



# TOWN OF HUDSON

## Planning Board



Glenn Della-Monica, Chairman

Marilyn McGrath, Selectmen Liaison

12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

### **PUBLIC MEETING TOWN OF HUDSON, NH AUGUST 16, 2017**

The Town of Hudson Planning Board will hold a regularly scheduled meeting on Wednesday, August 16, 2017 at 7:00 p.m. in the “Buxton Community Development Conference Room” at Town Hall. The following items will be on the agenda:

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES

V. MINUTES OF PREVIOUS MEETING(S)

- 19 July 17 Meeting Minutes – Decisions

VI. CASES REQUESTED FOR DEFERRAL

VII. CORRESPONDENCE

A. Street Acceptance.

1. Bush Hill Road Improvements Adjacent to Moose Hill Road
2. Moose Hill Road

Reference Memo dated 6-28-17 from Elvis Dhima, Town Engineer, to John Cashell, Town Planner.

VIII. PERFORMANCE SURETIES

IX. ZBA INPUT ONLY

X. PUBLIC HEARINGS

XI. OLD BUSINESS/PUBLIC HEARINGS

XII. DESIGN REVIEW PHASE

XIII. CONCEPTUAL REVIEW ONLY

- A. BAE Systems – Proposed Building Addition  
CSP# 03-17

65 River Road  
Map 251/Lot 1

Purpose of Plan: to provide a 1,770 SF (30 ft. x 59 ft.) building addition with appurtenant site improvements. No new parking is proposed. Application Acceptance & Hearing.

XIV. NEW BUSINESS/PUBLIC HEARINGS

- A. American Tower Corporation Site Plan & Conditional Use      143 Dracut Road  
SP# 07-17 & CU# 01-17      Map 259/Lot 11

Purpose of Plan: to propose a 155” Communications Tower with antennas, associated 100’ x 100’ fenced gravel compound with shelter, landscaping, driveway extension, and underground utilities. Application Acceptance & Hearing.

- B. Brookview Subdivision (FKA Breckenridge Estates)      50 Speare Road  
SB# 07-17      Map 186/Lot 13

Purpose of Plan: to amend the approved subdivision, SB# 04-16 dated July 15, 2016, by relocating the fire cistern and enlarging the cistern from 15,000 gallons to 30,000 gallons, and removing condition of approval #4, which states that all dwelling units have sprinkler systems. Application Acceptance & Hearing.

- XV. OTHER BUSINESS  
XVI. ADJOURNMENT

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting.

The public is invited to attend.

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John M. Cashell  
Town Planner

POSTED: Town Hall, Library & Post Office – 08-04-17

**MINUTES/DECISIONS OF THE PLANNING BOARD  
MEETING DATE: JULY 19, 2017**

In attendance = X; Alternates Seated = S; Partial Attendance = P; Excused  
Absence = E

Glenn Della-Monica Chairman <u> X </u>	Timothy Malley Vice-Chair <u> X </u>	William Collins Secretary <u> X </u>	Charles Brackett Member <u> E </u>
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Jordan Ulery Member <u> E </u>	Dillon Dumont Member <u> E </u>	Elliott Veloso Alternate <u> X </u>	Ed Van der Veen Alternate <u> X </u>
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Ethan Meinhold Alternate <u> X </u>	Marilyn McGrath Select. Rep. <u> X </u>	David Morin Alt. Select. Rep. <u> X </u>
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Meeting called to order at approximately 7:02 p.m.

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES
- V. ELECTION OF OFFICERS
  
- VI. MINUTES OF PREVIOUS MEETING(S)

- 21 June 17 Meeting Minutes – Decisions

Mr. Malley moved to approve the 21 June 17 Meeting Minutes as amended.

Motion seconded by Ms. McGrath. All in favor – motion carried.

- VII. CASES REQUESTED FOR DEFERRAL
- VIII. CORRESPONDENCE
- IX. PERFORMANCE SURETIES
- X. ZBA INPUT ONLY
- XI. PUBLIC HEARINGS
- XII. OLD BUSINESS/PUBLIC HEARINGS
- XIII. DESIGN REVIEW PHASE
- XIV. CONCEPTUAL REVIEW ONLY







1. All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Amended Site Plan-of-Record.
2. Prior to the Planning Board endorsement of the Site Plan, the Development Agreement and all easement documents shall be favorably reviewed and recommended on by Town Counsel.
3. All improvements shown on the Amended Site Plan-of-Record, including Notes 1 – 25, shall be completed in their entirety and at the expense of the Applicant or his assigns.
4. After the issuance of the foundation permit for the proposed expansion structure, as shown on the Plan, and prior to the issuance of each framing permit, the applicant shall submit to the Hudson Community Development Department a foundation “As-Built” plan on a transparency and to the same scale as the approved Plan. The foundation “As-Built” plan shall include all structural dimensions and lot line setback measurements to the foundation and be stamped by a licensed land surveyor. Any discrepancy between the approved Plan and foundation “As-Built” plan shall be documented by the applicant and become part of the foundation “As-Built” submission, and in addition, shall be submitted in Electronic Form PDF.
5. Prior to the issuance of a final certificate of occupancy for the expansion, a L.L.S. certified “As-Built” Site Plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms with the Site Plan-of-Record.
6. Exterior construction activities on the site shall be limited to between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday.
7. This approval shall be subject to final engineering review, including approval of the SWPP.
8. Applicant will enhance safety at the loading area by placing bollards, or other forms of safety barriers to protect.

Motion seconded by Mr. Meinhold. All in favor – motion carried.

D. Peter DeSalvo Contracting, LLC Site Plan  
SP# 10-17

15 Central Street  
Map 182/Lot 50

Purpose of Plan: to depict the proposed improvements associated with renovating the existing building for DeSalvo Contracting, LLC, including access, parking, and stormwater management. Application Acceptance & Hearing.

Mr. Collins moved to accept the Site Plan application calling for improvements associated with renovating the existing building at 15 Central St., Map 182/Lot 50.

**WAIVER MOTIONS:**

- 1) HTC 276.11.1B(12)(c) – 100 ft. Buffer to Residential Lot

Mr. Van der Veen moved to grant the requested waiver -HTC 276.11.1B(12)(c) – 100 ft. Buffer to Residential Lot - based on the testimony of the Applicant's representative here this evening, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion seconded by Mr. Veloso. All in favor – motion carried.

- 2) HTC 275-8(C)(2) – Parking Space Total (see Note 13 of the Master Plan, Sheet 1 of 10).

Mr. Van der Veen moved to grant the requested waiver -HTC 275-8(C)(2) – Parking Space Total - based on the testimony of the Applicant's representative here this evening, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion seconded by Ms. McGrath. All in favor – motion carried.

- 3) HTC 276.11.1B(25) – Travel Way in the Side Yard Setback

Mr. Van der Veen moved to grant the requested waiver -HTC 276.11.1B(25) – Turnaround Radii - based on the testimony of the Applicant's representative here this evening, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion seconded by Ms. McGrath. All in favor – motion carried.

**MOTION TO APPROVE:**

Mr. Van der Veen moved to approve the Site Plan entitled: Non-Residential Site Plan Peter DeSalvo Contracting, LLC, 15 Central St., Map 182/Lot 50, Hudson, NH, prepared by Keach-Nordstrom Associates, Inc. dated: March 27, 2017, Last Revised June 13, 2017, consisting of a Cover Sheet and Sheets 1 – 10 and Notes 1 – 36, in accordance with the following terms and conditions:

1. All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Plan.

2. Prior to the Planning Board endorsement of the Site Plan, the Development Agreement and all easement documents shall be favorably reviewed and recommended on by Town Counsel.
3. All improvements shown on the Amended Site Plan-of-Record, including Notes 1 – 36, shall be completed in their entirety and at the expense of the Applicant or his assigns.
4. Prior to the issuance of a final certificate of occupancy for the rehabilitation of the existing building and parking area, a L.L.S. certified “As-Built” Site Plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms with the Site Plan-of-Record.
5. Exterior construction activities on the site shall be limited to between 7:00 A.M. and 7:00 P.M. Monday through Saturday. No exterior construction activities shall occur on Sunday.
6. This approval shall be subject to final engineering review, including approval of the SWPPP.
7. Add Note 37 – Install Town approved “Do Not Cut / Do Not Disturb” Conservation signs along the 50’ Wetland Buffer located at the rear of the property.
8. Conditional to NHDES approval of the Plan.

Motion seconded by Ms. McGrath. All in favor – motion carried.

- E. 75 River Road Realty Trust Amended Site Plan                      4 to 9 Site Drive  
MSP# 01-17    Map 251/Lots 10-1 to 10-14

Purpose of Plan: to amend the Site Plan, approved on February 27, 2013, to revise the restriction that prevents automotive repair facilities within building #5 to prevent auto body shop facilities only. Application Acceptance & Hearing.

Mr. Malley moved to accept the application calling for amending the Site Plan-of-Record for 75 River Rd., Map 251/Lots 10-1 to 10-14.

Motion seconded by Mr. Meinhold. All in favor – motion carried.

**MOTION TO DENY:**

Mr. Van der Veen moved to deny the request to amend the Site Plan-of-Record entitled: Master Site Plan 75 River Road, Map 251/Lot 10, 75 River Road, Hudson, NH, HCRD# 37860 for the following reason:

At a regularly scheduled meeting of the Planning Board, held on 27 FEB 2013, the board, after much discussion and deliberation determined that automotive repair, because of typical loud noises associated with such a use, would adversely impact the quality of life for the immediate residential abutters to Building #5, as shown on the above-cited Plan-of-Record.

Motion seconded by Mr. Veloso. All in favor – motion carried.

XVI. OTHER BUSINESS  
XVII. ADJOURNMENT

Motion to adjourn by Mr. Malley. Seconded by Mr. Collins. All in favor – motion carried.

Meeting adjourned at 9:50 p.m.

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William Collins  
Secretary

**Acceptance of Streets  
Moose Hill Road  
Bush Hill Road Improvements Adjacent to Moose  
Hill Road**

Staff Report  
August 16, 2017

**SITE: Bush Hill Rd & Moose Hill Rd**

**ZONING: G1**

**PURPOSE FOR THIS PETITION:** for the Planning Board to recommend to the BOS acceptance, as public streets, both Moose Hill Road and the portion of Bush Hill Road improved by the developer of Moose Hill Road. That is, in accordance with the attached written recommendation from Elvis Dhima, Town Eng., dated: June 28, 2017, together with the recommendations from the Highway Dept., Police & Fire Depts. Also attached, herewith, please find copies of the Street Acceptance Plans for both Moose Hill Rd. and said portion of Bush Hill Rd. and a copy of the letter of credit, established as the 2-year maintenance bond for both streets in the amount of \$29328.00, as recommended by Mr. Dhima in his aforementioned letter of recommendation.

**RECOMMENDATION:** Staff recommends for the Planning Board to forward a favorable recommendation to the BOS concerning the subject street acceptances, per the below DRAFT MOTIONS.

**DRAFT MOTION:**

I move to recommend to the BOS acceptance, as public streets, both Moose Hill Road and the portion of Bush Hill Road improved by the developer of Moose Hill Road, i.e., in accordance with the attached written recommendation from Elvis Dhima, Town Eng., dated: June 28, 2017, together with the recommendations from the Highway Dept., Police & Fire Depts.

NOTE: also attached to this recommendation, please find copies of the Street Acceptance Plans for both Moose Hill Rd. and said portion of Bush Hill Rd., together with a copy of the letter of credit, established as the 2-year maintenance bond for both streets, in the amount of \$29328.00, as recommended by Mr. Dhima in his aforementioned letter of recommendation.

Motion: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_.



# TOWN OF HUDSON

## Engineering Department



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-816-1291

### INTEROFFICE MEMORANDUM

TO: John Cashell, Town Planner  
Planning Department

FROM: Elvis Dhima P.E., Town Engineer

DATE: June 28, 2017

RE: Street Acceptance  
1. Bush Hill Road Improvements Adjacent to Moose Hill Road  
2. Moose Hill Road

The Planning Board currently holds an irrevocable standby letter of credit of \$173,000. The developer has provided the bond to maintenance level, of the amount 29,328.00 with a minimum two-year maintenance period that will expire 6-30-2019.

We recommend acceptance of Bush Hill Road improvements adjacent to Moose Hill Road and Moose Hill Road.

Please forward this memorandum to the Planning Board for recommendation.

We have also received positive recommendations from the Police, Fire, and Highway Departments (attached).

Once the Planning Board takes action we will forward all recommendations to the Board of Selectmen.

Thank you

Elvis Dhima P.E.  
Town Engineer

Enclosure



**TOWN OF HUDSON**  
Engineering Department



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-816-1291

INTEROFFICE MEMORANDUM

TO: Jason Lavoie, Police Chief *For: WMA*  
Robert Buxton, Fire Chief  
Kevin Burns, Road Agent

FROM: Elvis Dhima, P.E. Town Engineer

DATE: June 20, 2017

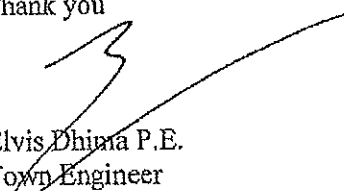
RE: Street Acceptance  
Bush Hill Road Improvements Adjacent to Moose Hill Road

I have received a street acceptance request from Keach-Nordstrom Associates, Inc., for the above referenced street.

In addition, I have attached the plans and the additional documentation.

Please review and provide recommendation in its entirety by writing your initials next to your name listed above.

Thank you

  
Elvis Dhima P.E.  
Town Engineer

Enclosure





**TOWN OF HUDSON**  
Engineering Department



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-816-1291

INTEROFFICE MEMORANDUM

TO: Jason Lavoie, Police Chief  
FOR Robert Buxton, Fire Chief *JOB*  
Kevin Burns, Road Agent

FROM: Elvis Dhima, P.E. Town Engineer

DATE: June 20, 2017

RE: Street Acceptance - Moose Hill Road

I have received a street acceptance request from Keach-Nordstrom Associates, Inc., for the above referenced street.

In addition, I have attached the plans and the additional documentation.

Please review and provide recommendation in its entirety by writing your initials next to your name listed above.

Thank you

  
Elvis Dhima P.E.  
Town Engineer

Enclosure



# Enterprise Bank

Credit No.: 24306  
Irrevocable Standby Letter of Credit  
Date and Place of Expiry:  
06/30/2019  
Enterprise Bank and Trust Company  
88 Main Street  
Nashua, NH 03060

June 26, 2017

Planning Board  
Town of Hudson  
12 School Street  
Hudson, NH 03051

Account Party  
Sousa Realty and Development Corporation  
46 Lowell Road  
Hudson, NH 03051

Beneficiary  
Town of Hudson  
Hudson, NH 03051

Amount  
\$29,328 USD

Re: Subdivision of land in Hudson, NH for land on Bush  
Hill Road known as Sky Farm Estates

Dear Planning Board:

By this document, Enterprise Bank (hereinafter "issues") hereby amends irrevocable Letter of Credit in the amount of \$29,328 to the Town of Hudson on behalf of Sousa Realty and Development Corporation (hereinafter "developer"). This irrevocable Letter of Credit is issued to guarantee completion of all improvements required by the Hudson Planning Board and the Town of Hudson Subdivision and/or Site Plan Review Regulations in conjunction with a plan entitled "Subdivision of land in Hudson, NH for Sousa Realty and Development Corporation on last revised, dated 10/7/2011 prepared by Keach Nordstrom Associates and approved by the Hudson Planning Board on 12/13/2011.

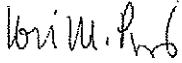
It is understood that the improvements guaranteed by this irrevocable Letter of Credit, include, but are not limited to the following: Road improvements to Moose Hill Road/Bush Hill Road as described in the Road Guarantee Estimate worksheet dated 12/26/2013.

It is agreed and understood by the issuer of this Letter of Credit that it shall be issued for a period of 24 Months. If all improvements guaranteed by this Letter of Credit are not completed by 06/30/2019 and if a certificate indicating completion of all improvements have not been issued by the Town Engineer or such other individuals as the Town of Hudson shall designate, then this Letter of Credit shall be automatically considered to have been called and without further action of the Town of Hudson or its Planning Board, Enterprise Bank shall forthwith forward a check in the amount of \$29,328 to the Treasurer of the Town of Hudson, the funds go forwarded to the Town Treasurer shall be used exclusively for the purpose of

Page 1 of 2

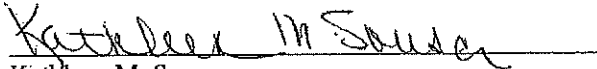
completing the improvements which are guaranteed by this Letter of Credit. Any funds not needed by the Town to complete improvements required by the subdivision and/or site plan referred to above shall be returned to Enterprise Bank.

Sincerely,



Lori M. Piper  
Senior Vice President, Commercial Lending

I have read this Letter of Credit and agree to its terms:



Kathleen M. Sousa  
President of Sousa Realty and Development Corporation







# TOWN OF HUDSON

Highway Department

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2 Constitution Drive Hudson, New Hampshire 03051 603/886-6018 Fax 603/594-1143



To: Elvis Dhima, Town Engineer

From: Kevin Burns, Road Agent *KB*

Date: June 22, 2017

Re: Street Acceptance, Bush Hill Road and Moose Hill Road

I completed a walk through inspection of Moose Hill Road and the realigned section of Bush Hill Road on today's date. I find no reason to oppose formal street acceptance by the Board of Selectmen.

Please note that I DID NOT inspect or approve the two new fire cisterns installed on Moose Hill Road. That should be referred to the Fire Chief or his designated representative for inspection and or approval.

Cc: Chief Buxton, HFD

# **BAE Systems Proposed Building Addition Conceptual Review Only**

## **STAFF REPORT**

August 16, 2017

**SITE:** 65 River Road -- Map 251/Lot 01 -- CSP# 03-17

**ZONING:** Industrial (I)

**PURPOSE OF PLAN:** to provide a 1,770 SF (30 ft. x 59 ft.) building addition with appurtenant site improvements. No new parking is proposed. **Conceptual Review Only.**

**PLAN UNDER REVIEW ENTITLED:** PRELIMINARY NOT FOR CONSTRUCTION – Master Site Plan (Lot 1, Hudson Tax Map 251) Proposed Building Addition Plan 65 River Road, Hudson, NH, prepared by HIS, Three Congress St., Nashua, NH, dated 6 JUL 2017 (no revision date) and consisting of Sheets 1 - 3 and Notes 1 – 10 on Sheet 1.

### **ATTACHMENTS:**

- 1) Conceptual Site Plan Application, date stamped July 12, 2017 – “A”.
- 2) Project Narrative letter from project mgr., Earle Blatchford, dated July 5, 2017 – “B”.

### **STAFF COMMENTS:**

The Applicant is seeking Administrative approval for the proposed 1,770 sf (30 sf X 59 sf) building addition, as described in the attached Project Narrative, and as shown on the attached Plans. This is, as opposed to requiring full Site Plan Review. Please note, as cited in the attached Project Narrative letter “B”, this requested administrative approval was utilized by BAE in 2010 for a then proposed and approved 1,500 sf addition. Again, as cited in the narrative, BAE was approved many years ago for 200,000 sf of building space that was not as yet constructed.

**REQUESTED WAIVER:** Please note, the below waiver is the only one that apply to this application.

- HTC 275-9A -- Stormwater Drainage

### **APPLICATION TRACKING:**

- This application was submitted on 7/22/17.
- Conceptual Review scheduled for 8/16/17.

### **RECOMMENDATION:**

For this Conceptual Review, staff recommends that the Planning Board vote to allow administrative approval of the subject addition; this is, as opposed to requiring full Site Plan Review. Taking into consideration the minor nature of the addition, the board may very well find,

as it did in 2010, to be a reasonable request. To this effect, a DRAFT MOTION for the stormwater runoff is provided below, as well as for Administrative Approval for this application.

**DRAFT MOTIONS:**

I move to grant the waiver HTC 275-9A -- Stormwater Drainage - based on the testimony of the Applicant's representative here this evening, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_.

I move to approve the request for Administrative Approval only for BAE Systems. Inc., located at 65 River Road, relative to constructing a single-story 1,770 sf (30 sf X 59 sf) addition, as shown on the Plan entitled: PRELIMINARY NOT FOR CONSTRUCTION – Master Site Plan (Lot 1, Hudson Tax Map 251) Proposed Building Addition Plan 65 River Road, Hudson, NH, prepared by HIS, Three Congress St., Nashua, NH, dated 6 JUL 2017 (no revision date) and consisting of Sheets 1 - 3 and Notes 1 – 10 on Sheet 1.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_.



CONCEPTUAL SITE PLAN APPLICATION  
FOR PLAN REVIEW  
TOWN OF HUDSON, NEW HAMPSHIRE



Date of Application: 5 July 2017 Tax Map # 251 Lot # 1

Name of Project: BAE Systems – Proposed Building Addition

Zoning District: I: Industrial General CSP# 03.17

(For Town Use)

ZBA Action: n/a

PROPERTY OWNER:

Name: BAE Systems

Address: P.O. Box 868

Address: Nashua, NH 03061-0868

Telephone # (603) 885-5980

Fax # (603)885-6415

Email: brian.yevick@baesystems.com

DEVELOPER:

(Same as owner)

PROJECT ENGINEER:

Name: Hayner/Swanson, Inc.

Address: 3 Congress Street

Address: Nashua, NH 03062

Telephone # (603)883-2057

Fax # (603)883-5057

Email: eblatchford@hayner-swanson.com

SURVEYOR:

(Same as engineer)

PURPOSE OF PLAN:

To provide a 1,770 SF (30 ft. x 59 ft.) building addition with appurtenant site improvements. No new parking is proposed.

CONCEPTUAL SITE PLAN DATA SHEET

PLAN NAME: BAE Systems – Proposed Building Addition

PLAN TYPE: CONCEPTUAL SITE PLAN

LEGAL DESCRIPTION: MAP 251 LOT 1

DATE: 6 July 2017

Location by Street: 65 River Road

Zoning: I: Industrial

Proposed Land Use: Office/Manufacturing

Existing Use: Office/Manufacturing

Surrounding Land Use(s): Residential/Commercial

Number of Lots Occupied: 1

Existing Area Covered by Building: 551,500 s.f.

Existing Buildings to be removed: n/a

Proposed Area Covered by Building: 553,270 s.f.

Open Space Proposed: 77%

Open Space Required: 35%

Total Area: S.F.: 8,265,800 Acres: 189.76 +/-

Area in Wetland: n/a Area Steep Slopes: n/a

Required Lot Size: 30,000 s.f.

Existing Frontage: 919 ft.

Required Frontage: 150 ft.

Building Setbacks:	Required*	Proposed
Front:	<u>50 ft.</u>	<u>2,250 ft.</u>
Side:	<u>15 ft.</u>	<u>610 ft.</u>
Rear:	<u>15 ft.</u>	<u>215 ft.</u>

**CONCEPTUAL SITE PLAN DATA SHEET**

**(Continued)**

Flood Zone Reference: See plan note #9

Width of Driveways: 24 +/- ft.

Number of Curb Cuts: 1

Proposed Parking Spaces: 1,924 (existing)

Required Parking Spaces: 923

Basis of Required Parking (Use): 1 space/ 600 s.f.

Dates/Case #/Description/Stipulations

of ZBA, Conservation Commission,

NH Wetlands Board Actions: n/a

(Attach stipulations on separate sheet)

***For Office Use***

Data Sheet Checked By: \_\_\_\_\_ Date: \_\_\_\_\_



Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors

July 5, 2017  
Job #1853-BAE

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Mr. John Cashell, Town Planner  
Town of Hudson  
Community Development Department  
12 School Street  
Hudson, NH 03051

**RE: BAE Systems – Proposed 1,770 s.f. Building Addition  
Pope Technology Park  
65 River Road (Map 251, Lot 1)  
Hudson, NH**

Dear John:

On behalf of our client, BAE Systems; and pursuant to previous discussions between Jim Petropulos of our office and yourself, we are submitting plans and Conceptual Site Plan Application for the above-referenced project. We request to be scheduled for the next available Planning Board hearing.

As previously discussed, we recognize that this addition was not shown on any previously approved plans, however the Planning Board did grant a site plan approval for a 200,000 s.f. expansion for a third office / manufacturing building for this site. In 2010, a 1,500 s.f. building addition on the south side was constructed. The Planning Board agreed to waive Site Plan review and allow that plan to be reviewed administratively. BAE is now seeking a similar 1-story building addition (30' x 59') to be used for storage.

Given the size of the parcel and the minor nature of the addition, which is only 770 s.f. over the threshold for an administrative review; and the fact that this site was permitted by the Hudson Planning Board for a much larger development, we ask that this proposal be accepted for administrative review.

Thank you for your consideration of this request. Please feel free to contact me at this office if you have any questions or comments.

Sincerely,

Earle D. Blatchford  
Senior Project Manager  
HAYNER/SWANSON, INC.



Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors

July 5, 2017  
Job #1853-BAE

Mr. John Cashell, Town Planner  
Town of Hudson  
Community Development Department  
12 School Street  
Hudson, NH 03051

**RE: BAE Systems – Proposed 1,770 s.f. Building Addition  
Pope Technology Park  
65 River Road (Map 251, Lot 1)  
Hudson, NH**

Dear John:

On behalf of our client, BAE Systems; we request the following waivers from the requirements of the following sections of the Town of Hudson Site Plan Regulations:

- |    |                |   |
|----|----------------|---|
| 1. | Section 275-9A | Stormwater Management Report            |
| 2. | Section 275-9B | Traffic Study                           |
| 3. | Section 275-9C | Noise Study                             |
| 4. | Section 275-9D | Fiscal and Environmental Impact Studies |

These waivers are requested based on the size of the parcel and the minor nature of the proposed improvements.

Thank you for your consideration of this request. Please feel free to contact me at this office if you have any questions or comments.

Sincerely,

Earle D. Blatchford  
Senior Project Manager  
HAYNER/SWANSON, INC.

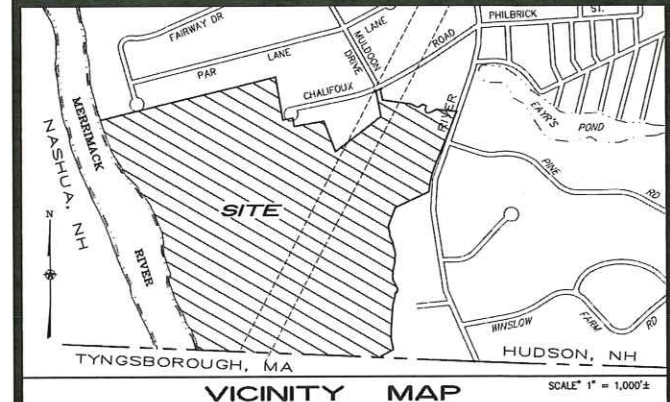




THIS PLAN DEPICTS A SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION BETWEEN SEPTEMBER 1995 AND DECEMBER 2010 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITH WHICH IT IS LOCATED. THE SURVEY WAS PERFORMED AS AN URBAN STANDARD PROPERTY SURVEY, AS DEFINED IN THE NH CODE OF ADMINISTRATIVE RULES, (CATEGORY 1, CONDITION 1, NHLSA STANDARDS) WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 15,000.

7/12/17  
DATE

LAND SURVEYOR  
No. 704  
GARYL COLLETT  
SIGNATURE



- NOTES:**
- SITE AREA:  
NEW HAMPSHIRE (LOT 1, MAP 251): 171.19 ± ACRES  
MASSACHUSETTS (LOT 50, MAP 18): 18.56 ± ACRES  
TOTAL: 189.76 ± ACRES
  - PRESENT ZONING: (HUDSON) I; INDUSTRIAL  
MINIMUM LOT REQUIREMENTS:  
AREA: 30,000 SF  
FRONTAGE: 150 FT  
MINIMUM BUILDING SETBACK REQUIREMENTS:  
FRONT YARD: 50 FT  
SIDE YARD: 15 FT  
REAR YARD: 15 FT
  - LOT NUMBERS REFER TO THE TOWN OF HUDSON ASSESSORS MAPS 245, 246, 251 & 256 AND TOWN OF TYNGSBOROUGH ASSESSORS MAP 18
  - SITE IS SERVICED BY MUNICIPAL BEWER AND WATER.
  - PURPOSE OF PLAN:  
TO SHOW PROPOSED 1,770 SF 1-STORY ADDITION
  - WAIVER REQUESTS:  
[1] HTC 275-6A STORMWATER MANAGEMENT REPORT  
[2] HTC 275-9B TRAFFIC STUDY  
[3] HTC 275-6C NOISE STUDY  
[4] HTC 275-9D FISCAL/ENVIRONMENTAL IMPACT STUDIES
  - PARKING:  
REQUIRED:  
1 SPACE/600 SF x 553,270 SF = 923 SPACES  
PROVIDED:  
EXISTING = 1,824 SPACES  
LESS STORAGE/PARKING SPACES = 48 SPACES  
LESS SALTSAND STORAGE = 1 SPACES  
TOTAL PROVIDED = 1,869 SPACES
  - OPEN SPACE:  
REQUIRED: 35%  
PROVIDED: 77%
  - THE PARCEL APPEARS TO BE LOCATED IN SPECIAL FLOOD HAZARD AREA ZONE AE, FLOODWAY AREAS IN ZONE AE, OTHER FLOOD AREAS ZONE X AND OTHER AREAS ZONE X, AS DETERMINED FROM THE FLOOD INSURANCE RATE MAPS (FIRM).  
HILLSBOROUGH COUNTY, TOWN OF HUDSON, NH, COMMUNITY No. 33092, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C0658D, DATED: SEPTEMBER 25, 2009  
MIDDLESEX COUNTY, TOWN OF TYNGSBOROUGH, COMMUNITY No. 25020, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 2501C01606E, DATED: JUNE 4, 2016.
  - PRESENT OWNER OF RECORD:  
LOT 1, HUDSON TAX MAP 251  
LOT 50, TYNGSBOROUGH TAX MAP 18  
BAE SYSTEMS INFORMATION AND ELECTRONIC SYSTEMS INTEGRATION INC.  
PO BOX 868  
NASHUA, NH 03061-0868  
HCRD VOL. 6322, PG. 302  
MNRD VOL. 15134, PG. 100

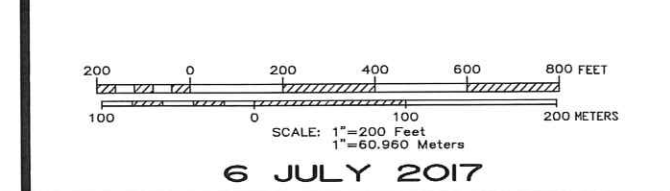


**PRELIMINARY**  
NOT FOR CONSTRUCTION

No.	DATE	REVISION	BY

**MASTER SITE PLAN**  
(LOT 1, HUDSON TAX MAP 251)  
**PROPOSED BUILDING ADDITION**  
65 RIVER ROAD  
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**BAE Systems Information And Electronic Systems Integration Inc.**  
PO BOX 868 NASHUA, NEW HAMPSHIRE 03061-0868

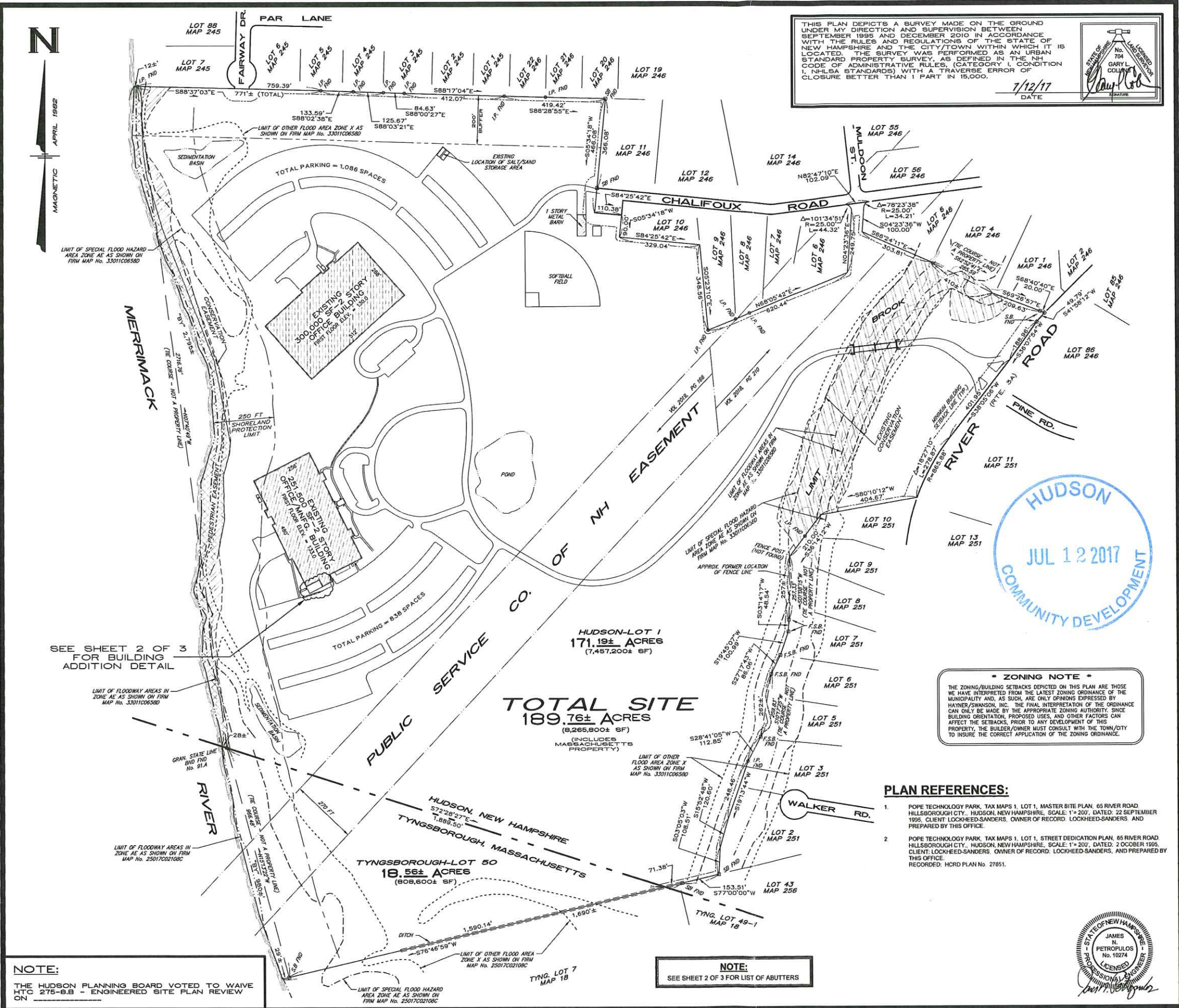


**HSI** Hayner/Swanson, Inc.  
Civil Engineers/Land Surveyors  
Three Congress Street, Nashua, New Hampshire 03062-3301  
Tel (603) 883-2057 Fax (603) 883-5057  
www.haynerswanson.com

FIELD BOOK: 1172 DRAWING NAME: 1853BAE-F071 1853-BAE 1 OF 3  
DRAWING LOCATION: R:\1853\DWG\1853-BAE File Number Sheet

**\* ZONING NOTE \***  
THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INQUIRE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

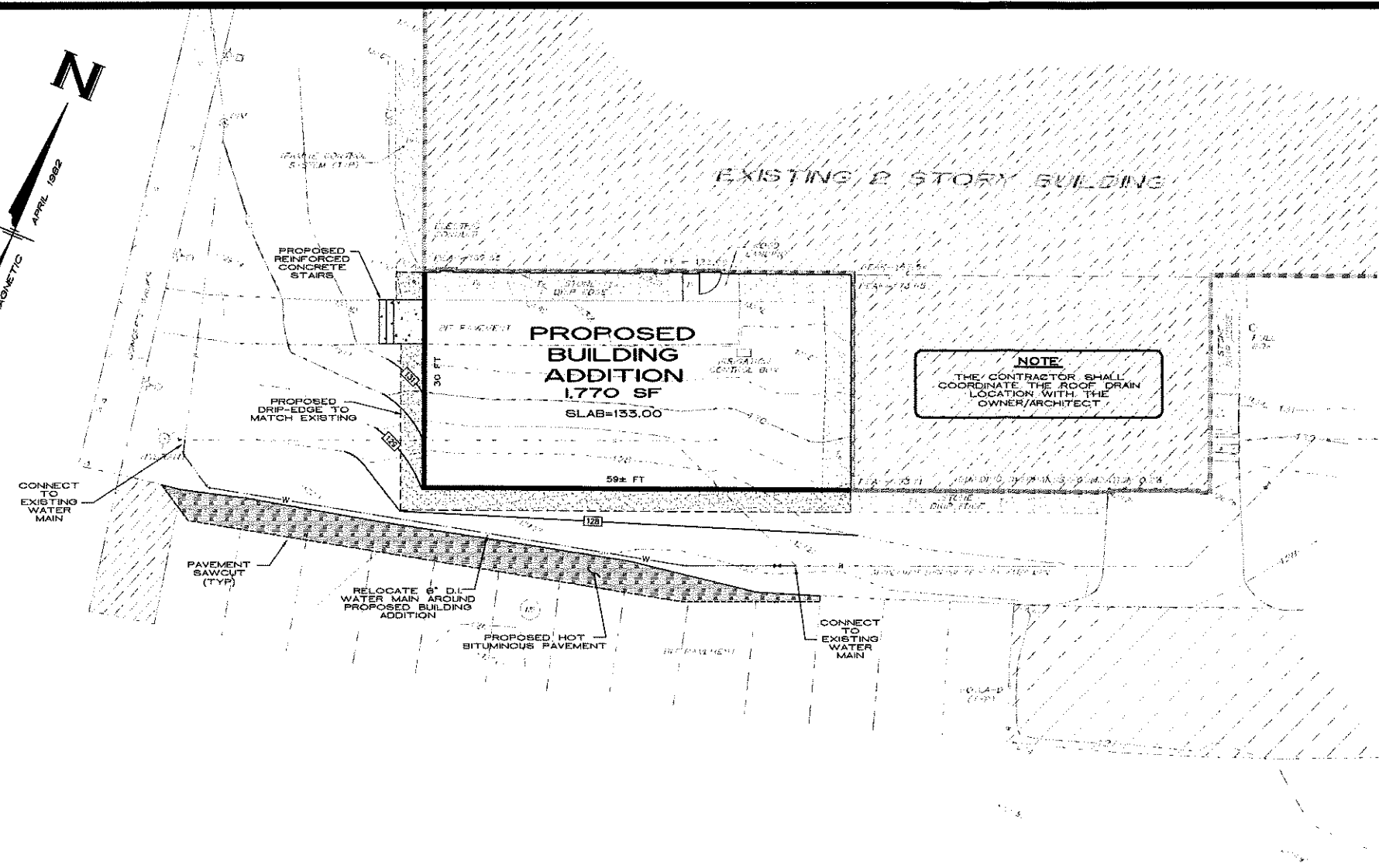
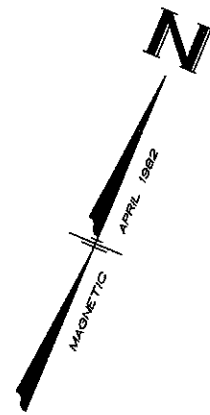
- PLAN REFERENCES:**
- POPE TECHNOLOGY PARK, TAX MAPS 1, LOT 1, MASTER SITE PLAN, 65 RIVER ROAD, HUDSON, NEW HAMPSHIRE, SCALE: 1"=200', DATED: 22 SEPTEMBER 1995, CLIENT: LOCKHEED-SANDERS, OWNER OF RECORD: LOCKHEED-SANDERS AND PREPARED BY THIS OFFICE.
  - POPE TECHNOLOGY PARK, TAX MAPS 1, LOT 1, STREET DEDICATION PLAN, 65 RIVER ROAD, HUDSON, NEW HAMPSHIRE, SCALE: 1"=200', DATED: 2 OCTOBER 1995, CLIENT: LOCKHEED-SANDERS, OWNER OF RECORD: LOCKHEED-SANDERS, AND PREPARED BY THIS OFFICE.  
RECORDED: HCRD PLAN No. 27851.



**NOTE:**  
THE HUDSON PLANNING BOARD VOTED TO WAIVE HTC 275-6B - ENGINEERED SITE PLAN REVIEW ON \_\_\_\_\_

**NOTE:**  
SEE SHEET 2 OF 3 FOR LIST OF ABUTTERS





**NOTE:**  
THE CONTRACTOR SHALL COORDINATE THE ROOF DRAIN LOCATION WITH THE OWNER/ARCHITECT.

**LEGEND**

- 100 --- EXISTING GROUND CONTOUR
- 100.5 --- EXISTING SPOT ELEVATION
- 100 --- PROPOSED GRADE
- 100.5 --- PROPOSED SPOT GRADE
- S --- STORM DRAIN & CATCH BASIN
- W --- WATER MAIN & HYDRANT
- W --- WATER MAIN & GATE VALVE
- S --- STREET LIGHT
- C --- CURBING
- P --- HANDICAP PARKING SPACE
- R --- HANDICAP SIDEWALK RAMP
- C --- PARKING SPACE COUNT
- S --- PAVEMENT SAWCUT
- R --- REINFORCED CONCRETE
- P --- PROPOSED FULL-DEPTH PAVEMENT
- T --- CONIFEROUS TREE



**UTILITY NOTE**  
THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

**ABUTTERS LIST**

- |  |   |   |  |  |  |
|--|---|---|--|--|--|
| <p><b>NEW HAMPSHIRE</b></p> <p><b>LOT 1, MAP 245</b><br/>GEORGE R. JR. &amp; MARYANN HALL<br/>18 PAR LANE<br/>HUDSON, NH 03051<br/>Bk 4987, Pg 191</p> <p><b>LOT 2, MAP 245</b><br/>NICK L. &amp; SUSAN M. ROBERTS<br/>20 PAR LANE<br/>HUDSON, NH 03051<br/>Bk 5487, Pg 1218</p> <p><b>LOT 3, MAP 245</b><br/>JOCKEY E. DORVILLE &amp; NICHOLAS A. FORLIA<br/>22 PAR LANE<br/>HUDSON, NH 03051<br/>Bk 8558, Pg 2828</p> <p><b>LOT 4, MAP 245</b><br/>RICHARD P. &amp; MARGARET LAVALLIE<br/>24 PAR LANE<br/>HUDSON, NH 03051<br/>Bk 2710, Pg 0582</p> <p><b>LOT 5, MAP 245</b><br/>JOSEPH B. &amp; BARBARA COUTARESE<br/>26 PAR LANE<br/>HUDSON, NH 03051<br/>Bk 2818, Pg 0283</p> <p><b>LOT 6, MAP 245</b><br/>BERNARD J. &amp; LORETTA S. CHONFRE<br/>28 PAR LANE<br/>HUDSON, NH 03051<br/>Bk 6927, Pg 0038</p> <p><b>LOT 7, MAP 245</b><br/>JOHN M. ROCKSTROM<br/>33 FAIRWAY DRIVE<br/>HUDSON, NH 03051<br/>Bk 2751, Pg 0454</p> <p><b>LOT 8, MAP 245</b><br/>CAMPBELL GIBSON &amp; JOAN L. ZYKOWICZ<br/>31 FAIRWAY DRIVE<br/>HUDSON, NH 03051<br/>Bk 5545, Pg 1156</p> | <p><b>LOT 1, MAP 246</b><br/>WARREN R. &amp; SUZANNE BARCLAY<br/>REVOCALE TRUST<br/>WARREN R. &amp; SUZANNE BARCLAY, TRS.<br/>24 CHALFOUR ROAD<br/>HUDSON, NH 03051<br/>Bk 8848, Pg 381</p> <p><b>LOT 2, MAP 246</b><br/>JOHN W. &amp; FREDRICK B. SULLIVAN<br/>53 RIVER ROAD<br/>HUDSON, NH 03051<br/>Bk 8074, Pg 1771</p> <p><b>LOT 4, MAP 246</b><br/>RENEE M. &amp; DANA J. PAQUETTE<br/>PO Box 81<br/>HUDSON, NH 03051<br/>Bk 7040, Pg 2225</p> <p><b>LOT 5, MAP 246</b><br/>SEAN D. McALLISTER<br/>16 CHALFOUR ROAD<br/>HUDSON, NH 03051<br/>Bk 7908, Pg 1828</p> <p><b>LOT 6, MAP 246</b><br/>LAWRENCE E. &amp; CLENNIA J. ENERY<br/>20 CHALFOUR ROAD<br/>HUDSON, NH 03051<br/>Bk 2881, Pg 0791</p> <p><b>LOT 7, MAP 246</b><br/>RICHARD &amp; BERNADETTE WICKHAM<br/>22 CHALFOUR ROAD<br/>HUDSON, NH 03051<br/>Bk 3381, Pg 0413</p> <p><b>LOT 8, MAP 246</b><br/>WARREN R. &amp; SUZANNE BARCLAY<br/>24 CHALFOUR ROAD<br/>HUDSON, NH 03051<br/>Bk 8053, Pg 1521</p> | <p><b>LOT 10, MAP 248</b><br/>ROBERT J. BRIGRE<br/>28 CHALFOUR ROAD<br/>HUDSON, NH 03051<br/>Bk 5781, Pg 0413</p> <p><b>LOT 11, MAP 248</b><br/>RICHARD A. HARKON<br/>PO Box 82<br/>LONGONDERRY, NH 03053<br/>Bk 7700, Pg 0435</p> <p><b>LOT 12, MAP 248</b><br/>JAMES M. &amp; MARY ANN WALL<br/>25 CHALFOUR ROAD<br/>HUDSON, NH 03051<br/>Bk 5457, Pg 0961</p> <p><b>LOT 14, MAP 246</b><br/>CHALFOUR ROAD REALTY TRUST<br/>DANA W. MCCOY TR.<br/>21 CHALFOUR ROAD<br/>HUDSON, NH 03051<br/>Bk 7281, Pg 1984</p> <p><b>LOT 19, MAP 246</b><br/>SETH &amp; CYNTHIA L. DICHAARD<br/>10 PAR LANE<br/>HUDSON, NH 03051<br/>Bk 5818, Pg 0594</p> <p><b>LOT 20, MAP 246</b><br/>SETH &amp; CYNTHIA L. DICHAARD<br/>14 PAR LANE<br/>HUDSON, NH 03051<br/>Bk 8137, Pg 1812</p> <p><b>LOT 21, MAP 246</b><br/>JAMES M. GRADY<br/>14 PAR LANE<br/>HUDSON, NH 03051<br/>Bk 5821, Pg 1624</p> <p><b>LOT 22, MAP 246</b><br/>JOHN F. LESER<br/>18 PAR LANE<br/>HUDSON, NH 03051<br/>Bk 8333, Pg 2786</p> | <p><b>LOT 55, MAP 248</b><br/>THOMAS JAMES &amp; RANDY S. NORMANDIN<br/>3 MULLOON STREET<br/>HUDSON, NH 03051<br/>Bk 7883, Pg 0114</p> <p><b>LOT 89, MAP 248</b><br/>DAIRY &amp; SHASHI ANJANA<br/>1 MULLOON STREET<br/>HUDSON, NH 03051<br/>Bk 3103, Pg 0404</p> <p><b>LOT 85, MAP 248</b><br/>DAVID M. &amp; CAROL A. LUCIERO, TRS.<br/>3 CHALFOUR ROAD<br/>HUDSON, NH 03051<br/>Bk 7709, Pg 0328</p> <p><b>LOT 86, MAP 246</b><br/>DLM PROPERTIES, LLC<br/>22 ABBOTT STREET<br/>HUDSON, NH 03051<br/>Bk 7532, Pg 1014</p> <p><b>LOT 2, MAP 251</b><br/>TAYMAR REALTY, LLC<br/>440 MIDDLESEX ROAD, STE. 19<br/>TYNDSBOROUGH, MA 01878<br/>Bk 7190, Pg 0218</p> <p><b>LOT 3, MAP 251</b><br/>MURIEL RICHARD<br/>3 WALKER ROAD<br/>HUDSON, NH 03051<br/>Bk 8057, Pg 0031</p> <p><b>LOT 5, MAP 251</b><br/>AJIT PATEL<br/>8 NOTTINGHAM RD.<br/>TYNDSBOROUGH, MA 01878<br/>Bk 8724, Pg 1002</p> <p><b>LOT 6, MAP 251</b><br/>STATELINE REALTY TRUST<br/>AJIT PATEL &amp; JAGRUTI PATEL, TRS.<br/>83 RIVER ROAD<br/>HUDSON, NH 03051<br/>Bk 7116, Pg 0124</p> | <p><b>LOT 7, MAP 251</b><br/>MARILYN E. MACGRATH<br/>81 RIVER ROAD<br/>HUDSON, NH 03051<br/>Bk 5654, Pg 0698</p> <p><b>LOT 8, MAP 251</b><br/>KIMWEL L. MACGRATH<br/>20 BALDWIN ROAD<br/>MILFORD, NH 03055<br/>Bk 7202, Pg 0478</p> <p><b>LOT 9, MAP 251</b><br/>GARY &amp; THERESA MACGRATH<br/>77 RIVER ROAD<br/>HUDSON, NH 03051<br/>Bk 3253, Pg 0128</p> <p><b>LOT 10, MAP 251</b><br/>BEVERLY A. LANORY<br/>75 RIVER ROAD<br/>HUDSON, NH 03051<br/>Bk 3530, Pg 0256</p> <p><b>LOT 11, MAP 251</b><br/>DORIS E. DUCHARME TRUST<br/>DORIS E. DUCHARME, TR.<br/>70 RIVER ROAD<br/>HUDSON, NH 03051<br/>Bk 5455, Pg 1708</p> <p><b>LOT 13, MAP 251</b><br/>ADVANTAGE SELF STORAGE LLC<br/>84 RIVER ROAD<br/>HUDSON, NH 03051<br/>Bk 8228, Pg 1078</p> <p><b>LOT 3, MAP 256</b><br/>MICHAEL J. &amp; MELISSA J. CASEY<br/>878 RIVER ROAD<br/>HUDSON, NH 03051<br/>Bk 8082, Pg 2531</p> | <p><b>MASSACHUSETTS</b></p> <p><b>LOT 7, MAP 18</b><br/>DRACUT WATER SUPPLY DISTRICT<br/>59 HOPKINS STREET<br/>DRACUT, MA 01928<br/>Bk 1226, Pg 0381</p> <p><b>LOT 49-1, MAP 18</b><br/>TRUDY J. &amp; JOHNNA B. PORTER<br/>33 WINDSOR FARM ROAD<br/>HUDSON, NH 03051<br/>Bk 18131, Pg 098</p> |
|--|---|---|--|--|--|

**NOTE:**  
THE HUDSON PLANNING BOARD VOTED TO WAIVE HTC 278-B.8 - ENGINEERED SITE PLAN REVIEW ON \_\_\_\_\_

**PRELIMINARY**  
NOT FOR CONSTRUCTION

No.	DATE	REVISION	BY

**SITE PLAN**  
(LOT 1, HUDSON TAX MAP 251)

## PROPOSED BUILDING ADDITION

### 65 RIVER ROAD HUDSON, NEW HAMPSHIRE

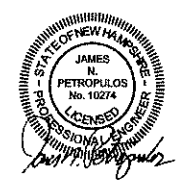
PREPARED FOR/RECORD OWNER:  
**DAE Systems Information And Electronic Systems Integration Inc.**  
PO BOX 868 NASHUA, NEW HAMPSHIRE 03061-0868

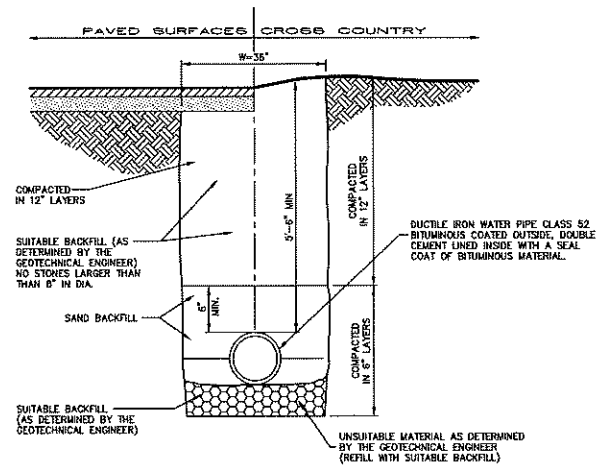
SCALE: 1"=10 Feet  
1"=3.048 Meters

**6 JULY 2017**

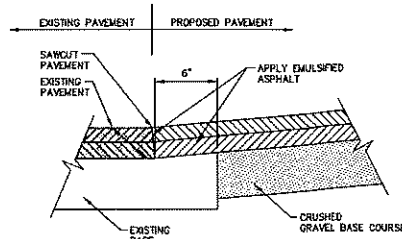
**HSI Hayner/Swanson, Inc.**  
Civil Engineers/Land Surveyors  
Three Congress Street Nashua, New Hampshire 03062-3301  
Tel (603) 883-2057 Fax (603) 883-5057  
www.haynerswanson.com

FIELD BOOK: 1172	DRAWING NAME: 1853BAE-F011	1853-BAE	2 OF 3
DRAWING LOCATION: R:\1853\DWG\1853-BAE		File Number	Sheet

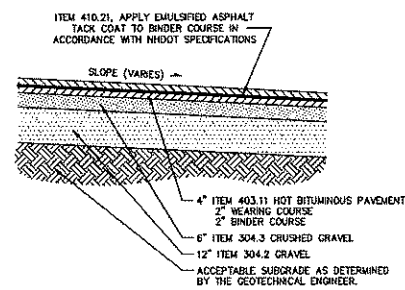




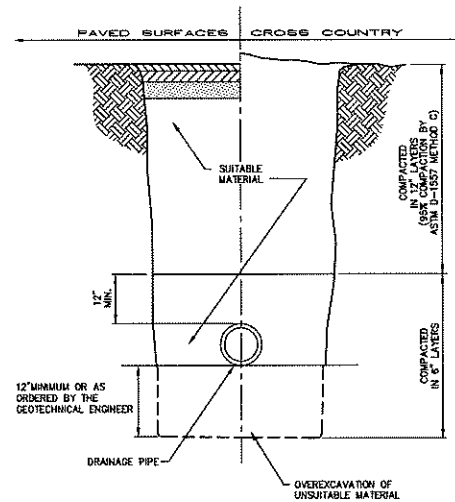
**TYPICAL WATER TRENCH SECTION**  
NOT TO SCALE



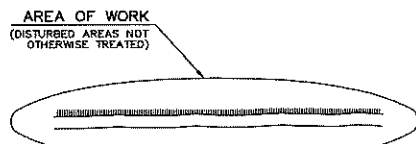
**SAWCUT PAVEMENT DETAIL**  
NOT TO SCALE



**TYPICAL PAVEMENT SECTION**  
NOT TO SCALE



**TYPICAL DRAINAGE TRENCH SECTION**  
NOT TO SCALE



NHDOT ITEM 641.06 6" LOAM LIMESTONE  
642 FERTILIZER  
643.11 SLOPE SEED TYPE 44  
644.44 PARK SEED TYPE 15  
645.15 MULCH

APPLICATION RATES  
SEED: 60 LB./ACRE  
FERTILIZER: 20 LB./1000 S.F. (10-10-10)  
LIMESTONE: (PER NHDOT)  
MULCH: 3 TONS/ACRE

**LOAM AND SEED DETAIL**  
NOT TO SCALE

**CONSTRUCTION NOTES:**

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, NH AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, LATEST VERSION, ARE HEREBY INCORPORATED BY REFERENCE.
2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF HUDSON, NH. TYPES OF DRAINAGE PIPES ARE SPECIFIED ON THE DRAWING.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-800-225-4977 AT LEAST 72 HOURS BEFORE DIGGING.
4. ALL WATER LINE, VALVES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH PENNICHUCK WATER WORKS SPECIFICATIONS.

**PRELIMINARY**  
NOT FOR CONSTRUCTION

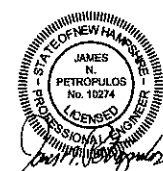
DETAIL SHEET - GENERAL SITE  
(LOT 1, HUDSON TAX MAP 251)  
**PROPOSED BUILDING ADDITION**  
65 RIVER ROAD  
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:  
**BAE Systems Information And Electronic Systems Integration Inc.**  
PO BOX 868 NASHUA, NEW HAMPSHIRE 03061-0868

6 JULY 2017

**HSI** Hayner/Swanson, Inc.  
Civil Engineers/Land Surveyors

Three Congress Street Nashua, New Hampshire 03062-3301  
Tel (603) 883-2057 Fax (603) 883-5057  
www.hayner-swanson.com



**NOTE:**  
THE HUDSON PLANNING BOARD VOTED TO WAIVE  
HTC 276-B.B - ENGINEERED SITE PLAN REVIEW  
ON



# American Tower Corporation Site Plan & Conditional Use Permit

Staff Report  
16 August 2017

**SITE:** 143 Dracut Road - Map 259/Lot 11 - SP# 07-17 & CU# 01-17

**ZONING:** R2 & G1

**PURPOSE OF PLAN:** to propose a 155' monopole-design communications tower with antennas, associated 100' x 100' fenced gravel compound with shelter, landscaping, driveway extension, and underground utilities. Application Acceptance & Hearing for both Site Plan and Conditional Use Permits.

**PLAN UNDER REVIEW ENTITLED:** American Tower, Hudson, NH, Site #: 202096, 143 Dracut Rd., Hudson, NH, prepared by: Patrick P. Barry, NH LPE, dated: 11 JUL 2107, last revised 10 JUL 17, consisting of Sheets 1 – 11 (namely: G-001, V-101, V-102, C-101, C-401 – 404, C-501 - 503, and Project Notes 1 – 5, shown on Sheet G-001 (said plans attached hereto).

**ATTACHMENTS:**

- 1) Site Plan Application Form, date stamped 5/8/09, which includes project description, facsimile photos of transmission building and aerial photos of site and abutting properties – Attachment “A”.
- 2) CLD Comments Review letter from CLD, dated 5/18/09 – Attachment “B”.
- 3) American Tower Response Letter, dated 3 AUG 17, which addresses all outstanding issues provided in CLD’s Comments Report – “C”.
- 4) Recommendations from the Fire Dept., Police Dept., Road Agent, Asst. Assessor and Zoning Admin. – Attachment “D”.

**REQUESTED WAIVERS:** N/A

**STAFF COMMENTS/ ISSUES:**

- 1) In accordance with § 334-96.2 of the Zoning Ordinance (cite below), this application is being reviewed concurrently with the Conditional Use Permit application. The staff report for the Conditional Use Permit application is included in this packet, and includes all attachments and DRAFT MOTIONS, relative to recommended Planning Board action.

