

**MINUTES/DECISIONS OF THE PLANNING BOARD
MEETING DATE: JULY 25, 2018**

In attendance = X; Alternates Seated = S; Partial Attendance = P; Excused Absence = E

| | | | |
|---|---|---|--|
| Glenn Della-Monica Chairman <u> E </u> | Timothy Malley Vice-Chair <u> X </u> | William Collins Secretary <u> X </u> | Charles Brackett Member <u> E </u> |
| Jordan Ulery Member <u> X </u> | Dillon Dumont Member <u> X </u> | Ed Van der Veen Alternate <u> X </u> | Elliott Veloso Alternate <u> E </u> |
| David Morin Select. Rep. <u> E </u> | Roger Coutu Alt. Select. Rep. <u> E </u> | | |

Meeting called to order at approximately 7:00 p.m.

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES
Mr. Van der Veen seated for Mr. Della-Monica.
- V. ELECTION OF OFFICERS
- VI. MINUTES OF PREVIOUS MEETING(S)
 - 11 JULY 18 Meeting Minutes – Decisions.
Mr. Ulery moved to approve the 11 JULY 18 Meeting Minutes (as written/amended).
Motion seconded by Mr. Dumont. All in favor – motion carried.
- VII. CASES REQUESTED FOR DEFERRAL

VIII. CORRESPONDENCE

- A. Request to Release Corridor Impact Fees for Traffic Camera Feeds by Elvis Dhima, Town Engineer (Email dated 07-05-18).

Mr. Ulery moved to recommend to the Board of Selectmen the release of \$6,140.00 from Impact Fee Account 2070-086 Corridor – Route 111 Improvements, \$4,320.00 from Impact Fee Account 2070-090 Corridor – Lowell Road Improvements, and \$6,140.00 from Impact Fee Account 2070-091 Corridor – Route 102 Improvements, totaling \$16,600.00, in accordance with the written request for same from the Town Engineer (please see attached email from Town Engineer, Elvis Dhima, dated 5 JUL 2018).

Motion seconded by Mr. Van der Veen. Motion carried – 3/2/0 (T.M and D.D.)

- IX. PERFORMANCE SURETIES
X. ZBA INPUT ONLY
XI. PUBLIC HEARINGS
XII. OLD BUSINESS/PUBLIC HEARINGS
XIII. DESIGN REVIEW PHASE
XIV. CONCEPTUAL REVIEW ONLY

XV. NEW BUSINESS/PUBLIC HEARINGS

- A. 10 Roosevelt Avenue Change of Use
CUSP# 01-18
- 10 Roosevelt Avenue
Map 191/Lot 131

Purpose of Plan: to propose the additional use of general retail, which would include a flea market, auction hall, and snack bar. Application Acceptance & Hearing.

Mr. Ulery moved to defer further review of the Change of Use Application for 10 Roosevelt Avenue, Hudson, NH, Map 191/Lot 131, date specific to the 22 AUG 18 meeting.

Motion seconded by Mr. Dumont. All in favor – motion carried.

- XVI. OTHER BUSINESS
XVII. ADJOURNMENT

Motion to adjourn by Mr. Ulery. Seconded by Mr. Dumont. All in favor – motion carried.

Meeting adjourned at 7:50 p.m.

William Collins
Secretary

Pelham Yards Amended Site Plan

STAFF REPORT

August 2, 2018

SITE: Pelham Yards – 122 Lowell Road Map 204/Lot 009- SP#10-18

ZONING: B - Business

PURPOSE OF PLAN: to amend the Site Plan entitled Pelham Yards, Multi-Tenant Facility, 122 Lowell Road, dated April 2010 and approved on July 14, 2010 to allow all uses permitted in the Business Zone except retail and restaurant uses.

SITE PLAN ENTITLED: Amended Non-Residential Site Plan, Pelham Yards, Map 204, Lot 9, 122 Lowell Road, Hudson, NH, prepared for Nottingham Square Corp., by Keach-Nordstrom Associates, Inc., 10 Commerce Park, Bedford, NH 03110, dated June 15, 2018 (said plan attached hereto).

ATTACHMENTS:

- 1) Site Plan Application date stamped July 2, 2018 with project narrative and photos of project site – Attachment “A”.
- 2) Comments from Bruce Buttrick, Zoning Administrator/Code Enforcement Officer dated July 9, 2018 - Attachment “B”.

REQUESTED WAIVERS: NA

PROJECT DESCRIPTION:

A site plan for Pelham Yards was approved on July of 2014 for a 13,273 SF, ten-unit commercial building which specified proposed uses as being 10,112 GSF of “Industrial” uses and 3,161 GSF of “Mezzanine/Business”. Applicants propose to amend the approved Site Plan to allow all uses permitted in the Business Zone except for retail and restaurant.

APPLICATION TRACKING:

- July 2, 2018 – Application submitted.
- August 8, 2018 – Public hearing scheduled.

OUTSTANDING ISSUES:

1. Permitted uses: No industrial uses are permitted in the Business Zone and the intended uses of the previously approved Site Plan are not clear from the record. Given the nature of the building - designed with deep, high-ceiling bays, large overhead doors and interior mezzanine areas in each unit, however, it appears that the intended use was for small businesses such as contractors seeking interior vehicle and/or equipment storage with limited

office space and other similar businesses. Note 12 on the prior Site Plan specifies that no retail sales are permitted (Note 17 on the Amended Plan) and Note 13 prohibits outdoor storage of materials and trailers (Note 18 on the Amended Plan). All uses other than retail and restaurant uses permitted in the Business Zone would include: multi-family dwellings, assisted living facilities, child care, animal clinic or hospital, funeral home, auto repair and other uses that may not be compatible with the configuration and layout of the site. The applicant should more narrowly state the type and nature of additional uses sought.

2. Parking: Though the applicant is seeking a broader range of uses than permitted under the previously approved Site Plan, it should be noted that the parking calculations provided are the same as proposed on the original plan in 2010: Business - 1 space/300 SF @ 3,161 SF = 11 spaces and Industrial - 1 Space/600 SF @ 10,112 SF = 17 spaces for a total of 28 spaces. A total of 32 spaces are provided. With 32 spaces for ten units, parking is a limiting factor on potential uses for the site.

RECOMMENDATION: Staff recommends application acceptance and conduct of the public hearing and for possible final action to be considered in accordance with the below DRAFT MOTIONS. A motion to defer is included in case the Board considers that more time is needed to review the application.

MOTION TO ACCEPT THE APPLICATION:

I move to accept the Site Plan application for Pelham Yards, Map 204, Lot 9.

Motion by: _____ Second: _____ Carried/Failed: _____

MOTION TO DEFER CONSIDERATION OF THE APPLICATION:

I move to defer further review of the Site Plan application for Pelham Yards, Map 204, date specific, to the September 26, 2018 meeting.

Motion by: _____ Second: _____ Carried/Failed: _____

MOTION TO APPROVE:

I move to approve the Site Plan entitled: Amended Non-Residential Site Plan, Pelham Yards, Map 204, Lot 9, 122 Lowell Road, prepared for Nottingham Square Corp., by Keach-Nordstrom Associates, Inc., dated June 15, 2018 and consisting of one Sheet with Notes 1 – 20, subject to the following conditions:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Site Plan-of-Record.

Motion by: _____ Second: _____ Carried/Failed: _____

"A"



PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: July 2, 2018 Tax Map # 204 Lot # 9

Name of Project: Pelham Yards

Zoning District: _____ General SP# 10-18
(For Town Use) (For Town Use)

ZBA Action: N/A

PROPERTY OWNER:

DEVELOPER:

Name: Nottingham Square Corp. Same as Owner

Address: 46 Lowell Road _____

Address: Hudson, NH 03051 _____

Telephone # 603-880-7799 _____

Fax # _____

Email: msousa@sousarealtynh.com _____

PROJECT ENGINEER

SURVEYOR

Name: Steven Keach, PE - KNA Anthony Basso, LLS - KNA

Address: 10 Commerce Park No., 3 10 Commerce Park No., 3

Address: Bedford, NH 03110 Bedford, NH 03110

Telephone # 603-627-2881 603-627-2881

Fax # 603-627-2915 603-627-2915

Email: skeach@keachnordstrom.com abasso@keachnordstrom.com

PURPOSE OF PLAN:

To amend the previously approved site plan to allow additional uses within the existing building.

For Town Use

Plan Routing Date: _____ Sub/Site Date: _____

_____ I have no comments _____ I have comments (attach to form)

(Initials) Title: _____ Date: _____

DEPT:
_____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning
_____ Consultant _____ Highway Department

Fees Paid: \$1,240.61

SITE DATA SHEET

PLAN NAME: Pelham Yards

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 204 LOT 9

DATE: July 2, 2018

Location by Street: 122 Lowell Road

Zoning: Business (B)

Proposed Land Use: Multi-Tenant Facility

Existing Use: Multi-Tenant Facility

Surrounding Land Use(s): Mixed - Cemetery, School, Condos, etc.

Number of Lots Occupied: One

Existing Area Covered by Building: 13,273-sf GFA (3,161-sf business, 10,112-sf industrial)

Existing Buildings to be removed: None

Proposed Area Covered by Building: 13,273-sf GFA (3,161-sf business, 10,112-sf industrial)

Open Space Proposed: 43%

Open Space Required: 35%

Total Area: S.F.: 48,860 Acres: 1.12

Area in Wetland: 0 Area Steep Slopes: 0

Required Lot Size: 30,000-sf with sewer & water

Existing Frontage: 157.59-ft

Required Frontage: 150-ft

| Building Setbacks: | <u>Required*</u> | <u>Proposed</u> |
|--------------------|------------------|-----------------|
| Front: | <u>50-ft</u> | <u>70-ft</u> |
| Side: | <u>15-ft</u> | <u>29-ft</u> |
| Rear: | <u>15-ft</u> | <u>15-ft</u> |

**SITE PLAN DATA SHEET
(Continued)**

Flood Zone Reference: 33011C0514E - Not within Flood Zone

Width of Driveways: 32-ft (existing)

Number of Curb Cuts: One (existing)

Proposed Parking Spaces: 32 Spaces (existing)

Required Parking Spaces: 28 Spaces

Basis of Required Parking (Use): 1 Space/300-sf: Business & 1 Space/600-sf: Industrial

Dates/Case #/Description/Stipulations
of ZBA, Conservation Commission,
NH Wetlands Board Actions: N/A
(Attach stipulations on separate sheet)

| Hudson Town Code | | |
|-----------------------------------|-----------------------|-------------------------------|
| <u>Waivers Requested:</u> | <u>Reference</u> | <u>Regulation Description</u> |
| | 1. <u>275-8(11)</u> | <u>HISS Soil Mapping</u> |
| | 2. <u>275-9D</u> | <u>Fiscal Impact Study</u> |
| | 3. <u>275-9C</u> | <u>Noise Impact Study</u> |
| | 4. <u>257-8B(31A)</u> | <u>Internal Landscaping</u> |
| | 5. _____ | _____ |
| | 6. _____ | _____ |
| | 7. _____ | _____ |
| | 8. _____ | _____ |
| <i>(Left column for Town Use)</i> | | |

Impact Fees: *Waivers granted on 6/9/2010

C.A.P Fee: N/A

Development Agreement
Proposed: N/A

| | |
|------------------------------|-------------|
| <i>For Town Use</i> | |
| Data Sheet Checked By: _____ | Date: _____ |

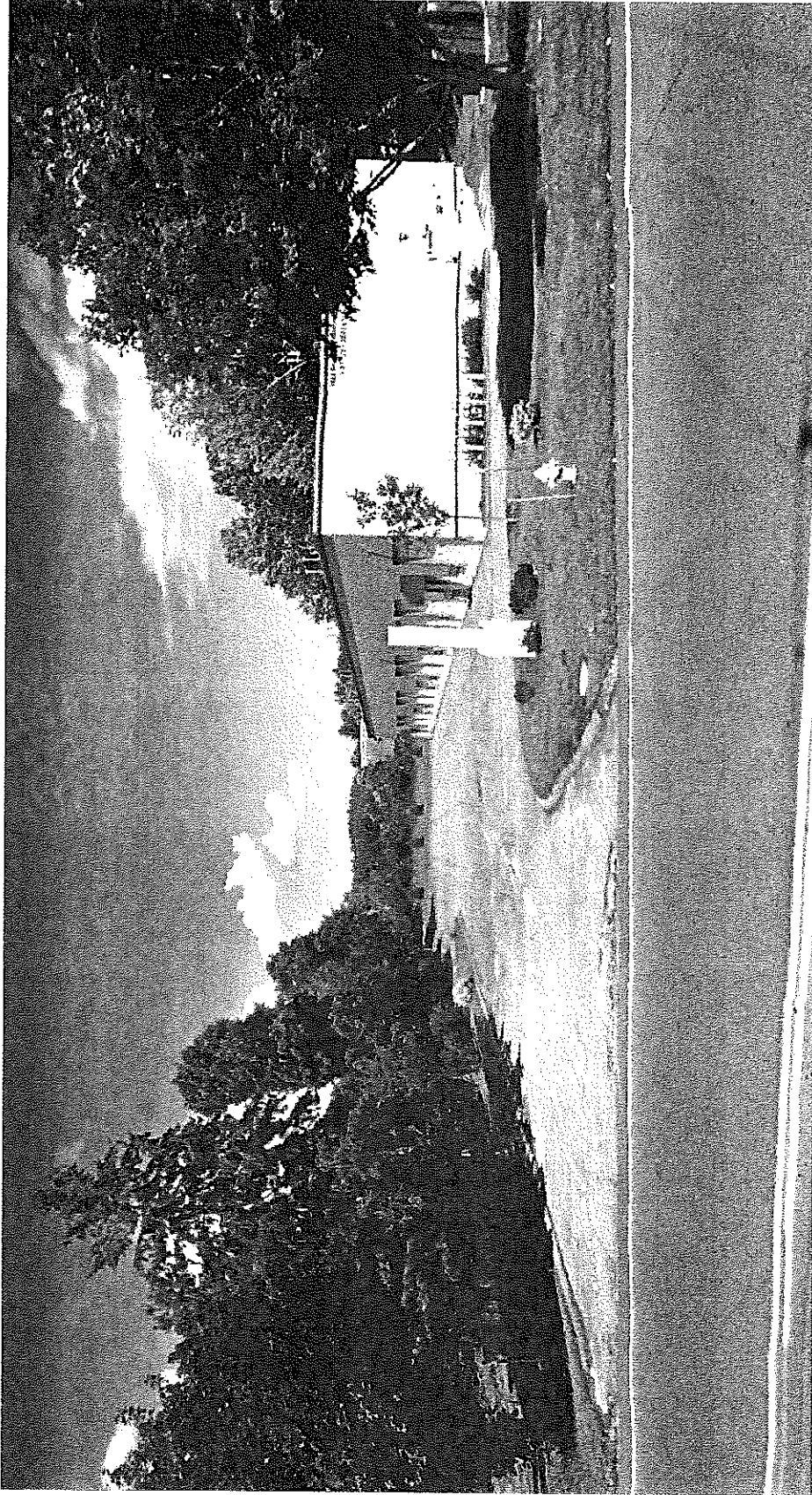
Pelham Yards - Map 204 Lot 9



MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

Nashua Regional Planning Commission makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated 04/18/2018
Properties updated 04/18/2018



Google street view of the existing multi-tenant facility

Civil Engineering

Land Planning

Landscape Architecture

10 Commerce Park North, Suite 3B

Bedford, NH 03110

Phone (603) 627-2881

Fax (603) 627-2915

July 2, 2018

Pelham Yards – Amended Non-Residential Site Plan Application
Tax Map 204; Lot 9
122 Lowell Road, Hudson, NH
KNA Project No. 18-0523-2

Project Narrative

The subject property, referenced on Hudson Tax Map 204 as Lot 9, is located off Lowell Road in Hudson, New Hampshire. The 1.12-acre parcel, located entirely within the Business (B) Zoning District, is developed with an existing 13,273-square foot (GFA) multi-tenant building and all associated site appurtenances. The remaining land area consists of grass/landscaped areas, and woodlands. The building is serviced with municipal sewer and water. The parcel has frontage along Lowell Road.

The project proposes to amend the previously approved site plan to allow additional uses within the multi-tenant building. No changes to the building or exterior of the site are proposed.

"B"



TOWN OF HUDSON

Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

Site Plan Review Zoning Review/Comments

July 9, 2018

Re: Case: SP# 10-18
Address: 122 Lowell Road
Map 204 Lot 009
Zoning district: Business (B)

- 1) Please clarify on note #1: that the additional uses requested are those that are allowed by right in Table §334-21 (Table of Permitted Principal Uses), with exception (prohibited) examples such as note #17.
- 2) Please describe/clarify on note #18 what storage trailers are. Are they registered trailers or the typical "con-nex" type storage boxes?

Sincerely,

Bruce Buttrick, MCP

Zoning Administrator/Code Enforcement Officer
(603) 816-1275
bbuttrick@hudsonnh.gov

cc: Jay Minkarah – Interim Town Planner
file

Reeds Ferry Small Buildings Site Plan
STAFF REPORT
August 02, 2018

SITE: Reeds Ferry Sheds 3, 5 & 7 Tracy Lane - Map 101/Lots 017, 015 & 014 - SP# 09-18

ZONING: B - Business

PURPOSE OF PLAN: to depict improvements associated with expansion of the existing Reeds Ferry Sheds facility at 3 Tracy Lane, situated primarily in Londonderry, and to 5 and 7 Tracy Lane which are also located in both Hudson and Londonderry. Improvements in Hudson include reuse of a former service garage for manufacturing, construction of a portion of an outdoor display area, construction of 24,000 sq. ft. of paved parking area and related improvements. Application Acceptance & Hearing.

SITE PLAN ENTITLED: Reeds Ferry Small Buildings, 3, 5, 7 Tracy Lane, Hudson, New Hampshire, prepared by TFM, 48 Constitution Drive, Bedford, NH, dated June 22, 2018, (last revised July 25, 2018), consisting of Sheets 1 - 17 with Notes 1 – 11 on Sheet 2, Notes 1 – 34 on Sheet 6, Notes 1 – 23 on Sheet 7 and Notes 1 – 13 on Sheet 9 (said plans attached hereto):

ATTACHMENTS:

- 1) Site Plan Application date stamped June 22, 2018 with project narrative, photos of project site, and waiver requests – Attachment “A”.
- 2) Zoning Determination by Bruce Buttrick, Zoning Administrator, dated February 28, 2018 (#18-28), and ZBA decision to Grant Variance Case 101-14 March 22 to allow fabrication of wood trusses (manufacturing) within the B Zoning District - Attachment “B”.
- 3) Zoning Determination by Bruce Buttrick, Zoning Administrator, dated June 13, 2018 (#18-81), and ZBA decision to Grant a Wetlands Special Exception on July 26, 2018 to allow paving of 750 sq. ft. of gravel area and grading associated with a stormwater treatment area within a wetlands buffer area Attachment “C”.
- 4) Comments from Town Engineer Elvis Dhima dated June 28, 2018 – Attachment “D”.
- 5) CLD/Fuss & O’Neill review comments memo dated July 17, 2018 and TFM response to CLD review comments dated July 23, 2018 – Attachment “E”.

REQUESTED WAIVERS:

- 1) HR 275–8. (7)(a) & [(b)] – Interior parking landscaping.
- 2) HR 276–11.1.B. (12) – Display area in front setback
- 3) HR 276–11.1.B. (22)] – Display area within 35 foot green frontage area.

PROJECT DESCRIPTION:

The project proposes to expand an existing facility for the manufacture of wooden sheds located on a lot situated in both Londonderry and Hudson onto two additional lots that are also bisected by Hudson/Londonderry town line. Improvements include conversion of an existing commercial 5,668 sq. ft. building in Hudson to manufacturing use, conversion and expansion of a commercial building in Londonderry to 12,000 sq. ft., development of expanded parking areas, an outdoor display area and other related improvements.

APPLICATION TRACKING:

- June 13, 2018 – Planning Board Conceptual Consultation.
- June 22, 2018 – Application submitted.
- June 27, 2018 – Public hearing scheduled.

OUTSTANDING ISSUES:

1. Parking Lot Interior Landscaping Waivers – The applicant is requesting a waiver of required interior parking lot landscaping. The applicant asserts that development of landscaped islands would impede turning movements for the 52-foot trailers that need to access and navigate the site. It is noteworthy that this site would be used for an active manufacturing operation rather than a retail, office or multifamily residential development.
2. Waiver to allow an outdoor display area within the required 50-foot front setback and the 35 foot required green area. The applicant seeks to develop an area to display the various types and styles of sheds it manufactures. The area would be landscaped and supplemented with decorative retaining walls. The applicant asserts that topography limits their ability to locate the display area elsewhere on the site. Undoubtedly, the applicant also seeks to benefit from the high visibility afforded by siting the display area along Derry Road. The applicant's products can be distinguished from other manufactured products in that they are designed for outdoor use, primarily intended for marketing directly to consumers and designed to integrate attractively into residential environs.
3. Comments from Town Engineer requesting a catch basin or shallow concrete chamber with mechanical separator and the addition of a note to affirmatively state that they will meet new MS4 rules and regulations per memo dated June 28, 2018.
4. Whereas the site is located in both Hudson and Londonderry and the improvements shown within each town are dependent upon improvements located in the other, Site Plan approval from the Town of Londonderry Planning Board is required for this application.

RECOMMENDATION: Staff recommends application acceptance and conduct of the public hearing for possible final action to be considered in accordance with the below DRAFT MOTIONS. A motion to defer is included in case the Board considers that more time is needed to review the application.

MOTION TO ACCEPT THE APPLICATION:

I move to accept the Site Plan application for Reeds Ferry Small Buildings at 3, 5 & 7 Tracy Lane - Map 101/Lots 017, 015 & 014.

Motion by: _____ Second: _____ Carried/Failed: _____

MOTION TO DEFER CONSIDERATION OF THE APPLICATION:

I move to defer further review of the Site Plan application for Reeds Ferry Small Buildings at 3, 5 & 7 Tracy Lane - Map 101/Lots 017, 015 & 014 until the September 12, 2018 meeting.

Motion by: _____ Second: _____ Carried/Failed: _____

WAIVER MOTIONS:

- 1) HR 275-8. (7)(a) & [(b)] – Interior parking landscaping

I move to grant the requested waiver of HR 275-8. (7)(a) & [(b)] – Interior parking landscaping, based on the testimony of the Applicant's representative, and in accordance with the language included in the submitted waiver request.

Motion by: _____ Second: _____ Carried/Failed: _____

- 2) HR 276-11.1.B. (12) – [Display area in front setback] and [HR 276-11.1.B. (12)] – Display area within 35 foot green frontage area

I move to grant the requested waiver of HR 276-11.1.B. (12) – [Display area in front setback] and [HR 276-11.1.B. (12)] – Display area within 35 foot green frontage area, based on the testimony of the Applicant's representative, and in accordance with the language included in the submitted waiver request.

Motion by: _____ Second: _____ Carried/Failed: _____

MOTION TO APPROVE:

I move to approve the Site Plan entitled: Reeds Ferry Small Buildings, 3, 5, 7 Tracy Lane, Hudson, New Hampshire, prepared by TFM, 48 Constitution Drive, Bedford, NH, dated June 22, 2018, (last revised July 25, 2018), consisting of Sheets 1 - 17 and Notes 1 – 11 on Sheet 2 and Notes 1 – 34 on Sheet 6 subject to the following conditions:

1. Town of Londonderry Planning Board approval of the Site Plan entitled: Reeds Ferry Small Buildings, 3, 5, 7 Tracy Lane, Hudson, New Hampshire, prepared by TFM, 48 Constitution Drive, Bedford, NH, dated June 22, 2018, (last revised July 25, 2018), consisting of Sheets 1 - 17 and Notes 1 – 11 on Sheet 2 and Notes 1 – 34 on Sheet 6.
2. All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record.
3. All improvements shown on the Site Plan-of-Record, including Notes 1-11 on Sheet 2 and Notes 1–34 on Sheet 6, shall be completed in their entirety and at the expense of the Applicant or his assigns.
4. Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Land Use Department, confirming that the site conforms to the Planning Board approved site plan.
5. The onsite drainage system shall be constructed and maintained in compliance with NHDES requirements for such systems.
6. The Site Plan shall be amended to include a catch basin or shallow concrete chamber with mechanical separator and the addition of a Note 14 on Sheet 9 to affirmatively state that the Applicant will comply new MS4 rules and regulations per memo from Town Engineer Elvis Dhima dated June 28, 2018.
7. Prior to Planning Board endorsement of the plan, it shall be subject to final review by the Town Engineer and CLD.
8. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M. No exterior construction activities shall be allowed on Sundays. Note 19 on Sheet 6 shall be revised to match this stipulation.
9. Hours of refuse removal shall be exclusive to the hours between 7:00 A.M. and 7:00 P.M. Monday through Saturday only. A new Note shall be added to Sheet 6 to match this stipulation.

Motion by: _____ Second: _____ Carried/Failed: _____

"A"



PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: 22 June 2018 Tax Map # 101 Lot # 14/15/16

Name of Project: Reeds Ferry Small Buildings

Zoning District: _____ General SP# 09-18
(For Town Use) (For Town Use)

ZBA Action: Variance (light manufacturing use); Special Exception (Wetlands Conservation District)

PROPERTY OWNER:

DEVELOPER:

Name: SMT Tracey Lane Holdings, LLC (Lots 15-16) Reeds Ferry Small Buildings Inc.
SMT 7 Tracey Lane LLC (Lot 14)

Address: 3 Tracy Lane, Hudson NH 03051 3 Tracy Lane, Hudson NH 03051

Address: _____

Telephone # 603-883-1362 603-883-1362

Fax # _____

Email: lblanchette@reedsferry.com lblanchette@reedsferry.com

PROJECT ENGINEER

SURVEYOR

Name: TFMoran Inc.- Jason Hill TFMoran Inc.- James Oneil

Address: 48 Constitution Drive 48 Constitution Drive

Address: Bedford NH 03110 Bedford NH 03110

Telephone # 603-472-4488 603-472-4488

Fax # _____

Email: jhill@tfmoran.com _____

PURPOSE OF PLAN:

Construct 18 truck parking spaces at Lot 14 (work to occur on Londonderry portion of property); Construct 8 employee parking spaces at Lot 14 (portion of work to occur on Londonderry portion of property); Construct internal connector driveways to connect parcels 14-16 (work to occur on Londonderry portion of property); Convert portion of parking lot to covered storage area at Lot 15 (work to occur on Londonderry portion of property); Construct previously approved 2000 SF building addition at Lot 15 (work to occur on Londonderry portion of property).

| | |
|--|------------------------------|
| <i>For Town Use</i> | |
| Plan Routing Date: <u>10/26/18</u> | Sub/Site Date: <u>8/8/18</u> |
| _____ I have no comments _____ I have comments (attach to form) | |
| _____ Title: _____ | Date: _____ |
| (Initials) | |
| DEPT: | |
| _____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning | |
| _____ Consultant _____ Highway Department | |
| Fees Paid: <u>\$3426.00</u> | |

SITE DATA SHEET

PLAN NAME: Reeds Ferry Small Buildings

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 101 LOT 14/15/16

DATE: June 22, 2018

Location by Street 3, 5, 7 Tracy Lane

Zoning: Business District

Proposed Land Use: Light Manufacturing/ fabrication

Existing Use: Light Manufacturing (#3/ #7); Gymnasium (#5)

Surrounding Land Use(s): Business / light industrial

Number of Lots Occupied: 3

Existing Area Covered by Building: 9,000 SF (approx) (lot 14)

Existing Buildings to be removed: None

Proposed Area Covered by Building: 9,000 SF (approx) (lot 14)

Open Space Proposed: >40%

Open Space Required: 40%

Total Area: S.F.: 93,792 Lot 14 Acres: 2.15 Lot 14
4,384 Lot 15 0.10 Lot 15
38,722 Lot 16 0.889 Lot 16

Area in Wetland: 0 Area Steep Slopes: 0

Required Lot Size: 43,560 sf

Existing Frontage: >150 ft

Required Frontage: 150 ft

| Building Setbacks: | <u>Required*</u> | <u>Proposed</u> |
|--------------------|------------------|-------------------|
| Front: | <u>50 ft</u> | <u>> 50 ft</u> |
| Side: | <u>15 ft</u> | <u>> 15 ft</u> |
| Rear: | <u>15 ft</u> | <u>> 15 ft</u> |

**SITE PLAN DATA SHEET
(Continued)**

Flood Zone Reference: ZONE X

Width of Driveways: Existing : approx 22-25 feet.

Number of Curb Cuts: Lot 14: 2 existing/ Lot 15: 1 existing/ Lot 16: 2-existing






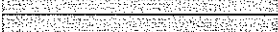


Proposed Parking Spaces: Lot 14: 24 / Lot 15: 41/ Lot 16: 21

Required Parking Spaces: Lot 14: 15 / Lot 15: 20/ Lot 16: 20

Basis of Required Parking (Use): Industrial 1 space/ 600 SF

Dates/Case #/Description/Stipulations
of ZBA, Conservation Commission,
NH Wetlands Board Actions: ZBA Variance for use "Fabrication/ light manufacturing" on Lot 14
(Attach stipulations on separate sheet) ZBA Special Exception for Impacts to Wetlands Conservation District

Hudson Town Code

| <u>Waivers Requested:</u> | <u>Reference</u> | <u>Regulation Description</u> |
|---|------------------|-------------------------------|
|  | 1. _____ | _____ |
|  | 2. _____ | _____ |
|  | 3. _____ | _____ |
|  | 4. _____ | _____ |
|  | 5. _____ | _____ |
|  | 6. _____ | _____ |
|  | 7. _____ | _____ |
|  | 8. _____ | _____ |

(Left column for Town Use)

Impact Fees:
C.A.P Fee: _____

Development Agreement
Proposed: _____

| | |
|------------------------------|-------------|
| <i>For Town Use</i> | |
| Data Sheet Checked By: _____ | Date: _____ |

Photo 1: View of existing storage yard at 7 Tracy Lane.

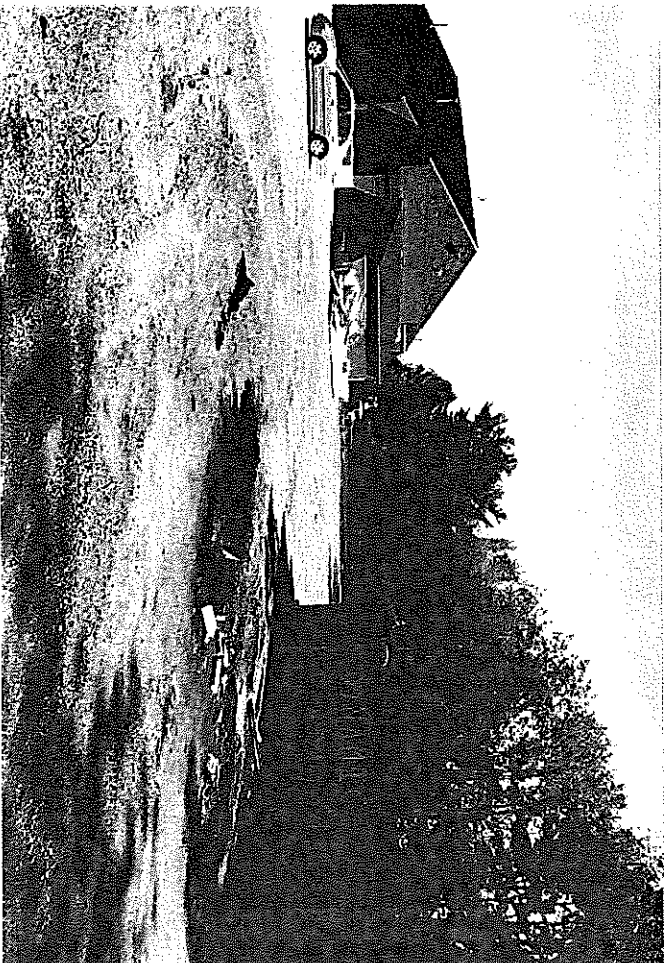


Photo 2: View of 7 Tracy Lane from Tracy Lane.

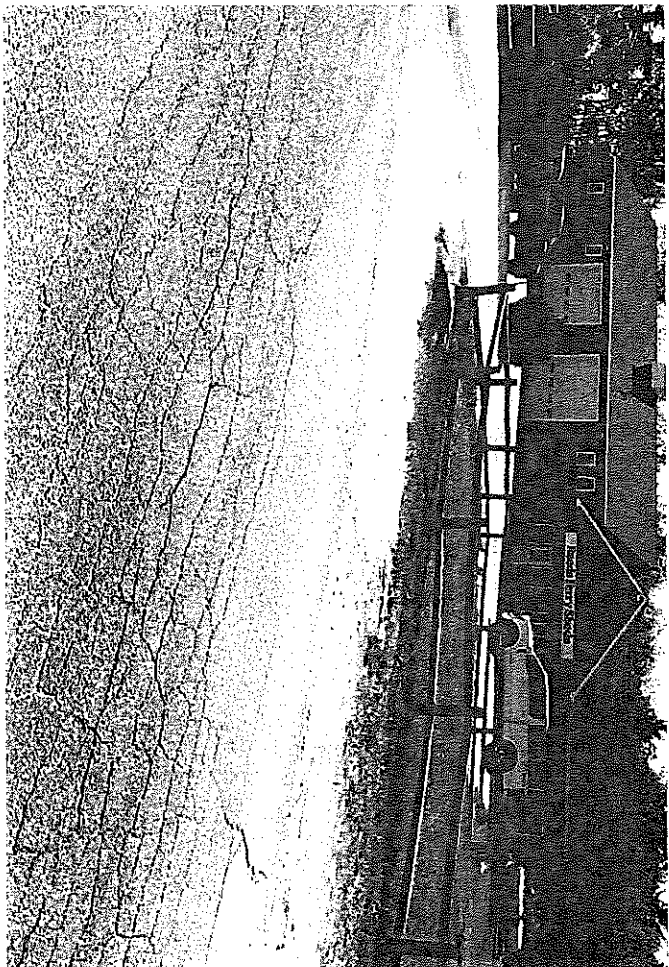


Photo 3: View of site of bio retention area at 7 Tracy Lane.

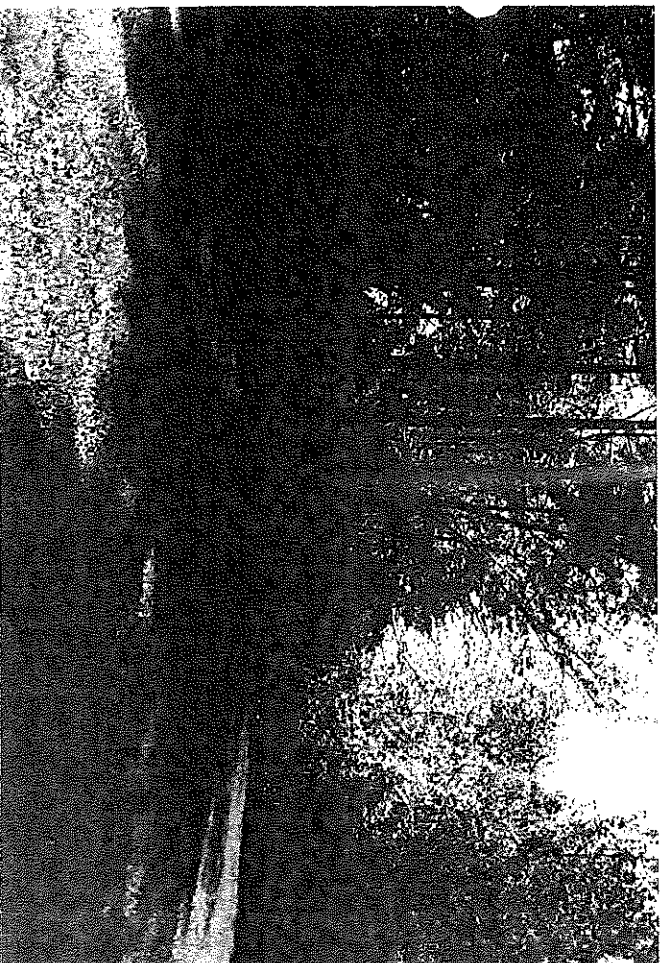


Photo 4: View of garage bays at 7 Tracy Lane.

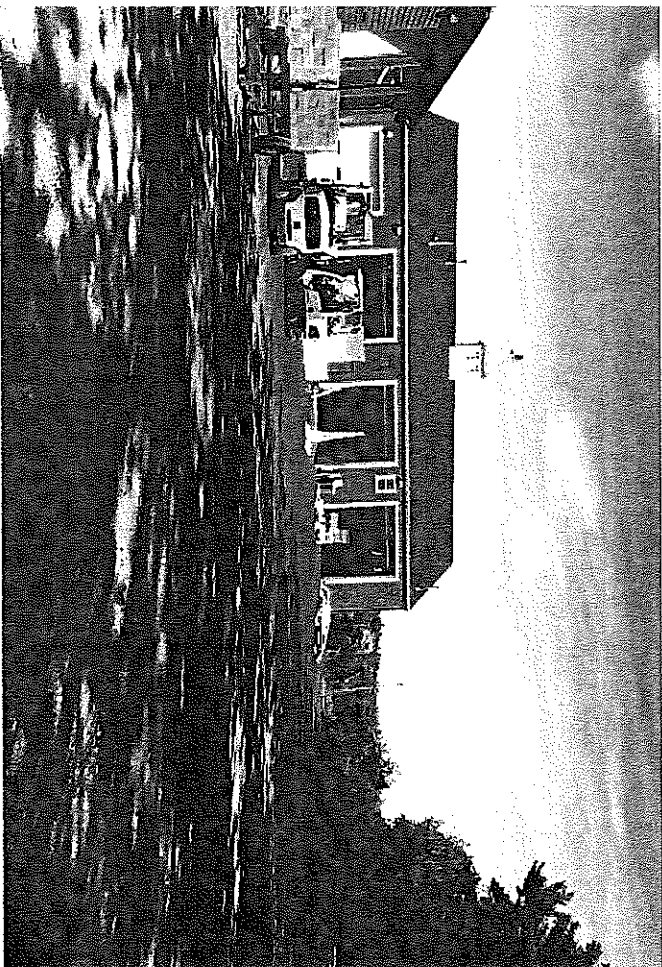


Photo 5: View of existing storage rack at 3 Tracy Lane.

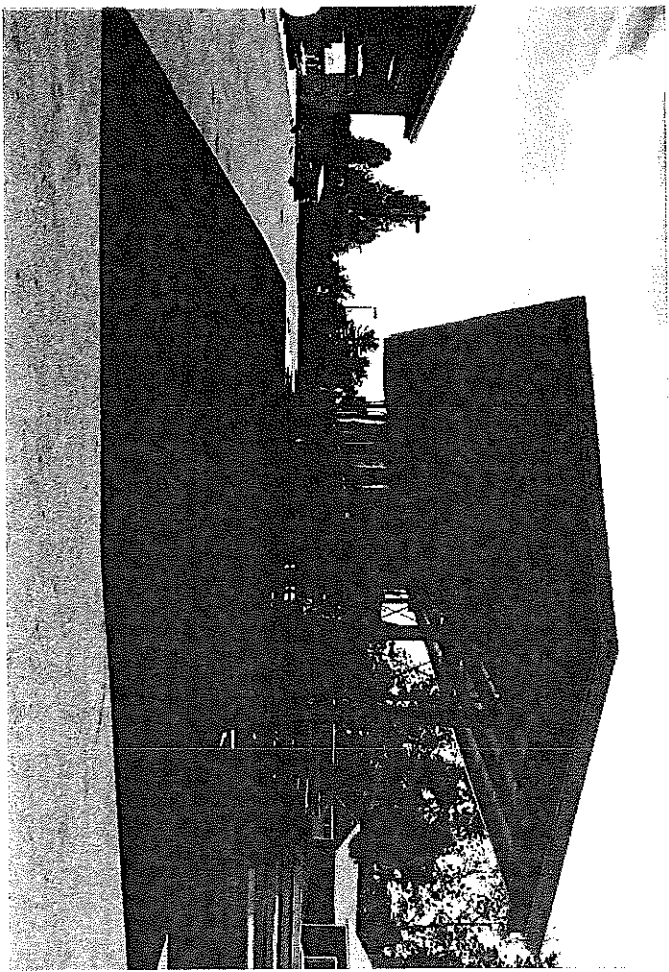


Photo 6: View of proposed storage rack site at 5 Tracy Lane.

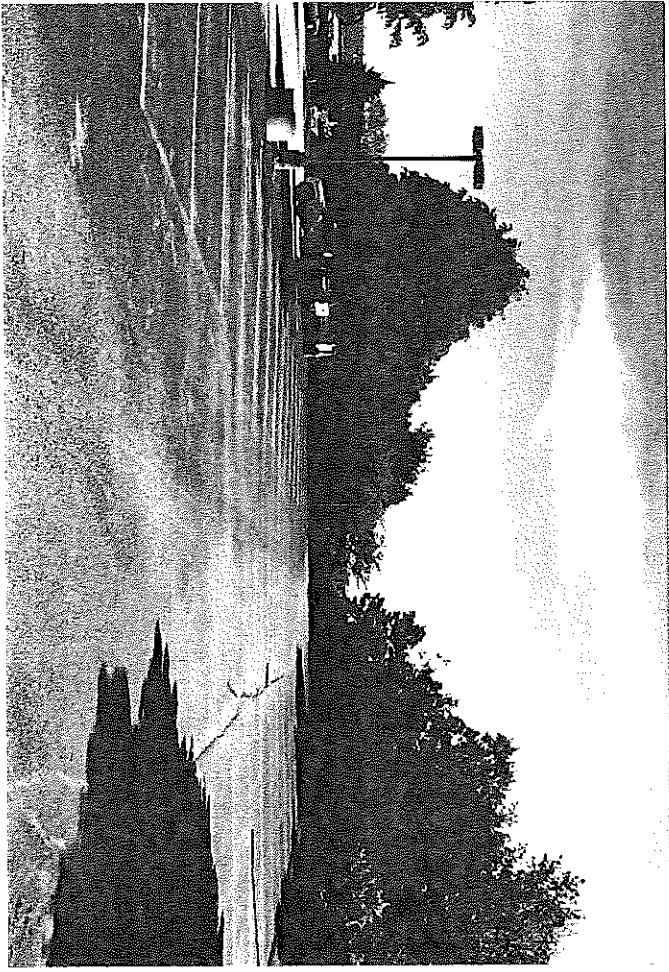


Photo 7: View of existing display area at 3 Tracy Lane.

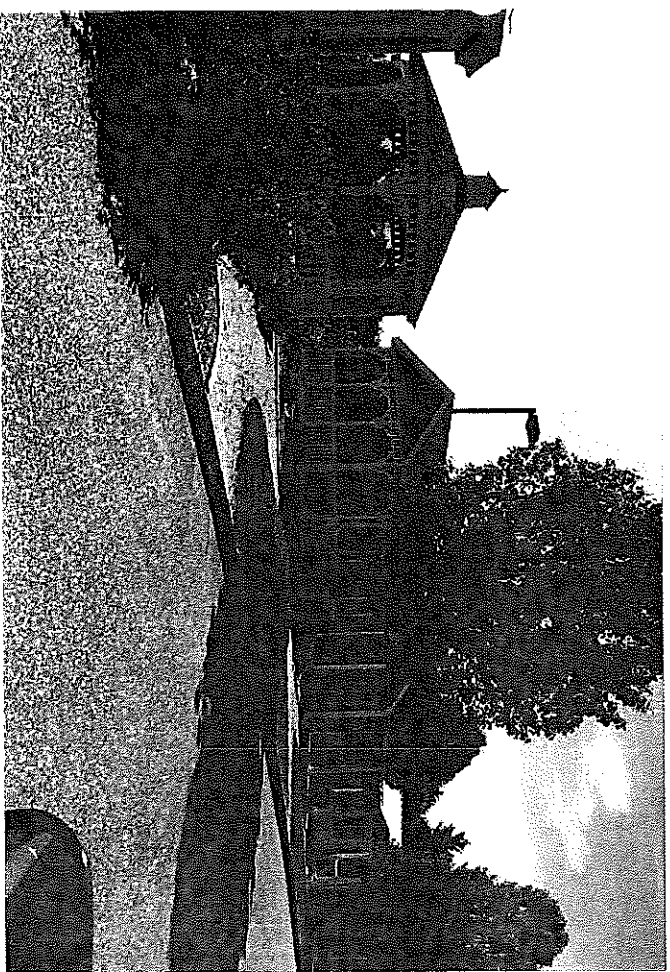
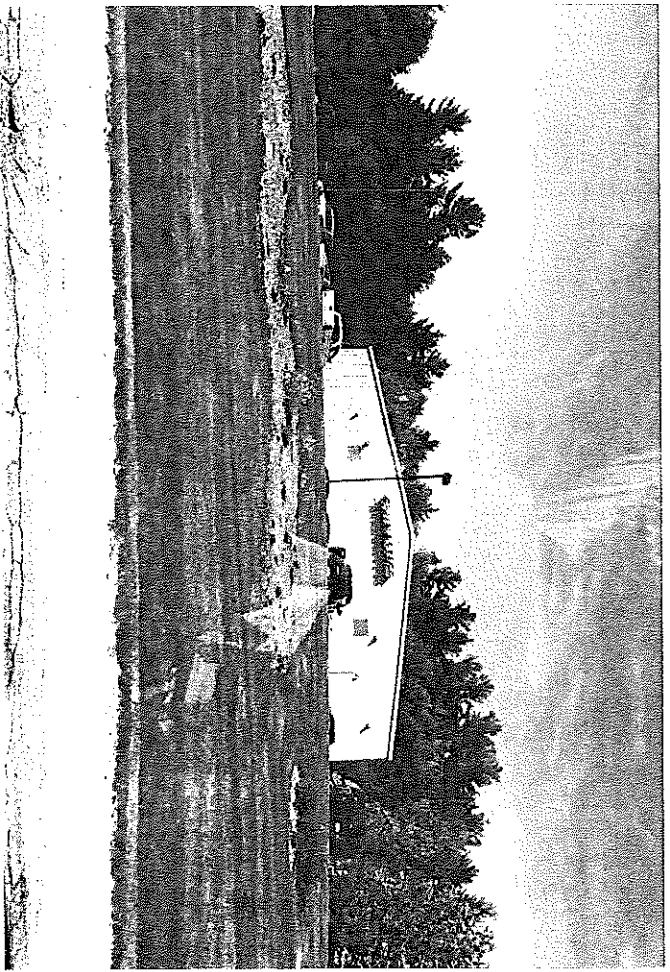


Photo 8: View of 5 Tracy Lane from Tracy Lane.





Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

June 21, 2018

George Thebarge
Planning Department
Town of Hudson NH
12 School Street
Hudson NH 03051

Re: Reeds Ferry Small Buildings Development
Proposed Site Plans Narrative
Tax Map 101 Lots 14, 15, and 17; Tracy Lane, Hudson, NH
Tax Map 2 Lots 34, 34-4 and 34-5 Londonderry, NH

Dear Mr. Thebarge:

On behalf of our client, Reeds Ferry Sheds, TFMoran is submitting an application for Site Plan review associated with plans for Tax Map Tax Map 101 Lots 14, 15, and 17; and generally located at 3, 5, and 7 Tracy Lane in Londonderry and Hudson. Because the properties are bisected by the Hudson/Londonderry town line, portions of the subject development include adjacent properties in Londonderry. The applicant is filing a Site Plan application with the Londonderry Planning Board concurrently with this application to the Hudson Planning Board.

Reeds Ferry Sheds currently manufactures wooden sheds at 3 Tracy Lane. That facility is currently at production capacity and must either move all operations to an entirely new location or provide additional production capacity nearby. In March 2018 the Hudson Zoning Board granted a variance to allow the truss cutting operation to be moved to the 7 Tracy Lane property (Lot 14 & Lot 34-5). By moving truss assembly and plywood cutting to the 7 Tracy Lane property, the 3 Tracy Lane facility could increase its output, and allow Reeds Ferry Sheds to employ 6-8 additional employees.

To further increase its production capacity and maximize storage and operational functionality, the former New England Gymnastics Training Center site at 5 Tracy Lane (Lot 15 & Lot 34-4) was purchased recently. As such, improvements will be made to the site to accommodate the change in use. These improvements include construction of a formerly approved 2,000 SF building addition at the front of the building. Additionally, a portion of the parking lot will be converted to a covered storage rack for building materials, similar to the one on the 3 Tracy Lane property. All of the proposed improvements to this property are located in the Londonderry portion of the site.

Additionally, 18 truck parking spaces will be constructed at 7 Tracy Lane on Lot 34-5 on the Londonderry portion of the property. Eight new employee parking spaces will also be constructed here, with a portion of these new spaces being located on the Londonderry portion of the property. A variance is required from the Hudson ZBA to pave a portion of the existing gravel driveway within the Wetlands Conservation Overlay District.

48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com

The three parcels will be internally connected via two new service drives on the Londonderry portion of the property.

Outdoor display areas will be created along the frontages of 5 and 7 Tracy (Lot 15 / 34-4 and Lot 14/ 34-5). These improvements are located within the Hudson portion of property only. The displays will showcase shed inventory similar to the current display at 3 Tracy Lane.

All of the properties are currently served by private on-site septic and water wells. The sewer/water consumption will be domestic use only; there will be no process water used at the facility.

Traffic Impacts

The project will not increase the volume of truck traffic serving the sites. In fact, a reduction in truck traffic along Tracy Lane is anticipated due to the interconnectivity of the parcels. The delivery vehicles can travel on the private driveway system to access the three parcels which will have a positive affect on the traffic operations.

The traffic patterns at the site will be similar to the traffic patterns of the previous facility, that is, a relatively low volume of cars and trucks to and from the site on a daily basis. All employees will be first shift.

There is a decrease in traffic associated with the change in use of the 5 Tracy Lane property from gymnastics center to light manufacturing.

Parking Impacts

After completion of the project, the following operations are anticipated on the individual properties:

3 Tracy – 13 office workers, 14 shop workers. Minimal customer visits on weekends. There is no proposed change to the parking at this property.

5 Tracy – 3-5 office workers, 10-12 shop workers. We don't anticipate having any customers going to that location, except maybe as overflow during our spring sale for a few weeks in March. 5 Tracy (Lot 34-4) contains an existing parking field capable of providing 87 spaces. The storage rack system will eliminate 32spaces. Additionally, the conversion of a portion of the front parking to display area will eliminate 14 spaces. As such, remaining parking capacity is 41 spaces. The parking requirement under Hudson Land Development Control Regulations for land use "Manufacturing" is 20 spaces which will be adequate for the proposed use.

7 Tracy – 3 employees at beginning and end of day only. They will be service employees who are on the road daily but start and end their day at this location. 7 Tracey (Lot 34-5) contains an existing parking field capable of providing 28 standard parking spaces. Additionally, 12 new spaces will be constructed on the lot. The parking requirement under L Hudson Land Development Control Regulations for land use "Manufacturing" is 14 spaces, which will be adequate for the proposed use.

Drainage

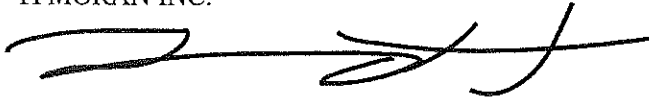
To accommodate the additional paving at 5 Tracy, modifications to the existing stormwater pond will be constructed including a new sediment forebay and permanent pool area within the footprint of the existing pond. New catch basin will be installed to control runoff from the driveway. The structure will contain an oil/gas trapping tee which will contain these substances.

Similarly, at 7 Tracy, a new bio-retention area will be constructed to provide treatment of the Water Quality Volume and to attenuate peak development flow. A Special Exception from the Hudson ZBA is

required to impact a portion of the Wetlands Conservation Overlay District to construct the bio-retention area.

Attached is a completed Site Plan Application and supporting documents. We trust this information and the enclosed conditions plans will be adequate for your consideration of our request, and we look forward to meeting with the Board to review this proposal in detail.

Sincerely,
TFMORAN INC.

A handwritten signature in black ink, appearing to read 'J. Hill', written over a horizontal line.

Jason S. Hill, PE
Civil Project Manager

Enclosures

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: Reeds Ferry Small Buildings

Street Address: 3, 5, 7 Tracy Lane

I Jason Hill, PE hereby request that the Planning Board waive the requirements of item HR 276-11.1.B(12) / 50 ft front setback of the Subdivision/Site Plan Checklist in reference to a plan presented by TF Moran (name of surveyor and engineer) dated June 22, 2018 for property tax map(s) 101 and lot(s) 14 in the Town of Hudson, NH.

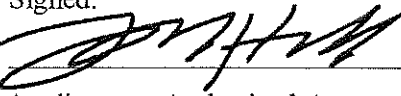
As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The existing topography of the property results in a moderate slope of the land to the east and north of the buidings on Lot 14. The topography is gentle along the frontage within the building setback. Moving the display area from the front to the east and north will result in greater disturbance to the site resulting from the earthwork required to level the area. For these reasons, the business owners would face a financial and operational hardship by denial of the waiver, because of the additional site work costs to prepare the area.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

Similar to the display area at 3 Tracy Lane, the proposed display area will be attractively landscaped with plantings and decorative walls to transition the grading throughout the display area. Allowing the sheds to be in the front building setback will allow the applicant to optimize the layout of the property to provide connectivity of the adjacent display areas located in the the front building setback zone of the Londonderry properties. As such, granting the waiver will not be contrary to the intent of the ordinance. Additionally, the Zoning Ordinance is at odds with this regulation - as it permits the display area to within 15 feet of the ROW.

Signed: 
Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: Reeds Ferry Small Buildings

Street Address: 3, 5, 7 Tracy Lane

I Jason Hill, PE hereby request that the Planning Board waive the requirements of item HR 276-11.1.B(12) / 35 ft green area of the Subdivision/Site Plan Checklist in reference to a plan presented by TFMoran (name of surveyor and engineer) dated June 22, 2018 for property tax map(s) 101 and lot(s) 14 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

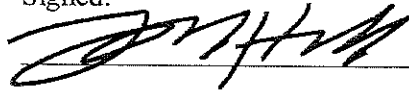
Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The existing topography of the property results in a moderate slope of the land to the east and north of the buidings on Lot 14. The topography is gentle along the frontage within the 35 ft green frontage area. Moving the display area from the front to the east and north will result in greater disturbance to the site resulting from the earthwork required to level the area. For these reasons, the business owners would face a financial and operational hardship by denial of the waiver, because of the additional site work costs to prepare the area.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

Similar to the display area at 3 Tracy Lane, the proposed display area will be attractively landscaped with plantings and decorative walls to transition the grading throughout the display area. Allowing the sheds to be in the 35ft green frontage area will allow the applicant to optimize the layout of the property to provide connectivity of the adjacent display areas located in the the front building setback zone of the Londonderry properties. Additionally, trees and shrubs will be planted along the frontage to supplement the existing vegetation. As such, granting the waiver will not be contrary to the intent of the ordinance. Additionally, the Zoning Ordinance is at odds with this regulation - as it permits the display area to within 15 feet of the ROW.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

48 Constitution Drive
 Bedford, NH 03110
 Tel: (603) 472-4488
 Fax: (603) 472-9747

LETTER OF TRANSMITTAL



Standard Mail 2nd Day Overnight Overnight Priority Hand Carry To Be Picked Up

TO: Hudson Planning/Land Use Division
Hudson Town Hall
12 School Street
Hudson, NH 03051

| | | | |
|-----------|-----------------------------|---------|----------|
| DATE | 7/12/18 | JOB NO. | 17851.04 |
| ATTENTION | Brooke Dubowik | | |
| RE: | Reeds Ferry Small Buildings | | |
| | Site Plans | | |
| | 3, 5 & 7 Tracy Lane | | |
| | | | |
| | | | |

PHONE:

WE ARE SENDING YOU Attached Under separate cover via _____ the following items:
 Shop drawings Prints Plans Samples Specifications
 Copy of letter Change order As noted

| COPIES | DATE | NO. | DESCRIPTION |
|--------|------|-----|-----------------------------|
| | | | (10) copy of waiver request |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

THESE ARE TRANSMITTED as checked below:

- For approval Approved as submitted Resubmit _____ copies for approval
- For your use Approved as noted Submit _____ copies for distribution
- As requested Returned for corrections Return _____ corrected prints
- For review and comment
- FOR BIDS DUE _____ 20 ____ PRINTS RETURNED AFTER LOAN TO US

REMARKS: _____

COPY: Reeds Ferry Small Buildings
File

SIGNED: Jason Hill, PE

If enclosures are not as noted, kindly notify us at once.

