



TOWN OF HUDSON

Planning Board

Glenn Della-Monica, Chairman

David Morin, Selectmen Liaison



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

PUBLIC MEETING TOWN OF HUDSON, NH JULY 25, 2018

The Town of Hudson Planning Board will hold a regularly scheduled meeting on Wednesday, July 25, 2018 at 7:00 p.m. in the “Buxton Community Development Conference Room” at Town Hall. The following items will be on the agenda:

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES
- V. MINUTES OF PREVIOUS MEETING(S)
 - 11 July 18 Meeting Minutes - Decisions
- VI. CASES REQUESTED FOR DEFERRAL
- VII. CORRESPONDENCE
- VIII. PERFORMANCE SURETIES
- IX. ZBA INPUT ONLY
- X. OLD BUSINESS/PUBLIC HEARINGS
- XI. DESIGN REVIEW PHASE
- XII. CONCEPTUAL REVIEW ONLY
- XIII. NEW BUSINESS/PUBLIC HEARINGS

- B. 10 Roosevelt Avenue Change of Use
CUSP# 01-18

10 Roosevelt Avenue
Map 191/Lot 131

Purpose of Plan: to propose the additional use of general retail, which would include a flea market, auction hall, and snack bar. Application Acceptance & Hearing.

- XIV. OTHER BUSINESS
- XV. ADJOURNMENT

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting. The public is invited to attend.

Brooke Dubowik
Planning Administrative Aide

POSTED: Town Hall, Library & Post Office – 07-13-18

REVISED: Pelham Yards Amended Site Plan rescheduled to - 08-08-18



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12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

**PUBLIC MEETING
TOWN OF HUDSON, NH
JULY 25, 2018
(Addendum#1)**

In addition to items already scheduled and posted for review at the July 25, 2018 Planning Board Meeting, the following item is scheduled to be heard:

VII. CORRESPONDENCE

- A. Request to Release Corridor Impact Fees for Traffic Camera Feeds by Elvis Dhima, Town Engineer (Email dated 07-05-18)

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting.

The public is invited to attend.

Brooke Dubowik
Planning Administrative Aid

POSTED: Town Hall, Library, Post Office – 7/16/18

MINUTES/DECISIONS OF THE PLANNING BOARD
MEETING DATE: JULY 11, 2018

In attendance = X; Alternates Seated = S; Partial Attendance = P; Excused Absence = E

Glenn Della-Monica Chairman <u> X </u>	Timothy Malley Vice-Chair <u> X </u>	William Collins Secretary <u> X </u>	Charles Brackett Member <u> E </u>
Jordan Ulery Member <u> X </u>	Dillon Dumont Member <u> X </u>	Elliott Veloso Alternate <u> X </u>	Ed Van der Veen Alternate <u> X </u>
Ethan Meinhold Alternate <u> E </u>	David Morin Select. Rep. <u> X </u>	Roger Coutu Alt. Select. Rep. <u> E </u>	

.....

Meeting called to order at approximately 7:00 p.m.

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES
- V. ELECTION OF OFFICERS
- VI. MINUTES OF PREVIOUS MEETING(S)

- 27 JUNE 18 Meeting Minutes – Decisions.

Mr. Veloso moved to approve the 27 JUNE 18 Meeting Minutes (as written/amended).

Motion seconded by Mr. Ulery. All in favor – motion carried.

- VII. CASES REQUESTED FOR DEFERRAL
- VIII. CORRESPONDENCE
- IX. PERFORMANCE SURETIES
- X. ZBA INPUT ONLY

- XI. PUBLIC HEARINGS
- XII. OLD BUSINESS/PUBLIC HEARINGS
- XIII. DESIGN REVIEW PHASE
- XIV. CONCEPTUAL REVIEW ONLY

- XV. NEW BUSINESS/PUBLIC HEARINGS

- A. Tate Site Plan
SP# 06-18

117 Lowell Road
Map 204/Lot 008

Purpose of Plan: to show the replacement of an existing burned out garage with a new proposed garage. Application Acceptance & Hearing.

Mr. Malley moved to accept the Site Plan application for 117 Lowell Road, Map 204/Lot 008.

Motion seconded by Mr. Ulery. All in favor – motion carried.

WAIVER MOTIONS:

- 1) HR 275 – 8. C. (6) – Required off-street loading

Mr. Malley moved to grant the requested waiver of HR 275–8. C. (6) – Required off-street loading, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted waiver request.

Motion seconded by Mr. Veloso. All in favor – motion carried.

- 2) HR 275 – 8. C. (7) – Interior parking lot landscaping

Mr. Malley moved to grant the requested waiver of HR 275-8. C. – Interior parking lot landscaping, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted waiver request.

Motion seconded by Mr. Ulery. All in favor – motion carried.

- 3) HR 276 - 11.1 B. (12)(c) – One hundred foot setback from residential property

Mr. Malley moved to grant the requested waiver of HR 276-11.1 B (12)(C) – One hundred foot setback from residential property, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted waiver request.

Motion seconded by Mr. Ulery. All in favor – motion carried.

