

SCALE: 1" = 1,500'

SEE SHEET 2 FOR GENERAL NOTES, REFERENCE PLANS & LOT AREA TABLE

SEE SHEET 20 FOR SITE SPECIFIC SOIL MAP UNIT KEY, SCS SOILS LEGEND & OPEN SPACE/CONSERVATION SUBDIVISION NOTES

LEGEND

- TP # TEST PIT
- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- EXISTING WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- PROPOSED WELL
- ABUTTER LINE
- EXISTING PROPERTY LINE
- STREAM
- WETLAND
- STOCKADE FENCE
- BARBED WIRE FENCE
- GUARDRAIL
- DHU OVERHEAD UTILITIES
- DRAINAGE LINE
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- SCS SOIL LINE
- SITE SPECIFIC SOIL LINE
- BUILDING SETBACK
- EXISTING EASEMENT
- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT
- EXISTING PROPERTY LINE TO BE EXTINGUISHED
- BEAVER DAM



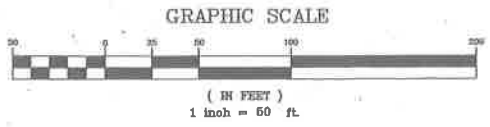
TOPOGRAPHIC SUBDIVISION PLAN

EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
 MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24 MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7 GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND, THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.



PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



THIS DETAILED SITE-SPECIFIC SOIL MAP WAS PERFORMED ON NOVEMBER 8, 2013 BY GOVE ENVIRONMENTAL SERVICES, INC. IN EXETER, NEW HAMPSHIRE AND CONFORMS TO THE STANDARDS OF SSSSHE PUBLICATION NO. 3, AS AMENDED, "SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT."

NAME _____ CERTIFIED SOIL SCIENTIST # _____ DATE 11/15

THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL (TECHNICAL REPORT Y-87-1)

WETLAND DELINEATION PREPARED BY:

NAME _____ CERTIFIED WETLAND SCIENTIST # _____ DATE 2/15

THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION BETWEEN MAP 2011 AND NOVEMBER 2013 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS A STANDARD URBAN PROPERTY SURVEY AS DEFINED IN THE STATE OF NEW HAMPSHIRE ADMINISTRATIVE RULES GOVERNING LAND SURVEYS (LAN 503).

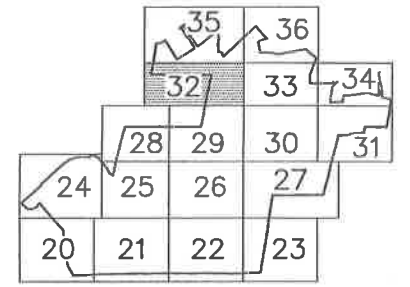
DATE 1/2/15



REVISIONS

No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: 1" = 50'
 PROJECT NO: 11-0202-1 SHEET 31 OF 102



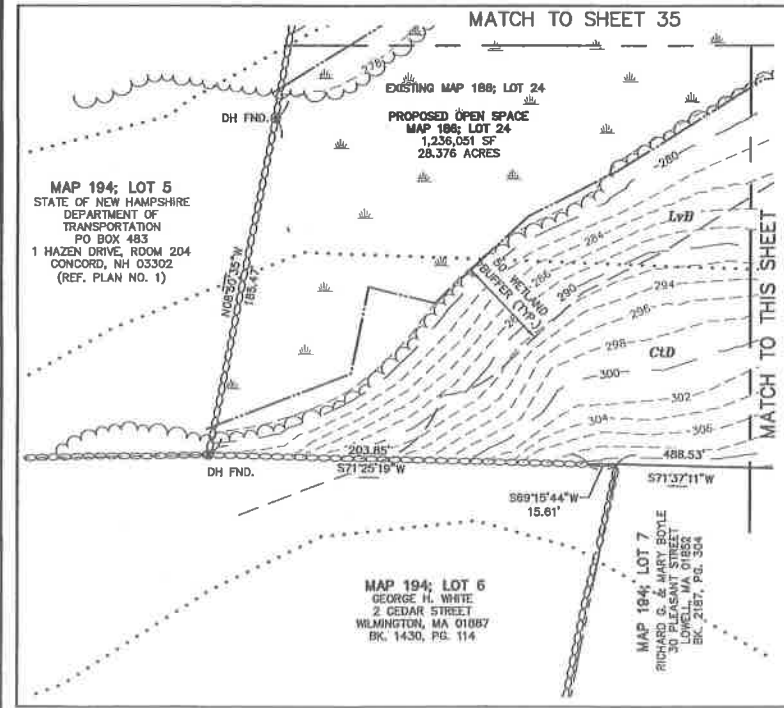
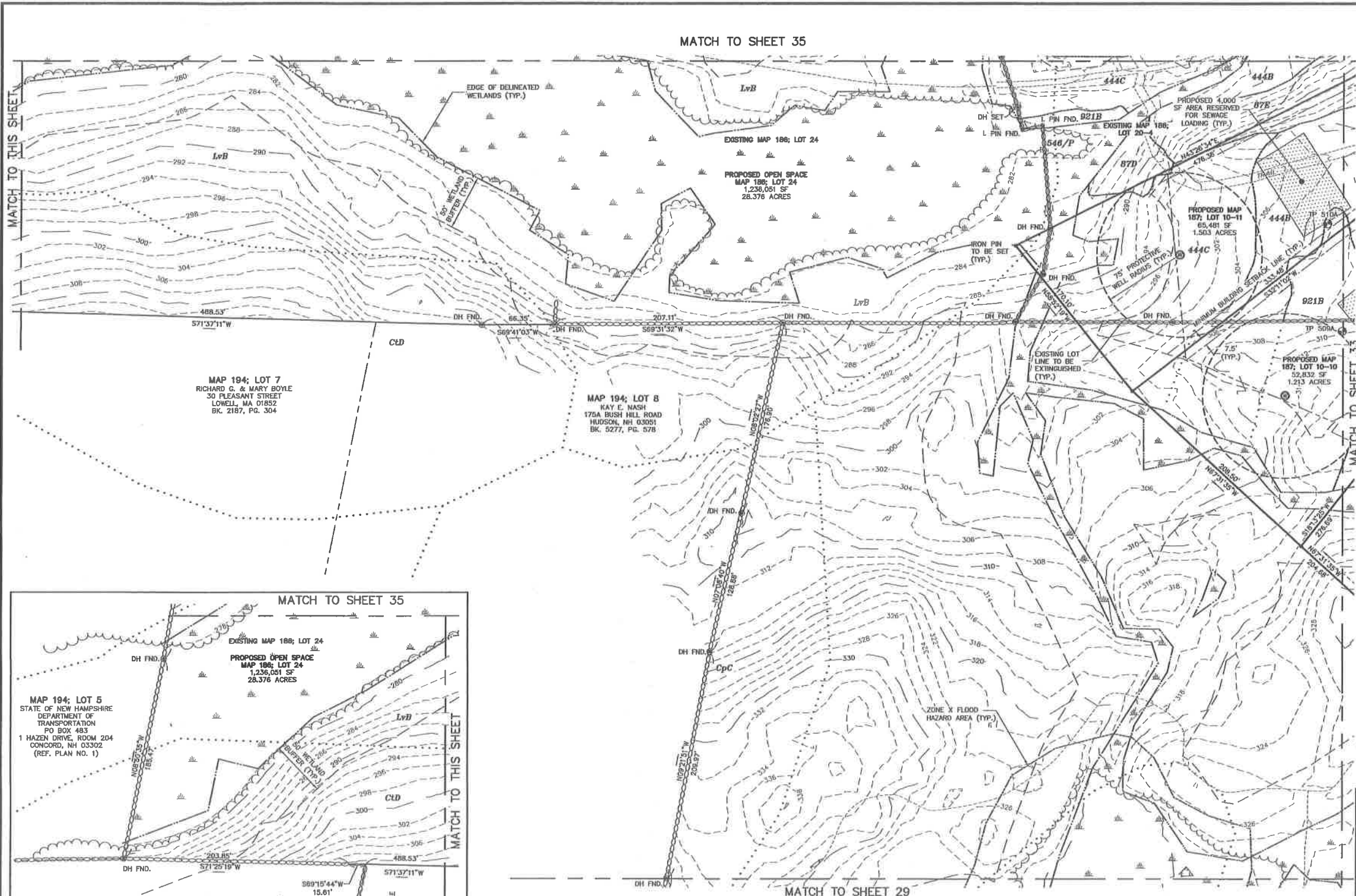
KEY PLAN
SCALE: 1" = 1,500'

SEE SHEET 2 FOR GENERAL NOTES, REFERENCE PLANS & LOT AREA TABLE

SEE SHEET 20 FOR SITE SPECIFIC SOIL MAP UNIT KEY, SCS SOILS LEGEND & OPEN SPACE/CONSERVATION SUBDIVISION NOTES

LEGEND

- TP # TEST PIT
- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- EXISTING WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- PROPOSED WELL
- ABUTTER LINE
- EXISTING PROPERTY LINE
- STREAM
- WETLAND
- STOCKADE FENCE
- BARBED WIRE FENCE
- GUARDRAIL
- OHU OVERHEAD UTILITIES
- DRAINAGE LINE
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- SCS SOIL LINE
- SITE SPECIFIC SOIL LINE
- BUILDING SETBACK
- EXISTING EASEMENT
- ZONE X FLOOD HAZARD AREA
- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT
- EXISTING PROPERTY LINE TO BE EXTINGUISHED
- BEAVER DAM

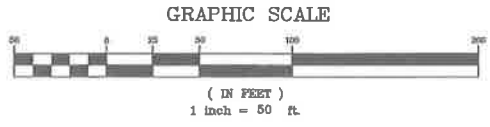


TOPOGRAPHIC SUBDIVISION PLAN
EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24 STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION PO BOX 483 1 HAZEN DRIVE, ROOM 204 CONCORD, NH 03302 (REF. PLAN NO. 1)	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7 GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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NPDES NOTE

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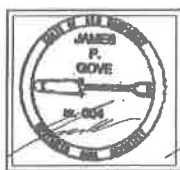
PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

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NAME _____ CERTIFIED SOIL SCIENTIST # _____ DATE _____

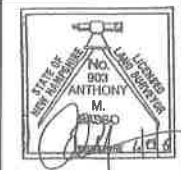
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WETLAND DELINEATION PREPARED BY: _____

NAME _____ CERTIFIED WETLAND SCIENTIST # _____ DATE _____

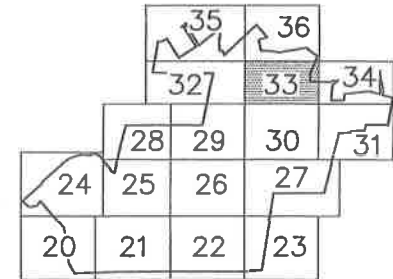
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DATE: _____



REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JOM
2	06/18/15	REVISED PER TOWN COMMENTS	JOM

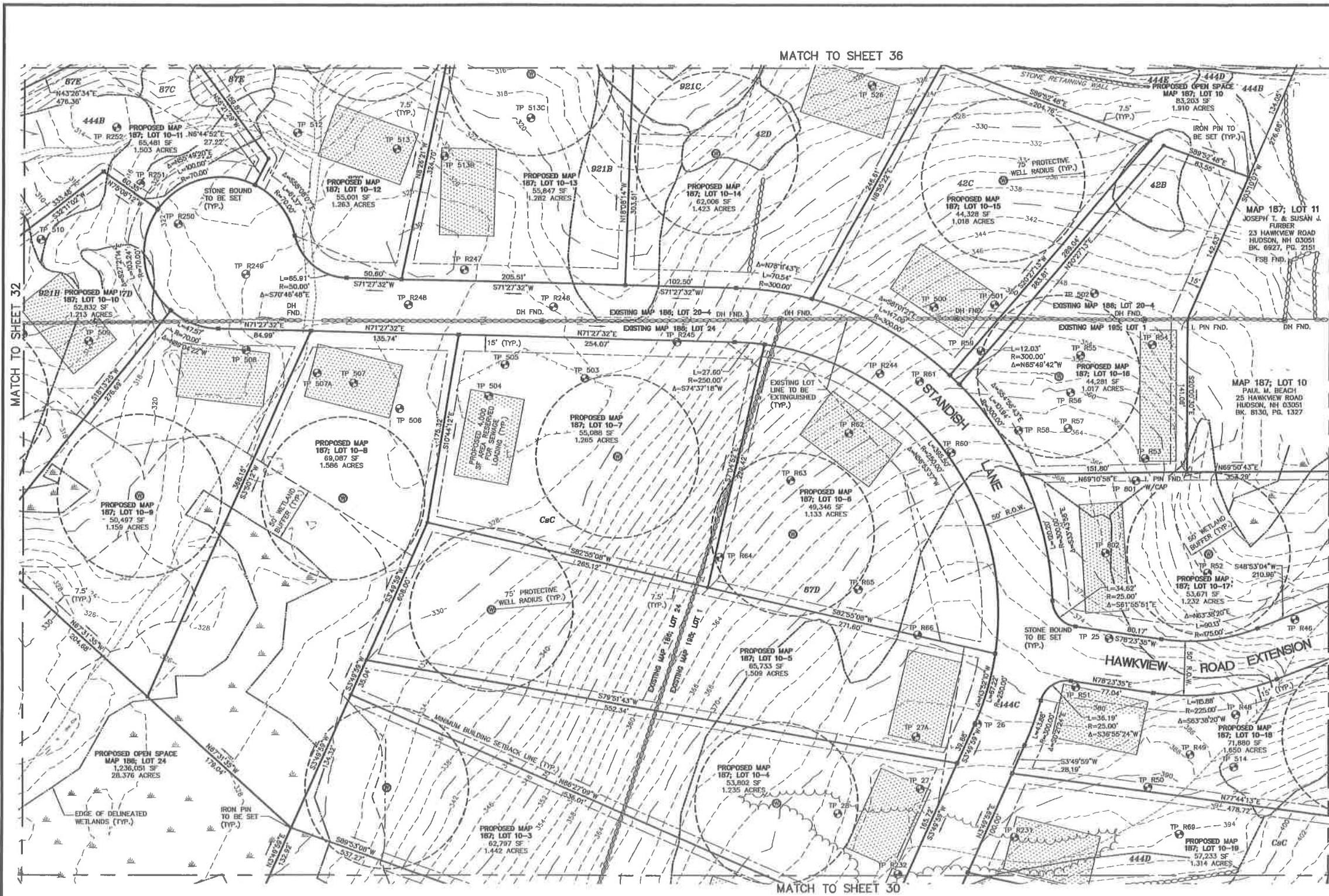
DATE: JANUARY 7, 2015 SCALE: 1" = 50'
PROJECT NO: 11-0202-1 SHEET 32 OF 102



KEY PLAN
SCALE: 1" = 1,500'

SEE SHEET 2 FOR GENERAL NOTES, REFERENCE PLANS & LOT AREA TABLE

SEE SHEET 20 FOR SITE SPECIFIC SOIL MAP UNIT KEY, SCS SOILS LEGEND & OPEN SPACE/CONSERVATION SUBDIVISION NOTES



MATCH TO SHEET 32

MATCH TO SHEET 34

MATCH TO SHEET 36

MATCH TO SHEET 30

LEGEND

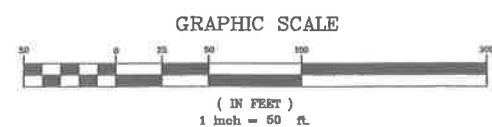
- TP # TEST PIT
- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- EXISTING WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- PROPOSED WELL
- ABUTTER LINE
- EXISTING PROPERTY LINE
- STREAM
- WETLAND
- STOCKADE FENCE
- BARBED WIRE FENCE
- GUARDRAIL
- OHU OVERHEAD UTILITIES
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- EDGE OF PAVEMENT
- EDGE OF GRAVEL
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- 2' CONTOUR
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- SCS SOIL LINE
- SITE SPECIFIC SOIL LINE
- BUILDING SETBACK
- EXISTING EASEMENT
- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT
- EXISTING PROPERTY LINE TO BE EXTINGUISHED
- BEAVER DAM



TOPOGRAPHIC SUBDIVISION PLAN

EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
 MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, LOT 20-4 EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7 GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD BERRY ROAD HUDSON, NH 03051
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NPDES NOTE

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APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

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LUKE RURLEY
 No. 232
 CERTIFIED WETLAND SOCIETY

THIS DETAILED SITE-SPECIFIC SOIL MAP WAS PERFORMED ON NOVEMBER 8, 2013 BY GOVE ENVIRONMENTAL SERVICES, INC. IN EXETER, NEW HAMPSHIRE AND CONFORMS TO THE STANDARDS OF SSSNIE PUBLICATION NO. 3, AS AMENDED, "SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT."

SIGNATURE _____ DATE 2/15

NAME _____ CERTIFIED SOIL SCIENTIST # _____ DATE _____

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WETLAND DELINEATION PREPARED BY:

SIGNATURE _____ DATE 2/15

NAME _____ CERTIFIED WETLAND SCIENTIST # _____ DATE _____

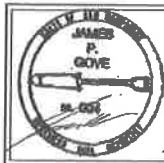
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SIGNATURE _____ DATE 1/15

REVISIONS

No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JGM
2	06/18/15	REVISED PER TOWN COMMENTS	JGM

DATE: JANUARY 7, 2015 SCALE: 1" = 50'
 PROJECT NO: 11-0202-1 SHEET 33 OF 102



THIS DETAILED SITE-SPECIFIC SOIL MAP WAS PERFORMED ON NOVEMBER 8, 2015 BY GOVE ENVIRONMENTAL SERVICES, INC. IN EXETER, NEW HAMPSHIRE AND CONFORMS TO THE STANDARDS OF SSSNIE PUBLICATION NO. 3, AS AMENDED, "SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT."

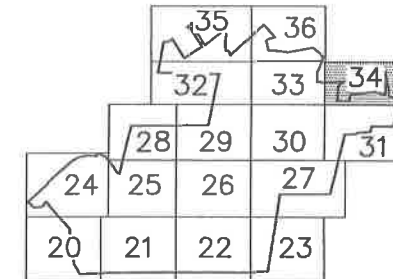
NAME: _____ CERTIFIED SOIL SCIENTIST # _____ DATE: 11/8/15

NPDES NOTE

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SEE SHEET 2 FOR GENERAL NOTES, REFERENCE PLANS & LOT AREA TABLE

SEE SHEET 20 FOR SITE SPECIFIC SOIL MAP UNIT KEY, SCS SOILS LEGEND & OPEN SPACE/CONSERVATION SUBDIVISION NOTES

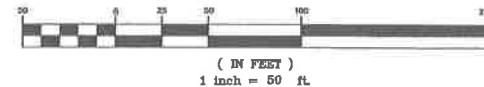


KEY PLAN
SCALE: 1" = 1,500'

LEGEND

- TP #
- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- EXISTING WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- PROPOSED WELL
- ABUTTER LINE
- EXISTING PROPERTY LINE
- STREAM
- WETLAND
- STOCKADE FENCE
- BARBED WIRE FENCE
- GUARDRAIL
- OVERHEAD UTILITIES
- DRAINAGE LINE
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- SCS SOIL LINE
- SITE SPECIFIC SOIL LINE
- BUILDING SETBACK
- EXISTING EASEMENT
- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT
- EXISTING PROPERTY LINE TO BE EXTINGUISHED
- BEAVER DAM

GRAPHIC SCALE



TOPOGRAPHIC SUBDIVISION PLAN

EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

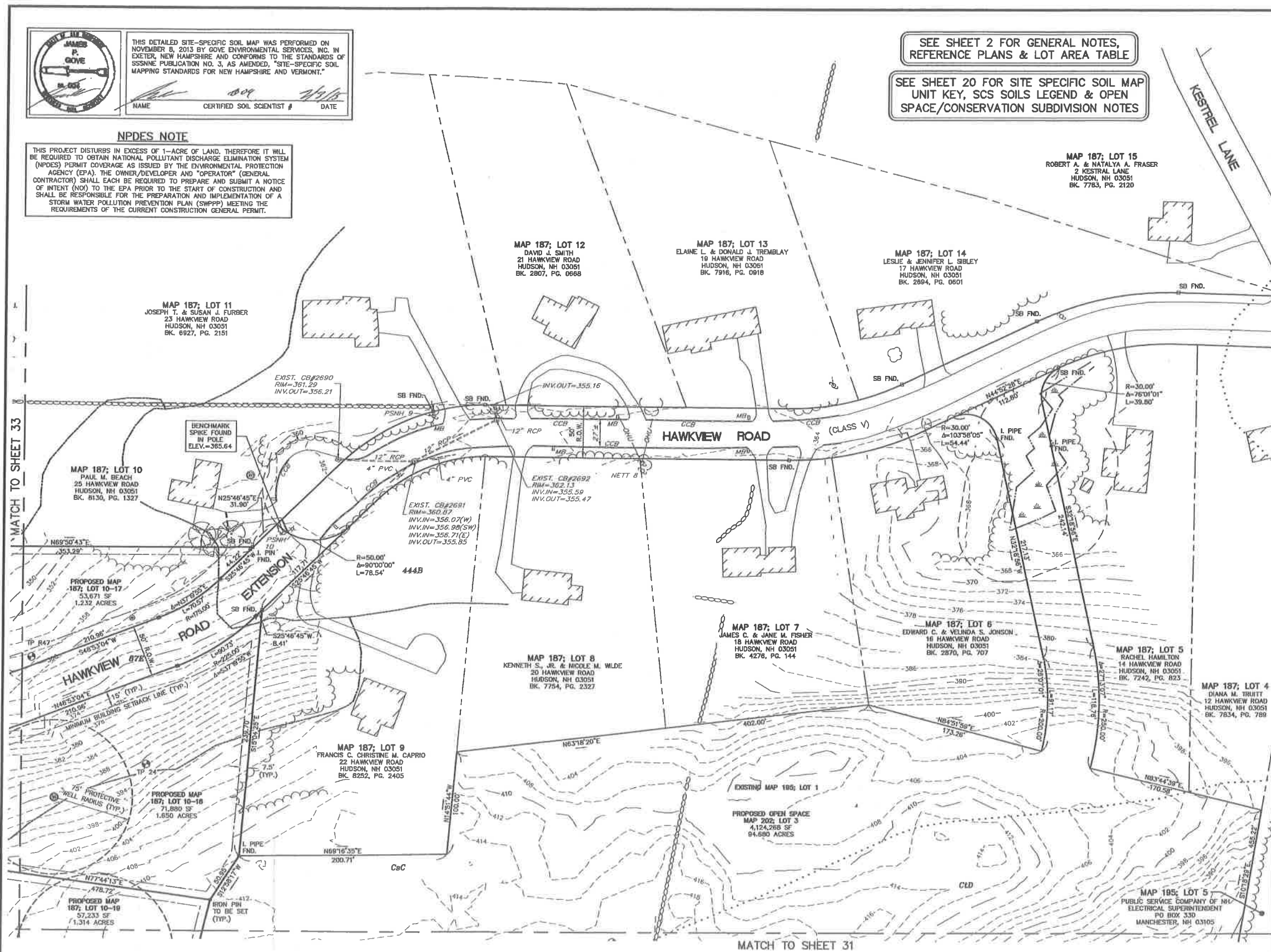
OWNER OF MAP 186; LOT 24: MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC, 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4: KELLY A. TRUDEL, 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENISE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: 1" = 50'
PROJECT NO: 11-0202-1 SHEET 34 OF 102



PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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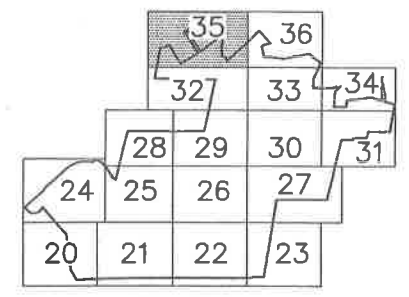
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WETLAND DELINEATION PREPARED BY: _____

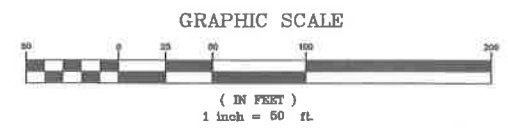
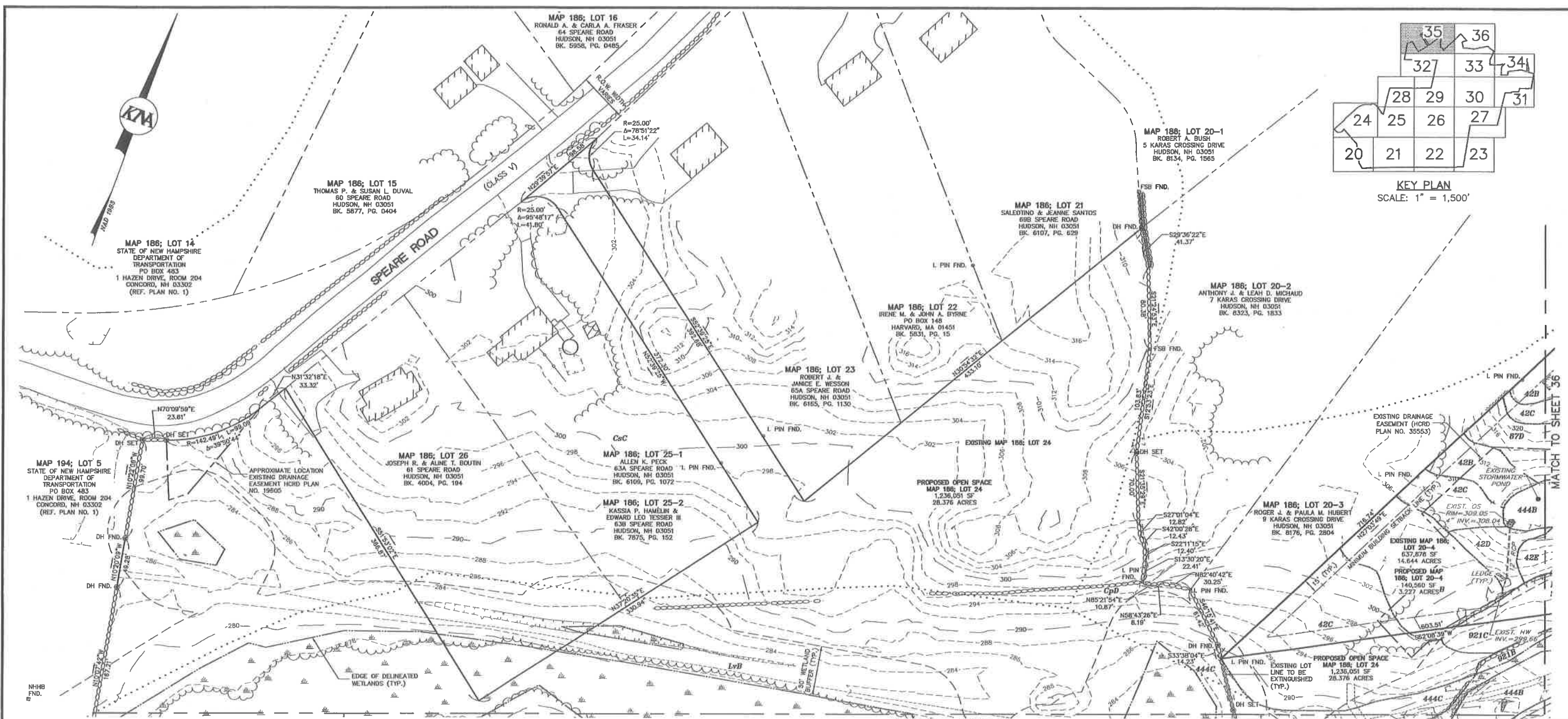
NAME: _____ CERTIFIED WETLAND SCIENTIST # _____ DATE: 2/15/15

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DATE: 1/7/15



KEY PLAN
SCALE: 1" = 1,500'



NPDES NOTE

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LEGEND

TP #	TEST PIT	ABUTTER LINE
●	STONE BOUND FOUND	EXISTING PROPERTY LINE
○	IRON PIN FOUND	STREAM
⊙	DRILL HOLE	WETLAND
⊕	UTILITY POLE	STOCKADE FENCE
⊖	SIGN	BARBED WIRE FENCE
⊗	EXISTING WELL	GUARDRAIL
⊘	DRAINAGE MANHOLE	OVERHEAD UTILITIES
⊙	CATCH BASIN	CHU
⊙	STONE BOUND TO BE SET	DRAINAGE LINE
⊙	IRON PIN TO BE SET	TREELINE
⊙	PROPOSED WELL	RETAINING WALL
		EDGE OF PAVEMENT
		EDGE OF GRAVEL
		10' CONTOUR
		2' CONTOUR
		STONEWALL
		SCS SOIL LINE
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		BEAVER DAM

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NAME: _____ CERTIFIED SOIL SCIENTIST # _____ DATE: _____

THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL (TECHNICAL REPORT Y-87-1)

WETLAND DELINEATION PREPARED BY: _____

NAME: _____ CERTIFIED WETLAND SCIENTIST # _____ DATE: _____

THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION BETWEEN MAP 2011 AND NOVEMBER 2013 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS A STANDARD URBAN PROPERTY SURVEY AS DEFINED IN THE STATE OF NEW HAMPSHIRE ADMINISTRATIVE RULES GOVERNING LAND SURVEYS (LAW 503).

DATE: _____

TOPOGRAPHIC SUBDIVISION PLAN

EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24: LOT 20-4
MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC, 21 CENTINENTAL BOULEVARD MERRIMACK, NH 03054

OWNER OF MAP 186; LOT 20-4: KELLY A. TRUDEL, 11 KARAS CROSSING DRIVE HUDSON, NH 03051

OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST, MARIO & DENISE PLANTE, TRUSTEES, 9 OLD DERRY ROAD HUDSON, NH 03051

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 8B, Bedford, NH 03110 Phone (603) 687-2881

REVISIONS		
No.	DATE	DESCRIPTION
1	04/29/15	REVISED PER TOWN & DES COMMENTS
2	06/18/15	REVISED PER TOWN COMMENTS

DATE: JANUARY 7, 2015 SCALE: 1" = 50'
PROJECT NO: 11-0202-1 SHEET 35 OF 102

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

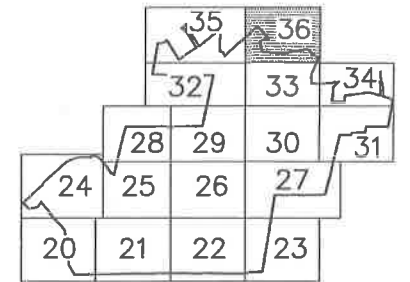
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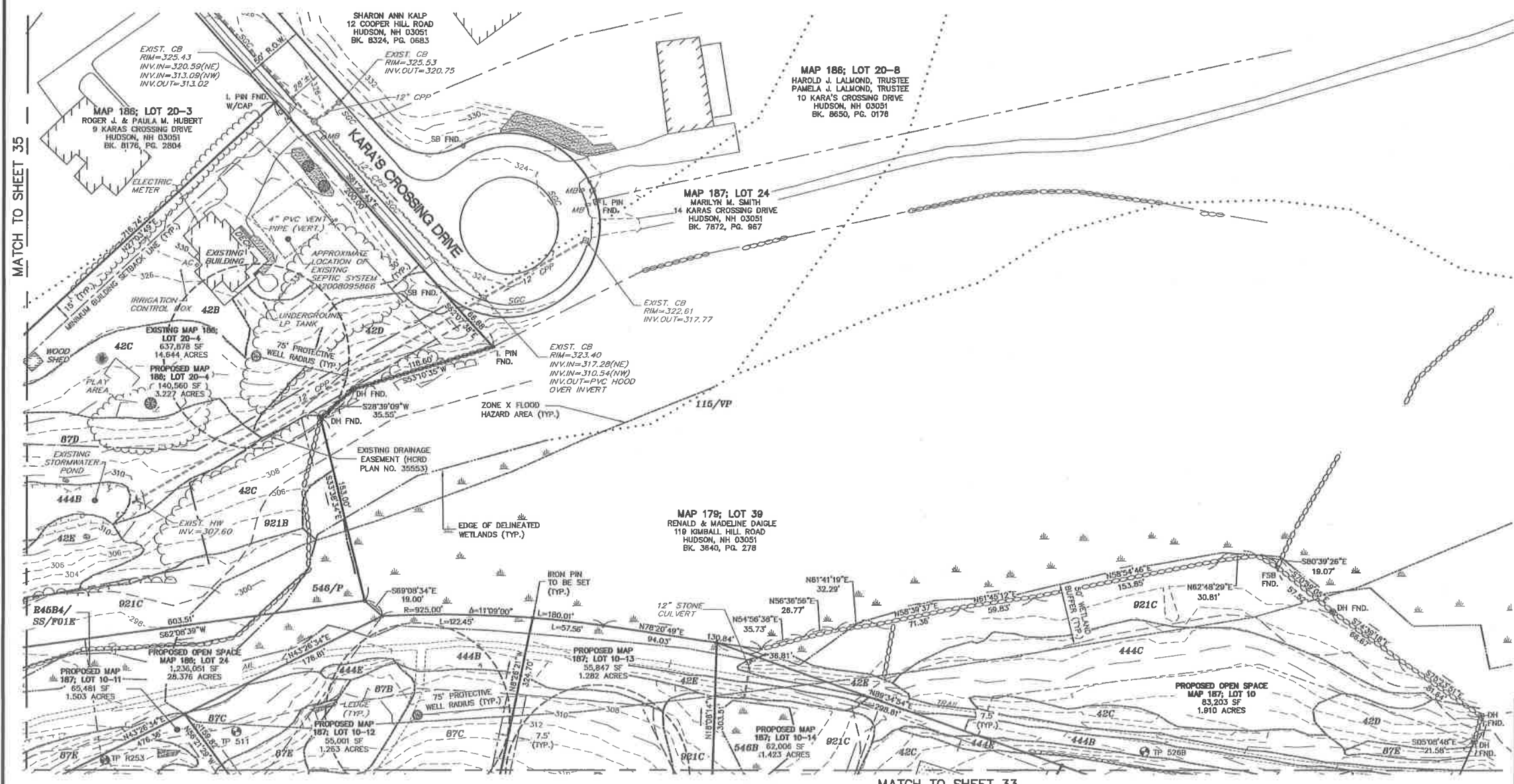
SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

SEE SHEET 2 FOR GENERAL NOTES,
REFERENCE PLANS & LOT AREA TABLE

SEE SHEET 20 FOR SITE SPECIFIC SOIL MAP
UNIT KEY, SCS SOILS LEGEND & OPEN
SPACE/CONSERVATION SUBDIVISION NOTES



KEY PLAN
SCALE: 1" = 1,500'



MATCH TO SHEET 35

MATCH TO SHEET 33

LEGEND

- TP # TEST PIT
- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- EXISTING WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- PROPOSED WELL
- ABUTTER LINE
- EXISTING PROPERTY LINE
- STREAM
- WETLAND
- STOCKADE FENCE
- BARBED WIRE FENCE
- GUARDRAIL
- OHU OVERHEAD UTILITIES
- DRAINAGE LINE
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- SCS SOIL LINE
- SITE SPECIFIC SOIL LINE
- BUILDING SETBACK
- EXISTING EASEMENT
- ZONE X FLOOD HAZARD AREA
- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT
- EXISTING PROPERTY LINE TO BE EXTINGUISHED
- BEAVER DAM



TOPOGRAPHIC SUBDIVISION PLAN

EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

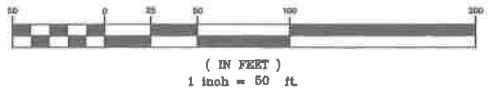
OWNER OF MAP 186; LOT 24 MAP 186; LOT 24 ROGER J. & PAULA M. HUBERT HUDSON, NH 03051 BK. 8176, PG. 2804	OWNER OF MAP 186; LOT 20-4 LOT 20-4 HAROLD J. LALMOND, TRUSTEE PAMELA J. LALMOND, TRUSTEE 10 KARAS CROSSING DRIVE HUDSON, NH 03051 BK. 8650, PG. 0178	OWNER OF MAP 201; LOT 7 LOT 7 GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE FLANTIE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
--	--	---

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NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND. THEREFORE, IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.

GRAPHIC SCALE



PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

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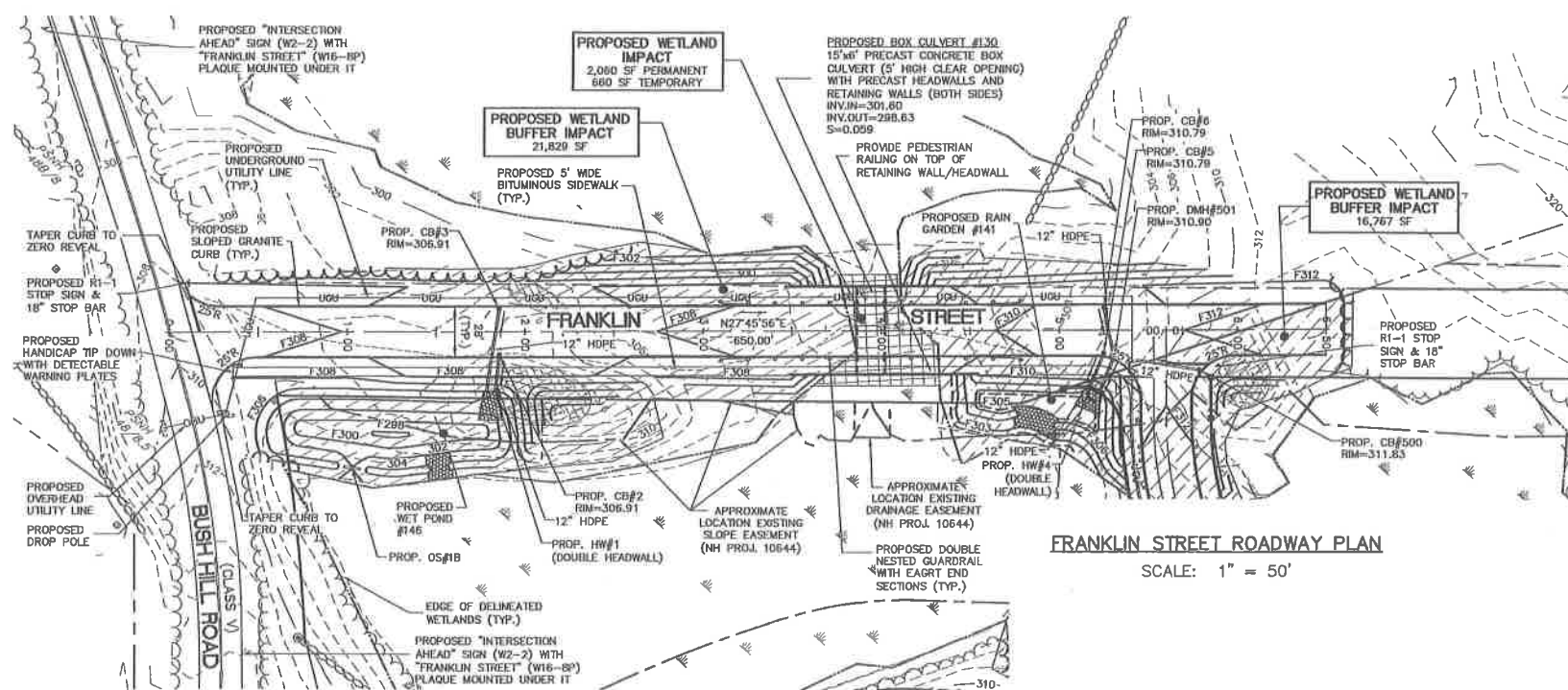
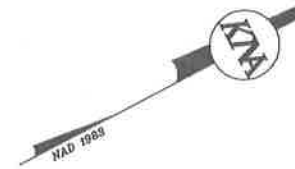
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DATE: _____



REVISIONS			
No.	DATE	DESCRIPTION	BY
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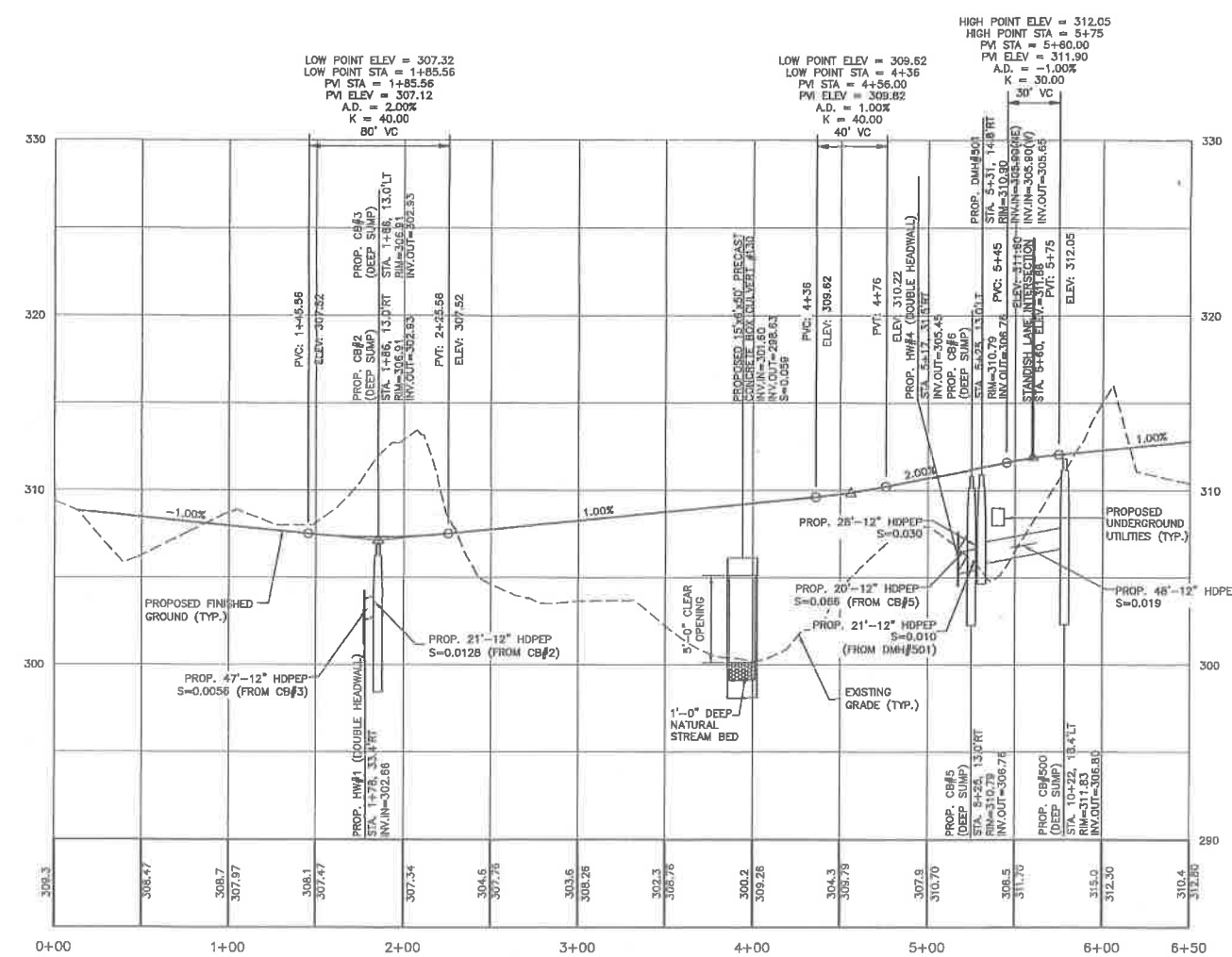
DATE: JANUARY 7, 2015
PROJECT NO: 11-0202-1
SCALE: 1" = 50'
SHEET 36 OF 102



FRANKLIN STREET ROADWAY PLAN
SCALE: 1" = 50'

LEGEND

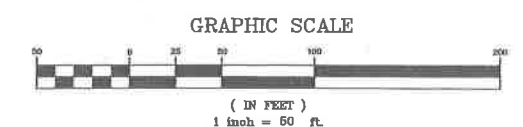
- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- PROPOSED UTILITY POLE
- PROPOSED SIGN
- PROPOSED WELL
- PROPOSED DRAINAGE MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED OUTLET STRUCTURE
- PROPOSED END SECTION
- ABUTTER LINE
- EXISTING PROPERTY LINE
- STREAM
- WETLAND
- STOCKADE FENCE
- BARBED WIRE FENCE
- GUARDRAIL
- OVERHEAD UTILITIES
- DRAINAGE LINE
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- 10' CONTOUR
- 2' CONTOUR
- STONEMALL
- BUILDING SETBACK
- EXISTING EASEMENT
- PROPOSED PROPERTY LINE
- PROPOSED CHAINLINK FENCE
- PROPOSED GUARDRAIL
- PROPOSED OVERHEAD UTILITIES
- PROPOSED UNDERGROUND UTILITIES
- PROPOSED DRAINAGE LINE
- PROPOSED TREELINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED SLOPED GRANITE CURB
- PROPOSED 2' CONTOUR
- PROPOSED RETAINING WALL
- PROPOSED EASEMENT



FRANKLIN STREET ROADWAY PROFILE
SCALE: 1" = 50' (HORIZ.)
1" = 5' (VERT.)

- CONSTRUCTION NOTES:**
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, HIGHWAY DEPARTMENT, HUDSON, NEW HAMPSHIRE.
 - CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND PROPER DISPOSAL OF ONSITE STUMPS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIO SAFE" AT 811, AT LEAST 72 HOURS BEFORE DIGGING.
 - ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - CONSTRUCTION OF BOX CULVERT TO BE COMPLETED DURING LOW FLOWS.
 - PROVIDE 6" PERFORATED UNDERDRAIN AS SHOWN.
 - ALL HEADWALLS/RETAINING WALLS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF NEW HAMPSHIRE.

- LOAM & SEED ALL DISTURBED AREAS (TYP.)
- SEE GRADING, DRAINAGE AND EROSION CONTROL PLANS FOR DETAILED POND INFORMATION
- SEE SHEET 38 FOR CONNECTION TO STANDISH LANE



ROADWAY PLAN AND PROFILE
FRANKLIN STREET
EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

<p>OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054</p>	<p>OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051</p>	<p>OWNER OF MAP 201; LOT 7; LOT 1 GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051</p>
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KM KEACH-NORDSTROM ASSOCIATES, INC.
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1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
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DATE: JANUARY 7, 2015 SCALE: 1" = 50'
PROJECT NO: 11-0202-1 SHEET 37 OF 102

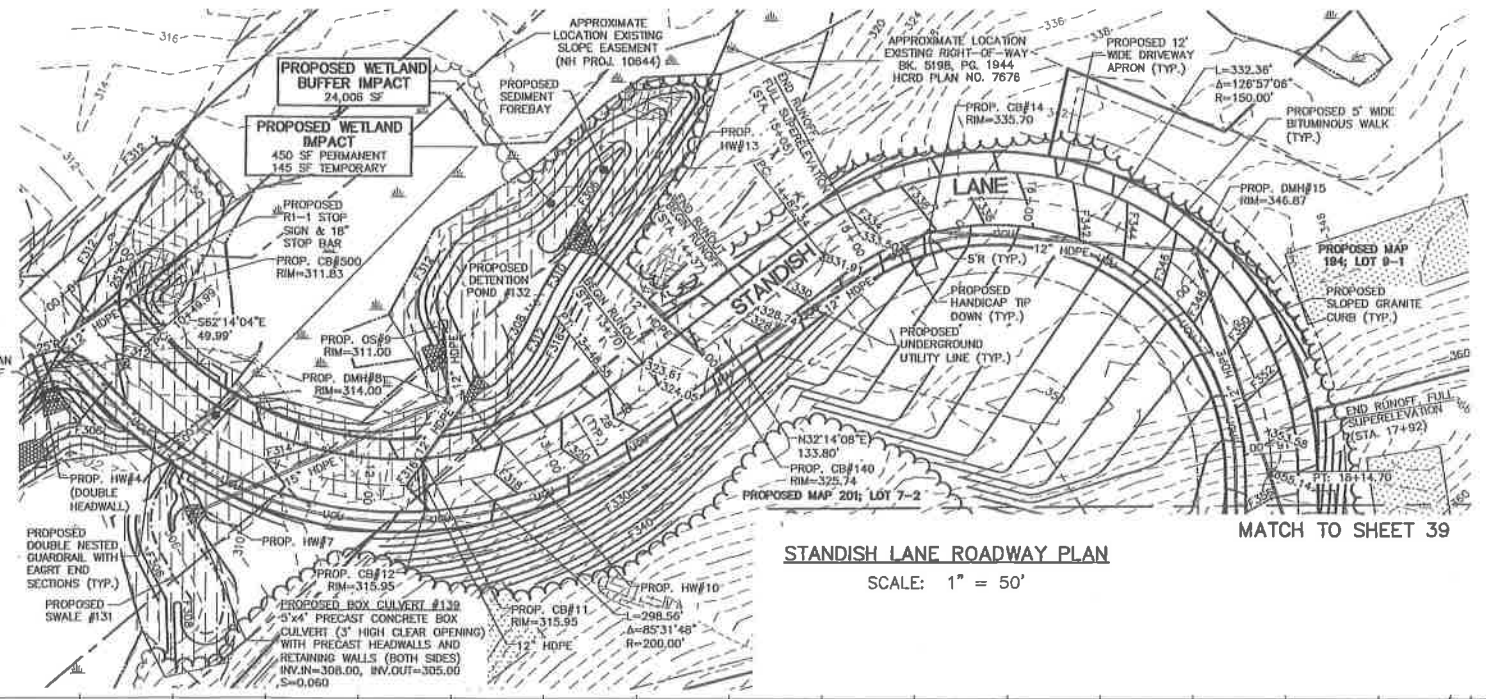
SEE SHEET 37 FOR CONSTRUCTION NOTES

LOAM & SEED ALL DISTURBED AREAS (TYP.)

SEE GRADING, DRAINAGE AND EROSION CONTROL PLANS FOR DETAILED POND INFORMATION

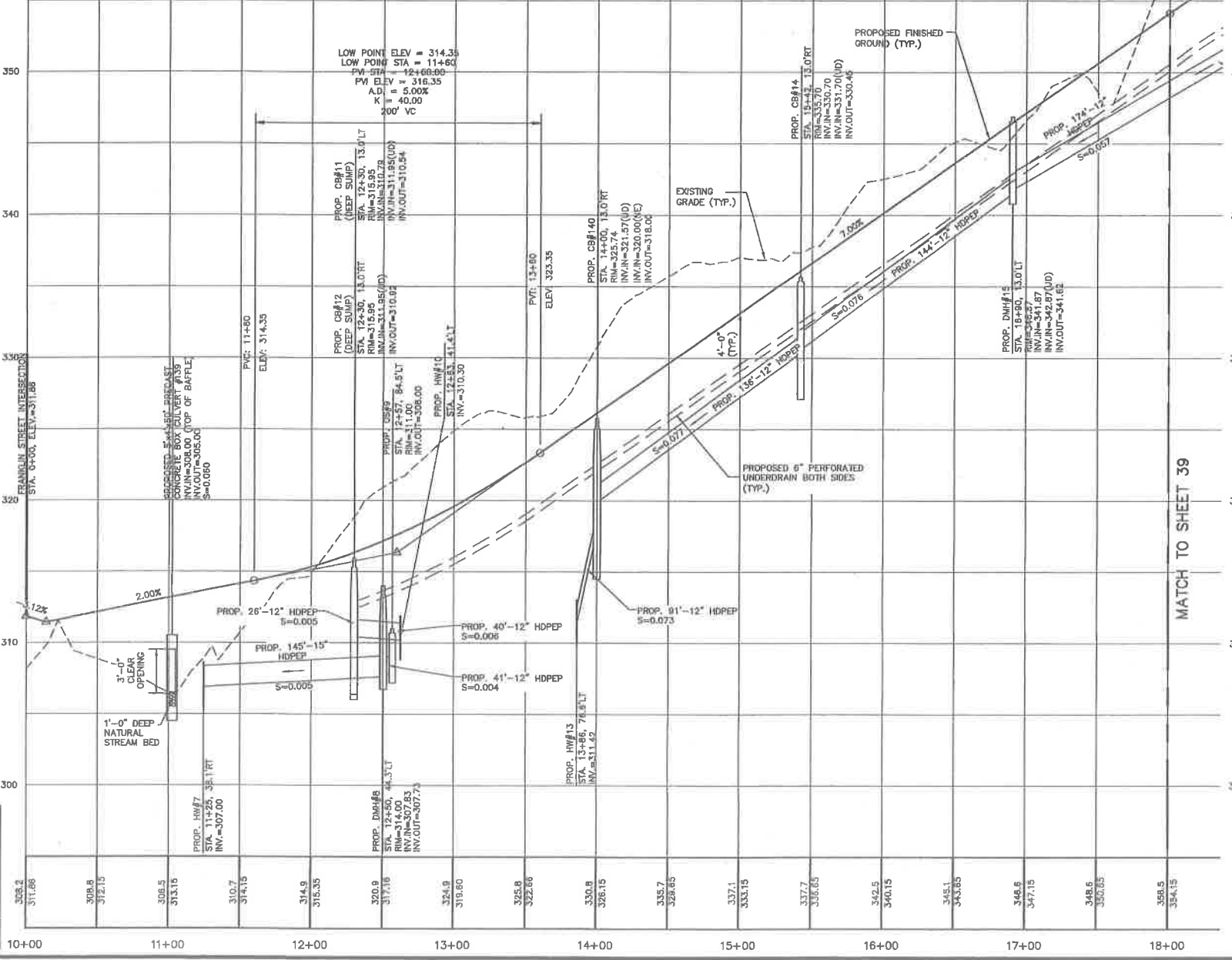


SEE SHEET 37 FOR CONNECTION TO FRANKLIN STREET



STANDISH LANE ROADWAY PLAN
SCALE: 1" = 50'

- LEGEND**
- STONE BOUND FOUND
 - IRON PIN FOUND
 - DRILL HOLE
 - UTILITY POLE
 - SIGN
 - WELL
 - DRAINAGE MANHOLE
 - CATCH BASIN
 - STONE BOUND TO BE SET
 - IRON PIN TO BE SET
 - PROPOSED UTILITY POLE
 - PROPOSED SIGN
 - PROPOSED WELL
 - PROPOSED DRAINAGE MANHOLE
 - PROPOSED CATCH BASIN
 - PROPOSED OUTLET STRUCTURE
 - PROPOSED END SECTION
 - ABUTTER LINE
 - EXISTING PROPERTY LINE
 - STREAM
 - WETLAND
 - STOCKADE FENCE
 - BARBED WIRE FENCE
 - GUARDRAIL
 - OHU
 - OVERHEAD UTILITIES
 - DRAINAGE LINE
 - TREELINE
 - RETAINING WALL
 - EDGE OF PAVEMENT
 - EDGE OF GRAVEL
 - 10' CONTOUR
 - 2' CONTOUR
 - STONEMASS
 - BUILDING SETBACK
 - EXISTING EASEMENT
 - PROPOSED PROPERTY LINE
 - PROPOSED CHAINLINK FENCE
 - PROPOSED GUARDRAIL
 - OHU
 - UGU
 - PROPOSED OVERHEAD UTILITIES
 - PROPOSED UNDERGROUND UTILITIES
 - PROPOSED DRAINAGE LINE
 - PROPOSED TREELINE
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED SLOPED GRANITE CURB
 - PROPOSED 2' CONTOUR
 - PROPOSED RETAINING WALL
 - PROPOSED EASEMENT



STANDISH LANE ROADWAY PROFILE
SCALE: 1" = 50' (HORIZ.)
1" = 5' (VERT.)

