



# TOWN OF HUDSON

## Planning Board

Glenn Della-Monica, Chairman

Marilyn McGrath, Selectmen Liaison



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

### **PUBLIC MEETING TOWN OF HUDSON, NH MARCH 14, 2018**

The Town of Hudson Planning Board will hold a regularly scheduled meeting on Wednesday, March 14, 2018 at 7:00 p.m. in the “Buxton Community Development Conference Room” at Town Hall. The following items will be on the agenda:

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES
  
- V. MINUTES OF PREVIOUS MEETING(S)
  - 28 February 18 Meeting Minutes - Decisions
  
- VI. CASES REQUESTED FOR DEFERRAL
- VII. CORRESPONDENCE
- VIII. PERFORMANCE SURETIES
- IX. ZBA INPUT ONLY
- X. PUBLIC HEARINGS
- XI. OLD BUSINESS/PUBLIC HEARINGS
- XII. DESIGN REVIEW PHASE
- XIII. CONCEPTUAL REVIEW ONLY
  
- XIV. NEW BUSINESS/PUBLIC HEARINGS

A. Steele Hill Farm, LLC, Site Plan  
SP#03-18

2 Friel Golf Road  
Map 234/Lot 001

Purpose of Plan: to show proposed change of use from offices to personal services establishment (salon) with up to ten (10) operators, and show proposed parking lot and septic system improvements. Application Acceptance & Hearing.

B. Derry Road 3-Lot Subdivision  
SB#04-18

120 & 126 Derry Road  
Map 156/Lots 015 & 016

Purpose of Plan: to propose the lot consolidation of Map 156, Lots 15 & 16, and subdivide three (3) lots with frontage on Derry Road. Application Acceptance & Hearing.

- XV. OTHER BUSINESS
- XVI. ADJOURNMENT

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting. The public is invited to attend.

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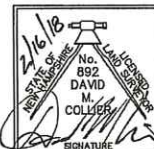
George Thebarg, AICP  
Land Use Director

POSTED: Town Hall, Library & Post Office – 03-02-18

**CERTIFICATION:**

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



**DAVID M. COLLIER, LLS 892**  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 2/16/18

**PLAN REFERENCES**

- "PLAN OF LAND OF ARTHUR KASHULINES JR., DERRY ROAD, HUDSON, N.H." DATED AUGUST 1955, SUBDIVIDED JULY 1955, BY NED SPAULDING, CIVIL ENGINEER. HCRD 2044.
- "HUDSON INDUSTRIAL ASSOCIATES ET ALS, ELM AVENUE, HUDSON, N.H." DATED MARCH 1960, SCALE 1" = 50' BY NED SPAULDING, CIVIL ENGINEER. HCRD 1699.
- "PLAN OF LAND OF ARTHUR J. & IDA E. KASHULINES, DERRY ROAD, HUDSON, N.H." DATED JULY 1966, SCALE 1" = 50', BY A. E. MAYNARD CIVIL ENG. HCRD 3372 AND HCRD 3401.
- "PLAN OF LAND IN HUDSON, N.H. BELONGING TO HAROLD G. & MAUDE E. FRENCH" DATED AUGUST 14, 1969, SCALE 1" = 100', BY HAMILTON ENGINEERS T. ARTHUR BABINEAU ASSOC. INC. HCRD 4915.
- "LAND OF LAND ENTERPRISES INC, DERRY ROAD, HUDSON, NH." DATED SEPTEMBER 1975, SCALE 1" = 50', BY FRANK G. SPRAGUE. HCRD 7786.
- "TOWN OF HUDSON, PROPOSED EASEMENT ON LAND OF HARRY W. & JANE C. DAW, HUDSON, N.H." DATED FEBRUARY 1, 1974, SCALE 1" = 40', BY THOMAS F. MORAN, INC. HCRD 11665.
- "TOWN OF HUDSON, PROPOSED EASEMENT ON LAND OF H.C.R. CORP, HUDSON, N.H." DATED FEBRUARY 1, 1974, SCALE 1" = 40', BY THOMAS F. MORAN, INC. HCRD 116418.
- "SUBDIVISION OF THE LAND OF ERNEST MOREY, HUDSON, N.H." DATED SEPTEMBER 9, 1980, SCALE 1" = 50', BY DICKSON, HOLDEN AND ASSOCIATES INC. HCRD 14470 AND 14471.
- "ELM PARK CONSOLIDATION & SITE PLAN, HUDSON, N.H." DATED JANUARY 15, 1982, SCALE 1" = 50', BY HOLDEN ENGINEERING & SURVEYING. HCRD 16470.
- "ELMWOOD VILLAGE SITE PLAN, HUDSON, N.H." DATED JUNE 29, 1984, SCALE 1" = 50', BY HOLDEN ENGINEERING & SURVEYING. HCRD 17681.
- "SITE PLAN, ELMWOOD VILLAGE CONDOMINIUM" DATED JANUARY 2, 1985, SCALE 1" = 100', BY HOLDEN ENGINEERING & SURVEYING. HCRD 17682.
- "REEDS BROOK SUBDIVISION, DERRY STREET, HUDSON, NEW HAMPSHIRE, PREPARED FOR SOUSA REALTY AND DEVELOPMENT, RECORD OWNERS T. ARTHUR BABINEAU 1987 TRUST AND ARTHUR E. COMELLI." DATED FEBRUARY 17, 1998, SCALE 1" = 80', BY HAYNER/SWANSON, INC. HCRD 29427.
- "LOT LINE RELOCATION AND CONSOLIDATION PLAN, HUDSON UNITED PENTECOSTAL CHURCH, PHILLIPS DRIVE, HUDSON, NEW HAMPSHIRE, PREPARED FOR HUDSON UNITED PENTECOSTAL CHURCH, RECORD OWNERS HUDSON UNITED PENTECOSTAL CHURCH, SOUSA REALTY & DEVELOPMENT." DATED JULY 6, 1999, SCALE 1" = 30', BY HAYNER/SWANSON, INC. HCRD 30127.
- "STATE OF NEW HAMPSHIRE HIGHWAY DEPARTMENT, PLANS OF PROPOSED FEDERAL AID SECONDARY PROJECT NO. S 29 (I), HUDSON-DERRY ROAD." DATED MAY 1949, SCALE 1" = 50'
- "TRANSPORTATION ENHANCEMENT PROJECT, NHDOT # 13894, FEDERAL AID PROJECT NO. TE-X-A000(095), PROPOSED SIDEWALK, DERRY STREET (ROUTE 102), HUDSON, NEW HAMPSHIRE, PREPARED FOR TOWN OF HUDSON." DATED MARCH 2009, BY CLD CONSULTING ENGINEERS.

LOT #	TOTAL AREA	WETLAND AREA	AREA >25% SLOPE	BUILDABLE AREA	FRONTAGE
15	100,725 S.F. (2.31 AC)	N/A	N/A	100,725 S.F.	310'
15-1	102,573 S.F. (2.35 AC)	N/A	N/A	102,573 S.F.	208'
16	212,372 S.F. (4.88 AC)	18,040 S.F.	9,610 S.F.	184,722 S.F.	433'



**NOTES:**

- THE INTENT OF THIS PLAN IS TO SHOW THE SUBDIVISION OF HUDSON TAX MAP 156, LOTS 15 AND 16.
- ZONING DISTRICT: INDUSTRIAL  
LOT AREA MINIMUM = 30,000 SF (W/ WATER & SEWER)  
LOT FRONTAGE MINIMUM = 150'  
BUILDING SETBACKS (MINIMUM):  
FRONT SETBACK = 50'  
SIDE SETBACK = 15'  
REAR SETBACK = 15'  
WETLAND BUFFER = 50'
- VERTICAL DATUM NGVD 29. HORIZONTAL DATUM MAGNETIC.
- DEED REFERENCE: LOT 15 9033/2414 LOT 16 9033/2465.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NUMBERS 33011C05120 DATED SEPTEMBER 25, 2009 AND 33011C0514E DATED APRIL 18, 2011.
- IRON RODS WITH SURVEY CAPS TO BE SET AT ALL PROPERTY CORNERS AND ANGLE POINTS, UNLESS OTHERWISE INDICATED. ALL MONUMENTS SET ARE 5/8" IRON RODS WITH ALUMINUM CAPS MARKED "JONES & BEACH ENGINEERS BOUNDARY, DO NOT DISTURB, STRATHAM, N.H." AS SHOWN.
- GRANITE BOUNDS TO BE SET AT ALL ROADWAY POINTS OF CURVATURE AND TANGENCY.
- WETLANDS WERE DELINEATED BY CHRISTOPHER ALBERT OF JONES & BEACH DURING SPRING, 2015, IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
  - THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
  - THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
  - THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
  - THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
- LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
- ALL BOOK AND PAGE NUMBERS REFER TO THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS AND ABUTTING OWNERS ARE BASED ON THE TOWN OF HUDSON TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE TOWN OF HUDSON ASSESSORS OFFICE, THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS, AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION DISTRICT 5 OFFICE.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED, OR PRESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOW AND LOCATED BY THIS SURVEY.
- ALL PROPOSED LOTS ARE SUBJECT TO THE DECLARATION OF COVENANTS AND RECIPROCAL EASEMENT AGREEMENT TO BE FILED WITH THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.

<b>SUBDIVISION PLAT</b>	
<b>"120 DERRY ROAD"</b>	
<b>DERRY ROAD (RT. 102), HUDSON, NH</b>	
<b>MAP 156, LOTS 15 &amp; 16</b>	
<b>TOTAL PROJECT AREA: 415,670 S.F. (9.54 AC)</b>	
Owner of Record: HUDSON ENTERPRISES, LLC 7 THORNTON STREET, SEABROOK, NH 03874	Applicant: HUDSON ENTERPRISES, LLC 7 THORNTON STREET, SEABROOK, NH 03874
<b>Jones &amp; Beach Engineers, Inc.</b>	
<i>Civil Engineering Services</i>	
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885	603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM
<b>DRAWING NO. S1</b>	
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.	
DATE: 9/22/17	DESIGN: ISM
DRAFT: ISM	CHECKED: DMG
DRAWING NAME: 14053-SUBDIVISION.dwg	
PROJECT No.: 14053	SCALE: AS NOTED
SHEET 1 OF 1	

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**APPROVED BY THE HUDSON, NH PLANNING BOARD**

DATE OF MEETING: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

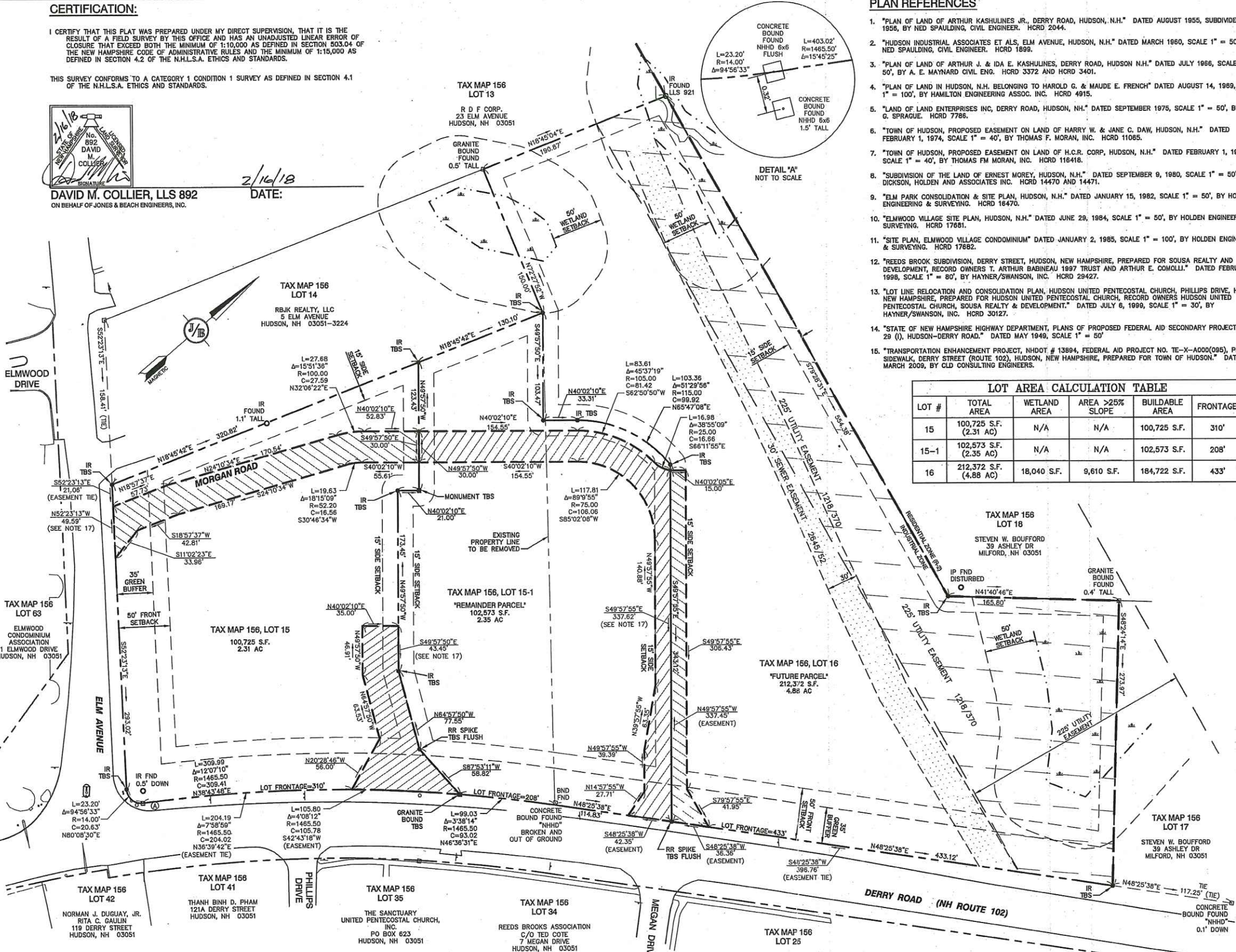
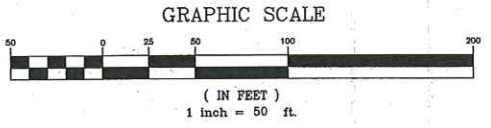
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

**OWNER**

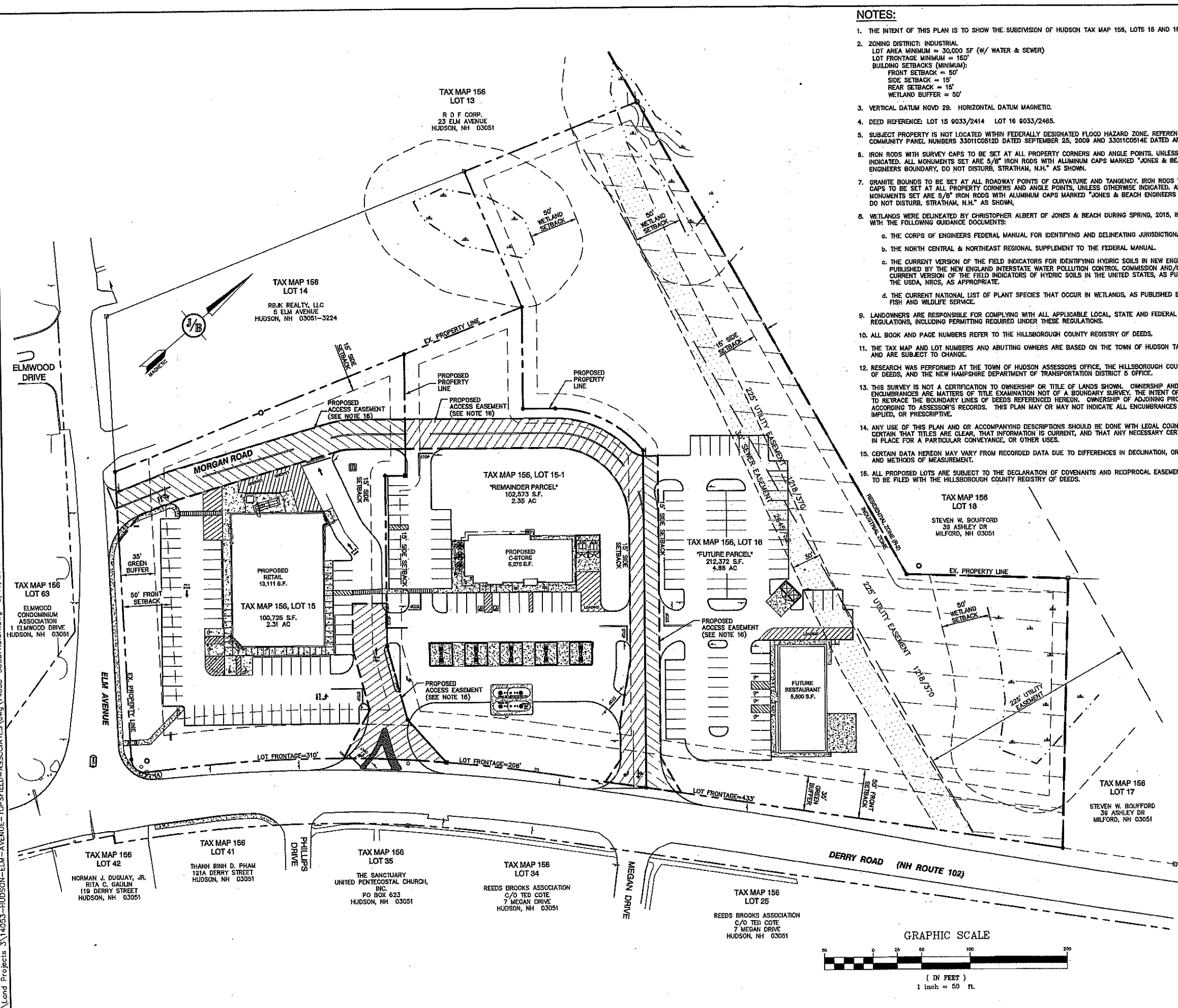
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FOR HUDSON ENTERPRISES, LLC

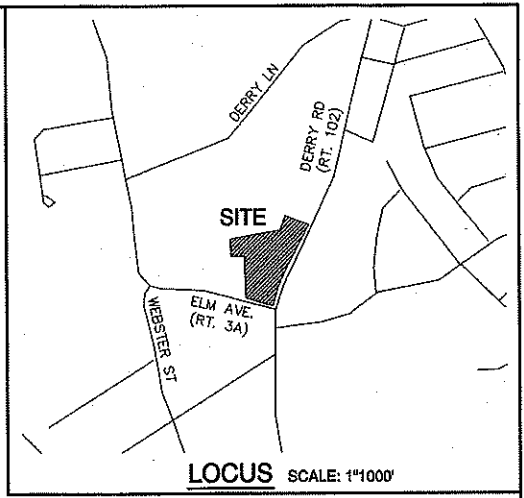
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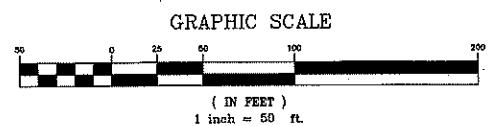
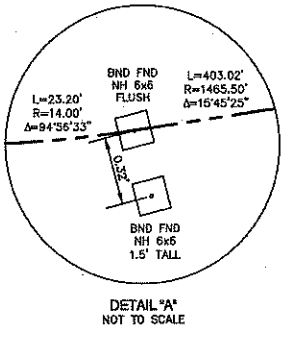
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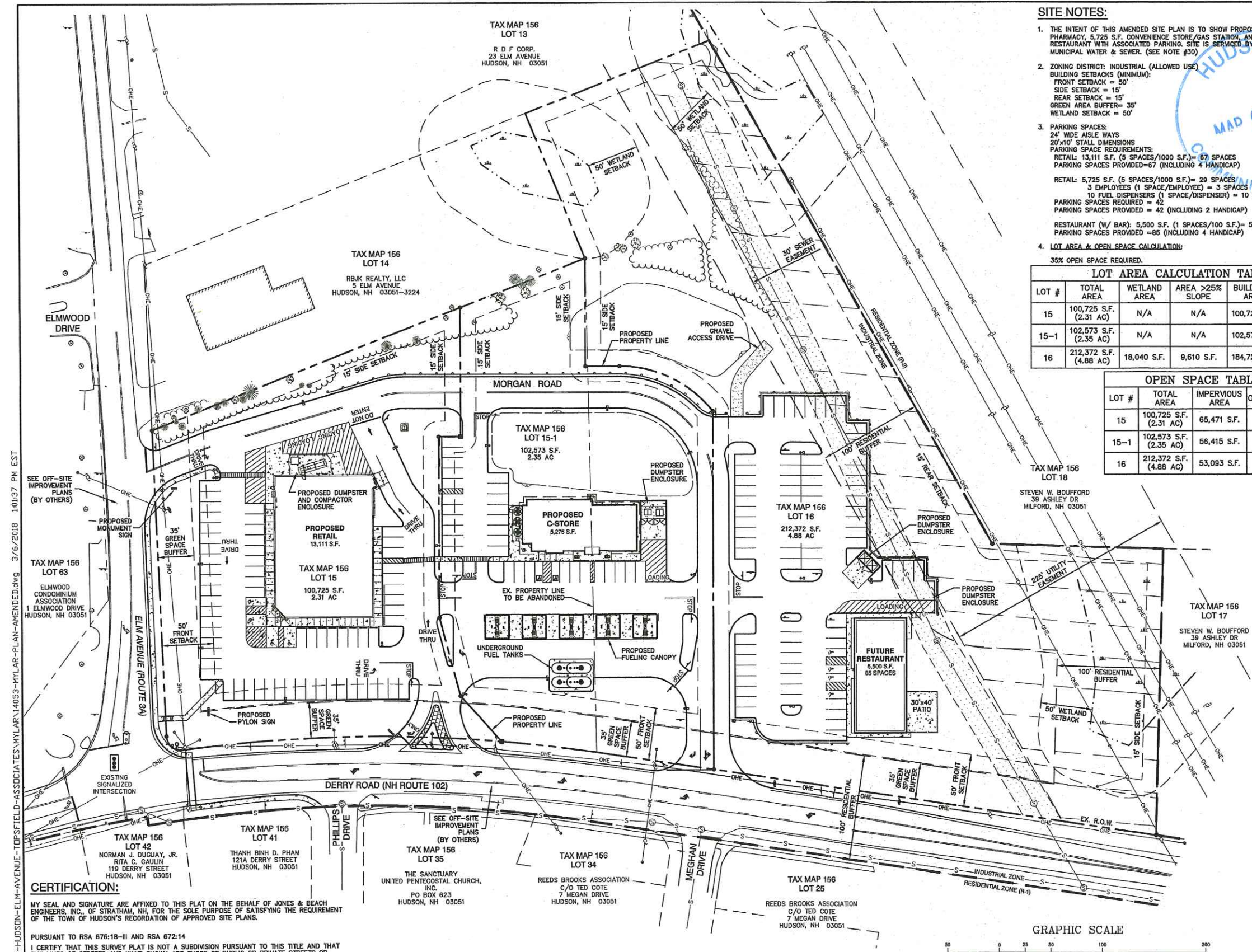