## **§ 334-96.2 Conditional Use Permit Required**

Pursuant to NH RSA 674:21(II), the Hudson Planning Board is hereby authorized to issue a conditional use permit for Commercial Wireless Telecommunication Facilities according to the Table of Conditionally Permitted Facilities as set forth in §334-96.1. Application for a conditional use permit shall be made concurrently with application for subdivision and/or site plan approval. In addition to the application submission requirements for subdivision and/or site plan approval, the Planning Board may require the applicant for a conditional use permit to submit an RF Engineering/Facilities Master Plan as provided in §334-95 (E). In acting upon any such conditional use permit application the Planning Board shall determine whether the applicant has satisfied the general guidelines set forth in

§334-92 and the Siting Standards set forth in §334-95, and the Board may impose such conditions of approval on the conditional use permit as are consistent with this Article XVIII and other provisions of the Hudson Zoning Ordinance. The Planning Board shall hold at least one public hearing on any such conditional use application and following the public hearing, the Planning Board shall act to approve the application, deny it, or approve it with conditions. Any person aggrieved by a Planning Board decision concerning a conditional use permit may appeal that decision to the Superior Court in the manner provided by RSA 677:15, Court Review. As provided in NH RSA 676:5, III, a Planning Board decision concerning a conditional use permit cannot be appealed to the Hudson Zoning Board of Adjustment.

- 2) In regard to waivers not being required for this tower, please take into consideration the following: perhaps, upwards of 99% of the time wireless communications facilities do not create the need for a standard parking and the applicant has instead provided for maintenance vehicle parking. The protective fencing around the tower and ground unit structure is configured to accommodate maintenance of the facility.
- 3) The fall zone for this 155' monopole meets all side, rear and front setback requirements, as well as all fall zone setbacks.
- 4) Based on the Impact Fee Methodology adopted by the Planning Board, a CAP Fee is not required for an unmanned utility.

**RECOMMENDATION:** For this hearing, staff recommends application acceptance, conduct the public hearing and approval of the Site Plan and Conditional Use Permits, i.e., in accordance with the below-cited DRAFT motions.

**APPLICATION TRACKING:**

- 25 APR 17 - Application submitted and amendments to this submission resulted in completion of the submission on 12 JUL 17
- 16 AUG 17 - Public hearing scheduled.

**DRAFT MOTIONS:**

I move to accept the Site Plan and Conditional Use Permit applications for the American Tower proposed 155' monopole telecommunications tower at 143 Dracut Road, Map 259/Lot 011.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_.

I move to approve the Site Plan and Conditional Use Plan entitled: American Tower, Hudson, NH, Site #: 202096, 143 Dracut Rd., Hudson, NH, prepared by: Patrick P. Barry, NH LPE, dated: 11 JUL 2107, last revised 10 JUL 17, consisting of Sheets 1 – 11 (namely: G-001, V-101, V-102, C-101, C-401 – 404, C-501 - 503, and Project Notes 1 – 5, shown on Sheet G-001, in accordance with the following terms and conditions:

- 1) All stipulations of approval for this concurrent Site Plan and Conditional Use Permit shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the above-cited Plan-of-Record (hereinafter referred to as the Plan).
- 2) All improvements shown on the Plan, including Notes, 1- 5 shown on Sheet G-001, shall be completed in their entirety and at the expense of the Applicant or his assigns.
- 3) Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms with the Plan.

- 4) Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 5:00 P.M., Monday through Saturday.
- 5) Prior to Planning Board endorsement of the plan, it shall be subject to final engineering review.
- 6) The applicant shall schedule a pre-construction meeting with the Town Engineer prior to applying for a building permit.
- 7) All terms and conditions of approval previously approved by the Planning Board for 143 Dracut Road, Map 259/Lot 011 shall remain in effect with the approval of this Plan.

**Motion by:** \_\_\_\_\_ **Second:** \_\_\_\_\_ **Carried/Failed:** \_\_\_\_\_.

"A"



**DRM** | Downs  
Rachlin  
Martin PLLC  
Business Sense • Legal Ingenuity

August 3, 2017

Elizabeth Kohler  
Tel: (802) 846-8382  
Fax: (802) 862-7512  
ekohler@drm.com

*Via Federal Express and Email/ShareFile*

Town of Hudson Planning Board  
c/o Community Development Department  
Attn: Brooke Dubowik  
12 School Street  
Hudson, New Hampshire 03051

Re: American Tower Corp. / T-Mobile Personal Wireless Telecommunications Facility  
143 Dracut Road, Hudson, New Hampshire, Parcel No. 259-011  
First Supplement to Concurrent Site Plan and Conditional Use Applications

Dear Board Members and Town Staff:

This First Supplement is intended to update various Application materials to reflect the shift in the Compound and Tower site by approximately 160 feet to the southeast of the original location, all in order to avoid wetland impacts and address comments made by CLD Consulting Engineers ("CLD") on the Revised Site Plan. Five (5) full-sized copies and seventeen (17) 11" x17" copies of the further revised Site Plan drawings will arrive under separate cover.

Background. On March 31, 2017, American Tower Corporation, LLC and T-Mobile Northeast, LLC ("Applicants") submitted to the Town of Hudson Planning Board (the "Board") its Concurrent Site Plan and Conditional Use Applications for a wireless service facility at 143 Dracut Road, Parcel No. 259-011 (the "Project"). Wetlands were discovered in the area of the proposed Project during Applicants' environmental due diligence of the subject property. In order to avoid impacts to the wetlands and wetland buffers, Applicants shifted the location of the Project southeast by approximately 160'. The shift placed the Project closer to the southern property line, and Applicants have responded by reducing the height of the Tower from 175' above ground level (AGL) to 155' AGL in order to meet the required setbacks.

Updated Application Materials. Enclosed are the following updated materials that reflect the changes to the Project.

Exhibit A: Revised Site Plan;

Exhibit B: Revised Propagation Maps;

Exhibit C: Revised RF Engineering/Facilities Master Plan; and

Exhibit M: Revised Environmental Site Screening Findings;

Additional Application Materials. Also enclosed is a new Exhibit S that is a set of photographic simulations of the Project based on the balloon test completed on July 26, 2017. The balloon test was performed by Advanced Engineering Group, P.C. (“AEG”) with the bottom of the balloon flown at a height of 155’ aboveground level (i.e., the top height of the proposed monopole) in order to render the photographic simulations from public areas of Town. The results of the balloon test confirmed that the Project will have very little visual impact beyond the Property and several immediately proximate locations. The Project will be visible from three locations: One near the intersections of Dracut Road and Sherburne Road, one northeast of the Project on Dracut Road, and a third location at the intersection of Norris Road and Buckhill Road (See Photo Locations 1, 2 and 3). We’ve included a number of other photographs from various public locations around the Project to demonstrate that the Project will not be visible from these locations, including a confirmatory photograph from Tysborough Middle School.

In response to CLD’s July 25, 2017 comments, Applicants are also furnishing the following additional documentation:

1. In response to CDL comment 9.a. Other, the American Tower Master Specification, Standard Specifications for Tower Sites, attached as Exhibit T;
2. In response to CDL comment 4.c. Drainage Design/Stormwater Management, a Hydrology Report, dated August 3, 2017, attached as Exhibit U; and
3. In response to CLD comment 6.e. Zoning, an advanced Surface Features Investigation, dated May 12, 2017, attached as Exhibit V.

Applicants’ updated response letter to CLD’s comments is also enclosed with this submission.

We thank you and the Board for your careful review of these materials, and for the opportunity to expand upon these supplemental materials at the next scheduled hearing.

Sincerely,



Elizabeth Kohler

cc: Mike Almada and Mike Johnson, TRM Communications (via email)  
Ed Lutz, Sr. Project Manager, American Tower Corporation, LLC (via email)  
Mark Cook, Centerline Communications, LLC (obo T-Mobile) (via email)

17659297.1

"A"  
Cont.

**PRELIMINARY & FINAL SITE PLAN APPLICATION  
FOR PLAN REVIEW (Also for Wireless)  
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: March 31, 2017 Tax Map # 259-0003 Lot # 011-0006  
Name of Project: ATC - Wireless Telecommunications Facility - Dracut Road  
Zoning District: R-2 and G-1 General SP# 0717  
(For Town Use) (For Town Use)  
ZBA Action: See attached Zoning Determination, Exhibit P

**PROPERTY OWNER:**  
Name: Tom and Rosa Chan  
Joshua M. and Kristine C. Willett  
Address: 143 Dracut Road  
Address: Hudson, NH 03051  
Telephone # 603-759-5017  
Fax # \_\_\_\_\_  
Email: \_\_\_\_\_

**DEVELOPER:**  
Name: American Tower Corporation  
Address: c/o Downs Rachlin Martin PLLC, Elizabeth Kohler, Esq.  
Address: PO Box 190, Burlington, VT 05402-0190  
Telephone # 802-846-8382  
Fax # \_\_\_\_\_  
Email: ekohler@drm.com

**PROJECT ENGINEER**  
Name: A. T. Engineering, PLLC  
Address: 3500 Regency Parkway, Suite 100  
Address: Cary, NC 27518  
Telephone # 919-466-5028  
Fax # \_\_\_\_\_  
Email: \_\_\_\_\_

**SURVEYOR**  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**PURPOSE OF PLAN:**  
Proposed 175' communications tower with antennas, associated 100' x 100' fenced gravel compound with shelter, landscaping, driveway extension, and underground utilities.

*For Town Use*

Plan Routing Date: 4-20-17 Sub/Site Date: 5-17-17

I have no comments  I have comments (attach to form)

\_\_\_\_\_  
(Initials) Title: \_\_\_\_\_ Date: \_\_\_\_\_

DEPT: \_\_\_\_\_ Zoning \_\_\_\_\_ Engineering \_\_\_\_\_ Assessor \_\_\_\_\_ Police \_\_\_\_\_ Fire \_\_\_\_\_ Planning \_\_\_\_\_  
\_\_\_\_\_ Consultant \_\_\_\_\_ Highway Department \_\_\_\_\_

Fees Paid: \$ 330.00

**SITE DATA SHEET**

PLAN NAME: ATC - Wireless Telecommunications Facility - Dracut Road

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 0003 LOT 0006

DATE: March 10, 2017

Location by Street 143 Dracut Road

Zoning: R-2 and G-1

Proposed Land Use: Telecommunications Facility

Existing Use: Residential

Surrounding Land Use(s): residential, light office

Number of Lots Occupied: 1

Existing Area Covered by Building: 4162 SF

Existing Buildings to be removed: none

Proposed Area Covered by Building: n/a

Open Space Proposed: n/a

Open Space Required: n/a

Total Area: S.F.: 10,000 Acres:

Area in Wetland: n/a Area Steep Slopes: n/a

Required Lot Size: 100' x 100'

Existing Frontage: No change

Required Frontage: n/a

Building Setbacks:	<u>Required*</u>	<u>Proposed</u>
Front:	<u>30'</u>	<u>323'</u>
Side:	<u>15'</u>	<u>243'</u>
Rear:	<u>15'</u>	<u>260'</u>





**APPLICATION FOR SITE PLAN REVIEW  
TOWN OF HUDSON, NEW HAMPSHIRE**

Thirty (30) days prior to Planning Board Meeting, a complete site plan to include all supporting materials/documents must be submitted in final form. The site plan shall comply with the following specifications/requirements:

Applicant Initials		Staff Initials
<u>  x  </u>	a) Submission of nine (9) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M., Tuesday the week prior to the scheduled public hearing/conceptual review date.	_____
<u>  x  </u>	b) A Site Plan narrative, describing the purpose, locations, long-range plans, impacts on traffic, schools, and utilities	_____
<u>  x  </u>	c) Plan scale at not less the one inch equals fifty feet (1" = 50')	_____
<u>  x  </u>	d) Locus plan with 1,000' minimum radius of site to surrounding area	_____
<u>  x  </u>	e) Plan date by day/month/year	_____
<u>  x  </u>	f) Revision block inscribed on the plan	_____
<u>  x  </u>	g) Planning Board approval block inscribed on the plan	_____
<u>  x  </u>	h) Title of project inscribed on the plan	_____
<u>  x  </u>	i) Names and addresses of property owners and their signatures inscribed on the plan	_____
<u>  x  </u>	j) North point inscribed on the plan	_____
<u>  x  </u>	k) Property lines: exact locations and dimensions	_____
<u>  x  </u>	l) Square feet and acreage of site	_____
<u>  x  </u>	m) Square feet of each building (existing and proposed)	_____
<u>  x  </u>	n) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan.	_____

Applicant  
Initials

Staff  
Initials

- |                    |  |       |
|--------------------|--|-------|
| <u>  x  </u> o)    | Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve areas, floodways/floodplains, driveways, travel areas, parking areas and natural features within 200 feet of the tract  | _____ |
| <u>  x  </u> p)    | Locations of existing and proposed permanent monuments and bench marks within 200 feet of the development tract  | _____ |
| <u>  x  </u> q)    | Pertinent highway projects   | _____ |
| <u>  x  </u> r)    | Assessor's Map and Lot number(s)   | _____ |
| <u>  x  </u> s)    | Waiver application form shall be submitted with the site plan application, note on plan listing waivers requested/granted; and all waivers granted to the site plan regulations shall be listed on the final plan; waivers to checklist shall be reduced to writing and be signed by the Planning Board Chairman and Planning Board Secretary and recorded with the plan | _____ |
| <u>  x  </u> t)    | Delineate zoning district on the plan  | _____ |
| <u>  x  </u> u)    | Storm water drainage plan  | _____ |
| <u>  x  </u> v)    | Topographical elevations at 2-foot intervals contours: existing and proposed   | _____ |
| <u>  x  </u> w)    | Utilities: existing and proposed   | _____ |
| <u>  x  </u> x)    | Parking: existing and proposed   | _____ |
| <u>  x  </u> y)    | Parking space: length and width  | _____ |
| <u>  x  </u> z)    | Aisle width/maneuvering space  | _____ |
| <u>  x  </u> aa)   | Landscaping: existing and proposed   | _____ |
| <u>  x  </u> ab)   | Building and wetland setback lines   | _____ |
| <u>  x  </u> ac)   | Curb cuts  | _____ |
| <u>  x  </u> ad)   | Rights of way: existing and proposed   | _____ |
| <u>  n/a  </u> ae) | Sidewalks: existing and proposed   | _____ |
| <u>  x  </u> af)   | Exterior lighting plan   | _____ |
| <u>  x  </u> ag)   | Sign locations: size and design  | _____ |
| <u>  n/a  </u> ah) | Water mains and sewerage lines   | _____ |
| <u>  n/a  </u> ai) | Location of dumpsters on concrete pads   | _____ |
| <u>  x  </u> aj)   | All notes from plats   | _____ |

Applicant  
Initials

Staff  
Initials

<u>  x  </u> ak)	Buffer as required by site plan regulations	_____
<u>  x  </u> al)	Green and open space requirements met with both types of spaces inscribed on the plan	_____
<u>  x  </u> am)	Soil types and boundaries, Note: If site contains marginal or questionable soils, a High Intensity Soil, Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire Certified Soil Scientist, who shall affix his/her stamp and signature shall be inscribed on the plan.	_____
<u>  x  </u> an)	Wetlands (and poorly-drained and very poorly-drained soils, also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire certified wetland or soil scientist, who shall affix his/her stamp and signature to the respective plan.	_____
<u>  x  </u> ao)	“Valid for one year after approval” statement inscribed on the plan.	_____
<u>  n/a  </u> ap)	Loading bays/docks	_____
<u>  x  </u> aq)	State of New Hampshire engineer’s stamp, signature, surveyor’s stamp, and signature	_____
<u>  x  </u> ar)	Error of closure (1 in 10,000 or better)	_____
<u>  x  </u> as)	Drafting errors/omissions	_____
<u>  x  </u> at)	Developer names, addresses, telephone numbers and signatures	_____
<u>  x  </u> au)	Photographs, electronic/digital display or video of site and area	_____
<u>  x  </u> av)	Attach one (1) copy of the building elevations	_____
<u>  n/a  </u> aw)	Fiscal impact study	_____
<u>  n/a  </u> ax)	Traffic study	_____
<u>  n/a  </u> ay)	Noise study	_____

Applicant  
Initials

Staff  
Initials

- x   az) Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents \_\_\_\_\_
- x   ba) Copy of applicable Town, State, Federal approval/permits to include but not limited to the following: \_\_\_\_\_
- industrial discharge application
  - sewer application
  - flood plain permit
  - wetlands special exception
  - variance
  - erosion control permit (149:8a)
  - septic construction approval
  - dredge and fill permit
  - curb cut permit
  - shore-land protection certification in accordance with RSA483-B
  - if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.
- n/a   bb) Presentation plan (colored, with color-coded bar chart) \_\_\_\_\_
- x   bc) Fees paid to clerk \_\_\_\_\_
- x   bd) Five (5) 22" x 34" copies of the plan shall be brought to the Planning Board meeting and distributed to the Planning Board members at the meeting. Note: for all subsequent meetings involving revised plans, five 22" x 34" copies of said plan shall be brought to the meeting for distribution to the board members. \_\_\_\_\_

\*Under the purview of the Planning Board, any and all items may be waived.

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**APPLICATION FOR SITE PLAN REVIEW  
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Site Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Site Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: See enclosed permit authorization letter dated December 21, 2016.

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: \_\_\_\_\_

**Edward A Lutz**

Ed Lutz, Project Manager

Digitally signed by Edward A Lutz  
DN: cn=Edward A Lutz, o, ou,  
email=ed.lutz@americantower.com, c=US  
Date: 2017.03.29 16:12:23 -04'00'

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

APPLICATION IS DUE AT NOON 21 days prior to the Planning Board Meeting. (The date the Agenda is CLOSED.) Any applications received after that time will be deferred until the next available meeting.

**APPLICATION FOR SITE PLAN REVIEW  
TOWN OF HUDSON, NEW HAMPSHIRE**

**FOOTNOTES:**

1. In the event of the denial of a plan, the recording fees collected will not be reimbursed, but will instead be used as an additional fee to help defray administrative costs associated with a denial.
2. The "Review Fees" are fees estimated necessary to offset costs incurred to review and/or compile plans, data, or other information relative to the proposal.
3. The "Amount Due" does not include fees for studies or reviews as authorized in Section G-2 of this regulation.
4. Fees must be paid in full prior to the commencement of any formal review by the Town of Hudson.

**STATUS:**

**DATE:**

_____ 1,	Application incomplete	_____
✓ 2.	Application complete. Include any applicable requested waivers, fees paid, routing sheet returned	7.12.17
_____ 3.	Application formally accepted or denied by Planning Board (90-day review clock by RSA 674:43 to start upon acceptance granted)	_____
_____ 4.	Final approval granted or denied	_____
_____ 5.	Comments:	
	_____	
	_____	
	_____	
	_____	
	_____	
	_____	

**CONDITIONAL USE PERMIT APPLICATION  
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: 3/31/2017 Tax Map # 259 Lot # 011  
~~0003~~ ~~0000~~  
Name of Project: ATC - Wireless Telecommunications Facility - Dracut Road  
Zoning District: R-2 and G-1 General CU# 01-17  
(For Town Use) (For Town Use)  
ZBA Action: See Zoning Determination Letter, Exhibit P

<u>PROPERTY OWNER:</u>	<u>DEVELOPER:</u>
Name: <u>Tom and Rosa Chan</u> <u>Joshua and Kristine Willett</u>	<u>American Tower Corporation</u>
Address: <u>143 Dracut Road</u>	<u>c/o Downs Rachlin Martin PLLC, Elizabeth Kohler, Esq.</u>
Address: <u>Hudson, NH 03051</u>	<u>Po Box 190, Burlington, VT 05402-0190</u>
Telephone # <u>603-759-5017</u>	<u>802-846-8382</u>
Fax # _____	_____
Email: _____	<u>ekohler@drm.com</u>

<u>PROJECT ENGINEER</u>	<u>SURVEYOR</u>
Name: <u>A. T. Engineering, PLLC</u>	_____
Address: <u>3500 Regency Parkway, Suite 100</u>	_____
Address: <u>Cary, NH 27518</u>	_____
Telephone # <u>919-466-5028</u>	_____
Fax # _____	_____
Email: <u>kyle.faust@americantower.com</u>	_____

**PURPOSE OF PLAN:**

Proposed 175' communications tower with antennas, associated 100' x 100' fenced gravel compound with shelter, landscaping, driveway extension and underground utilities.

<b>(FOR TOWN USE)</b>	
Plan Routing Date: <u>4-20-17</u>	Conditional Permit Date: <u>5-17-17</u>
_____ I have no comments _____ I have comments (attach to form)	
_____ Title: _____ Date: _____	
(Initials)	
<b><u>Department Review:</u></b>	
_____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning	
_____ Highway Dept. _____ Consultant	
Fees Paid <u>\$1508.01</u>	

**APPLICATION FOR CONDITIONAL USE PERMIT  
TOWN OF HUDSON, NEW HAMPSHIRE**

Thirty (30) days prior to Planning Board Meeting, a complete Conditional Use Permit application to include all supporting materials and documents and must be submitted in final form. The Conditional Use Permit application shall comply with the following specifications/requirements:

Applicant Initials		Staff Initials
<u>  x  </u>	a) A site plan application shall be submitted concurrently with the Conditional Use Permit application.	_____
<u>  x  </u>	b) A conditional use narrative, describing the project.	_____
<u>  x  </u>	c) Developer names, addresses, telephone, numbers and signatures.	_____
<u>  x  </u>	d) Fees paid to clerk.	_____



**APPLICATION FOR CONDITIONAL USE PERMIT  
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for a *Conditional Use Permit* and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the *Conditional Use* specifications or Application form are incomplete, the Application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests or inspections conducted on his (their) property in connection with this applications.

Signature of Owner: See enclosed permit authorization letter dated December 21, 2016.

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers. American Tower Corporation

**Edward A Lutz**

Digitally signed by Edward A Lutz  
DN: cn=Edward A Lutz, o, ou,  
email=ed.lutz@americantower.com, c=US  
Date: 2017.03.29 16:14:14 -04'00'

Signature of Developer: \_\_\_\_\_

Ed Lutz, Project Manager

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The individual in charge of the project must notify the Code Enforcement Officer/Building Inspector within two (2) working days of any change.

APPLICATION IS DUE AT NOON 30 days prior to the Planning Board Meeting. (The date the Agenda is CLOSED.) Any applications received after that time will be deferred until the next available meeting.

**APPLICATION FOR CONDITIONAL USE PERMIT  
TOWN OF HUDSON, NEW HAMPSHIRE**

FOOTNOTES:

1. In the event of the denial of a plan, the recording fees collected will not be reimbursed, but will instead be used as an additional fee to help defray administrative costs associated with a denial.
2. The "Review Fees" are fees estimated necessary to offset costs incurred to review and/or compile plans, data, or other information relative to the proposal.
3. The "Amount Due" does not include fees for studies or reviews as authorized in Section G-2 of this regulation.
4. Fees must be paid in full prior to the commencement of any formal review by the Town of Hudson.

STATUS:

DATE:

- |              |  |                    |
|--------------|--|--------------------|
| <u>  </u> 1. | Application incomplete   | _____              |
| <u>  </u> 2. | Application complete, include any applicable requested waivers. Fees paid, routing sheet returned                              | <u>  7-12-17  </u> |
| <u>  </u> 3. | Application formally accepted or denied by Planning Board (90-day review clock by RSA 674:43 to start upon acceptance granted) | _____              |
| <u>  </u> 4. | Final approval plan granted or denied  | _____              |
| <u>  </u> 5. | Comments:  | _____              |
|              |  | _____              |
|              |  | _____              |
|              |  | _____              |
|              |  | _____              |
|              |  | _____              |
|              |  | _____              |



"B"



July 25, 2017

Ms. Brooke Dubowik  
Town of Hudson  
12 School Street  
Hudson, NH 03051

Re: Town of Hudson Planning Board Review  
American Tower Corporation, 143 Dracut Road  
Tax Map 259, Lot 11; Acct. #1350-893  
CLD Reference No. 03-0249.1580

Dear Ms. Dubowik:

CLD Consulting Engineers, Inc. (CLD) has reviewed the second submission of the materials received on July 11, 2017 related to the above-referenced project. The scope of our review is based on the Site Plan Review Codes, Stormwater Codes, Driveway Review Codes, Sewer Use Ordinance 77, Zoning Regulations, and criteria outlined in the CLD Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007, September 3, 2008, and October 2015.

The phased project appears to consist of the construction of a telecommunications tower, gravel access road, underground utilities, landscaping and other associated site improvements. It is not noted whether the existing buildings on the site are serviced by Town water and sewer. The plan notes that the proposed tower compound does not need water or sewer services.

The following items have outstanding issues:

**1. Site Plan Review Codes and Administrative Requirements and Definitions**

f. *Former CLD Comment: HR 275-9.F. and 276-11.1.B.(20). No existing easements, covenants or deed restrictions were noted on the plan set nor were copies of the same received as part of the review package. The plans note a proposed access and utility easement for the access road and lease for the communications tower area, a copy of which was included in the application package.*

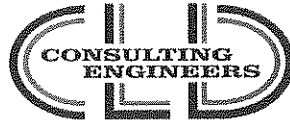
**Current CLD Comment:** The applicant has shown a proposed access easement on the plans and forwarded a copy of an existing slope and embankment easement. The applicant noted that the existing easement is depicted on Sheet V-102; however, we were unable to find the easement on the plan.

g. *Former CLD Comment: HR 275-9.G. No copies of applicable approvals or permits were provided in CLD's review package.*

**Current CLD Comment:** The applicant appears to have requested a waiver from this Regulation. We suggest that the applicant clarify the intent of the waiver request.

j. *Former CLD Comment: HR 276-11.1.B.(4)(a). The approval block on the plans does not meet the Regulation for location, size, or wording.*

**Current CLD Comment:** The applicant has added an approval block to the plans that meets the Regulation. We note that there is a typographical error within the approval block ("recieves") that should be corrected.



- k. *Former CLD Comment: HR 276-11.1.B.(4)(b). The approval block is only located on the cover sheet, not each plan sheet as required by Regulation.*

**Current CLD Comment:** The applicant has added the approval block to all plan sheets except Compound Detail sheet V-101 and Existing Conditions sheet V-102.

- l. *Former CLD Comment: HR 276-11.1.B.(5). The applicant has not provided the approval block language regarding expiration of approval as required by the Regulation.*

**Current CLD Comment:** The applicant has added the expiration of approval language to all of the plan sheets except Compound Detail sheet V-101 and Existing Conditions Sheet V-102. The note is not written in the specified two inch by one and one-half inch space (2"x1-1/2").

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- w. *Former CLD Comment: HR 276-11.1.B.(24). The applicant has not provided open space lot coverage calculations.*

**Current CLD Comment:** The applicant has added lot coverage notes to plan sheet C-101, but has not provided the corresponding coverage percentages.

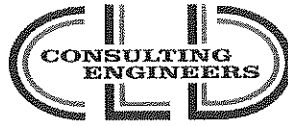
#### 4. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- b. *Former CLD Comment: HR 290-5.L. The applicant should provide rip-rap stone size information for what is labelled "R3 Rip Rap" upon the plan set, plus include any supporting calculations illustrating that the stone size is adequate for the proposed flow.*

**Current CLD Comment:** The applicant has noted that the R3 Rip Rap size is indicated on Plan Sheet C-501 and is typically 3"-6" stone. We continue to recommend that the specific size be added to the plan set.

- c. *Former CLD Comment: HR 290-5.L. The applicant should note how much flow is anticipated for the level spreader.*

**Current CLD Comment:** The applicant has removed the level spreader from the plans due to the flow being "fairly miniscule" (0.71 cfs as noted on the plans). Calculations were not provided that supported this assessment.



## 5. Erosion Control/Wetland Impacts

- a. *Former CLD Comment: HR 290-5.K.(14). The applicant has not shown a staging or stockpile area. Associated erosion control measures should be indicated for these locations.*

**Current CLD Comment:** The applicant has noted that the snow storage areas noted on the plans will also be used as staging areas and stockpiles during construction. Associated erosion controls were not included on the Erosion & Sedimentation Control Plan that shows these snow storage/stockpile areas.

- b. *Former CLD Comment: HR 290-5.K.(20). The applicant has not shown any proposed erosion controls other than a rock construction entrance. The need for items such as silt fence and erosion control blankets for steep slopes should be clearly illustrated on the plans.*

**Current CLD Comment:** The applicant has added an Erosion and Sedimentation Control Plan which includes erosion control blanket and silt fence installations. No erosion controls are proposed for the north side of the access road. Portions of the proposed silt fence on the south side of the access road are perpendicular to the grading contours, and in our experience when these devices are installed in this manner rilling occurs. The applicant should review the design to determine if an alternative layout can be developed.

## 6. Zoning (ZO 334)

- a. *Former CLD Comment: ZO 334-17, 334-20 and 334-23. The applicant has noted that the portion of the site where the telecommunications tower is located is within the General-1 (G-1) District, while the overall site is bisected with district R-2 also. The plans do not show the R-2/G-1 District boundary. According to ZO 334, Attachment 1, the proposed use requires a Special Exception in the G-1 District.*

**Current CLD Comment:** The applicant has added a zoning boundary line to the plan set. The applicant did not address the requirement for a Special Exception in their response letter.

- c. *Former CLD Comment: ZO 334-27.1. The applicant has not included setback lines or dimensions on the plans. The applicant has noted setback dimensions in a table on sheet C-101.*

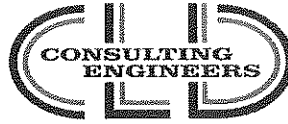
**Current CLD Comment:** The applicant has added building setback lines to the plans; however, the front setback line is shown at 30', instead of 50', as Dracut Road is considered an Arterial road per ZO 334-11.A. Also, the applicant appears to have requested a waiver from this Regulation (the waiver request does not note this specific Regulation).

- e. *Former CLD Comment: ZO 334-35. The applicant has not shown any existing wetlands within the subject site on the plans. Soil boundaries are not shown for the entire parcel.*

**Current CLD Comment:** The applicant has added wetlands boundaries to the plan set along with the 50' wetlands buffer line. The applicant has not indicated on the plans that the wetlands were delineated by a certified soils scientist and/or certified wetlands scientist. The tower compound was relocated to be outside the wetlands buffer. We were unable to find any additional soil boundary data in the latest submittal.

- i. *Former CLD Comment: ZO 334-96.1. The proposed tower location is greater than 880' from any corridor, but is within 880' of residential use. Based on the table in the Regulation, for the G-1 zoning district a Conditional Use permit is required.*

**Current CLD Comment:** The applicant has noted that they will get a Conditional Use permit. No further documentation or explanation was provided.



- j. *Former CLD Comment: ZO 334-102. The applicant has not provided a fall zone calculation with the review package as required by the Regulation.*

**Current CLD Comment:** The applicant has added a fall zone radius to plan Sheet C-401. We noted that the center of the 155' monopole is shown as 154' +/- from the southern property line of the site on Sheet C-101 (the property line is not shown in this proximity on Sheet C-401). The applicant should review the monopole location and provide an actual fall zone calculation to ensure that it is not capable of falling or collapsing beyond the bounds of the property on which it is situated.

## 9. Other

- a. *Former CLD Comment: The applicant has referenced American Tower Master Specifications for the construction of the access road. Copies of these specifications were not included in the review package.*

**Current CLD Comment:** The applicant has noted that Construction Managers all have a full set of ATC master specifications. These specifications should be provided as part of this plan submittal.

The following items require Town evaluation or input:

### 1. Site Plan Review Codes and Administrative Requirements and Definitions

- c. *Former CLD Comment: HR 275-9.B. The applicant did not include a Traffic Study within the Site Plan Application nor was a waiver from this Regulation included in the package received for review.*

**Current CLD Comment:** The applicant has requested a waiver from this Regulation.

- d. *Former CLD Comment: HR 275-9.C. The applicant did not include a Noise Study within the Site Plan Application nor was a waiver from this Regulation included in the package received for review.*

**Current CLD Comment:** The applicant has requested a waiver from this Regulation.

- e. *Former CLD Comment: HR 275-9.D. The applicant did not include a Fiscal Impact Study within the Site Plan Application nor was a waiver from this Regulation included in the package received for review.*

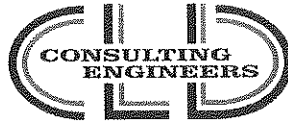
**Current CLD Comment:** The applicant has requested a waiver from this Regulation.

- h. *Former CLD Comment: HR 275-9.I. The applicant did not include an Environmental Impact Study within the Site Plan Application.*

**Current CLD Comment:** The applicant has requested a waiver from this Regulation.

- i. *Former CLD Comment: HR 276-11.1.B.(3). The title block provided on the plans does not meet the Regulation.*

**Current CLD Comment:** The applicant has noted that the title block indicates all necessary information requested. The Town should confirm that they are satisfied with the applicant's presentation of the data.



- m. *Former CLD Comment: HR 276-11.1.B.(6). The Owner's signature is not included on the plan set.*

**Current CLD Comment:** The applicant has added a block with the Owner's name and address along with a line for the Landlord's signature to the plans, and has noted that each sheet will be signed off before project commencement.

- n. *Former CLD Comment: HR 276-11.1.B.(7). The applicant has noted several abutters as "unknown".*

**Current CLD Comment:** The applicant has noted that abutters have been updated as necessary. CLD did not verify the five-day update criteria.

- t. *Former CLD Comment: HR 276-11.1.B.(17). The applicant has not shown permanent monuments for the parcel boundaries on the plan set.*

**Current CLD Comment:** Permanent monumentation (property corner pins or bounds) is not shown at most of the property corners, including the lot corners at Dracut Road. The applicant has requested a waiver from this Regulation.

- u. *Former CLD Comment: HR 276-11.1.B.(20). The applicant has not shown the height of existing buildings on the plan set.*

**Current CLD Comment:** The applicant has noted that existing building heights were not available at the time of review. Heights have been added to the plan set for all of the existing buildings except for the 1-story frame building.

- x. *Former CLD Comment: HR 276-11.1.B.(25). The applicant has proposed construction of the access road within the side setback adjacent to parcel 254-3.*

**Current CLD Comment:** The applicant has requested a waiver from this Regulation.

## 2. Driveway Review Codes (HR 275-8.B.(10) and (34)/Chapter 193)

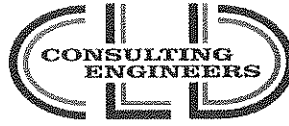
- b. *Former CLD Comment: HR 193.10.C. The applicant has proposed a steeply sloped driveway extension to access the telecommunications facility. The driveway design includes very low crest and sag K values, and includes a short grade break at the bottom of the slope at the approach to the facility. The turnaround provided does not appear to be adequate for a small fire engine to turn around. If there is a possibility of Hudson Emergency Services needing to respond to this area, we suggest that adequate turnaround facilities be provided.*

**Current CLD Comment:** The applicant has noted that their design takes into account a maximum speed of 10 MPH on the road which allows for lower K values. The applicant has also modified the turn-around at the tower compound to allow a small fire engine to maneuver. The Town should confirm they are comfortable with the design.

## 4. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- a. *Former CLD Comment: HR 290-5.L. The applicant did not include a Stormwater Management Plan with the review package, nor was a waiver request included in the package received for review.*

**Current CLD Comment:** The applicant has requested a waiver from this Regulation.



## 6. Zoning (ZO 334)

- f. *Former CLD Comment: ZO 334-57. The applicant has provided details for fence mounted signs. It is noted that the actual sizes of the signs were not indicated on the details. No other signs are proposed.*

**Current CLD Comment:** The applicant has provided the size for the ATC site sign. Other sign sizes are not indicated.

- h. *Former CLD Comment: ZO 334-92.I. The applicant has not noted how the siting of the proposed telecommunications tower will provide for the protection of the environment and open space, and preserve community character, scenic vistas, and historic heritage.*

**Current CLD Comment:** The applicant has noted that they utilized an existing woods buffer for screening to the North, West, and South, and have reduced their limits of disturbance and shifted the tower out of wetlands to avoid environmental impacts.

## 8. State and Local Permits (HR 275-9.G.)

- a. *The applicant should forward copies of all documentation related to any permitting for the facility to the Town for their records.*

The following items are resolved or have no further CLD input:

### 1. Site Plan Review Codes and Administrative Requirements and Definitions

- a. *Former CLD Comment: HR 275-8.C.(1) and (6). The applicant has noted that the facility will be unmanned with approximately monthly site visits for inspections and maintenance. No specific off-street parking or loading areas are indicated on the plans. If the driveway is not gated, we strongly recommend that the applicant identify at least one parking space that will not interfere with the drive turnaround.*

**Current CLD Comment:** The applicant has revised the parking and drive turnaround layout. No further CLD comment.

- b. *HR 275-8.C.(11). The applicant has noted that handicapped access to the site is not required.*

- p. *Former CLD Comment: HR 276-11.1.B.(9). The applicant has not shown the boundary of the entire parcel with dimensions and bearings on the plan set.*

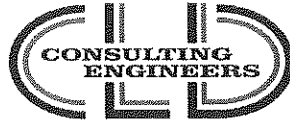
**Current CLD Comment:** The applicant has added dimensions and bearings for the entire parcel's boundary to the plans. No further CLD comment.

- q. *Former CLD Comment: HR 276-11.1.B.(9). The applicant has not noted the error of closure on the plans.*

**Current CLD Comment:** The applicant has noted the error of closure on the plans. No further CLD comment.

- r. *Former CLD Comment: HR 276-11.1.B.(10). The applicant has not shown any zoning district boundaries on the plan set. The applicant did note in the narrative that the subject parcel is in both the G-1 and R-2 zones.*





Current CLD Comment: The applicant has added zoning district boundaries to the plan set. No further CLD comment.

- v. *Former CLD Comment: HR 276-11.1.B.(22). The applicant has not shown the drive/right-of-way area in detail within the plan set such that the green area provided can be evaluated.*

Current CLD Comment: The applicant has provided an expanded view of the front of the lot. No further CLD comment.

- y. *Former CLD Comment: 290.5.K.(22). Snow storage areas are not noted on the plans.*

Current CLD Comment: The applicant has added snow storage areas on the plans. No further CLD comment.

## 2. Driveway Review Codes (HR 275-8.B.(10) and (34)/Chapter 193)

- a. *HR 193.10. The applicant is not proposing any changes to the existing driveway into the parcel.*

- c. *Former CLD Comment: HR 193.10.C. The applicant should confirm that snow removal operations will not be affected by the proposed steep slope of the driveway.*

Current CLD Comment: The applicant has added a note stating that snow removal operations will not be affected by the steep slopes.

- d. *Former CLD Comment: As noted above, we recommend that the applicant provide a parking space that will not interfere with drive maneuverability. Alternatively, the applicant may consider adding an informational sign at the drive transition to minimize the likelihood of a misdirected parcel delivery vehicle needing to back out of the drive.*

Current CLD Comment: The applicant has revised the driveway landing to include a larger parking space, and added an informational sign at the top of the driveway slope. No further CLD comment.

## 3. Utility Design/Conflicts

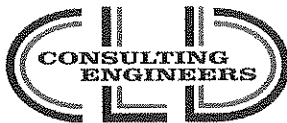
- a. *HR 275-6.G. The applicant has noted that no water or sewer services are needed for the proposed telecommunications facility.*

- b. *Former CLD Comment: HR 275-9.E. The applicant did not include a utility plan in the submittal materials.*

Current CLD Comment: The applicant noted that utilities are shown on Sheet C-401.

- c. *Former CLD Comment: HR 276.13.A. The applicant has noted utilities will be underground but has not provided any details for construction of underground utilities, nor is there an indication as to what underground utilities are proposed.*

Current CLD Comment: The applicant has added a trench detail for underground utilities. No further CLD comment.



## 6. Zoning (ZO 334)

- d. *ZO 334-28 and 334-95.C. The applicant has noted that the existing lot is a legal non-conforming lot with regards to area and frontage requirements.*
- g. *ZO 334-83. The applicant has noted that the site is located in a Zone X flood hazard area.*

## 7. Landscaping (HR 276-11.1.B.(20)) and Lighting (HR 276-11.1.B.(14))

- a. *Former CLD Comment: HR 275-8.C.(8). The applicant has proposed four 3" caliper, 40 to 60 feet [sic?] tall arborvitae near the transition from the existing drive to the proposed drive.*

Current CLD Comment: The applicant has revised the proposed plant heights. No further CLD comment.

- b. *Former CLD Comment: HR 276-11.1.B.(14). The applicant has noted in the project narrative that no lighting of any kind is proposed for the project, but did not include the required note "there will be no exterior lighting" on the plan set. The applicant should confirm that this includes site lighting, not just lighting on the tower.*

Current CLD Comment: The applicant has added the required note on the plan set. No further CLD comment.

- c. *Former CLD Comment: HR 276-11.1.B.(20). The applicant should note the depth of loam where proposed.*

Current CLD Comment: The applicant has noted the proposed loam depth on the plans. No further CLD comment.

## 8. State and Local Permits (HR 275-9.G.)

- b. *Additional local permitting may be required.*

## 9. Other

- b. *Former CLD Comment: The applicant's licensed Professional Engineer's seal is not consistent with State of New Hampshire requirements at the required 22"x34" printed plan size.*

Current CLD Comment: The applicant has revised the size of the Professional Engineer's seal for the 22"x 34" printed plan size. No further CLD comment.

- c. *Former CLD Comment: The applicant's narrative, page 10, states that the Tower will meet specific requirements. But, we note that the paragraph heading is labelled "Conformance with all existing codes". As submitted for CLD review, the applicant does not appear to have reviewed local Hudson codes.*

Current CLD Comment: The applicant did not directly address this comment but has submitted waiver requests and revised the plans to address local Hudson codes as noted above. No further CLD comment.

Ms. Brooke Dubowik  
CLD Reference No. 03-0249.1580  
July 25, 2017  
Page 9 of 9



Please feel free to call if you have any questions.

Very truly yours,

A handwritten signature in blue ink that reads 'Heidi J. Marshall'. The signature is fluid and cursive, with the first letters of each word being capitalized and prominent.

Heidi J. Marshall, P.E.

A handwritten signature in black ink that reads 'Paul Konieczka'. The signature is cursive and elegant, with the first letters of each word being capitalized and prominent.

Paul Konieczka, AICP

HJM:PK:mjt

Enclosure

cc: Town of Hudson Engineering Division – File  
Downs Rachlin Martin PLLC  
Courthouse Plaza  
199 Main Street, P.O. Box 190  
Burlington, VT, 05402-0190  
Fax: 802-862-7512



540 Commercial Street Manchester, NH 03101  
(603) 668-8223 • Fax: (603) 668-8802  
cld@cldengineers.com • www.cldengineers.com  
New Hampshire • Vermont • Maine

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**TO:** File

**FROM:** Steven W. Reichert, P.E. *SWR*

**DATE:** July 25, 2017

**RE:** Town of Hudson Planning Board Review  
American Tower Corporation Site Plan  
Tax Map 259, Lot 11; Acct. #1350-893  
CLD Reference No. 03-0249.1580

The following list itemizes the second set of documents reviewed related to the American Tower Corporation and T-Mobile Northeast LLC at 143 Dracut Road, Hudson, New Hampshire, received on July 11, 2017, including the following:

- *Copy of American Tower Corporation Plan Set (full size)*, received via FedEx on July 12, 2017.
- *Copy of Cover Letter* from Downs Rachlin Martin PLLC (DRM) to Town of Hudson, with cc copy to Heidi Marshall of CLD Consulting Engineers, Inc. (CLD) dated July 11, 2017, and received on July 11, 2017, including the following:
  1. *Copy of American Tower Corporation, 143 Dracut Road, Hudson, New Hampshire Plan Set*, prepared by American Tower, dba Specialty Tower Services, including the following:
    - a. *Title Sheet*, Sheet G001, dated March 8, 2017, with latest revision dated July 10, 2017.
    - b. *Compound Detail & Descriptions*, V101, dated December 16, 2016, with latest revision dated July 10, 2017.
    - c. *Existing Conditions*, V102, dated December 16, 2016, with latest revision dated July 6, 2017.
    - d. *Overall Site Plan*, C101, dated March 8, 2017, with latest revision dated July 10, 2017.
    - e. *Site Plan and Profile*, C401, dated March 8, 2017, with latest revision dated July 10, 2017.
    - f. *Erosion & Sedimentation Control Plan*, C402, dated March 8, 2017, with latest revision dated July 10, 2017.
    - g. *Planting Plan*, C403, dated March 8, 2017, with latest revision dated July 10, 2017.
    - h. *Tower Elevation*, C404, dated March 8, 2017, with latest revision dated July 10, 2017.
    - i. *Construction Details*, C501, dated March 8, 2017, with latest revision dated July 10, 2017.
    - j. *Compound Details*, C502, dated March 8, 2017, with latest revision dated July 10, 2017.
    - k. *Signage*, C503, dated March 8, 2017, with latest revision dated July 10, 2017.
  2. *Copy of Site Plan and Conditional Use Application*, prepared by Downs Rachlin Martin PLLC, dated March 31, 2017, including:
    - *Site Plan Application*, not dated.
    - *Subdivision Plan Waiver Request Form*
      - a. Item av, Building Elevations
      - b. Item aw, Fiscal Impact Study
      - c. Item ax, Traffic Study
      - d. Item ay, Noise Study
      - e. Item ba, Applicable Permits
      - f. HR 275-9.I., Environmental Impact Study
      - g. Item ab, Building Setback Lines

Memorandum to Files  
CLD Reference No. 03-0249.1580  
July 25, 2017  
Page - 2

- h. HR 276-11.1.B.(17), Permanent Monuments
  - i. HR 290-5.L, Stormwater Management Plan
- *Notice of Condemnation, dated April 30, 1981.*
  - *Deed, dated March 4, 1985.*

SWR:mjt

cc: Brooke Dubowik – Town of Hudson  
Town of Hudson Engineering Division – File



Handwritten initials 'C' and 'H' in black ink.



August 3, 2017

TO

RE: American Tower Site Plan Comments, 202096, Hudson 3 NH

### 1. Site Plan Review Codes and Administrative Requirements and Definitions

- f. **Former CLD Comment:** HR 275-9.F. and 276-11.1.B.(20). No existing easements, covenants or deed restrictions were noted on the plan set nor were copies of the same received as part of the review package. The plans note a proposed access and utility easement for the access road and lease for the communications tower area, a copy of which was included in the application package.

**Current CLD Comment:** The applicant has shown a proposed access easement on the plans and forwarded a copy of an existing slope and embankment easement. The applicant noted that the existing easement is depicted in Sheet V-102; however, we were unable to find the easement on the plan.

- Sheet V-102 has been updated

- g. **Former CLD Comment:** HR 275-9.G. No copies of applicable approvals or permits were provided in CLD's review package.

**Current CLD Comment:** The applicant appears to have requested a waiver from this Regulation. We suggest that the applicant clarify the intent of the waiver request.

- Waiver Requested

- j. **Former CLD Comment:** HR 276-11.1.B.(4)(a). The approval block on the plans does not meet the Regulation for location, size, or wording.

**Current CLD Comment:** The applicant has added an approval block to the plans that meets the Regulation. We note that there is a typographical error within the approval block ("receives") that should be corrected.

- Spelling has been fixed in the approval block on all pages.

- k. **Former CLD Comment:** HR 276-11.1.B.(4)(b). The approval block is only located on the cover sheet, not each plan sheet as required by Regulation.

**Current CLD Comment:** The applicant has added the approval block to all plan sheets except Compound Detail sheet V-101 and Existing Conditions sheet V-102





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- Approval block has been added to sheets V-101 and V-102

- i. **Former CLD Comment:** HR 276-11.1.B.(5). The applicant has not provided the approval block language regarding expiration of approval as required by the Regulation.

**Current CLD Comment:** The applicant has added the expiration of approval language to all of the plan sheets except Compound Detail sheet V-101 and the Existing Conditions sheet V-102. The note is not written in the specified two inch by one and one-half inch space (2"x1-1/2")

- Expiration has been added to sheets V-101 and V-102

- o. **Former CLD Comment:** HR 276-11.1.B.(8). The applicant has provided a location plan on the cover sheet. The plan does not include a scale and is not very legible. Another plan sheet includes a vicinity map at 1:2000 scale.

**Current CLD Comment:** The applicant has provided a more legible location plan on the cover sheet. A scale for this plan is not noted. The applicant has directed use of the Vicinity Map on Sheet V-101 to meet the requirement; however, the scale of the Vicinity Map on Sheet V-101 does not meet the Regulation (1:1000 scale)

- Vicinity map has been adjusted to scale of 1:1000

- s. **Former CLD Comment:** HR 276-11.1.B.(12). The applicant has not shown any building setback lines on the plans.

**Current CLD Comment:** The applicant has added building setback lines to the plans; however; the front setback line is shown at 30'. This should be 50' as Dracut Road is considered an Arterial road per ZO 334-11.A. Also, the applicant appears to have requested a waiver from this Regulation (the waiver request does not note this specific Regulation).

- Setback line has been added to page C-101 and updated on V-102

- w. **Former CLD Comment:** HR 276-11.1.B.(24). The applicant has not provided open space lot coverage calculations.

**Current CLD Comment:** The applicant has added lot coverage notes to plan sheet C-101, but had not provided the corresponding coverage percentages.

- Percentages have been added to page C-101

**4. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)**

- b. **Former CLD Comment:** HR 290-5.L. The applicant should provide rip-rap stone size information for what is labelled "R3 Rip Rap" upon the plan set, plus include any supporting calculations illustrating that the stone size is adequate for the proposed flow.

**Current CLD Comment:** The applicant has noted that the R3 Rip Rap size is indicated on the Plan Sheet C-501 and is typically 3"-6" stone. We continue to recommend that the specific size be added to the plan set.



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CORPORATION

- Specific sizes have been updated to Class I according to New Hampshire DOT

- c. **Former CLD Comment:** HR 290-5.L. The applicant should note how much flow is anticipated for the level spreader.

**Current CLD Comment:** The applicant has removed the level spreader from the plans due to the flow being “fairly miniscule” (0.71 cfs as noted on the plans). Calculations were not provided that supported this assessment.

- Calculations have been provided

## 5. Erosion Control/Wetland Impacts

- a. **Former CLD Comment:** HR 290-5.K.(14). The applicant has not shown a staging or stockpile area. Associated erosion control measures should be indicated for these locations.

**Current CLD Comment:** The applicant has noted that the snow storage areas noted on the plans will also be used as staging areas and stockpile during construction. Associated erosion controls were not included on the Erosion & Sedimentation Control Plan that shows these snow storage/stockpile areas.

- Limits of disturbance have been revised on sheet C-402

- b. **Former CLD Comment:** HR 290-5.K.(20). The applicant has not shown any proposed erosion controls other than a rock construction entrance. The need for items such as silt fence and erosion control blankets for steep slopes should be clearly illustrated on the plans.

**Current CLD Comment:** The applicant has added an Erosion and Sedimentation Control Plan which includes erosion control blanket and silt fence installations. No erosion controls are proposed for the north side of the access road. Portions of the proposed silt fence on the south side of the access road are perpendicular to the grading contours, and in our experience when these devices are installed in this manner rilling occurs. The applicant should review the design to determine if an alternative layout can be developed.

- Silt Fence design has been updated

## 6. Zoning (ZO 334)

- a. **Former CLD Comment:** ZO 334-17, 334-20 and 334-23. The applicant has noted that the portion of the site where the telecommunications tower is located is within the General-1 (G-1) District, while the overall site is bisected with district R-2 also. The plans do not show the R-2/G-1 District boundary. According to ZO 334, Attachment 1, the proposed use requires a Special Exception in the G-1 District.





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**Current CLD Comment:** The applicant has added a zoning boundary line to the plan set. The applicant did not address the requirement for a Special Exception in their response letter.

- **Special Exception not required per Zoning Determination Letter, dated February 6, 2017.**

- c. **Former CLD Comment:** ZO 334-27.1. The applicant has not included setback lines or dimensions on the plans. The applicant has noted setback dimensions in a table on sheet C-101.

**Current CLD Comment:** The applicant has added building setback lines to the plans; however, the front setback line is shown at 30', instead of 50', as Dracut Road is considered an Arterial road per ZO 334-11.A. Also, the applicant appears to have requested a waiver from this Regulation (the waiver request does not note this specific Regulation).

- **Waiver Requested.**

- e. **Former CLD Comment:** ZO 334-35. The applicant has not shown any existing wetlands within the subject site on the plans. Soil boundaries are not shown for the entire parcel.

**Current CLD Comment:** The applicant has added wetlands boundaries to the plan set along within the 50' wetlands buffer line. The applicant has not indicated on the plans that the wetlands were delineated by a certified soils scientist and/or certified wetlands scientist. The tower compound was relocated to be outside the wetlands buffer. We were unable to find any additional soil boundary data in the latest submittal.

- **wetland report provided**

- i. **Former CLD Comment:** ZO 334-96.1. The proposed tower location is greater than 880' from any corridor, but is within 880' of residential use. Based on the table in the Regulation, for the G-1 zoning district a Conditional Use permit is required.

**Current CLD Comment:** The applicant has noted that they will get a Conditional Use permit. No Further documentation was provided.

- **Applicants applied for Concurrent Site Plan and Condition Use.**

- j. **Former CLD Comment:** ZO 334-102. The applicant has not provided a fall zone calculation with the review package as required by the Regulation.

**Current CLD Comment:** The applicant has added a fall zone radius to plan C-401. We noted that the center of the 155' monopole is shown as 154' +/- from the southern property line of the site on Sheet C-101 (the property line is not shown in this proximity on Sheet C-401). The applicant should review the monopole location and provide an actual fall zone calculation to ensure that it is not capable of falling or collapsing beyond the bounds of the property on which it is situated.



**AMERICAN TOWER™**  
CORPORATION

- Tower has inadvertently moved in last revision, and has been moved back to prior location 156' from the property line

**9. Other**

- a. **Former CLD Comment:** The applicant has referenced American Tower Master Specifications for the construction of the access road. Copies of these specifications were not included in the review package.

**Current CLD Comment:** The applicant has noted that Construction Managers all have a full set of ATC master specifications. These specifications should be provided as part of this plan submittal.

- ATC Master Specifications have been provided with submittal



**AMERICAN TOWER™**  
CORPORATION

**Prepared by**

Kyle Faust, PE  
AE Team Leader  
**American Tower Corporation**  
3500 Regency Parkway  
Cary, NC 27518  
(919) 466-5028 (direct)  
(610) 621-3131 (mobile)  
[kyle.faust@americantower.com](mailto:kyle.faust@americantower.com)

Nick R. Pirro  
Civil Engineer I  
**American Tower Corporation**  
3500 Regency Pkwy  
Cary, NC 27518  
(919) 466-5116 (office)  
(973) 557-6064 (mobile)  
[Nicholas.Pirro@americantower.com](mailto:Nicholas.Pirro@americantower.com)

17695052.1

"D"

**CONDITIONAL USE PERMIT APPLICATION  
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: 3/31/2017 Tax Map # 259-0003 Lot # 011-0006  
Name of Project: ATC - Wireless Telecommunications Facility - Dracut Road  
Zoning District: R-2 and G-1 General CU# 01-17  
(For Town Use) (For Town Use)  
ZBA Action: See Zoning Determination Letter, Exhibit P

PROPERTY OWNER:

DEVELOPER:

Name: Tom and Rosa Chan  
Joshua and Kristine Willett  
Address: 143 Dracut Road  
Address: Hudson, NH 03051  
Telephone # 603-759-5017  
Fax # \_\_\_\_\_  
Email: \_\_\_\_\_

Name: American Tower Corporation  
Address: c/o Downs Rachlin Martin PLLC, Elizabeth Kohler, Esq.  
Address: Po Box 190, Burlington, VT 05402-0190  
Telephone # 802-846-8382  
Fax # \_\_\_\_\_  
Email: ekohler@drm.com

PROJECT ENGINEER

SURVEYOR

Name: A. T. Engineering, PLLC  
Address: 3500 Regency Parkway, Suite 100  
Address: Cary, NH 27518  
Telephone # 919-466-5028  
Fax # \_\_\_\_\_  
Email: kyle.faust@americantower.com

PURPOSE OF PLAN:

Proposed 175' communications tower with antennas, associated 100' x 100' fenced gravel compound with shelter, landscaping, driveway extension and underground utilities.

**(FOR TOWN USE)**

Plan Routing Date: 4-20-17 Conditional Permit Date: 5-17-17

I have no comments  I have comments (attach to form)

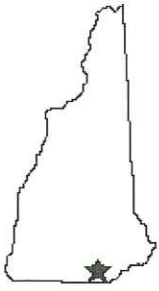
JOB Title: Deputy Fire Chief Date: 4/26/17  
(Initials)

**Department Review:**

Zoning  Engineering  Assessor  Police  Fire  Planning  
 Highway Dept.  Consultant

Fees Paid \$1508.01





# TOWN OF HUDSON

FIRE DEPARTMENT

INSPECTIONAL SERVICES DIVISION



---

12 SCHOOL STREET, HUDSON, NEW HAMPSHIRE 03051

Emergency 911  
Business 603-886-6005  
Fax 603-594-1142

Robert M. Buxton  
Chief of Department

26 April, 2017

To: John Cashell  
Town Planner

Fr: John J. O'Brien  
Deputy Fire Chief

Re: Site Plan review ATC wireless facility 143 Dracut Rd Map 259 Lot 011

---

A Site plan review was conducted by this office for the above proposed development. Fire Department requirements are listed below.

**Access Gate.** A Fire Department approved Knox Box shall be installed at gate. This shall contain a key for emergency access.

**Site Access.** NFPA 1141 Sec 5.2.4 limits road grades to no more than 10 percent. On your plans are depicted a 14 per cent grade. Fire Apparatus including ambulances may not be able to access the facility due to this grade.

In addition a sufficient turnaround for fire equipment must be provided at the end of the gravel road. The depicted area is insufficient for Fire or ambulance use.

Attached to the site plan approval shall be a stipulation that space shall be made available on this tower for the Town of Hudson to improve communication infrastructure. This space shall be at no cost to the Town of Hudson. This stipulation shall be in perpetuity.

