



TOWN OF HUDSON

Planning Board

Glen Della-Monica, Chairman

Rick Maddox, Selectmen Liaison



12 School Street · Hudson, New Hampshire 03051 · Tel: 603-886-6008 · Fax: 603-594-1142

PUBLIC MEETING TOWN OF HUDSON, NH FEBRUARY 10, 2016

The Town of Hudson Planning Board will hold a regularly scheduled meeting on Wednesday, February 10, 2016 at 7:00 p.m. in the “Buxton Community Development Conference Room” at Town Hall. The following items will be on the agenda:

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES
- V. MINUTES OF PREVIOUS MEETING(S)
- VI. CASES REQUESTED FOR DEFERRAL
- VII. CORRESPONDENCE
- VIII. PERFORMANCE SURETIES
- IX. ZBA INPUT ONLY
- X. PUBLIC HEARINGS
- XI. OLD BUSINESS/PUBLIC HEARINGS
- XII. DESIGN REVIEW PHASE
- XIII. CONCEPTUAL REVIEW ONLY
- XIV. NEW BUSINESS/PUBLIC HEARINGS

- A. Candy Lane Amended Site Plan
SP# 01-16

4 Candy Lane
Map 101/ Lot 027

Purpose of Plan: amend previously approved Non-Residential Site Plan by reducing the proposed building size from 25,000 sq. ft. to 19,920 sq. ft. and provide 90° parking spaces where parallel were approved. Application Acceptance & Hearing.

- B. 22 Hampshire Drive (Change of Use)
SP# 02-16

22 Hampshire Drive
Map 216/ Lot 006

Purpose of Plan: proposed change of use for the existing 25,400 sq. ft. building, i.e., from industrial to construction contractor and automotive service & repair businesses, pursuant to §334-10.B. of the Zoning Ordinance. Application Acceptance & Hearing.

- XV. OTHER BUSINESS

XVI. ADJOURNMENT

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting.

The public is invited to attend.

John M. Cashell
Town Planner

POSTED: Town Hall, Library & Post Office – 01-29-16

4 Candy Lane Site Plan

STAFF REPORT

February 10, 2016

SITE: 4 Candy Lane -- Map 101/Lot 27 -- SP# 01-16

ZONING: Industrial (I)

PURPOSE OF PLAN: amend previously approved Non-Residential Site Plan by reducing the proposed building size from 25,000 sq. ft. to 19,920 sq. ft. and provide 90° parking spaces where parallel were approved. Application Acceptance & Hearing.

PLAN UNDER REVIEW ENTITLED: Non-Residential Site Plan 4 Candy Lane Map 101 Lot 027, Hudson, NH, prepared by Keach-Nordstrom Associates, Inc., dated: 15 DEC 2015 (no revision date), consisting of Sheets 1 - 18 and Notes 1 – 34 (said plans are attached hereto).

ATTACHMENTS:

- 1) Project Narrative, Site Plan application, Checklist and Waiver Forms, including an aerial site photo date stamped 22 DEC 15 – Attachment “A”.
- 2) CLD’s Comments Report, dated **July 11, 2013** – “B”.
- 3) Keach-Nordstrom Response Letter to CLD’s above Comments Report, dated **July 15, 13** – “C”.
- 4) GPI’s Project Traffic Impact Assessment, dated **July 16, 2013** – “D”.
- 5) Comments/Memos from Former Acting Zoning Administrator, Dave Hebert, Fire Chief, Rob Buxton, Town Eng., Elvis Dhima, Road Agent, Kevin Burns, Asst. Assessor, Jim Michaud and Lt. Bianchi, HPD. – “E”.
- 6) C.A.P. Fee Worksheet – “F”.
- 7) Minutes/Decisions of the Planning Board Meeting July 24, 2013; RE: 4 Candy Lane Site Plan Approval – “G”.
- 8) Master Site Plan Sheet for 2013 Approved 4 Candy Lane – “H”.

REQUESTED WAIVERS (see Note 20 on Sheet 1 of 18):

1. HTC 275-9(C) -- Noise Study
2. HTC 275-9(D) -- Fiscal Impact Study

STAFF COMMENTS/OUTSTANDING ISSUES:

As cited in the Project Narrative, the Site Plan Application (Attachment “A”) and the Site Plans, this development consists of amending the 2013 Approved Site Plan for 4 Candy Lane; it (the application) specifically calls for reducing the previously approved, single-use 25,000 sf light industrial building to 19,920 sf., and for this building to house 2 separate light industrial businesses. Please read the attached Project Narrative for additional specific information regarding this Site Plan application – “A”.

Note: since most of the proposed site improvements remain the same as approved in 2013, and the proposed use has been reduced in size by 20%, with no proposed changes to drainage structures or impervious surfaces included on this site, staff determined that CLD review is not required for this proposed Amended Site Plan. However, for purposes of this present application, staff did include, herein, CLD's Site and Traffic Comments pertaining to the 2013 Approved Site Plan, as well as Keach-Nordstrom's Response Comments. In regard to CLD's stated Comments Report and Keach's Response Letter on same, please see attachments "B" & "C". Also included in the staff report is the Approved Master Site Plan Sheet for the 2013 project "H".

As cited in Keach-Nordstrom's response letter, CLD's outstanding issues have been resolved, relative to the previously approved plan. These issues include: Site Plan and Driveway review codes, Utility, Drainage & Stormwater Management improvements, together with Landscaping, and the status on state and local permits. In regard to the attached Fire Chief's Comments, the 30,000 gallon cistern is provided on the Plans; please see Sheet 7 of 18, regarding details for the cistern. Note: one additional site feature, exterior lighting, is depicted on Sheet 10 of 18.

In regard to GPI's Traffic Impact Assessment ("D"), it definitely appears that the impact on the associated roadway network will be minimal, especially taking into account the previously approved School Bus use of the site. This being said, however, the report does cite an important feature missing from the intersection of Rebel Road and Rte. 102 (Derry St.), i.e., the travel lane stripping within the intersection, which needs to be reestablished. Please note, this is a NHDOT maintained stretch of Rte. 102. In regard to this deficiency, staff will contact Road Agent, Kevin Burns, relative to having him coordinate with NHDOT the reestablishment of said stripping of the travel lanes.

At the meeting, the applicant's representative will be prepared to present this Site Plan in its entirety, address all of the aforementioned site development aspects and address any questions/concerns abutters and board members may have on this proposal.

RECOMMENDATION: Taking the abovementioned outstanding issues/comments into consideration, and that this application is ready for application acceptance, for this meeting staff recommends for Wednesday night's initial public hearing:

- (i) Board vote for application acceptance;
- (ii) Open and conduct the public hearing;
- (iii) Allow the applicant to present the project and address all of the issues involved in this application, including those cited-above and in CLD's attached Comments Report "B".
- (iv) Hear any pro/con public input, and
- (v) Defer further review of this site plan, date specific to the 24 FEB 16 meeting.
- (vi) In the event the board moves to approve the waivers and the application, staff has provided the appropriate DRAFT MOTIONS below.

APPLICATION TRACKING:

- 22 DEC 15 – Site Plan Application submitted.
- 10 FEB 16 - Initial public hearing scheduled.

DRAFT MOTIONS:

I move to accept the Site Plan application for 4 Candy Lane -- Map 101/Lot 27.

Motion by: _____ Second: _____ Carried/Failed: _____.

I move to defer further review of the 4 Candy Lane Site Plan application, date specific, to the 24 FEB 16 meeting.

Motion by: _____ Second: _____ Carried/Failed: _____.

REQUESTED WAIVERS:

- 1. HTC 275-9(C) -- Noise Study
- 2. HTC 275-9(D) -- Fiscal Impact Study

1) HTC 275-9(C) - Noise Study

I move to grant the requested waiver - HTC 275-9(C) - Noise Study - based on the testimony of the Applicant's representative here this evening, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

2) HTC 275-9D – Fiscal & Environmental Impact Study

I move to grant the requested waiver - HTC 275-9D – Fiscal & Environmental Impact Study - based on the testimony of the Applicant's representative here this evening, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

MOTION to APPROVE:

I move to grant approval for the Site Plan entitled: Non-Residential Site Plan 4 Candy Lane Map 101 Lot 027, Hudson, NH, prepared by Keach-Nordstrom Associates, Inc., dated: 15 DEC 2015 (no revision date), consisting of Sheets 1 - 18 and Notes 1 – 34, in accordance with the following terms and conditions:

- 1) All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record (hereinafter referred to as the Plan).
- 2) Prior to the Planning Board endorsement of the Plan, the Development Agreement shall be favorably reviewed and recommended on by Town Counsel.
- 3) All improvements shown on the Plan, including Notes 1-34, shall be completed in their entirety and at the expense of the Applicant or his assigns.

- 4) After the issuance of the foundation permit and prior to the issuance of the framing permit, the applicant shall submit to the Hudson Community Development Department a foundation "As-Built" plan on a transparency and to the same scale as the approved site plan. The foundation "As-Built" plan shall include all structural dimensions and lot line setback measurements to the foundation and be stamped by a licensed land surveyor. Any discrepancy between the approved site plan and foundation "As-Built" plans shall be documented by the applicant and be part of the foundation "As-Built" submission.
- 5) Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms with the Planning Board approved Plan.
- 6) Onsite landscaping shall be provided for in accordance with the plant and tree species specified on Sheet 9 of 18 of the Plan.
- 7) Construction activities on the site shall be limited to between 7:00 A.M. and 7:00 P.M. Monday through Saturday. No construction activities shall occur on Sunday.
- 8) This approval shall be subject to final engineering review.
- 9) The calculated CAP fee of \$8,436.12, prepared in accordance with the 2016 CAP Fee Matrix for Zone One, shall be submitted to the Town prior to the issuance of the Certificate of Occupancy. Said CAP fee amount shall be inscribed on the Site Plan-of-Record prior to Planning Board endorsement.

Motion by: _____ Second: _____ Carried/Failed: _____

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A
n

December 21, 2015

Mr. John Cashell, Town Planner
Town of Hudson
12 School Street
Hudson, New Hampshire 03051

**Subject: Amended Non-Residential Site Plan
Map 101; Lot 27 - 4 Candy Lane
KNA Project No. 13-0214-1**

Dear Mr. Cashell:

As you are aware, the Hudson Planning Board approved a Non-Residential Site Plan on July 24, 2013 for work at the subject address. The site plan contemplated construction of a 25,000 square foot commercial building and associated access and site improvements. In the spring of 2014, Keach-Nordstrom Associates, Inc. (KNA), on behalf of the applicant, submitted a one-year extension request and in the fall of 2015 work onsite commenced. To date, the large retaining wall along the southerly property boundary has been constructed and the site has been filled to required sub-grade. In addition, much of the closed drainage improvements have been installed. During construction, the Hudson Fire Department mandated a large fire cistern onsite that was not part of the approved project plans. This requirement was overly burdensome to the applicant because the limited square footage of leasable space in the proposed building could not support the large cost of such a big cistern, along with the already required fire suppression system within the building. The applicant contemplated extending municipal water along Route 102 from Londonderry, but that too was overly burdensome. Correspondingly, Nottingham Square Corporation, the project proponent, is coming forward with an Amended Non-Residential Site Plan for the Planning Board's consideration.

The amended site plan differs very little from the plan previously approved. Following a meeting with the Fire Chief, KNA adjusted the building footprint and reduced the overall building square footage from 25,000 square feet to 19,920 square feet. In addition to reducing the overall square footage of the building, the project architect is splitting the building in two by placing a 3-hour rated fire wall at the approximate mid-point of the structure. By doing so, each half of the building is less than 10,000 square feet, and therefore will not require a fire suppression system. Pursuant to the request of the Fire Chief, the amended site plan will accommodate a minimum volume 30,000 gallon cistern.

The reduced building footprint allowed for slight modifications in the parking lot. The previously approved plan contemplated seven parallel parking spaces along the easterly edge of the site. By shrinking the width of the building, the amended site plan now proposes 23 perpendicular spaces within the same overall impervious footprint. The increased number of parking spaces onsite required installation of one additional handicap accessible parking space in front of the building.

Aside from the changes described above, the site plan remains as it was approved. The overall impervious surface area is unchanged, as is the overall area of site disturbance. The location and size of the proposed well and septic system is unchanged, as is the proposed stormwater treatment and mitigation design. Since the overall impervious surface area has stayed the same, along with the grading and drainage plan for the site, we did not amend the previously prepared Stormwater Management Report. In fact, it is our understanding that you will not require outside peer review of the amended plan, given the limited scope of the changes.

I trust you will find the content of this letter and its attachments self-explanatory and in keeping with the requirements for Site Plan Amendment. I am attaching nine full size sets and seventeen half-size sets of amended plans. In addition, and as discussed, I am attaching one original and one copy of the completed application, an updated abutters list and mailing labels, and a check to cover the cost of advertising and noticing abutters. We assume for the purpose of this application that the previously granted waivers stand, and have therefore not included new waiver request forms. Should you have any questions or require further information please do not hesitate to contact our office.

Respectfully,

A handwritten signature in black ink, appearing to read 'Patrick R. Colburn', is written over a horizontal line. The signature is somewhat stylized and includes a large circular flourish on the left side.

Patrick R. Colburn, P.E.
Project Manager

Cc: Robert Buxton, Fire Chief



PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: 12/17/2015 Tax Map # 101 Lot # 27
Name of Project: Amended Non-Residential Site Plan 4 Candy Lane
Zoning District: _____ General SP# _____
(For Town Use) (For Town Use)
ZBA Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: Nottingham Square Corp. Sousa Realty & Development
Address: 46 Lowell Road 46 Lowell Road
Address: Hudson, NH 03051 Hudson, NH 03051
Telephone # _____ (603) 880-7799
Fax # _____
Email: _____ msousa@sousarealtynh.com

PROJECT ENGINEER

SURVEYOR

Name: Patrick Colburn, PE - KNA Anthony Basso, LLS - KNA
Address: 10 Commerce Park No., 3 10 Commerce Park No., 3
Address: Bedford, NH 03110 Bedford, NH 03110
Telephone # (603) 627-2881 (603) 627-2881
Fax # (603) 627-2915 (603) 627-2915
Email: pcolburn@keachnordstrom.com abasso@keachnordstrom.com

PURPOSE OF PLAN:

To amend the previously approved Non-Residential Site Plan to reduce the building square footage from 25,000 sf to 19,920 sf, provide 90° parking spaces where parallel were approved, and accommodate a 30,000 Gal cistern. All other improvements approved with the previous plan remain unchanged.

For Town Use

Plan Routing Date: _____ Sub/Site Date: _____

_____ I have no comments _____ I have comments (attach to form)

_____ Title: _____ Date: _____

(Initials)

DEPT:

_____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning
_____ Consultant _____ Highway Department

Fees Paid: _____

SITE DATA SHEET

PLAN NAME: Amended Non-Residential Site Plan 4 Candy Lane

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 101 LOT 27

DATE: 12/17/2015

Location by Street 4 Candy Lane

Zoning: Business (B)

Proposed Land Use: Commercial

Existing Use: Parking Lot

Surrounding Land Use(s): Commercial

Number of Lots Occupied: One

Existing Area Covered by Building: 0 SF

Existing Buildings to be removed: None

Proposed Area Covered by Building: 19,920 SF

Open Space Proposed: 40.3%

Open Space Required: 40%

Total Area: S.F.: 106,213 Acres: 2.438

Area in Wetland: 0 Area Steep Slopes: 12,810 SF

Required Lot Size: 43,560 SF

Existing Frontage: 643.12 FT

Required Frontage: 150 FT

Building Setbacks:	Required*	Proposed
Front:	<u>50 FT</u>	<u>61.9 FT</u> (Rebel Road)
Side:	<u>15 FT</u>	<u>107.42 FT</u> (Candy Lane)
Rear:	<u>15 FT</u>	<u>39 FT</u>
		<u>116.43 FT</u>

**SITE PLAN DATA SHEET
(Continued)**

Flood Zone Reference: FIRM Map 33011C0508D, Panel#508, 9/25/09

Width of Driveways: 24 FT

Number of Curb Cuts: One

Proposed Parking Spaces: 58 Spaces

Required Parking Spaces: 33 Spaces

Basis of Required Parking (Use): 1 Space/600 SF

Dates/Case #/Description/Stipulations
of ZBA, Conservation Commission,
NH Wetlands Board Actions: N/A
(Attach stipulations on separate sheet)

Hudson Town Code

<u>Waivers Requested:</u>	<u>Reference</u>	<u>Regulation Description</u>
	1. <u>See approved Non-Residential Site Plan</u>	
	2. <u>Application, waivers granted July 24, 2013.</u>	
	3. <u>No additional waivers required.</u>	
	4. _____	_____
	5. _____	_____
	6. _____	_____
	7. _____	_____
	8. _____	_____

(Left column for Town Use)

Impact Fees:
C.A.P Fee: See previous approval

Development Agreement
Proposed: Yes

<i>For Town Use</i>	
Data Sheet Checked By: _____	Date: _____

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Thirty (30) days prior to Planning Board Meeting, a complete site plan to include all supporting materials/documents must be submitted in final form. The site plan shall comply with the following specifications/requirements:

Applicant
Initials

Staff
Initials

- PRC a) Submission of nine (9) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M., Tuesday the week prior to the scheduled public hearing/conceptual review date.
- PRC b) A Site Plan narrative, describing the purpose, locations, long-range plans, impacts on traffic, schools, and utilities
- PRC c) Plan scale at not less the one inch equals fifty feet (1" = 50')
- PRC d) Locus plan with 1,000' minimum radius of site to surrounding area
- PRC e) Plan date by day/month/year
- PRC f) Revision block inscribed on the plan
- PRC g) Planning Board approval block inscribed on the plan
- PRC h) Title of project inscribed on the plan
- PRC i) Names and addresses of property owners and their signatures inscribed on the plan
- PRC j) North point inscribed on the plan
- PRC k) Property lines: exact locations and dimensions
- PRC l) Square feet and acreage of site
- PRC m) Square feet of each building (existing and proposed)
- PRC n) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan.

[Handwritten initials for each item, appearing to be 'JC' or similar, written vertically on the right side of the page.]

Applicant
Initials

Staff
Initials

- PRC o) Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve areas, floodways/floodplains, driveways, travel areas, parking areas and natural features within 200 feet of the tract
- PRC p) Locations of existing and proposed permanent monuments and bench marks within 200 feet of the development tract
- N/A q) Pertinent highway projects
- PRC r) Assessor's Map and Lot number(s)
- PRC s) Waiver application form shall be submitted with the site plan application, note on plan listing waivers requested/granted; and all waivers granted to the site plan regulations shall be listed on the final plan; waivers to checklist shall be reduced to writing and be signed by the Planning Board Chairman and Planning Board Secretary and recorded with the plan (See previously approved Site Plan Application, waivers granted 7/24/13)
- PRC t) Delineate zoning district on the plan
- PRC u) Storm water drainage plan (See previously approved Site Plan Application)
- PRC v) Topographical elevations at 2-foot intervals contours: existing and proposed
- PRC w) Utilities: existing and proposed
- PRC x) Parking: existing and proposed
- PRC y) Parking space: length and width
- PRC z) Aisle width/maneuvering space
- PRC aa) Landscaping: existing and proposed
- PRC ab) Building and wetland setback lines
- PRC ac) Curb cuts
- PRC ad) Rights of way: existing and proposed
- PRC ae) Sidewalks: existing and proposed
- PRC af) Exterior lighting plan
- PRC ag) Sign locations: size and design
- N/A ah) Water mains and sewerage lines
- PRC ai) Location of dumpsters on concrete pads
- PRC aj) All notes from plats

JL
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N/A
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JL
JL
JL
N/A BOTH ON SITE
JL
JL

Applicant
Initials

Staff
Initials

<u>PRC</u> ak)	Buffer as required by site plan regulations	JC
<u>PRC</u> al)	Green and open space requirements met with both types of spaces inscribed on the plan	JC
<u>PRC</u> am)	Soil types and boundaries, Note: If site contains marginal or questionable soils, a High Intensity Soil, Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire Certified Soil Scientist, who shall affix his/her stamp and signature shall be inscribed on the plan.	JC
<u>N/A</u> an)	Wetlands (and poorly-drained and very poorly-drained soils, also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire certified wetland or soil scientist, who shall affix his/her stamp and signature to the respective plan.	N/A
<u>PRC</u> ao)	"Valid for one year after approval" statement inscribed on the plan.	JC
<u>PRC</u> ap)	Loading bays/docks	JC
<u>PRC</u> aq)	State of New Hampshire engineer's stamp, signature, surveyor's stamp, and signature	JC
<u>PRC</u> ar)	Error of closure (1 in 10,000 or better)	JC
<u>PRC</u> as)	Drafting errors/omissions	JC
<u>PRC</u> at)	Developer names, addresses, telephone numbers and signatures	JC
<u>PRC</u> au)	Photographs, electronic/digital display or video of site and area	JC
<u>PRC</u> av)	Attach one (1) copy of the building elevations	JC
<u>PRC</u> aw)	Fiscal impact study (See previously approved Site Plan Application, waiver granted 7/24/13)	JC
<u>PRC</u> ax)	Traffic study (See previously approved Traffic Study)	JC
<u>PRC</u> ay)	Noise study (See previously approved Site Plan Application, waiver granted 7/24/13)	JC

Applicant
Initials

Staff
Initials

PRC az) Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents

PRC ba) Copy of applicable Town, State, Federal approval/permits to include but not limited to the following:

- industrial discharge application
- sewer application
- flood plain permit
- wetlands special exception
- variance
- erosion control permit (149:8a)
- septic construction approval
- dredge and fill permit
- curb cut permit
- shore-land protection certification in accordance with RSA483-B
- if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.

PRC bb) Presentation plan (colored, with color-coded bar chart)

PRC bc) Fees paid to clerk

PRC bd) Five (5) 22" x 34" copies of the plan shall be brought to the Planning Board meeting and distributed to the Planning Board members at the meeting. Note: for all subsequent meetings involving revised plans, five 22" x 34" copies of said plan shall be brought to the meeting for distribution to the board members.

*Under the purview of the Planning Board, any and all items may be waived.

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Site Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Site Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: Manuel D. Sousa

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: Manuel D. Sousa

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

APPLICATION IS DUE AT NOON 21 days prior to the Planning Board Meeting. (The date the Agenda is CLOSED.) Any applications received after that time will be deferred until the next available meeting.

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: 4 Candy Lane

Street Address: 4 Candy Lane, Hudson, NH 03051

I Anthony Basso hereby request that the Planning Board waive the requirements of item Hudson Land Use Code 275-9,D the Subdivision/Site Plan Checklist in reference to a plan presented by Keach-Nordstrom Assoc., Inc. (name of surveyor and engineer) dated December 15, 2015 for property tax map(s) 101 and lot(s) 27 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

A Fiscal and Environmental Impact Study beyond what we have provided through our Best Management Practices and with the CAP that this project is subject to would cause unnecessary financial burden to the applicant.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

This waiver request is not violating the spirit and intent of the ordinance due to the fact that the site is currently developed and the proposed construction will only improve the Best Management Practices onsite. Fiscally, the project is subject to a C.A.P. fee to be determined.

Signed  (for Anthony Basso)
Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM
Town of Hudson, New Hampshire

Name of Subdivision/Site Plan: 4 Candy Lane

Street Address: 4 Candy Lane, Hudson, NH 03051

I Anthony Basso hereby request that the Planning Board waive the requirements of item Hudson Land Use Code 275-9,C the Subdivision/Site Plan Checklist in reference to a plan presented by Keach-Nordstrom Assoc., Inc. (name of surveyor and engineer) dated December 15, 2015 for property tax map(s) 101 and lot(s) 27 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

A Noise Impact Study would cause unnecessary financial burden to the applicant.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

The ordinance is in place to prevent noise pollution from abutting zoning districts and conflicting land uses. The subject project is directly adjacent on all sides to facilities within the Business Zone. Historically, the applicant's property was used as a parking lot with a regular flow of traffic from buses. All business activities will be conducted inside the building and would need to comply with the Town's Noise Ordinance. It seems a Noise Impact Study should be unnecessary.

Signed:  (for Anthony Basso)
Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____



TOWN OF HUDSON

FIRE DEPARTMENT

39 FERRY STREET, HUDSON, NEW HAMPSHIRE 03051



Emergency 911
Business 603-886-6021
Fax 603-594-1164

Robert M. Buxton
Chief of Department

TO: Town Planner John Cashell

SUBJ: Site Plan application 22 Hampshire Drive Map 216/ Lot 6

FR: Deputy Fire Chief John J. O'Brien

DT: 3 Feb 2016

Please find the following recommendations from the Fire Dept regarding the change of use for the property located at 22 Hampshire Drive.

Fire Alarm: Please have the building connected to the municipal fire alarm, as soon as possible.

Sprinklers: To our knowledge this buildings suppression system is listed as an Ordinary Hazard Group 2. According to the NFPA 101 Sec 30.2.2 Occupancy classification.

The occupancy classification of a repair garage shall be special purpose industrial. Please have an analysis of the sprinkler system conducted to ensure compliance.

John J. O'Brien
Deputy Fire Chief

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

FOOTNOTES:

1. In the event of the denial of a plan, the recording fees collected will not be reimbursed, but will instead be used as an additional fee to help defray administrative costs associated with a denial.
2. The "Review Fees" are fees estimated necessary to offset costs incurred to review and/or compile plans, data, or other information relative to the proposal.
3. The "Amount Due" does not include fees for studies or reviews as authorized in Section G-2 of this regulation.
4. Fees must be paid in full prior to the commencement of any formal review by the Town of Hudson.

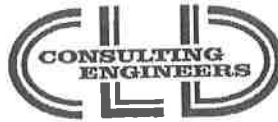
STATUS:

DATE:

<u>1.</u>	Application incomplete	<hr/>
<input checked="" type="checkbox"/> 2.	Application complete. Include any applicable requested waivers, fees paid, routing sheet returned	<hr/> <u>12-23-15</u>
<hr/> 3.	Application formally accepted or denied by Planning Board (90-day review clock by RSA 674:43 to start upon acceptance granted)	<hr/>
<hr/> 4.	Final approval granted or denied	<hr/>
<hr/> 5.	Comments:	
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**Amended Non-Residential Site Plan
4 Candy Lane, Hudson, NH**





"B"

July 11, 2013

Mr. John Cashell, Town Planner
Town of Hudson
12 School Street
Hudson, NH 03051

Re: Town of Hudson Planning Board Review
4 Candy Lane Site Plan, 4 Candy Lane
Tax Map 101, Lot 27, PO #1350-175
CLD Reference No. 03-0249.1270

Dear Mr. Cashell:

CLD has reviewed the first submission of the materials received on June 27, 2013 related to the above-referenced project. A list of items reviewed is enclosed. The scope of our review is based on the Site Plan Review Codes, Stormwater Codes, Driveway Review Codes, Sewer Use Ordinance 77, and criteria outlined in the CLD Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007, and September 3, 2008.

We have included a copy of CLD's evaluation of the checklist for your reference. We note that several items could not be verified by CLD and require action by the Town.

The project consists of constructing a 25,000-square-foot, one-story building, with associated site improvements. The site will be serviced by a proposed well and a proposed septic system.

The following items are noted:

1. Site Plan Review Codes

- a. Hudson Regulations (HR) 275-8.B(17) The applicant has provided locations of two temporary benchmarks on the plan set, but has not referenced the survey to a specific USGS benchmark. Also, we note that the topographic information provided should be expanded to cover the area at the bottom of the proposed retaining wall on the southwest side of the parcel.
- b. HR 275-9.A. See comments below.
- c. HR 275-9.C. A Noise Study was not provided for review. The applicant has noted on the plan set that a waiver has been requested.
- d. HR 275-9.D. A Fiscal and Environmental Impact Study were not provided for review. The applicant has noted on the plan set that a waiver has been requested.
- e. HR 275-9.E. See comments below.



Mr. John Cashell
CLD Reference No. 03-0249.1270
July 11, 2013
Page - 2

- f. HR 275-9.F. Copies of deeds or easements were not received for review as part of the package.
- g. HR 275-9.G. See comments below.

2. Driveway Review Codes (HR 275-8.B.(34)/Chapter 193)

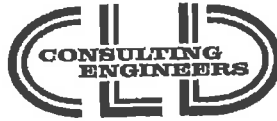
- a. HR 193-10.E. The applicant has not shown any sight distance information on the plan set for the proposed driveway; however, we note that it is less than 400 feet in both directions to a stop condition.
- b. HR 275-8.B.(30)(b) and HR 275-8.B.(30)(d) The applicant should note the type of trucks proposed to access the building, as vehicles larger than a passenger car or truck will likely not be able to complete the turns to or from the rear of the building to the proposed loading spaces, especially if parking spaces in the rear of the site are used. We note that the current configuration also does not allow for emergency vehicles to access the rear of the building. If the configuration remains as proposed we recommend that protective measures be provided at the building corners to minimize the likelihood of building damage. The applicant has also not indicated any type of rear entry into the building implying that any deliveries will have to be unloaded and walked around to the front of the building.
- c. HR 275-9.B. A Traffic Impact Study was not provided for review.
- d. The applicant has shown the dumpster in the rear of the building. Due to the extremely tight nature of the drive area at the building corners, the applicant should demonstrate how the trash truck will access and exit from the rear of the building when the parking spaces are occupied. We are concerned that even when the parking and loading spaces are empty, a standard trash truck will not be able to navigate the corners.

3. Utility Design/Conflicts (HR 275-9.E.)

- Septic system review was not performed as part of this review.

4. Drainage Design /Stormwater Management (HR 275-9.A./Chapter 290)

- a. HR 290-5.B.(2)(b) The applicant should provide an Inspection and Maintenance schedule within the Stormwater Management Report as required.
- b. The applicant has shown a total land disturbance just under the 100,000-square-foot New Hampshire Department of Environmental Services (NHDES) Alteration of Terrain (AoT) threshold. In order to be sure this limit is not exceeded during construction we recommend that areas shown on the plan which are to remain undisturbed be provided with protective measures clearly showing the intent. Often these areas are used as an



Mr. John Cashell
CLD Reference No. 03-0249.1270
July 11, 2013
Page - 4

will be required.

c. Additional local permitting may be required.

8. Other

- a. The applicant should provide more detailed information, including a general construction detail showing the design intent for the proposed stone retaining wall, which is to be designed by others.
- b. The applicant should provide a "One Way" pavement marking detail.
- c. The applicant should review the layout of the proposed ADA detectable warning pads. We note that that ADA Accessibility Guidelines for Buildings and Facilities (ADAAG) recommends installation of the detectable warning pads at the curb line. The current design location proposes them perpendicular to the curb line.
- d. The applicant should confirm that a construction easement will not be needed for the construction of the proposed 235-foot-long retaining wall located within five feet of the south westerly property line.

Please feel free to call if you have any questions.

Very truly yours,

Handwritten signature of Heidi J. Marshall in cursive.

Heidi J. Marshall, P.E.

Handwritten signature of Paul Konieczka in cursive.

Paul Konieczka, AICP

HJM/PK:dc

Enclosure

cc: Town of Hudson Engineering Division – File
Keach-Nordstrom Associates, Inc.
10 Commerce Park North, Suite 3B
Bedford, NH 03110
Fax (603) 627-2915



540 Commercial Street Manchester, NH 03101
(603) 668-8223 • Fax: (603) 668-8802
cld@cldengineers.com • www.cldengineers.com
New Hampshire • Vermont • Maine

TO: File
FROM: Kelsey M. Gagnon *KMG*
DATE: July 11, 2013
RE: Town of Hudson Planning Board Review
4 Candy Lane Site Plan, 4 Candy Lane
Tax Map 101, Lot 27; PO #1350-175
CLD Reference No. 03-0249.1270

The following list itemizes the documents reviewed related to the 4 Candy Lane Site Plan review comments.

- Letter from the Town of Hudson to CLD, June 25, 2013 and received June 27, 2013, including the following:
 1. Copy of *Letter of Transmittal*, prepared by Keach-Nordstrom Associates, Inc., dated June 18, 2013.
 2. Copy of *Preliminary and Final Site Plan Application for Plan Review*, dated June 12, 2012.
 3. *Stormwater Management Report, 4 Candy Lane Site Plan*, prepared by Keach-Nordstrom Associates, Inc., dated May 20, 2013, including the following:
 - a. *Pre-Development Drainage Areas Plan*, Sheet 1 of 2, dated May 1, 2013.
 - b. *Post-Development Drainage Areas Plan*, Sheet 2 of 2, dated May 1, 2013.
 4. Copy of *Non-Residential Site Plan, 4 Candy Lane, Map 101; Lot 27, Hudson, New Hampshire*, prepared by Keach-Nordstrom Associates, Inc., dated, May 1, 2013, with no revisions noted, including the following:
 - a. Cover Sheet.
 - b. *Master Plan*, Sheet 1 of 17.
 - c. *Existing Conditions Plan*, Sheet 2 of 17.
 - d. *Removals/Demolition Plan*, Sheet 3 of 17.
 - e. *Non-Residential Site Layout Plan*, Sheet 4 of 17.
 - f. *Grading, Drainage, and Utility Plan*, Sheet 5 of 17.
 - g. *Erosion Control Plan*, Sheet 6 of 17.
 - h. *Septic System Design Plan*, Sheet 7 of 17.
 - i. *Septic System Design Details*, Sheet 8 of 17.
 - j. *Landscape Plan*, Sheet 9 of 17.
 - k. *Lighting Plan*, Sheet 10 of 17, prepared by Charron Inc.

Memorandum to File
CLD Reference No. 03-0249.1270
July 11, 2013
Page - 2

1. *Drainage Profiles*, Sheet 11 of 17.
- m. *Construction Details*, Sheets 12 through 17 of 17.

KMG:dc

cc: ~~John Cashell – Town of Hudson Planner~~
~~Town of Hudson Engineering Division – File~~



KEACH-NORDSTROM ASSOCIATES, INC.

" C "

July 15, 2013

Town of Hudson
12 School Street
Hudson, New Hampshire 03051

Re: Candy Lane – Response to Engineering Review
4 Candy Lane
Hudson, NH
KNA# 13-0214-1

Dear Mr. Cashell,

We are in receipt of a letter dated July 11, 2013 from CLD Consulting Engineers and a letter dated July 8, 2013 from the Hudson Fire Department. Both letters contain comments relative to a plan review of the above referenced project. In response to the comments contained within those letters, we offer the following explanations and/or plan changes:

CLD Review Letter dated July 11, 2013

1. Site Plan Review Codes

- a. Hudson Regulations (HR) 275-8.B(17). The applicant has provided locations of two temporary benchmarks on the plan set, but has not referenced the survey to a specific USGS benchmark. Also, we note that the topographic information provided should be expanded to cover the area at the bottom of the proposed retaining wall on the southwest side of the parcel.

We have expanded the site survey to include the area on the southwest side of the site. The horizontal datum is New Hampshire State Plane Coordinates (NAD 83). The Vertical Datum is NGVD 1929. Both datum's were established using Trimble kinematic GPS. Note 17 on the Master Site Plan has been added to state this.

- b. HR 275-9.A. See comments below.

No response required.

- c. HR 275-9.C. A Noise Study was not provided for review. The applicant has noted on the plan set that a waiver has been requested.

No response required.

Civil Engineering

Land Surveying

Landscape Architecture

10 Commerce Park North, Suite 3B

Bedford, NH 03110

Phone (603) 627-2881

Fax (603) 627-2915

- d. HR 275-9.D. A Fiscal and Environmental Impact Study were not provided for review. The applicant has noted on the plan set that a waiver has been requested.

No response required.

- e. HR 275-9.E. See comments below.

No response required.

- f. HR 275-9.F. Copies of deeds or easements were not received for review as part of the package.

Enclosed with this revised submittal is a copy of the property deed.

- g. HR 275-9.G. See comments below.

No response required.

2. Driveway Review Codes (HR 275-8.B.(34)/Chapter 193)

- a. HR 193-10.E. The applicant has not shown any sight distance information on the plan set for the proposed driveway; however, we note that it is less than 400 feet in both directions to stop condition.

We have revised the Master Site Plan to illustrate the available sight lines and associated distances.

- b. HR 275-8.B.(30)(b) and HR 275-8.B(30)(d). The applicant should note the type of trucks proposed to access the building, as vehicles larger than a passenger car or truck will likely not be able to complete the turns to or from the rear of the building to the proposed loading spaces, especially if parking spaces in the rear of the site are used. We note that the current configuration also does not allow for emergency vehicles to access the rear of the building. If the configuration remains as proposed we recommend that protective measures be provided at the building corners to minimize the likelihood of building damage. The applicant has also not indicated any type of rear entry into the building implying that any deliveries will have to be unloaded and walked around to the front of the building.

Enclosed, please find an auto turn exhibit that illustrates the maneuvering of the anticipated largest delivery vehicle, garbage truck and fire truck. Additionally, we have added bollards at the corners of the building as suggested. The locations of the proposed overhead doors have also been added to the back side of the building.

- c. HR 275-9.B. A Traffic Impact Study was not provided for review.

Greenman-Pedersen, Inc. is preparing a traffic memorandum for the project. A copy of the noted document will be provided under separate cover.

Civil Engineering

Land Surveying

Landscape Architecture

- d. The applicant has shown the dumpster in the rear of the building. Due to the extremely tight nature of the drive area at the building corners, the applicant should demonstrate how the trash truck will access and exit from the rear of the building when the parking spaces are occupied. We are concerned that even when the parking and loading spaces are empty, a standard trash truck will not be able to navigate the corners.

Enclosed, please find an auto turn exhibit that illustrates the maneuvering of the anticipated largest delivery vehicle, garbage truck and fire truck. We have oriented the dumpster so that a front load garbage truck has easy access to the dumpster.

3. Utility Design/Conflicts (HR 275-9.E.)

- Septic system review was not performed as part of this review.

No response required.

4. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- a. HR 290-5.B.(2)(b). The applicant should provide an Inspection and Maintenance schedule within the Stormwater Management Report as required.

We have revised the stormwater management report to include an operation and maintenance plan and associated inspection report.

- b. The applicant has shown a total land disturbance just under the 100,000-square foot New Hampshire Department of Environmental Services (NHDES) Alteration of Terrain (AoT) threshold. In order to be sure this limit is not exceeded during construction we recommend that areas shown on the plan which are to remain undisturbed be provided with protective measures clearly showing the intent. Often these areas are used as an expansion of designated staging or stockpile areas, which in this case could cause the site to be required to prepare and submit a complete AoT package during construction.

The grading and drainage plan and erosion control plan have been revised to illustrate an area that shall not be disturbed during construction. Non-disturbance of this noted area will safely ensure that an AOT Permit will not be needed.

- c. The applicant should provide design information such as slope, elevation, etc. for the Underdrain tying into CB#12.

The noted information has been added to the grading and drainage plan. Additionally, the profile for CB#12 has been revised to include an invert for the underdrain.

- d. The applicant should review and clarify the design intent of the *Outlet Control Structure (OS#110) Detail and the Stormwater Management Report*, as we note a discrepancy. The side view of the detail illustrates "top of weir Elev=265.85," the weir plate illustrates

"Elev=266.10," and the Stormwater Management Report illustrates a 0.45" orifice at the Elevation of 266.10.