LOT AREA CALCULATION TABLE					
LOT #	TOTAL AREA	WETLAND AREA	AREA >25% SLOPE	BUILDABLE AREA	FRONTAGE
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15-1	102,573 S.F. (2.35 AC)	N/A	N/A	102,573 S.F.	208'
16	212,372 S.F. (4.88 AC)	18,040 S.F.	9,610 S.F.	184,722 S.F.	433'



ISSUED FOR REVIEW		BY	
REVISION		DATE	
0		2/20/18	

<b>SUBDIVISION EXHIBIT</b>			
"120 DERRY ROAD"			
DERRY ROAD (RT. 102), HUDSON, NH			
MAP 156, LOTS 15 & 16			
TOTAL PROJECT AREA: 416,670 S.F. (9.54 AC)			
Owner of Record:		Applicant:	
HUDSON ENTERPRISES, LLC 7 THORNTON STREET, SEABROOK, NH 03874		HUDSON ENTERPRISES, LLC 7 THORNTON STREET, SEABROOK, NH 03874	
<b>Jones &amp; Beach Engineers, Inc.</b>			
<i>Civil Engineering Services</i>			
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885		603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM	
DRAWING NO. <b>S2</b>			
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.			
DATE: 9/22/17	DESIGN: ISM	DRAFT: ISM	CHECKED: DMC
DRAWING NAME: 14053-SUBDIVISION.dwg			
PROJECT No.: 14053	SCALE: AS NOTED	SHEET 1 OF 1	



**SITE NOTES:**

- THE INTENT OF THIS AMENDED SITE PLAN IS TO SHOW PROPOSED A 13,111 S.F. PHARMACY, 5,275 S.F. CONVENIENCE STORE/GAS STATION, AND A FUTURE 5,500 S.F. RESTAURANT WITH ASSOCIATED PARKING. SITE IS SERVICED BY ELECTRIC, GAS, AND MUNICIPAL WATER & SEWER. (SEE NOTE #30)
- ZONING DISTRICT: INDUSTRIAL (ALLOWED USE)  
BUILDING SETBACKS (MINIMUM):  
FRONT SETBACK = 50'  
SIDE SETBACK = 15'  
REAR SETBACK = 15'  
GREEN AREA BUFFER = 35'  
WETLAND SETBACK = 50'
- PARKING SPACES:  
24' WIDE AISLE WAYS  
20'x10' STALL DIMENSIONS  
PARKING SPACE REQUIREMENTS:  
RETAIL: 13,111 S.F. (5 SPACES/1000 S.F.) = 67 SPACES  
PARKING SPACES PROVIDED=67 (INCLUDING 4 HANDICAP)  
  
RETAIL: 5,275 S.F. (5 SPACES/1000 S.F.) = 26 SPACES  
3 EMPLOYEES (1 SPACE/EMPLOYEE) = 3 SPACES  
10 FUEL DISPENSERS (1 SPACE/DISPENSER) = 10 SPACES  
PARKING SPACES REQUIRED = 42  
PARKING SPACES PROVIDED = 42 (INCLUDING 2 HANDICAP)  
  
RESTAURANT (W/ BAR): 5,500 S.F. (1 SPACES/100 S.F.) = 55 SPACES  
PARKING SPACES PROVIDED = 85 (INCLUDING 4 HANDICAP)
- LOT AREA & OPEN SPACE CALCULATION:  
35% OPEN SPACE REQUIRED.
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ON-SITE OR OFF-SITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NUMBERS 33010C0512 DATED SEPTEMBER 25, 2009 AND 33010C0514E DATED APRIL 18, 2011.
- LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.). THIS DOCUMENT IS TO BE KEPT ON-SITE AT ALL TIMES AND UPDATED AS REQUIRED.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
- ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SIDESTRIPES. STRIPING SHALL HAVE TWO COATS OF PAINT, ALKOY BIASIN SYNTHETIC RESIN, FEDERAL SPECIFICATION TTP-115 TYPE 1, IN A COLOR OF WHITE.
- ALL STOP BARS SHALL BE 18" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
- ALL OUTDOOR DISPLAY AREAS SHALL BE MAINTAINED IN A NEAT AND ORDERLY FASHION.
- ALL OUTDOOR DISPLAY AREAS ALONG SIDEWALK SHALL BE MAINTAINED TO PROVIDE A MINIMUM UNOBSTRUCTED WIDTH OF FIVE (5) FEET ALONG THE ENTIRE LENGTH OF THE SIDEWALK, AND AT EMERGENCY EGRESS DOORS FOR PEDESTRIAN AND EMERGENCY ACCESS AT ALL TIMES.
- SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS, OR TRUCKED OFF-SITE TO AN APPROVED SNOW DUMPING LOCATION.
- HOURS OF REFUSE REMOVAL SHALL BE EXCLUSIVE TO THE HOURS BETWEEN 7:00 A.M. AND 7:00 P.M. MONDAY THROUGH SATURDAY AND PROHIBITED ON SUNDAY.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- HANDICAP PARKING SPACES, RAMPS AND BUILDING ACCESS SHALL COMPLY WITH ADA REGULATIONS.
- NO OFF-SITE PARKING AND/OR LOADING PERMITTED FOR THIS PROPOSED SITE DEVELOPMENT.
- THERE SHALL BE NO OUTSIDE STORAGE OF FLAMMABLE OR HAZARDOUS GASSES, LIQUIDS OR MATERIALS OVER 2,000 GALLONS OR GREATER.
- THIS PROJECT SHALL BE MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
- DUST SHALL BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000.
- THE TOWN OF HUDSON 2008 MASTER PLAN DOES NOT CLASSIFY THE ELM AVE/DERRY ROAD INTERSECTION AS A RECOMMENDED HIGHWAY IMPROVEMENT PROJECT.
- PER THE TRAFFIC IMPACT STUDY BY VANESSE & ASSOCIATES, INC., DATED JULY 2017, SIGHT DISTANCES AT THE THREE PROPOSED DRIVEWAY LOCATIONS WILL EXCEED 500'.
- HOURS OF OPERATION:  
PROPOSED RETAIL: 8am - 9pm  
PROPOSED C-STORE/FUELING STATION: 24 HOURS  
PROPOSED RESTAURANT: 11am - 11pm
- CONTRACTOR SHALL INSTALL A 6' HIGH WHITE VINYL FENCE ON THE BACKSIDE OF THE PROPOSED GUARDRAIL FOR THE RESTAURANT PARKING LOT. THE FENCE CAN BE MOUNTED DIRECTLY TO THE GUARDRAIL POST OR INSTALLED WITH MIN. 4" EMBEDMENT.
- THIS PLAN SUPERCEDES H.C.R.D. PLAN NO. 39564.
- THE HUDSON PLANNING BOARD GRANTED WAIVERS ON OCTOBER 20, 2017 FOR HR 193-10.0: 1 DRIVEWAY PER PARCEL, HR 276-11.8(12); NO PARKING IN FRONT SETBACK, AND HR 276-11.8(12)(c): NO COMMERCIAL IMPROVEMENTS WITHIN 100 FEET OF RESIDENTIAL PROPERTY.
- THE SUBDIVISION PLAN ESTABLISHING THE PROPOSED LOT LINES DEPICTED ON THIS PLAN IS RECORDED AS H.C.R.D. PLAN NO. \_\_\_\_\_

LOT #	TOTAL AREA	WETLAND AREA	AREA >25% SLOPE	BUILDABLE AREA	FRONTAGE
15	100,725 S.F. (2.31 AC)	N/A	N/A	100,725 S.F.	310'
15-1	102,573 S.F. (2.35 AC)	N/A	N/A	102,573 S.F.	208'
16	212,372 S.F. (4.88 AC)	18,040 S.F.	9,610 S.F.	184,722 S.F.	433'

LOT #	TOTAL AREA	IMPERVIOUS AREA	OPEN SPACE
15	100,725 S.F. (2.31 AC)	65,471 S.F.	35%
15-1	102,573 S.F. (2.35 AC)	56,415 S.F.	45%
16	212,372 S.F. (4.88 AC)	53,093 S.F.	75%

TAX MAP 156 LOT 18  
STEVEN W. BOUFFORD  
39 ASHLEY DR  
MILFORD, NH 03051

TAX MAP 156 LOT 17  
STEVEN W. BOUFFORD  
39 ASHLEY DR  
MILFORD, NH 03051

F:\Land Projects\3114053-HUDSON-ELM-AVENUE-TOPFIELD-ASSOCIATES\MYLAR-14053-MYLAR-PLAN-AMENDED.dwg 3/6/2018 10:13:37 PM EST

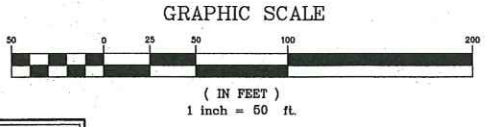
**CERTIFICATION:**  
MY SEAL AND SIGNATURE ARE AFFIXED TO THIS PLAT ON THE BEHALF OF JONES & BEACH ENGINEERS, INC., OF STRATHAM, NH, FOR THE SOLE PURPOSE OF SATISFYING THE REQUIREMENT OF THE TOWN OF HUDSON'S RECORDATION OF APPROVED SITE PLANS.  
PURSUANT TO RSA 676:18-III AND RSA 672:14  
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

DAVID M. COLLIER, LLS 892  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 3/6/18

APPROVED BY THE HUDSON, NH PLANNING BOARD  
DATE OF MEETING:  
SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

OWNER  
SIGNATURE: \_\_\_\_\_  
DATE: 3-6-18



ISSUED FOR REVIEW	REVISION	BY
1	2/1/18	ISM

**AMENDED SITE PLAN**  
"120 DERRY ROAD"  
DERRY ROAD (RT. 102), HUDSON, NH  
MAP 156, LOTS 15 & 16  
TOTAL PROJECT AREA: 415,050 S.F. (9.54 AC)

Owner of Record: HUDSON ENTERPRISES, LLC  
7 SWAIN DRIVE, HAMPTON FALLS, NH 03844

Applicant: HUDSON ENTERPRISES, LLC  
7 SWAIN DRIVE, HAMPTON FALLS, NH 03844

**Jones & Beach Engineers, Inc.**  
Civil Engineering Services  
85 Portsmouth Ave., Stratham, NH 03885  
603-772-4746  
603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

DRAWING NO. **C2-A**

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.

DATE: 8/14/17 DESIGN: BWG DRAFT: ISM CHECKED: WGM  
DRAWING NAME: 14053-MYLAR-PLAN-AMENDED.dwg  
PROJECT No.: 14053 SCALE: AS NOTED SHEET 5 OF 32

# **120 Derry Rd 3-Lot Subdivision & Amended Site Plan**

## **STAFF REPORT**

March 14, 2018

**SITE:** 30 Robin Drive -- Map 156/Lots 15 & 16 -- SB# 04-18

**ZONING:** I - Minimum lot size 30,000 sq. ft. and 150 ft. of frontage.

**PURPOSE OF PLAN:** to depict the merging of Lots 15 and 16 and the subsequent re-subdivision of the site into 3 lots and amendment of the recorded site plan to reconcile it with the new subdivision lots. Application Acceptance & Hearing.

**PLANS UNDER REVIEW ENTITLED:** SUBDIVISION PLAT "120 DERRY ROAD", Tax Map 156, Lots 15 & 16, Derry Road (Rte 102) Hudson, NH, prepared by Jones & Beach Engineers, Inc., 85 Portsmouth Ave., Stratham, NH, dated 20 FEB 18, consisting of Sheets S-1 and S-2 and AMENDED SITE PLAN "120 DERRY ROAD", Tax Map 156, Lots 15 & 16, Derry Road (Rte 102) Hudson, NH, prepared by Jones & Beach Engineers, Inc., 85 Portsmouth Ave., Stratham, NH, dated 14 AUG 17 (Revised 2-1-18), consisting of Sheet C2-A (said plans are attached hereto).

### **ATTACHMENTS:**

- 1) Subdivision Application date stamped February 20, 2018 – Attachment "A".
- 2) Amended Site Plan and waiver requests date stamped March 7, 2018 – Attachment "B".
- 3) Email from Town Engineer Elvis Dhima on future status of Morgan Road as a private road – Attachment "C".

### **REQUESTED WAIVERS:**

- 1) HR 276 – 11.1.B. (12) – No parking or driveways to be located within required building setbacks.

### **OUTSTANDING ISSUES:**

1. The Planning Board approved a site plan for these properties on October 11, 2017. The applicant had submitted a subdivision application at the time of site plan submittal but was advised by the former Town Planner to withdraw the subdivision application until the site plan issues were resolved and the site plan was approved. Note 26 on the approved site plan indicated understanding that Lots 15 and 16 would be combined after site plan approval to eliminate setback violations, and that was a stipulation.

2. The proposed subdivision plan merges the two lots and then re-subdivides the property into three lots to allow the individual sale of the three commercial building sites. The applicant included a waiver request form to allow the driveways and parking that serve all three commercial buildings to be within the setback lines of the new subdivision lots. It is questionable whether the Planning Board can grant waivers of site plan setback restrictions as part of a subdivision application, and there is a site plan of record showing a different configuration of lot lines and setbacks. To fully rectify the site plan with the subdivision plan, the applicant submitted an amended site plan with a waiver request that have been incorporated into the application. Staff proposes reviewing and acting on the subdivision and amended site plan in combination.
  
3. The E-911 standards require that any driveway serving two or more properties must be named as a road for addressing and emergency response. The applicant has designated the driveway connecting Derry Road and Elm Avenue through the site as "Morgan Road." The stipulations require installation of street signs at the two driveway entrances. The Town Engineer has requested that a note be added to the plan that the road must remain private to clarify that the Town will not be responsible for its maintenance.

**APPLICATION TRACKING:**

February 20, 2018 – Subdivision application submitted.

March 7, 2018 – Amended site plan & waiver request submitted.

March 14, 2018 – Initial public hearing scheduled.

**RECOMMENDED ACTION:** For this meeting, staff recommends application acceptance, conduct the public hearing, and consider subdivision and amended site plan approval in accordance with the below DRAFT MOTIONS. In the event that the Board determines more time is needed to review the application, a motion for deferment is provided after the draft acceptance motion.

**DRAFT MOTION TO ACCEPT:**

I move to accept the 3-lot subdivision and amended site application for 120 Derry Road, Map 156/Lots 15 & 16.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**DRAFT MOTION TO DEFER:**

I move to defer consideration of this application date specific to the March 14, 2018 Planning Board meeting.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**WAIVER MOTIONS:**

- 1) HR 276 – 11.1.B. (12) – No parking or driveways to be located within required building setbacks

I move to grant the requested waiver of HR 276 – 11.1.B. (12) – No parking or driveways to be located within required building setbacks, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**MOTION TO APPROVE:**

I move to approve the subdivision plan and amended site plan entitled: SUBDIVISION PLAT “120 DERRY ROAD”, Tax Map 156, Lots 15 & 16, Derry Road (Rte 102) Hudson, NH, prepared by Jones & Beach Engineers, Inc., 85 Portsmouth Ave., Stratham, NH, dated February 20, 2018, consisting of Sheets S-1 and S-2 and AMENDED SITE PLAN “120 DERRY ROAD”, Tax Map 156, Lots 15 & 16, Derry Road (Rte 102) Hudson, NH, prepared by Jones & Beach Engineers, Inc., 85 Portsmouth Ave., Stratham, NH, dated 14 AUG 17 (Revised 2-1-18), consisting of Sheet C2-A subject to the following stipulations:

- 1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Subdivision Plan and Amended Site Plan.
- 2. All monumentation shall be set or bonded for prior to the Planning Board endorsing the Subdivision Plan-of-Record.
- 3. The applicant shall install street signs meeting the requirements of the Highway Department for the private road prior to Planning Board endorsing of the Subdivision Plan-of-Record.
- 4. All stipulations of the Site Plan of Record approved by the Planning Board on October 11, 2017 shall remain in effect for the amended site plan, and Note 30 of the amended site plan shall be revised to state that all approval conditions of H.C.R.D 39564 remain in effect.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_.



# JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885  
603.772.4746 - JonesandBeach.com



February 6, 2018

Hudson Planning Department  
Attn: George Thebarga, Planner  
12 School Street  
Hudson, NH 03051

**RE: Subdivision Application  
120 & 126 Derry Road, Hudson, NH  
Tax Map 156, Lots 15 & 16  
JBE Project No. 14053**

Dear Mr. Thebarga,

On behalf of our client, Hudson Enterprises, LLC, Jones & Beach Engineers, Inc., respectfully submits a Subdivision Application for the property referenced above. The reason for the application is to consolidate Tax Map 156, Lots 15 & 16 and subdivide three lots with frontage on Derry Road.

The following is provided in support of this application:

1. Seventeen copies of cover letter/project narrative.
2. One original and one copy of completed Subdivision Plan Application.
3. Letters of Authorization.
4. Current Deed.
5. Abutters List with Tax Map and 3 Sets of Mailing Labels.
6. Tax Maps.
7. A check for application and abutter notification fees in the amount of \$719.09.
8. Nine (9) full-size plan sets (folded).
9. Seventeen (17) half-size plan sets (folder).
10. Exhibit C – Declaration of Covenants and Reciprocal Easement Agreement.

Also, enclosed is a copy of our September 22, 2017 cover letter and first page of the prior Subdivision Application. Last fall we were advised by the Town Planner, John Cashell, not to proceed with a subdivision, but to propose a site plan only under HZ70 §334-10,B. As you know, the Board approved one Site Plan on October 11, 2017.

Thank you very much for your time. If you have any questions, or any additional information, please contact our office.

Very truly yours,

**JONES & BEACH ENGINEERS, INC.**



Wayne Morrill  
Vice President

cc: Jeff Gove, Hudson Enterprises, LLC (via email)

**JONES & BEACH**  
ENGINEERS INC.

**SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW  
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: February 5, 2018 Tax Map # 156 Lot # 15 & 16

Name of Project: 120 Derry Road

Zoning District: \_\_\_\_\_ General SB# \_\_\_\_\_  
(For Town Use) (For Town Use)

ZBA Action: \_\_\_\_\_

**PROPERTY OWNER:**

**DEVELOPER:**

Name: Hudson Enterprises, LLC

Same as Owner

Address: 7 Thornton St.

