



TOWN OF HUDSON

Planning Board

Glenn Della-Monica, Chairman

David Morin, Selectmen Liaison



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

PUBLIC MEETING TOWN OF HUDSON, NH MAY 23, 2018

The Town of Hudson Planning Board will hold a regularly scheduled meeting on Wednesday, May 23, 2018 at 7:00 p.m. in the “Buxton Community Development Conference Room” at Town Hall. The following items will be on the agenda:

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES

- V. MINUTES OF PREVIOUS MEETING(S)
 - 25 April 18 Meeting Minutes - Decisions
- VI. CASES REQUESTED FOR DEFERRAL
- VII. CORRESPONDENCE
 - A. Request to Release Belknap Road Impact Fees by Kevin Burns, Road Agent, Town of Hudson Highway Department (Letter dated 04-25-18).

- VIII. PERFORMANCE SURETIES
- IX. ZBA INPUT ONLY
- X. OLD BUSINESS/PUBLIC HEARINGS
- XI. DESIGN REVIEW PHASE
- XII. CONCEPTUAL REVIEW ONLY

- XIII. NEW BUSINESS/PUBLIC HEARINGS
 - A. 24 Constitution Drive Site Plan
SP# 05-18
24 Constitution Drive
Map 170/Lot 034

Purpose of Plan: to show a proposed 1-story 14,460 square-foot industrial building and associated site improvements. Application Acceptance & Hearing.

- XIV. OTHER BUSINESS
 - A. Review of Draft Land Use Guidelines
 1. Change of Use Review
 2. Developments of Regional Impact
 3. Wetland Buffers

XV. ADJOURNMENT

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting. The public is invited to attend.

George Thebarger, AICP
Interim Town Planner

POSTED: Town Hall, Library & Post Office – 05-11-18

**MINUTES/DECISIONS OF THE PLANNING BOARD
MEETING DATE: APRIL 25, 2018**

In attendance = X; Alternates Seated = S; Partial Attendance = P; Excused Absence = E

Glenn Della-Monica Chairman <u> X </u>	Timothy Malley Vice-Chair <u> E </u>	William Collins Secretary <u> X </u>	Charles Brackett Member <u> E </u>
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Jordan Ulery Member <u> X </u>	Dillon Dumont Member <u> X </u>	Elliott Veloso Alternate <u> S </u>	Ed Van der Veen Alternate <u> E </u>
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Ethan Meinhold Alternate <u> E </u>	David Morin Select. Rep. <u> X </u>	Roger Coutu Alt. Select. Rep. <u> X </u>	
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Meeting called to order at approximately 7:00 p.m.

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL

IV. SEATING OF ALTERNATES

Mr. Veloso seated for Mr. Malley.

V. ELECTION OF OFFICERS

VI. MINUTES OF PREVIOUS MEETING(S)

- 11 April 18 Meeting Minutes – Decisions.

Mr. Dumont moved to approve the 11 April 18 Meeting Minutes (as written/amended).

Motion seconded by Mr. Veloso. All in favor – motion carried.

- VII. CASES REQUESTED FOR DEFERRAL
- VIII. CORRESPONDENCE
- IX. PERFORMANCE SURETIES
- X. ZBA INPUT ONLY
- XI. PUBLIC HEARINGS
- XII. OLD BUSINESS/PUBLIC HEARINGS
- XIII. DESIGN REVIEW PHASE

XIV. CONCEPTUAL REVIEW ONLY

XV. NEW BUSINESS/PUBLIC HEARINGS

A. Proposed Warehouse Expansion
SP# 04-18

37 Executive Drive
Map 209/Lot 007

Purpose of Plan: to show a proposed 1-story, 14,400 square foot warehouse expansion along with accompanying loading and site improvements. Application Acceptance & Hearing.

Mr. Ulery moved to accept the Site Plan Application for 37 Executive Drive – Map 209/Lot 007.

Motion seconded by Mr. Morin. All in favor – motion carried.

Mr. Collins moved to approve the Site Plan entitled: Proposed Warehouse Expansion, 37 Executive Drive, Hudson, NH, for SL Executive Drive, LLC, prepared by Hayner/Swanson, Inc. 3 Congress St., Nashua, N.H., dated 26 February 2018 (with revisions through 2 Apr. 2018) and consisting of Sheets 1 – 9 with Notes 1 – 24 on Sheet 1:

1. All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record.
2. All improvements shown on the Site Plan-of-Record, including Notes 1- 24, shall be completed in their entirety and at the expense of the Applicant or his assigns.
3. Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Land Use Department, confirming that the site conforms to the Planning Board approved site plan.
4. A cost allocation procedure (CAP) amount of \$9,504.00 shall be paid prior to the issuance of a Certificate of Occupancy, and this fee shall be reflected as new Note 24 on the Site Plan.
5. The onsite drainage system shall be constructed and maintained in compliance with NHDES requirements for such systems.
6. All signs are subject to all requirements of the Zoning Ordinance as determined during the sign permit application process. Note 11 on Sheet 1 shall be revised to this effect.
7. Prior to Planning Board endorsement of the plan, it shall be subject to final review by the Town Engineer and CLD.
8. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M. No exterior construction activities shall be allowed on Sundays.
9. Hours of refuse removal shall be exclusive to the hours between 7:00 A.M. and 7:00 P.M. Monday through Saturday only.

Motion seconded by Mr. Veloso. All in favor – motion carried.

- XVI. OTHER BUSINESS
- XVII. ADJOURNMENT

Motion to adjourn by Mr. Dumont. Seconded by Mr. Collins. All in favor – motion carried.

Meeting adjourned at 7:20 p.m.

William Collins
Secretary

DRAFT

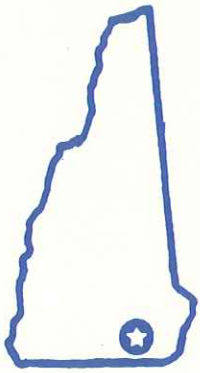
**Hudson Highway Department Request to Release
Belknap Road Fees
Staff Report
May 23, 2018**

Attached, hereto, please find a Request to Release the Belknap Road Fees by Kevin Burns, Road Agent, Town of Hudson Highway Department (Letter dated 04-25-18). In his letter, Mr. Burns, requests the Planning Board to favorably recommend to the BOS, the release of \$56,263.42, or the amount higher at the time of release, which is currently \$56,272.48, leaving a balance of \$0.00 in the Belknap Road Fee Account, i.e., after the release of the subject \$56,272.48.

DRAFT MOTION:

I move to recommend to the Board of Selectman the release of \$56,272.48 from the Belknap Road Fees Account 250-807, in accordance with the written request for same from the Hudson Highway Department (please see attached memo from Kevin Burns, Road Agent, Town of Hudson Highway Department, dated 25 APR 2018).

Motion by: _____ Second: _____ Carried/Failed: _____



TOWN OF HUDSON

Highway Department

2 Constitution Drive Hudson, New Hampshire 03051 603/886-6018 Fax 603/594-1143



To: Planning Board
From: Kevin Burns, Road Agent *KB*
Date: April 25, 2018
Re: Request for Release of Fees for Belknap Road



I am requesting that the Planning Board release the fees collected in account 2050-807 that were collected for roadway reconstruction/paving of Belknap Road. The Highway is planning to reconstruct Belknap Road from Central Street to Melendy this construction season.

The current balance in the account is \$56,263.42. I am asking for the entire amount in the account at the time of its release, if higher than this amount. The work scheduled is estimated to cost \$73,000.

The Board of Selectmen extended the current paving contract with Brox Industries at their meeting on April 24, 2018. Brox will be working under the direction of the Road Agent.

Cc; Kathy Carpentier, Finance Director
Steve Malizia, Town Administrator

24 Constitution Drive Industrial Building Site Plan Review

STAFF REPORT

May 23, 2018

SITE: 24 Constitution Drive - Map 170/Lot 34 - SP# 5-18

ZONING: I - Industrial

PURPOSE OF PLAN: To show a proposed 1-story, 14,460 sq. ft. industrial building and associated site improvements. Application Acceptance and Public Hearing.

PLAN UNDER REVIEW: Proposed Industrial Building, 24 Constitution Drive, Hudson, NH, for Princecape Realty, LLC, 33 Constitution Drive, Hudson, NH, prepared by Haynor/Swanson, Inc. 3 Congress St., Nashua, N.H., dated 2 April 2018 (with revisions through 3 May 2018) and consisting of Sheets 1 – 13 with Notes 1 – 23 on Sheet 1 (said plans are attached hereto):

ATTACHMENTS:

- 1) Site Plan Application date stamped Apr. 9, 2018 with project narrative, photos of project site, waiver request, and legal opinion on protective covenants – Attachment “A”.
- 2) Zoning Determination by Bruce Buttrick, Zoning Administrator, dated Dec. 19, 2018 (#17 - 120), Fire Dept. comments by Deputy Chief O’Brien dated Apr. 11, 2018, and Elvis Dhima engineering review comments dated Apr. 16, 2018 – Attachment “B”.
- 3) CLD/Fuss & O’Neill review comments memo dated Apr. 24, 2018 and HSI response to CLD review comments dated May. 4, 2018 – Attachment “C”.
- 4) CAP Fee worksheet – Attachment “D”.

REQUESTED WAIVERS:

- 1) HR 276–11.1.B. (12)(c) – No site improvements to be located within 100 feet of a residential district or property.

PROJECT DESCRIPTION:

The project proposes to construct a 14,460 sq. ft. light industrial building. The proposed new building will contain two loading docks located on the westerly side of the building. Access to the site is provided via a proposed driveway in the southwest corner of the property. Associated site improvements include loading and parking areas, sidewalks, curbing, retaining walls, a dumpster enclosure, landscaping, site lighting utility services and a stormwater management area.

APPLICATION TRACKING:

- 9 APR 2018 – Application submitted.
- 23 MAY 2018 – Public hearing scheduled.

OUTSTANDING ISSUES:

1. Private Covenants – CLD’s peer review noted the existence of private covenants that prohibit loading areas on the front of the structure and requirements for screening them from abutting properties. The applicant has provided a legal opinion that the private covenants were extinguished when the prior subdivision approval was revoked by the Town and the private covenant restrictions have not been applied to sites within the business and industrial park.
2. 100-foot Residential Setback – The southeast corner of the property touches the boundary corner of the Kimball Heights II subdivision open space. HR 276-11.1.B. (12)(c) requires a 100-foot setback for all site improvements from residential property. The applicant has requested a waiver of this requirement as the adjacent open space provides adequate buffering to the residential subdivision beyond it.
3. Stormwater Detention – The project design includes a stormwater treatment rain garden to treat the first flush coming off the impervious surfaces. Stormwater is then discharged into the street storm sewer system and conveyed to a 2-acre common detention area for the industrial park. The applicant is relying on this stormwater system that was approved and installed for the subdivision.
4. Driveway Grade – CLD’s peer review noted that the grade of the driveway at the curb exceeds recommended standards that provide a level landing area for vehicles to stop before entering the street. The applicant has responded that site grading for a level development platform and the 7.5 percent grade of the street at the project entrance result in the grade being steeper than desirable in order to match the grades.
5. CAP Fee – The applicant will be required to pay a CAP fee of \$18,653 to mitigate traffic impacts of the proposed new industrial use on area roadways. The applicant’s submission mistakenly applied the warehouse rate to come up with a different traffic impact fee number. Stipulation #4 requires correction of the plan note that addresses the CAP fee. The applicant has the right to submit a traffic generation analysis that can be peer reviewed if they consider that the calculated impact fee is not accurate (Zoning Ordinance §334-74.6.A).

RECOMMENDATION: Staff recommends application acceptance and conduct of the public hearing and for possible final action to be considered in accordance with the below DRAFT MOTIONS. A motion to defer is included in case the Board considers that more time is needed to review the application.

MOTION TO ACCEPT THE APPLICATION:

I move to accept the Site Plan application for 24 Constitution Drive - Map 170/Lot 34.

Motion by: _____ Second: _____ Carried/Failed: _____

MOTION TO DEFER CONSIDERATION OF THE APPLICATION:

I move to defer further review of the 24 Constitution Drive Site Plan application, date specific, to the June 13, 2018 meeting.

Motion by: _____ Second: _____ Carried/Failed: _____

WAIVER MOTIONS:

- 1) HR 276 – 11.1.B. (12)(c) – No site improvements to be located within 100 feet of a residential district or property

I move to grant the requested waiver of HR 276 – 11.1.B. (12) (c) – No site improvements to be located within 100 feet of a residential district or property, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted waiver request.

Motion by: _____ Second: _____ Carried/Failed: _____

MOTION TO APPROVE:

I move to approve the Site Plan entitled: Proposed Industrial Building, 24 Constitution Drive, Hudson, NH, for Princecape Realty, LLC, 33 Constitution Drive, Hudson, NH, prepared by Haynor/Swanson, Inc. 3 Congress St., Nashua, N.H., dated April 2, 2018 (with revisions through May 3, 2018) and consisting of Sheets 1 – 13 with Notes 1 – 23 on Sheet 1:

1. All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record.
2. All improvements shown on the Site Plan-of-Record, including Notes 1- 23, shall be completed in their entirety and at the expense of the Applicant or his assigns.
3. Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Land Use Department, confirming that the site conforms to the Planning Board approved site plan.
4. A cost allocation procedure (CAP) amount of \$18,653.00 shall be paid prior to the issuance of a Certificate of Occupancy. Note 21 shall be revised to correct the amount based on light industrial use.
5. The onsite drainage system shall be constructed and maintained in compliance with NHDES requirements for such systems.
6. Prior to Planning Board endorsement of the plan, it shall be subject to final review by the Town Engineer and CLD.
7. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M. No exterior construction activities shall be allowed on Sundays.
8. Hours of refuse removal shall be exclusive to the hours between 7:00 A.M. and 7:00 P.M. Monday through Saturday only.

Motion by: _____ Second: _____ Carried/Failed: _____

UAU

**PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: 4-6-18 Tax Map # 170 Lot # 34

Name of Project: Proposed Office/Manufacturing Building - 24 Constitution Dr.

Zoning District: I General SP# SP# 05-18
(For Town Use) (For Town Use)

ZBA Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: Princecape Realty, LLC

Same as Owner

Address: 33 Constitution Drive

Address: Hudson, NH 03051

Telephone # 603-595-1987

Fax # 603-595-8277

Email: cnorton@pricetontech.com

PROJECT ENGINEER

SURVEYOR

Name: Hayner/Swanson, Inc.

Hayner/Swanson, Inc.

Address: 3 Congress Street

3 Congress Street

Address: Nashua, NH 03062

Nashua, NH 03062

Telephone # 603-883-2057 ext 145

603-883-2057 ext 139

Fax # 603-883-5057

603-883-5057

Email: tzajac@hayner-swanson.com

dpollock@hayner-swanson.com

PURPOSE OF PLAN:

To show a proposed 1-story 14,460 SF industrial building and associated site improvements.

For Town Use

Plan Routing Date: _____ Sub/Site Date: _____

_____ I have no comments _____ I have comments (attach to form)

_____ Title: _____ Date: _____

(Initials)

DEPT:

_____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning
_____ Consultant _____ Highway Department

Fees Paid: _____

SITE DATA SHEET

PLAN NAME: Proposed Industrial Building

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 170 LOT 34

DATE: 4-6-18

Location by Street	<u>24 Constitution Drive</u>	
Zoning:	<u>I: Industrial</u>	
Proposed Land Use:	<u>Industrial (Manufacturing with accompanying offices)</u>	
Existing Use:	<u>Vacant land</u>	
Surrounding Land Use(s):	<u>Industrial</u>	
Number of Lots Occupied:	<u>1</u>	
Existing Area Covered by Building:	<u>0</u>	
Existing Buildings to be removed:	<u>0</u>	
Proposed Area Covered by Building:	<u>14,460 SF</u>	
Open Space Proposed:	<u>62%</u>	
Open Space Required:	<u>40%</u>	
Total Area:	<u>S.F.: 97,235 SF Acres: 2.235 AC</u>	
Area in Wetland:	<u>N/A Area Steep Slopes: N/A</u>	
Required Lot Size:	<u>One acre</u>	
Existing Frontage:	<u>555.26 LF along Constitution Drive</u>	
Required Frontage:	<u>150 FT</u>	
Building Setbacks:	<u>Required*</u>	<u>Proposed</u>
Front:	<u>50 FT</u>	<u>59.5 FT</u>
Side:	<u>15 FT</u>	<u>58.9 FT</u>
Rear:	<u>15 FT</u>	<u>N/A</u>

**SITE PLAN DATA SHEET
(Continued)**

Flood Zone Reference: FEMA Map 33011C0519D Date: 9/25/09

Width of Driveways: 40 FT

Number of Curb Cuts: 1

Proposed Parking Spaces: 28 (including 2 accessible spaces)

Required Parking Spaces: 24

Basis of Required Parking (Use): Manufacturing: 1 space/600 SF

Dates/Case #/Description/Stipulations
of ZBA, Conservation Commission,
NH Wetlands Board Actions:
(Attach stipulations on separate sheet)

Hudson Town Code		
<u>Waivers Requested:</u>	<u>Reference</u>	<u>Regulation Description</u>
	1. _____	_____
	2. _____	_____
	3. _____	_____
	4. _____	_____
	5. _____	_____
	6. _____	_____
	7. _____	_____
	8. _____	_____

(Left column for Town Use)

Impact Fees:

C.A.P Fee: \$9,543.60 (See Note 21 on Sheet 1 of 13)

Development Agreement
Proposed: Pending

<i>For Town Use</i>	
Data Sheet Checked By: _____	Date: _____

PROJECT NARRATIVE

The project area under consideration for this application is located at 24 Constitution Drive in Hudson, NH. The site is known to the Hudson Assessors Department as Map 170, Lot 34. The parcel measures 2.235+/- acres and is located in the I-Industrial zoning district. The property is located with the Clement Road Industrial Park. It is abutted by Constitution Drive and industrial uses to the north and west; a commercial tree clearing business to the south; a residential open space lot to the southwest; and a commercial property to the east.

The lot is currently undeveloped and contains mostly low-growth vegetation. Municipal sewer, municipal water, underground gas, telecommunications and electric utilities are either available on site or in the adjacent roadway. NRCS soil mapping shows that this site contains Chatfield-Hollis complex soils with relatively shallow depths to groundwater. Based upon inspection by the project's wetland scientist, there are no wetlands or wetland buffers affecting on the site.

In 2005, our office was involved in the design and permitting of a proposed 1-story, 10,160 square foot, manufacturing building along with associated loading and parking areas. The project was approved by the Planning Board and recorded at the registry, but was never constructed.

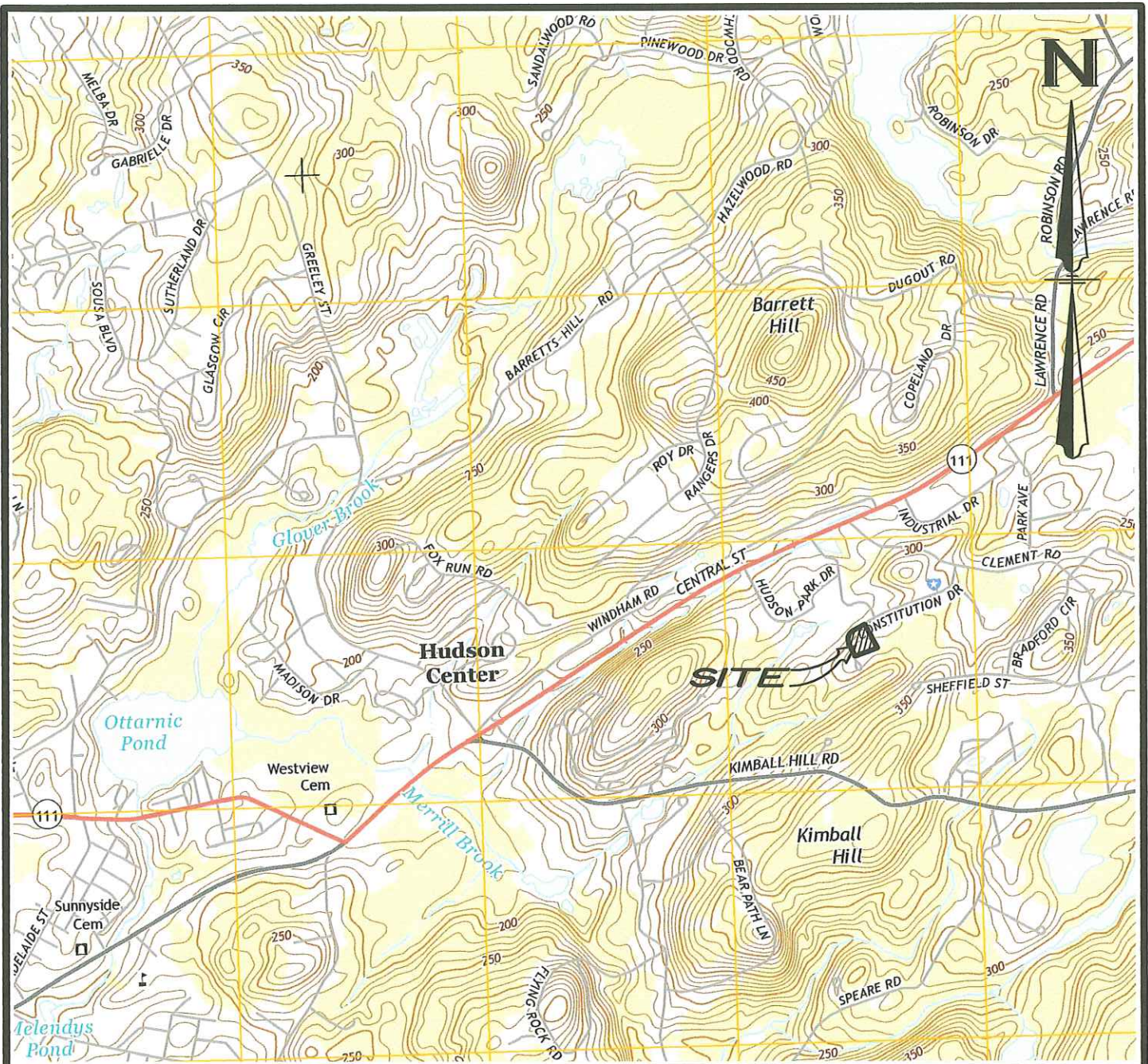
It is proposed to construct a 1-story, 14,440 square foot industrial building along with associated site improvements. The proposed building will contain two (2) new loading docks located on the westerly side of the building. Twenty-eight parking spaces have been provided. Access to the site is provided via a proposed driveway in the southwest corner of the property. Associated site improvements include loading and parking areas, sidewalks, curbing, retaining walls, a dumpster enclosure, landscaping, site lighting utility services and a stormwater management area. To the best of our knowledge the sewer, water, gas, telecommunication and electric utilities present in the adjacent roadways have adequate capacity to service the intended use.

Princeton Technologies Corporation will be the owner and operator of the proposed facility. Princeton specializes in electronic contract manufacturing of electro-mechanical and mechanical products (such as circuit board assembly, cable assemblies, etc.). Princeton currently operates an approximately 32,000 square foot facility at 33 Constitution Drive located across the street from the subject site. They currently lease additional, short-term space elsewhere in Town but are seeking to open up a second facility to accommodate their growing business.

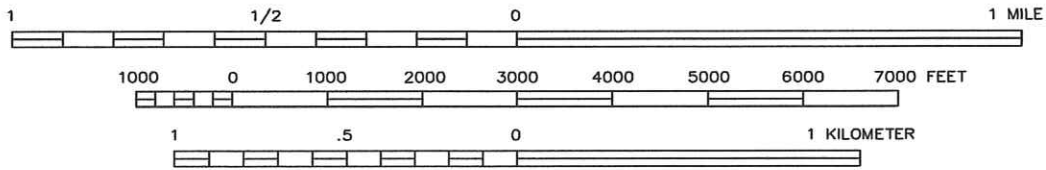
The typical hours of operation for this facility will be Monday-Friday from 6:30 AM to 5 PM. Approximately twenty-eight (28) employees will occupy the proposed

facility, including 25 full-time employees plus as 3 part-time employees. Given the size of the existing building, the type of business and the number of employees for this facility, impacts to traffic and to local schools are not anticipated.

Upon project completion, the site will contain approximately 62% open space, where 40% is the minimum required. There are no wetland or wetland buffer impacts associated with the proposed project. The layout for the building addition and associated site improvements has been developed to minimize environmental issues. The site development associated with the overall construction of this project disturbs approximately 90,000 square feet of contiguous area.



SITE



CONTOUR INTERVAL 10 FEET
NATIONAL VERTICAL DATUM OF 1988



NASHUA NORTH, NH
QUAD MAP (2015)

VICINITY PLAN
24 CONSTITUTION DRIVE
HUDSON, N.H.