MOTION TO APPROVE:

Mr. Malley moved to approve the Site Plan entitled: Tate Site Plan, 117 Lowell Road, Hudson, NH, Map 204, Lot 008, prepared by Edward N Herbert Associates, Inc., 1 Forest Road, Windham, NH, dated 30 April 2018, (last revised 12 JUNE 2018), consisting of Sheets 1 - 6 and Notes 1 – 17 on Sheet 1 with the following stipulations:

1. All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record.
2. All improvements shown on the Site Plan-of-Record, including Notes 1- 17, shall be completed in their entirety and at the expense of the Applicant or his assigns.
3. Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Land Use Department, confirming that the site conforms to the Planning Board approved site plan.
4. The onsite drainage system shall be constructed and maintained in compliance with NHDES requirements for such systems.
5. Prior to Planning Board endorsement of the plan, it shall be subject to final review by the Town Engineer and CLD.
6. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M. No exterior construction activities shall be allowed on Sundays. Note 15 shall be added to the Plan set.
7. Hours of refuse removal shall be exclusive to the hours between 7:00 A.M. and 7:00 P.M. Monday through Saturday only. Note 16 shall be added to the Plan set.
8. Hours of operation shall be exclusive to the hours between 7:00 A.M. and 7:00 P.M. Monday through Saturday only. Note 17 shall be added to the Plan set.

Motion seconded by Mr. Dumont. All in favor – motion carried.

XVI. OTHER BUSINESS
XVII. ADJOURNMENT

Motion to adjourn by Mr. Malley. Seconded by Mr. Dumont. All in favor – motion carried.

Meeting adjourned at 7:59 p.m.

William Collins
Secretary

10 Roosevelt Ave. Change of Use
STAFF REPORT
25 July 2018

SITE: 10 Roosevelt Ave - Map 191/Lot 131- CUSP# 01-18

ZONING: B-Business District

PURPOSE OF PLAN: to modify allowed uses of the property to include a general retail use – an indoor flea market and auction hall with snack bar in addition to all previously allowed uses.

CHANGE OF USE APPLICATION FOR: 10 Roosevelt Ave., Tax Map 191/Lot 131.

ATTACHMENTS:

- 1) Change of Use Application for 10 Roosevelt Ave., Tax Map 191/Lot 131, date stamped July 9, 2018 – Attachment “A”
- 2) Comments/Zoning Determination by Bruce Buttrick, Zoning Administrator/Code Enforcement Officer dated July 19, 2018, Town Eng., Asst. Assessor, Deputy Fire Chief, Road Agent, and Police Dept. – Attachment “B”
- 3) Approved Site Plan for 10 Roosevelt entitled “Proposed Building Addition, Fashion Neckwear” signed on 4/26/86. – Attachment “C”

REQUESTED WAIVERS:

None Requested

PROJECT DESCRIPTION:

The property consists of a 33,000 sq. ft. industrial building (formerly Fashion Neckwear). A site plan to permit an expansion of the building for industrial use was approved in 1986. The building currently houses a commercial gym - *Athletic Tumbling Allstars* and leased warehouse/storage space in addition to the vacant unit that is the subject of this application. It is uncertain whether a change of use for the gym was previously approved by the Planning Board. Athletic Tumbling Allstars offers classes Monday through Saturday in addition to youth camps and special functions. Staff has no information on the warehouse/storage tenant. The project proposes to use approximately 12,000 sq. ft. of existing warehouse space for an indoor flea market and auction hall with a snack bar. The proposed uses are permitted in the Business District. The flea market would operate Saturday and Sunday mornings and afternoons and could accommodate up to 100 vendors. The auction hall would function on Wednesdays. Currently the site is provided with 98 parking spaces, though the striping has faded considerably. The site abuts residential uses to the

south and east and industrial/warehouse and residential/commercial uses to the north and west. Access is provided from Roosevelt Ave over a shared access easement with 8 Roosevelt Ave.

APPLICATION TRACKING:

- 09 July 2018 – Application submitted.
- 25 JULY 2018 – Public hearing scheduled.

OUTSTANDING ISSUES:

1. Existing building/site usage: The effect of the proposal is to convert what was approved as a single use industrial building into a multi-unit, multi-use site. No floorplan or square footage breakdown for the building or amended site plan has been provided which hinders the calculation of parking requirements or allows for an assessment of potential traffic impacts or conflicts of use if any. It does not appear that any new or amended site plans have been submitted since the 1986 approval.
2. Parking: Currently the site has 98 spaces. A 12,000 sq. ft. retail space would require 60 spaces. It is uncertain what the parking requirements are for the building's remaining 26,000 sq. ft.; however with up to 100 vendor stall proposed, no parking would remain available for customers of the flea market, the tumbling gym or other users.
3. Loading: it is unclear how, when or where vendor loading and unloading will take place on the site and what the potential impacts of loading and unloading activity would be on other site users.
4. CAP Fee – No CAP fee is required as the proposal is for a change of use of an existing building.

