

Crimson Properties 3 Lot Subdivision

STAFF REPORT

October 25, 2017

SITE: 36 Speare Road -- Map 194/Lot 001 -- SB# 08-17

ZONING: G - Minimum lot size 1 Acre and 150 ft. of frontage.

PURPOSE OF PLAN: to depict the subdivision of Map 194/Lot 001, into three separate lots. Application Acceptance & Hearing.

PLAN UNDER REVIEW ENTITLED: Residential Subdivision Plan, Crimson Properties, Map 194, Lot 1, 36 Speare Road, Hudson, NH, prepared by Keach-Nordstrom Associates, Inc., 10 Commerce Park N, Bedford, NH, dated: August 1, 2015 (no revision date), consisting of Sheets 1 - 6 and Notes 1 – 18 (said plans are attached hereto).

ATTACHMENTS:

- 1) Subdivision Application, Project Narrative, and CAP fee calculation sheet, date stamped October 4, 2017 – “A”.
- 2) Comments from Town Eng., Elvis Dhima “B”.
- 3) CAP Fee Worksheet – “C”.

OUTSTANDING ISSUES:

1. The primary purpose of the plan appears to be to create two one-acre lots for general sale while retaining the balance of just under 14 acres. Under the subdivision regulations, each new lot that is created must meet zoning regulations and constitute a “buildable” lot, and the applicant has provided background analysis to demonstrate that all three lots meet all requirements.
2. The primary issues involved with a small residential subdivision in which all of the lots front on an existing road will be making sure that the proposed lots have adequate well and septic locations and will not impact wetland buffers. The applicant has shown building envelopes for all three lots along with septic test pit locations and data and well protection zones. Town Engineer Elvis Dhima has noted the overlap of the well zones for Lots 1 and 2 and has recommended a condition of approval related to recording the protected well radii.
3. Another issue is the need to ensure that the driveways that will serve the lots are located such that AASHTO standards are met for safe stopping sight distances. Sheets 4, 5, and 6 document proposed driveway locations and estimated sight distances. The Board should look for clarification from the applicant of any vegetation or topographical restrictions on sight lines and determine whether the proposed driveway locations are to be required or suggested.
4. The applicant submitted waiver requests for the submittal of fiscal, environmental, and traffic studies. Based on my review of past decisions, it appears that the Town has

inconsistently granted waivers from these studies. HR 275-9.B, C, & D give staff and the Planning Board authority to require these studies, but the regulations do not require approval of a waiver of these submissions if they are not required by staff or the Planning Board during the review process. HR § 276-3 D also gives the Planning Board authority to require such studies but does not make them an automatic submission requirement. CLD reviewers have agreed that no waivers of these studies are required, and they will indicate in their reviews whether they see the need for formal traffic, fiscal impact, and/or environmental impact studies.

5. HR 334-74.5 requires that the Planning Board assess impact fees at the time of subdivision approval and note the fee in its Notice of Decision. In the past, staff has recommended and the Planning Board has required that a note be added to the subdivision plan stating the amount and requirement for the impact fee that is assessed. The Decision Notice that will contain the requirement for payment of the impact fee will be recorded with the subdivision plan, and it is more likely that the public would see it there than as a note on the subdivision plan. With the Board's consent, we will no longer include a condition of approval that the note be added to the subdivision plan. Attachment "C" contains the CAP Fee Worksheet and the proposed assessment of \$5693 per lot based on the 2017 Impact Fee schedule adopted by the Planning Board.

APPLICATION TRACKING:

05 OCT 17 – Subdivision application submitted.

25 OCT 17 - Initial public hearing scheduled.

RECOMMENDED ACTION: For this meeting, staff recommends application acceptance, conduct the public hearing, and consider subdivision approval in accordance with the below DRAFT MOTIONS. In the event that the Board determines more time is needed to review the application, a motion for deferment is provided after the draft acceptance motion.

DRAFT MOTIONS:

I move to accept the 3-lot Subdivision application for 36 Speare Rd, Map 194/Lot 001.

Motion by: _____ Second: _____ Carried/Failed: _____

I move to defer the public hearing on this Subdivision application date specific to the 8 NOV 2017 Planning Board meeting.

Motion by: _____ Second: _____ Carried/Failed: _____

MOTION to APPROVE:

I move to approve the subdivision plan entitled: Residential Subdivision Plan, Crimson Properties, Map 194, Lot 1, 36 Speare Road, Hudson, NH, prepared by Keach-Nordstrom Associates, Inc., 10 Commerce Park N, Bedford, NH, dated: August 1, 2015 (no revision date), consisting of Sheets 1 - 6 and Notes 1 – 18:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Plan.
2. A cost allocation procedure (CAP) amount of \$5693 per residential lot shall be paid prior to the issuance of a Certificate of Occupancy for each of the three lots.
3. All monumentation shall be set or bonded for prior to the Planning Board endorsing the Plan-of -Record.
4. Approval of this plan shall be subject to final engineering review, including the locations of driveways. Any change of driveway location from that shown on the subdivision plans shall require review and approval by the Town Engineer.
5. Construction activities involving the proposed undeveloped lots shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday.

Motion by: _____ Second: _____ Carried/Failed: _____.

ATTACHMENT A



SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: October 3, 2017 Tax Map # 194 Lot # 1

Name of Project: Crimson Properties

Zoning District: G General SB# 08-17
(For Town Use) (For Town Use)

ZBA Action: N/A

PROPERTY OWNER:

DEVELOPER:

Name: Crimson Properties, LLC

Same as Owner

Address: 20 Trafalgar Square, Suite 101

Address: Nashua, NH 03063

Telephone # 603-234-4192

Fax # N/A

Email: rturmel@kw.com

PROJECT ENGINEER

Name: Anthony Basso, LLS

Telephone # 603-627-2881

Address: 10 Commerce Park North, Suite 3

Fax # 603-627-2915

Address: Bedford, NH 03110

Email: abasso@keachnordstrom.com

PURPOSE OF PLAN:

The purpose of the plan is to depict the subdivision of Map 194; Lot 1 into three separate lots.

(FOR TOWN USE)

Plan Routing Date: 10/6/17 Sub/Site Date: 10/25/17 PB Mtg

I have no comments I have comments (attach to form)

____ Title: _____ Date: _____
(Initials)

DEPT:

Zoning Engineering Assessor Police Fire Planning
 Consultant Highway Department

Fees Paid \$ 798.50

SITE DATA SHEET

Plan Name: Crimson Properties

Plan Type: Subdivision Plan

Legal Description: Map 194 Lot 1

 Map 194 Lot 1-1 & 1-2

Date: October 3, 2017

Location: 36 Speare Road

Total Area: S.F. 703,100 Acres: 16.14

Area in Wetlands: 199,823 SF

Zoning: General Zoning District (G)

Lots Not Meeting
Required Dimensions: None

Required Area: 43,560 SF

Required Frontage: 150 FT

Water and Waste System
Proposed: Private wells & septic systems

Number of Lots With
Existing Buildings: None

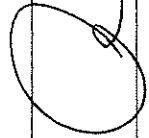
Existing Buildings
To Be Removed: None

Flood Zone Reference: FIRM Map 33011C0519D, Panel # 519, 9/25/09

Proposed Linear Feet
Of New Roadway: None

LOT AREA CALCULATION TABLE

LOT #	TOTAL AREA	WETLAND AREA	AREA > 25% SLOPE	BUILDABLE AREA (net contiguous upland useable)	FRONTAGE
194-1	607,522 SF	199,823 SF	45,865 SF	361,834 SF	274.23 FT
194-1-1	49,291 SF	0 SF	5,678 SF	43,613 SF	150.00 FT
194-1-2	46,287 SF	0 SF	2,649 SF	43,638 SF	150.00 FT
4.					
5.					
6.					
7.					
8.					
9.					
10.					

Data Sheets Checked By:  Date: 10/5/17

**APPLICATION FOR SUBDIVISION PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Twenty one (21) days prior to Planning Board Meeting, a complete subdivision plan to include all supporting materials/documents must be submitted in final form. The subdivision plan shall comply with the following specifications/requirements:

Applicant Initials		Staff Initials
<u> ✓ </u>	a) Submission of eight (8) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M. Tuesday the week prior to the scheduled public hearing/conceptual review date.	<u> GT </u>
<u> ✓ </u>	b) Seventeen (17)-subdivision narratives, describing the project.	<u> GT </u>
<u> ✓ </u>	c) Plan scale at not less than one inch equals fifty feet (example: 1" = 50' acceptable).	<u> GT </u>
<u> ✓ </u>	d) Locus plan with 1,000 minimum radius of site to surrounding area.	<u> GT </u>
<u> ✓ </u>	e) Plan dated by day/month/year.	<u> GT </u>
<u> ✓ </u>	f) Revision block.	<u> GT </u>
<u> ✓ </u>	g) Planning Board approval block.	<u> GT </u>
<u> ✓ </u>	h) Title of project inscribed on plan.	<u> GT </u>
<u> ✓ </u>	i) Name(s) and address of property owner(s) and signature(s) shall be inscribed on plan.	<u> GT </u>
<u> ✓ </u>	j) North point shall be inscribed on plan.	<u> GT </u>
<u> ✓ </u>	k) Property lines-exact locations and dimensions.	<u> BT </u>
<u> ✓ </u>	l) Acreage/sq. ft. of entire subdivision.	<u> GT </u>
<u> ✓ </u>	m) Proposed lots, with lot numbers and area of each lot. Note: each proposed Lot shall be listed on the plan, in chart form, indicating in square feet/ acreage the total lot area, wetland, slope area greater than 25% and total net contiguous useable upland area.	<u> GT </u>

Applicant
Initials

Staff
Initials

- | | | |
|----------------|--|-------------|
| <u>✓</u> n) | Certified list of names and addresses of bordering abutters, shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on plan. | <u>GT</u> |
| <u>✓</u> o) | Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve area, floodways/floodplains, driveways, travel areas, parking areas, natural features within 200 feet of the tract. | <u>GT</u> |
| <u>✓</u> p) | Locations of existing and proposed permanent monuments and benchmarks within 200 feet of the tract. | <u>GT</u> |
| <u>✓</u> q) | Pertinent highway projects. | <u> </u> |
| <u>✓</u> r) | Assessor map and lot number. | <u>GT</u> |
| <u>✓</u> s) | Waiver application form shall be submitted with subdivision application, Note on plan listing waivers requested/granted; and all waivers granted to the subdivision regulations shall be listed on the final plan. | <u>GT</u> |
| <u>✓</u> t) | Delineate zoning. | <u>GT</u> |
| <u>N/A</u> u) | Storm water drainage plan. | <u>N/A</u> |
| <u>✓</u> v) | Topographical contours at 2-foot intervals existing and proposed. | <u>GT</u> |
| <u>✓</u> w) | Utilities: existing and proposed. | <u>GT</u> |
| <u>✓</u> x) | Building and wetland setback lines. | <u>GT</u> |
| <u> </u> y) | Rights of way, existing and proposed. | <u>GT</u> |
| <u>✓</u> z) | Location of dedicated recreational public use land(s) proposed. | <u>GT</u> |
| <u>N/A</u> aa) | Detailed designs of bridges and culverts. | <u>N/A</u> |
| <u>N/A</u> ab) | Typical roadway cross-section, road profile, stationing, and curve data, etc. | <u>N/A</u> |

Applicant
Initials

Staff
Initials

- ✓ ac) Proposed location of water supply and sewage disposal systems, including perk test data, test-pit logs and locations; wells, (proposed and existing) 75' protective well radii and attached copies of any required well protection easements. GT
- ✓ ad) All notes from plats. GT
- ✓ ae) Buffers as required by subdivision regulations. GT
- N/A af) Soil types and boundaries, Note: If site contains marginal or questionable soils, a High Intensity Soil Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire Certified Soil Scientist, who shall affix his/her stamp and signature and this shall be inscribed on the plan. N/A
- ✓ ag) Wetlands (and poorly-drained and very poorly-drained soils), also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire Certified Wetland or Soil Scientist, who shall affix his/her stamp and signature to the respective plan. GT
- ✓ ah) Easements, existing and proposed. GT
- ✓ ai) State of New Hampshire Engineer's seal and signature. Surveyor's seal and signature. GT
- ✓ aj) Error of closure (1 in 10,000 or better). GT
- ✓ ak) Drafting errors/omissions. GT
- ✓ al) Note outlining phasing schedule. GT
- ✓ am) Narrative description stating the purpose, location, long range plans impacts on traffic, schools, and utilities. GT
- ✓ an) Aerial photograph of site and area within 200 feet of the subdivision parcel. _____
- W ao) Fiscal impact study. N/A
- W ap) Traffic study. N/A
- N/A aq) Drainage calculations and supporting data. N/A

Applicant
Initials

Staff
Initials

 ✓ ar) Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents. _____

 ✓ as) Copy of applicable town, state, federal approval/permits to include but not limited to the following: _____

- sewer applications
- flood plain permit
- wetlands special exception
- variance
- erosion control permit (149:8a)
- WSPCC subdivision approval (septic)
- dredge and fill permit
- curb cut/driveway permit
- shore land protection certification in accordance with RSA483-B.
- if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.

 ✓ at) Off-site agreement(s). _____

 ✓ au) Presentation plan (colored, with color-coded bar chart). _____

 ✓ av) Fees paid to clerk. _____

 ✓ aw) Plans that include relocation of lot lines shall clearly delineate the former (old) lot lines from proposed (new) lot lines. _____

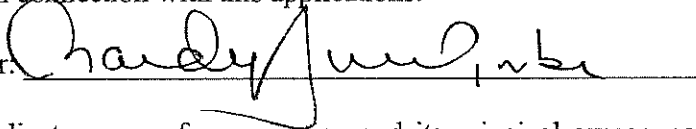
- Any or all items may be waived under the purview of the Planning Board.

**APPLICATION FOR SUBDIVISION PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Subdivision Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Subdivision Plan specifications or application form are incomplete, the application will be considered rejected.

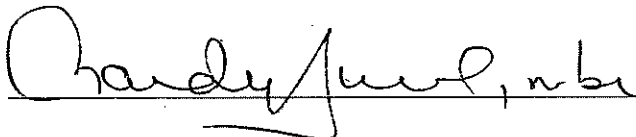
Pursuant to RSA 674:1-IV, the owner(s), by the filing of this application as indicated above, hereby give permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and inspections conducted on his (their) property in connection with this applications.

Signature of Owner: _____



- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: _____



- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

Technical Review Signature: _____

Planner Approval Signature: _____

**APPLICATION FOR SUBDIVISION PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE
SCHEDULE OF FEES**

A. REVIEW FEES

1. \$170.00 per lot @3 Lots \$ 510.00

2. Consultant review fee:(separate check)
Linear feet of roadway (including cul-de-sac).
Length of roadway _____ feet, @ \$1.25 per linear foot or \$1,250.00, whichever is greater.
*This is an estimate for the cost of consultant review. The fee is expected to cover the amount.
A complex project may require additional funds. A simple project may result in a refund.*
\$ _____

Legal Fees.

The applicant shall be charged attorney costs billed to the Town for Town's attorney review of any application plan set documents. \$ _____

3. Conceptual Review Only - \$100.00 \$ _____

4. ZBA Input Only - \$100.00 \$ _____

B. POSTAGE

Current "certified mail" postage rate per abutter to proposed site plan and current first class postage rate per property owner within 200 feet of proposed site plan.

17 abutters @ \$6.74 (certified mail) \$ 114.58
8 property owners within 200 feet @\$\$.49 (first class) \$ 3.92

C. ON SITE SIGNS \$ 15.00

D. ADVERTISING
(PUBLIC NOTICE) For all subdivisions \$ 40.00

E. TAX MAP UPDATE FEE

2 to 7 lots (# of lots x \$30.00) + \$25.00 (min. \$85.00) @3 Lots \$ 115.00
8 lots or more (min. \$325.00) \$ _____

TOTAL \$ 798.50

**APPLICATION FOR SUBDIVISION PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

**SCHEDULE OF FEES
(CONTINUED)**

AMOUNT DUE	\$ <u>798.50</u>	DATE RECEIVED	<u>10/5/17</u>
AMOUNT RECEIVED	\$ <u>798.50</u>	RECEIPT NO.	<u>477,883</u>
		RECEIVED BY	<u>(TSG)</u>

F. RECORDING FEES

The applicant shall pay the costs of recording the final plan layout prior to final subdivision recording, in accordance with fees established by the County.

Recording of Plan	@ \$24.00/sheet + \$2.00/surcharge/Plan	\$ _____
Land & Community Heritage Investment Program (LCHIP) fee	\$25.00	\$ _____
 Easements/Agreements (if applicable)	 @ \$10.00/first sheet @ 4.00/each sheet thereafter + \$2.00/surcharge/doc. + first class return postage rate	 \$ _____ \$ _____ \$ _____ \$ _____
TOTAL		\$ _____

PLEASE NOTE: Recording fees shall be computed when plans are finalized for recording. The applicant must pay recording fees prior to recording.

The applicant shall be responsible for all fees incurred by the Town for processing and review of the applicant's application, plan, and related materials. All such fees must be paid prior to recording.

G. COST ALLOCATION PROCEDURE AMOUNT CONTRIBUTION AND OTHER IMPACT FEE PAYMENTS

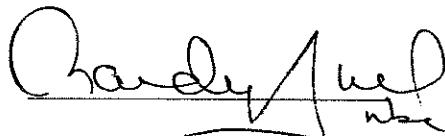
To be determined by vote of the Planning Board and paid by the applicant at the time of submittal of the Certificate of Occupancy Permit request, subject to annual inflation as permitted by the impact fee methodology.

Owner Affidavit

I, Randy Turmel, authorized representative of the Crimson Properties, LLC and owner of the property referenced as Tax Map 194; Lot 1 located at 36 Speare Road, Hudson, New Hampshire, hereby verify that I have authorized Keach-Nordstrom Associates, Inc. to submit on my behalf, any and all applicable State and local permit applications as they pertain to improvements on said property required by or otherwise associated with Crimson Properties, LLC.

Additionally, I authorize Keach-Nordstrom Associates, Inc. to aid in the representation of these applications throughout the approval process.

Signature of Owner:

A handwritten signature in black ink that reads "Randy Turmel". The signature is written in a cursive style with a large initial "R" and a distinct "T".

Address of Owner: 20 Trafalgar Square, Suite 101
Nashua, New Hampshire 03063

Date:

9/29/17

October 3, 2017

Subject: **Crimson Properties – Residential Subdivision Application**
Map 194; Lot 1
36 Speare Road, Hudson NH
KNA Project No. 17-0718-1

PROJECT NARRATIVE

The subject parcel is located at 36 Speare Road and is referenced on Hudson’s Tax Map 194 as Lot 1. The 16.141-acre parcel is in Hudson’s General (G) Zoning District. The site is currently undeveloped consisting mainly of woodlands. A large wetland complex bisects the property. The proposal is to subdivide the existing lot into three separate parcels.

The proposed project entails the subdivision of the existing 16.141-acre parcel into three lots. Proposed Lot 1 is approximately 13.95-acres in area, proposed Lot 1-1 is approximately 1.13-acres, and proposed Lot 1-2 is approximately 1.06-acres. Each lot will have an onsite well and private septic system.



ATTACHMENT B

SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW TOWN OF HUDSON, NEW HAMPSHIRE



Date of Application: October 3, 2017 Tax Map # 194 Lot # 1

Name of Project: Crimson Properties

Zoning District: G General SB# 08-17
(For Town Use) (For Town Use)

ZBA Action: N/A

PROPERTY OWNER:

Name: Crimson Properties, LLC
Address: 20 Trafalgar Square, Suite 101
Address: Nashua, NH 03063
Telephone # 603-234-4192
Fax # N/A
Email: rturmel@kw.com

DEVELOPER:

Same as Owner

PROJECT ENGINEER

Name: Anthony Basso, LLS
Address: 10 Commerce Park North, Suite 3
Address: Bedford, NH 03110

Telephone # 603-627-2881
Fax # 603-627-2915
Email: abasso@keachnordstrom.com

PURPOSE OF PLAN:

The purpose of the plan is to depict the subdivision of Map 194; Lot 1 into three separate lots.

(FOR TOWN USE)	
Plan Routing Date: <u>10/6/17</u>	Sub/Site Date: <u>10/25/17 PB Mtg</u>
<input type="checkbox"/> I have no comments	<input checked="" type="checkbox"/> I have comments (attach to form)
<u>BZD</u> (Initials)	Title: <u>TOWN ENGINEER</u> Date: <u>10/10/17</u>
DEPT:	
<input type="checkbox"/> Zoning	<input checked="" type="checkbox"/> <u>Engineering</u>
<input type="checkbox"/> Assessor	<input type="checkbox"/> Police
<input type="checkbox"/> Fire	<input type="checkbox"/> Planning
<input type="checkbox"/> Consultant	<input type="checkbox"/> Highway Department
Fees Paid <u>\$ 798.50</u>	

Dhima, Elvis

From: Dhima, Elvis
Sent: Tuesday, October 10, 2017 2:49 PM
To: Thebarge, George
Cc: Goodwyn, Tracy
Subject: 36 Speare Road Technical Review - Engineering Dep.

George

Please find below my only comment:

1. Prior to approval applicant shall provide recorded Protected Well Radii.

Thank u

E

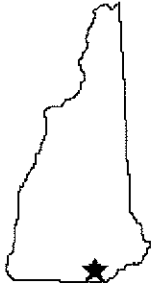
Elvis Dhima, P.E.
Town Engineer

Town of Hudson, NH
12 School Street
Hudson, NH 03051
Phone: (603) 886-6008
Mobile: (603) 318-8286



Town of Hudson
NEW HAMPSHIRE 03051

ATTACHMENT C



TOWN OF HUDSON

Planning Board

Glenn Della-Monica, Chairman



12 School Street · Hudson, New Hampshire 03051 · Tel: 603-886-6008 · Fax: 603-594-1142

CAP FEE WORKSHEET - 2017

Date: 10-05-17 Sector # 2 Map/Lot: 194/1, 1-1, 1-2
36 Speare Rd

Project Name: Crimson Properties Subdivision

Proposed ITE Use #1: Subdivision of Map 194/Lot 1 into 3 separate lots

Proposed Building Area (square footage): N/A S.F.

CAP FEES: (ONE CHECK NEEDED)

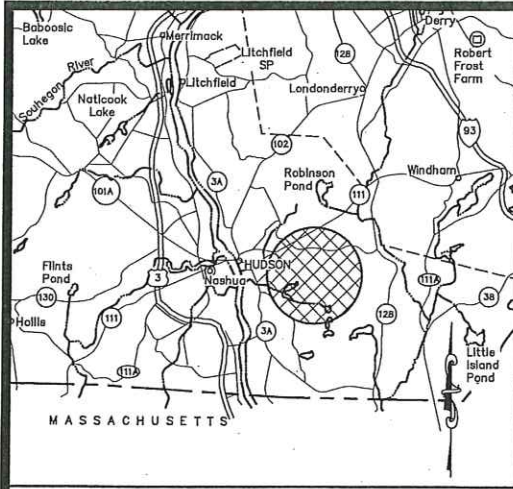
1.	(Bank 09) 2070-702	Traffic Improvements	\$ <u>1,715.00</u>
2.	(Bank 09) 2050-182	Recreation	\$ <u>400.00</u>
	(Bank 09) 2080-051	School	\$ <u>3,578.00</u>
		Total CAP Fee	\$ <u>5,693.00 per each</u>

*Single Family
Residential Unit*

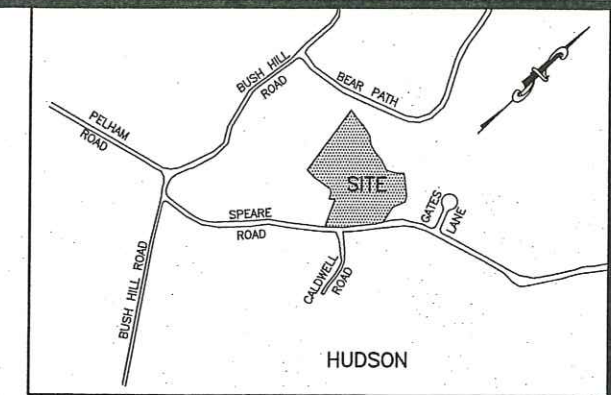
Check should be made payable to the Town of Hudson.

Thank you,

Tracy Goodwyn
Planning Administrative Aide



VICINITY PLAN
NOT TO SCALE



LOCATION PLAN
SCALE: 1" = 1,000'±

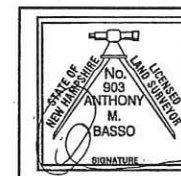
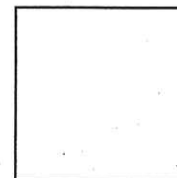
RESIDENTIAL SUBDIVISION PLAN CRIMSON PROPERTIES

MAP 194; LOT 1
36 SPEARE ROAD
HUDSON, NEW HAMPSHIRE



OWNER:
CRIMSON PROPERTIES, LLC
20 TRAFALGAR SQUARE, SUITE 101
NASHUA, NH 03063

PREPARED BY:
KEACH-NORDSTROM ASSOCIATES, INC.
10 COMMERCE PARK NORTH, SUITE 3B
BEDFORD, NEW HAMPSHIRE 03110
(603) 627-2881



01/5/17

SHEET TITLE

MASTER PLAN
SUBDIVISION PLAN
TOPOGRAPHIC SUBDIVISION PLAN
SIGHT DISTANCE PLAN & PROFILE

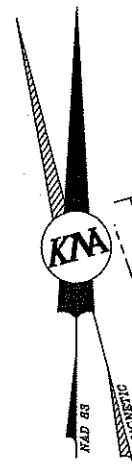
SHEET No.

1
2
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4 - 6

KNA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

AUGUST 1, 2017
PROJECT NO. 17-0718-1

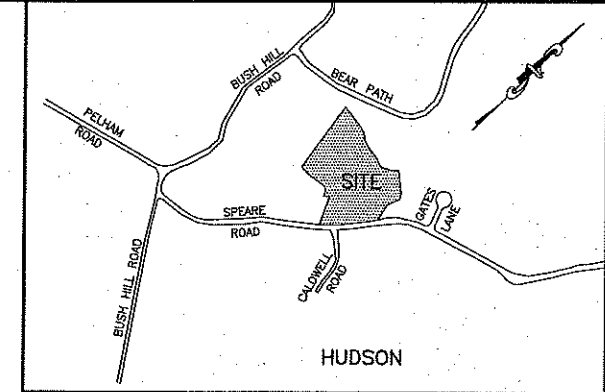
PURSUANT TO THE SUBDIVISION OF LAND REGULATIONS OF THE HUDSON PLANNING BOARD, THE SUBDIVISION APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL	APPROVED BY THE HUDSON, NH PLANNING BOARD
	DATE OF MEETING: _____
	SIGNATURE _____ SIGNATURE DATE _____
	SIGNATURE _____ SIGNATURE DATE _____
	SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



SCS SOILS LEGEND

CpC CHATFIELD-HOLLIS-CANTON COMPLEX 8-15%
CsC CHATFIELD-HOLLIS COMPLEX 8-15%
Cu SWANSEA MUCKY PEAT 0-2%
SOURCE: USDA-SCS WEB SOIL SURVEY

LOT NUMBER	TOTAL AREA (PROPOSED)	WETLAND AREA	AREA >25% SLOPE	BUILDABLE AREA (NET CONTIGUOUS UPLAND USEABLE)	FRONTAGE
1	607,522 SF	199,823 SF	45,865 SF	361,834 SF	274.23'
1-1	49,291 SF	0 SF	5,678 SF	43,613 SF	150.00'
1-2	46,287 SF	0 SF	2,649 SF	43,638 SF	150.00'



VICINITY PLAN
SCALE: 1" = 1,000'

REFERENCE PLANS:

- "2 LOT SUBDIVISION," SCALE: 1"=50', DATED: OCT 5, 1984, PREPARED BY PIANTOSI ASSOCIATES INC. H.C.R.D. PLAN NO. 17263.
- "TAX MAP 21/LOT 11, JOSEPH FIELD, SUBDIVISION PLAN, SPEARE ROAD, HUDSON, N.H.," SCALE: 1"=40', DATED: JANUARY 28, 1998, PREPARED BY M.J. GRAINGER ENGINEERS, INC. H.C.R.D. PLAN NO. 29084.
- "LAND OF MARION SMITH, NEAR BUSH HILL ROAD, HUDSON, N.H.," SCALE: 1"=50', DATED: MAY 1971, PREPARED BY FRANK G. SPRAGUE, H.C.R.D. PLAN NO. 6124.
- "LOT LINE RELOCATION PLAN - MAP 18/LOT 26-1 & MAP 21/LOT 9, BUSBY/WILSON PROPERTIES, 56 BUSH HILL ROAD, HUDSON, NEW HAMPSHIRE," SCALE: 1"=50', DATED: SEPTEMBER 26, 1994, LAST REVISED: 7/18/95, PREPARED BY MAYNARD & PAQUETTE, INC. H.C.R.D. PLAN NO. 27913.
- "GULL LOT LINE RELOCATION PLAN, TAX MAP 21/LOT 7, 38 BUSH HILL ROAD, HUDSON, NEW HAMPSHIRE," SCALE: 1"=50', DATED: NOVEMBER 18, 1993, LAST REVISED: MARCH 1995, PREPARED BY M.J. GRAINGER ENGINEERING INC. H.C.R.D. PLAN NO. 27556.
- "SUBDIVISION PLAN ON LAND, BUSH HILL ROAD, HUDSON, N.H., PREPARED FOR, CARL RIPALDI," SCALE: 1"=50', DATED: MAY 1983, PREPARED BY SURVEY FIELD SERVICES. H.C.R.D. PLAN NO. 15785.

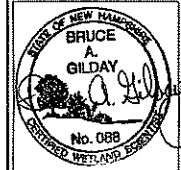
NOTES:

- THE PURPOSE OF THE PLAN IS TO SUBDIVIDE ASSESSORS MAP 194 LOT 1 INTO THREE LOTS AS SHOWN AND NO OTHER PURPOSE.
- AREA OF PARCEL PRIOR TO SUBDIVISION = 703,100 SF, OR 16.141 ACRES.
- PROPOSED LOT AREAS:
MAP 194 LOT 1 = 607,522 SF, OR 13.95 ACRES
MAP 194 LOT 1-1 = 49,291 SF, OR 1.13 ACRES
MAP 194 LOT 1-2 = 46,287 SF, OR 1.06 ACRES
- REFERENCE THIS PARCEL AS TOWN OF HUDSON TAX MAP 194 LOT 1.
- OWNER OF RECORD:
CRIMSON PROPERTIES, LLC
20 TRAFALGAR SQUARE, SUITE 101
NASHUA, NH 03063
H.C.R.D. BK. 8988 PG. 303
- PRESENT ZONING: GENERAL (G)
- MINIMUM LOT REQUIREMENTS:
- LOT AREA: 43,660 SF WITH TOWN WATER AND SEWER
- LOT AREA: 43,660 SF WITHOUT TOWN WATER AND SEWER
- LOT FRONTAGE: 150 FT ARTERIAL/COLLECTOR
- LOT FRONTAGE: 150 FT LOCAL ROAD WITH TOWN WATER AND SEWER
MINIMUM BUILDING SETBACKS:
- FRONT: 50 FT (ARTERIAL AND COLLECTOR ROADWAYS)
- FRONT: 30 FT (LOCAL ROADWAY)
- SIDE: 15 FT (LOCAL, COLLECTOR, AND ARTERIAL ROADWAYS)
- REAR: 15 FT (LOCAL, COLLECTOR, AND ARTERIAL ROADWAYS)
- WETLAND DELINEATION PERFORMED BY BRUCE A. GILDAY, CERTIFIED WETLAND SCIENTIST #088, OF BAG LAND CONSULTANTS OF CONCORD, NH IN AUGUST 2017.
- BOUNDARY AND TOPOGRAPHIC INFORMATION DEPICTED HEREON IS A RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE IN JULY OF 2017.
- HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NAVD 88.
- EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 33010G0180, PANEL 519 OF 701, EFFECTIVE DATE SEPTEMBER 25, 2009 INDICATES THAT A PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
- LOTS WILL BE SERVICED BY ON SITE WELLS AND PRIVATE SEPTIC SYSTEMS.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. REACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
- WAIVERS REQUESTED:
HTC 288-BD - FISCAL AND ENVIRONMENTAL IMPACT STUDY
HTC 288-BD - TRAFFIC IMPACT STUDY
- PERMITS REQUIRED:
NHDES SUBDIVISION APPROVAL STATUS: PENDING
- A C.A.P. FEE IN AN AMOUNT TO BE DETERMINED BY THE TOWN, SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- A PUBLIC SCHOOL IMPACT FEE, IN THE AMOUNT OF \$3,578.00, SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- A RECREATION CONTRIBUTION, IN THE AMOUNT OF \$400.00, SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- CONSTRUCTION ACTIVITIES INVOLVING THE PROPOSED UNDEVELOPED LOTS SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 7:00 PM, MONDAY THROUGH SATURDAY. NO EXTERIOR CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAY.

- LEGEND**
- GB-F GRANITE BOUND FOUND
 - IPM-F IRON PIN FOUND
 - IPP-F IRON PIPE FOUND
 - DH-F DRILL HOLE FOUND
 - U UTILITY POLE
 - SL STREET LIGHT
 - AL ABUTTER LINE
 - PL PROPERTY LINE
 - W WETLAND
 - CLF CHAIN LINK FENCE
 - OU OVERHEAD UTILITIES
 - DL DRAINAGE LINE
 - TL TREELINE
 - EP EDGE OF PAVEMENT
 - EGR EDGE OF GRAVEL
 - SRW STONE RETAINING WALL
 - SLN SCS SOIL LINE
 - BSB BUILDING SETBACK EASEMENT



OWNER OF MAP 194 LOT 1
 SIGNATURE: *Christina Silva*
 DATE: 9/29/17
 FOR CRIMSON PROPERTIES, LLC.1

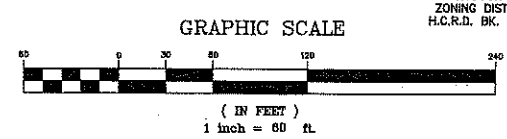


BRUCE GILDAY, CERTIFIED WETLAND SCIENTIST #088 PERFORMED THE WETLAND MAPPING IN AUGUST, 2017 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.