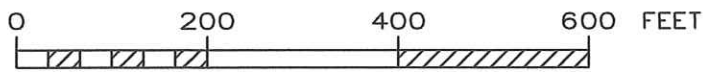
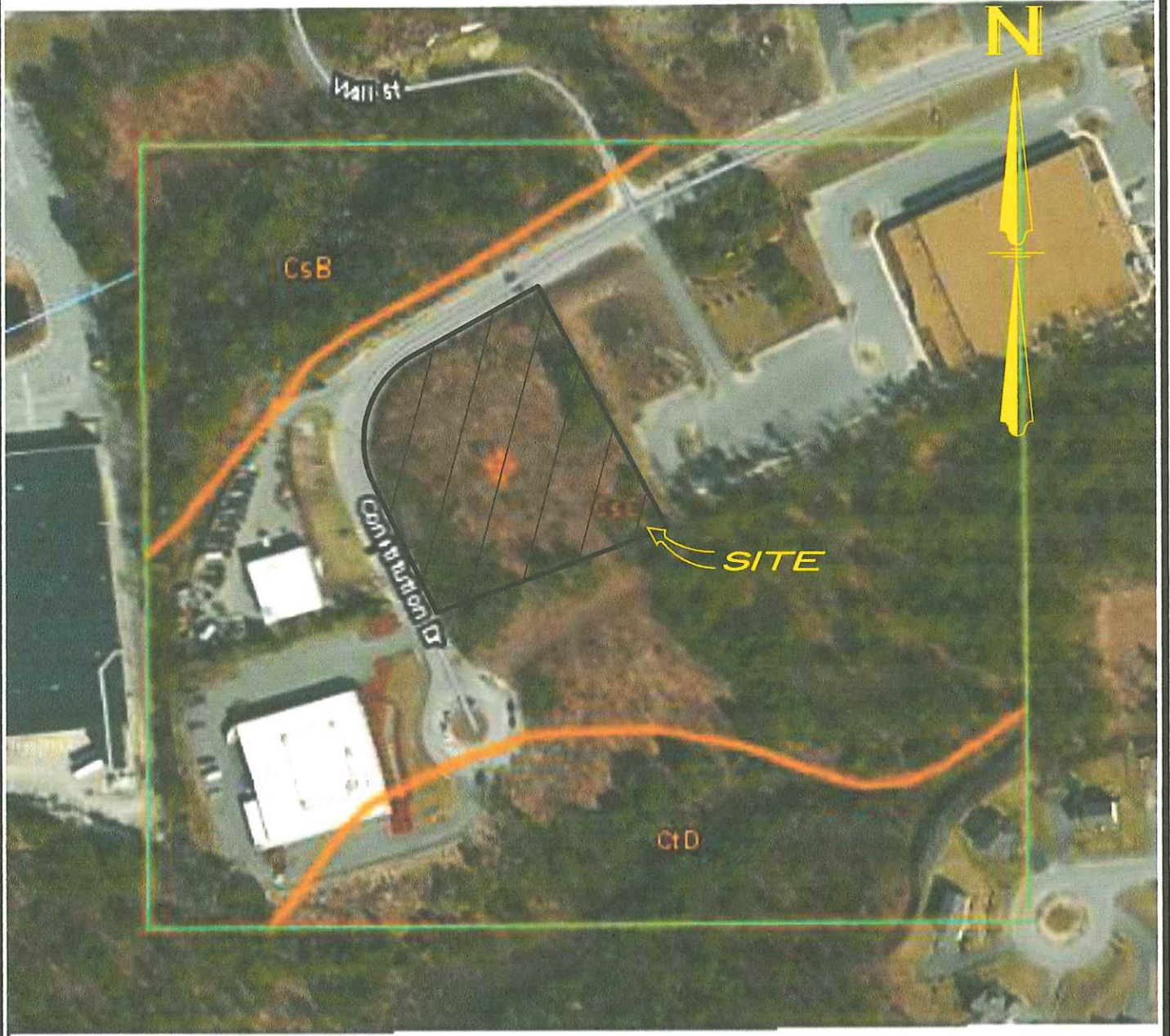
PREPARED FOR:
PRINCECAPE REALTY, LLC
33 CONSTITUTION DRIVE HUDSON, NEW HAMPSHIRE 03051
MARCH 2018

FIG. 1

HSI Hayner/Swanson, Inc.
Three Congress Street Nashua, New Hampshire 03062-3301
Tel (603) 883-2057 www.haynerswanson.com Fax (603) 883-5057

DRAWING: 4857-17_USGS
LOCATION: Q:\4856\DWG\4857-17

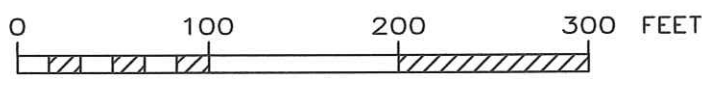
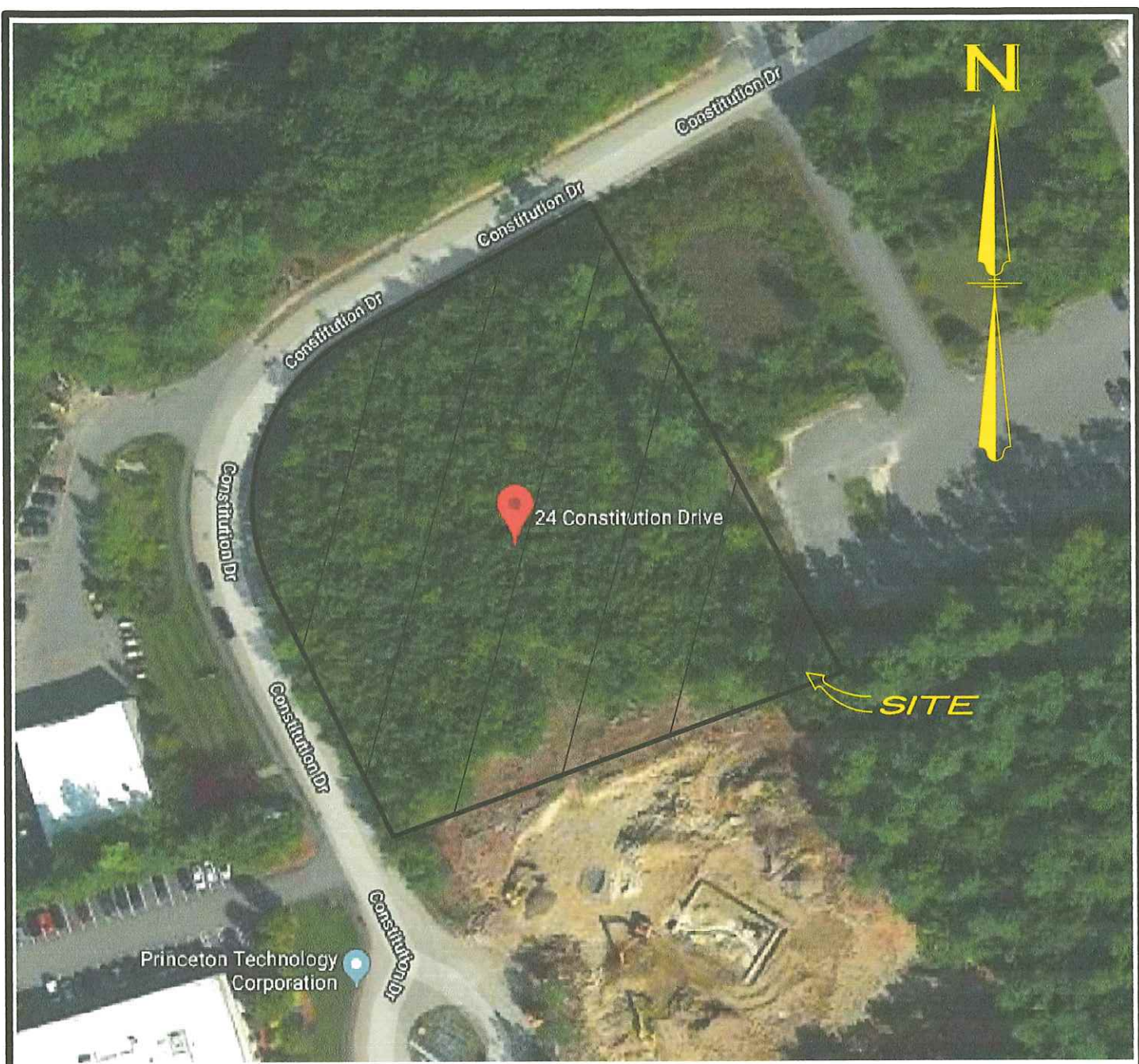
4857-17
File Number



SOIL SURVEY STAFF, NATURAL RESOURCES CONSERVATION SERVICE, UNITED STATES DEPT. OF AGRICULTURE. WEB SOIL SURVEY. AVAILABLE ONLINE AT <http://websoilsurvey.nrcs.usda.gov/> ACCESSED MARCH 28, 2018.

<p>SCS SOILS</p> <p>24 CONSTITUTON DRIVE</p> <p>HUDSON, N.H.</p>	<p>FIG. 2</p> <p>PREPARED FOR:</p> <p>PRINCECAPE REALTY, LLC</p> <p>33 CONSTITUTION DRIVE HUDSON, NEW HAMPSHIRE 03051</p> <p>MARCH 2018</p>
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	<p>Hayner/Swanson, Inc.</p> <p>3 Congress Street Nashua, New Hampshire 03062-3301</p> <p>131 Middlesex Turnpike Burlington, MA 01803</p>	<p>DRAWING: 4857-17_USGS</p> <p>LOCATION: Q:\4856\DWG\4857-17</p>	<p>4857-17</p> <p>File Number</p>
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<p>AERIAL MAP</p> <p>24 CONSTITUTION DRIVE</p> <p>HUDSON, N.H.</p>	<p>PREPARED FOR:</p> <p>PRINCECAPE REALTY, LLC</p> <p>33 CONSTITUTION DRIVE HUDSON, NEW HAMPSHIRE 03051</p> <p>MARCH 2018</p>
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FIG. 3

<p>HSI Hayner/Swanson, Inc. Three Congress Street Nashua, New Hampshire 03062-3301 Tel (603) 883-2057 www.hayner-swanson.com Fax (603) 883-5057</p>	<p>DRAWING: 4857-17_USGS</p> <p>LOCATION: Q:\4856\DWG\4857-17</p>	<p>4857-17</p> <p>File Number</p>
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Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors

May 4, 2018
Job #4857

Mr. George Theborge, Land Use Director
Town of Hudson
12 School Street
Hudson, NH 03051

**RE: SITE PLAN WAIVER REQUEST
PROPOSED INDUSTRIAL BUILDING
24 CONSTITUTION DRIVE
HUDSON, NH**

Dear Mr. Della-Monica,

On behalf of our client, Princecape Realty, LLC, we respectfully request the following waiver from the Hudson Site Plan Regulations (HSPR) for the above-referenced project:

Waiver Request:

Regulation: HSPR 276-11.1(B)(12)(c) – 100-foot Residential Use/Zone Setback

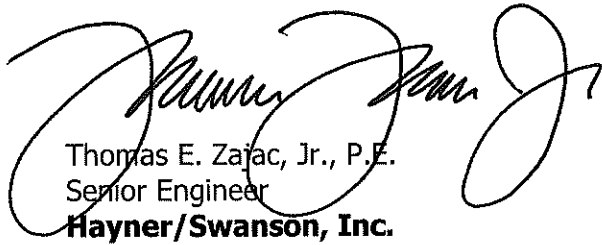
Request: To allow the proposed site improvements within 100 feet of a residential use/zone

Basis of Waiver: The regulation requires there be a 100-foot setback from a residential use or zone to any improved part of an industrial/commercial development in the G1-General zoning district. The southeast corner of the subject parcel abuts a 43-acre open space lot (Map 170, Lot) associated with the Kimball Heights II residential development. This lot is protected open space and serves as a natural buffer between the industrial park and residential development. The open space lot provides approximately 500 feet of wooded buffer between the corner of the subject parcel and the nearest residence.

Although a portion of the proposed parking area is located within this 100 feet setback; it is our opinion that the proposed site plan meets the spirit and intent of the regulation given that adjacent open space lot provides approximately 500 feet of wooded buffer between this lot and the nearest residence. Moreover, the proposed plan is consistent with both the overall character of the industrial park and with the 2005 approved site plan for this property. Furthermore, limiting the property owner from making any improvements within 100 feet of the abutting open space lot would severely limit the use of this site.

In summary, it is our opinion the above waiver request is reasonable and meets the criteria outlined in Section 275-15, Waivers of the Hudson Site Plan Regulations. Given that this request does not adversely impact any abutting properties, it is our opinion the above request meets the spirit and intent of the Town of Hudson Site Plan Regulations. A strict enforcement of the above regulation would pose a hardship to our Client by limiting the full use of the site. Thank you for your consideration on this matter.

Respectfully,



Thomas E. Zajac, Jr., P.E.
Senior Engineer
Hayner/Swanson, Inc.

cc: Mr. George Theborge, Land Use Director, Town of Hudson

MCLANE MIDDLETON

THOMAS W. HILDRETH
Direct Dial: 603.628.1177
Email: thomas.hildreth@mclane.com
Admitted in NH, MA and ME
900 Elm Street, P.O. Box 326
Manchester, NH 03105-0326
T 603.625.6464
F 603.625.5650

May 3, 2018

Thomas Zajac, P.E.
Hayner/Swanson, Inc.
3 Congress Street
Nashua, NH 03062

Re: 24 Constitution Drive, Hudson, NH

Dear Mr. Zajac:

The purpose of this letter is to address an issue that has arisen in connection with the pending application for site plan approval by our common client, Princecape Realty, LLC, for a new industrial building proposed for 24 Constitution Drive, in Hudson, New Hampshire.

Specifically, this letter relates to a portion of comment 1.e., on page 2 of 5, of the April 24, 2018, engineering review letter from CLD | Fuss & O'Neill to Mr. George Thebarg. The comment in question reads as follows:

HR 275-9.F. and 276-11.1.B.(2). The applicant has noted that the lot is subject to several development agreements, a utility easement, and protective covenants. Copies of these documents were included with the site plan application. The location of the utility easement is not shown on the plans. Also, Section V.3 of the protective covenants notes that no loading areas are permitted in the front of any structure. The covenant further explains that if a loading area is visible from the street "they shall be screened from the street and from adjacent lots". Three trees are proposed between the street and loading area. The applicant should modify the design to conform with the covenants.

The protective covenants are no longer in force or effect and reference to them should be removed from the listing of "Easements, Rights & Restrictions" on the site plan.

The protective covenants were imposed on the property in 1990 by its then-owner, the Unicorn Park Realty Trust. (See Hillsborough County Registry of Deeds ("HCRD") Bk. 5211, Pg. 0493.) They were apparently intended to govern the development of an industrial park on lots then-recently subdivided by Unicorn Park Realty Trust. (See HCRD Plan #22383.) At the time the subdivision was approved and the protective covenants were recorded, the property was encumbered by a mortgage in favor of Amoskeag Bank and Lowell Institution for Savings. That mortgage was foreclosed in 1991. (See HCRD, Bk. 5273, Pg. 1726.) And the related subdivision

McLane Middleton, Professional Association
Manchester, Concord, Portsmouth, NH | Woburn, Boston, MA

McLane.com

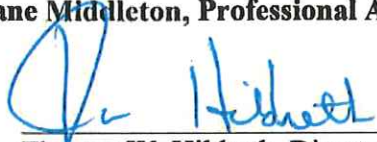
Thomas Zajac, P.E.
May 3, 2018
Page 2

was revoked on March 26, 1992. (See HCRD, Bk. 5325, Pg. 1458.) The protective covenants have not been applicable, followed, or enforced within the industrial park since that time. Accordingly, they have no applicability to the pending site plan application and reference to them should be removed from both the site plan and the reviewing engineer's comments.

This opinion is being provided solely to you but may also be relied upon by the Hudson planning board and its reviewing engineers.

Sincerely,
McLane Middleton, Professional Association

By:

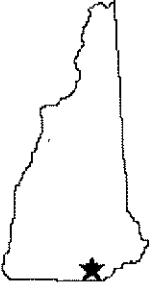


Thomas W. Hildreth, Director

TWH:

cc: C. Norton, PRL

UBU



TOWN OF HUDSON

Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

Zoning Determination #17-120

December 19, 2017

Thomas Zajac, Jr P.E.
Hayner/Swanson Inc
3 Congress Street
Nashua, NH 03062

Re: 24 Constitution Drive 170/034-000
District: Industrial (I)

Dear Mr. Zajac,

Your request for zoning status/permitting requirements for a possible 12,340 sq ft office/manufacturing building has been completed.

Zoning Review / Determination:

The proposed use is a permitted principle/accessory use in the Industrial (I) district, and there would not be any Zoning Board of Adjustment action.

An amended site plan review would be required from the Planning Board for the building and site improvements. Please be mindful of building and wetland buffer setback requirements.

Sincerely,

Bruce Buttrick, MCP
Zoning Administrator/Code Enforcement Officer
(603) 816-1275
bbuttrick@hudsonnh.gov

cc: Zoning Board of Adjustment
J. Michaud, Town Assessor
G. Theborge – Dir of Land Use
File

NOTE: this determination may be appealed to the Hudson Zoning Board of Adjustment within 30 days of the receipt of this letter.



PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: 4-6-18 Tax Map # 170 Lot # 34
Name of Project: Proposed Office/Manufacturing Building - 24 Constitution Drive
Zoning District: _____ General SP# 05-18
(For Town Use) (For Town Use)
ZBA Action: _____

PROPERTY OWNER: DEVELOPER:
Name: Princecape Realty, LLC Same as Owner
Address: 33 Constitution Drive
Address: Hudson, NH 03051
Telephone # 603-595-1987
Fax # 603-595-8277
Email: cnorton@pricetontech.com

PROJECT ENGINEER SURVEYOR
Name: Hayner/Swanson, Inc. Hayner/Swanson, Inc.
Address: 3 Congress Street 3 Congress Street
Address: Nashua, NH 03062 Nashua, NH 03062
Telephone # 603-883-2057 ext 145 603-883-2057 ext 139
Fax # 603-883-5057 603-883-5057
Email: tzajac@hayner-swanson.com dpollock@hayner-swanson.com

PURPOSE OF PLAN:
To show a proposed 1-story 14,460 SF industrial building and associated site improvements.

For Town Use
Plan Routing Date: 4-11-18 Sub/Site Date: 5-23-18
I have no comments I have comments (attach to form)
JOB Title: Deputy Fire Chief Date: 4/11/18
(Initials)
DEPT: _____ Zoning _____ Engineering _____ Assessor _____ Police Fire _____ Planning
_____ Consultant _____ Highway Department
Fees Paid: \$3910.58



TOWN OF HUDSON

FIRE DEPARTMENT

INSPECTIONAL SERVICES DIVISION



12 SCHOOL STREET, HUDSON, NEW HAMPSHIRE 03051

Emergency 911
Business 603-886-6005
Fax 603-594-1142

Robert M. Buxton
Chief of Department

11 April, 2018

To: George Thebarg

Fr: John J. O'Brien
Deputy Fire Chief

Re: Site Plan review 24 Constitution Drive Map 170/Lot 34

A Site plan review was conducted by this office for the above proposed development. Fire Department requirements are listed below.

Addressing

The address of 24 Constitution Drive is acceptable to the Hudson Fire Dept.

Hydrant Location

The Location as proposed on plans is acceptable to Hudson Fire Dept. The hydrant shall be capable of a minimum of 1000 GPM flow.

Municipal Fire Alarm

The building shall be connected to the municipal fire alarm system. Please contact for additional information prior to construction for local connection requirements.

Site Access

The site access meets Hudson Fire Dept. requirements

If you have questions feel free to email jobrien@hudsonnh.gov or call 603-886-6021

John J. O'Brien *Job*
Deputy Fire Chief
Town of Hudson N.H



PRELIMINARY & FINAL **SITE PLAN** APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: 4-6-18 Tax Map # 170 Lot # 34
Name of Project: Proposed Office/Manufacturing Building - 24 Constitution Drive
Zoning District: _____ General SP# 05-18
(For Town Use) (For Town Use)
ZBA Action: _____

PROPERTY OWNER: Name: Princecape Realty, LLC
Address: 33 Constitution Drive
Address: Hudson, NH 03051
Telephone # 603-595-1987
Fax # 603-595-8277
Email: cnorton@pricetontech.com

DEVELOPER: Name: Same as Owner

PROJECT ENGINEER Name: Hayner/Swanson, Inc.
Address: 3 Congress Street
Address: Nashua, NH 03062
Telephone # 603-883-2057 ext 145
Fax # 603-883-5057
Email: tzajac@hayner-swanson.com

SURVEYOR Name: Hayner/Swanson, Inc.
Address: 3 Congress Street
Address: Nashua, NH 03062
Telephone # 603-883-2057 ext 139
Fax # 603-883-5057
Email: dpollock@hayner-swanson.com

PURPOSE OF PLAN:
To show a proposed 1-story 14,460 SF industrial building and associated site improvements.

For Town Use

Plan Routing Date: 4-11-18 Sub/Site Date: 5-23-18
____ I have no comments I have comments (attach to form)
ELD Title: TOWN ENGINEER Date: 4/16/18
(Initials)
DEPT: _____ Zoning Engineering _____ Assessor _____ Police _____ Fire _____ Planning _____
____ Consultant _____ Highway Department
Fees Paid: \$3910.58

Dhima, Elvis

From: Dhima, Elvis
Sent: Monday, April 16, 2018 3:39 PM
To: Thebarga, George
Cc: Dubowik, Brooke
Subject: 24 Constitution Drive- Engineering Department Review

George

I have only one comment

1. Applicant shall provide a mechanical separator for the drainage trench.

E

Elvis Dhima, P.E.
Town Engineer

Town of Hudson, NH
12 School Street
Hudson, NH 03051
Phone: (603) 886-6008
Mobile: (603) 318-8286



Town of Hudson
NEW HAMPSHIRE 03051

April 24, 2018

Mr. George Thebargue
Land Use Director
Town of Hudson
12 School Street
Hudson, NH 03051

Re: Town of Hudson Planning Board Review
24 Constitution Drive Site Plan, 24 Constitution Drive
Tax Map 170, Lot 034; Acct. #1350-913
Reference No. 03-0249.1720

Dear Mr. Thebargue:

CLD | Fuss & O'Neill, Inc. has reviewed the first submission of the materials received on April 10, 2018, related to the above-referenced project. Authorization to proceed was received on April 16, 2018. A list of items reviewed is enclosed. The scope of our review is based on the Site Plan Review Codes, Stormwater Codes, Driveway Review Codes, Sewer Use Ordinance 77, Zoning Regulations, and criteria outlined in the CLD | Fuss & O'Neill Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007, September 3, 2008, and October 2015.

We have included a copy of CLD | Fuss & O'Neill's evaluation of the checklist for your reference. We note that several items could not be verified by CLD | Fuss & O'Neill and require action by the Town.

The project appears to consist of a one-story, 14,440 square foot industrial building on a 2.235 acre lot. Proposed improvements to the site also include driveway and parking area construction, drainage improvements, landscaping, lighting, and other associated site improvements. The proposed building will be serviced by Municipal sewer and water.

The following items are noted:

1. Site Plan Review Codes and Administrative Requirements and Definitions

- a. Hudson Regulation (HR) 275-6.I. The scope of this review does not include the adequacy of any fire protection provisions for the site. No proposed measures were included in CLD | Fuss & O'Neill's review package.
- b. HR 275-8.C.(2)(g) and Zoning Ordinance (ZO) 334-15.A. The applicant has provided parking calculations for the proposed industrial use. Based upon gross square feet, parking calculations indicate that the proposed site meets the minimum number of spaces required.
- c. HR 275-8.C.(6)(b). The dimensions of the loading spaces do not meet the required 60 feet depth. No information was provided about the type of trucks expected to use the spaces to justify the reduced length.

- d. HR 275-8.C.(8). The corner of the subject lot abuts the corner of a residential lot in the G-1 Zoning District to the southeast. Existing vegetation on the residential parcel appears to provide a vegetative buffer. The Town should confirm that the intent of the Regulation is met.
- e. HR 275-9.F. and 276-11.1.B.(20). The applicant has noted that the lot is subject to several development agreements, a utility easement, and protective covenants. Copies of these documents were included with the site plan application. The location of the utility easement is not shown on the plans. Also, Section V.3 of the protective covenants notes that no loading areas are permitted in the front of any structure. The covenant further explains that if a loading area is visible from the street "they shall be screened from the street and from adjacent lots". Three trees are proposed between the street and loading area. The applicant should modify the design to conform with the covenants.
- f. HR 276.11.1.B.(4)(a). The applicant has provided an approval block that does not meet the Regulation as the approval block does not contain the required approval sentence, "Final approval commences at the PLANNING BOARD meeting date at which the PLAN receives final approval."
- g. HR 276-11.1.B.(4)(b). The applicant has provided an approval block on the cover sheet that is not quite located in the lower left corner of the sheet.
- h. HR 276-11.1.B.(6). The Owner's signature is not on the plans.
- i. HR 276-11.1.B.(10). The applicant has not shown the adjacent zoning district boundary on the plan set.
- j. HR 276-11.1.B.(12)(c). The applicant has proposed improvements within 100 feet of a parcel with a residential use.
- k. HR 276-11.1.B.(13). The applicant has proposed a business sign within the site but has not provided any details for its construction. Also, the applicant has provided a sign note on the plan set that does not exactly match the Regulation.
- l. HR 276-11.1.B.(20) and ZO 334-14. The applicant has not shown the height of the existing building on the plan set. The applicant included architectural building elevation drawings with the review package but the building height dimensions are not legible.
- m. HR 276-11.1.B.(23). The applicant has not noted any pertinent highway projects on the plan set.

2. Driveway Review Codes (HR 275-8.B. (34)/Chapter 193)

- a. HR 193.10.C. The applicant has proposed an 8-10% grade for the driveway apron to Constitution Drive that exceeds the maximum depicted in the Town of Hudson Typical Details. We recommend that a stopping platform with a 2-4% maximum slope be constructed for at least 10 feet from the edge of pavement.
- b. The applicant has proposed a 40 foot wide driveway with the turning radi flares extended beyond the width as allowed by the Regulation.
- c. The proposed driveway is designed to be skewed to the right-of-way, where perpendicular driveways are typically preferred.

3. Traffic

- a. There are no traffic related comments at this time.

4. Utility Design/Conflicts

- a. HR 276-13. D. The applicant has not proposed any screening around the proposed transformer. This is also a requirement of Section VII.11 of the protective covenants for the development.
- b. HR 275-9.E and 276-13. The applicant has not provided confirmation from the water utility that there is adequate capacity in the existing water system for the proposed used.
- c. HR 275-9.E. and 276-13. The applicant has not provided any sewer flow calculations nor indicated that the existing sewer system has adequate capacity to handle all increased flows resulting from this development.
- d. HR 275-9.E. and 276-13. The applicant has provided a sewer service detail with the observation T and plug outside the Town Right-of-Way line. The Town should confirm that a cleanout should not be shown within the right-of-way.

5. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- a. HR 275-9.A.(3): The applicant should provide infiltration rate calculations to support the use of 0.3 inches per hour utilized within the Drainage Report. (Conversion from NRCS data, test pit percolation test data, Ksat tables, etc.)
- b. HR 275-9.A.(3): The Stormwater Management Report states CB-1 has a rim of 288.5 and Sheet 4 states 288.25. The applicant should coordinate these details.
- c. HR 290-5.H: The applicant's Drainage Report calculations do not account for frozen ground conditions. The applicant should provide additional information to comply with this requirement.
- d. HR.290-5.L.(10)(m): The applicant has proposed the connection of a private site to the Town drainage line. The applicant should review this connection with the Department of Public Works to ensure tie in is allowed.
- e. HR 290-9.B: The applicant should note the requirement for preparing a SWPPP for this project on the plan set.
- f. HR 290-5.L.(4). The applicant's summary tables have noted "N/A" in several places in lieu of providing predevelopment flows and volumes. The applicant should provide comparative data for pre and post development flows at each connection point to the Town's drainage system and at each point of analysis.
- g. HR 290-5.L.(10)(o). The applicant has demonstrated that during one storm event post development flows are dramatically reduced. The applicant should demonstrate that the flow reduction will not adversely affect any downstream wetlands or uses that rely upon consistent runoff.
- h. The applicant should correct the text overwrite on page 7 at the RipRap Detail.
- i. The inverts at Catch Basin #8 vary between drainage profiles on sheet 4. The applicant should review and coordinate these details.

- j. The applicant should provide additional spot grades near the door in the upper loading area. Often landscaped areas end up higher than adjacent solid surface areas, which could result in water being trapped causing an icing condition.

6. Zoning (ZO 334)

- a. ZO 334-20. The subject site is located in the Industrial (I) zoning district and the proposed use appears to be permitted within this district.
- b. ZO 334-33. The applicant has noted that there are no wetlands within the subject site.
- c. ZO 334-57. The applicant has proposed handicapped parking and traffic signs within the subject lot, along with a proposed business sign. Details for the business sign were not provided.
- d. ZO 334-83. The applicant has noted that the subject parcel is located within zone X, area of minimal flood hazard.

7. Erosion Control/Wetland Impacts

- a. HR 290-5.K.(16). The applicant has not indicated the proposed method of stump disposal.
- b. HR 290-5.K.(20). The applicant has shown silt fence installation on the northeast side of the site in an area that is not shown as being cleared. Since we do not believe it is always in the project's best interest to create additional disturbance to install silt fence, the applicant should review the proposed location of silt fence outside the proposed limits of disturbance and adjust accordingly.
- c. HR 290-5-K.(20). The applicant should review the need for erosion control measures to protect the catch basin south of the proposed driveway.
- d. The applicant has noted that the Town reserves the right to require additional erosion control measures during construction if needed.

8. Landscaping (HR 276-11.1.B.(20)) and Lighting (HR 276-11.1.B.(14))

- a. HR 276-11.1.B.(20). The applicant has proposed a snow storage area on the west side of the loading spaces where landscaping has been proposed. The applicant should indicate how landscaping will be protected from the adverse impacts of stored snow.
- b. HR 276-11.1.B.(14). The applicant has not provided information detailing the proposed hours of operation for the site lighting.
- c. HR 276-11.1.B.(14). The applicant has not noted if the proposed exterior lighting will be operated by timer or photocells.