Address: Seabrook, NH 03874

Telephone # \_\_\_\_\_

Fax # \_\_\_\_\_

Email: \_\_\_\_\_

**PROJECT ENGINEER**

Name: Wayne Morrill, Jones & Beach Engineers, Inc.

Telephone # 603-772-4746

Address: PO Box 219

Fax # \_\_\_\_\_

Address: Stratham, NH 03885

Email: wmorrill@jonesandbeach.com

**PURPOSE OF PLAN:**

The applicant proposes the lot consolidation of Map 156, Lots 15 & 16 and subdivision of three lots with frontage on Derry Road.

**(FOR TOWN USE)**

Plan Routing Date: \_\_\_\_\_ Sub/Site Date: \_\_\_\_\_

\_\_\_\_\_ I have no comments \_\_\_\_\_ I have comments (attach to form)

(Initials) Title: \_\_\_\_\_ Date: \_\_\_\_\_

**DEPT:**

\_\_\_\_\_ Zoning \_\_\_\_\_ Engineering \_\_\_\_\_ Assessor \_\_\_\_\_ Police \_\_\_\_\_ Fire \_\_\_\_\_ Planning  
\_\_\_\_\_ Consultant \_\_\_\_\_ Highway Department

Fees Paid \_\_\_\_\_



**LOT AREA CALCULATION TABLE**

<b>LOT #</b>	<b>TOTAL AREA</b>	<b>WETLAND AREA</b>	<b>AREA &gt; 25% SLOPE</b>	<b>BUILDABLE AREA (net contiguous upland useable)</b>	<b>FRONTAGE</b>
1.	100,725 SF (2.31 AC)	0	0	100,725 SF	310'
2.	102,573 SF (2.35 AC)	0	0	102,573 SF	208'
3.	212,372 SF (4.88 AC)	18,040 SF	9,610 SF	184,722 SF	433'
4.					
5.					
6.					
7.					
8.					
9.					
10.					

Data Sheets Checked By: Ian MacKinnon Date: 8/22/17



**SUBDIVISION/SITE PLAN WAIVER REQUEST FORM**

Name of Subdivision/Site Plan: Amended Site Plan - 120 Derry Road, HCRD Plan No. 39564

Street Address: 120 Derry Road

I Jeffrey Gove hereby request that the Planning Board waive the requirements of item HR 276.11.1.B(12) of the Subdivision/Site Plan Checklist in reference to a plan presented by Jones & Beach Engineers, Wayne Morrill

(name of surveyor and engineer) dated 2/1/18

for property tax map(s) 156 and lot(s) 15 & 16

in the Town of Hudson, NH.


As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The applicant requests a waiver from the requirement that no parking areas or travel ways may be located in the lot setbacks. The Amended Site Plan will include driveways and parking areas in the side setbacks but access easements will be established for each proposed lot.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

Better traffic movement and parking space locations to meet the site plan regulations are the reasons that parking spaces are within set back areas, and driveways have been located across internal lot lines.

Signed:   
Applicant or Authorized Agent

Planning Board Action:

Waiver Granted \_\_\_\_\_

Waiver Not Granted \_\_\_\_\_

## Thebarge, George

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**From:** Dhima, Elvis  
**Sent:** Friday, February 23, 2018 7:10 AM  
**To:** Thebarge, George  
**Cc:** Dubowik, Brooke; Burns, Kevin  
**Subject:** 120 Derry Road

George

Applicant shall add note to the site plan stating

“Proposed Morgan Road shall remain private”

Thank you

E

*Elvis Dhima, P.E.*  
*Town Engineer*

Town of Hudson, NH  
12 School Street  
Hudson, NH 03051  
Phone: (603) 886-6008  
Mobile: (603) 318-8286



**Town of Hudson**  
NEW HAMPSHIRE 03051



# TOWN OF HUDSON

## Planning Board

Glenn Della-Monica, Chairman

Marilyn McGrath, Selectmen Liaison



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12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

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**PUBLIC MEETING  
TOWN OF HUDSON, NH  
MARCH 14, 2018  
(Addendum#1)**

In addition to items already scheduled and posted for review at the March 14, 2018 Planning Board Meeting, the following item is scheduled to be heard:

### **XIV. NEW BUSINESS**

- A. 120 Derry Road Amended Site Plan & Waiver Request      120 & 126 Derry Road  
SP# 11-17      Map 156/ Lots 015 & 016

Purpose of Plan: to propose a waiver request from the requirement that no parking areas or travel ways may be located in the lot setbacks. The amended Site Plan will include driveways and parking areas in the side setbacks but access easements will be established for each proposed lot. Site Plan was approved 11 OCT 17, HCRD 39564. Application Acceptance & Hearing.

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting.

The public is invited to attend.

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George Theborge, AICP  
Land Use Director

POSTED: Town Hall, Library, Post Office – 3/7/18



**MINUTES/DECISIONS OF THE PLANNING BOARD  
MEETING DATE: FEBRUARY 28, 2018**

In attendance = X; Alternates Seated = S; Partial Attendance = P; Excused  
Absence = E

Glenn Della-Monica Chairman <u> X </u>	Timothy Malley Vice-Chair <u> X </u>	William Collins Secretary <u> E </u>	Charles Brackett Member <u> E </u>
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Jordan Ulery Member <u> X </u>	Dillon Dumont Member <u> X </u>	Elliott Veloso Alternate <u> S </u>	Ed Van der Veen Alternate <u> S </u>
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Ethan Meinhold Alternate <u> E </u>	Marilyn McGrath Select. Rep. <u> E </u>	David Morin Alt. Select. Rep. <u> S </u>
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Meeting called to order at approximately 7:00 p.m.

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES

Chairman Della-Monica appointed Mr. Veloso, Mr. Van der Veen, and Selectman Morin as voting members.

- V. ELECTION OF OFFICERS
- VI. MINUTES OF PREVIOUS MEETING(S)

- 24 January 18 Meeting Minutes – Decisions

Mr. Ulery stated that Selectman McGrath had emailed corrections. She and Mr. Brackett had voted against the item on Page 2.

Chairman Della-Monica observed that the vote tally was there but not the names of those in opposition.

Mr. Malley pointed out that Mr. Ulery was present at the meeting but Mr. Veloso was appointed in his place.

Chairman Della-Monica noted that Mr. Ulery came in late and Mr. Veloso was appointed just until he came in a minute or so into the meeting. That note in the minutes should be deleted.

Mr. Malley moved to approve the 10 January 18 Meeting Minutes (as written/amended).

Motion seconded by Mr. Van der Veen. Motion carried.

- VII. CASES REQUESTED FOR DEFERRAL
- VIII. CORRESPONDENCE
- IX. PERFORMANCE SURETIES
- X. ZBA INPUT ONLY
- XI. PUBLIC HEARINGS
- XII. OLD BUSINESS/PUBLIC HEARINGS
- XIII. DESIGN REVIEW PHASE
- XIV. CONCEPTUAL REVIEW ONLY
  
- XV. NEW BUSINESS/PUBLIC HEARINGS

- A. McDonald's Restaurant Remodel Site Plan 75 Derry Street  
SP#02-18 Map 165/Lot 155-  
001

Purpose of Plan: to renovate an approximately 3,000 square foot single story fast food restaurant with drive-thru, improvements to ensure compliance with ADA regulations, and other minor site improvements. Application Acceptance & Hearing.

Mr. Ulerly moved to grant the Site Plan application for 75 Derry Street, Map 165/Lot 155-001.

Motion seconded by Mr. Malley. All in favor – motion carried.

**WAIVER MOTIONS:**

- 1) HR 275-9.A – Requirement for a stormwater management plan

Mr. Veloso moved to grant the requested waiver HR 275-9.A – Requirement for a stormwater management plan based on staff analysis and the testimony of the Applicant's representative here this evening.

Motion seconded by Mr. Dumont. All in favor – motion carried.

- 2) HR 276-11.1 (24) – Required open space

Mr. Veloso moved to grant the requested waiver HR 276-11.1 (24) – Required open space based on staff analysis and the testimony of the Applicant's representative here this evening.

Motion seconded by Mr. Van der Veen. All I favor – motion carried.

Mr. Veloso moved to approve the Site Plan entitled: Site Development Plans, McDonald's with Drive Through, 75 Derry Road, Town of Hudson, NH, (Map

165/Lot 155-1), prepared by Boehler Engineering, 75 Federal St., Boston, MA, dated 13 October 2017 (Revisions through 15 February 2018) and consisting of Sheets C1-C9, Boundary & Partial Topo Plans by Control Point Associates, and Sheets A.1, A.2.0, and A.2.1:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Site Plan-of-Record.
2. All improvements shown on the Site Plan-of-Record shall be completed in their entirety and at the expense of the Applicant or his assigns.
3. Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Land Use Department, confirming that the site conforms to the Planning Board approved site plan.
4. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No construction activities shall be allowed on Sundays.
5. Hours of refuse removal shall be exclusive to the hours between 7:00 A.M. and 9:00 P.M. Monday through Saturday only and prohibited on Sunday.
6. This plan shall be subject to final engineering review and approval by CLD and Town staff.

Motion seconded by Mr. Van der Veen. All in favor – motion carried.

B. 30 Robin Drive 2-Lot Subdivision  
SB#02-18

30 Robin Drive  
Map 157/Lot 060

Purpose of Plan: to subdivide Map 157/Lot 060 into two separate lots for residential use. Application Acceptance & Hearing.

Mr. Malley moved to grant the 2-Lot Subdivision application for 30 Robin Drive, Map 157/Lot 060.

Motion seconded by Mr. Morin. All in favor – motion carried.

Mr. Malley moved to grant the subdivision plan entitled: Residential Subdivision Plan, 30 Robin Drive, Map 157, Lot 60, 30 Robin Drive, Hudson, NH, prepared by Keach-Nordstrom Associates, Inc., 10 Commerce Park N, Bedford, NH, dated: December 21, 2017 (Revised Feb. 14, 2018), consisting of Sheets 1 – 6 and Notes 1 – 20:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Subdivision Plan and all agreed upon easement deeds.
2. A cost allocation procedure (CAP) amount of \$5759 per residential lot shall be paid prior to the issuance of a Certificate of Occupancy for the new house lot.

3. All monumentation shall be set or bonded for prior to the Planning Board endorsing the Plan-of-Record.
4. The applicant shall install a street sign meeting the requirements of the Highway Department for the private way prior to Planning Board endorsing the Plan-of-Record.
5. Approval of this plan shall be subject to final engineering review, including the location of utility connections with respect to the new driveway.
6. Construction activities involving the proposed undeveloped lots shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday.

Motion seconded by Mr. Ulery. All in favor – motion carried.

- |   |                                      |
|---|--------------------------------------|
| C. Federal Street 2-Lot Subdivision<br>SB#03-18 | 11 Federal Street<br>Map 165/Lot 058 |
|---|--------------------------------------|

Purpose of Plan: to subdivide the Map 165/Lot 058 into two separate conforming single family residential lots. Application Acceptance & Hearing.

Mr. Malley moved to grant the 2-Lot Subdivision application for 11 Federal Street, Map 165/Lot 058.

Motion seconded by Mr. Ulery. All in favor – motion carried.

Mr. Malley moved to grant the subdivision plan entitled: Jean Subdivision Plan, 11 Federal Street, Map 165, Lot 058, prepared by M.L. Grainger Engineering, Inc., 220 Derry Road, Hudson, NH, dated: November 15, 2017 (no revision date), consisting of Sheets 1 - 3 and Notes 1 – 22:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Plan.
2. A cost allocation procedure (CAP) amount of \$5759 per residential lot shall be paid prior to the issuance of a Certificate of Occupancy for the new house lot.
3. All monumentation shall be set or bonded for prior to the Planning Board endorsing the Plan-of-Record.
4. Approval of this plan shall be subject to final engineering review.
5. Construction activities involving the proposed undeveloped lots shall be limited to the hours between 7:00 A.M. and 7:00 P.M. No exterior construction activities shall occur on Sunday.

Motion seconded by Mr. Ulery. All in favor – motion carried.

## XVI. OTHER BUSINESS

- A. Develop Planning Board Action Plan for 2018, Including Review of the Zoning Ordinance Review Committee's (ZORC) ongoing efforts to update the Town's Zoning Ordinance and possible amendments to the Land Use Regulations and Planning Board Bylaws.

Mr. Thebarg presented the Board members with a draft "Land Use Policy" dealing with parking setbacks and buffers. He described it as a policy document that is intended to clarify staff and Board interpretations and applications of the zoning and land use regulations. Both the Zoning Ordinance and Land Use Regulations contain setbacks related to parking, and they not all in sync with each other and some are unclear. The Land Use Policy sorts through the State statutes, the Zoning Ordinance, Land Use Regulations, and past practice to come up with a summary of how applications will be processed under those various regulatory provisions.

Mr. Thebarg proposed that staff draft a series of Land Use Policies on similar issues that have come up in the past and present them to the Boards for input and direction. Board members could submit additional issues and staff would prepare draft Land Use Policies to address them. Once the Boards and staff are good with the drafts, they could be presented to the Board of Selectmen for review and approval. That way, applicants, staff, Board members, and Selectmen would all know how the rules are being interpreted and applied. This could help resolve conflicts between various opinions on how the rules should be interpreted and applied and improve communications and consistency.

Finally, Mr. Thebarg proposed that the development of the Land Use Policies be the Zoning Ordinance Review Committee process for this year. The process would identify needed changes. The simplest way to accomplish those changes might be to amend a Land Use Policy (interpretation of existing regulations). If it couldn't be "fixed" with a LU Policy, the next most rigorous process would be to amend the Land Use Regulations. There will be some needed changes that can only be accomplished through Zoning Ordinance amendments that require approval at Town Meeting. This process could focus those ZO amendments to issues that can't be addressed using the other tools.

Chairman Della-Monica indicated that in past years, the ZORC process alternated between doing Zoning Ordinance amendments and Land Use Regulations amendments. This makes sense to review both together.

Mr. Thebarg also offered that the process could be more efficient if Board members focused on policy direction and asked staff to work on the detailed technical language to accomplish that policy direction. For the Boards to get bogged down in the technical wording changes is frustrating and prevents accomplishing the full program goals.

Chairman Della-Monica pointed out that the Boards and Selectmen would have final say on the wording. Mr. Thebarg agreed.

The Planning Board members present unanimously endorsed moving forward on this process track.

Selectman Morin asked that a joint meeting of the Zoning Board and Planning Board be convened to discuss the proposed process as soon as possible.

Mr. Theborge asked the Board to consider a possible process for expediting change of use applications. The ZORC recommended to the Planning Board creating a staff review committee to look at change of use where no external changes are proposed. The Planning Board felt that abutters should get notice and have opportunity to give comment and decided not to send that proposed amendment to the voters.

Chairman Della-Monica pointed to the minor site plan review process as an option.

Mr. Theborge noted that that process is almost the same as full Planning Board review. It requires a survey and site plan, and it often ends up being referred to the full Board, adding time and expense to applicants. He pointed to a 2007 application for change of use at the bank across the way on Baker and Derry Street. The Planning Board accepted a conceptual review of the proposal to change tenants and granted a waiver of full site plan review. This would significantly reduce applicant time and expense while giving notice and opportunity for neighbor input.

Mr. Malley indicated that he was the applicant in that bank change of use application, which is why he supported keeping the Planning Board review process in place.

Chairman Della-Monica stated that this process has been used on other applications as well.

The Board members present unanimously endorsed treating change of use applications where no exterior changes are involved as conceptual reviews with option to waive site plan review submissions.

B. Letter from Betsy Gamrat on Cyclist/Pedestrian Safety of Town CMAQ project

The Planning Board received a letter from Betsy Gamrat of 8 Muldoon Drive requesting opportunity to discuss with the Board provisions to allow cyclists and pedestrians to travel safely on 3A/Lowell Rd with respect to the CMAQ application filed by the Town.

Mr. Theborge said that he had been in communication with the letter's author and indicated problems with only installing a cyclist crossing on that one bridge approach that would encourage cyclists to go down through that set of busy Lowell Road intersections. This can't be done with piecemeal safety improvements but requires a comprehensive bicycle & pedestrian analysis for that whole area of Lowell Road. There are sidewalks and an off-road path there now.

The Planning Board members present unanimously decided that they have no jurisdiction over that project and asked Mr. Theborge to refer Ms. Gamrat to the State agencies that have authority over it.

XVII. ADJOURNMENT

Motion to adjourn by Mr. Ulery. Seconded by Mr. Dumont. All in favor – motion carried.

Meeting adjourned at 8:30 p.m.

\_\_\_\_\_  
William Collins  
Secretary

MAP 234, LOT 1  
 SITE PLAN

# PROPOSED SITE PLAN

2 FRIEL GOLF ROAD  
 HUDSON, NEW HAMPSHIRE



PREPARED FOR/RECORD OWNER

## STEELE FARM, LLC

2 FRIEL GOLF ROAD  
 HUDSON, NEW HAMPSHIRE 03051  
 (603) 882-8893

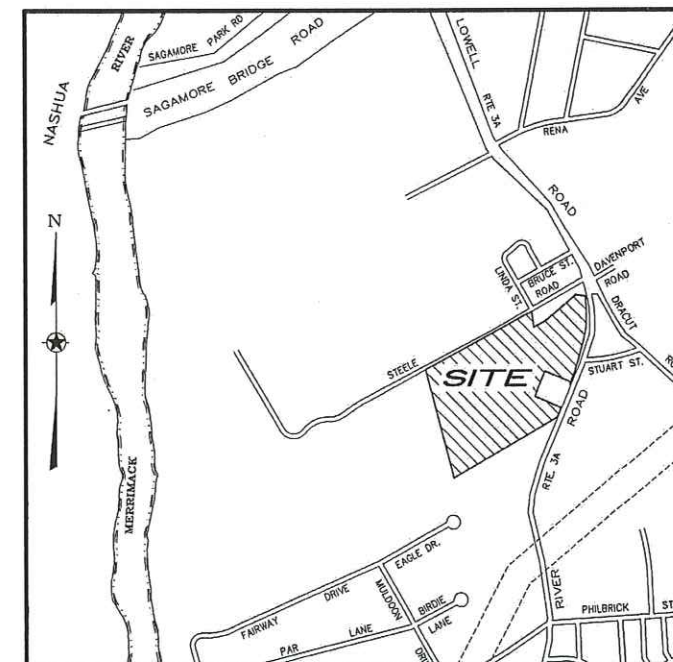
16 JANUARY 2018

REVISED  
 20 FEBRUARY 2018

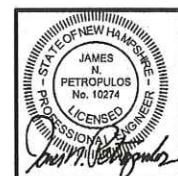
INDEX OF PLANS	
SHEET No.	TITLE
1 OF 7	MASTER SITE PLAN 1" = 120'
2 OF 7	EXISTING CONDITIONS PLAN 1" = 30'
3 OF 7	SITE PLAN 1" = 30'
4 OF 7	SEPTIC SYSTEM PLAN & PROFILE 1" = 20'
5 OF 7	SEPTIC SYSTEM DETAIL SHEET
6-7 OF 7	DETAIL SHEET - GENERAL SITE

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.	APPROVED BY THE HUDSON, NH PLANNING BOARD DATE OF MEETING: _____ _____ SIGNATURE DATE _____ _____ SIGNATURE DATE _____
	SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

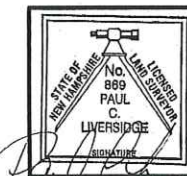


VICINITY PLAN  
 SCALE: 1" = 1,000'



**HSI** Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors  
 3 Congress Street Nashua, NH 03062 (603) 883-2057  
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501  
 www.hayner-swanson.com



2-26-18



ABUTTERS LIST:

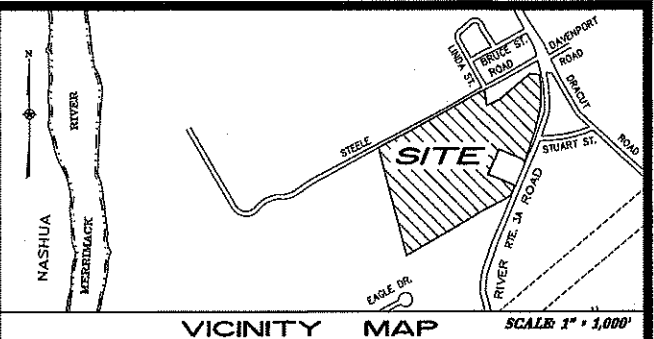
- MAP 234 LOT 2 STATE OF NH DIVISION OF PUBLIC WORKS 7 HAZEN DRIVE CONCORD, NH 03302-0463 BK 4919 PG 69

ZONING NOTE

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY, SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

WAIVER REQUESTED:

1. 275-8(2) PARKING PERMIT: THE STATE OF NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES, APPROVAL FOR CONSTRUCTION OF INDIVIDUAL SEWAGE DISPOSAL SYSTEM (SDS) APPROVAL No.:



PLAN REFERENCES:

- 1. PLAN OF LAND OF GORDON B. TATE, LOWELL ROAD, HUDSON, NEW HAMPSHIRE, SCALE: 1"=50', DATED: MAY 1986 WITH AMENDMENTS THRU FEBRUARY 1989, PREPARED BY: NED SPAULDING, CIVIL ENGINEER. RECORDED: HCRD - PLAN No. 1701.

