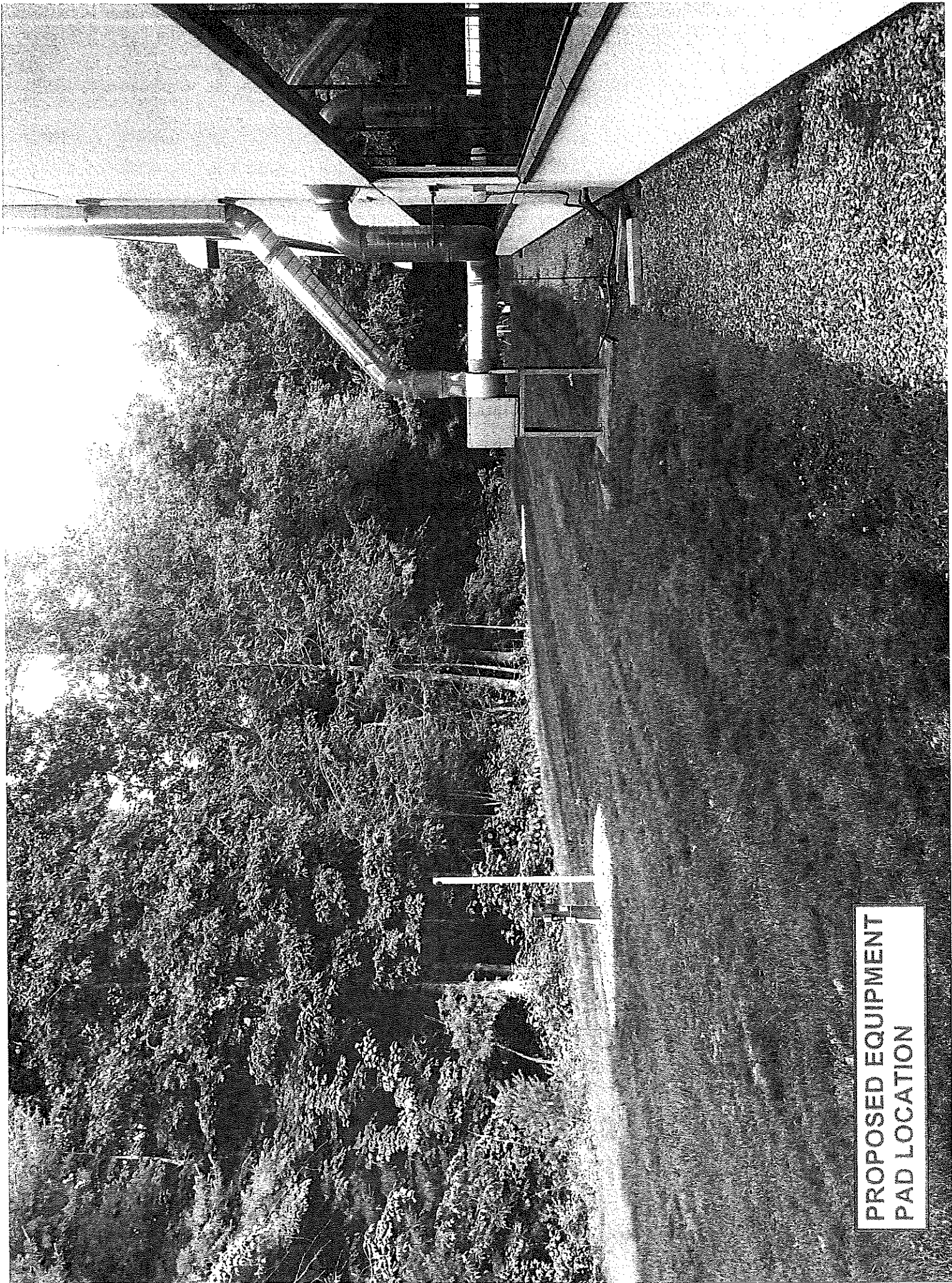
of ZBA, Conservation Commission,

NH Wetlands Board Actions: n/a

(Attach stipulations on separate sheet)

***For Office Use***

Data Sheet Checked By: \_\_\_\_\_ Date: \_\_\_\_\_



PROPOSED EQUIPMENT  
PAD LOCATION



July 26, 2018  
Job #1853-PTP1

Ms. Brooke Dubowik, Planning & Zoning Administrative Aide  
Town of Hudson  
Community Development Department  
12 School Street  
Hudson, NH 03051

**RE: BAE Systems – Proposed Equipment Yard  
Pope Technology Park  
65 River Road (Map 251, Lot 1)  
Hudson, NH**

Dear Brooke:

Pursuant to the above referenced property please find enclosed plans and application material for an enclosed equipment yard being proposed on the south side of BAE's Pope Technology Park (PTP) Building #1.

As background, the over the past several years BAE has prepared and submitted to the Hudson Planning Board site plans for very minor building additions, primarily to their PTP #2 building. On these occasions the Hudson Planning Board has granted a waiver of full site plan review, thus allowing the staff to handle the application in an administrative review process. BAE is now seeking an exterior concrete equipment pad (41'-5" x 118'-5") and appurtenant site improvements (access drive, utility relocation, fencing, etc.) to be constructed on the southerly side of the PTP #1 building, as shown on the accompanying Site Plan dated 29 June 2018, with revisions through July 27, 2018.

Therefore, given the size of the parcel and the minor nature of the proposed improvements, the proximity to abutting parcels and the fact that no additional building space or parking areas are being proposed, we will be formally asking the Hudson Planning Board to waive a full site plan review in order to allow an administrative review/approval process for this project. We respectfully request to be placed on the next available Hudson Planning Board agenda.

Thank you for your consideration of this request. Please feel free to contact me at this office if you have any questions or comments.

Sincerely,

James N. Petropulos, P.E.  
President/Principal Engineer  
HAYNER/SWANSON, INC.



July 26, 2018  
Job #1853-PTP1

Mr. Glenn Della-Monica, Chairman  
Town of Hudson Planning Board  
Town Hall  
12 School Street  
Hudson, NH 03051



**RE: SITE PLAN WAIVER REQUEST  
BAE SYSTEMS- POPE TECHNOLOGY PARK  
PROPOSED EQUIPMENT YARD  
65 RIVER ROAD  
HUDSON, NH**

Dear Mr. Chairman:

On behalf of our client, BAE Systems, we respectfully request a waiver of full site plan review (Section 275 of the Town of Hudson Planning Board Site Plan Review Regulations) to allow an administrative review/approval process for the above-referenced project.

**WAIVER REQUEST:**

**Site Plan Regulation:** Section 275-4 requires a site plan approval from the Hudson Planning Board for an expansion of an existing use.

**Waiver Request:** A waiver for full site plan review is requested from Section 275 in order to allow an administrative review/approval process for this fairly minor site improvement.

**Basis of Waiver:** BAE is proposing an exterior concrete equipment pad (41'-5" x 118'-5") and appurtenant site improvements (access drive, utility relocation, fencing, etc.) to be constructed on the southerly side of the PTP #1 building, as shown on the accompanying Site Plan dated 29 June 2018, with revisions through July 27, 2018. Given the size of the parcel, the minor nature of the proposed improvements, the proximity to abutting parcels and the fact that no additional building spaces or parking areas are being proposed, we are requesting the Hudson Planning Board to waive a full site plan review in order to allow and administrative review/approval process for this project.

**Summary:** We submit that the above waiver request is reasonable and is in keeping with other recent waiver requests for this property in recent years. Given the size, location and nature of this project, we feel that the above request, in combination with the submitted plans, meets the spirit and intent of the Town of Hudson Site Plan Regulations with regards accepted industry site design practices. Strict enforcement of the above section



would pose a hardship to the applicant since it would add significant time and expense to this project. Thank you for your consideration in this matter.

Respectfully,

A handwritten signature in black ink, appearing to read 'J. Petropulos', with a stylized flourish at the end.

James N. Petropulos, P.E.  
President/Principal Engineer  
**Hayner/Swanson, Inc.**

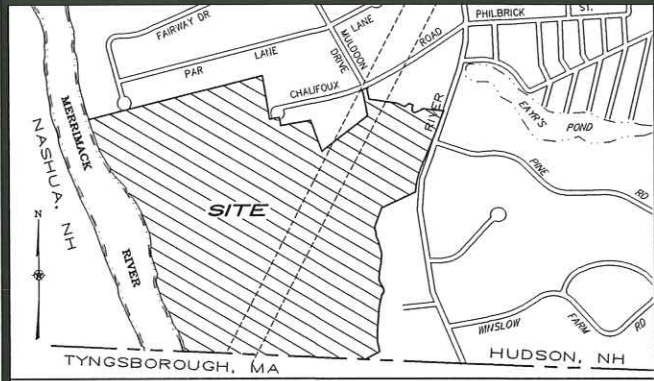




THIS PLAN DEPICTS A SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION BETWEEN SEPTEMBER 1995 AND DECEMBER 2010 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED. THE SURVEY WAS PERFORMED AS AN URBAN STANDARD PROPERTY SURVEY, AS DEFINED IN THE N.H. CODE OF ADMINISTRATIVE RULES, (CATEGORY I, CONDITION I, N.H.S.A STANDARDS) WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 15,000.

7/27/18  
DATE

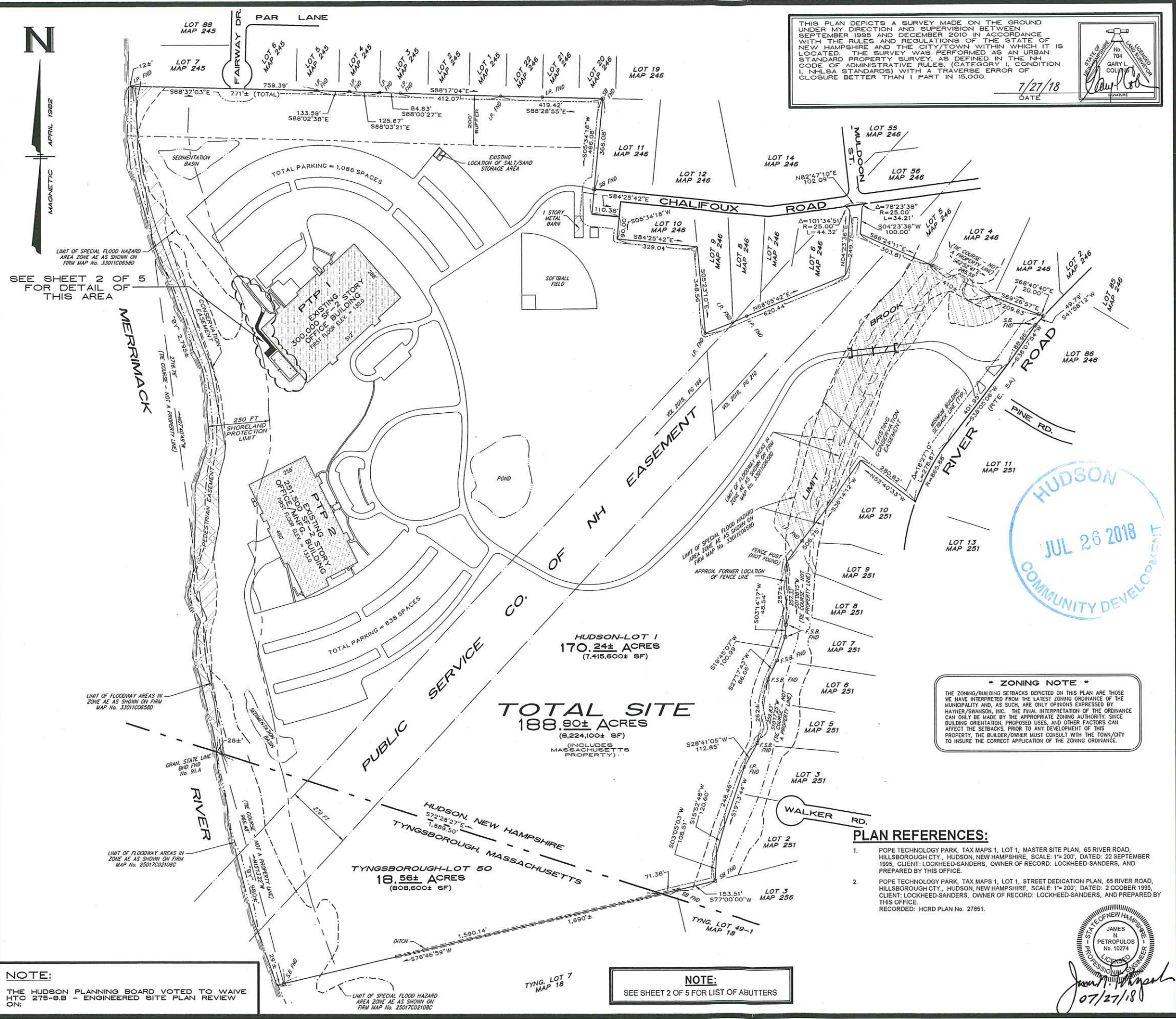
GARY L. COLBY  
LICENSED LAND SURVEYOR  
No. 784



VICINITY MAP SCALE: 1" = 1,000'

- NOTES:**
- SITE AREA:  
NEW HAMPSHIRE (LOT 1, MAP 251): 170.24 +/- ACRES  
MASSACHUSETTS (LOT 50, MAP 18): 18.56 +/- ACRES  
TOTAL: 188.80 +/- ACRES
  - PRESENT ZONING (HUDSON) I; INDUSTRIAL  
MINIMUM LOT REQUIREMENTS:  
-AREA: 30,000 SF  
-FRONTAGE: 150 FT  
MINIMUM BUILDING SETBACK REQUIREMENTS:  
-FRONT YARD: 50 FT  
-SIDE YARD: 15 FT  
-REAR YARD: 15 FT
  - LOT NUMBERS REFER TO THE TOWN OF HUDSON ASSESSORS MAPS 245, 246, 251 & 256 AND TOWN OF TYNGSBOROUGH ASSESSORS MAP 18.
  - SITE IS SERVICED BY MUNICIPAL SEWER AND WATER.
  - PURPOSE OF PLAN:  
TO SHOW PROPOSED EQUIPMENT PAD AND ACCOMPANYING IMPROVEMENTS ON THE SOUTH SIDE OF THE PTP 1 BUILDING.
  - PARKING:  
REQUIRED: 1 SPACE/600 SF x 553,270 SF = 923 SPACES  
PROVIDED: = 1,924 SPACES  
EXISTING: = 48 SPACES  
LESS STORAGE/PARKING SPACES = 7 SPACES  
LESS SALT/SAND STORAGE = 7 SPACES  
TOTAL PROVIDED: = 1,869 SPACES
  - OPEN SPACE:  
REQUIRED: 35 %  
PROVIDED: 77 %
  - THE PARCEL APPEARS TO BE LOCATED IN SPECIAL FLOOD HAZARD AREA ZONE AE, FLOODWAY AREAS IN ZONE AE, OTHER FLOOD AREAS ZONE X AND OTHER AREAS ZONE X, AS DETERMINED FROM THE FLOOD INSURANCE RATE MAPS (FIRM).  
HILLSBOROUGH COUNTY, TOWN OF HUDSON, NH, COMMUNITY No. 33092, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C0558D, DATED: SEPTEMBER 25, 2009.  
MIDDLESEX COUNTY, TOWN OF TYNGSBOROUGH, COMMUNITY No. 25022, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 25017C0108E, DATED: JUNE 4, 2010.
  - PRESENT OWNER OF RECORD:  
LOT 1, HUDSON TAX MAP 251  
LOT 50, TYNGSBOROUGH TAX MAP 18  
BAE SYSTEMS INFORMATION AND ELECTRONIC SYSTEMS INTEGRATION INC.  
PO BOX 868  
PTP02-2004  
NASHUA, NH 03061-0868  
HCRD: VOL 6322, PG 362  
MNRD: VOL 15134, PG 100

SEE SHEET 2 OF 5 FOR DETAIL OF THIS AREA



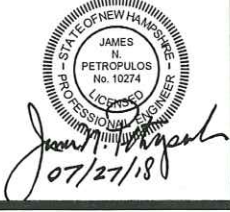
**\* ZONING NOTE \***

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

- PLAN REFERENCES:**
- POPE TECHNOLOGY PARK, TAX MAPS 1, LOT 1, MASTER SITE PLAN, 65 RIVER ROAD, HILLSBOROUGH CTY., HUDSON, NEW HAMPSHIRE, SCALE: 1"=200', DATED: 22 SEPTEMBER 1995, CLIENT: LOCKHEED-SANDERS, OWNER OF RECORD: LOCKHEED-SANDERS, AND PREPARED BY THIS OFFICE.
  - POPE TECHNOLOGY PARK, TAX MAPS 1, LOT 1, STREET DEDICATION PLAN, 65 RIVER ROAD, HILLSBOROUGH CTY., HUDSON, NEW HAMPSHIRE, SCALE: 1"=200', DATED: 2 OCTOBER 1995, CLIENT: LOCKHEED-SANDERS, OWNER OF RECORD: LOCKHEED-SANDERS, AND PREPARED BY THIS OFFICE.  
RECORDED: HCRD PLAN No. 27851.

**NOTE:**  
THE HUDSON PLANNING BOARD VOTED TO WAIVE HTO 275-9-B - ENGINEERED SITE PLAN REVIEW ON:

**NOTE:**  
SEE SHEET 2 OF 5 FOR LIST OF ABUTTERS

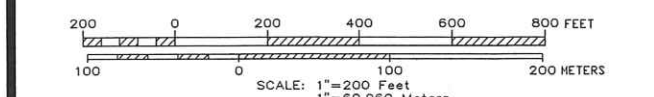


REV.	DESCRIPTION	DATE
0	ISSUED FOR PERMIT	07/27/18
B	ADDENDUM #1	07/20/18
A	ISSUED FOR BID	06/29/18
	DESCRIPTION	DATE

ISSUED FOR PERMIT  
CURRENT ISSUE STATUS: 07/27/18

MASTER SITE PLAN  
(LOT 1, HUDSON TAX MAP 251)  
**PROPOSED EQUIPMENT YARD**  
65 RIVER ROAD  
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**BAE Systems Information And Electronic Systems Integration Inc.**  
PO BOX 868 NASHUA, NEW HAMPSHIRE 03061-0868



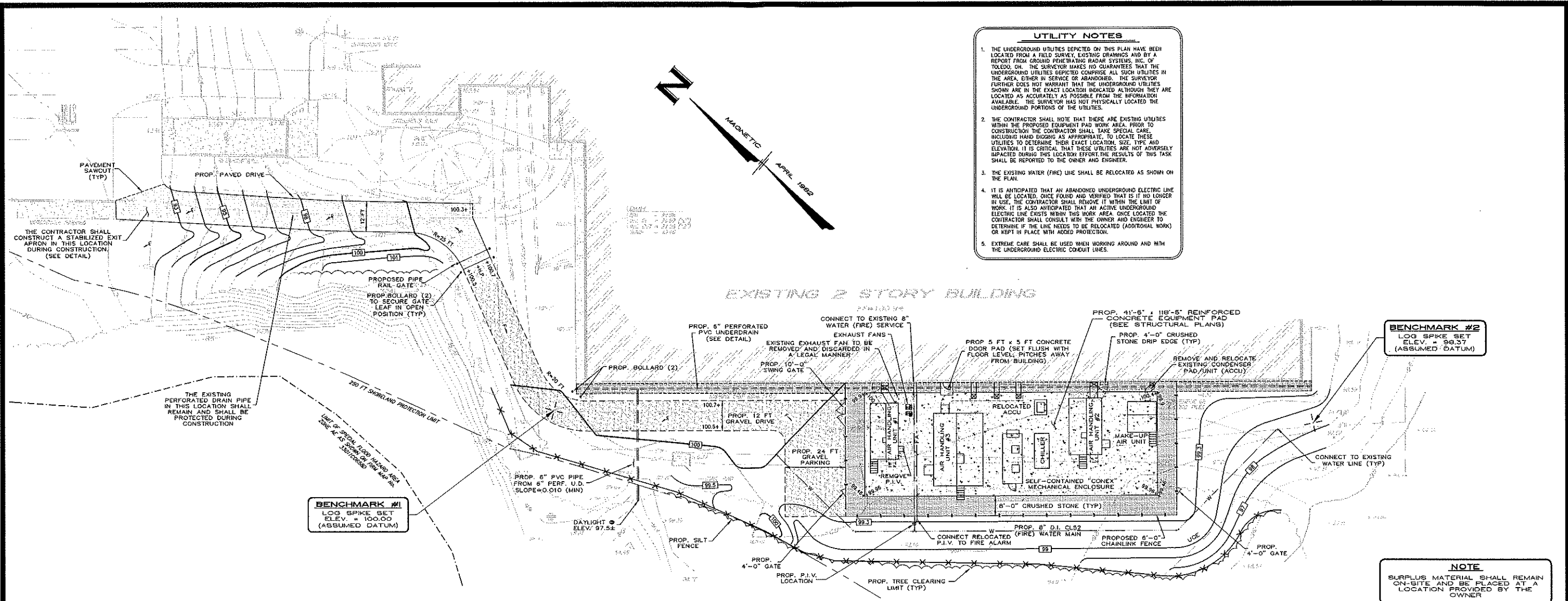
29 JUNE 2018

**HSI** Hayner/Swanson, Inc.  
Civil Engineers/Land Surveyors  
Three Congress Street Nashua, New Hampshire 03062-3301  
Tel (603) 883-2057 Fax (603) 883-5057  
www.haynerswanson.com

FIELD BOOK: 1236	DRAWING NAME: 1853PT1-F071	1853-PTP1	1 OF 5
DRAWING LOCATION: R:\1853\DWG\1853-PT1		File Number	Sheet

PRINT SIZE: 22"x34"





**UTILITY NOTES**

1. THE UNDERGROUND UTILITIES DEPICTED ON THIS PLAN HAVE BEEN LOCATED FROM A FIELD SURVEY, EXISTING DRAWINGS AND BY A REPORT FROM GROUND PENETRATING RADAR SYSTEMS, INC. OF TOLDO, OH. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.
2. THE CONTRACTOR SHALL NOTE THAT THERE ARE EXISTING UTILITIES WITHIN THE PROPOSED EQUIPMENT PAD WORK AREA. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL TAKE SPECIAL CARE, INCLUDING HAND DIGGING AS APPROPRIATE, TO LOCATE THESE UTILITIES TO DETERMINE THEIR EXACT LOCATION, SIZE, TYPE AND ELEVATION. IT IS CRITICAL THAT THESE UTILITIES ARE NOT ADVERSELY IMPACTED DURING THIS LOCATION EFFORT. THE RESULTS OF THIS TASK SHALL BE REPORTED TO THE OWNER AND ENGINEER.
3. THE EXISTING WATER (FIRE) LINE SHALL BE RELOCATED AS SHOWN ON THE PLAN.
4. IT IS ANTICIPATED THAT AN ABANDONED UNDERGROUND ELECTRIC LINE WILL BE LOCATED. ONCE FOUND AND VERIFIED THAT IS IT NO LONGER IN USE, THE CONTRACTOR SHALL REMOVE IT WITHIN THE LIMIT OF WORK. IT IS ALSO ANTICIPATED THAT AN ACTIVE UNDERGROUND ELECTRIC LINE EXISTS WITHIN THIS WORK AREA. ONCE LOCATED THE CONTRACTOR SHALL CONSULT WITH THE OWNER AND ENGINEER TO DETERMINE IF THE LINE NEEDS TO BE RELOCATED (ADDITIONAL WORK) OR KEPT IN PLACE WITH ADDED PROTECTION.
5. EXTREME CARE SHALL BE USED WHEN WORKING AROUND AND WITH THE UNDERGROUND ELECTRIC CONDUIT LINES.