9. State and Local Permits (HR 275-9.G.)

- a. HR 275-9.G. The applicant did not provide copies of any applicable Town, State or Federal approvals or permits in the review package nor were any noted these on the plans.
- b. Additional local permitting may be required.

10. Other

- a. The applicant has noted that proposed retaining wall 'B' and the concrete pad at the loading dock will be designed by others. The applicant should forward copies of these plans, stamped by a professional engineer licensed in the State of New Hampshire, to the Town for their records.
- b. The applicant has not provided a detail for the proposed concrete sidewalk or steps.

Please feel free to call if you have any questions.

Very truly yours,



Heidi J. Marshall, P.E.



Paul Konieczka, AICP

HJM:PK:mjt

Enclosure

cc: Brooke Dubowik – Town of Hudson
Town of Hudson Engineering Division – File
Hayner/Swanson, Inc.
3 Congress Street
Nashua, NH 03062
Fax: (603) 883-5057



May 4, 2018
Job #4857

Mr. George Theborge, Land Use Director
Town of Hudson
12 School Street
Hudson, NH 03051



**RE: SITE PLAN - PROPOSED INDUSTRIAL BUILDING
24 CONSTITUTION DRIVE
HUDSON, NH**

Dear Mr. Theborge:

Please find enclosed our re-submission effort for the above referenced project. The submittal package consists of revised plans and a revised stormwater management study. The revised plans attempt to address the review comments provided to us by the peer review consultant. Our responses below are listed in the same order as they appear in their letter.

CLD/Fuss & O'Neil (letter dated April 24, 2018):

- 1a. The proposed building will include adequate provisions for fire safety, prevention and control, including a fire alarm and sprinkler system.
- 1b. No response required.
- 1c. Loading dimensions have been added to Sheet 1. The first loading space is a recessed loading dock that measures approximately 16 FT x 60 FT and will service tractor trailer-sized vehicles. The second loading space is an at-grade overhead door that measures approximately 20 FT x 50 FT and will service smaller vehicles such as a single-unit box truck or small forklift. Both spaces are adequately sized for their proposed use.
- 1d. We agree that the existing vegetation on the abutting residential parcel provides a vegetative buffer that meets the spirit and intent of the regulation.
- 1e. The landscape plan has been revised to provide better screening of the proposed loading area. Upon review by the applicant's attorney, it has been determined that the protective covenants are no longer in effect. See attached letter.
- 1f. The approval block language is provided as requested by the Land Use Director.
- 1g. The approval block location is consistent with many previous projects by our office and meets the spirit and intent of the regulation.
- 1h. The property owner's signature is located on Sheet 1.
- 1i. The zoning district line has been added to Sheet 1.
- 1j. A waiver request has been submitted for this item.
- 1k. The referenced sign has been removed from the plans. Note 11 on Sheet 1 has been revised to match the regulation.

- 1l. The lot is undeveloped and does not contain an existing building. The proposed building height will vary between 24-30 FT given the pitched roof. Revised building elevations are included as part of this re-submittal.
- 1m. Based on discussions with the Land Use Director, we are not aware of any pertinent highway projects.
- 2a. The site plan has been revised to shift the building towards the approximately 20-foot east and 10-foot north (horizontally) and also raised approximately 2-feet (vertically). The combination of these changes has resulted in a site driveway that is less steep than the original design. We note that the majority of the proposed 40-foot wide driveway has a grade of 6% or less, including a 4% grade at the center striping. There is a small section along the northerly curb radius that is approximately 8%-10% grade; however, this is necessary in order to tie into the existing roadway, which has a grade of 7.5% in this location. Based on the above information, it is our opinion that the proposed driveway design provides a safe and controlled approach to Constitution Drive. Furthermore, this item was discussed with the Town Engineer and he did not have an issue with the driveway design.
- 2b. No response required.
- 2c. The proposed driveway aligns with the southerly property line and is slightly skewed to the right-of-way. While we agree that it is typically preferred to have a perpendicular (90) alignment, slightly skewing the driveway will improve vehicle turning movements entering and exiting Constitution Drive to the north. We expect there is be little to no turning movements entering and existing Constitution Drive to the south since it is a dead-end cul-de-sac. This item was discussed with the Town Engineer and he did not have an issue with the driveway design.
- 3a. No response required.
- 4a. Additional plantings have been added to screen the proposed transformer pad from Constitution Drive. As discussed above, the referenced protective covenants are no longer in effect.
- 4b. Per the project's fire protection consultant, the estimated total water system 650 gallons per minute based on protection of Ordinary 2 Hazard occupancy. Based on a preliminary discussion with the Town Engineer, water capacity is not an issue.
- 4c. The estimated sewer flow from this building will be 560 gallons per day average daily flow (28 employees x 20 gallons per day per employee). There is no process/industrial water discharge proposed. it is our opinion that the existing sewer system has adequate capacity to handle additional flow from this development. The applicant shall coordinate a Town Sewer Permit and NHDES Sewer Connection Permit with the Town Engineer.
- 4d. There is no cleanout proposed as part of this project. This comment makes reference to HSI's standard sewer detail sheet, which contains our standard sewer details and construction notes. Some items that are shown on the detail sheet do not apply to this project including the referenced house sewer service cleanout.

- 5a. NRCS soil maps indicate Chatfield-Hollis complex soils for this property, which was confirmed by our test pits. The design infiltration rate (0.3 inches per hour) was calculated using the 'default rate' for these soils (0.6-6.0 inches per hour plus factor of safety) and is in accordance with NHDES regulations.
- 5b. The plans have been revised to reflect a CB 1 rim grade of 288.5.
- 5c. The impact of frozen ground conditions will be negligible given that the infiltration rate used in the analysis is minimal and that the proposed stormwater management system functions as a combination filtration/detention practice.
- 5d. The Engineering Department has reviewed the plans and did not comment on the proposed drain line connections. The proposed connection locations are identical to what was shown on the 2005 site plan approval.
- 5e. SWPPP requirements are noted on Sheets 10 & 11.
- 5f. The stormwater study has been revised to reflect the comparative pre-development and post-development peak flows and volumes. See stormwater study for reference to the reduction of peak flows at POA North in comparison to the 2005 approved site plan. POA North is a combination of two proposed connections (CB 1 & CB 10) into the public drainage system. We do not think that these connection locations need to be further broken down into separate points of analyses in the study given that there is minimal runoff getting to CB 10 and both connection locations discharge to the same location near the site.
- 5g. The stormwater study demonstrates that the post-development peak rate during the 10-year storm will be reduced compared to the 2005 approved site plan; however, will result in a slight increase in peak rates and volumes compared with the pre-development condition. The downstream detention basin measures approximately 2-acres in surface area and has been sized to accommodate runoff from the entire industrial park. It is our opinion that the existing detention basin will not be adversely impacted by the proposed post-development peak flows and volumes associated with this project.
- 5h. The plan has been revised as requested.
- 5i. The referenced catch basin was removed from the plans.
- 5j. A flow arrow has been added to the plan to clarify the grading design intent.

- 6a. No response required.
- 6b. No response required.
- 6c. The previously shown ground sign was removed from the plans.
- 6d. No response required.

- 7a. See Note 7 on Sheet 3 for stump disposal method.
- 7b. The referenced silt fence location has been revised.
- 7c. An additional siltsack was added to the referenced existing catch basin.
- 7d. No response required.

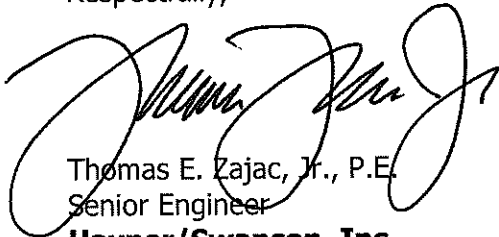
- 8a. The plans have been revised to eliminate conflicts between landscaping and snow storage areas.
- 8b. The proposed site lighting will be controlled via programmable astronomical time clock with photocells. Typical hours of operation will be as needed during normal business hours.

- 8c. See response above.
- 9a. No response required.
- 9b. No response required.
- 10. A note has been added to the details requiring a copy of the requested plans will be provided to the Town.
- 10b. The proposed concrete steps will be cast-in-place. Construction details have been provided showing a typical section for the concrete sidewalk along with grading details for this area.

In addition to the above-referenced peer review comments, the Engineering Department requested that a mechanical separator be added adjacent to the proposed trench drain to help provide oil/water separation. This practice (water quality unit) has been added to the revised plans.

As always, please feel free to contact me if you have any further questions regarding this project.

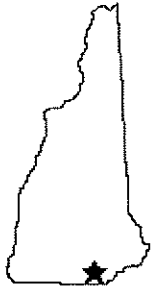
Respectfully,



Thomas E. Zajac, Jr., P.E.
Senior Engineer
Hayner/Swanson, Inc.

cc: Heidi Marshall, P.E., CLD/Fuss & O'Neil, Inc.
Gary Thomas & Scott Cornett, Northpoint Construction Management, Inc.

404



TOWN OF HUDSON

Planning Board

Glenn Della-Monica, Chairman



12 School Street · Hudson, New Hampshire 03051 · Tel: 603-886-6008 · Fax: 603-594-1142

CAP FEE WORKSHEET - 2018

Date: 05-25-18 Zone # 2 Map/Lot: 170/034
24 Constitution Drive

Project Name: Princecape Realty, LLC

Proposed ITE Use #1: General Light Industrial

Proposed Building Area (square footage): 14,460 S.F.

CAP FEES: (ONE CHECK NEEDED)

1. (Bank 09)
2070-702 Zone 2: \$ 18,653.00 (14,460sf x \$1.29sf)

Total CAP Fee \$ 18,653

SITE PLAN

MAP 170, LOT 34

PROPOSED INDUSTRIAL BUILDING

24 CONSTITUTION DRIVE
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:

PRINCECAPE REALTY, LLC

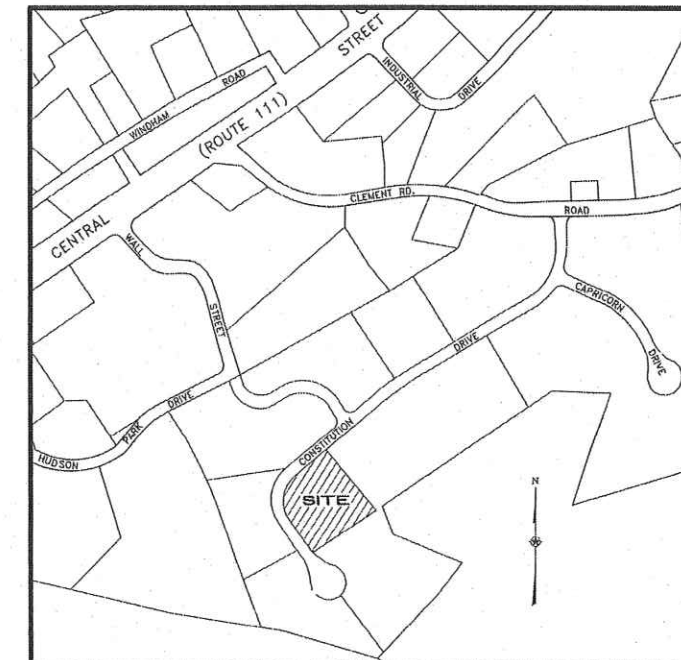
33 CONSTITUTION DRIVE
 HUDSON, NEW HAMPSHIRE 03051
 (603) 595-1987



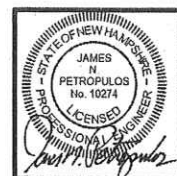
INDEX OF PLANS		
SHEET No.	TITLE	
1 OF 13	MASTER SITE PLAN	1"= 40'
2 OF 13	EXISTING CONDITIONS PLAN	1"= 20'
3 OF 13	SITE PLAN	1"= 20'
4 OF 13	UTILITY PROFILES	1"= 20' H 1"= 4' V
5-7 OF 13	DETAIL SHEET - GENERAL	
8 OF 13	DETAIL SHEET - WATER	
9 OF 13	DETAIL SHEET - SEWER	
10 OF 13	EROSION CONTROL PLAN	1"= 40'
11 OF 13	DETAIL SHEET - EROSION CONTROL	
12 OF 13	LANDSCAPING PLAN	1"= 30'
13 OF 13	PHOTOMETRIC LIGHTING PLAN	1"= 30'
BUILDING ELEVATIONS		
<small>PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.</small>		
APPROVED BY THE HUDSON, NH PLANNING BOARD DATE OF MEETING: _____ _____ SIGNATURE DATE _____ _____ SIGNATURE DATE _____ <small>SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.</small>		

2 APRIL 2018

REVISED
 3 MAY 2018

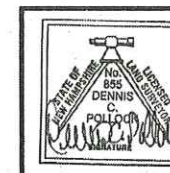


VICINITY PLAN
 SCALE: 1" = 400'



HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors

3 Congress Street Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
 www.hayner-swanson.com



WALL ST

CONSTITUTION DRIVE

DRIVE

*** ZONING NOTE ***

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

NOTES - CONT'D:

- 13. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN WITH THE EXCEPTION OF DECKS AND PORCHES PROVIDED THEY CONFORM WITH THE REQUIREMENTS OF THE TOWN OF HUDSON ZONING BY-LAWS, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
- 14. THE PARCEL IS DEFINED AS ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS DETERMINED FROM THE FLOOD INSURANCE STUDY, TOWN OF HUDSON, NH, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, PANEL NUMBER: 33011C05180, DATED: 08/25/2000.
- 15. TRASH PICK-UP SHALL NOT OCCUR EARLIER THAN 7:00 AM NOR LATER THAN 7:00 PM, MONDAY THROUGH SATURDAY ONLY.
- 16. CONSTRUCTION ACTIVITIES ON THE SITE SHALL BE LIMITED TO BETWEEN 7:00 AM AND 7:00 PM, MONDAY THRU SATURDAY. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS.
- 17. CONSTRUCTION HOURS ARE MONDAY THRU SATURDAY, 7:00 AM TO 7:00 PM, WITH NO CONSTRUCTION ACTIVITIES OCCURRING ON SUNDAYS. IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS OF 10:00 AM AND 5:00 PM, MONDAY THRU FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON SATURDAYS AND SUNDAYS.
- 18. SHEET 1 OF 13 SHALL BE RECORDED AT THE HILLSBOROUGH REGISTRY OF DEEDS. A COMPLETE SET OF PLANS SHALL BE ON FILE WITH THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT.
- 19. PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY A LICENSED LAND SURVEYOR CERTIFIED AS BUILT SITE PLAN SHALL BE PROVIDED TO TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED SITE PLAN.
- 20. SNOW REMOVAL TO BE PLACED IN OPEN AREAS OF THE SITE AS SHOWN ON SHEET 3 OF 13. IF NEEDED, EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- 21. A CAP FEE IN THE AMOUNT OF \$9,543.00 (\$9.68/SF X 14,480 SF INDUSTRIAL) SHALL BE PAID PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- 22. THE DEVELOPMENT AGREEMENT FOR THIS PROJECT SHALL BE PLACED ON FILE WITH THE TOWN OF HUDSON PLANNING DEPARTMENT AND RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
- 23. PRESENT OWNER OF RECORD:
MAP 170, LOT 34
PRINCECAPE REALTY, LLC
33 CONSTITUTION DRIVE
HUDSON, NH 03051
VOL. 8242, PG. 2550

EASEMENTS, RIGHTS & RESTRICTIONS:

- 1. SUBJECT TO THE EASEMENT IN FAVOR OF NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY AND PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE, AS DESCRIBED IN BK 5168, PG 1861.
- 2. SUBJECT TO THE SITE PLAN DEVELOPMENT AGREEMENT BETWEEN SYNTech MICROWAVE, INC. AND THE TOWN OF HUDSON, AS DESCRIBED IN BK 7806, PG 44.
- 3. SUBJECT TO THE DEVELOPMENT AGREEMENT BETWEEN ERIC NICKERSON ASSOCIATES AND THE TOWN OF HUDSON, AS DESCRIBED IN BK 6325, PG 1572, IN SO MUCH AS IT MAY BE IN EFFECT.
- 4. REFERENCE SHOULD BE MADE TO THE PROTECTIVE COVENANTS DEDICATED BY UNICORN PARK REALTY TRUST, AS DESCRIBED IN BK 111, PG 403. PER THE OPINION STATED IN LETTER OF ATTORNEY THOMAS W. HILDRETH OF McLANE MIDDLETON, P.A. DATED MAY 2, 2018, THESE PROTECTIVE COVENANTS ARE NO LONGER IN FORCE OR EFFECT.

LEGEND

- EXISTING GROUND CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED GRADE
- PROPOSED SPOT GRADE
- STORM DRAIN & CATCHBASIN
- STORM DRAIN & MANHOLE
- STORM DRAIN & HEADWALL
- SANITARY SEWER & MANHOLES
- WATER MAIN & HYDRANT
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- UTILITY POLE WITH CUY SUPPORT
- STREET LIGHT
- OVERHEAD ELECTRIC & TELEPHONE
- UNDERGROUND ELEC./TEL & MANHOLES
- SIGN
- TEST PIT LOCATION & IDENTIFIER
- TREE LINE
- STONE BOUND
- IRON PIN
- DRILL HOLE & STONE WALL
- ZONE LINE
- BUILDING SETBACK LINE
- SLOPE GRANITE CURB
- VERTICAL GRANITE CURB
- CAPE COD BERM
- STORMWATER RUNOFF DIRECTION
- ACCESSIBLE PARKING SPACE
- ACCESSIBLE SIDEWALK RAMP
- PARKING SPACE COUNT
- LIMIT OF WORK
- RETAINING WALL
- PROPOSED FULL-DEPTH PAVEMENT
- PROPOSED MILL & OVERLAY

CERTIFICATION

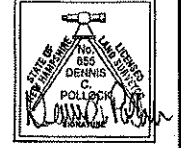
PURSUANT TO RSA 676:18, III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I FURTHER CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/03.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

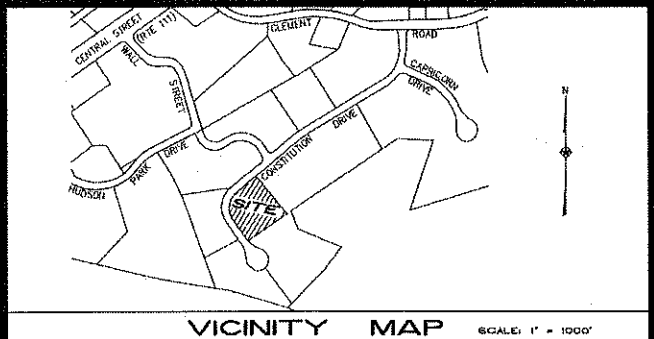
5/3/2018
DATE
DENNIS C. POLLOCK, LLS



WAIVER REQUESTED:

- 1. HR 275-11.1, B(12)c - PROPOSED IMPROVEMENTS WITHIN 100 FEET OF A RESIDENTIAL PROPERTY/USE.

FOR PRINCECAPE REALTY, LLC
DATE



PLAN REFERENCE:

- 1. MAP 26, LOT 18, SUBDIVISION PLAN - UNICORN INDUSTRIAL PARK II, CONSTITUTION DRIVE, HUDSON, NEW HAMPSHIRE, DATED: JULY 7, 1999, OWNER OF RECORD: TOWN OF HUDSON, DEVELOPER: ERIC NICKERSON, SCALE: 1"= 100', AND PREPARED BY EDWARD H. HERBERT ASSOC., INC., RECORDED: HCRD - PLAN No. 35972
- 2. SITE PLAN, (LOT 34, MAP 170), PROPOSED MANUFACTURING BUILDING, 24 CONSTITUTION DRIVE, HUDSON, NEW HAMPSHIRE, PREPARED FOR/RECORD OWNER: SYNTech MICROWAVE, INC., DATED: 18 FEBRUARY 2005, REVISED THRU APRIL 1, 2005, SHEETS 1-12 OF 12, SCALE: 1"=40 FEET, RECORDED: HCRD - PLAN No. 34683 (SHEET 1 ONLY)

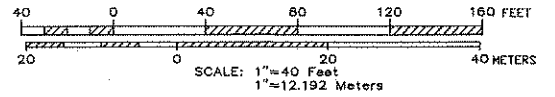
NOTES:

- 1. TOTAL SITE AREA: 2.235 ACRES (97,359 SF)
- 2. PRESENT ZONING: I - INDUSTRIAL
- MINIMUM LOT REQUIREMENTS:
 - AREA: 30,000 SF
 - FRONTAGE: 150 FT
 - MINIMUM BUILDING SETBACK REQUIREMENTS:
 - FRONT YARD: 50 FT
 - SIDE YARD: 16 FT
 - REAR YARD: 15 FT
- 3. LOT NUMBERS REFER TO THE TOWN OF HUDSON ASSESSORS MAP 170.
- 4. SITE SHALL BE SERVICED BY MUNICIPAL SEWER AND WATER, AND UNDERGROUND POWER, COMMUNICATION & GAS UTILITIES.
- 5. PURPOSE OF PLAN: TO SHOW A PROPOSED 1-STORY, 14,480 SF, INDUSTRIAL BUILDING ALONG WITH ACCOMPANYING SITE IMPROVEMENTS
- 6. PARKING:
 - REQUIRED: 14,460 SF X 1 SPACE/600 SF (INDUSTRIAL) = 25 SPACES
 - PROVIDED: (INCLUDING 2 ACCESSIBLE SPACES) = 28 SPACES
- 7. LOADING:
 - REQUIRED: 2 SPACES
 - PROVIDED: 2 SPACES
- 8. OPEN SPACE:
 - REQUIRED: 40 %
 - PROVIDED: 62 %
- 9. THE SUBJECT SITE WAS INSPECTED BY A CERTIFIED WETLAND SCIENTIST (ROBERT PROKOP, C.W.S. #063) ON NOVEMBER 28, 2017 AND IT WAS DETERMINED THAT, AT THE DATE OF INSPECTION, THERE ARE NO WETLANDS OR ASSOCIATED BUFFERS AFFECTING THIS PROPERTY.
- 10. SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
- 11. ALL SIGNS ARE SUBJECT TO ALL REQUIREMENTS OF THE ZONING ORDINANCE AS DETERMINED DURING THE SIGN PERMIT APPLICATION PROCESS.
- 12. SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL COMPLY WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT (LATEST REVISION)

No.	DATE	REVISION	BY
1	5/3/18	ADDRESS TOWN DOCUMENTS/GENERAL REVISIONS	TCZ

MASTER SITE PLAN
(MAP 170, LOT 34)
PROPOSED INDUSTRIAL BUILDING
24 CONSTITUTION DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
PRINCECAPE REALTY, LLC
33 CONSTITUTION DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 595-1987



2 APRIL 2018

H/S/I Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street
Nashua, NH 03062
(603) 893-2057
131 Middlesex Turnpike
Burlington, MA 01803
(781) 203-1501
www.haynerswanson.com

FIELD BOOK: 1092	DRAWING NAME: 4857-17-F041	4857	1 OF 13
DRAWING LOCATION: G:\4856\096\4857-17		PG: 10/24/17	09/11



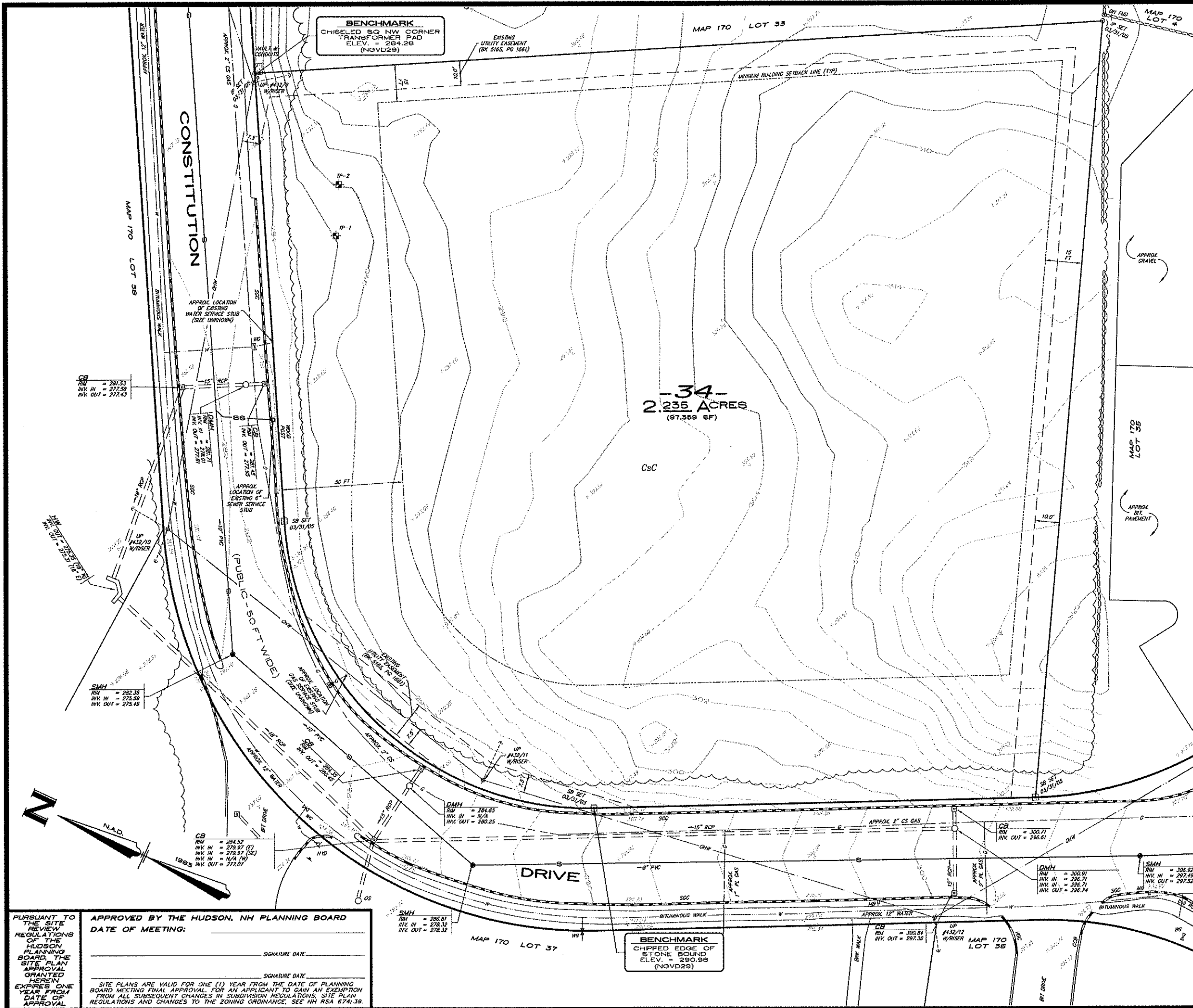
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

SIGNATURE DATE

SIGNATURE DATE

SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.



- NOTES:**
- THE EXISTING TOPOGRAPHY, AS SHOWN ON THIS PLAN, IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND IN SEPTEMBER/OCTOBER 2004 AND NOVEMBER 2017.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO THE START OF CONSTRUCTION OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
 - SURVEY CONTROL:
THE FOLLOWING SURVEY CONTROL IS TAKEN FROM PLAN REF. NO. 2, THE PREVIOUSLY APPROVED SITE PLAN FOR THIS SITE.
HORIZONTAL DATUM: NAD83
PROJECTION: NH STATE PLANE
VERTICAL DATUM: NAVD 88 SCALE FACTOR APPLIED: 1.000000
UNITS: US SURVEY FEET
* VERTICAL DATUM WAS PREVIOUSLY VERIFIED USING GPS OBSERVATIONS ON SITE IN CONJUNCTION WITH NGS (FORMERLY USGS) OPUS SOLUTIONS IN 2003.
 - THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.

