



TOWN OF HUDSON

Planning Board

Glenn Della-Monica, Chairman

Marilyn McGrath, Selectmen Liaison



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

PUBLIC MEETING TOWN OF HUDSON, NH October 25, 2017

The Town of Hudson Planning Board will hold a regularly scheduled meeting on Wednesday, October 25, 2017 at 7:00 p.m. in the "Buxton Community Development Conference Room" at Town Hall. The following items will be on the agenda:

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES
- V. MINUTES OF PREVIOUS MEETING(S)
 - 11 October 17 Meeting Minutes – Decisions
- VI. CASES REQUESTED FOR DEFERRAL
- VII. CORRESPONDENCE
- VIII. OLD BUSINESS/PUBLIC HEARINGS:
 - 1) Commercial Development Site Plan – 140 Old Derry Rd. – Map 105/Lot 32 – SP#14-17
Purpose of Plan: To show proposed change of use of the existing building/site from a single-family residence to a contractor's facility with a 4500 sq. ft. accessory garage and site improvements.
- IX. NEW BUSINESS/PUBLIC HEARINGS
 - 1) Non-Residential Site Plan – 4 Bridle Bridge Rd – Map 145/Lot 6 – SP#13-17
Purpose of Plan - to depict the improvements related to re-development of the site with a 9600 sq. ft. building, parking/circulation design, and stormwater provisions. Public Hearing.
 - 2) Crimson Properties Subdivision – 36 Speare Rd – Map 194/Lot 1 – SB#8-17
Purpose of Petition: to depict the subdivision of Map 194, Lot 1 into three separate lots for single family residences. Public Hearing.
 - 3) Non-Residential Site Plan Renewal – 143 Lowell Rd – Map 204/Lot 5 – SP#13-14 (EP#2-17)
Purpose of Plan - to renew the approved site plan for a 2360 sq. ft. restaurant and site appurtenances for another 2-year period. Public Hearing.
- X. OTHER BUSINESS
- XI. ADJOURNMENT

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting.

The public is invited to attend.

George Theborge AICP
Land Use Director

DRAFT

MINUTES/DECISIONS OF THE PLANNING BOARD MEETING DATE: OCTOBER 11, 2017

In attendance = X; Alternates Seated = S; Partial Attendance = P; Excused Absence = E

Glenn Della-Monica Timothy Malley William Collins Charles Brackett
Chairman X Vice-Chair X Secretary X Member E

Jordan Ulery Dillon Dumont Elliott Veloso Ed Van der Veen
Member X Member X Alternate X Alternate X

Ethan Meinhold Marilyn McGrath David Morin
Alternate E Select. Rep. E Alt. Select. Rep. E

I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL

IV. SEATING OF ALTERNATES

Chairman Della Monica appointed Mr. Veloso as a voting member in the absence of Mr. Malley.

V. MINUTES OF PREVIOUS MEETING(S)

- 20 SEPT 17 Meeting Minutes – Decisions

Mr. Collins moved to approve the draft 20 SEPT 17 Meeting Minutes.

Motion seconded by Mr. Dumont. 5 yeas, 0 nays and 2 abstention. Motion carried.

VI. CASES REQUESTED FOR DEFERRAL

- Contractor's Facility – 140 Old Derry Road – Map 105 Lot 032 – SP #14-17

Ms. McGrath moved to defer consideration of the Contractor's Facility, 140 Derry Road to the October 25 2017 meeting.

Motion seconded by Mr. Brackett. 7 yeas, 0 nays and 0 abstention. Motion carried.

VII. CORRESPONDENCE

- Zoning Determination#17-82R 4 Site Drive Units A&B
- ZBA Chairman Letter dated 10-9-2017 Case 165-147

Mr. Theborge indicated that the zoning determination had been forwarded to the Planning Board at the request of Selectman McGrath.

Mr. Theborge indicated that the ZBA Chairman's letter had been forwarded by Zoning Administrator Buttrick.

Mr. Della-Monica stated that the correspondence would be discussed under Other Business after the other agenda items were completed.

VIII. PUBLIC HEARINGS

- New Fire Station – 204 Lowell Rd – Map 216-015 – CSP #4-17

The Planning Board conducted a public hearing and received no public comment.

The Planning Board discussed the project and determined that no non-binding comments from the Planning Board were necessary.

IX. OLD BUSINESS/PUBLIC HEARINGS

- Commercial Development Site Plan – 120 & 126 Derry Rd – Map 156/Lots 15 & 16 – SP #11-17

WAIVER MOTIONS:

- 1) HTC 193.10.G. – 1 Driveway per parcel

Mr. Collins moved to grant the requested waiver of HR 193.10.G., 1 Driveway per parcel, based on the testimony of the Applicant's representative and peer review input here this evening, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion seconded by Mr. Ulery. 5 yeas, 2 nays and 0 abstention. Motion carried.

- 2) HR 276 – 11.B (12) – No parking in front setback

Mr. Collins moved to grant the requested waiver of HR 276 – 11.B (12), No parking in front setback, based on the testimony of the Applicant's representative here this evening, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion seconded by Mr. Ulery. 5 yeas, 2 nays and 0 abstention. Motion carried.

- 3) HR 276-11.B (12)(c) – No commercial improvements within 100 feet of a residential property

Mr. Collins moved to grant the requested waiver of HR 276-11.B (12)(c), no commercial improvements within 100 feet of a residential property, based on the testimony of the Applicant's representative here this evening, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion seconded by Mr. Ulery. 6 yeas, 1 nay and 0 abstention. Motion carried.

MOTION TO APPROVE:

Mr. Collins moved to approve the Site Plan entitled: Commercial Development Option 2 Revised 11 OCT 17 "120 Derry Road" Tax Map 156, Lots 15 & 16, Derry Road (Rte 102), Hudson, NH, prepared by Jones and Beach Engineers, 85 Portsmouth Ave., Stratham, NH 03885, dated 14 AUG 17, revised thru 11 OCT 17, consisting of Sheets CS, C1-1 -3, C2, C2-1, C2-2, C3, C3-1 – C3-2, C4, C4-1, C4-2, C4-3, LP1, L1.0, L2.0, D1 – D10, E1, E2, A-4 and A-200, Notes 1 – 29 on Sheet C2, along with a memorandum and attachments by Scott Thornton P.E. dated 5 OCT 17 documenting off-site improvements in accordance with the following terms and conditions:

1. All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record and all agreed upon easement deeds, which shall be favorably reviewed by Town Counsel prior to Planning Board endorsement of the Plan.
2. All improvements shown on the Site Plan-of-Record (Sheet C2), including Notes 1- 29, shall be completed in their entirety and at the expense of the Applicant or his assigns.
3. Prior to the issuance of a final certificate of occupancy for any building on the site, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms to the Planning Board approved site plan.
4. Maintenance of the onsite drainage system shall be constructed and maintained in compliance with NHDES requirements for such systems.
5. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No construction activities shall be allowed on Sundays.
6. Hours of refuse removal shall be exclusive to the hours between 7:00 A.M. and 9:00 P.M. Monday through Saturday only and prohibited on Sunday.

7. This plan shall be subject to final engineering review and approval by the Town Engineer for all improvements, and by the Town Engineer and Road Agent for the proposed off-site intersection and sidewalk improvements. The proposed off-site improvements shall be completed prior to the issuance of the Certificate of Occupancy of the first building constructed on the site.
8. All driveway and off-site traffic improvements are subject to review and approval requirements of the New Hampshire Department of Transportation. In the event that NHDOT requires changes to the approved plans, the applicant is required to apply for amended site plan approval by the Planning Board.
9. Per HR 276-4, the applicant shall post with the Town of Hudson a performance surety in an amount to be approved by the Town Engineer in a form approved by the Town Attorney for all off-site improvements. Said performance surety shall be approved and posted prior to the issuance of a certificate of occupancy for any building on the site.
10. Per Zoning Ordinance §334-74.3.B, the Planning Board accepts the applicant's financial contributions to the off-site intersection and sidewalk improvements in lieu of the cost allocation procedure (CAP) fee for the project.
11. The applicant is to install 6-ft high vinyl fencing along the guardrail shown on Sheet L2.0 to provide screening for the abutting residential property as mitigation for the reduced 100-ft setback from the R2 District.

Motion seconded by Mr. Ulery. 6 yeas, 1 nay and 0 abstention. Motion carried.

ADDITIONAL MOTIONS:

Mr. Veloso moved to officially request that all peer review input from CLD related to traffic impacts and improvements be forwarded to NHDOT.

Motion seconded by Mr. Ulery. 7 yeas, 0 nay and 0 abstention. Motion carried.

Mr. Veloso moved to officially recommend that NHDOT stipulate that the applicant install durable "Do Not Block Intersection" striping at the intersections of Phillips Drive and Meagan Drive.

Motion seconded by Mr. Ulery. 7 yeas, 0 nay and 0 abstention. Motion carried.

X. NEW BUSINESS/PUBLIC HEARINGS

- Brox Industries, Inc. – Greeley St & Barretts Hill Rd – Map 115/Lot 5 – EP #1-17 (Extension of EP #1-12)

Ms. McGrath moved to accept the extension of approval request for Excavation of Soils Permit for Brox Industries, relative to 85 Greeley Street, Map 115/Lot 5 - EP# 1-17 (Extension of EP#1-12).

Motion seconded by Mr. Dumont. 7 yeas, 0 nay and 0 abstention. Motion carried.

Mr. Collins moved to extend the approval of the Excavation of Soils Plan entitled: Site Plan Map 115 Lot 5 Proposed Earth Excavation 85 Greeley Street, Hudson, New Hampshire, prepared by Hayner/Swanson, Inc., 3 Congress St., Nashua, NH 03062, dated: 5 July 2012 (no revision date), consisting of Sheets 1- 5 and Notes 1 – 8, in accordance with the following terms and conditions:

1. All stipulations of approval shall be incorporated into the Decision of Approval, which shall be recorded at the HCRD, together with the above-cited Plan (hereafter referred to as the Plan).
2. The Planning Board grants approval for a period of time not to exceed five (5) years from the date of extension of approval.
3. Hours of excavation or removal of materials involving the subject lot shall be limited to the hours after 7:00 A.M. and before 7:00 P.M., Monday through Saturday. Said excavation or removal of materials shall be prohibited on Sundays.

Motion seconded by Mr. Ulery. 7 yeas, 0 nay and 0 abstention. Motion carried.

XI. OTHER BUSINESS

The Board discussed Zoning Determination #17-82R and requested staff to seek legal guidance on the role and rights of appeal of the Planning Board with respect to interpretation and enforcement of approved site plans. Ms. McGrath recused herself from the Board's discussion and clarified that she was speaking as an affected party and not as a member of the Board of Selectmen.

The Board discussed the letter from Zoning Board of Adjustment Chairman Normand Martin and agreed to consider the ZBA's input from Variance Case 165-147 when the indoor self-storage units come for Planning Board site plan review.

XII. ADJOURNMENT

Meeting adjourned at 10:40 p.m.

William Collins
Secretary

140 Old Derry Road
Site Plan Review
STAFF REPORT
October 25, 2017

SITE: 140 Old Derry Road - Map 105/Lot 32 - SP# 14-17

ZONING: G-1

PURPOSE OF PLAN: to show the proposed change of use of the existing building/site from a single-family residence to a contractor's office and construct a 4500 garage and other ancillary improvements. Application Acceptance and Public Hearing.

PLAN UNDER REVIEW: Site Plan Proposed Contractor's Facility (Map 105/Lot 34) 140 Old Derry Road, Hudson, NH, prepared by HSI Hayner/Swanson, Inc., 3 Congress St., Nashua, NH, dated 21 August 2017 (Revisions through 10 October 2017) and consisting of Sheets 1-9 and Notes 1 – 23 on Sheet 1.

ATTACHMENTS:

- 1) Site Plan Application date stamped Aug. 25, 2017 with landscaping plan waiver request, project narrative, site photos, and building plans and elevations– Attachment "A".
- 2) Zoning Determination by Bruce Buttrick, Zoning Administrator, dated Aug. 5, 2016 – Attachment "B".
- 3) CLD/Fuss & O'Neill review comments memo dated 26 September 2017 with response to peer review comments by Thomas Zajac P.E. dated 13 October 2017 – Attachment "C".

PROJECT DESCRIPTION:

This proposed change of use consists of the following: conversion of a single-family dwelling, located in a G-1 district, to a contractor's office, construction of a 4,500 sf commercial garage, and construction of a parking lot to accommodate the parking of trucks and other commercial vehicles. The lot consists of 2.9 acres, and abuts a residentially developed lot to the east and a large, presently undeveloped parcel, also zoned G-1, to the west. The general vicinity of this property is comprised of mostly a mix of both residential and commercial properties, making the proposed conversion somewhat in keeping with the scale and character of the subject area.

APPLICATION TRACKING:

- 8 FEB 2017 - Conceptual review
- 25 AUG 2017 - Application submitted.
- 25 OCT 2017 – Public hearing scheduled.

REQUESTED WAIVERS:

- 1) HR 275 – 8. C.7. – Requirement for a landscaping plan
- 2) HR 276-11.1.B.(12)(a) – Requirement for 200 ft. setback between industrial development and an abutting residential property line

OUTSTANDING ISSUES:

1. The Planning Board deferred consideration of this application at the 11 October 2017 meeting to provide the applicant opportunity to respond to CLD review comments. The

applicant submitted a response packet dated 13 October 2017, less than the required 10-working day timeframe needed for CLD review of applicant submissions. Any approval should be conditioned upon final review and approval by CLD of design detail revisions.

2. One of the issues raised by CLD is the potential need for landscape buffering and the requirement of the Hudson Land Use Regulations for a 200 ft setback (not a buffer) between industrial uses and abutting residential property lines. The applicant has submitted an additional waiver request from the 200 ft. setback requirement and has proposed some landscaping on Sheets 1 and 3 to fill in a gap in the wooded buffer between the proposed construction and the abutting residence.
3. Under the Hudson Land Use Regulations, staff or the Planning Board may request a formal traffic study (HR 275-9 B.). For small projects like this, a trip generation analysis and identification of traffic impacts and mitigation measures is unwarranted. An analysis of sight distances along the access road (Old Derry Road) and confirmation that safe stopping sight distances per AASHTO standards should always be provided. At the existing driveway entrance, there is a vertical curve (rise) in the road looking north along Old Derry Road. A neighbor to the project indicated that vehicles come over that rise in excess of the posted speed limit and he is concerned with the safety of the proposed development. CLD indicated in their review comments that documentation of the driveway meeting AASHTO standards should be submitted. The applicant has submitted sight distance measurements on Sheet 3 of 8 indicating a sight distance of 400 ft. +/- to the north and 280 ft. +/- to the south. The applicant has not provided any indication of whether these distance meet AASHTO standards for safe stopping sight distances for driveway entrances.

RECOMMENDATION: Staff recommends application acceptance and conduct of the public hearing and for possible final action to be considered in accordance with the below DRAFT MOTIONS. That is, depending on whether or not the Board deems that more time is needed to come to a conclusion on this application.

MOTION TO ACCEPT THE APPLICATION:

I move to accept the Site Plan application for 140 Old Derry Rd, Map 105/Lot 34.

Motion by: _____ Second: _____ Carried/Failed: _____

MOTION TO DEFER CONSIDERATION OF THE APPLICATION:

I move to defer further review of the 140 Old Derry Road Site Plan application, date specific, to the 8 NOV 17 meeting.

Motion by: _____ Second: _____ Carried/Failed: _____

WAIVER MOTIONS:

- 1) HR 275 – 8. C.7. – Requirement for a landscaping plan

I move to grant the requested waiver HR 275- 8. C.7. – Requirement for a landscaping plan based on the testimony of the Applicant’s representative here this evening, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: _____ Second: _____ Carried/Failed: _____

- 2) HR 276-11.1.B.(12)(a) – Requirement for 200 ft. setback between industrial development and an abutting residential property line

I move to grant the requested waiver HR 276-11.1.B.(12)(a) – Requirement for 200 ft. setback between industrial development and an abutting residential property line based on the testimony of the Applicant’s representative here this evening, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: _____ Second: _____ Carried/Failed: _____

MOTION TO APPROVE:

I move to approve the Site Plan entitled: Site Plan Proposed Contractor’s Facility (Map 105/Lot 34) 140 Old Derry Road, Hudson, NH, prepared by HSI Hayner/Swanson, Inc., 3 Congress St., Nashua, NH, dated 21 August 2017 (Revisions through 10 October 2017) and consisting of Sheets 1-9 and Notes 1 – 23 on Sheet 1:

1. All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record and all agreed upon easement deeds, which shall be favorably reviewed by Town Counsel prior to Planning Board endorsement of the Plan.
2. All improvements shown on the Site Plan-of-Record, including Notes 1- 23, shall be completed in their entirety and at the expense of the Applicant or his assigns.
3. Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms to the Planning Board approved site plan.
4. Maintenance of the onsite drainage system shall be constructed and maintained in compliance with NHDES requirements for such systems.
5. A cost allocation procedure (CAP) amount of \$5625.00 shall be paid prior to the issuance of a Certificate of Occupancy, and this fee shall be reflected as new Note 24 on the Site Plan,.
6. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No construction activities shall be allowed on Sundays.
7. Hrs. of refuse removal shall be exclusive to the hours between 7:00 A.M. and 9:00 P.M. Mon – Sat. only and prohibited on Sunday.
8. This plan shall be subject to final engineering review and approval by CLD and Town staff.

Motion by: _____ Second: _____ Carried/Failed: _____

ATTACHMENT A



PRELIMINARY & FINAL SITE PLAN APPLICATION FOR PLAN REVIEW (Also for Wireless) TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: 8-24-17 Tax Map # 105 Lot # 32

Name of Project: Proposed Contractor's Facility

Zoning District: G:1 General General SP# 14-17
(For Town Use) (For Town Use)

ZBA Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: Nirel, LLC

(same as owner)

Address: 140 Old Derry Road

Address: Hudson, NH 03051

Telephone # 866-284-6400

Fax # _____

Email: alldrains@comcast.net

PROJECT ENGINEER

SURVEYOR

Name: Thomas E. Zajac, Jr., P.E.

Dennis Pollock, LLS

Address: 3 Congress Street

3 Congress Street

Address: Nashua, NH 03062

Nashua, NH 03062

Telephone # 603-882-2057

603-882-2057

Fax # 603-883-5057

603-883-5057

Email: tzajac@hayner-swanson.com

dpollock@hayner-swanson.com

PURPOSE OF PLAN:

- 1) To show the proposed change of use of the existing building/site from a single-family residence to a contractor's facility.
- 2) To show a proposed 4,500 SF accessory garage along with minor site improvements.

For Town Use

Plan Routing Date: _____ Sub/Site Date: _____

_____ I have no comments _____ I have comments (attach to form)

_____ Title: _____ Date: _____

(Initials)

DEPT:

_____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning
_____ Consultant _____ Highway Department

Fees Paid: _____

SITE DATA SHEET

PLAN NAME: Proposed Contractor's Facility

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 105 LOT 32

DATE: _____

Location by Street 140 Old Derry Road

Zoning: G-1: General

Proposed Land Use: Contractor's Facility

Existing Use: Residential

Surrounding Land Use(s): Residential & Commercial

Number of Lots Occupied: 1

Existing Area Covered by Building: 2,784 SF

Existing Buildings to be removed: 698 SF

Proposed Area Covered by Building: 6,324 SF

Open Space Proposed: 87%

Open Space Required: 40%

Total Area: S.F.: 127,424 Acres: 2.925

Area in Wetland: 6,158 SF Area Steep Slopes: 5,130 SF

Required Lot Size: 87,120 SF

Existing Frontage: 457.3 FT

Required Frontage: 200 FT

Building Setbacks:	<u>Required*</u>	<u>Proposed</u>
Front:	<u>50 FT</u>	<u>81.7 FT</u>
Side:	<u>15 FT</u>	<u>23.7 FT</u>
Rear:	<u>15 FT</u>	<u>N/A</u>

**SITE PLAN DATA SHEET
(Continued)**

Flood Zone Reference: FEMA FIRM MAP NO. 330011C0509D

Width of Driveways: 16-18 FT (Existing)

Number of Curb Cuts: 1 (Existing)

Proposed Parking Spaces: 9

Required Parking Spaces: 5

Basis of Required Parking (Use): Business Services

Dates/Case #/Description/Stipulations
of ZBA, Conservation Commission,
NH Wetlands Board Actions: Zoning Determination #16-93
(Attach stipulations on separate sheet) Planning Board Conceptual CSP#01-17

Hudson Town Code		
<u>Waivers Requested:</u>	<u>Reference</u>	<u>Regulation Description</u>
	1. _____	_____
	2. _____	_____
	3. _____	_____
	4. _____	_____
	5. _____	_____
	6. _____	_____
	7. _____	_____
	8. _____	_____

(Left column for Town Use)

Impact Fees:
C.A.P Fee: _____

Development Agreement
Proposed: _____

<i>For Town Use</i>	
Data Sheet Checked By: _____	Date: _____

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Thirty (30) days prior to Planning Board Meeting, a complete site plan to include all supporting materials/documents must be submitted in final form. The site plan shall comply with the following specifications/requirements:

Applicant Initials		Staff Initials
<u>TZ</u>	a) Submission of nine (9) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M., Tuesday the week prior to the scheduled public hearing/conceptual review date.	_____
<u>TZ</u>	b) A Site Plan narrative, describing the purpose, locations, long-range plans, impacts on traffic, schools, and utilities	_____
<u>TZ</u>	c) Plan scale at not less the one inch equals fifty feet (1" = 50')	_____
<u>TZ</u>	d) Locus plan with 1,000' minimum radius of site to surrounding area	_____
<u>TZ</u>	e) Plan date by day/month/year	_____
<u>TZ</u>	f) Revision block inscribed on the plan	_____
<u>TZ</u>	g) Planning Board approval block inscribed on the plan	_____
<u>TZ</u>	h) Title of project inscribed on the plan	_____
<u>TZ</u>	i) Names and addresses of property owners and their signatures inscribed on the plan	_____
<u>TZ</u>	j) North point inscribed on the plan	_____
<u>TZ</u>	k) Property lines: exact locations and dimensions	_____
<u>TZ</u>	l) Square feet and acreage of site	_____
<u>TZ</u>	m) Square feet of each building (existing and proposed)	_____
<u>TZ</u>	n) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan.	_____

Applicant
Initials

Staff
Initials

- TZ o) Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve areas, floodways/floodplains, driveways, travel areas, parking areas and natural features within 200 feet of the tract _____
- TZ p) Locations of existing and proposed permanent monuments and bench marks within 200 feet of the development tract _____
- TZ q) Pertinent highway projects _____
- TZ r) Assessor's Map and Lot number(s) _____
- TZ s) Waiver application form shall be submitted with the site plan application, note on plan listing waivers requested/granted; and all waivers granted to the site plan regulations shall be listed on the final plan; waivers to checklist shall be reduced to writing and be signed by the Planning Board Chairman and Planning Board Secretary and recorded with the plan _____
- TZ t) Delineate zoning district on the plan _____
- TZ u) Storm water drainage plan _____
- TZ v) Topographical elevations at 2-foot intervals contours: existing and proposed _____
- TZ w) Utilities: existing and proposed _____
- TZ x) Parking: existing and proposed _____
- TZ y) Parking space: length and width _____
- TZ z) Aisle width/maneuvering space _____
- TZ aa) Landscaping: existing and proposed (WAIVER) _____
- TZ ab) Building and wetland setback lines _____
- TZ ac) Curb cuts _____
- TZ ad) Rights of way: existing and proposed _____
- TZ ae) Sidewalks: existing and proposed _____
- TZ af) Exterior lighting plan _____
- TZ ag) Sign locations: size and design _____
- TZ ah) Water mains and sewerage lines _____
- TZ ai) Location of dumpsters on concrete pads _____
- TZ aj) All notes from plats _____

Applicant
Initials

Staff
Initials

- | | | | |
|-----------|-----|---|-------|
| <u>TZ</u> | ak) | Buffer as required by site plan regulations | _____ |
| <u>TZ</u> | al) | Green and open space requirements met with both types of spaces inscribed on the plan | _____ |
| <u>TZ</u> | am) | Soil types and boundaries, Note: If site contains marginal or questionable soils, a High Intensity Soil, Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire Certified Soil Scientist, who shall affix his/her stamp and signature shall be inscribed on the plan. | _____ |
| <u>TZ</u> | an) | Wetlands (and poorly-drained and very poorly-drained soils, also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire certified wetland or soil scientist, who shall affix his/her stamp and signature to the respective plan. | _____ |
| <u>TZ</u> | ao) | "Valid for one year after approval" statement inscribed on the plan. | _____ |
| <u>TZ</u> | ap) | Loading bays/docks | _____ |
| <u>TZ</u> | aq) | State of New Hampshire engineer's stamp, signature, surveyor's stamp, and signature | _____ |
| <u>TZ</u> | ar) | Error of closure (1 in 10,000 or better) | _____ |
| <u>TZ</u> | as) | Drafting errors/omissions | _____ |
| <u>TZ</u> | at) | Developer names, addresses, telephone numbers and signatures | _____ |
| <u>TZ</u> | au) | Photographs, electronic/digital display or video of site and area | _____ |
| <u>TZ</u> | av) | Attach one (1) copy of the building elevations | _____ |
| <u>TZ</u> | aw) | Fiscal impact study (N/A) | _____ |
| <u>TZ</u> | ax) | Traffic study (N/A) | _____ |
| <u>TZ</u> | ay) | Noise study (N/A) | _____ |

Applicant
Initials

Staff
Initials

TZ az) Copies of any proposed or existing easements, covenants, deed restrictions,
right of way agreements or other similar documents _____

TZ ba) Copy of applicable Town, State, Federal approval/permits to include but
not limited to the following: _____

- industrial discharge application
- sewer application
- flood plain permit
- wetlands special exception
- variance
- erosion control permit (149:8a)
- septic construction approval
- dredge and fill permit
- curb cut permit
- shore-land protection certification in
in accordance with RSA483-B
- if applicable, review application with Lower Merrimack River Local
Advisory Committee (LMRLAC) and attach LMRLAC project
comments hereto.

TZ bb) Presentation plan (colored, with color-coded bar chart) _____

TZ bc) Fees paid to clerk _____

TZ bd) Five (5) 22" x 34" copies of the plan shall be brought to the Planning
Board meeting and distributed to the Planning Board members at the
meeting. Note: for all subsequent meetings involving revised plans,
five 22" x 34" copies of said plan shall be brought to the meeting for
distribution to the board members. _____

*Under the purview of the Planning Board, any and all items may be waived.

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Site Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Site Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: *Sarah Melican for Nirel, LLC*

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: *(same as owner)*

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

APPLICATION IS DUE AT NOON 21 days prior to the Planning Board Meeting. (The date the Agenda is CLOSED.) Any applications received after that time will be deferred until the next available meeting.

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: Proposed Contractor's Facility

Street Address: 140 Old Derry Road

I Nirel, LLC hereby request that the Planning Board waive the requirements of item 275-8(C)(7) of the Subdivision/Site Plan Checklist in reference to a plan presented by Hayner/Swanson, Inc.

(name of surveyor and engineer) dated 21 August 2017 for property tax map(s) 105 and lot(s) 32 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

See attached waiver request letter.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

See attached waiver request letter.

Signed: [Signature]
Applicant or Authorized Agent
Thomas E. Zajac, Jr., P.E.
Hayner/Swanson, Inc.

Planning Board Action:

Waiver Granted:

Waiver Not Granted:



Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors

August 24, 2017
Job #5467

Mr. Glenn Della-Monica, Chairman
Town of Hudson Planning Board
12 School Street
Hudson, NH 03051

**RE: SITE PLAN WAIVER REQUEST
PROPOSED CONTRACTOR'S FACILITY
140 OLD DERRY ROAD
HUDSON, NH**

Dear Mr. Della-Monica,

On behalf of our client, Nirel, LLC, we respectfully request the following waiver from the Hudson Site Plan Regulations (HSPR) for the above-referenced project:

Waiver Request:

HSPR 275-8(C)(7): Landscaping Plan

Request: To waive the landscaping plan requirement.

Basis of Waiver: The regulation requires the preparation of a formal landscaping plan as part of a site plan application. This particular application proposes the change of use from a single-family residential use to a proposed contractor's facility. Additionally, a 1-story, 4,500 SF accessory garage is proposed in the rear of the site in an area that is currently developed with accessory buildings and gravel parking. The property contains an existing wooded buffer along its perimeter, including its frontage on Old Derry Road. This existing buffer will help screen the proposed garage and parking improvements that will be located in the rear of the site. Given the above, it is our opinion that the existing wooded buffer provides adequate screening and buffering and that the preparation of a formal landscaping plan is not warranted.

In summary, it is our opinion the above waiver request is reasonable and meets the criteria outlined in Section 275-15, Waivers of the Hudson Site Plan Regulations. Given that this request does not adversely impact any abutting properties, it is our opinion the above request meets the spirit and intent of the Town of Hudson Site Plan Regulations. A strict enforcement of the above regulation would pose a hardship to our Client by adding costs to perform unnecessary design. Thank you for your consideration on this matter.

Respectfully,

A handwritten signature in black ink, appearing to read "Tom Zajac, Jr.", is written over a large, stylized circular flourish.

Thomas E. Zajac, Jr., P.E.
Senior Engineer
Hayner/Swanson, Inc.

cc: John Cashell – Hudson Planning Department

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

FOOTNOTES:

1. In the event of the denial of a plan, the recording fees collected will not be reimbursed, but will instead be used as an additional fee to help defray administrative costs associated with a denial.
2. The "Review Fees" are fees estimated necessary to offset costs incurred to review and/or compile plans, data, or other information relative to the proposal.
3. The "Amount Due" does not include fees for studies or reviews as authorized in Section G-2 of this regulation.
4. Fees must be paid in full prior to the commencement of any formal review by the Town of Hudson.

STATUS:

DATE:

_____	1.	Application incomplete	_____
_____	2.	Application complete. Include any applicable requested waivers, fees paid, routing sheet returned	_____
_____	3.	Application formally accepted or denied by Planning Board (90-day review clock by RSA 674:43 to start upon acceptance granted)	_____
_____	4.	Final approval granted or denied	_____
_____	5.	Comments:	

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

SCHEDULE OF FEES

A. Review Fees

<u>1. Site Plan Use</u>	<u>Project Size/Fee</u>	\$ _____
Multi-Family	\$105/unit for 3-50 units \$78.50/unit for each additional unit over 50	\$ _____
Commercial/Semi Public/Civic or Recreational	\$157/1,000 sq. ft. for first 100,000 sq.ft. (bldg area); \$78.50/1,000 sq.ft. thereafter.	\$ <u>\$706.50</u>
For Proposed 4,500 SF Accessory Building		
Industrial	\$150/1,000 sq.ft for first 100,000 sq.ft. (bldg. area);\$78.50/1,000 sq.ft thereafter	\$ _____
No Buildings	\$30.00 per 1,000 sq.ft. of proposed developed area	\$ _____

Plus Consultant Review Fee:

Total 2.925 acres @ \$600.00 per acre or \$1,250.00, whichever is greater \$ \$1,755.00

This is an estimate for cost of consultant review. The fee is expected to cover the amount. A complex project may require additional funds. A simple project may result in a refund.

Legal Fee:

The applicant shall be charged attorney costs billed to the Town for the Town's attorney review of any application plan set documents.

2. Conceptual Review Only \$100.00	\$ _____
3. ZBA Input Only \$100.00	\$ _____

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

SCHEDULE OF FEES
(Continued)

B. Postage

Current "certified mail" postage rate per abutter to proposed Site Plan and current first class postage rate per property Owner within 200 feet of proposed site plan.

<u>6</u>	Abutters @\$6.74 (Certified Mail)	\$ <u>40.44</u>
<u>3</u>	Property owners within 200 feet @.49 (First class)	\$ <u>1.47</u>

C. On Site Signs \$ 15.00

D. Advertising (PUBLIC NOTICE) For all site plans \$ 40.00

E. Tax Map Updating Fee (FLAT FEE) \$ 275.00

TOTAL \$ 2,833.41

<i>For Town Use</i>	
AMOUNT DUE	\$ _____ DATE RECEIVED _____
AMOUNT RECEIVED	\$ _____ RECEIPT NO. _____
	RECEIVED BY: _____

F. Recording Fees

The applicant shall pay the costs of recording the final site plan layout prior to final site plan approval, in accordance with fees established by the County.

Recording of Plan	@\$24.00/sheet	\$ _____
	+\$2.00/surcharge plan	\$ _____
Land & Community Heritage Investment Program (LCHIP) fee	+25.00	\$ _____
Easements/Agreements (if applicable)	@\$10.00/first sheet	\$ _____
	@\$ 4.00/each sheet	\$ _____
Thereafter	+\$2.00/surcharge/doc.	\$ _____
	+First Class return postage rate	
TOTAL		\$ _____

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

**SCHEDULE OF FEES
(Continued)**

PLEASE NOTE: RECORDING FEES SHALL BE COMPUTED WHEN PLANS ARE FINALIZED FOR RECORDING. RECORDING FEES MUST BE PAID BY THE APPLICANT PRIOR TO RECORDING.

THE APPLICANT SHALL BE RESPONSIBLE FOR ALL FEES INCURRED BY THE TOWN FOR PROCESSING AND REVIEW OF THE APPLICANT'S APPLICATION, PLAN AND RELATED MATERIALS. ALL SUCH FEES MUST BE PAID PRIOR TO RECORDING.

E. COST ALLOCATION PROCEDURE AMOUNT CONTRIBUTION AND OTHER IMPACT FEE PAYMENTS:

TO BE DETERMINED BY VOTE OF THE PLANNING BOARD AND SHALL BE PAID BY THE APPLICANT AT THE TIME OF SUBMITTAL OF CERTIFICATE OF OCCUPANCY PERMIT REQUEST.

LIST OF ABUTTERS

List of all the names and addresses of the owner (s) of record of the property and abutters, as of the time of the last assessment for taxation made by the concerned property by a street(s), public land(s) or stream(s) up to distance of 200 feet from subject tract.

I. ADJACENT PROPERTY OWNERS

MAP	<u>105</u>	LOT	<u>17</u>	NAME	<u>Noury Investments LLC</u>	ADDRESS	<u>17 Elnathans Way, Hollis, NH 03049</u>
MAP	<u>105</u>	LOT	<u>33</u>	NAME	<u>Carlos M. & Maria G. Dos Santos</u>	ADDRESS	<u>142 Old Derry Road, Hudson, NH 03051</u>
MAP	<u>106</u>	LOT	<u>13</u>	NAME	<u>Paul F. Gauvreau</u>	ADDRESS	<u>145 Old Derry Road, Hudson, NH 03051</u>
MAP	<u>110</u>	LOT	<u>2</u>	NAME	<u>Debra Noble</u>	ADDRESS	<u>135A Old Derry Road, Hudson, NH 03051</u>
MAP	<u>111</u>	LOT	<u>1</u>	NAME	<u>Patrick J. Allen & Daniel M. Paris</u>	ADDRESS	<u>4 Tear Drop Circle, Hudson, NH 03051</u>
MAP	<u>111</u>	LOT	<u>3</u>	NAME	<u>Kevin & LEEAN MCCARTHY</u>	ADDRESS	<u>1 Tear Drop Circle, Hudson, NH 03051</u>
MAP	_____	LOT	_____	NAME	_____	ADDRESS	_____
MAP	_____	LOT	_____	NAME	_____	ADDRESS	_____
MAP	_____	LOT	_____	NAME	_____	ADDRESS	_____
MAP	_____	LOT	_____	NAME	_____	ADDRESS	_____
MAP	_____	LOT	_____	NAME	_____	ADDRESS	_____
MAP	_____	LOT	_____	NAME	_____	ADDRESS	_____
MAP	_____	LOT	_____	NAME	_____	ADDRESS	_____
MAP	_____	LOT	_____	NAME	_____	ADDRESS	_____
MAP	_____	LOT	_____	NAME	_____	ADDRESS	_____

II. PROPERTY OWNERS WITHIN 200 FEET

MAP	<u>105</u>	LOT	<u>32</u>	NAME	<u>Albert Tremblay</u>	ADDRESS	<u>144 Old Derry Road, Hudson, NH 03051</u>
MAP	<u>106</u>	LOT	<u>12</u>	NAME	<u>Wendt Living Trust c/o David W. Wendt, Trustee</u>	ADDRESS	<u>4 Melissa Drive, Nashua, NH 03062</u>
MAP	<u>111</u>	LOT	<u>2</u>	NAME	<u>Lisa & Michael Griffen</u>	ADDRESS	<u>2 Tear Drop Circle, Hudson, NH 03051</u>
MAP	_____	LOT	_____	NAME	_____	ADDRESS	_____
MAP	_____	LOT	_____	NAME	_____	ADDRESS	_____
MAP	_____	LOT	_____	NAME	_____	ADDRESS	_____
MAP	_____	LOT	_____	NAME	_____	ADDRESS	_____
MAP	_____	LOT	_____	NAME	_____	ADDRESS	_____
MAP	_____	LOT	_____	NAME	_____	ADDRESS	_____

Project Narrative

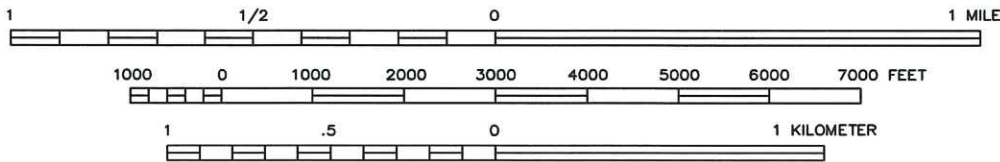
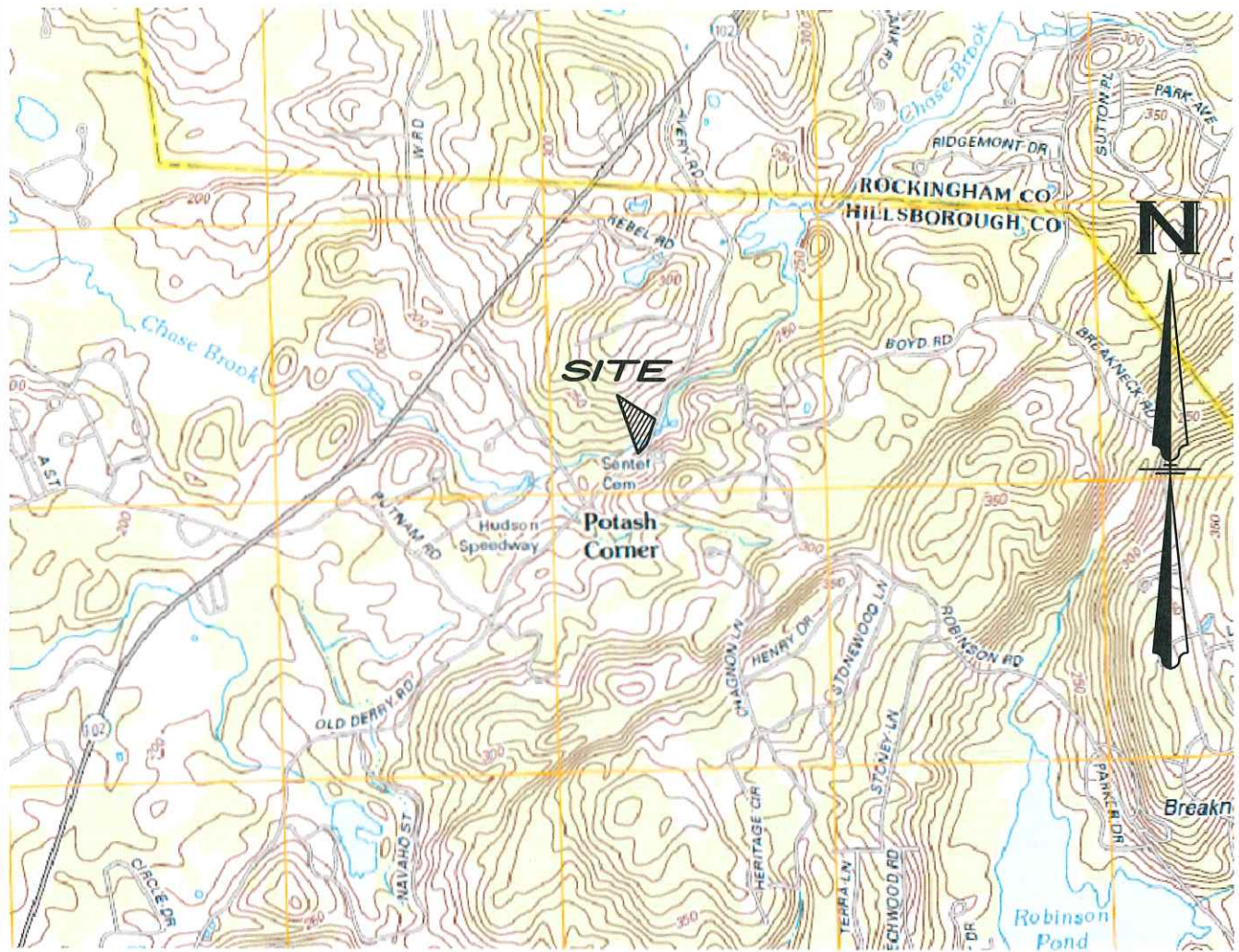
The project area under consideration for this development is Tax Map 105, Lot 32 in Hudson, NH. The property measures 2.9 +/- acres and is abutted by an undeveloped commercial property to the west, and residential uses to the north, east and south. Chase Brook is located within the southerly portion of the property as it crosses under Old Derry Road and continues flowing to the west. Currently, the site contains a 1-1/2 story, residence along with a number of smaller accessory garages/sheds. Access to the property is provided via an existing driveway off of Old Derry Road. There is a large gravel area located in the rear of the property. The remainder of the site contains mostly lawn areas. The site is serviced by private septic system, a private well, propane gas, and overhead utilities. According to NRCS/SCS Soil Maps, the predominant soil type is Chatfield-Hollis-Canton complex. In regards to topography, the property slopes in a southerly direction with about 50 feet of elevation change from the northern tip of the property to Chase Brook. The developed area of the property is relatively flat.

It is being proposed to convert the existing residence into a contractor's facility. Per the Zoning Determination Letter, this use can be classified as a "contractor's yard" and is permitted in the G-1 zoning district. It is also proposed to construct a 1-story, 4,500 SF accessory garage in the rear of the site along with minor site improvements. Associated site improvements include minor paving/re-surfacing, nine parking spaces, curbing, and stormwater management. No improvements are being made to the existing driveway or within the roadway. A dumpster pad/enclosure fence will be constructed in the rear of the site and contain an 8-yard dumpster and a 600 gallon closed, grease container. As part of this site plan process, the applicant will design/permit a new septic system; however, it is understood that the existing septic system is to remain in use.

The proposed use is a drain cleaning service business, All Drains Services, that is seeking to re-locate from their current location in Dracut, MA. All Drains currently has a total of thirteen (13) employees, including three (3) full-time office staff, two (2) part-time office staff, and eight (8) service/repair technicians. It is proposed for the office staff to use the existing building for its day-to-day business operations. Normal business

hours will be Monday-Friday 7 AM to 7 PM. During a typical business day, service technicians are only on-site first thing in the morning to check in and will take their service vehicles home each evening. The company also owns a vacuum truck, pump truck and small Bobcat excavator which will be stored in the proposed garage while not in use.

There are no wetland or wetland buffer impacts associated with the re-development of the site, and the project layout for the building addition and pavement has been developed to minimize environmental issues. The site development associated with the overall construction of this project disturbs approximately 35,000 square feet of contiguous area.



CONTOUR INTERVAL 10 FEET
 NORTH AMERICAN VERTICAL DATUM OF 1988



NASHUA NORTH, NH
 QUAD MAP (2015)

VICINITY PLAN
PROPOSED CONTRACTOR'S FACILITY
 140 OLD DERRY ROAD
 HUDSON, NH

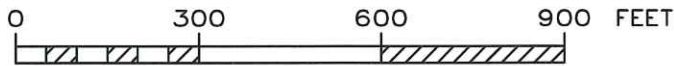
PREPARED FOR:
NIREL, LLC
 140 OLD DERY ROAD. HUDSON, NH 03051 (866) 284-6400
 21 AUGUST 2017

FIG. 1

 **Hayner/Swanson, Inc.**
 Three Congress Street Nashua, New Hampshire 03062-3301
 Tel (603) 883-2057 www.haynerswanson.com Fax (603) 883-5057

DRAWING: 5467 USGS
 LOCATION: Q:\5467\DWG\SITE

5467
 File Number



AERIAL PHOTO
PROPOSED CONTRACTOR'S FACILITY
 140 OLD DERRY ROAD
 HUDSON, NH

PREPARED FOR: FIG. 3
NIREL, LLC
 140 OLD DERY ROAD. HUDSON, NH 03051 (866) 284-6400
 21 AUGUST 2017

HSI Hayner/Swanson, Inc.
 Three Congress Street Nashua, New Hampshire 03062-3301
 Tel (603) 883-2057 www.haynerswanson.com Fax (603) 883-5057

DRAWING: 5467 USGS
 LOCATION: Q:\5467\DWG\SITE

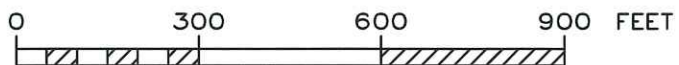
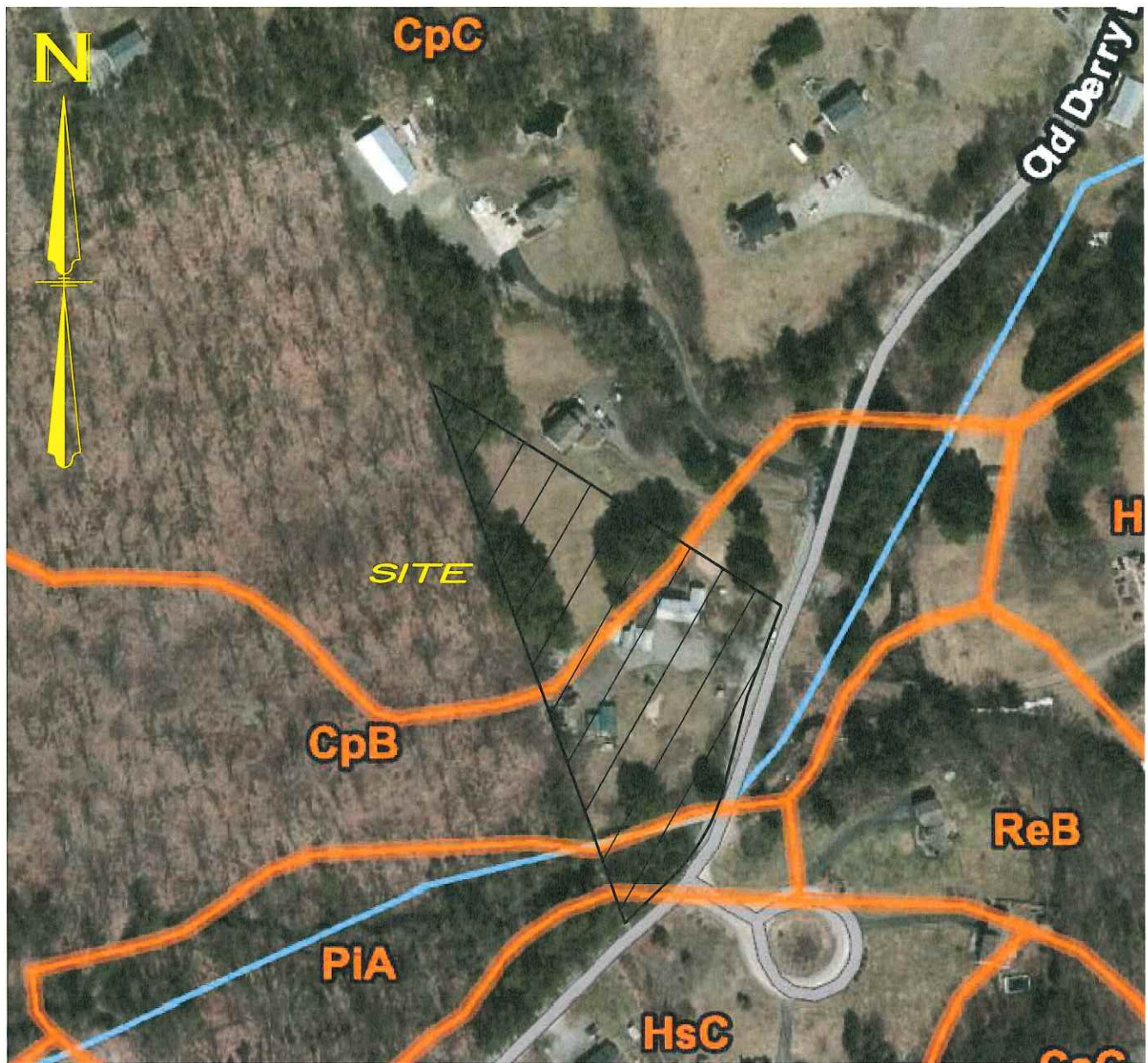
5467
 File Number



Looking north from Old Derry Road towards existing building



Looking west from Old Derry Road at site driveway towards existing building



SOIL SURVEY STAFF, NATURAL RESOURCES CONSERVATION SERVICE, UNITED STATES DEPT. OF AGRICULTURE. WEB SOIL SURVEY. AVAILABLE ONLINE AT <http://websoilsurvey.nrcs.usda.gov/> ACCESSED JUNE 13, 2017.