RECOMMENDATION: Staff recommends that the application not be accepted and that the applicants be directed to prepare and submit an application for an amended site plan that at minimum addresses the breakdown of the uses proposed for the site, parking, internal circulation and traffic. Motions to accept or to defer are included in case the Board determines that acceptance is warranted or that that more time is needed to review the application.

DRAFT MOTIONS:

I move to defer further review of the Change of Use Application for 10 Roosevelt Avenue, Hudson, NH, Tax Map 191/Lot 131, date specific to the 22 AUG 18 meeting.

Motion by: _____ Second: _____ Carried/Failed: _____

I move to deny the Change of Use application for 10 Roosevelt Avenue, Hudson, NH, Tax Map 191/Lot 131.

Motion by: _____ Second: _____ Carried/Failed: _____

I move to accept the Change of Use application for 10 Roosevelt Avenue, Hudson, NH, Tax Map 191/Lot 131 with the following stipulations (if any):

Motion by: _____ Second: _____ Carried/Failed: _____

CHANGE OF USE SITE PLAN APPLICATION
TOWN OF HUDSON, NEW HAMPSHIRE



Date of Application: June 13, 2018 Tax Map # 191 Lot # 131-000

Name of Project: _____

Zoning District: Business (B) General CUSP# 01-18

(For Town Use)

ZBA Action: _____

PROPERTY OWNER:

Name: K & D Foundation, LLC

Address: 10 Roosevelt Ave

Address: Hudson, NH 03051

Telephone # 603-548-7081

Fax # N/A

Email: barryL.Kaplan@gmail.com

APPLICANT:

Jillian & Megan Haffner

17 Fairhaven Road

Nashua, NH 03060

617-710-2269

N/A

megan-haffner@yahoo.com

PROPOSED USE:

The proposal for this property is to retain all previous and current designations of use, while adding the following use to the property: general retail. The general retail proposed is for the following: flea market and auction hall with snack bar. There will be no substantial alterations to the property in the creation of these uses.

(FOR TOWN USE)

Plan Routing Date: _____ Sub/Site Date: _____

_____ I have no comments _____ I have comments (attach to form)

(Initials) Title: _____ Date: _____

DEPARTMENT:

____ Zoning ____ Engineering ____ Assessor ____ Police ____ Fire ____ Planning

____ Highway Dept. ____ Consultant

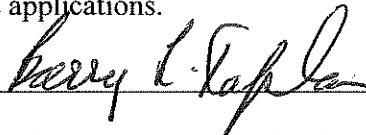
Fees Paid: \$172.35

**APPLICATION FOR CHANGE OF USE SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Change of Use Site Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Special Site Review Committee, in development and construction of this project. I understand that if any of the items listed under the Minor Site Plan specifications or Application form are incomplete, the Application will be considered rejected.

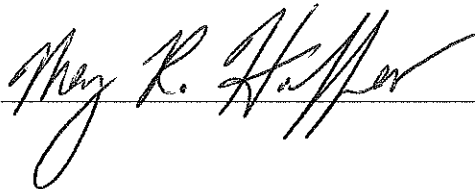
Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and inspections conducted on his (their) property in connection with this applications.

Signature of Owner: _____



- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Applicant: _____



APPLICATION IS DUE AT 10 A.M. 30 days prior to the Planning Board Meeting. (The date the Agenda is CLOSED.) Any applications received after that time will be deferred until the next available meeting.

**APPLICATION FOR CHANGE OF USE SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

SCHEDULE OF FEES

A. Review Fees

1. Change of Use Site Plan Fee \$100 \$ 100.00

B. Postage

Current "certified mail" postage rate per abutter to proposed
Site Plan and current first class postage rate per property
Owner within 200 feet of proposed site plan.

3 abutters @\$3.95 (Certified Mail) \$ 11.85

11 property owners within 200 feet \$ 5.50
@.50 (First class)

C. On-Site Signs

\$ 15.00

D. Advertising (PUBLIC NOTICE) For all minor site plans

\$ 40.00

TOTAL

\$ 172.35

For Town Use

AMOUNT DUE

\$ 172.35 DATE RECEIVED

7/10/18

AMOUNT RECEIVED

\$ 172.35 RECEIPT NO.

513,809

RECEIVED BY:

Brooke

Original

SITE PLAN WAIVER REQUEST FORM
CHANGE OF USE

Name of Project: 10 Roosevelt Avenue Change of Use CUSP#01-18
Street Address: 10 Roosevelt Avenue, Hudson, NH 03051
I Megan R. Haffner hereby request that the Planning Board waive the requirements of Hudson Regulations Chapter 275, Article II Application Procedures in reference to a proposed change of use for property tax map(s) 191 and lot(s) 131-000 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The owner of the building has been seeking occupants for some time. They have had tenants that have occupied portions of their building, but have not had the opportunity to have a tenant that is willing and able to occupy a substantial portion of their building. We are willing and able to occupy a substantial portion of the building. This will prevent the owner from going into foreclosure on the property.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

This business opportunity for the town will bring a viable business to a building that has been underused and underutilized over the last several years. This business will bring customers and revenue to surrounding businesses and the town.