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: Reeds Ferry Small Buildings

Street Address: 3, 5, 7 Tracy Lane

I Jason Hill, PE hereby request that the Planning Board waive the requirements of item 275-8(7)(a) Interior Landscaping of the Subdivision/Site Plan Checklist in reference to a plan presented by TFMoran (name of surveyor and engineer) dated June 22, 2018 for property tax map(s) 101 and lot(s) 14 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The 52 foot trailers require an open area of approximately 120 feet diameter in order to make a complete turn to access the parking spaces. As such, the implementation of islands will interfere with the turning movements required to access the spaces. For these reasons, the business owners would face an operational hardship by denial of the waiver.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

At 7 Tracy Lane, on M101 L14, the new truck parking area needs to be open to provide necessary maneuvering for the tractor trailer truck parking. As such a waiver to the required interior parking landscaping Section 275-8.(7)(a) is required. Instead, the required interior landscaping has been provided as perimeter plantings to supplement the overall landscaping program.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: Reeds Ferry Small Buildings

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Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The 52 foot trailers require an open area of approximately 120 feet diameter in order to make a complete turn to access the parking spaces. As such, the implementation of islands will interfere with the turning movements required to access the spaces. For these reasons, the business owners would face an operational hardship by denial of the waiver.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

At 7 Tracy Lane, on M101 L14, the new truck parking area needs to be open to provide necessary maneuvering for the tractor trailer truck parking. As such a waiver to the required interior parking landscaping Section 275-8.(7)(a) is required. Instead, the required interior landscaping has been provided as perimeter plantings to supplement the overall landscaping program.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

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Town of Hudson, New Hampshire

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Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The 52 foot trailers require an open area of approximately 120 feet diameter in order to make a complete turn to access the parking spaces. As such, the implementation of islands will interfere with the turning movements required to access the spaces. For these reasons, the business owners would face an operational hardship by denial of the waiver.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

At 7 Tracy Lane, on M101 L14, the new truck parking area needs to be open to provide necessary maneuvering for the tractor trailer truck parking. As such a waiver to the required interior parking landscaping Section 275-8.(7)(a) is required. Instead, the required interior landscaping has been provided as perimeter plantings to supplement the overall landscaping program.

Signed:



Applicant or Authorized Agent

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Waiver Granted _____

Waiver Not Granted _____

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Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: Reeds Ferry Small Buildings

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Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The 52 foot trailers require an open area of approximately 120 feet diameter in order to make a complete turn to access the parking spaces. As such, the implementation of islands will interfere with the turning movements required to access the spaces. For these reasons, the business owners would face an operational hardship by denial of the waiver.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

At 7 Tracy Lane, on M101 L14, the new truck parking area needs to be open to provide necessary maneuvering for the tractor trailer truck parking. As such a waiver to the required interior parking landscaping Section 275-8.(7)(a) is required. Instead, the required interior landscaping has been provided as perimeter plantings to supplement the overall landscaping program.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

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Town of Hudson, New Hampshire

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Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The 52 foot trailers require an open area of approximately 120 feet diameter in order to make a complete turn to access the parking spaces. As such, the implementation of islands will interfere with the turning movements required to access the spaces. For these reasons, the business owners would face an operational hardship by denial of the waiver.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

At 7 Tracy Lane, on M101 L14, the new truck parking area needs to be open to provide necessary maneuvering for the tractor trailer truck parking. As such a waiver to the required interior parking landscaping Section 275-8.(7)(a) is required. Instead, the required interior landscaping has been provided as perimeter plantings to supplement the overall landscaping program.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

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Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The 52 foot trailers require an open area of approximately 120 feet diameter in order to make a complete turn to access the parking spaces. As such, the implementation of islands will interfere with the turning movements required to access the spaces. For these reasons, the business owners would face an operational hardship by denial of the waiver.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

At 7 Tracy Lane, on M101 L14, the new truck parking area needs to be open to provide necessary maneuvering for the tractor trailer truck parking. As such a waiver to the required interior parking landscaping Section 275-8.(7)(a) is required. Instead, the required interior landscaping has been provided as perimeter plantings to supplement the overall landscaping program.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

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Street Address: 3, 5, 7 Tracy Lane

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As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The 52 foot trailers require an open area of approximately 120 feet diameter in order to make a complete turn to access the parking spaces. As such, the implementation of islands will interfere with the turning movements required to access the spaces. For these reasons, the business owners would face an operational hardship by denial of the waiver.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

At 7 Tracy Lane, on M101 L14, the new truck parking area needs to be open to provide necessary maneuvering for the tractor trailer truck parking. As such a waiver to the required interior parking landscaping Section 275-8.(7)(a) is required. Instead, the required interior landscaping has been provided as perimeter plantings to supplement the overall landscaping program.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

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As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The 52 foot trailers require an open area of approximately 120 feet diameter in order to make a complete turn to access the parking spaces. As such, the implementation of islands will interfere with the turning movements required to access the spaces. For these reasons, the business owners would face an operational hardship by denial of the waiver.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

At 7 Tracy Lane, on M101 L14, the new truck parking area needs to be open to provide necessary maneuvering for the tractor trailer truck parking. As such a waiver to the required interior parking landscaping Section 275-8.(7)(a) is required. Instead, the required interior landscaping has been provided as perimeter plantings to supplement the overall landscaping program.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

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As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The 52 foot trailers require an open area of approximately 120 feet diameter in order to make a complete turn to access the parking spaces. As such, the implementation of islands will interfere with the turning movements required to access the spaces. For these reasons, the business owners would face an operational hardship by denial of the waiver.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

At 7 Tracy Lane, on M101 L14, the new truck parking area needs to be open to provide necessary maneuvering for the tractor trailer truck parking. As such a waiver to the required interior parking landscaping Section 275-8.(7)(a) is required. Instead, the required interior landscaping has been provided as perimeter plantings to supplement the overall landscaping program.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: Reeds Ferry Small Buildings

Street Address: 3, 5, 7 Tracy Lane

I Jason Hill, PE hereby request that the Planning Board waive the requirements of item 275-8(7)(a) Interior Landscaping of the Subdivision/Site Plan Checklist in reference to a plan presented by TFMoran (name of surveyor and engineer) dated June 22, 2018 for property tax map(s) 101 and lot(s) 14 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The 52 foot trailers require an open area of approximately 120 feet diameter in order to make a complete turn to access the parking spaces. As such, the implementation of islands will interfere with the turning movements required to access the spaces. For these reasons, the business owners would face an operational hardship by denial of the waiver.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

At 7 Tracy Lane, on M101 L14, the new truck parking area needs to be open to provide necessary maneuvering for the tractor trailer truck parking. As such a waiver to the required interior parking landscaping Section 275-8.(7)(a) is required. Instead, the required interior landscaping has been provided as perimeter plantings to supplement the overall landscaping program.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

"B"



TOWN OF HUDSON

Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

Zoning Determination #18-28

February 28, 2018

Laurie Blanchette
Reeds Ferry Sheds
3 Tracy Lane
Hudson, NH 03051

Re: 7 Tracy Lane Map 101 Lot 014-000
District: Business (B)

Dear Ms. Blanchette,

Your request for zoning review and determination if you can use this property as fabrication & assembly of wood trusses as additional uses to a prior Zoning Determination (#17-06). The prior Zoning Determination (#17-06) was for office space, inventory storage and parking of employee and company vehicles.

Zoning review / Determination:

Our records indicate the existing (prior) entity as a service garage (D-10) use with an office area as an accessory use in the Table of Permitted Uses.

Your proposed use as fabrication of wood trusses ("Manufacturing" E-6) is not a permitted use within the Table of Permitted Uses §334-21 in the B zoning district and would require a variance from the Zoning Board of Adjustment (ZBA).

You would also need an amended site plan approval from the Planning Board, due to this change of classification from Service Garage (D-10) to Manufacturing (E-6) per §334-16.1.

Sincerely,

NOTE: this determination may be appealed to the Hudson Zoning Board of Adjustment within 30 days of the receipt of this letter.



Bruce Buttrick, MCP
Zoning Administrator/Code Enforcement Officer
(603) 816-1275
bbuttrick@hudsonnh.gov

encl: #17-06 Zoning Determination

cc: Zoning Board of Adjustment
J. Michaud, Town Assessor
G. Thebarger, Land Use Dir
Selectmen M. McGrath & D. Morin
File

NOTE: this determination may be appealed to the Hudson Zoning Board of Adjustment within 30 days of the receipt of this letter.

Camela D. Coughlin

A43

Hudson Town Hall
Hudson Zoning Board
12 School Street
Hudson, NH 03051

| | |
|------------|-------|
| FEES: | 14.47 |
| SURCHARGE: | 2.5 |
| CASH: | — |

Town of Hudson

Zoning Board of Adjustment

Decision to Grant a Variance

On **3/22/18**, the members of the Hudson Zoning Board of Adjustment, as part of its regular public meeting for that date, heard **Case 101-014**, pertaining to a request by **SMT 7 Tracy Lane, LLC, 3 Tracy Lane, Hudson, NH, requests a Variance to allow the fabrication of wood trusses and cutting of plywood, defined as manufacturing, which is not a permitted use in the Business zoning district.** [Map 101, Lot 014, Zoned B; HZO Article V, Section 334-21, Table of Permitted Principal Uses.]

Following review of the testimony and deliberation, a majority of the members of this Zoning Board voted that the variance should be granted for the following reasons:

1. Granting of the Variance is not contrary to the public interest as the property is located in a business area which conducts similar activities to that which was requested. There was no abutter input provided.
2. The proposed use will not alter the essential character of the neighborhood and the activity will not threaten public health, safety or welfare or otherwise injure public rights as the area is designated as a "B" zone yet there is lite industrial uses in the area

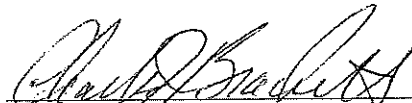
3. The benefits to the property owner are not outweighed by harm to the general public; there is no harm being done to the general public as the business activities will be conducted inside the structure in an area of similar business(es) and activity
4. The proposed use will not diminish property values; improvements in the area and the increased business activity could potentially increase property values
5. Special conditions exist on the property in that the area is being used as an industrial park with similar manufacturing uses being conducted in the area. It would not be reasonable to deny the applicant this request while allowing the previous owner to use the property for manufacturing and similar uses to currently exist.

For details of specific discussion relative to this decision, please consult the public minutes recorded during this hearing.

All representations of fact or intention, made by the applicant or any applicant's representative(s) during testimony before the Zoning Board of Adjustment relative to the obtaining of this Variance permit shall be considered conditions of the Variance, regardless of the fact that such facts or intentions may not have been specifically stated as stipulations of the motion to grant.

In the event that the requested use subsequently is found by the Hudson Zoning Administrator to demonstrate deliberate or preventable lack of compliance with any applicable stipulation or restriction, including the verbally specified restrictions described in the preceding paragraph, such use shall be held to be in violation of the covenant made with the Board, and corrective action(s) will be enforced under N.H. R.S.A. 676:17, Fines and Penalties, which allows a civil penalty of \$275 for the first offense and \$550 for subsequent offenses for each day that such violation is found to continue, as well as recovery of costs and reasonable attorney's fees.

Signed:

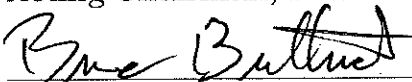


Charles Brackett

Acting Chairman, Hudson Zoning Board of Adjustment

Date: 3/29/18

Signed:



Bruce Buttrick

Zoning Administrator

Date: 3-29-18

"C"



TOWN OF HUDSON

Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

Zoning Determination #18-81

June 13, 2018

SMT Tracey Lane Holdings LLC
3 Industrial Drive
Hudson, NH 03051

Att: Jason Hill

Re: 7 Tracy Lane Map 101 Lot 014-000
District: Business (B)

Dear Mr Hill,

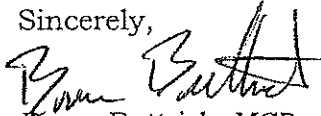
Your request for zoning review and determination as to what action is required from the ZBA for impacting wetland buffer areas on this property.

Zoning review / Determination:

- 1) The construction activity for a proposed paved area from an existing gravel area is prohibited per §334-35C: *"All construction activity is expressly prohibited in wetlands and in wetland Conservation District, unless the proposed use meets the criteria for a special exception and such permit has been issued."* Therefore you would need a Variance to this prohibition.
- 2) The proposed stormwater treatment pond and associated grading for such, is a use allowed by a "wetlands special exception" application from the Zoning Board of Adjustment per §334-35B(2)(a), (b) & (d). This exception is considered upon review by the Conservation Commission and the Planning Board for input. The Zoning Board of Adjustment shall conduct a review and findings of fact.

NOTE: this determination may be appealed to the Hudson Zoning Board of Adjustment within 30 days of the receipt of this letter.

Sincerely,



Bruce Buttrick, MCP

Zoning Administrator / Code Enforcement Officer

(603) 816-1275

bbuttrick@hudsonnh.gov

cc: Zoning Board of Adjustment
J. Michaud, Town Assessor
G. Theborge, Interim Town Planner
Selectmen N. Martin & D. Morin
File

NOTE: this determination may be appealed to the Hudson Zoning Board of Adjustment within 30 days of the receipt of this letter.

"D"

Dhima, Elvis

From: Dhima, Elvis
Sent: Thursday, June 28, 2018 1:57 PM
To: Thebarga, George
Cc: Dubowik, Brooke
Subject: 3 Tracy Lane - Reeds Ferry Site- Technical Review

George

I have two comments

1. The plans indicate drainage structure on the Londonderry side but are absent on the Hudson portion of the project. Currently in case of an oil spill or hydraulic fluid on the parking area there are no means to catch or separate the water from the oil, which will end up on the treatment swale which is located within 50 feet wetland buffer.
The applicant shall propose a catch basin or a shallow concrete chamber with a mechanical separator to prevent any accidental discharge to the treatment swale or detention basin.
2. Applicant shall state if they meet the new MS4 rules and regulations

Thank you

E

Elvis Dhima, P.E.
Town Engineer

Town of Hudson, NH
12 School Street
Hudson, NH 03051
Phone: (603) 886-6008
Mobile: (603) 318-8286





Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

"E"



July 23, 2018

Ref: 17851.04

Ms. Brooke Dubowik
Planning Department
Town of Hudson
12 School Street
Hudson NH 03051

Re: Response to Fuss & O'Neill letter dated July 17, 2018
Reeds Ferry Small Buildings Permit Application
Hudson & Londonderry, New Hampshire

Ms. Dubowik,

On behalf of our client, Reeds Ferry Small Buildings Inc, TFM is pleased to provide the enclosed revised plans for the proposed improvements associated with its Site Plan located at 3, 5, and 7 Tracy Lane. These plans have been revised based on comments from Fuss & O'Neill dated July 17, 2018.

We have provided responses to each of the comments from this letter relative to the Site Plans.

- 1a. We have revised the parking note to indicate 19 proposed spaces.
- 1b. Any retail component to the proposed project will be incidental, as the proposed parking demand has been calculated identically to the previously approved site plans for the 3 Tracy Lane site. Additionally, the shed displays occupy more space than traditional retail uses, so the anticipated parking demand for these areas under a retail use would be excessive. For these reasons, we have not included any retail uses in the parking calculations.
- 1c. We have revised the width of the proposed parking spaces on Lot 14 to 10 feet.
- 1d. We have updated the drawing to provide a loading area (UPS deliveries) on Lot 14. The large- central portion of the site will serve as a loading area for material deliveries. Based on the specific material, the loading could occur in various locations. As such, we have not identified a specific loading zone for the material deliveries.
- 1e. We have updated the note to indicate 1 proposed handicapped parking space on Lot 14. We have also updated the plan to indicate the existing spot grades along the accessible route.
- 1f. We have updated the drawing with a note indicating that the project complies with ADA guidelines for accessibility.
- 1g. We have included a copy of the subject easement.
- 1h. We have updated the drawings to locate the Hudson Planning Board approval block to the lower left-hand corner of each sheet.
- 1i. We have added the Owner Signature Block to the Site Plans.
- 1j. We have updated the locus plan to be at 1"=1000' scale.

Brooke Dubowik

Ref:17851.04

Page 2

- 1k. We have enclosed a waiver request for the proposed display area on Lot 14.
- 1l. We have added pedestrian crossing signage.
- 1m. We have updated the notes to address signage conformance to the Hudson regulations.
- 1n. We have created a Site Overall Plan to indicate all roadways, driveways, travel and parking areas within 200 feet of the site.
- 1o. We have updated the drawings to indicate the Tax Map and Lot number for the site tracts on all drawings.
- 1p. We have updated the drawings to indicate the footprint area of all existing structures.
- 1q. We have enclosed a waiver request for the proposed display area on Lot 14 to be partially located within the 35 foot green area.
- 1r. We have updated the site plans to note no pertinent offsite/ highway improvements associated with the project.

- 2a. No response required.
- 2b. We have updated the drawings to provide crosswalk detail.
- 2c. We have updated the drawings to indicate limits of sealcoating on Lot 101/14.
- 2d. No response required.

- 3a. Land use codes are based on the formerly approved calculations for Reeds Ferry at 3 Tracy Lane. Any retail component of the development is considered incidental, as such the effect of any increased retail activity is anticipated to be minimal. For these reasons, updates to the trip generation memorandum are not considered necessary.
- 3b. We have added pedestrian crossing signage to the site plans.
- 3c. No response required.

- 4a. We have updated the drawings to provide construction details for the septic tank and sewer forcemain.

- 4b. There are no record plans or as -built survey indicating the elevation of the existing leachfield. As such, the elevation of the existing leachfield is unknown. Based on the assumed elevation of the leachfield, the proposed parking lot structural section will not conflict with this system. We have updated the drawings to note the contractor to field verify the elevation of the leachfield prior to construction to avoid conflicts to the leachfield. We have also added a note indicating that the existing leachfield shall be abandoned prior to the construction of the installation of the fence posts.
- 4c. No response required.
- 4d. The owner wants to reserve the right to landscape around the vent stacks. As such, we have added a note to the detail indicating that the screening of stacks is required and owner to determine landscaping here.
- 4e. We have updated the drawings to callout the function of the valve as a domestic water service shutoff. Additionally, a callout has been added to indicate the contractor to coordinate location of fence posts and existing shutoff valve.

- 5a. We have updated the model to account for a 5 in/hr infiltration rate.
- 5b. We have updated the riprap table consistent with the calculations in the Stormwater Management Report.
- 5c. We have updated the drawings to remove the gas trap tee at Outlet Structure 1.

- 5d. We have updated the model to account for frozen ground conditions. The proposed bio retention area continues to provide peak flow attenuation to mitigate the post development runoff. Please refer to the Stormwater Management Report for additional detail.
- 5e. We will keep the Town of Hudson informed on all relevant communications with NHDES and/or Town of Londonderry regarding the drainage design.
- 5f. We have updated the model to balance the pre-and post-development analysis overall areas.
- 5g. The project meets the NHDES Alteration of Terrain requirements for volumetric increase in that the two-year post development peak flow has been reduced to 50% of the pre-development flow, demonstrating that the increased runoff volume will not adversely affect downstream properties. Additionally, we note that there are no local requirements for the reduction in volume. Flow leaving the site is routed to isolated pocket wetlands followed by flow through a closed system. These networks are well-established and as such negative impacts to these systems are not anticipated. For these reasons, the volumetric increases will not have adverse effect on downstream properties.

- 6a. No response required.
- 6b. The applicant is meeting with the Hudson ZBA on July 26 to request a variance to construct a paved driveway / parking area within the 50-foot Wetlands Conservation District.
- 6c. We have updated the drawings to include additional pedestrian crossing signage.
- 6d. No response required.

- 7a. We have updated the Stormwater Management Plan (SWMP)+ to indicate the proposed stockpile locations and relevant erosion controls.
- 7b. We have updated the SWMP to indicate the location of the equipment storage/ staging areas.
- 7c. We have added permanent snow storage areas to the Site Plan.
- 7d. We have added a note to the SWMP to indicate the right of Town of Hudson to require additional erosion controls as needed.

- 8a. We have provided the Planning Dept with the waiver request to HR 275-8.C.(7)(a) for interior landscaping.
- 8b. We have provided the Planning Dept with the waiver request to HR 275-8.C.(7)(b) for interior landscaping.
- 8c. We have updated the Lighting Plan to indicate the details related to the operation of the proposed lighting.
- 8d. We have updated the Lighting Plan to indicate the proposed lighting levels within the central portion of Lot 101/14.
- 8e. We have updated the site plans to indicate the location of all existing exterior lighting / building lighting.

- 9a. No response required.
- 9b. We have provided the Town of Hudson Planning Department with a copy of the NHDES Alteration of Terrain Permit Application.

Brooke Dubowik

Ref:17851.04

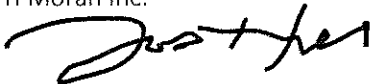
Page 4

- 9c. We will provide all relevant information regarding the design and permitting of the septic systems for 3 and 7 Tracy Lane.
- 9d. No response required.

- 10a. We have updated the details to clarify that the Concrete Slab Detail refers to the dumpster and LP Tank pads.
- 10b. We have added a legend to the Cover Sheet.
- 10c. We have added details for the display area on Lot 101/14.

We trust these response materials adequately address your concerns. Please do not hesitate to contact me at (603) 472-4488 or at jhill@tfmoran.com with any questions.

Sincerely,
TFMoran Inc.



Jason S. Hill, PE
Project Manager

Enc.

ec: Laurie Blanchette, Reeds Ferry Small Buildings Inc.
File



FUSS & O'NEILL

July 17, 2018

Ms. Brooke Dubowik
Planning Department
Town of Hudson
12 School Street
Hudson, NH 03051

Re: Town of Hudson Planning Board Review
Reeds Ferry Small Buildings Site Plan, 3, 5 & 7 Tracy Lane
Tax Map 101, Lots 14, 15 & 17; Acct. #1350-917
Fuss & O'Neill Reference No. 03-0249.1750

Dear Ms. Dubowik:

Fuss & O'Neill, Inc. has reviewed the first submission of the materials received on June 22, 2018, related to the above-referenced project. Authorization to Proceed was received on June 22, 2018. A list of items reviewed is enclosed. The scope of our review is based on the Site Plan Review Codes, Stormwater Codes, Driveway Review Codes, Sewer Use Ordinance 77, Zoning Regulations, and criteria outlined in the CLD Consulting Engineers Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007, September 3, 2008, and October 2015.

We have included a copy of Fuss & O'Neill's evaluation of the checklist for your reference. We note that several items could not be verified by Fuss & O'Neill and require action by the Town.

The project appears to consist of the development/redevelopment of a three lot site to add manufacturing capacity to the existing business. Proposed improvements to the site also include the construction of several driveways, parking areas, drainage improvements, landscaping, and other associated site improvements. The existing buildings are serviced by private septic systems and private onsite wells.

It is noted that all three subject parcels are located in both the Town of Hudson and the Town of Londonderry. Of these lots, only Lot 101/14 (#7 Tracy Lane), has any significant proposed improvements within Town of Hudson land. Lot 101/15 (#5 Tracy Lane) includes only the construction of a stone dust path and crosswalk within Town of Hudson land. No improvements are proposed within Town of Hudson land for Lot 101/17 (#3 Tracy Lane). The following review comments are for proposed site improvements within the portions of the lots that are in the Town of Hudson only. Any improvements within the Londonderry portions of the subject lots were not reviewed by Fuss & O'Neill.

540 No Commercial Street
Manchester, NH
03101

1 603.668.8223
800.286.2469
1 603.668.8802

www.fando.com

California
Connecticut
Maine
Massachusetts
New Hampshire
Rhode Island
Vermont



Ms. Brooke Dubowik
Fuss & O'Neill Reference No. 030249.1750
July 17, 2018
Page 2 of 7

The following items are noted:

1. Site Plan Review Codes and Administrative Requirements and Definitions

- a. HR 275-8.C.(2)(g) and ZO 334-15.A. The applicant has provided parking calculations for the proposed manufacturing uses within the subject lots. Parking calculations indicate that the proposed site meets the minimum number of spaces required for Lot 101/14. We note that the parking calculations show 24 proposed parking spaces; however, we were only able to locate 19 proposed spaces on the plans.
- b. HR 275-8.C.(2)(p). The applicant has proposed display areas within Lot 101/14 and existing display areas within Lot 101/17, but has not included any retail uses in the parking calculations.
- c. HR 275-8.C.(4). The proposed parking spaces do not meet the minimum 10 foot width dimension required by the Regulation.
- d. HR 275-8.C.(6) and 275-8.C.(6)(a). The applicant has not shown specific loading spaces on the plan set.
- e. HR 275-8.C.(11). The applicant has noted that there are two proposed handicapped parking spaces at Lot 101/14, but we were able to locate only one on the plans. Also, the applicant should provide spot grades or other means of verification that the proposed grading at the handicapped parking spaces conforms to all ADA Regulations.
- f. HR 275-8.C.(11). The applicant has not provided the required note indicating that the project complies with the latest ADA requirements.
- g. HR 275-9.F. and 276-11.1.B.(20). The applicant has noted an existing easement on the plan set but did not include a copy of this easement in the Site Plan Application materials received for review.
- h. HR 276-11.1.B.(4)(b). The applicant has provided an approval block that is not located in the lower left corner of each sheet of the plan set.
- i. HR 276-11.1.B.(6). The Owner's signature is not on the plan.
- j. HR 276-11.1.B.(8). The locus plan provided by the applicant does not meet the one inch equals 1,000 feet scale required by the Regulation.
- k. HR 276-11.1.B.(12). The applicant has proposed a display area within the front building setback at Lot 101/14.
- l. HR 276-11.1.B.(13). The applicant has not proposed any signs other than handicapped parking signs within the site.



Ms. Brooke Dubowik
Fuss & O'Neill Reference No. 030249.1750
July 17, 2018
Page 3 of 7

- m. HR 276-11.1.B.(13). The applicant has provided a note related to site signage but it does not match the language in the Regulation.
- n. HR 276-11.1.B.(16). The applicant has not shown all roadways, driveways, travel or parking areas within 200 feet of the tract.
- o. HR 276-11.1.B.(19). The applicant has noted Tax Map and Lot numbers for the tracts on the cover sheet. To avoid confusion it is suggested that lot number notations be added to the other plan sheets also.
- p. HR 276-11.1.B.(20). The applicant has not noted the size of the existing buildings on Lot 101/14.
- q. HR 276-11.1.B.(22). The applicant has proposed a display area within the Lot 101/14 frontage within the minimum 35 foot green area required by the Regulation.
- r. HR 276-11.1.B.(23). The applicant has not noted any pertinent highway projects on the plan set.

2. Driveway Review Codes (HR 275-8.B. (34)/Chapter 193)

- a. HR 193. The applicant has not proposed any changes to the existing driveways other than adding crosswalk striping at Lots 101/14 and 101/15, and a proposed slide gate at Lot 101/15.
- b. HR 193. The applicant should provide a detail for the proposed crosswalks.
- c. HR 193. The applicant should indicate the limits of sealcoating at Lot 101/14.
- d. HR 193.10.G. It is noted that Lot 101/14 has two existing driveways servicing the subject parcel.

3. Traffic

- a. HR 275-9.B. We have reviewed the Traffic Memorandum dated June 20, 2018 submitted by TFM with the review package that covered the site in both towns. We provide the following comments:
 - i) We do not agree with the assumption that there will be no additional retail trip generation to the site with the proposed expansion/renovation. However, we would concur that the effect of any increased retail activity should be minimal. The parking calculations also do not reflect any retail component to the site.
 - ii) We do not necessarily agree with the assumption of the Health Club land use as being equivalent to the former gymnastics facility, resulting in a significant trip reduction. However; given that there are 87 parking spaces provided on



Ms. Brooke Dubowik
Fuss & O'Neill Reference No. 030249.1750
July 17, 2018
Page 4 of 7

that lot, we would expect that the addition of the manufacturing facility on Lot 34-4 would have less traffic than the prior use, given the hours of operation on weekdays.

- iii) No discussion was provided regarding any weekend retail activity that might be generated. However, as noted above, this would likely be offset by the conversion of the gymnastics facility site, which may have had weekend events for competitions and the subsequent need for the additional parking noted above.
- b. We suggest that there should be some additional signage related to the pedestrian crossings associated with the proposed display areas across the frontage of all three lots.
- c. In general, based on the information provided, we concur with the memo's findings that there "will be no perceptible negative impact due to traffic changes associated with this project".

4. Utility Design/Conflicts

- a. HR 275-9.E. and 276-13. The applicant has not provided any installation details for the proposed septic tank or sewer force main at Lot 101/14.
- b. HR 275-9.E and 276-13. The applicant has noted that the existing leachfield at Lot 101/14 will be abandoned in place and has proposed the installation of a driveway and fencing over a portion of the existing leachfield. Elevations of the existing leachfield are not noted so potential impacts from these proposed features could not be evaluated.
- c. HR 276-13. The applicant is proposing installation of underground liquid propane gas tanks, and has noted that design and installation of these tanks shall be by the propane supplier in accordance with NFPA 58, NFPA 54, and all applicable state and local codes and regulations. Fuss & O'Neill did not review any proposed propane tank installation details for conformance with these standards.
- d. HR 276-13.D. The applicant has not proposed any screening around the proposed vent piping for the liquid propane tanks. The Town should review this proposed utility installation to determine if these vents are considered utility apparatus and subject to the Regulation.
- e. The applicant has shown the installation of a fence post on top of an existing valve at the display area in the front of Lot 101/14. The plans do not indicate the function of this valve.



Ms. Brooke Dubowik
Fuss & O'Neill Reference No. 030249.1750
July 17, 2018
Page 5 of 7

5. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- a. HR 275-9.A(3). Section 3 (BMP Sheet) illustrates that the Bio-Retention Area utilizes a 5.0 inches per hour rate, while Section 5 (HydroCAD Node Summary) illustrates that the Bio-Retention Area utilizes a rate of 0.2 cfs. The applicant should provide additional data (conversion calculation) to support the use of the constant rate compared to the infiltration rate.
- b. HR 290-4.C. We note the rip rap calculations within section 6 of the Stormwater Drainage Report do not match the dimensions listed within the detail upon Sheet 12.
- c. HR 290-4.C. The Outlet Structure 1 Detail on Sheet 11 states "Oil-Gas Trap Tee (See Detail)". The applicant should provide additional information on the detail being referred to.
- d. HR 290-5.H. The applicants Drainage Report calculations do not account for frozen ground conditions. The applicant should provide additional information/insight, or request a waiver for this requirement.
- e. HR 290-5.L(1). The applicant should keep the Town informed of all communication with NHDES in relation to the Alteration of Terrain Permit discussions as well as the Town of Londonderry to ensure NHDES or Town of Londonderry engineering comments do not alter drainage design/calculations.
- f. There is a slight discrepancy between the Pre-Development analysis area and the Post Development area (7.115 acres vs 7.131 acres). The applicant should provide additional information on this variation of analysis area.
- g. HR 289-20.(1). There is an increase in runoff volume in all storms analyzed for Analysis Points Reach 100 as well as Link DP-A. The applicant should comment on this volumetric increase in relation to downstream abutters. We also note the NHDES AoT requirement of Env-Wq 1507.05, and 2 year runoff volume analysis.

6. Zoning (ZO 334)

- a. ZO 334-20. The subject lots are located in Hudson's Business (B) zoning district and the proposed manufacturing use is not permitted within this district. However, the applicant has noted that the Zoning Board of Adjustment (ZBA) granted a variance at their March 22, 2018 meeting to allow this use within this district.
- b. ZO 334-33. The applicant has shown wetlands adjacent to a portion of Lot 101/14, and has proposed construction of a paved driveway within the Wetlands Conservation District. The applicant has noted that a variance is required from the Hudson ZBA for this proposed feature.



Ms. Brooke Dubowik
Fuss & O'Neill Reference No. 030249.1750
July 17, 2018
Page 6 of 7

- c. ZO 334-60. The applicant has not proposed any signs other than handicapped parking signs within the subject lots.
- d. ZO 334-83. The applicant has noted that the subject parcels do not fall within a special flood hazard area.

7. Erosion Control/Wetland Impacts

- a. HR 290-5.K.(14). The applicant has not indicated the proposed areas of earth stockpiles.
- b. HR 290-5.K.(15). The applicant has not indicated the proposed areas of equipment storage and staging.
- c. HR 290-5.K.(22). The applicant should show permanent snow storage areas on the plan set.
- d. The Town should reserve the right to require additional erosion control measures.

8. Landscaping (HR 276-11.1.B.(20)) and Lighting (HR 276-11.1.B.(14))

- a. HR 275-8.C.(7)(a). The applicant has located plantings around the perimeter of Lot 101/14 and noted that a waiver is required for interior plantings. A waiver request form was not included in Fuss & O'Neill's review package.
- b. HR 275-8.C.(7)(b). The applicant has noted that a waiver is required for the 10% interior landscape area requirement. A waiver request form was not included in Fuss & O'Neill's review package.
- c. HR 276-11.1.B.(14). The applicant has provided a plan supplemental to the original plan set showing proposed site lighting. Details related to the operation of the proposed lights were not included (hours of operation, timer/photocell operation, full cut-off fixtures, etc.).
- d. HR 276-11.1.B.(14). The applicant should review the lighting plan as no lighting values are given for the parking area north of the buildings at Lot 101/14.
- e. HR 276-11.1.B.(20). The applicant has not shown existing exterior lighting on the plans.

9. State and Local Permits (HR 275-9.G.)

- a. HR 275-9.G. No copies of applicable approvals or permits were provided in the package received for review.



Ms. Brooke Dubowik
Fuss & O'Neill Reference No. 030249.1750
July 17, 2018
Page 7 of 7

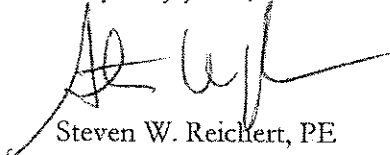
- b. HR 275-9.G. The applicant has noted that a New Hampshire Department of Environmental Services (NHDES) Alteration of Terrain Permit is required. The applicant should forward all relevant AoT permit documentation to the Town for their records.
- c. HR 275-9.G. The applicant has noted that a NHDES Septic Permit is required for Lot 101/14 (7 Tracy Lane) and 101/17 (3 Tracy Lane). The applicant should forward all relevant documentation for these permits to the Town for their records.
- d. Additional local permitting may be required.

10. Other


- a. The applicant should clarify if the Concrete Slab Detail in the plans applies to the proposed dumpster pads or provide additional details as needed.
- b. The applicant should provide a legend for the plan sheets that accurately depicts the symbols and abbreviations used in the plans.
- c. The applicant should provide details for the proposed display area at Lot 101/14.

Please feel free to call if you have any questions.

Very truly yours,



Steven W. Reichert, PE



Paul Konieczka, AICP

SWR:PK:mjt

Enclosure

cc: Town of Hudson Engineering Division -- File
TF Moran Inc.
48 Constitution Drive
Bedford, NH 03110
Fax: 603.472.9747

OWNER
 MAP 101 LOT 14 / MAP 2 LOT 34-5
 SMT 7 TRACEY LANE LLC
 3 TRACEY LANE
 HUDSON NH 03051

MAP 101 LOT 15 & 17 / MAP 2 LOTS 34 & 34-4
 SMT TRACEY LANE HOLDINGS LLC
 3 TRACEY LANE
 HUDSON NH 03051

APPLICANT
 REEDS FERRY SMALL BUILDINGS INC.
 3 TRACEY LANE
 HUDSON NH 03051

LONDONDERRY RESOURCE LIST
 PLANNING & ECONOMIC DEVELOPMENT
 268B MAMMOTH ROAD
 LONDONDERRY, NH 03053
 603-432-1100 EXT. 103
 COLLEEN MAILLOUX

BUILDING & ZONING ENFORCEMENT
 268B MAMMOTH ROAD
 LONDONDERRY, NH 03053
 603-432-1100 EXT. 115
 LIBBY CANUEL

PUBLIC WORKS
 268B MAMMOTH ROAD
 LONDONDERRY, NH 03053
 603-432-1100 EXT. 193
 JANUSZ CZYZOWSKI; PE

POLICE DEPARTMENT
 268B MAMMOTH ROAD
 LONDONDERRY, NH 03053
 603-432-1118
 WILLIAM R. HART; CHIEF OF POLICE

FIRE DEPARTMENT
 268B MAMMOTH ROAD
 LONDONDERRY, NH 03053
 603-432-1124
 DARRE O'BRIEN; CHIEF

HUDSON RESOURCE LIST:
 PLANNING DEPARTMENT
 TOWN OF HUDSON
 12 SCHOOL STREET
 HUDSON, NH 03051
 (603)886-6008

ZONING DEPARTMENT
 TOWN OF HUDSON
 12 SCHOOL STREET
 HUDSON, NH 03051
 (603)886-6008

POLICE DEPARTMENT
 1 CONSTITUTION DRIVE
 HUDSON, NH 03051
 603-886-6011
 JASON LAVOIE; CHIEF OF POLICE

FIRE DEPARTMENT
 39 FERRY STREET
 HUDSON, NH 03051
 603-886-6021
 ROBERT BUXTON; CHIEF

ABUTTERS
 ABUTTERS-HUDSON
 MAP 101 LOT 18
 DANIEL & JUDITH DUBOWIK
 345 DERRY ROAD
 HUDSON, NH 03051
 B. 5760 P. 1620

MAP 101 LOT 19
 SMT REBEL ROAD, LLC
 3 TRACEY LANE
 HUDSON, NH 03051
 B. 8812 P. 1401

MAP 101 LOT 30
 MARIO PLANTE TR & DENYSE PLANTE TR
 GREEN MOUNTAIN PARTNERS TRUST
 9 OLD DERRY ROAD
 HUDSON, NH 03051

MAP 101 LOT 6
 LLTZ LLC
 72 OLD DERRY ROAD
 HUDSON, NH 03051
 B. 8858 P. 2337

MAP 101 LOT 11
 MAL-MAR LLC
 9 DOVER ROAD
 CHICHESTER, NH 03258-6515
 B. 8144 P. 2494

MAP 101 LOT 9 & 10
 RYFF 1 LLC
 257 SHEEP DAVIS ROAD
 CONCORD, NH 03301
 B. 8711 P. 928

MAP 101 LOT 13
 TRACY LANE CONDOMINIUM
 B. P.

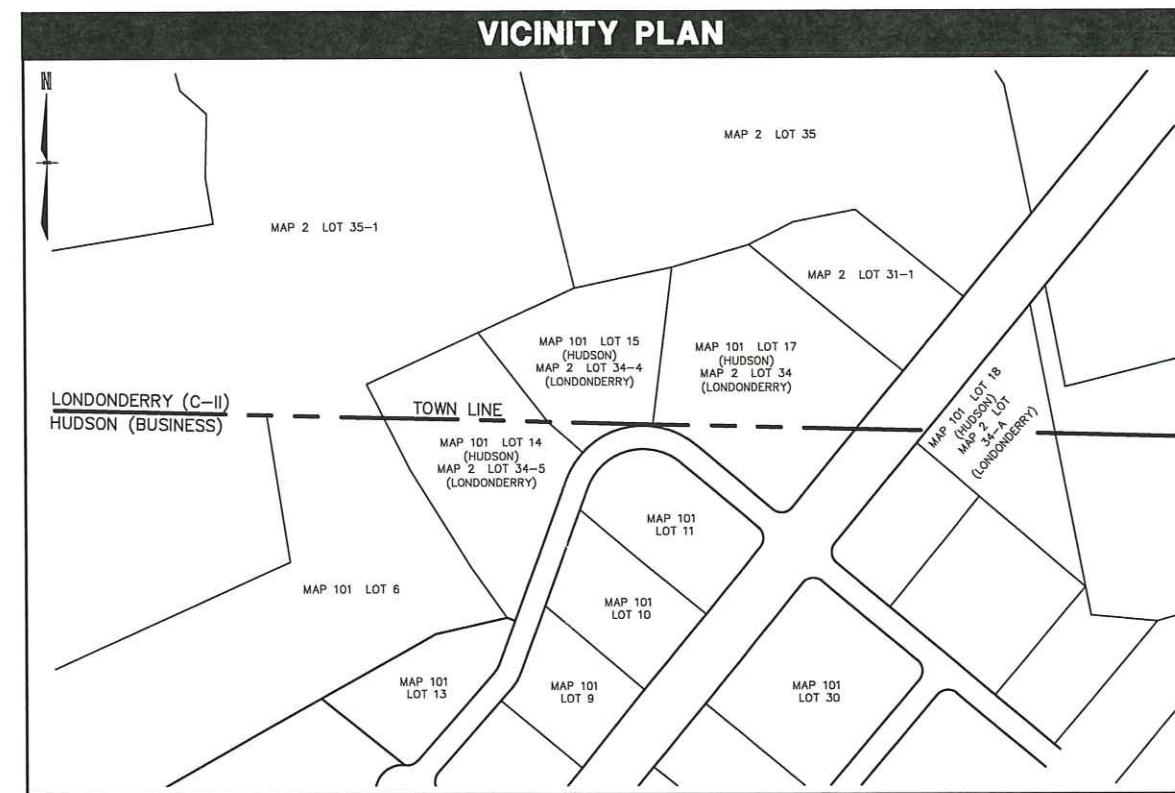
ABUTTERS-LONDONDERRY
 MAP 2 LOT 35-1
 STATE OF NEW HAMPSHIRE
 DEPT. OF PUBLIC WORKS
 85 LOUDON ROAD
 CONCORD, NH 03301
 B. 2258 P. 1280

MAP 2 LOT 35-0
 CABLE HOLDCO EXCHANGE III LLC
 ONE COMCAST CENTER
 PHILADELPHIA, PA 19103
 B. 4697 P. 421

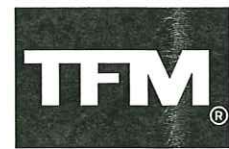
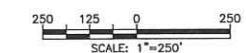
MAP 2 LOT 34A
 DANIEL & JUDITH DUBOWIK
 223 DERRY STREET
 HUDSON, NH 03051
 B. 3182 P. 371

REEDS FERRY SMALL BUILDINGS

3, 5, 7 TRACY LANE, HUDSON, NEW HAMPSHIRE



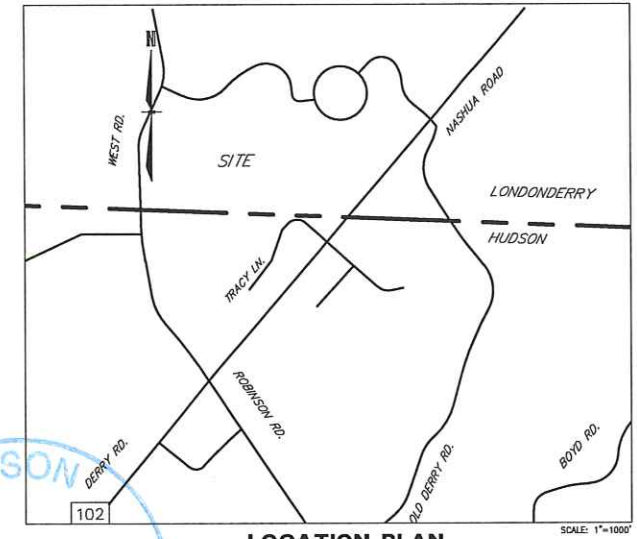
TAX MAP SKETCH



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

| INDEX OF SHEETS | |
|-----------------|--------------------------------------|
| SHEET | SHEET TITLE |
| 1 | COVER SHEET |
| 2-3 | EXISTING CONDITIONS |
| 4 | SITE PREPARATION PLAN |
| 5 | OVERALL SITE PLAN |
| 6 | SITE LAYOUT & UTILITY PLAN |
| 7 | GRADING & DRAINAGE PLAN |
| 8 | LANDSCAPE PLAN |
| 9 | STORM WATER MANAGEMENT PLAN |
| 10-17 | DETAIL SHEETS |
| L1-L2 | LIGHTING PLAN |
| A1-A3 | ARCHITECTURAL ELEVATIONS (BY OTHERS) |

| PERMITS / APPROVALS | | |
|------------------------------|----------|---------|
| NUMBER | APPROVED | EXPIRES |
| NHDES ALT. OF TERRAIN | | |
| NHDES SEPTIC (3 TRACY LN) | | |
| NHDES SEPTIC (7 TRACY LN) | | |
| LONDONDERRY SITE PLAN | | |
| HUDSON SITE PLAN | | |
| HUDSON ZBA SPECIAL EXCEPTION | | |
| HUDSON ZBA VARIANCE (USE) | | |



LOCATION PLAN



SITE PLAN
 TAX MAP 2 LOT 34-0, 34-4, 34-5 (LONDONDERRY)
 TAX MAP 101 LOT 14, 15 & 17 (HUDSON)
COVER SHEET
REEDS FERRY SMALL BUILDINGS INC.
3, 5, 7 TRACY LANE, HUDSON NH
 OWNED BY
SMT 7 TRACEY LANE LLC & SMT TRACEY LANE HOLDINGS LLC
 PREPARED FOR
REEDS FERRY SMALL BUILDINGS INC.
 SCALE: AS NOTED **JUNE 22, 2018**

| PROPOSED | LEGEND | EXISTING |
|----------|--------------------------|----------|
| BCC | BITUMINOUS CONCRETE CURB | BCC |
| SGC | SLOPED GRANITE CURB | SGC |
| --- | EDGE OF PAVEMENT | --- |
| + | SIGN | + |
| ↑ | TRAFFIC FLOW | ↑ |
| → | PAINTED ARROW | → |
| • | LIGHT POLE | • |
| ▲ | BUILDING MOUNTED LIGHT | ▲ |
| ⊕ | HYDRANT | ⊕ |
| ⊗ | WATER GATE | ⊗ |
| ⊙ | UTILITY POLE | ⊙ |
| ⊖ | SEWER MANHOLE | ⊖ |
| ⊘ | DRAIN MANHOLE | ⊘ |
| ⊚ | CATCH BASIN | ⊚ |
| ⊛ | SPOT GRADE | ⊛ |
| ⊜ | INDEX CONTOUR | ⊜ |
| ⊝ | INTERMEDIATE CONTOUR | ⊝ |
| ⊞ | EDGE OF WETLAND | ⊞ |
| ⊟ | STONE WALL | ⊟ |
| ⊠ | TREELINE | ⊠ |
| ⊡ | TREES | ⊡ |
| ⊢ | RIP-RAP | ⊢ |
| ⊣ | SEWER LINE | ⊣ |
| ⊤ | WATER LINE | ⊤ |
| ⊥ | DRAIN LINE | ⊥ |
| ⊦ | GAS LINE | ⊦ |
| ⊧ | OVERHEAD UTILITIES | ⊧ |
| ⊨ | UNDERGROUND UTILITIES | ⊨ |

APPROVED BY THE LONDONDERRY PLANNING BOARD

ON _____

CERTIFIED BY CHAIRMAN _____

SECRETARY _____

APPROVED BY THE HUDSON, NH PLANNING BOARD

PURSUANT TO THE REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

DATE OF MEETING _____ DATE _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

| REV | DATE | DESCRIPTION | SRP | JH | DR | CK |
|-----|-----------|----------------------|-----|----|----|----|
| 1 | 7/25/2018 | ISSUE FOR PERMITTING | | | | |

TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

48 Constitution Drive
 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
 www.tfmoran.com

17851.04 DR JH FB
 CK JK CADFILE 17851.04 COV-DET

SHEET 1 OF 17

LEGEND

- CONCRETE/GRANITE BOUND
- STONE BOUND
- IRON PIPE
- IRON PIN
- DRILL HOLE
- NAIL OR RAILROAD SPIKE
- GUARD RAIL
- SLOPED BITUMINOUS CURB
- SLOPED GRANITE CURB
- VERTICAL GRANITE CURB
- CAPE COD BERM CURB
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- BARBED WIRE FENCE
- CHAIN LINK FENCE
- STOCKADE FENCE
- SIGN
- TREELINE
- TREES
- STONEWALL

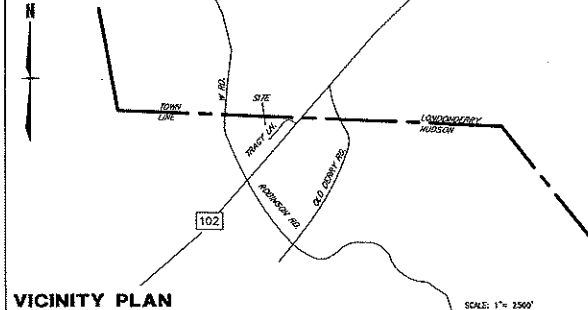
- CBF/CBF
- SBF
- IPF
- IPWF or IPWF
- OHF
- PK of PFS
- SBC
- SCC
- VCC
- CCP

- SEWER MANHOLE
- DRAIN MANHOLE
- CATCH BASIN
- TRANSFORMER PAD
- WATER GATE
- UTILITY POLE
- WELL
- MONITORING WELL
- SPOT GRADE
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- GUY ANCHOR
- RIP-RAP
- SEWER LINE
- WATER LINE
- DRAIN LINE
- GAS LINE
- OVERHEAD UTILITIES
- UNDERGROUND UTILITIES

- MAILBOX
- BOLLARD
- PAINTED ARROW
- GAS VALVE
- LIGHT POLE
- HYDRANT
- WATER MANHOLE
- WATER SHUTOFF
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- ELECTRIC METER
- GAS VALVE
- LIGHT POLE
- HYDRANT

REFERENCE PLANS

- PLAN OF LANDS HENRY D. MOREY HEIRS HUDSON, LITCHFIELD & LONDONDERRY, NEW HAMPSHIRE DATED DECEMBER 15, 1978 BY THOMAS F. MORAN INC. H.C.R.D. PLAN #13925.
- LOT LINE RELOCATION PLAN MAP 41 LOTS 4 & 4-1 FILON LOT LINE RELOCATION 2 WEST ROAD HUDSON, NEW HAMPSHIRE PREPARED FOR CARLTON HAMM & BERNARD FILON DATED OCTOBER 22, 1999 AND REVISED 12/6/99 BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC. H.C.R.D. PLAN #30321.
- MAP 101/13 CONDOMINIUM SITE PLAN TRACY LANE CONDOMINIUM, HUDSON, NEW HAMPSHIRE PREPARED FOR: JAMES ALLARD D.B.A. NOTINGHAM PROPERTIES DATED MAY 23, 1988 1986 BY CUCCO & CORNER ENGINEERING ASSOCIATES, INC. H.C.R.D. PLAN #36143.
- SITE PLAN MAP 41 LOT 6-8 FRED FULLER OIL CO., INC. TRACY LANE HUDSON, NEW HAMPSHIRE PREPARED FOR FRED FULLER OIL CO., INC. DATED FEBRUARY 28, 1996 AND LAST REVISED 5/16/96 BY MAYNARD & PAQUETTE, INC. H.C.R.D. PLAN #28040.
- SUBDIVISION PLAN MAP 41 LOT 6 LEE J. ALLARED ET UX NH ROUTE 102 HUDSON & LONDONDERRY N.H. OWNER & SUBDIVIDER LEE J. & CANDICE C. ALLARD DATED 23 MARCH 1984 AND LAST REVISED 6/12/84 BY GEORGE F. KELLER INC. H.C.R.D. PLAN #18964.
- A PORTION OF ROY P. AVERY LAND WEST ROAD, LONDONDERRY, N.H. PROPOSED FOR STATE OF NEW HAMPSHIRE DEPT. OF PUBLIC WORKS & HIGHWAYS DATED JAN. 17, 1976 BY N.H.D.P.W.&H. RIGHT OF WAY DIVISION R.C.R.D. PLAN #D-9055.



NOTES

- OWNER OF RECORD OF MAP 101 LOT 14 (HUDSON) MAP 2-34-5 (LONDONDERRY) IS SMT 7 TRACY LANE LLC 3 TRACY LANE HUDSON, NH 03051. PARCEL ADDRESS: 7 TRACY LANE. DEED REFERENCE TO PARCEL IS BK. 8941 PG. 1552 IN THE RCRD. DEED REFERENCE TO PARCEL IS BK. 5795 PG. 603 IN THE RCRD. AREA TOTAL = 136,293 SF +/- OR 3.1288 ACRES +/- AREA HUDSON = 93,844 SF +/- OR 2.1543 ACRES +/- AREA LONDONDERRY = 42,449 SF +/- OR 0.9745 ACRES +/- OWNER OF RECORD OF MAP 101 LOT 15 (HUDSON) MAP 2-34-4 (LONDONDERRY) IS SMT TRACY LANE HOLDINGS LLC MARYTIN, LLC 3 TRACY LANE HUDSON, NH 03051. PARCEL ADDRESS: 5 TRACY LANE. DEED REFERENCE TO PARCEL IS BK. 9067 PG. 1351 IN THE RCRD. DEED REFERENCE TO PARCEL IS BK. 5908 PG. 2202 IN THE RCRD. AREA HUDSON = 4,318 SF +/- OR 0.0991 ACRES +/- AREA LONDONDERRY = 97,616 SF +/- OR 2.2409 ACRES +/- AREA TOTAL = 101,934 SF +/- OR 2.3400 ACRES +/- OWNER OF RECORD OF MAP 101 LOT 17 (HUDSON) MAP 2-34-3 & 2-34-B (LONDONDERRY) IS SMT TRACY LANE HOLDINGS LLC 3 TRACY LANE HUDSON, NH 03051. PARCEL ADDRESS: 3 TRACY LANE. DEED REFERENCE TO PARCEL IS BK. 8160 PG. 1014 IN THE RCRD. DEED REFERENCE TO PARCEL IS BK. 4967 PG. 2537 & BK. 5073 PG. 935 IN THE RCRD. AREA TOTAL = 188,179 SF +/- OR 4.2741 ACRES +/- AREA HUDSON = 38,772 SF +/- OR 0.8801 ACRES +/- AREA LONDONDERRY = 147,407 SF +/- OR 3.3840 ACRES +/-
- [101-14] INDICATES TAX MAP AND LOT NUMBER.
- THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING CONDITIONS AT 3, 5, & 7 TRACY LANE.
- CURRENT ZONING IS C-II (LONDONDERRY) & B (HUDSON)
- EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR HILLSBOROUGH COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS), MAP NUMBER 33011C0508D, EFFECTIVE DATE SEPTEMBER 25, 2009, AND ROCKINGHAM COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS) MAP NUMBER 33015C0508E, EFFECTIVE DATE MAY 17, 2005 INDICATES THAT THE SUBJECT PARCELS ARE NOT LOCATED WITHIN A FLOOD HAZARD AREA.
- VERTICAL DATUM: NAVD83 BENCHMARKS SET: AS NOTED
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE HILLSBOROUGH AND ROCKINGHAM COUNTY REGISTRIES OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
- APPROXIMATE LOCATION 10'X15' NET&T CO. EASEMENT RESERVED IN BK 3326 PG 947 (HCRD) EASEMENT DEED NOT FOUND.
- 50' RIGHT OF WAY RECORDED IN BK 3351 PG 38 (HCRD).
- NO RECORDED LOT MERGER FOUND.