The weir elevation should be 266.10. The detail has been revised accordingly. Additionally, the hydroCAD report has been revised to eliminate the .45" orifice and to specify the 4' weir at elevation 266.10.

- e. We note Section D of the Stormwater Management Report (Summary) states "Proposed stormwater best management practices (BMP) are designed in accordance with New Hampshire Stormwater Manual Volume 2: Post-Construction Best Management Practices Selection and Design, and BMP worksheets provided by the NHDES. We did not find the BMP worksheets in the package received for review by CLD. The applicant should provide the referenced BMP worksheets for review.

The GRV work sheet has been added to the report. Note that because the site is paved in the pre-development scenario the GRV is zero. Additionally, we have added the BMP sheet for the three FocalPoint Systems. NHDES does not have a specific BMP sheet for the FocalPoint system, however for past projects requiring NHDES AOT approval we have adapted the General Calculations WQV and WQF (optional worksheet) and used it for the FocalPoint Systems.

5. Landscaping

- a. HR 275-8.B.(31)(a) and HR 275-8.B.(31)(b). The applicant appears to have only used the drive aisle area to calculate the total paved area for the interior parking lot landscape calculation, but does appear to have provided an interior landscaped area as 10% of total paved area as required. We suggest that the plan be updated to reflect the current paved area total.

The interior parking lot area was calculated as the sum of the parking stall area plus the associated adjacent access isle. This calculation includes the parking out front as well as the parallel spaces behind the building. We have rechecked the calculation and have confirmed that our initial calculation is correct.

- b. HR 275-8.B.(31)(c). The applicant appears to have only used the drive aisle area to calculate the total paved area related to the shade tree calculation. In this case, twenty one (21) shade trees are required and the applicant has provided thirteen (13) trees (7 existing and 6 new).

See response above.

- c. HR 275-8.B.(32). The applicant has not proposed any screening between the proposed loading area and the adjacent nonresidential building site.

Screening is required when the abutting use is incompatible with the proposed use or when abutting a residential zone. In this instance we believe that the proposed

site is compatible with the abutting use and it does not abut a residential zone. Therefore screening is not required in this instance.

6. Erosion Control/Wetland Impacts

- The Town should reserve the right to require additional erosion control measures during construction if needed.

Note 10 on sheet 6 and note 29 on sheet 1 states this requirement.

7. State and Local Permits (HR 275-9.G.)

- a. The applicant should note the status of the NHDES Individual Subsurface Disposal System Permit on the plan set.

Note 30 on sheet 1 has been added to state that this permit is pending.

- b. The applicant has noted a maximum of 24 employees in the plan set. We note that if the site has 25 employees in the future, additional State of New Hampshire well permitting will be require.

No response required.

- c. Additional local permitting may be required.

No response required.

8. Other

- a. The applicant should provide more detailed information, including a general construction detail showing the design intent for the proposed stone retaining wall, which is to be designed by others.

A detail of the proposed redi rock retaining wall has been added to the plan set (sheet 12 of 17). Final design of the wall be prepared by a structural engineer based on site geotechnical testing results of the parent soil.

- b. The applicant should provide a "One Way" pavement marking detail.

The requested detail has been added to the plan set (sheet 12 of 17).

- c. The applicant should review the layout of the proposed ADA detectable warning pads. We note that ADA Accessibility Guidelines for Buildings and Facilities (ADAAG) recommends installation of detectable warning pads at the curb line. The current design location proposes them perpendicular to the curb line.

Revised as requested.

- d. The applicant should confirm that a construction easement will not be needed for the construction of the proposed 235-foot long retaining wall located within five feet of the south westerly property line.

The proposed retaining wall is in a fill section. We have discussed this situation with the Applicant and future site contactor and do not anticipate the need for a temporary construction easement.

Hudson Fire Department letter dated July 8, 2013

- A) Site Access NFPA 1141 requires access roads to have unobstructed access of not less than 20 feet. Please pay particular attention to this during the design phase. Weather and parked vehicles can reduce this clearance considerably.

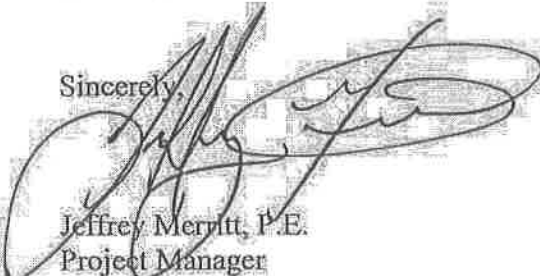
The site has been laid out such that 24 feet of travel way is available around the building. Additionally, the parking has been positioned so that it will not interfere with access. Enclosed with this letter is a copy of a turning movement plan that shows the accessibility for a fire truck.

- B) Water supply. This proposed building of 25,000 square feet is required to have a full NFPA 13 sprinkler system installed per The International Building Code Section 903 and NFPA 1. Both documents adopted by the State of New Hampshire. I see no provisions for water supply in the site plan documents. I call your attention to NFPA 1 Annex H Fire Flow Requirements for Building Table H.5.1 outlines the minimum required fire flow.

Note 31 on the Master Site Plan has been added to state that the building must be equipped with an NFPA approved fire sprinkler system.

We trust that the noted plan revisions and/or explanations will adequately address the comments listed above. Please do not hesitate to contact this office if you have any questions.

Sincerely,



Jeffrey Merritt, P.E.

Project Manager

Keach-Nordstrom Associates, Inc.

Civil Engineering

Land Surveying

Landscape Architecture

10 Commerce Park North, Suite 3B

Bedford, NH 03110

Phone (603) 627-2881

Fax (603) 627-2915

"D"

REF.: MAX-2013067.00

July 16, 2013

Mr. Anthony Basso, LLS
Keach-Nordstrom Associates, Inc.
10 Commerce Park North, Suite 3B
Bedford, New Hampshire 03110

SUBJECT: Traffic Impact Assessment
Proposed Commercial Building
4 Candy Lane
Hudson, New Hampshire

Greenman-Pedersen Inc. (GPI) has prepared this letter to evaluate the expected trips associated with the redevelopment of a bus depot to a commercial building located at 4 Candy Lane in Hudson, New Hampshire. The site currently consists of a vacant bus depot which includes 28 standard vehicle parking spaces and 38 school bus parking spaces. The proposed project consists of razing the existing paved area and constructing a 25,000 square foot commercial building. Access to and egress from the site is currently provided via one unsignalized driveway on Candy Lane at the western property line. As proposed, one unsignalized driveway will continue to provide access and egress to the site; however, the driveway will be relocated approximately 120 feet to the east, at the center of the Candy Lane site frontage. The location of the project site in relation to the surrounding roadway system is shown on Figure 1.

Geometrics and Traffic Control

NH Route 102 (Derry Road)

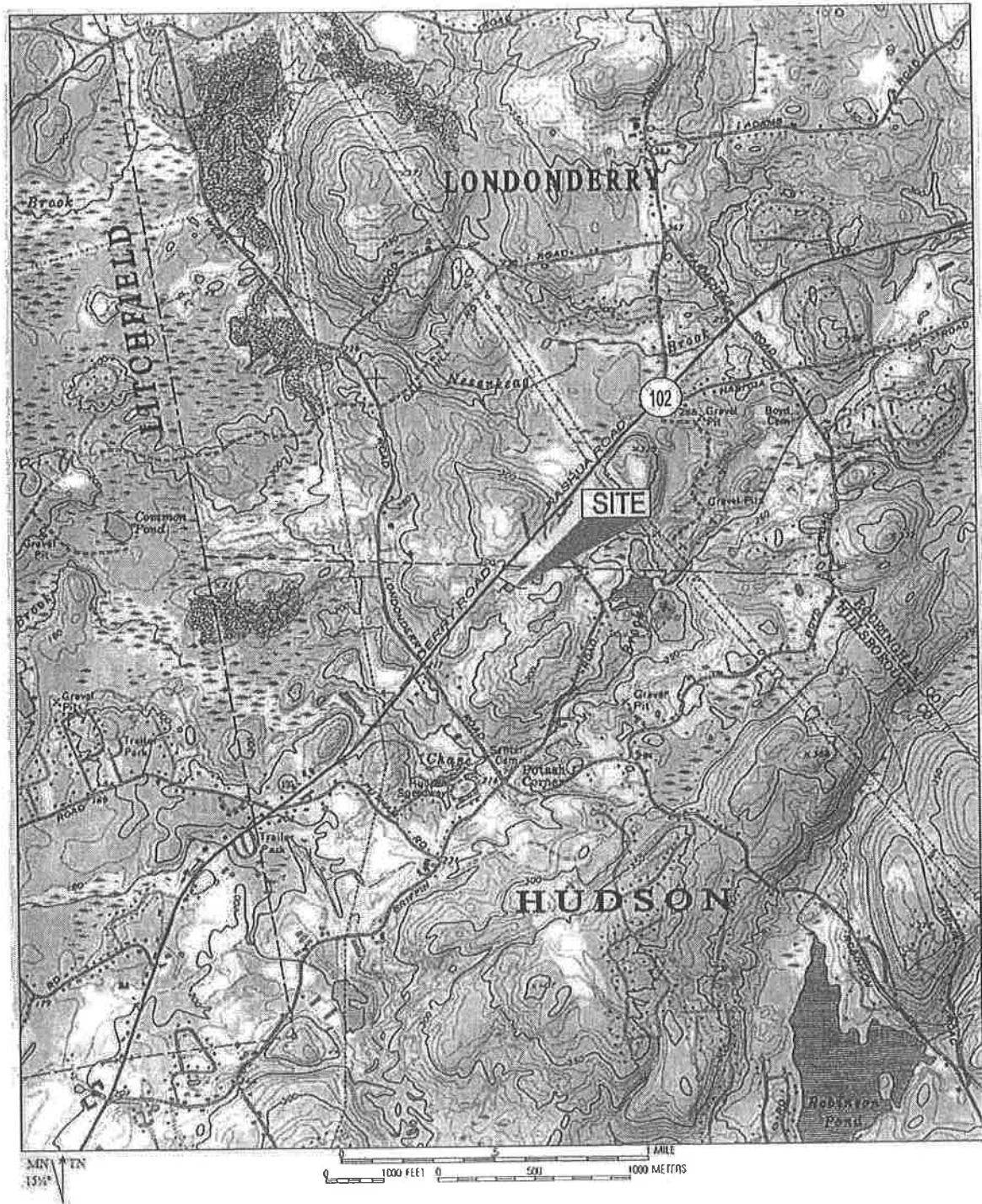
Within the study area, NH Route 102 is a state-maintained roadway and is generally oriented in an east-west direction. NH Route 102 connects Route 111 to the southwest with Route 107 in Raymond to the northeast. In the vicinity of the site, NH Route 102 maintains a two-lane cross section with one travel lane per direction and exclusive turn lanes at major intersections. Land use along NH Route 102 within the study area consists of commercial and industrial uses. In the vicinity of the site, the posted speed limit along NH Route 102 is 40 miles per hour (mph).

Rebel Road

Rebel Road and Tracy Lane intersect NH Route 102 from the south and north, respectively, to form standard 4-way unsignalized intersection. Rebel Road is a town-maintained roadway approximately 775 feet in length and is generally oriented in a north-south direction. Rebel Road maintains a two-lane

TRAFFIC IMPACT ASSESSMENT

Proposed Commercial Building – Hudson, New Hampshire



GPI Greenman-Pedersen, Inc.

Engineers, Architects, Planners, Construction Engineers & Inspectors

Figure 1
Site Location Map

Mr. Anthony Basso, LLS
July 16, 2013
Page 3 of 6

cross section with one travel lane per direction although pavement markings are not present. Land use along the roadway consists of commercial and industrial uses. There is no posted speed limit on Rebel Road; however, based on correspondence with the Hudson Police Department the enforced speed limit is 30 mph.

Candy Lane

Candy Lane intersects Rebel Road from the west to form T-type unsignalized intersection. Candy Lane is a town-maintained roadway approximately 540 feet long and is generally oriented in an east-west direction. Candy Lane maintains a two-lane cross section with one travel lane per direction although there are no pavement markings. Land use along the roadway consists of commercial and industrial uses. There is no posted speed limit on Candy Lane; however, based on correspondence with the Hudson Police Department the enforced speed limit is 30 mph.

Trip-Generation Estimates

Existing Bus Depot Site

For trip-generation purposes, traffic to be generated by the vacant school bus depot was researched from the Institute of Transportation Engineers (ITE) *Trip Generation Manual*¹ as well as the existing number of parking spaces that exist on the site. Since no Land Use Code (LUC) exists within the ITE *Trip Generation Manual* that is comparable to the existing site, the existing parking spaces were used to determine trip generation for the site. Currently the site accommodates 28 standard vehicle spaces and 38 school bus spaces for a total of 66 parking spaces. It was assumed that there are extra bus spaces on-site which are allocated for buses that need repair, are out-of-service, are used for special events, etc. Accordingly, it is expected that 28 vehicles would enter during the weekday AM peak hour (28 standard vehicle parking spaces) and 28 school buses would exist during the weekday AM peak hour. During the weekday PM peak hour, it was assumed that many of the school buses would return prior to the peak hour of roadway traffic (before 4:00 PM). Accordingly it was assumed that 50 percent of the 28 buses that left in the morning would enter the site during the weekday PM peak hour and those 14 bus drivers would exit the site in their own vehicles during the weekday PM peak hour.

Proposed Commercial Building Site

As proposed, the project consists of redeveloping the site and constructing a 25,000 square foot commercial building. There could be as many as 10-2,500 square foot units with a total of 50 square feet of office per unit. Accordingly, the building would consist of 20,000 square feet of garage storage space and 5,000 square feet of office space. Traffic to be generated by the proposed development was forecast using the trip rates contained in the ITE *Trip Generation Manual*. Table 1 provides a trip-generation

¹ *Trip Generation Manual*, 9th Edition; Institute of Transportation Engineers; Washington, DC; 2012.

Mr. Anthony Basso, LLS
 July 16, 2013
 Page 4 of 6

comparison assuming the proposed project contains 25,000 square feet of office space versus a 20,000 square foot self-storage facility for the garage component and 5,000 square feet of office space. All trip-generation data are attached to this letter.

**Table 1
 TRIP-GENERATION SUMMARY**

Time Period	Proposed Office Space ^a	Proposed Garage Space ^b	Proposed Office Space ^c	Total Trips ^d
Weekday Daily	280	50	60	110
Weekday AM Peak Hour:				
<i>Enter</i>	34	2	7	9
<i>Exit</i>	5	1	1	2
<i>Total</i>	39	3	8	11
Weekday PM Peak Hour:				
<i>Enter</i>	6	3	1	4
<i>Exit</i>	31	2	6	8
<i>Total</i>	37	5	7	12

^a ITE Land Use Code 710 (General Office Building) for 25,000 sf.

^b ITE Land Use Code 151 (Mini-Warehouse) for 20,000 sf.

^c ITE Land Use Code 710 (General Office Building) for 5,000 sf.

^d Proposed Garage Space (20,000 sf) plus Proposed Office Space (5,000 sf).

As shown in Table 1, the trip-generation estimates for the full office building alternative provides a higher estimate of site trips. Although the garage storage space will be used by the tenants of the proposed office component of the project and the new traffic to study area for the storage space component is expected to be negligible, the trips for the full office building alternative were used to provide a more conservative (worse case) analysis scenario.

Trip Generation Comparison

For comparison purposes, trip-generation estimates were developed for the existing and proposed uses on the site. The proposed commercial building is expected to have similar operating characteristics as the existing bus depot. That is, employees are expected to arrive at the site in the morning in order to collect the items they need for the day and then leave in their work vehicle within one hour of arriving at the site, similar to those showing up to begin their bus route. This differs from a "normal" office operation;

Mr. Anthony Basso, LLS
 July 16, 2013
 Page 5 of 6

therefore, the rates for general office were used, however, not the distribution (entering/exiting). Accordingly, using the trip-generation estimates based on 25,000 square feet of office space it was determined that the entering trips during the weekday AM peak hour would also exit the site during the weekday AM peak hour and the exiting trips during the weekday PM peak hour would also enter during the weekday PM peak hour. Table 2 summarizes the additional peak-hour trips expected to be generated as part of the project.

**Table 2
 TRIP-GENERATION COMPARISON**

Time Period	Existing Bus Depot Trips ^a	Currently Proposed Office Trips ^b	Additional Trips ^c
Weekday AM Peak Hour:			
<i>Enter</i>	28	34	6
<i>Exit</i>	28	34	6
<i>Total</i>	56	68	12
Weekday PM Peak Hour:			
<i>Enter</i>	14	31	17
<i>Exit</i>	14	31	17
<i>Total</i>	28	62	34

^a Based on existing parking spaces on the site.

^b From Table 1: AM Peak Hour Entering volume and PM Peak Hour Exiting volume for 25,000 sf of office space.

^c Currently Proposed Office Trips minus Existing Bus Depot Trips.

As shown in Table 2, based on the proposed redevelopment project as compared to the bus depot use is expected to generate 12 additional vehicle trips (6 entering and 6 exiting) during the weekday AM peak hour and 34 additional vehicle trips (17 entering and 17 exiting) during the weekday PM peak hour.

Trip Distribution

Having estimated project-generated vehicle trips, the next step is to determine the distribution of project traffic and assign these trips to the local roadway network. The directional distribution of site traffic is dependent on expected travel routes to and from the site and existing travel patterns. Based on a traffic count conducted at the intersection of NH Route 102 at Robinson Road and West Road for a nearby project, approximately 60 percent of the site-generated traffic is expected to travel to and from the west along NH Route 102 and 40 percent is expected to and from the east on NH Route 102.

Mr. Anthony Basso, LLS
July 16, 2013
Page 6 of 6

Traffic Increases

The proposed project will result in increases in traffic on Candy Lane, Rebel Road, and NH Route 102. Peak-hour traffic-volume increases in the range of 4 to 20 vehicles per hour are expected east and west on NH Route 102. These increases represent, on average, approximately 1 additional vehicle every 3 to 15 minutes during the weekday AM and weekday PM peak hours.

In light of the information provided in this letter, it is expected that the proposed redevelopment project will result in minimal vehicular impacts. Should you have any questions, or require additional information, please contact me.

Sincerely,

GREENMAN – PEDERSEN, INC.



Heather L. Monticup, P.E.
Project Manager

Attachment(s)

TRAFFIC IMPACT ASSESSMENT

Proposed Commercial Building – Hudson, New Hampshire

ATTACHMENTS

TRIP-GENERATION WORKSHEETS

Institute of Transportation Engineers (ITE)
Land Use Code (LUC) 710 - General Office Building

Average Vehicle Trips Ends vs: 1,000 Sq. Feet Gross Floor Area
Independent Variable (X): 25,000

AVERAGE WEEKDAY DAILY

$$T = 11.03 * (X)$$

$$T = 11.03 * 25,000$$

$$T = 275,75$$

$$T = 276 \text{ vehicle trips}$$

with 50% (138 vph) entering and 50% (138 vph) exiting.

WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$T = 1.56 * (X)$$

$$T = 1.56 * 25,000$$

$$T = 39,00$$

$$T = 39 \text{ vehicle trips}$$

with 88% (34 vph) entering and 12% (5 vph) exiting.

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$T = 1.49 * (X)$$

$$T = 1.49 * 25,000$$

$$T = 37,25$$

$$T = 37 \text{ vehicle trips}$$

with 17% (6 vph) entering and 83% (31 vph) exiting.

Institute of Transportation Engineers (ITE)
Land Use Code (LUC) 151 - Mini-Warehouse

Average Vehicle Trips Ends vs: 1,000 Sq. Feet Gross Floor Area
Independent Variable (X): 20,000

AVERAGE WEEKDAY DAILY

$$T = 2.50 * (X)$$

$$T = 2.50 * 20$$

$$T = 50.00$$

T = 50 vehicle trips

with 50% (25 vph) entering and 50% (25 vph) exiting;

WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$T = 0.14 * (X)$$

$$T = 0.14 * 20$$

$$T = 2.80$$

T = 3 vehicle trips

with 55% (2 vph) entering and 45% (1 vph) exiting;

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$T = 0.26 * (X)$$

$$T = 0.26 * 20$$

$$T = 5.20$$

T = 5 vehicle trips

with 50% (3 vph) entering and 50% (2 vph) exiting;

Institute of Transportation Engineers (ITE)
Land Use Code (LUC) 710 - General Office Building

Average Vehicle Trips Ends vs: 1,000 Sq. Feet Gross Floor Area
Independent Variable (X): 5,000

AVERAGE WEEKDAY DAILY

$$T = 11.03 * (X)$$

$$T = 11.03 * 5,000$$

$$T = 55,15$$

$$T = 56 \text{ vehicle trips}$$

with 50% (28 vph) entering and 50% (28 vph) exiting.

WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$T = 1.56 * (X)$$

$$T = 1.56 * 5,000$$

$$T = 7,80$$

$$T = 8 \text{ vehicle trips}$$

with 88% (7 vph) entering and 12% (1 vph) exiting.

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$T = 1.49 * (X)$$

$$T = 1.49 * 5,000$$

$$T = 7,45$$

$$T = 7 \text{ vehicle trips}$$

with 17% (1 vph) entering and 83% (6 vph) exiting.

"E"



PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: 12/17/2015 Tax Map # 101 Lot # 27
Name of Project: Amended Non-Residential Site Plan 4 Candy Lane
Zoning District: _____ General SP# 01-116
(For Town Use) (For Town Use)
ZBA Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: Nottingham Square Corp. Sousa Realty & Development
Address: 46 Lowell Road 46 Lowell Road
Address: Hudson, NH 03051 Hudson, NH 03051
Telephone # _____ (603) 880-7799
Fax # _____
Email: _____ msousa@sousarealtynh.com

PROJECT ENGINEER

SURVEYOR

Name: Patrick Colburn, PE - KNA Anthony Basso, LLS - KNA
Address: 10 Commerce Park No., 3 10 Commerce Park No., 3
Address: Bedford, NH 03110 Bedford, NH 03110
Telephone # (603) 627-2881 (603) 627-2881
Fax # (603) 627-2915 (603) 627-2915
Email: pcolburn@keachnordstrom.com abasso@keachnordstrom.com

PURPOSE OF PLAN:

To amend the previously approved Non-Residential Site Plan to reduce the building square footage from 25,000 sf to 19,920 sf, provide 90° parking spaces where parallel were approved, and accommodate a 30,000 Gal cistern. All other improvements approved with the previous plan remain unchanged

For Town Use
Plan Routing Date: 12/22/15 Sub/Site Date: 1/27/16
 I have no comments I have comments (attach to form)
DRW Title: Acting Zoning Administrator Date: 12-28-15
(Initials)
DEPT: Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning _____
_____ Consultant _____ Highway Department
Fees Paid: \$ 116.64



PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: 12/17/2015 Tax Map # 101 Lot # 27
Name of Project: Amended Non-Residential Site Plan 4 Candy Lane
Zoning District: _____ General SP# 01-16
(For Town Use) (For Town Use)
ZBA Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: Nottingham Square Corp. Sousa Realty & Development
Address: 46 Lowell Road 46 Lowell Road
Address: Hudson, NH 03051 Hudson, NH 03051
Telephone # _____ (603) 880-7799
Fax # _____
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For Town Use

Plan Routing Date: 12/22/15 Sub/Site Date: 1/27/16

I have no comments I have comments (attach to form)

Rms Title: Fire Chief Date: 1/6/2016
(Initials)

DEPT:
 Zoning Engineering Assessor Police Fire Planning
 Consultant Highway Department

Fees Paid: \$ 116.64



TOWN OF HUDSON

FIRE DEPARTMENT

39 FERRY STREET, HUDSON, NEW HAMPSHIRE 03051



Emergency 911
Business 603-886-6021
Fax 603-594-1164

Robert M. Buxton
Chief of Department

TO: John Cashell
Town Planner

FR: Robert M. Buxton
Fire Chief

DT: January 6, 2016

RE: Amended Non-Residential Site Plan 4 Candy Lane (Map 101, Lot 27)

The following is a list of site plan concerns for this project. This review was completed utilizing plans submitted by Patrick Colburn from KNA dated December 2015.

1. The trash receptacle should be placed not less than 20 feet (preferably 50 feet) from a building and at least 50 feet from a public roadway and sources of ignition. It should also be enclosed with a secure noncombustible fence of adequate height. This is a nationally accepted fire prevention practice found in the **National Fire Protection Association's (NFPA) Fire Protection Handbook, 18 Edition, Section 3, Chapter 33, Page 370.**
2. Please provide the markings for fire apparatus access in accordance with **NFPA 1-2003 Edition, Uniform Fire Code, Section 18.2.2.5.7.**
3. A 30,000-gallon cistern has been proposed for this project. The cistern shall be installed and maintained in accordance with **NFPA 1142.** This proposed installation is acceptable to the Fire Department.
4. Please provide three (3) cistern maps signed by the Hudson Fire Department, the Hudson Water Company and the property owner. There shall be a hydrant flag acceptable to the current Town of Hudson Engineering Department's specifications provided for all water supply appurtenances.
5. The common driveway shall have a permanent sign approved by the Hudson Fire Department noting the addresses of the houses that are accessed from that driveway. These signs shall be approved and installed before issuance of any building permits.
6. Please make sure that the proposed snow storage area shown on the plan in the area of the cistern is cut back to make sure access is maintained.

****The following life safety and fire protection concerns provided are for informational purposes to the applicant and Planning Board for this project. Final determinations on these issues occur after further review of the project.**

- A. The proposed building may require an approved sprinkler system. The Hudson Fire Department upon review of the building plans makes this determination. This requirement is in accordance with the **International Building Code (IBC), 2000 Edition and Code of the Town of Hudson (HTC), current revision, Chapter 210, Article VI**. It may be possible following the IBC to separate the tenants by providing firewalls in the building. This would eliminate the need to sprinkle the building according to the HTC. Separate occupancies may still require a sprinkler system according to the IBC, State Code, applicable codes or ordinances. Further plan reviews will uncover those requirements.
- B. Any fire protection system shall be monitored by an approved fire alarm system. The fire alarm system shall be connected to the Hudson Fire Department's municipal fire alarm system or a substantially equivalent system in accordance with the **Code of the Town of Hudson, Chapter 210**. A site plan detailing the aerial or underground layout to the municipal fire alarm connection must be provided before the utilities are completed for this project. Any required fire alarm system component must remain accessible and visible at all times.
- C. Will there be inside or outside storage above the exempt amounts of hazardous materials, liquids or chemicals presenting a physical or health hazard as listed in **International Building Code, Sections 307, 414 or 415?**
- D. A blasting permit will be required for any blasting on the site in accordance with the **Code of the Town of Hudson, Chapter 202**.
- E. All storage either inside or outside of hazardous materials, liquids or chemicals presenting a physical or health hazard as listed in **NFPA 1, Section 20.15.2.2** shall be in accordance with the applicable portions of the following:

NFPA 13, Standard for the Installation of Sprinkler Systems
NFPA 30, Flammable and Combustible Liquids Code
NFPA 30B, Code for the Manufacture and Storage of Aerosol Products
NFPA 230, Standard for the Fire Protection of Storage
NFPA 430, Code for the Storage of Liquid and Solid Oxidizers
NFPA 432, Code for the Storage of Organic Peroxide Formulations
NFPA 434, Code for the Storage of Pesticides

These are all of the Hudson Fire Department's concerns as of this time. If you have any further questions, please call me directly and thank you for your continued cooperation.

cc: Project Engineer
File



PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: 12/17/2015 Tax Map # 101 Lot # 27
Name of Project: Amended Non-Residential Site Plan 4 Candy Lane
Zoning District: General SP# 01-116
(For Town Use) (For Town Use)
ZBA Action:

PROPERTY OWNER:

DEVELOPER:

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Address: Hudson, NH 03051 Hudson, NH 03051
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Fax #
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PROJECT ENGINEER

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For Town Use
Plan Routing Date: 12/22/15 Sub/Site Date: 1/27/16
I have no comments I have comments (attach to form)
ECP Title: Town Engineer Date: 12/28/15
DEPT: Zoning [checked] Engineering Assessor Police Fire Planning
Consultant Highway Department
Fees Paid: \$116.64



PRELIMINARY & FINAL SITE PLAN APPLICATION
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KO Title: NON RES - T Date: 12/23/15
(Initials)
DEPT: _____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning _____
_____ Consultant Highway Department
Fees Paid: \$ 116.64



PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: 12/17/2015 Tax Map # 101 Lot # 27
Name of Project: Amended Non-Residential Site Plan 4 Candy Lane
Zoning District: General SP# 01-110
ZBA Action:

PROPERTY OWNER:

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For Town Use
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I have no comments [X] I have comments (attach to form)
Title: Asst. Assessor Date: 12-23-15
DEPT: Zoning Engineering [X] Assessor Police Fire Planning
Fees Paid: \$116.64

* On sheets 1, 2, 4, it states on abutting parcels that they are in an economic revitalization district, that is incorrect, there is no such eco. rev zone in this area



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I have no comments I have comments (attach to form)
Title: Lieutenant Date: 12/22/15
DEPT: Zoning Engineering Assessor [checked] Police Fire Planning
Fees Paid: \$116.64

“F”

4 Candy Lane Contractor's Building

Date: 02/10/16 Sector #: 1 Map/Lot: 101/027

Project Name: 4 Candy Lane

Proposed ITE Use #1: General Industry

Proposed Building Area (square footage):

19,920 S.F. X \$1.21
per SF,
General Light Industrial
X 35%, because the
previous site use
included 65% of the
total P.M. Peak Hour
Traffic associated
with the proposed
General Industry
Use.

CAP FEES:

Sector #1

\$8,436.12

Total CAP Fee: \$8,436.12

**MINUTES/DECISIONS OF THE PLANNING BOARD
MEETING DATE: JULY 24, 2013**

I. NEW BUSINESS/PUBLIC HEARINGS

- | | | |
|----|-------------------------------------|--------------------------------|
| A. | 4 Candy Lane Site Plan
SP# 03-13 | Map 101/Lot 27
4 Candy Lane |
|----|-------------------------------------|--------------------------------|

Purpose of plan: Remove the existing paved parking area and construct a 25,000 square foot commercial building and associated site improvements. Application Acceptance & Hearing.

Selectman Maddox moved to accept the Site Plan application for 4 Candy Lane – Map 101/Lot 27. Motion seconded by Ms. McGrath. All in favor – motion carried.

Waivers:

HTC 275-9D – Fiscal Impact Study

Selectman Maddox moved to grant the requested waiver HTC 275-9D – Fiscal Impact Study – because in addition to the submitted plans, CAP fee and other submitted application materials, said study is unnecessary in order to evaluate the fiscal impact of this development, and as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan Review regulations. Motion seconded by Ms. McGrath. All in favor – motion carried.

HTC 275-9C – Noise Study

Selectman Maddox moved to grant the requested waiver HTC 275-9C – Noise Study – because such a study is unnecessary, taking into consideration that the majority of the commercial activities associated with the proposed use shall be conducted inside the subject building, thus reducing the noise impact upon abutting properties, which are existing commercial uses, all of which are located in the same Zoning District, and as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan Review regulations. Motion seconded by Ms. McGrath. All in favor – motion carried.

Selectman Maddox moved to grant approval for the Site Plan entitled: Non-Residential Site Plan 4 Candy Lane Map 101 Lot 027, Hudson, NH, prepared by Keach-Nordstrom Associates, Inc., dated: May 1, 2013, last revised July 12, 2013, consisting of Sheets 1 – 17 and Notes 1 – 32, in accordance with the following terms and conditions:

- 1) All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record (hereinafter referred to as the Plan).

- 2) Prior to the Planning Board endorsement of the Plan, the Development Agreement shall be favorably reviewed and recommended on by Town Counsel.
- 3) All improvements shown on the Plan, including Notes 1 – 32, shall be completed in their entirety and at the expense of the Applicant or his assigns.
- 4) After the issuance of the foundation permit and prior to the issuance of the framing permit, the applicant shall submit to the Hudson Community Development Department a foundation “As-Built” plan on a transparency and to the same scale as the approved site plan. The foundation “As-Built” plan shall include all structural dimensions and lot line setback measurements to the foundation and be stamped by a licensed land surveyor. Any discrepancy between the approved site plan and foundation “As-Built” plans shall be documented by the applicant and be part of the foundation “As-Built” submission.
- 5) Prior to the issuance of a final certificate of occupancy, a L.L.S. certified “As-Built” site plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms with the Planning Board approved Plan.
- 6) Onsite landscaping shall be provided for in accordance with the plant and tree species specified on Sheet 9 of 17 of the Plan.
- 7) Construction activities on the site shall be limited to between 7:00 AM and 7:00 PM Monday through Saturday. No construction activities shall occur on Sunday.
- 8) This approval shall be subject to final engineering review.
- 9) A CAP Fee in the amount of \$11,550.00 shall be paid prior to the issuance of the Certificate of Occupancy. Note: said CAP Fee was established in accordance with the 2013 CAP Fee Matrix.
- 10) No retail sales shall be allowed on the site together with no outside storage. A note to this effect shall be inscribed on the Plan prior to Planning Board endorsement.

Motion seconded by Ms. McGrath. All in favor – motion carried.

"H"

PLAN REFERENCES:

1. "SUBDIVISION PLAN MAP 42 LOT 7, LEE J. ALLARD ET. UX., N.H. ROUTE 102, HUDSON & LONDONDERRY N.H." SCALE: 1"=100', DATED: MARCH 1984, LAST REVISED 7/19/84, PREPARED BY: GEDRGE F. KELLER INC. H.C.R.D. PLAN NO. 18162.
2. "TAX MAP 101 LOT 30, AS-BUILT SITE PLAN, LOCATED AT: CANDY LANE, PREPARED FOR AND LAND OF: MARIO & DENYSE PLANTE, 9 OLD DERRY ROAD, HUDSON, NEW HAMPSHIRE." SCALE: 1"=30', DATED: OCTOBER 18, 2004, PREPARED BY: BEDFORD DESIGN CONSULTANTS. H.C.R.D. PLAN NO. 33636.



MAP 101; LOT 32
MICHAEL R. & DAVID B. GENEST
32 GUILLETTE STREET
SANFORD, ME 04073
BK. 5816; PG. 1772
ZONE: BUSINESS (B) &
102-ROBINSON ROAD-WEST
ROAD ECONOMIC REVITALIZATION
ZONE OVERLAY DISTRICT

MAP 101; LOT 30
MARIO & DENYSE PLANTE, TRUSTEES
9 OLD DERRY ROAD
HUDSON, NH 03051
BK. 7167; PG. 1210
ZONE: BUSINESS (B) & 102-ROBINSON
ROAD-WEST ROAD ECONOMIC REVITALIZATION
ZONE OVERLAY DISTRICT

MAP 101; LOT 20
SCOTT HEALY
26 LAURA AVENUE
PEABROKE, NH 02359
BK. 5377; PG. 0183
ZONE: BUSINESS (B) &
102-ROBINSON ROAD-WEST
ROAD ECONOMIC REVITALIZATION
ZONE OVERLAY DISTRICT

MAP 101; LOT 21
SYNTECH MICROWAVE, INC.
8 REBEL ROAD
HUDSON, NH 03051
BK. 3377; PG. 0283
ZONE: BUSINESS (B) &
102-ROBINSON ROAD-WEST
ROAD ECONOMIC REVITALIZATION
ZONE OVERLAY DISTRICT

MAP 101; LOT 28
MICHAEL R. & DAVID B. GENEST
P.O. BOX 151
SANFORD, ME 04073
BK. 5176; PG. 1626
ZONE: BUSINESS (B) &
102-ROBINSON ROAD-WEST
ROAD ECONOMIC REVITALIZATION
ZONE OVERLAY DISTRICT

MAP 101; LOT 26
NOTTINGHAM SQUARE CORP.
46 LOWELL ROAD
HUDSON, NH 03051
BK. 8436; PG. 2012
ZONE: BUSINESS (B) &
102-ROBINSON ROAD-WEST
ROAD ECONOMIC REVITALIZATION
ZONE OVERLAY DISTRICT

MAP 101; LOT 22
BENJAMIN F. &
CHARLES M. ELLIS
10 REBEL ROAD
HUDSON, NH 03051
BK. 5282; PG. 1326
ZONE: BUSINESS (B) &
102-ROBINSON ROAD-WEST
ROAD ECONOMIC REVITALIZATION
ZONE OVERLAY DISTRICT



NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE LAYOUT OF A PROPOSED 25,000 SF BUILDING AND ASSOCIATED SITE IMPROVEMENTS TO TAX MAP 101; LOT 27.
2. TOTAL SITE AREA: 106,213 SF, OR 2.438 ACRES.
3. SUBJECT PARCEL IS LOCATED IN THE BUSINESS (B) ZONING DISTRICT AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REGULATIONS:
- LOT AREA: 30,000 SF (WITH WATER AND SEWER)
43,680 SF (WITHOUT WATER OR SEWER)
- LOT FRONTAGE: 156 FT
MINIMUM BUILDING SETBACKS:
- FRONT: 50 FT
- SIDE: 15 FT
- REAR: 15 FT
4. MAP 101; LOT 27 INDICATES TOWN OF HUDSON TAX ASSESSORS MAP AND LOT NUMBER.
5. SITE IS SERVICED BY PRIVATE ON-SITE SEPTIC AND WELL.
6. PARKING:
REQUIRE: 1 SPACE/100 SF REQUIRED
25,000 SF/100 = 41.6 = 42 SPACES
PROVIDED: 42 SPACES (INCLUDES 2 HANDICAP SPACES)
7. LOADING:
REQUIRE: 1 SPACE/FIRST 5,000 SF+1 SPACE FOR EACH ADDITIONAL 10,000 SF
(25,000 SF) = 1 + 2 = 3 SPACES REQUIRED
PROVIDED: 3 SPACES PROPOSED
8. OPEN SPACE:
REQUIRE: 40%
PROVIDED: 40.7%
9. SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
10. ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD PRIOR TO INSTALLATION.
11. SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE II OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADE.
12. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
13. TRASH PICK-UP SHALL NOT OCCUR EARLIER THAN 2:00 AM NOR LATER THAN 2:00 PM, MONDAY THROUGH FRIDAY ONLY.
14. EXTERIOR CONSTRUCTION ACTIVITIES ON THE SITE SHALL BE LIMITED TO BETWEEN 7:00 AM AND 7:00 PM, MONDAY THROUGH SATURDAY. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS.
15. PRESENT OWNER OF REDDORG:
NOTTINGHAM SQUARE CORPORATION
46 LOWELL ROAD
HUDSON, NH 03051
H.C.R.D. BK. 8436; PG. 1363
16. EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, COMMUNITY PANEL NUMBER 3301100000 PANEL NUMBER 508 OF 701, EFFECTIVE DATE: SEPTEMBER 20, 2006 INDICATES THAT THE SUBJECT PREMISES IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.
17. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE IN APRIL 2013. HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NAVD 83. BOTH DATUMS WERE ESTABLISHED USING DOUBLE BENCHMARK GPS.
18. NO JURISDICTIONAL WETLANDS ARE PRESENT ON-SITE.
19. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE REACH-HORSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-344-7233.
20. WAIVERS REQUESTED:
NHC 275-9(C) - NOISE STUDY
MIO 279-9(D) - FISCAL/ENVIRONMENTAL IMPACT STUDY
21. FLOODED SHOW FROM THE FACILITY, DRIVEWAY, PARKING LOTS, AND SIDEWALK SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAILED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND MANNER AND IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
22. LOT DEVELOPMENT INVOLVES EXCAVATION AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON WEEKENDS.
23. ON-SITE DRAINAGE SYSTEM SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH NHDES REQUIREMENTS FOR SUCH SYSTEMS.
24. THE APPLICANT'S ENGINEER AND/OR CONTRACTOR SHALL CONTACT THE TOWN OF HUDSON TO SCHEDULE A PRECONSTRUCTION MEETING, WHICH WILL BE HELD WITH STAFF PRIOR TO STARTING CONSTRUCTION.
25. ALL SPECIFICATIONS OF APPROVAL SHALL BE INCORPORATED INTO THE DEVELOPMENT AGREEMENT, WHICH SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS, TOGETHER WITH THE SITE PLAN-OR-RECORD.
26. THIS APPROVAL SHALL BE SUBJECT TO FINAL ENGINEERING REVIEW, INCLUDING APPROVAL OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).