NRCS SOILS MAP
PROPOSED CONTRACTOR'S FACILITY
140 OLD DERRY ROAD
HUDSON, NH

PREPARED FOR: **NIREL, LLC**
 140 OLD DERY ROAD. HUDSON, NH 03051 (866) 284-6400
 21 AUGUST 2017

FIG. 2

HSI Hayner/Swanson, Inc.
 Three Congress Street Nashua, New Hampshire 03062-3301
 Tel (603) 883-2057 www.haynerswanson.com Fax (603) 883-5057

DRAWING: 5467 USGS
 LOCATION: Q:\5467\DWG\SITE

5467
 File Number



Looking north along site frontage on Old Derry Road



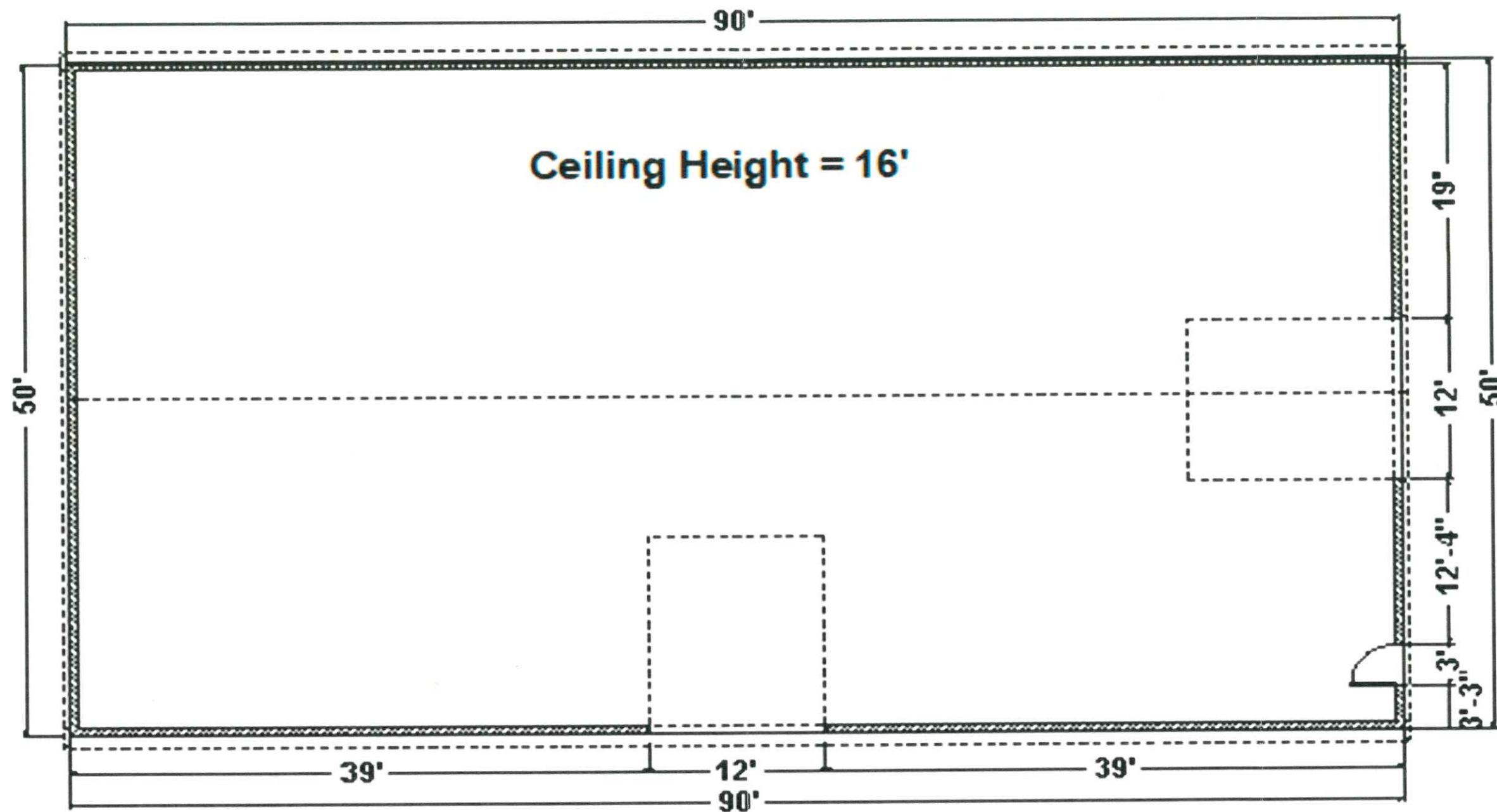
Existing residence



Chase Brook



Looking north from Chase Brook towards existing residence/lawn

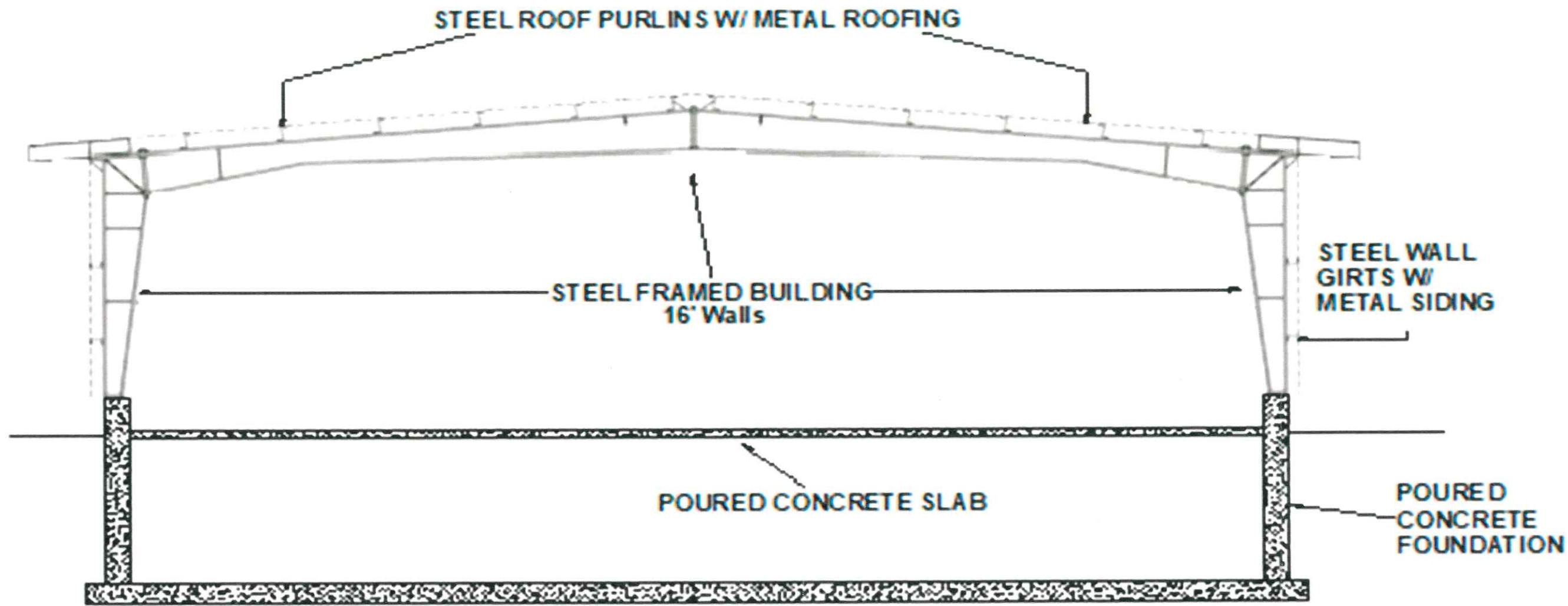


CLIENT NAME:	ALL DRAINS
ADDRESS	140 OLD ERRY ROAD
CITY / STATE:	HUDSON, NH 03051
CONTRACTOR:	DESJARDINS LLC
1 DATE:	July 5, 2017



21 RED GATE ROAD - TYNGSBOROUGH, MA 01879

GARAGE
PLAN

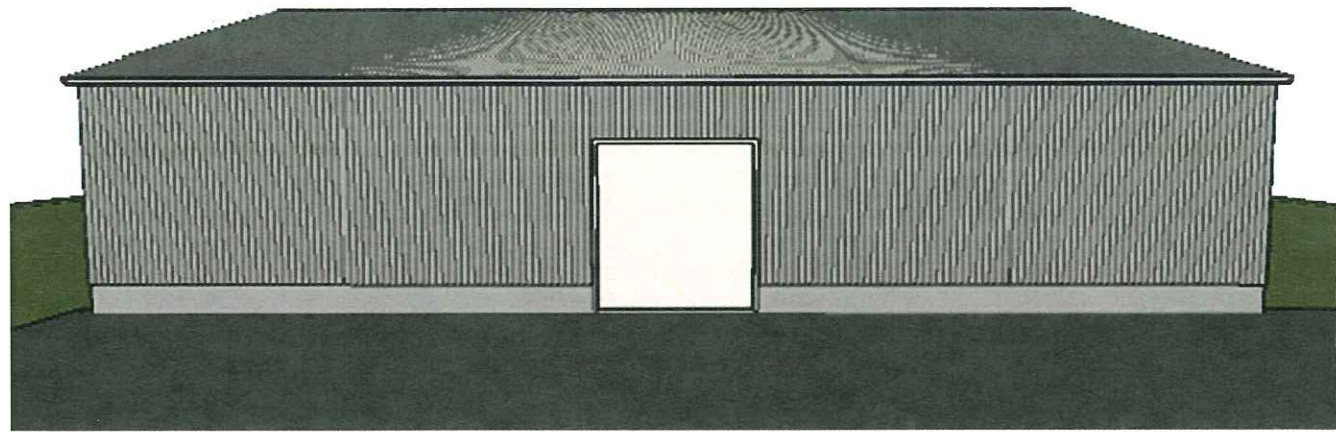


CLIENT NAME:	ALL DRAINS
ADDRESS	140 OLD ERRY ROAD
CITY / STATE:	HUDSON, NH 03051
CONTRACTOR:	DESJARDINS LLC
2 DATE:	July 5, 2017



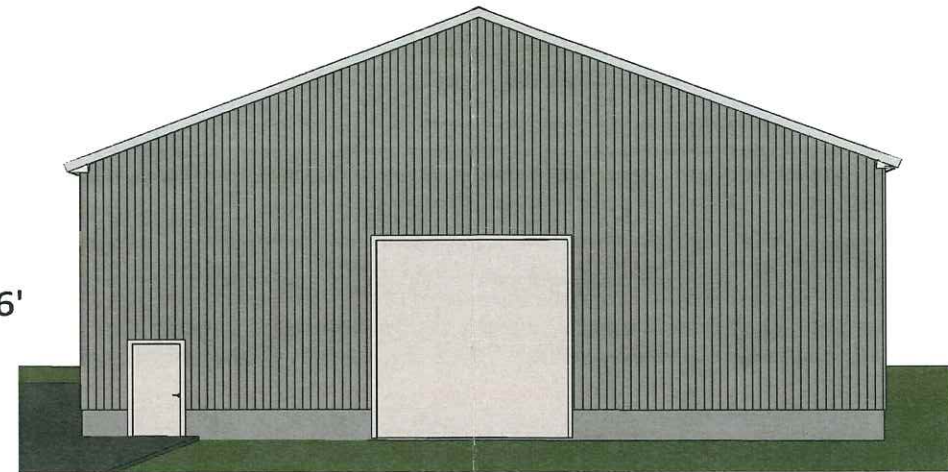
21 RED GATE ROAD - TYNGSBOROUGH, MA 01879

STRUCTURAL
PLAN

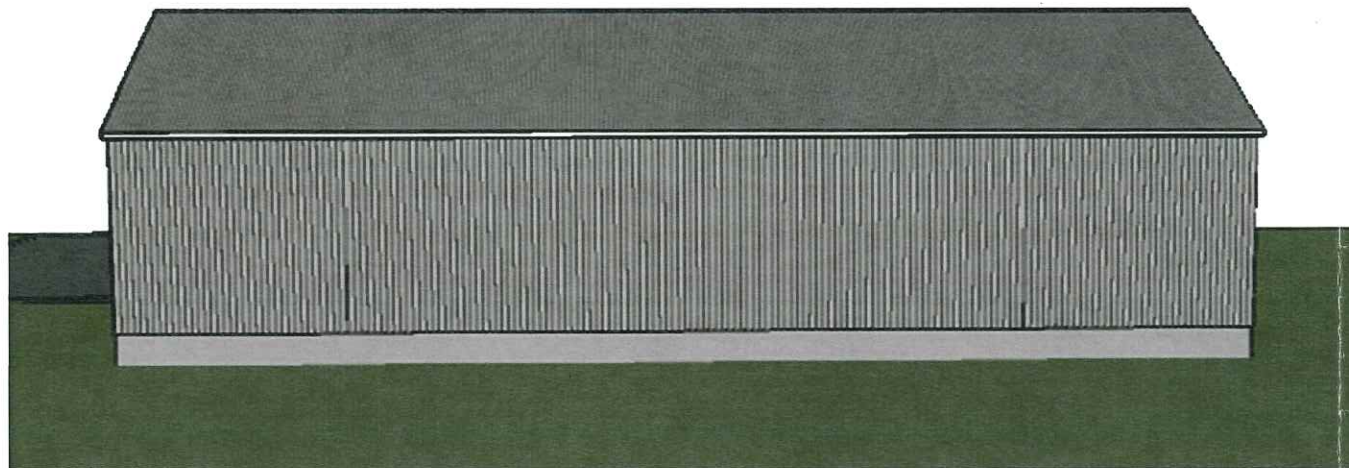


FRONT ELEVATION

Ceiling Height = 16'

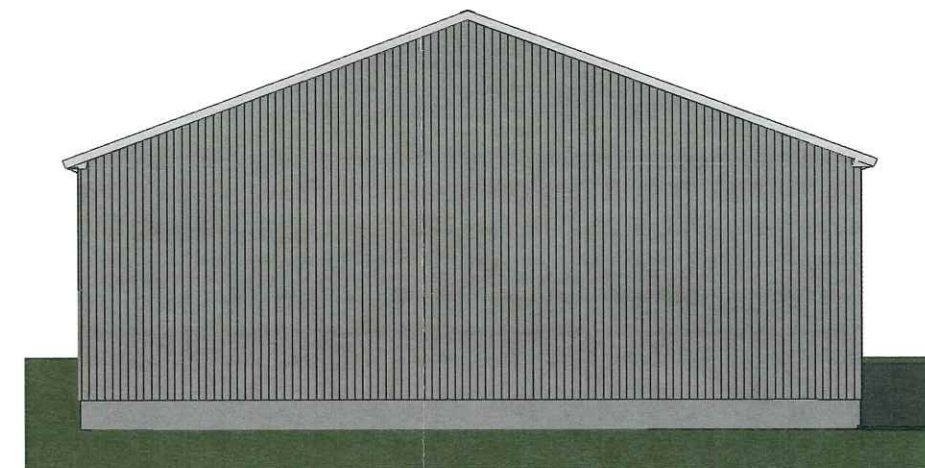


RIGHT ELEVATION



REAR ELEVATION

Ceiling Height = 16'



LEFT ELEVATION

CLIENT NAME:	ALL DRAINS
ADDRESS	140 OLD ERRY ROAD
CITY / STATE:	HUDSON, NH 03051
CONTRACTOR:	DESJARDINS LLC
3 DATE:	July 5, 2017



21 RED GATE ROAD - TYNGSBOROUGH, MA 01879

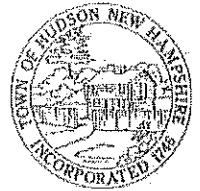
ELEVATIONS



TOWN OF HUDSON

FIRE DEPARTMENT

INSPECTIONAL SERVICES DIVISION



12 SCHOOL STREET, HUDSON, NEW HAMPSHIRE 03051

Emergency 911
Business 603-886-6005
Fax 603-594-1142

Robert M. Buxton
Chief of Department

Zoning Determination

August 5, 2016

#16-93

Sarah Melican
All Drain Services, Inc
119 Hampson Street
Dracut, MA 01826

Re: **140 Old Derry Road 105/032-000**
District: General One - (G-1)

Dear Ms. Melican:

Your new request for zoning review and determination of operating a drain cleaning business out of this address has been completed for the correct lot and to disregard #16-82.

Zoning Review / Determination:

The requested use is permitted in the General One - (G-1) district and I would classify as E10: "Contractor's yard or landscaping business" per Table of Permitted Principal Uses, 334-Attachment 1.

This activity (use) would need Site Plan Approval from the Hudson Planning Board:

"§ 334.15.1 Site-plan approval. [Added 3-1-2000] No person, persons, partnership, proprietorship, company, trust or corporation shall commence a new use, change a use or commence any site development activity (other than one- or two-family residential activity) without first securing site plan approval from the Hudson Planning Board pursuant to this chapter."

If the residential use is to continue, then the provisions of #334-10: "Mixed or dual use on a lot" would need to be satisfied, and that would require a variance of #334-10 A (1), from the Zoning Board of Adjustment.

Please feel free to contact me if you have any further questions regarding this matter.

NOTE: this determination may be appealed to the Hudson Zoning Board of Adjustment within 30 days of the receipt of this letter.

Sincerely,

Bruce Buttrick, MCP
Zoning Administrator/Code Enforcement Officer
(603) 816-1275
bbuttrick@hudsonnh.gov

cc: Zoning Board of Adjustment
J.Michaud, Town Assessor
J.Cashell, Town Planner
Chief Buxton
Deputy O'Brien
File



COMMUNITY DEVELOPMENT DEPARTMENT

12 School Street
Hudson, NJ 03051
(603)886-6005
www.hudsonnj.gov



Town of Hudson

16-93

REQUEST FOR ZONING and/or PLANNING INFORMATION / DETERMINATION

Date of request 08/05/2016

Property Location 140
144 Old Derry Road

Map 105 Lot 032-000

Zoning District if known G-1



Type of Request

- Zoning District Determination
- Use Determination
- Set-Back Requirements
- Process for Subdivision/ Site Plan if required
- Other

Description of request / determination: (Please attach all relevant documentation)

Our established drain cleaning company is seeking approval to operate our business out of the address listed above as well and to park our vacuum and pump trucks on the property when not in use. We currently have 15 employees of which 9 are service technicians that arrive to our shop daily to check in and they take their service vehicles home each evening. There are 3 full-time office employees that will be on site weekdays from 7:15am until 4:15pm and one part-time employee that comes one day per (see attached).

Applicant Contact Information:

Name: Sarah Melican
Address: 119 Hampson Street
Phone Number: Dracut, MA 01826

For Office use

ATTACHMENTS: TAX CARD GIS

NOTES:

ZONING DETERMINATION LETTER SENT DATE: 8-5-16

week. The two owners of the business reside out of state and visit quarterly.

Our company utilizes a Vactor Vacuum Truck (GVW 41,000lbs) and a Pump Truck (GVW 19,500lbs) which we will have parked on the property when not in use. (Pictures of each truck attached.)

Other equipment in addition to the two trucks listed above that will be regularly stored on the EXTERIOR of the premises are:

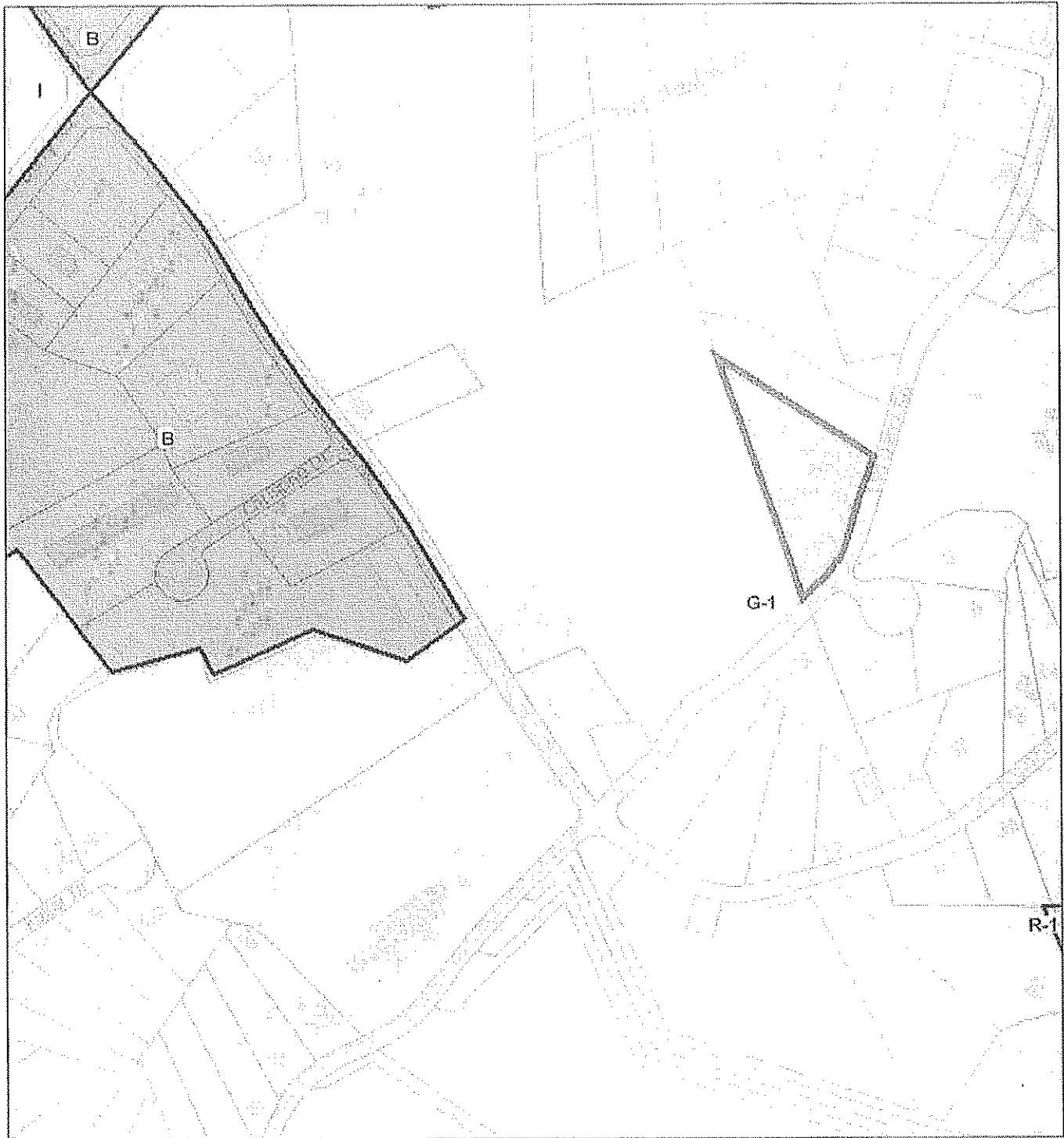
- (1) 8-yard closed/locked trash dumpster (Monthly pick up by Waste Management)
- (1) 20-yard open top dumpster (Monthly pick up by Waste Management)
- (1) 3-yard closed grease container (on-call pick up by Baker commodities, Inc. as needed)
- (1) Bobcat Excavator (picture included)

The Equipment stored in our office is standard items found in most business offices including:

- (4) workstations consisting of a desk, computer and telephone
- (5) file cabinets
- (3) printers
- Various office supplies
- Various office file storage boxes

We are currently in contact with a full service civil engineering and land surveying firm ready to assist us in all aspects of this process.








144 Old Derry Road

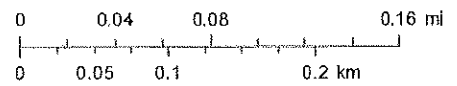


August 5, 2016

1:4,789

Legend

- | | |
|---|---|
|  Zoning Outlines |  R-1 - Residential 1 |
|  Zoning |  Parcels |
|  B - Business | |
|  G-1 - General 1 | |
|  I - Industrial | |



ATTACHMENT C

CLD | Fuss & O'Neill

540 Commercial Street • Manchester, NH 03101
ph: 603.668.8223 • fx: 603.668.8802
cld@cldengineers.com • www.cldengineers.com

Connecticut | Maine | Massachusetts | New Hampshire | New York | Rhode Island | South Carolina | Vermont

TO: File

FROM: Steven W. Reichert, PE

DATE: September 26, 2017

RE: Town of Hudson Planning Board Review
Proposed Contractor's Facility Site Plan
Tax Map 105, Lot 32; Acct. #1350-900
CLD | Fuss & O'Neill Reference No. 03-0249.1640

The following list itemizes the set of documents reviewed related to the Proposed Contractor's Facility Site Plan at 140 Old Derry Road, Hudson, New Hampshire.

- Correspondence between CLD | Fuss & O'Neill and the Town of Hudson between August 28, 2017 and September 19, 2017.
- *Letter of Transmittal* from Hayner/Swanson, Inc. to CLD | Fuss & O'Neill dated August 25, 2017, and received on August 28, 2017, including the following:
 1. Copy of *Project Narrative*, not dated.
 2. Copy of *Site Plan Application and Fee*, dated August 24, 2017.
 3. Copy of *Vicinity Plan*, dated August 21, 2017.
 4. Copy of *NRCS Soils Map*, dated August 21, 2017.
 5. Copy of *Aerial Photo*, dated August 21, 2017.
 6. Copy of *Site Photos*, not dated.
 7. Copy of *Abutters List and Mailing Labels*, dated August 21, 2017.
 8. Copy of *Zoning Determination Letter*, dated August 5, 2016.
 9. Copy of *Building Elevations*, dated July 5, 2017.
- 2. Copy of *Stormwater Management Report*, prepared by Hayner/Swanson, Inc., dated August 21, 2017.
- 3. Copy of *Map 105, Lot 32 Site Plan, Proposed Contractor's Facility, 140 Old Derry Road, Hudson, New Hampshire* Plan Set, prepared by Hayner/Swanson, Inc., dated August 21, 2017, with no revisions noted, including the following:
 - a. *Cover Sheet*
 - b. *Master Site Plan*, Sheet 1 of 8.
 - c. *Existing Conditions Plan*, Sheet 2 of 8.
 - d. *Site Plan*, Sheet 3 of 8.
 - e. *Details – General Site*, Sheet 4 of 8.
 - f. *Erosion Control Plan*, Sheet 5 of 8.

CLD | Fuss & O'Neill

Memorandum to File

CLD | Fuss & O'Neill Reference No. 03-0249.1640

September 26, 2017

Page - 2

- g. *Detail – Erosion Control*, Sheet 6 of 8.
- h. *Septic System Plan & Profile*, Sheet 7 of 8.
- i. *Detail – Septic System*, Sheet 8 of 8.

SWR:mjt

cc: George Thebarge – Town of Hudson
Brooke Dubowik – Town of Hudson
Town of Hudson Engineering Division – File

September 26, 2017

Mr. George Theborge
Land Use Director
Town of Hudson
12 School Street
Hudson, NH 03051

Re: Town of Hudson Planning Board Review
Proposed Contractor's Facility Site Plan, 140 Old Derry Road
Tax Map 105, Lot 32; Acct. #1350-900
CLD | Fuss & O'Neill Reference No. 03-0249.1640

Dear Mr. Theborge:

CLD | Fuss & O'Neill has reviewed the first submission of the materials received on August 28, 2017, related to the above-referenced project. Authorization to proceed was received on September 13, 2017. A list of items reviewed is enclosed. The scope of our review is based on the Site Plan Review Codes, Stormwater Codes, Driveway Review Codes, Sewer Use Ordinance 77, Zoning Regulations, and criteria outlined in the CLD | Fuss & O'Neill Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007, September 3, 2008, and October 2015.

We have included a copy of CLD | Fuss & O'Neill's evaluation of the checklist for your reference. We note that several items could not be verified by CLD | Fuss & O'Neill and require action by the Town.

The project appears to consist of the renovation of an existing residence into a contractor's facility, construction of a 4,500 square foot garage, drainage improvements/stormwater management, and other associated site improvements including paving/resurfacing, parking spaces, and curbing installation. The site is currently serviced by a private well and on-site septic system which will remain in use during and after construction. (Evidence of prior State approval for the existing septic system was not provided.)

The following items are noted:

1. Site Plan Review Codes and Administrative Requirements and Definitions

- a. Hudson Regulation (HR) 275-8.C.(2)(m). The applicant has provided parking calculations for the subject site based on the business services category for the existing residence being converted into a contractor's facility. The applicant has also noted that commercial vehicles will be stored in the proposed accessory garage when not in use.
- b. HR 275-8.C.(6). The applicant has not designated any loading spaces on the plan set.
- c. HR 275-8.C.(8)(b). There are adjacent residential uses. Although the applicant has not proposed any clearing of existing vegetation, it appears that there will be a relatively large unscreened area directly between the proposed garage and the abutting residence. The applicant should review the need for new plantings in this area to provide the required screening.
- d. HR 275-8.C.(11). The applicant has not proposed any designated handicapped accessible parking spaces at the facility.
- e. HR 275-9.B. The applicant has not provided a Traffic Study.
- f. HR 275-9.C. The applicant has not provided a Noise Study.

- g. HR 275-9.C. The applicant has not provided a Fiscal Impact Study.
- h. HR 275-9.F. and 276-11.1.B.(20). The applicant has not noted any existing or proposed easements, covenants, or deed restrictions on the plan set.
- i. HR 275-9.I. The applicant has not provided an Environmental Impact Study.
- j. HR 276-11.1.B.(6). The owner's signature does not appear on the plans.
- k. HR 276-11.1.B.(12).(a). The applicant has proposed improvements within 200 feet of the abutting residential property line on the north side of the site which is not allowed. Per the applicant's project narrative, the facility is considered a contractor's yard, and per ZO 334 Attachment 1, the use is categorized under Section E as an industrial use, requiring a 200 foot buffer.
- l. HR 276-11.1.B.(13). The applicant has not proposed any signage for the site and has included a note regarding conformance with all Town of Hudson Regulations. The note provided does not match the language required by the Regulation.
- m. HR 276-11.1.B.(20). The applicant has not provided heights for the existing buildings within the site.
- n. HR 276-11.1.B.(21) and 290.5.K.(22). The applicant has not shown any proposed snow storage areas on the plans.
- o. HR 276-11.1.B.(21).(b). The applicant did not provide any alternate proposals for consideration by the Planning Board with the review package received by CLD | Fuss & O'Neill.
- p. HR 276-11.1.B.(23). The applicant has not noted any pertinent highway projects on the plan set.

2. Driveway Review Codes (HR 275-8.B. (34)/Chapter 193)

- a. HR 193-10. The applicant is not proposing any changes to the existing site driveway or roadway connection to Old Derry Road.
- b. HR 193-10.E. The applicant has not shown safe stopping distances for the site driveway on the plan set or in the submittal documents.

3. Traffic

- a. There are no traffic related comments at this time.

4. Utility Design/Conflicts

- a. HR 275-9.E. The applicant did not provide a separate utility plan within the plan set. Instead, all proposed utilities are shown on the Site Plan and Septic System Plan and Profile.
- b. HR 275-9.E. and 276-13. The applicant has not proposed water or sewer service connections to the accessory garage.
- c. HR 275-9.E. and 276-13. The applicant has noted that the existing septic system will remain in use both during and after construction. A new septic system location is shown and details for its construction were provided. The applicant noted that this was shown for design/permitting purposes as a part of the site plan process only, and gave no indication of when the new septic system would be constructed. We note that the proposed septic system includes a new septic tank with piping connections from the house and to the new leach field. The applicant should

clarify when this work is proposed to be performed as it will impact pavement installation for the driveway expansion and other site improvements included in the site plan.

- d. HR 275-9.E. and 276-13. A detailed review of the proposed septic system was not performed by CLD | Fuss & O'Neill. We do note that test pit information was not included on the septic system plan sheet for test pit #3. This test pit is shown located within the existing leach field.
- e. HR 275-9.E. and 276-13.A. & B. The applicant has proposed an overhead utility service connection to the accessory garage from the existing utility pole within the site.

5. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- a. HR 290-4.A.(1). and HR 276-11.1.B(18). The peak elevation of the Stormwater Management Area (SMA) within the 50-year storm event is 222.96, which is slightly lower than the design berm elevation; however, actual storms sometimes exceed the design requirements of the Town. Therefore, the applicant should consider providing a formal designated overflow within the berm to proactively direct any stormwater to a location that is designed to limit any potential erosion, in the case of excessive stormwater leaving SMA. Also, additional spot grades should be added to the berm such that the designer's intent for the top of berm is constructed as intended. The plan provided that shows future grading only has the existing ten foot contours included. Prior to final review, the site plan, which includes proposed grading, should show two foot existing contours. As designed, it does not appear as if the pond is designed with one foot of freeboard above the known water elevation, as is common engineering practice.
- b. HR 290-4.A.(1). Due to the proximity of both the existing leach field as well as the proposed septic system in relation to the proposed Stormwater Management Area, the applicant should review Env-Wq-1000, specifically, Table 1008-2 "Minimum Separation Distances" (and/or other applicable material), to ensure the proper setback to drainage features/components is met for existing and proposed Individual Sewage Disposal Systems (ISDS). As proposed, neither the current nor proposed septic system will have adequate separation from the proposed SMA.
- c. HR 290-4.A.(1). The applicant should provide additional details for seed/plantings within the SMA to demonstrate that they have the ability to be inundated for extended amounts of time. The applicant has noted a seed mix on the plan for temporary stabilization locations, but it is not clear which permanent seed mixture is appropriate within the basin.
- d. HR 290-5.E. The applicant should provide the required Stormwater Operation and Maintenance for proposed BMPs or request a waiver.
- e. HR 290-5.G. The applicant should discuss the reasoning of the test pit location to be outside the limits of SMA. It is common engineering practice for the test pit to be located within the limits of the infiltration practice.
- f. HR 290-5.G and 290-5.H. The applicant's Drainage Report calculations do not account for frozen ground conditions. The applicant should provide additional information related to this condition or request a waiver for this requirement.
- g. HR 290-5.L(10)(j). The applicant should illustrate all critical areas upon a submitted plan.
- h. The applicant's infiltrating SMA is proposed within the site's drinking water well's protective radius. We note that NHDES' [Guide to Groundwater Protection](#) identifies infiltrating stormwater management areas as a potential contamination source for wells; however, NHDES is known to support such features within the protective well radius. The applicant and owner should confirm that they are aware of the potential well contamination source by locating a portion of the infiltrating basin in the protective radius.

6. Zoning (ZO 334)

- a. Zoning Ordinance (ZO) 334-20. The subject site is located in the General 1 (G-1) zoning district. The proposed use appears to be permitted in this zoning district. The applicant included a copy of the Town of Hudson's zoning determination letter with the site plan review materials.
- b. ZO 334-14. The applicant has not noted the height of the proposed accessory garage building on the plans. Building elevations included with the site plan review materials also do not note the height.
- c. ZO 334-27. None of the proposed improvements to the subject lot, other than grading revisions and construction of a portion of the stormwater management area, are with any setbacks.
- d. ZO 334-33. The applicant has shown wetlands and associated wetlands buffers on the plan set. No work is proposed within these areas. The existing well is located within the wetlands buffer area.
- e. ZO 334-57. The applicant has not proposed any signs within the project area.
- f. ZO 334-83. The applicant has noted that a portion of the subject parcel is located within a designated flood hazard area. No site improvements are shown within this area.

7. Erosion Control/Wetland Impacts

- a. HR 290-5.K.(14). The applicant has not shown proposed locations of stockpiles or their associated erosion and sedimentation controls.
- b. HR 290-5.K.(16). The applicant has noted that stumps are to be disposed of off-site in a legal manner.
- c. The applicant has noted that the Town reserves the right to require additional erosion control measures during construction if needed.
- d. The applicant should clarify which seed mix is intended for the stormwater management area.
- e. The applicant has included a detail for a stone check dam with the erosion control details but the erosion control plan shows this as a gravel check dam. The applicant should clarify the design intent for this erosion control element.

8. Landscaping (HR 275-8.C.(7) & HR 276-11.1.B.(20)) and Lighting (HR 276-11.1.B.(14))

- a. HR 275-8.C.(7). The applicant has requested a waiver from the requirement to provide a landscaping plan.
- b. HR 276-11.1.B.(14). The applicant has noted that site lighting shall be shown on the plan. We were unable to find any information detailing any proposed site lighting.

9. State and Local Permits (HR 275-9.G.)

- a. The applicant has provided a septic subdivision approval number, but the number provided does not appear to be related to the current parcel. The applicant has provided a septic system design, but has noted that "the existing septic system shall remain in use during and after construction". We are unable to find evidence that the existing septic system is an approved system in accordance with Env-Wq-1004.23. If the existing system is to remain in use for any time period after the conversion, the applicant should provide documentation that the system meets the requirements of Env-Wq-1000.

- b. HR 275-9.G. The applicant did not include copies of any applicable Town, state, county or federal approvals or permits in CLD | Fuss & O'Neill's review package.
- c. Additional local permitting may be required.

10. Other

- a. The applicant has not provided a detail for the two foot gravel shoulder shown on the plans.
- b. The applicant should clarify the label for the proposed gas service.
- c. The applicant should update the Hudson staff contact to reflect the current contact.

Please feel free to call if you have any questions.

Very truly yours,



Heidi J. Marshall, P.E.



Paul Konieczka, AICP

HJM:PK:mjt

Enclosure

cc: Brooke Dubowik – Town of Hudson
Town of Hudson Engineering Division – File
Hayner/Swanson, Inc.
Three Congress Street
Nashua, NH 03062
Fax: (603) 883-5057

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Proposed Contractor's Facility Site Plan, 140 Old Derry Road
Town of Hudson
CLD | Fuss & O'Neill Reference No. 03-0249.1640
Reviewed September 26, 2017

Thirty (30) days prior to Planning Board Meeting, a complete site plan to include all supporting materials/documents must be submitted in final form. The site plan shall comply with the following specifications/requirements.

Applicant Initials		Staff Initials	
_____	a) Submission of nine (9) full sets of Site Plans (sheet size: 22" x 34") at the time of application filing, followed by the submission of seventeen (17) 11" x 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 AM Tuesday the week prior to the scheduled public hearing/conceptual review date.	_____	a) One set received by CLD Fuss & O'Neill.
_____	b) A Site Plan narrative, describing the purpose, locations, long range plans, impacts on traffic, schools and utilities.	_____	b) No impacts on traffic, schools, utilities noted.
_____	c) Plan scale at not less the one inch equals fifty feet (1" = 50')	_____	
_____	d) Locus plan with 1,000' minimum radius of site to surrounding area	_____	
_____	e) Plan date by day/month/year	_____	e) Listed as month/day/year.
_____	f) Revision block inscribed on the plan	_____	
_____	g) Planning Board approval block inscribed on the plan	_____	
_____	h) Title of project inscribed on the plan	_____	
_____	i) Names and addresses of property owners and their signatures inscribed on the plan	_____	i) Owner's signature not on the plans
_____	j) North point inscribed on the plan	_____	
_____	k) Property lines: exact locations and dimensions	_____	
_____	l) Square feet and acreage of site	_____	
_____	m) Square feet of each building (existing & proposed)	_____	
_____	n) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan	_____	n) Abutters' names and addresses are shown on plan. Unable to verify 5-day update criteria.

Applicant
Initials

Staff
Initials

- _____ o) Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve areas, floodways/floodplains, driveways, travel areas, parking areas and natural features within 200 feet of the tract
- _____ p) Locations of existing and proposed permanent monuments and benchmarks within 200 feet of the development tract
- _____ q) Pertinent highway projects
- _____ r) Assessor's Map and Lot number(s)
- _____ s) Waiver application form shall be submitted with the site plan application, note on plan listing waivers requested/granted; and all waivers granted to the site plan regulations shall be listed on the final plan; waivers to checklist shall be reduced to writing and be signed by the Planning Board Chairman and Planning Board Secretary and recorded with the plan.
- _____ t) Delineate zoning district on the plan
- _____ u) Stormwater drainage plan
- _____ v) Topographical elevations at 2-foot intervals contours: existing and proposed
- _____ w) Utilities: existing and proposed
- _____ x) Parking: existing and proposed
- _____ y) Parking space: length and width
- _____ z) Aisle width/maneuvering space
- _____ aa) Landscaping: existing and proposed
- _____ ab) Building and wetland setback lines
- _____ ac) Curb cuts
- _____ ad) Rights of way: existing and proposed
- _____ ae) Sidewalks: existing and proposed
- _____ af) Exterior lighting plan
- _____ ag) Sign locations: size and design
- _____ ah) Water mains and sewerage lines
- _____ ai) Location of dumpsters on concrete pads
- _____ aj) All notes from plats

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

q) None listed.

v) 2-Foot contours omitted from site/grading plan show on Existing Conditions and Erosion Plan.

w) Overhead wiring to accessory garage.

x) No handicapped space provided.

aa) Waiver noted for landscaping plan.

ae) No sidewalks proposed.

af) No lighting information provided.

ag) No signs proposed. Note about sign permit included.

ah) Septic system design included with notation of continue use of existing system.

Applicant
Initials

Staff
Initials

- _____ ak) Buffer as required by site plan regulations
- _____ al) Green and open space requirements met with percentages of both types of spaces inscribed on the plan
- _____ am) Soil types and boundaries, Note: if site contains marginal or questionable soils, a High Intensity Soil Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire certified Soil Scientist, who shall affix his/her stamp and signature shall be inscribed on the plan.
- _____ an) Wetlands (and poorly-drained and very poorly-drained soils), also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire certified Wetland or Soil Scientist, who shall affix his/her stamp and signature to the respective plan.
- _____ ao) "Valid for one year after approval" statement inscribed on the plan
- _____ ap) Loading bays/docks
- _____ aq) State of New Hampshire engineer's stamp, signature, surveyor's stamp, and signature
- _____ ar) Error of closure (1 in 10,000 or better)
- _____ as) Drafting errors/omissions
- _____ at) Developer names, addresses, telephone numbers and signatures
- _____ au) Photographs, electronic/digital display or video of site and area
- _____ av) Attach one (1) copy of the building elevations
- _____ aw) Fiscal impact study
- _____ ax) Traffic study
- _____ ay) Noise study

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

ak) Landscape buffer not provided.

ap) No proposed loading spaces shown.

as) Not stated.

at) No signature provided.

av) Reduced size elevations provided without full height labels.

aw) Not provided.

ax) Not provided.

ay) Not provided.

Applicant
Initials

Staff
Initials

- _____ az) Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents
- _____ ba) Copy of applicable Town, State, Federal approval/permits to include but not limited to the following:
 - industrial discharge application
 - sewer application
 - flood plain permit
 - wetlands special exception
 - variance
 - erosion control permit (149:8a)
 - septic construction approval
 - dredge and fill permit
 - curb cut permit
 - shoreland protection certification in accordance with RSA483-B
 - if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.
- _____ bb) Presentation plan (colored, with color coded bar chart)
- _____ bc) Fees paid to clerk
- _____ bd) Five (5) 22" x 34" copies of the plan shall be brought to the Planning Board meeting and distributed to the Planning Board members at the meeting. Note: for all subsequent meetings involving revised plans, five 22" x 34" copies of said plan shall be brought to the meeting for distribution to the board members.

CLD|Fuss & O'Neill/SWR

az) No existing or proposed easements noted.

ba) None provided.

bb) No presentation plan received, requires a Town action.

bc) Requires Town action.

bd) Requires Town action.

* Under the purview of the Planning Board any and all items may be waived.

LETTER OF TRANSMITTAL

To:
 Mr. George Theborge, AICP
 Land Use Director
 Town of Hudson
 12 School Street
 Hudson, NH

Date:	October 13, 2017	#5467
Re:	Proposed Contractor's Facility	
	140 Old Derry Road	
	Hudson, NH	

WE ARE SENDING YOU

Attached Under separate cover via _____ the following items:

- Shop drawings
 Prints
 Plans
 Samples
 Specifications
 Copy of letter
 Change order
 Permit Application _____

Scope:

COPIES	DATE	NO.	DESCRIPTION
2			Response Letter to Peer Review Comments
7	10-10-17	Rev. 1	Revised Site Plan Set
17	10-10-17	Rev. 1	Revised Site Plan Set (Reduced Size)
1			Revised Waiver Letter
2			Revised Stormwater Management Report



REMARKS:

Thomas E. Zajac, Jr.

 Thomas E. Zajac, Jr., P.E.
 Senior Engineer

(If enclosures are not as noted, please notify us immediately.)



October 13, 2017

Job# 5467

Mr. George Thebarge
Land Use Director
Town of Hudson
12 School Street
Hudson, NH 03051

**RE: RESPONSE TO PEER REVIEW COMMENTS
PROPOSED CONTRACTOR'S FACILITY
140 OLD DERRY ROAD
HUDSON, NEW HAMPSHIRE**

Dear Mr. Thebarge,

Please find enclosed revised site plans and supplemental information addressing the peer review comments provided to us for the above project. We have attempted to address all review comments in this re-submittal effort.

CLD/Fuss & O'Neill Peer Review Letter (dated September 26, 2017)

- 1a. No response required.
- 1b. There is adequate space provided on-site for single-unit box trucks (typical FedEx/UPS sized delivery vehicles). Based on the nature of the proposed use, we do not anticipate the need for designated loading spaces.
- 1c. Although a waiver has been requested for the preparation of a formal landscape plan, the applicant agrees to install additional plantings in the referenced area to supplement screening provided by existing vegetation. See Note 12 on Sheet 3 of 8.
- 1d. A handicap accessible parking space will be provided in front of the existing building.
- 1e. No response required.
- 1f. No response required.
- 1g. No response required.
- 1h. We are not aware of any existing or proposed easements, covenants or deed restrictions upon the subject property.
- 1i. No response required.
- 1j. The owner's signature is located at the bottom on Sheet 1 of 8.
- 1k. A waiver has been requested from this regulation. See attached waiver letter.
- 1l. No signage is currently proposed. The referenced note was revised as requested.
- 1m. The height of the existing residence was not measured during the time of our survey, since no improvements are being made to it.
- 1n. A snow storage area has been added to Sheet 3 of 8.

- 1o. We do not think this is warranted given the minor nature of the project.
- 1p. We are unaware of any pertinent highway projects in the vicinity of the site.

- 2a. No response required.
- 2b. Site distances have been added to Sheet 3 of 8.

- 3a. No response required.

- 4a. No response required.
- 4b. No response required.
- 4c. We are not proposing any changes to the existing septic system as part of this project. It is our understanding that the existing septic system has been recently inspected and is in good and working condition. The design and permitting of a new septic system was a required by the Town as part of the site plan approval process. See revised Note 11 on Sheet 3 of 8 for details.
- 4d. Test Pit #3 was erroneously included and has been deleted.
- 4e. The proposed electric service has been changed to underground.

- 5a. Additional berm spot grades were added on the plan as well as showing the berm elevation on the cross section (Sheet 4 of 8). Two foot existing contours were missing on the submitted plans but have since been added. Per the proposed grading, the berm will act as a natural, grassed level spreader at that is approx. 100-foot long and 5-foot wide. This level spreader will help dissipate any flow leaving the basin. Considering this stormwater basin services a relatively small area and our calculations it can fully store and infiltrate up to and include the 5-year storm event, it is our opinion that no additional designated overflow is needed. Please note that the design infiltration rate used in the analysis (3 inches/hour) is conservative considering that the percolation rate measured at a nearby test pit was equivalent of 10 inches/hour.
- 5b. Per Enq-Wv 1008.04, a minimum separation of 35-feet must be provided between the existing leach field and proposed stormwater management area/associated grass swale (not intersecting SHWT). The proposed stormwater management area and associated grass swale were relocated to provide approx. 38-feet of separation from the existing leach field.
- 5c. A seed mix specification was added to the detail on Sheet 4 of 8.
- 5d. Stormwater Operation & Maintenance notes are located on Sheet 6 of 8.
- 5e. TP-2 is now located within the limits of the revised stormwater management area.
- 5f. As referenced above, a conservative infiltration rate of 3 inches/hour was used in the analysis, which, in our opinion, accounts for frozen ground or other instances where the basin may operate under less than ideal conditions.
- 5g. There are no critical areas located on site.
- 5h. The owner/applicant is aware of these recommendations. Please note that the majority of the stormwater management area is located outside the 75-ft protective well radius.

- 6a. No response required.
- 6b. The proposed garage will measure approximately 22-feet in height.
- 6c. No response required.
- 6d. No response required.
- 6e. No response required.
- 6f. No response required.

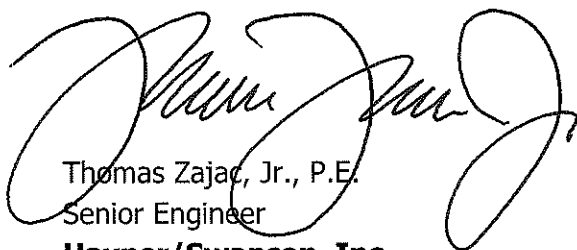
- 7a. A stockpile area was added to the plan, if needed.
- 7b. No response required.
- 7c. No response required.
- 7d. A seed mix specification was added to the detail on Sheet 4 of 8.
- 7e. The notes and details have been revised as requested.

- 8a. No response required.
- 8b. The referenced note is standard. There is no additional site lighting proposed as part of this project.

- 9a. We are continuing to work with the Town and NHDES to locate the existing septic system approval. It is agreed that the applicant shall provide this documentation to the Town.

It is requested that this revised submittal be reviewed for concurrence with the comments referenced above. Please do not hesitate to contact our office if you have any questions or need additional information.

Respectfully,



Thomas Zajac, Jr., P.E.
Senior Engineer
Hayner/Swanson, Inc.