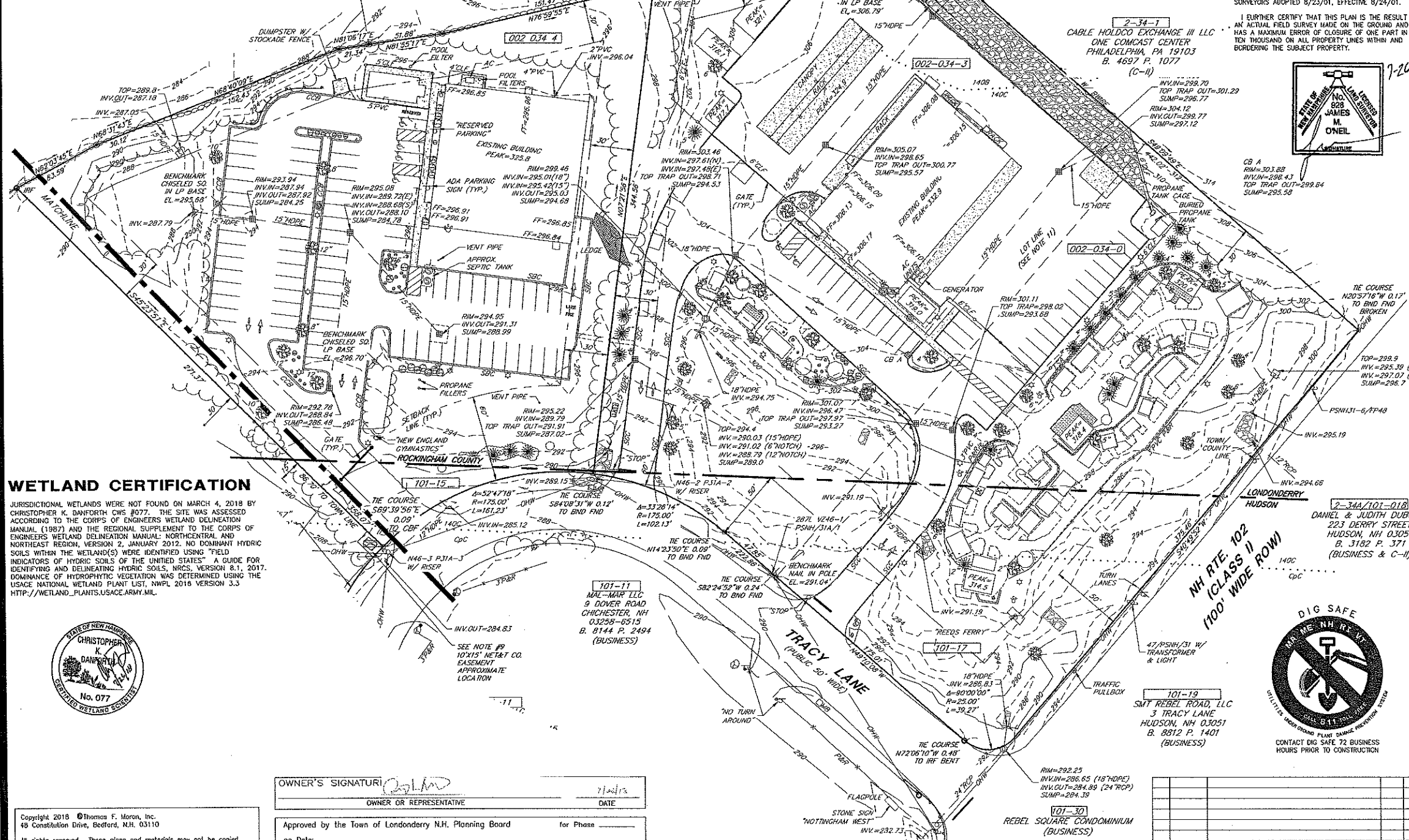
SOILS:

- CPC CHATFIELD-HOLLIS-CANTON COMPLEX, 8 TO 15 PERCENT SLOPES
- 140B CHATFIELD-HOLLIS-CANTON COMPLEX, 0 TO 8 PERCENT SLOPES, ROCKY
- 140C CHATFIELD-HOLLIS-CANTON COMPLEX, 8 TO 15 PERCENT SLOPES, ROCKY

TAX MAP 2 LOTS 034-0, 034-03, 034-04, & 034-05 (LONDONDERRY)
TAX MAP 101 LOTS 14, 15 & 17 (HUDSON)

EXISTING CONDITIONS PLAN
3, 5, & 7 TRACY LANE, HUDSON, & LONDONDERRY NH
OWNED BY
SMT 7 TRACY LANE LLC & SMT TRACY LANE HOLDINGS LLC
PREPARED FOR
REEDS FERRY SHEDS

SCALE: 1"=40' MAY 23, 2018



WETLAND CERTIFICATION

JURISDICTIONAL WETLANDS WERE NOT FOUND ON MARCH 4, 2018 BY CHRISTOPHER K. DANFORTH CWS #077. THE SITE WAS ASSESSED ACCORDING TO THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. NO DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING "FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES" A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, NRCS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHITIC VEGETATION WAS DETERMINED USING THE USACE NATIONAL WETLAND PLANT LIST, NWPL 2016 VERSION 3.3 HTTP://WETLAND_PLANTS.USACE.ARMY.MIL.



OWNER'S SIGNATURE: _____ DATE: 7/24/18
OWNER OR REPRESENTATIVE: _____
Approved by the Town of Londonderry N.H. Planning Board for Phase _____ on Date: _____ for Phone: _____
Certified By: _____

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

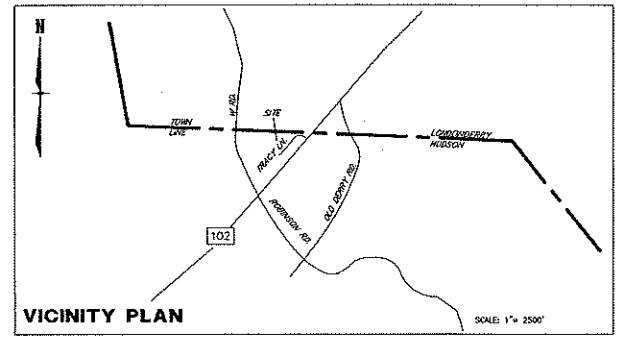
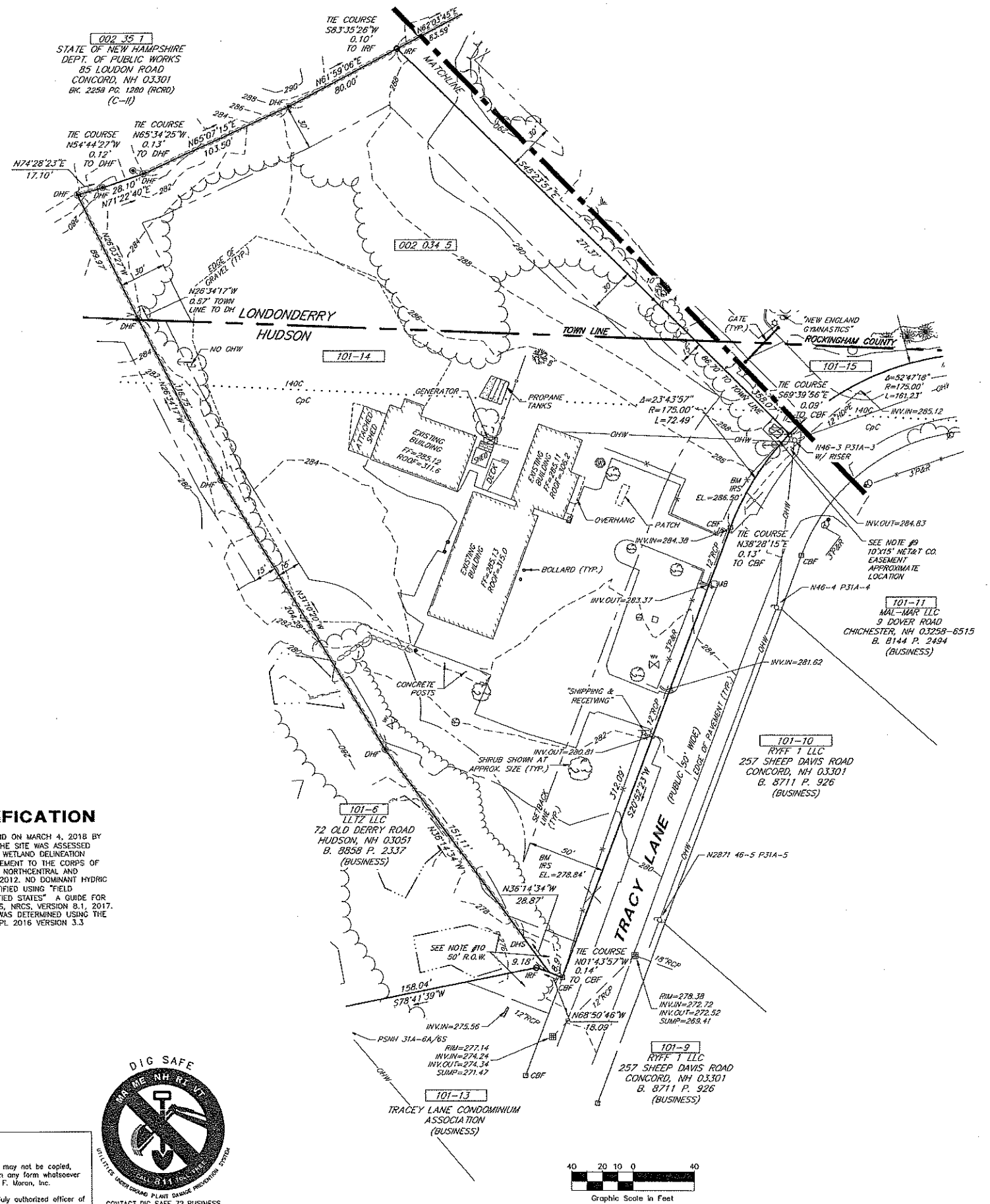
| REV. | DATE | MISC. REVISIONS DESCRIPTION | STB | JMD |
|------|--------|-----------------------------|-----|-----|
| 1 | 7-3-18 | | | |

Graphic Scale in Feet: 0 20 10 0 40



TFM Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists
48 Constitution Drive Bedford, NH 03110
Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com

17851.04 OR JMO FB 17851-04 Survey SHEET 2
DW HGM CADFILE



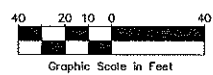
WETLAND CERTIFICATION

JURISDICTIONAL WETLANDS WERE NOT FOUND ON MARCH 4, 2018 BY CHRISTOPHER K. DANFORTH CWS #077. THE SITE WAS ASSESSED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. NO DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING "FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES" A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, NRCS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USACE NATIONAL WETLAND PLANT LIST, NWPL 2016 VERSION 3.3. [HTTP://WETLAND_PLANTS.USACE.ARMY.MIL](http://wetland_plants.usace.army.mil)

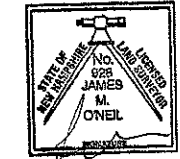


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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 8/23/01, EFFECTIVE 8/24/01.
I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.



OWNER'S SIGNATURE *[Signature]* DATE 7/23/18
OWNER OR REPRESENTATIVE

Approved by the Town of Londonderry N.H. Planning Board for Phase _____
on Date: _____
Certified By: _____

TAX MAP 2 LOTS 034-0, 034-03, 034-04, & 034-05 (LONDONDERRY)
TAX MAP 101 LOTS 14, 15 & 17 (HUDSON)
EXISTING CONDITIONS PLAN
3, 5, & 7 TRACY LANE, HUDSON, & LONDONDERRY NH
OWNED BY
SMT 7 TRACEY LANE LLC & SMT TRACEY LANE HOLDINGS LLC
PREPARED FOR
REEDS FERRY SHEDS
SCALE: 1"=40' MAY 23, 2018

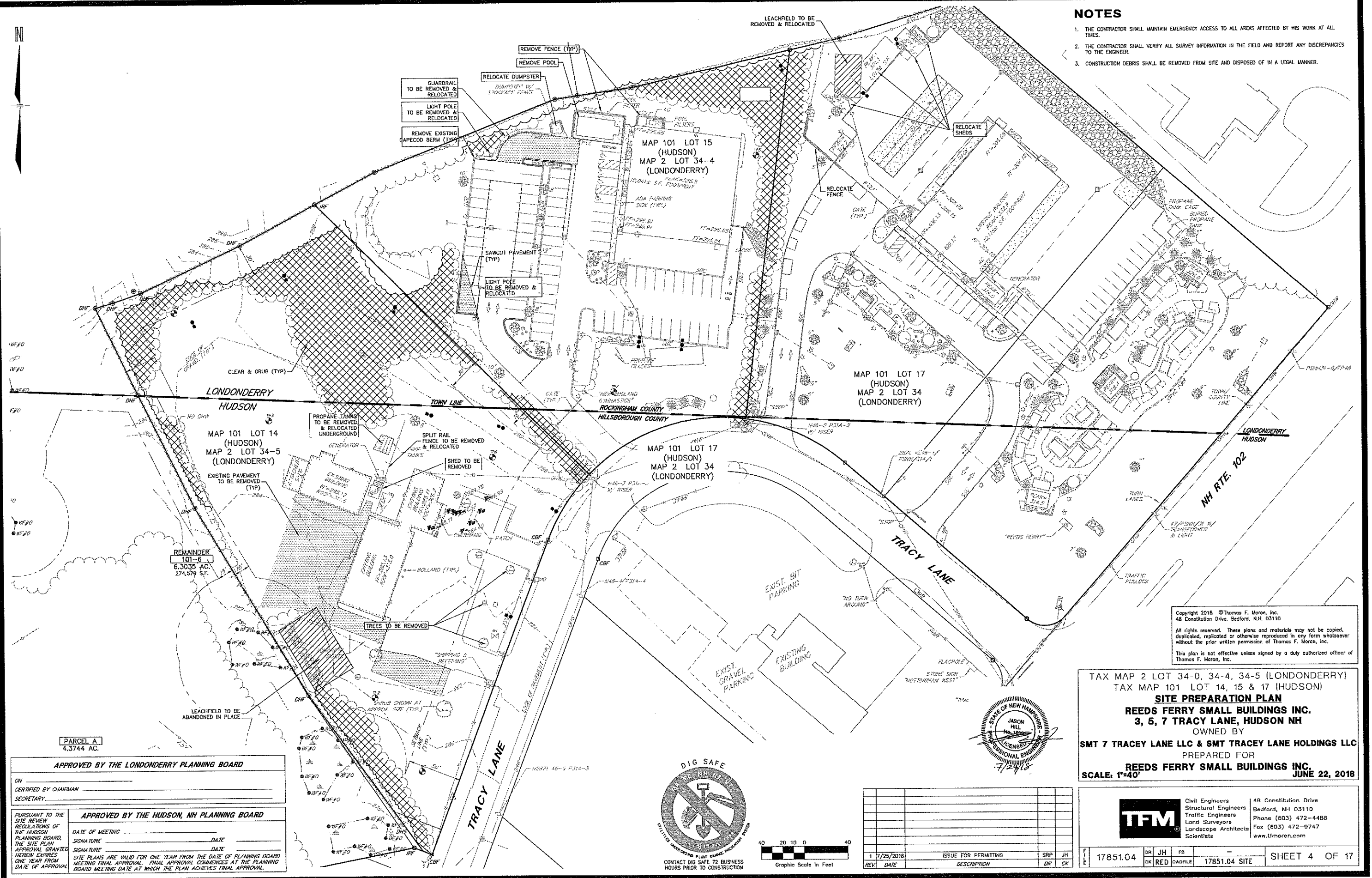
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TFM Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com

17851.02 DR JMO FB
CK HGM CADFILE 17851-02 Survey SHEET 3

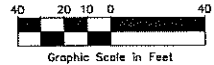
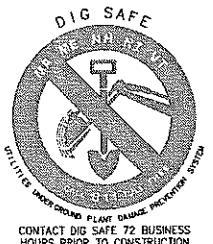
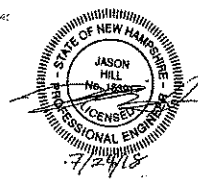
NOTES

1. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
2. THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
3. CONSTRUCTION DEBRIS SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.



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TAX MAP 2 LOT 34-0, 34-4, 34-5 (LONDONDERRY)
 TAX MAP 101 LOT 14, 15 & 17 (HUDSON)
SITE PREPARATION PLAN
REDS FERRY SMALL BUILDINGS INC.
 3, 5, 7 TRACY LANE, HUDSON NH
 OWNED BY
SMT 7 TRACEY LANE LLC & SMT TRACEY LANE HOLDINGS LLC
 PREPARED FOR
REDS FERRY SMALL BUILDINGS INC.
 SCALE: 1"=40'
 JUNE 22, 2018



| REV. | DATE | DESCRIPTION | SRP | JH |
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| | | | DR | CK |

TFM Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists

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17851.04 DR JH FB
 CK RED CADELE 17851.04 SITE SHEET 4 OF 17

PARCEL A
 4.3744 AC.

APPROVED BY THE LONDONDERRY PLANNING BOARD

ON _____
 CERTIFIED BY CHAIRMAN _____
 SECRETARY _____

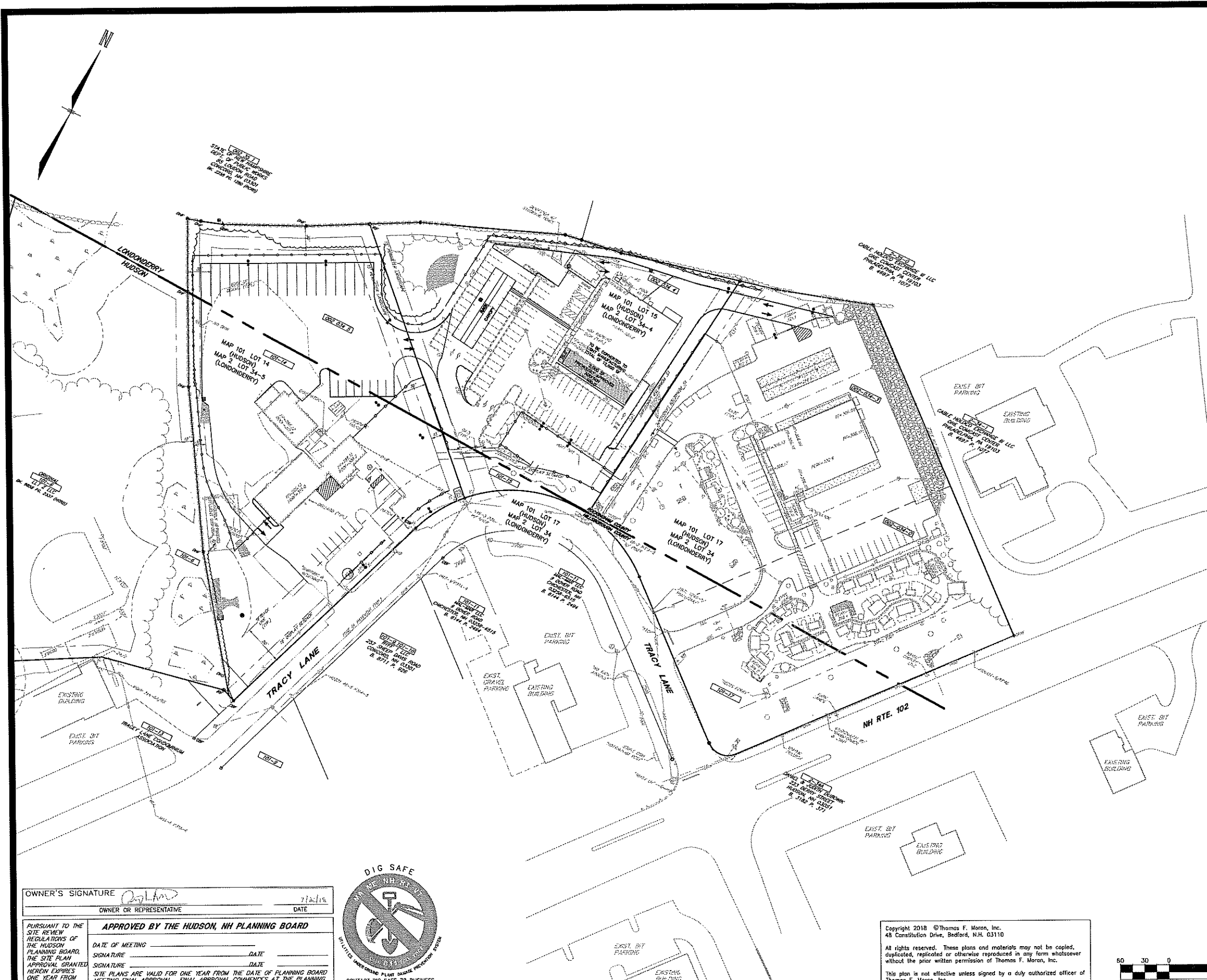
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM THE DATE OF MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING _____ DATE _____
 SIGNATURE _____ DATE _____
 SIGNATURE _____ DATE _____

NOTES

1. OFFSITE CONDITIONS BASED ON LONDONDERRY AND HUDSON GIS MAPPING.



| REV. | DATE | DESCRIPTION | SRP | JH |
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| 1 | 7/25/2018 | ISSUE FOR PERMITTING | SRP | JH |

TAX MAP 2 LOT 34-0, 34-4, 34-5 (LONDONDERRY)
 TAX MAP 101 LOT 14, 15 & 17 (HUDSON)
OVERALL SITE LAYOUT PLAN
REEDS FERRY SMALL BUILDINGS INC.
3, 5, 7 TRACY LANE, HUDSON NH
 OWNED BY
SMT 7 TRACEY LANE LLC & SMT TRACEY LANE HOLDINGS LLC
 PREPARED FOR
REEDS FERRY SMALL BUILDINGS INC.
SCALE: 1"=60' JUNE 22, 2018

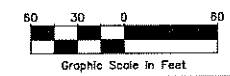
OWNER'S SIGNATURE *[Signature]* 7/26/18
 OWNER OR REPRESENTATIVE DATE



APPROVED BY THE HUDSON, NH PLANNING BOARD
 PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.
 DATE OF MEETING _____ DATE
 SIGNATURE _____ DATE
 SIGNATURE _____ DATE
 SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

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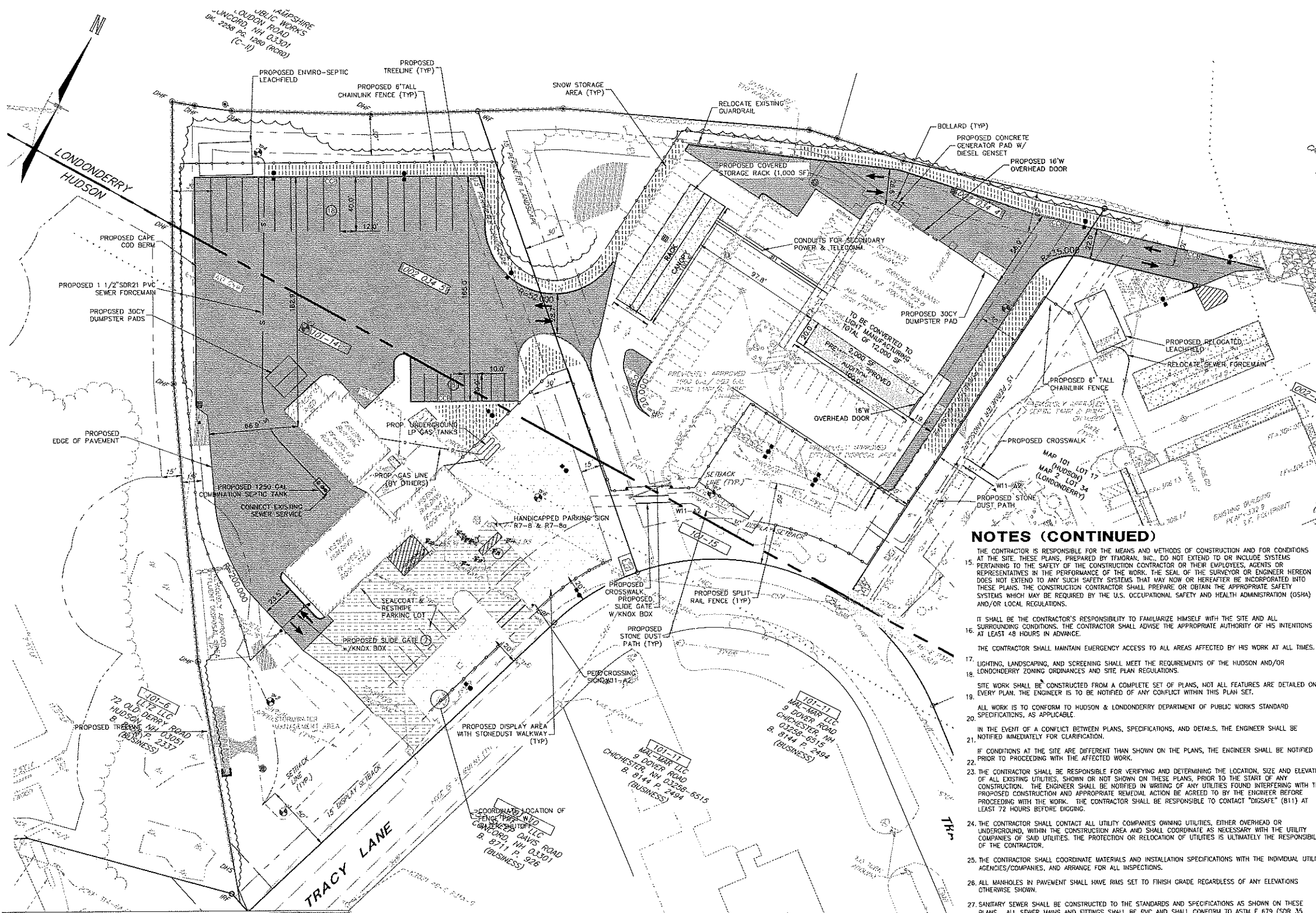


TFM Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists

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|----------|----|-----|---------|---------------|
| 17851.04 | DR | SRP | FB | - |
| | CK | JH | CAD/PRE | 17851.04 SITE |

SHEET 5 OF 17



NOTES

- TOTAL SITE AREA:
 - TAX MAP 101 LOT 14 AND TAX MAP 2 LOT 34-5 = 42,494 SQ. FT. 0.9755 ACRES
 - AREA WITHIN THE TOWN OF LONDONDERRY = 93,782 SQ. FT. 2.1532 ACRES
 - AREA WITHIN THE TOWN OF HUDSON = 136,286 SQ. FT. 3.1287 ACRES
 - TOTAL AREA OF PARCEL = 230,554 SQ. FT. 5.2771 ACRES
 - TAX MAP 101 LOT 15 AND TAX MAP 2 LOT 34-4 = 95,578 SQ. FT. 2.24 ACRES
 - AREA WITHIN THE TOWN OF LONDONDERRY = 4,348 SQ. FT. 0.10 ACRES
 - AREA WITHIN THE TOWN OF HUDSON = 101,926 SQ. FT. 2.34 ACRES
 - TOTAL AREA OF PARCEL = 147,524 SQ. FT. 3.384 ACRES
 - TAX MAP 101 LOT 17 AND TAX MAP 2 LOT 34 = 38,722 SQ. FT. 0.889 ACRES
 - AREA WITHIN THE TOWN OF LONDONDERRY = 186,143 SQ. FT. 4.273 ACRES

TOWN OF LONDONDERRY

COMMERCIAL II DISTRICT (C-II)
 LOT AREA 1 AC
 LOT FRONTAGE 150 FT

MINIMUM BUILDING SETBACKS
 FRONT 60 FT
 SIDE 30 FT
 REAR 30 FT
 BUILDING HEIGHT 50 FT

GREEN SPACE SETBACKS
 SIDE 15 FT
 FRONT 30 FT

ROUTE 102 PERFORMANCE OVERLAY ZONE (FORMER MAP 2 LOT 34)

TOWN OF HUDSON

BUSINESS DISTRICT (B)
 LOT AREA 43,560 SF
 LOT FRONTAGE 150 FT TOWN ROAD

MINIMUM BUILDING SETBACKS
 FRONT 50 FT
 SIDE 15 FT
 REAR 15 FT

BUILDING HEIGHT 38 FT

GREEN SPACE SETBACKS 35 FT FROM ROW

LOT COVERAGE

| | MAP 101 LOT 14 MAP 2 LOT 34-5 | MAP 101 LOT 15/ MAP 2 LOT 34-4 | MAP 101 LOT 17/ MAP 2 LOT 34 |
|---------------------------|----------------------------------|-----------------------------------|---------------------------------|
| MIN GREENSPACE | = 33% (LONDONDERRY) | | |
| PROPOSED GREENSPACE | = >33% | 48.7% | 60% |
| MAX BLDG COVERAGE | = 25% (LONDONDERRY) | | |
| PROPOSED BLDG COVERAGE | = 6.5% | 11.8% | 5.3% |
| MIN. OPEN SPACE | = 40% (HUDSON) | | |
| PROPOSED OPEN SPACE | = >40% | 48.7% | 60% |
| MAX IMPERVIOUS COVERAGE | = 55% (LONDONDERRY) | | |
| PROP. IMPERVIOUS COVERAGE | = <55% | <55% | 40% |

3. TOWN OF LONDONDERRY PARKING CALCULATIONS:

| | 8,990 SF / 600 = 15 | 12,000 / 600 = 20 | 12,000 / 600 = 20 |
|------------------|---------------------|-------------------|-------------------------|
| 1 SPACE / 600 SF | 8,990 SF / 600 = 15 | 12,000 / 600 = 20 | 12,000 / 600 = 20 |
| PROPOSED: | 19 (incl. 1 ADA) | 41 (incl. 4 ADA) | 21 spaces (incl. 2 ADA) |

TOWN OF HUDSON PARKING CALCULATIONS:

| | 8,990 SF / 600 = 15 | 12,000 / 600 = 20 | 12,000 / 600 = 20 |
|------------------|---------------------|-------------------|-------------------------|
| 1 SPACE / 600 SF | 8,990 SF / 600 = 15 | 12,000 / 600 = 20 | 12,000 / 600 = 20 |
| PROPOSED: | 19 (incl. 1 ADA) | 41 (incl. 4 ADA) | 21 spaces (incl. 2 ADA) |

NOTES (CONTINUED)

- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF HIS INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
- THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
- LIGHTING, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE HUDSON AND/OR LONDONDERRY ZONING ORDINANCES AND SITE PLAN REGULATIONS.
- SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
- ALL WORK IS TO CONFORM TO HUDSON & LONDONDERRY DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS, AS APPLICABLE.
- IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
- SITE SHALL CONFORM TO AMERICANS WITH DISABILITIES ACT AS REQUIRED, AS OUTLINED IN 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
- SIGNAGE WITHIN HUDSON PROPERTIES SHALL CONFORM TO ARTICLE 18 SECTION 334-58. NO SIGN SHALL BE ERRECTED OR AFFIXED TO ANY BUILDING EXTERIOR OR PLACED FREESTANDING ON ANY PREMISES, PUBLIC OR PRIVATE ROADWAYS OR RIGHTS-OF-WAY OR ALTERED OR MOVED WITHOUT A PERMIT ISSUED BY THE BUILDING INSPECTOR AND APPROVED BY ZONING ADMINISTRATOR, EXCEPT AS OTHERWISE EXEMPTED IN THIS CHAPTER.
- THERE ARE NO OFFSITE / HIGHWAY PROJECTS ASSOCIATED WITH THIS PROJECT.

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TAX MAP 2 LOT 34-0, 34-4, 34-5 (LONDONDERRY)
 TAX MAP 101 LOT 14, 15 & 17 (HUDSON)

SITE LAYOUT & UTILITY PLAN

REEDS FERRY SMALL BUILDINGS INC.
 3, 5, 7 TRACY LANE, HUDSON NH

OWNED BY
SMT 7 TRACEY LANE LLC & SMT TRACEY LANE HOLDINGS LLC

PREPARED FOR
REEDS FERRY SMALL BUILDINGS INC.
 SCALE: 1"=40'
 JUNE 22, 2018

OWNER'S SIGNATURE _____ DATE _____
 OWNER OR REPRESENTATIVE

APPROVED BY THE LONDONDERRY PLANNING BOARD

ON _____
 CERTIFIED BY CHAIRMAN _____
 SECRETARY _____

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

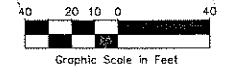
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING _____ DATE _____
 SIGNATURE _____ DATE _____
 SIGNATURE _____ DATE _____

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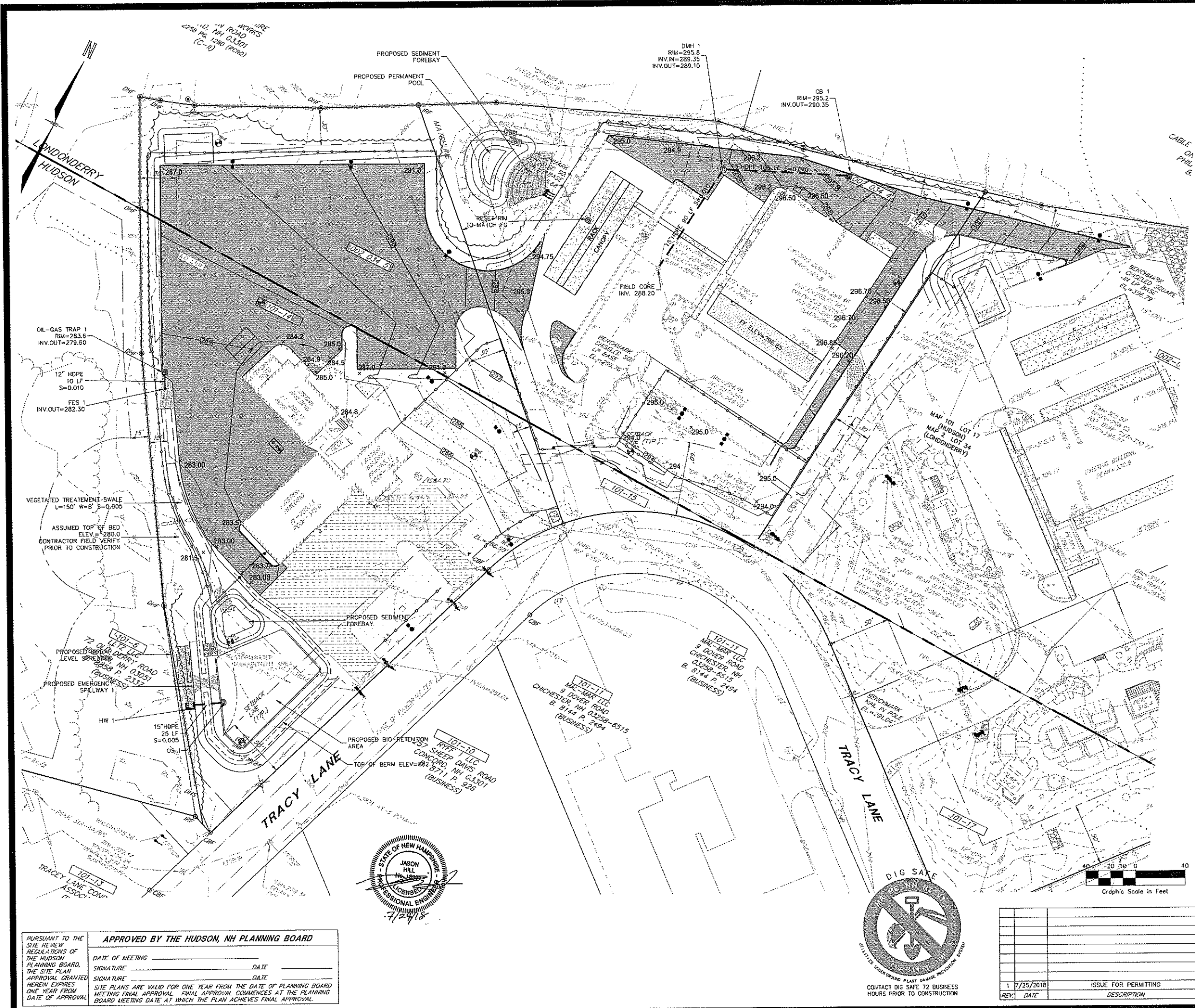


| REV. | DATE | DESCRIPTION | SRP | JH |
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 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

48 Constitution Drive
 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
 www.tfmoran.com



- ### NOTES
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWNS OF LONDONDERRY AND HUDSON, RESPECTIVELY, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
 2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL SURROUNDING CONDITIONS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
 4. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
 5. THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
 6. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
 7. STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
 8. ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
 9. ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
 10. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
 11. THE SITE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
 12. THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN ENCI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
 13. THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.
 14. COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION.
 15. LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
 16. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
 17. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
 18. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
 19. IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
 20. IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
 21. THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, TEFORAN INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
 22. TEFORAN INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
 23. THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 AS APPLICABLE.

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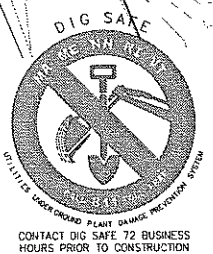
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3, 5, 7 TRACY LANE, HUDSON NH
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SMT 7 TRACEY LANE LLC & SMT TRACEY LANE HOLDINGS LLC
 PREPARED FOR
REEDS FERRY SMALL BUILDINGS INC.
 SCALE: 1"=40' JUNE 22, 2018

PURSUANT TO THE REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM THE DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING _____ DATE _____
 SIGNATURE _____ DATE _____
 SIGNATURE _____ DATE _____

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| | Structural Engineers | | Bedford, NH 03110 | |
| Traffic Engineers | | Phone (603) 472-4488 | | |
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| Scientists | | | | |
| 17851.04 | DR | JH | FB | - |
| | CK | RED | OADFILE | 17851.04 SITE |
| | | | | SHEET 7 OF 17 |

LANDSCAPE REQUIREMENTS (HUDSON)

1. INTERIOR PARKING LANDSCAPE AREA REQUIREMENTS: (278-B.C(7) OF SITE PLAN REG.'S)
 INTERIOR PARKING LOT: 10% LANDSCAPE AREA REQUIRED.
 3 TRACY LANE: 5 TRACY LANE: 7 TRACY LANE:
 REQUIRED: N/A REQUIRED: N/A REQUIRED: 889 SF
 PROVIDED: N/A PROVIDED: N/A PROVIDED: *283 SF
 *WAVYER REQUIRED
- a. REQUIRED TREES: 1 TREE PER 1,600 SF OR 1 TREE PER 5 SPACES, WHICHEVER IS GREATER.
 3 TRACY LANE: 5 TRACY LANE: 7 TRACY LANE: (6,890 SF)
 REQUIRED: N/A REQUIRED: N/A REQUIRED: 6 TREES
 PROVIDED: N/A PROVIDED: N/A PROVIDED: *6 TREES
- b. REQUIRED SHRUBS: 1 SHRUB PER 200 SF OR 1 SHRUB PER 1.6 SPACES, WHICHEVER IS GREATER.
 3 TRACY LANE: 5 TRACY LANE: 7 TRACY LANE:
 REQUIRED: N/A REQUIRED: N/A REQUIRED: 44 SHRUBS
 PROVIDED: N/A PROVIDED: N/A PROVIDED: **44 SHRUBS
 **WAVYER REQUIRED FOR INTERIOR PLANTINGS. PLANTINGS LOCATED ALONG PERIMETER.

LANDSCAPE REQUIREMENTS (LONDONDERRY)

1. GREEN SPACE REQUIREMENT:
 30' GREEN SPACE BUFFER ALONG ROW.
 15' GREEN SPACE BUFFER ALONG SIDE AND REAR LOT LINES.
2. INTERIOR PARKING LANDSCAPE AREA REQUIREMENTS: (3.10g1. OF SITE PLAN REG.'S)
 FRONT PARKING LOT: 10% LANDSCAPE AREA REQUIRED
 3 TRACY LANE: 5 TRACY LANE: 7 TRACY LANE:
 REQUIRED: NO CHANGES REQUIRED: 1,105 SF REQUIRED: N/A
 PROVIDED: NO CHANGES PROVIDED: 1,261 SF PROVIDED: N/A
- SIDE PARKING LOT: 8% LANDSCAPE AREA
 3 TRACY LANE: 5 TRACY LANE: 7 TRACY LANE:
 REQUIRED: PARKING REDUCTION REQUIRED: 632 SF REQUIRED: N/A
 PROVIDED: PARKING REDUCTION PROVIDED: 961 SF PROVIDED: N/A
- REAR PARKING LOT: 5% LANDSCAPE AREA
 3 TRACY LANE: 5 TRACY LANE: 7 TRACY LANE:
 REQUIRED: N/A REQUIRED: N/A REQUIRED: 1,249 SF
 PROVIDED: NO CHANGES PROVIDED: N/A PROVIDED: *0 SF
 *WAVYER REQUIRED
3. INTERNAL PARKING LOT LANDSCAPING (TREES): (3.10g3. OF SITE PLAN REG.'S)
 1 TREE/15 PARKING SPACES.
 3 TRACY LANE: 5 TRACY LANE: (39 SP.) 7 TRACY LANE: (22 SP.)
 REQUIRED: NO CHANGES REQUIRED: **3 TREES REQUIRED: 1 TREES
 PROVIDED: NO CHANGES PROVIDED: 5 TREES EXIST. PROVIDED: **1 TREES
 **WAVYER REQUIRED FOR INTERIOR PLANTINGS. PLANTINGS LOCATED ALONG PERIMETER.
4. PARKING LOT PERIMETER LANDSCAPING (TREES): (3.10g5. OF SITE PLAN REG.'S)
 1 SHADE TREE/20' OF PARKING PERIMETER.
 3 TRACY LANE: 5 TRACY LANE: (0') 7 TRACY LANE: (204')
 REQUIRED: PARKING REDUCTION REQUIRED: N/A REQUIRED: 10 TREES
 PROVIDED: PARKING REDUCTION PROVIDED: N/A PROVIDED: **0 TREES
 **EXISTING TREES ALONG NORTH PARKING SHALL SATISFY REQUIREMENT.
5. SCREENING FROM PUBLIC RIGHT-OF-WAY: (3.10g6. OF SITE PLAN REG.'S)
 EXISTING AND PROPOSED DISPLAY AREAS TO SATISFY REQUIREMENT.
6. ACCORDING TO THE USDA PLANT HARDINESS ZONE MAP THE ANNUAL MINIMUM TEMPERATURE ZONES FOR SOUTHERN NH ARE BETWEEN ZONE 4 (-30 TO -20 DEGREES) AND ZONE 5 (-20 TO -10 DEGREES). THE PLANT MATERIALS SHOWN ON THIS PLAN HAVE A HARDINESS ZONE TO MEET THAT OF SOUTHERN NH.
7. AT TIME OF PLANTING:
 ALL TREES SHALL BE A MINIMUM OF 3" CALIPER.
 ALL ORNAMENTAL TREES SHALL BE A MINIMUM OF 2" CALIPER.
 ALL EVERGREEN TREES SHALL BE A MINIMUM OF 6' HIGH.
8. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE THROUGHOUT CONSTRUCTION OF PROTECTIVE TREE FENCING LOCATED 12" INCHES OFF THE THE DRIPLINE OF ALL TREES TO BE PROTECTED. PRIOR TO CONSTRUCTION THE CONTRACTOR IS REQUIRED TO HAVE ALL NO-CUT ZONES DELINEATED IN THE FIELD.
9. THE CONTRACTOR/APPLICANT IS RESPONSIBLE FOR REPLACEMENT OF "ANY TREES DESIGNATED TO REMAIN, WHICH HAVE BEEN DAMAGED, KILLED OR REMOVED AS A RESULT OF CONSTRUCTION ACTIVITIES". SEE TOWN OF LONDONDERRY "LANDSCAPE DESIGN STANDARDS" SECTION 3.10.D OF THE SITE PLAN REGULATIONS.
10. THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPE AREAS ONCE CONSTRUCTION IS COMPLETED AS OUTLINED IN THE TOWN OF LONDONDERRY, "LANDSCAPE DESIGN STANDARDS" SECTION 3.10.F OF THE SITE PLAN REGULATIONS.

LANDSCAPE LEGEND

| SYMBOL | QTY | BOTANICAL NAME COMMON NAME | SIZE | REMARKS |
|--------|-----|---|-------------------|---------|
| | 7 | ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE | 2 1/2" TO 3" CAL. | B&B |
| | 14 | FORSYTHIA 'LYNWOOD GOLD' LYNWOOD GOLD FORSYTHIA | 3' TO 4' | B&B |
| | 4 | SPIRAEA X B. 'ANTHONY WATERER' ANTHONY WATERER SPIRAEA | 18" TO 24" | CONT. |
| | 11 | SYRINGA VULGARIS COMMON PURPLE LILAC | 7 GAL. | CONT. |
| | 15 | PANICUM V. 'HEAVY METAL' HEAVY METAL SWITCH GRASS | 3 GAL. | CONT. |

LANDSCAPE LEGEND (WETLAND BUFFER RESTORATION AND BIO-RETENTION)

| SYMBOL | QTY | BOTANICAL NAME COMMON NAME | SIZE | REMARKS |
|--------|-----|--|----------------|---------|
| | 3 | AMELANCHER CANADENSIS SHADBLOW SERVICEBERRY | 5' TO 6' CLUMP | B&B |
| | 9 | CORNUS AMOMUM SILKY DOGWOOD | 3 GAL. | CONT. |
| | 10 | CORNUS SERICEA REDOSIER DOGWOOD | 3 GAL. | CONT. |
| | 6 | VIBURNUM ACERIFOLIUM MAPLE LEAF VIBURNUM | 3 GAL. | CONT. |
| | 15 | VIBURNUM DENTATUM ARROWWOOD VIBURNUM | 3' TO 4' | B&B |
| | 20 | PANICUM V. 'HEAVY METAL' HEAVY METAL SWITCH GRASS | 3 GAL. | CONT. |

TRANSITION SEED MIX COMPOSITION TABLE

| COMMON NAME | BOTANICAL NAME | % COMPOSITION |
|------------------------------|---------------------|---------------|
| REBEL II TALL FESCUE | FESTUCA ARUNDINACEA | 55% |
| NASSAU KENTUCKY BLUEGRASS | POA PRATENSIS | 15% |
| PALMER II PERENNIAL RYEGRASS | LOLIUM PERENNE | 10% |
| LASER POA TRIVIALIS | POA TRIVIALIS | 10% |
| STREAKER RED TOP | AGROSTIS ALBA | 05% |
| SWITCHGRASS | PANICUM VIRGATUM | 05% |

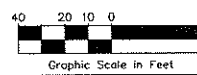
% COMPOSITION BY WEIGHT
 SEEDING RATE: 5 POUNDS/1000 SQUARE FEET. SEEDING RATE IS BASED UPON 100 PERCENT PURE LIVE SEED (PLS). ADJUST SEEDING RATE BASED UPON SEED SUPPLIER'S GERMINATION RATE AND PERCENT PURE LIVE SEED RATIOS.

TAX MAP 2 LOT 34-0, 34-4, 34-5 (LONDONDERRY)
 TAX MAP 101 LOT 14, 15 & 17 (HUDSON)
LANDSCAPE PLAN
REEDS FERRY SMALL BUILDINGS INC.
 3, 5, 7 TRACY LANE, HUDSON NH
 OWNED BY
SMT 7 TRACEY LANE LLC & SMT TRACEY LANE HOLDINGS LLC
 PREPARED FOR
REEDS FERRY SMALL BUILDINGS INC.
 SCALE: 1"=40'
 JUNE 22, 2018

APPROVED BY THE LONDONDERRY PLANNING BOARD
 ON _____
 CERTIFIED BY CHAIRMAN _____
 SECRETARY _____

PURSUANT TO THE REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREON EXPIRES ONE YEAR FROM THE DATE OF APPROVAL.
 APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING _____
 SIGNATURE _____ DATE _____
 SIGNATURE _____ DATE _____
 SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

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| REV | DATE | DESCRIPTION | SRP | JH | DR | CK |
|-----|-----------|----------------------|-----|----|----|----|
| 1 | 7/25/2018 | ISSUE FOR PERMITTING | | | | |

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17851.04
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 SHEET 8 OF 17

CONSTRUCTION GENERAL PERMIT

1. THE OWNER, IN CONJUNCTION WITH THE CONTRACTOR (OPERATORS), NEEDS TO OBTAIN A CONSTRUCTION GENERAL PERMIT (CGP) FOR LARGE CONSTRUCTION ACTIVITIES (FIVE OR MORE ACRES) OR SMALL CONSTRUCTION ACTIVITIES (GREATER THAN ONE ACRE BUT LESS THAN FIVE ACRES) FROM THE ENVIRONMENTAL PROTECTION AGENCY (EPA). AS PART OF THE CGP, A STORM WATER NOTICE OF INTENT (NOI) WILL NEED TO BE SUBMITTED TO THE EPA AT LEAST 7 DAYS PRIOR TO COMMENCING CONSTRUCTION. THE NOI WILL NEED TO BE SUBMITTED TO STORM WATER NOTICE OF INTENT (4203M), USEPA, 1200 PENNSYLVANIA AVE. NW, WASHINGTON, DC 20460.
2. THE CGP OUTLINES A SET OF PROVISIONS MANDATING THE OWNER AND CONTRACTOR TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER REGULATIONS, INCLUDING, BUT NOT LIMITED TO, STORM WATER POLLUTION PREVENTION PLANS (SWPPP), IMPLEMENTATION OF EROSION AND SEDIMENTATION CONTROLS, EQUIPMENT MAINTENANCE GUIDELINES, ETC. PLEASE CONTACT USEPA OFFICE OF WASTEWATER MANAGEMENT AT 202-564-9245 OR AT WWW.EPA.GOV/NPDES/STORMWATER FOR ADDITIONAL INFORMATION. IN ADDITION, ONE CAN CONTACT ABBY SWAINE OF NEW ENGLAND'S EPA REGION 1 AT 617-918-1841.

ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURE DUMPSTERS OR APPROVED ENCLOSURE AND REMOVED FROM THE SITE ON A WEEKLY BASIS. NO CONSTRUCTION WASTE SHALL BE BURIED ON SITE. PORTABLE TOILET SANITARY WASTE FACILITIES WILL BE PROVIDED DURING CONSTRUCTION AND MAINTAINED/DISPOSED OF ON A REGULAR BASIS IN ACCORDANCE WITH TOWN AND STATE REGULATIONS.

- A LIST OF CONSTRUCTION ITEMS AND OTHER PRODUCTS USED ON THIS PROJECT SHALL BE KEPT ON RECORD WITH THIS PLAN ON-SITE. ALL CHEMICALS, PETROLEUM PRODUCTS AND OTHER MATERIALS USED DURING CONSTRUCTION SHALL BE STORED IN A SECURE AREA, AND PRECAUTIONS USED TO PREVENT POTENTIAL SOURCES OF CONTAMINATION OR POLLUTION. ANY SPILL OF THESE TYPES OF SUBSTANCES SHALL BE CLEANED UP AND DISPOSED OF IN A LEGAL MANNER AS SPECIFIED BY STATE REGULATIONS AND THE MANUFACTURER. ANY SPILL IN AMOUNTS EQUAL TO OR EXCEEDING REPORTABLE QUANTITY AS DEFINED BY THE EPA SHALL TAKE THE FOLLOWING STEPS:
- NOTIFY THE NATIONAL RESPONSE CENTER IMMEDIATELY AT (888) 424-8802; IN WASHINGTON, D.C., CALL (202) 426-2675.
 - WITHIN 14 DAYS, SUBMIT A WRITTEN DESCRIPTION OF THE RELEASE TO THE EPA REGIONAL OFFICE PROVIDING THE DATE AND CIRCUMSTANCES OF THE RELEASE AND THE STEPS TO BE TAKEN TO PREVENT ANOTHER RELEASE.
 - MODIFY THE POLLUTION PREVENTION PLAN TO INCLUDE THE INFORMATION LISTED ABOVE.

7. **GOOD HOUSEKEEPING:** THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON-SITE DURING THE CONSTRUCTION PROJECT:
- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB;
 - ALL MATERIALS STORED ON-SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS UNDER A ROOF OR OTHER ENCLOSURE;
 - PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL;
 - SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER;
 - WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER;
 - MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED;
 - TRASH DUMPSTERS SHALL BE GASKETED OR HAVE A SECURE WATER-TIGHT LID AND BE PLACED AWAY FROM STORMWATER COLLECTION AND DRAINAGE;
 - THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON-SITE.
8. **HAZARDOUS PRODUCTS:** THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.
- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE;
 - ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION;
 - IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

9. **PRODUCT SPECIFIC PRACTICES:** THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON-SITE:
- PETROLEUM PRODUCTS:** ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS: FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED SHED, THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS: ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS: EXCESS CONCRETE SHALL BE USED IN AREAS DESIGNATED BY THE SITE CONTRACTOR. WASH WATER SHALL BE EXCESS CONCRETE SHALL BE USED IN AREAS DESIGNATED BY THE SITE CONTRACTOR. WASH WATER SHALL BE EXCESS CONCRETE SHALL BE USED IN AREAS DESIGNATED BY THE SITE CONTRACTOR. WASH WATER SHALL BE EXCESS CONCRETE SHALL BE USED IN AREAS DESIGNATED BY THE SITE CONTRACTOR.

10. **SPILL CONTROL PRACTICES:** IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
- MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
 - MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO: BROOMS, DUST PANS, HOPS, RAGS, GLOVES, GOGGLES, RIFTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
 - ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
 - THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
 - SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF SIZE.
 - THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, HOW IT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
 - THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. THEY WILL DESIGNATE AT LEAST THREE OTHER SITE PERSONNEL WHO WILL EACH RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ON-SITE.

11. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN RECORDS OF CONSTRUCTION ACTIVITIES, INCLUDING DATES OF MAJOR GRADING ACTIVITIES, DATES WHEN CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED ON A PORTION OF THE SITE, DATES WHEN WORK IS COMPLETED ON A PORTION OF THE SITE, AND DATES WHEN STABILIZATION MEASURES ARE INITIATED ON-SITE.
12. THE CONTRACTOR SHALL PERFORM INSPECTIONS OR HAVE A CONSULTING ENGINEER PERFORM INSPECTIONS EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER A STORM OF 0.5 INCH OR GREATER. INSPECTIONS REPORTS ARE TO BE KEPT ON FILE AT THE SITE WITH THIS PLAN. MAINTENANCE OR MODIFICATION SHALL BE IMPLEMENTED AND ADDED TO THE PLAN AS RECOMMENDED BY THE QUALIFIED INSPECTOR.
13. THE TOWN OF LONDONDERRY AND HUDSON RESERVE THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS AFFORDABLE.