**BENCHMARK #2**  
LOG SPIKE SET  
ELEV. = 99.37  
(ASSUMED DATUM)

**BENCHMARK #1**  
LOG SPIKE SET  
ELEV. = 100.00  
(ASSUMED DATUM)

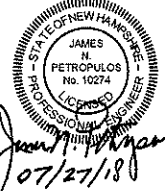
**NOTE**  
SURPLUS MATERIAL SHALL REMAIN ON-SITE AND BE PLACED AT A LOCATION PROVIDED BY THE OWNER

**LEGEND**

- EXISTING GROUND CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED GRADE
- PROPOSED SPOT GRADE
- STORM DRAIN & CATCH BASIN
- WATER MAIN & GATE VALVE
- WATER MAIN & POST INDICATOR VALVE (PIV)
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- UNKNOWN UNDERGROUND UTILITY
- TREE LINE
- PAVEMENT SAWCUT
- REINFORCED CONCRETE
- PROPOSED FULL-DEPTH PAVEMENT
- PROPOSED GRAVEL DRIVE
- DECIDUOUS TREE
- BOLLARD
- TEMPORARY BENCHMARK

**ABUTTERS LIST**

- NEW HAMPSHIRE**
- LOT 1, MAP 245**  
HALL FAMILY REVOCABLE TRUST OF 2015  
GEORGE R. JR. & MARYANN HALL, TRS.  
18 PAR LANE  
HUDSON, NH 03051  
BK 8778, PG 2285
- LOT 2, MAP 245**  
NIGEL H. & SUSAN M. ROBERTS  
20 PAR LANE  
HUDSON, NH 03051  
BK 5487, PG 1218
- LOT 3, MAP 245**  
JOCELYN E. OUELLETTE & NICHOLAS A. FIORILLA  
22 PAR LANE  
HUDSON, NH 03051  
BK 8558, PG 2828
- LOT 4, MAP 245**  
RICHARD P. & MARGARET LAVALLEE  
24 PAR LANE  
HUDSON, NH 03051  
BK 2710, PG 0952
- LOT 5, MAP 245**  
JOSEPH B. & BARBARA CIVITARESE  
28 PAR LANE  
HUDSON, NH 03051  
BK 2616, PG 0285
- LOT 6, MAP 245**  
BERNARD J. & LORETTA S. CHIONIERE  
28 PAR LANE  
HUDSON, NH 03051  
BK 6927, PG 0036
- LOT 7, MAP 245**  
JOHN M. ROCKSTROH  
33 FAIRWAY DRIVE  
HUDSON, NH 03051  
BK 2751, PG 0454
- LOT 8, MAP 245**  
CAMPBELL J. GIBSON & JOAN L. ZYKIEWICZ ONE TRUST  
CAMPBELL J. GIBSON & JOAN L. ZYKIEWICZ, TRS.  
31 FAIRWAY DRIVE  
HUDSON, NH 03051  
BK 5545, PG 1156
- LOT 9, MAP 245**  
WARREN R. & SUZANNE BARCLAY REVOCABLE TRUST  
WARREN R. & SUZANNE BARCLAY TRS.  
24 CHALIFOUX ROAD  
HUDSON, NH 03051  
BK 8848, PG 0381
- LOT 10, MAP 245**  
SUZANNE BARCLAY REVOCABLE TRUST  
WARREN R. & SUZANNE BARCLAY, TRS.  
24 CHALIFOUX ROAD  
HUDSON, NH 03051  
BK 8848, PG 0381
- LOT 11, MAP 245**  
RICHARD A. HANLON  
PO BOX 52  
LONDONBERRY, NH 03055  
BK 7700, PG 0435
- LOT 12, MAP 245**  
JAMES W. & MARY ANN WILL  
25 CHALIFOUX ROAD  
HUDSON, NH 03051  
BK 5457, PG 0561
- LOT 13, MAP 245**  
DANA W. MCCOY, TR.  
21 CHALIFOUX ROAD  
HUDSON, NH 03051  
BK 7791, PG 1884
- LOT 14, MAP 245**  
CHALIFOUX ROAD REALTY TRUST  
DANA W. MCCOY, TR.  
21 CHALIFOUX ROAD  
HUDSON, NH 03051  
BK 7791, PG 1884
- LOT 15, MAP 245**  
JOSEPH MORRISSEY  
10 PAR LANE  
HUDSON, NH 03051  
BK 5818, PG 0564
- LOT 16, MAP 245**  
SETH & CYNTHIA L. DICHARD  
12 PAR LANE  
HUDSON, NH 03051  
BK 8137, PG 1812
- LOT 17, MAP 245**  
JAMES M. GRADY  
14 PAR LANE  
HUDSON, NH 03051  
BK 5821, PG 1624
- LOT 18, MAP 245**  
JOHN F. LESER  
HUDSON, NH 03051  
BK 8333, PG 2796
- LOT 19, MAP 245**  
TRICIA JARVIS & RANDY S. NORMANDIN  
3 MULDOON STREET  
HUDSON, NH 03051  
BK 7883, PG 0114
- LOT 20, MAP 245**  
WILLIAM C. JOYCE & SHANA M. PARIS  
28 CHALIFOUX ROAD  
HUDSON, NH 03051  
BK 9007, PG 0025
- LOT 21, MAP 245**  
THE LOCICERO FAMILY REVOCABLE TRUST  
DAVID M. & CAROL A. LOCICERO, TRS.  
2 JACQUELINE STREET  
HUDSON, NH 03051  
BK 7709, PG 0328
- LOT 22, MAP 245**  
TAYMAR REALTY, LLC  
440 MIDDLESEX ROAD, STE. 19  
TYNGBORO, MA 01879  
BK 7196, PG 0218
- LOT 23, MAP 245**  
MURIEL RICHARD  
3 WALKER ROAD  
HUDSON, NH 03051  
BK 8857, PG 0031
- LOT 24, MAP 245**  
A & J STATELINE REALTY TRUST  
AJIT & ANJALI PATEL, TRS.  
83 RIVER ROAD  
HUDSON, NH 03051  
BK 7116, PG 0124
- LOT 25, MAP 245**  
THE MARILYN D. MCGRATH REVOCABLE TRUST OF 2017  
MARILYN E. MCGRATH, TR.  
81 RIVER ROAD  
HUDSON, NH 03051  
BK 9043, PG 1014
- LOT 26, MAP 245**  
KENNETH L. MCGRATH  
20 BALDOON STREET  
MILFORD, NH 03055  
BK 7292, PG 0478
- LOT 27, MAP 245**  
ESTATE OF GARY MCGRATH  
c/o THERESA M. MCGRATH  
77 RIVER ROAD  
HUDSON, NH 03051  
BK 3253, PG 0128
- LOT 28, MAP 245**  
75 RIVER ROAD CONDOMINIUMS  
BK 8849, PG 581
- LOT 29, MAP 245**  
75 RIVER ROAD REALTY TRUST  
DONALD NICOLLIS, TR.  
70 BRIDGE STREET  
PELHAM, NH 03276  
BK 8439, PG 2318
- LOT 30, MAP 245**  
ROBERT KOPELMAN  
P.O. BOX 610407  
NEWTON, MA 02461  
BK 8852, PG 120
- LOT 31, MAP 245**  
MARCUS KOPELMAN  
P.O. BOX 610407  
NEWTON, MA 02461  
BK 8852, PG 122
- LOT 32, MAP 245**  
MATTHEW KOPELMAN  
P.O. BOX 610407  
NEWTON, MA 02461  
BK 8852, PG 124
- LOT 33, MAP 245**  
AJIT PATEL  
8 NOTTINGHAM RD  
TYNGBORO, MA 01879  
BK 9042, PG 2872
- LOT 34, MAP 245**  
A & J STATELINE REALTY TRUST  
AJIT & ANJALI PATEL, TRS.  
83 RIVER ROAD  
HUDSON, NH 03051  
BK 7116, PG 0124
- LOT 35, MAP 245**  
MICHAEL J. & MELISSA J. CASEY  
97R RIVER ROAD  
HUDSON, NH 03051  
BK 8082, PG 2551
- LOT 36, MAP 245**  
DRACUT WATER SUPPLY DISTRICT  
59 HOPKINS STREET  
DRACUT, MA 01826  
BK 1226, PG 0351
- LOT 37, MAP 245**  
TIMOTHY J. & JOHANNA B. PORTER  
33 WINSLOW FARM ROAD  
HUDSON, NH 03051  
BK 16131, PG 058
- MASSACHUSETTS**



ISSUED FOR PERMIT 07/27/18

CURRENT ISSUE STATUS: 07/27/18

**SITE PLAN (LOT 1, HUDSON TAX MAP 251)**

**PROPOSED EQUIPMENT YARD**

65 RIVER ROAD  
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**B&E Systems Information And Electronic Systems Integration Inc.**  
PO BOX 868 NASHUA, NEW HAMPSHIRE 03061-0868

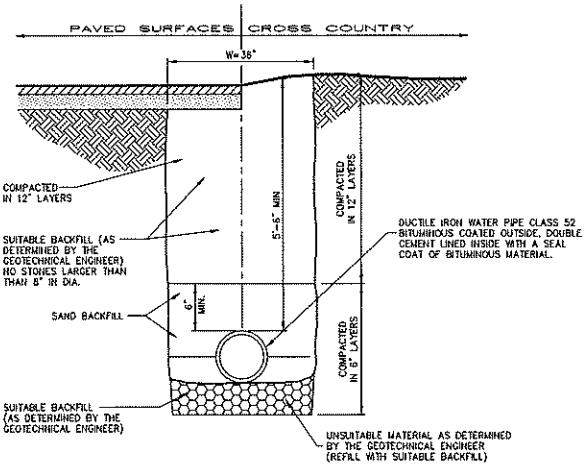
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1"=6.096 Meters

29 JUNE 2018

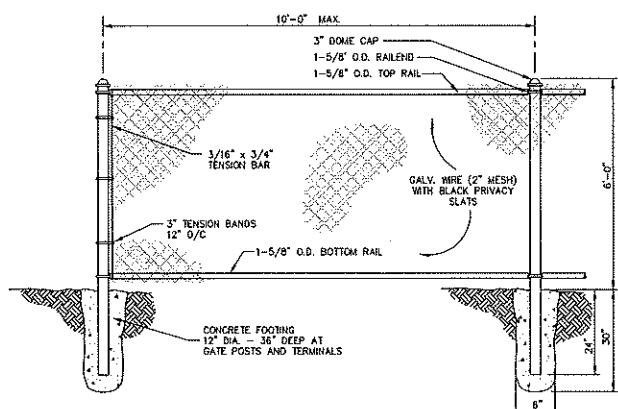
**HISI** Hayner/Swanson, Inc.  
Civil Engineers/Land Surveyors  
Three Congress Street Nashua, New Hampshire 03062-3301  
Tel (603) 883-2057 Fax (603) 883-5057  
www.hayner-swanson.com

FIELD BOOK: 1235	DRAWING NAME: 1853P1P1-F021	1853-P1P1	2 OF 5
DRAWING LOCATION: R:\1853\DWG\1853-P1P1		File Number	Sheet

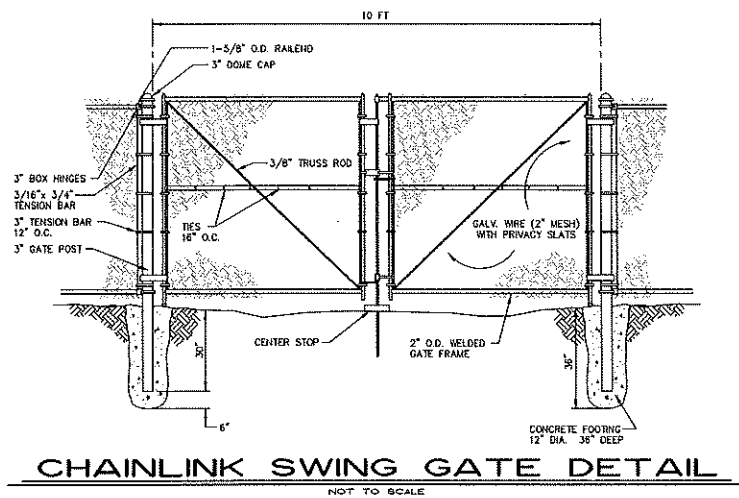
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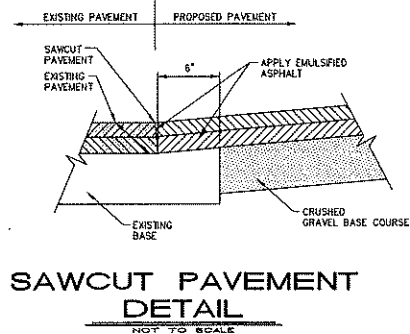
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NOT TO SCALE



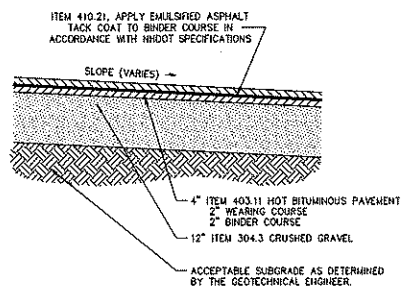
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NOT TO SCALE



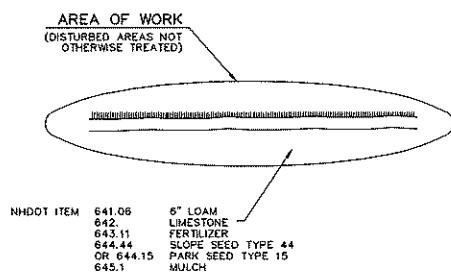
**CHAINLINK SWING GATE DETAIL**  
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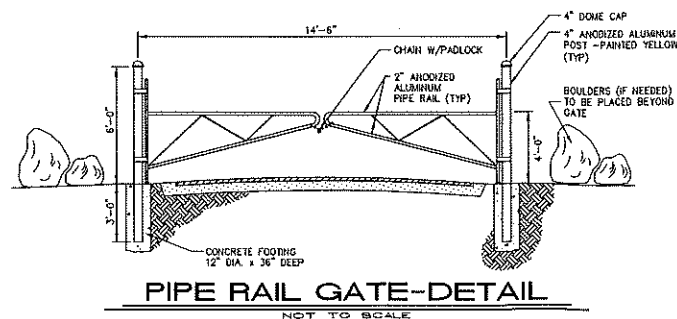
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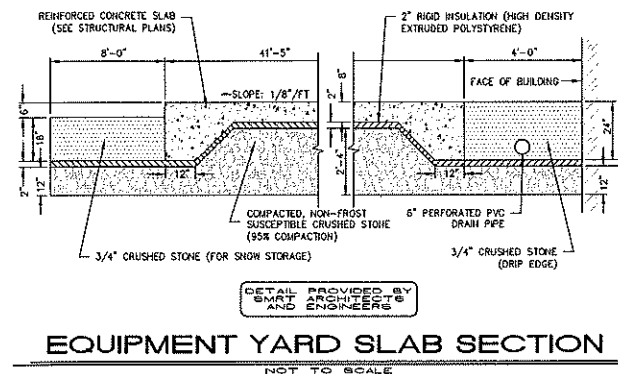
**TYPICAL PAVEMENT SECTION**  
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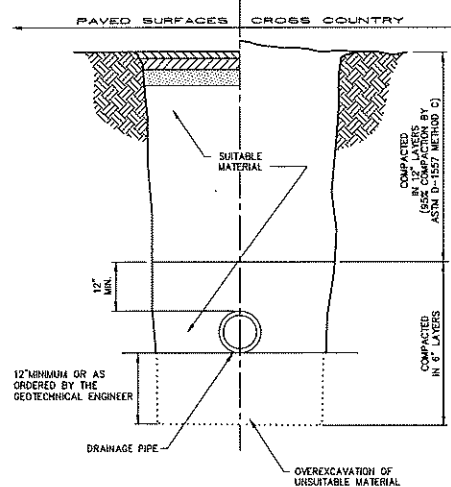
**LOAM AND SEED DETAIL**  
NOT TO SCALE



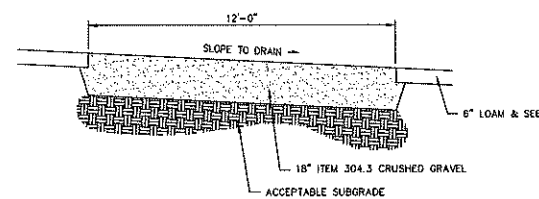
**PIPE RAIL GATE-DETAIL**  
NOT TO SCALE



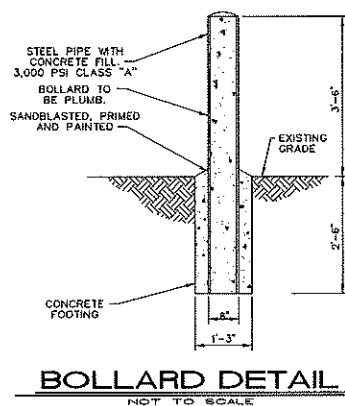
**EQUIPMENT YARD SLAB SECTION**  
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**TYPICAL DRAINAGE TRENCH SECTION**  
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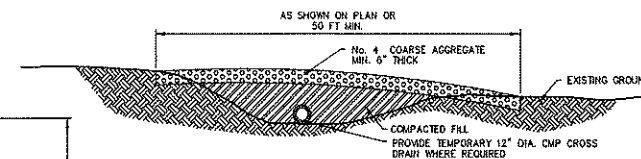
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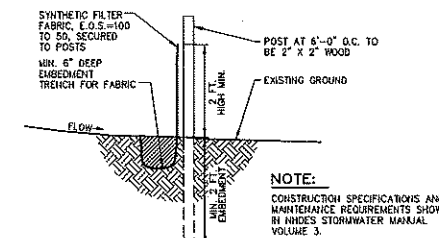
**BOLLARD DETAIL**  
NOT TO SCALE

**CONSTRUCTION NOTES:**

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, NH AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, LATEST VERSION, ARE HEREBY INCORPORATED BY REFERENCE.
2. SITE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF HUDSON, NH.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-800-225-4977 AT LEAST 72 HOURS BEFORE DIGGING.
4. ALL WATER LINE, VALVES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH PENNICHUCK WATER WORKS SPECIFICATIONS.