August 24, 2017

Revised: October 10, 2017

Job #5467

Mr. Glenn Della-Monica, Chairman
Town of Hudson Planning Board
12 School Street
Hudson, NH 03051

**RE: SITE PLAN WAIVER REQUEST
PROPOSED CONTRACTOR'S FACILITY
140 OLD DERRY ROAD
HUDSON, NH**

Dear Mr. Della-Monica,

On behalf of our client, Nirel, LLC, we respectfully request the following waiver from the Hudson Site Plan Regulations (HSPR) for the above-referenced project:

Waiver Request #1:

Regulation: HSPR 275-8(C)(7) – Landscaping Plan

Request: To waive the landscaping plan requirement.

Basis of Waiver: The regulation requires the preparation of a formal landscaping plan as part of a site plan application. This particular application proposes the change of use from a single-family residential use to a proposed contractor's facility. Additionally, a 1-story, 4,500 SF accessory garage is proposed in the rear of the site in an area that is currently developed with accessory buildings and gravel parking. The property contains an existing wooded buffer along its perimeter, including its frontage on Old Derry Road. This existing buffer will help screen the proposed garage and parking improvements that will be located in the rear of the site.

Based on a comment from the Town's peer review consultant, the applicant has agreed to install additional plantings between the proposed garage and the abutting lot to the north to supplement screening provided by the existing vegetation. Given the above, it is our opinion that the combination of the existing wooded buffer and the supplemental plantings referenced above provides adequate screening and buffering and that the preparation of a formal landscaping plan is not warranted.

Waiver Request #2:

Regulation: HSPR 276-11.1(B)(12)(a) – Residential Buffer

Request: To allow the minor building and site improvements within 200-ft of a residential property line.

Basis of Waiver: The regulation requires there be a 200-ft distance from the residential property line to any improved part of an industrial development. The proposed use has been classified as a "contractor's yard or landscaping business", which is listed under the industrial uses. However, the

main purpose of the subject application is to change the use of the existing residence to a business office of a drain cleaning company. An accessory garage and minor parking improvements are proposed in the rear of the site to support this business. It could be argued that this proposed use is more "commercial" in nature rather than "industrial". If classified as a commercial use, the regulation would require a 100-ft distance to any building or parking improvements, which the site plan complies with. It is also worth noting that the portion of the site that is being improved is currently developed with gravel parking and accessory sheds/garages.

Given the minor nature of the project and the fact that the project will improve the existing vegetated buffer to the abutting property to the north (see above), it is our opinion that the proposed site plan meets the spirit and intent of the regulation. Moreover, limiting the property owner from making any improvements within 200-ft of a residential property would severely limit the re-use of a portion of the site that is already developed. Furthermore, it is our understanding that the applicant has met with the abutting property owner and they are in the support of the project.

In summary, it is our opinion the above waiver request is reasonable and meets the criteria outlined in Section 275-15, Waivers of the Hudson Site Plan Regulations. Given that this request does not adversely impact any abutting properties, it is our opinion the above request meets the spirit and intent of the Town of Hudson Site Plan Regulations. A strict enforcement of the above regulation would pose a hardship to our Client by adding costs to perform unnecessary design. Thank you for your consideration on this matter.

Respectfully,



Thomas E. Zajac, Jr., P.E.
Senior Engineer
Hayner/Swanson, Inc.

cc: Mr. George Theborge, AICP, Land Use Director, Town of Hudson

MAP 105 LOT 32
 SITE PLAN

PROPOSED CONTRACTOR'S FACILITY

140 OLD DERRY ROAD
 HUDSON, NEW HAMPSHIRE

PREPARED FOR / RECORD OWNER

NIREL, LLC

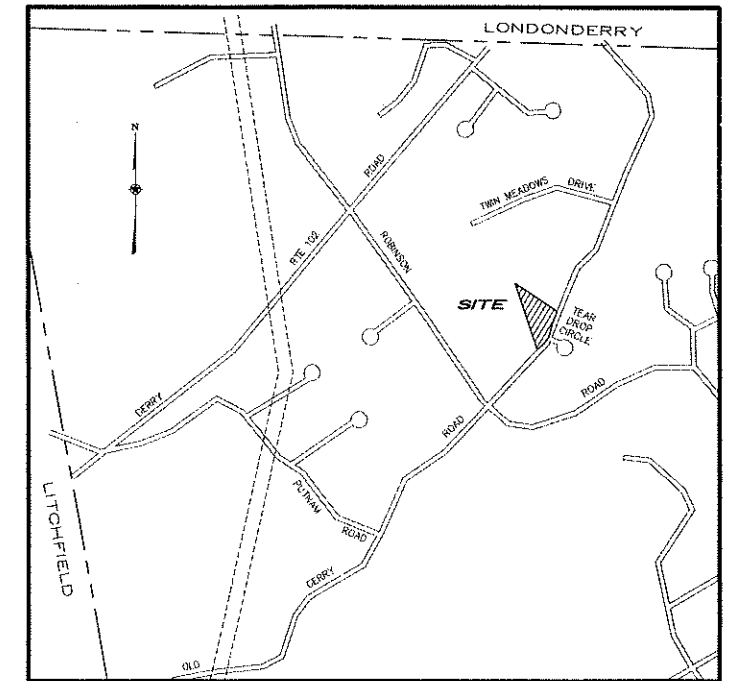
140 OLD DERRY ROAD
 HUDSON, NEW HAMPSHIRE 03051
 (866) 284-6400

21 AUGUST 2017

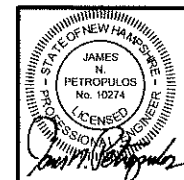
REVISED
 10 OCTOBER 2017

INDEX OF PLANS	
SHEET No.	TITLE
1 OF 8	MASTER SITE PLAN 1" = 40'
2 OF 8	EXISTING CONDITIONS PLAN 1" = 40'
3 OF 8	SITE PLAN 1" = 40'
4 OF 8	DETAIL SHEET - GENERAL SITE
5 OF 8	EROSION CONTROL PLAN 1" = 40'
6 OF 8	DETAIL SHEET - EROSION CONTROL
7 OF 8	SEPTIC SYSTEM PLAN & PROFILE 1" = 20' H 1" = 4' V
8 OF 8	DETAIL SHEET - SEPTIC SYSTEM

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.	APPROVED BY THE HUDSON, NH PLANNING BOARD DATE OF MEETING: _____ _____ SIGNATURE DATE: _____ _____ SIGNATURE DATE: _____
	SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

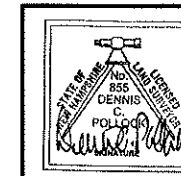


VICINITY PLAN
 SCALE: 1" = 1,000'



HESI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors

Three Congress Street Nashua, New Hampshire 03062-3301
 Tel (603) 883-2057 Fax (603) 883-5057
 www.hayner-swanson.com



LEGEND

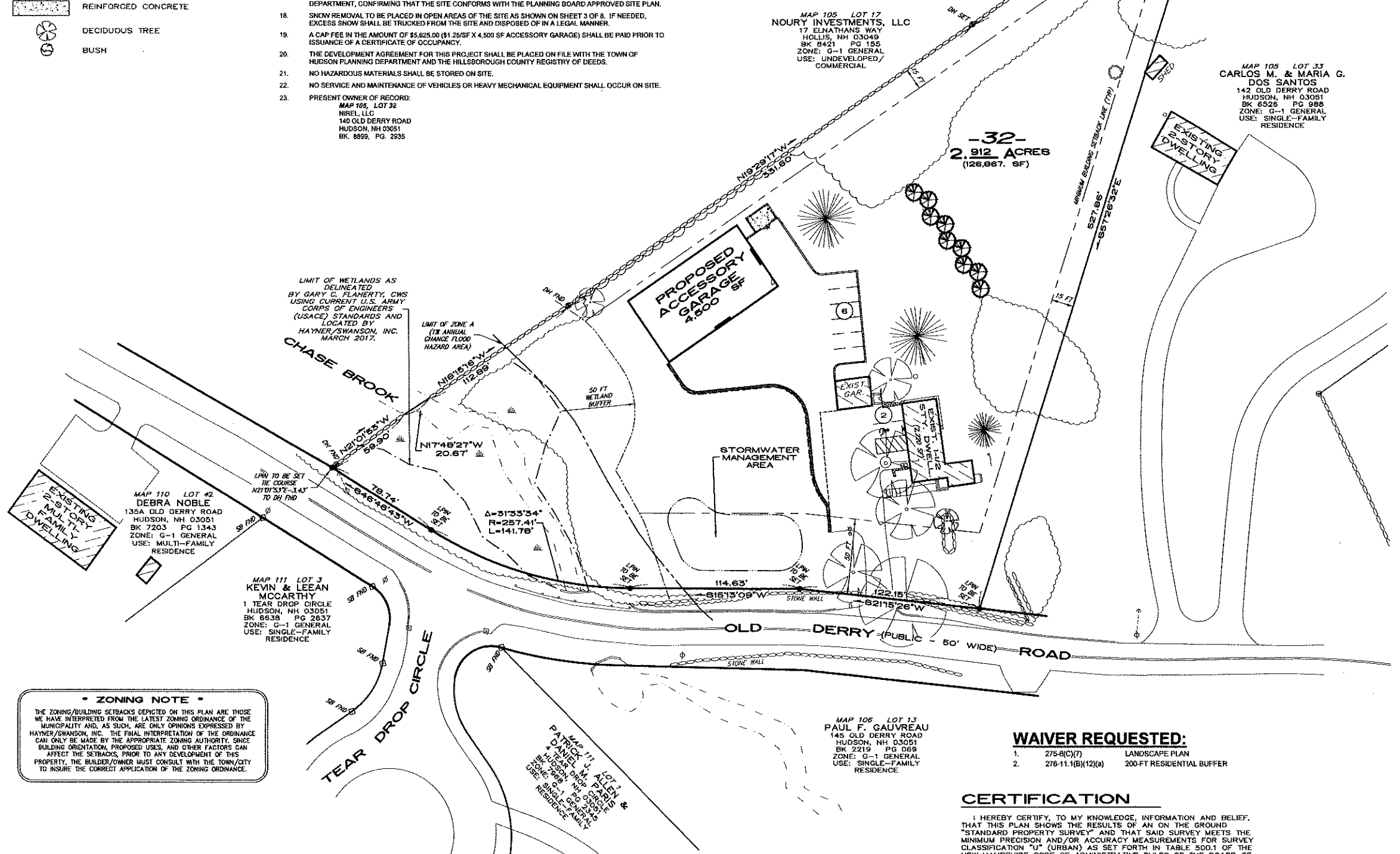
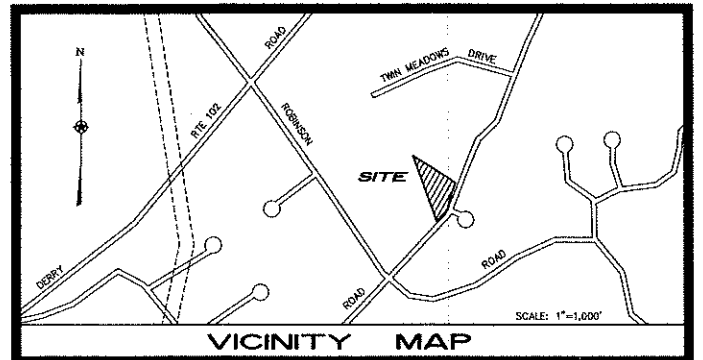
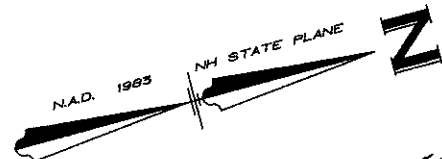
- +--- UTILITY POLE WITH GUY SUPPORT
- o--- STREET LIGHT
- v--- SIGN
- w--- TREE LINE
- h--- N.H. HIGHWAY BOUND
- s--- STONE BOUND
- i--- IRON PIN
- b--- BUILDING SETBACK LINE
- f--- WETLAND FLAGGING LIMIT
- d--- WETLAND BUFFER LINE
- c--- CHAINLINK FENCE
- k--- CAPE COD BERM
- p--- PARKING SPACE COUNT
- g--- GUARD RAIL
- r--- PAVEMENT SAWCUT
- c--- REINFORCED CONCRETE
- t--- DECIDUOUS TREE
- b--- BUSH

PLAN REFERENCES:

- PELLETIER SUBDIVISION, OLD DERRY ROAD, HUDSON, NH, SCALE: 1"=40', PLAN REVISED 10/20/00, PREPARED FOR MICHAEL PELLETIER, PREPARED BY M.J. GRAINGER ENGINEERING, INC., RECORDED H.C.R.D. PLAN #30939.
- PLAN OF LAND OF ARTHUR E. KEROUAC, HUDSON, NH, OLD DERRY ROAD, HUDSON, NH, SCALE: 1"=50', PLAN DATED 1966, RECORDED H.C.R.D. PLAN #3407
- MASTER SITE PLAN, ROBINSON ROAD SELF STORAGE, MAP 105, LOT 17, HUDSON, NH, SCALE: 1"=100', REVISED 01/03/11, PREPARED BY KEACH-NORDSTROM, INC., RECORDED H.C.R.D. PLAN #37129
- TOPOGRAPHIC & D.E.S. PLAN (TAX MAP 42/LOT 1, PELLETIER SUBDIVISION, OLD DERRY ROAD, HUDSON, NH, SCALE: 1"=40', PLAN REVISED 9/14/00, PREPARED FOR MICHAEL PELLETIER, PREPARED BY M.J. GRAINGER ENGINEERING, INC., ON FILE WITH THE TOWN OF HUDSON.

NOTES - CONT'D:

- A PORTION OF THE SITE IS LOCATED WITHIN ZONE A (1% ANNUAL CHANCE FLOOD HAZARD AREA) AS DETERMINED FROM THE TOWN OF HUDSON, NH, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL No. 33011C8509D, DATED: SEPTEMBER 25, 2009
- PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY A LICENSED LAND SURVEYOR CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED SITE PLAN.
- SNOW REMOVAL TO BE PLACED IN OPEN AREAS OF THE SITE AS SHOWN ON SHEET 3 OF 8. IF NEEDED, EXCESS SNOW SHALL BE TRUCKED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- A CAP FEE IN THE AMOUNT OF \$5,625.00 (\$1,250/SF X 4,500 SF ACCESSORY GARAGE) SHALL BE PAID PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THE DEVELOPMENT AGREEMENT FOR THIS PROJECT SHALL BE PLACED ON FILE WITH THE TOWN OF HUDSON PLANNING DEPARTMENT AND THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
- NO HAZARDOUS MATERIALS SHALL BE STORED ON SITE.
- NO SERVICE AND MAINTENANCE OF VEHICLES OR HEAVY MECHANICAL EQUIPMENT SHALL OCCUR ON SITE.
- PRESENT OWNER OF RECORD: MAP 105, LOT 32 NIREL, LLC 140 OLD DERRY ROAD HUDSON, NH 03051 BK. 8859, PG. 2535



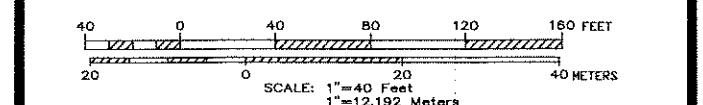
NOTES:

- LOT AREA: 2.912± ACRES (126,867± SF)
- PRESENT ZONING: G-1; GENERAL
MINIMUM LOT REQUIREMENTS:
- LOT AREA: 87,120 SF
- LOT FRONTAGE: 200 FT
MINIMUM BUILDING SETBACK REQUIREMENTS:
- FRONT YARD: 50 FT
- SIDE YARD: 15 FT
- REAR YARD: 15 FT
- LOT NUMBERS REFER TO THE TOWN OF HUDSON ASSESSORS MAPS 105, 106, 110 & 111.
- SITE IS SERVICED BY PRIVATE SEPTIC AND WELL. APPROXIMATE WELL & SEPTIC LOCATIONS ARE SHOWN PER PLAN REF. #4
- PURPOSE OF PLAN:
A) TO SHOW THE PROPOSED CHANGE OF USE OF THE EXISTING BUILDING/SITE FROM A SINGLE-FAMILY RESIDENCE TO A CONTRACTOR'S FACILITY.
B) TO SHOW A PROPOSED 4,500 SF ACCESSORY GARAGE ALONG WITH MINOR SITE IMPROVEMENTS.
- PARKING:
REQUIRED (BUSINESS SERVICES): 1 SPACE/300 SF x 2,200 SF = 7 SPACES
PROVIDED: = 8 SPACES
- OPEN SPACE:
REQUIRED: 40%
PROVIDED: 87%
- HOURS OF OPERATION:
MONDAY - SATURDAY: 7 AM - 7 PM
- ALL SIGNS ARE SUBJECT TO APPROVAL BY THE TOWN OF HUDSON PLANNING BOARD PRIOR TO INSTALLATION THEREOF.
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE 2010 AMERICANS WITH DISABILITIES ACT (OR LATEST EDITION).
- SITE LIGHTING SHALL BE SHOWN ON THE PLAN, DIRECTED ONTO THE SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVEY OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN WITH THE EXCEPTION OF DECKS AND PORCHES (PROVIDED THEY CONFORM WITH THE REQUIREMENTS OF THE TOWN OF HUDSON ZONING BY-LAWS), OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
- REFUSE REMOVAL SHALL BE BETWEEN THE HOURS OF 7 AM TO 7 PM MONDAY - FRIDAY AND SHALL BE PROHIBITED ON SATURDAY AND SUNDAY.
- CONSTRUCTION HOURS ARE MONDAY THRU SATURDAY, 7:00 AM TO 7:00 PM WITH NO CONSTRUCTION ACTIVITIES OCCURRING ON SUNDAYS. IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS OF 7:00 AM AND 6:00 PM, MONDAY THRU FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON SATURDAYS AND SUNDAYS.
- SHEET 1 OF 8 SHALL BE RECORDED AT THE HILLSBOROUGH REGISTRY OF DEEDS. A COMPLETE SET OF PLANS IS ON FILE WITH THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT.

No.	DATE	REVISION	BY
1	10/10/17	ADDRESS PEER REVIEW COMMENTS	TEZ

**MASTER SITE PLAN (MAP 105, LOT 32)
PROPOSED CONTRACTOR'S FACILITY
140 OLD DERRY ROAD
HUDSON, NEW HAMPSHIRE**

PREPARED FOR/RECORD OWNER:
NIREL, LLC
140 OLD DERRY ROAD HUDSON, NEW HAMPSHIRE 03051 (866) 284-8400



21 AUGUST 2017

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
Three Congress Street, Nashua, New Hampshire 03062-3301
Tel (603) 883-2057 Fax (603) 883-5057
www.haynerswanson.com

FIELD BOOK: 1219 DRAWING NAME: 5467-SITE-F041 5467 1 OF 8
DRAWING LOCATION: G:\5467\DWG\SITE File Number Sheet

ZONING NOTE
THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY, SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE DATE: _____
SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

Paul Melvin
FOR NIREL, LLC
DATE: 08-28-2017

WAIVER REQUESTED:

- 275-B(C)(7) LANDSCAPE PLAN
- 276-11.1(B)(12)(a) 200-FT RESIDENTIAL BUFFER

CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON-THE-GROUND STANDARD PROPERTY SURVEY AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

PURSUANT TO RSA 676:18, III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

10/10/17 DATE



LEGEND

- 100 --- EXISTING GROUND CONTOUR
- 100.5 --- EXISTING SPOT ELEVATION
- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLE
- STORM DRAIN & HEADWALL
- SANITARY SEWER & MANHOLES
- WATER MAIN & HYDRANT
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT
- OVERHEAD ELECTRIC & TELEPHONE
- UNDERGROUND TELEPHONE
- SIGN
- TREE LINE
- N.H. HIGHWAY BOUND
- STONE BOUND
- IRON PIN
- BUILDING SETBACK LINE
- WETLAND FLAGGING LIMIT
- WETLAND BUFFER LINE
- CHAINLINK FENCE
- GUARD RAIL
- REINFORCED CONCRETE
- DECIDUOUS TREE
- CONIFEROUS TREE
- FLAG POLE
- SOIL BOUNDARY
- 26B --- SOIL TYPE
- LIMIT OF SOIL SURVEY
- TEST PIT LOCATION & IDENTIFIER

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

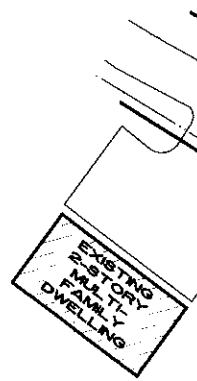
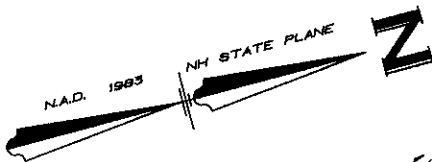
ZONING NOTE

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY, SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS. PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.



MAP 105 LOT 17

MAP 106 LOT 13



BENCHMARK
NAIL IN 24" PINE
ELEV. = 254.41
(NGVD29)

BENCHMARK
NAIL IN 12" HICKORY
ELEV. = 223.16
(NGVD29)

LIMIT OF WETLANDS AS DELINEATED BY GARY C. FLAHERTY, CWS USING CURRENT U.S. ARMY CORPS OF ENGINEERS (USACE) STANDARDS AND LOCATED BY HAYNER/SWANSON, INC. MARCH 2017.

SOIL SURVEY STAFF, NATURAL RESOURCES CONSERVATION SERVICE, UNITED STATES DEPT. OF AGRICULTURE. WEBB SOIL SURVEY, AVAILABLE ONLINE AT <http://websoilsurvey.nrcs.usda.gov/> ACCESSED APRIL 5, 2017.

SOILS DATA

CpB	CHATFIELD-HOLLIS-CANTON COMPLEX
CpC	CHATFIELD-HOLLIS-CANTON COMPLEX
HsC	HINKLEY LOAMY SAND
PiA	PIPESTONE LOAMY SAND
---	SOIL BOUNDARY

PURSUANT TO THE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

SIGNATURE DATE

SIGNATURE DATE

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



LIMIT OF WETLANDS AS SHOWN ON THIS PLAN DETERMINED USING CURRENT U.S. ARMY CORPS OF ENGINEERS (USACE) METHODOLOGY

CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

PURSUANT TO RSA 676:18, III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

10/10/17
DATE



PLAN REFERENCES:

- PELLETIER SUBDIVISION, OLD DERRY ROAD, HUDSON, NH, SCALE 1"=40', PLAN REVISED 10/20/00, PREPARED FOR MICHAEL PELLETIER, PREPARED BY M.J. GRAINGER ENGINEERING, INC., RECORDED H.C.R.D. PLAN #30839.
- PLAN OF LAND OF ARTHUR E. KEROUAC, HUDSON, NH, OLD DERRY ROAD, HUDSON, NH, SCALE 1"=50', PLAN DATED 1980, RECORDED H.C.R.D. PLAN #3497.
- MASTER SITE PLAN, ROBINSON ROAD SELF STORAGE, MAP 105, LOT 17, HUDSON, NH, SCALE 1"=100', REVISED 01/31/11, PREPARED BY KEACH-NORDSTROM, INC., RECORDED H.C.R.D. PLAN #37129.
- TOPOGRAPHIC & D.E.S. PLAN (TAX MAP 42) LOT 1, PELLETIER SUBDIVISION, OLD DERRY ROAD, HUDSON, NH, SCALE 1"=40', PLAN REVISED 9/14/00, PREPARED FOR MICHAEL PELLETIER, PREPARED BY M.J. GRAINGER ENGINEERING, INC., ON FILE WITH THE TOWN OF HUDSON.

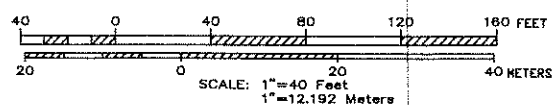
SURVEY NOTES:

- SURVEY CONTROL:
HORIZONTAL DATUM: NAD83/2011 PROJECTION: NH STATE PLANE
VERTICAL DATUM: NGVD29 SCALE FACTOR APPLIED: 1.000000
UNITS: US SURVEY FEET
* VERTICAL DATUM WAS VERIFIED USING GPS (KEYNET NETWORK) BY TAKING OBSERVATIONS ON SITE AND ON NGS (FORMERLY USGS) "DISK D-28" LOCATED ON THE NORTHERLY SIDE OF RTE 101A APPROXIMATELY 4.5 MILES WEST OF THE NASHUA LIBRARY.
- THE EXISTING TOPOGRAPHY, AS SHOWN ON THE PLANS, IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND IN MARCH 2017.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
- THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
- SITE IS SERVICED BY PRIVATE SEPTIC AND WELL. APPROXIMATE WELL & SEPTIC LOCATIONS ARE SHOWN PER PLAN REF. #4.
- A PORTION OF THE SITE IS LOCATED WITHIN ZONE A (1% ANNUAL CHANCE FLOOD HAZARD AREA) AS DETERMINED FROM THE TOWN OF HUDSON, NH, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 33011C0509D, DATED: SEPTEMBER 25, 2009.

No.	DATE	ADDRESS PEER REVIEW COMMENTS	REVISION	BY
1	10/10/17	ADDRESS PEER REVIEW COMMENTS		TEZ

EXISTING CONDITIONS PLAN
(MAP 105, LOT 32)
PROPOSED CONTRACTOR'S FACILITY
140 OLD DERRY ROAD
HUDSON, NEW HAMPSHIRE

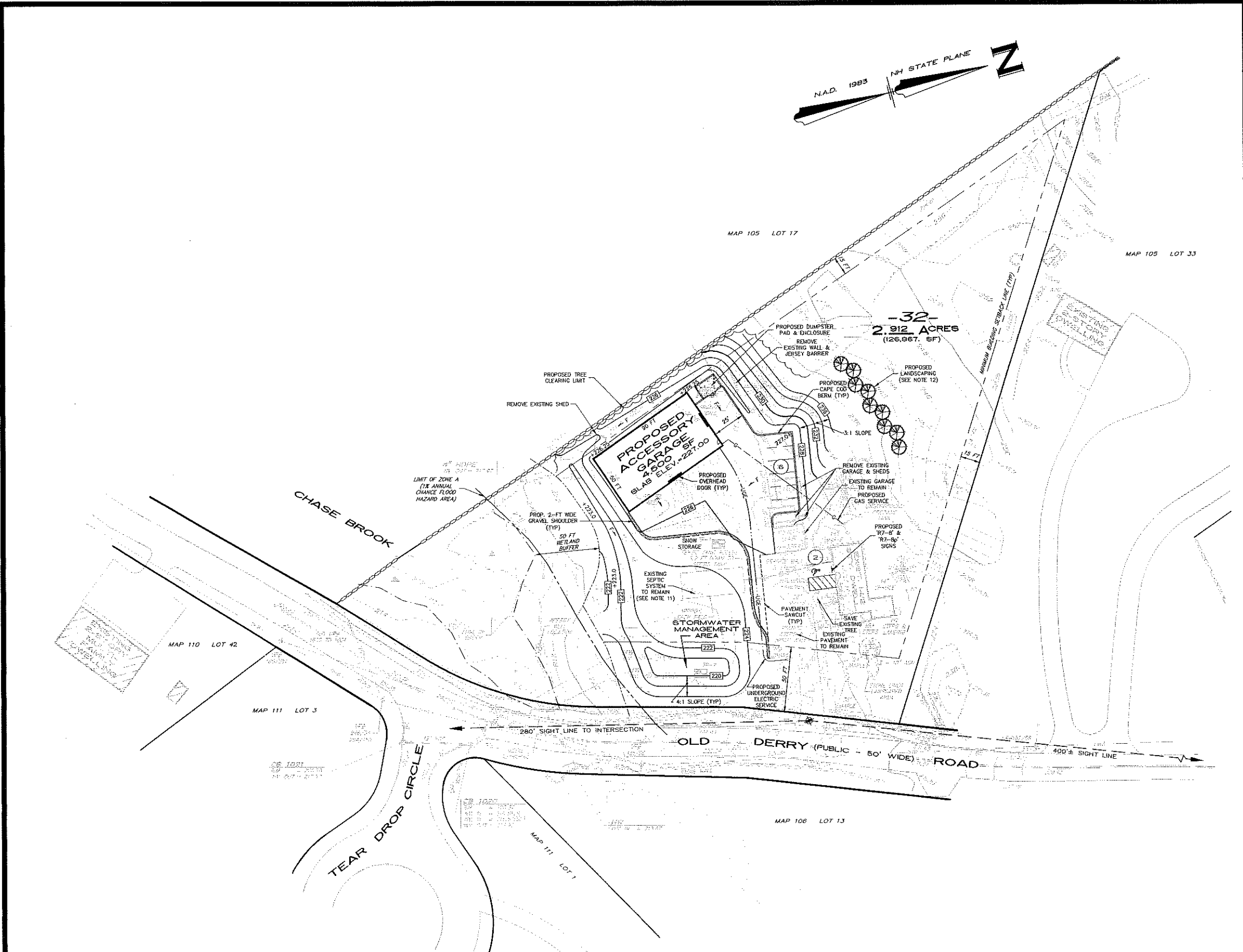
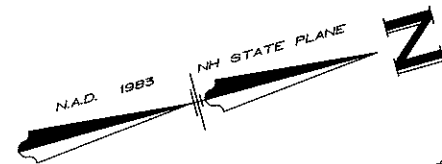
PREPARED FOR/RECORD OWNER:
NIREL, LLC
140 OLD DERRY ROAD HUDSON, NEW HAMPSHIRE 03051 (866) 284-6400



21 AUGUST 2017



Three Congress Street Nashua, New Hampshire 03062-3301
Tel (603) 883-2057 Fax (603) 883-5057
www.haynerswanson.com



CONSTRUCTION NOTES:

- 1 ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST EDITION, ARE HEREBY INCORPORATED BY REFERENCE.
- 2 ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPT., HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHALL BE CLASS IV 3000 D DROP OR ADS-18H. CATCH BASINS SHALL BE TYPE B AND HAVE 4 FT SUMPS UNLESS OTHERWISE NOTED.
- 3 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- 4 ALL DRAINAGE PIPE SHALL BE FURNISHED AND INSTALLED WITH FLEXIBLE GASKETS. JOINTS SHALL BE MADE WITH OIL RESISTANT COMPRESSION RINGS OF AN ELASTOMERIC MATERIAL CONFORMING TO ASTM C-443. MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE FOLLOWED.
- 5 EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED THROUGH THE CONSTRUCTION PROCESS UNTIL STABILIZATION OCCURS.
- 6 STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- 7 ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- 8 DIMENSIONS TO CURB AND GUTTERS INDICATE EDGE OF PAVING UNLESS OTHERWISE NOTED.
- 9 EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING PAVEMENT.
- 10 THE PROPOSED ACCESSORY GARAGE SHALL BE SERVICED BY PROPANE GAS AND OVERHEAD ELECTRIC UTILITIES.
- 11 THE EXISTING SEPTIC SYSTEM SHALL REMAIN IN USE DURING AND AFTER CONSTRUCTION. AS PART OF THE SITE PLAN APPROVAL PROCESS, THE TOWN OF HUDSON HAS REQUESTED THAT THE APPLICANT DESIGN AND PERMIT A NEW SEPTIC SYSTEM FOR THIS SITE TO BE CONSTRUCTED ONLY IF THE EXISTING SYSTEM FAILS. SEE SHEETS 7 AND 8 FOR DETAILS OF THIS PROPOSED REPLACEMENT SYSTEM.
- 12 NEW LANDSCAPING (APPROX. 9 WHITE SPRUCE @10-FT O.C.) SHALL BE INSTALLED IN THIS LOCATION TO PROVIDE ADDITIONAL SCREENING BETWEEN THE PROPOSED GARAGE AND LOT 33. THE APPLICANT SHALL WORK WITH STAFF ON THE FINAL LOCATION, TYPE AND SIZE OF PLANTINGS.

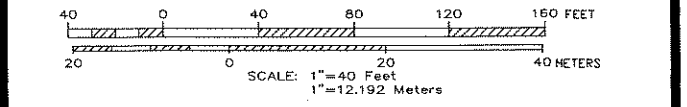
TOWN OF HUDSON CONTACTS:

1. **PLANNING DEPARTMENT**
12 SCHOOL STREET
HUDSON, NH 03051
ATT: GEORGE THEBARGE, LAND USE DIRECTOR
(603) 816-1266
2. **ENGINEERING DEPARTMENT**
12 SCHOOL STREET
HUDSON, NH 03051
ATT: ELVIS CHIMA, P.E. TOWN ENGINEER
(603) 886-6008

No.	DATE	ADDRESS PEER REVIEW COMMENTS	REVISION	BY
1	10/10/17	ADDRESS PEER REVIEW COMMENTS		TEZ

SITE PLAN
(MAP 105, LOT 32)
PROPOSED CONTRACTOR'S FACILITY
140 OLD DERRY ROAD
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NIREL, LLC
140 OLD DERRY ROAD HUDSON, NEW HAMPSHIRE 03051 (866) 284-6400



21 AUGUST 2017

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
Three Congress Street Nashua, New Hampshire 03062-3301
Tel (603) 883-2057 Fax (603) 883-5057
www.hayner-swanson.com

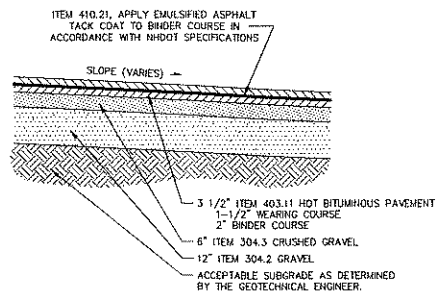
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

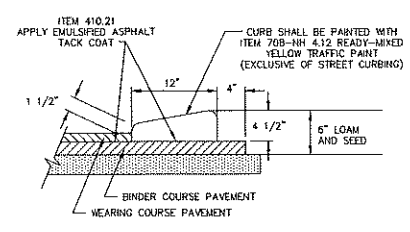
SIGNATURE DATE

SIGNATURE DATE

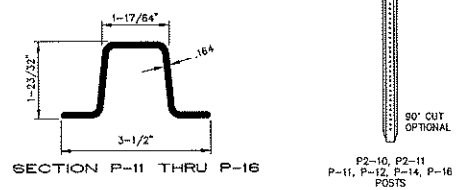
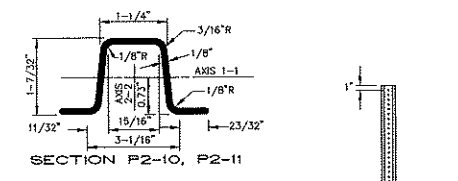
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



TYPICAL PAVEMENT SECTION
NOT TO SCALE



CAPE COD BERM DETAIL
NOT TO SCALE



TRAFFIC SIGN SUPPORT DETAIL
NOT TO SCALE

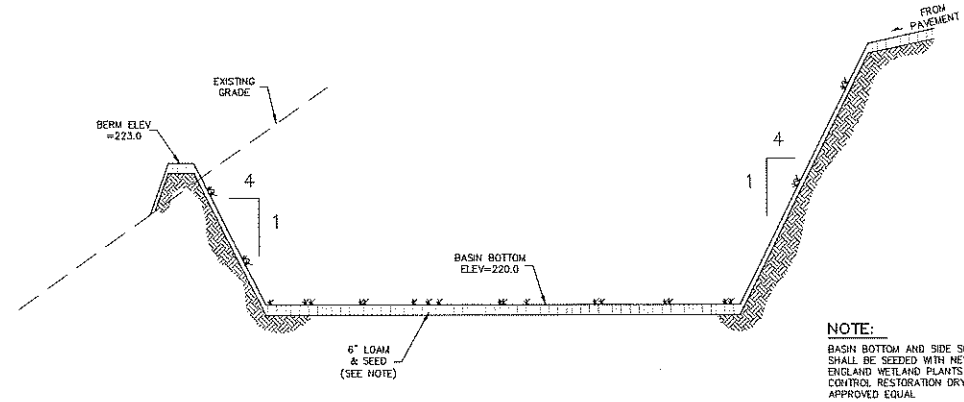
SIGN LEGEND		
TEXT	IDENTIFICATION NUMBER	SIZE WIDTH/HEIGHT
RESERVED PARKING	R7-8	12" / 18"
VAN ACCESSIBLE	R7-BP	18" / 9"

SEE MUTCD FOR TEXT DIMENSIONS

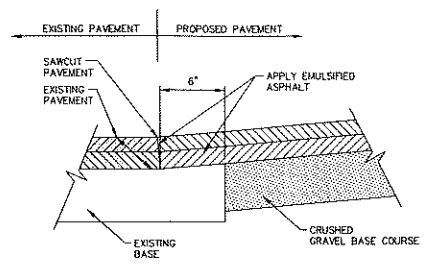
TEXT DIMENSIONS

SEE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS

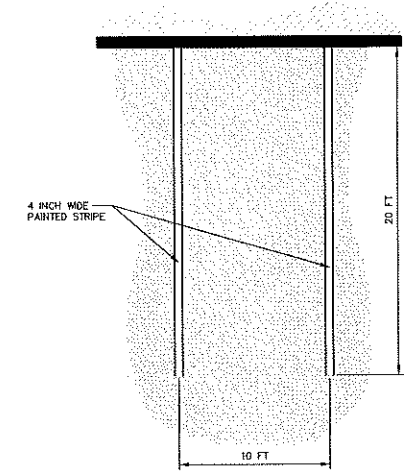
SEE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS



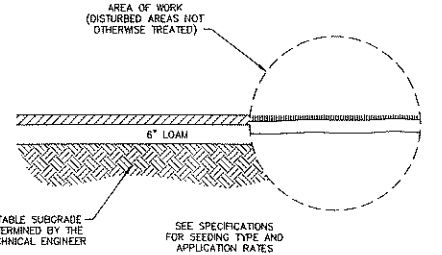
TYPICAL SECTION STORMWATER MANAGEMENT AREA
NOT TO SCALE



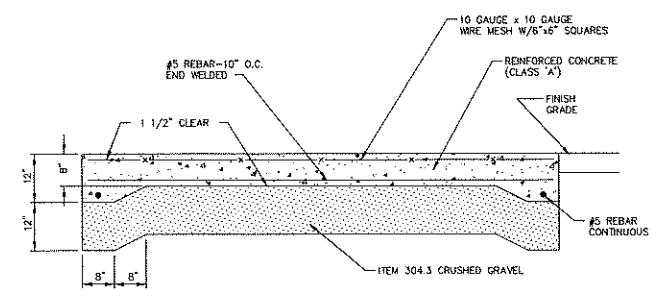
SAWCUT PAVEMENT DETAIL
NOT TO SCALE



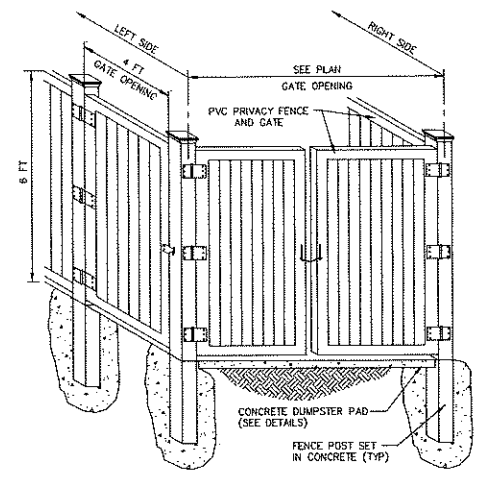
TYP. PARKING STALL DETAIL
NOT TO SCALE



LOAM AND SEED DETAIL
NOT TO SCALE



DUMPSTER PAD DETAIL
NOT TO SCALE



SCREEN FENCE and GATE FOR DUMPSTER PAD DETAIL
NOT TO SCALE

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM THE DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE DATE _____
SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

No.	DATE	REVISION	BY
1	10/10/17	ADDRESS PEER REVIEW COMMENTS	TEZ

DETAILS - GENERAL SITE
(MAP 105, LOT 32)
PROPOSED CONTRACTOR'S FACILITY
140 OLD DERRY ROAD
HUDSON, NEW HAMPSHIRE

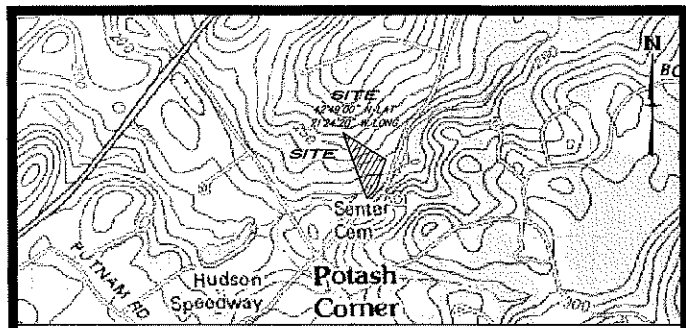
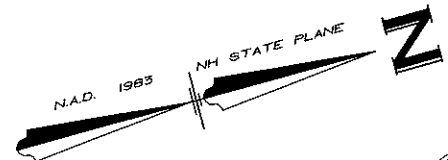
PREPARED FOR/RECORD OWNER:
NIREL, LLC
140 OLD DERRY ROAD HUDSON, NEW HAMPSHIRE 03051 (866) 284-6400

SCALE AS SHOWN

21 AUGUST 2017

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
Three Congress Street Nashua, New Hampshire 03062-3301
Tel (603) 883-2057 Fax (603) 883-5057
www.haynerswanson.com

FIELD BOOK: 1219	DRAWING NAME: 5467-SITE-DET1	5467	4 OF 8
DRAWING LOCATION: D:\5467\DWG\SITE		File Number	Sheet



VICINITY MAP

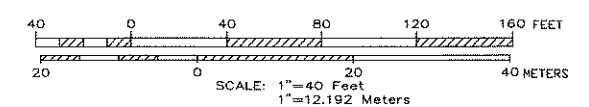
GENERAL NOTES:

1. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
2. STOCKPILE AREAS SHALL BE SURROUNDED BY SILT FENCE AND RE-SEEDED IF THEY ARE LEFT UNTOUCHED FOR MORE THAN TEN (10) DAYS.
3. ALL MEASURES STATED ON THIS EROSION CONTROL PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETE PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT.
4. SILT FENCE SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM SILT FENCES WHEN IT REACHED ONE-QUARTER THE HEIGHT OF THE SILT FENCE.
5. GRAVEL CHECK DAMS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
5. ALL SEEDED AREAS SHALL BE CHECK REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
7. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXIT AS CONDITIONS DEMAND.
8. THE TOWN OF HUDSON RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION IF NEEDED.

No.	DATE	REVISION	BY
1	10/10/17	ADDRESS PEER REVIEW COMMENTS	TEZ

EROSION CONTROL PLAN
(MAP 105, LOT 32)
PROPOSED CONTRACTOR'S FACILITY
140 OLD DERRY ROAD
HUDSON, NEW HAMPSHIRE

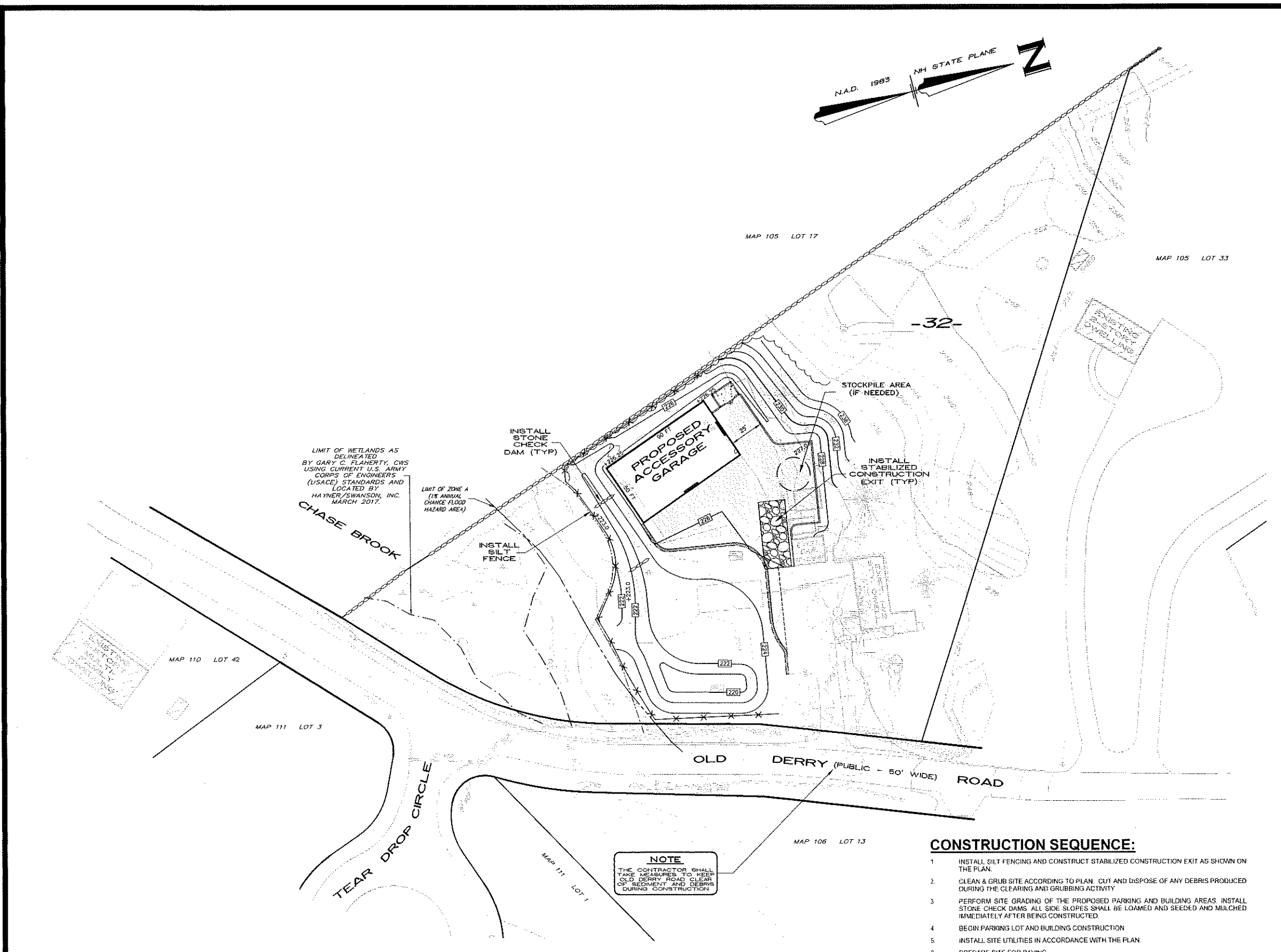
PREPARED FOR/RECORD OWNER:
NIREL, LLC
140 OLD DERRY ROAD HUDSON, NEW HAMPSHIRE 03051 (866) 284-6400



21 AUGUST 2017

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
Three Congress Street Nashua, New Hampshire 03062-3301
Tel (603) 883-2057 Fax (603) 883-5057
www.hayner-swanson.com

FIELD BOOK: 1219	DRAWING NAME: 5467-SITE-ER41	5467	5 OF 8
DRAWING LOCATION: Q:\5467\DWG\SITE		File Number	Sheet



LIMIT OF WETLANDS AS DELINEATED BY GARY C. FLAHERTY, CWS USING CURRENT U.S. ARMY CORPS OF ENGINEERS (USACE) STANDARDS AND LOCATED BY HAYNER/SWANSON, INC. MARCH 2017.

LIMIT OF ZONE A (1% ANNUAL CHANCE FLOOD HAZARD AREA)

NOTE
THE CONTRACTOR SHALL TAKE MEASURES TO KEEP OLD DERRY ROAD CLEAR OF SEDIMENT AND DEBRIS DURING CONSTRUCTION.

EROSION CONTROL LEGEND

- x — x — SILT FENCE
- ▣ SILT-BACK INLET PROTECTION DEVICES
- ▣ GRAVEL CONSTRUCTION EXIT
- F → RUNOFF DIRECTION
- STONE CHECK DAMS

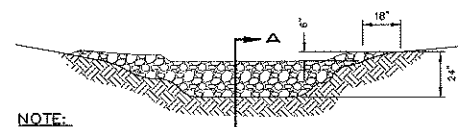
CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCING AND CONSTRUCT STABILIZED CONSTRUCTION EXIT AS SHOWN ON THE PLAN.
2. CLEAN & GRUB SITE ACCORDING TO PLAN. CLY AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
3. PERFORM SITE GRADING OF THE PROPOSED PARKING AND BUILDING AREAS. INSTALL STONE CHECK DAMS. ALL SIDE SLOPES SHALL BE LOAMED AND SEEDED AND MULCHED IMMEDIATELY AFTER BEING CONSTRUCTED.
4. BEGIN PARKING LOT AND BUILDING CONSTRUCTION.
5. INSTALL SITE UTILITIES IN ACCORDANCE WITH THE PLAN.
5. PREPARE SITE FOR PAVING.
7. AS THE PARKING LOT AND BUILDING AREAS ARE COMPLETED. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED. NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF 30 DAYS.
8. LOAM AND SEED ALL REMAINING DISTURBED AREAS. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER BEING CONSTRUCTED.
9. FINAL PAVING OF PARKING AREAS.
10. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
11. SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF DISTURBED AREAS.
12. REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

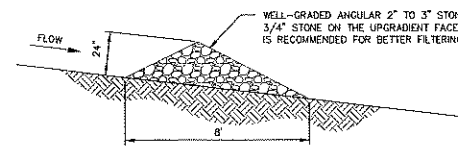
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE DATE: _____
SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



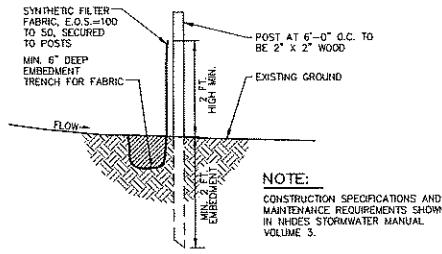
VIEW LOOKING UPSTREAM



SECTION A-A

TEMPORARY STONE CHECK DAM TYPICAL SECTION

NOT TO SCALE



SILT FENCE DETAIL

NOT TO SCALE

GENERAL NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THE REEF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES STORMWATER MANUALS, VOLUME 1-3, LATEST EDITION.
2. THE WORK AREA SHALL BE GRADED, SHAPED, AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA. SILT FENCES, STRAW BALES AND/OR DETENTION BASINS WILL BE NECESSARY TO ACCOMPLISH THIS END.
3. STRIPPED TOPSOIL SHALL BE STOCKPILED, WITHOUT COMPACTION, AND STABILIZED AGAINST EROSION IN ACCORDANCE WITH "TEMPORARY STABILIZATION OF DISTURBED AREAS", AS OUTLINED IN NOTE NO. 4.
4. TEMPORARY STABILIZATION OF DISTURBED AREAS.
SEED BED PREPARATION: 10-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS PER 1,000 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 50 LBS PER 1,000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.
A. SEED MIXTURE: USE ANY OF THE FOLLOWING.