If you have any questions [email jobrien@hudsonnh.gov](mailto:jobrien@hudsonnh.gov) or call 886-6021

John J. O'Brien *JOB*  
Deputy Fire Chief  
Town of Hudson N.H

**PRELIMINARY & FINAL SITE PLAN APPLICATION  
FOR PLAN REVIEW (Also for Wireless)  
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: March 31, 2017 Tax Map # 259 ~~0003~~ Lot # 011 ~~0006~~  
 Name of Project: ATC - Wireless Telecommunications Facility - Dracut Road  
 Zoning District: R-2 and G-1 General SP# 0717  
 (For Town Use) (For Town Use)  
 ZBA Action: See attached Zoning Determination, Exhibit P

**PROPERTY OWNER:**  
 Tom and Rosa Chan  
 Name: Joshua M. and Kristine C. Willett  
 Address: 143 Dracut Road  
 Address: Hudson, NH 03051  
 Telephone # 603-759-5017  
 Fax # \_\_\_\_\_  
 Email: \_\_\_\_\_

**DEVELOPER:**  
 American Tower Corporation  
 c/o Downs Rachlin Martin PLLC, Elizabeth Kohler, Esq.  
 PO Box 190, Burlington, VT 05402-0190  
 802-846-8382  
 ekohler@drm.com

**PROJECT ENGINEER**  
 Name: A. T. Engineering, PLLC  
 Address: 3500 Regency Parkway, Suite 100  
 Address: Cary, NC 27518  
 Telephone # 919-466-5028  
 Fax # \_\_\_\_\_  
 Email: \_\_\_\_\_

**SURVEYOR**  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**PURPOSE OF PLAN:**  
 Proposed 175' communications tower with antennas, associated 100' x 100' fenced gravel compound with shelter, landscaping, driveway extension, and underground utilities.

<i>For Town Use</i>	
Plan Routing Date: <u>4-20-17</u>	Sub/Site Date: <u>5-17-17</u>
<input type="checkbox"/> I have no comments <input checked="" type="checkbox"/> I have comments (attach to form)	
(Initials) <u>Bh</u> Title: <u>Zoning Administrator</u> Date: <u>4-25-17</u>	
DEPT: <input checked="" type="checkbox"/> Zoning <input type="checkbox"/> Engineering <input type="checkbox"/> Assessor <input type="checkbox"/> Police <input type="checkbox"/> Fire <input type="checkbox"/> Planning <input type="checkbox"/> Consultant <input type="checkbox"/> Highway Department	
Fees Paid: <u>\$ 330.00</u>	



# TOWN OF HUDSON

FIRE DEPARTMENT

INSPECTIONAL SERVICES DIVISION



12 SCHOOL STREET, HUDSON, NEW HAMPSHIRE 03051

Emergency 911  
Business 603-886-6005  
Fax 603-594-1142

Robert M. Buxton  
Chief of Department

April 25, 2017

Site Plan Review  
Zoning Review/Comments

Re: 143 Dracut Road 259/011  
District: Dual – General One (G-1) & Residential Two (R-2)

**Zoning review:**

Drawing C-101 "Overall Site Plan".

1) The proposed siting may impact wetland/wetland buffer, as our GIS indicates wetland on the property (see attached sketch). Zoning Ordinance **section §334-39 (2)**: "Applications for developments, subdivisions and site plan reviews shall locate and depict on the survey/subdivision plat/site plan all lands qualifying for the Wetland Conservation District designation." I don't see any depiction of wetlands, either on site or not on site.

2) Any disturbance/construction of uses permitted in **§334-35 B (2) (a)-(e)** in the wetland/wetland buffer would need wetland special exception from the Zoning Board of Adjustment (ZBA) per **§334-35 B** "Uses permitted by special exception".

Sincerely,

Bruce Buttrick, MCP

Zoning Administrator/Code Enforcement Officer

(603) 816-1275

[bbuttrick@hudsonnh.gov](mailto:bbuttrick@hudsonnh.gov)

cc: J.Cashell, Town Planner  
Chief Buxton  
Deputy O'Brien



# 143 Dracut Road - possible wetland

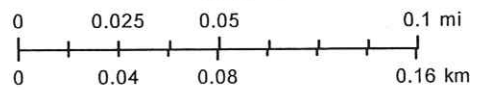


April 25, 2017

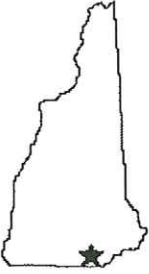
Legend

 Parcels

1:3,024







# TOWN OF HUDSON

FIRE DEPARTMENT

INSPECTIONAL SERVICES DIVISION



---

12 SCHOOL STREET, HUDSON, NEW HAMPSHIRE 03051

Emergency 911  
Business 603-886-6005  
Fax 603-594-1142

Robert M. Buxton  
Chief of Department

## Zoning Determination #17-09

February 6, 2017

Elizabeth Kohler, Esq  
Downs Rachlin Martin PLLC  
199 Main Street  
Burlington, Vt 05401

Re: **143 Dracut Road 259/011-000**  
**District: Residential Two (R-2) and General One (G-1)**

Dear Atty Kohler,

Your request for zoning review and determination about locating a Commercial Wireless Telecommunication Facility on this site and the Zoning/Planning Boards process has been completed.

### **Zoning Review / Determination:**

Our research indicates per §334-32 that this lot is a legal non-conforming lot with regards to the area and frontage requirements. This lot is bisected with 2 zoning districts: R-2 & G-1. The proposed siting of the tower etc. is in the G-1 district. The proposed use is allowed as secondary use per §334-95 A.

This use will require a conditional use permit per the Table of Conditionally Permitted Facilities §334-96.1.

This development is subject to a conditional use permit and concurrent site plan approval per §334-96.2, by the Planning Board which may require a submission of an RF Engineering/Facilities Master Plan per §334-95 E.

All other requirements for building permit approval such as: septic/sewer, driveway permits, **setbacks for: building, driveway, wetland**, etc, would need to be met.

Please feel free to contact me if you have any further questions regarding this matter.

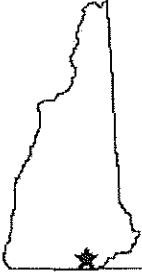
NOTE: this determination may be appealed to the Hudson Zoning Board of Adjustment within 30 days of the receipt of this letter.

Sincerely,



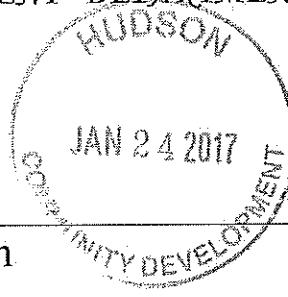
*Bruce Buttrick, MCP*  
Zoning Administrator/Code Enforcement Officer  
(603) 816-1275  
[bbuttrick@hudsonnh.gov](mailto:bbuttrick@hudsonnh.gov)

cc: Zoning Board of Adjustment  
J. Michaud, Town Assessor  
J. Cashell, Town Planner  
Owner  
Chief Buxton  
Deputy O'Brien  
File



COMMUNITY DEVELOPMENT DEPARTMENT

12 School Street  
Hudson, NH 03051  
(603)886-6005  
[www.hudsonnh.gov](http://www.hudsonnh.gov)



Town of Hudson

REQUEST FOR ZONING and/or PLANNING INFORMATION / DETERMINATION

Date of request 01/23/2017

Property Location 143 Dracut Road, Parcel ID: 259-011-000  
 Map 259 Lot 011 #17-09

Zoning District if known General-1

**Type of Request**

Zoning District Determination  Use Determination  Set-Back Requirements  
 Process for Subdivision/ Site Plan if required  
 Other

Description of request / determination: (Please attach all relevant documentation)

American Tower Corporation ("ATC") and T- Mobile Northeast LLC ("T-Mobile" and collectively with ATC the "Applicants") appearing by and through Downs Rachlin Martin PLLC ("DRM") seek approval for the Applicants to construct a new wireless communications facility (the "Project" or "Facility") on the property of Tom and Rosa Chan. The 170' tower will be located in the northwest part of the property within a 100' x 100' leased area and will be accessed using an existing access road.

**Applicant Contact Information:**

Name: Elizabeth Kohler, Esq.  
 Address: 199 Main Street, Burlington, VT 05401  
 Phone Number: 802-846-8382

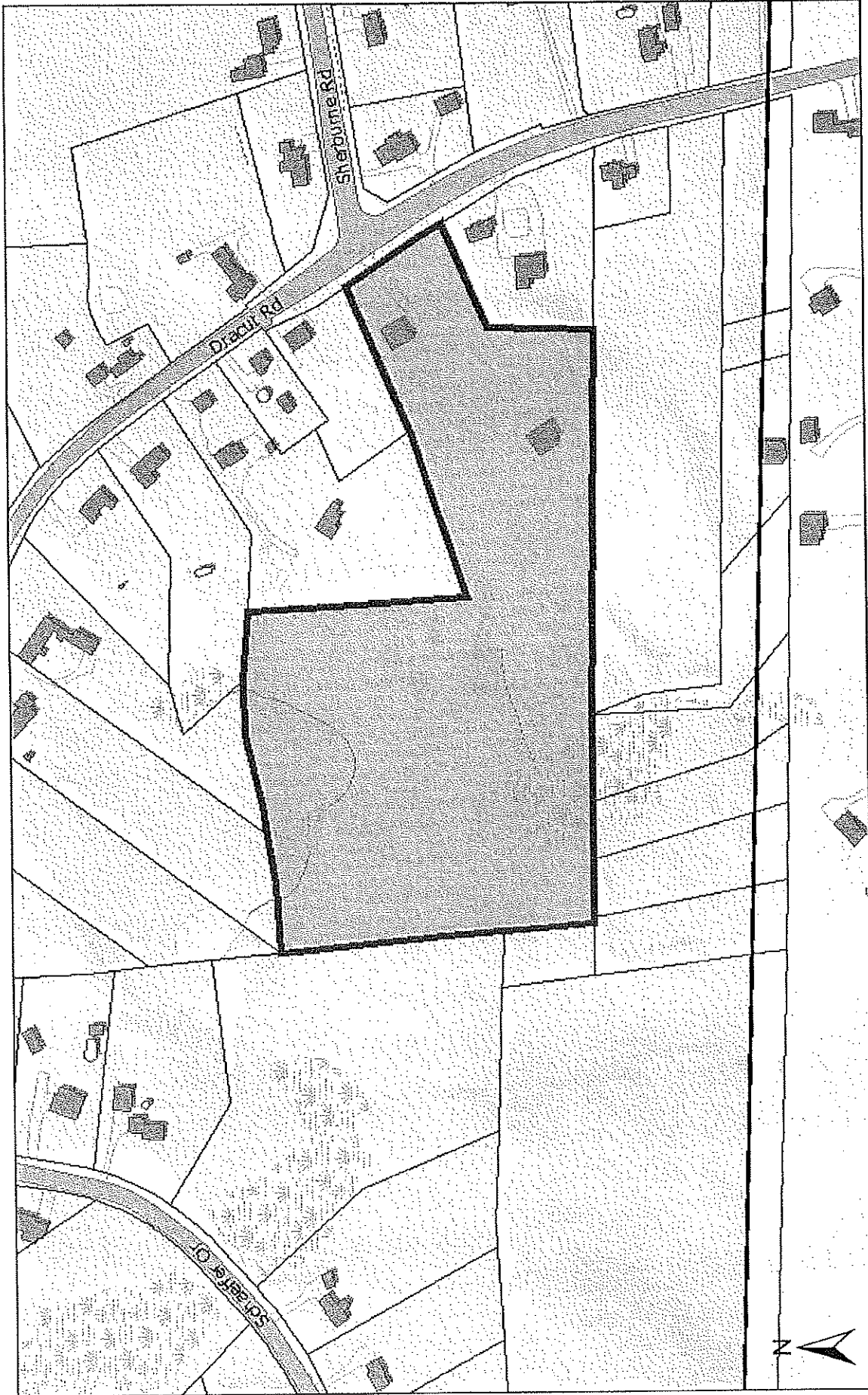
*For Office use*

ATTACHMENTS: TAX CARD  GIS

NOTES: \_\_\_\_\_

ZONING DETERMINATION LETTER SENT  DATE: 2-6-17

# 143 Dracut Rd



January 25, 2017

Parcels

1 inch = 241 feet

0 262.5 525 Feet



**CONDITIONAL USE PERMIT APPLICATION**  
**TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: 3/31/2017 Tax Map # 259 Lot # 011  
Name of Project: ATC - Wireless Telecommunications Facility - Dracut Road  
Zoning District: R-2 and G-1 General CU# 01-17  
(For Town Use) (For Town Use)  
ZBA Action: See Zoning Determination Letter, Exhibit P

<u>PROPERTY OWNER:</u>		<u>DEVELOPER:</u>	
Name:	<u>Tom and Rosa Chan</u> <u>Joshua and Kristine Willett</u>	Name:	<u>American Tower Corporation</u>
Address:	<u>143 Dracut Road</u>		<u>c/o Downs Rachlin Martin PLLC, Elizabeth Kohler, Esq.</u>
Address:	<u>Hudson, NH 03051</u>		<u>Po Box 190, Burlington, VT 05402-0190</u>
Telephone #	<u>603-759-5017</u>		<u>802-846-8382</u>
Fax #	<u></u>		<u></u>
Email:	<u></u>		<u>ekohler@drm.com</u>

<u>PROJECT ENGINEER</u>		<u>SURVEYOR</u>	
Name:	<u>A. T. Engineering, PLLC</u>		<u></u>
Address:	<u>3500 Regency Parkway, Suite 100</u>		<u></u>
Address:	<u>Cary, NH 27518</u>		<u></u>
Telephone #	<u>919-466-5028</u>		<u></u>
Fax #	<u></u>		<u></u>
Email:	<u>kyle.faust@americantower.com</u>		<u></u>

PURPOSE OF PLAN:  
Proposed 175' communications tower with antennas, associated 100' x 100' fenced gravel compound with shelter, landscaping, driveway extension and underground utilities.

(FOR TOWN USE)

Plan Routing Date: 4-20-17 Conditional Permit Date: 5-17-17

I have no comments  I have comments (attach to form)

EZA Title: Town Engineer Date: 4/26/17  
(Initials)

Engineering Department Review: Assessor  Police  Fire  Planning

Highway Dept.  Consultant

Fees Paid \$1508.01

## Dhima, Elvis

---

**From:** Dhima, Elvis  
**Sent:** Wednesday, April 26, 2017 12:51 PM  
**To:** Cashell, John  
**Cc:** Dubowik, Brooke  
**Subject:** Technical Review - 143 Dracut Road, Hudson, NH

John

Please find below my two comments regarding the above?

1. Proposed driveway extension is currently located within building setbacks.
2. Proposed driveway extension is currently shows at 14% slope versus 10% allowed.

Thank you

E

*Elvis Dhima, P.E.*  
*Town Engineer*

Town of Hudson, NH  
12 School Street  
Hudson, NH 03051  
Phone: (603) 886-6008  
Mobile: (603) 318-8286



**Town of Hudson**  
NEW HAMPSHIRE 03051



**PRELIMINARY & FINAL SITE PLAN APPLICATION  
FOR PLAN REVIEW (Also for Wireless)  
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: March 31, 2017 Tax Map # 259-0003 Lot # 011-0006  
 Name of Project: ATC - Wireless Telecommunications Facility - Dracut Road  
 Zoning District: R-2 and G-1 General SP# 0717  
 (For Town Use) (For Town Use)  
 ZBA Action: See attached Zoning Determination, Exhibit P

**PROPERTY OWNER:**  
 Tom and Rosa Chan  
 Name: Joshua M. and Kristine C. Willett  
 Address: 143 Dracut Road  
 Address: Hudson, NH 03051  
 Telephone # 603-759-5017  
 Fax # \_\_\_\_\_  
 Email: \_\_\_\_\_

**DEVELOPER:**  
 American Tower Corporation  
 c/o Downs Rachlin Martin PLLC, Elizabeth Kohler, Esq.  
 PO Box 190, Burlington, VT 05402-0190  
 802-846-8382  
 \_\_\_\_\_  
 ekohler@drm.com

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 Name: A. T. Engineering, PLLC  
 Address: 3500 Regency Parkway, Suite 100  
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 Telephone # 919-466-5028  
 Fax # \_\_\_\_\_  
 Email: \_\_\_\_\_

**SURVEYOR**  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**PURPOSE OF PLAN:**  
Proposed 175' communications tower with antennas, associated 100' x 100' fenced gravel compound with shelter, landscaping, driveway extension, and underground utilities.

<i>For Town Use</i>	
Plan Routing Date: <u>4-20-17</u>	Sub/Site Date: <u>5-17-17</u>
<input type="checkbox"/> I have no comments <input checked="" type="checkbox"/> I have comments (attach to form)	
(Initials) <u>JW</u> Title: <u>Asst. Assessor</u> Date: <u>4-20-17</u>	
DEPT: <input type="checkbox"/> Zoning <input type="checkbox"/> Engineering <input checked="" type="checkbox"/> Assessor <input type="checkbox"/> Police <input type="checkbox"/> Fire <input type="checkbox"/> Planning <input type="checkbox"/> Consultant <input type="checkbox"/> Highway Department	
Fees Paid: <u>\$ 330.00</u>	

*We will end up making up a new map/lot for this cell tower  
259-011-001*

**CONDITIONAL USE PERMIT APPLICATION**  
**TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: 3/31/2017 Tax Map # 259-0003 Lot # 011-0006  
Name of Project: ATC - Wireless Telecommunications Facility - Dracut Road  
Zoning District: R-2 and G-1 General CU# 01-17  
(For Town Use) (For Town Use)  
ZBA Action: See Zoning Determination Letter, Exhibit P

<u>PROPERTY OWNER:</u>		<u>DEVELOPER:</u>	
Name:	<u>Tom and Rosa Chan</u> <u>Joshua and Kristine Willett</u>	Name:	<u>American Tower Corporation</u>
Address:	<u>143 Dracut Road</u>		<u>c/o Downs Rachlin Martin PLLC, Elizabeth Kohler, Esq.</u>
Address:	<u>Hudson, NH 03051</u>		<u>Po Box 190, Burlington, VT 05402-0190</u>
Telephone #	<u>603-759-5017</u>		<u>802-846-8382</u>
Fax #			
Email:			<u>ekohler@drm.com</u>

<u>PROJECT ENGINEER</u>		<u>SURVEYOR</u>	
Name:	<u>A. T. Engineering, PLLC</u>		
Address:	<u>3500 Regency Parkway, Suite 100</u>		
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Telephone #	<u>919-466-5028</u>		
Fax #			
Email:	<u>kyle.faust@americantower.com</u>		

PURPOSE OF PLAN:  
Proposed 175' communications tower with antennas, associated 100' x 100' fenced gravel compound with shelter, landscaping, driveway extension and underground utilities.

(FOR TOWN USE)

Plan Routing Date: 4-20-17 Conditional Permit Date: 5-17-17

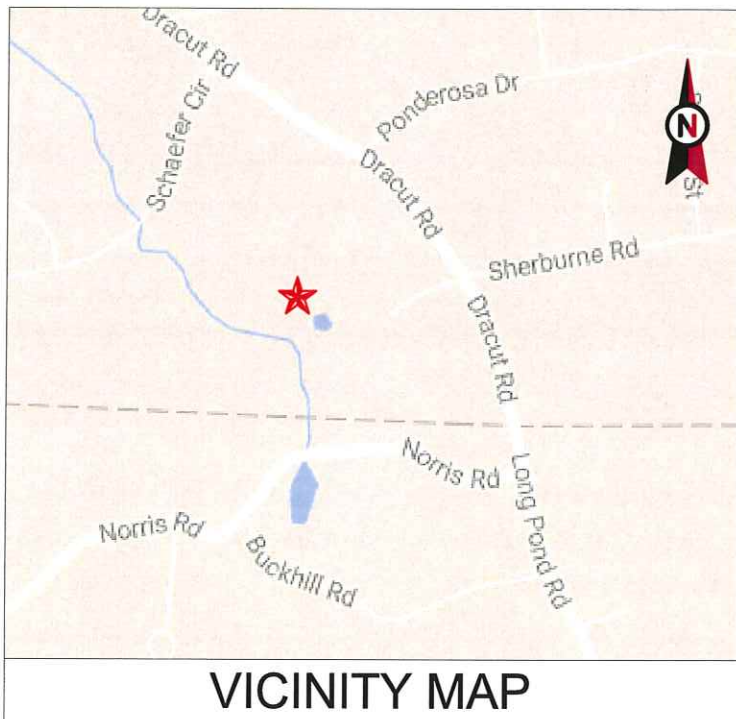
I have no comments  I have comments (attach to form)

KW Title: ROAD AGENT Date: 6/24/17  
(Initials)

Department Review:  
 Zoning  Engineering  Assessor  Police  Fire  Planning  
 Highway Dept.  Consultant

Fees Paid \$1508.01





**VICINITY MAP**  
 SCALE: 1"=1000' (11X17)  
 1"=500' (22X34)



**AMERICAN TOWER®**

**SITE NAME: HUDSON 3 NH**  
**SITE NUMBER: 202096**  
**SITE ADDRESS: 143 DRACUT RD**  
**HUDSON, NH 33011**

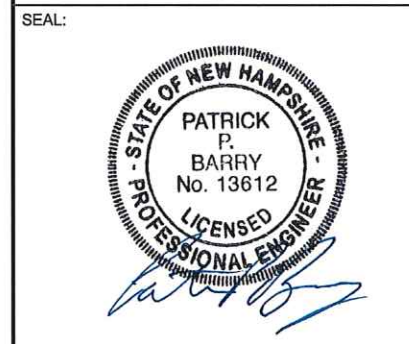


**LOCATION MAP**

**ZONING DRAWINGS**



ATC SITE NUMBER:  
**202096**  
 ATC SITE NAME:  
**HUDSON 3 NH**  
 SITE ADDRESS:  
 143 DRACUT RD  
 HUDSON, NH 33011



Aug 3 2017 4:10 PM cosign

DRAWN BY: NRP  
 APPROVED BY: PPB  
 DATE DRAWN: 03/08/17  
 ATC JOB NO: 12028632

**TITLE SHEET**  
 SHEET NUMBER: **G-001**  
 REVISION: **2**

COMPLIANCE CODE	PROJECT SUMMARY	PROJECT DESCRIPTION	SHEET INDEX				
ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNMENT AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.  1. INTERNATIONAL BUILDING CODE (IBC) 2. NATIONAL ELECTRIC CODE (NEC) 3. LOCAL BUILDING CODE 4. CITY/COUNTY ORDINANCES	<u>SITE ADDRESS:</u> 143 DRACUT RD HUDSON, NH 33011 COUNTY: HILLSBOROUGH <u>GEOGRAPHIC COORDINATES:</u>  LATITUDE: 42.700531° LONGITUDE: -71.392661° GROUND ELEVATION: 232' AMSL <u>ZONING INFORMATION:</u> JURISDICTION: TOWN OF HUDSON PARCEL NUMBER: 259-011 ZONING: PARCEL SPANS TWO DISTRICTS: G-1 (GENERAL 1) - TOWER LOCATION R-2 (RESIDENTIAL 2)	THIS SUBMITTAL IS FOR ZONING WITH THE CITY OF HUDSON. THIS PROJECT INVOLVES ERECTING A NEW MONOPOLE WITH ASSOCIATIVE FACILITIES.  THIS PLAN WILL BE VALID FOR ONE YEAR AFTER APPROVAL.	SHEET NO:	DESCRIPTION:	REV:	DATE:	BY:
		PROJECT NOTES 1. THE FACILITY WILL BE UNMANNED. 2. A TECHNICIAN WILL VISIT THE SITE APPROXIMATELY ONCE A MONTH FOR ROUTINE INSPECTION AND MAINTENANCE. 3. PROPOSED FACILITY WILL MEET OR EXCEED ALL FAA AND FCC REGULATORY REQUIREMENTS. 4. NO SANITARY SEWER, POTABLE WATER OR TRASH DISPOSAL IS REQUIRED. 5. HANDICAP ACCESS IS NOT REQUIRED.	V-101	TITLE SHEET	2	07/10/17	NRP
<u>UTILITY COMPANIES</u>  POWER COMPANY: TBD TELEPHONE COMPANY: TBD	<u>PROJECT TEAM</u>  <u>TOWER OWNER:</u> AMERICAN TOWERS LLC 10 PRESIDENTIAL WAY WOBURN, MA 01801 <u>ENGINEER:</u> ATC TOWER SERVICES 3500 REGENCY PARKWAY SUITE 100 CARY, NC 27518	PROJECT LOCATION DIRECTIONS  FROM BOSTON, MA: TAKE I-93 N TO NH-3A S IN HUDSON. TAKE THE NH-3A S EXIT FROM CIRCUMFERENTIAL HWY. DRIVE TO DRACUT RD.	V-102	COMPOUND DETAIL & DESCRIPTIONS			
				C-101	EXISTING CONDITIONS		
			C-401	OVERALL SITE PLAN	2	07/10/17	NRP
			C-402	SITE PLAN & PROFILE	2	07/10/17	NRP
			C-403	EROSION & SEDIMENTATION CONTROL PLAN	2	07/10/17	NRP
			C-404	PLANTING PLAN	2	07/10/17	NRP
			C-501	TOWER ELEVATION	2	07/10/17	NRP
			C-502	CONSTRUCTION DETAILS	2	07/10/17	NRP
			C-503	COMPOUND DETAILS	2	07/10/17	NRP
				SIGNAGE	2	07/10/17	NRP

APPROVED BY THE HUDSON, NH PLANNING BOARD  
 DATE OF MEETING \_\_\_\_\_  
 PLANNING BOARD:  
 CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

PROPERTY OWNER:  
 TOM W. & ROSA C. CHAN  
 143 DRAUT ROAD  
 HUDSON, NH 03051  
 LANDLORD SIGNATURE: \_\_\_\_\_



**PROJECT SUMMARY**

FIELD SURVEY DATE: 12/13/2016  
 SITE ADDRESS: 143 DRACUT ROAD HUDSON, NEW HAMPSHIRE 03051

**PARCEL INFORMATION**  
 OWNER: TOM W. & ROSA C. CHAN, JOSHUA M. & KRISTINE C. WILLETT  
 OWNER ADDRESS: 143 DRACUT ROAD, HUDSON, NH 03051  
 APN: BLOCK 259, LOT 11

**TOTAL AREAS:**  
 PARENT PARCEL: 11.816± ACRES ATC LEASE AREA: 10,000 SQ. FT.

**GEOGRAPHIC COORDINATES OF TOWER:**  
 LATITUDE: 42°42'01.03" N LONGITUDE: 71°23'31.81" W  
 VERTICAL DATUM: NAVD 1988 HORIZONTAL DATUM: NAD83  
 GROUND ELEVATION: 238'

THIS IS TO CERTIFY THAT THE ABOVE INFORMATION IS PROVIDED TO THE FOLLOWING ACCURACY:  
 ± TWENTY (20) FEET IN THE HORIZONTAL  
 ± THREE (3) FEET IN THE VERTICAL

\*BEARINGS ARE THE NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM AND ARE BASED ON GPS OBSERVATIONS.

**FLOODPLAIN:**  
 PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X.  
 COMMUNITY PANEL NO.: 330922  
 EFFECTIVE DATE: SEPTEMBER 25, 2009

**BOUNDARY NOTE**  
 THIS SURVEY IS THE RESULT OF AN ACTUAL FIELD SURVEY BASED UPON SUFFICIENT RESEARCH AND FIELD EVIDENCE TO VERIFY THE PARENT PARCEL OF THE SUBJECT PROPERTY. HOWEVER, THIS SURVEYOR HAS RELIED UPON THE DEEDS OF RECORD, AS PROVIDED. THIS SURVEYOR MAKES NO GUARANTEE, EITHER EXPRESSED OR IMPLIED AS TO THE QUALITY OF THE DEED REPORT AND REFERENCE DOCUMENTS PROVIDED AND THE DOCUMENTS PROVED AFFECTING THE LEASE AND IMMEDIATE AREA HAVE BEEN PLOTTED. THE BOUNDARY SHOWN HEREON IS PLOTTED FROM THE RECORD INFORMATION PROVIDED AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.

**ENCROACHMENT NOTE**  
 PROPOSED SITE: AT THE TIME OF THE SURVEY, NO VISIBLE ENCROACHMENTS WERE EVIDENT ONTO OR BEYOND THE LEASE OR EASEMENT AREA, PARENT PARCEL, OR THE ACCESS AND UTILITY EASEMENT(S).

**SURVEYOR'S NOTES**

- THERE IS ACCESS TO THE SUBJECT PROPERTY VIA DRACUT ROAD, A PUBLIC RIGHT OF WAY.
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THE SURVEY ARE FROM VISIBLE SURFACE EVIDENCE ONLY.
- AT THE TIME OF THIS SURVEY THERE WAS NO OBSERVABLE SURFACE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THE SUBJECT PROPERTY BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF ANY RECENT CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION.
- AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF ANY RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- ANGLES OR BEARINGS SHOWN HEREON ARE FORMATTED IN DEGREES, MINUTES, AND SECONDS. DISTANCES OR ELEVATIONS SHOWN HEREON ARE IN U.S. SURVEY FEET, UNLESS NOTED OTHERWISE.
- UNDERGROUND IMPROVEMENTS IF ANY AND NOT VISIBLE AT THE TIME OF THE SURVEY, HAVE NOT BEEN LOCATED IN THE FIELD OR SHOWN HEREON.
- NOT ALL IMPROVEMENTS ON THE PARENT PARCEL BEING SURVEYED ARE SHOWN HEREON.
- WETLAND FLAGS SHOWN AS DELINEATED BY ILEX WETLAND CONSULTANTS ON 05/10/16, AND FIELD SURVEYED ON 05/28/17.

**REFERENCES**

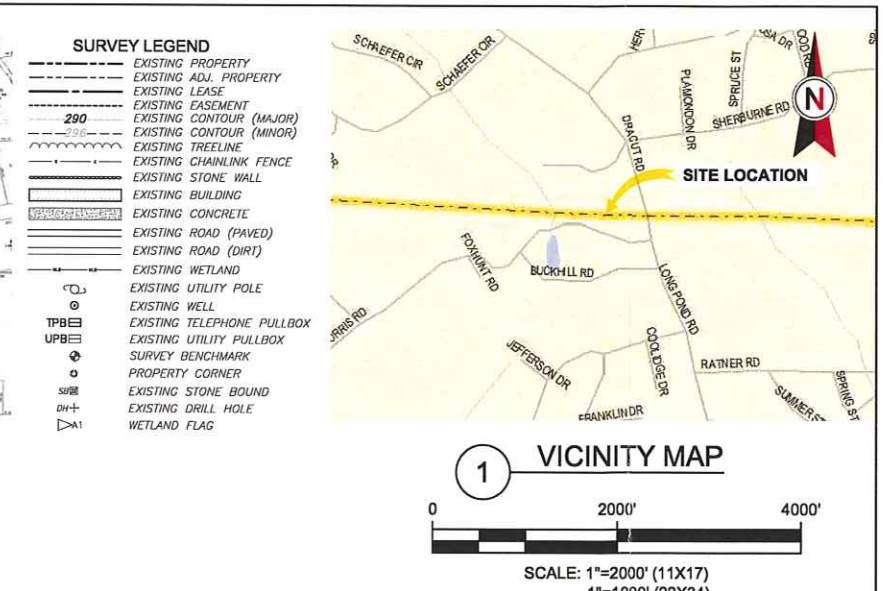
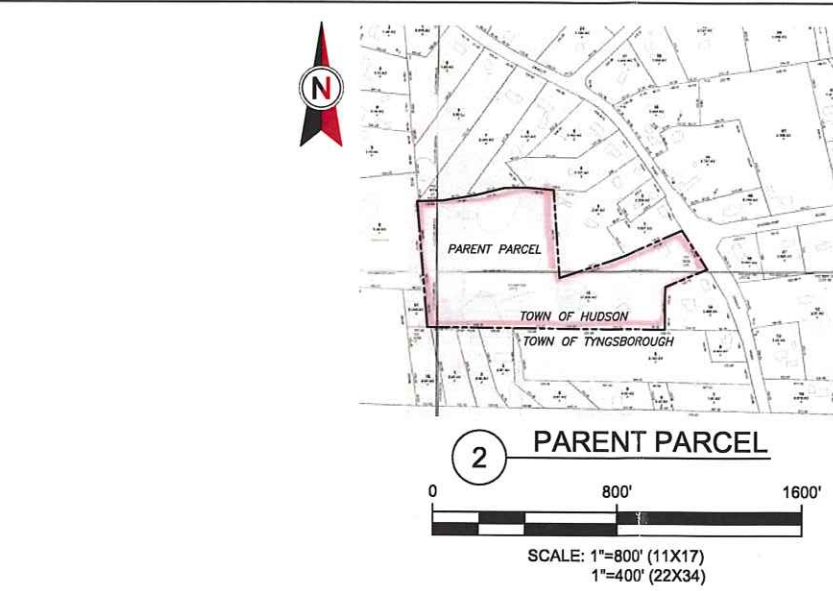
- DEED: BOOK 8643, PAGE 2424
- MAP ENTITLED: "SITE PLAN" PREPARED BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC ON 01/20/04.
- TITLE COMMITMENT PREPARED BY STEWART TITLE GUARANTY COMPANY AS TITLE NUMBER 153946NH, EFFECTIVE DATE 06/17/16 REVISED 06/01/16.

**LEGAL DESCRIPTION**

**PARENT PARCEL - AS PROVIDED:**  
 BEGINNING AT A POINT ON A STONE WALL AT THE SOUTHEASTERLY MOST CORNER OF THE PREMISES A DISTANCE OF 327.74 FEET WEST OF THE WEST SIDE OF DRACUT ROAD; THENCE NORTH 76-25-56 WEST A DISTANCE OF 86.24 FEET TO A HUB SET IN THE GROUND; THENCE NORTH 76-17-18 WEST A DISTANCE OF 252.32 FEET TO A POINT; THENCE NORTH 76-57-58 WEST A DISTANCE OF 147.87 FEET TO A STONE BOUND; THENCE NORTH 78-10-29 WEST A DISTANCE OF 115.43 FEET TO A HUB SET IN THE GROUND; THENCE 76-48-41 WEST A DISTANCE OF 428.15 FEET TO A HUB SET IN THE GROUND; THENCE TURNING AND RUNNING NORTH 08-13-30 EAST A DISTANCE OF 160.05 FEET TO A DRILL HOLE; THENCE NORTH 07-23-28 EAST A DISTANCE OF 99.73 FEET TO A DRILL HOLE; THENCE NORTH 07-34-33 EAST A DISTANCE OF 289.93 FEET TO A DRILL HOLE; THENCE TURNING AND RUNNING SOUTH 81-15-45 EAST A DISTANCE OF 118.84 FEET TO A DRILL HOLE; THENCE SOUTH 07-09-15 EAST A DISTANCE OF 137.96 FEET TO A POINT; THENCE NORTH 85-21-19 EAST A DISTANCE OF 127.02 FEET TO A POINT; THENCE SOUTH 78-30-00 EAST A DISTANCE OF 94.27 FEET TO A POINT; THENCE SOUTH 72-17-17 EAST A DISTANCE OF 118.73 FEET TO AN IRON PIPE SET IN THE GROUND; THENCE TURNING AND RUNNING SOUTH 09-21-58 WEST A DISTANCE OF 386.78 FEET TO A STONE BOUND; THENCE TURNING AND RUNNING NORTH 83-41-23 EAST A DISTANCE OF 304.05 FEET TO A STONE BOUND; THENCE NORTH 78-50-30 EAST A DISTANCE OF 301.68 FEET TO A STONE POST AT THE NORTHEASTERLY MOST CORNER OF THE PREMISES ON THE WEST SIDE OF DRACUT ROAD; THEN SOUTH 17-35-40 EAST A DISTANCE OF 220.85 FEET TO A POINT; THENCE A DISTANCE OF 36.58 FEET ALONG A CURVE HAVING A RADIUS OF 25 FEET TO A POINT; THENCE SOUTHWESTERLY A DISTANCE OF 193.153 FEET ALONG A LOT DESIGNATED AS LOT 2292-01 IN A PLAN HERINAFTER MENTIONED TO A POINT; THENCE TURNING AND RUNNING SOUTHERLY A DISTANCE OF 184.76 FEET ALONG SAID LOT 2292-01 IN A PLAN HERINAFTER MENTIONED TO THE POINT OF BEGINNING. THESE BOUNDARIES ENCLOSE AN AREA OF 11.816 ACRES.

**ATC LEASE AREA - AS SURVEYED (PROPOSED):**  
 BEGINNING AT A POINT WHOSE STATE PLANE COORDINATE IS 73059.61 NORTH AND 1058090.81 EAST; RUNNING THENCE NORTH 90°00'00" WEST FOR A DISTANCE OF 100.00 FEET TO A POINT; THENCE NORTH 00°00'00" EAST FOR A DISTANCE OF 100.00 FEET TO A POINT; THENCE NORTH 90°00'00" EAST FOR A DISTANCE OF 100.00 FEET TO A POINT; THENCE SOUTH 00°00'00" EAST FOR A DISTANCE OF 100.00 TO THE POINT OF BEGINNING.

**ACCESS & UTILITY EASEMENT - AS SURVEYED (PROPOSED):**  
 BEGINNING AT A POINT WHOSE STATE PLANE COORDINATE IS 73342.09 NORTH AND 1058798.81 EAST SAID POINT BEING ON THE WESTERLY SIDELINE OF DRACUT ROAD; RUNNING THENCE SOUTH 68°55'29" WEST FOR A DISTANCE OF 91.88 FEET TO A POINT; THENCE SOUTH 66°40'56" WEST FOR A DISTANCE OF 60.76 FEET TO A POINT; THENCE SOUTH 62°27'11" WEST FOR A DISTANCE OF 86.80 FEET TO A POINT; THENCE SOUTH 61°15'39" WEST FOR A DISTANCE OF 21.56 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 70.00 FEET WITH AN ARC LENGTH OF 19.51 FEET TO A POINT; THENCE SOUTH 45°17'20" WEST FOR A DISTANCE OF 35.42 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 160.00 FEET WITH AN ARC LENGTH OF 112.76 FEET TO A POINT; THENCE SOUTH 85°39'59" WEST FOR A DISTANCE OF 140.10 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 35.00 FEET WITH AN ARC LENGTH OF 11.18 FEET TO A POINT; THENCE SOUTH 67°21'48" WEST FOR A DISTANCE OF 88.48 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 65.00 FEET WITH AN ARC LENGTH OF 25.68 FEET TO A POINT; THENCE NORTH 90°00'00" WEST FOR A DISTANCE OF 72.16 FEET TO A POINT ON THE EASTERLY SIDELINE OF THE PROPOSED ATC LEASE AREA; THENCE ALONG THE EASTERLY SIDELINE OF THE PROPOSED ATC LEASE AREA NORTH 0°00'00" EAST FOR A DISTANCE OF 30.00 FEET TO A POINT; THENCE NORTH 90°00'00" EAST FOR A DISTANCE OF 72.16 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 35.00 FEET WITH AN ARC LENGTH OF 13.83 FEET TO A POINT; THENCE NORTH 67°21'48" EAST FOR A DISTANCE OF 88.48 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 65.00 FEET WITH AN ARC LENGTH OF 20.76 FEET TO A POINT; THENCE NORTH 85°39'59" EAST FOR A DISTANCE OF 140.10 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 130.00 FEET WITH AN ARC LENGTH OF 91.61 FEET TO A POINT; THENCE NORTH 45°17'20" EAST FOR A DISTANCE OF 35.42 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 100.00 FEET WITH AN ARC LENGTH OF 27.88 FEET TO A POINT; THENCE NORTH 61°15'39" EAST FOR A DISTANCE OF 21.87 FEET TO A POINT; THENCE NORTH 62°27'11" EAST FOR A DISTANCE OF 88.21 FEET TO A POINT; THENCE NORTH 66°40'56" EAST FOR A DISTANCE OF 62.46 FEET TO A POINT; THENCE NORTH 68°55'29" EAST FOR A DISTANCE OF 85.80 FEET TO A POINT ON THE WESTERLY SIDELINE OF DRACUT ROAD; THENCE ALONG THE WESTERLY SIDELINE OF DRACUT ROAD SOUTH 33°36'6" EAST FOR A DISTANCE OF 30.73 FEET TO A POINT; THENCE TO THE POINT OF BEGINNING.



**NOTES CORRESPONDING TO TITLE COMMITMENT**

THE TITLE COMMITMENT PREPARED BY STEWART TITLE GUARANTY COMPANY AS TITLE NUMBER 153946NH, EFFECTIVE DATE 06/17/16 REVISED 06/01/16 CONTAINS THE FOLLOWING SURVEY RELATED ITEMS.

- SUBJECT TO NOTICE OF CONDEMNATION PROPERTY OWNED BY, LUDWIK S. GIZA, JR. AND MARTHA E. GIZA AND UNION NATIONAL BANK, DATED APRIL 30, 1981 AND FILED ON MAY 4, 1981 IN BOOK 2838 AT PAGE 604 OF THE OFFICIAL PROPERTY RECORDS OF HILLSBOROUGH COUNTY, NEW HAMPSHIRE. RIGHT OF WAY AS SHOWN HEREON. SLOPE EASEMENT NOT PLOTTABLE.

**ZONING SETBACK REQUIREMENTS**

ZONE DISTRICT:	R-2	G-1
MINIMUM LOT AREA (SQ. FT.)	43,560	87,120
WITH TOWN WATER & SEWER	60,000	87,120
MINIMUM LOT FRONTAGE (LINEAR FT.)	120	200
LOCAL ROADWAYS WITH TOWN WATER AND SEWER	150	200
ARTERIAL AND COLLECTOR ROADWAYS	50/15/15	50/15/15
BUILDING SETBACK REQUIREMENTS (FT.)	30/15/15	30/15/15
LOCAL ROADWAYS		

**PLANNING BOARD**

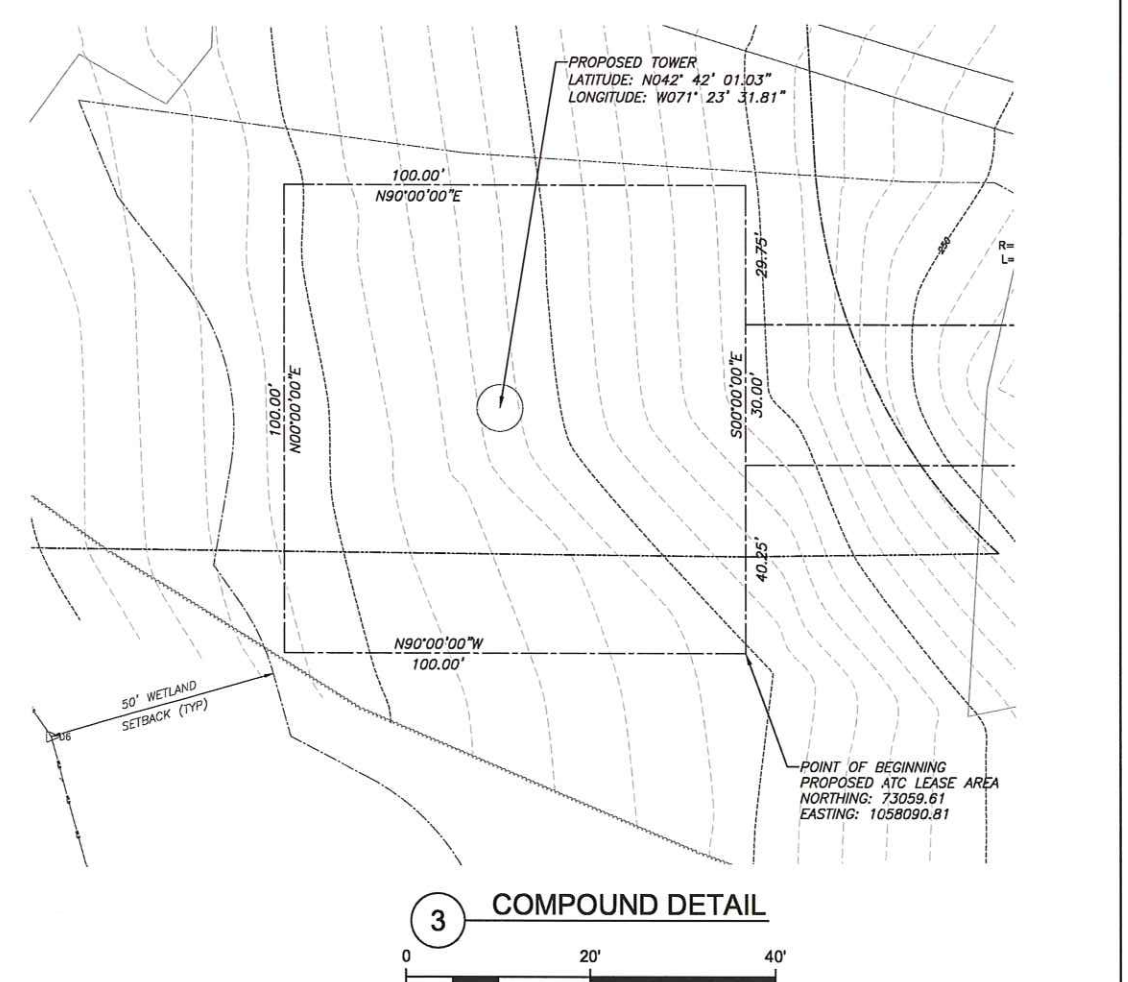
APPROVED BY THE HUDSON PLANNING BOARD  
 DATE OF MEETING: \_\_\_\_\_  
 PLANNING BOARD: \_\_\_\_\_  
 CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVED FINAL APPROVAL.

**LANDLORD APPROVAL**

PURSUANT TO THE SITE REVIEW REGULATIONS OF HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

PROPERTY OWNER:  
 TOM W. & ROSA C. CHAN, JOSHUA M. & KRISTINE C. WILLETT  
 143 DRACUT ROAD  
 HUDSON, NH 03051

LANDLORD SIGNATURE: \_\_\_\_\_



**AMERICAN TOWER®**  
**ATC TOWER SERVICES, INC**  
 3533 REGENCY PARKWAY  
 SUITE 133  
 CARY, NC 27551  
 PHONE: (919) 468-0145  
 COA: D-0204

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REV.	DESCRIPTION	BY	DATE
6	REVISED ACCESS AND LEASE	FW	07/06/17
7	PER COMMENTS	FW	08/01/17
8	PER COMMENTS	FW	08/02/17

ATC SITE NUMBER:  
**202096**

ATC SITE NAME:  
**HUDSON NH**

SITE ADDRESS:  
 143 DRACUT ROAD  
 HUDSON, NEW HAMPSHIRE 03051

**SURVEY CERTIFICATE:**  
 I HEREBY CERTIFY TO THE INDIVIDUALS LISTED THAT THIS SURVEY MAP IS BASED ON A FIELD SURVEY COMPLETED UNDER MY IMMEDIATE SUPERVISION, AND IT CONFORMS TO THE "LAND SURVEYING PRACTICE GUIDELINES" APPROVED BY THE NEW HAMPSHIRE STATE BOARD FOR ENGINEERING AND LAND SURVEYING.

**AMERICAN TOWER CORPORATION**  
 I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND, WITH A MINIMUM ACCURACY REQUIREMENTS OF 1:15,000 ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.



**SURVEY LOGO:**

**TECTONIC**  
 Practical Solutions, Exceptional Service

Tectonic Engineering & Surveying  
 Consultants P.C.  
 1279 Route 300  
 Hillsborough, NH 03050  
 Phone: (603) 587-6656  
 Fax: (603) 587-8703  
 www.tectonicengineering.com

DRAWN BY: SA  
 APPROVED BY: FHW  
 DATE DRAWN: 12/16/16  
 ATC JOB NO: 202096

**COMPOUND DETAIL & DESCRIPTIONS**

SHEET NUMBER: **V-101** REVISION: **6**





**AMERICAN TOWER®**  
**ATC TOWER SERVICES, INC**  
 3533 REGENCY PARKWAY  
 SUITE 133  
 CARY, NC 27551  
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REV.	DESCRIPTION	BY	DATE
6	REVISED ACCESS AND LEASE	FW	07/06/17
7	PER COMMENTS	FW	08/01/17
8	PER COMMENTS	FW	08/02/17

ATC SITE NUMBER:  
**202096**  
 ATC SITE NAME:  
**HUDSON NH**  
 SITE ADDRESS:  
 143 DRACUT ROAD  
 HUDSON, NEW HAMPSHIRE 03051

**SURVEY CERTIFICATE:**  
 I HEREBY CERTIFY TO THE INDIVIDUALS LISTED THAT THIS SURVEY MAP IS BASED ON A FIELD SURVEY COMPLETED UNDER MY IMMEDIATE SUPERVISION, AND IT CONFORMS TO THE "LAND SURVEYING PRACTICE GUIDELINES" APPROVED BY THE NEW HAMPSHIRE STATE BOARD FOR ENGINEERING AND LAND SURVEYING.

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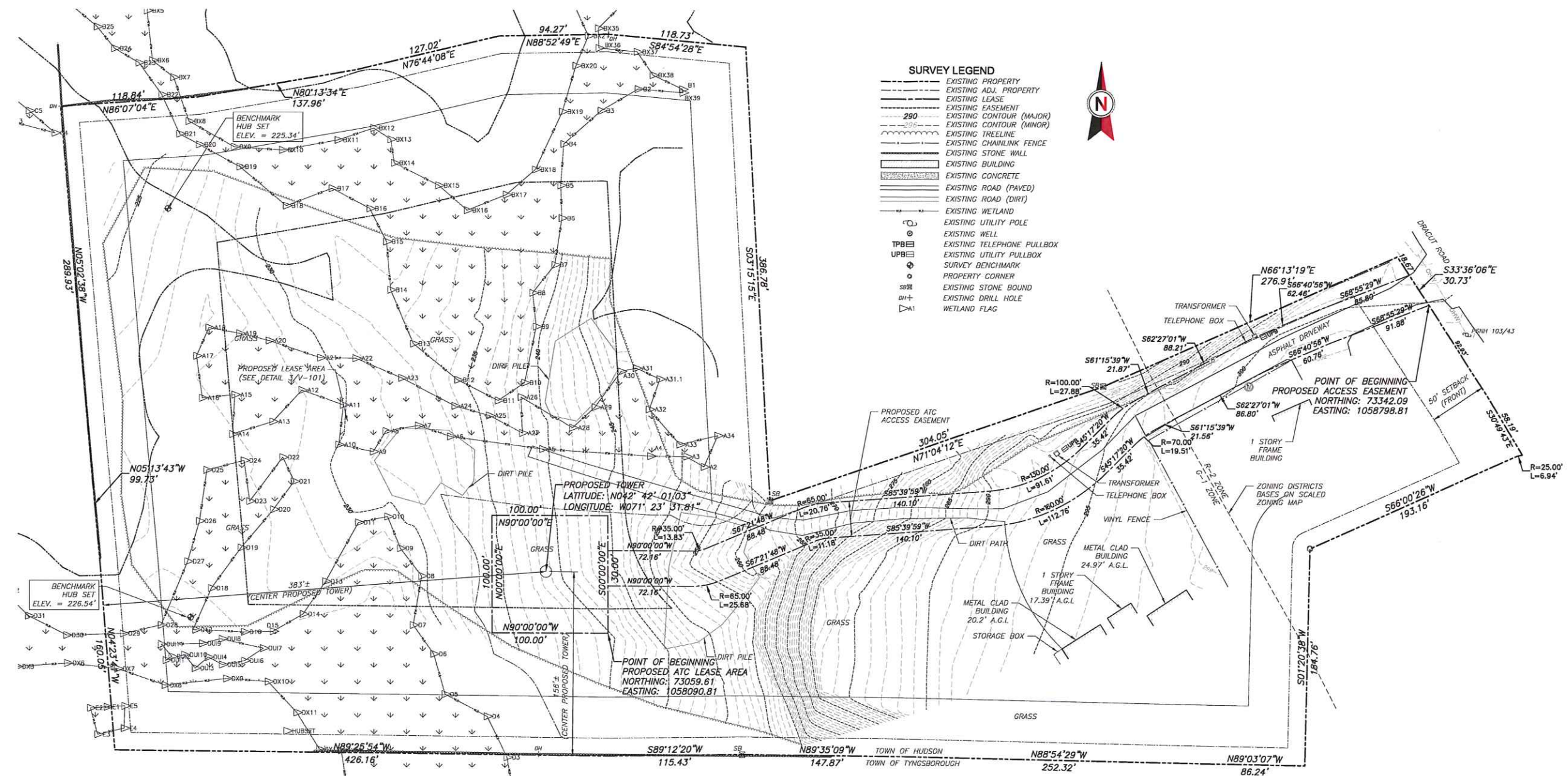
**SURVEY LOGO:**

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 Consultants P.C.  
 1279 Route 300  
 Newburgh, NY 12550  
 Phone: (845) 567-6656  
 Fax: (845) 567-8703  
 www.tectonicengineering.com

DRAWN BY:	SA
APPROVED BY:	FHW
DATE DRAWN:	12/16/16
ATC JOB NO:	202096

**EXISTING CONDITIONS**

SHEET NUMBER: **V-102**      REVISION: **6**



**4 EXISTING CONDITIONS PLAN**

0 100' 200'

SCALE: 1"=100' (11X17)  
 1"=50' (22X34)

**PLANNING BOARD**

APPROVED BY THE HUDSON PLANNING BOARD  
 DATE OF MEETING: \_\_\_\_\_  
 PLANNING BOARD:  
 CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVED FINAL APPROVAL.

**LANDLORD APPROVAL**

PURSUANT TO THE SITE REVIEW REGULATIONS OF HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

PROPERTY OWNER:  
 TOM W. & ROSA C. CHAN; JOSHUA M. & KRISTINE C. WILLET  
 143 DRACUT ROAD  
 HUDSON, NH 03051

LANDLORD SIGNATURE: \_\_\_\_\_

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ZONING INFORMATION		
PARCEL SPANS TWO DISTRICTS: G-1 (GENERAL 1) - TOWER LOCATION R-2 (RESIDENTIAL 2)		
MIN AREA:	REQUIRED:	PROPOSED:
MAX HEIGHT:	2 ACRES	11.81 ACRES
MIN FRONTAGE:	N/A	155' A.G.L.
MIN DEPTH:	N/A	N/A
MIN FRONT YARD SETBACK:	NONE	N/A
MIN SIDE YARD SETBACK:	30'	202±
MIN REAR YARD SETBACK:	15'	156±
		385±

**NOTES:**

1. FIELD SURVEY DATE: 12/22/2016
2. ADJOINERS TAKEN FROM THE TOWN OF HUDSON GIS MAPPING & THE PARENT TRACT WAS OBTAINED FROM THE TECTONIC SURVEY.