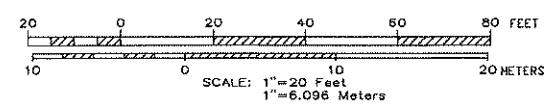
UTILITY NOTE
THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

SOIL SURVEY STAFF, NATURAL RESOURCES CONSERVATION SERVICE, UNITED STATES DEPT. OF AGRICULTURE. WEB SOIL SURVEY, AVAILABLE ONLINE AT <http://websoilsurvey.nrcs.usda.gov/> ACCESSED APRIL 5, 2017.

SOILS DATA
CsC CHATFIELD-HOLLIS-COMPLEX

No.	DATE	REVISION	BY
1	5/3/18	ADDRESS TOWN COMMENTS/GENERAL REVISIONS	TEZ

EXISTING CONDITIONS PLAN
(MAP 170, LOT 34)
PROPOSED INDUSTRIAL BUILDING
24 CONSTITUTION DRIVE
HUDSON, NEW HAMPSHIRE
PREPARED FOR/RECORD OWNER:
PRINCECAPE REALTY, LLC
33 CONSTITUTION DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 595-1987



2 APRIL 2018

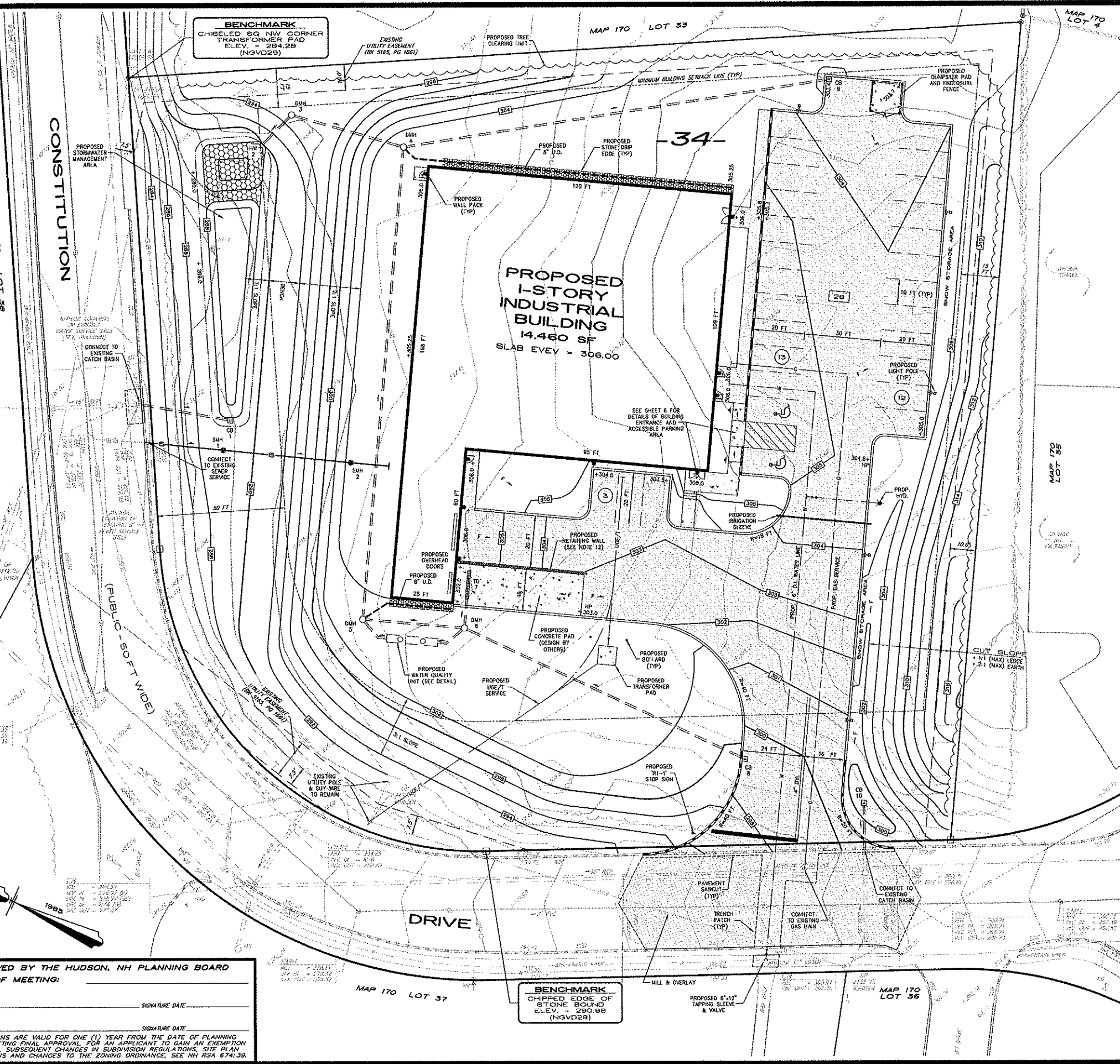
HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street 131 Middlesex Turnpike
Nashua, NH 03062 Burlington, MA 01803
(603) 883-2037
www.haynerswanson.com

PURSUANT TO THE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE DATE: _____
SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL, FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.

BENCHMARK
CHIPPED EDGE OF STONE BOUND
ELEV. = 290.98
(NGVD29)



- ### CONSTRUCTION NOTES:
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST EDITION, ARE HEREBY INCORPORATED BY REFERENCE.
 - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPT., HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHALL BE CLASS IV 3000 D (RCP OR ADS-4P). CATCH BASINS SHALL BE TYPE B, AND HAVE 4 FT SLUMPS UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING 'DIG SAFE' AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
 - ALL DRAINAGE PIPE SHALL BE FURNISHED AND INSTALLED WITH FLEXIBLE GASKETS. JOINTS SHALL BE MADE WITH OIL RESISTANT COMPRESSION RINGS OF AN ELASTOMERIC MATERIAL CONFORMING TO ASTM C-443. MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE FOLLOWED.
 - ALL GAS, POWER AND TELECOMMUNICATIONS WORK SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANY AND PERFORMED IN ACCORDANCE WITH THEIR SPECIFICATIONS.
 - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED THROUGH THE CONSTRUCTION PROCESS UNTIL STABILIZATION OCCURS.
 - BLASTING SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF HUDSON FIRE DEPARTMENT REGULATIONS.
 - STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
 - ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - DIMENSIONS TO CURB AND GUTTERS INDICATE EDGE OF PAVING UNLESS OTHERWISE NOTED.
 - EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING PAVEMENT.
 - THE PROPOSED RETAINING WALL SHALL BE DESIGNED BY THE CONTRACTOR TO THE APPROXIMATE LIMIT AS SHOWN ON THE PLANS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT FINAL DESIGN PLANS TO THE ENGINEER FOR REVIEW AND APPROVAL. THE PLANS SHALL BE STAMPED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF NEW HAMPSHIRE AND SHALL INCLUDE GUARDRAIL, FENCING AND BACKFILL REQUIREMENTS, AS NECESSARY. ONCE APPROVED BY THE ENGINEER, COPIES OF THE PLANS SHALL BE SUBMITTED TO THE TOWN OF HUDSON ENGINEERING DEPARTMENT FOR THEIR RECORDS.

TOWN OF HUDSON CONTACTS

PLANNING DEPARTMENT
HUDSON PLANNING DEPT.
12 SCHOOL STREET
HUDSON, NH 03051
ATT: GEORGE THEBARGE, AICP
LAND USE DIRECTOR
(603) 886-6008

ENGINEERING DEPARTMENT
HUDSON ENGINEERING DEPT.
12 SCHOOL STREET
HUDSON, NH 03051
ATT: ELVIS DHIMA, P.E.
TOWN ENGINEER
(603) 886-6008

FIRE DEPARTMENT
HUDSON FIRE DEPARTMENT
12 SCHOOL STREET
HUDSON, NH 03051
ATT: ROBERT BUXTON, FIRE CHIEF
(603) 886-6021

UTILITY CONTACTS

GAS:
LIBERTY UTILITIES
130 ELM STREET
MANCHESTER, NH 03103
ATT: RYAN LAGASSE
(603) 327-7151

TELEPHONE:
FAIRPOINT COMMUNICATIONS
257 DANIEL WESTER HIGHWAY
MERRIMACK, NH 03054
ATT: HEATHER ARJULJO
(603) 256-5938

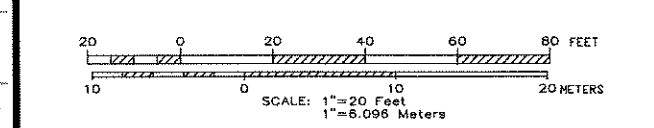
POWER:
EVERSOURCE
370 AMHERST STREET
NASHUA, NH 03060
ATT: MARC GAGNON
(603) 882-5694



No.	DATE	REVISION	BY
1	5/3/16	ADDRESS TOWN COMMENTS/GENERAL REVISIONS	TEJ

SITE PLAN
(MAP 170, LOT 34)
PROPOSED INDUSTRIAL BUILDING
24 CONSTITUTION DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
PRINCECAPE REALTY, LLC
33 CONSTITUTION DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 595-1987



2 APRIL 2018

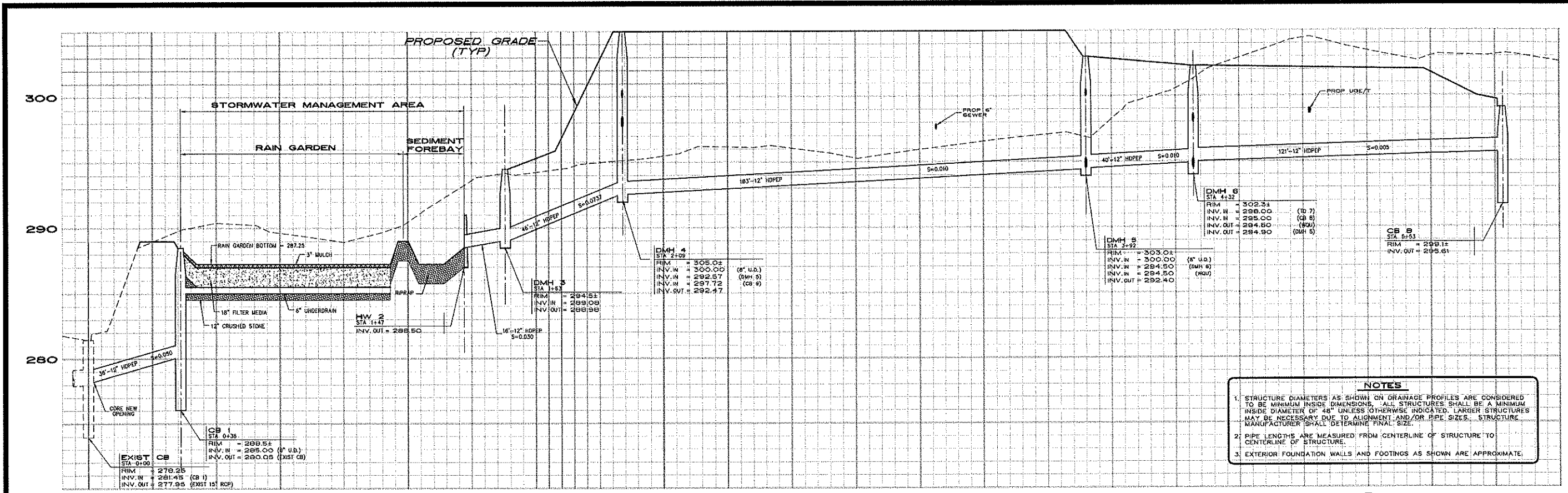
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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE DATE: _____
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SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FOR AN APPLICANT TO OBTAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.

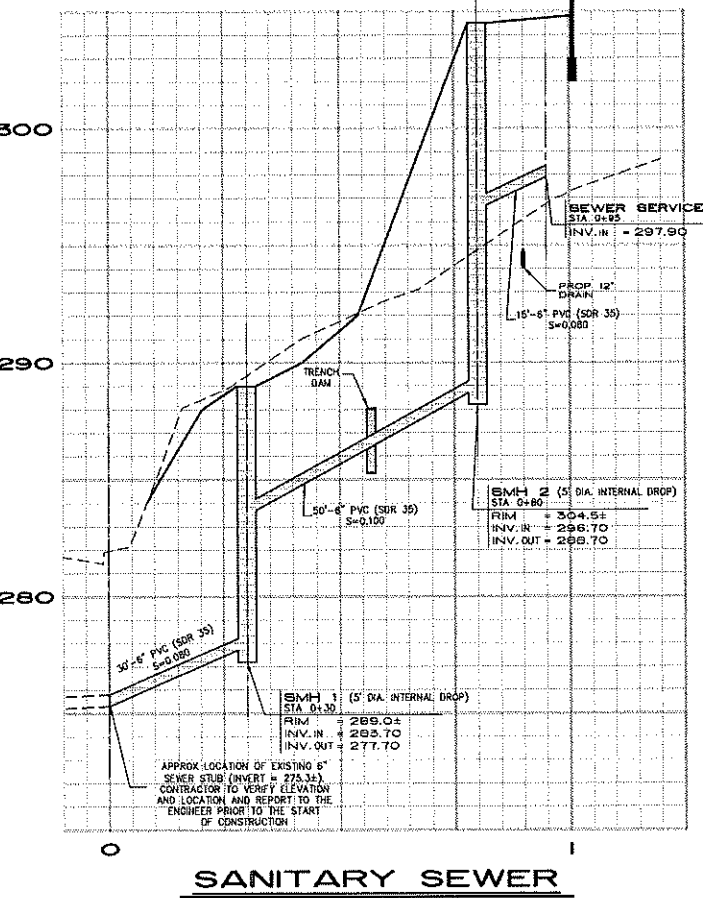
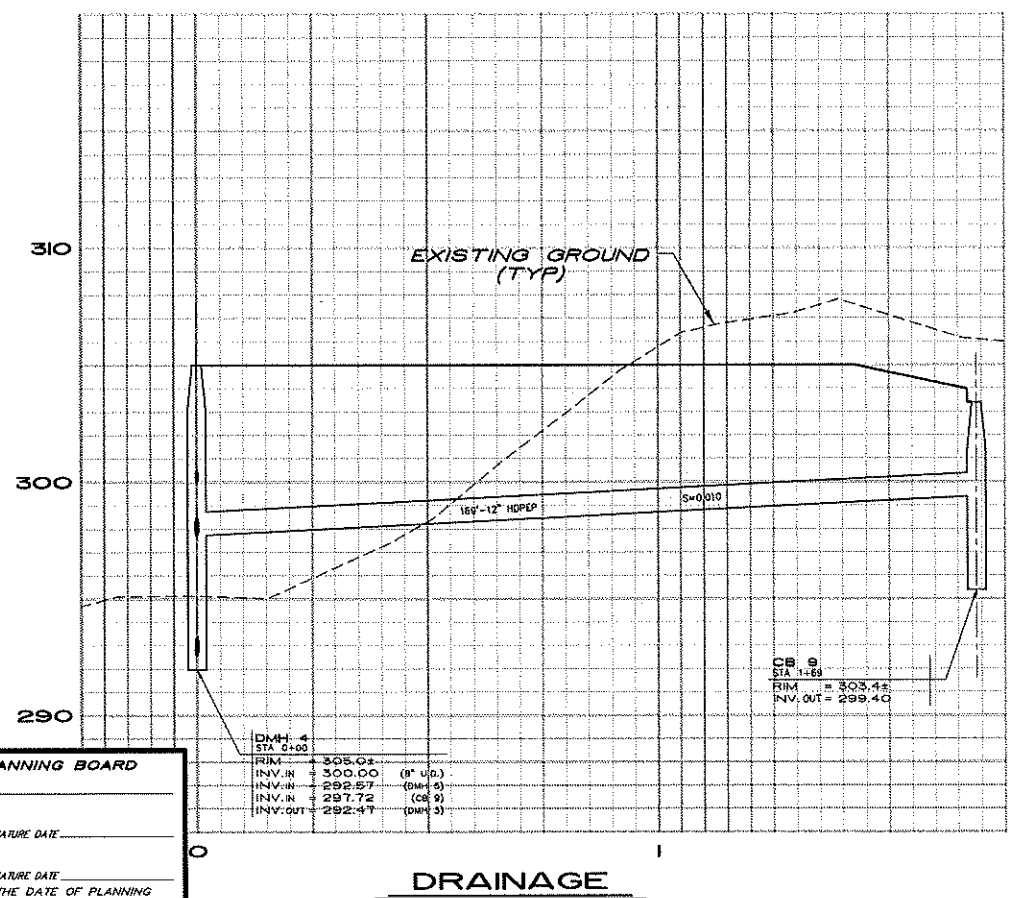
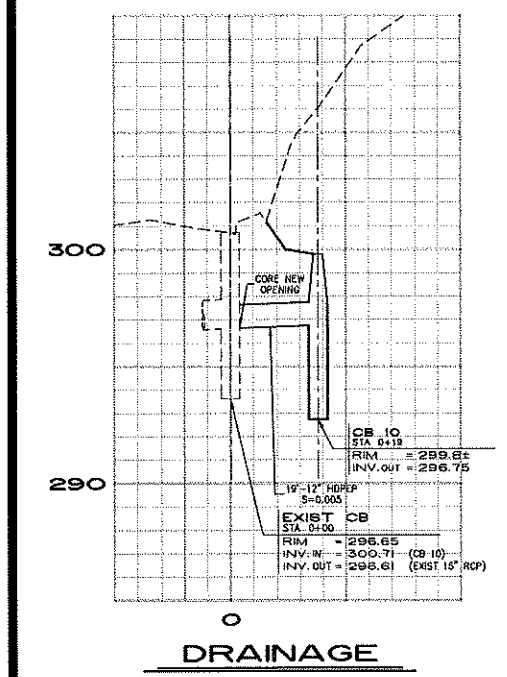
BENCHMARK
CHIPPED EDGE OF STONE BOUNDARY
ELEV. = 290.99
(NGVD29)



NOTES

- STRUCTURE DIAMETERS AS SHOWN ON DRAINAGE PROFILES ARE CONSIDERED TO BE MINIMUM INSIDE DIMENSIONS. ALL STRUCTURES SHALL BE A MINIMUM INSIDE DIAMETER OF 48" UNLESS OTHERWISE INDICATED. LARGER STRUCTURES MAY BE NECESSARY DUE TO ALIGNMENT AND/OR PIPE SIZES. STRUCTURE MANUFACTURER SHALL DETERMINE FINAL SIZE.
- PIPE LENGTHS ARE MEASURED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
- EXTERIOR FOUNDATION WALLS AND FOOTINGS AS SHOWN ARE APPROXIMATE.

DRAINAGE



No.	DATE	REVISION	BY
1	5/3/18	ADDRESS TOIRN COMMENTS/GENERAL REVISIONS	TEZ

UTILITY PROFILES (MAP 170, LOT 34)

PROPOSED INDUSTRIAL BUILDING

24 CONSTITUTION DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
PRINCECAPE REALTY, LLC
33 CONSTITUTION DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 595-1987

SCALE: HORIZ. 1" = 20
VERT. 1" = 4

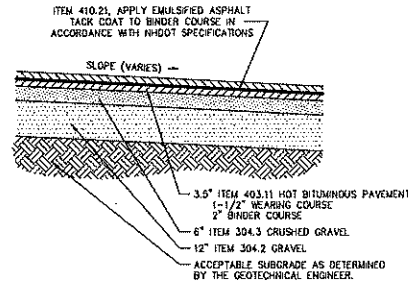
2 APRIL 2018

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street 131 Middlesex Turnpike
Nashua, NH 03062 Burlington, MA 01803
(603) 883-2057 (781) 203-1501
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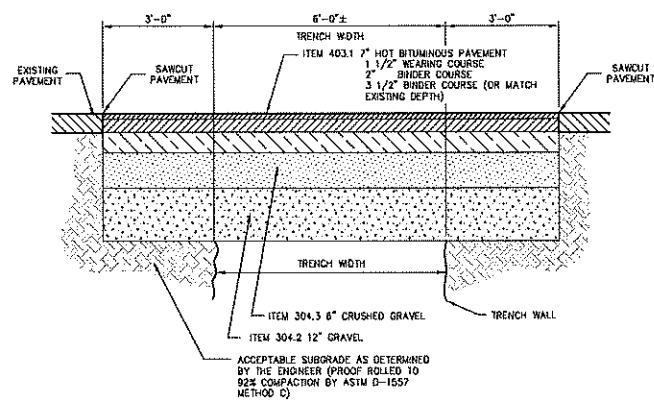
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE DATE: _____
SIGNATURE DATE: _____

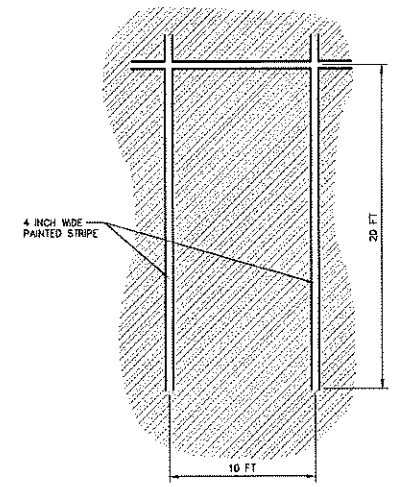
SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.



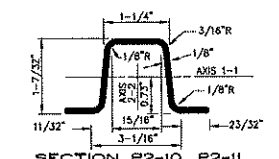
TYPICAL PAVEMENT SECTION
NOT TO SCALE



TRENCH PATCH DETAIL
NOT TO SCALE

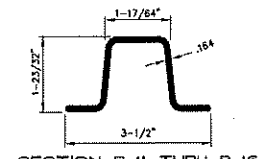


TYP. PARKING STALL DETAIL
NOT TO SCALE



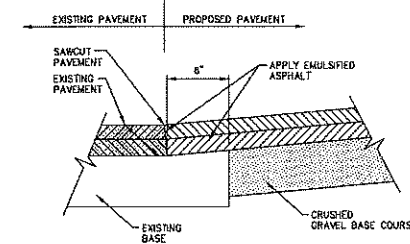
SECTION P2-10, P2-11

LENGTH: P2-10, 10'-0", P2-11, 11'-0"
WEIGHT PER LINEAR FOOT: 3.00 LBS
MATERIAL: 3/8" DIA. 1" C-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 50) OR ASTM A-575 (GRADE 100-100S)
FINISH: SHALL BE PAINTED WITH TWO COATS OF BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING. PAINT SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT.

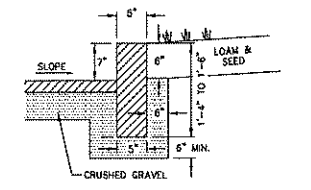


SECTION P-11 THRU P-16

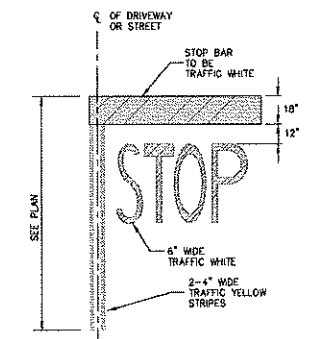
LENGTH: P-11, 11'-0", P-12, 12'-0", P-14, 14'-0", P-16, 16'-0"
WEIGHT PER LINEAR FOOT: 3.00 LBS
MATERIAL: SAME AS FOR P2-10, P2-11
FINISH: SAME AS FOR P2-10, P2-11
DIMENSIONS SHOWN ARE NOMINAL. ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE.



SAWCUT PAVEMENT DETAIL
NOT TO SCALE

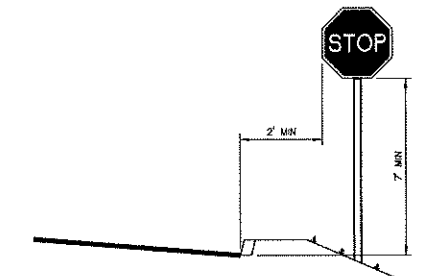


STRAIGHT OR CURVED GRANITE CURB
(ITEM 609.1 OR 609.2-MODIFIED)
NOT TO SCALE

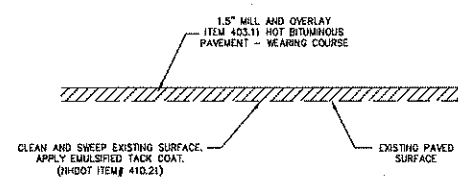


STOP BAR DETAIL
NOT TO SCALE

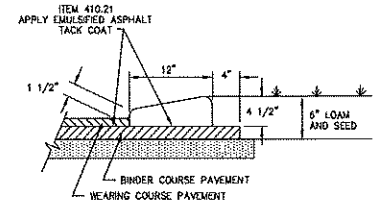
TRAFFIC SIGN SUPPORT DETAIL
NOT TO SCALE



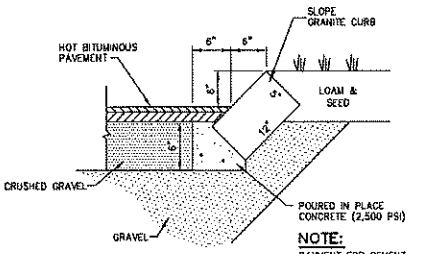
STOP SIGN LOCATION DETAIL
NOT TO SCALE



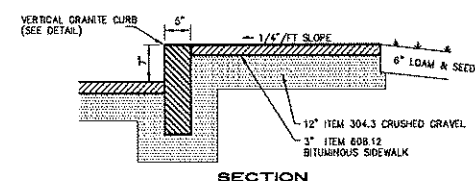
PAVEMENT MILL AND OVERLAY DETAIL
NOT TO SCALE



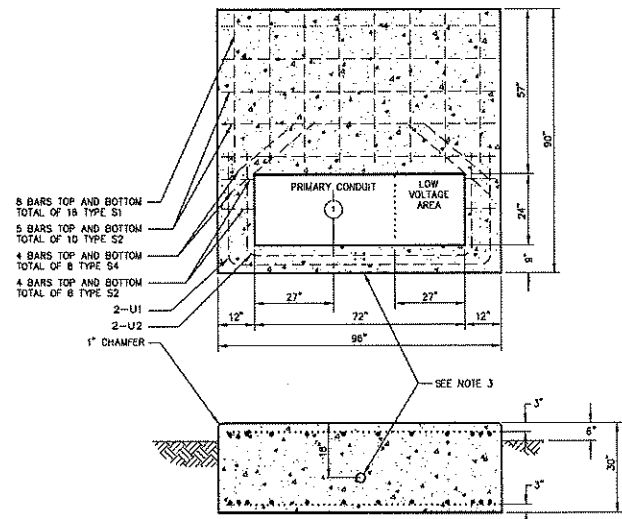
CAPE COD BERM DETAIL
NOT TO SCALE



SLOPE GRANITE CURB DETAIL
NOT TO SCALE



VERTICAL GRANITE CURB AND BITUMINOUS SIDEWALK DETAIL
NOT TO SCALE

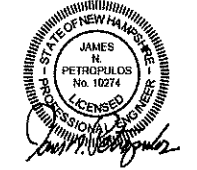


NOTE: SEE EVERSOURCE STANDARDS AND DETAILS FOR NOTES AND ADDITIONAL DETAIL.

