

15 Central Street Site Plan

Staff Report

19 July 2017

SITE: 15 Central Street -- Map 182/Lot 50 -- SP# 10-17

ZONING: TR

APPLICANT REPRESENTATIVES: Project Eng's., Patrick Colburn and Tony Basso.

PURPOSE OF PLAN: to depict the proposed improvements associated with renovating the existing building for DeSalvo Contracting, LLC, including access, parking, and stormwater management. Application Acceptance & Hearing.

PLAN UNDER REVIEW ENTITLED: Non-Residential Site Plan Peter DeSalvo Contracting, LLC, 15 Central St., Road, Map 182/Lot 50, Hudson, NH, prepared by Keach-Nordstrom Associates, Inc. dated: March 27, 2017, Last Revised June 13, 2017, consisting of a Cover Sheet and Sheets 1 – 10 and Notes 1 – 36 (said plans are attached hereto).

ATTACHMENTS:

1. Project Narrative and Site Plan application, date stamped 26 May 2017– “A”.
2. CLD Second Comments Report, dated 5 July 2017 -“B”.
3. KNA, Project Eng's. Response letter to CLD's Initial Comments Report, dated 21 JUN 17 – “C”.
4. Comment Reports from the Fire Dept., Town Eng., Road Agent, Kevin Burns, Zoning Admin., Asst. Assessor, and Police Dept. - “D”.
5. CAP Fee – \$1.97 sf new office space X 1,134.45 sf = \$2,234.76 CAP Fee. Note: the remainder of building will be used for warehouse (the previous use) and ancillary space to the proposed office space, all of which are exempt from measurable CAP Fee space, i.e., relative to the previous warehouse use of the existing building.

REQUESTED WAIVERS:

- 1) HTC 276.11.1B(12) (c) – 100 ft. Buffer to Residential Lot
- 2) HTC 275 – 8 (C) (2) - Parking Space Total (see Note 13 of the Master Plan, Sheet 1 of 10).
- 3) HTC 276.11.1B(25) - Travel Way in the Side Yard Setback

OUTSTANDING ISSUES:

- 1) The minor outstanding issues cited in CLD's Second Comments Report “B”, will be addressed by the Applicant's Eng. at the meeting. This project represents a significant rehabilitation to the existing building, which is located, basically to the north and rear of the Community Church of Hudson, off Central St. and directly abutting the Merrimack River. In particular, it represents the strength of the local economy in transforming a longstanding underutilized/unmaintained property into a first-class contractor headquarters building.

Please note, included in attachment "A" is a copy of the ZBA granted use variance for the subject property. This variance was necessary to obtain because this project represents an expansion of a nonconforming use in a TR zone, which prohibits business uses.

- 2) Please note no residential dwellings will be impacted by the proposed exterior lighting. This citation is made, herein, in reference to CLD's reference of said lighting in their report "B", i.e., item 4.g., top of pg. 5 of 9.

- 3) In accordance with CLD's Comments Report, "B", item 5.a., this project is within the Shoreland Protection District of the State of NH, and as such, the Applicant has already applied for a Shoreland Permit with the NHDES, and he has also submitted an application, for review and comment, as required by NHRSA's, with the Lower Merrimack River Local Advisory Committee (LMRLAC); comments by this committee are forwarded to NHDES, relative to this latter body making its determination to granting said Shoreland Permit.

No other issues remain outstanding.

APPLICATION TRACKING:

- 26 MAY 2017 – Site Plan application submitted.
- 19 JUL 2017 – Initial Public Hearing scheduled.

RECOMMENDATION: For this Site Plan application, staff recommends application acceptance for this initial hearing, and if no outstanding issues are brought forth from the meeting, staff has provided below for the board's consideration DRAFT MOTIONS for approval of the application.

DRAFT MOTIONS:

I move to accept the Site Plan application calling for improvements associated with renovating the existing building at 15 Central St., Map 182/Lot 50.

Motion by: _____ Second: _____ Carried/Failed: _____.

I move to defer further review of Site Plan application calling for improvements associated with renovating the existing building at 15 Central St., Map 182/Lot 50, date specific, to the 20 SEPT 2017 meeting.

Motion by: _____ Second: _____ Carried/Failed: _____.

REQUESTED WAIVERS:

- 1) HTC 276.11.1B(12) (c) – 100 ft. Buffer to Residential Lot

I move to grant the requested waiver - HTC 276.11.1B(12) (c) – 100 ft. Buffer to Residential Lot - based on the testimony of the Applicant's representative here this evening, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: _____ Second: _____ Carried/Failed: _____.

2) HTC 275 – 8 (C)(2) - Parking Space Total (see Note 13 of the Master Plan, Sheet 1 of 10).

I move to grant the requested waiver - HTC 275 – 8 (C)(2) - Parking Space Total - based on the testimony of the Applicant’s representative here this evening, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

3) HTC 276.11.1B(25) - Travel Way in the Side Yard Setback

I move to grant the requested waiver - HTC 276.11.1B(25) - Travel Way in the Side Yard Setback - based on the testimony of the Applicant’s representative here this evening, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: _____ Second: _____ Carried/Failed: _____.

MOTION to APPROVE:

I move to approve the Site Plan entitled: Non-Residential Site Plan Peter DeSalvo Contracting, LLC, 15 Central St., Road, Map 182/Lot 50, Hudson, NH, prepared by Keach-Nordstrom Associates, Inc. dated: March 27, 2017, Last Revised June 13, 2017, consisting of a Cover Sheet and Sheets 1 – 10 and Notes 1 – 36, in accordance with the following terms and conditions:

- 1) All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Amended Site Plan-of-Record.
- 2) Prior to the Planning Board endorsement of the Site Plan, the Development Agreement and all easement documents shall be favorably reviewed and recommended on by Town Counsel.
- 3) All improvements shown on the Amended Site Plan-of-Record, including Notes 1-36, shall be completed in their entirety and at the expense of the Applicant or his assigns.
- 4) Prior to the issuance of a final certificate of occupancy for the rehabilitation of the existing building and parking area, a L.L.S. certified “As-Built” Site Plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms with the Site Plan-of-Record.
- 5) Exterior construction activities on the site shall be limited to between 7:00 A.M. and 7:00 P.M. Monday through Saturday. No exterior construction activities shall occur on Sunday.
- 6) This approval shall be subject to final engineering review, including approval of the SWPPP.

Motion by: _____ Second: _____ Carried/Failed: _____.



KEACH-NORDSTROM ASSOCIATES, INC.

A



Project Narrative

Peter DeSalvo Contracting, LLC

15 Central Street
Hudson, New Hampshire

Peter DeSalvo Contracting, LLC is a Hudson, NH based firm specializing in commercial and residential exterior construction. Recently, Peter DeSalvo purchased the property at 15 Central Street and endeavors to move his company headquarters to that location.

The subject property is situated in the Town of Hudson's TR-Town Residence Zoning District. The applicant previously requested and received a variance from the Hudson Zoning Board of Adjustment to allow the commercial uses in the residential zone. The existing building onsite historically served as a warehouse. Access to the property is off Central Street, and is shared with the adjacent commercial uses on Lots 4 and 51. The subject property is irregular in shape. A dogleg south of the existing building is undeveloped and wooded. The land slopes off Central Street toward the Merrimack River, which bounds the property to the west. The existing shared driveway is very steep. The building is served by at grade access to the basement and first floor levels. To the west of the building, an existing Town of Hudson sewer main cuts across the property within a 30-foot wide sewer easement. Also to the west of the building, between the building and the river, is a small gravel parking area. Looking at Google Earth imagery, this area has been utilized over the years for overflow parking supporting the adjacent automotive repair facility.

The civil/site components of the renovation project are limited primarily to construction of 14 parking spaces south of the existing building and connection of municipal sewer and water to the existing building. Historically, the existing three-story building onsite was used as a warehouse and therefore has never been connected to municipal utilities.

Just outside the 50-foot wetland buffer, the plan proposes installation of a shallow level spreader. This area will collect a portion of the surface water flowing offsite toward the river and will provide preliminary stormwater treatment. In addition, excavation of the level spreader ensures that no filling in the 100-year flood zone occurs as a result of this project. The only work proposed in this area is paving a small driveway and construction of the level spreader.

In the undeveloped portion of the site, the plans propose construction of 14 new parking spaces to serve the proposed use. The applicant's construction firm owns several company vehicles and two enclosed trailers, which will be parked in these spaces when they are not on specific job sites. In addition, the applicant employs three full time office personnel who will utilize these spaces. The parking lot is curbed, with a paved sluice way in the south west corner. Surface water is discharged off the pavement into a sediment forebay, which overflows into a shallow bio-retention area. The bio-retention pond filters the stormwater and infiltrates back to the ground water. Overflow spills over a stone berm and sheet flows over the Town land at pre-development peak rates.

Civil Engineering

Land Surveying

Landscape Architecture

**PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE**

*up
A Cont.*

Date of Application: May 26, 2017 Tax Map # 182 Lot # 50

Name of Project: Peter DeSalvo Contracting, LLC

Zoning District: _____ General SP# 10-17
(For Town Use) (For Town Use)

ZBA Action: Case 182-050 - Variance granted on 12/8/16



PROPERTY OWNER:

DEVELOPER:

Name: 15 Central Street, LLC (Same as Owner)

Address: 43 Lowell Road

Address: Hudson, NH 03051

Telephone # (603) 521-7992

Fax # _____

Email: _____

PROJECT ENGINEER

SURVEYOR

Name: Brenton Cole, PE - KNA Michael Dahlberg, LLS - KNA

Address: 10 Commerce Park No., Suite 3 10 Commerce Park No., Suite 3

Address: Bedford, NH 03110 Bedford, NH 03110

Telephone # (603) 627-2881 (603) 627-2881

Fax # (603) 627-2915 (603) 627-2915

Email: bcole@keachnordstrom.com mdahlberg@keachnordstrom.com

PURPOSE OF PLAN:

The purpose of the plan is to depict the proposed improvements associated with renovating the existing building for DeSalvo Contracting, LLC, including access, parking, and stormwater management.

<i>For Town Use</i>	
Plan Routing Date: <u>5-31-17</u>	Sub/Site Date: <u>7-19-17</u>
<input type="checkbox"/> I have no comments <input type="checkbox"/> I have comments (attach to form)	
(Initials) _____	Title: _____ Date: _____
DEPT:	
<input type="checkbox"/> Zoning <input type="checkbox"/> Engineering <input type="checkbox"/> Assessor <input type="checkbox"/> Police <input type="checkbox"/> Fire <input type="checkbox"/> Planning <input type="checkbox"/> Consultant <input type="checkbox"/> Highway Department	
Fees Paid: <u>\$2,128.76</u>	

SITE DATA SHEET

PLAN NAME: Peter DeSalvo Contracting, LLC

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 182 LOT 50

DATE: 5/25/2017

Location by Street: 15 Central Street

Zoning: Town Residence (TR)

Proposed Land Use: Contractor's Business (Manufacturing, Office, and Storage)

Existing Use: Commercial

Surrounding Land Use(s): Commercial, Multi-Family Residential, and Church

Number of Lots Occupied: One

Existing Area Covered by Building: 2,087 SF

Existing Buildings to be removed: None

Proposed Area Covered by Building: 2,087 SF

Open Space Proposed: 51%

Open Space Required: 35%

Total Area: S.F.: 27,007 Acres: 0.619

Area in Wetland: 1,003 SF Area Steep Slopes: 4,477 SF

Required Lot Size: 10,000 SF

Existing Frontage: 10.26 FT (Existing)

Required Frontage: 90 FT

Building Setbacks:	Required*	Proposed (Existing)
Front:	<u>30 FT</u>	<u>131.75 FT</u>
Side:	<u>15 FT</u>	<u>2.47 FT</u>
Rear:	<u>15 FT</u>	<u>127.13 FT</u>

**SITE PLAN DATA SHEET
(Continued)**

Flood Zone Reference: FIRM Map 33011C0514E, Panel #514 of 70L, 4/18/2011

Width of Driveways: 10.26 FT

Number of Curb Cuts: One









Proposed Parking Spaces: 14 Spaces (including 1 handicap)

Required Parking Spaces: 18 Spaces

Basis of Required Parking (Use): Office: 1 Space/300 SF, Warehouse: 1 Space/1,000 SF, and Industrial: 1 Space/600 SF

Dates/Case #/Description/Stipulations of ZBA, Conservation Commission, NH Wetlands Board Actions: Case 182-050 - Variance granted on 12/8/16
 (Attach stipulations on separate sheet) Article VIII Section 334-30 - Changes to or discontinuance of non-conforming uses

Hudson Town Code

<u>Waivers Requested:</u>	<u>Reference</u>	<u>Regulation Description</u>
	1. <u>276-11.1(B)(25)</u>	<u>Paved travel way within setback</u>
	2. <u>276.11.1(B)(12)(c)</u>	<u>Residential use/district buffer</u>
	3. <u>275-8C(2)</u>	<u>Number of spaces required</u>
	4. _____	_____
	5. _____	_____
	6. _____	_____
	7. _____	_____
	8. _____	_____

(Left column for Town Use)

Impact Fees:
 C.A.P Fee: TBD

Development Agreement
 Proposed: Yes

<i>For Town Use</i>	
Data Sheet Checked By: _____	Date: _____

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Thirty (30) days prior to Planning Board Meeting, a complete site plan to include all supporting materials/documents must be submitted in final form. The site plan shall comply with the following specifications/requirements:

Applicant Initials		Staff Initials
<u>BJC</u>	a) Submission of nine (9) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M., Tuesday the week prior to the scheduled public hearing/conceptual review date.	_____
<u>BJC</u>	b) A Site Plan narrative, describing the purpose, locations, long-range plans, impacts on traffic, schools, and utilities	_____
<u>BJC</u>	c) Plan scale at not less the one inch equals fifty feet (1" = 50')	_____
<u>BJC</u>	d) Locus plan with 1,000' minimum radius of site to surrounding area	_____
<u>BJC</u>	e) Plan date by day/month/year	_____
<u>BJC</u>	f) Revision block inscribed on the plan	_____
<u>BJC</u>	g) Planning Board approval block inscribed on the plan	_____
<u>BJC</u>	h) Title of project inscribed on the plan	_____
<u>BJC</u>	i) Names and addresses of property owners and their signatures inscribed on the plan	_____
<u>BJC</u>	j) North point inscribed on the plan	_____
<u>BJC</u>	k) Property lines: exact locations and dimensions	_____
<u>BJC</u>	l) Square feet and acreage of site	_____
<u>BJC</u>	m) Square feet of each building (existing and proposed)	_____
<u>BJC</u>	n) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan.	_____

Applicant
Initials

Staff
Initials

- | | | |
|----------------|--|-------|
| <u>BJC</u> o) | Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve areas, floodways/floodplains, driveways, travel areas, parking areas and natural features within 200 feet of the tract | _____ |
| <u>BJC</u> p) | Locations of existing and proposed permanent monuments and bench marks within 200 feet of the development tract | _____ |
| <u>N/A</u> q) | Pertinent highway projects | _____ |
| <u>BJC</u> r) | Assessor's Map and Lot number(s) | _____ |
| <u>BJC</u> s) | Waiver application form shall be submitted with the site plan application, note on plan listing waivers requested/granted; and all waivers granted to the site plan regulations shall be listed on the final plan; waivers to checklist shall be reduced to writing and be signed by the Planning Board Chairman and Planning Board Secretary and recorded with the plan | _____ |
| <u>BJC</u> t) | Delineate zoning district on the plan | _____ |
| <u>BJC</u> u) | Storm water drainage plan | _____ |
| <u>BJC</u> v) | Topographical elevations at 2-foot intervals contours: existing and proposed | _____ |
| <u>BJC</u> w) | Utilities: existing and proposed | _____ |
| <u>BJC</u> x) | Parking: existing and proposed | _____ |
| <u>BJC</u> y) | Parking space: length and width | _____ |
| <u>BJC</u> z) | Aisle width/maneuvering space | _____ |
| <u>BJC</u> aa) | Landscaping: existing and proposed | _____ |
| <u>BJC</u> ab) | Building and wetland setback lines | _____ |
| <u>BJC</u> ac) | Curb cuts | _____ |
| <u>BJC</u> ad) | Rights of way: existing and proposed | _____ |
| <u>BJC</u> ae) | Sidewalks: existing and proposed | _____ |
| <u>BJC</u> af) | Exterior lighting plan | _____ |
| <u>BJC</u> ag) | Sign locations: size and design | _____ |
| <u>BJC</u> ah) | Water mains and sewerage lines | _____ |
| <u>BJC</u> ai) | Location of dumpsters on concrete pads | _____ |
| <u>BJC</u> aj) | All notes from plats | _____ |

Applicant Initials		Staff Initials
<u>W</u>	ak) Buffer as required by site plan regulations	_____
<u>BJC</u>	al) Green and open space requirements met with both types of spaces inscribed on the plan	_____
<u>BJC</u>	am) Soil types and boundaries, Note: If site contains marginal or questionable soils, a High Intensity Soil, Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire Certified Soil Scientist, who shall affix his/her stamp and signature shall be inscribed on the plan.	_____
<u>BJC</u>	an) Wetlands (and poorly-drained and very poorly-drained soils, also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire certified wetland or soil scientist, who shall affix his/her stamp and signature to the respective plan.	_____
<u>BJC</u>	ao) "Valid for one year after approval" statement inscribed on the plan.	_____
<u>BJC</u>	ap) Loading bays/docks	_____
<u>BJC</u>	aq) State of New Hampshire engineer's stamp, signature, surveyor's stamp, and signature	_____
<u>BJC</u>	ar) Error of closure (1 in 10,000 or better)	_____
<u>BJC</u>	as) Drafting errors/omissions	_____
<u>BJC</u>	at) Developer names, addresses, telephone numbers and signatures	_____
<u>BJC</u>	au) Photographs, electronic/digital display or video of site and area	_____
<u>BJC</u>	av) Attach one (1) copy of the building elevations	_____
<u>N/A</u>	aw) Fiscal impact study	_____
<u>N/A</u>	ax) Traffic study	_____
<u>N/A</u>	ay) Noise study	_____

Applicant
Initials

Staff
Initials

BJC az) Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents _____

BJC ba) Copy of applicable Town, State, Federal approval/permits to include but not limited to the following: _____

- industrial discharge application
- sewer application
- flood plain permit
- wetlands special exception
- variance
- erosion control permit (149:8a)
- septic construction approval
- dredge and fill permit
- curb cut permit
- shore-land protection certification in accordance with RSA483-B
- if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.

BJC bb) Presentation plan (colored, with color-coded bar chart) _____

BJC bc) Fees paid to clerk _____

BJC bd) Five (5) 22" x 34" copies of the plan shall be brought to the Planning Board meeting and distributed to the Planning Board members at the meeting. Note: for all subsequent meetings involving revised plans, five 22" x 34" copies of said plan shall be brought to the meeting for distribution to the board members. _____

*Under the purview of the Planning Board, any and all items may be waived.

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Site Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Site Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: _____

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: _____

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

APPLICATION IS DUE AT NOON 21 days prior to the Planning Board Meeting. (The date the Agenda is CLOSED.) Any applications received after that time will be deferred until the next available meeting.

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: PETER DESALVO CONTRACTING, LLC

Street Address: 15 CENTRAL STREET, HUDSON, NH

I PETER DESALVO hereby request that the Planning Board waive the requirements of item 276.11.1B(25) of the Subdivision/Site Plan Checklist in reference to a plan presented by KEACH-NORDSTROM ASSOC. (name of surveyor and engineer) dated MARCH 29, 2017 for property tax map(s) 182 and lot(s) 50 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

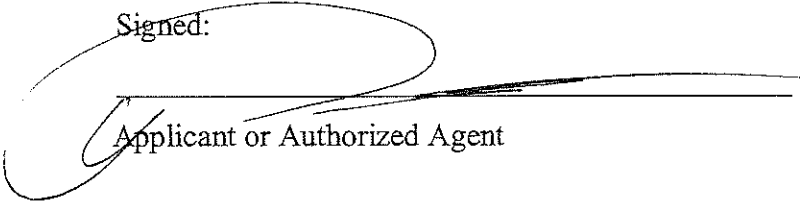
Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

This particular piece of property is unique in shape. A shared driveway off Central Street serves the building on Lot 50 as well as the commercial uses on Lots 4 and 51 to the north. This existing drive splits the property boundary between these lots and provides the only access to the undeveloped portion of the lot to the south of the existing building. The distance between the building and the side yard setback is just 21-feet making it impossible to access this land without a waiver to allow the drive aisle within the side-yard setback. Otherwise, the proposed parking area complies with the regulations.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

Granting the waiver will not be contrary to the spirit and intent of the regulations because the parking lot is proposed within the buildable limits of the property and only a very small portion of the access drive serving that lot encroaches on the side yard. The adjacent use nearest the encroachment is not residential.

Signed:


Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: PETER DESALVO CONTRACTING, LLC

Street Address: 15 CENTRAL STREET, HUDSON, NH

I PETER DESALVO hereby request that the Planning Board waive the requirements of item 276.11.1B(12)-c of the Subdivision/Site Plan Checklist in reference to a plan presented by KEACH-NORDSTROM ASSOC. (name of surveyor and engineer) dated MARCH 29, 2017 for property tax map(s) 182 and lot(s) 50 in the Town of Hudson, NH.

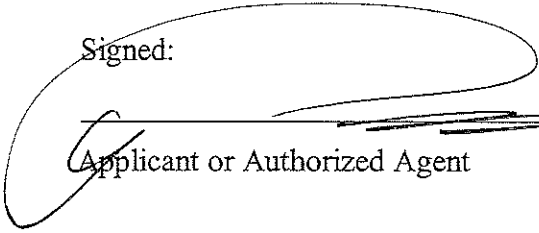
As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The commercial use of the subject property pre-dates the applicable section of the regulations requiring a 100-foot buffer between residential and commercial properties. The property is zoned Town Residence, but is surrounded by commercial, multi-family residential, and institutional properties. Most importantly, the existing commercial building on site has no associated onsite parking to go with it. Not granting the waiver to allow development within 100-feet of the residential use renders the existing building useless, thus creating the hardship.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

The purpose of this regulation is to provide adequate separation between dissimilar uses in order to prevent future conflicts due to excessive noise and other nuisances. In this particular instance, the ZBA has already determined that the proposed use is a reasonable one and therefore granting the requested waiver is not contrary to the spirit and intent of the regulations.

Signed: 
Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: PETER DESALVO CONTRACTING, LLC

Street Address: 15 CENTRAL STREET, HUDSON, NH

I PETER DESALVO hereby request that the Planning Board waive the requirements of item 275-8C(2) of the Subdivision/Site Plan Checklist in reference to a plan presented by KEACH-NORDSTROM ASSOC. (name of surveyor and engineer) dated MARCH 29, 2017 for property tax map(s) 182 and lot(s) 50 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

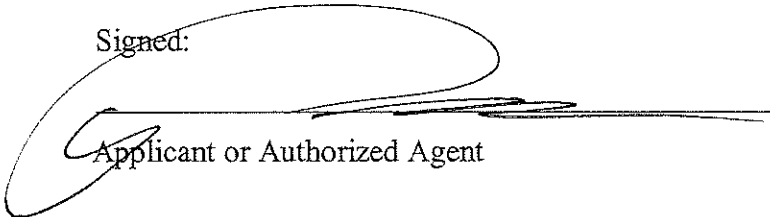
Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The existing site was developed with a three story commercial building prior to the Town's adoption of parking requirements. The applicant desires to renovate the existing building to serve as the headquarters for his construction business. The basement level will be used for tool storage and the second level as a sheet metal shop. The upper stories are offices. The uses within the building require 18 parking spaces per code, but after fully vetting available options, the design engineers are only able to accommodate 14 spaces on this small site. The basement and first floor uses require 6 spaces alone by code, even though these uses do not add to the parking demand of the construction operation, which is very limited.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

This project proposes to make good use of an abandoned structure in the Town of Hudson. The applicant has expressed that 14 parking spaces are more than enough to accommodate the needs of the business. The tool storage in the basement and sheet metal shop on the first floor do not warrant additional parking. The office uses in the upper stories are deceiving because in the entire third floor there are only two office spaces proposed, one of which is the executive office for the company president which is very large. Therefore, granting the waiver is not contrary to the spirit of the ordinance which is to ensure that adequate parking is provided for proposed uses.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

FOOTNOTES:

1. In the event of the denial of a plan, the recording fees collected will not be reimbursed, but will instead be used as an additional fee to help defray administrative costs associated with a denial.
2. The "Review Fees" are fees estimated necessary to offset costs incurred to review and/or compile plans, data, or other information relative to the proposal.
3. The "Amount Due" does not include fees for studies or reviews as authorized in Section G-2 of this regulation.
4. Fees must be paid in full prior to the commencement of any formal review by the Town of Hudson.

STATUS:

DATE:

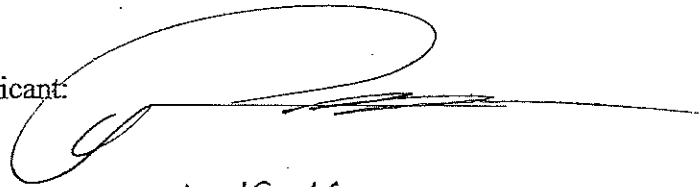
_____ 1.	Application incomplete	_____
✓ 2.	Application complete. Include any applicable requested waivers, fees paid, routing sheet returned	_____ <i>20 MAY 17</i> _____
_____ 3.	Application formally accepted or denied by Planning Board (90-day review clock by RSA 674:43 to start upon acceptance granted)	_____
_____ 4.	Final approval granted or denied	_____
_____ 5.	Comments:	

Owner Affidavit

I, Peter DeSalvo, owner of Peter DeSalvo Contracting, LLC, 43 Lowell Road, Unit 202-12, Hudson, New Hampshire, hereby verify that we have authorized Keach-Nordstrom Associates, Inc. to submit on our behalf, any and all applicable State and local permit applications as they pertain to improvements on said property required by or otherwise associated with relocation of Peter DeSalvo Contracting, LLC.

Additionally, we authorize Keach-Nordstrom Associates, Inc. to aid in the representation of these applications throughout the approval process.

Signature of Applicant:

A handwritten signature in black ink, appearing to be 'Peter DeSalvo', written over a horizontal line. The signature is stylized with a large loop at the end.

Date:

11-18-16

Photo No. 1: Looking east toward the location of the proposed parking lot.



Photo No. 2: Looking south toward the existing ramp (to be razed), and the location of the proposed parking lot.



Civil Engineering

Land Surveying

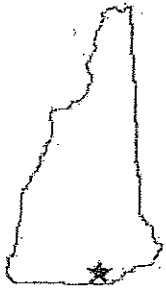
Landscape Architecture

Photo No. 3: Looking east at the existing building to be remodeled (footprint to remain the same), and the existing gravel area to be removed and re-vegetated.



Photo No. 4: Looking west at the existing building to be remodeled (footprint to remain the same), and the existing driveway to be regraded/repaved.





TOWN OF HUDSON

FIRE DEPARTMENT

INSPECTIONAL SERVICES DIVISION



12 SCHOOL STREET, HUDSON, NEW HAMPSHIRE 03051

Emergency 911
Business 603-886-6005
Fax 603-594-1142

Robert M. Buxton
Chief of Department

Zoning Determination

September 28, 2016

#16-112

Peter DeSalvo Sr
Unit 202-12
43 Lowell Road
Hudson, NH 03051

Re: 15 Central Street 182/050-000
District: Town Residential - (TR)

Dear Mr. DeSalvo Sr,

Your request for zoning review and determinations: A) Can you have office and storage on 2nd & 3rd Floor. B) and storage on 1st and in basement. C) and various building renovations, has been completed.

Zoning Review / Determination: Our records indicate this property has a non-conforming use (warehouse) and structure (setbacks). Please refer to the attached Table of Permitted Principle Uses 334 Attachment 1 for allowed uses in the TR district. You can use the space as a warehouse to maintain the "existing non-conforming use" only. The current use category is (E8) warehouse in the Table of Permitted Principle Uses 334 Attachment 1.

A) Can you have office and storage on 2nd & 3rd Floors?: A variance from the Zoning Board of Adjustment would be needed, as the office and expanded storage is an expansion and a change of use from the existing non-conforming use per §334-29 Extension or enlargement of nonconforming uses. "A nonconforming use shall not be extended or enlarged, except by variance", and §334-30 Changes to or discontinuance of nonconforming uses. "A nonconforming use may not be changed to another nonconforming use. If an existing nonconforming use is discontinued, lapses or is abandoned for continuous period of 12 months, any subsequent use of such land or building(s) shall conform to the terms of this chapter."

B) Can you have storage on 1st floor and in basement?

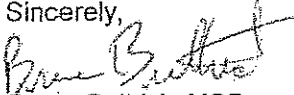
A variance from the Zoning Board of Adjustment would be needed, as the office and expanded storage is an expansion and a change of use from the existing non-conforming use per §334-29 Extension or enlargement of nonconforming uses. "A nonconforming use shall not be extended or enlarged, except by variance", and §334-30 Changes to or discontinuance of nonconforming uses. "A nonconforming use may not be changed to another nonconforming use. If an existing nonconforming use is discontinued, lapses or is abandoned for continuous period of 12 months, any subsequent use of such land or building(s) shall conform to the terms of this chapter."

C) Various building renovations would need appropriate permits and inspections, any expansion of the building footprint would require a variance from the Zoning Board of Adjustment for setback compliance per §334-31A Alteration and expansion of nonconforming structures. "A nonconforming structure may not be altered or expanded, except by variance."

A site plan review by the Planning Board would also be required, if the variances should be granted.

NOTE: this determination may be appealed to the Hudson Zoning Board of Adjustment within 30 days of the receipt of this letter.

Sincerely,



Bruce Buttrick, MCP

Zoning Administrator/Code Enforcement Officer

(603) 816-1275

bbuttrick@hudsonnh.gov

encl: Table of Permitted Principle Uses 334 Attachment 1 & Article VIII
cc: Zoning Board of Adjustment
J.Michaud, Town Assessor
J.Cashell, Town Planner
Chief Buxton
Deputy O'Brien
File

Hudson Town Hall
Hudson Zoning Board
12 School Street
Hudson, NH 03051

A43

FEES:	<i>1447</i>
SURCHARGE:	<i>2-</i>
CASH:	<i>—</i>

Town of Hudson

Zoning Board of Adjustment

Decision to Grant a Variance

On **12/8/16**, the members of the Hudson Zoning Board of Adjustment, as part of its regular public meeting for that date, heard **Case# 182-050**, pertaining to a request by **Peter DeSalvo, 43 Lowell Road Unit 202-12, Hudson, NH** for a Variance to retrofit the existing commercial warehouse located at **15 Central Street, Hudson, NH** to serve as the new headquarters for **Peter DeSalvo Contracting, LLC**. [Map 182, Lot 050, Zoned TR; HZO Article VIII §334-30, Changes to or discontinuance of nonconforming uses.]

Following review of the testimony and deliberation, a majority of the members of this Zoning Board voted that the variance should be granted.

For details of specific discussion relative to this decision, please consult the public minutes recorded during this hearing.

All representations of fact or intention made by the applicant or any applicant's representative(s) during testimony before the Zoning Board of Adjustment relative to the obtaining of this Variance permit shall be considered conditions of the Variance, regardless of the fact that such facts or intentions may not have been specifically stated as stipulations of the motion to grant.

In the event that the requested use subsequently is found by the Hudson Zoning Administrator to demonstrate deliberate or preventable lack of compliance with any applicable stipulation or restriction, including the verbally specified restrictions described in the preceding paragraph, such use shall be held to be in violation of the covenant made with the Board, and corrective action(s) will be enforced under N.H. R.S.A. 676:17, Fines and Penalties, which allows a civil penalty of \$275 for the first offense and \$550 for subsequent offenses for each day that such violation is found to continue, as well as recovery of costs and reasonable attorney's fees.