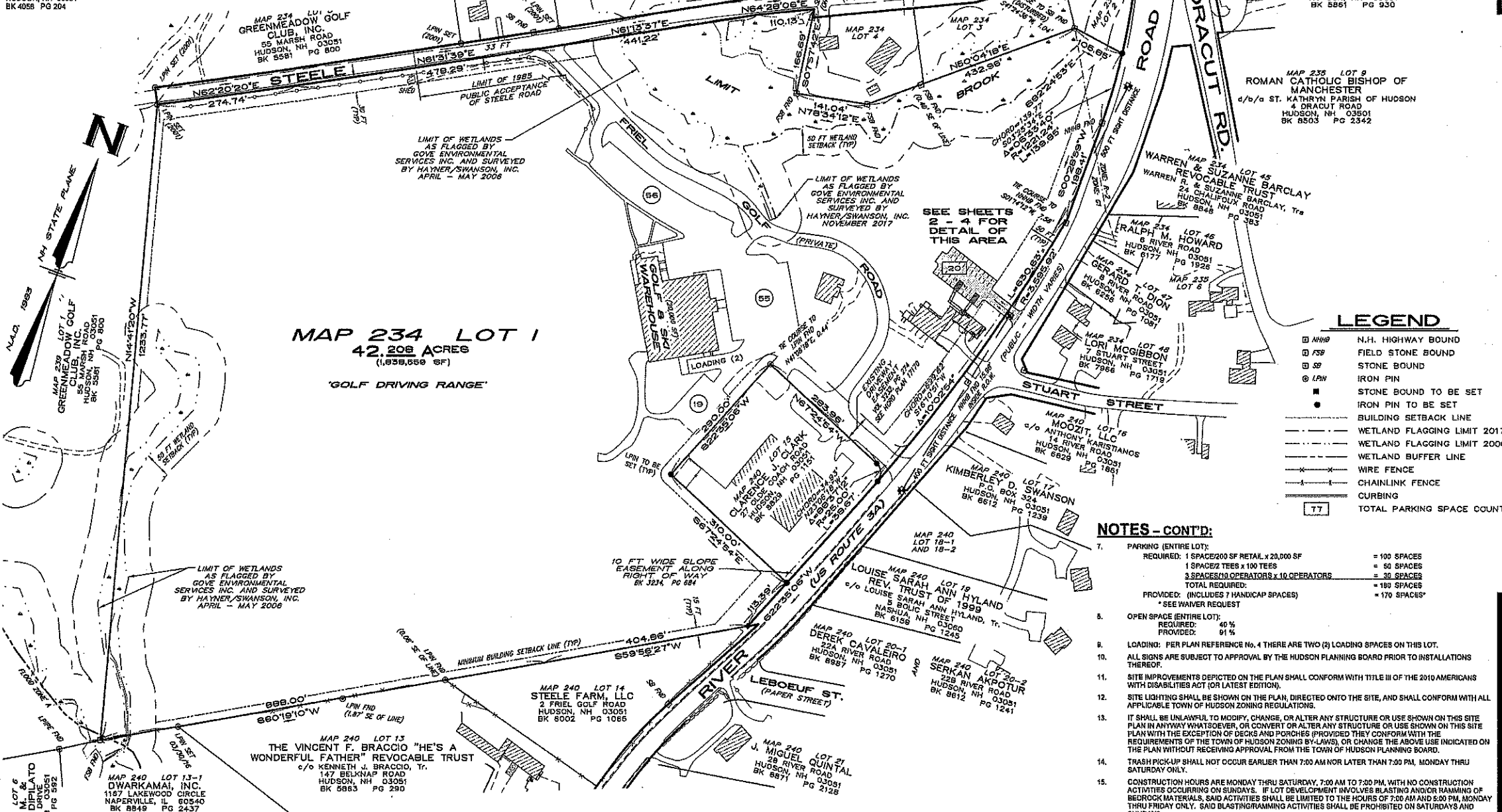
LEGEND

- N.H. HIGHWAY BOUND
FIELD STONE BOUND
STONE BOUND
IRON PIN
STONE BOUND TO BE SET
IRON PIN TO BE SET
BUILDING SETBACK LINE
WETLAND FLAGGING LIMIT 2017
WETLAND FLAGGING LIMIT 2006
WETLAND BUFFER LINE
WIRE FENCE
CHAINLINK FENCE
CURBING
TOTAL PARKING SPACE COUNT

NOTES - CONT'D:

- 7. PARKING (ENTIRE LOT): REQUIRED: 1 SPACE/200 SF RETAIL x 20,000 SF = 100 SPACES
8. OPEN SPACE (ENTIRE LOT): REQUIRED: 40% PROVIDED: 91%
9. LOADING: PER PLAN REFERENCE NO. 4 THERE ARE TWO (2) LOADING SPACES ON THIS LOT.

MAP 234 LOT 1 42.208 ACRES (1,899,658 SF) 'GOLF DRIVING RANGE'



EASEMENTS, RIGHTS AND RESTRICTIONS:

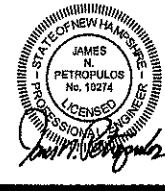
- 1. SUBJECT TO RIGHT TO CONSTRUCT AND MAINTAIN RESERVOIRS AS DESCRIBED AT BK 1903, PG 008.
2. SUBJECT TO DEVELOPMENT AGREEMENT WITH THE TOWN OF HUDSON RECORDED AT BK 5982, PG 65.
3. SUBJECT TO A SLOPE RELEASE TO THE STATE OF NEW HAMPSHIRE AS DESCRIBED AT BK 2378, PG 200.

CERTIFICATION

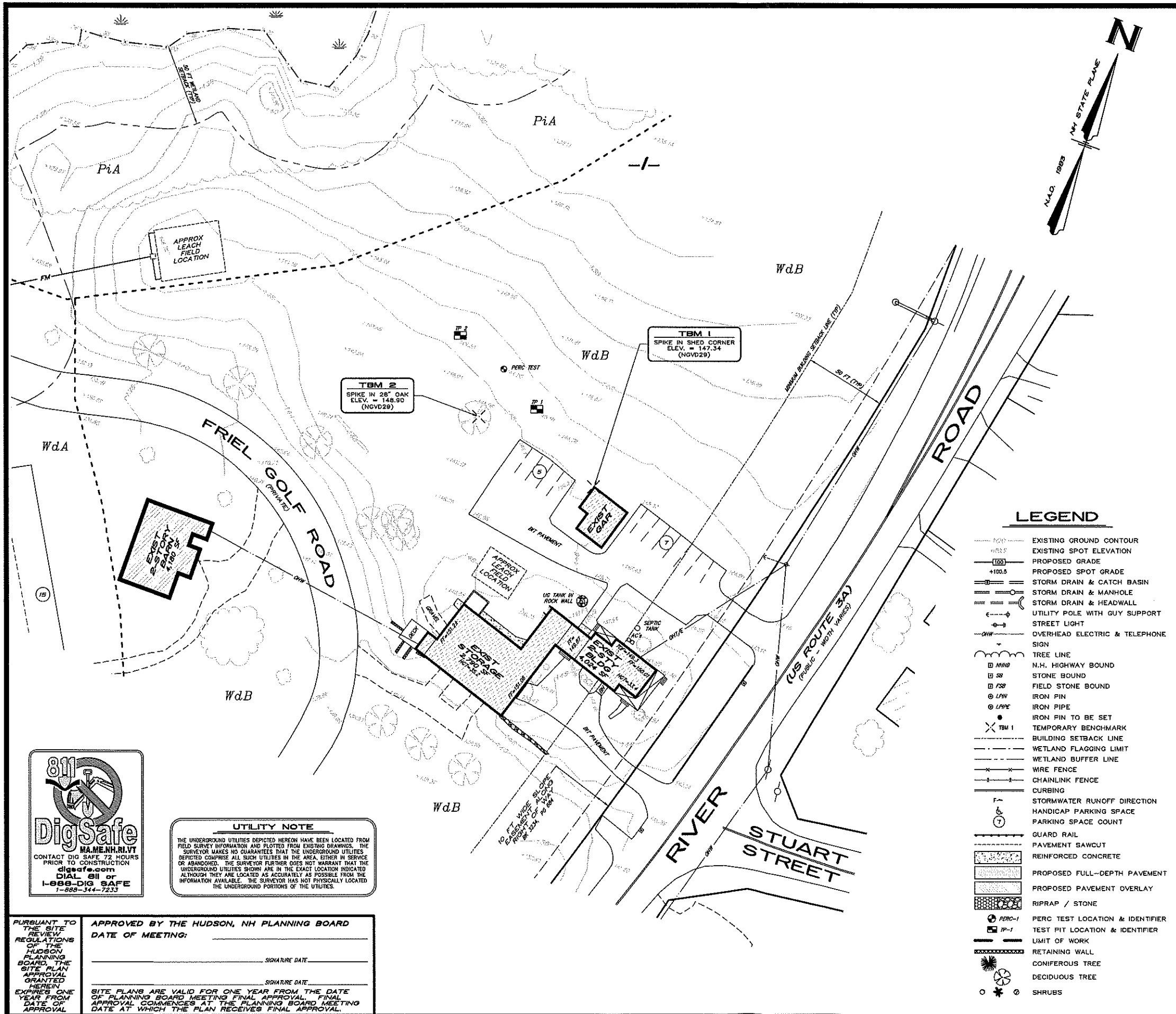
PURSUANT TO RSA 676:18,III AND RSA 672:14 I CERTIFY THAT THIS SURVEY PLAT IS NOT SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM THE DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD DATE OF MEETING: SIGNATURE DATE: SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



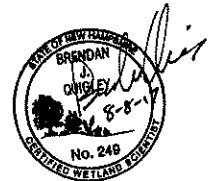
MASTER SITE PLAN (MAP 234, LOT 1) PROPOSED SITE PLAN 2 FRIEL GOLF ROAD HUDSON, NEW HAMPSHIRE PREPARED FOR/RECORD OWNER: STEELE FARM, LLC 2 FRIEL GOLF ROAD HUDSON, NEW HAMPSHIRE 03051 (603) 862-6893 16 JANUARY 2018 HSI Hayner/Swanon, Inc. Civil Engineers/Land Surveyors 3 Congress Street Nashua, NH 03063 (603) 883-2057 www.hayner-swanon.com



**SURVEY NOTES:**

1. THE EXISTING TOPOGRAPHY, AS SHOWN ON THIS PLAN, IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND IN NOVEMBER 2017.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
3. UTILITIES SHOWN ARE APPROXIMATE BASED ON RECORD PLANS AND OBSERVED EVIDENCE.
4. SURVEY CONTROL DATA:  
HORIZONTAL DATUM: NH STATE PLANE  
PROJECTION: N.A.D. 1983  
VERTICAL DATUM: NGVD29\*  
UNITS: US SURVEY FEET  
\* VERTICAL DATUM WAS VERIFIED USING GPS (KEYNET NETWORK) BY TAKING OBSERVATIONS ON SITE AND ON NGS (FORMERLY USGS) "DISK C-26" LOCATED ON THE NORTHERLY SIDE OF RTE 101A APPROXIMATELY 4.5 MILES WEST OF THE NASHUA LIBRARY.
5. THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.

THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE WITH THE U.S. ARMY CORPS OF ENGINEERS JANUARY 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST (REGION 2).  
WETLAND DELINEATION PREPARED BY:  
GOVE ENVIRONMENTAL SERVICES  
BRENDAN J. QUIGLEY  
CERTIFIED WETLAND SCIENTIST (#249)



SOIL SURVEY STAFF, NATURAL RESOURCES CONSERVATION SERVICE, UNITED STATES DEPT. OF AGRICULTURE. WEB SOIL SURVEY, AVAILABLE ONLINE AT <http://websoilsurvey.nrcs.usda.gov/> ACCESSED DECEMBER 5, 2017.  
**SOILS DATA**  
PiA PIPESTONE LOAMY SAND  
WdA WINDSOR LOAMY SAND  
WdB WINDSOR LOAMY SAND  
--- SOIL BOUNDARY

- LEGEND**
- EXISTING GROUND CONTOUR
  - +100.5 EXISTING SPOT ELEVATION
  - +100.5 PROPOSED GRADE
  - +100.5 PROPOSED SPOT GRADE
  - STORM DRAIN & CATCH BASIN
  - STORM DRAIN & MANHOLE
  - STORM DRAIN & HEADWALL
  - UTILITY POLE WITH GUY SUPPORT
  - STREET LIGHT
  - OVERHEAD ELECTRIC & TELEPHONE SIGN
  - TREE LINE
  - N.H. HIGHWAY BOUND
  - STONE BOUND
  - FIELD STONE BOUND
  - IRON PIN
  - IRON PIPE
  - IRON PIN TO BE SET
  - TEMPORARY BENCHMARK
  - BUILDING SETBACK LINE
  - WETLAND FLAGGING LIMIT
  - WETLAND BUFFER LINE
  - WIRE FENCE
  - CHAINLINK FENCE
  - CURBING
  - STORMWATER RUNOFF DIRECTION
  - HANDICAP PARKING SPACE
  - PARKING SPACE COUNT
  - GUARD RAIL
  - PAVEMENT SAWCUT
  - REINFORCED CONCRETE
  - PROPOSED FULL-DEPTH PAVEMENT
  - PROPOSED PAVEMENT OVERLAY
  - RIPRAP / STONE
  - PERC-1 PERC TEST LOCATION & IDENTIFIER
  - TP-1 TEST PIT LOCATION & IDENTIFIER
  - LIMIT OF WORK
  - RETAINING WALL
  - CONIFEROUS TREE
  - DECIDUOUS TREE
  - SHRUBS

**UTILITY NOTE**  
THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

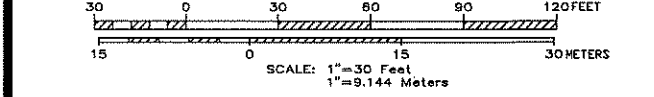


**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
DATE OF MEETING: \_\_\_\_\_  
SIGNATURE DATE: \_\_\_\_\_  
SIGNATURE DATE: \_\_\_\_\_  
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

No.	DATE	REVISION	BY
1	02/20/18	ADDRESS PEER REVIEW COMMENTS	JP

EXISTING CONDITIONS PLAN (MAP 234, LOT 1)  
**PROPOSED SITE PLAN**  
2 FRIEL GOLF ROAD  
HUDSON, NEW HAMPSHIRE

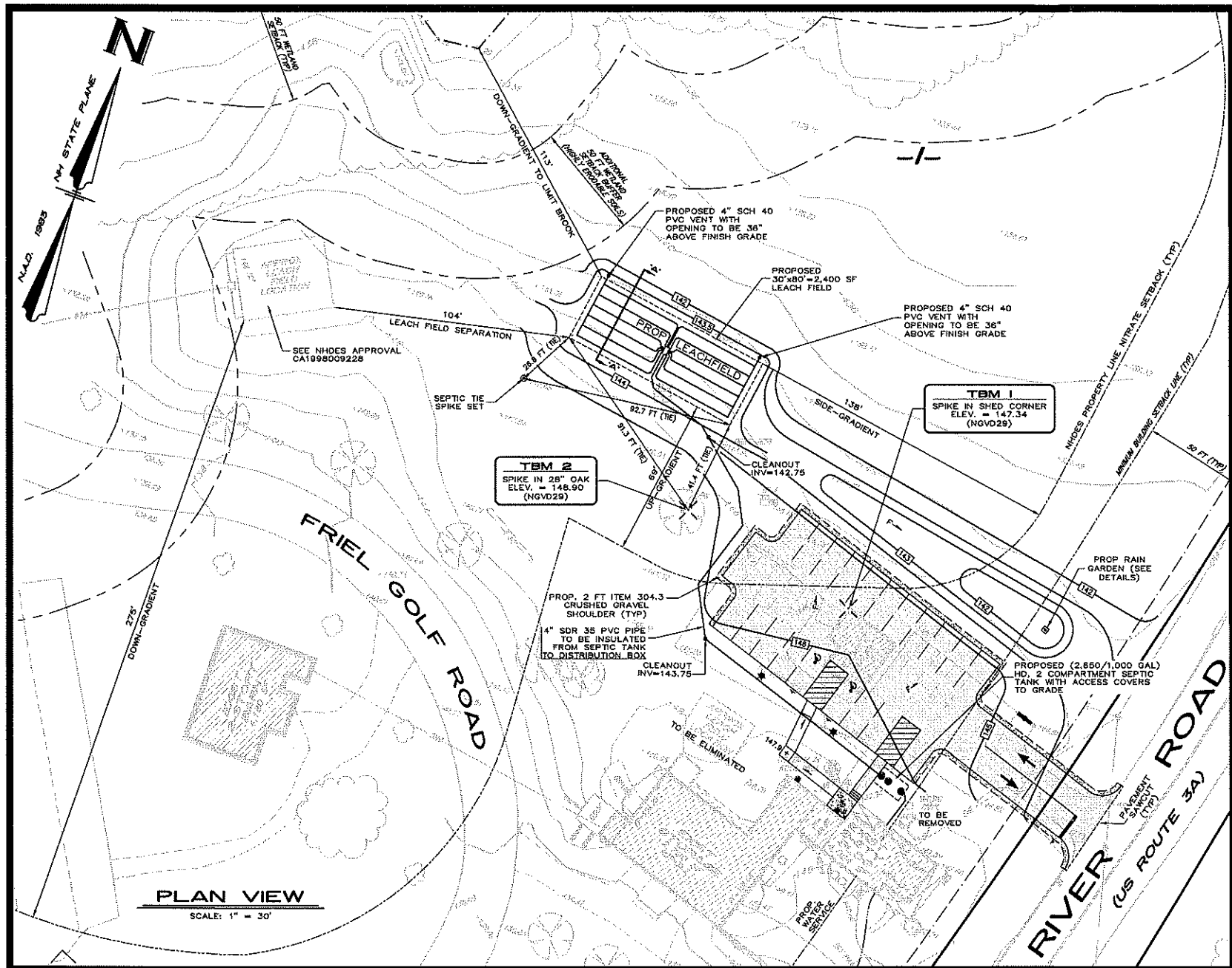
PREPARED FOR/RECORD OWNER:  
**STEELE FARM, LLC**  
2 FRIEL GOLF ROAD HUDSON, NEW HAMPSHIRE 03051 (603) 882-8893



16 JANUARY 2018

**HISI** Hayner/Swanson, Inc.  
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131 Middlesex Turnpike  
Burlington, MA 01803  
(781) 203-1501  
[www.haynerswanson.com](http://www.haynerswanson.com)