REINFORCING SCHEDULE			
TYPE	NO.	LENGTH	TOTAL
S1	16	4'-6"	72'-0"
S2	10	7'-6"	75'-0"
S3	8	0'-6"	4'-0"
S4	8	2'-0"	16'-0"

CONC. VOLUME=4.44 CY
TOP SECTION ONLY

750 KVA TRANSFORMER PAD
NOT TO SCALE



No.	DATE	REVISION	BY
1	5/3/18	ADDRESS TOWN COMMENTS/GENERAL REVISIONS	TEZ

DETAIL SHEET - GENERAL
(MAP 170, LOT 34)
PROPOSED INDUSTRIAL BUILDING
24 CONSTITUTION DRIVE
HUDSON, NEW HAMPSHIRE
PREPARED FOR/RECORD OWNER:
PRINCECAPE REALTY, LLC
33 CONSTITUTION DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 595-1987

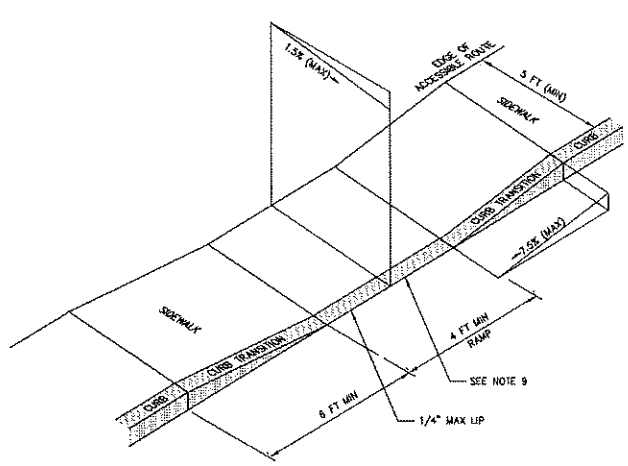
SCALE AS SHOWN
2 APRIL 2018

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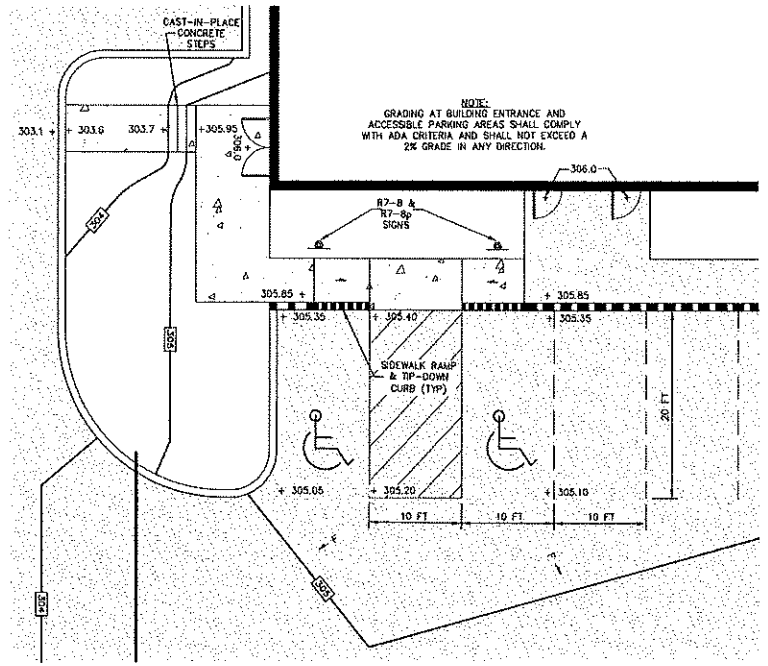
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

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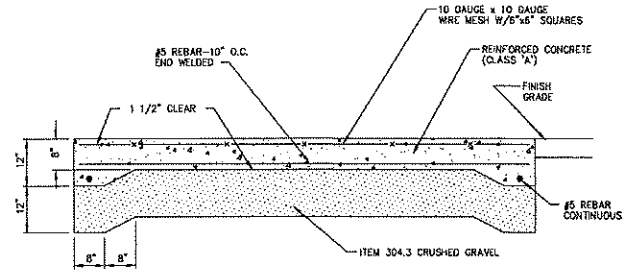


- NOTES**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1/4 MIN).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5 FT IN WIDTH (EXCLUDING CURB) A 5 FT X 5 FT PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 300 FEET.
 9. ELIMINATE ALL CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS PAVEMENT.

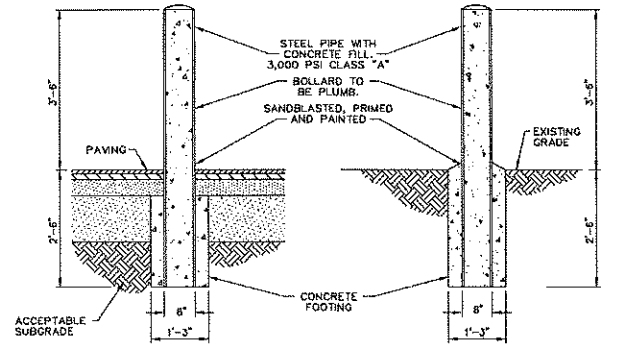


SIGN LEGEND		
TEXT	IDENTIFICATION NUMBER	SIZE WIDTH/HEIGHT
SEE MUTED FOR TEXT DIMENSIONS		
	R1-1	30" / 30"
	R7-8	12" / 18"
	R7-8P	18" / 9"

SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION

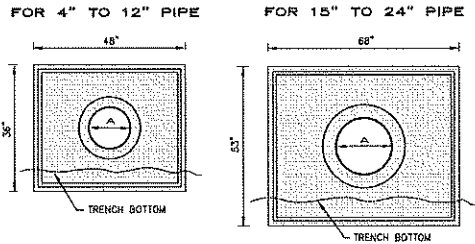


DUMPSTER PAD DETAIL
NOT TO SCALE

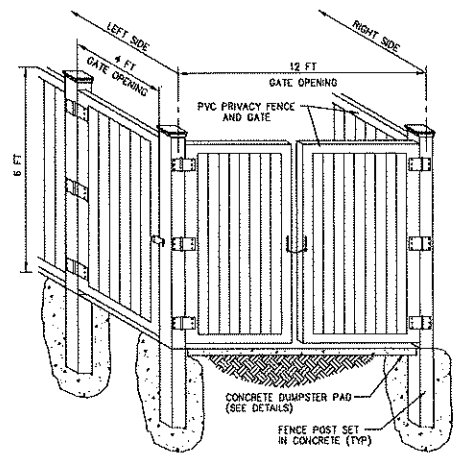


BOLLARD DETAIL
NOT TO SCALE

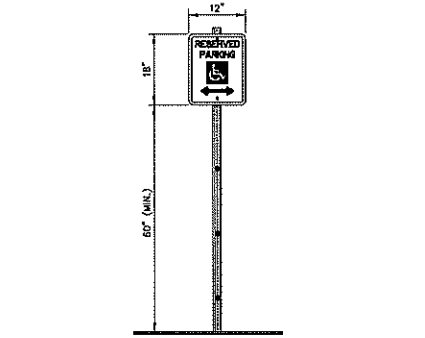
ACCESSIBLE SIDEWALK RAMP DETAIL
NOT TO SCALE



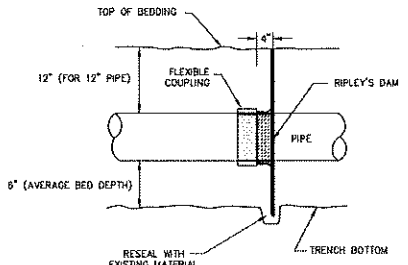
BUILDING ENTRANCE AND ACCESSIBLE PARKING AREA DETAIL
SCALE: 1"=10'



DUMPSTER PAD AND ENCLOSURE FENCE DETAIL
NOT TO SCALE

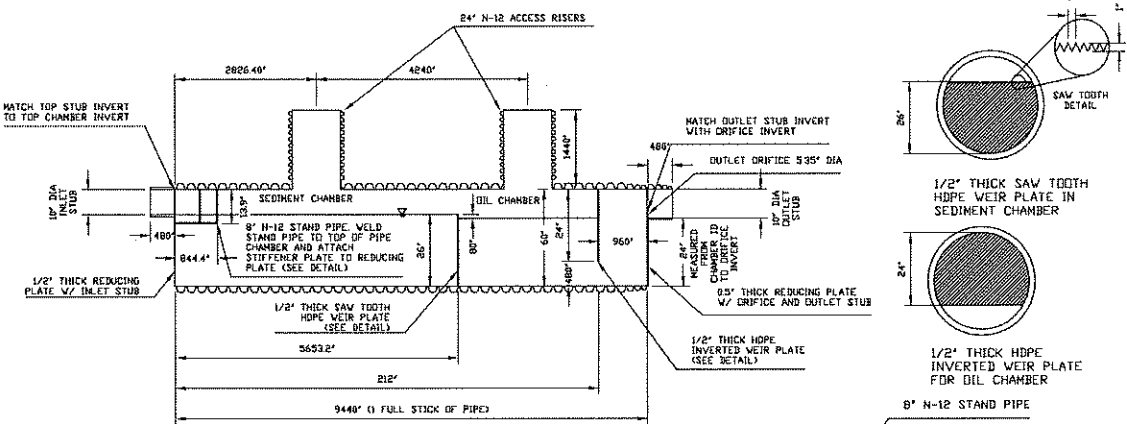


ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE



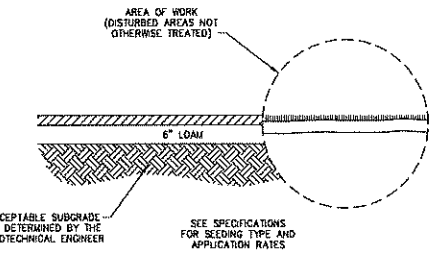
- INSTALLATION PROCEDURE**
1. MEASURE THE DISTANCE BETWEEN THE LASER POINT AND THE TRENCH BOTTOM.
 2. COMPARE THAT DISTANCE WITH THE DISTANCE BETWEEN THE TARGET POINT AND THE BOTTOM OF THE DAM. DIG A TRENCH APPROXIMATELY THREE FEET FROM THE PRECEDING BELL TO ACCOMMODATE THE BOTTOM OF THE DAM.
 3. WITH THE NECK OF THE DAM FACING UPSTREAM, FIT THE DAM INTO THE HAND DIG TRENCH.
 4. CENTER THE DAM OPENING INTO THE CORRECT POSITION USING THE LASER AND SHARP EDGES INTO THE TRENCH SIDE WALLS. THE DAM OPENING MUST BE LOCATED BEFORE BACKFILLING BEGINS.
 5. PLACE BEDDING MATERIAL ON BOTH SIDES OF DAM.
 6. SLIDE THE FLEXIBLE COUPLING SUPPLIED, OVER THE PIPE TO BE INSTALLED. SLIDE THE PIPE THROUGH THE DAM OPENING AND BELL AS USUAL. SLIDE THE FLEXIBLE COUPLING OVER THE DAM NECK AND TIGHTEN.
 7. SET THE PIPE TO LINE AND GRADE AND BACKFILL.

PIPE SIZE	DIMENSION 'A'
4"	9.50
6"	9.50
8"	9.50
10"	13.50
12"	13.50
15"	17.65
16"	17.65
18"	21.50
21"	25.00
24"	28.00



- NOTES:**
1. ALL DIMENSIONS ARE NOMINAL.
 2. ALL FITTING CONNECTIONS WILL BE MADE USING A STANDARD BELL/BELL OR SPLIT COUPLER.
 3. WATER QUALITY UNIT SHALL BE ADS MODEL 3620W000 (OR APPROVED EQUAL).

WATER QUALITY UNIT
NOT TO SCALE



LOAM AND SEED DETAIL
NOT TO SCALE

RIPLEY'S DAM
NOT TO SCALE

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NOTE
THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE WATER QUALITY UNIT TO THE ENGINEER FOR REVIEW AND APPROVAL.

1	5/3/18	ADDRESS TOWN COMMENTS/GENERAL REVISIONS	TEZ
No.	DATE	REVISION	BY

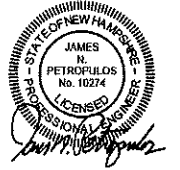
DETAIL SHEET - GENERAL
(MAP 170, LOT 34)
PROPOSED INDUSTRIAL BUILDING
24 CONSTITUTION DRIVE
HUDSON, NEW HAMPSHIRE

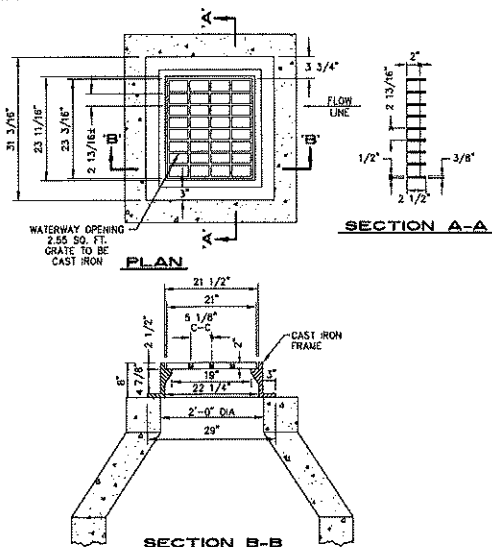
PREPARED FOR/RECORD OWNER:
PRINCECAPE REALTY, LLC
33 CONSTITUTION DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 595-1857

SCALE AS SHOWN
2 APRIL 2018

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street 131 Middlesex Turnpike
Nashua, NH 03062 Burlington, MA 01803
(603) 883-2037 www.hayner-swanson.com

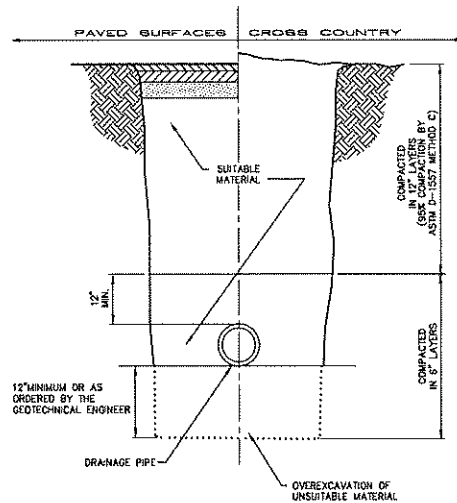
FIELD BOOK: 1092	DRAWING NAME: 4857-17-DET1	4857	6 OF 13
DRAWING LOCATION: G:\4856\DWG\4857-17		File Number	Sheet





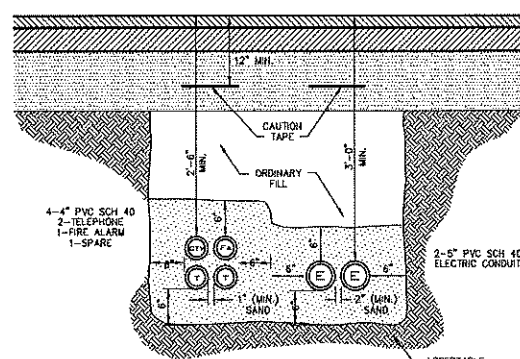
**CATCH BASIN - TYPE B
FRAME AND COVER DETAIL**

(N=NOT STANDARD)
NOT TO SCALE



**TYPICAL DRAINAGE
TRENCH SECTION**

NOT TO SCALE

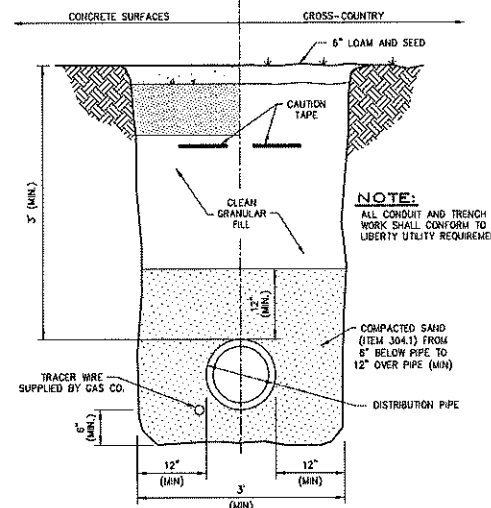


NOTES:

1. A SELECTED SAND BACKFILL SHALL CONSIST OF A FINE GRANULAR MATERIAL OF WHICH 100% SHALL PASS THROUGH A 1/4\"/>

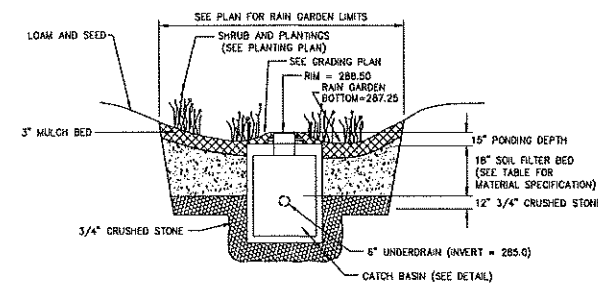
TYPICAL UTILITY TRENCH

NOT TO SCALE



GAS MAIN TRENCH SECTION

NOT TO SCALE



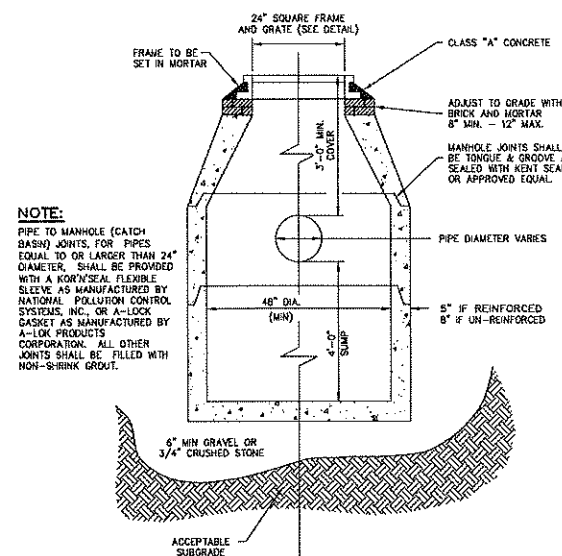
RAIN GARDEN MATERIAL TABLE FOR BIORETENTION FILTER MEDIA			
COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL	
		SEVE No.	PERCENT BY WEIGHT PASSING STANDARD SEIVE
FILTER MEDIA OPTION A			
ASTM C-33 CONCRETE SAND	60 TO 65		
LOAMY SAND TOPSOIL, WITH FINES AS INDICATED	20 TO 30	200	15 TO 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5
FILTER MEDIA OPTION B			
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5
	70 TO 80	10	65 TO 100
LOAMY COARSE SAND		20	70 TO 100
		60	15 TO 40
		200	8 TO 15

RAIN GARDEN NOTES

1. DO NOT PLACE THE RAIN GARDENS INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
2. DO NOT DISCHARGE SEDIMENT-LOADED WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE RAIN GARDEN DURING ANY STAGE OF CONSTRUCTION.
3. DO NOT EXPOSE SOIL SURFACE WITH CONSTRUCTION EQUIPMENT, IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
4. IF FINE MATERIAL THAT WOULD PERCH THE WATER TABLE IS ENCOUNTERED DURING THE CONSTRUCTION OF RAIN GARDEN, THE UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH COARSE GRAVEL (N=NOT ITEM NO. 304.2).

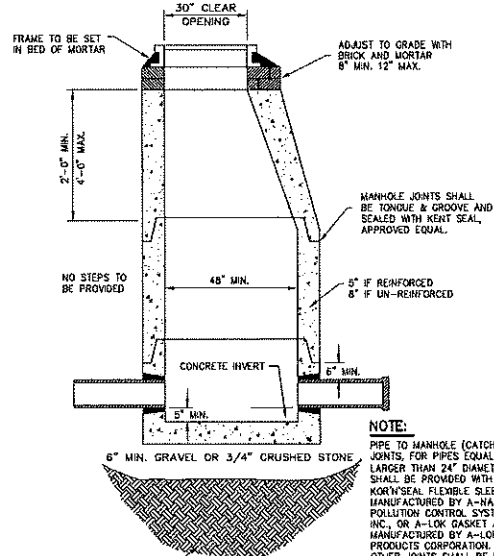
TYPICAL SECTION-RAIN GARDEN

NOT TO SCALE



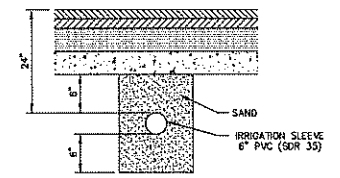
CATCH BASIN DETAIL

NOT TO SCALE



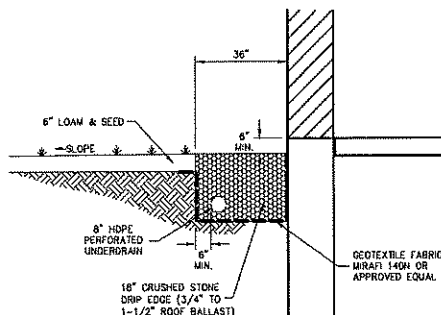
DRAIN MANHOLE DETAIL

NOT TO SCALE



**IRRIGATION
SLEEVE DETAIL**

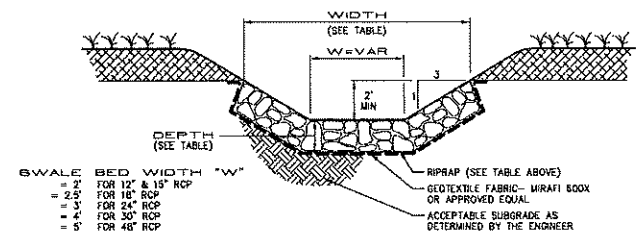
NOT TO SCALE



**CRUSHED STONE
DRIP EDGE DETAIL**

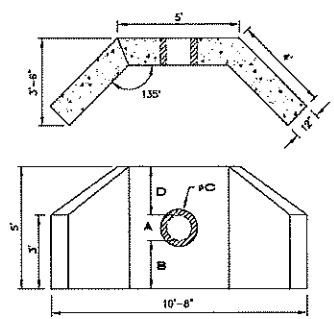
NOT TO SCALE

RIPRAP OUTLET PROTECTION SPECIFICATION TABLE					
LOCATION	WIDTH (FT)	LENGTH (FT)	DEPTH (FT)	d 50 (IN)	MATERIAL
HEADWALL 2	18	30	1.5	6	ITEM 585.1 RIPRAP A



**RIPRAP DETAIL AT
HEADWALL/OUTLET DETAIL**

NOT TO SCALE



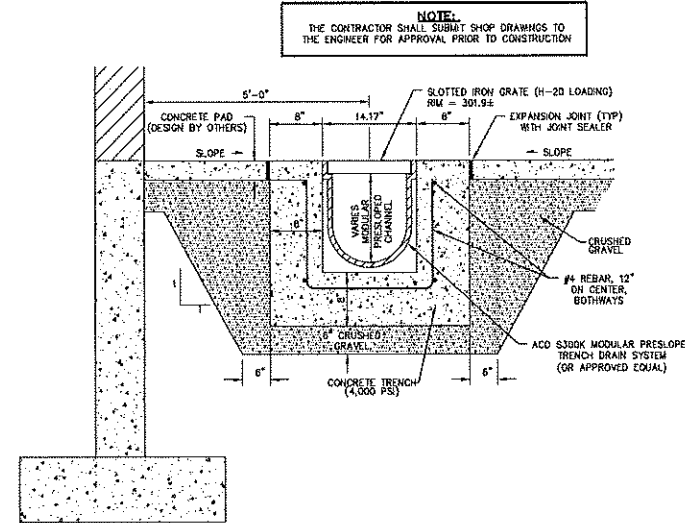
PRECAST WINGED HEADWALL DETAIL

NOT TO SCALE

GENERAL NOTES

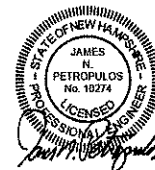
1. STEEL REINFORCEMENT CONFORMS TO LATEST ASTM SPECIFICATIONS: ASTM-A618 GRADE 60 BLACK DEFORMED BARS.
2. CONCRETE: Fc = 4,000 PSI @ 28 DAYS MINIMUM.

DIA. A	B	FC	D	WEIGHT PER SECTION
12"	24"	18"	24"	8,175 LBS
15"	22.5"	22"	22.5"	8,050 LBS
18"	21"	26"	21"	7,900 LBS
24"	18"	34"	18"	7,600 LBS



TRENCH DRAIN DETAIL

NOT TO SCALE



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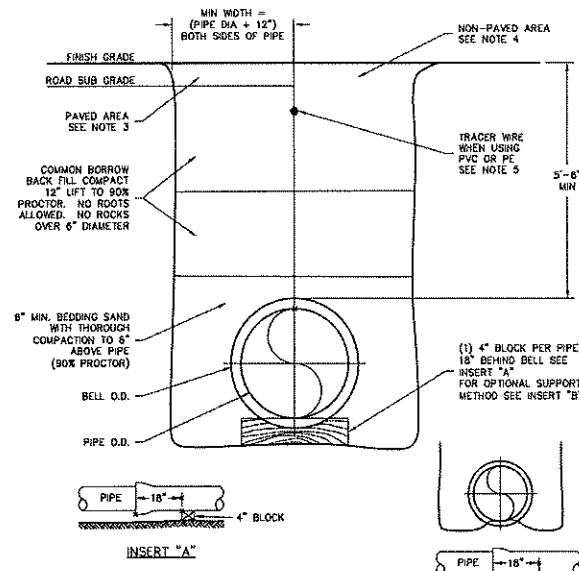
DETAIL SHEET - GENERAL
(MAP 170, LOT 34)
PROPOSED INDUSTRIAL BUILDING
24 CONSTITUTION DRIVE
HUDSON, NEW HAMPSHIRE
PREPARED FOR/RECORD OWNER:
PRINCECAPE REALTY, LLC
33 CONSTITUTION DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 585-1987

SCALE AS SHOWN

2 APRIL 2018

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Nashua, NH 03062
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www.hayner-swanson.com

FIELD BOOK: 1092	DRAWING NAME: 4857-17-DE11	4857	7 OF 13
DRAWING LOCATION: Q:\4858\06\4857-17		FILE NUMBER: 4857	DATE: 4/2/18



TYPICAL TRENCH DETAIL
NOT TO SCALE

MIN WIDTH = (PIPE DIA + 12") BOTH SIDES OF PIPE

FINISH GRADE

ROAD SUB GRADE

PAVED AREA SEE NOTE 3

COMMON BORROW BACK FILL COMPACT 12" LIFT TO 90% PROCTOR. NO ROCKS ALLOWED. NO ROCKS OVER 6" DIAMETER

6" MIN. BEDDING SAND WITH THOROUGH COMPACTION TO 6" ABOVE PIPE (SEE PROCTOR)

BELL O.D.

PIPE O.D.