DIG SAFE

GRAPHIC SCALE
(IN FEET)
1 inch = 50 ft.

ROADWAY PLAN AND PROFILE
STANDISH LANE (STA. 10+00 TO STA. 18+00)
EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLAMITE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

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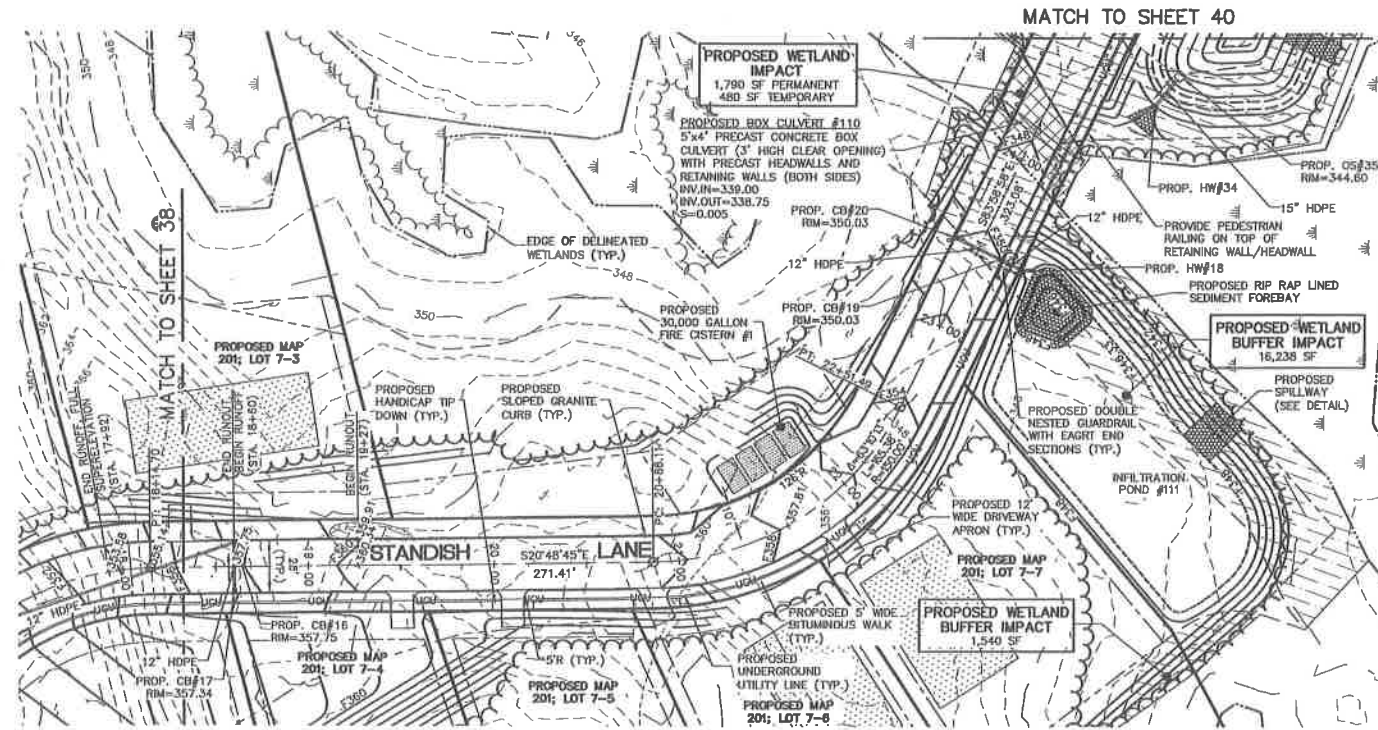
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REVISIONS

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1	04/20/15	REVISED PER TOWN & DES COMMENTS	JOM
2	06/18/15	REVISED PER TOWN COMMENTS	JOM

DATE: JANUARY 7, 2015 SCALE: 1" = 50'
PROJECT NO: 11-0202-1 SHEET 38 OF 102



SEE SHEET 37 FOR CONSTRUCTION NOTES

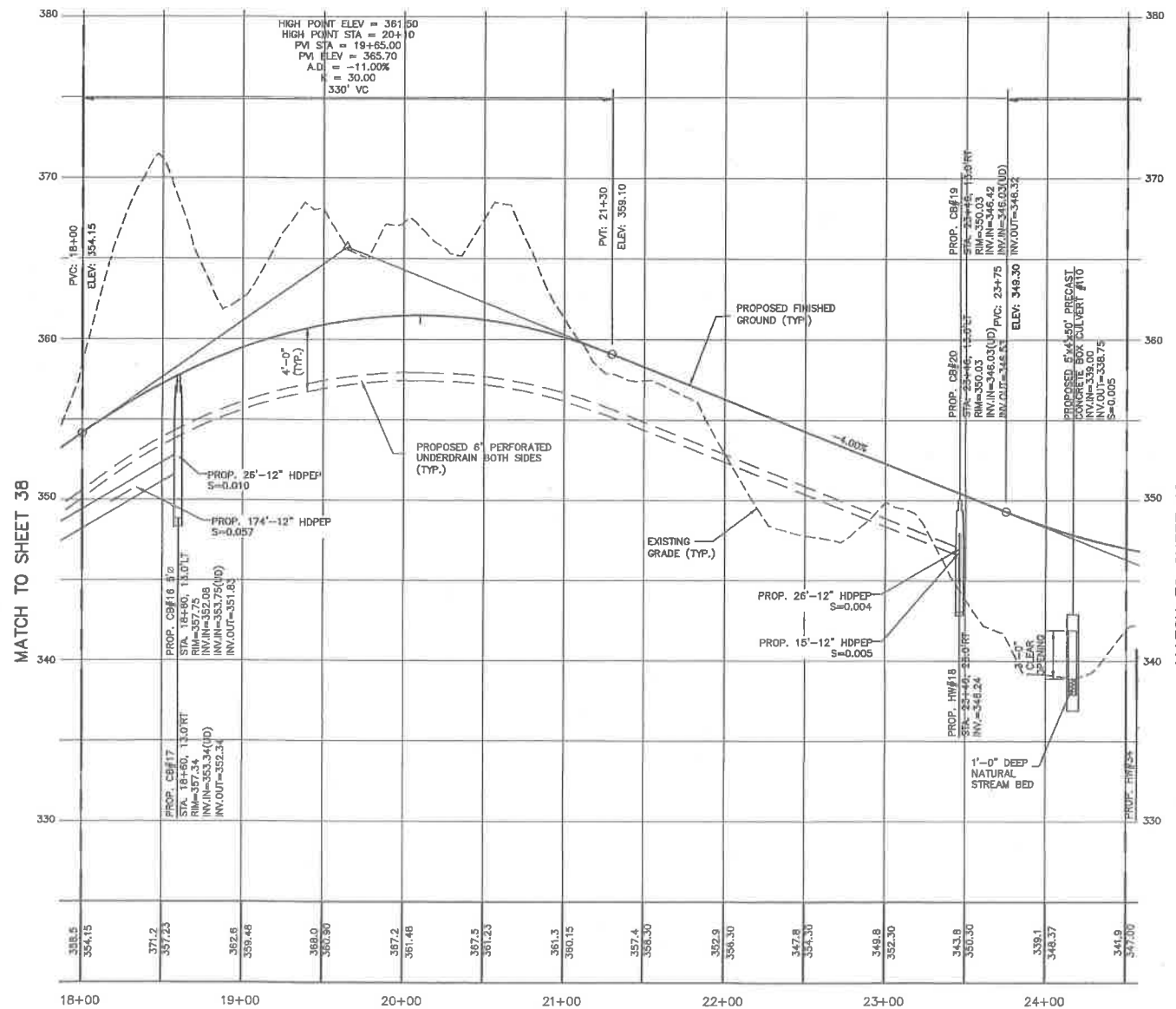
LOAM & SEED ALL DISTURBED AREAS (TYP.)

SEE GRADING, DRAINAGE AND EROSION CONTROL PLANS FOR DETAILED POND INFORMATION

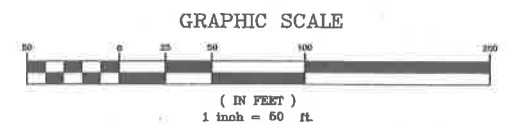
STANDISH LANE ROADWAY PLAN
SCALE: 1" = 50'

LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- PROPOSED UTILITY POLE
- PROPOSED SIGN
- PROPOSED WELL
- PROPOSED DRAINAGE MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED OUTLET STRUCTURE
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- BARBED WIRE FENCE
- GUARDRAIL
- OVERHEAD UTILITIES
- DRAINAGE LINE
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- BUILDING SETBACK
- EXISTING EASEMENT
- PROPOSED PROPERTY LINE
- PROPOSED CHAINLINK FENCE
- PROPOSED GUARDRAIL
- PROPOSED OVERHEAD UTILITIES
- PROPOSED UNDERGROUND UTILITIES
- PROPOSED DRAINAGE LINE
- PROPOSED TREELINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED SLOPED GRANITE CURB
- PROPOSED 2' CONTOUR
- PROPOSED RETAINING WALL
- PROPOSED EASEMENT



STANDISH LANE ROADWAY PROFILE
SCALE: 1" = 50' (HORIZ.)
1" = 5' (VERT.)



ROADWAY PLAN AND PROFILE
STANDISH LANE (STA. 18+00 TO STA. 24+50)
EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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PROJECT NO: 11-0202-1 SHEET 39 OF 102

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APPROVED BY THE HUDSON, NH PLANNING BOARD
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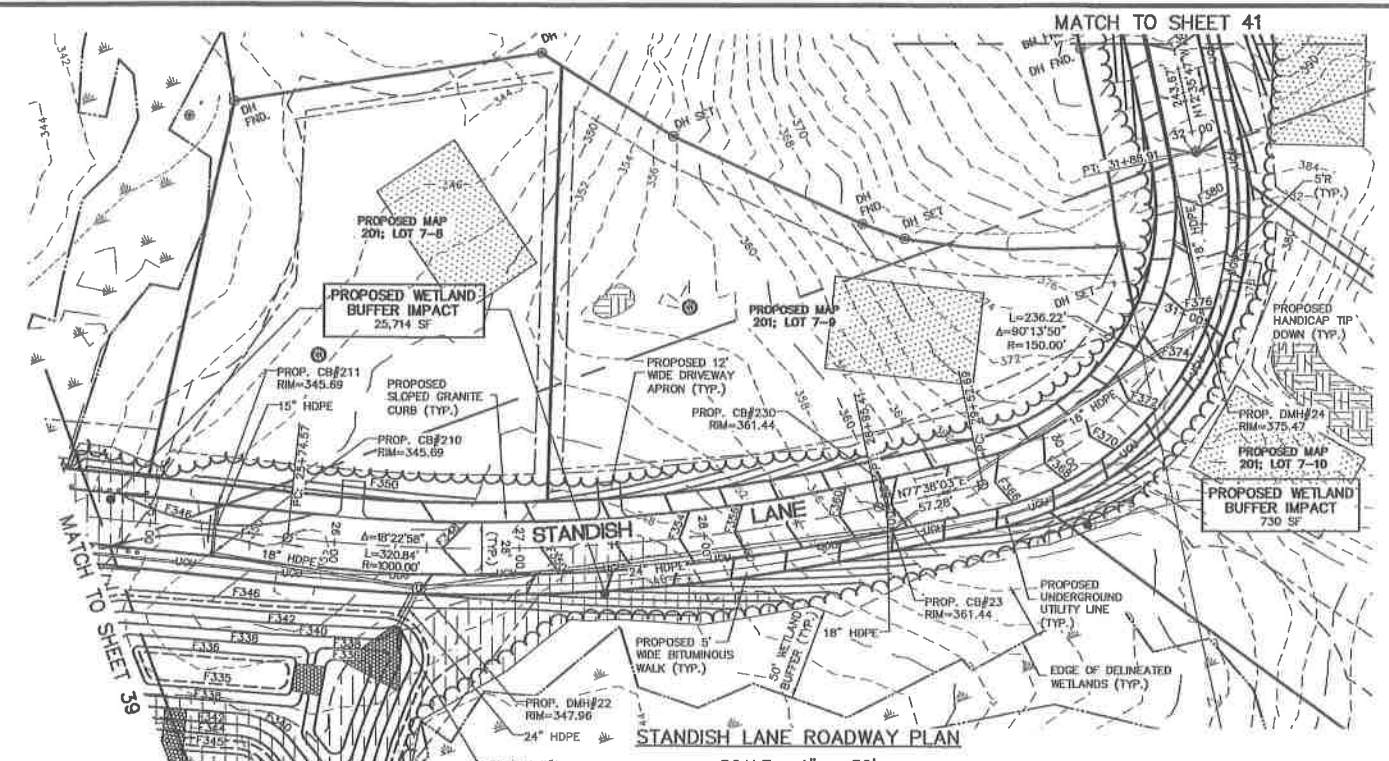
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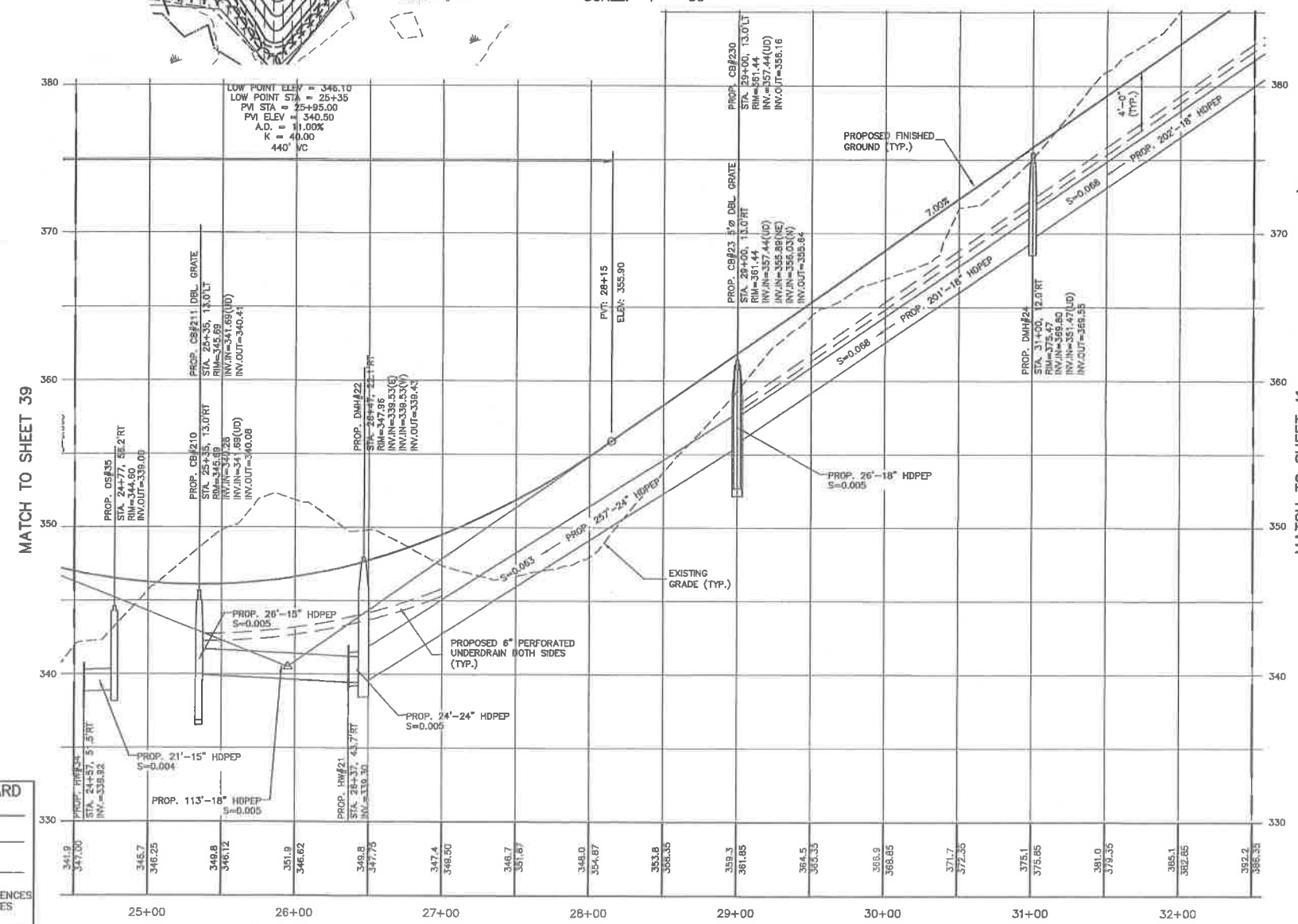
MAID 1868



SCALE: 1" = 50'

LEGEND

- STONE BOUND FOUND
IRON PIN FOUND
DRILL HOLE
UTILITY POLE
SIGN
WELL
DRAINAGE MANHOLE
CATCH BASIN
STONE BOUND TO BE SET
IRON PIN TO BE SET
PROPOSED UTILITY POLE
PROPOSED SIGN
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PROPOSED DRAINAGE MANHOLE
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TREELINE
RETAINING WALL
EDGE OF PAVEMENT
EDGE OF GRAVEL
10' CONTOUR
2' CONTOUR
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EXISTING EASEMENT
PROPOSED PROPERTY LINE
PROPOSED CHAINLINK FENCE
PROPOSED GUARDRAIL
PROPOSED OVERHEAD UTILITIES
PROPOSED UNDERGROUND UTILITIES
PROPOSED DRAINAGE LINE
PROPOSED TREELINE
PROPOSED EDGE OF PAVEMENT
PROPOSED SLOPED GRANITE CURB
PROPOSED 2' CONTOUR
PROPOSED RETAINING WALL
PROPOSED EASEMENT



STANDISH LANE ROADWAY PROFILE

SCALE: 1" = 50' (HORIZ.)
1" = 5' (VERT.)



GRAPHIC SCALE



ROADWAY PLAN AND PROFILE
STANDISH LANE (STA. 24+50 TO STA. 32+50)
EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

Table with 3 columns: OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT; OWNER OF MAP 186; LOT 20-4; OWNER OF MAP 201; LOT 7.

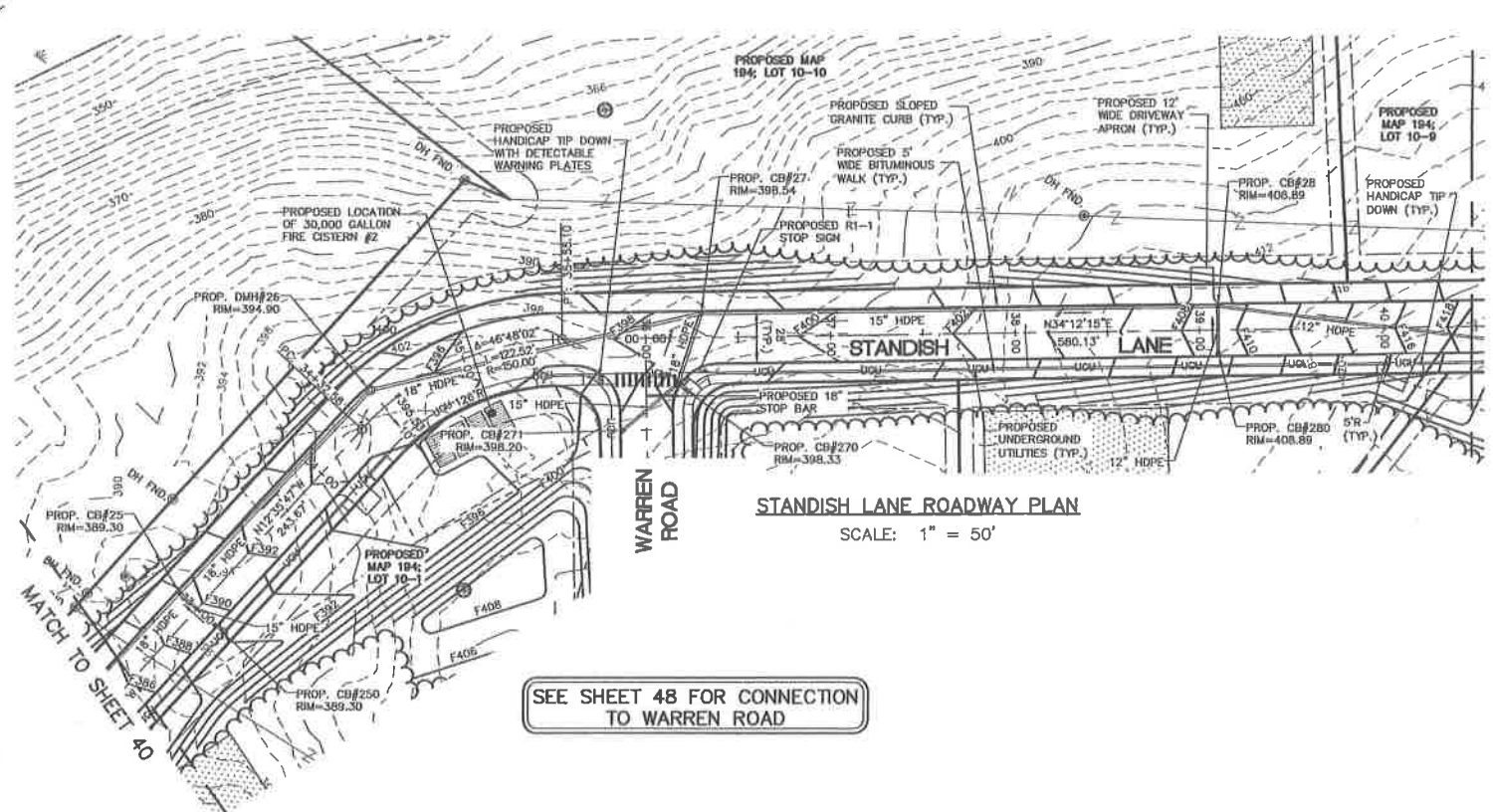
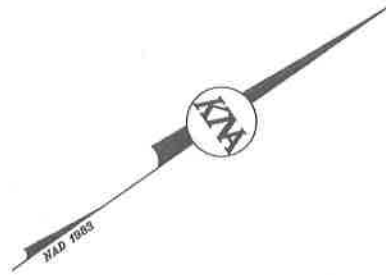
KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



Table with 4 columns: No., DATE, DESCRIPTION, BY. Includes revision 1: 04/20/15, REVISION 2: 05/18/15.

DATE: JANUARY 7, 2015 SCALE: 1" = 50'
PROJECT NO: 11-0202-1 SHEET 40 OF 102

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING:
SIGNATURE DATE
SIGNATURE DATE
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SEE SHEET 48 FOR CONNECTION TO WARREN ROAD

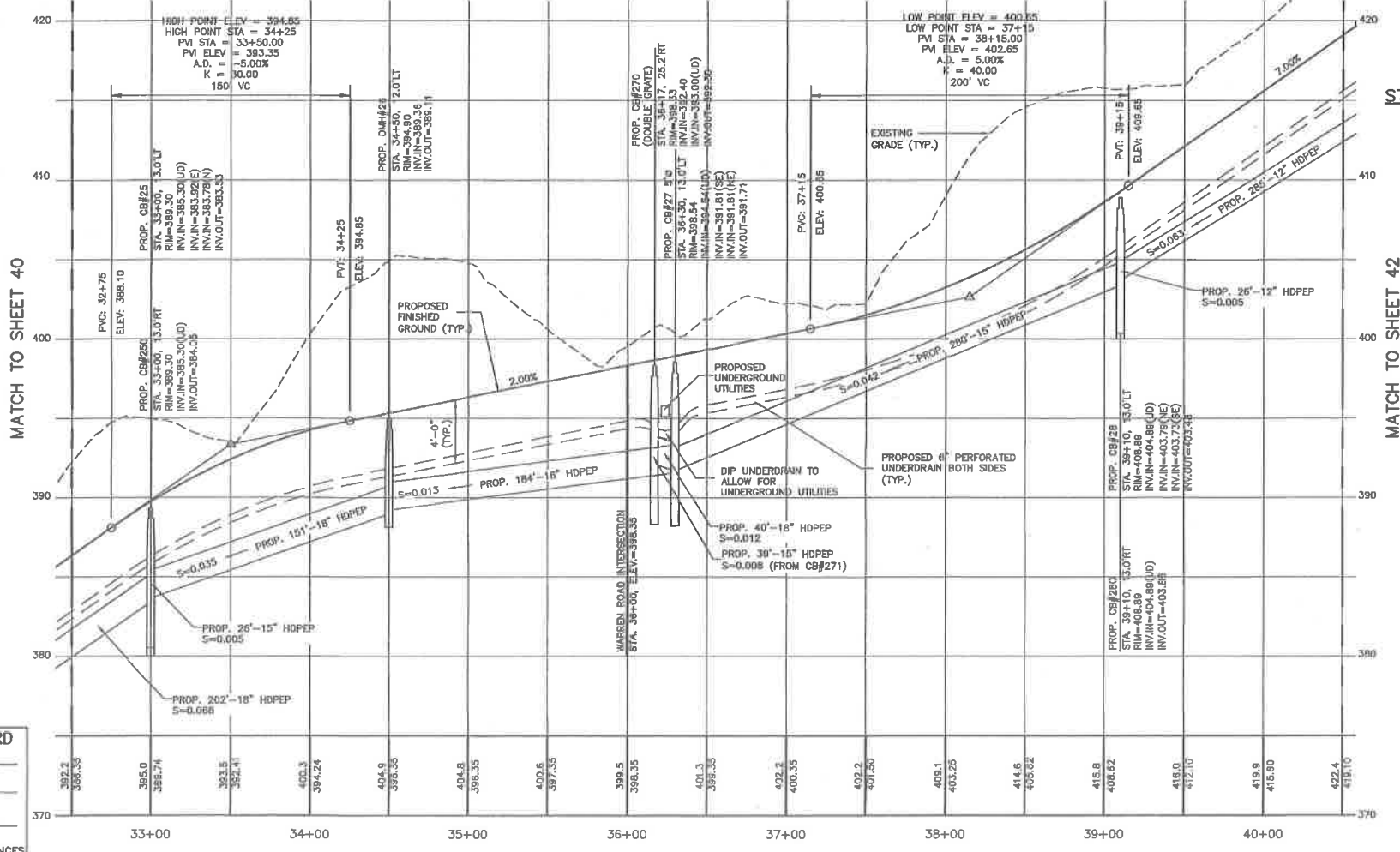
SEE SHEET 37 FOR CONSTRUCTION NOTES

LOAM & SEED ALL DISTURBED AREAS (TYP.)

SEE GRADING, DRAINAGE AND EROSION CONTROL PLANS FOR DETAILED POND INFORMATION

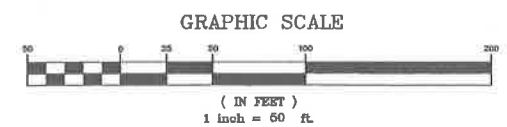
LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- PROPOSED UTILITY POLE
- PROPOSED SIGN
- PROPOSED WELL
- PROPOSED DRAINAGE MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED OUTLET STRUCTURE
- PROPOSED END SECTION
- ABUTTER LINE
- EXISTING PROPERTY LINE
- STREAM
- WETLAND
- STOCKADE FENCE
- BARBED WIRE FENCE
- GUARDRAIL
- OHU
- OVERHEAD UTILITIES
- DRAINAGE LINE
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- BUILDING SETBACK
- EXISTING EASEMENT
- PROPOSED PROPERTY LINE
- PROPOSED CHAINLINK FENCE
- PROPOSED GUARDRAIL
- OHU
- PROPOSED OVERHEAD UTILITIES
- UGU
- PROPOSED UNDERGROUND UTILITIES
- PROPOSED DRAINAGE LINE
- PROPOSED TREELINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED SLOPED GRANITE CURB
- PROPOSED 2' CONTOUR
- PROPOSED RETAINING WALL
- PROPOSED EASEMENT



STANDISH LANE ROADWAY PROFILE

SCALE: 1" = 50' (HORIZ.)
1" = 5' (VERT.)



ROADWAY PLAN AND PROFILE
STANDISH LANE (STA. 32+50 TO STA. 40+50)
EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
 MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7; GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 5B, Bedford, NH 03110 Phone (603) 827-2881

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 DATE OF MEETING: _____

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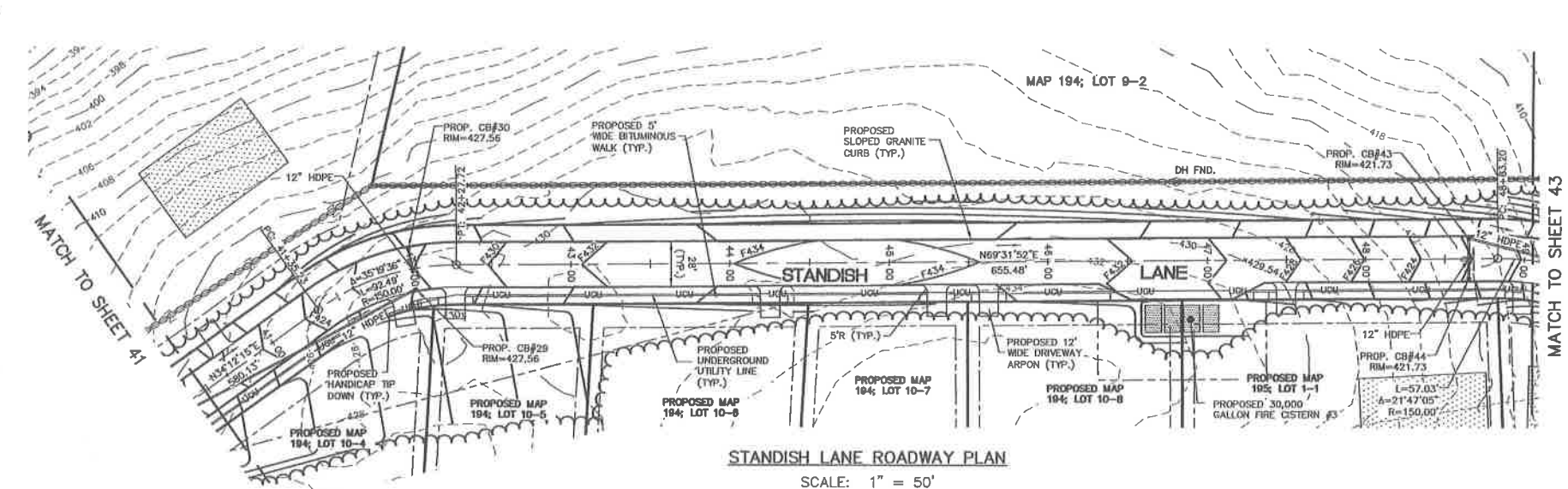
REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: 1" = 50'
 PROJECT NO: 11-0202-1 SHEET 41 OF 102

SEE SHEET 37 FOR
CONSTRUCTION NOTES

LOAM & SEED ALL
DISTURBED AREAS (TYP.)

SEE GRADING, DRAINAGE AND
EROSION CONTROL PLANS FOR
DETAILED POND INFORMATION

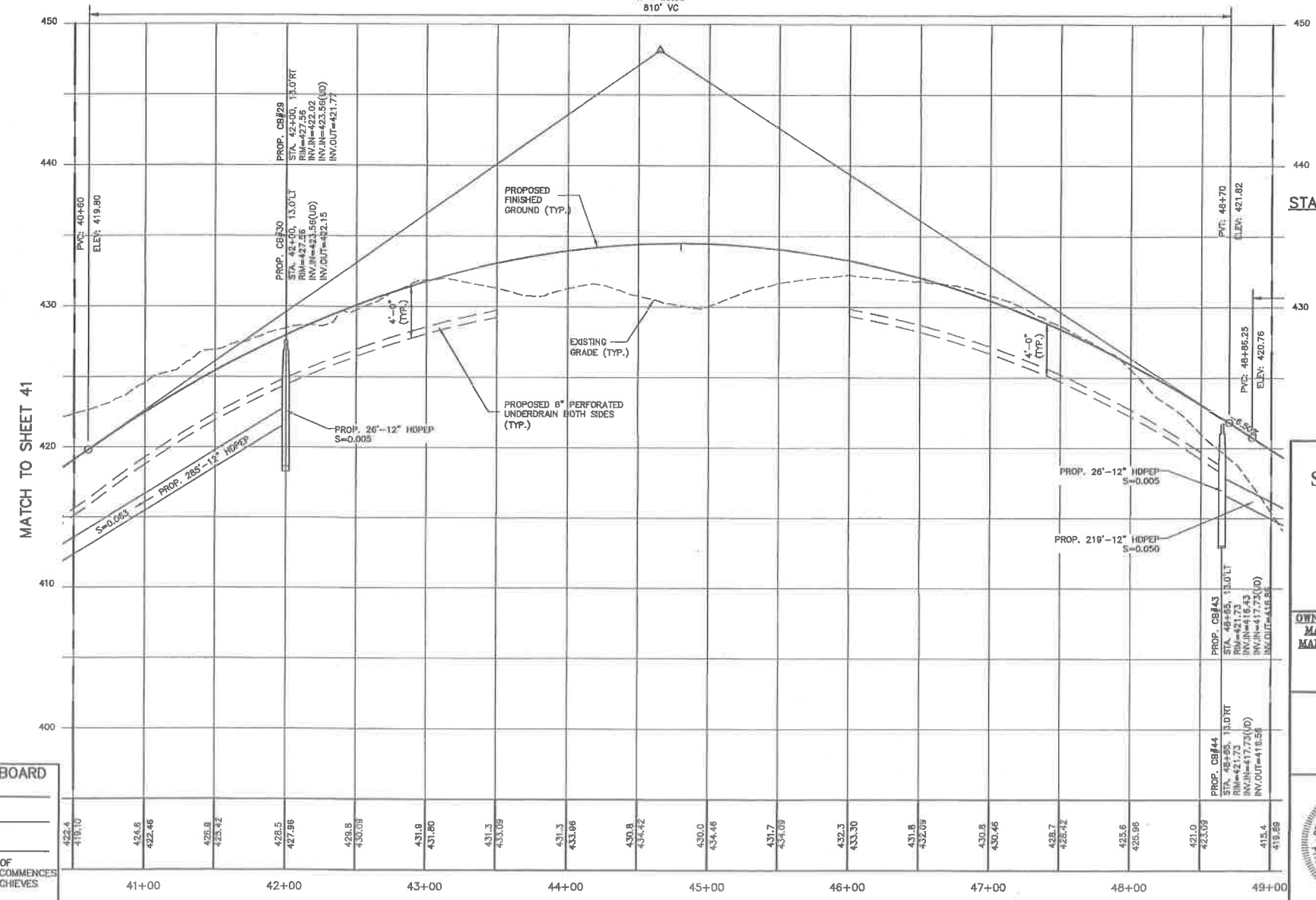


STANDISH LANE ROADWAY PLAN
SCALE: 1" = 50'

HIGH POINT ELEV = 434.50
HIGH POINT STA = 44+80
PM STA = 44+65.00
PM ELEV = 448.15
A.D. = -13.50%
K = 60.00
810' VC

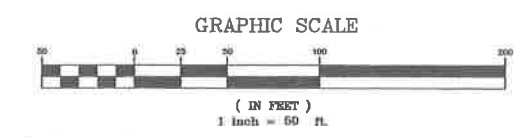
LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- PROPOSED UTILITY POLE
- PROPOSED SIGN
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- 2' CONTOUR
- STONEMASS
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- PROPOSED SLOPED GRANITE CURB
- PROPOSED 2' CONTOUR
- PROPOSED RETAINING WALL
- PROPOSED EASEMENT



STANDISH LANE ROADWAY PROFILE

SCALE: 1" = 50' (HORIZ.)
1" = 5' (VERT.)



ROADWAY PLAN AND PROFILE
STANDISH LANE (STA. 40+50 TO STA. 49+00)
EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24 MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDELL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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PURSUANT TO THE
REVIEW
REGULATIONS OF
THE HUDSON
PLANNING BOARD,
THE SITE PLAN
APPROVAL
GRANTED HEREIN
EXPIRES ONE YEAR
FROM DATE OF
APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

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SIGNATURE _____ DATE _____

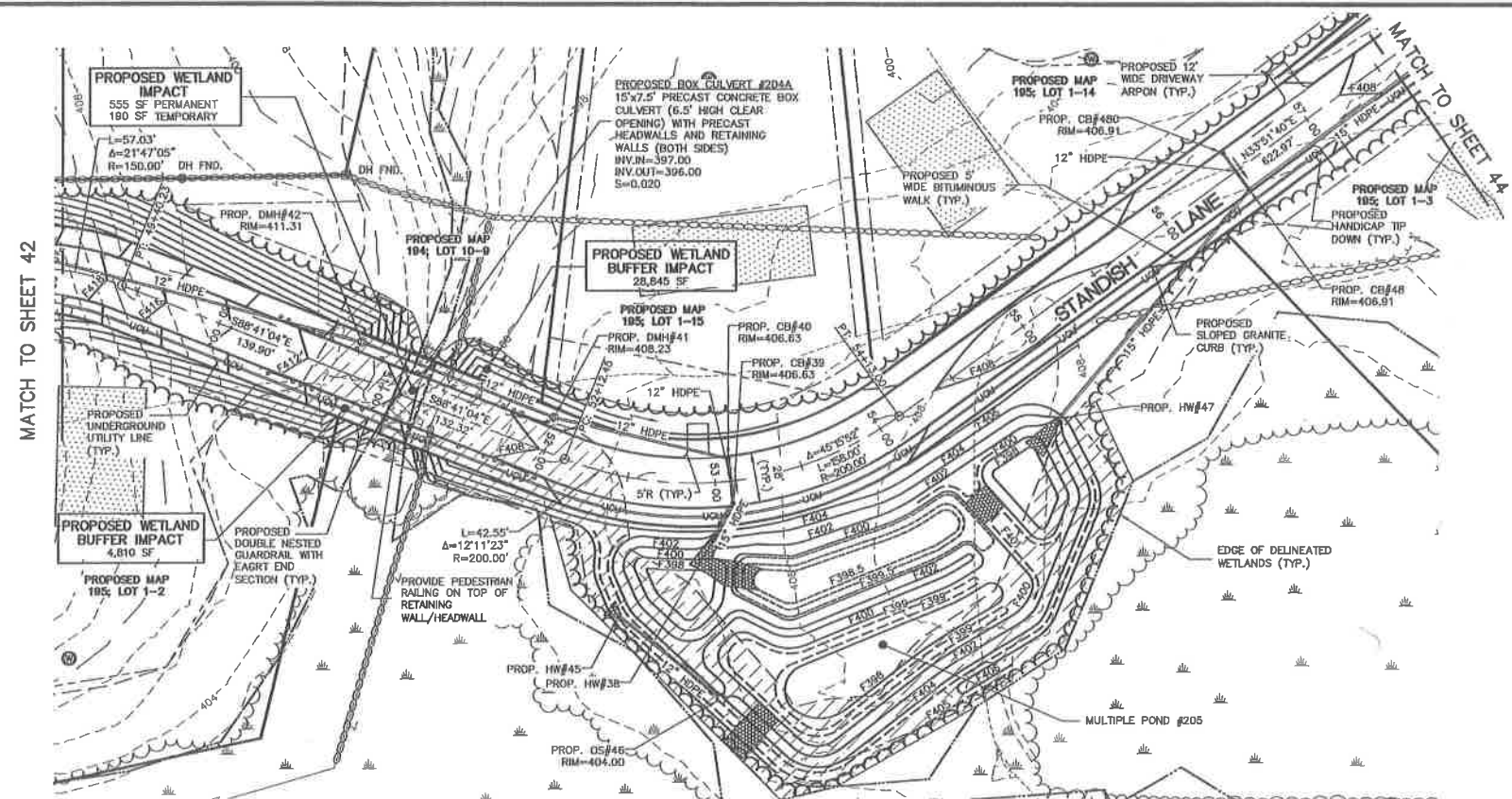
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KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 35, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

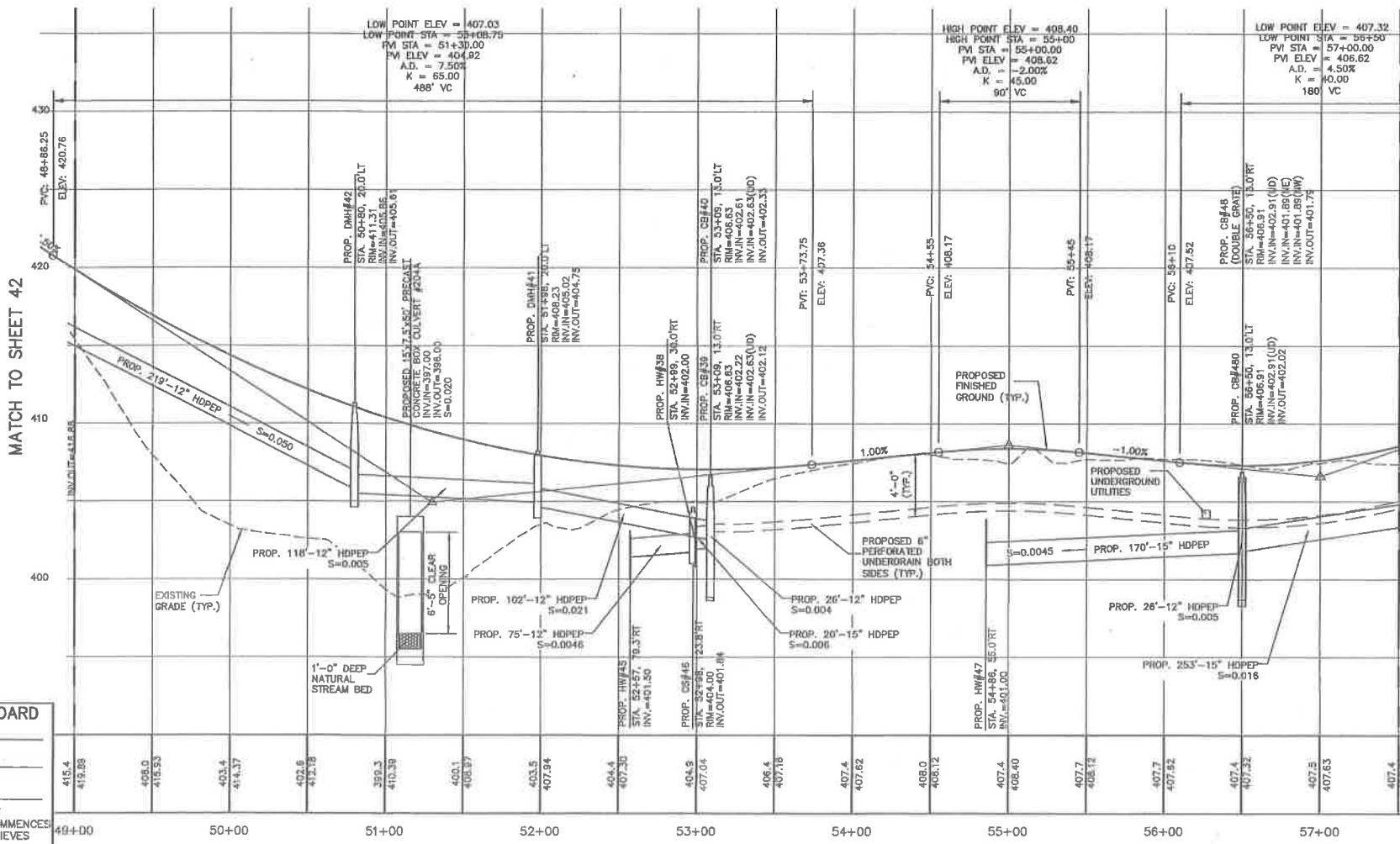
DATE: JANUARY 7, 2015 SCALE: 1" = 50'
PROJECT NO: 11-0202-1 SHEET 42 OF 102



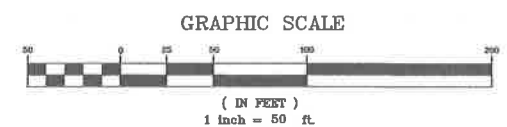
STANDISH LANE ROADWAY PLAN
SCALE: 1" = 50'

LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- PROPOSED UTILITY POLE
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- RETAINING WALL
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- STONEWALL
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- PROPOSED PROPERTY LINE
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- PROPOSED 2' CONTOUR
- PROPOSED RETAINING WALL
- PROPOSED EASEMENT



STANDISH LANE ROADWAY PROFILE
SCALE: 1" = 50' (HORIZ.)
1" = 5' (VERT.)



ROADWAY PLAN AND PROFILE
STANDISH LANE (STA. 49+00 TO STA. 57+50)
EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24: GREEN MOUNTAIN PARTNERS REALTY TRUST
OWNER OF MAP 186; LOT 20-4: KERRY A. TRUDEL
OWNER OF MAP 201; LOT 7: MARIO & DENYSE PLANTE, TRUSTEES
EAGLES NEST ESTATES, LLC: 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054
11 KARAS CROSSING DRIVE HUDSON, NH 03051
9 OLD DERRY ROAD HUDSON, NH 03051

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DATE: JANUARY 7, 2015
PROJECT NO: 11-0202-1
SCALE: 1" = 50'
SHEET 43 OF 102

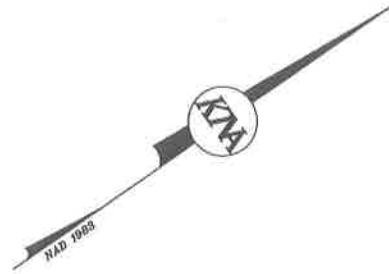
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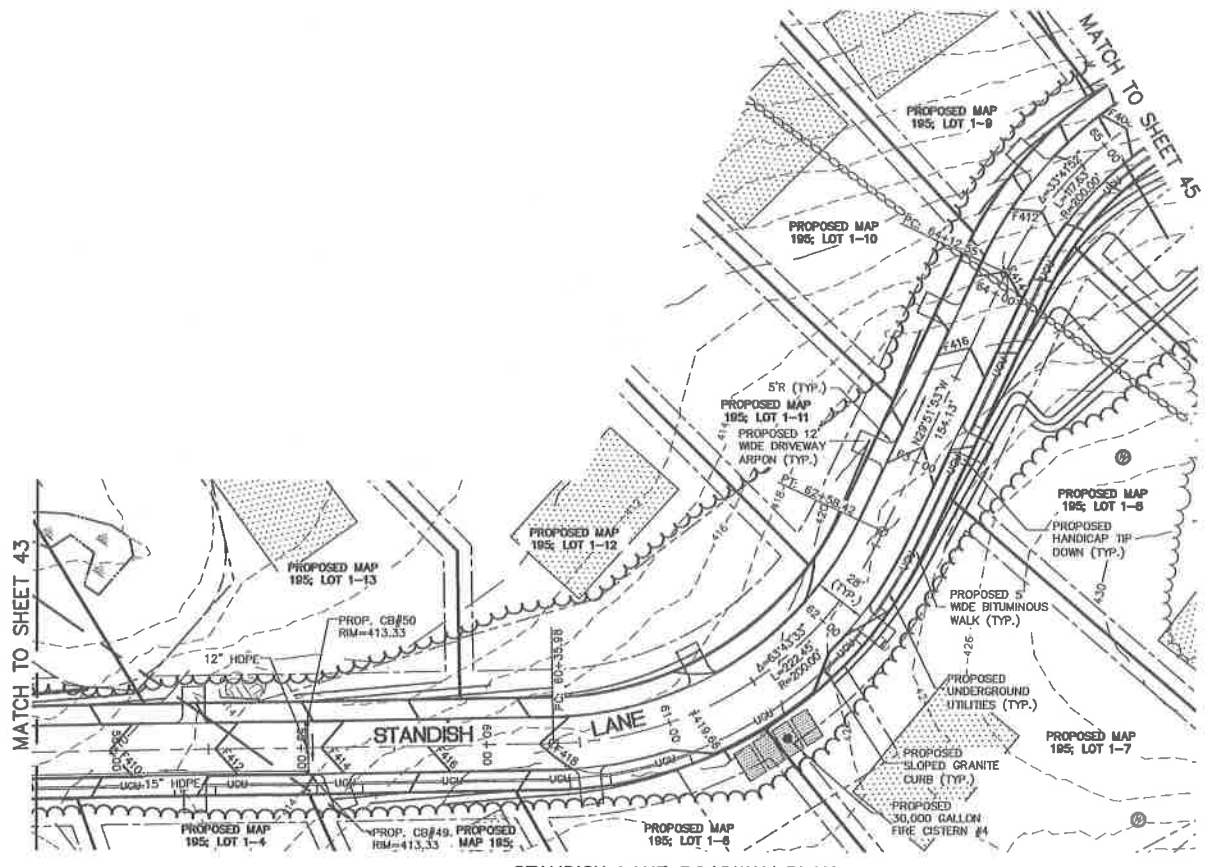
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SEE SHEET 37 FOR
CONSTRUCTION NOTES

LOAM & SEED ALL
DISTURBED AREAS (TYP.)