NOTES

1. TOTAL SITE AREA: 9.7 AC.
TOTAL AREA OF DISTURBANCE: 2.9 AC.
2. SOILS SHOWN ARE FROM WEB SOILS SURVEY OF US DEPARTMENT OF AGRICULTURE.
3. STORM WATER DRAINAGE SYSTEM IS SHOWN ON THE PLAN. SEE GRADING & DRAINAGE PLAN FOR RIM, INVERT, PIPE LENGTH AND SLOPE INFORMATION.
POST-CONSTRUCTION RUNOFF COEFFICIENT: C=0.7
IMPERVIOUS SURFACE AREA: 44 AC.
4. **STABILIZATION PRACTICES FOR EROSION AND SEDIMENTATION CONTROLS:**
TEMPORARY STABILIZATION - TOPSOIL STOCKPILES AND DISTURBED AREAS OF THE CONSTRUCTION SITE THAT WILL NOT BE REDISTURBED FOR 14 DAYS OR MORE MUST BE STABILIZED BY THE 14TH DAY AFTER THE LAST DISTURBANCE. THE TEMPORARY SEED SHALL BE ANNUAL RYE APPLIED AT THE RATE OF 1.1 LBS PER 1,000 SQUARE FEET. PRIOR TO SEEDING, A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 1.5 TONS PER ACRE OF HAY MULCH. MULCH TO BE ANCHORED IN PLACE WHERE NECESSARY. AREAS OF THE SITE THAT WILL BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING GYDEXTILES AND A STONE SUB-BASE UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED. CALCIUM CHLORIDE SHALL BE USED FOR DUST CONTROL IF NEEDED.
PERMANENT STABILIZATION - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 3 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE PERMANENT SEED MIX SHALL CONSIST OF 0.45 LBS/1,000 S.F. TALL FESCUE, 0.20 LBS/1,000 S.F. CREEPING RED FESCUE, AND 0.20 LBS/1,000 S.F. BIRDFOOT TREFOIL. PRIOR TO SEEDING, A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 1.5 TONS PER ACRE OF HAY MULCH. MULCH TO BE ANCHORED IN PLACE WHERE NECESSARY.
5. **STRUCTURAL PRACTICES FOR EROSION AND SEDIMENTATION CONTROL:**
SILT SOCK - WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE DISTURBED AREAS AND WILL DELINEATE THE LIMITS OF WORK FOR THE PROPOSED CONSTRUCTION. THE SILT SOCK WILL BE INSTALLED BY OTHERS. POSTS SHALL BE USED WITH AT LEAST 8 INCHES OF THE POST BURIED BELOW THE GROUND SURFACE TO PREVENT THE SILT SOCK FROM FORMING GAPS NEAR THE GROUND SURFACE. RUNOFF WILL FLOW THROUGH THE OPENINGS IN THE SILT SOCK WHILE RETAINING THE SEDIMENT WITHIN THE CONSTRUCTION AREA.
SILT FENCE - WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE DISTURBED AREAS AND WILL DELINEATE THE LIMITS OF WORK FOR THE PROPOSED CONSTRUCTION. THE SILT FENCE WILL BE INSTALLED BY STRETCHING REINFORCED FILTER FABRIC BETWEEN POSTS WITH AT LEAST 8 INCHES OF THE FABRIC BURIED BELOW THE GROUND SURFACE TO PREVENT GAPS FROM FORMING NEAR THE GROUND SURFACE. RUNOFF WILL FLOW THROUGH THE OPENINGS IN THE FILTER FABRIC WHILE RETAINING THE SEDIMENT WITHIN THE CONSTRUCTION AREA.
STABILIZED CONSTRUCTION ENTRANCE - WILL BE INSTALLED IN ACCORDANCE WITH THE DETAIL AT THE ENTRANCE TO THE CONSTRUCTION SITE TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS OFF THE SITE. THE STABILIZED ENTRANCE WILL BE 20 FEET WIDE AND FLARE AT THE ENTRANCE TO THE PAVED ROAD AND HAVE A DEPTH OF 12 INCHES OF STONE. THE STABILIZED ENTRANCE SHALL BE MAINTAINED UNTIL THE REMAINDER OF THE CONSTRUCTION SITE HAS BEEN FULLY STABILIZED. THE PAVED STREET ADJACENT TO THE SITE SHALL BE SWEEP ON A WEEKLY BASIS TO REMOVE EXCESS MUD AND DIRT FROM BEING TRACKED FROM THE SITE. TRUCKS HAULING MATERIAL TO AND/OR FROM THE SITE SHALL BE COVERED WITH A TARP/AULIN.
CATCH BASINS - WILL BE CLEANED ON AN ANNUAL BASIS TO REMOVE ALL SEDIMENTS FROM THE CATCH BASIN SUMPS.
CATCH BASIN PROTECTION - WILL BE INSTALLED AT ALL CATCH BASINS WITHIN THE CONSTRUCTION AREA. FILTER FABRIC WILL BE INSTALLED AROUND THE GRATES OF CATCH BASINS THAT ARE LOCATED IN THE TRAVEL WAY AND STONE/FILTER FABRIC PROTECTION WILL BE INSTALLED AT THE CATCH BASINS FOUND WITHIN THE PARKING AREA AND GRASS.
BLANKET SLOPE PROTECTION - SHALL BE INSTALLED ON ALL 2:1 SLOPES OR STEEPER ON SITE. ANCHOR THE TOP OF THE BLANKET BY ANCHORING THE BLANKET IN A 6" DEEP TRENCH, BACKFILL AND COMPACT TRENCH AFTER STAPLING. ROLL THE BLANKET IN THE DIRECTION OF STORM WATER FLOW. WHERE 2 OR MORE STRIPS OF BLANKET ARE REQUIRED, A MINIMUM OF 4" OF OVERLAP SHALL BE PROVIDED.
STONE CHECK DAMS - WILL BE INSTALLED BY EXISTING AND PROPOSED GRASS SWALES TO REDUCE THE VELOCITY OF CONCENTRATED STORM WATER FLOWS AND PREVENT EROSION OF THE SWALE.

101-11 VAL-DUMR LLC
9 DOWER ROAD
CHECHESTER, NH 03281-6515
B. 9144 P. 2494
(BUSINESS)

101-10 TRIFF 1 LLC
257 SHEEP DAVIS ROAD
CONCORD, NH 03301
B. 8111 P. 926
(BUSINESS)

101-13 TRACY LANE CONDOMINIUM ASSOCIATION
(BUSINESS)

101-12 VAL-DUMR LLC
9 DOWER ROAD
CHECHESTER, NH 03281-6515
B. 9144 P. 2494
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(BUSINESS)

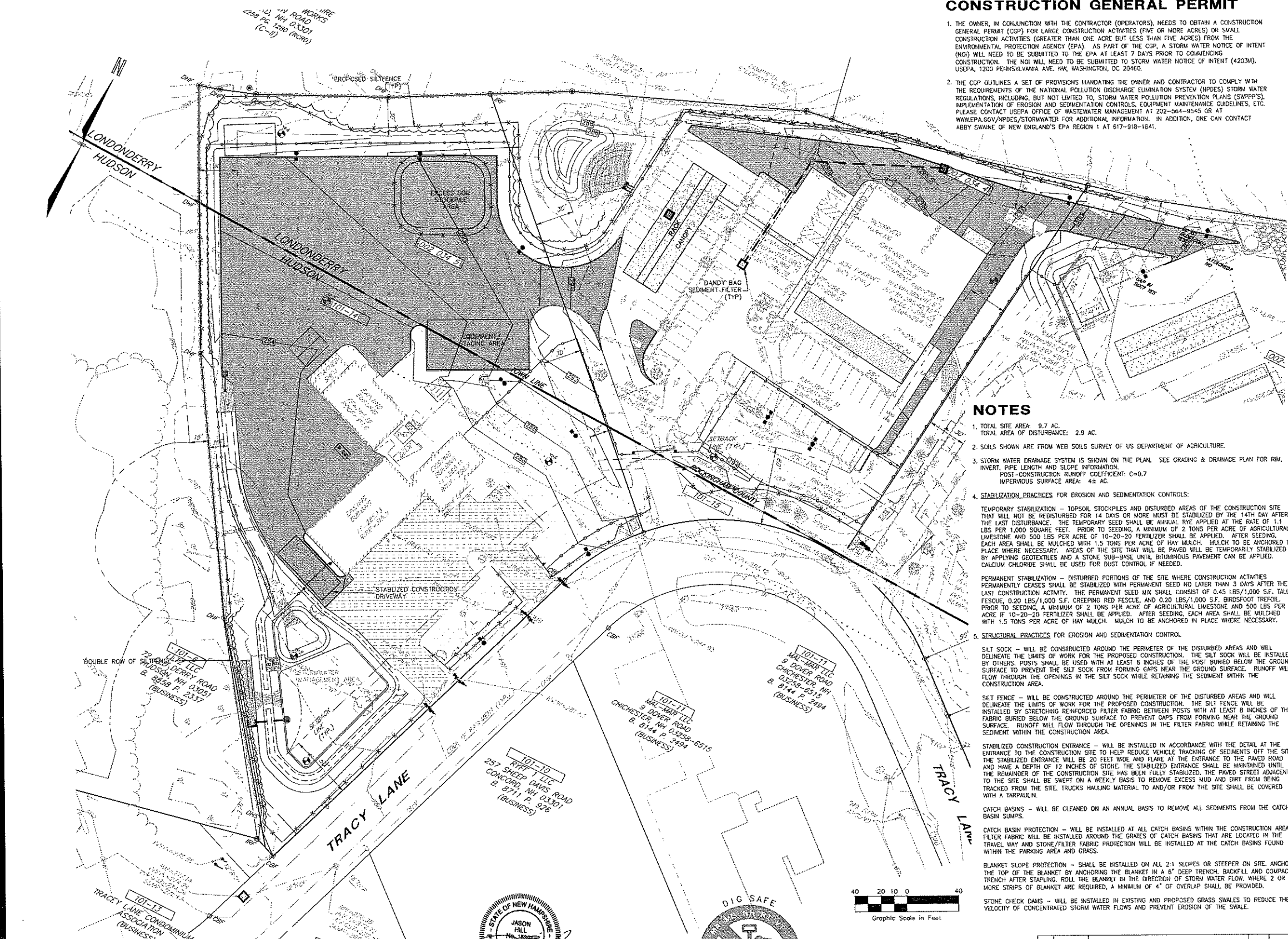
Graphic Scale in Feet

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| REV | DATE | DESCRIPTION | SRP | JH |
|-----|-----------|----------------------|-----|----|
| 1 | 7/25/2018 | ISSUE FOR PERMITTING | | |



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____ DATE: _____
SIGNATURE: _____ DATE: _____
SIGNATURE: _____ DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE, AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



TAX MAP 2 LOT 34-0, 34-4, 34-5 (LONDONDERRY)
TAX MAP 101 LOT 14, 15 & 17 (HUDSON)

STORMWATER MANAGEMENT PLAN
REEDS FERRY SMALL BUILDINGS INC.
3, 5, 7 TRACY LANE, HUDSON NH
OWNED BY
SMT 7 TRACEY LANE LLC & SMT TRACEY LANE HOLDINGS LLC
PREPARED FOR
REEDS FERRY SMALL BUILDINGS INC.
SCALE: 1"=40'
JUNE 22, 2018

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Structural Engineers Bedford, NH 03110
Traffic Engineers Phone (603) 472-4488
Land Surveyors Fax (603) 472-9747
Landscape Architects
Scientists www.tfmoran.com

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CK RED CAD/LE 17851.04 SITE SHEET 9 OF 17

CONSTRUCTION SEQUENCE NOTES

- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- CUT AND CLEAR TREES WITHIN AREA OF DISTURBANCE UNLESS OTHERWISE NOTED.
- CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES PRIOR TO ANY EARTH MOVING OPERATION.
- DEMOLISH EXISTING STRUCTURES.
- ROUGH GRADE SITE OR PHASED WORK AREA. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING. ALL DISTURBED AREAS SHALL BE STABILIZED NO LATER THAN 72 HOURS AFTER CONSTRUCTION ACTIVITY CEASES. IF EARTHWORK TEMPORARILY CEASES ON A PORTION OF OR THE ENTIRE SITE, AND WILL NOT RESUME WITHIN 21 DAYS, THE AREA SHALL BE STABILIZED.
AN AREA SHALL BE CONSIDERED STABILIZED IF:
A) BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
B) A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
C) A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED, OR
D) EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- CONSTRUCT CULVERTS, DETENTION BASINS AND TREATMENT SWALES. PLACE HEADWALLS, RIP-RAP AND OTHER DRAINAGE FACILITIES ACCORDING TO PLAN. THE CONTRACTOR SHALL STABILIZE ALL DITCHES, SWALES, AND PONDS/BASINS PRIOR TO DIRECTING FLOW TO THEM.
- INSTALL ALL UNDERGROUND UTILITIES.
- CONSTRUCT BUILDINGS.
- CONSTRUCT PARKING AND FINISH GRADE SITE ACCORDING TO PLAN. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL MEASURES PERIODICALLY AND IMMEDIATELY AFTER STORM EVENTS.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE ALL AREAS ARE STABILIZED WITH A SUITABLE STAND OF GRASS, PAVEMENT OR COMPACTED GRAVELS.
- REFER TO THE STORM WATER MANAGEMENT PLAN FOR EROSION CONTROL MEASURES AND SPECIFIC INFORMATION.

GENERAL NOTES

- ALL IN PAVEMENT MANHOLES SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
- WHERE DEPTH OF COVER IS LESS THAN 3 FEET CLASS V REINFORCED CONCRETE PIPE SHALL BE USED.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE NHDES STANDARDS. THESE DETAILS SERVE AS A GUIDE ONLY.
- REFER TO THE TOWN STANDARD DETAILS, LATEST REVISION, FOR ADDITIONAL INFORMATION AND CRITERIA.
- THE CONTRACTOR SHALL STABILIZE ALL DITCHES, SWALES, AND PONDS PRIOR TO DIRECTING FLOW TO THEM.
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.

WINTER CONSTRUCTION

IN ADDITION TO THE OTHER NOTES CONTAINED ON THIS PLAN, THE FOLLOWING MUST BE IMPLEMENTED:

- WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED AS SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- AN AREA WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIER.
- TEMPORARY MULCH MUST BE APPLIED WITHIN 7 DAYS OF SOIL EXPOSURE OR PRIOR TO ANY STORM EVENT, BUT AFTER EVERY WORKDAY IN AREAS WITHIN 100 FEET FROM A PROTECTED NATURAL RESOURCE.
- AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE MUST BE PERMANENTLY MULCHED THE SAME DAY.
- IN THE EVENT OF A SNOWFALL GREATER THAN 1 INCH (FRESH OR CUMULATIVE), THE SNOW SHALL BE REMOVED FROM THE AREAS DUE TO BE SEEDED AND MULCHED.
- LOAM SHALL BE FREE OF FROZEN CLUMPS BEFORE IT IS APPLIED.
- A DITCH THAT WILL BE CONSTRUCTED DURING THE WINTER MUST BE STABILIZED WITH RIPRAP.

OVERWINTER STABILIZATION

- PERMANENT STABILIZATION CONSISTS OF AT LEAST 85% VEGETATION, PAVEMENT/GRAVEL BASE OR RIPRAP.
- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING. ELSEWHERE, THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
- DO NOT EXPOSE SLOPES OR LEAVE SLOPES EXPOSED OVER THE WINTER OR FOR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS FULLY PROTECTED WITH MULCH.
- APPLY HAY MULCH AT TWICE THE STANDARD RATE (150 LBS. PER 1,000 SF). THE MULCH MUST BE THICK ENOUGH SUCH THAT THE GROUND SURFACE WILL NOT BE VISIBLE AND MUST BE ANCHORED.
- USE MULCH AND MULCH NETTING OR AN EROSION CONTROL MULCH BLANKET OR MIX FOR ALL SLOPES GREATER THAN 8% OR OTHER AREAS EXPOSED TO DIRECT WIND.
- INSTALL AN EROSION CONTROL BLANKET IN ALL DRAINAGE WAYS (BOTTOM AND SIDES) WITH A SLOPE GREATER THAN 3%.
- SEE THE VEGETATION MEASURES FOR MORE INFORMATION ON SEEDING DATES AND TYPES.

EROSION CONTROL NOTES

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED:

- INSTALLATION OF SILTATION FENCES AND OTHER EROSION CONTROL MEASURES SHALL BE COMPLETED PRIOR TO THE START OF SITE WORK IN ANY GIVEN AREA. PREFABRICATED SILTATION FENCES SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- SILTATION FENCES AND OTHER EROSION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL SLOPES HAVE A VEGETATIVE COVER OF GREATER THAN 85%. EROSION CONTROL MEASURES SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EVERY RAINFALL.
- EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
- THE AREA OF LAND EXPOSED AND THE TIME OF EXPOSURE SHALL BE MINIMIZED. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
- ALL DISTURBED AREAS SHALL HAVE A MINIMUM OF 4" OF LOAM. ACCEPTABLE SEED MIXES ARE AS FOLLOWS:

TEMPORARY LAWN MIX (MIN. 200 LBS./ACRE):
 33% CREEPING RED FESCUE (MIN. 66 LBS./ACRE)
 42% PERENNIAL RYEGRASS (MIN. 84 LBS./ACRE)
 21% KENTUCKY BLUEGRASS (MIN. 42 LBS./ACRE)
 4% REDTOP (MIN. 8 LBS./ACRE)

TEMPORARY LAWN MIX (MIN. 47 LBS./ACRE):
 100% ANNUAL RYE

WILDER LOWER SLOPE (NHDOT TYPE 45) MIX 3:1 OR GREATER SLOPES (MIN. 160 LBS./ACRE):

38% CREEPING RED FESCUE (MIN. 60 LBS./ACRE)
 32% PERENNIAL RYEGRASS (MIN. 51 LBS./ACRE)
 5% REDTOP (MIN. 8 LBS./ACRE)
 5% ALSIKE CLOVER (MIN. 8 LBS./ACRE)
 5% BIRDSFOOT TREFLOID (MIN. 5 LBS./ACRE)
 3% LANCE-LEAF COREOPSIS (MIN. 3 LBS./ACRE)
 3% OXEYE Daisy (MIN. 3 LBS./ACRE)
 3% BUTTERFLY WEED (MIN. 3 LBS./ACRE)
 3% BLACKEYED SUSAN (MIN. 3 LBS./ACRE)
 3% WILD LUPINE (MIN. 3 LBS./ACRE)

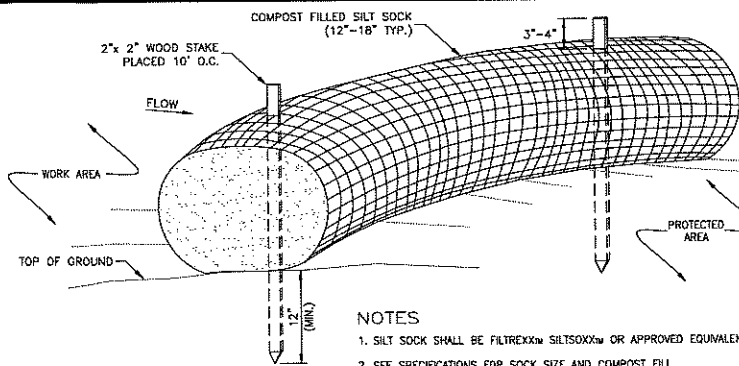
GENERAL SLOPE (NHDOT TYPE 44) MIX 3:1 OR GREATER SLOPES (MIN. 160 LBS./ACRE):

44% CREEPING RED FESCUE (MIN. 70 LBS./ACRE)
 38% PERENNIAL RYEGRASS (MIN. 60 LBS./ACRE)
 6% REDTOP (MIN. 10 LBS./ACRE)
 6% ALSIKE CLOVER (MIN. 10 LBS./ACRE)
 6% BIRDSFOOT TREFLOID (MIN. 10 LBS./ACRE)

- PLACING LOAM ON SITE
 - ALL SUBGRADE ELEVATIONS SHOULD BE UNIFORMLY GRADED TO RECEIVE LOAM AND SHALL BE INSPECTED AND APPROVED BY THE GENERAL CONTRACTOR PRIOR TO PLACEMENT OF LOAM.
 - PLACE LOAM TO FORM A MINIMUM DEPTH OF 4" WHEN ROLLED, UNLESS OTHERWISE INDICATED.
 - ALL DEPRESSIONS EXPOSED DURING THE ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM.
- SEED BED PREPARATION
 - AFTER FINISH GRADING AND JUST BEFORE SEEDING, THE AREAS TO BE SEEDBED SHALL BE LOOSENEED TO PROVIDE A ROUGH, FIRM BUT FINELY PULVERIZED SEEDBED. THE INTENT IS A TEXTURE CAPABLE OF RETAINING WATER, SEED AND FERTILIZER WHILE REMAINING STABLE AND ALLOWING SEED TIME TO GERMINATE. SEED SHALL BE APPLIED TO THE CONDITIONED SEEDBED NOT MORE THAN 48 HOURS AFTER THE SEEDBED HAS BEEN PREPARED.
- LIME AND FERTILIZER SHALL BE INCORPORATED INTO THE SOIL PRIOR TO OR AT THE TIME OF AT THE TIME OF SEEDING. A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS. PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. SEEDING PRACTICES SHALL COMPLY WITH LOCAL USDA SOIL CONSERVATION SERVICES RECOMMENDATIONS.
- HAY MULCH OR JUTE MATTING SHALL BE USED WHERE INDICATED ON THE PLANS. A MINIMUM OF 1.5 TONS OF MULCH PER ACRE SHALL BE APPLIED. MULCH SHALL BE ANCHORED IN PLACE WHERE NECESSARY. JUTE MATTING SHALL BE LAID IN THE DIRECTION OF RUNOFF FLOW AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 15 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING WINTER MONTHS.
- WATER SHALL BE USED FOR DUST CONTROL IN APPROPRIATE AREAS.

STOCKPILE NOTES

- LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CONCENTRATED FLOWS OF STORMWATER, DRAINAGE COURSES AND INLETS.
- PROTECT ALL STOCKPILES FROM STORMWATER RUN-ON USING TEMPORARY PERIMETER MEASURES SUCH AS DIVERSIONS, BERMS, SANDBAGS OR OTHER APPROVED PRACTICES.
- STOCKPILES SHOULD BE SURROUNDED BY SEDIMENT BARRIERS, SUCH AS SILT FENCE OR SILT SOCK, TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.
- IMPLEMENT WIND EROSION CONTROL PRACTICES AS APPROPRIATE ON ALL STOCKPILED MATERIAL.
- PLACE BAGGED MATERIALS ON PALLETS AND UNDER COVER.
- INACTIVE STOCKPILES
 - INACTIVE SOIL STOCKPILES SHOULD BE COVERED WITH ANCHORED TARPS OR PROTECTED WITH SOIL STABILIZATION MEASURES (TEMPORARY SEED AND MULCH OR OTHER TEMPORARY PRACTICE) AND TEMPORARY PERIMETER SEDIMENT BARRIERS AT ALL TIMES.
 - INACTIVE STOCKPILES OF CONCRETE RUBBLE, ASPHALT CONCRETE RUBBLE, AGGREGATE MATERIALS AND OTHER SIMILAR MATERIALS SHOULD BE PROTECTED WITH TEMPORARY SEDIMENT PERIMETER BARRIERS AT ALL TIMES. IF THE MATERIALS ARE A SOURCE OF DUST, THEY SHOULD ALSO BE COVERED.
- ACTIVE STOCKPILES
 - ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY LINEAR SEDIMENT BARRIERS PRIOR TO THE ONSET OF PRECIPITATION. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
 - WHEN A STORM EVENT IS PREDICTED, STOCKPILES SHOULD BE PROTECTED WITH AN ANCHORED PROTECTIVE COVERING.

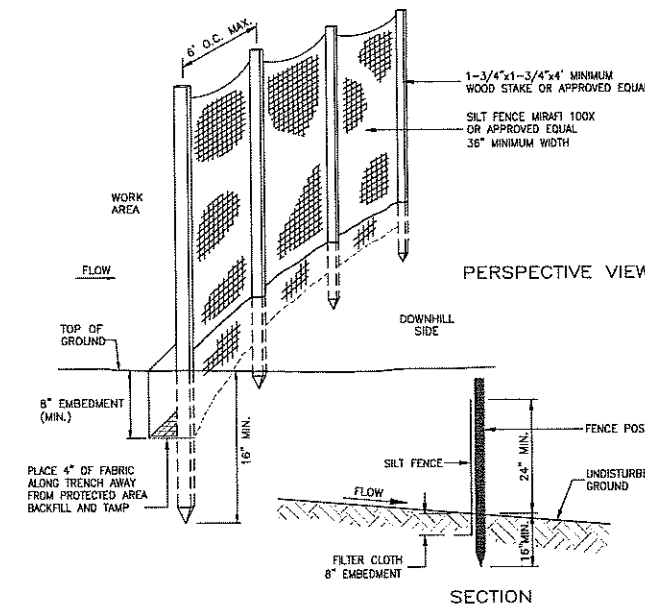


NOTES

- SILT SOCK SHALL BE FILTREXXSM SILT SOCKSM OR APPROVED EQUIVALENT.
- SEE SPECIFICATIONS FOR SOCK SIZE AND COMPOST FILL REQUIREMENTS.
- SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED.
- COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.

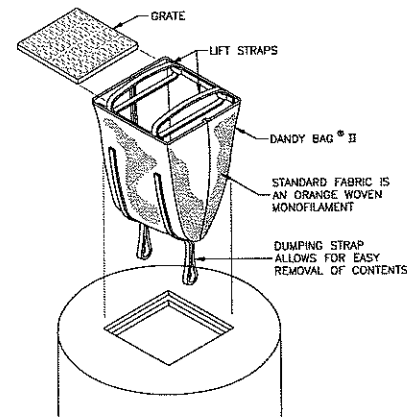
SILT SOCK

NOT TO SCALE



SILT FENCE

NOT TO SCALE



INSTALLATION

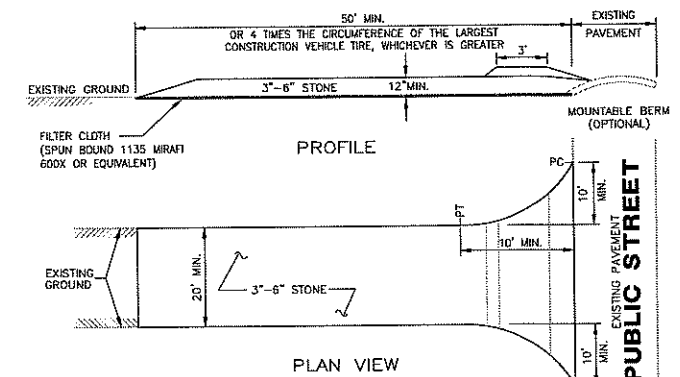
INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS; PLACE ABSORBENT FILL IN UNIT. STAND THE GRATE ON ENDS. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY BAG II SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

MAINTENANCE

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY BAG II. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS; REPLACE ABSORBENT WHEN NEAR SATURATION.

DANDY BAG® II

NOT TO SCALE



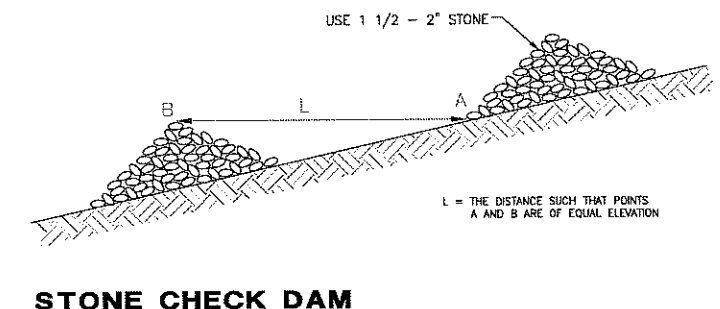
NOTES

- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
- WATER - ALL SURFACE WATER FLOWING OR ORIENTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE. UNDER CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

USDA - SCS STABILIZED CONSTRUCTION ENTRANCE

SEE PLAN FOR PROPOSED LOCATION

NOT TO SCALE



STONE CHECK DAM

NOT TO SCALE

PURSUANT TO THE REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

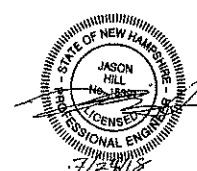
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING _____ DATE _____

SIGNATURE _____

SIGNATURE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



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| REV. | DATE | DESCRIPTION | SRP | JH |
|------|-----------|----------------------|-----|----|
| 1 | 7/25/2018 | ISSUE FOR PERMITTING | | |

TAX MAP 2 LOT 34-0, 34-4, 34-5 (LONDONDERRY)
 TAX MAP 101 LOT 14, 15 & 17 (HUDSON)

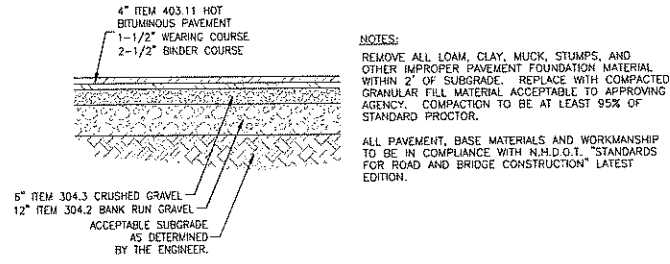
DETAIL SHEET

REEDS FERRY SMALL BUILDINGS INC.
 3, 5, 7 TRACY LANE, HUDSON NH

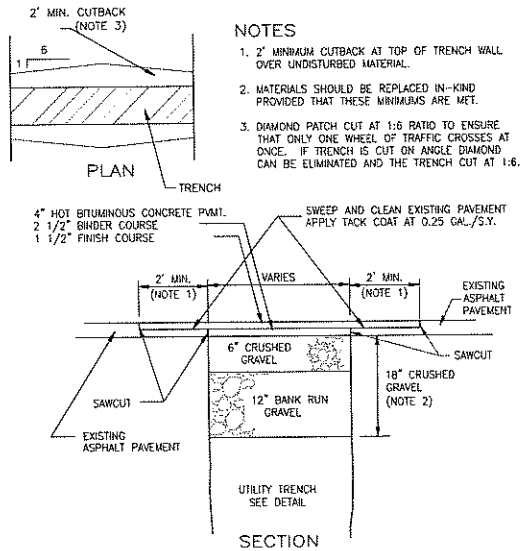
OWNED BY
SMT 7 TRACEY LANE LLC & SMT TRACEY LANE HOLDINGS LLC
 PREPARED FOR
REEDS FERRY SMALL BUILDINGS INC.

SCALE: AS NOTED **JUNE 22, 2018**

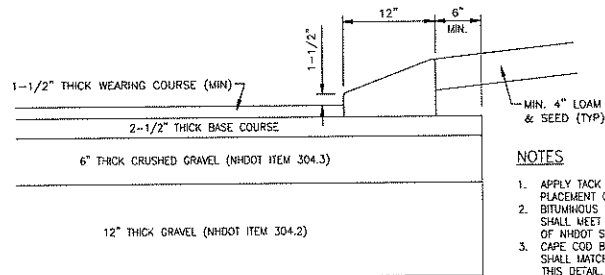
| | | | | | |
|----------|----|-----|---------|------------------|---|
| 17851.04 | DR | JH | FB | | 48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com |
| | CK | RED | CAD/FEB | 17851.04 COV-DET | SHEET 10 OF 17 |



TYPICAL PAVEMENT SECTION
NOT TO SCALE



PAVEMENT TRENCH PATCH
FLUSH NOT TO SCALE



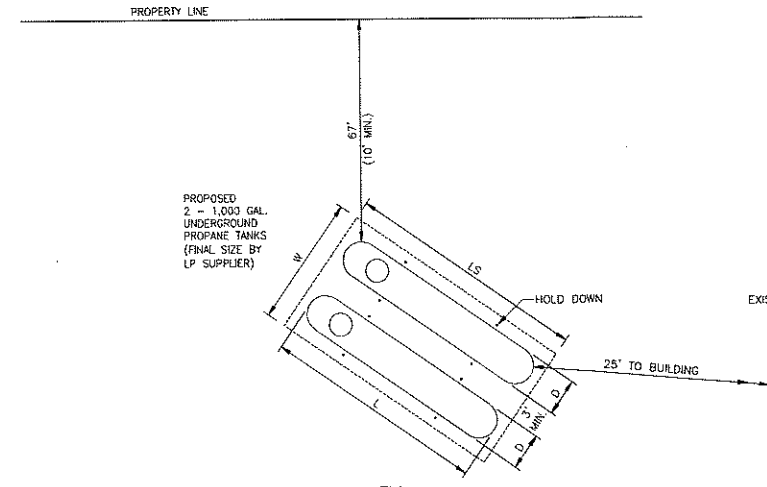
CAPE COD BERM
TOWN OF LONDONDERRY NOT TO SCALE

PURSUANT TO THE REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

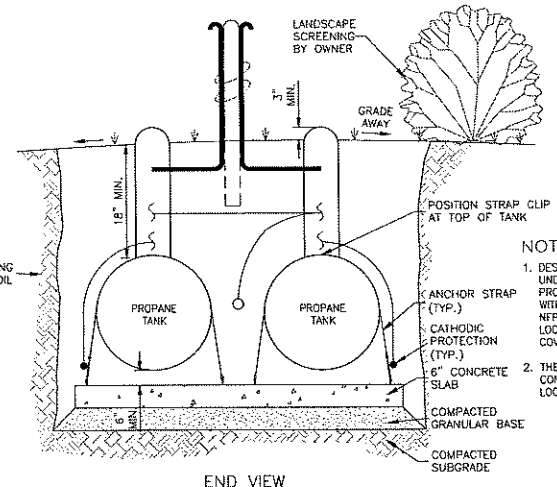
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING _____ DATE _____
SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



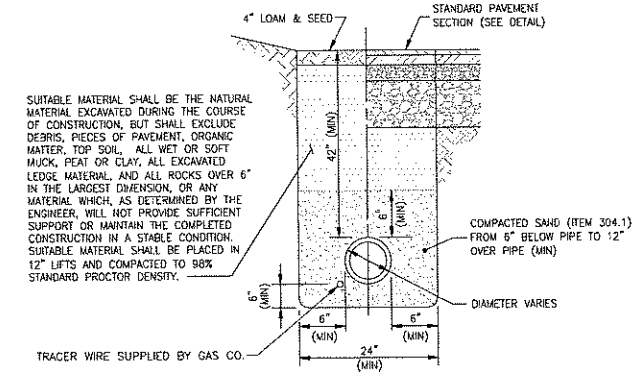
PROPANE TANK INSTALLATION



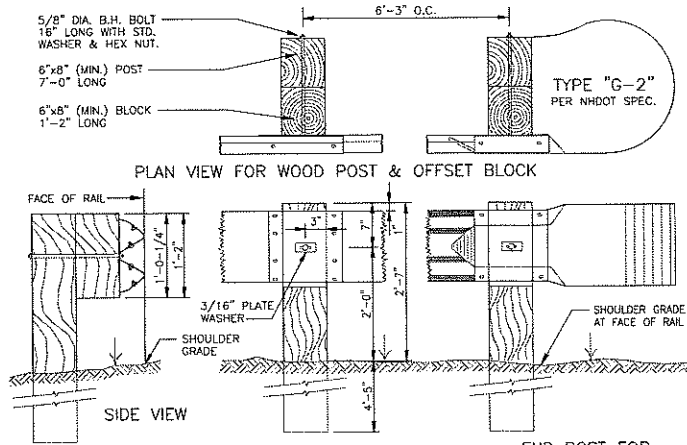
NOTES

- DESIGN & INSTALLATION OF UNDERGROUND TANKS SHALL BE BY PROPANE SUPPLIER IN ACCORDANCE WITH THE PROVISIONS OF NFPA 58, NFPA 54, ALL APPLICABLE STATE AND LOCAL CODES AND REGULATIONS COVERING THESE INSTALLATIONS.
- THE INSTALLER SHALL VERIFY SOIL CONDITIONS OF UNDERGROUND TANK LOCATIONS PRIOR TO INSTALLATION.

NOT TO SCALE



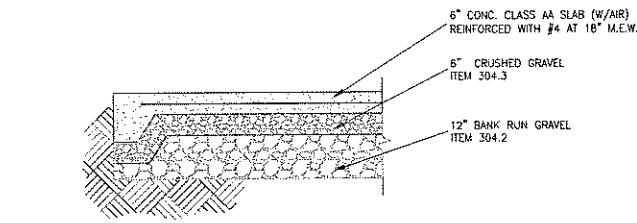
GAS MAIN TRENCH
NOT TO SCALE



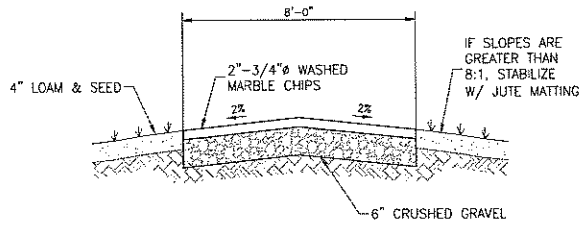
GENERAL NOTES

- POSTS AND OFFSET BLOCKS TO BE PRESSURE TREATED WOOD.
- ANCHORS, PLATES AND ALL FITTINGS TO BE GALVANIZED.
- ALL DIMENSIONS SUBJECT TO MANUFACTURERS TOLERANCES.
- RAIL PANELS AND END SECTIONS TO BE 12 GAUGE STEEL.
- ALL PARTS SHALL CONFORM TO STANDARD NO. GR-1 OF THE N.H.D.O.T. STANDARD PLANS FOR ROAD CONSTRUCTION.
- WHEN GUARDRAIL IS CONSTRUCTED AT UP TO FOUR FEET FROM EDGE OF PAVEMENT, THE GUARD RAIL HEIGHT WILL BE SET FROM THE GRADE AT THE EDGE OF PAVEMENT. WHEN THE GUARDRAIL IS CONSTRUCTED MORE THAN FOUR FEET FROM THE EDGE OF PAVEMENT, THE GUARDRAIL WILL BE SET FROM THE GRADE AT FACE OF RAIL.

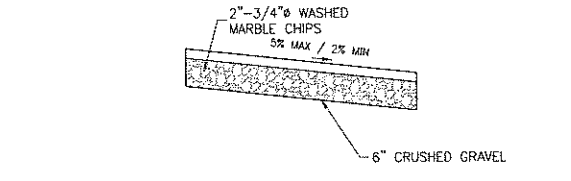
'W' BEAM METAL GUARDRAIL
NOT TO SCALE



CONCRETE SLAB DETAIL
DUMPSTER PAD & LP TANK PAD NOT TO SCALE



CRUSHED STONE PATH
NOT TO SCALE



TYPICAL SECTION: DISPLAY AREA
NOT TO SCALE



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| 1 | 7/25/2018 | ISSUE FOR PERMITTING | SRP | JH |

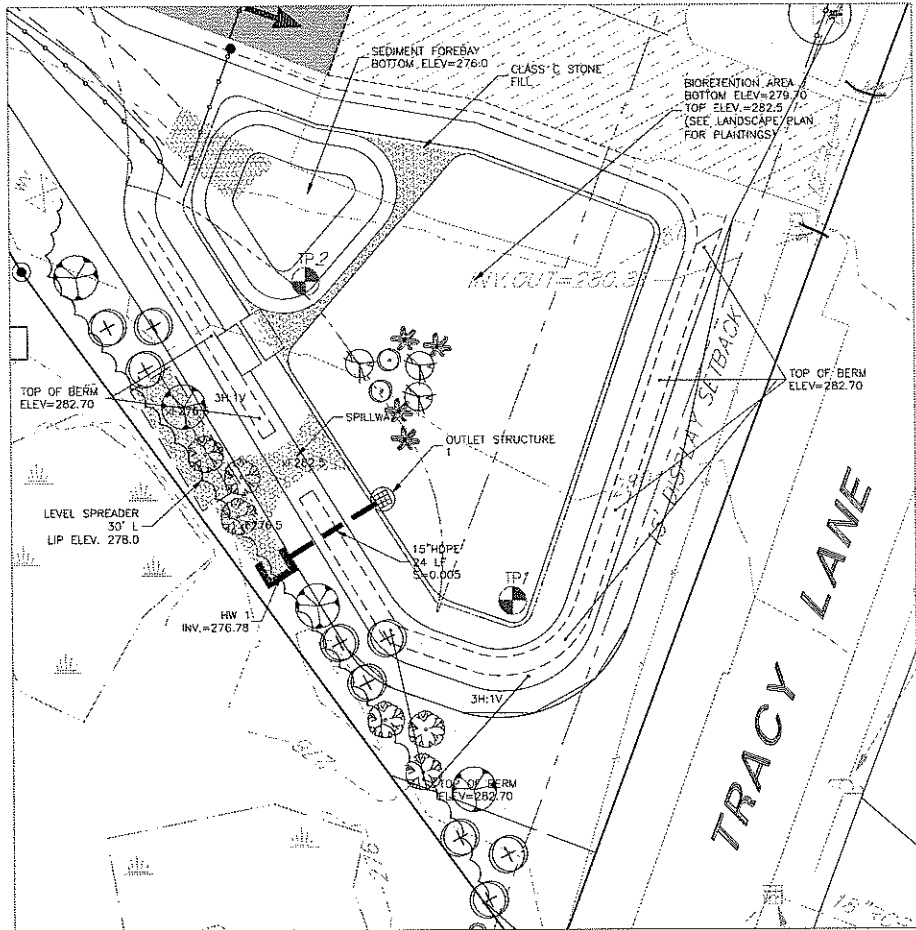
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DETAIL SHEET
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3, 5, 7 TRACY LANE, HUDSON NH
OWNED BY
SMT 7 TRACEY LANE LLC & SMT TRACEY LANE HOLDINGS LLC
PREPARED FOR
REEDS FERRY SMALL BUILDINGS INC.
SCALE: AS NOTED **JUNE 22, 2018**

TFM Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists

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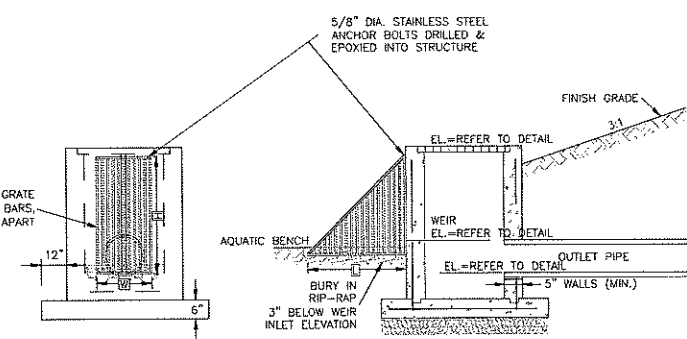
17851.04 DR JH FB CK RED CADFILE 17851.04 COV-DET SHEET 11 OF 17



BIORETENTION AREA 1

1"=20'

| TRASH RACK LOCATION | WIDTH (W) | HEIGHT (H) | LENGTH (L) |
|-----------------------------|-----------|------------|------------|
| BIO RETENTION AREA 1 (OS 1) | 2.5' | 2.5' | 2.5' |



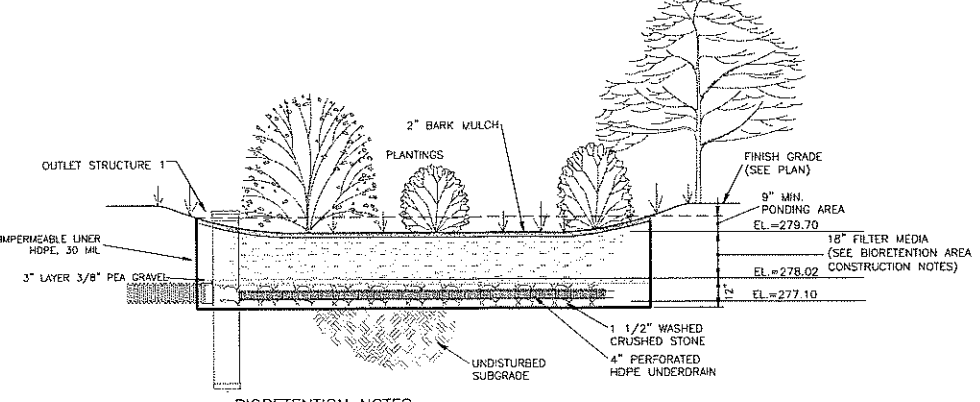
ELEVATION

NOTE: FOR WEIR ELEVATIONS SEE OUTLET STRUCTURE 1 DETAIL.

FABRICATED TRASH RACK

AT OUTLET STRUCTURE

NOT TO SCALE

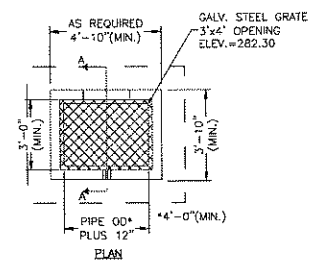


BIORETENTION NOTES

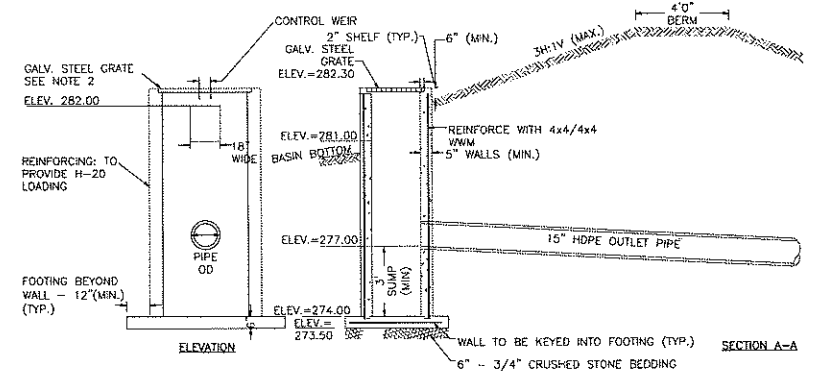
- DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

BIORETENTION AREA SECTION

NOT TO SCALE



PLAN



OUTLET STRUCTURE 1

NOTES:

1. ALL CEMENT CONCRETE TO BE 4000 PSI (NHDOT - CLASS AA) WITH AIR ENTRAINMENT.
2. GALVANIZED STEEL GRATE SHALL BE BOLTED TO TOP OF STRUCTURE.
4. ALL OPENINGS CAST AS REQUIRED.
5. PRECAST REINFORCED CONCRETE STRUCTURE TO MEET ASTM C-47B DESIGNATION AND H-20 LOADING

N.T.S.

BIORETENTION AREA CONSTRUCTION

1. CLEAR AND GRUB THE AREA WHERE THE BIORETENTION AREAS ARE TO BE LOCATED. STOCKPILE LOAM FOR REUSE ON SLOPES.
2. GRADE BIORETENTION AREAS ACCORDING TO PLAN AND DETAILS. SIDE SLOPES SHALL HAVE 4" LOAM AND SEED. BOTTOM OF BIORETENTION AREAS TO BE CONSTRUCTED WITH MULCH, MANUFACTURED SOIL, PEA STONE AND CRUSHED STONE (SEE BIORETENTION AREA DETAIL). SPECIFIC PLANTINGS SHALL BE FIELD LOCATED BY LANDSCAPE ARCHITECT AT TIME OF INSTALLATION.
3. BIORETENTION SOIL MIXTURE SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES EXCLUDING MULCH. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION AREA THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVIDE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATION.
4. TOPSOIL/LOAM SHALL CONSIST OF LOOSE FRIABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. LOAM SHALL BE FREE FROM STONES, LUMPS, STUMPS, OR SIMILAR OBJECTS LARGER THAN ONE INCH (1") IN GREATEST DIAMETER, SUBSOIL, ROOTS, AND WEEDS. THE MINIMUM AND MAXIMUM PH VALUE SHALL BE FROM 5.5 TO 7.2. LOAM SHALL CONTAIN A MINIMUM OF FOUR PERCENT (4%) AND A MAXIMUM OF FIVE AND A HALF PERCENT (5.5%) ORGANIC MATTER AS DETERMINED BY WEIGHT. NOT MORE THAN TWENTY-FIVE PERCENT (25%) SHALL PASS A NO. 200 SIEVE. IN NO INSTANCE SHALL MORE THAN 20% OF THAT MATERIAL PASSING THE #4 SIEVE CONSIST OF CLAY SIZE PARTICLES. THE RATIO OF THE PARTICLE SIZE FOR 80% PASSING (D80) TO THE PARTICLE SIZE FOR 30% PASSING (D30) SHALL BE 6.0 OR LESS (D80/D30 ≤ 6.0). SATURATED HYDRAULIC CONDUCTIVITY OF TOPSOIL/LOAM SHALL BE BETWEEN 3 INCHES/HOUR AND 10 INCHES/HOUR ACCORDING TO ASTM D5856-95 WHEN COMPACTED TO A MINIMUM OF 88% STANDARD PROCTOR, ASTM 698.
5. FILTER MEDIA
FILTER MEDIA SHALL CONFORM TO THE FOLLOWING:
20% TO 30% BY VOLUME OF MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH THAT HAS NO MORE THAN 5% FINES PASSING THE NUMBER 200 SIEVE, WITH 70 TO 80% BY VOLUME LOAMY COARSE SAND USED IN THE MIXTURE MEETING THE FOLLOWING SIEVE ANALYSIS SPECIFICATION:
FROM 85 TO 100 PERCENT BY WEIGHT SHALL PASS THE NUMBER 10 SIEVE;
FROM 70 TO 100 PERCENT BY WEIGHT SHALL PASS THE NUMBER 20 SIEVE;
FROM 15 TO 40 PERCENT BY WEIGHT SHALL PASS THE NUMBER 60 SIEVE; AND
FROM 8 TO 15 PERCENT BY WEIGHT SHALL PASS THE NUMBER 200 SIEVE.
6. SEEDING FOR BIORETENTION AREA SIDE SLOPES SHALL HAVE A MINIMUM OF 4" LOAM MIXTURE INSTALLED WITH TYPICAL LAWN MIX (MIN. 200 LBS/ACRE):
33% CREEPING RED FESCUE (MIN. 66 LBS/ACRE)
42% PERENNIAL RYEGRASS (MIN. 84 LBS/ACRE)
21% KENTUCKY BLUEGRASS (MIN. 42 LBS/ACRE)
4% REDTOP (MIN. 8 LBS/ACRE)
7. SEEDING FOR BIORETENTION AREA BASIN SHALL BE NEW ENGLAND WETLAND PLANTS, INC. NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES (MIN. 35 LBS/ACRE).
8. THE DRAINAGE LAYER MATERIAL SHALL BE PLACED WITH ONLY NOMINAL COMPACTION APPLIED BY A DOZER OR GRADER. FORMAL COMPACTION USING A VIBRATORY STEEL DRUM ROLLER SHALL NOT BE USED AS DENSIFICATION WILL REDUCE THE PERMEABILITY AND ABILITY FOR THE MANUFACTURED SOIL TO PROPERLY DRAIN. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT EQUIPMENT & VEHICLE TRAFFIC FROM DRIVING IN THE AREA OF THE PROPOSED BIORETENTION AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT SMEARING OF THE SUBGRADE DURING CONSTRUCTION.

BIORETENTION AREA INSPECTION & MAINTENANCE

INSPECTION & MAINTENANCE SCHEDULE TO BEGIN AFTER CONSTRUCTION SITE IS STABILIZED AND FLOW DIRECTED TO BASIN.

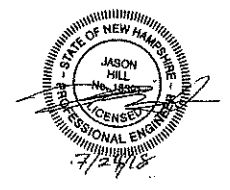
1. MAINTENANCE REQUIREMENTS
- ONCE ANNUALLY, EACH BIORETENTION SYSTEM SHALL BE INSPECTED BY THE DESIGN ENGINEER OR OTHER QUALIFIED PARTY. THE RESULTS OF THE INSPECTION SHALL BE PROVIDED TO DEPARTMENT OF PUBLIC WORKS.
- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- PRE-TREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- TRASH AND DEBRIS SHOULD BE REMOVED AT EACH INSPECTION. ALL SEDIMENT AND TRASH SHOULD BE HANDLED PROPERLY AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL GUIDELINES AND REGULATIONS.
- AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAINAGE TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.
2. VEGETATION - SHALL BE INSPECTED AND MAINTAINED IN A HEALTHY CONDITION BY REMOVING/REPLACING DEAD OR DISEASED VEGETATION AND REMOVING INVASIVE SPECIES. THE VEGETATED AREAS SHALL BE PROTECTED FROM DAMAGE BY TRAFFIC AND DENSE WEED GROWTH. VEGETATION MAINTENANCE A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS. PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED.
3. BOTTOM OF BASIN - BOTTOM OF BASIN SHALL BE INSPECTED FOR EROSION, SEDIMENT ACCUMULATION, TRASH & DEBRIS. REPAIR ANY ERODED AREA OF THE BIORETENTION AREA WITH APPROPRIATE GRASS COVER AFTER REPLACING ANY LOST FILL MATERIAL AND LOAM. REMOVED SEDIMENT, TRASH & DEBRIS SHALL BE REMOVED AND DISPOSED OF PROPERLY.
4. INLET/OUTLET - CONDITIONS OF PIPES/RIPRAP SHALL BE NOTED AND REPAIRS MADE IF NEEDED. ACCUMULATED SEDIMENT & DEBRIS SHALL BE REMOVED AND DISPOSED OF PROPERLY. IF EROSION HAS OCCURRED, THEN MEASURES SHALL BE TAKEN TO STABILIZE AND PROTECT THE AREAS.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

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TAX MAP 101 LOT 14, 15 & 17 (HUDSON)

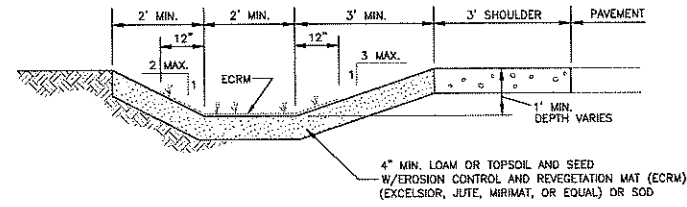
DETAIL SHEET
REEDS FERRY SMALL BUILDINGS INC.
3, 5, 7 TRACY LANE, HUDSON NH

OWNED BY
SMT 7 TRACEY LANE LLC & SMT TRACEY LANE HOLDINGS LLC
PREPARED FOR
REEDS FERRY SMALL BUILDINGS INC.
SCALE: AS NOTED **JUNE 22, 2018**

TFM Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists

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17851.04 DR JH PB -
CK RED CADFILE 17851.04 COV-DET SHEET 12 OF 17



GRASS LINED SWALE
FOR USE WHERE VELOCITIES ARE 3 CFS OR LESS NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

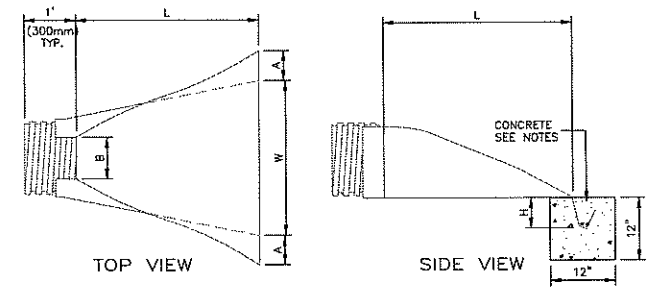
PREPARE BEDDING:
BACKFILL MATERIAL AROUND THE END SECTION MAY BE THE SAME AS THE MATERIAL AROUND THE PIPE. PLACE A FEW INCHES OF BACKFILL MATERIAL IN THE TRENCH OR DITCH WHERE THE END SECTION WILL BE PLACED. COMPACT AND CONTOUR THIS BEDDING MATERIAL TO GENERALLY MATCH THE END SECTION. EXCAVATE AN AREA IN THE BEDDING WHERE THE TROUGH WILL SEAT SO THAT THE END SECTION WILL BE LEVEL WITH THE BOTTOM OF THE TRENCH OR DITCH IN THE FINISHED INSTALLATION.