NOTES (CONTINUED):

27. A COST ALLOCATION PROCEDURE (CAP) AMOUNT OF SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AS PROVIDED IN THE 2012 CAP FEE MATRIX.
28. ALL IMPROVEMENTS SHOWN ON THE SITE PLAN-OR-RECORD, INCLUDING NOTES 1-31, SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
29. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY PROVE IT NECESSARY.
30. THIS PRODUCT REQUIRES AN NHDES INDIVIDUAL SUBSURFACE DISPOSAL SYSTEM PERMIT. SAID PERMIT IS PENDING REVIEW BY NHDES.
31. THE PROPOSED BUILDING WILL HAVE AN NHPA-APPROVED FIRE SPRINKLER SYSTEM.

THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION IN APRIL 2013 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRANSFER ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS AN URBAN STANDARD SURVEY, (CATEGORY 1, CONDITION 1) AS DEFINED IN THE NEW HAMPSHIRE LAND SURVEYORS ASSOCIATION ETHICS AND STANDARDS.

DATE: _____
DATE: _____

LEGEND

- CONCRETE BOUND FOUND
- ADJUTER LINE
- PROPERTY LINE
- CHAIN LINK FENCE
- QUADRANT
- EXISTING EDGE OF PAVEMENT
- BUILDING SETBACK
- GREEN AREA
- PROPOSED EDGE OF PAVEMENT
- PROPOSED BITUMINOUS CURB
- PROPOSED RETAINING WALL
- PROPOSED QUADRANT



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

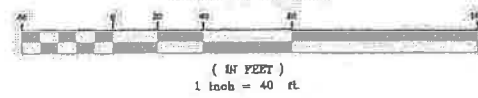
SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

OWNER OF MAP 101; LOT 27

SIGNATURE: _____
DATE: _____

GRAPHIC SCALE



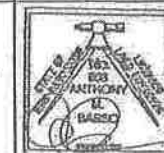
MASTER PLAN
4 CANDY LANE

MAP 101; LOT 27
CANDY LANE AND REBEL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

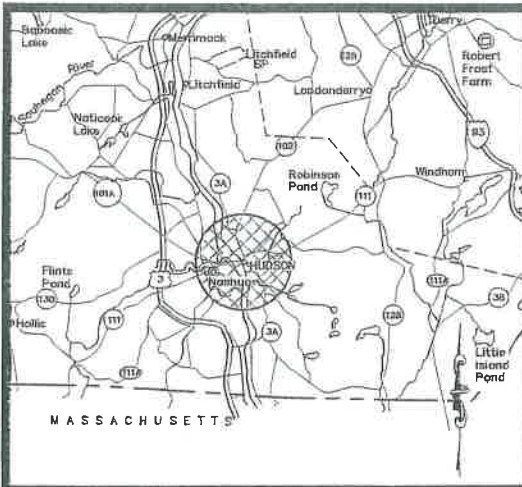
OWNER OF RECORD:
NOTTINGHAM SQUARE CORP.
46 LOWELL ROAD
HUDSON, NH 03051
HCRD BK. 8436; PG. 1363

APPLICANT:
NOTTINGHAM SQUARE CORP.
46 LOWELL ROAD
HUDSON, NH 03051

KMA REACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 28, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY
1	07/12/13	REVISED PER OLD COMMENTS	ADM
DATE: MAY 1, 2013 SCALE: 1" = 40'			
PROJECT NO: 13-0214-1 SHEET 1 OF 17			



VICINITY PLAN
NOT TO SCALE



VICINITY MAP
SCALE: 1"=1,000'

AMENDED NON-RESIDENTIAL SITE PLAN

4 CANDY LANE

MAP 101; LOT 27

CANDY LANE AND REBEL ROAD

HUDSON, NEW HAMPSHIRE



OWNER/APPLICANT:
 NOTTINGHAM SQUARE CORPORATION
 46 LOWELL ROAD
 HUDSON, NEW HAMPSHIRE 03051

PREPARED BY:
 KEACH-NORDSTROM ASSOCIATES, INC.
 10 COMMERCE PARK NORTH, SUITE 3B
 BEDFORD, NEW HAMPSHIRE 03110
 (603) 627-2881

SHEET TITLE	SHEET No.
AMENDED MASTER PLAN	1
EXISTING CONDITIONS PLAN	2
AMENDED REMOVALS/DEMOLITION PLAN	3
AMENDED NON-RESIDENTIAL SITE LAYOUT PLAN	4
AMENDED GRADING, DRAINAGE, AND UTILITY PLAN	5
AMENDED EROSION CONTROL PLAN	6
AMENDED SEPTIC SYSTEM DESIGN PLAN	7
AMENDED SEPTIC SYSTEM DESIGN DETAILS	8
AMENDED LANDSCAPE PLAN	9
AMENDED LIGHTING PLAN	10
AMENDED DRAINAGE PROFILES	11
AMENDED CONSTRUCTION DETAILS	12 - 18



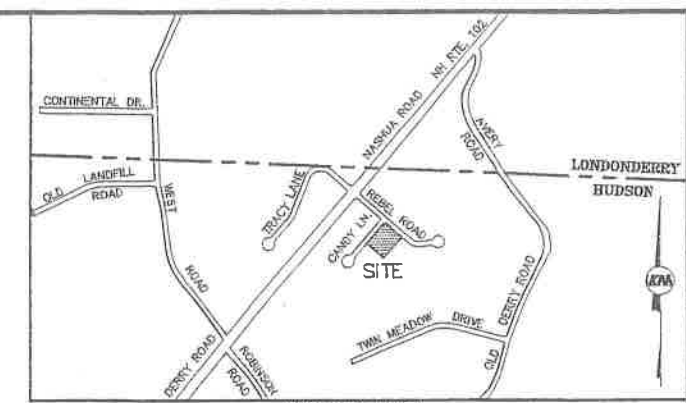
KNA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

DECEMBER 15, 2015
 PROJECT NO. 13-0214-1

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE _____ SIGNATURE DATE _____
 SIGNATURE _____ SIGNATURE DATE _____

NOTE: SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



VICINITY MAP
SCALE: 1"=1,000'

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO AMEND THE PREVIOUSLY APPROVED NON-RESIDENTIAL SITE PLAN TO REDUCE THE BUILDING SQUARE FOOTAGE FROM 25,000 SF, AS PREVIOUSLY APPROVED, TO 19,920 SF. THE REDUCED BUILDING SIZE ALLOWS THE APPROVED PARALLEL PARKING SPACES TO BE 60' PARKING SPACES WITHIN THE SAME IMPERVIOUS FOOTPRINT. LASTLY, THIS AMENDED SITE PLAN ACCOMMODATES A 30,000 GALLON CISTERN AS REQUESTED BY THE HUDSON FIRE DEPARTMENT. ALL OTHER IMPROVEMENTS PROPOSED AND APPROVED WITH THE PREVIOUS PLAN REMAIN UNCHANGED.
 - TOTAL SITE AREA: 106,213 SF, OR 2.438 ACRES.
 - SUBJECT PARCEL IS LOCATED IN THE BUSINESS (B) ZONING DISTRICT AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REGULATIONS:

REGULATIONS:	43,560 SF (WITHOUT WATER OR SEWER)	FRONT	50 FT
- LOT AREA		- SIDE	15 FT
- LOT FRONTAGE	150 FT	- REAR	15 FT
 - MAP 101; LOT 27 INDICATES TOWN OF HUDSON TAX ASSESSORS MAP AND LOT NUMBER.
 - SITE IS SERVICED BY PRIVATE ON-SITE SEPTIC AND WELL.
 - PARKING:

BASIS:	1 SPACE/600 SF REQUIRED
REQUIRED:	19,920 SF/600 = 33.2 = 33 SPACES
PROVIDED:	58 SPACES (INCLUDES 3 HANDICAP SPACES)
 - LOADING:

REQUIRED:	1 SPACE/FIRST 5,000 SF + 1 SPACE FOR EACH ADDITIONAL 10,000 SF (19,920 SF) = 1 + 1.5 = 3 SPACES REQUIRED
PROVIDED:	3 SPACES PROPOSED
 - OPEN SPACE:

REQUIRED:	40%
PROVIDED:	40.3%
 - SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
 - ALL SIGNS REQUIRED BY APPROVAL BY THE HUDSON PLANNING BOARD PRIOR TO INSTALLATION.
 - SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADE.
 - IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
 - TRASH PICK-UP SHALL NOT OCCUR EARLIER THAN 7:00 AM NOR LATER THAN 7:00 PM, MONDAY THROUGH FRIDAY ONLY.
 - EXTERIOR CONSTRUCTION ACTIVITIES ON THE SITE SHALL BE LIMITED TO BETWEEN 7:00 AM AND 7:00 PM MONDAY THROUGH SATURDAY. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS.
 - PRESENT OWNER OF RECORD: NOTTINGHAM SQUARE CORPORATION
46 LOWELL ROAD
HUDSON, NH 03051
H.C.R.D. BK. 8438; PG. 1363
 - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, COMMUNITY PANEL NUMBER 3301100508D PANEL NUMBER 508 OF 701. EFFECTIVE DATE: SEPTEMBER 26, 2009 INDICATES THAT THE SUBJECT PREMISES IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.
 - BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE IN APRIL 2013. HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NGVD 1929. BOTH DATUMS WERE ESTABLISHED USING TRIMBLE KINEMATIC GPS.
 - NO JURISDICTIONAL WETLANDS ARE PRESENT ON-SITE.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
 - WAIVERS GRANTED ON JULY 24, 2013:

HTC 275-9(C)	- NOISE STUDY
HTC 275-9(D)	- FISCAL/ENVIRONMENTAL IMPACT STUDY
 - FLOVED SNOW FROM THE FACILITIES, DRIVEWAY, PARKING LOTS, AND SIDEWALK SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
 - IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON WEEKENDS.
 - ON-SITE DRAINAGE SYSTEM SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH NHDES REQUIREMENTS FOR SUCH SYSTEMS.
 - THE APPLICANT'S ENGINEER AND/OR CONTRACTOR SHALL CONTACT THE TOWN OF HUDSON TO SCHEDULE A PRECONSTRUCTION MEETING, WHICH WILL BE HELD WITH STAFF PRIOR TO STARTING CONSTRUCTION.
 - ALL STIPULATIONS OF APPROVAL AGREEMENT, WHICH SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS, TOGETHER WITH THE SITE PLAN-OF-RECORD.
 - THIS APPROVAL SHALL BE SUBJECT TO FINAL ENGINEERING REVIEW, INCLUDING APPROVAL OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
 - AFTER THE ISSUANCE OF THE FOUNDATION PERMIT AND PRIOR TO THE ISSUANCE OF THE FRAMING PERMIT, THE APPLICANT SHALL SUBMIT TO THE HUDSON COMMUNITY DEVELOPMENT DEPARTMENT A FOUNDATION "AS-BUILT" PLAN ON A TRANSPARENT AND TO THE SAME SCALE AS THE APPROVED SITE PLAN. THE FOUNDATION "AS-BUILT" PLAN SHALL INCLUDE ALL STRUCTURAL DIMENSIONS AND LOT LINE SETBACK MEASUREMENTS TO THE FOUNDATION AND BE STAMPED BY A LICENSED LAND SURVEYOR. ANY DISCREPANCY BETWEEN THE APPROVED SITE PLAN AND FOUNDATION "AS-BUILT" PLANS SHALL BE DOCUMENTED BY THE APPLICANT AND BE PART OF THE FOUNDATION "AS-BUILT" SUBMISSION.
 - PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, A L.L.S. CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED PLAN.

MAP 101; LOT 21
MATTHEW & LYNN MASON
c/o SYNTech MICROWAVE, INC.
8 REBEL ROAD
HUDSON, NH 03051
BK. 8498; PG. 1582
ZONE: BUSINESS (B) &
102-ROBINSON ROAD-WEST
ROAD ECONOMIC REVITALIZATION
ZONE OVERLAY DISTRICT

MAP 101; LOT 22
BENJAMIN F. &
CHARLES M. ELLIS
10 REBEL ROAD
HUDSON, NH 03051
BK. 5282; PG. 1355
ZONE: BUSINESS (B) &
102-ROBINSON ROAD-WEST ROAD
ECONOMIC REVITALIZATION ZONE
OVERLAY DISTRICT

NOTES (CONTINUED):

- A COST ALLOCATION PROCEDURE (CAP) AMOUNT OF \$11,550.00 SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AS PROVIDED IN THE 2013 CAP FEE MATRIX.
- ALL IMPROVEMENTS SHOWN ON THE SITE PLAN-OF-RECORD, INCLUDING NOTES 1-34, SHALL BE COMPLETED BY THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
- THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
- THIS PROJECT REQUIRES AN NHDES INDIVIDUAL SUBSURFACE DISPOSAL SYSTEM PERMIT. SAID PERMIT IS PENDING REVIEW BY NHDES.
- NO RETAIL SALES SHALL BE ALLOWED ON THE SITE TOGETHER WITH NO OUTSIDE STORAGE.



MAP 101; LOT 32
MICHAEL R. & DAVID B. GENEST
P.O. BOX 151
SANFORD, ME 04073
BK. 5616; PG. 1772
ZONE: BUSINESS (B) &
102-ROBINSON ROAD-WEST
ROAD ECONOMIC REVITALIZATION
ZONE OVERLAY DISTRICT

MAP 101; LOT 30
(UNITS 1-4)
MARIO & DENYSE PLANTE, TRUSTEES
GREEN MOUNTAIN PARTNERS REALTY TRUST
9 OLD DERRY ROAD
HUDSON, NH 03051
BK. 7167; PG. 1216
ZONE: BUSINESS (B) & 102-ROBINSON
ROAD-WEST ROAD ECONOMIC REVITALIZATION
ZONE OVERLAY DISTRICT

MAP 101; LOT 30
(UNIT 5)
ANTHONY E. DIONNE, TRUSTEE
GREENLAND INVESTMENT REALTY TRUST
PO BOX 1206
LONDONDERRY, NH 03053-1026
BK. 7421; PG. 1845
ZONE: BUSINESS (B) & 102-ROBINSON
ROAD-WEST ROAD ECONOMIC REVITALIZATION
ZONE OVERLAY DISTRICT

MAP 101; LOT 28
MICHAEL R. & DAVID B. GENEST
P.O. BOX 151
SANFORD, ME 04073
BK. 5176; PG. 1855
ZONE: BUSINESS (B) &
102-ROBINSON ROAD-WEST
ROAD ECONOMIC REVITALIZATION
ZONE OVERLAY DISTRICT

MAP 101; LOT 26
NOTTINGHAM SQUARE CORP.
46 LOWELL ROAD
HUDSON, NH 03051
BK. 8438; PG. 2012
ZONE: BUSINESS (B) &
102-ROBINSON ROAD-WEST ROAD
ECONOMIC REVITALIZATION ZONE
OVERLAY DISTRICT

- PLAN REFERENCES:**
- "SUBDIVISION PLAN: MAP 42 LOT 7, LEE J. ALLARD ET. UX., N.H. ROUTE 102, HUDSON & LONDONDERRY N.H.," SCALE: 1"=100', DATED: MARCH 1984, LAST REVISED 7/18/84, PREPARED BY: GEORGE F. KELLER INC. H.C.R.D. PLAN NO. 18102.
 - "TAX MAP 101 LOT 30, AS-BUILT SITE PLAN, LOCATED AT: CANDY LANE, PREPARED FOR AND LAND OF: MARIO & DENYSE PLANTE, 9 OLD DERRY ROAD, HUDSON, NEW HAMPSHIRE," SCALE: 1"=30', DATED: OCTOBER 18, 2004, PREPARED BY: BEDFORD DESIGN CONSULTANTS. H.C.R.D. PLAN NO. 33636.

LEGEND

- CONCRETE BOUND FOUND
- ABUTTER LINE
- PROPERTY LINE
- CHAIN LINK FENCE
- GUARDRAIL
- EXISTING EDGE OF PAVEMENT
- BUILDING SETBACK
- GREEN AREA
- PROPOSED EDGE OF PAVEMENT
- PROPOSED BITUMINOUS CURB
- PROPOSED RETAINING WALL
- PROPOSED GUARDRAIL



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____

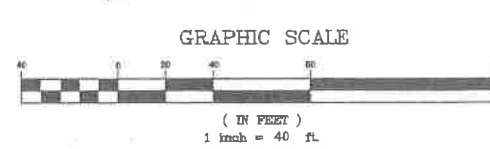
SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

OWNER OF MAP 101; LOT 27

SIGNATURE: _____

DATE: _____



THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION IN APRIL 2013 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS AN URBAN STANDARD SURVEY (CATEGORY 1, CONDITION 1) AS DEFINED IN THE NEW HAMPSHIRE LAND SURVEYORS ASSOCIATION ETHICS AND STANDARDS.

DATE: _____

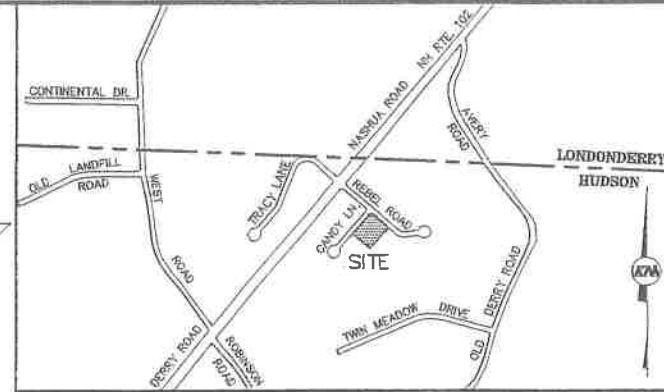
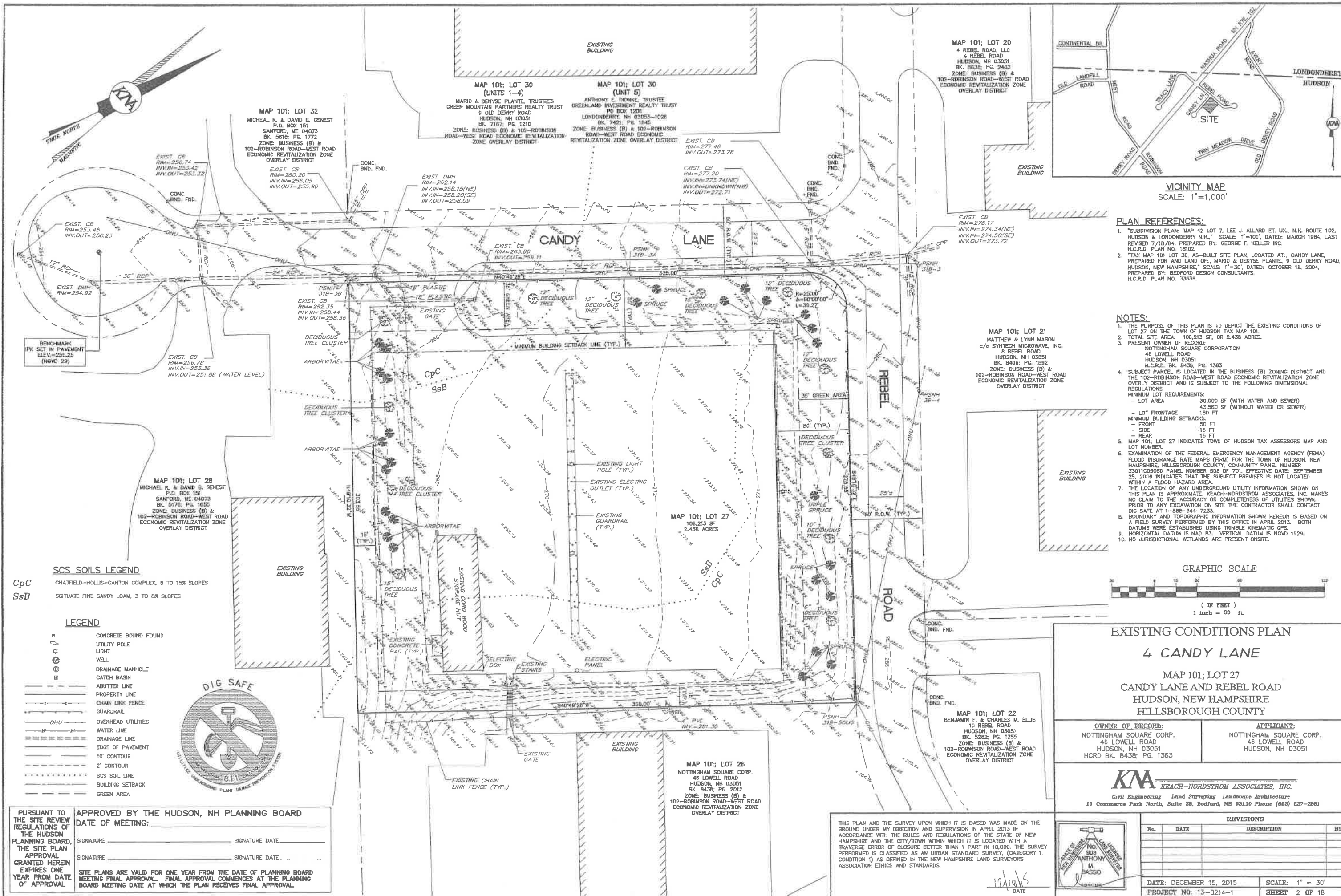
AMENDED MASTER PLAN
4 CANDY LANE
MAP 101; LOT 27
CANDY LANE AND REBEL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: NOTTINGHAM SQUARE CORP. 46 LOWELL ROAD HUDSON, NH 03051 HCRD BK. 8438; PG. 1363	APPLICANT: NOTTINGHAM SQUARE CORP. 46 LOWELL ROAD HUDSON, NH 03051
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KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 38, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS		
No.	DATE	DESCRIPTION

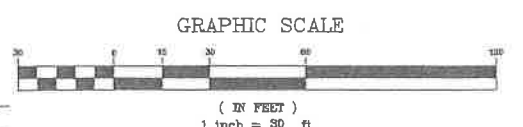
DATE: DECEMBER 15, 2015 SCALE: 1" = 40'
PROJECT NO: 13-0214-1 SHEET 1 OF 18



VICINITY MAP
SCALE: 1"=1,000'

- PLAN REFERENCES:**
- "SUBDIVISION PLAN: MAP 42 LOT 7, LEE J. ALLARD ET. UX., N.H. ROUTE 102, HUDSON & LONDONDERY N.H." SCALE: 1"=100', DATED: MARCH 1984, LAST REVISED 7/18/84, PREPARED BY: GEORGE F. KELLER INC. H.C.R.D. PLAN NO. 18102
 - "TAX MAP 101 LOT 30, AS-BUILT SITE PLAN, LOCATED AT: CANDY LANE, PREPARED FOR AND LAND OF: MARIO & DENYSE PLANTE, 9 OLD DERRY ROAD, HUDSON, NEW HAMPSHIRE." SCALE: 1"=30', DATED: OCTOBER 18, 2004, PREPARED BY: BEDFORD DESIGN CONSULTANTS. H.C.R.D. PLAN NO. 33635.

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS OF LOT 27 ON THE TOWN OF HUDSON TAX MAP 101.
 - TOTAL SITE AREA: 106,213 SF, OR 2.436 ACRES.
 - PRESENT OWNER OF RECORD: NOTTINGHAM SQUARE CORPORATION, 46 LOWELL ROAD, HUDSON, NH 03051, H.C.R.D. BK. 8438, PG. 1363
 - SUBJECT PARCEL IS LOCATED IN THE BUSINESS (B) ZONING DISTRICT AND THE 102-ROBINSON ROAD-WEST ROAD ECONOMIC REVITALIZATION ZONE OVERLY DISTRICT AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REGULATIONS:
MINIMUM LOT REQUIREMENTS:
- LOT AREA 30,000 SF (WITH WATER AND SEWER)
- LOT FRONTAGE 150 FT
- LOT DEPTH 43,560 SF (WITHOUT WATER OR SEWER)
MINIMUM BUILDING SETBACKS:
- FRONT 50 FT
- SIDE 15 FT
- REAR 15 FT
 - MAP 101; LOT 27 INDICATES TOWN OF HUDSON TAX ASSESSORS MAP AND LOT NUMBER.
 - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, COMMUNITY PANEL NUMBER 3301000500 PANEL NUMBER 508 OF 701, EFFECTIVE DATE: SEPTEMBER 25, 2009 INDICATES THAT THE SUBJECT PREMISES IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-344-7233.
 - BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE IN APRIL 2013. BOTH DATUMS WERE ESTABLISHED USING TRIMBLE KINEMATIC GPS.
 - HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NGVD 1929.
 - NO JURISDICTIONAL WETLANDS ARE PRESENT ONSITE.



EXISTING CONDITIONS PLAN
4 CANDY LANE
MAP 101; LOT 27
CANDY LANE AND REBEL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: NOTTINGHAM SQUARE CORP. 46 LOWELL ROAD HUDSON, NH 03051 HCRD BK. 8438; PG. 1363	APPLICANT: NOTTINGHAM SQUARE CORP. 46 LOWELL ROAD HUDSON, NH 03051
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KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2891

REVISIONS		
No.	DATE	DESCRIPTION

DATE: DECEMBER 15, 2015 SCALE: 1" = 30'
PROJECT NO: 13-0214-1 SHEET 2 OF 18

SCS SOILS LEGEND
CpC CHATFIELD-HOLLIS-CANTON COMPLEX, 8 TO 15% SLOPES
SsB SCITUATE FINE SANDY LOAM, 3 TO 8% SLOPES

- LEGEND**
- ☐ CONCRETE BOUND FOUND
 - UTILITY POLE
 - LIGHT
 - WELL
 - DRAINAGE MANHOLE
 - CATCH BASIN
 - ABUTTER LINE
 - PROPERTY LINE
 - CHAIN LINK FENCE
 - GUARDRAIL
 - OVERHEAD UTILITIES
 - WATER LINE
 - DRAINAGE LINE
 - EDGE OF PAVEMENT
 - 10' CONTOUR
 - 2' CONTOUR
 - SCS SOIL LINE
 - BUILDING SETBACK
 - GREEN AREA



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

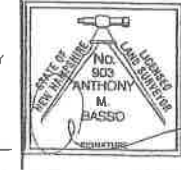
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SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION IN APRIL 2013 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS AN URBAN STANDARD SURVEY, (CATEGORY 1, CONDITION 1) AS DEFINED IN THE NEW HAMPSHIRE LAND SURVEYORS ASSOCIATION ETHICS AND STANDARDS.

12/15/15
DATE



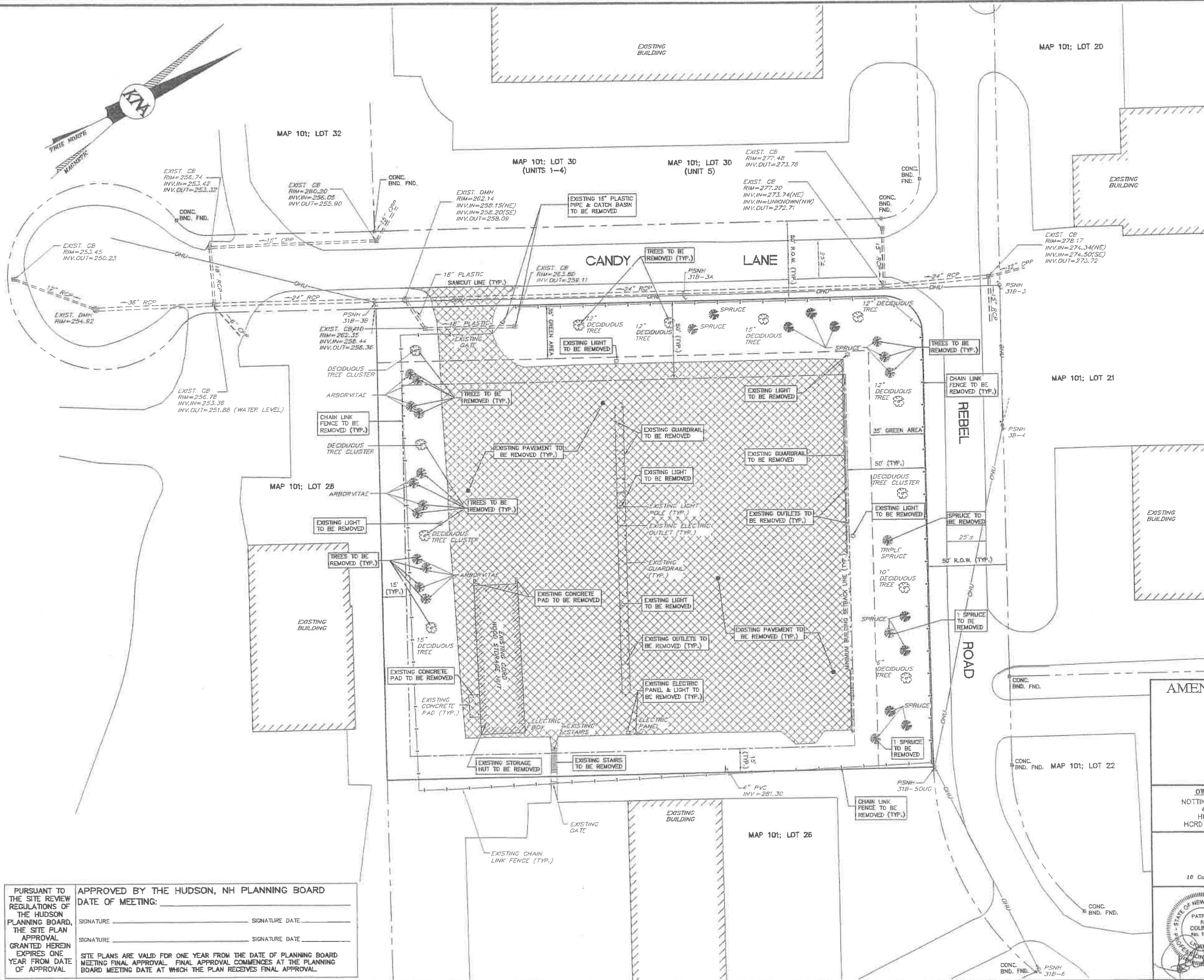
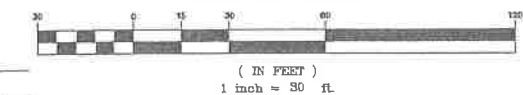
- GENERAL NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING FEATURES ON SITE TO BE REMOVED, SALVAGED, OR REPLACED.
 2. ITEMS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH THE TOWN OF HUDSON REQUIREMENTS, UNLESS OTHERWISE SHOWN HEREON OR DIRECTED BY OWNER.
 3. ALL EXISTING PAVEMENT AND GRAVEL WITHIN THE CROSS HATCHED AREA IS TO BE REMOVED DURING THE DEMOLITION PHASE OF THE PROJECT. EXCESS MATERIAL FROM THESE AREAS SHALL BE APPROPRIATELY DISPOSED OF OFFSITE.
 4. THE CONTRACTOR SHALL CONTROL ALL DUST GENERATED DURING THE REMOVAL PHASE AND CONSTRUCTION PHASE SO THAT NO DUST LEAVES THE SITE.
 5. ANY MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE RESET BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR AT THE SITE CONTRACTORS EXPENSE.



LEGEND

- ⊠ CONCRETE BOUND FOUND
- ⊕ UTILITY POLE
- ⊙ LIGHT
- ⊗ WELL
- ⊕ DRAINAGE MANHOLE
- ⊕ CATCH BASIN
- ⊕ ABUTTER LINE
- ⊕ PROPERTY LINE
- ⊕ CHAIN LINK FENCE
- ⊕ GUARDRAIL
- ⊕ OVERHEAD UTILITIES
- ⊕ WATER LINE
- ⊕ DRAINAGE LINE
- ⊕ EXISTING EDGE OF PAVEMENT
- ⊕ BUILDING SETBACK
- ⊕ GREEN AREA
- ⊕ SAWCUT LINE
- ⊕ PAVEMENT & GRAVEL TO BE REMOVED

GRAPHIC SCALE

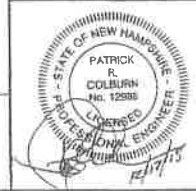


AMENDED REMOVALS/DEMOLITION PLAN
4 CANDY LANE
 MAP 101; LOT 27
 CANDY LANE AND REBEL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD:
 NOTTINGHAM SQUARE CORP.
 46 LOWELL ROAD
 HUDSON, NH 03051
 HCRD BK. 8438; PG. 1363

APPLICANT:
 NOTTINGHAM SQUARE CORP.
 46 LOWELL ROAD
 HUDSON, NH 03051

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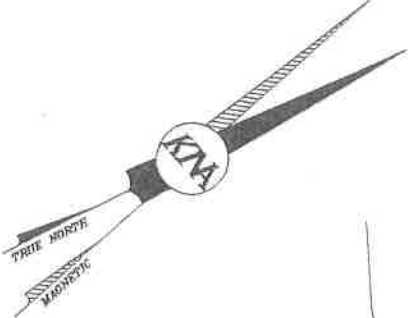
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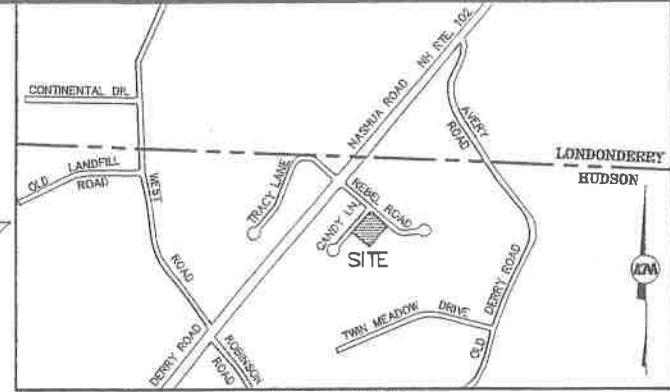


MAP 101; LOT 32
MICHAEL R. & DAVID B. GENEST
P.O. BOX 151
SANFORD, ME 04073
BK. 5516; PG. 1772
ZONE: BUSINESS (B) &
102-ROBINSON ROAD-WEST
ROAD ECONOMIC REVITALIZATION
ZONE OVERLAY DISTRICT

MAP 101; LOT 30
(UNITS 1-4)
MARIO & DENISE PLANTE, TRUSTEES
GREEN MOUNTAIN PARTNERS REALTY TRUST
9 OLD DERRY ROAD
HUDSON, NH 03051
BK. 7157; PG. 1210
ZONE: BUSINESS (B) & 102-ROBINSON
ROAD-WEST ROAD ECONOMIC REVITALIZATION
ZONE OVERLAY DISTRICT

MAP 101; LOT 30
(UNIT 5)
ANTHONY E. DIONNE, TRUSTEE
GREENLAND INVESTMENT REALTY TRUST
PO BOX 1206
LONDONDERRY, NH 03053-1026
BK. 7421; PG. 1845
ZONE: BUSINESS (B) & 102-ROBINSON
ROAD-WEST ROAD ECONOMIC REVITALIZATION
ZONE OVERLAY DISTRICT

MAP 101; LOT 20
4 REBEL ROAD, LLC
4 REBEL ROAD
HUDSON, NH 03051
BK. 6232; PG. 2463
ZONE: BUSINESS (B) &
102-ROBINSON ROAD-WEST
ROAD ECONOMIC REVITALIZATION
ZONE OVERLAY DISTRICT



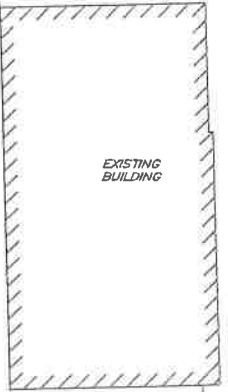
VICINITY MAP
SCALE: 1"=1,000'

SEE SHEET 1 FOR NOTES



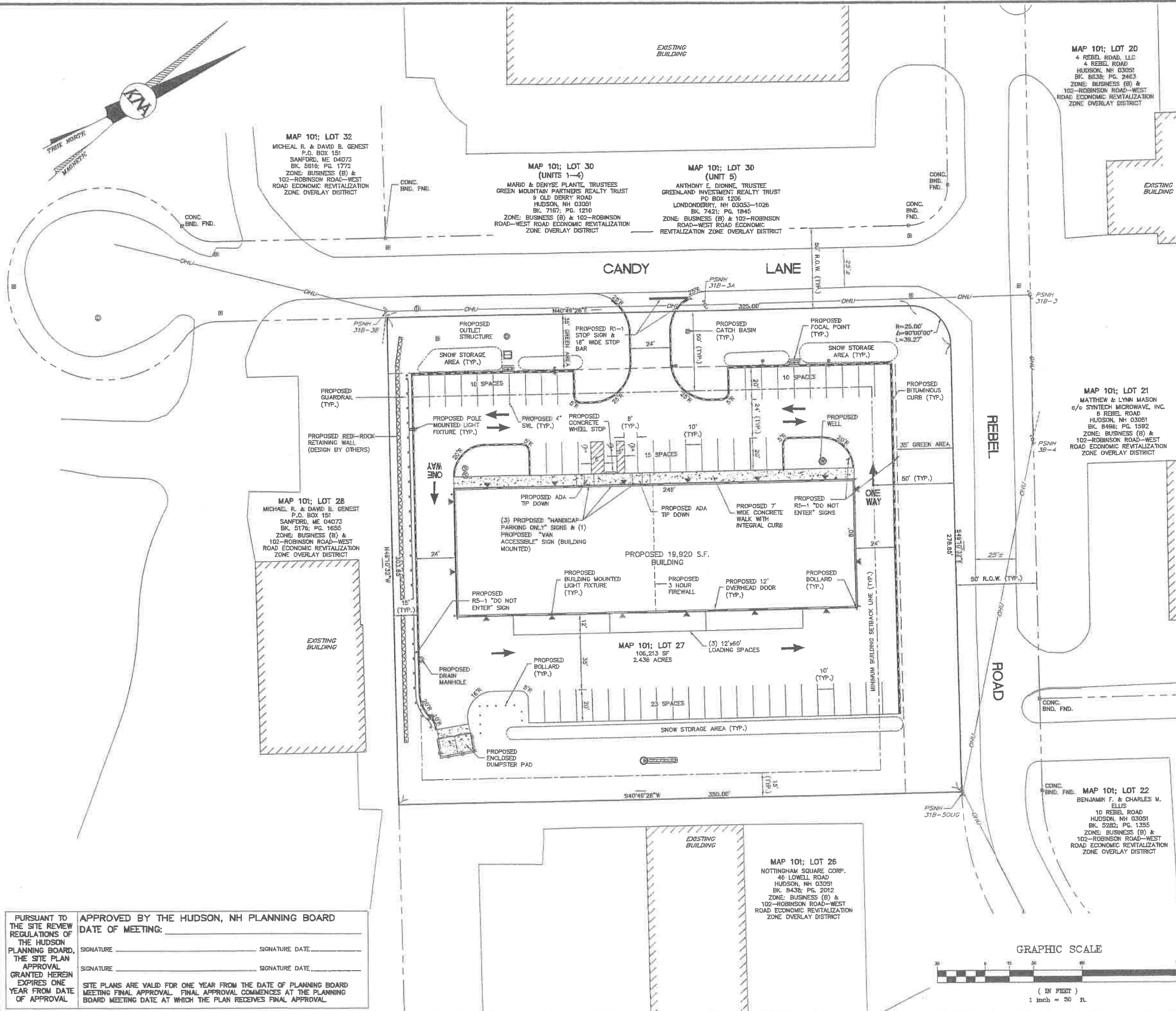
MAP 101; LOT 21
MATTHEW & LYNN MASON
c/o SYNTHECH MICROWAVE, INC.
6 REBEL ROAD
HUDSON, NH 03051
BK. 8498; PG. 1592
ZONE: BUSINESS (B) &
102-ROBINSON ROAD-WEST
ROAD ECONOMIC REVITALIZATION
ZONE OVERLAY DISTRICT

MAP 101; LOT 28
MICHAEL R. & DAVID B. GENEST
P.O. BOX 151
SANFORD, ME 04073
BK. 5176; PG. 1655
ZONE: BUSINESS (B) &
102-ROBINSON ROAD-WEST
ROAD ECONOMIC REVITALIZATION
ZONE OVERLAY DISTRICT



LEGEND

- B CONCRETE BOUND FOUND
- U UTILITY POLE
- L LIGHT
- W WELL
- DM DRAINAGE MANHOLE
- CB CATCH BASIN
- AL ABUTTER LINE
- PL PROPERTY LINE
- CF CHAIN LINK FENCE
- GR GUARDRAIL
- OHU OVERHEAD UTILITIES
- EP EXISTING EDGE OF PAVEMENT
- BS BUILDING SETBACK
- GA GREEN AREA
- PE PROPOSED EDGE OF PAVEMENT
- PC PROPOSED BITUMINOUS CURB
- PR PROPOSED RETAINING WALL
- PG PROPOSED GUARDRAIL

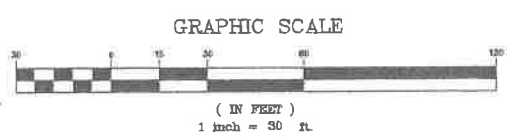


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MAP 101; LOT 26
NOTTINGHAM SQUARE CORP.
46 LOWELL ROAD
HUDSON, NH 03051
BK. 8438; PG. 2012
ZONE: BUSINESS (B) &
102-ROBINSON ROAD-WEST
ROAD ECONOMIC REVITALIZATION
ZONE OVERLAY DISTRICT



AMENDED NON-RESIDENTIAL
SITE LAYOUT PLAN
4 CANDY LANE
MAP 101; LOT 27
CANDY LANE AND REBEL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: NOTTINGHAM SQUARE CORP.
46 LOWELL ROAD
HUDSON, NH 03051
HCRD BK. 8438; PG. 1363

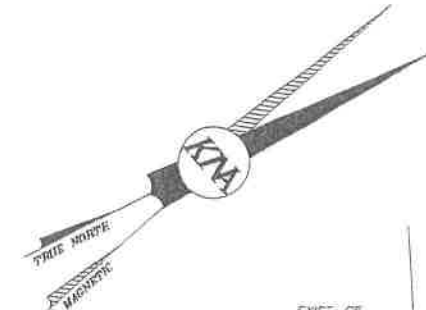
APPLICANT: NOTTINGHAM SQUARE CORP.
46 LOWELL ROAD
HUDSON, NH 03051

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Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS		
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DATE: DECEMBER 15, 2015 SCALE: 1" = 30'
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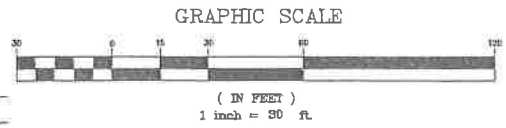


- CONSTRUCTION NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPARTMENT, HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHOWN SHALL BE HDPE. CATCH BASINS SHALL BE TYPE B, AND HAVE 3' SLOPES UNLESS OTHERWISE NOTED.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
 4. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 5. SEE DRAINAGE PROFILES AND CONSTRUCTION DETAILS FOR SPECIFIC CONSTRUCTION INFORMATION.