SPECIES	RATE PER 1,000 SF	DEPTH	SEEDING DATES
WINTER RYE	2.5 LBS	1"	08/15 TO 09/15
OATS	2.5 LBS	1"	04/15 TO 10/15
ANNUAL RYE GRASS	1.0 LBS	0 25"	08/15 TO 09/15

 B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODABLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:

TYPE	RATE PER 1,000 SF	USE & COMMENTS
STRAW	70 TO 90 LBS	MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE
WOOD CHIPS OR BARK MULCH	460 TO 520 LBS	USED WITH TREES AND SHRUB PLANTINGS
FIBROUS MATTING	AS RECOMMENDED BY MANUFACTURER	MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE
CRUSHED STONE 1/2 TO 1 1/2 DIA	SPREAD TO GREATER THAN 1/2 THICKNESS	USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED.
5. PERMANENT STABILIZATION OF DISTURBED AREAS.
 - A. ALL ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
 - B. ALL CUT AND FILL SLOPES SHALL BE SEED/DOLOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
6. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
7. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - C. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
 - D. OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
8. ALL AREAS SHALL BE STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE.
9. SITE LOCATION: 42° 49' 02" N LATITUDE, 71° 24' 20" W LONGITUDE (PER GOOGLE EARTH)
10. TOTAL AREA OF DISTURBED SOILS: 35,400± SF

BMP OPERATION AND MAINTENANCE RECOMMENDATIONS

IN ACCORDANCE WITH SECTION 290-A:15(b) OF THE TOWN OF HUDSON CODE, THE FOLLOWING RECOMMENDATIONS ARE TO BE USED AS A GUIDE FOR THE OPERATION AND MAINTENANCE OF THE PERMANENT STORMWATER BEST MANAGEMENT PRACTICES (BMP'S) ASSOCIATED WITH THIS PROJECT.

1. PARKING LOT SWEEPING
 - A. INSPECT THE PARKING LOT AT LEAST SEMI-ANNUALLY FOR THE ACCUMULATION OF SEDIMENT ALONG DRAINAGE FLOW LINES. ADDITIONAL INSPECTIONS RECOMMENDED PARTICULARLY DURING AND AFTER THE WINTER MONTHS IF THE ICE CONDITIONS DURING THE WINTER WERE SEVERE.
 - B. SWEEP THE PARKING LOT TO REMOVE SEDIMENT BUILDUP ALONG AND DRAINAGE FLOW LINES.
 - C. DISPOSE OF SEDIMENTS AND OTHER WASTES IN CONFORMANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
2. STORMWATER MANAGEMENT AREA
 - A. THE STORMWATER MANAGEMENT AREA SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE AND REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
 - B. IF THE SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENT OR REPAIR/MAINTENANCE OF THE BOTTOM OF PRACTICE.

SITE MAINTENANCE/INSPECTION PROGRAM

THE FOLLOWING PROVIDES AN ITEMIZATION OF SPECIFIC SITE MAINTENANCE PRACTICES THAT WILL BE EMPLOYED ON THE SITE TO MINIMIZE POLLUTANT GENERATION AND TRANSPORT FROM THE SITE. THE SITE MAINTENANCE PROGRAM INCLUDES ROUTINE INSPECTIONS, PREVENTATIVE MAINTENANCE AND "GOOD HOUSEKEEPING" PRACTICES.

ROUTINE INSPECTIONS

1. THE CONTRACTOR SHALL INSPECT ALL CONTROL MEASURES AT LEAST ONCE A WEEK AND WITHIN TWELVE (12) HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 0.5 INCHES. THE INSPECTIONS WILL VERIFY THAT THE STRUCTURAL BMP'S DESCRIBED IN THE PLANS ARE IN GOOD CONDITION AND ARE MINIMIZING EROSION. A MAINTENANCE INSPECTION REPORT WILL BE MADE WITH EACH INSPECTION. COMPLETED INSPECTION FORMS SHALL BE KEPT ON SITE FOR THE DURATION OF THE PROJECT. FOLLOWING CONSTRUCTION, THE COMPLETED FORMS SHALL BE RETAINED AT THE CONTRACTOR'S OFFICE FOR A MINIMUM OF ONE YEAR.

PREVENTATIVE MAINTENANCE

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT CONTROLS THROUGHOUT THE DURATION OF THIS CONTRACT. MAINTENANCE PRACTICES SHALL INCLUDE, BUT ARE NOT LIMITED TO:
1. CLEANING OF CATCH BASINS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY QUARTERLY INSPECTIONS.
 2. CLEANING OF SEDIMENT AND DEBRIS FROM STORMWATER MANAGEMENT AREA FOREBAY TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY MONTHLY INSPECTIONS.
 3. IMPLEMENTATION OF OTHER MAINTENANCE OR REPAIR ACTIVITIES AS DEEMED NECESSARY BASED UPON WEEKLY INSPECTIONS.
 4. REMOVAL OF BUILT UP SEDIMENT ALONG SILT FENCES AND/OR HAY BALE BARRIERS.
 5. REMOVAL OF BUILT UP SEDIMENT IN BOTH TEMPORARY AND PERMANENT CONTROLS SUCH AS GRASS SWALES, SEDIMENT FOREBAYS AND RECHARGE/DETENTION BASINS.
 6. RECONSTRUCTING THE TEMPORARY GRAVEL CONSTRUCTION EXIT IF NOT WORKING PROPERLY.
 7. TREATMENT OF NON-STORM WATER DISCHARGES SUCH AS WATER FROM WATER LINE FLUSHINGS OR GROUNDWATER FROM DEWATERING EXCAVATIONS. SUCH FLOWS SHOULD BE DIRECTED TO A TEMPORARY SEDIMENTATION BASIN OR STORMWATER MANAGEMENT AREA.
 8. SWEEP PARKING LOTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION. FREQUENCY WILL VARY SEASONALLY ACCORDING TO SEDIMENT ACCUMULATION ON PAVE SURFACES I.E.G., MORE FREQUENT SWEEPING DURING THE WINTER AND SPRING.

GOOD HOUSEKEEPING PRACTICES

1. THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM AND WATER RUNOFF. THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THE USE OF THESE PRODUCTS IS MINIMIZED. THE FOLLOWING "GOOD HOUSEKEEPING" PRACTICES SHALL BE FOLLOWED DURING CONSTRUCTION OF THE PROJECT:
 - A. AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
 - B. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
 - C. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR MANUFACTURER'S LABELS.
 - D. WHENEVER POSSIBLE, ALL OF A PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER.
 - E. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
 - F. THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.

SPILL PREVENTION AND CLEANUP PRACTICES

- A. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIAL WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- C. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- D. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- E. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- F. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

No.	DATE	REVISION	BY
1	10/10/17	ADDRESS PEER REVIEW COMMENTS	TEZ

DETAILS - EROSION CONTROL
(MAP 105, LOT 32)
PROPOSED CONTRACTOR'S FACILITY
140 OLD DERRY ROAD
HUDSON, NEW HAMPSHIRE

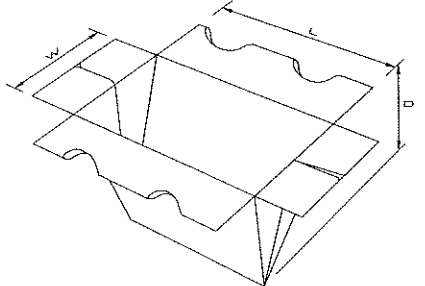
PREPARED FOR/RECORD OWNER:

NIREL, LLC
140 OLD DERRY ROAD HUDSON, NEW HAMPSHIRE 03051 (866) 284-6400

SCALE AS SHOWN
21 AUGUST 2017

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
Three Congress Street Nashua, New Hampshire 03062-3301
Tel (603) 883-2057 Fax (603) 883-5057
www.haynerswanson.com

FIELD BOOK: 1219	DRAWING NAME: 5467-SITE-DET1	5467	6 OF 8
DRAWING LOCATION: G:\5467\DWG\SITE			File Number



SILTSAK® NOTES

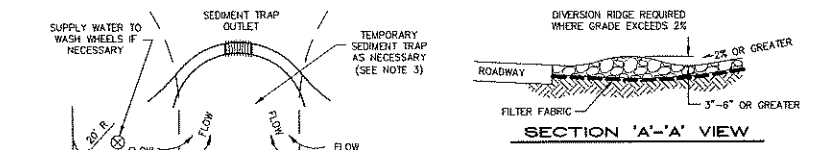
- 1.0 THE SILTSAK® SHALL BE MANUFACTURED FROM WOVEN POLYPROPYLENE AND SEWN BY A DOUBLE NEEDLE MACHINE, USING A HIGH STRENGTH NYLON THREAD.
- 2.0 THE SILTSAK® BEAMS SHALL HAVE A CERTIFIED AVERAGE WIDE WIDTH STRENGTH PER ASTM D-484 STANDARDS AS FOLLOWS:
SILTSAK® STYLE TEST METHOD TEST RESULT
REGULAR FLOW ASTM D-484 185 O LBS/IN
HI-FLOW ASTM D-484 114 O LBS/IN
- 3.0 THE SILTSAK® WILL BE MANUFACTURED TO FIT THE OPENING OF THE CATCH BASIN OR DROP INLET. THE SILTSAK® WILL HAVE THE FOLLOWING FEATURES: TWO DUMP STRAPS ATTACHED AT THE BOTTOM TO FACILITATE THE EMPTYING OF THE SILTSAK®; THE SILTSAK® SHALL HAVE LIFTING LOOPS AS AN INTEGRAL PART OF THE SYSTEM TO BE USED TO LIFT THE SILTSAK® FROM THE BASIN; THE SILTSAK® SHALL HAVE A RESTRAINT CORD APPROXIMATELY HALFWAY UP THE SACK TO KEEP THE SIDES AWAY FROM THE CATCH BASIN WALLS; THIS YELLOW CORD IS ALSO A VISIBLE MEANS OF INDICATING WHEN THE SACK SHOULD BE EMPTIED, CLEANED, AND PLACED BACK INTO THE BASIN.
- 4.0 THE GEOTEXTILE FABRIC SHALL BE WOVEN POLYPROPYLENE FABRIC WITH THE FOLLOWING PROPERTIES:

PROPERTY	TEST METHOD	TEST RESULT
GRAB TENSILE	ASTM D-4532	300 LBS
GRAB ELONGATION	ASTM D-4631	20%
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3788	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	90%
APPARENT OPENING	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/FT2
PERMITTIVITY	ASTM D-4491	0.55 SEC

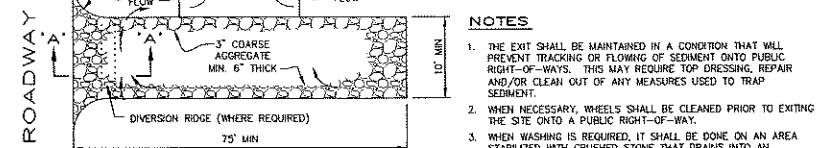
OR SILTSAK® HI-FLOW	TEST METHOD	TEST RESULT
PROPERTY	TEST METHOD	TEST RESULT
GRAB TENSILE	ASTM D-4532	285 LBS
GRAB ELONGATION	ASTM D-4532	20%
PUNCTURE	ASTM D-4833	150 LBS
MULLEN BURST	ASTM D-3788	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90%
APPARENT OPENING	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/FT2
PERMITTIVITY	ASTM D-4491	1.5 SEC

SILTSAK® DETAIL

NOT TO SCALE



SECTION 'A-A' VIEW



PLAN VIEW

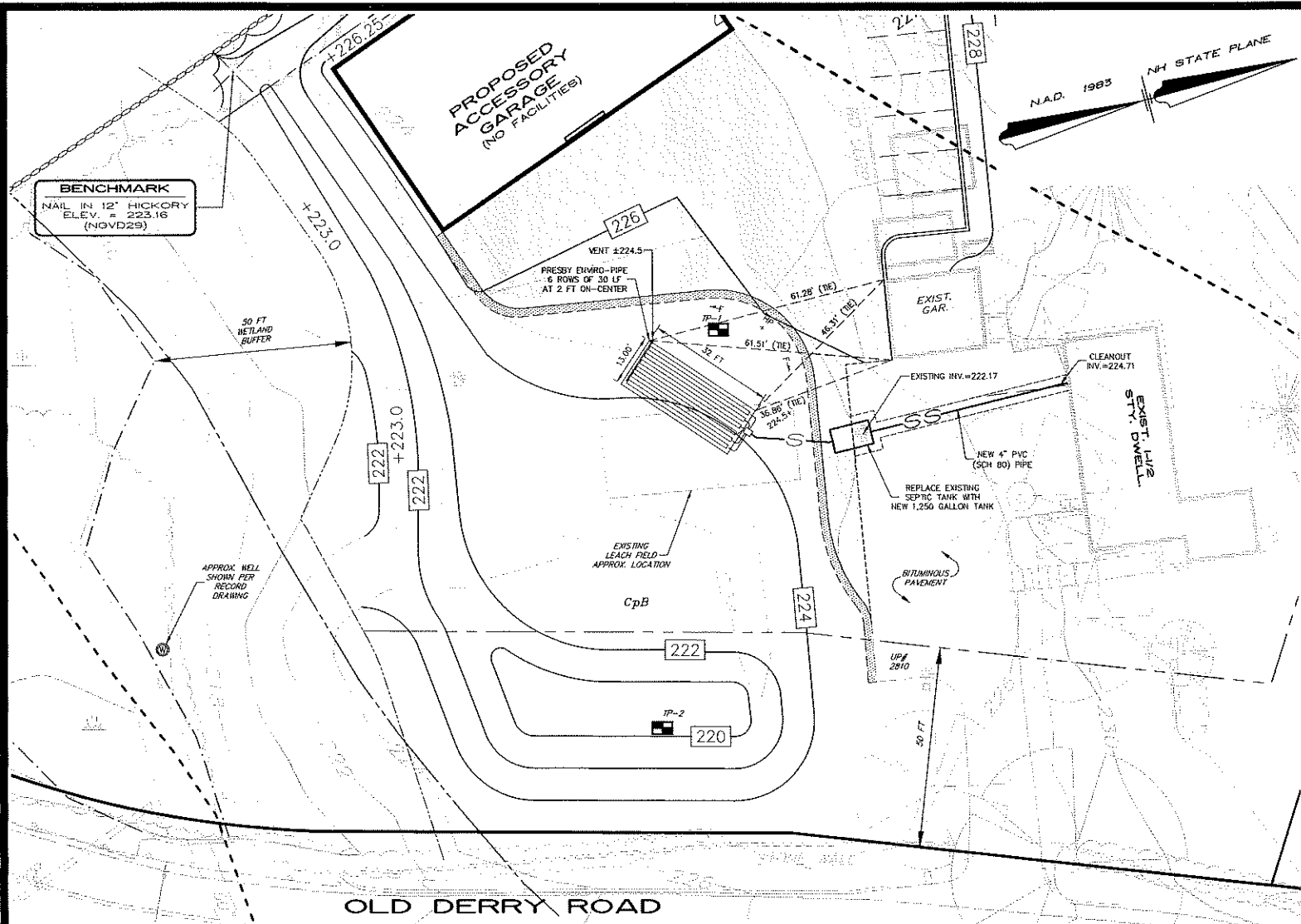
TEMPORARY GRAVEL CONSTRUCTION EXIT

NOT TO SCALE

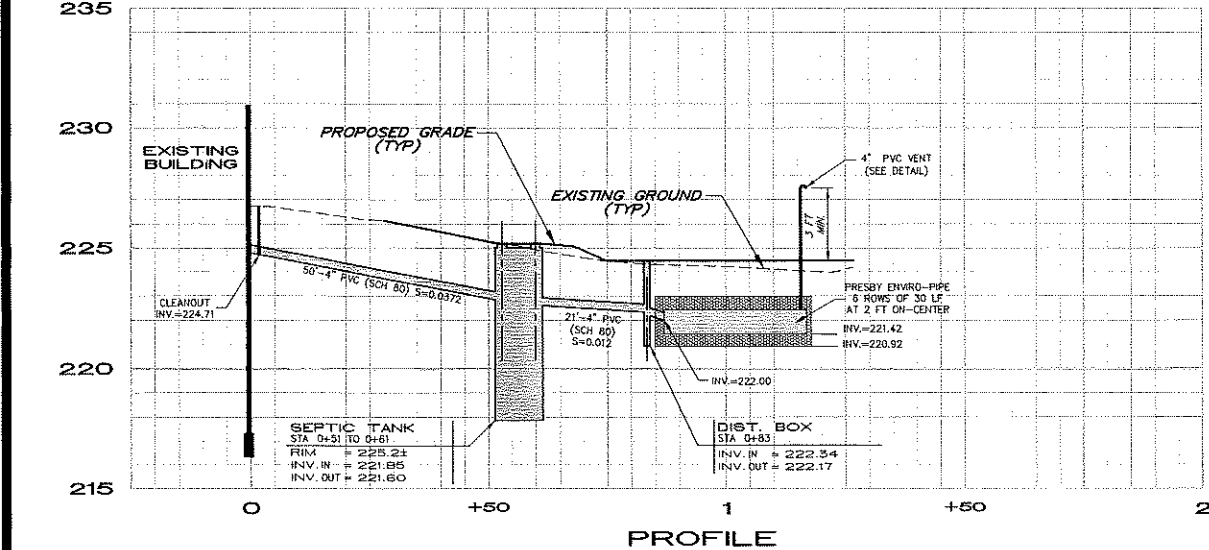
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE DATE: _____
SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



PLAN VIEW
SCALE: 1" = 20'



PROFILE

LEGEND

- EXISTING GROUND CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED GRADE
- PROPOSED SPOT GRADE
- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLE
- STORM DRAIN & HEADWALL
- SANITARY SEWER & MANHOLES
- WATER MAIN, HYDRANT & GATE VALVE
- WATER SERVICE & CURB STOP
- GAS LINE & GATE VALVE
- TREE LINE
- TEMPORARY BENCHMARK
- BUILDING SETBACK LINE
- WETLAND FLAGGING LIMIT
- WETLAND BUFFER LINE
- CHAINLINK FENCE
- CURBING
- TEST PIT LOCATION & IDENTIFIER
- ADDRESS / UNIT NUMBER

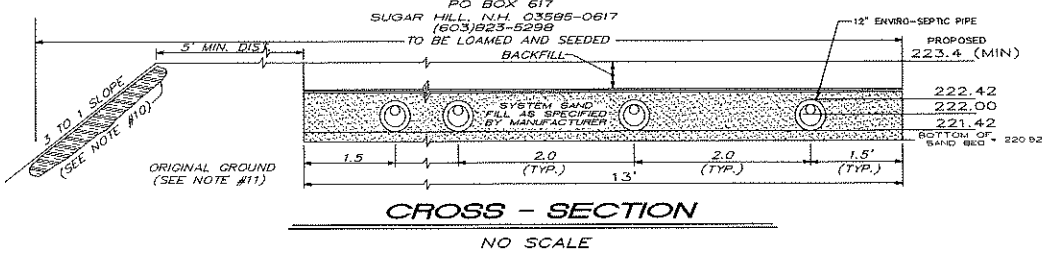
SEPTIC SYSTEM NOTES:

1. PERCOLATION RATE 6 MINUTES PER INCH. DATE: JULY 7, 2017.
2. BOTTOM ELEVATION OF PERCOLATION TEST HOLE - SEE TEST PIT DATA.
3. U.S.D.A. SOIL CONSERVATION SERVICE CLASSIFICATION - CHATFIELD-HOLLIS COMPLEX (CpB).
4. ELEVATION OF SEASONAL HIGH WATER MARK (MOITLING LINE) > 72'
5. GROUND WATER ENCOUNTERED AT ELEVATION - NONE OBSERVED.
6. LEDGE ENCOUNTERED AT ELEVATION - NONE OBSERVED
7. ESTIMATED SEWAGE LOAD = 165 GPD (DESIGN FLOW = 300 GPD).
8. SEPTIC TANK AND DISTRIBUTION BOX TO BE PRECAST CONCRETE AND TO BE SUPPLIED BY PHOENIX PRECAST PRODUCTS, CONCORD, NH (800) 639-2199. www.phoenixprecast.com OR APPROVED EQUAL.
9. THIS SEPTIC SYSTEM HAS BEEN DESIGNED TO ACCOMMODATE SETBACKS FOR FOUNDATION DRAINS. THE NEED FOR FOUNDATION DRAIN/SUMP PUMPS TO BE DETERMINED BY THE BUILDING CONTRACTOR.
10. ALL TREES, BUSHES, BOULDERS, TOPSOIL AND DEBRIS MUST BE REMOVED PRIOR TO PLACING ACCEPTABLE FILL THROUGHOUT THE LEACH FIELD AREA. CLEAN SEPTIC SAND SHALL BE A MEDIUM TO COARSE SAND (0.25 TO 2.0 MM) (< 5% PASSING THE 200 SIEVE).
11. BED BOTTOM TO BE SET AT ELEV.: 221.42 (X) NO DEEPER THAN 36" BELOW ORIGINAL GROUND AT THE HIGH SIDE OF FIELD.
12. THIS SYSTEM MUST BE INSTALLED IN STRICT ACCORDANCE WITH THE APPROVED PLAN. ANY CHANGES MUST BE APPROVED BEFORE ANY CONSTRUCTION IS STARTED.
13. ANY DISCREPANCIES IN THE APPROVED PLANS AND THE ACTUAL SITE CONDITIONS MUST BE REPORTED BY THE INSTALLER TO THIS OFFICE PRIOR TO CONSTRUCTION
14. NHDES SUBDIVISION APPROVAL - SA20000263. NHDES CONSTRUCTION APPROVAL - ISSUED _____
15. DESIGNER: SCOTT MURPHY, PERMIT No. 1374.
16. FILL SHALL BE PLACED IN LAYERS OF NOT MORE THAN 10" IN THICKNESS AND EACH LAYER SHALL BE COMPACTED AS IT IS PLACED.
17. AFTER THE REMOVAL OF THE UPPER SOIL HORIZON DURING THE INITIAL CONSTRUCTION PHASE, THE SOIL SURFACE SHALL THEN BE RAKED, IF NECESSARY, TO REMOVE ANY SMEARING OF THE SOIL SURFACE.
18. THE CONTRACTOR SHALL PROVIDE READY ACCESS TO THE SEPTIC TANK FOR PUMPING AND ANY OTHER MAINTENANCE.
19. CLEAN SEPTIC SAND SHALL MEET THE REQUIREMENTS OF NHDES ENV-WS TABLE 1021.03
20. SECTIONS OF PIPE FROM DISTRIBUTION BOX TO THE LATERALS IN LEACH BED SHALL BE SOLID.
21. ANY FUTURE REPLACEMENT SYSTEM MAY HAVE TO BE CONSTRUCTED IN THE SAME AREA AS THE ORIGINAL SYSTEM.
22. NO KNOWN SURFACE WATER OR VERY POORLY DRAINED SOILS WITHIN 75' OF THE PROPOSED SEWAGE DISPOSAL SYSTEM UNLESS OTHERWISE SHOWN.
23. NO KNOWN POORLY DRAINED SOILS WITHIN 50' OF THE PROPOSED SEWAGE DISPOSAL SYSTEM UNLESS OTHERWISE SHOWN.
24. TEST HOLE AND PERCOLATION TEST LOCATIONS ARE FIELD LOCATED.
25. THE CONTRACTOR SHALL CONTACT HAYNER/SWANSON, INC. TO SET A BENCHMARK AND LAYOUT LEACHFIELD. BENCHMARK USED TO CONSTRUCT FIELD WILL BE ADDED TO THE PLAN PRIOR TO NHDES INSPECTION.
26. THIS SYSTEM IS DESIGNED ONLY TO ACCOMMODATE SANITARY SEWAGE ASSOCIATED WITH NORMAL DOMESTIC USAGE AND IS NOT DESIGNED FOR ROOF OR FOUNDATION DRAINS, GARBAGE GRINDERS, SAUNAS, HOT TUBS, JACUZZIS OR ANY OTHER USAGE.
27. TANK JOINTS AND PIPES LEADING TO AND EXITING FROM SEPTIC TANKS, DISTRIBUTION BOXES, DWELLING AND PUMP CHAMBER (WHEN APPLICABLE) SHALL BE SEALED WITH NON-SHRINK MORTAR OR APPROVED EQUAL (NOT ROOFING TAR).
28. THE SEPTIC TANKS SHALL BE INSPECTED FOR ACCUMULATION OF SLUDGE AND SURFACE SCUM AT LEAST ONCE EVERY YEAR.
29. TO THE BEST OF MY KNOWLEDGE, THIS PLAN CONFORMS TO ALL APPLICABLE LOCAL SEPTIC SYSTEM ORDINANCES AND REGULATIONS.
30. THE CONTRACTOR SHALL LOAM (6 INCHES) AND SEED ALL DISTURBED AREAS.
31. THE CONTRACTOR SHALL MAINTAIN DEWATERED CONDITIONS AT SEPTIC TANK EXCAVATIONS UNTIL BACKFILLED TO FINISH GRADE OR FILL TANKS WITH WATER.

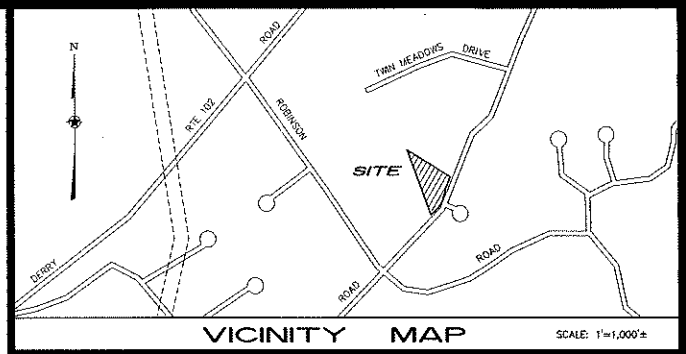
TEST PIT LOGS:

TP #	DEPTH	SOIL TYPE	REMARKS
TP 1 (1/17/2017)	0-15"	10YR3/3	Dark brown fine sandy loam
	15-28"	10YR4/4	Dark yellowish brown gravelly sandy loam, single grained, loose to friable
	28-60"	2.5Y6/6	Olive yellow coarse sandy gravel, single grained, loose
ESHW: 72"		Water:	n/a
		Ledge:	n/a
		Roots:	n/a
		Perc Rate:	6 mpl @ 35"
TP 2 (1/17/2017)	0-15"	10YR3/3	Dark brown fine sandy loam
	15-28"	10YR4/4	Dark yellowish brown gravelly sandy loam, single grained, loose to friable
	28-90"	2.5Y6/6	Olive yellow coarse sandy gravel, single grained, loose
ESHW: 72"		Water:	n/a
		Ledge:	n/a
		Roots:	n/a
		Perc Rate:	n/a @

"ENVIRO-SEPTIC LEACHING SYSTEM"



CROSS - SECTION
NO SCALE



SEPTIC SYSTEM DESIGN CRITERIA

CRITERIA	FLOW
15 EMPLOYEES (OFFICE)	195 GPD
(MIN. DESIGN FLOW = 300 GPD)	

DESIGN SEWAGE DISPOSAL SYSTEM FOR 1,800 GPD

CRITERIA	REQUIREMENTS	PROVIDED
DOWN GRADIENT	10 FT	
SIDE GRADIENT	10 FT	
REAR GRADIENT	10 FT	
PERCOLATION RATE	6 MIN/INCH	
CRITERIA	= 50 LF/100 GPD	
REQUIRED AREA		= 180 LF
PROVIDED:		
	50 LF/100 GAL x 300 GPD	= 150 LF
	6 ROWS OF 30 LF @ 2.0 FT ON-CENTER	= 180 LF
REQUIRED:		
	1,250 GALLONS	
PROVIDED:		
	USE PHOENIX PRECAST PRODUCTS, ST-1250H20 (1,250 GAL)	
	H-20 LOADING, PRECAST CONCRETE SEPTIC TANK OR APPROVED EQUAL. (SEE DETAIL)	
REQUIRED:		
	1 INLET PIPE / 6 OUTLET PIPES	
PROVIDED:		
	USE PHOENIX PRECAST PRODUCTS, DB-6 PRECAST CONCRETE DISTRIBUTION BOX, MODIFIED AS SHOWN, OR APPROVED EQUAL. (SEE DETAIL)	

NO.	DATE	REVISION	BY
1	10/10/17	ADDRESS PEER REVIEW COMMENTS	TEZ

SEPTIC SYSTEM PLAN & PROFILE
(MAP 105, LOT 32)
PROPOSED CONTRACTOR'S FACILITY
140 OLD DERRY ROAD
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NIREL, LLC
140 OLD DERRY ROAD HUDSON, NEW HAMPSHIRE 03051 (866) 284-6400

SCALE: HORIZ. 1" = 20
VERT. 1" = 4

21 AUGUST 2017

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors

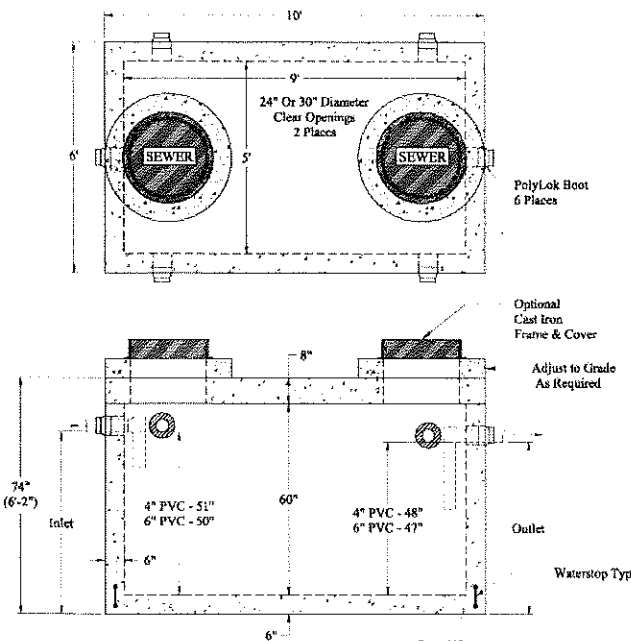
Three Congress Street Nashua, New Hampshire 03062-3301
Tel (603) 883-2057 Fax (603) 883-5057
www.haynerswanson.com

FIELD BOOK: 1219	DRAWING NAME: 5457-SITE-SEP	5467	7 OF 8
DRAWING LOCATION: G:\5467\DWG\SITE		File Number	Sheet

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE DATE: _____
SIGNATURE DATE: _____

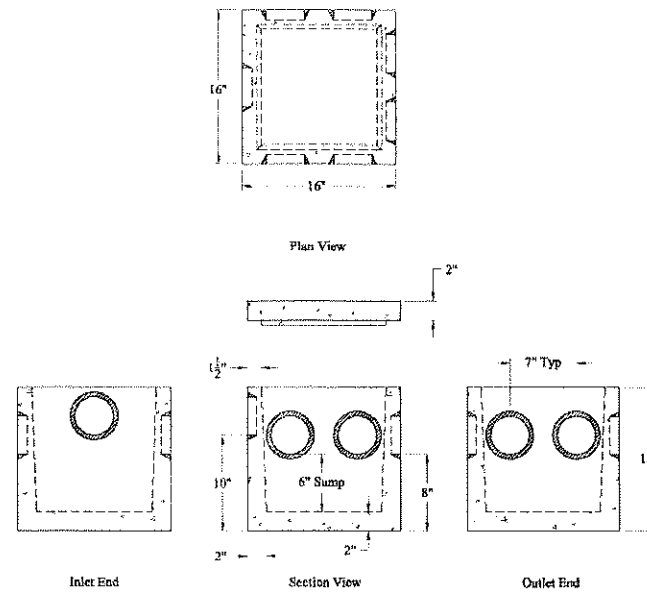
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



Liquid Level: 5' x 9" = 337 Gal/VF
 4" PVC = 1,348 Gal Inverts: Inlet-52" Outlet-54"
 6" PVC = 1,321 Gal Inverts: Inlet-56" Outlet-53"

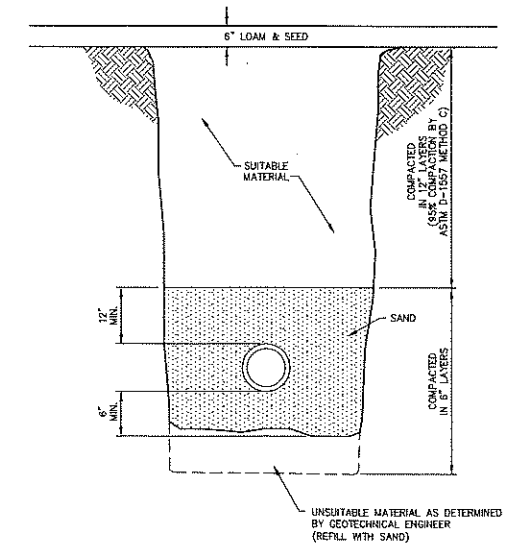
- General Notes:**
1. Steel Reinforcement Conforms to Latest ASTM Specifications: ASTM A613 Grade 60 Rebar
 2. Concrete: $f_c = 5,000$ psi @ 28 Days Minimum
 3. Flexible Sleeves Provided On All Pipe Connections
 4. Butyl Rubber Joint Sealant Provided
 5. External PVC Baffles Available Upon Request
 - Inlet: Shall Penetrate at Least 9" Below the Liquid Level, But Not Deeper Than the Outlet Baffle
 - Outlet: Shall Extend Below the Surface of the Liquid Equal to 40% of the Liquid Depth (19")
 6. Design Loading: AASHTO H20-44, ASTM C-890-06
 7. Design Specified As: ASTM C-1227-08, ASTM C-913-08
 8. Other Inlet/Outlet Pipe Sizes Available

1,250 GALLON H-20 SEPTIC TANK
 NOT TO SCALE

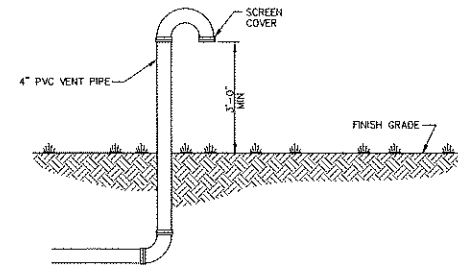


- 1.) Concrete: $f_c = 4,000$ PSI @ 28 Days Minimum
- 2.) Plastic Pipe Seals On All Openings
- 3.) Est. Weights:
 Box: 142 Lbs
 Cover: 52 Lbs
 Total: 194 Lbs

6 OUTLET "D" BOX WITH SUMP
 NOT TO SCALE



TYPICAL SEWER PIPE TRENCH SECTION
 NOT TO SCALE



VENT DETAIL
 NOT TO SCALE

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 _____ SIGNATURE DATE _____
 _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

No.	DATE	REVISION	BY
1	10/10/17	ADDRESS PEER REVIEW COMMENTS	TEZ

DETAILS - SEPTIC SYSTEM
 (MAP 105, LOT 32)
PROPOSED CONTRACTOR'S FACILITY
 140 OLD DERRY ROAD
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NIREL, LLC
 140 OLD DERRY ROAD HUDSON, NEW HAMPSHIRE 03051 (866) 284-6400

SCALE: HORIZ. 1" = 20
 VERT. 1" = 4

21 AUGUST 2017

HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 Three Congress Street Nashua, New Hampshire 03062-3301
 Tel (603) 883-2057 Fax (603) 883-5057
 www.haynerswanson.com

FIELD BOOK: 1219	DRAWING NAME: 5467-SITE-SEP	5467	8 OF 8
DRAWING LOCATION: G:\5467\DWG\SITE		File Number	Sheet

4 Bridle Bridge Road (Flying Crusher) Site Plan Review

STAFF REPORT

October 25, 2017

SITE: 4 Bridle Bridge Road - Map 145/Lot 6 - SP# 13-17

ZONING: G-1

PURPOSE OF PLAN: to depict the improvements related to the re-development of the site with a 9600 sf building, parking/circulation redesign, and stormwater management provisions. Application Acceptance and Public Hearing.

PLAN UNDER REVIEW: Non Residential Site Plan, Flying Crusher, LLC, Map 145/Lot 6, 4 Bridle Bridge Rd, Hudson, NH, prepared by Keach-Nordstrom Associates, 10 Commerce Park N, Bedford NH, dated 20 July 2017 and consisting of Sheets 1-15.

ATTACHMENTS:

- 1) Site Plan Application date stamped Sept. 21, 2017 with waiver requests, project narrative, site photos, and building plans and elevations– Attachment “A”.
- 2) Zoning Determinations by Bruce Buttrick, Zoning Administrator, dated 31 Aug. 2017 (#17-74) and 22 Sept. 2017 (#17-88) – Attachment “B”.
- 3) CLD/Fuss & O’Neill review comments memo dated 17 Sept. 2017 – Attachment “C”.

PROJECT DESCRIPTION:

The subject property is situated in the G1 Zoning District and is currently developed with a 4300 sq. ft. warehouse, two existing trailers, gravel and paved surfaces, and material stockpiles. The majority of the site has been previously disturbed with the exception of some woodlands adjacent to Beaver Brook. The proposal is to redevelop the site with construction of a 9600 sq. ft. machine shop, parking, access and circulation improvements, stormwater management, and construction of a concrete pad.

APPLICATION TRACKING:

- 21 SEPT 2017 - Application submitted.
- 25 OCT 2017 – Public hearing scheduled.

REQUESTED WAIVERS:

- 1) HR 275 – 8. C.(2) – Required parking
- 2) HR 276-11.1.B.(12)(a) – Requirement for 200 ft. setback between industrial development and an abutting residential property line

OUTSTANDING ISSUES:

1. The applicant's Project Narrative states that there are two existing driveways off Bridle Bridge Rd, but CLD's review comments indicate there are four access points. Two of the access points seem to be associated with the abutting property to the east. The applicant should clarify whether there is an easement across this property for the adjacent residential use. The CLD review points out that the proposed plan is inconsistent with HR 193-10.G, which only allows one driveway access point per parcel. This would seem to warrant another waiver request. In deciding whether to grant that waiver, the Board could consider the safety of the westerly entrance and its proximity to the intersection of Sullivan Road and Bridle Bridge Road and a curve coming off Sullivan Road. CLD notes that no sight distances from any of the driveways were provided by the applicant. Although a full traffic study is not appropriate, analysis of the safety of the existing drives per AASHTO safe stopping sight distances would be appropriate.
2. A primary consideration for the Board to consider is how much the current condition of the site and the opportunity for redevelopment should be balanced against how a new proposal for development would be treated under the site plan review standards. As the applicant's submissions and CLD's review comments point out, the current application contemplates relaxing the site standards in recognition of the existing conditions that are being remediated.

RECOMMENDATION: Staff recommends application acceptance and conduct of the public hearing and for possible final action to be considered in accordance with the below DRAFT MOTIONS. That is, depending on whether or not the Board deems that more time is needed to come to a conclusion on this application.

MOTION TO ACCEPT THE APPLICATION:

I move to accept the Site Plan application for 4 Bridle Bridge Rd, Map 145/Lot 6.

Motion by: _____ Second: _____ Carried/Failed: _____

MOTION TO DEFER CONSIDERATION OF THE APPLICATION:

I move to defer further review of the 4 Bridle Bridge Road Site Plan application, date specific, to the 8 NOV 17 meeting.

Motion by: _____ Second: _____ Carried/Failed: _____

WAIVER MOTIONS:

- 1) HR 275 – 8. C.7. – 1) HR 275 – 8. C.(2) – Required parking

I move to grant the requested waiver HR 275 – 8. C.(2) – Required parking based on the testimony of the Applicant's representative here this evening, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: _____ Second: _____ Carried/Failed: _____

- 2) HR 276-11.1.B.(12)(a) – Requirement for 200 ft. setback between industrial development and an abutting residential property line

I move to grant the requested waiver HR 276-11.1.B.(12)(a) – Requirement for 200 ft. setback between industrial development and an abutting residential property line based on the testimony of the Applicant’s representative here this evening, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: _____ Second: _____ Carried/Failed: _____

MOTION TO APPROVE:

I move to approve the Site Plan entitled: Non Residential Site Plan, Flying Crusher, LLC, Map 145/Lot 6, 4 Bridle Bridge Rd, Hudson, NH, prepared by Keach-Nordstrom Associates, 10 Commerce Park N, Bedford NH, dated 20 July 2017 and consisting of Sheets 1-15:

1. All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record and all agreed upon easement deeds, which shall be favorably reviewed by Town Counsel prior to Planning Board endorsement of the Plan.
2. All improvements shown on the Site Plan-of-Record, including Notes 1- 33, shall be completed in their entirety and at the expense of the Applicant or his assigns.
3. Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms to the Planning Board approved site plan.
4. Maintenance of the onsite drainage system shall be constructed and maintained in compliance with NHDES requirements for such systems.
5. A cost allocation procedure (CAP) amount of \$12,000.00 shall be paid prior to the issuance of a Certificate of Occupancy, and this fee shall be reflected as new Note 34 on the Site Plan.
6. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No construction activities shall be allowed on Sundays.
7. Hours of refuse removal shall be exclusive to the hours between 7:00 A.M. and 9:00 P.M. Mon – Sat. only and prohibited on Sunday.
8. This plan shall be subject to final engineering review and approval by CLD and Town staff.

Motion by: _____ Second: _____ Carried/Failed: _____



PRELIMINARY & FINAL SITE PLAN APPLICATION FOR PLAN REVIEW (Also for Wireless) TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: 9/25/2017 Tax Map # 145 Lot # 6

Name of Project: Non-Residential Site Plan Flying Crusher, LLC

Zoning District: G-1 General SP# SP#13-17
(For Town Use) (For Town Use)

ZBA Action: N/A

PROPERTY OWNER:

DEVELOPER:

Name: Don Belisle - Flying Crusher, LLC

Same as Owner

Address: 22 Manchester Road #7

Address: Derry, NH 03038

Telephone # 603-437-3000

Fax # _____

Email: don@recoretrading.com

PROJECT ENGINEER

SURVEYOR

Name: Brenton Cole, PE - KNA

Michael Dahlberg, LLS - KNA

Address: 10 Commerce Park No., Suite 3

10 Commerce Park No., Suite 3

Address: Bedford, NH 03110

Bedford, NH 03110

Telephone # 603-627-2881

603-627-2881

Fax # 603-627-2915

603-627-2915

Email: bcole@keachnordstrom.com

mdahlberg@keachnordstrom.com

PURPOSE OF PLAN:

The purpose of this plan is to depict the improvements related to the re-development of the site with a 9,600 sf building, parking/circulation redesign, and stormwater management provisions.

For Town Use

Plan Routing Date: _____ Sub/Site Date: _____

_____ I have no comments _____ I have comments (attach to form)

_____ Title: _____ Date: _____

(Initials)

DEPT:

_____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning

_____ Consultant _____ Highway Department

Fees Paid: _____

SITE DATA SHEET

PLAN NAME: Non-Residential Site Plan Flying Crusher, LLC

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 145 LOT 6

DATE: 9/25/17

Location by Street 4 Bridle Bridge Road

Zoning: General One (G-1)

Proposed Land Use: Industrial

Existing Use: Industrial

Surrounding Land Use(s): Commercial, Residential, Vacant Land

Number of Lots Occupied: One

Existing Area Covered by Building: 5,230 SF

Existing Buildings to be removed: None

Proposed Area Covered by Building: 14,830 SF

Open Space Proposed: 58.2%

Open Space Required: 35%

Total Area: S.F.: 209,445 Acres: 4.808

Area in Wetland: 24,584 SF Area Steep Slopes: 30,331 SF

Required Lot Size: 87,120 SF

Existing Frontage: 439.31 FT (Bridle Bridge) & 530.42 FT (Central Street)

Required Frontage: 200 FT

Building Setbacks:	<u>Required*</u>	<u>Proposed</u>
Front:	<u>30 FT (local) 50 FT (collector)</u>	<u>62 FT</u>
Side:	<u>15 FT</u>	<u>102.5 FT</u>
Rear:	<u>15 FT</u>	<u>N/A</u>

**SITE PLAN DATA SHEET
(Continued)**

Flood Zone Reference: FIRM Map 33011C0536D, Panel #536D, 9/25/09

Width of Driveways: 24 FT

Number of Curb Cuts: Two

Proposed Parking Spaces: 18 Spaces + 8 "Future" Spaces

Required Parking Spaces: 26 Spaces

Basis of Required Parking (Use): Industrial = 1 Space/600 SF

Dates/Case #/Description/Stipulations
of ZBA, Conservation Commission,
NH Wetlands Board Actions: N/A
(Attach stipulations on separate sheet)

Hudson Town Code

<u>Waivers Requested:</u>	<u>Reference</u>	<u>Regulation Description</u>
	1. <u>276.11.1(B)(12)(a)</u>	<u>Residential use/district buffer</u>
	2. <u>275-8C(2)</u>	<u># of Parking Spaces</u>
	3. _____	_____
	4. _____	_____
	5. _____	_____
	6. _____	_____
	7. _____	_____
	8. _____	_____

(Left column for Town Use)

Impact Fees:

C.A.P Fee: TBD

Development Agreement
Proposed: Yes

For Town Use

Data Sheet Checked By: _____ Date: _____

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Thirty (30) days prior to Planning Board Meeting, a complete site plan to include all supporting materials/documents must be submitted in final form. The site plan shall comply with the following specifications/requirements:

Applicant Initials		Staff Initials
<u>BC</u>	a) Submission of nine (9) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M., Tuesday the week prior to the scheduled public hearing/conceptual review date.	_____
<u>BC</u>	b) A Site Plan narrative, describing the purpose, locations, long-range plans, impacts on traffic, schools, and utilities	_____
<u>BC</u>	c) Plan scale at not less the one inch equals fifty feet (1" = 50')	_____
<u>BC</u>	d) Locus plan with 1,000' minimum radius of site to surrounding area	_____
<u>BC</u>	e) Plan date by day/month/year	_____
<u>BC</u>	f) Revision block inscribed on the plan	_____
<u>BC</u>	g) Planning Board approval block inscribed on the plan	_____
<u>BC</u>	h) Title of project inscribed on the plan	_____
<u>BC</u>	i) Names and addresses of property owners and their signatures inscribed on the plan	_____
<u>BC</u>	j) North point inscribed on the plan	_____
<u>BC</u>	k) Property lines: exact locations and dimensions	_____
<u>BC</u>	l) Square feet and acreage of site	_____
<u>BC</u>	m) Square feet of each building (existing and proposed)	_____
<u>BC</u>	n) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan.	_____

Applicant
Initials

Staff
Initials

- | | | | |
|------------|-----|--|-------|
| <u>BC</u> | o) | Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve areas, floodways/floodplains, driveways, travel areas, parking areas and natural features within 200 feet of the tract | _____ |
| <u>BC</u> | p) | Locations of existing and proposed permanent monuments and bench marks within 200 feet of the development tract | _____ |
| <u>N/A</u> | q) | Pertinent highway projects | _____ |
| <u>BC</u> | r) | Assessor's Map and Lot number(s) | _____ |
| <u>BC</u> | s) | Waiver application form shall be submitted with the site plan application, note on plan listing waivers requested/granted; and all waivers granted to the site plan regulations shall be listed on the final plan; waivers to checklist shall be reduced to writing and be signed by the Planning Board Chairman and Planning Board Secretary and recorded with the plan | _____ |
| <u>BC</u> | t) | Delineate zoning district on the plan | _____ |
| <u>BC</u> | u) | Storm water drainage plan | _____ |
| <u>BC</u> | v) | Topographical elevations at 2-foot intervals contours: existing and proposed | _____ |
| <u>BC</u> | w) | Utilities: existing and proposed | _____ |
| <u>BC</u> | x) | Parking: existing and proposed | _____ |
| <u>BC</u> | y) | Parking space: length and width | _____ |
| <u>BC</u> | z) | Aisle width/maneuvering space | _____ |
| <u>BC</u> | aa) | Landscaping: existing and proposed | _____ |
| <u>BC</u> | ab) | Building and wetland setback lines | _____ |
| <u>BC</u> | ac) | Curb cuts | _____ |
| <u>BC</u> | ad) | Rights of way: existing and proposed | _____ |
| <u>BC</u> | ae) | Sidewalks: existing and proposed | _____ |
| <u>BC</u> | af) | Exterior lighting plan | _____ |
| <u>BC</u> | ag) | Sign locations: size and design | _____ |
| <u>N/A</u> | ah) | Water mains and sewerage lines | _____ |
| <u>BC</u> | ai) | Location of dumpsters on concrete pads | _____ |
| <u>BC</u> | aj) | All notes from plats | _____ |

Applicant Initials		Staff Initials
<u>W</u>	ak) Buffer as required by site plan regulations	_____
<u>BC</u>	al) Green and open space requirements met with both types of spaces inscribed on the plan	_____
<u>BC</u>	am) Soil types and boundaries, Note: If site contains marginal or questionable soils, a High Intensity Soil, Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire Certified Soil Scientist, who shall affix his/her stamp and signature shall be inscribed on the plan.	_____
<u>BC</u>	an) Wetlands (and poorly-drained and very poorly-drained soils, also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire certified wetland or soil scientist, who shall affix his/her stamp and signature to the respective plan.	_____
<u>BC</u>	ao) "Valid for one year after approval" statement inscribed on the plan.	_____
<u>BC</u>	ap) Loading bays/docks	_____
<u>BC</u>	aq) State of New Hampshire engineer's stamp, signature, surveyor's stamp, and signature	_____
<u>BC</u>	ar) Error of closure (1 in 10,000 or better)	_____
<u>BC</u>	as) Drafting errors/omissions	_____
<u>BC</u>	at) Developer names, addresses, telephone numbers and signatures	_____
<u>BC</u>	au) Photographs, electronic/digital display or video of site and area	_____
<u>BC</u>	av) Attach one (1) copy of the building elevations	_____
<u>N/A</u>	aw) Fiscal impact study	_____
<u>N/A</u>	ax) Traffic study	_____
<u>N/A</u>	ay) Noise study	_____

Applicant
Initials

Staff
Initials

- None az) Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents _____
- BC ba) Copy of applicable Town, State, Federal approval/permits to include but not limited to the following: _____
- industrial discharge application
 - sewer application
 - flood plain permit
 - wetlands special exception
 - variance
 - erosion control permit (149:8a)
 - septic construction approval
 - dredge and fill permit
 - curb cut permit
 - shore-land protection certification in accordance with RSA483-B
 - if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.
- BC bb) Presentation plan (colored, with color-coded bar chart) _____
- BC bc) Fees paid to clerk _____
- BC bd) Five (5) 22" x 34" copies of the plan shall be brought to the Planning Board meeting and distributed to the Planning Board members at the meeting. Note: for all subsequent meetings involving revised plans, five 22" x 34" copies of said plan shall be brought to the meeting for distribution to the board members. _____

*Under the purview of the Planning Board, any and all items may be waived.