**STABILIZED CONSTRUCTION EXIT DETAIL**  
NOT TO SCALE



**SILT FENCE DETAIL**  
NOT TO SCALE

REV.	DESCRIPTION	DATE
0	ISSUED FOR PERMIT	07/27/18
B	ADDENDUM #1	07/20/18
A	ISSUED FOR BID	06/29/18

**ISSUED FOR PERMIT**  
CURRENT ISSUE STATUS: 07/27/18

**DETAIL SHEET - GENERAL SITE**  
(LOT 1, HUDSON TAX MAP 251)

**PROPOSED EQUIPMENT YARD**  
65 RIVER ROAD  
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**BAE Systems Information And Electronic Systems Integration Inc.**  
PO BOX 868 NASHUA, NEW HAMPSHIRE 03061-0868

SCALE AS SHOWN

29 JUNE 2018

**HSI** Hayner/Swanson, Inc.  
Civil Engineers/Land Surveyors  
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FIELD BOOK: 1236	DRAWING NAME: 1853PT1-F021	1853-PT1	3 OF 5
DRAWING LOCATION: R:\1853\DWG\1853-PT1		File Number	Sheet

**NOTE:**  
THE HUDSON PLANNING BOARD VOTED TO WAIVE LTC 275-B.9 - ENGINEERED SITE PLAN REVIEW ON:

**SITE DEMOLITION - SECTION 02000**

**PART 1 - GENERAL**

1.01 SCOPE OF WORK:

A. THIS WORK SHALL CONSIST OF REMOVAL AND DISPOSAL OF THE FOLLOWING ITEMS AS NECESSARY FOR THE CONSTRUCTION OF THE PROJECT, AS SHOWN ON THE PLANS AND SPECIFIED HEREIN:

- MISCELLANEOUS STRUCTURES INCLUDING BUT NOT LIMITED TO EXISTING FENCING, CONCRETE PADS, MISC BOULDERS, ETC. THAT ARE NOT TO REMAIN.
- SITE UTILITIES THAT ARE BEING ABANDONED.

B. ALL FEES, DISPOSAL COSTS, TAXES, PERMITS, INSPECTIONS AND THE LIKE NECESSARY FOR THE PROSECUTION OF THE WORK SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.

1.02 RELATED SECTIONS:

A. SECTION 02100 - CLEARING & GRUBBING

B. SECTION 02300 - EARTHWORK (BY OTHERS)

1.03 RESPONSIBILITY OF THE CONTRACTOR:

A. MINIMUM PRECAUTIONS NOTED IN THIS SECTION SHALL IN NO WAY RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR IMPLEMENTING STRICTER HEALTH AND SAFETY PRECAUTIONS AS WARRANTED BY THE WORK.

B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO REGULATIONS, SPECIFICATIONS, AND RECOGNIZED STANDARD PRACTICES. THE ENGINEER SHALL NOT BE RESPONSIBLE AT ANY TIME FOR THE CONTRACTOR'S VIOLATION OF PERMITS, FEDERAL OR LOCAL REGULATIONS OR EMPLOYMENT OF LABORERS AND OTHERS.

1.04 PROJECT CONDITIONS:

A. VISIT THE SITE TO REVIEW ALL DETAILS OF THE WORK AND WORKING CONDITIONS AND TO VERIFY WORK REQUIREMENTS AND DIMENSIONS IN THE FIELD. NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCY BEFORE PERFORMING ANY WORK.

B. THE CONTRACTOR SHALL NOT PROCEED WITH REMOVAL OF SITE UTILITIES INCLUDING POWER, TELEPHONE, GAS, WATER, SEWER, DRAINAGE OR OTHER UTILITY UNTIL EXPRESSLY APPROVED IN WRITING BY THE OWNER. THE OWNER'S APPROVAL WILL BE BASED ON WORK PLANS SUBMITTED BY THE CONTRACTOR SHOWING A SCHEDULE OF THE WORK, TEMPORARY SERVICE CONNECTIONS, IF NECESSARY.

C. CONSULT OFFICIAL RECORDS OF EXISTING UTILITIES, BOTH SURFACE AND SUBSURFACE, AND THEIR CONNECTION TO BE FULLY INFORMED ON ALL EXISTING CONDITIONS AND LIMITATIONS AS THEY APPLY TO THIS WORK AND ITS RELOCATION TO OTHER CONSTRUCTION WORK.

D. PROTECT EXISTING UTILITIES TO REMAIN WITHIN THE WORK AREA IN ACCORDANCE WITH THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION OVER SAME.

E. EXPLOSIVES: USE OF EXPLOSIVES FOR DEMOLITION WILL NOT BE PERMITTED.

F. PROTECTIONS: ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF DEMOLITION, CONDUCT OPERATIONS TO PREVENT INJURY STRUCTURES, OTHER FACILITIES, AND PERSONS.

G. DAMAGES: PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AT NO COST TO OWNER.

1.05 UTILITIES:

A. MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.

B. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAKING ALL NECESSARY ARRANGEMENTS AND FOR PERFORMING ANY NECESSARY WORK INVOLVED IN THE DISCONTINUANCE OR INTERRUPTION OF ALL PUBLIC AND PRIVATE UTILITIES OR SERVICES UNDER THE JURISDICTION OF THE UTILITY COMPANIES.

C. ALL UTILITIES BEING ABANDONED SHALL BE DISCONNECTED AND TERMINATED AT THE SERVICE MAINS BY LICENSED TRADESMEN IN CONFORMANCE WITH THE REQUIREMENT OF THE UTILITY COMPANIES OR THE MUNICIPALITY OWNING OR CONTROLLING THEM.

D. ALL UTILITY STRUCTURES (MANHOLES, CATCH BASINS, TANKS, ETC) WHICH WILL NOT BE REINCORPORATED INTO THE FINAL WORK SHALL BE REMOVED AND DECOMMISSIONED. ALL PIPES WHICH ARE TO BE ABANDONED SHALL BE REMOVED AS PART OF THE EXCAVATION.

**PART 2 - PRODUCTS (NOT USED)**

**PART 3 - EXECUTION**

3.01 DEMOLITION:

A. SOLID WASTE:

- THE CONTRACTOR SHALL REMOVE ABOVE-GROUND SOLID WASTE FROM THE SITE. MATERIALS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO:
  - CONCRETE PADS, FENCING, CULVERTS AND DRAINAGE PIPE.
  - MISCELLANEOUS SITE ITEMS INTERFERING WITH AND NOT INCORPORATED INTO THE FINAL WORK.
 THE MATERIALS SHALL BE SEGREGATED AND DISPOSED AT FACILITIES PERMITTED TO ACCEPT THE VARIOUS WASTES IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
- DUST/DIRT/OBSOLETE:
  - USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN AIR TO LOWEST PRACTICAL LEVEL.
  - DO NOT USE WATER WHEN IT MAY CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS ICE, FLOODING, AND EROSION AND SEDIMENTATION.
  - CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS, AS DIRECTED BY ENGINEER OR GOVERNING AUTHORITIES.
- BELOW-GRADE CONSTRUCTION:
  - DEMOLISH AND REMOVE BELOW-GRADE CONSTRUCTION AND CONCRETE SLABS ON GRADE.
- FILLING OF VOIDS:
  - COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES OR REMOVAL OF TANKS, PADS, AND DRY WELLS WITH COMPACTED FILL PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 02300.
- BURIED PIPING:
  - REMOVE ALL BURIED PIPING ENCOUNTERED DURING EXCAVATION WITHIN THE LIMIT OF WORK.

3.02 DISPOSAL:

A. ALL MATERIALS SHALL BE DISPOSED IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REQUIREMENTS.

- DISPOSE OF NONHAZARDOUS BUILDING DEMOLITION DEBRIS AT FACILITIES PERMITTED TO ACCEPT NONHAZARDOUS DEBRIS.
- DISPOSE OF SOLID WASTE AT FACILITIES PERMITTED TO ACCEPT THE WASTE.
- MATERIALS FROM DEMOLITION STRUCTURES SHALL NOT BE BURNED ON SITE.

3.03 CLEANING:

A. UPON COMPLETION OF DEMOLITION WORK, CLEAN AREAS WITHIN CONTRACT LIMITS AND REMOVE TOOLS AND EQUIPMENT. PROVIDE SITE CLEAR, CLEAN, FREE OF DEMOLISHED MATERIALS, AND SUITABLE FOR SITE WORK OPERATIONS.

3.04 RE-USE OF SALVAGEABLE MATERIAL:

A. EXISTING DRAINAGE PIPES AND MANHOLE STRUCTURES SHALL NOT BE RE-USED AS PART OF WORK TO BE PERFORMED UNDER THIS CONTRACT, UNLESS NOTED OTHERWISE. ANY SECTIONS OF PIPES OR MANHOLES THAT REMAIN IN GOOD CONDITION AFTER REMOVAL SHALL BECOME PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE.

**CLEARING AND GRUBBING - SECTION 02100**

**PART 1 - GENERAL**

1.01 WORK INCLUDED:

A. CLEARING WORK, WHEN APPLICABLE, INCLUDES BUT IS NOT LIMITED TO REMOVAL OF TREES, BRUSH STUMPS, WOODED GROWTH, GRASS, SHRUBS, POLES, POSTS, SIGNS, FENCES, CULVERTS AND OTHER VEGETATION AND MINOR STRUCTURES. THE PROTECTION OF REMAINING WOODED GROWTH, THE STORAGE AND PROTECTION OF MINOR STRUCTURES AND MATERIALS WHICH ARE TO BE REPLACED, AND THE DISPOSAL OF NON-SALVAGEABLE STRUCTURES AND MATERIALS, AND NECESSARY PRELIMINARY GRADING.

B. ALL STUMPS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.

1.02 LIMITS OF WORK:

A. PERFORM CLEARING WORK WITHIN THE AREAS REQUIRED FOR CONSTRUCTION OR AS SHOWN ON THE DRAWINGS AND TO A DEPTH BELOW THE EXISTING GRADE AS DIRECTED BY THE ENGINEER.

B. PERFORM ADDITIONAL CLEARING WORK WITHIN AREAS AND TO DEPTHS WHICH, IN THE OPINION OF THE ENGINEER, INTERFERE WITH EXCAVATION AND/OR CONSTRUCTION, OR ARE OTHERWISE OBJECTIONABLE.

**NOTE:**

THE HUDSON PLANNING BOARD VOTED TO WAIVE HTC 276-B-B - ENGINEERED SITE PLAN REVIEW ON:

**QUALITY ASSURANCE:**

A. SATISFACTORILY REMOVED FROM THE SITE AND DISPOSE OF STUMPS AT AN OFF-SITE STUMP DISPOSAL AREA IN ACCORDANCE WITH THE PLANS AND DETAILS.

**PERMITS:**

A. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS ASSOCIATED WITH WORK UNDER THIS SECTION INCLUDING THE NOTICE OF INTENT TO CUT.

**PRODUCTS**

2.01 MATERIALS:

A. ALL TIMBER AND WOOD SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE PROVIDED. THE CONTRACTOR SHALL PROVIDE WRITTEN CERTIFICATION TO THE OWNER REGARDING QUANTITY OF TIMBER HARVESTED FROM THIS CONTRACT.

B. RESTORE MATERIALS AND STRUCTURES TO BE REPLACED TO THEIR ORIGINAL CONDITION AND LOCATION AS CLOSE AS POSSIBLE.

C. REPAIR ANY DAMAGE TO STRUCTURES USING THE SAME MATERIALS CONTAINED IN THE STRUCTURES, TO THE COMPLETE SATISFACTION OF THE OWNER AND ENGINEER.

**EXECUTION**

3.01 PREPARATION:

A. CAREFULLY PRESERVE AND PROTECT FROM INJURY ALL TREES AND/OR SHRUBS MARKED TO BE SAVED.

B. WHERE EXCAVATION IS REQUIRED CONTAINING TREES, SHRUBS, OTHER GROWTH, OR ANY STRUCTURE OR CONSTRUCTION, OBTAIN THE ENGINEER'S DIRECTION CONCERNING THE EXTENT TO WHICH SUCH OBSTACLES CAN BE CLEARED OR STRIPPED BEFORE PERFORMING WORK.

C. REMOVE ONLY THOSE PARTICULAR GROWTHS OR STRUCTURES WHICH ARE, IN THE OPINION OF THE ENGINEER, ESSENTIAL FOR CONSTRUCTION OPERATIONS.

D. ALL OTHER REMOVALS OR DAMAGE SHALL BE REPLACED OR RESTORED AT THE CONTRACTOR'S EXPENSE.

E. RIGHT OF WAY:

- WHERE EXCAVATION IS REQUIRED ON PUBLIC OR PRIVATE RIGHTS-OF-WAY CONTAINING TREES, SHRUBS, OTHER GROWTH, OR ANY STRUCTURE OR CONSTRUCTION, OBTAIN THE ENGINEER'S DIRECTION CONCERNING THE EXTENT TO WHICH SUCH OBSTACLES CAN BE CLEARED OR STRIPPED BEFORE PERFORMING WORK.
- IN ALL RIGHTS-OF-WAY, REMOVE ONLY THOSE PARTICULAR GROWTHS OR STRUCTURES WHICH ARE, IN THE OPINION OF THE ENGINEER, ESSENTIAL FOR CONSTRUCTION OPERATIONS.
- ALL OTHER REMOVALS OR DAMAGE SHALL BE REPLACED OR RESTORED AT THE CONTRACTOR'S EXPENSE.

3.02 PERFORMANCE:

A. CLEARING:

- REMOVE AND DISPOSE OF ALL TREES, BRUSH, SLASH, STUBS, BUSHES, SHRUBS, PLANTS, DEBRIS AND OBSTRUCTIONS WITHIN THE AREA TO BE CLEARED EXCEPT ANY AREAS DESIGNATED AS "SAVE TREES", AND EXCEPT AS OTHERWISE SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER.
- REMOVE ALL STUMPS AND DISPOSE OF MATERIAL AS IT ACCUMULATES TO AN OFF-SITE DISPOSAL AREA AS APPROVED BY THE ENGINEER.
- BRUSH, BRANCHES, TOPS, ETC. SHALL BE CHIPPED AND DISPOSED OF OFF-SITE.

B. PROTECTION OF WOODED GROWTH:

- FELL TREES TOWARD THE CENTER OF THE AREA BEING CLEARED TO PROTECT TREES AND SHRUBS TO BE LEFT STANDING.
- CUT UP, REMOVE, AND DISPOSE OF TREES UNAVOIDABLY FALLING OUTSIDE THE AREA TO BE CLEARED.
- EMPLOY SKILLED WORKMEN OR TREE SURGEONS TO TRIM AND REPAIR ALL TREES THAT ARE DAMAGED BUT ARE TO BE LEFT STANDING AND PAINT ALL CUT SURFACES WITH AN APPROVED BITUMINOUS PAINT.

3.03 REPLACEMENT OF MATERIALS:

A. PAVING, CURBING AND MISCELLANEOUS MATERIAL:

- REMOVE ALL PAVING, SUB-PAVING, CURBING, GUTTERS, BRICK, PAVING BLOCK, GRANITE CURBING, FLAGGING AND MINOR STRUCTURES OVER THE AREAS TO BE EXCAVATED AS DIRECTED BY THE ENGINEER.
- REMOVE AND REPLACE BITUMINOUS ASPHALT AND PORTLAND CEMENT CONCRETE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THIS DIVISION.
- PROPERLY STORE AND PRESERVE ALL MATERIAL TO BE REPLACED IN A LOCATION APPROVED BY THE OWNER'S REPRESENTATIVE.
- ANY EXISTING LIGHT POLES AND FIXTURES LOCATED WITHIN THE LIMIT OF WORK THAT ARE TO BE RELOCATED SHALL BE SAVED FOR REUSE.

B. SHRUBS AND BUSHES: REMOVE, STORE AND REPLACE ORNAMENTAL SHRUBS AND BUSHES TO BE PRESERVED IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES.

C. TOPSOIL: CAREFULLY REMOVE, STORE, AND PROTECT TOPSOIL IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THIS DIVISION.

D. RESPONSIBILITY: REPLACE AT NO ADDITIONAL COST TO THE OWNER, MATERIALS LOST OR DAMAGED BECAUSE OF CARELESS REMOVAL OR NEGLECTFUL OR WASTEFUL STORAGE, DISPOSAL OR USE OF THE MATERIALS.

**STRIPPING AND STOCKPILING TOPSOIL - SECTION 02110**

**PART 1 - GENERAL**

1.01 WORK INCLUDED:

A. TOPSOIL, STRIPPING AND STOCKPILING WORK INCLUDES THE REMOVAL, TRANSPORTATION, DISPOSAL OF OBSTRUCTIONAL MATERIAL, AND STORAGE OF TOPSOIL PRIOR TO EXCAVATION, TRENCHING, AND GRADING OPERATIONS.

1.02 RELATED WORK SPECIFIED ELSEWHERE:

A. SECTION 02100 - CLEARING AND GRUBBING

B. SECTION 02300 - EARTHWORK (BY OTHERS)

C. SECTION 02920 - LOAMING AND SEEDING

**PART 2 - PRODUCTS (NOT USED)**

**PART 3 - EXECUTION**

3.01 PERFORMANCE:

A. AMOUNT OF STRIPPING: REMOVE TOPSOIL TO A DEPTH BELOW EXISTING GRADE AS DIRECTED BY THE GEOTECHNICAL ENGINEER FROM THE AREAS THAT WILL BE DISTURBED AS A RESULT OF CONSTRUCTION OPERATIONS.

B. STORAGE:

- TRANSPORT TOPSOIL AND DEPOSIT IN THE DESIGNATED TOPSOIL STOCKPILE AREAS, OR AS DIRECTED BY THE ENGINEER. NO TOPSOIL SHALL BE REMOVED FROM THE SITE, WITHOUT WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
- REMOVE ROOTS, STONES, AND OTHER UNDESIRABLE MATERIALS FROM THE TOPSOIL.
- STOCKPILE TOPSOIL SEPARATE FROM OTHER EXCAVATED MATERIALS IN AN AREA APPROVED BY THE ENGINEER.
- TAKE ALL NECESSARY PRECAUTIONS TO PREVENT OTHER EXCAVATED MATERIAL AND OBJECTIONABLE MATERIAL FROM BECOMING INTERMIXED WITH THE TOPSOIL BEFORE, DURING AND AFTER STRIPPING AND STOCKPILING OPERATIONS.
- NEATLY TRIM AND GRADE STOCKPILES TO PROVIDE DRAINAGE FROM SURFACES AND TO PREVENT DEPRESSIONS WHERE WATER MAY BECOME IMPOUNDED.
- CONSTRUCT TEMPORARY EROSION CONTROL DEVICES FOR ALL STOCKPILED MATERIAL, SUBJECT TO THE ENGINEER'S APPROVAL.
- ALL STRIPPED AND STOCKPILED TOPSOIL SHALL BE REUSED ON-SITE IN ACCORDANCE WITH SECTION 02300 WITH EXCESS MATERIAL TO BE STOCKPILED ON SITE AT THE LOCATION DESIGNATED ON THE PLANS.
- EXCESS TOPSOIL REMAINING AFTER THE NEEDS OF THE PROJECT HAS BEEN MET, SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE.

**EROSION CONTROL - SECTION 02270**

**PART 1 - GENERAL**

1.01 WORK INCLUDED:

A. PROVIDE TEMPORARY EROSION CONTROL FOR THE ENTIRE DURATION OF PROJECT IN ACCORDANCE WITH PLANS AND DETAILS.

1.02 RELATED WORK:

A. SECTION 02300 - EARTHWORK (BY OTHERS)

B. SECTION 02745 - PAVING AND SURFACING

C. SECTION 02920 - LOAMING AND SEEDING

1.03 SITE CONDITION:

A. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES TO BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES STORMWATER MANUAL, VOLUMES 1-3, LATEST EDITION.

B. THE WORK AREA SHALL BE GRADED, SHAPED, AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA.

**PART 2 - PRODUCTS**

2.01 MATERIALS:

A. EROSION CONTROL SEED MIX - TEMPORARY.

SEED BED PREPARATION: 10-10-10 FERTILIZER TO BE SPREAD AT THE RATE OF 7 LBS. PER 1000 S.F., AND AGRICULTURAL LIMESTONE AT THE RATE OF 50 LBS PER 100 S.F. AND APPLIED TO THE SOIL. THE SOIL, FERTILIZER, AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.