PLACE END SECTION OF PIPE:
OPEN THE END SECTION COLLAR AND SEAT IT OVER THE TWO PIPE CONNECTIONS. ONCE THE END SECTION IS POSITIONED, CHECK TO MAKE SURE THAT THE INVERT OF THE END SECTION MATCHES THE INVERT OF THE PIPE AND THAT THE END SECTION IS LEVEL WITH THE TRENCH OR DITCH BOTTOM.

SECURE THE END SECTION:
SLIP THE STAINLESS STEEL ROD THROUGH THE PRE-DRILLED HOLES AT THE TOP OF THE COLLAR. THE ROD SHOULD BE BETWEEN THE CROWNS OF THE TWO PIPE CONNECTIONS. PLACE A WASHER ON EITHER END OF THE ROD. PLACE A NUT ON EITHER END OF THE ROD AND TIGHTEN WITH A WRENCH.

SECURE THE TROUGH:
TO PREVENT WASHOUTS FROM HIGH VELOCITY FLOW, IT IS RECOMMENDED THAT THE TROUGH BE SECURED WITH CONCRETE. POUR CONCRETE IN THE TROUGH UP TO THE LEVEL OF THE TRENCH OR DITCH BOTTOM AND ALONG THE ENTIRE LENGTH OF THE TROUGH.

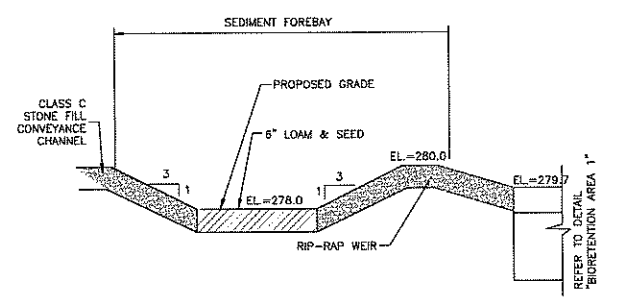
FINISH BACKFILL:
SHOVEL BACKFILL AROUND THE END SECTION IN 6 TO 8 INCH LAYERS EQUALLY ON BOTH SIDES, KNIFING IT TO ELIMINATE VOIDS. TAMP WITH A SMALL-FACED COMPACTOR OR OTHER EQUIPMENT SUITABLE FOR SMALL AREAS. CONTINUE PLACING, KNIFING, AND COMPACTING BACKFILL LAYERS TO THE TOP OF THE END SECTION TO SEAT IT WELL INTO THE BACKFILL.



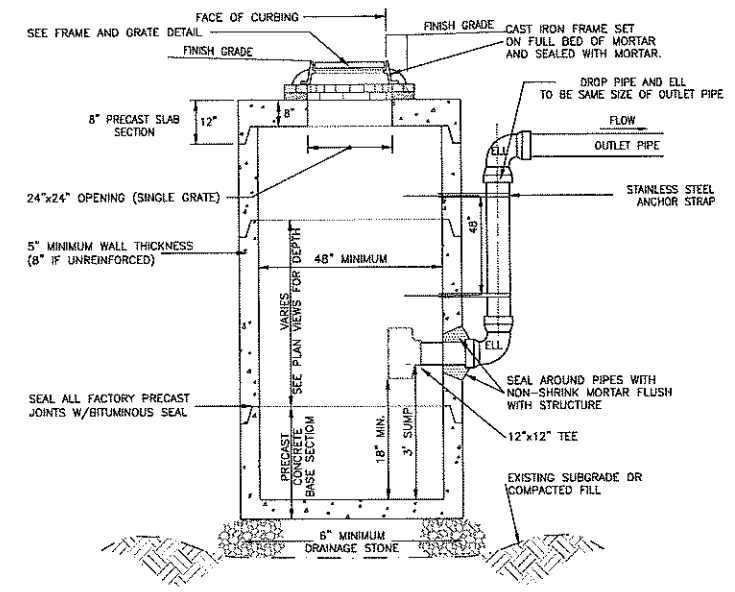
| DIMENSIONS, INCHES (mm) | | | | | | |
|-------------------------|----------|------------|----------|------------|--------------|------------|
| PIPE DIAMETER | PART NO. | A, ±1 (25) | B MAX | H, ±1 (25) | L, ±1/2 (13) | W, ±2 (50) |
| 12" (300,375) | 1210 NP | 6.5 (165) | 10 (254) | 6.5 (165) | 25 (635) | 29 (736) |
| 18" (450) | 1810 NP | 7.5 (190) | 15 (380) | 6.5 (168) | 32 (812) | 35 (880) |
| 24" (600) | 2410 NP | 7.5 (190) | 18 (450) | 6.5 (165) | 36 (900) | 45 (1140) |
| 30" (750) | 3010 NP | 10.5 (266) | NA | 7.0 (178) | 53 (1346) | 68 (1725) |
| 36" (900) | 3610 NP | 10.5 (266) | NA | 7.0 (178) | 53 (1346) | 68 (1725) |

FLARED END SECTION

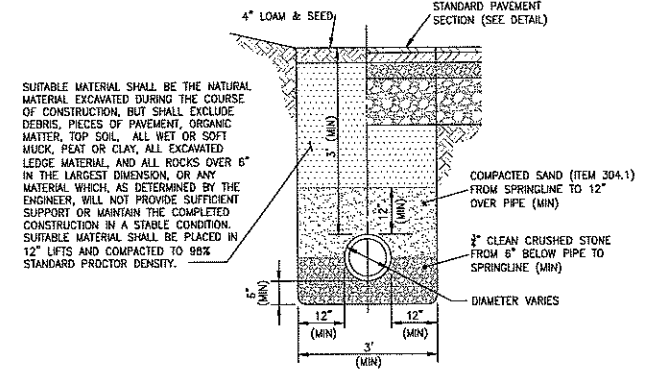
HIGH DENSITY POLYETHYLENE (HDPE) NOT TO SCALE



SEDIMENT FOREBAY



OIL-GAS TRAP 1
OIL-GAS TRAP NOT TO SCALE



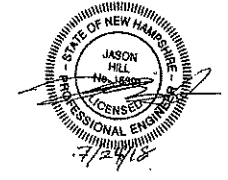
STORM DRAIN TRENCH
NOT TO SCALE

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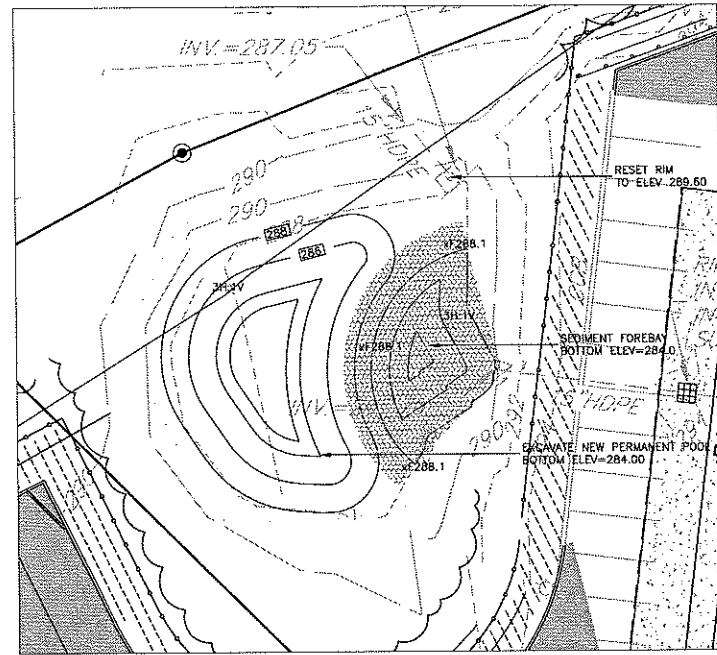
DETAIL SHEET
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OWNED BY
SMT 7 TRACEY LANE LLC & SMT TRACEY LANE HOLDINGS LLC
PREPARED FOR
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SCALE: AS NOTED **JUNE 22, 2018**

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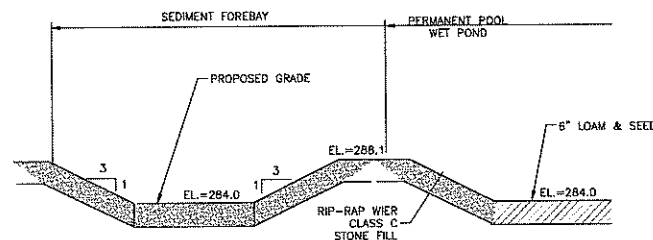
17851.04 OR JH FB
CK RED CADFILE 17851.04 COV-DET

SHEET 13 OF 17



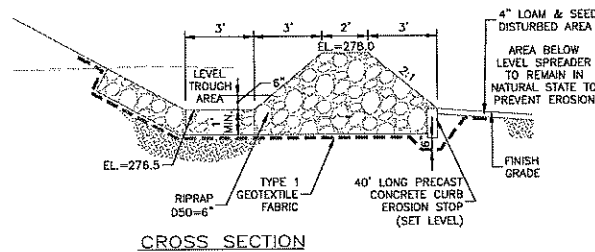
WET POND 1

1"=20'

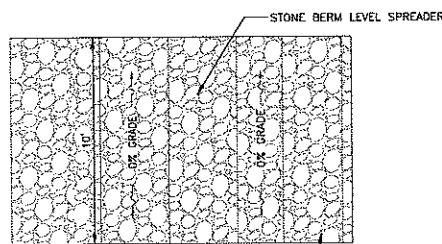


SEDIMENT FOREBAY

NOT TO SCALE



CROSS SECTION

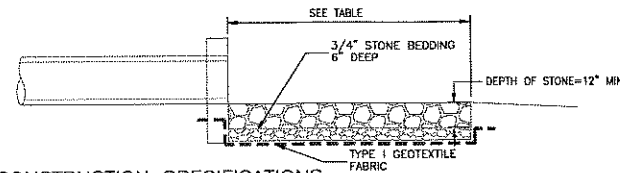


PLAN VIEW

RIPRAP LEVEL SPREADER

NOT TO SCALE

| OUTLET | Do (ft.) | Q25 (cfs) | Tw (ft.) | LENGTH (ft.) | WIDTH up (ft.) | WIDTH dn (ft.) | d50 (in.)* |
|---------|----------|-----------|----------|--------------|----------------|----------------|------------|
| APRON 1 | 2.00 | 12.5 | 0.5 | 27.3 | 6.0 | 16.9 | 6.9 |
| HW1 | 1.25 | 5.0 | 0.2 | 19.5 | 3.8 | 11.5 | 8.2 |



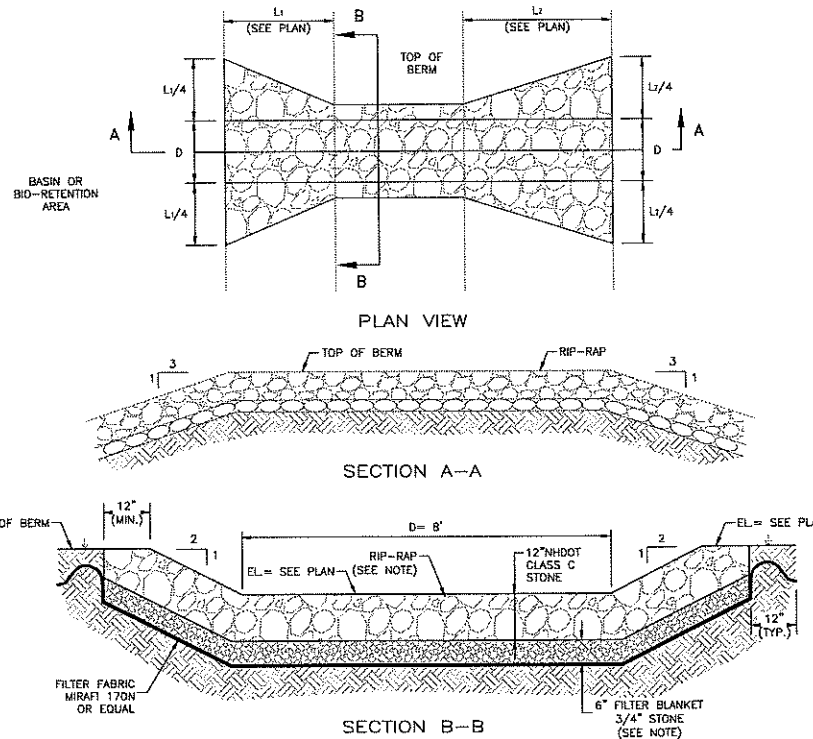
CONSTRUCTION SPECIFICATIONS:

1. THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND STONE FILL SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK USED FOR RIP-RAP SHALL CONFORM TO NHDOT CLASS C STONE ITEM 583.3.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP-RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FILL MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE.

OUTLET APRON

AT RETAINING WALL

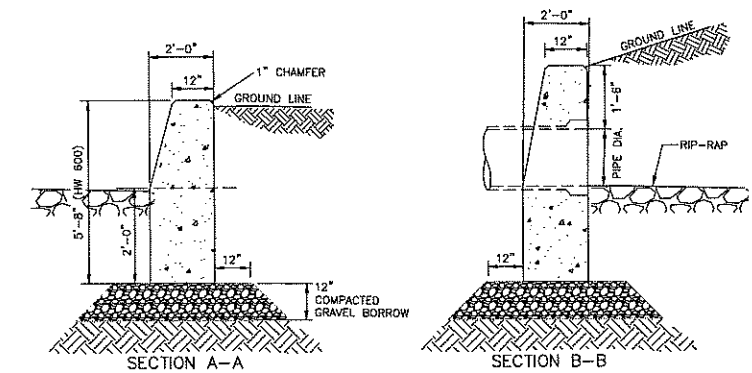
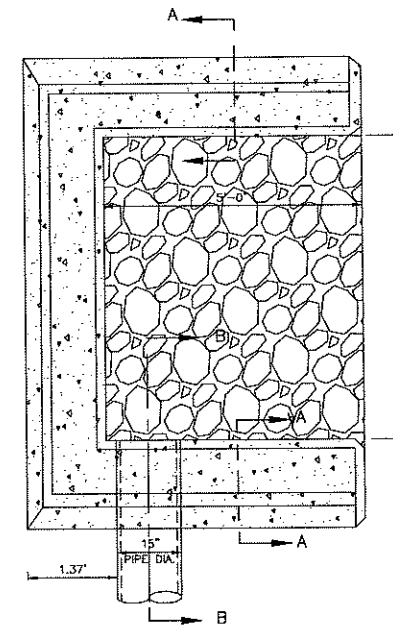
NOT TO SCALE



EMERGENCY SPILLWAY

AT BIO-RETENTION AREA 1

NOT TO SCALE



NOTES:

1. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSL.
2. SHOP DRAWINGS FOR PLACEMENT OF REINFORCING SHALL BE SUBMITTED TO THE ENGINEER BY THE CONTRACTOR.

SPECIAL HEADWALL DETAIL

HW 1

NOT TO SCALE

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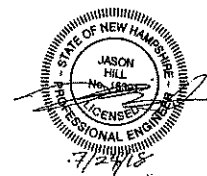
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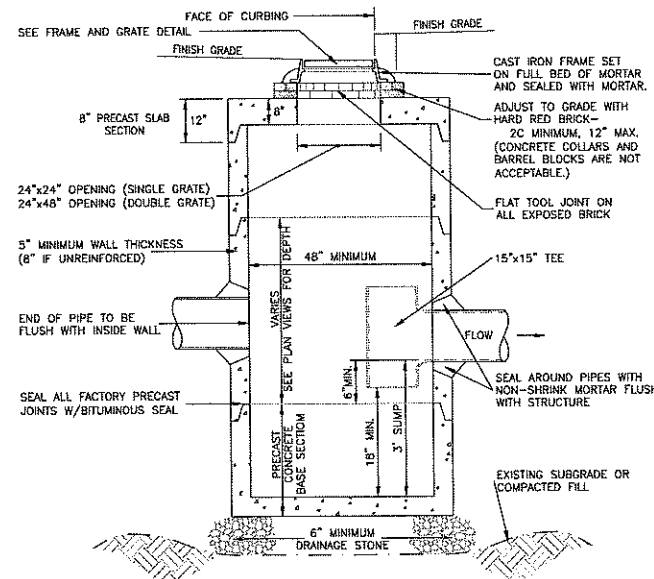


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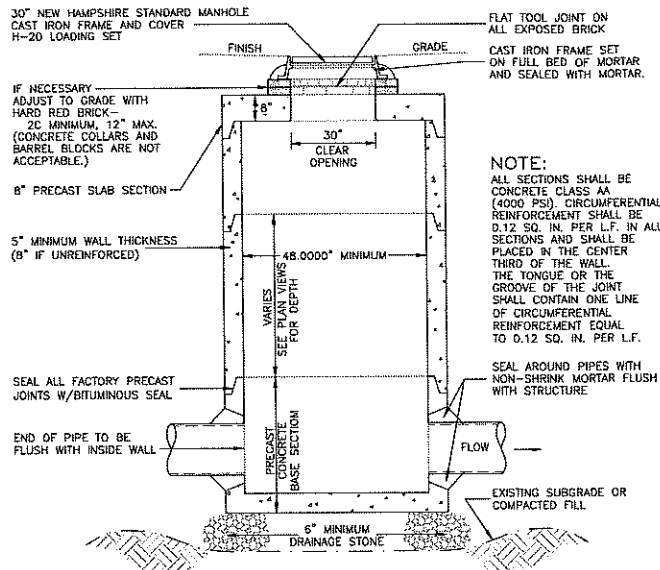
TFM Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

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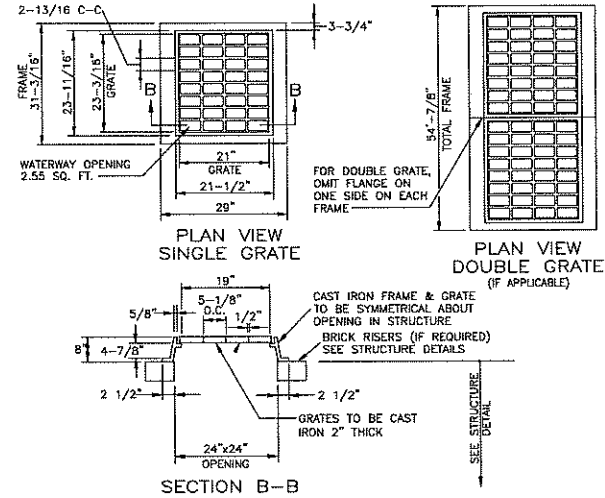
17851.04 DR JH FB
CK RED CADFILE 17851.04 COV-DET SHEET 14 OF 17



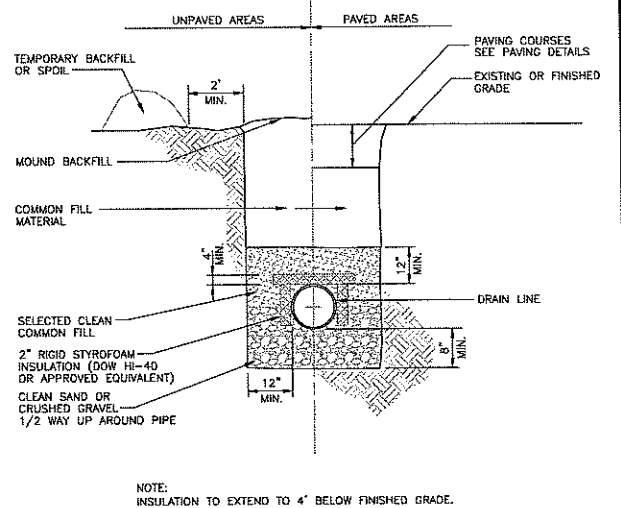
NOTE: ALL PRECAST SECTIONS SHALL CONFORM TO ASTM C-478
CATCH BASIN
 OIL-GAS TRAP NOT TO SCALE



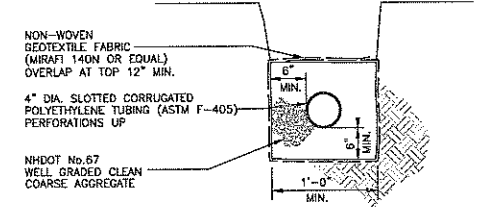
NOTE: ALL PRECAST SECTIONS SHALL CONFORM TO ASTM C-478
DRAIN MANHOLE
 SLAB TOP NOT TO SCALE



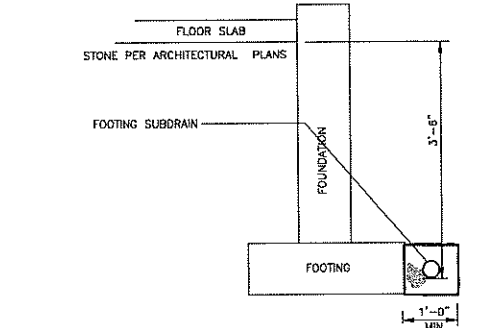
FRAME AND GRATE
 NHDOT TYPE B ALT 1 NOT TO SCALE



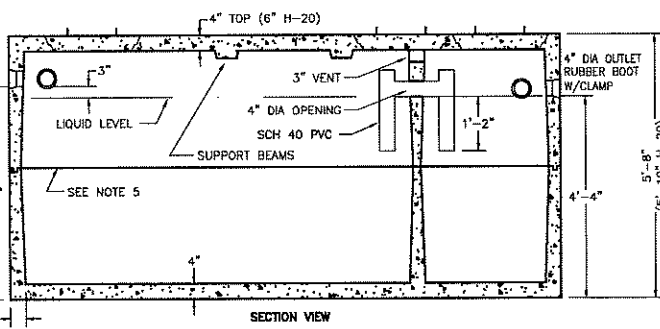
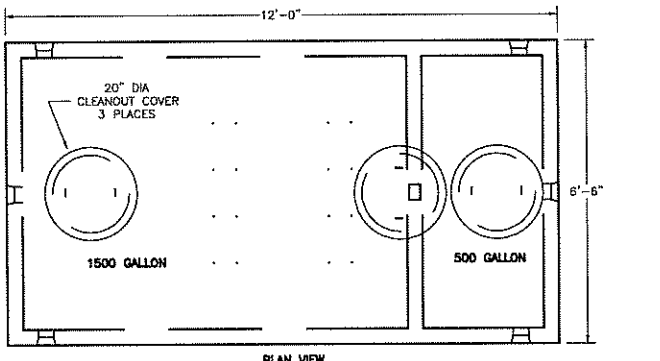
DRAIN LINE INSULATION
 NOT TO SCALE



TYPICAL SUBDRAIN

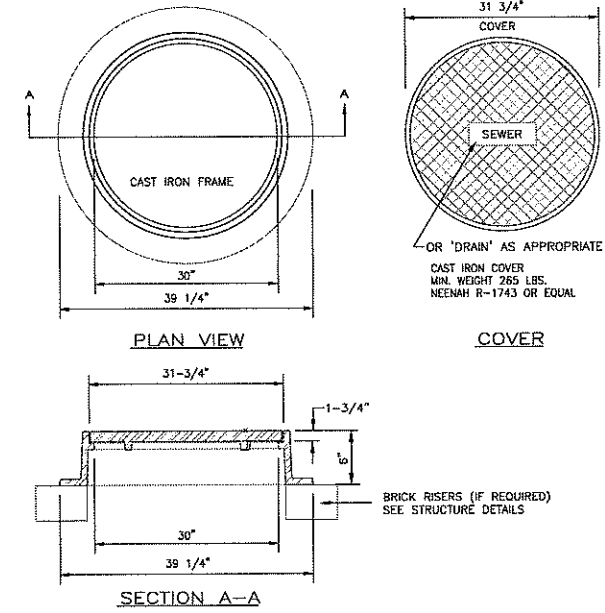


FOUNDATION UNDERDRAIN
 NOT TO SCALE

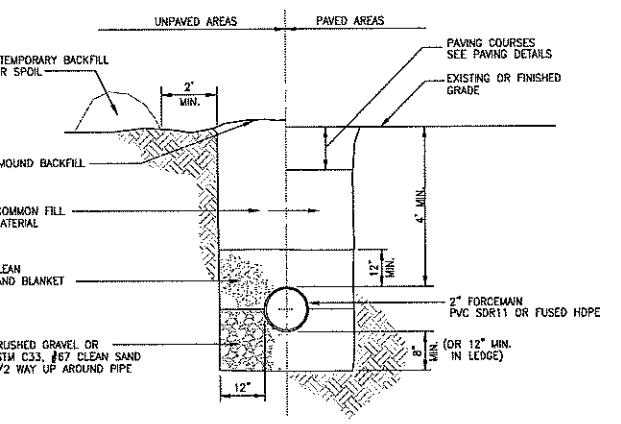


- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS, FOR SEPTIC TANKS.
 3. ALL REINFORCEMENT PER ASTM C1227.
 4. TEES AND GAS BAFFLE SOLD SEPARATELY.
 5. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.
 6. ALSO AVAILABLE IN H-20 LOADING.

COMBINATION SEPTIC TANK
 HEAVY DUTY NOT TO SCALE



MANHOLE FRAME & COVER
 HEAVY DUTY NOT TO SCALE



FORCEMAIN TRENCH
 NOT TO SCALE

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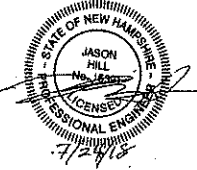
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 3, 5, 7 TRACY LANE, HUDSON NH
 OWNED BY
SMT 7 TRACEY LANE LLC & SMT TRACEY LANE HOLDINGS LLC
 PREPARED FOR
REEDS FERRY SMALL BUILDINGS INC.
 SCALE: AS NOTED JUNE 22, 2018

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

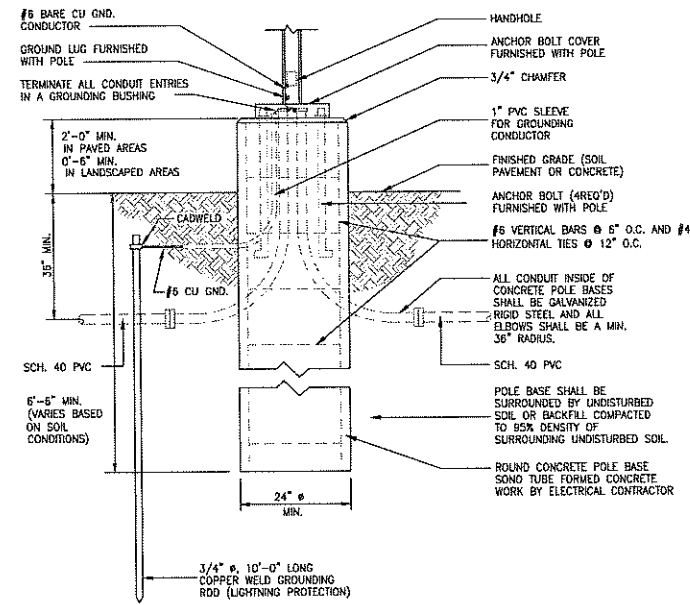
DATE OF MEETING _____ DATE _____
 SIGNATURE _____ DATE _____
 SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



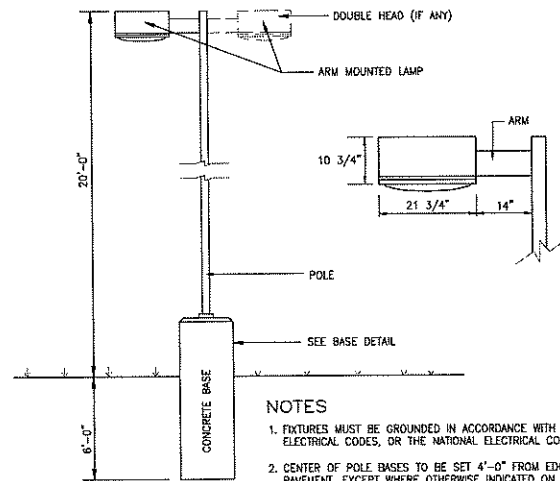
TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

48 Constitution Drive
 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
 www.tfmoran.com



LIGHT POLE BASE

NOT TO SCALE

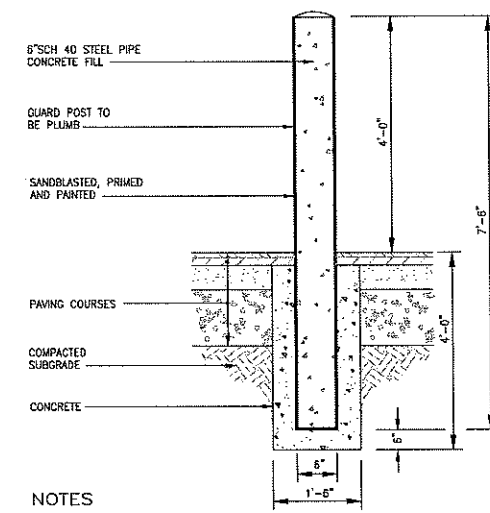


LIGHT POLE

NOT TO SCALE

NOTES

1. FIXTURES MUST BE GROUNDED IN ACCORDANCE WITH LOCAL ELECTRICAL CODES, OR THE NATIONAL ELECTRICAL CODE.
2. CENTER OF POLE BASES TO BE SET 4'-0" FROM EDGE OF PAVEMENT, EXCEPT WHERE OTHERWISE INDICATED ON DRAWING.
3. LIGHTING SHOWN HERE IS AREA LIGHTING, SUPPLEMENTAL BUILDING-MOUNTED FIXTURES AT DOORWAYS, ETC. MAY BE REQUIRED.
4. SEE LIGHTING PLAN FOR FIXTURE SCHEDULE.

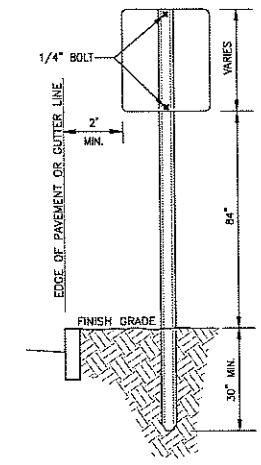
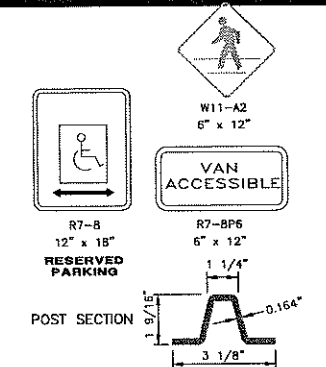


BOLLARD

NOT TO SCALE

NOTES

1. BOLLARD TO CONFORM TO NHDOT SPECIFICATIONS

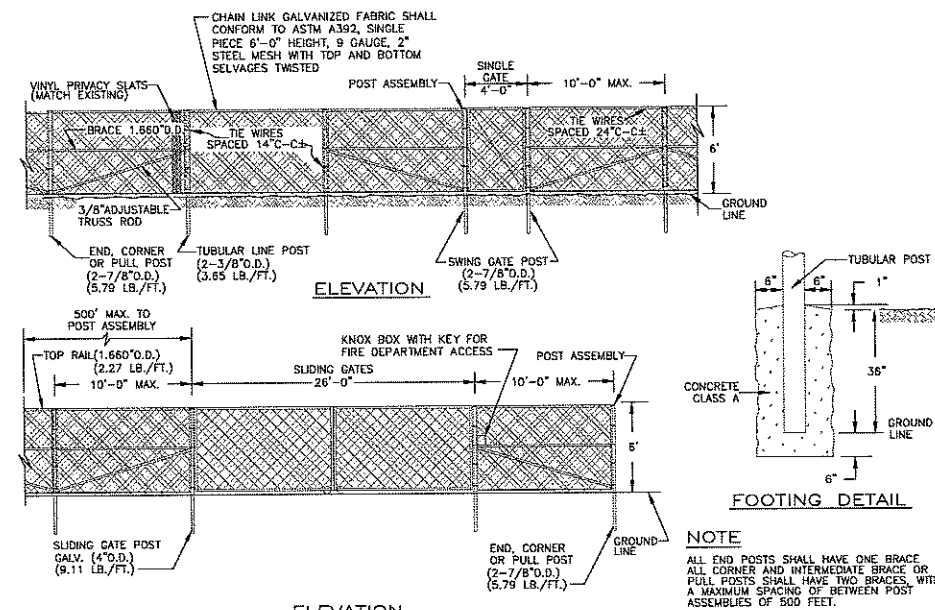


TRAFFIC SIGN POST IN GRADE

NOT TO SCALE

NOTES

1. POSTS SHALL BE PLUMB; ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND PROPERLY REPLACED. POSTS MAY BE SET OR DRIVEN.
2. WHEN POSTS ARE SET, HOLES SHALL BE DUG TO THE PROPER DEPTH, AFTER INSERTING POSTS, THE HOLES SHALL BE BACKFILLED WITH SUITABLE MATERIAL IN LAYERS NO TO EXCEED 6" DEEP THOROUGHLY COMPACTED, CARE BEING TAKEN TO PRESERVE THE ALIGNMENT OF THE POST.
3. WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED AND AFTER DRIVING THE TOP OF THE POST SHALL HAVE SUBSTANTIALLY THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST; BATTERED HEADS WILL NOT BE ACCEPTED.
4. POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
5. SIGNS SHALL BE ERECTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
6. WHEN SIGN IS IN PLACE NO PART OF POST SHALL EXTEND ABOVE THE SIGN.
7. DIMENSIONS SHOWN ARE NOMINAL.
8. ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE.



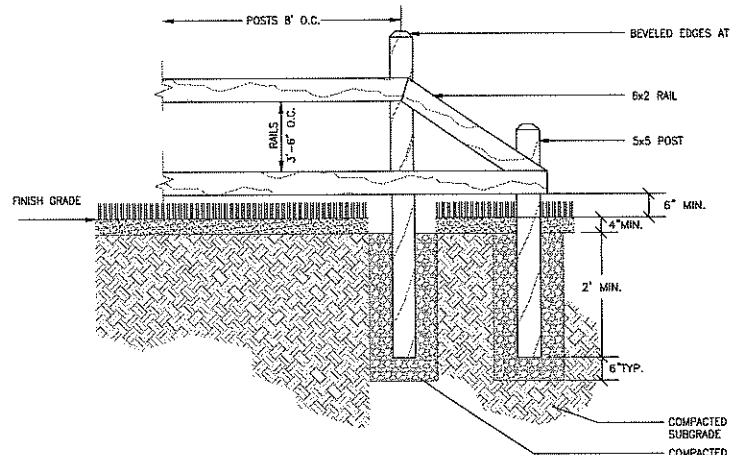
CHAIN LINK FENCE DETAIL

(WITH BARBED WIRE)

NOT TO SCALE

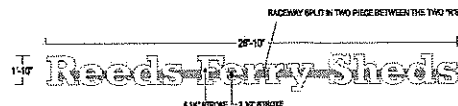
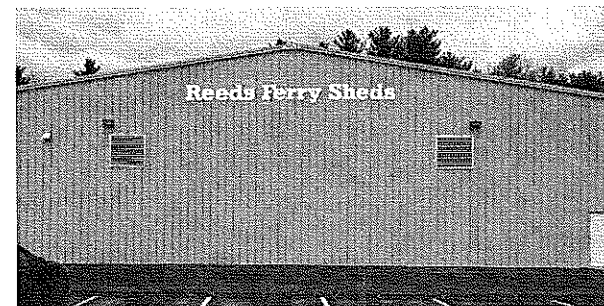
NOTE

ALL END POSTS SHALL HAVE ONE BRACE
ALL CORNER AND INTERMEDIATE BRACE OR
PULL POSTS SHALL HAVE TWO BRACES, WITH
A MAXIMUM SPACING OF BETWEEN POST
ASSEMBLIES OF 500 FEET.



POST AND RAIL FENCE

NOT TO SCALE



FACE-LIT CHANNEL LETTERS DETAIL

NOT TO SCALE

NOTE:
SIGN DESIGN, MANUFACTURE AND
INSTALLATION BY BARLO SIGNS
INTERNATIONAL, HUDSON, NH.

| | | |
|---|---|-----------------|
| <p>PLS. RETURN TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.</p> | <p>APPROVED BY THE HUDSON, NH PLANNING BOARD</p> | |
| | DATE OF MEETING _____ | DATE _____ |
| | SIGNATURE _____ | SIGNATURE _____ |
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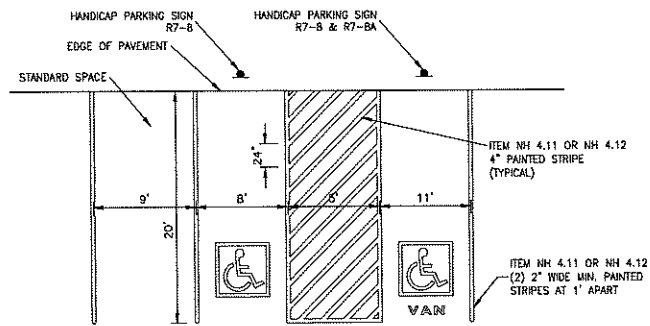
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| 1 | 7/25/2018 | ISSUE FOR PERMITTING | SRP | JH |
| REV. | DATE | DESCRIPTION | DR | CK |

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TAX MAP 101 LOT 14, 15 & 17 (HUDSON)
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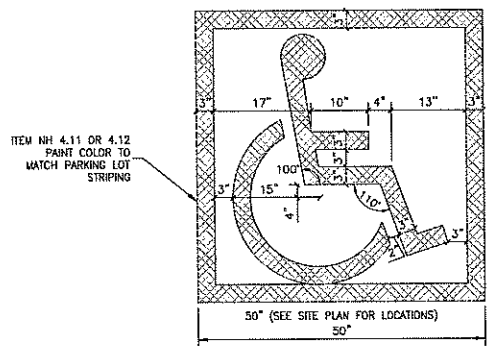
TFM Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
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| | | | | | |
|----------|---------|----|---|------------------|----------------|
| 17851.04 | DR JH | FB | - | 17851.04 COV-DET | SHEET 16 OF 17 |
| CK RED | CADFILE | | | | |

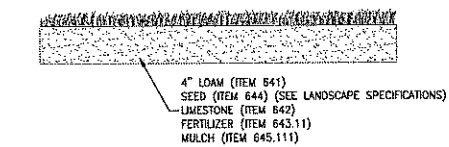




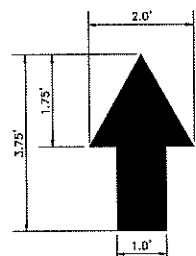
PARKING STRIPING DETAIL
NOT TO SCALE



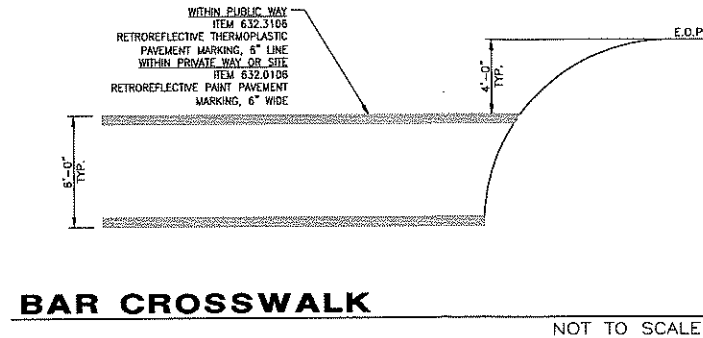
PAINTED HANDICAP SYMBOL
NOT TO SCALE



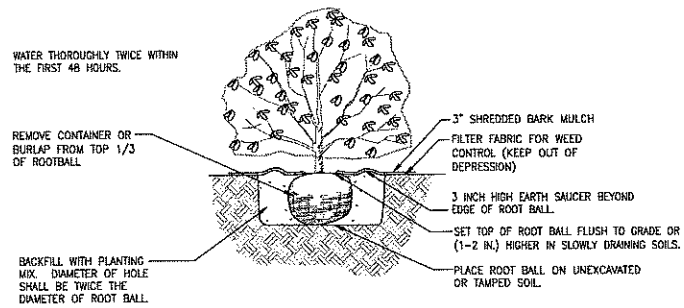
LOAM & SEED
NOT TO SCALE



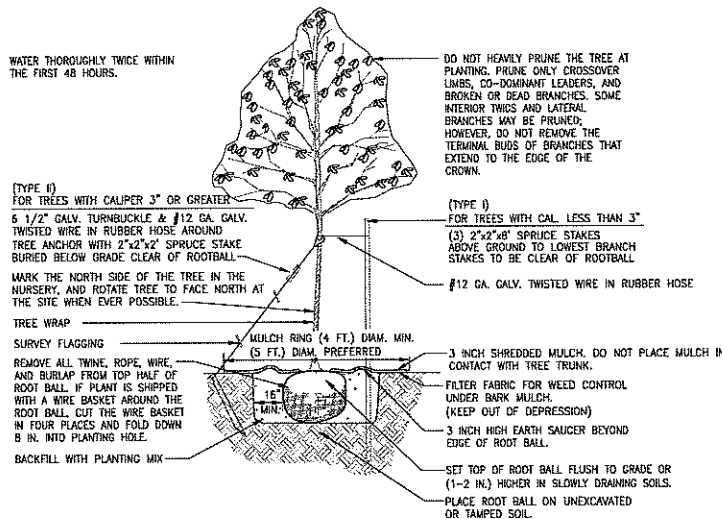
PAVEMENT MARKINGS
NOT TO SCALE



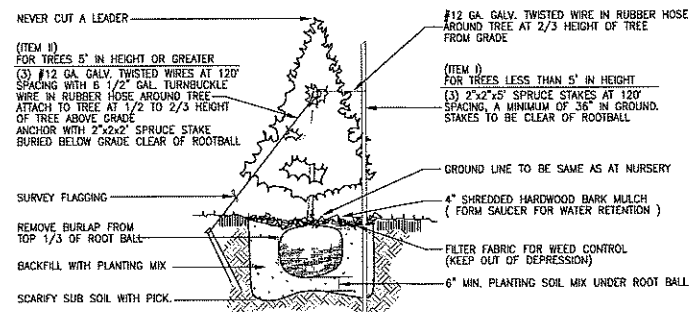
BAR CROSSWALK
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE



DECIDUOUS TREE PLANTING
NOT TO SCALE



EVERGREEN PLANTING DETAIL
NOT TO SCALE

LANDSCAPE SPECIFICATIONS

SITE AND SOIL PREPARATION

- WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR LEDGE, NOTIFY LANDSCAPE ARCHITECT/ENGINEER BEFORE PLANTING.
- ALL DISTURBED AREAS & PLANTING AREAS, INCLUDING AREAS TO BE SODED, SHALL RECEIVE THE FOLLOWING SOIL PREPARATION PRIOR TO PLANTING: A MINIMUM OF 4 INCHES OF LIGHTLY COMPACTED TOPSOIL SHALL BE INSTALLED OVER THE SUBSOIL IF TOPSOIL HAS BEEN REMOVED OR IS NOT PRESENT.
- LOAM SHALL CONSIST OF LOOSE FRABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. LOAM SHALL BE FREE FROM STONES, LUMPS, STUMPS, OR SIMILAR OBJECTS LARGER THAN TWO INCHES (2") IN GREATEST DIAMETER, SUBSOIL, ROOTS, AND WEEDS. THE MINIMUM AND MAXIMUM PH VALUES SHALL BE FROM 5.5 TO 7.5. LOAM SHALL CONTAIN A MINIMUM OF THREE PERCENT (3%) AND A MAXIMUM OF TWENTY PERCENT (20%) ORGANIC MATTER AS DETERMINED BY LOSS BY IGNITION. NOT MORE THAN SIXTY-FIVE PERCENT (65%) SHALL PASS A NO. 200 SIEVE AS DETERMINED BY THE WASH TEST IN ACCORDANCE WITH ASTM D1140. IN NO INSTANCE SHALL MORE THAN 20% OF THAT MATERIAL PASSING THE #4 SIEVE CONSIST OF CLAY SIZE PARTICLES.
- NATURAL TOPSOIL NOT CONFORMING TO THE PARAGRAPH ABOVE OR CONTAINING EXCESSIVE AMOUNTS OF CLAY OR SAND SHALL BE TREATED BY THE CONTRACTOR TO MEET THOSE REQUIREMENTS.
- SUBMIT TEST RESULTS OBTAINED FROM SOURCE TO ENGINEER/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL, PRIOR TO SPREADING OPERATIONS.
- APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT TO USE THE TOPSOIL WILL DEPEND UPON THE RESULTS OF THE SOIL TESTS.
- THE BURDEN OF PROOF OF SOIL AMENDMENT INSTALLATION RESTS WITH THE CONTRACTOR. SOIL TESTS MAY BE REQUIRED AT THE CONTRACTOR'S EXPENSE IN ORDER TO CONFIRM AMENDMENT INSTALLATION.

SEEDING

- ROUGH GRADING SHALL BE COMPLETED PRIOR TO THE START OF PLANTING IN ANY GIVEN AREA OF THE PROJECT SITE.
- SEEDING SHALL BE DONE BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 15, EXCEPT FOR RESEEDING OF BARE SPOTS AND MAINTENANCE. ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, PAVING OR AREAS THAT HAVE NOT BEEN OTHERWISE DEVELOPED SHALL BE SEEDING OR SODED. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. AFTER OCTOBER 15 DISTURBED SOILS SHALL BE PROTECTED IN ACCORDANCE WITH THE WINTER CONSTRUCTION NOTES.

ACCEPTABLE SEED MIXES ARE AS FOLLOWS:

TYPICAL LAWN MIX (MIN. 200 LBS/ACRE):
 33% CREEPING RED FESCUE (MIN. 60 LBS/ACRE)
 42% PERENNIAL RYEGRASS (MIN. 84 LBS/ACRE)
 21% KENTUCKY BLUEGRASS (MIN. 42 LBS/ACRE)
 4% REDTOP (MIN. 8 LBS/ACRE)

GENERAL SLOPE (NEED TYPE 44) MIX 3:1 OR GREATER SLOPES (MIN. 100 LBS/ACRE):
 44% CREEPING RED FESCUE (MIN. 70 LBS/ACRE)
 38% PERENNIAL RYEGRASS (MIN. 60 LBS/ACRE)
 8% REDTOP (MIN. 10 LBS/ACRE)
 8% ALSKA CLOVER (MIN. 10 LBS/ACRE)
 6% BIRDSFOOT TREFOL (MIN. 10 LBS/ACRE)

PLANTING

- EXCAVATE PITS, PLANTERS, BEDS AND TRENCHES WITH VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SLIGHTLY RAISED AT CENTER TO PROVIDE PROPER DRAINAGE. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION.
- ANY LEDGE OR RUBBLE MATERIAL SHALL BE FRACTURED TO A DEPTH OF 3 FEET AND EXCAVATED TO A DEPTH OF 30 INCHES FOR TREE POCKETS AND 18 INCHES FOR SHRUB BEDS. THIS PROCEDURE SHALL BE HANDLED BY THE SITE CONTRACTOR. SITE TOPSOIL SHALL BE DEPOSITED IN ALL EXCAVATED POCKETS.
- DISPOSE OF SUBSOIL REMOVED FROM PLANTING EXCAVATIONS. DO NOT MIX WITH PLANTING SOIL OR USE AS BACKFILL.
- FILL EXCAVATIONS FOR TREES AND SHRUBS WITH WATER AND ALLOW TO PERCOLATE OUT BEFORE PLANTING.
- DISH TOP OF BACKFILL TO ALLOW FOR MULCH - PLANT SAUCERS SHALL BE AS SHOWN ON DETAIL SHEETS; 6" DIAMETER FOR ALL DECIDUOUS TREES, AND FOR EVERGREEN TREES A RADIUS 2" BEYOND THE OUTER MOST BRANCHES.
- MULCH TREES, SHRUBS, PLANTERS AND BEDS. PROVIDE NOT LESS THAN 4" THICKNESS OF BARK MULCH, 3/8"-2" OF WIDTH AND WORK INTO TOP OF BACKFILL AND FINISH LEVEL WITH ADJACENT FINISH GRADES AS DIRECTED IN THE FIELD.
- STAKE AND GUY TREES IMMEDIATELY AFTER PLANTING (TREE SUPPORT STAKES SHALL BE 2" X 3" X 8'0", WOOD STAKES. GUYING WIRE SHALL BE NO. 12 GAUGE GALVANIZED SOFT STEEL WIRE. HOSE FOR COVERING WIRE SHALL BE NEW OR USED TWO PLY RUBBER HOSE, NOT LESS THAN 1/2 INCH INSIDE DIAMETER. (PLASTIC "CINCH-TIES" OR EQUIVALENT FASTENING DEVICE MAY BE AN ACCEPTABLE GUY WIRE AND HOSE PROTECTOR SUBSTITUTE.)
- ALL PLANT MATERIALS SHALL HAVE DEAD OR DAMAGED BRANCHES REMOVED AT TIME OF PLANTING. ALL TAGS AND RIBBONS SHALL BE REMOVED AT THIS TIME.
- TREES TO REMAIN STAKED FOR 1 FULL GROWING SEASONS.
- THE CONTRACTOR SHALL REQUEST A FINAL OBSERVATION BY THE OWNER'S REPRESENTATIVE UPON COMPLETION OF INSTALLATION.

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| REV. | DATE | DESCRIPTION | SRP | JH |
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| 1 | 7/25/2018 | ISSUE FOR PERMITTING | | |
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LANDSCAPE MAINTENANCE

LAWN

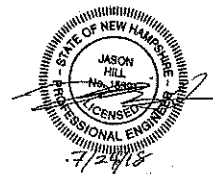
- BEGINNING MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED, BUT NOT LESS THAN THE FOLLOWING PERIODS:
 - SEEDED LAWNS: 60 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
 - WHEN FULL MAINTENANCE PERIOD HAS NOT ELAPSED BEFORE END OF PLANTING SEASON, OR IF LAWN IS NOT FULLY ESTABLISHED, CONTINUE MAINTENANCE DURING NEXT PLANTING SEASON.
 - SODED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
 - PLUGGED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
 - SPRIGGED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
- MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORM SMOOTH LAWN.
 - IN AREAS WHERE MULCH HAS BEEN DISTURBED BY WIND OR MAINTENANCE OPERATIONS, ADD NEW MULCH. ANCHOR AS REQUIRED TO PREVENT DISPLACEMENT.
- WATERING: PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN-WATERING EQUIPMENT TO CONVEY WATER FROM SOURCES AND KEEP LAWN UNIFORMLY MOIST TO A DEPTH OF FOUR INCHES (100 mm).
 - SCHEDULE WATERING TO PREVENT WILTING, PUDDLING, EROSION, AND DISPLACEMENT OF SEED OR MULCH. LAY OUT TEMPORARY WATERING SYSTEM TO AVOID WALKING OVER MUDDY OR NEWLY PLANTED AREAS.
 - WATER LAWN AT A MINIMUM RATE OF ONE INCH (25 mm) PER WEEK.
- MOW LAWN AS SOON AS TALL GROWTH IS TALL ENOUGH TO CUT. REPEAT MOWING TO MAINTAIN SPECIFIC HEIGHT WITHOUT CUTTING MORE THAN 40 PERCENT OF GRASS HEIGHT. REMOVE NO MORE THAN 40 PERCENT OF GRASS-LEAF GROWTH IN INITIAL OR SUBSEQUENT MOWINGS. DO NOT DELAY MOWING UNTIL GRASS BLADES BEND OVER AND BECOME MATTED. DO NOT MOW WHEN GRASS IS WET. SCHEDULE INITIAL AND SUBSEQUENT MOWINGS TO MAINTAIN THE FOLLOWING GRASS HEIGHT.
 - MOW GRASS TO 1/2 INCH (13 mm) HIGH OR LESS.
 - MOW GRASS 1/2 TO 1 INCH (13 TO 25 mm) HIGH OR LESS.
 - MOW GRASS 1 TO 2 INCHES (25 TO 50 mm) HIGH OR LESS.
 - MOW GRASS 1-1/2 TO 2 INCHES (38 TO 50 mm) HIGH OR LESS.
 - MOW GRASS 2 TO 3 INCHES (50 TO 75 mm) HIGH OR LESS.
- LAWN POST-FERTILIZATION: APPLY FERTILIZER AFTER INITIAL MOWING AND WHEN GRASS IS DRY.
 - USE FERTILIZER THAT WILL PROVIDE ACTUAL NITROGEN OF AT LEAST 1 lb/1,000 SF (0.45 kg/92.9 SM) TO LAWN AREA.

MEADOW

- BEGIN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE MEADOW IS ESTABLISHED, BUT FOR NOT LESS THAN 40 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
- MAINTAIN AND ESTABLISH MEADOW BY WATERING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH.
- WATERING: PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN-WATERING EQUIPMENT TO CONVEY WATER FROM SOURCES AND KEEP MEADOW UNIFORMLY MOIST.
 - SCHEDULE WATERING TO PREVENT WILTING, PUDDLING, EROSION, AND DISPLACEMENT OF SEED OR MULCH. LAY OUT TEMPORARY WATERING SYSTEM TO AVOID WALKING OVER MUDDY OR NEWLY PLANTED AREAS.
 - WATER LAWN AT A MINIMUM RATE OF 1/2 INCH (13 mm) PER WEEK FOR 4 WEEKS.

TREES AND SHRUBS:

- PRUNING SHOULD BE STARTED EARLY AND KEPT UP AT REGULAR INTERVALS. TREES SHOULD BE PRUNED AND SHAPED TO AVOID SPLITTING LATER IN LIFE. BROKEN TOPS AND BRANCHES SHOULD BE REMOVED AS SOON AS POSSIBLE AFTER ALBERY. BROKEN, WEAK OR DISEASED BRANCHES SHOULD BE REMOVED FIRST, DEAD BRANCHES SECOND AND HEALTHY BRANCHES LAST.
- TREES AND SHRUBS SHOULD BE PROTECTED AGAINST DAMAGE INCURRED WITH LAWN MOWERS AND GARDEN EQUIPMENT. KEEPING GRASS AWAY FROM TREE TRUNKS WITH THE USE OF MULCH IS RECOMMENDED.
- THE USE OF ROAD SALT AROUND TREES AND SHRUBS SHOULD BE AVOIDED OR MINIMIZED.
- LANDSCAPED AREAS SHALL BE ROUTINELY MAINTAINED FREE OF DEBRIS AND LITTER. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD.