PURSUANT TO THE SUBDIVISION OF LAND REGULATIONS OF THE HUDSON PLANNING BOARD, THE SUBDIVISION APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE _____ SIGNATURE DATE _____
 SIGNATURE _____ SIGNATURE DATE _____

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MASTER PLAN
CRIMSON PROPERTIES
 MAP 194 LOT 1
 36 SPEARE ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD:
 CRIMSON PROPERTIES, LLC
 20 TRAFALGAR SQUARE, SUITE 101
 NASHUA, NH 03063
 H.C.R.D. BK. 8988 PG. 303

APPLICANT:
 CRIMSON PROPERTIES, LLC
 20 TRAFALGAR SQUARE, SUITE 101
 NASHUA, NH 03063

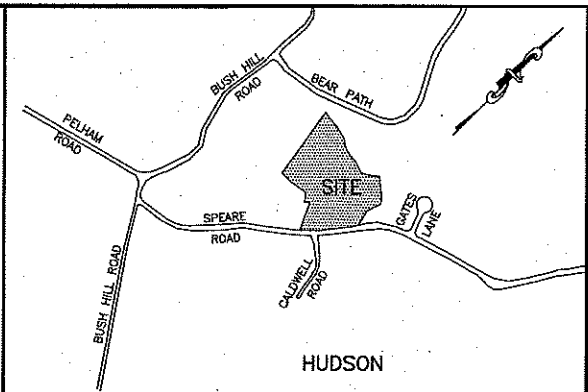
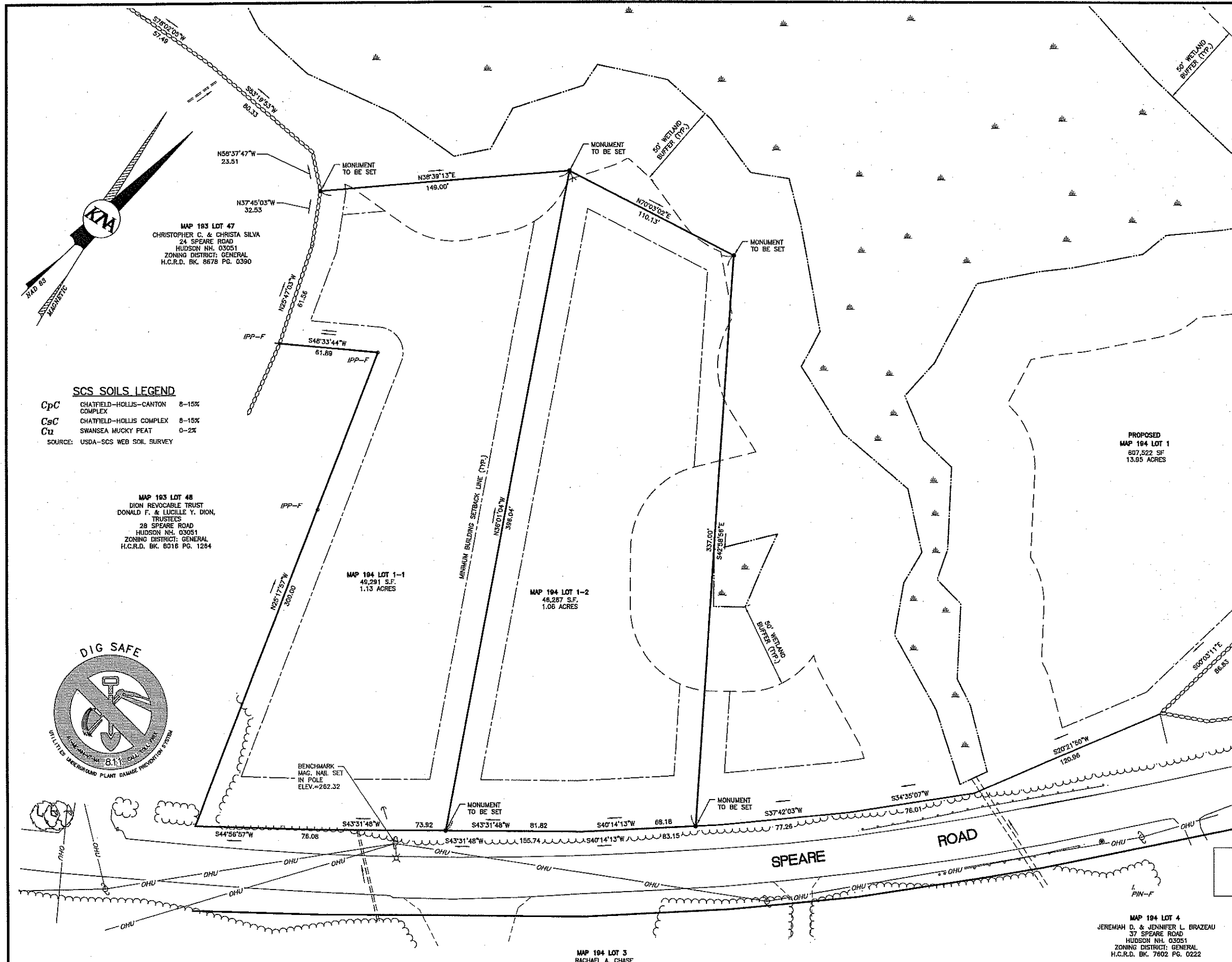
KM KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Camarero Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-8081

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: AUGUST 1, 2017 SCALE: 1" = 60'
 PROJECT NO: 17-0718-1 SHEET 1 OF 6

CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE DURING JULY OF 2017. SAID SURVEY HAS A RELATIVE ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) OR BETTER.

Anthony M. Basso
 LICENSED LAND SURVEYOR DATE: 9/29/17



SEE SHEET 1 FOR REFERENCE PLANS AND NOTES

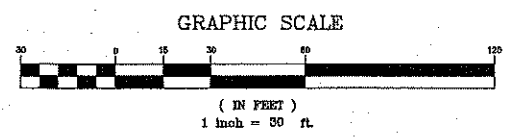
SCS SOILS LEGEND

CpC CHATFIELD-HOLLIS-CANTON COMPLEX 8-15%
CsC CHATFIELD-HOLLIS COMPLEX 8-15%
Cu SWANSEA MUCKY PEAT 0-2%
SOURCE: USDA-SCS WEB SOIL SURVEY

- LEGEND**
- GB-F GRANITE BOUND FOUND
 - IPIN-F IRON PIN FOUND
 - IPP-F IRON PIPE FOUND
 - DH-F DRILL HOLE FOUND
 - UTILITY POLE
 - STREET LIGHT
 - ABUTTER LINE
 - PROPERTY LINE
 - WETLAND
 - CHAIN LINK FENCE
 - OHU OVERHEAD UTILITIES
 - DRAINAGE LINE
 - TREE LINE
 - EDGE OF PAVEMENT
 - EDGE OF GRAVEL
 - STONE RETAINING WALL
 - SCS SOIL LINE
 - BUILDING SETBACK EASEMENT

OWNER OF MAP 194 LOT 1

SIGNATURE: *[Signature]*
FOR CRIMSON PROPERTIES, LLC, I
DATE: 9/29/17



SUBDIVISION PLAN
CRIMSON PROPERTIES
MAP 194 LOT 1
36 SPEARE ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: CRIMSON PROPERTIES, LLC 20 TRAFALGAR SQUARE, SUITE 101 NASHUA, NH 03063 H.C.R.D. BK. 8988 PG. 303	APPLICANT: CRIMSON PROPERTIES, LLC 20 TRAFALGAR SQUARE, SUITE 101 NASHUA, NH 03063
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KMA
KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

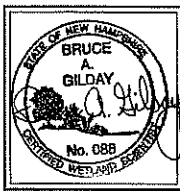
PURSUANT TO THE SUBDIVISION OF LAND REGULATIONS OF THE HUDSON PLANNING BOARD, THE SUBDIVISION APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____
SIGNATURE _____ SIGNATURE DATE _____

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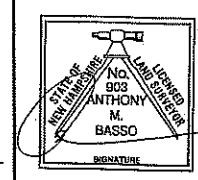
CADWELL ROAD



BRUCE GILDAY, CERTIFIED WETLAND SCIENTIST #088 PERFORMED THE WETLAND MAPPING IN AUGUST, 2017 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTHEASTERN AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.

CERTIFICATION:
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LICENSED LAND SURVEYOR
DATE: 10/5/17

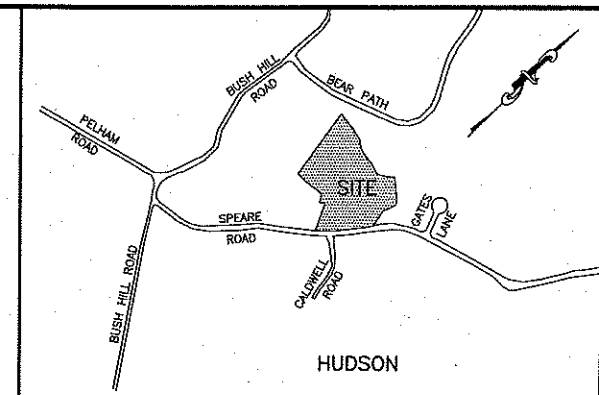


REVISIONS

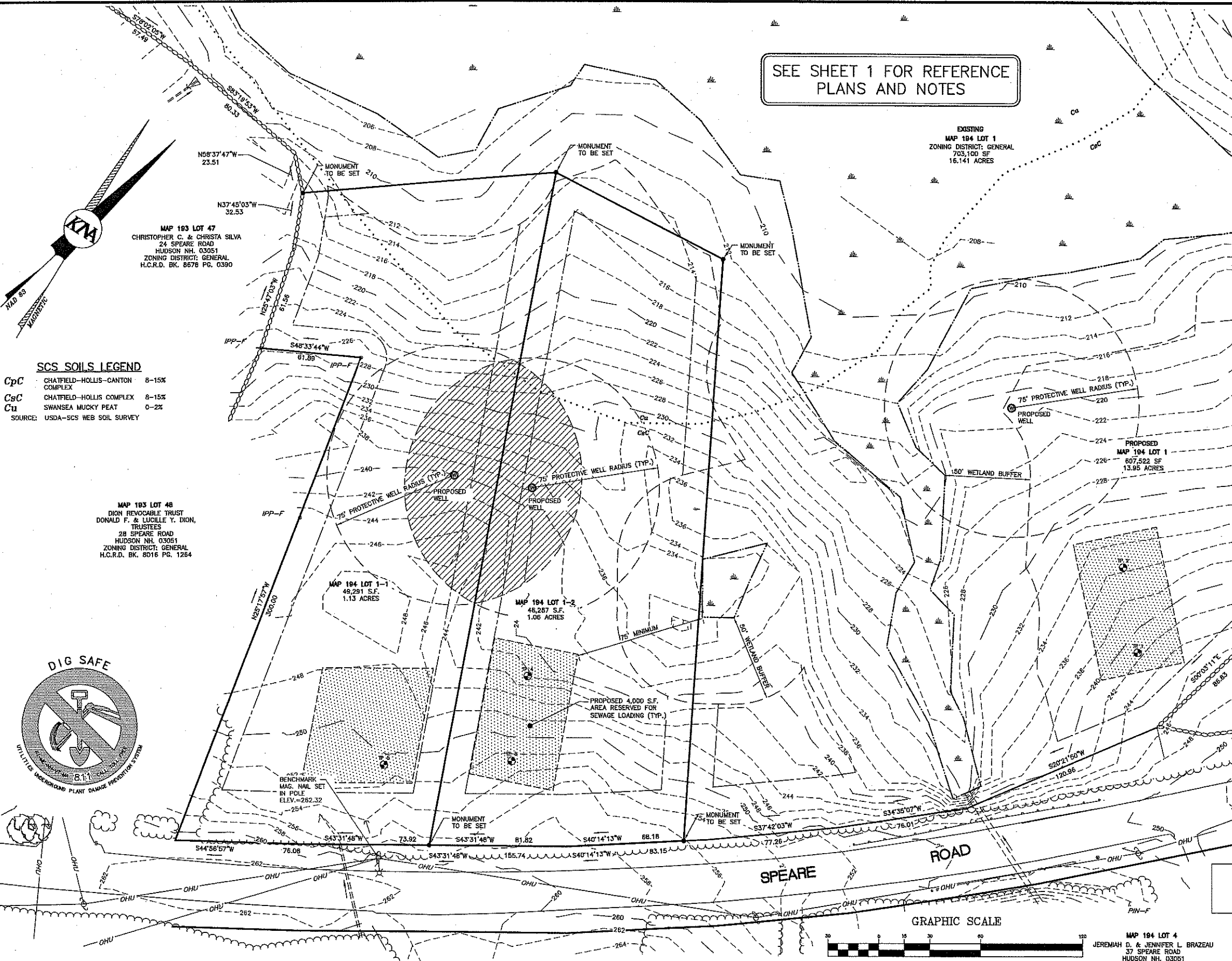
No.	DATE	DESCRIPTION	BY

DATE: AUGUST 1, 2017
PROJECT NO: 17-0718-1
SCALE: 1" = 30'
SHEET 2 OF 6

SEE SHEET 1 FOR REFERENCE PLANS AND NOTES



VICINITY PLAN
SCALE: 1" = 1,000'



SCS SOILS LEGEND
CpC CHATFIELD-HOLLIS-CANTON COMPLEX 8-15%
CsC CHATFIELD-HOLLIS COMPLEX 8-15%
Cu SWANSEA MUCKY PEAT 0-2%
 SOURCE: USDA-SCS WEB SOIL SURVEY

MAP 193 LOT 48
 DION REVOCABLE TRUST
 DONALD F. & LUCILLE Y. DION, TRUSTEES
 28 SPEARE ROAD
 HUDSON NH, 03051
 ZONING DISTRICT: GENERAL
 H.C.R.D. BK. 8016 PG. 1284

MAP 194 LOT 1-1
 48,291 S.F.
 1.13 ACRES

MAP 194 LOT 1-2
 48,287 S.F.
 1.06 ACRES

PROPOSED 4,000 S.F.
 AREA RESERVED FOR
 SEWAGE LOADING (TYP.)



TP #1
 LOGGED BY GPC
 PERC TEST @ 20"
 DATE: 9-27-2017
 PERC RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

0	FOREST MAT
8"	10YR 5/6, GRANULAR, FRIABLE LOAMY SAND, MANY ROOTS TO 36"
42" E.S.H.W.T.	5Y 6/1, GRANULAR, FRIABLE, GRAVELY SAND, MANY DISTINCT FE CONC. (MOTTLES) THROUGHOUT
60" BOTTOM OF HOLE	

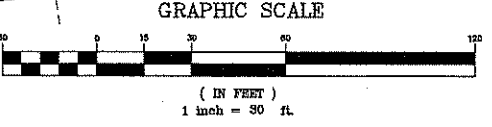
TP #3
 LOGGED BY GPC
 PERC TEST @ 18"
 DATE: 9-27-2017
 PERC RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

0	TOPSOIL
10"	10YR 3/3, GRANULAR, FRIABLE SANDY LOAM, ROOTS
16" E.S.H.W.T.	2.5Y 6/3, LOAMY SAND, MANY DISTINCT FE CONC. (MOTTLES) THROUGHOUT
60" BOTTOM OF HOLE	

TP #5
 LOGGED BY GPC
 PERC TEST @ 20"
 DATE: 9-27-2017
 PERC RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

0	TOPSOIL
10"	10YR 4/4, GRANULAR, FRIABLE SANDY LOAM, ROOTS
20" E.S.H.W.T.	5Y 8/1, GRANULAR, FRIABLE, GRAVELY SAND, MANY DISTINCT FE CONC. (MOTTLES) THROUGHOUT
60" BOTTOM OF HOLE	

- LEGEND**
- CB-F GRANITE BOUND FOUND
 - PIN-F IRON PIN FOUND
 - IPP-F IRON PIPE FOUND
 - OH-F DRILL HOLE FOUND
 - UTILITY POLE
 - STREET LIGHT
 - ABUTTER LINE
 - PROPERTY LINE
 - WETLAND
 - CHAIN LINK FENCE
 - OVERHEAD UTILITIES
 - DRAINAGE LINE
 - TREE LINE
 - EDGE OF PAVEMENT
 - EDGE OF GRAVEL
 - 10' CONTOUR
 - 2' CONTOUR
 - STONE RETAINING WALL
 - SCS SOIL LINE
 - BUILDING SETBACK
 - EASEMENT



TOPOGRAPHIC SUBDIVISION PLAN
CRIMSON PROPERTIES
 MAP 194 LOT 1
 36 SPEARE ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD:
 CRIMSON PROPERTIES, LLC
 20 TRAFALGAR SQUARE, SUITE 101
 NASHUA, NH 03063
 H.C.R.D BK. 8988 PG. 303

APPLICANT:
 CRIMSON PROPERTIES, LLC
 20 TRAFALGAR SQUARE, SUITE 101
 NASHUA, NH 03063

KM KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 887-2881

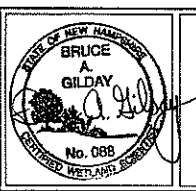
PURSUANT TO THE SUBDIVISION OF LAND REGULATIONS OF THE HUDSON PLANNING BOARD, THE SUBDIVISION APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE _____ SIGNATURE DATE _____
 SIGNATURE _____ SIGNATURE DATE _____

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CALDWELL
 ROAD

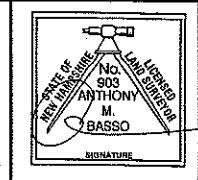
MAP 194 LOT 3
 RACHEL A. CHASE
 31 SPEARE ROAD
 HUDSON NH, 03051
 ZONING DISTRICT: GENERAL
 H.C.R.D. BK. 8630 PG. 0752



BRUCE GILDAY, CERTIFIED WETLAND SCIENTIST #88 PERFORMED THE WETLAND MAPPING IN AUGUST, 2017 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.

CERTIFICATION:
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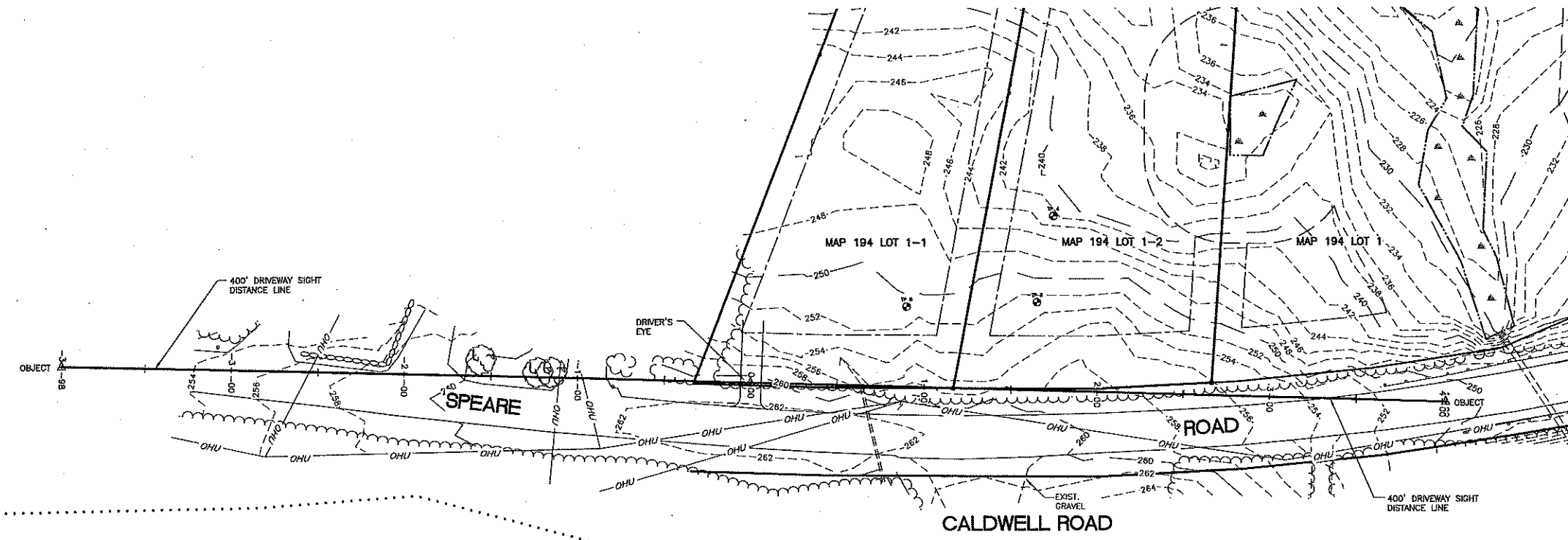
 LICENSED LAND SURVEYOR
 DATE: 10/5/17



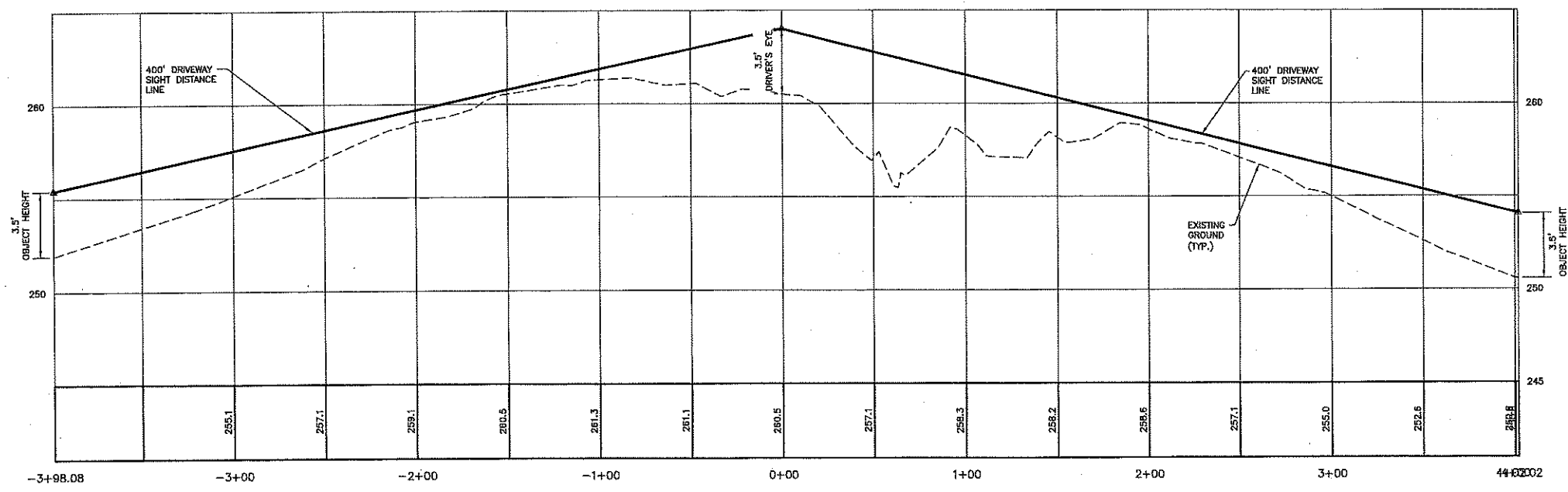
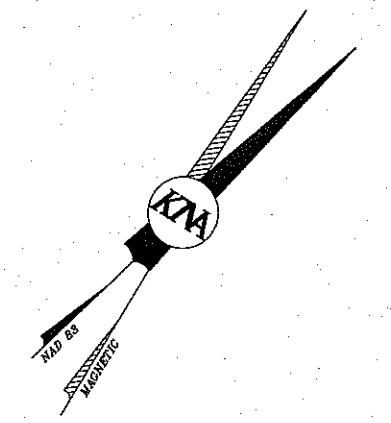
REVISIONS

No.	DATE	DESCRIPTION	BY

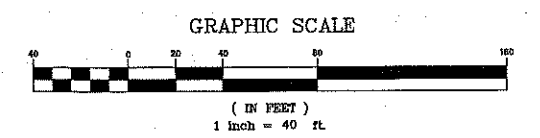
DATE: AUGUST 1, 2017
 PROJECT NO: 17-0718-1
 SCALE: 1" = 30'
 SHEET 3 OF 6



DRIVEWAY PLAN LOT 1-1
SCALE: 1" = 40'



SIGHT DISTANCE PROFILE LOT 1-1
SCALE: 1" = 40' (HORIZ.)
1" = 4' (VERT.)



SIGHT DISTANCE PLAN & PROFILE
CRIMSON PROPERTIES
MAP 194 LOT 1-1
36 SPEARE ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: CRIMSON PROPERTIES, LLC 20 TRAFALGAR SQUARE, SUITE 101 NASHUA, NH 03063 H.C.R.D. BK. B988 PG. 303	APPLICANT: CRIMSON PROPERTIES, LLC 20 TRAFALGAR SQUARE, SUITE 101 NASHUA, NH 03063
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KMA
KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 08110 Phone (603) 827-8881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: AUGUST 1, 2017	SCALE: AS SHOWN
PROJECT NO: 17-0718-1	SHEET 4 OF 6

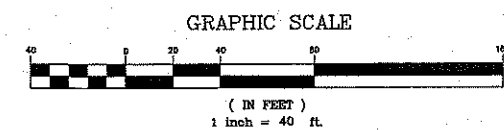
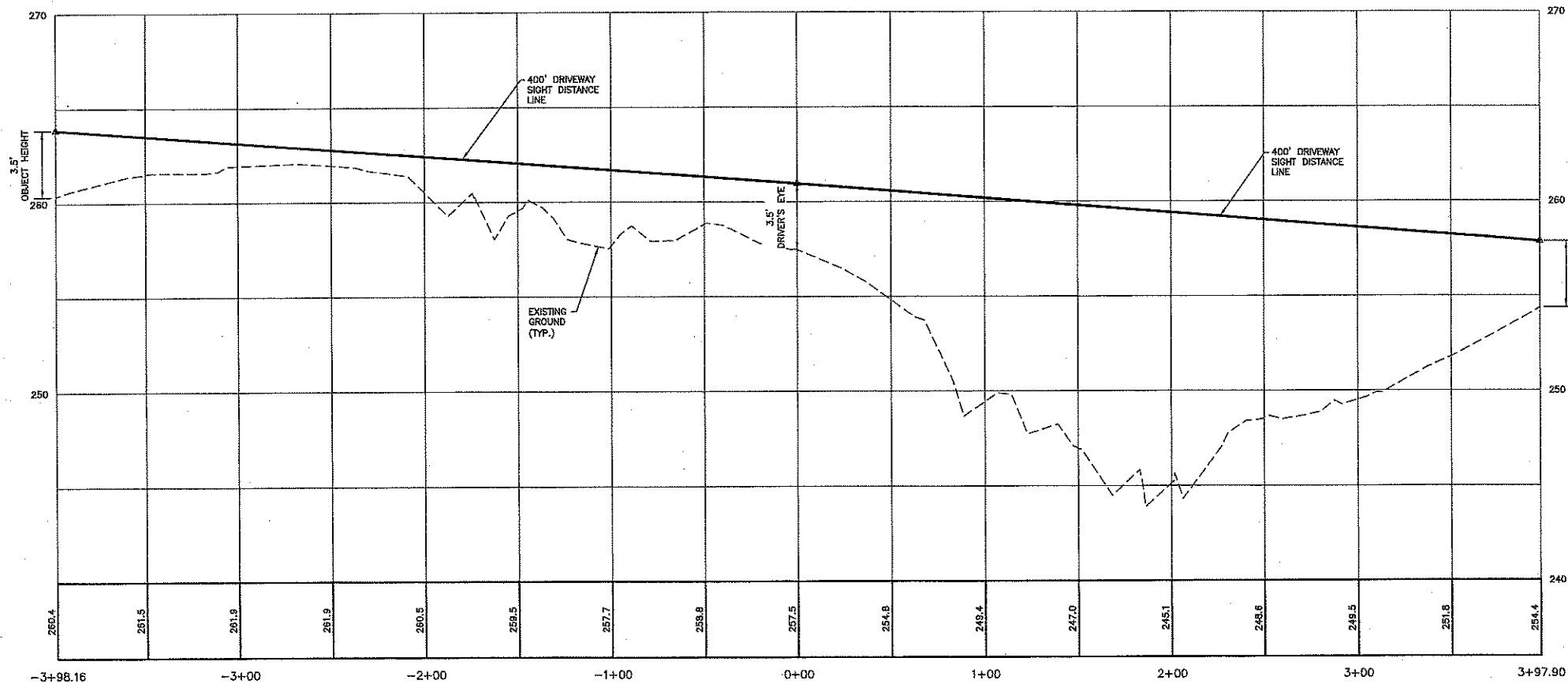
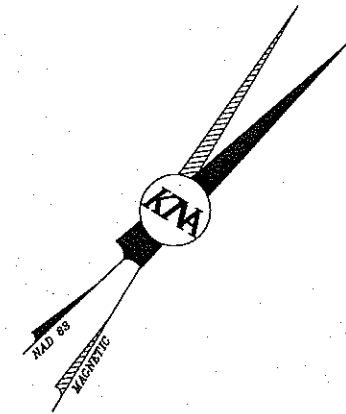
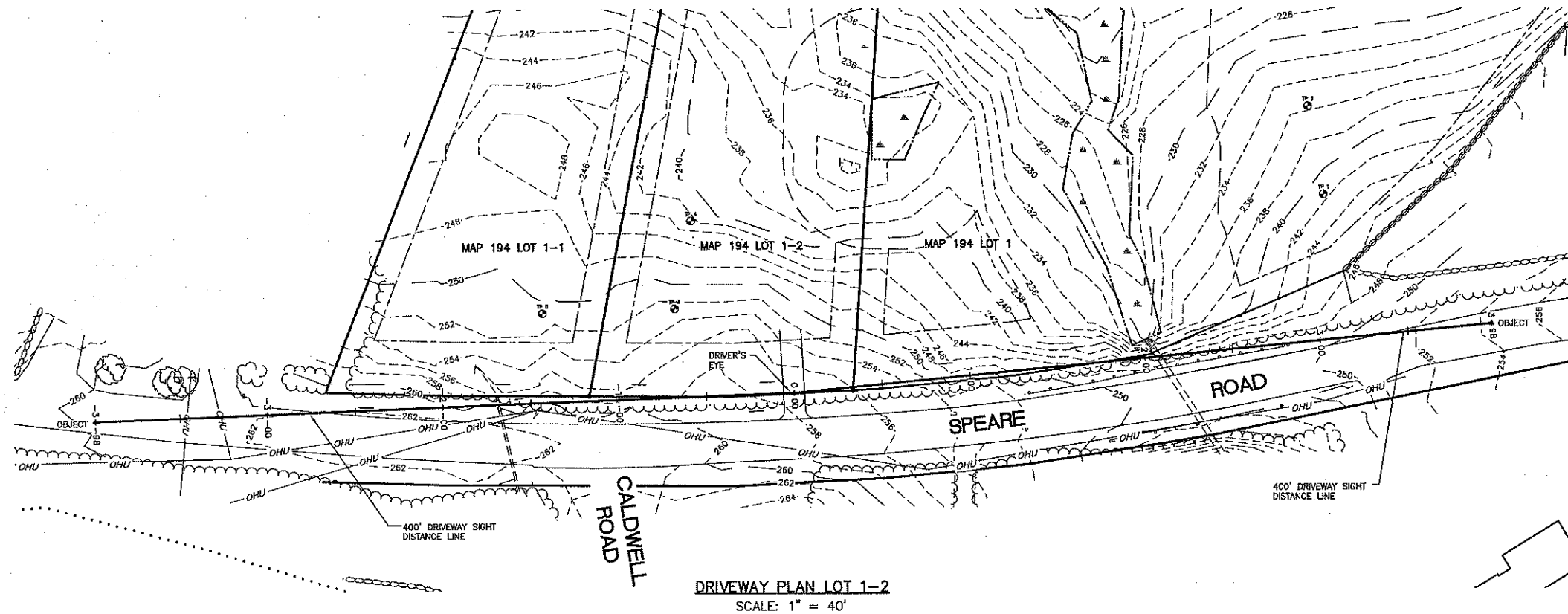
PURSUANT TO THE SUBDIVISION OF LAND REGULATIONS OF THE HUDSON PLANNING BOARD, THE SUBDIVISION APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____

SIGNATURE _____ SIGNATURE DATE _____

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SIGHT DISTANCE PLAN & PROFILE
CRIMSON PROPERTIES
 MAP 194 LOT 1-2
 36 SPEARE ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD: CRIMSON PROPERTIES, LLC 20 TRAFALGAR SQUARE, SUITE 101 NASHUA, NH 03063 H.C.R.D. BK. 8988 PG. 303	APPLICANT: CRIMSON PROPERTIES, LLC 20 TRAFALGAR SQUARE, SUITE 101 NASHUA, NH 03063
---	--

KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: AUGUST 1, 2017 SCALE: AS SHOWN
 PROJECT NO: 17-0718-1 SHEET 5 OF 6