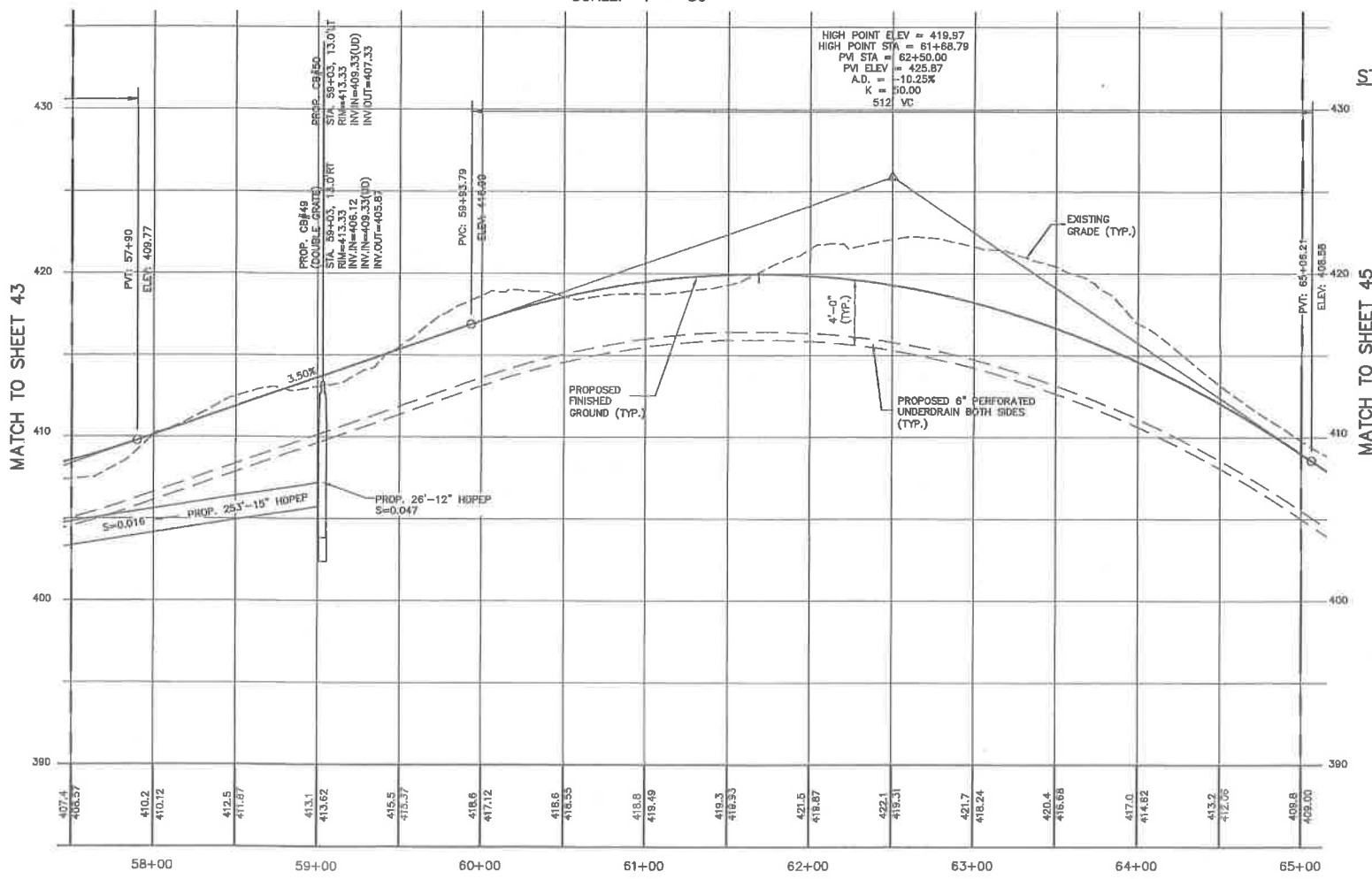
SEE GRADING, DRAINAGE AND
EROSION CONTROL PLANS FOR
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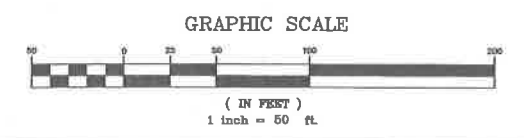
STANDISH LANE ROADWAY PLAN
SCALE: 1" = 50'

LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- PROPOSED UTILITY POLE
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- RETAINING WALL
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- PROPOSED RETAINING WALL
- PROPOSED EASEMENT



STANDISH LANE ROADWAY PROFILE
SCALE: 1" = 50' (HORIZ.)
1" = 5' (VERT.)



ROADWAY PLAN AND PROFILE
STANDISH LANE (STA. 57+50 TO STA. 65+00)
EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 184; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7; GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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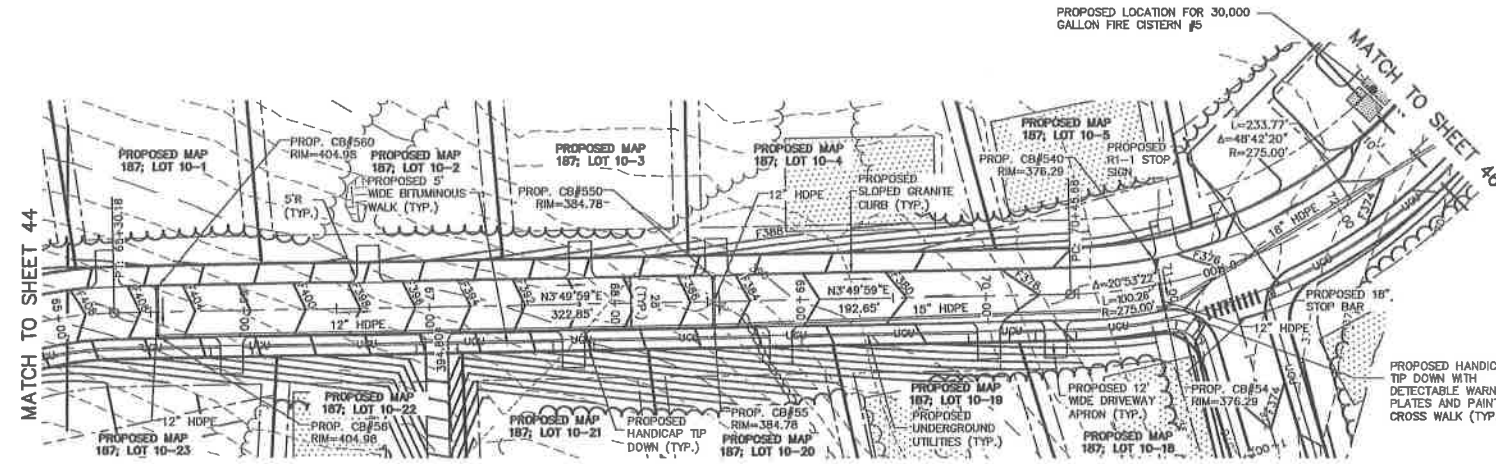
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DATE: JANUARY 7, 2015 SCALE: 1" = 50'
PROJECT NO: 11-0202-1 SHEET 44 OF 102



STANDISH LANE ROADWAY PLAN

SCALE: 1" = 50'

SEE SHEET 49 FOR CONNECTION TO HAWKVIEW ROAD EXTENSION

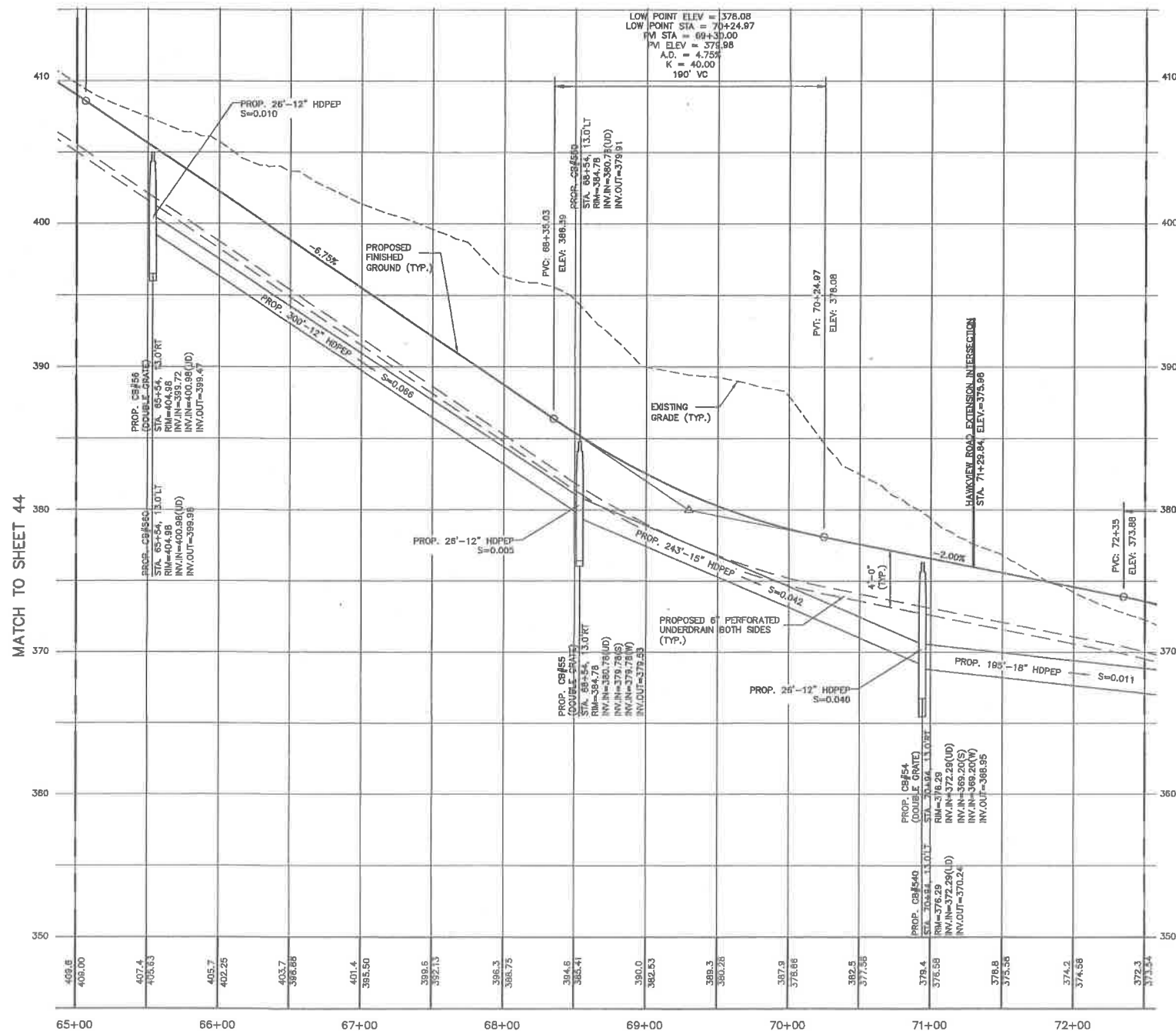
SEE SHEET 37 FOR CONSTRUCTION NOTES

LOAM & SEED ALL DISTURBED AREAS (TYP.)

SEE GRADING, DRAINAGE AND EROSION CONTROL PLANS FOR DETAILED POND INFORMATION

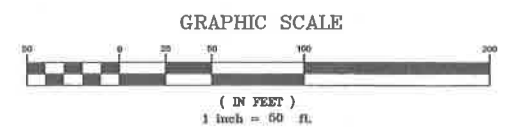
LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- WELL
- DRAINAGE MANHOLE
- CATCH BASIN
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STANDISH LANE ROADWAY PROFILE

SCALE: 1" = 50' (HORIZ.)
1" = 5' (VERT.)



ROADWAY PLAN AND PROFILE
STANDISH LANE (STA. 65+00 TO STA. 72+50)
EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
 MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7; GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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REVISIONS			
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1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/16/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015
 PROJECT NO: 11-0202-1
 SCALE: 1" = 50'
 SHEET 45 OF 102

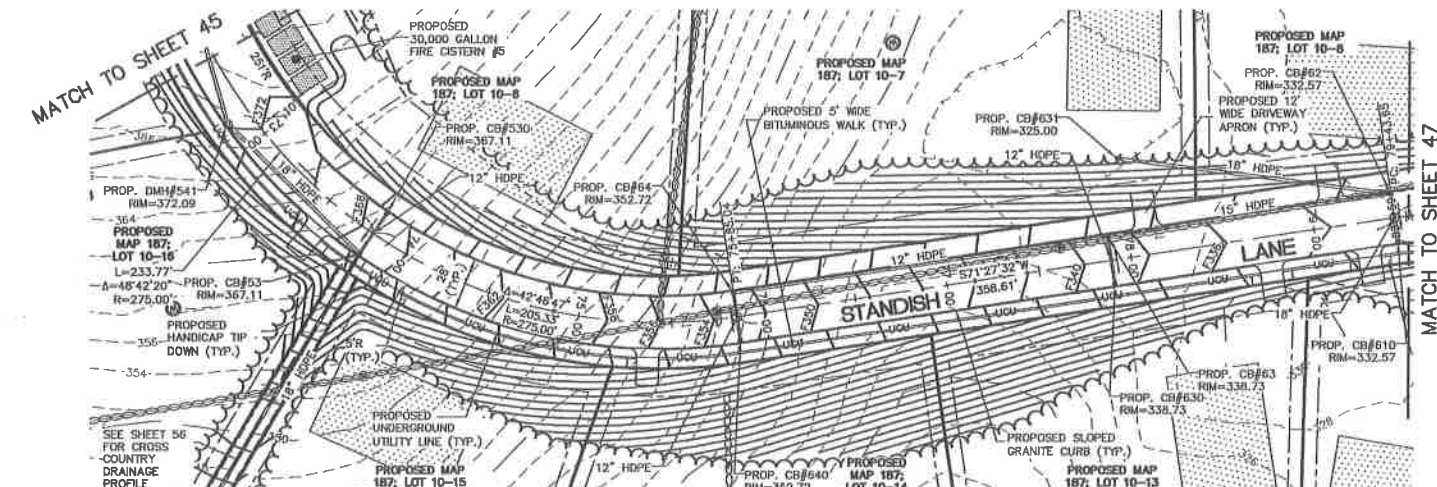
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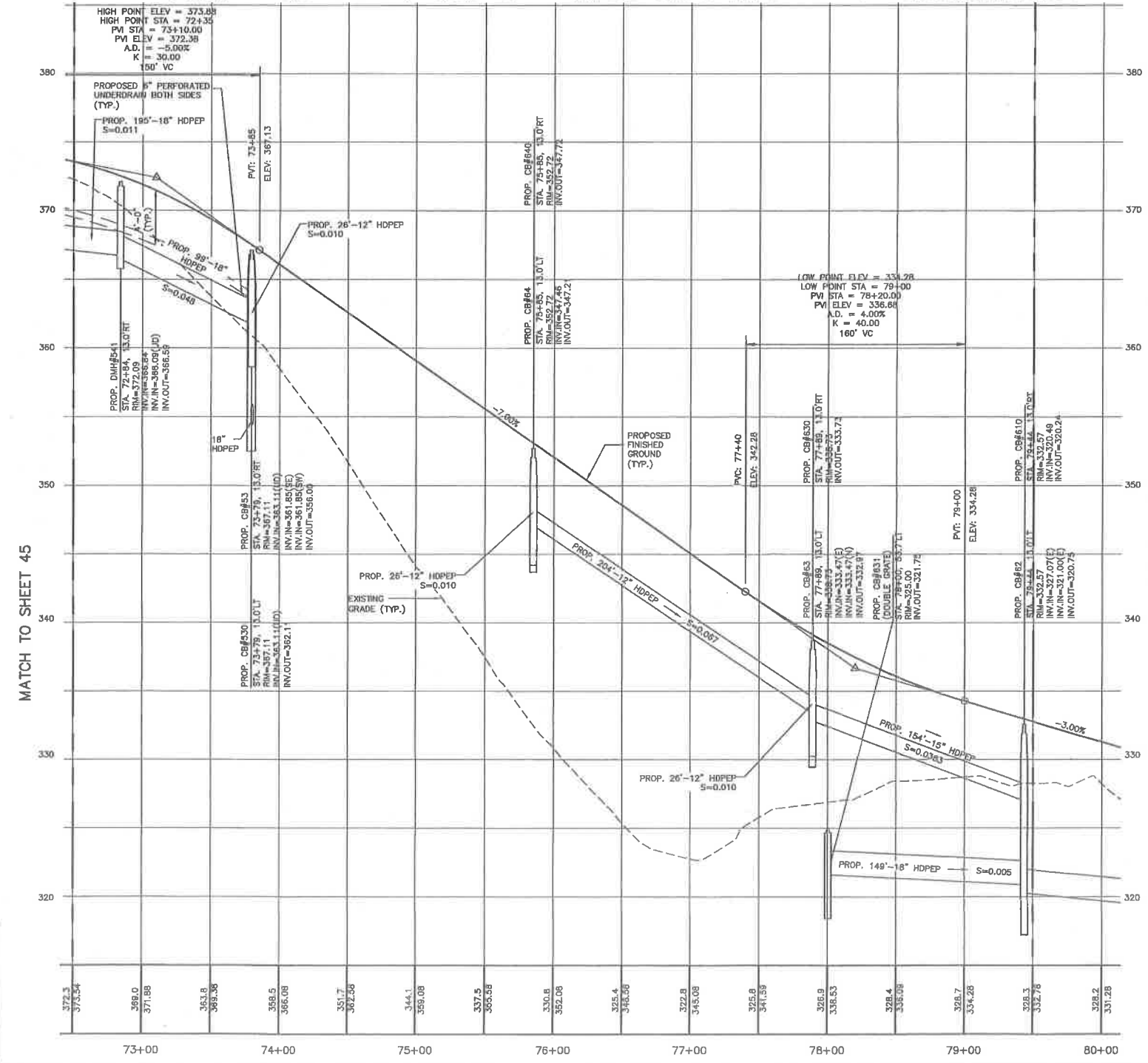
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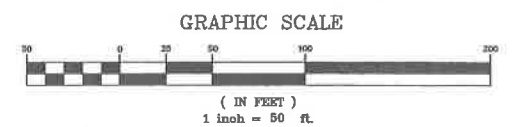
STANDISH LANE ROADWAY PLAN
SCALE: 1" = 50'

LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
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- WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- STONE BOUND TO BE SET
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- PROPOSED GUARDRAIL
- PROPOSED OVERHEAD UTILITIES
- PROPOSED UNDERGROUND UTILITIES
- PROPOSED DRAINAGE LINE
- PROPOSED TREELINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED SLOPED GRANITE CURB
- PROPOSED 2' CONTOUR
- PROPOSED RETAINING WALL
- PROPOSED EASEMENT



STANDISH LANE ROADWAY PROFILE
SCALE: 1" = 50' (HORIZ.)
1" = 5' (VERT.)



ROADWAY PLAN AND PROFILE
STANDISH LANE (STA. 72+50 TO STA. 79+50)
EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
 MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24: EAGLES NEST ESTATES, LLC, 21 CONTINENTAL BOULEVARD, MERRIMACK, NH 03054
OWNER OF MAP 186; LOT 20-4: KELLY A. TRUDEL, 11 KARAS CROSSING DRIVE, HUDSON, NH 03051
OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST, MARIO & DENYSE PLANTE, TRUSTEES, 9 OLD DERRY ROAD, HUDSON, NH 03051

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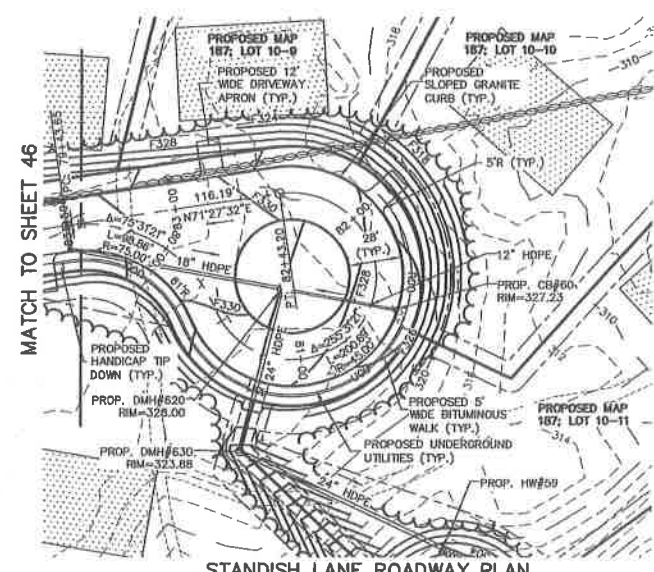
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1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: 1" = 50'
 PROJECT NO: 11-0202-1 SHEET 46 OF 102



STANDISH LANE ROADWAY PLAN
SCALE: 1" = 50'

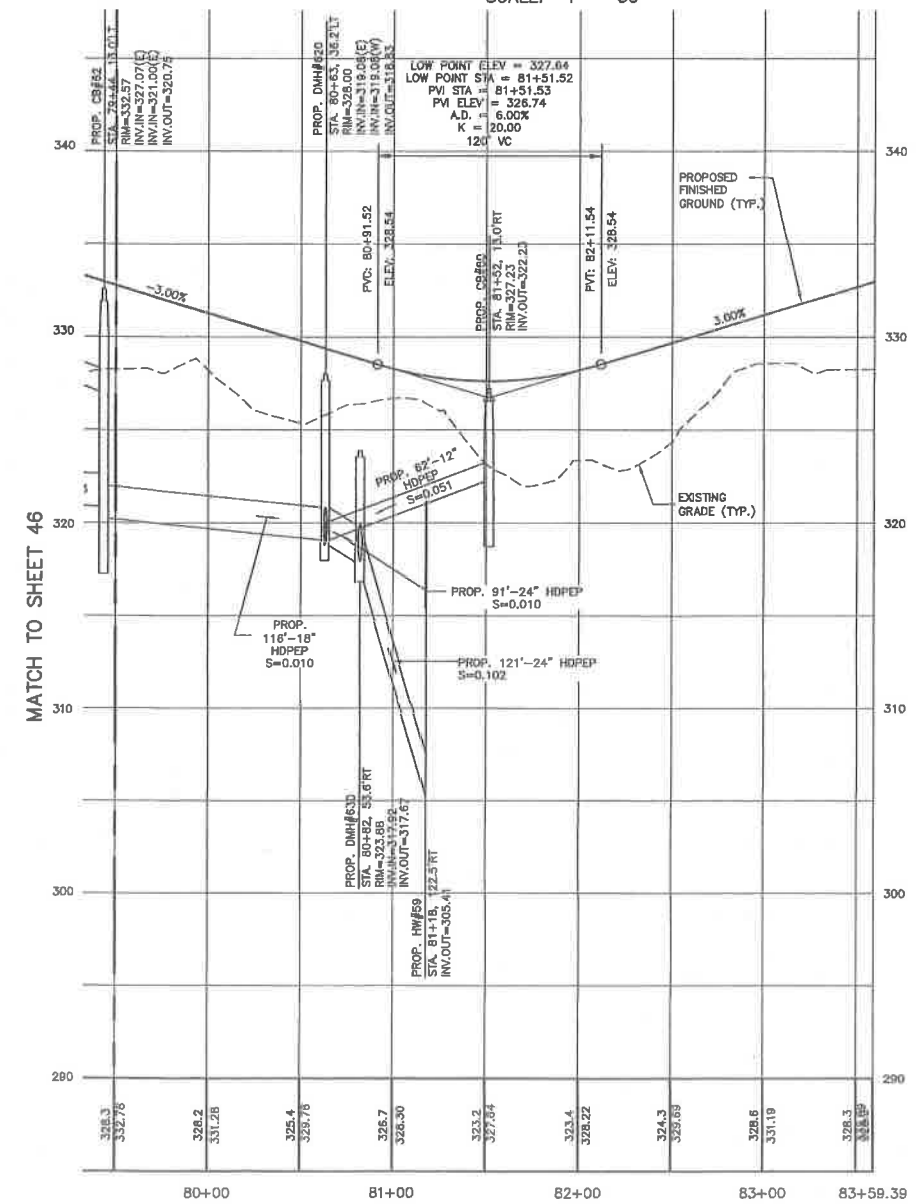
SEE SHEET 37 FOR
CONSTRUCTION NOTES

LOAM & SEED ALL
DISTURBED AREAS (TYP.)

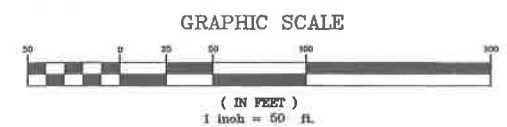
SEE GRADING, DRAINAGE AND
EROSION CONTROL PLANS FOR
DETAILED POND INFORMATION

LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- PROPOSED UTILITY POLE
- PROPOSED SIGN
- PROPOSED WELL
- PROPOSED DRAINAGE MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED OUTLET STRUCTURE
- PROPOSED END SECTION
- ABUTTER LINE
- EXISTING PROPERTY LINE
- STREAM
- WETLAND
- STOCKADE FENCE
- BARBED WIRE FENCE
- GUARDRAIL
- OVERHEAD UTILITIES
- DRAINAGE LINE
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- BUILDING SETBACK
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- PROPOSED PROPERTY LINE
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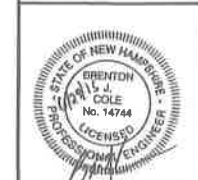
STANDISH LANE ROADWAY PROFILE
SCALE: 1" = 50' (HORIZ.)
1" = 5' (VERT.)



ROADWAY PLAN AND PROFILE
STANDISH LANE (STA. 79-50 TO STA. 83+59)
EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
 MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7 GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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 PROJECT No: 11-0202-1 SHEET 47 OF 102

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

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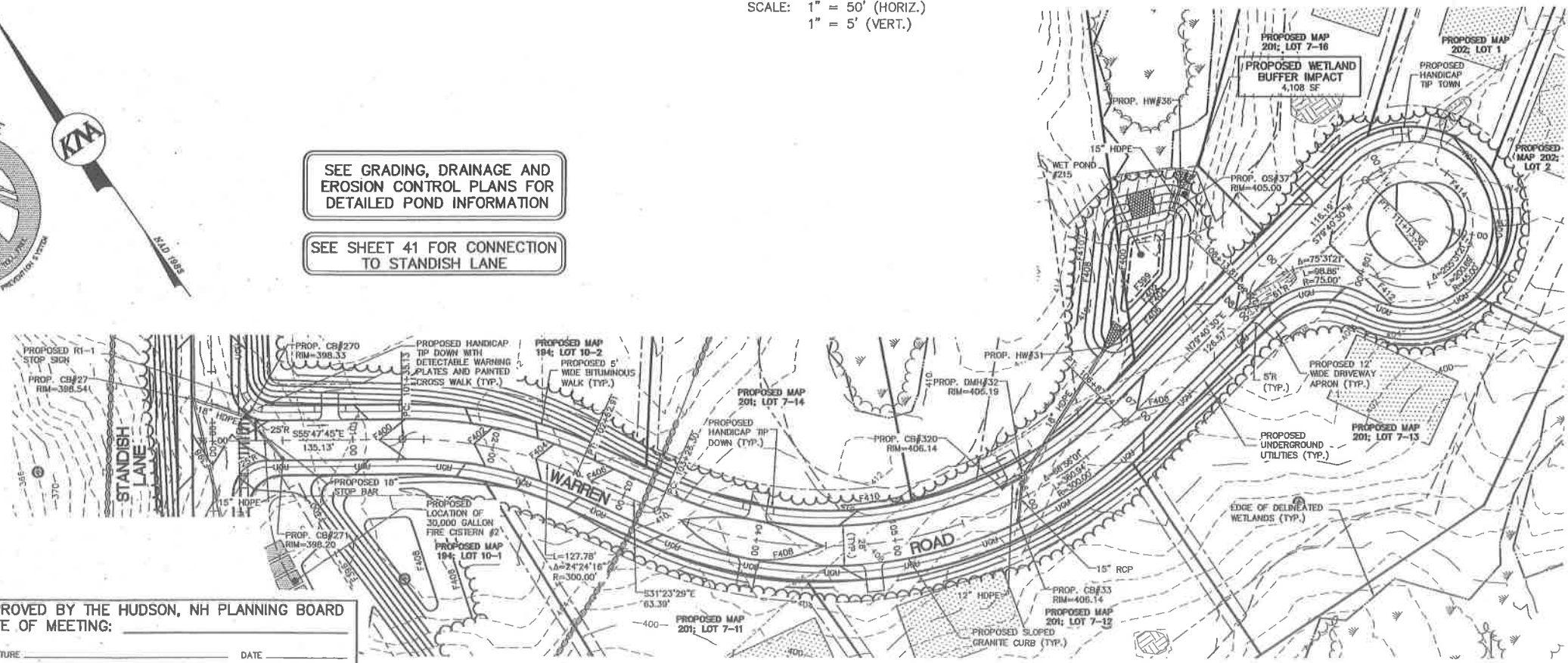
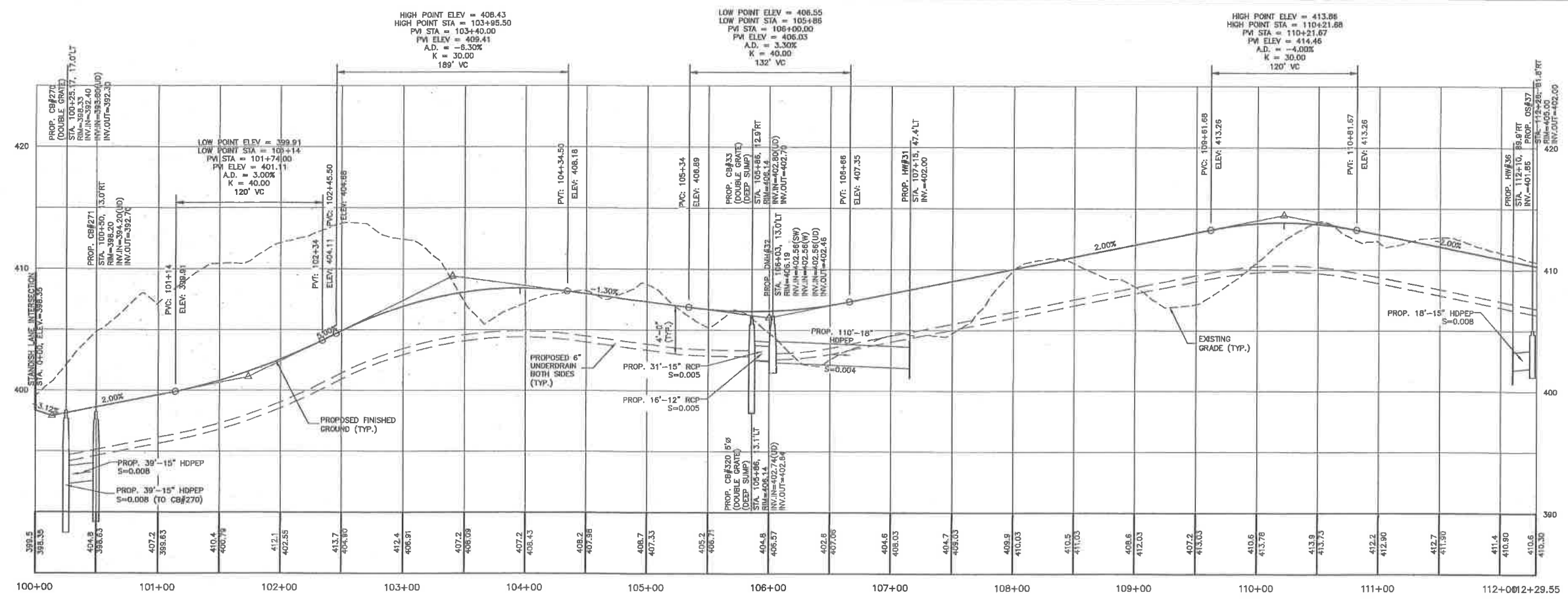
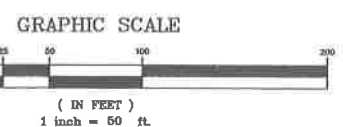
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SEE SHEET 37 FOR CONSTRUCTION NOTES

LOAM & SEED ALL DISTURBED AREAS (TYP.)

LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- PROPOSED UTILITY POLE
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- UGU
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- PROPOSED SLOPED GRANITE CURB
- PROPOSED 2' CONTOUR
- PROPOSED RETAINING WALL
- PROPOSED EASEMENT



SEE GRADING, DRAINAGE AND EROSION CONTROL PLANS FOR DETAILED POND INFORMATION

SEE SHEET 41 FOR CONNECTION TO STANDISH LANE

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

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ROADWAY PLAN AND PROFILE
WARREN ROAD
EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC, 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054

OWNER OF MAP 186; LOT 20-4: KELLY A. TRUDEL, 11 KARAS CROSSING DRIVE HUDSON, NH 03051

OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST, MARIO & DORIS PLANTE, TRUSTEES, 9 OLD DERRY ROAD HUDSON, NH 03051

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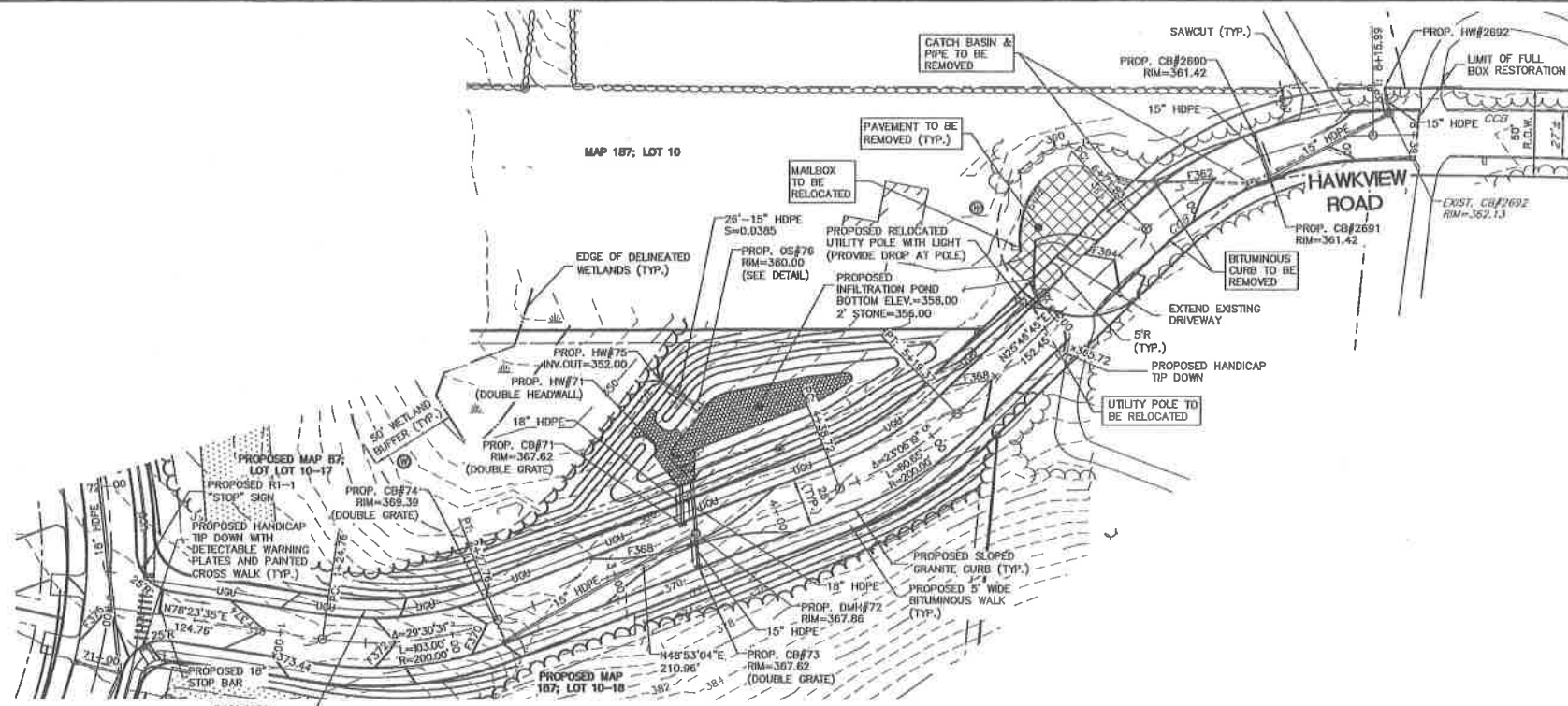
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DATE: JANUARY 7, 2015 SCALE: 1" = 50'
PROJECT NO: 11-0202-1 SHEET 48 OF 102

N:_Project\1102021\1102021.dwg - ROADWAY.dwg, HAWKVIEW, 6/29/2015 2:31:52 PM, News



SEE SHEET 47 FOR CONNECTION TO STANDISH LANE



SEE SHEET 37 FOR CONSTRUCTION NOTES

LOAM & SEED ALL DISTURBED AREAS (TYP.)

SEE GRADING, DRAINAGE AND EROSION CONTROL PLANS FOR DETAILED POND INFORMATION

LEGEND

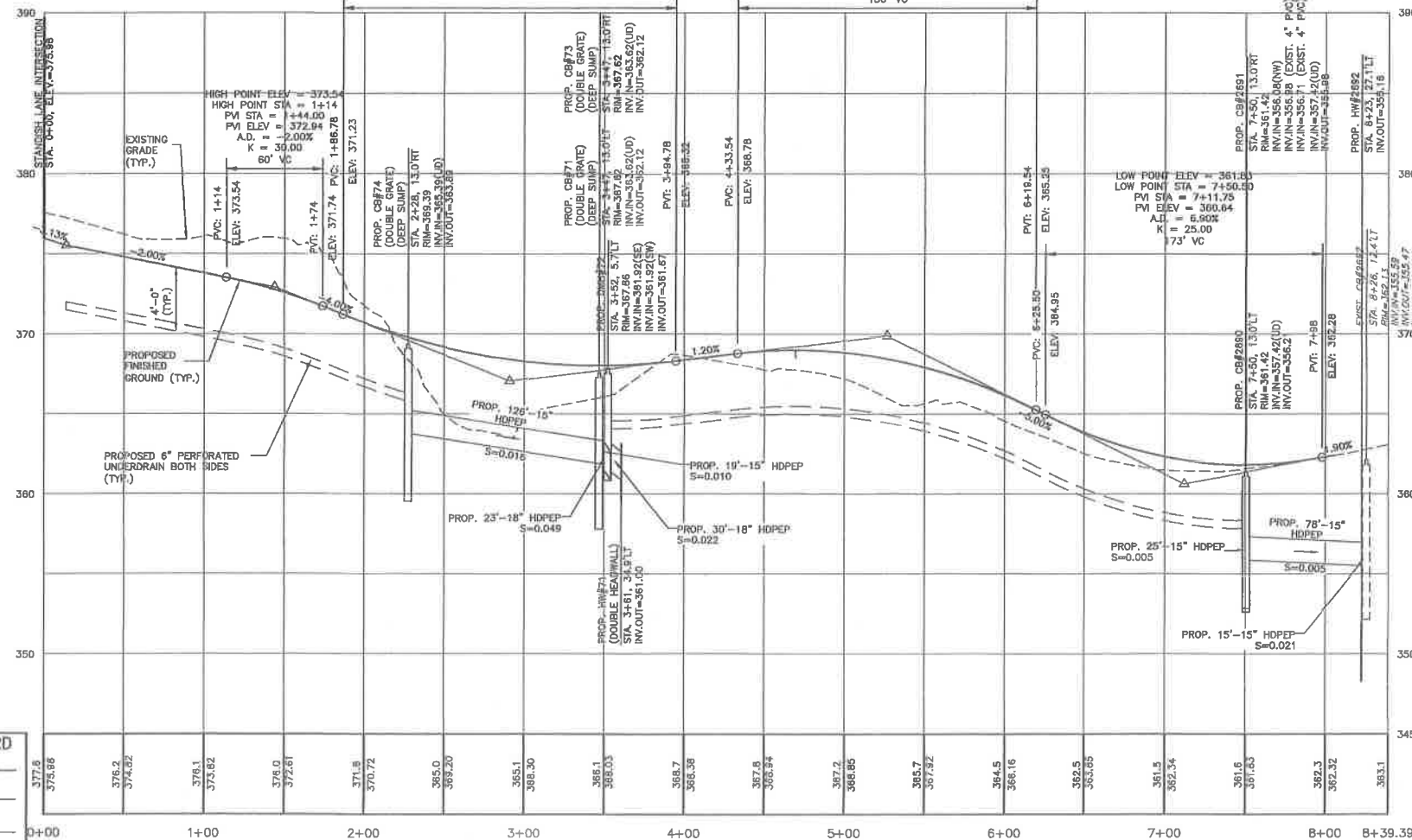
- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- WELL
- DRAINAGE MANHOLE
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- STONE BOUND TO BE SET
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HAWKVIEW EXTENSION ROADWAY PLAN

SCALE: 1" = 50'

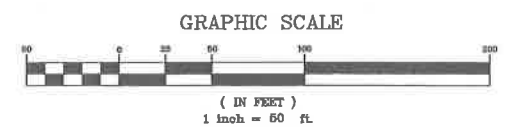
LOW POINT ELEV = 368.03
 LOW POINT STA = 3+46.78
 PVI STA = 2+90.78
 PVI ELEV = 357.07
 A.D. = 5.20%
 K = 40.00
 208' VC

HIGH POINT ELEV = 369.00
 HIGH POINT STA = 4+89.54
 PVI STA = 5+26.54
 PVI ELEV = 369.90
 A.D. = -6.20%
 K = 30.00
 186' VC



HAWKVIEW EXTENSION ROADWAY PROFILE

SCALE: 1" = 50' (HORIZ.)
 1" = 5' (VERT.)



ROADWAY PLAN AND PROFILE
HAWKVIEW ROAD EXTENSION
EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
 MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24 MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7; GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DEHYSE PLANTE, TRUSTEES 9 OLD DENNY ROAD HUDSON, NH 03051
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KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 887-2881

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 PROJECT NO: 11-0202-1 SHEET 49 OF 102

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

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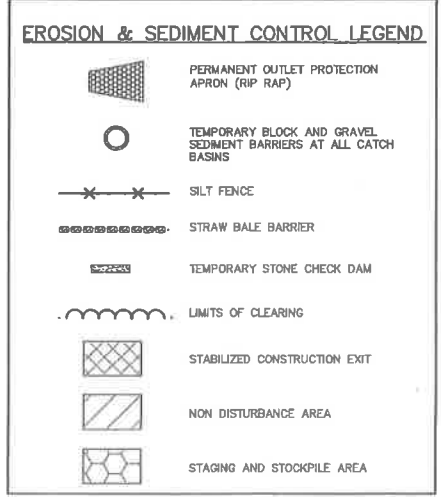
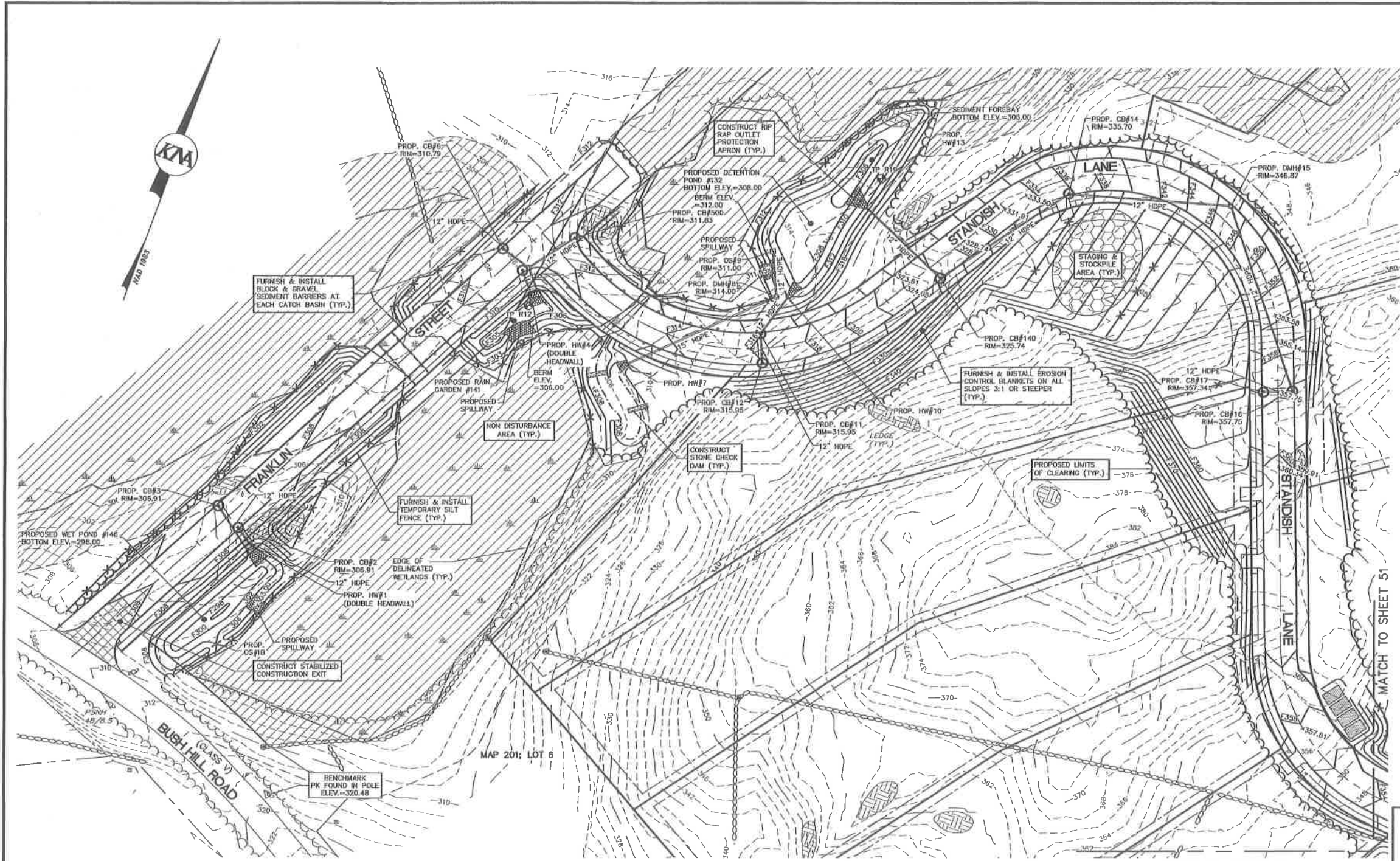
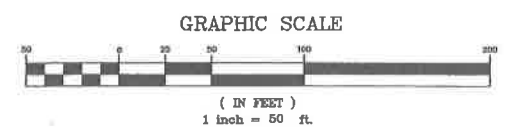
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- CONSTRUCTION NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN IN THE PLANS AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, HIGHWAY DEPARTMENT, HUDSON, NEW HAMPSHIRE.
 3. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND PROPER DISPOSAL OF ONSITE STUMPS.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT LEAST 72 HOURS BEFORE DIGGING.
 5. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.

- EROSION CONTROL NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES AS WELL AS THE PERMANENT EROSION CONTROL MEASURES.
 2. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME.
 3. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION, WHEN NECESSARY, SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
 4. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE. FOR ADDITIONAL EROSION CONTROL SPECIFICATIONS AND CONSTRUCTION DETAILS.
 5. DISTURBED AREAS SHOULD BE STABILIZED WITHIN 30 DAYS OF BEING IDLE AND DISTURBANCE SHOULD BE KEPT TO A MINIMUM.
 6. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
 7. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
 8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
 9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
 10. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
 11. CUTTING CROSSING IS SUBJECT TO PERMITTING IN ACCORDANCE WITH WHOLE'S STREAM CROSSING GUIDELINES. CONTRACTOR SHALL PROVIDE APPROPRIATE BY-PASS PUMPING AND DEWATERING PRACTICES DURING CONSTRUCTION.
 12. SNOW ACCUMULATED DURING THE WINTER CONSTRUCTION CONDITIONS SHOULD BE STORED IN THE STAGING & STOCKPILE AREA DETERMINED BY THE CONTRACTOR, SURROUNDED BY SILT FENCE.

LOAM & SEED ALL DISTURBED AREAS (TYP.)

FURNISH & INSTALL EROSION CONTROL BLANKETS ON ALL SLOPES 3:1 OR STEEPER (TYP.)



PURSUANT TO THE SUBDIVISION REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

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GRADING, DRAINAGE AND EROSION CONTROL PLAN
EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7; GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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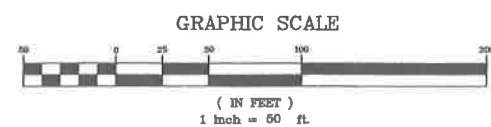
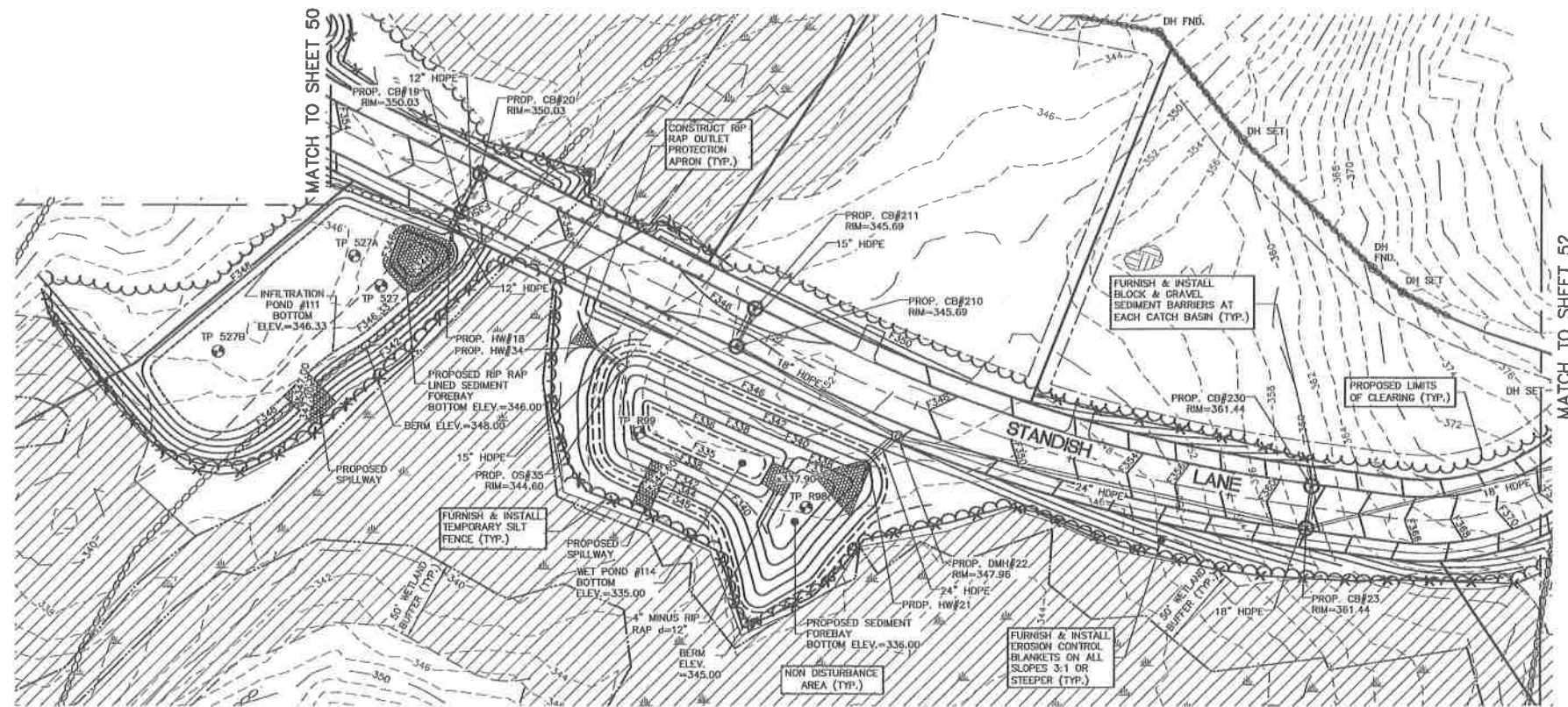
DATE: JANUARY 7, 2015 SCALE: 1" = 50'
 PROJECT NO: 11-0202-1 SHEET 50 OF 102



SEE SHEET 50 FOR NOTES

LOAM & SEED ALL DISTURBED AREAS (TYP.)

FURNISH & INSTALL EROSION CONTROL BLANKETS ON ALL SLOPES 3:1 OR STEEPER (TYP.)