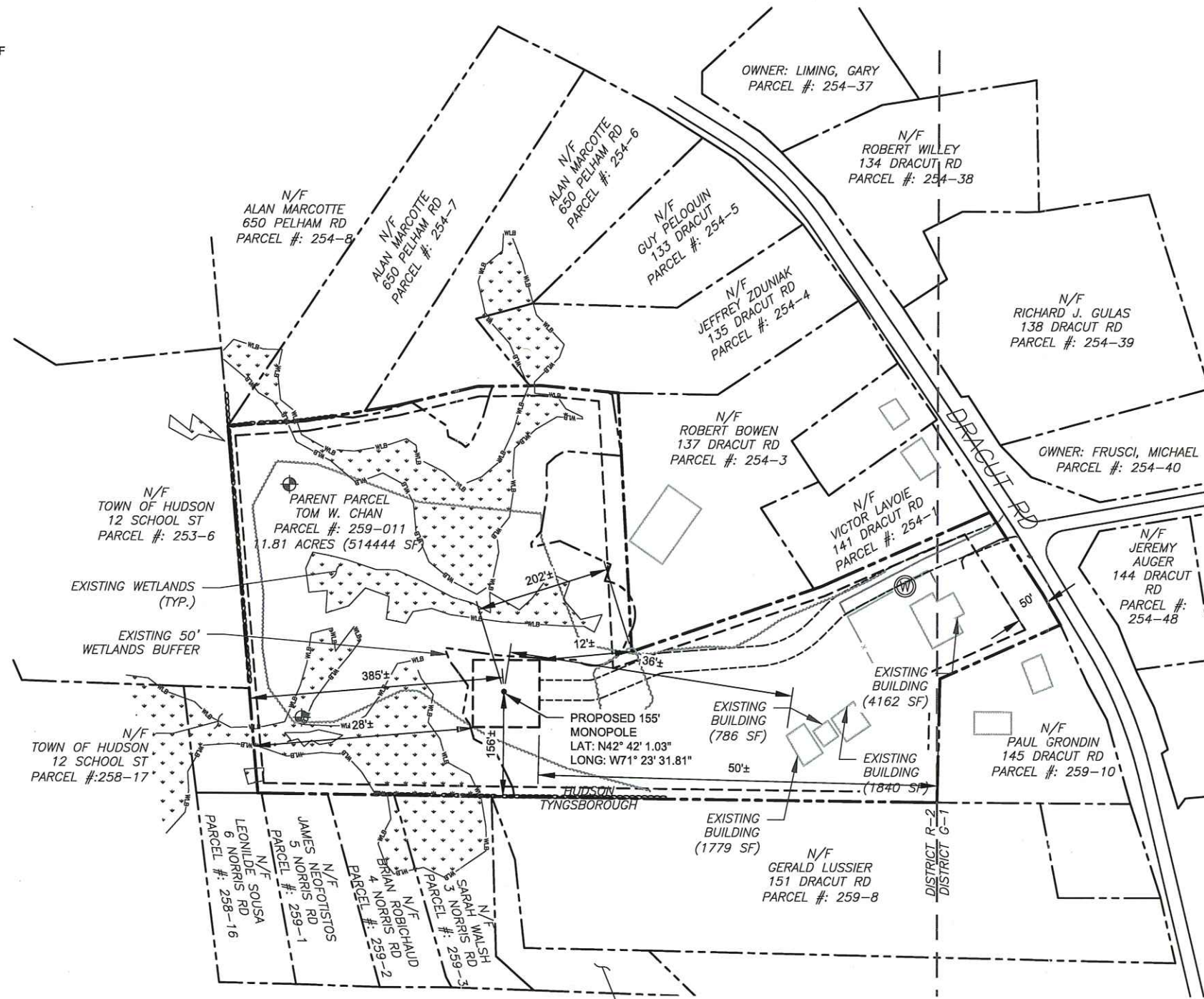


PARENT PARCEL  
TOM W. CHAN  
PARCEL #: 259-011  
11.81 ACRES  
(514444 SF)