4" BLOCK

INSERT "A"

TRACER WIRE WHEN USING PVC OR PE SEE NOTE 5

5'-6" MIN

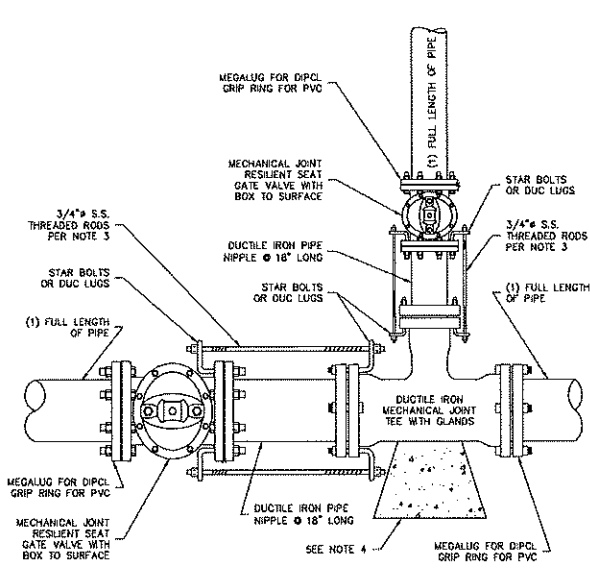
(1) 4" BLOCK PER PIPE, 18" BEHIND BELL SEE INSERT "A" FOR OPTIONAL SUPPORT METHOD SEE INSERT "B"

INSERT "B"

OPTIONAL ONLY WHEN SOIL CONDITIONS ARE EQUAL TO 6" MIN. BEDDING SAND WITH THOROUGH COMPACTION IN PAVED AREAS.

NOTES:

- ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON STANDARD SPECIFICATIONS.
- ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-6" FROM TOP OF PIPE TO FINISH GRADE.
- REQUIREMENTS FOR SUBBASE AND BASE MATERIAL TYPE ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN PAVED AREAS.
- REQUIREMENTS FOR GRAVEL, LOAM AND/OR SEED ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN NON-PAVED AREAS.
- 10 GAUGE TRACER WIRE AS MANUFACTURED BY BMS, DIVISION OF ALBESTAR CORP., AVON, MA OR EQUIVALENT.



TYPICAL TEE INSTALLATION
NOT TO SCALE

MEGALUG FOR DPCL GRIP RING FOR PVC

MECHANICAL JOINT RESILIENT SEAT GATE VALVE WITH BOX TO SURFACE

STAR BOLTS OR DUC LUGS

3/4" S.S. THREADED RODS PER NOTE 3

STAR BOLTS

(1) FULL LENGTH OF PIPE

DUCTILE IRON PIPE NIPPLE Ø 18" LONG

STAR BOLTS OR DUC LUGS

MEGALUG FOR DPCL GRIP RING FOR PVC

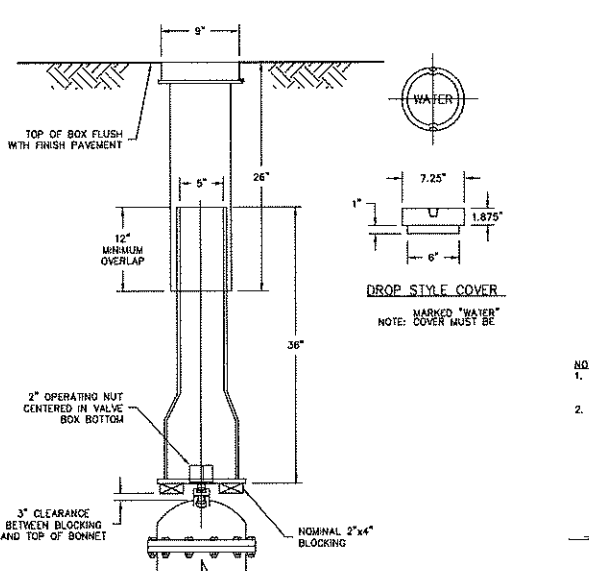
DUCTILE IRON MECHANICAL JOINT TEE WITH GLANDS

SEE NOTE 4

MECHANICAL JOINT RESILIENT SEAT GATE VALVE WITH BOX TO SURFACE

NOTES:

- ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON STANDARD SPECIFICATIONS.
- ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-6" FROM TOP OF PIPE TO FINISH GRADE.
- 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS. 10" FITTING OR SMALLER = (2) 3/4" S.S. RODS & ASSOC. HARDWARE. 12" FITTING OR LARGER = (4) 3/4" S.S. RODS & ASSOC. HARDWARE.
- MIN 3'x3'x3' PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH TOWN OF HUDSON APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN.



TYPICAL VALVE BOX DETAIL
NOT TO SCALE

TOP OF BOX FLUSH WITH FINISH PAVEMENT

12" MINIMUM OVERLAP

2" OPERATING NUT CENTERED IN VALVE BOX BOTTOM

3" CLEARANCE BETWEEN BLOCKING AND TOP OF BONNET

7.25"

1.875"

6"

DROP STYLE COVER

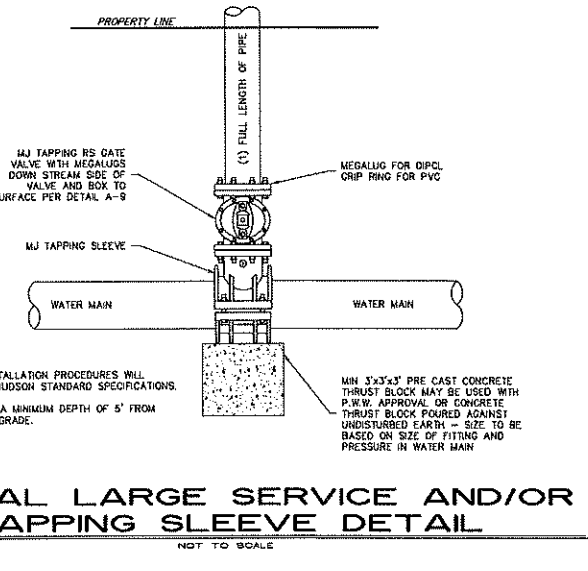
NOTE: COVER MUST BE MARKED "WATER"

36"

NORMAL 2"x4" BLOCKING

NOTES:

- ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON STANDARD SPECIFICATIONS.
- ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-6" FROM TOP OF PIPE TO FINISH GRADE.



TYPICAL LARGE SERVICE AND/OR TAPPING SLEEVE DETAIL
NOT TO SCALE

MJ TAPPING SLEEVE

MJ TAPPING BS GATE VALVE WITH MEGALUGS DOWN STREAM SIDE OF VALVE AND BOX TO SURFACE PER DETAIL A-9

MEGALUG FOR DPCL GRIP RING FOR PVC

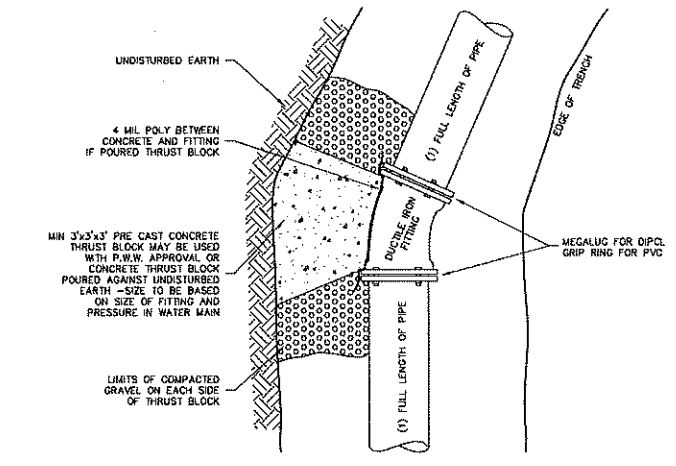
MIN 3'x3'x3' PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH P.W. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN

NOTES:

- ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON STANDARD SPECIFICATIONS.
- ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.

WATER NOTES

- REFERENCE TOWN OF HUDSON STANDARD SPECIFICATIONS FOR INSTALLATION OF ALL WATER LINES.
- ALL SPRINKLER AND DOMESTIC LEADS TO BUILDING SHALL END 5'-0" OUTSIDE THE FACE OF BUILDING WALL, UNLESS NOTED, AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END (FOR OTHERS TO REMOVE AND EXTEND AS NECESSARY).
- THRUST BLOCKS AND MEGALUG RESTRAINTS SHALL BE PROVIDED AT ALL HORIZONTAL BENDS, TEES, AND FIRE HYDRANTS. SEE DETAIL.
- MINIMUM COVER ON ALL WATER LINES IS 5'-6".
- CONTRACTOR SHALL MAINTAIN A 5'-0" HORIZONTAL (UNLESS OTHERWISE NOTED) AND 12" VERTICAL SEPARATION BETWEEN WATER SERVICE AND UTILITIES OTHER THAN SANITARY SEWER.
- INSPECTIONS ON WATER SERVICE INSTALLATION DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE SITE CONTRACTOR AND SHALL BE COORDINATED WITH TOWN OF HUDSON, AND ALL INSPECTION FEES SHALL BE PAID BY THE CONTRACTOR.
- CONTRACTOR SHALL HAVE BACTERIOLOGICAL AND PRESSURE TESTING PERFORMED. CONTRACTOR SHALL GIVE TOWN OF HUDSON A COPY OF RESULTS. TOWN OF HUDSON SHALL BE ON-SITE TO WITNESS TEST.
- ALL PIPE, VALVES, MISCELLANEOUS MATERIALS AND INSTALLATION SHALL CONFORM WITH TOWN OF HUDSON STANDARD SPECIFICATIONS.
- ALL FIRE HYDRANTS, VALVES, FITTINGS, PIPES, ETC. SHALL BE IN ACCORDANCE WITH TOWN OF HUDSON STANDARD REQUIREMENTS.
- METALLIC TAPE OR DETECTOR WIRE SHALL BE INSTALLED IN THE SAME TRENCH WITH ALL NONMETALLIC PIPE SUCH THAT THE PIPE MAY BE LOCATED WITH ELECTRONIC LOCATING EQUIPMENT. DETECTOR WIRE OR METALLIC TAPE SHALL BE INSTALLED APPROXIMATELY 12" TO 18" BELOW GRADE DIRECTLY ABOVE THE TOP OF THE PIPE. DETECTOR WIRE SHALL BE 14 GAUGE SOLID COPPER, SIMPLEX BNS000, OR EQUAL. METALLIC TAPE SHALL BE 2" MINIMUM METALLIC TAPE, GRIFFOLM COMPANY, INC. TERATAPE OR EQUAL.
- CONTRACTOR SHALL ENSURE ALL WATER VALVES ARE IN A FULLY-OPEN POSITION UPON COMPLETION OF PROJECT.
- CONTRACTOR SHALL COORDINATE ALL WATER INTERRUPTIONS WITH THE TOWN OF HUDSON STANDARD AND AFFECTED PROPERTY OWNERS.



TYPICAL THRUST BLOCK BEHIND FITTINGS INSTALLATION
NOT TO SCALE

UNDISTURBED EARTH

4 MIL POLY BETWEEN CONCRETE AND FITTING IF POURED THRUST BLOCK

MIN 3'x3'x3' PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH P.W. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN

MEGALUG FOR DPCL GRIP RING FOR PVC

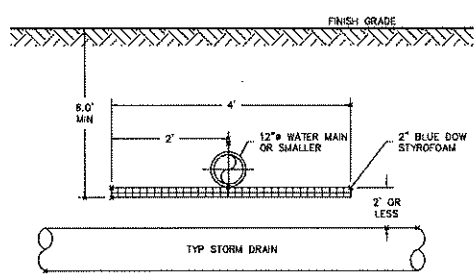
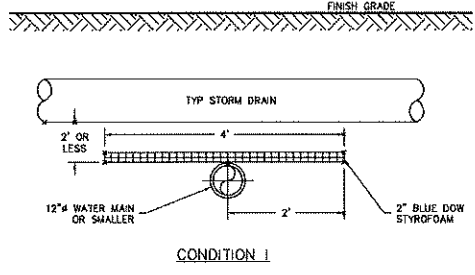
DUCTILE IRON FITTING

(1) FULL LENGTH OF PIPE

LIMITS OF COMPACTED GRAVEL ON EACH SIDE OF THRUST BLOCK

NOTES:

- ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON STANDARD SPECIFICATIONS.
- ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-6" FROM TOP OF PIPE TO FINISH GRADE.
- 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS. 10" FITTING OR SMALLER = (2) 3/4" S.S. RODS & ASSOC. HARDWARE. 12" FITTING OR LARGER = (4) 3/4" S.S. RODS & ASSOC. HARDWARE.
- MIN 3'x3'x3' PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH P.W. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN.



STORM DRAIN/WATER MAIN INTERSECTING RUNS-ELEV. VIEW
NOT TO SCALE

FINISH GRADE

TYP STORM DRAIN

2" OR LESS

12" WATER MAIN OR SMALLER

2" BLUE DOWEL STYROFOAM

CONDITION I

FINISH GRADE

TYP STORM DRAIN

2" OR LESS

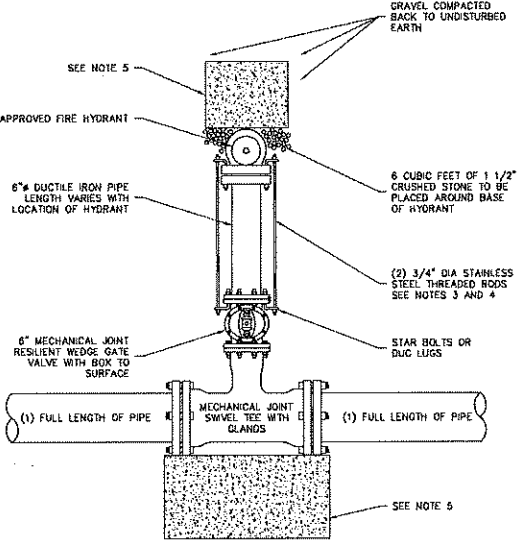
12" WATER MAIN OR SMALLER

2" BLUE DOWEL STYROFOAM

CONDITION II

NOTES:

- THE TOWN OF HUDSON RESERVES THE RIGHT TO MODIFY INSULATION REQUIREMENTS AS NECESSARY BASED ON FIELD CONDITIONS, ETC.
- THE LENGTH OR WIDTH OF INSULATION SHALL EXTEND 1 STORM DRAIN PIPE DIAMETER BEYOND THE EDGE OF STORM DRAIN PIPE IN EACH DIRECTION OR A MINIMUM OF 2' BEYOND THE CENTERLINE OF THE STORM DRAIN PIPE, WHICHEVER IS GREATER.
- ALL BUTT JOINT SEAMS TO BE OVERLAPPED WITH A 1' PIECE OF INSULATION CENTERED OVER SEAM.



TYPICAL HYDRANT INSTALLATION
NOT TO SCALE

GRAVEL COMPACTED BACK TO UNDISTURBED EARTH

APPROVED FIRE HYDRANT

6" DUCTILE IRON PIPE LENGTH VARIES WITH LOCATION OF HYDRANT

6 CUBIC FEET OF 1 1/2" CRUSHED STONE TO BE PLACED AROUND BASE OF HYDRANT

(2) 3/4" DIA STAINLESS STEEL THREADED RODS SEE NOTES 3 AND 4

STAR BOLTS OR DUC LUGS

6" MECHANICAL JOINT RESILIENT WEDGE GATE VALVE WITH BOX TO SURFACE

(1) FULL LENGTH OF PIPE

MECHANICAL JOINT SWIVEL TEE WITH GLANDS

(1) FULL LENGTH OF PIPE

SEE NOTE 5

NOTES:

- ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON STANDARD SPECIFICATIONS.
- ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-6" FROM TOP OF PIPE TO FINISH GRADE.
- 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS. 10" FITTING OR SMALLER = (2) 3/4" S.S. RODS & ASSOC. HARDWARE. 12" FITTING OR LARGER = (4) 3/4" S.S. RODS & ASSOC. HARDWARE.
- WHEN DISTANCE FROM WATER MAIN TO HYDRANT IS MORE THAN 10' SUBSTITUTE MEGALUGS (OR GRIP RINGS) IN LIEU OF THREADED RODS.
- MIN 3'x3'x3' PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH TOWN OF HUDSON APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

SIGNATURE DATE

SIGNATURE DATE

SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL, FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.



DETAIL SHEET - WATER
(MAP 170, LOT 34)

PROPOSED INDUSTRIAL BUILDING
24 CONSTITUTION DRIVE
HUDSON, NEW HAMPSHIRE

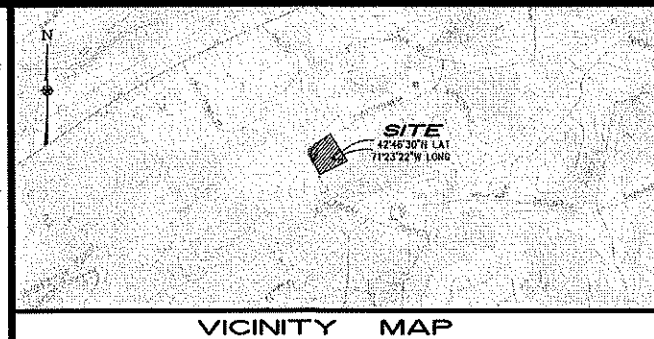
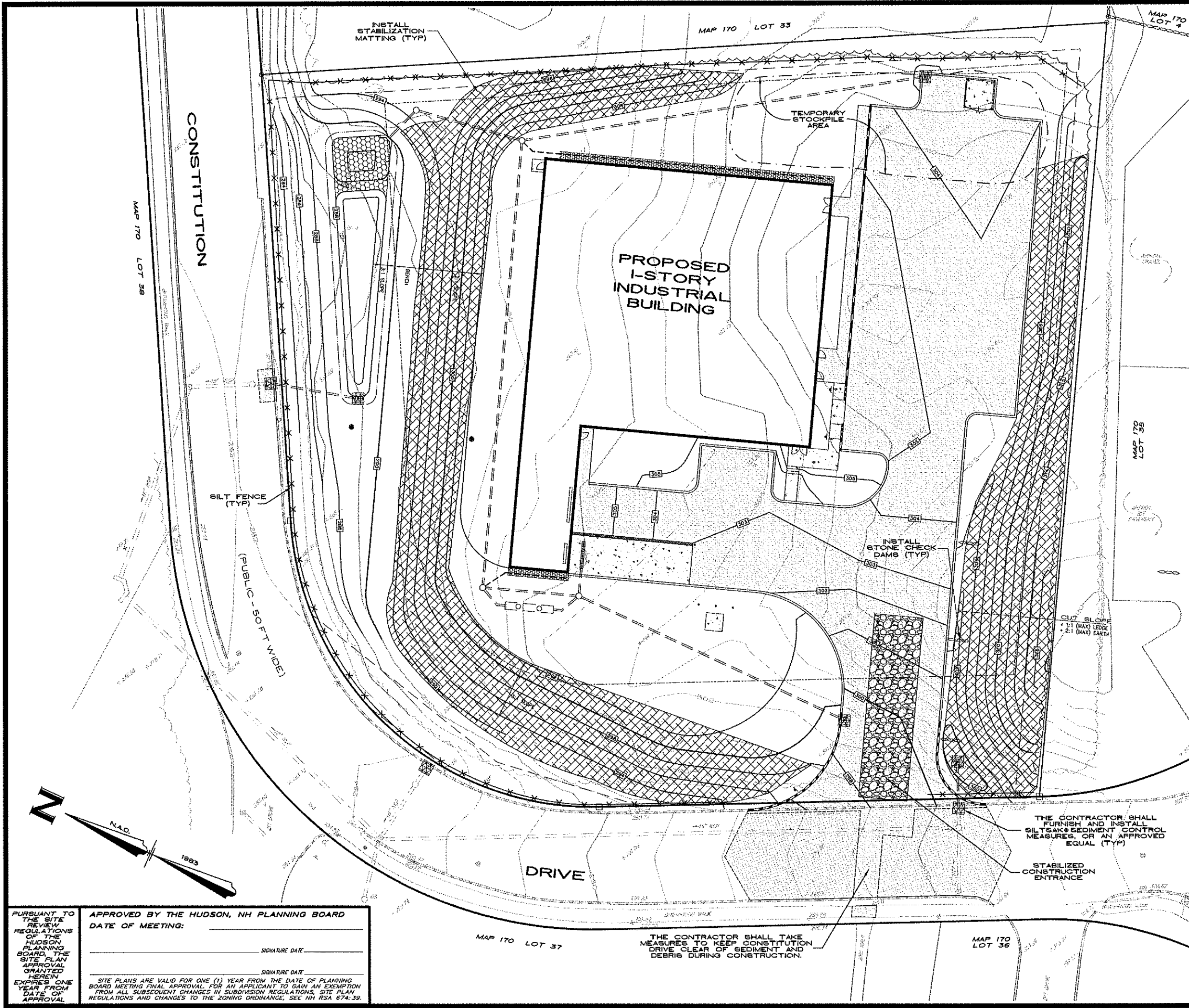
PREPARED FOR/RECORD OWNER:
PRINCECAPE REALTY, LLC
33 CONSTITUTION DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 595-1957

SCALE AS SHOWN

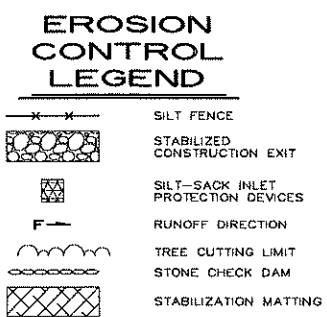
2 APRIL 2018

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street 131 Middlesex Turnpike
Nashua, NH 03062 Burlington, MA 01803
(603) 883-2037 www.hayner-swanson.com

FIELD BOOK: 1092	DRAWING NAME: 4857-17-DET1	4857	8 OF 13
DRAWING LOCATION: 0:\4856\DWG\4857-17		File Number	Sheet

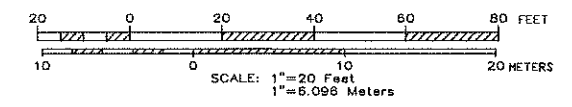


- GENERAL NOTES:**
1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH THE PROJECT SHALL OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND SHALL COMPLY WITH THE TERMS OF SWPPP AND NPDES PERMIT.
 2. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY SITE CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
 3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
 4. STOCKPILE AREAS SHALL BE SURROUNDED BY SILT FENCE AND RE-SEEDED IF THEY ARE LEFT UNTOUCHED FOR MORE THAN TEN (10) DAYS.
 5. ALL MEASURES STATED ON THIS EROSION CONTROL PLAN, AND IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETE PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT.
 6. SILT FENCE SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM SILT FENCES WHEN IT REACHED ONE-QUARTER THE HEIGHT OF THE SILT FENCE.
 7. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
 8. ALL SEEDING AREAS SHALL BE CHECK REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEED AS NEEDED.
 9. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXIT AS CONDITIONS DEMAND.
 10. THE TOWN OF HUDSON RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION IF NEEDED.



No.	DATE	REVISION	BY
1	5/3/18	ADDRESS TOWN COMMENTS/GENERAL REVISIONS	TEZ

EROSION CONTROL PLAN
(MAP 170, LOT 34)
PROPOSED INDUSTRIAL BUILDING
24 CONSTITUTION DRIVE
HUDSON, NEW HAMPSHIRE
PREPARED FOR/RECORD OWNER:
PRINCECAPE REALTY, LLC
33 CONSTITUTION DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 595-1987



2 APRIL 2018

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street 131 Middlesex Turnpike
Nashua, NH 03062 Burlington, MA 01803
(603) 883-2057 (781) 203-1501
www.hayner-swanson.com

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

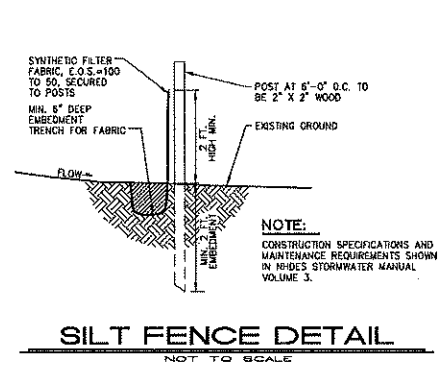
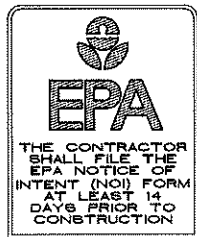
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE DATE: _____
SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL FOR AN APPLICANT TO OBTAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.

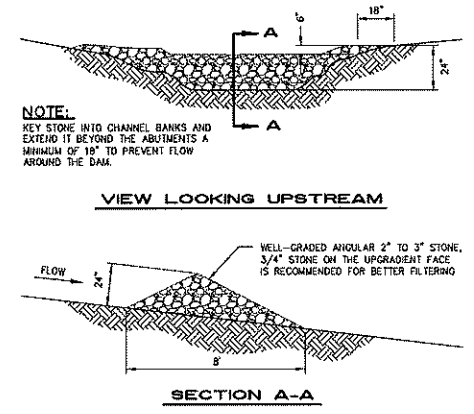
THE CONTRACTOR SHALL TAKE MEASURES TO KEEP CONSTITUTION DRIVE CLEAR OF SEDIMENT AND DEBRIS DURING CONSTRUCTION.