Signed: Maryellen Davis
Maryellen Davis
Chairman, Hudson Zoning Board of Adjustment

Date: 16-DEC-16

Signed: Bruce Buttrick
Bruce Buttrick
Zoning Administrator

Date: 12-15-16

TES Environmental Consultants, LLC

March 23, 2017

Ref: TES JN 17-0035

Mr. Brenton Cole, P.E.
Keach-Nordstrom Associates, Inc.
10 Commerce Park North, Suite 3
Bedford, New Hampshire 03110

Re: Environmental Services (Wetland Identification)
Tax Map 182, Lot 50; 15 Central Street, Hudson, New Hampshire

Dear Mr. Cole:

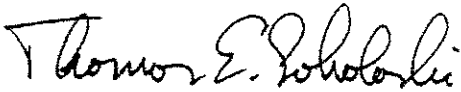
TES Environmental Consultants, L.L.C. (TES) has completed the site investigation that you requested on the above-referenced parcel in Hudson, New Hampshire. This investigation was completed on March 23, 2017, and consisted of an on-site review to determine if wetlands subject to local, state and/or federal jurisdiction were present on the property.

The wetland identification was performed according to the methodology presented in the Corps of Engineers Wetland Delineation Manual (Technical Report Y-87-1), January 1987 and the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, Version 2.0, January 2012, US Army Corps of Engineers. This methodology requires the presence of indicators for the three parameters: hydric soils, hydrophytic vegetation and evidence of hydrology at or near the surface for 14 days during the growing season.

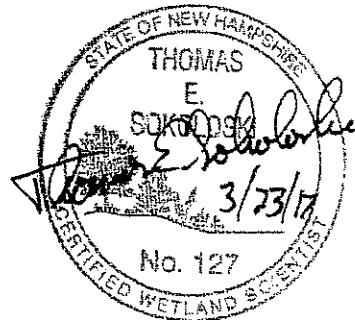
I am pleased to report that the sole wetland resource on the property consists of the Merrimack River and its bank, which appears to be accurately depicted on the site plan as "High Water Mark (Reference Line)." I understand that NH DES staff provided guidance to you in the identification of the Reference Line for purposes of determining the extent of jurisdictional area on the property pertaining to the New Hampshire Shoreland Water Quality Protection Act.

I hope that this information will be beneficial in the future re-development of this parcel. If I can be of further assistance in this process, please let me know.

Sincerely,



Thomas E. Sokoloski
New Hampshire Certified Wetland Scientist #127



APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE

Peter DeSalvo Contracting Site Plan, 15 Central Street, New Hampshire
Town of Hudson
CLD Reference No. 03-0249.162H
Reviewed June 12, 2017

Thirty (30) days prior to Planning Board Meeting, a complete site plan to include all supporting materials/documents must be submitted in final form. The site plan shall comply with the following specifications/requirements.



Applicant Initials	Staff Initials	
_____ a)	<u>JC</u>	a) Submission of nine (9) full sets of Site Plans (sheet size: 22" x 34") at the time of application filing, followed by the submission of seventeen (17) 11" x 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 AM Tuesday the week prior to the scheduled public hearing/conceptual review date.
_____ b)	<u>JC</u>	b) One set received by CLD.
_____ c)	<u>CLD/SWR</u>	c) A Site Plan narrative, describing the purpose, locations, long range plans, impacts on traffic, schools and utilities.
_____ d)	<u>CLD/SWR</u>	d) Plan scale at not less the one inch equals fifty feet (1" = 50')
_____ e)	<u>JC</u>	e) Locus plan with 1,000' minimum radius of site to surrounding area
_____ f)	<u>CLD/SWR</u>	f) Plan date by day/month/year
_____ g)	<u>CLD/SWR</u>	g) Revision block inscribed on the plan
_____ h)	<u>CLD/SWR</u>	h) Planning Board approval block inscribed on the plan
_____ i)	<u>CLD/SWR</u>	i) Title of project inscribed on the plan
_____ j)	<u>CLD/SWR</u>	j) Names and addresses of property owners and their signatures inscribed on the plan
_____ k)	<u>CLD/SWR</u>	k) North point inscribed on the plan
_____ l)	<u>CLD/SWR</u>	l) Property lines: exact locations and dimensions
_____ m)	<u>CLD/SWR</u>	m) Square feet and acreage of site
_____ n)	<u>JC</u>	n) Square feet of each building (existing & proposed)
		n) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan. Unable to verify 5-day update criteria.

JC: shown in revised plans dated thru 6-13-17.

Applicant
Initials

- _____ o) Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve areas, floodways/floodplains, driveways, travel areas, parking areas and natural features within 200 feet of the tract
- _____ p) Locations of existing and proposed permanent monuments and benchmarks within 200 feet of the development tract
- _____ q) Pertinent highway projects
- _____ r) Assessor's Map and Lot number(s)
- _____ s) Waiver application form shall be submitted with the site plan application, note on plan listing waivers requested/granted; and all waivers granted to the site plan regulations shall be listed on the final plan; waivers to checklist shall be reduced to writing and be signed by the Planning Board Chairman and Planning Board Secretary and recorded with the plan.
- _____ t) Delineate zoning district on the plan
- _____ u) Stormwater drainage plan
- _____ v) Topographical elevations at 2-foot intervals contours: existing and proposed
- _____ w) Utilities: existing and proposed
- _____ x) Parking: existing and proposed
- _____ y) Parking space: length and width
- _____ z) Aisle width/maneuvering space
- _____ aa) Landscaping: existing and proposed
- _____ ab) Building and wetland setback lines
- _____ ac) Curb cuts
- _____ ad) Rights of way: existing and proposed
- _____ ae) Sidewalks: existing and proposed
- _____ af) Exterior lighting plan
- _____ ag) Sign locations: size and design
- _____ ah) Water mains and sewerage lines
- _____ ai) Location of dumpsters on concrete pads
- _____ aj) All notes from plats

Staff
Initials

CLD/SWR

CLD/SWR

N/A
CLD/SWR
JC

CLD/SWR

CLD/SWR

CLD/SWR

JC
JC

CLD/SWR

CLD/SWR

JC
CLD/SWR

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CLD/SWR

CLD/SWR

CLD/SWR

JC
CLD/SWR

CLD/SWR

JC
CLD/SWR

CLD/SWR

CLD/SWR

q) None listed.

s) Waivers noted, but waiver request forms not included in package.

w) Not all electrical connections shown.

x) Waiver noted.

aa) Waiver noted for buffer.

af) Not all lighting information provided.

ah) Water/sewer separation closer than 10' within Town right-of-way.

Applicant
Initials

- _____ ak) Buffer as required by site plan regulations
- _____ al) Green and open space requirements met with percentages of both types of spaces inscribed on the plan
- _____ am) Soil types and boundaries, Note: if site contains marginal or questionable soils, a High Intensity Soil Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire certified Soil Scientist, who shall affix his/her stamp and signature shall be inscribed on the plan.
- _____ an) Wetlands (and poorly-drained and very poorly-drained soils), also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire certified Wetland or Soil Scientist, who shall affix his/her stamp and signature to the respective plan.
- _____ ao) "Valid for one year after approval" statement inscribed on the plan
- _____ ap) Loading bays/docks
- _____ aq) State of New Hampshire engineer's stamp, signature, surveyor's stamp, and signature
- _____ ar) Error of closure (1 in 10,000 or better)
- _____ as) Drafting errors/omissions
- _____ at) Developer names, addresses, telephone numbers and signatures
- _____ au) Photographs, electronic/digital display or video of site and area
- _____ av) Attach one (1) copy of the building elevations
- _____ aw) Fiscal impact study
- _____ ax) Traffic study
- _____ ay) Noise study

Staff
Initials

- _____ *DC*
CLD/SWR
- _____ CLD/SWR
- _____ CLD/SWR
- _____ CLD/SWR
- _____ CLD/SWR
- _____ *DC*
CLD/SWR
- _____ CLD/SWR
- _____ CLD/SWR
- _____ *DC*
CLD/SWR
- _____ *DC*
CLD/SWR
- _____ *N/A*
- _____ *N/A*
- _____ *N/A*

- ak) Waiver from buffer Regulation noted.
- _____ EXISTING -
ap) Proposed loading bay dimensions don't meet Regulation.
- _____ as) Not stated.
- _____ au) Not provided.
- _____ av) Not provided. Interior modifications.
- _____ aw) Not provided.
- _____ ax) Not provided.
- _____ ay) Not provided.

Applicant
Initials

- _____ az) Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents
- _____ ba) Copy of applicable Town, State, Federal approval/permits to include but not limited to the following:
 - industrial discharge application
 - sewer application
 - flood plain permit
 - wetlands special exception
 - variance
 - erosion control permit (149:8a)
 - septic construction approval
 - dredge and fill permit
 - curb cut permit
 - shoreland protection certification in accordance with RSA483-B
 - if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.
- _____ bb) Presentation plan (colored, with color coded bar chart)
- _____ bc) Fees paid to clerk
- _____ bd) Five (5) 22" x 34" copies of the plan shall be brought to the Planning Board meeting and distributed to the Planning Board members at the meeting. Note: for all subsequent meetings involving revised plans, five 22" x 34" copies of said plan shall be brought to the meeting for distribution to the board members.

Staff
Initials

- _____ az) Copies of existing easements not provided. Construction agreements required for work on adjacent parcels.
- _____ ba) None provided.
- _____ bb) No presentation plan received, requires a Town action.
- _____ bc) Requires Town action.
- _____ bd) Requires Town action.

* Under the purview of the Planning Board any and all items may be waived.



"B"



July 5, 2017

Ms. Brooke Dubowik
Town of Hudson
12 School Street
Hudson, NH 03051

Re: Town of Hudson Planning Board Review
Peter DeSalvo Contracting Site Plan, 15 Central Street
Tax Map 182, Lot 50; Acct. #1350-897
CLD Reference No. 03-0249.1620

Dear Ms. Dubowik:

CLD Consulting Engineers, Inc. (CLD) has reviewed the second submission of the materials received on June 22, 2017, related to the above-referenced project. A list of items reviewed is enclosed. The scope of our review is based on the Site Plan Review Codes, Stormwater Codes, Driveway Review Codes, Sewer Use Ordinance 77, Zoning Regulations, and criteria outlined in the CLD Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007, September 3, 2008, and October 2015.

The project appears to consist of the renovation of a currently developed site with improvements to include the construction of parking spaces south of an existing building, the connection of the existing building to water, minor drainage improvements, other associated site improvements, modification of pedestrian access to the adjacent Community Church parcel, and construction of a new sewer service connection via an adjacent Rodgers parcel.

The following items have outstanding issues:

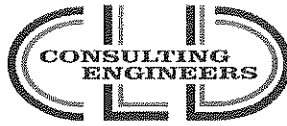
1. Site Plan Review Codes and Administrative Requirements and Definitions

- m. *Former CLD Comment: HR 276-11.1.B.(21) and 290.5.K.(22). The applicant has proposed a snow storage area in the southwest corner of the site that conflicts with a portion of the proposed rain garden.*

Current CLD Comment: The applicant has revised the snow storage area so that it does not conflict with the rain garden, and noted that snow will be pretreated within the sediment forebay prior to entering the rain garden where the melted snow will be treated. The concern remains that salt or other deicing chemicals could impact the plantings within the rain garden if they are not appropriately salt tolerant.

4. Utility Design/Conflicts

- i. *Former CLD Comment: Disturbance of a Rodgers parcel outside of the existing easement is necessary to construct the sewer service. Documentation of an agreement was not included in CLD's review package.*



Current CLD Comment: The applicant has added a note to the plans regarding the common access easement, and has noted that additional easement rights may be required. Please forward copies of any additional easement documentation to the Town for their records.

6. Zoning (ZO 334)

- f. *Former CLD Comment: ZO 334-83 and 218-4.E. The 100 year flood line is shown on the plans and is located through a portion of the existing building. The Finish Floor elevation noted on the plans (112.69) is below the 100 year flood line elevation (113.0). The applicant has proposed work in the flood zone, but not enough detail is provided to determine whether there is a net result of fill in the zone, or whether the proposed grading schematic balanced the cuts and fill (mostly impacted by level spreader).*

Current CLD Comment: The applicant has noted that the work within the flood zone will create 4 yards of cut from the proposed level spreader and that grades for the proposed pavement were designed at the existing grade to prevent any fill situations. The applicant should provide additional detail on how they intend to conform to Regulation 218-4.E regarding the finish floor elevation/100 year flood line elevation.

7. Erosion Control/Wetland Impacts

- b. *Former CLD Comment: HR 290-5.K.(20). The applicant has not included a stabilized construction entrance/exit on the plans nor provided a detail for its installation.*

Current CLD Comment: The applicant has noted that the entrance to the site is paved and therefore does not require a stabilized construction entrance/exit. However, since the paved entrance to the site within the subject lot is to be removed and replaced, the applicant should provide some means of preventing the tracking of materials onto Central Street until such time as the new pavement is in place.

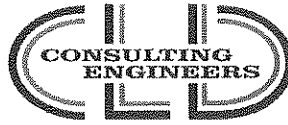
The following items require Town evaluation, input or follow-up:

1. Site Plan Review Codes and Administrative Requirements and Definitions

- a. *Former/Current CLD Comment: HR 275-8.C.(2). The applicant has provided parking calculations for the subject site and noted that a waiver is required for the number of parking spaces provided. A copy of the proposed waiver was not included in CLD's review package.*
- c. *HR 275-8.C.(8). The applicant has not proposed any screening of the loading areas and adjacent properties.*

Current CLD Comment: The applicant has noted that the loading spaces would not be considered incompatible with the adjacent uses of an auto repair facility and a church, whose operations for the most part will not coincide with deliveries to the loading area.

- d. *HR 275-9.B. The applicant has not provided a Traffic Study.*
- e. *HR 275-9.C. The applicant has not provided a Noise Study.*
- f. *HR 275-9.D. The applicant has not provided a Fiscal Impact Study.*



- g. *Former CLD Comment: HR 275-9.F. and 276-11.1.B.(20). The applicant has noted several existing easements on the plan set. Construction easements or agreements will also be necessary. Copies of these easements were not included in the package received by CLD for review.*

Current CLD Comment: The applicant has included the language for the existing Common Access Easement, and noted that it is vague and have suggested that coordination occur with the adjacent property owner to have the easement language rewritten and formalized in everyone's best interest. Any other existing or new easement documentation should be forwarded to the Town for their information and records.

- h. *HR 275-9.I. The applicant has not provided an Environmental Impact Study.*
- i. *Former/Current CLD Comment: HR 276-3. and 276-11.1.A. The applicant did not include a copy of their application in the package received by CLD for review.*
- j. *Former CLD Comment: HR 276-11.1.B.(12). The existing building is located within the side yard setback.*

Current CLD Comment: The applicant acknowledged this existing condition.

- k. *Former/Current CLD Comment: HR 276-11.1.B.(12).(c). The applicant has noted that a waiver is required for the inability to provide a 100 foot buffer to a residential lot. A copy of the proposed waiver was not included in CLD's review package.*
- o. *HR 276-11.1.B.(25). The applicant has noted that a waiver is required for locating a travelway within a setback. A copy of the proposed waiver was not included in CLD's review package.*

2. Driveway Review Codes (HR 275-8.B. (34)/Chapter 193)

- a. *Former CLD Comment: HR 193.10.E. The applicant has not shown sight distances for the existing driveway on the plan set.*

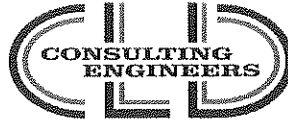
Current CLD Comment: The applicant has noted that the location of the existing driveway will not be altered; therefore, sight distances will not be provided. It is noted that the proposed use of this facility may include slow moving construction vehicles accessing and egressing from this site. If limited sight distances exist then oncoming traffic may be impacted by these vehicles.

4. Utility Design/Conflicts

- f. *Former CLD Comment: HR 275-9.E. and 276-13. The applicant has not shown any connection details for the proposed site lighting.*

Current CLD Comment: The applicant has noted that they do not typically show proposed conduit for pole mounted lights and that locations and details will be provided as part of the electrical permit process.

- g. *Former CLD Comment: The applicant has noted that a sheet metal shop is proposed for the first floor of the building. The applicant should provide additional information to the Town related to this proposed use for determining if this will be subject to the Town's Industrial Pretreatment Program for industrial discharges to the Town sewer system.*



Current CLD Comment: The applicant has noted that the proposed site lighting is for security purposes and will, therefore, run during overnight hours. Per the photometric values provided in the proposed lighting plan there is a small amount of light spillover into adjacent residential lots.

9. State and Local Permits (HR 275-9.G.)

- a. *Former CLD Comment: HR 275-9.G. No copies of applicable approvals or permits were provided in CLD's review package.*

Current CLD Comment: The applicant noted that the required permits are pending review and copies will be provided to the Town upon approval.

- b. *Former CLD Comment: The applicant should be prepared to provide detailed information on the sheet metal use for sewer permit evaluation.*

Current CLD Comment: The applicant has noted that the sheet metal shop will be utilized for bending, cutting, and forming rolled sheet metal materials to create siding, gutters, flashing, roofing, etc. The applicant should be prepared to provide the Town with more detailed use information.

- c. *Additional local permitting may be required.*

10. Other

- c. *Former CLD Comment: A detail for the proposed cast in place or precast concrete stairs at the Church was not included in the plan set.*

Current CLD Comment: The applicant has added a note stating that the cast in place or precast concrete stairs will be by others.

- e. *Former CLD Comment: The applicant has noted replacement of the access to the Community Church parcel with stairs. The applicant should confirm that ADA access is not appropriate.*

Current CLD Comment: The applicant has noted that the existing access landing encroaches on the applicant's property and as a courtesy is proposing to construct stairs at the entrance to continue this means of access, noting that the existing access point is not ADA compliant.

The following items are resolved or have no further CLD input:

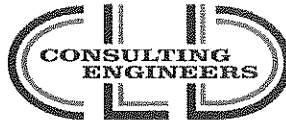
1. Site Plan Review Codes and Administrative Requirements and Definitions

- b. *Former CLD Comment: HR 275-8.C.(6)(b). The applicant has proposed two 25 foot loading spaces that do not meet the minimum length (35 feet) required by the Regulation.*

Current CLD Comment: The applicant has revised the proposed length of the loading spaces to meet the Regulation. No further CLD comment.

1. *Former CLD Comment: HR 276-11.1.B.(20). The applicant has noted the existing building height as '3 story'. An actual height was not provided.*

Current CLD Comment: The applicant has revised a plan note to include the building height. No further CLD comment.



- n. *HR 276-11.1.B.(23). The applicant has not noted any pertinent highway projects on the plan set.*

2. Driveway Review Codes (HR 275-8.B. (34)/Chapter 193)

- b. *Former CLD Comment: HR 193.10.I. The existing and proposed driveways are a shared driveway. The applicant has noted that there is an existing 12' common access easement at this location. A copy of this easement was not included in the package received by CLD for review.*

Current CLD Comment: The applicant included a copy of the existing common access easement with the current submission. No further CLD comment.

3. Traffic

- a. *There are no traffic related comments at this time.*

4. Utility Design/Conflicts

- a. *Former CLD Comment: HR 275-9.E. and 276-13. The applicant has proposed connection of a new water service to the existing water main in Central Street. The water service connection detail shows a 1" pipe where the Utility Plan shows this piping as 2". The applicant should coordinate these details.*

Current CLD Comment: The applicant has revised the water service connection detail. No further CLD comment.

- b. *Former CLD Comment: HR 275-9.E. and 276-13. Details for the pavement repair in Central Street above the water service were not included in the plan set.*

Current CLD Comment: The applicant has added a pavement repair detail. No further CLD comment.

- c. *Former CLD Comment: HR 275-9.E. and 276-13. The applicant has provided a detail showing water and sewer service installations with a minimum horizontal separation of 3 feet, where 10 feet is required. We suggest that the intent to maintain 10 feet of horizontal separation for the proposed piping be shown on the plan view.*

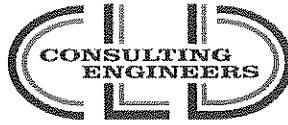
Current CLD Comment: The applicant has removed the detail showing the 3 foot separation, and added a detail showing a minimum 10' horizontal separation. No further CLD comment.

- d. *Former CLD Comment: HR 275-9.E. and 276-13. The applicant has not provided a detail for the proposed water service where it crosses the existing sewer main. Inverts for the adjacent sewer manhole were not shown on the plans.*

Current CLD Comment: The applicant has added a detail showing a minimum of 18" vertical separation between water and sewer lines. No further CLE comment.

- e. *Former CLD Comment: HR 275-9.E and 276-13. The applicant should provide a drop detail for the proposed sewer service where it connects to the existing sewer manhole.*

Current CLD Comment: The applicant has added an internal drop sewer manhole detail. No further CLD comment.



- h. *Former CLD Comment: The applicant has shown the proposed gas service to the building running through one of the proposed loading zones. If the gas meter is installed against the building at this location then measures to protect the meter should be considered.*

Current CLD Comment: The applicant has added a note regarding the installation of bollards to protect the gas meter. No further CLD comment.

5. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- b. *Former CLD Comment: Stormwater Management Regs.290-4.A.(1): There is proposed snow storage within the proximity of the proposed rain garden and forebay. The applicant should relocate the proposed snow storage area, and also consider whether signage can be added to the site indicating to avoid snow storage in proximity of the rain garden to extents practicable, and whether notes describing snow storage areas can be added to the Inspection and Maintenance Manual.*

Current CLD Comment: The applicant has revised the snow storage location to be completely within the sediment forebay. No further CLD comment.

- c. *Former CLD Comment: Stormwater Management Regs.290-4.A.(1): Due to the proximity of the Merrimack River the applicant should consider a salt restriction for winter application to be applied only by a "Green Snow Pro Certified Contractor".*

Current CLD Comment: The applicant has added a note to the plans referencing a salt restriction. No further CLD comment.

- d. *Former CLD Comment: Stormwater Management Regs.290-4.L.(1): The applicant should provide design calculations for the proposed stone berm level spreader to ensure it has adequate capacity for the proposed design.*

Current CLD Comment: The applicant has explained the capacity of the level spreader in relation to standard design practice. No further CLD comment.

- e. *Former CLD Comment: Stormwater Management Regs.290-5.G: The applicant should provide test pit information within the limits of the rain garden proposed.*

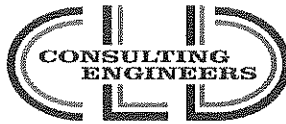
Current CLD Comment: The applicant has stated that test pit #2 is in close proximity to the proposed rain garden and in their opinion the data shown is sufficient. No further CLD comment.

- f. *Former CLD Comment: Stormwater Management Regs.290-5.G: The applicant should provide infiltration rate calculations utilized to support the use of 3.0 inches per hour utilized within the Drainage Report. (Conversion from NRCS data, test pit percolation test data, Ksat tables, etc.)*

Current CLD Comment: The applicant provided supporting information related to the infiltration rate calculations. No further CLD comment.

- g. *Former CLD Comment: Stormwater Management Regs.290-5.L(10)(j): The applicant should illustrate all critical areas upon a submitted plan.*

Current CLD Comment: The applicant has illustrated the critical areas on the plans. No further CLD comment.



- h. *Former CLD Comment: There is both a Rain Garden detail and a Bioretention Pond detail within the plan set. The applicant should clarify the design locations to minimize construction questions.*

Current CLD Comment: The applicant has removed the bioretention pond detail from the plan set. No further CLD comment.

6. Zoning (ZO 334)

- c. *ZO 334-33. The applicant has shown wetlands and associated wetlands buffers on the plan set. No work is proposed within the wetlands buffer area.*
- d. *ZO 334-57. The applicant has not proposed any signs within the project area (other than traffic and handicapped accessible parking signs).*

7. Erosion Control/Wetland Impacts

- a. *Former CLD Comment: HR 290-5.K.(16). The applicant has not indicated the proposed method of stump disposal.*

Current CLD Comment: The applicant has identified a note to the plans regarding stump disposal. No further CLD comment.

- c. *Former CLD Comment: HR 290-5.K.(20). The applicant has shown the installation of siltsoxx across a portion of the western side of the site, with a label and arrow pointing to an area where no siltsoxx are shown. The applicant should review and revise this proposed layout as necessary.*

Current CLD Comment: The applicant has revised the label for this siltsoxx. No further CLD comment.

- d. *The applicant has noted that the Town shall reserve the right to require additional erosion control measures during construction.*

10. Other

- a. *Former CLD Comment: The applicant has included plan note #24 on sheet #1 referencing a variance granted to the S.L. Chasse Steel Facility, which appears to be unrelated to this project.*

Current CLD Comment: The applicant has removed and replaced the referenced note. No further CLD comment.

- b. *Former CLD Comment: A detail for the proposed concrete apron adjacent to the building was not included in the plan set.*

Current CLD Comment: The applicant added concrete walk detail to the plans. No further CLD comment.

- d. *Former CLD Comment: The applicant has shown delineator posts on the west side of the proposed parking lot but has not indicated what their intended use is for.*

Current CLD Comment: The applicant has noted that the delineator posts are intended to draw attention to the top of the slope where grade breaks in the grass, and that given the low volume use the applicant did not feel that guardrail was warranted but still wanted some designation for users of the lot. No further CLD comment.

Ms. Brooke Dubowik
CLD Reference No. 03-0249.1620
July 5, 2017
Page 9 of 9



Please feel free to call if you have any questions.

Very truly yours,

A handwritten signature in blue ink that reads 'Heidi Marshall'.

Heidi J. Marshall, P.E.

A handwritten signature in blue ink that reads 'Paul Konieczka'.

Paul Konieczka, AICP

HJM:PK:mjt

Enclosure

cc: Town of Hudson Engineering Division – File
Keach-Nordstrom Associates, Inc.
10 Commerce Park North, Suite 3B
Bedford, NH 03110
(603) 627-2881



540 Commercial Street Manchester, NH 03101
(603) 668-8223 • Fax: (603) 668-8802
cld@cldengineers.com • www.cldengineers.com
New Hampshire • Vermont • Maine

TO: File

FROM: Steven W. Reichert, P.E. *SWR*

DATE: July 5, 2017

RE: Town of Hudson Planning Board Review
Peter DeSalvo Contracting, LLC Site Plan
Tax Map 182, Lot 50; Acct. #1350-897
CLD Reference No. 03-0249.1620

The following list itemizes the second set of documents reviewed related to the Peter DeSalvo Contracting, LLC Site Plan at 15 Central Street, Hudson, New Hampshire.

- *Letter of Transmittal* from Keach-Nordstrom Associates, Inc. to CLD dated June 22, 2017, and received on June 22, 2017, including the following:
 1. Review Response Letter, prepared by Keach-Nordstrom, dated June 21, 2017.
 2. Copy of *Warranty Deed*, dated March 15, 2017.
 3. Copy of *Title*, dated December 2, 1950.
 3. Copy of *Peter DeSalvo Contracting, LLC Site Plan, Map 182, Lot 50, 15 Central Street, Hudson, New Hampshire* Plan Set, prepared by Keach-Nordstrom Associates, Inc., dated March 27, 2017, revised and dated June 13, 2017, unless otherwise noted, and including the following:
 - a. *Master Plan*, Sheet 1 of 10.
 - b. *Existing Conditions Plan*, Sheet 2 of 10.
 - c. *Removals/Demolition Plan*, Sheet 3 of 10.
 - d. *Non-Residential Site Layout & Landscape Plan*, Sheet 4 of 10.
 - e. *Grading, Drainage & Utility Plan*, Sheet 5 of 10.
 - f. *Erosion Control Plan*, Sheet 6 of 10.
 - g. *Lighting Plan*, Sheet 7 of 10.
 - h. *Construction Details*, Sheets 8 thru 10 of 10.

SWR:mjt

cc: **Brooke Dubowik** – Town of Hudson
Town of Hudson Engineering Division – File



KEACH-NORDSTROM ASSOCIATES, INC.

nc



June 21, 2017

Ms. Brooke Dubowik
Town of Hudson
12 School Street
Hudson, New Hampshire 03051

**Subject: Peter DeSalvo Contracting – Non-Residential Site Plan
Map 182; Lot 50
15 Central Street, Hudson, NH
KNA Project No. 16-0928-2**

Dear Ms. Dubowik:

Our office is in receipt of peer review comments prepared by Heidi J. Marshall, P.E. of CLD Consulting Engineers, Inc., dated June 12, 2017. Attached under this cover please find the following items, which we believe appropriately address the various review comments:

1. Three full size copies of the revised Site Plan set;
2. Seventeen (17) half size copies of the revised Site Plan set; and
3. One (1) CD containing all relevant material in PDF form.

Under each of the comments listed below, we offer a brief explanation of our efforts to address the concern, to ease in your rereview of the same.

CLD Comments

1. Site Plan Review Codes and Administrative Requirements and Definitions

- a. HR 275-8.C.(2). The applicant has provided parking calculations for the subject site and noted that a waiver is required for the number of parking spaces provided. A copy of the proposed waiver was not included in CLD’s review package.

No response required.

- b. HR 275-8.C.(6)(b). The applicant has proposed two 25 foot loading spaces that do not meet the minimum length (35 feet) required by the regulation.

The length of the two loading spaces was increased to 35 feet to meet the regulation requirement.

- c. HR 275-8.C.(8). The applicant has not proposed any screening of the loading areas and adjacent properties.

Screening is required for visual separation of incompatible uses. The loading spaces at the basement level is adjacent to an auto repair facility, which is compatible with

Civil Engineering

Land Surveying

Landscape Architecture

the proposed contractor headquarters. The loading space at the first floor level is adjacent to a church. For the most part, the church operations will not coincide with deliveries at this loading area, and therefore would not be considered incompatible. Therefore, no screening is proposed.

- d. HR 275-9.B. The applicant has not provided a Traffic Study.

No response required.

- e. HR 275-9.C. The applicant has not provided a Noise Study.

No response required.

- f. HR 275-9.C. The applicant has not provided a Fiscal Impact Study.

No response required.

- g. HR 275-9.F. and 276-11.1.B.(20). The applicant has noted several existing easements on the plan set. Construction easements or agreements will also be necessary. Copies of the easements were not included in the package received by CLD for review.

The language for the existing Common Access Easement is included with this resubmittal. The language is vague, so we have suggested that the applicant coordinate with the adjacent property owner to have the easement language rewritten and formalized in everyone's best interest.

- h. HR 275-9.I. The applicant has not provided an Environmental Impact Study.

No response required.

- i. HR 276-3 and 276-11.1.A. The applicant did not include a copy of their application in the package received by CLD for review.

No response required.

- j. HR 276-11.1.B(12). The existing building is located within the side yard setback.

Correct. No response required.

- k. HR 276-11.1.B.(12)(c). The applicant has noted that a waiver is required for the inability to provide a 100 foot buffer to a residential lot. A copy of the proposed waiver was not included in CLDs review package.

No response required.

- l. HR 276-11.1.B(20). The applicant has noted the existing building height as '3 story'. An actual height was not provided.

Note #1 on sheet #1 has been revised to include the actual height of the existing building.

- m. HR 276-11.1.B(21) and 290.5.K(22). The applicant has proposed a snow storage area in the southwest corner of the site that conflicts with a portion of the proposed rain garden.

The snow storage area in question is located solely within the sediment forebay. This will provide pre-treatment prior to entering the rain garden. No storage is accounted for within the drainage model for the sediment forebay. In our opinion, this is a good spot for snow storage, because the melted snow will be treated through the onsite rain garden.

- n. HR 276-11.1.(23). The applicant has not noted any pertinent highway projects on the plan set.

No response required.

- o. HR 276-11.1.B(25). The applicant has noted that a waiver is required for locating a travel way within a setback. A copy of the proposed waiver was not included in CLD's review package.

No response required.

2. Driveway Review Codes (HR 275-8.B(34)/Chapter 193)

- a. HR 193.10.E. The applicant has not shown sight distances for the existing driveway on the plan set.

The location of the existing driveway will not be altered by the proposed project therefore sight distance calculations are not required.

- b. HR 193.10.I. The existing and proposed driveways are a shared driveway. The applicant has noted that there is an existing 12' common access easement at this location. A copy of this easement was not included in the package received by CLD for review.

A copy of the existing common access easement is included in this submittal package.

3. Traffic

- a. There are no traffic related comments at this time.

No response required.

4. Utility Design/Conflicts

- a. HR 275-9.E and 276-13. The applicant has proposed connection of a new water service to the existing water main in Central Street. The water service connection detail shows a 1" pipe where the Utility Plan shows this piping as 2". The applicant should coordinate these details.

The water service connection detail on sheet #10 has been revised to reflect the correct size of 2" for the proposed water service piping.