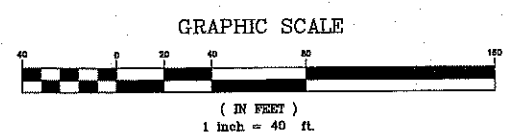
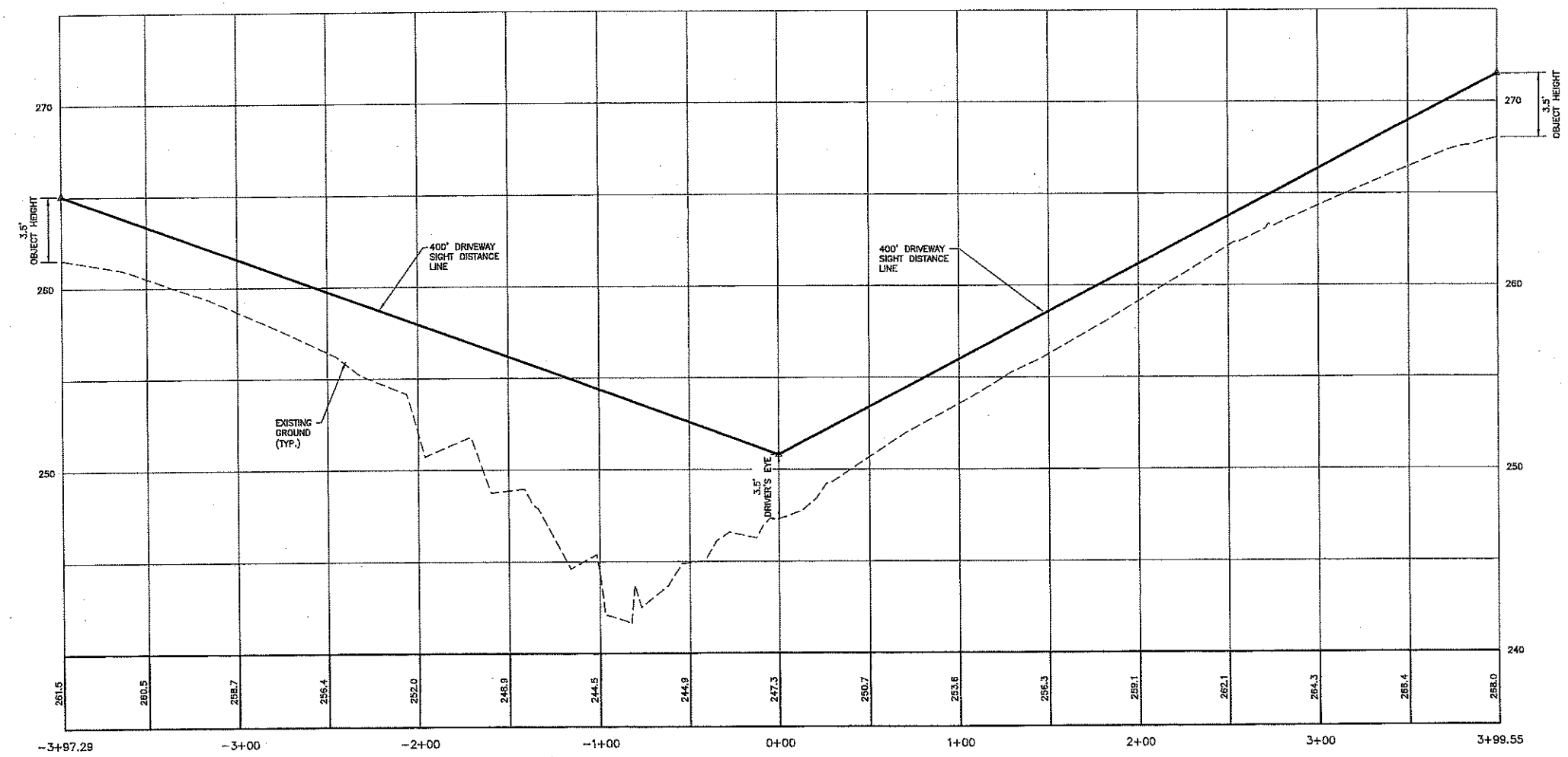
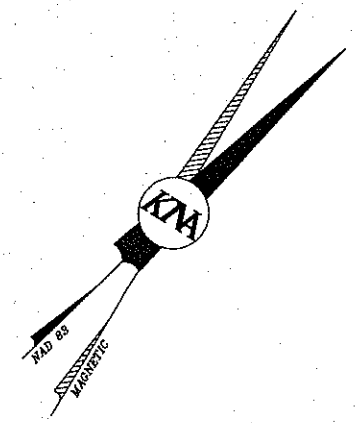
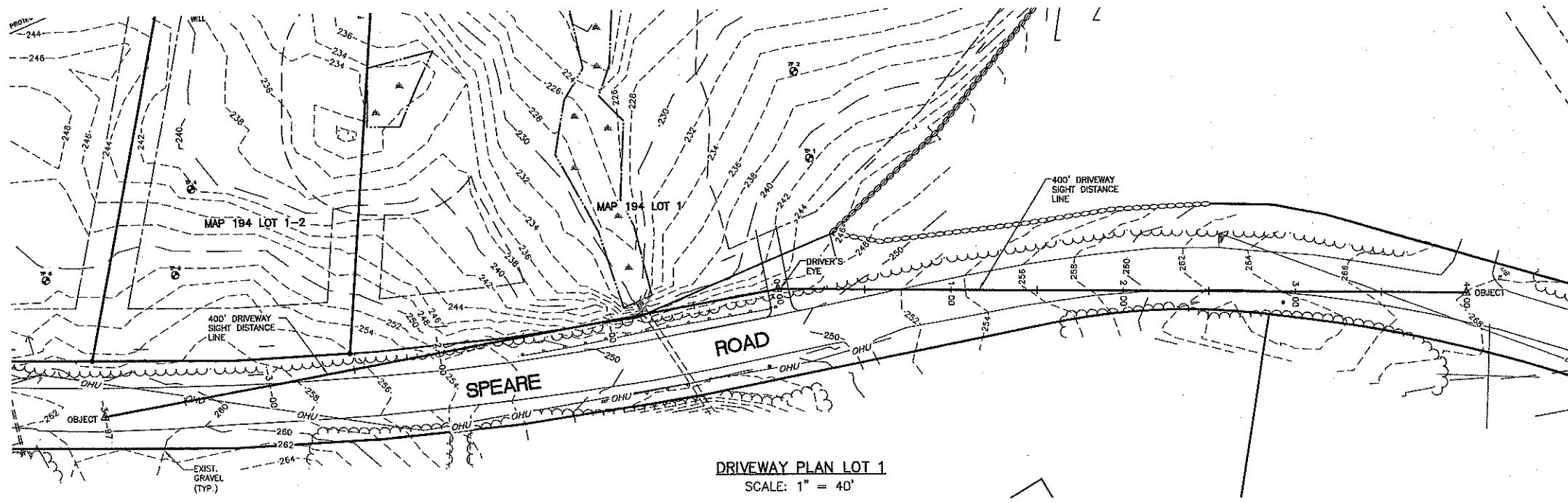
PURSUANT TO THE SUBDIVISION OF LAND REGULATIONS OF THE HUDSON PLANNING BOARD, THE SUBDIVISION APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____
 SIGNATURE _____ SIGNATURE DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

SIGHT DISTANCE PROFILE LOT 1-2
 SCALE: 1" = 40' (HORIZ.)
 1" = 4' (VERT.)



SIGHT DISTANCE PROFILE LOT 1
 SCALE: 1" = 40' (HORIZ.)
 1" = 4' (VERT.)

SIGHT DISTANCE PLAN & PROFILE
CRIMSON PROPERTIES
 MAP 194 LOT 1
 36 SPEARE ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD: CRIMSON PROPERTIES, LLC 20 TRAFALGAR SQUARE, SUITE 101 NASHUA, NH 03063 H.C.R.D BK. 8988 PG. 303	APPLICANT: CRIMSON PROPERTIES, LLC 20 TRAFALGAR SQUARE, SUITE 101 NASHUA, NH 03063
--	--

KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

PURSUANT TO THE SUBDIVISION OF LAND REGULATIONS OF THE HUDSON PLANNING BOARD, THE SUBDIVISION APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____
 SIGNATURE _____ SIGNATURE DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: AUGUST 1, 2017 SCALE: AS SHOWN
 PROJECT NO: 17-0718-1 SHEET 6 OF 6

A:\projects\170718\170718-1\SUBDIVISION.dwg, 10/26/2017 10:55:09 AM, \\saw-reviewer\SAVIN MP W6720 PS

Zheng Garden Site Plan Extension Request

Staff Report
October 17, 2017

SITE: 143 Lowell Road Map 204/Lot 005 SP# 13-14 (EP#2-17)

PURPOSE OF PLAN: To request a second, two-year extension to the Site Plan last approved by the Planning Board on 1/13/16. This plan was recorded on 9/03/15 HCRD# 38615. Application Acceptance & Hearing.

ATTACHMENTS:

- 1) Zheng Garden Site Plan Extension Request – Attachment “A”.
- 2) Recorded Development Agreement dated 8/4/15 – Attachment “B”.

COMMENTS: The applicant requests for the Planning Board to consider granting a second 2-year extension for the approved Zheng Garden Site Plan. For this meeting, staff recommends considering the requested two-year extension in accordance with the below DRAFT MOTION.

DRAFT MOTION:

I move to grant a two-year extension (i.e., from December 10, 2017 to December 10, 2019) for the Zheng Garden Site Plan, which calls for the construction of a 2,360 sf restaurant and associated site appurtenances at 143 Lowell Rd., Map 204/Lot 005.

Motion by: _____ Second: _____ Carried/Failed: _____

Zheng Garden Site Plan Extension Request

Staff Report

January 13, 2016

SITE: 143 Lowell Road Map 204/Lot 005 SP# 10-15

PURPOSE OF PLAN: To request a two-year extension to the Planning Board approved Site Plan on 12/10/14. This plan was recorded on 9/03/15 HCRD# 38615. Application Acceptance & Hearing.

ATTACHMENTS:

- 1) Letter from Project Eng., Brenton Cole, P.E., RE: Ext. Request – “A”.
- 2) Application for Site Plan Extension Request – “B”.
- 3) Notice of Approval, RE: 10 DEC 14 Zheng Garden Site Plan – “C”.

COMMENTS & RECOMMENDATION: In accordance with the attached letter from the project eng., Brenton Cole, P.E., “A”, the Applicant requests for the Planning Board to consider granting a 2-year extension for the approved Zheng Garden Site Plan. For this meeting, staff recommends granting the requested two-year extension in accordance with the below DRAFT MOTION.

DRAFT MOTION:

I move to grant a two-year extension (i.e., from December 10, 2015 to December 10, 2017) for the Zheng Garden Site Plan, which calls for the construction of a 2,360 sf restaurant and associated site appurtenances at 143 Lowell Rd., Map 204/Lot 005.

Motion by: _____ Second: _____ Carried/Failed: _____

A

October 26, 2015

Mr. John Cashell, Town Planner
Planning Department
Town of Hudson
12 School Street
Hudson, New Hampshire 03051



**Subject: Zheng Garden Site Plan
Subdivision Approval SP# 13-14
Map 204; Lot 5
143 Lowell Road, Hudson, New Hampshire
KNA Project No. 14-0718-1**

Dear Mr. Cashell,

As you are aware, our office prepared site plans for the above referenced property in 2014. Further, on December 10, 2014, the Hudson Planning Board granted the Applicant Site Plan Approval. The plan proposed to raze the existing two-story house and construct a 2,360 square foot restaurant. The plan also includes significant improvements such as onsite stormwater management, connections to municipal water and sewer, access, parking, landscaping and lighting.

Due to the slow economic conditions, the applicant has not been able to move forward with the development. Therefore, we hereby respectfully request, on behalf of our client that the Hudson Planning Board grant a two-year extension to the previously approved site plans listed above.

Should you have any questions, or require further information, please do not hesitate to contact me at the office.

Respectfully,

A handwritten signature in black ink, appearing to read "B. Cole".

Brenton Cole, PE
Project Engineer

"B"



PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: October 2, 2014 Tax Map # 204 Lot # 5

Name of Project: Zheng Garden

Zoning District: _____ General SP# 10-15
(For Town Use) (For Town Use)

ZBA Action: N/A

PROPERTY OWNER:

DEVELOPER:

Name: Yue Yun & Zhou Deng Zheng

Same as owner

Address: 4 Paula Circle

Address: Hudson, NH 03051

Telephone # _____

Fax # _____

Email: _____

PROJECT ENGINEER

SURVEYOR

Name: Patrick Colburn, PE (KNA)

Anthony Basso, L.L.S (KNA)

Address: 10 Commerce Park No., Suite 3

10 Commerce Park No., Suite 3

Address: Bedford, NH 03110

Bedford, NH 03110

Telephone # (603) 627-2881

(603) 627-2881

Fax # (603) 627-2915

(603) 627-2915

Email: bcole@keachnordstrom.com

abasso@keachnordstrom.com

PURPOSE OF PLAN:

To propose a 2,360 sf restaurant and associated site appurtenances on Map 204;
Lot 5 in the town of Hudson, NH.

For Town Use

Plan Routing Date: _____ Sub/Site Date: _____

_____ I have no comments _____ I have comments (attach to form)

(Initials) Title: _____ Date: _____

DEPT:

_____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning
_____ Consultant _____ Highway Department

Fees Paid: _____



KEACH-NORDSTROM ASSOCIATES, INC.

October 1, 2014

Project Narrative

Zheng Garden
Map 204; Lot 5
143 Lowell Road
Hudson, NH 03051

The subject parcel is located at 143 Lowell Road, and is referenced on Hudson's Tax Map 204 as Lot 5. The 0.668 acre parcel is in Hudson's Business (B) Zoning District. The site is currently developed with an existing two-story wood frame house. The site is accessed along Lowell Road.

The proposed project entails the construction of a 2,360 square foot restaurant. The existing house and shed will be razed and removed from the site. Additionally the site will include 22 parking spaces and two handicapped, van accessible parking spaces. The restaurant will tie into the town gas and water lines directly from Lowell road. It will connect via force main into the existing sewer system across Lowell Road on Tax Map 204, Lot 73. The site distance along Lowell Road is greater than 400 feet in both directions. Since the site is under 20,000 total square feet, a stormwater management report is not necessary. However, two proposed rain gardens with dry wells will store and treat surface water.

SITE DATA SHEET

PLAN NAME: Zheng Garden

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 204 LOT 5

DATE: October 2, 2014

Location by Street 143 Lowell Road

Zoning: Business (B)

Proposed Land Use: Restaurant

Existing Use: Residential

Surrounding Land Use(s): Commercial/Residential

Number of Lots Occupied: One

Existing Area Covered by Building: 2,079 sf (758 sf Wood Shed)

Existing Buildings to be removed: 2,079 sf (758 sf Wood Shed)

Proposed Area Covered by Building: 2,360 sf

Open Space Proposed: 53 %

Open Space Required: 35%

Total Area: S.F.: 29,093 Acres: 0.668

Area in Wetland: 0 Area Steep Slopes: 0

Required Lot Size: 30,000

Existing Frontage: 142.62 (Lowell)

Required Frontage: 150

Building Setbacks:	<u>Required*</u>	<u>Proposed</u>
Front:	<u>50</u>	<u>50</u>
Side:	<u>15</u>	<u>15</u>
Rear:	<u>15</u>	<u>15</u>

SITE PLAN DATA SHEET
(Continued)

Flood Zone Reference: FIRM Map 33011C0656D, Panel # 656, 09/25/09 (Not in a Flood Zone)

Width of Driveways: 24'

Number of Curb Cuts: 1 (Existing)

Proposed Parking Spaces: 24 (including 2 handicap spaces)

Required Parking Spaces: 24

Basis of Required Parking (Use): 1 Space/100 SF (Restaurant) - No Bar

Dates/Case #/Description/Stipulations of ZBA, Conservation Commission, NH Wetlands Board Actions: N/A
(Attach stipulations on separate sheet)

<u>Waivers Requested:</u>	<u>Hudson Town Code Reference</u>	<u>Regulation Description</u>
	1. <u>HTC 275-8B-12C</u>	<u>Residential Buffer</u>
	2. <u>HTC 275-9C</u>	<u>Noise Study</u>
	3. <u>HTC 275-9D</u>	<u>Fiscal/Enviro. Impact Study</u>
	4. <u>HTC 275-9B</u>	<u>Traffic Study</u>
	5. <u>HTC 275-8B-31A</u>	<u>Interior Landscape</u>
	6. _____	_____
	7. _____	_____
	8. _____	_____

(Left column for Town Use)

Impact Fees:
C.A.P Fee: TBD

Development Agreement Proposed: _____

<i>For Town Use</i>	
Data Sheet Checked By: _____	Date: _____

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Thirty (30) days prior to Planning Board Meeting, a complete site plan to include all supporting materials/documents must be submitted in final form. The site plan shall comply with the following specifications/requirements:

Applicant Initials		Staff Initials
<u>BJC</u>	a) Submission of nine (9) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M., Tuesday the week prior to the scheduled public hearing/conceptual review date.	_____
<u>BJC</u>	b) A Site Plan narrative, describing the purpose, locations, long-range plans, impacts on traffic, schools, and utilities	_____
<u>BJC</u>	c) Plan scale at not less the one inch equals fifty feet (1" = 50')	_____
<u>BJC</u>	d) Locus plan with 1,000' minimum radius of site to surrounding area	_____
<u>BJC</u>	e) Plan date by day/month/year	_____
<u>BJC</u>	f) Revision block inscribed on the plan	_____
<u>BJC</u>	g) Planning Board approval block inscribed on the plan	_____
<u>BJC</u>	h) Title of project inscribed on the plan	_____
<u>BJC</u>	i) Names and addresses of property owners and their signatures inscribed on the plan	_____
<u>BJC</u>	j) North point inscribed on the plan	_____
<u>BJC</u>	k) Property lines: exact locations and dimensions	_____
<u>BJC</u>	l) Square feet and acreage of site	_____
<u>BJC</u>	m) Square feet of each building (existing and proposed)	_____
<u>BJC</u>	n) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan.	_____

Applicant
Initials

Staff
Initials

- | | | |
|----------------|--|-------|
| <u>BJC</u> o) | Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve areas, floodways/floodplains, driveways, travel areas, parking areas and natural features within 200 feet of the tract | _____ |
| <u>BJC</u> p) | Locations of existing and proposed permanent monuments and bench marks within 200 feet of the development tract | _____ |
| <u>BJC</u> q) | Pertinent highway projects | _____ |
| <u>BJC</u> r) | Assessor's Map and Lot number(s) | _____ |
| <u>BJC</u> s) | Waiver application form shall be submitted with the site plan application, note on plan listing waivers requested/granted; and all waivers granted to the site plan regulations shall be listed on the final plan; waivers to checklist shall be reduced to writing and be signed by the Planning Board Chairman and Planning Board Secretary and recorded with the plan | _____ |
| <u>BJC</u> t) | Delineate zoning district on the plan | _____ |
| <u>NA</u> u) | Storm water drainage plan | _____ |
| <u>BJC</u> v) | Topographical elevations at 2-foot intervals contours: existing and proposed | _____ |
| <u>BJC</u> w) | Utilities: existing and proposed | _____ |
| <u>BJC</u> x) | Parking: existing and proposed | _____ |
| <u>BJC</u> y) | Parking space: length and width | _____ |
| <u>BJC</u> z) | Aisle width/maneuvering space | _____ |
| <u>BJC</u> aa) | Landscaping: existing and proposed | _____ |
| <u>BJC</u> ab) | Building and wetland setback lines | _____ |
| <u>BJC</u> ac) | Curb cuts | _____ |
| <u>BJC</u> ad) | Rights of way: existing and proposed | _____ |
| <u>BJC</u> ae) | Sidewalks: existing and proposed | _____ |
| <u>BJC</u> af) | Exterior lighting plan | _____ |
| <u>BJC</u> ag) | Sign locations: size and design | _____ |
| <u>BJC</u> ah) | Water mains and sewerage lines | _____ |
| <u>BJC</u> ai) | Location of dumpsters on concrete pads | _____ |
| <u>BJC</u> aj) | All notes from plats | _____ |

Applicant Initials		Staff Initials
<u>W</u>	ak) Buffer as required by site plan regulations	_____
<u>BJC</u>	al) Green and open space requirements met with both types of spaces inscribed on the plan	_____
<u>BJC</u>	am) Soil types and boundaries. Note: If site contains marginal or questionable soils, a High Intensity Soil, Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire Certified Soil Scientist, who shall affix his/her stamp and signature shall be inscribed on the plan.	_____
<u>N/A</u>	an) Wetlands (and poorly-drained and very poorly-drained soils, also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire certified wetland or soil scientist, who shall affix his/her stamp and signature to the respective plan.	_____
<u>BJC</u>	ao) "Valid for one year after approval" statement inscribed on the plan.	_____
<u>N/A</u>	ap) Loading bays/docks	_____
<u>BJC</u>	aq) State of New Hampshire engineer's stamp, signature, surveyor's stamp, and signature	_____
<u>BJC</u>	ar) Error of closure (1 in 10,000 or better)	_____
<u>BJC</u>	as) Drafting errors/omissions	_____
<u>BJC</u>	at) Developer names, addresses, telephone numbers and signatures	_____
<u>BJC</u>	au) Photographs, electronic/digital display or video of site and area	_____
<u>BJC</u>	av) Attach one (1) copy of the building elevations	_____
<u>W</u>	aw) Fiscal impact study	_____
<u>W</u>	ax) Traffic study	_____
<u>W</u>	ay) Noise study	_____

Applicant
Initials

Staff
Initials

N/A az) Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents _____

N/A ba) Copy of applicable Town, State, Federal approval/permits to include but not limited to the following: _____

- industrial discharge application
- sewer application
- flood plain permit
- wetlands special exception
- variance
- erosion control permit (149:8a)
- septic construction approval
- dredge and fill permit
- curb cut permit
- shore-land protection certification in accordance with RSA483-B
- if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.

BJC bb) Presentation plan (colored, with color-coded bar chart) _____

BJC bc) Fees paid to clerk _____

BJC bd) Five (5) 22" x 34" copies of the plan shall be brought to the Planning Board meeting and distributed to the Planning Board members at the meeting. Note: for all subsequent meetings involving revised plans, five 22" x 34" copies of said plan shall be brought to the meeting for distribution to the board members. _____

*Under the purview of the Planning Board, any and all items may be waived.

APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE

I hereby apply for Site Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Site Plan specifications or application form are incomplete, the application will be considered rejected.

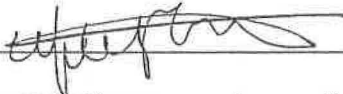
Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: _____



- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: _____



- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

APPLICATION IS DUE AT NOON 21 days prior to the Planning Board Meeting. (The date the Agenda is CLOSED.) Any applications received after that time will be deferred until the next available meeting.

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: Zheng Garden

Street Address: 143 Lowell Road, Hudson, New Hampshire 03051

I Brenton Cole hereby request that the Planning Board waive the requirements of item HTC 275-9C of the Subdivision/Site Plan Checklist in reference to a plan presented by Keach-Nordstrom Associates, Inc. (name of surveyor and engineer) dated August 28, 2014 for property Tax Map(s) 204 and Lot(s) 5 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

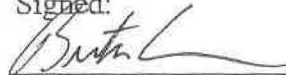
Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

A Noise Impact Study would cause unnecessary financial burden on the applicant.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

The ordinance is in place to prevent noise pollution from occurring within areas of mixed use where it may cause disputes amongst neighbors. It is not expected that the proposed restaurant will bring any increased noise pollution to the site or to the residential and commercial uses surrounding it, therefore granting of the waiver is in keeping with the spirit and intent of the ordinance.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: Zheng Garden

Street Address: 143 Lowell Road, Hudson, New Hampshire 03051

I Brenton Cole hereby request that the Planning Board waive the requirements of item HTC 275-9D of the Subdivision/Site Plan Checklist in reference to a plan presented by Keach-Nordstrom Associates, Inc. (name of surveyor and engineer) dated August 28, 2014 for property Tax Map(s) 204 and Lot(s) 5 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

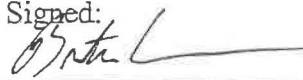
Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

A Fiscal/Environmental Impact study beyond what we have provided through our Best Management Practices and the CAP fee required by the Town of Hudson would cause unnecessary financial burden on the applicant.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

This waiver request is not violating the spirit and intent of the ordinance due to the fact that the site is currently developed. Fiscally, the site is subject to a CAP fee to be determined.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: Zheng Garden

Street Address: 143 Lowell Road, Hudson, New Hampshire 03051

I Brenton Cole hereby request that the Planning Board waive the requirements of item HTC 275-9.B. of the Subdivision/Site Plan Checklist in reference to a plan presented by Keach-Nordstrom Associates, Inc. (name of surveyor and engineer) dated August 28, 2014 for property Tax Map(s) 204 and Lot(s) 5 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

A Traffic Study would cause unnecessary financial burden on the applicant. The use is not a peak hour generator and will not affect traffic on Lowell Road.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

The ordinance is in place to assess existing traffic conditions and what proposed developments would do to the current traffic. It is not expected that the proposed building, being the size of the development and not a peak hour generator, will bring any increase in peak hour traffic to Lowell Road, therefore granting of the waiver is in keeping with the spirit and intent of the ordinance.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: Zheng Garden

Street Address: 143 Lowell Road, Hudson, New Hampshire 03051

I Brenton Cole hereby request that the Planning Board waive the requirements of item HTC 275-8.B.(12) of the Subdivision/Site Plan Checklist in reference to a plan presented by Keach-Nordstrom Associates, Inc. (name of surveyor and engineer) dated August 28, 2014 for property Tax Map(s) 204 and Lot(s) 5 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The subject parcel is located within the Town of Hudson's Business zone. This particular business district is abutted by residential uses which require a residential buffer. It is not feasible to construct a restaurant (permitted use within this zone) outside the residential buffer. The proposed project's intent remove this building and construct a restaurant. To propose the building outside of the buffer would create significant hardship to the restaurant as the size of the building would be ineffective.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

Granting the waiver will allow a permitted use and appropriate use of the land to build a reasonably sized building to suit the needs required. The proposed development will revitalize this parcel to create a more aesthetically pleasing site with an evergreen buffer along the property line and a new building. Therefore, granting the waiver is not contrary to the spirit and intent of the ordinance.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: Zheng Garden

Street Address: 143 Lowell Road, Hudson, New Hampshire 03051

I Brenton Cole hereby request that the Planning Board waive the requirements of item HTC 275-8.B.(31) a. of the Subdivision/Site Plan Checklist in reference to a plan presented by Keach-Nordstrom Associates, Inc. (name of surveyor and engineer) dated August 28, 2014 for property Tax Map(s) 204 and Lot(s) 5 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The proposed development consists of parking stalls situated across from the proposed building. Since the development consists of only single row parking stalls there is no good opportunity for internal green space, without incorporating peninsula islands that greatly interfere with snow removal operations.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

Ample landscaping is provided around the proposed parking lots and travel lanes. The landscape plan that was designed by a Licensed Landscape Architect consisting of 7 shade trees and 47 shrubs. Given that the proposed plan provides the required number of trees and shrubs, just surrounding the parking lot and travel lane rather than within the parking areas, granting the waiver is in keeping with the spirit and intent of the ordinance.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

FOOTNOTES:

1. In the event of the denial of a plan, the recording fees collected will not be reimbursed, but will instead be used as an additional fee to help defray administrative costs associated with a denial.
2. The "Review Fees" are fees estimated necessary to offset costs incurred to review and/or compile plans, data, or other information relative to the proposal.
3. The "Amount Due" does not include fees for studies or reviews as authorized in Section G-2 of this regulation.
4. Fees must be paid in full prior to the commencement of any formal review by the Town of Hudson.

STATUS:

DATE:

<u> </u>	1. Application incomplete	<hr/>
<u> </u>	2. Application complete. Include any applicable requested waivers, fees paid, routing sheet returned	<hr/>
<u> </u>	3. Application formally accepted or denied by Planning Board (90-day review clock by RSA 674:43 to start upon acceptance granted)	<hr/>
<u> </u>	4. Final approval granted or denied	<hr/>
<u> </u>	5. Comments:	
	<hr/>	
	<hr/>	
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Photo No. 1: An aerial view of the subject parcel (Map 204; Lot 5)



Photo No. 2: The existing two-story wood frame house.



Civil Engineering

Land Surveying

Landscape Architecture

Photo No. 3: Looking east at the existing house and shed.



Photo No. 4: A view from the back of the existing house.



Photo No. 5: Sight distance looking north along Lowell Road toward a traffic cone, placed 400' away.

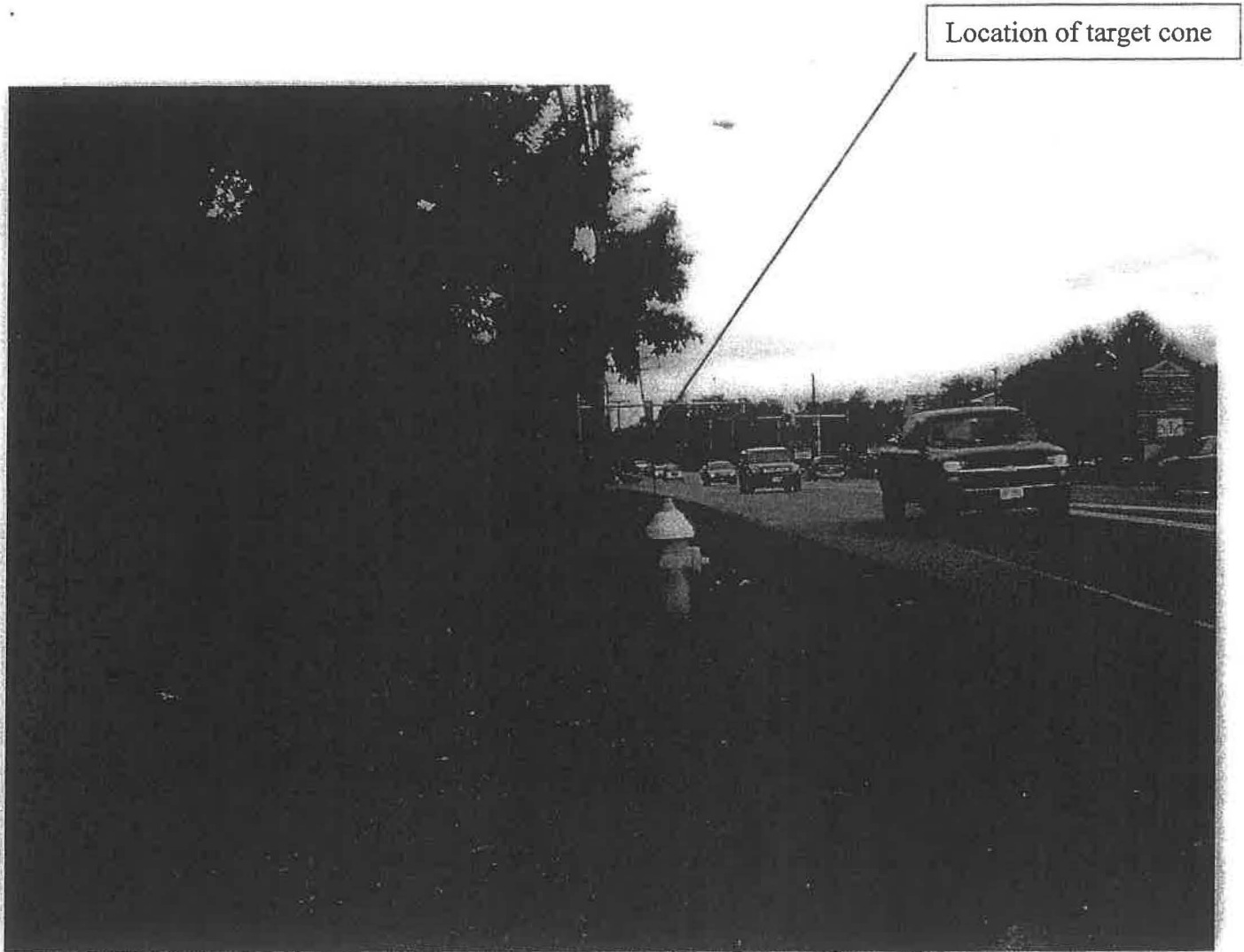
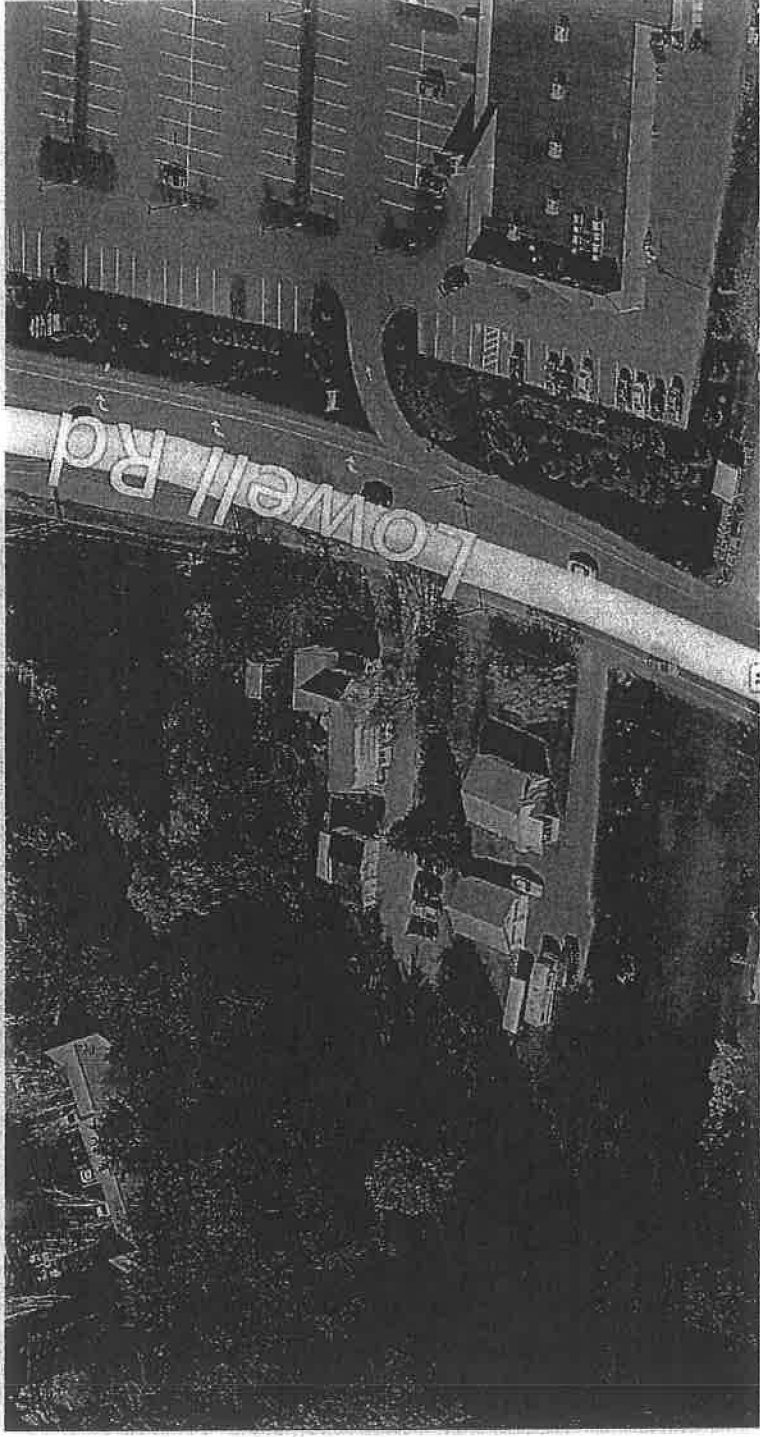


Photo No. 4: Sight distance looking south along Lowell Road toward a traffic cone, placed 400' away.