TAX MAP 2 LOT 34-0, 34-4, 34-5 (LONDONDERRY)
 TAX MAP 101 LOT 14, 15 & 17 (HUDSON)
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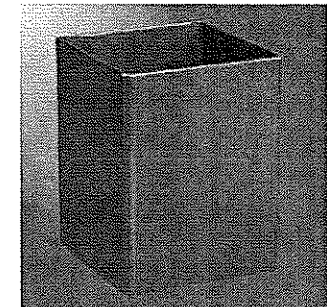
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| 17851.04 | DR JH | FB | | |
| | CK RED | CADFILE | 17851.04 COV-DET | SHEET 17 OF 17 |

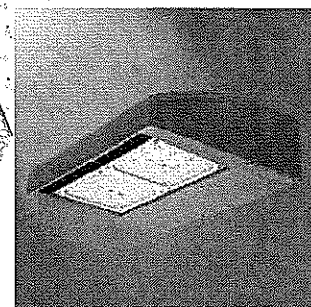
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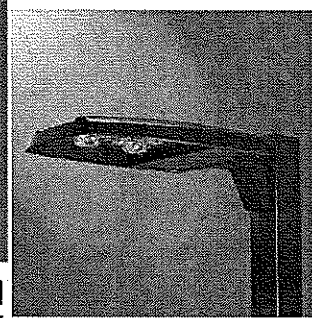
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SSS SQUARE STRAIGHT STEEL



GWC GALLEON WALL LUMINAIRE



PRV PREVAIL

1-2 Light Squares
Solid State LED

LED

WALL MOUNT LUMINAIRE

AREA / SITE / ROADWAY LUMINAIRE

| StatArea_1 | StatArea_2 |
|--|--|
| Illuminance (Fc) Average = 1.24 Maximum = 17.3 Minimum = 0.1 Avg/Min Ratio = 12.40 Max/Min Ratio = 173.00 | Illuminance (Fc) Average = 2.13 Maximum = 6.3 Minimum = 0.2 Avg/Min Ratio = 10.65 Max/Min Ratio = 31.50 |

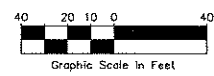
| Symbol | Qty | Label | Arrangement | Description |
|--------|-----|-------|-------------|---|
| ○ | 2 | BU | SINGLE | EXISTING HBLE26 (WIDE FLOOD) |
| □ | 7 | F | SINGLE | PFXL190LED |
| □ | 2 | N3 | SINGLE | PRV-A40-D-UNV-T3-BZ-HSS/ SSS4A205FN1 (20' POLE) |
| □ | 5 | N4 | SINGLE | PRV-A40-D-UNV-T4-BZ-HSS/ SSS4A205FN1 (20' POLE) |
| □ | 1 | N5 | SINGLE | PRV-A40-D-UNV-T5-BZ/ SSS4A205FN1 (20' POLE) |
| □ | 2 | NW3 | SINGLE | GWC-AF-01-LED-E1-SL3/ WALL MTD 15' AFG |
| □ | 1 | P3 | SINGLE | EXISTING TYPE II 150MH ON 20' POLE |
| □ | 1 | P4HS | SINGLE | EXISTING TYPE IV W-HSS 150MH ON 20' POLE |
| □ | 2 | S3-2 | BACK-BACK | 2-PRV-A25-D-UNV-T3-BZ/ MTD ON 16' EXISTING POLE |
| □ | 2 | T3 | SINGLE | EXISTING TYPE II 250HPS MTD 16' AFG |
| □ | 4 | T3-2 | BACK-BACK | 2- EXISTING TYPE III 250HPS MTD 16' AFG |
| □ | 9 | W | SINGLE | EXISTING WLB6LED |

TAX MAP 2 LOT 34-0, 34-4, 34-5 (LONDONDERRY)
TAX MAP 101 LOT 14, 15 & 17 (HUDSON)
LIGHTING PLAN
REEDS FERRY SMALL BUILDINGS INC.
3, 5, 7 TRACY LANE, HUDSON NH
OWNED BY
SMT 7 TRACEY LANE LLC & SMT TRACEY HOLDINGS LLC
PREPARED FOR
REEDS FERRY SMALL BUILDINGS INC.
SCALE: 1"=40' JUNE 22, 2018

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



LIGHTING NARRATIVE
THE INDUSTRY HAS MOVED TO WHAT IS CALLED THE B.L.U.G. RATING SYSTEM, WHICH YOU WILL FIND LISTED ON THE FIXTURES SPEC SHEETS. B.L.U.G. STANDS FOR "BACK LIGHT", "UPLIGHT" AND "GLARE" AND IT WILL LIST 0-5 IN THE RATING. "0" BEING NO UP LIGHT AND 5 HAVE A LOT OF UP LIGHT. THESE FIXTURES ARE "0" UPLIGHT - COMPATIBLE WITH THE FORMER FULL-CUTOFF DESIGNATION. THE PROPOSED LIGHTS WILL ALL BE ON PHOTOCELL TIMERS. FOR SECURITY PURPOSES, THE LIGHTS ARE ON FULL CAPACITY FROM SUN DOWN TO SUN UP - NO DIMMERS. THE NEW FIXTURES WILL BE LED TYPE.



| REV | DATE | DESCRIPTION | DR | CK |
|-----|------|-------------|----|----|
| | | | | |
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| | | | | |

TFM Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmaran.com

17851.04 DR JH FB
CK RED CADFILE 17851.04 SITE SHEET L1

Fairview Nursing Home Extension Request

Staff Report
August 3, 2018

SITE: Fairview Nursing Home – 205 & 203 Lowell Road – Map 216, Lot 2 - SP#09-17

PURPOSE OF PLAN: Pursuant to RSA 674:39, the Applicant requests a one -year extension for the approved Amended Non-Residential Site Plan, Fairview Nursing Home dated May 18, 2016, last revised 08/15/17; approved by the Planning Board on July 19, 2017. Application Acceptance & Hearing.

ATTACHMENTS:

- 1) Letter from Project Engineer Katherine Cooper requesting extension – “A”.
- 2) Notice of Decision for July 19, 2017 Planning Board approval – “B”.
- 3) Copy of approved Site Plan for Fairview Nursing Home date May 18, 2016 “C”.

COMMENTS & RECOMMENDATION: For the reasons stated in the attached letter from the project Engineer, Katherine Cooper, staff recommends granting the requested one-year extension for the Amended Non-Residential Site Plan for Fairview Nursing Home in accordance with the below DRAFT MOTION.

DRAFT MOTION:

I move to grant a two-year extension (from July 19, 2018 to July 19, 2019) for the Amended Non-Residential Site Plan, Fairview Nursing Home dated May 18, 2016, located at 205 & 203 Lowell Road – Map 216, Lot 2

Motion by: _____ Second: _____ Carried/Failed: _____

"A"

July 16, 2018

Mr. Jay Minkarah – Interim Town Planner
Planning/Land Use Department
Town of Hudson
12 School Street
Hudson, New Hampshire 03051



**Subject: Fairview Nursing Home
Site Plan Approval SP# 09-17
Map 216; Lot 2
203 Lowell Road, Hudson, New Hampshire
KNA Project No. 08-0703-1A**

Dear Mr. Minkarah,

As you are aware, our office prepared site plans for the above referenced property in 2017. Further, on July 19, 2017, the Hudson Planning Board granted the Applicant Site Plan Approval. The plan proposed to construct a new covered drop-off area for the main entryway, sidewalks along the north side of the building, and a new dumpster enclosure. In order to accommodate these changes, the existing driveway and parking area must be reconstructed. The plan also includes stormwater management improvements.

The applicant has been coordinating with other project consultants and has not been able to move forward with the development to date. Therefore, we hereby respectfully request, on behalf of our client, that the Hudson Planning Board grant a one-year extension to the previously approved site plan listed above.

Should you have any questions, or require further information, please do not hesitate to contact me at the office.

Respectfully,

Katherine Cooper
Project Engineer

TOWN OF HUDSON
PLANNING BOARD

"B"

NOTICE OF APPROVAL



12 School Street

Hudson, New Hampshire 03051

603/886-6005

July 21, 2017

Owner or Applicant: MERRIMAC REAL ESTATE INVESTORS, LLC
203 LOWELL ROAD
HUDSON, NH 03051

On Wednesday, July 19, 2017, the Hudson Planning Board heard subject case SP# 09-17 "Fairview Nursing Home Site Plan"

SUBJECT: PURPOSE OF PLAN: TO CONSTRUCT A NEW COVERED FRONT ENTRYWAY AND ADDITION OF A SIDEWALK. PARKING LOT AND DRIVEWAY RECONSTRUCTION AND OTHER SITE APPURENANCES ARE ALSO PROPOSED TO ACCOMMODATE THE NEW SIDEWALK AND ENTRY. APPLICATION ACCEPTANCE & HEARING.

LOCATION: 203 LOWELL ROAD - MAP 216/LOT 2

You are hereby notified of the subject plat presented before the Planning Board and the following action:

The Planning Board moved to accept the application calling for amending the Fairview Nursing Home Site Plan for 203 Lowell Road, Tax Map 216/Lot 2.

WAIVER MOTIONS:

- 1) HTC 276-11.1(B)(12) -- Parking Space Requirement


The Planning Board moved to grant the requested waiver -HTC 276-11.1(B)(12) -- Parking Space Requirement - based on the testimony of the Applicant's representative here this evening, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

MOTION TO APPROVE:

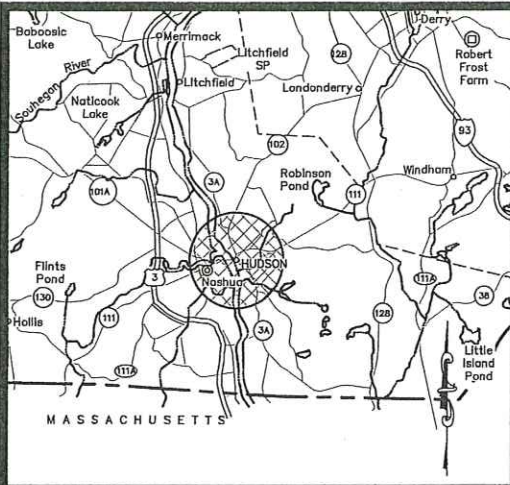
The Planning Board moved to approve the Site Plan entitled: Amended Non-Residential Site Plan Fairview Nursing Home, Map 216, Lot 2, 203 Lowell Road, Hudson, NH, prepared by Keach-Nordstrom Associates, dated: May 18, 2016, Last Revised June 26, 2017, consisting of a Cover Sheet and Sheets 1 – 13 and Sheet E1 and Notes 1 – 25, in accordance with the following terms and conditions:

1. All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Amended Site Plan-of-Record.
2. Prior to the Planning Board endorsement of the Site Plan, the Development Agreement and all easement documents shall be favorably reviewed and recommended on by Town Counsel.
3. All improvements shown on the Amended Site Plan-of-Record, including Notes 1 – 25, shall be completed in their entirety and at the expense of the Applicant or his assigns.
4. After the issuance of the foundation permit for the proposed expansion structure, as shown on the Plan, and prior to the issuance of each framing permit, the applicant shall submit to the Hudson Community Development Department a foundation “As-Built” plan on a transparency and to the same scale as the approved Plan. The foundation “As-Built” plan shall include all structural dimensions and lot line setback measurements to the foundation and be stamped by a licensed land surveyor. Any discrepancy between the approved Plan and foundation “As-Built” plan shall be documented by the applicant and become part of the foundation “As-Built” submission, and in addition, shall be submitted in Electronic Form PDF.
5. Prior to the issuance of a final certificate of occupancy for the expansion, a L.L.S. certified “As-Built” Site Plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms with the Site Plan-of-Record.
6. Exterior construction activities on the site shall be limited to between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday.
7. This approval shall be subject to final engineering review, including approval of the SWPP.
8. Applicant will enhance safety at the loading area by placing bollards, or other forms of safety barriers to protect.

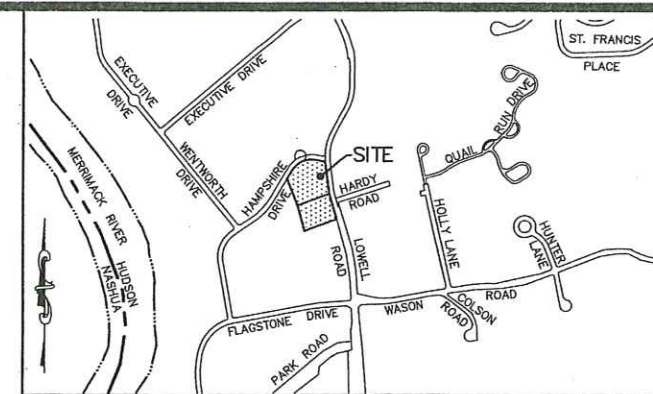
All representations of fact or intention made by the applicant or any applicant's representative during testimony before the Planning Board relative to the obtaining approval of this plan, shall be considered conditions of this approval regardless of the fact that such fact or intentions were not specifically stated as part of the motion to grant.

Signed: John Cashell Date: 7-26-17
John M. Cashell
Hudson Town Planner 

cc: Keach-Nordstrom Associates, Inc.



VICINITY PLAN
NOT TO SCALE



VICINITY MAP
SCALE: 1"=1,000'

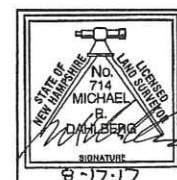
AMENDED NON-RESIDENTIAL SITE PLAN FAIRVIEW NURSING HOME

MAP 216 LOT 2 205 & 203 LOWELL ROAD HUDSON, NEW HAMPSHIRE



OWNER/APPLICANT:
MERRIMAC REAL ESTATE INVESTORS, LLC.
203 LOWELL ROAD
HUDSON, NEW HAMPSHIRE 03051

PREPARED BY:
KEACH-NORDSTROM ASSOCIATES, INC.
10 COMMERCE PARK NORTH, SUITE 3
BEDFORD, NEW HAMPSHIRE 03110
(603) 627-2881



KMA
KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

MAY 18, 2016
LAST REVISED: AUGUST 15, 2017
PROJECT NO. 08-0703-1A

| <u>SHEET TITLE</u> | <u>SHEET No.</u> |
|--|------------------|
| AMENDED MASTER SITE PLAN | 1 |
| EXISTING CONDITIONS PLAN | 2 |
| AMENDED REMOVALS/DEMOLITION PLAN | 3 |
| AMENDED NON-RESIDENTIAL SITE LAYOUT PLAN | 4 |
| AMENDED GRADING AND DRAINAGE PLAN | 5 |
| AMENDED EROSION CONTROL PLAN | 6 |
| AMENDED LANDSCAPE PLAN | 7 |
| AMENDED LIGHTING PLAN | 8 |
| AMENDED SIGHT DISTANCE PLAN & PROFILE | 9 |
| AMENDED CONSTRUCTION DETAILS | 10 - 13 |
| TEMPORARY PARKING LOT EXHIBIT | E1 |

| | | |
|--|---|----------------------|
| PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL | APPROVED BY THE HUDSON, NH PLANNING BOARD | |
| | DATE OF MEETING: _____ | |
| | SIGNATURE _____ | SIGNATURE DATE _____ |
| | SIGNATURE _____ | SIGNATURE DATE _____ |
| SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL. | | |

L:\Project\0807031A\Drawings\Production\Drawings\0807031A-02\ALS.dwg, Layout1, 8/16/2017 12:44:12 PM, rlewis

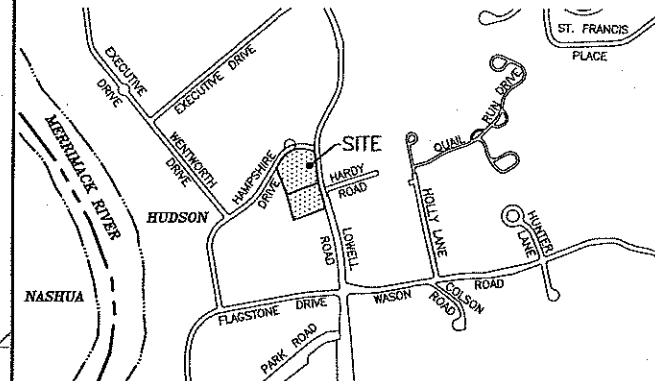
PLAN REFERENCES:

1. "CONSOLIDATION & SUBDIVISION PLAN, LOWELL ROAD, HUDSON, NH", FOR G.Q. NASH & S.A. TAMPOSI, BY A.E. MAYNARD CIVIL ENGINEER, DATED DEC. 1980, SCALE: 1"=100', H.C.R.D. PLAN #13870
2. "LOT LINE RELOCATION PLAN, HAMPSHIRE DRIVE, HUDSON, NH", FOR NASH FAMILY INVESTMENT PROPERTIES, BY MAYNARD & PAQUETTE, INC., DATED NOV. 1982, SCALE: 1"=40', H.C.R.D. PLAN #15352
3. "FAIRVIEW NURSING HOME SITE PLAN, HUDSON, NH", BY H.K. FITZGERALD JR. AND ASSOCIATES, DATED MAY 18, 1983, H.C.R.D. PLAN #15765
4. "SUBDIVISION PLAN, LOWELL ROAD, HUDSON, NH", FOR JOHN HARDY, BY A.E. MAYNARD CIVIL ENGINEER, DATED OCT. 1979, SCALE: 1"=100', H.C.R.D. PLAN #12707
5. "CONSOLIDATION PLAN, LOWELL ROAD, HUDSON, NH", FOR FAIRVIEW NURSING HOME, BY W. ROBERT NOLTE & ASSOCIATES, DATED MAY 1983, SCALE: 1"=40', H.C.R.D. PLAN #15640
6. "CONSTRUCTION PLANS OF PROPOSED FEDERAL AID PROJECT", N.H. ROUTE 3A, LOWELL ROAD, HUDSON, NH, BY NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, DATED AUG. 2001, SCALE: 1"=100', STATE PLAN #3180
7. "ALTA/ACSM LAND SURVEY, FAIRVIEW NURSING HOME AND LAUREL PLACE, 203 LOWELL ROAD, HUDSON, NH", FOR FG HEALTHCARE PROPERTIES, L.L.C. BY MILLMAN SURVEYING, INC., DATED JAN. 11, 2007, SCALE: 1"=30'
8. "ALTA/ACSM LAND SURVEY, FAIRVIEW NURSING HOME AND LAUREL PLACE, 205 LOWELL ROAD, HUDSON, NH", FOR FG HEALTHCARE PROPERTIES, L.L.C. BY MILLMAN SURVEYING, INC., DATED NOV. 05, 2007, SCALE: 1"=30'
9. "RIGHT OF WAY ACQUISITION PLANS, LOWELL ROAD, HUDSON, NH", FOR JUBR REALTY ASSOCIATES, BY SEA CONSULTANTS, INC., DATED MAR. 27, 2001, SCALE: 1"=50', H.C.R.D. PLAN #31280
10. "SHELTERED CARE FACILITY SITE PLAN, HUDSON, NH", BY H.K. FITZGERALD JR. AND ASSOCIATES, DATED AUG. 12, 1987, SCALE: 1"=20', H.C.R.D. PLAN #26808
11. "LOT LINE ADJUSTMENT PLAN, FAIRVIEW NURSING HOME, MAP 216; LOTS 1 & 2, 203 & 205 LOWELL ROAD, HUDSON, NEW HAMPSHIRE", PREPARED BY: KEACH-NORDSTROM ASSOCIATES, INC.; DATED: NOVEMBER 2, 2012; SHEETS 1 THROUGH 2.
12. "AMENDED NON-RESIDENTIAL SITE PLAN, FAIRVIEW NURSING HOME, MAP 216; LOT 2, 203 LOWELL ROAD, HUDSON, NEW HAMPSHIRE", DATED: NOVEMBER 2, 2012; LAST REVISED 04/02/13, PREPARED BY: KEACH-NORDSTROM ASSOCIATES, INC.; SHEETS 1 THROUGH 16.

GENERAL NOTES (CONTINUED):

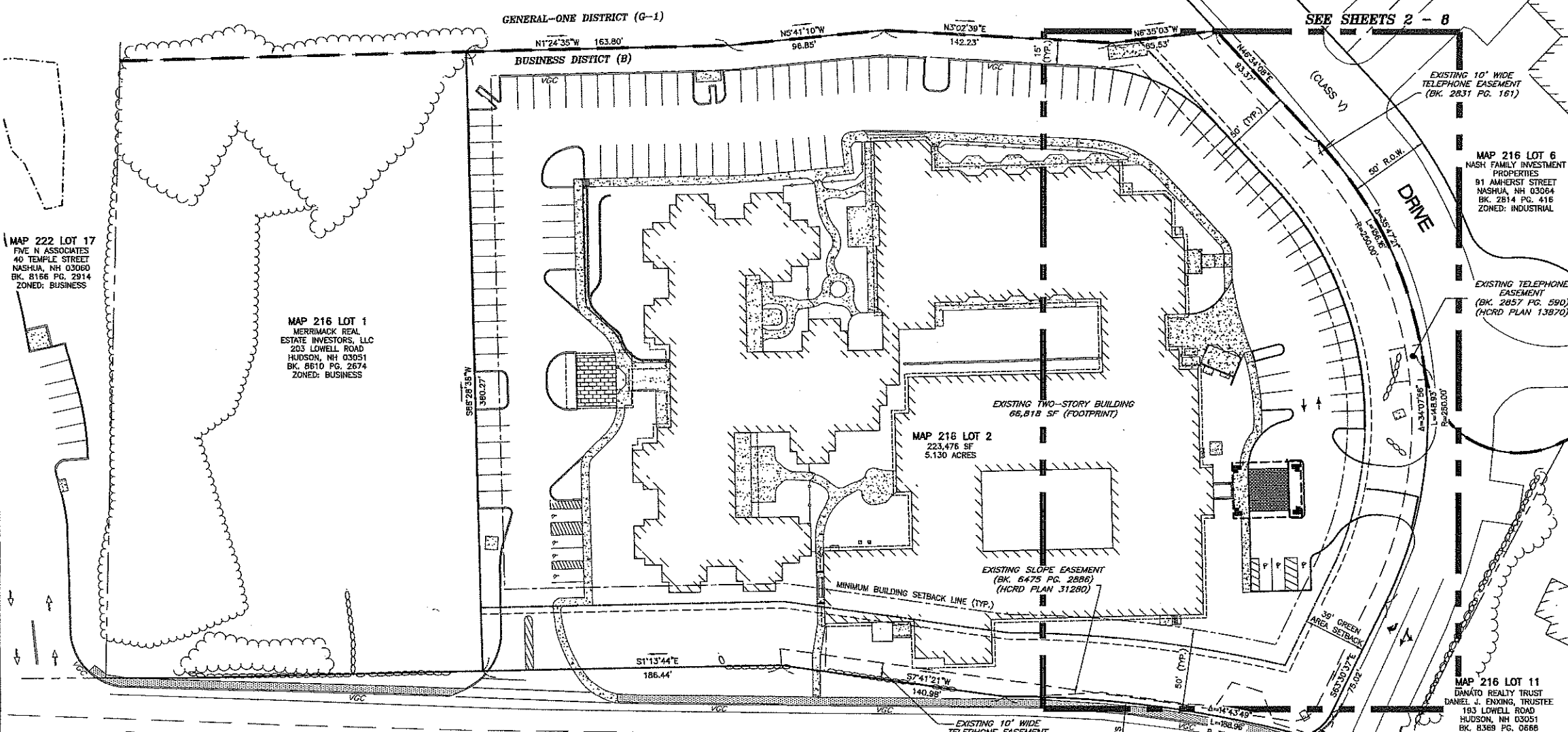
25. ALL IMPROVEMENTS SHOWN ON THE SITE PLAN-OF-RECORD, INCLUDING NOTES 1-29, SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
26. THIS APPROVAL SHALL BE SUBJECT TO FINAL ENGINEERING REVIEW.
27. ALL STIPULATIONS OF APPROVAL SHALL BE INCORPORATED INTO THE DEVELOPMENT AGREEMENT, WHICH SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS, TOGETHER WITH THE SITE PLAN-OF-RECORD.
28. PRIOR TO THE PLANNING BOARD ENDORSEMENT OF THE SITE PLAN, THE DEVELOPMENT AGREEMENT AND ALL EASEMENT DOCUMENTS, INCLUDING DRAINAGE, SHARED DRIVEWAYS AND SHARED PARKING, SHALL BE FAVORABLY REVIEWED AND RECOMMENDED BY THE TOWN COUNSEL.
29. THIS APPROVAL SHALL BE SUBJECT TO FINAL ENGINEERING REVIEW.

MAP 216 LOT 3
NASH FAMILY INVESTMENT PROPERTIES
c/o GERALD Q. NASH
40 TEMPLE STREET
NASHUA, NH 03060
BK. 2814 PG. 416
ZONED: INDUSTRIAL



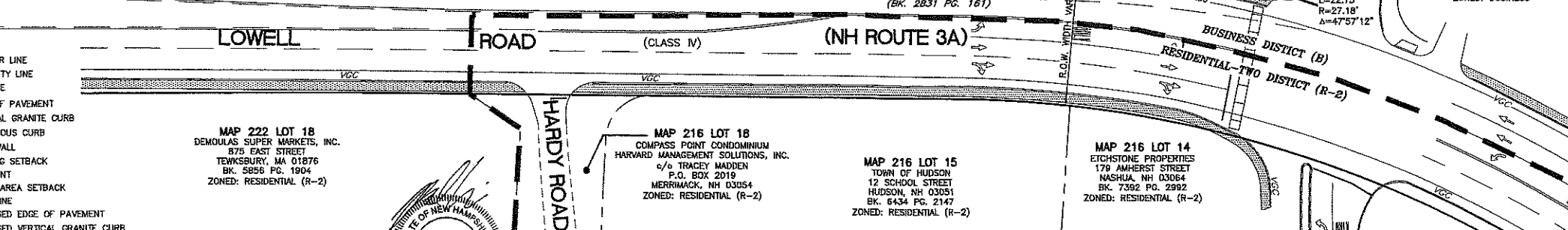
GENERAL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE LAYOUT OF A NEW ENTRY VESTIBULE, PROPOSED CANOPY AND THE ASSOCIATED PARKING AND SITE IMPROVEMENTS ON MAP 216 LOT 2.
2. MAP 216 LOT 2 INDICATES TOWN OF HUDSON TAX ASSESSORS MAP AND LOT NUMBER.
3. TOTAL SITE AREA = 223,476 SF, OR 5.130 ACRES
4. PRESENT OWNER OF RECORD: MERRIMACK REAL ESTATE INVESTORS, L.L.C. 203 LOWELL ROAD HUDSON, NH 03051 H.C.R.D. BK. 8610 PG. 2674
5. PRESENT ZONING: BUSINESS (B) MINIMUM LOT REQUIREMENTS: - LOT AREA: 30,000 SF (WITH WATER AND SEWER) - LOT FRONTAGE: 150 FT (ARTERIAL/COLLECTOR) MINIMUM BUILDING SETBACKS: LOCAL ROAD/COLLECTOR/ARTERIAL - FRONT: 50 FT - SIDE: 15 FT - REAR: 15 FT
6. EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 33011C06560 PANEL NUMBER 656 OF 701, EFFECTIVE DATE: SEPTEMBER 25, 2009 INDICATES THAT THE SUBJECT PREMISES IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.
7. MAP 216 LOT 2 IS SERVED BY MUNICIPAL WATER AND SEWER.
8. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
9. BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE DURING JULY OF 2006, AUGUST OF 2014 AND DECEMBER OF 2016.
10. HORIZONTAL DATUM IS MAGNETIC 2008.
11. SITE SPECIFIC SOIL SURVEY PERFORMED BY GOVE ENVIRONMENTAL SERVICES IN DECEMBER 2009.
12. GOVE ENVIRONMENTAL SERVICES CONDUCTED A SITE WALK IN NOVEMBER 2012 AND CONFIRMED THAT NO JURISDICTIONAL WETLANDS WERE PRESENT ON-SITE.
13. PARKING: EXISTING: 117 SPACES (INCLUDING 7 HANDICAP SPACES) BASIS: 1 SPACE/75 PATENTS REQUIRED: 170 BEDS/5 = 34 SPACES PROVIDED: 113 SPACES (INCLUDING 7 HANDICAP SPACES)
14. LOADING: REQUIRED: 1 SPACE FOR FIRST 5,000 SF + 1 SPACE FOR EACH ADDITIONAL 10,000 SF PROVIDED: 1 SPACE EXISTING
15. OPEN SPACE: REQUIRED: 35% PROVIDED: 35.5%
16. SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
17. SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADE.
18. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
19. EXTERIOR CONSTRUCTION ACTIVITIES ON THE SITE SHALL BE LIMITED TO BETWEEN 7:00 AM AND 7:00 PM MONDAY THROUGH SATURDAY. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS.
20. REQUIRED STATE PERMITS FOR CONSTRUCTION: AMENDED NHDES ALTERATION OF TERRAIN PERMIT -- PERMIT# AOT-0521A HR 276-11.1.B.(12) -- PARKING WITHIN BUILDING SETBACK
21. WAIVER GRANTED ON JULY 18, 2012.
22. PLOWED SNOW FROM THE FACILITIES, DRIVEWAY, PARKING LOTS AND SIDEWALK SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
23. IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON WEEKENDS.
24. ON-SITE DRAINAGE SYSTEMS SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH NHDES REQUIREMENTS FOR SUCH SYSTEMS.
25. THE APPLICANT'S ENGINEER AND/OR CONTRACTOR SHALL CONTACT THE TOWN OF HUDSON TO SCHEDULE A PRECONSTRUCTION MEETING, WHICH WILL BE HELD WITH STAFF PRIOR TO STARTING CONSTRUCTION.



LEGEND

- ABUTTER LINE
- PROPERTY LINE
- TREELINE
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- BITUMINOUS CURB
- STONEWALL
- BUILDING SETBACK
- EASEMENT
- GREEN AREA SETBACK
- ZONE LINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED VERTICAL GRANITE CURB



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

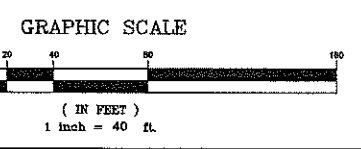
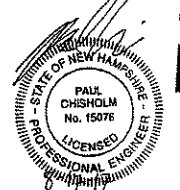
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

SIGNATURE: _____ SIGNATURE DATE: _____

SIGNATURE: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



OWNER OF MAP 216 LOT 2

SIGNATURE: *[Signature]*

FOR MERRIMACK REAL ESTATE INVESTORS, L.L.C.

DATE: 5/1/2017

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE DURING JULY OF 2006, AUGUST OF 2014 AND DECEMBER OF 2016. SAID SURVEY HAS A RELATIVE ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) OR BETTER.

[Signature]
LICENSED LAND SURVEYOR

8-17-17
DATE

**AMENDED MASTER SITE PLAN
FAIRVIEW NURSING HOME**

MAP 216 LOT 2
203 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: MERRIMACK REAL ESTATE INVESTORS, L.L.C. 203 LOWELL ROAD HUDSON, NH 03051 H.C.R.D. BK. 8610 PG. 2674

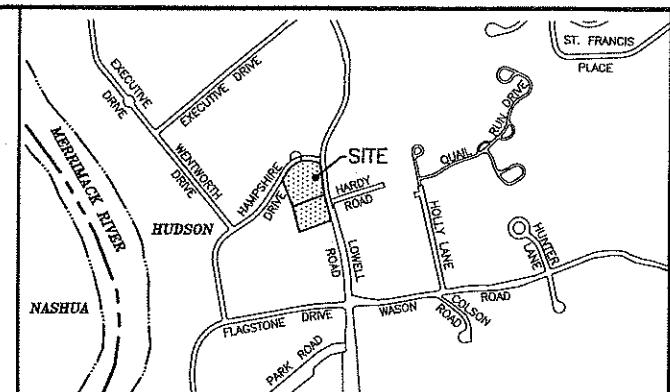
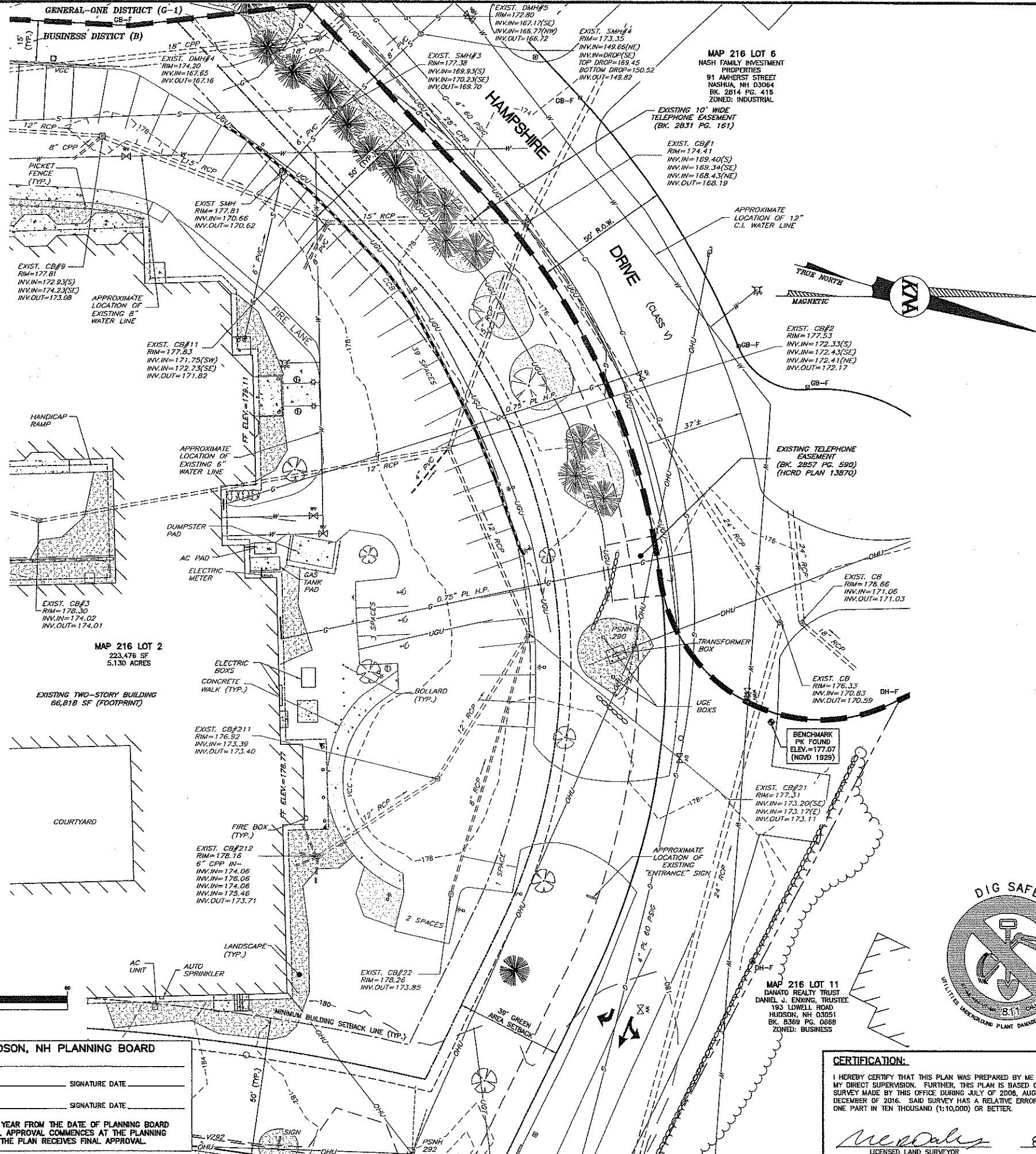
APPLICANT: MERRIMACK REAL ESTATE INVESTORS, L.L.C. 203 LOWELL ROAD HUDSON, NH 03051

KA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 2B, Bedford, NH 03110 Phone (603) 627-8801

| REVISIONS | | | |
|-----------|----------|----------------------------|-----|
| No. | DATE | DESCRIPTION | BY |
| 1 | 08/26/17 | PEER REVIEW | DMS |
| 2 | 08/15/17 | PER CONDITIONS OF APPROVAL | DMS |

DATE: MAY 3, 2017 SCALE: 1" = 40'
PROJECT NO: 08-0703-1A SHEET 1 OF 13

Project: 0807031A.dwg Production: 0807031A.dwg Date: 8/16/2017 12:43:59 PM, dwg

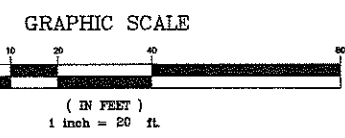


- PLAN REFERENCES:**
- "CONSOLIDATION & SUBDIVISION PLAN, LOWELL ROAD, HUDSON, NH", FOR G.Q. NASH & S.A. TAMPOSI, BY A.E. MAYNARD CIVIL ENGINEER, DATED DEC. 1980, SCALE: 1"=100'. H.C.R.D. PLAN #3870
 - "LOT LINE RELOCATION PLAN, HAMPSHIRE DRIVE, HUDSON, NH", FOR NASH FAMILY INVESTMENT PROPERTIES, BY MAYNARD & PAQUETTE, INC., DATED NOV. 1982, SCALE: 1"=40'. H.C.R.D. PLAN #5352
 - "FAIRVIEW NURSING HOME SITE PLAN, HUDSON, NH", BY H.K. FITZGERALD JR. AND ASSOCIATES, DATED MAY 18, 1983. H.C.R.D. PLAN #15765
 - "SUBDIVISION PLAN, LOWELL ROAD, HUDSON, NH", FOR JOHN HARDY, BY A.E. MAYNARD CIVIL ENGINEER, DATED OCT. 1979, SCALE: 1"=100'. H.C.R.D. PLAN #2707
 - "CONSOLIDATION PLAN, LOWELL ROAD, HUDSON, NH", FOR FAIRVIEW NURSING HOME, BY W. ROBERT NOLTE & ASSOCIATES, DATED MAY 1983, SCALE: 1"=40'. H.C.R.D. PLAN #15640
 - "CONSTRUCTION PLANS OF PROPOSED FEDERAL AID PROJECT", N.H. ROUTE 3A, LOWELL ROAD, HUDSON, NH, BY NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, DATED AUG. 2001, SCALE: 1"=100'.
 - "ALTA/ACSM LAND SURVEY, FAIRVIEW NURSING HOME AND LAUREL PLACE, 203 LOWELL ROAD, HUDSON, NH", FOR FG HEALTHCARE PROPERTIES, LLC, BY MILLMAN SURVEYING, INC., DATED JAN. 11, 2007, SCALE: 1"=30'.
 - "ALTA/ACSM LAND SURVEY, FAIRVIEW NURSING HOME AND LAUREL PLACE, 205 LOWELL ROAD, HUDSON, NH", FOR FG HEALTHCARE PROPERTIES, LLC, BY MILLMAN SURVEYING, INC., DATED NOV. 05, 2007, SCALE: 1"=30'.
 - "RIGHT OF WAY ACQUISITION PLANS, LOWELL ROAD, HUDSON, NH", FOR JUBR REALTY ASSOCIATES, BY SEA CONSULTANTS, INC., DATED MAR. 27, 2001, SCALE: 1"=50'.
 - "SHELTERED CARE FACILITY SITE PLAN, HUDSON, NH", BY H.K. FITZGERALD JR. AND ASSOCIATES, DATED AUG. 12, 1987, SCALE: 1"=20'. H.C.R.D. PLAN #26805
 - "LOT LINE ADJUSTMENT PLAN, FAIRVIEW NURSING HOME, MAP 216; LOTS 1 & 2, 203 & 205 LOWELL ROAD, HUDSON, NEW HAMPSHIRE"; PREPARED BY: KEACH-NORDSTROM ASSOCIATES, INC.; DATED: NOVEMBER 2, 2012; SHEETS 1 THROUGH 2.
 - "AMENDED NON-RESIDENTIAL SITE PLAN, FAIRVIEW NURSING HOME, MAP 216; LOT 2, 203 LOWELL ROAD, HUDSON, NEW HAMPSHIRE"; DATED: NOVEMBER 2, 2012; LAST REVISED 04/02/13. PREPARED BY: KEACH-NORDSTROM ASSOCIATES, INC.; SHEETS 1 THROUGH 18.

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS IN THE AREA OF PROPOSED DEVELOPMENT OF LOT 2 ON THE TOWN OF HUDSON TAX MAP 216.
 - MAP 216 LOT 2 INDICATES TOWN OF HUDSON TAX ASSESSORS MAP AND LOT NUMBER.
 - TOTAL SITE AREA = 223,476 SF, OR 5.130 ACRES
 - PRESENT OWNER OF RECORD: MERRIMACK REAL ESTATE INVESTORS, LLC. 203 LOWELL ROAD HUDSON, NH 03051 H.C.R.D. BK. 8610 PG. 2674
 - PRESENT ZONING: BUSINESS (B) MINIMUM LOT REQUIREMENTS: LOT AREA: 30,000 SF (WITH WATER AND SEWER) LOT FRONTAGE: 150 FT (ARTERIAL/COLLECTOR) MINIMUM BUILDING SETBACKS: LOCAL ROAD/COLLECTOR/ARTERIAL - FRONT: 50 FT - SIDE: 15 FT - REAR: 15 FT
 - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 33011C06560 PANEL NUMBER 856 OF 701, EFFECTIVE DATE: SEPTEMBER 25, 2009 INDICATES THAT THE SUBJECT PREMISES IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.
 - MAP 216 LOT 2 IS SERVICED BY MUNICIPAL WATER AND SEWER.
 - BENCHMARKS SET AS NOTED, BASED ON NGVD 1929.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
 - BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE DURING JULY OF 2008, AUGUST OF 2014 AND DECEMBER OF 2016.
 - GOVE ENVIRONMENTAL SERVICES CONDUCTED A SITE WALK IN NOVEMBER 2012 AND CONFIRMED THAT NO JURISDICTIONAL WETLANDS WERE PRESENT ON-SITE.
 - HORIZONTAL DATUM IS MAGNETIC 2008.
 - SITE SPECIFIC SOIL SURVEY PERFORMED BY GOVE ENVIRONMENTAL SERVICES IN DECEMBER 2009.

LEGEND

- GB-F GRANITE BOUND FOUND
- IPIN-F IRON PIN FOUND
- DH-F DRILL HOLE FOUND
- UTILITY POLE
- SIGN
- LIGHT
- GAS VALVE
- WATER VALVE
- HYDRANT
- WATER SHUT OFF
- SEWER MANHOLE
- DRAINAGE MANHOLE
- CATCH BASIN
- ABUTTER LINE
- PROPERTY LINE
- PICKET FENCE
- OVERHEAD UTILITIES
- GAS LINE
- WATER LINE
- SEWER LINE
- DRAINAGE LINE
- TREELINE
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- BITUMINOUS CURB
- 10' CONTOUR
- 2' CONTOUR
- STONEMALL
- BUILDING SETBACK EASEMENT
- GREEN AREA SETBACK
- SITE SPECIFIC SOIL LINE
- ZONE LINE



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____

SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

EXISTING CONDITIONS PLAN
FAIRVIEW NURSING HOME

MAP 216 LOT 2
 203 LOWELL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD:
 MERRIMACK REAL ESTATE INVESTORS, LLC
 203 LOWELL ROAD
 HUDSON, NH 03051
 H.C.R.D. BK. 8610 PG. 2674

APPLICANT:
 MERRIMACK REAL ESTATE INVESTORS, LLC
 203 LOWELL ROAD
 HUDSON, NH 03051

KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE DURING JULY OF 2008, AUGUST OF 2014 AND DECEMBER OF 2016. SAID SURVEY HAS A RELATIVE ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) OR BETTER.

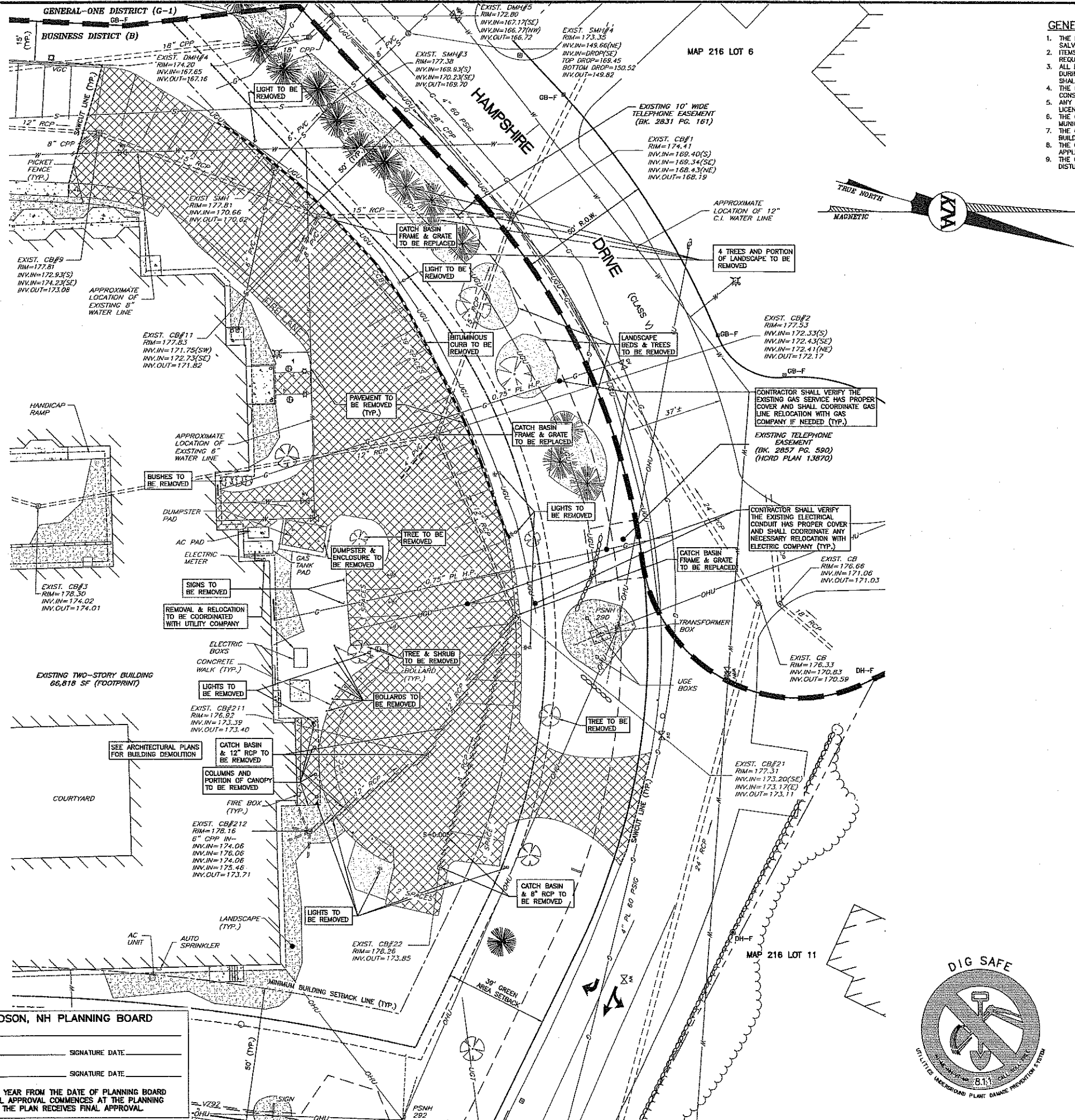
Michael R. Dahlberg
 LICENSED LAND SURVEYOR

8-17-17
 DATE

| REVISIONS | | | |
|-----------|----------|----------------------------|-----|
| No. | DATE | DESCRIPTION | BY |
| 1 | 05/26/17 | PEER REVIEW | DMS |
| 2 | 05/15/17 | PER CONDITIONS OF APPROVAL | DMS |

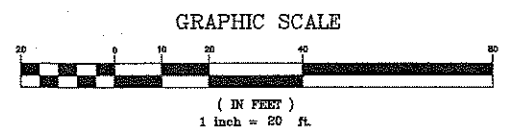
DATE: MAY 3, 2017
 PROJECT NO: 08-0703-1A
 SCALE: 1" = 20'
 SHEET 2 OF 13

Project: 0807031A.dwg Production Drawings: 0807031A - SITE PLAN.dwg, EXIST. 8/15/2017 12:43:46 PM, rtwb



- GENERAL NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING FEATURES ON SITE TO BE REMOVED, SALVAGED OR REPLACED.
 2. ITEMS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH THE TOWN OF HUDSON REQUIREMENTS, UNLESS OTHERWISE SHOWN HEREON OR DIRECTED BY OWNER.
 3. ALL EXISTING PAVEMENT AND GRAVEL WITHIN THE CROSS HATCHED AREA IS TO BE REMOVED DURING THE DEMOLITION PHASE OF THE PROJECT. EXCESS MATERIAL FROM THESE AREAS SHALL BE APPROPRIATELY DISPOSED OF OFFSITE.
 4. THE CONTRACTOR SHALL CONTROL ALL DUST GENERATED DURING THE REMOVAL PHASE AND CONSTRUCTION PHASE SO THAT NO DUST LEAVES THE SITE.
 5. ANY MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE RESET BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR AT THE SITE CONTRACTORS EXPENSE.
 6. THE CONTRACTOR SHALL REMOVE ALL STUMPS IN ACCORDANCE WITH ALL STATE AND MUNICIPAL REQUIREMENTS.
 7. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR ANY AND ALL REQUIRED BUILDING DEMOLITION.
 8. THE CONTRACTOR SHALL COORDINATE ANY NECESSARY UTILITY RELOCATION WITH THE APPLICABLE UTILITY COMPANY.
 9. THE CONTRACTOR SHALL CALL DIGSAFE PRIOR TO COMMENCING REMOVALS AND EARTH DISTURBANCE.

- LEGEND**
- ⊕ GB-F GRANITE BOUND FOUND
 - ⊕ IPIN-F IRON PIN FOUND
 - ⊕ DH-F DRILL HOLE FOUND
 - ⊕ UTILITY POLE FOUND
 - ⊕ SIGN
 - ⊕ LIGHT
 - ⊕ GAS VALVE
 - ⊕ WATER VALVE
 - ⊕ HYDRANT
 - ⊕ WATER SHUT OFF
 - ⊕ SEWER MANHOLE
 - ⊕ DRAINAGE MANHOLE
 - ⊕ CATCH BASIN
 - ⊕ ABUTTER LINE
 - ⊕ PROPERTY LINE
 - ⊕ PICKET FENCE
 - ⊕ OVERHEAD UTILITIES
 - ⊕ GAS LINE
 - ⊕ WATER LINE
 - ⊕ SEWER LINE
 - ⊕ DRAINAGE LINE
 - ⊕ TREELINE
 - ⊕ EDGE OF PAVEMENT
 - ⊕ VERTICAL GRANITE CURB
 - ⊕ BITUMINOUS CURB
 - ⊕ STONEWALL
 - ⊕ BUILDING SETBACK
 - ⊕ EASEMENT
 - ⊕ GREEN AREA SETBACK
 - ⊕ ZONE LINE



AMENDED REMOVALS/DEMOLITION PLAN
FAIRVIEW NURSING HOME
 MAP 216 LOT 2
 203 LOWELL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD: MERRIMAC REAL ESTATE INVESTORS, LLC
 203 LOWELL ROAD
 HUDSON, NH 03051
 H.C.R.D. BK. 8610 PG. 2674

APPLICANT: MERRIMAC REAL ESTATE INVESTORS, LLC
 203 LOWELL ROAD
 HUDSON, NH 03051

KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 5B, Bedford, NH 03110 Phone (603) 827-2881

| REVISIONS | | | |
|-----------|----------|----------------------------|-----|
| No. | DATE | DESCRIPTION | BY |
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| 2 | 08/15/17 | PER CONDITIONS OF APPROVAL | DMS |

DATE: MAY 3, 2017 SCALE: 1" = 20'
 PROJECT NO: 08-0703-1A SHEET 3 OF 13



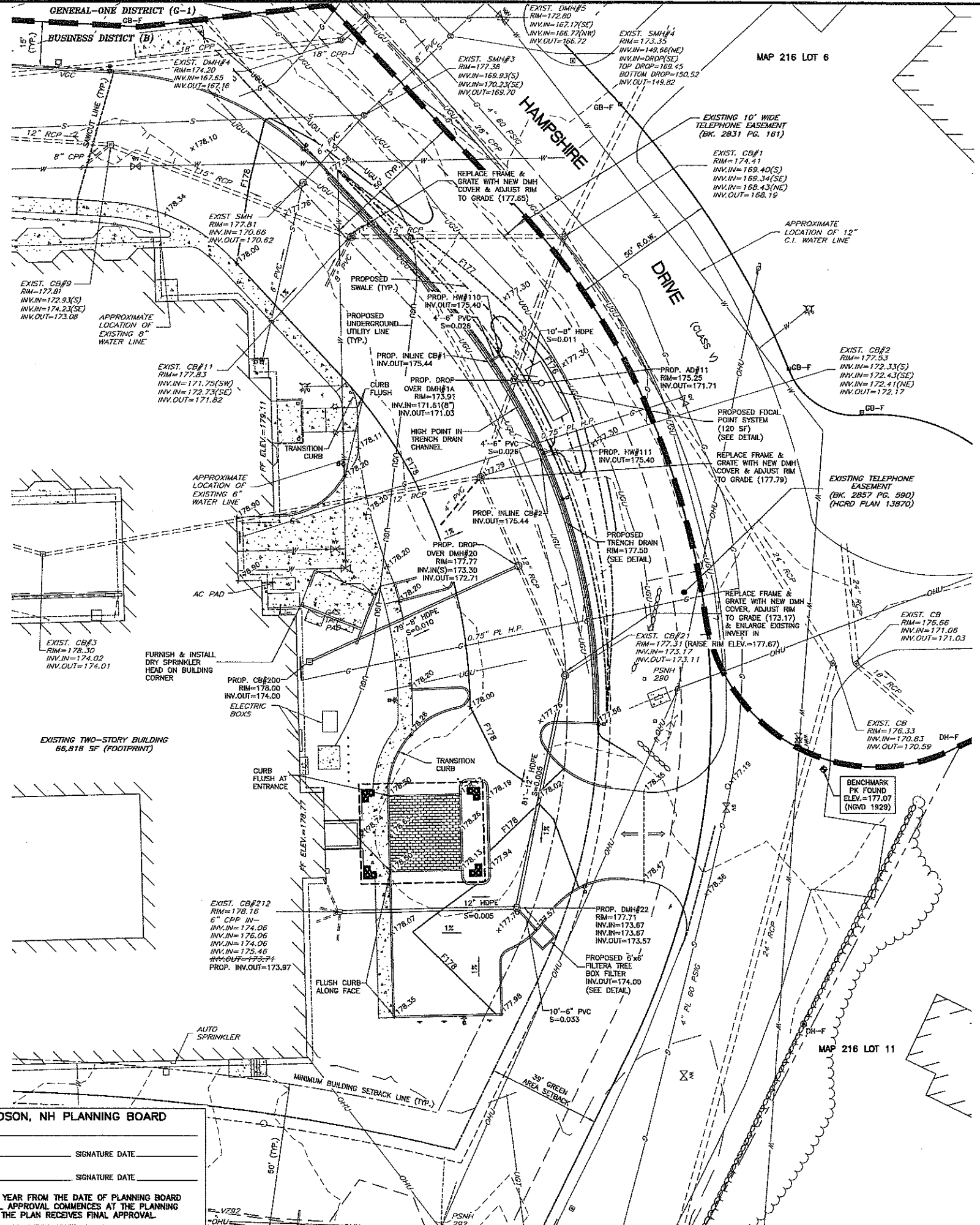
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

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 SIGNATURE _____ SIGNATURE DATE _____

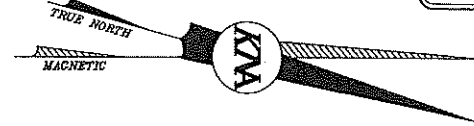
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

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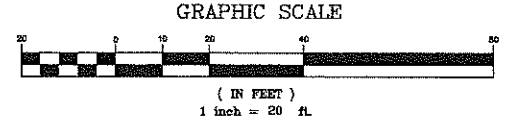


- CONSTRUCTION NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPARTMENT, HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHOWN SHALL BE HDPEP. CATCH BASINS SHALL BE TYPE B, AND HAVE 3' SUMPS UNLESS OTHERWISE NOTED.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
 4. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 5. SEE DRAINAGE PROFILES AND CONSTRUCTION DETAILS FOR SPECIFIC CONSTRUCTION INFORMATION.
 6. CONTRACTOR SHALL REPLACE EXISTING CB#212, CB#21, CB#2, AND CB#11 IF EXISTING STRUCTURES CAN'T BE MODIFIED AS SHOWN HEREON.