1 GIS PARCEL IMAGE

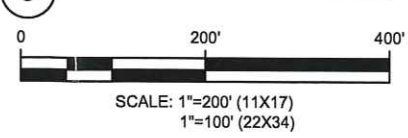


2 ZONING BOUNDARY  
NOT TO SCALE



**LOT COVERAGE NOTES:**  
1. GREEN AREA: 4.89 ACRES (41.4% OF PARCEL)  
2. OPEN SPACE: 6.92 ACRES (58.5% OF PARCEL)

3 OVERALL SITE PLAN



**SURVEY LEGEND**

---	EXISTING PROPERTY
- - -	EXISTING ADJ. PROPERTY
---	EXISTING SETBACK
---XXX---	EXISTING CONTOUR (MAJOR)
---XXX---	EXISTING CONTOUR (MINOR)
~~~~~	EXISTING TREELINE
▨	EXISTING BUILDING
=====	EXISTING ROAD (STONE)
=====	EXISTING ROAD (PAVED)
-----	EXISTING STONE WALL
⊙	EXISTING WELL
⊕	SURVEY BENCHMARK
---	PROPOSED LEASE AREA
---	PROPOSED EASEMENT

APPROVED BY THE HUDSON, NH PLANNING BOARD  
DATE OF MEETING \_\_\_\_\_  
PLANNING BOARD:  
CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.  
PROPERTY OWNER:  
TOM W. & ROSA C. CHAN  
143 DRAUT ROAD  
HUDSON, NH 03051  
LANDLORD SIGNATURE: \_\_\_\_\_

**AMERICAN TOWER®**  
dba SPECIALTY TOWER SERVICES  
3500 REGENCY PARKWAY  
SUITE 100  
CARY, NC 27518  
PHONE: (919) 468-0112  
COA: 1571

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REV.	DESCRIPTION	BY	DATE
0	FOR PERMITTING	NRP	03/08/17
1	MOVED COMPOUND/ROAD	NRP	07/05/17
2	ZONING COMMENTS	NRP	07/10/17

ATC SITE NUMBER:  
**202096**  
ATC SITE NAME:  
**HUDSON 3 NH**  
SITE ADDRESS:  
143 DRACUT RD  
HUDSON, NH 33011

SEAL:

Aug 3 2017 4:10 PM cosign

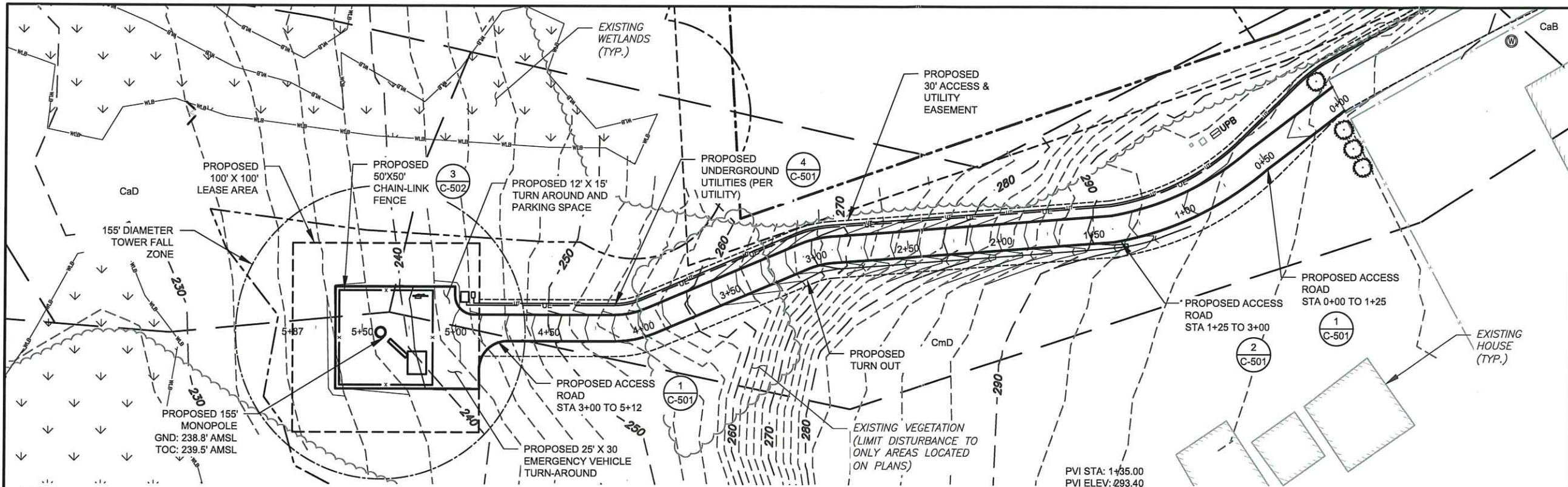
DRAWN BY:	NRP
APPROVED BY:	PPB
DATE DRAWN:	03/08/17
ATC JOB NO:	12028632

**OVERALL SITE PLAN**

SHEET NUMBER:	REVISION:
<b>C-101</b>	<b>2</b>

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NOTES:  
 1. NO EXTERNAL LIGHTING IS PROPOSED.  
 2. SNOW REMOVAL OPERATIONS WILL NOT BE AFFECTED BY THE PROPOSED STEEP SLOPE OF THE DRIVEWAY.

CUT/FILL VOLUMES	CUT (yd <sup>3</sup> )	FILL (yd <sup>3</sup> )	NET (yd <sup>3</sup> )	
COMPOUND	52	108	56	FILL
ACCESS ROAD	151	287	136	FILL
			192	FILL

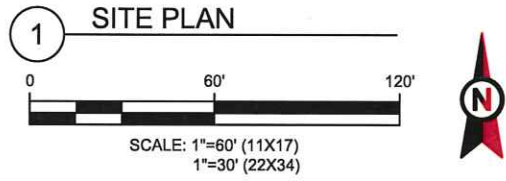
STONE REQUIRED FOR ROAD	AVE STONE DEPTH (in)	WIDTH (feet)	LENGTH (feet)	STONE IMPORT (yd <sup>3</sup> )	STONE IMPORT (TONS)
ROAD COARSE	6	14	512	132.7	180.7
COMPOUND	6	51	51	48.2	65.6
TURN-AROUND	6	12	15	3.3	4.5
			TOTAL	184.2	250.8

\* CUT / FILL CALCULATIONS ARE APPROXIMATE. THE AMOUNT OF TOPSOIL THAT WILL NEED TO BE REMOVED AND THE COMPACTION AND SHRINKAGE FACTORS WILL VARY BASED ON SITE CONDITIONS.  
 \* AMOUNT OF STONE TO IMPORT IS APPROXIMATE. THE CONTRACTOR SHALL FOLLOW THE DETAILS ON THE PLANS TO THE APPROPRIATE STONE DEPTHS

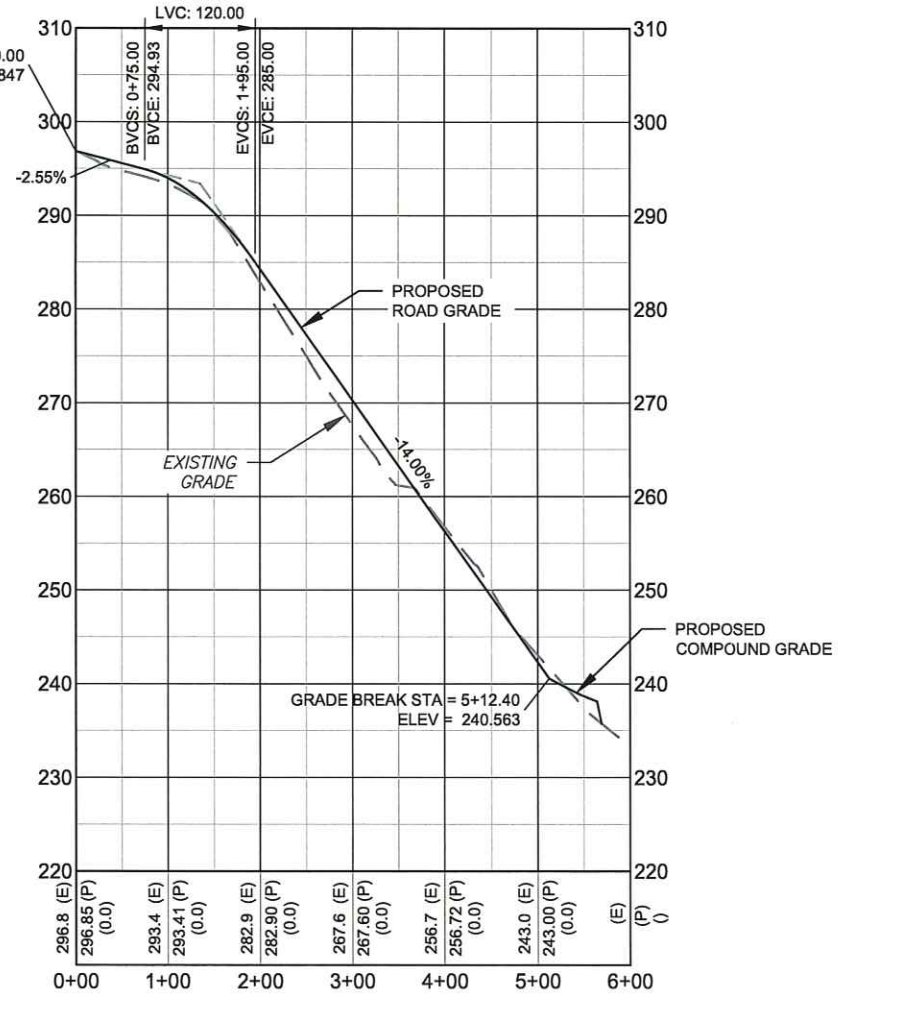
SOIL CLASSIFICATIONS:  
 CaD-CANTON FINE SANDY LOAM (15-25% SLOPES)  
 CaB-CANTON FINE SANDY LOAM (0-8% SLOPES)  
 CmD-CANTON FINE SANDY LOAM, VERY STONY (15-25% SLOPES)

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.  
 PROPERTY OWNER:  
 TOM W. & ROSA C. CHAN  
 143 DRAUT ROAD  
 HUDSON, NH 03051  
 LANDLORD SIGNATURE: \_\_\_\_\_

APPROVED BY THE HUDSON, NH PLANNING BOARD  
 DATE OF MEETING \_\_\_\_\_  
 PLANNING BOARD:  
 CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
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- SURVEY LEGEND**
- EXISTING PROPERTY
  - EXISTING ADJ. PROPERTY
  - EXISTING SETBACK
  - XXX--- EXISTING CONTOUR (MAJOR)
  - XXX--- EXISTING CONTOUR (MINOR)
  - EXISTING TREELINE
  - EXISTING BUILDING
  - EXISTING ROAD (STONE)
  - EXISTING ROAD (PAVED)
  - EXISTING STONE WALL
  - ⊙ EXISTING WELL
  - ⊕ SURVEY BENCHMARK
  - PROPOSED LEASE AREA
  - PROPOSED EASEMENT
  - PROPOSED ACCESS ROAD
  - XXX--- PROPOSED CONTOUR (MINOR)
  - XXX--- PROPOSED CONTOUR (MAJOR)
  - LOD--- PROPOSED LOD
  - PROPOSED ROCK CONSTRUCTION ENTRANCE
  - x--- PROPOSED FENCE
  - UE--- PROPOSED UG POWER
  - UT--- PROPOSED UG TELCO
  - SF--- PROPOSED SILT FENCE



**2 ROAD PROFILE**  
 SCALE: 1"=20' (11X17) VERT. 1"=100' (22X34) HORIZ.  
 1"=20' (11X17) VERT. 1"=100' (22X34) HORIZ.

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REV.	DESCRIPTION	BY	DATE
1	FOR PERMITTING	NRP	03/08/17
2	MOVED COMPOUND/ROAD	NRP	07/05/17
3	ZONING COMMENTS	NRP	07/10/17

ATC SITE NUMBER:  
**202096**  
 ATC SITE NAME:  
**HUDSON 3 NH**  
 SITE ADDRESS:  
 143 DRACUT RD  
 HUDSON, NH 33011

SEAL:

Aug 3 2017 4:10 PM cosign

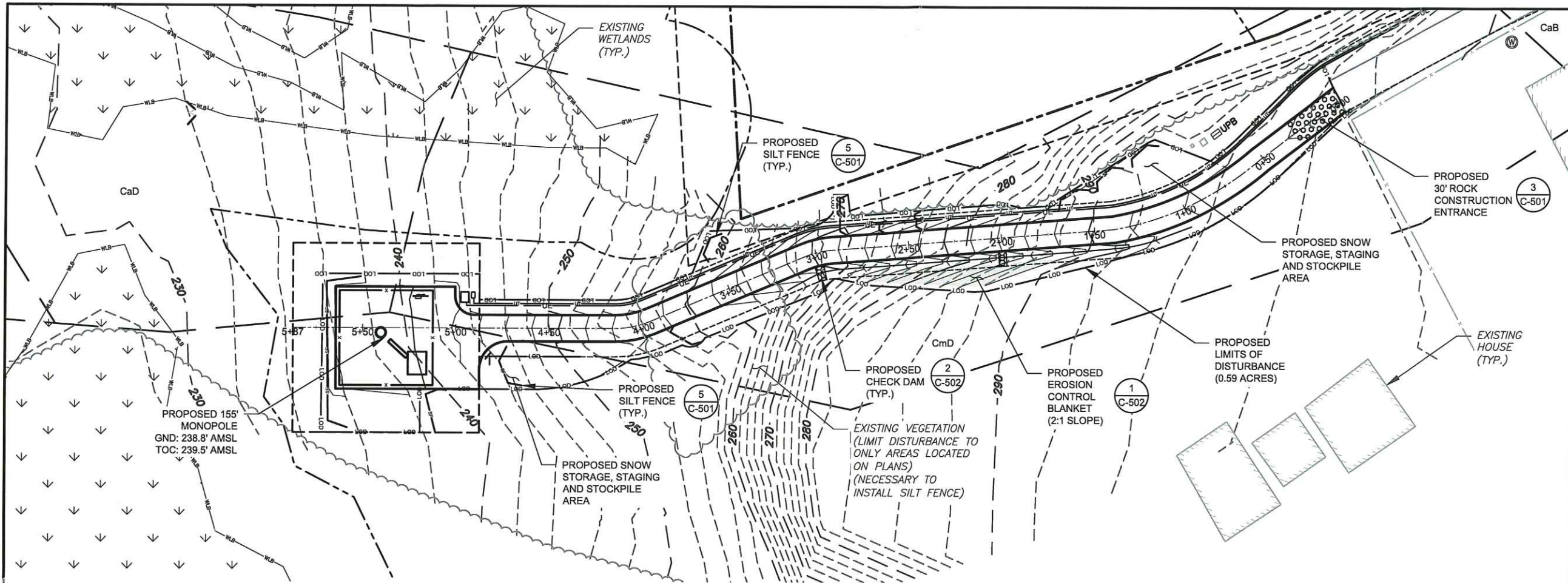
DRAWN BY:	NRP
APPROVED BY:	PPB
DATE DRAWN:	03/08/17
ATC JOB NO:	12028632

**SITE PLAN & PROFILE**

SHEET NUMBER: **C-401** REVISION: **2**

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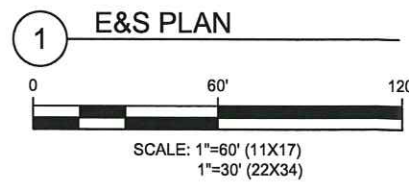
NOTES:  
 1. MAX WATER FLOW THROUGH DITCH (Qmax) IS 0.71 CFS.

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 HUDSON, NH 03051

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SURVEY LEGEND

---	EXISTING PROPERTY
- - -	EXISTING ADJ. PROPERTY
- - - -	EXISTING SETBACK
-XXX-	EXISTING CONTOUR (MAJOR)
- - - -	EXISTING CONTOUR (MINOR)
~ ~ ~	EXISTING TREELINE
[Hatched Box]	EXISTING BUILDING
[Double Line]	EXISTING ROAD (STONE)
[Double Line]	EXISTING ROAD (PAVED)
[Dashed Line]	EXISTING STONE WALL
⊙	EXISTING WELL
⊕	SURVEY BENCHMARK
- - - -	PROPOSED LEASE AREA
- - - -	PROPOSED EASEMENT
[Thick Line]	PROPOSED ACCESS ROAD
-XXX-	PROPOSED CONTOUR (MINOR)
-XXX-	PROPOSED CONTOUR (MAJOR)
-LOD- LOD-	PROPOSED LOD
[Dotted Box]	PROPOSED ROCK CONSTRUCTION ENTRANCE
-x-x-	PROPOSED FENCE
-UE-	PROPOSED UG POWER
-UT-	PROPOSED UG TELCO
-SF-SF-	PROPOSED SILT FENCE

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SEAL:

Aug 3 2017 4:10 PM *cosign*

DRAWN BY:	NRP
APPROVED BY:	PPB
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ATC JOB NO:	12028632

**EROSION & SEDIMENTATION CONTROL PLAN**

SHEET NUMBER: **C-402** REVISION: **2**

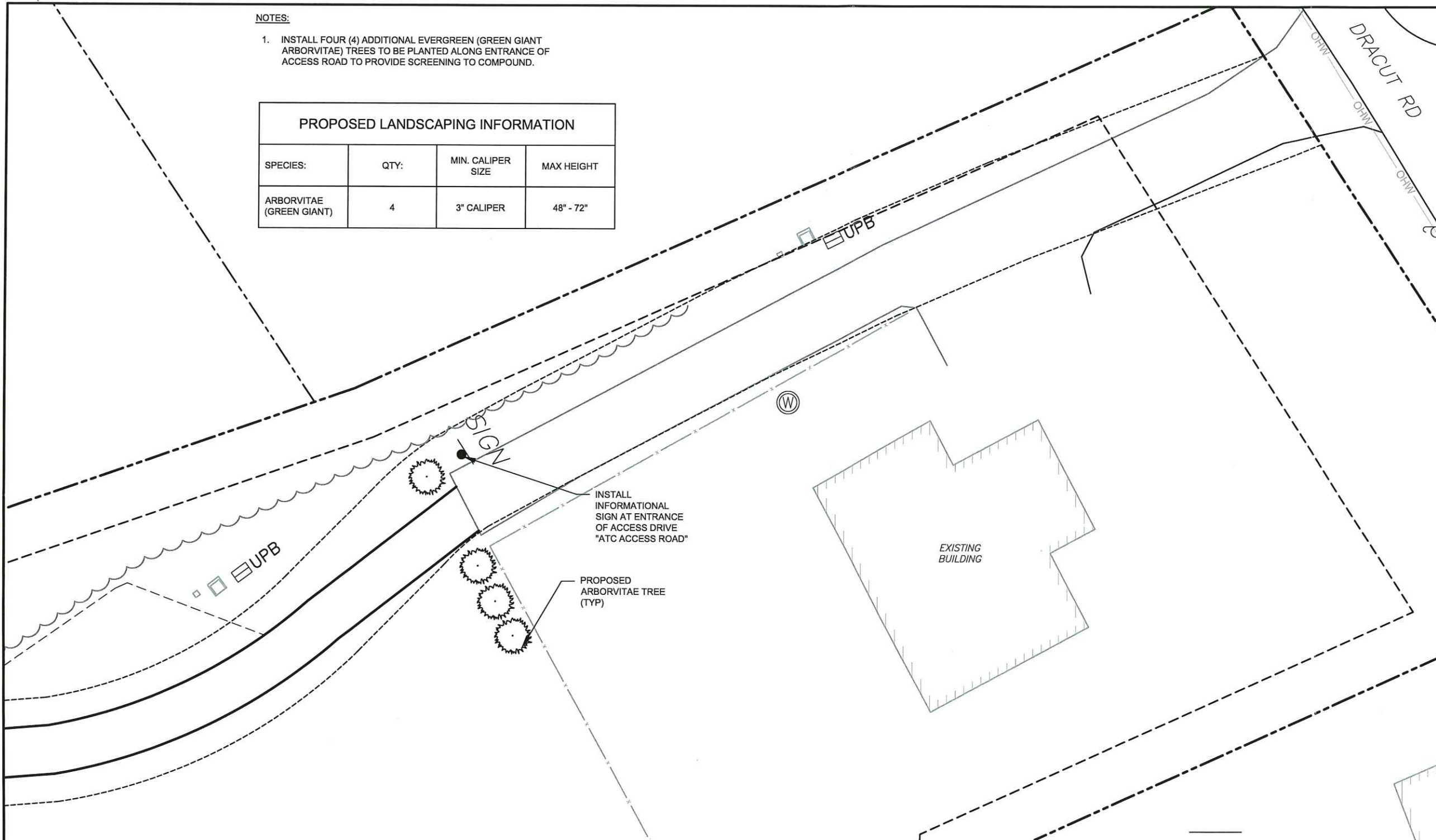
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**NOTES:**

1. INSTALL FOUR (4) ADDITIONAL EVERGREEN (GREEN GIANT ARBORVITAE) TREES TO BE PLANTED ALONG ENTRANCE OF ACCESS ROAD TO PROVIDE SCREENING TO COMPOUND.

PROPOSED LANDSCAPING INFORMATION			
SPECIES:	QTY:	MIN. CALIPER SIZE	MAX HEIGHT
ARBORVITAE (GREEN GIANT)	4	3" CALIPER	48" - 72"

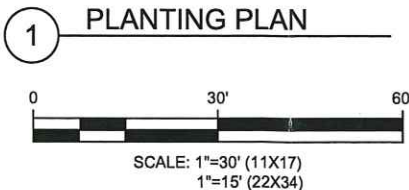


INSTALL INFORMATIONAL SIGN AT ENTRANCE OF ACCESS DRIVE "ATC ACCESS ROAD"

PROPOSED ARBORVITAE TREE (TYP)

EXISTING BUILDING

DRACUT RD



LEGEND  
 PROPOSED ARBORVITAE TREE



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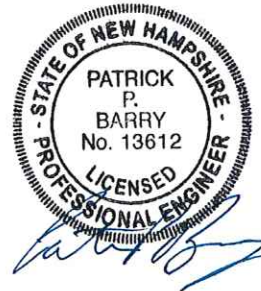
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DRAWN BY:	NRP
APPROVED BY:	PPB
DATE DRAWN:	03/08/17
ATC JOB NO:	12028632

**PLANTING PLAN**

SHEET NUMBER: **C-403** REVISION: **2**



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SEAL:



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DRAWN BY:	NRP
APPROVED BY:	PPB
DATE DRAWN:	03/08/17
ATC JOB NO:	12028632

**TOWER ELEVATION**

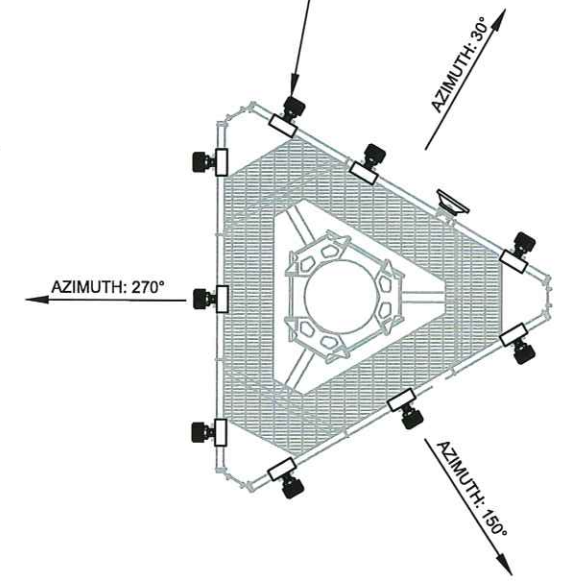
SHEET NUMBER: <b>C-404</b>	REVISION: <b>2</b>
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PROPOSED TOP OF TOWER  
 ELEV 155' A.G.L.  
 ELEV 394.5' AMSL

FINISHED GRADE  
 ELEV 238.8' AMSL

PROPOSED CARRIER ANTENNAS  
 RAD CENTER @ 151' A.G.L.

PROPOSED (9) PANEL ANTENNAS  
 WITH RRU'S (TYP.) (1) 25.7" MICROWAVE DISH

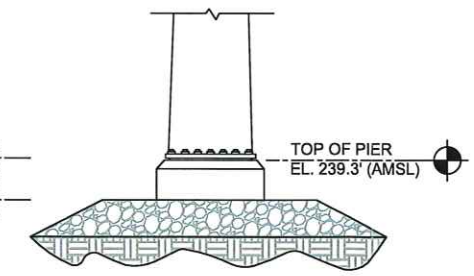


2 PROPOSED ANTENNA MOUNTING DETAIL (PLAN VIEW)  
 SCALE: NOT TO SCALE

**TOWER NOTES:**

1. INSTALL (3) 1-5/8" HYBRID CABLES INSIDE MONOPOLE.
2. NO LIGHTING IS REQUIRED BY FAA.

BOTTOM OF PLATE  
 EL. 239.5' (AMSL)  
 FINISHED GRADE  
 EL. 238.8' (AMSL)  
 TOP OF PIER  
 EL. 239.3' (AMSL)



3 TOWER BASE ELEVATION  
 SCALE: NOT TO SCALE

1 TOWER ELEVATION  
 SCALE: NOT TO SCALE

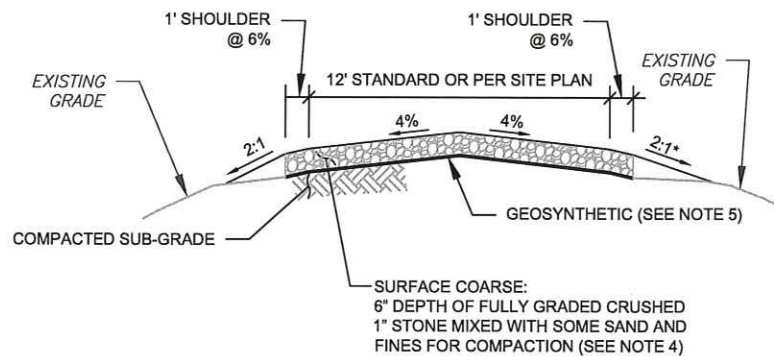
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**NOTES:**

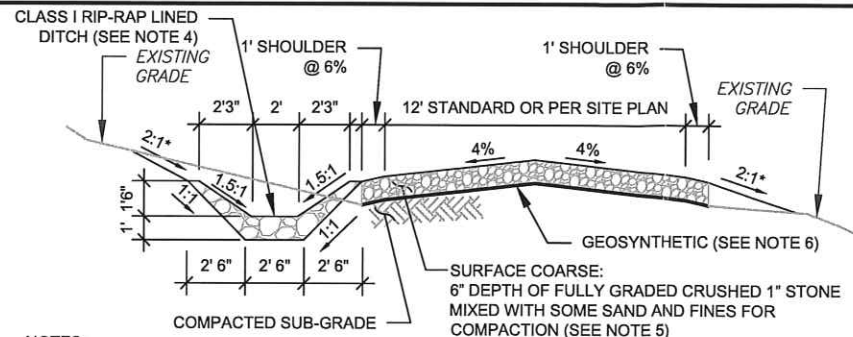
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2. TYPICAL ACCESS ROAD COMPACTION SHALL BE WITH SHEEPSFOOT ROLLER OR RUBBER TIED ROLLERS WEIGHING AT LEAST EIGHT TONS FOR BASE COURSE AND SMOOTH DRUM VIBRATOR ROLLERS FOR SURFACE COURSE/FINISH GRADE.
3. THE PREFERRED CUT AND FILL SLOPE IS 2:1, HOWEVER THE ENGINEER OF RECORD MAY REVISE THE CUT SLOPE TO 1:1 OR 1.5:1 IF CUT SLOPE IS ROCK OR WELL CEMENTED SOIL AND THE FILL SLOPE TO 3:1 OR GREATER IF THE FILL SLOPE IS POOR SOILS AND PRONE TO LANDSLIDES OR SEVERE EROSION
4. REFER TO SIEVE ANALYSIS IN ATC SPECIFICATIONS SECTION 312000 PART 2.1 SOIL MATERIALS FOR APPROVED GRADATION. COMMON REFERENCED NAMES ARE CRUSHER RUN, ABC, 2A, 2RC.
5. GEOSYNTHETIC: APPROVED PRODUCTS ARE US FABRICS: US 315 AND TENCATE: 160N. CONTRACTOR MAY SUBMIT DESIGN ALTERNATIVE AS OUTLINED IN THE AMERICAN TOWER MASTER SPECS.
6. GOOD SOIL CONDITIONS ARE FOR ROADS OVER SANDS, SILTY SANDS, GRAVEL, AND GLACIAL TILL OR DIRECTLY ON ROCK. VERY STIFF TO HARD SOIL FEEL CONDITIONS. CBR BETWEEN 4.0 TO 6.0.

**AMERICAN TOWER MASTER SPECIFICATION:**

1. DIVISION 31 EARTHWORK SECTION 0312000 FOR ACCESS ROADS AND EARTH WORK
2. DIVISION 31 EARTHWORK SECTION 0312500 FOR EROSION AND SEDIMENT CONTROLS

**1 STA 0+00 - 1+25; 3+00 - 5+12 CROWNED ROAD ON RIDGELINE**

SCALE: NOT TO SCALE



**NOTES:**

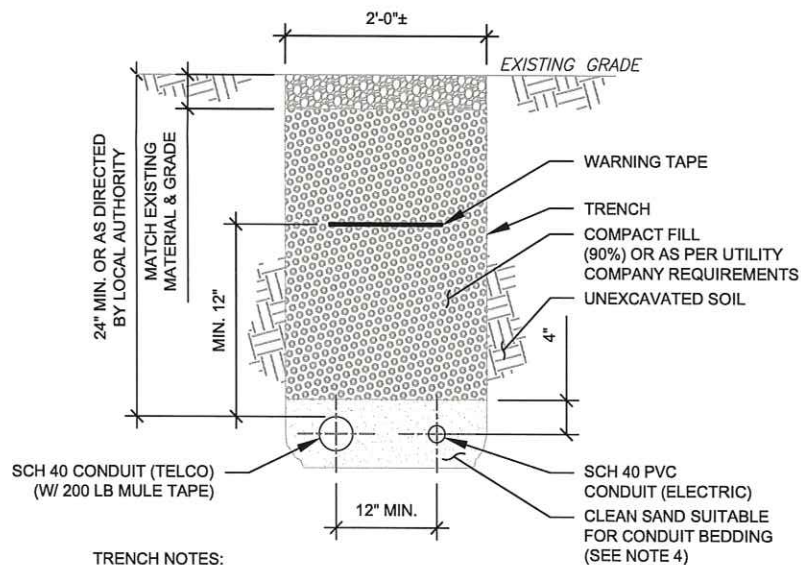
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4. DITCH
  - 4.1. 6" - 12" PER DOT SPECIFICATIONS
  - 4.2. THE DITCH SHALL BE INITIALLY OVER-EXCAVATED TO ALLOW FOR THE PLACEMENT OF RIP RAP.
  - 4.3. DITCH SHALL BE CONSTRUCTED FREE OF SEDIMENT, TREE ROOTS, STUMPS OR OTHER PROJECTIONS THAT WILL IMPEDE NORMAL CHANNEL FLOW AND/OR PREVENT GOOD LINING TO SOIL CONTACT.
5. REFER TO SIEVE ANALYSIS IN ATC SPECIFICATIONS SECTION 312000 PART 2.1 SOIL MATERIALS FOR APPROVED GRADATION. COMMON REFERENCED NAMES ARE CRUSHER RUN, ABC, 2A, 2RC.
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2. DIVISION 31 EARTHWORK SECTION 0312500 FOR EROSION AND SEDIMENT CONTROLS

**2 STA 1+25 - STA 3+00 CROWNED ROAD WITH RIP-RAP LINED DITCH**

SCALE: NOT TO SCALE

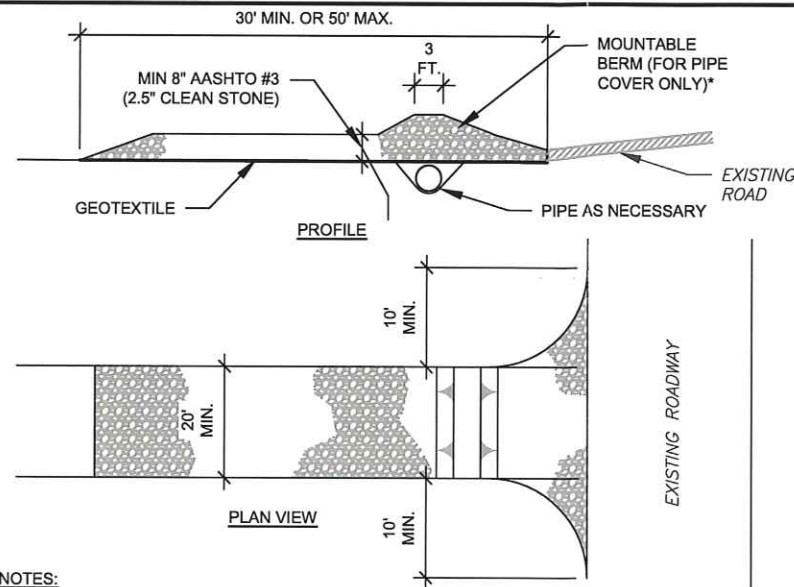


**TRENCH NOTES:**

1. IF FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL, EXCAVATED MATERIAL MAY BE USED FOR BACKFILL. IF NOT, PROVIDE CLEAN, COMPACTIBLE MATERIAL. COMPACT IN 8" LIFTS. REMOVE ANY LARGE ROCKS PRIOR TO BACKFILLING. CONTRACTOR TO VERIFY LOCATION OF EXISTING U/G UTILITIES PRIOR TO DIGGING.
2. IF CURRENT AS-BUILT DRAWINGS ARE NOT AVAILABLE CONTRACTOR SHALL HAND DIG U/G TRENCHING.
3. CONCRETE ENCASE CONDUIT IN MINIMUM 2" THICK ENVELOPE WHEN INSTALLING UNDER SITE ACCESS ROAD AND EXTEND 6" BEYOND ROAD.
4. CONFIRM SPACING AND DEPTH WITH NEC OR LOCAL CODE REQUIREMENTS

**4 TELCO AND POWER JOINT TRENCH CONDUIT**

SCALE: N.T.S.



**NOTES:**

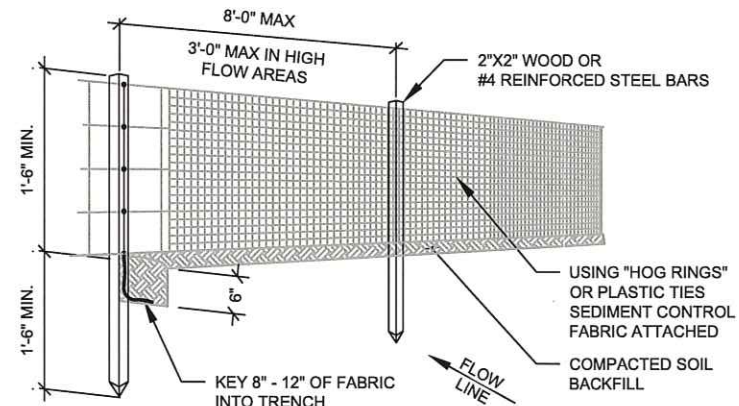
1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
3. MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
4. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY.

**AMERICAN TOWER MASTER SPECIFICATION:**

1. DIVISION 31 EARTHWORK SECTION 0312500 FOR EROSION AND SEDIMENT CONTROLS

**3 ROCK CONSTRUCTION ENTRANCE**

SCALE: NOT TO SCALE



**NOTES:**

1. FABRIC WIDTH SHALL BE 30 IN. MINIMUM. STAKES SHALL BE HARDWOOD OR EQUIVALENT STEEL STAKES.
2. SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE FENCE SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT.
3. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH HALF THE ABOVE GROUND HEIGHT OF THE FENCE.
4. ANY SECTION OF SILT FENCE WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE IMMEDIATELY REPLACED.
5. FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.

**AMERICAN TOWER MASTER SPECIFICATION:**

1. DIVISION 31 EARTHWORK SECTION 0312500 FOR EROSION AND SEDIMENT CONTROLS

**5 SILT FENCE DETAIL**

SCALE: NOT TO SCALE

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**ATC SITE NUMBER:**

202096

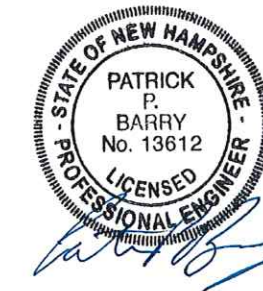
**ATC SITE NAME:**

HUDSON 3 NH

**SITE ADDRESS:**

143 DRACUT RD  
HUDSON, NH 33011

**SEAL:**



Aug 3 2017 4:10 PM cosign

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

PROPERTY OWNER:  
TOM W. & ROSA C. CHAN  
143 DRAUT ROAD  
HUDSON, NH 03051

LANDLORD SIGNATURE: \_\_\_\_\_

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING \_\_\_\_\_

PLANNING BOARD:

CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

DRAWN BY:	NRP
APPROVED BY:	PPB
DATE DRAWN:	03/08/17
ATC JOB NO:	12028632

**CONSTRUCTION DETAILS**

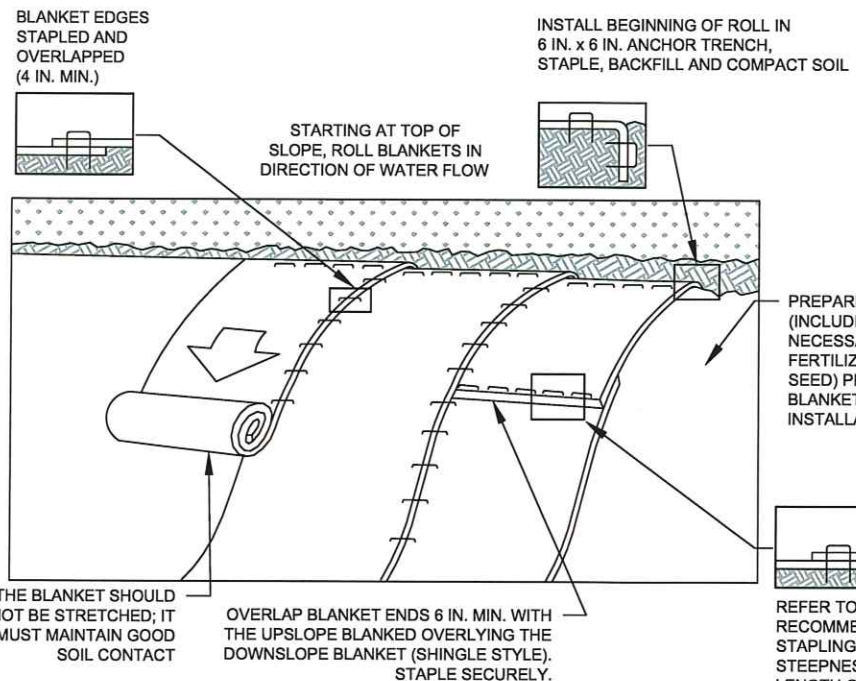
SHEET NUMBER:

C-501

REVISION:

2





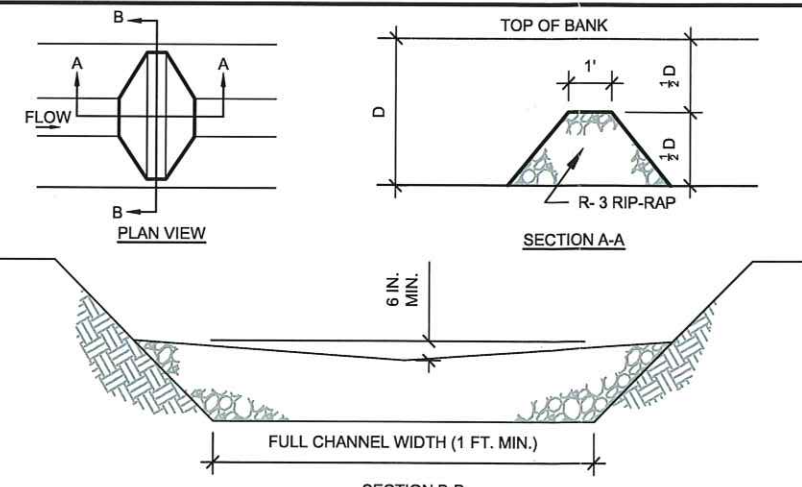
EROSION CONTROL BLANKET SPECIFICATIONS		
SLOPE	APPROVED MANUFACTURER	
2:1	NORTH AMERICAN GREEN S150	LANDLOK CS2

- SEQUENCE OF CONSTRUCTION**
1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECPS), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
  2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECPS IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF RECPS EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECPS WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO THE COMPACTED SOIL AND FOLD THE REMAINING 12" PORTION OF RECPS BACK OVER THE SEED AND COMPACTED SOIL. SECURE RECPS OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE RECPS.
  3. ROLL THE RECPS DOWN HORIZONTALLY ACROSS THE SLOPE. RECPS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECPS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
  4. THE EDGES OF PARALLEL RECPS MUST BE STAPLED WITH APPROXIMATELY 2" - 5" OVERLAP DEPENDING ON THE RECPS TYPE.
  5. CONSECUTIVE RECPS SPLICED DOWN THE SLOPE MUST BE END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE RECPS WIDTH.

- NOTES:**
1. PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.
  2. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.
  3. BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
  4. THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
  5. BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

**AMERICAN TOWER MASTER SPECIFICATION:**  
 1. DIVISION 31 EARTHWORK SECTION 0312500 FOR EROSION AND SEDIMENT CONTROLS

**1 EROSION CONTROL BLANKET STEEP SLOPES**  
 SCALE: NOT TO SCALE



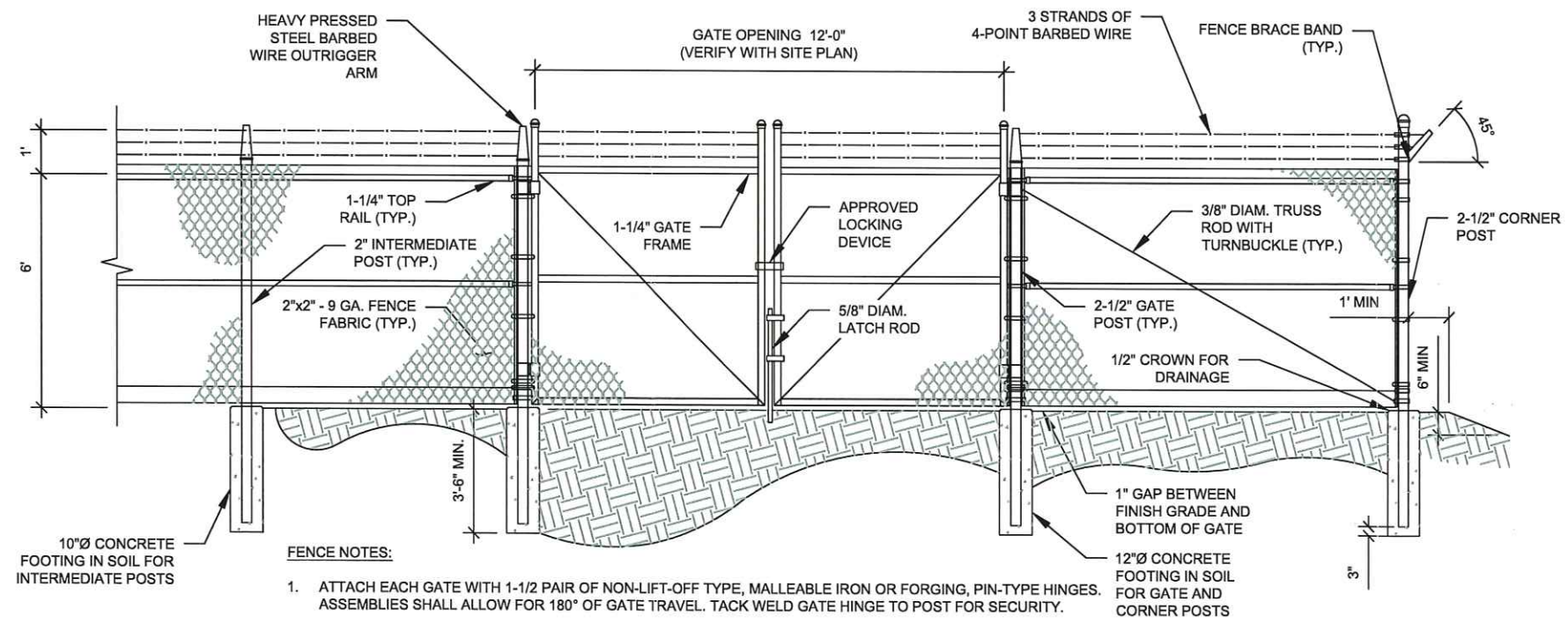
**SECTION B-B**

RECOMMENDED STONE CHECK DAM SPACING	
PERCENT SLOPE	SPACING (FT)
< 5%	N/A
5% - 10%	375
10% - 15%	250
> 15%	125

- NOTES:**
1. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE HEIGHT OF THE FILTERS.
  2. IMMEDIATELY UPON STABILIZATION OF EACH CHANNEL, REMOVE ACCUMULATED SEDIMENT, REMOVE ROCK FILTER, AND STABILIZE DISTURBED AREAS.

**AMERICAN TOWER MASTER SPECIFICATION:**  
 1. DIVISION 31 EARTHWORK SECTION 0312500 FOR EROSION AND SEDIMENT CONTROLS

**2 STONE CHECK DAM (ROCK FILTER)**  
 SCALE: NOT TO SCALE



- FENCE NOTES:**
1. ATTACH EACH GATE WITH 1-1/2 PAIR OF NON-LIFT-OFF TYPE, MALLEABLE IRON OR FORGING, PIN-TYPE HINGES. ASSEMBLIES SHALL ALLOW FOR 180° OF GATE TRAVEL. TACK WELD GATE HINGE TO POST FOR SECURITY.
  2. POSTS NOT TO EXCEED A MAXIMUM SEPARATION OF 10 FEET.

**AMERICAN TOWER MASTER SPECIFICATION:**  
 1. DIVISION 32 EXTERIOR IMPROVEMENTS SECTION 0323113 FOR CHAIN LINK FENCE AND GATES

**3 GATE AND FENCE DETAIL**  
 SCALE: NOT TO SCALE

**AMERICAN TOWER®**  
 dba SPECIALTY TOWER SERVICES  
 3500 REGENCY PARKWAY  
 SUITE 100  
 CARY, NC 27518  
 PHONE: (919) 468-0112  
 COA: 1571

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
0	FOR PERMITTING	NRP	03/08/17
2	ZONING COMMENTS	NRP	07/10/17

ATC SITE NUMBER:  
**202096**

ATC SITE NAME:  
**HUDSON 3 NH**

SITE ADDRESS:  
 143 DRACUT RD  
 HUDSON, NH 33011

SEAL:

PATRICK P. BARRY  
 No. 13612  
 LICENSED PROFESSIONAL ENGINEER

Aug 3 2017 4:10 PM cosign

DRAWN BY:	NRP
APPROVED BY:	PPB
DATE DRAWN:	03/08/17
ATC JOB NO:	12028632

**COMPOUND DETAILS**

SHEET NUMBER:	C-502	REVISION:	2
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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.


PROPERTY OWNER:  
 TOM W. & ROSA C. CHAN  
 143 DRAUT ROAD  
 HUDSON, NH 03051

LANDLORD SIGNATURE: \_\_\_\_\_

APPROVED BY THE HUDSON, NH PLANNING BOARD  
 DATE OF MEETING \_\_\_\_\_  
 PLANNING BOARD:  
 CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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**CAUTION**




Beyond this point:  
Radio frequency fields at this site may exceed FCC rules for human exposure.

For your safety, obey all posted signs and site guidelines for working in radio frequency environments.


In accordance with Federal Communications Commission rules on radio frequency emissions 47 CFR 1.1307(b)

**NO TRESPASSING**

ATC CAUTION AND NO TRESPASSING SIGN



**WARNING**



Beyond this point:  
Radio frequency fields at this site may exceed FCC rules for human exposure.

For your safety, obey all posted signs and site guidelines for working in radio frequency environments.


In accordance with Federal Communications Commission rules on radio frequency emissions 47 CFR 1.1307(b)

ATC RF WARNING AND FCC NUMBER SIGN

FCC TOWER REGISTRATION #

Posting of sign required by law

ATC STAND-ALONE FCC TOWER REGISTRATION SIGN



**NOTICE**

GUIDELINES FOR WORKING IN RADIOFREQUENCY ENVIRONMENTS

- All personnel should have electromagnetic energy (EME) awareness training.
- All personnel entering this site must be authorized.
- Obey all posted signs.
- Assume all antennas are active.
- Before working on antennas, notify owners and disable appropriate transmitters.
- Maintain minimum 3 feet clearance from all antennas.
- Do not stop in front of antennas.
- Use personal RF monitors while working near antennas.
- Never operate transmitters without shields during normal operation.
- Do not operate base station antennas in equipment room.

ATC RF PROGRAM NOTICE SIGN



**AMERICAN TOWER®**  
dba SPECIALTY TOWER SERVICES

3500 REGENCY PARKWAY  
SUITE 100  
CARY, NC 27518  
PHONE: (919) 468-0112  
COA: 1571

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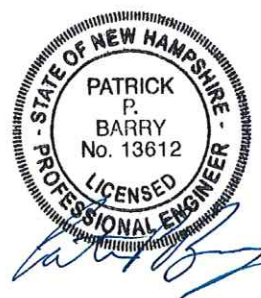
REV.	DESCRIPTION	BY	DATE
0	FOR PERMITTING	NRP	03/08/17
2	ZONING COMMENTS	NRP	07/10/17

ATC SITE NUMBER:  
**202096**

ATC SITE NAME:  
**HUDSON 3 NH**

SITE ADDRESS:  
143 DRACUT RD  
HUDSON, NH 33011

SEAL:



Aug 3 2017 4:11 PM cosign

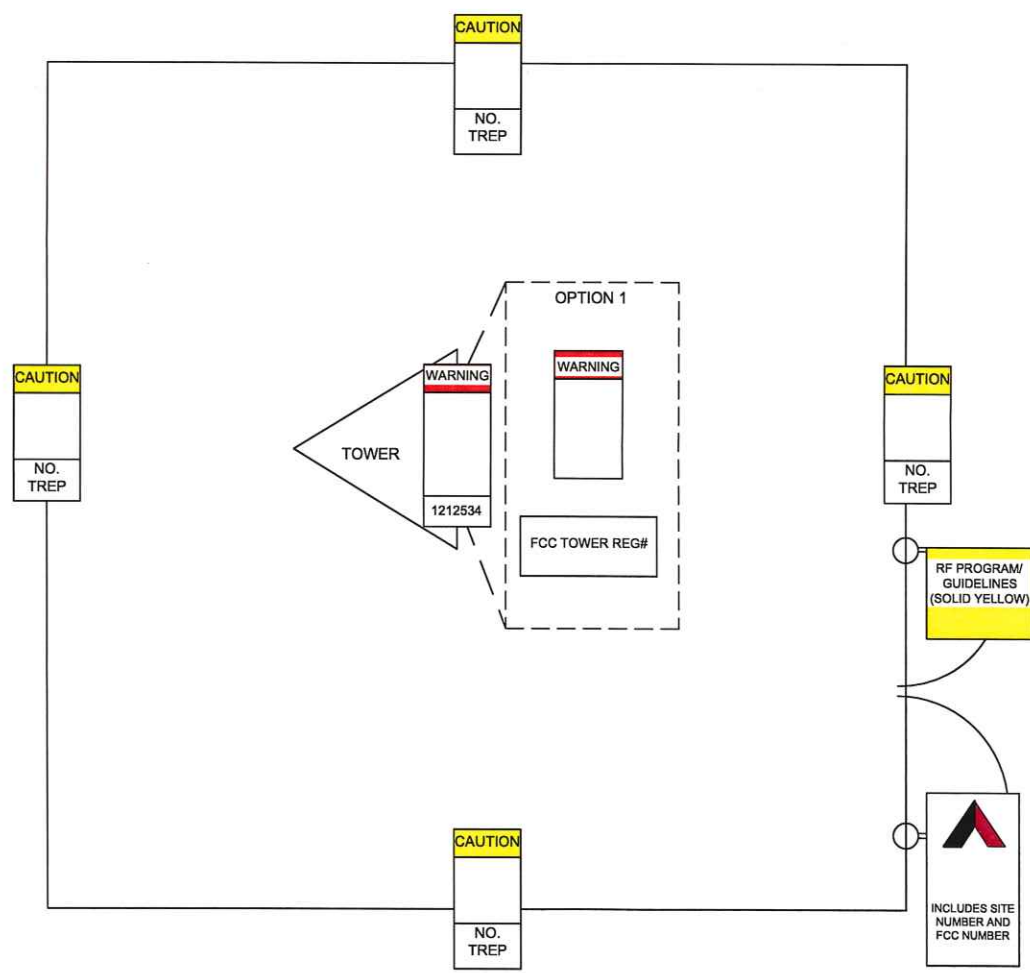
DRAWN BY:	NRP
APPROVED BY:	PPB
DATE DRAWN:	03/08/17
ATC JOB NO:	12028632

**SIGNAGE**

SHEET NUMBER: **C-503**

REVISION: **2**

A "NO TRESPASSING" SIGN MUST BE POSTED A MINIMUM OF EVERY 50'.



THERE MUST BE AN ATC SIGN WITH SITE INFORMATION AND FCC REGISTRATION NUMBER AT BOTH THE ACCESS ROAD GATE (GATE OFF OF MAIN ROAD, IF APPLICABLE) AND COMPOUND FENCE (IF NO COMPOUND FENCE, THEN IN A CONSPICUOUS PLACE UPON DRIVE UP). IN ADDITION, PLEASE LOOK AT DIAGRAM FOR ALL ADDITIONAL SIGNS REQUIRED.

OPTION 1 MAY BE USED TO POST TOWER REGISTRATION NUMBERS AT THE BASE OF THE TOWER IF A WARNING SIGN DOES NOT HAVE SPACE FOR THE TOWER REGISTRATION NUMBER.

IMPORTANT: FOR ANY ATC SIGN THAT DOES NOT MEET THE ATC SPECIFICATION FOR SIGNAGE (I.E., SHARPIE/PAINT PEN, WORN LABELS, ETC.), BRING IT INTO COMPLIANCE (RE-WRITE IF WORN) AND FLAG FOR REPLACEMENT ASAP WITH THE APPROPRIATE PERMANENT SIGN (YOU CAN ORDER THESE THROUGH THE WAREHOUSE).

ONLY LABELS PRINTED BY A ZEBRA LABEL PRINTER WILL BE ACCEPTED.



**AMERICAN TOWER**

SITE NAME : HUDSON 3 NH  
SITE NUMBER : 202096  
FCC REGISTRATION # : NOT REQUIRED

FOR LEASING INFORMATION: 877-282-7483  
877-ATC-SITE

FOR EMERGENCIES CALL: 877-518-6937  
877-51-TOWER

**NO TRESPASSING**

www.americantower.com

POSTING OF THIS SIGNAGE REQUIRED BY LAW

ATC SITE SIGN

REPLACEMENT OF SIGNAGE:

AS SIGNAGE BECOMES STOLEN, DAMAGED, BRITTLE OR FADED, IT SHOULD BE REPLACED WITH SIGNAGE PER THIS SPECIFICATION. ANY ACQUIRED SITE SHOULD HAVE NEW SIGNS POSTED WITHIN 60 DAYS UNLESS OTHERWISE SPECIFIED. ANY SITE SOLD SHOULD HAVE THE ATC SIGNS REMOVED WITHIN 30 DAYS UNLESS OTHERWISE SPECIFIED. ALL FCC OR REGULATORY SIGNAGE MUST BE INSTALLED OR REPLACED AS REQUIRED TO MEET OUR STANDARD. SIGNS SHOULD BE REPLACED ON NORMAL, QUARTERLY MAINTENANCE VISITS BY CONTRACTORS OR SITE MANAGERS, UNLESS OTHERWISE REQUIRED ON A CASE-BY-CASE BASIS.

NOTE:

EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE FCC. ALL EXISTING SIGNAGE AND ANY FUTURE SIGNAGE WILL BE COMPLIANT WITH STATUTE 164-43.4 NO HIGH-VOLTAGE SIGNAGE IS NECESSARY. NO HIGH-VOLTAGE EQUIPMENT PRESENT.

APPROVED BY THE HUDSON, NH PLANNING BOARD  
DATE OF MEETING \_\_\_\_\_  
PLANNING BOARD:  
CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

PROPERTY OWNER:  
TOM W. & ROSA C. CHAN  
143 DRACUT ROAD  
HUDSON, NH 03051

LANDLORD SIGNATURE: \_\_\_\_\_

**Laural Landing (F.K.A. Brookview &  
Breckenridge Estates)  
50 Speare Road Amend OSD Subdivision**

**Approval  
Staff Report  
16 August 2017**

**SITE:** Breckenridge Estates -- 50 Speare Rd. -- Map 186/Lot013 -- SB# 07-17

**ZONING:** General (G) Minimum Lot Size w/out sewer and water 43,560 sf for a duplex and 43,560 sf (1 acre) for a single-family dwelling and 150 ft. of frontage.

**PURPOSE OF PETITION:** to amend the approved subdivision, SB# 04-16 dated July 15, 2016, by renaming the OSD Subdivision from "Brookview" to "Laural Landing", by relocating the fire cistern and enlarging the cistern from 15,000 gallons to 30,000 gallons, and removing condition of approval #4 of the previously approved order of conditions, which states that all dwelling units have sprinkler systems. Application Acceptance & Hearing.

**PLANS UNDER REVIEW ENTITLED:** Open Space Development "Laural Landing" Approved as "Brookview" Tax Map 186 Lot 13, Speare Road, Hudson, New Hampshire, prepared by Jones & Beach Engineers, Inc. 85 Portsmouth Ave., PO Box 219, Stratham, NH, last revised 6/13/2017, consisting of Sheets 1 – 19 (CS, Y1 -Y2, OV1, A1 – A3, C1 – C4, N1, P1, H1, X1 – X2, F1 – F3, D1 – D3 & E1) and Conditions of Approval 1 – 14 on Sheet CS, with existing Note 4 amended (said plans are attached hereto).

**ATTACHMENTS:**

1. Project Narrative Letter by Project Eng., Joseph Coronati, P.E., and Amended OSD Subdivision Plan Application - date stamped 12 JUL 17 – "A".
2. NOTICE OF APPROVAL for "Brookview Subdivision", dated 15 JUL 2016 – "B"
3. Comment Forms and Reports from Fire, Engineering, , Zoning, Highway, Assessing & Police –"C".

**OUTSTANDING ISSUES/STAFF COMMENTS:**

As depicted in the Project Narrative and in the application, this application calls for amending the approved subdivision, SB# 04-16 dated July 15, 2016, as described in the NOTICE OF APPROVAL "B" by: (i) renaming the OSD Subdivision from "Brookview" to "Laural Landing", (ii) relocating the fire cistern and enlarging the cistern from 15,000 gallons to 30,000 gallons, and (iii) removing condition of approval #4, which states that all dwelling units have sprinkler systems.

**APPLICATION TRACKING:**

- 12 JUL 17 – Application to amend the previously approved OSD "Brookview" Subd. submitted.
- 16 AUG 17 – Initial Public Hearing scheduled.

**RECOMMENDATION:** Per the above-described amendments, after the public hearing is conducted, staff recommends final action on this application as cited in the below DRAFT MOTIONS.

**MOTION to APPROVE:**

I move to approve the subdivision plan entitled: Open Space Development “Laurel Landing” Approved as “Brookview” Tax Map 186 Lot 13, Speare Road, Hudson, New Hampshire, prepared by Jones & Beach Engineers, Inc. 85 Portsmouth Ave., PO Box 219, Stratham, NH, last revised 6/13/2017, consisting of Sheets 1 – 19 (CS, Y1 -Y2, OV1, A1 – A3, C1 – C4, N1, P1, H1, X1 – X2, F1 – F3, D1 – D3 & E1) and Conditions of Approval 1 – 14 on Sheet CS (with existing Note 4 amended as cited-below), in accordance with the following terms and conditions:

- 1) All stipulations of approval shall be incorporated into the Amended Development Agreement, which, after the favorable review of Town Counsel, shall be recorded at the HCRD, together with the above-cited Amended Plan-of-Record (hereafter referred to as the Plan).
- 2) As inscribed on the Plan, this OSD Subdivision shall now and forever be known as: “Laurel Landing” (i.e., unless otherwise amended by the Hudson Planning Board, per action of same at a regular meeting thereof).
- 3) The fire cistern shall be enlarged from 15,000 gallons to 30,000 gallons, and located in the OSD Subdivision as depicted on the Plan.
- 4) Note #4 on the Plan shall be amended to read:  
  
“4. The fire cistern shall have a capacity of 30,000 gallons, be installed as shown on this Plan and in accordance with the requirements of the Hudson Fire Dept., to include but not limited to, a cistern easement and agreement for the cistern’s perpetual maintenance and bonding being established between the Applicant or his assigns and the Hudson Fire Dept.”
- 5) All previously approved terms and conditions of approval for the Brookview Subdivision, shall remain in full force and effect, via this approval, and said terms and conditions shall be fully provided for in the Development Agreement for this Amended OSD Subdivision, now known as above-cited “Laurel Landing”.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_.



# JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885  
603.772.4746 - JonesandBeach.com

"A"

July 12, 2017

Hudson Planning Department  
Attn: John Cashell, Planner  
12 School Street  
Hudson, NH 03051



**RE: Amended Subdivision Application**  
**50 Speare Road, Hudson, NH**  
**Tax Map 186, Lot 13**  
**JBE Project No. 15031.2**  
**Case # SB 04-16**

Dear Mr. Cashell,

On behalf of client, LaMontagne Builders, Jones & Beach Engineers, Inc., respectfully submits an Amended Application for Subdivision of Land for the property referenced above. JBE received Town Subdivision Approval on July 15, 2016. The reason for the amendment is to relocate the fire cistern to Speare Road and make it 30,000 gallons. We are also amending condition of approval #4 that states all dwelling units will have sprinkler systems. Now that we are providing a 30,000 gallon cistern, there is no need to sprinkler the homes.

Condition #4 currently reads as follows:

4. In accordance with Deputy Fire Chief, John O'Brien's memorandum on file, dated 1 JUL 16, a 10,000 gallon cistern shall be installed within this subdivision, and all dwelling units will have sprinkler systems installed. A cistern easement and agreement for the cistern's perpetual maintenance and bonding shall be established between the Applicant and the Town (Fire Dept.).

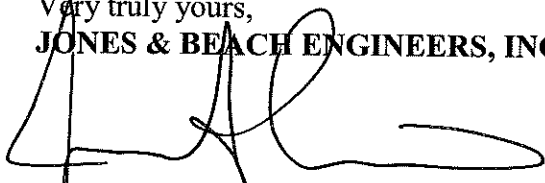
The following is provided in support of this application:

1. Seventeen copies of cover letter/project narrative.
2. One original and one copy of completed Application for Subdivision.
3. Town of Hudson Subdivision Approval dated July 15, 2016.
4. NHDES Subdivision Approval with 11x17 NHDES Approved Plan.
5. Letters of Authorization.
6. Current Deed.
7. Test Pits.
8. Abutters List with Tax Map and 3 Sets of Mailing Labels.
9. Tax Maps.

10. Aerial Photograph of site and area within 200'.
11. A check for application and abutter notification fees (delivered to Town by applicant on July 7, 2017).
12. Nine (9) full-size plan sets (folded).
13. Seventeen (17) reduced-size plan sets (folded).

Thank you very much for your time. If you have any questions, or any additional information, please contact our office.

Very truly yours,  
**JONES & BEACH ENGINEERS, INC.**



Joseph A. Coronati  
Vice President

cc: Mike Garrepy, Tuck Realty Corporation (via email)  
Dana Finn, LaMontagne Builders, Inc. (via email)

**JONES & BEACH**  
ENGINEERS INC.



12  
 Accont  
 HUDSON  
 JUL 12 2017  
 COMMUNITY DEVELOPMENT

**SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW  
 TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: June 28, 2017 Tax Map # 186 Lot # 13  
 Name of Project: Brookview Subdivision (FKA Breckenridge Estates)  
 Zoning District: \_\_\_\_\_ General SB# 07-17  
 (For Town Use) (For Town Use)  
 ZBA Action: \_\_\_\_\_

**PROPERTY OWNER:**

Name: Douglas Sanderson  
 Address: 11 Nersesian Way  
 Address: Hampton, NH 03842-1561  
 Telephone # \_\_\_\_\_  
 Fax # \_\_\_\_\_  
 Email: \_\_\_\_\_

**DEVELOPER:**

LaMontagne Builders, Inc.  
 Attn. Dana Finn  
 317 South River Road, Bedford, NH 03110  
 603-231-3124  
 dfinn@LBImail.com

**PROJECT ENGINEER**

Name: Joseph Coronati, Jones & Beach Engineers, Inc.  
 Address: 85 Portsmouth Avenue, PO Box 219  
 Address: Stratham, NH 03885

Telephone # 603-772-4746  
 Fax # 603-772-0227  
 Email: jcoronati@jonesandbeach.com

**PURPOSE OF PLAN:**

The purpose of this application is to amend the Approved Subdivision, Case # SB 04-16 dated July 15, 2016. We are requesting an amendment to relocate the fire cistern to Speare Road and making it 30,000 gallons. We are also removing condition of approval #4 that states all dwelling units will have sprinkler systems.

(FOR TOWN USE)

Plan Routing Date: 7-20-17 Sub/Site Date: 8-16-17

I have no comments  I have comments (attach to form)

Title: \_\_\_\_\_ Date: \_\_\_\_\_

(Initials)

DEPT:

Zoning  Engineering  Assessor  Police  Fire  Planning

Consultant  Highway Department

---

Fees Paid \$1166.76

**2012 SUBDIVISION APPLICATION FEES**

FEE TYPE	AMOUNT	ACCOUNT
Consultant Review	\$1.25 per linear foot of roadway* (including cul-de-sac) \$1,250.00 minimum* *Estimated cost, billing based on actual hours expended multiplied by hourly rates, plus expenses	1350-***
Town General Review Fees/Application Fee Regular Application	\$170.00/lot	GEN 4313
Conceptual Review	\$100.00	GEN 4313
ZBA Input	\$100.00	GEN 4313
Lot Line Relocation	\$340.00 for first two lots \$170.00 for each additional lot	GEN 4313
On Site Signs Advertising	\$15.00 \$40.00 (flat fee)	GEN 4313 GEN 4313
Tax Map Updating	\$30.00/lot + \$25.00 Min. \$85.00 for 2-7 lots Min. \$325.00 for 8 lots or more	1312-505
Postage	USPS Current Rates	GEN 4313
Recording Fees Plan Easements/Agreements	\$24.00/sheet + \$2.00 surcharge \$10.00/first sheet \$4.00 thereafter + \$2.00 surcharge + first class postage (fees dictated by HCRD) \$25.00 Land & Community Heritage Investment Program (LCHIP) fee, please make check payable to HCRD	GEN 4313

**SITE DATA SHEET**

Plan Name: Brookview Subdivision

Plan Type: Subdivision Plan

Legal Description:           Map 186                           Lot 13

                                          Map \_\_\_\_\_                           Lot \_\_\_\_\_

Date: 6/28/17

---

---

Location:                           50 Speare Road

Total Area:                       S.F. 1,447,050                           Acres: 33.22

Area in Wetlands:               Please See Attached Plans

Zoning:                            General

Lots Not Meeting  
Required Dimensions:           0

Required Area:                   21,780 SF

Required Frontage:              75 Feet

Water and Waste System  
Proposed:                        Individual Septic Systems and On-Site Wells

Number of Lots With  
Existing Buildings:              0

Existing Buildings  
To Be Removed:                 0

Flood Zone Reference:           FEMA Community Panel No. 33011C0519D, dated September 25, 2009

Proposed Linear Feet  
Of New Roadway:                707'

**SUBDIVISION PLAN DATA SHEET**

Dates/Case #/Description/  
Stipulations of ZBA,  
Conservation Commission,  
NH Wetlands Board Action:

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(Attach Stipulations on  
Separate Sheet)

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List Permits Required:

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NHDES Subdivision Approval- Approved on 9/30/16 - SA2016093002

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<u>*Waivers Requested:</u>	<u>Hudson Town Code Reference</u>	<u>Regulation Description</u>
----------------------------	---------------------------------------	-------------------------------

	1. N/A	
	2.	
	3.	
	4.	
	5.	
	6.	
	7.	

*\*(Left Column for Town Use)*

	<u>Amount</u>	<u>Account</u>
<b>Impact Fees</b>	_____	_____
	_____	_____
	_____	_____
<b>Cap Fees</b>	_____	_____
	_____	_____


Development Agreement  
Proposed:  Yes  No  
If Yes Endorsed  Yes Date \_\_\_\_\_  No

**APPLICATION FOR SUBDIVISION PLAN REVIEW  
TOWN OF HUDSON, NEW HAMPSHIRE**

Twenty one (21) days prior to Planning Board Meeting, a complete subdivision plan to include all supporting materials/documents must be submitted in final form. The subdivision plan shall comply with the following specifications/requirements:

**Applicant  
Initials**

**Staff  
Initials**

- |                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                      |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------|
| <p><u>JAC</u> a)</p> <p><u>JAC</u> b)</p> <p><u>JAC</u> c)</p> <p><u>JAC</u> d)</p> <p><u>JAC</u> e)</p> <p><u>JAC</u> f)</p> <p><u>JAC</u> g)</p> <p><u>JAC</u> h)</p> <p><u>JAC</u> i)</p> <p><u>JAC</u> j)</p> <p><u>JAC</u> k)</p> <p><u>JAC</u> l)</p> <p><u>JAC</u> m)</p> | <p>Submission of eight (8) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M. Tuesday the week prior to the scheduled public hearing/conceptual review date.</p> <p>Seventeen (17)-subdivision narratives, describing the project.</p> <p>Plan scale at not less than one inch equals fifty feet (example: 1" = 50' acceptable).</p> <p>Locus plan with 1,000 minimum radius of site to surrounding area.</p> <p>Plan dated by day/month/year.</p> <p>Revision block.</p> <p>Planning Board approval block.</p> <p>Title of project inscribed on plan.</p> <p>Name(s) and address of property owner(s) and signature(s) shall be inscribed on plan.</p> <p>North point shall be inscribed on plan.</p> <p>Property lines-exact locations and dimensions.</p> <p>Acreage/sq. ft. of entire subdivision.</p> <p>Proposed lots, with lot numbers and area of each lot. Note: each proposed Lot shall be listed on the plan, in chart form, indicating in square feet/ acreage the total lot area, wetland, slope area greater than 25% and total net contiguous useable upland area.</p> |  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------|