Location of target cone



143 Lowell Road – HUDSON, NEW HAMPSHIRE





Owner Affidavit

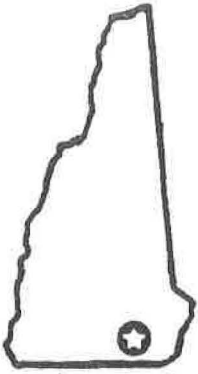
I, Yue Yun Zheng, owner of the property referenced on Tax Map 204; Lot 4, located on Lowell Road in Hudson, New Hampshire, hereby verify that I authorize Keach-Nordstrom Associates, Inc. (KNA) to prepare, submit and represent, on my behalf, throughout the federal, state and municipal application process.

Signature of Landowner: 

Printed Name of Landowner: zhuo deng zheng

Address of Owner: 4 Paula circle
Hudson NH 08051

Date: 10-14-14



TOWN OF HUDSON
PLANNING BOARD

"C"

NOTICE OF APPROVAL



12 School Street

Hudson, New Hampshire 03051

603/886-6008

December 15, 2014

Owner or Applicant: Yue Yun & Zhou Deng Zheng
4 Paula Circle
Hudson, NH 03051

On Wednesday, December 10, 2014, the Hudson Planning Board heard subject case SP# 13-14 "Zheng Garden Site Plan"

SUBJECT: Purpose of plan: To propose a 2,360 sf restaurant and associated site appurtenances on Map 204; Lot 5 in the Town of Hudson. Application Acceptance & Hearing.

LOCATION: Map 204/Lot 5 – 143 Lowell Road

You are hereby notified of the subject plat presented before the Planning Board and the following action:

The Planning Board voted to accept the Site Plan application calling for the construction of a 2,360 sf restaurant and associated site appurtenances at 143 Lowell Road, Map 204; Lot 5.

Waivers:

1) HTC 275-8(B)12C – Residential Buffer

The Planning Board voted to grant the requested waiver – HTC 275-8(B)12C – Residential Buffer – because the subject proposed restaurant is an allowed use in the Business Zoning District, with similar uses located along the same commercial corridor; further, the granting of this waiver will allow for an appropriate use of the land and reasonable sized building to suit the needs required, and also provides an evergreen buffer and 4 ft. fence along the property line closest to the residential abutter. In addition, the applicant's representative stated that the owner of the abutting Map 209/Lot 001, has no objection to the proposed use, as the probable business or commercial use of the subject property has been planned for through its zoning designation, and as such, the granting of this waiver is in keeping with the spirit and intent of the Town's ordinances.

2) HTC 275-9B – Traffic Study

The Planning Board voted to grant the requested waiver HTC 275-9B – Traffic Study – because the proposed restaurant use, with its expected low volume of traffic, will not adversely impact traffic conditions along Lowell Rd., and as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan Review regulations.

3) HTC 275-9(C) – Noise Study

The Planning Board voted to grant the requested waiver: HTC 275-9C – Noise Study – because the proposed use is not expected to create noise beyond that which is allowed by Town Code, as such, the granting of this waiver is in keeping with the spirit and intent of the ordinances.

4) HTC 275-9D – Fiscal and Environmental Impact Study

The Planning Board voted to grant the requested waiver: HTC 275-9D – Fiscal and Environmental Impact Study because in addition to the submitted plans and application documents, which include best management practices for stormwater control and a CAP Fee, said study is unnecessary in order to evaluate the fiscal and environmental impact of this project, and as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan Review regulations.

HTC 275-8.B.(31)a. – Interior Landscaping

The Planning Board voted to grant the requested waiver – Section 275-8(31) – because landscaping along the perimeter of the site will be more effective to serve purposes of the ordinance enumerated in §334-2, as such, the granting of this waiver will not violate the purposes or general standards of this chapter.

The Planning Board voted to grant approval for the Site Plan entitled: “Non-Residential Site Plan Zheng Garden, Map 204, Lot 5, Lowell Road, Hudson, NH, prepared by Keach-Nordstrom Associates, Inc., dated: 25 August, 2014, last revised 5 November 2014, consisting of Sheets 1 – 15 and Notes 1 – 32 on Sheet 1, in accordance with the following terms and conditions:

- 1) All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record (hereinafter referred to as the Plan).

- 2) Prior to the Planning Board endorsement of the Plan, the Development Agreement and any and all easement deeds shall be favorably reviewed and recommended on by Town Counsel.
- 3) All improvements shown on the Plan, including Notes 1 - 32, shall be completed in their entirety and at the expense of the Applicant or his assigns.
- 4) After the issuance of the foundation permit for the proposed building, and prior to the issuance of the framing permit thereof, the applicant shall submit to the Hudson Community Development Department a foundation "As-Built" plan on a transparency and to the same scale as the approved site plan. The foundation "As-Built" plan shall include all structural dimensions and lot line setback measurements to the foundation and be stamped by a licensed land surveyor. Any discrepancy between the approved site plan and foundation "As-Built" plans shall be documented by the applicant and be part of the foundation "As-Built" submission.
- 5) A CAP Fee of \$13,758.80 shall be submitted by the Applicant to the Town prior to the issuance of a Certificate of Occupancy for the project.
- 6) Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As-Built" Site Plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms with the Planning Board approved Plan.
- 7) Onsite landscaping and exterior lighting shall be provided for in accordance with the Sheets 8 & 9 of the plan.
- 8) Exterior construction activities on the site shall be limited to between 7:00 AM and 7:00 PM Monday through Saturday. No construction activities shall occur on Sunday.
- 9) This approval shall be subject to final engineering review.
- 10) The applicant's engineer and/or contractor shall contact the Town of Hudson to schedule a preconstruction meeting, which will be held with Town staff prior to the start of construction.
- 11) Prior to Planning Board endorsement of the Plan, it shall be amended to include a 12 ft. in-width public access and utility easement along the entire length of street frontage for Map 204/Lot 005, and the deed for said easement shall be favorably reviewed by Town Counsel.
- 12) Prior to Planning Board endorsement of the Plan, it shall be amended to include a loading zone.

All representations of fact or intention made by the applicant or any applicant's representative during testimony before the Planning Board relative to the obtaining approval of this plan, shall be considered conditions of this approval regardless of the fact that such fact or intentions were not specifically stated as part of the motion to grant.

Signed:  Date: 12-15-14
John M. Cashell
Town Planner

cc: Keach-Nordstrom Associates, Inc.

Return to:

546 Hudson Planning

FEES:	<i>3071</i>
SURCHARGE:	<i>2-</i>
CASH:	<i>-</i>

ATTACHMENT B

SITE PLAN DEVELOPMENT AGREEMENT

This Agreement is entered into this *4TH* day of *AUGUST*, 2015, between **Yue Yun Zheng and Zhou Den Zheng**, of 4 Paula Circle, Hudson, New Hampshire ("Applicant"), and the **Town of Hudson**, a municipal corporation, at 12 School Street, Hudson, New Hampshire. It represents the understanding of the parties regarding the granting by the Hudson Planning Board of site plan approval in accordance with the ordinances of the Town of Hudson, and to contain improvements pursuant to the plans and conditions referenced below.

WHEREAS, the Applicant is proposing to construct a 2,360 sf restaurant and associated site appurtenances at 143 Lowell Road, Map 204; Lot 5 in the Town of Hudson.

WHEREAS, the Hudson Planning Board has been duly authorized to regulate the subdivision of land and to approve and disapprove site plans for multifamily dwelling units and nonresidential developments pursuant to RSA 674 et seq.

WHEREAS, Applicant has applied for approval for the above described project in compliance with Town zoning ordinances and the rules and regulations of Hudson Planning Board.

WHEREAS, site plan approval is conditioned upon the execution of a Development Agreement.

In consideration for the Hudson Planning Board granting site plan approval, the parties hereby agree as follows:

Final site plan approval is granted for the Site Plan entitled: "Non-Residential Site Plan Zheng Garden, Map 204, Lot 5, Lowell Road, Hudson, NH, prepared by Keach-Nordstrom Associates, Inc., dated: 25 August, 2014, last revised 11 December, 2014 consisting of Sheets 1 – 15 and Notes 1 – 33 on Sheet 1, in accordance with the following terms and conditions:

- 1) All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record (hereinafter referred to as the Plan).
- 2) Prior to the Planning Board endorsement of the Plan, the Development Agreement and any and all easement deeds shall be favorably reviewed and recommended on by Town Counsel.
- 3) All improvements shown on the Plan, including Notes 1 - 33, shall be completed in their entirety and at the expense of the Applicant or his assigns.
- 4) After the issuance of the foundation permit for the proposed building, and prior to the issuance of the framing permit thereof, the applicant shall submit to the Hudson Community Development Department a foundation "As-Built" plan on a transparency and to the same scale as the approved site plan. The foundation "As-Built" plan shall include all structural dimensions and lot line setback measurements to the foundation and be stamped by a licensed land surveyor. Any discrepancy between the approved site plan and foundation "As-Built" plans shall be documented by the applicant and be part of the foundation "As- Built" submission.
- 5) A CAP Fee of \$13,758.80 shall be submitted by the Applicant to the Town prior to the issuance of a Certificate of Occupancy for the project.
- 6) Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As-Built" Site Plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms with the Planning Board approved Plan.
- 7) Onsite landscaping and exterior lighting shall be provided for in accordance with the Sheets 8 & 9 of the plan.
- 8) Exterior construction activities on the site shall be limited to between 7:00 AM and 7:00 PM Monday through Saturday. No construction activities shall occur on Sunday.
- 9) This approval shall be subject to final engineering review.
- 10) The applicant's engineer and/or contractor shall contact the Town of Hudson to schedule a preconstruction meeting, which will be held with Town staff prior to the start of construction.
- 11) Prior to Planning Board endorsement of the Plan, it shall be amended to include a 12 ft. in-width public access and utility easement along the entire length of street frontage for Map 204/Lot 005, and the deed for said easement shall be favorably reviewed by Town Counsel.
- 12) Prior to Planning Board endorsement of the Plan, it shall be amended to include a loading zone.

I

All conditions contained in the notes of the plan are incorporated herein by reference as approved by the Planning Board. Furthermore, all representations of fact or intention made by the applicant or any of applicant's representatives during testimony before the Planning Board relative to the obtaining of approval of this plan, shall be considered conditions of this approval regardless of the fact that such fact or intentions were not specifically stated as part of the motion to grant.

II

Applicant shall comply with all subdivision, site review and zoning regulations which have been promulgated by the Town and which are in effect as of the date of this Agreement. If this Agreement contains terms, including but not limited to variance and special exception stipulations granted by the Hudson Zoning Board of Adjustment, which are stricter or impose higher standards than the above-mentioned regulations, the stricter or higher standards shall control. All improvements shall meet the standards of workmanship as required by the Town, as required by the New Hampshire Department of Environmental Services, as required by the New Hampshire Department of Transportation, and as required by the New Hampshire Wetlands Board.

III

Applicant shall obtain all necessary local, state and federal permits prior to commencing work and shall comply fully with their terms.

IV

Applicant shall comply with the plan as submitted to, reviewed by and approved by the Planning Board, including but not limited to, notations set forth on the plan. Deviation from or amendments to the plan may only be made with the written approval of the Planning Board, or the Town Engineer, as appropriate.

V

Applicant acknowledges that it will have sole responsibility for ensuring the quality of the construction and that Applicant will not hold the Town, building inspector or other officers, employees, agents or assigns of the Town responsible for any claims, damages, fees or costs alleged to be incurred on account of the Town's negligent inspection of the improvements to be constructed. Similarly, Applicant agrees to hold harmless and indemnify the Town for any claims, damages, fees or costs sought or asserted by third parties against the Town on the grounds of negligent or improper inspection of the construction of the improvements called for herein.

VI

Applicant shall provide and install erosion and sedimentation control measures as required by the plan, by RSA 149-M, and as deemed necessary by the Town Engineer or his designated agent.

VII

The Applicant shall be responsible for any off-site problems, which arise from this construction. This includes, but is not limited to, erosion, runoff, sedimentation, drainage, and property damage by construction equipment, including damage to existing streets, sewers and drainage systems. Upon notification by the Town in writing, the developer must submit a plan within one week to remedy the problem. The Town Engineer division shall then set a construction schedule in consultation with the developer so that the problem can be corrected as soon as practical.

VIII

It is the intent of the signatories to the Agreement that only they can sue to enforce the Agreement's terms. The Agreement confers no rights on third parties.

IX

The Applicant's promise to perform improvements incorporated herein is an obligation independent from any alleged breach by the Town, once the Planning Board has given the developer site plan/subdivision approval and work on the site has begun.

X

Applicant shall notify the Town Engineer at least sixty (60) days prior to anticipated construction. A pre-construction meeting shall be held at least thirty (30) days prior to commencement of construction. A three-party inspection agreement and any other pertinent documents shall be finalized prior to the pre-construction meeting.

XI

The Agreement to complete bonded or otherwise secured improvements is not contingent upon the commencement of work on the site or on the sale of any of the lots or property contained in the approved plan.

XII

At the time of plan recording, Applicant shall also execute and deliver to the Town easements for sewer, drainage, water, utilities as may be specified by the Hudson Planning Board, or otherwise specified on the plan.

XIII

The Applicant shall remove all waste from the particular site prior to the issuance of any Certificate of Completion or occupancy permit. All waste will be removed in compliance with applicable Town, State and Federal regulations.

XIV

Prior to commencing construction, Applicant agrees to pay all fees as required by all ordinances and regulations of the Town in effect at the time of this Agreement, as well as any other fees imposed by the Hudson Planning Board, upon application for a building permit, unless phased payments are provided for. Applicant shall have an affirmative obligation to supplement this fee schedule, as information about the number of dwelling units per lot becomes available.

XV

Applicant agrees that if in the future the Town determines that Applicant has committed a material breach of this Agreement or has violated any Town zoning, subdivision, site plan or any State land use or environmental law or regulation or building code, and said material breach or violation is decided against Applicant by a court of competent jurisdiction in a legal action by the Town against Applicant, Applicant agrees to pay, on demand, all reasonable attorney fees, court costs, sheriff charges and related costs incurred by the Town in connection with the breach or violation to the extent that said fees, costs and charges would not have been incurred had the breach or violation not occurred.

XVI

A note shall be added to the recorded plan. This note shall state the existence of this Development Agreement, and that a copy of it is on file with the Planning Department or other designated Town department. This Agreement shall be recorded with the plan.

XVII

This agreement shall run with the land and shall be binding on any subsequent purchaser of the proposed development on applicant's heirs and assigns, and on any successor entity.

XVIII

Severability: If any section, clause, provision, article or portion of this contract shall be invalidated by any court of competent jurisdiction, such holding shall not invalidate any other section of this Agreement.

IN WITNESS WHEREOF, the parties have hereunto set their hands the day and year first written above.


Witness


Yue Yun Zheng

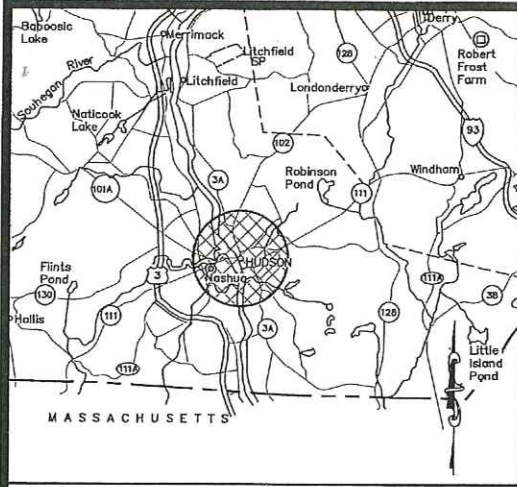

Witness


Zhou Deng Zheng

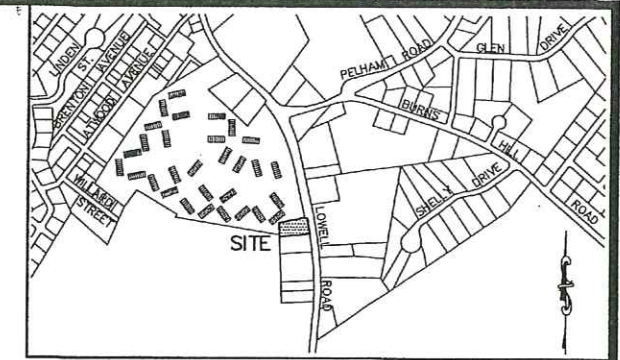
TOWN OF HUDSON, NH


Witness


George Hall, Chairman
Hudson Planning Board



VICINITY PLAN
NOT TO SCALE



VICINITY PLAN
SCALE: 1" = 1,000'

NON-RESIDENTIAL SITE PLAN ZHENG GARDEN

MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE



OWNER/APPLICANT:

YUE YUN & ZHOU DENG ZHENG
4 PAULA CIRCLE
HUDSON, NH 03051

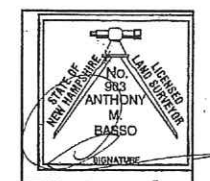
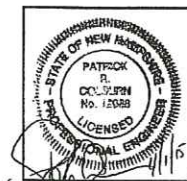
PREPARED BY:

KEACH-NORDSTROM ASSOCIATES, INC.
10 COMMERCE PARK NORTH, SUITE 3B
BEDFORD, NEW HAMPSHIRE 03110
(603) 627-2881

SHEET TITLE

SHEET No.

MASTER PLAN	1
EXISTING CONDITIONS PLAN	2
DEMOLITION/REMOVALS PLAN	3
NON-RESIDENTIAL SITE LAYOUT PLAN	4
GRADING AND DRAINAGE PLAN	5
EROSION CONTROL PLAN	6
UTILITY PLAN	7
LANDSCAPE PLAN	8
LIGHTING PLAN	9
CONSTRUCTION DETAILS	10-15



3/31/14

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

AUGUST 25, 2014
DECEMBER 11, 2014
PROJECT NO. 14-0718-1

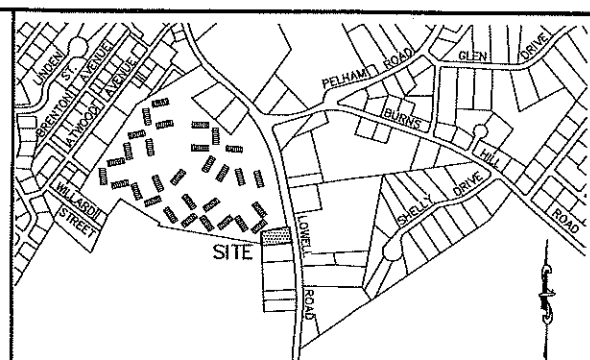
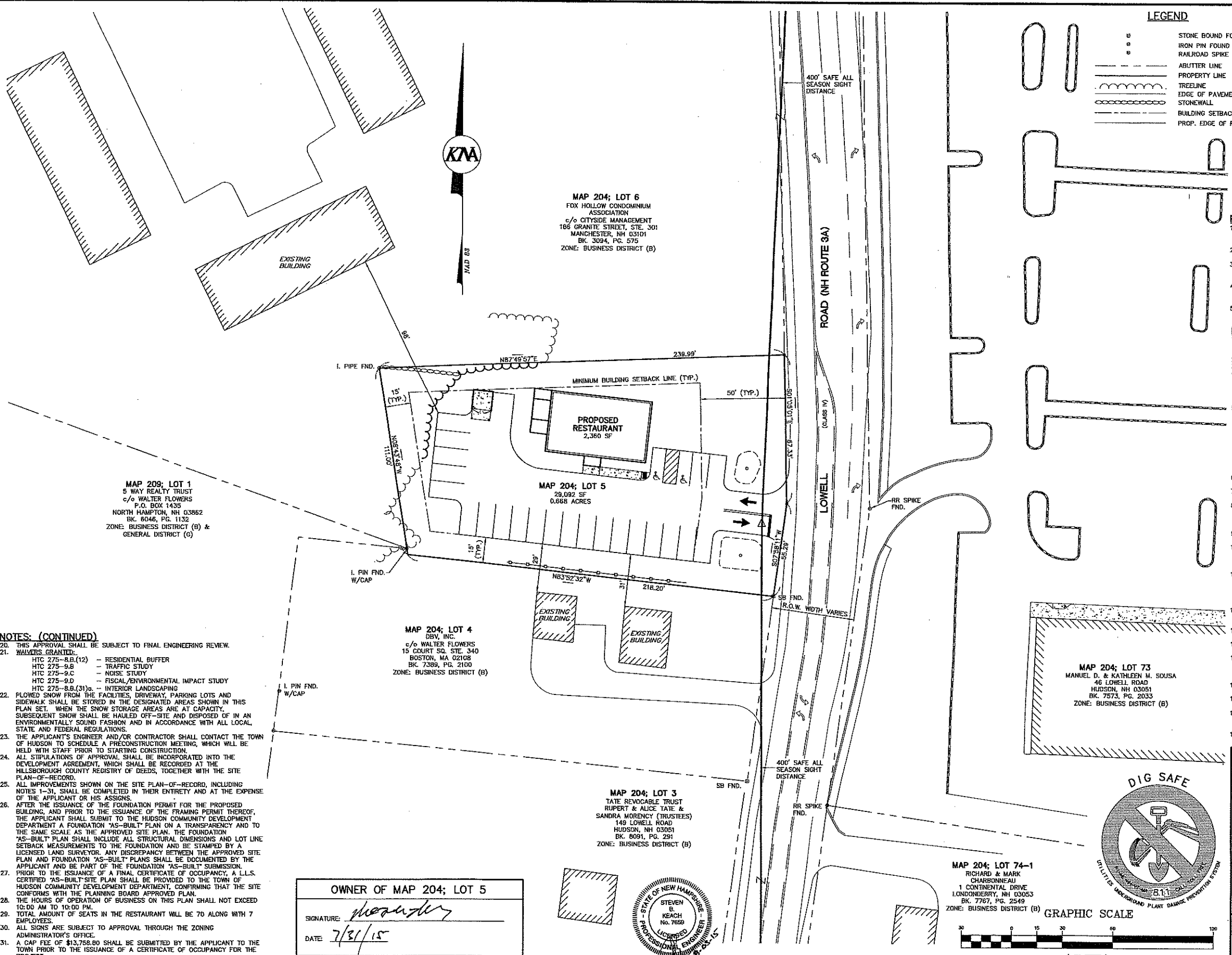
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- RAILROAD SPIKE FOUND
- ABUTTER LINE
- PROPERTY LINE
- TREELINE
- EDGE OF PAVEMENT
- STONEWALL
- BUILDING SETBACK
- PROP. EDGE OF PAVEMENT

- REFERENCE PLANS:** SCALE: 1" = 1,000'
- "PHASING PLAN, FOX HOLLOW CONDOMINIUMS, LOWELL ROAD - N.H. ROUTE 3A, HUDSON, NEW HAMPSHIRE," SCALE: 1"=50', DATED: 3 JANUARY 1984, WITH REVISIONS THROUGH 6/20/84, PREPARED BY ALLAN H. SWANSON, INC. H.C.R.D. PLAN NO. 24618.
 - "BOUNDARY AND CONSOLIDATION PLAN, LOWELL ROAD, HUDSON, NEW HAMPSHIRE," SCALE: 1"=100', DATED: SEPTEMBER 4, 1981, PREPARED BY ALLAN H. SWANSON, INC. H.C.R.D. PLAN NO. 14556.
 - "TAX MAP 13 LOT 8, SUBDIVISION PLAN, OF LAND OF DIGITAL EQUIPMENT CORPORATION, EXECUTIVE DRIVE AND LOWELL ROAD, HUDSON, N.H.," SCALE: 1"=200', DATED: JULY 26, 1996, PREPARED BY TMORAN INC. H.C.R.D. PLAN NO. 28159.
 - "PLAN OF LAND OF PROVINCE OF ST. MARY OF THE CAPUCHIN ORDER, LOWELL ROAD, HUDSON, NEW HAMPSHIRE," SCALE: 1"=80', DATED: MARCH 1954, PREPARED BY NED SPAULDING. H.C.R.D. PLAN NO. 13789.
 - "CONSOLIDATION/LOT LINE RELOCATION PLAN, NOTTINGHAM SQUARE SITE PLAN, LOWELL ROAD, HUDSON, NEW HAMPSHIRE," SCALE: 1"=50', DATED: SEPTEMBER 18, 2006, PREPARED FOR MANUEL D. AND KATHLEEN SOUSA. H.C.R.D. PLAN NO. 35059.

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW THE OVERVIEW OF A PROPOSED 2,360 SF RESTAURANT AND ASSOCIATED SITE APPURTENANCES ON MAP 204, LOT 5 ASSOCIATED WITH PROPOSED IMPROVEMENTS ON TAX MAP 204, LOT 4 AND TAX MAP 204, LOT 7A.
 - TOTAL SITE AREA: 28,093 SF, OR 0.668 ACRES.
 - REFERENCE THIS PARCEL AS TOWN OF HUDSON TAX MAP 204, LOT 5.
 - OWNER OF RECORD:
YUE YUN & ZHOU DENG ZHENG
4 PAULA CIRCLE
HUDSON, NH 03051
BK. 8462, PG. 906
 - SUBJECT PARCEL IS LOCATED ENTIRELY IN THE BUSINESS (B) ZONING DISTRICT AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REGULATIONS:
MINIMUM LOT REQUIREMENTS:
- LOT AREA 30,000 SF (WITH WATER AND SEWER)
- LOT FRONTAGE 43,560 SF (WITHOUT WATER OR SEWER)
MINIMUM BUILDING SETBACKS:
- FRONT 50 FT
- SIDE 15 FT
- REAR 15 FT
 - BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE ON JULY 31 AND AUGUST 1, 2014.
 - HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NGVD 29. THE DATA WAS OBTAINED FROM NHDOT DISK - 229-0320 SET IN LEDGE ON WASHON ROAD, HUDSON, NH.
 - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, COMMUNITY PANEL NUMBER 33011C0650D PANEL NUMBER 656 OF 701, EFFECTIVE DATE, SEPTEMBER 25, 2009, INDICATES THAT THE SUBJECT PREMISES IS NOT LOCATED WITHIN A FLOOD HAZARD AREA. SITE IS CURRENTLY SERVICED BY MUNICIPAL WATER AND PRIVATE SEPTIC. PROPOSED SITE WILL BE SERVICED BY SEWER.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
 - PARKING CALCULATION:
REQUIRED: 1 SPACE FOR EVERY 100 SF (NO BAR) = 24 SPACES
PROVIDED: 24 SPACES (INCLUDING 1 HANDICAP SPACE)
AND DESIGNATED LOADING SPACE PROVIDED. DELIVERIES OCCUR IN THE MORNING PRIOR TO THE RESTAURANT OPENING.
 - OPEN SPACE:
REQUIRED: 35%
PROVIDED: 53%
 - SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
 - SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADE.
 - IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
 - TRASH PICK-UP SHALL NOT OCCUR EARLIER THAN 7:00 AM NOR LATER THAN 7:00 PM, MONDAY THROUGH FRIDAY ONLY.
 - EXTERIOR CONSTRUCTION ACTIVITIES ON THE SITE SHALL BE LIMITED TO BETWEEN 7:00 AM AND 7:00 PM MONDAY THROUGH SATURDAY. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS.
 - IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON WEEKENDS.
 - ON AUGUST 21, 2014, REPRESENTATIVES FROM KEACH-NORDSTROM ASSOCIATES, INC. VERIFIED THAT ADEQUATE SIGHT DISTANCE EXISTS FROM THE PROPOSED DRIVEWAY ALONG LOWELL ROAD.

- NOTES: (CONTINUED)**
- THIS APPROVAL SHALL BE SUBJECT TO FINAL ENGINEERING REVIEW.
 - WAIVERS GRANTED:**
 - HTC 275-B.B.(12) - RESIDENTIAL BUFFER
 - HTC 275-9.B - TRAFFIC STUDY
 - HTC 275-9.C - NOISE STUDY
 - HTC 275-9.D - FISCAL/ENVIRONMENTAL IMPACT STUDY
 - HTC 275-B.B.(31)a - INTERIOR LANDSCAPING
 - FLOODED SNOW FROM THE FACILITIES DRIVEWAY, PARKING LOTS AND SIDEWALK SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
 - THE APPLICANT'S ENGINEER AND/OR CONTRACTOR SHALL CONTACT THE TOWN OF HUDSON TO SCHEDULE A PRECONSTRUCTION MEETING, WHICH WILL BE HELD WITH STAFF PRIOR TO STARTING CONSTRUCTION.
 - ALL STIPULATIONS OF APPROVAL SHALL BE INCORPORATED INTO THE DEVELOPMENT AGREEMENT, WHICH SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS, TOGETHER WITH THE SITE PLAN-OF-RECORD.
 - ALL IMPROVEMENTS SHOWN ON THE SITE PLAN-OF-RECORD, INCLUDING NOTES 1-31, SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
 - AFTER THE ISSUANCE OF THE FOUNDATION PERMIT FOR THE PROPOSED BUILDING, AND PRIOR TO THE ISSUANCE OF THE FRAMING PERMIT THEREOF, THE APPLICANT SHALL SUBMIT TO THE HUDSON COMMUNITY DEVELOPMENT DEPARTMENT A FOUNDATION "AS-BUILT" PLAN ON A TRANSPARENCY AND TO THE SAME SCALE AS THE APPROVED SITE PLAN. THE FOUNDATION "AS-BUILT" PLAN SHALL INCLUDE ALL STRUCTURAL DIMENSIONS AND LOT LINE SETBACK MEASUREMENTS TO THE FOUNDATION AND BE STAMPED BY A LICENSED LAND SURVEYOR. ANY DISCREPANCY BETWEEN THE APPROVED SITE PLAN AND FOUNDATION "AS-BUILT" PLANS SHALL BE DOCUMENTED BY THE APPLICANT AND BE PART OF THE FOUNDATION "AS-BUILT" SUBMISSION. PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, A L.L.S. CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED PLAN.
 - THE HOURS OF OPERATION OF BUSINESS ON THIS PLAN SHALL NOT EXCEED 10:00 AM TO 10:00 PM.
 - TOTAL AMOUNT OF SEATS IN THE RESTAURANT WILL BE 70 ALONG WITH 7 EMPLOYEES.
 - ALL SIGNS ARE SUBJECT TO APPROVAL THROUGH THE ZONING ADMINISTRATOR'S OFFICE.
 - A CAP FEE OF \$13,758.80 SHALL BE SUBMITTED BY THE APPLICANT TO THE TOWN PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE PROJECT.

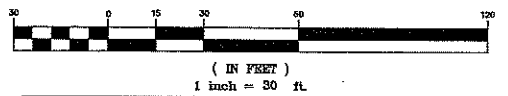
OWNER OF MAP 204; LOT 5

SIGNATURE: *[Signature]*

DATE: 7/31/15

STEVEN S. KEACH
REGISTERED PROFESSIONAL ENGINEER
NO. 7659
EXPIRES 12/31/15

MAP 204; LOT 74-1
RICHARD & MARK CHARBONNEAU
1 CONTINENTAL DRIVE
LONDONDERRY, NH 03053
BK. 7767, PG. 2549
ZONE: BUSINESS DISTRICT (B)



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

ZONING NOTE

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY KEACH-NORDSTROM ASSOCIATES, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION BETWEEN JULY 31 AND AUGUST 1, 2014 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS AN URBAN STANDARD SURVEY, (CATEGORY 1, CONDITION 1) AS COPIED IN THE STATE OF NEW HAMPSHIRE ADMINISTRATIVE RULES.