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Site Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Site Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: 

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: 

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

APPLICATION IS DUE AT NOON 21 days prior to the Planning Board Meeting. (The date the Agenda is CLOSED.) Any applications received after that time will be deferred until the next available meeting.

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

FOOTNOTES:

1. In the event of the denial of a plan, the recording fees collected will not be reimbursed, but will instead be used as an additional fee to help defray administrative costs associated with a denial.
2. The "Review Fees" are fees estimated necessary to offset costs incurred to review and/or compile plans, data, or other information relative to the proposal.
3. The "Amount Due" does not include fees for studies or reviews as authorized in Section G-2 of this regulation.
4. Fees must be paid in full prior to the commencement of any formal review by the Town of Hudson.

STATUS:

DATE:

_____ 1.	Application incomplete	_____
_____ 2.	Application complete. Include any applicable requested waivers, fees paid, routing sheet returned	_____
_____ 3.	Application formally accepted or denied by Planning Board (90-day review clock by RSA 674:43 to start upon acceptance granted)	_____
_____ 4.	Final approval granted or denied	_____
_____ 5.	Comments:	

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

SCHEDULE OF FEES

A. Review Fees

<u>1. Site Plan Use</u>	<u>Project Size/Fee</u>	
Multi-Family	\$105/unit for 3-50 units \$78.50/unit for each additional unit over 50	\$ <u> -</u>
Commercial/Semi Public/Civic or Recreational	\$157/1,000 sq. ft. for first 100,000 sq.ft. (bldg area): \$78.50/1,000 sq.ft. thereafter.	\$ <u> -</u>
Industrial 9,600-SF	\$150/1,000 sq.ft for first 100,000 sq.ft. (bldg. area);\$78.50/1,000 sq.ft thereafter	\$ <u> 1,440.00</u>
No Buildings	\$30.00 per 1,000 sq.ft. of proposed developed area	\$ <u> -</u>

Plus Consultant Review Fee:

Total <u> 4.808 </u> acres @ \$600.00 per acre or \$1,250.00, whichever is greater	\$ <u> 2,884.80</u>
---	--------------------------

This is an estimate for cost of consultant review. The fee is expected to cover the amount. A complex project may require additional funds. A simple project may result in a refund.

Legal Fee:

The applicant shall be charged attorney costs billed to the Town for the Town's attorney review of any application plan set documents.

2. Conceptual Review Only \$100.00	\$ <u> -</u>
3. ZBA Input Only \$100.00	\$ <u> -</u>

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

SCHEDULE OF FEES
(Continued)

B. Postage

Current "certified mail" postage rate per abutter to proposed Site Plan and current first class postage rate per property Owner within 200 feet of proposed site plan.

<u>11</u> Abutters @\$6.74 (Certified Mail)	\$	<u>74.14</u>
<u>2</u> Property owners within 200 feet @.49 (First class)	\$	<u>0.98</u>

C. On Site Signs \$ 15.00

D. Advertising (PUBLIC NOTICE) For all site plans \$ 40.00

E. Tax Map Updating Fee (FLAT FEE) \$ 275.00

TOTAL \$ 4,729.92

AMOUNT DUE	\$ <u>4729.92</u>	DATE RECEIVED	<u>9/21/17</u>
AMOUNT RECEIVED	\$ <u>4729.92</u>	RECEIPT NO.	<u>Agency Rvw Fee - 476,302 Site Plan App. Fee - 476,313</u>
		RECEIVED BY:	<u>TSG</u>

F. Recording Fees

The applicant shall pay the costs of recording the final site plan layout prior to final site plan approval, in accordance with fees established by the County.

Recording of Plan	@\$24.00/sheet	\$ _____
	+\$2.00/surcharge plan	\$ _____
Land & Community Heritage Investment Program (LCHIP) fee	+25.00	\$ _____
Easements/Agreements (if applicable)	@\$10.00/first sheet	\$ _____
	@\$ 4.00/each sheet	\$ _____
Thereafter	+\$2.00/surcharge/doc.	\$ _____
	+First Class return postage rate	\$ _____
TOTAL		\$ _____

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

**SCHEDULE OF FEES
(Continued)**

PLEASE NOTE: RECORDING FEES SHALL BE COMPUTED WHEN PLANS ARE FINALIZED FOR RECORDING. RECORDING FEES MUST BE PAID BY THE APPLICANT PRIOR TO RECORDING.

THE APPLICANT SHALL BE RESPONSIBLE FOR ALL FEES INCURRED BY THE TOWN FOR PROCESSING AND REVIEW OF THE APPLICANT'S APPLICATION, PLAN AND RELATED MATERIALS. ALL SUCH FEES MUST BE PAID PRIOR TO RECORDING.

E. COST ALLOCATION PROCEDURE AMOUNT CONTRIBUTION AND OTHER IMPACT FEE PAYMENTS:

TO BE DETERMINED BY VOTE OF THE PLANNING BOARD AND SHALL BE PAID BY THE APPLICANT AT THE TIME OF SUBMITTAL OF CERTIFICATE OF OCCUPANCY PERMIT REQUEST.

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: FLYING CRUSHER, LLC

Street Address: 4 BRIDLE BRIDGE ROAD, HUDSON, NH

I DON BELISLE hereby request that the Planning Board waive the requirements of item 276.11.1B(12)(a) of the Subdivision/Site Plan Checklist in reference to a plan presented by KEACH-NORDSTROM ASSOC. (name of surveyor and engineer) dated JULY 20, 2017 for property tax map(s) 145 and lot(s) 6 in the Town of Hudson, NH.

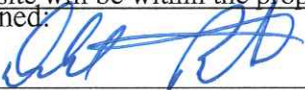
As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

Lot 6 is bounded by residential properties on three sides and has historically been used for industrial purposes.
A 200-ft buffer from each of the residential properties would make reasonable expansion impossible, creating an unnecessary hardship since this site lies within the G-1 zoning district where most industrial uses are permitted.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

The spirit and intent of this regulation is to provide adequate separation between dissimilar uses in order to prevent future conflicts due to excessive noise and other nuisances. In this particular instance, the property was previously developed and historically used for sorting recyclables from demo debris. The Applicant is proposing improvements no closer to residential property than exist today, and is further proposing landscaping that will help screen nearby residences. The new use on site will be within the proposed building, so no additional noise is expected to result.

Signed: 

Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: FLYING CRUSHER, LLC

Street Address: 4 BRIDLE BRIDGE ROAD, HUDSON, NH

I DON BELISLE hereby request that the Planning Board waive the requirements of item 275-8C(2) of the Subdivision/Site Plan Checklist in reference to a plan presented by KEACH-NORDSTROM ASSOC. (name of surveyor and engineer) dated JULY 20, 2017 for property tax map(s) 145 and lot(s) 6 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The industrial use requires 25 parking spaces in accordance with the regulations. A total of 26 spaces are shown on the site plan, however that number far exceeds to Applicant's present and future needs. The

Applicant proposes to construct 18 spaces now, leaving space available for 8 "future" spaces if the need for more parking presents itself. Building more parking than is necessary presents an unnecessary financial hardship on the applicant, who is already investing a large sum of money into his growing Hudson business.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

The spirit and intent of the regulation is to provide adequate off street parking for the proposed use. The

Applicant has few employees and does not anticipate many visitors to the site therefore 18 parking spaces are more than enough to accommodate the Recore Trading. The Applicant is leaving space for 8

future parking spaces (totaling 26 spaces), which exceeds to total number of spaces required for the site (25), should the need arise in the future.

Signed: 

Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

Project Narrative

Flying Crusher, LLC

4 Bridle Bridge Road
Hudson, New Hampshire

The subject property, referenced on Tax Map 145 as Lot 6, is situated entirely within the General-1 (G-1) Zoning District. The 4.8 acre parcel has frontage on Bridle Bridge Road & NH Route 111 (Central Street), and is bounded by Beaver Brook to the northeast. The lot is currently developed with a 4,300 square foot warehouse, two existing trailers, gravel and paved surfaces, and material stockpiles. The majority of the site has been previously disturbed with the exception of some woodlands adjacent to Beaver Brook. Access to the existing infrastructure is provided via two driveways off Bridle Bridge Road. Historically, the property was used for industrial purposes.

The Applicant bought the abandoned property from the Town of Hudson, to expand his growing business. Recore Trading Company has been in operation since 1989, and is a wholesaler of recyclable metals. They specialize in catalytic converters and precious metal recovery, however they also wholesale buy and sell other automotive scrap like crushed cars, aluminum rims, batteries, etc. There are two key components of the operation that are expected to take place at the new Hudson facility. The first being wholesale shipping and receiving of ferrous "flats" (previously processed/previously crushed vehicles). Flats are delivered to the site after they have been processed at a salvage yard and drained of all fluids. They are unloaded from Recore Trading trucks and reloaded onto outgoing trucks headed for recycling centers. The second component of the operation is catalytic converter and precious metal harvesting. Inside their machine shop, the Applicant will break down whole catalytic converters, and mill the precious metals into a fine powder. The powder will be tested to determine the type and amount of each metal present before selling to customers.

The proposal is to re-develop the site to better suit the Applicant's needs for catalytic converter processing and recycling. The project will include the construction of a 9,600 square foot machine shop, parking, access and circulation improvements, stormwater management provisions, and construction of a concrete pad for handling and temporary storage of recyclables. The applicant received a grant from the NHDES that is paying for the design and construction of the concrete pad. The project will actually result in an overall net decrease in impervious surfaces as much of the site is covered by gravel today. There are no stormwater management systems onsite now, therefore open and closed drainage is proposed as part of the project to collect, store, and treat runoff from existing and proposed impervious surfaces. Two surface sand filters with sediment forebays for pretreatment will promote groundwater recharge and treat stormwater prior to discharge toward Beaver Brook.

Other site improvements consist of landscaping, lighting, and utility connections. The existing building is serviced by a private well and septic system. A separate septic system has been designed to accommodate waste from the proposed building.



Photo #1 – Looking northwest at the existing site conditions (gravel surfaces, stockpiles, jersey barriers, equipment, etc.)



Photo #2 – A closer look at the concrete barriers used to separate recyclables.



Photo #3 – The existing truck scale installed over exiting paved surfaces (to remain)



Photo#4 – The existing single story building and trailers, to remain



Photo #5 – The location of the proposed surface sand filter, stockpiles to be removed

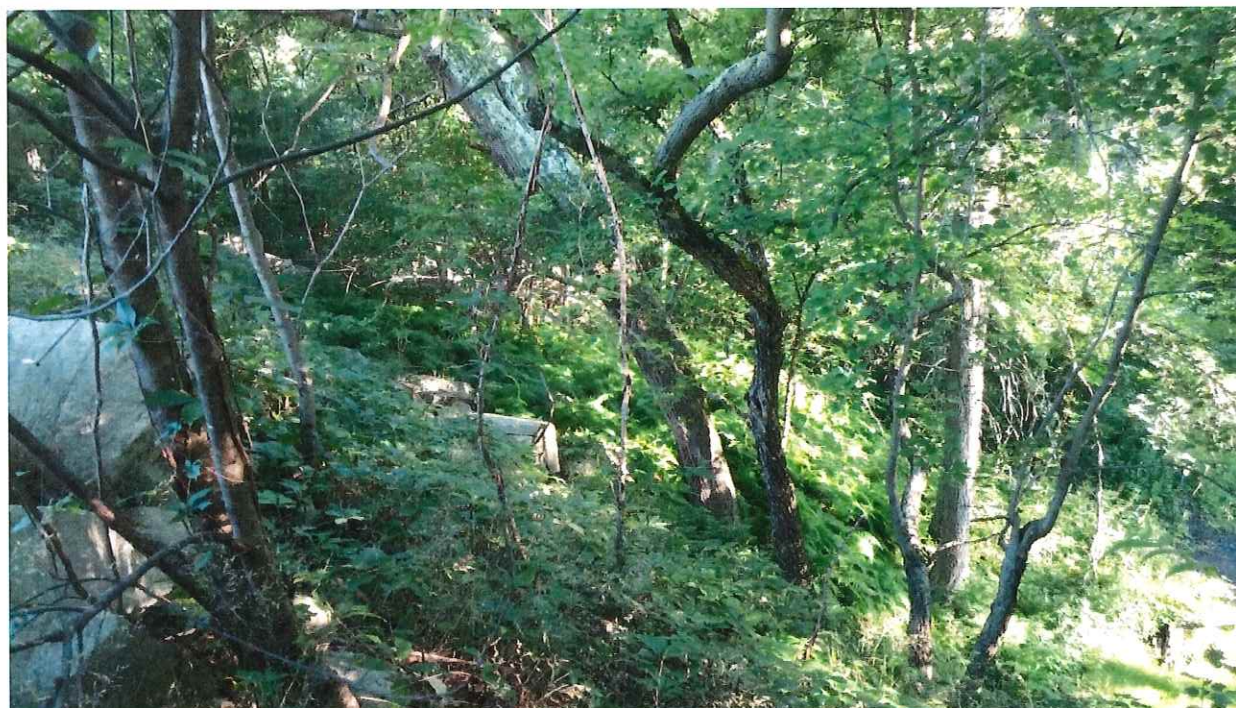


Photo #6 – The existing condition of the woodlands and the slope, adjacent to Beaver Brook, to remain undisturbed

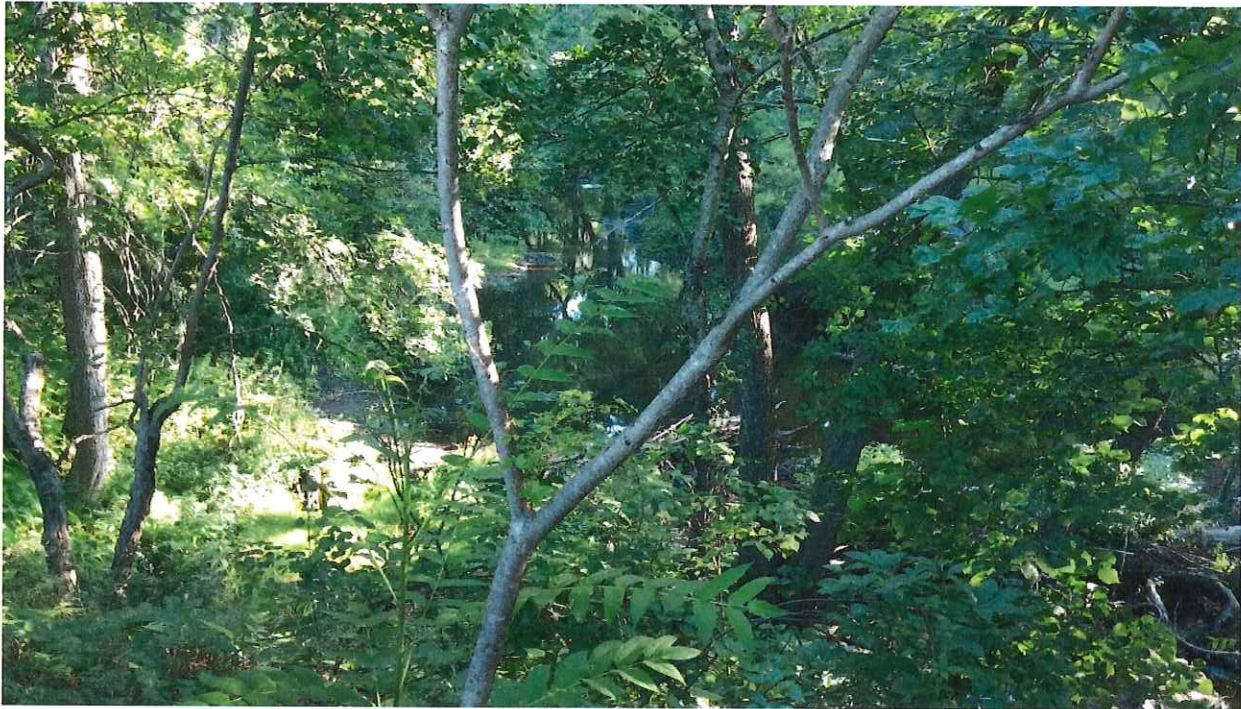


Photo #7 – A closer look at the Beaver Brook at the northeasterly property boundary line, no improvements are proposed within 50-ft of the existing Brook and wetlands



Photo #8 – Looking toward NH Route 111, this area to remain undisturbed

Civil Engineering

Land Surveying

Landscape Architecture

10 Commerce Park North, Suite 3B

Bedford, NH 03110

Phone (603) 627-2881

Fax (603) 627-2915



TOWN OF HUDSON

Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

Zoning Determination #17-74

August 31, 2017

Patrick Colburn
Keach-Nordstrom Associates Inc
10 Commerce Park North
Suite 3B
Bedford, NH 03110

Re: **4 Bridle Bridge Road 145/006-000**
District: General One (G-1)

Dear Mr. Colburn,

Your request: Do you need a Wetland Special Exception to remove an existing non-conforming stockpile of construction debris currently in the 50' Wetland Buffer?

Zoning Review / Determination: No wetland special exception would be needed for this existing non-conforming use in accordance Article VIII.

My review/determination is that this stockpile is an existing non-conforming use and location. The removal of the stockpile, which is their non-conformance activity actually removes the non-conformance (activity and location within the wetland buffer) and brings that section of the site into "use" compliance with the 50 ft wetland buffer, which satisfies §334-38 B&C. I am aware of a proposed site plan modification and would suggest that any restoration plans be included on the site plan.

Sincerely,

Bruce Buttrick, MCP

Zoning Administrator/Code Enforcement Officer
(603) 816-1275
bbuttrick@hudsonnh.gov

cc: Zoning Board of Adjustment
J. Michaud, Town Assessor
G. Theborge, Dir Land Use
Selectmen: M. McGrath and D. Morin
E. Dhima, Town Engr
File

NOTE: this determination may be appealed to the Hudson Zoning Board of Adjustment within 30 days of the receipt of this letter.

RECEIVED

AUG 30 2017

HUDSON FIRE DEPARTMENT
INSPECTORAL SERVICES DIVISION

COMMUNITY DEVELOPMENT DEPARTMENT

12 School Street
Hudson, NH 03051
(603)886-6005
www.hudsonnh.gov



Town of Hudson

REQUEST FOR ZONING and/or PLANNING INFORMATION / DETERMINATION

Date of request 08/29/2017

Property Location 4 Bridle Bridge

Map 145 Lot 6

Zoning District if known G-1

Type of Request

- Zoning District Determination
- Use Determination
- Set-Back Requirements
- Process for Subdivision/ Site Plan if required
- Other

Description of request / determination: (Please attach all relevant documentation)

Applicant requests a zoning determination regarding the need for a Wetland Special Exception in order to remove a pre-existing non-conforming stockpile within 50-feet of Beaver Brook, thereby restoring the 50-foot wetland buffer and permanently ceasing the non conforming use of land. See attached supporting document.

Applicant Contact Information:

Name: Patrick Colburn, Keach-Nordstrom Assoc., Inc
Address: 10 Commerce Park No. Ste 3, Bedford, NH
Phone Number: 603-627-2881

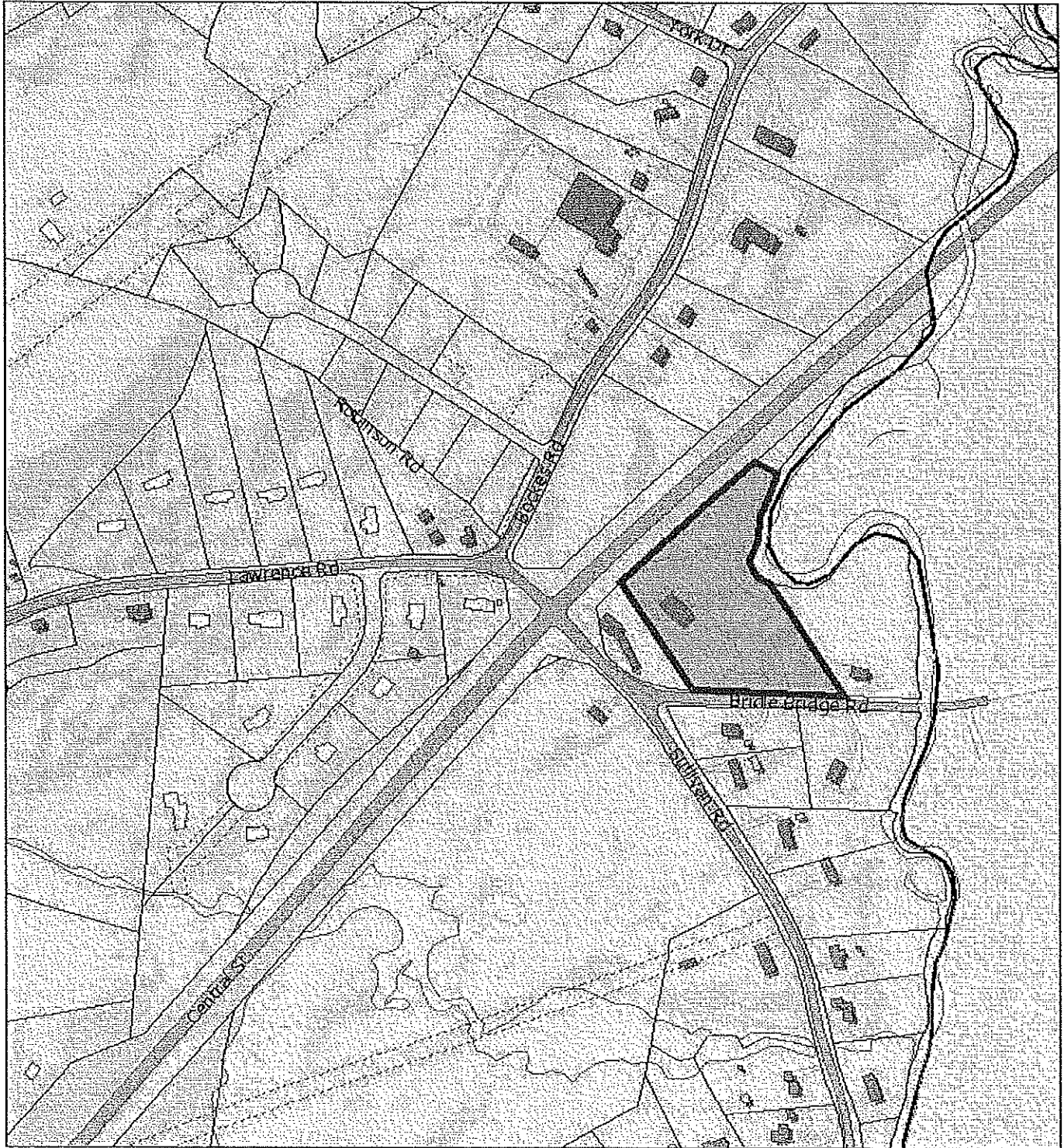
For Office Use

ATTACHMENTS: TAX CARD GIS Supplement letter

NOTES: _____

ZONING DETERMINATION LETTER SENT DATE: 8-31-17

4 Bridle Bridge Road

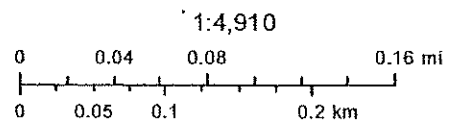


August 30, 2017

Legend

----- Easement_Lines

▭ Parcels



1:4,910



August 29, 2017

Mr. Bruce Buttrick, Zoning Administrator
Town of Hudson
12 School Street
Hudson, New Hampshire 03051

RECEIVED

AUG 30 2017

HUDSON FIRE DEPARTMENT
INSPECTIONAL SERVICES DIVISION

Subject: Request for Zoning Determination
4 Bridle Bridge Road – Map 145; Lot 6

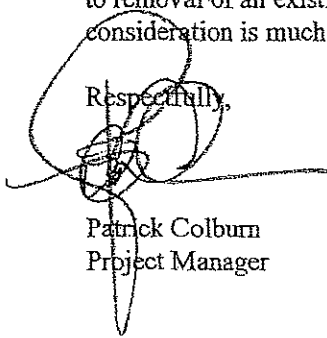
Dear Mr. Buttrick:

This letter serves as a supplement to our Request for Zoning Determination attached herein. The Request asks whether or not a Wetland Special Exception from the Zoning Board of Adjustment is required to allow the removal of an existing stockpile partially within the 50-foot wetland buffer so as to restore the buffer and preserve it moving forward. As you are aware, Keach-Nordstrom Associates, Inc. is underway with design plans that propose expansion of the existing industrial use onsite. The expansion will include construction of a second building, along with access, circulation and parking improvements all in support of Recore Trading (the existing onsite use and property owner). The plans also propose significant stormwater treatment and mitigation measures, where none exist today. All of the work associated with the expansion is proposed outside the 50-foot non-disturbance buffer to Beaver Brook.

Attached under this cover is an existing conditions plan for the site with the approximate area of existing stockpile highlighted. Also attached are a series of aerial photographs dating back to April 1992. As you can see by the photos, the area where the stockpile is situated has been utilized for various purposes in support of onsite operations since at least 1992. Since the Wetland Conservation District was enacted in March 1995, we consider this a pre-existing non-conforming use of the land within 50-feet of Beaver Brook. Pursuant to Article VIII Section 334-28, "Any lawful use of land or buildings rendered nonconforming by the initial adoption of this chapter (in 1942) or by subsequent amendments to the chapter may be continued." Correspondingly, the applicant asserts that the use of the land within 50-feet of the wetland can continue as it has since before there was a buffer. However, as mentioned above, the applicant's plans for expansion do not require work within the 50-foot buffer. The applicant recently purchased this property from the Town of Hudson and inherited the debris pile cited herein. For obvious reasons, the applicant desires to remove the pile and further to restore the buffer with loam and turf establishment. Upon completion of buffer restoration, the land within 50-feet of Beaver Brook will be left alone.

Based on the foregoing we request a determination whether a Wetland Special Exception is required prior to removal of an existing stockpile and restoration of the underlying 50-foot wetland buffer. Your consideration is much appreciated.

Respectfully,



Patrick Colburn
Project Manager

Civil Engineering

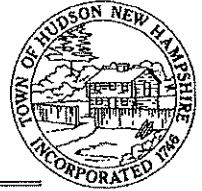
Land Surveying

Landscape Architecture



TOWN OF HUDSON

Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

Zoning Determination #17-88

September 22, 2017

Patrick Colburn
Keach-Nordstrom Associates Inc
10 Commerce Park North
Suite 3B
Bedford, NH 03110

Re: **4 Bridle Bridge Road 145/006-000**
District: General One (G-1)

Dear Mr. Colburn,

Your request: For a determination of the use(s) based on the attached narrative.

Zoning Review / Determination:

1) They receive, and warehouse catalytic converters from which they process and extract the precious metals. I determine that this use fits within the Zoning Ordinance as category E-2: "...Manufacture of equipment,....(dis)assembling of appliances".

2) They buy and receive large blocks of scrap metal (crushed cars) and wholesales/warehouses these to buyers offsite. I determine that use fits within the Zoning Ordinance as category E-8: "Wholesale, warehouse.....".

These mixed/dual uses are allowed per §334-10 B with the re-development of the site with a forth coming site plan to the Planning Board, therefore are considered a single principal use.

Sincerely,

Bruce Buttrick, MCP

Zoning Administrator/Code Enforcement Officer

(603) 816-1275

bbuttrick@hudsonnh.gov

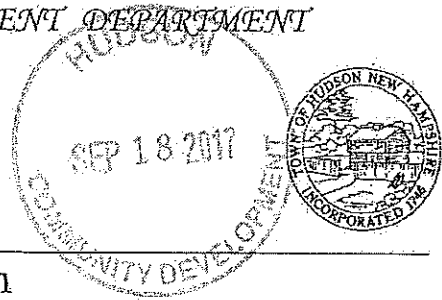
cc: Zoning Board of Adjustment
J. Michaud, Town Assessor
G. Thebarga, Dir Land Use
Selectmen: M. McGrath and D. Morin
File

NOTE: this determination may be appealed to the Hudson Zoning Board of Adjustment within 30 days of the receipt of this letter.



COMMUNITY DEVELOPMENT DEPARTMENT

12 School Street
Hudson, NH 03051
(603)886-6005
www.hudsonnh.gov



Town of Hudson

REQUEST FOR ZONING and/or PLANNING INFORMATION / DETERMINATION

Date of request 09/19/2017 #17-88

Property Location 4 Bridle Bridge Road
Map 145 Lot 005

Zoning District if known G-1

Type of Request
 Zoning District Determination Use Determination Set-Back Requirements
 Process for Subdivision/ Site Plan if required
 Other

Description of request / determination: (Please attach all relevant documentation)

The applicant requests a determination relative to the uses described in the attached narrative, provided by the owner of Recore Trading Company, in the G-1 zoning district.

Applicant Contact Information:
Name: Patrick Colburn, Keach-Nordstrom Assoc., Inc
Address: 10 Commerce Park No. Ste3, Bedford, NH 03110
Phone Number: 603-627-2881

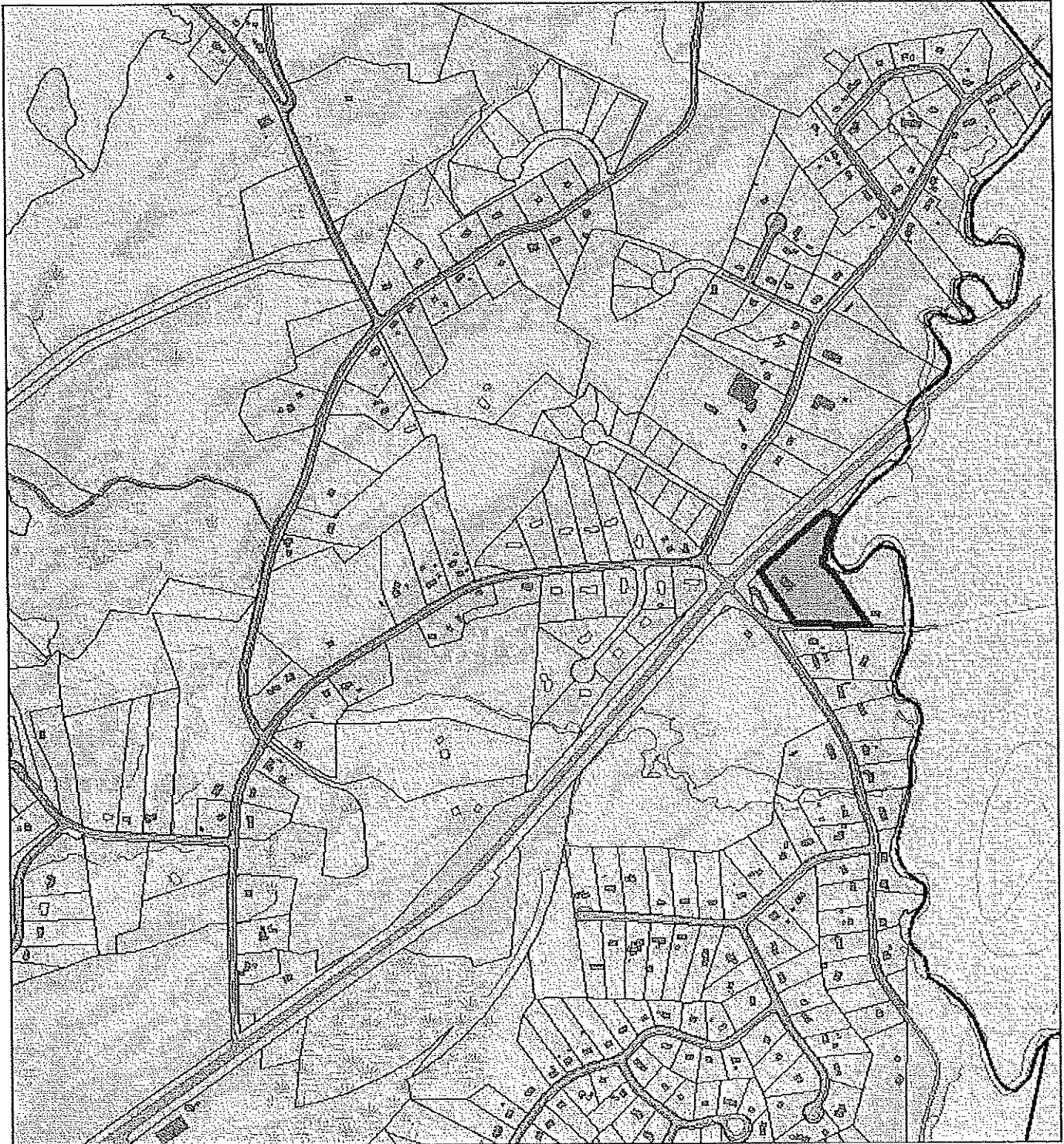
For Office use

ATTACHMENTS: TAX CARD GIS 9-19-17 NARRATIVE

NOTES: _____


ZONING DETERMINATION LETTER SENT DATE: 9-22-17

4 Bridle Bridge Road

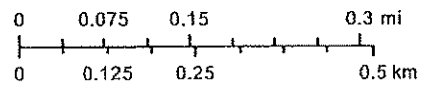


September 22, 2017

Legend

 Parcels

1:10,133



September 19, 2017

Bruce Buttrick, Zoning Administrator
Town of Hudson
12 School Street
Hudson, NH 03051

Dear Mr. Buttrick:

Let this letter serve as a supplement to the Request for Zoning Determination attached herein. In the narrative below, I go into detail regarding the operation I run at Recore Trading Company. As you are aware, I intend to expand my business at 4 Bridle Bridge Road on property I recently purchased from the Town of Hudson, and therefore request a determination that the land "use" is allowed in the G-1 Zoning District.

Recore Trading Company was started in 1989. From the beginning, we were involved with the recovery of precious metals from automotive catalytic converters. This remains the core of our business. Converters are installed in cars as an emission control device. The converters contain precious metals (platinum, palladium and rhodium) commonly referred to as PGM's (platinum group metals). These elements are coated on a ceramic honeycomb material through which a vehicle's exhaust gases must pass. A chemical reaction occurs between the precious metals in the converter and the hydrocarbons and the carbon monoxide in the exhaust gases, converting them to carbon dioxide and water vapor. Basically, the PGM's convert harmful gases to non-harmful gases through a chemical reaction.

These precious metals never wear out and can be used over and over again. The vast majority of the PGM mines for virgin material are located in South Africa and their production is very inconsistent and unpredictable. With worldwide auto emission standards getting tougher each year, one can see why there is a strong demand for recycled PGM's to build new converters and keep the air we breathe cleaner.

Recore Trading buys converters, mostly from salvage yards, and a small percentage are bought from car dealerships and repair facilities. Recore has very specialized machinery to process the converters. First, we shear them in half to separate the ceramic precious metal bearing contents from the stainless steel shell. Next, the ceramic material is milled to a talcum powder consistency. This powder is sampled and analyzed in our in-house lab to determine precious metal content. The powder is then sold to OEM auto manufacturers to be refined and used in the production of new converters. The stainless steel shells are also sold to recyclers to be made into new products.

The other main product we buy is ferrous flats in the form of crushed car bodies. Our salvage yard suppliers must process the cars before they can sell them to us or anyone else. Part of the process includes removing ALL fluids, removing any mercury switches, removing the battery and removing the converter. Then the car is crushed and is now prepared ferrous metal commonly referred to as a "flat". All our suppliers use the "Best Management Practices" established by the State Department of Environmental Services for the processing of scrap cars.

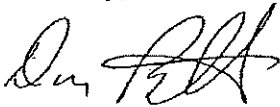
Recore Trading owns a car crusher that we lend to salvage yards which do not have one. Since the crushing of cars completes the preparation process and is the final step in preparing flats, we provide the yard with our crusher for free. The yard must agree to sell Recore the converters and the flats. The truck loads of flats are picked up on our Recore trucks and brought to our facility where they are weighed and unloaded. We then load the flats onto outgoing trucks to be delivered to our customer who recycles them. Ideally, the loads go out as fast as they come in; however, there are times when we will have a load or two overnight.

We do not process or buy junk cars. This is paramount! If we were buying junk cars we would be competing against our suppliers. We insist on supporting our suppliers by not competing against them.

There are a few other products we buy at Recore. These include aluminum car wheels and lead batteries. Everything we buy is sold to recyclers. The wheels are stacked on skids and sold to recyclers who make things like lawnmower engines and window blinds. The batteries are sold for the recovery of lead. State and federal regulatory agencies have determined that batteries are not hazardous when handled and packaged properly. The only item that Recore processes are the converters. Every other product is simply bought and then sold to recyclers.

Hopefully I have clearly described my business. If you have questions, please call me directly.

Sincerely,



Don Belisle, Owner
Recore Trading Company


ATTACHMENT C

CLD | Fuss & O'Neill

540 Commercial Street • Manchester, NH 03101
ph: 603.668.8223 • fx: 603.668.8802
cld@cldengineers.com • www.cldengineers.com

Connecticut | Maine | Massachusetts | New Hampshire | New York | Rhode Island | Vermont

TO: File

FROM: Steven W. Reichert, PE 

DATE: October 17, 2017

RE: Town of Hudson Planning Board Review
Flying Crusher, 4 Bridle Bridge Road
Tax Map 145, Lot 6; Acct. #1350-902
CLD | Fuss & O'Neill Reference No. 03-0249.1650

The following list itemizes the set of documents reviewed related to the Flying Crusher, LLC Non-Residential Site Plan at 4 Bridle Bridge Road, Hudson, New Hampshire.

- Correspondence between CLD | Fuss & O'Neill, Inc. and the Town of Hudson between September 21, 2017 and October 5, 2017.
- *Letter of Transmittal* from Keach-Nordstrom Associates, Inc. to CLD | Fuss & O'Neill dated September 21, 2017 and received on September 21, 2017, including the following:
 1. Copy of *Preliminary and Final Site Plan Application for Plan Review*, pages 3 to 16, Town of Hudson, New Hampshire for Map 145, Lot 6, dated September 25, 2017 [sic].
 2. Copy of *Subdivision/Site Plan Waiver Request Form, Item 276.11.1B(12)(a)*, dated July 20, 2017.
 3. Copy of *Subdivision/Site Plan Waiver Request Form, Item 275-8C(2)*, dated July 20, 2017.
 4. Copy of *Abutters List* and Mailing Labels, not dated.
 5. Copy of *Project Narrative*, not dated.
 6. Copy of *Site Photos*, not dated.
 7. Copy of *Alteration of Terrain Application*, prepared by Keach-Nordstrom Associates, Inc., dated September 12, 2017, including:
 - a. Copy of *Pre-Development Drainage Areas Plan*, dated September 12, 2017.
 - b. Copy of *Post-Development Drainage Areas Plan*, dated September 12, 2017.
 - c. Copy of *Pre-Development Color Plan*, dated September 12, 2017.
 - d. Copy of *Post-Development Color Plan*, dated September 12, 2017.
 8. Copy of *Flying Crusher, LLC Non-Residential Site Plan, Map 145, Lot 6, 4 Bridle Bridge Road, Hudson, New Hampshire* Plan Set, prepared by Keach-Nordstrom Engineers Inc., dated July 20, 2017, unless otherwise noted, and including the following:
 - a. *Cover Sheet*
 - b. *Master Plan*, Sheet 1 of 15.
 - c. *Existing Conditions Plan*, Sheet 2 of 15.

CLD | Fuss & O'Neill

Memorandum to Files

CLD | Fuss & O'Neill Reference No. 03-0249.1650

October 17, 2017

Page - 2

- d. *Removals/ Demolition Plan*, Sheet 3 of 15.
- e. *Non-Residential Site Layout*, Sheet 4 of 15.
- f. *Grading, Drainage & Utility Plan*, Sheet 5 of 15.
- g. *Erosion Control Plan*, Sheet 6 of 15.
- h. *Septic Plan*, Sheet 7 of 15.
- i. *Landscape Plan*, Sheet 8 of 15.
- j. *Lighting Plan*, Sheet 9 of 15, in association with Charron Incorporated.
- k. *Drainage Profiles*, Sheet 10 of 15.
- l. *Construction Details*, Sheets 11 through 15 of 15.

SWR:mjt

cc: George Thebarger – Town of Hudson
Brooke Dubowik – Town of Hudson
Town of Hudson Engineering Division – File

CLD | Fuss & O'Neill

October 17, 2017

Mr. George Theborge
Land Use Director
Town of Hudson
12 School Street
Hudson, NH 03051

Re: Town of Hudson Planning Board Review
Flying Crusher LLC Site Plan, 4 Bridle Bridge Road
Tax Map 145, Lot 6; Acct. #1350-902
CLD | Fuss & O'Neill Reference No. 03-0249.1650

Dear Mr. Theborge:

CLD | Fuss & O'Neill, Inc. has reviewed the first submission of the materials received on September 21, 2017, related to the above-referenced project. Authorization to proceed was received on October 5, 2017. A list of items reviewed is enclosed. The scope of our review is based on the Site Plan Review Codes, Stormwater Codes, Driveway Review Codes, Sewer Use Ordinance 77, Zoning Regulations, and criteria outlined in the CLD | Fuss & O'Neill Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007, September 3, 2008, October 2015, and October 3, 2017.

We have included a copy of CLD | Fuss & O'Neill's evaluation of the checklist for your reference. We note that several items could not be verified by CLD | Fuss & O'Neill and require action by the Town.

The project appears to consist of the construction of a 9,600 square foot single story building, a 5,850 square foot concrete pad, drainage improvements/stormwater management, and other associated site improvements including paving/resurfacing, parking spaces, and curbing installation. The site is currently serviced by a private well and on-site septic system which will remain in use. A second septic system is proposed for the new building.

The following items are noted:

1. Site Plan Review Codes and Administrative Requirements and Definitions

- a. Hudson Regulation (HR) 275-8.C.(2)(g). The applicant has provided 18 parking spaces and has requested a waiver from providing 25 parking spaces required by the Regulation. The applicant has noted that the number of spaces required exceeds the number needed for employees and visitors. The applicant has shown a future parking area on the plans if the need for more parking spaces arises. (The number of employees anticipated for the site is not included in the review documents.)
- b. HR 275-8.C.(7)(a). The applicant has not provided any landscaping coverage calculations for the subject site.
- c. HR 275-8.C.(8). The plans are unclear as to the clearing limits along the east side of the site and how any proposed clearing will impact screening of the adjacent residential use. Online mapping shows a historic vegetation buffer between the residential drive and the commercial/industrial drive. The applicant has not indicated that any new landscaping is proposed for this area.

CONNECTICUT | MAINE | MASSACHUSETTS | NEW HAMPSHIRE | NEW YORK | RHODE ISLAND | VERMONT

- d. HR 275-9.C. The applicant has not provided any information related to noise impacts from the industrial operations proposed for the site. Due to the close proximity of residential lots, the applicant should provide additional information as to the nature and duration of industrial operations at the site to assist the Board in evaluating potential impacts to adjacent residential uses.
- e. HR 275-9.F. and 276-11.1.B.(20). The applicant has noted a "driveway license" to Lot 7 on the east side of the site but did not provide a copy of said document. No other easements, covenants, or deed restrictions are noted on the plans.
- f. HR 275-9.I. In the project narrative, the applicant provided some information related to the industrial processes proposed for the site. Information related to possible environmental impacts and controls was not included. The applicant should provide additional information such as potential pollutants anticipated from the proposed industrial processes, treatment methods, and product storage practices and the intent to (or not) store or ship hazardous wastes from the site. The applicant should also note the proposed practices for prevention of contamination into the site septic system from operations within the buildings.
- g. HR 276-11.1.B.(2). The scale of the Master Plan sheet is 1" = 60 feet. All other plan sheets meet the Regulation.
- h. HR 267-11.1.B.(12) and ZO 334-27. The applicant is proposing to retain the existing paved area within the side setback on the west side of the lot. The applicant should provide some means of identifying that parking is not allowed within this setback area.
- i. HR 276-11.1.B.(12).(a). The applicant has requested a waiver to allow proposed improvements within 200 feet of abutting residential properties.
- j. HR 276-11.1.B.(13). The applicant has not proposed any signage for the site other than traffic signs and has included a note regarding conformance with all Town of Hudson Regulations.
- k. HR 276-11.1.B.(20). The applicant has not provided heights for the existing buildings. The applicant noted on the Site Plan Application that a copy of the building elevations were attached; however, the elevations were not received in the package received by CLD | Fuss & O'Neill for review.
- l. HR 276-11.1.B.(21) and 290.5.K.(22). The applicant has shown several proposed snow storage areas on the plans but none along the west side of the site, which has existing pavement immediately against the neighbor to the southwest. The applicant should provide some controls/notations on the plans clearly prohibiting the plowing of snow onto this abutting parcel. Also, it is noted that if snow is plowed or stored in this area, it is likely that some of the melting snow runoff, trapped by the snow pile, will end up on the abutter's parcel. The applicant has not shown the location of the abutter's well, so we are unable to determine whether any chemically treated snow runoff will have potential to affect the neighbor's water source.
- m. HR 276-11.1.B.(21).(b). The applicant did not provide any alternative proposals for consideration by the Planning Board within the review package received by CLD | Fuss & O'Neill.
- n. HR 276-11.1.B.(23). The applicant has not noted any pertinent highway projects on the plan set.
- o. HR 276-11.1.B.(24).b. The applicant has provided open space percentages for the project. We note that the project is outside the Circumferential Highway and forty percent should have been used as the minimum requirement. (The percent of open space provided still exceeds that amount.)

- p. HR 276-11.1.B.(25). The applicant has shown an existing travelway within the side setback area on the west side of the site.

2. Driveway Review Codes (Chapter 193)

- a. HR 193-10.E. The applicant has not shown safe stopping distances for the site driveways on the plan set or in the submittal documents.
- b. HR 193-10.G. There are currently four driveways on Bridle Bridge Road associated with the subject parcel; one drive is noted as "license to stalker"; one to receive improvements; one appearing to remain unaltered; and a fourth noted as "concrete drive", with no indication of the disposition. HR 193-10.G. allows only one driveway per parcel.

3. Traffic

- a. There are no traffic related comments at this time.

4. Utility Design/Conflicts

- a. HR 275-9.G. The applicant did not note any septic system permitting requirements for the proposed septic system.
- b. HR 275-9.E., HR 276-13, and ZO 334-37.A. A detailed review of the proposed septic system was not performed by CLD | Fuss & O'Neill. We do note that the proposed leach field at the new building is located just beyond 50 foot from the edge of the Wetland Conservation District. The applicant should note the additional 50 foot setback criteria to ensure that construction of this leach field does not deviate from the location shown on the plans.
- c. HR 276-13. The existing building has fuel tanks noted on the northwest side of the building and immediately adjacent to (nearly touching) the well. The applicant should clarify if these are propane tanks or liquid fuel tanks, note whether and how they are piped; if liquid, confirm that the containment meets applicable standards, laws and recommendations, and then provide more detail as to the condition of these tanks, how they will be protected during water line installation at the well, their potential for contamination into the well radius, and existing or proposed spill prevention provisions. New Hampshire Department of Environmental Services (NHDES) recommends that heating oil tanks in the wellhead protection area be located on an impervious area and have containment to hold the complete volume.
- d. HR 276-13.H. The applicant has proposed water system piping within 75 feet of both the existing and proposed leach fields.
- e. The applicant did not include any provisions for fire protection for the proposed building on the utility plan.

5. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- a. HR 290-4.A.(1). The proposed septic system is in close proximity to proposed open drainage for Stormwater Management. The applicant should review Env-Wq-1000, specifically Table 1008-2 "Minimum Separation Distances" (and/or other applicable material). As presented, the required minimum setback to drainage features/components is not met for existing and proposed Individual Sewage Disposal Systems (ISDS).

- b. HR 290-5.C: The applicant should show the rip rap apron dimensions upon the plan set, to correlate with the calculations provided within the Alteration of Terrain Application. The applicant should also review and correct labeling discrepancies between the calculations provided and the labels upon the Grading, Drainage, and Utility Plan.
- c. HR 290-5.G and 5.H: The applicant's Stormwater Management calculations do not account for frozen ground conditions.
- d. HR 290-5.L(1): The applicant should keep the Town informed of all communication with NHDES in relation to the Alteration of Terrain Permit discussions to ensure NHDES comments do not alter drainage design/calculations.

6. Zoning (ZO 334)

- a. Zoning Ordinance (ZO) 334-20. The subject site is located in the General 1 (G-1) zoning district. The proposed use appears to be permitted in this zoning district.
- b. ZO 334-33. The applicant has shown wetlands and associated wetlands buffers on the plan set. No work is proposed within these areas other than the removal of some existing jersey barriers and seeding a portion of the buffer.
- c. ZO 334-57. The applicant has not proposed any signs within the project area other than traffic signs.
- d. ZO 334-83 and HR 218. The applicant has noted that a portion of the subject parcel is located within a designated flood hazard area. No site improvements are shown within this area.

7. Erosion Control/Wetland Impacts

- a. The applicant has noted that the Town reserves the right to require additional erosion control measures during construction if needed.

8. Landscaping (HR 275-8.C.(7) & HR 276-11.1.B.(20)) and Lighting (HR 276-11.1.B.(14))

- a. HR 275-8.C.(7) and 276-11.1.B.(20). The applicant has proposed installation of a tree in the same location as proposed drain manhole #4.
- b. HR 276-11.1.B.(14). The applicant has included a lighting plan which includes some details of the proposed site lighting. However, we were unable to locate any information detailing the proposed hours of operation for the lighting.
- c. HR 276-11.1.B.(14). No existing lighting is shown, nor is new lighting proposed for the existing one story building within the site.

9. State and Local Permits (HR 275-9.G.)

- a. HR 275-9.G. The applicant did not include copies of any applicable Town, state, county or federal approvals or permits in CLD | Fuss & O'Neill's review package.
- b. Additional local permitting may be required.

10. Other

- a. The applicant has not provided a detail for the proposed concrete pad, but has noted that the design will be by others, and that the concrete pad will be used for the handling and temporary storage of recyclables. The applicant should review the need for and include in the concrete pad design a means of protecting the adjacent open drainage system from contamination by materials stored on this pad.
- b. In Note #22 on the Master Plan sheet, the applicant states that refuse removal and deliveries of supplies shall be no earlier than 7:00 AM and no later than 7:00 PM, Monday through Friday only, and prohibited on Saturday and Sunday. The hours of operation for the facility are until 6:00 PM, per Note #23. The applicant should clarify if Note #22 refers to construction activities or removals and deliveries during facility operation.
- c. The applicant has noted that the existing conditions are based upon an "on the ground" survey in May 2017; however, many plan items are noted as based on "Aerial Imagery". The applicant should comment as to why not all features were based on field survey.

Please feel free to call if you have any questions.

Very truly yours,



Heidi J. Marshall, P.E.



Paul Konieczka, AICP

HJM:PK:mjt

Enclosure

cc: Brooke Dubowik – Town of Hudson
Town of Hudson Engineering Division – File
Keath-Nordstrom Associates, Inc.
10 Commerce Park North
Bedford, NH 03110
Fax: (603) 627-2881

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Flying Crusher LLC Site Plan, 4 Bridle Bridge Road
Town of Hudson
CLD | Fuss & O'Neill Reference No. 03-0249.1650
Reviewed October 17, 2017

Thirty (30) days prior to Planning Board Meeting, a complete site plan to include all supporting materials/documents must be submitted in final form. The site plan shall comply with the following specifications/requirements.

Applicant Initials		Staff Initials	
_____	a) Submission of nine (9) full sets of Site Plans (sheet size: 22" x 34") at the time of application filing, followed by the submission of seventeen (17) 11" x 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 AM Tuesday the week prior to the scheduled public hearing/conceptual review date.	_____	a) One set received by CLD Fuss & O'Neill.
_____	b) A Site Plan narrative, describing the purpose, locations, long range plans, impacts on traffic, schools and utilities.	_____	b) No impacts on traffic, schools, utilities noted.
_____	c) Plan scale at not less the one inch equals fifty feet (1" = 50')	_____	c) Master Plan sheet is 1" = 60'.
_____	d) Locus plan with 1,000' minimum radius of site to surrounding area	_____	
_____	e) Plan date by day/month/year	_____	e) Listed as month/day/year.
_____	f) Revision block inscribed on the plan	_____	
_____	g) Planning Board approval block inscribed on the plan	_____	
_____	h) Title of project inscribed on the plan	_____	
_____	i) Names and addresses of property owners and their signatures inscribed on the plan	_____	
_____	j) North point inscribed on the plan	_____	
_____	k) Property lines: exact locations and dimensions	_____	k) Tie course along Beaver Brook provided
_____	l) Square feet and acreage of site	_____	
_____	m) Square feet of each building (existing & proposed)	_____	
_____	n) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan	_____	n) Abutters' names and addresses are shown on plan. Unable to verify 5-day update criteria.

Applicant
Initials

- _____ o) Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve areas, floodways/floodplains, driveways, travel areas, parking areas and natural features within 200 feet of the tract
- _____ p) Locations of existing and proposed permanent monuments and benchmarks within 200 feet of the development tract
- _____ q) Pertinent highway projects
- _____ r) Assessor's Map and Lot number(s)
- _____ s) Waiver application form shall be submitted with the site plan application, note on plan listing waivers requested/granted; and all waivers granted to the site plan regulations shall be listed on the final plan; waivers to checklist shall be reduced to writing and be signed by the Planning Board Chairman and Planning Board Secretary and recorded with the plan.
- _____ t) Delineate zoning district on the plan
- _____ u) Stormwater drainage plan
- _____ v) Topographical elevations at 2-foot intervals contours: existing and proposed
- _____ w) Utilities: existing and proposed
- _____ x) Parking: existing and proposed
- _____ y) Parking space: length and width
- _____ z) Aisle width/maneuvering space
- _____ aa) Landscaping: existing and proposed
- _____ ab) Building and wetland setback lines
- _____ ac) Curb cuts
- _____ ad) Rights of way: existing and proposed
- _____ ae) Sidewalks: existing and proposed
- _____ af) Exterior lighting plan
- _____ ag) Sign locations: size and design
- _____ ah) Water mains and sewerage lines
- _____ ai) Location of dumpsters on concrete pads
- _____ aj) All notes from plats

Staff
Initials

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

CLD|Fuss & O'Neill/SWR

q) None listed.

x) Waiver requested

aa) Existing vegetation and clearing limits not clear on plan for east side

af) Hours of lighting operation not noted

ag) No signs proposed. Note about sign permit included.

ah) Water system lines within 75' of leach fields

Applicant
Initials

- _____ ak) Buffer as required by site plan regulations
- _____ al) Green and open space requirements met with percentages of both types of spaces inscribed on the plan
- _____ am) Soil types and boundaries, Note: if site contains marginal or questionable soils, a High Intensity Soil Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire certified Soil Scientist, who shall affix his/her stamp and signature shall be inscribed on the plan.
- _____ an) Wetlands (and poorly-drained and very poorly-drained soils), also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire certified Wetland or Soil Scientist, who shall affix his/her stamp and signature to the respective plan.
- _____ ao) "Valid for one year after approval" statement inscribed on the plan
- _____ ap) Loading bays/docks
- _____ aq) State of New Hampshire engineer's stamp, signature, surveyor's stamp, and signature
- _____ ar) Error of closure (1 in 10,000 or better)
- _____ as) Drafting errors/omissions
- _____ at) Developer names, addresses, telephone numbers and signatures
- _____ au) Photographs, electronic/digital display or video of site and area
- _____ av) Attach one (1) copy of the building elevations
- _____ aw) Fiscal impact study
- _____ ax) Traffic study
- _____ ay) Noise study

Staff
Initials

- _____ CLD | Fuss & O'Neill/SWR
- _____ CLD | Fuss & O'Neill/SWR
- _____ CLD | Fuss & O'Neill/SWR
- _____ CLD | Fuss & O'Neill/SWR
- _____ CLD | Fuss & O'Neill/SWR
- _____ CLD | Fuss & O'Neill/SWR
- _____ CLD | Fuss & O'Neill/SWR
- _____ CLD | Fuss & O'Neill/SWR
- _____ _____
- _____ _____
- _____ _____
- _____ _____

- as) Not stated.
- av) Building elevations not provided

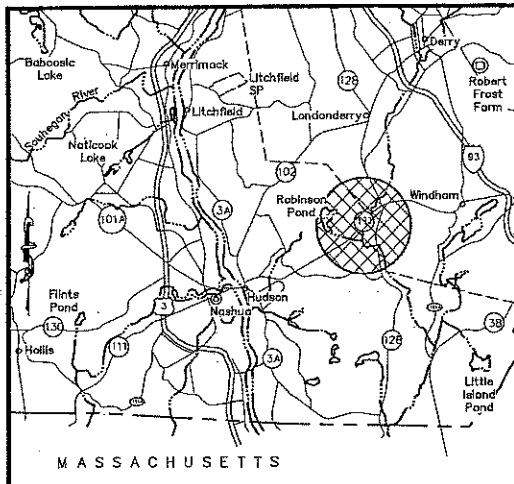
Applicant
Initials

Staff
Initials

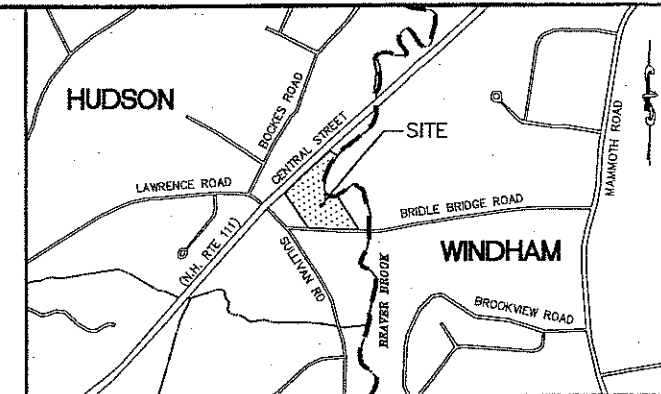
- _____ az) Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents
- _____ ba) Copy of applicable Town, State, Federal approval/permits to include but not limited to the following:
- industrial discharge application
 - sewer application
 - flood plain permit
 - wetlands special exception
 - variance
 - erosion control permit (149:8a)
 - septic construction approval
 - dredge and fill permit
 - curb cut permit
 - shoreland protection certification in accordance with RSA483-B
 - if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.
- _____ bb) Presentation plan (colored, with color coded bar chart)
- _____ bc) Fees paid to clerk
- _____ bd) Five (5) 22" x 34" copies of the plan shall be brought to the Planning Board meeting and distributed to the Planning Board members at the meeting. Note: for all subsequent meetings involving revised plans, five 22" x 34" copies of said plan shall be brought to the meeting for distribution to the board members.

- _____ az) "Driveway license" noted for adjacent Lot #7. Copy not provided.
- _____ ba) None provided.
- _____ bb) No presentation plan received, requires a Town action.
- _____ bc) Requires Town action.
- _____ bd) Requires Town action.

* Under the purview of the Planning Board any and all items may be waived.



VICINITY PLAN
NOT TO SCALE



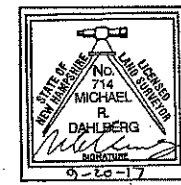
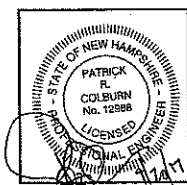
LOCUS PLAN
SCALE: 1" = 1,000'

NON-RESIDENTIAL SITE PLAN FLYING CRUSHER, LLC

MAP 145 LOT 6 4 BRIDLE BRIDGE ROAD HUDSON, NEW HAMPSHIRE

OWNER/APPLICANT:
FLYING CRUSHER, LLC.
22 MANCHESTER ROAD #7
DERRY, NEW HAMPSHIRE 03038

PREPARED BY:
KEACH-NORDSTROM ASSOCIATES, INC.
10 COMMERCE PARK NORTH, SUITE 3
BEDFORD, NEW HAMPSHIRE 03110
(603) 627-2881



KNA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

SHEET TITLE

SHEET No.

MASTER PLAN	1
EXISTING CONDITIONS PLAN	2
REMOVALS/DEMOLITION PLAN	3
NON-RESIDENTIAL SITE LAYOUT PLAN	4
GRADING, DRAINAGE & UTILITY PLAN	5
EROSION CONTROL PLAN	6
SEPTIC PLAN	7
LANDSCAPE PLAN	8
LIGHTING PLAN	9
DRAINAGE PROFILES	10
CONSTRUCTION DETAILS	11 - 15

JULY 20, 2017
PROJECT NO. 17-0501-2

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL	APPROVED BY THE HUDSON, NH PLANNING BOARD
	DATE OF MEETING: _____
	SIGNATURE _____ SIGNATURE DATE _____
	SIGNATURE _____ SIGNATURE DATE _____
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.	

LEGEND

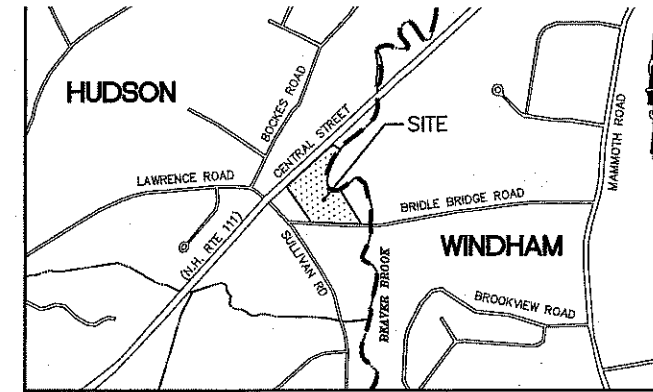
- STONE BOUND FOUND
- IRON PIN FOUND
- ⊙ DRILL HOLE
- UTILITY POLE
- SIGN
- WELL
- ABUTTER LINE
- PROPERTY LINE
- BROOK
- WETLAND
- VINYL FENCE
- GUARDRAIL
- TREELINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- STONEWALL
- BUILDING SETBACK
- 100 YEAR FLOOD LINE
- 50' WATERFRONT BUFFER
- 150' NATURAL WOODLAND PROTECTION LINE
- 250' SHORELAND PROTECTION LINE
- PROPOSED EDGE OF PAVEMENT
- ZONE LINE
- TOWN LINE

REFERENCE PLANS:

1. "LOT LINE RELOCATION ROUTE 111 & OLD ROUTE 111", SCALE: 1"=50', DATED: MAY 1980, BY: A.E. MAYNARD CIVIL ENGINEER, H.C.R.D. PLAN NO. 13141

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED 9,600 SF BUILDING ALONG WITH ASSOCIATED SITE IMPROVEMENTS ON TAX MAP 145 LOT 6 IN ORDER TO EXPAND RECORE TRADING COMPANY AT THIS LOCATION.
2. AREA OF PARCEL = 209,445 SF, OR 4.808 ACRES
3. MAP 145 LOT 6 INDICATES TOWN OF HUDSON TAX ASSESSOR'S MAP AND LOT NUMBER.
4. OWNER OF RECORD: FLYING CRUSHER, LLC, 22 MANCHESTER ROAD #7, DERRY, NH 03038, H.C.R.D. BK. 8973 PG. 0170



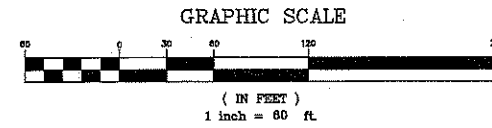
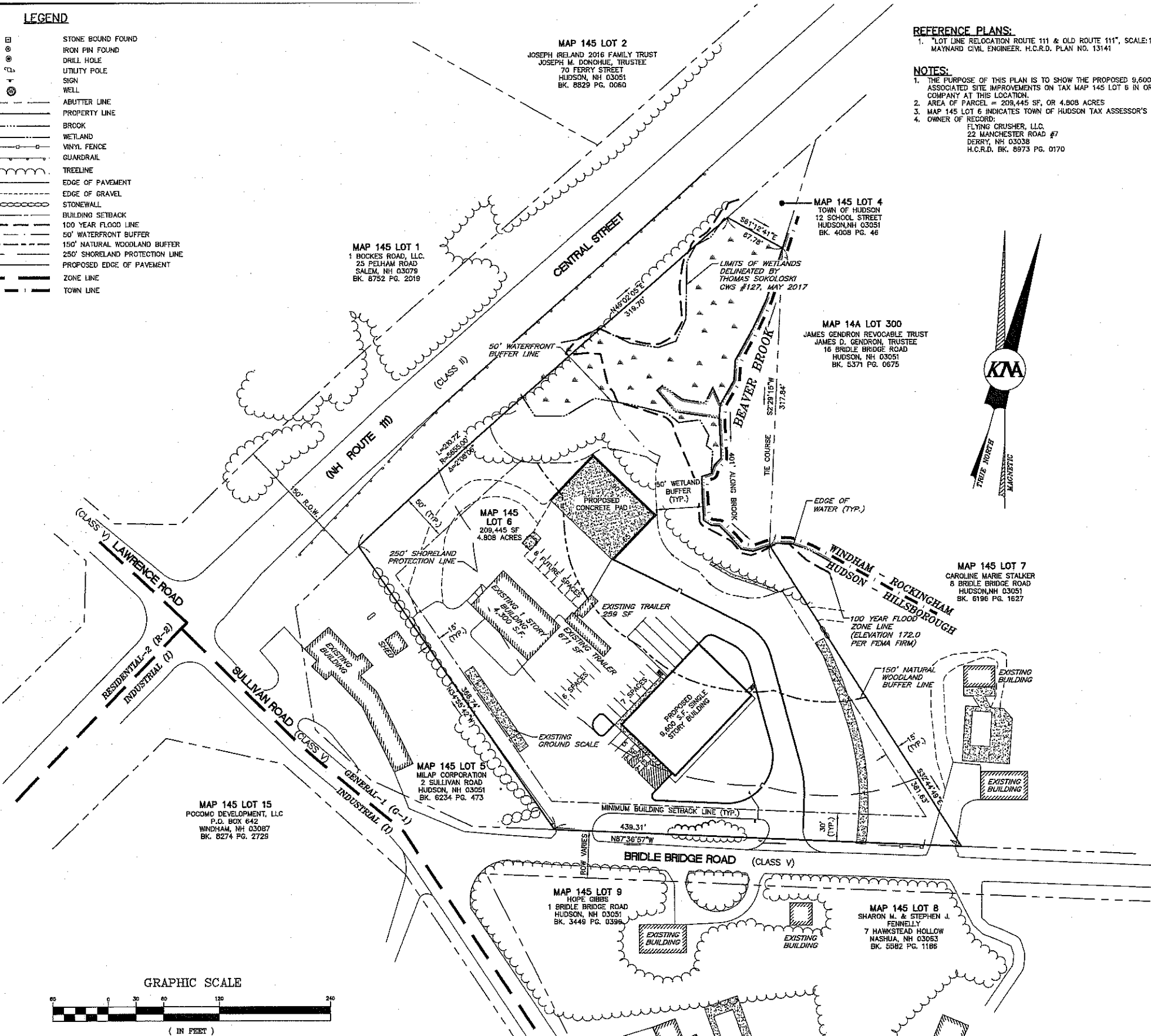
LOCUS PLAN
SCALE: 1" = 1,000'

NOTES CONTINUED:

5. THE SUBJECT PARCEL IS LOCATED WITHIN THE GENERAL 1 (G-1) ZONING DISTRICT AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REGULATIONS WITH PRIVATE SEWER AND WATER:
 - MINIMUM LOT AREA: 87,120 SF
 - MINIMUM LOT FRONTAGE: 200 FT
 - MINIMUM BUILDING SETBACKS:

	LOCAL	COLLECTOR
-FRONT	30 FT	50 FT
-SIDE	15 FT	15 FT
-REAR	15 FT	15 FT
6. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE IN MAY OF 2017.
7. WETLANDS WERE DELINEATED BY THOMAS SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #27, OF T.E.S. ENVIRONMENTAL CONSULTANTS, LLC IN MAY OF 2017.
8. AN EXAMINATION OF THE FEDERAL EMERGENCY FLOOD MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 3301100360, PANEL NUMBER 5380, EFFECTIVE DATE SEPTEMBER 25, 2005 INDICATES THAT A PORTION OF THE PREMISES IS LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN.
9. VERTICAL DATUM IS NAVD 83, HORIZONTAL DATUM IS NAD 83.
10. SUBJECT PARCEL IS SERVICED BY PRIVATE WELL AND PRIVATE SEPTIC SYSTEM.
11. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
12. OPEN SPACE REQUIRED = 35%
13. OPEN SPACE PROVIDED = 58.2%
13. PARKING CALCULATIONS:
 - PARKING REQUIRED = 1 SPACE/600 SF INDUSTRIAL x 14,830 SF = 24.7 SPACES
 - TOTAL PARKING REQUIRED = 24.7 = 25 SPACES
 - *WAIVER REQUESTED
 - TOTAL PARKING PROVIDED = *26 SPACES PROPOSED, INCLUDES 2 HANDICAP SPACES AND 8 FUTURE SPACES
14. LOADING:
 - REQUIRED:
 - 1 SPACE/FIRST 5,000 SF PLUS 1 SPACE/10,000 SF x 9,828 SF = 1 + 0.98 = 1.98 SPACES
 - TOTAL SPACES REQUIRED: 2 SPACES
 - TOTAL SPACES PROVIDED: 4 SPACES
15. PERMITS REQUIRED:

-HIDES ALTERATION OF TERRAIN	PENDING
-HIDES SHORELAND	PENDING
-HIDES NOTICE OF INTENT	REQUIRED PRIOR TO CONSTRUCTION
16. SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH 2010 TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADE.
17. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
18. EXTERIOR CONSTRUCTION ACTIVITIES ON THE SITE SHALL BE LIMITED TO BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH SATURDAY. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS.
19. IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON WEEKENDS.
20. WAIVERS REQUESTED:
 - 278.11.18(12)(c) 200 FT BUFFER TO RESIDENTIAL USE
 - 275-8.C.2(g) PARKING CALCULATIONS
21. SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
22. HOURS FOR REFUSE REMOVAL AND DELIVERIES OF SUPPLIES SHALL BE NO EARLIER THAN 7:00 AM AND NO LATER THAN 7:00 PM, MONDAY THROUGH FRIDAY ONLY. SAID ACTIVITIES SHALL BE PROHIBITED ON SATURDAY AND SUNDAY.
23. HOURS OF OPERATION: 8:00 AM TO 6:00 PM, MONDAY THROUGH SATURDAY.
24. FLOWED SNOW FROM THE FACILITIES, DRIVEWAY, PARKING LOTS AND SIDEWALK SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
25. ONSITE DRAINAGE SYSTEM SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH MHDES REQUIREMENTS FOR SUCH SYSTEMS.
26. THE APPLICANT'S ENGINEER AND/OR CONTRACTOR SHALL CONTACT THE TOWN OF HUDSON TO SCHEDULE A PRECONSTRUCTION MEETING, WHICH WILL BE HELD WITH STAFF PRIOR TO STARTING CONSTRUCTION.
27. ALL STIPULATIONS OF APPROVAL SHALL BE INCORPORATED INTO THE DEVELOPMENT AGREEMENT, WHICH SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS, TOGETHER WITH THE SITE PLAN-OF-RECORD.
28. ALL IMPROVEMENTS SHOWN ON THE SITE PLAN-OF-RECORD, INCLUDING NOTES 1-33, SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
29. PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, A L.L.S. CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED PLAN.
30. ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON ZONING ADMINISTRATOR PRIOR TO INSTALLATION THERE OF.
31. ALL IMPROVEMENTS SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
32. THIS PLAN SHALL BE SUBJECT TO FINAL ENGINEERING REVIEW AND APPROVAL.
33. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION.



MASTER PLAN
FLYING CRUSHER, LLC.
MAP 145 LOT 6
4 BRIDLE BRIDGE ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: FLYING CRUSHER, LLC. 22 MANCHESTER ROAD #7 DERRY, NEW HAMPSHIRE 03038 H.C.R.D. BK. 8973 PG. 0170	APPLICANT: FLYING CRUSHER, LLC. 22 MANCHESTER ROAD #7 DERRY, NEW HAMPSHIRE 03038
--	--

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____
SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

THOMAS SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127 OF T.E.S. ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH PERFORMED THE WETLAND MAPPING IN MAY OF 2017 ACCORDING TO THE CODES OF ENGINEERS WETLAND DELINEATION MANUAL AND THE INTERIM REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGIONS, OCTOBER 2009

OWNER OF MAP 145 LOT 6
SIGNATURE: *[Signature]*
DATE: 9/20/17

LAND SURVEYOR
NO. 714
MICHAEL R. DAHLBERG
LICENSED LAND SURVEYOR

CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE DURING MAY OF 2017. SAID SURVEY HAS AN ERROR OF CLOSURE BETTER THAN ONE PART IN TEN THOUSAND (1:10,000).

[Signature] 9-20-17
LICENSED LAND SURVEYOR DATE

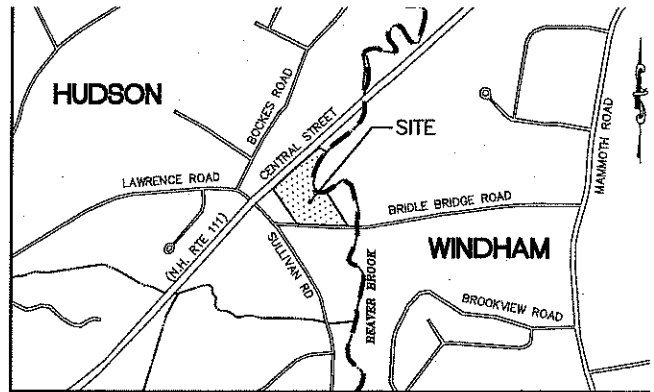
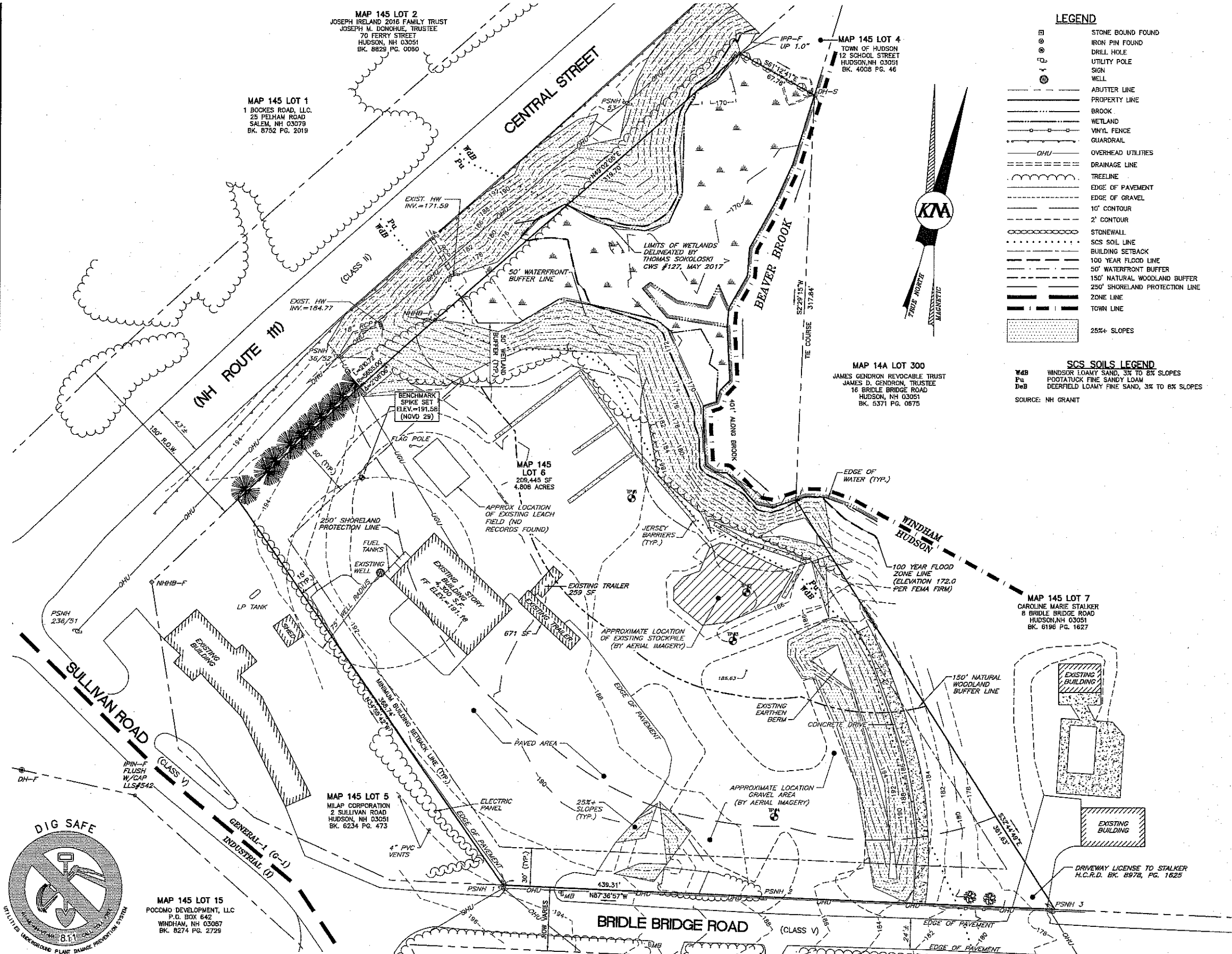
REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: JULY 20, 2017 SCALE: 1" = 60'
PROJECT NO: 17-0501-2 SHEET 1 OF 15

I:\Project\170501\Drawings\170501-2-SITE.dwg, 9/20/2017, 10:49:24 AM, \\ms-reviewer\CAVIN.MP.W6700.PS

T:\project\175012\p\p\Production\Drawings\175012 SITE.dwg, 9/20/2017 11:48:24 AM, View=external\KNA\MAP 146709.PS



REFERENCE PLANS:

- "LOT LINE RELOCATION ROUTE 111 & OLD ROUTE 111", SCALE: 1"=50', DATED: MAY 1980, BY: A.E. MAYNARD CIVIL ENGINEER. H.C.R.D. PLAN NO. 13141

NOTES:

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS PRESENT ON MAP 145 LOT 6 IN HUDSON, NEW HAMPSHIRE AS OF THE DATE OF FIELD SURVEY, AND NO OTHER PURPOSE.
- AREA OF PARCEL = 209,445 SF, OR 4.808 ACRES.
- MAP 145 LOT 8 INDICATES THE TOWN OF HUDSON TAX ASSESSOR'S MAP AND LOT NUMBER.
- OWNER OF RECORD:
FLYING CRUSHER, LLC.
22 MANCHESTER ROAD #7
DERRY, NH 03038
H.C.R.D. BK. 8973 PG. 0170
- THE SUBJECT PARCEL IS LOCATED WITHIN THE GENERAL 1 (G-1) ZONING DISTRICT AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REGULATIONS WITH PRIVATE SEWER AND WATER:
-MINIMUM LOT AREA 87,120 SF
-MINIMUM LOT FRONTAGE 200 FT
-MINIMUM BUILDING SETBACKS LOCAL COLLECTOR
30 FT 50 FT
-FRONT 15 FT 15 FT
-SIDE 15 FT 15 FT
-REAR 15 FT 15 FT
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE MAY OF 2017.
- WETLANDS WERE DELINEATED BY THOMAS SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127, OF T.E.S. ENVIRONMENTAL CONSULTANTS, LLC IN MAY OF 2017.
- AN EXAMINATION OF THE FEDERAL EMERGENCY FLOOD MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 330103036D, PANEL NUMBER 536D, EFFECTIVE DATE SEPTEMBER 25, 2009 INDICATES THAT A PORTION OF THE PREMISES IS LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN.
- VERTICAL DATUM IS NGVD 29, HORIZONTAL DATUM IS NAD 83. THE DATA WAS OBTAINED FROM NHDOT DISK-228-020 SET IN LEDGE ON WASON ROAD, HUDSON, NH.
- SUBJECT PARCEL IS SERVICED BY PRIVATE WELL AND PRIVATE SEPTIC.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN HEREON ARE ONLY THOSE FOUND WITHIN THE AREA OF KNA FIELD SURVEY AND ARE SOLELY BASED UPON VISIBLE SURFACE EVIDENCE. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 811.

THOMAS SOKOLOSKI
No. 127
CERTIFIED WETLAND SCIENTIST

THOMAS SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127 OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH PERFORMED THE WETLAND MAPPING IN MAY OF 2017 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE INTERIM REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTH-CENTRAL AND NORTHEAST REGIONS, OCTOBER 2009

EXISTING CONDITIONS PLAN
FLYING CRUSHER, LLC.
MAP 145 LOT 6
4 BRIDLE BRIDGE ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
FLYING CRUSHER, LLC.
22 MANCHESTER ROAD #7
DERRY, NEW HAMPSHIRE 03038
H.C.R.D. BK. 8973 PG. 0170

APPLICANT:
FLYING CRUSHER, LLC.
22 MANCHESTER ROAD #7
DERRY, NEW HAMPSHIRE 03038

KNA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE DURING MAY OF 2017. SAID SURVEY HAS AN ERROR OF CLOSURE BETTER THAN ONE PART IN TEN THOUSAND (1:10,000).

Michael R. Dahlberg
MICHAEL R. DAHLBERG
LICENSED LAND SURVEYOR

DATE: JULY 20, 2017
PROJECT NO: 17-0501-2
SCALE: 1" = 40'
SHEET 2 OF 15

REVISIONS			
No.	DATE	DESCRIPTION	BY

DIG SAFE

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____

SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

REMOVALS/DEMOLITION NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING FEATURES ON SITE TO BE REMOVED, SALVAGED, OR REPLACED.
2. ALL STUMPS, ROOTS, BRANCHES, BRUSH, WOODS AND OTHER PERISHABLE MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATIONS SHALL BE DISPOSED OF BY AN APPROVED METHOD.
3. ITEMS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH THE TOWN OF HUDSON REQUIREMENTS, UNLESS OTHERWISE SHOWN HEREON OR DIRECTED BY OWNER.
4. ALL EXISTING PAVEMENT AND GRAVEL WITHIN THE CROSS HATCHED AREA IS TO BE REMOVED DURING THE DEMOLITION PHASE OF THE PROJECT. EXCESS MATERIAL FROM THESE AREAS SHALL BE APPROPRIATELY DISPOSED OF OFFSITE BY AN APPROVED METHOD.
5. THE CONTRACTOR SHALL CONTROL ALL DUST GENERATED DURING THE REMOVAL PHASE AND CONSTRUCTION PHASE SO THAT NO DUST LEAVES THE SITE.
6. ANY MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE RESET BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR AT THE SITE CONTRACTORS EXPENSE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
8. DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

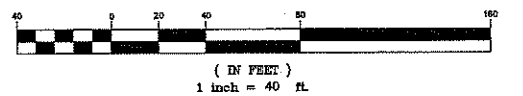


LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- ⊙ DRILL HOLE
- ⊕ UTILITY POLE
- ⊖ SIGN
- ⊗ WELL
- ABUTTER LINE
- PROPERTY LINE
- BROOK
- WETLAND
- VINYL FENCE
- GUARDRAIL
- OHU OVERHEAD UTILITIES
- DRAINAGE LINE
- TREELINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- STONEWALL
- BUILDING SETBACK
- 100 YEAR FLOOD LINE
- 50' WATERFRONT BUFFER
- 150' NATURAL WOODLAND BUFFER
- 250' SHORELAND PROTECTION LINE
- SAWCUT LINE
- ORANGE CONSTRUCTION FENCE
- ⊠ GRAVEL/PAVEMENT TO BE REMOVED



GRAPHIC SCALE



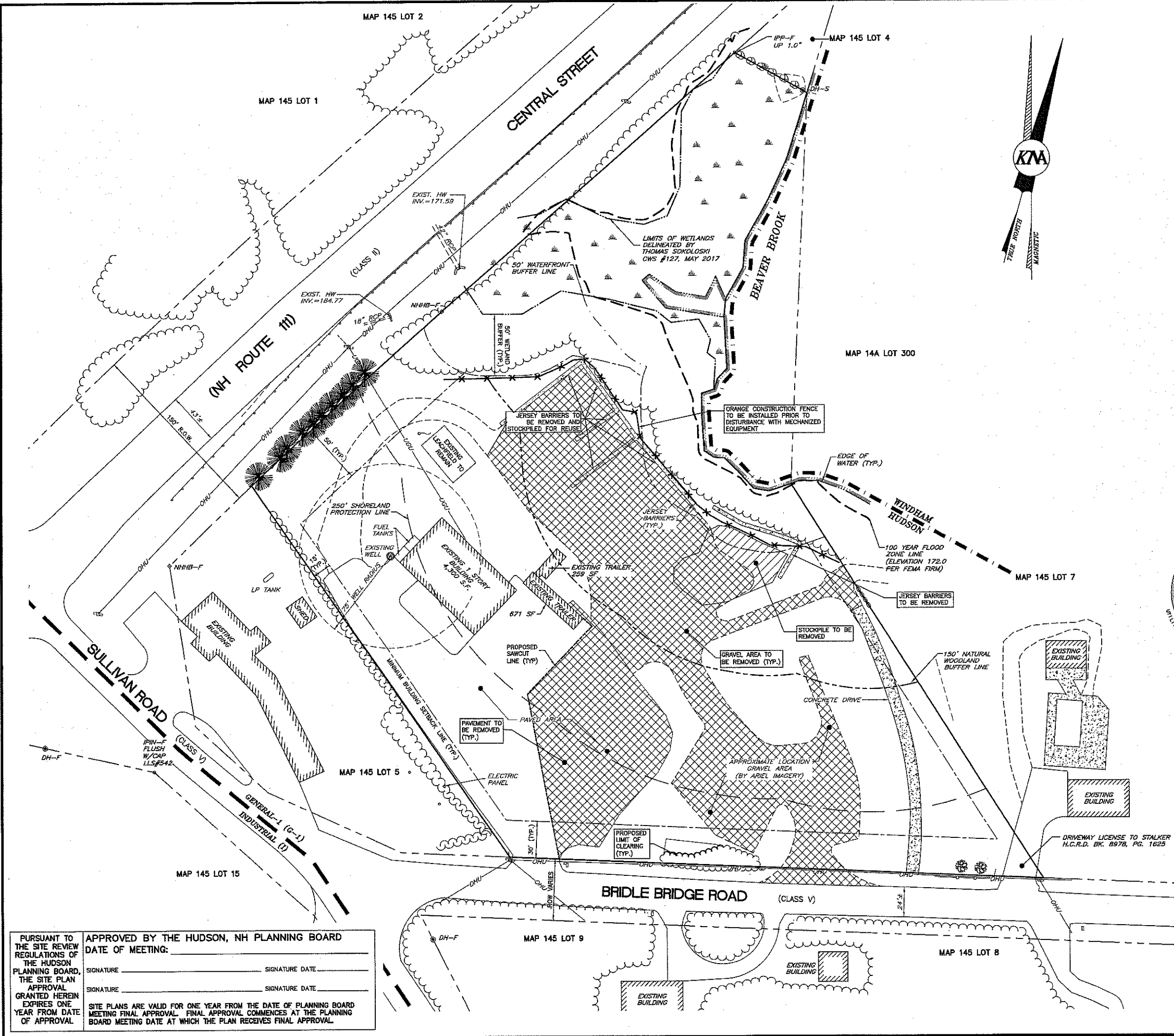
REMOVALS/DEMOLITION PLAN
FLYING CRUSHER, LLC.
 MAP 145 LOT 6
 4 BRIDLE BRIDGE ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD: FLYING CRUSHER, LLC. 22 MANCHESTER ROAD #7 DERRY, NEW HAMPSHIRE 03038 H.C.R.D. BK. 8973 PG. 0170	APPLICANT: FLYING CRUSHER, LLC. 22 MANCHESTER ROAD #7 DERRY, NEW HAMPSHIRE 03038 H.C.R.D. BK. 8973 PG. 0170
--	--

KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 38, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JULY 20, 2017 SCALE: 1" = 40'
 PROJECT NO: 17-0501-2 SHEET 3 OF 15

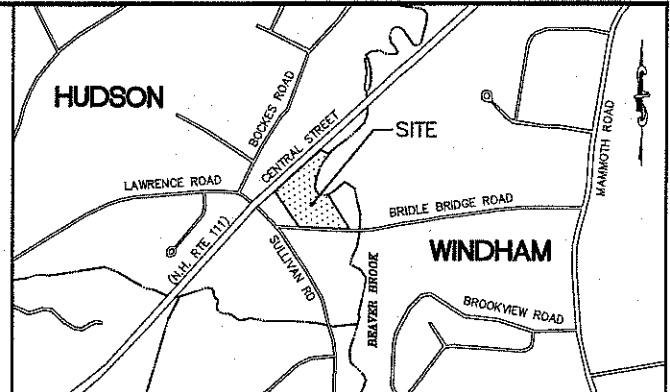


PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE _____ SIGNATURE DATE _____
 SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

A:\projects\170501-2\dwg\Production Drawings\170501-2_Site.dwg, 8/20/2017 11:15:57 AM, \\usa-renderer\cavin\p\170501-2.dwg



LOCUS PLAN
SCALE: 1" = 1,000'

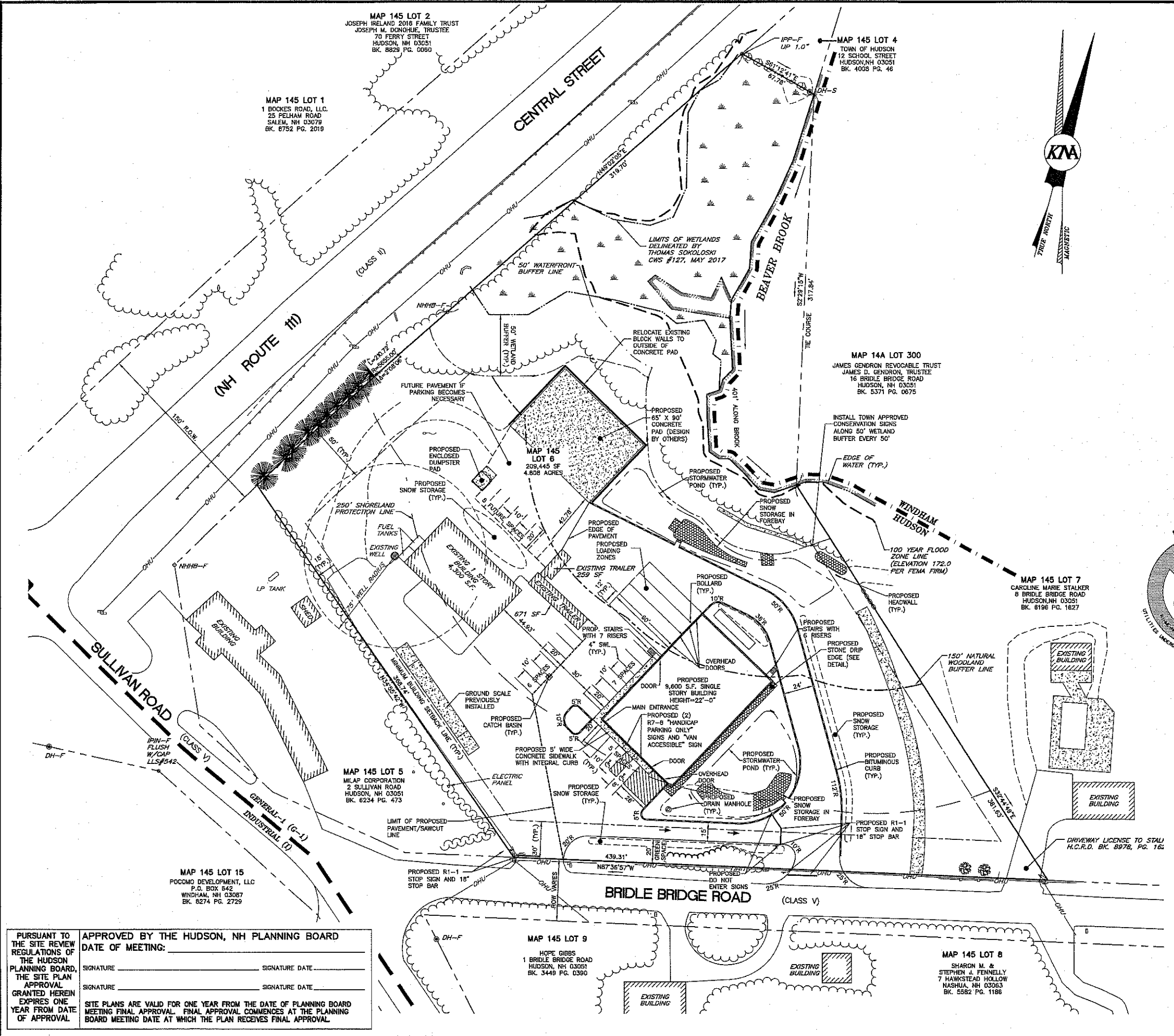
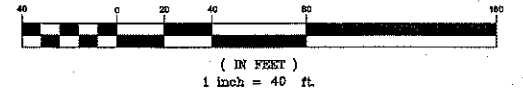
SEE SHEET 1 FOR
GENERAL NOTES AND
REFERENCE PLANS

LEGEND

- IPIN-F IRON PIN FOUND
- ⊙ DH-F DRILL HOLE FOUND
- ⊕ UTILITY POLE
- ⊕ SIGN
- ⊕ LIGHT
- ⊕ DRAINAGE MANHOLE
- ⊕ CATCH BASIN
- ⊕ OVERHEAD UTILITIES
- ⊕ TREE LINE
- ⊕ ABUTTER LINE
- ⊕ PROPERTY LINE
- ⊕ WETLAND
- ⊕ EDGE OF PAVEMENT
- ⊕ EDGE OF GRAVEL
- ⊕ BUILDING SETBACK
- ⊕ EASEMENT
- ⊕ 100 YEAR FLOOD LINE
- ⊕ 50' WATERFRONT BUFFER
- ⊕ 150' NATURAL WOODLAND BUFFER
- ⊕ 250' SHORELAND PROTECTION LINE
- ⊕ PROPOSED EDGE OF PAVEMENT
- ⊕ PROPOSED BITUMINOUS CURB
- ⊕ PROPOSED SNOW STORAGE
- ⊕ PROPOSED TREELINE



GRAPHIC SCALE



NON-RESIDENTIAL SITE LAYOUT
FLYING CRUSHER, LLC.
MAP 145 LOT 6
4 BRIDLE BRIDGE ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: FLYING CRUSHER, LLC. 22 MANCHESTER ROAD #7 DERRY, NEW HAMPSHIRE 03038 H.C.R.D. BK. 8973 PG. 0170	APPLICANT: FLYING CRUSHER, LLC. 22 MANCHESTER ROAD #7 DERRY, NEW HAMPSHIRE 03038 H.C.R.D. BK. 8973 PG. 0170
--	--

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JULY 20, 2017 SCALE: 1" = 40'
PROJECT No: 17-0501-2 SHEET 4 OF 15

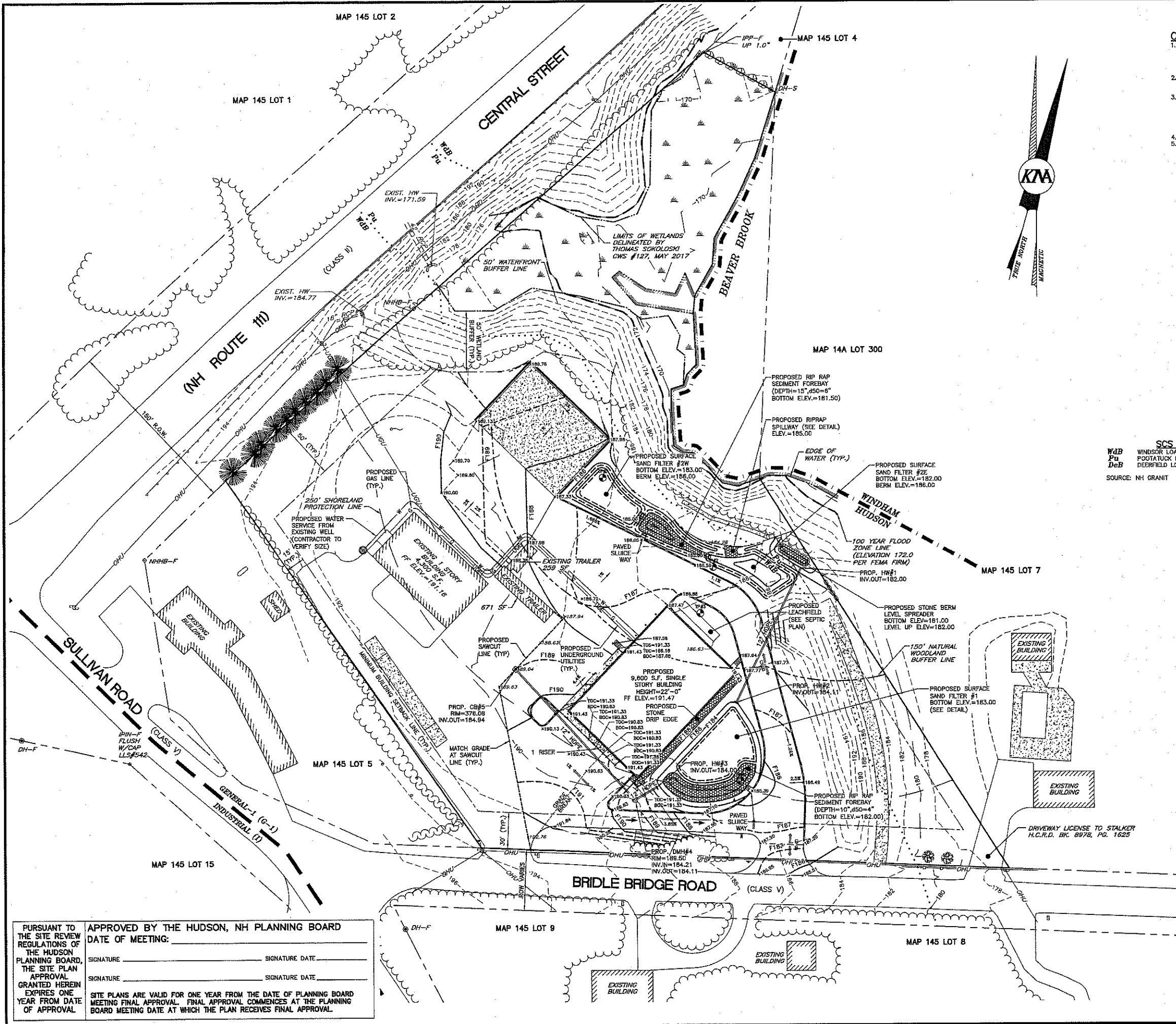
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____
SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

P:\proj\170501-2\map170501-2\production\Drawings\170501-2 SITE.dwg, 9/20/2017 11:48:50 AM, I:\na\newhamsh\SAVINR\MAP\170501-2



- CONSTRUCTION NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPARTMENT, HUDSON, NEW HAMPSHIRE.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
 4. SEE CONSTRUCTION DETAILS FOR SPECIFIC CONSTRUCTION INFORMATION.
 5. CONTRACTOR TO COORDINATE ELECTRICAL CONDUITS TO PROPOSED BUILDING THROUGH LOCAL VENDOR.