**SEPTIC SYSTEM NOTES:**

- PERCOLATION RATE 2 MINUTES PER INCH, DATE: NOVEMBER 9, 2017.
- BOTTOM ELEVATION OF PERCOLATION TEST HOLE - SEE TEST PIT DATA.
- NATURAL RESOURCES CONSERVATION SERVICE SOIL CLASSIFICATION - WINDSOR (W6B).
- ELEVATION OF SEASONAL HIGH WATER MARK (MOTTLED LINE): 292.
- GROUND WATER ENCOUNTERED AT ELEVATION - NONE OBSERVED.
- LEDGE ENCOUNTERED AT ELEVATION - NONE OBSERVED.
- ESTIMATED SEWAGE LOAD = 1,700 GPD.
- SEPTIC TANK (2650/1000 DUAL COMPARTMENT A TOTAL OF 3,650 GAL) AND DISTRIBUTION BOX (12-OUTLET) TO BE PRECAST CONCRETE AND TO BE SUPPLIED BY PHOENIX PRECAST PRODUCTS, CONCORD, NH (800) 839-2199. WWW.PHOENIXPRECAST.COM OR APPROVED EQUAL. SEPTIC TANK SHALL HAVE INLET AND OUTLET BAFFLES (PVC TEES) INSTALLED PER NHDES - EN-W6 1010.07.
- THIS SEPTIC SYSTEM HAS BEEN DESIGNED TO ACCOMMODATE SETBACKS FOR FOUNDATION DRAINS THE NEED FOR FOUNDATION DRAINS/SUMP PUMPS TO BE DETERMINED BY THE BUILDING CONTRACTOR.
- ALL TREES, BUSHES, BOULDERS, TOPSOIL AND DEBRIS MUST BE REMOVED PRIOR TO PLACING ACCEPTABLE FILL THROUGHOUT THE LEACH FIELD AREA. CLEAN SEPTIC SAND SHALL BE A MEDIUM TO COARSE SAND (0.25 TO 2.0 MM) (< 5% PASSING THE 200 SIEVE).
- DESIGN INTENT:
  - BED BOTTOM IS TO BE SET AT ELEVATION: 141.50.
  - THERE IS APPROXIMATELY 3.50 FEET BELOW ORIGINAL GROUND, ON THE HIGH CONTOUR OF THE DESIGNED EFFLUENT DISPOSAL AREA.
- THIS SYSTEM MUST BE INSTALLED IN STRICT ACCORDANCE WITH THE APPROVED PLAN. ANY CHANGES MUST BE APPROVED BEFORE ANY CONSTRUCTION IS STARTED.
- ANY DISCREPANCIES IN THE APPROVED PLANS AND THE ACTUAL SITE CONDITIONS MUST BE REPORTED BY THE INSTALLER TO THIS OFFICE PRIOR TO CONSTRUCTION.
- DESIGNER: PAUL F. CARIDEO, PERMIT NO. 98.
- FILL SHALL BE PLACED IN LAYERS OF NOT MORE THAN 10" IN THICKNESS AND EACH LAYER SHALL BE COMPACTED AS IT IS PLACED.
- AFTER THE REMOVAL OF THE UPPER SOIL HORIZON DURING THE INITIAL CONSTRUCTION PHASE, THE SOIL SURFACE SHALL THEN BE RAKED, IF NECESSARY, TO REMOVE ANY SMEARING OF THE SOIL SURFACE.
- THE CONTRACTOR SHALL PROVIDE READY ACCESS TO THE SEPTIC TANK FOR PUMPING AND ANY OTHER MAINTENANCE.
- CLEAN SEPTIC SAND SHALL MEET THE REQUIREMENTS OF NHDES EN-W5 TABLE 1021.03.
- SECTIONS OF PIPE FROM DISTRIBUTION BOX TO THE LATERALS IN LEACH BED SHALL BE SOLID.
- ANY FUTURE REPLACEMENT SYSTEM MAY HAVE TO BE CONSTRUCTED IN THE SAME AREA AS THE ORIGINAL SYSTEM.
- NO KNOWN SURFACE WATER OR POORLY DRAINED SOILS WITHIN 100' OF THE PROPOSED SEWAGE DISPOSAL SYSTEM UNLESS OTHERWISE SHOWN.
- NO KNOWN VERY POORLY DRAINED SOILS WITHIN 100' OF THE PROPOSED SEWAGE DISPOSAL SYSTEM UNLESS OTHERWISE SHOWN.
- TEST HOLE AND PERCOLATION TEST LOCATIONS ARE FIELD LOCATED.
- THIS SYSTEM IS DESIGNED ONLY TO ACCOMMODATE SANITARY SEWAGE ASSOCIATED WITH NORMAL DOMESTIC USAGE AND IS NOT DESIGNED FOR ROOF OR FOUNDATION DRAINS, GARBAGE GRINDERS, SAUNAS, HOT TUBS, JACUZZIS OR ANY OTHER USAGE.
- TANK JOINTS AND PIPES LEADING TO AND EXITING FROM SEPTIC TANKS, DISTRIBUTION BOXES, DWELLING AND PUMP CHAMBER (WHEN APPLICABLE) SHALL BE SEALED WITH NON-SHRINK MORTAR OR APPROVED EQUAL (NOT ROOFING TAR).
- THE SEPTIC TANKS SHALL BE INSPECTED FOR ACCUMULATION OF SLUDGE AND SURFACE SCUM AT LEAST ONCE EVERY YEAR.
- TO THE BEST OF MY KNOWLEDGE, THIS PLAN CONFORMS TO ALL APPLICABLE LOCAL SEPTIC SYSTEM ORDINANCES AND REGULATIONS.
- THE CONTRACTOR SHALL LOAM (4 TO 8 INCHES) AND SEED ON ALL DISTURBED AREAS.
- THE CONTRACTOR SHALL MAINTAIN DEWATERED CONDITIONS AT SEPTIC TANK EXCAVATIONS UNTIL BACKFILLED TO FINISH GRADE OR FILL TANKS WITH WATER.
- THE EXISTING SEPTIC TANK AND LEACHING SYSTEM ARE TO BE REMOVED AND OR ELIMINATED AS A CONDITION OF THIS DESIGN PLAN.
- ALL SANITARY SEWER LINES THAT HAVE 4 FEET OR LESS OF COVER SHALL BE INSULATED AT THE TOP, SIDES AND BOTTOM WITH A MINIMUM OF 4" OF RIDGED STYROFOAM INSULATION TO PREVENT FREEZING.
- SITE WILL BE SERVICED BY MUNICIPAL WATER.

**TEST PIT LOG**

**TEST PIT # 1** DATE: 11/9/17

0-17" 10YR 3/3, DARK BROWN, FINE SANDY LOAM, WEAK FINE GRANULAR, VERY FRIABLE, FEW FINE ROOTS. AREA IS WITHIN LAWN AREA & IS A FLOW LAYER

17-20" 2.5Y 5/6, LIGHT OLIVE BROWN, FINE SANDY LOAM, WEAK FINE GRANULAR, VERY FRIABLE, FEW ROOTS

20-70" 2.5Y 6/4, LIGHT YELLOWISH BROWN, LOAMY SAND, WEAK FINE GRANULAR, FRIABLE, FEW ROOTS TO 60"

70-84" 2.5Y 6/3, LIGHT YELLOWISH BROWN, LOAMY SAND, WEAK FINE GRANULAR, FRIABLE

SHWT: NONE OBSERVED LEDGE: NONE OBSERVED  
 OWT: NONE OBSERVED ROOTS: 60"

**TEST PIT # 2** DATE: 11/9/17

0-5" 10YR 3/3, DARK BROWN, FINE SANDY LOAM, WEAK FINE GRANULAR, VERY FRIABLE, FEW FINE ROOTS. AREA IS WITHIN LAWN AREA

5-17" 2.5Y 5/6, LIGHT OLIVE BROWN, SANDY LOAM, WEAK FINE GRANULAR, VERY FRIABLE, FEW ROOTS

17-66" 2.5Y 6/4, LIGHT YELLOWISH BROWN, LOAMY SAND, FINE GRANULAR, FRIABLE, FEW ROOTS TO 36"

66-90" 2.5Y 6/3, LIGHT YELLOWISH BROWN, LOAMY SAND, WEAK FINE GRANULAR, FRIABLE

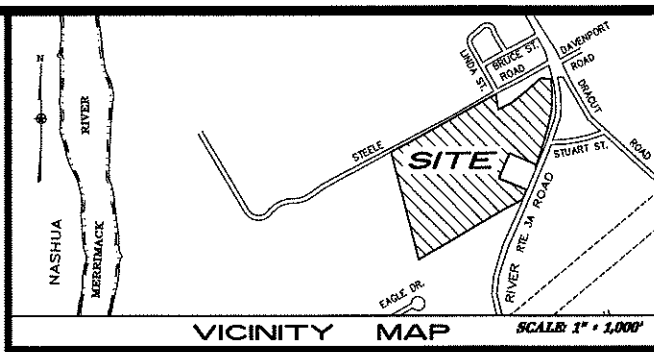
SHWT: NONE OBSERVED LEDGE: NONE OBSERVED  
 OWT: NONE OBSERVED ROOTS: 36"

**PERCOLATION TEST** DATE: 11/9/17

RATE: 2 MINUTES/INCH AT A DEPTH OF 48"

TEST PITS AND PERC TEST PERFORMED BY PAUL CARIDEO NHDES DESIGNER No. 69

TEST PITS WITNESSED BY ELVIS DHIMA, HUDSON TOWN ENGINEER



**SEPTIC SYSTEM DESIGN CRITERIA**

- SEWAGE FLOW COMPUTATIONS:
 

CRITERIA	FLOW
HAIR SALON 10 CHAIRS	150 GPD/CHAIR = 1,500 GPD
10 EMPLOYEES	20 GPD/EMPLOYEE = 200 GPD
- NHDES PROPERTY LINE NITRATE SETBACK REQUIREMENTS:
 

1,700 GPD (1601-1700) REQUIREMENTS:

DOWN GRADIENT=105 FT, SIDE GRADIENT=53 FT, UP GRADIENT=27 FT

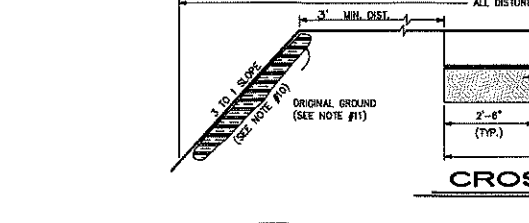
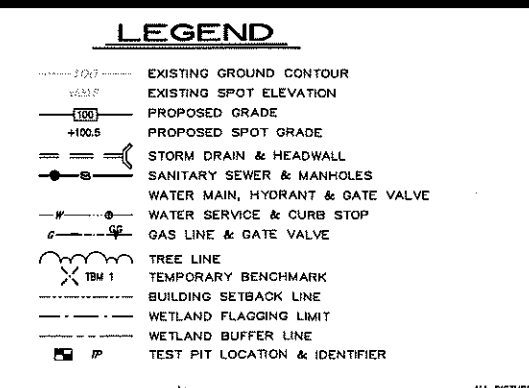
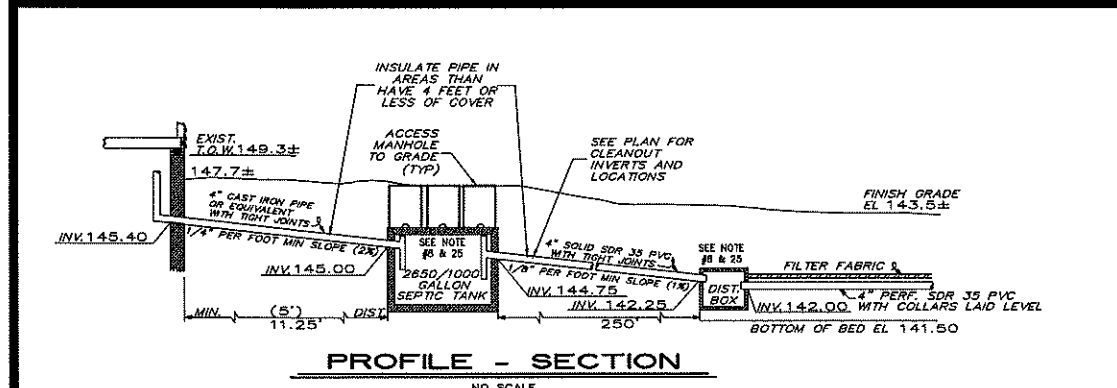
\* SINCE THE PROPOSED LEACH FIELD NITRATE SETBACKS OVER LAP NITRATE SETBACKS FROM A SECOND LEACH FIELD AREA UNDER CA1998009228 FOR 3,350 GPD THE 2 FLOW AMOUNTS ARE ADDED TOGETHER AND EQUAL 5,050 GPD WHICH REQUIRE THE FOLLOWING NITRATE SETBACKS:

DOWN GRADIENT=275 FT, SIDE GRADIENT=138 FT, UP GRADIENT=69 FT
- LEACHING AREA SIZING:
 

CRITERIA	REQUIRED AREA
PERCOLATION RATE: (DESIGN RATE)	4 MIN./INCH
CRITERIA:	= 1.40 SF/GAL
REQUIRED AREA:	1.40 SF/GAL x 1,700 GPD = 2,380 SF
PROVIDED:	ONE (1) 30 FT x 86 FT LEACH FIELD = 2,640 SF
- SEPTIC TANK SIZING:
 

CRITERIA	REQUIRED	PROVIDED
REQUIRED:	2000 + 70% OF DAILY FLOW	= 3,400 GAL
PROVIDED:	USE PHOENIX PRECAST PRODUCTS ST-2650/1000HD (2650/1000 GAL) H-20 LOADING, PRECAST CONCRETE SEPTIC TANK (2 CHAMBER) OR APPROVED EQUAL. (SEE DETAIL)	= 3,650 GAL
- DISTRIBUTION BOXES:
 

CRITERIA	REQUIRED	PROVIDED
REQUIRED:	1 INLET PIPE / 12 OUTLET PIPE	
PROVIDED:	USE PHOENIX PRECAST PRODUCTS DB-12 (12-OUTLET / 1 INLET) PRECAST CONCRETE DISTRIBUTION BOX OR APPROVED EQUAL. (SEE DETAIL)	



**APPROVED BY THE HUDSON, NH PLANNING BOARD**

DATE OF MEETING: \_\_\_\_\_

DESIGNER: Paul F. Carideo, No. 668 Environmental Services

**PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.**

**SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.**

**SEPTIC SYSTEM PLAN & PROFILE (MAP 234, LOT 1)**

**PROPOSED SITE PLAN**

**2 FRIEL GOLF ROAD HUDSON, NEW HAMPSHIRE**

PREPARED FOR/RECORD OWNER: **STEELE FARM, LLC**

2 FRIEL GOLF ROAD HUDSON, NEW HAMPSHIRE 03051 (603) 882-8893

16 JANUARY 2018

**HSI** Hayner/Swanson, Inc. Civil Engineers/Land Surveyors

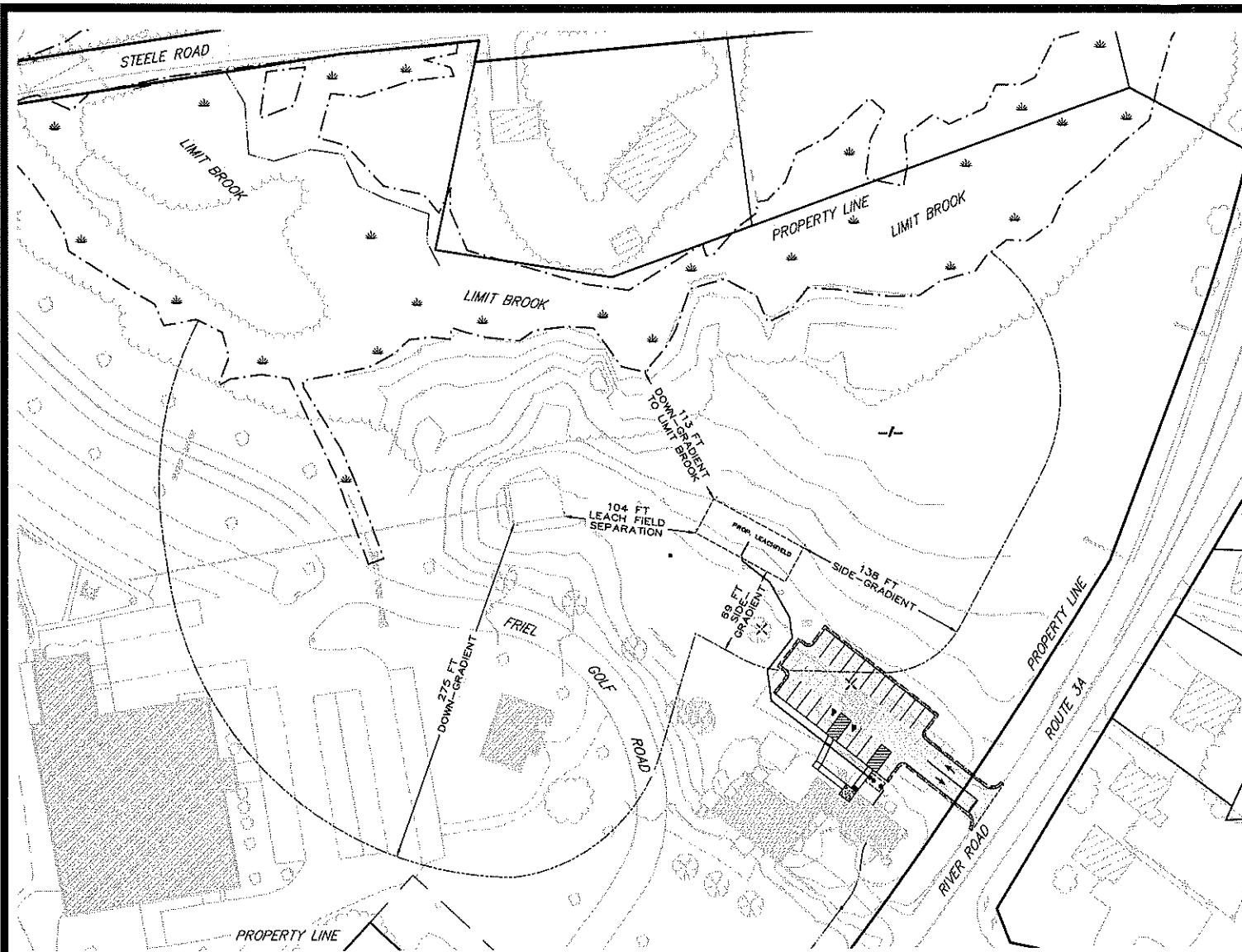
3 Congress Street Nashua, NH 03062 (603) 883-2057

131 Middlesex Turnpike Burlington, MA 01803 (781) 303-1501

www.hayner-swanson.com

FIELD BOOK: 1225 DRAWING NAME: 3887SF-F21 3887-SF 4 OF 7

DRAWING LOCATION: R:\3887FRIEL\DWG\3887-SF

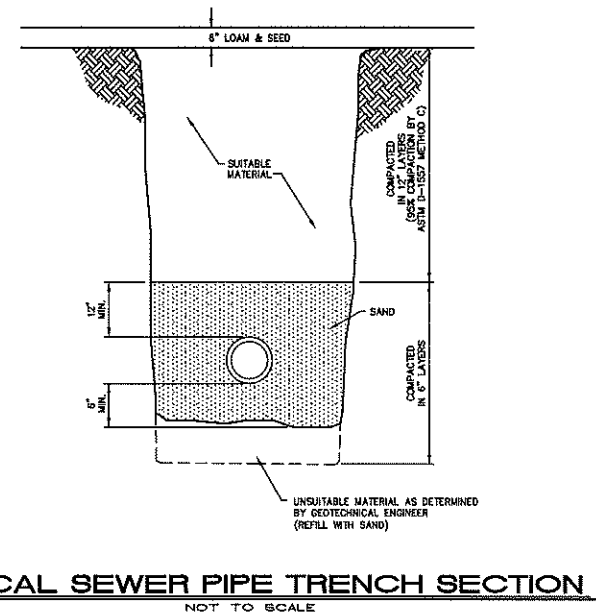
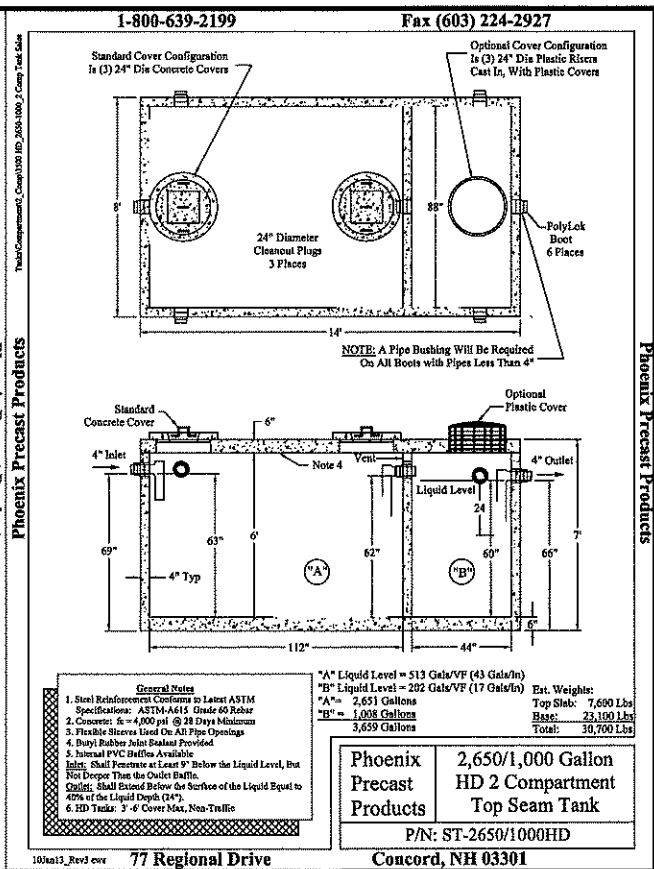
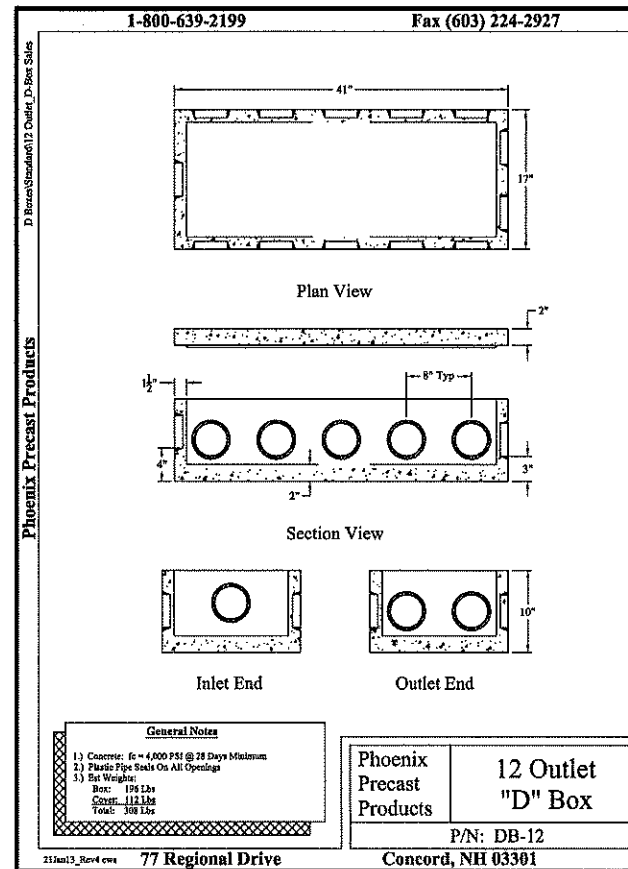
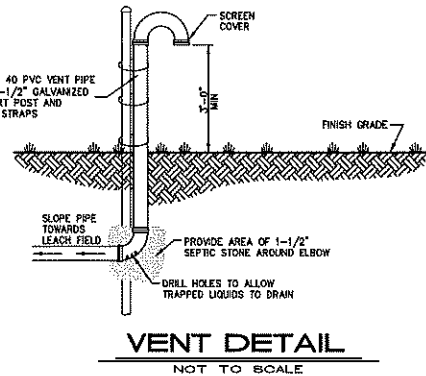