Signed:

Megan R. Haffner
Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____

CHANGE OF USE SITE PLAN APPLICATION
TOWN OF HUDSON, NEW HAMPSHIRE



Date of Application: June 13, 2018 Tax Map # 191 Lot # 131-000

Name of Project: 10 Roosevelt Avenue Change of use

Zoning District: Business (B) General CUSP# 01-18

(For Town Use)

ZBA Action: _____

PROPERTY OWNER:

Name: K & D Foundation, LLC

Address: 10 Roosevelt Ave

Address: Hudson, NH 03051

Telephone # 603-548-7081

Fax # N/A

Email: barryL.Kaplan@gmail.com

APPLICANT:

Jillian & Megan Haffner

17 Fairhaven Road

Nashua, NH 03060

617-710-2269

N/A

megan-haffner@yahoo.com

PROPOSED USE:

The proposal for this property is to retain all previous and current designations of use, while adding the following use to the property: general retail. The general retail proposed is for the following: flea market and auction hall with snack bar. There will be no substantial alterations to the property in the creation of these uses.

(FOR TOWN USE)

Plan Routing Date: 7/16/18 Sub/Site Date: 7/25/18

BB I have no comments ☒ I have comments (attach to form)

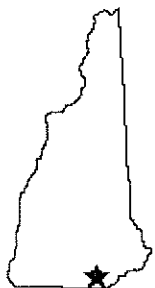
(Initials) Title: ZONING ADMINISTRATOR Date: 7-19-18

DEPARTMENT:

☒ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning

_____ Highway Dept. _____ Consultant

Fees Paid: \$172.35



TOWN OF HUDSON

Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

Site Plan Review Zoning Review/Comments

July 19, 2018

Re: Case: CUSP# 01-18
Address: 10 Roosevelt Ave
Map 191 /Lot 131-000
Zoning district: Business (B)

- 1) This proposal is a change of use as well as a mixed use and should have full Planning Board site plan review process.
- 2) Zoning Ordinance §334-16.1 "Site plan approval" (emphasis added here): No person, persons, partnership, proprietorship, company, trust or corporation shall **commence a new use, change a use** or commence any site development activity (other than one- or two-family residential activity) without first **securing site plan approval from the Hudson Planning Board** pursuant to this chapter. These regulations shall apply to the development or **change or expansion of use** of tracts for nonresidential uses or for "multifamily dwelling units," which are defined as any structures containing more than two dwelling units, whether or not such development includes a subdivision or resubdivision of the site. For the purpose of this chapter, **change of use occurs when the use of any land or building is changed from one land use classification to another or from one category to another category within a land use classification** as specified in this chapter. E.g., grocery store changes to a food service establishment. No building permits shall be issued until site plan approval has been obtained from the Town of Hudson Planning Board and is recorded with the Hillsborough County registry of Deeds.
- 3) Zoning Ordinance §334-10 "Mixed or Dual use on lot" (emphasis added here):
[Amended 3-13-2018 ATM by Amdt. No. 1]
A. Multiple uses on a lot are permitted, provided that the lot meets the area and frontage requirements for the principal use for the district in which it is located and **each use is in conformity with** all other requirements set forth in this chapter and **the Hudson Land Use Regulations pertaining to that use.**

Sincerely,

Bruce Buttrick, MCP
Zoning Administrator/Code Enforcement Officer
(603) 816-1275
bbuttrick@hudsonnh.gov

cc: Jay Minkarah – Interim Town Planner
file



TOWN OF HUDSON

Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

Zoning Determination #18-75

June 1, 2018

Megan Haffner
17 Fairhaven Rd
Nashua, NH 03060

Re: 10 Roosevelt Ave Map 191 Lot 131
District: Business (B)

COPY

Dear Ms. Haffner,

Your request: Can you use this building as a Flea Market, Auction Hall and food service?

Zoning Review / Determination:

This is an existing "developed" lot of record having a site plan signed 4/26/86.

I make determination that the proposal is "general retail" use, a change of category which §334-16.1 requires a site plan review by the Planning Board.

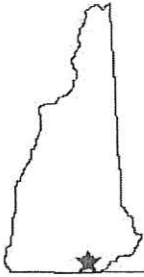
Sincerely,

Bruce Buttrick, MCP

Zoning Administrator/Code Enforcement Officer
(603) 816-1275
bbuttrick@hudsonnh.gov

cc: Zoning Board of Adjustment
J. Michaud, Town Assessor
G. Theborge, Interim Town Planner
Owner
Selectmen: N. Martin and D. Morin
File

NOTE: this determination may be appealed to the Hudson Zoning Board of Adjustment within 30 days of the receipt of this letter.