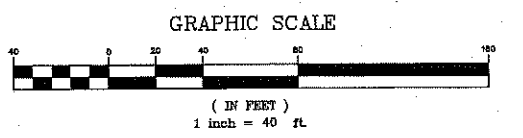
LOAM & SEED ALL DISTURBED AREAS (TYP.)

- LEGEND**
- ⊗ STONE BOUND FOUND
 - ⊙ IRON PIN FOUND
 - DRILL HOLE
 - ⊕ UTILITY POLE
 - ⊙ SIGN
 - ⊙ WELL
 - ABUTTER LINE
 - PROPERTY LINE
 - BROOK
 - WETLAND
 - VINYL FENCE
 - GUARDRAIL
 - OHU OVERHEAD UTILITIES
 - DRAINAGE LINE
 - TREELINE
 - EDGE OF PAVEMENT
 - EDGE OF GRAVEL
 - 10' CONTOUR
 - 2' CONTOUR
 - STONEWALL
 - SCS SOIL LINE
 - BUILDING SETBACK
 - 100 YEAR FLOOD LINE
 - 50' WATERFRONT BUFFER
 - 150' NATURAL WOODLAND BUFFER
 - 250' SHORELAND PROTECTION LINE
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED BITUMINOUS CURB
 - SAWCUT LINE
 - PROPOSED TREELINE
 - PROPOSED 2' CONTOUR
 - UGE PROPOSED UTILITIES
 - W PROPOSED WATER
 - G PROPOSED GAS

SCS SOILS LEGEND

WdB WINDSOR LOAMY SAND, 3% TO 8% SLOPES
 Pu FOOTLOCK FINE SANDY LOAM
 DeB DEERFIELD LOAMY FINE SAND, 3% TO 8% SLOPES

SOURCE: NH GRANT



GRADING, DRAINAGE & UTILITY PLAN
FLYING CRUSHER, LLC.
 MAP 145 LOT 6
 4 BRIDLE BRIDGE ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD: FLYING CRUSHER, LLC. 22 MANCHESTER ROAD #7 DERRY, NEW HAMPSHIRE 03038 H.C.R.D. BK. 8973 PG. 0170	APPLICANT: FLYING CRUSHER, LLC. 22 MANCHESTER ROAD #7 DERRY, NEW HAMPSHIRE 03038 H.C.R.D. BK. 8973 PG. 0170
--	--

KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 36, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JULY 20, 2017 SCALE: 1"=40'
 PROJECT NO: 17-0501-2 SHEET 5 OF 15

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____

SIGNATURE _____ SIGNATURE DATE _____



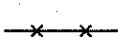





SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

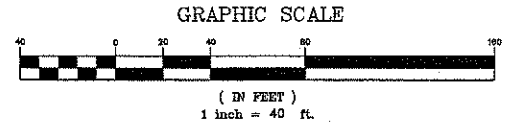
L:\projects\170501\2\dwg\Production Drawings\170501-2-SITE.dwg, 9/20/2017 11:53:36 AM, W:\na-newswen\SAVIN MP W6700.FS

- EROSION CONTROL NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES AS WELL AS THE PERMANENT EROSION CONTROL MEASURES.
 2. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME.
 3. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
 4. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
 5. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
 6. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
 7. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
 8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
 9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
 10. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
 11. SNOW ACCUMULATED DURING THE WINTER CONSTRUCTION CONDITIONS SHOULD BE STORED IN THE STAGING & STOCKPILE AREA DETERMINED BY THE CONTRACTOR, SURROUNDED BY SILT FENCE.

LOAM & SEED ALL DISTURBED AREAS (TYP.)

EROSION & SEDIMENT CONTROL LEGEND

-  PERMANENT OUTLET PROTECTION APRON (RIP RAP)
-  TEMPORARY DANDY BAG AT ALL CATCH BASINS
-  DOUBLE SEDIMENT BARRIER SILT SOCK / ORANGE SILT FENCE
-  LIMITS OF CLEARING
-  STABILIZED CONSTRUCTION EXIT
-  NON DISTURBANCE AREA
-  STAGING AND STOCKPILE AREA
-  EROSION CONTROL BLANKETS



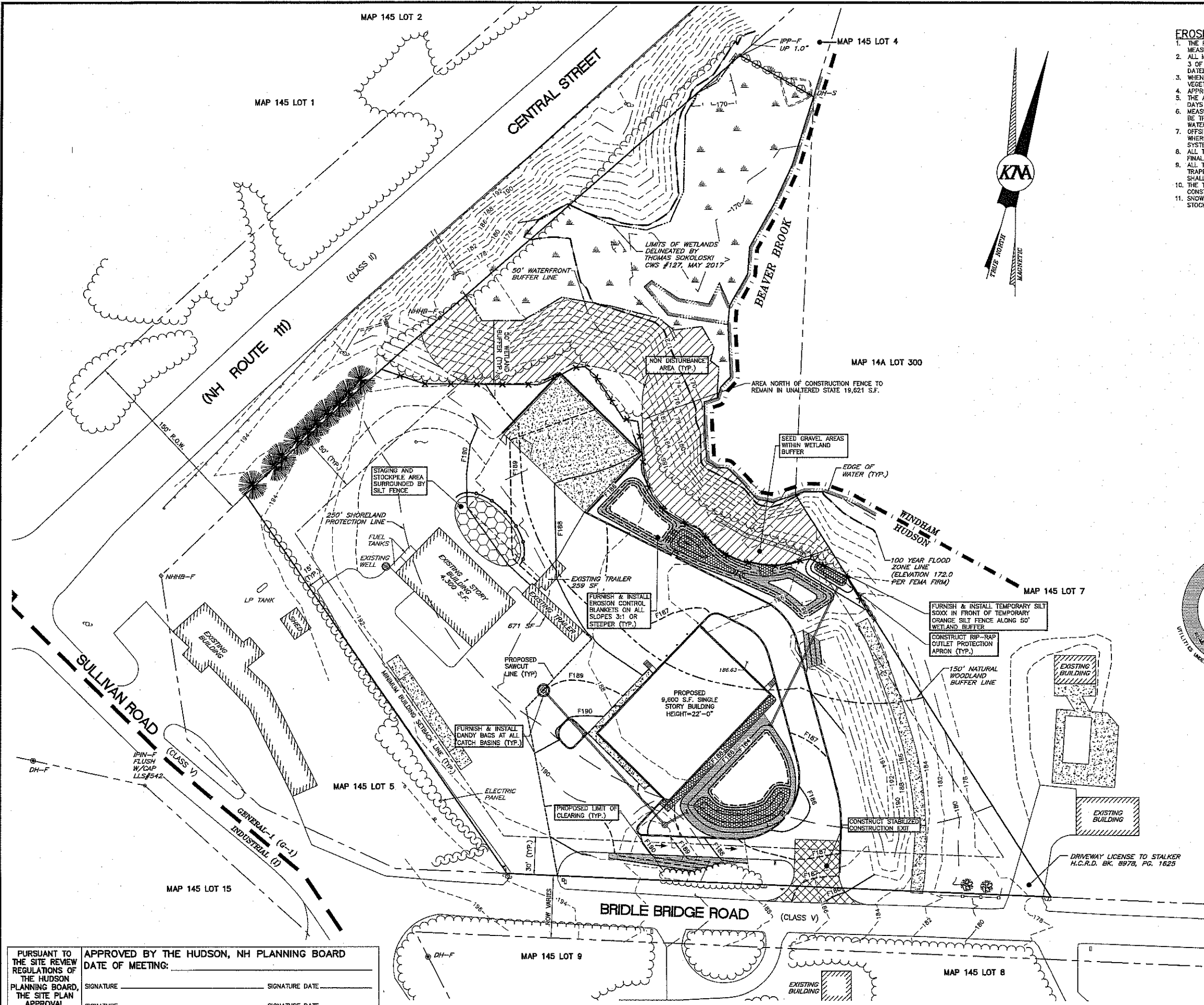
EROSION CONTROL PLAN
FLYING CRUSHER, LLC.
 MAP 145 LOT 6
 4 BRIDLE BRIDGE ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD: FLYING CRUSHER, LLC. 22 MANCHESTER ROAD #7 DERRY, NEW HAMPSHIRE 03038 H.C.R.D. BK. 8978, PG. 0170	APPLICANT: FLYING CRUSHER, LLC. 22 MANCHESTER ROAD #7 DERRY, NEW HAMPSHIRE 03038 H.C.R.D. BK. 8973 PG. 0170
---	--

KM KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 2B, Bedford, NH 03110 Phone (603) 627-2681

REVISIONS			
No.	DATE	DESCRIPTION	BY

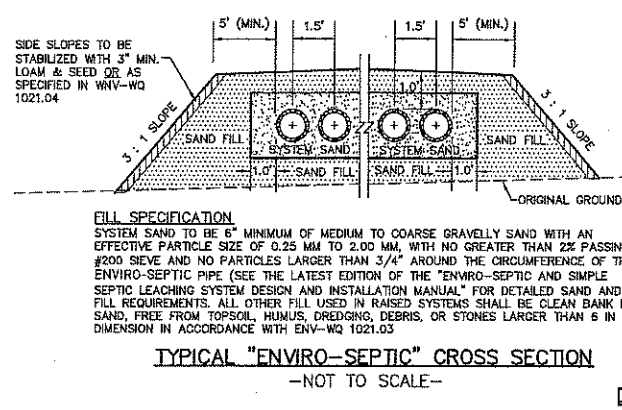
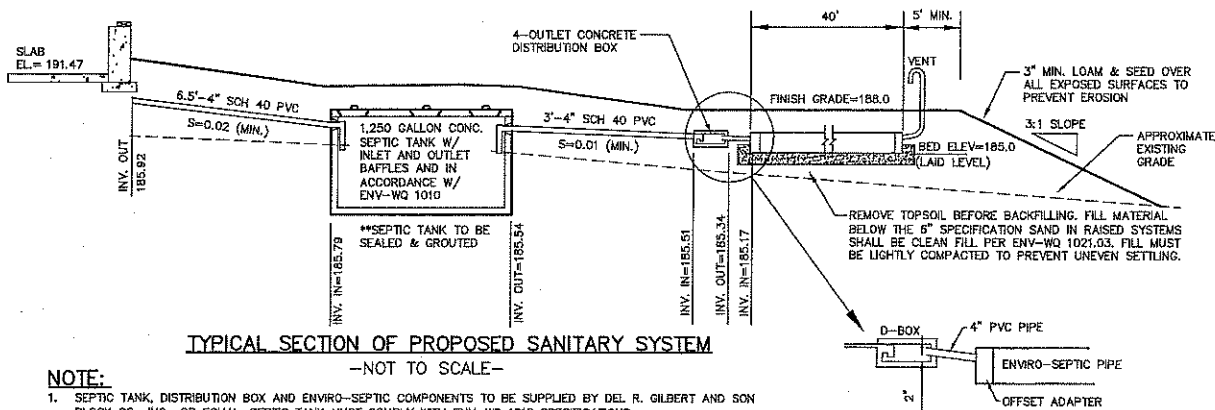
DATE: JULY 20, 2017 SCALE: 1" = 40'
 PROJECT NO: 17-0501-2 SHEET 6 OF 15



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

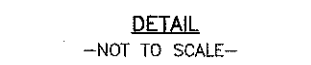
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE _____ SIGNATURE DATE _____
 SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

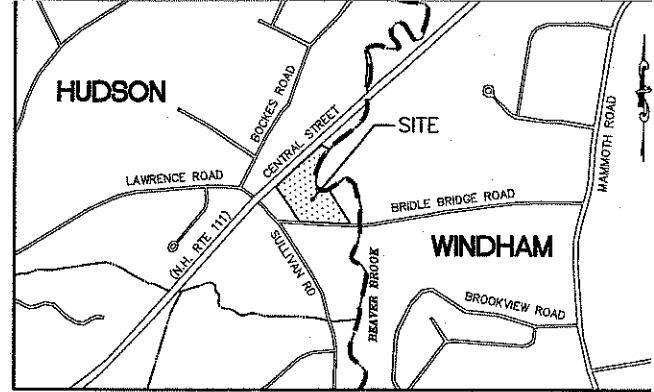


NOTE:

- SEPTIC TANK, DISTRIBUTION BOX AND ENVIRO-SEPTIC COMPONENTS TO BE SUPPLIED BY DEL R. GILBERT AND SON BLOCK CO., INC., OR EQUAL. SEPTIC TANK MUST COMPLY WITH ENV-WQ 1010 SPECIFICATIONS.
- ENVIRO-SEPTIC LEACHING SYSTEM TO BE INSTALLED IN STRICT ACCORDANCE WITH SPECIFICATIONS CONTAINED WITHIN CURRENT EDITION OF THE PRESBY WASTEWATER TREATMENT SYSTEM - NEW HAMPSHIRE DESIGN AND INSTALLATION MANUAL FOR ADVANCED ENVIRO-SEPTIC®, ENVIRO-SEPTIC®, AND SIMPLE SEPTIC® WASTEWATER TREATMENT SYSTEMS.



FILL SPECIFICATION
 SYSTEM SAND TO BE 6" MINIMUM OF MEDIUM TO COARSE GRAVELLY SAND WITH AN EFFECTIVE PARTICLE SIZE OF 0.25 MM TO 2.00 MM, WITH NO GREATER THAN 2% PASSING A #200 SIEVE AND NO PARTICLES LARGER THAN 3/4" AROUND THE CIRCUMFERENCE OF THE ENVIRO-SEPTIC PIPE (SEE THE LATEST EDITION OF THE "ENVIRO-SEPTIC AND SIMPLE SEPTIC LEACHING SYSTEM DESIGN AND INSTALLATION MANUAL" FOR DETAILED SAND AND FILL REQUIREMENTS. ALL OTHER FILL USED IN RAISED SYSTEMS SHALL BE CLEAN BANK RUN SAND, FREE FROM TOPSOIL, HUMUS, DREDGING, DEBRIS, OR STONES LARGER THAN 6 IN ANY DIMENSION IN ACCORDANCE WITH ENV-WQ 1021.03.



DESIGN CRITERIA
 PROPOSED INDUSTRIAL / OFFICE USE
 5 EMPLOYEES = 50 GPD - MIN. DESIGN 300 GPD
 PERCOLATION RATE: 6 MIN/INCH @ TP#3

REQUIRED LEACHING AREA USING ENVIRO-SEPTIC PIPE
 150 L.F. OF ENVIRO-SEPTIC PIPE
 (PER ENVIRO-SEPTIC DESIGN MANUAL)

LEACHING AREA PROVIDED
 180 L.F. ENVIRO-SEPTIC PIPE
 4 ROWS @ 40 L.F. EACH

SEPTIC TANK CAPACITY REQUIRED
 LIQUID CAPACITY AS PER ENV-WQ ENV-Hq 1010.02, 300-500 GPD COMMERCIAL, REQUIRED CAPACITY IS 1,250 GALLONS

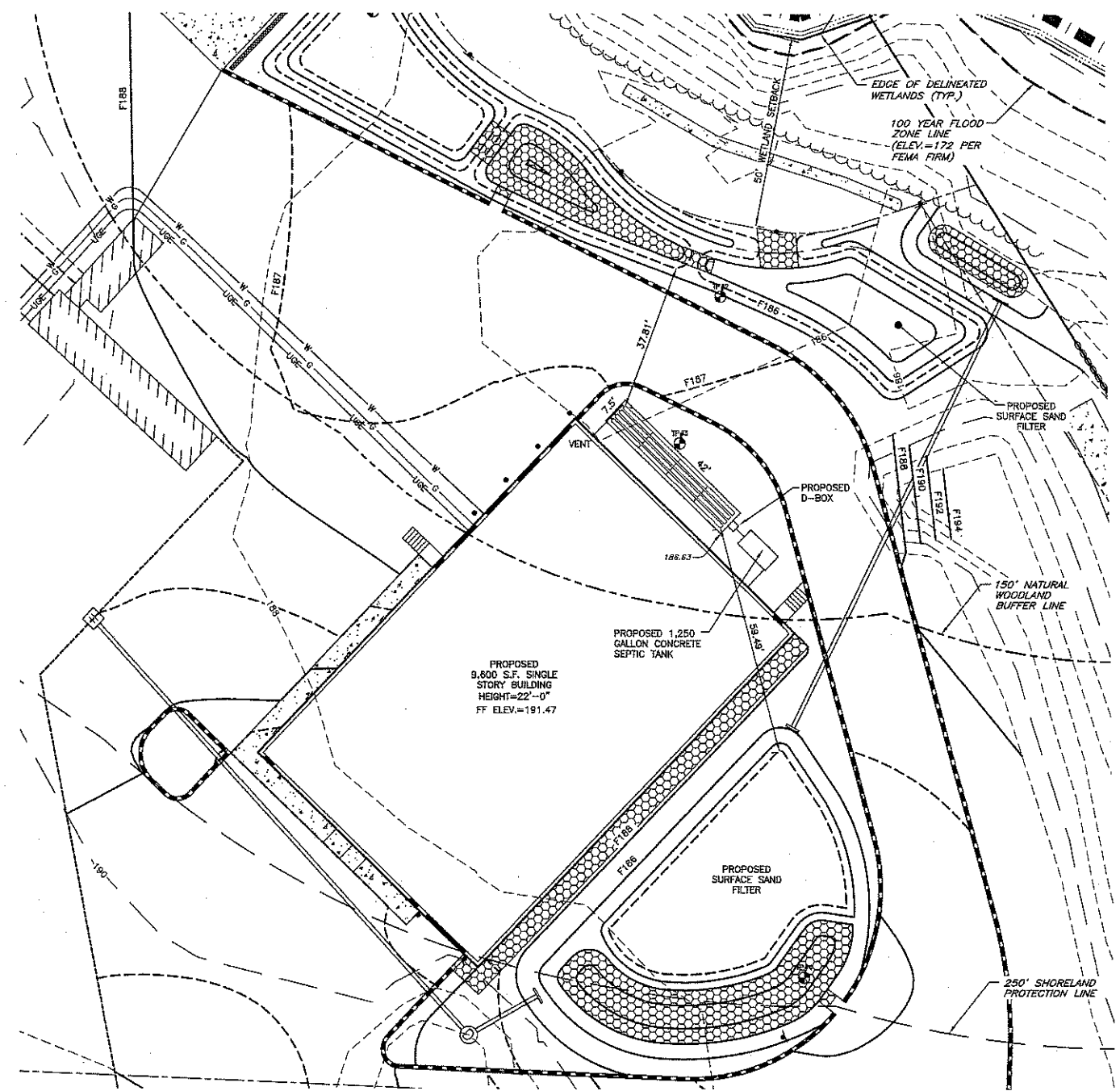
SEPTIC TANK CAPACITY PROVIDED
 1-1,250 GALLON PRECAST CONCRETE SEPTIC TANK;
 PROPOSED SEPTIC TANK SHALL COMPLY WITH ALL CONDITIONS SET FORTH IN ENV-WQ 1010.

NOTE: THIS SYSTEM HAS NOT BEEN DESIGNED FOR USE WITH A GARBAGE DISPOSAL.

DESIGN INTENT:
 BOTTOM OF EFFLUENT DISPOSAL AREA TO BE SET NO LOWER THAN 5.50' BELOW THE HIGHEST EXISTING GRADE (EL. 186.63 AS DEPICTED ON THE PLAN) IN ORDER TO EXCEED A 30-INCH SEPARATION FROM THE E.S.H.W.T. AND THE BOTTOM OF THE EFFLUENT DISPOSAL PIPE WHEN USING AN "ENVIRO-SEPTIC" WASTEWATER TREATMENT SYSTEM.

- GENERAL NOTES:**
- REFERENCE THIS PARCEL AS HUDSON MAP 145 LOT 6.
 - TOTAL AREA OF PARCEL IS 209,445 S.F.
 - LOT IS TO BE SERVED BY ON-SITE SUBSURFACE SEWAGE DISPOSAL SYSTEM AND PRIVATE WELL.
 - ALL PIPE PENETRATIONS INTO STRUCTURES AND TANK JOINTS SHALL BE SEALED WITH A NON-SHRINK HYDRAULIC CEMENT (NOT ROOF TAR) SO AS TO BE WATER TIGHT.
 - NO EXPOSED LEDGE, WATER WELLS OR OPEN WATER WAYS WITHIN 100 FEET OF THE PROPOSED SEPTIC SYSTEM. NO POORLY DRAINED SOILS WITHIN 50 FEET OF PROPOSED SYSTEM. NO VERY POORLY DRAINED SOILS WITHIN 75- FEET OF PROPOSED SYSTEM.
 - REPLACEMENT OF SYSTEM TO BE DONE IN KIND WHEN AND/OR IF NEEDED.
 - SOIL MAPPING TAKEN FROM THE LATEST PUBLICATION OF THE U.S.D.A.-S.C.S. SOIL SURVEY, SUGGESTS THE SUBJECT PARCEL CONSISTS OF THE FOLLOWING MAPPING UNITS.
 Wob - WINDSOR LOAMY SAND; 3% TO 8% SLOPES
 - SYSTEM IS NOT DESIGNED FOR THE DISPOSAL OF HAZARDOUS WASTE OR DISCHARGE FROM A WATER CONDITIONING SYSTEM.

OPERATING REQUIREMENTS
 THE SEPTIC TANK SHALL BE INSPECTED FOR ACCUMULATION OF SLUDGE AND SURFACE SCUM AT LEAST ONCE EVERY YEAR. WHEN THE COMBINED THICKNESS OF THE SLUDGE AND SURFACE SCUM EQUALS 1/3 OR MORE OF TANK DEPTH, THE TANK SHALL BE PUMPED BY A LICENSED SEPTIC HAULER.
 TO PREVENT OBSTRUCTION OF THE DISTRIBUTION LINES AND LEACH FIELD, GREASE AND BULKY WASTES SHALL NOT BE FLUSHED OR INTRODUCED INTO THE SEPTIC SYSTEM.
 TOXIC OR HAZARDOUS MATERIALS SHALL NOT BE INTRODUCED INTO THE SEPTIC SYSTEM.
 TO PREVENT DAMAGE TO THE DISTRIBUTION LINES AND LEACH FIELD, VEHICLES, LIVESTOCK AND ANY OTHER HEAVY OBJECTS SHALL NOT BE ALLOWED ON THE LEACH FIELD UNLESS IT IS DESIGNED TO MEET H-20 LOADING.
 IF WET AREAS APPEAR ON THE GROUND SURFACE OR IF ODORS OCCUR, THE SYSTEM SHALL BE INSPECTED FOR THE SOURCE OF THE PROBLEM, AND ACTION SHALL BE TAKEN TO CORRECT THE PROBLEM(S).



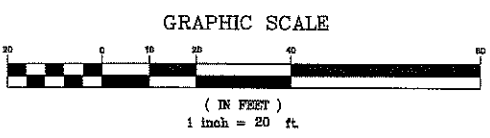
TP #3
 LOGGED BY GPC
 PERC TEST @ 20"
 DATE: 6-4-2017
 PERC RATE: 2 MIN/INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

CONSTRUCTION DEBRIS / CRUSHED CONCRETE FILL

10YR 7/4, WEAK GRANULAR, FRIABLE, SAND,



NOTE:
 THIS SEPTIC SYSTEM DESIGN PLAN SPECIFIES THE USE OF AN ENVIRO-SEPTIC® LEACHING SYSTEM WHICH CAN NOT BE SUBSTITUTED WITH ANY OTHER SIMILAR MATERIAL.



SEPTIC PLAN
FLYING CRUSHER, LLC.
 MAP 145 LOT 6
 4 BRIDLE BRIDGE ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

<p>OWNER OF RECORD: FLYING CRUSHER, LLC. 22 MANCHESTER ROAD #7 DERRY, NEW HAMPSHIRE 03038 H.C.R.D. BK. 8973 PG. 0170</p>	<p>APPLICANT: FLYING CRUSHER, LLC. 22 MANCHESTER ROAD #7 DERRY, NEW HAMPSHIRE 03038</p>
---	---

KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 2B, Bedford, NH 03110 Phone (603) 887-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JULY 20, 2017
 PROJECT NO: 17-0501-2

SCALE: 1" = 20'
 SHEET 7 OF 15

- LANDSCAPE NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE LANDSCAPE WHICH PROVIDES CLIMATIC RELIEF AND AESTHETIC APPEAL.
 2. ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOW HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTIES TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
 3. IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS: ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% PEATMOSS AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
 4. PLANTING BEDS AND SAUCERS SHALL RECEIVE A 4" MINIMUM THICKNESS OF PINE/HEMLOCK BARK MULCH OVER A 5oz. POLYPROPYLENE WEED CONTROL FABRIC.
 5. PAVEMENT AND ROAD BASE MATERIAL ENCOUNTERED IN ANY LAWN OR PLANTING BED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AND SUITABLE AMENDED SOIL INSTALLED AS SPECIFIED IN THE TURF ESTABLISHMENT SCHEDULE.

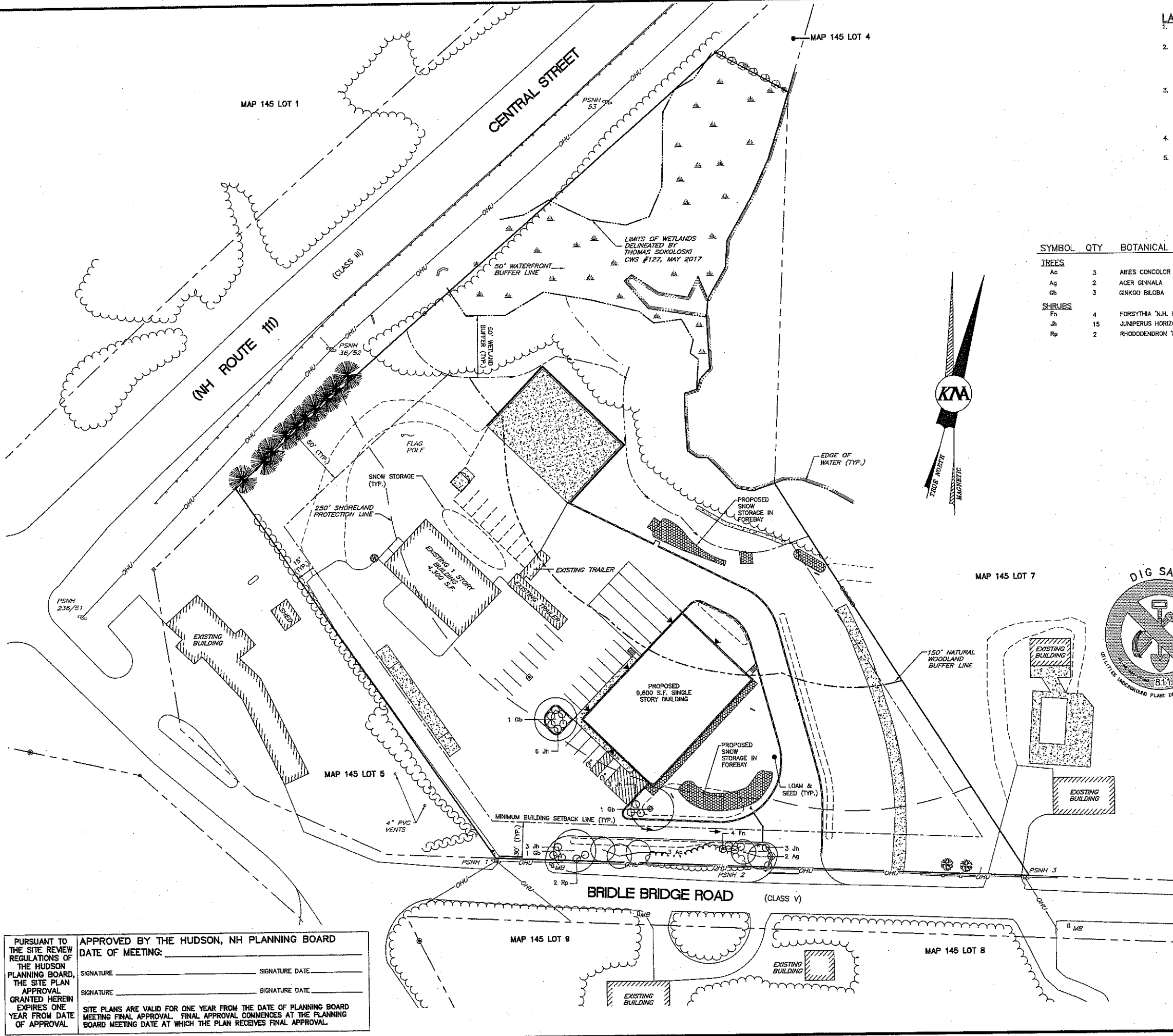
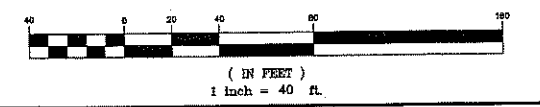
PLANT LIST

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT
TREES					
Ac	3	ABIES CONCOLOR	WHITE FIR	5-6' B&B	30-40'
Ag	2	ACER GINNALA	AMUR MAPLE	2-2.5' CAL.	15-20'
Gb	3	GINKGO BILOBA	MAIDENHAIR TREE	2-2.5' CAL.	40-50'
SHRUBS					
Fn	4	FORSYTHIA 'N.H. GOLD'	NEW HAMPSHIRE GOLD FORSYTHIA	18-24"	5-6'
Jh	15	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	#2	6-12"
Rp	2	RHODODENDRON 'P.J.M.'	P.J.M. RHODODENDRON	2-2.5' B&B	5-6'

LEGEND

- ⊙ IPIN-F IRON PIN FOUND
- ⊙ DH-F DRILL HOLE FOUND
- ⊙ U UTILITY POLE
- ⊙ S SIGN
- ⊙ L LIGHT
- ⊙ DM DRAINAGE MANHOLE
- ⊙ CB CATCH BASIN
- OHU OVERHEAD UTILITIES
- TREELINE
- ABUTTER LINE
- PROPERTY LINE
- WETLAND
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- BUILDING SETBACK
- EASEMENT
- 50' WATERFRONT BUFFER
- 150' NATURAL WOODLAND BUFFER
- 250' SHORELAND PROTECTION LINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED BITUMINOUS CURB
- SNOW STORAGE
- PROPOSED TREELINE

GRAPHIC SCALE



LANDSCAPE PLAN
FLYING CRUSHER, LLC.
 MAP 145 LOT 6
 4 BRIDLE BRIDGE ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD:
 FLYING CRUSHER, LLC.
 22 MANCHESTER ROAD #7
 DERRY, NEW HAMPSHIRE 03038
 H.C.R.D. BK. 8973 PG. 0170

APPLICANT:
 FLYING CRUSHER, LLC.
 22 MANCHESTER ROAD #7
 DERRY, NEW HAMPSHIRE 03038

KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerces Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: JULY 20, 2017 SCALE: 1" = 40'
 PROJECT NO: 17-0501-2 SHEET 8 OF 15

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

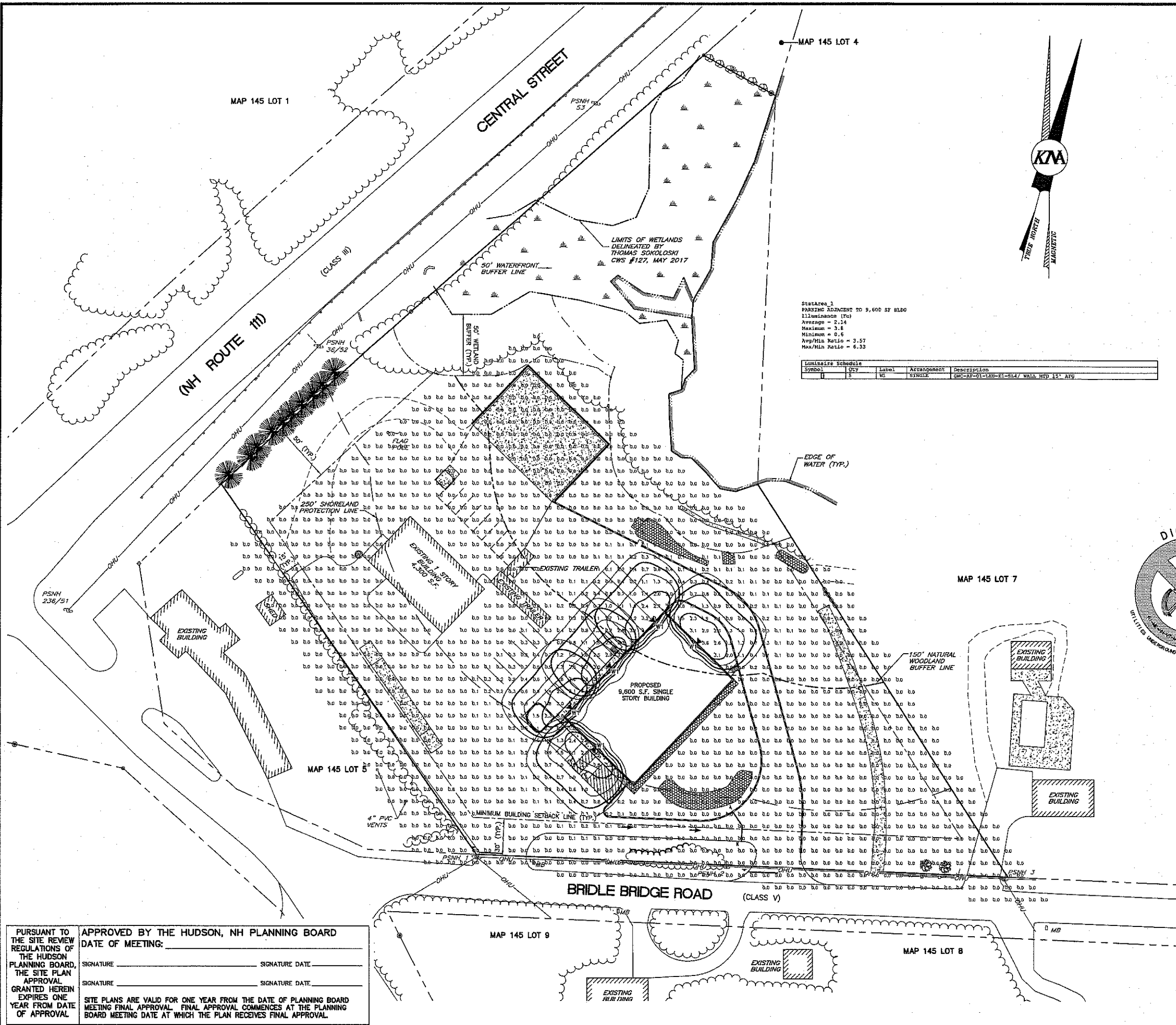
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____
 SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

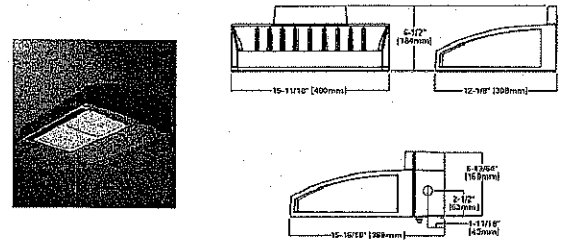
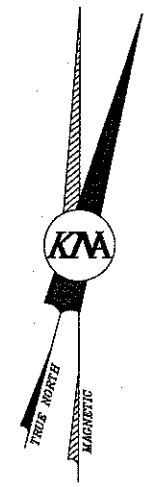
project\170501-2\p\Production Drawings\170501-2-LANDSCAPE LIGHTING.dwg, 9/20/2017 10:22:46 AM, Name: newswen\SAVIN, NP, 16570, PS

T:\project\1705012\dwg\production\Drawings\1705012-LANDSCAPE LIGHTING.dwg, 9/20/2017 11:24:43 AM, \\jmc-newhamp\svain\map\1707001.p

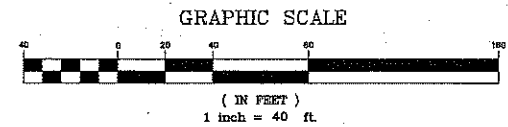


StatArea 1
 PARKING PLACEMENT TO 9,600 SF BLDG
 Illuminance (Fc)
 Average = 2.14
 Maximum = 3.8
 Minimum = 0.6
 Avg/Min Ratio = 3.57
 Max/Min Ratio = 6.33

Luminaire Schedule	Label	Arrangement	Description
1	027	WS	SINGLE
1	3	WS	GWC-AP-01-LAB-EI-SIA/ WALL MTD 15' AVG



GWC GALLEON WALL LUMINAIRE



IN ASSOCIATION WITH:

CHARRON
 INCORPORATED
 P.O. BOX 4550
 MANCHESTER NH 03105
 (603) 624-4827
 FAX (603) 624-0784

LIGHTING PLAN
FLYING CRUSHER, LLC.
 MAP 145 LOT 6
 4 BRIDLE BRIDGE ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD: FLYING CRUSHER, LLC. 22 MANCHESTER ROAD #7 DERRY, NEW HAMPSHIRE 03038 H.C.R.D. BK. 8973 PG. 0170	APPLICANT: FLYING CRUSHER, LLC. 22 MANCHESTER ROAD #7 DERRY, NEW HAMPSHIRE 03038
--	--

KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 88, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY

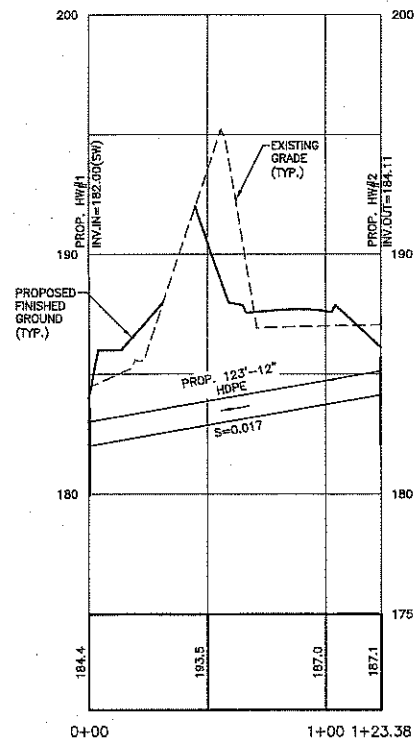
DATE: JULY 20, 2017 SCALE: 1" = 40'
 PROJECT NO: 17-0501-2 SHEET 9 OF 15

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

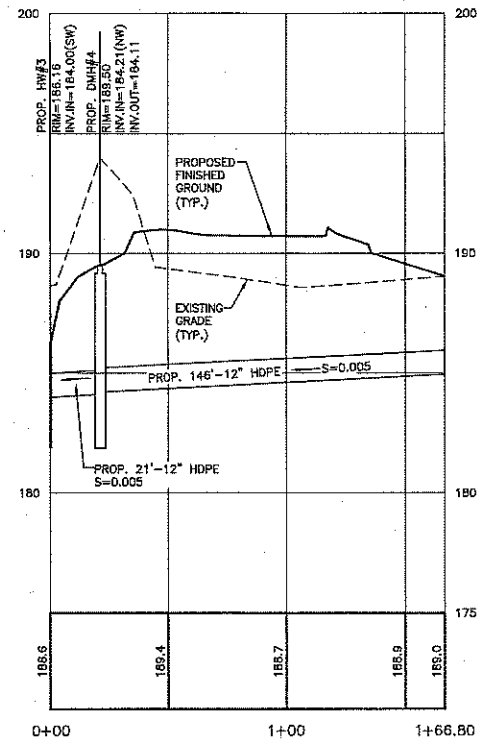
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____
 SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



PROP. HW#1 TO PROP. HW#2
 SCALE: 1" = 40' (HORIZ.)
 1" = 4' (VERT.)



PROP. HW#3 TO PROP. CB#5
 SCALE: 1" = 40' (HORIZ.)
 1" = 4' (VERT.)

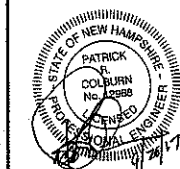


DRAINAGE PROFILES
FLYING CRUSHER, LLC.
 MAP 145 LOT 6
 4 BRIDLE BRIDGE ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD:
 FLYING CRUSHER, LLC.
 22 MANCHESTER ROAD #7
 DERRY, NEW HAMPSHIRE 03038
 H.C.R.D. BK. 8973 PG. 0170

APPLICANT:
 FLYING CRUSHER, LLC.
 22 MANCHESTER ROAD #7
 DERRY, NEW HAMPSHIRE 03038

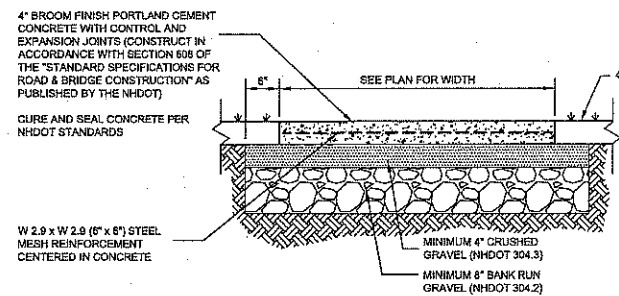
KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



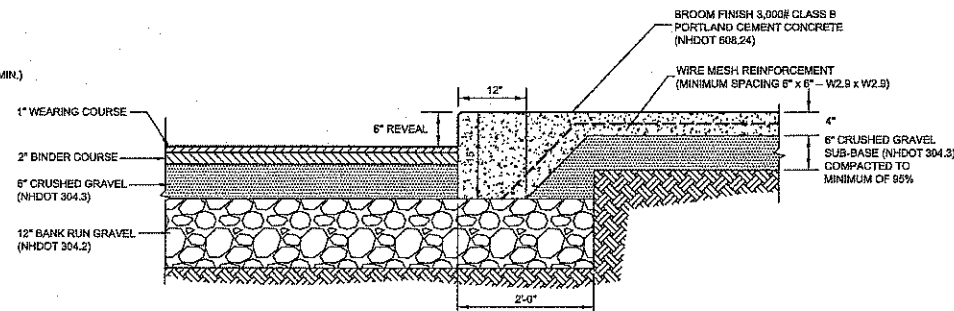
REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JULY 20, 2017 SCALE: AS SHOWN
 PROJECT NO: 17-0501-2 SHEET 10 OF 15

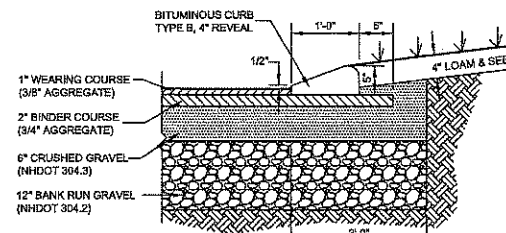
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.	APPROVED BY THE HUDSON, NH PLANNING BOARD	
	DATE OF MEETING: _____	
	SIGNATURE _____	SIGNATURE DATE _____
	SIGNATURE _____	SIGNATURE DATE _____
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.		



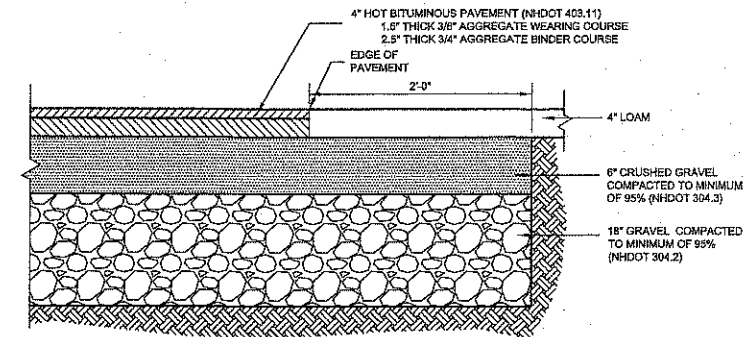
CONCRETE PAD DETAIL
NOT TO SCALE
(MARCH 2008)



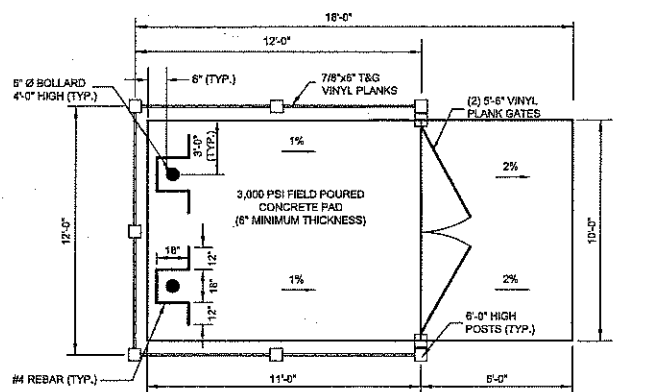
INTEGRAL CURB AND WALK DETAIL
NOT TO SCALE
(MARCH 2008)



BITUMINOUS CURB TYPE B DETAIL
NOT TO SCALE
(MARCH 2008)



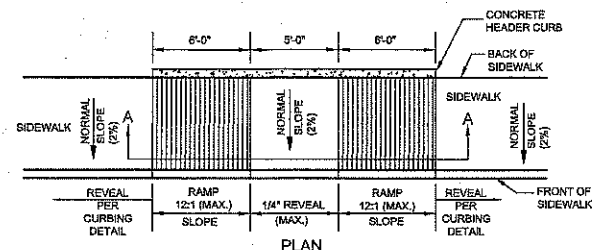
HEAVY VEHICLE DRIVEWAY AND PARKING LOT SECTION
NOT TO SCALE



VINYL TRASH ENCLOSURE DETAIL
NOT TO SCALE
(MARCH 2008)



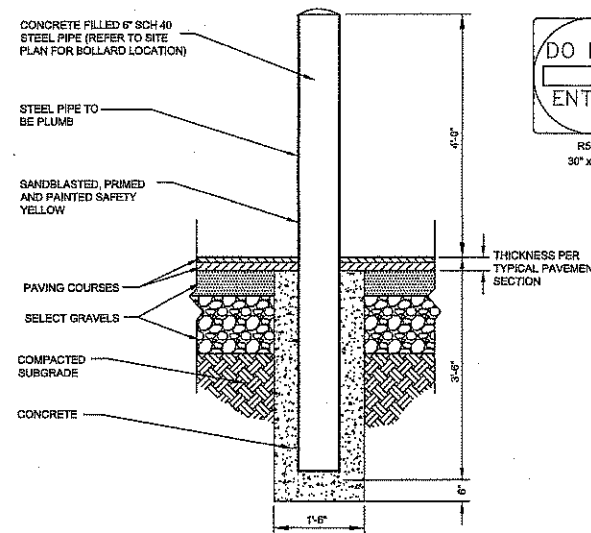
TOWN OF HUDSON
CONSERVATION COMMISSION
888-6008
TOWN ENGINEER
WETLAND CONSERVATION DISTRICT



SECTION A-A

- NOTES:**
1. A BROOM FINISH TRANSVERSE TO THE SLOPE OF THE RAMP SHALL BE USED ON PORTLAND CEMENT CONCRETE RAMPS.
 2. MAINTAIN THE NORMAL PAVEMENT PROFILE THROUGHOUT THE RAMP AREA.
 3. MAINTAIN A MAXIMUM 1/4" OF CURB REVEAL AT THE RAMP, SEE SECTION A-A

SIDEWALK RAMP
NOT TO SCALE
(JUNE 2012)

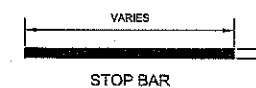


BOLLARD DETAIL
NOT TO SCALE
(MARCH 2008)

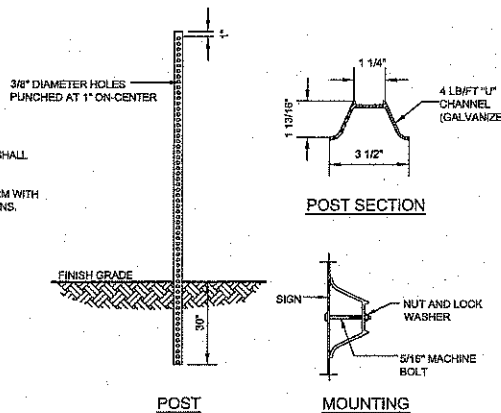


STOP SIGN DETAIL
NOT TO SCALE
(MARCH 2008)

- STRIPING NOTES:**
1. ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THESE STANDARDS AND THE CURRENT EDITION OF MUTCD.
 2. WIDTH OF LINES SHALL VARY NO MORE THAN 1/4 INCH FROM THAT SPECIFIED.
 3. THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED.
 4. OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.