**Applicant  
Initials**

**Staff  
Initials**

- JAC n) Certified list of names and addresses of bordering abutters, shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on plan.
- N/A o) Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve area, floodways/floodplains, driveways, travel areas, parking areas, natural features within 200 feet of the tract.
- N/A p) Locations of existing and proposed permanent monuments and benchmarks within 200 feet of the tract.
- JAC q) Pertinent highway projects.
- JAC r) Assessor map and lot number.
- N/A s) Waiver application form shall be submitted with subdivision application, Note on plan listing waivers requested/granted; and all waivers granted to the subdivision regulations shall be listed on the final plan.
- JAC t) Delineate zoning.
- JAC u) Storm water drainage plan.
- JAC v) Topographical contours at 2-foot intervals existing and proposed.
- JAC w) Utilities: existing and proposed.
- JAC x) Building and wetland setback lines.
- JAC y) Rights of way, existing and proposed.
- JAC z) Location of dedicated recreational public use land(s) proposed.
- N/A aa) Detailed designs of bridges and culverts.
- JAC ab) Typical roadway cross-section, road profile, stationing, and curve data, etc.

JC

PREVIOUSLY  
SUBMITTED JC

JC

JC

N/A

JC

JC

JC

JC

JC

JC  
N/A

JC

**Applicant  
Initials**

**Staff  
Initials**

- JAC ac) Proposed location of water supply and sewage disposal systems, including perk test data, test-pit logs and locations; wells, (proposed and existing) 75' protective well radii and attached copies of any required well protection easements.
- JAC ad) All notes from plats.
- JAC ae) Buffers as required by subdivision regulations.
- JAC af) Soil types and boundaries, Note: If site contains marginal or questionable soils, a High Intensity Soil Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire Certified Soil Scientist, who shall affix his/her stamp and signature and this shall be inscribed on the plan.
- JAC ag) Wetlands (and poorly-drained and very poorly-drained soils), also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire Certified Wetland or Soil Scientist, who shall affix his/her stamp and signature to the respective plan.
- JAC ah) Easements, existing and proposed.
- JAC ai) State of New Hampshire Engineer's seal and signature. Surveyor's seal and signature.
- JAC aj) Error of closure (1 in 10,000 or better).
- ak) Drafting errors/omissions.
- JAC al) Note outlining phasing schedule.
- N/A am) Narrative description stating the purpose, location, long range plans impacts on traffic, schools, and utilities.
- JAC an) Aerial photograph of site and area within 200 feet of the subdivision parcel.
- N/A ao) Fiscal impact study.
- N/A ap) Traffic study.
- N/A aq) Drainage calculations and supporting data.

JAC

JAC

JAC

JAC

JAC

JAC

JAC

JAC

JAC PREVIOUSLY INCLUDED.

JAC

N/A

JAC

N/A

N/A

N/A PREVIOUSLY SUBMITTED AND ANALYZED IN PGBR REVIEW.



**Applicant  
Initials**

**Staff  
Initials**

- JAC ar) Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents.
- JAC as) Copy of applicable town, state, federal approval/permits to include but not limited to the following:
  - sewer applications
  - flood plain permit
  - wetlands special exception
  - variance
  - erosion control permit (149:8a)
  - WSPCC subdivision approval (septic)
  - dredge and fill permit
  - curb cut/driveway permit
  - shore land protection certification in accordance with RSA483-B.
  - if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.
- N/A at) Off-site agreement(s).
- N/A au) Presentation plan (colored, with color-coded bar chart).
- JAC av) Fees paid to clerk.
- N/A aw) Plans that include relocation of lot lines shall clearly delineate the former (old) lot lines from proposed (new) lot lines.

*[Handwritten initials]*

N/A  
N/A  
JC  
N/A

- Any or all items may be waived under the purview of the Planning Board.

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**APPLICATION FOR SUBDIVISION PLAN REVIEW  
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Subdivision Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Subdivision Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s), by the filing of this application as indicated above, hereby give permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and inspections conducted on his (their) property in connection with this applications.

Signature of Owner: \_\_\_\_\_

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: \_\_\_\_\_

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

Technical Review Signature: \_\_\_\_\_

Planner Approval Signature: \_\_\_\_\_





3  
B  
4

JUL 21 2016

TOWN OF HUDSON  
PLANNING BOARD

NOTICE OF APPROVAL



12 School Street

Hudson, New Hampshire 03051

603/886-6005

July 15, 2016

Owner or Applicant:	Douglas Sanderson	Tuck Realty
	11 Neresian Way	149 Epping Road, Ste. 2A
	Hampton, NH 03842	Exeter, NH 03833

On Wednesday, July 13, 2016, the Hudson Planning Board heard subject case SB# 04-16 "Brookview Subdivision (FKA Breckenridge Estates)"

**SUBJECT:** PURPOSE OF PLAN: TO SUBDIVIDE TAX MAP 186/LOT 013 INTO EIGHT (8) SINGLE-FAMILY RESIDENTIAL LOTS WITH INDIVIDUAL SANITARY SEWER DISPOSAL AND INDIVIDUAL WELL WATER.

**LOCATION:** 50 SPEARE ROAD- MAP 186/LOT 013

You are hereby notified of the subject plat presented before the Planning Board and the following action:

The Planning Board moved to accept the 8-lot Subdivision application for 50 Speare Rd., Map 186/Lot 013 at the June 8, 2016 Planning Board meeting.

**APPROVED WAIVERS:**

1) HTC 289-28 (G) – Requirements

The Planning Board moved to grant the requested waiver HTC -289-28 (G) – Requirements - based on the testimony of the Applicant's representative here this evening, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

2) Town of Hudson, NH Application for Subd. Plan Review Checklist Item O.

The Planning Board moved to grant the requested waiver - Town of Hudson, NH Application for Subd. Plan Review Checklist Item O - based on the testimony of the Applicant's representative here this evening, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

3) HTC 289-18.Y – Streets

Mr. Collins moved to grant the requested waiver HTC-289-18.Y – Streets – based on the testimony of the Applicant’s representative here this evening, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

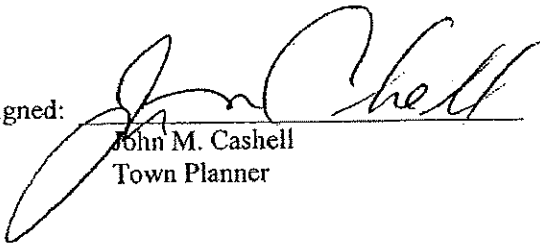
The Planning Board moved to approve the subdivision plan entitled: Open Space Development “Brookview”, Tax Map 186, Lot 13, Speare Road, Hudson, New Hampshire, prepared by Jones & Beach Engineers, Inc. 85 Portsmouth Ave., PO Box 219, Stratham, NH, dated 7 JUL 16 and revised thru 7 JUL 16, consisting of Sheets 1-19 (CS, Y 1 – Y2, OV1, A1 – A3, C1 – C4, P1, H1, X1 – X2, F1, D1 – D3 & E1) and Notes 1 – 29 on Sheet OV1, in accordance with the following terms and conditions:

- 1) All stipulations of approval shall be incorporated into the Development Agreement, which, after the favorable review of Town Counsel, shall be recorded at the HCRD, together with the above-cited Plan-of-Record (hereafter referred to as the Plan).
- 2) The pending Homeowner’s Association By-Laws and Declaration of Covenants & Restrictions shall cite the limitations and restrictions pertaining, but not limited to, the proposed “Open Space”, cul-de-sac landscaped island and drainage pond/detention basin. The aforementioned documents shall be provided and favorably reviewed by Town Counsel prior to Planning Board endorsement of the Plan and Development Agreement.
- 3) The Well Radius Easements for Lots 13 and 13-1 thru 13-6, Well Radius Hold Harmless Agreements for Lots 13-5 & 13-6, as well as all other easement deeds pertaining to this proposed OSD Subdivision, must be provided for and favorably reviewed by Town Counsel prior to Planning Board endorsement of the Plan and Development Agreement.
- 4) In accordance with Deputy Fire Chief, John O’Brien’s memorandum on file, dated 1 JUL 16, a 10,000 gallon cistern shall be installed within this subdivision, and all dwelling units will have sprinkler systems installed. A cistern easement and agreement for the cistern’s perpetual maintenance and bonding shall be established between the Applicant and the Town (Fire Dept.).
- 5) Prior to Planning Board endorsement of the Plan, the issue of altering Speare Rd. for the purposes of providing the required Safe Stopping Distance in accordance with §193-10.E. of the Planning Board’s Driveway Regulations shall be provided for.
- 6) “No cut/No disturb” Conservation markers shall be installed along the perimeter of the Conservation District boundaries of this development. Said markers shall be permanently affixed to 8 ft. sections of split-rail fences, placed at a maximum distance of 200 ft. between sections and along the nearest perimeter of each Conservation District area and the developed lots. Note shall be added to Sheet OV1, citing said markers.

- 7) All monumentation shall be set or bonded prior to the Planning Board endorsing the Plan.
- 8) Construction activities involving the proposed undeveloped lots shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday. A note to the affect of the foregoing shall be inscribed on Sheet OV1.
- 9) A cost allocation procedure (CAP) amount of \$1,664.00, per residential unit shall be paid prior to the issuance of a Certificate of Occupancy.
- 10) A public school impact fee in the amount of \$3,578.00, per residential unit shall be paid prior to the issuance of a Certificate of Occupancy.
- 11) A recreation contribution in the amount of \$400.00, per residential unit shall be paid prior to the issuance of a Certificate of Occupancy.
- 12) Approval of this plan shall be subject to final engineering review, including the location of the driveways for each lot.
- 13) Upon completion of the Subdivision, and prior to the establishment of the two-year maintenance surety, the Applicant shall submit an "As-Built" Plan of the subdivision in its entirety, together with the ROW deed dedicating the ROW as a public street.
- 14) Blasting or ramming activities shall be limited to the hours between 9:00 A.M. and 5:00 P.M., Monday through Friday. Said blasting activities are prohibited on Saturday and Sunday. Add to sheet OV1 as note 29.

All representations of fact or intention made by the applicant or any applicant's representative during testimony before the Planning Board, relative to the obtaining approval of this plan, shall be considered conditions of this approval regardless of the fact that such fact or intentions were not specifically stated as part of the motion to grant. Note: In addition to the above conditions of approval, and in accordance with the granting of the Waiver - HTC 289-18.Y - Street - the applicant has agreed to submit \$10,000 to the Town's sidewalk account # 2050-053. This sum is in lieu of a sidewalk being installed within the row of this subdivision.

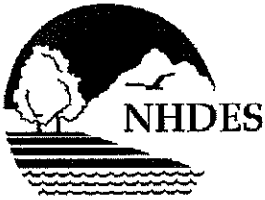
Signed:

  
John M. Cashell  
Town Planner

Date:

18 July 2016

cc: Jones & Beach Engineering, Inc.



The State of New Hampshire  
Department of Environmental Services



Thomas S. Burack, Commissioner

## APPROVAL FOR SUBDIVISION OF LAND

AS AUTHORIZED BY THE NH DEPARTMENT OF ENVIRONMENTAL SERVICES, WATER DIVISION PURSUANT TO RSA 485-A, WATER POLLUTION AND WASTE DISPOSAL AND ENV-WQ 1000, SUBDIVISION AND INDIVIDUAL SEWAGE DISPOSAL SYSTEM DESIGN

**SUBDIVISION APPROVAL DATE:** 9/30/2016

**APPROVAL NUMBER:** eSA2016093002

**I. PROJECT LOCATION**

**Subdivision Name:** BROOKVIEW SUBDIVISION  
**Address:** 50 SPEARE RD  
HUDSON NH 03051  
**Tax Map:** 186  
**Parent Lot No.:** 13  
**No. of Lots:** 8  
**Lot Nos.:** LOT 13 SUBLOTS 1-8

**II. OWNER INFORMATION**

**Name:** DOUGLAS SANDERSON  
**Address:** 11 NERSESIAN WAY  
HAMPTON NH 03842

**III. APPLICANT INFORMATION**

**Name:** JONES & BEACH ENGINEERS, INC.  
**Address:** 85 PORTSMOUTH AVE  
PO BOX 219  
STRATHAM NH 03885

**IV. DESIGNER INFORMATION**

**Name:** GIFFORD P COLBURN  
**Address:** 76 WOODBURY RD  
WEARE NH 03281  
**Permit No.:** 01839

**V. SURVEYOR INFORMATION**

**Name:** DAVID M COLLIER  
**Address:** PO BOX 913  
189 MAIN ST  
ALTON NH 03809  
**Permit No.:** 00892

**IV. SPECIFIC TERMS AND CONDITIONS:** Applicable to this Approval for Subdivision of Land

**A. OTHER CONDITIONS AND WAIVERS:**

1. Approved for lot 13-1 thru 13-8.

Darren K. King  
Subsurface Systems Bureau



## APPROVAL FOR SUBDIVISION OF LAND

**V. GENERAL TERMS AND CONDITIONS:** Applicable to this Approval for Subdivision of Land

- A. By exercising any rights under this approval, the parties have agreed to all terms and conditions.
- B. No liability is incurred by the State of New Hampshire by reason of any approval of any Approval for Subdivision of Land. Approval by the Department of Environmental Services of any subdivision of land is based on plans and specifications supplied by the Applicant.
- C. This Approval for Subdivision of Land does not supersede any equivalent or more stringent local ordinances or regulations. State standards are minimal and must be met statewide.

WORK NUMBER: 201602467-2

APPROVAL NUMBER: eSA2016093002

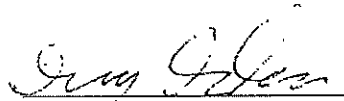
APPLICATION RECEIVED DATE: July 5, 2016

**Letter of Authorization**

I, Douglas S. Sanderson, 11 Nersesian Way, Hampton, NH 03842, owner of property located in Hudson, NH, known as Tax Map 186, Lot 13, do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, to act on my behalf concerning the previously mentioned property. The parcel is located on Speare Road in Hudson, NH.

I hereby appoint Jones & Beach Engineers, Inc., as my agent to act on my behalf in the review process, to include any required signatures.

\_\_\_\_\_  
Witness

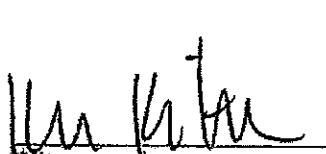
  
\_\_\_\_\_  
Douglas S. Sanderson

5/20/16  
Date


**Letter of Authorization**

I, Dana Finn, Lamontagne Builders, 317 South River Road, Bedford, NH 03110, developer of property located in Hudson, NH, known as Tax Map 186, Lot 13, do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, to act on my behalf concerning the previously-mentioned property. The parcel is located on Spear Road in Hudson, NH.

I hereby appoint Jones & Beach Engineers, Inc., as my agent to act on my behalf in the review process, to include any required signatures.

  
Witness

  
Dana Finn  
Lamontagne Builders

  
Date



**SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW  
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: June 28, 2017 Tax Map # 186 Lot # 13  
Name of Project: Brookview Subdivision (FKA Breckenridge Estates) 505 Speare Rd.  
Zoning District: \_\_\_\_\_ General SB# 07-17  
(For Town Use) (For Town Use)  
ZBA Action: \_\_\_\_\_

**PROPERTY OWNER:**

Name: Douglas Sanderson  
Address: 11 Nersesian Way  
Address: Hampton, NH 03842-1561  
Telephone # \_\_\_\_\_  
Fax # \_\_\_\_\_  
Email: \_\_\_\_\_

**DEVELOPER:**

LaMontagne Builders, Inc.  
Attn. Dana Finn  
317 South River Road, Bedford, NH 03110  
603-231-3124  
dfinn@LBImail.com

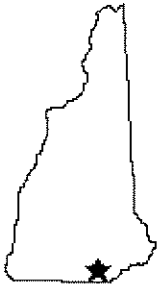
**PROJECT ENGINEER**

Name: Joseph Coronati, Jones & Beach Engineers, Inc. Telephone # 603-772-4746  
Address: 85 Portsmouth Avenue, PO Box 219 Fax # 603-772-0227  
Address: Stratham, NH 03885 Email: jcoronati@jonesandbeach.com

**PURPOSE OF PLAN:**

The purpose of this application is to amend the Approved Subdivision, Case # SB 04-16 dated July 15, 2016. We are requesting an amendment to relocate the fire cistern to Speare Road and making it 30,000 gallons. We are also removing condition of approval #4 that states all dwelling units will have sprinkler systems.

(FOR TOWN USE)  
Plan Routing Date: 7-20-17 Sub/Site Date: 8-16-17  
 I have no comments  I have comments (attach to form)  
Job Title: Deputy Fire Chief Date: 7/24/17  
(Initials)  
DEPT:  
 Zoning  Engineering  Assessor  Police  Fire  Planning  
 Consultant  Highway Department  
Fees Paid \$1166.70



# TOWN OF HUDSON

FIRE DEPARTMENT

INSPECTIONAL SERVICES DIVISION



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12 SCHOOL STREET, HUDSON, NEW HAMPSHIRE 03051

Emergency 911  
Business 603-886-6005  
Fax 603-594-1142

Robert M. Buxton  
Chief of Department

24 July, 2017

To: John Cashell  
Interim Town Planner

Fr: John J. O'Brien *J.O.B.*  
Deputy Fire Chief

Re: Site Plan review proposed subdivision of Map 186/ Lot 13 50 Speare Rd.

---

A Site plan review was conducted by this office for the above proposed development. Fire Department requirements are listed below.

#### Street Name

Laurel Way is an approved street name. The Fire Dept. finds no conflict with this name and or other roads in Town.

#### Numbering

House numbers must be assigned AND approved by the Fire Dept. prior to issuance of permits.

#### Combustibles/Construction

No Combustible construction is allowed without an adequate water supply in place.

#### Water Supply for Firefighting

The Location and size of the cistern meets the approval of the Fire Department

NFPA 1142 Standard for Water Supplies in Suburban and Rural Firefighting Sec B.3.3 (3) requires a minimum capacity of 30,000 gallons.

Although we strongly recommend the installation of fire sprinklers in all occupancies, we cannot require their installation in this instance.

If you have questions feel free to email [jobrien@hudsonnh.gov](mailto:jobrien@hudsonnh.gov) or call 603-886-6021

John J.O'Brien  
Deputy Fire Chief  
Town of Hudson N.H



**SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW  
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: June 28, 2017 Tax Map # 186 Lot # 13  
Name of Project: Brookview Subdivision (FKA Breckenridge Estates) 50 Speare Rd.  
Zoning District: \_\_\_\_\_ General SB# 07-17  
(For Town Use) (For Town Use)

ZBA Action: \_\_\_\_\_

**PROPERTY OWNER:**

Name: Douglas Sanderson  
Address: 11 Nersesian Way  
Address: Hampton, NH 03842-1561  
Telephone # \_\_\_\_\_  
Fax # \_\_\_\_\_  
Email: \_\_\_\_\_

**DEVELOPER:**

LaMontagne Builders, Inc.  
Attn. Dana Finn  
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(FOR TOWN USE)	
Plan Routing Date: <u>7-20-17</u>	Sub/Site Date: <u>8-16-17</u>
<input checked="" type="checkbox"/> I have no comments <input type="checkbox"/> I have comments (attach to form)	
(Initials) _____	Title: <u>Asst. Assessor</u> Date: <u>7-20-17</u>
DEPT:	
<input type="checkbox"/> Zoning <input type="checkbox"/> Engineering <input checked="" type="checkbox"/> Assessor <input type="checkbox"/> Police <input type="checkbox"/> Fire <input type="checkbox"/> Planning	
<input type="checkbox"/> Consultant <input type="checkbox"/> Highway Department	
Fees Paid <u>\$1166.70</u>	



**SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW  
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: June 28, 2017 Tax Map # 186 Lot # 13  
Name of Project: Brookview Subdivision (FKA Breckenridge Estates) 50 Speare Rd.  
Zoning District: \_\_\_\_\_ General SB# 07-17  
(For Town Use) (For Town Use)  
ZBA Action: \_\_\_\_\_

**PROPERTY OWNER:**

Name: Douglas Sanderson  
Address: 11 Nersesian Way  
Address: Hampton, NH 03842-1561  
Telephone # \_\_\_\_\_  
Fax # \_\_\_\_\_  
Email: \_\_\_\_\_

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(FOR TOWN USE)  
Plan Routing Date: 7-20-17 Sub/Site Date: 8-16-17  
 I have no comments  I have comments (attach to form)  
KZB Title: Town Engineer Date: 7/26/17  
(Initials)  
DEPT:  
 Zoning  Engineering  Assessor  Police  Fire  Planning  
 Consultant  Highway Department  
Fees Paid \$166.70





**SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW  
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: June 28, 2017 Tax Map # 186 Lot # 13  
Name of Project: Brookview Subdivision (FKA Breckenridge Estates) 50 Spare Rd.  
Zoning District: \_\_\_\_\_ General SB# 07-17  
(For Town Use) (For Town Use)  
ZBA Action: \_\_\_\_\_

**PROPERTY OWNER:**

Name: Douglas Sanderson  
Address: 11 Nersesian Way  
Address: Hampton, NH 03842-1561  
Telephone # \_\_\_\_\_  
Fax # \_\_\_\_\_  
Email: \_\_\_\_\_

**DEVELOPER:**

LaMontagne Builders, Inc.  
Attn. Dana Finn  
317 South River Road, Bedford, NH 03110  
603-231-3124  
dfinn@LBImail.com

**PROJECT ENGINEER**

Name: Joseph Coronati, Jones & Beach Engineers, Inc. Telephone # 603-772-4746  
Address: 85 Portsmouth Avenue, PO Box 219 Fax # 603-772-0227  
Address: Stratham, NH 03885 Email: jcoronati@jonesandbeach.com

**PURPOSE OF PLAN:**

The purpose of this application is to amend the Approved Subdivision, Case # SB 04-16 dated July 15, 2016. We are requesting an amendment to relocate the fire cistern to Spare Road and making it 30,000 gallons. We are also removing condition of approval #4 that states all dwelling units will have sprinkler systems.

(FOR TOWN USE)  
Plan Routing Date: 7-20-17 Sub/Site Date: 8-16-17  
 I have no comments  I have comments (attach to form)  
DC Title: LIEUTENANT Date: \_\_\_\_\_  
(Initials)  
DEPT:  
 Zoning  Engineering  Assessor  Police  Fire  Planning  
 Consultant  Highway Department  
Fees Paid \$1166.70



**SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW  
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: June 28, 2017 Tax Map # 186 Lot # 13  
Name of Project: Brookview Subdivision (FKA Breckenridge Estates) 50 Speare Rd  
Zoning District: G General SB# 07-17  
(For Town Use) (For Town Use)

ZBA Action: \_\_\_\_\_

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Address: Hampton, NH 03842-1561  
Telephone # \_\_\_\_\_  
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Plan Routing Date: 7-20-17 Sub/Site Date: 8-16-17  
 I have no comments  I have comments (attach to form)  
BB Title: Zoning Admin Date: 28-Jul-17  
(Initials)  
DEPT:  
 Zoning  Engineering  Assessor  Police  Fire  Planning  
 Consultant  Highway Department  
Fees Paid \$166.70



**SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW  
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: June 28, 2017 Tax Map # 186 Lot # 13  
Name of Project: Brookview Subdivision (FKA Breckenridge Estates) 50 Speare Rd.  
Zoning District: \_\_\_\_\_ General SB# 07-17  
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<input checked="" type="checkbox"/> I have no comments <input type="checkbox"/> I have comments (attach to form)	
<u>KB</u> (Initials)	Title: <u>Route Agent</u> Date: <u>7/24/17</u>
DEPT:	
<input type="checkbox"/> Zoning	<input type="checkbox"/> Engineering
<input type="checkbox"/> Assessor	<input type="checkbox"/> Police
<input type="checkbox"/> Fire	<input type="checkbox"/> Planning
<input type="checkbox"/> Consultant	<input checked="" type="checkbox"/> Highway Department
Fees Paid <u>\$1166.70</u>	



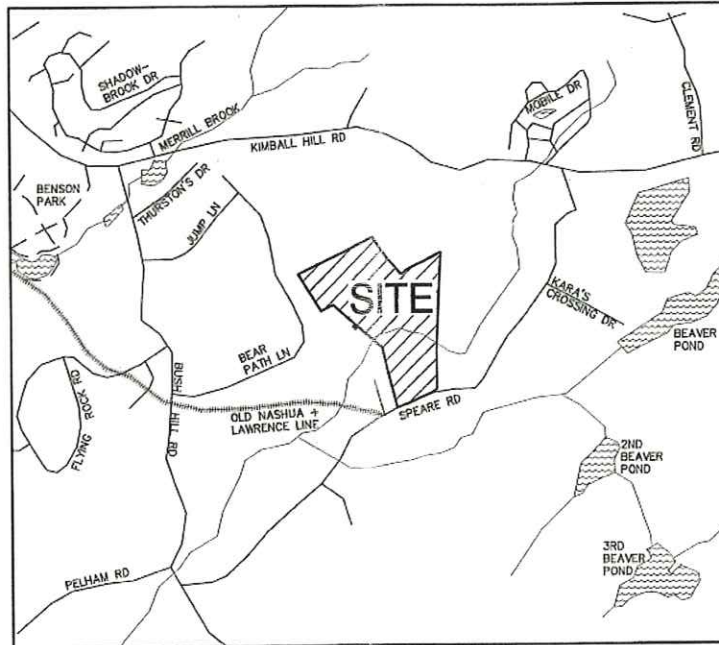
**CONDITIONS OF APPROVAL**

ON 7/13/16 THE PLANNING BOARD MOVED TO APPROVE THE SUBDIVISION PLAN ENTITLED: OPEN SPACE DEVELOPMENT "BROOKVIEW", TAX MAP 186, LOT 13, SPEARE ROAD, HUDSON, NEW HAMPSHIRE, PREPARED BY JONES & BEACH ENGINEERS, INC. 85 PORTSMOUTH AVE., PO BOX 219, STRATHAM, NH, DATED 7 JUL 16 AND REVISED THRU 7 JUL 16, CONSISTING OF SHEETS 1-19 (CS, Y1-Y2, OV1, A1-A3, C1-C4, P1, H1, X1-X2, F1, D1-D3 & E1) AND NOTES 1-29 ON SHEET OV1, IN ACCORDANCE WITH THE FOLLOWING TERMS AND CONDITIONS:

- ALL STIPULATIONS OF APPROVAL SHALL BE INCORPORATED INTO THE DEVELOPMENT AGREEMENT, WHICH AFTER THE FAVORABLE REVIEW OF TOWN COUNSEL, SHALL BE RECORDED AT THE HCRO, TOGETHER WITH THE ABOVE-CITED PLAN-OF-RECORD (HEREAFTER REFERRED TO AS THE PLAN).
- THE PENDING HOMEOWNER'S ASSOCIATION BY-LAWS AND DECLARATION OF COVENANTS & RESTRICTIONS SHALL CITE THE LIMITATIONS AND RESTRICTIONS PERTAINING, BUT NOT LIMITED TO, THE PROPOSED "OPEN SPACE", CUL-DE-SAC LANDSCAPED ISLAND AND DRAINAGE POND/DETENTION BASIN. THE FOREMENTIONED DOCUMENTS SHALL BE PROVIDED AND FAVORABLY REVIEWED BY TOWN COUNSEL PRIOR TO PLANNING BOARD ENDORSEMENT OF THE PLAN AND DEVELOPMENT AGREEMENT.
- THE WELL RADIUS EASEMENTS FOR LOTS 13 AND 13-1 THRU 13-6, WELL RADIUS HOLD HARMLESS AGREEMENTS FOR LOTS 13-5 & 13-6, AS WELL AS ALL OTHER EASEMENT DEEDS PERTAINING TO THIS PROPOSED OSD SUBDIVISION, MUST BE PROVIDED FOR AND FAVORABLY REVIEWED BY TOWN COUNSEL PRIOR TO PLANNING BOARD ENDORSEMENT OF THE PLAN AND DEVELOPMENT AGREEMENT.
- IN ACCORDANCE WITH DEPUTY FIRE CHIEF, JOHN O'BRIEN'S MEMORANDUM ON FILE, DATED 1 JUL 16, A 10,000 GALLON CISTERN SHALL BE INSTALLED WITHIN THIS SUBDIVISION, AND ALL DWELLING UNITS WILL HAVE SPRINKLER SYSTEMS INSTALLED. A CISTERN EASEMENT AND AGREEMENT FOR THE CISTERN'S PERPETUAL MAINTENANCE AND BONDING SHALL BE ESTABLISHED BETWEEN THE APPLICANT AND THE TOWN (FIRE DEPT.).
- PRIOR TO PLANNING BOARD ENDORSEMENT OF THE PLAN, THE ISSUE OF ALTERING SPEARE RD. FOR THE PURPOSES OF PROVIDING THE REQUIRED SAFE STOPPING DISTANCE IN ACCORDANCE WITH §193-10.E. OF THE PLANNING BOARD'S DRIVEWAY REGULATIONS SHALL BE PROVIDED FOR.
- "NO CUT/NO DISTURB" CONSERVATION MARKERS SHALL BE INSTALLED ALONG THE PERIMETER OF THE CONSERVATION DISTRICT BOUNDARIES OF THIS DEVELOPMENT. SAID MARKERS SHALL BE PERMANENTLY AFFIXED TO 8 FT. SECTIONS OF SPUT-RAIL FENCES, PLACED AT A MAXIMUM DISTANCE OF 200 FT. BETWEEN SECTIONS AND ALONG THE NEAREST PERIMETER OF EACH CONSERVATION DISTRICT AREA AND THE DEVELOPED LOTS. NOTE SHALL BE ADDED TO SHEET OV1, CITING SAID MARKERS.
- ALL MONUMENTATION SHALL BE SET OR BONDED PRIOR TO THE PLANNING BOARD ENDORSING THE PLAN.
- CONSTRUCTION ACTIVITIES INVOLVING THE PROPOSED UNDEVELOPED LOTS SHALL BE LIMITED TO THE HOURS BETWEEN 7:00A.M. AND 7:00P.M., MONDAY THROUGH SATURDAY. NO EXTERIOR CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAY. A NOTE TO THE AFFECT OF THE FOREGOING SHALL BE INSCRIBED ON SHEET OV1.
- A COST ALLOCATION PROCEDURE (CAP) AMOUNT OF \$1,664.00, PER RESIDENTIAL UNIT SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- A PUBLIC SCHOOL IMPACT FEE IN THE AMOUNT OF \$3,578.00, PER RESIDENTIAL UNIT SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- A RECREATION CONTRIBUTION IN THE AMOUNT OF \$400.00, PER RESIDENTIAL UNIT SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- APPROVAL OF THIS PLAN SHALL BE SUBJECT TO FINAL ENGINEERING REVIEW, INCLUDING THE LOCATION OF THE DRIVEWAYS FOR EACH LOT.
- UPON COMPLETION OF THE SUBDIVISION, AND PRIOR TO THE ESTABLISHMENT OF THE TWO-YEAR MAINTENANCE SURETY, THE APPLICANT SHALL SUBMIT AN "AS-BUILT" PLAN OF THE SUBDIVISION IN ITS ENTIRETY, TOGETHER WITH THE ROW DEED DEDICATING THE ROW AS A PUBLIC STREET.
- BLASTING OR RAMMING ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 9:00A.M. AND 5:00 P.M. MONDAY THROUGH FRIDAY. SAID BLASTING ACTIVITIES ARE PROHIBITED ON SATURDAY AND SUNDAY. ADD TO SHEET OV1 AS NOTE 28.

ALL REPRESENTATIONS OF FACT OR INTENTION MADE BY THE APPLICANT OR ANY APPLICANT'S REPRESENTATIVE DURING TESTIMONY BEFORE THE PLANNING BOARD, RELATIVE TO THE OBTAINING APPROVAL OF THIS PLAN, SHALL BE CONSIDERED CONDITIONS OF THIS APPROVAL REGARDLESS OF THE FACT THAT SUCH FACT OR INTENTIONS WERE NOT SPECIFICALLY STATED AS PART OF THE MOTION TO GRANT. NOTE: IN ADDITION TO THE ABOVE CONDITIONS OF APPROVAL, AND IN ACCORDANCE WITH THE GRANTING OF THE WAIVER-HTC 289-18Y-STREET- THE APPLICANT HAS AGREED TO SUBMIT \$10,000 TO THE TOWN'S SIDEWALK ACCOUNT # 2050-053. THIS SUM IS IN LIEU OF A SIDEWALK BEING INSTALLED WITHIN THE ROW OF THIS SUBDIVISION.

# OPEN SPACE DEVELOPMENT "LAUREL LANDING" APPROVED AS "BROOKVIEW" TAX MAP 186, LOT 13 SPEARE ROAD, HUDSON, NH



LOCUS MAP  
SCALE 1" = 1000'

**CIVIL ENGINEER AND SURVEYOR**  
JONES & BEACH ENGINEERS, INC.  
85 PORTSMOUTH AVENUE  
PO BOX 219  
STRATHAM, NH 03885  
(603) 772-4746  
CONTACT: JOSEPH CORONATI  
EMAIL: JCORONATI@JONESANDBEACH.COM

**WETLAND CONSULTANT**  
GOVE ENVIRONMENTAL SERVICES, INC.  
8 CONTINENTAL DRIVE, UNIT H  
EXETER, NH 03833  
(603) 778-0644  
CONTACT: JIM GOVE, CSS, CWS  
JGOVE@GESINC.BIZ

**ELECTRIC**  
PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE  
74 OLD DOVER ROAD  
ROCHESTER, NH 03867  
(603) 332-4227

**TELEPHONE**  
FAIRPOINT COMMUNICATIONS  
1575 GREENLAND ROAD  
GREENLAND, NH 03840  
(603) 427-5525  
CONTACT: JOE CONSIDINE

**TELEPHONE**  
FAIRPOINT COMMUNICATIONS  
100 TRI CITY ROAD  
SOMERWORTH, NH 03878  
ATTN: DAVE KESTNER  
(603) 743-1114

**CABLE TV**  
COMCAST COMMUNICATION CORPORATION  
334-B CALEF HIGHWAY  
EPPING, NH 03042-2325  
(603) 679-5695

**SHEET INDEX**

CS	COVER SHEET
Y1-Y2	YIELD PLANS
OV1	OVERVIEW SUBDIVISION PLAN
A1-A3	SUBDIVISION PLAN
C1-C3	EXISTING CONDITIONS PLAN
C4	GRADING, DRAINAGE AND UTILITY PLAN
N1	TEST PIT LOGS
P1	PLAN AND PROFILE
H1	HIGHWAY PLAN
X1-X2	CROSS SECTIONS
F1-F3	30,000 GALLON FIRE CISTERN DETAILS
D1-D3	DETAIL SHEETS
E1	EROSION AND SEDIMENT CONTROL DETAILS

**GENERAL LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FRESHWATER WETLANDS LINE
---	---	TIDAL WETLANDS LINE
---	---	STREAM CHANNEL
---	---	TREE LINE
---	---	STONEWALL
---	---	BARBED WIRE
---	---	FENCE
---	---	STOCKADE FENCE
---	---	SOIL BOUNDARY
---	---	AQUIFER PROTECTION LINE
---	---	FLOOD PLAIN LINE
---	---	ZONELINE
---	---	EASEMENT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	SLOPE GRANITE CURB
---	---	CAPE COD BERM
---	---	POURED CONCRETE CURB
---	---	SILT FENCE
---	---	DRAINAGE LINE
---	---	SEWER LINE
---	---	SEWER FORCE MAIN
---	---	GAS LINE
---	---	WATER LINE
---	---	WATER SERVICE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	GUARDRAIL
---	---	UNDERDRAIN
---	---	FIRE PROTECTION LINE
---	---	THRUST BLOCK
---	---	IRON PIPE/IRON ROD
---	---	DRILL HOLE
---	---	IRON ROD/DRILL HOLE
---	---	STONE/GRANITE BOUND
---	---	SPOT GRADE
---	---	PAVEMENT SPOT GRADE
---	---	CURB SPOT GRADE
---	---	BENCHMARK (TBM)
---	---	DOUBLE POST SIGN
---	---	SINGLE POST SIGN
---	---	WELL
---	---	TEST PIT
---	---	FAILED TEST PIT
---	---	MONITORING WELL
---	---	PERC TEST
---	---	PHOTO LOCATION
---	---	TREES AND BUSHES
---	---	UTILITY POLES
---	---	DRAIN MANHOLE
---	---	SEWER MANHOLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	REDUCER
---	---	SINGLE GRATE CATCH BASIN
---	---	DOUBLE GRATE CATCH BASIN
---	---	TRANSFORMER
---	---	CULVERT W/WINGWALLS
---	---	CULVERT W/FLARED END SECTION
---	---	CULVERT W/STRAIGHT HEADWALL
---	---	STONE CHECK DAM
---	---	DRAINAGE FLOW DIRECTION
---	---	4K SEPTIC AREA
---	---	WETLAND IMPACT
---	---	VEGETATED FILTER STRIP
---	---	RIPRAP
---	---	OPEN WATER
---	---	FRESHWATER WETLANDS
---	---	TIDAL WETLANDS
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	CONCRETE
---	---	GRAVEL
---	---	SNOW STORAGE
---	---	RETAINING WALL

**APPLICANT**  
LAMONTAGNE BUILDERS  
317 SOUTH RIVER ROAD  
BEDFORD, NH 03110

**TOTAL LOT AREA**  
1,447,050 SQ. FT.  
33.22 ACRES

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.



Design: JAC	Draft: PSL	Date: 7/10/15
Checked: JAC	Scale: AS NOTED	Project No.: 15031
Drawing Name: 15031-PLAN SET.dwg		
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REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. Civil Engineering Services 603-772-4746  
PO Box 219 Stratham, NH 03885 FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **COVER SHEET**

Project: **LAUREL LANDING  
SPEARE ROAD, HUDSON, NH 03051**

Owner of Record: **DOUGLAS S. SANDERSON  
11 NERSESIAN WAY, HAMPTON, NH 03842**

DRAWING No. **CS**

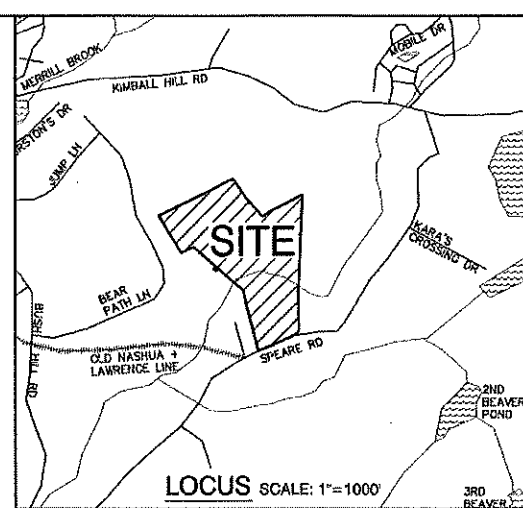
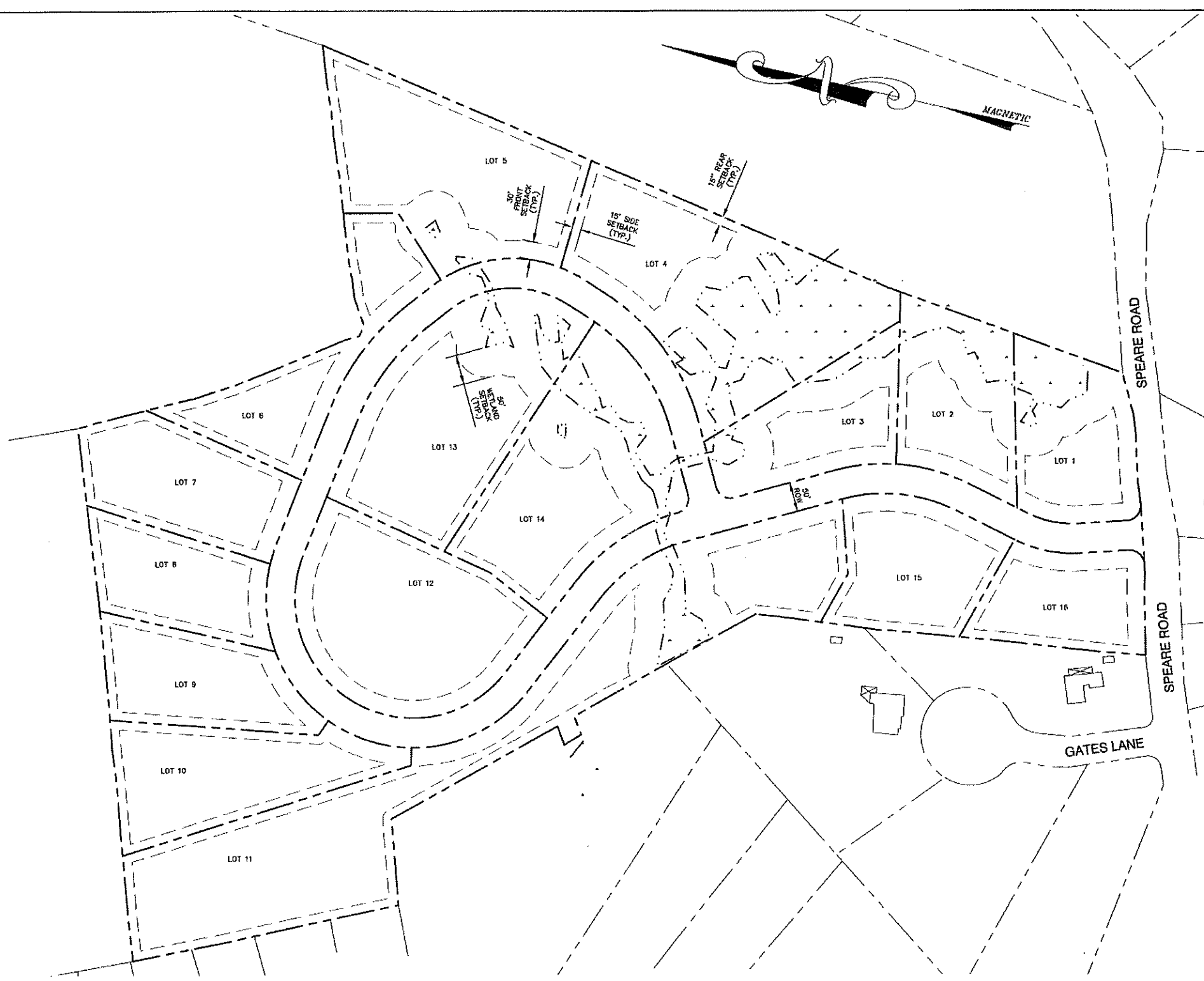
SHEET 1 OF 23  
JBE PROJECT NO. 15031

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LAUREL LANDING, HUDSON, NH  
REVISION: 6/13/17



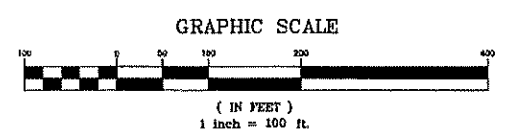
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LOT NO.	GROSS AREA (SF)	WETLANDS (SF)	SLOPES GREATER THAN 25% (SF)	NET AREA (SF)
1	56216	11473	728	44016
2	56672	12326	90	44255
3	53064	7173	912	44979
4	128240	49868	3394	74979
5	101081	793	3108	97180
6	58313	0	5900	52412
7	59524	0	12313	47211
8	47341	0	1219	46122
9	52132	0	1539	50593
10	68048	0	3140	64909
11	202574	7531	56683	138361
12	101488	0	5196	96291
13	107041	5787	5947	95307
14	102790	9604	17063	76123
15	55256	0	4709	50547
16	44779	0	541	44238

**SUBDIVISION NOTES:**

- THE INTENT OF THIS PLAN IS TO PROVIDE A YIELD PLAN TO SHOW A CONVENTIONAL SUBDIVISION OF 16 LOTS ON THIS PROPERTY TO DETERMINE THE BASE DENSITY FOR A CONSERVATION SUBDIVISION.
- ZONING DISTRICT: GENERAL  
 LOT AREA MINIMUM = 43,560 SF CONTIGUOUS UPLAND WITHOUT WATER AND ON-SITE SEWAGE DISPOSAL  
 LOT FRONTAGE MINIMUM = 150'  
 BUILDING SETBACKS (MINIMUM):  
 FRONT SETBACK = 30'  
 SIDE SETBACK = 15'  
 REAR SETBACK = 15'  
 WETLAND SETBACK FOR IMPERVIOUS = 60'  
 WETLAND SETBACK FOR SEPTIC = 100'  
 MAXIMUM BUILDING HEIGHT = 30'
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE.



**APPLICANT**  
 LAMONTAGNE BUILDERS  
 317 SOUTH RIVER ROAD  
 BEDFORD, NH 03110

**TOTAL LOT AREA**  
 1,447,050 SQ. FT.  
 33.22 ACRES

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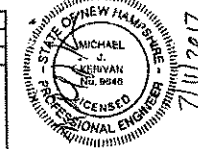
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Design: JAC Draft: PSL Date: 7/10/15  
 Checked: JAC Scale: AS SHOWN Project No.: 15031  
 Drawing Name: 15031-PLAN SET.dwg

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Designed and Produced in NH

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 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **YIELD PLAN**  