**NITRATE SETBACK DETAIL**

SCALE: 1" = 60'

**SEPTIC SYSTEM LOT LOADING**

TOTAL LOT SIZE OF MAP 234 LOT 1 IS 42.209 ACRES  
 AREA OF WETLANDS NOT USED FOR LOADING IS 2.63 ACRES  
 SOIL TYPE FOR THIS LOT IS W8b (WINDSOR) NHDES SOILS GROUP 1  
 LOT IS SERVICED BY MUNICIPAL WATER  
 AREA OF SOILS TO BE USED FOR SEWAGE LOT LOADING IS 39.579 ACRES  
 Q = AREA OF USEABLE SOILS IN ACRES X 2000 GPD/ACRE + NHDES SOIL GROUP FACTOR  
 Q = 39.579 x 2000 + 1.0  
 Q = 79,158 GPD ALLOWED



**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
 DATE OF MEETING: \_\_\_\_\_  
 \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_  
 \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_  
 SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

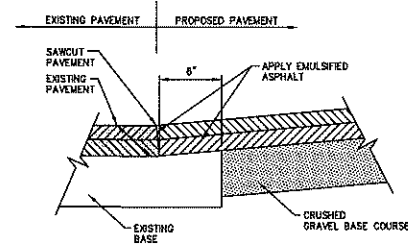
DESIGNER  
 Paul F. Carideo  
 Department of Environmental Services

1	02/20/18	ADDRESS PEER REVIEW COMMENTS	JP
No.	DATE	REVISION	BY

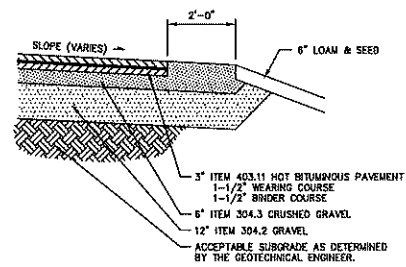
**SEPTIC SYSTEM DETAIL SHEET (MAP 234, LOT 1)**  
**PROPOSED SITE PLAN**  
 2 FRIEL GOLF ROAD HUDSON, NEW HAMPSHIRE  
 PREPARED FOR/RECORD OWNER:  
**STEELE FARM, LLC**  
 2 FRIEL GOLF ROAD HUDSON, NEW HAMPSHIRE 03051 (603) 882-8893  
 SCALE AS SHOWN  
 16 JANUARY 2018

**HSI Hayner/Swanson, Inc.**  
 Civil Engineers/Lead Surveyors  
 3 Congress Street Nashua, NH 03062  
 11 Middlesex Turnpike Burlington, MA 01803  
 (603) 883-2057 (781) 203-1501  
 www.hsnswanson.com

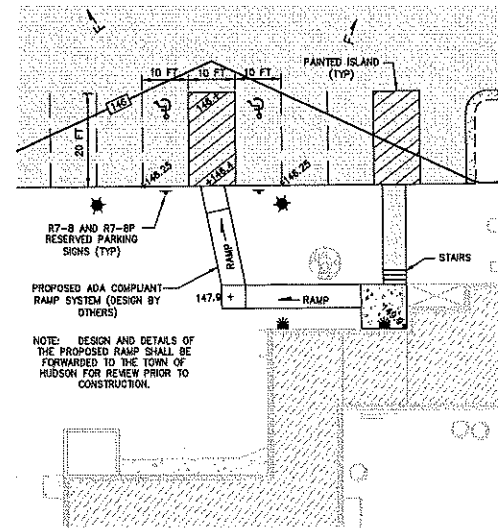
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DRAWING LOCATION: R:\3867FRIEL\DWG\3867-SF		PLT Number	Sheet



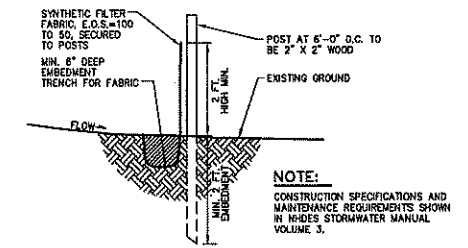
**SAWCUT PAVEMENT DETAIL**  
NOT TO SCALE



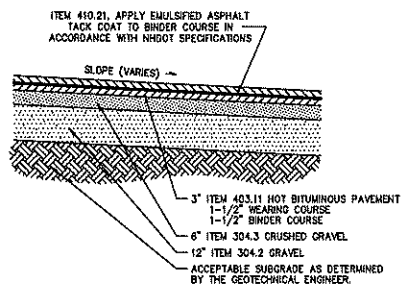
**TYPICAL SECTION CRUSHED GRAVEL SHOULDER**  
NOT TO SCALE



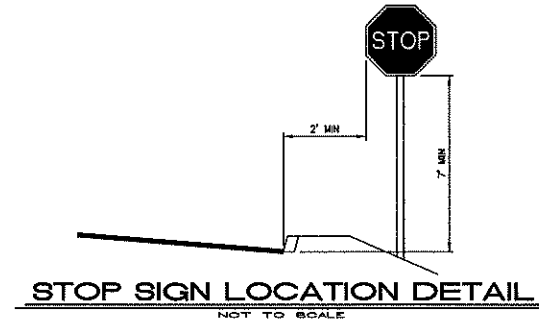
**HANDICAP PARKING AREA DETAIL**  
SCALE: 1" = 30'



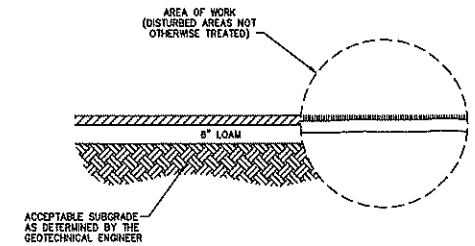
**SILT FENCE DETAIL**  
NOT TO SCALE



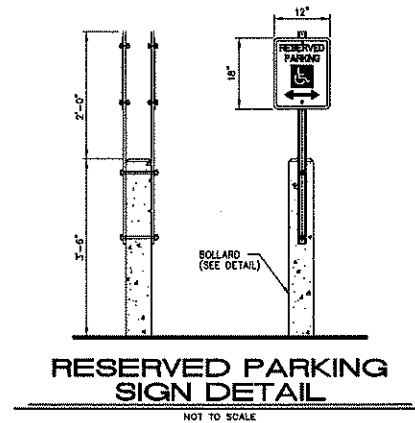
**TYPICAL PAVEMENT SECTION**  
NOT TO SCALE



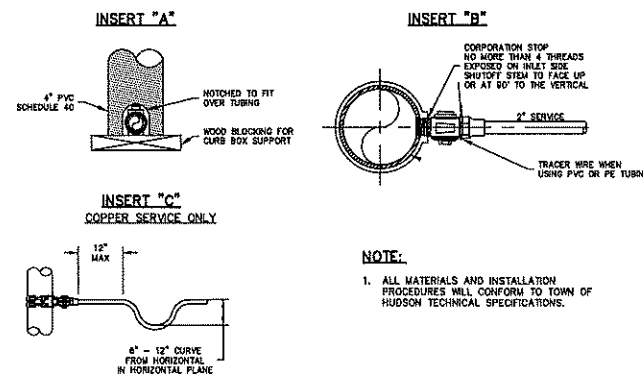
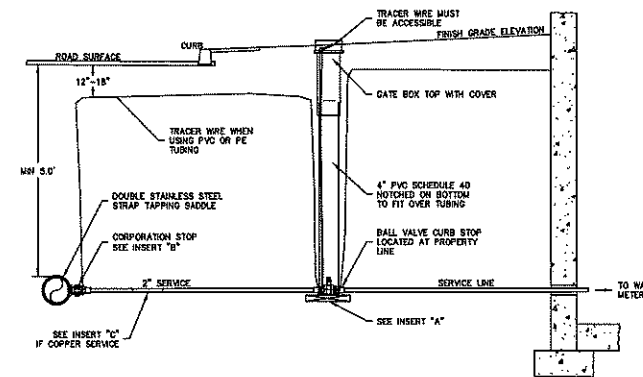
**STOP SIGN LOCATION DETAIL**  
NOT TO SCALE



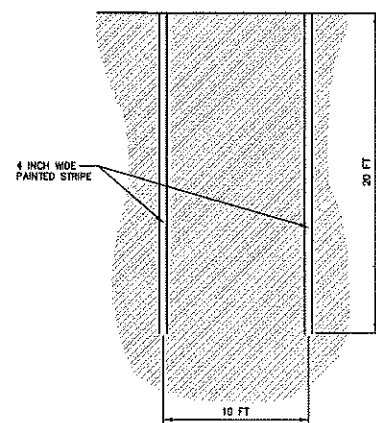
**LOAM AND SEED DETAIL**  
NOT TO SCALE



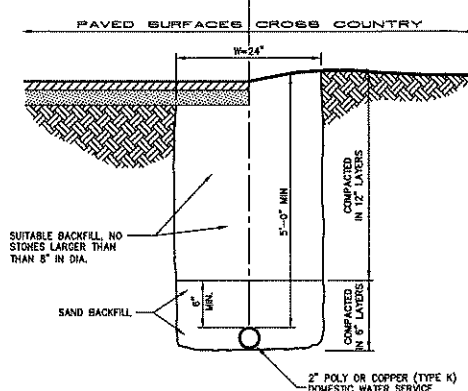
**RESERVED PARKING SIGN DETAIL**  
NOT TO SCALE



**WATER SERVICE DETAIL**  
NOT TO SCALE



**TYP. PARKING STALL DETAIL**  
NOT TO SCALE



**TYPICAL WATER SERVICE TRENCH SECTION**  
NOT TO SCALE

No.	DATE	REVISION	BY
1	02/20/18	ADDRESS PEER REVIEW COMMENTS	JSP

DETAIL SHEET  
(MAP 234, LOT 1)  
**PROPOSED SITE PLAN**  
2 FRIEL GOLF ROAD  
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**STEELE FARM, LLC**  
2 FRIEL GOLF ROAD HUDSON, NEW HAMPSHIRE 03051 (603) 882-8893

SCALE AS SHOWN

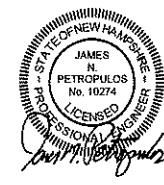
16 JANUARY 2018

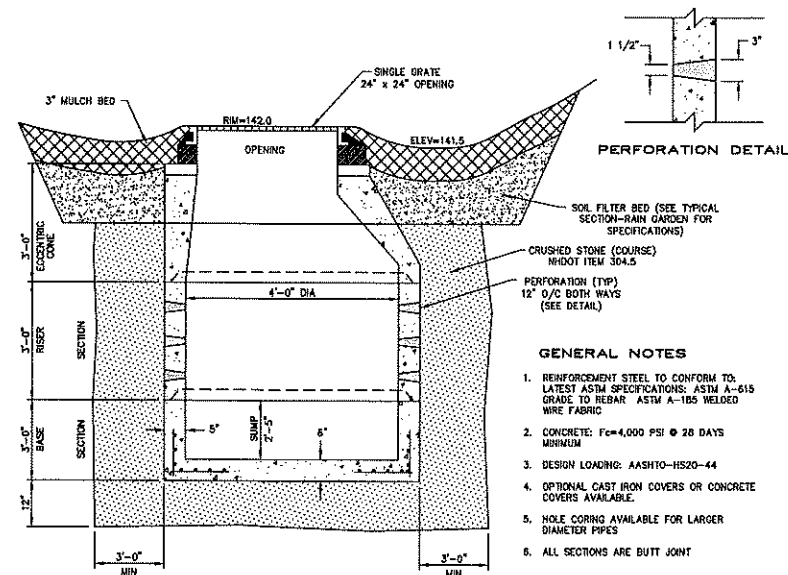
**HSI** Hayner/Swanson, Inc.  
Civil Engineers/Land Surveyors  
3 Congress Street  
Nashua, NH 03062  
(603) 883-2057  
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(781) 203-1501  
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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM THE DATE OF APPROVAL.

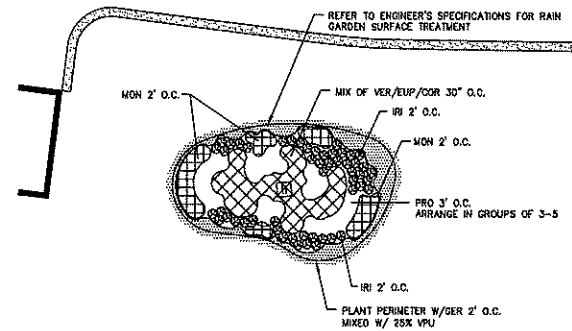
APPROVED BY THE HUDSON, NH PLANNING BOARD  
DATE OF MEETING: \_\_\_\_\_  
SIGNATURE DATE: \_\_\_\_\_  
SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.





**LEACHING CATCH BASIN DETAIL**  
NOT TO SCALE



**TYPICAL RAIN GARDEN PLANT LAYOUT**  
NOT TO SCALE

**PLANT LEGEND - RAIN GARDEN:**  
 COR COREOPSIS TRIPERIS (TALL TICKSEED)  
 GER GERANIUM MACRORRHIZUM (SPEARS GERANIUM)  
 IRI IRIS VERSICOLOR (BLUE FLAG IRIS)  
 MON MONARDA SPECIES (JACOB CLOVE BEEBALM)  
 PRO PANICUM V. ROTSTRAHLBUSCH (RED SWITCH GRASS)  
 VER VERONIA NOVEBORACENSIS (N.Y. IRONWEED)  
 VPU VERONICA SPECIES (PURPLEICIOUS)

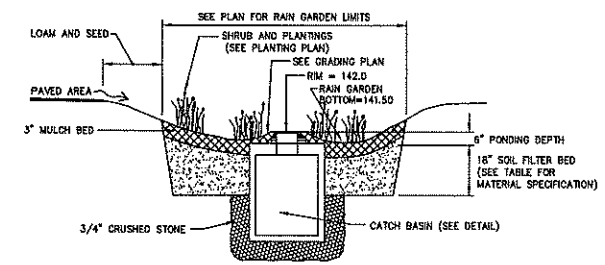
**BMP OPERATION AND MAINTENANCE RECOMMENDATIONS**

IN ACCORDANCE WITH SECTION 2005.4(S) OF THE TOWN OF HUDSON CODE, THE FOLLOWING RECOMMENDATIONS ARE TO BE USED AS A GUIDE FOR THE OPERATION AND MAINTENANCE OF THE PERMANENT STORMWATER BEST MANAGEMENT PRACTICES (BMP'S) ASSOCIATED WITH THIS PROJECT.

- PARKING LOT SWEEPING**
  - INSPECT THE PARKING LOT AT LEAST SEMI-ANNUALLY FOR THE ACCUMULATION OF SEDIMENT ALONG DRAINAGE FLOW LINES. ADDITIONAL INSPECTIONS RECOMMENDED PARTICULARLY DURING AND AFTER THE WINTER MONTHS IF THE ICE CONDITIONS DURING THE WINTER WERE SEVERE.
  - SWEEP THE PARKING LOT TO REMOVE SEDIMENT BUILDUP ALONG AND DRAINAGE FLOW LINES.
  - DISPOSE OF SEDIMENTS AND OTHER WASTES IN CONFORMANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- SWALE/RAIN GARDEN**
  - THE STORMWATER MANAGEMENT AREA SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE AND REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
  - IF THE SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENT OR REPAIR/MAINTENANCE OF THE BOTTOM OF PRACTICE.
  - BASIN BOTTOM, SIDE SLOPES, GRASS BERM LEVEL SPREADER, AND CONVEYANCE SWALE SHALL BE MOWED A MINIMUM OF TWICE PER YEAR. GRASS CLIPPINGS AND ACCUMULATED ORGANIC MATTER SHALL BE REMOVED. INVASIVE AND/OR NUISANCE PLANT-LIFE SPECIES SHALL BE REMOVED IF FOUND.



**GROUND SIGN DETAIL**  
NOT TO SCALE

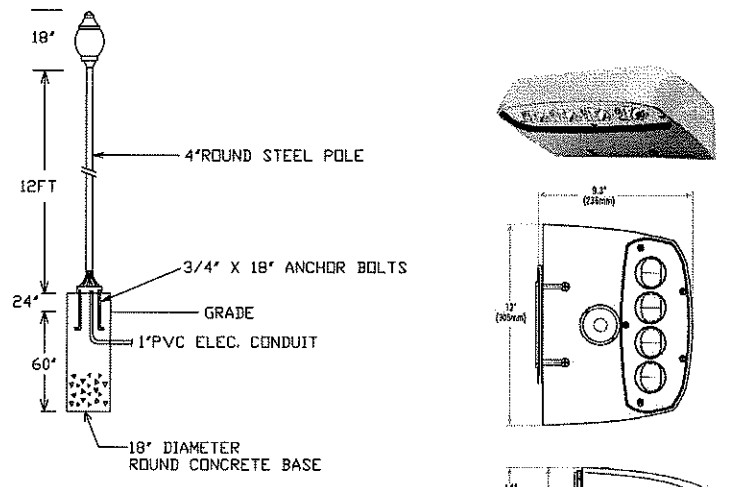


**RAIN GARDEN MATERIAL TABLE FOR BIORETENTION FILTER MEDIA**

COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL	
		SIEVE No.	PERCENT BY WEIGHT PASSING STANDARD SEIVE
FILTER MEDIA OPTION A			
ASTM C-33 CONCRETE SAND	50 TO 55		
LOAMY SAND TOPSOIL WITH FINES AS INDICATED	20 TO 30	200	15 to 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5
FILTER MEDIA OPTION B			
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5
LOAMY COARSE SAND	70 TO 80	10	85 to 100
		20	70 to 100
		80	15 to 40
		200	8 to 15

- RAIN GARDEN NOTES**
- DO NOT PLACE THE RAIN GARDENS INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
  - DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE RAIN GARDEN DURING ANY STAGE OF CONSTRUCTION.
  - DO NOT EXPOSE SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
  - IF FINE MATERIAL THAT WOULD PERCH THE WATER TABLE IS ENCOUNTERED DURING THE CONSTRUCTION OF RAIN GARDEN, THE UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH COARSE GRAVEL (MHDOT ITEM No. 304.2).