THE CONTRACTOR SHALL FURNISH AND INSTALL SILT-SACK & SEDIMENT CONTROL MEASURES OR AN APPROVED EQUAL (TYP)

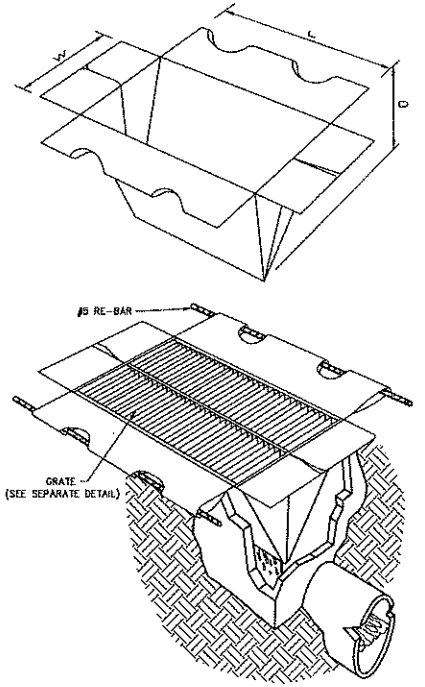
STABILIZED CONSTRUCTION ENTRANCE



SILT FENCE DETAIL
NOT TO SCALE



TEMPORARY STONE CHECK DAM TYPICAL SECTION
NOT TO SCALE



SILTSACK DETAIL
NOT TO SCALE

SILTSACK NOTES

- THE SILTSACK SHALL BE MANUFACTURED FROM WOVEN POLYPROPYLENE AND SEWN BY A DOUBLE NEEDLE MACHINE, USING A HIGH STRENGTH NYLON THREAD.
- THE SILTSACK SEAM SHALL HAVE A CERTIFIED AVERAGE WIDE WIDTH STRENGTH PER ASTM D-4884 STANDARD AS FOLLOWS:

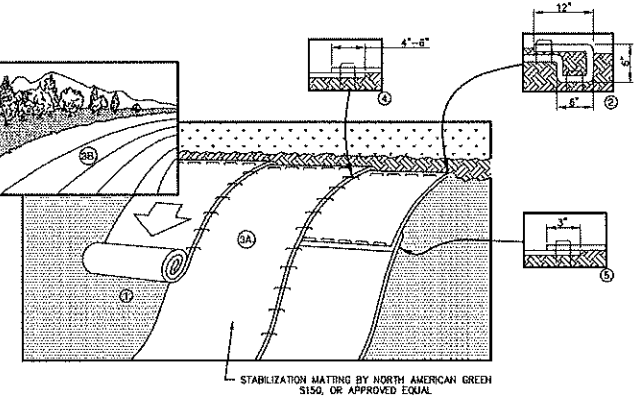
SILTSACK STYLE	TEST METHOD	TEST RESULT
REGULAR FLOW	ASTM D-4884	155.0 LBS/IN
IS-FLOW	ASTM D-4884	114.0 LBS/IN

- THE SILTSACK WILL BE MANUFACTURED TO FIT THE OPENING OF THE CATCH BASIN OR DROP INLET. THE SILTSACK WILL HAVE THE FOLLOWING FEATURES: TWO DUMP STRAPS ATTACHED TO THE BOTTOM TO FACILITATE THE EMPTYING OF THE SILTSACK. THE SILTSACK SHALL HAVE LIFTING LOOPS AS AN INTEGRAL PART OF THE SYSTEM TO BE USED TO LIFT THE SILTSACK FROM THE BASIN. THE SILTSACK SHALL HAVE A RESTRAINT CORD APPROXIMATELY HALFWAY UP THE BACK TO KEEP THE BAGS AWAY FROM THE CATCH BASIN WALLS. THIS YELLOW CORD IS ALSO A VISIBLE MEANS OF INDICATING WHEN THE BAG SHOULD BE EMPTIED, CLEANED, AND PLACED BACK INTO THE BASIN.
- THE GEOTEXTILE FABRIC SHALL BE WOVEN POLYPROPYLENE FABRIC WITH THE FOLLOWING PROPERTIES:

PROPERTY	TEST METHOD	TEST RESULT
GRAB TENSILE	ASTM D-4832	300 LBS
GRAB ELONGATION	ASTM D-4831	20%
PUNCTURE	ASTM D-4833	120 LBS
MILLEN BURST	ASTM D-3788	600 PSI
TRAPEZOID TEAR	ASTM D-4833	120 LBS
UV RESISTANCE	ASTM D-4355	80%
APPARENT OPENING	ASTM D-4761	46 US SIEVE
FLOW RATE	ASTM D-4461	200 GAL/MIN/FT ²
PERMEABILITY	ASTM D-4461	0.85 SEC

OR SILTSACK IS-FLOW

PROPERTY	TEST METHOD	TEST RESULT
GRAB TENSILE	ASTM D-4832	260 LBS
GRAB ELONGATION	ASTM D-4831	20%
PUNCTURE	ASTM D-4833	135 LBS
MILLEN BURST	ASTM D-3788	430 PSI
TRAPEZOID TEAR	ASTM D-4833	45 LBS
UV RESISTANCE	ASTM D-4355	90%
APPARENT OPENING	ASTM D-4761	20 US SIEVE
FLOW RATE	ASTM D-4461	200 GAL/MIN/FT ²
PERMEABILITY	ASTM D-4461	1.3 SEC



- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDING BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 - ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURER'S RECOMMENDATION.
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP, TO ENSURE PROPER SEAM ALIGNMENT. PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
 - CONSECUTIVE BLANKETS SPOLED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
 - PLACE STAPLES/STAKES PER MANUFACTURER RECOMMENDATION FOR THE APPROPRIATE SOIL BEING APPLIED.
- NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

STABILIZATION MATTING DETAIL
NOT TO SCALE

GENERAL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES STORMWATER MANUAL, VOLUME 1-3, LATEST EDITION.
 - THE WORK AREA SHALL BE GRADED, SHAPED, AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA. SILT FENCES, STRAW BALES AND/OR DETENTION BASINS WILL BE NECESSARY TO ACCOMPLISH THIS END.
 - STRIPPED TOPSOIL SHALL BE STOCKPILED, WITHOUT COMPACTION, AND STABILIZED AGAINST EROSION IN ACCORDANCE WITH "TEMPORARY STABILIZATION OF DISTURBED AREAS" AS OUTLINED IN NOTE NO. 4.
 - TEMPORARY STABILIZATION OF DISTURBED AREAS:
SEED BED PREPARATION: 10-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS PER 1,000 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 10 LBS PER 1,000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE FILLED TO PREPARE FOR SEEDING.
- A. SEED MIXTURE: USE ANY OF THE FOLLOWING:
- | SPECIES | RATE PER 1,000 SF | DEPTH | SEEDING DATES |
|------------------|-------------------|-------|----------------|
| WINTER RYE | 2.5 LBS | 1" | 08/15 TO 09/15 |
| OATS | 2.5 LBS | 1" | 04/15 TO 10/15 |
| ANNUAL RYE GRASS | 1.0 LBS | 0.25" | 08/15 TO 09/15 |
- B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODABLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:
- | TYPE | RATE PER 1,000 SF | USE & COMMENTS |
|--------------------------|---------------------------------------|--|
| STRAW | 70 TO 90 LBS | MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE |
| WOOD CHIPS OR BARK MULCH | 460 TO 620 LBS | USED WITH TREE AND SHRUB PLANTINGS |
| FIBROUS MATTING | AS RECOMMENDED BY MANUFACTURER | MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE. |
| CRUSHED STONE | SPREAD TO GREATER THAN 1/2" THICKNESS | USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED |
- PERMANENT STABILIZATION OF DISTURBED AREAS:
A. ALL ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
B. ALL CUT AND FILL SLOPES SHALL BE SEED/LOADED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
 - AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
C. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
D. OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
 - ALL AREAS SHALL BE STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE.
 - SITE LOCATION:
42° 46' 30" N LATITUDE, 71° 23' 22" W LONGITUDE (PER GOOGLE EARTH)
 - TOTAL AREA OF DISTURBED SOILS: 60,000± SF.
 - REFERENCE IS MADE TO THE LATEST EDITION OF THE FEDERAL REGISTER (30 FR 7857), ENVIRONMENTAL PROTECTION AGENCY NPDES GENERAL PERMITS FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. FOR ADDITIONAL INFORMATION CONTACT (202) 844-6345 OR www.epa.gov/epaospr/npdes/
 - THE ENTIRE CONTENTS OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE RETAINED ON-SITE FOR THE DURATION OF THE CONTRACT AND BE MADE AVAILABLE TO LOCAL, STATE AND FEDERAL CODE ENFORCEMENT PERSONNEL.

CONSTRUCTION SEQUENCE:

- INSTALL SILT FENCING AND CONSTRUCT STABILIZED CONSTRUCTION EXIT AS SHOWN ON THE PLAN.
- CLEAR & GRUB SITE ACCORDING TO PLAN. CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
- PERFORM SITE GRADING OF THE PROPOSED BUILDING AND PAVEMENT AREAS. ALL SIDE SLOPES SHALL BE LOADED AND SEEDED AND MULCHED IMMEDIATELY AFTER BEING CONSTRUCTED.
- BEGIN BUILDING AND PAVEMENT AREA CONSTRUCTION.
- INSTALL SITE UTILITIES IN ACCORDANCE WITH THE PLAN.
- INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE "SILTSACK DETAIL". THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
- PREPARE SITE FOR PAVING.
- AS BUILDING AND PAVEMENT AREAS ARE COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED, NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF 30 DAYS.
- LOAM AND SEED ALL REMAINING DISTURBED AREAS. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER BEING CONSTRUCTED.
- FINAL PAVING OF SITE.
- INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
- SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF DISTURBED AREAS.
- REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

BMP OPERATION AND MAINTENANCE RECOMMENDATIONS

- IN ACCORDANCE WITH SECTION 290-5A(B) OF THE TOWN OF HUDSON CODE, THE FOLLOWING RECOMMENDATIONS ARE TO BE USED AS A GUIDE FOR THE OPERATION AND MAINTENANCE OF THE PERMANENT STORMWATER BEST MANAGEMENT PRACTICES (BMP'S) ASSOCIATED WITH THIS PROJECT.
- PARKING LOT SWEEPING
 - INSPECT THE PARKING LOT AT LEAST SEMI-ANNUALLY FOR THE ACCUMULATION OF SEDIMENT ALONG DRAINAGE FLOW LINES. ADDITIONAL INSPECTIONS RECOMMENDED PARTICULARLY DURING AND AFTER THE WINTER MONTHS IF THE ICE CONDITIONS DURING THE WINTER EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENT OR REPAIR/MAINTENANCE OF THE BOTTOM OF PRACTICE.
 - BASKIN SIDE SLOPES, GRASS SHALL BE MOWED A MINIMUM OF TWICE PER YEAR, GRASS CLIPPINGS AND ACCUMULATED ORGANIC MATTER SHALL BE REMOVED. INVASIVE AND/OR NUISANCE PLANT-LIFE SPECIES SHALL BE REMOVED IF FOUND.
 - STORMWATER MANAGEMENT AREA/RAIN GARDEN
 - THE STORMWATER MANAGEMENT AREA SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE AND REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.

SITE MAINTENANCE/INSPECTION PROGRAM

THE FOLLOWING PROVIDES AN ITEMIZATION OF SPECIFIC SITE MAINTENANCE PRACTICES THAT WILL BE EMPLOYED ON THE SITE TO MINIMIZE POLLUTANT GENERATION AND TRANSPORT FROM THE SITE. THE SITE MAINTENANCE PROGRAM INCLUDES ROUTINE INSPECTIONS, PREVENTATIVE MAINTENANCE, AND "GOOD HOUSEKEEPING" PRACTICES.

ROUTINE INSPECTIONS

- THE CONTRACTOR SHALL INSPECT ALL CONTROL MEASURES AT LEAST ONCE A WEEK AND WITHIN TWELVE (12) HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 5 INCHES. THE INSPECTIONS WILL VERIFY THAT THE STRUCTURAL BMP'S DESCRIBED IN THE PLANS ARE IN GOOD CONDITION AND ARE MINIMIZING EROSION. A MAINTENANCE INSPECTION REPORT WILL BE MADE WITH EACH INSPECTION. COMPLETED INSPECTION FORMS SHALL BE KEPT ON-SITE FOR THE DURATION OF THE PROJECT. FOLLOWING CONSTRUCTION, THE COMPLETED FORMS SHALL BE RETAINED AT THE CONTRACTOR'S OFFICE FOR A MINIMUM OF ONE YEAR.

PREVENTATIVE MAINTENANCE

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT CONTROLS THROUGHOUT THE DURATION OF THIS CONTRACT. MAINTENANCE PRACTICES SHALL INCLUDE, BUT ARE NOT LIMITED TO:
- CLEANING OF CATCH BASINS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY QUARTERLY INSPECTIONS.
 - CLEANING OF SEDIMENT AND DEBRIS FROM STORMWATER MANAGEMENT AREA FOREBAY TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY MONTHLY INSPECTIONS.
 - IMPLEMENTATION OF OTHER MAINTENANCE OR REPAIR ACTIVITIES AS DEEMED NECESSARY BASED UPON WEEKLY INSPECTIONS.
 - REMOVAL OF BUILT UP SEDIMENT ALONG SILT FENCES AND/OR HAY BALE BARRIERS.
 - REMOVAL OF BUILT UP SEDIMENT IN BOTH TEMPORARY AND PERMANENT CONTROLS SUCH AS GRASS SWALES, SEDIMENT FOREBAYS AND RECHARGE/DETENTION BASINS.
 - RECONSTRUCTING THE TEMPORARY GRAVEL CONSTRUCTION EXIT IF NOT WORKING PROPERLY.
 - TREATMENT OF NON-STORM WATER DISCHARGES SUCH AS WATER FROM WARE LINE FLUSHINGS OR GROUNDWATER FROM DEWATERING EXCAVATIONS. SUCH FLOWS SHOULD BE DIRECTED TO A TEMPORARY SEDIMENTATION BASIN OR STORMWATER MANAGEMENT AREA.
 - SWEEP PARKING LOTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION. FREQUENCY WILL VARY SEASONALLY ACCORDING TO SEDIMENT ACCUMULATION ON PAVE SURFACES (E.G., MORE FREQUENT SWEEPING DURING THE WINTER AND SPRING).

GOOD HOUSEKEEPING PRACTICES

- THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM AND WATER RUNOFF. THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THE USE OF THESE PRODUCTS IS MINIMIZED. THE FOLLOWING "GOOD HOUSEKEEPING" PRACTICES SHALL BE FOLLOWED DURING CONSTRUCTION OF THE PROJECT.
 - AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
 - ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
 - PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR MANUFACTURER'S LABELS.
 - WHENEVER POSSIBLE, ALL OF A PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER.
 - MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
 - THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.

SPILL PREVENTION AND CLEANUP PRACTICES

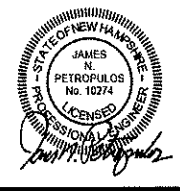
- MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIAL WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

No.	DATE	REVISION	BY
1	5/3/18	ADDRESS TOWN COMMENTS/GENERAL REVISIONS	TEZ

DETAIL SHEET - EROSION CONTROL
(MAP 170, LOT 34)
PROPOSED INDUSTRIAL BUILDING
24 CONSTITUTION DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR RECORD OWNER:
PRINCECAPE REALTY, LLC
33 CONSTITUTION DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 595-1987

SCALE AS SHOWN
2 APRIL 2018

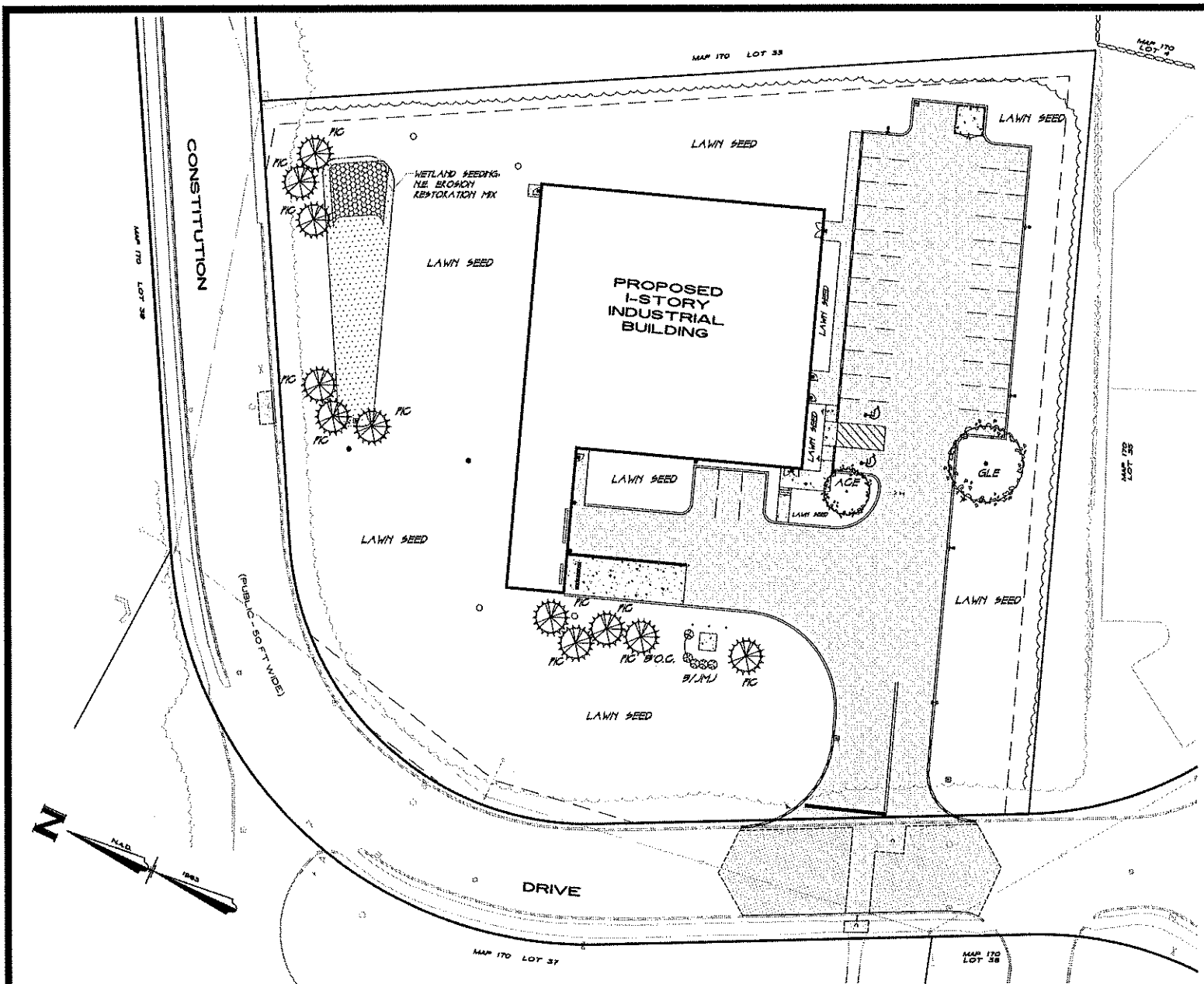


HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street
Nashua, NH 03062
(603) 883-2057
www.hayner-swanson.com

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM THE DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE DATE: _____
SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL, FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBORDINATE SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.



MATERIAL LIST

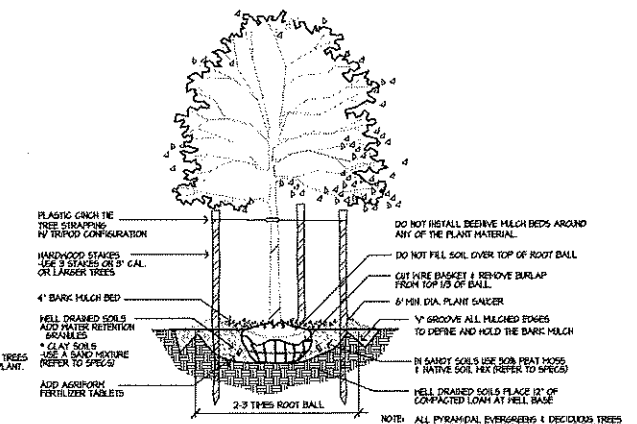
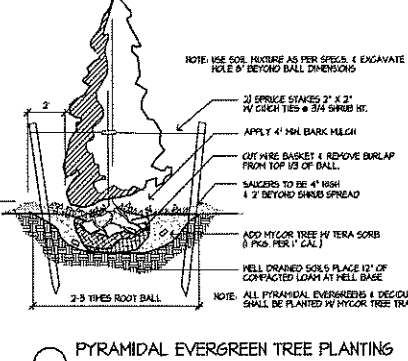
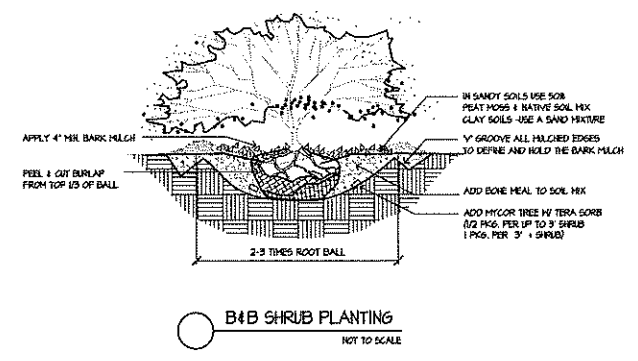
W/AGE	ACER RUBRUM (BROWNALD RED MAPLE) NO SUBSTITUTIONS	28'-0" CAL.
VISLE	GLYSTERIA IE (OXYLITE HONEYLOCUST)	28'-0" CAL.
W/AMU	JANQUA CHRYSAE (OFT JULIF JANER)	28" CAL.
VTC	ROSA OXYMORA (SWEET HAWK)	6'-7" DIA.
MISCELLANEOUS	HYDRANGETHES (RED DOG BLENDED)	ALL SIZES
	SANDY SOIL DROUGHT TOLERANT GRASS SEED MIX BY: WWW.DECOGRASSSEED.COM	
	NEW ENGLAND BEACHY CONTROL/RESTORATION MIX BY THE WETLAND PLANTS AMHERST, MA. 98-99-0000	

GENERAL NOTES TO INSTALLING CONTRACTOR

- LANDSCAPE CONTRACTOR MUST VERIFY PURCHASED MATERIAL LIST WITH BLACKWATER DESIGN (BWD) PRIOR TO PLANTING. BWD IS NOT RESPONSIBLE FOR THE MATERIAL LIST.
- L.C. CANNOT SUBSTITUTE PLANT SPECIES/SIZES OR PLANT SIZES WITHOUT WRITTEN CONSENT OF BLACKWATER DESIGN.
- MATERIALS LISTED AS BALLED AND BURLAPPED CANNOT BE SUBSTITUTED WITH CONTAINERIZED POT.
- UPPER PORTION OF WIRE BASKETS MUST BE CUT OFF OF ALL 2" TREE BALLS AND 2" DIA. CUT.
- IF MATERIAL IS PLANTED THAT HAS NOT BEEN APPROVED BY BWD AND/OR DOES NOT CONFORM TO THE BLD LIST, CONTRACTOR WILL BE DIRECTED TO HAVE MATERIALS GROUND REMOVED AND REPLACED AT THEIR EXPENSE.
- ALL 2" DIA. LINES MUST BE 2" OFF THE OUTER BRANCHES OF SHRUBS, IE SPREADING JANERA, ETC.

General Specifications

- The contractor shall at his expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and accept them with all conditions before making his proposal. He will be held responsible for errors in his proposal resulting from his failure to make such an examination. All bidders shall visit the site and inform themselves of all conditions.
- The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials conforming to the bid items. Under no circumstances may a species "type" be substituted or size changed without written consent of the landscape architect.
- The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, he shall be responsible for their repair and/or replacement at his expense.
- The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstruction providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- If additional labor and/or materials is requested or required, the contractor shall submit a price to the owner. If the owner approves the price he shall prepare a change order for approval and signature. The contractor shall not proceed without a written authorization from the owner for the additional work. If the contractor proceeds with the additional work without this authorization he shall forfeit any claim for additional compensation.
- The landscape architect shall reserve the right to inspect the project work at any time deemed necessary to insure that the specifications and plans and any other contract documents are being followed.
- The L.A. shall have the right to reject any plant on-site based upon condition, size, or incorrect species or hybrid. L.A. must be contacted prior to install to inspect materials delivered to the site, and to insure that soil amendments, bark mulch, root ball, etc. are to the written specifications.
- All seeded areas shall receive a minimum 6" topsoil blanket (by site contractor) with preparation, raking and general clean up prior to application. Operations shall include a pre-emergence type herbicide, 11-28-12 granular fertilizer @ 10 lbs/1000 sq. ft. and post-emergence herbicide @ 25 lbs. 11000 power rated into the top 2" of soil prior to hydro-seeding. Ratios & application rates may change based upon the required soil analysis.
- Contractor is responsible for establishing a thick, weed free lawn. Seed shall be spread @ 45#/1000. Lawn germination shall be 85% free of noxious weeds for acceptance. Define distances in seed mixes (if applicable) with irrigation flagging until 2nd mowing. Site review by LA is required.
- Review of the installed irrigation system by the designer is required prior to release of final payment.
- Hydroseeding operations shall be a one pass process with a paper fiber mulch; a tackifier shall be applied on all slopes greater than 3:1. Erosion Drainage mat shall be applied to all 2:1 slopes and drainage swales per plan.
- Contractor shall maintain, from acceptance date, the lawn areas through the first mowing. Contractor is not responsible for the first mowing.
- All plant materials shall be installed in accordance with A.L.C.C. Trees and shrubs shall have appropriate soil mixtures, fertilizer and soil retention granules.
- If the soil conditions are extremely sandy, all trees shall have a 6" layer of compacted topsoil (fertilized with Landscape Architect) placed in the base of the plant pit as a moisture retention layer. The plant pit shall be filled with soil excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec #22.
- Landscape architect shall have the right to reject and have ground removed any plant material not of proper size or of weak quality, i.e. thin, no lower branching, etc. Contractor must submit shipping lists (bill of lading) for verification, prior to installation.
- All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractor's expense, with same warranty requirements as the original. Warranty does not cover loss due to mechanical damage, i.e. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.
- Plant beds and saucers vary in dia. (refer to drawing). Trees and shrubs shall receive a 6" (fertilized) covering of pinebark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6" dia. saucer (top), evergreen trees shall have a saucer 2" min. beyond it's outer branches. All edges shall have a "V" groove.
- All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- If root base is encountered in any plant bed areas, i.e. parking islands, it shall be removed and amended soil installed per drawings and specifications.
- Soil planting mixture shall be a 60%-10% organic topsoil, amended with 10% weed seed, 10% N-P-K manure, & 20% P-K; peat moss or incorporate a chelated compost material. If planting in sand, gravel or other well drained soils, a 50% peat moss to excavated soil. Other soil amendments shall include: Agriflour tablets, Hydro-Gel or equal, and Roots growth enhancer to all trees and shrubs listed, per manufacturer's specifications. All plant material pits will receive a min. 20% N-P-K in volume mix of a compost soil amendment. Submittal required. "Root" STEP 1 can be substituted for the individual supplements. Refer per manufacturer's specs.
- Landscape contractor shall not be responsible for topsoil spreading but shall coordinate with the site contractor adherence to the mound grades, plant bed soil depths and soil type per drawing & spec. Landscape contractor shall power rake-out for seed.
- Landscape contractor shall provide a soil analysis of the topsoil planting mixture. Analysis to show soil classification (min. sandy loam) and nutrients.
- Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be stored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface dries out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- Plan distances, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- Installer shall notify landscape architect prior to planting, to review plant locations and bedline configurations. If contractor installs without the placement approval of the L.A., said architect shall have the right to relocate any installed plants at the contractor's expense.
- Installer shall notify landscape architect prior to plant installation to review all materials. Any plants of poor condition, improper size, or species will be rejected.
- Upon one year review, contractor shall straighten any trees that have shifted. Any weak or bare spots in lawn shall be reseeded.
- All bedlines shall have a deep "V" groove to define lawn to mulch edge. No "beehive" mounding of mulch is allowed, also keep mulch away from base of perennials.
- Do not plant materials too close to the edge of bedlines. Refer to drawings for center of plant to bedline. At a minimum no outer branching of a shrub or perennial shall be closer than two feet from the bedline. If the as-built does not comply contractor shall adjust the plant location or bedline at his expense.
- Seed mixes include: Sandy Soil Lawn Mix by: dcoincreeksseed.com; New England Wetland Plants, Amherst, MA. refer to planting plan for designations.
- Any items not completed to the specifications will be required at contractor's expense prior to final approvals. Contractor is to bid the work according to the specifications and not to what they may do under their standard practices. Special attention will be paid to soils, amendments, guy stakes, bedlines & saucer configurations, seed mixtures, etc.
- Certain designated foundation edging is road ballast (washed rounds, non-crushed, natural). Size of stone is a range of 3/4"-1.0" dia. placed to a depth of 3", upon placement apply a coating of granular Preen (pre-emergent).
- Any questions concerning this drawing shall be directed to Joseph Hochstein aka Blackwater Design, 88 Frost Lane, Webster, NH 03092, 603-448-2641.



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APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE DATE: _____
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SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.