7/31/15
DATE

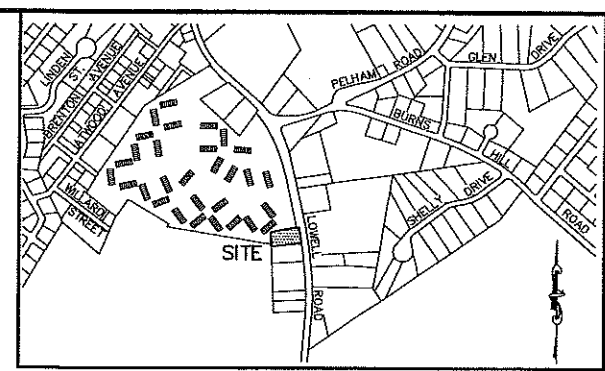
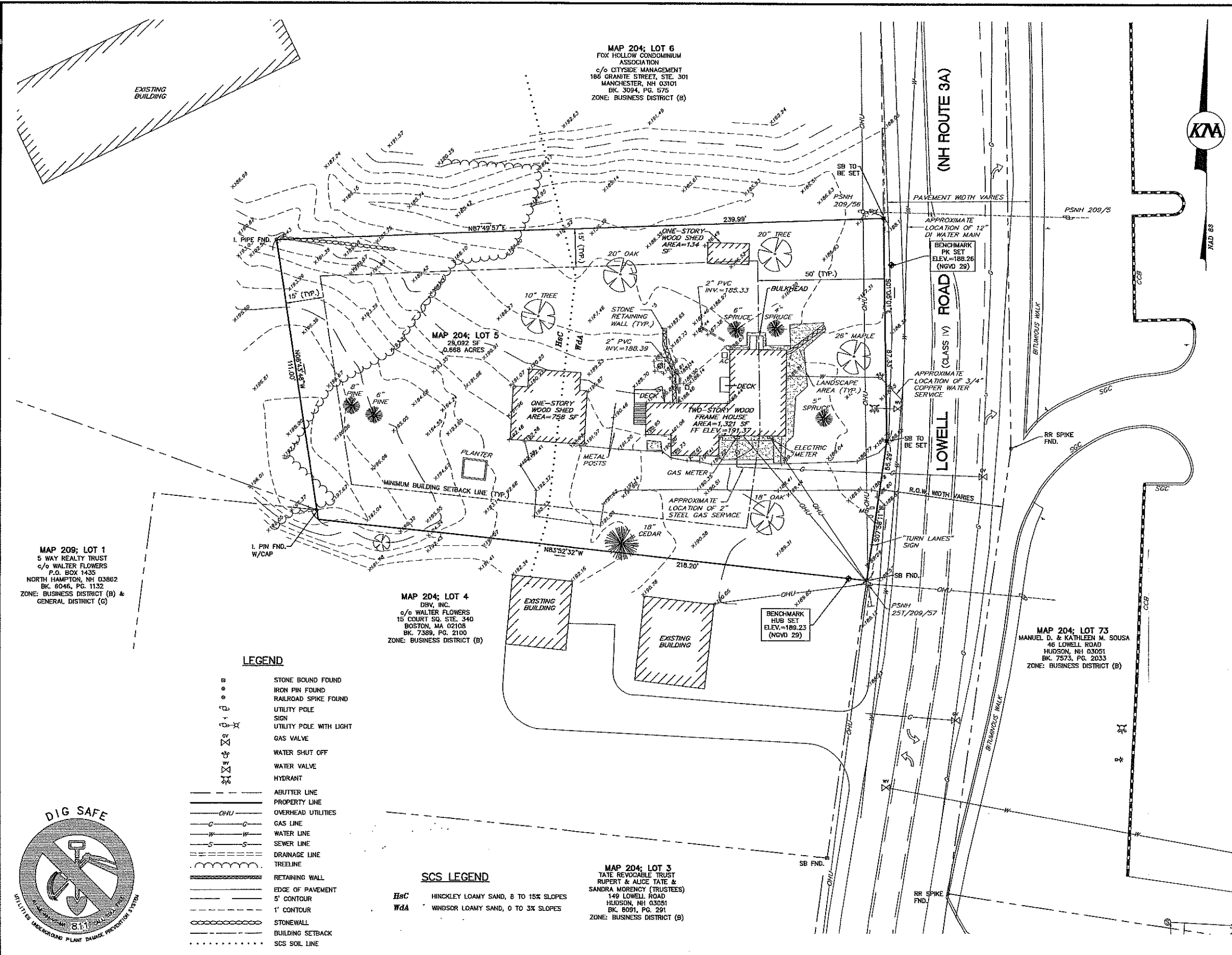
MASTER PLAN
ZHENG GARDEN
MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: YUE YUN & ZHOU DENG ZHENG 4 PAULA CIRCLE HUDSON, NH 03051 H.C.R.D. BK. 8462; PG. 906	APPLICANT: YUE YUN & ZHOU DENG ZHENG 4 PAULA CIRCLE HUDSON, NH 03051
--	--

KMA
KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

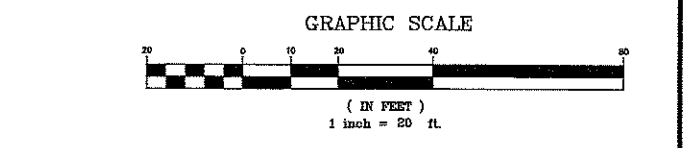
REVISIONS			
No.	DATE	DESCRIPTION	BY
1	11/5/14	PER TOWN COMMENTS	BJC
2	12/11/14	REV. PER CONDITIONS OF APPROVAL	BJC
3	6/18/15	REV. PER EASEMENT CHANGES	BJC

DATE: AUGUST 25, 2014
PROJECT NO: 14-0718-1
SCALE: 1" = 30'
SHEET 1 OF 15



- REFERENCE PLANS:**
- "PHASING PLAN, FOX HOLLOW CONDOMINIUMS, LOWELL ROAD - N.H. ROUTE 3A, HUDSON, NEW HAMPSHIRE," SCALE: 1"=50', DATED: 3 JANUARY 1984, WITH REVISIONS THROUGH 6/20/84, PREPARED BY ALLAN H. SWANSON, INC. H.C.R.D. PLAN NO. 24618.
 - "BOUNDARY AND CONSOLIDATION PLAN, LOWELL ROAD, HUDSON, NEW HAMPSHIRE," SCALE: 1"=100', DATED: SEPTEMBER 4, 1981, PREPARED BY ALLAN H. SWANSON, INC. H.C.R.D. PLAN NO. 14556.
 - "TAX MAP 13, LOT 8, SUBDIVISION PLAN, OF LAND OF, DIGITAL EQUIPMENT CORPORATION, EXECUTIVE DRIVE AND LOWELL ROAD, HUDSON, N.H.," SCALE: 1"=200', DATED: JULY 26, 1986, PREPARED BY TDMORAN INC. H.C.R.D. PLAN NO. 28159.
 - "PLAN OF LAND OF, PROVINCE OF ST. MARY OF THE CAPUCHIN ORDER, LOWELL ROAD, HUDSON, NEW HAMPSHIRE," SCALE: 1"=80', DATED: MARCH 1954, PREPARED BY NED SPAULDING. H.C.R.D. PLAN NO. 13738.

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS OF LOT 5 ON THE TOWN OF HUDSON TAX MAP 204.
 - TOTAL SITE AREA: 29,093 SF, OR 0.668 ACRES.
 - REFERENCE THIS PARCEL AS TOWN OF HUDSON TAX MAP 204; LOT 5.
 - OWNER OF RECORD:
YUE YUN & ZHOU DENG ZHENG
4 PAULA CIRCLE
HUDSON, NH 03051
BK. 8462, PG. 906
 - SUBJECT PARCEL IS LOCATED ENTIRELY IN THE BUSINESS (B) ZONING DISTRICT AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REGULATIONS:
MINIMUM LOT REQUIREMENTS:
- LOT AREA 30,000 SF (WITH WATER AND SEWER)
- LOT AREA 43,560 SF (WITHOUT WATER OR SEWER)
- LOT FRONTAGE 150 FT
MINIMUM BUILDING SETBACKS:
- FRONT 50 FT
- SIDE 15 FT
- REAR 15 FT
 - BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE ON JULY 31 AND AUGUST 1, 2014.
 - HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NGVD 29. THE DATA WAS OBTAINED FROM NHDOT DISK - 229-0320 SET IN LEDGE ON WASON ROAD, HUDSON, NH.
 - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, COMMUNITY PANEL NUMBER 33011C0050D, PANEL NUMBER 656 OF 701, EFFECTIVE DATE SEPTEMBER 25, 2009, INDICATES THAT THE SUBJECT PREMISES IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
 - STRIPING IN LOWELL ROAD IS APPROXIMATE.



EXISTING CONDITIONS PLAN
ZHENG GARDEN
MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: YUE YUN & ZHOU DENG ZHENG 4 PAULA CIRCLE HUDSON, NH 03051 H.C.R.D. BK. 8462; PG. 906	APPLICANT: YUE YUN & ZHOU DENG ZHENG 4 PAULA CIRCLE HUDSON, NH 03051
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KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	11/5/14	PER TOWN COMMENTS	BUC
2	12/11/14	REV. PER CONDITIONS OF APPROVAL	BUC

DATE: AUGUST 25, 2014 SCALE: 1" = 20'
PROJECT NO: 14-0718-1 SHEET 2 OF 15

MAP 209; LOT 1
5 WAY REALTY TRUST
c/o WALTER FLOWERS
P.O. BOX 1435
NORTH HAMPTON, NH 03862
BK. 6046, PG. 1132
ZONE: BUSINESS DISTRICT (B) & GENERAL DISTRICT (G)

MAP 204; LOT 4
DBV, INC.
c/o WALTER FLOWERS
15 COURT SQ. STE. 340
BOSTON, MA 02108
BK. 7389, PG. 2100
ZONE: BUSINESS DISTRICT (B)

MAP 204; LOT 73
MANUEL D. & KATHLEEN M. SOUSA
48 LOWELL ROAD
HUDSON, NH 03051
BK. 7573, PG. 2033
ZONE: BUSINESS DISTRICT (B)

MAP 204; LOT 6
FOX HOLLOW CONDOMINIUM ASSOCIATION
c/o CITYSIDE MANAGEMENT
186 GRANITE STREET, STE. 301
MANCHESTER, NH 03101
BK. 3094, PG. 576
ZONE: BUSINESS DISTRICT (B)

MAP 204; LOT 3
TATE REVOCABLE TRUST
RUPERT & ALICE TATE & SANDRA MORENCY (TRUSTEES)
149 LOWELL ROAD
HUDSON, NH 03051
BK. 8091, PG. 291
ZONE: BUSINESS DISTRICT (B)

- LEGEND**
- STONE BOUND FOUND
 - IRON PIN FOUND
 - RAILROAD SPIKE FOUND
 - UTILITY POLE
 - SIGN
 - UTILITY POLE WITH LIGHT
 - GAS VALVE
 - WATER SHUT OFF
 - WATER VALVE
 - HYDRANT
 - ABUTTER LINE
 - PROPERTY LINE
 - OVERHEAD UTILITIES
 - GAS LINE
 - WATER LINE
 - SEWER LINE
 - DRAINAGE LINE
 - TREELINE
 - RETAINING WALL
 - EDGE OF PAVEMENT
 - 5' CONTOUR
 - 1' CONTOUR
 - STONEWALL
 - BUILDING SETBACK
 - SCS SOIL LINE

- SCS LEGEND**
- HsC HINCKLEY LOAMY SAND, 8 TO 15% SLOPES
 - WdA WINDSOR LOAMY SAND, 0 TO 3% SLOPES



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE _____ DATE _____

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ZONING NOTE

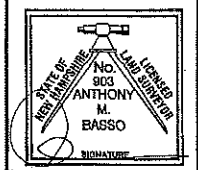
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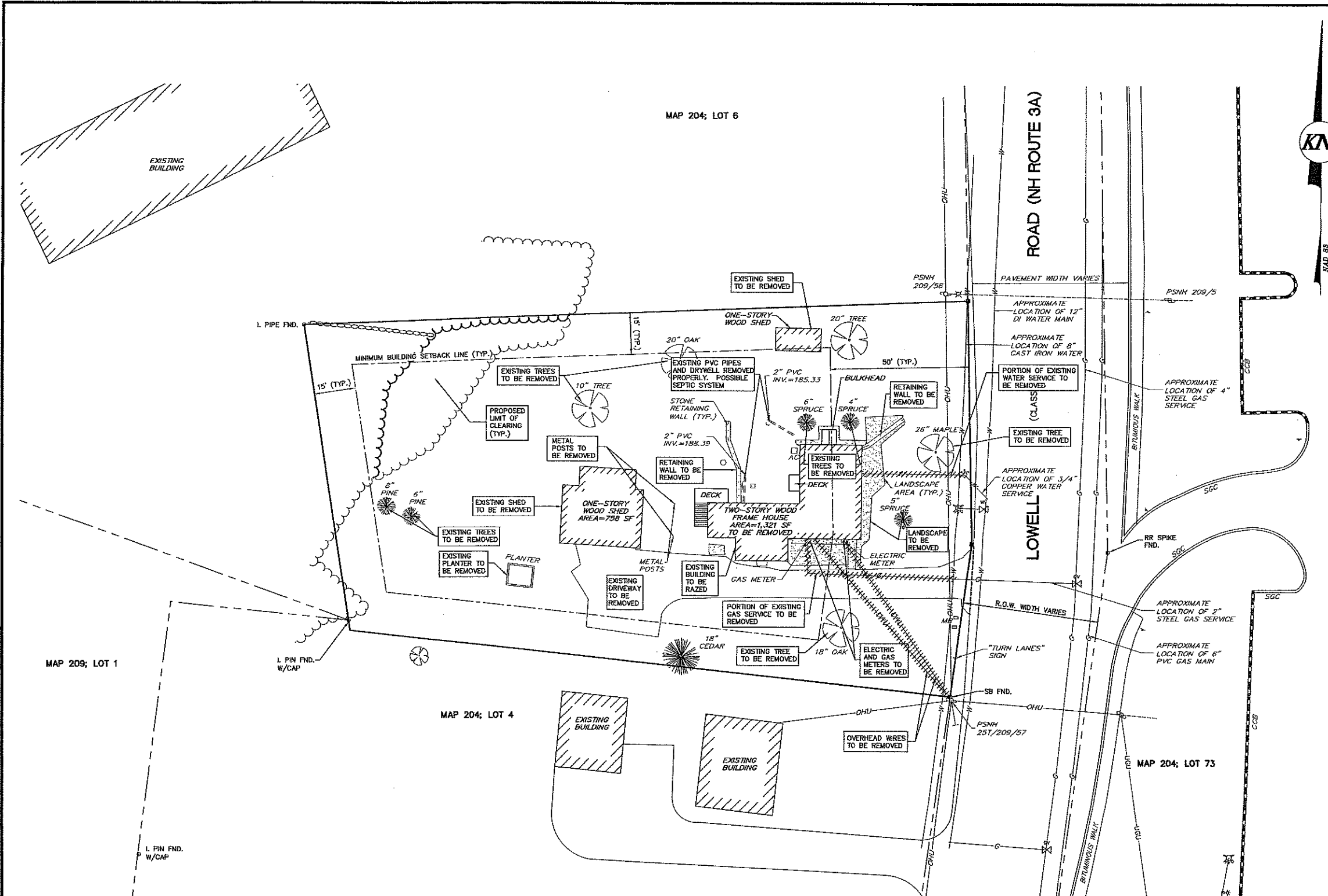
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3/31/15
DATE





- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING FEATURES ON SITE TO BE REMOVED, SALVAGED OR REPLACED.
 2. ITEMS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH THE TOWN OF HUDSON REQUIREMENTS, UNLESS OTHERWISE SHOWN HEREON OR DIRECTED BY OWNER.
 3. REMOVE AND SALVAGE ALL STREET SIGNS, POSTS AND LIGHT POLES WITHIN THE WORK AREA AND DELIVER THEM TO PLANT OPERATIONS DEPARTMENT (603) 589-2780 FOR REUSE. INSTALL NEW SIGNS ON NEW POSTS AS SPECIFIED HEREON.
 4. THE CONTRACTOR SHALL CONTROL ALL DUST GENERATED DURING THE REMOVAL PHASE AND CONSTRUCTION PHASE SO THAT NO DUST LEAVES THE SITE.
 5. ANY MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE RESET BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR AT THE SITE CONTRACTORS EXPENSE.
 6. EXISTING SEPTIC SYSTEM IS A POSSIBILITY. REMOVAL OF SEPTIC SYSTEM TO BE HANDLED PROPERLY AND IN COMPLIANCE WITH LOCAL, STATE AND FEDERAL GUIDELINES AND RULES.

LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- RAILROAD SPIKE FOUND
- UTILITY POLE
- SIGN
- UTILITY POLE WITH LIGHT
- GAS VALVE
- WATER SHUT OFF
- WATER VALVE
- HYDRANT
- ABUTTER LINE
- PROPERTY LINE
- OVERHEAD UTILITIES
- GAS LINE
- WATER LINE
- SEWER LINE
- DRAINAGE LINE
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- STONEWALL
- BUILDING SETBACK

REMOVALS/DEMOLITION PLAN

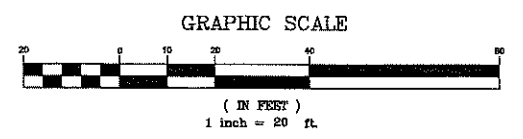
ZHENG GARDEN

MAP 204; LOT 5
 LOWELL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD:
 YUE YUN & ZHOU DENG ZHENG
 4 PAULA CIRCLE
 HUDSON, NH 03051
 H.C.R.D. BK. 8462; PG. 905

APPLICANT:
 YUE YUN & ZHOU DENG ZHENG
 4 PAULA CIRCLE
 HUDSON, NH 03051

KM KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



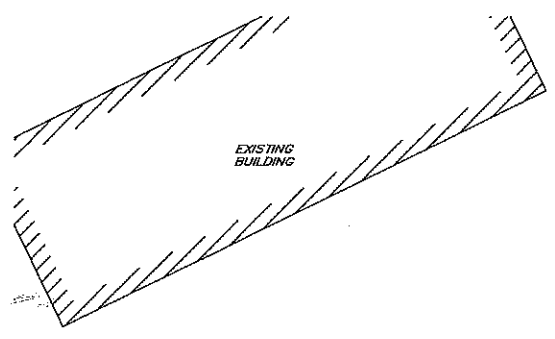
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

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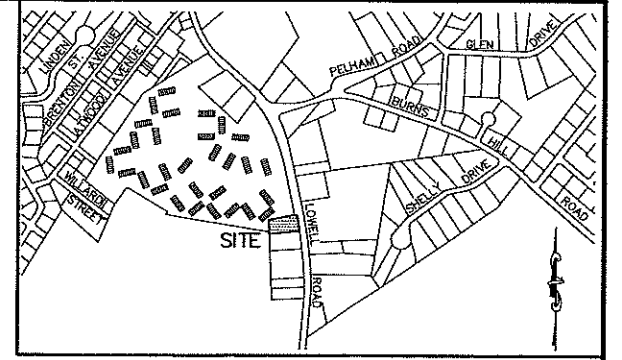
REVISIONS			
No.	DATE	DESCRIPTION	BY
1	11/5/14	DATE ONLY	BJC
2	12/11/14	DATE ONLY	BJC

DATE: AUGUST 25, 2014 SCALE: 1" = 20'
 PROJECT NO: 14-0718-1 SHEET 3 OF 15

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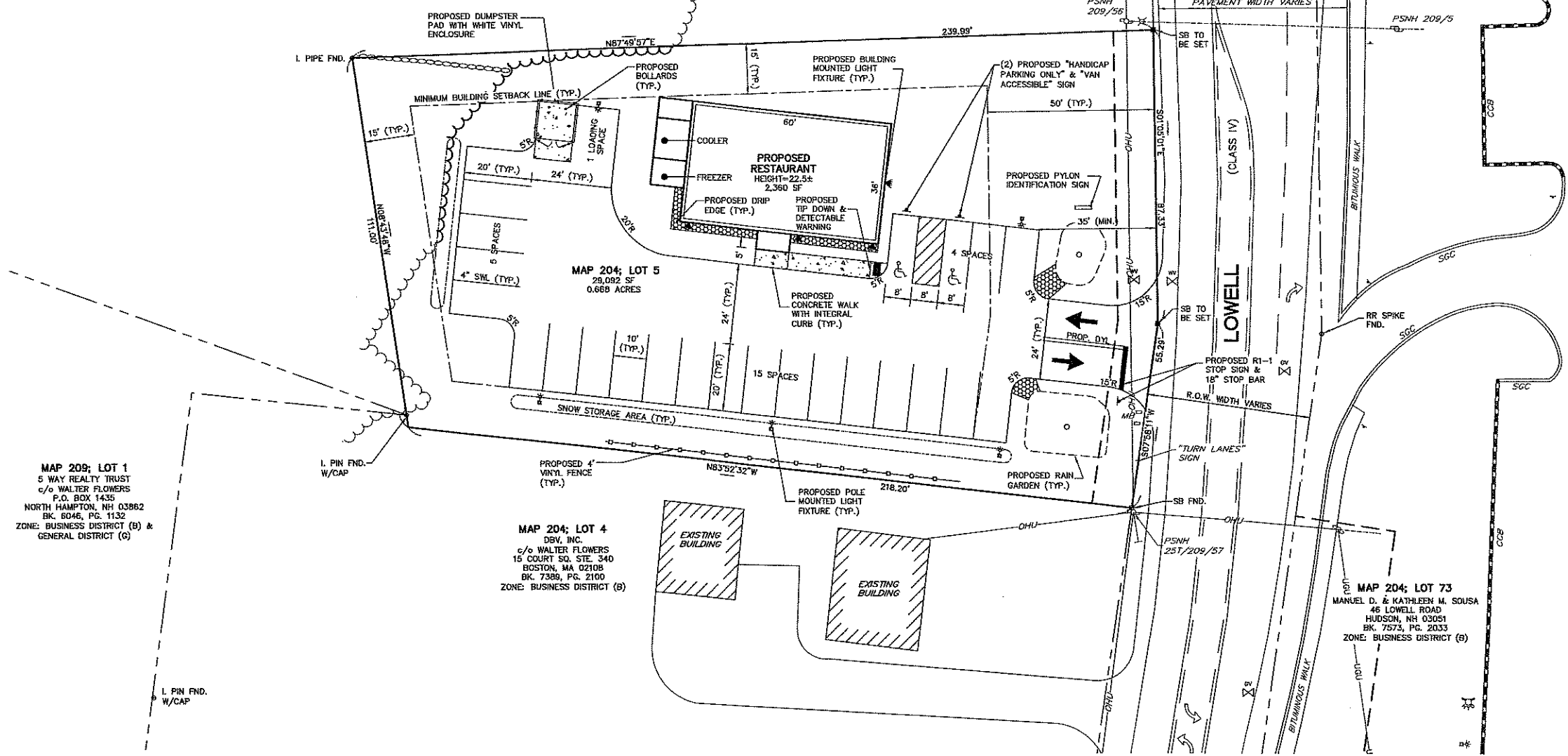


MAP 204; LOT 6
 FOX HOLLOW CONDOMINIUM
 ASSOCIATION
 c/o CITYSIDE MANAGEMENT
 186 GRANITE STREET, STE. 301
 MANCHESTER, NH 03101
 BK. 3094, PG. 575
 ZONE: BUSINESS DISTRICT (B)



VICINITY PLAN
 SCALE: 1" = 1,000'

SEE SHEET 1 FOR NOTES

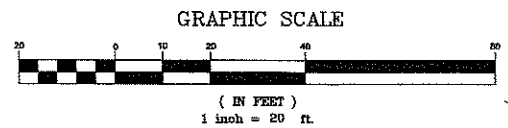


- LEGEND**
- STONE BOUND FOUND
 - IRON PIN FOUND
 - ⊕ RAILROAD SPIKE FOUND
 - ⊕ UTILITY POLE
 - ⊕ SIGN
 - ⊕ UTILITY POLE WITH LIGHT
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 - ⊕ PROPERTY LINE
 - ⊕ OVERHEAD UTILITIES
 - ⊕ TREELINE
 - ⊕ EDGE OF PAVEMENT
 - ⊕ STONEWALL
 - ⊕ BUILDING SETBACK
 - ⊕ PROPOSED EDGE OF PAVEMENT

MAP 209; LOT 1
 S WAY REALTY TRUST
 c/o WALTER FLOWERS
 P.O. BOX 1435
 NORTH HAMPTON, NH 03862
 BK. 8046, PG. 1132
 ZONE: BUSINESS DISTRICT (B) &
 GENERAL DISTRICT (G)

MAP 204; LOT 4
 DBV, INC.
 c/o WALTER FLOWERS
 15 COURT SQ. STE. 340
 BOSTON, MA 02108
 BK. 7389, PG. 2100
 ZONE: BUSINESS DISTRICT (B)

MAP 204; LOT 73
 MANUEL D. & KATHLEEN M. SOUSA
 46 LOWELL ROAD
 HUDSON, NH 03051
 BK. 7573, PG. 2033
 ZONE: BUSINESS DISTRICT (B)



NON-RESIDENTIAL SITE LAYOUT PLAN

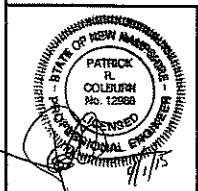
ZHENG GARDEN

MAP 204; LOT 5
 LOWELL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD:
 YUE YUN & ZHOU DENG ZHENG
 4 PAULA CIRCLE
 HUDSON, NH 03051
 H.C.R.D. BK. 8462; PG. 906

APPLICANT:
 YUE YUN & ZHOU DENG ZHENG
 4 PAULA CIRCLE
 HUDSON, NH 03051

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DATE: AUGUST 25, 2014 SCALE: 1" = 20'
 PROJECT NO: 14-0718-1 SHEET 4 OF 15

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
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C:\projects\140718\140718 SITE PLAN REV 2.dwg SITE 3/21/2015 10:43:32 AM sheet HP Design 4000 HFGL2/RT

- CONSTRUCTION NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPARTMENT, HUDSON, NEW HAMPSHIRE.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
 4. SEE CONSTRUCTION DETAILS FOR SPECIFIC CONSTRUCTION INFORMATION.

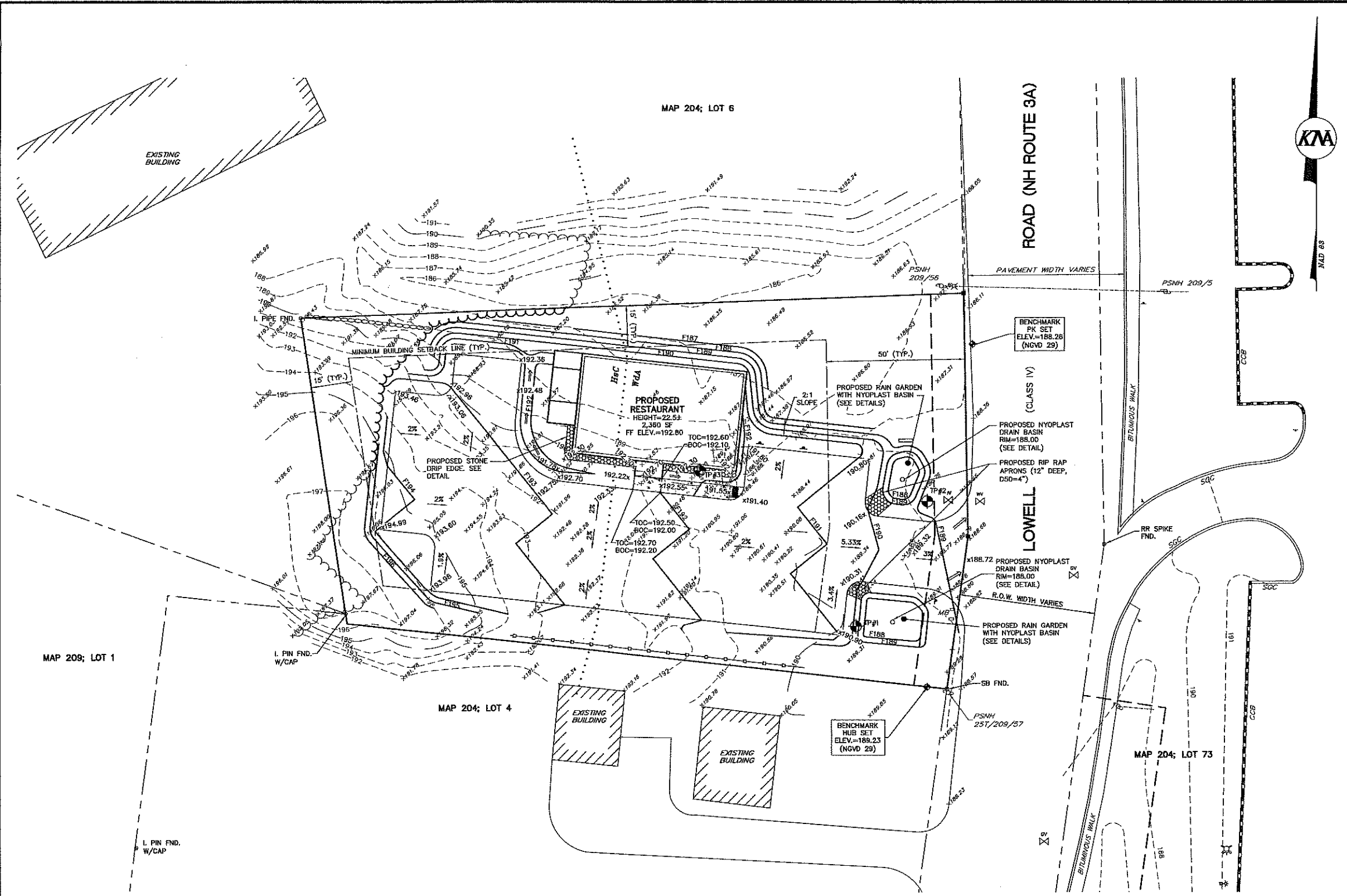
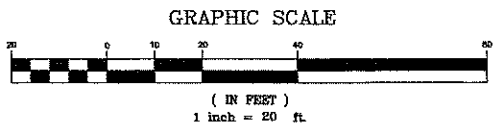
LOAM & SEED ALL
DISTURBED AREAS (TYP.)

LEGEND

- ⊠ STONE BOUND FOUND
- ⊡ IRON PIN FOUND
- ⊙ RAILROAD SPIKE FOUND
- UTILITY POLE
- ⊕ SIGN
- ⊗ UTILITY POLE WITH LIGHT
- ⊞ GAS VALVE
- ⊘ WATER SHUT OFF
- ⊙ WATER VALVE
- ⊖ HYDRANT
- ⊗ PROPOSED DRYWELL
- ⊙ ABUTTER LINE
- ⊙ PROPERTY LINE
- ⊙ DRAINAGE LINE
- ⊙ TREELINE
- ⊙ EDGE OF PAVEMENT
- ⊙ 5' CONTOUR
- ⊙ 1' CONTOUR
- ⊙ STONEWALL
- ⊙ BUILDING SETBACK
- ⊙ SCS SOIL LINE
- ⊙ PROPOSED EDGE OF PAVEMENT
- ⊙ PROPOSED 1' CONTOUR

SCS LEGEND

- HsC HINCKLEY LOAMY SAND, 8 TO 15% SLOPES
- WdA WINDSOR LOAMY SAND, 0 TO 3% SLOPES



GRADING AND DRAINAGE PLAN
ZHENG GARDEN
MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: YUE YUN & ZHOU DENG ZHENG 4 PAULA CIRCLE HUDSON, NH 03051 H.C.R.D. BK. 8462; PG. 906	APPLICANT: YUE YUN & ZHOU DENG ZHENG 4 PAULA CIRCLE HUDSON, NH 03051
--	--

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	11/5/14	PER TOWN COMMENTS	BJC
2	12/11/14	REV. PER CONDITIONS OF APPROVAL	BJC

DATE: AUGUST 25, 2014 SCALE: 1" = 20'
PROJECT NO: 14-0718-1 SHEET 5 OF 15



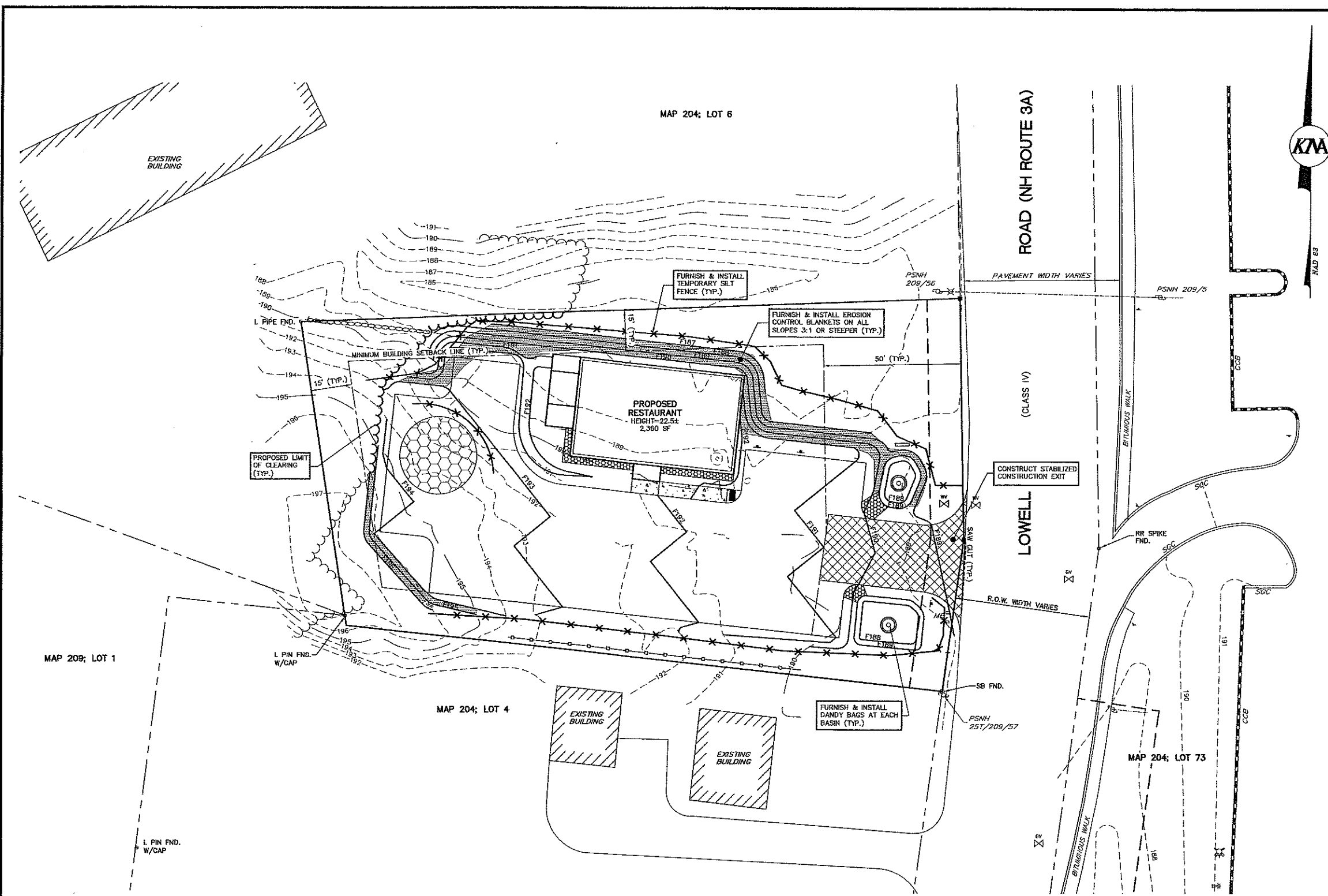
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

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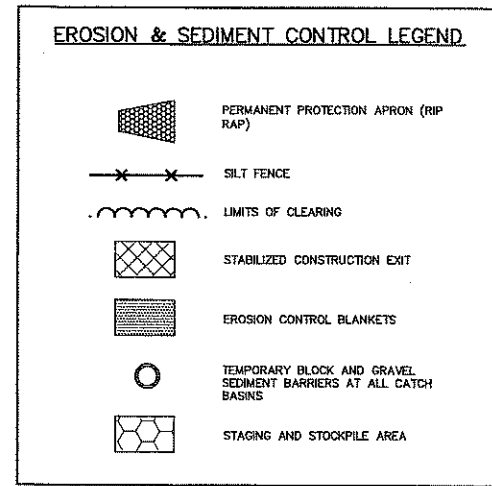
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

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- EROSION CONTROL NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES AS WELL AS THE PERMANENT EROSION CONTROL MEASURES.
 - ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME.
 - WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
 - APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
 - THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
 - MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
 - OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
 - ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
 - ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
 - THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
 - SNOW ACCUMULATED DURING THE WINTER CONSTRUCTION CONDITIONS SHOULD BE STORED IN THE STAGING & STOCKPILE AREA DETERMINED BY THE CONTRACTOR, SURROUNDED BY SILT FENCE.