 MAP 186, LOT 13

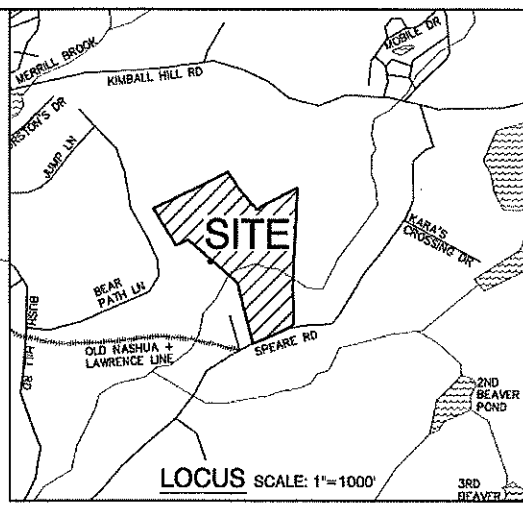
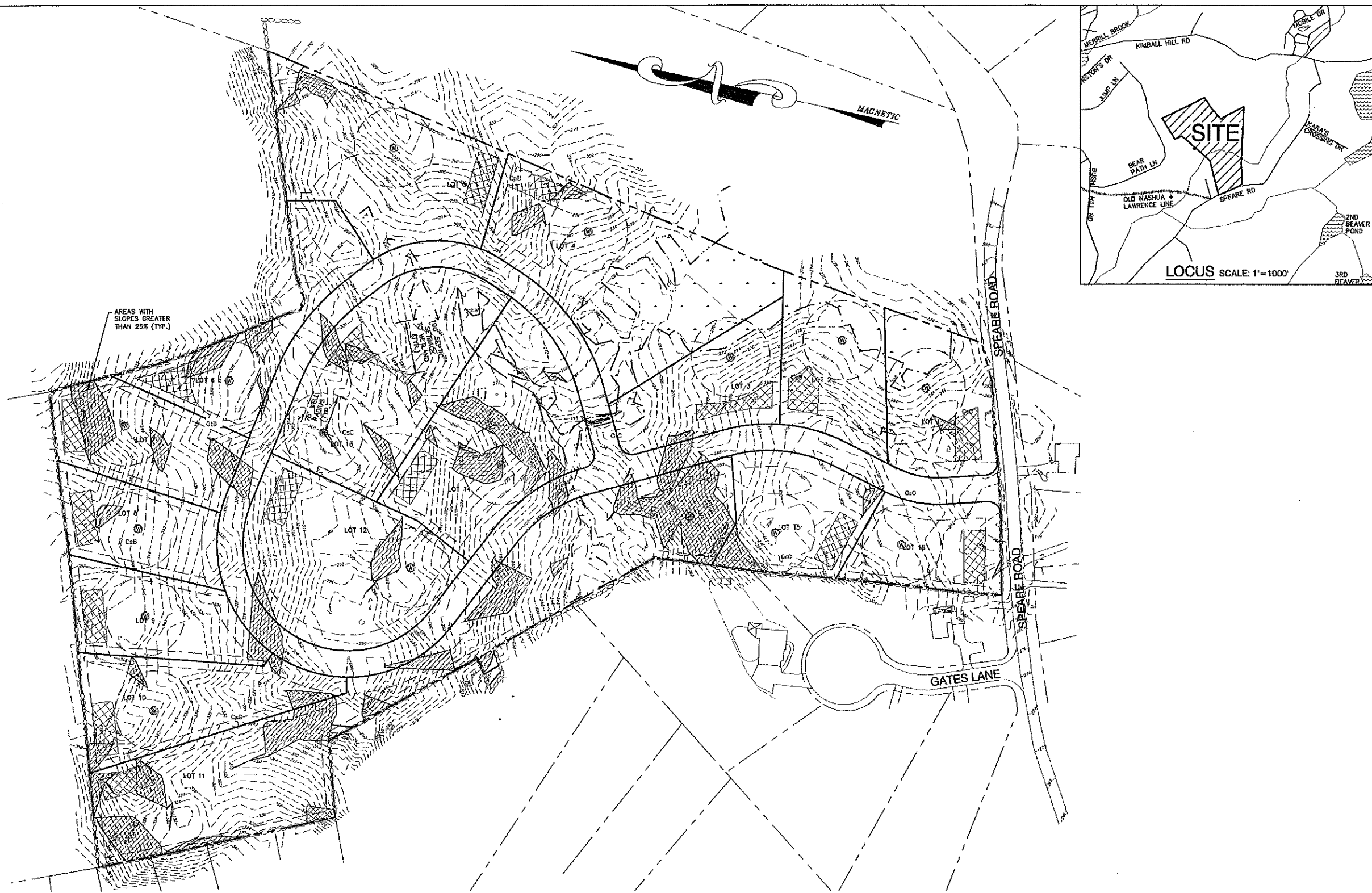
Project: **LAUREL LANDING**  
**SPEARE ROAD, HUDSON, NH 03051**

Owner of Record: **DOUGLAS S. SANDERSON**  
 11 NERSESIAN WAY, HAMPTON, NH 03842

DRAWING No. **Y1**

SHEET 2 OF 23  
 JBE PROJECT NO. 15031

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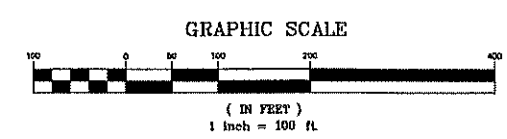
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9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/6/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. Civil Engineering Services 603-772-4748  
 PO Box 219 Strattham, NH 03885 FAX: 603-772-0227  
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>YIELD PLAN</b> MAP 186, LOT 13
Project:	<b>LAUREL LANDING</b> SPEARE ROAD, HUDSON, NH 03051
Owner of Record:	<b>DOUGLAS S. SANDERSON</b> 11 NERSESIAN WAY, HAMPTON, NH 03842

DRAWING No.  
**Y2**  
 SHEET 3 OF 23  
 JBE PROJECT NO. 15031



LOT NO.	GROSS AREA (SF)	WETLANDS (SF)	SLOPES GREATER THAN 25% (SF)	NET AREA (SF)
13-1	25959	1769	589	23601
13-2	31743	2593	182	28968
13-3	29592	0	0	29592
13-4	30247	351	0	29896
13-5	29600	0	0	29600
13-6	39190	0	17367	21823
13-7	21945	0	0	21945
13-8	22567	0	0	22567

TAX MAP 176/LOT 26  
STATE OF NEW HAMPSHIRE  
DEPT. OF TRANSPORTATION  
PO BOX 483  
CONCORD, NH 03302-0483

TAX MAP 186/LOT 14  
STATE OF NEW HAMPSHIRE  
DEPT. OF TRANSPORTATION  
PO BOX 483  
CONCORD, NH 03302-0483

TAX MAP 186/LOT 24  
EAGLES NEST ESTATES LLC  
4 POWDERHORN DR  
PELHAM, NH 03076-3387  
BK 8221/PG 0169

TAX MAP 194/LOT 5  
STATE OF NEW HAMPSHIRE  
DEPT. OF TRANSPORTATION  
PO BOX 483  
CONCORD, NH 03302-0483  
BK 2100/PG 0002

TAX MAP 186/LOT 27  
STEVEN A. & TRISHA  
H. GAGNON  
51 SPEARE ROAD  
HUDSON, NH 03051  
BK 5921/PG 0788

TAX MAP 186/LOT 7  
STACEY J. PACE  
7 GATES LANE  
HUDSON, NH 03051  
BK 8238/PG 2951

TAX MAP 188/LOT 12  
AMBER M. & DAVID P. SEGATTO  
1 GATES LANE  
HUDSON, NH 03051  
BK 8503/PG 1502

TAX MAP 186/LOT 6  
JAMES D. & KRISTIN M.  
PAQUETTE  
2 GATES LANE  
HUDSON, NH 03051  
BK 7303/PG 0438

TAX MAP 188/LOT 6  
JAMES E. & KIM M. NORMAND  
4 GATES LANE  
HUDSON, NH 03051  
BK 7329/PG 0942

**ABUTTERS NOT SHOWN:**

TAX MAP 177 LOT 51  
KANSTANTIN AUSIANNIKAU  
47 BEAR PATH LANE  
HUDSON, NH 03051  
BK 8009/PG 1795

TAX MAP 177 LOT 52  
TODD J. & KATHRYN H. COPPI  
45 BEAR PATH LANE  
HUDSON, NH 03051  
BK 7008/PG 1938

TAX MAP 185/LOT 66  
MATTHEW H. WEDGWOOD  
LAURIE MEDEIROS  
43 BEAR PATH LANE  
HUDSON, NH 03051  
BK 8901/PG 1037

TAX MAP 185/LOT 67  
ROBERT J. FLOHR, SR.  
JEANNE A. FLOHR  
41 BEAR PATH LANE  
HUDSON, NH 03051  
BK 8377/PG 0216

TAX MAP 185/LOT 68  
CHARLES F. & LISA D. ANDERSON  
39 BEAR PATH LANE  
HUDSON, NH 03051  
BK 6871/PG 2031

TAX MAP 185/LOT 69  
MICHAEL PATRICK JOHNSTON  
LAW L. NELSON-JOHNSTON  
37 BEAR PATH LANE  
HUDSON, NH 03051  
BK 8660/PG 1747

TAX MAP 185/LOT 70  
LEE A. & JULIE A. SHAPPY  
35 BEAR PATH LANE  
HUDSON, NH 03051  
BK 6186/PG 0590

TAX MAP 185/LOT 26  
NORMAN & KENDALL CHALLER  
47 SPEARE ROAD  
HUDSON, NH 03051  
BK 6007/PG 0333

TAX MAP 185/LOT 29  
MATTHEW & CHARLENE BROWN  
45 SPEARE ROAD  
HUDSON, NH 03051  
BK 5809/PG 0039

TAX MAP 186/LOT 30  
TIMOTHY D. BURNELL  
RACHEL R. GARSIDE  
41 SPEARE ROAD  
HUDSON, NH 03051  
BK 8766 /PG 2154

TAX MAP 186/LOT 30-1  
DAVID & KAREN BURNELL, TR.  
41 SPEARE ROAD  
HUDSON, NH 03051  
BK 2791/PG 0105 (09/12/80)

**GENERAL LEGEND**

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINES
		SETBACK LINES
		FRESHWATER WETLANDS LINE
		FRESHWATER WETLANDS
		SLOPES OVER 25%

EDGE OF WETLAND (TYP.)  
CONSERVATION DISTRICT MARKERS (TYP.)  
SLOPES OVER 25% (TYP.)

MAP 186 LOT 13  
OPEN SPACE "A"  
UPLANDS=1,075,635 S.F.  
WETLANDS=102,604 S.F.  
TOTAL=1,178,239 SF  
27.05 ACRES

**CERTIFICATION:**

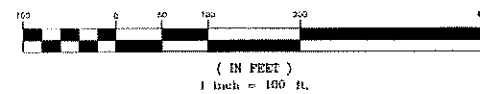
I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 303.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.S.A. ETHICS AND STANDARDS.

DAVID M. COLLIER, LLS 892  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 7/11/17

**GRAPHIC SCALE**



**PLAN REFERENCES:**

- LOT LINE RELOCATION PLAN-SPEARE ROAD, HUDSON, N.H. FOR FIR REALTY DATED JUNE 1985 AND RECORDED AT H.O.R.D. AS PLAN #18065
- NH07 R.O.W. PLAN - NASHUA - HUDSON CIRCUMFERENTIAL HIGHWAY, N.H. TURNPIKE PROJECT 10625-J, #10644A SOUTHERN SEGMENT, FILE 55139 APPROVAL DATE 5-14-91. PROJECT 10625-J, #10644A SOUTHERN SEGMENT, FILE 55139 APPROVAL DATE 5-14-91.

APPROVED BY THE HUDSON, NH PLANNING BOARD

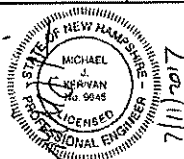
DATE OF MEETING:

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PURSUANT TO THE REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.



REV.	DATE	REVISION	BY
10	1/17/17	REVISED FOR RECORDING	MJS
9	10/8/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/6/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL
6	5/31/16	REVISED PER TOWN COMMENTS	PSL

Designed and Produced in NH  
**J/B Jones & Beach Engineers, Inc.**  
85 Portsmouth Ave. Civil Engineering Services 603-772-4746  
PO Box 219 FAX: 603-772-0227  
Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

**SUBDIVISION NOTES:**

- THE INTENT OF THIS PLAN IS TO SUBDIVIDE TAX MAP 186, LOT 13 INTO AN OPEN SPACE DEVELOPMENT SUBDIVISION ON THIS PROPERTY, CONSISTING OF 8 LOTS WITH SINGLE FAMILY HOMES, INDIVIDUAL SANITARY SEWER DISPOSAL SYSTEMS AND INDIVIDUAL ON SITE WELLS.
- ZONING DISTRICT: GENERAL  
LOT AREA MINIMUM = 50% OF CONVENTIONAL LOT AREA MINIMUM = 21,780 SF CONTIGUOUS UPLAND NOT CONTAINING SLOPES GREATER THAN 25%  
LOT FRONTAGE MINIMUM = 50% OF CONVENTIONAL LOT FRONTAGE MINIMUM = 75'  
BUILDING SETBACKS (MINIMUM) = 50% OF CONVENTIONAL BUILDING SETBACKS (EXCEPT WHERE PROPERTY ADJUTS A NON-OSD RESIDENTIAL LOT)  
FRONT SETBACK = 15'  
SIDE SETBACK = 7.5'  
REAR SETBACK = 7.5'  
WETLAND SETBACK FOR IMPERVIOUS = 50'  
WETLAND SETBACK FOR SEPTIC = 100'  
MAXIMUM BUILDING HEIGHT = 35'
- NHDES APPROVAL FOR SUBDIVISION PERMIT NO. 6SA2016093002, DATED 9/30/2016.

- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATIC APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 33011005190, DATED SEPTEMBER 25, 2009.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.M.P.P.), THIS DOCUMENT IS TO BE KEPT ON-SITE AT ALL TIMES AND UPDATED AS REQUIRED.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL CONSTRUCTION WILL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NH07 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- GRANITE BOUNDS TO BE SET AT ALL ROADWAY POINTS OF CURVATURE AND TANGENCY, IRON RODS WITH SURVEY CAPS TO BE SET AT ALL PROPERTY CORNERS AND ANGLE POINTS, UNLESS OTHERWISE INDICATED, ALL MONUMENTS SET ARE 5/8" IRON RODS WITH ALUMINUM CAPS MARKED "JONES & BEACH ENGINEERS BOUNDARY, DO NOT DISTURB, STRATHAM, N.H." AS SHOWN.
- LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
- UPON APPROVAL BY THE TOWN, THE PROPOSED ROAD WILL BE CONVEYED TO THE TOWN.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
- ALL BOOK AND PAGE NUMBERS REFER TO THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS AND ABUTTING OWNERS ARE BASED ON THE TOWN OF HUDSON TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE TOWN OF HUDSON ASSESSORS OFFICE AND THE TOWN OF HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.

OWNER SIGNATURE: \_\_\_\_\_

FOR DOUGLAS S. SANDERSON, 11 NERSESIAN WAY, HAMPTON, NH 03842

APPLICANT  
LAMONTAGNE BUILDERS  
317 SOUTH RIVER ROAD  
BEDFORD, NH 03110

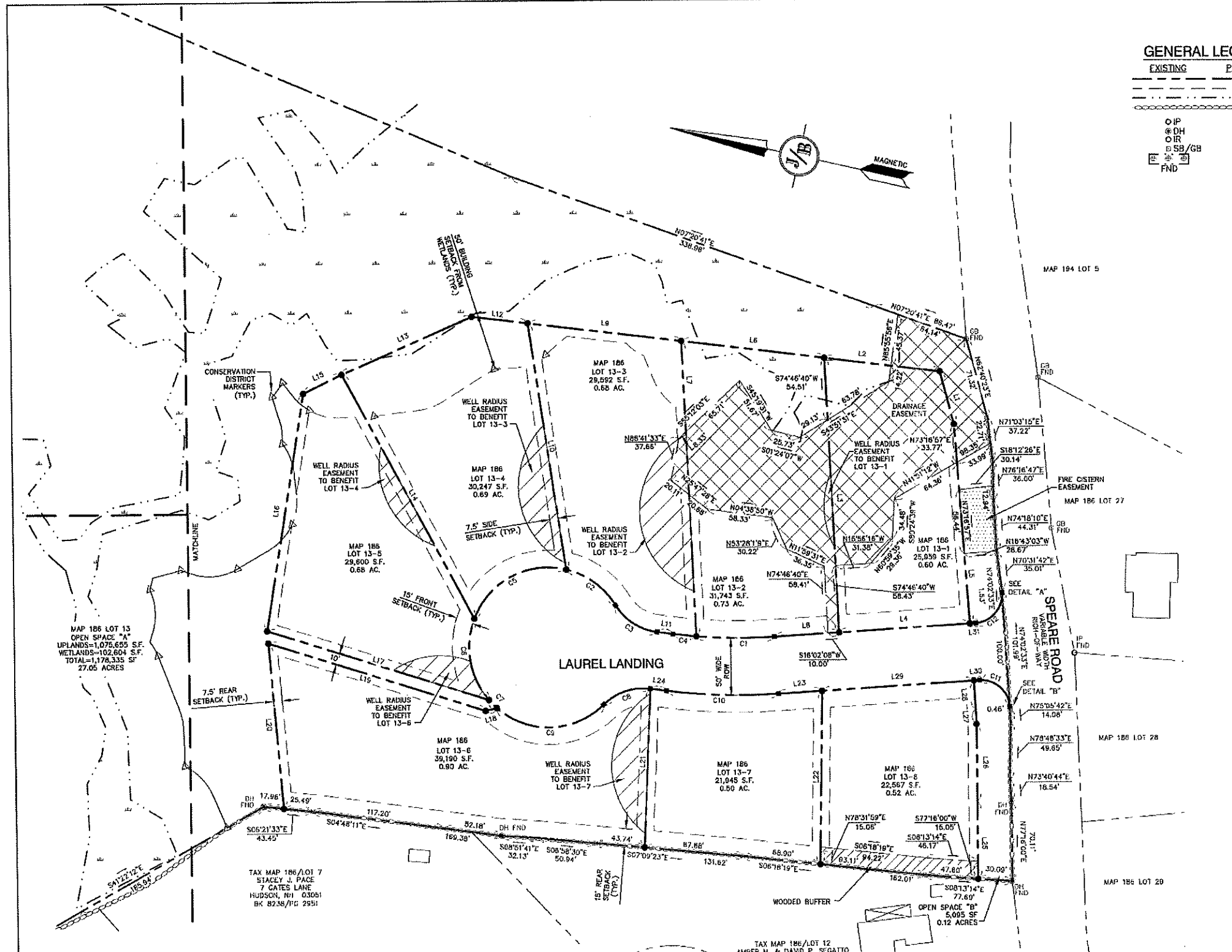
TOTAL LOT AREA  
1,447,050 SQ. FT.  
33.22 ACRES

DATE: \_\_\_\_\_

Plan Name: **OVERVIEW SUBDIVISION PLAN**  
MAP 186, LOT 13  
Project: **LAUREL LANDING**  
**SPEARE ROAD, HUDSON, NH 03051**  
Owner of Record: **DOUGLAS S. SANDERSON**  
11 NERSESIAN WAY, HAMPTON, NH 03842

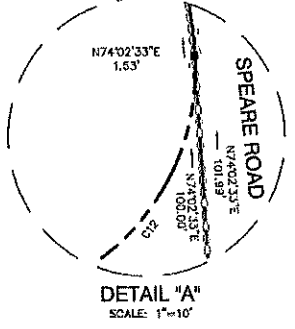
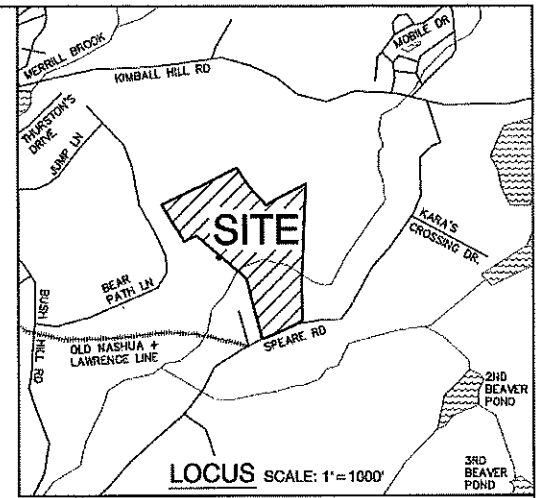
DRAWING No.  
**OV1**  
SHEET 4 OF 23  
JBE PROJECT NO. 16031

F:\Land Projects\315031-HUDSON-SPEARE-ROAD-PORTER-VY-LAR-CIVIL-MY-LAR.dwg 7/11/2017 3:27:23 PM EDT



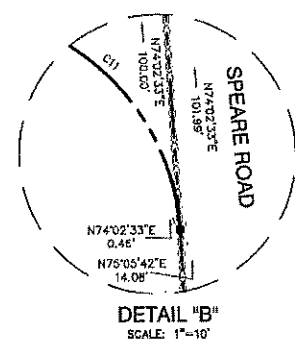
**GENERAL LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	FRESHWATER WETLANDS LINE
---	---	STONE WALL
○ P	●	IRON PIPE
○ OH	●	DRILL HOLE
○ IR	●	IRON ROD
○ SB/GH	●	STONE/GRANITE BOUND
○ FND	●	FRESHWATER WETLANDS FOUND



**CURVE TABLE**

CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DISTANCE
C1	8°23'06"	475.00'	89.51'	S11°50'35"E	69.46'
C2	44°43'66"	70.00'	54.65'	S23°48'05"W	63.27'
C3	51°19'04"	50.00'	44.78'	S20°30'30"W	43.30'
C4	2°30'00"	475.00'	20.73'	S08°24'02"E	20.73'
C5	82°30'21"	70.00'	103.80'	S33°49'04"E	92.31'
C6	82°30'21"	70.00'	75.62'	S71°04'48"W	81.28'
C7	81°02'29"	70.00'	10.00'	N32°41'43"E	9.99'
C8	51°19'04"	50.00'	44.78'	N30°48'34"W	43.30'
C9	85°04'19"	70.00'	103.84'	N13°55'56"W	94.65'
C10	10°53'06"	525.00'	99.74'	N10°35'35"W	99.58'
C11	90°04'41"	25.00'	39.30'	S29°00'13"W	35.38'
C12	89°56'19"	25.00'	39.24'	N60°59'47"W	35.33'



**LINE TABLE**

LINE	LENGTH	BEARING
L1	47.68'	N62°40'23"E
L2	103.35'	N05°33'21"W
L3	240.75'	S74°46'40"W
L4	116.47'	S16°02'08"E
L5	175.19'	N73°16'57"E
L6	127.40'	N05°33'21"W
L7	268.87'	S78°03'17"W
L8	57.52'	S16°02'08"E
L9	136.32'	N05°33'21"W
L10	218.35'	S88°59'17"W
L11	14.31'	S05°09'02"E
L12	49.55'	N05°33'21"W
L13	126.10'	N30°47'58"W
L14	243.47'	S48°12'43"W
L15	37.88'	N38°07'02"W
L16	210.16'	S86°51'06"W
L17	205.34'	S05°02'28"W
L18	10.35'	N26°11'03"W
L19	201.25'	N55°02'28"E
L20	145.18'	S72°48'10"W
L21	139.01'	N80°04'50"E
L22	161.76'	N78°31'59"E
L23	38.81'	N16°02'06"W
L24	14.31'	N05°08'02"W
L25	67.78'	N77°20'27"E
L26	67.58'	N77°20'27"E
L27	13.20'	N74°24'16"E
L28	25.18'	N74°24'16"E
L29	135.11'	N16°02'08"W
L30	4.97'	S16°02'08"E
L31	5.03'	S16°02'08"E

**CERTIFICATION:**

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

DAVID M. COLLIER, LLS 892  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 7/11/17

APPROVED BY THE HUDSON, NH PLANNING BOARD

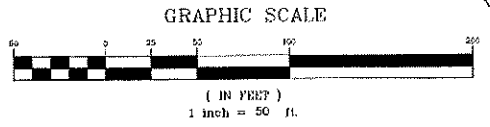
DATE OF MEETING: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PURSUANT TO THE REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.



Design: JAC	Draft: PSL	Date: 7/10/15
Checked: JAC	Scale: 1" = 60'	Project No.: 15031
Drawing Name: 15031-PLAN SET.dwg		

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
11	6/19/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL
		REVISION	BY

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SUBDIVISION PLAN**  
MAP 186, LOT 13  
LAUREL LANDING  
SPEARE ROAD, HUDSON, NH 03051

Project: \_\_\_\_\_

Owner of Record: **DOUGLAS S. SANDERSON**  
11 NERSESIAN WAY, HAMPTON, NH 03842

DRAWING No. **A1**

SHEET 5 OF 23  
JBE PROJECT NO. 15031

APPLICANT  
LAMONTAGNE BUILDERS  
317 SOUTH RIVER ROAD  
BEDFORD, NH 03110

TOTAL LOT AREA  
1,447,050 SQ. FT.  
33.22 ACRES



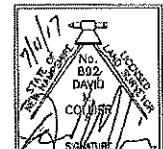
TAX MAP 176/LOT 30  
WALTER S. ABUCENICZ TR.  
MURRAYANN ABUCENICZ TR.  
63 KIMBALL HILL ROAD  
HUDSON, NH 03051  
BK 8687/PG 1321

TAX MAP 186/LOT 1  
TOWN OF HUDSON  
12 SCHOOL STREET  
HUDSON, NH 03051  
BK 6292/PG 0612

**CERTIFICATION:**

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

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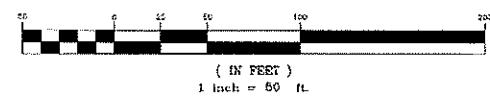
DAVID M. COLLIER, LLS 892  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

7/11/17  
DATE:

**GENERAL LEGEND**

- | EXISTING | PROPOSED | DESCRIPTION               |
|----------|----------|---------------------------|
| ---      | ---      | PROPERTY LINES            |
| ---      | ---      | SETBACK LINES             |
| ---      | ---      | FRESHWATER WETLANDS LINE  |
| ---      | ---      | STONE WALL                |
| ○ IP     | ●        | IRON PIPE                 |
| ⊙ DH     | ●        | DRILL HOLE                |
| ○ IR     | ●        | IRON ROD                  |
| □ SB/GB  | ■        | STONE/GRANITE BOUND       |
| ⊞ FND    | ■        | FRESHWATER WETLANDS FOUND |

**GRAPHIC SCALE**



APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

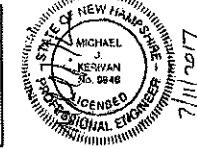
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPLICANT  
LAMONTAGNE BUILDERS  
317 SOUTH RIVER ROAD  
BEDFORD, NH 03110

TOTAL LOT AREA  
1,447,050 SQ. FT.  
33.22 ACRES

Design: JAC	Draft: PSL	Date: 7/10/15
Checked: JAC	Scale: 1" = 50'	Project No.: 15031
Drawing Name: 15031-PLAN SET.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	8/1/15	REVISED LOTS 13-5 AND 13-6	PSL
REV.	DATE	REVISION	BY

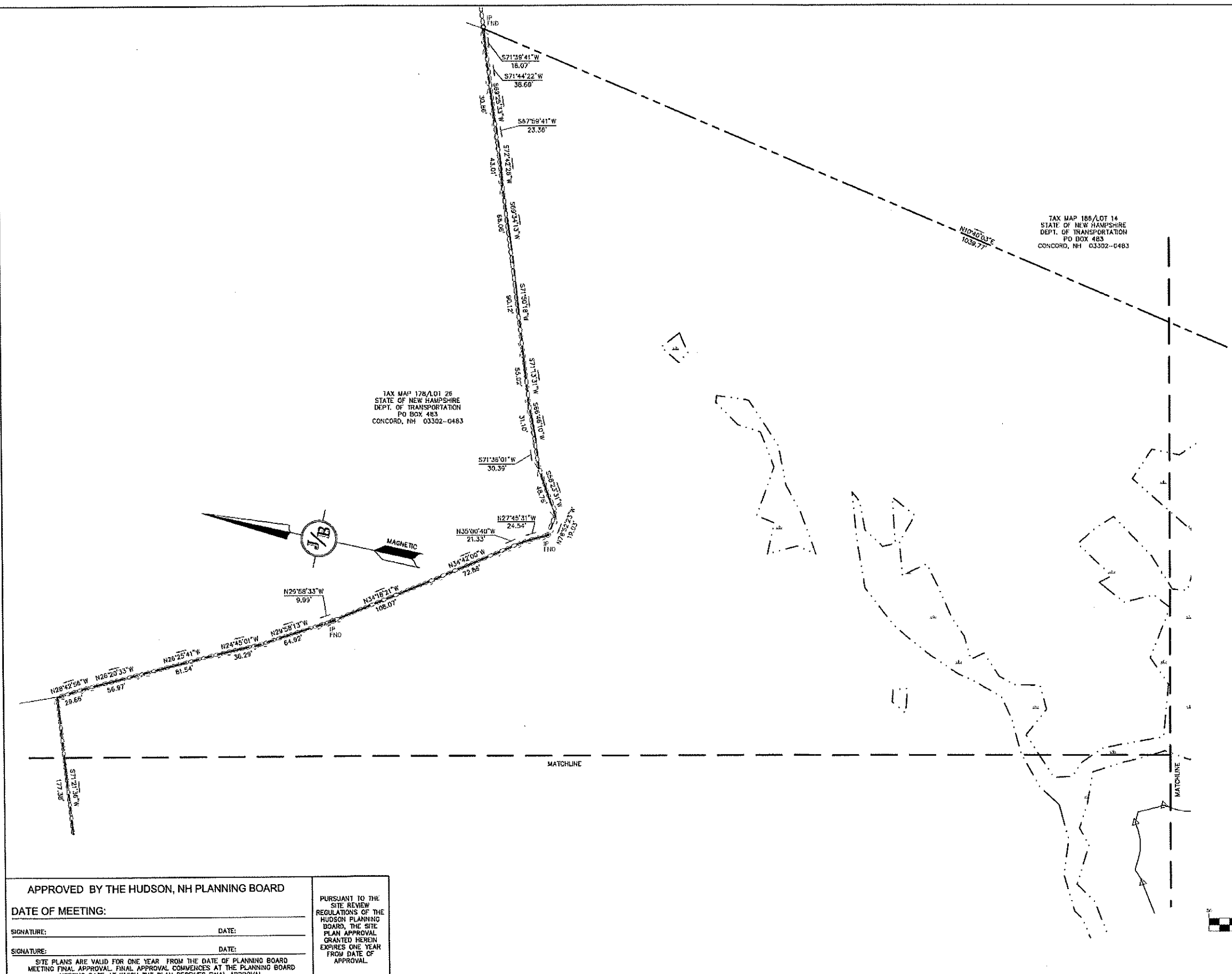
Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. Civil Engineering Services 603-772-4746  
PO Box 210 Stratham, NH 03885 FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>SUBDIVISION PLAN</b> MAP 186, LOT 13
Project:	<b>LAUREL LANDING</b> SPEARE ROAD, HUDSON, NH 03051
Owner of Record:	DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842

DRAWING NO.  
**A2**  
SHEET 6 OF 23  
JBE PROJECT NO. 15031



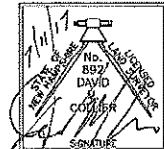
- ABUTTERS NOT SHOWN:**
- TAX MAP 177 LOT 51  
KANSTANTIN AUSIANNIKAU  
47 BEAR PATH LANE  
HUDSON, NH 03051  
BK 8009/PG 1785
  - TAX MAP 177 LOT 52  
TODD J. & KATHRYN H. COPPI  
45 BEAR PATH LANE  
HUDSON, NH 03051  
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  - TAX MAP 185/LOT 66  
MATTHEW H. MEDEIROS  
LAURE MEDeiros  
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MICHAEL PATRICK JOHNSTON  
LANI L. NILSSON-JOHNSTON  
37 BEAR PATH LANE  
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BK 8660/PG 1747
  - TAX MAP 185/LOT 70  
LEE A. & JULIE A. SHIPPY  
35 BEAR PATH LANE  
HUDSON, NH 03051  
BK 6186/PG 0580
  - TAX MAP 186/LOT 2  
DAVID & THERESA PATTERSON  
31 BEAR PATH LANE  
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JAMES E. & KIM M. HORMAND  
4 GATES LANE  
HUDSON, NH 03051  
BK 7329/PG 0942
  - TAX MAP 186/LOT 24  
EAGLES NEST ESTATES LLC  
4 POWDERHORN DR  
PELHAM, NH 03076-3387  
BK 8221/PG 0189
  - TAX MAP 186/LOT 27  
STEVEN A. & TRISHA H. GADRON  
51 SPEARE ROAD  
HUDSON, NH 03051  
BK 5921/PG 0788
  - TAX MAP 186/LOT 28  
NORMAN & KENDALL CALLER  
47 SPEARE ROAD  
HUDSON, NH 03051  
BK 6007/PG 0333
  - TAX MAP 186/LOT 29  
MATTHEW & CHARLENE BROWN  
45 SPEARE ROAD  
HUDSON, NH 03051  
BK 5803/PG 0039
  - TAX MAP 186/LOT 30  
TIMOTHY D. BURNELL  
RACHEL R. GARSDIE  
41 SPEARE ROAD  
HUDSON, NH 03051  
BK 8766/PG 2184
  - TAX MAP 186/LOT 30-1  
DAVID & KAREN BURNELL, TR.  
41 SPEARE ROAD  
HUDSON, NH 03051  
BK 2781/PG 0100 (08/12/80)
  - TAX MAP 194/LOT 5  
STATE OF NEW HAMPSHIRE  
DEPT. OF TRANSPORTATION  
PO BOX 483  
CONCORD, NH 03302-0483  
BK 2100/PG 0002

TAX MAP 178/LOT 26  
STATE OF NEW HAMPSHIRE  
DEPT. OF TRANSPORTATION  
PO BOX 483  
CONCORD, NH 03302-0483

**CERTIFICATION:**

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 603.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

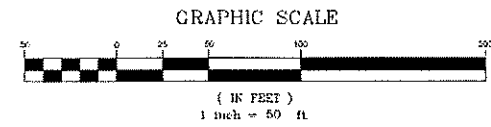


DAVID M. COLLIER, LLS 892  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

7/11/17  
DATE:

**GENERAL LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	FRESHWATER WETLANDS LINE
---	---	STONE WALL
○ IP	●	IRON PIPE
⊙ DH	●	DRILL HOLE
○ IR	●	IRON ROD
⊙ SB/GB	■	STONE/GRAVITE BOUND
⊙ FND	■	FRESHWATER WETLANDS FOUND



APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

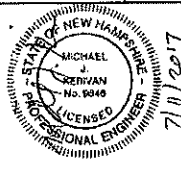
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPLICANT  
LAMONTAGNE BUILDERS  
317 SOUTH RIVER ROAD  
BEDFORD, NH 03110

TOTAL LOT AREA  
1,447,050 SQ. FT.  
33.22 ACRES

Design: JAC	Draft: PSL	Date: 7/10/15
Checked: JAC	Scale: 1" = 50'	Project No.: 15031
Drawing Name: 15031-PLAN SET.dwg		
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REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL
REV.	DATE	REVISION	BY

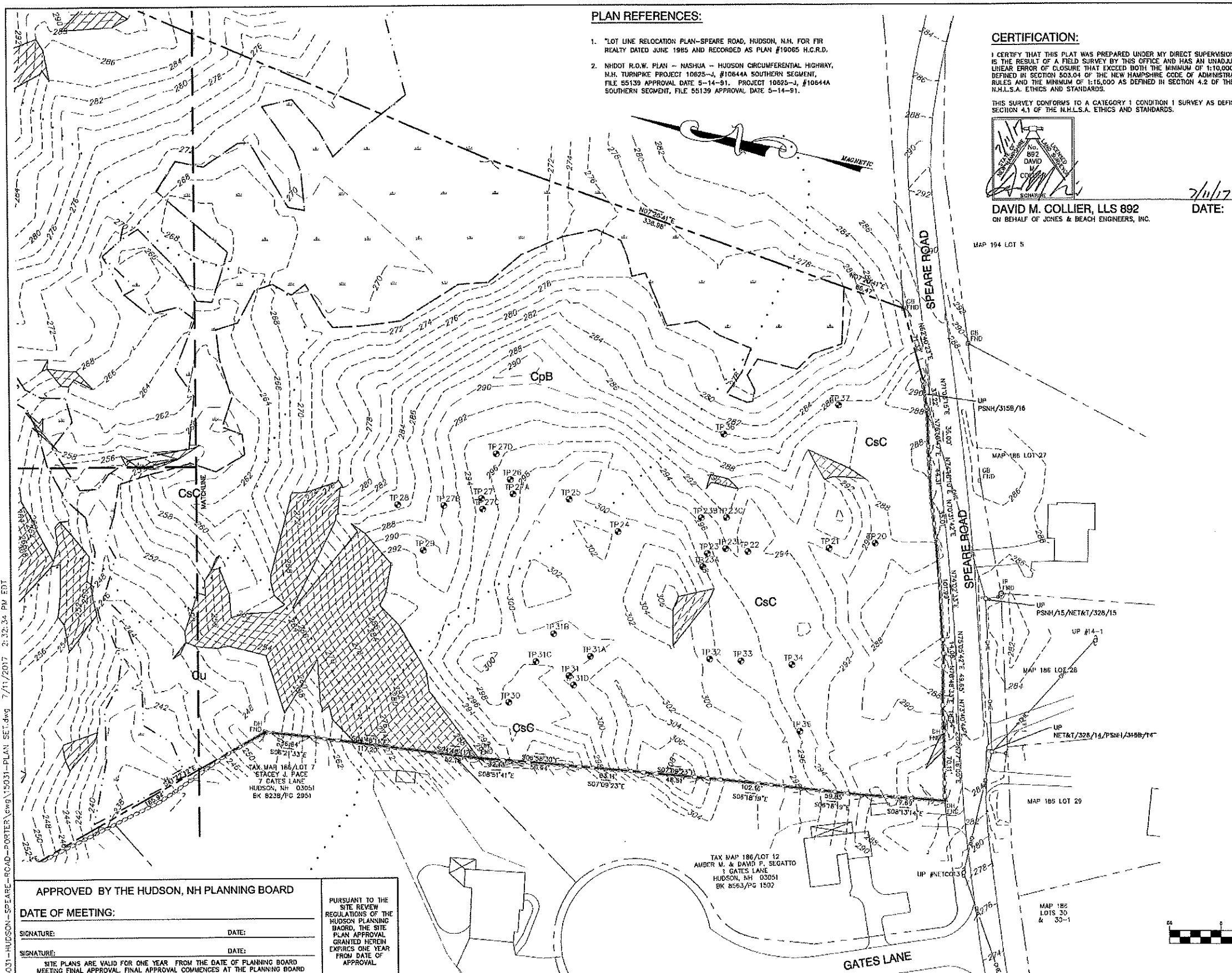
Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

05 Portsmouth Ave. Civil Engineering Services 603-772-4748  
PO Box 219 Stratham, NH 03805 FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>SUBDIVISION PLAN</b> MAP 186, LOT 13
Project:	LAUREL LANDING SPEARE ROAD, HUDSON, NH 03051
Owner of Record:	DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842

DRAWING No.  
**A3**  
SHEET 7 OF 23  
JBE PROJECT NO. 15031



**PLAN REFERENCES:**

1. LOT LINE RELOCATION PLAN-SPEARE ROAD, HUDSON, NH, FOR FIR REALTY DATED JUNE 1985 AND RECORDED AS PLAN #19065 H.C.R.D.
2. NHDOT R.O.W. PLAN - NASHUA - HUDSON CIRCUMFERENTIAL HIGHWAY, N.H. TURNPIKE PROJECT 10625-1, #10644A SOUTHERN SEGMENT, FILE 05139 APPROVAL DATE 5-14-91. PROJECT 10625-1, #10644A SOUTHERN SEGMENT, FILE 05139 APPROVAL DATE 5-14-91.

**CERTIFICATION:**

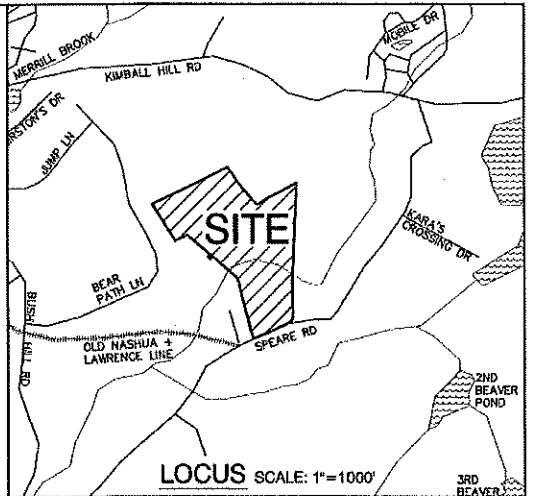
I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



DAVID M. COLLIER, LLS 892  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

7/10/17  
DATE:



**EXISTING CONDITIONS NOTES:**

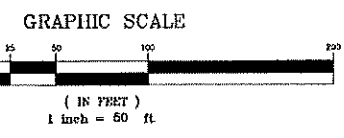
1. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7235).
2. VERTICAL DATUM: NGVD29. HORIZONTAL DATUM: MAGNETIC
3. SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 3301100519D, DATED SEPTEMBER 20, 2009.
4. THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY JIM GOVE, CWS, CSS OF GOVE ENVIRONMENTAL SERVICES, INC. DURING SUMMER, 2015, IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
  - a. THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
  - b. THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
  - c. THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, WRCS, AS APPROPRIATE.
  - d. THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
5. TEST PITS PERFORMED BY GIFFORD COLBURN, JONES & BEACH ENGINEERS, INC., 4/6/18.
6. WETLAND BOUNDARIES AND CONSTRUCTION LIMITS ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION.

**GENERAL LEGEND**

EXISTING	DESCRIPTION
---	PROPERTY LINES
---	SETBACK LINES
---	FRESHWATER WETLANDS LINE
---	TREE LINE
---	STONEWALL
---	SOIL BOUNDARY
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	EDGE OF PAVEMENT
---	OVERHEAD ELECTRIC
---	IRON PIPE/IRON ROD
---	DRILL HOLE
---	STONE/GRAVITE BOUND
---	BENCHMARK (TBM)
---	TEST PIT
---	UTILITY POLE
---	FRESHWATER WETLANDS
---	SLOPES OVER 25%

**SOILS:**  
 CpB - CHATFIELD-HOLLIS-CANTON COMPLEX  
 3 TO 6 PERCENT SLOPES  
 CpC - CHATFIELD-HOLLIS-CANTON COMPLEX  
 8 TO 15 PERCENT SLOPES  
 CsC - CHATFIELD-HOLLIS-CANTON COMPLEX  
 8 TO 15 PERCENT SLOPES  
 CsG - CHOCORUA MUCKY PEAT  
 8 TO 15 PERCENT SLOPES

SOILS TAKEN FROM SOIL SURVEY OF HILLSBOROUGH COUNTY - EASTERN PLAN, DATED OCT. 81, 1" = 1657'



APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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PURSUANT TO THE REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

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8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. Civil Engineering Services 603-772-4746  
 PO Box 219 Stratham, NH 03895 FAX: 603-772-0227  
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **EXISTING CONDITIONS PLAN**

Project: **LAUREL LANDING  
SPEARE ROAD, HUDSON, NH 03051**

Owner of Record: **DOUGLAS S. SANDERSON  
11 NERSESIAN WAY, HAMPTON, NH 03842**

DRAWING No. **C1**

SHEET 8 OF 23  
 JBE PROJECT NO. 16031

APPLICANT  
**LAMONTAGNE BUILDERS  
 317 SOUTH RIVER ROAD  
 BEDFORD, NH 03110**

TOTAL LOT AREA  
**1,447,050 SQ. FT.  
 33.22 ACRES**

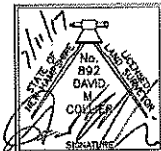
F:\Lond Projects\3\15031-HUDSON-SPEARE-ROAD-POSTER.dwg 7/11/2017 2:32:34 PM EDT



**CERTIFICATION:**

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

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DAVID M. COLLIER, LLS 892  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

7/11/17

DATE:

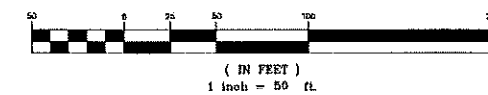
TAX MAP 178A LOT 30  
WALTER S. ABUCENICZ TR.  
MURRAYANN ABUCENICZ TR.  
63 KIMBALL HILL ROAD  
HUDSON, NH 03051  
BK 6687/PG 1321

TAX MAP 185 LOT 1  
TOWN OF HUDSON  
12 SCHOOL STREET  
HUDSON, NH 03051  
BK 6292/PG 0612

**GENERAL LEGEND**

EXISTING	DESCRIPTION
---	PROPERTY LINES
---	SETBACK LINES
---	FRESHWATER WETLANDS LINE
---	TREE LINE
---	STONEWALL
---	SOIL BOUNDARY
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	EDGE OF PAVEMENT
---	OVERHEAD ELECTRIC
---	IRON PIPE/IRON ROD
---	DRILL HOLE
---	STONE/GRANITE BOUND
---	BENCHMARK (TBM)
---	UTILITY POLE
---	FRESHWATER WETLANDS
---	SLOPES OVER 25%

**GRAPHIC SCALE**



APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING:

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Design: JAC Draft: PSL Date: 7/10/16  
Checked: JAC Scale: AS SHOWN Project No.: 15031  
Drawing Name: 15031-PLAN SET.dwg  
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7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL

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Plan Name: **EXISTING CONDITIONS PLAN**

Project: **LAUREL LANDING  
SPEARE ROAD, HUDSON, NH 03051**

Owner of Record: **DOUGLAS S. SANDERSON  
11 NERSESIAN WAY, HAMPTON, NH 03842**

DRAWING No. **C2**

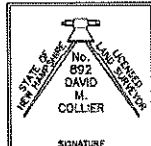
SHEET 9 OF 23  
JBE PROJECT NO. 15031

F:\Land Projects\15031-HUDSON-SPEARE-ROAD-PORTER.dwg\15031-PLAN SET.dwg 7/11/2017 2:32:34 PM EDT

**CERTIFICATION:**

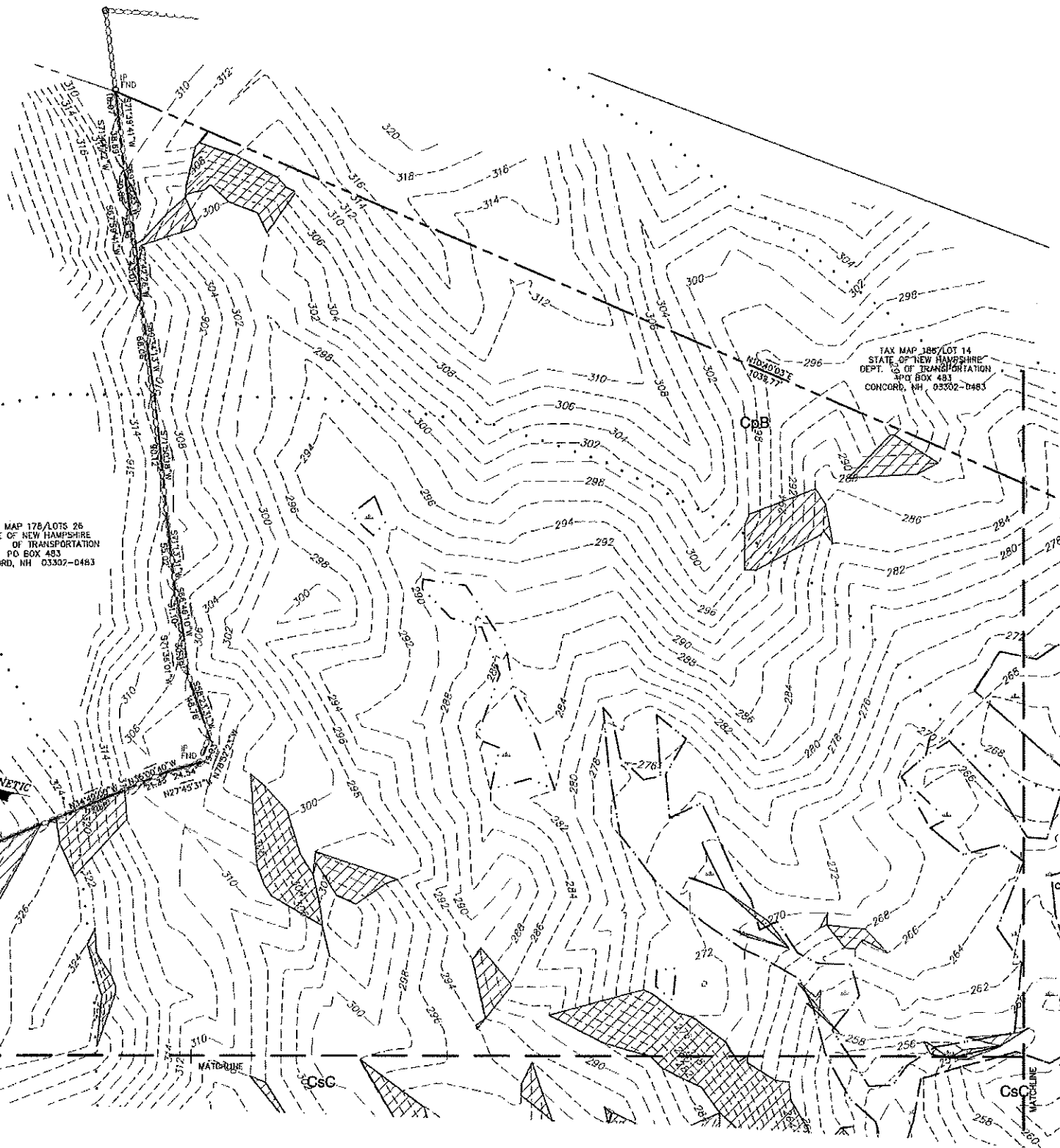
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DAVID M. COLLIER, LLS 892  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE:



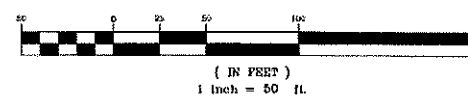
**ABUTTERS NOT SHOWN:**

- TAX MAP 177 LOT 51  
KANSTANTIN AUSANNIKAU  
47 BEAR PATH LANE  
HUDSON, NH 03051  
BK 8009/PG 1795
- TAX MAP 177 LOT 52  
TODD J. & KATHRYN H. COPPI  
45 BEAR PATH LANE  
HUDSON, NH 03051  
BK 7009/PG 1938
- TAX MAP 185/LOT 66  
MATTHEW H. MEDEIROS  
LAURIE MEDEIROS  
43 BEAR PATH LANE  
HUDSON, NH 03051  
BK 8801/PG 1037
- TAX MAP 185/LOT 67  
ROBERT J. FLOHR, SR.  
JEANNE A. FLOHR  
41 BEAR PATH LANE  
HUDSON, NH 03051  
BK 6377/PG 0218
- TAX MAP 185/LOT 68  
CHARLES F. & LISA D. ANDERSON  
39 BEAR PATH LANE  
HUDSON, NH 03051  
BK 6871/PG 2001
- TAX MAP 185/LOT 69  
MICHAEL PATRICK JOHNSTON  
LANI L. NILSSON-JOHNSTON  
37 BEAR PATH LANE  
HUDSON, NH 03051  
BK 8660/PG 1747
- TAX MAP 185/LOT 70  
LEE A. & JULIE A. SHAPPY  
35 BEAR PATH LANE  
HUDSON, NH 03051  
BK 6180/PG 0560
- TAX MAP 186/LOT 2  
DAVID & THERESA PATTERSON  
31 BEAR PATH LANE  
HUDSON, NH 03051  
BK 8783/PG 1188
- TAX MAP 186/LOT 5  
JAMES D. & KRISTIN M. PAQUETTE  
2 GATES LANE  
HUDSON, NH 03051  
BK 7303/PG 0438
- TAX MAP 186/LOT 6  
JAMES E. & KIM M. NORMAND  
4 GATES LANE  
HUDSON, NH 03051  
BK 7329/PG 0942
- TAX MAP 186/LOT 24  
EAGLES NEST ESTATES LLC  
4 POWDERHORN DR  
PELHAM, NH 03076-3387  
BK 8221/PG 0169
- TAX MAP 186/LOT 27  
STEVEN A. & TRISHA H. GAGNON  
51 SPEARE ROAD  
HUDSON, NH 03051  
BK 5921/PG 0788
- TAX MAP 186/LOT 28  
NORMAN & KENDALL CALLER  
47 SPEARE ROAD  
HUDSON, NH 03051  
BK 6007/PG 0333
- TAX MAP 186/LOT 29  
MATTHEW & CHARLENE BROWN  
45 SPEARE ROAD  
HUDSON, NH 03051  
BK 5809/PG 0039
- TAX MAP 186/LOT 30  
TIMOTHY D. BURNELL  
RACHEL J. GARSIDE  
41 SPEARE ROAD  
HUDSON, NH 03051  
BK 8765/PG 2104
- TAX MAP 186/LOT 30-1  
DAVID & KAREN BURNELL, TR.  
41 SPEARE ROAD  
HUDSON, NH 03051  
BK 2791/PG 0105 (09/12/80)
- TAX MAP 194/LOT 5  
STATE OF NEW HAMPSHIRE  
DEPT. OF TRANSPORTATION  
PO BOX 483  
CONCORD, NH 03302-0483  
BK 2100/PG 0002

**GENERAL LEGEND**

EXISTING	DESCRIPTION
---	PROPERTY LINES
---	SETBACK LINES
---	FRESHWATER WETLANDS LINE
---	TREE LINE
---	STONEWALL
---	SOIL BOUNDARY
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	EDGE OF PAVEMENT
---	OVERHEAD ELECTRIC
---	IRON PIPE/IRON ROD
---	DRILL HOLE
---	STONE/GRANITE BOUND
---	BENCHMARK (TBM)
---	TEST PIT
---	UTILITY POLE
---	FRESHWATER WETLANDS
---	SLOPES OVER 25%

**GRAPHIC SCALE**



APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING:

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

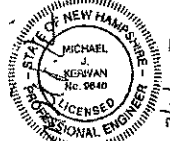
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

FURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

**APPLICANT**  
LAMONTAGNE BUILDERS  
317 SOUTH RIVER ROAD  
BEDFORD, NH 03110

**TOTAL LOT AREA**  
1,447,050 SQ. FT.  
33.22 ACRES

Design: JAC Draft: PSL Date: 7/10/15  
Checked: JAC Scale: AS SHOWN Project No.: 15031  
Drawing Name: 16031-PLAN SET.dwg  
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REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL
REV.	DATE	REVISION	BY

Designed and Produced in NH  
**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services  
85 Portsmouth Ave. PO Box 219 Stratham, NH 03085  
603-772-4748 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

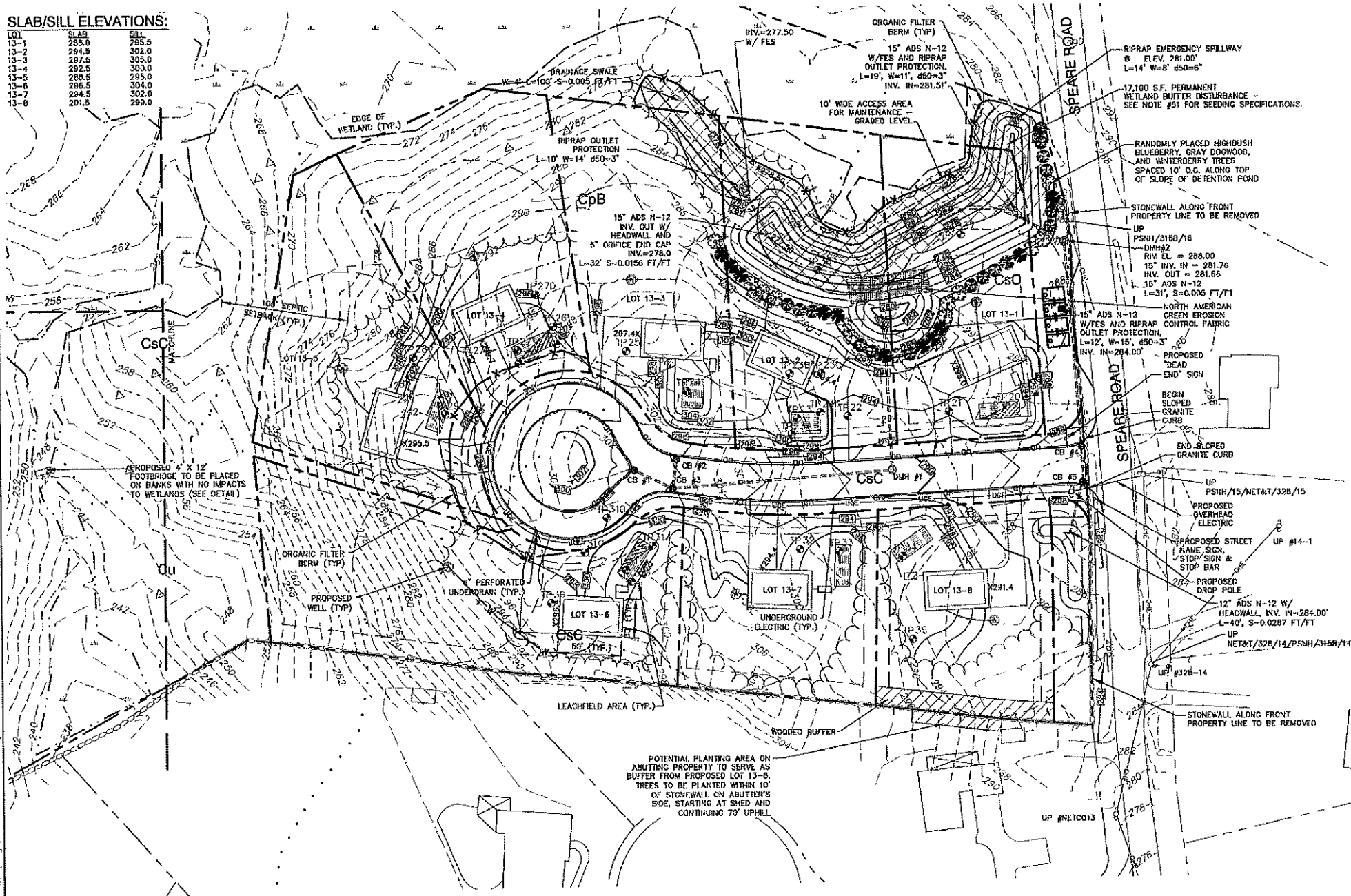
Plan Name: **EXISTING CONDITIONS PLAN**  
Project: **LAUREL LANDING SPEARE ROAD, HUDSON, NH 03051**  
Owner of Record: **DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842**

DRAWING No.  
**C3**  
SHEET 10 OF 23  
JBE PROJECT NO. 15031

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**SLAB/SILL ELEVATIONS:**

LOT	SLAB	SILL
13-1	288.0	295.5
13-2	294.5	302.0
13-3	297.5	305.0
13-4	282.0	300.0
13-5	288.5	295.0
13-6	286.5	304.0
13-7	294.5	302.0
13-8	291.5	299.0



**GRADING, DRAINAGE AND UTILITY NOTES:**

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC. NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- VERTICAL DATUM: USGS. HORIZONTAL DATUM: MAGNETIC.
- ALL BENCHMARKS AND TOPOGRAPHY SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL ROOF DRAINS FROM BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY FLUG AND WITNESS AT THE END. ALL EXTERIOR ROOF DOWNSPOUTS ARE TO BE INSTALLED WITH OVERFLOW DEVICES.
- THE SWALE AND DETENTION POND ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S7B EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3" DEEP SUMP WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H2O LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- IMMEDIATELY APPLY AND COMPACT STONE BASE FOR BUILDING PAD TO  $\pm 1/2"$  PRIOR TO EXCAVATING INTERIOR AND PERIMETER FOOTINGS.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ADJUTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEED AS SPECIFIED.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE. AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
- THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
- A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, AND HIDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- BUILDING TO BE SERVICED BY UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICES AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
- AS-BUILT PLANS SHALL BE SUBMITTED TO THE HIGHWAY DEPARTMENT AND THE PLANNING BOARD.
- INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELVE AND INVERT CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT, AND SHELVE SHALL CONSIST OF BRICK MASONRY.
- FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" OR "DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
- PROPOSED RIM ELEVATIONS OF DRAINAGE AND SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
- CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPLICATE TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- EXISTING UTILITIES SHALL BE DISOSED BEFORE CONSTRUCTION.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- TOWN OF HUDSON ASSUMES NO RESPONSIBILITY FOR WATER QUALITY FOR ON-SITE WELLS WHICH MAY BE THE RESULT OF ROUTINE MAINTENANCE OF TOWN OR STATE ROADWAYS ADJACENT TO THE PROPERTY, SUCH AS SANDING, SALTING, PAVING, ETC.
- MUNICIPAL WATER SUPPLY IS NOT AVAILABLE IN THE VICINITY OF THIS SUBDIVISION FOR FIRE FIGHTING PURPOSES. TANKER TRUCKS WILL BE USED IN THE EVENT OF AN EMERGENCY SITUATION.
- ALL PROPOSED LOTS ARE TO BE ACCESSED FROM PROPOSED ROADWAY ONLY.
- ALL HOUSE, DRIVEWAY, AND LEACHFIELD LOCATIONS ARE CONCEPTUAL ONLY. THEY HAVE BEEN ADDED TO THE PLAN IN ORDER TO SERVE AS AN AID IN THE PLANNING PROCESS ONLY.
- CONTRACTOR IS TO INSTALL 12" ADS N-12 CULVERTS WITH FLARED END SECTIONS IN THE EXISTING DITCH LINE AT ALL PROPOSED DRIVEWAY LOCATIONS (IF NECESSARY).
- ADJUTING PROPERTIES AND INFRASTRUCTURE WILL FACE MINIMAL ADVERSITY FROM STORMWATER ASSOCIATED WITH THIS PROJECT.
- WETLAND BUFFER IMPACT AREAS TO BE SEED WITH NEW ENGLAND CONSERVATION/WILDLIFE MIX TO PROVIDE PERMANENT COVER OF GRASSES, WILDFLOWERS, AND LEGUMES. THIS SEED MIX PROVIDES FOR BOTH EROSION CONTROL AND WILDLIFE HABITAT VALUE FOR DISTURBED AREAS. THIS IS A NO MAINTENANCE SEED MIX AND SHOULD BE MOWED ONCE YEARLY IN THE FALL.  
APPLICATION RATE: 25LBS/ACRE | 1750 SQ FT/LB
- A LIST OF FEDERALLY PROTECTED SPECIES RELEVANT TO THE PROJECT SITE WAS REQUESTED FROM USFWS THROUGH THE INFORMATION FOR PLANNING AND CONSULTATION (IPAC) PORTAL. THIS OFFICIAL SPECIES LIST INCLUDED A SINGLE THREATENED SPECIES, NORTHERN LONG EARED BAT (MYOTIS SEPTENTRIONALIS).
- THE PROJECT WILL NOT RESULT IN A PROHIBITED TAKE OF THIS SPECIES BASED ON THE FOLLOWING: THE NEW HAMPSHIRE DIVISION OF FOREST LANDS - NATURAL HERITAGE DATABASE WAS CONSULTED FOR THE PRESENCE OF KNOW HIBERNACULA OR ROOST TREES ON OR IN THE VICINITY OF THE PROJECT. NONE WERE IDENTIFIED. TREE CLEARING IS PROPOSED TO TAKE PLACE OUTSIDE OF THE PUP SEASON (JUNE 1 THROUGH JULY 31) AS SPECIFIED IN THE FINAL 4(D).

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Design: JAC	Draft: PSL	Date: 7/10/16
Checked: JAC	Scale: AS SHOWN	Project No.: 15031
Drawing Name: 15031-PLAN SET.dwg		
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REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL
REV.	DATE	REVISION	BY

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>GRADING, DRAINAGE AND UTILITY PLAN</b>
Project:	<b>LAUREL LANDING SPEARE ROAD, HUDSON, NH 03051</b>
Owner of Record:	<b>DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842</b>

**APPLICANT**  
LAMONTAGNE BUILDERS  
317 SOUTH RIVER ROAD  
BEDFORD, NH 03110

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**TOTAL LOT AREA**  
1,447,050 SQ. FT.  
33.22 ACRES

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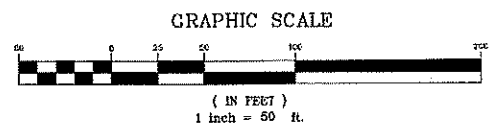
**APPROVED - HUDSON, NH**  
CONSERVATION COMMISSION

DATE: \_\_\_\_\_

DRAWING No.

**C4**

SHEET 11 OF 23  
JBE PROJECT NO. 15031



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TEST PIT #	DEPTH	AGE	SOIL DESCRIPTION	TEST PIT #	DEPTH	AGE	SOIL DESCRIPTION	TEST PIT #	DEPTH	AGE	SOIL DESCRIPTION	TEST PIT #	DEPTH	AGE	SOIL DESCRIPTION
TEST PIT #20	0'-7'		TOPSOIL	TEST PIT #26	0'-8'		TOPSOIL	TEST PIT #32	0'-8'		TOPSOIL	TEST PIT #38	0'-8'		TOPSOIL
7'-32"	10YR 5/6		YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE	8'-24"	10YR 5/6		YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE	8'-16"	5YR 4/6		YELLOWISH RED FINE SANDY LOAM GRANULAR, FRIABLE	8'-16"	10YR 5/6		YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE
32'-60"	2.5Y 8/3		LIGHT YELLOWISH BROWN LOAMY SAND SINGLE GRAIN SAND	24'-48"	10YR 5/4		YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE COBBLES	16'-30"	10YR 6/4		LIGHT YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE	16'-30"	10YR 4/4		DARK YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE
SHWT = 32"			ROOTS TO 32"	SHWT = 24"			ROOTS TO 24"	SHWT = 30"			ROOTS TO 30"	SHWT = 30"			ROOTS TO 30"
NO H2O OBSERVED			NO REFUSAL OBSERVED	NO H2O OBSERVED			NO H2O OBSERVED	NO H2O OBSERVED			NO H2O OBSERVED	NO H2O OBSERVED			NO H2O OBSERVED
PERC RATE = 8 MIN/INCH			PERC RATE = 8 MIN/INCH	PERC RATE = 8 MIN/INCH			PERC RATE = 8 MIN/INCH	PERC RATE = 8 MIN/INCH			PERC RATE = 8 MIN/INCH	PERC RATE = 8 MIN/INCH			PERC RATE = 8 MIN/INCH
TEST PIT #21	0'-8"		TOPSOIL	TEST PIT #27	0'-6"		TOPSOIL	TEST PIT #33	0'-12"		TOPSOIL	TEST PIT #39	0'-8"		TEST PIT #39
6'-16"	10YR 5/6		YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE	6'-12"	2.5Y 4/4		OLIVE BROWN FINE SANDY LOAM GRANULAR, FRIABLE	12'-24"	2.5Y 5/4		LIGHT OLIVE BROWN FINE SANDY LOAM GRANULAR, FRIABLE	PERFORMED BY:			GIFFORD COLBURN, JONES & BEACH ENGINEERS, INC. SSD #1839
16'-48"	10YR 4/4		DARK YELLOWISH BROWN SANDY LOAM WITH REDOX	12'-24"	10YR 5/6		YELLOWISH BROWN SANDY LOAM	24'-48"	5YR 4/4		REDDISH BROWN LOAMY SAND COBBLES FIRM WITH REDOX	TEST PIT #23A			REFUSAL @ 52"
SHWT = 16"			ROOTS TO 16"	24'-36"	5Y 5/1		GRAY SAND GRAVEL / COBBLES	SHWT = 24"			ROOTS TO 24"	TEST PIT #23B			REFUSAL @ 68"
NO H2O OBSERVED			NO H2O OBSERVED	SHWT = 24"			ROOTS TO 24"	SHWT = 24"			ROOTS TO 24"	TEST PIT #23C			REFUSAL @ 68"
PERC RATE = 8 MIN/INCH			PERC RATE = 8 MIN/INCH	NO H2O OBSERVED			NO H2O OBSERVED	NO H2O OBSERVED			NO H2O OBSERVED	TEST PIT #23D			REFUSAL @ 56"
TEST PIT #22	0'-8"		TOPSOIL	TEST PIT #28	0'-8"		TOPSOIL	TEST PIT #34	0'-8"		TOPSOIL	TEST PIT #23E	0'-8"		TOPSOIL
6'-24"	10YR 5/6		YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE	8'-16"	2.5Y 4/4		OLIVE BROWN FINE SANDY LOAM GRANULAR, FRIABLE	8'-16"	7.5Y 4/6		STRONG BROWN FINE SANDY LOAM GRANULAR, FRIABLE	8'-20"	10YR 5/6		YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE
24'-48"	10YR 4/4		DARK YELLOWISH BROWN SANDY LOAM WITH REDOX	16'-30"	10YR 5/6		YELLOWISH BROWN SANDY LOAM	16'-26"	10YR 5/4		YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE	20'-33"	10YR 4/4		DARK YELLOWISH BROWN SANDY LOAM WITH REDOX
SHWT = 24"			ROOTS TO 24"	30'-48"	5Y 5/1		GRAY SAND GRAVEL / COBBLES WITH REDOX	26'-54"	2.5Y 6/2		LIGHT BROWNISH GRAY LOAMY SAND FIRM WITH REDOX WITH STONES	33'-53"	10YR 5/4		YELLOWISH BROWN LOAMY SAND GRAVELLY WITH REDOX
NO H2O OBSERVED			NO H2O OBSERVED	SHWT = 30"			ROOTS TO 30"	SHWT = 26"			ROOTS TO 26"	SHWT = 20"			ROOTS TO 20"