1	5/3/18	ADDRESS TOWN COMMENTS/GENERAL REVISIONS	TEZ
No.	DATE	REVISION	BY

LANDSCAPE PLAN
(MAP 170, LOT 34)
PROPOSED INDUSTRIAL BUILDING
24 CONSTITUTION DRIVE
HUDSON, NEW HAMPSHIRE

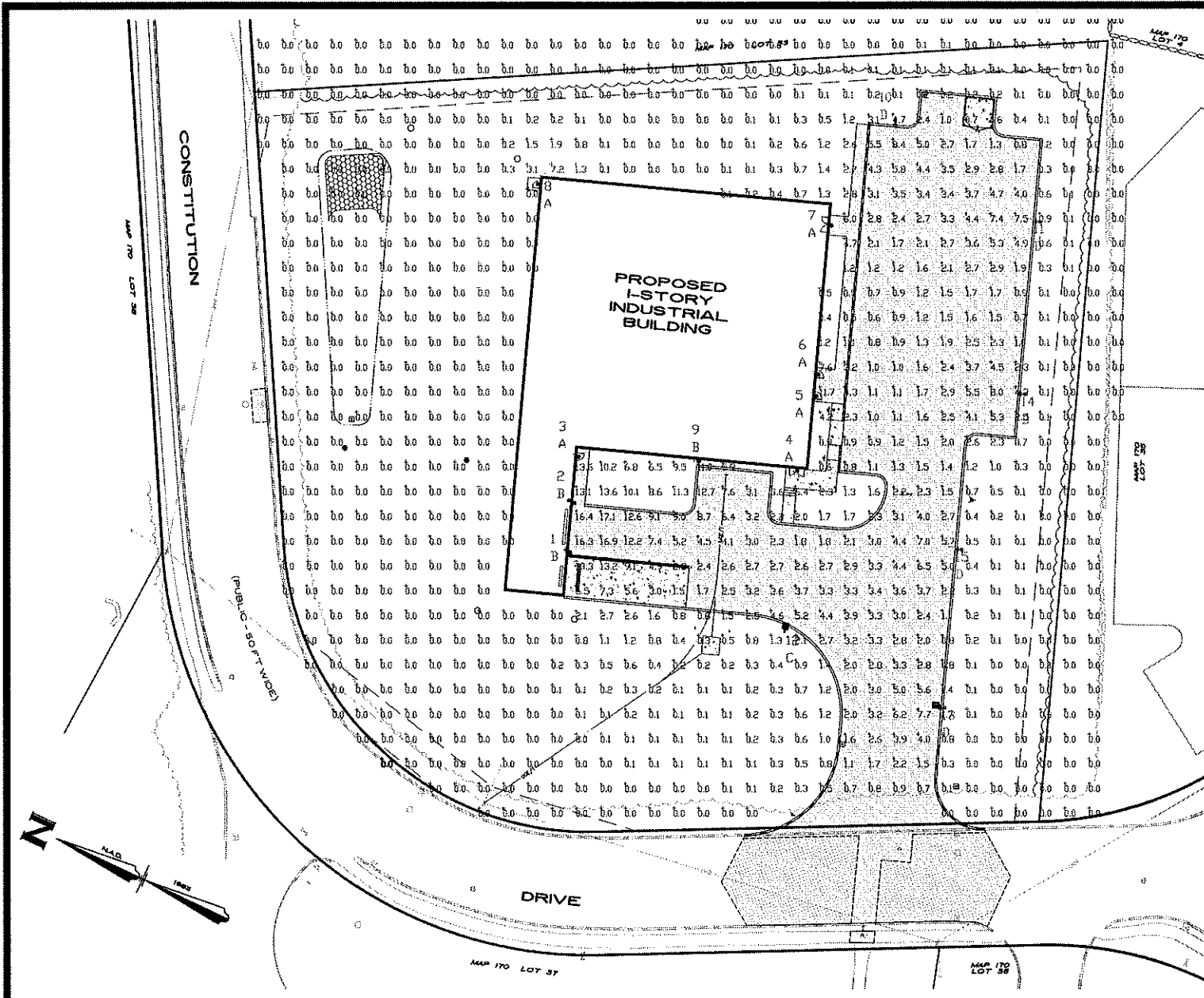
PREPARED FOR/RECORD OWNER:
PRINCECAPE REALTY, LLC
33 CONSTITUTION DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 595-1987

30 0 30 60 90 120 FEET
15 0 15 30 METERS
SCALE: 1"=30 Feet
1"=9.144 Meters

2 APRIL 2018

PREPARED BY:
BLACKWATER DESIGN
PHONE (603) 648-6500 FAX (603) 648-6506
Land Planning - Landscape Architecture
85 Frost Lane - Webster, NH 03093

FIELD BOOK: 1092	DRAWING NAME: 4857-17-1521	4857	12 OF 13
DRAWING LOCATION: G:\4856\DWG\4857-17		File Number	Sheet



SLIM12N

Dimensions: 8.5" (216mm) x 2.75" (70mm)

Driver Info		LED Info	
Type:	Constant Current	Watts:	12W
120V:	0.15A	Color Temp:	4000K
208V:	0.08A	Color Accuracy:	72 CRI
240V:	0.07A	Life Expectancy:	100000
277V:	0.05A	Lumens:	1832
Input Watts:	16W	Efficiency:	152 LPW
Efficiency:	76%		

ALED3T78N

Dimensions: 8.25" (210mm) x 1.75" (44mm)

Driver Info		LED Info	
Type:	Constant Current	Watts:	78W
120V:	0.65A	Color Temp:	4000K
208V:	0.31A	Color Accuracy:	72 CRI
240V:	0.26A	Life Expectancy:	100000
277V:	0.20A	Lumens:	8541
Input Watts:	76W	Efficiency:	110 LPW
Efficiency:	N/A		

ALED4T78N

Dimensions: 8.25" (210mm) x 1.75" (44mm)

Driver Info		LED Info	
Type:	Constant Current	Watts:	78W
120V:	0.65A	Color Temp:	4000K
208V:	0.31A	Color Accuracy:	72 CRI
240V:	0.26A	Life Expectancy:	100000
277V:	0.20A	Lumens:	8541
Input Watts:	76W	Efficiency:	110 LPW
Efficiency:	N/A		

WPLEDFC104

Dimensions: 9.8" (249mm) x 12.1" (308mm) x 1.7" (43mm)

Driver Info		LED Info	
Type:	Constant Current	Watts:	104W
120V:	0.85A	Color Temp:	5000K
208V:	0.59A	Color Accuracy:	71 CRI
240V:	0.51A	Life Expectancy:	100000
277V:	0.44A	Lumens:	13126
Input Watts:	100W	Efficiency:	121 LPW
Efficiency:	N/A		

PS4-11-20D2

Dimensions: 20" x 4" x 1.5"

Lamp Info		Ballast Info	
Type:	NA	Type:	PSA
Watts:	0W	Volt:	NA
Shape/Size:	NA	Power:	NA
Base:	NA	Input:	NA
ALSO:	NA	Output:	NA
Mount:	NA	Input/Output:	SW
Lamp Lumens:	NA		
Efficiency:	NA		

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTk	Meter Type
CalcPts	Illuminance	Fc	0.96	17.1	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG	10	10	Horizontal
StatArea - Parking Lot	Illuminance	Fc	2.85	9.0	0.5	5.70	18.00	Readings taken at 0'-0" AFG			
StatArea - Shipping-Receiving	Illuminance	Fc	14.37	17.1	9.1	1.58	1.88	Readings taken at 0'-0" AFG			

Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts	Filename
⊞	6	A	SLIM12N	SINGLE	1982	1982	1.000	Wall Mounted (10 FT)	15.8	15.8	94.8	SLIM12N - Neutral - RAB02338MOD4
⊞	3	B	WPLEDFC104N	SINGLE	13118	13118	1.000	Wall Mounted (20 FT)	105.3	105.3	315.9	WPLEDFC104N - Neutral - RAB01941
⊞	1	C	ALED3T78N	SINGLE	8941	8941	1.000	Type III Pole Mounted (20 FT)	75.9	75.9	75.9	ALED3T78N - Neutral - RAB02147MO
⊞	5	D	ALED4T78N	SINGLE	9804	9804	1.000	Type IV Pole Mounted (20 FT)	76.2	76.2	381	ALED4T78N - Neutral - RAB02138MO

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DATE OF MEETING: _____
SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FOR AN APPLICANT TO OBTAIN AN EXTENSION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.

No.	DATE	REVISION	BY
1	5/3/18	ADDRESS TOWN COMMENTS/GENERAL REVISIONS	TEJ

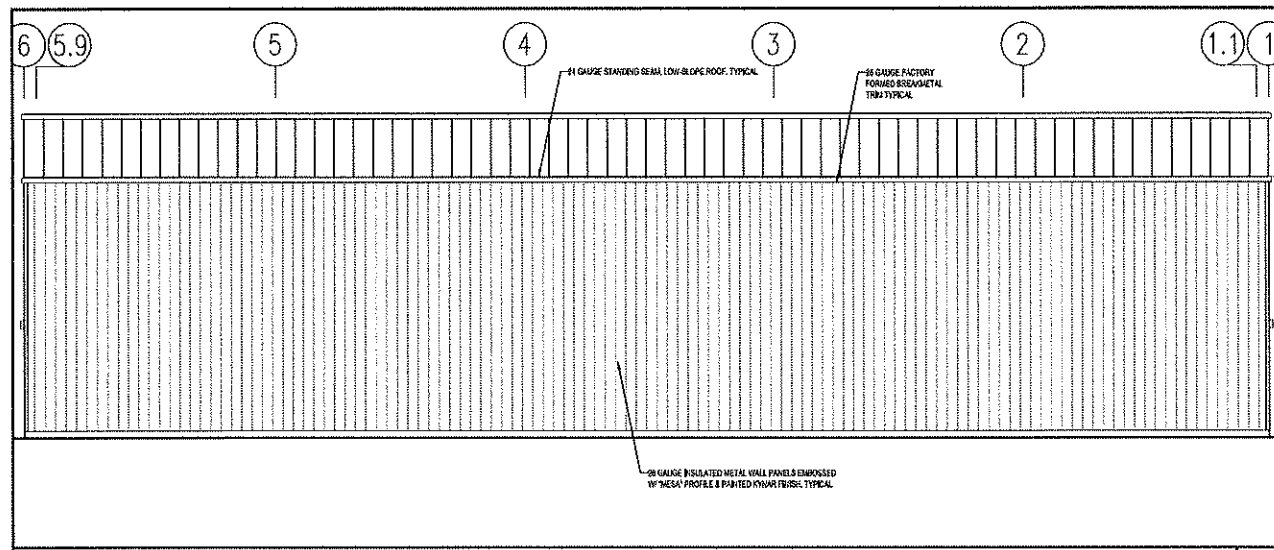
PHOTOMETRIC LIGHTING PLAN
(MAP 170, LOT 34)
PROPOSED INDUSTRIAL BUILDING
24 CONSTITUTION DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
PRINCECAPE REALTY, LLC
33 CONSTITUTION DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 595-1987

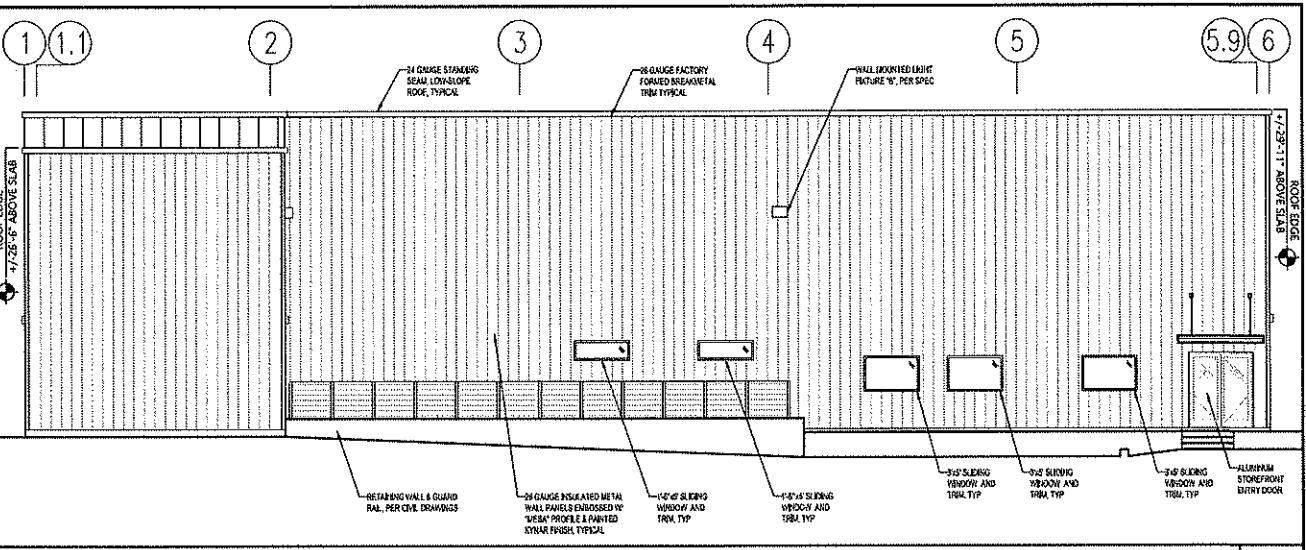
2 APRIL 2018

RAB
LIGHTING
170 Ludlow Avenue, Northvale, NJ 07647
888 722-1000 • RABWEB.COM

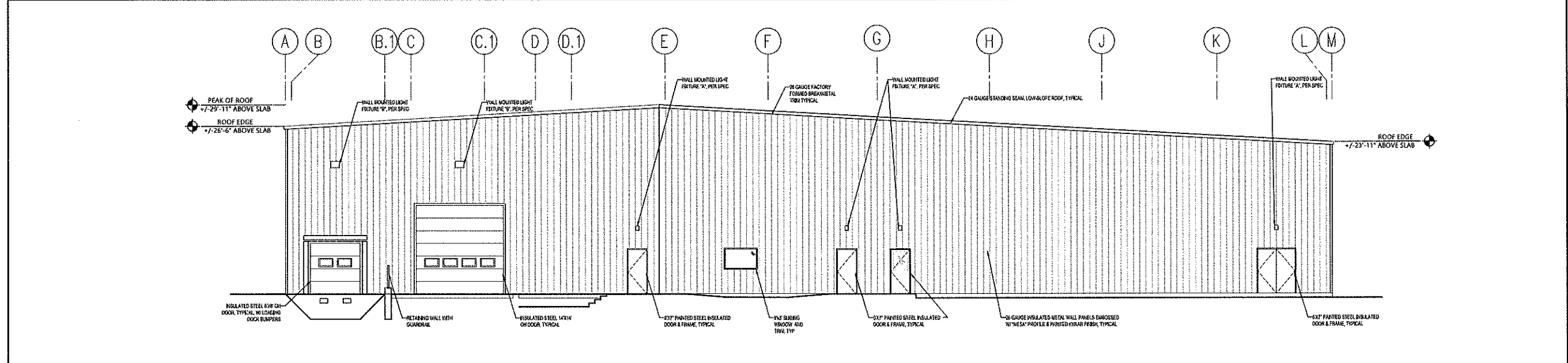
FIELD BOOK: 1092	DRAWING NAME: 4857-17-SL41	4857	13 OF 13
DRAWING LOCATION: G:\4858\DRWG\4857-17		File Number	Sheet



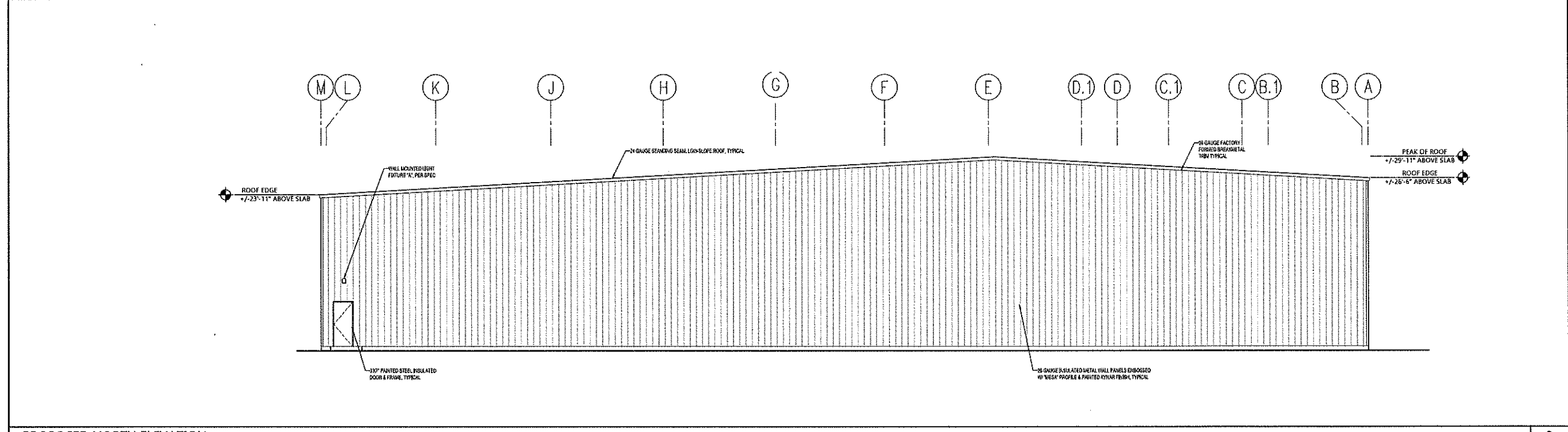
PROPOSED EAST ELEVATION SCALE: 1/8" = 1'-0" 4



PROPOSED WEST ELEVATION SCALE: 1/8" = 1'-0" 1



PROPOSED SOUTH ELEVATION SCALE: 1/8" = 1'-0" 2



PROPOSED NORTH ELEVATION SCALE: 1/8" = 1'-0" 3

NORTHPOINT
CONSTRUCTION MANAGEMENT
Hudson, NH 03051
www.northpointcm.com
Ph: 1-463-444-2600
Fax: 1-463-444-2600
general contractor; design build service; construction management;
retail/commercial tenant fitup; commercial/residential development

ARCHITECT OF RECORD:

ENGINEER OF RECORD:

<input type="checkbox"/>	PRELIMINARY DESIGN	2/28/18
<input type="checkbox"/>	SCHEMATIC DESIGN	DATE
<input type="checkbox"/>	DESIGN DEVELOPMENT	DATE
<input checked="" type="checkbox"/>	3D SET	4/19/18
<input type="checkbox"/>	PERMIT SET	DATE
<input type="checkbox"/>	CONSTRUCTION SET	DATE

No.	Revision/Issue	Date
6		
5		
4		
3		
2		
1		

PRINCETON TECHNOLOGIES II
24 CONSTITUTION DRIVE
HUDSON, NH 03051

PROPOSED ELEVATIONS

Sheet Number A1.3	Job Number 17056
Date 4/19/18	
Scale 1/8" = 1'-0"	A1.3

WORKSHOP ON LAND USE GUIDELINES

Staff Report
23 May 2018

ATTACHMENTS:

- Land Use Guideline #18-007 **Change of Use Reviews by Planning Board.**
- Land Use Guideline #18-021 **Developments of Regional Impact.**
- Land Use Guideline #18-010 **Wetland Buffers.**

DISCUSSION:

As a follow-up to the joint workshop held on April 28 and the Planning Board workshop on May 9, I have prepared three additional “Land Use Guidelines” that relate to Planning Board issues. As stated in the common introduction to each draft Guideline, the purpose of these documents is to provide needed guidance to staff, applicants, and Planning Board members. Information that affects such decisions is contained in the State statutes, Zoning Ordinance, Hudson Land Use Regulations, past Board decisions, past legal opinions, and administrative forms prepared by the department. The Land Use Guidelines pull together relevant provisions into a single document for each topic to make that information readily available during application preparation, reviews, and decision-making.

To address concerns about the Guidelines limiting Board authority, a statement was added to clarify that the Guidelines do not limit the Board’s authority to deliberate and come to potentially different conclusions than those stated in the Guidelines. But having the Guidelines will ensure that such departures are made with full knowledge of the legal requirements and past precedents.

The Guidelines can also be used to identify needed changes to the Zoning Ordinance and Land Use Regulations. Reviewing the Guidelines on an annual basis and applying them to ongoing project reviews will provide a comprehensive framework for preparing amendments.

Wherever possible, references to sources of the information contained in the Guidelines are provided in *(italicized text in parentheses)* so that readers can go to those sources for confirmation and clarification.

I have prepared a PowerPoint presentation that will walk Board members through each of the second set of three draft Guidelines that include case studies. At the conclusion of the presentation of a Guideline, the Board can deliberate and decide if changes are needed.

Once the Board is satisfied with a draft Guideline, we will submit it for legal review by the Town Attorney. If Attorney Lafevre has concerns about any draft, we can have him attend a future workshop. We can also invite his attendance if the Board has questions or concerns.

Each draft Guideline has provision for recording the origination date, approval authority, and future revisions. It would be helpful to have a Planning Board endorsement to lend credibility to the documents, promote consistency in future communications and decisions, and assure accountability for staff in carrying them out. The table at the end was modified to have an “adoption” date rather than “origination,” and cells for signatures of the Chairman and Secretary have been added.



TOWN OF HUDSON

Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

Land Use Guideline #18-007

Purpose of Land Use Guidelines: A Hudson Land Use Guideline is a compilation of information related to a land use issue that is designed to provide needed guidance to Town staff, applicants, and Board members. Each guideline presents a summary of information contained in the Zoning Ordinance, Land Use Regulations, and relevant State statutes that apply to that issue. The guideline is also based on past decisions and practices of the Board when reviewing applications and applying those laws to them. Finally, each guideline also reflects legal opinions and input provided to the Board and Town staff.

Compiling all of this information into one document will help participants in the regulatory process to understand its requirements and will help ensure that all requirements are complied with. Adoption of a Land Use Guideline does not, however, limit the Board's authority to deliberate on individual applications and come to potentially different conclusions based on the facts of those applications.

Since State statutes frequently change, court decisions affect local regulations, and the community faces new growth management challenges over time, each Land Use Guideline should be reviewed and updated annually. Updates should also identify whether amendments are needed for the Zoning Ordinance and Land Use Regulations.

Subject: Change of use reviews by Planning Board.

1. The Zoning Ordinance requires Planning Board site plan approval for any change of use classification (residential, commercial, industrial, agricultural, community facilities) or change of use category within the use classifications (e.g., retail to office). (*ZO 334-16.1*)
2. Site plan review provides opportunity to review the site to ensure that it is adequate for the proposed use change in terms of parking, access, lighting, and buffering of abutting properties. (*HR 275-3 & 275-6*)
3. At the same time, the requirement to go before the Planning Board when the change of use involves no site changes creates hardship for property owners and tenants in terms of timing of real estate transactions and costs of hiring consultants.
4. The Planning Board has authority to grant waivers of any and all requirements of the Land Use Regulations subject to the 3 waiver criteria (*HR §276-7*):
 - a. Said requirements are unnecessary for an application;
 - b. Granting of the waiver shall not violate the purposes or general standards of those regulations; and
 - c. Granting of the waiver shall result in a general benefit to the Town or surrounding properties, such as protection of natural features, increased separation of incompatible uses or the accommodation of future HIGHWAY projects.

5. State law provides for Planning Boards to conduct “conceptual” and “design” reviews of projects prior to submission of subdivision (and site plan) applications. Design review requires notification of abutters because details of the project application will be discussed between the Planning Board and applicants. “Design review discussions help to clarify the need for specific studies or could indicate that some studies might not be needed for a particular proposal and could be waived.” (*The Planning Board in New Hampshire: A Handbook for Local Officials, NH Office of Strategic Initiatives, Dec. 2017, Page IV-5, RSA 676:4 II.(a) & (b)*)
6. State law authorizes and requires Planning Boards to adopt site plan review regulations that provide the procedures which the board shall follow in reviewing site plans. (*RSA 674:44 III.(a)*)
7. After public notice and a public hearing, the Planning Board will consider granting waivers of full site plan review submission requirements for change of use classifications and/or use categories where there are no proposed site modifications and no apparent negative impacts on abutters or the general public. Grants of waivers of site plan submissions for change of use shall constitute approval of said use change.

Recommendations:

1. Amend HR 276-3 to provide for conceptual and design review phases.
2. Combine conceptual and design review for change of use where no site modifications are proposed or necessary and grant waivers of site plan review submission requirements where waiver criteria are met.
3. Require a conceptual review application and waiver request form as submission requirements.

Origination Date:	Revision Number:
Approved By:	Revision Date:



TOWN OF HUDSON

Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

Land Use Guideline #18-021

Purpose of Land Use Guidelines: A Hudson Land Use Guideline is a compilation of information related to a land use issue that is designed to provide needed guidance to Town staff, applicants, and Board members. Each guideline presents a summary of information contained in the Zoning Ordinance, Land Use Regulations, and relevant State statutes that apply to that issue. The guideline is also based on past decisions and practices of the Board when reviewing applications and applying those laws to them. Finally, each guideline also reflects legal opinions and input provided to the Board and Town staff.

Compiling all of this information into one document will help participants in the regulatory process to understand its requirements and will help ensure that all requirements are complied with. Adoption of a Land Use Guideline does not, however, limit the Board's authority to deliberate on individual applications and come to potentially different conclusions based on the facts of those applications.

Since State statutes frequently change, court decisions affect local regulations, and the community faces new growth management challenges over time, each Land Use Guideline should be reviewed and updated annually. Updates should also identify whether amendments are needed for the Zoning Ordinance and Land Use Regulations.

Subject: Developments of Regional Impact.

1. State law requires a review by local land use boards (i.e., Planning Board, Zoning Board of Adjustment) of projects deemed to have the potential for regional impacts. The State has identified six factors that would determine whether a project could constitute a Development of Regional Impact (DRI): (*RSA 36:55*)
 - (1) Relative size or number of dwelling units as compared with existing housing stock.
 - (2) Proximity to the borders of a neighboring community.
 - (3) Transportation networks.
 - (4) Anticipated emissions such as light, noise, smoke, odors, or particles.
 - (5) Proximity to aquifers or surface waters which transcend municipal borders.
 - (6) Shared facilities such as schools and solid waste disposal facilities.

The review of projects for regional impacts is not limited to these six factors, but one court decision has indicated that any factors used to determine regional impacts should be similar to these six. (*H. Charles & Ann Royce et. al. v. Town of Jaffrey. Cheshire Superior Court, 05-E-0124, 2006*)

2. If there is any doubt as to whether a project may have regional impacts, the presumption is that it should be treated as though it does have regional impacts. *(RSA 36:56 I)*
3. A determination that a project has regional impacts or the potential for regional impacts establishes that neighboring municipalities and the Regional Planning Commission (RPC) have the status of “abutters” and thus require notification of any public hearings on the project and the opportunity to give testimony at those hearings. *(RSA 36:57 I)*
4. Upon a determination by the Planning Board or Zoning Board that a project has regional impacts or the potential for regional impacts, staff must send out within 5 business days of the meeting a copy of the meeting minutes to the affected communities. At the same time a copy of the project plans must be provided to the Regional Planning Commission with the cost borne by the applicant. From that point forward, affected communities and the RPC should receive all public notifications as if they were abutters. *(RSA 36:57 II, III)*
5. A determination by the Planning Board or Zoning Board that a project has regional impacts or the potential for regional impacts will require at least one additional public hearing to provide opportunity for affected communities and the Regional Planning Commission to have input into the review process.
6. Regional Planning Commissions are authorized to develop guidelines to assist member communities in making determinations on whether development projects have potential for regional impacts. *(RSA 36:56 II)*
7. Several Regional Planning Commissions have developed guidelines for review of projects for potential regional impacts. Some of those guidelines have gone beyond the stated intent of the law to incorporate regional planning goals (e.g., opportunities for alternative transportation modes) and to promote effective planning for resources within communities (e.g., conservation of habitats).

Recommendations:

1. Add a step to the review processes of the Planning Board and Zoning Board of Adjustment to make a determination of potential regional impact based on the six factors identified in the statute.
2. Work with the Nashua Regional Planning Commission (NRPC) to develop a checklist that provides measurable indicators of potential regional impacts.
3. Advocate for limiting the scope of any guidelines prepared by NRPC to those factors related to the spillover effects of developments onto neighboring communities.

Adoption Date:	Revision Number:
Planning Board Chairman:	Revision Date:
Planning Board Secretary:	