LOAM & SEED ALL DISTURBED AREAS (TYP.)



EROSION CONTROL PLAN
ZHENG GARDEN
 MAP 204; LOT 5
 LOWELL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD: YUE YUN & ZHOU DENG ZHENG 4 PAULA CIRCLE HUDSON, NH 03051 H.C.R.D. BK. 8462; PG. 906	APPLICANT: YUE YUN & ZHOU DENG ZHENG 4 PAULA CIRCLE HUDSON, NH 03051
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 PROJECT NO: 14-0718-1 SHEET 6 OF 15

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

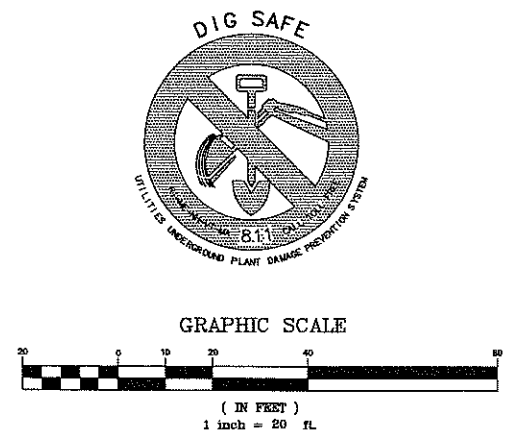
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SCS LEGEND

HsC HINCKLEY LOAMY SAND, 8 TO 15% SLOPES
 WdA WINDSOR LOAMY SAND, 0 TO 3% SLOPES

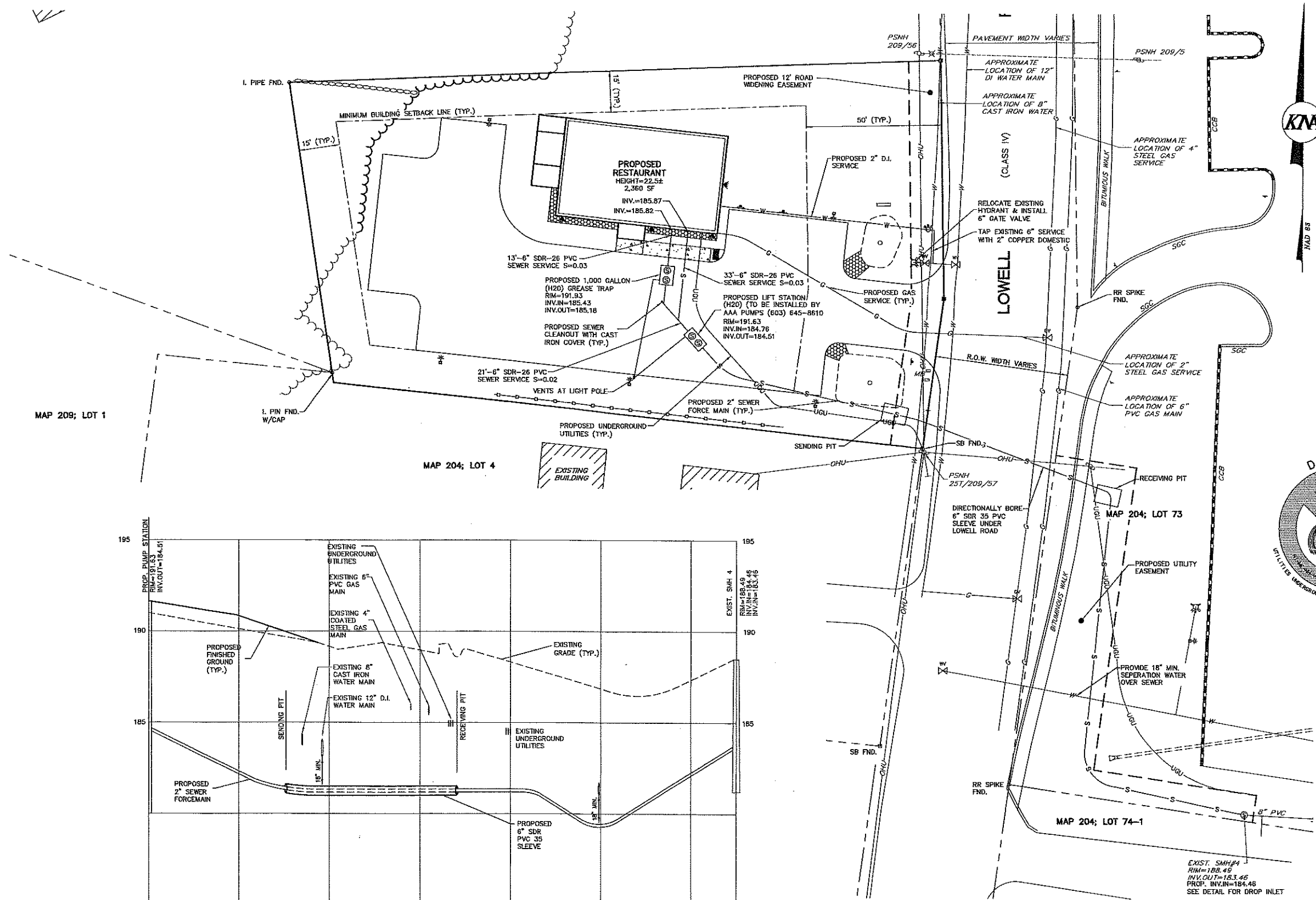
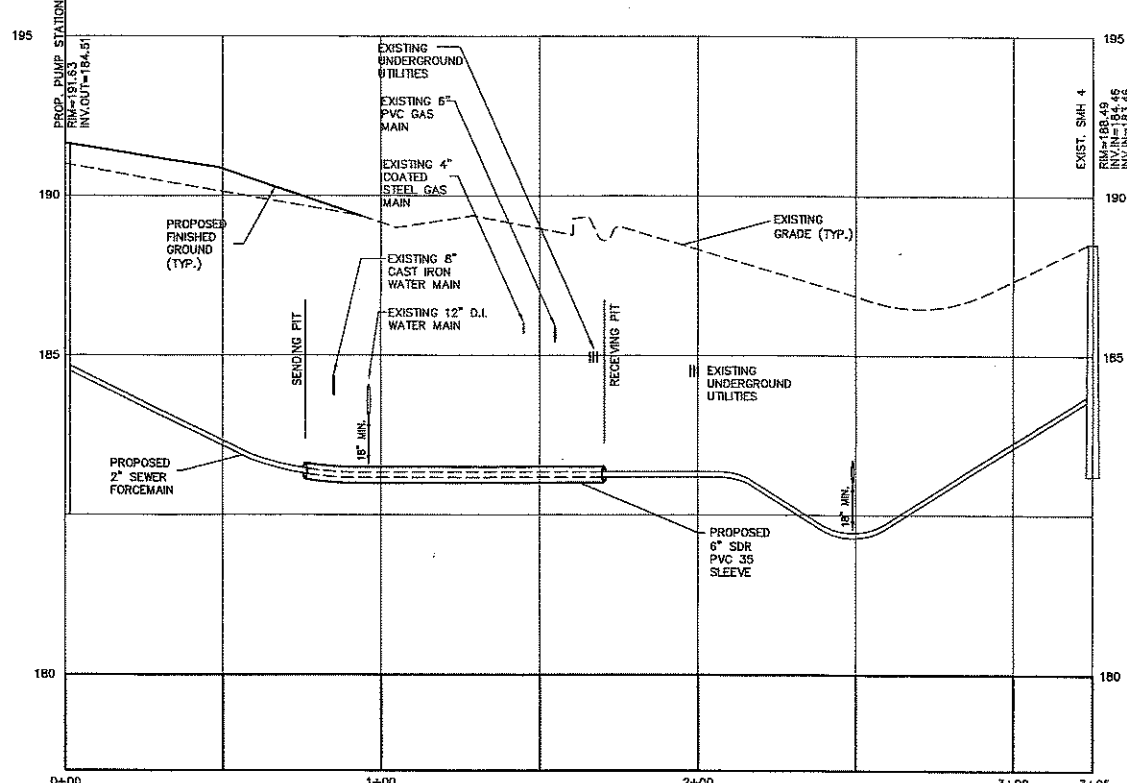
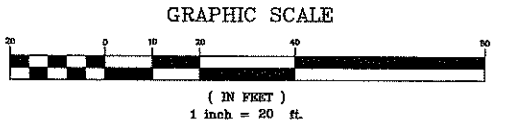


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- CONSTRUCTION NOTES:**
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
 - ALL WATER SERVICE CONSTRUCTION SHALL CONFORM WITH HUDSON WATER UTILITY CONSTRUCTION SPECIFICATIONS.
 - LIBERTY UTILITIES SHALL SIZE AND INSTALL PROPOSED GAS SERVICES.
 - PROPOSED SEWER LIFT STATIONS AND FORCE MAINS WILL BE DESIGNED FOLLOWING SITE PLAN APPROVAL. SEWER DESIGN SHALL BE SUBMITTED ALONG WITH PROFILES OF LOWELL ROAD TO THE HUDSON ENGINEERING DEPARTMENT PRIOR TO THE START OF CONSTRUCTION.
 - ALL COMPONENTS OF THE EXISTING SEPTIC SYSTEM SHALL BE REMOVED/REMEDIATED ACCORDING TO ALL STATE AND LOCAL REQUIREMENTS.

LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- ⊙ RAILROAD SPIKE FOUND
- ⊕ UTILITY POLE
- ⊗ SIGN
- ⊙ UTILITY POLE WITH LIGHT
- ⊕ GAS VALVE
- ⊗ WATER SHUT OFF
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- ⊗ OVERHEAD UTILITIES
- ⊕ GAS LINE
- ⊗ WATER LINE
- ⊕ SEWER LINE
- ⊗ DRAINAGE LINE
- ⊕ TREETLINE
- ⊗ RETAINING WALL
- ⊕ EDGE OF PAVEMENT
- ⊗ STONEWALL
- ⊕ BUILDING SETBACK
- ⊗ PROPOSED EDGE OF PAVEMENT
- ⊕ PROPOSED UNDERGROUND UTILITIES
- ⊗ PROPOSED GAS LINE
- ⊕ PROPOSED WATER LINE
- ⊗ PROPOSED SEWER FORCE MAIN



UTILITY PLAN
ZHENG GARDEN

MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

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PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
Ac	11	ABIES CONCOLOR	WHITE FIR	5-6' B&B
Ar	2	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2"-2.5" CAL.
Gb	3	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	2-2.5" CAL.
Px	2	PRUNUS X 'OKAME'	OKAME CHERRY	2-2.5" CAL.
Pp	9	PICEA PUNGENS 'BLUE SELECT'	BLUE SELECT SPRUCE	5-6' B&B
SHRUBS				
Ab	8	AZALEA 'BLOOM A THON PINK'	BLOOM A THON PINK AZALEA	18-24"
Ap	2	ACER P. DISSECTUM 'RED DRAGON'	RED DRAGON JAPANESE MAPLE	3-4' B&B
Co	6	CHAMAECYPARIS OBTUSA 'VERDONI'	VERDONI HINOKI FALSECYPRESS	3-4' B&B
Ho	5	HYDRANGEA ARBORESCENS 'INCREDIBALL'	INCREDIBALL SMOOTH HYDRANGEA	2-2.5'
Po	4	PHYSCARPUS OPULIFOLIUS 'LITTLE DEVIL'	LITTLE DEVIL NINGBARK	18-24"
Ps	3	PINUS STROBUS 'BLUE SHAG'	BLUE SHAG WHITE PINE	2.5-3'



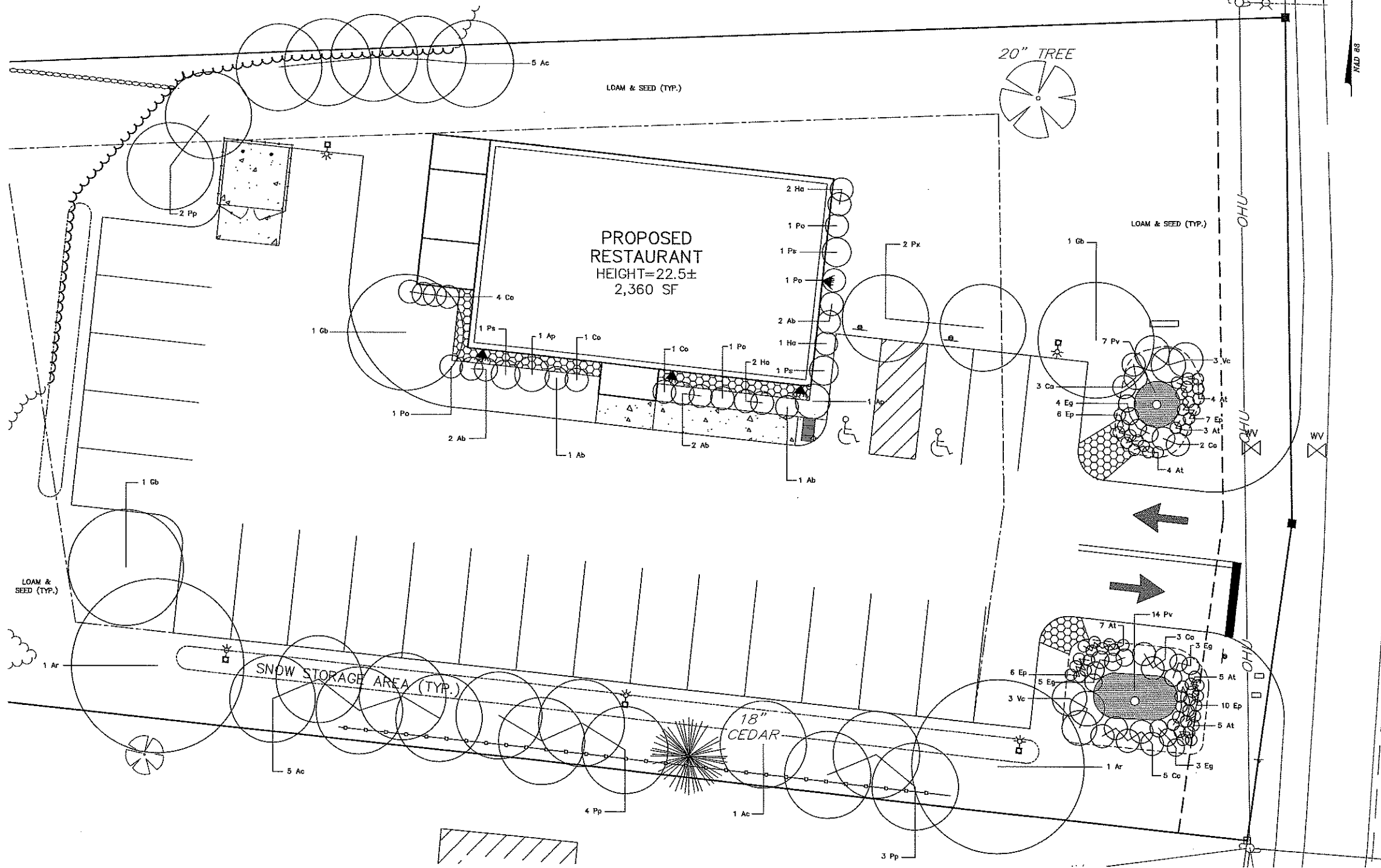
LANDSCAPE NOTES:

- ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOWN HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE; WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL WARRANTY. TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
- IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS: ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% COMPOST AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
- PLANTING BEDS AND SAUCERS SHALL RECEIVE A 4" MINIMUM THICKNESS OF PINE/HEMLOCK BARK MULCH OVER A 5 OZ. POLYPROPYLENE WEED CONTROL FABRIC. PAVEMENT AND ROAD BASE MATERIAL ENCOUNTERED IN ANY LAWN OR PLANTING BED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AND SUITABLE AMENDED SOIL INSTALLED AS SPECIFIED ABOVE.

LANDSCAPE CALCULATIONS

REQUIRED PARKING LOT INTERIOR LANDSCAPE AREA	
PROPOSED PARKING AREA PAVED:	9,176 SF
10% REQUIRED LANDSCAPE AREA:	918 SF
PROVIDED LANDSCAPE AREA:	+0 SF
REQUIRED PARKING LOT SHADE TREES AND SHRUBS	
PROPOSED PAVED AREA:	9,176 SF
SHADE TREES REQUIRED (9,176/1,600):	6 TREES REQUIRED
(OR 1 TREE/5 PROP. PARKING SPACES)	5 TREES REQUIRED
SHADE TREES PROVIDED:	7 TREES PROPOSED
SHRUBS REQUIRED (9,176/200):	46 SHRUBS, OR
(OR 1.6 x 24 PROP. PARKING SPACES)	38 SHRUBS REQUIRED
SHRUBS PROVIDED:	47 SHRUBS PROPOSED

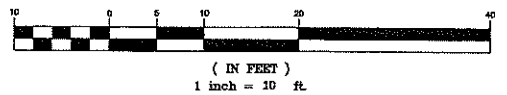
* WAIVER REQUESTED



LEGEND

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- ⊙ EDGE OF PAVEMENT
- ⊙ STONEWALL
- ⊙ BUILDING SETBACK
- ⊙ PROPOSED EDGE OF PAVEMENT

GRAPHIC SCALE



RAIN GARDEN PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
SHRUBS				
Co	13	CLETHRA ALNIFOLIA 'COMPACTA'	COMPACT SUMMERSWEET	18-24"
Vc	6	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	2-2.5'
PERENNIALS				
At	28	ASCLEPIAS TUBEROSA	BUTTERFLY WEED	#1
Ep	15	EUPATORIUM 'GATEWAY'	GATEWAY JOE PYE WEED	#2
Pv	29	ECHINACEA PURPUREA	PURPLE CONEFLOWER	#2
Pv	21	PANICUM VIRGATUM 'PRAIRIE FIRE'	PRAIRIE FIRE SWITCH GRASS	#2

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LANDSCAPE PLAN
ZHENG GARDEN

MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

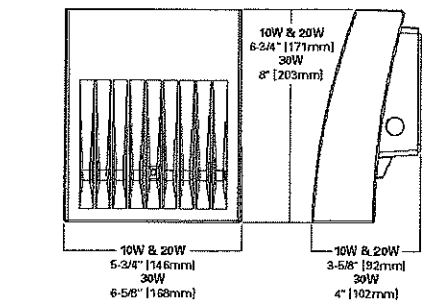
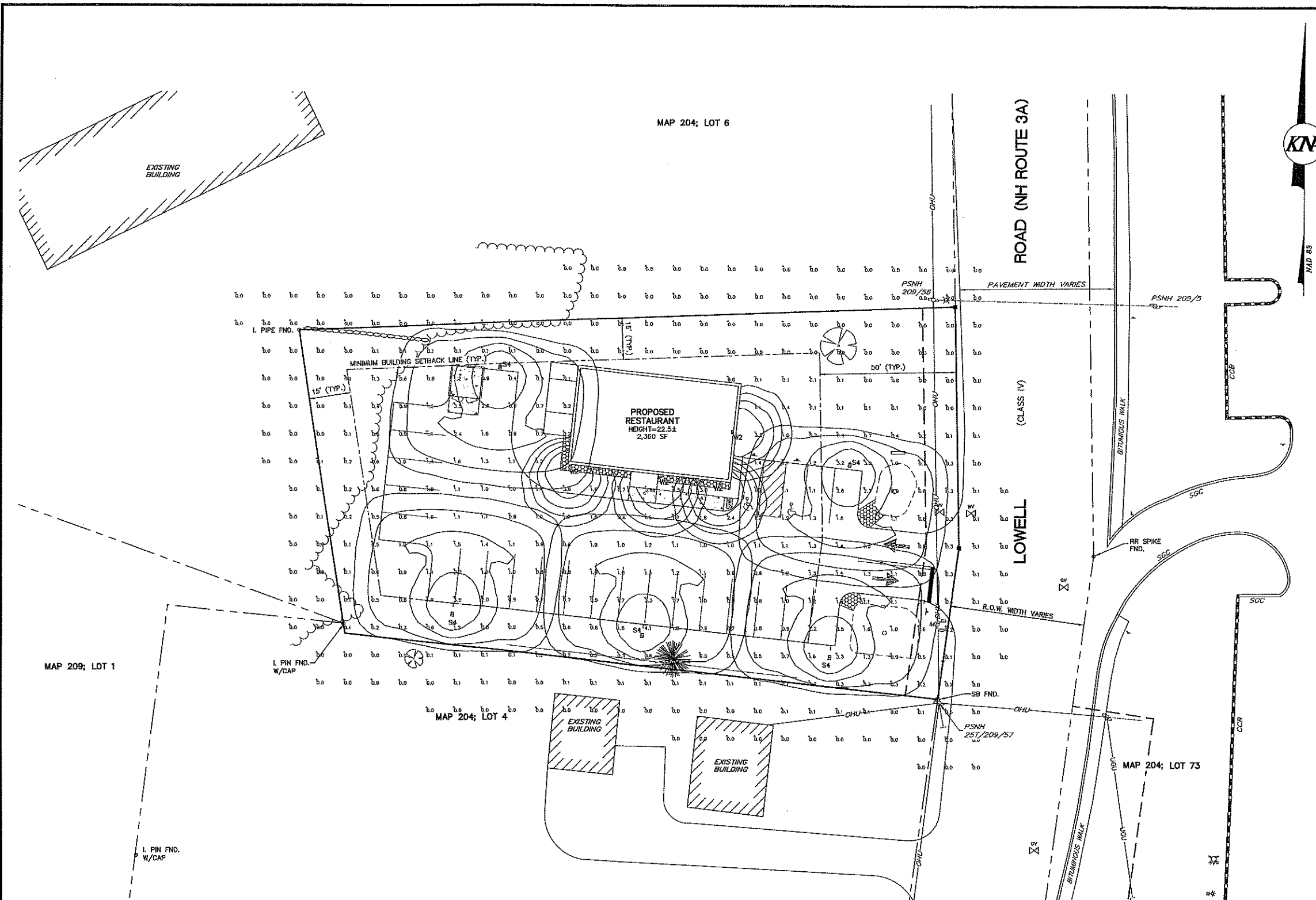
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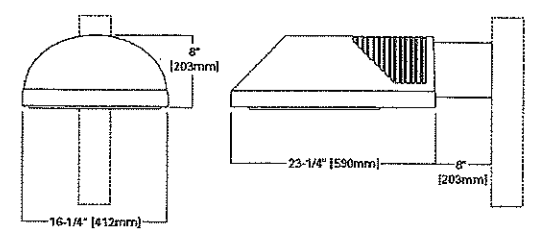
REVISIONS			
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DATE: AUGUST 25, 2014 SCALE: 1" = 10'
PROJECT NO: 14-0718-1 SHEET 8 OF 15

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XTOR CROSSTOUR LED
NOT TO SCALE



TLM TALON MEDIUM LED
NOT TO SCALE

IN ASSOCIATION WITH:

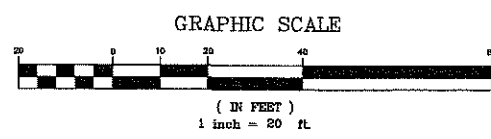
CHARRON
INCORPORATED
P.O. BOX 4550
MANCHESTER, NH 03009
(603) 624-6827
FAX (603) 624-0764

LIGHTING PLAN
ZHENG GARDEN
MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

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APPLICANT:
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STATAREA_1
ILLUMINANCE (FC)
AVERAGE = 1.28
MAXIMUM = 3.9
MINIMUM = 0.7
AVG./MIN. RATIO = 1.83
MAX./MIN. RATIO = 5.57

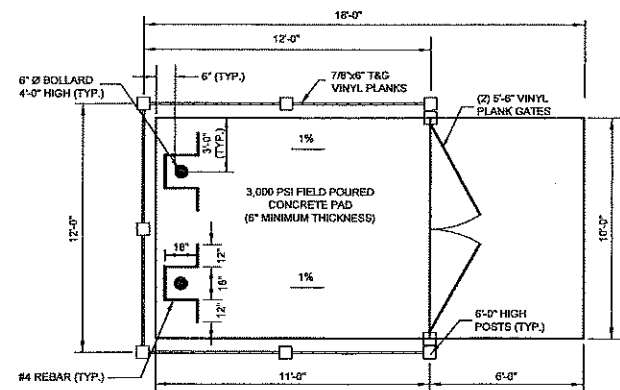
SYMBOL	QTY	LABEL	ARRANGEMENT	DESCRIPTION
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[Symbol]	4	W2	SINGLE	XTOR2A/ WALL MTD 10' AFG

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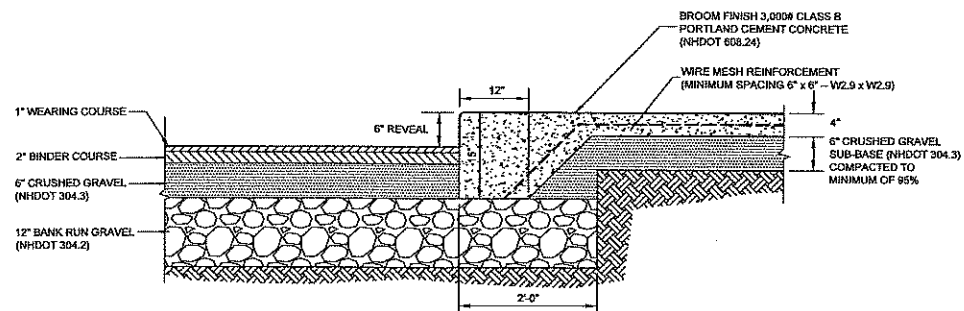
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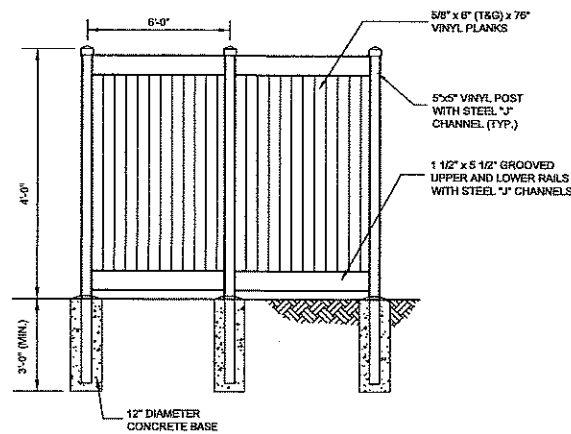
DATE: AUGUST 25, 2014
PROJECT NO: 14-0718-1
SCALE: 1" = 20'
SHEET 9 OF 15



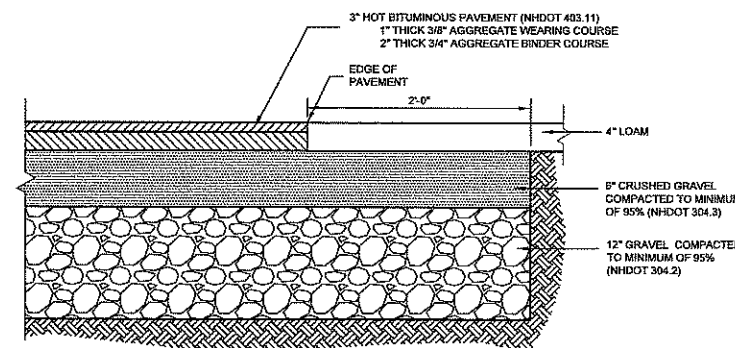
VINYL TRASH ENCLOSURE DETAIL
NOT TO SCALE
(MARCH 2008)



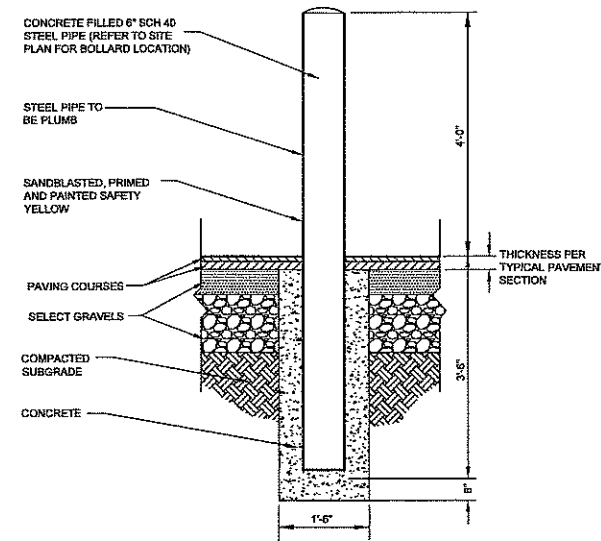
INTEGRAL CURB AND WALK DETAIL
NOT TO SCALE
(MARCH 2008)



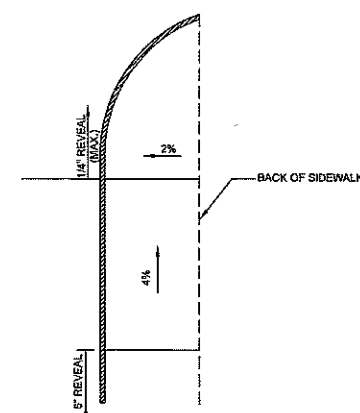
VINYL FENCE DETAIL
NOT TO SCALE
(MARCH 2008)



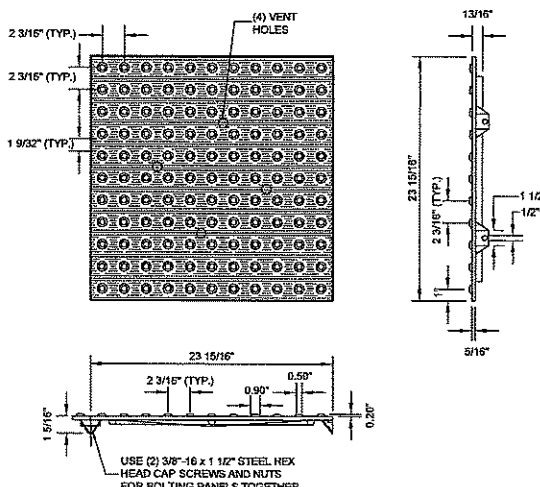
DRIVEWAY AND PARKING LOT SECTION
NOT TO SCALE
(MARCH 2008)



BOLLARD DETAIL
NOT TO SCALE
(MARCH 2008)



NOTES:
1. A BROOM FINISH TRANSVERSE TO THE SLOPE OF THE RAMP SHALL BE USED ON PORTLAND CEMENT CONCRETE RAMPS.
2. MAINTAIN THE NORMAL GUTTER PROFILE THROUGHOUT THE RAMP AREA.
3. INTERCEPT DRAINAGE ALONG THE CURB IN ADVANCE OF THE RAMP.
4. MAINTAIN A MAXIMUM 1/4" OF CURB REVEAL AT THE RAMP, SEE SECTION A-A.
CORNER SIDEWALK RAMP DETAIL
NOT TO SCALE
(MARCH 2008)



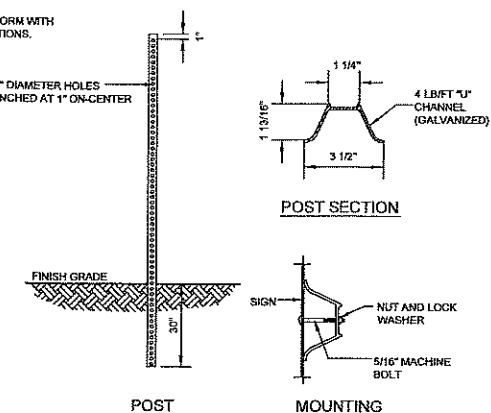
NOTES:
1. DETECTABLE WARNING PLATE SHALL BE NESHAF FOUNDRY OR APPROVED EQUAL.
2. THE PLATE MUST COMPLY WITH ADAAG (AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES) AND ARCHITECTURAL BARRIER ACT GUIDELINES.
3. MATERIAL SHALL BE CAST GRAY IRON.
4. FINISH: NO PAINT.
24"x24" DETECTABLE WARNING PLATE DETAIL
NOT TO SCALE
(MARCH 2009)

TRAFFIC SIGN NOTES:

- ALL TRAFFIC SIGN FACES AND SHAPES SHALL CONFORM WITH THE MUTCD.
- ALL SIGN POST MOUNTS SHALL CONFORM WITH THE AASHTO AND NHDOT SPECIFICATIONS.