**TYPICAL SECTION-RAIN GARDEN**  
NOT TO SCALE

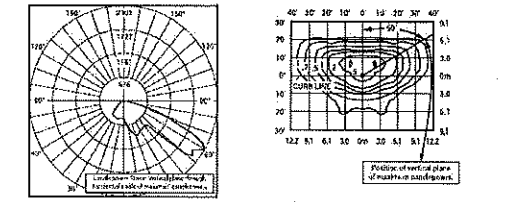


**LIGHT POLE AND BASE DETAIL**  
NO SCALE

**Type II Medium Distribution**

Input Power Designator	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
C	3,819	B1 U0 G1	4,103	B1 U0 G1
G	2,529	B1 U0 G1	2,722	B1 U0 G1

\* Initial delivered lumens at 25' (7.62m)  
 \*\* For more information on the IES BUG (Basketlight-Uplight-Glare) Rating visit: [www.ies.org/PDF/ENR/BUG-TM-15-11-Basketlight-Uplight-Glare.pdf](http://www.ies.org/PDF/ENR/BUG-TM-15-11-Basketlight-Uplight-Glare.pdf)



**BXSPWA-2FC-US**  
 Mounting Height: 10' (3.0m) A.F.G.  
 Initial Delivered Lumens: 3,819  
 Initial FC at grade

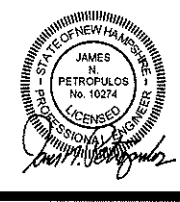
**BXSPWA-2FG-US**  
 Mounting Height: 10' (3.0m) A.F.G.  
 Initial Delivered Lumens: 2,529  
 Initial FC at grade

**WALL PACK LIGHTING DETAIL**  
NOT TO SCALE

**PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.**

**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
 DATE OF MEETING: \_\_\_\_\_  
 \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_  
 \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_

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**DETAIL SHEET (MAP 234, LOT 1)**  
**PROPOSED SITE PLAN**  
 2 FRIEL GOLF ROAD  
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**STEELE FARM, LLC**  
 2 FRIEL GOLF ROAD HUDSON, NEW HAMPSHIRE 03061 (603) 882-8893

SCALE AS SHOWN

16 JANUARY 2018

**HISI** Hayner/Swanson, Inc.  
 Civil Engineers/Land Surveyors  
 3 Congress Street Nashua, NH 03062 (603) 883-2097  
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501  
[www.haynerswanson.com](http://www.haynerswanson.com)

FIELD BOOK: 1225	DRAWING NAME: 3887SF-0211	3887-SF	7 OF 7
DRAWING LOCATION: R:\3887FRIEL\DWG\3887-SF		File Name:	Sheet

## **2 Friel Golf Road (Steele Hill Farm) Site Plan Review**

### **STAFF REPORT**

March 14, 2018

**SITE: 2 Friel Golf Road - Map 234/Lot 1 - SP# 3-18**

**ZONING: G-1**

**PURPOSE OF PLAN:** to show proposed change of use from offices to personal service establishment (salon) with up to ten (10) operators with proposed parking lot and septic system improvements. Application Acceptance and Public Hearing.

**PLAN UNDER REVIEW:** Proposed Site Plan, Steele Farm, LLC, 2 Friel Golf Road, Hudson, NH, prepared by Haynor/Swanson, Inc. 3 Congress St., Nashua, N.H., dated 16 January 2018 (with revisions through 20 Feb. 2018) and consisting of Sheets 1 – 7 with Notes 1 – 23:

#### **ATTACHMENTS:**

- 1) Site Plan Application date stamped Feb. 2, 2018 with project narrative, waiver request, and photos of existing buildings – Attachment “A”.
- 2) Zoning Determinations by Bruce Buttrick, Zoning Administrator, dated Jan. 10, 2018 (#18 - 02) and staff review comments dated Feb. 7, 2018 – Attachment “B”.
- 3) CLD/Fuss & O’Neill review comments memo dated Feb. 15, 2018 and HSI response dated Feb. 26, 2018 – Attachment “C”.

#### **PROJECT DESCRIPTION:**

The project proposes a change of use from office space to personal services (salon) and site improvements to include expansion of parking with ADA compliance and expansion of the septic system.

#### **APPLICATION TRACKING:**

- 2 FEB 2018 - Application submitted.
- 14 MAR 2018 – Public hearing scheduled.

#### **REQUESTED WAIVERS:**

- 1) HR 275 – 8. C.(2) – Required parking

#### **OUTSTANDING ISSUES:**

1. The applicant has requested a waiver of the required number of parking spaces. The current building has 12 parking spaces, which does not meet the regulation requirements for office use or personal service. The plan will rebuild and add 8 more spaces to the parking lot for a total of 20. The site plan shows an area for future expansion (10 spaces) if they are ever needed. The applicant also argues that the location of a parking lot with 150 spaces on the same property in relatively close proximity minimizes the need for added parking.



2. The Zoning Administrator has noted that the proposed free-standing sign for this building would be in violation of the Zoning Ordinance because there is already a free-standing sign on the same property at the Friel Golf Drive entrance. In order to place a second, free-standing sign as proposed in front of this building, the applicant will need to obtain a variance from the Zoning Board. The stipulations clarify that the addition and location of that sign and any other signage is subject to review and approval during the sign permit application stage. Note 10 on Sheet 1 should be revised to reflect approval of signage by the Zoning Administrator.
3. The project will convert an existing office building that lacks adequate parking to a personal services establishment. The net increase of 8 parking spaces on the site will not result in a "net increase in capital facilities service demands" over the previous use of the property adequate to justify collection of an impact fee. Therefore, staff's conclusion is that a CAP fee would not be applicable to this small project.

**RECOMMENDATION:** Staff recommends application acceptance and conduct of the public hearing and for possible final action to be considered in accordance with the below DRAFT MOTIONS. A motion to defer is included in case the Board considers that more time is needed to review the application.

**MOTION TO ACCEPT THE APPLICATION:**

I move to accept the Site Plan application for 2 Friel Golf Road, Map 234/Lot 1.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**MOTION TO DEFER CONSIDERATION OF THE APPLICATION:**

I move to defer further review of the 2 Friel Golf Road Site Plan application, date specific, to the March 28, 2018 meeting.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**WAIVER MOTIONS:**

- 1) HR 275 – 8. C.(2) – Required parking

I move to grant the requested waiver HR 275 – 8. C. (2) – Required parking based on the testimony of the Applicant's representative here this evening, and in accordance with the language included in the submitted Waiver Request Form.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**MOTION TO APPROVE:**

I move to approve the Site Plan entitled: Proposed Site Plan, Steele Farm, LLC, 2 Friel Golf Road, Hudson, NH, prepared by Haynor/Swanson, Inc. 3 Congress St., Nashua, N.H., dated 16 January 2018 (with revisions through 20 Feb. 2018) and consisting of Sheets 1 – 7 with Notes 1 – 23:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Site Plan-of-Record.
2. All improvements shown on the Site Plan-of-Record, including Notes 1- 23, shall be completed in their entirety and at the expense of the Applicant or his assigns.
3. Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Land Use Department, confirming that the site conforms to the Planning Board approved site plan.
4. All signs, including the proposed free-standing sign, are subject to all requirements of the Zoning Ordinance as determined during the sign permit application process.
5. The onsite drainage system shall be constructed and maintained in compliance with NHDES requirements for such systems.
6. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M. No exterior construction activities shall be allowed on Sundays.
7. Hours of refuse removal shall be exclusive to the hours between 7:00 A.M. and 7:00 P.M. Monday through Saturday only.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

4A



PRELIMINARY & FINAL SITE PLAN APPLICATION FOR PLAN REVIEW (Also for Wireless) TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: Tax Map # 234 Lot # 1
Name of Project: Proposed Site Plan
Zoning District: General SP# 03-18
ZBA Action:

PROPERTY OWNER: Name: Steele Farm, LLC
DEVELOPER: Name: Same as Owner
Address: 2 Friel Golf Road
Address: Hudson, NH 03051
Telephone # 603-882-8893
Fax #
Email:

PROJECT ENGINEER Name: Hayner/Swanson, Inc.
SURVEYOR Name: Hayner/Swanson, Inc.
Address: 3 Congress Street
Address: Nashua, NH 03062
Telephone # 603-882-2057 ext 129
Telephone # 603-883-2057 ext 153
Fax # 603-883-5057
Fax # 603-883-5057
Email: jpetropulos@hayner-swanson.com
Email: pliversidge@hayner-swanson.com

PURPOSE OF PLAN:

- [A] To show proposed change of use from offices to personal service establishment (salon) with up to ten (10) operators.
[B] To show proposed parking lot and septic system improvements.

For Town Use
Plan Routing Date: Sub/Site Date:
I have no comments I have comments (attach to form)
Title: Date:
DEPT: Zoning Engineering Assessor Police Fire Planning
Consultant Highway Department
Fees Paid: \$2,854.10

**SITE DATA SHEET**

PLAN NAME: Proposed Site Plan  
 PLAN TYPE: SITE PLAN  
 LEGAL DESCRIPTION: MAP 234 LOT 1  
 DATE: January 16, 2018

Location by Street	<u>2 Friel Golf Road</u>	
Zoning:	<u>G-1, General, and R-2, Residential</u>	
Proposed Land Use:	<u>Personal Service Establishment (Salon)</u>	
Existing Use:	<u>Offices</u>	
Surrounding Land Use(s):	<u>Mix: Residential/Commercial</u>	
Number of Lots Occupied:	<u>One</u>	
Existing Area Covered by Building:	<u>35,994 SF</u>	
Existing Buildings to be removed:	<u>N/A</u>	
Proposed Area Covered by Building:	<u>35,994 SF</u>	
Open Space Proposed:	<u>91%</u>	
Open Space Required:	<u>40%</u>	
Total Area:	<u>S.F.: 1,838,559 SF Acres: 42.208 AC</u>	
Area in Wetland:	<u>135,438.46 SF Area Steep Slopes: None</u>	
Required Lot Size:	<u>G-1: 87,120 SF R-2: 60,000 SF</u>	
Existing Frontage:	<u>Steele Road: 1,304.38 LF River Road: 1,082.28 LF</u>	
Required Frontage:	<u>G-1: 200 LF R-2: 150 LF</u>	
Building Setbacks:	<u>Required*</u>	<u>Proposed (Existing)</u>
Front:	<u>30 &amp; 50 FT</u>	<u>18.30 FT</u>
Side:	<u>15 FT</u>	<u>251.67 FT</u>
Rear:	<u>15 FT</u>	<u>261.88 FT</u>

**SITE PLAN DATA SHEET**  
(Continued)

Flood Zone Reference: FEMA Maps 33011C0656D & 33011C0658D, Date 9/25/2009

Width of Driveways: See Plan

Number of Curb Cuts: 3 (Existing)

Proposed Parking Spaces: 170 spaces (see plan)

Required Parking Spaces: 180 spaces

Basis of Required Parking (Use): Salon (3 spaces per operator), Retail (1 space per 200 SF)  
Driving Range (1 space per two tees)

Dates/Case #/Description/Stipulations  
of ZBA, Conservation Commission,  
NH Wetlands Board Actions:  
(Attach stipulations on separate sheet) None

Hudson Town Code		
<u>Waivers Requested:</u>	<u>Reference</u>	<u>Regulation Description</u>
	1. <u>275-8C(2)(b)</u>	<u>Min. Required Parking Spaces</u>
	2. _____	_____
	3. _____	_____
	4. _____	_____
	5. _____	_____
	6. _____	_____
	7. _____	_____
	8. _____	_____
<small>(Left column for Town Use)</small>		

Impact Fees:  
C.A.P Fee: \_\_\_\_\_  
\_\_\_\_\_

Development Agreement  
Proposed: Pending

<i>For Town Use</i>	
Data Sheet Checked By: _____	Date: _____



## PROJECT NARRATIVE

The project area under consideration for this application is located at 2 Friel Golf Road in Hudson, NH. The site is known to the Hudson Assessors Department as Map 234, Lot 1. The parcel is split over two zones; G-1: General and R-2: Residential. The location of this property is just south of where Lowell Road splits into River Road and Dracut Road. The parcel is 42.2+/- acres in size and has frontage along River Road and Steele Road. It is abutted by residential homes to the north, south, and east and Green Meadow Golf Course to the west.

The lot currently contains a 20,000 square foot retail operation known as "Golf and Ski Warehouse, a golf driving range, a detached 4,180 square foot barn, and a 4,024 square foot, 2-story building with a storage addition, located along River Road. This particular building has been used in the past as offices for the Friel Golf Management Company and, most recently, by a limousine business. As can be seen on the site drawings the property has three curb cuts onto River Road. Two driveways are in close proximity to the front building and the other access is a private drive known as Friel Golf Road, which runs from River Road through the lot and connects with Steele Road. The site is currently serviced by municipal water, a subsurface sewage disposal system, telecommunications and power utilities. Wetlands associated with Limit Brook exist in the northeastern and western part of the property. Test pits were performed on the site. There result was that sandy soils, with deep depths to groundwater are present.

Steele Farm, LLC is proposing to change the use of the existing 4,024 square foot building to a personal service establishment which will include up to ten (10) hair-care/salon spaces. The existing garage adjacent to the office building and the current 7-space parking lot will be razed so that a new twenty (20) space parking lot can be constructed in its place to service the salon. Access to the new parking will be in the same location as has existed for many years. Based on field measurements, sight distance is good (exceeds 400-feet) in each direction. Stormwater runoff from this small parking lot will be directed into a grassed swale located on the north side of the

lot. Flow will continue in an easterly direction and will eventually reach a rain garden (bio-retention basin) located just off the paved surface. Rain gardens provide qualitative treatment by the vertical movement of runoff through a soil filter layer. The free-draining sandy soils on this property are ideal for promoting recharge of rainwater runoff. Other site improvements associated with this project include the construction of a new subsurface sewage disposal system for the proposed salon use, a new water service and a new ADA compliant access ramp leading into the building. Upon construction completion, the lot will have 91% open space, where 40% is required. The hours of operation for the business would be Monday-Saturday from approximately 8 AM to 6 PM.

Given the size of the existing building, the type of business and the number of operators for this facility, impacts to traffic and to local schools are not anticipated. To the best of our knowledge the water, power and telecommunication utilities present in River Road have adequate capacity to service this intended use.

**SUBDIVISION/SITE PLAN WAIVER REQUEST FORM**

Name of Subdivision/Site Plan: Proposed Site Plan

Street Address: 2 Friel Golf Road

I \_\_\_\_\_ hereby request that the Planning Board waive the requirements of item (see attached letter) of the Subdivision/Site Plan Checklist in reference to a plan presented by Hayner/Swanson, Inc.

\_\_\_\_\_ (name of surveyor and engineer) dated January 16, 2018 for property tax map(s) 234 and lot(s) 1 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto): (see attached waiver letter)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

(see attached waiver letter)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signed: James N. Petrus, HSI  
Applicant or Authorized Agent  
(AGENT)

Planning Board Action:

Waiver Granted: \_\_\_\_\_

Waiver Not Granted: \_\_\_\_\_





Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors

January 24, 2018  
Job No. 3867-SF



Mr. Glenn Della-Monica, Chairman  
Hudson Planning Board  
12 School Street  
Hudson, NH 03051

RE: Proposed Site Plan  
2 Friel Golf Drive  
Hudson, NH,  
Tax Map 234, Lot 1

Dear Mr. Chairman:

On behalf of our client, Steele Farm, LLC, we are respectfully requesting the following waiver from the Hudson Site Plan Regulations ('HSPR'):

**Waiver Request**

**HSPR 275-8C (2):** Required Parking – The minimum number of required parking spaces for the combination of uses upon Lot 1, Map 234 is 180.

**Request:** To allow 170 parking spaces for this lot where 180 is required.

**Basis of Waiver:** This section of the Hudson Site Plan regulations grants the Planning Board the authority to vary the parking requirements if the applicant can demonstrate that fewer spaces are consistent with the land uses. The subject site is a large tract of land that contains a golf-related retail store, driving range and a former office building, which is being proposed to change to a personal service establishment (hair salon). As can be seen on the Master Site Plan the breakdown of uses and their required parking totals 180 spaces (please note that the parking calculations for the retail building and driving range are consistent with the original 1998 site plan approval). There currently exists 150 spaces adjacent to the Golf & Ski Warehouse building/driving range and another 12 spaces located north of the existing 2-story building located along River Road. The proposed change of use of this smaller building to a personal service establishment requires slightly more parking than the current use. The proposed site plan shows the reconstruction of the parking lot north of this building to accommodate 20 cars. Furthermore the plan shows the space needed to add 10 more spaces to this parking lot if needed in the future.

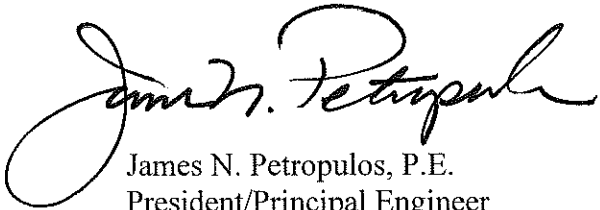
There are several reasons to approve this waiver request. First, it is highly unlikely that all ten operators will be seeing clients at once for any extended period of time. Thus, there should almost always be several vacant spaces in the

parking lot. Secondly, most of the operators book their clients through appointments as opposed to walk-in customers. Third, in the event that the salon does experience a high volume of clients, there are 150 spaces a short walk away adjacent to the Golf and Ski Warehouse on Friel Golf Road that could be used by employees at this building. The Golf & Ski Warehouse and driving range has operated for almost twenty years without a parking problem. Lastly, as mentioned above the site plan does show a location where the 10 parking spaces could be constructed in the future if needed.

In summary, it is our opinion the above waiver request is reasonable and meets the criteria outlined in Section 275-15, Waivers of the Hudson Site Plan Regulations. Given that this request does not adversely impact any abutting properties and that there is already ample parking spaces and land area available for future parking if needed, it is our opinion the above request meets the spirit and intent of the Town of Hudson Site Plan Regulations. A strict enforcement of the above regulation would simply be adding pavement where it is not needed.

Thank you for your consideration of this waiver request.

Respectfully,

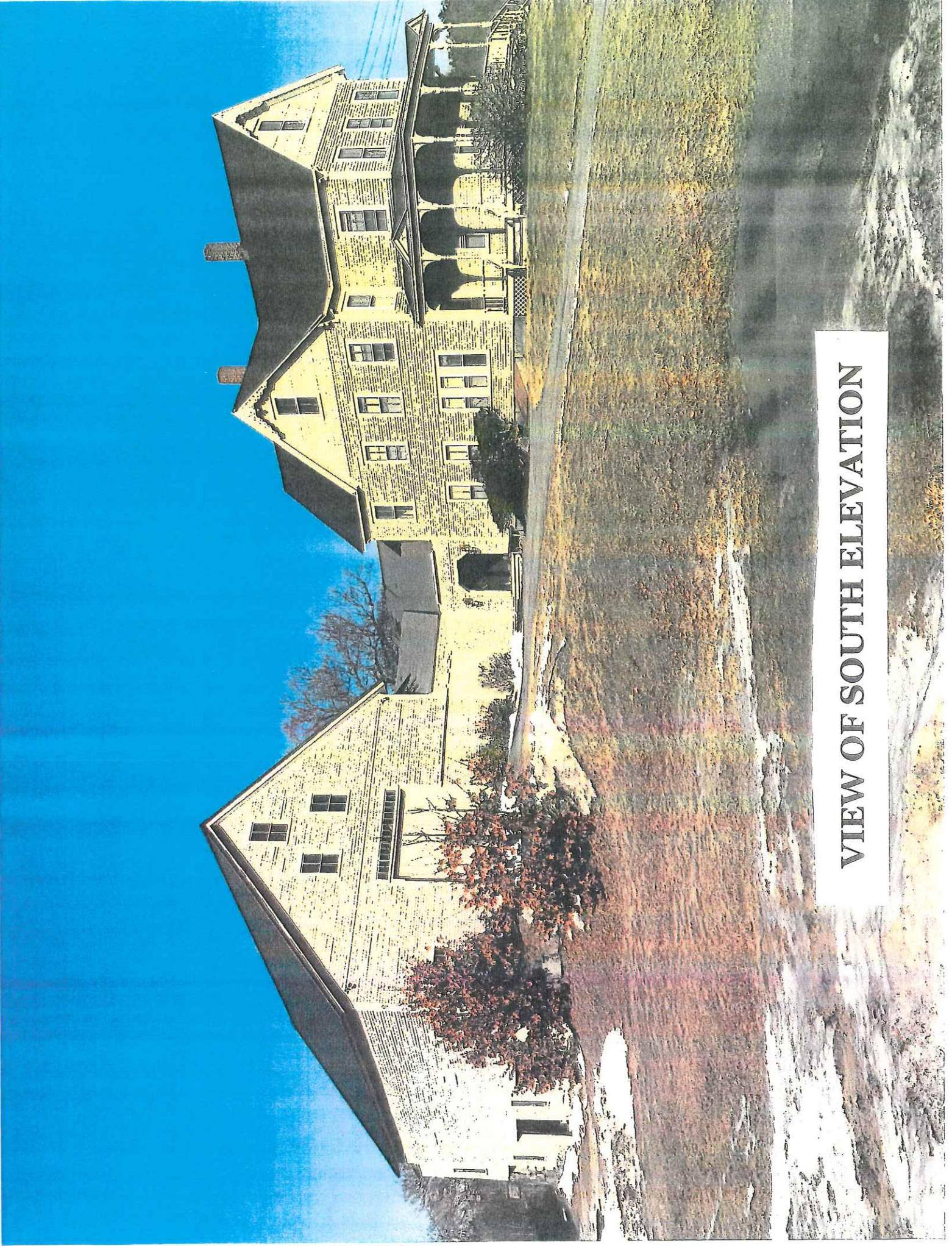
A handwritten signature in cursive script, reading "James N. Petropulos". The signature is written in black ink and is positioned to the left of the typed name and title.