COMMUNITY DEVELOPMENT DEPARTMENT

12 School Street
Hudson, NH 03051
(603)886-6005
www.hudsonnh.gov



Town of Hudson

REQUEST FOR ZONING and/or PLANNING INFORMATION /
DETERMINATION

Date of request

May 31, 2018

#18-75

Property Location

10 Roosevelt Ave, Hudson, NH

Map 191 Lot 131

Zoning District if known

B

COPY

Type of Request

- ☐ Zoning District Determination ☒ Use Determination ☐ Set-Back Requirements
☐ Process for Subdivision/ Site Plan if required
☐ Other

Description of request / determination: (Please attach all relevant documentation)

Fleamarket, Auction hall, potential for food service

Applicant Contact Information:

Name:

Megan Haffner

Address:

17 Fairhaven Rd, Nashua, NH 03060

Phone Number:

603-710-2269

For Office use

ATTACHMENTS: TAX CARD ☐

GIS ☒

NOTES:

ZONING DETERMINATION LETTER SENT DATE: 6-1-18

CHANGE OF USE SITE PLAN APPLICATION
TOWN OF HUDSON, NEW HAMPSHIRE



Date of Application: June 13, 2018 Tax Map # 191 Lot # 131-000
Name of Project: 10 Roosevelt Avenue Change of Use
Zoning District: Business (B) General CUSP# 01-18

(For Town Use)

ZBA Action: _____

PROPERTY OWNER:

Name: K & D Foundation, LLC
Address: 10 Roosevelt Ave
Address: Hudson, NH 03051
Telephone # 603-548-7081
Fax # N/A
Email: barryL.Kaplan@gmail.com

APPLICANT:

Jillian & Megan Haffner
17 Fairhaven Road
Nashua, NH 03060
617-710-2269
N/A
megan-haffner@yahoo.com

PROPOSED USE:

The proposal for this property is to retain all previous and current designations of use, while adding the following use to the property: general retail. The general retail proposed is for the following: flea market and auction hall with snack bar. There will be no substantial alterations to the property in the creation of these uses.

(FOR TOWN USE)

Plan Routing Date: 7/16/18 Sub/Site Date: 7/25/18

☒ I have no comments ☐ I have comments (attach to form)
EM Title: Town Engineer Date: _____
(Initials)

DEPARTMENT:

☐ Zoning ☒ Engineering ☐ Assessor ☐ Police ☐ Fire ☐ Planning
☐ Highway Dept. ☐ Consultant

Fees Paid: \$172.35

CHANGE OF USE SITE PLAN APPLICATION
TOWN OF HUDSON, NEW HAMPSHIRE



Date of Application: June 13, 2018 Tax Map # 191 Lot # 131-000

Name of Project: 10 Roosevelt Avenue Change of Use

Zoning District: Business (B) General CUSP# 01-18

(For Town Use)

ZBA Action: _____

PROPERTY OWNER:

Name: K & D Foundation, LLC

Address: 10 Roosevelt Ave

Address: Hudson, NH 03051

Telephone # 603-548-7081

Fax # N/A

Email: barryL.Kaplan@gmail.com

APPLICANT:

Jillian & Megan Haffner

17 Fairhaven Road

Nashua, NH 03060

617-710-2269

N/A

megan-haffner@yahoo.com

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(FOR TOWN USE)

Plan Routing Date: 7/11/18 Sub/Site Date: 7/25/18

X I have no comments _____ I have comments (attach to form)

jm Title: Asst. Assessor Date: _____
(Initials)

DEPARTMENT:

____ Zoning ____ Engineering Assessor ____ Police ____ Fire ____ Planning

____ Highway Dept. ____ Consultant

Fees Paid: \$172.35

CHANGE OF USE SITE PLAN APPLICATION
TOWN OF HUDSON, NEW HAMPSHIRE



Date of Application: June 13, 2018 Tax Map # 191 Lot # 131-000
Name of Project: 10 Roosevelt Avenue Change of use
Zoning District: Business (B) General CUSP# 01-18

(For Town Use)

ZBA Action: _____

PROPERTY OWNER:

Name: K & D Foundation, LLC
Address: 10 Roosevelt Ave
Address: Hudson, NH 03051
Telephone # 603-548-7081
Fax # N/A
Email: barryL.Kaplan@gmail.com

APPLICANT:

Jillian & Megan Haffner
17 Fairhaven Road
Nashua, NH 03060
617-710-2269
N/A
megan-haffner@yahoo.com

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(FOR TOWN USE)

Plan Routing Date: 7/16/18 Sub/Site Date: 7/25/18

☒ I have no comments ☐ I have comments (attach to form)

DOB Title: Deputy Fire Chief Date: 7/16/18
(Initials)

DEPARTMENT:

☐ Zoning ☐ Engineering ☐ Assessor ☐ Police ☒ Fire ☐ Planning
☐ Highway Dept. ☐ Consultant

Fees Paid: \$172.35

CHANGE OF USE SITE PLAN APPLICATION
TOWN OF HUDSON, NEW HAMPSHIRE



Date of Application: June 13, 2018 Tax Map # 191 Lot # 131-000
Name of Project: 10 Roosevelt Avenue Change of Use
Zoning District: Business (B) General CUSP# 01-18

(For Town Use)

ZBA Action: _____

PROPERTY OWNER:

Name: K & D Foundation, LLC
Address: 10 Roosevelt Ave
Address: Hudson, NH 03051
Telephone # 603-548-7081
Fax # N/A
Email: barryL.Kaplan@gmail.com

APPLICANT:

Jillian & Megan Haffner
17 Fairhaven Road
Nashua, NH 03060
617-710-2269
N/A
megan-haffner@yahoo.com

PROPOSED USE:

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(FOR TOWN USE)

Plan Routing Date: _____ Sub/Site Date: _____

☒ I have no comments ☐ I have comments (attach to form)

KB Title: Room Agent Date: 7/17/18
(Initials)

DEPARTMENT:

☐ Zoning ☐ Engineering ☐ Assessor ☐ Police ☐ Fire ☐ Planning
☒ Highway Dept. ☐ Consultant

Fees Paid: \$172.35

CHANGE OF USE SITE PLAN APPLICATION
TOWN OF HUDSON, NEW HAMPSHIRE



Date of Application: June 13, 2018 Tax Map # 191 Lot # 131-000
Name of Project: 10 Roosevelt Avenue Change of use
Zoning District: Business (B) General CUSP# 01-18

(For Town Use)

ZBA Action: _____

PROPERTY OWNER:

Name: K & D Foundation, LLC
Address: 10 Roosevelt Ave
Address: Hudson, NH 03051
Telephone # 603-548-7081
Fax # N/A
Email: barryLKaplan@gmail.com

APPLICANT:

Jillian & Megan Haffner
17 Fairhaven Road
Nashua, NH 03060
617-710-2269
N/A
megan-haffner@yahoo.com

PROPOSED USE:

The proposal for this property is to retain all previous and current designations of use, while adding the following use to the property: general retail. The general retail proposed is for the following: flea market and auction hall with snack bar. There will be no substantial alterations to the property in the creation of these uses.

(FOR TOWN USE)

Plan Routing Date: 7/16/18 Sub/Site Date: 7/25/18

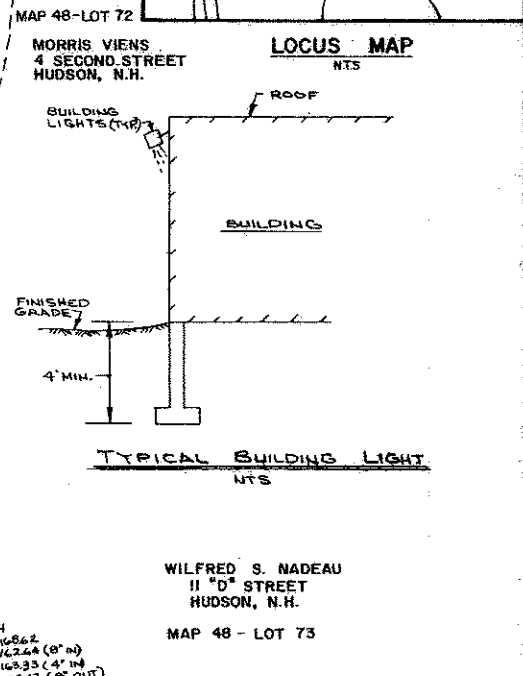
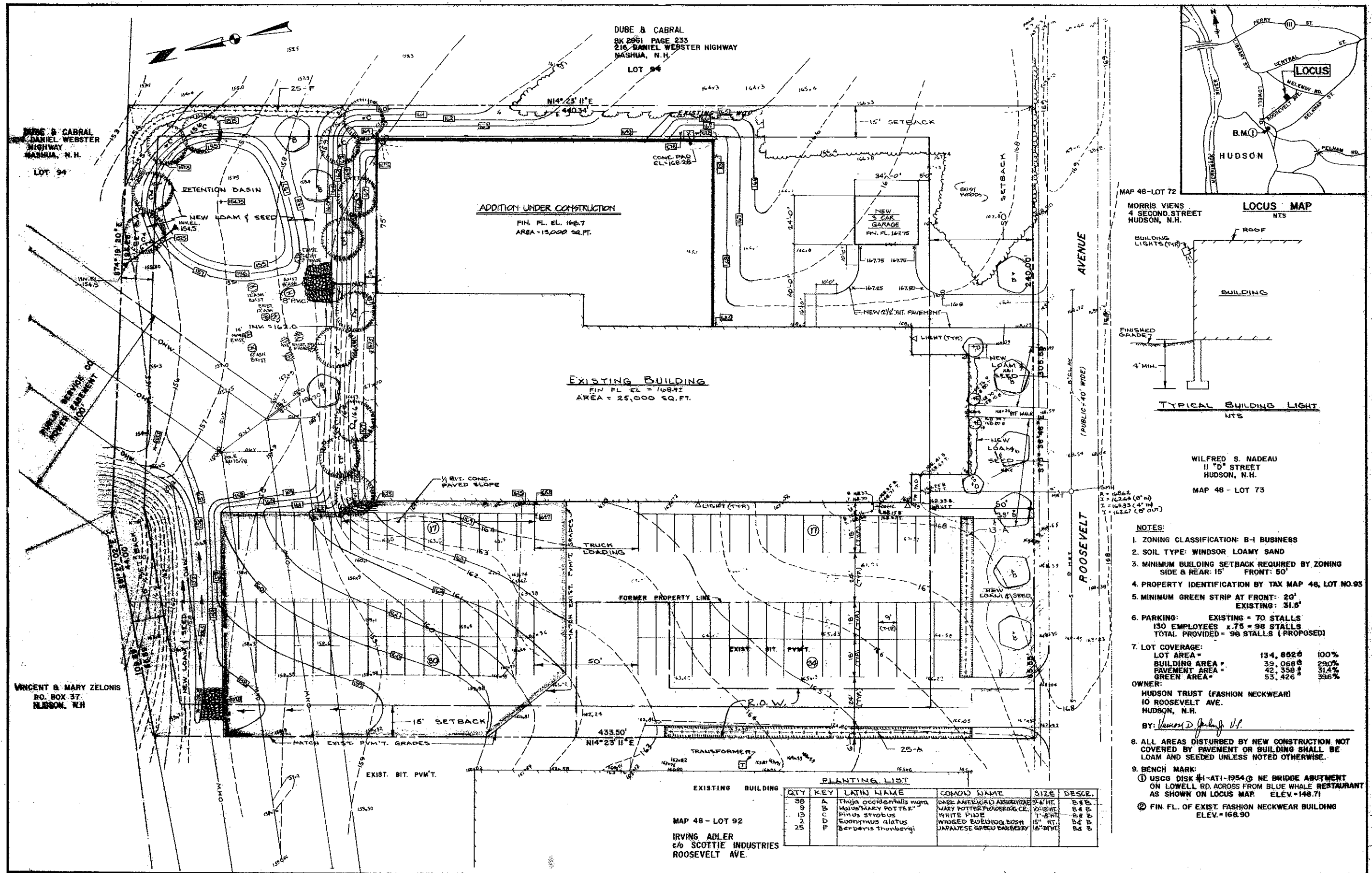
☒ I have no comments ☐ I have comments (attach to form)
RD Title: LIEUTENANT Date: _____
(Initials)