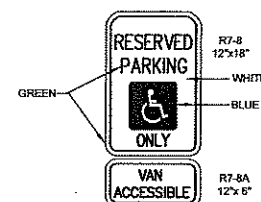


STOP SIGN DETAIL
NOT TO SCALE
(MARCH 2008)



NOTE:
POST SHALL CONFORM TO NHDOT 615.2.5.3

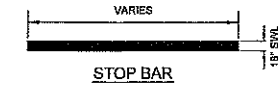
STEEL SIGN POST DETAIL
NOT TO SCALE
(MARCH 2008)



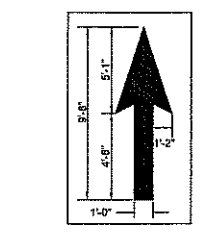
VAN ACCESSIBLE HANDICAP PARKING SIGN DETAIL
NOT TO SCALE
(MARCH 2008)

STRIPING NOTES:

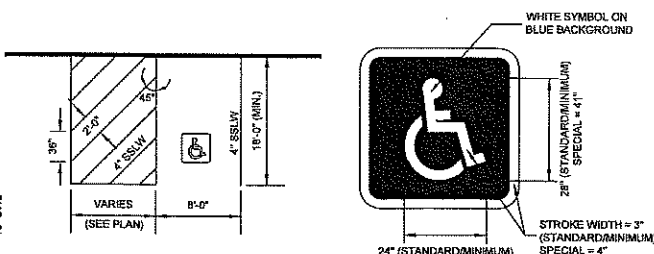
- ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THESE STANDARDS AND THE CURRENT EDITION OF MUTCD.
- WIDTH OF LINES SHALL VARY NO MORE THAN 1/4 INCH FROM THAT SPECIFIED.
- THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 16 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED.
- OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.



STOP BAR



THROUGH (STRAIGHT) ARROW



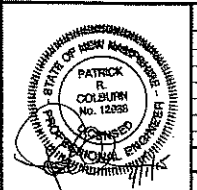
HANDICAP STRIPING DETAIL
NOT TO SCALE
(MARCH 2012)

CONSTRUCTION DETAILS
ZHENG GARDEN
MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
YUE YUN & ZHOU DENG ZHENG
4 PAULA CIRCLE
HUDSON, NH 03051
H.C.R.D. BK. B462; PG. 906

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KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881



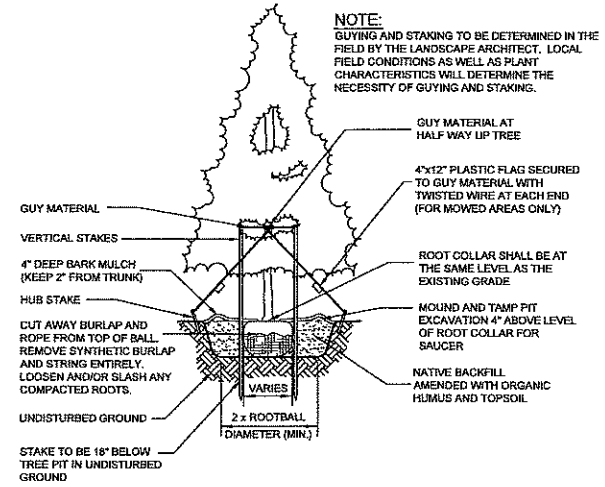
REVISIONS		
No.	DATE	DESCRIPTION
1	11/5/14	PER TOWN COMMENTS
2	12/11/14	REV. PER CONDITIONS OF APPROVAL

DATE: AUGUST 25, 2014 SCALE: AS SHOWN
PROJECT NO: 14-0718-1 SHEET 10 OF 15

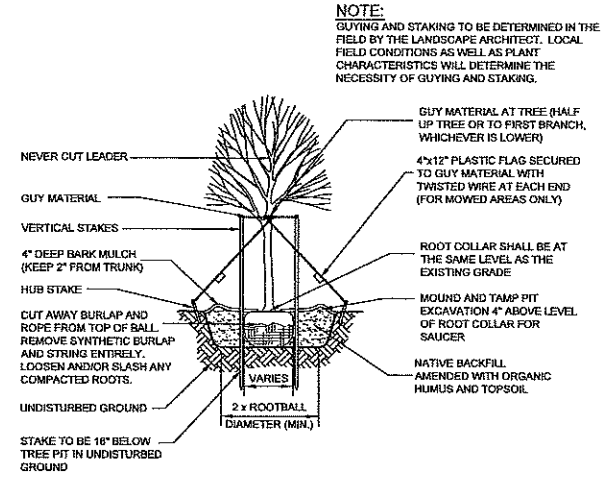
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____

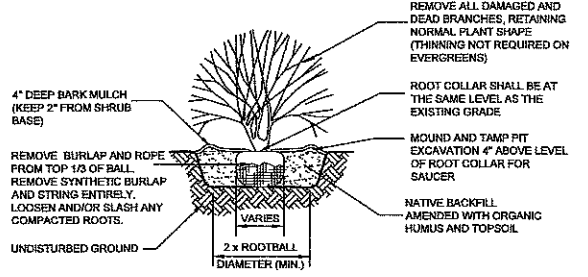
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



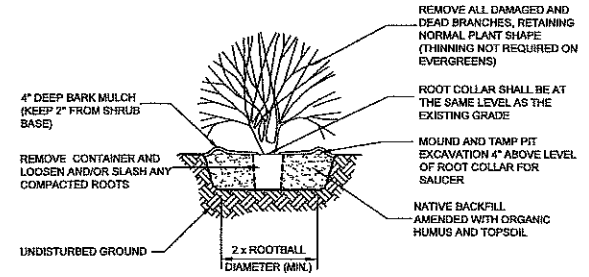
EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



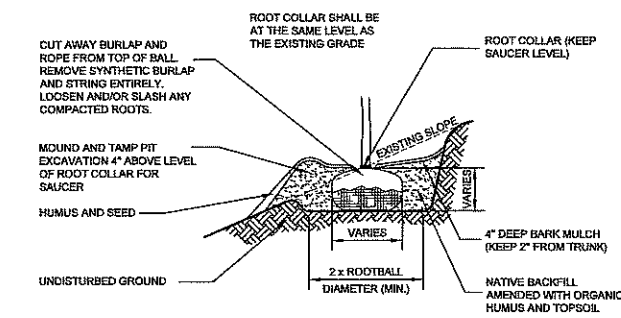
DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



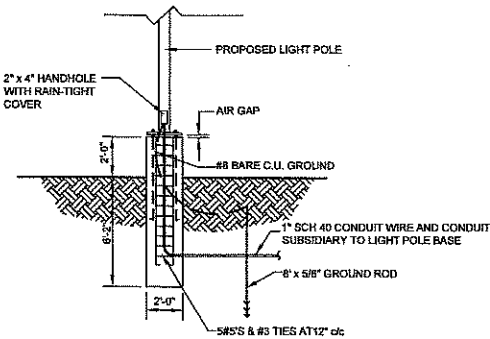
BALLED & BURLAP SHRUB PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



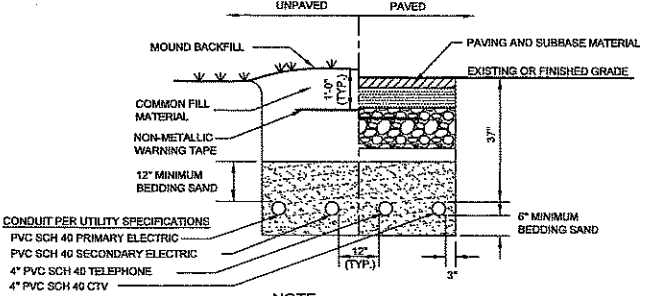
CONTAINER SHRUB PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



TYPICAL PLANTING PIT ON SLOPE 4:1 OR GREATER
NOT TO SCALE
(JANUARY 2012)



CONCRETE LIGHT POLE BASE DETAIL
NOT TO SCALE
(MARCH 2008)



UTILITY TRENCH DETAIL
NOT TO SCALE
(MARCH 2008)

TURF ESTABLISHMENT SCHEDULE

- PURPOSE:**
TO ESTABLISH AND MAINTAIN PERMANENT AND TEMPORARY TURF AREAS, RESTORE GROWTH TO EXISTING TURF AREAS DISTURBED DURING CONSTRUCTION AND CONTROL SOIL EROSION.
- PREPARATION AND EXECUTION:**
- RAKE THE SUBGRADE OF ALL AREAS TO BE LOAMED AND SEEDED TO REMOVE RUBBISH, STICKS, ROOTS AND STONES LARGER THAN 1 INCH.
 - PLACE LOAM OVER AREAS TO BE SEEDED AND SPREAD.
 - FINE GRADE SURFACE AND SUPPLEMENT WITH SUITABLE LOAM WHERE NEEDED TO CREATE A UNIFORM SURFACE ACCORDING TO THE FINISH GRADES INDICATED. TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED. NO LOAM SHALL BE SPREAD IF THE SUBGRADE IS EXCESSIVELY WET OR FROZEN.
 - APPLY LIME EVENLY OVER LOAM SURFACE AND THOROUGHLY INCORPORATE LIME INTO THE LOAM BY HEAVY RAKING TO AT LEAST ONE-HALF THE DEPTH OF THE LOAM.
 - APPLY FERTILIZER AND MIX WITH THE UPPER 2 INCHES OF LOAM.
 - DETERMINE APPROPRIATE MIXTURE FOR AREA TO BE SEEDED BASED ON EXAMINATION OF PROJECT PLANS. UNIFORMLY SPREAD THE SEED BY BROADCASTING OR HYDROSEEDING. IF BROADCASTING, LIGHTLY RAKE INTO THE PREPARED SURFACE AND ROLL. IF HYDROSEEDING, USE 4 TIMES THE RECOMMENDED RATE OF INOCULANT. AFTER SEED IS SPREAD, WATER THOROUGHLY WITH A FINE SPRAY.
 - SEEDING FOR PERMANENT COVER SHALL OCCUR BETWEEN SEPTEMBER 15 AND OCTOBER 15 AND BETWEEN APRIL 15 AND JUNE 15. SEEDING SHALL NOT BE DONE DURING WINDY WEATHER. WHEN THE GROUND IS FROZEN OR EXCESSIVELY WET OR OTHERWISE UNLITABLE.
 - WITHIN 24 HOURS AFTER SEEDING OPERATION, UNIFORMLY MULCH THE AREA WITH HAY. ANCHOR MULCH ON ALL SLOPES EXCEEDING 3:1 USING MULCH NETTING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER.
 - PROTECT AND PREVENT AGAINST WASHOUTS, ANY WASHOUTS WHICH OCCUR SHALL BE PROMPTLY REGRADED AND RESEDED.
 - WHEN IT IS IMPRACTICAL TO ESTABLISH PERMANENT GROWTH ON DISTURBED EARTH BY OCTOBER 15, A TEMPORARY SEED MIXTURE SHALL BE USED. WHEN TEMPORARY SEEDING CANNOT ESTABLISH VISIBLE GROWTH, THE DISTURBED AREA SHALL BE COVERED WITH SIX INCHES OF MULCH FOR THE WINTER.

MAINTENANCE:
ALL SEEDED AREAS SHALL BE KEPT WATERED AND IN GOOD CONDITION. RESEED AS NECESSARY TO ESTABLISH HEALTHY UNIFORM GROWTH OVER THE ENTIRE SEEDED AREA. MAINTAIN SEEDED AREAS IN AN APPROVED CONDITION UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE REPAIRS FOR DAMAGE CAUSED BY EROSION.

- APPLICATION RATES:**
- LOAM SHALL BE APPLIED AT A MINIMUM COMPACTED THICKNESS OF 4 INCHES.
 - LIME SHALL BE APPLIED AT A RATE OF 75 TO 100 POUNDS PER 1,000 S.F.
 - FERTILIZER SHALL BE APPLIED AT A RATE OF 30 POUNDS PER 1,000 S.F.
 - SEED MIXTURE FOR LAWN AREAS SHALL BE APPLIED AT A RATE OF AT LEAST 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
 - TEMPORARY SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1,000 S.F.
 - SEED MIXTURE FOR SLOPE AREAS SHALL BE APPLIED AT A RATE OF 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
 - SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS SHALL BE APPLIED AT A RATE OF 70 POUNDS PER ACRE OR 1.6 POUNDS PER 1,000 S.F.
 - MULCH SHALL BE APPLIED AT A RATE OF 90 POUNDS PER 1,000 S.F.

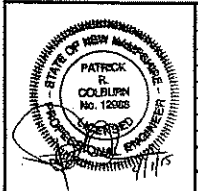
- MATERIALS:**
- LOAM USED FOR TOPSOIL SHALL BE FRIABLE, FERTILE, NATURAL FREE-DRAINING LOAM, FREE OF ROOTS, GRASS, STICKS, WEEDS, CLAY, SOIL LUMPS, DEBRIS AND STONES LARGER THAN 1 INCH IN ANY DIMENSION. SOIL SHALL NOT BE EXCESSIVELY ACID OR ALKALINE AND CONTAIN NO TOXIC MATERIALS.
 - LIME SHALL BE GROUND LIMESTONE CONTAINING NO LESS THAN 95% CALCIUM AND MAGNESIUM CARBONATES.
 - FERTILIZER SHALL BE 10-20-20 COMMERCIAL GRADE.
 - SEED MIXTURE FOR LAWN AREAS SHALL BE 99% PURE LIVE SEED AND CONSIST OF THE FOLLOWING:
25% CREEPING RED FESCUE
25% KENTUCKY BLUEGRASS
25% REDTOP
25% MANHATTAN PERENNIAL RYEGRASS
 - TEMPORARY SEEDING MIXTURE SHALL BE AN APPROVED CONSERVATION MIX OR CONSIST OF THE FOLLOWING:
15% BLACKWELL OR SHELTER SWITCHGRASS
30% NIAGRA OR KAW BIG BLUESTEM
30% CAMPER OR BLAZE LITTLESTEM
15% NE-27 OR BLAZE SAND LOVEGRASS
10% VIKING BIRDSFOOT TREFLOIL
INOCULUM SPECIFIC TO BIRDSFOOT TREFLOIL MUST BE USED WITH THIS MIXTURE. IF SEEDING BY HAND, A STICKING AGENT SHALL BE USED. IF SEEDING WITH A HYDROSEEDER, USE FOUR TIMES THE RECOMMENDED AMOUNT OF INOCULUM.
 - SEED MIXTURE FOR SLOPE AREAS SHALL BE 99% PURE LIVE SEED AND SHALL CONSIST OF THE FOLLOWING:
30% CREEPING RED FESCUE
40% PERENNIAL RYE GRASS
15% REDTOP
15% BIRDSFOOT TREFLOIL
*IN ADDITION TO THE MIX SPECIFIED ABOVE, CROWN VETCH SHALL BE USED ON ALL SLOPES STEEPER THAN 3:1. CROWN VETCH SHALL BE APPLIED AT A RATE OF 10 POUNDS PER ACRE AND INOCULUM SPECIFIC TO CROWN VETCH MUST BE USED.
 - SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS, INCLUDING DETENTION BASINS AND VEGETATED TREATMENT SWALES SHALL CONSIST OF THE FOLLOWING:
25% CREEPING RED FESCUE
15% SWITCH GRASS
15% FOX SEDGE
15% CREEPING BENTGRASS
10% FLATPEA
20% WILDFLOWER VARIETY
 - HAY USED FOR MULCH SHALL CONSIST OF MOWED AND PROPERLY CURED GRASS OR LEGUME MOWINGS, FREE FROM WEEDS, TWIGS, DEBRIS OR OTHER DELETERIOUS MATERIAL AND ROT OR MOLD.

CONSTRUCTION DETAILS
ZHENG GARDEN
MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
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HUDSON, NH 03051
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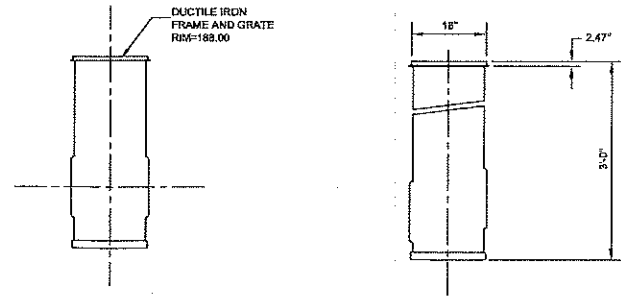
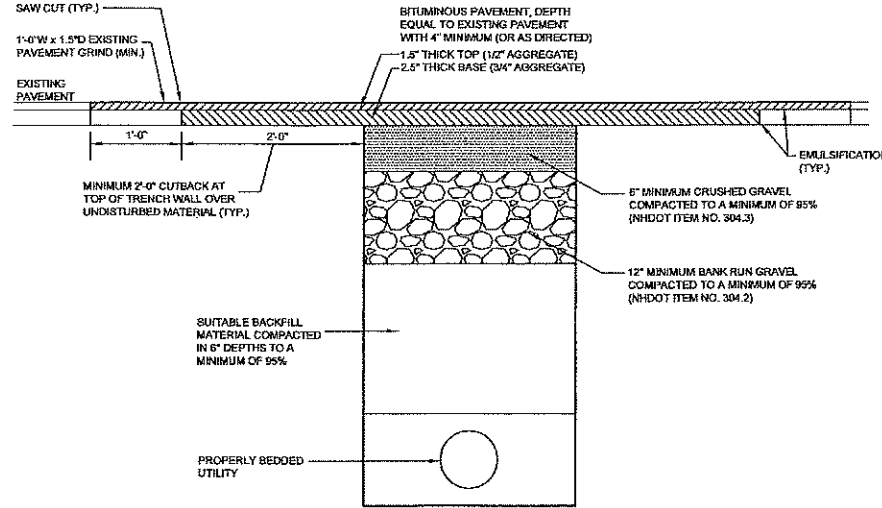


REVISIONS			
No.	DATE	DESCRIPTION	BY
1	11/5/14	DATE ONLY	BJC
2	12/11/14	REV. PER CONDITIONS OF APPROVAL	BJC

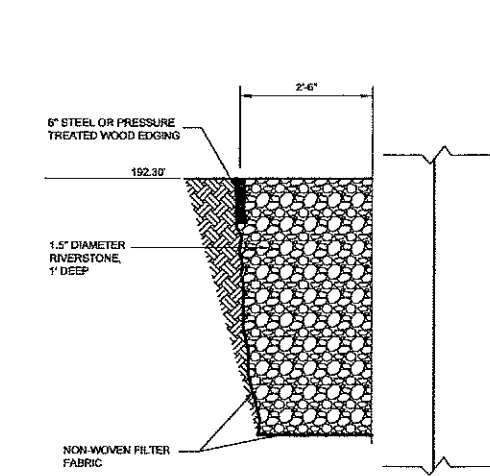
DATE: AUGUST 25, 2014
PROJECT NO: 14-0718-1
SCALE: AS SHOWN
SHEET 11 OF 15

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

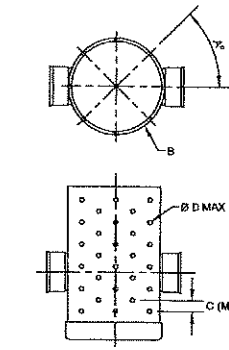
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE _____ DATE _____
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18" DRAIN BASIN
NOT TO SCALE
(MARCH 2008)



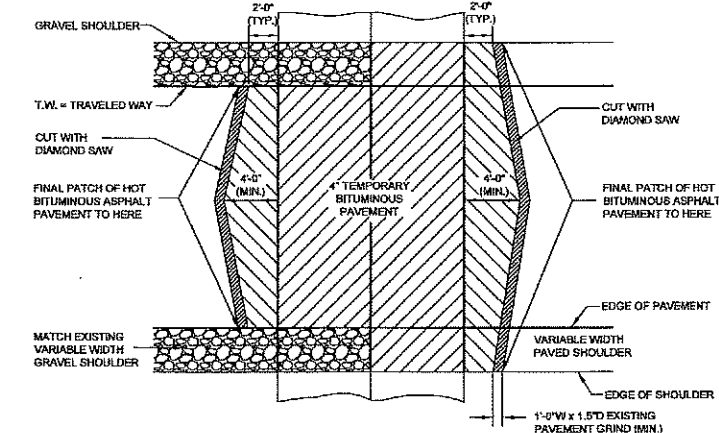
STONE DRIP EDGE DETAIL
NOT TO SCALE



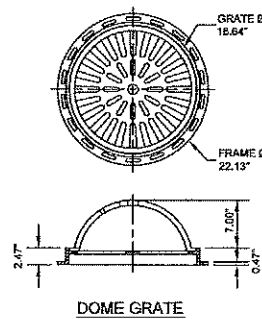
BASIN SIZE	A" ANGLE BETWEEN HOLES	B NUMBER OF HOLES	C DISTANCE BETWEEN HOLES	Ø D DIAMETER OF HOLE
10"	80	4	2.00	0.375
12"	80	5	2.00	0.375
15"	60	6	2.00	0.375
18"	45	8	2.00	0.375
24"	45	8	2.00	0.375
30"	36	10	2.00	0.375

- NOTES:**
- PERFORATIONS NOT TO BE ON OR WITHIN 1" OF ADAPTERS.
 - STAGGERED HOLES EVERY OTHER ROW AS SHOWN.
 - TO PREVENT BLOCKAGE OF PERFORATIONS, DRAIN BASIN OR INLINE DRAIN SHOULD BE WRAPPED IN GEO-CLOTH AND/OR SHOULD BE PACKED WITH GRAVEL.

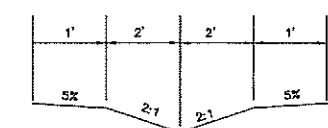
10" - 30" PERFORATION SCHEDULE
NOT TO SCALE
(MARCH 2008)



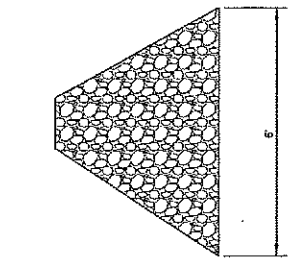
PERMANENT PAVEMENT REPAIR
NOT TO SCALE
(MARCH 2008)



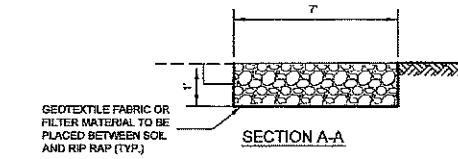
NYLOPLAST NEW STYLE 18" GRATES/COVERS
NOT TO SCALE



TYPICAL DITCH SECTION
NOT TO SCALE



PLAN



SECTION A-A

PAVEMENT TO RAIN GARDEN EROSION STONE
NOT TO SCALE
(MARCH 2008)

TABLE 7-24 - RECOMMENDED RIP RAP GRADATION RANGES

PERCENT OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE
100%	1.5 TO 2.0 450
85%	1.3 TO 1.8 450
50%	1.0 TO 1.5 450
15%	0.3 TO 0.5 450

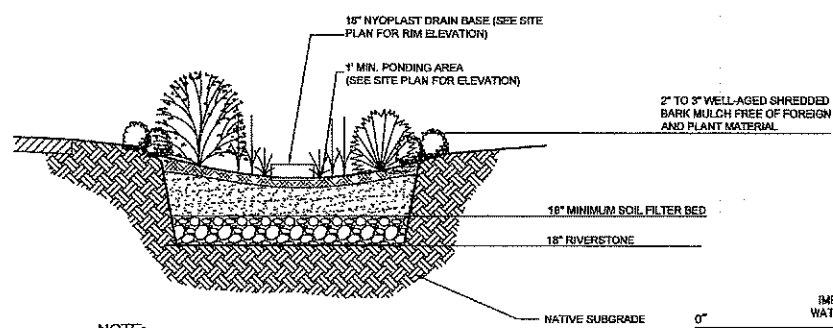
CONSTRUCTION SPECIFICATIONS:

- THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
- THE ROCK OR GRAVEL USED FOR FILTER OR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
- GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
- STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

MAINTENANCE:

THE PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR RAIN EVENT. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED, OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL	PERCENT BY WEIGHT PASSING STANDARD SIEVE
FILTER MEDIA OPTION A			
ASTM C-33 CONCRETE SAND	50 TO 55	200	15 TO 25
LOAMY SAND TOPSOIL, WITH FINES AS INDICATED	20 TO 30	200	<5
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	<5
FILTER MEDIA OPTION B			
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	<5
LOAMY COARSE SAND	76 TO 80	10	85 TO 100
	20	70 TO 100	
	60	15 TO 40	
	200	8 TO 15	



TYPICAL RAIN GARDEN SECTION
NOT TO SCALE
JUNE 2012

NOTE: THIS SYSTEM SHALL NOT BE IN SERVICE UNTIL THE SPECIFIED PLANTINGS ARE INSTALLED AND THE CONTRIBUTING SURFACE AREA IS STABILIZED.

TP #1
LOGGED BY JAN
DATE: 11/14/14
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

0"	A	10YR 3/3, WEAK GRANULAR, FRIABLE LOAMY
15"	B	10 YR 5/6, WEAK GRANULAR, FRIABLE FINE SANDY LOAM, FEW ROOTS
26"	C	10 YR 2/4, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW ROOTS

72" BOTTOM OF HOLE, NO E.S.H.W.T.

TP #2
LOGGED BY JAN
DATE: 11/14/14
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

0"	A	10YR 3/3, WEAK GRANULAR, FRIABLE LOAMY
15"	B	10 YR 5/6, WEAK GRANULAR, FRIABLE FINE SANDY LOAM, FEW ROOTS
28"	C	10 YR 2/4, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW ROOTS

72" BOTTOM OF HOLE, NO E.S.H.W.T.

TP #3
LOGGED BY JAN
DATE: 11/14/14
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

0"	A	10YR 3/4, WEAK GRANULAR, FRIABLE LOAMY, MANY ROOTS
8"	B	10 YR 5/6, WEAK GRANULAR, FRIABLE FINE SANDY LOAM, FEW ROOTS
22"	C1	10 YR 2/4, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW ROOTS
56"	C2	10 YR 8/2, BLOCKY FRIABLE, LOAMY SAND

78" BOTTOM OF HOLE, NO E.S.H.W.T.

CONSTRUCTION DETAILS
ZHENG GARDEN
MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: YUE YUN & ZHOU DENG ZHENG 4 PAULA CIRCLE HUDSON, NH 03051 H.C.R.D. BK. 8462; PG. 906	APPLICANT: YUE YUN & ZHOU DENG ZHENG 4 PAULA CIRCLE HUDSON, NH 03051
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REVISIONS			
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DATE: AUGUST 25, 2014
PROJECT NO: 14-0718-1
SCALE: AS SHOWN
SHEET 12 OF 15

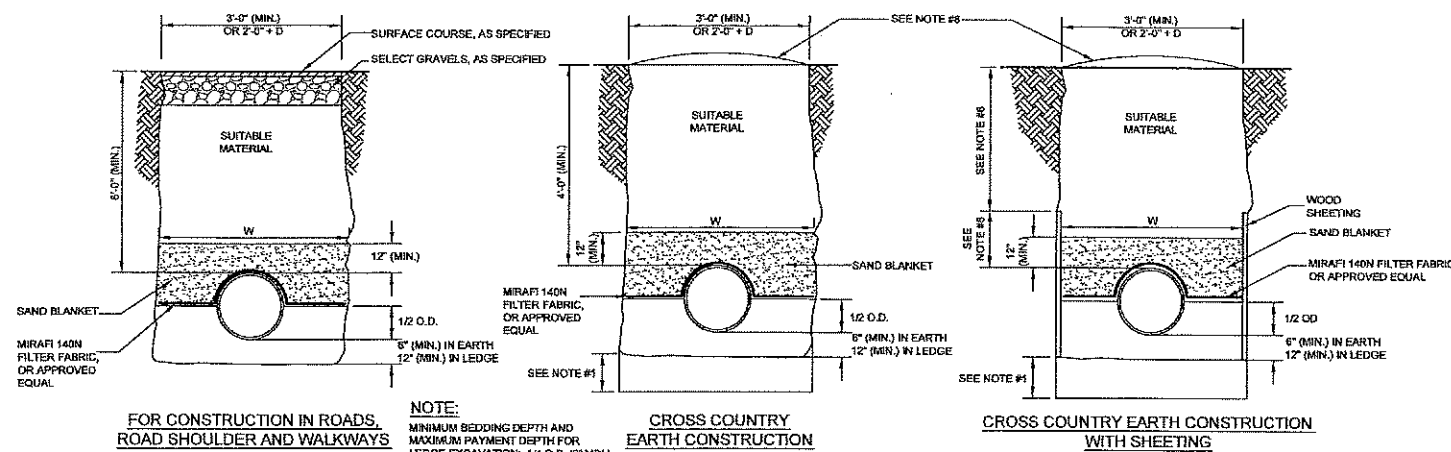
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APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____

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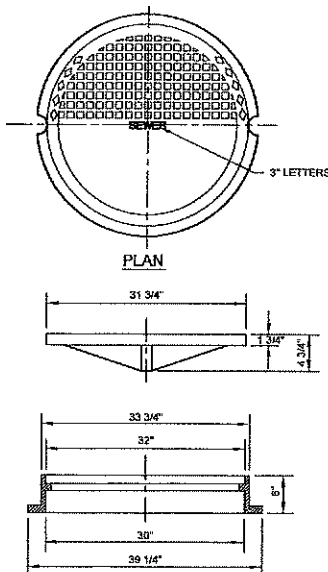
NOTE:
MINIMUM BEDDING DEPTH AND MAXIMUM PAYMENT DEPTH FOR LEDGE EXCAVATION: 1/4 O.D. (6" MIN.)

FOR CONSTRUCTION IN ROADS, ROAD SHOULDER AND WALKWAYS

CROSS COUNTRY EARTH CONSTRUCTION

CROSS COUNTRY EARTH CONSTRUCTION WITH SHEETING

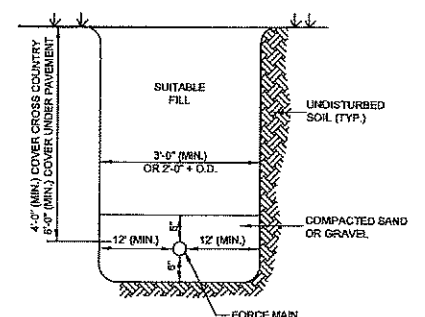
SANITARY SEWER TRENCH DETAIL
NOT TO SCALE
(MARCH 2011)



SEWER MANHOLE FRAME AND COVER DETAIL

NOT TO SCALE
(MARCH 2008)

- NOTES:**
NEW HAMPSHIRE MAINTAINS A CLEAR OPENING DESIGNATION OF 30" FOR ITS MANHOLE CASTINGS.
- FEATURES:**
- 3" LETTERING
 - COVERS MARKED SEWER
 - NONROCKING COVER
 - DIAMOND SURFACE DESIGN
- SPECIFICATIONS:**
- FULLY MACHINED FRAME AND COVER
 - H-20 LOAD RATED
 - GRAY CAST IRON MEETS ASTM A48 CLASS 30

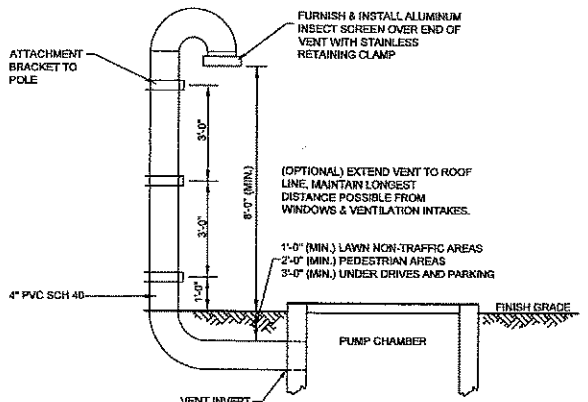


SEWER FORCE MAIN TRENCH DETAIL
NOT TO SCALE
(MARCH 2008)

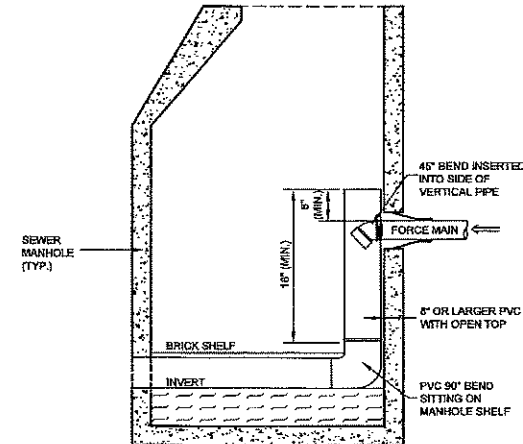
- SEWER FORCEMAIN CONSTRUCTION:**
- PER ENH-WQ 704.04(d) ALL FORCEMAINS SHALL BE RATED TO WITHSTAND 2.5 TIMES DESIGN DYNAMIC HEAD.
 - PER ENH-WQ 705.07(a) FORCEMAINS SHALL FLOW AT 3FPS OR GREATER FOR CONSTANT SPEED PUMPS AND PER ENH-WQ 705.07(b) FLOW AT 2FPS OR GREATER AT AVERAGE DAILY DESIGN FLOW FOR VARIABLE SPEED PUMPS.
 - FORCEMAINS SHALL MEET TRENCH AND BEDDING REQUIREMENTS OF GRAVITY SEWERS.
 - FORCEMAINS SHALL BE CONSTRUCTED FROM DUCTILE IRON, HIGH DENSITY POLYETHYLENE, OR PVC PER ENH-WQ 704.06(a).
PVC SHALL CONFORM TO ASTM D2241-05 OR ASTM D1785-05
HDPE SHALL CONFORM TO ASTM D3035-03a
DI SHALL BE CORROSION PROTECTED IN CORROSIVE ENVIRONMENTS
 - FORCEMAINS SHALL BE TESTED IN ACCORDANCE WITH SECTION 4 OF AWWA C600-05 AT 1.5 DESIGN DYNAMIC PRESSURE OR 100 PSI, WHICHEVER IS GREATER, PER ENH-WQ 704.06.