LOAM & SEED ALL DISTURBED AREAS (TYP.)



- LEGEND**
- SB FND. STONE BOUND FOUND
 - ⊙ DH FND. DRILL HOLE FOUND
 - ⊙ DH SET. DRILL HOLE SET
 - ⊙ IRON PIN SET. IRON PIN SET
 - ⊙ STONE BOUND SET. STONE BOUND SET
 - ⊙ UTILITY POLE. UTILITY POLE
 - ⊙ LIGHT. LIGHT
 - ⊙ STREET LIGHT. STREET LIGHT
 - ⊙ SIGN. SIGN
 - ⊙ GAS VALVE. GAS VALVE
 - ⊙ WATER VALVE. WATER VALVE
 - ⊙ FIRE HYDRANT. FIRE HYDRANT
 - ⊙ CATCH BASIN. CATCH BASIN
 - ⊙ DRAIN MANHOLE. DRAIN MANHOLE
 - ⊙ SEWER MANHOLE. SEWER MANHOLE
 - ⊙ TELEPHONE MANHOLE. TELEPHONE MANHOLE
 - ⊙ PROPOSED CATCH BASIN. PROPOSED CATCH BASIN
 - ⊙ PROPOSED DRAIN MANHOLE. PROPOSED DRAIN MANHOLE
 - ⊙ TEST FIT. TEST FIT
 - ⊙ AUGER PROBE. AUGER PROBE
 - ⊙ 62B. SITE SPECIFIC SOIL TYPE SYMBOL
 - ⊙ FENCE. FENCE
 - ⊙ TREELINE. TREELINE
 - ⊙ STONEWALL. STONEWALL
 - ⊙ EDGE OF PAVEMENT. EDGE OF PAVEMENT
 - ⊙ DRAINAGE LINE. DRAINAGE LINE
 - ⊙ BUILDING SETBACK LINE. BUILDING SETBACK LINE
 - ⊙ EASEMENT. EASEMENT
 - ⊙ 10' CONTOUR. 10' CONTOUR
 - ⊙ 2' CONTOUR. 2' CONTOUR
 - ⊙ PROPOSED EDGE OF PAVEMENT. PROPOSED EDGE OF PAVEMENT
 - ⊙ PROPOSED VERTICAL GRANITE CURB. PROPOSED VERTICAL GRANITE CURB
 - ⊙ PROPOSED SLOPED GRANITE CURB. PROPOSED SLOPED GRANITE CURB
 - ⊙ PROPOSED 2' CONTOUR. PROPOSED 2' CONTOUR
 - ⊙ PROPOSED DRAINAGE LINE. PROPOSED DRAINAGE LINE



AMENDED GRADING & DRAINAGE PLAN
FAIRVIEW NURSING HOME

MAP 216 LOT 2
 203 LOWELL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

| | |
|---|---|
| OWNER OF RECORD: MERRIMAC REAL ESTATE INVESTORS, LLC 203 LOWELL ROAD HUDSON, NH 03051 H.C.R.D. BK. 8610 PG. 2674 | APPLICANT: MERRIMAC REAL ESTATE INVESTORS, LLC 203 LOWELL ROAD HUDSON, NH 03051 |
|---|---|



KMA KRACH--NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (805) 827-2891

REVISIONS

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|-----|----------|----------------------------|-----|
| 1 | 06/26/17 | PEER REVIEW | DMS |
| 2 | 08/15/17 | PER CONDITIONS OF APPROVAL | DMS |

DATE: MAY 3, 2017 SCALE: 1" = 20'
 PROJECT NO: 06-0703-1A SHEET 5 OF 13

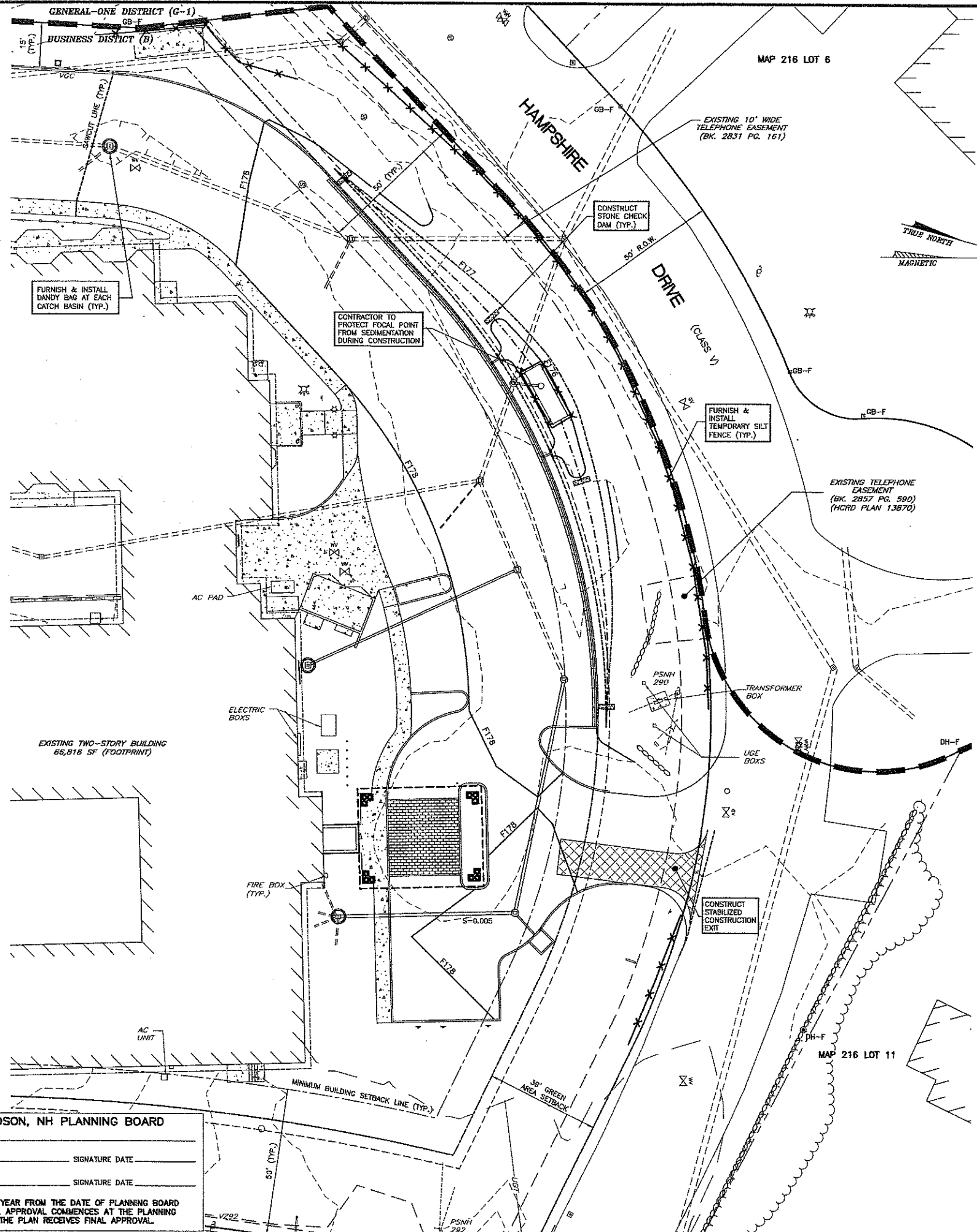
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

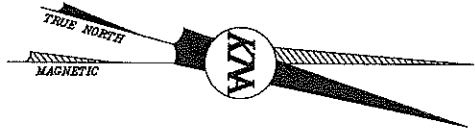
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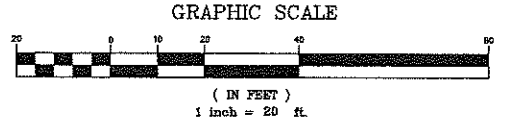
- EROSION CONTROL NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES AS WELL AS THE PERMANENT EROSION CONTROL MEASURES.
 2. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL, TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME BY THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES.
 3. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION, WHEN NECESSARY, SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
 4. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
 5. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
 6. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
 7. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
 8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
 9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
 10. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.



LOAM & SEED ALL DISTURBED AREAS (TYP.)

EROSION & SEDIMENT CONTROL LEGEND

- PERMANENT OUTLET PROTECTION APRON (RIP RAP)
- TEMPORARY DANDY BAG AT ALL CATCH BASINS
- SILT FENCE
- TEMPORARY STONE CHECK DAM
- LIMITS OF CLEARING
- STABILIZED CONSTRUCTION EXIT
- STAGING AND STOCKPILE AREA
- EROSION CONTROL BLANKETS

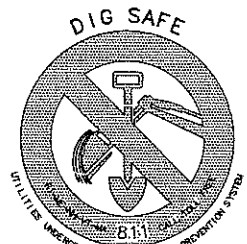


**AMENDED EROSION CONTROL PLAN
FAIRVIEW NURSING HOME**

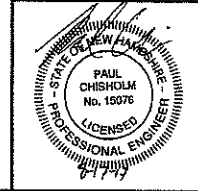
MAP 216 LOT 2
203 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: MERRIMAC REAL ESTATE INVESTORS, LLC
203 LOWELL ROAD
HUDSON, NH 03051
H.C.R.D. BK. 8610 PG. 2674

APPLICANT: MERRIMAC REAL ESTATE INVESTORS, LLC
203 LOWELL ROAD
HUDSON, NH 03051



KM REACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



| REVISIONS | | | |
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| No. | DATE | DESCRIPTION | BY |
| 1 | 08/28/17 | FEED REVIEW | DMS |
| 2 | 08/15/17 | PER CONDITIONS OF APPROVAL | DMS |
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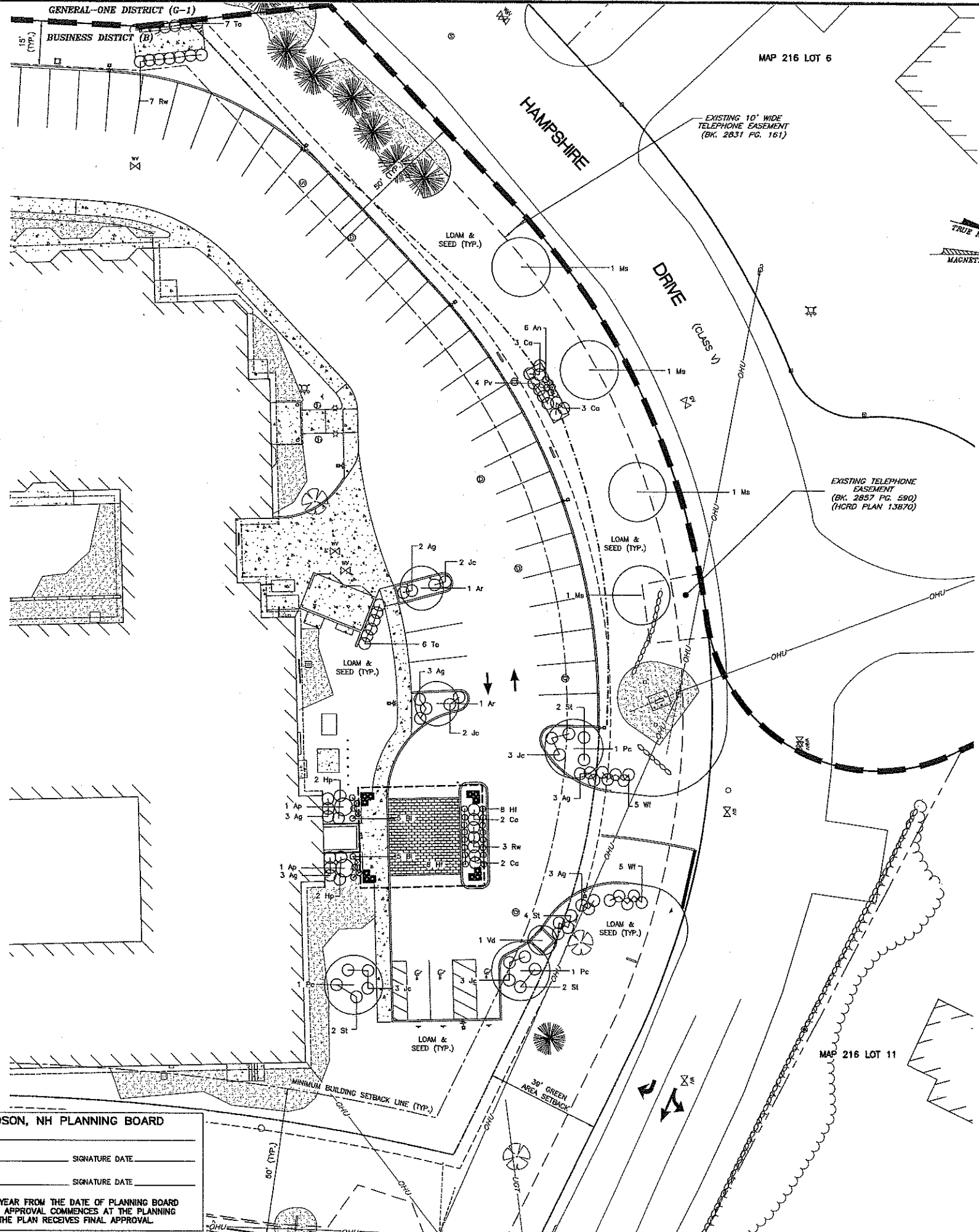
DATE: MAY 3, 2017 SCALE: 1" = 20'
PROJECT NO: 08-0703-1A SHEET 6 OF 13

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

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LANDSCAPE NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE LANDSCAPE WHICH PROVIDES CLIMATIC RELIEF AND AESTHETIC APPEAL.
2. ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOW HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTIES TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
3. IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS: ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% PEATMOSS AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
4. PLANTING BEDS AND SAUCERS SHALL RECEIVE A 4" MINIMUM THICKNESS OF PINE/HEMLOCK BARK MULCH OVER A 5oz. POLYPROPYLENE WEED CONTROL FABRIC.
5. PAVEMENT AND ROAD BASE MATERIAL ENCOUNTERED IN ANY LAWN OR PLANTING BED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AND SUITABLE AMENDED SOIL INSTALLED AS SPECIFIED IN THE TURF ESTABLISHMENT SCHEDULE.

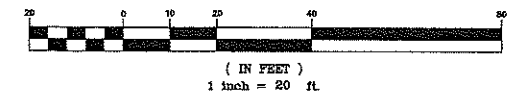
LANDSCAPE CALCULATIONS

| | |
|---|--------------------|
| REQUIRED PARKING LOT SHADE TREES AND SHRUBS | |
| PROPOSED PAVED AREA | 14,014 SF |
| SHADE TREES REQUIRED (14,112/1,600): | 9 TREES REQUIRED |
| (OR 1 TREE/5 PROP. PARKING SPACES) | 7 TREES REQUIRED |
| SHADE TREES PROVIDED: | 9 TREES PROPOSED |
| SHRUBS REQUIRED (14,014/200): | 70 SHRUBS, OR |
| (OR 1.6 x 33 PROP. PARKING SPACES) | 53 SHRUBS REQUIRED |
| SHRUBS PROVIDED: | 71 SHRUBS PROPOSED |

PLANT LIST

| SYMBOL | QUANTITY | BOTANICAL NAME | COMMON NAME | SIZE | MATURE HEIGHT |
|---------------------------|----------|--|-------------------------------|------------|---------------|
| TREES | | | | | |
| Ar | 2 | ACER RUBRUM 'KARPIK' | KARPIK RED MAPLE | 2-2.5" CAL | 40-60' |
| Ms | 4 | MALUS 'SPRING SNOW' | SPRING SNOW CRABAPPLE | 2-2.5" CAL | 15-20' |
| Pc | 3 | PRUNUS CERASIFERA 'NEWPORT' | NEWPORT FLOWERING PLUM | 2-2.5" CAL | 15-20' |
| FOCAL POINT SHRUBS | | | | | |
| Vd | 1 | VIBURNUM DENTATUM | ARROWWOOD VIBURNUM | 2-3" B&B | 8-10' |
| SHRUBS | | | | | |
| Ag | 17 | AZALEA 'GRARD'S HOT SHOT' | GRARD'S HOT SHOT AZALEA | 18-24" | 2-3' |
| Ap | 2 | ACER PALMATUM DISSECTUM 'RED DRAGON' | RED DRAGON JAPANESE MAPLE | 3-4" B&B | 6-8' |
| Ca | 10 | CLETHRA ALNIFOLIA 'HUMMINGBIRD' | HUMMINGBIRD SUMMERSWEET | 2-2.5" B&B | 3-4' |
| Hp | 4 | HYDRANGEA PANICULATA 'BOBO' | BOBO PANICLE HYDRANGEA | 18-24" | 2-3' |
| Jc | 13 | JUNIPERUS CHINENSIS 'SARGENTII GLAUCA' | BLUE SARGENT JUNIPER | 18-24" | 12-24" |
| Rw | 10 | RHODODENDRON 'WALTHAM' | WALTHAM RHODODENDRON | 2-2.5" B&B | 2-3' |
| Sl | 10 | SPIRAEA 'RELOBATA 'MELLOW YELLOW' | MELLOW YELLOW SPIREA | 2-2.5" | 3-4' |
| To | 13 | THUJA OCCIDENTALIS 'HOLMSTRUP' | HOLMSTRUP ARBORVITAE | 3-4" B&B | 10-15' |
| Wf | 10 | WEIGELA FLORIDA 'DARK HORSE' | DARK HORSE WEIGELA | 2-2.5" | 3-4' |
| PERENNIALS | | | | | |
| An | 6 | ASTER NOVAE-ANGIAE 'PURPLE DOME' | PURPLE DOME NEW ENGLAND ASTER | 1 QT. | 18" |
| Bi | 10 | BAPTISIA 'LEMON MERINGUE' | LEMON MERINGUE FALSE INDIGO | 1 QT. | 36" |
| Hf | 16 | HOSTA 'FRANCE' | FRANCEE PLANTAIN LILY | 1 QT. | 24" |
| Pv | 4 | PANICUM VIRGATUM 'SHENANDOAH' | SHENANDOAH SWITCH GRASS | 1 QT. | 3-4' |

GRAPHIC SCALE



LEGEND

- BB-F GRANITE BOUND FOUND
- IPIN-F IRON PIN FOUND
- DH-F DRILL HOLE FOUND
- UTILITY POLE FOUND
- SIGN
- LIGHT
- GAS VALVE
- WATER VALVE
- HYDRANT
- WATER SHUT OFF
- SEWER MANHOLE
- DRAINAGE MANHOLE
- CATCH BASIN
- ABUTTER LINE
- PROPERTY LINE
- PICKET FENCE
- OVERHEAD UTILITIES
- TREELINE
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- BITUMINOUS CURB
- STONEWALL
- BUILDING SETBACK
- EASEMENT

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____

SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



**AMENDED LANDSCAPE PLAN
FAIRVIEW NURSING HOME**

MAP 216 LOT 2
203 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

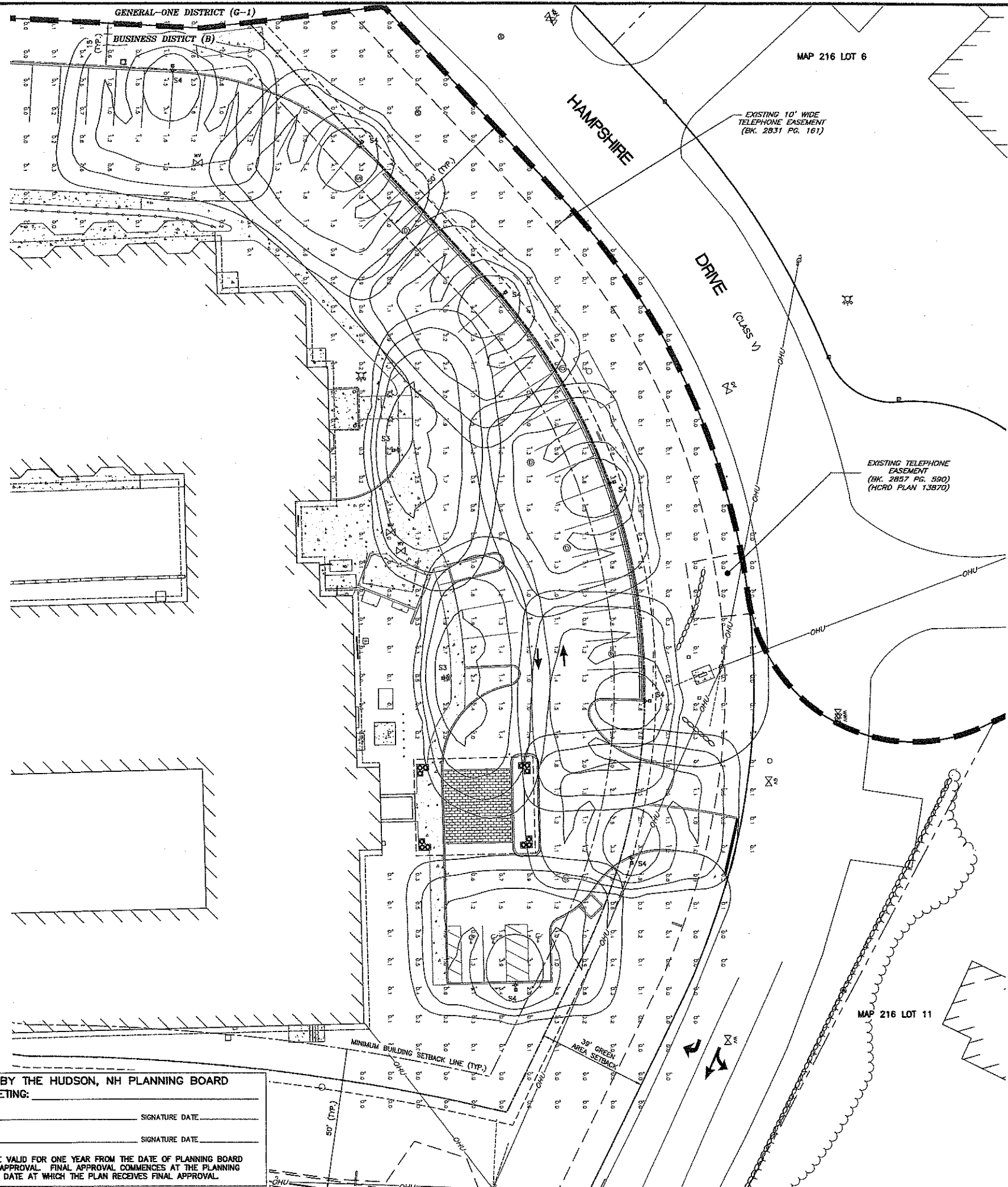
| | |
|---|---|
| OWNER OF RECORD: MERRIMAC REAL ESTATE INVESTORS, LLC 203 LOWELL ROAD HUDSON, NH 03051 H.C.R.D. BK. 8610 PG. 2674 | APPLICANT: MERRIMAC REAL ESTATE INVESTORS, LLC 203 LOWELL ROAD HUDSON, NH 03051 |
|---|---|

K/A KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

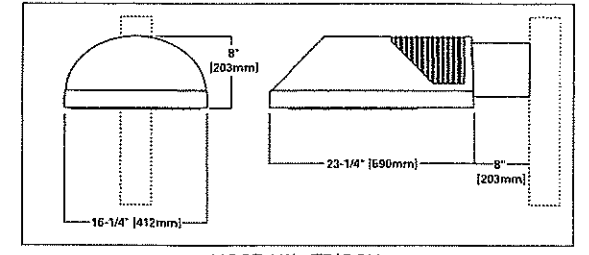
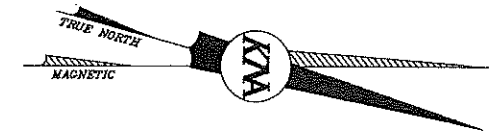
| REVISIONS | | | |
|-----------|----------|----------------------------|-----|
| No. | DATE | DESCRIPTION | BY |
| 1 | 06/26/17 | FEER REVIEW | DMS |
| 2 | 08/15/17 | PER CONDITIONS OF APPROVAL | DMS |

DATE: MAY 3, 2017 SCALE: 1" = 20'
PROJECT NO: 08-0703-1A SHEET 7 OF 13

Project: 0807031A.dwg Production: Drawings: 0807031A-LAND-1081.dwg, LANDSCAPE, 8/15/2017 11:30:47 AM, rnews



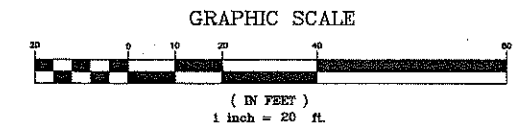
- CONSTRUCTION NOTES:**
1. PROVIDE NEW WIRE FROM PANELS TO NEW AND EXISTING LIGHTS IN SCHEDULE 80 ELECTRICAL CONDUIT, 1" MINIMUM.
 2. PROVIDE PHOTO CELL AND TIME CLOCK CONTROL.
 3. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION REGARDING LIGHT INSTALLATION AND WIRING REQUIREMENTS.



**MCGRAW-EDISON
TALON MEDIUM LED**
NOT TO SCALE

STATAREA 1
PARKING LOT AREA LESS UNDER
CANOPY
ILLUMINANCE (FC)
AVERAGE = 1.49
MAXIMUM = 4.5
MINIMUM = 0.4
AVG./MIN. RATIO = 3.73
MAX./MIN. RATIO = 11.50

| LUMINAIRE SCHEDULE | | | | | |
|--------------------|-----|-------|-------------|--------|--|
| SYMBOL | QTY | LABEL | ARRANGEMENT | HEIGHT | DESCRIPTION |
| ⊙ | 2 | S3 | SINGLE | 15' | TLN-F02-LED-E1-SL3-BZ / SSS4A155FM1-BZ |
| ⊙ | 7 | S4 | SINGLE | 15' | TLN-F02-LED-E1-SL4-BZ / SSS4A155FM1-BZ |



CHARON
INCORPORATED
P.O. BOX 4550
MANCHESTER, NH 03109
(603) 824-8827
FAX (603) 824-9764

**AMENDED LIGHTING PLAN
FAIRVIEW NURSING HOME**

MAP 216 LOT 2
203 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

| | |
|---|---|
| OWNER OF RECORD: MERRIMAC REAL ESTATE INVESTORS, LLC 203 LOWELL ROAD HUDSON, NH 03051 H.C.R.D. BK. 8610 PG. 2674 | APPLICANT: MERRIMAC REAL ESTATE INVESTORS, LLC 203 LOWELL ROAD HUDSON, NH 03051 |
|---|---|

KM **KEACH-NORDSTROM ASSOCIATES, INC.**
Civil Engineering Land Surveying Landscape Architecture
10 Commarc Park North, Suite 3E, Bedford, NH 03110 Phone (603) 827-2881



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

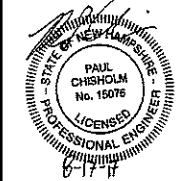
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____
SIGNATURE _____ SIGNATURE DATE _____

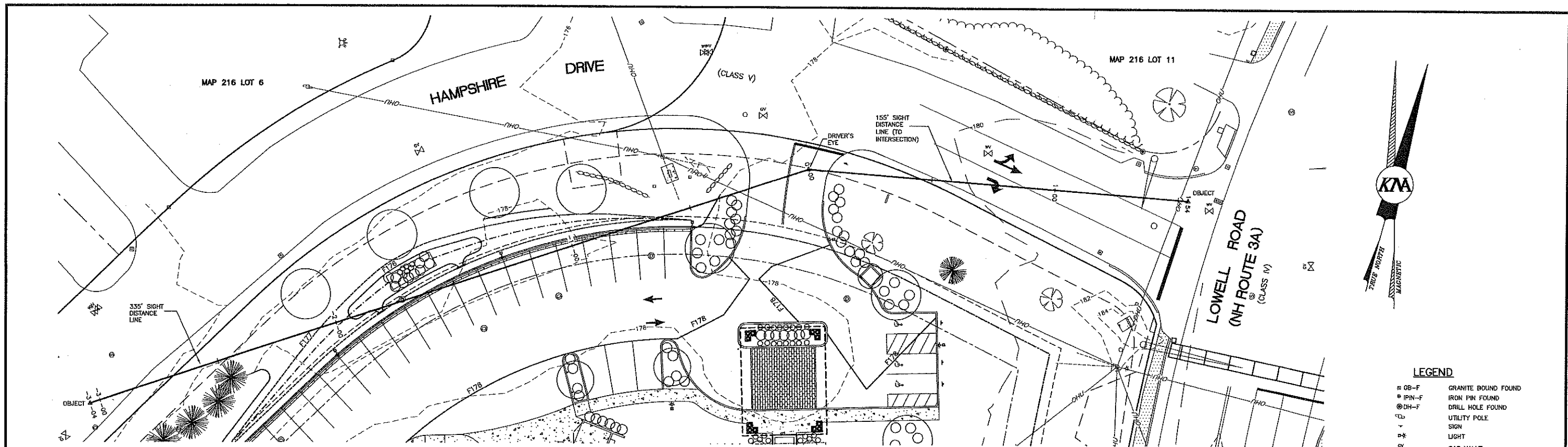
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| REVISIONS | | | |
|-----------|----------|----------------------------|-----|
| No. | DATE | DESCRIPTION | BY |
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| 2 | 08/15/17 | PER CONDITIONS OF APPROVAL | DMS |

DATE: MAY 3, 2017 SCALE: 1" = 20'
PROJECT NO: 08-0703-1A SHEET 8 OF 13

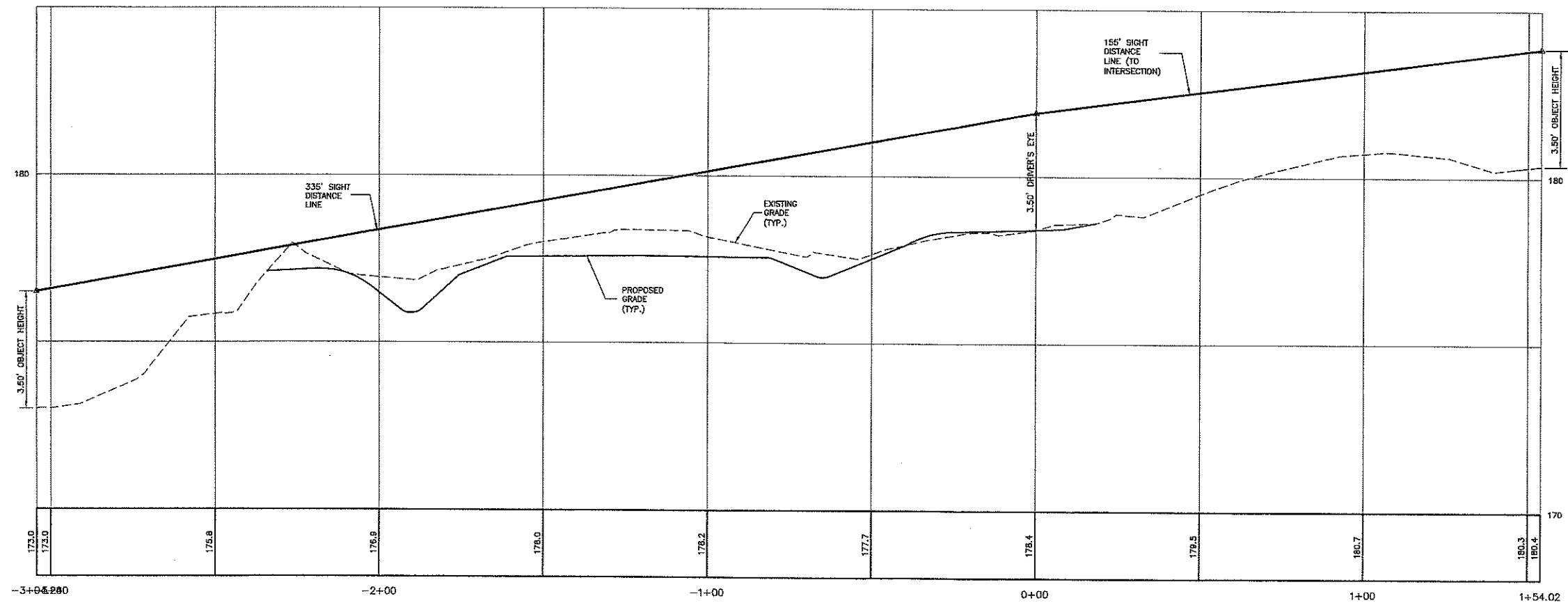
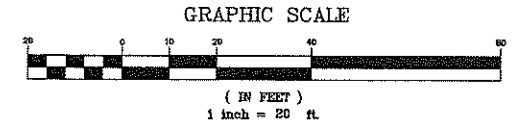


20170503 10:53 AM C:\Users\paul.chisholm\AppData\Local\Temp\15076\15076.dwg



LEGEND

- ⊗ OB-F GRANITE BOUND FOUND
- ⊗ IPIN-F IRON PIN FOUND
- ⊗ DH-F DRILL HOLE FOUND
- ⊗ UTILITY POLE
- ⊗ SIGN
- ⊗ LIGHT
- ⊗ GAS VALVE
- ⊗ WATER VALVE
- ⊗ HYDRANT
- ⊗ WATER SHUT OFF
- ⊗ SEWER MANHOLE
- ⊗ DRAINAGE MANHOLE
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- ⊗ TREELINE
- ⊗ EDGE OF PAVEMENT
- ⊗ VERTICAL GRANITE CURB
- ⊗ BITUMINOUS CURB
- ⊗ STONEWALL
- ⊗ BUILDING SETBACK
- ⊗ EASEMENT
- ⊗ GREEN AREA SETBACK
- ⊗ PROPOSED EDGE OF PAVEMENT
- ⊗ PROPOSED VERTICAL GRANITE CURB



**AMENDED SIGHT DISTANCE PLAN & PROFILE
FAIRVIEW NURSING HOME**

MAP 216 LOT 2
203 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
MERRIMAC REAL ESTATE INVESTORS, LLC
203 LOWELL ROAD
HUDSON, NH 03051
H.C.R.D. BK. 8610 PG. 2674

APPLICANT:
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203 LOWELL ROAD
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KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
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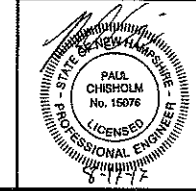
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SIGNATURE _____ SIGNATURE DATE _____

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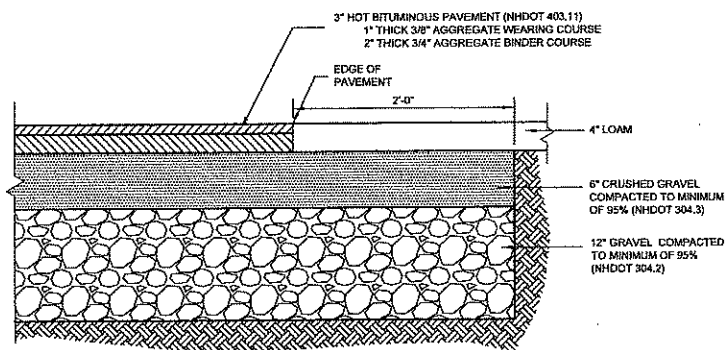
SIGHT DISTANCE PROFILE
SCALE: 1" = 20' (HORIZ.)
1" = 2' (VERT.)

| REVISIONS | | | | |
|-----------|----------|----------------------------|-----|------|
| No. | DATE | DESCRIPTION | BY | DATE |
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| | | | | |
| | | | | |

DATE: MAY 3, 2017 SCALE: 1" = 20'
PROJECT NO: 06-0703-1A SHEET 9 OF 13

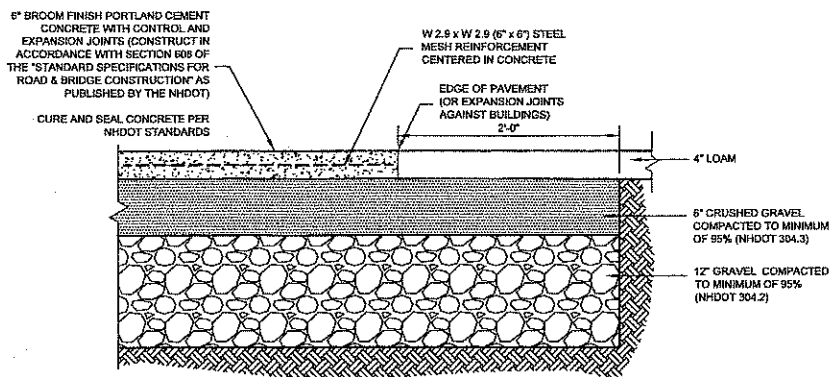


Project: 06-0703-1A.dwg Production: Drawings: 06/07/17-10:00 AM Layout: 06/15/17 12:40:19 PM RWS



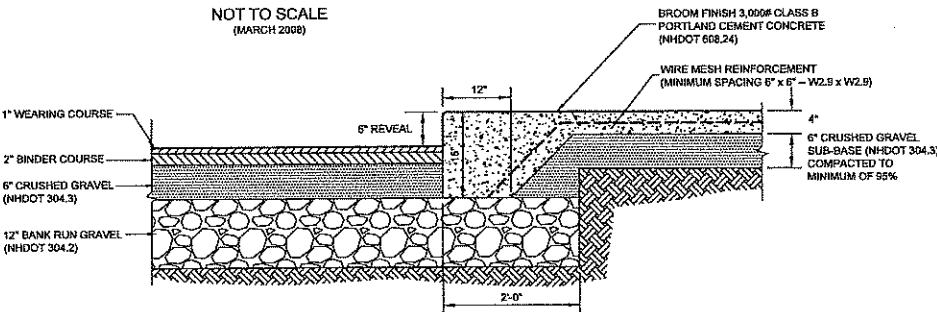
DRIVEWAY AND PARKING LOT SECTION

NOT TO SCALE
(MARCH 2008)



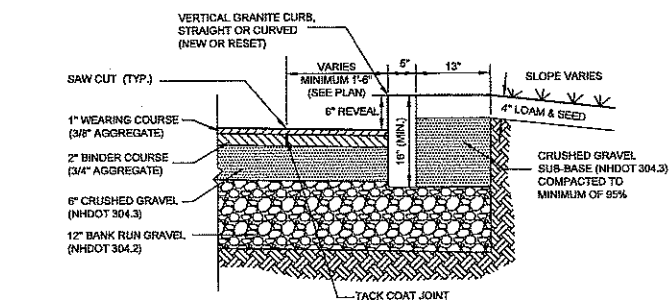
CONCRETE DRIVEWAY SECTION

NOT TO SCALE



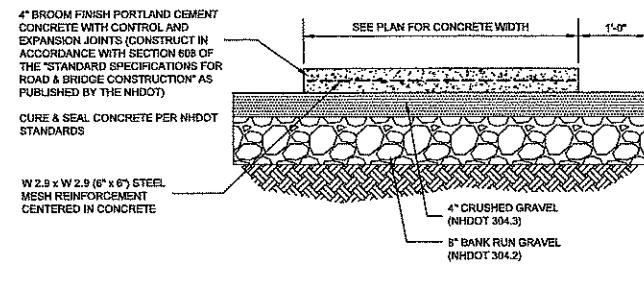
INTEGRAL CURB AND WALK DETAIL

NOT TO SCALE
(MARCH 2008)



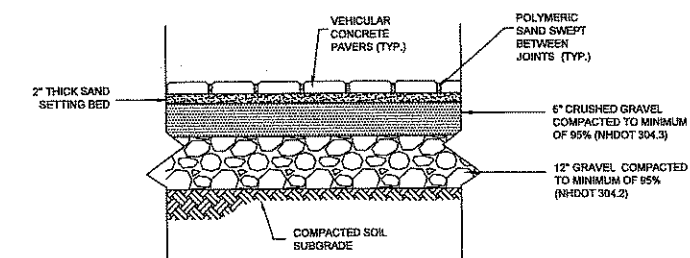
VERTICAL GRANITE CURB DETAIL

NOT TO SCALE
(MARCH 2008)



CONCRETE WALK DETAIL

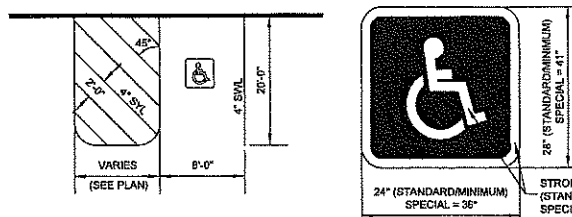
NOT TO SCALE
(MARCH 2008)



PAVER DETAIL

NOT TO SCALE

- NOTES:
- CONTRACTOR TO PROVIDE PAVER SAMPLES AND COLORS TO OWNER AND ARCHITECT FOR APPROVAL.
 - SELECTED PAVERS SHALL MEET ADA COMPLIANCE STANDARDS.

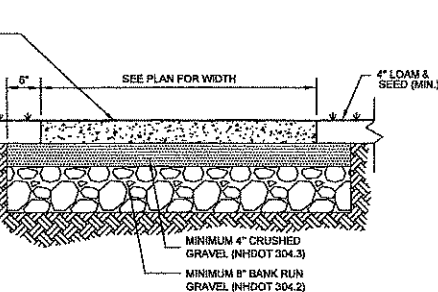


HANDICAP STRIPING DETAIL

NOT TO SCALE
(MARCH 2008)

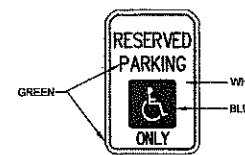
STRIPING NOTES:

- ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THESE STANDARDS AND THE CURRENT EDITION OF MUTCD.
- WIDTH OF LINES SHALL VARY NO MORE THAN = 1/4 INCH FROM THAT SPECIFIED.
- THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED.
- OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.
- BROKEN LINES SHALL BEGIN AND END WITH THE NEAREST FULL CYCLE OF BROKEN LINE. SOLID LONGITUDINAL LINES SHALL BEGIN AND END WITHIN +2 INCHES OF A LAYOUT SYMBOL, INDICATING THE END OF THE LINE, OR WITH A FULL CYCLE OF BROKEN LINE (IF APPROPRIATE).



GENERATOR & DUMPSTER PAD DETAIL

NOT TO SCALE



HANDICAP PARKING SIGN DETAIL

NOT TO SCALE
(MARCH 2008)



VAN ACCESSIBLE HANDICAP PARKING SIGN DETAIL

NOT TO SCALE
(MARCH 2008)

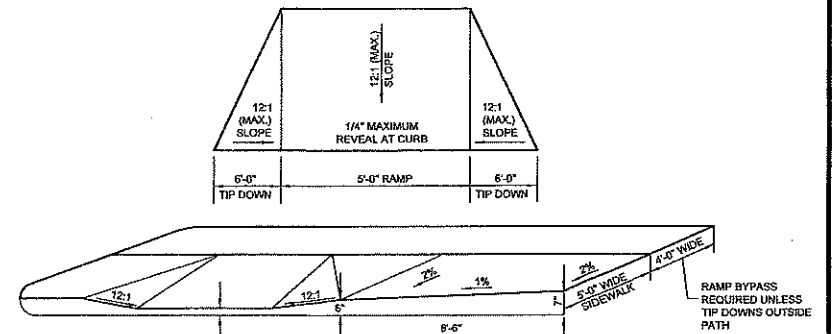


STOP SIGN DETAIL

NOT TO SCALE
(MARCH 2008)

TRAFFIC SIGN NOTES:

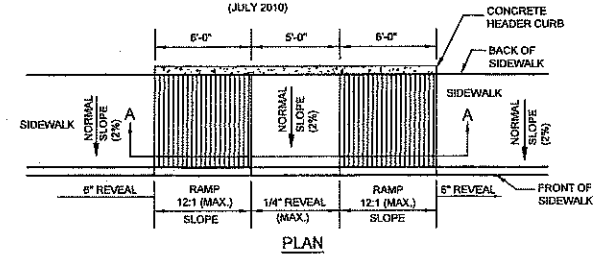
- ALL TRAFFIC SIGN FACES AND SHAPES SHALL CONFORM WITH THE MUTCD.
- ALL SIGN POST MOUNTS SHALL CONFORM WITH THE AASHTO AND NHDOT SPECIFICATIONS.



NOTE:
IN ORDER TO OBTAIN A 12:1 MAXIMUM SLOPE ON HANDICAP RAMP, PITCH SIDEWALK DOWN AT A 1% SLOPE FOR APPROXIMATELY 8.5 FEET.

HANDICAP CURB SIDEWALK RAMP

NOT TO SCALE
(JULY 2010)

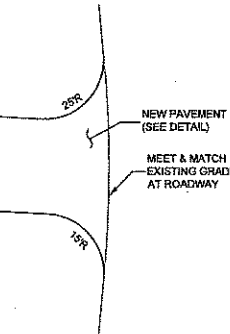


SECTION A-A

- NOTES:
- A BROOM FINISH TRANSVERSE TO THE SLOPE OF THE RAMP AND SHALL BE USED ON PORTLAND CEMENT CONCRETE RAMPS.
 - MAINTAIN THE NORMAL PAVEMENT PROFILE THROUGHOUT THE RAMP AREA.
 - MAINTAIN A MAXIMUM 1/4\"/>

SIDEWALK RAMP

NOT TO SCALE



DRIVEWAY DETAIL

NOT TO SCALE

AMENDED CONSTRUCTION DETAILS
FAIRVIEW NURSING HOME

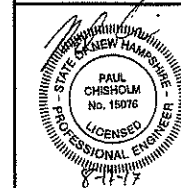
MAP 216 LOT 2
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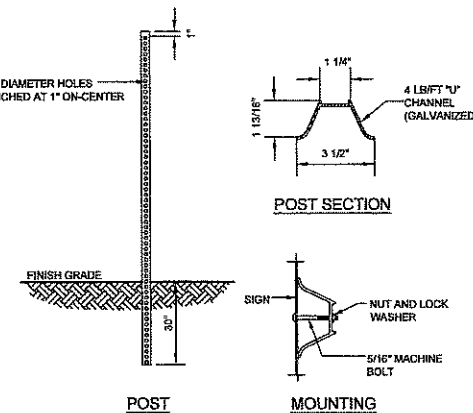
KM KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



| REVISIONS | | | |
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DATE: MAY 3, 2017 SCALE: AS SHOWN
PROJECT NO: 08-0703-1A SHEET 10 OF 13



STEEL SIGN POST DETAIL

NOT TO SCALE
(MARCH 2008)

NOTE:
POST SHALL CONFORM TO NHDOT 615.2.5.3

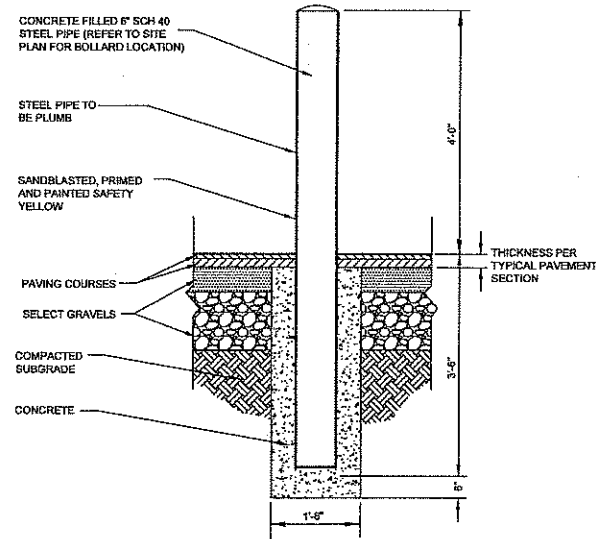
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

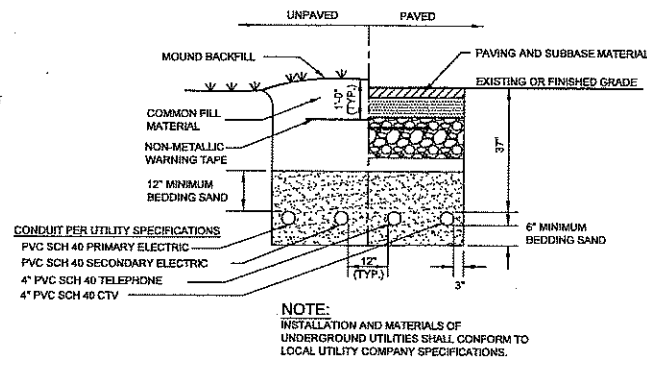
SIGNATURE _____ SIGNATURE DATE _____

SIGNATURE _____ SIGNATURE DATE _____

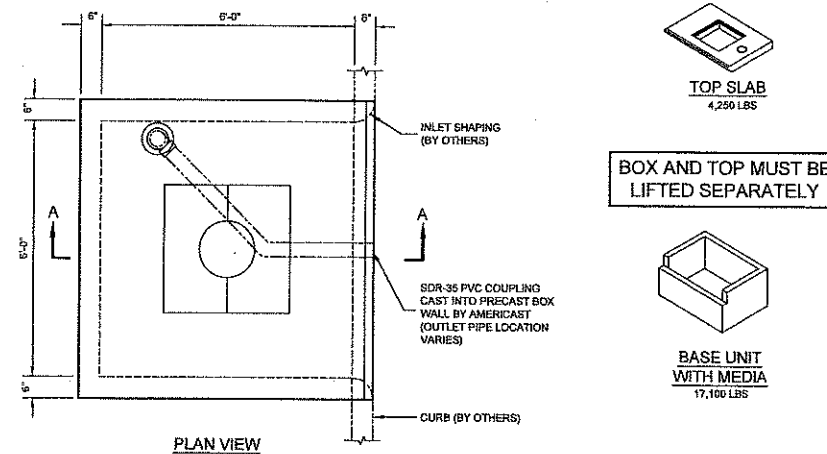
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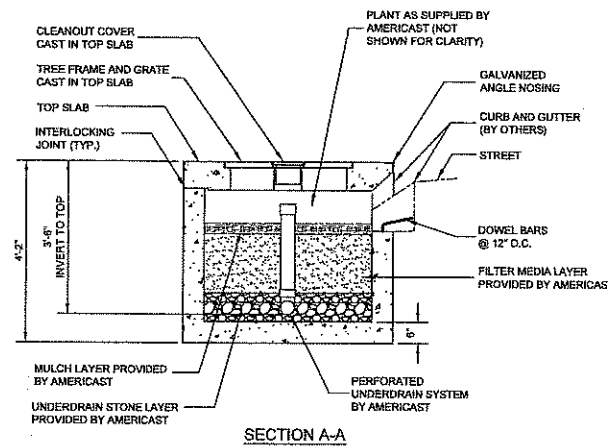
BOLLARD DETAIL
NOT TO SCALE
(MARCH 2009)



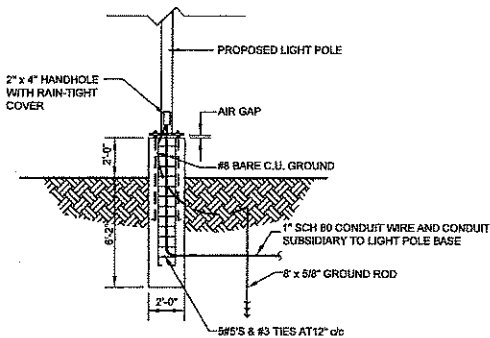
UTILITY TRENCH DETAIL
NOT TO SCALE
(MARCH 2009)



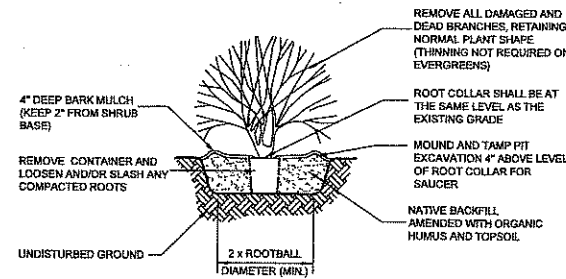
PLAN VIEW



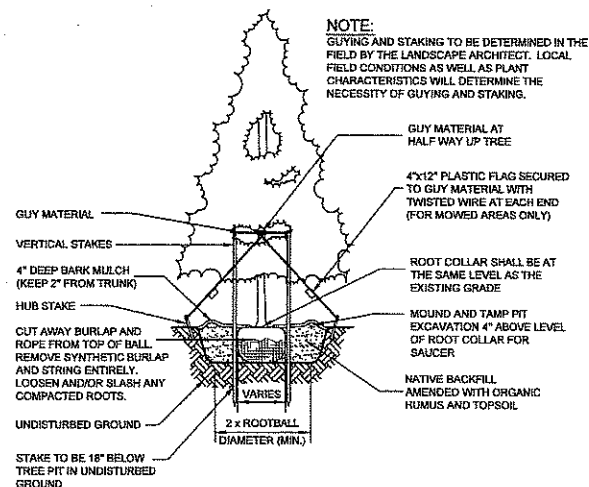
SECTION A-A
6'-0" x 6'-0" PRECAST STANDARD
FILTERRA UNIT
NOT TO SCALE
(MAY 2010)



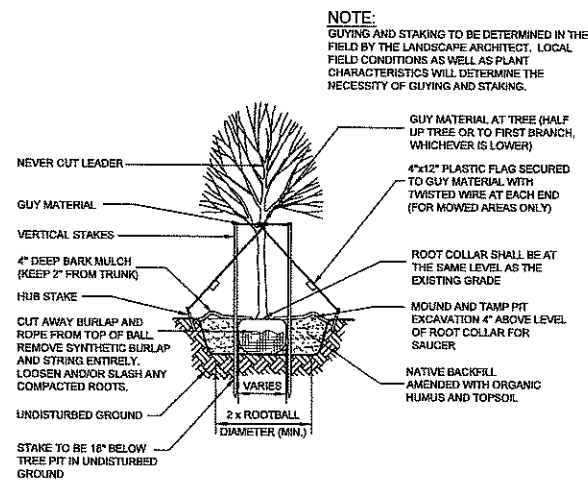
CONCRETE LIGHT POLE BASE DETAIL
NOT TO SCALE
(MARCH 2009)



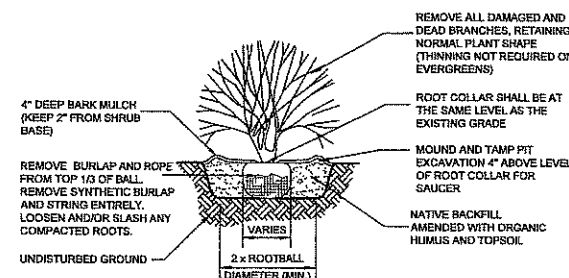
CONTAINER SHRUB PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



BALLED & BURLAP SHRUB PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)

FILTERRA STANDARD PLAN NOTES

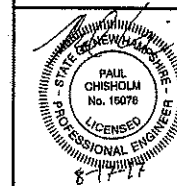
- CONSTRUCTION & INSTALLATION:**
- EACH UNIT SHALL BE CONSTRUCTED AT THE LOCATIONS AND ELEVATIONS ACCORDING TO THE SIZES SHOWN ON THE APPROVED DRAWINGS. ANY MODIFICATIONS TO THE ELEVATION OR LOCATION SHALL BE AT THE DIRECTION OF AND APPROVED BY THE ENGINEER.
 - IF THE FILTERRA® IS STORED BEFORE INSTALLATION, THE TOP SLAB MUST BE PLACED ON THE BOX USING THE 2x4 WOOD PROVIDED, TO PREVENT ANY CONTAMINATION FROM THE SITE. ALL INTERNAL FITTINGS SUPPLIED, IF ANY, MUST BE LEFT IN PLACE AS PER THE DELIVERY.
 - THE UNIT SHALL BE PLACED ON A COMPACTED SUB-GRADE WITH A MINIMUM 6-INCH GRAVEL BASE MATCHING THE FINAL GRADE OF THE CURB LINE IN THE AREA OF THE UNIT. THE UNIT TO BE PLACED SUCH THAT THE UNIT AND TOP SLAB MATCH THE GRADE OF THE CURB IN THE AREA OF THE UNIT. COMPACT UNDISTURBED SUB-GRADE MATERIALS TO 95% OF MAXIMUM DENSITY AT +1-2% OF OPTIMUM MOISTURE. UNSUITABLE MATERIAL BELOW SUB-GRADE SHALL BE REPLACED TO THE SITE ENGINEER'S APPROVAL.
 - OUTLET CONNECTIONS SHALL BE ALIGNED AND SEALED TO MEET THE APPROVED DRAWINGS WITH MODIFICATIONS NECESSARY TO MEET SITE CONDITIONS AND LOCAL REGULATIONS.
 - ONCE THE UNIT IS SET, THE INTERNAL WOODEN FORMS AND PROTECTIVE MESH COVER MUST BE LEFT INTACT. REMOVE ONLY THE TEMPORARY WOODEN SHIPPING BLOCKS BETWEEN THE BOX AND TOP SLAB. THE TOP LID SHOULD BE SEALED ONTO THE BOX SECTION BEFORE BACKFILLING, USING A NON-SHRINK GROUT, BUTYL RUBBER OR SIMILAR WATERPROOF SEAL. THE BOARDS ON TOP OF THE LID AND SEALED IN THE UNIT'S THROAT MUST NOT BE REMOVED. THE SUPPLIER (AMERICAST OR ITS AUTHORIZED DEALER) WILL REMOVE THOSE SECTIONS AT THE TIME OF ACTIVATION. BACKFILLING SHOULD BE PERFORMED IN A CAREFUL MANNER, BRINGING THE APPROPRIATE FILL MATERIAL UP IN 6" LIFTS ON ALL SIDES. PRECAST SECTIONS SHALL BE SET IN A MANNER THAT WILL RESULT IN A WATER-TIGHT JOINT. IN ALL INSTANCES, INSTALLATION OF FILTERRA® UNIT SHALL CONFORM TO ASTM SPECIFICATION C891 "STANDARD PRACTICE FOR INSTALLATION OF UNDERGROUND PRECAST UTILITY STRUCTURES," UNLESS DIRECTED OTHERWISE IN CONTRACT DOCUMENTS.
 - CURB AND GUTTER CONSTRUCTION (WHERE PRESENT) SHALL ENSURE THAT THE FLOW-LINE OF THE FILTERRA® UNITS IS AT A GREATER ELEVATION THAN THE FLOW-LINE OF THE BYPASS STRUCTURE OR RELIEF (DROP INLET, CURB CUT OR SIMILAR). FAILURE TO COMPLY WITH THIS GUIDELINE MAY CAUSE FAILURE AND/OR DAMAGE TO THE FILTERRA® ENVIRONMENTAL DEVICE.
 - EACH FILTERRA® UNIT MUST RECEIVE ADEQUATE IRRIGATION TO ENSURE SURVIVAL OF THE LIVING SYSTEM DURING PERIODS OF DRIER WEATHER. THIS MAY BE ACHIEVED THROUGH GUTTER FLOW OR THROUGH THE TREE GRATE.
- ACTIVATION:**
- ACTIVATION OF THE FILTERRA® UNIT IS PERFORMED ONLY BY THE SUPPLIER. PURCHASER IS RESPONSIBLE FOR FILTERRA® INLET PROTECTION AND SUBSEQUENT CLEAN OUT COST. THIS PROCESS CANNOT COMMENCE UNTIL THE PROJECT SITE IS FULLY STABILIZED AND CLEANED (FULL LANDSCAPING, GRASS COVER, FINAL PAVING AND STREET SWEEPING COMPLETED), NEGATING THE CHANCE OF CONSTRUCTION MATERIALS CONTAMINATING THE FILTERRA® SYSTEM. CARE SHALL BE TAKEN DURING CONSTRUCTION NOT TO DAMAGE THE PROTECTIVE THROAT AND TOP PLATES.
- MAINTENANCE:**
- EACH CORRECTLY INSTALLED FILTERRA® UNIT IS TO BE MAINTAINED BY THE SUPPLIER, OR A SUPPLIER APPROVED CONTRACTOR, FOR A MINIMUM PERIOD OF 1 YEAR. THE COST OF THIS SERVICE IS TO BE INCLUDED IN THE PRICE OF EACH FILTERRA® UNIT. EXTENDED MAINTENANCE CONTACTS ARE AVAILABLE AT EXTRA COST UPON REQUEST.
 - ANNUAL MAINTENANCE CONSISTS OF A MAXIMUM OF (2) SCHEDULED VISITS. THE VISITS ARE SCHEDULED SEASONALLY; THE SPRING VISIT AIMS TO CLEAN UP AFTER WINTER LOADS INCLUDING SALTS AND SANDS. THE FALL VISIT HELPS THE SYSTEM BY REMOVING EXCESSIVE LEAF LITTER.
 - EACH MAINTENANCE VISIT CONSISTS OF THE FOLLOWING TASKS:
 - FILTERRA® UNIT INSPECTION;
 - FOREIGN DEBRIS, SILT, MULCH AND TRASH REMOVAL;
 - FILTER MEDIA EVALUATION AND RECHARGE, AS NECESSARY;
 - PLANT HEALTH EVALUATION AND PRUNING OR REPLACEMENT, AS NECESSARY;
 - REPLACEMENT OF MULCH;
 - DISPOSAL OF ALL MAINTENANCE REFUSE ITEMS; AND
 - MAINTENANCE RECORDS UPDATED AND STORED (REPORTS AVAILABLE UPON REQUESTS)
 - THE BEGINNING AND ENDING DATE OF SUPPLIER'S OBLIGATION TO MAINTAIN THE INSTALLED SYSTEM SHALL BE DETERMINED BY THE SUPPLIER AT THE TIME THE SYSTEM IS ACTIVATED. OWNERS MUST PROMPTLY NOTIFY THE SUPPLIER OF ANY DAMAGE TO THE PLANT(S), WHICH CONSTITUTE(S) AN INTEGRAL PART OF THE BIORETENTION TECHNOLOGY.