DEPARTMENT:

☐ Zoning ☐ Engineering ☐ Assessor ☒ Police ☐ Fire ☐ Planning
☐ Highway Dept. ☐ Consultant

Fees Paid: \$172.35

11C



- NOTES:**
1. ZONING CLASSIFICATION: B-1 BUSINESS
 2. SOIL TYPE: WINDSOR LOAMY SAND
 3. MINIMUM BUILDING SETBACK REQUIRED BY ZONING
SIDE & REAR: 15' FRONT: 50'
 4. PROPERTY IDENTIFICATION BY TAX MAP 48, LOT NO. 93
 5. MINIMUM GREEN STRIP AT FRONT: 20'
EXISTING: 31.5'
 6. PARKING: EXISTING = 70 STALLS
130 EMPLOYEES x .75 = 98 STALLS
TOTAL PROVIDED = 98 STALLS (PROPOSED)
 7. LOT COVERAGE:
LOT AREA = 134,852.0 100%
BUILDING AREA = 39,068.0 290%
PAVEMENT AREA = 42,358.0 31.4%
GREEN AREA = 53,426.0 39.6%
 - OWNER:
HUDSON TRUST (FASHION NECKWEAR)
10 ROOSEVELT AVE.
HUDSON, N.H.
BY: *William D. Gilling*
 8. ALL AREAS DISTURBED BY NEW CONSTRUCTION NOT COVERED BY PAVEMENT OR BUILDING SHALL BE LOAM AND SEEDING UNLESS NOTED OTHERWISE.
 9. BENCH MARK:
① USCG DISK #1-AT-1954 @ NE BRIDGE ABUTMENT ON LOWELL RD. ACROSS FROM BLUE WHALE RESTAURANT AS SHOWN ON LOCUS MAP. ELEV. = 148.71
② FIN. FL. OF EXIST. FASHION NECKWEAR BUILDING ELEV. = 168.90

PLANTING LIST					
QTY	KEY	LATIN NAME	COMMON NAME	SIZE	DESCR.
38	A	Thuja occidentalis nigra	DAKE AMERICAN ARBORVITAE	3 1/4" HT.	B & B
9	B	Morus nigra	MORAY APPLE	10" HT.	B & B
13	C	Pinus strobus	WHITE PINE	1 1/2" HT.	B & B
2	D	Eucalyptus alatus	WIDGED EUCALYPTUS	15" HT.	B & B
25	F	Berberis thunbergii	JAPANESE GREEN BERRY	16" HT.	B & B

MAP 48 - LOT 92
IRVING ADLER
c/o SCOTTIE INDUSTRIES
ROOSEVELT AVE.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.	APPROVED BY THE TOWN OF HUDSON PLANNING BOARD		REVISIONS NO. DATE DESCRIPTION 1 5-25-85 GEN. REV. 2 7-5-85 PLANNING PLAN 3 7-10-85 ADD. PAV. & PARKING 4 9-3-85 NEW 3 CAR GARAGE		PROPOSED BUILDING ADDITION FASHION NECKWEAR 10 ROOSEVELT AVE., HUDSON, N.H.	SHEET 1 OF 1	
	CHAIRMAN <i>William E. McKeith</i> DATE <i>4/26/86</i>						JOB NO. 85067 DWG. NO. G-1
	SECRETARY <i>James J. McKeith</i> DATE <i>4/26/86</i>						ENGINEERS

SITE PLAN		DATE 4-19-85 SCALE 1"=20'	DRAWN BY A.A.D./R.D.A.	CHECKED BY D.L.L.
LINENTHAL EISENBERG ANDERSON		75 KNEELAND STREET BOSTON, MASS.		