- b. HR 275-9.E and 276-13. Details for the pavement repair in Central Street above the water service were not included in the plan set.

A detail depicting the permanent pavement repair specifications was added to sheet #10.

- c. HR 275-9.E and 276-13. The applicant has provided a detail showing water and sewer service installations with a minimum horizontal separation of 3 feet, where 10 feet is required. We suggest that the intent to maintain 10 feet of horizontal separation for the proposed piping be shown on the plan view.

The portion of the sanitary sewer service detail on sheet #10, depicting a horizontal separation of 3 feet with sewer and water in the same trench, was removed. The sewer and water lines will not be constructed within the same trench, and a detail was added to sheet #9 showing a minimum horizontal separation of 10-ft.

- d. HR 275-9.E and 276-13. The applicant has not provided a detail for the proposed water service where it crosses the existing sewer main. Inverts for the adjacent sewer manhole were not shown on the plans.

A detail has been added to sheet #9 calling for 18-inches of vertical separation with the water service over the sewer main. Since this is small diameter seamless water pipe (2" copper or plastic), we are not concerned with utility conflicts.

- e. HR 275-9.E and 276-13. The applicant should provide a drop detail for the proposed sewer service where it connects to the existing sewer manhole.

An internal drop sewer manhole detail was added to sheet #9.

- f. HR 275-9.E and 276-13. The applicant has not shown any connection details for the proposed site lighting.

We typically do not show proposed conduit for connecting pole mounted lights back to the main panel. A licensed electrician will provide connection locations and details as part of the electrical permit process.

- g. The applicant has noted that a sheet metal shop is proposed for the first floor of the building. The applicant should provide additional information to the Town related to this proposed use for determining if this will be subject to the Town's Industrial Pre-treatment Program for industrial discharges to the Town sewer system.

The sheet metal shop will be utilized for bending, cutting, and forming rolled sheet metal materials to create siding, gutters, flashing, roofing, etc. We do not have any further information at this time.

- h. The applicant has shown the proposed gas service to the building running through one of the proposed loading zones. If the gas meter is installed against the building at this location then measures to protect the meter should be considered.

Bollards, as shown on sheet #5, are proposed to protect the gas meter from vehicles in the loading zone.

- i. Disturbance of a Rodgers parcel outside of the existing easement is necessary to construct the sewer service. Documentation of an agreement was not included in CLD's review package.

We have added note 35 to sheet 1 in the revised plan. The extent of the common access easement along with the rights it affords to the beneficiaries is unclear in the chain of title and needs to be clarified amongst the property owners prior to the start of construction. Additional easement rights may be required.

5. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- a. We note the proximity to the Merrimack River; the applicant should verify that coordination with NHDES for a Shoreland Permit as well as coordination with the Lower Merrimack River Local Advisory Committee (LMRLAC) is or is not required for this project. If communication is required, the applicant should keep the Town informed of all communication with NHDES or the LMRLAC to ensure any comments do not alter drainage design/calculations.

A shoreland permit is required for this project. An application with the NHDES has been submitted for review and approval. Any changes to the drainage design or calculations will be forwarded to the Town. Once complete, a copy of the permit will be provided. The Lower Merrimack River Local Advisory Committee (LMRLAC) has been informed of the proposed project, and any comments will be addressed at the time of receipt.

- b. Stormwater Management Regs 290-4.A(1): There is proposed snow storage within the proximity of the proposed rain garden and forebay. The applicant should relocate the proposed snow storage area, and also consider whether signage can be added to the site indicating to avoid snow storage in the proximity of the rain garden to extents practicable, and whether notes describing snow storage areas can be added to the Inspection and Maintenance Manual.

The snow storage area in question is located solely within the sediment forebay. This will provide pre-treatment prior to entering the rain garden, and is therefore an appropriate place for snow storage on this small site..

- c. Stormwater Management Regs 290-4.A(1): Due to the proximity of the Merrimack River the applicant should consider a salt restriction for winter application to be applied only by a "Green Snow Pro Certified Contractor".

Note #36 was added to sheet 1.

- d. Stormwater Management Regs 290-4.L(1): The applicant should provide design calculations for the proposed stone berm level spreader to ensure it has adequate capacity for the proposed design.

The 24' level spreader collects the runoff associated with the proposed pavement and distributes it evenly across 50' of upland before discharging to the Merrimack River. The level spreader collects 1,200 square feet of surface water which correlates to a peak discharge rate of 0.08 cfs in the 2-year peak storm event. According to standard design practice, a level spreader shall be designed for no more than 0.5 cfs per foot of level spreader. The proposed level spreader is 24' long, therefore, can adequately convey up to 12 cfs peak discharge rate and only 0.08 cfs is being proposed.

- e. Stormwater Management Regs 290-5.G: The applicant should provide test pit information within the limits of the rain garden proposed.

Test pit #2 is in close proximity to the proposed rain garden, therefore, the test pit data shown on sheet #8 is sufficient in our opinion.

- f. Stormwater Management Regs 290-5.G: The applicant should provide infiltration rate calculations utilized to support the use of 3.0 inches per hour utilized within the Drainage Report. (Conversion from NRCS data, test pit percolation test data, Ksat tables, etc.)

The infiltration rate of 3.0 inches per hour was determined by using the Ksat value of 6 inches per hour for the soil type (Windsor,) as shown on the NRCS Soil Map, and applying a factor of safety of 2.

- g. Stormwater Management Regs 290-5.L(10)(j): The applicant should illustrate all critical areas upon a submitted plan.

The critical area is hatched and called out on sheet 2 in the revised plan.

- h. There is both a Rain Garden detail and a Bio-retention Pond detail within the plan set. The applicant should clarify the design locations to minimize the construction questions.

The bio-retention pond detail was removed from the plan set.

6. Zoning (ZO 334)

- a. ZO 334-20. The subject site is located in the Town Residential (TR) zoning district. The proposed uses are not permitted in this zoning district. However, the applicant has noted in the Project Narrative that they received a variance from the Hudson Zoning Board of Adjustment to allow the commercial uses in this residential zone. (The applicant has noted in the parking calculations an Industrial Use. The Town should confirm that a clarification on the zoning ruling is not prudent).

During our time before the Zoning Board of Adjustment we were very descriptive regarding the proposed uses on each floor of the renovated building. The Zoning Administrator can confirm.

- b. ZO 334-27 and 334-32. The existing lot frontage does not meet the minimum dimension required by the Regulation.

This is an existing condition. No response required.

- c. ZO 334-33. The applicant has shown wetlands and associated wetlands buffers on the plan set. No work is proposed within the wetlands buffer area.

No response required.

- d. ZO 334-57. The applicant has not proposed any signs within the project area (other than traffic and handicapped accessible parking signs).

No response required.

- e. ZO 334-83. The applicant has noted that a portion of the subject parcel is located within a designated flood hazard area.

No response required.

- f. ZO 334-83 and 218-4.E. The 100 year flood line is shown on the plans and is located through a portion of the existing building. The Finish Floor elevation noted on the plans (112.69) is below the 100 year flood line elevation (113.00). The applicant has proposed work in the flood zone, but not enough detail is provided to determine whether there is a net result of fill in the zone, or whether the proposed grading schematic balanced the cuts and fill (mostly impacted by level spreader).

The work proposed within the 100-year flood zone will create 4 yards of cut. Grades for the proposed pavement were designed at the existing grade to prevent any fill situations. The cut is from the proposed level spreader.

7. Erosion Control/Wetland Impacts

- a. HR 291-5.K(16). The applicant has not indicated the proposed method of stump disposal.

A note regarding stump disposal is located on sheet #3.

- b. HR 290-5.K(20). The applicant has not included a stabilized construction entrance/exit on the plans nor provided a detail for its installation.

The entrance to the site is paved and therefore does not require a stabilized construction entrance/exit.

- c. HR 290-5.K(20). The applicant has shown the installation of siltsoxx across a portion of the western side of the site, with a label and arrow pointing to an area where no siltsoxx are shown. The applicant should review and revise this proposed layout as necessary.

The label, on sheet #6, has been revised to correctly identify the location of the proposed siltsoxx.

- d. The applicant has noted that the Town shall reserve the right to require additional erosion control measures during construction.

Correct. No response required.

8. Landscaping (HR 276-11.1.B(20)) and Lighting (HR 276-11.1.B(14))

- a. HR 276-11.1.B(14) The applicant has not provided information detailing the proposed hours of operation for the site lighting. The proposed lights have both photocell and time clock control noted.

The proposed site lighting is for security purposes and will therefore run during the overnight hours.

9. State and Local Permits (HR 275-9.G)

- a. HR 275-9.G. No copies of applicable approvals or permits were provided in CLD's review package.

The required permits are pending review. Upon approval, copies will be provided to the Town.

- b. The applicant should be prepared to provide detailed information on the sheet metal use for sewer permit evaluation.

The sheet metal shop will be utilized for bending, cutting, and forming rolled materials to create siding, gutters, flashing, roofing, etc. We do not have any additional information at this time.

- c. Additional local permitting may be required.

We are not aware of any other local permitting that is required.

10. Other

- a. The applicant has included plan note #24 on sheet #1 referencing a variance granted to the S.L. Chasse Steel Facility which appears to be unrelated to this project.

The above referenced note was removed and replaced.

- b. A detail for the proposed concrete apron adjacent to the building was not included in the plan set.

The detail was added to sheet #9.

- c. A detail for the proposed cast in place or precast concrete stairs at the Church was not included in the plan set.

A note was added to sheet #4 stating that the cast in place or precast concrete stairs will be designed by others.

- d. The applicant has shown delineator posts on the west side of the proposed parking lot but has not indicated what their intended use is for.

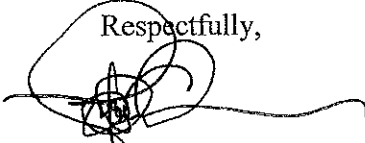
The delineators are proposed to draw attention to the top of the slope where grade breaks in the grass. Given the low volume use, we did not feel that guardrail was warranted in this location, but wanted some designation for users of the lot.

- e. The applicant has noted replacement of the access to the Community Church parcel with stairs. The applicant should confirm that ADA access is not appropriate.

The existing access landing encroaches onto the Applicant's property. As a courtesy to the Church, the Applicant is proposing to construct concrete stairs at the entrance so they may continue to utilize this means of access. To date, the existing access point is not ADA compliant as there is a stepped platform at the door (refer to the note on sheet #2).

We trust the content of this response to the CLD comments, and its attachments will serve to address their concerns as noted. Should you or they have any questions or require further information, please do not hesitate to contact our office.

Respectfully,



Patrick Colburn, P.E.
Project Manager

us, by Chapter 260 of the Revised Laws of New Hampshire, of 1942, any amendments thereto or other statute of said State, and all other rights and interests therein.

1276

In Witness Whereof we

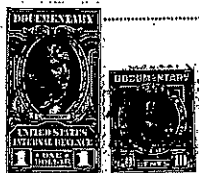
have hereunto set our hands and seals this 2nd day of December in the year of our Lord, nineteen hundred and fifty.

455

Signed, sealed and delivered in the presence of:

Louis M. Janelle
to both

Delphis E. Caron
Madeline Caron



State of New Hampshire
County of Hillsborough, ss.

On this the 2nd day of December, 1950, before me Louis M. Janelle, the undersigned officer, personally appeared

Delphis E. Caron and Madeline Caron

, known to me (or satisfactorily proven) to be the persons whose names are subscribed to the within instrument and acknowledged that they executed the same for the purposes therein contained.

In witness whereof I hereunto set my hand and official seal

Louis M. Janelle
JUSTICE OF THE PEACE

HILLSBOROUGH SS: Received and recorded 9-10 A. M., December 4, 1950

Examined by *Frank Carroon* Register

Know all Men by these Presents,

That Cummings Corporation, a corporation organized under the laws of the State of New Hampshire and having its principal place of business in Hudson, County of Hillsborough and State of New Hampshire,

in consideration of one dollar and other valuable considerations to it paid by C & R Furniture Co. Inc., a corporation organized under the laws of the State of New Hampshire and having its principal place of business in Nashua in the County of Hillsborough and State of New Hampshire,

the receipt whereof it do hereby acknowledge, has given, granted, bargained, sold and does for it self and its successors and assigns, by these presents, give, grant, bargain, sell, alien, entail, convey and confirm unto the said C & R Furniture Co. Inc.

and its successors ~~and~~ and assigns, forever,

A certain tract or parcel of land with the buildings thereon situate in Hudson, County of Hillsborough and State of New Hampshire, bounded and described as follows: Beginning at the northeasterly corner of the within described premises at a point on the westerly line of Central Street; thence running (1) S 67° 45' W 107.5 feet by other land of Cummings Corporation to a stone mound; thence (2) S 67° 45' W 40 feet more or less to an iron pipe at land formerly of Cummings Corporation and now or formerly of George H. Rodgers; thence (3) S 72° 15' W 141.9 feet by said Rodgers land to the river bank; thence (4) Northerly by said river bank and by land now or formerly of said Rodgers 40 feet more or less to other land now or formerly of said Rodgers; thence (5) S 53° 30' W 45 feet more or less to the Merrimack River; thence (6) Southerly by said River 75 feet more or less to land now or formerly of James B. Merrill; thence (7) N 67° 45' E 170 feet more or less by land now or formerly

456

of said Merrill to a stone bound; thence (8) S 6° E 150 feet by land now or formerly of said Merrill to a stone bound; thence (9) Northeasterly 110.5 feet to a stone bound at land now or formerly of Trustees of The Methodist Episcopal Church; thence (10) Northwesterly by land now or formerly of said Trustees 140 feet to a stone bound; thence Northeasterly 102 feet by land now or formerly of said Trustees to a stone bound on the Westerly side of Central Street; thence (11) Northerly by the Westerly side of Central Street 10 feet to the place of beginning.

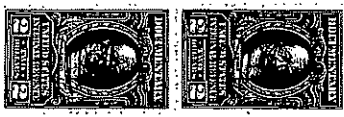
Together with the right to pass and repass over other land of Cummings Corporation situate North of the within described premises as the driveway from Central Street to the buildings situate on the within described premises now exists. Said driveway begins on the Easterly side of the within described premises at Central Street and curves Westerly and Northerly into other land of Cummings Corporation to buildings on the within described premises.

Meaning and intending to hereby describe and convey a part of the premises conveyed to the within grantor by deed of Bertha C. Nokes dated April 1, 1946 and recorded in the Hillsborough County Registry of Deeds, Volume 1103, Page 48.

The Grantor shall pay the 1950 taxes.

The mortgage of Cummings Corporation to Nashua Trust Company dated April 1, 1946 and recorded in Volume 1104, Page 224 of the Hillsborough County Registry of Deeds is hereby discharged in so far as it relates to the above described premises and not otherwise.

Dated this 4th day of December, 1950.



NASHUA TRUST COMPANY,
Richard S. Kimball
BY *Ray T. ...*

TO HAVE AND TO HOLD the afore described premises, with all the privileges and appurtenances thereunto belonging to the said grantee and its successors ~~here~~ and assigns, to their use and behoof forever. And grantor ~~do~~ covenant with the said grantee its successors ~~here~~ and assigns, that it is lawfully seized in fee of the aforescribed premises; that they are free of all incumbrances; that it has ~~the~~ good right to sell and convey the same to the said grantee in manner aforesaid; and that it and its ~~and~~ assigns ~~here~~ will warrant and defend the same premises to the said grantee and its successors ~~here~~ and assigns forever, against the lawful claims and demands of all persons.

IN WITNESS WHEREOF the said Cummings Corporation has caused its duly authorized officer to subscribe hereto its corporate name and affix hereto its corporate

~~seal and stamp of said Cummings Corporation and its duly authorized officer to be subscribed to the within described premises and to be witnessed by the seal and stamp of the State.~~

IN WITNESS WHEREOF I have hereunto set my hand and official seal this 4th day of December in the year of our Lord one thousand, nine hundred and fifty.

Signed, sealed and delivered in presence of

William J. ...

CUMMINGS CORPORATION,
BY *Charles ...*

State of New Hampshire } SS:
County of Hillsborough }

On this the 4th day of December, 1950, before me *Morris ...*, the undersigned officer, personally appeared *Charles ...* who acknowledged himself to be ~~the~~ *President* of Cummings Corporation, a corporation, and that he as such *President*, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the corporation by himself as ~~the~~ *President*.

In witness whereof I hereunto set my hand and official seal.
Morris ...
Justice of the Peace.
Newbury, N.H.

HILLSBOROUGH SS: Received and recorded 10-45 A. M., December 4, 1950

Examined by *Edw. Corbeil* Register

Camela O Coughlin

**CORRECTIVE
WARRANTY DEED**
(see Book 8949, Page 2297)

I, Dana McCoy, Successor Trustee of The John W. Hebert Revocable Trust of July 23, 2007, with a mailing address of 100 Ferry Street, Hudson, County of Hillsborough and State of New Hampshire 03051, for consideration paid, grants to 15 Central Street, LLC, a New Hampshire Limited Liability Company with a place of business at 43 Lowell Road, Unit 202-12, Hudson, County of Hillsborough and State of New Hampshire 03051, the following described property, with WARRANTY COVENANTS:

A certain tract or parcel of land with the buildings thereon situate in Hudson, County of Hillsborough and State of New Hampshire, bounded and described as follows: Beginning at the northeasterly corner of the within described premises at a point of the westerly line of Central Street; thence running (1) S 67° 45' W 107.5 feet by land now or formerly of Cummings Corporation to a stone bound; thence (2) S 67° 45' W 40 feet more or less to an iron pipe at land formerly of Cummings Corporation and now or formerly of George H. Rodgers; thence (3) S 72° 15' W 141.9 feet by said Rodgers land to the river bank; thence (4) Northerly by said river bank and by land now or formerly of said Rodgers 40 feet more or less to other land now or formerly of said Rodgers; thence (5) S 53° 30' W 45 feet more or less to the Merrimack River; thence (6) Southerly by said River 75 feet more or less to land now or formerly of James B. Merrill; thence (7) N 67° 45' E 170 feet more or less by land now or formerly of said Merrill to a stone bound; thence (8) S 6° E 150 feet by land now or formerly of said Merrill to a stone bound; thence (9) Northeasterly 110.5 feet to a stone bound at land now or formerly of Trustees of The Methodist Episcopal Church; thence (10) Northwesterly by land now or formerly of said Trustees 140 feet to a stone bound; thence Northeasterly 102 feet by land now or formerly of said Trustees to a stone bound on the Westerly side of Central Street; thence (11) Northerly by the Westerly side of Central Street 10 feet to the place of beginning.

Provided that excluded from said tract or parcel is a certain tract or parcel of land described in the deed of C&R Furniture Co., Inc., to Hudson Community Church dated June 15, 1954, more particularly described at Book 1392, Page 446 in the Hillsborough County Registry of Deeds.

Together with the right to pass and repass over other land now or formerly of Cummings Corporation situate North of the within described premises as the driveway from Central Street to the buildings situate on the within described premises now exists. Said driveway begins on the Easterly side of the within described premises at Central Street and curves Westerly and

Northerly into other land of Cummings Corporation to buildings on the within described premises.

Meaning and intending to describe and to convey the same premises conveyed to the Grantor by deed of John W. Hebert, dated July 23, 2007 and recorded in the Hillsborough County Registry of Deeds at Book 7904, Page 1074.

This is not homestead property of the Grantor.

IN WITNESS WHEREOF, I have hereunto set my hand this 7th day of March, 2017.

[Signature]
Witness

[Signature]
Dana McCoy, Successor Trustee of
of the John W. Hebert Revocable Trust of
July 23, 2007

The undersigned trustee as Trustee under the John W. Hebert Revocable Trust created by John W. Hebert and Claire D. Hebert as grantors under trust agreement dated July 23, 2007, and thereto have full and absolute power in said trust agreement to convey any interest in real estate and improvements thereon held in said trust and no purchaser or third party shall be bound to inquire whether the trustee has said power or is properly exercising said power or to see to the application of any trust asset paid to the trustee for a conveyance thereof.

[Signature]
Dana McCoy, Successor Trustee of
of the John W. Hebert Revocable Trust of
July 23, 2007

STATE OF NEW HAMPSHIRE
COUNTY OF Hillsborough

On this 7th day of March, 2017, before me, the undersigned officer, personally appeared the above-named Dana McCoy as Successor Trustee of the John W. Hebert Revocable Trust of July 23, 2007, known to me or satisfactory proven to be the persons whose names are subscribed to the foregoing Warranty Deed, and acknowledged that they executed the same for the purposes therein contained as their voluntarily act and deed and in the aforementioned capacity.

KELLY J. SHANAHAN
Notary Public - New Hampshire
My Commission Expires July 13, 2021

[Signature]
Notary Public/ Justice of the Peace
My Commission Expires:

**PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE**



Date of Application: May 26, 2017 Tax Map # 182 Lot # 50

Name of Project: Peter DeSalvo Contracting, LLC

Zoning District: _____ General SP# 10-17
(For Town Use) (For Town Use)

ZBA Action: Case 182-050 - Variance granted on 12/8/16

PROPERTY OWNER:

DEVELOPER:

Name: 15 Central Street, LLC (Same as Owner)

Address: 43 Lowell Road

Address: Hudson, NH 03051

Telephone # (603) 521-7992

Fax # _____

Email: _____

PROJECT ENGINEER

SURVEYOR

Name: Brenton Cole, PE - KNA Michael Dahlberg, LLS - KNA

Address: 10 Commerce Park No., Suite 3 10 Commerce Park No., Suite 3

Address: Bedford, NH 03110 Bedford, NH 03110

Telephone # (603) 627-2881 (603) 627-2881

Fax # (603) 627-2915 (603) 627-2915

Email: bcole@keachnordstrom.com mdahlberg@keachnordstrom.com

PURPOSE OF PLAN:

The purpose of the plan is to depict the proposed improvements associated with renovating the existing building for DeSalvo Contracting, LLC, including access, parking, and stormwater management.

<i>For Town Use</i>	
Plan Routing Date: <u>5-31-17</u>	Sub/Site Date: <u>7-19-17</u>
<input type="checkbox"/> I have no comments <input checked="" type="checkbox"/> I have comments (attach to form)	
<u>ESW</u> (Initials)	Title: <u>Town Engineer</u> Date: <u>5-31-17</u>
DEPT:	
<input type="checkbox"/> Zoning <input checked="" type="checkbox"/> Engineering <input type="checkbox"/> Assessor <input type="checkbox"/> Police <input type="checkbox"/> Fire <input type="checkbox"/> Planning <input type="checkbox"/> Consultant <input type="checkbox"/> Highway Department	
Fees Paid: <u>\$2,128.70</u>	

Dhima, Elvis

From: Dhima, Elvis
Sent: Wednesday, May 31, 2017 4:10 PM
To: Cashell, John
Cc: Dubowik, Brooke
Subject: 15 Central Street Tech. Review

John

I have one comment as follows

The applicant shall provide the sewer manhole inlet drop detail

Thank you

E

Elvis Dhima, P.E.
Town Engineer

Town of Hudson, NH
12 School Street
Hudson, NH 03051
Phone: (603) 886-6008
Mobile: (603) 318-8286



Town of Hudson
NEW HAMPSHIRE 03051

**PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE**



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<input checked="" type="checkbox"/> I have no comments <input type="checkbox"/> I have comments (attach to form)	
<u>KBC</u> (Initials)	Title: <u>6/5/17 Room Agent</u> Date: _____
DEPT: <input type="checkbox"/> Zoning <input type="checkbox"/> Engineering <input type="checkbox"/> Assessor <input type="checkbox"/> Police <input type="checkbox"/> Fire <input type="checkbox"/> Planning <input type="checkbox"/> Consultant <input checked="" type="checkbox"/> Highway Department	
Fees Paid: <u>\$2,128.70</u>	

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Email: _____

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Michael Dahlberg, LLS - KNA

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10 Commerce Park No., Suite 3

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Bedford, NH 03110

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<input checked="" type="checkbox"/> I have no comments <input type="checkbox"/> I have comments (attach to form)	
<u>[Signature]</u> <small>(Initials)</small>	Title: <u>LIEUTENANT</u> Date: _____
DEPT: <input type="checkbox"/> Zoning <input type="checkbox"/> Engineering <input type="checkbox"/> Assessor <input checked="" type="checkbox"/> Police <input type="checkbox"/> Fire <input type="checkbox"/> Planning <input type="checkbox"/> Consultant <input type="checkbox"/> Highway Department	
Fees Paid: <u>\$2,128.70</u>	

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<input checked="" type="checkbox"/> I have no comments <input type="checkbox"/> I have comments (attach to form)	
<u>JOB</u> (Initials)	Title: <u>Deputy Fire Chief</u> Date: <u>5/31/2017</u>
DEPT: <input type="checkbox"/> Zoning <input type="checkbox"/> Engineering <input type="checkbox"/> Assessor <input type="checkbox"/> Police <input checked="" type="checkbox"/> Fire <input type="checkbox"/> Planning <input type="checkbox"/> Consultant <input type="checkbox"/> Highway Department	
Fees Paid: <u>\$2,288.70</u>	

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(For Town Use) (For Town Use)

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PROPERTY OWNER:

DEVELOPER:

Name: 15 Central Street, LLC

(Same as Owner)

Address: 43 Lowell Road

Address: Hudson, NH 03051

Telephone # (603) 521-7992

Fax # _____

Email: _____

PROJECT ENGINEER

SURVEYOR

Name: Brenton Cole, PE - KNA

Michael Dahlberg, LLS - KNA

Address: 10 Commerce Park No., Suite 3

10 Commerce Park No., Suite 3

Address: Bedford, NH 03110

Bedford, NH 03110

Telephone # (603) 627-2881

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<input checked="" type="checkbox"/> I have no comments <input type="checkbox"/> I have comments (attach to form)	
<u>BD</u> (Initials)	Title: <u>ZONING ADMINISTRATOR</u> Date: <u>6-8-17</u>
DEPT:	
<input checked="" type="checkbox"/> Zoning <input type="checkbox"/> Engineering <input type="checkbox"/> Assessor <input type="checkbox"/> Police <input type="checkbox"/> Fire <input type="checkbox"/> Planning <input type="checkbox"/> Consultant <input type="checkbox"/> Highway Department	
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DEVELOPER:

Name: <u>15 Central Street, LLC</u>	<u>(Same as Owner)</u>
Address: <u>43 Lowell Road</u>	_____
Address: <u>Hudson, NH 03051</u>	_____
Telephone # <u>(603) 521-7992</u>	_____
Fax # _____	_____
Email: _____	_____

PROJECT ENGINEER

SURVEYOR

Name: <u>Brenton Cole, PE - KNA</u>	<u>Michael Dahlberg, LLS - KNA</u>
Address: <u>10 Commerce Park No., Suite 3</u>	<u>10 Commerce Park No., Suite 3</u>
Address: <u>Bedford, NH 03110</u>	<u>Bedford, NH 03110</u>
Telephone # <u>(603) 627-2881</u>	<u>(603) 627-2881</u>
Fax # <u>(603) 627-2915</u>	<u>(603) 627-2915</u>
Email: <u>bcole@keachnordstrom.com</u>	<u>mdahlberg@keachnordstrom.com</u>

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<input checked="" type="checkbox"/> I have no comments <input type="checkbox"/> I have comments (attach to form)	
(Initials) <u>[Signature]</u>	Title: <u>Asst. Assessor</u> Date: <u>5-31-17</u>
DEPT: <input type="checkbox"/> Zoning <input type="checkbox"/> Engineering <input checked="" type="checkbox"/> Assessor <input type="checkbox"/> Police <input type="checkbox"/> Fire <input type="checkbox"/> Planning <input type="checkbox"/> Consultant <input type="checkbox"/> Highway Department	
Fees Paid: <u>\$2,128.70</u>	



Current CLD Comment: The applicant has noted that the sheet metal shop will be utilized for bending, cutting, and forming rolled sheet metal materials to create siding, gutters, flashing, roofing, etc. The Town should review for possible inclusion in the Industrial Pretreatment Program.

5. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- a. *Former CLD Comment: We note the proximity to the Merrimack River; the applicant should verify that coordination with NHDES for a Shoreland Permit as well as coordination with the Lower Merrimack River Local Advisory Committee (LMRLAC) is or is not required for this project. If communication is required, the applicant should keep the Town informed of all communication with NHDES or the LMRLAC to ensure any comments do not alter drainage design/calculations.*

Current CLD Comment: The applicant has noted that a Shoreland Permit is required for this project and an application has been submitted to the NHDES, that any changes to the drainage design or calculations will be forwarded to the Town, and a copy of the permit will be provided to the Town once complete. The applicant also noted that the LMRLAC has been informed of the proposed project and any comments will be addressed when received.

6. Zoning (ZO 334)

- a. *Former CLD Comment: ZO 334-20. The subject site is located in the Town Residential (TR) zoning district. The proposed uses are not permitted in this zoning district. However; the applicant has noted in the Project Narrative that they received a variance from the Hudson Zoning Board of Adjustment to allow the commercial uses in this residential zone. (The applicant has noted in the parking calculations an Industrial Use. The Town should confirm that a clarification on the zoning ruling is not prudent.)*

Current CLD Comment: The applicant has noted that they were very descriptive during their meeting with the Zoning Board of Adjustment regarding the proposed uses on each floor of the building, and that the Zoning Administrator can confirm this.

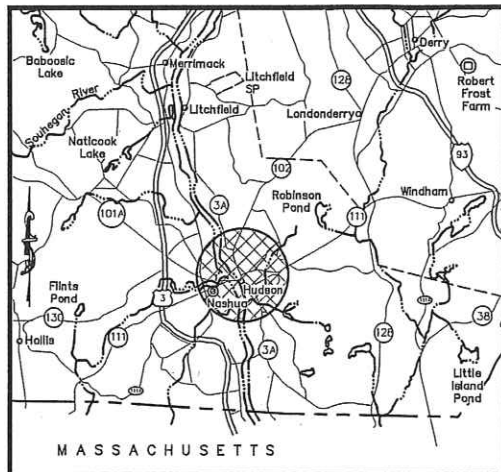
- b. *Former CLD Comment: ZO 334-27 and 334-32. The existing lot frontage does not meet the minimum dimension required by the Regulation.*

Current CLD Comment: The applicant acknowledged this existing condition.

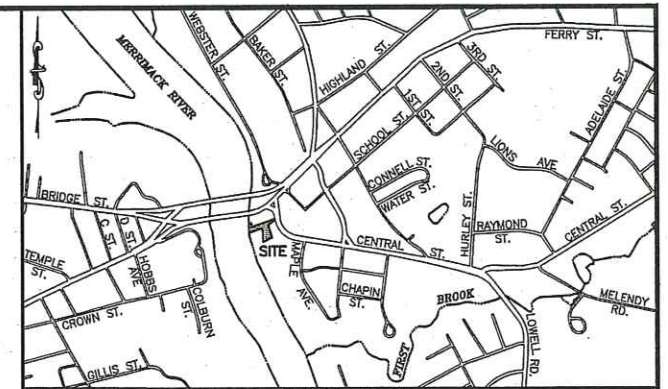
- e. *ZO 334-83. The applicant has noted that a portion of the subject parcel is located within a designated flood hazard area.*

8. Landscaping (HR 276-11.1.B.(20)) and Lighting (HR 276-11.1.B.(14))

- a. *Former CLD Comment: HR 276-11.1.B.(14). The applicant has not provided information detailing the proposed hours of operation for the site lighting. The proposed lights have both photocell and time clock control noted.*



VICINITY PLAN
NOT TO SCALE



VICINITY PLAN
SCALE: 1" = 1,000'

NON-RESIDENTIAL SITE PLAN

DESALVO CONTRACTING, LLC

MAP 182 LOT 50 15 CENTRAL STREET HUDSON, NEW HAMPSHIRE

OWNER / APPLICANT:
 15 CENTRAL STREET, LLC
 43 LOWELL ROAD, SUITE 202-12
 HUDSON, NH 03051
 H.C.R.D. BK. 8951 PG. 1671

PREPARED BY:
 KEACH-NORDSTROM ASSOCIATES, INC.
 10 COMMERCE PARK NORTH, SUITE 3
 BEDFORD, NEW HAMPSHIRE 03110
 (603) 627-2881



<u>SHEET TITLE</u>	<u>SHEET No.</u>
MASTER PLAN	1
EXISTING CONDITIONS PLAN	2
REMOVALS/DEMOLITION PLAN	3
NON-RESIDENTIAL SITE LAYOUT & LANDSCAPE PLAN	4
GRADING, DRAINAGE & UTILITY PLAN	5
EROSION CONTROL PLAN	6
LIGHTING PLAN	7
CONSTRUCTION DETAILS	8 - 10



KNA
 KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

MARCH 27, 2017
 LAST REVISED: JUNE 13, 2017
 PROJECT NO. 16-0928-2

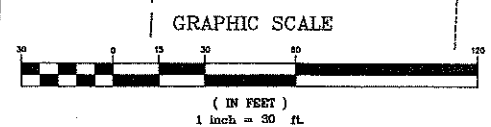
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL	APPROVED BY THE HUDSON, NH PLANNING BOARD	
	DATE OF MEETING: _____	
	SIGNATURE _____	SIGNATURE DATE _____
	SIGNATURE _____	SIGNATURE DATE _____
	SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.	