LOAM & SEED ALL DISTURBED AREAS (TYP.)

SCS SOILS LEGEND
CpC CHATFIELD-HOLLIS-CANTON COMPLEX, 6 TO 15% SLOPES
SsB SITUATE FINE SANDY LOAM, 3 TO 8% SLOPES

- LEGEND**
- CONCRETE BOUND FOUND
 - UTILITY POLE
 - LIGHT
 - WELL
 - DRAINAGE MANHOLE
 - CATCH BASIN
 - ABUTTER LINE
 - PROPERTY LINE
 - CHAIN LINK FENCE
 - GUARDRAIL
 - OVERHEAD UTILITIES
 - WATER LINE
 - EDGE OF PAVEMENT
 - 10' CONTOUR
 - 2' CONTOUR
 - SCS SOIL LINE
 - BUILDING SETBACK
 - GREEN AREA
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED BITUMINOUS CURB
 - PROPOSED RETAINING WALL
 - PROPOSED GUARDRAIL
 - SAWCUT LINE
 - PROPOSED 2' CONTOUR LINE
 - PROPOSED DRAINAGE LINE
 - PROPOSED UNDERGROUND UTILITY LINE
 - NON-DISTURBANCE AREA



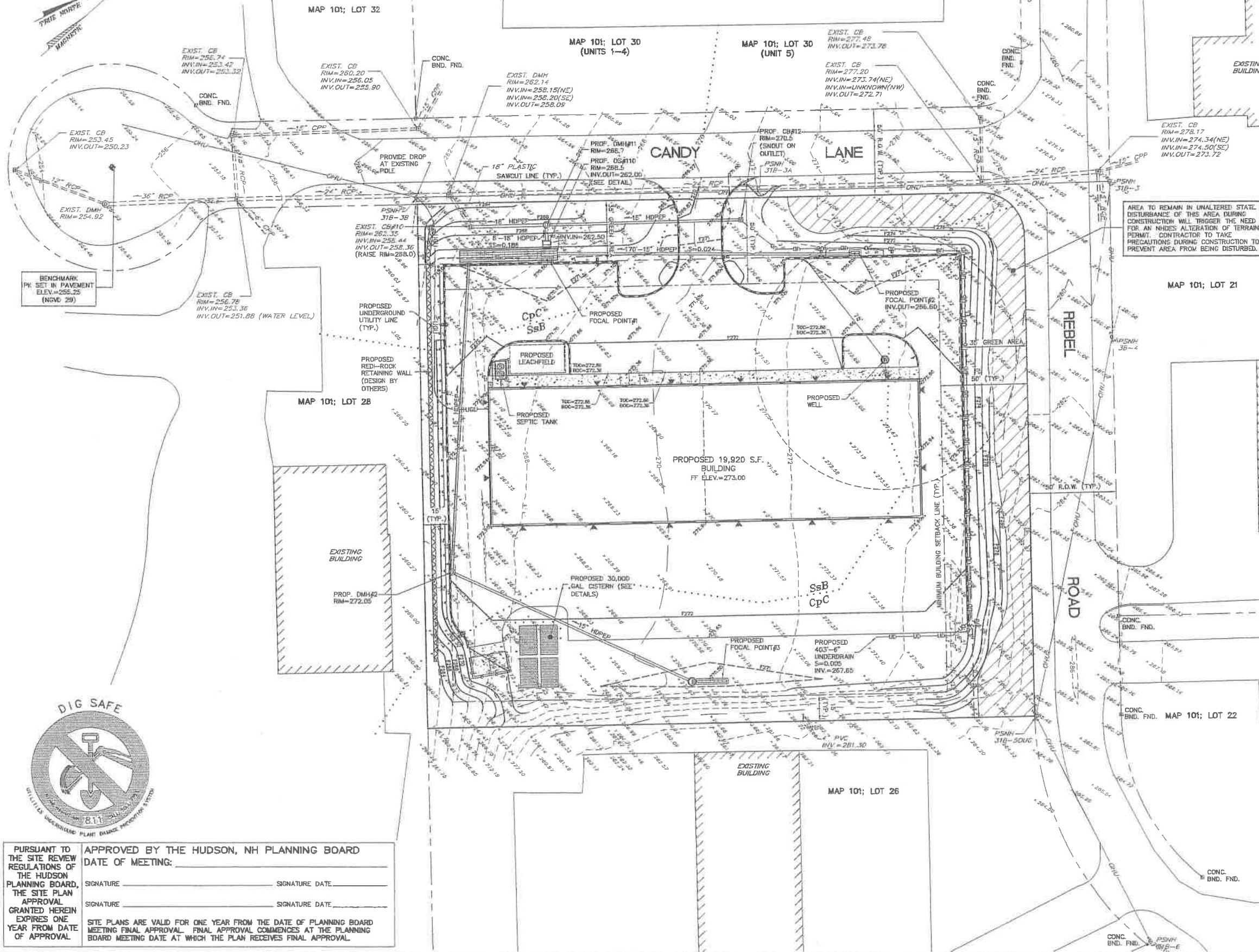
**AMENDED GRADING, DRAINAGE, AND UTILITY PLAN
 4 CANDY LANE
 MAP 101; LOT 27
 CANDY LANE AND REBEL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY**

OWNER OF RECORD: NOTTINGHAM SQUARE CORP., 46 LOWELL ROAD, HUDSON, NH 03051, HCRD BK. B-43B; PG. 1363
APPLICANT: NOTTINGHAM SQUARE CORP., 46 LOWELL ROAD, HUDSON, NH 03051

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

APPROVED BY THE HUDSON, NH PLANNING BOARD
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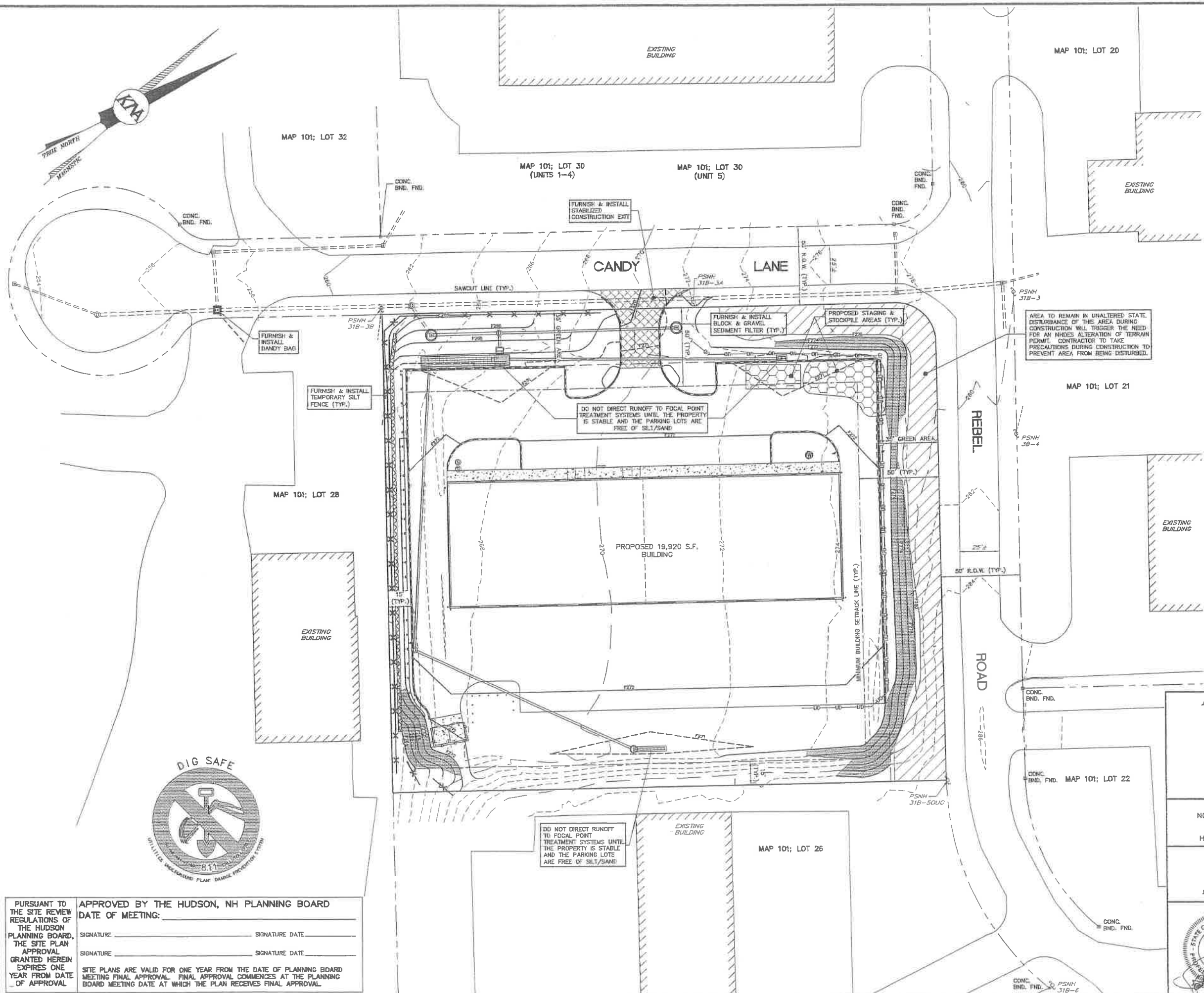
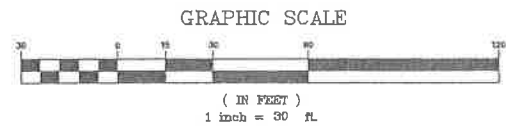
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- EROSION CONTROL NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES AS WELL AS THE PERMANENT EROSION CONTROL MEASURES.
 2. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" AS PUBLISHED AND AMENDED BY THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES.
 3. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
 4. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
 5. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
 6. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
 7. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
 8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
 9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
 10. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.

LOAM & SEED ALL DISTURBED AREAS (TYP.)

EROSION & SEDIMENT CONTROL LEGEND

-  TEMPORARY BLOCK AND GRAVEL SEDIMENT BARRIERS AT ALL CATCH BASINS
-  DANDY BAG
-  SILT FENCE
-  STABILIZED CONSTRUCTION EXIT
-  STAGING AND STOCKPILE AREA
-  EROSION CONTROL BLANKETS
-  NON DISTURBANCE AREA



AMENDED EROSION CONTROL PLAN

4 CANDY LANE

MAP 101; LOT 27
CANDY LANE AND REBEL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
NOTTINGHAM SQUARE CORP.
46 LOWELL ROAD
HUDSON, NH 03051
HCRD BK. B438; PG. 1363

APPLICANT:
NOTTINGHAM SQUARE CORP.
46 LOWELL ROAD
HUDSON, NH 03051

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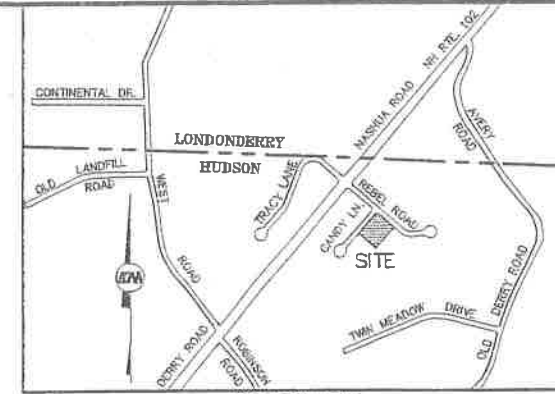
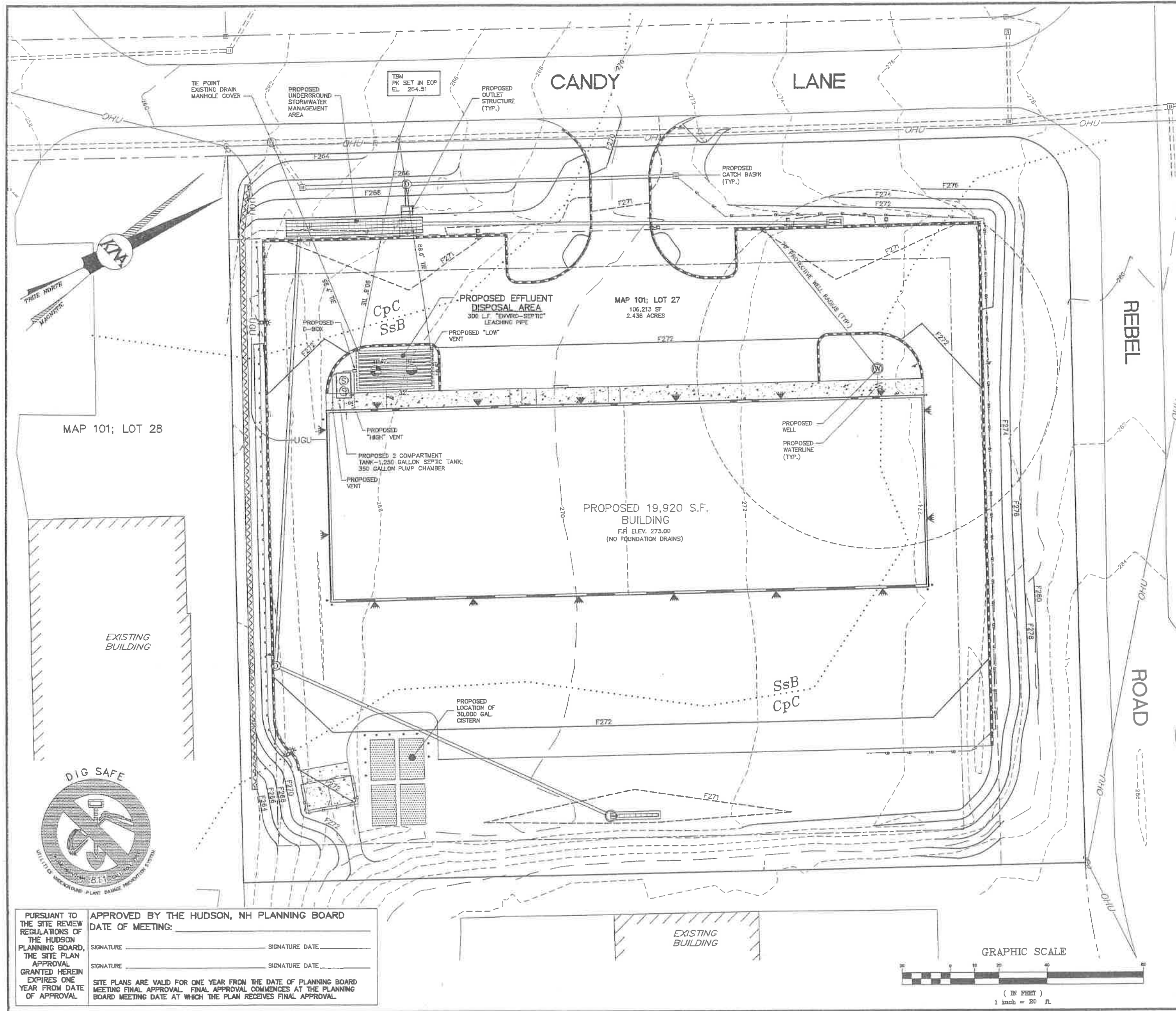
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VICINITY MAP
SCALE: 1"=1,000'

DIRECTIONS TO SITE:
 -ROUTE 93 SOUTH TO EXIT 4, LONDONDERRY/ROUTE 102;
 -TAKE A RIGHT ONTO ROUTE 102; TRAVEL APPROXIMATELY 5.3 MILES;
 -TAKE A LEFT ONTO REBEL ROAD; TRAVEL 0.1 MILES;
 -TAKE A RIGHT AT CANDY LANE; SITE IS AT THE INTERSECTION OF CANDY LANE AND REBEL ROAD

- GENERAL NOTES:**
- REFERENCE THIS PARCEL AS HUDSON ASSESSOR'S MAP #101; LOT #27.
 - TOTAL AREA OF PARCEL IS 106,213 S.F. OR 2.438 ACRES.
 - ALL PIPE PENETRATIONS INTO STRUCTURES AND TANK JOINTS SHALL BE SEALED WITH A NON-SHRINK HYDRAULIC CEMENT (NOT ROOF TAR) SO AS TO BE WATERTIGHT IN ACCORDANCE WITH ENV-WO 101D.02.
 - NO EXPOSED LEDGE, WATER WELLS OR OPEN WATER WAYS WITHIN 75 FEET OF THE PROPOSED SEPTIC SYSTEM. NO POORLY DRAINED SOILS WITHIN 50 FEET OF PROPOSED SYSTEM. NO VERY POORLY DRAINED SOILS WITHIN 75- FEET OF PROPOSED SYSTEM.
 - REPLACEMENT OF THE EXISTING AND/OR PROPOSED SEPTIC SYSTEM TO BE DONE IN KIND WHEN AND/OR IF NEEDED.
 - SOIL MAPPING TAKEN FROM THE LATEST PUBLICATION OF THE U.S.D.A.-S.C.S. SOIL SURVEY, SUGGESTS THE SUBJECT PARCEL CONSISTS OF THE FOLLOWING MAPPING UNITS:
 CpC - CHATFIELD-HOLLIS-CANTON COMPLEX; 8 TO 15% SLOPES
 SsB - SCLTUATE FINE SANDY LOAM, 3 TO 8% SLOPES
 - SYSTEM IS NOT DESIGNED FOR THE DISPOSAL OF HAZARDOUS WASTE.

LEGEND

⊠	CONCRETE BOUND FOUND
⊙	UTILITY POLE
☆	LIGHT
⊙	WELL
⊙	DRAINAGE MANHOLE
⊙	CATCH BASIN
---	ABUTTER LINE
---	PROPERTY LINE
---	CHAIN LINK FENCE
---	GUARDRAIL
OHU	OVERHEAD UTILITIES
---	WATER LINE
---	EDGE OF PAVEMENT
---	10' CONTOUR
---	2' CONTOUR
---	SCS SOIL LINE
---	BUILDING SETBACK
---	GREEN AREA
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED BITUMINOUS CURB
---	PROPOSED RETAINING WALL
---	PROPOSED GUARDRAIL
---	SAWCUT LINE
---	PROPOSED 2' CONTOUR LINE
---	PROPOSED DRAINAGE LINE
---	PROPOSED UNDERGROUND UTILITY LINE

AMENDED SEPTIC SYSTEM DESIGN PLAN
4 CANDY LANE
 MAP 101; LOT 27
 CANDY LANE AND REBEL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD: NOTTINGHAM SQUARE CORP. 46 LOWELL ROAD HUDSON, NH 03051 HCRD BK. B436; PG. 1363	APPLICANT: NOTTINGHAM SQUARE CORP. 46 LOWELL ROAD HUDSON, NH 03051
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REVISIONS

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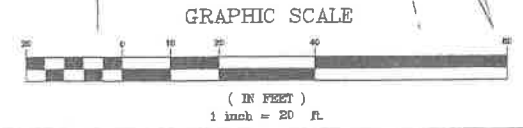
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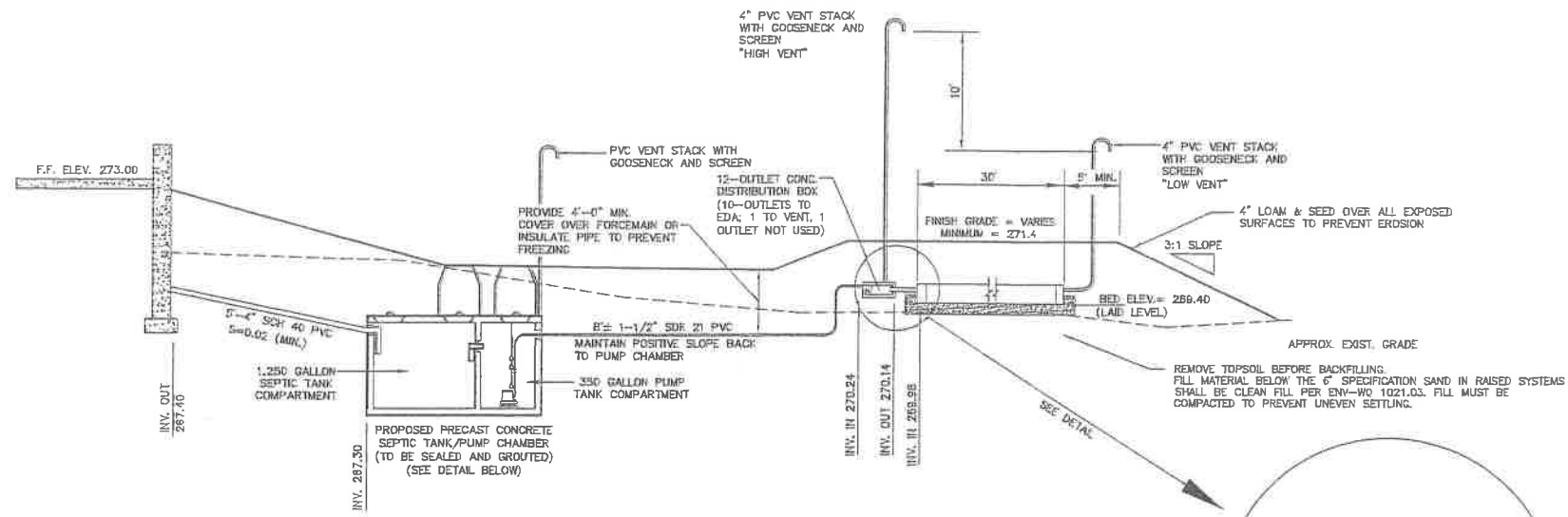
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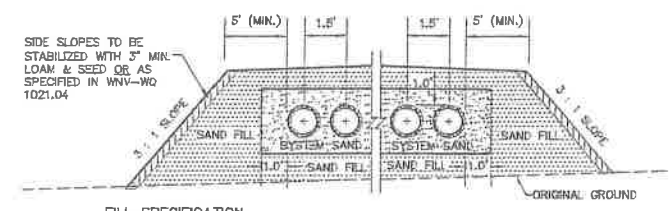
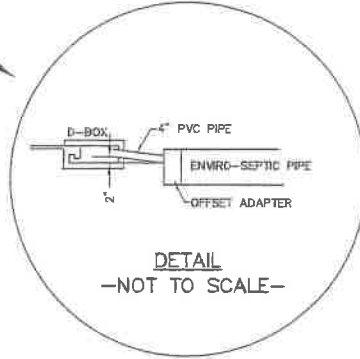




TYPICAL SECTION OF PROPOSED SANITARY SYSTEM
-NOT TO SCALE-

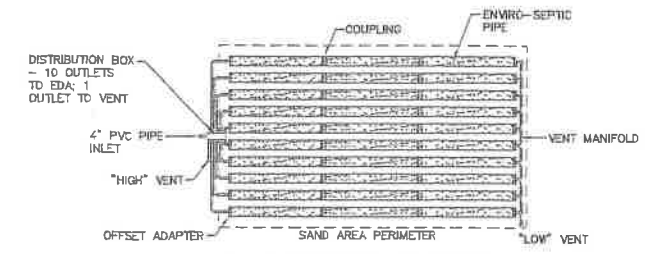
NOTE:

1. SEPTIC TANK/PUMP CHAMBER AND DISTRIBUTION BOX TO BE SUPPLIED BY SHEA CONCRETE PRODUCTS OR EQUAL.
2. ENVIRO-SEPTIC COMPONENTS TO BE SUPPLIED BY PRESBY ENVIRONMENTAL, INC. (1-800-473-5298) OR EQUAL.
3. ENVIRO-SEPTIC LEACHING SYSTEM TO BE INSTALLED IN STRICT ACCORDANCE WITH SPECIFICATIONS CONTAINED WITHIN THE INSTALLATION MANUAL FOR NEW HAMPSHIRE, ALSO AVAILABLE FROM PRESBY ENVIRONMENTAL.



FILL SPECIFICATION
SYSTEM SAND TO BE 6" MINIMUM OF MEDIUM TO COARSE GRAVELLY SAND WITH AN EFFECTIVE PARTICLE SIZE OF 0.25 MM TO 2.00 MM, WITH NO GREATER THAN 2% PASSING A #200 SIEVE AND NO PARTICLES LARGER THAN 3/4" AROUND THE CIRCUMFERENCE OF THE ENVIRO-SEPTIC PIPE (SEE THE LATEST EDITION OF THE "ENVIRO-SEPTIC AND SIMPLE SEPTIC LEACHING SYSTEM DESIGN AND INSTALLATION MANUAL" FOR DETAILED SAND AND FILL REQUIREMENTS. ALL OTHER FILL USED IN RAISED SYSTEMS SHALL BE CLEAN BANK RUN SAND, FREE FROM TOPSOIL, HUMUS, DREDGING, DEBRIS, OR STONES LARGER THAN 6 IN ANY DIMENSION IN ACCORDANCE WITH ENV-WO 1021.03

TYPICAL "ENVIRO-SEPTIC" CROSS SECTION
-NOT TO SCALE-



NOTE: EFFLUENT DISPOSAL AREA SHOWN IS A "DISTRIBUTION BOX SYSTEM" AS DEPICTED IN THE NEW HAMPSHIRE ENVIRO-SEPTIC DESIGN AND INSTALLATION MANUAL (2003 EDITION).

EDA PLAN DETAIL
SCALE: 1" = 10'

TEST PIT #2
PERC TEST @ 22"
PERC RATE: 12 MIN/INCH
DATE: 5/28/2013
IMPERVIOUS LAYERS: NONE TO 72"
WATER ENCOUNTERED: NONE

0"	BLOCKY, FRIABLE, 2.5Y 5/4, CLAYEY LOAMY FILL, MANY STONES, 25%+ COBBLES
20"	BLOCKY, FRIABLE, 2.5Y 6/3, CLAYEY SAND, COMMON DISTINCT FE CONC (MOTTLES) AT 24"
52"	BLOCKY, FRIABLE, 2.5Y 7/4, CLAYEY SAND, WET, COMMON DISTINCT FE CONC (MOTTLES) THROUGHOUT
72" BOTTOM OF HOLE, NO LEDGE	

DESIGN CRITERIA

PROPOSED USE: 19,920 S.F. COMMERCIAL BUILDING; NO CAFETERIA OR SHOWERS AND A MAXIMUM OF 24 EMPLOYEES
Q=24 x 20 GPD = 480 GPD

PERCOLATION RATE: 12 MIN/INCH @ TP#2

REQUIRED LEACHING AREA LEACHING AREA PROVIDED
(USING ENVIRO-SEPTIC LEACHING PIPE)
480 GPD @ 80 LF/100 GPD = 288 LF

LEACHING AREA PROVIDED
300 LF (10 ROWS @ 30 LF EACH)

SEPTIC TANK CAPACITY REQUIRED
1,250 GALLONS PER ENV-WO 1010

SEPTIC TANK CAPACITY PROVIDED
1-1,250 GALLON PRECAST CONCRETE SEPTIC TANK; 1ST COMPARTMENT OF A TWO COMPARTMENT TANK

DESIGN INTENT
BOTTOM OF EFFLUENT DISPOSAL AREA TO BE SET NO LOWER THAN 12" ABOVE THE HIGHEST EXISTING GRADE (EL. 266.4 AS DEPICTED ON THE PLAN) IN ORDER TO MAINTAIN A 36-INCH SEPARATION FROM THE E.S.H.W.T AND IMPERMEABLE SUBSTRATUM WHEN USING AN ENVIRO-SEPTIC WASTEWATER TREATMENT SYSTEM.

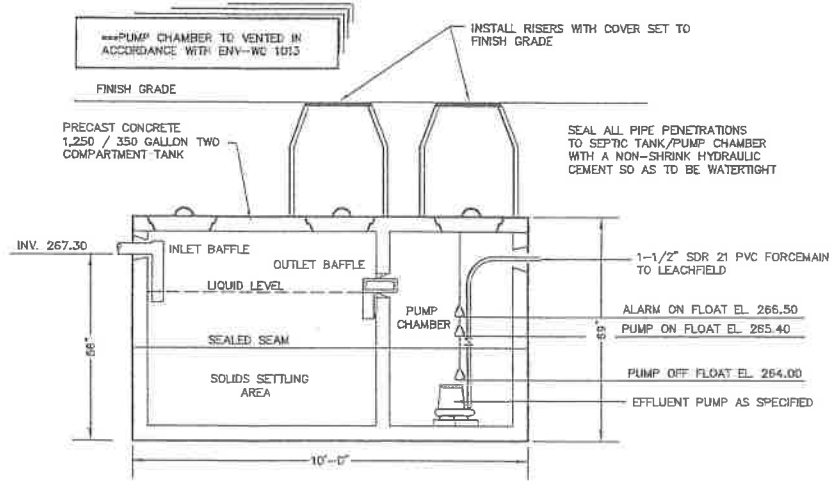
OPERATING REQUIREMENTS
THE SEPTIC TANK SHALL BE INSPECTED FOR ACCUMULATION OF SLUDGE AND SURFACE SCUM AT LEAST ONCE EVERY YEAR. WHEN THE COMBINED THICKNESS OF THE SLUDGE AND SURFACE SCUM EQUALS 1/3 OR MORE OF TANK DEPTH, THE TANK SHALL BE PUMPED BY A LICENSED SEPTIC HAULER.

TO PREVENT OBSTRUCTION OF THE DISTRIBUTION LINES AND LEACH FIELD, GREASE AND BULKY WASTES SHALL NOT BE FLUSHED OR INTRODUCED INTO THE SEPTIC SYSTEM.

TOXIC OR HAZARDOUS MATERIALS SHALL NOT BE INTRODUCED INTO THE SEPTIC SYSTEM.

TO PREVENT DAMAGE TO THE DISTRIBUTION LINES AND LEACH FIELD, VEHICLES, LIVESTOCK AND ANY OTHER HEAVY OBJECTS SHALL NOT BE ALLOWED ON THE LEACH FIELD UNLESS IT IS DESIGNED TO MEET H-20 LOADING.

IF WET AREAS APPEAR ON THE GROUND SURFACE OR IF ODORS OCCUR, THE SYSTEM SHALL BE INSPECTED FOR THE SOURCE OF THE PROBLEM, AND ACTION SHALL BE TAKEN TO CORRECT THE PROBLEM(S).



SEPTIC TANK/PUMP CHAMBER DETAIL
-NOT TO SCALE-

PUMP DESIGN INFORMATION

4 DOSES PER DAY OR 120 GAL./DOSE
ELEVATION HEAD = 6.24'
FRICTION HEAD = 3.8' @ 41 GPM
TOTAL DYNAMIC HEAD = 10.04'
DISCHARGE VELOCITY = 5.8 FPS
PUMP TIME PER DOSE = 2.93 MIN./DOSE

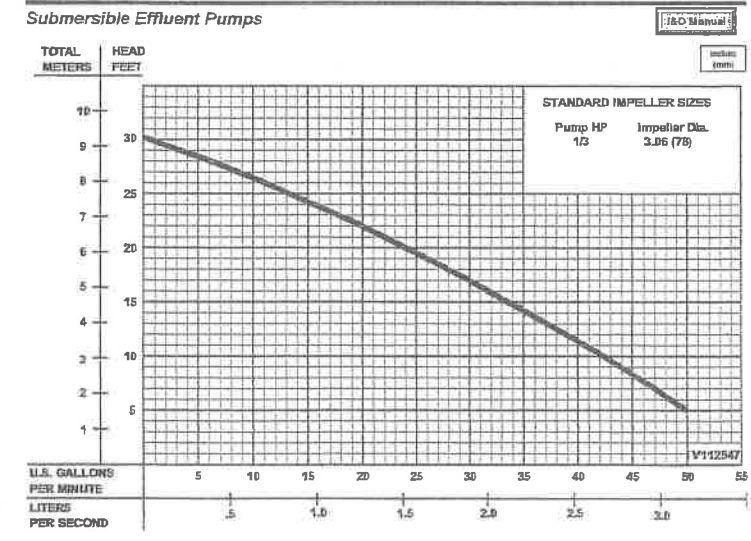
PUMP SPECIFICATIONS

PUMP TO BE (1) BARNES SP33 EFFLUENT PUMP WITH A 1/3 HP MOTOR WHICH OPERATES ON A 120 VOLT SINGLE PHASE POWER SUPPLY AND IS CAPABLE OF PUMPING AT 41 GPM. PROVIDE COMPATIBLE AUTOMATIC LEVEL CONTROL, FLOATS, INTERIOR MOUNTED CONTROL PANEL WITH MANUAL OVERRIDE AND AN AUDIBLE ALARM SYSTEM WITH FLOAT, FLOATS AND PUMP WIRING TO BE ATTACHED TO THE JUNCTION BOX IN SUCH A FASHION AS TO FACILITATE PUMP AND/OR FLOAT MAINTENANCE WITHOUT THE NEED FOR PERSONNEL TO ENTER THE PUMP CHAMBER. SEPARATE ELECTRONIC CIRCUITS SHALL BE PROVIDED FOR PUMP AND ALARM SYSTEM. ALL WIRING TO BE IN ACCORDANCE WITH LOCAL ELECTRICAL CODES. ALARM TO BE INSTALLED IN AN AREA EASILY VISIBLE BY THE OWNER.

PERFORMANCE CURVE

Series SP33
Performance Curve
1/3HP, 3450RPM, 60Hz

BARNES
www.cranepumps.com



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

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AMENDED SEPTIC SYSTEM DESIGN DETAILS

4 CANDY LANE

MAP 101; LOT 27
CANDY LANE AND REBEL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
NOTTINGHAM SQUARE CORP.
46 LOWELL ROAD
HUDSON, NH 03051
HORD BK. 843B; PG. 1363

APPLICANT:
NOTTINGHAM SQUARE CORP.
46 LOWELL ROAD
HUDSON, NH 03051

KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 38, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: DECEMBER 15, 2015
PROJECT NO: 13-0214-1
SCALE: AS SHOWN
SHEET 8 OF 18

NOTES FOR PLANTING FOCAL POINT SYSTEMS #1 & #2:

- FOR THE PLANTING OF THE FOCAL POINT SYSTEMS #1 & #2, THE CONTRACTOR SHALL CHOOSE A MINIMUM OF 2 DIFFERENT SPECIES FROM THE FOLLOWING LIST:
SMOOTH ASTER (ASTER LAEVIS)
PANICUM VIRGATUM 'SHENANDOAH' (SHENANDOAH SWITCH GRASS)
BOLTON'S ASTER (BOLTONIA ASTEROIDES)
EUPATORIUM 'LITTLE JOE' (LITTLE JOE JOE PYE WEED)
EUPATORIUM RUGOSUM (WHITE SNAKEROOT)
CHASMANTHIUM LATIFOLIUM (NORTHERN SEA OATS)
HIBISCUS MOSCHUETOS (CRISONEYED RSEMALLOW)
- TO ACHIEVE A DESIRABLE DENSITY OF COVER, EACH FOCAL POINT SYSTEM SHALL BE PLANTED WITH NO LESS THAN 6 PLANTS EACH.