EROSION & SEDIMENT CONTROL LEGEND

- PERMANENT OUTLET PROTECTION APRON (RIP RAP)
- TEMPORARY BLOCK AND GRAVEL SEDIMENT BARRIERS AT ALL CATCH BASINS
- SILT FENCE
- STRAW BALE BARRIER
- TEMPORARY STONE CHECK DAM
- LIMITS OF CLEARING
- STABILIZED CONSTRUCTION EXIT
- NON DISTURBANCE AREA
- STAGING AND STOCKPILE AREA

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

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GRADING, DRAINAGE AND EROSION CONTROL PLAN
EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
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HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24 MAP 184; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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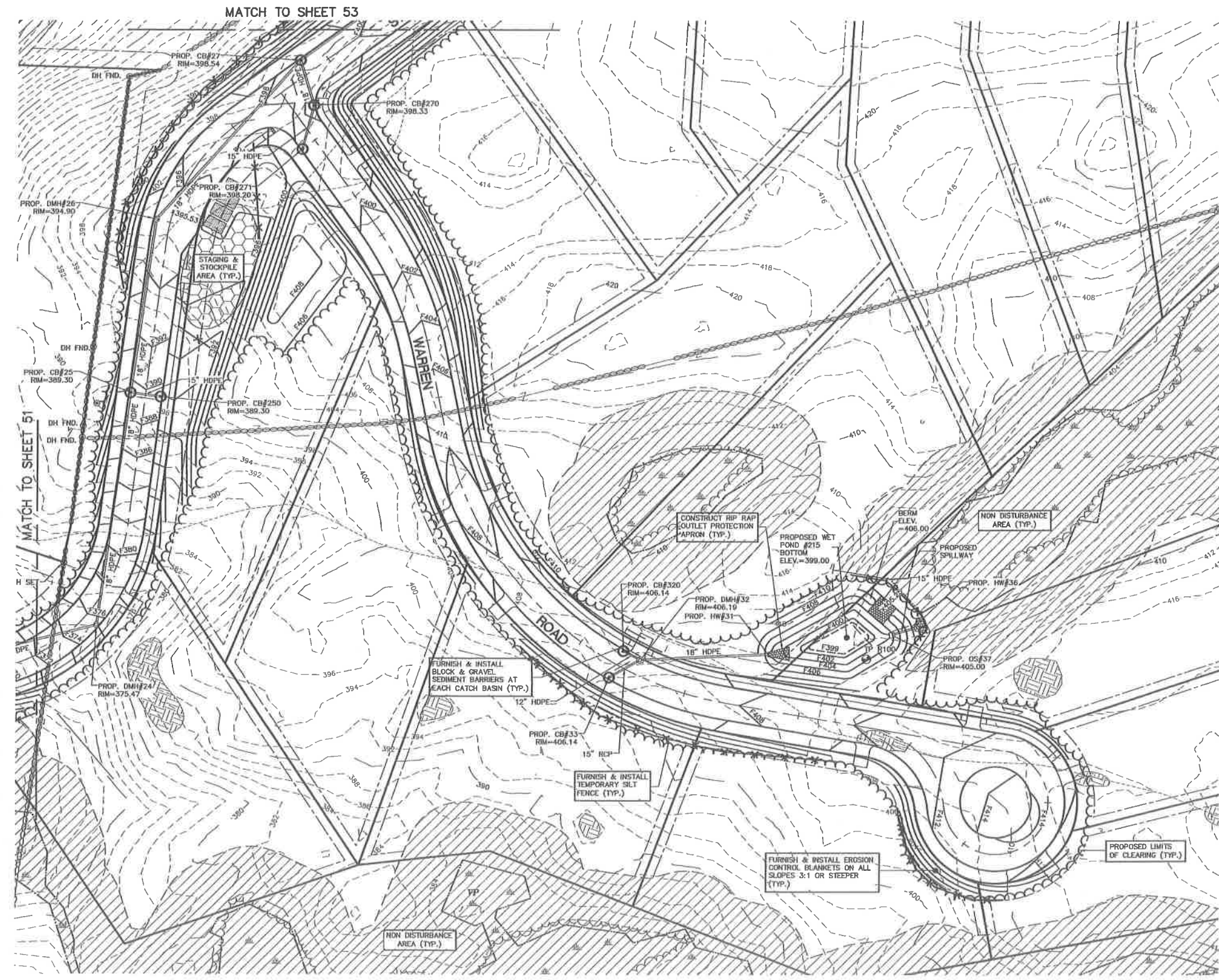
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DATE: JANUARY 7, 2015 SCALE: 1" = 50'
PROJECT NO: 11-0202-1 SHEET 51 OF 102

N:_proj\110202\1102021\102021-ROADWAY.dwg, EROSION (50-53), 6/29/2015 2:31:11 PM, rnews












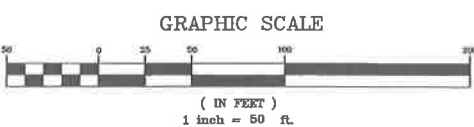
SEE SHEET 50 FOR NOTES

LOAM & SEED ALL DISTURBED AREAS (TYP.)

FURNISH & INSTALL EROSION CONTROL BLANKETS ON ALL SLOPES 3:1 OR STEEPER (TYP.)

EROSION & SEDIMENT CONTROL LEGEND

-  PERMANENT OUTLET PROTECTION APRON (RIP RAP)
-  TEMPORARY BLOCK AND GRAVEL SEDIMENT BARRIERS AT ALL CATCH BASINS
-  SILT FENCE
-  STRAW BALE BARRIER
-  TEMPORARY STONE CHECK DAM
-  LIMITS OF CLEARING
-  STABILIZED CONSTRUCTION EXIT
-  NON DISTURBANCE AREA
-  STAGING AND STOCKPILE AREA



GRADING, DRAINAGE AND EROSION CONTROL PLAN
EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC, 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054

OWNER OF MAP 186; LOT 20-4: KELLY A. TRUDEL, 11 KARAS CROSSING DRIVE HUDSON, NH 03051

OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST, MARIO & DENYSE PLANTE, TRUSTEES, 9 OLD BERRY ROAD HUDSON, NH 03051

KM KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881



PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
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REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: 1" = 50'
 PROJECT NO: 11-0202-1 SHEET 52 OF 102

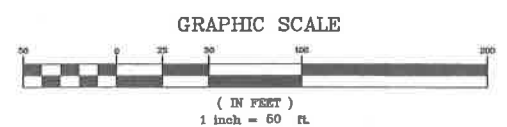
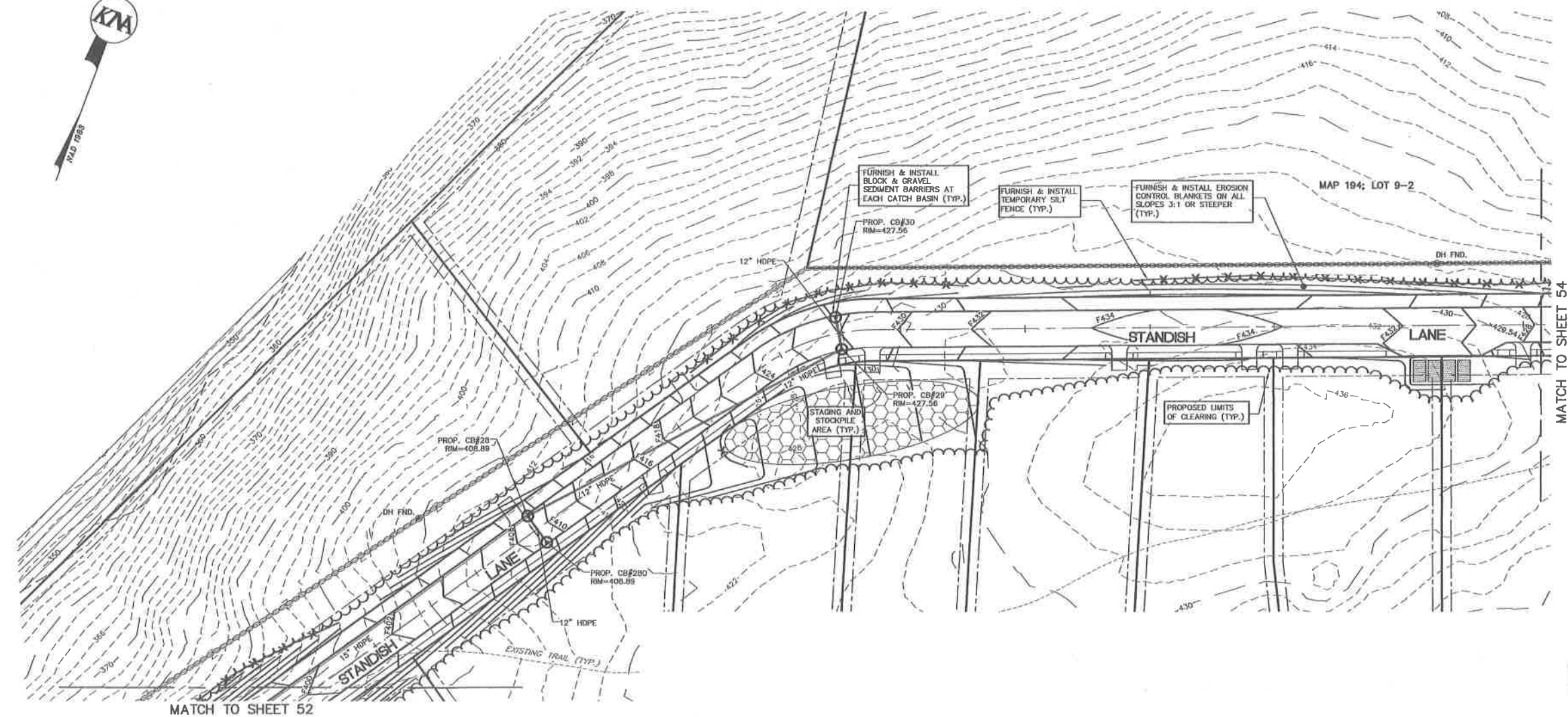
N:\project\10202\102021.dwg - ROADWAY.dwg, EROSION (50-43), 6/28/2015 2:30:57 PM, rnews












SEE SHEET 50 FOR NOTES

LOAM & SEED ALL DISTURBED AREAS (TYP.)

FURNISH & INSTALL EROSION CONTROL BLANKETS ON ALL SLOPES 3:1 OR STEEPER (TYP.)



EROSION & SEDIMENT CONTROL LEGEND

-  PERMANENT OUTLET PROTECTION APRON (RIP RAP)
-  TEMPORARY BLOCK AND GRAVEL SEDIMENT BARRIERS AT ALL CATCH BASINS
-  SILT FENCE
-  STRAW BALE BARRIER
-  TEMPORARY STONE CHECK DAM
-  LIMITS OF CLEARING
-  STABILIZED CONSTRUCTION EXIT
-  NON DISTURBANCE AREA
-  STAGING AND STOCKPILE AREA

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GRADING, DRAINAGE AND EROSION CONTROL PLAN
EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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 10 Commerce Park North, Suite 2B, Bedford, NH 03110 Phone (603) 627-2881



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1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: 1" = 50'
 PROJECT NO: 11-0202-1 SHEET 53 OF 102

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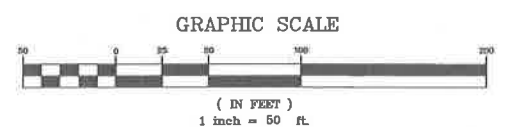
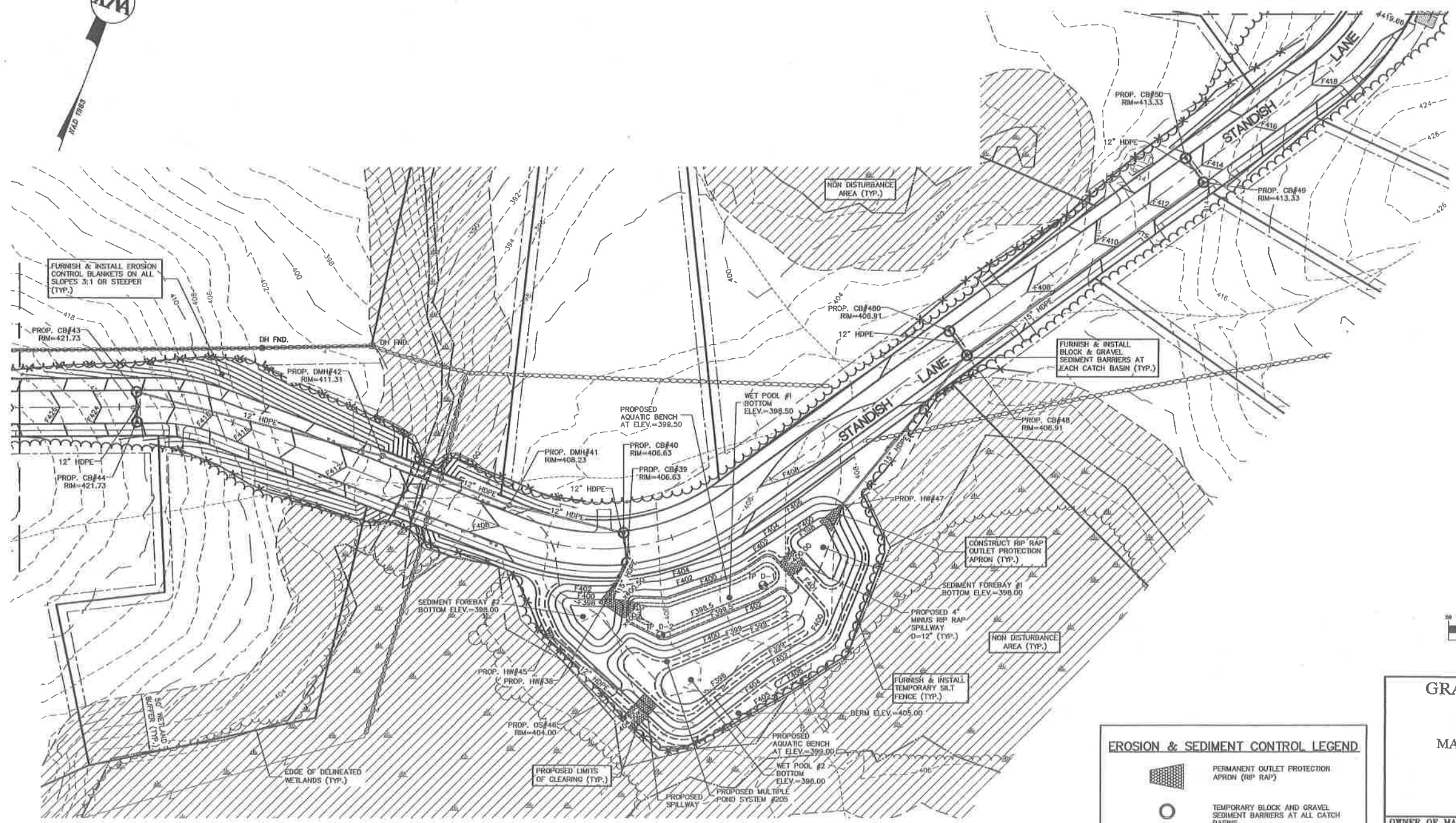
SEE SHEET 50 FOR NOTES

LOAM & SEED ALL DISTURBED AREAS (TYP.)










FURNISH & INSTALL EROSION CONTROL BLANKETS ON ALL SLOPES 3:1 OR STEEPER (TYP.)

MATCH TO SHEET 55

MATCH TO SHEET 53



EROSION & SEDIMENT CONTROL LEGEND

-  PERMANENT OUTLET PROTECTION APRON (RIP RAP)
-  TEMPORARY BLOCK AND GRAVEL SEDIMENT BARRIERS AT ALL CATCH BASINS
-  SILT FENCE
-  STRAW BALE BARRIER
-  TEMPORARY STONE CHECK DAM
-  LIMITS OF CLEARING
-  STABILIZED CONSTRUCTION EXIT
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GRADING, DRAINAGE AND EROSION CONTROL PLAN
EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24: LOT 20-4
MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC, 21 CONTINENTAL BOULEVARD, MERRIMACK, NH 03054

OWNER OF MAP 186; LOT 20-4: KELLY A. TRUDEL, 11 KARAS CROSSING DRIVE, HUDSON, NH 03051

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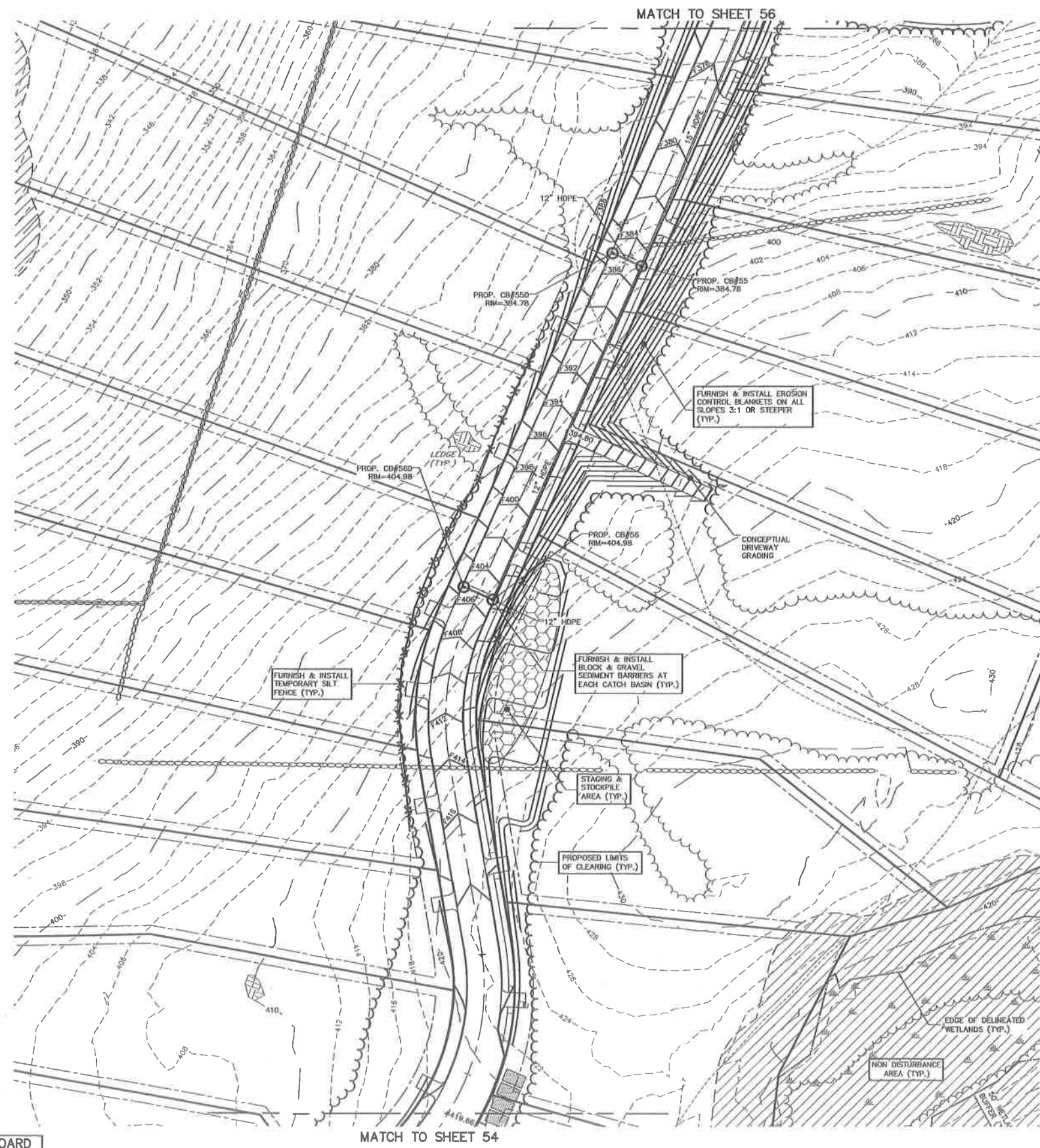
REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/30/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: 1" = 50'
 PROJECT NO: 11-0202-1 SHEET 54 OF 102

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

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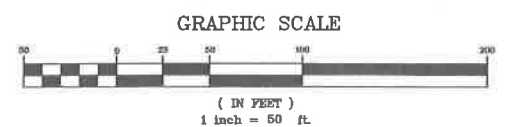
SEE SHEET 50 FOR NOTES

LOAM & SEED ALL DISTURBED AREAS (TYP.)

FURNISH & INSTALL EROSION CONTROL BLANKETS ON ALL SLOPES 3:1 OR STEEPER (TYP.)

EROSION & SEDIMENT CONTROL LEGEND

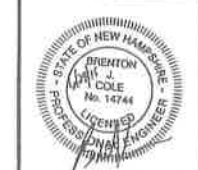
- PERMANENT OUTLET PROTECTION APRON (RIP RAP)
- TEMPORARY BLOCK AND GRAVEL SEDIMENT BARRIERS AT ALL CATCH BASINS
- SILT FENCE
- STRAW BALE BARRIER
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- LIMITS OF CLEARING
- STABILIZED CONSTRUCTION EXIT
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GRADING, DRAINAGE AND EROSION CONTROL PLAN
EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

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 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 302, Bedford, NH 03110 Phone (603) 627-2861



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1	04/28/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/16/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: 1" = 50'
 PROJECT NO: 11-0202-1 SHEET 55 OF 102

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

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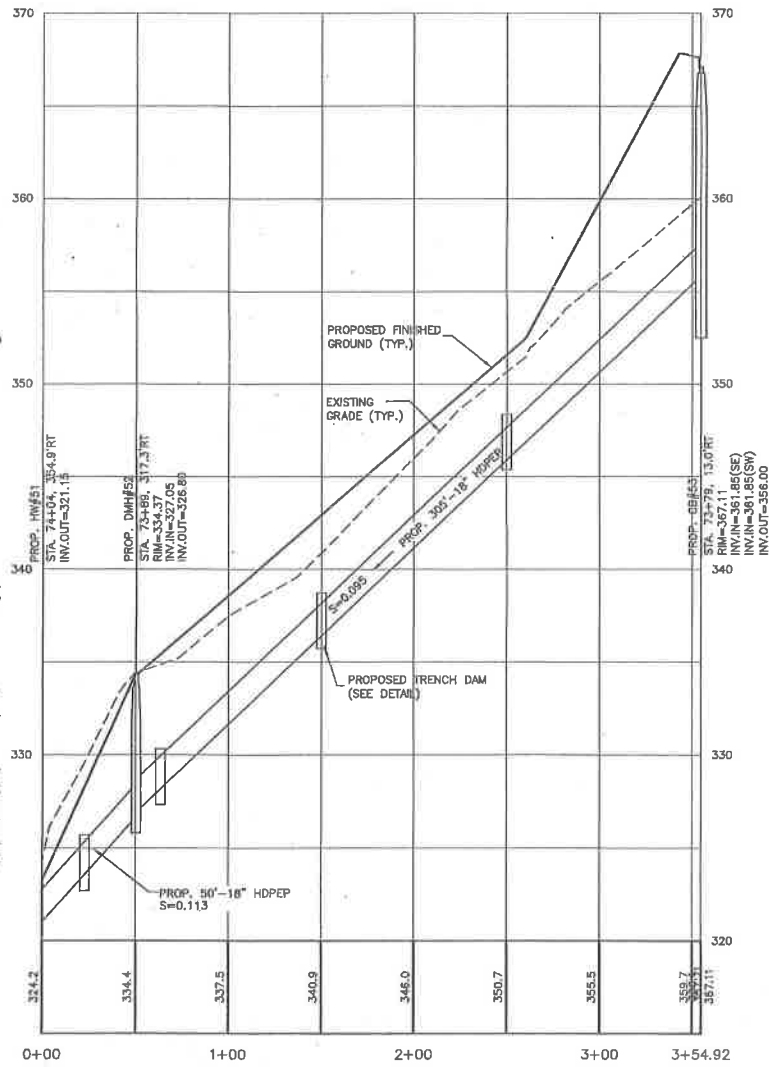
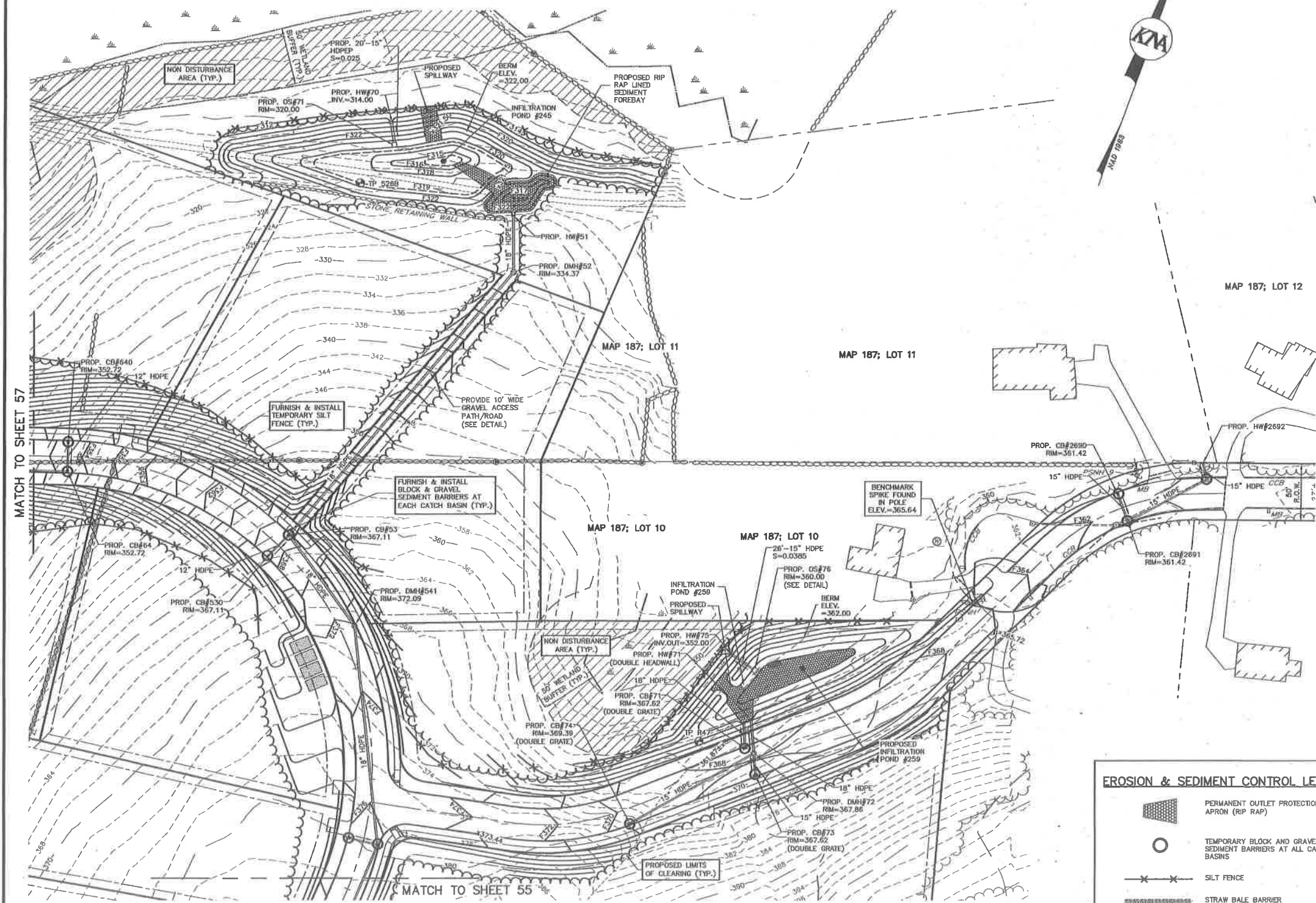


N:_proj\110202\1102021\1102021.dwg, EROSION (54-57), 6/29/2015 2:22:56 PM, News

FURNISH & INSTALL EROSION CONTROL BLANKETS ON ALL SLOPES 3:1 OR STEEPER (TYP.)

SEE SHEET 50 FOR NOTES

LOAM & SEED ALL DISTURBED AREAS (TYP.)



DRAINAGE PROFILE (PROP. HW#51 TO PROP. CB#53)
SCALE: 1" = 50' (HORIZ.)
1" = 5' (VERT.)

EROSION & SEDIMENT CONTROL LEGEND

	PERMANENT OUTLET PROTECTION APRON (RIP RAP)
	TEMPORARY BLOCK AND GRAVEL SEDIMENT BARRIERS AT ALL CATCH BASINS
	SILT FENCE
	STRAW BALE BARRIER
	TEMPORARY STONE CHECK DAM
	LIMITS OF CLEARING
	STABILIZED CONSTRUCTION EXIT
	NON DISTURBANCE AREA
	STAGING AND STOCKPILE AREA

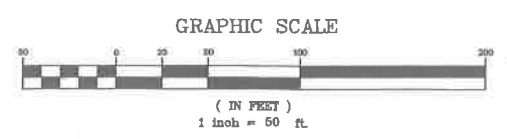
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GRADING, DRAINAGE AND EROSION CONTROL PLAN
EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

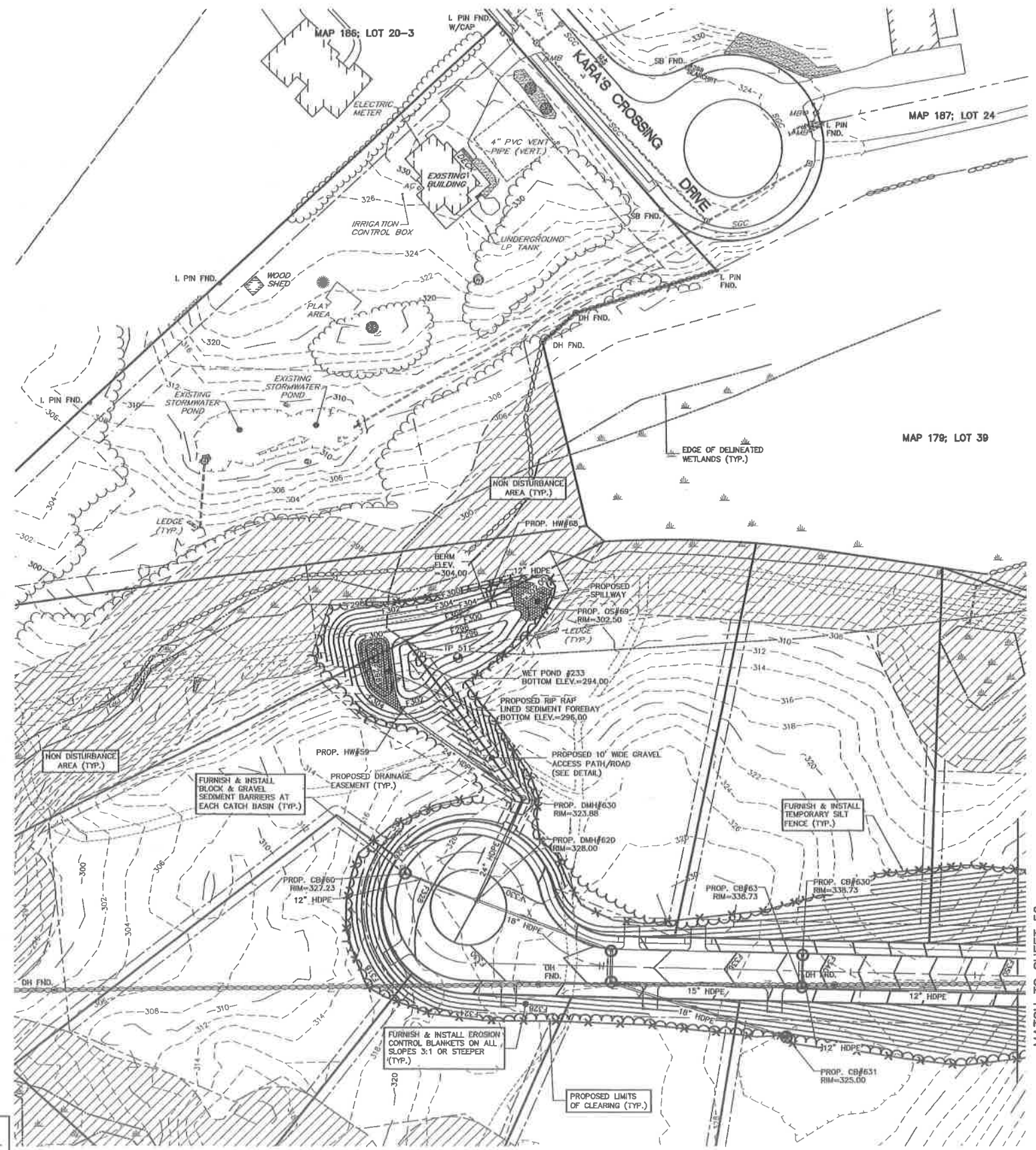
OWNER OF MAP 186: LOT 24, MAP 184: LOTS 9 & 10 & MAP 195: LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186: LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201: LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: 1" = 50'
PROJECT NO: 11-0202-1 SHEET 56 OF 102

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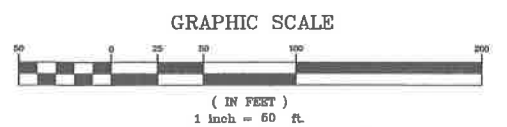
SEE SHEET 50 FOR NOTES

LOAM & SEED ALL DISTURBED AREAS (TYP.)

FURNISH & INSTALL EROSION CONTROL BLANKETS ON ALL SLOPES 3:1 OR STEEPER (TYP.)

EROSION & SEDIMENT CONTROL LEGEND

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GRADING, DRAINAGE AND EROSION CONTROL PLAN
EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
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 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 184; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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REVISIONS

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DATE: JANUARY 7, 2015 SCALE: 1" = 50'
 PROJECT NO: 11-0202-1 SHEET 57 OF 102

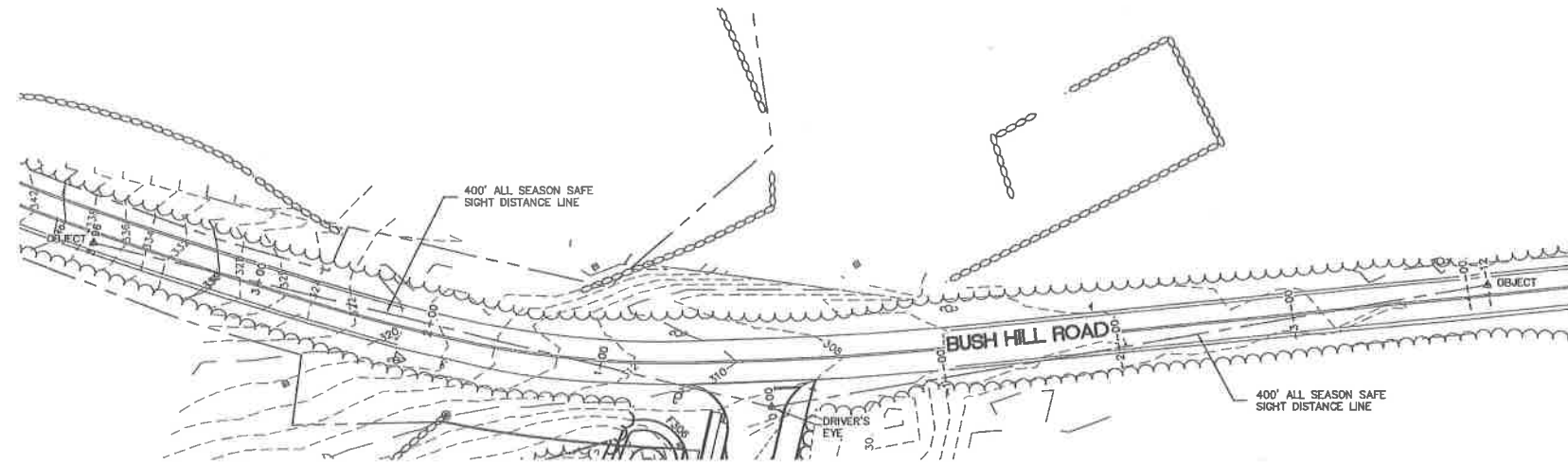
PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

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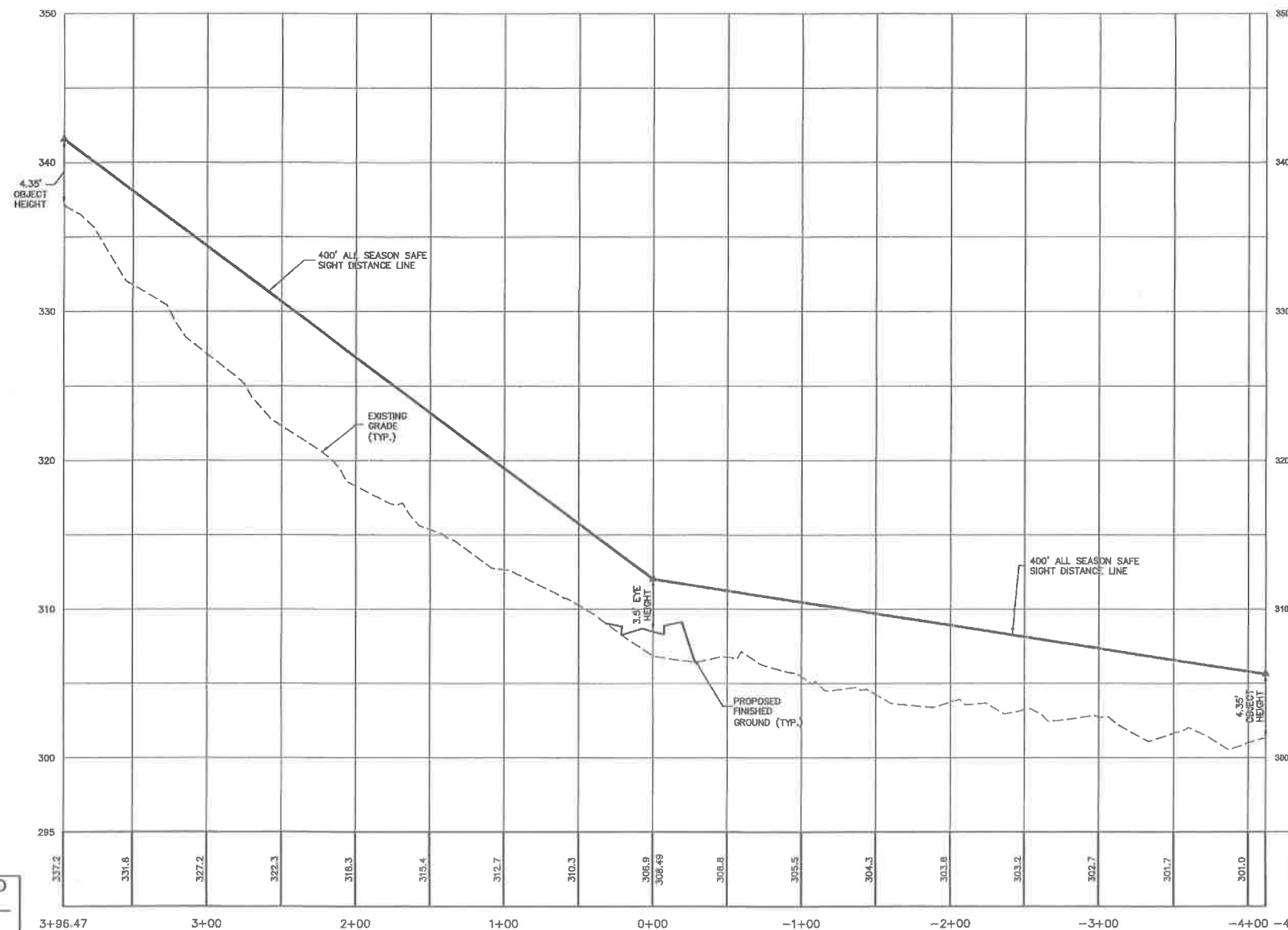


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FRANKLIN STREET SIGHT DISTANCE PLAN

SCALE: 1" = 50'



FRANKLIN STREET SIGHT DISTANCE PROFILE

SCALE: 1" = 50' (HORIZ.)
1" = 5' (VERT.)



GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.

SIGHT DISTANCE PLAN & PROFILE
FRANKLIN STREET
EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

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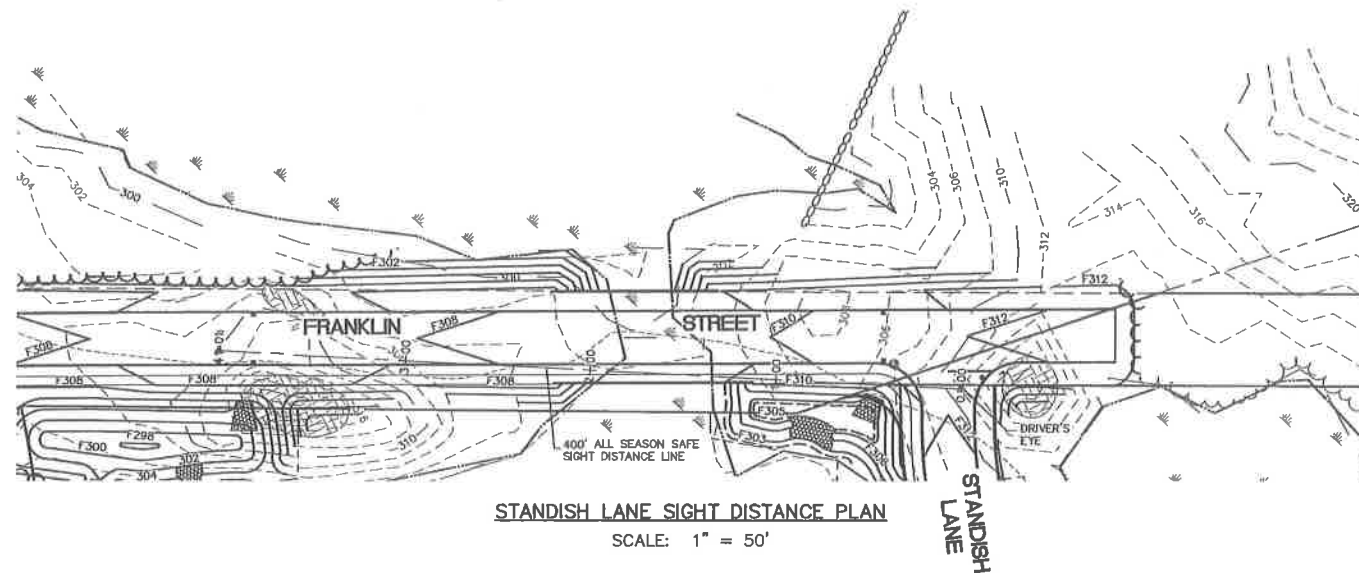
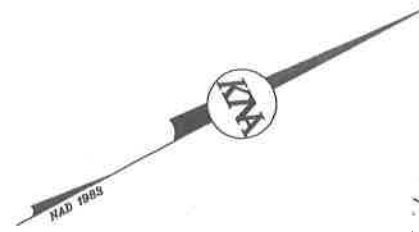
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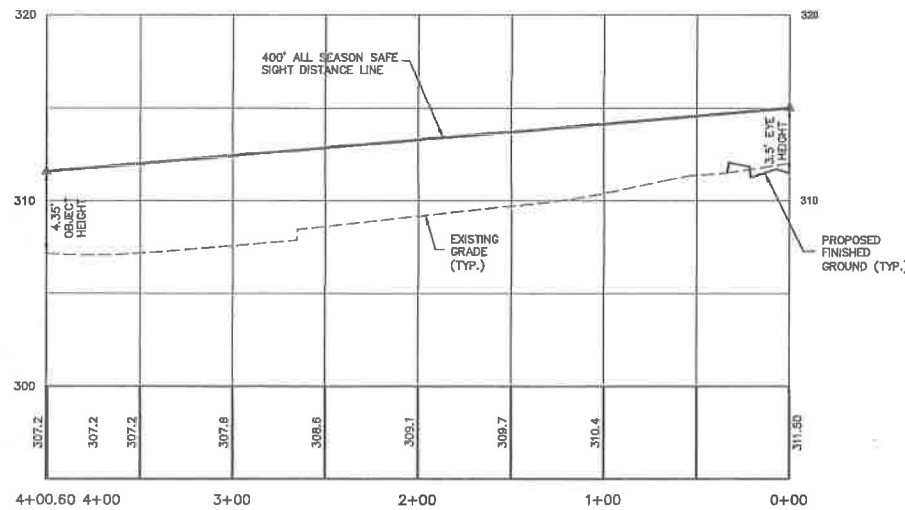
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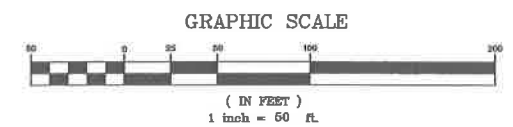
DATE: JANUARY 7, 2015 SCALE: 1" = 50'
PROJECT NO: 11-0202-1 SHEET 58 OF 102



STANDISH LANE SIGHT DISTANCE PLAN
SCALE: 1" = 50'



STANDISH LANE SIGHT DISTANCE PROFILE
SCALE: 1" = 50' (HORIZ.)
1" = 5' (VERT.)



SIGHT DISTANCE PLAN & PROFILE
STANDISH LANE
EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

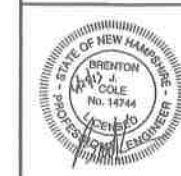
OWNER OF MAP 186: LOT 24 MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 188: LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201: LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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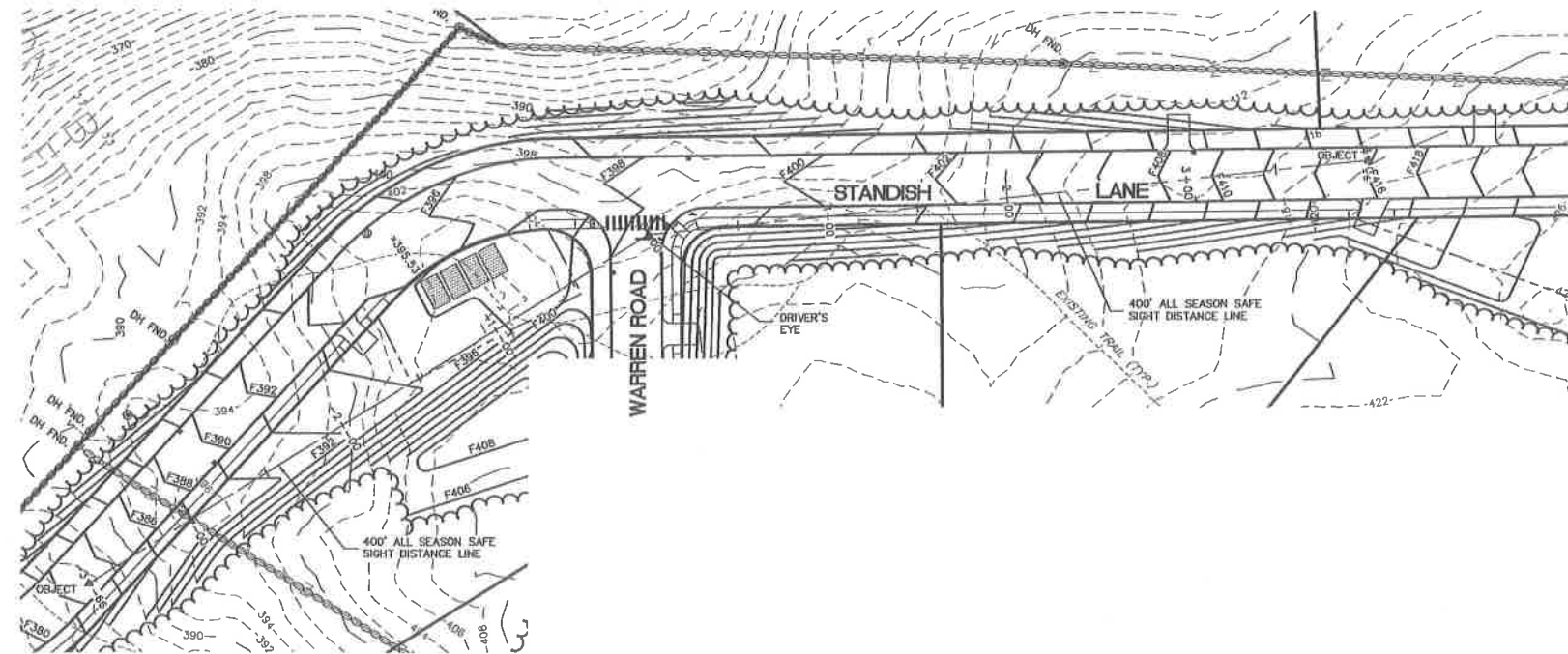
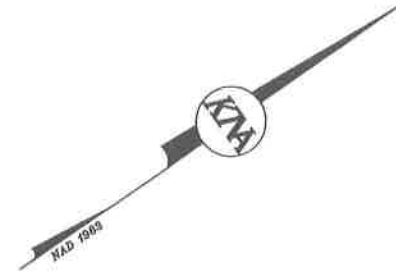
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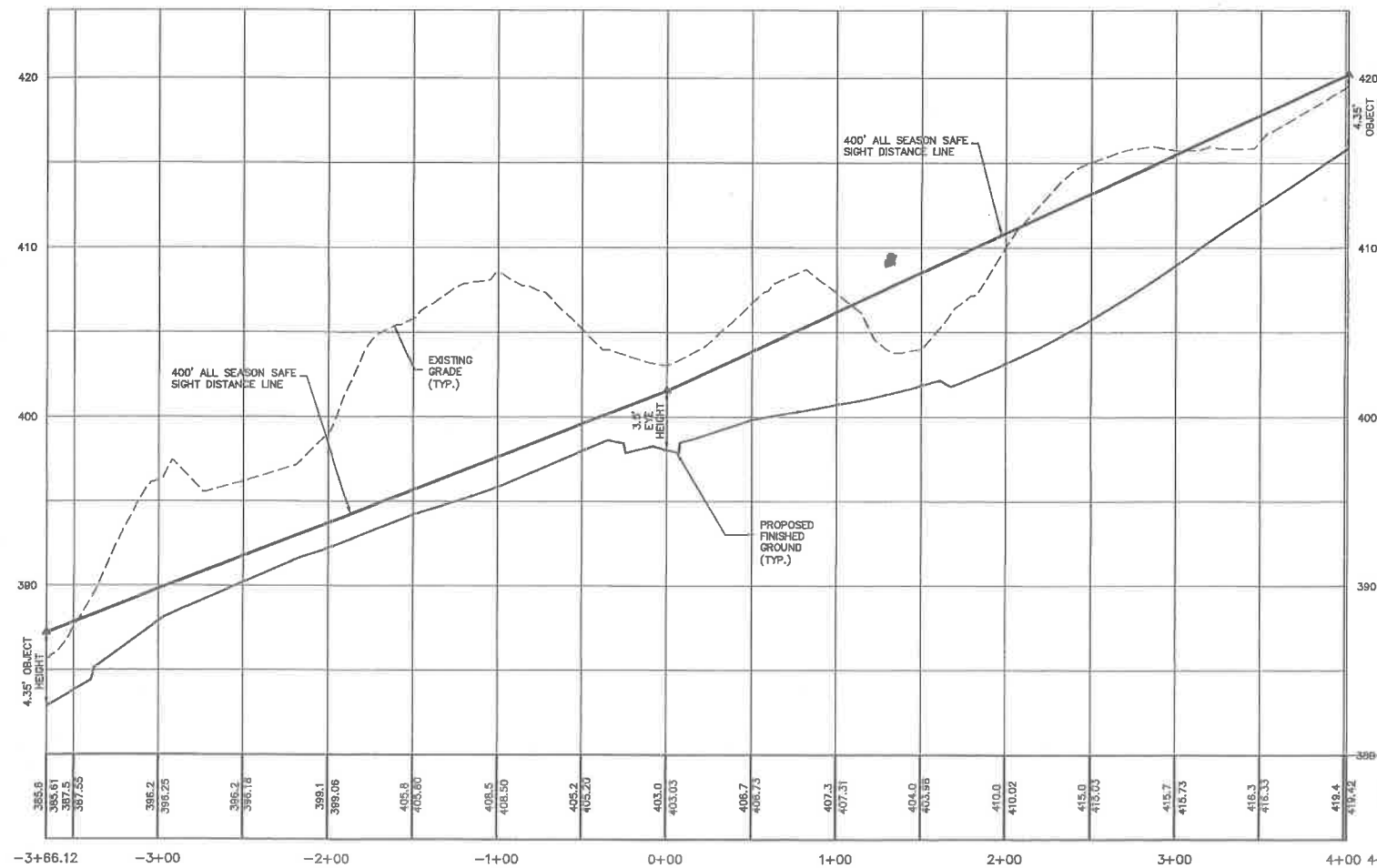
DATE: JANUARY 7, 2015
PROJECT NO: 11-0202-1

SCALE: 1" = 50'
SHEET 59 OF 102



WARREN ROAD SIGHT DISTANCE PLAN

SCALE: 1" = 50'

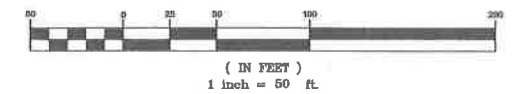


WARREN ROAD SIGHT DISTANCE PROFILE

SCALE: 1" = 50' (HORIZ.)
1" = 5' (VERT.)