James N. Petropulos, P.E.  
President/Principal Engineer  
**Hayner/Swanson, Inc.**

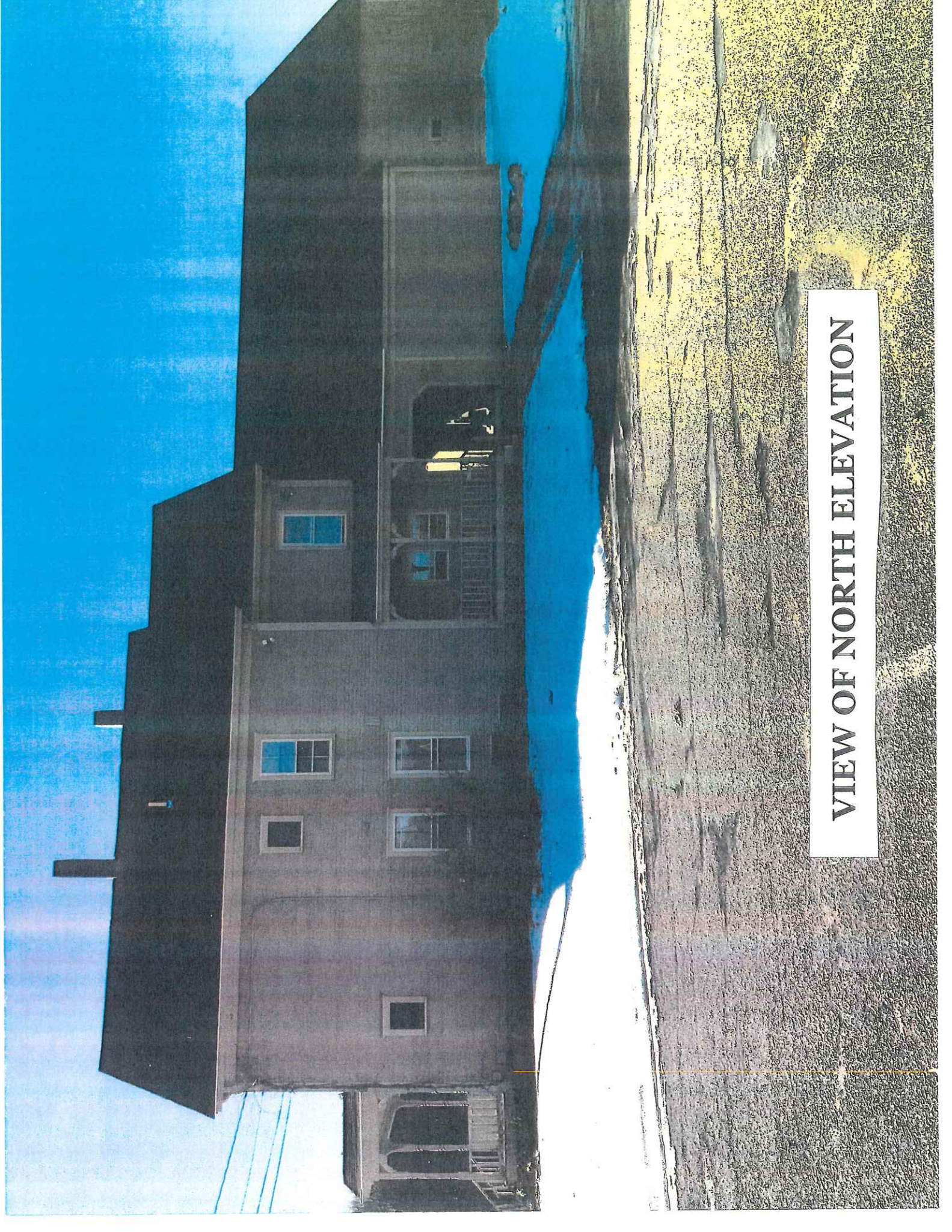
cc: George Theborge – Hudson Planning Department



**VIEW OF EAST ELEVATION**



**VIEW OF SOUTH ELEVATION**



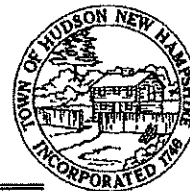
**VIEW OF NORTH ELEVATION**

11811



# TOWN OF HUDSON

## Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

### Zoning Determination #18-02

January 10, 2018

Steele Farm LLC  
2 Friel Golf Drive,  
Hudson, NH 03051  
Att: Jim Petropulos, P.E.

Re: 2 Friel Golf Drive 234/001-000  
**District: General One (G-1) / Residential Two (R-2)**

Dear Mr. Petropulos,

Your request: Can you change the current use from office use to a personal service establishment with 10 salons be allowed?

**Zoning Review / Determination:**

Our records indicate that this lot is bisected with two zoning districts: G-1 and to a very small area R-2. The structure in question is in the G-1 district and personal service establishment per definition in §334-6 is an allowed use.

You would need to modify the existing site plan with Planning Board approval.

Sincerely,

Bruce Buttrick, MCP  
Zoning Administrator/Code Enforcement Officer  
(603) 816-1275  
[bbuttrick@hudsonnh.gov](mailto:bbuttrick@hudsonnh.gov)

cc: Zoning Board of Adjustment  
J. Michaud, Town Assessor  
G. Theborge, Land Use Dir  
Jim Petropulos, Hayner/Swanson Inc  
Selectmen: M. McGrath and D. Morin  
File

*NOTE: this determination may be appealed to the Hudson Zoning Board of Adjustment within 30 days of the receipt of this letter.*



# TOWN OF HUDSON

## Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

February 7, 2018

### Site Plan Review Zoning Review/Comments

Re: Case: SP# 03-18  
Address: 2 Friel Golf Road  
Map: 234 Lot: 001  
Zoning district: General One (G-1) and Residential Two (R-2)

- 1) The existing 4,024 sqft building known as Front Building is existing non-conforming in regards to building front setbacks and any expansion of footprint would require variance to §334-31A from the ZBA.
- 2) Sheet 3 of 7 indicates installation of a free standing sign. Sign must include correct street number, as it appears access is off of River Road. Does this free standing sign violate §334-64?: *Freestanding business and industrial signs*: "...each individual site may have no more than one freestanding pole or ground sign, not attached to any building." There is already a free standing sign advertising the golf/ski shop at corner of Friel Golf Rd and River Road on this lot. Thus a variance from §334-64 from the ZBA would be required to install this additional sign.

Sincerely,

Bruce Buttrick, MCP  
Zoning Administrator/Code Enforcement Officer  
(603) 816-1275  
[bbuttrick@hudsonnh.gov](mailto:bbuttrick@hudsonnh.gov)

cc: George Theborge – Dir Land Use  
file

February 15, 2018

Mr. George Thebargue  
Land Use Director  
Town of Hudson  
12 School Street  
Hudson, NH 03051



Re: Town of Hudson Planning Board Review  
Steele Hill Farm, LLC, Site Plan, 2 Friel Golf Road  
Tax Map 234, Lot 1; Acct. #1350-910  
CLD | Fuss & O'Neill Reference No. 03-0249.1690

Dear Mr. Thebargue:

CLD | Fuss & O'Neill, Inc. has reviewed the first submission of the materials received on February 6, 2018, related to the above-referenced project. A list of items reviewed is enclosed. The scope of our review is based on the Site Plan Review Codes, Stormwater Codes, Driveway Review Codes, Sewer Use Ordinance 77, Zoning Regulations, and criteria outlined in the CLD | Fuss & O'Neill Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007, September 3, 2008, October 2015, and October 3, 2017.

We have included a copy of CLD | Fuss & O'Neill's evaluation of the checklist for your reference. We note that several items could not be verified by CLD | Fuss & O'Neill and require action by the Town.

The project appears to consist of the construction of a 20 space parking area, septic system, drainage conveyances, and other associated site improvements to support the change of use of an existing 6,800 square foot building on a portion of an existing developed site. A larger retail establishment exists on another portion of the site and no changes are proposed for that facility. The site is currently serviced by municipal water and an on-site septic system.

The following items are noted:

#### 1. Site Plan Review Codes and Administrative Requirements and Definitions

- a. Hudson Regulation (HR) 275-8.C.(2). The applicant has requested a waiver from the minimum number of parking spaces required by the Regulation. The applicant has noted that additional parking is available for employees at the other retail establishment within the site. We note that the parking calculation for retail use noted in the plans should be 1 space/200 SF retail, not 3 spaces/200 SF. This does not impact the total spaces required as it just appears to be a typographical error.
- b. HR 275-8.C.(6). The applicant has not shown any designated loading spaces for the subject site. If a designated loading space is not provided, since the parking area is proposed as a "dead end", we suggest that an area be signed as no parking to allow box trucks to turn around.
- c. HR 275-8.C.(8). The site is partially zoned Residential, but the plans do not show any new landscaping or other proposed screening.



- d. HR 275-8.C.(11). The applicant has noted that the ADA compliant ramp is to be designed by others. Details for this ramp should be forwarded to the Town for review prior to construction to ensure it is designed in accordance with ADA requirements. Additional spot grades should be added to the accessible parking spaces such that they are constructed in compliance with ADA guidelines.
- e. HR 275-9.F. and 276-11.1.B.(20). The applicant has included copies of several easements and deeds within the review package. We note a copy of a driveway easement benefitting Map 240, Lot 15, was not included in the package received for review..
- f. HR 276-11.1.B.(4)(b). The approval block on the cover sheet of the plan set is not in the lower left corner as required.
- g. HR 267-11.1.B.(12)(b). The applicant has not shown the 100' distance from adjacent residential uses for site improvements.
- h. HR 267-11.1.B.(13). The applicant has provided a note on the plan sheet that does not quite match the language in the Regulation.
- i. HR 276-11.1.B.(20). The applicant has not provided heights for the existing buildings.
- j. HR 276-11.1.B.(21).(b). The applicant did not provide any alternative proposals for consideration by the Planning Board within the review package received by CLD | Fuss & O'Neill.
- k. HR 276-11.1.B.(23). The applicant has not noted any pertinent highway projects on the plan set.

## **2. Driveway Review Codes (Chapter 193)**

- a. HR 193-10.E. The applicant has proposed to widen the existing driveway.
- b. Based upon experience with prior similar site plans, we note that delivery trucks may park on River Road if they are unable to see a loading space or turn around area. We suggest that the applicant review options to minimize this concern.

## **3. Traffic**

- a. There are no traffic related comments at this time.

## **4. Utility Design/Conflicts**

- a. HR 275-9.G. The applicant did not note any septic system permits received for the proposed septic system.
- b. HR 275-9.E., HR 276-13, and ZO 334-37.A. A detailed review of the proposed septic system was not performed by CLD | Fuss & O'Neill.
- c. HR 276-13.H. The applicant has proposed a new 2" water service connection to the building. The material type and construction details were not included in the plan set.
- d. The applicant did not include any provisions for fire protection for the proposed building on the utility plan.

**5. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)**

- a. HR 290-4.A(1). The applicant is proposing use of infiltration to manage stormwater, but has not demonstrated that four feet of separation will exist between the bottom of the infiltration device and the estimated seasonal high water table. (The test pit data provided shows that in order to prove compliance, the test pits should have been dug approximately three feet deeper.)
- b. HR 290-4.A.(1). The depth of sump in the Leaching Catch Basin is only 1.5'. Although we understand that the applicant has provided four times the three inch outlet diameter of spacing, we suggest that the applicant consider increasing this depth of sump to ensure proper pretreatment of the stormwater and prolong the lifespan of the Leaching Catch Basin.
- c. HR 290-5.E. The applicant has illustrated BMP Operation and Maintenance Recommendations upon Detail Sheet 7. The applicant should provide additional details to the owner that includes more details as to what to inspect for his use for maintenance of the system.
- d. HR 290-5.H. The applicant's Drainage Report calculations do not account for frozen ground conditions. The applicant should provide additional information to demonstrate compliance with this requirement.
- e. HR 290-5.K. The applicant has proposed a detail for the leaching catch basin that does not agree with the detail for the proposed rain garden. The applicant should clarify the limits of crushed stone backfill adjacent to the structure so that both details match.
- f. HR 290-5.K.22. The applicant has shown the snow storage area between the proposed parking lot and the proposed rain garden. Since plowed and stored snow includes salt, sediment and debris, we suggest that the applicant consider alternative snow storage areas. Storing snow away from the rain garden may increase the life expectancy of the BMP.
- g. The applicant's rim elevation and bottom of rain garden elevations shown in the rain garden detail do not match elevations on the site plan.

**6. Zoning (ZO 334)**

- a. Zoning Ordinance (ZO) 334-20. The subject lot is located in the General 1 (G-1) and Residential 2 (R-2) zoning districts. The proposed site within the lot is located in the G-1 district. The proposed personal service use appears to be permitted in this zoning district.
- b. ZO 334-33. The applicant has shown wetlands and associated wetlands buffers on the plan set. No work is proposed within these areas.
- c. ZO 334-58.A. The applicant has proposed a freestanding externally lit business sign within the project area and noted that all permits will be secured prior to installation. (Details for existing signs were not provided.)
- d. ZO 334-60.E. The applicant has shown the proposed sign very close to the 25 foot setback. We suggest that the applicant note the dimensional setback requirement between the sign and right-of-way so there is no confusion during construction.
- e. ZO 334-60.J. The applicant has provided a sign detail within the plans but it does not indicate proposed heights and colors for street numbers.
- f. ZO 334-64. The applicant is proposing a second freestanding/ground mounted sign for the subject lot. There is an existing freestanding sign for the Golf & Ski facility further south along River Road.
- g. ZO 334-83 and HR 218. The applicant has noted that the subject parcel is not located within a designated flood hazard area.

**7. Erosion Control/Wetland Impacts**

- a. HR 290-5.C. The applicant should review the need for the installation of erosion controls such as a silt sack in the catch basin adjacent to the site driveway.
- b. HR 290-5.C. The applicant should note the need for a stabilized construction entrance/exit for the site and provide a detail for its construction.
- c. HR 290-5.C. The applicant should review the need for additional erosion controls along River Road adjacent to the proposed water service line installation.
- d. The applicant has noted that the Town reserves the right to require additional erosion control measures during construction if needed.

**8. Landscaping (HR 275-8.C.(7) & HR 276-11.1.B.(20)) and Lighting (HR 276-11.1.B.(14))**

- a. HR 276-11.1.B.(21). The applicant has not proposed any new landscaping for the site other than the plantings for the proposed rain garden.
- b. HR 276-11.1.B.(14). The applicant has included details for new site lighting. However, we were unable to locate any information detailing the proposed hours of operation for the lighting or means of operation (photocell or timer).

**9. State and Local Permits (HR 275-9.G.)**

- a. HR 275-9.G. The applicant did not include copies of any applicable Town, state, county or federal approvals or permits in CLD | Fuss & O'Neill's review package.
- b. Additional local permitting may be required.

**10. Other**

- a. The applicant has proposed a two foot crushed gravel shoulder for the site parking lot but has not provided a related construction detail.

Please feel free to call if you have any questions.

Very truly yours,



Heidi J. Marshall, PE



Paul Konieczka, AICP

HJM:PK:mjt

Enclosure

cc: Brooke Dubowik – Town of Hudson  
Town of Hudson Engineering Division – File  
Hayner/Swanson, Inc.  
3 Congress Street  
Nashua, NH 03062-3301  
Fax: (603) 883-5057



26 February 2018

Job# 3867-SF

Mr. George Theborge, AICP  
Land Use Director  
Town of Hudson  
12 School Street  
Hudson, NH 03051



**RE: RESPONSE TO PEER REVIEW COMMENTS  
PROPOSED SITE PLAN  
2 FRIEL GOLF ROAD  
HUDSON, NEW HAMPSHIRE**

Dear Mr. Theborge:

Please find enclosed revised site plans and supplemental information addressing the peer review comments provided to us for the above project. The order of our responses is in the same sequence as they appear in the review letter.

**CLD/Fuss & O'Neill Peer Review Letter (dated February 15, 2018)**

- 1a. See revised note 7 on sheet 1 of 7 that addresses this comment.
- 1b. The existing loading areas on this lot are shown on sheet 1 of 7. Given the nature of the use of the existing building at 2 Friel Golf Road, deliveries by larger trucks are not anticipated. A UPS/FedEx type truck would be expected to make deliveries here and they would be able to use a vacant parking space to turn around.
- 1c. A very small portion (less than 1%) of the lot resides in the Residential Zoning district. The proposed improvements to the parking lot are located over 320 feet away from the closest residential zone line. It is our opinion based on the change of use of the building and the minor parking lot improvements on the north side of the building that additional screening/landscaping is not warranted.
- 1d. See the amended note and handicap parking area detail on sheet 6 of 7 that addresses this comment.
- 1e. A copy of the requested easement deed is included in this re-submission effort.
- 1f. See revised cover sheet.
- 1g. Sheet 3 of 7 has been revised to show a 100-foot distance from the nearest residential lot in the vicinity of the proposed work.
- 1h. See the revised note 10 on sheet 1 of 7.
- 1i. The height of the existing building has been added to sheet 2 of 7.
- 1j. Given that this project involves the reconstruction of an existing parking lot the preparation of three alternate sketches is not warranted.

- 1k. We are unaware of any proposed highway improvements along the frontage of this property.
- 2a. No response required.
- 2b. Due to the nature of this change of use application, large delivery trucks are not anticipated.
- 3a. No response required.
- 4a. The NHDES septic system approval for construction application has been submitted and is pending.
- 4b. No response required.
- 4c. The proposed water service pipe type and details have been added to sheets 3 and 6 of 7.
- 4d. A new fire service is not being proposed for this building.
- 5a. A note has been added to sheet 3 of 7 indicating that prior to installation of the leaching catch basin the Contractor shall perform a test pit under the supervision of the project engineer. The results shall be forwarded to the Town of Hudson.
- 5b. See sheet 7 of 7 for an amendment to the sump dimension of the leaching catch basin detail.
- 5c. This is a simple stormwater design and system. It is our opinion that the O&M notes and recommendations on sheet 7 of 7 are certainly adequate for this system.
- 5d. The depth of the proposed leaching catch basin should be at or below anticipated frost levels.
- 5e. See sheet 7 of 7 for the revised leaching catch basin detail that addresses this comment.
- 5f. See sheet 3 of 7 for the revised snow storage area location.
- 5g. See sheet 7 of 7 for the revised rain garden typical section that addresses this comment.
- 6a. No response required.
- 6b. No response required.
- 6c. No response required.
- 6d. See sheet 3 of 7 for the added dimension from the sign to the right-of-way.
- 6e. A note has been added to the sign detail (see sheet 6 of 7) indicating the height and color of the address information.
- 6f. No response required.
- 6g. No response required.
- 7a. It is our opinion, unless requested by the Hudson Street Department, that a SiltSak device is not needed for the catch basin located in River Road near our new driveway entrance.

- 7b. Due to type of project this is and the short duration it will take a Contractor to reconstruct the parking lot it is our opinion that a stabilized construction exit is not warranted. We have added a note to sheet 3 of 7 stating that the Contractor shall take measures to keep River Road clean during construction.
- 7c. The width of the proposed trench for the 2-inch water service would only be approximately 3-feet. Given this minor amount of expected disturbance and that the trench disturbance would be at least 20-feet off of the edge of the River Road pavement it is our opinion that additional erosion control measures are not needed.
- 7d. No response required.
  
- 8a. Landscape areas have been identified on sheet 3 of 7.
- 8b. it is our opinion that there is sufficient lighting information shown on the details (sheet 7 of 7). Typically site lighting for a small business parking lot is on a photocell and would be programmed to shut off electronically at 11 PM.
  
- 9a. No response required.
- 9b. No response required.
  
- 10a. See sheet 7 of 7 for the detail added to the plan set that addresses this comment.

It is requested that this revised submittal be reviewed for concurrence with the comments referenced above. Please do not hesitate to contact our office if you have any questions or need additional information.

Respectfully,



James N. Petropulos, P.E.  
President/Principle Engineer  
**Hayner/Swanson, Inc.**