NOTES FOR PLANTING FOCAL POINT SYSTEM #3:

- FOR THE PLANTING OF THE FOCAL POINT SYSTEM #3, THE CONTRACTOR SHALL CHOOSE A MINIMUM OF 3 DIFFERENT SPECIES FROM THE FOLLOWING LIST:
SMOOTH ASTER (ASTER LAEVIS)
PANICUM VIRGATUM 'SHENANDOAH' (SHENANDOAH SWITCH GRASS)
BOLTON'S ASTER (BOLTONIA ASTEROIDES)
EUPATORIUM 'LITTLE JOE' (LITTLE JOE JOE PYE WEED)
EUPATORIUM RUGOSUM (WHITE SNAKEROOT)
CHASMANTHIUM LATIFOLIUM (NORTHERN SEA OATS)
HIBISCUS MOSCHUETOS (CRISONEYED RSEMALLOW)
- TO ACHIEVE A DESIRABLE DENSITY OF COVER, FOCAL POINT SYSTEM #3 SHALL BE PLANTED WITH NO LESS THAN 20 PLANTS.

LANDSCAPE NOTES:

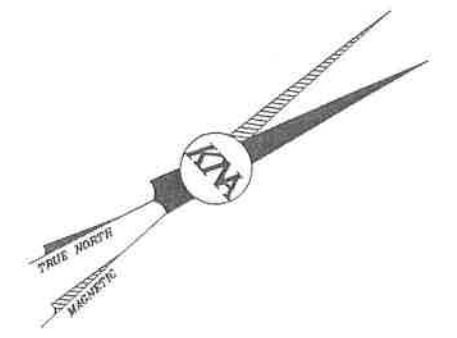
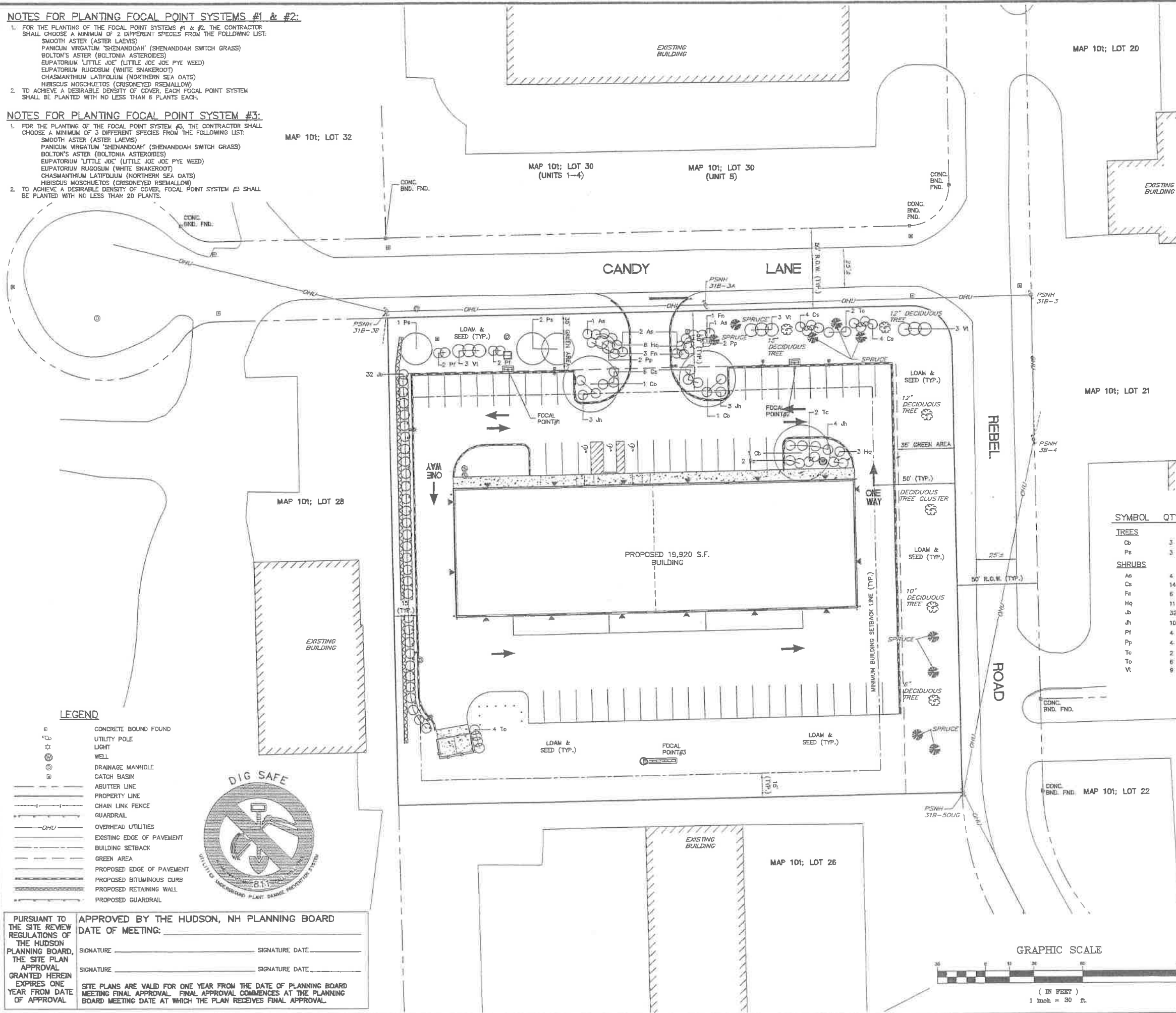
- ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOW HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSES, WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL WARRANTIES. TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
- IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS: ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% COMPOST AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
- PLANTING BEDS AND SAUCERS SHALL RECEIVE A 4" MINIMUM THICKNESS OF PINE/HEMLOCK BARK MULCH OVER A 5 OZ. POLYPROPYLENE WEED CONTROL FABRIC.
- PAVEMENT AND ROAD BASE MATERIAL ENCOUNTERED IN ANY LAWN OR PLANTING BED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AND SUITABLE AMENDED SOIL INSTALLED AS SPECIFIED ABOVE.

LANDSCAPE CALCULATIONS

REQUIRED PARKING LOT INTERIOR LANDSCAPE AREA:
PROPOSED PARKING AREA PAVED: 24,405 SF
10% REQUIRED LANDSCAPE AREA: 2,441 SF
PROVIDED LANDSCAPE AREA: 3,334 SF

REQUIRED PARKING LOT SHADE TREES AND SHRUBS:
PROPOSED PAVED AREA: 24,405 SF
SHADE TREES REQUIRED (24,405/1,600): 15 TREES REQUIRED
SHRUBS PROVIDED: 21 TREES PROVIDED

SHRUBS REQUIRED (24,405/200): (6 PROPOSED & 15 EXISTING)
122 SHRUBS, OR
(OR 1.6 x 58 PROP. PARKING SPACES) 93 SHRUBS REQUIRED
SHRUBS PROVIDED: 102 SHRUBS PROPOSED



PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
Cb	3	CARPINUS BETULUS	EUROPEAN HORNBEAM	2"-2.5" CAL
Ps	3	PICEA GLAUCA	WHITE SPRUCE	6-7' B&B
SHRUBS				
As	4	AZALEA 'STEWARTSONIAN'	STEWARTSONIAN AZALEA	18-24"
Cs	14	CORNUS SERICEA 'ALLENMAN'S COMPACTA'	ALLENMAN'S COMPACT RED-OSIER DOGWOOD	15-18"
Fn	6	FORSYTHIA 'N.H. GOLD'	NEW HAMPSHIRE GOLD FORSYTHIA	18-24"
Hq	11	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS'	RUBY SLIPPERS OAKLEAF HYDRANGEA	18-24"
Jb	32	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	18-24"
Jh	10	JUNIPERUS H. 'PLUMOSA COMPACTA'	YOUNGSTOWN JUNIPER	18-24"
Pf	4	PIERIS FLORIBUNDA	MOUNTAIN ANDROMEDA	2-3' B&B
Pp	4	PICEA PUNGENS 'BABY BLUE EYES'	BABY BLUE EYES SPRUCE	3-4' B&B
Tc	2	TAXUS CUSPIDATA 'DWARF BRIGHT GOLD'	DWARF BRIGHT GOLD YEW	18-24" B&B
To	6	THUJA OCCIDENTALIS 'HOLMSTRUP'	HOLMSTRUP ARBORVITAE	3-3.5' B&B
Vt	9	VIBURNUM TRILOBUM	AMERICAN CRANBERRY VIBURNUM	3-4' B&B

LEGEND

- ☐ CONCRETE BOUND FOUND
- UTILITY POLE
- ☆ LIGHT
- WELL
- ⊙ DRAINAGE MANHOLE
- ⊕ CATCH BASIN
- ABUTTER LINE
- PROPERTY LINE
- CHAIN LINK FENCE
- GUARDRAIL
- OHU OVERHEAD UTILITIES
- EXISTING EDGE OF PAVEMENT
- BUILDING SETBACK
- GREEN AREA
- PROPOSED EDGE OF PAVEMENT
- PROPOSED BITUMINOUS CURB
- PROPOSED RETAINING WALL
- PROPOSED GUARDRAIL



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
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AMENDED LANDSCAPE PLAN

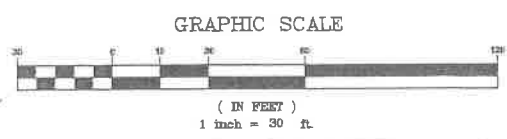
4 CANDY LANE

MAP 101; LOT 27
CANDY LANE AND REBEL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
NOTTINGHAM SQUARE CORP.
46 LOWELL ROAD
HUDSON, NH 03051
HCRD BK. 8438; PG. 1363

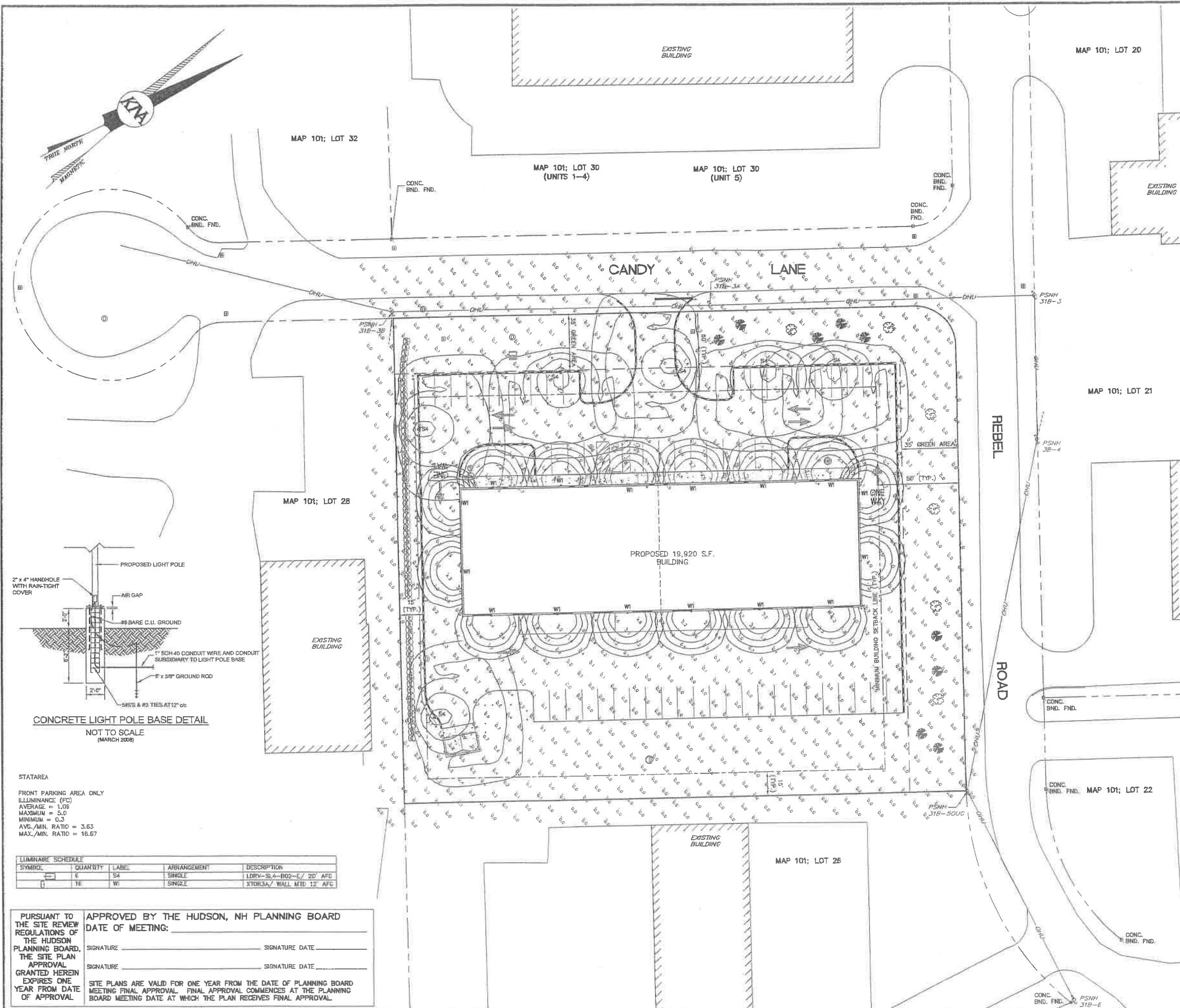
APPLICANT:
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46 LOWELL ROAD
HUDSON, NH 03051

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3E, Bedford, NH 03110 Phone (603) 627-2881

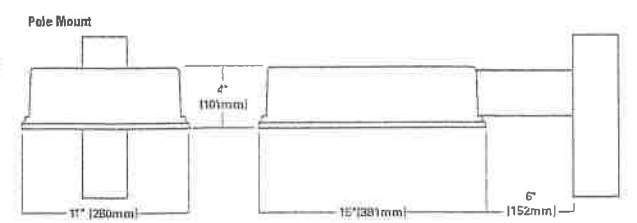


REVISIONS			
No.	DATE	DESCRIPTION	BY

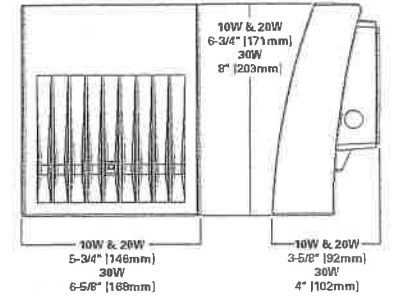
DATE: DECEMBER 15, 2015 SCALE: 1" = 30'
PROJECT NO: 13-0214-1 SHEET 9 OF 18



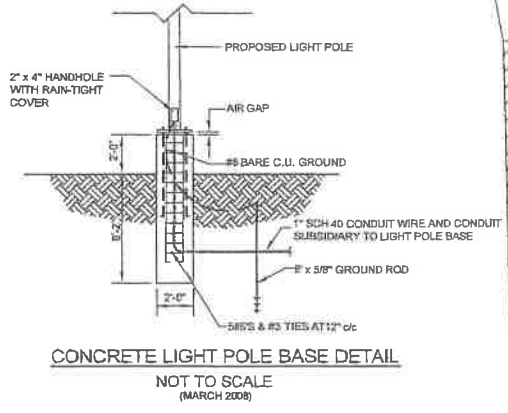
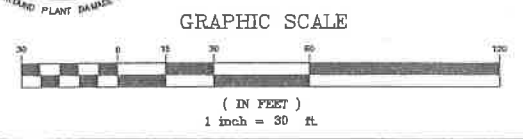
CONSTRUCTION NOTES:
 1. SEE ELECTRICAL PLANS BY OTHERS FOR ADDITIONAL INFORMATION REGARDING LIGHT INSTALLATION AND WIRING REQUIREMENTS.



RIDGEVIEW LED AREA ROADWAY LUMINAIRE
NOT TO SCALE



LUMARK CROSSTOUR LED WALL PACK
NOT TO SCALE



CONCRETE LIGHT POLE BASE DETAIL
NOT TO SCALE
(MARCH 2008)

STATAREA
 FRONT PARKING AREA ONLY
 ILLUMINANCE (FC)
 AVERAGE = 1.05
 MAXIMUM = 5.0
 MINIMUM = 0.3
 AVG./MIN. RATIO = 3.63
 MAX./MIN. RATIO = 16.67

LUMINAIRE SCHEDULE				
SYMBOL	QUANTITY	LABEL	ARRANGEMENT	DESCRIPTION
[Symbol]	6	S4	SINGLE	LDRV-SL4-B02-E/ 2D' AFG
[Symbol]	16	W1	SINGLE	XTOR3A/ WALL MTD 12' AFG

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IN ASSOCIATION WITH: **CHARRON** INCORPORATED
 P.O. BOX 4550
 MANCHESTER, NH 03054
 (603) 624-8827
 FAX (603) 624-8794

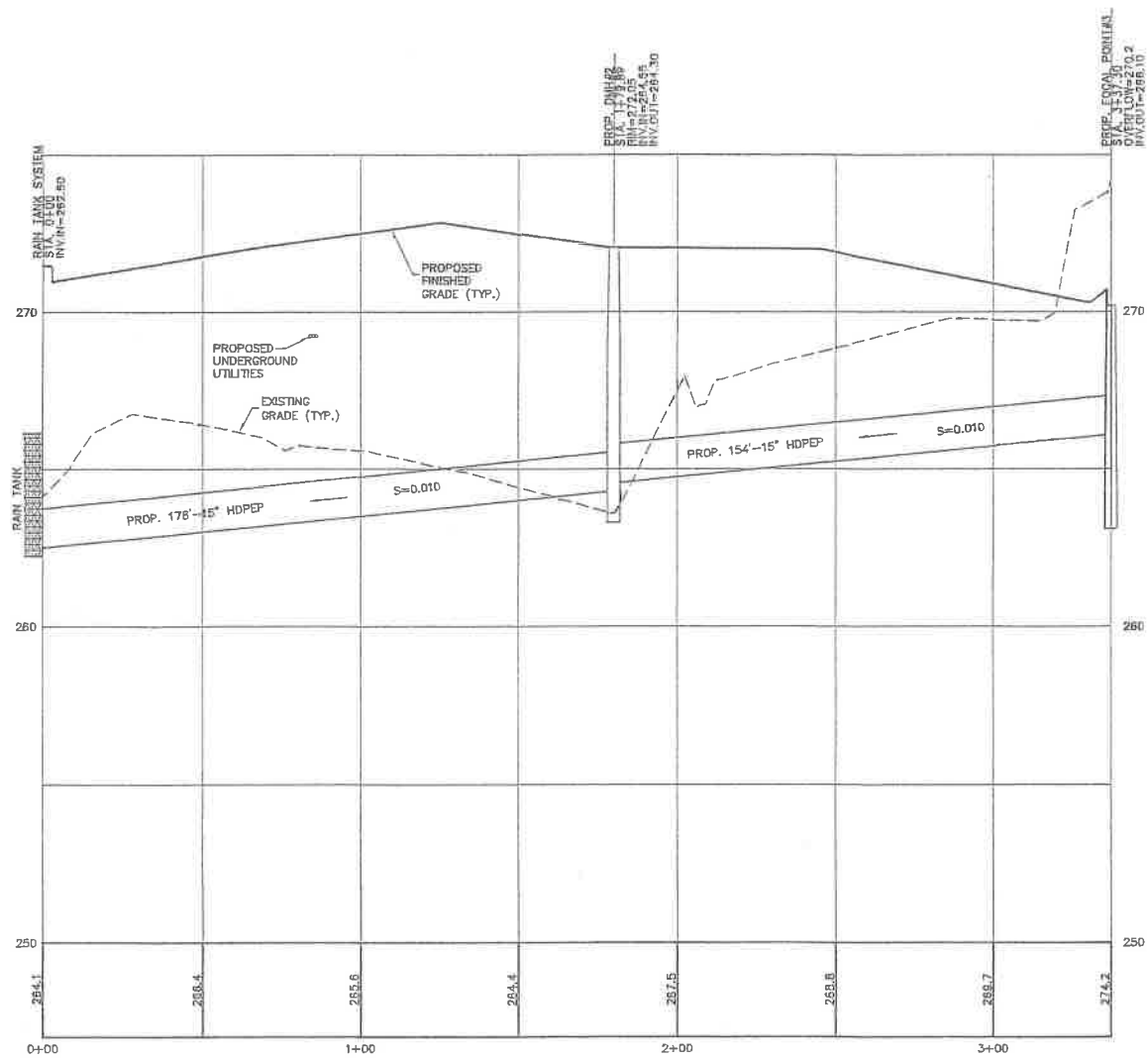
AMENDED LIGHTING PLAN
4 CANDY LANE
 MAP 101; LOT 27
 CANDY LANE AND REBEL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD: NOTTINGHAM SQUARE CORP. 46 LOWELL ROAD HUDSON, NH 03051 HCRD BK. 843B; PG. 1363	APPLICANT: NOTTINGHAM SQUARE CORP. 46 LOWELL ROAD HUDSON, NH 03051
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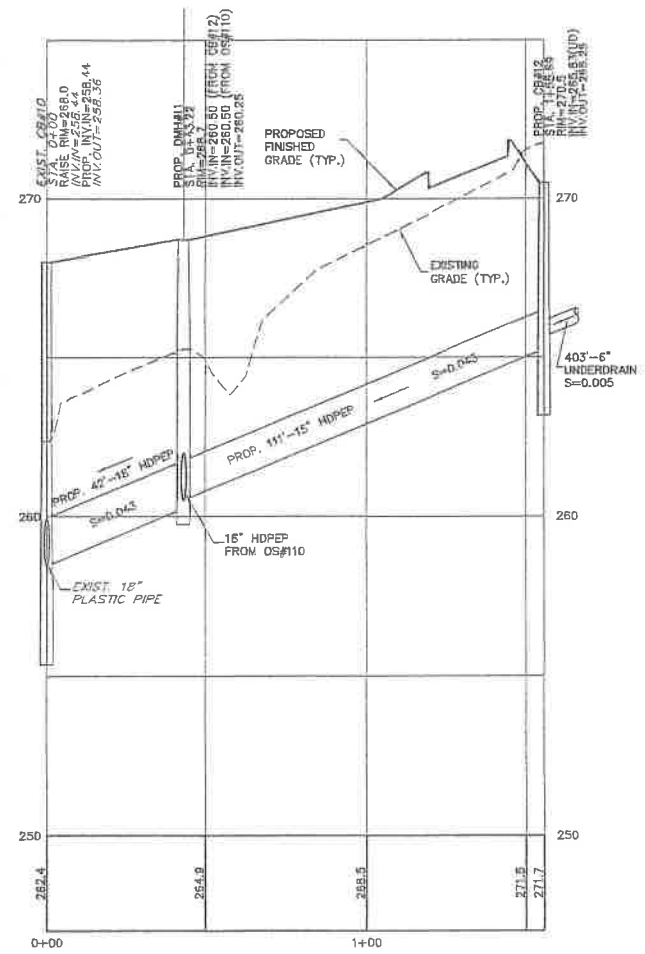
KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
Re.	DATE	DESCRIPTION	BY

DATE: DECEMBER 15, 2015 SCALE: 1" = 30'
 PROJECT NO: 13-0214-1 SHEET 10 OF 18



DRAIN PROFILES
RAIN TANK SYSTEM TO FOCAL POINT #3
 SCALE: 1" = 30'(HORIZ.)
 1" = 3'(VERT.)



DRAIN PROFILES
EXIST. CB#10 TO PROP. CB#12
 SCALE: 1" = 30'(HORIZ.)
 1" = 3'(VERT.)



AMENDED DRAINAGE PROFILES

4 CANDY LANE

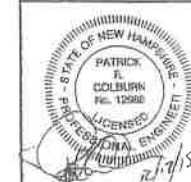
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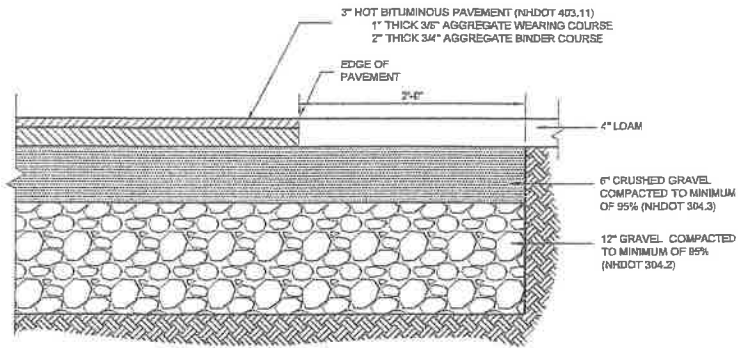
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 PROJECT NO: 13-0214-1 SHEET 11 OF 16

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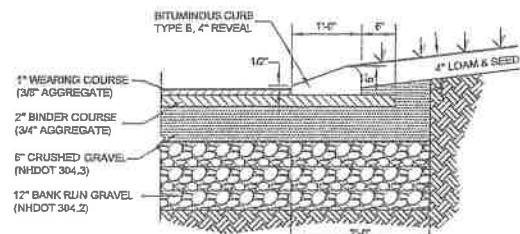
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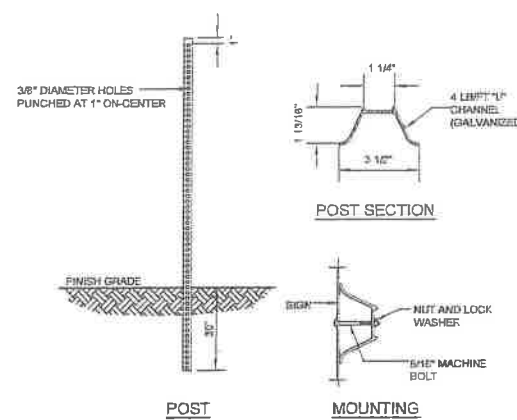
DRIVEWAY AND PARKING LOT SECTION

NOT TO SCALE
(MARCH 2008)



BITUMINOUS CURB TYPE B DETAIL

NOT TO SCALE
(MARCH 2008)



STEEL SIGN POST DETAIL

NOT TO SCALE
(MARCH 2008)



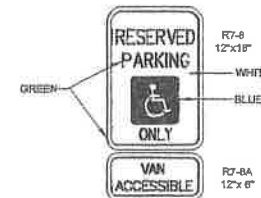
STOP SIGN DETAIL
NOT TO SCALE
(MARCH 2008)



HANDICAP PARKING SIGN DETAIL
NOT TO SCALE
(MARCH 2008)

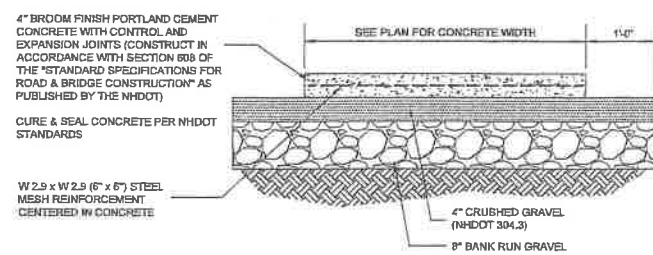


TRAFFIC SIGN NOTES:
1. ALL TRAFFIC SIGN FACES AND SHAPES SHALL CONFORM WITH THE MUTCD.
2. ALL SIGN POST MOUNTS SHALL CONFORM WITH THE AASHTO AND NHDOT SPECIFICATIONS.



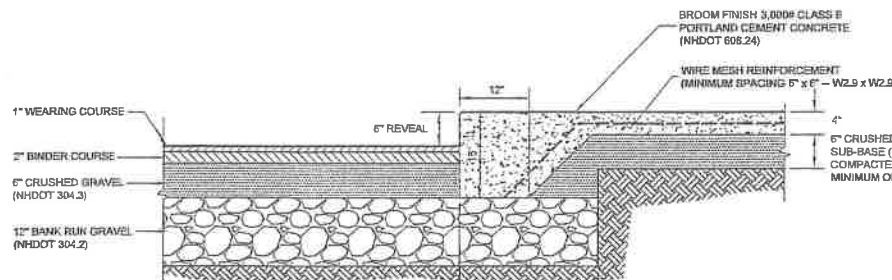
VAN ACCESSIBLE HANDICAP PARKING SIGN DETAIL

NOT TO SCALE
(MARCH 2008)



CONCRETE WALK DETAIL

NOT TO SCALE
(MARCH 2008)



INTEGRAL CURB AND WALK DETAIL

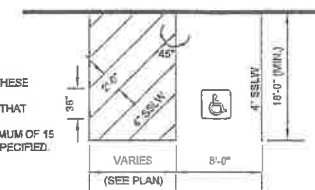
NOT TO SCALE
(MARCH 2008)



STOP BAR

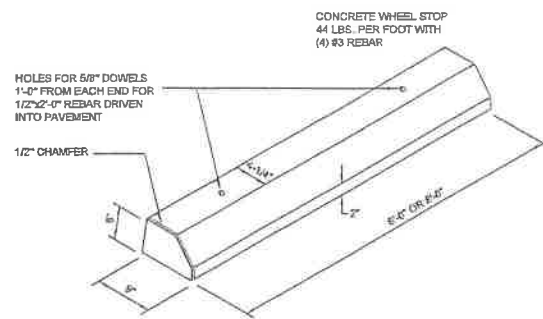
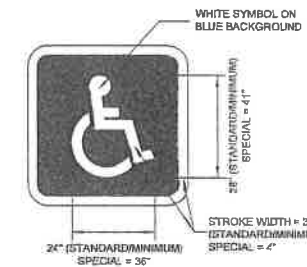
STRIPING NOTES:

- ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THESE STANDARDS AND THE CURRENT EDITION OF MUTCD.
- WIDTH OF LINES SHALL VARY NO MORE THAN 1/4 INCH FROM THAT SPECIFIED.
- THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED.
- OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.



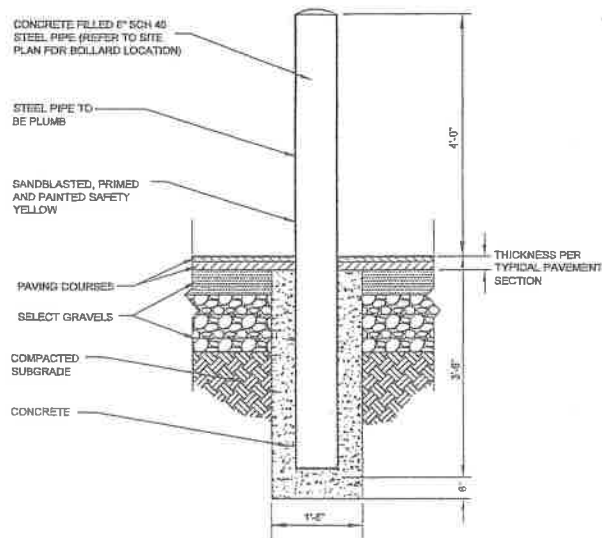
HANDICAP STRIPING DETAIL

NOT TO SCALE
(MARCH 2012)



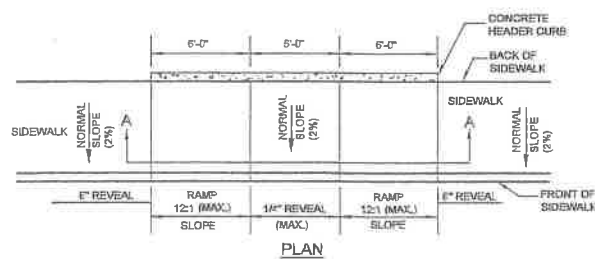
PRECAST CONCRETE WHEEL STOP

NOT TO SCALE
(MARCH 2008)



BOLLARD DETAIL

NOT TO SCALE
(MARCH 2008)



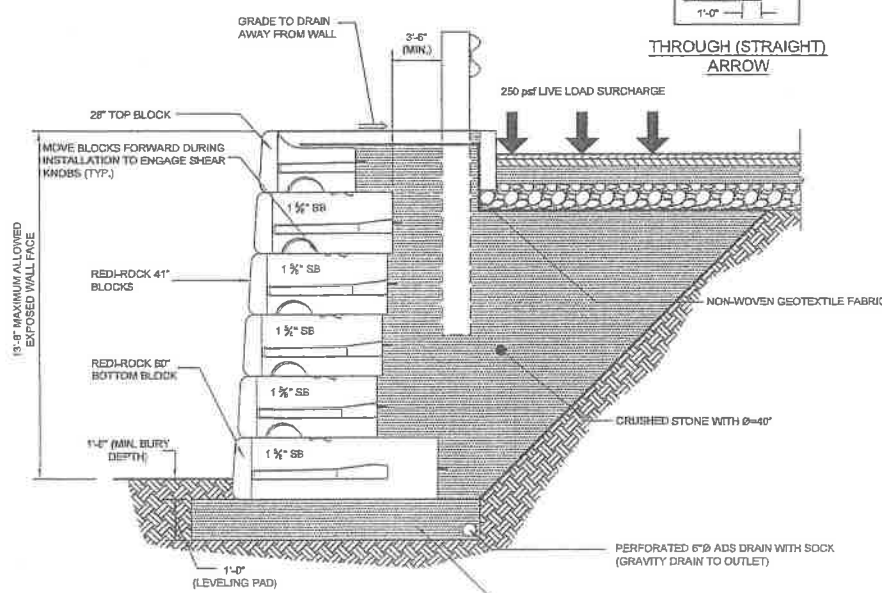
SECTION A-A

NOTES:

- TEXTURED WALK SURFACE TO CONSIST OF CAST TRUNCATED DOMES SUPPLIED BY THE NEENAH FOUNDRY COMPANY, OR APPROVED EQUAL.
- A BROOM FINISH TRANSVERSE TO THE SLOPE OF THE RAMP SHALL BE USED ON PORTLAND CEMENT CONCRETE RAMPS.
- MAINTAIN THE NORMAL PAVEMENT PROFILE THROUGHOUT THE RAMP AREA.
- MAINTAIN A MAXIMUM 1/4\"/>

SIDEWALK RAMP WITH DETECTABLE WARNING SURFACE

NOT TO SCALE
(JUNE 2012)



NOTES:

- PRIOR TO THE CONSTRUCTION OF THIS RETAINING WALL, A STRUCTURAL ENGINEER SHALL PREPARE A FINAL DESIGN USING THE ACTUAL CONDITIONS FOUND AT THE SITE. THIS DETAIL IS SCHEMATIC ONLY AND IS BASED ON A NATIVE SOIL THAT IS SILTY SAND, CLAYEY SAND WITH AN INTERNAL FRICTION ANGLE OF 28°.
- ALL REDI-ROCK SPECIFICATIONS SHALL BE FOLLOWED.
- REDI-ROCK RETAINING WALL MAY BE SUBSTITUTED FOR AN EQUAL RETAINING WALL PRODUCT SYSTEM. APPROVAL FROM STRUCTURAL ENGINEER IS REQUIRED.