SEED MIXTURE: USE ANY OF THE FOLLOWING:

SPECIES	RATE/1000 SF	DEPTH	SEEDING DATES
WINTER RYE	2.5 LBS	1"	8/15 TO 8/31
GRASS	1.5 LBS	1"	4/15 TO 10/15
ANNUAL RYE GRASS	1.0 LBS	0.25"	4/15 TO 6/15 8/15 TO 9/15

MULCHING: MULCH SHALL BE USED ON HIGHLY ERODIBLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT, AS FOLLOWS:

TYPE	RATE/1000 SF	USE AND COMMENTS
HAY OR STRAW	7.0 TO 10.0 LBS	MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE.
FIBROUS MATTING	AS RECOMMENDED BY MANUFACTURER	MUST BE BIODEGRADABLE, USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE.
CRUSHED STONE 1/4" TO 1/2"	THREAT TO GREATER THAN 1/2" TYPICAL USE	USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS DIAMETER REEDED

B. SILT FENCE:

- SUPPORT FENCE: 14 GAUGE, 4 INCH X 4 INCH MESH; 35 INCH HIGH LIVESTOCK FENCE.
- POST: POST AT 6' ON CENTER TO BE NO. 4 REBAR, 2" X 2" WOOD, 3/4" STEEL PIPE OR EQUIVALENT.
- FABRIC: PREVIOUS SHEET OF SYNTHETIC POLYMER FROM NON-WOVEN CONTINUOUS FILAMENTS MANUFACTURED BY MIRAFI, INC., LICENSED TEXTILE CO., OR ANCOO FABRICS CO., MEETING THE FOLLOWING MINIMUM REQUIREMENTS:
  - WATER PERMEABILITY - 500 GAL/MIN/FT<sup>2</sup>.
  - THICKNESS - 70 MILS, WHEN TESTED IN ACCORDANCE WITH ASTM D-1777.
  - BURSTING STRENGTH - 200 PSI WHEN TESTED IN ACCORDANCE WITH ASTM D-2263.
  - TENSILE TEAR STRENGTH - 50 LBS, WHEN TESTED IN ACCORDANCE WITH ASTM D-2263.
  - ULTRAVIOLET DEGRADATION - 1 YEAR WITH LESS THAN 25% LOSS OF BURSTING AND TEAR STRENGTH.
  - EQUIVALENT OPENING SIZE (EOS) - 50 MIN AND 100 MAX.

C. STABILIZED CONSTRUCTION ENTRANCE:

- STABILIZED CONSTRUCTION ENTRANCE SHALL CONFORM TO THE PLANS AND REQUIREMENTS OF THE "EROSION AND SEDIMENT CONTROL DESIGN HANDBOOK FOR DEVELOPING AREAS OF NEW HAMPSHIRE."

**PART 3 - EXECUTION**

3.01 CONSTRUCTION SEQUENCE:

A. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE EROSION CONTROL MEASURES WITH THE OWNER'S REPRESENTATIVE.

3.02 SILT FENCE AND SILT SACKS:

A. ALL SILT FENCES AND SILT SACKS SHALL BE INSTALLED IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE AND WITH THE MANUFACTURER'S RECOMMENDATIONS.

B. SILT FENCES:

SET FENCE POST 8 FEET O.C. TO A DEPTH OF 2 FEET. ATTACH SUPPORT FENCE TO POST WITH FENCING STAPLES OR APPROPRIATE WIRE TIES. OVERLAP JOINT IN SUPPORT FENCE 12 INCHES. APPLY FABRIC TO FULL HEIGHT OF SUPPORT FENCE AND SECURE TO PREVENT BAGGING, BLOW OFF, AND LOSS. A 12-INCH OVERLAP OF FABRIC FOR VERTICAL PIECING SHALL BE MAINTAINED. NO HORIZONTAL JOINTS WILL BE ALLOWED. THE BOTTOM OF THE FABRIC SHALL BE TRENCHED INTO THE EXISTING GROUND A MINIMUM OF 6 INCHES.

C. SILT FENCES AND SILT SACKS SHALL NOT BE REMOVED UNTIL FINISH GRADING, FINAL SEEDING AND MULCHING HAVE BEEN COMPLETED. MAINTAIN SILT FENCE AND SILT SACKS IN GOOD CONDITIONS UNTIL REMOVED.

3.03 TEMPORARY SEEDING AND MULCHING:

A. ALL TOPSOIL STRIPPED AND STOCKPILED ON SITE SHALL BE IMMEDIATELY SEEDING WITH EROSION CONTROL SEED MIX X AND MULCHED WITH HAY.

B. ALL EXPOSED EARTHWORK AREAS, WHICH WILL NOT BE WORKED ON FOR ONE WEEK, SHALL BE HAY MULCHED. UNFINISHED AREAS WHICH ARE NOT TO BE WORKED ON FOR ONE MONTH, OR WILL BE WATERED, SHALL BE SEEDING WITH EROSION CONTROL MIX AND MULCHED WITH HAY.

C. NO FILL SHALL BE PLACED ON HAY MULCH. DISPOSE OF USED HAY MULCH OFF OF SITE.

3.04 DRAINAGE DITCHES & EMBANKMENTS:

A. DRAINAGE DITCHES SLOPING LESS THAN 2% SHALL BE PROVIDED WITH STRAW BALE BARRIERS SPACED NO GREATER THAN 200 FEET APART.

B. TEMPORARY DRAINAGE DITCHES SLOPING GREATER THAN 2% SHALL BE PROVIDED WITH STRAW BALE BARRIERS SPACED NO GREATER THAN 100 FEET APART.

C. EMBANKMENTS WITH A SLOPE OF 20% OR GREATER, AND A LENGTH OF 20 FEET OR MORE, SHALL HAVE HAY BALE RETAINAGE PLACED AT THE TOE OF SLOPE.

D. PERMANENTLY RIP-RAP ALL INLETS AND OUTLETS OF CULVERTS AND PIPE OUTFALLS SHALL BE INSTALLED AS SPECIFIED IN SECTION 02300 EARTHWORK.

3.05 ROADWAYS AND PAVEMENT AREAS:

A. AS SOON AS POSSIBLE AFTER UTILITY WORK HAS BEEN INSTALLED AND ROADWAYS AND PAVEMENT AREAS HAVE BEEN BROUGHT TO SUBGRADE, THE GRAVEL BASES SHALL BE PLACED AS PER SPECIFICATIONS.

**WATER LINES - SECTION 02400**

**PART 1 - GENERAL**

1.01 DESCRIPTION OF WORK:

A. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND DISINFECT ALL WATER PIPE AND SERVICE CONNECTIONS AS SHOWN ON THE PLANS AND DETAILS. THE WORK SHALL INCLUDE HYDRANTS, VALVES AND ALL NECESSARY FITTINGS AND APPURTENANCES AS SHOWN ON DRAWINGS AND HEREIN SPECIFIED. ALL WORK RELATED TO SERVICES AND INSPECTIONS PROVIDED BY TOWN OF HUDSON DEPARTMENT OF PUBLIC WORKS AND PENNICHUCK WATER WORKS WILL BE SUBJECT TO FEES AND BE THE RESPONSIBILITY OF THE CONTRACTOR.

NOTE: TOWN OF HUDSON DEPARTMENT OF PUBLIC WORKS SUPERINTENDENT AND PENNICHUCK WATER WORKS WILL BE NOTIFIED ONE WEEK PRIOR TO START OF JOB FOR SCHEDULING OF THE INSPECTION.

1.02 RELATED WORK SPECIFIED ELSEWHERE:

A. SECTION 02300 - EARTHWORK (BY OTHERS)

1.03 QUALITY ASSURANCE:

A. THE COMPLETED PROJECT SHALL BE INSTALLED, PRESSURE TESTED AND DISINFECTED BY THE CONTRACTOR AS DIRECTED BY THE TOWN OF HUDSON DEPARTMENT OF PUBLIC WORKS AND PENNICHUCK WATER WORKS. PRESSURE TESTING OF MAINS AND FITTINGS AND DISINFECTING SHALL BE PERFORMED AS SPECIFIED HEREIN, OR AS REQUIRED BY TOWN OF HUDSON DEPARTMENT OF PUBLIC WORKS AND PENNICHUCK WATER WORKS.

1.04 SUBMITTALS:

A. WATER SYSTEM: PIPE CERTIFICATES SHALL BE REQUIRED FOR ALL PIPE AND FITTINGS, VALVES, HYDRANTS AND APPURTENANCES.

1.05 STANDARD REFERENCE:

A. REFERENCE IS MADE TO THE TOWN OF HUDSON DEPARTMENT OF PUBLIC WORKS AND PENNICHUCK WATER WORKS SPECIFICATIONS, LATEST EDITION.

**PART 2 - PRODUCTS**

2.01 GENERAL:

A. ALL MATERIALS SHALL MEET THE REQUIREMENTS OF THE TOWN OF HUDSON DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS AND PENNICHUCK WATER WORKS, LATEST EDITION.

**PART 3 - EXECUTION**

3.01 GENERAL:

A. ALL WATER LINE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS, DETAILS AND THE TOWN OF HUDSON DEPARTMENT OF PUBLIC WORKS AND PENNICHUCK WATER WORKS SPECIFICATIONS, LATEST EDITION.

**PAVING AND SURFACING - SECTION 02745**

**PART 1 - GENERAL**

1.01 DESCRIPTION OF WORK:

A. THE CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT AND MATERIALS REQUIRED TO INSTALL BITUMINOUS CONCRETE PAVEMENT COURSES AND THE GRAVEL DRIVE AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.

1.02 RELATED WORK:

A. SECTION 02270 - EROSION CONTROL

B. SECTION 02300 - EARTHWORK (BY OTHERS)

1.03 STANDARD REFERENCE:

A. REFERENCE IS MADE TO ITEMS AND PARAGRAPHS OF THE LATEST EDITION OF "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION. REFERENCES IN THIS SECTION TO THESE STANDARD SPECIFICATIONS BEAR THE PREFIX "HSDOT".

B. THE FOLLOWING STANDARDS FORM A PART OF THESE SPECIFICATIONS AND INDICATE THE MINIMUM STANDARDS REQUIRED:

AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM):

ASTM D1557 TEST FOR MOISTURE-DENSITY RELATIONS OF SOILS AND SOIL-AGGREGATE MIXTURES USING 10 POUND RAMMER AND 18-INCH DROP

STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (HSDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION:

SECTION 304 GRAVEL BASE COURSE

SECTION 401 BITUMINOUS CONCRETE PAVEMENT - TABLE 2 DESIGN CONTROL POINTS

SECTION 708 PAINTS

SECTION 410 TACK COATS

FEDERAL SPECIFICATIONS:

SS-S-164 SEALING COMPOUND, HOT Poured TYPE, FOR JOINTS IN CONCRETE

SS-S-1401C SEALANTS, JOINT, NON-JET-FUEL-RESISTANT, HOT APPLIED, FOR PORTLAND CEMENT AND ASPHALT CONCRETE PAVEMENT

1.04 SUBMITTALS:

A. PAVEMENT: MATERIALS CERTIFICATES SHALL BE REQUIRED CERTIFYING THAT ALL PAVEMENT MEETS THE REQUIREMENTS OF THIS SPECIFICATION.

B. CRUSHED GRAVEL BASE: MATERIALS CERTIFICATES ACCOMPANIED BY SIEVE ANALYSIS SHALL BE REQUIRED FOR CRUSHED GRAVEL USED FOR SUBBASE MATERIALS.

**PART 2 - PRODUCTS**

2.01 CRUSHED GRAVEL:

A. CRUSHED GRAVEL SHALL CONSIST OF INERT MATERIAL THAT IS HARD DURABLE STONE AND COARSE SAND, FREE FROM LOAM AND CLAY, SURFACE COATINGS AND DELETERIOUS MATERIALS.

B. GRADATION REQUIREMENTS FOR CRUSHED GRAVEL SHALL BE IN ACCORDANCE WITH SECTION 304 OF THE HSDOT SPECIFICATIONS.

2.02 BITUMINOUS CONCRETE PAVEMENT:

A. BITUMINOUS CONCRETE DESIGN MIX SHALL BE BASED ON 4 < 16 MILLION BSALS. BITUMINOUS CONCRETE MIXTURES SHALL BE WITHIN THE COMPOSITION LIMITS OF BASE COURSES, BINDER COURSES, TOP COURSES AND SURFACE TREATMENT, IN ACCORDANCE WITH HSDOT STANDARD SPECIFICATIONS SECTION 401, THAT CONFORM TO TABLE 2. NOMINAL AGGREGATE SIZE SHALL BE "X" FOR BINDER COURSE OF PAVEMENT, AND "Y" FOR TOP COURSE OF PAVEMENT.

B. THE JOINT SEALANT SHALL BE A HOT Poured RUBBERIZED EMULSIFIED ASPHALT SEALANT MEETING THE REQUIREMENTS OF FEDERAL SPECIFICATIONS SS-S-1401 OR SS-S-164.

2.03 TACK COAT:

A. THE TACK COAT SHALL BE AN ASPHALT EMULSION, RS-1 IF REQUIRED.

B. THE TACK COAT SHALL BE APPLIED TO ALL VERTICAL SEAMS AND JOINTS, AND BETWEEN THE BITUMINOUS BINDER AND WEARING COURSE LAYERS.

C. THE SURFACE TO WHICH THE TACK COAT WILL BE APPLIED SHALL BE PREPARED AS DETAILED IN THE HSDOT, STANDARD SPECIFICATIONS 410.3.3.2.

D. THE TACK COAT SHALL BE APPLIED AS DETAILED IN THE HSDOT STANDARD SPECIFICATIONS 410.3.4.2.

E. THE TACK COAT SHALL BE APPLIED AT A RATE AS DETAILED IN THE HSDOT STANDARD SPECIFICATIONS 410.3.4.2.1, AND AS APPROVED BY THE ENGINEER.

F. THE TACK COAT SHALL BE CONSIDERED SUBSIDIARY TO THE WEARING COURSE OF PAVEMENT.

**PART 3 - EXECUTION**

3.01 GENERAL:

A. PAVING COURSES REQUIRED FOR THE PROJECT SHALL BE AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN. PAVEMENT THICKNESSES SPECIFIED ARE MEASURED IN COMPACTED INCHES. IF A PAVEMENT COURSE THICKNESS EXCEEDS 2-1/2 COMPACTED INCHES, THE COURSE SHALL BE INSTALLED IN MULTIPLE LIFTS WITH EACH LIFT NOT EXCEEDING 2-1/2 COMPACTED INCHES IN THICKNESS.

3.02 CRUSHED GRAVEL:

A. THE BASE COURSE(S) TO BE PLACED UNDER PAVEMENT SHALL BE EVENLY SPREAD IN LOOSE LAYERS NOT MORE THAN 12-INCHES THICK AND THOROUGHLY COMPACTED.

B. THE GRAVEL DRIVE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND DETAILS.

D	ISSUED FOR PERMIT	07/27/18
B	ADDENDUM #1	07/20/18
A	ISSUED FOR BID	06/29/18
REV.	DESCRIPTION	DATE

**ISSUED FOR PERMIT**  
CURRENT ISSUE STATUS: **07/27/18**

**SITework SPECIFICATIONS**  
(LOT 1, HUDSON TAX MAP 251)

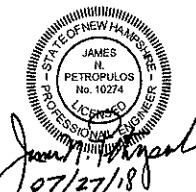
# PROPOSED EQUIPMENT YARD

**65 RIVER ROAD**  
**HUDSON, NEW HAMPSHIRE**

PREPARED FOR/RECORD OWNER:  
**BAE Systems Information And Electronic Systems Integration Inc.**  
PO BOX 868 NASHUA, NEW HAMPSHIRE 03061-0868

**NO SCALE**

**29 JUNE 2018**



**James H. Petropoulos**  
Professional Engineer  
No. 10274  
State of New Hampshire

**HSI** Hayner/Swanson, Inc.  
Civil Engineers/Land Surveyors  
Three Congress Street Nashua, New Hampshire 03062-3301  
Tel (603) 883-2057 Fax (603) 883-5057  
www.hayner-swanson.com

FIELD BOOK: 1235	DRAWING NAME: 1853PT1-SPEC	1853-PT1	4 OF 5
DRAWING LOCATION: R:\1853\DWG\1853-PT1	File Number	Sheet	



# Abucewicz Subdivision

## STAFF REPORT

August 15, 2018

**SITE:** 63 Kimball Hill Road -- Map 178/Lot 030 -- SB# 07-18

**ZONING:** G - General: Minimum lot size 43,560 sq. ft. and 150 ft. of frontage.

**PURPOSE OF PLAN:** to subdivide one 27.819-acre parcel (Map 178/Lot 030), into four separate lots including a 3.832-acre lot with an existing home, two lots for new single-family home development (2.197 and 1.818 acres respectively) and a 19.972 acre remainder lot.. Application Acceptance & Hearing.

**PLAN UNDER REVIEW ENTITLED:** Abucewicz Subdivision Plan, Map 178, Lot 030, 63 Kimball Hill Road, Hudson, NH, prepared for Abucewicz Family Revocable Trust, by Edward N. Herbert Associates, Inc., dated: February 19, 2018. November 15, 2017, consisting of Sheets 1 - 10 and Notes 1 – 7 on Sheet 1 (said plans are attached hereto).

### ATTACHMENTS:

- 1) Subdivision Application date stamped July 18, 2018 including – “A”.
- 2) Project Narrative - “B”.
- 3) Comments from Town Engineer Elvis Dhima – “C”.
- 4) Comments from Deputy Fire Chief John J. O’Brian – “D”.
- 5) Comments from Assistant Assessor Jim Michaud – “E”.
- 6) Subdivision plans.

### WAIVER REQUESTS:

- 1) HR 193 – 10.G - Only one Driveway per parcel
- 2) HR 193–10.I – shared Driveways not allowed
- 3) HR 193 – 10.H – Driveways are not permitted in side or rear setbacks
- 4) Checklist Item “c” – Plan Scale
- 5) Checklist Item “o” – Septic/well locations within 200’

### STAFF COMMENTS:

1. Shared Driveway: Applicants are requesting a waiver to permit three lots on one driveway. As noted in the comments from the Town Engineer and Deputy Fire Chief, a driveway serving three or more lots must be labeled as a private way and the street name for the private way will require Fire Department approval. In addition, two of the lots should be renumbered in accordance with the comments provided by the Assistant Assessor.



2. HR 334-74.5 requires that the Planning Board assess impact fees at the time of subdivision approval and note the fee in its Notice of Decision. Attachment “C” contains the CAP Fee Worksheet and the proposed assessment of \$5,759 per lot based on the 2018 Impact Fee schedule. This CAP fee will only apply to the new lots intended for development as the “mother” parcel has an existing residence and no development is proposed for the remainder parcel at this time.

**APPLICATION TRACKING:**

- April 11, 2018 – Planning Board Conceptual Review
- July 18, 2018 – Subdivision application submitted.
- August 22, 2018 – Public hearing scheduled.

**RECOMMENDED ACTION:** Staff recommends application acceptance, conduct of the public hearing, and consideration of subdivision approval in accordance with the below DRAFT MOTIONS. In the event that the Board determines more time is needed to review the application, a motion for deferment is provided after the draft acceptance motion.

**DRAFT MOTION TO ACCEPT:**

I move to accept the 4-lot subdivision application for 63 Kimball Hill Road, Map 178/Lot 030.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**DRAFT MOTION TO DEFER:**

I move to defer the further consider the subdivision application for 63 Kimball Hill Road, Map 178/Lot 30 to a date specific, the September 26, 2018 Planning Board meeting.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**WAIVER MOTIONS:**

- 1) HR 193 – 10.G - Only one Driveway per parcel.

I move to grant the requested waiver of HR 193–10.G – Only one Driveway per parcel based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_



2) HR 193–10.I – shared Driveways not allowed.

I move to grant the requested waiver of HR 193–10.I – Shared Driveways Not Allowed, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

3) HR 193 – 10.H – Driveways are not permitted in side or rear setbacks.

I move to grant the requested waiver of HR 193 – 10.H – Driveways are not permitted in side or rear setbacks, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

4) Checklist Item “c” – Plan Scale.

I move to grant the requested waiver of Checklist Item “c” Plan Scale, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

5) Checklist Item “o” – Septic/well locations within 200’.