PERC RATE = 8 MIN/INCH			PERC RATE = 8 MIN/INCH	NO H2O OBSERVED			NO H2O OBSERVED	NO H2O OBSERVED			NO H2O OBSERVED	NO H2O OBSERVED			NO H2O OBSERVED
TEST PIT #23	0'-8"		TOPSOIL	TEST PIT #29	0'-8"		TOPSOIL	TEST PIT #35	0'-10"		TOPSOIL / FOREST MAT	TEST PIT #27A			REFUSAL @ 60"
6'-20"	10YR 5/6		YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE	6'-20"	7.5YR 4/4		BROWN FINE SANDY LOAM GRANULAR, FRIABLE	10'-24"	7.5Y 4/6		STRONG BROWN FINE SANDY LOAM GRANULAR, FRIABLE	TEST PIT #27B			REFUSAL @ 54"
20'-33"	10YR 4/4		DARK YELLOWISH BROWN SANDY LOAM WITH REDOX	20'-30"	10YR 5/6		YELLOWISH BROWN SANDY LOAM	24'-32"	10YR 5/4		YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE	TEST PIT #27C			NO REFUSAL TO 72"
33'-36"	10YR 5/4		YELLOWISH BROWN LOAMY SAND GRAVELLY WITH REDOX	30'-48"	5Y 5/1		GRAY CLAY/SAND SINGLE GRAIN COBBLES WITH REDOX	32'-60"	2.5Y 6/2		LIGHT BROWNISH GRAY LOAMY SAND FIRM WITH REDOX	TEST PIT #27D			NO REFUSAL TO 72"
SHWT = 20"			ROOTS TO 20"	SHWT = 30"			ROOTS TO 30"	SHWT = 32"			ROOTS TO 32"	TEST PIT #27E			REFUSAL @ 60"
NO H2O OBSERVED			NO H2O OBSERVED	NO H2O OBSERVED			NO H2O OBSERVED	NO H2O OBSERVED			NO H2O OBSERVED	TEST PIT #27F			REFUSAL @ 54"
PERC RATE = 8 MIN/INCH			PERC RATE = 8 MIN/INCH	PERC RATE = 8 MIN/INCH			PERC RATE = 8 MIN/INCH	PERC RATE = 8 MIN/INCH			PERC RATE = 8 MIN/INCH	TEST PIT #27G			NO REFUSAL TO 72"
TEST PIT #24	0'-10"		TOPSOIL	TEST PIT #30	0'-8"		TOPSOIL	TEST PIT #36	0'-8"		TOPSOIL	TEST PIT #27H			REFUSAL @ 60"
10'-24"	10YR 5/6		YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE	8'-16"	5YR 4/6		YELLOWISH RED FINE SANDY LOAM GRANULAR, FRIABLE	8'-16"	10YR 4/4		DARK YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE	SHWT = 24"			ROOTS TO 24"
24'-48"	10YR 5/4		YELLOWISH BROWN SANDY LOAM COBBLES GRANULAR, FRIABLE	16'-28"	10YR 6/4		LIGHT YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE	16'-80"	2.5Y 5/1		GRAY SAND FIRM WITH REDOX	NO H2O OBSERVED			NO H2O OBSERVED
SHWT = 24"			ROOTS TO 16"	28'-36"	10YR 5/4		YELLOWISH BROWN SANDY LOAM FIRM GRAVELLY	SHWT = 16"			ROOTS TO 16"	PERC RATE = 8 MIN/INCH			PERC RATE = 8 MIN/INCH
NO H2O OBSERVED			NO H2O OBSERVED	SHWT = 28"			ROOTS TO 28"	SHWT = 16"			ROOTS TO 16"	TEST PIT #31A			REFUSAL @ 55"
PERC RATE = 8 MIN/INCH			PERC RATE = 8 MIN/INCH	NO H2O OBSERVED			NO H2O OBSERVED	NO H2O OBSERVED			NO H2O OBSERVED	TEST PIT #31B			REFUSAL @ 57"
TEST PIT #25	0'-8"		TOPSOIL	TEST PIT #31	0'-8"		TOPSOIL	TEST PIT #37	0'-8"		TOPSOIL	TEST PIT #31C			REFUSAL @ 72"
6'-24"	10YR 5/6		YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE	8'-14"	5YR 4/6		YELLOWISH RED FINE SANDY LOAM GRANULAR, FRIABLE	8'-32"	10YR 5/6		YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE	TEST PIT #31D			REFUSAL @ 60"
24'-48"	5Y 5/1		GRAY SAND GRAVEL / BOULDERS WITH REDOX	14'-24"	10YR 6/4		LIGHT YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE	32'-48"	10YR 5/4		YELLOWISH BROWN LOAMY SAND GRAVELLY	TEST PIT #31E			REFUSAL @ 60"
SHWT = 24"			ROOTS TO 24"	24'-36"	10YR 5/4		YELLOWISH BROWN SANDY LOAM FIRM GRAVELLY	SHWT = 32"			ROOTS TO 8"	TEST PIT #31F			REFUSAL @ 60"
NO H2O OBSERVED			NO H2O OBSERVED	SHWT = 24"			ROOTS TO 24"	NO H2O OBSERVED			NO H2O OBSERVED	TEST PIT #31G			REFUSAL @ 64"
PERC RATE = 8 MIN/INCH			PERC RATE = 8 MIN/INCH	NO H2O OBSERVED			NO H2O OBSERVED	PERC RATE = 8 MIN/INCH			PERC RATE = 8 MIN/INCH	TEST PIT #31H			REFUSAL @ 64"
TEST PIT #26	0'-8"		TOPSOIL	TEST PIT #32	0'-8"		TOPSOIL	TEST PIT #38	0'-8"		TOPSOIL	TEST PIT #31I			REFUSAL @ 60"
6'-24"	10YR 5/6		YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE	8'-14"	5YR 4/6		YELLOWISH RED FINE SANDY LOAM GRANULAR, FRIABLE	8'-32"	10YR 5/6		YELLOWISH BROWN FINE SANDY LOAM GRANULAR, FRIABLE	14'-24"	10YR 6/4		LIGHT YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE
24'-48"	5Y 5/1		GRAY SAND GRAVEL / BOULDERS WITH REDOX	14'-24"	10YR 6/4		LIGHT YELLOWISH BROWN SANDY LOAM GRANULAR, FRIABLE	32'-48"	10YR 5/4		YELLOWISH BROWN LOAMY SAND GRAVELLY	24'-54"	10YR 5/4		YELLOWISH BROWN SANDY LOAM FIRM GRAVELLY
SHWT = 24"			ROOTS TO 24"	24'-36"	10YR 5/4		YELLOWISH BROWN SANDY LOAM FIRM GRAVELLY	SHWT = 32"			ROOTS TO 8"	SHWT = 24"			ROOTS TO 24"
NO H2O OBSERVED			NO H2O OBSERVED	SHWT = 24"			ROOTS TO 24"	NO H2O OBSERVED			NO H2O OBSERVED	NO H2O OBSERVED			NO H2O OBSERVED
PERC RATE = 8 MIN/INCH			PERC RATE = 8 MIN/INCH	NO H2O OBSERVED			NO H2O OBSERVED	PERC RATE = 8 MIN/INCH			PERC RATE = 8 MIN/INCH	PERC RATE = 8 MIN/INCH			PERC RATE = 8 MIN/INCH

Design: JAC	Draft: PSL	Date: 7/10/16
Checked: JAC	Scale: AS SHOWN	Project No.: 15031
Drawing Name: 15031-PLAN SET.dwg		
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REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	8/7/17	REVISED H1 PLAN	PSL
9	10/9/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/6/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-6 AND 13-6	PSL

Designed and Produced in NH

## J&B Jones & Beach Engineers, Inc.

Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03886

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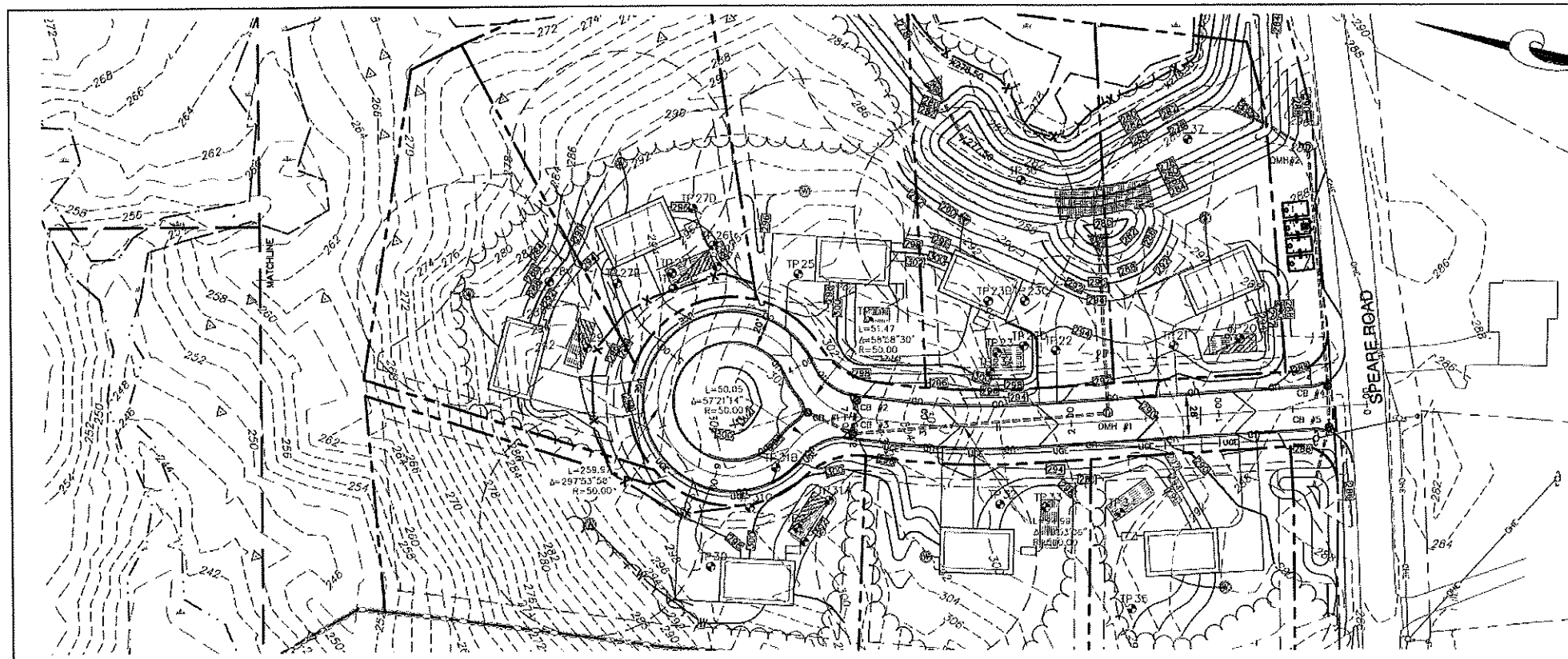
Plan Name:	<b>TEST PIT LOGS</b>
Project:	LAUREL LANDING SPEARE ROAD, HUDSON, NH 03051
Owner of Record:	DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842

DRAWING No.

# N1

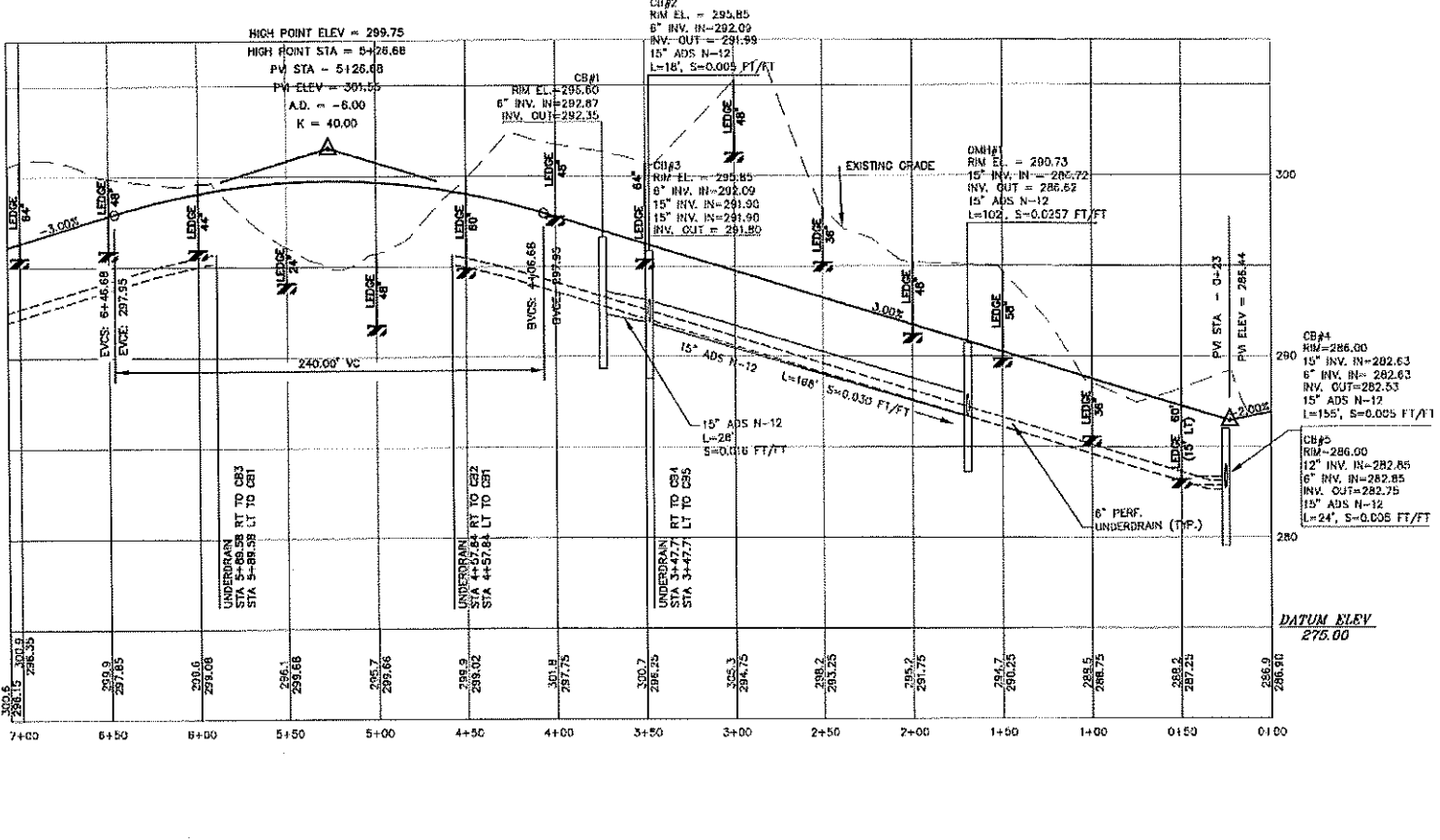
SHEET 12 OF 23  
JBE PROJECT NO. 15031





**NOTES:**

- THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE CONSTRUCTION SITE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (CSWPPP), WHICH SHALL REMAIN ON SITE AND BE MADE ACCESSIBLE TO THE PUBLIC. THE CONSTRUCTION SITE OPERATOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA REGIONAL OFFICE SEVEN DAYS PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. EPA WILL POST THE NOI AT: [HTTP://CFPUB.EPA.GOV/NPDES/STORMWATER/NOI/NOISEARCH.CFM](http://cfpub.epa.gov/npdes/stormwater/noi/noisearch.cfm). AUTHORIZATION IS GRANTED UNDER THE PERMIT ONCE THE NOI IS SHOWN IN "ACTIVE" STATUS ON THIS WEBSITE. A COMPLETED NOTICE OF TERMINATION SHALL BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
  - FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE; OR
  - ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED. PROVIDE DPW WITH A COPY OF THE NOTICE OF TERMINATION (NOT).
- ALL ROAD AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE TOWN, AND INDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- AS-BUILT PLANS TO BE SUBMITTED TO THE TOWN PRIOR TO ACCEPTANCE OF THE ROADWAY.
- DEVELOPER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- CONTRACTOR TO COORDINATE AND COMPLETE ALL WORK REQUIRED FOR THE RELOCATION AND/OR INSTALLATION OF ELECTRIC, CAY, TELEPHONE, AND FIRE ALARM PER UTILITY DESIGN AND STANDARDS. LOCATIONS SHOWN ARE APPROXIMATE. LOW PROFILE STRUCTURES SHALL BE USED TO THE GREATEST EXTENT POSSIBLE.
- THIS PLAN HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE, OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- SILTATION AND EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN UNTIL SITE HAS BEEN STABILIZED WITH PERMANENT VEGETATION. SEE DETAIL SHEET E1 FOR ADDITIONAL NOTES ON EROSION CONTROL.
- ALL DISTURBED AREAS NOT STABILIZED BY NOVEMBER 1st SHALL BE COVERED WITH AN EROSION CONTROL BLANKET, PRODUCT TO BE SPECIFIED BY THE ENGINEER.
- FINAL DRAINAGE, GRADING AND EROSION PROTECTION MEASURES SHALL CONFORM TO REGULATIONS OF THE PUBLIC WORKS DEPARTMENT.
- CONTRACTOR TO VERIFY EXISTING UTILITIES AND TO NOTIFY ENGINEER OF ANY DISCREPANCY IMMEDIATELY.
- ROADWAY INTERSECTIONS WITH SLOPE GRANITE CURB SHALL EXTEND AROUND RADIUS WITH 6" STRAIGHT PIECE ALONG TANGENT.
- 6" PERFORATED ADS UNDER DRAIN PLACEMENT TO BE DETERMINED BY THE ENGINEER DURING THE SUBGRADE INSPECTION. CONTRACTOR TO ADJUST LOCATION IN THE FIELD ONLY WITH PRIOR APPROVAL OF PROJECT ENGINEER OR PUBLIC WORKS DEPARTMENT.
- ALL DRIVEWAYS TO BE CONSTRUCTED MAXIMUM 10% SLOPE. SEE DETAIL SHEET. ALL DRIVEWAYS TO HAVE CULVERTS UNLESS APPROVED BY THE TOWN ROAD AGENT.
- ENGINEER TO INSTALL PERMANENT BENCHMARK (REINFORCED GRANITE MARKER) AT LOCATIONS SHOWN ON PLANS. BENCH MARKS TO BE TIED TO STATE PLANE COORDINATE SYSTEM.
- DRAINAGE INSPECTION AND MAINTENANCE SCHEDULE: SILT FENCING WILL BE INSPECTED DURING AND AFTER STORM EVENTS TO ENSURE THAT THE FENCE STILL HAS INTEGRITY AND IS NOT ALLOWING SEDIMENT TO PASS. SEDIMENT BUILD UP IN SWALES WILL BE REMOVED IF IT IS DEEPER THAN SIX INCHES, AND IS TO BE REMOVED FROM SWALES BELOW THE INLET OF CULVERTS SEMIANNUALLY, AS WELL AS FROM CATCH BASINS. FOLLOWING MAJOR STORM EVENTS, THE STAGE DISCHARGE OUTLET STRUCTURES ARE TO BE INSPECTED AND ANY DEBRIS REMOVED FROM THE ORIFICE, TRASH TRACK AND EMERGENCY SPILL WAY. INFREQUENTLY, SEDIMENT MAY ALSO HAVE TO BE REMOVED FROM THE SUMP OF THE STRUCTURE.
- CONTRACTOR MUST HAVE A VALID PIPE INSTALLER'S LICENSE FROM THE PUBLIC WORKS DEPARTMENT BEFORE WORKING ON ANY DRAINAGE AND/OR UTILITY CONSTRUCTION.
- ALL DRAINAGE INFRASTRUCTURE SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING ANY RUNOFF TO IT.
- DETENTION POND REQUIRES TIMELY MAINTENANCE AND SHOULD BE INSPECTED AFTER EVERY MAJOR STORM EVENT, AS WELL AS FREQUENTLY DURING THE FIRST YEAR OF OPERATION, AND ANNUALLY THEREAFTER. EVERY FIVE YEARS, THE SERVICES OF A PROFESSIONAL ENGINEER SHOULD BE RETAINED TO PERFORM A THOROUGH INSPECTION OF THE DETENTION POND AND ITS INFRASTRUCTURE. ANY DEBRIS AND SEDIMENT ACCUMULATIONS SHOULD BE REMOVED FROM THE OUTLET STRUCTURE(S) AND EMERGENCY SPILLWAY(S) AND DISPOSED OF PROPERLY. THE DETENTION POND BERM SHOULD BE MOWED AT LEAST ONCE ANNUALLY SO AS TO PREVENT THE ESTABLISHMENT OF WOODY VEGETATION. TREES SHOULD NEVER BE ALLOWED TO GROW ON A DETENTION POND BERM, AS THEY MAY DESTABILIZE THE STRUCTURE AND INCREASE THE POTENTIAL FOR FAILURE. AREAS SHOWING SIGNS OF EROSION OR THIN OR DYING VEGETATION SHOULD BE REPAIRED IMMEDIATELY BY WHATEVER MEANS NECESSARY, WITH THE EXCEPTION OF FERTILIZER, RODENT BARRIERS SHOULD BE REPAIRED IMMEDIATELY AND THE ANIMALS SHOULD BE TRAPPED AND RELOCATED IF THE PROBLEM PERSISTS.
- THE DETENTION POND IS TO BE CONSTRUCTED PRIMARILY THROUGH EXCAVATION IN THOSE AREAS WHERE THE BERM MUST BE CONSTRUCTED BY THE PLACEMENT OF FILL. THE ENTIRE EMBANKMENT AREA OF THE DETENTION POND SHALL BE EXCAVATED TO PROPOSED GRADE, STRIPPED OF ALL ORGANIC MATERIALS, COMPACTED TO AT LEAST 95% AND SCARIFIED PRIOR TO THE PLACEMENT OF THE EMBANKMENT MATERIAL. IN THE EVENT THE FOUNDATION MATERIAL EXPOSED DOES NOT ALLOW THE SPECIFIED COMPACTION, AN ADDITIONAL ONE FOOT (1') OF EXCAVATION AND THE PLACEMENT OF A ONE FOOT (1') THICK, TWELVE FOOT (12') WIDE PAD OF THE MATERIAL DESCRIBED IN THE NOTE BELOW, COMPACTED TO 95% OF ASTM D-1557 MAY BE NECESSARY. PLACEMENT AND COMPACTION SHOULD OCCUR AT A MOISTURE CONTENT OF OPTIMUM PLUS OR MINUS 3%, AND NO FROZEN OR ORGANIC MATERIAL SHOULD BE PLACED WITHIN FOR ANY REASON.
- EMBANKMENT MATERIAL FOR THE BERMS SHALL BE CLEAN MINERAL SOIL WITH A CLAY COMPONENT FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES, AND SHALL CONTAIN NO ROCKS OR LUMPS OVER FOUR INCHES (4") IN DIAMETER. THIS MATERIAL SHOULD BE INSTALLED IN 6" LIFTS AND COMPACTED TO 95% OF ASTM D-1557, AND SHOULD MEET THE FOLLOWING SPECIFICATIONS: 4" PASSING 100% #4 SIEVE 25-70% #200 SIEVE 10-29% (IN TOTAL SAMPLE).
- EMBANKMENT IS TO HAVE 3:1 SIDE SLOPES (MAX) AND IS TO BE BROUGHT TO SPECIFIED GRADES PRIOR TO THE ADDITION OF LOAM (4" MINIMUM) SO AS TO ALLOW FOR THE COMPACTION OF THE STRUCTURE OVER TIME WHILE MAINTAINING THE PROPER BERM ELEVATION.
- COMPACTION TESTING SERVICES (I.E. NUCLEAR DENSITY TESTS) ARE TO BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE CONTRACTOR FOR ROADWAY CONSTRUCTION, AND ON THE FOUNDATION OF THE BERM AND ON EVERY LIFT OF NEWLY PLACED MATERIAL.
- SLOPED GRANITE CURB TO BE TIPPED DOWN AT ALL DRIVEWAY ENTRANCES BY THE CONTRACTOR. ALL DRIVEWAY LOCATIONS SHALL BE REVIEWED AND APPROVED BY PUBLIC WORKS PRIOR TO ISSUANCE OF BUILDING PERMIT.
- NO IRRIGATION PIPES OR SPRINKLER HEADS SHALL BE LOCATED WITHIN TOWN RIGHT OF WAY.
- FILTER STRIP AREAS SHALL HAVE ALL BOULDERS REMOVED FROM THE ENTIRE LENGTH AND WIDTH AND SHALL BE IMMEDIATELY STABILIZED WITH VEGETATION, OR THE CONTRACTOR SHALL ORIENT THE FILTER STRIP AND LEVEL SPREADER SO AS TO ALLOW DRAINAGE FLOW OVER A BOULDER FREE AREA OF EQUAL LENGTH AND WIDTH. ENGINEER SHALL BE NOTIFIED TO INSPECT ALL LEVEL SPREADERS AND FILTER STRIP LOCATIONS AFTER ROAD SUBGRADE IS ESTABLISHED. NO STORMWATER SHALL BE DIRECTED TO THE LEVEL SPREADER AND FILTER STRIP UNTIL THE AREA HAS BEEN STABILIZED WITH VEGETATION.



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 Checked: JAC Scale: AS SHOWN Project No.: 15031  
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REV.	DATE	REVISION	BY
11	6/18/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL
REV.	DATE	REVISION	BY

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**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

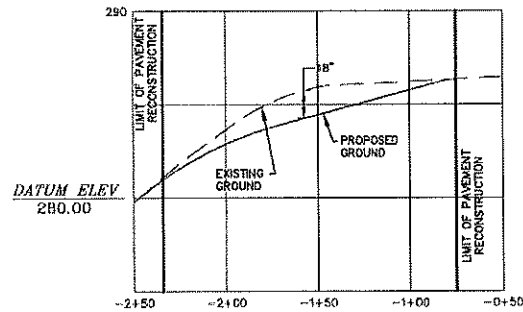
Civil Engineering Services

803-772-4746 FAX: 803-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>PLAN AND PROFILE</b>
Project:	<b>LAUREL LANDING SPEARE ROAD, HUDSON, NH 03051</b>
Owner of Record:	<b>DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842</b>

DRAWING No.	<b>P1</b>
SHEET 13 OF 23	JBE PROJECT NO. 15031

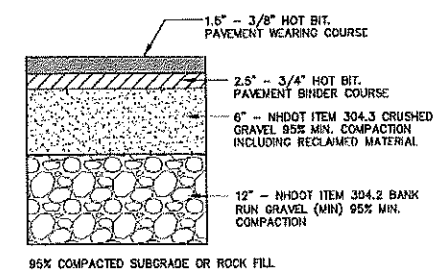




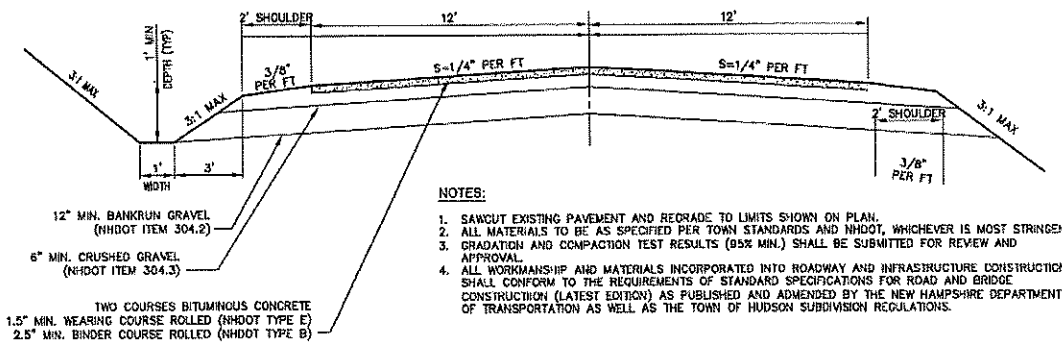
**SECTION AA**  
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SCALE: 1"=5' VERT.

**NOTES:**

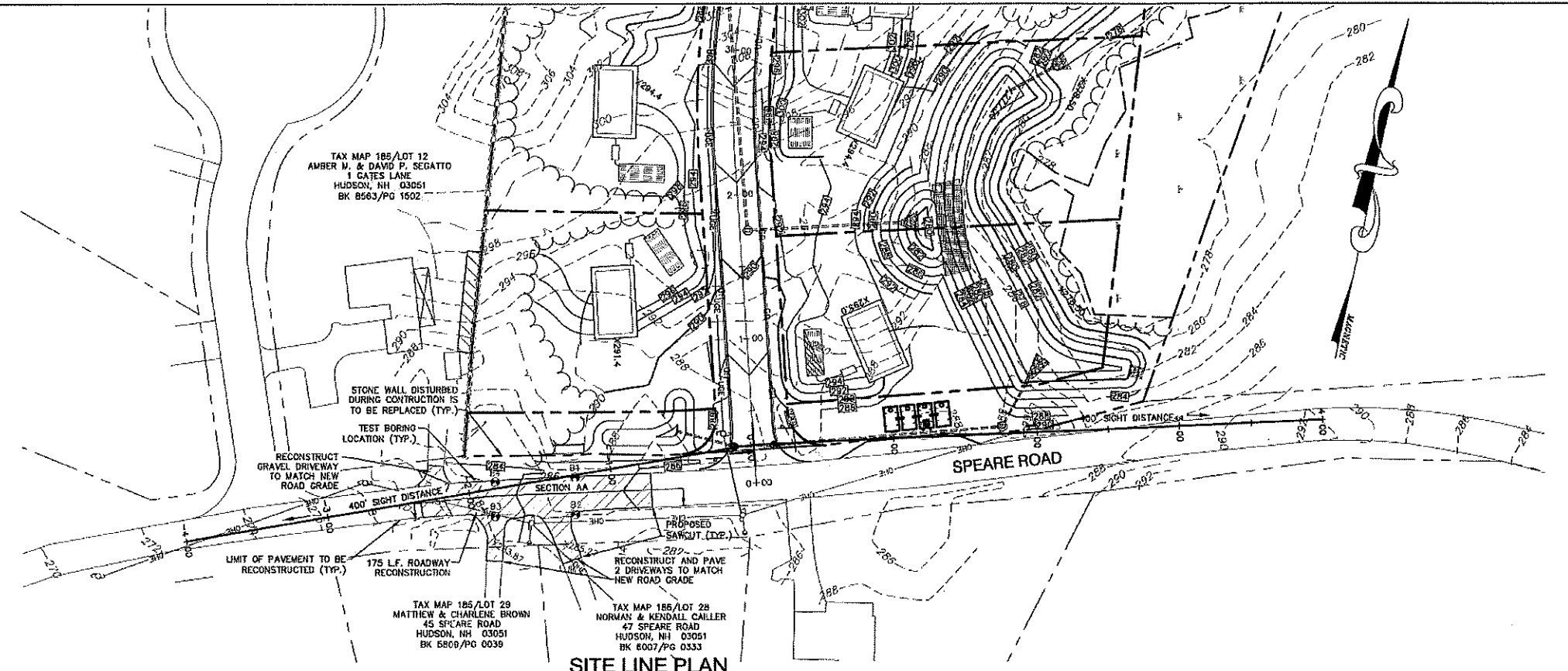
- SIGHT DISTANCE MEASURED FROM A HEIGHT OF 3.5' AT THE CENTERLINE OF THE PROPOSED ROAD TO AN OBJECT 4.35' IN HEIGHT 400' IN BOTH DIRECTIONS.
- SPEARE ROAD RECONSTRUCTION TO TAKE PLACE WHEN SCHOOL IS NOT IN SESSION.
- CONTRACTOR CAN REQUEST ROAD CLOSURE TO THE TOWN OF HUDSON FOR APPROVAL. CONTRACTOR WILL PROVIDE DETOUR SIGNAGE AND NECESSARY TRAFFIC CONTROL.
- PAVEMENT AND GRAVELS TO BE REMOVED AND REPLACED IN KIND. USE TYPICAL ROADWAY SECTION BELOW AS MINIMUM STANDARDS.
- SAWCUT SPEARE ROAD PAVEMENT AND THREE DRIVEWAYS TO BE RECONSTRUCTED.



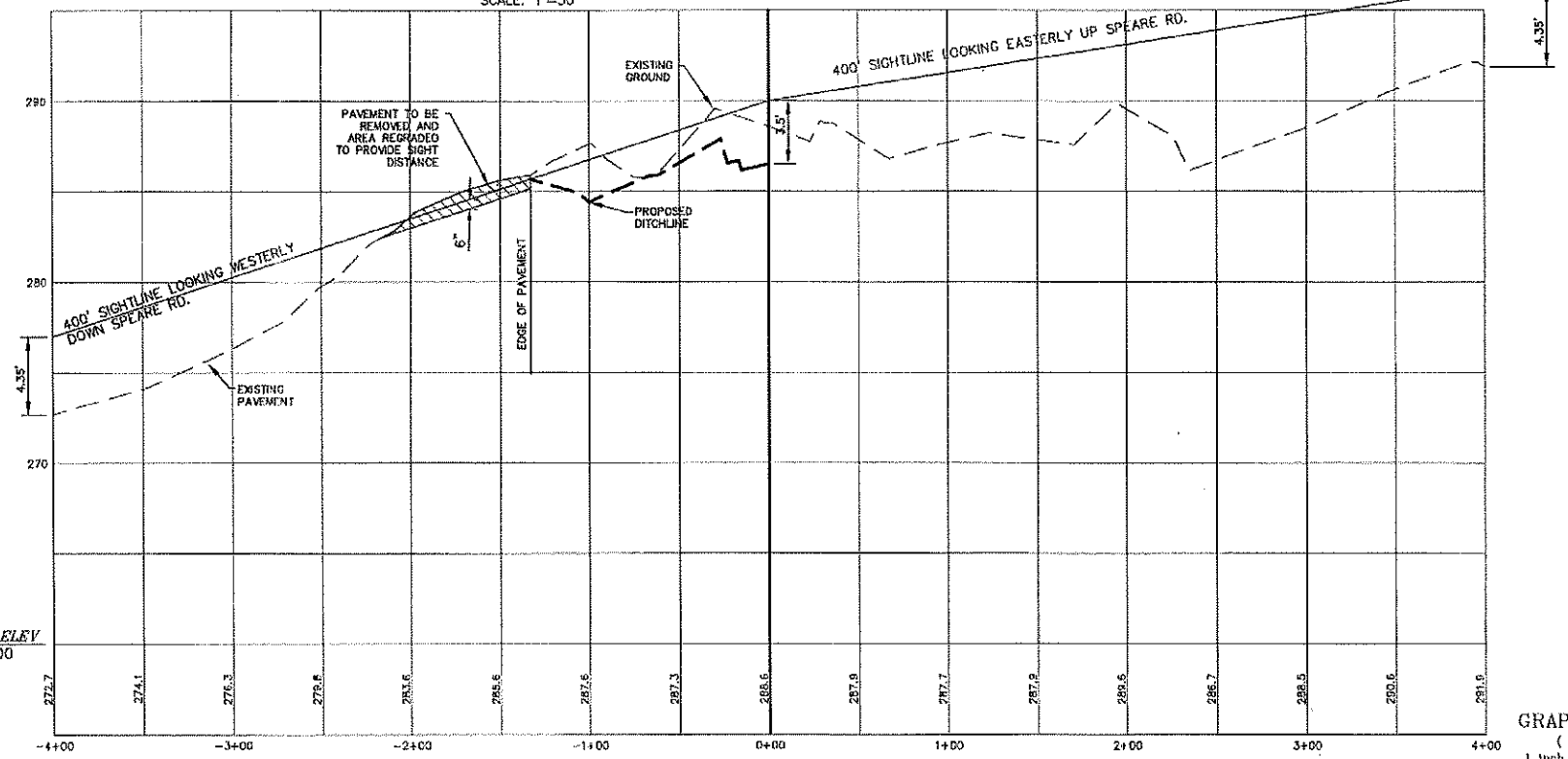
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NOT TO SCALE



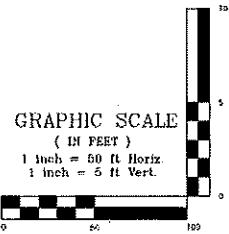
**TYPICAL ROADWAY SECTION SPEARE ROAD**  
NOT TO SCALE



**SITE LINE PLAN**  
SCALE: 1"=50'



**SIGHT LINE PROFILE**  
SCALE: 1"=50' HORIZ.  
SCALE: 1"=5' VERT.



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10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL

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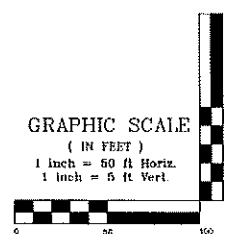
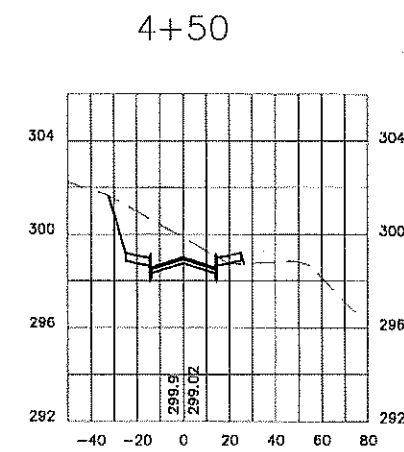
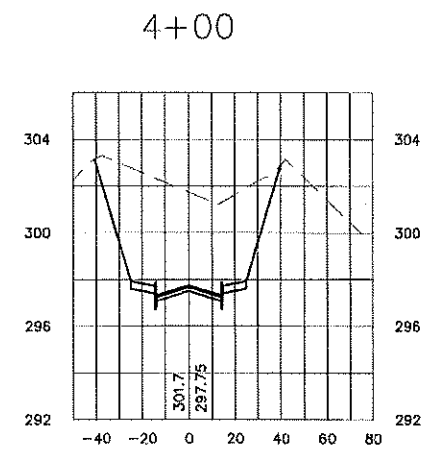
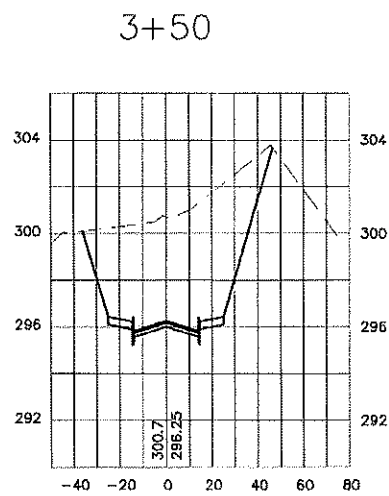
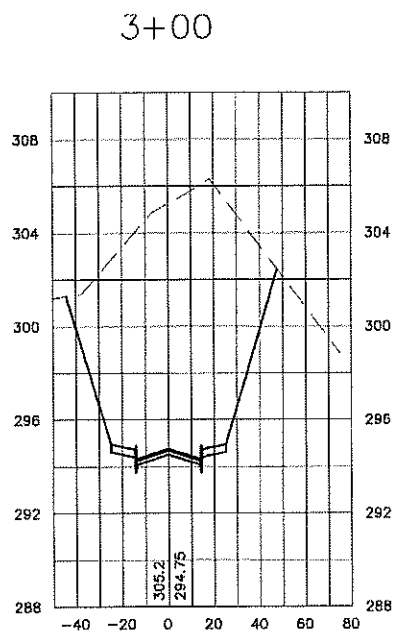
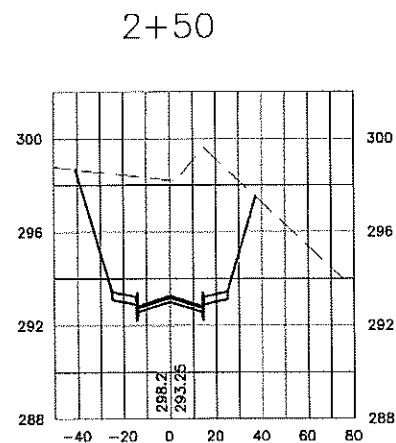
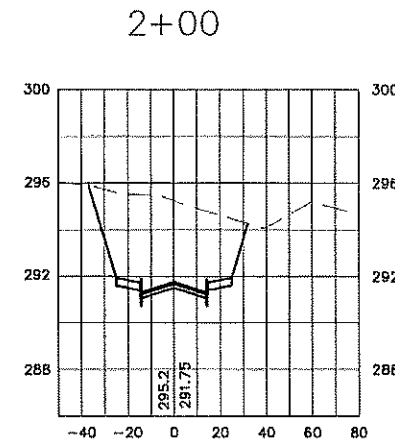
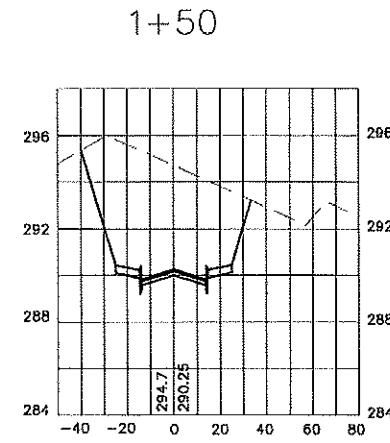
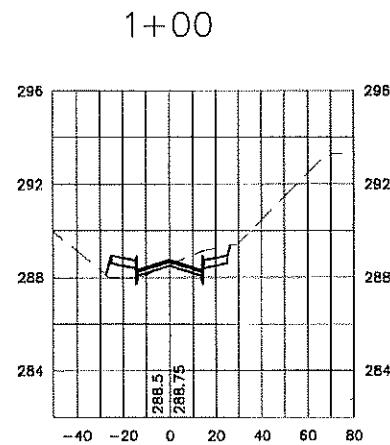
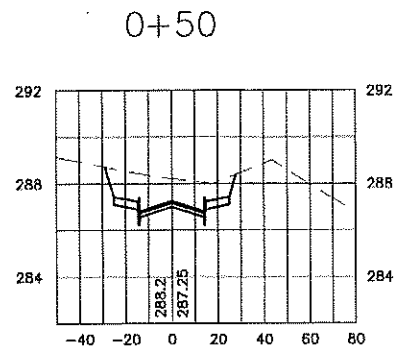
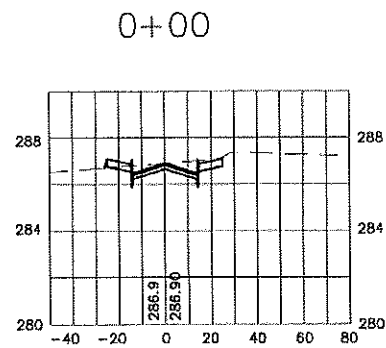
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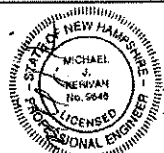
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Project:	<b>LAUREL LANDING SPEARE ROAD, HUDSON, NH 03051</b>
Owner of Record:	<b>DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842</b>

DRAWING No.	<b>H1</b>
SHEET 14 OF 23 JBE PROJECT NO. 16031	

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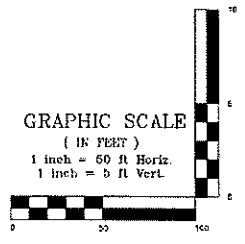
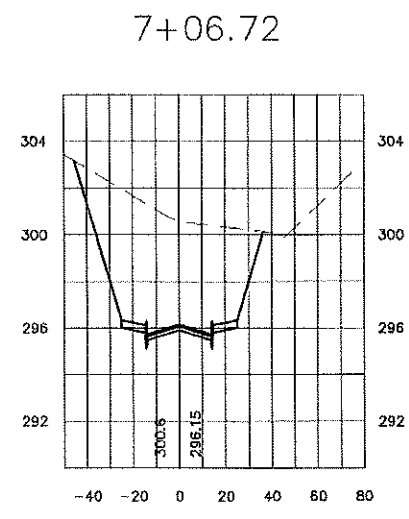
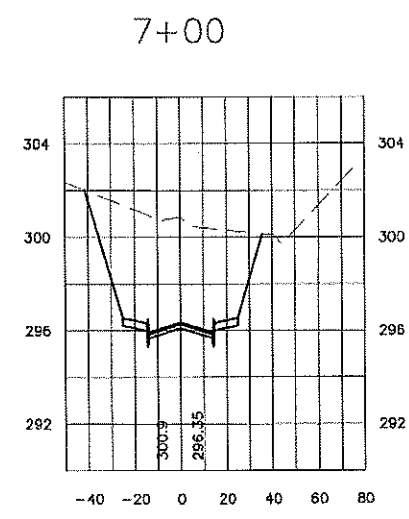
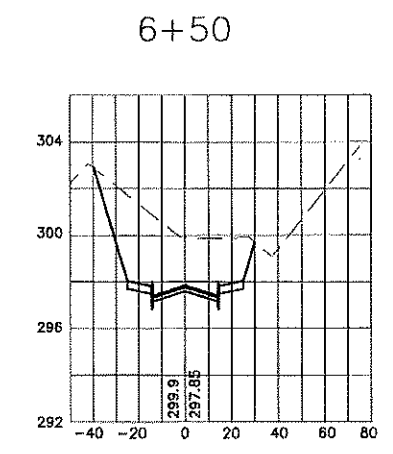
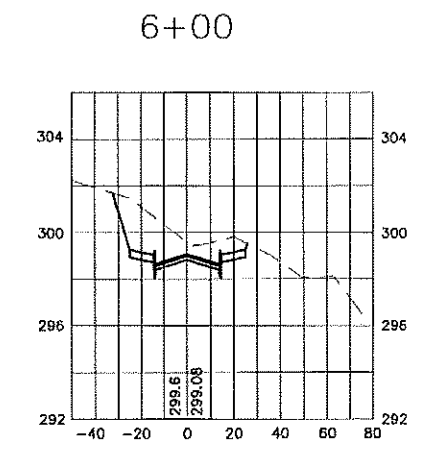
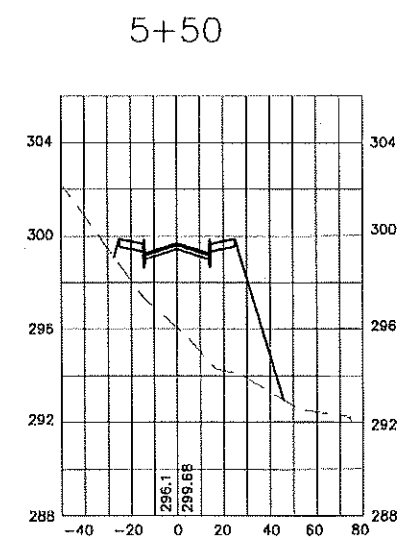
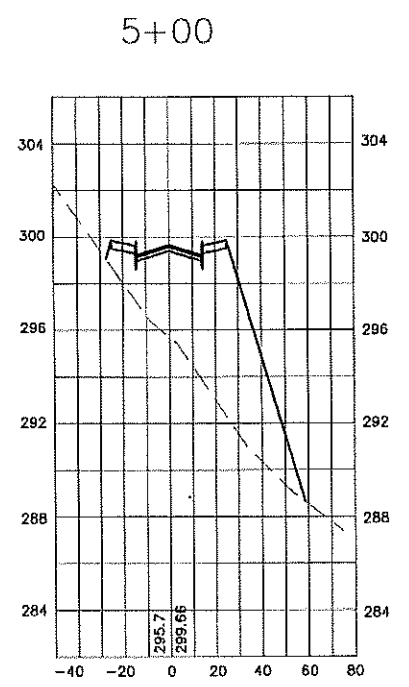
REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL

Designed and Produced in NH  
**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services  
85 Portsmouth Ave.    PO Box 219    Stratham, NH 03885  
603-772-4746    FAX: 603-772-0227    E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **CROSS SECTIONS STA 0+00 TO 4+50**  
Project: **LAUREL LANDING  
SPEARE ROAD, HUDSON, NH 03051**  
Owner of Record: **DOUGLAS S. SANDERSON  
11 NERSESIAN WAY, HAMPTON, NH 03842**

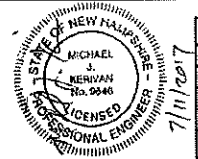
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**X1**  
SHEET 16 OF 23  
JBE PROJECT NO. 15031

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Design: JAC	Draft: PSL	Date: 7/10/16
Checked: JAC	Scale: AS SHOWN	Project No.: 15031
Drawing Name: 15031-PLAN SET.dwg		

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603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **CROSS SECTIONS STA 5+00 TO 7+06.72**

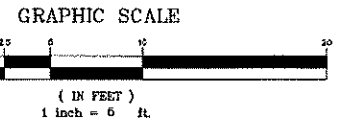
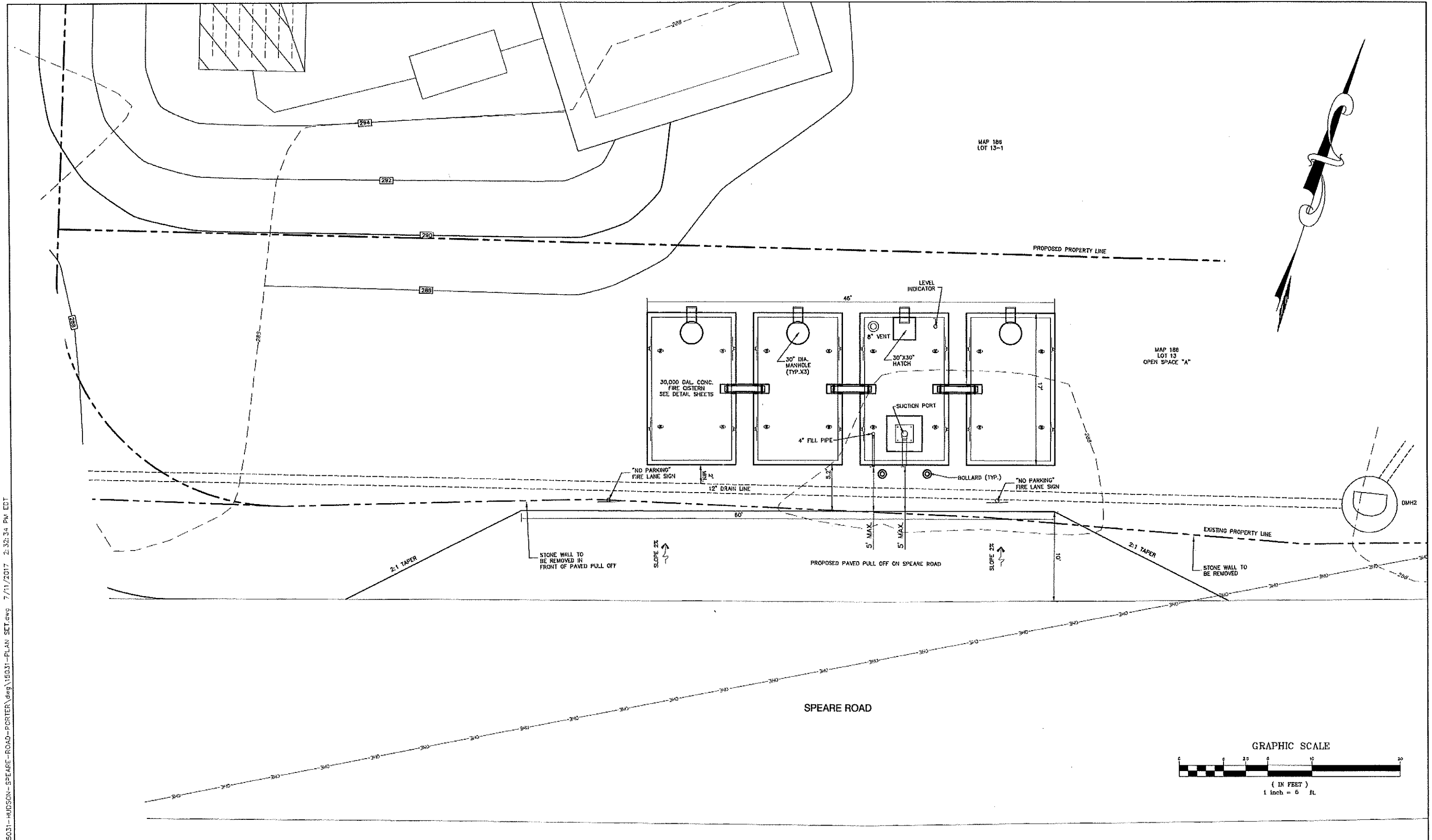
Project: **LAUREL LANDING  
SPEARE ROAD, HUDSON, NH 03051**

Owner of Record: **DOUGLAS S. SANDERSON  
11 NERSESIAN WAY, HAMPTON, NH 03842**

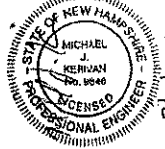
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SHEET 16 OF 23  
JBE PROJECT NO. 15031

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Design: JAC    Draft: PSL    Date: 7/10/16  
 Checked: JAC    Scale: AS SHOWN    Project No.: 16031  
 Drawing Name: 16031-PLAN SET.dwg  
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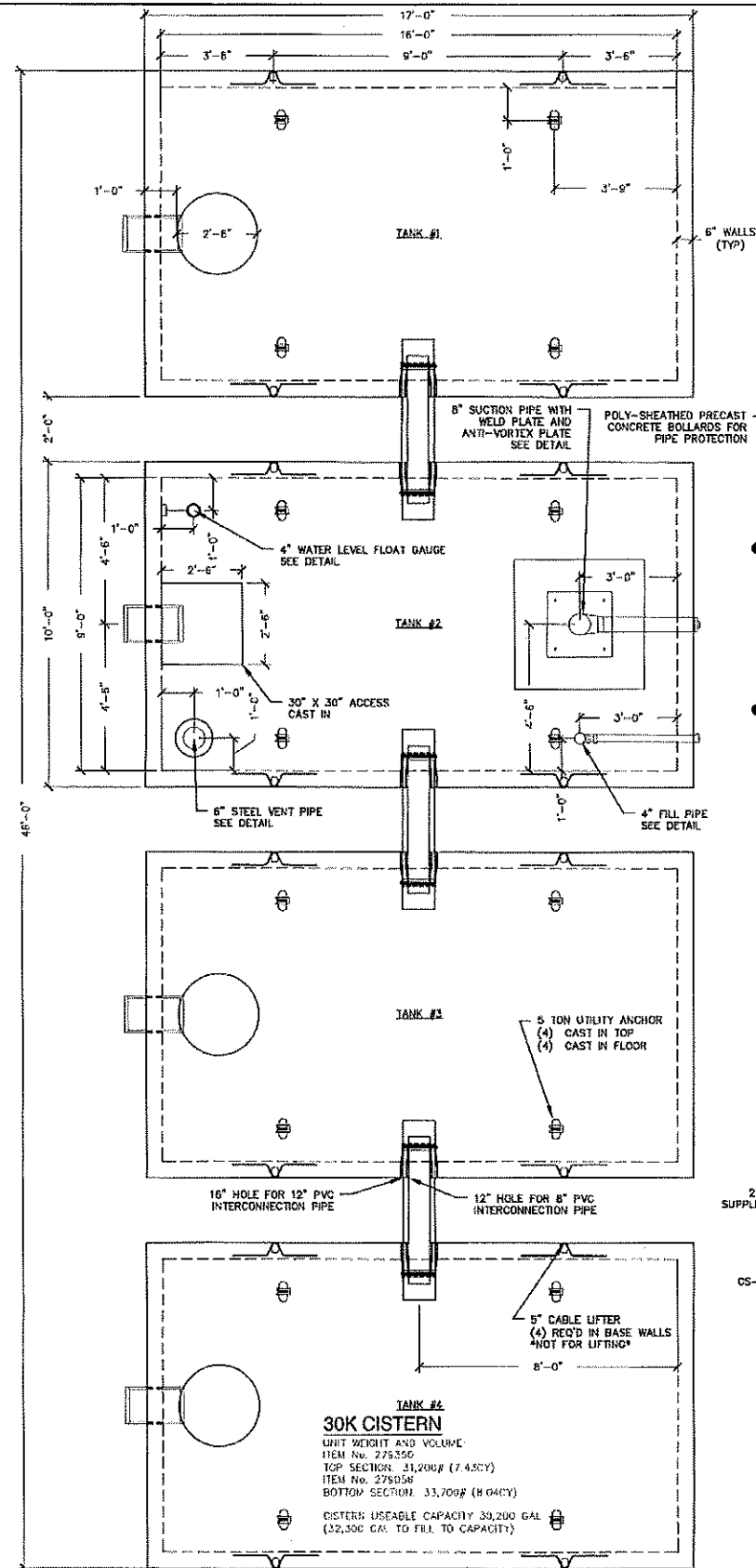
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 Civil Engineering Services

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Plan Name:	<b>FIRE CISTERN PLAN VIEW</b>
Project:	LAUREL LANDING SPEARE ROAD, HUDSON, NH 03051
Owner of Record:	DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842

DRAWING No.  
**F1**  
 SHEET 17 OF 23  
 JBE PROJECT NO. 15031

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**30,000 GALLON CONCRETE CISTERN PLAN VIEW**  
SCALE: 3/8" = 1'-0"

**CISTERN SPECIFICATIONS**

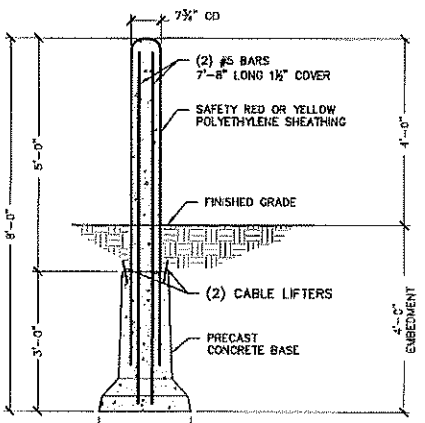
1. THE CISTERN SYSTEM SHALL BE DESIGNED FOR A 50 YEAR TROUBLE FREE LIFE EXPECTANCY.
2. THE ENTIRE CISTERN SYSTEM AND APPURTENANCES SHALL BE DESIGNED FOR H-20 HIGHWAY LOADING.
3. ALL SUCTION PIPING SHALL BE AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM) SCHEDULE 80 PVC WITH A DIAMETER OF EIGHT (8) INCHES. ALL VENT PIPING SHALL BE ASTM SCHEDULE 80 PVC WITH A DIAMETER OF 6" WITH 1000 GPM MINIMUM CAPACITY. ALL PIPING LOCATED WITHIN THE TANK SHALL BE ASTM SCHEDULE 80 PVC WITH GLEED JOINTS.
4. THE DISTANCE FROM THE BOTTOM OF THE SUCTION PIPE TO THE DRY HYDRANT SUCTION PIPE SHALL NOT EXCEED FIFTEEN (15) FEET VERTICALLY.
5. ALL HORIZONTAL SUCTION PIPES SHALL BE INSTALLED SLIGHTLY SLOPED TO PREVENT ANY WATER FROM REMAINING IN THE PIPES AFTER PUMPING.
7. BEDDING FOR THE CISTERN SHALL CONSIST OF A MINIMUM OF TWELVE (12) INCHES COMPACTED OF 3/8" TO 1/2" WASHED PEA STONE. NO FILL SHALL BE USED UNDER THE STONE. IN THE EVENT OF OVER EXCAVATION, THE ABOVE PEA STONE SHALL BE USED TO BRING UP TO PROPER GRADE.
8. THE TOP FOUR (4) FEET OF THE CISTERN SHALL BE BACKFILLED WITH A COMPACTED MATERIAL OF 120 PCF MINIMUM. INSULATION SHALL BE CLOSED CELL POLYURETHANE FOAM WITH AN INSULATION FACTOR OF R=7 PER INCH OR GREATER. ALL BACKFILL SHALL EXTEND TEN (10) FEET BEYOND THE EDGE OF PAVEMENT AND THEN HAVE A MAXIMUM SLOPE OF 3:1. ALL DISTURBED AREAS SHALL BE COVERED WITH LOAM AND SEEDED.
9. THE FIRE CHIEF SHALL INSPECT THE COMPLETED CISTERN PRIOR TO ANY BACKFILLING.
11. AFTER BACKFILLING IS COMPLETED, BOLLARDS WILL BE INSTALLED TO PROTECT THE CISTERN AND ALL APPURTENANCES.
12. ALL CONSTRUCTION, BACKFILL AND GRADING MATERIALS SHALL BE IN ACCORDANCE WITH PROPER CONSTRUCTION PRACTICES AND ACCEPTABLE BY THE FIRE CHIEF.
13. PRIOR TO THE START OF CONSTRUCTION THE FIRE CHIEF OR THE DESIGNATED REPRESENTATIVE OF THE FIRE DEPARTMENT SHALL BE NOTIFIED BY THE APPLICANT, FOR THE PURPOSE OF INSPECTION, THIS DATES THAT:
  - A) SITEWORK WILL BEGIN.
  - B) EXCAVATION IS COMPLETED.
  - C) TANK IN PLACE PRIOR TO BACKFILLING.
  - D) BELOW GRADE PAINTING COMPLETE. PRIOR TO BACK FILLING.
  - E) BACKFILLING COMPLETED AFTER INSULATION IS INSTALLED.
  - F) START AND FINISH OF LEAKAGE TEST.
  - G) PIPING, MANWAYS AND BOLLARDS IN PLACE AND PAINTED.
  - H) ALL BACKFILLING, LOAM AND SEEDING IS COMPLETED.
  - I) PAVEMENT REPAIR AND ALL WORK 100% COMPLETED.
  - J) ACCEPTANCE TEST
14. ALL STONE MUST HAVE A MINIMUM DENSITY OF 120 PCF.
15. HOSE CONNECTIONS SHALL CONFORM TO TOWN FIRE DEPT. REQUIREMENTS.

**PAINTING SCHEDULE**

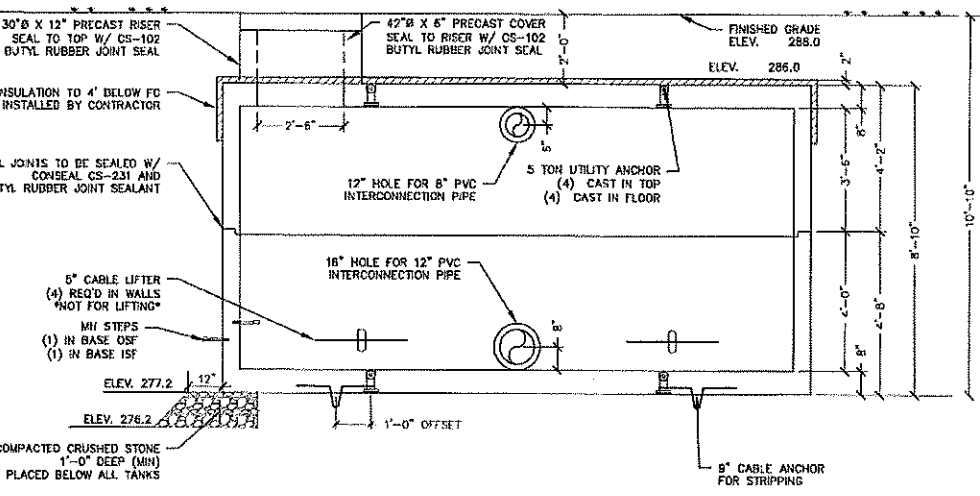
1. EXTERIOR FERROUS METALS AND PVC:
  - 1st COAT-EPOLON II MULTI-MIL 3-4 MILS
  - 2nd COAT-EPOLON II MULTI-MIL 3-4 MILS
  - 3rd COAT-III SOLIDS POLYURETHANE 3-4 MILS
  - SURFACE PREP-SS PG SPG-COMMERCIAL BLAST CLEANING
2. SUBMERGED FERROUS METALS:
  - 1st COAT-ZINC CLAD 5 ZINC PAINT 3-4 MILS
  - 2nd COAT-DUROPLATE 235 EPOXY 8 MILS

**NOTES:**

1. MAINTAIN MINIMUM 60 DEGREE SLOPE ANGLE WHEN HANDLING PRECAST COMPONENTS.
2. PRECAST COMPONENTS SHALL REACH A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI PRIOR TO STRIPPING, AND THE MINIMUM DESIGN COMPRESSIVE STRENGTH PRIOR TO SHIPPING, UNLESS OTHERWISE APPROVED.
3. CONCRETE SHALL BE SELF-CONSOLIDATING CONFORMING TO ASTM C260 WITH A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 5,000 PSI. AGGREGATE SHALL CONFORM TO ASTM C-33 WITH A MAXIMUM DIAMETER OF 3/4". CEMENT SHALL CONFORM TO ASTM C150.
4. REINFORCING SHALL BE GRADE 60 DEFORMED BLACK BARS CONFORMING TO ASTM A-615. ALL BARS SHALL BE BENT COLD.
5. ALL JOINTS AND VOIDS SHALL BE FILLED WITH NON-SHRINK GROUT. VERTICAL SURFACE VOIDS MAY BE FILLED WITH FOAM SEALANT.
6. TANK DESIGNED USING THE FOLLOWING PROPERTIES:
  - SEE REINFORCING PAGE FOR DESIGN DETAILS
  - ADEQUACY OF THE ABOVE INFORMATION SHALL BE REVIEWED FOR SITE SPECIFIC CONDITIONS BY QUALIFIED LICENSED PROFESSIONAL ENGINEER.
7. ALL EXCAVATED HOLES SHALL BE PREPARED PER OSHA STANDARDS; NOTHING IN THESE PLANS SHALL BE CONSTRUED TO PROVIDE EXCAVATION GUIDANCE. TANK EXCAVATION SHALL BE KEPT Dewatered THROUGHOUT INSTALLATION AND BACKFILL OPERATIONS.
8. STRUCTURE SHALL BE PLACED AT ELEVATIONS SHOWN ON THE DRAWINGS OR A MINIMUM OF 12" OF COMPACTED CRUSHED STONE WITH AN AGGREGATE SIZE OF 3" TO 1 1/2". ALL TOPSOIL LOOSE FILL AND DELETERIOUS MATERIALS SHALL BE REMOVED BEFORE PLACING MATERIAL.
9. BACKFILL MATERIAL SHALL BE SCREENED GRAVEL OR SAND, FREE OF DELETERIOUS MATERIAL WITH A MAXIMUM AGGREGATE SIZE OF 1 1/2". BACKFILL SHALL EXTEND FOR A MINIMUM DISTANCE OF 3'-0" BEYOND THE HORIZONTAL LIMITS OF THE STRUCTURE. MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING 12" AND COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM DENSITY DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST). ALL COMPACTION SHALL BE DONE WITH HAND-OPERATED COMPACTION EQUIPMENT.
10. IF THERE IS ADDITIONAL INFORMATION PERTINENT TO THE FABRICATION AND INSTALLATION OF THESE UNITS THAT IS NOT CONTAINED WITHIN THE RESOURCES LISTED ABOVE IT SHALL BE BROUGHT TO THE ATTENTION OF MICHE CORPORATION. FAILURE TO MAKE SUCH ADDITIONAL INFORMATION AVAILABLE SHALL RELIEVE MICHE CORPORATION OF ALL LIABILITIES ARISING FROM ERRORS OR OMISSIONS RELATED TO THE OMITTED INFORMATION.



**POLY SHEATHED PRECAST BOLLARD**  
SCALE: 1/2" = 1'-0"

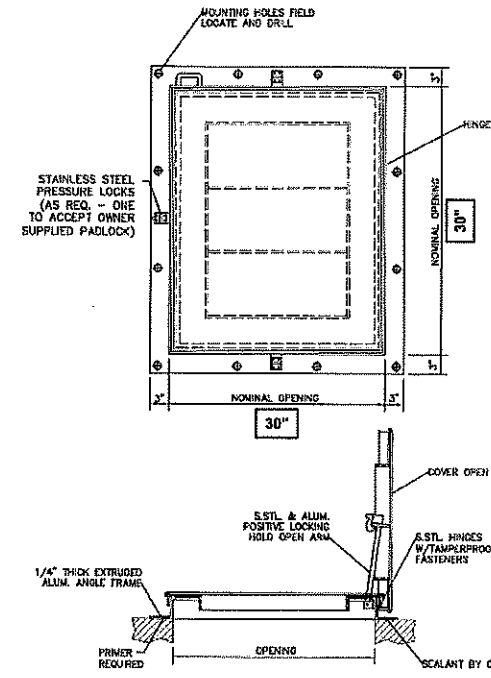


**TANKS 1,3 & 4 ELEVATION VIEW**  
SCALE: 3/8" = 1'-0"

HALLIDAY PRODUCTS, INC.  
ORLANDO, FL  
http://www.hallidayproducts.com



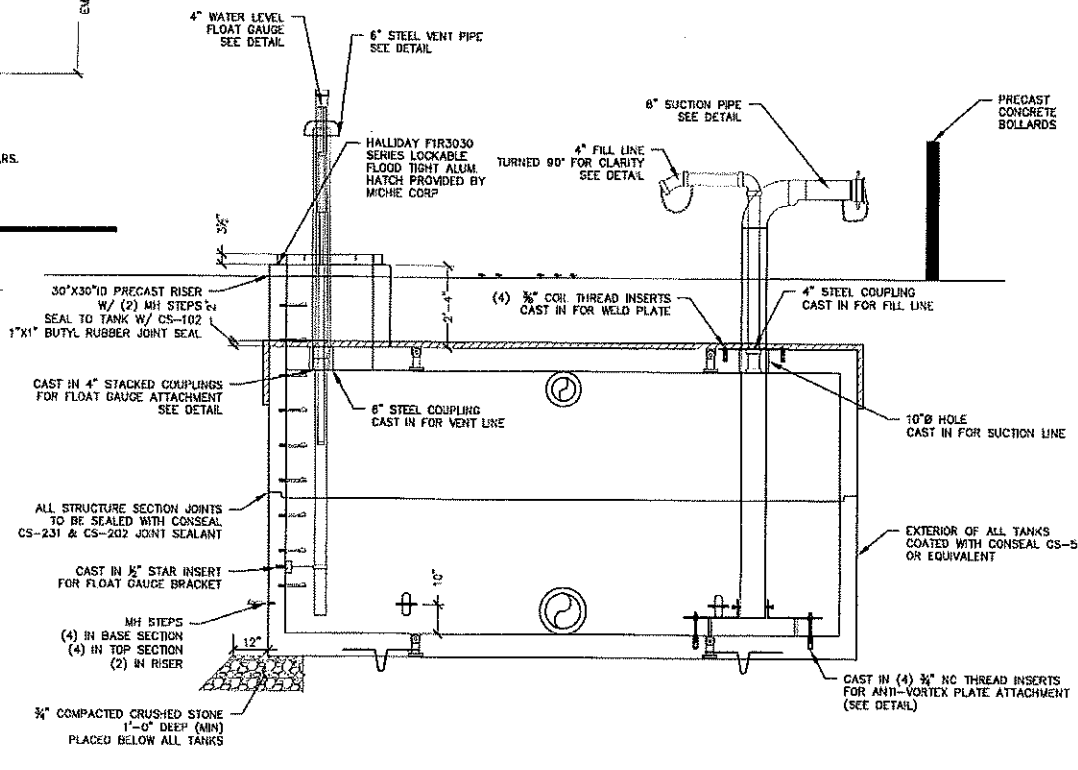
MODEL NO. FIR3030M-C-  
QUANTITY:  
ORDER NO.  
DATE:  
LOCATION/TAG:



**30" X 30" ACCESS HATCH DETAIL**  
NOT TO SCALE

- STANDARD FEATURES:**
- 1/4 ALUMINUM TREAD PLATE COVER
  - 1/4 THICK ALUMINUM FRAME EXTRUSION
  - T-310 STAINLESS STEEL HARDWARE
  - NEOPRENE GASKET (ON COVER)
  - S.S.T.L. & ALUM. HOLD OPEN ARM
  - S.S.T.L. PRESSURE LOCKS
  - LOCKING LUG
  - LIFETIME GUARANTEE
- 625 LB. PER SQ. FT. LOAD RATING  
 300 LB. PER SQ. FT. LOAD RATING
- OPTION FEATURES:**
- BITUMINOUS COATING
  - CLEAR ANODIZED FINISH
  - LACQUER FINISH
  - SPRING ASSIST
  - 2" INSULATION W/ CAPTIVE PAN
  - SLAB SKIRTING
  - PVC PROTECTIVE FILM
  - SHOP DRILL MOUNTING HOLES
  - MISCELLANEOUS

NOTE:  
ACTUAL CLEAR OPENING =  
NOMINAL OPENING - 1.25"



**TANK 2 ELEVATION VIEW**  
SCALE: 3/8" = 1'-0"

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Civil Engineering Services

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E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **30,000 GALLON FIRE CISTERN DETAILS**

Project: **LAUREL LANDING  
SPEARE ROAD, HUDSON, NH 03051**

Owner of Record: **DOUGLAS S. SANDERSON  
11 NERSESIAN WAY, HAMPTON, NH 03842**

DRAWING No.

**F2**

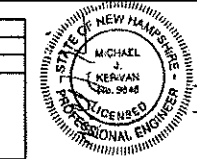
SHEET 18 OF 33  
JBE PROJECT NO. 16031

Design: JAC Draft: PSL Date: 7/10/16

Checked: JAC Scale: AS SHOWN Project No.: 16031

Drawing Name: 16031-PLAN SET.dwg

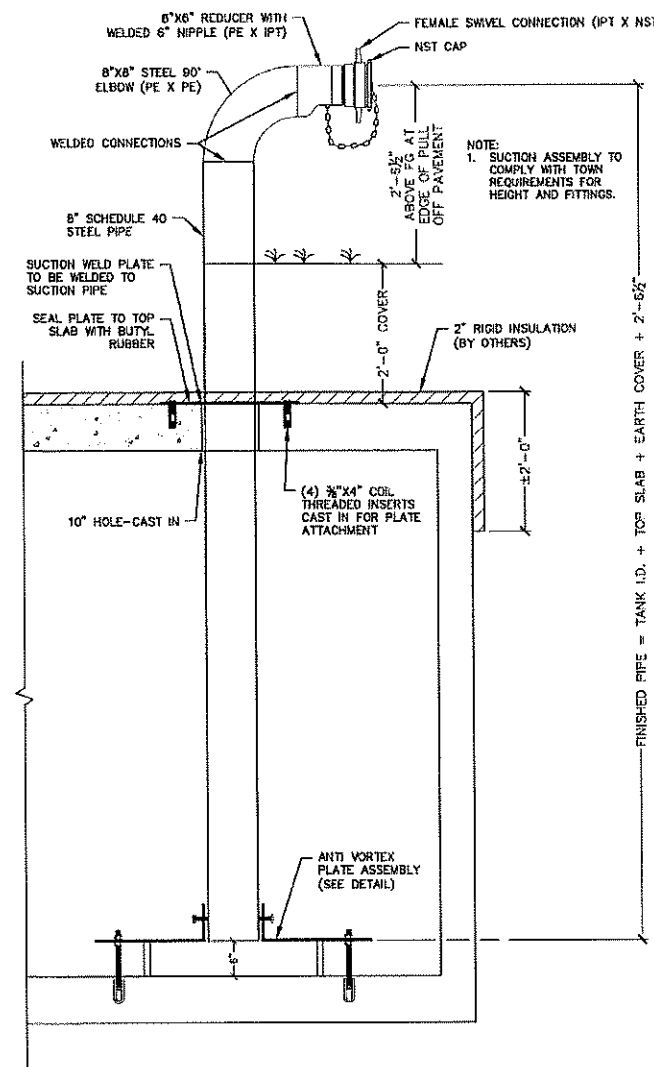
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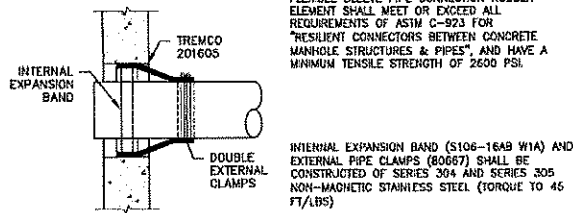


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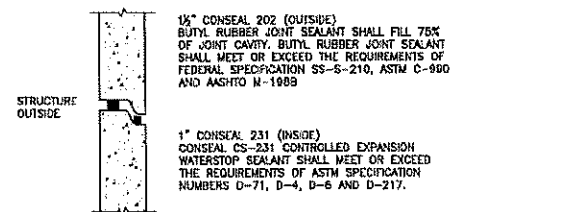
**SUCTION ASSEMBLY DETAIL**

SCALE: 3/4"=1'-0"



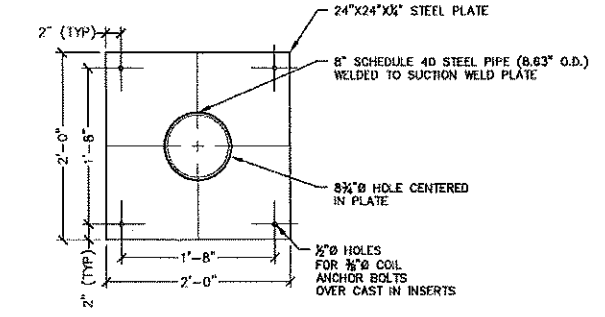
**TYPICAL FLEXIBLE SLEEVE PIPE CONNECTION DETAIL**

SCALE: 1"=1'-0"



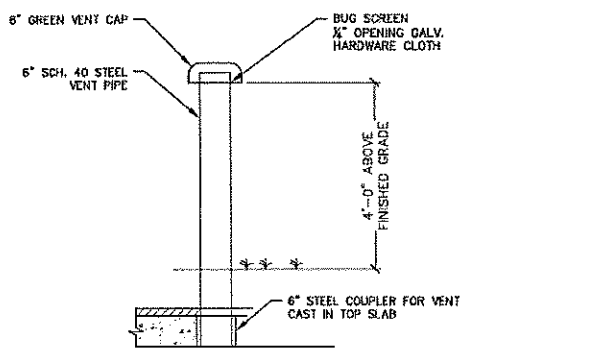
**CONSEAL JOINT SEALANT DETAIL**

SCALE: 1"=1'-0"



**SUCTION WELD PLATE DETAIL PLAN VIEW**

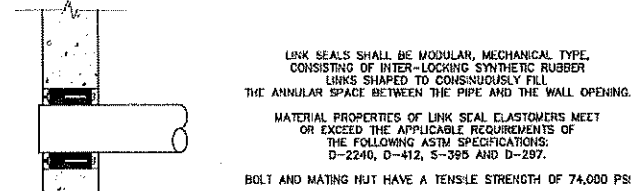
SCALE: 1"=1'-0"



NOTE: THE BUG SCREEN IS REQUIRED. PLACE SCREEN IN THE VENT PIPE TO FULLY FILL THE PIPE DIAMETER.

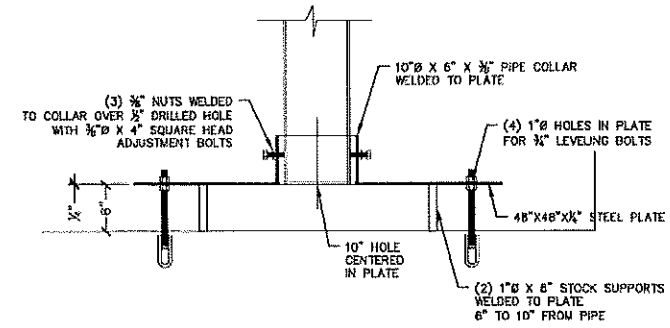
**VENT PIPE ASSEMBLY DETAIL**

SCALE: 1/2"=1'-0"



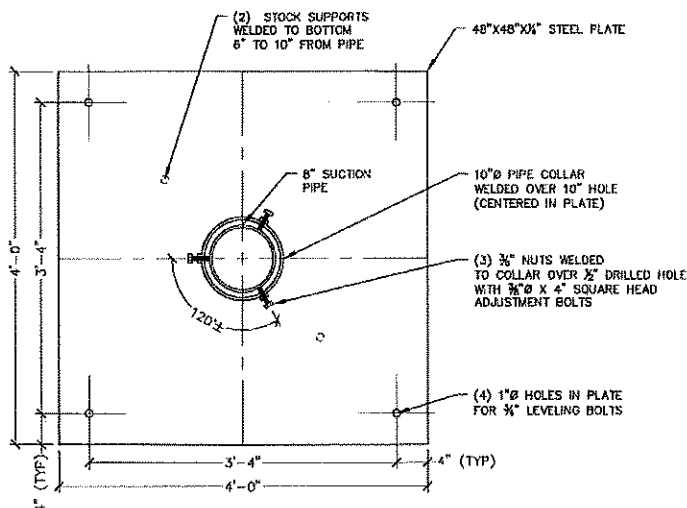
**TYPICAL LINK SEAL PIPE CONNECTION**

SCALE: 3/4"=1'-0"



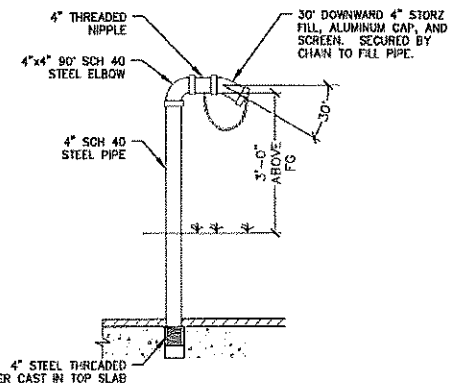
**ANTI VORTEX PLATE DETAIL ELEVATION VIEW**

SCALE: 1"=1'-0"



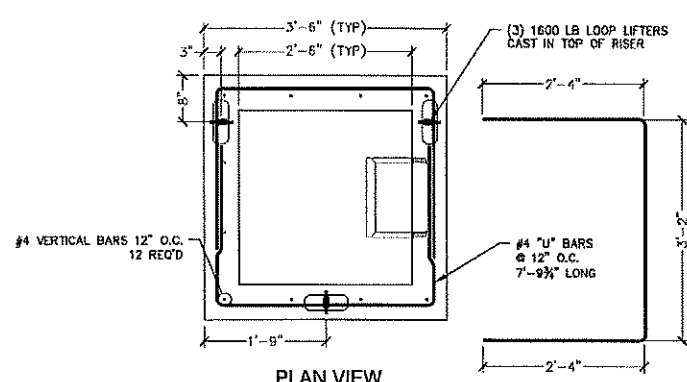
**ANTI VORTEX PLATE DETAIL PLAN VIEW**

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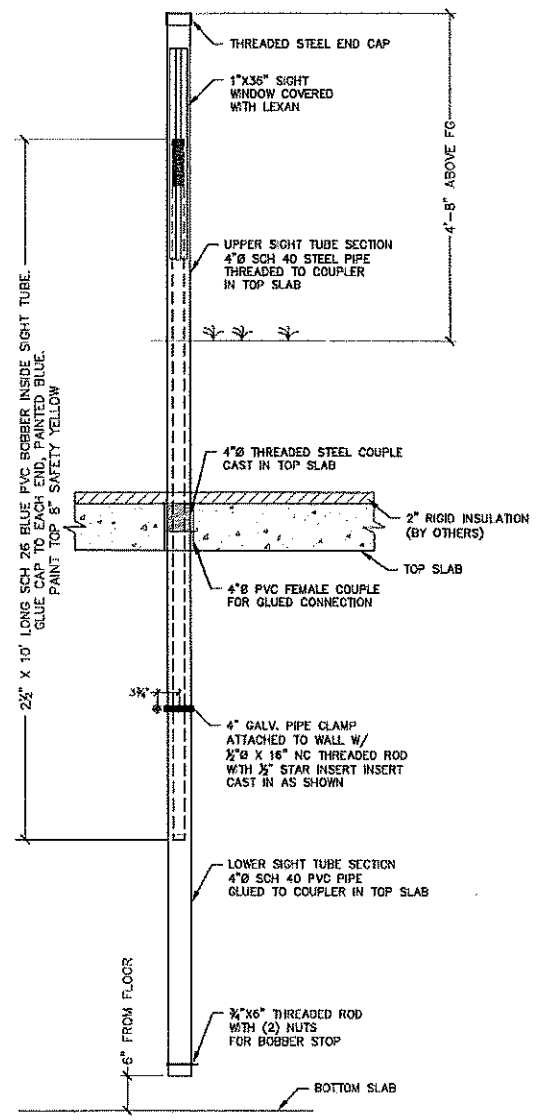
**FILL LINE ASSEMBLY DETAIL**

SCALE: 1/2"=1'-0"



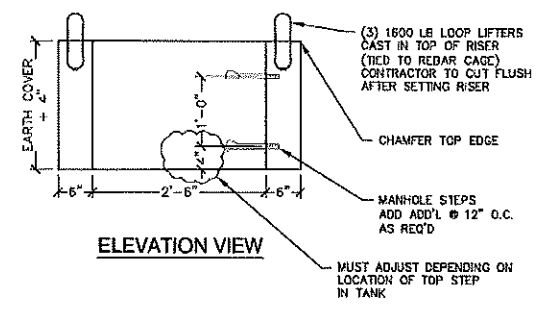
**30" X 30" RISER TURRET DETAIL**

SCALE: 3/4"=1'-0"



**TYPICAL WATER FLOAT INDICATOR DETAIL**

SCALE: 3/4"=1'-0"



**30" X 30" RISER TURRET**

ITEM NUMBER: 279899  
UNIT WEIGHT AND VOLUME:  
.22CY/FT (920#/FT)

NOTES:  
1. CONCRETE: 4,000 PSI @ 28 DAYS.  
2. REINFORCED PER ASTM A-615, GRADE 60 DEFORMED BLACK BARS.

Design: JAC	Draft: PSL	Date: 7/10/16
Checked: JAC	Scale: AS SHOWN	Project No.: 15031
Drawing Name: 15031-PLAN SET.dwg		
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Civil Engineering Services

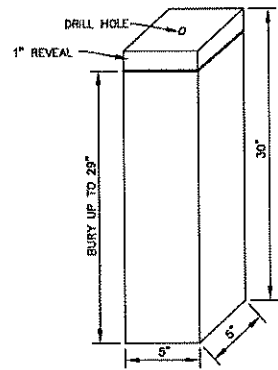
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DRAWING No.

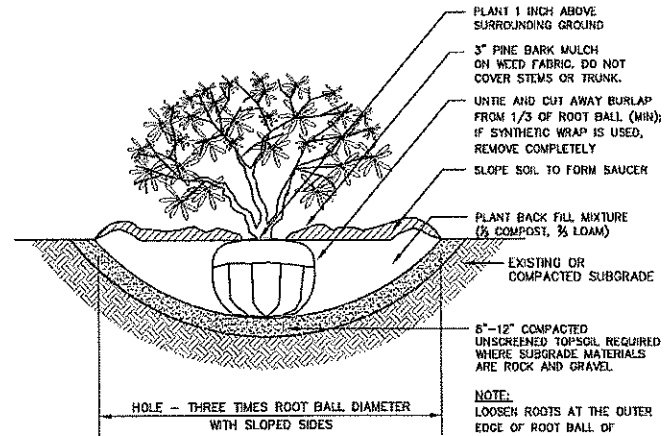
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SHEET 16 OF 23  
JBE PROJECT NO. 15031



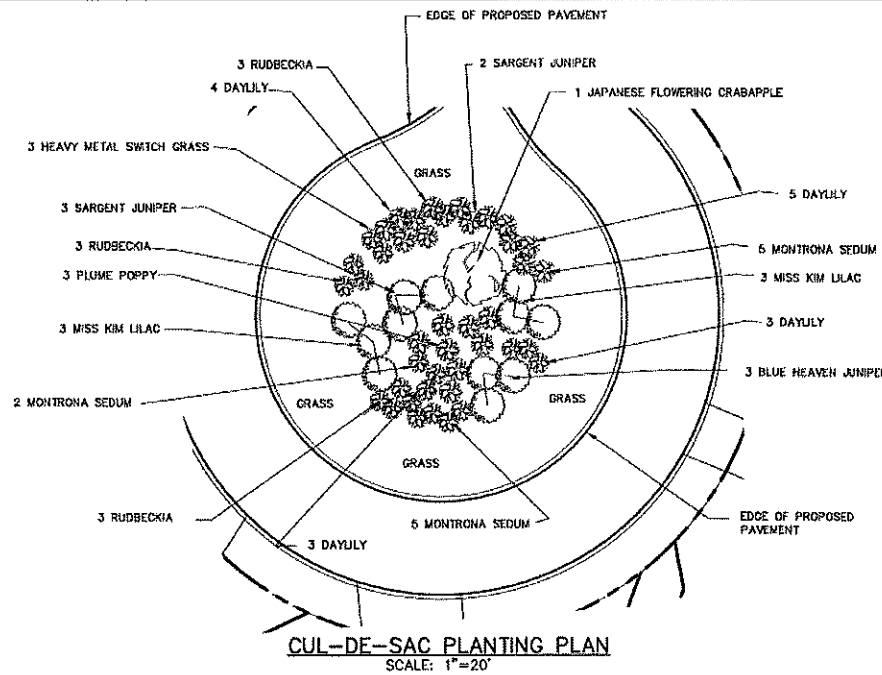
TYPICAL GRANITE BOUND

NOT TO SCALE



SHRUB PLANTING

NOT TO SCALE



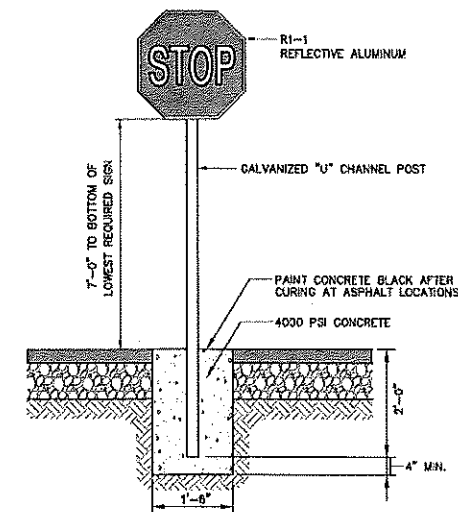
CUL-DE-SAC PLANTING PLAN  
SCALE: 1"=20'

PLANTING LIST

TREES AND SHRUBS:		
5 JUNIPERUS C. "SARGENTII"	GREEN SARGENT JUNIPER	18"-24"
3 JUNIPERUS C. "BLUE HEAVEN"	BLUE HEAVEN JUNIPER	4-4 1/2'
1 MALUS FLORIBUNDA	JAPANESE FLOWERING CRAB	2 1/2-3" CAL
6 SYRINGA PATULA "MISS KIM"	MISS KIM LILAC	3-4'
PERENNIALS:		
3 CRANBE CORDIFOLIA	PLUME POPPY	1 GAL
15 HEMEROCALLIS	DAYLILY	2 QT
3 PANICUM VIRGATUM	HEAVY METAL SWITCH GRASS	1 GAL
9 RUDBECKIA FULGIDA "GOLDSTURM"	BLACK EYED SUSAN	2 QT
12 SEDUM MONROVIA	MONROVIA SEDUM	2 QT

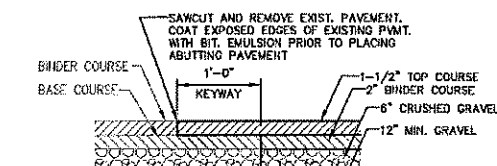
NOTES:

- PLANT TYPES MAY VARY BASED ON AVAILABILITY AND SUPPLY. THIS LAYOUT REPRESENTS THE INTENT OF THE PLANTING AND APPROXIMATE NUMBER OF PLANTS TO BE PROVIDED.
- LANDSCAPING WITHIN THE LANDSCAPED CUL-DE-SAC ISLAND AND THE PERPETUAL MAINTENANCE THEREOF SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS, AS PRESCRIBED IN THE HOMEOWNERS' ASSOCIATION BY-LAWS.



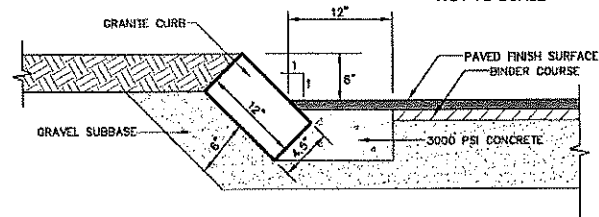
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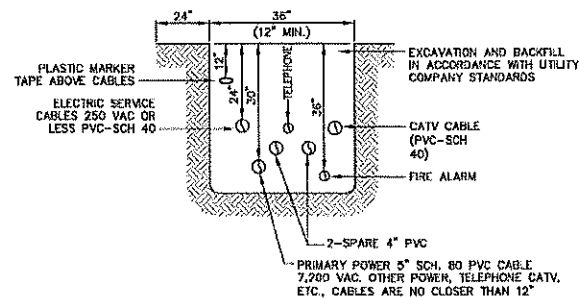
KEYWAY DETAIL FOR CONNECTION TO EXISTING PAVEMENT

NOT TO SCALE



SLOPED GRANITE CURB

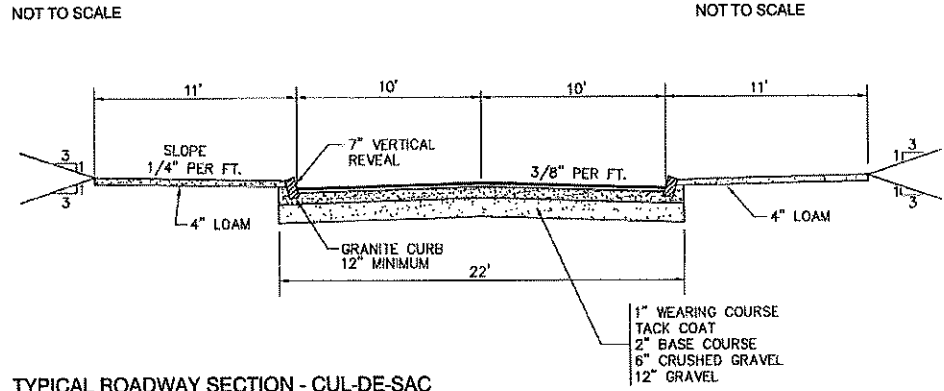
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UTILITY TRENCH

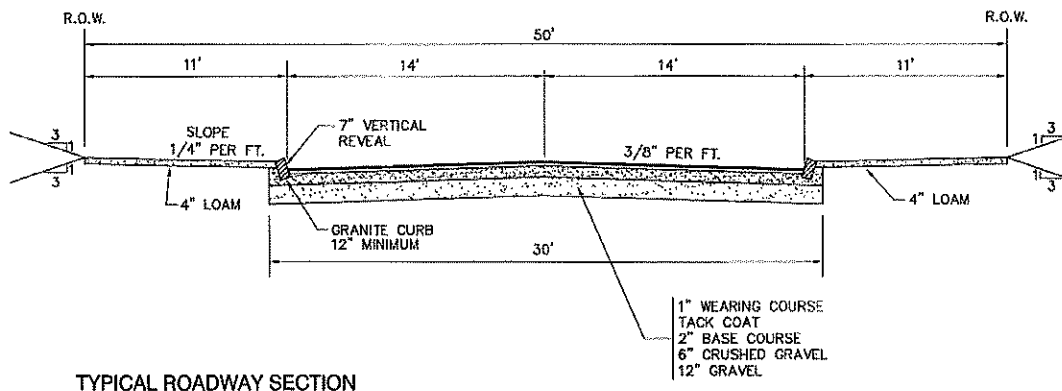
NOT TO SCALE

NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.



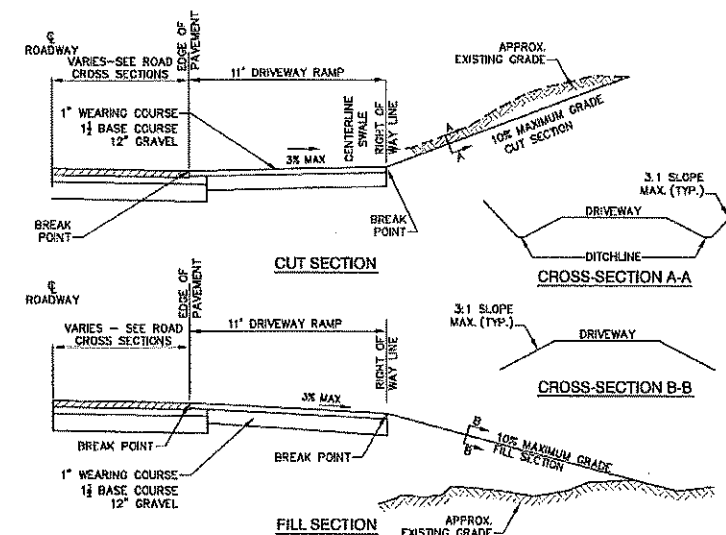
TYPICAL ROADWAY SECTION - CUL-DE-SAC

SCALE: 1"=10'



TYPICAL ROADWAY SECTION

SCALE: 1"=10'

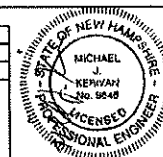


TYPICAL DRIVEWAY SECTIONS

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Design: JAC	Draft: PSL	Date: 7/10/16
Checked: JAC	Scale: AS NOTED	Project No.: 15031
Drawing Name: 15031-PLAN SET.dwg		
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REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED HT PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/5/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

Civil Engineering Services

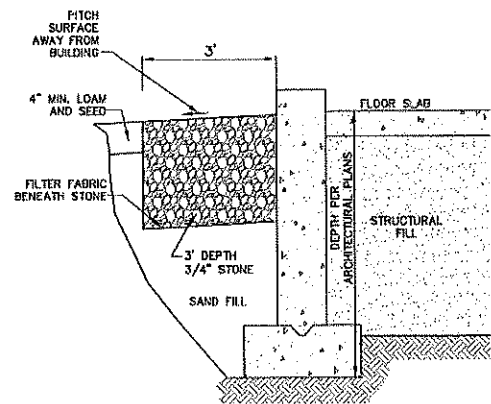
86 Portsmouth Ave.  
PO Box 219  
Stratham, NH 03985

603-772-4746  
FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	LAUREL LANDING SPEARE ROAD, HUDSON, NH 03051
Owner of Record:	DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842

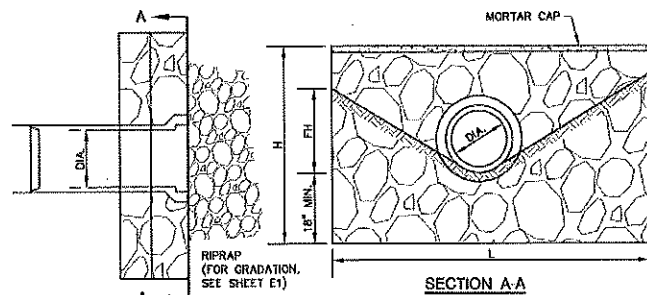
DRAWING No.	D1
SHEET 20 OF 23	JBE PROJECT NO. 15031





**DRIP EDGE DETAIL**

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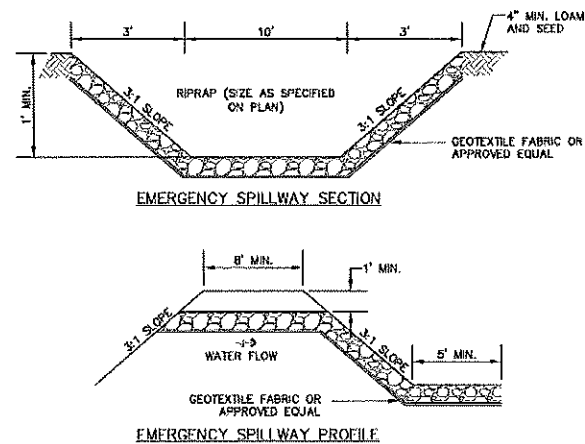


OA	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	PIPE COVER	HEADWALL BOTTOM WIDTH
D	L	H	FH	h	W
12"	4'-3"	3'-8"	1'-1"	1'-3"	2'-0"
15"	6'-0"	4'-3"	1'-7"	1'-6"	2'-1"
18"	7'-0"	4'-6"	1'-10"	1'-6"	2'-2"
24"	9'-0"	5'-0"	2'-4"	1'-6"	2'-3"
30"	11'-0"	5'-6"	2'-10"	1'-6"	2'-5"
36"	13'-0"	6'-0"	3'-4"	1'-6"	2'-6"
42"	15'-9"	6'-9"	4'-1"	1'-9"	2'-9"
48"	17'-9"	7'-3"	4'-7"	1'-9"	2'-10"

- NOTES:**
- ALL DIMENSIONS GIVEN IN FEET AND INCHES.
  - PROVIDE BELL END AT INLET HEADWALL, AND SPIGOT END AT OUTLET END HEADWALL.
  - RIPRAP SHALL BE SIZED TO RESIST THE TRACTIVE VELOCITY FORCES.

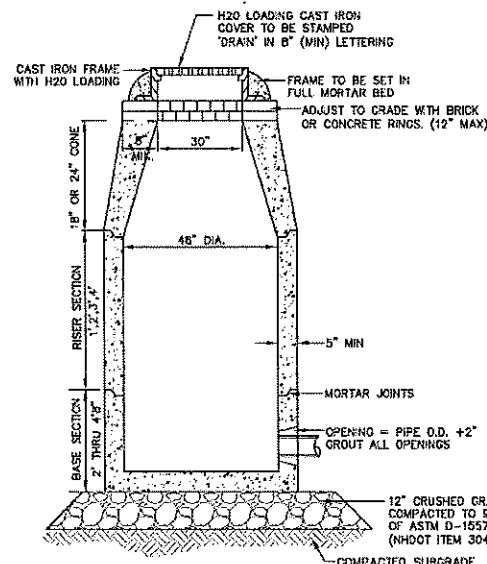
**MORTAR RUBBLE MASONRY HEADWALL**

NOT TO SCALE



**EMERGENCY SPILLWAY**

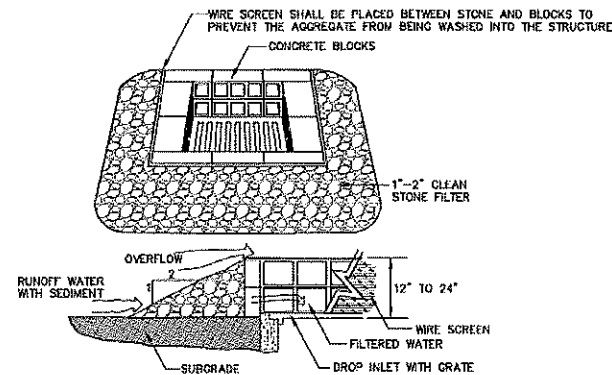
NOT TO SCALE



- NOTES:**
- BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
  - ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
  - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
  - FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
  - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
  - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
  - ALL DRAIN MANHOLE FRAMES AND GRATES SHALL BE NHDOT TYPE MH-1, OR NEENAH R-1788 OR APPROVED EQUAL (30" DIA. TYPICAL).
  - STANDARD FRAME(S) AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE 'DONUTS'.

**DRAIN MANHOLE**

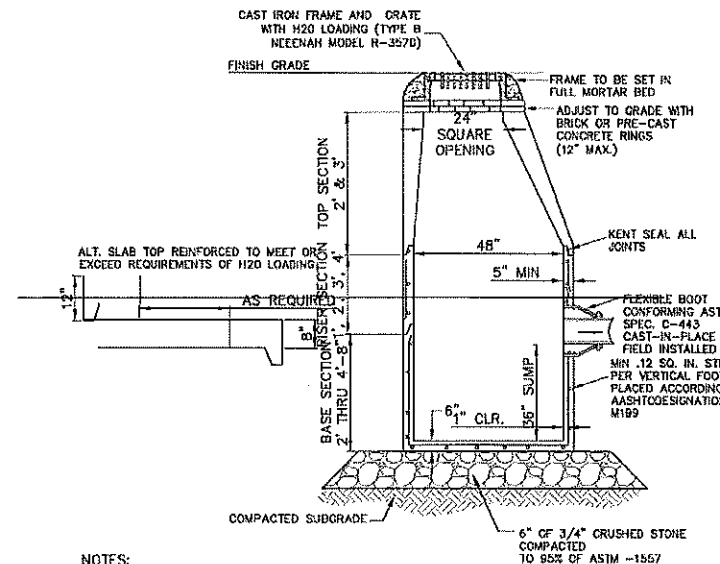
NOT TO SCALE



- MAINTENANCE NOTE:**
- ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAINFALL AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED IN A SUITABLE UPLAND AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURE OR VEGETATIVE MEANS. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

**TEMPORARY CATCH BASIN INLET PROTECTION**  
(Block and Gravel Drop Inlet Sediment Filter)

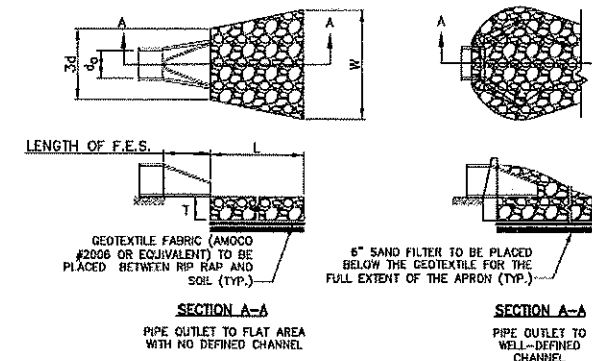
NOT TO SCALE



- NOTES:**
- BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
  - ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
  - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
  - FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
  - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
  - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
  - ALL CATCH BASIN FRAMES AND GRATES SHALL BE NHDOT CATCH BASIN TYPE ALTERNATE 1 OR NEENAH R-3570 OR APPROVED EQUAL (24"x24" TYPICAL).
  - STANDARD CATCH BASIN FRAME AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE 'DONUTS'.

**CATCH BASIN**

NOT TO SCALE



**TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES**

THICKNESS OF RIP RAP = 0.75 FEET

d50 SIZE	FEET	3 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	FROM	TO
100%	5	6
85%	4	5
50%	3	5
15%	1	2

**TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES**

THICKNESS OF RIP RAP = 1.5 FEET

d50 SIZE	FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	FROM	TO
100%	9	12
85%	8	11
50%	6	9
15%	2	3

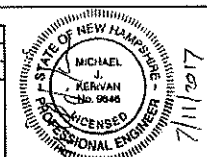
- NOTES:**
- THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
  - THE RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
  - GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
  - STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
  - OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHOULD BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL BOTTOM THROUGH THE LENGTH OF THE APRON.
  - MAINTENANCE: THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDEFORMED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

**RIP RAP OUTLET PROTECTION APRON**

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REV.	DATE	REVISION	BY
11	6/13/17	REVISED FIRE CISTERN	PSL
10	6/7/17	REVISED H1 PLAN	PSL
9	10/6/16	REVISED PER CONDITIONS OF APPROVAL	PSL
8	7/6/16	REVISED PER TOWN COMMENTS	PSL
7	6/1/16	REVISED LOTS 13-5 AND 13-6	PSL

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. PO Box 219 Stratham, NH 03665

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>DETAIL SHEET</b>
Project:	<b>LAUREL LANDING SPEARE ROAD, HUDSON, NH 03051</b>
Owner of Record:	<b>DOUGLAS S. SANDERSON 11 NERSESIAN WAY, HAMPTON, NH 03842</b>

DRAWING No.

**D3**

SHEET 22 OF 23  
JBE PROJECT NO. 15031