REDI-ROCK RETAINING WALL SECTION

NOT TO SCALE



ELONGATED LETTERS FOR WORD
PAVEMENT MARKINGS

AMENDED CONSTRUCTION DETAILS

4 CANDY LANE

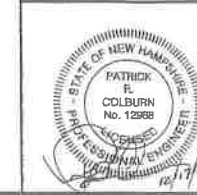
MAP 101; LOT 27
CANDY LANE AND REBEL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
NOTTINGHAM SQUARE CORP.
46 LOWELL ROAD
HUDSON, NH 03051
HCRD BK. B436; PG. 1363

APPLICANT:
NOTTINGHAM SQUARE CORP.
46 LOWELL ROAD
HUDSON, NH 03051

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture

10 Commerce Park North, Suite 3E, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: DECEMBER 15, 2015 SCALE: AS SHOWN

PROJECT NO: 13-0214-1 SHEET 12 OF 18

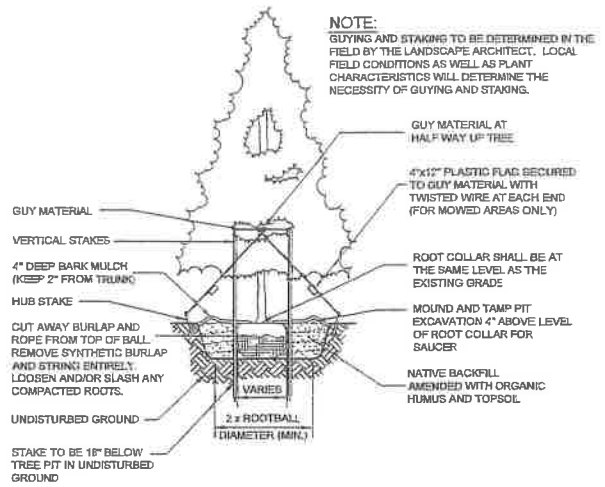
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

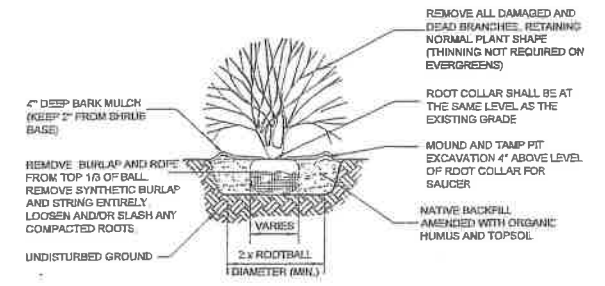
SIGNATURE _____ SIGNATURE DATE _____

SIGNATURE _____ SIGNATURE DATE _____

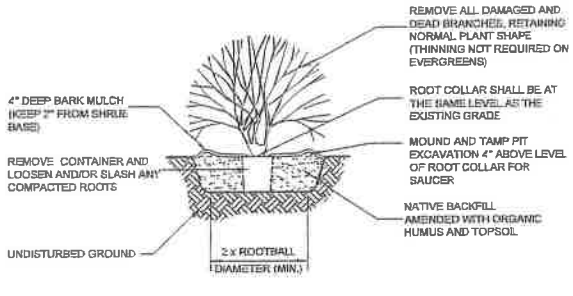
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



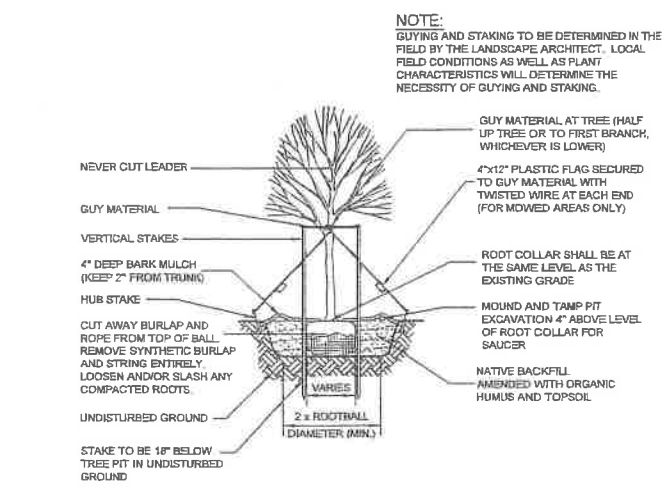
EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



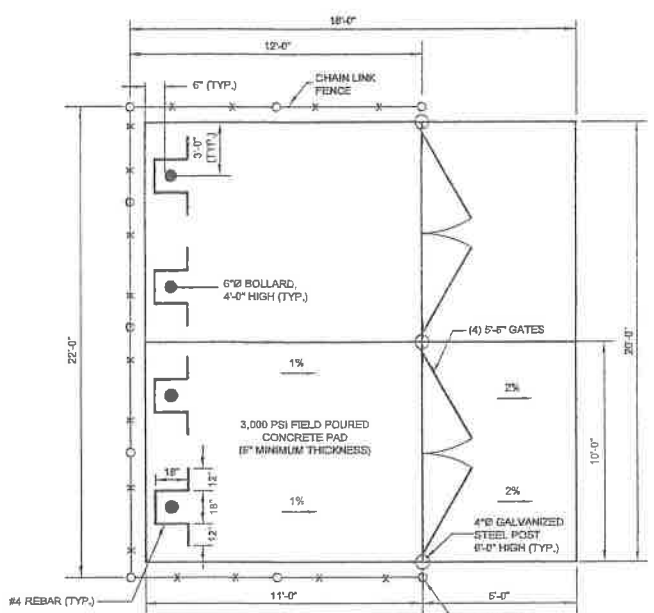
BALLED & BURLAP SHRUB PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



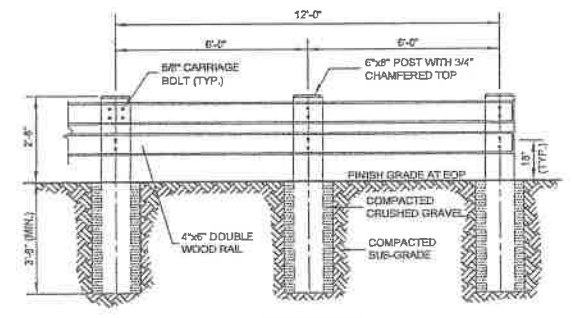
CONTAINER SHRUB PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



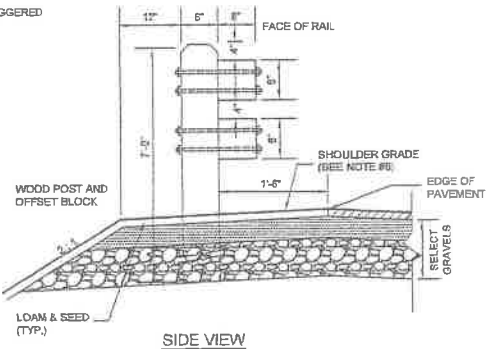
DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



CHAIN LINK TRASH ENCLOSURE DETAIL
NOT TO SCALE
(MARCH 2008)



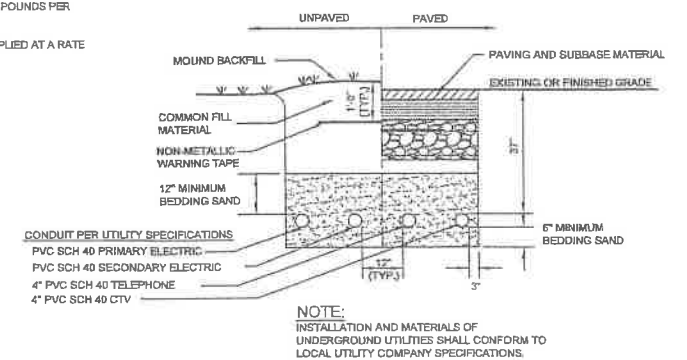
ELEVATION



SIDE VIEW

- NOTES:**
- ALL TIMBERS SHALL BE PRESSURE TREATED.
 - PAY LIMIT - PER LINEAR FOOT INCLUDING END SECTION.
 - ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED.

WOOD BEAM GUARDRAIL
NOT TO SCALE
(AUGUST 2011)



UTILITY TRENCH DETAIL
NOT TO SCALE
(MARCH 2008)

AMENDED CONSTRUCTION DETAILS
4 CANDY LANE
MAP 101; LOT 27
CANDY LANE AND REBEL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
NOTTINGHAM SQUARE CORP.
45 LOWELL ROAD
HUDSON, NH 03051
HCRD BK. 843B; PG. 1363

APPLICANT:
NOTTINGHAM SQUARE CORP.
45 LOWELL ROAD
HUDSON, NH 03051

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PROJECT NO: 13-0214-1 SHEET 13 OF 18

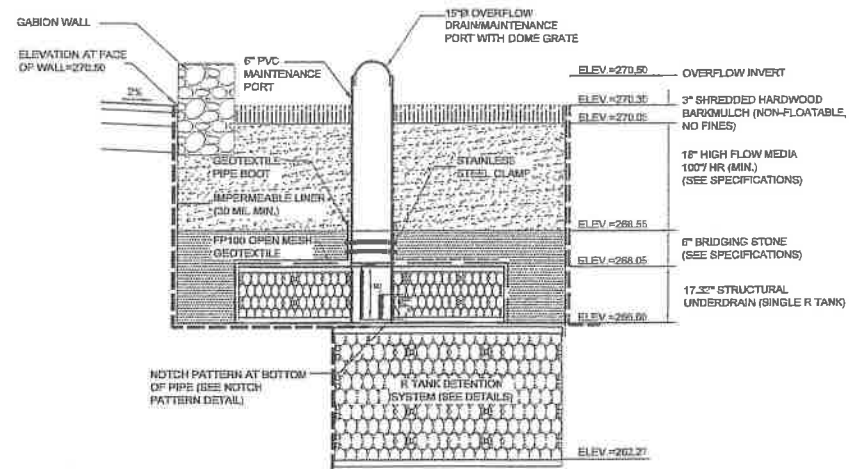
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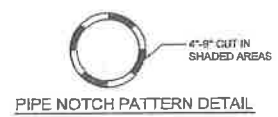
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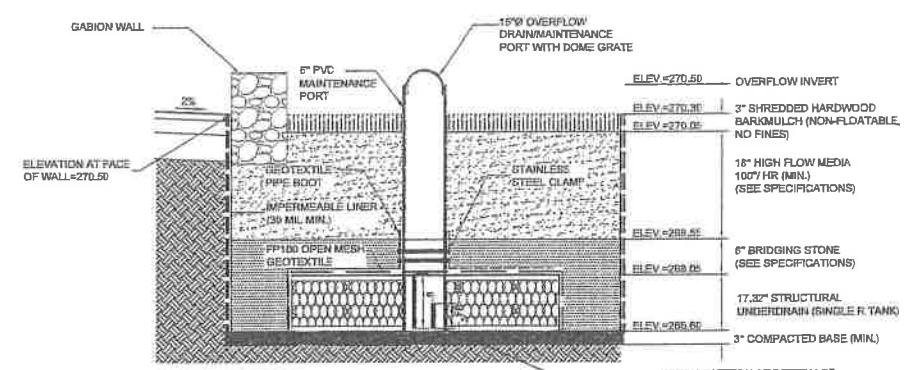


FOCALPOINT #1 CONSTRUCTION GUIDE	
A	FOCALPOINT LENGTH 5.7
B	# UNDERDRAIN LONG 2
C	FOCALPOINT WIDTH 4.5
D	# UNDERDRAIN WIDE 2
SQUARE FOOT AREA 30 SF	

NOTE:
1. INSTALL ONE INSPECTION / MAINTENANCE PORT IN BED.

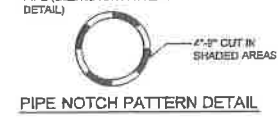


FOCALPOINT #1 DETAILED CROSS SECTION
NOT TO SCALE

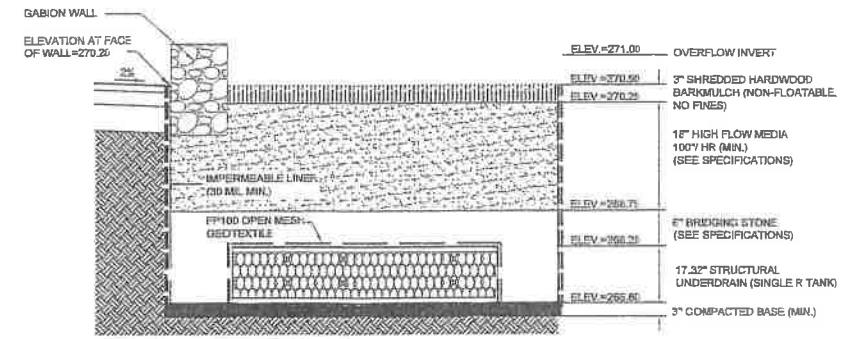


FOCALPOINT #2 CONSTRUCTION GUIDE	
A	FOCALPOINT LENGTH 6.7
B	# UNDERDRAIN LONG 2
C	FOCALPOINT WIDTH 4.5
D	# UNDERDRAIN WIDE 2
SQUARE FOOT AREA 30 SF	

NOTE:
1. INSTALL ONE INSPECTION / MAINTENANCE PORT IN BED.

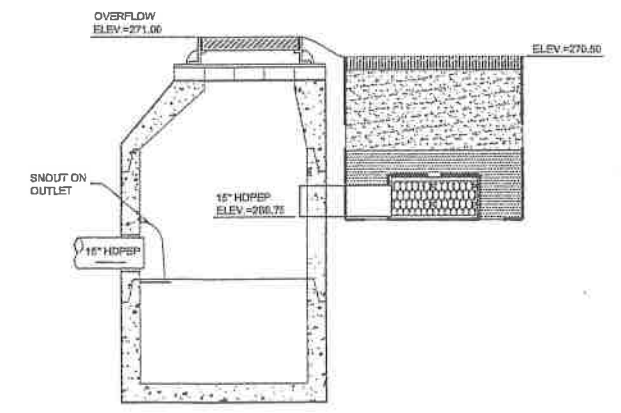


FOCALPOINT #2 DETAILED CROSS SECTION
NOT TO SCALE

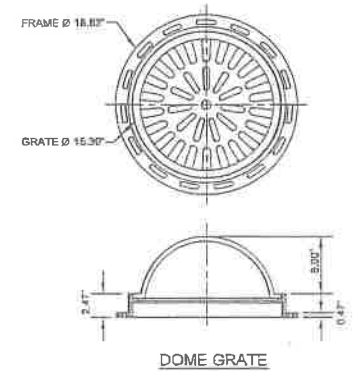


FOCALPOINT #3 CONSTRUCTION GUIDE	
A	FOCALPOINT LENGTH 15.4
B	# UNDERDRAIN LONG 7
C	FOCALPOINT WIDTH 3.5
D	# UNDERDRAIN WIDE 1
SQUARE FOOT AREA 80 SF	

NOTE:
1. INSTALL ONE INSPECTION / MAINTENANCE PORT IN BED.



FOCALPOINT #3 DETAILED CROSS SECTION
NOT TO SCALE

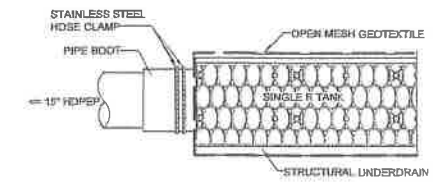


NYLOPLAST 15\"/>

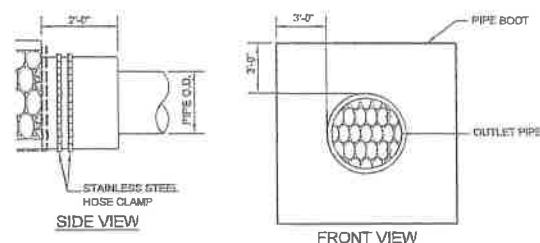
FOCALPOINT HP PERFORMANCE SPECIFICATION:

HIGH PERFORMANCE MEDIA:
HIGH PERFORMANCE MEDIA MUST MEET A MINIMUM OF 10\"/>

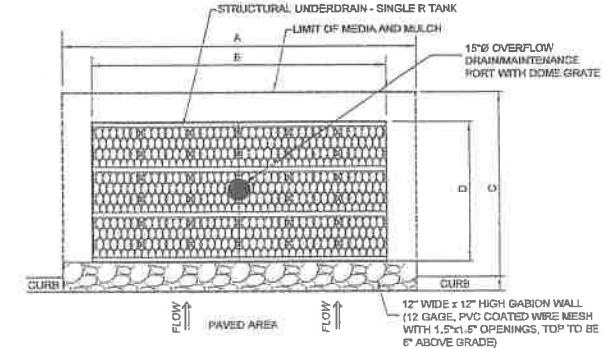
HIGH PERFORMANCE STRUCTURAL UNDERDRAIN:
MUST HAVE A MINIMUM OF 19 SQUARE INCHES OF DRIPICE OPENING PER SQUARE FOOT. MUST MEET H20 LOADING REQUIREMENTS. MUST BE MODULAR IN NATURE AND ASSEMBLED ON SITE. MUST HAVE MINIMUM 90% INTERIOR VOID SPACE.



OUTLET PIPE CONNECTION
NOT TO SCALE



PIPE BOOT DETAIL
NOT TO SCALE



TYPICAL FOCALPOINT PLAN VIEW
NOT TO SCALE

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AMENDED CONSTRUCTION DETAILS

4 CANDY LANE

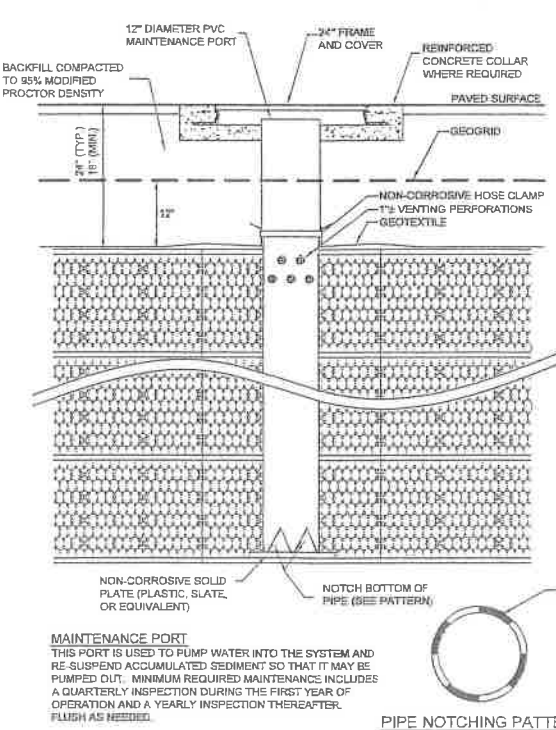
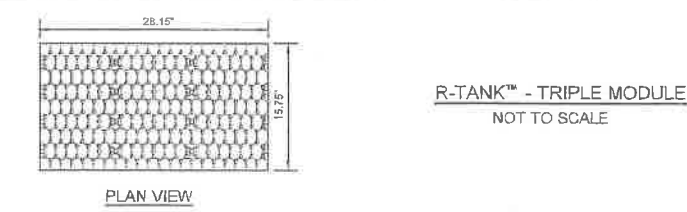
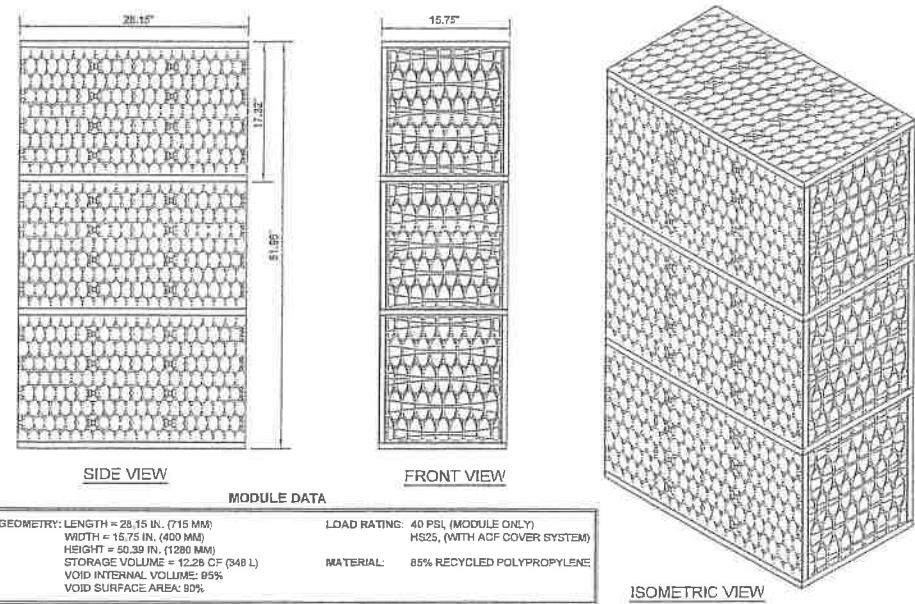
MAP 101; LOT 27
CANDY LANE AND REBEL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: NOTTINGHAM SQUARE CORP. 46 LOWELL ROAD HUDSON, NH 03051 HCRD BK. 8438; PG. 1363	APPLICANT: NOTTINGHAM SQUARE CORP. 46 LOWELL ROAD HUDSON, NH 03051
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KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NE 08110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: DECEMBER 15, 2015 SCALE: AS SHOWN
PROJECT NO: 13-0214-1 SHEET 14 OF 18



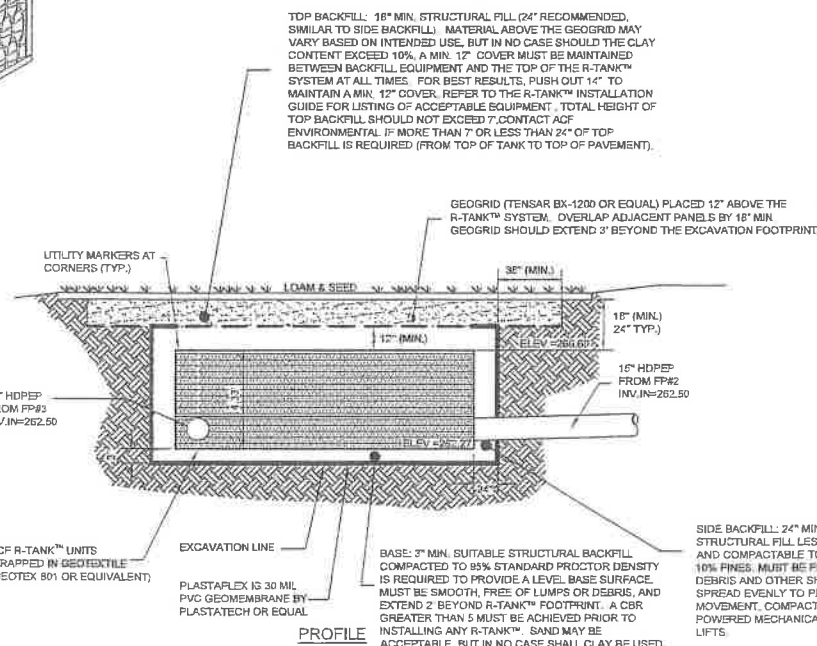
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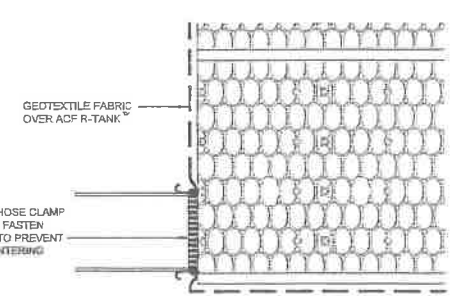
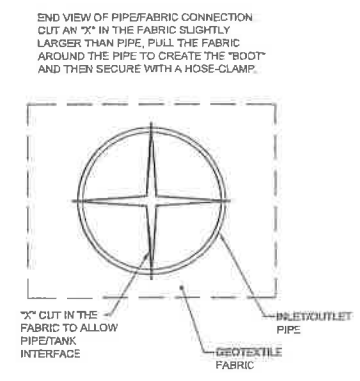
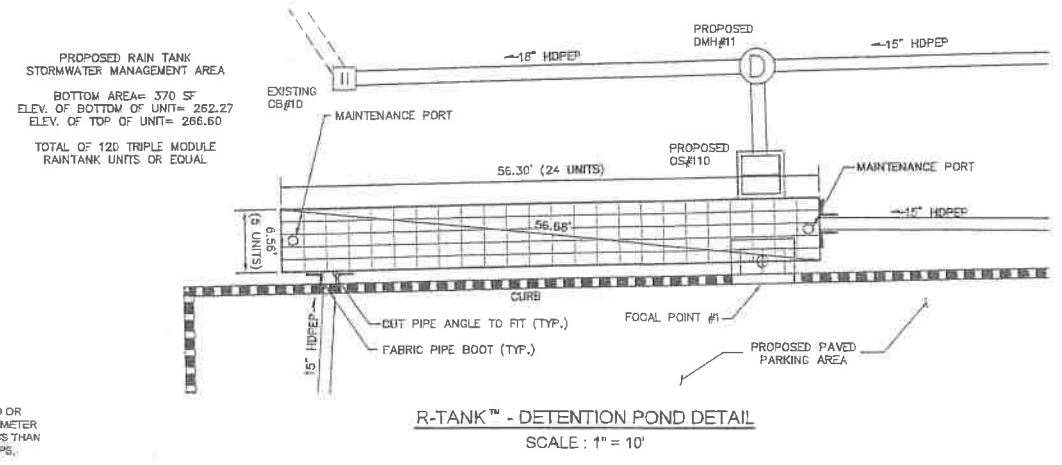
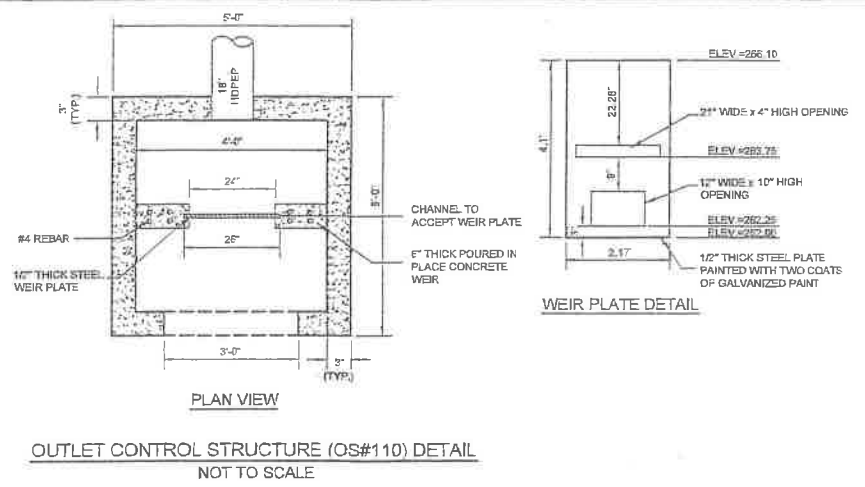
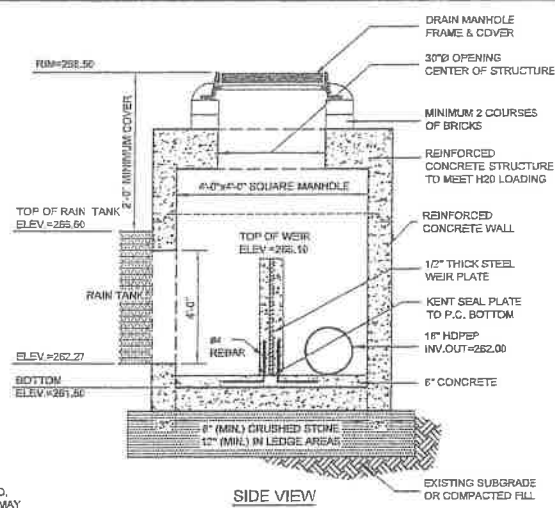
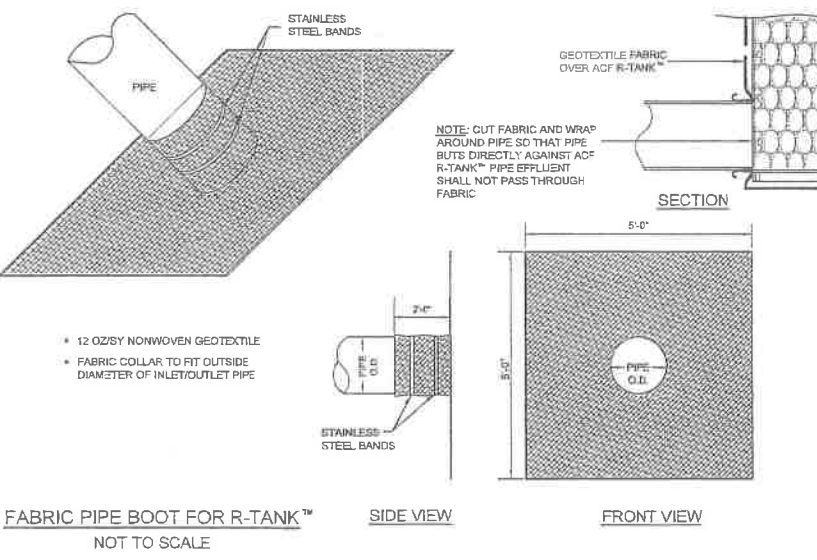
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- NOTES:**
- THIS SYSTEM SHALL BE CONSTRUCTED WITH ONE LAYER OF TRIPLE MODULE R-TANK™ UNITS, OR APPROVED EQUAL.
 - FOR COMPLETE MODULE DATA, SEE APPROPRIATE ACF R-TANK™ SHEET (MINI MODULE, SINGLE MODULE, DOUBLE MODULE, TRIPLE MODULE, QUAD MODULE, OR PENTA MODULE).
 - GEOGRID SHALL CONSIST OF A BIAXIAL GRID WITH A MINIMUM TENSILE STRENGTH OF 410 LB/FT AT 2% STRAIN IN ANY DIRECTION (I.E. 6X 1200 OR EQUIVALENT).
 - INSTALLATION MUST COMPLY WITH "R-TANK™ UNDERGROUND STORMWATER MANAGEMENT SYSTEM INSTALLATION" MANUAL BY ACF ENVIRONMENTAL, ACF ENVIRONMENTAL.COM, 1-800-448-3535.
 - A REPRESENTATIVE OF ACF ENVIRONMENTAL MUST BE ON-SITE DURING THE CONSTRUCTION OF THE ENTIRE SYSTEM. THIS SERVICE IS PROVIDED AT NO CHARGE BY ACF ENVIRONMENTAL.



AMENDED CONSTRUCTION DETAILS

4 CANDY LANE

MAP 101; LOT 27
 CANDY LANE AND REBEL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD:
 NOTTINGHAM SQUARE CORP.
 45 LOWELL ROAD
 HUDSON, NH 03051
 HCRD BK. B43E; PG. 1363

APPLICANT:
 NOTTINGHAM SQUARE CORP.
 45 LOWELL ROAD
 HUDSON, NH 03051

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 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

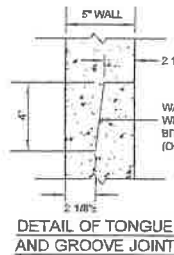
REVISIONS

No.	DATE	DESCRIPTION	BY

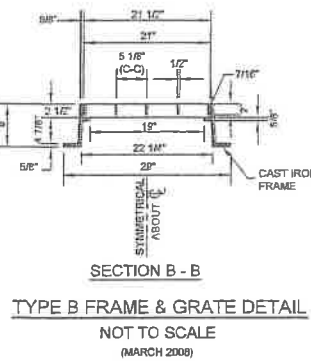
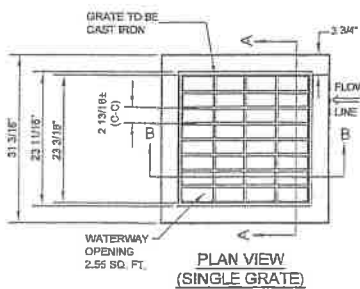
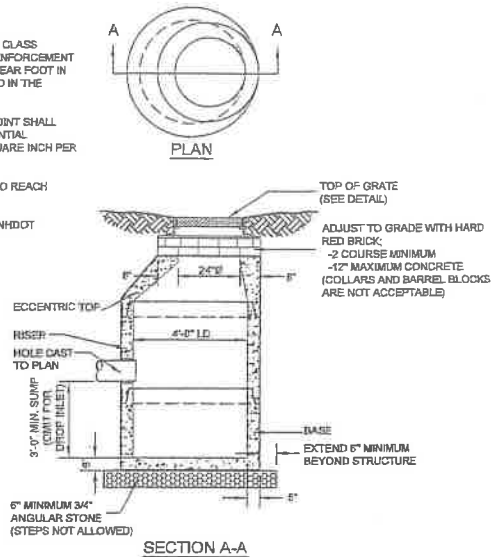
DATE: DECEMBER 15, 2015 SCALE: AS SHOWN
 PROJECT NO: 13-0214-1 SHEET 15 OF 18

NOTES:

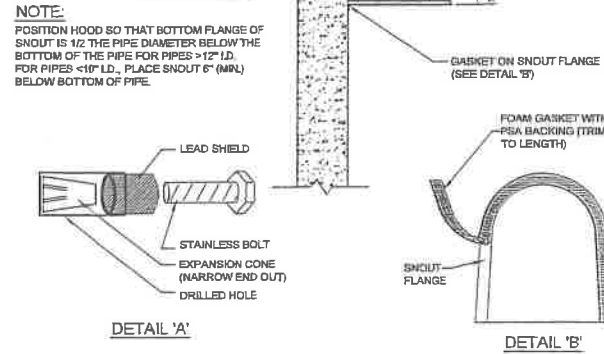
1. ALL SECTIONS SHALL BE CONCRETE CLASS AA(4000 PSI) CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCH PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
2. THE TONGUE OR GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCH PER LINEAR FOOT.
3. RISER OF 1", 2", 3" & 4" CAN BE USED TO REACH DESIRED DEPTH.
4. MATERIALS AND CONSTRUCTION TO NHDOT STANDARDS.



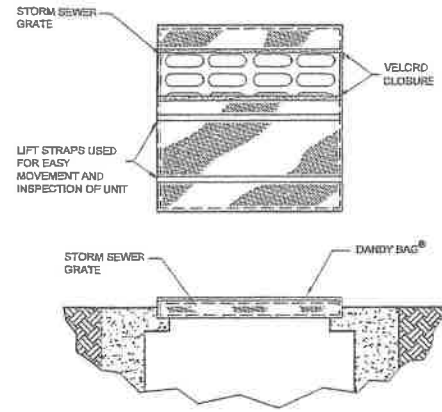
PRECAST REINFORCED CATCH BASIN
NOT TO SCALE
(MAY 2012)



TYPE B FRAME & GRATE DETAIL
NOT TO SCALE
(MARCH 2008)



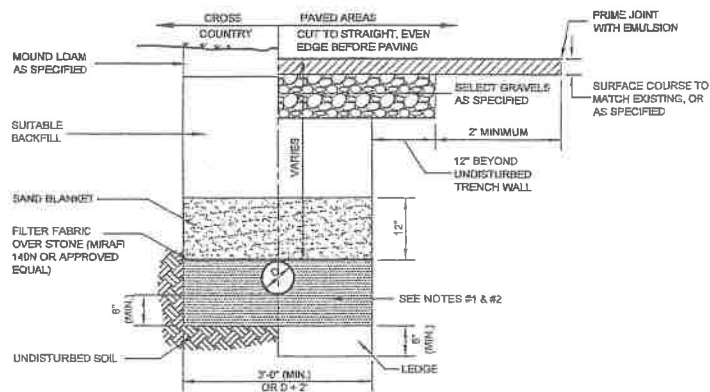
SNOUT OIL AND DEBRIS STOP DETAIL (OR EQUAL)
NOT TO SCALE
(MARCH 2008)



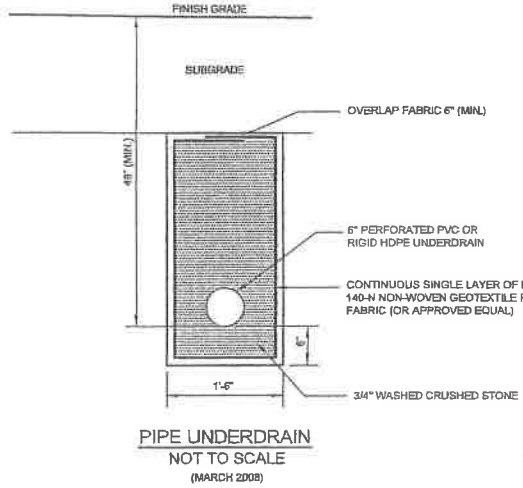
HI-FLOW DANDY BAG® (SAFETY ORANGE)

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4832	kN (lbs)	1.62 (305) x 0.68 (200)
GRAB TENSILE ELONGATION	ASTM D 4832	%	24 ± 10
FLUCTURE STRENGTH	ASTM D 4832	kN (lbs)	0.40 (90)
MULLER BURST STRENGTH	ASTM D 3784	MPa (psi)	3.97 (452)
TRAPEZOID TEAR STRENGTH	ASTM D 4533	kN (lbs)	0.51 (115) x 0.33 (75)
UV RESISTANCE	ASTM D 4355	%	80
APPARENT OPENING SIZE	ASTM D 4751	mm (US Std Sieve)	0.425 (40)
FLOW RATE	ASTM D 4491	l/min (gal/min)	5907 (145)
PERMITIVITY	ASTM D 4491	Sec ⁻¹	2.1

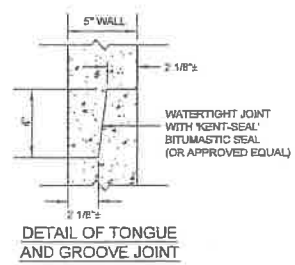
DANDY BAG®
NOT TO SCALE
(APRIL 2010)



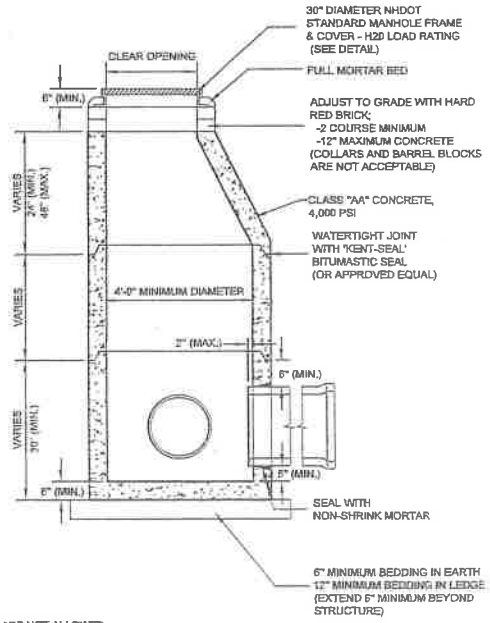
STORM DRAINAGE TRENCH DETAIL
NOT TO SCALE
(MARCH 2008)



PIPE UNDERDRAIN
NOT TO SCALE
(MARCH 2008)



DETAIL OF TONGUE AND GROOVE JOINT



- NOTES:**
1. STEPS ARE NOT ALLOWED.
 2. ALL SECTIONS SHALL BE CONCRETE CLASS AA (4,000 PSI) CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER L.F. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER OF THE WALL.
 3. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER L.F.
 4. MATERIALS AND CONSTRUCTION TO NHDOT STANDARDS.

PRECAST REINFORCED DRAIN MANHOLE DETAIL
NOT TO SCALE
(MARCH 2008)

AMENDED CONSTRUCTION DETAILS

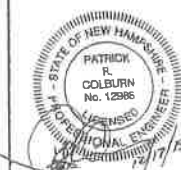
4 CANDY LANE

MAP 101; LOT 27
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REVISIONS

No.	DATE	DESCRIPTION	BY

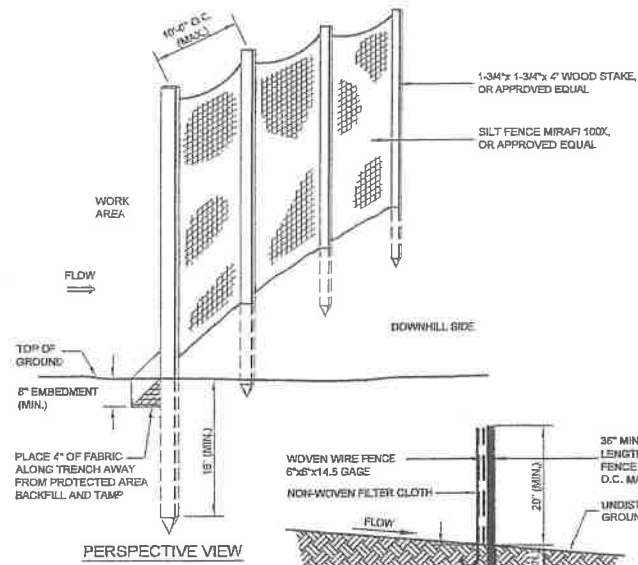
DATE: DECEMBER 15, 2015 SCALE: AS SHOWN
PROJECT NO: 13-0214-1 SHEET 16 OF 18

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

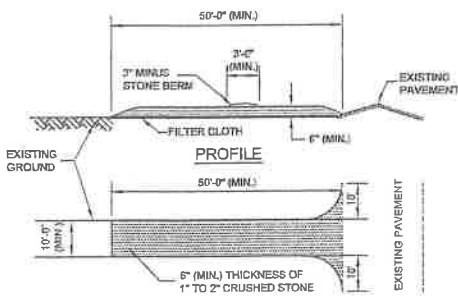
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____
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SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



SILT FENCE DETAIL
NOT TO SCALE
(MARCH 2008)



STABILIZED CONSTRUCTION EXIT DETAIL
NOT TO SCALE
(MARCH 2008)

MAINTENANCE:

MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE CRUSHED STONE AND THE EFFECTIVENESS OF THE CRUSHED STONE PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW CRUSHED STONE OR COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.

IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

CONSTRUCTION SPECIFICATIONS:

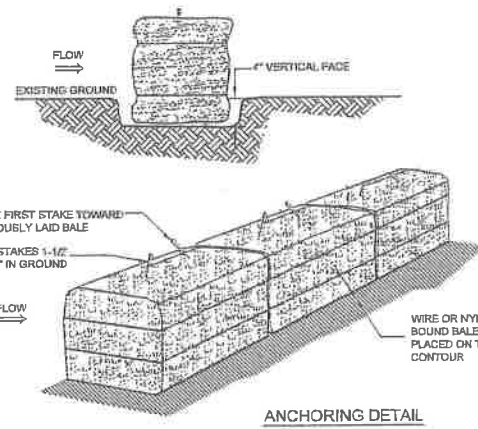
- STONE FOR A STABILIZED CONSTRUCTION EXIT SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED EXIT SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THE THICKNESS OF THE STONE FOR THE STABILIZED EXIT SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE EXIT SHALL NOT BE LESS THAN THE FULL WIDTH OF THE AREA WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION EXIT SHALL BE PIPED BENEATH THE EXIT. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

CONSTRUCTION SPECIFICATIONS:

- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIE OR STAPLES WHERE NOTED OR AS DIRECTED BY DESIGN ENGINEER.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MIDSECTION AND BOTTOM.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
- FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

MAINTENANCE:

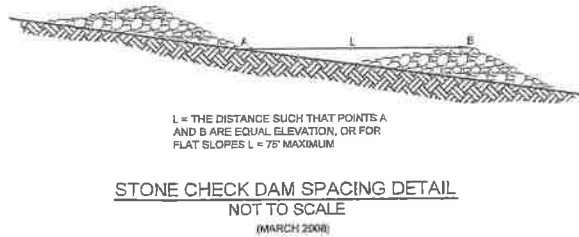
- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.



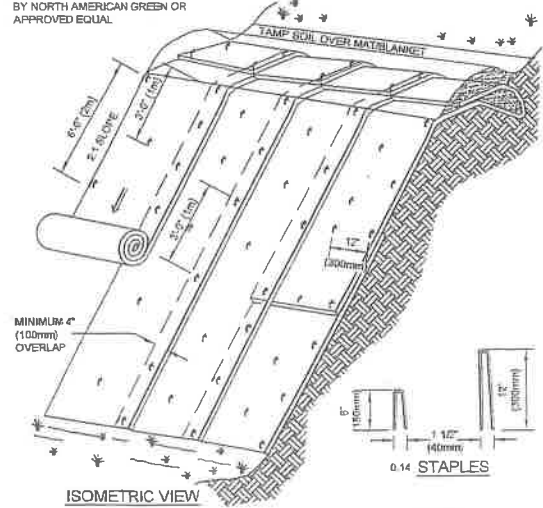
CONSTRUCTION SPECIFICATIONS:

- BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4'.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD THE PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- BALES SHOULD BE FREE FROM ANY PLANT MATERIAL FOUND ON THE NEW HAMPSHIRE INVASIVE SPECIES LIST.

STRAW BALE BARRIER
NOT TO SCALE
(JULY 2010)



MATS/BLANKETS SHOULD BE INSTALLED VERTICALLY DOWNSLOPE AND SHALL BE DOUBLE NET STRAW BLANKETS BY NORTH AMERICAN GREEN OR APPROVED EQUAL.

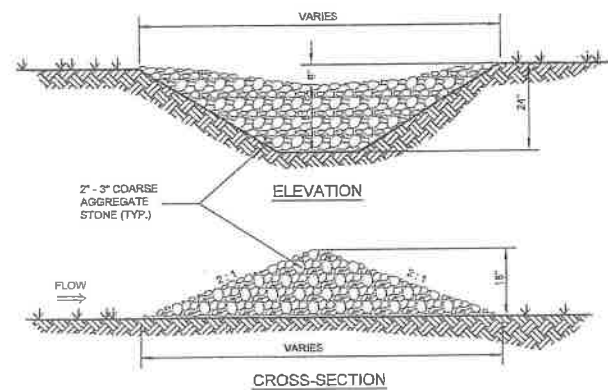


NOTES:

- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
- APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
- LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

EROSION CONTROL BLANKETS - SLOPE INSTALLATION
NOT TO SCALE
(AUGUST 2011)

BLOCK & GRAVEL DROP INLET SEDIMENT FILTER
NOT TO SCALE
(MARCH 2008)



STONE CHECK DAM DETAIL
NOT TO SCALE
(MARCH 2008)

WINTER CONSTRUCTION NOTES:

- ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER WDOT ITEM 304.3 OR, IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON, BE CLEANED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

CONSTRUCTION SEQUENCE

- FIRST CUT AND CLEAR TREES AND BRUSH ONLY WITHIN DESIGNATED LIMITS OF CLEARING AS NECESSARY TO FACILITATE PROPOSED CONSTRUCTION. ALL TREES, BRANCHES AND OTHER VEGETATIVE MATERIALS SHALL BE PROPERLY DISPOSED OFF SITE BY THE CONTRACTOR. THIS PROJECT IS MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:55 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
- PRIOR TO COMMENCEMENT OF ANY EARTHMOVING OPERATIONS, ALL APPLICABLE TEMPORARY EROSION CONTROL MEASURES, INCLUDING SPECIFIED PERIMETER SILTATION FENCING AND STABILIZED CONSTRUCTION EXIT SHALL BE IN PLACE AS SHOWN ON THE PROJECT PLANS.
- COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR ORGANIC DEBRIS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR. NATIVE ORGANIC SOIL MATERIALS SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED WITHIN AREAS OUT OF THE WAY OF OTHER CONSTRUCTIONS ACTIVITIES AND DRAINAGE FLOW. STOCKPILES SHALL BE TEMPORARILY SEEDED WITH WINTER RYE AND BE SURROUNDED WITH HAY BALES AND/OR FABRIC SILTATION FENCE IN ORDER TO PREVENT LOSS DUE TO EROSION.
- BEGIN EARTHMOVING OPERATIONS. COMMENCING WITH WORK NEEDED TO BALANCE SITE AND FACILITATE BUILDING FOUNDATION AND RETAINING WALL CONSTRUCTION. PERMANENT DOWNSLOPE WORK SHALL BE PROTECTED FROM UPGRADIENT STORMWATER FLOW BY THE CONSTRUCTION OF TEMPORARY EARTHEN DIKES OR EXCAVATED SWALES.
- ONCE BUILDING FOUNDATION WORK IS UNDERWAY, CONTINUE EARTHMOVING OPERATIONS UNTIL DESIGN SUBGRADE IS ACHIEVED.
- INSTALL DRAINAGE SYSTEMS AND OTHER UTILITIES WORKING FROM LOW TO HIGH. INCOMPLETE WORK SHALL BE PROTECTED FROM SILTATION BY THE USE OF SILTATION BARRIERS AROUND SWALES UNTIL THE SITE HAS BECOME FULLY STABILIZED.
- PLACE GRAVEL AND CRUSHED GRAVEL OVER PROPOSED DRIVEWAY, WALKS AND PARKING AREAS AND COMPACT IN SPECIFIED LIFT THICKNESS.
- COMPLETE EXCAVATION/STABILIZATION GRADING ACTIVITIES. WHEN COMPLETE, IMMEDIATELY BEGIN TOPSOILING PROPOSED TURF AREAS USING STOCKPILED LOAM SUPPLEMENTED WITH BORROW LOAM, IF NECESSARY, TO LEAVE A THICKNESS OF 4 INCHES OF FRIABLE LOAM.
- FINE GRADE ALL FUTURE TURF AREAS AND HYDROSEED WITH THE SPECIFIED SEED MIXTURE IMMEDIATELY AFTER FINE GRADING IS COMPLETED. ALL AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
- INSTALL THE BINDER COURSE OF PAVEMENT OVER ALL DESIGNATED AREAS.
- CONTINUE TO MONITOR AND RECTIFY MINOR SITE AND SLOPE EROSION UNTIL ENTIRE SITE APPEARS TO BE COMPLETELY STABILIZED AND VEGETATED WITH A HEALTHY STAND OF TURF OR GROUND COVER. MAINTAIN SPECIFIED SILTATION/EROSION CONTROL MEASURES THROUGH ONE WINTER.
- INSTALL THE SPECIFIED WEARING COURSE OF PAVEMENT OVER THE BINDER COURSE.
- COMPLETE INSTALLATION OF LANDSCAPING, SIGNAGE AND OTHER SITE AMENITIES.

EROSION CONTROL NOTES

- EXPOSED EARTHWORK SHALL BE CONFINED TO AS LIMITED AN AREA AS IS PRACTICAL AT ANY GIVEN TIME THROUGHOUT THE CONSTRUCTION SEQUENCE. AT NO TIME SHALL MORE THAN FIVE (5) ACRES OF SITE AREA BE IN AN UNSTABLE CONDITION. NO GIVEN AREA OF THE SITE SHALL BE LEFT IN AN UNSTABLE CONDITION FOR A PERIOD OF TIME EXCEEDING FORTY-FIVE (45) CALENDAR DAYS.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS. IN ADDITION, SWALES SHALL BE INSTALLED WHERE AND WHEN THE FIELD CONTRACTOR, OR FIELD OPERATION OF THE INDIVIDUAL SITE CONTRACTOR, MAY WARRANT. ALL TEMPORARY EROSION CONTROL MEASURES USED SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25" OF RAINFALL OR MORE. THEY SHALL BE CLEANED AND MAINTAINED AND OTHERWISE KEPT IN AN EFFECTIVE OPERATING MANNER THROUGHOUT THE CONSTRUCTION PERIOD.
- ALL DISTURBED AREAS DESIGNATED TO BE TURF, SHALL RECEIVE A MINIMUM APPLICATION OF 4 INCHES OF LOAM (COMPACTED THICKNESS), PRIOR TO FINAL SEEDING AND MULCHING.
- ALL SWALES AND DITCHLINES SHALL BE PERIODICALLY CLEANED OF DEPOSITED SEDIMENT SO AS TO MAINTAIN AN EFFECTIVE GRADE AND CROSS SECTION. ALL SWALES AND DITCHLINES SHALL BE FULLY STABILIZED PRIOR TO HAVING STORMWATER DIRECTED TOWARDS THEM.
- IN THE EVENT THAT, DURING CONSTRUCTION OF ANY PORTION OF THIS PROJECT, A WINTER SHUTDOWN IS NECESSARY, THE CONTRACTOR SHALL STABILIZE ALL INCOMPLETE WORK AND PROVIDE FOR SUITABLE METHODS OF DIVERTING RUNOFF IN ORDER TO ELIMINATE SHEET FLOW ACROSS FROZEN SURFACES.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- DUST SHALL BE CONTROLLED BY THE USE OF WATER AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD, IN ACCORDANCE WITH ENV-A 1000.
- IN NO WAY ARE THOSE TEMPORARY EROSION CONTROL MEASURES INDICATED ON THESE PLANS TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT IN INSTALLING SUPPLEMENTARY EROSION CONTROL MEASURES WHERE AND WHEN SPECIFIC SITE CONDITIONS AND/OR CONSTRUCTION METHODOLOGIES MAY WARRANT.
- AREAS HAVING FINISH GRADE SLOPES OF 3:1 OR STEEPER, SHALL BE STABILIZED WITH JUTE MATTING WHEN AND IF FIELD CONDITIONS WARRANT, OR IF SO ORDERED. JUTE MATTING INSTALLED TO CONFORM WITH THE RECOMMENDED BEST MANAGEMENT PRACTICE OUTLINED IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION."
- ALL DETENTION PONDS AND TREATMENT SWALES SHALL BE CONSTRUCTED PRIOR TO ANY EARTH MOVING ACTIVITIES THAT WILL INFLUENCE STORMWATER RUNOFF.
- ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

AMENDED CONSTRUCTION DETAILS

4 CANDY LANE

MAP 101; LOT 27
CANDY LANE AND REBEL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
NOTTINGHAM SQUARE CORP.
46 LOWELL ROAD
HUDSON, NH 03051
HCRD BK. 8438; PG. 136.3

APPLICANT:
NOTTINGHAM SQUARE CORP.
46 LOWELL ROAD
HUDSON, NH 03051

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: DECEMBER 15, 2015 SCALE: AS SHOWN
PROJECT NO: 13-0214-1 SHEET 17 OF 18

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

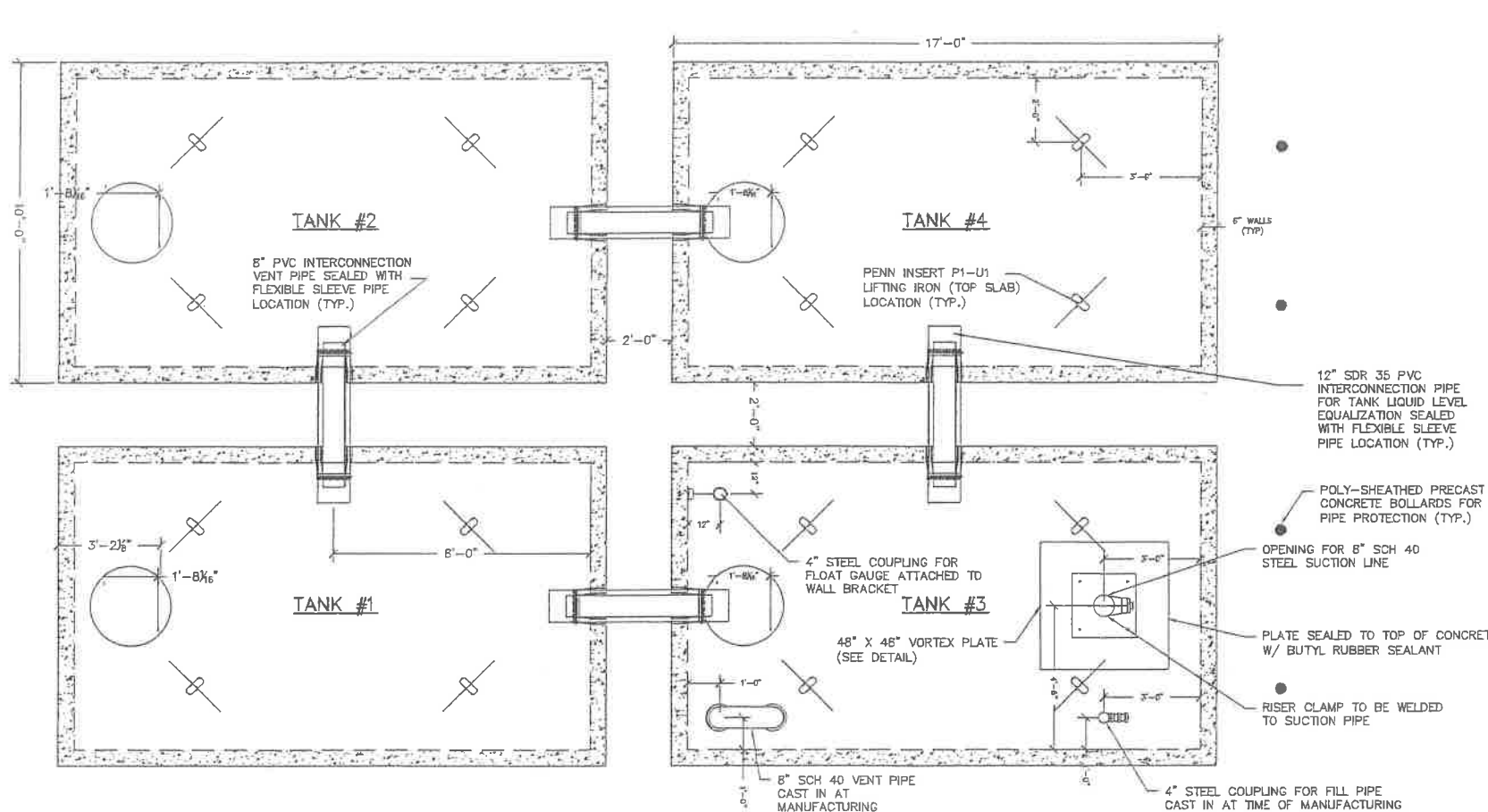
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

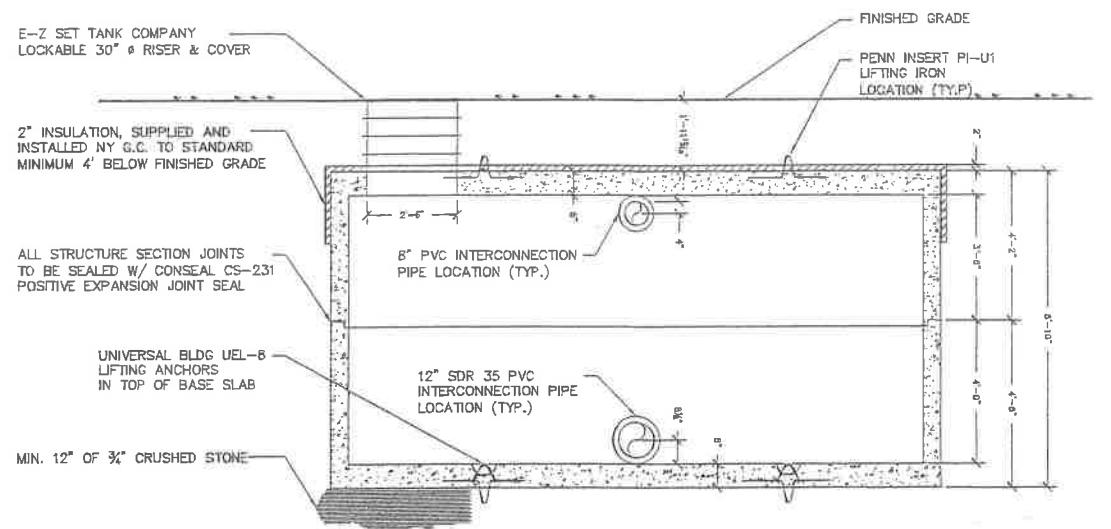
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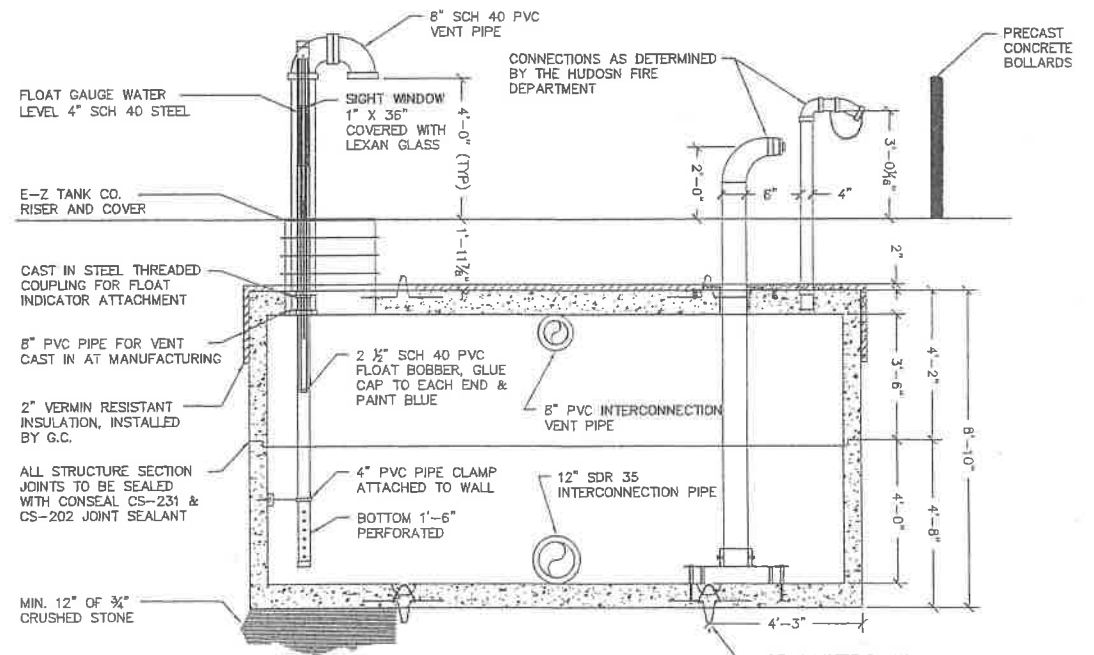
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



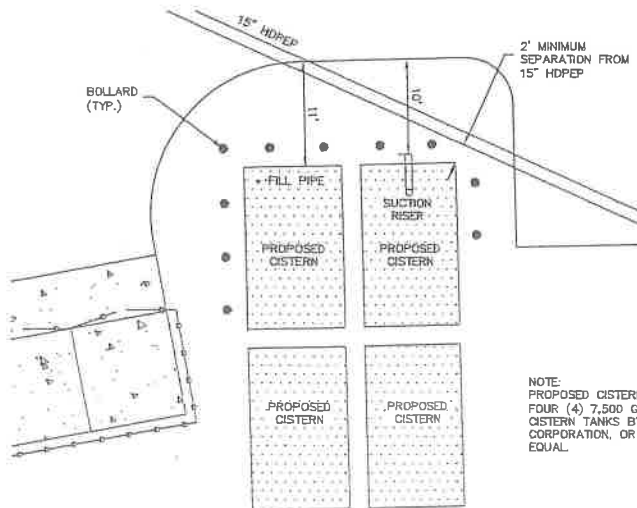
PLAN VIEW
NOT TO SCALE



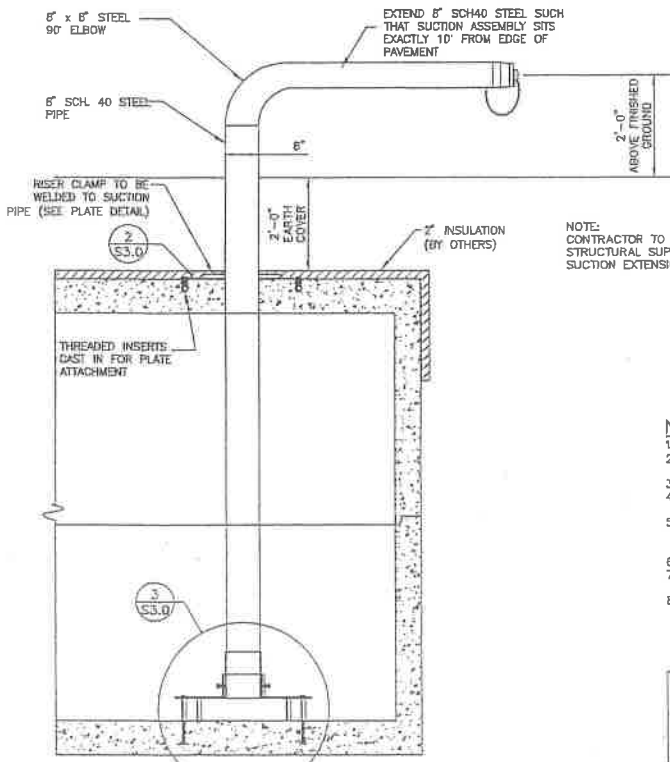
TANKS 1, 2 & 4 ELEVATION VIEW
NOT TO SCALE



TANK 3 ELEVATION VIEW
NOT TO SCALE



30,000 GALLON CISTERN PLAN DETAIL
SCALE: 1" = 10'



NOTE:
6" VERTICAL SUCTION PIPE TERMINATING WITH AN 6" x 6" 90° THREADED REDUCING ELBOW AND A 6" NST OR 4 1/2" NST NOZZLE AND CAP. THE SUCTION PIPE CONNECTION SHOULD BE 24" ABOVE THE LEVEL OF THE ROAD OR SHOULDER WHERE THE VEHICLE WHEELS WILL BE LOCATED WHEN CISTERN IS IN USE.

SUCTION ASSEMBLY DETAIL
NOT TO SCALE

- NOTES:
1. CONCRETE: 5,000 PSI @ 28 DAYS.
 2. REINFORCING TO BE PER ASTM A-615, GRADE 60 DEFORMED BILLET STEEL WITH 1" MINIMUM COVER UNLESS OTHERWISE NOTED.
 3. REINFORCING TO MEET OR EXCEED REQUIREMENTS OF AASHTO HS20-44.
 4. ALL SECTION JOINTS SEALED WITH BUTYL RUBBER JOINT SEALANT PER ASTM C-990 & AASHTO M-198.
 5. EXTERIOR TO BE COATED WITH CONSEAL CS-55 ACRYLIC COATING OR SEABOARD LN-12 ASPHALT GILSONITE PAINT THAT MEETS THE REQUIREMENTS OF FEDERAL SPECIFICATION TT-C-494, TYPES I, II & III.
 6. SECTIONS WEIGHTS: BASE - 8.05 YDS³, 33,800#. TDP - 7.32 YDS³, 30,744#.
 7. CONTRACTOR TO PROVIDE FINAL CONSTRUCTION DRAWINGS TO THE HUDSON FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 8. CONTRACTOR SHALL FILL TANKS WITH FULL VOLUME OF CLEAR WATER UPON COMPLETION.

- CISTERN FOUNDATION & BACKFILL NOTES:
1. CISTERN FOUNDATION MATERIAL SHALL BE 3/4" CRUSHED STONE, MINIMUM 12" THICK.
 2. 1 1/2" BANK RUN GRAVEL SHALL BE USED FOR BACKFILL OPERATIONS SURROUNDING TANK. BACKFILL SHALL BE PLACED IN MAXIMUM 12" LOOSE LIFTS. IT SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY BY MODIFIED PROCTOR METHOD (ASTM 1557). ALL COMPACTON SHALL BE DONE WITH HAND-OPERATED COMPACTON EQUIPMENT.
 3. TANK EXCAVATION SHALL BE KEPT DEWATERED THROUGHOUT INSTALLATION AND BACKFILL OPERATIONS.
 4. ALL AREAS BETWEEN TANKS SHALL BE FILLED TO A MINIMUM OF 12" ABOVE CROWN OF INTERCONNECTION PIPE WITH 3/4" CRUSHED STONE. 1 1/2" BANK RUN GRAVEL MAY BE USED ABOVE THIS ELEVATION, PROVIDED THAT PROPER COMPACTON AS STATED IN NOTE 2 ABOVE CAN BE ACHIEVED.
 5. ALL BACKFILL MATERIAL BETWEEN TANKS SHALL BE PLACED IN 12" LIFTS AT THE SAME TIME AS THE MATERIAL SURROUND THE TANKS.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

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AMENDED CONSTRUCTION DETAILS
4 CANDY LANE
MAP 101; LOT 27
CANDY LANE AND REBEL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: NOTTINGHAM SQUARE CORP. 46 LOWELL ROAD HUDSON, NH 03051 HCRD BK. 8438; PG. 1363	APPLICANT: NOTTINGHAM SQUARE CORP. 46 LOWELL ROAD HUDSON, NH 03051
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KMA
KEACE-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2801

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: DECEMBER 15, 2015 SCALE: AS SHOWN
PROJECT NO: 13-0214-1 SHEET 18 OF 18

22 Hampshire Drive (Change of Use)

STAFF REPORT
10 February 2016

SITE: 22 Hampshire Drive -- Map 216/ Lot 006 -- SP# 02-16

ZONING: Industrial (I)

PURPOSE OF PLAN: proposed change of use for the existing 25,400 sq. ft. building, i.e., from industrial to construction contractor and automotive service & repair businesses, pursuant to §334-10.B. of the Zoning Ordinance. Application Acceptance & Hearing.

PLAN UNDER REVIEW ENTITLED: 22 Hampshire Drive Amended Site Plan Tax Map 216/Lot 6, Hudson, NH, Map 215/Lot 002, prepared by Maynard & Paquette Engineering Associates, LLC, dated: 21 JAN 2016 (no revision date), consisting of Sheet 1 of 1 and Notes 1 – 10 (said plans attached hereto).

ATTACHMENTS:

- 1) Site Plan Application, Checklist, building elevation, locus photo and Assessing Data, date stamped 1 JUN15 – “A”.
- 2) Comments from Asst. Assessor, Jim Michaud , Former Acting Zoning Admin., Dave Hebert and the Deputy Fire Chief, John O’Brien – “B”.
- 3) Most Recent Approved Site Plan, HCRD #15420, Entitled: Hampshire Drive, Hudson, NH, prepared by Maynard & Paquette, dated November 1982 – “C”.

WAIVERS N/A: Existing Building and No Proposed Expansion.

STAFF COMMENTS/OUTSTANDING ISSUES:

1. This is an Amended Site Plan application, relative to the proposed change of use for the existing 25,400 sq. ft. building located at 22 Hampshire Drive. Specifically, the proposed change involves transforming the existing industrial use into a dual use building: a construction contractor business and an automotive service & repair garage. In addition to the proposed dividing walls inside the building, the Plan also shows 4 new parking spaces at each rear corner of the building - on the existing pavement surface - and two new walkways at the front of the building.
2. Please note, the attached Zoning Determination from Former Acting Zoning Administrator, Dave Hebert, together with the Request for a Zoning Determination Form and email from the Applicant, indicates that car sales will also be requested as a use for the site. This is, as opposed to the attached Amended Site Plan not citing car sales as a proposed use, per Note 3 on the Plan, which states in its entirety: “The purpose of this plan is to amend the proposed use from a general industrial use to multi-tenant: construction contractor and automotive service & repair. No building expansion nor additional pavement proposed.”

NOTE: in regard to the potential car sales use, at the hearing the board will want to clarify this issue with the Applicant, i.e., if, in fact, the Applicant plans to sell cars on the property, the Applicant needs to amend the plans, relative to depicting where he plans to park the for sale vehicles, and specify how many vehicles he plans to sell/display for sale at any one time on the site.

3. The application does not call for, nor does the plan show any area(s) on the premises designated for outside storage of contracting equipment/supplies nor the parking and/or storage of vehicles being repaired. In regard to this issue, at the hearing it must be determined if there will be outside storage of said cars and equipment/supplies. If there will be outside storage of said items, the Applicant is obligated to disclose same and show on the Plan where said items will be stored and how screened, if required by the board. This concern takes into consideration §275-8.C.(8) of the Site Plan Review Regulations, which reads in its entirety as follows:

§275-8.C.(8) - Screening shall be provided for visual separation of incompatible uses. Screening shall be required between parking or loading areas and, if present, an abutting residential zone. **Screening may also be required between abutting nonresidential sites. Where screening is required, it shall provide a reasonable effective visual buffer by:**

(a) Use of existing vegetation and terrain where possible; or

(b) New plantings (type, size and spacing to be approved by the PLANNING BOARD), grade separations, fences or similar features.

4. The abandoned turnaround area of the Hampshire Drive right-of-way. Staff recommends, herein, that this right-of-way area be dissolved by the 3 parties of interest, which include the owners of 22 Hampshire Drive, Map 216/Lot 006, 26 Hampshire Drive, Map 216/Lot 010, and the Town of Hudson. That is, all 3 parties should work together to produce a recordable survey plan, that, in affect, would dissolve the subject portion of the right-of-way and incorporate the subject area into the two abutting private properties. Note: this action may also involve amending the access rights to Hampshire Drive for each private party.
5. At the Occupancy stage of this proposed change of uses, a NH issued Industrial Discharge Permit may be required, especially in regard to the automotive use.
6. Existing Water & Sewer lines are not shown on the Plan, nor existing exterior lighting.
7. No dumpster(s) is shown on the Plan.
8. At the meeting, the Applicant will provide a NH P.E., stamped and signed Plan.

RECOMMENDATION: Taking the abovementioned outstanding issues/comments into consideration, and that this application is ready for application acceptance, for this meeting staff recommends for Wednesday night's initial public hearing:

- (i) Board vote for application acceptance;
- (ii) Open and conduct the public hearing;
- (iii) Allow the applicant to present the project and address all of the issues involved in this application, including those cited by staff above.
- (iv) Hear any pro/con public input, and
- (v) If it is determined at the meeting that car sales will be included on the site and/or the site will include outside storage of vehicles under repair or construction equipment/supplies, the board may want to defer further review of this application, i.e., pending receipt of a revised Amended Site Plan for the proposed uses. To this effect, a deferral DRAFT MOTION is provided below for the board's consideration.

- (vi) In the event the board moves to approve this application at the meeting, staff has provided the appropriate DRAFT MOTION below.

APPLICATION TRACKING:

- 14 JAN 16 – Amended Site Plan Application submitted.
- 10 FEB 16 - Initial public hearing scheduled.

DRAFT MOTIONS:

I move to accept the Amended Site Plan application for 22 Hampshire Drive, Map 216/Lot 006.

Motion by: _____ Second: _____ Carried/Failed: _____.

I move to defer further review of the Amended Site Plan application for 22 Hampshire Drive, date specific, to the 24 FEB 16 Planning Board Meeting.

Motion by: _____ Second: _____ Carried/Failed: _____.

MOTION to APPROVE:

I move to grant approval for the Site Plan entitled: 22 Hampshire Drive Amended Site Plan Tax Map 216/Lot 6, Hudson, NH, Map 215/Lot 002, prepared by Maynard & Paquette Engineering Associates, LLC, dated: 21 JAN 2016 (no revision date), consisting of Sheet 1 of 1 and Notes 1 – 10, in accordance with the following terms and conditions:

- 1) All stipulations of approval shall be incorporated into the Notice of Approval, which shall be recorded at the HCRD, together with the Amended Site Plan-of-Record (hereinafter referred to as the Plan).
- 2) Prior to the Planning Board endorsement of the Plan any applicable right-of way and/or easement deeds shall be favorably reviewed and recommended on by Town Counsel, and, if applicable, final action taken on same by the Board of Selectmen.
- 3) All improvements shown on the Plan, including Notes 1- 10, shall be completed in their entirety and at the expense of the Applicant or his assigns.
- 4) Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms with the Planning Board approved Plan.
- 5) This approval shall be subject to final engineering review.
- 6) This Amended Site Plan, together with the subject Development Agreement, shall supersede the previously recorded approved Site Plan (HCRD Plan #15420).

- 7) Prior to the Issuance of an Occupancy Permit the Applicant shall acquire all required state and local permits, including, but not limited to, an Industrial Discharge Permit.
- 8) Prior to Planning Board endorsement of the Plan, existing municipal water & sewer connections shall be shown on the Plan, together with two dumpsters (one for each use) with appropriately constructed concrete pads and fencing.

Motion by: _____ Second: _____ Carried/Failed: _____

"A"



PRELIMINARY & FINAL SITE PLAN APPLICATION FOR PLAN REVIEW (Also for Wireless) TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: JAN 14 2016 Tax Map # 216 Lot # 6

Name of Project: 22 HAMPSHIRE DRIVE

Zoning District: C-INDUSTRIAL (For Town Use) General SP# 02-16 (For Town Use)

ZBA Action: N/A

PROPERTY OWNER: DEVELOPER:

Name: 22-24 HAMPSHIRE DR, LLC

Address: 5 CIN-FRE DRIVE

Address: HUDSON, NH 03051

Telephone # 603-546-2000 GARY THOMAS (NORTHPOINT CONTR)

Fax #

Email: G THOMAS @ NORTHPOINT CM. COM

PROJECT ENGINEER

SURVEYOR

Name: MAYNARD F PAQUETTE ENGINEERING SAKLE

Address: 23 PEARL ST ASAC, LLC

Address: NASHUA, NH 03060

Telephone # 603 883-8384

Fax # 603 883-7227

Email: MPEA LLC @ AOL. COM

PURPOSE OF PLAN:

CHANGE OF USE FOR EXISTING 25,400 SF INDUSTRIAL BUILDING TO CONSTRUCTION CONTRACTOR AND AUTOMOTIVE SERVICE AND REPAIR

Form with fields: For Town Use, Plan Routing Date, Sub/Site Date, I have no comments, I have comments, Title, Date, DEPT: Zoning, Engineering, Assessor, Police, Fire, Planning, Consultant, Highway Department, Fees Paid.

SITE DATA SHEET

PLAN NAME: 22 HAMPSHIRE DRIVE

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 216 LOT 6

DATE: 1/14/2016

Location by Street 22-24 HAMPSHIRE DR

Zoning: INDUSTRIAL

Proposed Land Use: CONTRACTORS OFFICE / AUTOMOTIVE SERVICES & REPAIR

Existing Use: GENERAL INDUSTRIAL

Surrounding Land Use(s): INDUSTRIAL

Number of Lots Occupied: ONE

Existing Area Covered by Building: 25,400 SF

Existing Buildings to be removed: —

Proposed Area Covered by Building: 25,400 SF

Open Space Proposed/~~EXISTING~~ 37% (EXISTING)

Open Space Required: 35%

Total Area: S.F.: 108,290 Acres: 2.426

Area in Wetland: N/A Area Steep Slopes: N/A

Required Lot Size: 10,000

Existing Frontage: 253

Required Frontage: 90

Building Setbacks:	Required*	Proposed	EXISTING
Front:	<u>50</u>	<u>55</u>	
Side:	<u>15</u>	<u>55 + 65</u>	
Rear:	<u>15</u>	<u>115</u>	

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Thirty (30) days prior to Planning Board Meeting, a complete site plan to include all supporting materials/documents must be submitted in final form. The site plan shall comply with the following specifications/requirements:

Applicant Initials		Staff Initials
<u>✓</u>	a) Submission of nine (9) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M., Tuesday the week prior to the scheduled public hearing/conceptual review date.	<u>JC</u>
<u>✓</u>	b) A Site Plan narrative, describing the purpose, locations, long-range plans, impacts on traffic, schools, and utilities	<u>JC</u>
<u>✓</u>	c) Plan scale at not less the one inch equals fifty feet (1" = 50')	<u>JC</u>
<u>✓</u>	d) Locus plan with 1,000' minimum radius of site to surrounding area	<u>JC</u>
<u>✓</u>	e) Plan date by day/month/year	<u>JC</u>
<u>✓</u>	f) Revision block inscribed on the plan	<u>JC</u>
<u>✓</u>	g) Planning Board approval block inscribed on the plan	<u>JC</u>
<u>✓</u>	h) Title of project inscribed on the plan	<u>JC</u>
<u>✓</u>	i) Names and addresses of property owners and their signatures inscribed on the plan	<u>JC</u>
<u>✓</u>	j) North point inscribed on the plan	<u>JC</u>
<u>✓</u>	k) Property lines: exact locations and dimensions	<u>JC</u>
<u>✓</u>	l) Square feet and acreage of site	<u>JC</u>
<u>✓</u>	m) Square feet of each building (existing and proposed)	<u>JC</u>
<u>✓</u>	n) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan.	<u>JC</u>

Applicant
Initials

Staff
Initials

- o) Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve areas, floodways/floodplains, driveways, travel areas, parking areas and natural features within 200 feet of the tract
- N/A p) Locations of existing and proposed permanent monuments and bench marks within 200 feet of the development tract
- N/A q) Pertinent highway projects
- r) Assessor's Map and Lot number(s)
- N/A s) Waiver application form shall be submitted with the site plan application, note on plan listing waivers requested/granted; and all waivers granted to the site plan regulations shall be listed on the final plan; waivers to checklist shall be reduced to writing and be signed by the Planning Board Chairman and Planning Board Secretary and recorded with the plan
- t) Delineate zoning district on the plan
- N/A u) Storm water drainage plan
- N/A v) Topographical elevations at 2-foot intervals contours: existing and proposed
- w) Utilities: existing and ~~proposed~~
- x) Parking: existing and proposed
- y) Parking space: length and width
- z) Aisle width/maneuvering space
- aa) Landscaping: existing and ~~proposed~~
- ab) Building and wetland setback lines
- ac) Curb cuts
- ad) Rights of way: existing and ~~proposed~~
- N/A ae) Sidewalks: existing and proposed
- N/A af) Exterior lighting plan
- ag) Sign locations: size and design
- ah) Water mains and sewerage lines
- N/A ai) Location of dumpsters on concrete pads
- aj) All notes from plats

JC

EXISTING JC

N/A TO THIS PROJECT

JC

N/A

JC

N/A NO IMPROVEMENT PROPOSED TO EXISTING S.T.