I move to grant the requested waiver of Checklist Item “c” Septic/well locations within 200’, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**DRAFT MOTION to APPROVE:**

I move to approve the subdivision plan entitled: Abucewicz Subdivision Plan, Map 178, Lot 030, 63 Kimball Hill Road, Hudson, NH, prepared for Abucewicz Family Revocable Trust, by Edward N. Herbert Associates, Inc., dated: February 19, 2018. November 15, 2017, consisting of Sheets 1-10 and Notes 1-7:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Plan.
2. A cost allocation procedure (CAP) amount of \$5,759 per residential lot shall be paid prior to the issuance of a Certificate of Occupancy for the new house lot.

3. All monumentation shall be set or bonded for prior to the Planning Board endorsing the Plan-of-Record.
4. The proposed shared driveway shall be labeled as a “private way” and assigned a street name to be approved by the Hudson Fire Department.
5. Proposed Map/Lot numbers to be renumbered per Assistant Assessor’s memorandum of July 31, 2018.
6. State driveway permit to be provided prior to construction.
7. Applicant to submit a profile of proposed shared driveway to Town Engineer for approval prior to construction with grade not to exceed 10%.
8. Note to be added to the plan confirming compliance with MS4 requirements.
9. The existing septic system on proposed lot 178-34 shall be shown on the plan.
10. Approval of this plan shall be subject to final engineering review.
11. Construction activities involving the proposed undeveloped lots shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_.

"A"



**SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW  
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: \_\_\_\_\_ Tax Map # 178 Lot # 30

Name of Project: Abucewicz Subdivision Plan

Zoning District: G-General District General SB# \_\_\_\_\_  
(For Town Use) (For Town Use)

ZBA Action: \_\_\_\_\_

**PROPERTY OWNER:**

Abucewicz Family Revocable Trust  
Name: Walter & Murrayann Abucewicz, Trustees

Address: 63 Kimball Hill Road

Address: Hudson, NH 03051

Telephone # \_\_\_\_\_

Fax # \_\_\_\_\_

Email: \_\_\_\_\_

**DEVELOPER:**

Same as Owner

**PROJECT ENGINEER**

Name: Edward N. Herbert Assoc., Inc.

Telephone # 603-432-2462

Address: 1 Frost Road

Fax # 603-425-2519

Address: Windham, NH 03087

Email: engineer@enhinc.net

**PURPOSE OF PLAN:**

The purpose of the plan is to subdivide Map 178, Lot 30 into 3 single family residential lots with one remainder 19.972 ac. undeveloped lot.

**(FOR TOWN USE)**

Plan Routing Date: \_\_\_\_\_ Sub/Site Date: \_\_\_\_\_

\_\_\_\_\_ I have no comments \_\_\_\_\_ I have comments (attach to form)

\_\_\_\_\_ Title: \_\_\_\_\_ Date: \_\_\_\_\_  
(Initials)

**DEPT:**

\_\_\_\_\_ Zoning \_\_\_\_\_ Engineering \_\_\_\_\_ Assessor \_\_\_\_\_ Police \_\_\_\_\_ Fire \_\_\_\_\_ Planning  
\_\_\_\_\_ Consultant \_\_\_\_\_ Highway Department

Fees Paid \_\_\_\_\_



**LOT AREA CALCULATION TABLE**

<b>LOT #</b>	<b>TOTAL AREA</b>	<b>WETLAND AREA</b>	<b>AREA &gt; 25% SLOPE</b>	<b>BUILDABLE AREA (net contiguous upland useable)</b>	<b>FRONTAGE</b>
178-030 1.	869,977 S.F. or 19.972 AC.	561 S.F.	1.97%	794,835 S.F.	171.00'
178-033 2.	95,693 S.F. or 2.197 AC.	0	0	67,585 S.F.	181.68'
178-034 3.	166,913 S.F. or 3.832 AC.	0	0	130,700 S.F.	150.61'
178-035 4.	79,208 S.F. or 1.818 AC.	0	0	53,270 S.F.	188.76'
5.					
6.					
7.					
8.					
9.					
10.					

Data Sheets Checked By: \_\_\_\_\_

Date: \_\_\_\_\_



"B"

Land Surveyors & Consulting Engineers	<b>EDWARD N. HERBERT ASSOCIATES, INC.</b>	One Frost Road Windham, NH 03087
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Narrative Description  
Abucewicz Family Revocable Trust Subdivision Plan:

Project Location: Map 178 - Lot 030, 63 Kimball Hill Road  
Date: July 18, 2018

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**A. Natural Features:**

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The area is partially surrounded with existing residential lots to the north and west. The southerly and easterly sides are mostly currently undeveloped woodland.

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**B. Residential Use:**

Each lot will be maintained by the individual lot owner. Each lot will have a private well and septic system..

**C. Lot Areas:**

Total Original Parcel area: 1,211,792 S.F. or 27.819 ac.

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"CV"

**Dhima, Elvis**

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**From:** Dhima, Elvis  
**Sent:** Wednesday, August 08, 2018 8:05 AM  
**To:** JayM@nashuarpc.org  
**Cc:** Dubowik, Brooke; O'Brien, John  
**Subject:** Site Plan review Abucewicz Subdivision Plan 63 Kimball Hill Road

Jay

Below are my comments related to this project:

1. Plans indicate that the proposed shared driveway will serve three lots, therefore it will need to be labeled as a private way for address purposes.
2. Applicant shall provide approved state curb cut permit prior to construction.
3. Applicant shall provide plan and profile for the proposed shared access road and grade shall not exceed 10 %.
4. Applicant shall state on the plans if they meet or not the new MS4 requirements.

Thank you

E

*Elvis Dhima, P.E.*  
*Town Engineer*

Town of Hudson, NH  
12 School Street  
Hudson, NH 03051  
Phone: (603) 886-6008  
Mobile: (603) 318-8286



"D"



# TOWN OF HUDSON

FIRE DEPARTMENT

INSPECTIONAL SERVICES DIVISION



12 SCHOOL STREET, HUDSON, NEW HAMPSHIRE 03051

Emergency 911  
Business 603-886-6005  
Fax 603-594-1142

Robert M. Buxton  
Chief of Department

1 August, 2018

To: Town of Hudson  
Planning/ Land Use Division  
Attn: Brooke Dubowik

Fr: John J. O'Brien  
Deputy Fire Chief

Re: Site Plan review Abucewicz Subdivision Plan 63 Kimball Hill Rd Map  
178/ Lot 30

A Site plan review was conducted by this office for the above proposed  
development. Fire Department requirements are listed below.

### Addressing

Building addresses must be assigned AND approved by the Fire Dept.  
prior to issuance of permits.

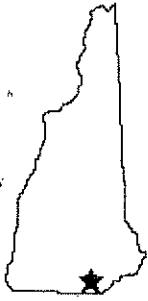
### Street Name

All Street names must be approved by the Hudson Fire Department. This  
includes Private Ways.

If you have questions feel free to email [jobrien@hudsonnh.gov](mailto:jobrien@hudsonnh.gov) or call  
603-886-6021

*Job*  
John J. O'Brien  
Deputy Fire Chief  
Town of Hudson N.H

"E"



# TOWN OF HUDSON

Office of the Assistant Assessor




Jim Michaud  
Assistant Assessor, CAE  
email: [jmichaud@hudsonnh.gov](mailto:jmichaud@hudsonnh.gov)  
[www.hudsonnh.gov](http://www.hudsonnh.gov)

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12 School Street · Hudson, New Hampshire 03051 · Tel: 603-886-6009 · Fax: 603-594-1160

To: Jay Minkarah, Interim Town Planner

July 31, 2018

From: Jim Michaud, Assistant Assessor 

Re: Abucewicz Subdivision Plan - proposed lot re-numbering

In reviewing the proposed subdivision plan I would offer the following map/lot/sublot numbers to be utilized if the proposed layout of the lots does not change after Planning Board consideration. The location on the plan shows that this Lot 33 is wholly within Map 177; Lot 65 is the next available Lot number available on that tax map. This change requires a renumbering of the 2 other lot's as per below.

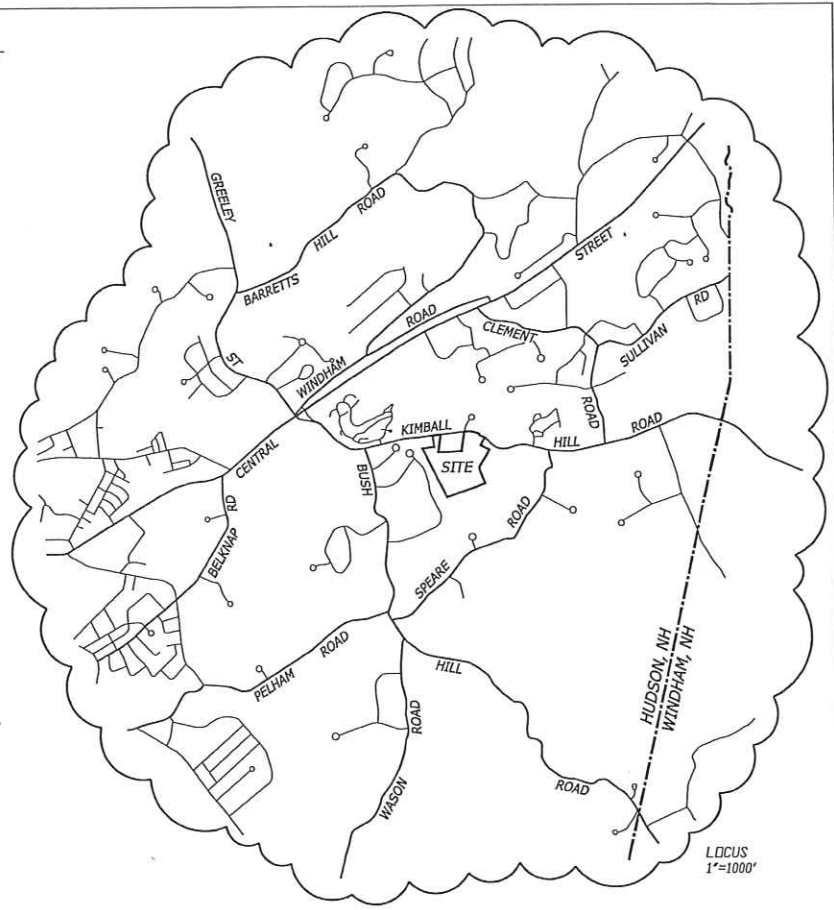
<b>CURRENT-From Plan</b>	<b>Assigned Map/Lot to be used on plan</b>
Map 178 Lot 33	Map 177 Lot 65
Map 178 Lot 34	Map 178 Lot 33
Map 178 Lot 35	Map 178 Lot 34



# ABUCEWICZ SUBDIVISION PLAN

TAX MAP 178 LOT 030  
63 KIMBALL HILL ROAD  
HUDSON, NH

- LIST OF ABUTTERS:**
- 177-009-000 MICHAEL & LISA MCELHINNEY 7482-2513
  - 177-010-000 STEVE & RENEE LACASSE 7401-1451
  - 177-011-000 54 KIMBALL HILL RD, HUDSON, NH 03051
  - 177-012-000 HELISSA DICARLO 8750-2895
  - 177-013-000 56 KIMBALL HILL RD, HUDSON, NH 03051
  - 177-014-000 JOSEPH & VANESSA BRUNELLE 7800-859
  - 177-015-000 55 KIMBALL HILL RD, HUDSON, NH 03051
  - 177-016-000 WILLIAM BRYANT 8917-2809
  - 177-017-000 51 KIMBALL HILL RD, HUDSON, NH 03051
  - 177-018-000 BRETT & REBECCA PRINCE 7711-991
  - 177-019-000 61 BEAR PATH LN, HUDSON, NH 03051
  - 177-020-000 KEN CHAN & KERRI DUN 7015-1817
  - 177-021-000 59 BEAR PATH LN, HUDSON, NH 03051
  - 177-022-000 SHELLY B. CHASE 2006 TRUST 7812-2152
  - 177-023-000 SHELLY B. CHASE, TRUSTEE
  - 177-024-000 57 BEAR PATH LN, HUDSON, NH 03051
  - 177-025-000 BRIAN & KELLY GODDU 6130-715
  - 177-026-000 55 BEAR PATH LN, HUDSON, NH 03051
  - 177-027-000 EDWARD & EILEEN CUMMINGS 6120-969
  - 177-028-000 53 BEAR PATH LN, HUDSON, NH 03051
  - 177-029-000 ELAINE & FRANK YEN 6171-47
  - 177-030-000 51 BEAR PATH LN, HUDSON, NH 03051
  - 177-031-000 ROBERT & JEAN VILKIE 6180-1993
  - 177-032-000 49 BEAR PATH LN, HUDSON, NH 03051
  - 177-033-000 KANSTANTIN AUSIANNIKAU 8009-1795
  - 177-034-000 47 BEAR PATH LN, HUDSON, NH 03051
  - 177-035-000 TODD & KATHRYN COPPY 7008-1938
  - 178-001-000 45 BEAR PATH LN, HUDSON, NH 03051
  - 178-002-000 SYBILLA, LLC. 8825-1173
  - 178-003-000 39 TRIGATE RD, HUDSON, NH 03051
  - 178-004-000 CRAIG SHEA 8293-1065
  - 178-005-000 2A CATALPA DR., HUDSON, NH 03051
  - 178-006-000 ANKUSH SAVANT & VEENA PATWARDHAN 7935-2142
  - 178-007-000 29 CATALPA DR., HUDSON, NH 03051
  - 178-008-000 YVETTE MARLOWE & SUZANNE MARLOWE 9033-0784
  - 178-009-000 64 KIMBALL HILL RD, HUDSON, NH 03051
  - 178-010-000 SETH & ANDREA KINGSLEY 8869-273
  - 178-011-000 66 KIMBALL HILL RD, HUDSON, NH 03051
  - 178-012-000 NICHOLAS & JENNIFER LEARY REVOCABLE TRUST 8530-1756
  - 178-013-000 NICHOLAS A.H. LEARY & JENNIFER S.H. LEARY, TRUSTEES
  - 178-014-000 68 KIMBALL HILL RD, HUDSON, NH 03051
  - 178-015-000 STATE OF NEW HAMPSHIRE DEPT. OF TRANSPORTATION
  - 178-016-000 P.O. BOX 483, 1 HAZEN DRIVE/ROAD 204
  - 178-017-000 CONCORD, NH 03302
  - 178-018-000 ESTATE OF BENJAMIN NADEAU 315-2018-ET-00208
  - 178-019-000 C/O JENNIFER NADEAU
  - 178-020-000 71 KIMBALL HILL RD, HUDSON, NH 03051
  - 178-021-000 WESLEY TATE 9048-912
  - 178-022-000 117A LOWELL RD., HUDSON, NH 03051
  - 178-023-000 ABUCEWICZ FAMILY REVOCABLE TRUST 8687-1321
  - 178-024-000 WALTER & MURRAYANN ABUCEWICZ, TRUSTEES
  - 178-025-000 63 KIMBALL HILL RD, HUDSON, NH 03051
  - 178-026-000 DAVID SUPREMAN 9655-2975
  - 178-027-000 59 KIMBALL HILL RD, HUDSON, NH 03051
  - 178-028-000 PHILIP BROUILLETTE 9090-1952
  - 178-029-000 671 NASHUA RD., DRACUT, MA 01826
  - 178-030-000 & PAULA BURKE
  - 178-031-000 25 JACQUES RD., TYNGSBORO, MA 01879
  - 178-032-000 MATTHEW & LAURIE MEDeiros 8801-1037
  - 178-033-000 43 BEAR PATH LN, HUDSON, NH 03051
  - 178-034-000 ROBERT SR. & JEANNE FLDHR 6377-216
  - 178-035-000 41 BEAR PATH LN, HUDSON, NH 03051
  - 178-036-000 HAMPSHIRE VENTURES, INC. 8993-2321
  - 178-037-000 317 SOUTH RIVER RD., BEDFORD, NH 03110
- PROPERTY OWNERS WITHIN 200 FEET**
- 177-008-000 MARK & JEAN LAFRENIERE 5490-1382
  - 177-042-000 50 KIMBALL HILL RD., HUDSON, NH 03051
  - 177-043-000 ALEXA & ERIC DARBE 7528-1683
  - 177-043-000 65 BEAR PATH LN, HUDSON, NH 03051
  - 177-043-000 UDAY KHATRY & CHANDRAWATI KC 8534-937
  - 178-027-000 63 BEAR PATH LN, HUDSON, NH 03051
  - 178-027-000 JAMES & SHIRLEY MCGRATH 3598-730
  - 178-027-000 75 KIMBALL HILL RD, HUDSON, NH 03051
  - 185-068-000 CHARLES & LISA ANDERSON 6871-2001
  - 185-068-000 39 BEAR PATH LN, HUDSON, NH 03051
- ADDITIONAL PEOPLE TO NOTIFY:**
- PAUL ZARNOWSKI, LLS
  - EDWARD N. HERBERT ASSOC., INC.
  - 1 FROST ROAD, WINDHAM, NH 03087
  - MICHAEL GOSPODAREK, PE
  - EDWARD N. HERBERT ASSOC., INC.
  - 1 FROST ROAD, WINDHAM, NH 03087
  - SHAYNE GENDRON
  - EDWARD N. HERBERT ASSOC., INC.
  - 1 FROST ROAD, WINDHAM, NH 03087
  - LUKE HURLEY, CSS, CWS
  - GOVE ENVIRONMENTAL SERVICES, INC.
  - 8 CONTINENTAL DRIVE - UNIT H
  - EXETER, NH 03833-7507



**THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE MAP 178, LOT 30 INTO 4 LOTS. THE SUBJECT PARCEL IS LOCATED AT 63 KIMBALL HILL ROAD AND CONSISTS OF 1,211,792 S.F. OR 27.819 ACRES.**

**PROPOSED LOTS**

- 178-030 WILL CONTAIN 19.972 ACRES WITH 171.00 FEET OF FRONTAGE ON KIMBALL HILL ROAD
- 178-033 WILL CONTAIN 2.197 ACRES WITH 181.68 FEET OF FRONTAGE ON KIMBALL HILL ROAD
- 178-034 WILL CONTAIN 3.832 ACRES WITH 150.61 FEET OF FRONTAGE ON KIMBALL HILL ROAD
- 178-035 WILL CONTAIN 1.818 ACRES WITH 188.76 FEET OF FRONTAGE ON KIMBALL HILL ROAD

**THE EXISTING HOUSE NOW ON NEWLY CREATED LOT 178-034 IS TO REMAIN AND IS SERVICED BY A PRIVATE WELL AND SEPTIC SYSTEM AND WILL MEET ALL TOWN CODES SETBACKS. THE EXISTING GARAGE ON LOT 178-030 IS TO BE REMOVED.**

**PROPOSED LOTS 178-033 & 178-034 TO BE SERVICED BY INDIVIDUAL WELLS AND SEPTIC SYSTEMS AND WILL MEET ALL TOWN CODES. NO BUILDING IS PROPOSED FOR LOT 178-030 AT THIS TIME.**

**1) THIS SITE IS CONTAINED WITHIN THE G - GENERAL DISTRICT**

**2) ORIGINAL LOT AREA 1,211,792 S.F. 27.819 ACRES.**

**3) THE OWNER OF RECORD ABUCEWICZ FAMILY REVOCABLE TRUST**

**WALTER & MURRAYANN ABUCEWICZ, TRUSTEES, 63 KIMBALL HILL ROAD, HUDSON, NH 03051.**

**4) DEED REFERENCE: HCRD BOOK 8687 PAGE 1321**

**5) THE BUILDING LOCATIONS SHOWN FOR ABUTTING LOTS WERE DIGITIZED FROM THE TOWN OF HUDSON TAX MAPS #177 & 178.**

**6) BEARINGS SHOWN HEREON ARE BASED ON PLAN REFERENCE #1.**

**7) ALL BENCHMARKS ARE BASED ON NGVD 1929. DESIGNATION 229-0280 SURVEY DISK IN BOULDER MONUMENTED BY NHDOT, LAST RECOVERY 11-11-2010 BY NHDOT.**

**WAIVERS REQUESTED FROM SUBDIVISION REGULATIONS:**

193-10 G TO ALLOW A DRIVEWAY TO BE WITHIN THE SIDE SETBACK

193-10 I TO ALLOW A SHARED DRIVEWAY FOR 3 LOTS

**WAIVERS REQUESTED FROM THE SUBDIVISION/SITE PLAN CHECKLIST:**

**ITEM C (PLAN SCALE) TO ALLOW SOME SHEETS TO BE AT A SCALE OF 1"=100' AS OPPOSED TO THE REQUIRED 1"=50'**

**ITEM D (LOCATION OF WELLS & SEPTICS WITHIN 200' OF PARCEL TRACT) TO ALLOW WELLS & SEPTICS WITHIN 200' OF TRACT NOT BE SHOWN ON PLAN.**

**APPROVED BY THE HUDSON PLANNING BOARD**

DATE OF MEETING \_\_\_\_\_

PLANNING BOARD CHAIRMAN \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_

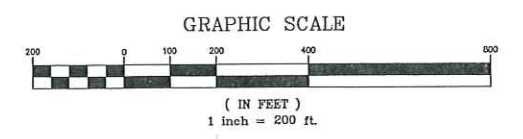
SUBDIVISIONS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:93.