GRAPHIC SCALE

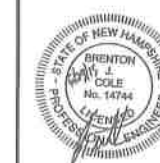


SIGHT DISTANCE PLAN & PROFILE
WARREN ROAD
EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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Civil Engineering Land Surveying Landscape Architecture
10 Commerces Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS				
No.	DATE	DESCRIPTION	BY	
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JOM	
2	06/16/15	REVISED PER TOWN COMMENTS	JOM	

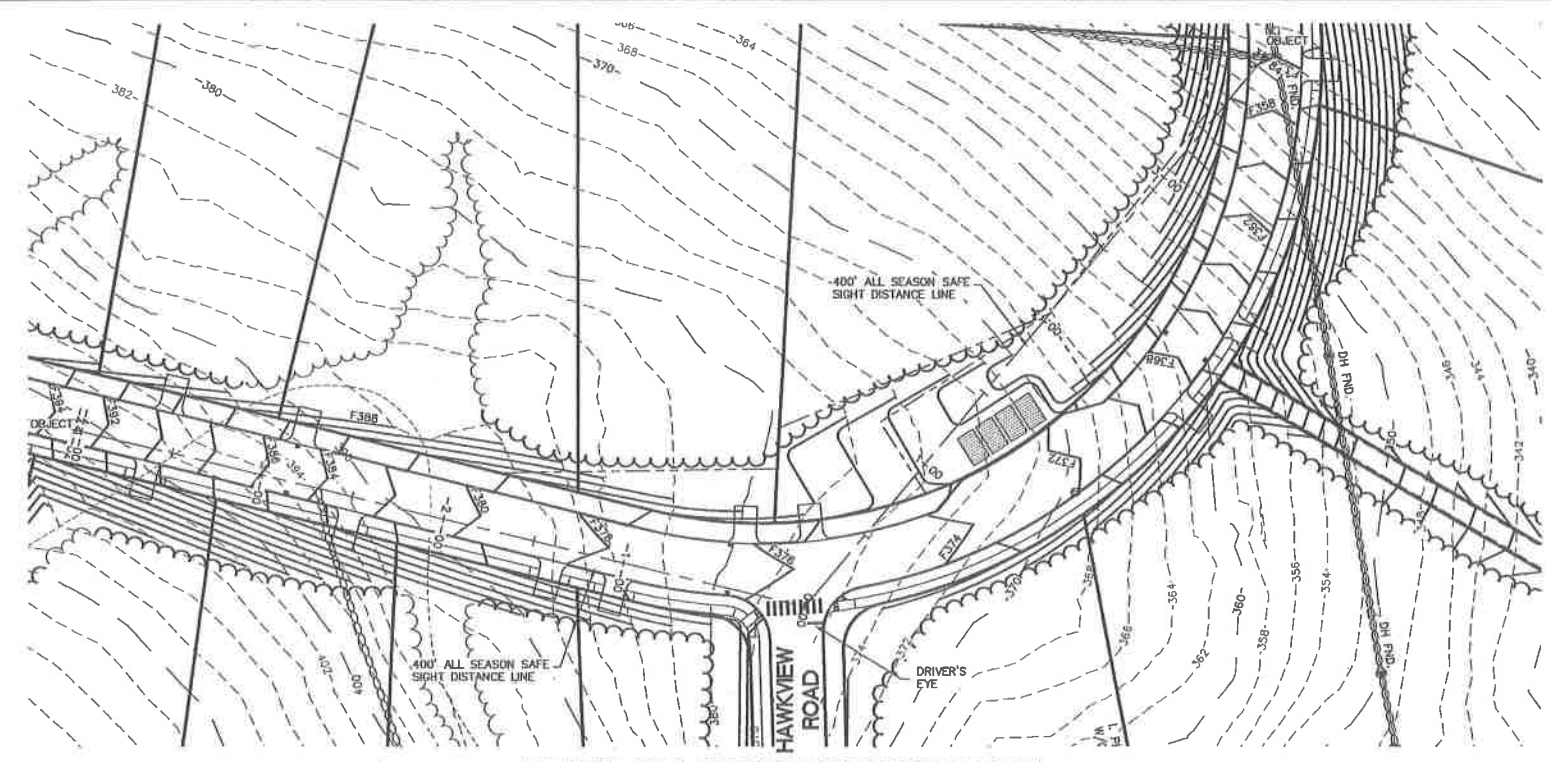
DATE: JANUARY 7, 2015 SCALE: 1" = 50'
PROJECT NO: 11-0202-1 SHEET 60 OF 102

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

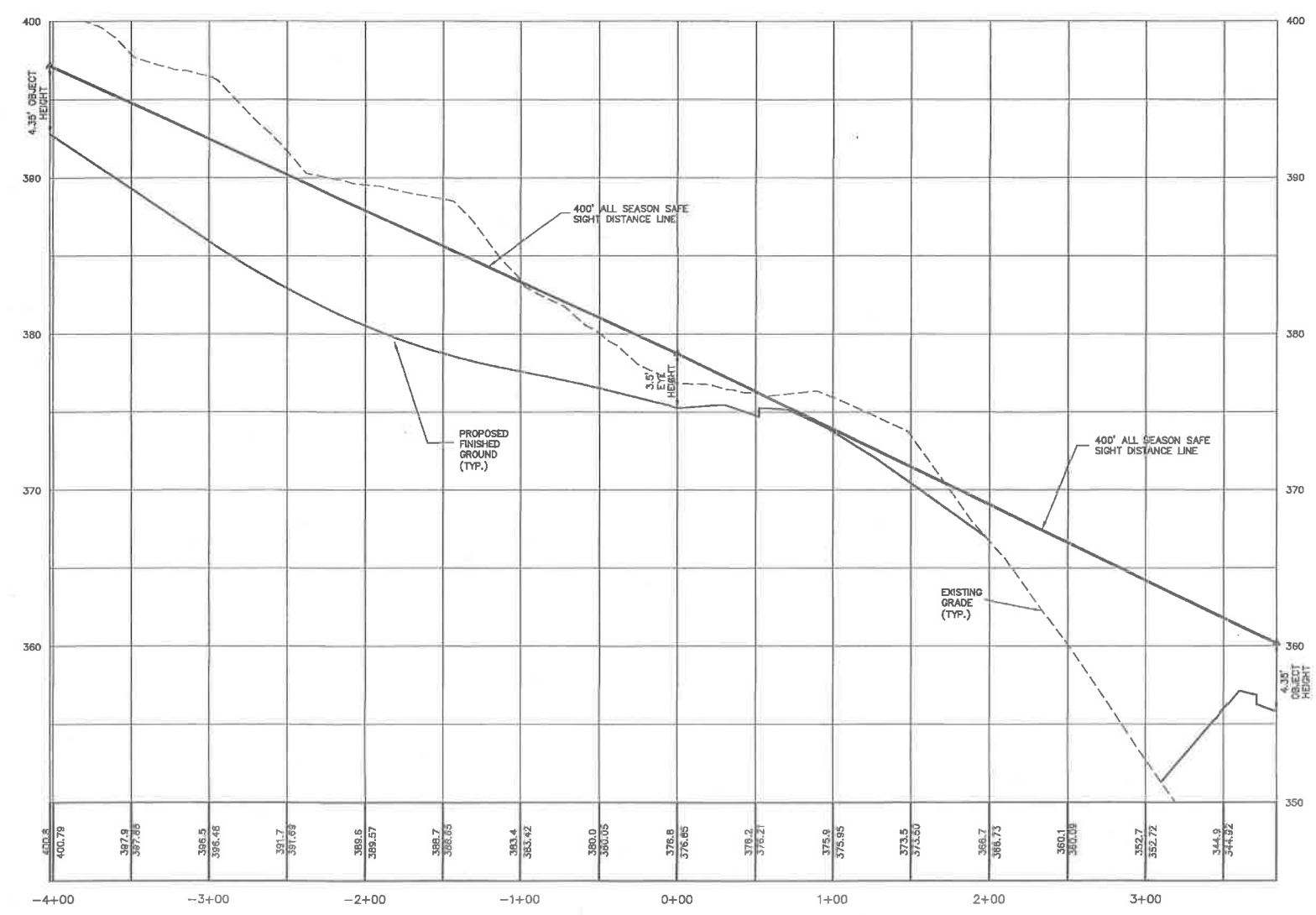
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____

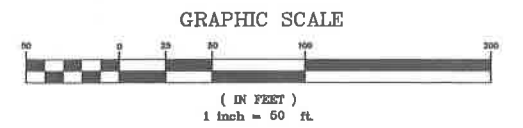
SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



HAWKVIEW ROAD EXTENSION SIGHT DISTANCE PLAN
SCALE: 1" = 50'



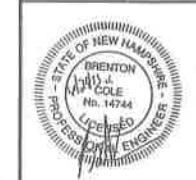
HAWKVIEW ROAD EXTENSION SIGHT DISTANCE PROFILE
SCALE: 1" = 50' (HORIZ.)
1" = 5' (VERT.)



SIGHT DISTANCE PLAN & PROFILE
HAWKVIEW ROAD EXTENSION
EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186: LOT 24, MAP 194: LOTS 9 & 10 & MAP 195: LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC. 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186: LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201: LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENISE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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10 Commerce Park North, Suite 38, Bedford, NH 03110 Phone (603) 687-2881



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1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
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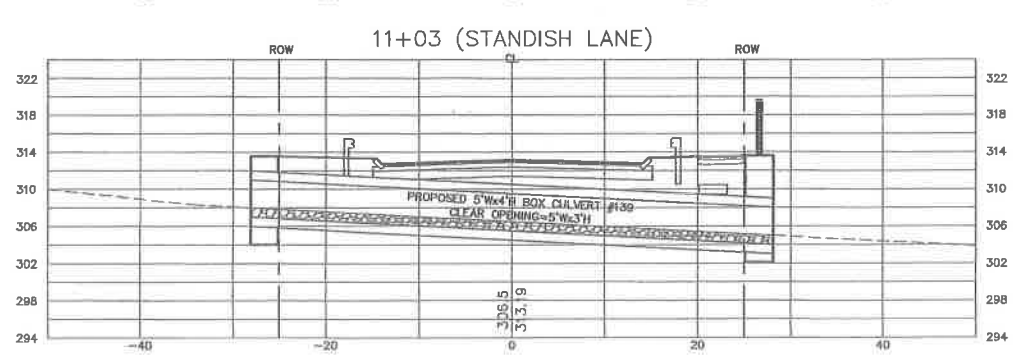
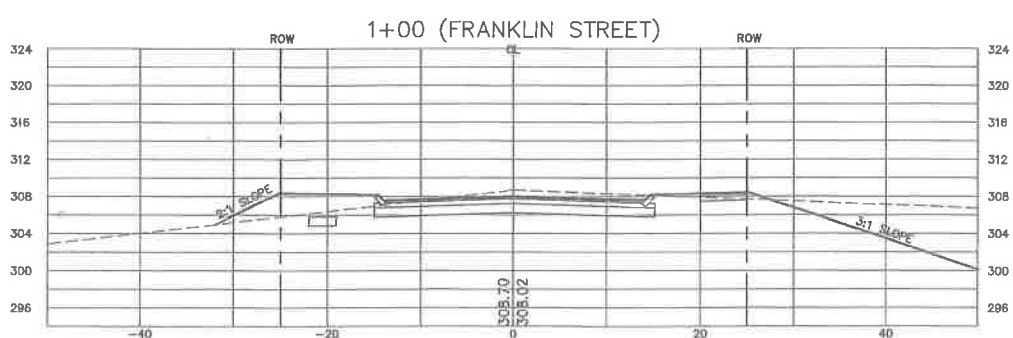
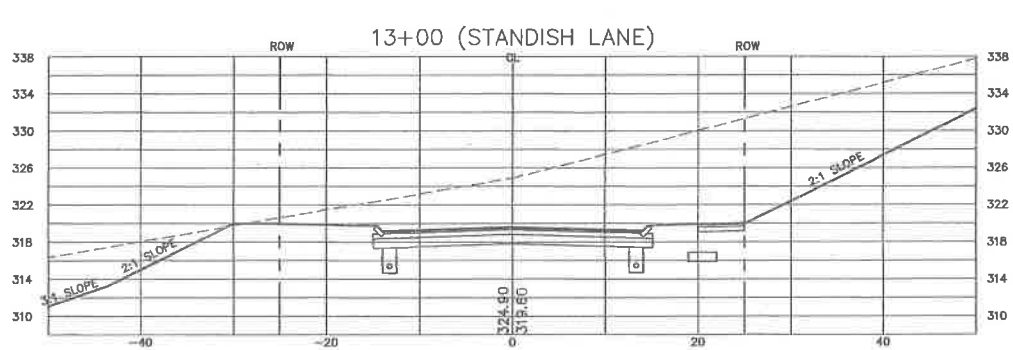
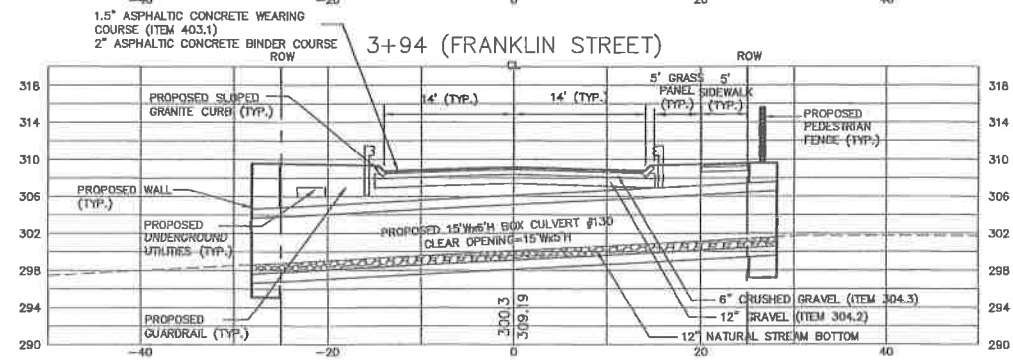
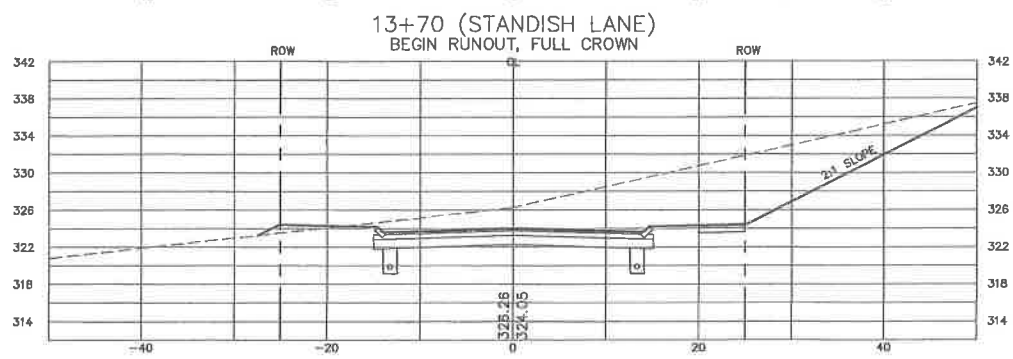
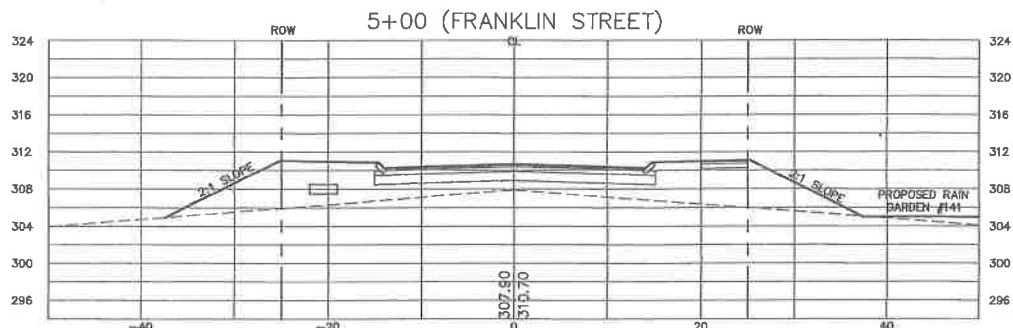
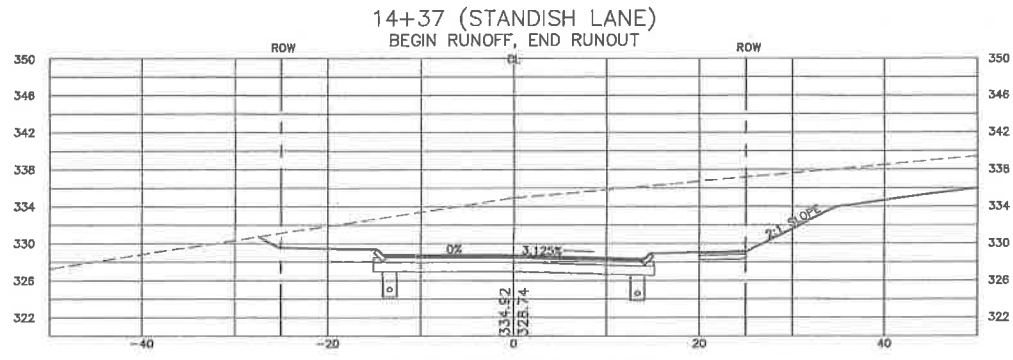
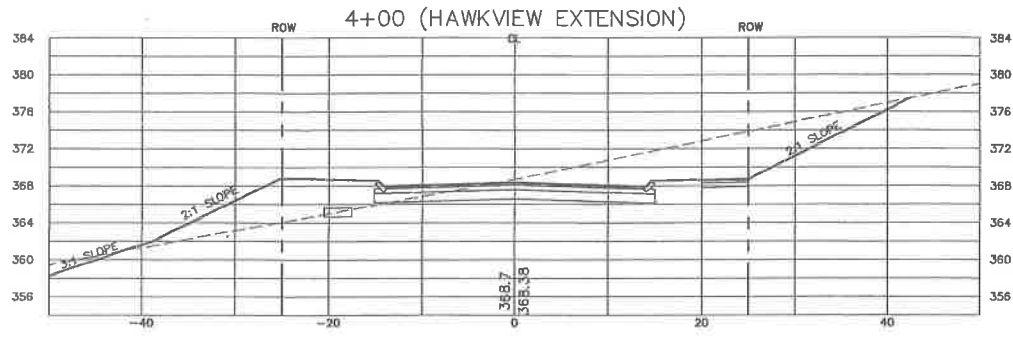
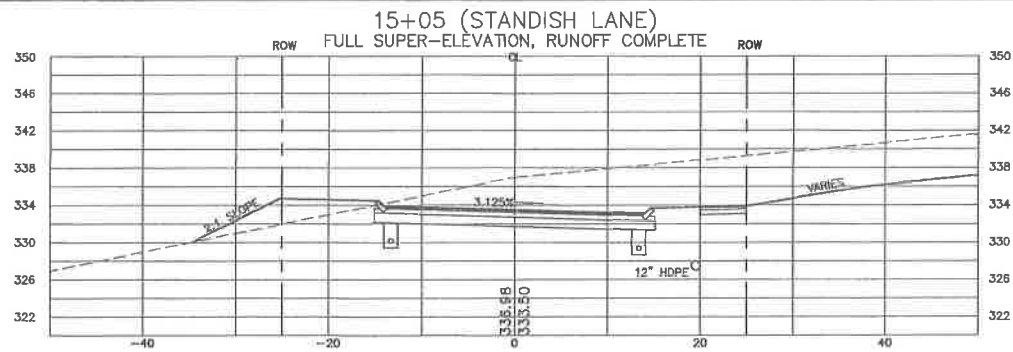
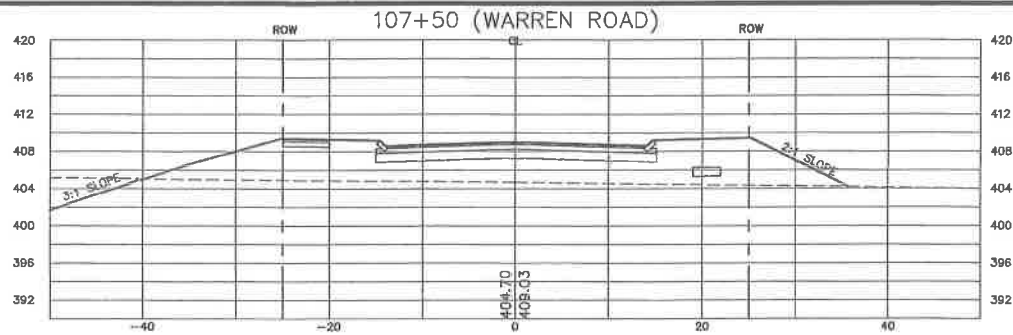
DATE: JANUARY 7, 2015 SCALE: 1" = 50'
PROJECT NO: 11-0202-1 SHEET 61 OF 102

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

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CROSS SECTIONS

EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
 MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

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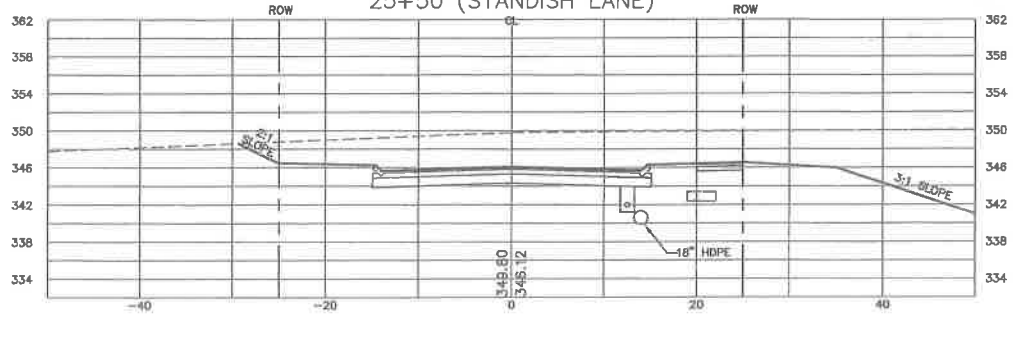
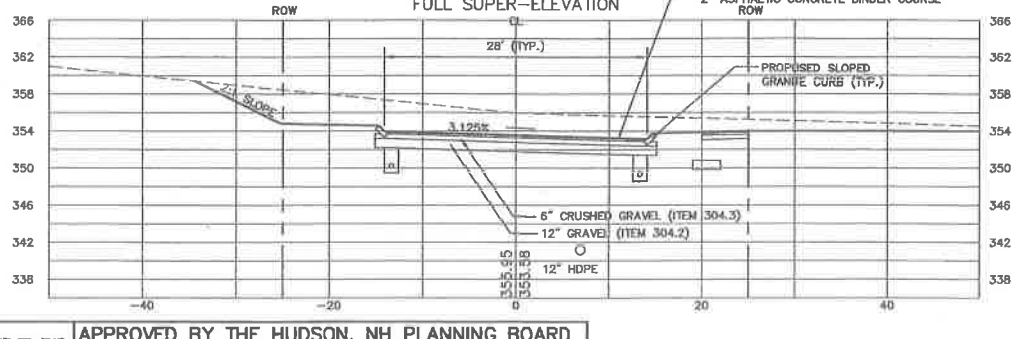
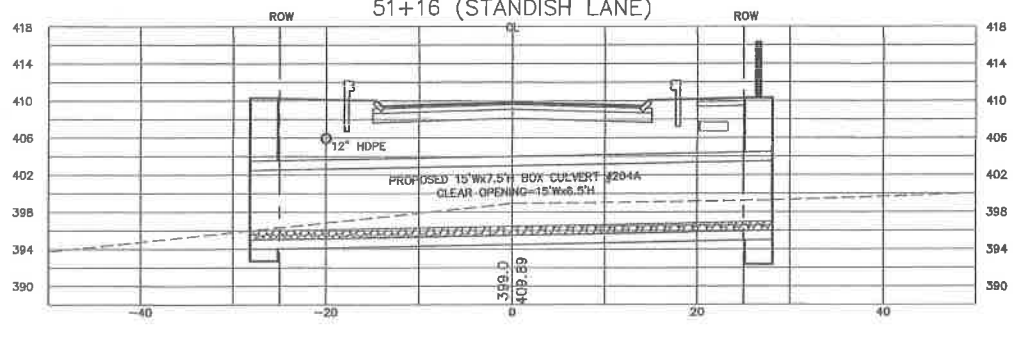
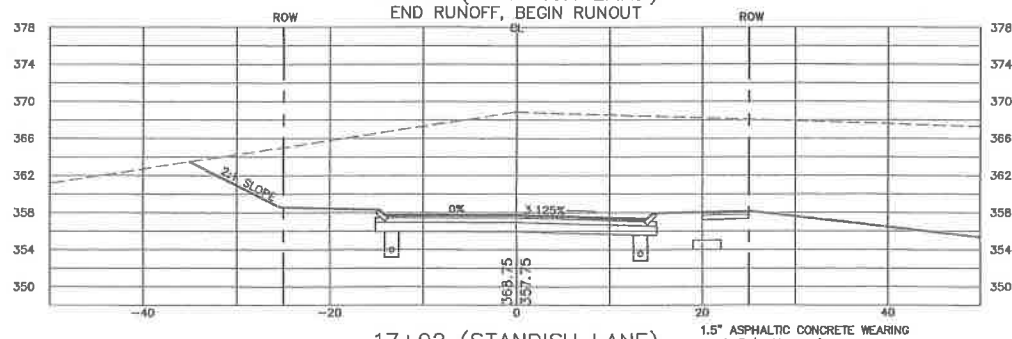
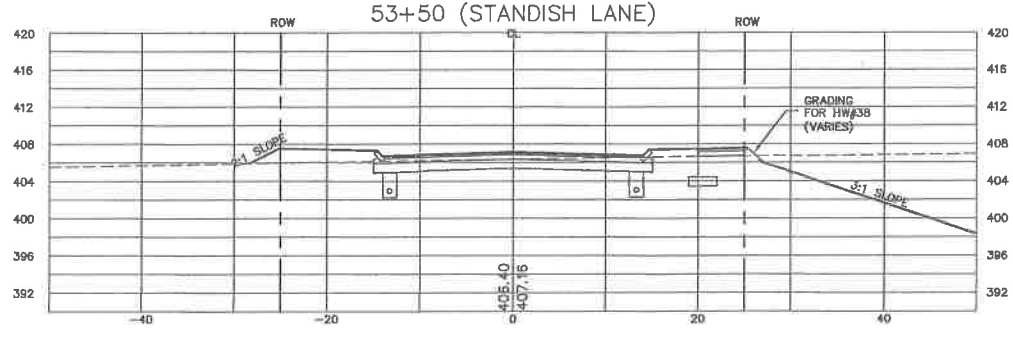
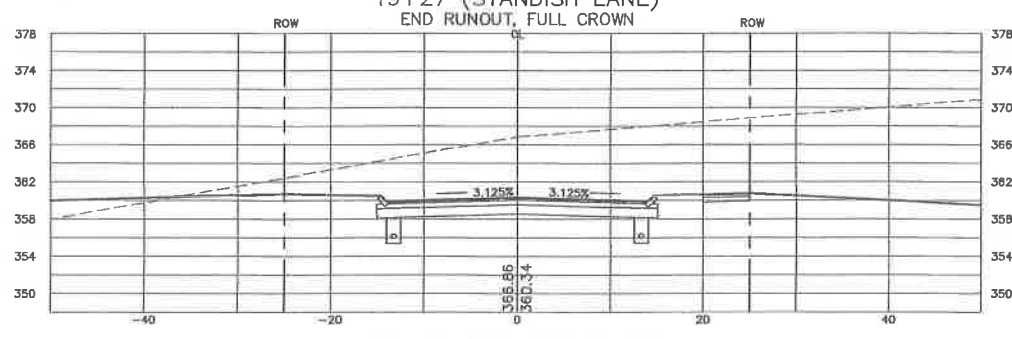
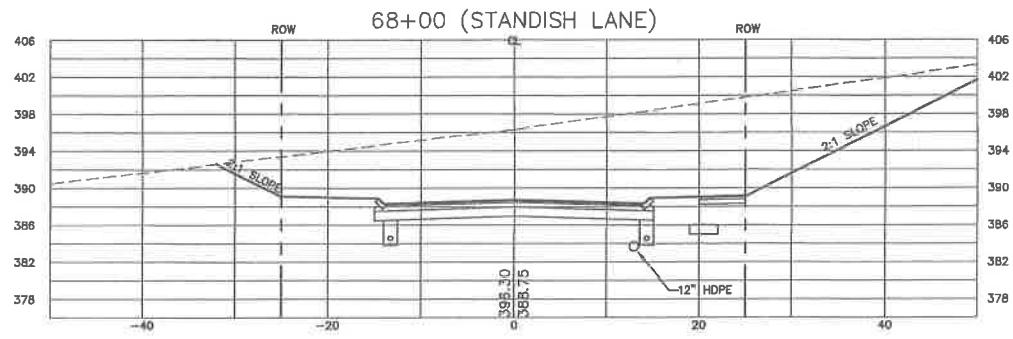
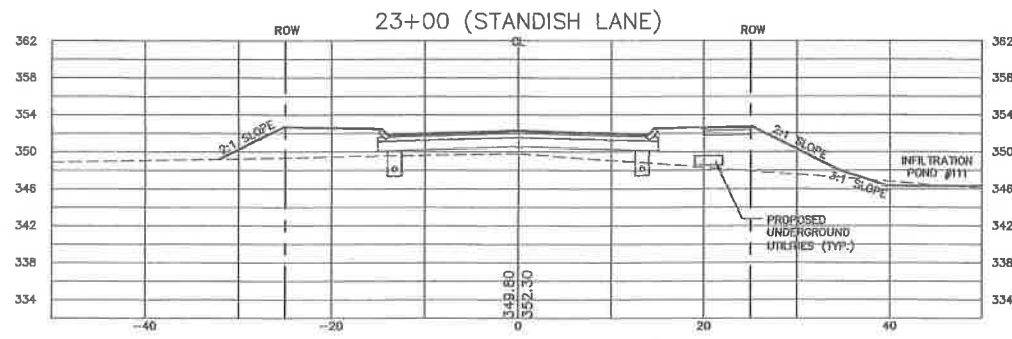
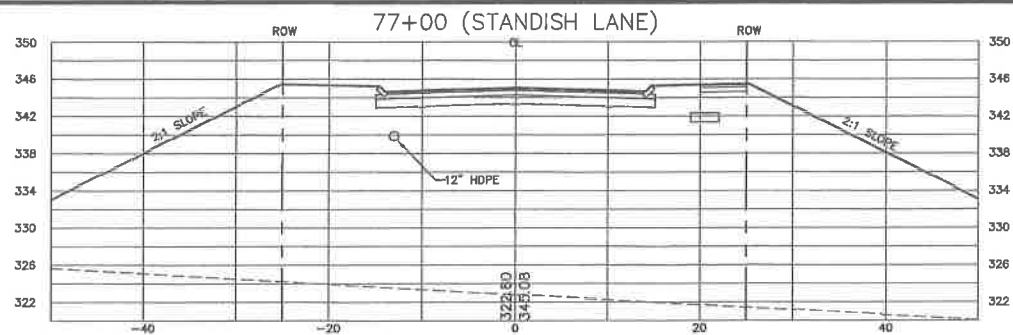
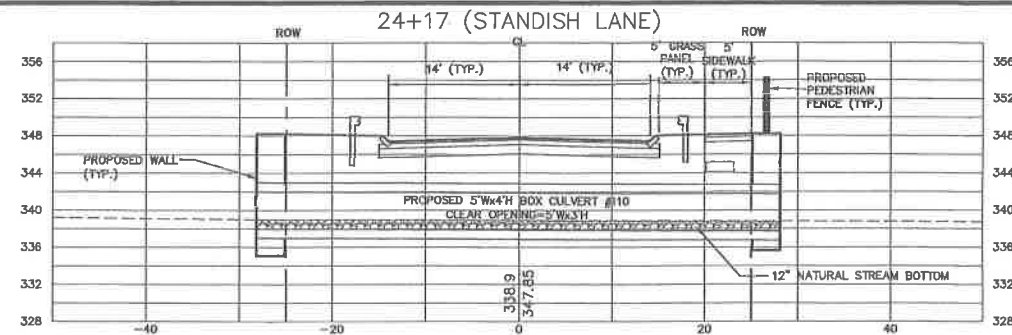
DATE: JANUARY 7, 2015 SCALE: 1" = 10'
 PROJECT NO: 11-0202-1 SHEET 62 OF 102

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

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CROSS SECTIONS

EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
 MAP 195; LOT 1, AND MAP 201; LOT 7
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 HUDSON, NEW HAMPSHIRE
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OWNER OF MAP 186: LOT 24, MAP 194: LOTS 9 & 10 & MAP 195: LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC, 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186: LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201: LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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KM KEACH-NORDSTROM ASSOCIATES, INC.
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 10 Commerce Park North, Suite 8B, Bedford, NH 03110 Phone (603) 627-8881

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1	04/26/15	REVISED PER TOWN & DES COMMENTS	JOM
2	06/18/15	REVISED PER TOWN COMMENTS	JOM

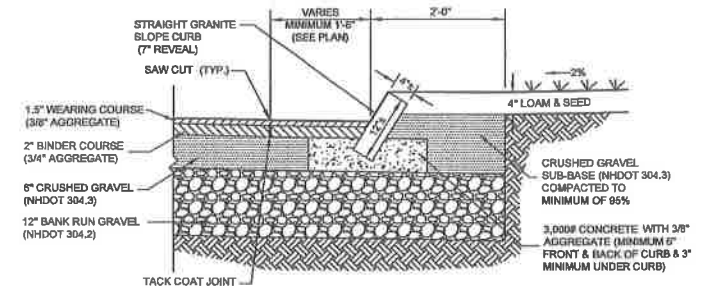
DATE: JANUARY 7, 2015 SCALE: 1" = 10'
 PROJECT NO: 11-0202-1 SHEET 63 OF 102

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

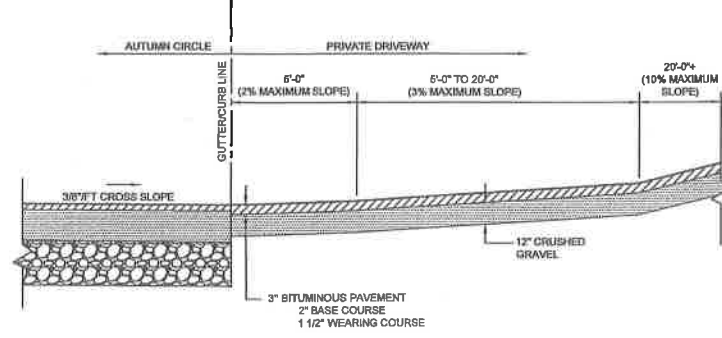
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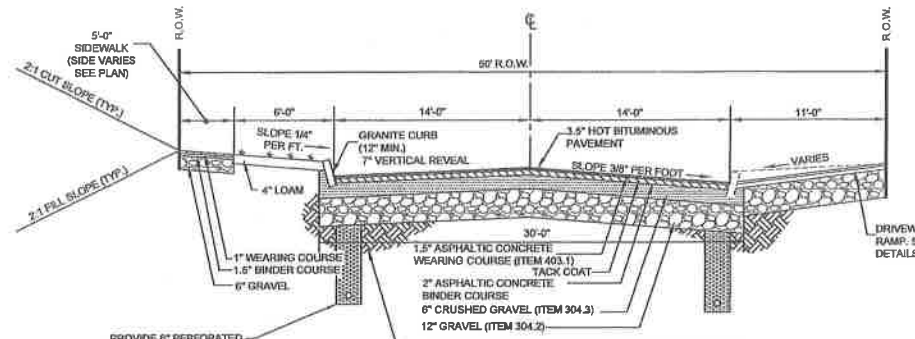
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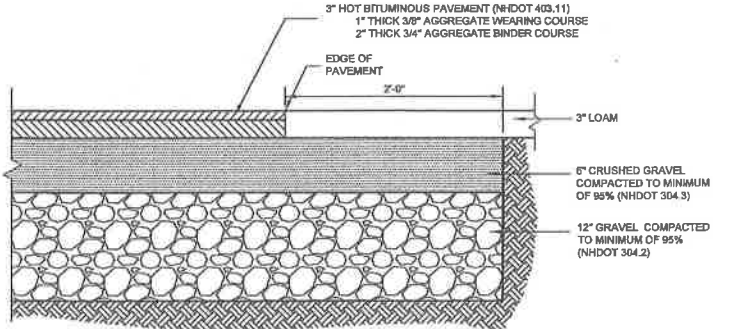
STRAIGHT GRANITE SLOPE CURB DETAIL
NOT TO SCALE
(MARCH 2008)



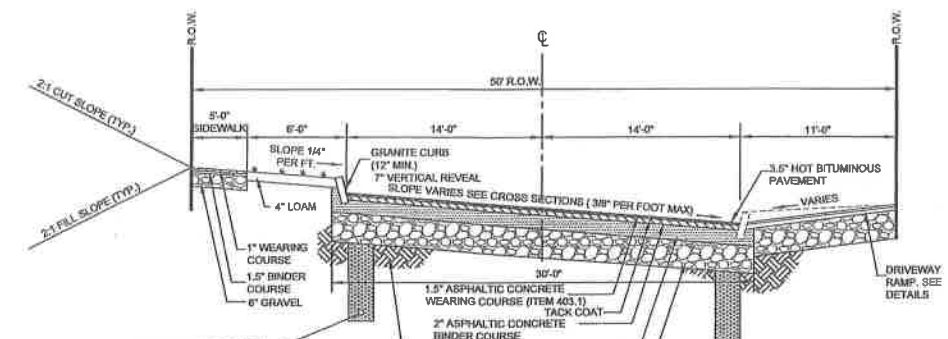
DRIVEWAY CROSS SECTION WITH NO SIDEWALK
NOT TO SCALE



TYPICAL ROADWAY CROSS SECTION FOR FRANKLIN STREET, WARREN ROAD, HAWKVIEW ROAD AND STANDISH LANE (STA. 10+00 - STA. 13+70 AND STA. 19+27 - STA. 83+59.39)
NOT TO SCALE

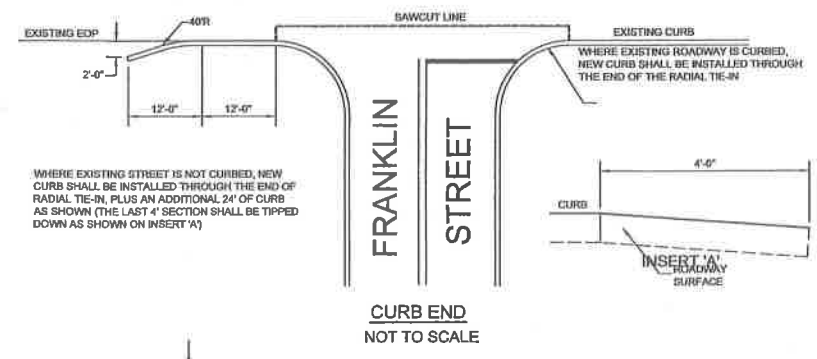


DRIVEWAY APRON SECTION
NOT TO SCALE
(MARCH 2008)

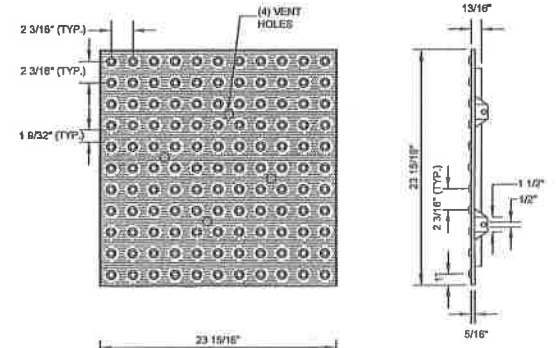


SUPER-ELEVATED ROADWAY CROSS SECTION FOR STANDISH LANE STA. 13+70 - STA. 19+27
NOT TO SCALE

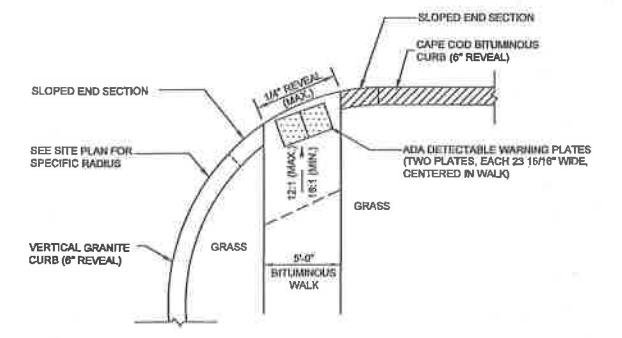
BUSH HILL ROAD



CURB END
NOT TO SCALE



24\"/>



SIDEWALK RAMP (OFF-SITE)
NOT TO SCALE
(MARCH 2008)

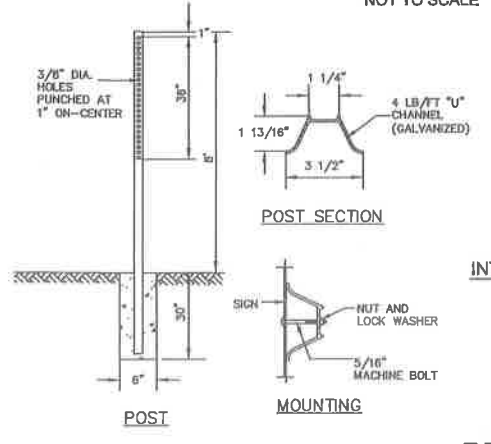


WETLAND CONSERVATION DISTRICT BOUNDARY MARKER
NOT TO SCALE
(MARCH 2010)



4\"/>

- NOTE:
1. MARKERS SHALL BE PLACED:
A. EVERY 100' ON BOUNDARY LINES BETWEEN RESIDENT LOTS AND OPEN SPACE; AND
B. AT ANY POINT IN WHICH A BOUNDARY LINE CHANGES BEARING DIRECTION.



TYPICAL SIGN POST DETAIL
NOT TO SCALE



INTERSECTION SIGN DETAIL
NOT TO SCALE



TYPICAL SIGN PLATE DETAILS
NOT TO SCALE

- NOTES:
1. DETECTABLE WARNING PLATE SHALL BE NEENAH FOUNDRY OR APPROVED EQUAL.
2. THE PLATE MUST COMPLY WITH ADAAG (AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES) AND ARCHITECTURAL BARRIER ACT GUIDELINES.
3. MATERIAL SHALL BE CAST GRAY IRON.
4. FINISH: NO PAINT.

24\"/>

- NOTES:
1. STREET NAME SIGNS SHALL BE METAL, IN CONFORMITY WITH NEW SIGNS PURCHASED BY THE TOWN, TWO-FACED AND REFLECTORIZED, SIX INCHES HIGH WITH THREE-AND-ONE-HALF-INCH LETTERS EMBOSSED AND REFLECTORIZED WITH GREEN BACKGROUND AND WHITE LETTERS, OF ALUMINUM METAL.

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CONSTRUCTION DETAILS

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HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

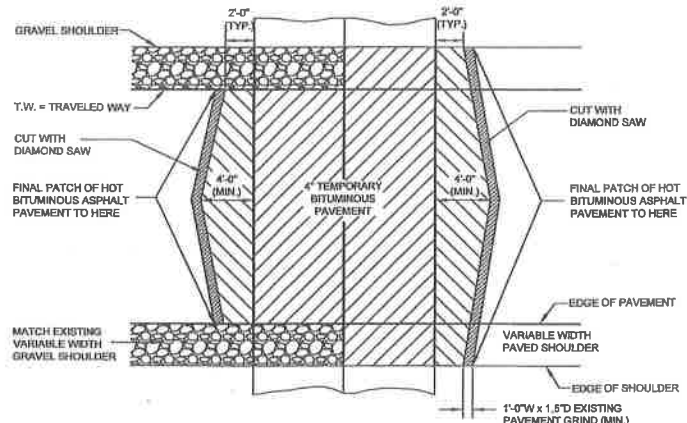
OWNER OF MAP 186: LOT 24, MAP 194: LOTS 9 & 10 & MAP 195: LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC, 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186: LOT 20-4, LOT 20-4, KELLY A. TRUDEL, 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201: LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST, MARIO & DENYSE PLANTE, TRUSTEES, 9 OLD DERRY ROAD HUDSON, NH 03051
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K/A REACH-NORDSTROM ASSOCIATES, INC.
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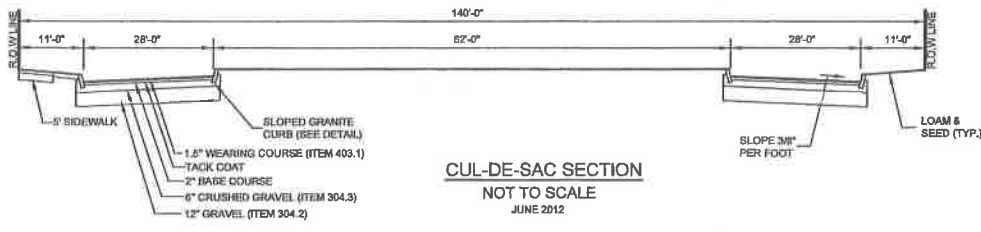
REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JIM
2	06/18/15	REVISED PER TOWN COMMENTS	JIM

DATE: JANUARY 7, 2015
PROJECT NO: 11-0202-1
SCALE: AS SHOWN
SHEET 64 OF 102

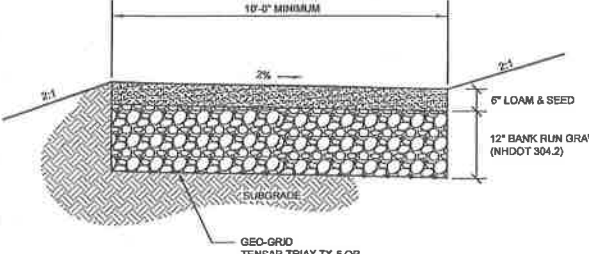
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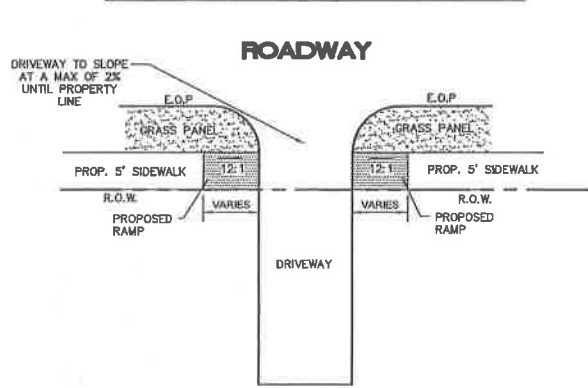
PERMANENT PAVEMENT REPAIR
NOT TO SCALE
(MARCH 2006)



CUL-DE-SAC SECTION
NOT TO SCALE
JUNE 2012



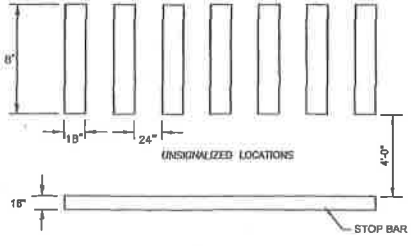
DRAINAGE ACCESS WAY DETAIL
NOT TO SCALE



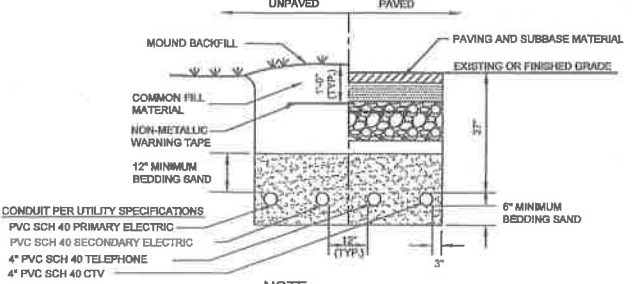
RAMP DETAIL AT DRIVEWAY
NOT TO SCALE



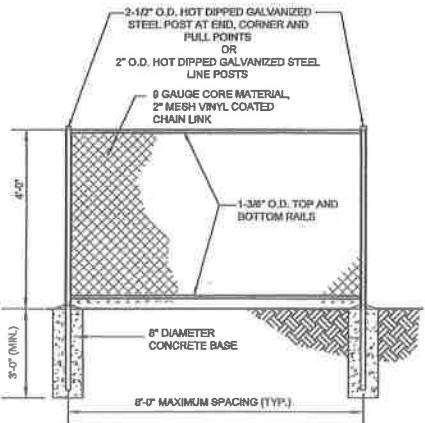
INTERSECTION SIGN DETAIL
NOT TO SCALE



PAVEMENT MARKINGS
NOT TO SCALE



UTILITY TRENCH DETAIL
NOT TO SCALE
(MARCH 2008)



CHAIN LINK FENCE DETAIL
NOT TO SCALE

BEST MANAGEMENT PRACTICES FOR BLASTING

IF MORE THAN 5000 CUBIC YARDS ARE BLASTED:
IDENTIFY DRINKING WATER WELLS LOCATED WITHIN 2000 FEET OF THE PROPOSED BLASTING ACTIVITIES. DEVELOP A GROUNDWATER QUALITY SAMPLING PROGRAM TO MONITOR FOR NITRATE AND NITRITE EITHER IN THE DRINKING WATER SUPPLY WELLS OR IN OTHER WELLS THAT ARE REPRESENTATIVE OF THE DRINKING WATER SUPPLY WELLS IN THE AREA. THE PLAN MUST INCLUDE PRE AND POST BLAST WATER QUALITY MONITORING AND BE APPROVED BY NHDES PRIOR TO INITIATING BLASTING. THE GROUNDWATER SAMPLING PROGRAM MUST BE IMPLEMENTED ONCE APPROVED BY NHDES.

BEST MANAGEMENT PRACTICES FOR BLASTING:
ALL ACTIVITIES RELATED TO BLASTING SHALL FOLLOW BEST MANAGEMENT PRACTICES (BMPs) TO PREVENT CONTAMINATION OF GROUNDWATER INCLUDING PREPARING, REVIEWING AND FOLLOWING AN APPROVED BLASTING PLAN; PROPER DRILLING EXPLOSIVE HANDLING AND LOADING PROCEDURES; OBSERVING THE ENTIRE BLASTING PROCEDURES; EVALUATING BLASTING PERFORMANCE; AND HANDLING AND STORAGE OF BLASTED ROCK.

- (1) **LOADING PRACTICES:**
THE FOLLOWING BLASTHOLE LOADING PRACTICES TO MINIMIZE ENVIRONMENTAL EFFECTS SHALL BE FOLLOWED:
(A) DRILLING LOGS SHALL BE MAINTAINED BY THE DRILLER AND COMMUNICATED DIRECTLY TO THE BLASTER. THE LOGS SHALL INDICATE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED AS WELL AS GROUNDWATER CONDITIONS.
(B) EXPLOSIVE PRODUCTS SHALL BE MANAGED ON SITE SO THAT THEY ARE EITHER USED IN THE BOREHOLE, RETURNED TO THE DELIVERY VEHICLE, OR PLACED IN SECURE CONTAINERS FOR OFF SITE DISPOSAL.
(C) SPILLAGE AROUND THE BOREHOLE SHALL EITHER BE PLACED IN THE BOREHOLE OR CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF SITE DISPOSAL.
(D) LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND SHALL NOT BE LEFT IN THE BLASTHOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED.
(E) LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT.
(F) EXPLOSIVES SHALL BE LOADED TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION. INDUSTRY ACCEPTED LOADING PRACTICES FOR PRIMING, STEMMING, DECKING AND COLUMN RISE NEED TO BE ATTENDED TO.
- (2) **EXPLOSIVE SELECTION:**
THE FOLLOWING BMPs SHALL BE FOLLOWED TO REDUCE THE POTENTIAL FOR GROUNDWATER CONTAMINATION WHEN EXPLOSIVES ARE USED:
(A) EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE APPROPRIATE FOR SITE CONDITIONS AND SAFE BLAST EXECUTION.
(B) EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT TO MINIMIZE THE POTENTIAL FOR HAZARDOUS EFFECT OF THE PRODUCT UPON GROUNDWATER.
- (3) **PREVENTION OF MISFIRES:**
APPROPRIATE PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO PREVENT MISFIRES.
- (4) **MUCK PILE MANAGEMENT:**
MUCK PILES (THE BLASTED PIECES OF ROCK) AND ROCK PILES SHALL BE MANAGED IN A MANNER TO REDUCE THE POTENTIAL FOR CONTAMINATION BY IMPLEMENTING THE FOLLOWING MEASURES:
(A) REMOVE THE MUCK PILE FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE.
(B) MANAGE THE INTERACTION OF BLASTED ROCK PILES AND STORMWATER TO PREVENT CONTAMINATION OF WATER SUPPLY WELLS OR SURFACE WATER.
- (5) **SPILL PREVENTION MEASURES AND SPILL MITIGATION:**
PILL PREVENTION AND SPILL MITIGATION MEASURES SHALL BE IMPLEMENTED TO PREVENT THE RELEASE OF FUEL AND OTHER RELATED SUBSTANCES TO THE ENVIRONMENT. THE MEASURES SHALL INCLUDE AT A MINIMUM:
(A) THE FUEL STORAGE REQUIREMENTS SHALL INCLUDE:
1. STORAGE OF REGULATED SUBSTANCES ON AN IMPERVIOUS SURFACE.
2. SECURE STORAGE AREAS AGAINST UNAUTHORIZED ENTRY.
3. LABEL REGULATED CONTAINERS CLEARLY AND VISIBLY.
4. INSPECT STORAGE AREAS WEEKLY.
5. COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS.
6. WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS.
7. SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED.
(B) THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE:
1. EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED.
2. PLACE DRIP PANS UNDER SPIGOTS, VALVES, AND PUMPS.
3. HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS.
4. USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED SUBSTANCES.
5. PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE.
(C) THE TRAINING OF ON SITE EMPLOYEES AND THE ON SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.
(D) FUELING AND MAINTENANCE OF EXCAVATION, EARTHMOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT WILL COMPLY WITH THE REGULATIONS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES (NOTE THESE REQUIREMENTS ARE SUMMARIZED IN NH-DRW-22-6 BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT" OR ITS SUCCESSOR DOCUMENT.