N/A

JC

JC

JC

JC

JC

JC

JC

JC

ON-SITE WALKWAY JC

EXISTING JC

EXISTING BUT NOT SHOWN ON

2

JC

PLAN.

Applicant Initials		Staff Initials
<u>N/A</u>	ak) Buffer as required by site plan regulations	<u>SCROONING MAY BE REQUIRED SEE STAFF REPORT</u>
<u>✓</u>	al) Green and open space requirements met with both types of spaces inscribed on the plan	<u>N/A</u>
<u>N/A</u>	am) Soil types and boundaries, Note: If site contains marginal or questionable soils, a High Intensity Soil, Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire Certified Soil Scientist, who shall affix his/her stamp and signature shall be inscribed on the plan.	<u>N/A</u>
<u>N/A</u>	an) Wetlands (and poorly-drained and very poorly-drained soils, also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire certified wetland or soil scientist, who shall affix his/her stamp and signature to the respective plan.	<u>N/A</u> <u>JC</u>
<u>✓</u>	ao) "Valid for ^{two} one year after approval" statement inscribed on the plan.	<u>JC</u>
<u>✓</u>	ap) Loading bays/docks	<u>JC</u>
<u>✓</u>	aq) State of New Hampshire engineer's stamp, signature, surveyor's stamp, and signature	<u>WILL BE PROVIDED AT MEETING.</u>
<u>✓</u>	ar) Error of closure (1 in 10,000 or better)	<u>JC</u>
<u>N/A</u>	as) Drafting errors/omissions	<u>EXISTING SURVEY PLAN.</u>
<u>✓</u>	at) Developer names, addresses, telephone numbers and signatures	<u>JC</u>
<u>✓</u>	au) Photographs, electronic/digital display or video of site and area	<u>JC</u>
<u>✓</u>	av) Attach one (1) copy of the building elevations	<u>JC</u>
<u>N/A</u>	aw) Fiscal impact study	<u>N/A</u>
<u>N/A</u>	ax) Traffic study	<u>N/A</u>
<u>N/A</u>	ay) Noise study	<u>N/A</u>

Applicant
Initials

Staff
Initials

✓ az)

Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents

JC

N/A ba)

Copy of applicable Town, State, Federal approval/permits to include but not limited to the following:

- industrial discharge application
- sewer application
- flood plain permit
- wetlands special exception
- variance
- erosion control permit (149:8a)
- septic construction approval
- dredge and fill permit
- curb cut permit
- shore-land protection certification in accordance with RSA483-B
- if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.

NOT PROVIDED WILL BE REQUIRED

✓ bb)

Presentation plan (colored, with color-coded bar chart)

JC

✓ bc)

Fees paid to clerk

JC

 bd)

Five (5) 22" x 34" copies of the plan shall be brought to the Planning Board meeting and distributed to the Planning Board members at the meeting. Note: for all subsequent meetings involving revised plans, five 22" x 34" copies of said plan shall be brought to the meeting for distribution to the board members.

JC

*Under the purview of the Planning Board, any and all items may be waived.

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Site Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Site Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: _____

AUTH REP: Deborah Magnum

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: _____

SALE

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

APPLICATION IS DUE AT NOON 21 days prior to the Planning Board Meeting. (The date the Agenda is CLOSED.) Any applications received after that time will be deferred until the next available meeting.

"B"



PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: JAN 14 2016 Tax Map # 216 Lot # 6

Name of Project: 22 HAMPSHIRE DRIVE

Zoning District: C - INDUSTRIAL General SP# 02-16
(For Town Use) (For Town Use)

ZBA Action: N/A

PROPERTY OWNER: DEVELOPER:

Name: 22-24 HAMPSHIRE DR, LLC

Address: 5 CIN-FRE DRIVE

Address: HUDSON, NH 03051

Telephone # 603-546-2000 GARY THOMAS (NORTHPOINT CONSTR)

Fax # _____

Email: G THOMAS @ NORTHPOINT CM. COM

PROJECT ENGINEER

SURVEYOR

Name: MAYNARD P. PARQUETTE ENGINEERING SAME

Address: 23 PEARL ST RESID, LLC

Address: NASHUA, NH 03060

Telephone # 603 883-8384

Fax # 603 883-7227

Email: MPEA LLC @ AOL.COM

PURPOSE OF PLAN:

CHANGE OF USE FOR EXISTING 25,400 SF INDUSTRIAL BUILDING
TO CONSTRUCTION CONTRACTOR AND AUTOMOTIVE SERVICE
AND REPAIR

For Town Use	
Plan Routing Date: <u>2/3/16</u>	Sub/Site Date: <u>2/10/14</u>
<input checked="" type="checkbox"/> I have no comments <input type="checkbox"/> I have comments (attach to form)	
(Initials) <u>GA</u>	Title: <u>Asst. Assessor</u> Date: <u>2-3-16</u>
DEPT: <input type="checkbox"/> Zoning <input type="checkbox"/> Engineering <input checked="" type="checkbox"/> Assessor <input type="checkbox"/> Police <input type="checkbox"/> Fire <input type="checkbox"/> Planning <input type="checkbox"/> Consultant <input type="checkbox"/> Highway Department	
Fees Paid: <input checked="" type="checkbox"/>	



TOWN OF HUDSON

FIRE DEPARTMENT

INSPECTIONAL SERVICES DIVISION

12 SCHOOL STREET, HUDSON, NEW HAMPSHIRE 03051



Emergency
Business
Fax

911
603-886-6005
603-594-1142

Robert M. Buxton
Chief of Department

ZONING DETERMINATION

July 22, 2015

Benjamin Moore
402 Main Street
Nashua, NH 03060

Re: 22 Hampshire Drive, Hudson, NH (Map 216/ Lot 006)

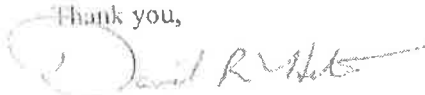
Dear Mr. Moore,

Your request for zoning review and determination to operate an automotive service and repair business as well as car sales has been completed.

The aforementioned property is in the industrial zone. Both the automotive service & repair and car sales are considered to be a permitted use. Article III 334-16.1, Site plan approval. No person, persons, partnership, proprietorship, company, trust or corporation shall commence any site development activity without first securing site plan approval from the Hudson Planning Board pursuant to this chapter.

This determination may be appealed within 30 days of the receipt of this letter to the Hudson Zoning Board of Adjustment. Please contact me at 886-6005 or via email at dhebert@hudsonnh.gov if you have any questions.

Thank you,


David Hebert

Acting Zoning Administrator / Code Enforcement Officer

cc: Zoning Board of Adjustment
J. Michaud, Town Assessor
J. Cashell, Town Planner
R. Buxton, Fire Chief
File



COMMUNITY DEVELOPMENT DEPARTMENT
12 School Street
Hudson, NH 03051
(603)886-6005
www.hudsonnh.gov



Town of Hudson

REQUEST FOR ZONING and/or PLANNING INFORMATION / DETERMINATION

Date of request

7/8/2015

15-42

Property Location

22 HAMPSHIRE DRIVE HUDSON, NH

Zoning District if known

Map ~~10~~ Lot ~~113~~
I 216 006

Type of Request

- Zoning District Determination
- Use Determination
- Set-Back Requirements
- Process for Subdivision/ Site Plan if required
- Other

Description of request / determination: (Please attach all relevant documentation)

WE ARE ACQUIRING THIS PROPERTY AND WANT TO MOVE OUR EXISTING AUTOMATING SERVICE AND REPAIR BUSINESS TO THIS LOCATION AS WELL AS CREATE A NEW ENTITY FOR CAR SALES #9 WE WOULD WANT TO PAY OVER THE SUB SERVICE DISPOSAL SYSTEM AS WELL AS INSTALLING A NEW LOT'S SIGN. ARE THERE ANY RESTRICTIONS TO DO ANY OF THE ABOVE & WOULD THIS BE PERMISSIBLE BY THE TOWN AND ARE THERE ANY RESTRICTIONS, ALSO REGARDING THE LAND THAT WAS A CUL DE SAC AND ITS USE OR PURCHASE.

Applicant Contact Information:

Name:

BENJAMIN MOORE

Address:

402 MAIN ST. MASHUA NH 03040

Phone Number:

603 347-0100

For Office use

ATTACHMENTS: TAX CARD

GIS

NOTES:

ZONING DETERMINATION LETTER SENT DATE:

Hebert, David

From: benjamin@kretetek.com
Sent: Thursday, July 09, 2015 5:56 PM
To: Hebert, David
Cc: zak@zaksauto.com; Gary Thomas
Subject: Use determination request
Attachments: scan.pdf

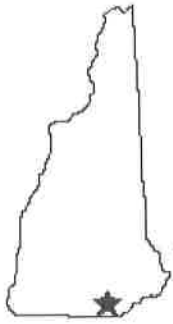
Hi Dave,

I am submitting this form on behalf of Zaks' Auto Industries and myself. I believe Kristen Kilmas has also reached out to you in regards to our intentions. I am also friends with Gary Thomas of North Point Construction who may be involved in the project. As described in the use determination request we are considering utilizing the space at 22 Hampshire drive to relocate an existing automotive repair and service facility here in Hudson, as well as add a new automotive sales component.

Could you let me know a good time that we could come in to discuss our intentions?

Best regards,

Benjamin Moore
Direct 617-347-0100



TOWN OF HUDSON

FIRE DEPARTMENT

39 FERRY STREET, HUDSON, NEW HAMPSHIRE 03051



Emergency 911
Business 603-886-6021
Fax 603-594-1164

Robert M. Buxton
Chief of Department

TO: Town Planner John Cashell

SUBJ: Site Plan application 22 Hampshire Drive Map 216/ Lot 6

FR: Deputy Fire Chief John J. OBrien

DT: 3 Feb 2016

Please find the following recommendations from the Fire Dept regarding the change of use for the property located at 22 Hampshire Drive.

Fire Alarm: Please have the building connected to the municipal fire alarm, as soon as possible.

Sprinklers: To our knowledge this buildings suppression system is listed as an Ordinary Hazard Group 2. According to the NFPA 101 Sec 30.2.2 Occupancy classification.

The occupancy classification of a repair garage shall be special purpose industrial. Please have an analysis of the sprinkler system conducted to ensure compliance.

John J. O'Brien
Deputy Fire Chief

JOB



PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: JAN 14 2016 Tax Map # 216 Lot # 6

Name of Project: 22 HAMPSHIRE DRIVE

Zoning District: C - INDUSTRIAL General SP# 02-16
(For Town Use) (For Town Use)

ZBA Action: N/A

PROPERTY OWNER: DEVELOPER:

Name: 22-24 HAMPSHIRE DR, LLC

Address: 5 CIN-FRE DRIVE

Address: HUDSON, NH 03051

Telephone # 603-546-2000 GARY THOMAS (NORTHPOINT CONTR)

Fax # _____

Email: G THOMAS @ NORTHPOINT CM. COM

PROJECT ENGINEER

SURVEYOR

Name: MAYNARD PARQUETTE ENGINEERING

SAME

Address: 23 PEARL ST RESID, LLC

Address: NASHUA, NH 03060

Telephone # 603 883-8384

Fax # 603 883-7227

Email: MPEA LLC @ AOL.COM

PURPOSE OF PLAN:

CHANGE OF USE FOR EXISTING 25,400 SF INDUSTRIAL BUILDING
TO CONSTRUCTION CONTRACTOR AND AUTOMOTIVE SERVICE
AND REPAIR

For Town Use

Plan Routing Date: _____ Sub/Site Date: _____

I have no comments I have comments (attach to form)

JOB Title: Deputy Fire Chief Date: 2/3/16
(Initials)

DEPT:

____ Zoning ____ Engineering ____ Assessor ____ Police Fire ____ Planning
____ Consultant ____ Highway Department

Fees Paid:

ABUTTERS:

DIRECT ABUTTERS:
 MAP 216/LOTS 3 & 8
 NASH FAMILY INVESTMENT PROPERTIES
 91 AMHERST STREET
 NASHUA, NH 03064

MAP 216/LOT 5
 ACONY LEASING COMPANY INC.
 P.O. BOX 28
 DRACUT, MA 01826

MAP 216/LOT 10
 26 HAMPSHIRE LLC
 26 HAMPSHIRE DRIVE
 HUDSON, NH 03051

MAP 216/LOT 7
 JTT ASSOCIATES
 19 PAR LANE
 HUDSON, NH 03051

MAP 216/LOT 2
 MERRIMACK REAL ESTATE INV. LLC
 203 LOWELL ROAD
 HUDSON, NH 03051

PROPERTY OWNERS WITHIN 200 FT.:
 MAP 216/LOT 11
 AMR R.E. HOLDINGS-HUDSON LLC
 425 PROVIDENCE HIGHWAY
 WESTWOOD, MA 02090-1927

MAP 215/LOT 10
 6 WENTWORTH DRIVE REALTY CORP.
 9 RED ROOF LANE
 SALEM, NH 03079

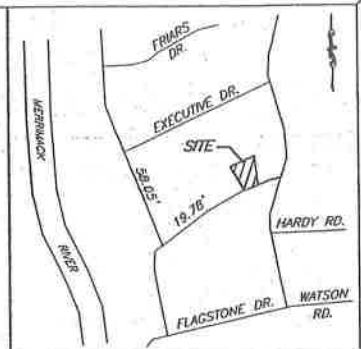
PROFESSIONALS:
 MAYNARD & PAQUETTE ENG. ASSOC., LLC
 23 EAST PEARL STREET
 NASHUA, NH 03060

OWNER/APPLICANT:
 22-24 HAMPSHIRE DRIVE, LLC
 5 CIN-FRE DRIVE
 HUDSON, NH 03051

PLAN REFERENCES:

1. SITE PLAN - MAP 10/LOT 11-3 HAMPSHIRE DRIVE, HUDSON, NH
 PREPARED FOR: NASH FAMILY INVESTMENT PROPERTIES, DATED: NOVEMBER 1982
 REVISED: JANUARY 10, 1983; SCALE: 1"=20'; H.C.R.D. NO. 1542D
2. CONSOLIDATION & SUBDIVISION PLAN, LOWELL ROAD, HUDSON, NH
 PREPARED FOR: G.O. NASH FAMILY & S.A. TAMPOSI; BY: A.E. MAYNARD
 DATED: DEC. 1980; SCALE: 1"=100'; H.C.R.D. NO. 13870
3. AS-BUILT-INTERSECTION PLAN, HAMPSHIRE DRIVE & LOWELL ROAD, HUDSON, NH
 PREPARED FOR: ETCHSTONE PROPERTIES, DATED: MAY 25, 2011
 BY: MAYNARD & PAQUETTE ENG. ASSOC., LLC; ON FILE AT TOWN

- STONE BOUND FOUND
- STONE BOUND TO BE SET
- IRON PIN FOUND
- IRON PIN TO BE SET
- - - MINIMUM BUILDING SETBACK
- EXISTING BUILDING
- ④ STREET ADDRESS

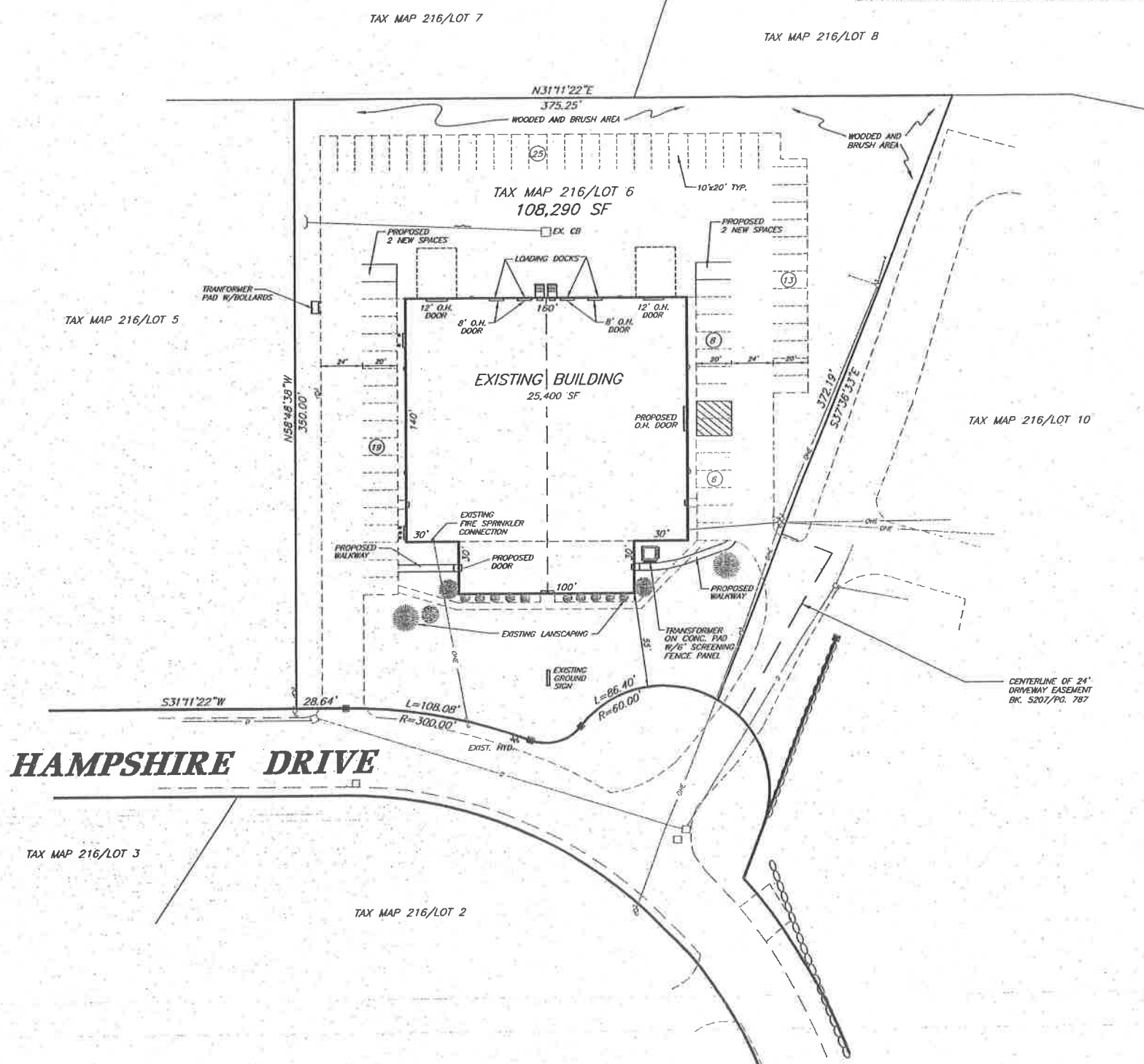


LEGEND

VICINITY

NOTES:

1. PRESENT ZONING - C-INDUSTRIAL
2. EXISTING USE - INDUSTRIAL
3. PROPOSED USE - INDUSTRIAL / MULTI-TENANT
4. THE PURPOSE OF THIS PLAN IS TO AMEND THE PROPOSED USE FROM A GENERAL INDUSTRIAL USE TO MULTI-TENANT. CONSTRUCTION CONTRACTOR AND AUTOMOTIVE SERVICE AND REPAIR. NO BUILDING EXPANSION NOR ADDITIONAL PAVEMENT PROPOSED.
5. TOTAL AREA OF PARCEL - 108,290 SF / 2.486 AC.
6. LOTSERVED BY TOWN WATER AND SEWER.
7. AREA OF BUILDING - 25,400 SF (12,700 SF EACH TENANT)
8. AREA OF OPEN SPACE - 35% REQUIRED; 37% EXISTING
9. PARKING:
 REQUIRED - 1 SP/600SF, 25,400 SF = 42 SPACES REQUIRED
 PROVIDED - 71 SPACES
10. DIMENSIONAL REQUIREMENTS -
 MINIMUM LOT AREA - 10,000 S.F.
 FRONT YARD SETBACK - 50' BUILDING, 35' GREEN SPACE
 SIDE YARD SETBACK - 15'
 REAR YARD SETBACK - 15'
 MIN. LOT FRONTAGE - 90'



AMENDED SITE PLAN TAX MAP 216/LOT 6
22 HAMPSHIRE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR:
 22-24 HAMPSHIRE DRIVE, LLC
 5 CIN-FRE DRIVE
 HUDSON, NH 03051



SCALE: 1" = 40'

DATE: JANUARY 11, 2016

ENGINEERING
MP ASSOCIATES
Maynard & Paquette
 Engineering Associates, LLC
 Consulting Engineers and Land Surveyors
 23 East Pearl Street, Nashua, NH 03060
 Phone: (603)883-8433 Fax: (603)883-7227

APPROVED BY THE TOWN OF HUDSON PLANNING BOARD

SECRETARY _____ DATE _____
 CHAIRMAN _____ DATE _____

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE (1) YEAR FROM DATE OF APPROVAL.

Gary Thomas
 GARY THOMAS
 22-24 HAMPSHIRE DRIVE, LLC

1/17/16
 DATE

I CERTIFY THAT THIS PLAN WAS PREPARED FROM BOUNDARY INFORMATION SHOWN ON PLAN REFERENCE 1 AND A FIELD SURVEY MADE ON THE GROUND IN JULY 2014 HAVING A MAXIMUM ERROR OF CLOSURE OF 1:10,000.

KPM	APB				D	12468
DESIGNED	DRAFTED	CHECKED	APPROVED	BOOK & PAGE	REVISION	SIZE

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22 & 24 HAMPSHIRE DRIVE - PROPOSED FRONT ELEVATION

22-24 HAMPSHIRE DRIVE - HUDSON, NH

DECEMBER 21, 2015

CONCEPTUAL RENDERINGS

NORTHPOINT
CONSTRUCTION MANAGEMENT, LLC

www.NORTHPOINTCM.com
94 River Road
Hudson, NH 03051
Ph. 1.603.546.2000
Fax. 1.603.546.2002



22 HAMPSHIRE DRIVE - PROPOSED MAIN ENTRY

22-24 HAMPSHIRE DRIVE - HUDSON, NH

DECEMBER 21, 2015

CONCEPTUAL RENDERINGS

 **NORTHPOINT**
CONSTRUCTION MANAGEMENT, LLC

www.northpointcm.com
94 River Road
Hudson, NH 03051
Ph: 1.603.546.2000
Fax: 1.603.546.2002



24 HAMPSHIRE DRIVE - PROPOSED MAIN ENTRY

22-24 HAMPSHIRE DRIVE - HUDSON, NH

DECEMBER 21, 2015

CONCEPTUAL RENDERINGS

 **NORTHPOINT**
CONSTRUCTION MANAGEMENT, LLC

www.northpointcm.com
94 River Road
Hudson, NH 03051
Ph. 1.603.546.2000
Fax. 1.603.546.2002

Unofficial Property Record Card - Hudson, NH

General Property Data

Parcel ID 216-010-000
 Prior Parcel ID 0010 -0011-0004
 Property Owner 26 HAMPSHIRE, LLC

Mailing Address 26 HAMPSHIRE DR.

City HUDSON
 Mailing State NH Zip 03051
 ParcelZoning

Account Number 3991

Property Location 26 HAMPSHIRE DR
 Property Use IND WAREHSE
 Most Recent Sale Date 3/4/2014
 Legal Reference 8644-1786
 Grantor CAMPANELLI-TRIGATE ,
 Sale Price 1,185,100
 Land Area 3.142 acres

A cont.

Current Property Assessment

Card 1 Value	Building Value 1,035,900	Xtra Features Value 19,400	Land Value 505,400	Total Value 1,560,700
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Building Description

Building Style IND-LIGHT
 # of Living Units 2
 Year Built 1973
 Building Grade AVERAGE
 Building Condition Average
 Finished Area (SF) 31000
 Number Rooms 0
 # of 3/4 Baths 0

Foundation Type SLAB
 Frame Type STEEL
 Roof Structure FLAT
 Roof Cover TAR/GRAVEL
 Siding CONC BLOCK
 Interior Walls AVERAGE
 # of Bedrooms 0
 # of 1/2 Baths 6

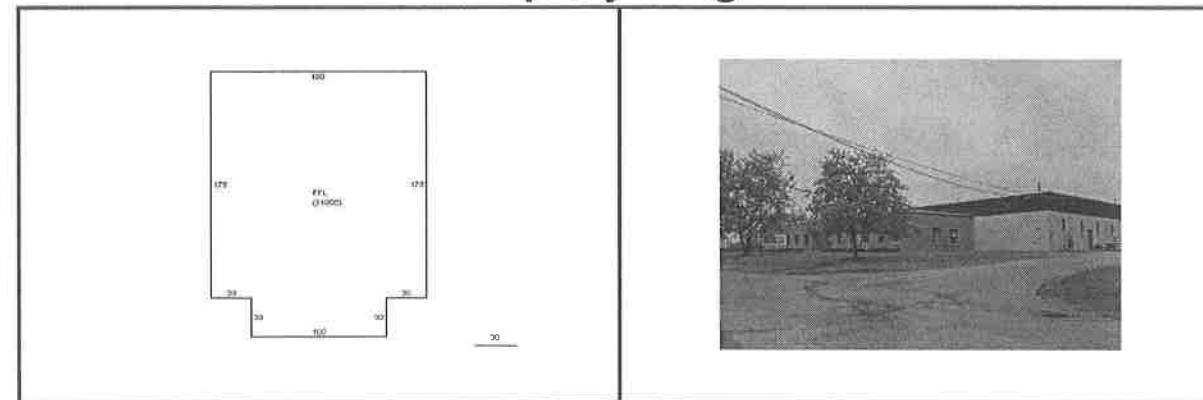
Flooring Type CONCRETE
 Basement Floor N/A
 Heating Type FORCED AIR
 Heating Fuel GAS
 Air Conditioning 32%
 # of Bsmt Garages 0
 # of Full Baths 0
 # of Other Fixtures 5

Legal Description

Narrative Description of Property

This property contains 3.142 acres of land mainly classified as IND WAREHSE with a(n) IND-LIGHT style building, built about 1973 , having CONC BLOCK exterior and TAR/GRAVEL roof cover, with 2 unit(s), 0 room(s), 0 bedroom(s), 0 bath(s), 6 half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

"A"
A cont.



Imagery ©2016 Google, Map data ©2016 Google 200 ft



22 Hampshire Dr
Hudson, NH 03051

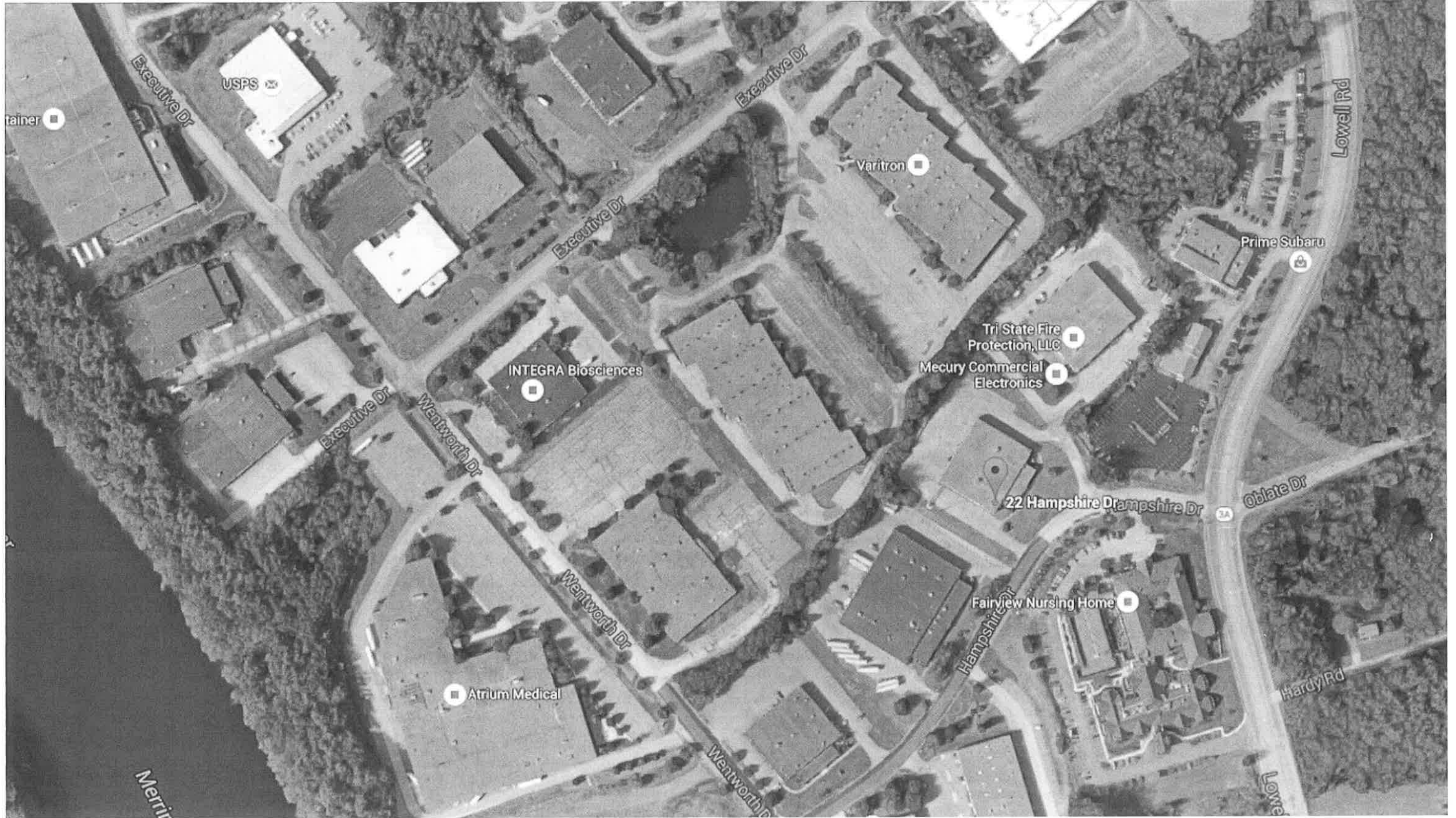


At this location

The Switch
Manufacturer · Hampshire Dr

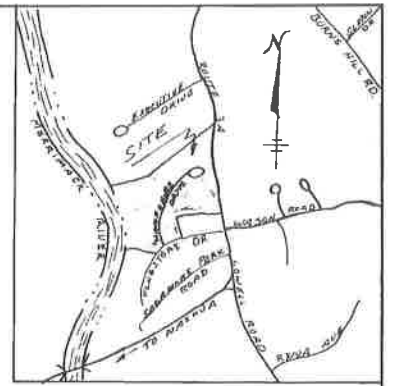
"A" cont

Google Maps 22 Hampshire Dr



LOT 13 / MAP 10
 JOHN P. STABILE II
 RIVERVIEW INDUSTRIAL PARK
 1702 WELLMAN AVENUE - NASHUA, N.H.
 N 31°11'22"E

LOT 11-3-MAP 10
 2.486 ACRES



LOCATION MAP

PLAN REFERENCES:

1. CONSOLIDATION & SUBDIVISION PLAN, LOWELL ROAD, HUDSON, N.H., FOR C. Q. NASH & S. A. TAMPOSI, DATED DEC 1980 BY A.E. MAYNARD CIVIL ENGINEER, APPROVED BY HUDSON PL. BD. MAR 2, 1981, H.C.R.D. # 13870
2. SITE PLAN, LOT 11-A, HAMPSHIRE DRIVE, HUDSON, N.H., FOR S. A. TAMPOSI, DATED JAN 1981, BY A.E. MAYNARD CIVIL ENGINEER, APPROVED BY HUDSON PLANNING BOARD AUG 26, 1981, H.C.R.D. # 14327

NOTES:

1. PRESET ZONING - "C" INDUSTRIAL
2. PROPOSED USE - INDUSTRIAL
3. TOTAL AREA OF LOT - 2.486 ACRES
4. TOTAL AREA OF BLDG. - 23,400 S.F.
5. AREA OF OPEN SPACE 10,050 S.F. OR 37%
6. SOIL TYPE ACCORDING TO U.S.D.A. S.C.S. MAP 83 "5-B" SCITUATE FINE SANDY LOAM
7. EXIST. ELEV. - 172 - PROP. ELEV. - 172
8. INDICATES TRAFFIC FLOW
9. SURFACE DRAINAGE FLOW
10. MAP 10, LOT 11-3
11. SEPTIC SYSTEM APPROVAL # 91887, DATED 2/23/81
12. PARKING: OFFICE: 1,500^{sq}, 3,000^{sq} - 10 SPACES
 INDUSTRIAL: 115 EMP, 60 EMP - 20 SPACES
 TOTAL REQUIRED 30 SPACES
 TOTAL PROVIDED 69 SPACES
13. 1200 PIPES TO BE SET AT CORNERS BY SURVEYOR
14. SIGN: 56 S.F. (SEE SIGN DETAIL)
15. HEIGHT OF BLDG. - APPROX 20'
16. 100 YR FLOOD LEVEL APPROX EL 112.5', AS SHOWN ON NASHUA (HUD) FLOOD INSURANCE MAP
17. TRAFFIC / DRIVEWAY PATTERN PER HUDSON PLANNING BOARD REQ'TS. PER APPROVED SITE PLAN - LOT 11-A SEE PLAN REF #2

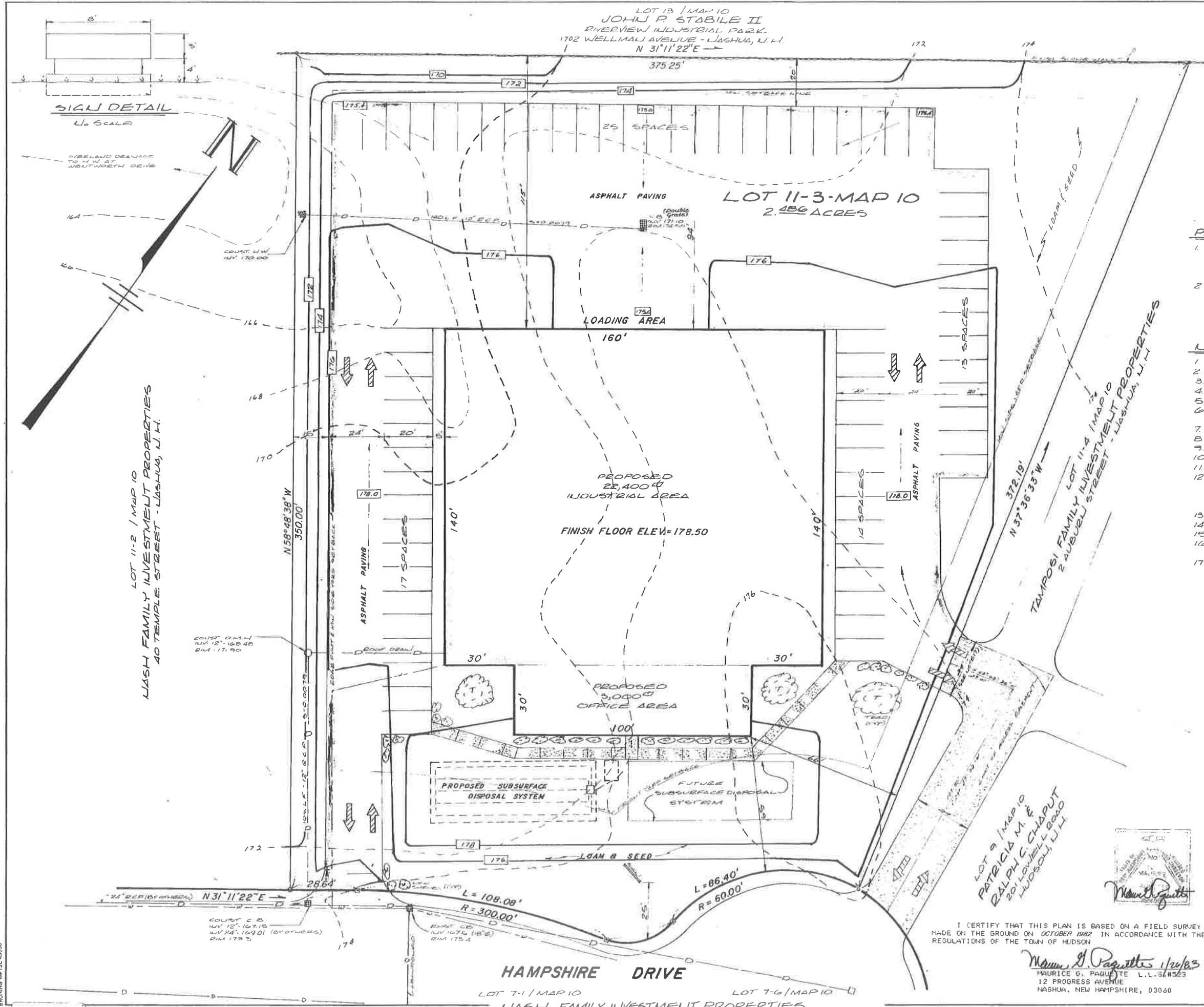
APPROVED BY TOWN OF HUDSON PLANNING BOARD
 CHAIRMAN: Paul E. Adair DATE: 1-26-83
 SECRETARY: Marilyn E. [Signature] DATE: 1-26-83
 OWNER: Q. PETER NASH DATE: 1-26-83
 NASH FAMILY INVESTMENT PROPERTIES
 40 TEMPLE STREET - NASHUA, N.H.

SITE PLAN - MAP 10 - LOT 11-3
HAMPSHIRE DRIVE
HUDSON, N. H.
 PREPARED FOR
NASH FAMILY INVESTMENT PROPERTIES
 40 TEMPLE STREET - NASHUA, N.H.
 SCALE: 1" = 20'
 NOVEMBER, 1982
 REV. 1/10/83 - DRAWN BY EARL OF BLDG. - EWB

I CERTIFY THAT THIS PLAN IS BASED ON A FIELD SURVEY MADE ON THE GROUND ON OCTOBER 1982 IN ACCORDANCE WITH THE REGULATIONS OF THE TOWN OF HUDSON

Maurice G. Paquette 11/10/82
 MAURICE G. PAQUETTE L.L.S. 31523
 12 PROGRESS AVENUE
 NASHUA, NEW HAMPSHIRE, 03060

MAYNARD & PAQUETTE INC.
 CONSULTING ENGINEERS & LAND SURVEYORS
 12 PROGRESS AVENUE - NASHUA, N.H. 03062 - (603) 883 8384



LOT 11-2 / MAP 10
 NASH FAMILY INVESTMENT PROPERTIES
 40 TEMPLE STREET - NASHUA, N.H.

LOT 9 / MAP 10
 PATRICIA M. &
 RALPH C. CHAPUT
 HUDSON, N.H.

HAMPSHIRE DRIVE
 LOT 7-1 / MAP 10
 NASH FAMILY INVESTMENT PROPERTIES
 40 TEMPLE STREET - NASHUA, N.H.

S.P.241

S.P.241

HCRD # 15420

BRUNING 44-132-00030