**OWNER'S ACKNOWLEDGMENT**

OWNER \_\_\_\_\_ DATE 07/17/18

**SHEET INDEX**

SHEET 1	COVER SHEET
SHEET 2	FINAL PLAN
SHEET 3	DRIVEWAY EASEMENT PLAN
SHEET 4	EXISTING CONDITIONS & SOILS PLAN
SHEETS 5-6	PROPOSED CONDITIONS PLAN
SHEETS 7-8	SIGHT DISTANCE PLAN & PROFILES
SHEET 9	PRESENTATION PLAN
SHEET 10	AERIAL OVERVIEW PLAN



**REVISIONS:**

**ABUCEWICZ SUBDIVISION PLAN**

**COVER SHEET MAP 178/LOT 030**

**63 KIMBALL HILL ROAD**

**HUDSON, NH**

PREPARED FOR:

**ABUCEWICZ FAMILY REVOCABLE TRUST**

WALTER & MURRAYANN ABUCEWICZ, TRUSTEES

63 KIMBALL HILL ROAD

HUDSON, NH 03051

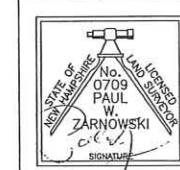
SCALE: 1"=200' DATE: FEBRUARY 19, 2018

**EDWARD N. HERBERT ASSOC., INC.**

LAND SURVEYORS - CIVIL ENGINEERS

1 FROST ROAD WINDHAM, NH 03087 (603) 432-2462

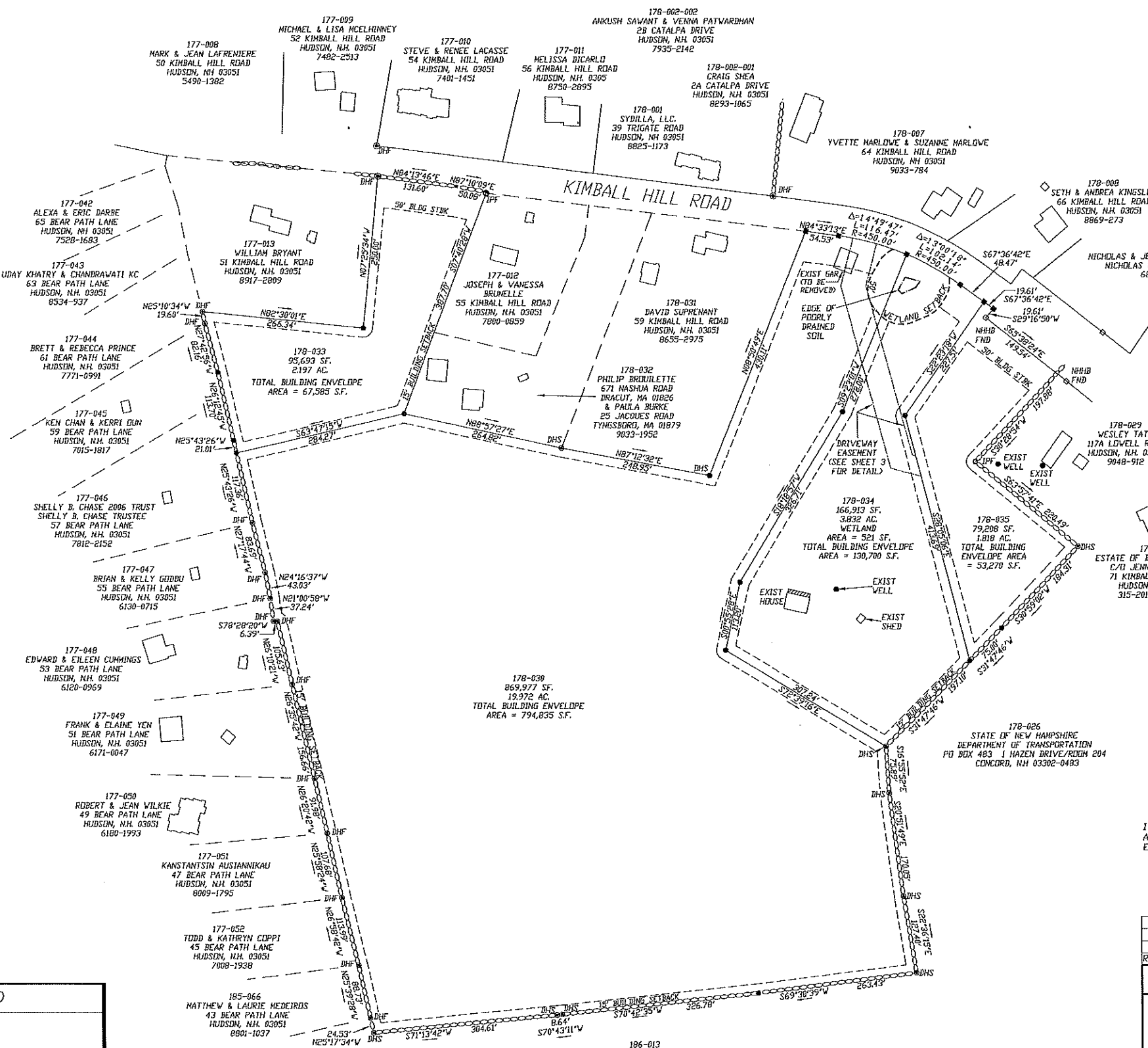
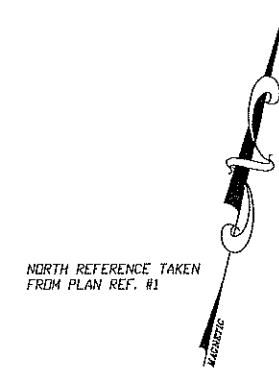
SHEET 1 OF 10



**WETLAND NOTES:**

THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN ACCORDANCE WITH:

- 1) US ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERC/C-12-12-1 VERSION 2.0, JANUARY 2012.
- 2) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0.
- 3) NORTH AMERICAN DIGITAL FLORA NATIONAL WETLAND PLANT LIST, VERSION 2.1 (2009).
- 4) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, USFWS MANUAL FWS/OBS-79/31 (1979).



- LEGEND**
- STONE WALL
  - ⊙ DHF DRILL HOLE FOUND
  - ⊙ DHS DRILL HOLE SET
  - IRF IRON ROD FOUND
  - IFS IRON PIPE SET
  - IRS IRON ROD SET 3/29/2011
  - BOUND FOUND

I CERTIFY THAT THIS PLAN IS THE RESULT OF A CLOSED BOUNDARY TRAVERSE AND MEETS THE STANDARDS OF AN URBAN/SUBURBAN CLASS SURVEY WITH AN ERROR OF CLOSURE OF 1 IN 10,000 OR BETTER.

*Paul W. Zarnowski*  
 EDWARD N. HERBERT ASSOCIATES, INC.  
 BY: PAUL W. ZARNOWSKI, LLS

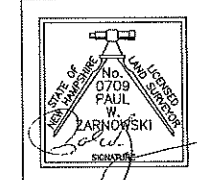
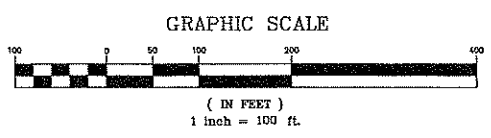
**APPROVED BY THE HUDSON PLANNING BOARD**

DATE OF MEETING \_\_\_\_\_

PLANNING BOARD CHAIRMAN \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_

SUBDIVISIONS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.



REVISIONS:

**ABUCEWICZ SUBDIVISION PLAN**

FINAL PLAN MAP 178/LOT 030  
 63 KIMBALL HILL ROAD  
 HUDSON, NH

PREPARED FOR:  
 ABUCEWICZ FAMILY REVOCABLE TRUST  
 WALTER & MURRAYANN ABUCEWICZ, TRUSTEES  
 63 KIMBALL HILL ROAD  
 HUDSON, NH 03051

SCALE: 1"=100' DATE: FEBRUARY 19, 2018

**EDWARD N. HERBERT ASSOC., INC.**  
 LAND SURVEYORS - CIVIL ENGINEERS  
 1 FROST ROAD WINDHAM, NH 03087 (603) 432-2462

SHEET 2 OF 10





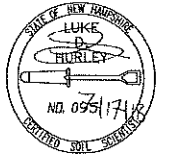
SITE SPECIFIC SOILS CHART		
NUMBER	DENOMINATOR	SOIL TAXONOMIC NAME
42		CANTON
89		CHAFFIELD
546	P	VAL POLE, POORLY DRAINED

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT INTENDED FOR SOIL BASED SUBDIVISION. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST AND IS NOT PART OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. A REPORT ACCOMPANIES THIS MAP.

SITE SPECIFIC SOIL MAP WAS PREPARED IN ACCORDANCE WITH 'SITE SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT VERSION 2.0, SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND' PUBLICATION #3, 1999.

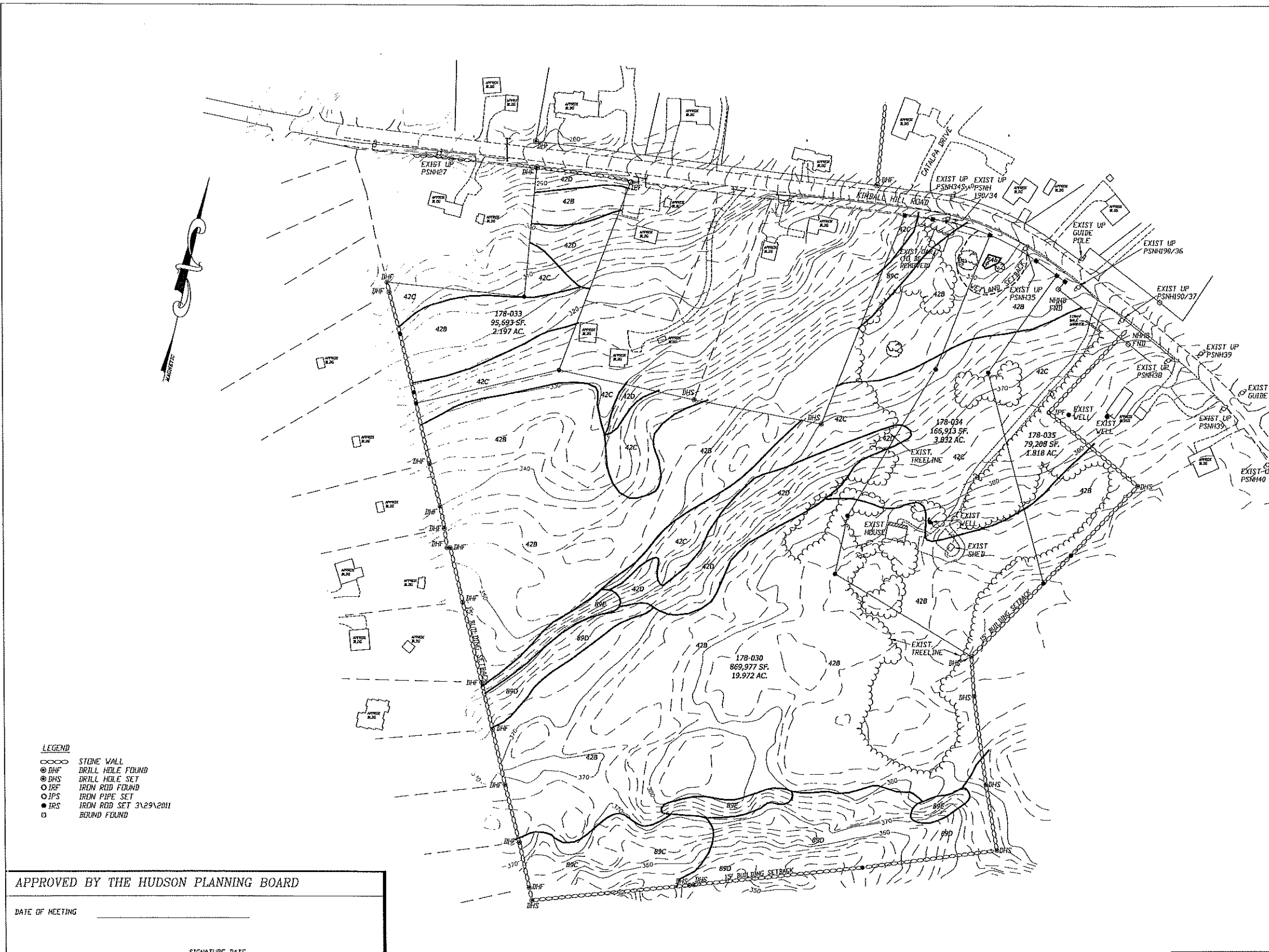
**WETLAND NOTES:**

- THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN ACCORDANCE WITH:
- 1) US ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEASTERN AND NORTHEAST REGION, TECHNICAL REPORT ERDC/EL TR-12-1 VERSION 2.0, JANUARY 2012.
  - 2) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0.
  - 3) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.2.1 (2009)
  - 4) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, USFWS MANUAL FWS/OBS-79/31 (1979)



NOTE: SEE SHEET 6 FOR DESCRIPTION OF EXISTING DRAINAGE

REVISIONS:	
<b>ABUCEWICZ SUBDIVISION PLAN</b>	
EXISTING CONDITIONS & SOIL PLAN MAP 178/LOT 030 63 KIMBALL HILL ROAD HUDSON, NH	
PREPARED FOR: <b>ABUCEWICZ FAMILY REVOCABLE TRUST</b> WALTER & MURRAYANN ABUCEWICZ, TRUSTEES 63 KIMBALL HILL ROAD HUDSON, NH 03051	
SCALE: 1"=100'	DATE: FEBRUARY 19, 2018
<b>EDWARD N. HERBERT ASSOC., INC.</b> LAND SURVEYORS - CIVIL ENGINEERS 1 FROST ROAD WINDHAM, NH 03087 (603) 432-2462	



- LEGEND**
- STONE WALL
  - ⊙ DHF DRILL HOLE FOUND
  - ⊙ DHS DRILL HOLE SET
  - IRF IRON ROD FOUND
  - IPS IRON PIPE SET
  - IRS IRON ROD SET 3/29/2011
  - BOUND FOUND

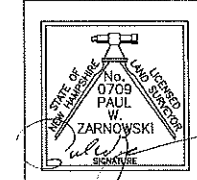
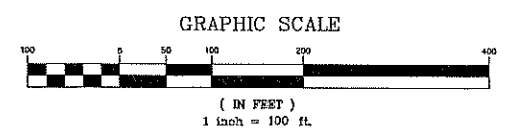
APPROVED BY THE HUDSON PLANNING BOARD

DATE OF MEETING \_\_\_\_\_

\_\_\_\_\_  
PLANNING BOARD CHAIRMAN

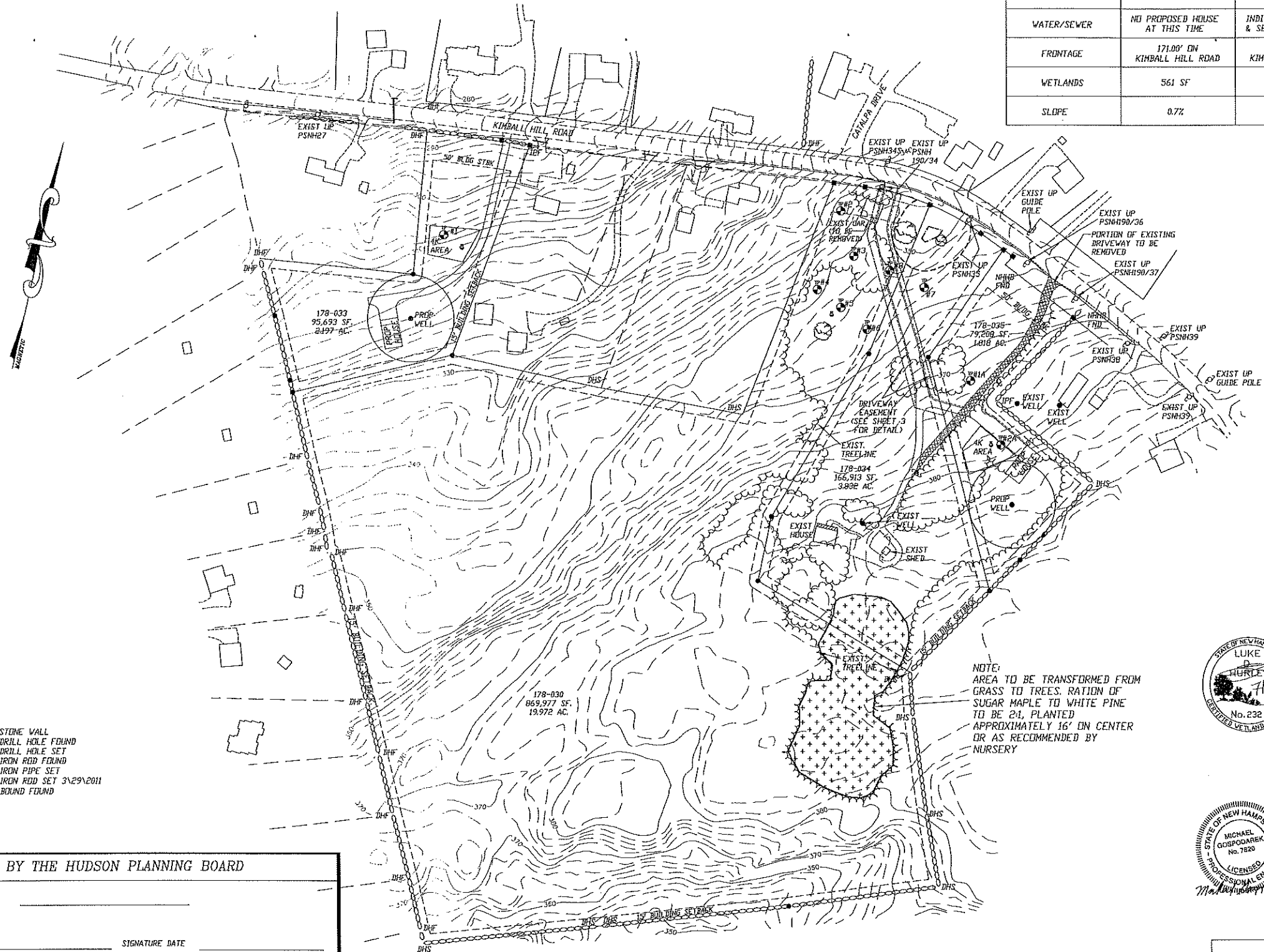
\_\_\_\_\_  
SECRETARY

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	LOT 178-030	LOT 178-033	LOT 178-034	LOT 178-035	TOWN CODE
DISTRICT	G	G	G	G	G
LOT SIZE	869,977 SF OR 19.972 AC	95,693 SF OR 2.197 AC	166,913 SF OR 3.832 AC	79,208 SF OR 1.818 AC	43,560 SF OR 1.000 AC
BUILDING ENVELOPE	794,835 SF	67,585 SF	130,700 SF	53,270 SF	-
WATER/SEWER	NO PROPOSED HOUSE AT THIS TIME	INDIVIDUAL WELL & SEPTIC SYSTEM	INDIVIDUAL WELL & SEPTIC SYSTEM	INDIVIDUAL WELL & SEPTIC SYSTEM	-
FRONTAGE	171.00' ON KIMBALL HILL ROAD	181.68' ON KIMBALL HILL ROAD	150.61' ON KIMBALL HILL ROAD	188.76' ON KIMBALL HILL ROAD	150'
WETLANDS	561 SF	0	0	0	-
SLOPE	0.7%	0%	0%	0%	LESS THAN 25%



TEST PIT INFORMATION TP 1-8 DUG ON OCTOBER 31, 2017  
TP 1A & 2A DUG ON JANUARY 3, 2018

TP#1 0'-0.4' 10YR3/3 FINE SANDY LOAM  
0.4'-1.9' 10YR4/6 FINE SANDY LOAM, GRANULAR, FRIABLE  
1.9'-3.4' 2.5Y5/4 SANDY LOAM, MASSIVE, FRIABLE  
SHWT 1.8', ROOTS 1.8', LEDGE 3.4', NO WATER ENC. PERC RATE 1 1/10 MIN.