GROUNDWATER QUALITY SAMPLING PROGRAM

- PRIOR TO ANY BLASTING, THE FOLLOWING SEQUENCE SHALL OCCUR TO ENSURE GROUNDWATER QUALITY FROM THE NEIGHBORING WELLS.
1. CONTACT PROPERTIES WITHIN 2000' OF PROJECT TO RECEIVE PERMISSION TO TEST THEIR WELL/DRINKING WATER FOR NITRATE AND NITRITE LEVELS. IF THE PROPERTY DOES GRANT PERMISSION, THAT SAID PROPERTY DOES NOT REQUIRE TESTING.
2. COLLECT SAMPLES FROM EACH OF THESE WELLS PRIOR TO BLASTING AND TEST FOR NITRATE AND NITRITE LEVELS. THE OUTSIDE WATER SUPPLY CAN BE USED TO COLLECT THE SAMPLE.
3. SAMPLE 7 TO 14 DAYS AFTER THE INITIAL BLAST AND EVERY 30 DAYS THEREAFTER WHILE BLASTING CONTINUES. CONTINUE TO TEST THE SAMPLES FOR NITRATE AND NITRITE.
4. ALL SAMPLE RESULTS SHOULD BE REPORTED TO NHDES WITHIN 5 BUSINESS DAYS OF RECEIPT. DATA INDICATING A SUBSTANTIAL INCREASE IN NITRATE OR NITRITE CONCENTRATIONS NEEDS TO BE REPORTED TO NHDES IMMEDIATELY AND THE SAMPLING SCHEDULE MAY BE MODIFIED ACCORDINGLY.

CONSTRUCTION DETAILS

EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC. 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY
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DATE: JANUARY 7, 2015 SCALE: AS SHOWN
PROJECT NO: 11-0202-1 SHEET 65 OF 102

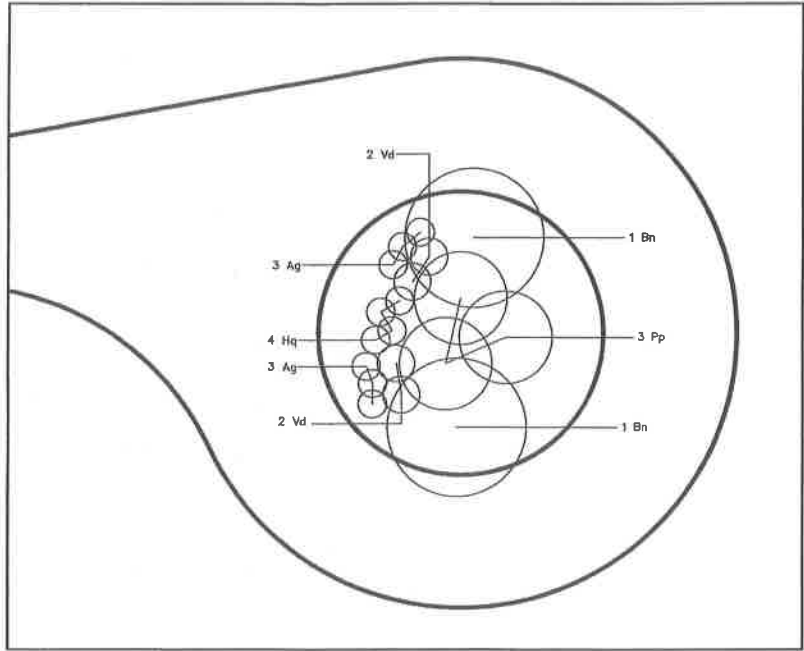
PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

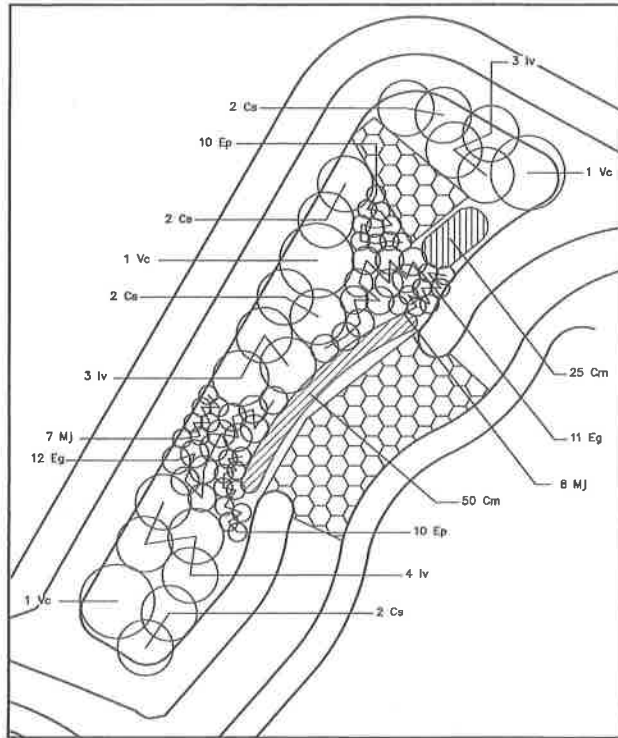
SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



TYPICAL CUL-DE-SAC PLANTING PLAN
SCALE: 1" = 20'

CUL-DE-SAC PLANT LIST

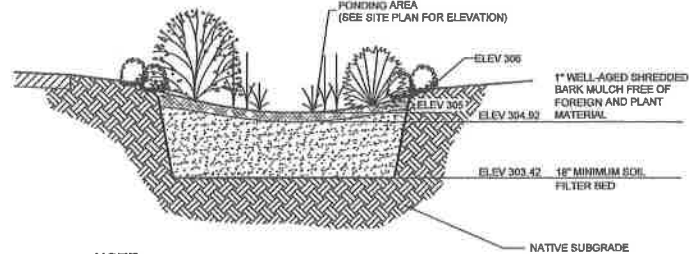
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
Bn	2	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	2-2.5" CAL
Pp	3	PICEA PUNGENS	COLORADO SPRUCE	5-6" BAB
SHRUBS				
Hq	4	HYDRANGEA QUEROIFOLIA 'RUBY SLIPPERS'	RUBY SLIPPERS OAKLEAF HYDRANGEA	2-2.5'
Ra	6	AGLO RHODOENDRON 'AGLO'	AGLO RHODOENDRON	2-2.5' BAB
Vd	4	VIURNUM DENTATUM	ARROWWOOD VIURNUM	2-2.5' BAB



RAIN GARDEN PLANTING PLAN
SCALE: 1" = 10'

RAIN GARDEN PLANT LIST

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
SHRUBS				
Cc	8	CORNUS SERICEA 'ALLEMAN'S COMPACT'	ALLEMAN'S COMPACT DOGWOOD	2-2.5'
Iv	10	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	2-2.5'
Vc	3	VIURNUM CASSINOIDES	WITHEROD VIURNUM	2-2.5' BAB
PERENNIALS				
Cm	75	CAREX M. 'SILVER SCEPTRE'	SILVER SCEPTRE SEDGE	#1
Eg	23	EUPATORIUM 'GATEWAY'	GATEWAY JOE PYE WEEED	#1
Ep	20	ECHINACEA PURPUREA	PURPLE CONEFLOWER	#1
Mj	0	MONARDA 'JACOB KLING'	JACOB KLING BEE BALM	#1



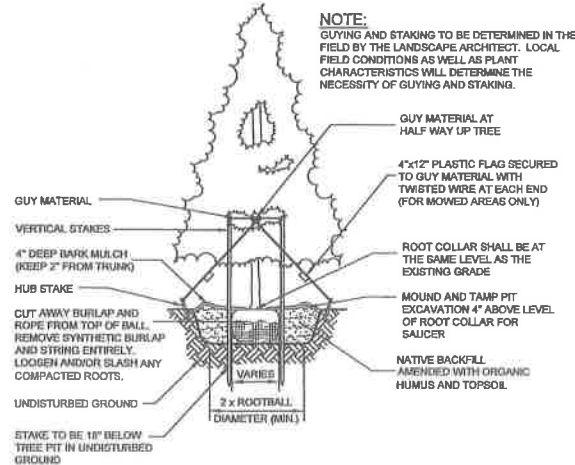
NOTE:
THIS SYSTEM SHALL NOT BE IN SERVICE UNTIL THE SPECIFIED PLANTINGS ARE INSTALLED AND THE CONTRIBUTING SURFACE AREA IS STABILIZED.

COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL	
		SIEVE NO.	PERCENT BY WEIGHT PASSING STANDARD SIEVE
FILTER MEDIA OPTION A			
ASTM C-33 CONCRETE SAND	50 TO 55		
LOAMY SAND TOPSOIL WITH FINES AS INDICATED	20 TO 30	200	15 TO 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	<5
FILTER MEDIA OPTION B			
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	<5
LOAMY COARSE SAND	70 TO 80	10	85 TO 100
		20	70 TO 100
		60	15 TO 40
		200	8 TO 15

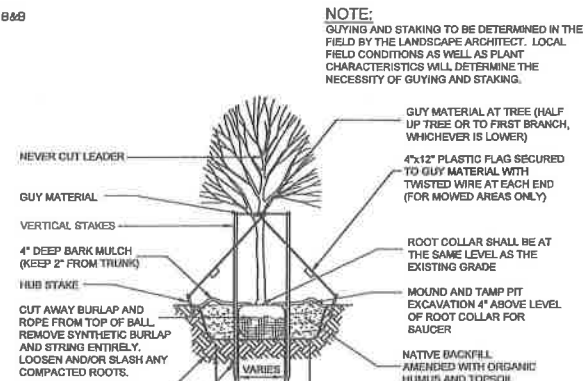
RAIN GARDEN #141 POND SECTION
NOT TO SCALE
JUNE 2012

LANDSCAPE NOTES:

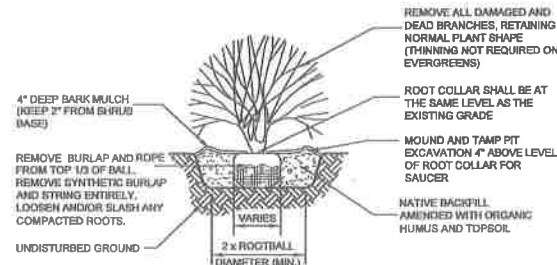
- ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOWN HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE; WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTIES TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
- IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS: ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% PEATMOSS AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
- PLANTING BEDS AND SAUCERS SHALL RECEIVE A 4" MINIMUM THICKNESS OF PINE/HEMLOCK BARK MULCH OVER A 5oz. POLYPROPYLENE WEED CONTROL FABRIC.
- PAVEMENT AND ROAD BASE MATERIAL ENCOUNTERED IN ANY LAWN OR PLANTING BED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AND SUITABLE AMENDED SOIL INSTALLED AS SPECIFIED IN THE TURF ESTABLISHMENT SCHEDULE.
- ALL STREET TREES SHALL BE PLANTED A MINIMUM OF 5'-0" BEHIND THE EDGE OF THE SIDEWALK.
- ALL LANDSCAPE MATERIAL, INSTALLATION, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH SECTION 650 OF THE CITY OF MANCHESTER CONSTRUCTION STANDARDS.



EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



BALLED & BURLAP SHRUB PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)

TURF ESTABLISHMENT SCHEDULE

PURPOSE:
TO ESTABLISH AND MAINTAIN PERMANENT AND TEMPORARY TURF AREAS, RESTORE GROWTH TO EXISTING TURF AREAS DISTURBED DURING CONSTRUCTION AND CONTROL SOIL EROSION.

PREPARATION AND EXECUTION:

- RAKE THE SUBGRADE OF ALL AREAS TO BE LOAMED AND SEEDED TO REMOVE RUBBISH, STICKS, ROOTS AND STONES LARGER THAN 1 INCH.
- PLACE LOAM OVER AREAS TO BE SEEDED AND SPREAD.
- FINE GRADE SURFACE AND SUPPLEMENT WITH SUITABLE LOAM WHERE NEEDED TO CREATE A UNIFORM SURFACE ACCORDING TO THE FINISH GRADES INDICATED. TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED. NO LOAM SHALL BE SPREAD IF THE SUBGRADE IS EXCESSIVELY WET OR FROZEN.
- APPLY LIME EVENLY OVER LOAM SURFACE AND THOROUGHLY INCORPORATE THEM INTO THE LOAM BY HEAVY RAKING TO AT LEAST ONE-HALF THE DEPTH OF THE LOAM.
- APPLY FERTILIZER AND MIX WITH THE UPPER 2 INCHES OF LOAM.
- DETERMINE APPROPRIATE MIXTURE FOR AREA TO BE SEEDED BASED ON EXAMINATION OF PROJECT PLANS. UNIFORMLY SPREAD THE SEED BY BROADCASTING OR HYDROSEEDING. IF BROADCASTING, LIGHTLY RAKE INTO THE PREPARED SURFACE AND ROLL. IF HYDROSEEDING, USE 4 TIMES THE RECOMMENDED RATE OF INOCULANT. AFTER SEED IS SPREAD, WATER THOROUGHLY WITH A FINE SPRAY.
- SEEDED FOR PERMANENT COVER SHALL OCCUR BETWEEN SEPTEMBER 15 AND OCTOBER 15 AND BETWEEN APRIL 15 AND JUNE 15. SEEDED SHALL NOT BE DONE DURING WINDY WEATHER WHEN THE GROUND IS FROZEN OR EXCESSIVELY WET OR OTHERWISE UNFITTABLE.
- WITHIN 24 HOURS AFTER SEEDING OPERATION, UNIFORMLY MULCH THE AREA WITH HAY. ANCHOR MULCH ON ALL SLOPES EXCEEDING 3:1 USING MULCH NETTING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER.
- PROTECT AND PREVENT AGAINST WASHOUTS, ANY WASHOUTS WHICH OCCUR SHALL BE PROMPTLY REGRADED AND RESEEDED.
- WHEN IT IS IMPRACTICAL TO ESTABLISH PERMANENT GROWTH ON DISTURBED EARTH BY OCTOBER 15, A TEMPORARY SEED MIXTURE SHALL BE USED. WHEN TEMPORARY SEEDED CANNOT ESTABLISH VISIBLE GROWTH, THE DISTURBED AREA SHALL BE COVERED WITH SIX INCHES OF MULCH FOR THE WINTER.

MAINTENANCE:

ALL SEEDED AREAS SHALL BE KEPT WATERED AND IN GOOD CONDITION. RESEED AS NECESSARY TO ESTABLISH HEALTHY UNIFORM GROWTH OVER THE ENTIRE SEEDED AREA. MAINTAIN SEEDED AREAS IN AN APPROVED CONDITION UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE REPAIRS FOR DAMAGE CAUSED BY EROSION.

APPLICATION RATES:

- LOAM SHALL BE APPLIED AT A MINIMUM COMPACTED THICKNESS OF 4 INCHES.
- LIME SHALL BE APPLIED AT A RATE OF 75 TO 100 POUNDS PER 1,000 S.F.
- FERTILIZER SHALL BE APPLIED AT A RATE OF 30 POUNDS PER 1,000 S.F.
- SEED MIXTURE FOR LAWN AREAS SHALL BE APPLIED AT A RATE OF AT LEAST 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
- TEMPORARY SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1,000 S.F.
- SEED MIXTURE FOR SLOPE AREAS SHALL BE APPLIED AT A RATE OF 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
- SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS SHALL BE APPLIED AT A RATE OF 70 POUNDS PER ACRE OR 1.8 POUNDS PER 1,000 S.F.
- MULCH SHALL BE APPLIED AT A RATE OF 90 POUNDS PER 1,000 S.F.

MATERIALS:

- LOAM USED FOR TOPSOIL SHALL BE FRUITABLE, FERTILE, NATURAL FINE-DRAWING LOAM, FREE OF ROOTS, GRASS, STICKS, WEEDS, CLAY, SOIL LUMPS, DEBRIS AND STONES LARGER THAN 1 INCH IN ANY DIMENSION. SOIL SHALL NOT BE EXCESSIVELY ACID OR ALKALINE AND CONTAIN NO TOXIC MATERIALS.
- LIME SHALL BE GROUND LIMESTONE CONTAINING NO LESS THAN 85% CALCIUM AND MAGNESIUM CARBONATES.
- FERTILIZER SHALL BE 10-20-20 COMMERCIAL GRADE.
- SEED MIXTURE FOR LAWN AREAS SHALL BE 95% PURE LIVE SEED AND CONSIST OF THE FOLLOWING:
25% CREEPING RED FESCUE
25% KENTUCKY BLUEGRASS
25% REDTOP
25% MANHATTAN PERENNIAL RYEGRASS

- TEMPORARY SEEDED MIXTURE SHALL BE AN APPROVED CONSERVATION MIX OR CONSIST OF THE FOLLOWING:
15% BLACKWELL OR SHELTER SWITCHGRASS
30% HARKRA OR RAW BBS BLUESTEM
30% CAMPER OR BLAZE LITTLESTEM
15% NE-27 OR BLAZE SAND LOVEGRASS
10% WIKING BIRDFOOT TREFLOIL
- SEED MIXTURE FOR SLOPE AREAS SHALL BE 95% PURE LIVE SEED AND SHALL CONSIST OF THE FOLLOWING:
30% CREEPING RED FESCUE
40% PERENNIAL RYE GRASS
15% REDTOP
15% BIRDFOOT TREFLOIL
- IN ADDITION TO THE MIX SPECIFIED ABOVE, CROWN VETCH SHALL BE USED ON ALL SLOPES STEEPER THAN 3:1. CROWN VETCH SHALL BE APPLIED AT A RATE OF 10 POUNDS PER ACRE AND INOCULUM SPECIFIC TO CROWN VETCH MUST BE USED.
- SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS, INCLUDING DETENTION BASINS AND VEGETATED TREATMENT SWALES SHALL CONSIST OF THE FOLLOWING:
25% CREEPING RED FESCUE
15% SWITCH GRASS
15% FOX SEDGE
15% CREEPING BENTGRASS
10% PLATYRA
20% WILDLOWER VARIETY
- HAY USED FOR MULCH SHALL CONSIST OF MOWED AND PROPERLY CURED GRASS OR LEGUME MOWINGS, FREE FROM WEEDS, TWIGS, DEBRIS OR OTHER DELETERIOUS MATERIAL AND ROT OR MOLD.

CONSTRUCTION DETAILS

EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7

BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

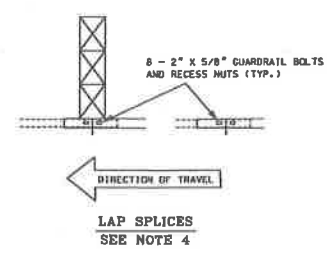
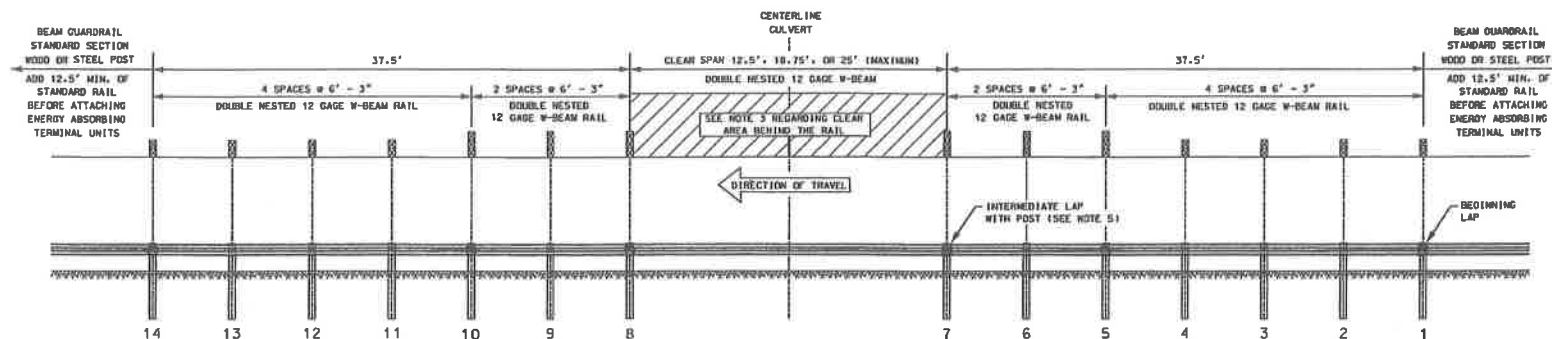
OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT:	OWNER OF MAP 186; LOT 20-4	OWNER OF MAP 201; LOT 7:
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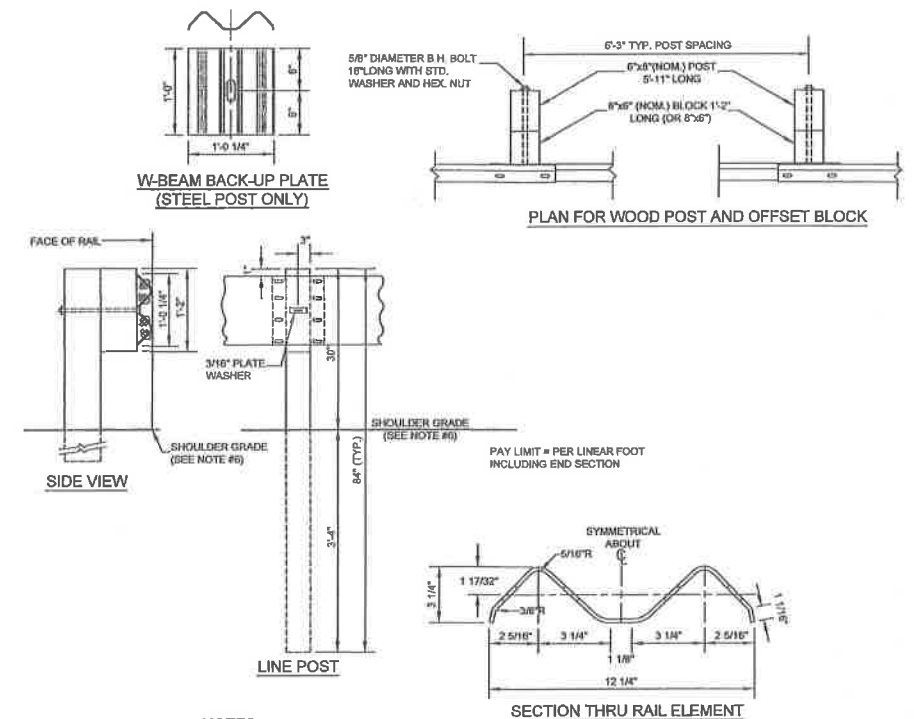
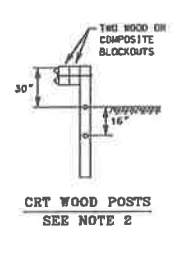
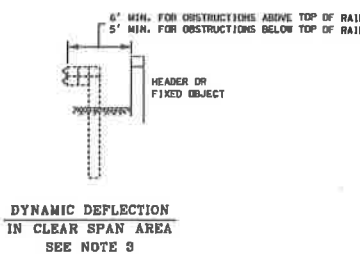
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DATE: JANUARY 7, 2015 SCALE: AS SHOWN
PROJECT NO: 11-0202-1 SHEET 66 OF 102



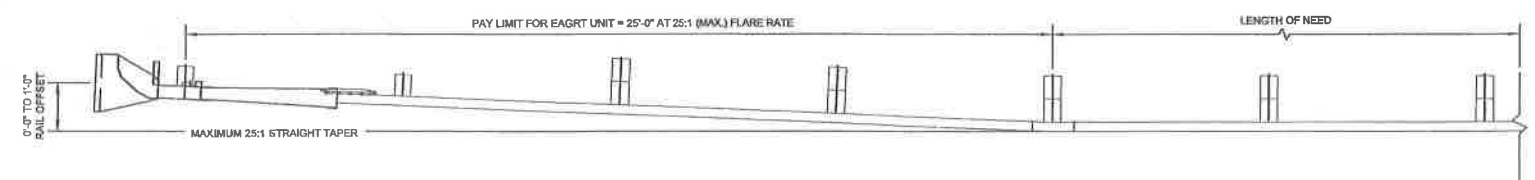
W-BEAM GUARDRAIL LONG SPAN, DOUBLE NESTED
NOT TO SCALE

- POSTS 1 - 4 AND 11 - 14 STANDARD WOOD OR STEEL POSTS WITH BLOCKOUTS (SEE STANDARD SHEET 08-11)
- POSTS 5 - 10 ARE CRT WOOD POSTS WITH TWO WOOD OR COMPOSITE BLOCKOUTS ONLY CRT POSTS NEED TO BE WOOD, UNLESS THE REST OF THE RUN IS WOOD POST
- CLEAR AREA BEHIND BACK OF RAIL SHALL BE 5 FEET MINIMUM FOR OBSTRUCTIONS LESS THAN OR EQUAL TO THE HEIGHT OF THE TOP OF RAIL, 6 FEET MINIMUM FOR OBSTRUCTIONS TALLER THAN THE TOP OF RAIL.
- LAP SPLICES IN THE DIRECTION OF ADJACENT TRAFFIC.
- 25'-0" RAIL LENGTHS MAY BE USED TO ELIMINATE THE INTERMEDIATE LAP WITHOUT A POST. DO NOT PLACE A LAP WITHOUT A POST UNLESS NEEDED DUE TO THE LENGTH OF GAP.
- DESIGN MEETS MCHRP 350 TEST LEVEL 3 FHWA ACCEPTANCE LETTER MM-85 10/8/1999.



- NOTES:
- ANCHORS, PLATES AND ALL FITTINGS TO BE GALVANIZED.
 - ALL DIMENSIONS SUBJECT TO MANUFACTURERS TOLERANCES.
 - RAIL PANELS AND END SECTIONS TO BE 12 GAUGE STEEL.
 - BACK-UP PLATE TO BE PLACED BEHIND RAIL ELEMENTS AT INTERMEDIATE POSTS.
 - ALL PARTS SHALL CONFORM TO CURRENT STANDARD SPECIFICATIONS.
 - WHEN GUARDRAIL IS CONSTRUCTED AT UP TO FOUR FEET FROM THE EDGE OF PAVEMENT, THE GUARDRAIL HEIGHT WILL BE SET FROM THE GRADE AT THE EDGE OF PAVEMENT. WHEN GUARDRAIL IS CONSTRUCTED MORE THAN FOUR FEET FROM THE EDGE OF PAVEMENT, THE GUARDRAIL WILL BE SET FROM THE GRADE AT FACE OF RAIL.
 - ALL END SECTIONS SHALL BE 20' EGART.

BEAM GUARDRAIL DETAIL
NOT TO SCALE
(MARCH 2008)



25'-0" EGART UNIT DETAIL
NOT TO SCALE
(MARCH 2008)

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REVISIONS

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DATE: JANUARY 7, 2015 SCALE: AS SHOWN
PROJECT NO: 11-0202-1 SHEET 67 OF 102

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

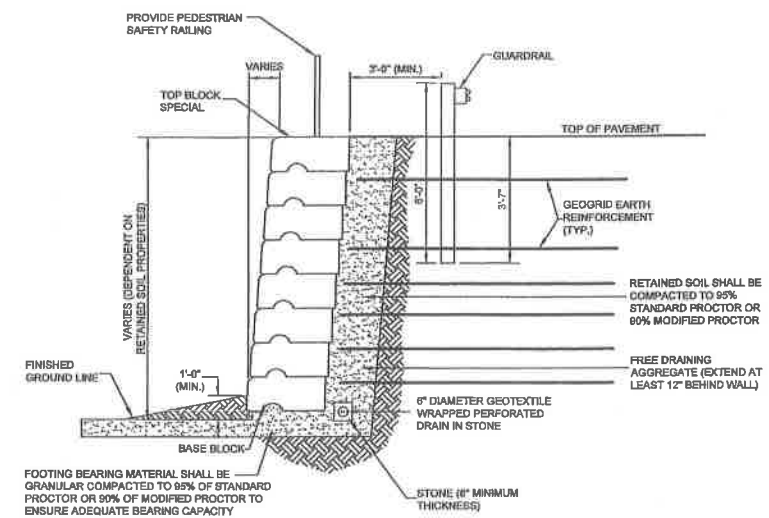
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DATE OF MEETING: _____

SIGNATURE _____ DATE _____

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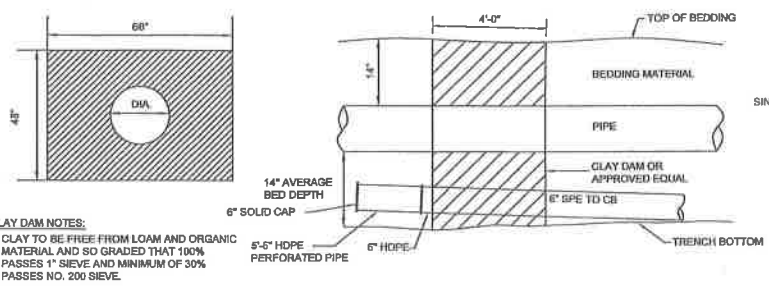
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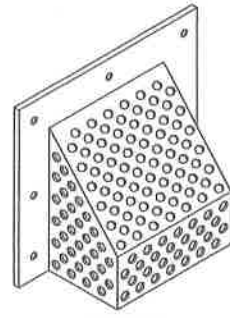
- NOTES:**
- AS PERMISSIBLE, THE STRUCTURAL ENGINEER CHARGED WITH RETAINING WALL DESIGN SHALL SPECIFY SALT RESISTANT BLOCK CONSTRUCTION WHERE WALLS ARE TO BE CONSTRUCTED NEAR ROADWAYS OR PARKING AREAS.
 - RETAINING WALL DRAIN TO "DAYLIGHT" AT LOW POINT OR TIE TO DRAIN STRUCTURE AS SHOWN IN PLAN VIEW.
 - THE STAMPED SHOP DRAWINGS AND CALCULATIONS FOR THE ACTUAL RETAINING WALL MUST BE PROVIDED FOR REVIEW AND APPROVAL AT OR PRIOR TO THE PROJECT'S REQUIRED PRE CONSTRUCTION MEETING.
 - THE PROVIDED PLANS AND SUPPORTING CALCULATIONS MUST ADDRESS THE FOLLOWING CRITERIA:
 - DESIGN CALCULATIONS STAMPED BY QUALIFIED PE LICENSE IN NH
 - STABILITY CALCULATIONS (INCLUDING BEARING CAPACITY, GLOBAL STABILITY, OVERTURNING & SLIDING, IMPACT)
 - GEOGRID PULLOUT AND OTHER PERTINENT DATA & ELEVATIONS
 - CONSTRUCTION INSTALLATION SPECIFICATION
 - LATERAL EARTH PRESSURE COEFFICIENT
 - SURCHARGE LOAD, EMBEDMENT DEPTH
 - BOTH A PLAN AND PROFILE OF EACH WALL SECTION

REDI-ROCK RETAINING WALL WITH GUARDRAIL
(TO BE DESIGNED BY A PROFESSIONAL STRUCTURAL ENGINEER REGISTERED IN NEW HAMPSHIRE)
NOT TO SCALE

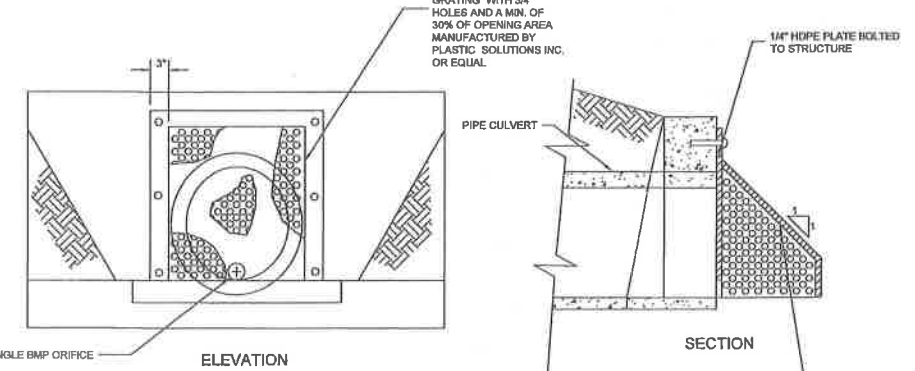


CLAY DAM NOTES:
CLAY TO BE FREE FROM LOAM AND ORGANIC MATERIAL AND SO GRADED THAT 100% PASSES 1" SIEVE AND MINIMUM OF 30% PASSES NO. 200 SIEVE.

TYPICAL CULVERT TRENCH DAM DETAIL
NOT TO SCALE



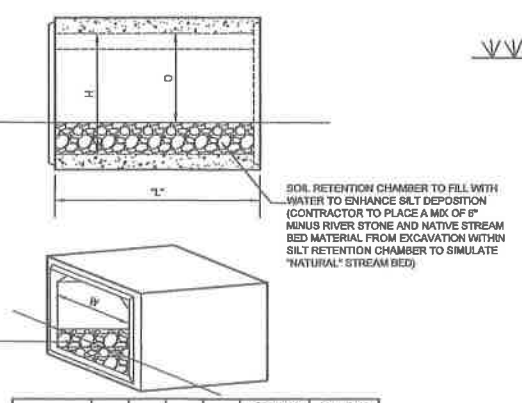
ISOMETRIC



TRASH RACK DETAIL
NOT TO SCALE

DIMENSIONS			
DIAMETER (D)	B	H	K
12"	10'-10"	3'-9"	1'-3"
15"	11'-1"	4'-0"	1'-3"
18"	11'-2"	4'-3"	1'-3"
24"	12'-10"	5'-0"	1'-6"
30"	14'-0"	5'-6"	1'-6"
36"	15'-2"	6'-0"	1'-6"
42"	16'-4"	6'-9"	1'-9"
48"	17'-6"	7'-3"	1'-9"
54"	18'-8"	7'-9"	1'-9"
60"	19'-10"	8'-3"	1'-9"
66"	21'-0"	8'-9"	1'-9"
72"	22'-2"	9'-3"	1'-9"

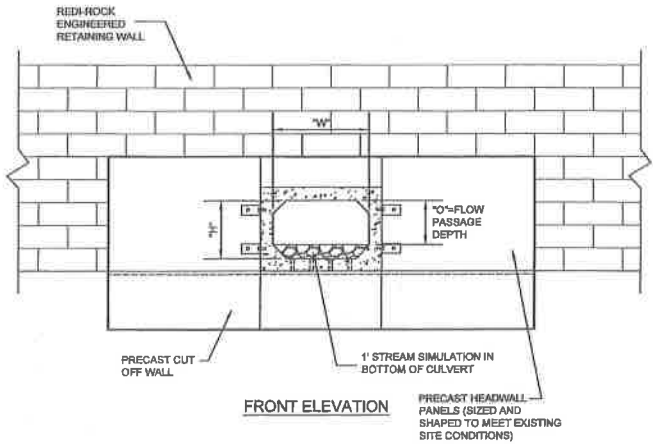
HDPE STRUCTURAL PLASTIC 1/4" PLATE AND GRATING WITH 3/4" HOLES AND A MIN. OF 30% OF OPENING AREA MANUFACTURED BY PLASTIC SOLUTIONS INC. OR EQUAL.



LOCATION	"L"	"W"	"H"	"D"	*STREAM INVERT W/ INVERT DIRT	*STREAM INVERT DIRT
CULVERT #103	32'	14'	7'	6"	296.25	296.00
CULVERT #204A	50'	15'	7.5'	8.5"	307.00	306.00
CULVERT #119	50'	5'	4'	3"	339.00	339.75
CULVERT #139	80'	5'	4'	3"	308.00	305.00
CULVERT #126	50'	15'	6'	5"	301.60	298.00

*INVERTS REFLECT THE FINISH STREAM BED ELEVATIONS, NOT THE INVERT ELEVATIONS OF THE CONCRETE BOX CULVERTS. ACTUAL INVERT ELEVATIONS OF THE BOX CULVERTS ARE ONE (1) FOOT LOWER THAN THE STREAM BED ELEVATION.
** SEE INTERIOR STREAM BED LAYOUT DETAIL, THIS SHEET.

PRECAST CONCRETE BOX CULVERT WITH STREAM SIMULATION
NOT TO SCALE

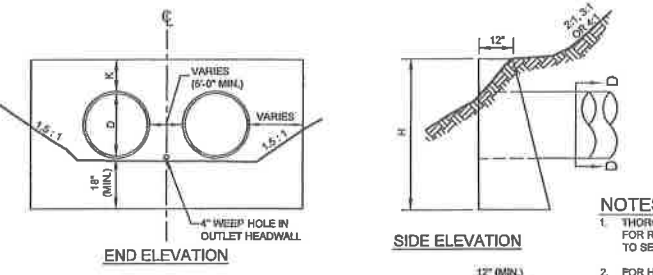


FRONT ELEVATION

PRECAST HEADWALL PANELS (SIZED AND SHAPED TO MEET EXISTING SITE CONDITIONS)

- NOTES:**
- AS PERMISSIBLE, THE STRUCTURAL ENGINEER CHARGED WITH RETAINING WALL DESIGN SHALL SPECIFY SALT RESISTANT BLOCK CONSTRUCTION WHERE WALLS ARE TO BE CONSTRUCTED NEAR ROADWAYS OR PARKING AREAS.
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 - CONSTRUCTION INSTALLATION SPECIFICATION
 - LATERAL EARTH PRESSURE COEFFICIENT
 - SURCHARGE LOAD, EMBEDMENT DEPTH
 - BOTH A PLAN AND PROFILE OF EACH WALL SECTION

PRECAST CONCRETE HEADWALL
NOT TO SCALE

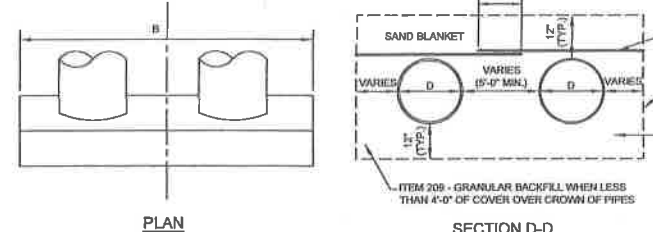


END ELEVATION

SIDE ELEVATION

NOTES:

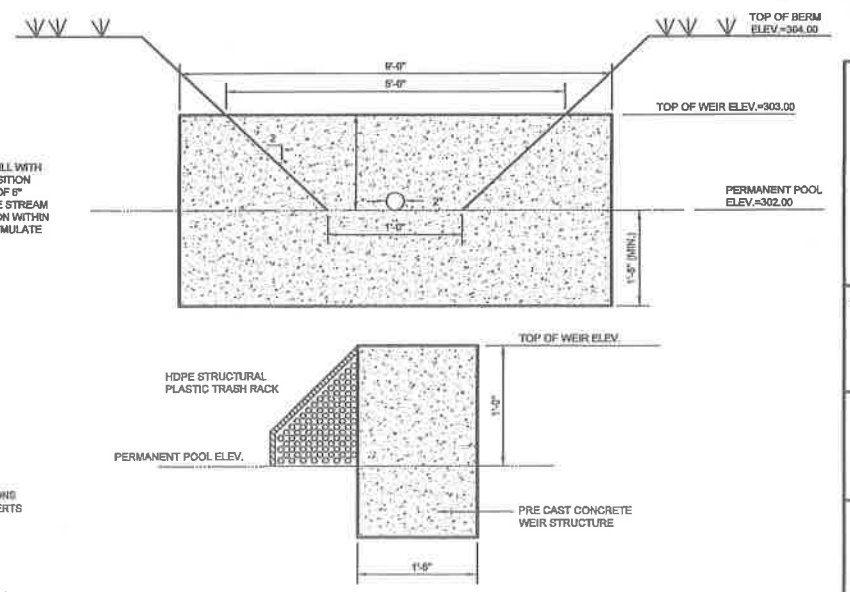
- THOROUGHLY COMPACTED SCREENED GRAVEL FOR RCP PIPE. SCREENED GRAVEL TO EXTEND TO SELECT FILL LINE.
- FOR HOPE OR PVC PIPE, BEDDING SHALL BE 3" STONE TO THE TOP OF THE PIPE.



PLAN

SECTION D-D

MORTAR RUBBLE MASONRY HEADWALL DETAIL FOR TWIN PIPES
NOT TO SCALE
(AUGUST 2011)



WET POND 146 OUTLET STRUCTURE DETAIL - OS#1B
NOT TO SCALE

- NOTES:**
- CONCRETE: 5,000 PSI AT 28 DAYS. CEMENT TO BE TYPE III.
 - CONTRACTOR SHALL SUBMIT STAMPED SHOP DRAWINGS FOR REVIEW AND APPROVAL.
 - CONTRACTOR SHALL SUBMIT INSTALLATION SEQUENCE FOR APPROVAL.

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
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CONSTRUCTION DETAILS

EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

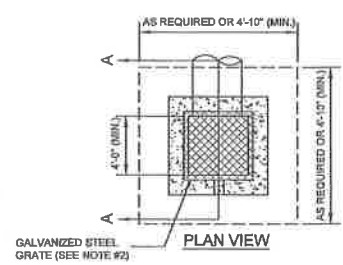
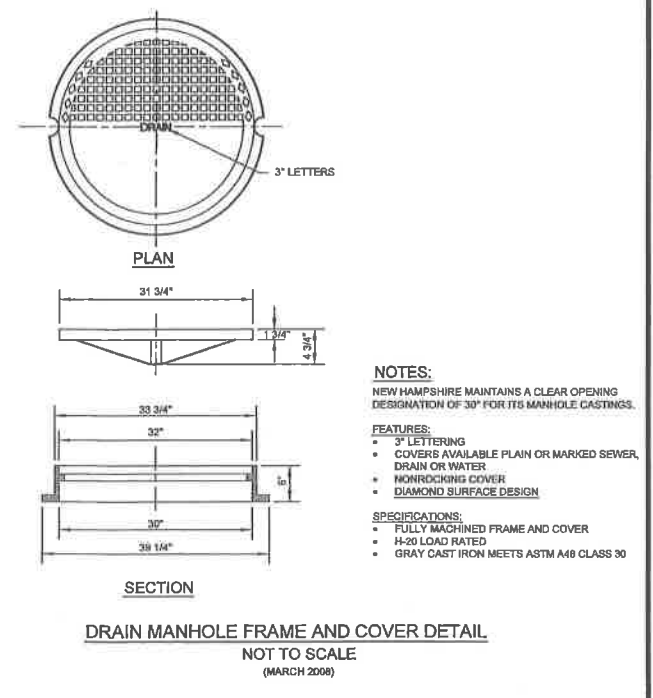
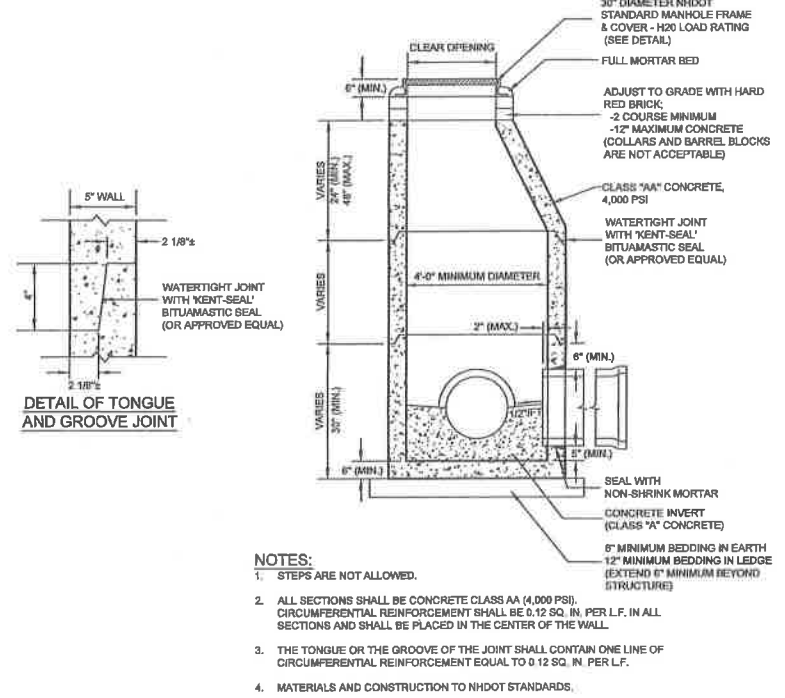
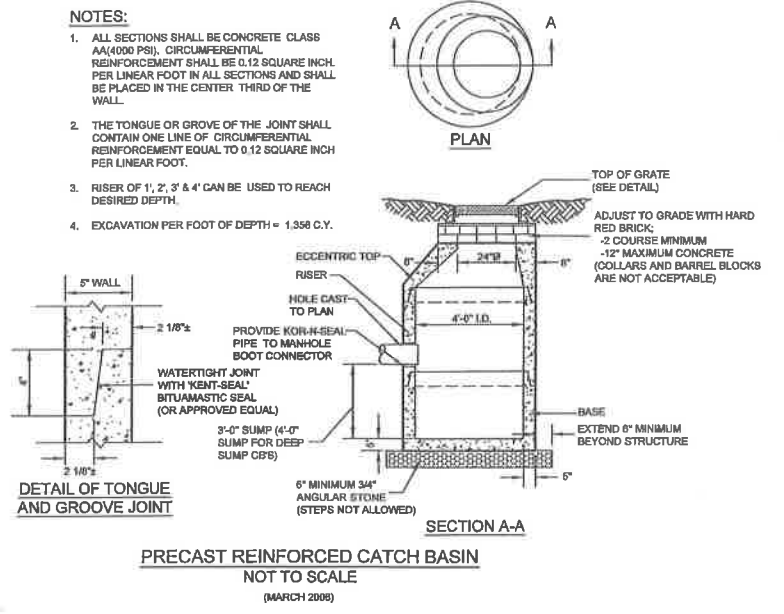
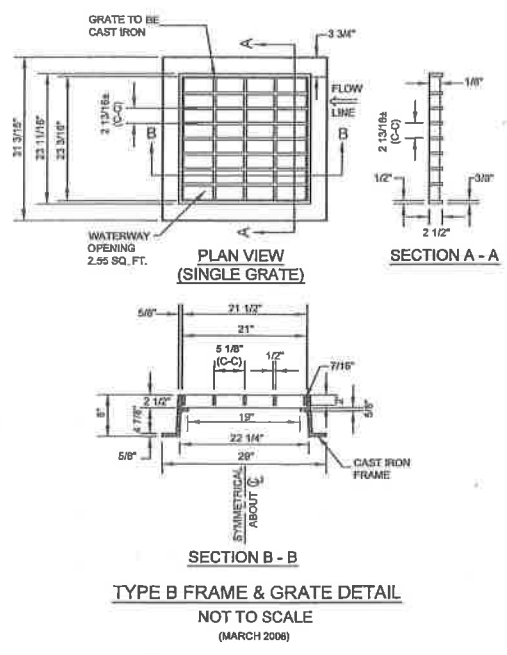
OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRIDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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KM REACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 887-2861

REVISIONS

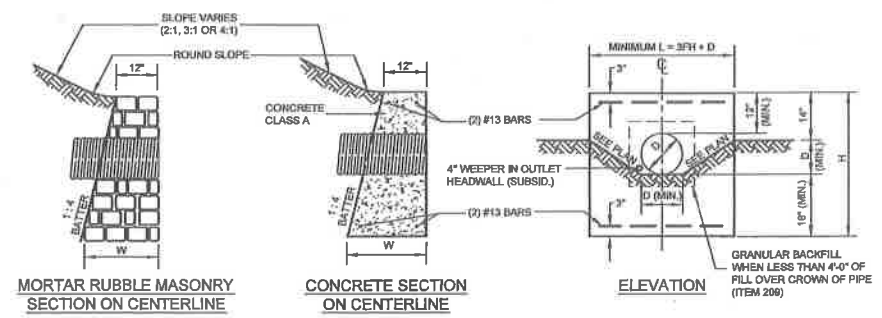
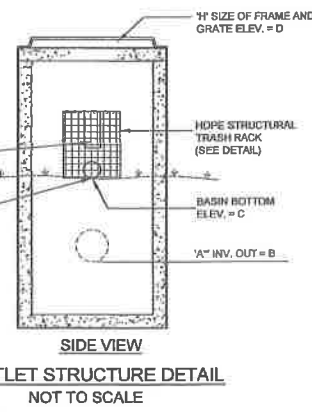
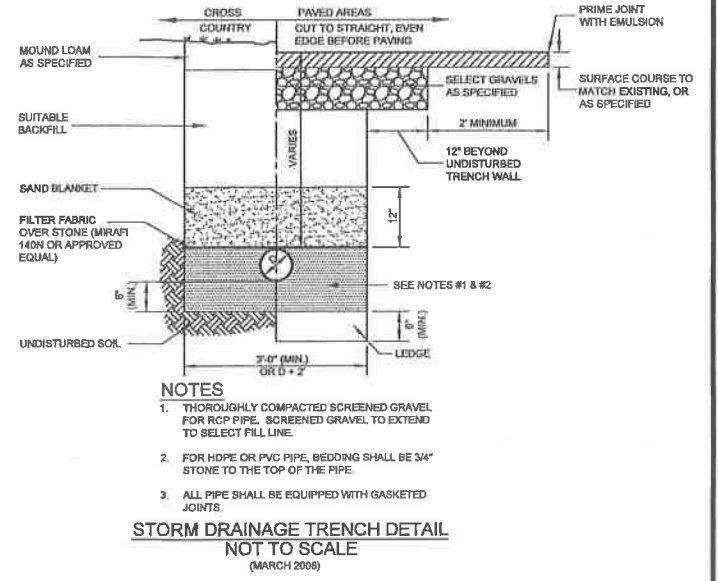
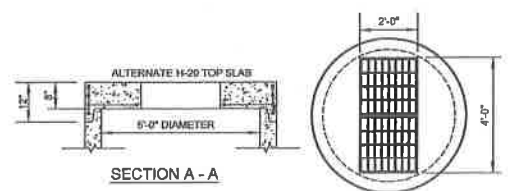
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JEM
2	06/18/15	REVISED PER TOWN COMMENTS	JEM

DATE: JANUARY 7, 2015 SCALE: AS SHOWN
PROJECT NO: 11-0202-1 SHEET 68 OF 102



NOTES:

- ALL CEMENT CONCRETE TO BE 4,000 PSI MINIMUM.
- GALVANIZED STEEL GRATE SHALL BE BOLTED TO TOP OF STRUCTURE WITH 1/2" STAINLESS STEEL BOLTS AND THREADED INSERTS.
- OUTLET PIPE SHALL NOT BE LESS THAN 16" DIAMETER AND SHALL BE SIZED FOR A 50-YEAR STORM.
- ALL OPENINGS CAST IN AS REQUIRED. MINIMUM CONCRETE WEIR WIDTH SHALL BE 2".
- PRECAST REINFORCED CONCRETE STRUCTURE TO MEET ASTM C-478 DESIGNATION AND H-20 LOADING.
- CONTROL WEIR SHALL BE SIZED TO MITIGATE DESIGN STORM AS REQUIRED BY THE REGULATIONS AND IN ACCORDANCE WITH THE APPROVED DRAINAGE CALCULATIONS. STAINLESS STEEL PLATE SHALL BE USED FOR CONTROL WEIRS LESS THAN 2" WIDE.
- ALL STAINLESS STEEL SHALL BE GRADE 316.
- MINIMUM EMBANKMENT ELEVATION TO BE 12" ABOVE 50-YEAR STORM ELEVATION.



NOTE:
DIMENSIONS SHOWN ARE TO PAYMENT LINES. MORTAR RUBBLE MASONRY TO BE STEPPED OUTSIDE PAYMENT LINES ON SLOPING FACES.