NOTES (CONTINUED):

20. WAIVERS:
 - 276.11.18(12)-c - 100 FT. BUFFER TO RESIDENTIAL LOT
 - 276.11.18(12)-d - PARKING SPACE TOTAL
 - 276.11.18(25) - TRAVEL WAY IN THE SIDE YARD SETBACK
21. SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
22. HOURS FOR RESUME REMOVAL AND DELIVERIES OF SUPPLIES SHALL BE NO EARLIER THAN 7:00 AM AND NO LATER THAN 7:00 PM, MONDAY THROUGH FRIDAY ONLY. SAID ACTIVITIES SHALL BE PROHIBITED ON SATURDAY AND SUNDAY.
23. HOURS OF OPERATION: 6:00 AM TO 6:00 PM, MONDAY THROUGH SATURDAY.
24. PLOUGHED SNOW FROM THE FACILITIES, DRIVEWAY, PARKING LOTS AND SIDEWALK SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
25. ON-SITE DRAINAGE SYSTEM SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH NHDES REQUIREMENTS FOR SUCH SYSTEMS.
26. THE APPLICANT'S ENGINEER AND/OR CONTRACTOR SHALL CONTACT THE TOWN OF HUDSON TO SCHEDULE A PRECONSTRUCTION MEETING, WHICH WILL BE HELD WITH STAFF PRIOR TO STARTING CONSTRUCTION.
27. ALL STIPULATIONS OF APPROVAL SHALL BE INCORPORATED INTO THE DEVELOPMENT AGREEMENT, WHICH SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS, TOGETHER WITH THE SITE PLAN-OF-RECORD.
28. ALL IMPROVEMENTS SHOWN ON THE SITE PLAN-OF-RECORD, INCLUDING NOTES 1-33, SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
29. PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, A L.L.S. CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED PLAN.
30. ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON ZONING ADMINISTRATOR PRIOR TO INSTALLATION THERE OF.
31. ALL IMPROVEMENTS SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
32. THIS PLAN SHALL BE SUBJECT TO FINAL ENGINEERING REVIEW AND APPROVAL.
33. THE TOWN SHALL RESERVE THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION.
34. ON DECEMBER 8, 2016, THE HUDSON ZONING BOARD OF ADJUSTMENT GRANTED PETER DESALVO A VARIANCE FROM HZO ARTICLE VIII SECTION 33A-30 CHANGES TO OR DISCONTINUANCE OF NONCONFORMING USES TO RETROFIT THE EXISTING COMMERCIAL WAREHOUSE LOCATED AT 15 CENTRAL STREET TO SERVE AS THE NEW HEADQUARTERS FOR PETER DESALVO CONTRACTING, LLC.
35. THE EXTENT OF THE EXISTING COMMON ACCESS EASEMENT ALONG WITH THE RIGHTS THAT IT AFFORDS TO THE SUBJECT PROPERTY AND THOSE IMMEDIATELY ADJACENT IS NOT CLEAR IN THE CHAIN OF TITLE. THE OWNER OF LOT 50 SHALL COORDINATE THE WORK PROPOSED WITH THE OWNER OF LOTS 4 AND 51. SPECIFICALLY, ADDITIONAL ACCESS AND UTILITY EASEMENTS MAY BE REQUIRED IN ORDER TO CONNECT THE PROPOSED SEWER SERVICE TO THE EXISTING SEWER MANHOLE ON LOT 4 AND IN ORDER TO PAVE THE AREA WEST OF THE EXISTING BUILDING ON LOT 50 AND SOUTH OF THE EXISTING BUILDING ON LOT 4.
36. DUE TO THE PROXIMITY OF THIS SITE TO THE MERRIMACK RIVER, THE OWNER SHOULD CONSIDER A SALT RESTRICTION FOR WINTER APPLICATION TO BE APPLIED ONLY BY A "GREEN SNOW PRO CERTIFIED CONTRACTOR."

LEGEND

⊙ IPIN-F	IRON PIN FOUND	---	ARBITER LINE
⊙ DH-F	DRILL HOLE FOUND	---	PROPERTY LINE
⊙ U	UTILITY POLE	---	WETLAND
⊙ S	SIGN	---	EDGE OF PAVEMENT
⊙ L	LIGHT	---	EDGE OF GRAVEL
⊙ M	SEWER MANHOLE	---	BUILDING SETBACK
⊙ D	DRAINAGE MANHOLE	---	EASEMENT
⊙ C	CATCH BASIN	---	ZONE LINE
⊙ O	OVERHEAD UTILITIES	---	PROPOSED EDGE OF GRAVEL
⊙ T	TREELINE	---	100 YEAR FLOOD LINE
⊙ R	RETAINING WALL	---	EDGE OF WATER
		---	PROPOSED EDGE OF PAVEMENT
		---	PROPOSED GRANITE CURB



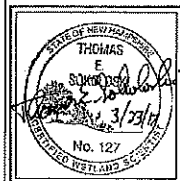
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____

SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

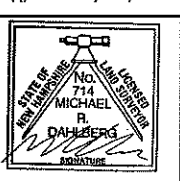


THOMAS E. SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127 OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH PERFORMED THE DELINEATION OF JURISDICTIONAL WETLANDS ON MARCH 23rd OF 2017 USING THE TECHNICAL CRITERIA IN THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1, JANUARY 1987).

OWNER OF MAP 182 LOT 50

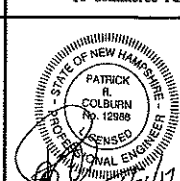
SIGNATURE: _____

DATE: 5-26-17



CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE DURING OCTOBER OF 2016. SAID SURVEY HAS AN ERROR OF CLOSURE BETTER THAN ONE PART IN TEN THOUSAND (1:10,000).

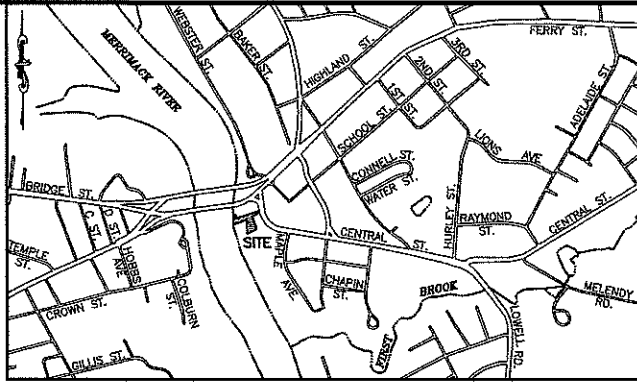
SIGNATURE: _____ DATE: 6-21-17
LICENSED LAND SURVEYOR



REVISIONS

No.	DATE	DESCRIPTION	BY
1	5/6/17	ADD TREE COUNT FOR SHORELAND	GPC
2	6/13/17	REVISED PER TOWN REVIEWER COMMENTS	GPC

DATE: MARCH 29, 2017 SCALE: 1" = 30'
PROJECT NO: 16-0928-2 SHEET 1 OF 10



- REFERENCE PLANS:**
1. TOWN OF HUDSON PROPOSED EASEMENT ON LAND OF C&R FURNITURE COMPANY, INC. HUDSON, N.H. DATED: FEBRUARY 1, 1974. PREPARED BY: THOMAS F. MORAN, HCRD PLAN #10678.
 2. CONSOLIDATION SKETCH PLAN-HUDSON CONSERVATION COMMISSION. SCALE: 1"=40', DATED: AUGUST 9, 1983. PREPARED BY: THOMAS F. MORAN, HCRD PLAN #19599.

- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW OVERALL LAYOUT ON LOT 50 INCLUDING THE EXISTING 35'-6"± BUILDING, ACCESS AND PARKING, RETROFIT OF THE EXISTING COMMERCIAL WAREHOUSE TO SERVE AS THE NEW HEADQUARTERS FOR PETER DESALVO CONTRACTING LLC. NO INCREASE IN BUILDING AREA IS PROPOSED. EXISTING BUILDING WILL BE RENOVATED TO INCLUDE STORAGE IN THE BASEMENT, SHEET METAL SHOP ON THE FIRST FLOOR AND OFFICE/STORAGE SPACE ON THE SECOND & THIRD FLOORS.
 2. MAP 182 LOT 50 INDICATES TOWN OF HUDSON, NEW HAMPSHIRE TAX ASSESSOR'S MAP AND LOT NUMBER.
 3. AREA OF PARCEL = 27,007 SF OR 0.619 ACRES
 4. PRESENT OWNER OF RECORD: 15 CENTRAL STREET, LLC 43 LOWELL ROAD, SUITE 202-12 HUDSON, NH 03051 BK. 8948 PG. 2237
 5. THE SUBJECT PARCEL IS LOCATED WITHIN THE TOWN RESIDENCE (TR) ZONING DISTRICTS AND SUBJECT TO THE FOLLOWING DIMENSIONAL REGULATIONS:

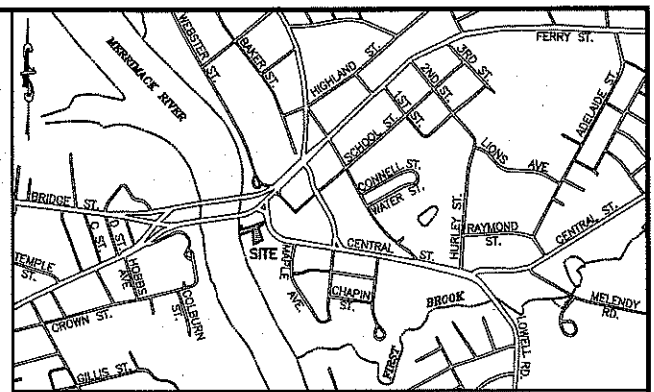
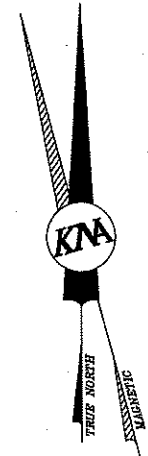
TOWN RESIDENTIAL	
- MINIMUM LOT AREA (WITH SEWER & WATER):	10,000 SF
- MINIMUM LOT FRONTAGE:	30 FT
- FRONT BUILDING SETBACK:	30 FT
- SIDE BUILDING SETBACK:	15 FT
- REAR BUILDING SETBACK:	15 FT
 6. THE LOT IS SERVED BY MUNICIPAL WATER AND SEWER, BUT THE EXISTING BUILDING IS NOT CONNECTED TO EITHER UTILITY.
 7. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS THE RESULT OF A FIELD SURVEY PERFORMED BY THIS OFFICE ON OCTOBER 10, 2016.
 8. BEARING BASIS IS MAGNETIC BASED ON AN ON-SITE OBSERVATION ON OCTOBER 10, 2016.
 9. VERTICAL DATUM IS NAVD 83 FROM CONTROL POINTS OBTAINED FROM NH-DOT SURVEY DIVISION.
 10. EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 33011C0514E PANEL 514 OF 701, REVISED DATE APRIL 18, 2011 INDICATES THAT A PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
 11. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
 12. OPEN SPACE REQUIRED = 35%
OPEN SPACE PROPOSED = 51.0%
 13. PARKING CALCULATIONS:
PARKING REQUIRED = 1 SPACE/300 SF OFFICE + 3531 SF = 11.77 SPACES
1 SPACE/1000 SF WAREHOUSE + 2087 SF = 2.09 SPACES
1 SPACE/600 SF INDUSTRIAL + 2087 SF = 3.48 SPACES
TOTAL PARKING REQUIRED = 17.34 = 18 SPACES
TOTAL PARKING PROVIDED = 14 SPACES PROPOSED (INCLUDES 1 HANDICAP SPACES) *WAIVER REQUIRED
 14. LOADING REQUIRED:
REQUIRED: 1 SPACE / FIRST 5,000 SF PLUS 1 SPACE/10,000 SF X 1,261 SF = 1 + 0.13 = 1.13 SPACES
TOTAL SPACES REQUIRED: 1 SPACES
TOTAL SPACES PROVIDED: 2 SPACES
 15. SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH 2010 TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADE.
 16. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
 17. EXTERIOR CONSTRUCTION ACTIVITIES ON THE SITE SHALL BE LIMITED TO BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH SATURDAY. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS.
 18. IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON WEEKENDS.
 19. THOMAS SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127, OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH, PERFORMED THE WETLAND MAPPING ON MARCH 23, 2017.

NOTES CONTINUED (SEE THIS SHEET)

MASTER PLAN
PETER DESALVO CONTRACTING, LLC
MAP 182 LOT 50
15 CENTRAL STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER / APPLICANT:
15 CENTRAL STREET, LLC
43 LOWELL ROAD, SUITE 202-12
HUDSON, NH 03051

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2801



LOCUS PLAN
SCALE: 1" = 1,000'

- REFERENCE PLANS:**
- TOWN OF HUDSON PROPOSED EASEMENT ON LAND OF C&R FURNITURE COMPANY, INC. HUDSON, N.H., DATED: FEBRUARY 1, 1974, PREPARED BY: THOMAS F. MORAN, HCRD PLAN #10878.
 - CONSOLIDATION SKETCH PLAN-HUDSON CONSERVATION COMMISSION, SCALE: 1"=40', DATED: AUGUST 9, 1983, PREPARED BY: THOMAS F. MORAN, HCRD PLAN #10889.

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING CONDITIONS DATA ON MAP 182 LOT 50 AS OF THE DATE OF FIELD SURVEY.
 - MAP 182 LOT 50 INDICATES TOWN OF HUDSON, NEW HAMPSHIRE TAX ASSESSOR'S MAP AND LOT NUMBER.
 - AREA OF PARCEL = 27,007 S.F. OR 0.619 ACRES
 - PRESENT OWNER OF RECORD:
15 CENTRAL STREET, LLC
43 LOWELL ROAD, SUITE 202-12
HUDSON, NH 03051
BK. 8949 PG. 2297
 - THE SUBJECT PARCEL IS LOCATED WITHIN THE TOWN RESIDENCE (TR) ZONING DISTRICTS AND SUBJECT TO THE FOLLOWING DIMENSIONAL REGULATIONS:

	TOWN RESIDENTIAL
- MINIMUM LOT AREA (WITH SEWER & WATER):	10,000 SF
- MINIMUM LOT FRONTAGE:	90 FT
- FRONT BUILDING SETBACK:	30 FT
- SIDE BUILDING SETBACK:	15 FT
- REAR BUILDING SETBACK:	15 FT
 - TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON REFERENCE PLAN #1 AND AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE DURING MARCH OF 2016.
 - SITE IS SERVED BY PUBLIC WATER AND SEWER. EXISTING BUILDING NOT CONNECTED TO EITHER UTILITY.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN. UTILITIES SHOWN HEREON ARE ONLY THOSE FOUND WITHIN THE AREA OF KNA FIELD SURVEY AND ARE SOLELY BASED UPON VISIBLE SURFACE EVIDENCE. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 811.
 - BEARING BASIS IS MAGNETIC BASED ON AN ON-SITE OBSERVATION ON OCTOBER 10, 2016.
 - VERTICAL DATUM IS NAVD 83 FROM CONTROL POINTS OBTAINED FROM NH-DOT SURVEY DIVISION.
 - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 33011C0314E PANEL 514 OF 701, REVISED DATE APRIL 15, 2011 INDICATES THAT A PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
 - EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS, OTHER EASEMENTS, RIGHTS, AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.
 - THOMAS SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127, OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH, PERFORMED THE WETLAND MAPPING ON MARCH 23, 2017.

LEGEND

⊙ IPM-F	IRON PIN FOUND	---	ADJUTER LINE
⊙ DH-F	DRILL HOLE FOUND	---	PROPERTY LINE
⊙ U	UTILITY POLE	---	WETLAND
⊙ S	SIGN	---	EDGE OF PAVEMENT
⊙ L	LIGHT	---	EDGE OF GRAVEL
⊙ M	SEWER MANHOLE	---	BUILDING SETBACK
⊙ D	DRAINAGE MANHOLE	---	EASEMENT
⊙ C	CATCH BASIN	---	ZONE LINE
OHU	OVERHEAD UTILITIES	---	PROPOSED EDGE OF GRAVEL
---	TREELINE	---	100 YEAR FLOOD LINE
---	RETAINING WALL	---	

SCS SOILS LEGEND
WnC WINDSOR URBAN LAND 3-15% SLOPES
SOURCE: USDA-SCS WEB SOIL SURVEY

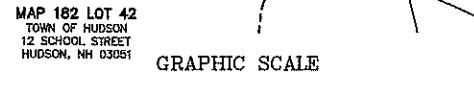
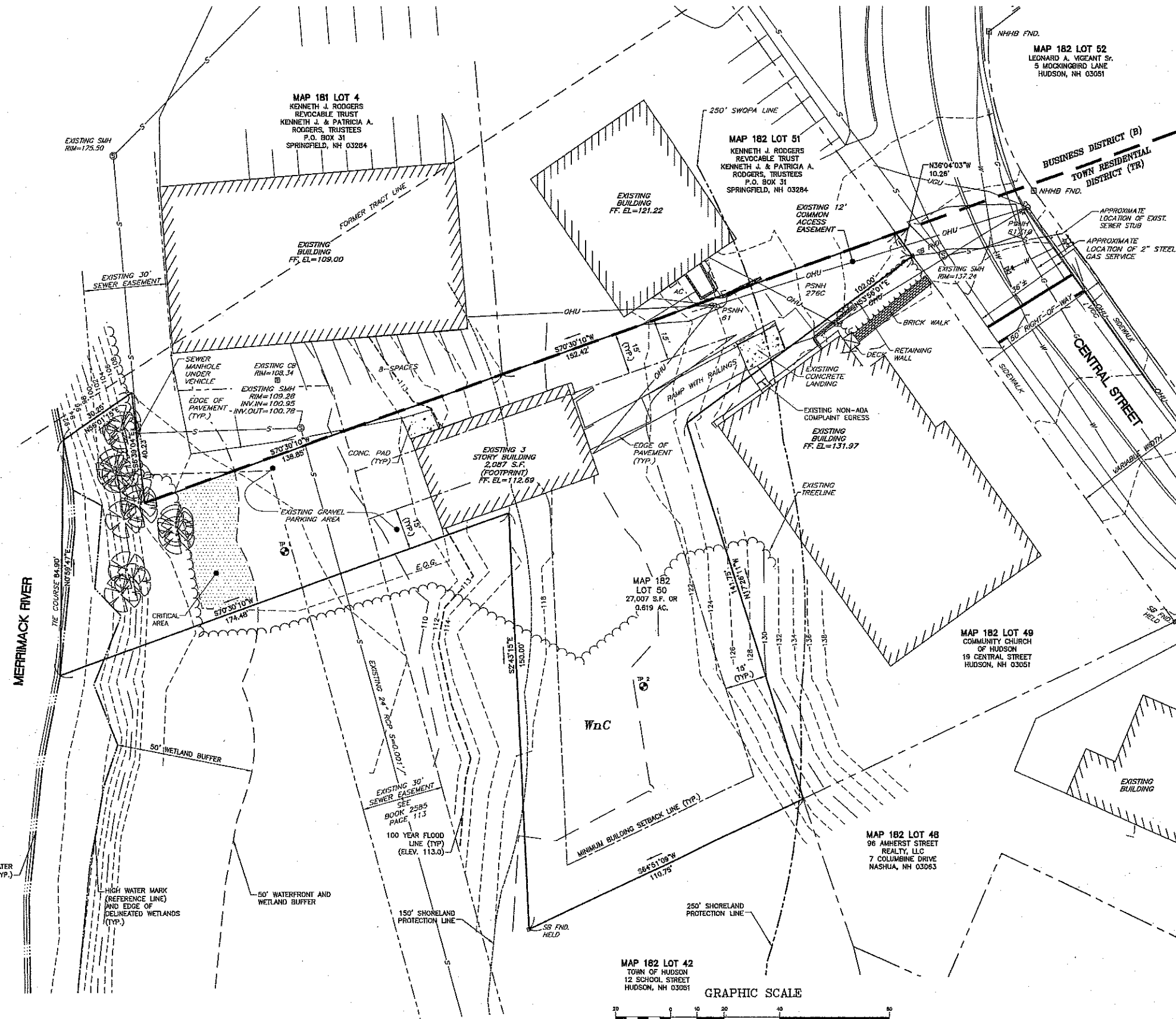
EXISTING CONDITIONS PLAN
PETER DESALVO CONTRACTING, LLC
MAP 182 LOT 50
15 CENTRAL STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER / APPLICANT:
15 CENTRAL STREET, LLC
43 LOWELL ROAD, SUITE 202-12
HUDSON, NH 03051

KNA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	6/6/17	ADD TREE COUNT FOR SHORELAND	GPC
2	6/13/17	REVISED PER TOWN REVIEWER COMMENTS	GPC

DATE: MARCH 29, 2017 SCALE: 1" = 20'
PROJECT NO: 16-0928-2 SHEET 2 OF 10



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____
SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

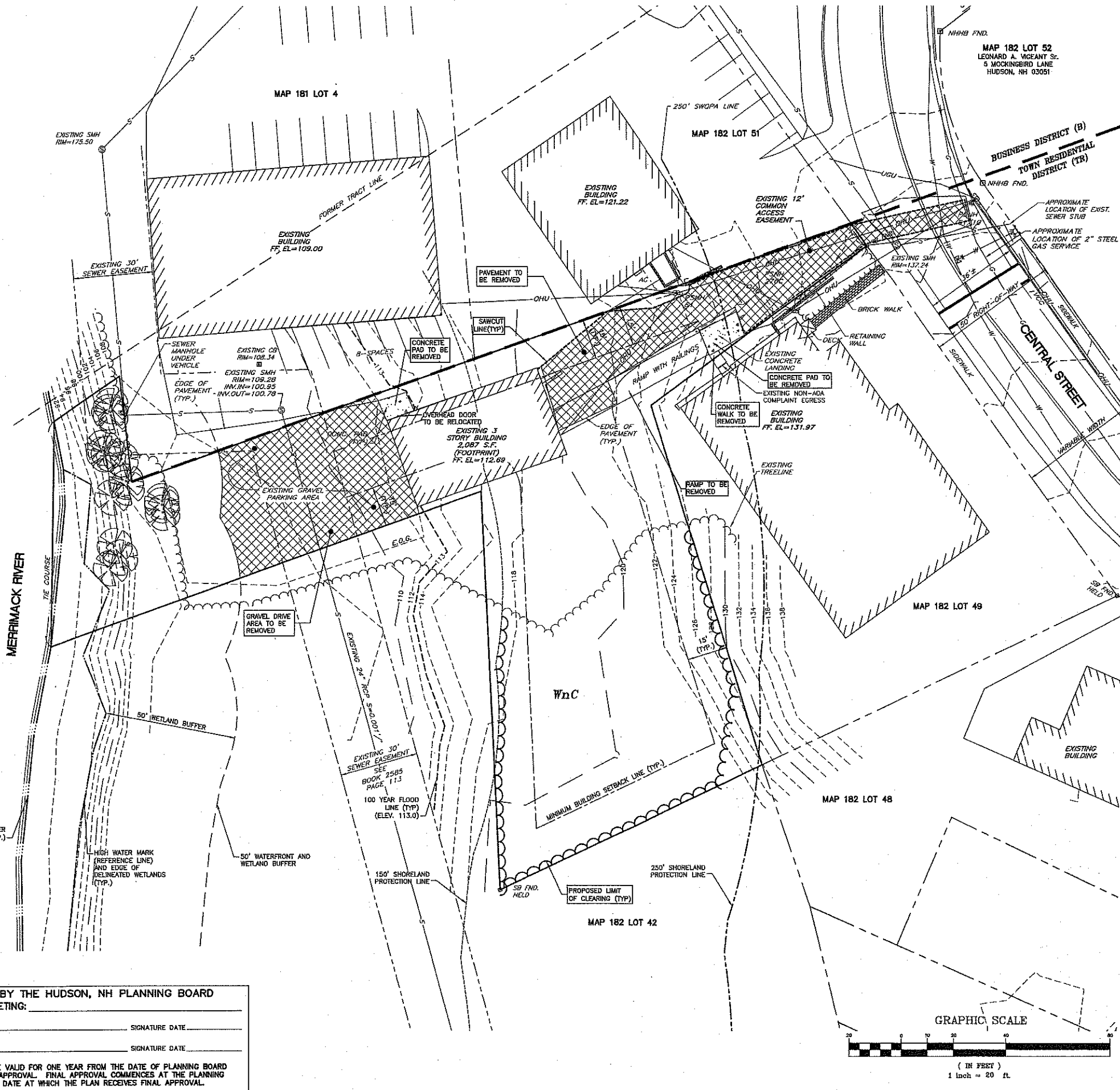


THOMAS E. SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127 OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH PERFORMED THE DELINEATION OF JURISDICTIONAL WETLANDS ON MARCH 23rd OF 2017 USING THE TECHNICAL CRITERIA IN THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1, JANUARY 1987).



CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE DURING OCTOBER OF 2016. SAID SURVEY HAS AN ERROR OF CLOSURE BETTER THAN ONE PART IN TEN THOUSAND (1:10,000).

[Signature] 6-21-17
LICENSED LAND SURVEYOR DATE



- REMOVALS/DEMOLITION NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING FEATURES ON SITE TO BE REMOVED, SALVAGED, OR REPLACED.
 2. ALL STUMPS, ROOTS, BRANCHES, BRUSH, WOODS AND OTHER PERISHABLE MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATIONS SHALL BE DISPOSED OF BY AN APPROVED METHOD.
 3. ITEMS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH THE TOWN OF HUDSON REQUIREMENTS, UNLESS OTHERWISE SHOWN HEREON OR DIRECTED BY OWNER.
 4. ALL EXISTING PAVEMENT AND GRAVEL WITHIN THE CROSS HATCHED AREA IS TO BE REMOVED DURING THE DEMOLITION PHASE OF THE PROJECT. EXCESS MATERIAL FROM THESE AREAS SHALL BE APPROPRIATELY DISPOSED OF OFFSITE BY AN APPROVED METHOD.
 5. THE CONTRACTOR SHALL CONTROL ALL DUST GENERATED DURING THE REMOVAL PHASE AND CONSTRUCTION PHASE SO THAT NO DUST LEAVES THE SITE.
 6. ANY MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE RESET BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR AT THE SITE CONTRACTORS EXPENSE.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 911 AT LEAST 72 HOURS BEFORE DIGGING.
 8. DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

LEGEND

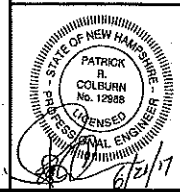
IPIN-F	IRON PIN FOUND	---	ABUTTER LINE
DH-F	DRILL HOLE FOUND	---	PROPERTY LINE
U	UTILITY POLE	---	WETLAND
S	SIGN	---	EDGE OF PAVEMENT
L	LIGHT	---	EDGE OF GRAVEL
SM	SEWER MANHOLE	---	BUILDING SETBACK
DM	DRAINAGE MANHOLE	---	EASEMENT
CB	CATCH BASIN	---	ZONE LINE
OHU	OVERHEAD UTILITIES	---	PROPOSED EDGE OF GRAVEL
T	TREELINE	---	100 YEAR FLOOD LINE
RW	RETAINING WALL	---	



REMOVALS/DEMOLITION PLAN
PETER DESALVO CONTRACTING, LLC
 MAP 182 LOT 50
 15 CENTRAL STREET
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER / APPLICANT:
 15 CENTRAL STREET, LLC
 43 LOWELL ROAD, SUITE 202-12
 HUDSON, NH 03051

KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



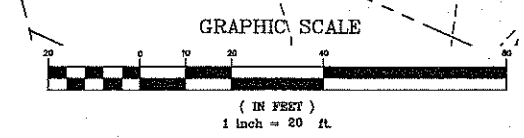
REVISIONS			
No.	DATE	DESCRIPTION	BY
1	8/8/17	ADD TREE COUNT FOR SHORELAND	GPC
2	6/13/17	REVISED PER TOWN REVIEWER COMMENTS	GPC

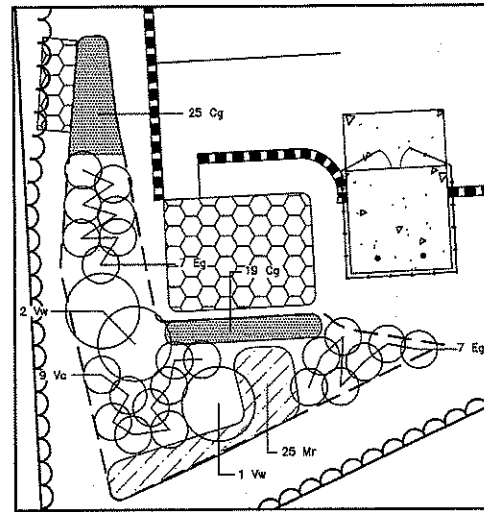
DATE: MARCH 29, 2017 SCALE: 1" = 20'
 PROJECT NO: 16-0926-2 SHEET 3 OF 10

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE _____ SIGNATURE DATE _____
 SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.