TP#2 0'-0.5' 10YR3/3 FINE SANDY LOAM  
0.5'-1.8' 10YR4/6 FINE SANDY LOAM, GRANULAR, FRIABLE  
SHWT 1.8', ROOTS 1.8', LEDGE 1.8', NO WATER ENC.

TP#3 LEDGE 1.6'

TP#4 0'-1.2' 10YR3/3 FINE SANDY LOAM  
1.2'-2.2' 10YR4/4 FINE SANDY LOAM, MASSIVE, FRIABLE  
2.2'-3.1' 2.5Y5/3 SANDY LOAM, MASSIVE, FRIABLE  
SHWT 1.8', ROOTS 1.8', LEDGE 3.1', NO WATER ENC.

TP#5 0'-1.2' 10YR3/3 FINE SANDY LOAM  
1.2'-2.2' 10YR4/4 FINE SANDY LOAM, MASSIVE, FRIABLE  
2.2'-3.1' 2.5Y5/3 SANDY LOAM, MASSIVE, FRIABLE  
SHWT 1.8', ROOTS 1.8', LEDGE 3.1', NO WATER ENC.

TP#6 0'-0.7' 10YR3/3 FINE SANDY LOAM  
0.7'-2.8' 10YR5/4 LOAMY SAND, GRANULAR, FRIABLE  
2.8'-4.1' 2.5Y4/3 SANDY LOAM, MASSIVE, FRIABLE  
SHWT 1.5', ROOTS 1.5', LEDGE 4.1', NO WATER ENC. PERC RATE 1 1/12 MIN.

TP#7 0'-0.6' 10YR3/3 FINE SANDY LOAM, GRANULAR, FRIABLE  
0.6'-1.4' 10YR5/4 SANDY LOAM, GRANULAR, FRIABLE  
1.4'-3.4' 2.5Y5/4 SANDY LOAM, MASSIVE, FRIABLE  
SHWT 1.4', ROOTS 1.4', LEDGE 3.4', NO WATER ENC.

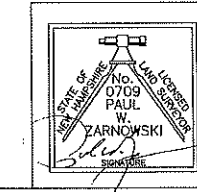
TP#8 0'-0.6' 10YR3/3 FINE SANDY LOAM  
0.6'-2.2' 10YR5/6 FINE SANDY LOAM, GRANULAR, FRIABLE  
2.2'-3.2' 2.5Y5/4 SANDY LOAM, MASSIVE, FRIABLE  
SHWT 1.8', ROOTS 1.8', LEDGE 3.2', NO WATER ENC.

TP#1A 0'-0.5' 10YR3/2 FINE SANDY LOAM  
0.5'-2.8' 10YR5/6 LOAMY SAND, MASSIVE, FRIABLE  
2.8'-4.4' 2.5Y6/4 LOAMY SAND, MASSIVE, FRIABLE  
SHWT 2.8', LEDGE 4.4', NO WATER ENC.

TP#2A 0'-0.7' 10YR3/2 FINE SANDY LOAM, GRANULAR, FRIABLE  
0.7'-2.5' 10YR5/6 LOAMY SAND, MASSIVE, FRIABLE  
2.5'-5.3' 2.5Y6/4 LOAMY SAND, MASSIVE, FRIABLE  
SHWT 3.0', ROOTS 3.0', LEDGE 4.4', NO WATER ENC., PERC RATE 1 1/12 MIN.

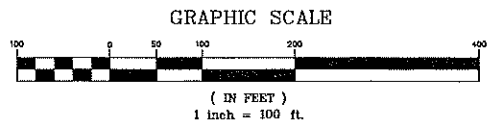
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4) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFW MANUAL FWS/OBS-79/31 (1979)

NOTE: SEE SHEET 6 FOR DESCRIPTION OF EXISTING DRAINAGE AND UTILITY POLES



- LEGEND
- STONE WALL
  - ⊙ DHF DRILL HOLE FOUND
  - ⊙ DHS DRILL HOLE SET
  - IRF IRON ROD FOUND
  - IRS IRON ROD SET 3/29/2011
  - BOUND FOUND

NOTE:  
AREA TO BE TRANSFORMED FROM GRASS TO TREES. RATION OF SUGAR MAPLE TO WHITE PINE TO BE 2:1, PLANTED APPROXIMATELY 16' ON CENTER OR AS RECOMMENDED BY NURSERY



APPROVED BY THE HUDSON PLANNING BOARD

DATE OF MEETING \_\_\_\_\_

PLANNING BOARD CHAIRMAN \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_

SUBDIVISIONS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE N.H. RSA 674:63.

REVISIONS

**ABUCEWICZ SUBDIVISION PLAN**

PROPOSED CONDITIONS PLAN MAP 178/LOT 030  
63 KIMBALL HILL ROAD  
HUDSON, NH

PREPARED FOR:  
ABUCEWICZ FAMILY REVOCABLE TRUST  
WALTER & MURRAYANN ABUCEWICZ, TRUSTEES  
63 KIMBALL HILL ROAD  
HUDSON, NH 03051

SCALE: 1"=100' DATE: FEBRUARY 19, 2018

EDWARD N. HERBERT ASSOC., INC.  
LAND SURVEYORS - CIVIL ENGINEERS  
1 FROST ROAD WINDHAM, NH 03087 (603) 432-2462

SHEET 5 OF 10



**WETLAND NOTES:**  
 THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY GIVE ENVIRONMENTAL SERVICES, INC. IN ACCORDANCE WITH:  
 1) US ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERDC/EL TR-12-1 VERSION 2.0, JANUARY 2012.  
 2) FIELD INDICATORS OF HYBRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYBRIC SOILS, VERSION 7.0.  
 3) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.21 (2009).  
 4) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFV MANUAL FWS/OBS-79/31 (1979)



**APPROVED BY THE HUDSON PLANNING BOARD**

DATE OF MEETING \_\_\_\_\_

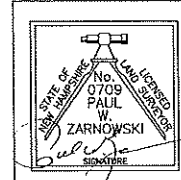
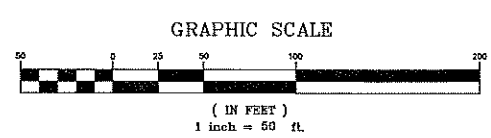
PLANNING BOARD CHAIRMAN \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_

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- LEGEND**
- STONE WALL
  - ⊙ DRILL HOLE FOUND
  - ⊙ DRILL HOLE SET
  - ⊙ IRF IRON ROD FOUND
  - ⊙ IPS IRON PIPE SET
  - IRS IRON ROD SET 3/29/2011
  - BOUND FOUND

NOTE: SEE SHEET 4 FOR TESTPIT DATA



**REVISIONS:**

**ABUCEWICZ SUBDIVISION PLAN**

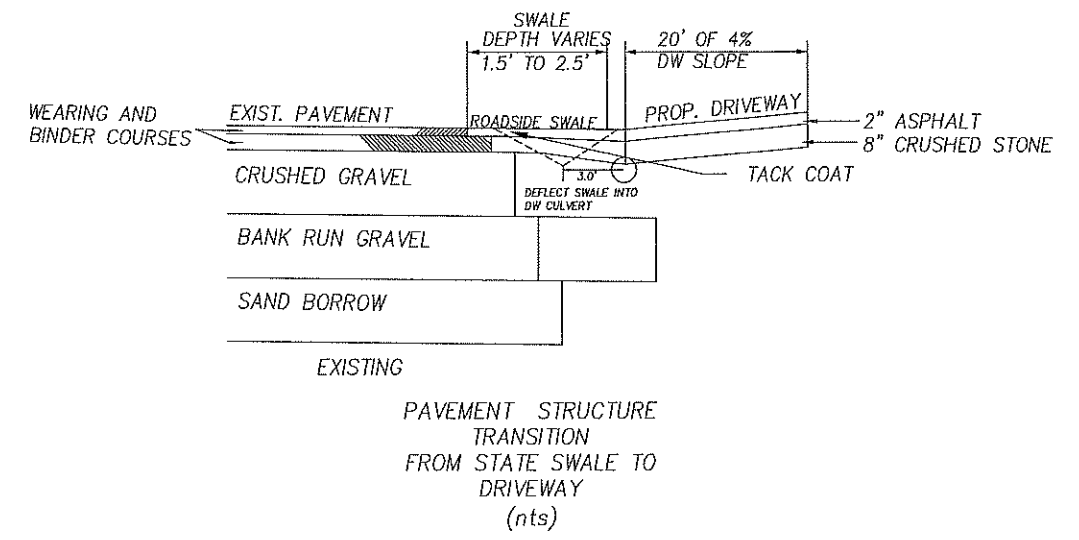
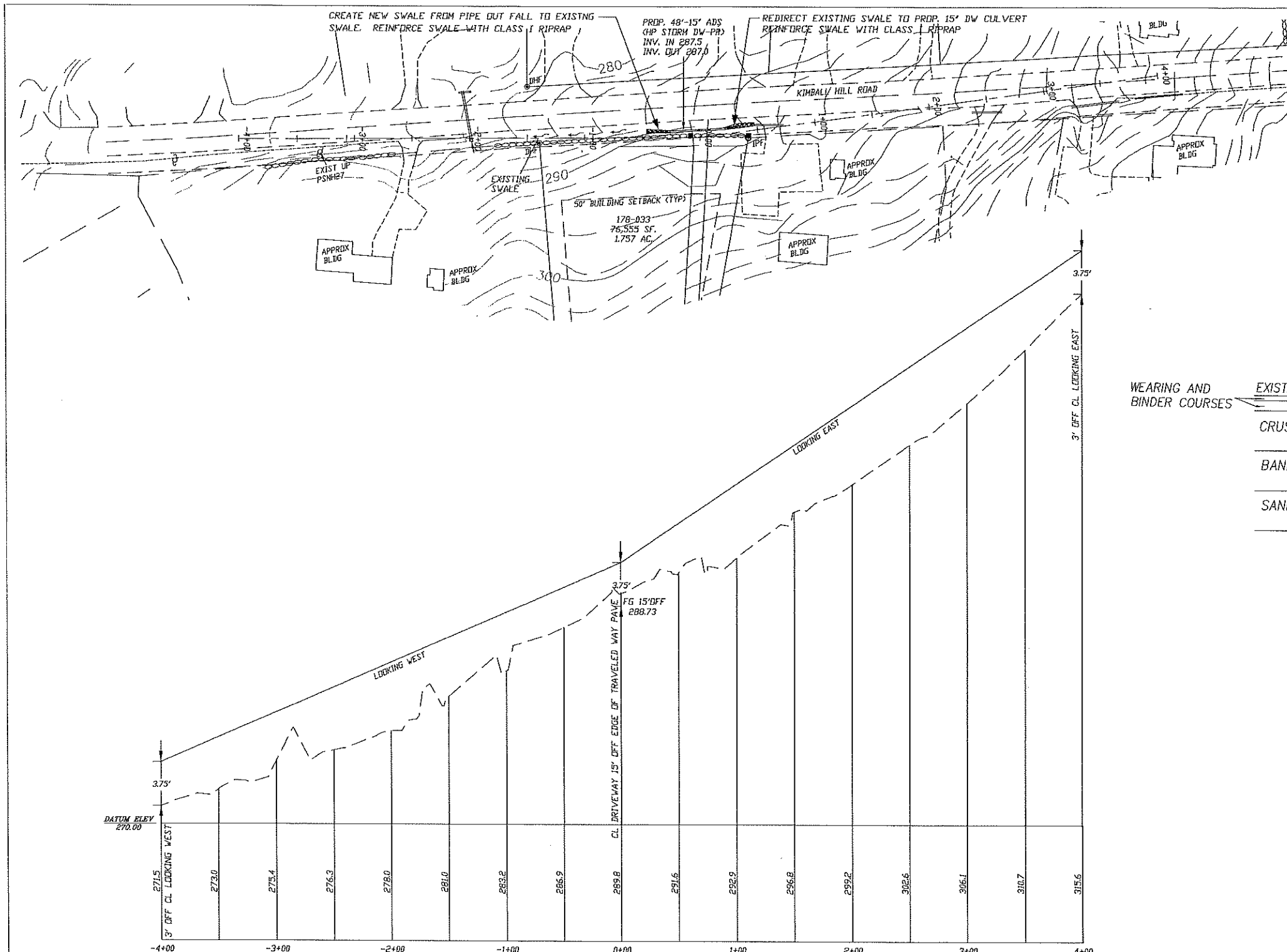
PROPOSED CONDITIONS PLAN MAP 178/LOT 030  
 63 KIMBALL HILL ROAD  
 HUDSON, NH

PREPARED FOR:  
 ABUCEWICZ FAMILY REVOCABLE TRUST  
 WALTER & MURRAYANN ABUCEWICZ, TRUSTEES  
 63 KIMBALL HILL ROAD  
 HUDSON, NH 03051

SCALE: 1"=50' DATE: FEBRUARY 19, 2018

**EDWARD N. HERBERT ASSOC., INC.**  
 LAND SURVEYORS - CIVIL ENGINEERS  
 1 FROST ROAD WINDHAM, NH 03087 (603) 432-2462

SHEET 6 OF 10



APPROVED BY THE HUDSON PLANNING BOARD

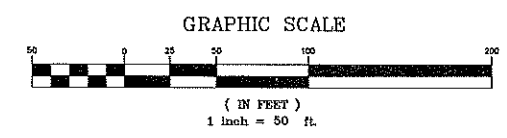
DATE OF MEETING \_\_\_\_\_

PLANNING BOARD CHAIRMAN \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_

PLANNING BOARD SUBDIVISIONS ARE VALID FOR ONE YEAR FROM THE DATE OF MEETING FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.

PROPOSED DRIVEWAY LOT 033  
 SCALE: VERT: 1"=5'  
 HORIZ: 1"=50'



STATE OF NEW HAMPSHIRE  
 LAND SURVEYORS  
 No. 0709  
 PAUL W. ZARNOWSKI  
 SURVEYOR

STATE OF NEW HAMPSHIRE  
 MICHAEL GOSPODAREK  
 No. 7820  
 LICENSED PROFESSIONAL ENGINEER

REVISIONS:

ABUCEWICZ SUBDIVISION PLAN

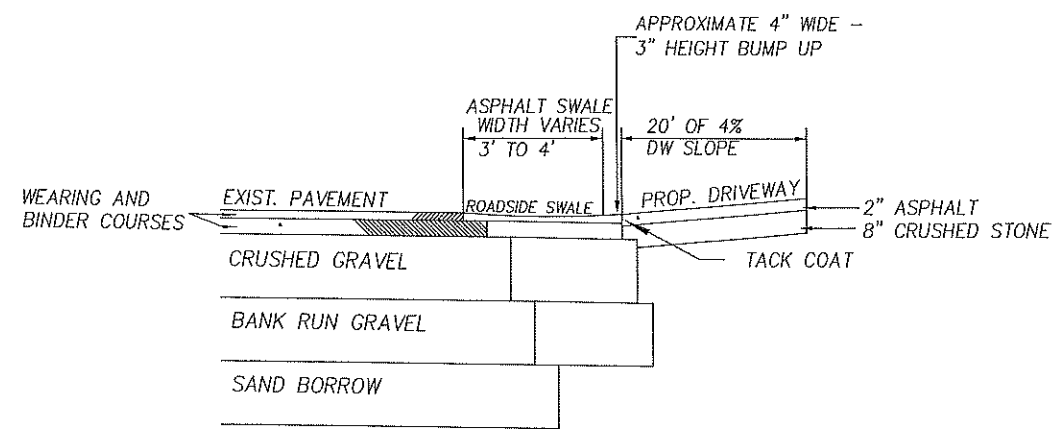
SIGHT DISTANCE PLAN MAP 178/LOT 030  
 63 KIMBALL HILL ROAD  
 HUDSON, NH

PREPARED FOR:  
 ABUCEWICZ FAMILY REVOCABLE TRUST  
 WALTER & MURRAYANN ABUCEWICZ, TRUSTEES  
 63 KIMBALL HILL ROAD  
 HUDSON, NH 03051

SCALE: 1"=50' DATE: NOVEMBER, 2017

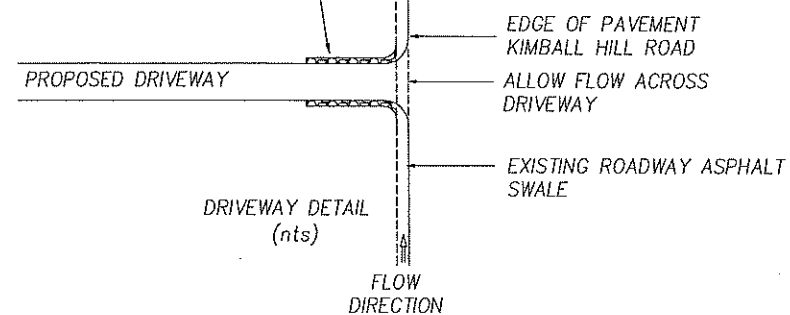
EDWARD N. HERBERT ASSOC., INC.  
 LAND SURVEYORS - CIVIL ENGINEERS  
 1 FROST ROAD WINDHAM, NH 03087 (603) 432-2462

SHEET 7 OF 10

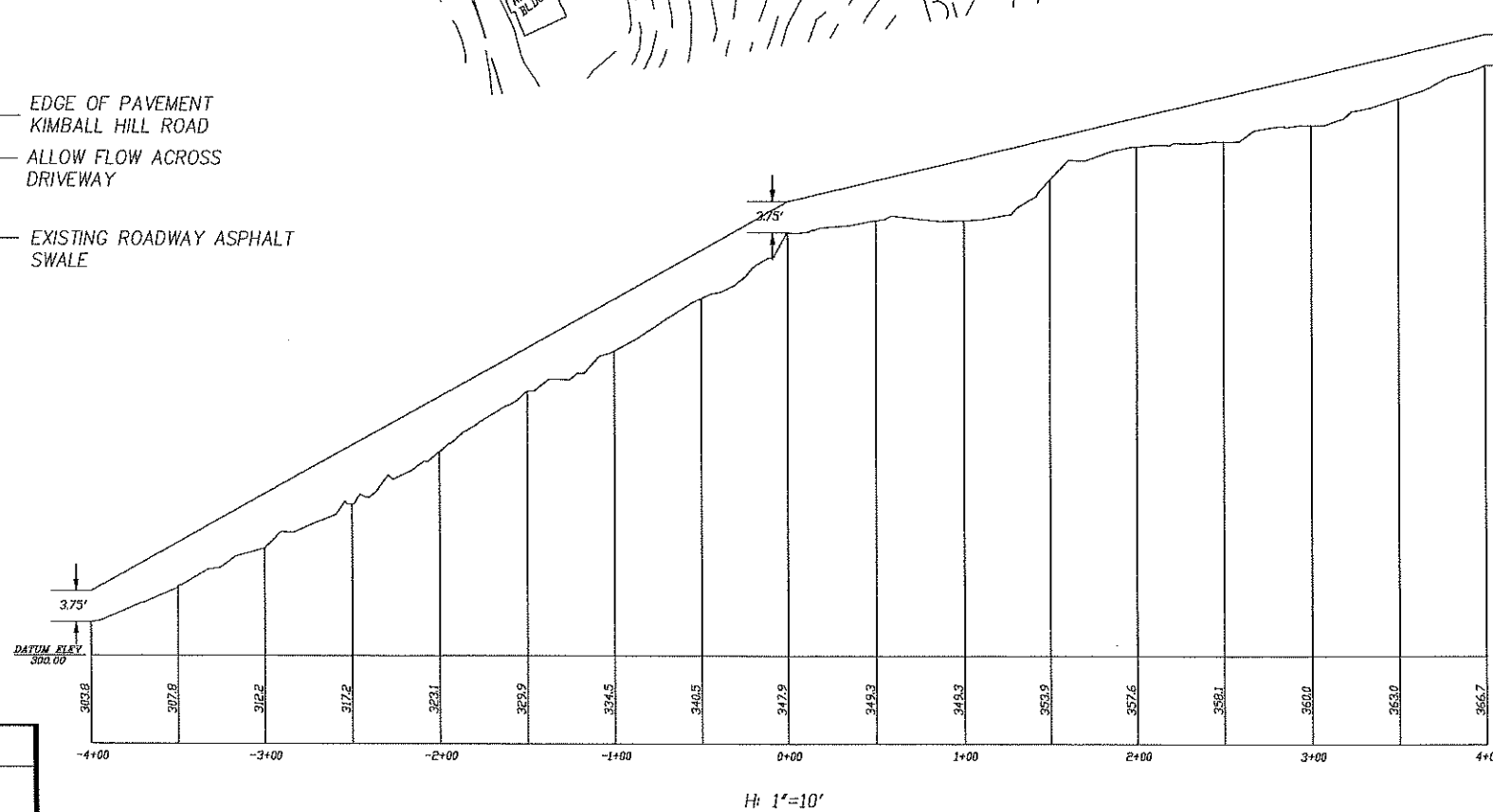


PAVEMENT STRUCTURE  
TRANSITION  
FROM STATE SWALE TO  
DRIVEWAY  
(nts)