DIAMETER D (INCH)	AREA OF PIPE (SQ. FT.)	MASONRY PER FOOT OF WALL (CU. YD.)	MASONRY PER HOLE (CU. FT.)	MASONRY PER STANDARD HEADER (CU. YD.)	STEEL PER STANDARD HEADER (LB)	LENGTH OF BARS	PIPE EXC. 1' DEPTH (CU. YD.)	HEADER EXC. PER HEADER 1' DEPTH (CU. YD.)	ITEM 209 PER LINEAR FOOT	HEADER LENGTH L	HEADER HEIGHT H	FILL HEIGHT FH	WIDTH AT BOTTOM OF HEADER W	MASONRY IN CORNER FRUSTRUM (CU. YD.)	HEADER EXC. PER HEADER 1' DEPTH (CU. YD.)
12"	0.79	0.166	1.00	0.61	8	3'-2"	0.111	0.789	0.30	3'-6"	3'-6"	10"	1'-10 1/2"	0.38	1.897
15"	1.23	0.252	1.73	0.85	11	3'-10"	0.139	0.947	0.35	4'-8"	3'-9"	13"	1'-11 1/4"	0.31	1.224
18"	1.77	0.322	2.52	1.13	14	5'-2"	0.130	1.111	0.39	5'-6"	4'-2"	14"	2'-0"	0.35	1.408
24"	3.14	0.260	4.21	1.70	20	7'-2"	0.140	1.451	0.48	7'-6"	4'-6"	15-10"	2'-1 1/2"	0.42	1.776
30"	4.91	0.301	7.67	2.58	25	9'-2"	0.185	1.810	0.65	8'-6"	5'-0"	2'-4"	2'-3"	0.51	2.164
36"	7.07	0.344	11.49	3.53	31	11'-2"	0.222	2.187	0.85	11'-6"	6'-6"	2'-10"	2'-4 1/2"	0.61	2.572
42"	9.62	0.389	16.24	4.65	36	13'-2"	0.259	2.601	1.07	13'-0"	8'-0"	3'-4"	3'-4"	0.72	3.000
48"	12.57	0.436	21.96	5.95	42	16'-2"	0.294	3.050	1.31	15'-4"	9'-0"	3'-10"	2'-7 1/2"	0.84	3.447
54"	15.90	0.486	28.83	7.44	47	17'-2"	0.333	3.432	1.58	17'-6"	7'-0"	4'-4"	3'-6"	0.98	3.914
60"	19.63	0.538	36.82	9.13	52	19'-2"	0.370	3.880	1.87	19'-6"	7'-6"	4'-10"	2'-10 1/2"	1.12	4.401
66"	23.76	0.593	46.03	11.04	56	21'-2"	0.407	4.350	2.17	21'-0"	8'-0"	5'-4"	3'-0"	1.28	4.907
72"	28.27	0.649	56.55	13.17	63	23'-2"	0.445	4.838	2.50	23'-6"	8'-6"	5'-10"	3'-11 1/2"	1.46	5.433

NOTE: STEEL QUANTITIES ARE FOR CONCRETE HEADWALLS ONLY.

CONCRETE HEADWALLS
NOT TO SCALE
(MARCH 2006)

LOCATION/STRUCTURE	"A"	"B"	"C"	"D"	"E"	"F"	"G"	"H"
DP #132/ OS #9	12"	306.0	306.0	311.0	308.0	310.0	9'W X 1'H	4' X 4'
WP #114/ OS #35	16"	339.0	335.0	344.6	339.0	342.0	4'W X 2.5'H	4' X 4'
WP #215/ OS #37	15"	402.0	399.0	405.0	402.0	403.5	3'W X 1.5'H	4' X 4'
MP #205/ OS #46	12"	401.84	398.0	404.0	402.0	NA	NA	4' X 4'
WP #233/ OS #69	12"	299.25	294.0	302.5	299.25	NA	NA	4' X 4'
IP #245/ OS # 71	15"	319.0	315.0	320.0	NA	NA	NA	2' X 2'
IP #269/ OS # 76	18"	353.0	356.00	360.0	358.90	NA	NA	2' X 2'

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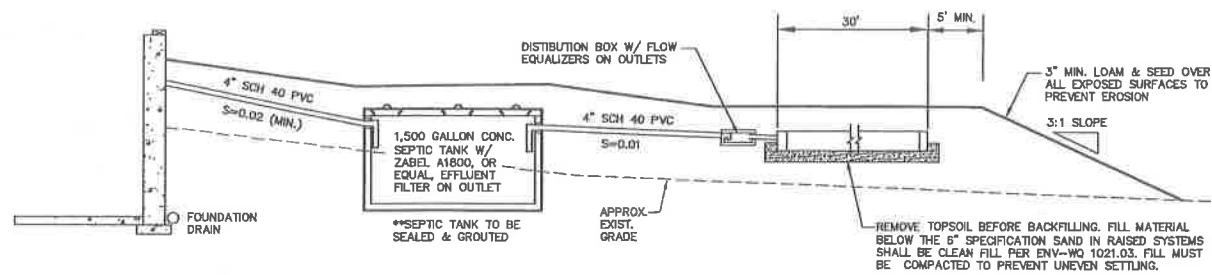
EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

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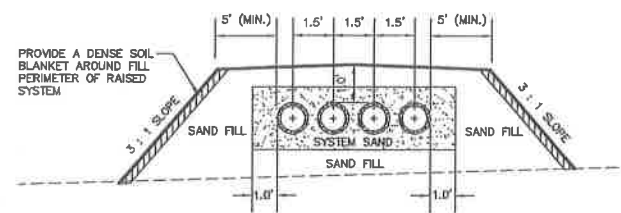
KMA KRACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 303, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JOM
2	05/18/15	REVISED PER TOWN COMMENTS	JOM

DATE: JANUARY 7, 2015 SCALE: AS SHOWN
PROJECT NO: 11-0202-1 SHEET 69 OF 102

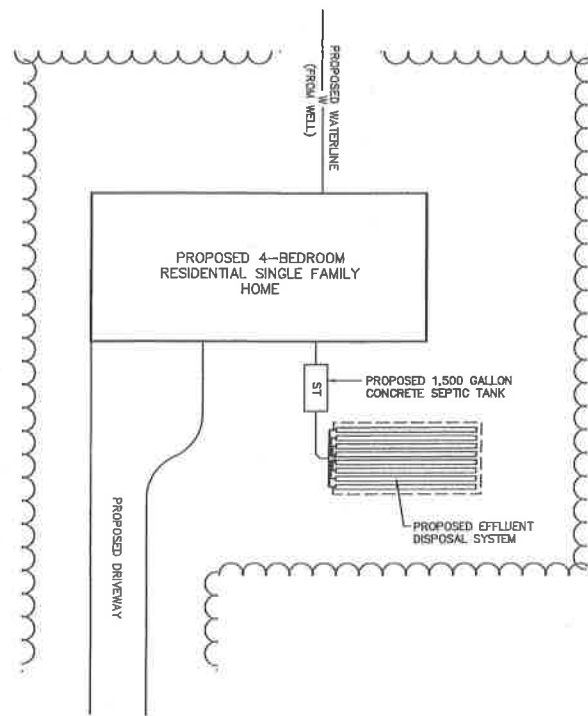


TYPICAL SECTION OF PROPOSED SEPTIC SYSTEM
NOT TO SCALE



FILL SPECIFICATION
SYSTEM SAND TO BE 6" MINIMUM OF MEDIUM TO COARSE SAND WITH AN EFFECTIVE PARTICLE SIZE OF 0.25 MM TO 2.00 MM, WITH NO GREATER THAN 2% PASSING A #200 SIEVE AND NO PARTICLES LARGER THAN 3/4" AROUND THE CIRCUMFERENCE OF THE ENVIRO-SEPTIC PIPE. ALL OTHER FILL USED IN RAISED SYSTEMS SHALL BE CLEAN BANK RUN SAND, FREE FROM TOPSOIL, HUMUS, DREDGING, DEBRIS, OR STONES LARGER THAN 6 IN ANY DIMENSION IN ACCORDANCE WITH ENV-WQ 1021.03

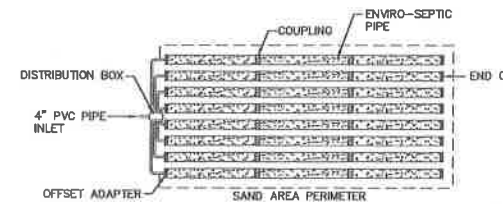
TYPICAL ENVIRO-SEPTIC CROSS SECTION
NOT TO SCALE



TYPICAL SCHEMATIC SEPTIC SYSTEM PLAN
NOT TO SCALE

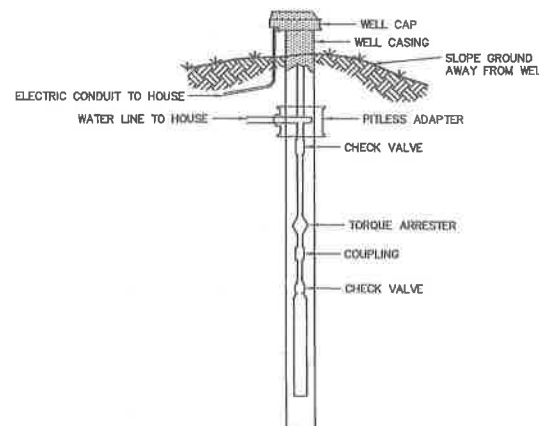
TYPICAL SEPTIC SYSTEM NOTE(S):

1. THE PURPOSE OF THESE DETAILS ARE TO ILLUSTRATE A TYPICAL SEPTIC SYSTEM LAYOUT AND THE CONSTRUCTION ASSOCIATED WITH THE SAME.
2. THIS INFORMATION IS FOR ILLUSTRATIVE PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION. ACTUAL SIZE AND LAYOUT OF PROPOSED SYSTEMS SHALL BE DETERMINED BY THE OWNER AND MAY VARY FROM WHAT IS DEPICTED HEREON.



NOTE: EFFLUENT DISPOSAL AREA SHOWN IS A "DISTRIBUTION BOX SYSTEM" AS DEPICTED IN THE NEW HAMPSHIRE ENVIRO-SEPTIC DESIGN AND INSTALLATION MANUAL (2003 EDITION).

EDA PLAN DETAIL
SCALE: 1" = 10'



- NOTES:**
1. THE PURPOSE OF THIS DETAIL IS TO ILLUSTRATE A TYPICAL WELL SECTION AND THE CONSTRUCTION ASSOCIATED WITH THE SAME.
 2. THIS INFORMATION IS FOR ILLUSTRATIVE PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION. ACTUAL WELL DETAIL/CONSTRUCTION SHALL BE DETERMINED BY THE WELL INSTALLER AND MAY VARY FROM WHAT IS DEPICTED HEREON.

TYPICAL SCHEMATIC WELL DETAIL
NOT TO SCALE

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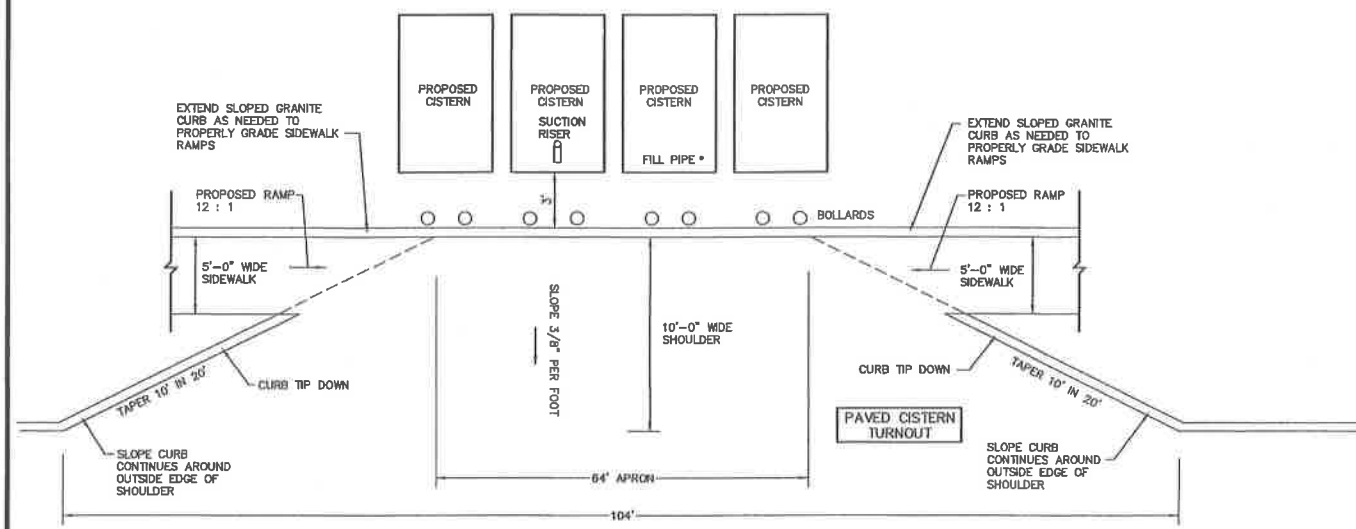
OWNER OF MAP 186; LOT 24, MAP 184; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC, 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DENRY ROAD HUDSON, NH 03051
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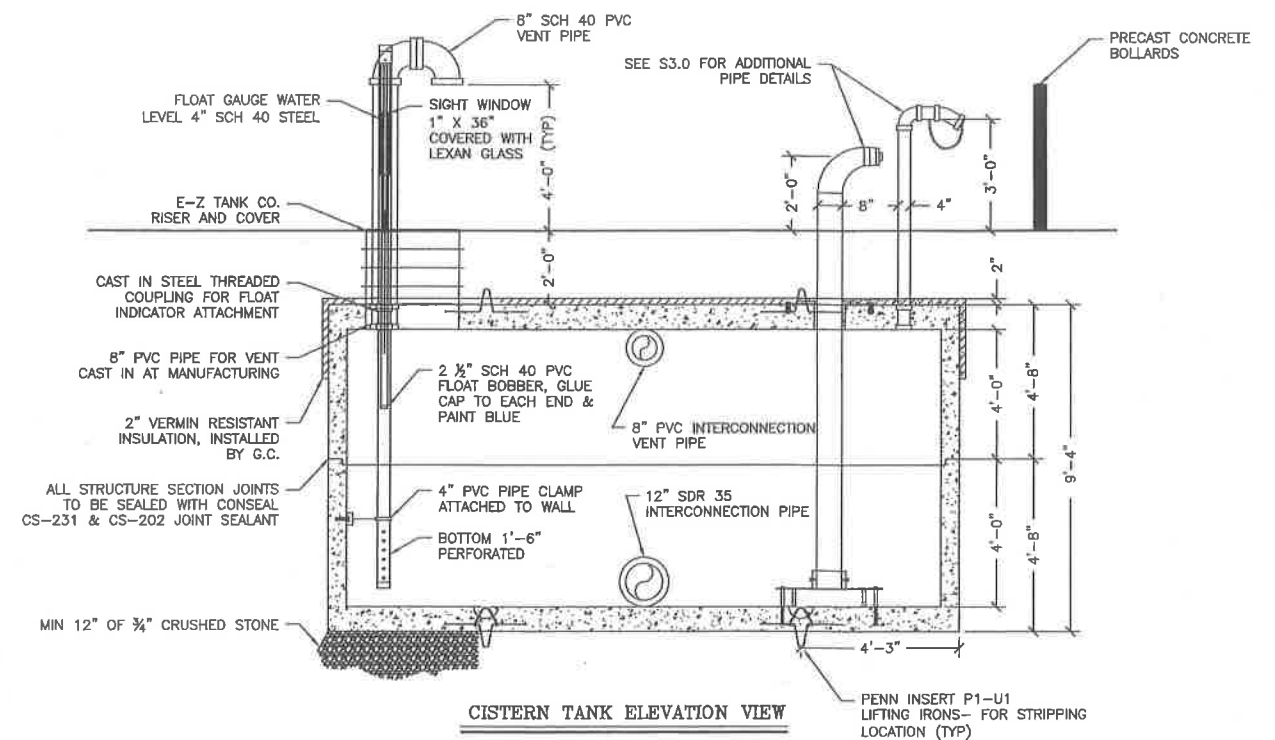
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2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: AS SHOWN
PROJECT NO: 11-0202-1 SHEET 71 OF 102

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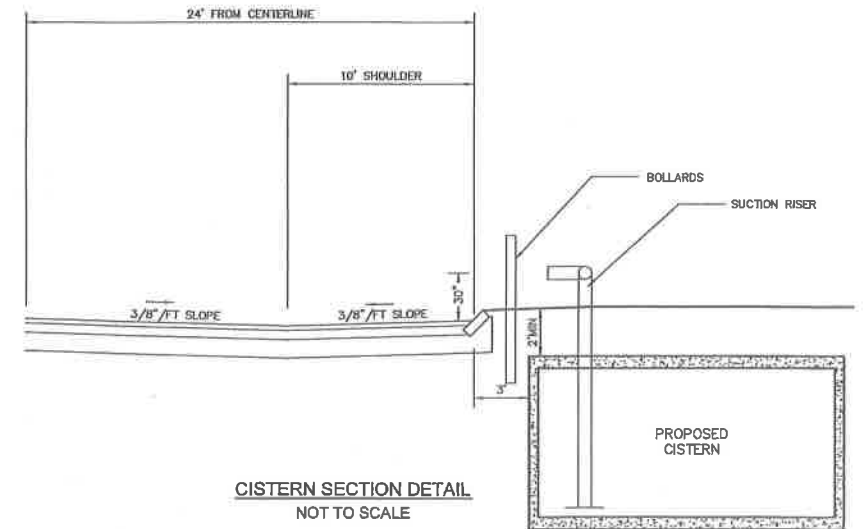
STANDISH LANE
CISTERN PLAN DETAIL



CISTERN TANK ELEVATION VIEW

CISTERN	SUCTION RISER ELEV.	WHEEL ELEV.	TOP TANK ELEV.	INSIDE BOTTOM	INSIDE DRAFT
1	360.33	358.33	354.33	345.66	14.67
2	398.70	396.70	393.70	385.03	13.67
3	433.74	431.74	428.24	419.57	14.17
4	422.45	420.45	417.45	408.78	13.67
5	375.71	373.71	370.21	361.54	14.17

CISTERN TANK DETAIL
NOT TO SCALE



CISTERN SECTION DETAIL
NOT TO SCALE

CONSTRUCTION DETAILS

EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186: LOT 24, MAP 184: LOTS 9 & 10 & MAP 195: LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 196: LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201: LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
--	---	---

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: AS SHOWN
PROJECT NO: 11-0202-1 SHEET 72 OF 102

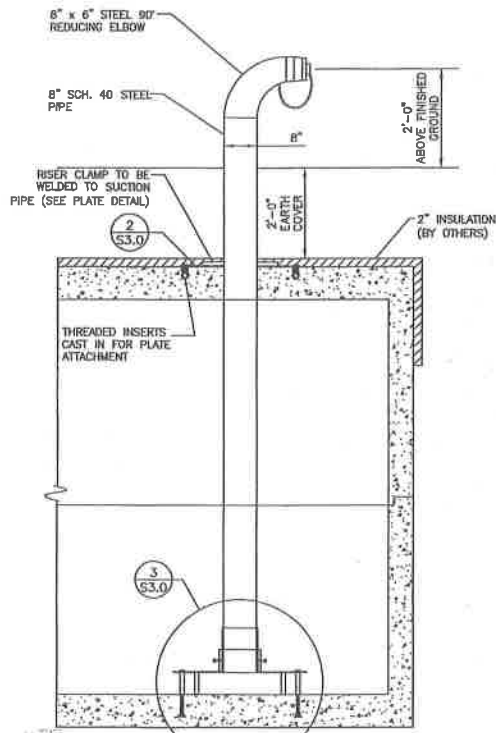
PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

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N:\projects\110202\110202.dwg\110202-DETAILS.dwg COVER & DETAILS, 6/26/2015 2:46:08 PM, r1.rvt

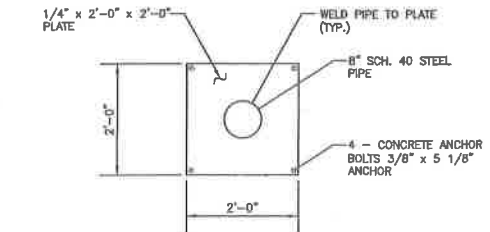


NOTE:
8" VERTICAL SUCTION PIPE TERMINATING WITH AN 8" x 6" 90° THREADED REDUCING ELBOW AND A 8" NST OR 4 1/2" NST NOZZLE AND CAP. THE SUCTION PIPE CONNECTION SHOULD BE 24" ABOVE THE LEVEL OF THE ROAD OR SHOULDER WHERE THE VEHICLE WHEELS WILL BE LOCATED WHEN CISTERN IS IN USE.

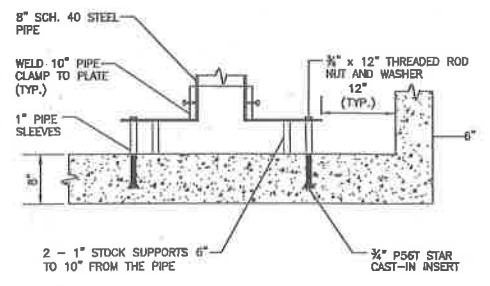
1 SUCTION ASSEMBLY DETAIL
53.0 NOT TO SCALE

FOUNDATION & BACKFILL NOTES:

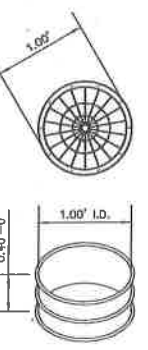
- FOUNDATION MATERIAL SHALL BE 3/4" CRUSHED STONE, MINIMUM 12" THICK.
- 1 1/2" BANK RUN GRAVEL SHALL BE USED FOR BACKFILL OPERATIONS SURROUNDING TANK. BACKFILL SHALL BE PLACED IN MAXIMUM 12" LOOSE LIFTS. IT SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY BY MODIFIED PROCTOR METHOD (ASTM 1557). ALL COMPACTION SHALL BE DONE WITH HAND-OPERATED COMPACTION EQUIPMENT.
- TANK EXCAVATION SHALL BE KEPT DEWATERED THROUGHOUT INSTALLATION AND BACKFILL OPERATIONS.
- ALL AREAS BETWEEN TANKS SHALL BE FILLED TO A MINIMUM OF 12" ABOVE CROWN OF INTERCONNECTION PIPE WITH 3/4" CRUSHED STONE. 1 1/2" BANK RUN GRAVEL MAY BE USED ABOVE THIS ELEVATION, PROVIDED THAT PROPER COMPACTION AS STATED IN NOTE 2 ABOVE CAN BE ACHIEVED.
- ALL BACKFILL MATERIAL BETWEEN TANKS SHALL BE PLACED IN 12" LIFTS AT THE SAME TIME AS THE MATERIAL SURROUND THE TANKS.



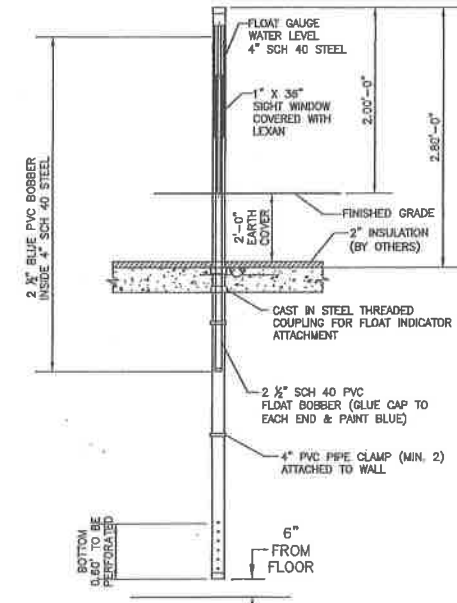
2 RISER CLAMP DETAIL
53.0 NOT TO SCALE



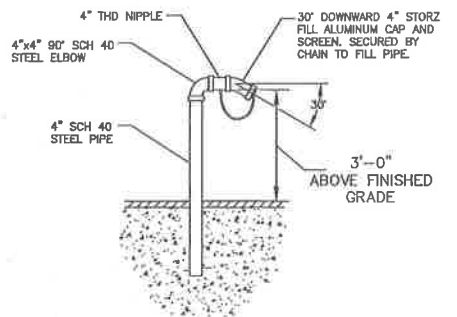
3 ANTI VORTEX PLATE DETAIL
53.0 NOT TO SCALE



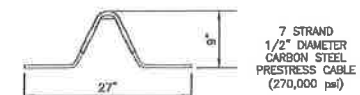
9 EZ SET TANK RISER DETAIL
53.0 NOT TO SCALE



4 TYPICAL WATER FLOAT INDICATOR DETAIL
53.0 NOT TO SCALE



10 FILL LINE ASSEMBLY DETAIL
53.0 NOT TO SCALE



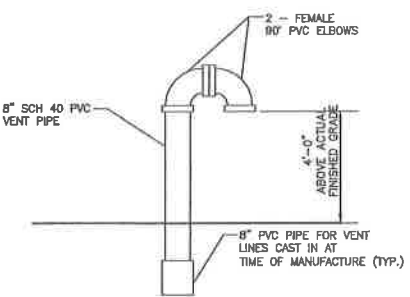
NOTES:
1. 1/2" CARBON STEEL PRESTRESS CABLE - 270 KIP
2. PROTECTIVE CABLE COVER: EMT GALVANIZED CONDUIT.
3. 1/2" CABLE IS FLEXIBLE, NOT RIGID AS A GALVANIZED LIFTING IRON.

5 UPI CABLE LIFTING IRON - TOP SLABS ONLY
53.0 NOT TO SCALE

Product Code	A - Anchor		Edge Distance
	SWL AT 90° TENSION	SWL AT 90° SHEAR	
4CA14	4	3,500	5,400
5CA14	5	5,500	8,900
6CA14	6	6,000	9,300
6CA14	6	6,500	10,100
6CA18	6	7,500	11,600
8CA18	8	13,000	20,000

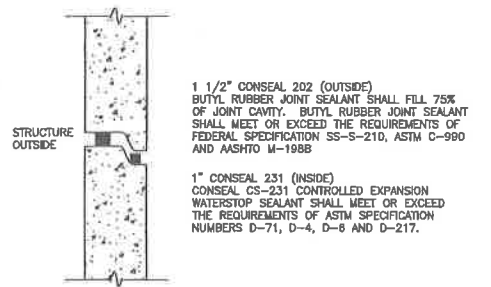
*Note: Safe working load provides a factor of safety of approximately 4:1 based on a minimum concrete strength of 4,000 psi.
For use as Pulling Iron load may be increased by 33% with 3 to 1 Safety Factor.*

6 CONAC CORPORATION A ANCHOR - BASE SLABS ONLY
53.0 NOT TO SCALE

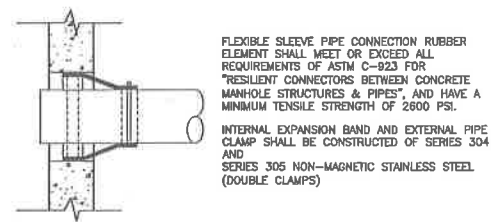


NOTE:
THE BUG SCREEN IS REQUIRED. PLACE SCREEN IN THE VENT PIPE TO FULLY FILL THE PIPE DIAMETER.

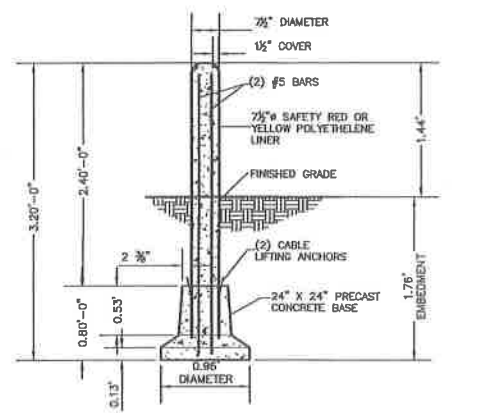
11 VENT PIPE ASSEMBLY DETAIL
53.0 NOT TO SCALE



7 CONSEAL JOINT SEALANTS DETAIL
53.0 NOT TO SCALE



8 TYPICAL FLEXIBLE SLEEVE PIPE CONNECTION DETAIL
53.0 NOT TO SCALE



NOTES:
1. EACH BOLLARD TO WEIGH 780# (0.2 CY).

11 TYPICAL POLY-SHEATHED PRECAST BOLLARD
53.0 NOT TO SCALE

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2	08/16/15	REVISED PER TOWN COMMENTS	JEM

DATE: JANUARY 7, 2015 SCALE: AS SHOWN
PROJECT NO: 11-0202-1 SHEET 73 OF 102

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TP #R1
 LOGGED BY SBK
 PERC. TEST @ 20"
 DATE: 5-31-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
4"	A	FOREST LITTER
0"		
	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
17"		
	C1	WEAK GRANULAR, FRIABLE 10YR 7/8 FINE LOAMY SAND TRACE ROOTS
32" E.S.H.W.T.		
	C2	7.5YR 4/3 FINE SANDY LOAM COMMON GRAVEL NO ROOTS COMMON B SIZE BOULDERS
43" BOTTOM OF HOLE NO LEDGE		

TP #R2
 LOGGED BY SBK
 PERC. TEST @ 20"
 DATE: 5-31-12
 PERC. RATE: 10 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
6"	A	FOREST LITTER
0"		
	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
24"		
	C1	WEAK GRANULAR, FRIABLE 10YR 7/8 FINE SANDY LOAM TRACE ROOTS
36" E.S.H.W.T.		
	C2	WEAK GRANULAR, FRIABLE 2.5YR 5/2 FINE LOAMY SAND BLACK SPECS NO ROOTS
53" BOTTOM OF HOLE NO REFUSAL		

TP #R3
 LOGGED BY SBK
 PERC. TEST @ 24"
 DATE: 5-31-12
 PERC. RATE: 10 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	A	FOREST LITTER
0"		
	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
25"		
	C	WEAK GRANULAR, FRIABLE 2.5YR 6/3 FINE SANDY LOAM TRACE ROOTS TO 38" A CLASS BOULDERS
36" E.S.H.W.T.		
61" BOTTOM OF HOLE NO LEDGE		

TP #R4
 LOGGED BY SBK
 PERC. TEST @ 24"
 DATE: 5-31-12
 PERC. RATE:
 IMPERVIOUS LAYER: 52"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	A	FOREST LITTER
0"		
	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
24"		
	C	WEAK GRANULAR, FRIABLE 2.5YR 6/2 FINE SANDY LOAM NO ROOTS, MANY BOULDERS AND ROTTEN LEDGE
40" E.S.H.W.T.		
	C2	7.5YR 6/8 MOTTLES
52" BOTTOM OF HOLE POSSIBLE LEDGE		

TP #R5
 LOGGED BY SBK
 PERC. TEST @ 24"
 DATE: 5-31-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
4"	A	FOREST LITTER
0"		
	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS BOULDERS 6" MINUS
19"		
	C1	WEAK GRANULAR, FRIABLE 10YR 7/8 FINE SANDY LOAM FEW ROOTS
32" E.S.H.W.T.		
	C2	WEAK GRANULAR, FRIABLE 10YR 5/3 FINE LOAMY SAND NO ROOTS
43" BOTTOM OF HOLE LARGE BOULDER NO ROTTEN LEDGE		

TP #R6
 LOGGED BY SBK
 PERC. TEST @ 24"
 DATE: 5-31-12
 PERC. RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	A	FOREST LITTER
0"		
	B	WEAK GRANULAR, FRIABLE 10YR 5/8 FINE SANDY LOAM COMMON ROOTS
28"		
	C	WEAK GRANULAR, FRIABLE 10YR 7/8 FINE SANDY LOAM TRACE ROOTS TO 46"
46" E.S.H.W.T.		
53" BOTTOM OF HOLE NO LEDGE		

TP #R7
 LOGGED BY SBK
 PERC. TEST @ 24"
 DATE: 5-31-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	A	FOREST LITTER
0"		
	C1	WEAK GRANULAR, FRIABLE 10YR 7/8 FINE SANDY LOAM COMMON ROOTS
28"		
	C2	WEAK GRANULAR, FRIABLE 10YR 5/2 FINE SANDY LOAM TRACE ROOTS TO 41" TRACE B BOULDERS AND COMMON C BOULDERS
41" E.S.H.W.T.		
56" BOTTOM OF HOLE NO LEDGE		

TP #R8
 LOGGED BY SBK
 PERC. TEST @ 22"
 DATE: 5-31-12
 PERC. RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
4"	A	FOREST LITTER
0"		
	B	WEAK GRANULAR, FRIABLE 10YR 7/8 FINE SANDY LOAM COMMON ROOTS
28"		
	C1	WEAK GRANULAR, FRIABLE 10YR 7/8 FINE SANDY LOAM TRACE ROOTS TO 41"
41" E.S.H.W.T.		
	C2	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM POSSIBLE DEPLECTIONS AT 54"
46" E.S.H.W.T.		
64" BOTTOM OF HOLE NO LEDGE		

TP #R9
 LOGGED BY SBK
 PERC. TEST @ 22"
 DATE: 5-31-12
 PERC. RATE:
 IMPERVIOUS LAYER: 41"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	A	FOREST LITTER
0"		
	B	WEAK GRANULAR, FRIABLE 10YR 7/8 FINE SANDY LOAM COMMON ROOTS
29"		
	C	WEAK GRANULAR, FRIABLE 2.5YR 5/2 FINE SANDY LOAM TRACE ROOTS TO 44"
44" E.S.H.W.T.		
63" BOTTOM OF HOLE NO LEDGE		

TP #R10
 LOGGED BY SBK
 PERC. TEST @ 22"
 DATE: 5-31-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
4"	A	FOREST LITTER
0"		
	B	WEAK GRANULAR, FRIABLE 10YR 7/8 FINE SANDY LOAM COMMON ROOTS
29"		
	C	WEAK GRANULAR, FRIABLE 2.5YR 5/2 FINE SANDY LOAM TRACE ROOTS TO 44"
44" E.S.H.W.T.		
63" BOTTOM OF HOLE NO LEDGE		

TP #R11
 LOGGED BY SBK
 PERC. TEST @ 22"
 DATE: 5-31-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	A	FOREST LITTER
0"		
	B	WEAK GRANULAR, FRIABLE 10YR 7/8 FINE SANDY LOAM COMMON ROOTS
31"		
	C	WEAK GRANULAR, FRIABLE 10YR 7/8 FINE SANDY LOAM TRACE ROOTS TO 34" FEW C BOULDERS
34" E.S.H.W.T.		
52" BOTTOM OF HOLE NO LEDGE		

TP #R12
 LOGGED BY SBK
 PERC. TEST @ 22"
 DATE: 5-31-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: AT 47"

DEPTH	HORIZON	DESCRIPTION
6"	A	FOREST LITTER
0"		
	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
27"		
	C	WEAK GRANULAR, FRIABLE 10YR 5/2 FINE SANDY LOAM TRACE ROOTS TO 31" TRACE MOTTLES BELOW 31" REDUCTIONS STANDING WATER AT 47"
31" E.S.H.W.T.		
54" BOTTOM OF HOLE NO LEDGE		

TP #R13
 LOGGED BY SBK
 PERC. TEST @ 22"
 DATE: 6-1-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: AT 45"

DEPTH	HORIZON	DESCRIPTION
5"	A	FOREST LITTER
0"		
	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
25"		
	C	WEAK BLOCKY GRANULAR, FRIABLE 10YR 5/2 FINE SANDY LOAM TRACE ROOTS TO 34" Fe CONCENTRATIONS STANDING WATER TO 45"
33" E.S.H.W.T.		
54" BOTTOM OF HOLE NO LEDGE		

TP #R14
 LOGGED BY SBK
 PERC. TEST @ 22"
 DATE: 6-1-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: AT 46"

DEPTH	HORIZON	DESCRIPTION
4"	A	FOREST LITTER
0"		
	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
30"		
	C	WEAK GRANULAR, FRIABLE 10YR 5/2 FINE SANDY LOAM TRACE ROOTS TO 34" FEW Fe STANDING WATER AT 46"
34" E.S.H.W.T.		
60" BOTTOM OF HOLE NO LEDGE		

TP #R15
 LOGGED BY SBK
 PERC. TEST @ 22"
 DATE: 5-1-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	A	FOREST LITTER
0"		
	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
35"		
	C	WEAK GRANULAR, FRIABLE 2.5YR 6/4 FINE SANDY LOAM TRACE ROOTS TO 46" COMMON A BOULDERS
46" E.S.H.W.T.		
57" BOTTOM OF HOLE		

TP #R16
 LOGGED BY SBK
 PERC. TEST @ 22"
 DATE: 5-1-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
6"	A	FOREST LITTER
0"		
	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS COMMON A BOULDERS
28"		
	C	WEAK GRANULAR, FRIABLE 2.5YR 6/4 FINE SANDY LOAM TRACE ROOTS TO 46" COMMON A BOULDERS
46" E.S.H.W.T.		
60" BOTTOM OF HOLE NO LEDGE		

TP #R17
 LOGGED BY SBK
 PERC. TEST @ 22"
 DATE: 5-1-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
4"	A	FOREST LITTER
0"		
	B	WEAK GRANULAR, FRIABLE 10YR 7/8 FINE SANDY LOAM COMMON ROOTS COMMON A BOULDERS
31"		
	C	WEAK GRANULAR, FRIABLE 10YR 7/8 FINE SANDY LOAM TRACE ROOTS TO 41" COMMON A BOULDERS
41" E.S.H.W.T.		
54" BOTTOM OF HOLE ROTTEN LEDGE		

TP #R18
 LOGGED BY SBK
 PERC. TEST @ 22"
 DATE: 5-1-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
4"	A	FOREST LITTER
0"		
	B	WEAK GRANULAR, FRIABLE 10YR 7/8 FINE SANDY LOAM FEW ROOTS
35"		
	C	WEAK GRANULAR, FRIABLE 10YR 7/8 FINE SANDY LOAM TRACE ROOTS TO 41"
41" E.S.H.W.T.		
52" BOTTOM OF HOLE NO LEDGE		

TP #R19
 LOGGED BY SBK
 PERC. TEST @ 22"
 DATE: 5-1-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: AT 46"

DEPTH	HORIZON	DESCRIPTION
6"	A	FOREST LITTER
0"		
	B	WEAK GRANULAR, FRIABLE 10YR 7/8 FINE SANDY LOAM COMMON ROOTS
26"		
	C	WEAK GRANULAR, FRIABLE 10YR 7/8 FINE SANDY LOAM TRACE ROOTS TO 32" STANDING WATER AT 46"
32" E.S.H.W.T.		
60" BOTTOM OF HOLE NO LEDGE		

TEST PIT LOGS

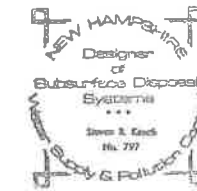
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 PROJECT NO: 11-0202-1 SHEET 76 OF 102



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IP #R20
 LOGGED BY SBK
 PERC. TEST @ 24"
 DATE: 6-1-12
 PERC. RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	A	FOREST LITTER
0"	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS FEW A BOULDERS
20"	C	WEAK GRANULAR, FRIABLE 10YR 5/2 FINE SANDY LOAM TRACE ROOTS TO 33"
33"	E.S.H.W.T.	
52"	BOTTOM OF HOLE NO LEDGE	

IP #R21
 LOGGED BY SBK
 PERC. TEST @ 24"
 DATE: 6-1-12
 PERC. RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: 50"
 WATER ENCOUNTERED: AT 67"

DEPTH	HORIZON	DESCRIPTION
4"	A	FOREST LITTER
0"	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
21"	C	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM TRACE ROOTS TO 38" ROTTEN LEDGE AT 50" STANDING WATER AT 67"
30"	E.S.H.W.T.	
79"	BOTTOM OF ROTTEN LEDGE	

IP #R22
 LOGGED BY SBK
 PERC. TEST @ 24"
 DATE: 6-1-12
 PERC. RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	A	FOREST LITTER
0"	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS HALF WAY TRACE ROOTS TO 32"
32"	E.S.H.W.T.	
56"	BOTTOM OF HOLE NO LEDGE	

IP #R23
 LOGGED BY SBK
 PERC. TEST @ 24"
 DATE: 6-1-12
 PERC. RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	A	FOREST LITTER
0"	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS HALF WAY TRACE ROOTS BELOW
43"	C	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM TRACE ROOTS TO 49"
49"	E.S.H.W.T.	
65"	BOTTOM OF HOLE NO LEDGE	

IP #R24
 LOGGED BY SBK
 PERC. TEST @ 24"
 DATE: 6-1-12
 PERC. RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
4"	A	FOREST LITTER
0"	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM MANY ROOTS TO 12"
29"	C1	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM TRACE ROOTS TO 41"
41"	E.S.H.W.T.	
46"	C2	ROTTEN LEDGE
62"	BOTTOM OF HOLE	

IP #R25
 LOGGED BY SBK
 PERC. TEST @ 20"
 DATE: 6-1-12
 PERC. RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	A	FOREST LITTER
0"	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
26"	C	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM TRACE ROOTS TO 48"
48"	E.S.H.W.T.	
74"	BOTTOM OF HOLE NO LEDGE	

IP #R26
 LOGGED BY SBK
 PERC. TEST @ 20"
 DATE: 6-1-12
 PERC. RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	A	FOREST LITTER
0"	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
26"	C	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM TRACE ROOTS TO 57"
57"	E.S.H.W.T.	
76"	BOTTOM OF HOLE NO LEDGE	

IP #R27
 LOGGED BY SBK
 PERC. TEST @ 24"
 DATE: 6-1-12
 PERC. RATE: 10 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	A	FOREST LITTER
0"	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
32"	C	WEAK GRANULAR, FRIABLE 2YR 5/4 FINE SANDY LOAM TRACE ROOTS TO 48"
48"	E.S.H.W.T.	
64"	BOTTOM OF HOLE NO LEDGE	

IP #R28
 LOGGED BY SBK
 PERC. TEST @ 24"
 DATE: 6-1-12
 PERC. RATE: 10 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	A	FOREST LITTER
0"	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
27"	C	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM TRACE ROOTS TO 33" NO E.S.H.W.T.
44"	BOTTOM OF HOLE, NO LEDGE	

IP #R29
 LOGGED BY SBK
 PERC. TEST @ 24"
 DATE: 6-1-12
 PERC. RATE: 10 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
4"	A	FOREST LITTER
0"	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
32"	C	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM TRACE ROOTS TO 43"
43"	E.S.H.W.T.	
60"	BOTTOM OF HOLE NO LEDGE	

IP #R30
 LOGGED BY SBK
 PERC. TEST @ 24"
 DATE: 6-1-12
 PERC. RATE: 10 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	A	FOREST LITTER
0"	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM MANY ROOTS TO 18" COMMON ROOTS AFTER
26"	C	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM TRACE ROOTS TO 48"
48"	E.S.H.W.T.	
57"	BOTTOM OF HOLE NO LEDGE	

IP #R31
 LOGGED BY SBK
 PERC. TEST @ 24"
 DATE: 6-1-12
 PERC. RATE: 10 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	A	FOREST LITTER
0"	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
29"	C	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM TRACE ROOTS TO 41"
41"	E.S.H.W.T.	
50"	BOTTOM OF HOLE NO LEDGE	

IP #R32
 LOGGED BY SBK
 PERC. TEST @ 20"
 DATE: 6-1-12
 PERC. RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: 53"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
5"	A	FOREST LITTER
0"	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM MANY ROOTS COMMON BOULDERS
25"	C	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM TRACE ROOTS TO 45"
45"	E.S.H.W.T.	
53"	BOTTOM OF HOLE ROTTEN LEDGE	

IP #R33
 LOGGED BY SBK
 PERC. TEST @ 20"
 DATE: 6-1-12
 PERC. RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: 48"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
4"	A	FOREST LITTER
0"	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
32"	C	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM TRACE ROOTS TO 42" NO E.S.H.W.T.
48"	BOTTOM OF HOLE ROTTEN LEDGE	

IP #R34
 LOGGED BY SBK
 PERC. TEST @ 28"
 DATE: 6-1-12
 PERC. RATE: 10 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	A	FOREST LITTER
0"	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
33"	C	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM TRACE ROOTS TO 54"
54"	E.S.H.W.T.	
56"	BOTTOM OF HOLE NO LEDGE	

IP #R35
 LOGGED BY SBK
 PERC. TEST @ 28"
 DATE: 6-1-12
 PERC. RATE: 10 MIN./INCH
 IMPERVIOUS LAYER: 33"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
4"	A	FOREST LITTER
0"	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
20"	ON TOP OF REFUSAL FEW ROOTS TO BOTTOM NO E.S.H.W.T.	
33"	BOTTOM OF HOLE ROTTEN LEDGE	

IP #R36
 LOGGED BY SBK
 PERC. TEST @ 28"
 DATE: 6-1-12
 PERC. RATE: 10 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	A	FOREST LITTER
0"	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
26"	C	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM TRACE ROOTS TO 43"
43"	E.S.H.W.T.	
54"	BOTTOM OF HOLE NO LEDGE	

IP #R37
 LOGGED BY SBK
 PERC. TEST @ 28"
 DATE: 6-1-12
 PERC. RATE: 10 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
4"	A	FOREST LITTER
0"	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS TO 12" FEW ROOTS TO HORIZON
33"	C	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM TRACE ROOTS TO 47"
47"	E.S.H.W.T.	
57"	BOTTOM OF HOLE NO LEDGE	

IP #R38
 LOGGED BY SBK
 PERC. TEST @ 28"
 DATE: 6-1-12
 PERC. RATE: 10 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
6"	A	FOREST LITTER
0"	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
26"	C	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM TRACE ROOTS TO 42"
42"	E.S.H.W.T.	
60"	BOTTOM OF HOLE NO LEDGE	

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



TEST PIT LOGS

EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
 MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTÉ, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 687-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: AS SHOWN
 PROJECT NO: 11-0202-1 SHEET 77 OF 102

TP #28
 LOGGED BY JN
 PERC. TEST @ 20"
 DATE: 12-7-11
 PERC. RATE: 10 MIN/INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: 42"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 8/8 FEW ROOTS
20"	C1	ANGULAR BLOCKY, FIRM IN PLACE, FRIABLE IN HAND LOAMY SAND 10YR 6/3 FEW ROOTS
42"	C2	PLATY, FIRM CLAYEY LOAMY SAND, 10YR 7/2 FEW DISTINCT Fe CONC.

72" BOTTOM OF HOLE NO LEDGE

TP #27
 LOGGED BY JN
 PERC. TEST @ 20"
 DATE: 12-7-11
 PERC. RATE: 10 MIN/INCH
 IMPERVIOUS LAYER: 54"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: 40"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/4 MANY ROOTS COMMON COBBLES AND BOULDERS
6"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/8 COMMON ROOTS
24"	C	WEAK GRANULAR, FRIABLE LOAMY SAND 10YR 7/3 FEW Fe CONC. AT 40"

ESHWT @ 40"
 54" BOTTOM OF HOLE @ REFUSAL LEDGE/LARGE ROCKS

TP #27A
 LOGGED BY JN
 PERC. TEST @ 22"
 DATE: 12-7-11
 PERC. RATE: 10 MIN/INCH
 IMPERVIOUS LAYER: 50"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: 40"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/4 MANY ROOTS COMMON COBBLES AND BOULDERS
8"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/8 COMMON ROOTS
24"	C	WEAK GRANULAR, FRIABLE LOAMY SAND 10YR 7/3 FEW Fe CONC. AT 40"

ESHWT @ 40"
 50" BOTTOM OF HOLE @ REFUSAL LEDGE/LARGE ROCKS

TP #26
 LOGGED BY JN
 PERC. TEST @ 22"
 DATE: 12-7-11
 PERC. RATE: 15 MIN/INCH
 IMPERVIOUS LAYER: 60"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: 40"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/4
8"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 2.5Y 6/8 COMMON ROOTS
24"	C	WEAK GRANULAR, FRIABLE LOAMY SAND 10YR 7/3 FEW Fe CONC. AT 40"

ESHWT @ 40"
 80" BOTTOM OF HOLE @ REFUSAL LEDGE

TP #25
 LOGGED BY JN
 PERC. TEST @ 20"
 DATE: 12-7-11
 PERC. RATE: 15 MIN/INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: 46"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/4
4"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/8
20"	C1	WEAK GRANULAR, FRIABLE LOAMY SAND 10YR 7/2
46"	C2	ANGULAR BLOCKY, FRIABLE LOAMY SAND 10YR 6/2 FEW DISTINCT Fe CONC.

ESHWT @ 46"
 76" BOTTOM OF HOLE NO LEDGE

TP #29
 LOGGED BY JN
 PERC. TEST @ 22"
 DATE: 12-13-11
 PERC. RATE: 15 MIN/INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: 24"
 E.S.H.W.T.: 24"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/4
6"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 COMMON ROOTS
24"	C	BLOCKY, FRIABLE LOAMY SAND 10YR 6/3 WET, COMMON DISTINCT Fe CONC.

ESHWT @ 24"
 72" BOTTOM OF HOLE NO LEDGE

TP #30
 LOGGED BY JN
 PERC. TEST @ 22"
 DATE: 12-13-11
 PERC. RATE: 15 MIN/INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: 28"
 E.S.H.W.T.: 24"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
6"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 COMMON ROOTS
24"	C	BLOCKY, FRIABLE LOAMY SAND 10YR 6/3 WET, COMMON DISTINCT Fe CONC.

ESHWT @ 24"
 78" BOTTOM OF HOLE NO LEDGE

TP #31
 LOGGED BY JN
 PERC. TEST @ 20"
 DATE: 12-13-11
 PERC. RATE: 15 MIN/INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: 30"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
6"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 COMMON ROOTS
26"	C	BLOCKY, FRIABLE LOAMY SAND 10YR 6/3 WET, COMMON DISTINCT Fe CONC.

ESHWT @ 26"
 78" BOTTOM OF HOLE NO LEDGE

TP #32
 LOGGED BY JN
 PERC. TEST @ 20"
 DATE: 12-13-11
 PERC. RATE: 15 MIN/INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/6 COMMON ROOTS
24"	C1	WEAK GRANULAR, FRIABLE LOAMY SAND 10YR 6/3 FEW ROOTS FEW Fe CONC. AT 36"
48"	C2	BLOCKY, FRIABLE LOAMY SAND 10YR 7/2 COMMON Fe CONC.

ESHWT @ 36"
 72" BOTTOM OF HOLE NO LEDGE

TP #33
 LOGGED BY JN
 PERC. TEST @ 20"
 DATE: 12-13-11
 PERC. RATE: 15 MIN/INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/4 MANY ROOTS
6"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 COMMON ROOTS
26"	C	BLOCKY, FRIABLE LOAMY SAND 10YR 7/2 FEW ROOTS TO 32" COMMON DISTINCT Fe CONC. AT 34"

ESHWT @ 34"
 78" BOTTOM OF HOLE NO LEDGE

TP #33A
 LOGGED BY JN
 PERC. TEST @ 20"
 DATE: 12-13-11
 PERC. RATE: 15 MIN/INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: 60"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/4 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 COMMON ROOTS
24"	C	BLOCKY, FRIABLE LOAMY SAND 10YR 7/2 FEW ROOTS TO 32" FEW DISTINCT Fe CONC. AT 34"

ESHWT @ 34"
 72" BOTTOM OF HOLE NO LEDGE

TP #34
 LOGGED BY JN
 PERC. TEST @ 20"
 DATE: 12-13-11
 PERC. RATE: 15 MIN/INCH
 IMPERVIOUS LAYER: 54"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
6"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/4 COMMON ROOTS
26"	C	BLOCKY, FRIABLE LOAMY SAND 10YR 8/3 FEW ROOTS TO 32" FEW DISTINCT Fe CONC. AT 34"

ESHWT @ 34"
 54" BOTTOM OF HOLE @ LEDGE

TP #34A
 LOGGED BY JN
 PERC. TEST @ 20"
 DATE: 12-13-11
 PERC. RATE: 10 MIN/INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
6"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/4 COMMON ROOTS
26"	C	GRANULAR, FRIABLE LOAMY SAND 10YR 7/3 FEW ROOTS TO 34" FEW DISTINCT Fe CONC. AT 36"

ESHWT @ 36"
 72" BOTTOM OF HOLE NO LEDGE

TP #35
 LOGGED BY JN
 PERC. TEST @ 20"
 DATE: 12-13-11
 PERC. RATE: 15 MIN/INCH
 IMPERVIOUS LAYER: 52"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/4 MANY ROOTS
7"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/6 COMMON ROOTS
32"	C	WEAK GRANULAR, FRIABLE LOAMY SAND 10YR 7/3 FEW ROOTS TO 36" FEW DISTINCT Fe CONC. AT 40"

ESHWT @ 40"
 52" BOTTOM OF HOLE @ LEDGE

TP #35A
 LOGGED BY JN
 PERC. TEST @ 24"
 DATE: 12-13-11
 PERC. RATE: 15 MIN/INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
8"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/4 COMMON ROOTS
24"	C	WEAK GRANULAR, FRIABLE LOAMY SAND 10YR 7/3 FEW ROOTS TO 36" FEW FAINT Fe CONC. AT 38"

ESHWT @ 38"
 72" BOTTOM OF HOLE NO LEDGE

TP #36
 LOGGED BY JN
 PERC. TEST @ 24"
 DATE: 12-13-11
 PERC. RATE: 15 MIN/INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: 48"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
6"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/4 FEW ROOTS
28"	C	BLOCKY, FIRM LOAMY SAND 10YR 8/3 COMMON DISTINCT Fe CONC.