RAIN GARDEN PLANTING DETAIL
SCALE: 1" = 10'

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT
SHRUBS					
Vc	9	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	18-24"	5-6'
Vw	3	VIBURNUM CASSINOIDES	WITHEROD VIBURNUM	2-3' B&B	6-8'
PERENNIALS					
Cg	44	CAREX G. 'BLUE ZINGER'	BLUE ZINGER SEDGE	#2	12-16"
Eg	14	EUPATORIUM 'GATEWAY'	GATEWAY EUPATORIUM	#2	5-8"
Mr	25	MONARDA 'RASPBERRY WINE'	MONARDA 'RASPBERRY WINE'	#2	3'

MAP 181 LOT 4
KENNETH J. RODGERS
REVOCABLE TRUST
KENNETH J. & PATRICIA A.
RODGERS, TRUSTEES
P.O. BOX 31
SPRINGFIELD, NH 03284

MAP 182 LOT 51
KENNETH J. RODGERS
REVOCABLE TRUST
KENNETH J. & PATRICIA A.
RODGERS, TRUSTEES
P.O. BOX 31
SPRINGFIELD, NH 03284

MAP 182 LOT 52
LEONARD A. VIGANT SR.
5 MCKINGBERD LANE
HUDSON, NH 03051

BENCHMARK
NAIL SET
ELEV.=141.82
(NOV. 29)

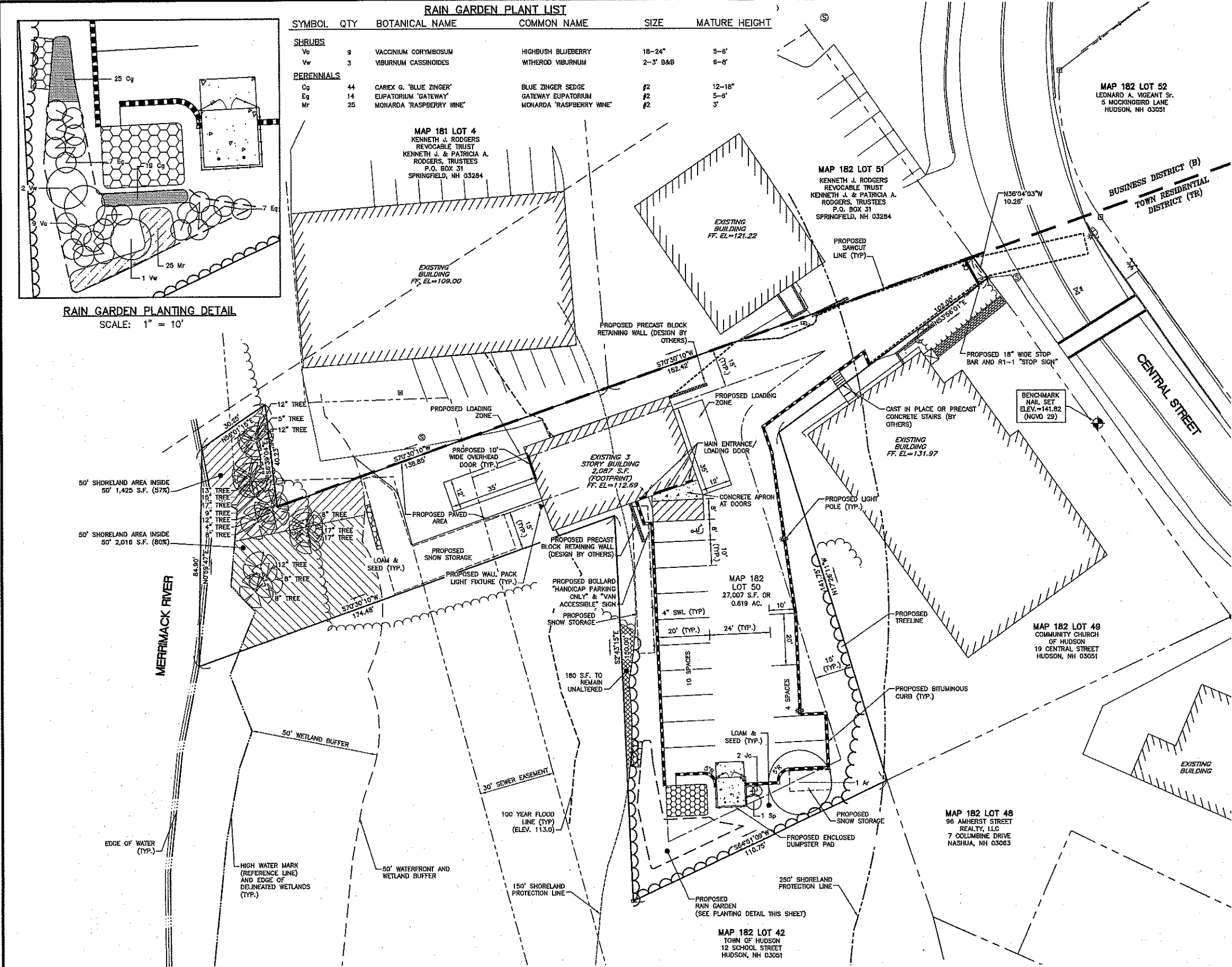
- LANDSCAPE NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE LANDSCAPE WHICH PROVIDES CLIMATIC RELIEF AND AESTHETIC APPEAL.
 2. ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOW HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE; WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTIES TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
 3. IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS: ORGANIC TOPSOIL AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% PEATMOSS AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
 4. PLANTING BEDS AND SAUCERS SHALL RECEIVE A 4" MINIMUM THICKNESS OF PINE/HEMLOCK BARK MULCH OVER A 5oz. POLYPROPYLENE WEED CONTROL FABRIC.
 5. PAVEMENT AND ROAD BASE MATERIAL ENCOUNTERED IN ANY LAWN OR PLANTING BED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AND SUITABLE AMENDED SOIL INSTALLED AS SPECIFIED IN THE TURF ESTABLISHMENT SCHEDULE.

SHORELAND TREE & SAPLING COUNT

	1 TO 3 in.	3 TO 8 in.	8 TO 12 in.	> 12 in.	TOTAL POINTS
SEGMENT #1 1,425 S.F.	0	2 (10)	8 (60)	3 (45)	115
SEGMENT #2 2,016 S.F.	0	0	3 (30)	2 (30)	60

- NOTES:**
1. SEGMENT 1 CONTAINS 1,425 S.F. WHICH REPRESENTS 57% OF A NORMAL 50'x50' GRID SEGMENT. THEREFORE SEGMENT 1 REQUIRES A TREE AND SAPLING SCORE OF 28.5. SEGMENT 1 CONFORMS TO THE MINIMUM REQUIRED.
 2. SEGMENT 2 CONTAINS 2,016 S.F. WHICH REPRESENTS 80% OF A NORMAL 50'x50' GRID SEGMENT. THEREFORE SEGMENT 2 REQUIRES A TREE AND SAPLING SCORE OF 40. SEGMENT 2 CONFORMS TO THE MINIMUM REQUIRED.

SEE SHEET 1 FOR
GENERAL NOTES AND
REFERENCE PLANS



LEGEND

IPIN-F	IRON PIN FOUND	ABUTTER LINE
DH-F	DRILL HOLE FOUND	PROPERTY LINE
U	UTILITY POLE	WETLAND
S	SIGN	EDGE OF PAVEMENT
L	LIGHT	EDGE OF GRAVEL
SM	SEWER MANHOLE	BUILDING SETBACK
DM	DRAINAGE MANHOLE	EASEMENT
C	CATCH BASIN	ZONE LINE
OU	OVERHEAD UTILITIES	100 YEAR FLOOD LINE
T	TREELINE	EDGE OF WATER
R	RETAINING WALL	PROPOSED EDGE OF PAVEMENT
		PROPOSED BITUMINOUS CURB
		SNOW STORAGE
		PROPOSED TREELINE

**NON-RESIDENTIAL SITE LAYOUT
& LANDSCAPE PLAN**
PETER DESALVO CONTRACTING, LLC
MAP 182 LOT 50
15 CENTRAL STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER / APPLICANT:
15 CENTRAL STREET, LLC
43 LOWELL ROAD, SUITE 202-12
HUDSON, NH 03051

KMA
KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 30, Bedford, NH 03110 Phone (603) 827-8881

REVISIONS

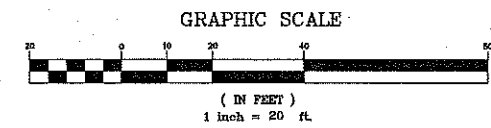
No.	DATE	DESCRIPTION	BY
1	6/6/17	ADD TREE COUNT FOR SHORELAND	GPC
2	6/13/17	REVISED PER TOWN REVIEWER COMMENTS	GPC

DATE: MARCH 29, 2017 SCALE: 1"=20'
PROJECT NO: 16-0928-2 SHEET 4 OF 10

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE _____ SIGNATURE DATE _____
SIGNATURE _____ SIGNATURE DATE _____

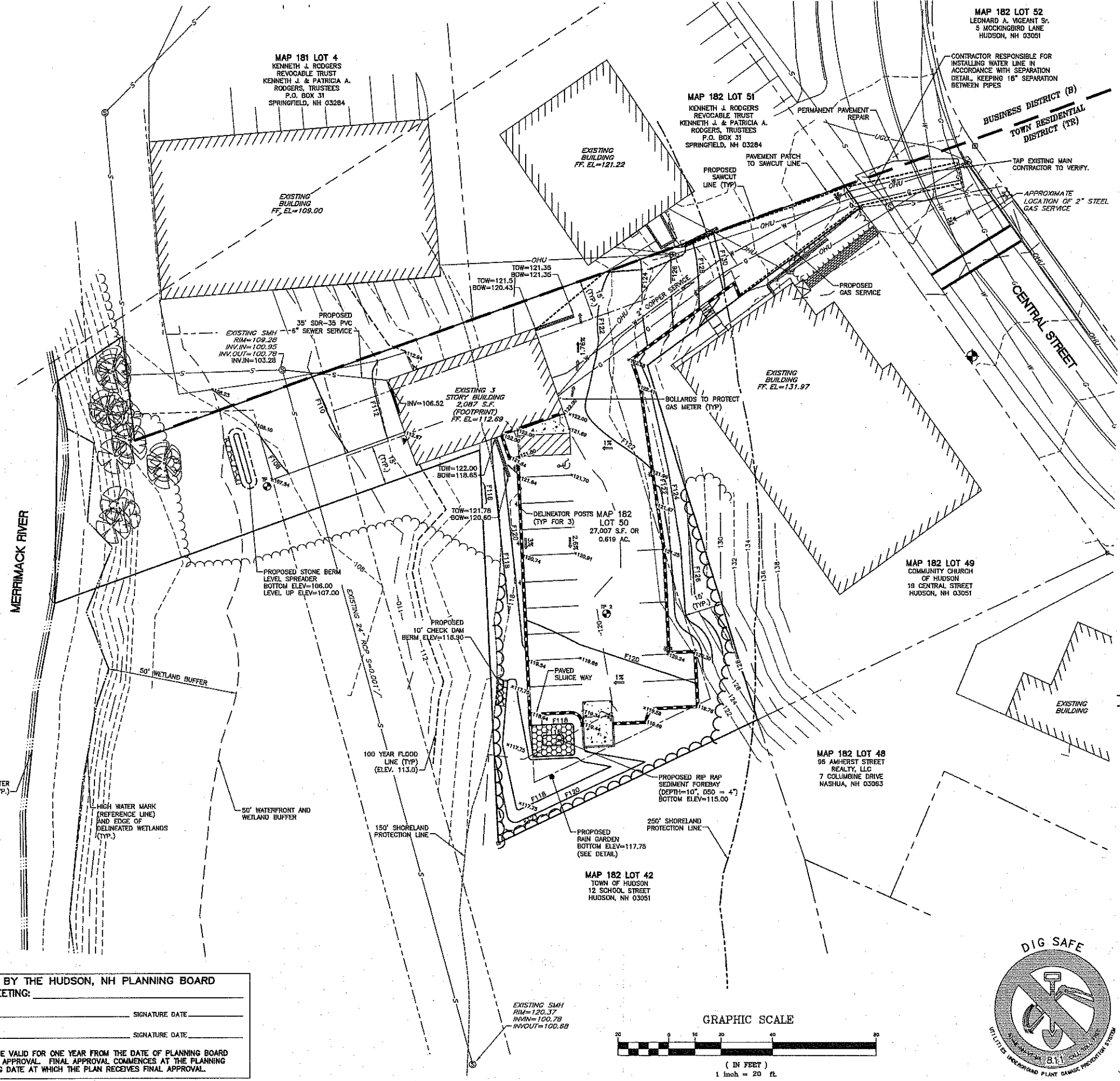
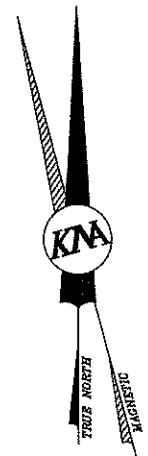
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



PLANT LIST

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT
TREES					
Ar	1	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2-2.5" CAL.	40-60'
SHRUBS					
Jc	2	JUNIPERUS CHINENSIS 'GOLD LACE'	GOLD LACE JUNIPER	18-24"	3-4'
Sp	1	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	2.5-3' B&B	8-10'

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- CONSTRUCTION NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPARTMENT, HUDSON, NEW HAMPSHIRE.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
 4. SEE CONSTRUCTION DETAILS FOR SPECIFIC CONSTRUCTION INFORMATION.
 5. CONTRACTOR SHALL COORDINATE WORK WITH CENTRAL STREET WITH ROAD AGENT. BONDING FOR RESTORATION MAY BE REQUIRED.

LOAM & SEED ALL DISTURBED AREAS (TYP.)

LEGEND

● IPIN-F	IRON PIN FOUND	---	ABUTTER LINE
○ OH-F	DRILL HOLE FOUND	---	PROPERTY LINE
⊕	UTILITY POLE	---	WETLAND
+	SIGN	---	EDGE OF PAVEMENT
⊙	LIGHT	---	EDGE OF GRAVEL
⊙	SEWER MANHOLE	---	BUILDING SETBACK
⊙	DRAINAGE MANHOLE	---	GREEN SPACE BUFFER
⊙	CATCH BASIN	---	EASEMENT
OHU	OVERHEAD UTILITIES	---	ZONE LINE
---	TREELINE	---	PROPOSED EDGE OF PAVEMENT
---	RETAINING WALL	---	PROPOSED BITUMINOUS CURB
---	PROPOSED WATER LINE	---	SNOW STORAGE
---	PROPOSED SEWER LINE	---	PROPOSED TREELINE
		---	PROPOSED 2' CONTOUR
		---	PROPOSED GAS LINE

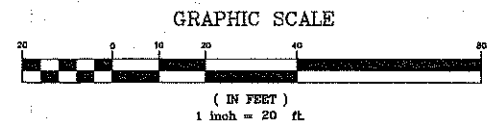
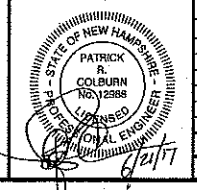
GRADING, DRAINAGE & UTILITY PLAN
PETER DESALVO CONTRACTING, LLC
 MAP 182 LOT 50
 15 CENTRAL STREET
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER / APPLICANT:
 15 CENTRAL STREET, LLC
 43 LOWELL ROAD, SUITE 202-12
 HUDSON, NH 03051

KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerces Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	6/6/17	ADD TREE COUNT FOR SHORELAND	GPC
2	6/13/17	REMED PER TOWN REVIEWER COMMENTS	GPC

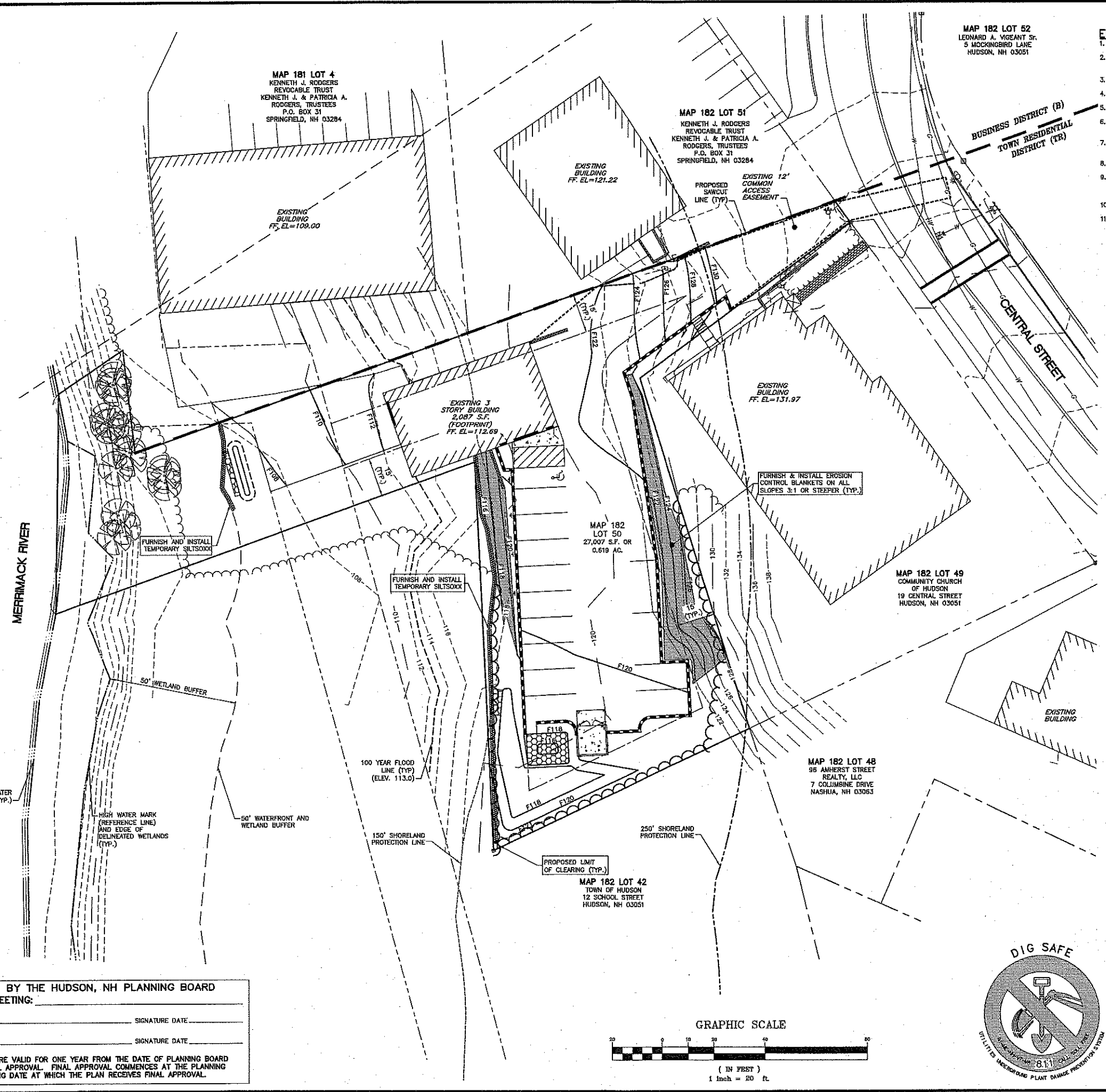
DATE: MARCH 29, 2017 SCALE: 1" = 20'
 PROJECT NO: 16-0928-2 SHEET 5 OF 10



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

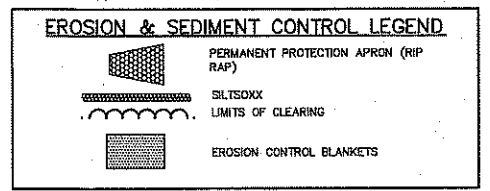
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE _____ SIGNATURE DATE _____
 SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



- EROSION CONTROL NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ON-SITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES AS WELL AS THE PERMANENT EROSION CONTROL MEASURES.
 2. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME.
 3. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
 4. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
 5. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
 6. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
 7. OFF-SITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
 8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
 9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
 10. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
 11. SNOW ACCUMULATED DURING THE WINTER CONSTRUCTION CONDITIONS SHOULD BE STORED IN THE STAGING & STOCKPILE AREA DETERMINED BY THE CONTRACTOR, SURROUNDED BY SILT FENCE.

LOAM & SEED ALL DISTURBED AREAS (TYP.)



EROSION CONTROL PLAN
PETER DESALVO CONTRACTING, LLC
 MAP 182 LOT 50
 15 CENTRAL STREET
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER / APPLICANT:
 15 CENTRAL STREET, LLC
 43 LOWELL ROAD, SUITE 202-12
 HUDSON, NH 03051

KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

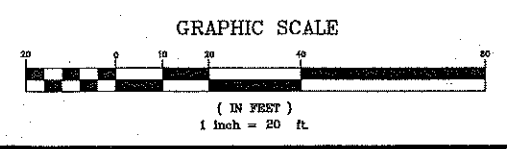
REVISIONS			
No.	DATE	DESCRIPTION	BY
1	8/6/17	ADD TREE COUNT FOR SHORELAND	GPC
2	6/13/17	REVISED PER TOWN REVIEWER COMMENTS	GPC

DATE: MARCH 29, 2017 SCALE: 1" = 20'
 PROJECT NO: 16-0928-2 SHEET 6 OF 10

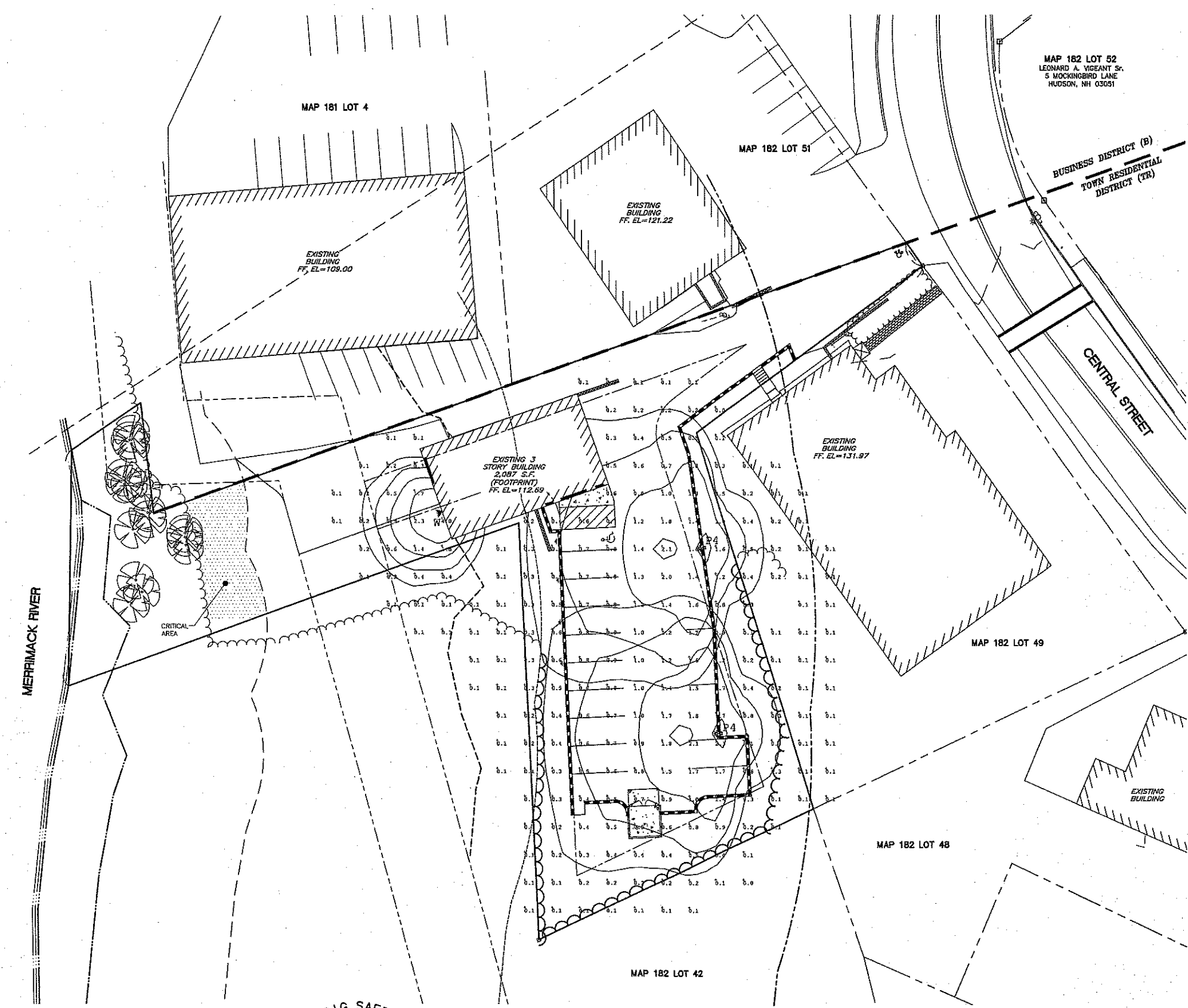
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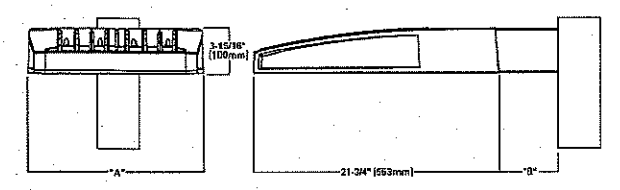
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- CONSTRUCTION NOTES:**
1. PROVIDE NEW WIRE FROM PANELS TO NEW AND EXISTING LIGHTS IN SCHEDULE 90 ELECTRICAL CONDUIT, 1" MINIMUM.
 2. PROVIDE PHOTO CELL AND TIME CLOCK CONTROL.
 3. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION REGARDING LIGHT INSTALLATION AND WIRING REQUIREMENTS.



GLEON GALLEON LED
NOT TO SCALE

IN ASSOCIATION WITH:

CHARRON
INCORPORATED
P.O. BOX 4650
MANCHESTER, NH 03108
(603) 624-4627
FAX (603) 624-9784

LIGHTING PLAN
PETER DESALVO CONTRACTING, LLC
MAP 182 LOT 50
15 CENTRAL STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

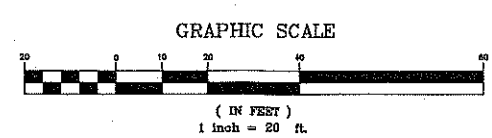
OWNER / APPLICANT:
15 CENTRAL STREET, LLC
43 LOWELL ROAD, SUITE 202-12
HUDSON, NH 03051

KMA
KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	6/8/17	ADD TREE COUNT FOR SHORELAND	GFC
2	6/13/17	REVISED PER TOWN REVIEWER COMMENTS	GFC

DATE: MARCH 29, 2017 SCALE: 1" = 20'
PROJECT NO: 16-0928-2 SHEET 7 OF 10

Symbol	Qty	Label	Arrangement	Description
☐	2	P4	SINGLE	GLEON-AF-01-LED-E1-T4FT/D9330-400Q200-D1-PP-F-FBC-AR (20' AFG)
☐	1	W	SINGLE	XTOR2B/ WALL MTD



StatArea 1
PARKING LOT AREA
Illuminance (Fc)
Average = 1.15
Maximum = 2.1
Minimum = 0.4
Avg/Min Ratio = 2.89
Max/Min Ratio = 5.25

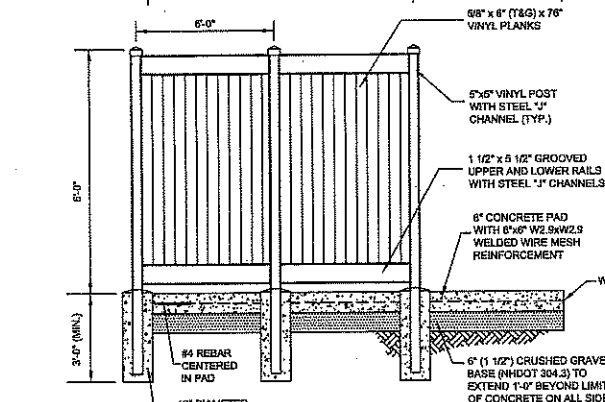
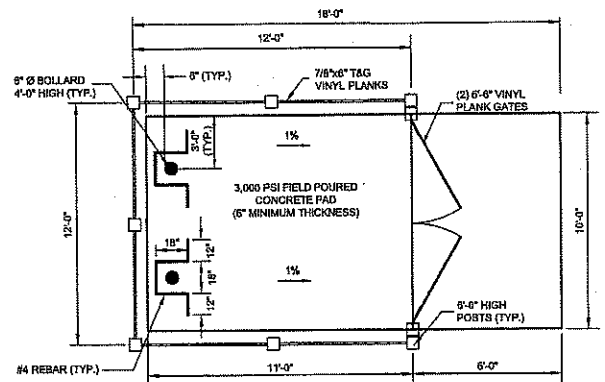
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APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

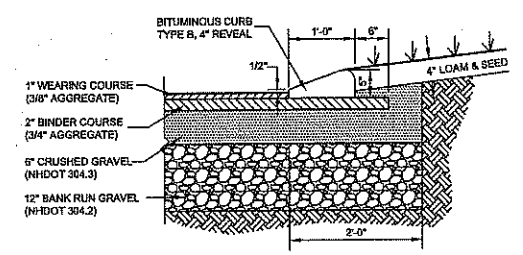
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VINYL TRASH ENCLOSURE DETAIL
NOT TO SCALE
(MARCH 2008)



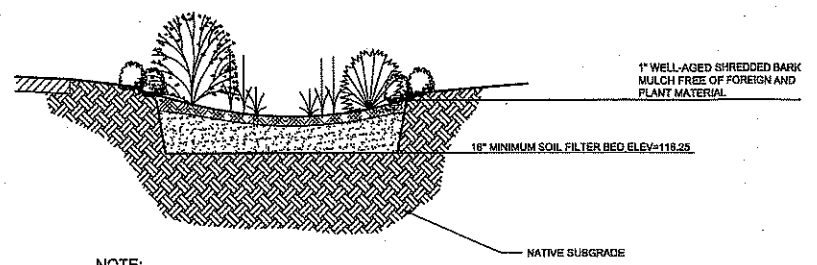
BITUMINOUS CURB TYPE B DETAIL
NOT TO SCALE
(MARCH 2008)

TP #1
LOGGED BY GPC
PERC TEST @ 20"
DATE: 3-29-2017
PERC RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

0"	FILL
15"	10YR 4/1, GRANULAR, FRIABLE SANDY LOAM, ROOTS
28"	10YR 4/3, GRANULAR, FRIABLE SANDY LOAM, FEW ROOTS
50"	10YR 5/4, GRANULAR, FRIABLE, LOAMY SAND, NO ROOTS

TP #2
LOGGED BY GPC
PERC TEST @ 20"
DATE: 3-29-2017
PERC RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

0"	TOPSOIL/FOREST MAT
8"	10YR 6/4, GRANULAR, FRIABLE SANDY LOAM, ROOTS
18"	10YR 4/2, GRANULAR, FRIABLE SANDY LOAM, FEW ROOTS
32"	10YR 6/8, GRANULAR, FRIABLE, LOAMY SAND, NO ROOTS



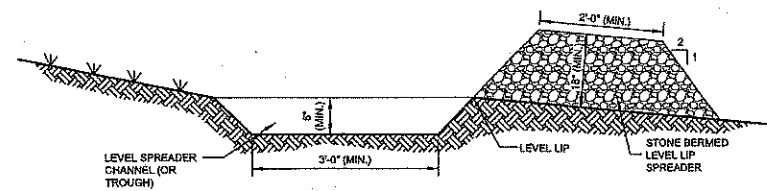
NOTE:
THIS SYSTEM SHALL NOT BE IN SERVICE UNTIL THE SPECIFIED PLANTINGS ARE INSTALLED AND THE CONTRIBUTING SURFACE AREA IS STABILIZED.

COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL	
		SIEVE NO.	PERCENT BY WEIGHT PASSING STANDARD SIEVE
FILTER MEDIA OPTION A			
ASTM C-33 CONCRETE SAND	50 TO 55		
LOAMY SAND TOPSOIL, WITH FINES AS INDICATED	20 TO 30	200	15 TO 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	<5
FILTER MEDIA OPTION B			
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	<5
	70 TO 80	10	85 TO 100
		20	70 TO 100
		80	15 TO 40
		200	8 TO 15
LOAMY COARSE SAND			

TYPICAL RAIN GARDEN SECTION
NOT TO SCALE
JUNE 2012

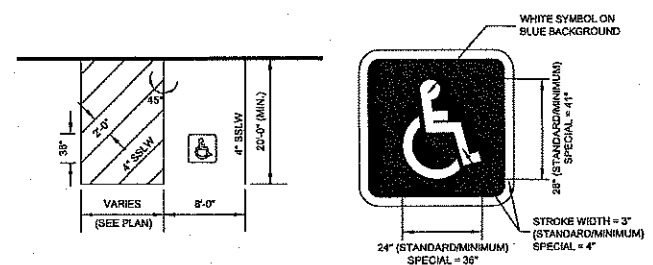
GRADATION OF STONE FOR LEVEL SPREADER BERM

SIEVE DESIGNATION	PERCENT BY WEIGHT PASSING SQUARE MESH SIEVES
12 INCH	100%
6 INCH	84 - 100%
3 INCH	68 - 83%
1 INCH	42 - 55%
NO. 4	8 - 12%

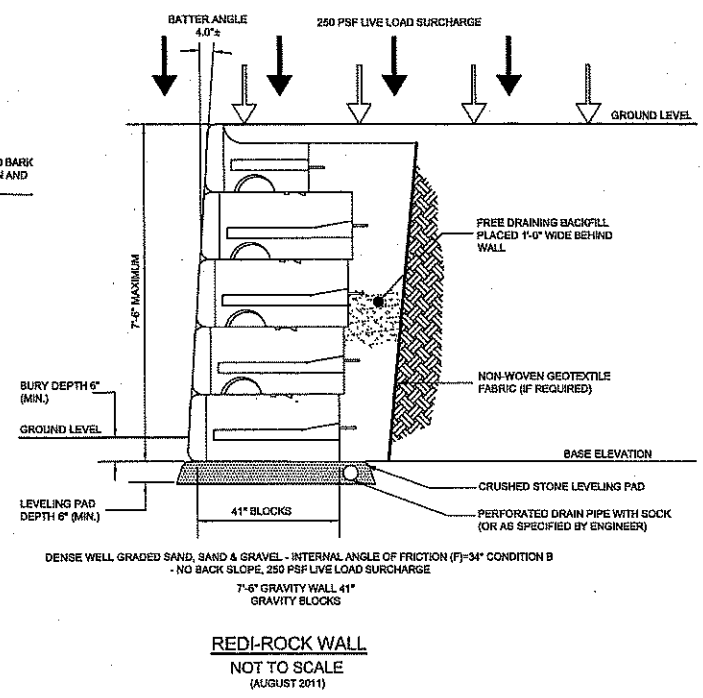


- NOTES:**
- CONSTRUCT THE LEVEL SPREADER LIP ON A ZERO PERCENT GRADE TO INSURE UNIFORM SPREADING OF RUN-OFF.
 - LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL, AND NOT ON FILL.
 - THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET INTO STABILIZED AREAS. WATER SHOULD NOT RECONCENTRATE IMMEDIATELY BELOW THE SPREADER.
 - PERIODIC INSPECTION AND REQUIRED MAINTENANCE SHALL BE PERFORMED.
- MAINTENANCE REQUIREMENTS:**
- INSPECT AT LEAST ONCE ANNUALLY FOR ACCUMULATION OF SEDIMENT AND DEBRIS AND FOR SIGNS OF EROSION WITHIN APPROACH CHANNEL, SPREADER CHANNEL OR DOWN-SLOPE OF THE SPREADER.
 - REMOVE DEBRIS WHENEVER OBSERVED DURING INSPECTION.
 - REMOVE SEDIMENT WHEN ACCUMULATION EXCEEDS 25% OF SPREADER CHANNEL DEPTH.
 - MOW AS REQUIRED BY LANDSCAPE DESIGN. AT A MINIMUM, MOW ANNUALLY TO CONTROL WOODY VEGETATION WITHIN THE SPREADER.
 - SNOW SHOULD NOT BE STORED WITHIN OR DOWN-SLOPE OF THE LEVEL SPREADER OR ITS APPROACH CHANNEL.
 - REPAIR ANY EROSION AND RE-GRADE OR REPLACE STONE BERM MATERIAL, AS WARRANTED BY INSPECTION.
 - RECONSTRUCT THE SPREADER IF DOWN-SLOPE CHANNELIZATION INDICATES THAT THE SPREADER IS NOT LEVEL OR THAT DISCHARGE HAS BECOME CONCENTRATED, AND CORRECTIONS CANNOT BE MADE THROUGH MINOR RE-GRADEING.