NOTES:

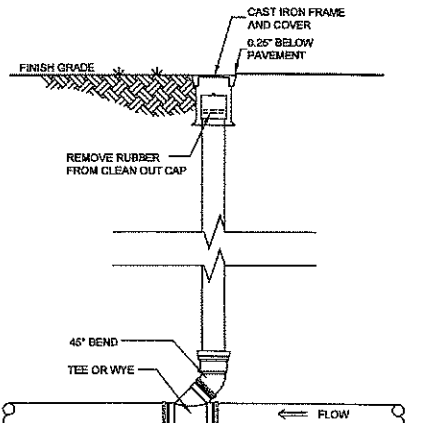
- ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE. REFILL WITH BEDDING MATERIAL, ALSO SEE NOTE #7.
BEDDINGS: CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33-03 STONE SIZE NO. 67.
100% PASSING 1 INCH SCREEN
90 - 100% PASSING 3/4 INCH SCREEN
20 - 55% PASSING 3/8 INCH SCREEN
0 - 10% PASSING # 4 SIEVE
0 - 5% PASSING # 8 SIEVE
WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED CRUSHED STONE 1/2 INCH TO 1-1/2 INCHES SHALL BE USED.
- SAND BLANKET: GRADED CLEAN SAND FREE FROM ORGANIC MATTER, SO THAT 100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 16% WILL PASS A # 200 SIEVE. BLANKET MAY BE OMITTED FOR CAST IRON, DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED, HOWEVER, THAT NO STONE LARGER THAN 2 INCHES IS IN CONTACT WITH THE PIPE.
- MIRAFI 140N FILTER FABRIC, OR APPROVED EQUAL, SHALL BE INSTALLED ABOVE PIPE.
- SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL AND ALL ROCKS OVER 6 INCHES IN LARGEST DIMENSION, OR ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.
IN CROSS COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT IF HE/SHE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER WILL BE PRESERVED FOR MAINTENANCE AND POSSIBLY RECONSTRUCTION, WHEN NECESSARY.
- BASE COURSE: IF ORDERED BY THE ENGINEER, SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE LATEST EDITION OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS."
- WOOD SHEETING, IF REQUIRED, WHERE PLACED ALONGSIDE THE PIPE AND EXTENDING BELOW MID-DIAMETER, SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
- FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUNDING TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES DESIGN STANDARDS REQUIRE 10 FEET OF SEPARATION BETWEEN WATER AND SEWER. HOWEVER, SHOULD CONSTRUCTION REVEAL OR EXPOSE A WATERLINE (MAIN OR SERVICE) RUNNING APPROXIMATELY PARALLEL AND LESS THAN 10 FEET HORIZONTALLY FROM THE PROPOSED SEWER INSTALLATION AND WHERE IT IS NOT PRACTICAL TO RELOCATE THE SEWER, A DEVIATION MAY BE GRANTED PROVIDED THAT THE SEWER IS CONSTRUCTED IN ACCORDANCE WITH THE FORCE MAIN CONSTRUCTION REQUIREMENT SPECIFIED BELOW.
 - FORCEMAINS SHALL BE CONSTRUCTED FROM DUCTILE IRON, HIGH DENSITY POLYETHYLENE, OR PVC PER ENH-WQ 704.06(a).
PVC SHALL CONFORM TO ASTM D2241-05 OR ASTM D1785-05
HDPE SHALL CONFORM TO ASTM D3035-03a
DI SHALL BE CORROSION PROTECTED IN CORROSIVE ENVIRONMENTS
 - WHERE WATER LINES AND SEWER LINES CROSS, THEY SHOULD CROSS AS PERPENDICULAR AS POSSIBLE AND THE WATER MAIN SHALL CROSS AT LEAST 18" INCHES ABOVE THE SEWER. FURTHER, THE SEWER JOINTS SHALL BE LOCATED AT LEAST 5 FEET HORIZONTALLY FROM THE WATER MAIN.
 - ALL SEWERS AT 8 PERCENT SLOPE, OR GREATER, SHALL HAVE IMPERVIOUS TRENCH DAMS CONSTRUCTED EVERY 300 FEET.
 - UNLESS OTHERWISE NOTED, ALL GRANULAR MATERIAL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 95% OF THE MODIFIED PROCTOR TEST.
 - WHERE WATER MAINS CROSS UNDER SEWER MAINS, BOTH THE SEWER AND WATER MAINS SHALL BE PRESSURE RATED PIPE PER ENH-WQ 704.05 AND TESTED PER AWWA C600-05 AT 1.5 TIMES DESIGN PRESSURE OR 100 PSI, WHICHEVER IS GREATER, WITH NO JOINTS WITHIN 9 FEET OF THE CROSSING POINT AND 18" MINIMUM VERTICAL SEPARATION.
 - GRAVITY PIPE SEWER TESTING:
 - ALL NEW GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY THE USE OF LOW-PRESSURE AIR TESTS
 - LOW-PRESSURE AIR TESTING SHALL BE IN CONFORMANCE WITH:
 - ASTM F1417-92(2005) "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW-PRESSURE AIR;" OR
 - UNION-BELL PVC PIPE ASSOCIATION LHM-8-6 "LOW-PRESSURE AIR TESTING OF INSTALLED SEWER PIPE" (1998).
 - ALL NEW GRAVITY SEWERS SHALL BE CLEANED AND VISUALLY INSPECTED AND SHALL BE TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR TO USE.
 - ALL PLASTIC SEWER PIPE SHALL BE DEFLECTION TESTED NOT LESS THAN 30 DAYS FOLLOWING INSTALLATION.
 - THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 7-1/2 PERCENT OF AVERAGE INSIDE DIAMETER.



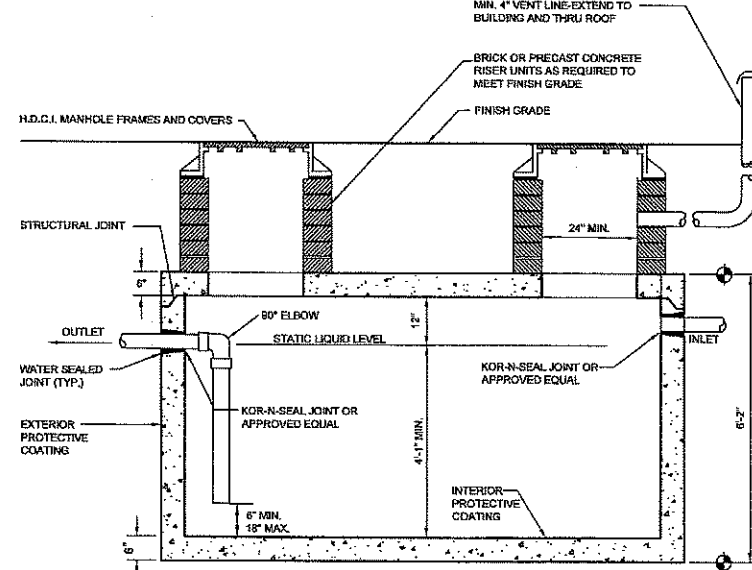
VENT DETAIL
NOT TO SCALE
(MARCH 2008)



FORCE MAIN CONNECTION TO SEWER MANHOLE
NOT TO SCALE
(MARCH 2008)



CLEANOUTS ON SERVICE LATERALS (4" OR 6")
NOT TO SCALE
(MARCH 2008)



1,000 GALLON GREASE TRAP SEPARATOR TANK
DESIGN LOAD HS20-44
CONCRETE MIN. 5,000 PSI @ 28 DAYS
STEEL REINFORCEMENT-ASTM A-615-79 GR 60
1,000 GAL. GREASE TRAP (H-20)
NOT TO SCALE

- DESIGN DATA & GENERAL NOTES:**
- CONCRETE STRENGTH 3,000 PSI MIN. STRENGTH @ 28 DAYS
 - STEEL REINFORCEMENT - ASTM A-615 GRADE 60
 - COVER TO STEEL - 1" MIN.
 - TANKS ARE DESIGNED TO MEET ASTM C 858 AND ACI 318 WITH ASH TO H20 LOADINGS
 - EARTH COVER - 0 TO 4 FEET
 - CONSTRUCT JOINT - SEALED WITH 1" DIA. BUTYL RUBBER OR EQUIVALENT.
 - ALL PIPE TO STRUCTURE JOINTS SHALL BE KOR-N-SEAL OR APPROVED EQUAL

CONSTRUCTION DETAILS
ZHENG GARDEN
MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: YUE YUN & ZHOU DENG ZHENG 4 PAULA CIRCLE HUDSON, NH 03051 H.C.R.D. BK. 8462; PG. 906	APPLICANT: YUE YUN & ZHOU DENG ZHENG 4 PAULA CIRCLE HUDSON, NH 03051
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KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-8881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	11/5/14	PER TOWN COMMENTS	BJC
2	12/11/14	REV. PER CONDITIONS OF APPROVAL	BJC

DATE: AUGUST 25, 2014
PROJECT NO: 14-0718-1
SCALE: AS SHOWN
SHEET: 13 OF 15

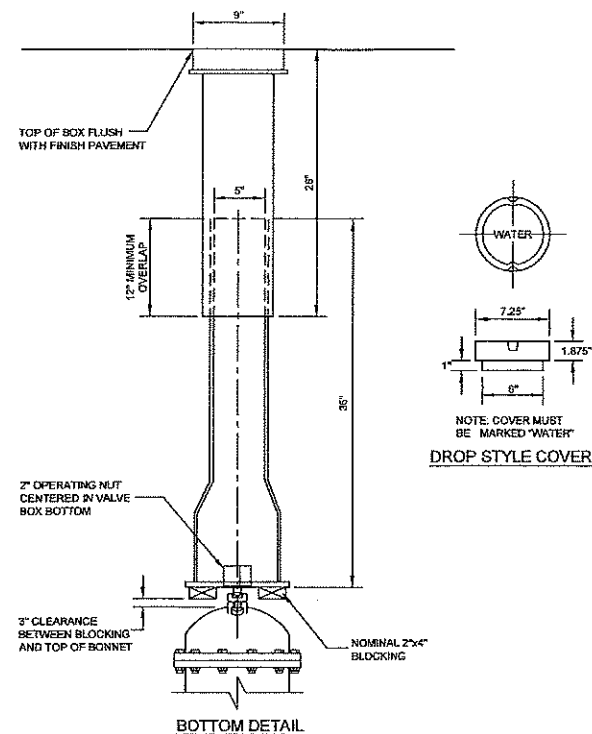
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____

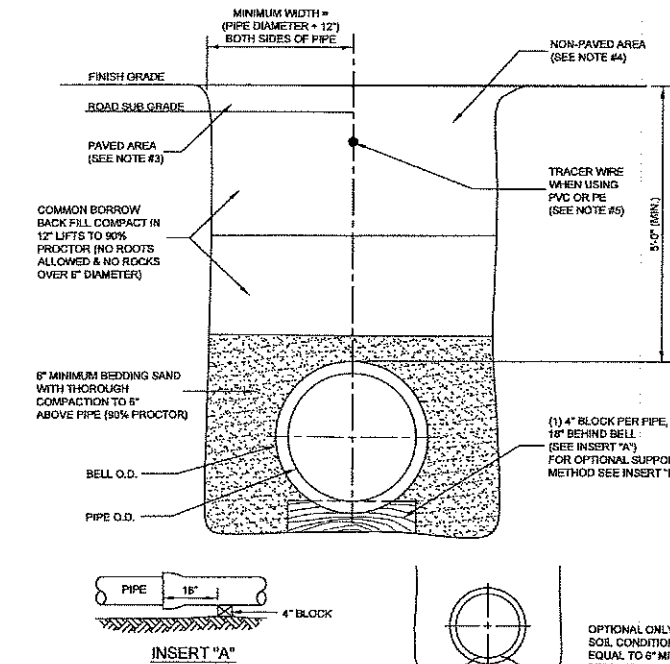
SIGNATURE _____ DATE _____

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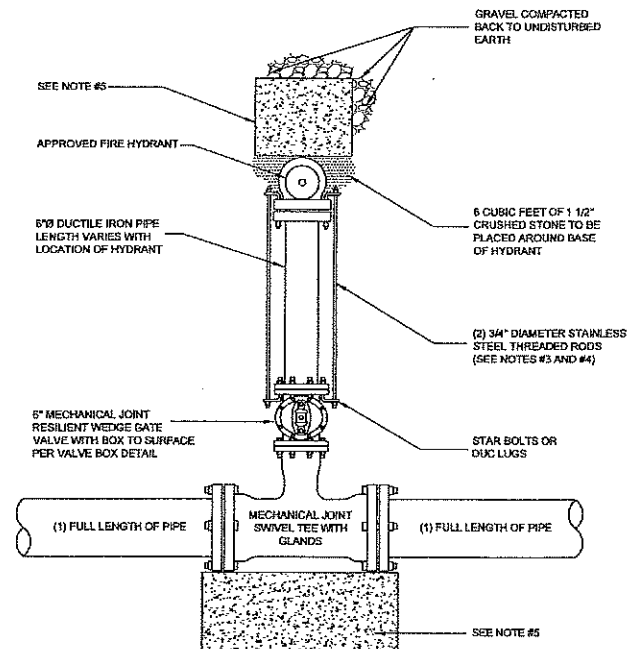
- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO PENNICHUCK WATER WORKS, INC. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.

VALVE BOX DETAIL
(A-09)
NOT TO SCALE
(MARCH 2008)



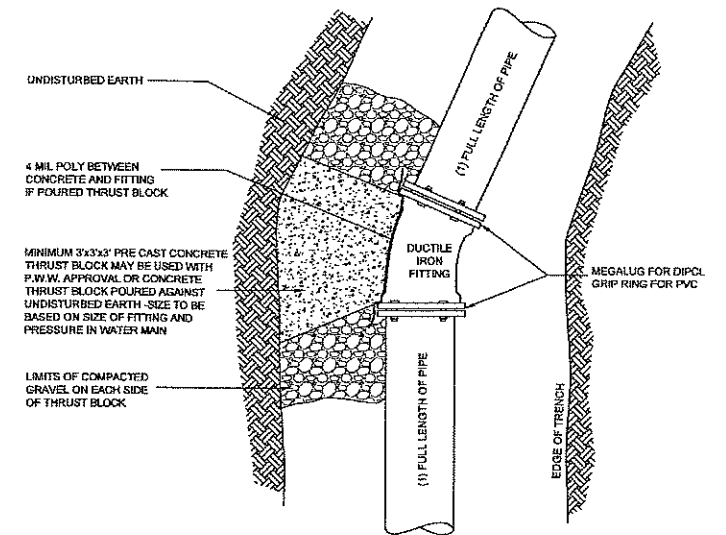
- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO PENNICHUCK WATER WORKS, INC. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
 3. REQUIREMENTS FOR SUBBASE AND BASE MATERIAL TYPE ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN PAVED AREAS.
 4. REQUIREMENTS FOR GRAVEL, L/DAM AND/OR SEED ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN NON-PAVED AREAS.
 5. 10 GAUGE TRACER WIRE AS MANUFACTURED BY BMS, DIVISION OF ALBESTAR CORP., AVON, MA OR EQUIVALENT.

TRENCH DETAIL
(A-02)
NOT TO SCALE
(MARCH 2008)



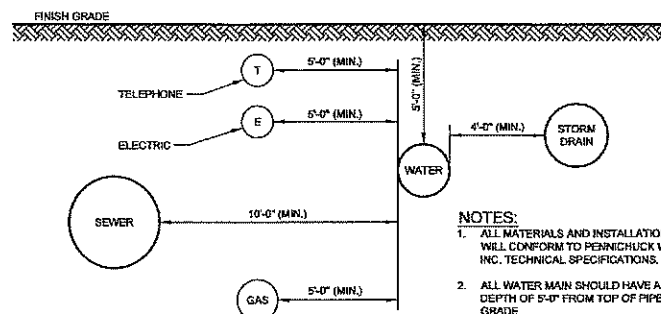
- NOTES:**
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO PENNICHUCK WATER WORKS, INC. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
 3. 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS. 10" FITTING OR SMALLER = (2) 3/4" S.S. RODS & ASSOCIATED HARDWARE. 12" FITTING OR LARGER = (4) 3/4" S.S. RODS & ASSOCIATED HARDWARE.
 4. WHEN DISTANCE FROM WATER MAIN TO HYDRANT IS MORE THAN 10'-0" SUBSTITUTE MEGALUGS (OR GRIP RINGS) IN LIEU OF THREADED RODS.
 5. MINIMUM 3"x3"x3" PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH PENNICHUCK WATER WORKS, INC. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE THRUST BLOCK BEHIND FITTINGS DETAIL.

HYDRANT INSTALLATION
(A-10)
NOT TO SCALE
(MARCH 2008)



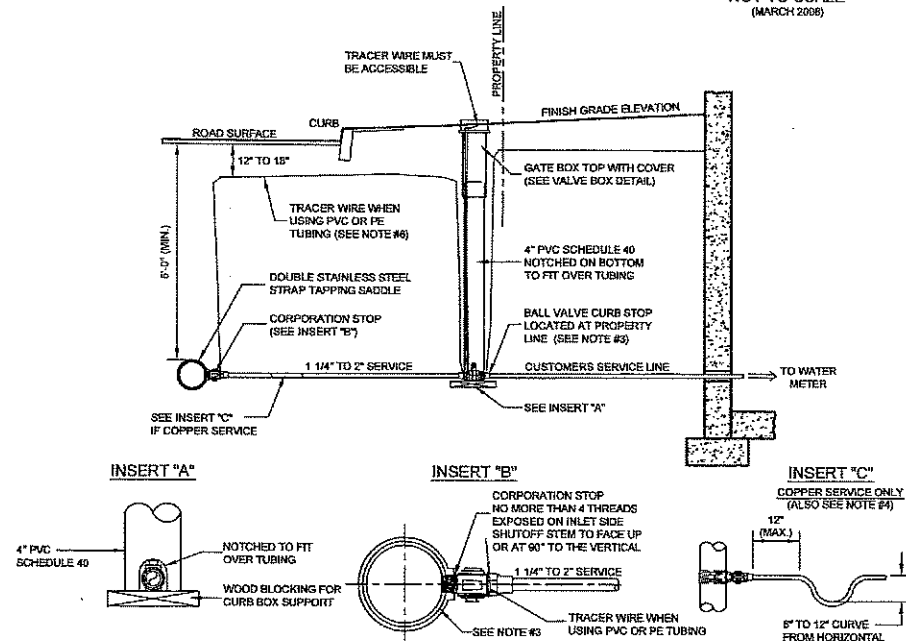
- NOTES:**
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 4. MIN 3"x3"x3" PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH PENNICHUCK WATER WORKS, INC. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN.

THRUST BLOCK BEHIND FITTINGS INSTALLATION
(A-07)
NOT TO SCALE
(MARCH 2008)



- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO PENNICHUCK WATER WORKS, INC. TECHNICAL SPECIFICATIONS.
 2. ALL WATER MAIN SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
 3. SEE DETAIL FOR TRENCH SPECIFICATIONS.
 4. SEE DETAIL FOR OUTSIDE SERVICE ENTRANCE SPECIFICATIONS.

UTILITY SEPARATION (MAIN) DETAIL
(A-01)
NOT TO SCALE
(MARCH 2008)



- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO PENNICHUCK WATER WORKS, INC. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
 3. IF WATER MAIN IS PVC OR TRANSITE, A DOUBLE STAINLESS STEEL STRAP TAPPING SADDLE MUST BE USED TO CONNECT THE CORPORATION TO THE WATER MAIN.
 4. IF WATER MAIN IS PVC OR TRANSITE, AND THE NEW WATER SERVICE IS COPPER, THEN SEE THE APPROPRIATE DETAIL.
 5. IF WATER MAIN IS A FIRE SERVICE, THEN SEE THE APPROPRIATE DETAIL.
 6. 10 GAUGE TRACER WIRE AS MANUFACTURED BY BMS, DIVISION OF ALBESTAR CORP., AVON, MA OR EQUIVALENT.

1 1/4" TO 2" SERVICE AND VALVE BOX INSTALLATION DETAIL
(A-12)
NOT TO SCALE
(MARCH 2008)

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

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CONSTRUCTION DETAILS
ZHENG GARDEN
MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
YUE YUN & ZHOU DENG ZHENG
4 PAULA CIRCLE
HUDSON, NH 03051
H.C.R.D. BK. 8462; PG. 908

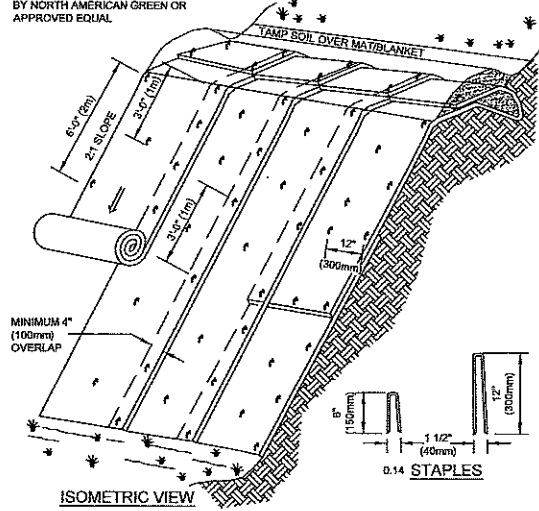
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KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 5B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	11/5/14	DATE ONLY	BJC
2	12/11/14	DATE ONLY	BJC

DATE: AUGUST 25, 2014 SCALE: AS SHOWN
PROJECT NO: 14-0718-1 SHEET 14 OF 15

MATS/BLANKETS SHOULD BE INSTALLED VERTICALLY DOWNSLOPE AND SHALL BE DOUBLE NET STRAW BLANKETS BY NORTH AMERICAN GREEN OR APPROVED EQUAL.

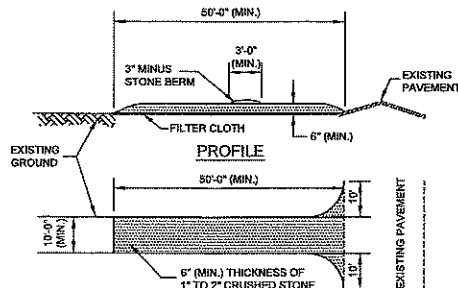


NOTES:

- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
- APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
- LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

EROSION CONTROL BLANKETS - SLOPE INSTALLATION

NOT TO SCALE
(AUGUST 2011)



STABILIZED CONSTRUCTION EXIT DETAIL
NOT TO SCALE
(MARCH 2008)

MAINTENANCE:

MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE CRUSHED STONE AND THE EFFECTIVENESS OF THE CRUSHED STONE PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW CRUSHED STONE OR COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.

IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

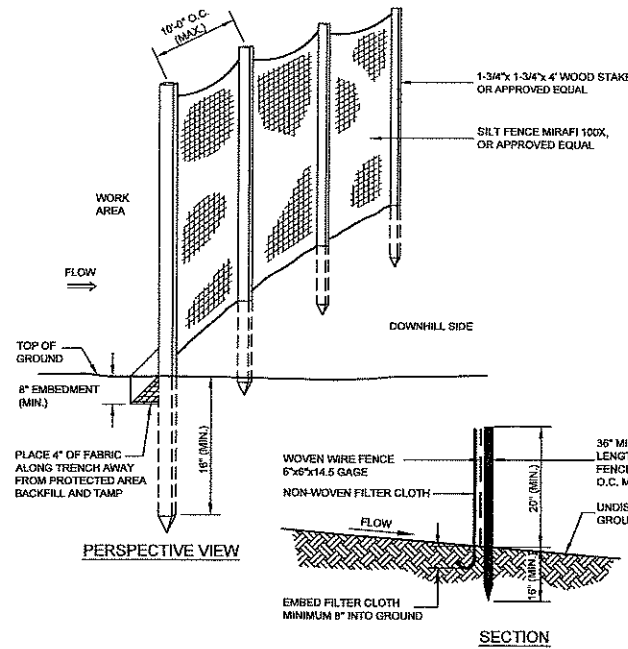
CONSTRUCTION SPECIFICATIONS:

- STONE FOR A STABILIZED CONSTRUCTION EXIT SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED EXIT SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THE THICKNESS OF THE STONE FOR THE STABILIZED EXIT SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE EXIT SHALL NOT BE LESS THAN THE FULL WIDTH OF THE AREA WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION EXIT SHALL BE PIPED BENEATH THE EXIT. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

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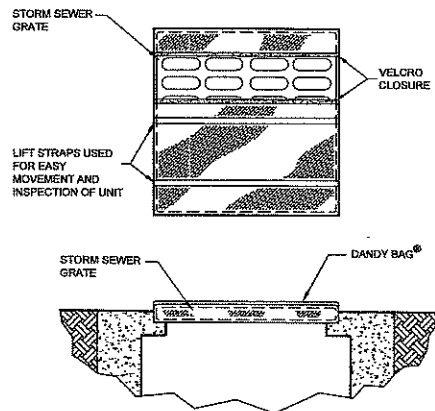
SILT FENCE DETAIL
NOT TO SCALE
(MARCH 2008)

CONSTRUCTION SPECIFICATIONS:

- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE OR STAPLES WHERE NOTED OR AS DIRECTED BY DESIGN ENGINEER.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MIDSECTION AND BOTTOM.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
- FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

MAINTENANCE:

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.



HI-FLOW DANDY BAG® (SAFETY ORANGE)

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	KN (lbs)	1.62 (365) x 0.69 (209)
GRAB TENSILE ELONGATION	ASTM D 4632	%	24 x 10
PUNCTURE STRENGTH	ASTM D 4833	KN (lbs)	0.40 (90)
MULLEN BURST STRENGTH	ASTM D 3796	KPa (psi)	3297 (456)
TRAPEZOID TEAR STRENGTH	ASTM D 4533	KN (lbs)	0.51 (115) x 0.33 (75)
UV RESISTANCE	ASTM D 4355	%	50
APPARENT OPENING SIZE	ASTM D 4791	Mm (US Std Sieve)	0.425 (40)
FLOW RATE	ASTM D 4491	1/m ² min ² (gall/min/ft ²)	5907 (145)
PERMITTIVITY	ASTM D 4491	Sec ⁻¹	2.1

DANDY BAG®
NOT TO SCALE
(APRIL 2010)

WINTER CONSTRUCTION NOTES:

- ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE. SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER WHDOT ITEM 304.3 OR, IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON, BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

CONSTRUCTION SEQUENCE

- FIRST CUT AND CLEAR TREES AND BRUSH ONLY WITHIN DESIGNATED LIMITS OF CLEARING AS NECESSARY TO FACILITATE PROPOSED CONSTRUCTION. ALL TREES, BRANCHES AND OTHER VEGETATIVE MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR. THIS PROJECT IS MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:55 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
- PRIOR TO COMMENCEMENT OF ANY EARTHMOVING OPERATIONS, ALL APPLICABLE TEMPORARY EROSION CONTROL MEASURES, INCLUDING SPECIFIED PERIMETER SILTATION FENCING AND STABILIZED CONSTRUCTION EXIT SHALL BE IN PLACE AS SHOWN ON THE PROJECT PLANS.
- COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR ORGANIC DEBRIS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR. SOIL MATERIALS SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED WITHIN AREAS CUT OF THE WAY OF OTHER CONSTRUCTION ACTIVITIES AND DRAINAGE FLOW. STOCKPILES SHALL BE TEMPORARILY SEEDING WITH WINTER RYE AND BE SURROUNDED WITH HAY BALES AND/OR FABRIC SILTATION FENCE IN ORDER TO PREVENT LOSS DUE TO EROSION.
- BEGIN EARTHMOVING OPERATIONS, COMMENCING WITH WORK NEEDED TO BALANCE SITE AND FACILITATE BUILDING FOUNDATION CONSTRUCTION. PERMANENT DOWNSLOPE WORK SHALL BE PROTECTED FROM UPGRADIENT STORMWATER FLOW BY THE CONSTRUCTION OF TEMPORARY EARTHEN DIKES OR EXCAVATED SWALES.
- ONCE BUILDING FOUNDATION WORK IS UNDERWAY, CONTINUE EARTHMOVING OPERATIONS UNTIL DESIGN SUBGRADE IS ACHIEVED.
- INSTALL DRAINAGE SYSTEMS AND OTHER UTILITIES WORKINGS FROM LOW TO HIGH. INCOMPLETE WORK SHALL BE PROTECTED FROM SILTATION BY THE USE OF SILTATION BARRIERS AROUND SWALES UNTIL THE SITE HAS BECOME FULLY STABILIZED.
- PLACE GRAVEL AND CRUSHED GRAVEL OVER PROPOSED DRIVEWAY, WALKS AND PARKING AREAS AND COMPACT IN SPECIFIED LIFT THICKNESS.
- COMPLETE EXCAVATION/STABILIZATION GRADING ACTIVITIES. WHEN COMPLETE, IMMEDIATELY BEGIN TOPSOILING PROPOSED TURF AREAS USING STOCKPILED LOAM SUPPLEMENTED WITH BORROW LOAM, IF NECESSARY, TO LEAVE A THICKNESS OF 4 INCHES OF FRAGILE LOAM.
- FINE GRADE ALL FUTURE TURF AREAS AND HYDROSEED WITH THE SPECIFIED SEED MIXTURE IMMEDIATELY AFTER FINE GRADING IS COMPLETED. ALL AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
- INSTALL THE BINDER COURSE OF PAVEMENT OVER ALL DESIGNATED AREAS.
- CONTINUE TO MONITOR AND RECTIFY MINOR SITE AND SLOPE EROSION UNTIL ENTIRE SITE APPEARS TO BE COMPLETELY STABILIZED AND VEGETATED WITH A HEALTHY STAND OF TURF OR GROUND COVER. MAINTAIN SPECIFIED SILTATION/EROSION CONTROL MEASURES THROUGH ONE WINTER.
- INSTALL THE SPECIFIED WEARING COURSE OF PAVEMENT OVER THE BINDER COURSE.
- COMPLETE INSTALLATION OF LANDSCAPING, SIGNAGE AND OTHER SITE AMENITIES.

EROSION CONTROL NOTES

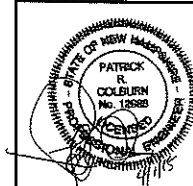
- EXPOSED EARTHWORK SHALL BE CONFINED TO AS LIMITED AN AREA AS IS PRACTICAL AT ANY GIVEN TIME THROUGHOUT THE CONSTRUCTION PERIOD. AT NO TIME SHALL MORE THAN FIVE (5) ACRES OF SITE AREA BE IN AN UNSTABLE CONDITION. NO GIVEN AREA OF THE SITE SHALL BE LEFT IN AN UNSTABILIZED CONDITION FOR A PERIOD OF TIME EXCEEDING THIRTY (30) CALENDAR DAYS.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS. IN ADDITION, SIMILAR MEASURES SHALL BE INSTALLED WHERE AND WHEN THE FIELD CONDITION, OR FIELD OPERATION OF THE INDIVIDUAL SITE CONTRACTOR, MAY WARRANT. ALL TEMPORARY EROSION CONTROL MEASURES USED SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25" OF RAINFALL OR MORE. THEY SHALL BE CLEANED AND MAINTAINED AND OTHERWISE KEPT IN AN EFFECTIVE OPERATING MANNER THROUGHOUT THE CONSTRUCTION PERIOD.
- ALL DISTURBED AREAS DESIGNATED TO BE TURF, SHALL RECEIVE A MINIMUM APPLICATION OF 4 INCHES OF LOAM (COMPACTED THICKNESS), PRIOR TO FINAL SEEDING AND MULCHING.
- ALL SWALES AND DITCHLINES SHALL BE PERIODICALLY CLEANED OF DEPOSITED SEDIMENT SO AS TO MAINTAIN AN EFFECTIVE GRADE AND CROSS SECTION. ALL SWALES AND DITCHLINES SHALL BE FULLY STABILIZED PRIOR TO HAVING STORMWATER DIRECTED TOWARDS THEM.
- IN THE EVENT THAT, DURING CONSTRUCTION OF ANY PORTION OF THIS PROJECT, A WINTER SHUTDOWN IS NECESSARY, THE CONTRACTOR SHALL STABILIZE ALL INCOMPLETE WORK AND PROVIDE FOR SUITABLE METHODS OF DIVERTING RUNOFF IN ORDER TO ELIMINATE SHEET FLOW ACROSS FROZEN SURFACES.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- DUST SHALL BE CONTROLLED BY THE USE OF WATER AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD, IN ACCORDANCE WITH ENVA-1000.
- IN NO WAY ARE THOSE TEMPORARY EROSION CONTROL MEASURES INDICATED ON THESE PLANS TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT IN INSTALLING SUPPLEMENTARY EROSION CONTROL MEASURES WHERE AND WHEN SPECIFIC SITE CONDITIONS AND/OR CONSTRUCTION METHODOLOGIES MAY WARRANT.
- AREAS HAVING FINISH GRADE SLOPES OF 3:1 OR STEEPER, SHALL BE STABILIZED WITH JUTE MATTING WHEN AND IF FIELD CONDITIONS WARRANT, OR IF SO ORDERED. JUTE MATTING INSTALLED TO CONFORM WITH THE RECOMMENDED BEST MANAGEMENT PRACTICE OUTLINED IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION."
- ALL DETENTION PONDS AND TREATMENT SWALES SHALL BE CONSTRUCTED PRIOR TO ANY EARTH MOVING ACTIVITIES THAT WILL INFLUENCE STORMWATER RUNOFF.
- ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDING AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

CONSTRUCTION DETAILS
ZHENG GARDEN
MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
YUE YUN & ZHOU DENG ZHENG
4 PAULA CIRCLE
HUDSON, NH 03051
H.C.R.D. BK. 8462; PG. 906

APPLICANT:
YUE YUN & ZHOU DENG ZHENG
4 PAULA CIRCLE
HUDSON, NH 03051

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 2B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY
1	11/5/14	DATE ONLY	BJC
2	12/11/14	DATE ONLY	BJC

DATE: AUGUST 25, 2014 SCALE: AS SHOWN
PROJECT NO: 14-0718-1 SHEET 15 OF 15