AMENDED CONSTRUCTION DETAILS
FAIRVIEW NURSING HOME

MAP 216 LOT 2
203 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

| | |
|---|---|
| OWNER OF RECORD: MERRIMAC REAL ESTATE INVESTORS, LLC 203 LOWELL ROAD HUDSON, NH 03051 H.C.R.D. BK. 8610 PG. 2674 | APPLICANT: MERRIMAC REAL ESTATE INVESTORS, LLC 203 LOWELL ROAD HUDSON, NH 03051 |
|---|---|

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3E, Bedford, NH 03110 Phone (603) 627-2881



| REVISIONS | | | |
|-----------|----------|----------------------------|-----|
| No. | DATE | DESCRIPTION | BY |
| 1 | 06/26/17 | PEER REVIEW | DMS |
| 2 | 08/15/17 | PER CONDITIONS OF APPROVAL | DMS |

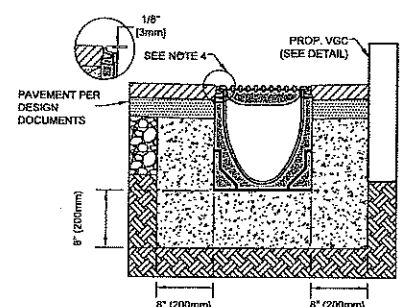
DATE: MAY 3, 2017 SCALE: AS SHOWN
PROJECT NO: 08-0703-1A SHEET 11 OF 13

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____
SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



S200K POWERDRAIN - LOAD CLASS C
GENERAL
 THE SURFACE DRAINAGE SYSTEM SHALL BE POLYMER CONCRETE K200 CHANNEL SYSTEM WITH DUCTILE IRON EDGE RAILS AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.

MATERIALS
 CHANNELS SHALL BE MANUFACTURED FROM POLYESTER RESIN POLYMER CONCRETE WITH AN INTEGRALLY CAST-IN GALVANIZED STEEL EDGE RAIL. MINIMUM PROPERTIES OF POLYMER CONCRETE WILL BE AS FOLLOWS:
 COMPRESSIVE STRENGTH: 14,000 PSI
 FLEXURAL STRENGTH: 4,000 PSI
 TENSILE STRENGTH: 1,500 PSI
 WATER ABSORPTION: 0.07%
 FROST PROOF: YES
 DILUTE ACID AND ALKALI RESISTANT: YES
 B117 SALT SPRAY TEST COMPLIANT: YES

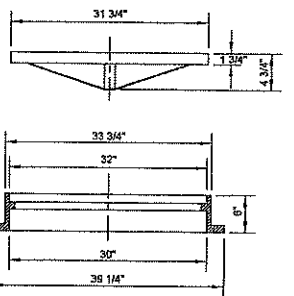
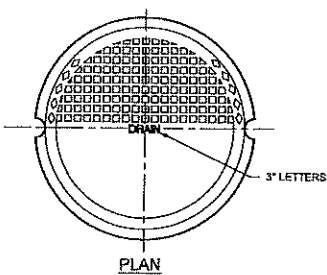
THE SYSTEM SHALL BE 6" (200mm) NOMINAL INTERNAL WIDTH WITH A 10.2" (260mm) OVERALL WIDTH AND A BUILT-IN SLOPE OF 0.5%. CHANNEL INVERT SHALL HAVE DEVELOPED "V" SHAPE. ALL CHANNELS SHALL BE INTERLOCKING WITH A MALE/FEMALE JOINT.

THE COMPLETE DRAINAGE SYSTEM SHALL BE BY ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACO POLYMER PRODUCTS, INC.

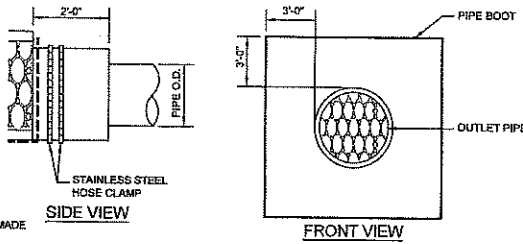
CHANNEL SHALL WITHSTAND LOADING TO PROPER LOAD CLASS AS OUTLINED BY EN 1433. GRATE TYPE SHALL BE APPROPRIATE TO MEET THE SYSTEM LOAD CLASS SPECIFIED AND INTENDED APPLICATION. GRATES SHALL BE SECURED USING "POWERLOK" BOLTLESS LOCKING SYSTEM. CHANNEL AND GRATE SHALL BE CERTIFIED TO MEET THE SPECIFIED EN 1433 LOAD CLASS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

- NOTES:**
- IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS.
 - MINIMUM CONCRETE STRENGTH OF 4,000 PSI IS RECOMMENDED. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
 - EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND. ENGINEERING ADVICE MAY BE REQUIRED.
 - THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" (3mm) ABOVE THE TOP OF THE CHANNEL EDGE.
 - CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS. ENGINEERING ADVICE MAY BE REQUIRED TO DETERMINE PROPER LOAD CLASS.
 - REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.
 - GRATE SHALL BE ACO TYPE 661Q DUCTILE IRON SLOTTED GRATE.
 - THE CONTRACTOR SHALL CONSTRUCT A RADIUS IN CONFORMANCE WITH "ACO TECHNICAL BULLETIN, OCTOBER 17, 2003, DESIGNING AND CONSTRUCTING A RADIUS USING A 4" ACO DRAIN".

ACO K200 TRENCH DRAIN DETAIL
 NOT TO SCALE

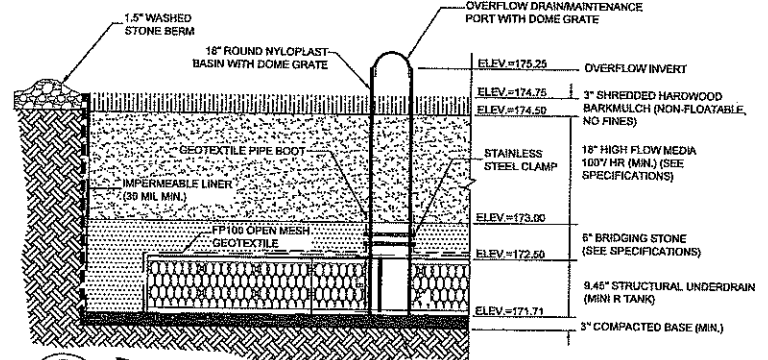


DRAIN MANHOLE FRAME AND COVER DETAIL
 NOT TO SCALE
 (MARCH 2008)



PIPE BOOT DETAIL
 NOT TO SCALE

- NOTES:**
 NEW HAMPSHIRE MAINTAINS A CLEAR OPENING DESIGNATION OF 30" FOR ITS MANHOLE CASTINGS.
- FEATURES:**
- 3" LETTERING
 - COVERS AVAILABLE PLAIN OR MARKED SEWER, DRAIN OR WATER
 - NONROCKING COVER
 - DIAMOND SURFACE DESIGN
- SPECIFICATIONS:**
- FULLY MACHINED FRAME AND COVER
 - H-20 LOAD RATED
 - GRAY CAST IRON MEETS ASTM A48 CLASS 30

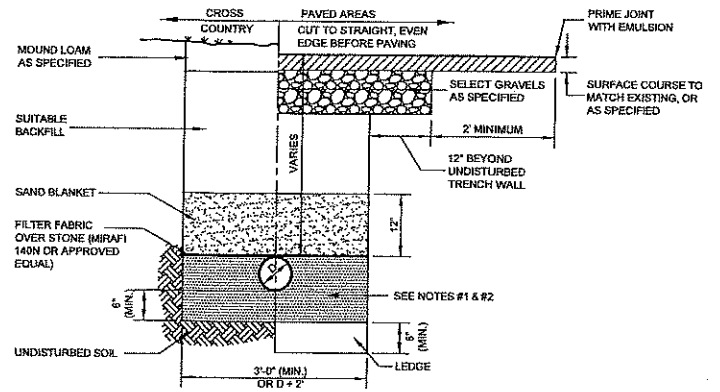


FOCALPOINT DETAILED CROSS SECTION WITH OVERFLOW/MAINTENANCE PORT (WITH WASHSTONE BERM)
 NOT TO SCALE

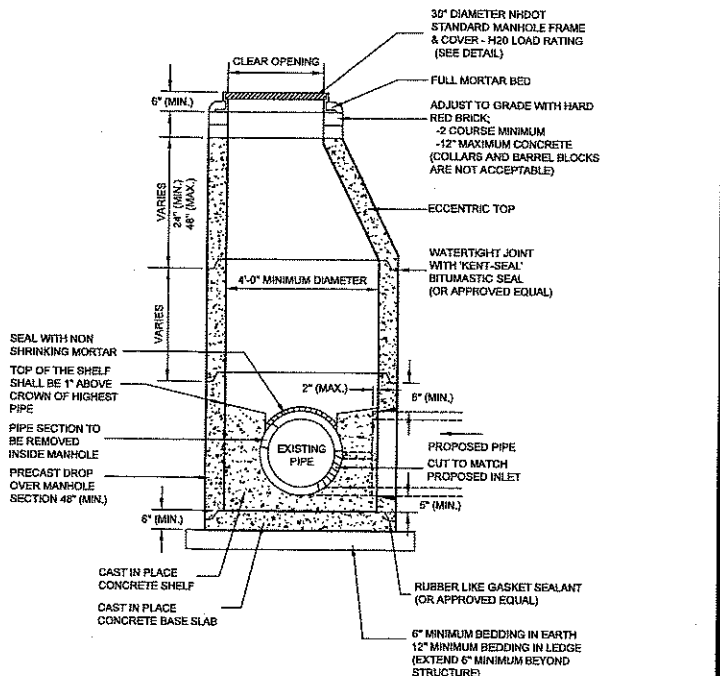
| US STANDARD SIEVE SIZE | CHOKER COURSE (AASHTO NO. 57) | FILTER COURSE MODIFIED 304.1 | RESERVOIR COURSE (AASHTO NO. 3) |
|------------------------|-------------------------------|------------------------------|---------------------------------|
| 6 | 150 | - | 100 |
| 2-1/2 | 63 | - | 100 |
| 2 | 50 | - | 90-100 |
| 1-1/2 | 37.5 | 100 | 55-70 |
| 1 | 25 | 95-100 | 0-15 |
| 3/4 | 19 | - | - |
| 1/2 | 12.5 | 25-60 | 0-5 |
| 3/8 | 9.5 | - | - |
| #4 | 4.75 | 0-10 | 70-100 |
| #5 | 2.36 | 0-5 | - |
| #200 | 0.075 | - | 0-5 |
| % COMPACTION | 95 | 95 | 95 |

IN THE SAND PORTION OF THE SAMPLE

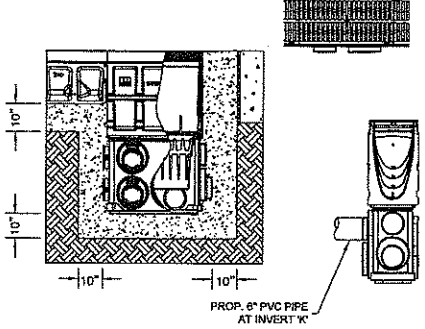
GRAVEL MATERIAL SPECIFICATIONS FOR POROUS ASPHALT SECTIONS
 NOT TO SCALE



STORM DRAINAGE TRENCH DETAIL
 NOT TO SCALE
 (MARCH 2008)



DROP OVER MANHOLE DETAIL
 NOT TO SCALE
 (MARCH 2008)



K2-902G CATCH BASIN - LOAD CLASS E
GENERAL
 THE CATCH BASIN SHALL BE ACO DRAIN K2-902G SERIES MADE FROM POLYMER CONCRETE WITH A CAST-IN GALVANIZED STEEL RAIL AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.

MATERIALS
 POLYMER CONCRETE SHALL HAVE MATERIAL PROPERTIES OF:
 COMPRESSIVE STRENGTH: 14,000 PSI
 FLEXURAL STRENGTH: 3,600 PSI
 TENSILE STRENGTH: 1,500 PSI
 WATER ABSORPTION: 0.07%
 FROST PROOF: YES
 DILUTE ACID AND ALKALI RESISTANT: YES
 B117 SALT SPRAY TEST COMPLIANT: YES

THE K2-902G SERIES CATCH BASIN COMPRISING OF TOP SECTION, QUICKLOK GRATE, SHORT BASE AND TRASH BUCKET SHALL ACCEPT 6" ACO DRAIN TRENCH DRAIN MODEL K200 IN SIDES AS SHOWN.

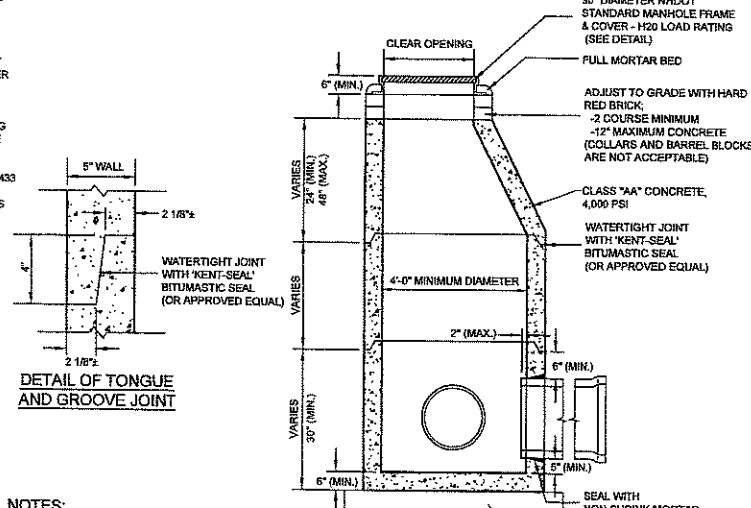
THE CATCH BASIN SHALL BE 19.5" (500mm) IN LENGTH AND 10.31" (262mm) IN WIDTH. K2-902G CATCH BASIN DEPTH IS 33.18" (842.7mm).

THE COMPLETE CATCH BASIN AND TRENCH DRAINAGE SYSTEM SHALL BE BY ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACO POLYMER PRODUCTS, INC.

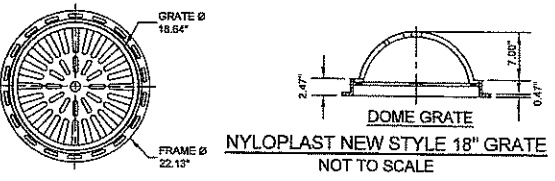
K2-902G SERIES CATCH BASIN SHALL WITHSTAND LOADING TO PROPER LOAD CLASS AS OUTLINED BY EN 1433. GRATE SHALL BE HEID IN PLACE WITH THE QUICKLOK SYSTEM. CATCH BASIN, TRENCH CHANNEL AND GRATE SHALL BE INDEPENDENTLY CERTIFIED TO MEET THE SPECIFIED EN 1433 LOAD CLASS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

- NOTES:**
- IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS.
 - MINIMUM CONCRETE STRENGTH OF 4,000 PSI IS RECOMMENDED. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
 - THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" (3mm) ABOVE THE TOP OF THE CATCH BASIN EDGE.
 - REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.
 - GRATE SHALL BE ACO TYPE 661Q DUCTILE IRON SLOTTED GRATE.
 - OUTLET PIPE SHALL BE 6" SDR-35 PVC AND CONSTRUCTED AT INVERT "K" WHICH IS 24.68" BELOW THE GRATE ELEVATION.

ACO 902G CATCH BASIN DETAIL
 NOT TO SCALE



PRECAST REINFORCED DRAIN MANHOLE DETAIL
 NOT TO SCALE
 (MARCH 2008)



DOME GRATE
NYLOPLAST NEW STYLE 18" GRATE
 NOT TO SCALE

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____

SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

AMENDED CONSTRUCTION DETAILS
FAIRVIEW NURSING HOME

MAP 216 LOT 2
 203 LOWELL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

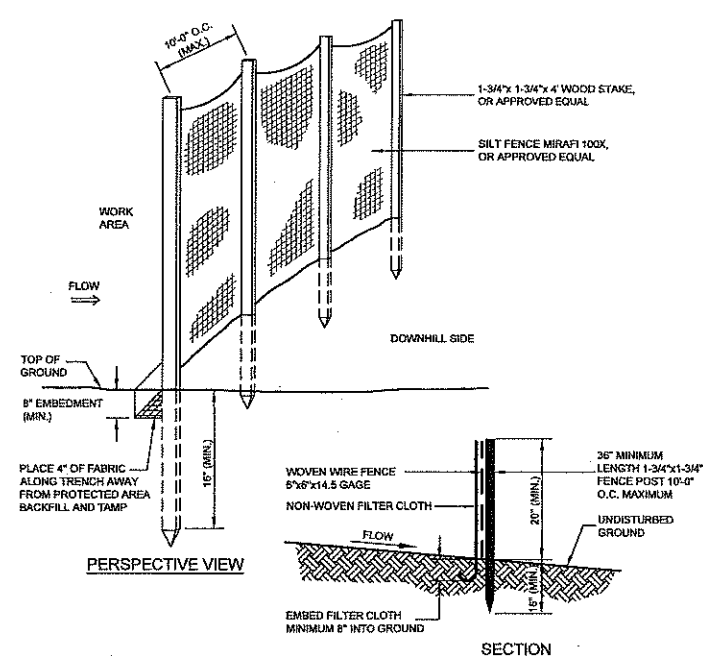
OWNER OF RECORD:
 MERRIMAC REAL ESTATE INVESTORS, LLC
 203 LOWELL ROAD
 HUDSON, NH 03051
 H.C.R.D. BK. 8810 PG. 2674

APPLICANT:
 MERRIMAC REAL ESTATE INVESTORS, LLC
 203 LOWELL ROAD
 HUDSON, NH 03051

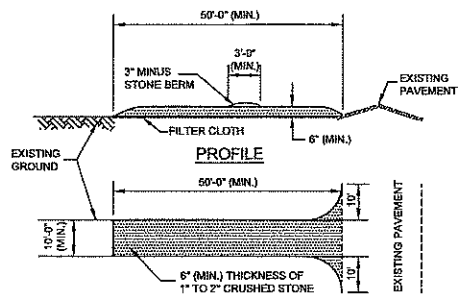
KM KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 300, Bedford, NH 03110 Phone (603) 827-2881

| No. | DATE | DESCRIPTION | BY |
|-----|----------|----------------------------|-----|
| 1 | 05/26/17 | PEER REVIEW | DMS |
| 2 | 05/15/17 | PER CONDITIONS OF APPROVAL | DMS |

DATE: MAY 3, 2017 SCALE: AS SHOWN
 PROJECT NO: 05-0703-1A SHEET 12 OF 13



SILT FENCE DETAIL
NOT TO SCALE
(MARCH 2008)



STABILIZED CONSTRUCTION EXIT DETAIL
NOT TO SCALE
(MARCH 2008)

MAINTENANCE:
MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW STONE OR COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.
IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

- CONSTRUCTION SPECIFICATIONS:**
1. STONES FOR A STABILIZED CONSTRUCTION EXIT SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE OR RECYCLED CONCRETE EQUIVALENT.
 2. THE LENGTH OF THE STABILIZED EXIT SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
 3. THE THICKNESS OF THE STONE FOR THE STABILIZED EXIT SHALL NOT BE LESS THAN 6 INCHES.
 4. THE WIDTH OF THE EXIT SHALL NOT BE LESS THAN THE FULL WIDTH OF THE AREA WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
 5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
 6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION EXIT SHALL BE PIPED BENEATH THE EXIT. IF PIPING IS IMPRACTICAL, A BERM WITH 3:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
 7. THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
 8. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

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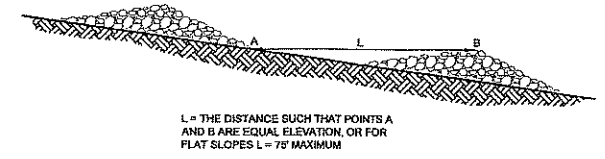
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

CONSTRUCTION SPECIFICATIONS:

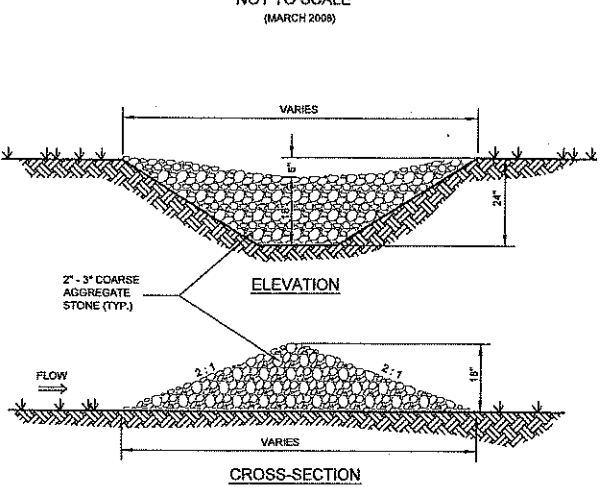
1. THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
2. THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 6 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
3. WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE OR STAPLES WHERE NOTED OR AS DIRECTED BY DESIGN ENGINEER.
4. FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MIDDLE AND BOTTOM.
5. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
6. FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
7. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

MAINTENANCE:

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.



STONE CHECK DAM SPACING DETAIL
NOT TO SCALE
(MARCH 2008)



STONE CHECK DAM DETAIL
NOT TO SCALE
(MARCH 2008)

TURF ESTABLISHMENT SCHEDULE

- PURPOSE:**
TO ESTABLISH AND MAINTAIN PERMANENT AND TEMPORARY TURF AREAS, RESTORE GROWTH TO EXISTING TURF AREAS DISTURBED DURING CONSTRUCTION AND CONTROL SOIL EROSION.
- PREPARATION AND EXECUTION:**
1. RAKE THE SUBGRADE OF ALL AREAS TO BE LOAMED AND SEEDED TO REMOVE RUBBISH, STICKS, ROOTS AND STONES LARGER THAN 1 INCH.
 2. PLACE LOAM OVER AREAS TO BE SEEDED AND SPREAD.
 3. FINE GRADE SURFACE AND SUPPLEMENT WITH SUITABLE LOAM WHERE NEEDED TO CREATE A UNIFORM SURFACE ACCORDING TO THE FINISH GRADES INDICATED. TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED. NO LOAM SHALL BE SPREAD IF THE SUBGRADE IS EXCESSIVELY WET OR FROZEN.
 4. APPLY LIME EVENLY OVER LOAM SURFACE AND THOROUGHLY INCORPORATE THEM INTO THE LOAM BY HEAVY RAKING TO AT LEAST ONE-HALF THE DEPTH OF THE LOAM.
 5. APPLY FERTILIZER AND MIX WITH THE UPPER 2 INCHES OF LOAM.
 6. DETERMINE APPROPRIATE MIXTURE FOR AREA TO BE SEEDED BASED ON EXAMINATION OF PROJECT PLANS. UNIFORMLY SPREAD THE SEED BY BROADCASTING OR HYDROSEEDING. IF BROADCASTING, LIGHTLY RAKE INTO THE PREPARED SURFACE AND ROLL. IF HYDROSEEDING, USE 4 TIMES THE RECOMMENDED RATE OF INOCULANT. AFTER SEED IS SPREAD, WATER THOROUGHLY WITH A FINE SPRAY.
 7. SEEDING FOR PERMANENT COVER SHALL OCCUR BETWEEN SEPTEMBER 15 AND OCTOBER 15 AND BETWEEN APRIL 15 AND JUNE 15. SEEDING SHALL NOT BE DONE DURING WINDY WEATHER, WHEN THE GROUND IS FROZEN OR EXCESSIVELY WET OR OTHERWISE UNTILABLE.
 8. WITHIN 24 HOURS AFTER SEEDING OPERATION, UNIFORMLY MULCH THE AREA WITH HAY, ANCHOR MULCH OR ALL SLOPES EXCEEDING 3:1 USING MULCH NETTING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER.
 9. PROTECT AND PREVENT AGAINST WASHOUTS, ANY WASHOUTS WHICH OCCUR SHALL BE PROMPTLY REGRADED AND RESEEDED.
 10. WHEN IT IS IMPRACTICAL TO ESTABLISH PERMANENT GROWTH ON DISTURBED EARTH BY OCTOBER 15, A TEMPORARY SEED MIXTURE SHALL BE USED. WHEN TEMPORARY SEEDING CANNOT ESTABLISH VISIBLE GROWTH, THE DISTURBED AREA SHALL BE COVERED WITH SIX INCHES OF MULCH FOR THE WINTER.

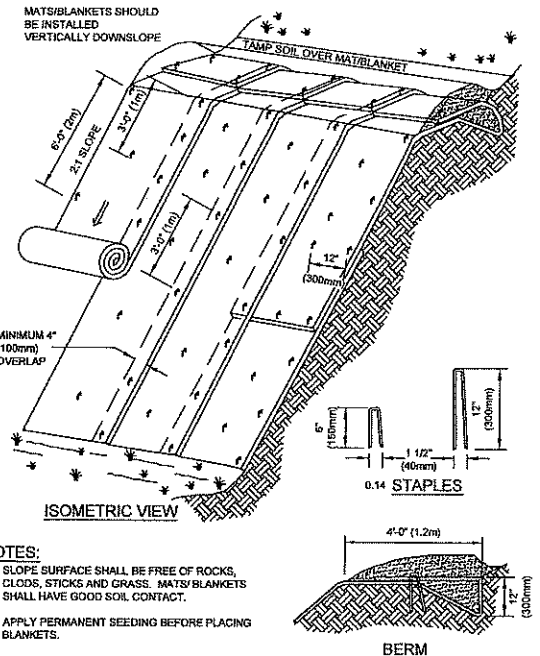
MAINTENANCE:
ALL SEEDED AREAS SHALL BE KEPT WATERED AND IN GOOD CONDITION. RESEED AS NECESSARY TO ESTABLISH HEALTHY UNIFORM GROWTH OVER THE ENTIRE SEEDED AREA. MAINTAIN SEEDED AREAS IN AN APPROVED CONDITION UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE REPAIRS FOR DAMAGE CAUSED BY EROSION.

- APPLICATION RATES:**
1. LOAM SHALL BE APPLIED AT A MINIMUM COMPACTED THICKNESS OF 4 INCHES.
 2. LIME SHALL BE APPLIED AT A RATE OF 75 TO 100 POUNDS PER 1,000 S.F.
 3. FERTILIZER SHALL BE APPLIED AT A RATE OF 30 POUNDS PER 1,000 S.F.
 4. SEED MIXTURE FOR LAWN AREAS SHALL BE APPLIED AT A RATE OF AT LEAST 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
 5. TEMPORARY SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1,000 S.F.
 6. SEED MIXTURE FOR SLOPE AREAS SHALL BE APPLIED AT A RATE OF 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
 7. SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS SHALL BE APPLIED AT A RATE OF 70 POUNDS PER ACRE OR 1.6 POUNDS PER 1,000 S.F.
 8. MULCH SHALL BE APPLIED AT A RATE OF 90 POUNDS PER 1,000 S.F.

HI-FLOW DANDY BAG® (SAFETY ORANGE)

| MECHANICAL PROPERTIES | TEST METHOD | UNITS | MARV |
|-------------------------|-------------|---|-------------------------|
| GRAB TENSILE STRENGTH | ASTM D 4532 | kN (lbs) | 1.62 (365) x 0.99 (220) |
| GRAB TENSILE ELONGATION | ASTM D 4532 | % | 24 X 10 |
| PUNCTURE STRENGTH | ASTM D 4533 | kN (lbs) | 0.40 (90) |
| MULLEN BURST STRENGTH | ASTM D 3786 | kPa (psi) | 3097 (450) |
| TRAPEZOID TEAR STRENGTH | ASTM D 4533 | kN (lbs) | 0.51 (115) x 0.35 (75) |
| UV RESISTANCE | ASTM D 4365 | % | 9 |
| APPARENT OPENING SIZE | ASTM D 4761 | Mm (US Sieve) | 0.425 (40) |
| FLOW RATE | ASTM D 4491 | l/min/m ² (gal/min/ft ²) | 5807 (145) |
| PERMEABILITY | ASTM D 4491 | Sec ⁻¹ | 2.1 |

DANDY BAG®
NOT TO SCALE
(APRIL 2010)



- NOTES:**
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
 2. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
 3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

EROSION CONTROL BLANKETS - SLOPE INSTALLATION
NOT TO SCALE
(MARCH 2008)

- MATERIALS:**
1. LOAM USED FOR TOPSOIL SHALL BE FRIABLE, FERTILE, NATURAL FREE-DRAINING LOAM; FREE OF ROOTS, GRASS, STICKS, WEEDS, CLAY, SOD LUMPS, DEBRIS AND STONES LARGER THAN 1 INCH IN ANY DIMENSION. SOIL SHALL NOT BE EXCESSIVELY ACID OR ALKALINE AND CONTAIN NO TOXIC MATERIALS.
 2. LIME SHALL BE GROUND LIMESTONE CONTAINING NO LESS THAN 85% CALCIUM AND MAGNESIUM CARBONATES.
 3. FERTILIZER SHALL BE 10-20-20 COMMERCIAL GRADE.
 4. SEED MIXTURE FOR LAWN AREAS SHALL BE 99% PURE LIVE SEED AND CONSIST OF THE FOLLOWING:
25% CREEPING RED FESCUE
25% KENTUCKY BLUEGRASS
25% REDTOP
25% MANHATTAN PERENNIAL RYEGRASS
 5. TEMPORARY SEEDING MIXTURE SHALL BE AN APPROVED CONSERVATION MIX OR CONSIST OF THE FOLLOWING:
15% BLACKWELL DR SHELTER SWITCHGRASS
30% NIAGRA OR KAW BIG BLUESTEM
30% CAMPER OR BLAZE LITTLESTEM
15% NE-27 OR BLAZE SAND LOVEGRASS
15% WIKING BIRDFOOT TREFOIL
INOCULUM SPECIFIC TO BIRDFOOT TREFOIL MUST BE USED WITH THIS MIXTURE.
 6. SEED MIXTURE FOR SLOPE AREAS SHALL BE 99% PURE LIVE SEED AND SHALL CONSIST OF THE FOLLOWING:
30% CREEPING RED FESCUE
40% PERENNIAL RYE GRASS
15% REDTOP
15% BIRDFOOT TREFOIL
IN ADDITION TO THE MIX SPECIFIED ABOVE, CROWN VETCH SHALL BE USED ON ALL SLOPES STEEPER THAN 3:1. CROWN VETCH SHALL BE APPLIED AT A RATE OF 10 POUNDS PER ACRE AND INOCULUM SPECIFIC TO CROWN VETCH MUST BE USED.
 7. SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS, INCLUDING DETENTION BASINS AND VEGETATED TREATMENT SWALES SHALL CONSIST OF THE FOLLOWING:
25% CREEPING RED FESCUE
15% SWITCH GRASS
15% FOX SEDGE
15% CREEPING BENTGRASS
15% FLATPEA
20% WILDFLOWER VARIETY
 8. HAY USED FOR MULCH SHALL CONSIST OF MOWED AND PROPERLY CURED GRASS OR LEGUME MOWINGS, FREE FROM WEEDS, TWIGS, DEBRIS OR OTHER DELETERIOUS MATERIAL AND NOT OR MOLD.

WINTER CONSTRUCTION NOTES:

1. ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
4. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

CONSTRUCTION SEQUENCE

1. FIRST CUT AND CLEAR TREES AND BRUSH ONLY WITHIN DESIGNATED LIMITS OF CLEARING AS NECESSARY TO FACILITATE PROPOSED CONSTRUCTION. ALL TREES, BRANCHES AND OTHER VEGETATIVE MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR. THIS PROJECT IS MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3500 RELATIVE TO INVASIVE SPECIES.
2. PRIOR TO COMMENCEMENT OF ANY EARTHMOVING OPERATIONS, ALL APPLICABLE TEMPORARY EROSION CONTROL MEASURES, INCLUDING SPECIFIED PERIMETER SILTATION FENCING AND STABILIZED CONSTRUCTION EXIT SHALL BE IN PLACE AS SHOWN ON THE PROJECT PLANS.
3. COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR ORGANIC DEBRIS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR. NATIVE ORGANIC SOIL MATERIALS SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED WITHIN AREAS OUT OF THE WAY OF OTHER CONSTRUCTION ACTIVITIES AND DRAINAGE FLOW. STOCKPILES SHALL BE TEMPORARILY SEEDED WITH WINTER RYE AND BE SURROUNDED WITH HAY BALES AND/OR FABRIC SILTATION FENCE IN ORDER TO PREVENT LOSS DUE TO EROSION.
4. BEGIN EARTHMOVING OPERATIONS, COMMENCING WITH WORK NEEDED TO BALANCE SITE AND FACILITATE PROTECTED FOUNDATION AND SLOPE WALL CONSTRUCTION. PERMANENT DOWNSLOPE WORK SHALL BE PROTECTED FROM UPGRADIENT STORMWATER FLOW BY THE CONSTRUCTION OF TEMPORARY EARTHEN DIKES OR EXCAVATED SWALES.
5. ONCE BUILDING FOUNDATION WORK IS UNDERWAY, CONTINUE EARTHMOVING OPERATIONS UNTIL DESIGN SUBGRADE IS ACHIEVED.
6. INSTALL DRAINAGE SYSTEMS AND OTHER UTILITIES WORKING FROM LOW TO HIGH. INCOMPLETE WORK SHALL BE PROTECTED FROM SILTATION BY THE USE OF SILTATION BARRIERS AROUND SWALES UNTIL THE SITE HAS BECOME FULLY STABILIZED.
7. PLACE GRAVEL AND CRUSHED GRAVEL OVER PROPOSED DRIVEWAY, WALKS AND PARKING AREAS AND COMPACT IN SPECIFIED LIFT THICKNESS.
8. COMPLETE EXCAVATION/STABILIZATION GRADING ACTIVITIES. WHEN COMPLETE, IMMEDIATELY BEGIN TOPSOILING PROPOSED TURF AREAS USING STOCKPILED LOAM SUPPLEMENTED WITH BOWROW LOAM, IF NECESSARY, TO LEAVE A THICKNESS OF 4 INCHES OF FRIABLE LOAM.
9. FINE GRADE ALL FUTURE TURF AREAS AND HYDROSEED WITH THE SPECIFIED SEED MIXTURE IMMEDIATELY AFTER FINE GRADING IS COMPLETED. ALL AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
10. INSTALL THE BINDER COURSE OF PAVEMENT OVER ALL DESIGNATED AREAS.
11. CONTINUE TO MONITOR AND RECTIFY MINOR SITE AND SLOPE EROSION UNTIL ENTIRE SITE APPEARS TO BE COMPLETELY STABILIZED AND VEGETATED WITH A HEALTHY STAND OF TURF OR GROUND COVER. MAINTAIN SPECIFIED SILTATION/EROSION CONTROL MEASURES THROUGH ONE WINTER.
12. INSTALL THE SPECIFIED WEARING COURSE OF PAVEMENT OVER THE BINDER COURSE.
13. COMPLETE INSTALLATION OF LANDSCAPING, SIGNAGE AND OTHER SITE AMENITIES.

EROSION CONTROL NOTES

1. EXPOSED EARTHWORK SHALL BE CONFINED TO AS LIMITED AN AREA AS IS PRACTICAL AT ANY GIVEN TIME THROUGHOUT THE CONSTRUCTION SEQUENCE. AT NO TIME SHALL MORE THAN FIVE (5) ACRES OF SITE AREA BE IN AN UNSTABLE CONDITION. NO GIVEN AREA OF THE SITE SHALL BE LEFT IN AN UNSTABILIZED CONDITION FOR A PERIOD OF TIME EXCEEDING FORTY-FIVE (45) CALENDAR DAYS.
2. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS. IN ADDITION, SIMILAR MEASURES SHALL BE INSTALLED WHERE AND WHEN THE FIELD CONDITION, OR FIELD OPERATION OF THE INDIVIDUAL SITE CONTRACTOR, MAY WARRANT. ALL TEMPORARY EROSION CONTROL MEASURES USED SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.5" OF RAINFALL OR MORE. THEY SHALL BE CLEANED AND MAINTAINED AND OTHERWISE KEPT IN AN EFFECTIVE OPERATING MANNER THROUGHOUT THE CONSTRUCTION PERIOD.
3. ALL DISTURBED AREAS DESIGNATED TO BE TURF, SHALL RECEIVE A MINIMUM APPLICATION OF 4 INCHES OF LOAM (COMPACTED THICKNESS), PRIOR TO FINAL SEEDING AND MULCHING.
4. ALL SWALES AND DITCHLINES SHALL BE PERIODICALLY CLEANED OF DEPOSITED SEDIMENT SO AS TO MAINTAIN AN EFFECTIVE GRADE AND CROSS SECTION. ALL SWALES AND DITCHLINES SHALL BE FULLY STABILIZED PRIOR TO HAVING STORMWATER DIRECTED TOWARDS THEM.
5. IN THE EVENT THAT, DURING CONSTRUCTION OF ANY PORTION OF THIS PROJECT, A WINTER SHUTDOWN IS NECESSARY, THE CONTRACTOR SHALL STABILIZE ALL INCOMPLETE WORK AND PROVIDE FOR SUITABLE METHODS OF DIVERTING RUNOFF IN ORDER TO ELIMINATE SHEET FLOW ACROSS FROZEN SURFACES.
6. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
7. DUST SHALL BE CONTROLLED BY THE USE OF WATER AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD, IN ACCORDANCE WITH ENV-A 1000.
8. IN NO WAY ARE THESE TEMPORARY EROSION CONTROL MEASURES INDICATED ON THESE PLANS TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT IN INSTALLING SUPPLEMENTARY EROSION CONTROL MEASURES WHERE AND WHEN SPECIFIC SITE CONDITIONS AND/OR CONSTRUCTION METHODOLOGIES MAY WARRANT.
9. AREAS HAVING FINISH GRADE SLOPES OF 3:1 OR STEEPER, SHALL BE STABILIZED WITH JUTE MATTING WHEN AND IF FIELD CONDITIONS WARRANT, OR IF SO ORDERED. JUTE MATTING SHALL BE INSTALLED TO CONFORM WITH THE RECOMMENDED BEST MANAGEMENT PRACTICE OUTLINED IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION."
10. ALL DETENTION PONDS AND TREATMENT SWALES SHALL BE CONSTRUCTED PRIOR TO ANY EARTH MOVING ACTIVITIES THAT WILL INFLUENCE STORMWATER RUNOFF.
11. ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
12. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

AMENDED CONSTRUCTION DETAILS
FAIRVIEW NURSING HOME

MAP 216 LOT 2
203 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
MERRIMAC REAL ESTATE INVESTORS, LLC
203 LOWELL ROAD
HUDSON, NH 03051
H.C.R.D. BK. 8610 PG. 2674

APPLICANT:
MERRIMAC REAL ESTATE INVESTORS, LLC
203 LOWELL ROAD
HUDSON, NH 03051

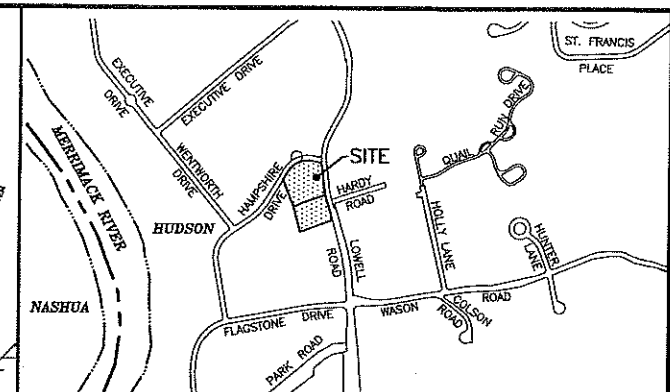
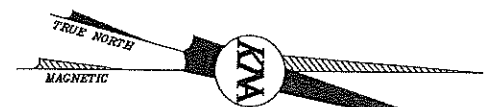
K&A KRACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS

| No. | DATE | DESCRIPTION | BY |
|-----|----------|----------------------------|-----|
| 1 | 05/26/17 | PEER REVIEW | DMS |
| 2 | 08/15/17 | PER CONDITIONS OF APPROVAL | DMS |

DATE: MAY 3, 2017 SCALE: AS SHOWN
PROJECT NO: 08-0703-1A SHEET 13 OF 13

PAUL CHISHOLM
No. 15076
LICENSED PROFESSIONAL ENGINEER



VICINITY MAP
SCALE: 1"=1,000'

PLAN REFERENCES:

- "AMENDED NON-RESIDENTIAL SITE PLAN, FAIRVIEW NURSING HOME, MAP 216; LOT 2, 203 LOWELL ROAD, HUDSON, NEW HAMPSHIRE", DATED: NOVEMBER 2, 2012, LAST REVISED 04/02/13, PREPARED BY: KEACH-NORDSTROM ASSOCIATES, INC., SHEETS 1 THROUGH 18.
- "AMENDED NON-RESIDENTIAL SITE PLAN, FAIRVIEW NURSING HOME, MAP 216 LOT 2, 203 LOWELL ROAD, HUDSON, NEW HAMPSHIRE", DATED: MAY 3, 2017, PREPARED BY: KEACH-NORDSTROM ASSOCIATES, INC., SHEETS 1 THROUGH 13.

GENERAL NOTES:

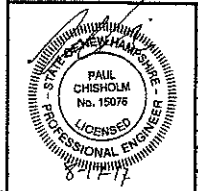
- THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE THE PROPOSED LOCATION OF A TEMPORARY GRAVEL PARKING AREA ON MAP 216 LOT 1 TO BE USED DURING CONSTRUCTION OF SITE IMPROVEMENTS OF MAP 216 LOT 2. FOLLOWING CONSTRUCTION ON LOT 2, USE OF THE TEMPORARY LOT WILL BE DISCONTINUED AND IT SHALL BE LOAMED AND SEEDED.
- MAP 216 LOT 2 INDICATES TOWN OF HUDSON TAX ASSESSORS MAP AND LOT NUMBER.
- TOTAL SITE AREA:
MAP 216 LOT 1 = 85,670 SF, 1.967 ACRES
MAP 216 LOT 2 = 223,476 SF, OR 5.130 ACRES
- PRESENT OWNER OF RECORD:
MERRIMACK REAL ESTATE INVESTORS, LLC
203 LOWELL ROAD
HUDSON, NH 03051
H.C.R.D. BK. 0610 PG. 2674
- PRESENT ZONING: BUSINESS (B)
MINIMUM LOT REQUIREMENTS:
- LOT AREA 30,000 SF (WITH WATER AND SEWER)
- LOT FRONTAGE 150 FT (ARTERIAL/COLLECTOR)
MINIMUM BUILDING SETBACKS:
LOCAL ROAD/COLLECTOR/ARTERIAL
- FRONT 50 FT
- SIDE 15 FT
- REAR 15 FT
- EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 33011C056D PANEL NUMBER 656 OF 701, EFFECTIVE DATE: SEPTEMBER 25, 2009 INDICATES THAT THE SUBJECT PREMISES IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.
- MAP 216 LOT 2 IS SERVICED BY MUNICIPAL WATER AND SEWER.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
- BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE DURING JULY OF 2008, AUGUST OF 2014 AND DECEMBER OF 2016.
- HORIZONTAL DATUM IS MAGNETIC 2008.
- SITE SPECIFIC SOIL SURVEY PERFORMED BY GOVE ENVIRONMENTAL SERVICES IN DECEMBER 2009.
- GOVE ENVIRONMENTAL SERVICES CONDUCTED A SITE WALK IN NOVEMBER 2012 AND CONFIRMED THAT NO JURISDICTIONAL WETLANDS WERE PRESENT ON-SITE.

**TEMPORARY PARKING LOT EXHIBIT
FAIRVIEW NURSING HOME**

MAP 216 LOTS 1 & 2
205 & 203 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

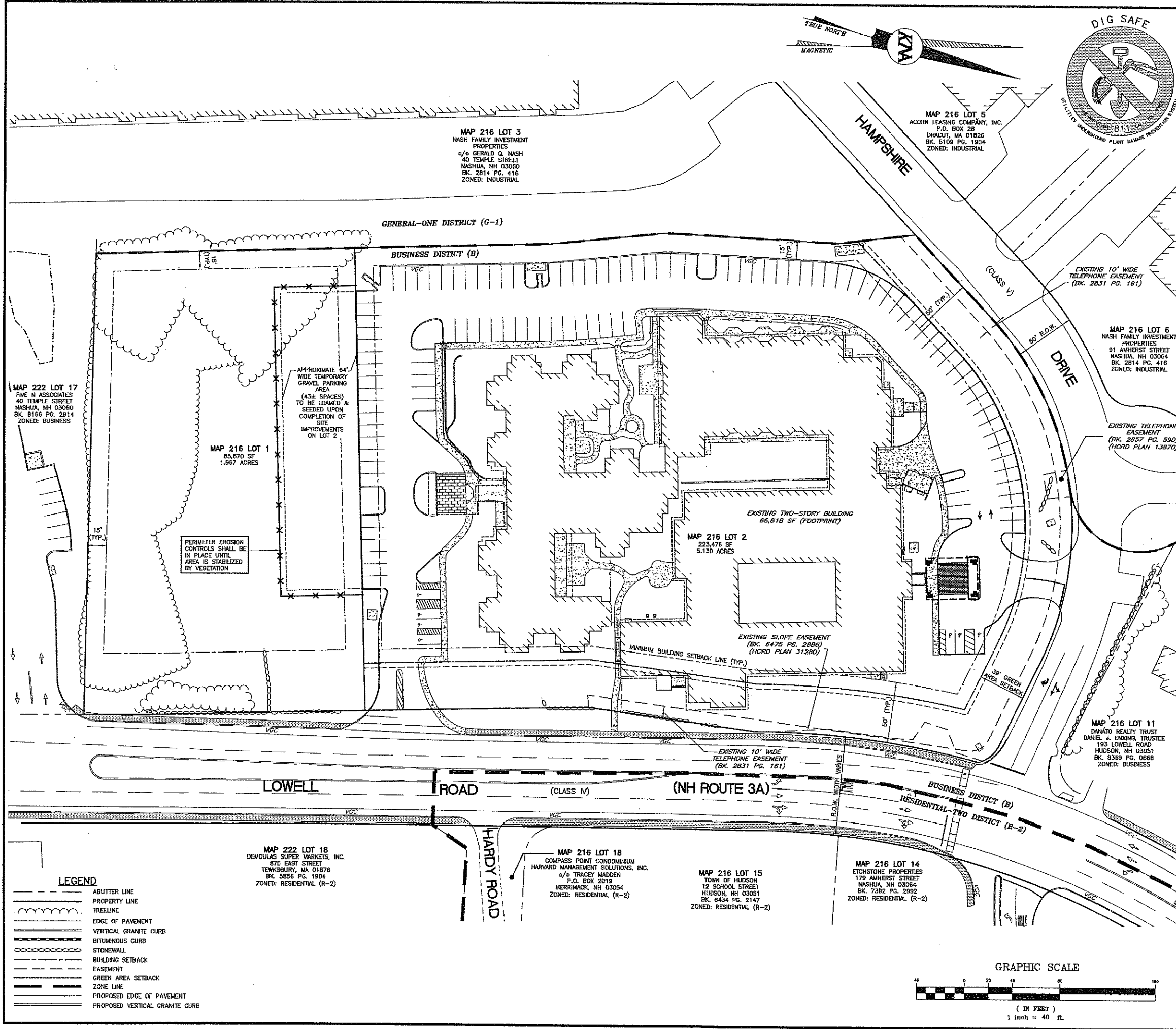
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| OWNER OF RECORD: MERRIMACK REAL ESTATE INVESTORS, LLC 203 LOWELL ROAD HUDSON, NH 03051 H.C.R.D. BK. 0610 PG. 2674 | APPLICANT: MERRIMACK REAL ESTATE INVESTORS, LLC 203 LOWELL ROAD HUDSON, NH 03051 |
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KA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



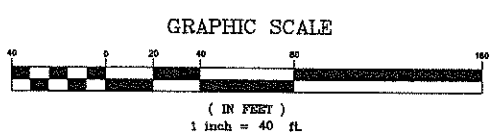
| REVISIONS | | | |
|-----------|----------|-------------|-----|
| No. | DATE | DESCRIPTION | BY |
| 1 | 05/25/17 | PEER REVIEW | DMS |

DATE: MAY 3, 2017
PROJECT NO: 08-0703-1A
SCALE: 1" = 40'
SHEET E1 OF E1



LEGEND

- ABUTTER LINE
- PROPERTY LINE
- TREELINE
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- BITUMINOUS CURB
- STONEWALL
- BUILDING SETBACK
- EASEMENT
- GREEN AREA SETBACK
- ZONE LINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED VERTICAL GRANITE CURB



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