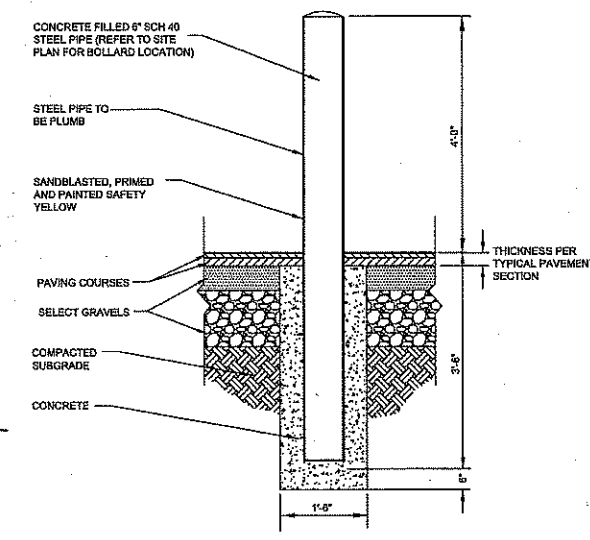
STONED BERMED LEVEL LIP SPREADER DETAIL
NOT TO SCALE
(APRIL 2010)



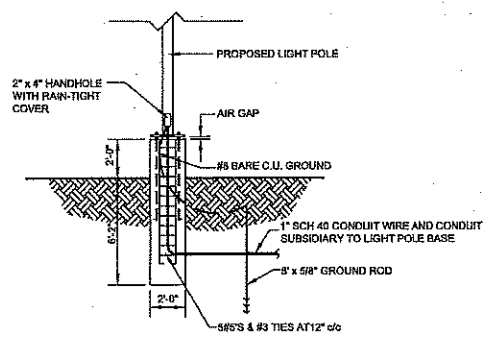
HANDICAP STRIPING DETAIL
NOT TO SCALE
(MARCH 2012)



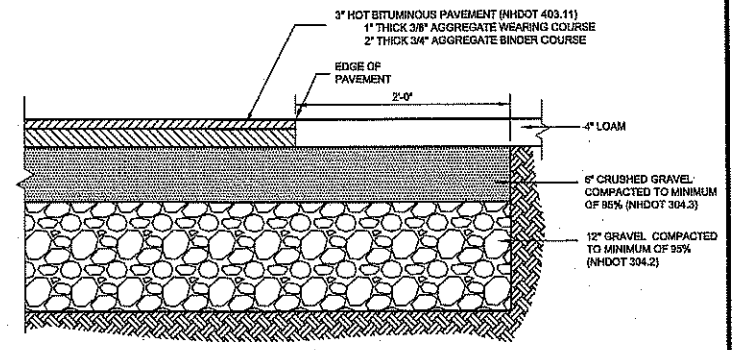
REDI-ROCK WALL
NOT TO SCALE
(AUGUST 2011)



BOLLARD DETAIL
NOT TO SCALE
(MARCH 2008)



CONCRETE LIGHT POLE BASE DETAIL
NOT TO SCALE
(MARCH 2008)



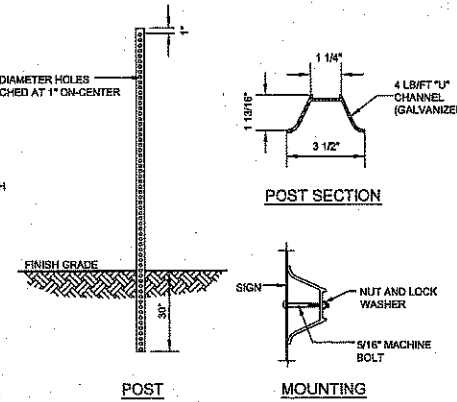
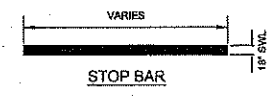
DRIVEWAY AND PARKING LOT SECTION
NOT TO SCALE
(MARCH 2008)

- TRAFFIC SIGN NOTES:**
- ALL TRAFFIC SIGN FACES AND SHAPES SHALL CONFORM WITH THE MUTCD.
 - ALL SIGN POST MOUNTS SHALL CONFORM WITH THE AASHTO AND MHDOT SPECIFICATIONS.



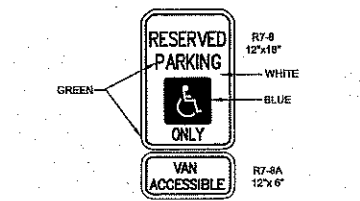
STOP SIGN DETAIL
NOT TO SCALE
(MARCH 2008)

- STRIPING NOTES:**
- ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THESE STANDARDS AND THE CURRENT EDITION OF MUTCD.
 - WIDTH OF LINES SHALL VARY NO MORE THAN +/- 1/4 INCH FROM THAT SPECIFIED.
 - THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED.
 - OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.



POST SECTION

STEEL SIGN POST DETAIL
NOT TO SCALE
(MARCH 2008)



VAN ACCESSIBLE HANDICAP PARKING SIGN DETAIL
NOT TO SCALE
(MARCH 2008)

CONSTRUCTION DETAILS
PETER DESALVO CONTRACTING, LLC
MAP 182 LOT 50
15 CENTRAL STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

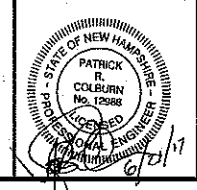
OWNER / APPLICANT:
15 CENTRAL STREET, LLC
43 LOWELL ROAD, SUITE 202-12
HUDSON, NH 03051

KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

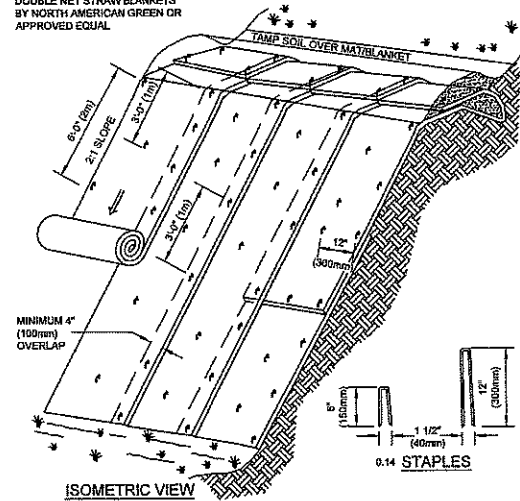
REVISIONS

No.	DATE	DESCRIPTION	BY
1	5/6/17	ADD TREE COUNT FOR SHORELAND	GPC
2	6/13/17	REVISED PER TOWN REVIEWER COMMENTS	GPC

DATE: MARCH 29, 2017 SCALE: 1" = 20'
PROJECT NO: 16-0928-2 SHEET 8 OF 10

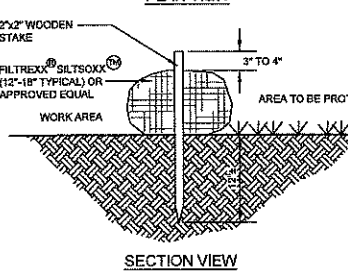
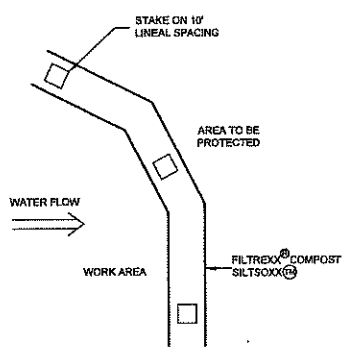


MATS/BLANKETS SHOULD BE INSTALLED VERTICALLY DOWNSLOPE AND SHALL BE DOUBLE NET STRAW BLANKETS BY NORTH AMERICAN GREEN OR APPROVED EQUAL.



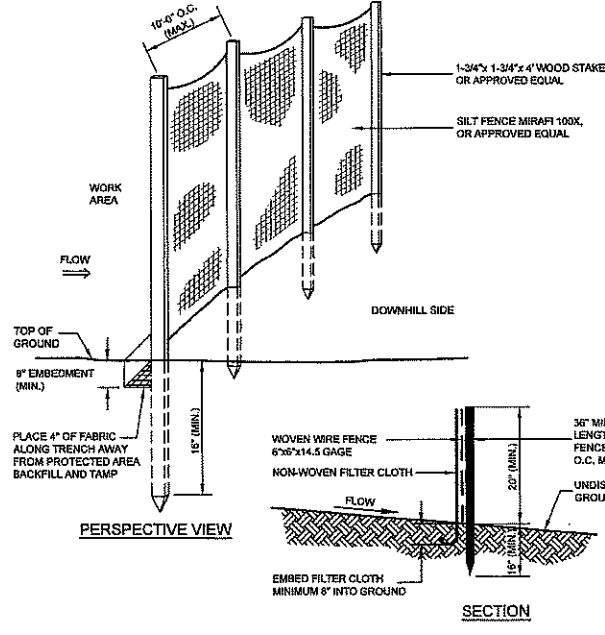
- NOTES:**
- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLOGS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
 - APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
 - LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

EROSION CONTROL BLANKETS - SLOPE INSTALLATION
NOT TO SCALE
(AUGUST 2011)

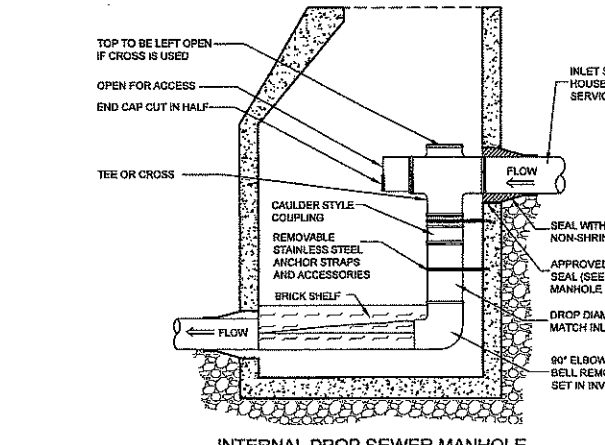


- NOTES:**
- ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
 - SILTOSOXX® COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
 - SILTOSOXX® DEPICTED IS FOR MINIMUM SLOPES. GREAT SLOPES MAY REQUIRE LARGER SOCKS PER THE ENGINEER.
 - COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

FILTREXX® SILTOSOXX® DETAIL
NOT TO SCALE
(AUGUST 2011)



SILT FENCE DETAIL
NOT TO SCALE
(MARCH 2008)



INTERNAL DROP SEWER MANHOLE
NOT TO SCALE
(MARCH 2008)

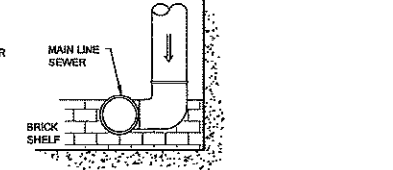
CONSTRUCTION SPECIFICATIONS:

- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE OR STAPLES WHERE NOTED OR AS DIRECTED BY DESIGN ENGINEER.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MIDSECTION AND BOTTOM.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 8 INCHES, FOLDED AND STAPLED.
- FENCE POSTS SHALL BE A MINIMUM OF 38 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.

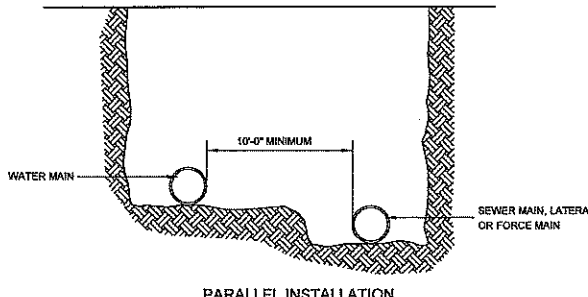
MAINTENANCE:

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

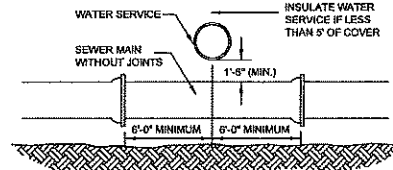
- NOTES:**
- DROP DIAMETER TO MATCH INLET DIAMETER.
 - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SEWER MANHOLE DETAILS.
 - INSIDE DROP MANHOLES SHALL HAVE A MAXIMUM OF:
 - A. ONE 18" INTERNAL DROP PIPE FOR 4'-0" DIAMETER MANHOLES; AND
 - B. ONE 18" DROP PIPE, OR UP TO TWO 10" DROP PIPES, FOR 8'-0" DIAMETER MANHOLE.
 - ANCHOR STRAPS AND BOLTS TO BE STAINLESS STEEL AND NOT MORE THAN 2'-0" ON CENTER.
 - STRAPS - 2" WIDE
 - BOLTS - 1/2" x 2-1/2" LONG



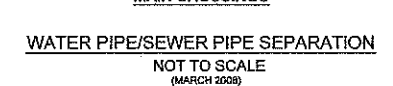
INVERT DETAIL AT SIDE DROPS



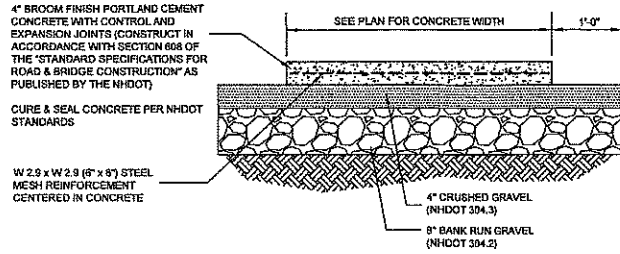
PARALLEL INSTALLATION



MAIN CROSSINGS



WATER PIPE/SEWER PIPE SEPARATION
NOT TO SCALE
(MARCH 2008)



CONCRETE WALK DETAIL
NOT TO SCALE
(MARCH 2008)

CONSTRUCTION SEQUENCE

- FIRST CUT AND CLEAR TREES AND BRUSH ONLY WITHIN DESIGNATED LIMITS OF CLEARING AS NECESSARY TO FACILITATE PROPOSED CONSTRUCTION. ALL TREES, BRANCHES AND OTHER VEGETATIVE MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR. THIS PROJECT IS MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
- PRIOR TO COMMENCEMENT OF ANY EARTHMOVING OPERATIONS, ALL APPLICABLE TEMPORARY EROSION CONTROL MEASURES, INCLUDING SPECIFIED PERIMETER SILTATION FENCING AND STABILIZED CONSTRUCTION EXIT SHALL BE IN PLACE AS SHOWN ON THE PROJECT PLANS.
- COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR ORGANIC DEBRIS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR. NATIVE ORGANIC SOIL MATERIALS SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED WITHIN AREAS OUT OF THE WAY OF OTHER CONSTRUCTION ACTIVITIES AND DRAINAGE FLOW. STOCKPILES SHALL BE TEMPORARILY SEEDDED WITH WINTER RYE AND BE SURROUNDED WITH HAY BALES AND/OR FABRIC SILTATION FENCE IN ORDER TO PREVENT LOSS DUE TO EROSION.
- BEGIN EARTHMOVING OPERATIONS, COMMENCING WITH WORK NEEDED TO BALANCE SITE. PERMANENT DOWNSLOPE WORK SHALL BE PROTECTED FROM UPSTREAM STORMWATER FLOW BY THE CONSTRUCTION OF TEMPORARY EARTHEN DIKES OR EXCAVATED SWALES.
- CONTINUE EARTHMOVING OPERATIONS UNTIL DESKIN SUBGRADE IS ACHIEVED.
- INSTALL DRAINAGE SYSTEMS AND OTHER UTILITIES WORKING FROM LOW TO HIGH. INCOMPLETE WORK SHALL BE PROTECTED FROM SILTATION BY THE USE OF SILTATION BARRIERS AROUND SWALES UNTIL THE SITE HAS BECOME FULLY STABILIZED.
- PLACE GRAVEL AND CRUSHED GRAVEL OVER PROPOSED DRIVEWAY AND PARKING AREAS AND COMPACT IN SPECIFIED LIFT THICKNESS.
- COMPLETE EXCAVATION/STABILIZATION GRADING ACTIVITIES. WHEN COMPLETE, IMMEDIATELY BEGIN TOPSOILING PROPOSED TURF AREAS USING STOCKPILED LOAM SUPPLEMENTED WITH BORROW LOAM, IF NECESSARY, TO LEAVE A THICKNESS OF 4 INCHES OF FRIABLE LOAM.
- FINE GRADE ALL FUTURE TURF AREAS AND HYDROSEED WITH THE SPECIFIED SEED MIXTURE IMMEDIATELY AFTER FINE GRADING IS COMPLETED. ALL AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
- INSTALL THE BINDER COURSE OF PAVEMENT OVER ALL DESIGNATED AREAS.
- CONTINUE TO MONITOR AND RECTIFY MINOR SITE AND SLOPE EROSION UNTIL ENTIRE SITE APPEARS TO BE COMPLETELY STABILIZED AND VEGETATED WITH A HEALTHY STAND OF TURF OR GROUND COVER. MAINTAIN SPECIFIED SILTATION/EROSION CONTROL MEASURES THROUGH ONE WINTER.
- INSTALL THE SPECIFIED WEARING COURSE OF PAVEMENT OVER THE BINDER COURSE.
- COMPLETE INSTALLATION OF LANDSCAPING, SIGNAGE AND OTHER SITE AMENITIES.

EROSION CONTROL NOTES

- EXPOSED EARTHWORK SHALL BE CONFINED TO AS LIMITED AN AREA AS IS PRACTICAL AT ANY GIVEN TIME THROUGHOUT THE CONSTRUCTION SEQUENCE. AT NO TIME SHALL MORE THAN FIVE (5) ACRES OF SITE AREA BE IN AN UNSTABLE CONDITION. NO GIVEN AREA OF THE SITE SHALL BE LEFT IN AN UNSTABILIZED CONDITION FOR A PERIOD OF TIME EXCEEDING THIRTY (30) CALENDAR DAYS.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS. IN ADDITION, SIMILAR MEASURES SHALL BE INSTALLED WHERE AND WHEN THE FIELD CONDITION, OR FIELD OPERATION OF THE INDIVIDUAL SITE CONTRACTOR, MAY WARRANT. ALL TEMPORARY EROSION CONTROL MEASURES USED SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25" OF RAINFALL OR MORE. THEY SHALL BE CLEANED AND MAINTAINED AND OTHERWISE KEPT IN AN EFFECTIVE OPERATING MANNER THROUGHOUT THE CONSTRUCTION PERIOD.
- ALL DISTURBED AREAS DESIGNATED TO BE TURF, SHALL RECEIVE A MINIMUM APPLICATION OF 4 INCHES OF LOAM (COMPACTED THICKNESS), PRIOR TO FINAL SEEDING AND MULCHING.
- ALL SWALES AND DITCHLINES SHALL BE PERIODICALLY CLEANED OF DEPOSITED SEDIMENT SO AS TO MAINTAIN AN EFFECTIVE GRADE AND CROSS SECTION. ALL SWALES AND DITCHLINES SHALL BE FULLY STABILIZED PRIOR TO HAVING STORMWATER DIRECTED TOWARDS THEM.
- IN THE EVENT THAT, DURING CONSTRUCTION OF ANY PORTION OF THIS PROJECT, A WATER SHUTDOWN IS NECESSARY, THE CONTRACTOR SHALL STABILIZE ALL INCOMPLETE WORK AND PROVIDE FOR SUITABLE METHODS OF DIVERTING RUNOFF IN ORDER TO ELIMINATE SHEET FLOW ACROSS FROZEN SURFACES.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- DUST SHALL BE CONTROLLED BY THE USE OF WATER AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD, IN ACCORDANCE WITH ENV-A 1000.
- IN NO WAY ARE THESE TEMPORARY EROSION CONTROL MEASURES INDICATED ON THESE PLANS TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT IN INSTALLING SUPPLEMENTARY EROSION CONTROL MEASURES WHERE AND WHEN SPECIFIC SITE CONDITIONS AND/OR CONSTRUCTION METHODOLOGIES MAY WARRANT.
- AREAS HAVING FINISH GRADE SLOPES OF 3:1 OR STEEPER, SHALL BE STABILIZED WITH JUTE MATTING WHEN AND IF FIELD CONDITIONS WARRANT, OR IF SO ORDERED. JUTE MATTING INSTALLED TO CONFORM WITH THE RECOMMENDED BEST MANAGEMENT PRACTICE OUTLINED IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION.
- ALL DETENTION PONDS AND TREATMENT SWALES SHALL BE CONSTRUCTED PRIOR TO ANY EARTH MOVING ACTIVITIES THAT WILL INFLUENCE STORMWATER RUNOFF.
- ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

CONSTRUCTION DETAILS
PETER DESALVO CONTRACTING, LLC
MAP 182 LOT 50
15 CENTRAL STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER / APPLICANT:
15 CENTRAL STREET, LLC
43 LOWELL ROAD, SUITE 202-12
HUDSON, NH 03051

KMA
KREACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 308, Bedford, NH 03110 Phone (603) 627-2891

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	6/6/17	ADD TREE COUNT FOR SHORELAND	GPC
2	6/13/17	REVISED PER TOWN REVIEWER COMMENTS	GPC

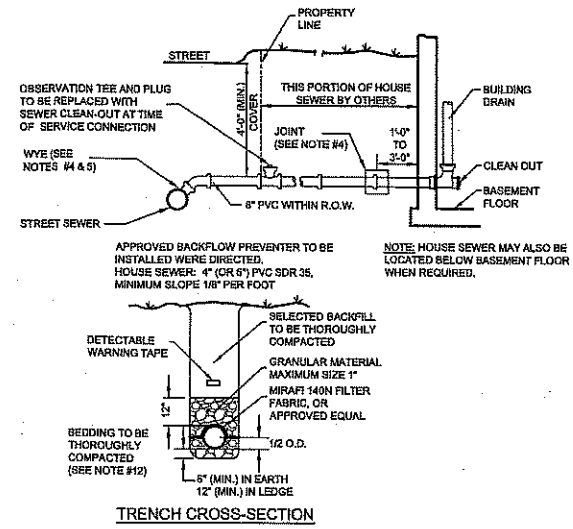
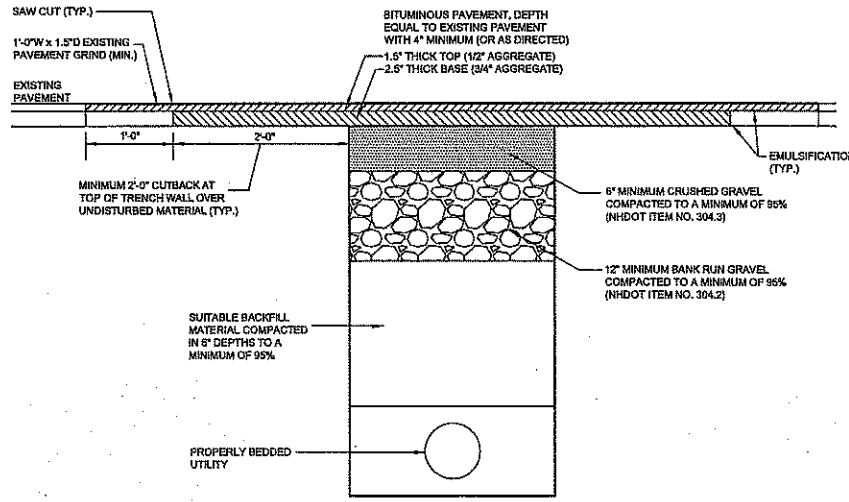
DATE: MARCH 29, 2017 SCALE: 1" = 20'
PROJECT NO: 16-0928-2 SHEET 9 OF 10

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

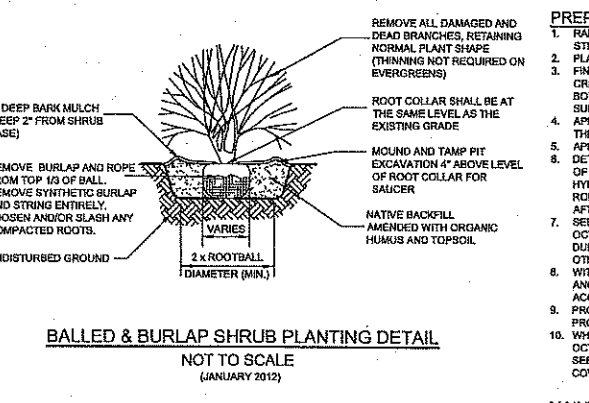
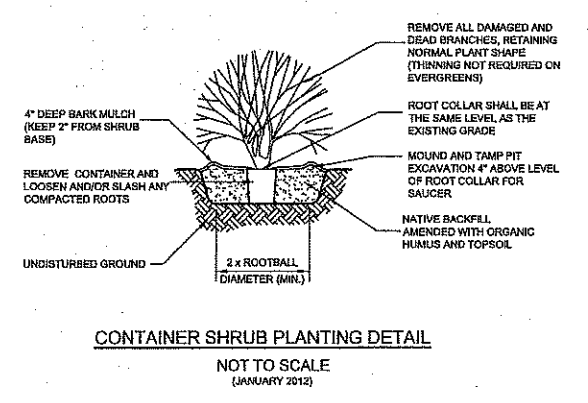
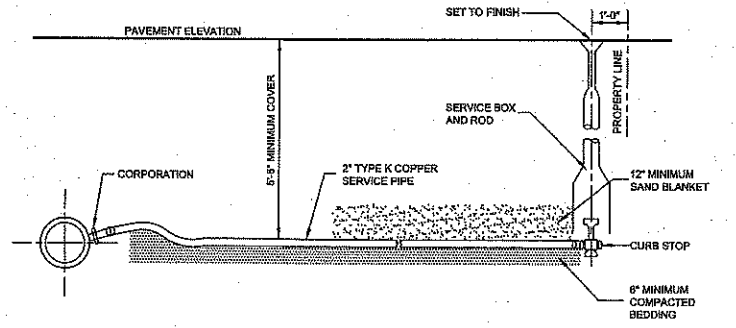
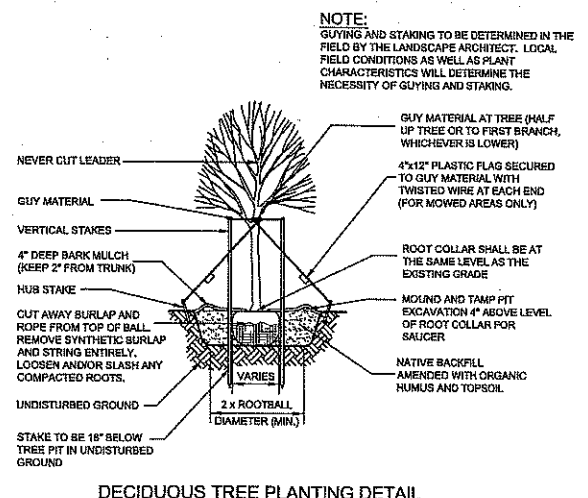
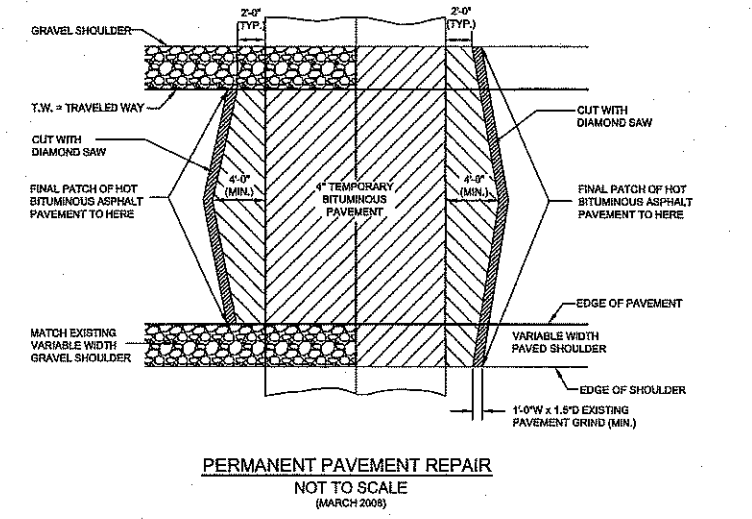
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____
SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



- NOTES:**
- MINIMUM SIZE PIPE FOR HOUSE SEWER SHALL BE 8 INCHES. MINIMUM SIZE FOR STREET SEWER LINES SHALL BE 18 INCHES.
 - PIPE AND JOINT MATERIALS:**
 - DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE AMERICAN WATER WORKS ASSOCIATION (AWWA):
 - AWWA C151/A21.01-02 - FOR DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL OR SAND-LINED MOLDS, FOR WATER OR OTHER LIQUIDS.
 - AWWA C150/A21.05-02 - FOR THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A536-04 (2004) DUCTILE IRON CASTINGS.
 - JOINTS SHALL BE MECHANICAL, PUSH-ON OR BALL-AND-SOCKET TYPE.
 - PLASTIC GRAVITY SEWER PIPE AND FITTINGS SHALL COMPLY WITH THE FOLLOWING STANDARDS:
 - ASTM D3034-04A - PVC, SOLID WALL.
 - AT LEAST 45 PSI AT 5% PIPE DIAMETER DEFLECTION, AS MEASURED IN ACCORDANCE WITH ASTM D2414-02 DURING MANUFACTURING; AND
 - JOINT SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D3212-06A(2009)S1 AND SHALL BE PUSH-ON OR BELL-AND-SPIGOT TYPE.
 - DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
 - JOINTS SHALL BE DEPENDENT UPON PROPER MATERIALS (SEE NOTE #2) FOR WATER TIGHTNESS, AND ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
 - SERVICE CONNECTIONS SHALL USE SANITARY TEE OR WYE FITTINGS FOR ALL NEW CONSTRUCTION. THE CENTERLINE OF ALL BUILDING CONNECTIONS SHALL ENTER THE TOP HALF OF THE SEWER. ANY SERVICE CONNECTION WITH A VERTICAL RISE UP TO 4 FEET MAY HAVE THE SEWER FITTING SET VERTICALLY. ANY SERVICE CONNECTION WITH A VERTICAL RISE UP TO 12 FEET SHALL EMPLOY NON-ENCASED RISERS THAT PROTECT AGAINST PIPE PENETRATION OR FAILURE AT THE FITTING BY THE USE OF BELL-ON-BELL CONNECTIONS. FOR EXISTING SEWER WHERE FITTINGS CANNOT BE INSTALLED, SADDLE CONNECTIONS SHALL BE USED. PRESSURE SEWERAGE SHALL HAVE AN ISOLATION VALVE OR CURB STOP VALVE INSTALLED AT THE PROPERTY LINE. IF A CHECK VALVE IS USED AT THE PROPERTY LINE, THE VALVE SHALL BE INSTALLED WITHIN A VAULT TO FACILITATE MAINTENANCE. ROOF DOWNSPOUTS, EXTERIOR OR INTERIOR FOUNDATION DRAINAGE, SUMP PUMPS OR OTHER SOURCE OF SURFACE WATER RUN-OFF OR GROUND WATER SHALL NOT BE DIRECTLY OR INDIRECTLY CONNECTED TO A PUBLIC SEWER.
 PIPE INSTALLATION:
 - THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER.
 - PIPES SHALL BE CAREFULLY BEDDED ON A 4 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL.
 - BEDDING AND RE-FILL, FOR A DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE, SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH THE APPROPRIATE MECHANICAL DEVICES.
 - THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE HOUSE FOUNDATION AT A GRADE OF NOT LESS THAN 1/8 INCH PER FOOT.
 - PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO Dewater THE TRENCH.
 - TESTING:** THE COMPLETED HOUSE SEWER SHALL BE SUBJECTED TO A LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS: (PRIOR TO BACKFILLING)
 - AN OBSERVATION TEE SHALL BE INSTALLED AS SHOWN AND WHEN READY FOR TESTING, AN INFLATABLE BAGGER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE TEE. AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.
 - THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER TO SIMULATE AS NEARLY AS POSSIBLE WET TRENCH CONDITIONS OR, IF THE TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEAN OUT WITH A FLASHLIGHT.
 - DRY FLUORESCENCE DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER. OR IF THE TRENCH IS WET, GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE FIRST DOWNSTREAM MANHOLE.
 - LEAKAGE OBSERVED IN ANY OF THE ABOVE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG-UP, IF NECESSARY, AND RE-LAID SO AS TO ASSURE WATER-TIGHTNESS.
 - ILLEGAL CONNECTIONS: NOTHING BUT SANITARY WASTE FLOW FROM TOILETS, SINKS, LAUNDRY, ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SUMP PUMPS OR ANY OTHER SIMILAR CONNECTION CARRYING RAIN WATER, DRAINAGE OR GROUND WATER, SHALL NOT BE PERMITTED.
 - WATER SERVICE SHALL NOT BE LAID IN THE SAME TRENCH AS THE SEWER SERVICE, UNLESS NECESSARY AND APPROVED BY THE A.H.U. WHEN NECESSARY, THE WATER SERVICE SHALL BE PLACED ABOVE AND TO ONE SIDE OF THE SEWER SERVICE, AS SHOWN.
 - LOCATION: THE LOCATION OF THE WYE SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS MATERIAL, RIG OR PIPE SHALL BE PLACED OVER THE WYE TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPE FINDER.
 - CHIMNEY CONNECTIONS ARE ONLY PERMITTED IF ALLOWED BY THE A.H.U. ANY VERTICAL RISE GREATER THAN 4 FEET SHALL BE PROVIDED WITH ADDED SUPPORT BY ENCASED THE FITTING AND ALSO IN A PRECAST CONCRETE CHIMNEY. UP TO 12 FEET OF VERTICAL RISE CAN ALSO BE SECURED BY PROPER MEANS AS LONG AS IT CONSISTS OF A BELL-ON-BELL CONNECTION PROPERLY PROTECTED AGAINST PIPE PENETRATION AND IF IT IS ALLOWED BY THE A.H.U.
 - UNLESS OTHERWISE NOTED, ALL GRANULAR MATERIAL SHALL BE PLACED IN 12" MAXIMUM LIFTS AND COMPACTED TO 95% OF THE MODIFIED PROCTOR TEST DENSITY.