**Town Engineer Request to Release Traffic
Improvement Impact Fees
Staff Report
July 25, 2018**

Attached, hereto, please find a Request to Release Corridor Impact Fees by Elvis Dhima, Town Engineer (Email dated 07-05-18) for Traffic Improvements. In his email, Mr. Dhima includes a Quote from Electric Light Company for such improvements, and requests the Planning Board to favorably recommend to the BOS, the release of \$6,140.00 from Impact Fee Account 2070-086 Corridor – Route 111 Improvements, the release of \$4,320.00 from Impact Fee Account 2070-090 Corridor – Lowell Road Improvements, and the release of \$6,140.00 from Impact Fee Account 2070-091 Corridor Route 102 Improvements, totaling \$16,600.00.

DRAFT MOTION:

I move to recommend to the Board of Selectman the release of \$6,140.00 from Impact Fee Account 2070-086 Corridor – Route 111 Improvements, \$4,320.00 from Impact Fee Account 2070-090 Corridor – Lowell Road Improvements, and \$6,140.00 from Impact Fee Account 2070-091 Corridor Route 102 Improvements, totaling \$16,600.00, in accordance with the written request for same from the Town Engineer (please see attached email from Town Engineer, Elvis Dhima, dated 5 JUL 2018).

Motion by: _____ Second: _____ Carried/Failed: _____

Dubowik, Brooke

From: Dhima, Elvis
Sent: Thursday, July 5, 2018 7:47 AM
To: Dubowik, Brooke; JayM@nashuarpc.org
Cc: Burns, Kevin; Twardosky, Jason; Thebarga, George; Carpentier, Kathy; Labrie, Lisa; Stickney, Doreena
Subject: Planning Board Corridor Accounts Approval
Attachments: Quote # 2018828REV.PDF

Jay / Brooke

This is a revised quote regarding the same items, sorry for too many emails

Please add this item to Planning Board's agenda for their consideration

The quote I have attached will provide a live feed to Town staff in our office and portable devices, similar to Library common traffic cameras.

This capability will provide access for faster response and better diagnoses of any potential issues. In addition, it can accommodate a data module that can be added later on to each intersection.

The data module provides daily traffic volumes, included types of vehicles, among other things.

The three locations in question are as follows:

1. Kimball Hill/ Route 111/ Greeley Traffic Camera Feed using Route 111 Corridor Account 09-2000-2070-000-086 for the amount \$6,140.00
2. Lowell & Pelham plus Lowell & Fox Traffic Camera Feed using Lowell Corridor Account 09-2000-2070-000-090 for the amount \$4,320
3. Route 102 & Elm Ave Traffic Camera Feed using Route 102 Corridor Account 09-2000-2070-000-091 for the amount \$6,140.00

Please be advised that the developer for 124-126 Derry Road (CVS Store) will install the GridSmart camera, as part of the offsite improvements (item 3)

Thank you

E

Elvis Dhima, P.E.
Town Engineer

Town of Hudson, NH
12 School Street
Hudson, NH 03051
Phone: (603) 886-6008
Mobile: (603) 318-8286



Electric Light Company, Inc.

One Morgan Way
Cape Neddick, ME 03902

QUOTATION

Quote Number: 2018828REV

Quote Date: Jun 29, 2018

Page: 1

Voice: 207-361-1234

Fax: 207-361-2017

Quoted To:

Town of Hudson
Elvis Dhima, P.E.
12 School Street
Hudson, NH 03051

Customer ID	Good Thru	Payment Terms	Sales Rep
NH-HUDJOB	7/29/18	Net 30 Days	

Quantity	Item	Description	Unit Price	Amount
3.00	EA	Add cable drop for remote video viewing. Includes:	4,320.00	12,960.00
1.00	LS	Cable Company Installation (4 Locations)		
1.00	LS	Set-Up and server hosting for one year. (4 Locations)		
1.00	LS	Cable connectivity for 1 year. (4 Locations)		
		Utility pole riser and underground conduit.		
1.00	LS	Rt 102 / Elm	1,820.00	1,820.00
1.00	LS	Rt 111 / Kimball	1,820.00	1,820.00
	LS	Lowell / Pelham (Not Needed)		
1.00	LS	Lowell / Fox Hollow (Not Needed)		
			Subtotal	16,600.00
			Sales Tax	
			TOTAL	16,600.00