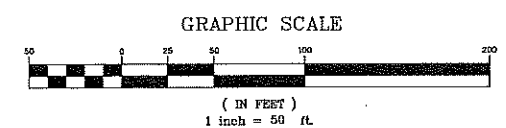
30' LONG - 2' WIDE - 6" DEEP EROSION STONE  
(CLASS D) ALONG EDGE OF DRIVEWAY  
TIE INTO ROADWAY ASPHALT SWALE



DRIVEWAY DETAIL  
(nts)



H: 1"=10'



APPROVED BY THE HUDSON PLANNING BOARD

DATE OF MEETING \_\_\_\_\_

PLANNING BOARD CHAIRMAN \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_

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REVISIONS:

**ABUCEWICZ SUBDIVISION PLAN**

SIGHT DISTANCE PLAN MAP 178/LOT 030  
83 KIMBALL HILL ROAD  
HUDSON, NH

PREPARED FOR:  
ABUCEWICZ FAMILY REVOCABLE TRUST  
WALTER & MURRAYANN ABUCEWICZ, TRUSTEES  
63 KIMBALL HILL ROAD  
HUDSON, NH 03051

SCALE: 1"=50' DATE: NOVEMBER, 2017














**EDWARD N. HERBERT ASSOC., INC.**  
LAND SURVEYORS - CIVIL ENGINEERS  
1 FROST ROAD WINDHAM, NH 03087 (603) 432-2462

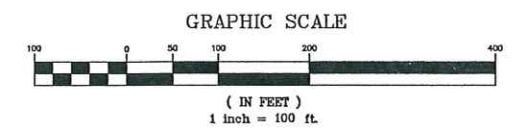
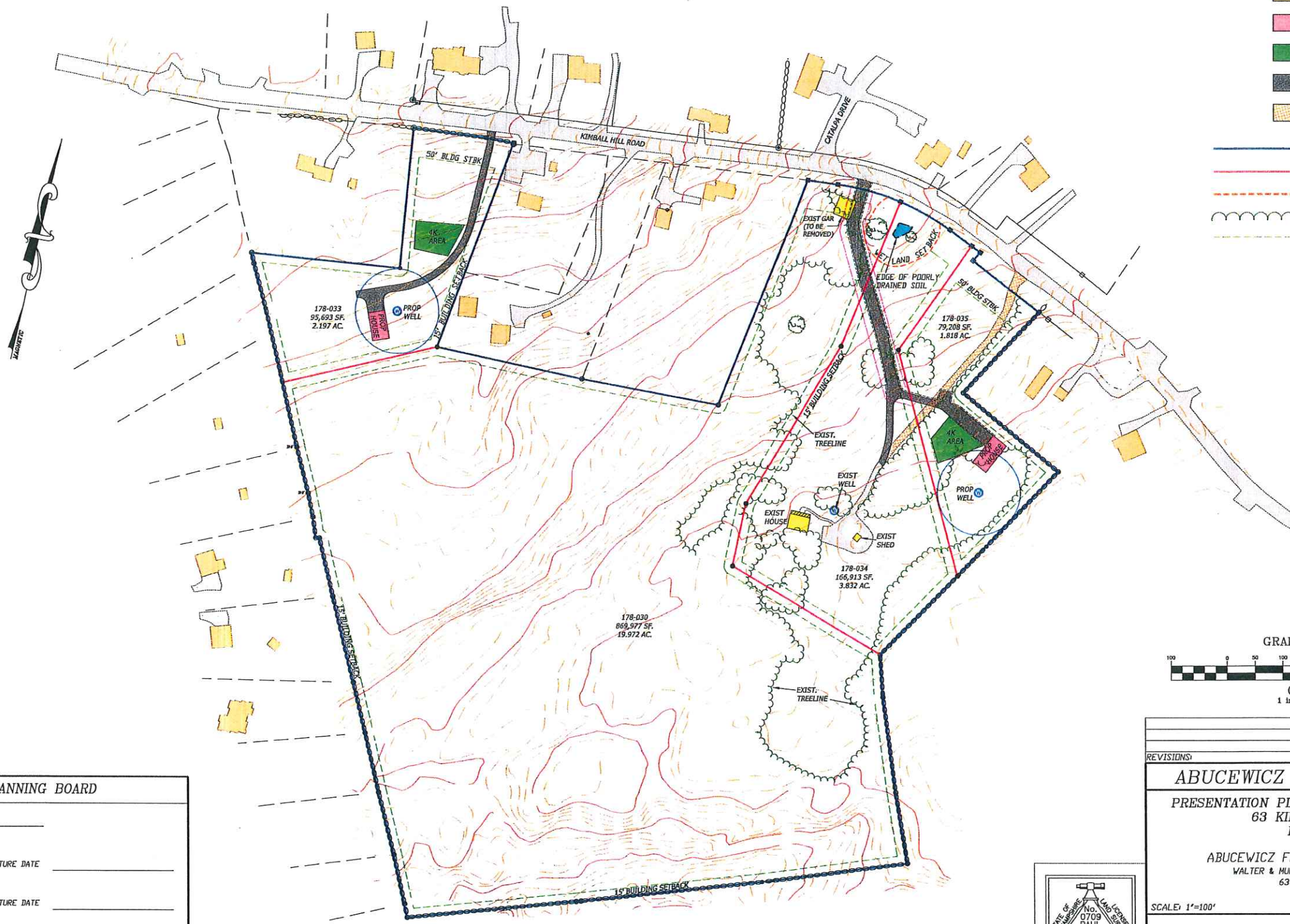
SHEET 8 OF 10



# ABUCEWICZ SUBDIVISION PLAN

TAX MAP 178 LOT 030  
63 KIMBALL HILL ROAD  
HUDSON, NH

-  EXISTING ON SITE STRUCTURES
-  EXISTING ROAD/DRIVEWAYS
-  WETLAND
-  EXISTING ABUTTING STRUCTURES
-  PROPOSED HOUSE LOCATION
-  PROPOSED SEPTIC SYSTEM AREA
-  PROPOSED DRIVEWAYS
-  EXISTING PORTION OF DRIVEWAY TO BE ABANDONED
-  BOUNDARY OF ENTIRE PARCEL
-  PROPOSED LOT LINES
-  50' WETLAND SETBACK
-  EXISTING TREELINE
-  BUILDING ENVELOPE



APPROVED BY THE HUDSON PLANNING BOARD

DATE OF MEETING \_\_\_\_\_

PLANNING BOARD CHAIRMAN \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_

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REVISIONS:

**ABUCEWICZ SUBDIVISION PLAN**

PRESENTATION PLAN MAP 178/LOT 030  
63 KIMBALL HILL ROAD  
HUDSON, NH

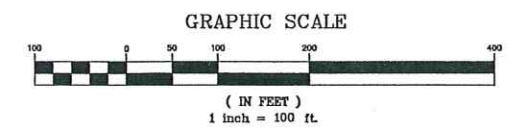
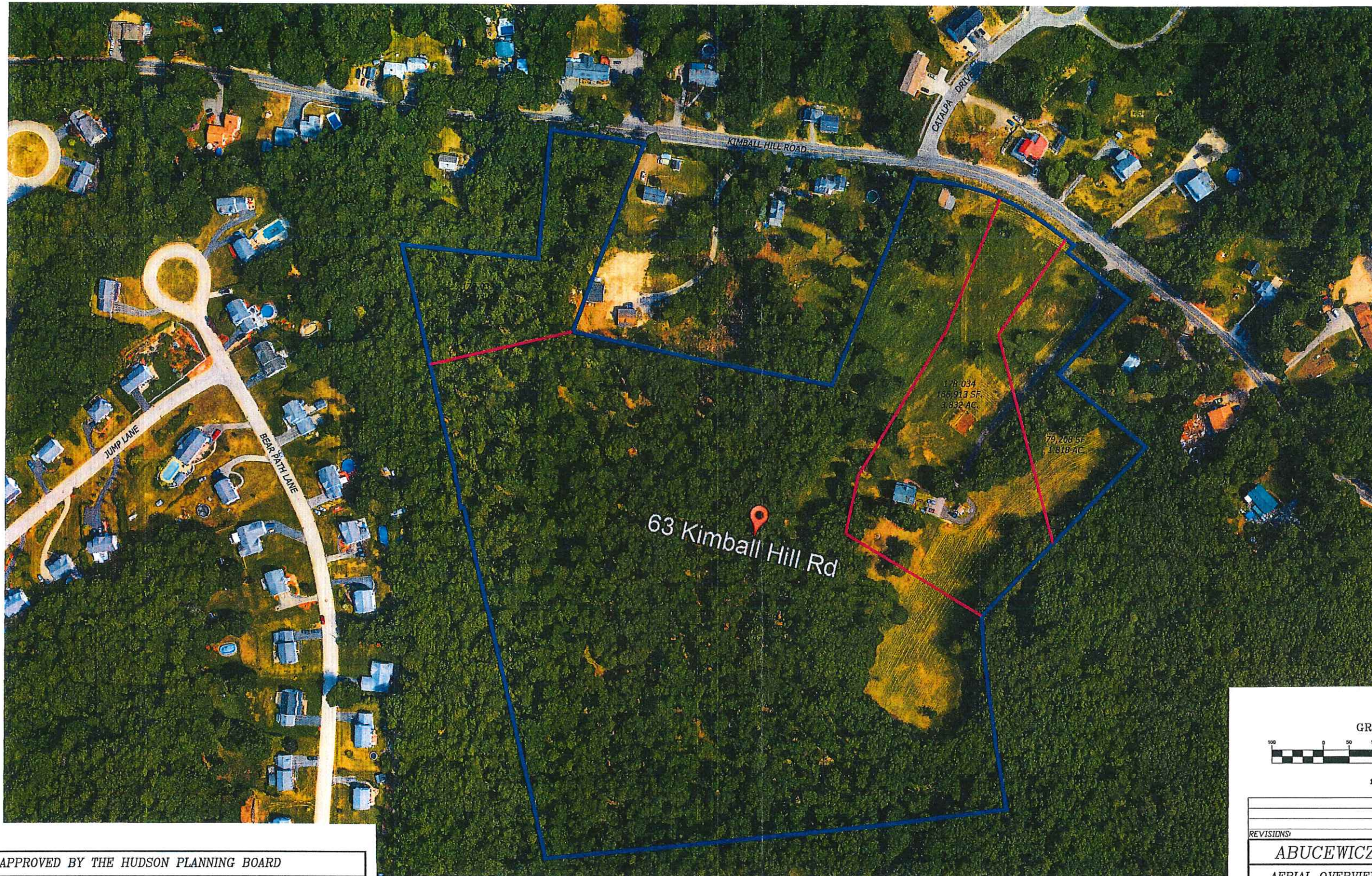
PREPARED FOR:  
ABUCEWICZ FAMILY REVOCABLE TRUST  
WALTER & MURRAY ABUCEWICZ, TRUSTEES  
63 KIMBALL HILL ROAD  
HUDSON, NH 03051

SCALE: 1"=100' DATE: FEBRUARY 19, 2018

EDWARD N. HERBERT ASSOC., INC.  
LAND SURVEYORS - CIVIL ENGINEERS  
1 FROST ROAD WINDHAM, NH 03087 (603) 432-2462

SHEET 9 OF 10





APPROVED BY THE HUDSON PLANNING BOARD

DATE OF MEETING \_\_\_\_\_

PLANNING BOARD CHAIRMAN \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_

SUBDIVISIONS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE N.H. RSA 674:99.

# ABUCEWICZ SUBDIVISION PLAN

TAX MAP 178 LOT 030  
63 KIMBALL HILL ROAD  
HUDSON, NH



REVISIONS:

**ABUCEWICZ SUBDIVISION PLAN**

AERIAL OVERVIEW PLAN MAP 178/LOT 030  
63 KIMBALL HILL ROAD  
HUDSON, NH

PREPARED FOR:  
ABUCEWICZ FAMILY REVOCABLE TRUST  
WALTER & MURRAY ABUCEWICZ, TRUSTEES  
63 KIMBALL HILL ROAD  
HUDSON, NH 03051

SCALE: 1"=100' DATE: FEBRUARY 19, 2018

EDWARD N. HERBERT ASSOC., INC.  
LAND SURVEYORS - CIVIL ENGINEERS  
1 FROST ROAD WINDHAM, NH 03087 (603) 432-2462

SHEET 10 OF 10



## **4 & 6 Stable Road Lot Line Relocation Plan**

### **STAFF REPORT**

August 15, 2018

**SITE:** 4 and 6 Stable Road -- Map 236/Lot 18 and Map 230/Lot 2 -- SB# 08-18

**ZONING:** R-2; Minimum lot size 43,560 sq. ft. and 150 ft. of frontage.

**PURPOSE OF PLAN:** to relocate the lot line between 4 and 6 Stable Road -Map 236/Lot 18 and Map 230/Lot 2 to resolve a driveway encroachment issue. No development activity is associated with this application. Application Acceptance & Hearing.

**PLANS UNDER REVIEW ENTITLED:** Lot Line Relocation Plan, #4 & #6 Stable Road, Hudson, NH 03051, Prepared for Steven & Donna Mithen and Helmut F. and Karen E. Boml, by Dane Land Surveying, PO Box 3183, East Hampstead, NH 03826, and dated 7/30/2018 (said plans are attached hereto).

#### **ATTACHMENTS:**

- 1) Lot Line Relocation Application date stamped July 30, 2018 – “A”.
- 2) Driveway setback waiver request – “B”.
- 3) Letter from Bruce Buttrick, Zoning Administrator/Code Enforcement Officer dated July 30, 2018 – “C”.

#### **REQUESTED WAIVERS:**

- 1) HR 193–10.H – Driveway Setback – “Driveways are not permitted in side or rear setback areas...”

#### **APPLICATION TRACKING:**

July 30, 2018 – Lot Line Relocation application submitted.

August 22, 2018 – Public hearing scheduled.

**RECOMMENDED ACTION:** Staff recommends application acceptance, conduct of the public hearing, and consideration of Lot Line Relocation Plan approval in accordance with the below DRAFT MOTIONS. In the event that the Board determines more time is needed to review the application, a motion for deferment is provided after the draft acceptance motion.

**DRAFT MOTION TO ACCEPT:**

I move to accept the Lot Line Relocation Plan for 4 and 6 Stable Road -- Map 236/Lot 18 and Map 230/Lot 2.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**DRAFT MOTION TO DEFER:**

I move to defer consideration of the Lot Line Relocation Plan for 4 and 6 Stable Road -- Map 236/Lot 18 and Map 230/Lot 2 to a date specific, the September 26, 2018 Planning Board meeting.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**WAIVER MOTIONS:**

- 1) HR 193-10.H – Driveway Setback

I move to grant the requested waiver of HR 193-10.H – Driveway Setback – “Driveways are not permitted in side or rear setback areas...” based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**MOTION TO APPROVE:**

I move to approve the Lot Line Relocation Plan, #4 & #6 Stable Road, Hudson, NH 03051, Prepared for Steven & Donna Mithen and Helmut F. and Karen E. Boml, by Dane Land Surveying, dated 7/30/2018 subject to the following stipulations:

- 1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Lot Line Relocation Plan.
- 2. All monumentation shall be set or bonded for prior to the Planning Board endorsing the Lot Line Relocation Plan-of-Record.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_.



"A"



LOT LINE RELOCATION APPLICATION FOR REVIEW  
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: 7/30/2018 Tax Map # 236 Lot # 018  
Name of Project: Lot Line Relocation Plan - #4 & #6 Stable Road - Hudson, NH  
Zoning District: Residential 2 General SB# 08-18  
(For Town Use) (For Town Use)

Z.B.A. Action: \_\_\_\_\_

PROPERTY OWNER:

DEVELOPER:

Name: Steven & Donna Mithen  
Address: #6 Stable Road Hudson, NH  
Address: \_\_\_\_\_  
Telephone # 603-300-7942  
Fax # 603-880-4455  
Email: dwcdesignsinc@hotmail.com

N/A  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PROJECT ENGINEER

Name: Dane Land Surveying  
Address: P.O. Box 3183  
Address: East Hampstead, NH 03826

Telephone # 603-382-0135  
Fax # N/A  
Email: chrissdane@comcast.net

PURPOSE OF PLAN:

To relocate the existing lot line between #4 & #6 Stable Road, M230/Lot 002 & M236/Lot 018  
respectively, so as to relieve each lot from a driveway encroachment issue.

(FOR TOWN USE)

Plan Routing Date: \_\_\_\_\_ Sub/Site Date: \_\_\_\_\_

\_\_\_\_\_ I have no comments \_\_\_\_\_ I have comments (attach to form)

Title: \_\_\_\_\_ Date: \_\_\_\_\_  
(Initials)

Department:

\_\_\_\_\_ Zoning \_\_\_\_\_ Engineering \_\_\_\_\_ Assessor \_\_\_\_\_ Police \_\_\_\_\_ Fire \_\_\_\_\_ Planning  
\_\_\_\_\_ Consultant \_\_\_\_\_ Highway Department

Fees Paid \_\_\_\_\_



**APPLICATION FOR LOT LINE RELOCATION  
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Lot Line Relocation Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Lot Line Relocation Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s), by the filing of this application as indicated above, hereby give permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: DANE LAND SURVEYING, Ch. S. Dan

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: \_\_\_\_\_

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The individual in charge of the project must notify the Code Enforcement Officer/Building Inspector within two (2) working days of any change.

Technical Review Signature: \_\_\_\_\_

Planner Approval Signature: \_\_\_\_\_

APPLICATION IS DUE AT 10:00 A.M. Tuesday the week prior to the Planning Board Meeting. Any applications/materials received after that time will be deferred until the next available meeting.

"B"

**LOT LINE RELOCATION WAIVER REQUEST FORM**

Name of the Lot Line Relocation Plan: Lot Line Relocation Plan - #4 & #6 Stable Road

Street Address: #4 and #6 Stable Road Hudson, NH 03051

I Steven Mithen hereby request that the Planning Board waive the requirements of item Chp.193-10H Driveway Setback of the Lot Line Relocation Plan Checklist in reference to a plan presented by Dane Land Surveying

Chris Dane, LLS 925 (name of surveyor and engineer) dated 7-30-2018

for property tax map(s) 236 and lot(s) 018 in the Town of Hudson, NH.  
230 002

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

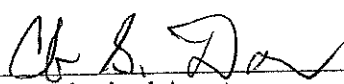
Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

Having to adhere to the current 15' driveway setback requirement would take away too much area from Map 230 Lot 002 creating a non-conforming lot.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

Both lots will retain their original frontage and both lots will meet the minimum area requirement of one acre. Before any improvements, the original driveway was built well within 15' of the proposed relocated lot line. Also, both property owners have agreed to use a lot line relocation as an equitable solution to the current encroachment.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted \_\_\_\_\_

Waiver Not Granted \_\_\_\_\_

"C"



# TOWN OF HUDSON

## Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

### Zoning Determination #18-93

July 30, 2018

Chris Dane, LLS  
Dane Land Surveying  
P.O. Box 3183  
East Hampstead, NH 03826

Re: 6 Stable Rd, Map 236 Lot 018  
**District: Residential Two (R-2)**

Dear Mr. Dane,

Your request: Does a driveway in a proposed lot line adjustment to eliminate the driveway encroachment onto an adjoining property need to satisfy the side yard setback as required in Town Code Chapter 193?

**Zoning Review / Determination:**

It appears based on the submitted documentation that you are trying to eliminate the driveway encroachment into the adjoining property, with a lot line adjustment. However to make the driveway setback comply with Town Code Chapter 193 with more land from lot #002 would make lot #002 non-conforming in lot area.

**The driveway regulations as prescribed in Town Code Chapter 193 is not in the Zoning Ordinance, nor under my purview.** If you are requesting relief from Chapter 193, I would suggest requesting a waiver from the Planning Board on that specific criteria in Chapter 193 with your lot line adjustment application.

Please call me or Administrative Aide Brooke Dubowik @ (603) 886-6008 to guide you through the application process.

Sincerely,

*Bruce Buttrick, MCP*

Zoning Administrator/Code Enforcement Officer  
(603) 816-1275  
[bbuttrick@hudsonnh.gov](mailto:bbuttrick@hudsonnh.gov)

- cc: Zoning Board of Adjustment
- S. Malizia, Town Administrator
- J. Minkarah, Interim Town Planner
- J. Michaud, Town Assessor
- File

*NOTE: this determination may be appealed to the Hudson Zoning Board of Adjustment within 30 days of the receipt of this letter.*