TURF ESTABLISHMENT SCHEDULE

PURPOSE:
TO ESTABLISH AND MAINTAIN PERMANENT AND TEMPORARY TURF AREAS, RESTORE GROWTH TO EXISTING TURF AREAS DISTURBED DURING CONSTRUCTION AND CONTROL SOIL EROSION.

PREPARATION AND EXECUTION:

- RAKE THE SUBGRADE OF ALL AREAS TO BE LOAMED AND SEEDED TO REMOVE RUBBISH, STICKS, ROOTS AND STONES LARGER THAN 1 INCH.
- PLACE LOAM OVER AREAS TO BE SEEDED AND SPREAD.
- FINE GRADE SURFACE AND SUPPLEMENT WITH SUITABLE LOAM WHERE NEEDED TO CREATE A UNIFORM SURFACE ACCORDING TO THE FINISH GRADES INDICATED; TOP AND BOTTOM OF SLOES SHALL BE ROUNDED. NO LOAM SHALL BE SPREAD IF THE SUBGRADE IS EXCESSIVELY WET OR FROZEN.
- APPLY LIME EVENLY OVER LOAM SURFACE AND THOROUGHLY INCORPORATE LIME INTO THE LOAM BY HEAVY RAKING TO AT LEAST ONE-HALF THE DEPTH OF THE LOAM.
- APPLY FERTILIZER AND MIX WITH THE UPPER 2 INCHES OF LOAM.
- DETERMINE APPROPRIATE MIXTURE FOR AREA TO BE SEEDED BASED ON EXAMINATION OF PROJECT PLANS. UNIFORMLY SPREAD THE SEED BY BROADCASTING OR HYDROSEEDING. IF BROADCASTING, LIGHTLY RAKE INTO THE PREPARED SURFACE AND ROLL. IF HYDROSEEDING, USE 4 TIMES THE RECOMMENDED RATE OF INOCULANT. AFTER SEED IS SPREAD, WATER THOROUGHLY WITH A FINE SPRAY.
- SEEDED PERMANENT COVER SHALL OCCUR BETWEEN SEPTEMBER 15 AND OCTOBER 15 AND BETWEEN APRIL 15 AND JUNE 15. SEEDING SHALL NOT BE DONE DURING WINDY WEATHER, WHEN THE GROUND IS FROZEN OR EXCESSIVELY WET OR OTHERWISE UNUSABLE.
- WITHIN 24 HOURS AFTER SEEDING OPERATION, UNIFORMLY MULCH THE AREA WITH HAY. ANCHOR MULCH ON ALL SLOPES EXCEEDING 3:1 USING MULCH NETTING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER.
- PROTECT AND PREVENT AGAINST WASHOUTS, ANY WASHOUTS WHICH OCCUR SHALL BE PROMPTLY REGRADED AND RESEEDED.
- WHEN IT IS IMPRACTICAL TO ESTABLISH PERMANENT GROWTH ON DISTURBED EARTH BY OCTOBER 15, A TEMPORARY SEED MIXTURE SHALL BE USED. WHEN TEMPORARY SEEDING CANNOT ESTABLISH VISIBLE GROWTH, THE DISTURBED AREA SHALL BE COVERED WITH SIX INCHES OF MULCH FOR THE WINTER.

MAINTENANCE:
ALL SEEDED AREAS SHALL BE KEPT WATERED AND IN GOOD CONDITION. RESEED AS NECESSARY TO ESTABLISH HEALTHY UNIFORM GROWTH OVER THE ENTIRE SEEDED AREA. MAINTAIN SEEDED AREAS IN AN APPROVED CONDITION UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE REPAIRS FOR DAMAGE CAUSED BY EROSION.

APPLICATION RATES:

- LOAM SHALL BE APPLIED AT A MINIMUM COMPACTED THICKNESS OF 4 INCHES.
- LIME SHALL BE APPLIED AT A RATE OF 75 TO 100 POUNDS PER 1,000 S.F.
- FERTILIZER SHALL BE APPLIED AT A RATE OF 30 POUNDS PER 1,000 S.F.
- SEED MIXTURE FOR LAWN AREAS SHALL BE APPLIED AT A RATE OF AT LEAST 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
- TEMPORARY SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1,000 S.F.
- SEED MIXTURE FOR SLOPE AREAS SHALL BE APPLIED AT A RATE OF 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
- SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS SHALL BE APPLIED AT A RATE OF 70 POUNDS PER ACRE OR 1.5 POUNDS PER 1,000 S.F.
- MULCH SHALL BE APPLIED AT A RATE OF 90 POUNDS PER 1,000 S.F.

MATERIALS:

- LOAM USED FOR TOPSOIL SHALL BE FRABLE, FERTILE, NATURAL FREE-DRAINING LOAM; FREE OF ROOTS, GRASS, STICKS, WEEDS, CLAY, SOD LUMPS, DEBRIS AND STONES LARGER THAN 1 INCH IN ANY DIMENSION. SOIL SHALL NOT BE EXCESSIVELY ACID OR ALKALINE AND CONTAIN NO TOXIC MATERIALS.
- LIME SHALL BE GROUND LIMESTONE CONTAINING NO LESS THAN 95% CALCIUM AND MAGNESIUM CARBONATES.
- FERTILIZER SHALL BE 10-20-20 COMMERCIAL GRADE.
- SEED MIXTURE FOR LAWN AREAS SHALL BE 99% PURE LIVE SEED AND CONSIST OF THE FOLLOWING:
 - 25% CREEPING RED FESCUE
 - 25% KENTUCKY BLUEGRASS
 - 25% REDTOP
 - 25% MANHATTAN PERENNIAL RYEGRASS
- TEMPORARY SEEDING MIXTURE SHALL BE AN APPROVED CONSERVATION MIX OR CONSIST OF THE FOLLOWING:
 - 15% BLACKWELL OR SHELTER SWITCHGRASS
 - 30% INGRA OR TAW BIK BLESSEM
 - 30% CAMPER OR BLAZE LITESTEM
 - 15% NE-27 OR BLAZE SAND LOVEGRASS
 - 10% VIKING BIRDSFOOT TREFLOID
 INOCULUM SPECIFIC TO BIRDSFOOT TREFLOID MUST BE USED WITH THIS MIXTURE. IF SEEDING BY HAND, A STICKING AGENT SHALL BE USED. IF SEEDING WITH A HYDROSEEDER, USE FOUR TIMES THE RECOMMENDED AMOUNT OF INOCULUM.
- SEED MIXTURE FOR SLOPE AREAS SHALL BE 99% PURE LIVE SEED AND SHALL CONSIST OF THE FOLLOWING:
 - 30% CREEPING RED FESCUE
 - 40% PERENNIAL RYE GRASS
 - 15% REDTOP
 - 15% BIRDSFOOT TREFLOID
 IN ADDITION TO THE MIX SPECIFIED ABOVE, CROWN VETCH SHALL BE USED ON ALL SLOPES STEEPER THAN 3:1. CROWN VETCH SHALL BE APPLIED AT A RATE OF 10 POUNDS PER ACRE AND INOCULUM SPECIFIC TO CROWN VETCH MUST BE USED.
- SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS, INCLUDING DETENTION BASINS AND VEGETATED TREATMENT SWALES SHALL CONSIST OF THE FOLLOWING:
 - 25% CREEPING RED FESCUE
 - 15% SWITCH GRASS
 - 15% FOX SEDGE
 - 15% CREEPING BENTGRASS
 - 10% FLATPEA
 - 20% WILDFLOWER VARIETY
- HAY USED FOR MULCH SHALL CONSIST OF MOWED AND PROPERLY CURED GRASS OR LEGUME MIXTURES, FREE FROM WEEDS, TWIGS, DEBRIS OR OTHER DELETERIOUS MATERIAL AND ROT OR MOLD.

CONSTRUCTION DETAILS
PETER DESALVO CONTRACTING, LLC
MAP 182 LOT 50
15 CENTRAL STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER / APPLICANT:
15 CENTRAL STREET, LLC
43 LOWELL ROAD, SUITE 202-12
HUDSON, NH 03051

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerces Park North, Suite 3B, Bedford, NH 03110 Phone (603) 687-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	6/5/17	ADD TREE COUNT FOR SHORLAND	GFC
2	6/13/17	REVISED PER TOWN REVIEWER COMMENTS	GFC

DATE: MARCH 29, 2017 SCALE: 1" = 20'
PROJECT NO: 15-0928-2 SHEET 10 OF 10

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____
SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

S:\Projects\1609282\Drawings\Production Drawings\1609282-STEFAN.LONG.dwg 4/13/2017 3:26:25 PM, SAVEN 246910.D

75 River Road Realty Trust Amended Site Plan

STAFF REPORT

July 19, 2017

SITE: 75 River Road (4 to 9 Site Drive) -- Map 251/Lots 10-1 to 10-14 - MSP# 01-17

ZONING: G & G-1

PURPOSE OF PLAN: to amend the Site Plan, approved on February 27, 2013, to revise the restriction that prevents automotive repair facilities within building #5 to prevent auto body shop facilities only. Application Acceptance & Hearing

PLAN UNDER REVIEW ENTITLED: Amended Master Site Plan, 75 River Road Realty Trust, Map 251; Lots 10-1 – 10-14, 4a, 4b, 4c, 4d, 4e, 5a, 5b, 5c, 8a, 8b, 8c, 9a, 9b, 9c Site Drive, Hudson, New Hampshire, Hillsborough County, prepared by Keach-Nordstrom Associates, Inc., dated: 13 JUN 2017 (no revision date), consisting of Sheet 1 of 1 and Notes 1 – 19. Said Plan attached herewith.

ATTACHMENTS:

- 1) Project Narrative & Special Site Review Committee application, date stamped 20 JUN 17 – “A”.
- 2) Comments/Memos from the Town Eng., Zoning Administrator, Road Agent, HFD Deputy Fire Chief and Asst. Assessor, and Police Dept.- “B”.
- 3) Previously Approved Site Plan-of-Record entitled: Master Site Plan 75 River Road, Map 251/Lot 10 75 River Road, Hudson, NH, HCRD #37860 – “C”.

REQUESTED WAIVERS: N/A.

OUTSTANDING ISSUES:

- 1) Note #28 on the attached Approved and Recorded Site Plan-of-Record “C” states: “28. Automotive Repair is PROHIBITED in Building 5.” Note: Bldg. #5 is the 1st building on the left of this site. At the hearing held on 27 FEB 13 to approve the original Site Plan, after much discussion with the abutting property owner, it was agreed to by all parties of concern that automotive repair, because of typical loud noises associated with automotive repair not being conducive to the residential abutter’s quality of life, that said use would be prohibited. Please note, even with Note 28 in-place, the property is being used for automotive repair, and the prohibition of this use in the subject building is in dispute, per the attached project narrative.
- 2) The Applicant inadvertently submitted this application as a Minor Site Plan Review application. Subsequently, staff determined that this request should have been submitted as a full Site Plan application to amend the previously Approved Site Plan-of-Record, and for this request to be decided on by the full board. That is, rather than by the 3 people who comprise the Minor Site Plan Committee.
- 3) No other issues pertain to this application

RECOMMENDATION: For this hearing, staff recommends application acceptance for the purpose of entertaining the request to waive Note #28 on the attached Approved and Recorded Site Plan-of-Record; said Note states: "28. Automotive Repair is PROHIBITED in Building 5." After the presentation and any received public input, the board can decide to grant or deny this request in accordance with the below DRAFT MOTIONS.

APPLICATION TRACKING:

- 20 JUN 17 - Application submitted.
- 19 JUL 17 - Initial public hearing scheduled.

DRAFT MOTIONS:

I move to accept the application calling for amending the Site Plan-of-Record for 75 River Rd, Map 251/ Lots 10-1 to 10-14

Motion by: _____ Second: _____ Carried/Failed: _____.

I move to defer further review of the Site Plan application for 75 River Road, date specific, to the 20 SEPT 17 Planning Board meeting.

Motion by: _____ Second: _____ Carried/Failed: _____.

MOTION to APPROVE:

I move to approve the Amended Site Plan entitled: Amended Master Site Plan, 75 River Road Realty Trust, Map 251; Lots 10-1 – 10-14, 4a, 4b, 4c, 4d, 4e, 5a, 5b, 5c, 8a, 8b, 8c, 9a, 9b, 9c Site Drive, Hudson, New Hampshire, Hillsborough County, prepared by Keach-Nordstrom Associates, Inc., dated: 13 JUN 2017 (no revision date), consisting of Sheet 1 of 1 and Notes 1 – 19, in accordance with the following terms and conditions:

- 1) Note #28, as inscribed on the previously approved Site Plan-of-Record entitled: Master Site Plan 75 River Road, Map 251/Lot 10 75 River Road, Hudson, NH, HCRD #37860, be deleted. Said Note pertains to the prohibition of automotive repair in Building #5, as shown on said previously approved Site Plan-of-Record.
- 2) All other notes and conditions of approval contained in the above-cited previous Site Plan-of-Record shall remain in effect, and the new Plan-of-Record, as cited above, shall be recorded at the HCRD, together with the Amended Development Agreement.
- 3) All improvements shown on the above-cited Amended Site Plan-of-Record, including Notes 1 – 18 shall also be completed in their entirety and at the expense of the Applicant or his assigns.

Motion by: _____ Second: _____ Carried/Failed: _____.

I move to deny the request to amend the Site Plan-of-Record entitled: Master Site Plan 75 River Road, Map 251/Lot 10 75 River Road, Hudson, NH, HCRD #37860 for the following reason:

At a regularly scheduled meeting of the Planning Board, held on 27 FEB 2013, the board, after much discussion and deliberation determined that automotive repair, because of typical loud noises associated with such a use, would adversely impact the quality of life for the immediate residential abutters to Building #5, as shown on the above-cited Plan-of-Record.

Motion by: _____ Second: _____ Carried/Failed: _____



Project Narrative

Amended Master Site Plan – 75 River Road Realty Trust
Site Drive, Hudson, New Hampshire
KNA Project No. 12-0607-2

The subject properties, located off Site Drive in Hudson’s General One (G-1) Zoning District, were part of a development project approved in 2013 and constructed thereafter. The site plan included four buildings, to be utilized for various light manufacturing and/or commercial uses, a private roadway, designated parking areas, landscaping, lighting, municipal utility connections, and stormwater management provisions. All improvements were constructed per the approved plan specifications.

In 2016, the applicant (Don Nicolls) divided the buildings into fourteen (14) condominium units, sold five (5) of the units, and retained ownership of the remaining nine (9). One of the tenants purchased units within building #5 and has operated an auto-repair facility at this location for over a year. Recently, the new owner applied to the Zoning Administrator for a sign permit. Upon application, the Zoning Administrator correctly identified on the approved plan that auto-repair facilities are prohibited in this space. The intent of the restriction was to minimize excessive noise to the abutting residential property. Automotive repair operations (e.g. oil changes, state inspections, mechanical repairs, etc.), however, do not produce the level of noise this restriction was set in place to prevent, as is evidenced by the fact that this facility has been in operation and has not caused noise complaints. An auto body shop specializing in repairs to body damage would, though, with the constant sanding, grinding, and hammering. We believe this is what the Planning Board intended to restrict during their review of the original site plan application. Therefore, this application proposes to remove the automotive repair restriction and replace it with an auto body shop restriction instead. No other changes to the completed site are proposed or required.



SPECIAL SITE REVIEW COMMITTEE
TOWN OF HUDSON, NEW HAMPSHIRE

Account

Date of Application: June 16, 2017 Tax Map # 251 Lot # 10-1 to 10-14

Name of Project: Amended Master Site Plan - 75 River Road Realty Trust

Zoning District: General One (G-1) General MSP# 01-17
(For Town Use)

ZBA Action: N/A

PROPERTY OWNER:

DEVELOPER:

Name: <u>Lots 10-3 to 10-5 & 10-9 to 10-14</u>	<u>Lot 10-1</u>	<u>Lot 10-2</u>	<u>Lots 10-6 to 10-8</u>
<u>Donald Nicolls</u>	<u>Matthew Kopelman</u>	<u>Marcy Kopelman</u>	<u>Robert Kopelman</u>
Address: <u>73 Bridge Street</u>	<u>P.O. Box 610407</u>	<u>P.O. Box 610407</u>	<u>P.O. Box 610407</u>
Address: <u>Pelham, NH 03076</u>	<u>Newton, MA 02461</u>	<u>Newton, MA 02461</u>	<u>Newton, MA 02461</u>
Telephone # <u>(978) 479-5572</u>			
Fax # _____			
Email: <u>klnconstruction@gmail.com</u>			

PROJECT ENGINEER

Name: <u>Patrick Colburn, PE - KNA</u>	Telephone # <u>(603) 627-2881</u>
Address: <u>10 Commerce Park No., Suite 3</u>	Fax # <u>(603) 627-2915</u>
Address: <u>Bedford, NH 03110</u>	Email: <u>pcolburn@keachnordstrom.com</u>

PURPOSE OF PLAN:

The purpose of the plan is to amend the Site Plan, approved on February 27, 2013, to
revise the restriction that prevents automotive repair facilities within building #5 to prevent
auto body shop facilities only.

(FOR TOWN USE)

Plan Routing Date: 6-21-17 Sub/Site Date: 8-16-17

I have no comments I have comments (attach to form)
Title: _____ Date: _____
(Initials)

DEPARTMENT:

Zoning Engineering Assessor Police Fire Planning
 Highway Dept. Consultant

Fees Paid: \$222.89

SITE DATA SHEET

PLAN NAME: Amended Master Site Plan - 75 River Road Realty Trust

PLAN TYPE: MINOR SITE PLAN

LEGAL DESCRIPTION: MAP 251 LOT 10-1 to 10-14

DATE: June 16, 2017

Location by Street	<u>Site Drive (Private)</u>
Zoning:	<u>General 1 (G-1)</u>
Proposed Land Use:	<u>Light Industrial/Commercial</u>
Existing Use:	<u>Light Industrial/Commercial</u>
Surrounding Land Use(s):	<u>Commercial & Residential</u>
Number of Lots Occupied:	<u>14</u>
Existing Area Covered by Building:	<u>17,750 SF</u>
Existing Buildings to be Removed:	<u>None</u>
Proposed Area Covered by Building:	<u>17,750 SF</u>
Open Space Proposed:	<u>57.9%</u>
Open Space Required:	<u>35%</u>
Total Area:	S.F.: <u>83,444 SF</u> Acres: <u>1.915</u>
Area in Wetland:	<u>2,336 SF</u> Area Steep Slopes: <u>7,363 SF</u>
Required Lot Size:	<u>87,120 SF</u>
Existing Frontage:	<u>237.31 FT</u>
Required Frontage:	<u>200 FT</u>
Building Setbacks:	<u>Required*</u> <u>Proposed</u> Existing
Front:	<u>50 FT</u> <u>50 FT</u>
Side:	<u>15 FT</u> <u>15 FT</u>
Rear:	<u>15 FT</u> <u>50 FT</u>

**MINOR SITE PLAN DATA SHEET
(Continued)**

Flood Zone Reference: FIRM Map 33011C0658D, Panel # 658 of 701, 9/25/09

Width of Driveways: 24 FT

Number of Curb Cuts: One (Existing)

Existing
~~Proposed~~ Parking Spaces: 39 Spaces

Required Parking Spaces: 30 Spaces

Basis of Required Parking (Use): 1 Space/600 SF - Light Industrial/Commercial

Dates/Case#/Description/
Stipulations of ZBA, Conservation
Commission, NH Wetlands Board
Actions: N/A
(Attach stipulations on separate sheet)

(FOR TOWN USE)

Data Sheet Checked By: _____ Date: _____

**APPLICATION FOR MINOR SITE PLAN REVIEW
SPECIAL SITE REVIEW COMMITTEE
TOWN OF HUDSON, NEW HAMPSHIRE**

Thirty (30) days prior to the Special Site Review Committee Meeting, a complete minor site plan application, to include all supporting materials/documents, must be submitted in final form. The minor site plan shall comply with the following specifications/requirements:

Applicant Initials		Staff Initials
<u>PK</u>	a) Submission of one (1) full set of Minor Site Plans (sheet size: 22" x 34") and four (4) 11" X 17" plan sets no later than thirty (30) days prior to the scheduled Special Site Review Committee meeting.	<u>JC</u>
<u>PK</u>	b) A Minor Site Plan narrative, describing the purpose of the project.	<u>JC</u>
<u>PK</u>	c) Plan scale at not less the one inch equals fifty feet (1" = 50').	<u>JC</u>
<u>PK</u>	d) Plan date by day/month/year.	<u>JC</u>
<u>PK</u>	e) Revision block inscribed on the plan.	<u>JC</u>
<u>PK</u>	f) Special Site Review Committee approval block inscribed on the plan.	<u>JC</u>
<u>PK</u>	g) Title of project inscribed on the plan.	<u>JC</u>
<u>PK</u>	h) Names and addresses of property owners and their signatures inscribed on the plan.	<u>JC</u>
<u>PK</u>	i) North point inscribed on the plan.	<u>JC</u>
<u>PK</u>	j) Property lines: exact locations and dimensions.	<u>JC</u>
<u>PK</u>	k) Square feet and acreage of site.	<u>JC</u>
<u>PK</u>	l) Square feet of each building (existing and proposed).	<u>JC</u>
<u>PK</u>	m) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan.	<u>JC</u>
<u>PK</u>	n) Assessor's Map and Lot number(s).	<u>JC</u>
<u>PK</u>	o) Delineate zoning on the plan.	<u>JC</u>
<u>N/A</u>	p) Storm-water drainage plan.	<u>N/A</u>
<u>N/A</u>	q) Topographical elevations at 2-foot intervals contours: existing and proposed.	<u>N/A</u>

Applicant
Initials

Staff
Initials

<u>N/A</u>	r)	Utilities: existing and proposed.	<u>N/A</u>
<u>JC</u>	s)	Parking: existing and proposed.	<u>JC</u>
<u>JC</u>	t)	Parking space: length and width.	<u>JC</u>
<u>JC</u>	u)	Aisle width/maneuvering space.	<u>JC</u>
<u>JC</u>	v)	Landscaping: existing and proposed.	<u>JC</u>
<u>JC</u>	w)	Building and wetland setback lines.	<u>JC</u>
<u>JC</u>	x)	Curb cuts.	<u>JC</u>
<u>JC</u>	y)	Rights of way: existing and proposed.	<u>JC</u>
<u>JC</u>	z)	Sidewalks: existing and proposed.	<u>N/A</u>
<u>N/A</u>	aa)	Exterior lighting plan.	<u>JC</u>
<u>JC</u>	ab)	Sign locations: size and design.	<u>N/A</u> <u>JC</u>
<u>N/A</u>	ac)	Water mains and sewerage lines.	<u>N/A</u>
<u>JC</u>	ad)	Location of dumpsters on concrete pads.	<u>JC</u>
<u>JC</u>	ae)	All notes from plats.	<u>JC</u>
<u>N/A</u>	af)	Buffer as required by site plan regulations.	<u>N/A</u>
<u>N/A</u>	ag)	Green and open space requirements met with percentages of both types of spaces inscribed on the plan.	<u>N/A</u>
<u>JC</u>	ah)	"Valid for one year after approval" statement inscribed on the plan.	<u>JC</u>
<u>JC</u>	ai)	Loading bays/docks.	<u>JC</u>
<u>JC</u>	aj)	State of New Hampshire engineer's stamp and signature and surveyor's stamp and signature.	<u>JC</u>
<u>JC</u>	ak)	Error of closure (1 in 10,000 or better).	<u>JC</u>
<u>JC</u>	al)	Drafting errors/omissions.	<u>JC</u>
<u>JC</u>	am)	Developer names, addresses, telephone numbers and signatures	<u>JC</u>
<u>JC</u>	an)	Photographs, electronic/digital display or video of site and area.	<u>JC</u>
<u>JC</u>	ao)	Attach one (1) copy of the building elevations	<u>JC</u>
<u>JC</u>	ap)	copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents.	<u>JC</u>

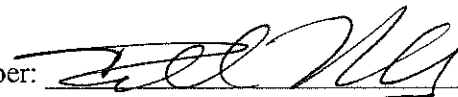
**APPLICATION FOR MINOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Minor Site Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Special Site Review Committee, in development and construction of this project. I understand that if any of the items listed under the Minor Site Plan specifications or Application form are incomplete, the Application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Special Site Review Committee, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and inspections conducted on his (their) property in connection with this applications.

Signature of Owner:  _____

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer:  _____

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

APPLICATION IS DUE AT 10 A.M. 30 days prior to the Special Site Review Committee Meeting. (The date the Agenda is CLOSED.) Any applications received after that time will be deferred until the next available meeting.

**APPLICATION FOR MINOR SITE PLAN REVIEW
SPECIAL SITE REVIEW COMMITTEE
TOWN OF HUDSON, NEW HAMPSHIRE**

FOOTNOTES:

1. In the event of the denial of a plan, the recording fees collected will not be reimbursed, but will instead be used as an additional fee to help defray administrative costs associated with a denial.
2. The "Review Fees" are fees estimated necessary to offset costs incurred to review and/or compile plans, data, or other information relative to the proposal.
3. The "Amount Due" does not include fees for studies or reviews as authorized in Section G-2 of this regulation.
4. Fees must be paid in full prior to the commencement of any formal review by the Town of Hudson.

STATUS:

DATE:

- | | | |
|----------------|---|-------------------|
| <u> </u> 1. | Application incomplete | <u> </u> |
| <u>✓</u> 2. | Application complete. Include any applicable requested waivers. fees paid, routing sheet returned | <u>20 JUN 17</u> |
| <u> </u> 3. | Application formally approved or disapproved by the Special Site Review Committee (45-day review clock by RSA 674:43 III to start upon submission of completed application) | <u> </u> |
| <u> </u> 4. | Final approval granted or denied | <u> </u> |
| <u> </u> 5. | Comments: | |
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Owner Affidavit

I, Marcy Kopelman, owner of the property referenced as Tax Map 251; Lot 10-002; Unit 4B located at Site Drive, Hudson, New Hampshire, hereby verify that I have authorized Keach-Nordstrom Associates, Inc. to submit on my behalf, any and all applicable State and local permit applications as they pertain to improvements on said property required by or otherwise associated with 75 River Road Realty Trust.

Additionally, I authorize Keach-Nordstrom Associates, Inc. to aid in the representation of these applications throughout the approval process.

Signature of Owner: 

Address of Owner: P.O. Box 610407
Newton, Massachusetts 02461

Date: 6/19/17

Owner Affidavit

I, Matthew Kopelman, owner of the property referenced as Tax Map 251; Lot 10-001; Unit 4A located at Site Drive, Hudson, New Hampshire, hereby verify that I have authorized Keach-Nordstrom Associates, Inc. to submit on my behalf, any and all applicable State and local permit applications as they pertain to improvements on said property required by or otherwise associated with 75 River Road Realty Trust.

Additionally, I authorize Keach-Nordstrom Associates, Inc. to aid in the representation of these applications throughout the approval process.

Signature of Owner: Matthew Kopelman

Address of Owner: P.O. Box 610407
Newton, Massachusetts 02461


Date: 10/19/17

Owner Affidavit

I, Robert Kopelman, owner of the properties referenced as Tax Map 251; Lots 10-006, 10-007, and 10-008; Units 5A, 5B, and 5C, located at Site Drive, Hudson, New Hampshire, hereby verify that I have authorized Keach-Nordstrom Associates, Inc. to submit on my behalf, any and all applicable State and local permit applications as they pertain to improvements on said property required by or otherwise associated with 75 River Road Realty Trust.

Additionally, I authorize Keach-Nordstrom Associates, Inc. to aid in the representation of these applications throughout the approval process.

Signature of Owner:



Address of Owner:

P.O. Box 610407
Newton, Massachusetts 02461

Date:

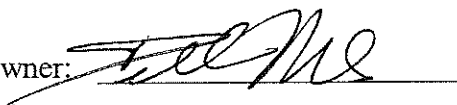
6/19/17

Owner Affidavit

I, Donald Nicolls, Trustee of the 75 River Road Realty Trust and owner of the properties referenced as Tax Map 251; Lot 10; Units 4C, 4D, 4E, 8A, 8B, 8C, 9A, 9B, and 9C located at Site Drive, Hudson, New Hampshire, hereby verify that we have authorized Keach-Nordstrom Associates, Inc. to submit on our behalf, any and all applicable State and local permit applications as they pertain to improvements on said property required by or otherwise associated with 75 River Road Realty Trust.