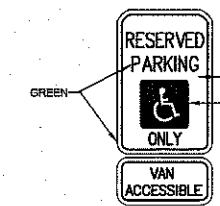


STOP BAR



STEEL SIGN POST DETAIL
NOT TO SCALE
(MARCH 2008)

NOTE:
POST SHALL CONFORM TO NHDOT 618.2.5.3



VAN ACCESSIBLE HANDICAP PARKING SIGN DETAIL
NOT TO SCALE
(MARCH 2008)

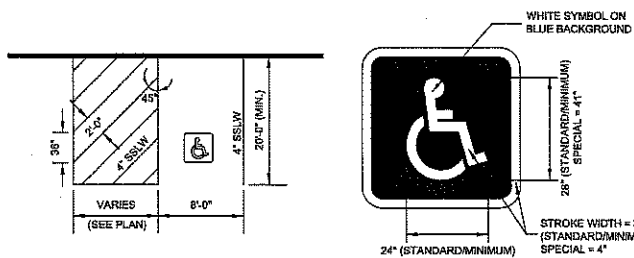
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____

SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



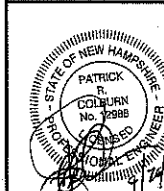
HANDICAP STRIPING DETAIL
NOT TO SCALE
(MARCH 2012)

CONSTRUCTION DETAILS
FLYING CRUSHER, LLC.
MAP 145 LOT 6
4 BRIDLE BRIDGE ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
FLYING CRUSHER, LLC.
22 MANCHESTER ROAD #7
DERRY, NEW HAMPSHIRE 03038
H.C.R.D. BK. 8973 PG. 0170

APPLICANT:
FLYING CRUSHER, LLC.
22 MANCHESTER ROAD #7
DERRY, NEW HAMPSHIRE 03038

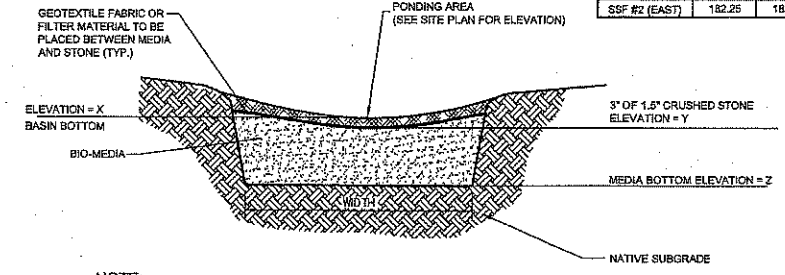
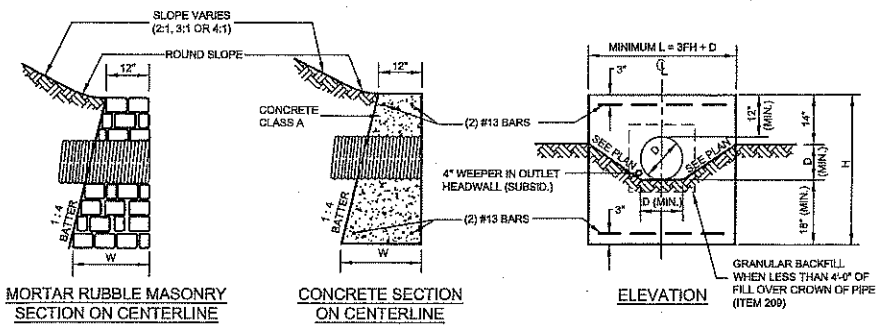
KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JULY 20, 2017 SCALE: AS SHOWN
PROJECT NO: 17-0501-2 SHEET 11 OF 15

	X	Y	Z
SSF #1	183.25	183.00	181.50
SSF #2 (WEST)	183.25	183.00	181.50
SSF #2 (EAST)	182.25	182.00	160.50



NOTE:
DIMENSIONS SHOWN ARE TO PAYMENT LINES. MORTAR RUBBLE MASONRY TO BE STEPPED OUTSIDE PAYMENT LINES ON SLOPING FACES.

NOTE:
THIS SYSTEM SHALL NOT BE IN SERVICE UNTIL THE SPECIFIED PLANTINGS ARE INSTALLED AND THE CONTRIBUTING SURFACE AREA IS STABILIZED.

DIAMETER D (INCH)	AREA OF PIPE (SQ. FT.)	MASONRY PER FOOT OF WALL (CU. YD.)	MASONRY PER HOLE (CU. YD.)	MASONRY PER STANDARD HEAD (CU. YD.)	STEEL PER STANDARD HEAD (LB)	LENGTH OF BARS	PIPE EXC. 1' DEPTH (CU. YD.)	HEADER EXC. PER HEADER 1' DEPTH (CU. YD.)	ITEM 209 PER LINEAR FOOT	HEADER LENGTH L	HEADER HEIGHT H	FILL HEIGHT FH	WIDTH AT BOTTOM OF HEADER W	1" HEADWALL	
														MASONRY IN CORNER FRUSTRUM (CU. YD.)	HEADER EXC. PER HEADER 1' DEPTH (CU. YD.)
12"	0.79	0.185	1.08	0.81	9	3'-2"	0.111	0.788	0.30	3'-6"	3'-6"	10"	1'-10 1/2"	0.28	1.057
15"	1.23	0.202	1.73	0.85	11	3'-10"	0.120	0.947	0.35	4'-8"	3'-9"	1'-1"	1'-11 1/4"	0.31	1.232
18"	1.77	0.222	2.52	1.13	14	5'-2"	0.130	1.111	0.39	5'-8"	4'-9"	1'-4"	2'-0"	0.35	1.406
24"	3.14	0.260	4.71	1.79	20	7'-2"	0.148	1.451	0.48	7'-8"	4'-6"	1'-10"	2'-1 1/2"	0.42	1.778
30"	4.91	0.301	7.67	2.68	28	9'-2"	0.185	1.810	0.65	9'-8"	5'-0"	2'-4"	2'-3"	0.51	2.184
36"	7.07	0.344	11.49	3.53	31	11'-2"	0.222	2.167	0.85	11'-6"	5'-6"	2'-10"	2'-4 1/2"	0.61	2.672
42"	9.62	0.389	16.24	4.56	36	13'-2"	0.250	2.581	1.07	13'-6"	6'-0"	3'-4"	2'-6"	0.72	3.000
48"	12.57	0.438	21.99	5.95	42	15'-2"	0.286	3.000	1.31	15'-8"	6'-8"	3'-10"	2'-7 1/2"	0.84	3.447
54"	15.90	0.486	28.83	7.44	47	17'-2"	0.333	3.432	1.58	17'-6"	7'-0"	4'-4"	2'-9"	0.96	3.914
60"	19.63	0.538	38.92	9.13	52	19'-2"	0.370	3.882	1.87	19'-8"	7'-6"	4'-10"	2'-10 1/2"	1.12	4.401
66"	23.76	0.593	52.03	11.04	58	21'-2"	0.427	4.350	2.17	21'-6"	8'-0"	5'-4"	3'-0"	1.28	4.927
72"	28.27	0.649	68.56	13.17	63	23'-2"	0.445	4.838	2.50	23'-6"	8'-6"	5'-10"	3'-11 1/2"	1.46	5.433

NOTE: STEEL QUANTITIES ARE FOR CONCRETE HEADWALLS ONLY.

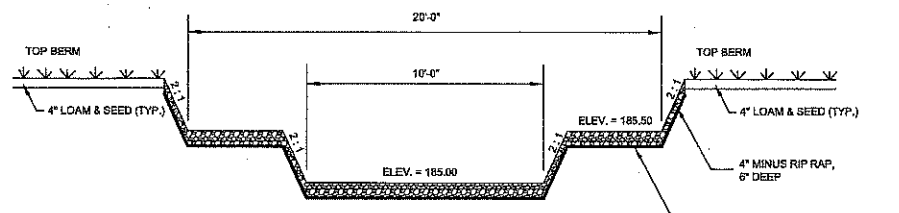
COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL	
		SIEVE NO.	PERCENT BY WEIGHT PASSING STANDARD SIEVE
FILTER MEDIA OPTION A			
ASTM C-33 CONCRETE SAND		50 TO 55	
LOAMY SAND TOPSOIL, WITH FINES AS INDICATED	20 TO 30	200	15 TO 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	<5
FILTER MEDIA OPTION B			
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	<5
LOAMY COARSE SAND		70 TO 80	10
		80	85 TO 100
		70 TO 100	20
		15 TO 40	80
		200	8 TO 15

MORTAR RUBBLE MASONRY AND CONCRETE HEADWALLS

SURFACE SAND FILTER SECTION

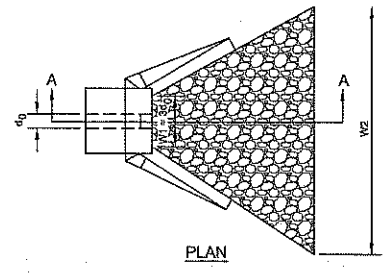
NOT TO SCALE
(MARCH 2008)

NOT TO SCALE



SURFACE SAND FILTER #2 SPILLWAY DETAIL

NOT TO SCALE



PIPE OUTLET TO FLAT AREA WITH NO DEFINED CHANNEL

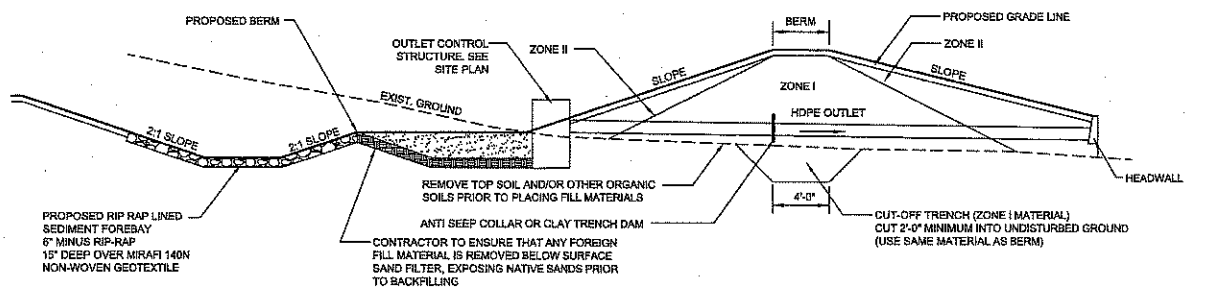
NOT TO SCALE
(MARCH 2008)

PERCENT OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE
100%	1.5 TO 2.0 450
85%	1.3 TO 1.8 450
80%	1.0 TO 1.5 450
15%	0.3 TO 0.5 450

CONSTRUCTION SPECIFICATIONS:

- THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
- THE ROCK OR GRAVEL USED FOR FILTER OR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
- GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
- STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

MAINTENANCE:
THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR RAIN EVENT. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED, OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL, IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.



SURFACE SAND FILTER CONSTRUCTION SEQUENCE

- CONTRACTOR TO NOTIFY DIG-SAFE 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CUT AND CLEAR TREES AND BRUSH FROM CONSTRUCTION AREAS TO THE EXTENT NECESSARY. ALL BRANCHES, TOPS AND BRUSH TO BE PROPERLY DISPOSED BY CONTRACTOR.
- PRIOR TO GRUBBING OF CLEARED AREAS, ALL SILTATION BARRIERS DESIGNED FOR USE AS TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AS CALLED FOR ON PROJECT PLANS.
- COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR DEBRIS SHALL BE PROPERLY DISPOSED OF BY CONTRACTOR. ORGANIC MATERIAL SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED IN UPLAND AREAS. ALL STOCKPILES SHALL BE SEEDED WITH WINTER RYE AND, IF NECESSARY, SURROUNDED WITH HAY BALES IN ORDER TO PREVENT LOSS DUE TO EROSION.
- CONSTRUCT TEMPORARY CULVERTS AS NECESSARY TO FACILITATE CONSTRUCTION ACTIVITIES. ALL SUCH CROSSINGS SHALL BE PROTECTED WITH HAY BALE BARRIERS TO LIMIT EROSION.
- CONSTRUCT CUT-OFF TRENCH (PART OF ZONE I).
- CONSTRUCT OUTLET AND OVERFLOW STRUCTURE, CULVERT, ANTI SEEP COLLARS, HEADWALL, AND RIP RAP OUTLET PROTECTION AS SHOWN ON PLANS.
- CONSTRUCT ZONE I PORTION OF EARTH EMBANKMENT.
- CONSTRUCT ZONE II PORTION OF EARTH EMBANKMENT.
- APPLY TOPSOIL TO SLOPES AND OTHER AREAS DISTURBED BY CONSTRUCTION. TOPSOIL USED MAY BE NATIVE ORGANIC MATERIAL SCREENED SO AS TO BE FREE OF ROOTS, BRANCHES, STONES, AND OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL BE APPLIED SO AS TO PROVIDE A MINIMUM OF A 4-INCH COMPACTED THICKNESS. UPON COMPLETION OF TOPSOILING, FINISHED SECTIONS ARE TO BE LINED, SEEDED AND MULCHED. CONSTRUCTION PERSONNEL SHALL INSPECT COMPLETED SECTIONS OF WORK ON A REGULAR BASIS AND REMEDY ANY PROBLEM AREAS UNTIL A HEALTHY STAND OF GRASS HAS BECOME ESTABLISHED.
- MAINTAIN, REPAIR, AND REPLACE AS NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL SUCH TIME AS THE ENTIRE CONSTRUCTION AREA HAS BEEN STABILIZED (A MINIMUM OF ONE WINTER SHALL HAVE PASSED).
- AFTER STABILIZATION, REMOVE AND SUITABLY DISPOSE OF TEMPORARY EROSION CONTROL MEASURES.
- MONITOR CONSTRUCTION ACTIVITIES TO INSURE CONSTRUCTION ACTIVITIES ARE BEING PERFORMED IN SUCH A WAY AS NOT TO ENDANGER THE INTEGRITY OF EARTH EMBANKMENTS, STORMWATER CONTROL STRUCTURE, CULVERT AND RIP RAP OUTLET PROTECTION.

MATERIAL TYPE/SPECIFICATIONS

- ZONE I**
WELL GRADED MIXTURE OF GRAVEL, SAND, SILT OR CLAY WITH MAX. 6-INCH SIZE STONE AND GRADATION AS INDICATED BELOW. PLACE IN MAX. 12-INCH THICK LIFTS TO 95% OF MAX. DRY DENSITY IN ACCORDANCE WITH ASTM D1557. SCARIFY SURFACE PRIOR TO PLACING SUBSEQUENT LIFT. IN ADDITION, REMOVE ORGANIC SOILS.
- | SIEVE SIZE | PERCENT BY WEIGHT PASSING |
|------------|---------------------------|
| 6-INCH | 100 |
| NO. 4 | 50 TO 100 |
| NO. 40 | 30 TO 70 |
| NO. 200 | 20 TO 40 |
- ZONE II**
DRAINAGE LAYER: PLACE IN MAX. 12-INCH THICK LIFTS TO 95% OF MAX. DRY DENSITY IN ACCORDANCE WITH ASTM D1557.
- | SIEVE SIZE | PERCENT BY WEIGHT PASSING |
|------------|-----------------------------|
| 1-INCH | 100 |
| NO. 4 | 70-100 |
| NO. 200 | 0-12 (IN SAND PORTION ONLY) |

SURFACE SAND FILTER DETAIL

NOT TO SCALE

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____

SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

CONSTRUCTION DETAILS
FLYING CRUSHER, LLC.
MAP 145 LOT 6
4 BRIDLE BRIDGE ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
FLYING CRUSHER, LLC.
22 MANCHESTER ROAD #7
DERRY, NEW HAMPSHIRE 03038
H.C.R.D. BK. 8973 PG. 0170

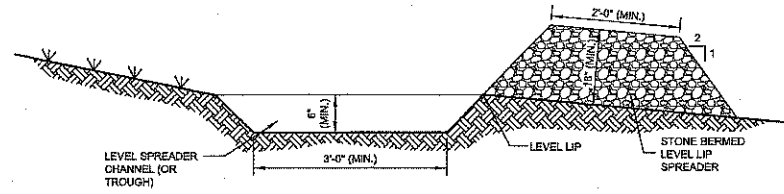
APPLICANT:
FLYING CRUSHER, LLC.
22 MANCHESTER ROAD #7
DERRY, NEW HAMPSHIRE 03038

KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS		
No.	DATE	DESCRIPTION

DATE: JULY 20, 2017 SCALE: AS SHOWN
PROJECT NO: 17-0501-2 SHEET 12 OF 15

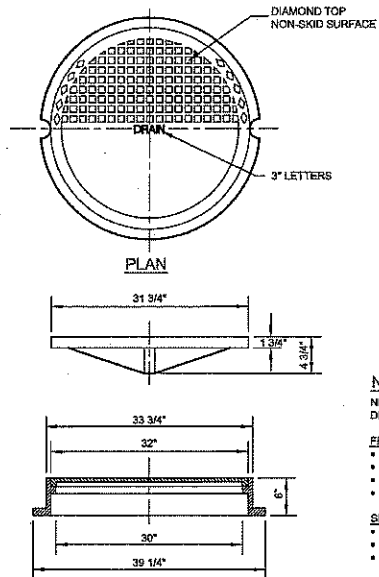
GRADATION OF STONE FOR LEVEL SPREADER BERM	
SIEVE DESIGNATION	PERCENT BY WEIGHT PASSING SQUARE MESH SIEVES
12 INCH	100%
6 INCH	84 - 100%
3 INCH	68 - 85%
1 INCH	42 - 55%
NO.4	8 - 12%



- NOTES:**
- CONSTRUCT THE LEVEL SPREADER LIP ON A ZERO PERCENT GRADE TO INSURE UNIFORM SPREADING OF RUN-OFF.
 - LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL.
 - THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET INTO STABILIZED AREAS. WATER SHOULD NOT RECONCENTRATE IMMEDIATELY BELOW THE SPREADER.
 - PERIODIC INSPECTION AND REQUIRED MAINTENANCE SHALL BE PERFORMED.
- MAINTENANCE REQUIREMENTS:**
- INSPECT AT LEAST ONCE ANNUALLY FOR ACCUMULATION OF SEDIMENT AND DEBRIS AND FOR SIGNS OF EROSION WITHIN APPROACH CHANNEL, SPREADER CHANNEL OR DOWN-SLOPE OF THE SPREADER.
 - REMOVE DEBRIS WHENEVER OBSERVED DURING INSPECTION.
 - REMOVE SEDIMENT WHEN ACCUMULATION EXCEEDS 25% OF SPREADER CHANNEL DEPTH.
 - MOW AS REQUIRED BY LANDSCAPE DESIGN. AT A MINIMUM, MOW ANNUALLY TO CONTROL WOODY VEGETATION WITHIN THE SPREADER.
 - SNOW SHOULD NOT BE STORED WITHIN OR DOWN-SLOPE OF THE LEVEL SPREADER OR ITS APPROACH CHANNEL.
 - REPAIR ANY EROSION AND RE-GRADE OR REPLACE STONE BERM MATERIAL, AS WARRANTED BY INSPECTION.
 - RECONSTRUCT THE SPREADER IF DOWN-SLOPE CHANNELIZATION INDICATES THAT THE SPREADER IS NOT LEVEL OR THAT DISCHARGE HAS BECOME CONCENTRATED, AND CORRECTIONS CANNOT BE MADE THROUGH MINOR RE-GRAVING.

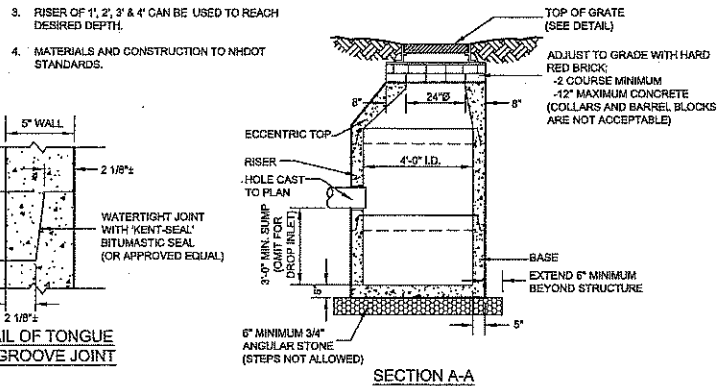
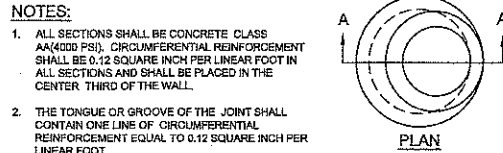
STONED BERMED LEVEL LIP SPREADER DETAIL

NOT TO SCALE
(APRIL 2010)

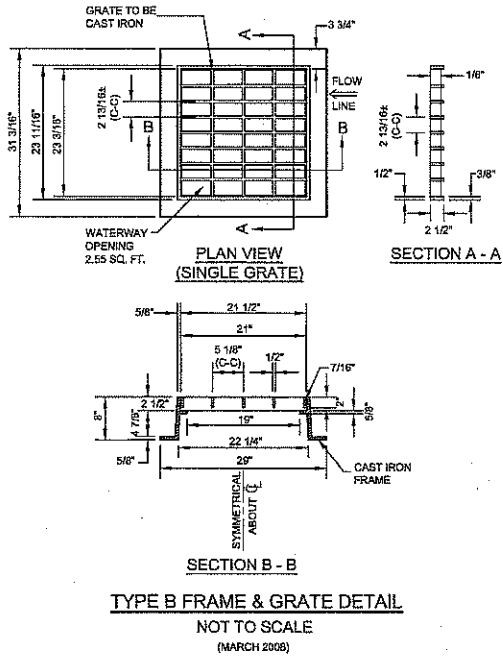


DRAIN MANHOLE FRAME AND COVER DETAIL
NOT TO SCALE
(JANUARY 2012)

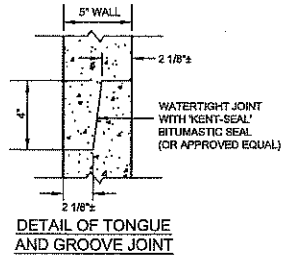
- NOTES:**
- NEW HAMPSHIRE MAINTAINS A CLEAR OPENING DESIGNATION OF 30" FOR ITS MANHOLE CASTINGS.
- FEATURES:**
- 3" LETTERING
 - COVERS MARKED DRAIN
 - NON-ROCKING COVER
 - DIAMOND SURFACE DESIGN
- SPECIFICATIONS:**
- FULLY MACHINED FRAME AND COVER
 - H-20 LOAD RATED
 - GRAY CAST IRON MEETS ASTM A48 CLASS 30



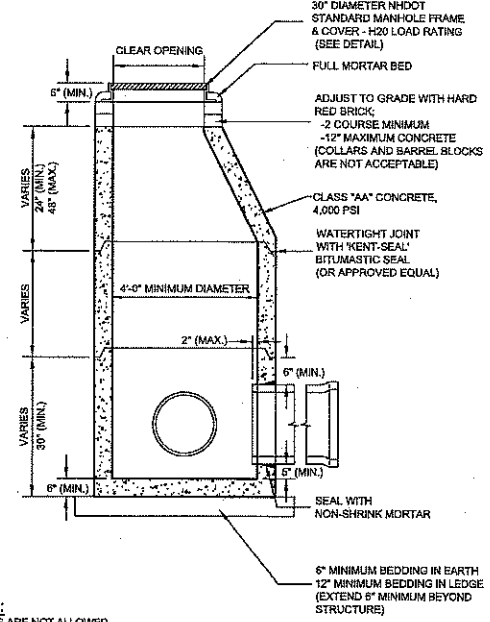
PRECAST REINFORCED CATCH BASIN
NOT TO SCALE
(MAY 2012)



TYPE B FRAME & GRATE DETAIL
NOT TO SCALE
(MARCH 2008)

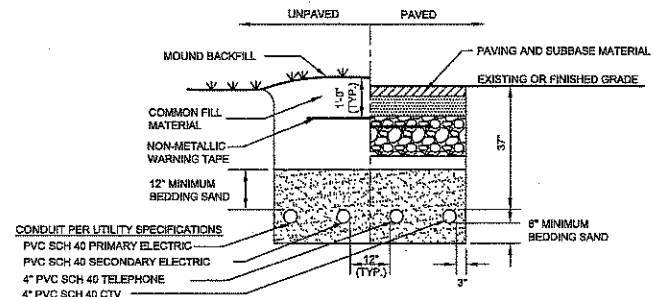


DETAIL OF TONGUE AND GROOVE JOINT



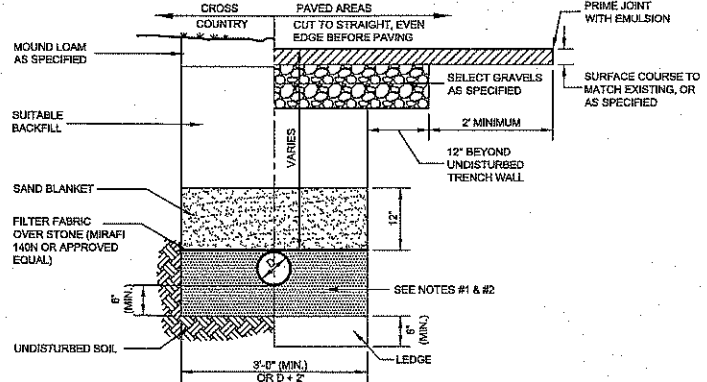
- NOTES:**
- STEPS ARE NOT ALLOWED.
 - ALL SECTIONS SHALL BE CONCRETE CLASS AA (4,000 PSI). CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER L.F. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER OF THE WALL.
 - THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER L.F.
 - MATERIALS AND CONSTRUCTION TO MH DOT STANDARDS.

PRECAST REINFORCED DRAIN MANHOLE DETAIL
NOT TO SCALE
(MARCH 2008)



- NOTE:**
- INSTALLATION AND MATERIALS OF UNDERGROUND UTILITIES SHALL CONFORM TO LOCAL UTILITY COMPANY SPECIFICATIONS.

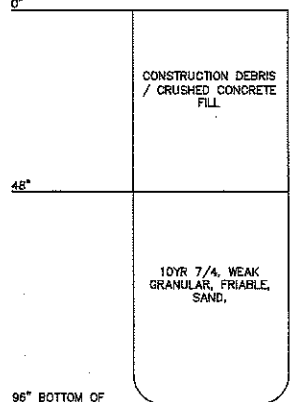
UTILITY TRENCH DETAIL
NOT TO SCALE
(MARCH 2008)



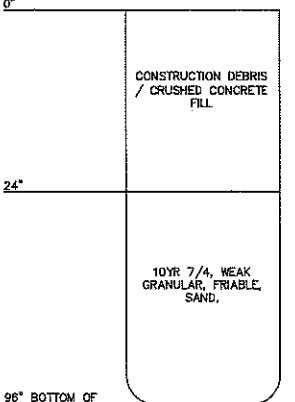
- NOTES:**
- THOROUGHLY COMPACTED SCREENED GRAVEL FOR RCP PIPE. SCREENED GRAVEL TO EXTEND TO SELECT FILL LINE.
 - FOR HDPE OR PVC PIPE, BEDDING SHALL BE 3/4" STONE TO THE TOP OF THE PIPE.

STORM DRAINAGE TRENCH DETAIL
NOT TO SCALE
(MARCH 2008)

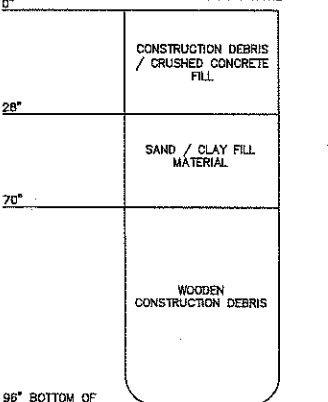
TP #1
LOGGED BY GPC
PERC TEST @ 20"
DATE: 8-4-2017
PERC RATE: 2 MIN./INCH IMPERVIOUS LAYER. NONE WATER ENCOUNTERED: NONE



TP #2
LOGGED BY GPC
PERC TEST @ 20"
DATE: 8-4-2017
PERC RATE: 2 MIN./INCH IMPERVIOUS LAYER. NONE WATER ENCOUNTERED: NONE



TP #4
LOGGED BY GPC
PERC TEST @ 20"
DATE: 8-4-2017
PERC RATE: N/A IMPERVIOUS LAYER. NONE WATER ENCOUNTERED: NONE



CONSTRUCTION DETAILS
FLYING CRUSHER, L.L.C.
MAP 145 LOT 6
4 BRIDLE BRIDGE ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: FLYING CRUSHER, L.L.C. 22 MANCHESTER ROAD #7 DERRY, NEW HAMPSHIRE 03038 H.C.R.D. BK. 8973 PG. 0170	APPLICANT: FLYING CRUSHER, L.L.C. 22 MANCHESTER ROAD #7 DERRY, NEW HAMPSHIRE 03038
--	--

KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY

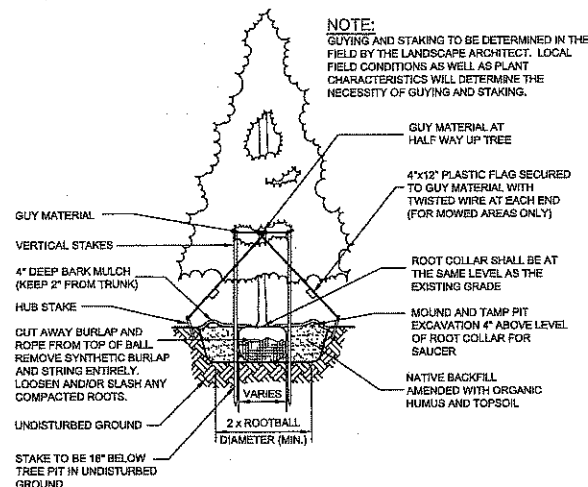
DATE: JULY 20, 2017 SCALE: AS SHOWN
PROJECT NO: 17-0501-2 SHEET 13 OF 15

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

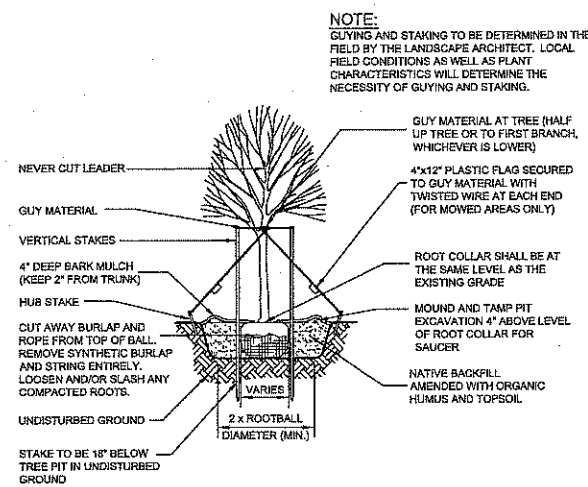
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____
SIGNATURE _____ SIGNATURE DATE _____

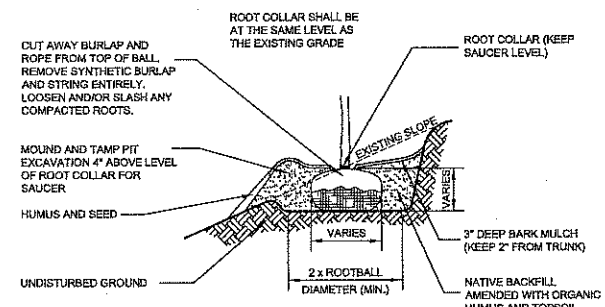
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



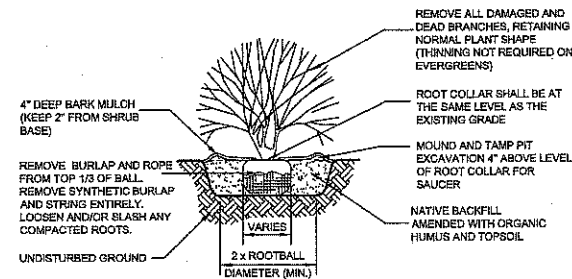
EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



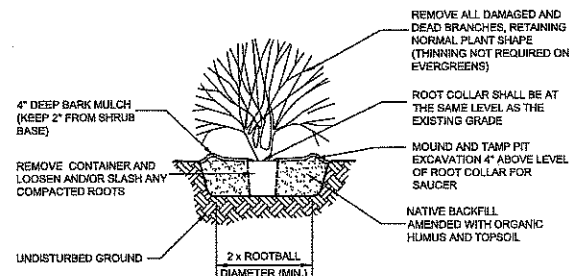
DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



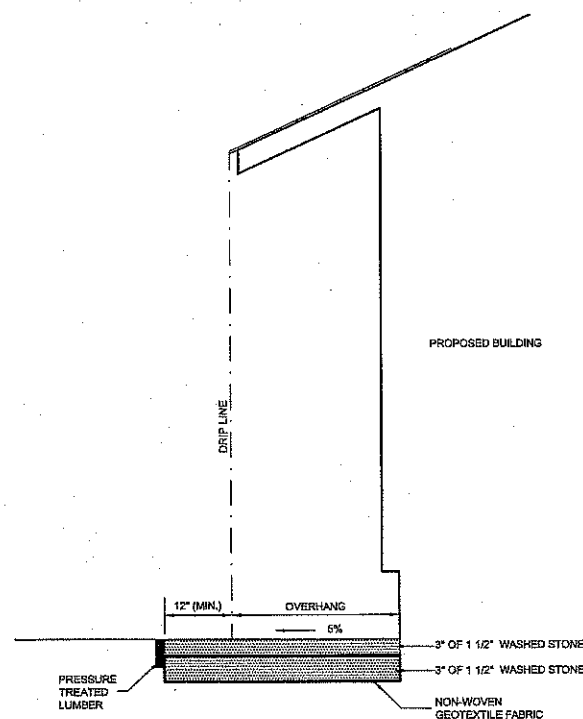
TYPICAL PLANTING PIT ON SLOPE 4:1 OR GREATER
NOT TO SCALE
(JANUARY 2012)



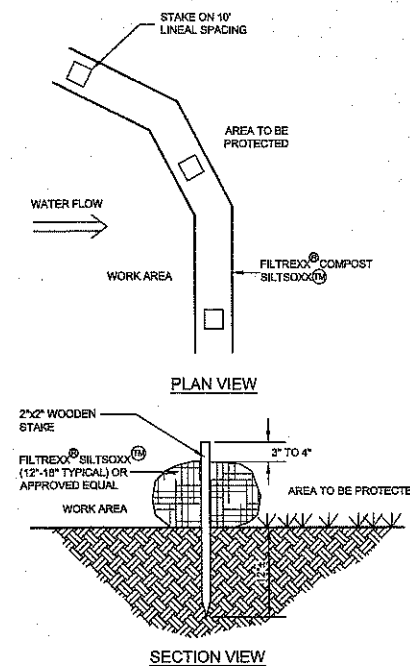
BALLED & BURLAP SHRUB PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



CONTAINER SHRUB PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



STONE DRIP EDGE DETAIL
NOT TO SCALE



FILTREXX® SILTSOXX® DETAIL
NOT TO SCALE
(AUGUST 2011)

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____

SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

CONSTRUCTION DETAILS
FLYING CRUSHER, LLC.
MAP 145 LOT 6
4 BRIDLE BRIDGE ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
FLYING CRUSHER, LLC.
22 MANCHESTER ROAD #7
DERRY, NEW HAMPSHIRE 03038
H.C.R.D. BK. 8973 PG. 0170

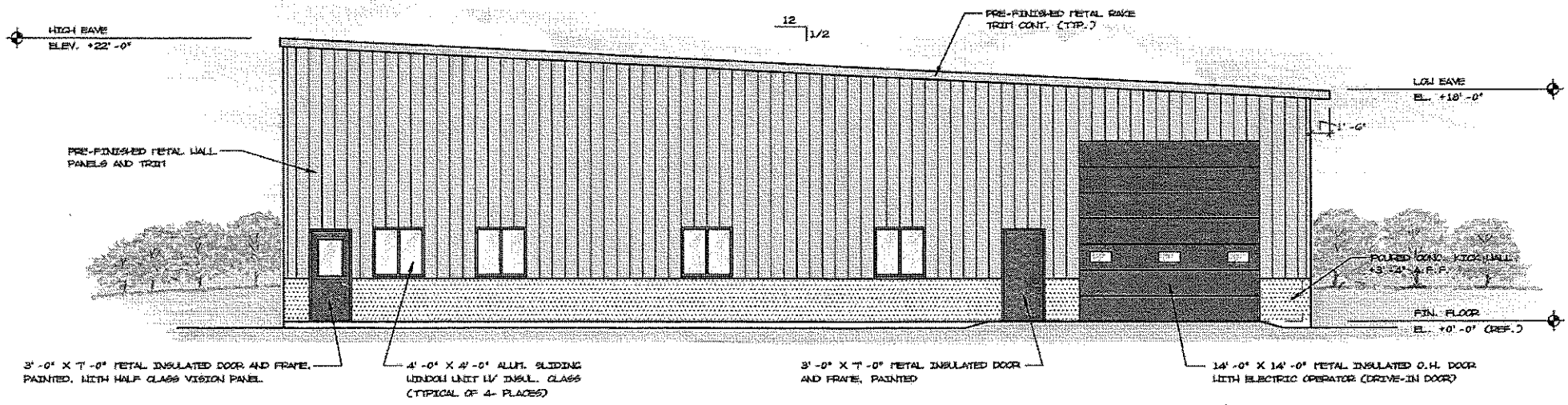
APPLICANT:
FLYING CRUSHER, LLC.
22 MANCHESTER ROAD #7
DERRY, NEW HAMPSHIRE 03038

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

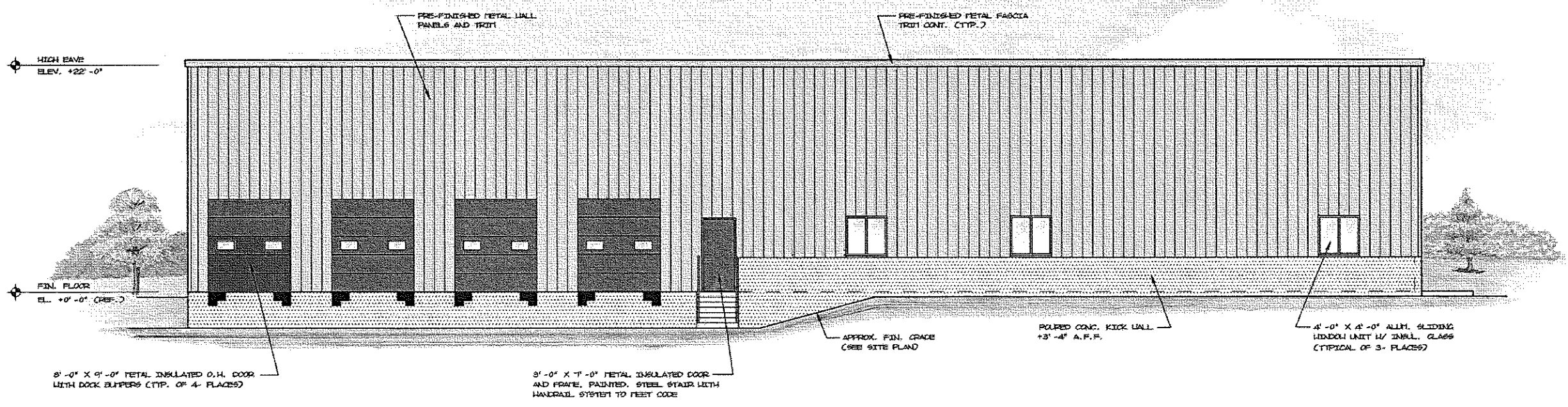
REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JULY 20, 2017
PROJECT NO: 17-0501-2
SCALE: AS SHOWN
SHEET 14 OF 15

Project: 170501-2.dwg Production: Drawings: 170501-2-DETAILS.dwg, 9/20/2017 10:28:27 AM, User: mswaters@KMAI, MP: 148700.D5



FRONT ELEVATION
SCALE 3/16" = 1'-0"



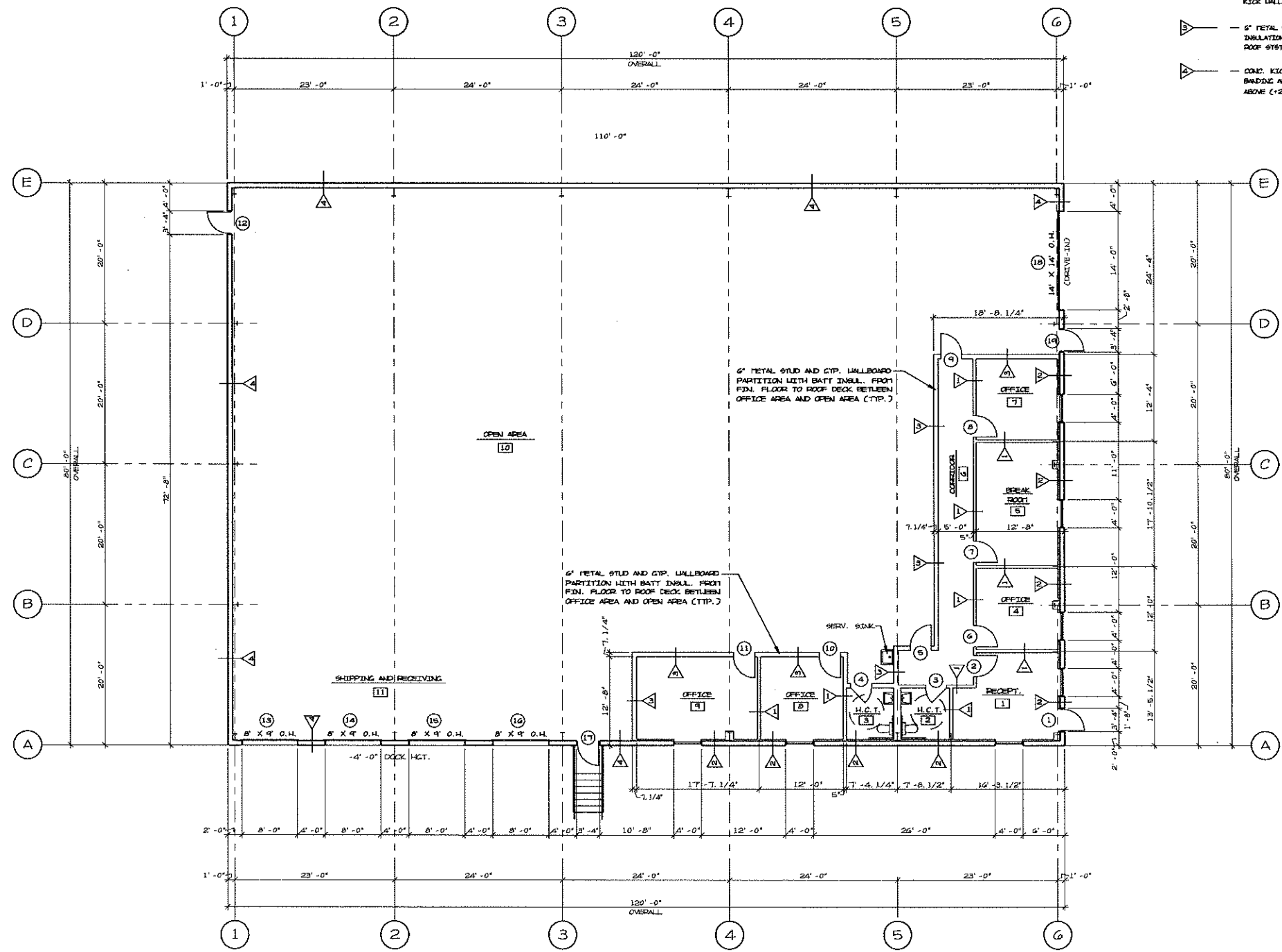
LEFT SIDE ELEVATION
SCALE 3/16" = 1'-0"

FLYNN CONSTRUCTION CORP.
COMMERCIAL * INDUSTRIAL
17 OLD MANSION ROAD, STE. #16
AMHERST, NEW HAMPSHIRE 03051
PHONE (603) 882-8177 FAX (603) 888-0484

NO. 1	GENERAL REVISIONS PER OWNER	9/19/17	REV. DATE
REV. NO.	DESCRIPTION OF REV.		

PROJECT: **RECOPE TRADING CO. LLC**
HAYDON, NEW HAMPSHIRE
SUBJECT: **ELEVATIONS**

JOB NO. 171070	SCALE AS NOTED	DATE 8/23/17	DWN. BY T.J.L.	CHECKED BY T.J.L.
----------------	----------------	--------------	----------------	-------------------



FLOOR PLAN
SCALE 1/8" = 1'-0"

- PARTITION LEGEND**
- ▽ 3.5/8" METAL STUDS AT 2'-0" O.C. w/ "ROCK WOOL" SOUND ATTENUATION FIBERGLASS BATT INSULATION WITH 5/8" FIRECODE CYPRUS LULLBOARD BOTH SIDES FROM FINISH FLOOR FROM FINISH FLOOR TO +9'-0" A.F.F.
 - ▽ 2.1/2" METAL STUDS AT 2'-0" O.C. w/ BATT INSULATION AND 5/8" CYPRUS LULLBOARD AT EXTERIOR PERIPHERY WALLS TO +9'-0" A.F.F. AND CONC. KICK WALL TO +3'-4" A.F.F. WITH STEEL BUILDING FABRIC, BRACING AND FIBERGLASS INSULATION FROM TOP OF CONC. KICK WALL TO SLOPED ROOF 979781 ABOVE (+22'-0" HIGH BANE TO +18'-0" LOU EAVE).
 - ▽ 6" METAL STUDS AT 2'-0" O.C. w/ "ROCK WOOL" SOUND ATTENUATION FIBERGLASS BATT INSULATION WITH 5/8" FIRECODE CYPRUS LULLBOARD BOTH SIDES FROM FINISH FLOOR TO SLOPED ROOF 979781 ABOVE (+22'-0" HIGH BANE TO +18'-0" LOU EAVE).
 - ▽ CONC. KICK WALL FROM FIN. FLOOR TO +3'-4" A.F.F. WITH STEEL BUILDING FABRIC, BRACING AND FIBERGLASS INSULATION FROM TOP OF CONC. KICK WALL TO SLOPED ROOF 979781 ABOVE (+22'-0" HIGH BANE TO +18'-0" LOU EAVE).

BUILDING AREA- 9,600 SQUARE FEET GROSS AREA
USE GROUP FACTORY INDUSTRIAL F-1 MODERATE-HAZARD OCCUPANCY, METALS

NOTE: CONSTRUCTION DOCUMENTS AND BUILDING DESIGN COMPLY WITH THE INTERNATIONAL BUILDING CODE (IBC) 2009, NFPA LIFE SAFETY 2009 (L.S.) AND ICC/ANSI A117.1- 2003 ACCESSIBILITY CODE AND THE INTERNATIONAL ENERGY CONSERVATION CODE.

FLYNN CONSTRUCTION CORP.
COMMERCIAL * INDUSTRIAL
17 OLD HANCOCK ROAD, STE. #18
AMHERST, NEW HAMPSHIRE 03001
PHONE (603) 888-8177 FAX (603) 888-0484

NO.	DESCRIPTION OF REV.	REV. NO.	REV. DATE
NO. 2	GENERAL REVISIONS PER OWNER CHANGES		9/19/17
NO. 1	GENERAL REVISIONS		9/12/17

PROJECT: **RECORE TRADING CO. LLC**
NEW HAMPSHIRE
SUBJECT: **FLOOR PLAN**

JOB NO.	1711870
SCALE	AS NOTED
DATE	9/23/17
DRN. BY	T.C.J.L.
CHECKED	

SHEET NO.
A-1