Additionally, we authorize Keach-Nordstrom Associates, Inc. to aid in the representation of these applications throughout the approval process.

Signature of Owner:



A handwritten signature in black ink, appearing to read 'Donald Nicolls', is written over a horizontal line.

Address of Owner: 73 Bridge Street
Pelham, New Hampshire 03076

Date:

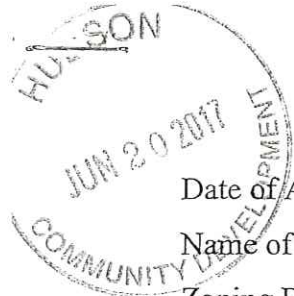
6/19/17

KNA #12-0607-2



80 River Rd, Hudson, NH





13

SPECIAL SITE REVIEW COMMITTEE
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: June 16, 2017 Tax Map # 251 Lot # 10-1 to 10-14

Name of Project: Amended Master Site Plan - 75 River Road Realty Trust

Zoning District: General One (G-1) General MSP# 01-17
(For Town Use)

ZBA Action: N/A

PROPERTY OWNER:

DEVELOPER:

Name: <u>Lots 10-3 to 10-5 & 10-9 to 10-14</u> <u>Donald Nicolls</u>	<u>Lot 10-1</u> <u>Matthew Kopelman</u>	<u>Lot 10-2</u> <u>Marcy Kopelman</u>	<u>Lots 10-6 to 10-8</u> <u>Robert Kopelman</u>
Address: <u>73 Bridge Street</u>	<u>P.O. Box 610407</u>	<u>P.O. Box 610407</u>	<u>P.O. Box 610407</u>
Address: <u>Pelham, NH 03076</u>	<u>Newton, MA 02461</u>	<u>Newton, MA 02461</u>	<u>Newton, MA 02461</u>
Telephone # <u>(978) 479-5572</u>			
Fax # _____			
Email: <u>klnconstruction@gmail.com</u>			

PROJECT ENGINEER

Name: <u>Patrick Colburn, PE - KNA</u>	Telephone # <u>(603) 627-2881</u>
Address: <u>10 Commerce Park No., Suite 3</u>	Fax # <u>(603) 627-2915</u>
Address: <u>Bedford, NH 03110</u>	Email: <u>pcolburn@keachnordstrom.com</u>

PURPOSE OF PLAN:

The purpose of the plan is to amend the Site Plan, approved on February 27, 2013, to revise the restriction that prevents automotive repair facilities within building #5 to prevent auto body shop facilities only.

(FOR TOWN USE)

Plan Routing Date: 6-21-17 Sub/Site Date: 8-10-17

I have no comments I have comments (attach to form)
ECN Title: TOWN PERMITS Date: 6/21/17
(Initials)

DEPARTMENT:

Zoning Engineering Assessor Police Fire Planning
 Highway Dept. Consultant

Fees Paid: \$222.89



SPECIAL SITE REVIEW COMMITTEE
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: June 16, 2017 Tax Map # 251 Lot # 10-1 to 10-14

Name of Project: Amended Master Site Plan - 75 River Road Realty Trust

Zoning District: General One (G-1) General MSP# 01-17
(For Town Use)

ZBA Action: N/A

PROPERTY OWNER:

Lots 10-3 to 10-5 & 10-9 to 10-14
Name: Donald Nicolls

Address: 73 Bridge Street

Address: Pelham, NH 03076

Telephone # (978) 479-5572

Fax # _____

Email: klnconstruction@gmail.com

DEVELOPER:

Lot 10-1
Name: Matthew Kopelman

Address: P.O. Box 610407

Address: Newton, MA 02461

Lot 10-2
Name: Marcy Kopelman

Address: P.O. Box 610407

Address: Newton, MA 02461

Lots 10-6 to 10-8
Name: Robert Kopelman

Address: P.O. Box 610407

Address: Newton, MA 02461

PROJECT ENGINEER

Name: Patrick Colburn, PE - KNA

Address: 10 Commerce Park No., Suite 3

Address: Bedford, NH 03110

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(FOR TOWN USE)

Plan Routing Date: 6-21-17 Sub/Site Date: 8-10-17

I have no comments I have comments (attach to form)

(Initials) JK Title: Asst. Assessor Date: 6-21-17

DEPARTMENT:

Zoning Engineering Assessor Police Fire Planning
 Highway Dept. Consultant

Fees Paid: \$ 222.89



SPECIAL SITE REVIEW COMMITTEE
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: June 16, 2017 Tax Map # 251 Lot # 10-1 to 10-14

Name of Project: Amended Master Site Plan - 75 River Road Realty Trust

Zoning District: General One (G-1) General MSP# 01-17
(For Town Use)

ZBA Action: N/A

PROPERTY OWNER:

Name: Lots 10-3 to 10-5 & 10-9 to 10-14
Donald Nicolls

Address: 73 Bridge Street

Address: Pelham, NH 03076

Telephone # (978) 479-5572

Fax # _____

Email: klnconstruction@gmail.com

DEVELOPER:

Name: Lot 10-1
Matthew Kopelman

Address: P.O. Box 610407

Address: Newton, MA 02461

Name: Lot 10-2
Marcy Kopelman

Address: P.O. Box 610407

Address: Newton, MA 02461

Name: Lots 10-6 to 10-8
Robert Kopelman

Address: P.O. Box 610407

Address: Newton, MA 02461

PROJECT ENGINEER

Name: Patrick Colburn, PE - KNA

Address: 10 Commerce Park No., Suite 3

Address: Bedford, NH 03110

Telephone # (603) 627-2881

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auto body shop facilities only.

(FOR TOWN USE)

Plan Routing Date: 6-21-17 Sub/Site Date: 8-10-17

I have no comments I have comments (attach to form)

JOB Title: Deputy Fire Chief Date: 6/22/17
(Initials)

DEPARTMENT:

Zoning Engineering Assessor Police Fire Planning

Highway Dept. Consultant

Fees Paid: \$222.89



SPECIAL SITE REVIEW COMMITTEE
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: June 16, 2017 Tax Map # 251 Lot # 10-1 to 10-14

Name of Project: Amended Master Site Plan - 75 River Road Realty Trust

Zoning District: General One (G-1) General MSP# 01-17
(For Town Use)

ZBA Action: N/A

PROPERTY OWNER:

Name: Lots 10-3 to 10-5 & 10-9 to 10-14
Donald Nicolls

Address: 73 Bridge Street

Address: Pelham, NH 03076

Telephone # (978) 479-5572

Fax # _____

Email: klconstruction@gmail.com

DEVELOPER:

Name: Lot 10-1 Lot 10-2 Lots 10-6 to 10-8
Matthew Kopelman Marcy Kopelman Robert Kopelman

Address: P.O. Box 610407 P.O. Box 610407 P.O. Box 610407

Address: Newton, MA 02461 Newton, MA 02461 Newton, MA 02461

PROJECT ENGINEER

Name: Patrick Colburn, PE - KNA

Telephone # (603) 627-2881

Address: 10 Commerce Park No., Suite 3

Fax # (603) 627-2915

Address: Bedford, NH 03110

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(FOR TOWN USE)

Plan Routing Date: 6-21-17 Sub/Site Date: 8-10-17

I have no comments I have comments (attach to form)

PD Title: LIEUTENANT Date: 6/22/17
(Initials)

DEPARTMENT:

Zoning Engineering Assessor Police Fire Planning
 Highway Dept. Consultant

Fees Paid: \$222.89



SPECIAL SITE REVIEW COMMITTEE
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: June 16, 2017 Tax Map # 251 Lot # 10-1 to 10-14

Name of Project: Amended Master Site Plan - 75 River Road Realty Trust

Zoning District: General One (G-1) General MSP# 01-17
(For Town Use)

ZBA Action: N/A

PROPERTY OWNER:

Name: Lots 10-3 to 10-5 & 10-9 to 10-14
Donald Nicolls

Address: 73 Bridge Street

Address: Pelham, NH 03076

Telephone # (978) 479-5572

Fax # _____

Email: klnconstruction@gmail.com

DEVELOPER:

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Matthew Kopelman

Address: P.O. Box 610407

Address: Newton, MA 02461

Name: Lot 10-2
Marcy Kopelman

Address: P.O. Box 610407

Address: Newton, MA 02461

Name: Lots 10-6 to 10-8
Robert Kopelman

Address: P.O. Box 610407

Address: Newton, MA 02461

PROJECT ENGINEER

Name: Patrick Colburn, PE - KNA

Address: 10 Commerce Park No., Suite 3

Address: Bedford, NH 03110

Telephone # (603) 627-2881

Fax # (603) 627-2915

Email: pcolburn@keachnordstrom.com

PURPOSE OF PLAN:

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auto body shop facilities only.

(FOR TOWN USE)

Plan Routing Date: 6-21-17 Sub/Site Date: 8-10-17

I have no comments I have comments (attach to form)

BK Title: Zoning Administrator Date: 6-28-17
(Initials)

DEPARTMENT:

Zoning Engineering Assessor Police Fire Planning
 Highway Dept. Consultant

Fees Paid: \$222.89



SPECIAL SITE REVIEW COMMITTEE
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: June 16, 2017 Tax Map # 251 Lot # 10-1 to 10-14

Name of Project: Amended Master Site Plan - 75 River Road Realty Trust

Zoning District: General One (G-1) General MSP# 01-17
(For Town Use)

ZBA Action: N/A

PROPERTY OWNER:

Lots 10-3 to 10-5 & 10-9 to 10-14
Name: Donald Nicolls

Address: 73 Bridge Street
Address: Pelham, NH 03076

Telephone # (978) 479-5572

Fax # _____

Email: klnconstruction@gmail.com

DEVELOPER:

Lot 10-1
Name: Matthew Kopelman

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Name: Robert Kopelman

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PROJECT ENGINEER

Name: Patrick Colburn, PE - KNA

Address: 10 Commerce Park No., Suite 3

Address: Bedford, NH 03110

Telephone # (603) 627-2881

Fax # (603) 627-2915

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(FOR TOWN USE)

Plan Routing Date: 6-21-17 Sub/Site Date: 8-10-17

I have no comments I have comments (attach to form)
KB Title: ROAD ACCENT Date: 8/22/17
(Initials)

DEPARTMENT:

Zoning Engineering Assessor Police Fire Planning
 Highway Dept. Consultant

Fees Paid: \$222.89

LEGEND

- STONE BOUND FOUND
- IRON PIPE FOUND
- ABUTTER LINE
- PROPERTY LINE
- WETLAND
- BROOK
- CHAIN LINK FENCE
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- BUILDING SETBACK
- CONSERVATION EASEMENT
- DRAINAGE EASEMENT
- PROPOSED EASEMENT
- 100-YEAR FLOOD LINE
- GREEN AREA LINE
- ZONE LINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED BITUMINOUS CURB

FIRE PROTECTION NOTES:

- THE FIRE HYDRANT MUST BE INSTALLED AND TESTED PER HUDSON FIRE DEPARTMENT REQUIREMENTS PRIOR TO CONSTRUCTION WITH THE USE OF COMBUSTIBLE MATERIALS. TEST DATA SHALL BE SUBMITTED TO THE FIRE PREVENTION DIVISION AND ENGINEERING DEPARTMENT FOR APPROVAL.
- THERE SHALL BE NO INSIDE OR OUTSIDE STORAGE OF HAZARDOUS MATERIALS, LIQUIDS, OR CHEMICALS AS LISTED IN THE INTERNATIONAL BUILDING CODE, 2009, ABOVE THE EXEMPT AMOUNTS WITHOUT APPROVAL FROM THE HUDSON FIRE DEPARTMENT.
- ALL HAZARDOUS MATERIALS, LIQUIDS, OR CHEMICALS AS LISTED IN NFPA 1, SECTION 301.5.22 SHALL BE STORED IN ACCORDANCE WITH THE APPLICABLE PORTION OF THE FOLLOWING:
 - A. NFPA 13 - STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS
 - B. NFPA 30 - FLAMMABLE AND COMBUSTIBLE LIQUID CODE
 - C. NFPA 30B - CODE FOR THE MANUFACTURE AND STORAGE OF AEROSOL PRODUCTS
 - D. NFPA 230 - STANDARD FOR THE FIRE PROTECTION OF STORAGE
 - E. NFPA 430 - CODE FOR THE STORAGE OF LIQUID AND SOLID OXIDIZERS
 - F. NFPA 432 - CODE FOR THE STORAGE OF ORGANIC PEROXIDE FORMULATIONS
 - G. NFPA 434 - CODE FOR THE STORAGE OF PESTICIDES
- IF BLASTING IS REQUIRED, A BLASTING PERMIT WILL BE REQUIRED IN ACCORDANCE WITH HTC CHAPTER 202.

REFERENCE PLANS:

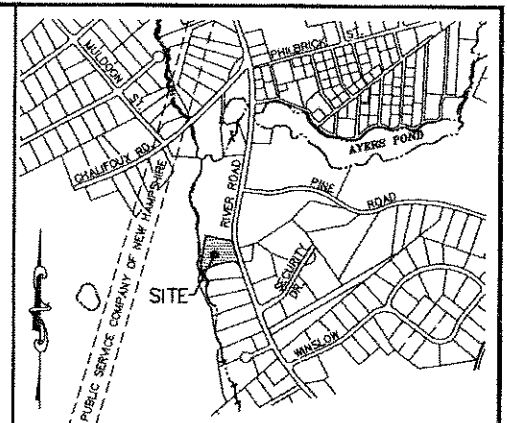
- "LOT LINE RELOCATION - LOTS 1 & 5/MAP 1, RIVER ROAD, HUDSON, N.H." SCALE: 1"=50', DATED: OCTOBER 1983, PREPARED BY: MAYNARD & PAQUETTE INC. H.C.R.D. PLAN NO. 16214.
- "KINDERMORLD OFFICE/PARK SITE PLAN - LOT 5/MAP 1, RIVER ROAD - RTE. 3A, HUDSON, N.H." SCALE: 1"=50', DATED: OCTOBER 1, 1987, WITH REVISIONS THROUGH 8/2/88, PREPARED BY: MAYNARD & PAQUETTE, INC. H.C.R.D. PLAN NO. 23109.
- "SUBDIVISION, PLAN OF LAND, HELEN S. MCGRATH, HUDSON, NH." SCALE: 1"=50', DATED: JULY 18, 1963, WITH REVISIONS THROUGH 6/5/84, PREPARED BY: THOMAS F. MORAN INC. H.C.R.D. PLAN NO. 17261.

NOTES:

- THE PURPOSE OF THIS PLAN IS TO REDEVELOP MAP 251; LOT 10 FROM AN EXISTING CHILD-CARE FACILITY TO PROPOSED COMMERCIAL/LIGHT-INDUSTRIAL LEASABLE SPACE IN FOUR (4) NEW BUILDINGS (3,750 SF, 4,000 SF, 4,000 SF, AND 5,800 SF) AND ASSOCIATED SITE IMPROVEMENTS. RETAIL OR RESTAURANT USE IS PROHIBITED.
- AREA OF PARCEL = 83,444 SF ±, OR 1.915 ACRES ±.
- OWNER OF RECORD: 75 RIVER ROAD REALTY TRUST DONALD NICOLLS (TRUSTEE) 10 NORTH ROAD CHELMSFORD, MA 01824-2771 BK. 8439, PG. 2318.
- PRESENT ZONING: G-1; GENERAL 1 MINIMUM LOT REQUIREMENTS:
 - LOT AREA 67,120 SF
 - LOT FRONTAGE 200 FT
 - MINIMUM BUILDING SETBACK REQUIREMENTS:
 - FRONT YARD 50 FT
 - SIDE YARD 15 FT
 - REAR YARD 15 FT

NOTES (CONTINUED):

- EXAMINATION OF THE FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 35011C0858D, PANEL NUMBER 656 OF 701, EFFECTIVE DATE: SEPTEMBER 25, 2009, INDICATES THAT A PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A FLOOD HAZARD AREA.
- BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE IN JULY OF 2012. HORIZONTAL DATUM IS MAGNETIC 2012. VERTICAL DATUM IS NGVD 29.
- WETLANDS WERE DELINEATED BY SCHAUER ENVIRONMENTAL CONSULTANTS, LLC. ON JULY 5, 2012.
- LOT NUMBERS REFER TO THE TOWN OF HUDSON ASSESSORS MAP 251.
- PARCEL IS SERVED BY PUBLIC WATER AND ON-SITE SEPTIC SYSTEM.
- PARKING CALCULATIONS:
 - BASES: 1 SPACE/600 SF LIGHT INDUSTRIAL/COMMERCIAL USE
 - REQUIRED: 17,550/600 SF = 30 SPACES
 - PROVIDED: 32 SPACES PROPOSED, INCLUDES 2 HANDICAP SPACES
- OPEN SPACES PROVIDED: 57,836
- SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
- SITE SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF ARTICLE XII OF THE TOWN OF HUDSON ZONING ORDINANCE AND SHALL BE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD PRIOR TO INSTALLATION.
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADE.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
- THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-344-7233.
- CONSTRUCTION ACTIVITIES ON THE SITE SHALL BE LIMITED TO NO EARLIER THAN 7:00 AM AND NO LATER THAN 7:00 PM MONDAY THROUGH SATURDAY. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS.
- IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 9:00 AM AND 3:00 PM MONDAY THROUGH FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON WEEKENDS.
- THE APPLICANT'S ENGINEER AND/OR CONTRACTOR SHALL CONTACT THE TOWN AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION DISTRICT 3 TO SCHEDULE A PRECONSTRUCTION MEETING, WHICH WILL BE HELD WITH STAFF PRIOR TO STARTING CONSTRUCTION.
- THE ON-SITE DRAINAGE SYSTEM SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH HUDSON REQUIREMENTS FOR SEPTIC SYSTEMS.
- PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, AN L.L.S. CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED PLAN.
- PLowed snow from the FACILITIES, DRIVEWAY, PARKING LOTS AND SIDEWALK SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- PRIOR TO PLANNING BOARD ENDORSEMENT OF THE PLAN, IT SHALL BE SUBJECT TO FINAL ENGINEERING REVIEW.
- REQUIRED STATE PERMITS FOR CONSTRUCTION:
 - HTC 275-08(30) 100' BUFFER COMMERCIAL USE TO RESIDENTIAL PROPERTY LINES
 - HTC 275-08(30) LOADING DOCKS
 - HTC 275-90 FISCAL IMPACT STUDY
 - HTC 275-90 NOISE STUDY
- WAVERS REQUESTED:
 - HTC 275-08(2)(b) 100' BUFFER COMMERCIAL USE TO RESIDENTIAL PROPERTY LINES
 - HTC 275-08(30) LOADING DOCKS
 - HTC 275-90 FISCAL IMPACT STUDY
 - HTC 275-90 NOISE STUDY
- REFUSE REMOVAL SHALL BE LIMITED TO MONDAY THROUGH FRIDAY, 7AM TO 5PM ONLY.
- HOURS OF OPERATION WILL BE MONDAY THROUGH SATURDAY 7AM TO 7PM AND SUNDAY 9AM TO 5PM. PICKUP AND DELIVERY OF MATERIALS/PRODUCTS SHALL BE LIMITED TO MONDAY THROUGH FRIDAY 7AM TO 7PM AND SATURDAY 7AM TO 5PM. SAID ACTIVITIES ARE PROHIBITED ON SUNDAYS.
- AUTOMOTIVE REPAIR IS PROHIBITED IN BUILDING 5.
- OUTSIDE STORAGE OF MATERIALS AND OUTSIDE WORK ACTIVITIES ARE PROHIBITED.



11C



NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND, THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.

PETER S. SCHAUER, CERTIFIED WETLAND SCIENTIST #48, OF SCHAUER ENVIRONMENTAL CONSULTANTS, L.L.C. OF LONDON, NH, PERFORMED THE WETLAND MAPPING ON JULY 5, 2012 ACCORDING TO THE TECHNICAL CRITERIA OF THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1, JANUARY 1987) AND THE REGIONAL SUPPLEMENT TO THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.

HYDROPHYTIC VEGETATION WAS IDENTIFIED USING THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, NEW HAMPSHIRE, PUBLISHED BY THE UNITED STATES FISH AND WILDLIFE SERVICE, MAY 1998.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: 2-27-13

SIGNATURE: _____ DATE: 4-10-13

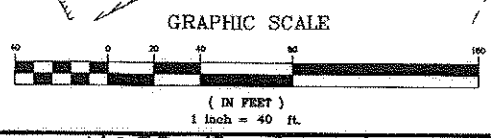
SIGNATURE: _____ DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

OWNER OF MAP 251; LOT 10/APPLICANT

SIGNATURE: *Paul Mc...*

DATE: 3-27-13



MASTER SITE PLAN
75 RIVER ROAD
MAP 251; LOT 10
75 RIVER ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

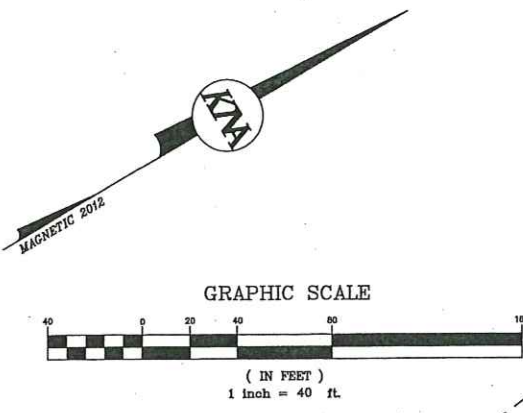
OWNER OF RECORD: 75 RIVER ROAD REALTY TRUST DONALD NICOLLS (TRUSTEE) 10 NORTH ROAD CHELMSFORD, MA 01824-2771 H.C.R.D. BK. 8439, PG. 2318	APPLICANT: 75 RIVER ROAD REALTY TRUST DONALD NICOLLS (TRUSTEE) 10 NORTH ROAD CHELMSFORD, MA 01824-2771
--	---

KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 487-2661

No.	DATE	DESCRIPTION	BY
2	10/23/12	ADD GRADING & DRAINAGE EASEMENT	JCL
3	11/16/12	REV. PER REVIEW COMMENTS	PRC
4	12/21/12	REV. PER TOWN & WHDOT COMMENTS	JCL
5	01/25/13	REV. PER PLANNING BOARD COMMENTS	JCL
6	02/18/13	REV. PER PLANNING BOARD COMMENTS	AMB
7	03/26/13	REV. PER CONDITIONS OF APPROVAL	AMB

DATE: AUGUST 15, 2012 SCALE: 1" = 40'
PROJECT NO: 12-0607-2 SHEET 1 OF 15

HCRD # 37680



MAP 251; LOT 1
BAE SYSTEMS
ATTN. ACCOUNTS PAYABLE
PO BOX 868
NASHUA, NH 03061-0868
BK. 6322; PG. 362

MAP 251; LOT 9
GARY & THERESA MACGRATH
77 RIVER ROAD
HUDSON, NH 03051
BK. 3253; PG. 128

MAP 251; LOT 10
83,444 SF
1.915 ACRES

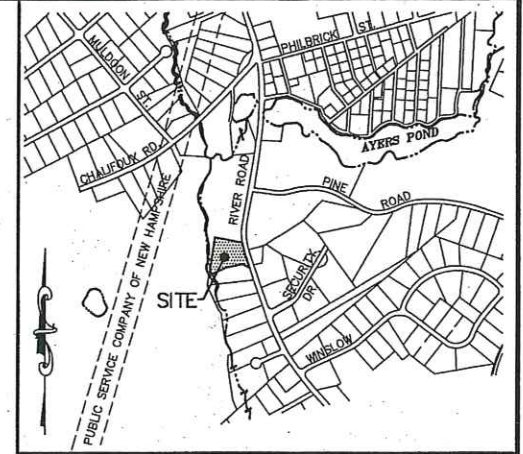
MAP 251; LOT 1
BAE SYSTEMS
ATTN. ACCOUNTS PAYABLE
PO BOX 868
NASHUA, NH 03061-0868
BK. 6322; PG. 362

MAP 251; LOT 11
RICHARD J. TATE
77 SPEAR ROAD
HUDSON, NH 03051

MAP 251; LOT 13
ADVANTAGE SELF STORAGE, LLC.
84 RIVER ROAD
HUDSON, NH 03051-5224
BK. 8228; PG. 1078

REFERENCE PLANS:

- "LOT LINE RELOCATION - LOTS 1 & 5/MAP 1, RIVER ROAD, HUDSON, N.H.," SCALE: 1"=50', DATED: OCTOBER 1983, PREPARED BY: MAYNARD & PAQUETTE INC. H.C.R.D. PLAN NO. 16214.
- "KINDERWORLD OFFICE/PARK SITE PLAN - LOT 5/MAP 1, RIVER ROAD - RTE. 3A, HUDSON, N.H.," SCALE: 1"=50', DATED: OCTOBER 1, 1987, WITH REVISIONS THROUGH 8/2/88, PREPARED BY: MAYNARD & PAQUETTE, INC. H.C.R.D. PLAN NO. 23109.
- "SUBDIVISION, PLAN OF LAND, HELEN S. MCGRATH, HUDSON, NH," SCALE: 1"=50', DATED: JULY 18, 1983, WITH REVISIONS THROUGH 6/5/84, PREPARED BY: THOMAS F. MORAN INC. H.C.R.D. PLAN NO. 17261.
- "MASTER SITE PLAN" 75 RIVER ROAD, HUDSON NH. SCALE: 1"=40' APPROVED BY TOWN 4-10-13. PREPARED BY: KEACH NORDSTROM ASSOCIATES. H.C.R.D. PLAN NO. 37690
- "CONDOMINIUM SITE PLAN" 75 RIVER ROAD, HUDSON NH. SCALE: 1"=20' APPROVED APRIL 26, 2016. PREPARED BY KEACH NORDSTROM ASSOCIATES. H.C.R.D. NO. 38857
- "AS-BUILT PLAN" 75 RIVER ROAD REALTY TRUST. SCALE: 1"=20' DATED: 10-17-13. PREPARED BY: KEACH NORDSTROM ASSOCIATES.



VICINITY PLAN
SCALE: 1" = 1,000'

NOTES:

- THE PURPOSE OF THIS PLAN IS TO AMEND THE SITE PLAN APPROVED BY THE HUDSON PLANNING BOARD ON FEBRUARY 27, 2013 TO REMOVE THE RESTRICTION THAT PREVENTS AUTOMOTIVE REPAIR FACILITIES WITHIN BUILDING #5. SAID RESTRICTION SHALL BE CHANGED TO PREVENT AUTOBODY SHOP FACILITIES WITHIN SAID BUILDING. ALL OTHER PROVISIONS OF THE PREVIOUS APPROVAL SHALL REMAIN IN EFFECT.
- AREA OF PARCEL = 83,444 SF±, OR 1.915 ACRES±
- OWNERS OF RECORD:
75 RIVER ROAD REALTY TRUST
DONALD NICOLLS (TRUSTEE)
10 NORTH ROAD
CHELMSFORD, MA 01824-2771
BK. 8439; PG. 2318
- PRESENT ZONING: G-1; GENERAL I
MINIMUM LOT REQUIREMENTS:
-LOT AREA: 87,120 SF
-LOT FRONTAGE: 200 FT
-MINIMUM BUILDING SETBACK REQUIREMENTS:
-FRONT YARD: 50 FT
-SIDE YARD: 15 FT
-REAR YARD: 15 FT
- EXAMINATION OF THE FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 33011C06580, PANEL NUMBER 658 OF 701, EFFECTIVE DATE: SEPTEMBER 25, 2009, INDICATES THAT A PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A FLOOD HAZARD AREA.
- BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE IN JULY OF 2012. HORIZONTAL DATUM IS MAGNETIC 2012. VERTICAL DATUM IS NGVD 29.
- WETLANDS WERE DELINEATED BY SCHAUER ENVIRONMENTAL CONSULTANTS, LLC. ON JULY 5, 2012.
- LOT NUMBERS REFER TO THE TOWN OF HUDSON ASSESSORS MAP 251.
- PARCEL IS SERVICED BY PUBLIC WATER AND ON-SITE SEPTIC SYSTEM.
- PARKING CALCULATIONS:
BASIS: 1 SPACE/600 SF LIGHT INDUSTRIAL/COMMERCIAL USE
REQUIRED: 17,550/600 SF = 30 SPACES
PROVIDED: 32 SPACES PROPOSED, INCLUDES 2 HANDICAP SPACES
- OPEN SPACE: REQUIRED: 35% PROVIDED: 57.5%
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
- THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-344-7233.
- PLOWED SNOW FROM THE FACILITIES, DRIVEWAY, PARKING LOTS AND SIDEWALK SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- REQUIRED STATE PERMITS FOR CONSTRUCTION:
NHDOT DRIVEWAY PERMIT STATUS: 05-229-0016
NHDES SEPTIC PERMITS CA2013111781 & CA2013111782
- WARRANTS GRANTED FEBRUARY 27, 2013:
HTC 275-88(12)(b) 100' BUFFER COMMERCIAL USE TO RESIDENTIAL PROPERTY LINES
HTC 275-88(30) LOADING DOCKS
HTC 275-88 FISCAL IMPACT STUDY
HTC 275-88 NOISE STUDY
- REFUSE REMOVAL SHALL BE LIMITED TO MONDAY THROUGH FRIDAY, 7AM TO 5PM ONLY.
- HOURS OF OPERATION WILL BE LIMITED TO MONDAY THROUGH SATURDAY, 7AM TO 7PM AND SUNDAY 9AM TO 5PM. PICKUP AND DELIVERY OF MATERIALS/PRODUCTS SHALL BE LIMITED TO MONDAY THROUGH FRIDAY 7AM TO 7PM AND SATURDAY 7AM TO 5PM. SAID ACTIVITIES ARE PROHIBITED ON SUNDAYS.
- OUTSIDE STORAGE OF MATERIALS AND OUTSIDE WORK ACTIVITIES ARE PROHIBITED.



LEGEND

- STONE BOUND FOUND
- IRON PIPE FOUND
- UTILITY POLE
- SIGN
- TEST PIT
- SEWER MANHOLE
- DRAINAGE MANHOLE
- CATCH BASIN
- ABUTTER LINE
- PROPERTY LINE
- WETLAND
- BROOK
- CHAIN LINK FENCE
- OVERHEAD UTILITIES
- WATER LINE
- DRAINAGE LINE
- RETAINING WALL
- EDGE OF PAVEMENT
- BUILDING SETBACK
- CONSERVATION EASEMENT
- DRAINAGE EASEMENT
- 100-YEAR FLOOD LINE
- ZONE LINE

OWNER OF MAP 251; LOT 10-3,10-4,10-5,
10-9,10-10,10-11,10-12,10-13,10-14/APPLICANT
SIGNATURE: *Fred Noble*
DATE: 6/19/17

OWNER OF MAP 251; LOT 10-2/APPLICANT
SIGNATURE: *Selma Kopelman*
DATE: 6/19/17

OWNER OF MAP 251; LOT 10-1/APPLICANT
SIGNATURE: *Matthew Kopelman*
DATE: 6/19/17

OWNER OF MAP 251;
LOT 10-6,10-7,10-8/APPLICANT
SIGNATURE: *Hurt Kw*
DATE: 6/19/17

AMENDED MASTER SITE PLAN
75 RIVER ROAD REALTY TRUST
MAP 251; LOTS 10-1 - 10-14
4a,4b,4c,4d,4e,5a,5b,5c,8a,8b,8c,9a,9b,9c SITE DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER / APPLICANT:
MARCY KOPELMAN 75 RIVER ROAD REALTY TRUST MATTHEW KOPELMAN
PO BOX 610407 DONALD NICOLLS (TRUSTEE) PO BOX 610407
NEWTON, MA 02461 10 NORTH ROAD NEWTON, MA 02461
CHELMSFORD, MA 01824-2771

ROBERT KOPELMAN
PO BOX 610407
NEWTON, MA 02461

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 687-2881

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION IN JULY 2012 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS AN URBAN STANDARD SURVEY, (CATEGORY 1, CONDITION 1) AS CODIFIED IN THE STATE OF NEW HAMPSHIRE ADMINISTRATIVE RULES

6/19/17
DATE

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: JUNE 13, 2017
SCALE: 1" = 40'
PROJECT NO: 12-0607-2
SHEET 1 OF 1