ESHWT @ 28"
 65" BOTTOM OF HOLE NO LEDGE

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE _____ DATE _____
 SIGNATURE _____ DATE _____
 PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.
 SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



TEST PIT LOGS

EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: KELLY A. TRUDEL EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/29/15	REVISED PER TOWN & DES COMMENTS	JEM
2	06/19/15	REVISED PER TOWN COMMENTS	JEM

DATE: JANUARY 7, 2015 SCALE: AS SHOWN
 PROJECT NO: 11-0202-1 SHEET 78 OF 102

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TP #JM1
 LOGGED BY JDM
 PERC. TEST DATE: 6-7-12
 PERC. RATE: 15 MIN./IN.
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: 60"

DEPTH	HORIZON	DESCRIPTION
4"	F	FOREST MAT
0"		
A		LOAMY SAND, FRIABLE 10YR 5/6 MANY ROOTS FEW 6"-12" STONES
14"	B	FINE SANDY LOAM, FRIABLE 2.5YR 5/6 TRACE ROOTS
31" ESHWT @ 31"	C	FINE SAND WITH GRAVEL, FRIABLE 2.5YR 5/4 NO ROOTS REDOX FEATURES PRESENT 2.5YR 5/8-Fe CONC. 10YR 7/2-Fe DEP. WATER @ 60"

60" BOTTOM OF HOLE NO LEDGE

TP #JM2
 LOGGED BY JDM
 PERC. TEST DATE: 6-7-12
 PERC. RATE: 15 MIN./IN.
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: 39"

DEPTH	HORIZON	DESCRIPTION
0"		LEDGE PROBE FOR ROAD AT STA 14+50 +/- STANDING WATER AT 39"
39"		
48" BOTTOM OF HOLE		POSSIBLE LEDGE AT 48" NO E.S.H.W.T.

48" BOTTOM OF HOLE POSSIBLE LEDGE

TP #JM3
 LOGGED BY JDM
 PERC. TEST DATE: 6-7-12
 PERC. RATE: 15 MIN./IN.
 IMPERVIOUS LAYER: 78"
 WATER ENCOUNTERED: 39"

DEPTH	HORIZON	DESCRIPTION
3"	F	FOREST MAT
0"		
A		FINE LOAMY SAND, FRIABLE 10YR 4/4 COMMON ROOTS
11"	B	FINE SANDY LOAM, FRIABLE 10YR 5/8 TRACE ROOTS
22"	C	FINE SANDY GRAVEL, FRIABLE Fe MOTTLER AT 46" 2.5YR 6/4 7.5YR 6/8-Fe CONC. 2.5 YR 7/2-Fe DEP.

78" BOTTOM OF HOLE @ LEDGE

TP #JM4
 LOGGED BY JDM
 PERC. TEST DATE: 6-7-12
 PERC. RATE: 15 MIN./IN.
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: 86"

DEPTH	HORIZON	DESCRIPTION
3"	F	FOREST MAT
0"		
A		FINE LOAMY SAND, FRIABLE 10YR 3/4
14"	B1	FINE SANDY LOAM 7.5YR 7/8 ROOTS COMMON TRACE 0"-18" BOULDERS
26"	B2	FINE SANDY LOAM, FRIABLE 2.5YR 6/8 FEW ROOTS TRACE 0"-6" BOULDERS
33"	C	FINE SAND, FRIABLE WITH COMMON MOTTLER AT 52" 2.5YR 6/4 7.5YR 6/8-Fe CONC. 2.5YR 7/2-Fe DEP.

86" BOTTOM OF HOLE NO LEDGE

TP #JM6
 LOGGED BY JDM
 PERC. TEST DATE: 6-7-12
 PERC. RATE: 15 MIN./IN.
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: 36"

DEPTH	HORIZON	DESCRIPTION
3"	F	FOREST MAT
0"		
A		LOAMY SAND, FRIABLE 10YR 3/2 COMMON ROOTS
9"	B	SANDY LOAM, FRIABLE 10YR 5/6 FEW ROOTS TRACE 0-6" COBBLES
24" ESHWT @ 24"	C	FINE SAND, FRIABLE ROOTS TO 24" WATER AT 36" DISTINCT Fe MOTTLER 2.5YR 5/4 10YR 4/8-Fe CONC. 2.5YR 7/8-Fe DEP.

36" BOTTOM OF HOLE NO LEDGE

TP #JM7
 LOGGED BY JDM
 PERC. TEST DATE: 6-7-12
 PERC. RATE: 15 MIN./IN.
 IMPERVIOUS LAYER: 68"
 WATER ENCOUNTERED: 36"

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST MAT
0"		
A		FINE SANDY LOAM, FRIABLE COMMON ROOTS 7.5YR 4/6
19"	B	FINE SANDY LOAM, FRIABLE ROOTS TO 36" FEW 6"-18" COBBLES 10YR 5/6
42" ESHWT @ 50"	C	FINE TO MED. SAND, FRIABLE TRACE 0-6" COBBLES 2.5YR 5/4 7.5YR 5/8-Fe CONC. 2.5YR 7/2-Fe DEP.

68" BOTTOM OF HOLE LEDGE

TP #JM8
 LOGGED BY JDM
 PERC. TEST DATE: 6-7-12
 PERC. RATE: 15 MIN./IN.
 IMPERVIOUS LAYER: 68"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
4"	O	FOREST MAT
0"		
A		LOAMY SAND, FRIABLE COMMON ROOTS 10YR 3/3 TRACE 0-8" COBBLES
16"	B	SANDY LOAM, FRIABLE FEW ROOTS 10YR 5/4 COMMON 6"-18" STONES
36" ESHWT @ 38"	C	SANDY LOAM, FRIABLE MANY COBBLES/BOULDERS 2.5YR 5/3 5YR 6/8-Fe CONC.

68" BOTTOM OF HOLE @ LEDGE

TP #JM9
 LOGGED BY JDM
 PERC. TEST DATE: 6-9-12
 PERC. RATE: 12
 IMPERVIOUS LAYER: 78"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
4"	O	FOREST MAT
0"		
A		LOAMY SAND, FRIABLE 10YR 4/4 COMMON ROOTS
12"	B	FINE SANDY LOAM, FRIABLE 10YR 5/6 FEW ROOTS FEW 0-8" COBBLES
38" ESHWT @ 52"	C	MEDIUM SAND, FRIABLE 2.5Y 7/3 COMMON 0-8" COBBLES 5YR 4/8-Fe CONC.

78" BOTTOM OF HOLE @ LEDGE

TP #JM10
 LOGGED BY JDM
 PERC. TEST DATE: 6-9-12
 PERC. RATE: 12
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: 72"

DEPTH	HORIZON	DESCRIPTION
4"	O	FOREST MAT
0"		
A		LOAMY SAND, FRIABLE 7.5YR 4/6 COMMON ROOTS
17"	B	FINE SANDY LOAM, FRIABLE 10YR 5/6 TRACE 0-6" COBBLES FEW ROOTS
38" ESHWT @ 44"	C	FINE SAND, FRIABLE 2.5Y 7/3 FEW 0-6" COBBLES 5YR 5/8-Fe CONC.

72" BOTTOM OF HOLE NO LEDGE

TP #JM16
 LOGGED BY JDM
 PERC. TEST DATE: 6-9-12
 PERC. RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: 56"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST MAT
0"		
A		LOAMY SAND, FRIABLE 10YR 4/6 COMMON ROOTS
9"	B	FINE SANDY LOAM, FRIABLE 10YR 5/6 FEW ROOTS
32" ESHWT @ 31"	C	MEDIUM SAND, FRIABLE 2.5Y 7/3 TRACE COBBLES 5YR 5/8-Fe CONC.

56" BOTTOM OF HOLE @ LEDGE

TP #JM21
 LOGGED BY JDM
 PERC. TEST DATE: 6-9-12
 PERC. RATE: 12
 IMPERVIOUS LAYER: 36"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST MAT
0"		
A		LOAMY SAND, FRIABLE 10YR 4/6 FEW ROOTS
11"	B	FINE SANDY LOAM, FRIABLE 2.5Y 6/4 TRACE ROOTS TRACE 0-6" COBBLES
23" ESHWT @ 24"	C	MEDIUM SAND, FRIABLE TRACE 0-6" COBBLES 2.5Y 7/3 7.5YR 6/8-Fe CONC.

36" BOTTOM OF HOLE @ LEDGE

TP #JM33
 LOGGED BY JDM
 PERC. TEST DATE: 6-9-12
 PERC. RATE: 12
 IMPERVIOUS LAYER: 29"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		FINE LOAMY SAND, FRIABLE 7.5YR 4/6 TRACE ROOTS
7"	B	FINE LOAMY SAND, FRIABLE 10YR 4/4 TRACE ROOTS ESHWT @ 29" NO E.S.H.W.T.

29" BOTTOM OF HOLE @ LEDGE

TP #JM34
 LOGGED BY JDM
 PERC. TEST DATE: 6-9-12
 PERC. RATE: 12
 IMPERVIOUS LAYER: 35"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST MAT
0"		
A		LOAMY SAND, FRIABLE 7.5YR 4/6 TRACE ROOTS
10"	B	FINE SAND, FRIABLE 10YR 5/6 TRACE ROOTS
24" ESHWT @ 27"	C	MEDIUM SAND, FRIABLE TRACE 0-6" COBBLES 2.5Y 5/4 7.5YR 5/8-Fe CONC.

35" BOTTOM OF HOLE @ LEDGE

TP #JM35
 LOGGED BY JDM
 PERC. TEST DATE: 6-9-12
 PERC. RATE: 12 MIN./INCH
 IMPERVIOUS LAYER: 43"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST MAT
0"		
A		LOAMY SAND, FRIABLE 10YR 3/6 COMMON ROOTS
9"	B	FINE SAND, FRIABLE 10YR 5/6 TRACE ROOTS TRACE 0-6" COBBLES
34" ESHWT @ 34"	C	FINE SAND, FRIABLE 2.5Y 7/3 TRACE 0-6" COBBLES 7.5YR 6/8-Fe CONC.

43" BOTTOM OF HOLE @ LEDGE

TP #JM36
 LOGGED BY JDM
 PERC. TEST DATE: 6-9-12
 PERC. RATE: 12
 IMPERVIOUS LAYER: 33"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST MAT
0"		
A		LOAMY SAND, FRIABLE 10YR 3/6 COMMON ROOTS
8"	B	FINE SAND, FRIABLE 10YR 5/6 TRACE ROOTS TRACE 0-6" COBBLES
30" ESHWT @ 30"	C	FINE SAND, FRIABLE 2.5Y 7/3 TRACE 0-6" COBBLES 7.5YR 6/8-Fe CONC.

33" BOTTOM OF HOLE @ LEDGE

TP #JM39
 LOGGED BY JDM
 PERC. TEST DATE: 6-9-12
 PERC. RATE: 12
 IMPERVIOUS LAYER: 42"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		LOAMY SAND, FRIABLE 10YR 3/4 FEW ROOTS
13"	B	SANDY LOAM, FRIABLE 7.5YR 5/8 TRACE ROOTS TRACE 0-6" COBBLES
29" ESHWT @ 32"	C	MEDIUM SAND, FRIABLE 2.5Y 6/2 TRACE 0-6" COBBLES 7.5YR 5/8-Fe CONC.

42" BOTTOM OF HOLE @ LEDGE

TP #JM40
 LOGGED BY JDM
 PERC. TEST DATE: 6-9-12
 PERC. RATE: 12
 IMPERVIOUS LAYER: 26"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		LOAMY SAND, FRIABLE 10YR 3/4 FEW ROOTS
8"	B	FINE SAND 10YR 5/8 TRACE 0-6" COBBLES FEW ROOTS ESHWT @ 26"

26" BOTTOM OF HOLE @ LEDGE

TP #JM41
 LOGGED BY JDM
 PERC. TEST DATE: 6-9-12
 PERC. RATE: 12
 IMPERVIOUS LAYER: 32"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		LOAMY SAND, FRIABLE 10YR 3/4 FEW ROOTS
11"	B	SANDY LOAM, FRIABLE 7.5YR 5/8 TRACE ROOTS TRACE 0-6" COBBLES
25" ESHWT @ 30"	C	MEDIUM SAND, FRIABLE 2.5Y 6/2 TRACE 0-6" COBBLES 7.5YR 6/8-Fe CONC.

32" BOTTOM OF HOLE @ LEDGE

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



TEST PIT LOGS

EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24: MAP 184; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC, 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054

OWNER OF MAP 186; LOT 20-4: KELLY A. TRUDEL, 11 KARAS CROSSING DRIVE HUDSON, NH 03051

OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST, MARIO & DENISE PLANTE, TRUSTEES, 9 OLD DERRY ROAD HUDSON, NH 03051

KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	05/15/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: AS SHOWN
 PROJECT NO: 11-0202-1 SHEET 79 OF 102

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TP #100
 LOGGED BY JN
 PERC. TEST DATE: 5-16-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 72"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE, LOAMY 10YR 3/3 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 10YR 6/6 FEW ROOTS
24"	C	WEAK GRANULAR, FRIABLE, LOAMY SAND 10YR 5/4 VERY STONY

72" BOTTOM OF HOLE NO LEDGE

TP #101
 LOGGED BY JN
 PERC. TEST DATE: 5-16-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 68"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE, LOAMY 10YR 3/3 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 10YR 6/6 FEW ROOTS
26"	C	WEAK GRANULAR, FRIABLE, LOAMY SAND 10YR 5/4 VERY STONY

68" BOTTOM OF HOLE NO LEDGE

TP #102
 LOGGED BY JN
 PERC. TEST DATE: 5-16-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 65"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE, LOAMY 10YR 3/4 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 10YR 6/6 FEW ROOTS
26"	C	WEAK GRANULAR, FRIABLE, LOAMY SAND 10YR 6/3 VERY STONY ROOTS TO 65"

65" BOTTOM OF HOLE NO LEDGE

TP #103
 LOGGED BY JN
 PERC. TEST DATE: 5-16-12
 PERC. RATE:
 IMPERVIOUS LAYER: 44"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 44"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE, LOAMY 10YR 3/3 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 10YR 6/6 FEW ROOTS
24"	C	WEAK GRANULAR, FRIABLE, LOAMY SAND 10YR 6/3 VERY STONY

44" BOTTOM OF HOLE NO LEDGE

TP #104
 LOGGED BY JN
 PERC. TEST DATE: 5-16-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 72"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE, LOAMY 10YR 3/3 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 10YR 6/6 FEW ROOTS
26"	C	WEAK GRANULAR, FRIABLE, LOAMY SAND FEW ROOTS 10YR 6/4 VERY STONY ROOTS TO 80"

72" BOTTOM OF HOLE NO LEDGE

TP #105
 LOGGED BY JN
 PERC. TEST DATE: 5-16-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 78"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE, LOAMY 10YR 3/3 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 10YR 6/6 FEW ROOTS
26"	C	LOAMY SAND, PLATY 10YR 6/3 FIRM IN PLACE, FRIABLE IN HAND

78" BOTTOM OF HOLE NO LEDGE

TP #106
 LOGGED BY JN
 PERC. TEST DATE: 5-16-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 68"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE, LOAMY 10YR 3/3 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 10YR 6/6 FEW ROOTS
26"	C1	WEAK GRANULAR, FRIABLE, LOAMY SAND 10YR 6/4 FEW ROOTS
48"	C2	BLOCKY, FRIABLE, LOAMY FINE SAND 10YR 7/2

68" BOTTOM OF HOLE NO LEDGE

TP #107
 LOGGED BY JN
 PERC. TEST DATE: 5-16-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 72"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE, LOAMY 10YR 3/3 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 10YR 6/6 MANY ROOTS
26"	C1	WEAK GRANULAR, FRIABLE, LOAMY SAND 10YR 6/4 FEW ROOTS
48"	C2	BLOCKY, FRIABLE, LOAMY FINE SAND 10YR 7/2

72" BOTTOM OF HOLE NO LEDGE

TP #108
 LOGGED BY JN
 PERC. TEST DATE: 5-16-12
 PERC. RATE:
 IMPERVIOUS LAYER: 28"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 28"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE, LOAMY 10YR 3/3 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 10YR 6/6 FEW ROOTS
22"	C	WEAK GRANULAR, FRIABLE, LOAMY SAND 10YR 6/4 ROOTS TO 46"

28" BOTTOM OF HOLE NO LEDGE

TP #109
 LOGGED BY JN
 PERC. TEST DATE: 5-16-12
 PERC. RATE:
 IMPERVIOUS LAYER: 46"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 46"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE, LOAMY 10YR 3/3 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 10YR 6/6 FEW ROOTS
22"	C	WEAK GRANULAR, FRIABLE, LOAMY SAND 10YR 6/4 ROOTS TO 46"

46" BOTTOM OF HOLE NO LEDGE

TP #110
 LOGGED BY JN
 PERC. TEST DATE: 5-16-12
 PERC. RATE:
 IMPERVIOUS LAYER: 40"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 40"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE, LOAMY 10YR 3/3 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 10YR 6/6 FEW ROOTS
26"	C	WEAK GRANULAR, FRIABLE, LOAMY SAND 10YR 6/4 ROOTS TO 36"

40" BOTTOM OF HOLE NO LEDGE

TP #111
 LOGGED BY JN
 PERC. TEST DATE: 5-16-12
 PERC. RATE:
 IMPERVIOUS LAYER: 56"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 56"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE, LOAMY 10YR 3/3 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 10YR 6/6 FEW ROOTS
26"	C	WEAK GRANULAR, FRIABLE, LOAMY SAND 10YR 6/3 ROOTS TO 36"

56" BOTTOM OF HOLE NO LEDGE

TP #112
 LOGGED BY JN
 PERC. TEST DATE: 5-16-12
 PERC. RATE:
 IMPERVIOUS LAYER: 58"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 58"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE, LOAMY 10YR 3/3 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 7.5YR 5/6 FEW ROOTS
22"	C	WEAK GRANULAR, FRIABLE, LOAMY SAND 10YR 6/4 FEW ROOTS TO 48"

58" BOTTOM OF HOLE NO LEDGE

TP #113
 LOGGED BY JN
 PERC. TEST DATE: 5-16-12
 PERC. RATE:
 IMPERVIOUS LAYER: 54"
 WATER ENCOUNTERED: 28"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE, LOAMY 10YR 3/3 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 7.5YR 5/4
24"	C	WEAK GRANULAR, FRIABLE, LOAMY SAND 10YR 6/4 FEW ROOTS TO 48"

54" BOTTOM OF HOLE NO LEDGE

TP #114
 LOGGED BY JN
 PERC. TEST DATE: 5-16-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: 28"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE, LOAMY 10YR 3/3
4"	B1	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 2.5Y 5/4
20"	B2	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 5Y 6/2 WET, COMMON DISTINCT Fe CONC.
36"	C	BLOCKY, FRIABLE, LOAMY SAND 2.5Y 7/3 WET, COMMON DISTINCT Fe CONC.

72" BOTTOM OF HOLE NO LEDGE

TP #115
 LOGGED BY JN
 PERC. TEST DATE: 5-16-12
 PERC. RATE:
 IMPERVIOUS LAYER: 54"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE, LOAMY 10YR 3/3 COMMON ROOTS
4"	B	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 5YR 5/6 MANY ROOTS
28"	C	WEAK GRANULAR, FRIABLE, LOAMY SAND 2.5Y 7/4 ROOTS TO 34" Fe CONC. @ 36"

54" BOTTOM OF HOLE NO LEDGE

TP #116
 LOGGED BY JN
 PERC. TEST DATE: 5-16-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE, LOAMY 10YR 3/3 MANY ROOTS
4"	B1	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 5YR 5/6 MANY ROOTS
16"	B2	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 2.5Y 6/6 FEW ROOTS
26"	C	WEAK GRANULAR, FRIABLE, LOAMY SAND 2.5Y 7/3 ROOTS TO 48"

72" BOTTOM OF HOLE NO LEDGE

TP #16A
 LOGGED BY JN
 PERC. TEST DATE: 4-10-12
 PERC. RATE:
 IMPERVIOUS LAYER: 50"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE, LOAMY 10YR 3/3 COMMON ROOTS
4"	B	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 10YR 6/6 FEW ROOTS
24"	C	WEAK GRANULAR, FRIABLE, LOAMY SAND, MOIST 10YR 7/2 FEW FAINT Fe CONC. @ 28"

50" BOTTOM OF HOLE NO LEDGE

TP #15B
 LOGGED BY JN
 PERC. TEST DATE: 4-10-12
 PERC. RATE:
 IMPERVIOUS LAYER: 66"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE, LOAMY 10YR 3/3 COMMON ROOTS
4"	B	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 10YR 6/6 FEW ROOTS
24"	C	ANG. BLOCKY, FRIABLE, LOAMY CLAYEY SAND, MOIST 10YR 7/2 COMMON DISTINCT Fe CONC. THROUGHOUT

66" BOTTOM OF HOLE NO LEDGE

TP #15C
 LOGGED BY JN
 PERC. TEST DATE: 4-10-12
 PERC. RATE:
 IMPERVIOUS LAYER: 54"
 WATER ENCOUNTERED: 28"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE, LOAMY 10YR 3/3 COMMON ROOTS
4"	B	WEAK GRANULAR, FRIABLE, FINE SANDY LOAM 10YR 6/6 FEW ROOTS
24"	C	ANG. BLOCKY, FRIABLE, LOAMY CLAYEY SAND, MOIST 10YR 7/2 COMMON DISTINCT Fe CONC. THROUGHOUT

54" BOTTOM OF HOLE NO LEDGE

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ DATE _____
 SIGNATURE _____ DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



TEST PIT LOGS

EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
 MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 184; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
--	---	--

KMA
 KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 2B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JEM
2	06/18/15	REVISED PER TOWN COMMENTS	JEM

DATE: JANUARY 7, 2015 SCALE: AS SHOWN
 PROJECT NO: 11-0202-1 SHEET 80 OF 102

TP #R39
 LOGGED BY SBK
 PERC. TEST
 DATE: 7-3-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
6"	A	WEAK MASSIVE, FRIABLE 2.5Y 3/1 LOAM MANY ROOTS
6"	C	WEAK GRANULAR, FRIABLE 5YR 5/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT MANY 6" MINUS COBBLES
24"		ROTTEN LEDGE NO E.S.H.W.T.

24" BOTTOM OF HOLE LEDGE

TP #R40
 LOGGED BY SBK
 PERC. TEST
 DATE: 7-3-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
6"	A	WEAK MASSIVE, FRIABLE 2.5Y 3/1 LOAM MANY ROOTS
6"	C	WEAK GRANULAR, FRIABLE 5YR 5/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT FEW 6" MINUS COBBLES NO E.S.H.W.T.

30" BOTTOM OF HOLE LEDGE

TP #R41
 LOGGED BY SBK
 PERC. TEST
 DATE: 7-3-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
6"	A	WEAK MASSIVE, FRIABLE 2.5Y 3/1 LOAM MANY ROOTS
6"	C	WEAK GRANULAR, FRIABLE 10YR 5/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT NO E.S.H.W.T.

27" BOTTOM OF HOLE LEDGE

TP #R42
 LOGGED BY SBK
 PERC. TEST
 DATE: 7-3-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
6"	A	WEAK MASSIVE, FRIABLE 2.5Y 3/1 LOAM MANY ROOTS
6"	C	WEAK GRANULAR, FRIABLE 10YR 5/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT NO E.S.H.W.T.

19" BOTTOM OF HOLE LEDGE

TP #R43
 LOGGED BY SBK
 PERC. TEST
 DATE: 7-3-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
1"	O	FOREST LITTER
6"	A	WEAK MASSIVE, FRIABLE 2.5Y 3/1 LOAM MANY ROOTS
6"	C	WEAK GRANULAR, FRIABLE 10YR 5/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT NO E.S.H.W.T.

26" BOTTOM OF HOLE LEDGE

TP #R44
 LOGGED BY SBK
 PERC. TEST
 DATE: 7-3-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
6"	A	WEAK MASSIVE, FRIABLE 2.5Y 3/1 LOAM MANY ROOTS
6"	C1	WEAK GRANULAR, FRIABLE 7.5YR 5/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT
24"	C2	WEAK GRANULAR, FRIABLE 2.5Y 5/4 FINE SANDY LOAM TRACE ROOTS TO 22"

30" BOTTOM OF HOLE LEDGE

TP #R45
 LOGGED BY SBK
 PERC. TEST
 DATE: 7-3-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
6"	A	WEAK MASSIVE, FRIABLE 2.5Y 3/1 LOAM MANY ROOTS
6"	C1	WEAK GRANULAR, FRIABLE 7.5YR 5/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT
24"	C2	WEAK GRANULAR, FRIABLE 2.5Y 5/4 FINE SANDY LOAM COMMON ROOTS TO 22" TRACE ROOTS NO E.S.H.W.T.

30" BOTTOM OF HOLE LEDGE

TP #R46
 LOGGED BY SBK
 PERC. TEST
 DATE: 7-3-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST LITTER
6"	A	WEAK MASSIVE, FRIABLE 7.5YR 3/2 COMMON ROOTS
6"	C1	WEAK GRANULAR, FRIABLE 5YR 4/3 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
18"		WEAK GRANULAR, FRIABLE 2.5Y 5/4 FINE SANDY LOAM FEW ROOTS TO 30"

50" BOTTOM OF HOLE LEDGE

TP #R47
 LOGGED BY SBK
 PERC. TEST
 DATE: 7-3-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST LITTER
6"	A	WEAK BLOCKY, FRIABLE 7.5YR 3/2 LOAM FEW ROOTS
6"	C1	WEAK GRANULAR, FRIABLE 2.5Y 7/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
18"		WEAK GRANULAR, FRIABLE 2.5Y 6/2 FINE SANDY LOAM TRACE ROOTS TO 43"

50" BOTTOM OF HOLE NO LEDGE

TP #R48
 LOGGED BY SBK
 PERC. TEST
 DATE: 7-3-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
6"	A	WEAK BLOCKY, FRIABLE 7.5YR 3/2 LOAM FEW ROOTS
6"	C	WEAK GRANULAR, FRIABLE 2.5Y 5/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT NO E.S.H.W.T.

18" BOTTOM OF HOLE LEDGE

TP #R49
 LOGGED BY SBK
 PERC. TEST
 DATE: 7-3-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
6"	A	WEAK GRANULAR, FRIABLE 7.5YR 4/3 FINE SANDY LOAM MANY ROOTS
6"	C	WEAK GRANULAR, FRIABLE 2.5Y 6/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT NO E.S.H.W.T.

30" BOTTOM OF HOLE LEDGE

TP #R50
 LOGGED BY SBK
 PERC. TEST
 DATE: 7-3-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
6"	A	WEAK GRANULAR, FRIABLE 7.5YR 4/3 FINE SANDY LOAM MANY ROOTS
6"	C	WEAK GRANULAR, FRIABLE 2.5Y 6/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT NO E.S.H.W.T.

18" BOTTOM OF HOLE LEDGE

TP #R51
 LOGGED BY SBK
 PERC. TEST @ 20"
 DATE: 7-3-12
 PERC. RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
6"	A	WEAK GRANULAR, FRIABLE 7.5YR 4/3 FINE SANDY LOAM MANY ROOTS
6"	C1	WEAK GRANULAR, FRIABLE 2.5Y 6/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT
33"		WEAK GRANULAR, FRIABLE 5Y 7/2 FINE SANDY LOAM TRACE ROOTS TO 50"

84" BOTTOM OF HOLE NO LEDGE

TP #R52
 LOGGED BY SBK
 PERC. TEST
 DATE: 7-3-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
6"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 LOAM COMMON ROOTS
6"	C1	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT
20"		WEAK GRANULAR, FRIABLE 5Y 6/2 FINE SANDY LOAM TRACE ROOTS TO 32"

50" BOTTOM OF HOLE LEDGE

TP #R53
 LOGGED BY SBK
 PERC. TEST @ 20"
 DATE: 7-3-12
 PERC. RATE: 12 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
1"	O	FOREST LITTER
6"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 LOAM COMMON ROOTS
6"	C1	WEAK GRANULAR, FRIABLE 2.5Y 5/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
42"		WEAK GRANULAR, FRIABLE 2.5Y 6/2 FINE SANDY LOAM TRACE ROOTS TO 48"

50" BOTTOM OF HOLE LEDGE

TP #R54
 LOGGED BY SBK
 PERC. TEST
 DATE: 7-3-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
6"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 LOAM COMMON ROOTS
6"	C1	WEAK GRANULAR, FRIABLE 2.5Y 5/6 FINE SANDY LOAM TRACE ROOTS THROUGHOUT
28"		WEAK GRANULAR, FRIABLE 2.5Y 6/2 FINE SANDY LOAM NO ROOTS

36" BOTTOM OF HOLE LEDGE

TP #R55
 LOGGED BY SBK
 PERC. TEST
 DATE: 7-3-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
6"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 LOAM MANY ROOTS
6"	C1	WEAK GRANULAR, FRIABLE 2.5Y 5/6 FINE SANDY LOAM TRACE ROOTS THROUGHOUT
20"		BROKEN LEDGE

42" BOTTOM OF HOLE LEDGE

TP #R56
 LOGGED BY SBK
 PERC. TEST
 DATE: 7-3-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
6"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 LOAM MANY ROOTS
6"	C1	WEAK GRANULAR, FRIABLE 2.5Y 5/6 FINE SANDY LOAM TRACE ROOTS THROUGHOUT
32"		WEAK GRANULAR, FRIABLE 2.5Y 6/2 FINE SANDY LOAM TRACE ROOTS NO E.S.H.W.T.

36" BOTTOM OF HOLE LEDGE

TP #R57
 LOGGED BY SBK
 PERC. TEST
 DATE: 7-3-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
6"	A	WEAK GRANULAR, FRIABLE 2.5Y 5/2 LOAM MANY ROOTS
6"	C	WEAK GRANULAR, FRIABLE 2.5Y 5/6 FINE SANDY LOAM FEW LARGE ROOTS THROUGHOUT NO E.S.H.W.T.

27" BOTTOM OF HOLE LEDGE

TEST PIT LOGS

EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
 MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC. 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4: KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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 KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 5B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: AS SHOWN
 PROJECT NO: 11-0202-1 SHEET: B1 OF 102



PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

W:\proj\110202\1102021\dwg\1102021-DETAILS.dwg - TEST PITS, 6/26/2015 2:42:05 PM, r1e1e1s

IP #R58

LOGGED BY SBK
PERC. TEST
DATE: 7-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 LOAM MANY ROOTS
3"	C1	WEAK GRANULAR, FRIABLE 2.5Y 5/6 FINE SANDY LOAM COMMON TO FEW ROOTS THROUGHOUT
23"	C2	WEAK GRANULAR, FRIABLE 2.5Y 6/2 FINE SANDY LOAM TRACE ROOTS TO 33"
33"		E.S.H.W.T.
40" BOTTOM OF HOLE LEDGE		

IP #R59

LOGGED BY SBK
PERC. TEST
DATE: 7-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 LOAM MANY ROOTS
3"	C1	WEAK GRANULAR, FRIABLE 2.5Y 6/6 FINE SANDY LOAM COMMON TO FEW ROOTS THROUGHOUT
15"	C2	WEAK GRANULAR, FRIABLE 2.5Y 6/3 FINE SANDY LOAM TRACE ROOTS TO 42"
42"		E.S.H.W.T.
72" BOTTOM OF HOLE NO LEDGE		

IP #R60

LOGGED BY SBK
PERC. TEST
DATE: 7-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM MANY ROOTS
3"	C1	WEAK GRANULAR, FRIABLE 2.5Y 6/6 FINE SANDY LOAM COMMON TO FEW ROOTS THROUGHOUT
30"	C2	WEAK GRANULAR, FRIABLE 2.5Y 6/2 FINE SANDY LOAM TRACE ROOTS TO 37"
37"		E.S.H.W.T.
54" BOTTOM OF HOLE LEDGE		

IP #R61

LOGGED BY SBK
PERC. TEST
DATE: 7-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM MANY ROOTS
6"	C1	WEAK GRANULAR, FRIABLE 2.5Y 6/6 FINE SANDY LOAM COMMON TO FEW ROOTS THROUGHOUT
34"	C2	WEAK GRANULAR, FRIABLE 2.5Y 6/2 FINE SANDY LOAM TRACE ROOTS TO 42"
42"		E.S.H.W.T.
78" BOTTOM OF HOLE NO LEDGE		

IP #R62

LOGGED BY SBK
PERC. TEST
DATE: 7-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM COMMON ROOTS
6"	C1	WEAK GRANULAR, FRIABLE 2.5Y 6/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT
33"	C2	WEAK GRANULAR, FRIABLE 2.5Y 6/2 FINE SANDY LOAM TRACE ROOTS TO 38"
38"		E.S.H.W.T.
78" BOTTOM OF HOLE NO LEDGE		

IP #R63

LOGGED BY SBK
PERC. TEST
DATE: 7-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM COMMON ROOTS
6"	C1	WEAK GRANULAR, FRIABLE 2.5Y 6/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT
30"	C2	WEAK GRANULAR, FRIABLE 2.5Y 6/2 FINE SANDY LOAM TRACE ROOTS TO BOTTOM NO E.S.H.W.T.
56"		E.S.H.W.T.
60" BOTTOM OF HOLE NO LEDGE		

IP #R64

LOGGED BY SBK
PERC. TEST
DATE: 7-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM COMMON ROOTS
6"	C1	WEAK GRANULAR, FRIABLE 2.5Y 6/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT
30"	C2	WEAK GRANULAR, FRIABLE 2.5Y 6/2 FINE SANDY LOAM TRACE ROOTS TO 56"
56"		E.S.H.W.T.
78" BOTTOM OF HOLE NO LEDGE		

IP #R65

LOGGED BY SBK
PERC. TEST
DATE: 7-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM COMMON ROOTS
6"	C1	WEAK GRANULAR, FRIABLE 2.5Y 6/6 FINE SANDY LOAM COMMON ROOTS TO 18" TRACE BELOW
25"	C2	WEAK GRANULAR, FRIABLE 2.5Y 6/2 FINE SANDY LOAM TRACE ROOTS TO 36"
36"		E.S.H.W.T.
72" BOTTOM OF HOLE NO LEDGE		

IP #R66

LOGGED BY SBK
PERC. TEST
DATE: 7-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM COMMON ROOTS
3"	C1	WEAK GRANULAR, FRIABLE 2.5Y 6/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT
27"	C2	WEAK GRANULAR, FRIABLE 2.5Y 6/2 FINE SANDY LOAM TRACE ROOTS TO 38"
60"		E.S.H.W.T.
78" BOTTOM OF HOLE NO LEDGE		

IP #R69

LOGGED BY SBK
PERC. TEST
DATE: 7-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM COMMON ROOTS
4"	C	WEAK GRANULAR, FRIABLE 2.5Y 6/6 FINE SANDY LOAM COMMON ROOTS NO E.S.H.W.T.
18" BOTTOM OF HOLE LEDGE		

IP #R70

LOGGED BY SBK
PERC. TEST
DATE: 7-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM COMMON ROOTS
6"	C	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
20" BOTTOM OF HOLE LEDGE		

IP #R71

LOGGED BY SBK
PERC. TEST
DATE: 7-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM COMMON ROOTS
5"	C	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
23" BOTTOM OF HOLE LEDGE		

IP #R72

LOGGED BY SBK
LOGGED BY SBK
DATE: 7-5-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM MANY ROOTS
5"	C	WEAK GRANULAR, FRIABLE 2.5Y 5/6 FINE SANDY LOAM COMMON TO FEW ROOTS THROUGHOUT NO E.S.H.W.T.
30" BOTTOM OF HOLE LEDGE		

IP #R73

LOGGED BY SBK
PERC. TEST
DATE: 7-5-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM MANY ROOTS
5"	C1	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
14"	C2	WEAK GRANULAR, FRIABLE 2.5Y 5/6 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.
29"		E.S.H.W.T.
29" BOTTOM OF HOLE LEDGE		

IP #R74

LOGGED BY SBK
PERC. TEST
DATE: 7-5-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM MANY ROOTS
6"	C1	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
15"	C2	WEAK GRANULAR, FRIABLE 2.5Y 5/6 FINE SANDY LOAM FEW TO TRACE ROOTS THROUGHOUT NO E.S.H.W.T.
36"		E.S.H.W.T.
36" BOTTOM OF HOLE LEDGE		

IP #R75

LOGGED BY SBK
PERC. TEST
DATE: 7-5-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM MANY ROOTS
6"	C	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
15" BOTTOM OF HOLE LEDGE		

IP #R76

LOGGED BY SBK
PERC. TEST
DATE: 7-5-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM MANY ROOTS
5"	C	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
16" BOTTOM OF HOLE LEDGE		

TEST PIT LOGS

EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT:	OWNER OF MAP 186; LOT 20-4	OWNER OF MAP 201; LOT 7;
EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	GREEN MOUNTAIN PARTNERS REALTY TRUST TRUSTEES MARIO & DENISE PLANTE, 9 OLD DERRY ROAD HUDSON, NH 03051

KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 687-2881



PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JEM
2	06/18/15	REVISED PER TOWN COMMENTS	JEM
DATE: JANUARY 7, 2015		SCALE: AS SHOWN	
PROJECT NO: 11-0202-1		SHEET 62 OF 102	

TP #R77

LOGGED BY SBK
PERC. TEST
DATE: 7-5-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"		
6"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM MANY ROOTS
	C	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
16" BOTTOM OF HOLE LEDGE		

TP #R78

LOGGED BY SBK
PERC. TEST @ 15"
DATE: 7-5-12
PERC. RATE: 15 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"		
3"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM MANY ROOTS
7"	C1	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM COMMON FINE ROOTS THROUGHOUT
	C2	WEAK GRANULAR, FRIABLE 2.5Y 5/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
43" BOTTOM OF HOLE LEDGE		

TP #R79

LOGGED BY SBK
PERC. TEST
DATE: 7-5-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"		
4"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM MANY ROOTS
6"	C1	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM MANY ROOTS THROUGHOUT
	C2	WEAK GRANULAR, FRIABLE 2.5Y 5/6 FINE SANDY LOAM FEW TO COMMON ROOTS THROUGHOUT NO E.S.H.W.T.
30" BOTTOM OF HOLE BROKEN LEDGE		

TP #R80

LOGGED BY SBK
PERC. TEST
DATE: 7-5-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"		
6"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM MANY ROOTS
	C	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT NO E.S.H.W.T.
24" BOTTOM OF HOLE LEDGE		

TP #R81

LOGGED BY SBK
PERC. TEST
DATE: 7-5-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"		
6"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM MANY ROOTS
	C	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT NO E.S.H.W.T.
71" BOTTOM OF HOLE LEDGE		

TP #R82

LOGGED BY SBK
PERC. TEST
DATE: 7-5-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"		
6"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM MANY ROOTS
	C	WEAK GRANULAR, FRIABLE 2.5Y 5/8 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.
30" BOTTOM OF HOLE LEDGE		

TP #R83

LOGGED BY SBK
PERC. TEST
DATE: 7-5-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"		
6"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM MANY ROOTS
	C	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
26" BOTTOM OF HOLE ROTTEN LEDGE		

TP #R84

LOGGED BY SBK
PERC. TEST
DATE: 7-5-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"		
6"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/3 LOAM MANY ROOTS
	C	WEAK GRANULAR, FRIABLE 10YR 4/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
24" BOTTOM OF HOLE LEDGE		

TP #R85

LOGGED BY SBK
PERC. TEST @ 22"
DATE: 8-9-12
PERC. RATE: 10 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"		
3"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 FINE SANDY LOAM MANY ROOTS
36"	B	WEAK GRANULAR, FRIABLE 10YR 5/3 FINE SANDY LOAM TRACE BOULDERS MANY ROOTS
	C	WEAK GRANULAR, FRIABLE 10YR 6/2 FINE SANDY LOAM FEW BOULDERS TRACE ROOTS TO 65" NO E.S.H.W.T.
74" BOTTOM OF HOLE LEDGE		

TP #R86

LOGGED BY SBK
PERC. TEST
DATE: 8-9-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"		
6"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 FINE SANDY LOAM MANY ROOTS
	B	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM TRACE GRAVEL COMMON ROOTS TO 24" TRACE THROUGHOUT NO E.S.H.W.T.
36" BOTTOM OF HOLE LEDGE		

TP #R87

LOGGED BY SBK
PERC. TEST
DATE: 8-9-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"		
4"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 FINE SANDY LOAM MANY ROOTS
22"	B	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM FEW ROOTS
	C	WEAK GRANULAR, FRIABLE 10YR 7/3 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.
42" BOTTOM OF HOLE LEDGE		

TP #R88

LOGGED BY SBK
PERC. TEST
DATE: 8-9-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"		
3"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 FINE SANDY LOAM MANY ROOTS
	B	WEAK GRANULAR, FRIABLE 10YR 5/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
24" BOTTOM OF HOLE LEDGE		

TP #R89

LOGGED BY SBK
PERC. TEST
DATE: 8-9-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"		
4"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 FINE SANDY LOAM MANY ROOTS
	B	WEAK GRANULAR, FRIABLE 10YR 5/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
32" BOTTOM OF HOLE LEDGE		

TP #R90

LOGGED BY SBK
PERC. TEST @ 18"
DATE: 8-9-12
PERC. RATE: 12 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"		
4"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 FINE SANDY LOAM MANY ROOTS
22"	B	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS
	C	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM 36" FEW FINE ROOTS NO E.S.H.W.T.
50" BOTTOM OF HOLE LEDGE		

TP #R91

LOGGED BY SBK
PERC. TEST
DATE: 8-9-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"		
4"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 FINE SANDY LOAM MANY ROOTS
	B	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
30" BOTTOM OF HOLE LEDGE		

TP #R92

LOGGED BY SBK
PERC. TEST
DATE: 8-9-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"		
4"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 FINE SANDY LOAM MANY ROOTS
28"	B	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM COMMON ROOTS
42"	C	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM FINE TO TRACE ROOTS TO 42"
50" BOTTOM OF HOLE LEDGE		

TP #R93

LOGGED BY SBK
PERC. TEST
DATE: 8-9-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"		
6"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 FINE SANDY LOAM MANY ROOTS
	B	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM MANY BOULDERS COMMON ROOTS
24"		
	C	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM COMMON BOULDERS TRACE ROOTS TO 60"
72" BOTTOM OF NO LEDGE		

TP #R94

LOGGED BY SBK
PERC. TEST
DATE: 8-9-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"		
4"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 FINE SANDY LOAM MANY ROOTS
	B	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM COMMON ROOTS
30"		
	C	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM FEW BOULDERS TRACE ROOTS TO 54"
72" BOTTOM OF NO LEDGE		

TP #R95

LOGGED BY SBK
PERC. TEST
DATE: 8-9-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"		
3"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 FINE SANDY LOAM MANY ROOTS
	B	WEAK GRANULAR, FRIABLE 10YR 5/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT NO E.S.H.W.T.
22" BOTTOM OF HOLE LEDGE		

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____
SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



TEST PIT LOGS

EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT:	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7; GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: AS SHOWN
PROJECT NO: 11-0202-1 SHEET: 83 OF 102

TP #R96
 LOGGED BY SBK
 PERC. TEST @ 18"
 DATE: 8-9-12
 PERC. RATE: 10 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 FINE SANDY LOAM MANY ROOTS
2"	B	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM COMMON ROOTS
18"	C	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM FEW ROOTS TO 40" E.S.H.W.T.
54"		COMMON FE MOTILES @ 40"
78"		BOTTOM OF HOLE, NO LEDGE

TP #R97
 LOGGED BY SBK
 PERC. TEST @ 20"
 DATE: 8-9-12
 PERC. RATE: 10 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 FINE SANDY LOAM MANY ROOTS
8"	B	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM COMMON ROOTS
22"	C	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM FEW ROOTS TO 44" E.S.H.W.T.
44"		FEW FE MOTILES @ 44"
56"		BOTTOM OF HOLE, NO LEDGE

TP #R95
 LOGGED BY SBK
 PERC. TEST @ 20"
 DATE: 8-10-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 FINE SANDY LOAM MANY ROOTS
3"	B	WEAK GRANULAR, FRIABLE 10YR 5/6 FINE SANDY LOAM FEW ROOTS
34"	C	WEAK GRANULAR, FRIABLE 10YR 6/2 FINE SANDY LOAM TRACE ROOTS TO 66" E.S.H.W.T.
44"		FEW FE MOTILES @ 72"
120"		BOTTOM OF HOLE, NO LEDGE

TP #R98
 LOGGED BY SBK
 PERC. TEST @ 20"
 DATE: 8-10-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
2"	B	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM FEW BOULDERS FEW ROOTS
34"	C	WEAK GRANULAR, FRIABLE 10YR 7/1 FINE SANDY LOAM COMMON BOULDERS TRACE ROOTS THROUGHOUT NO E.S.H.W.T.
72"		BOTTOM OF HOLE AT BOULDERS

TP #R99
 LOGGED BY SBK
 PERC. TEST @ 20"
 DATE: 8-10-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
4"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM FEW BOULDERS COMMON ROOTS
28"	C	WEAK GRANULAR, FRIABLE 10YR 7/1 FINE SANDY LOAM FEW BOULDERS TO 56" TRACE ROOTS TO 50" MOTTILING @ 54"
54"		E.S.H.W.T.
78"		BOTTOM OF HOLE AT BOULDERS

TP #R100
 LOGGED BY SBK
 PERC. TEST @ 20"
 DATE: 8-10-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT
18"	C	WEAK GRANULAR, FRIABLE 10YR 7/3 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.
28"		AT LEDGE

TP #R101
 LOGGED BY SBK
 PERC. TEST @ 20"
 DATE: 8-10-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 2/2 FINE SANDY LOAM MANY ROOTS
2"	B	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT NO E.S.H.W.T.
24"		BOTTOM OF HOLE AT LEDGE

TP #R102
 LOGGED BY SBK
 PERC. TEST @ 10"
 DATE: 8-10-12
 PERC. RATE: 10 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM COMMON BOULDERS COMMON ROOTS THROUGHOUT
32"	C	WEAK GRANULAR, FRIABLE 10YR 7/4 FINE SANDY LOAM COMMON BOULDERS TRACE ROOTS THROUGHOUT NO E.S.H.W.T.
50"		AT LEDGE

TP #R103
 LOGGED BY SBK
 PERC. TEST @ 20"
 DATE: 8-10-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
2"	B	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
28"	C	WEAK GRANULAR, FRIABLE 10YR 7/4 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.
42"		AT LEDGE

TP #R104
 LOGGED BY SBK
 PERC. TEST @ 20"
 DATE: 8-10-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
2"	B	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
30"	C	WEAK GRANULAR, FRIABLE 10YR 7/4 FINE SANDY LOAM FEW FINE ROOTS THROUGHOUT NO E.S.H.W.T.
48"		AT LEDGE

TP #R105
 LOGGED BY SBK
 PERC. TEST @ 20"
 DATE: 8-10-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
2"	B	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
24"	C	WEAK GRANULAR, FRIABLE 10YR 7/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
42"		AT LEDGE

TP #R106
 LOGGED BY SBK
 PERC. TEST @ 20"
 DATE: 8-10-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
6"	B	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
30"	C	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT NO E.S.H.W.T.
32"		AT LEDGE

TP #R107
 LOGGED BY SBK
 PERC. TEST @ 20"
 DATE: 8-10-12
 PERC. RATE: 8 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM COMMON ROOTS
2"	B	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT
30"	C	WEAK GRANULAR, FRIABLE 10YR 7/4 FINE SANDY LOAM TRACE ROOTS TO 60" E.S.H.W.T.
60"		E.S.H.W.T.
72"		NO LEDGE

TP #R108
 LOGGED BY SBK
 PERC. TEST @ 22"
 DATE: 8-10-12
 PERC. RATE: 10 MIN./INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
6"	B	WEAK GRANULAR, FRIABLE 10YR 5/3 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
18"	C	WEAK GRANULAR, FRIABLE 10YR 7/4 FINE SANDY LOAM TRACE ROOTS TO 44" FEW FAINT MOTILES @ 48"
48"		E.S.H.W.T.
66"		NO LEDGE

TP #R276
 LOGGED BY SBK
 PERC. TEST @ 10"
 DATE: 8-3-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM COMMON ROOTS
12"	B	WEAK GRANULAR, FRIABLE 10YR 6/3 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
38"		AT LEDGE

TP #R275
 LOGGED BY SBK
 PERC. TEST @ 10"
 DATE: 8-3-12
 PERC. RATE:
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
8"	B	WEAK GRANULAR, FRIABLE 10YR 4/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
24"		AT LEDGE

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



TEST PIT LOGS

EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT:	OWNER OF MAP 186; LOT 20-4	OWNER OF MAP 201; LOT 7:
EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	GREEN MOUNTAIN PARTNERS REAL TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051

KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 2B, Bedford, NH 03110 Phone (603) 627-8881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: AS SHOWN
 PROJECT NO: 11-0202-1 SHEET 84 OF 102

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TP #R201

LOGGED BY SBK
PERC. TEST
DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
6"	B1	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
22"	B2	WEAK GRANULAR, FRIABLE 10YR 6/3 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.
36"	AT LEDGE	

TP #R202

LOGGED BY SBK
PERC. TEST
DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
6"	B1	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
18"	B2	WEAK GRANULAR, FRIABLE 10YR 6/3 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.
33"	AT LEDGE	

TP #R203

LOGGED BY SBK
PERC. TEST
DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM COMMON ROOTS
4"	B	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
16"	AT LEDGE	

TP #R204

LOGGED BY SBK
PERC. TEST
DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM COMMON ROOTS
4"	B	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
16"	AT LEDGE	

TP #R205

LOGGED BY SBK
PERC. TEST
DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
3"	B1	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT
18"	B2	WEAK GRANULAR, FRIABLE 10YR 6/3 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.
36"	AT LEDGE	

TP #R206

LOGGED BY SBK
PERC. TEST
DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
3"	B	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
36"	AT LEDGE	

TP #R207

LOGGED BY SBK
PERC. TEST
DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/3 FINE SANDY LOAM MANY ROOTS
8"	B	WEAK GRANULAR, FRIABLE 10YR 6/5 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
20"	AT LEDGE	

TP #R208

LOGGED BY SBK
PERC. TEST
DATE: 8-1-12
PERC. RATE: 12 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FIELD
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
6"	B1	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
24"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.
44"	AT LEDGE	

TP #R209

LOGGED BY SBK
PERC. TEST
DATE: 8-1-12
PERC. RATE: 12 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FIELD
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
6"	B1	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
18"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.
42"	AT LEDGE	

TP #R210

LOGGED BY SBK
PERC. TEST
DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
4"	O	FIELD
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
10"	B1	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
16"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.
38"	AT LEDGE	

TP #R211

LOGGED BY SBK
PERC. TEST
DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FIELD
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
6"	B1	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
14"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.
24"	AT LEDGE	

TP #R212

LOGGED BY SBK
PERC. TEST
DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT NO E.S.H.W.T.
12"	AT LEDGE	

TP #R213

LOGGED BY SBK
PERC. TEST
DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
4"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT NO E.S.H.W.T.
12"	AT LEDGE	

TP #R214

LOGGED BY SBK
PERC. TEST
DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
4"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT NO E.S.H.W.T.
24"	AT LEDGE	

TP #R215

LOGGED BY SBK
PERC. TEST
DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
2"	B1	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
12"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
40"	AT LEDGE	

TP #R216

LOGGED BY SBK
PERC. TEST
DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
2"	B	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
16"	AT LEDGE	

TP #R217

LOGGED BY SBK
PERC. TEST
DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER WITH GRASS
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
2"	B1	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT
18"	B2	WEAK GRANULAR, FRIABLE 10YR 6/3 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
38"	AT LEDGE	

TP #R218

LOGGED BY SBK
PERC. TEST
DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
2"	B	WEAK GRANULAR, FRIABLE 10YR 4/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
14"	AT LEDGE	

TEST PIT LOGS

EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24; MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC. 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2861



REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JOM
2	06/18/15	REVISED PER TOWN COMMENTS	JOM

DATE: JANUARY 7, 2015 SCALE: AS SHOWN
PROJECT NO: 11-0202-1 SHEET 85 OF 102

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

TP #R219

LOGGED BY SBK
PERC. TEST DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
8"	B1	WEAK GRANULAR, FRIABLE 10YR 5/8 FINE SANDY LOAM FEW ROOTS THROUGHOUT
26"	B2	WEAK GRANULAR, FRIABLE 10YR 6/3 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.

34" AT LEDGE

TP #R220

LOGGED BY SBK
PERC. TEST DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE 10YR 4/8 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.

18" AT LEDGE

TP #R221

LOGGED BY SBK
PERC. TEST DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
4"	B1	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
18"	B2	WEAK GRANULAR, FRIABLE 10YR 6/3 FINE SANDY LOAM COMMON TO FEW ROOTS THROUGH DEPTH NO E.S.H.W.T.

42" AT LEDGE

TP #R222

LOGGED BY SBK
PERC. TEST DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE 10YR 4/8 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.

16" AT LEDGE

TP #R223

LOGGED BY SBK
PERC. TEST DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
6"	B	WEAK GRANULAR, FRIABLE 10YR 4/8 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.

24" AT LEDGE

TP #R224

LOGGED BY SBK
PERC. TEST DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/3 FINE SANDY LOAM MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE 10YR 5/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.

20" AT LEDGE

TP #R225

LOGGED BY SBK
PERC. TEST DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
4"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/4 FINE SANDY LOAM MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE 10YR 6/3 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.

34" AT LEDGE

TP #R226

LOGGED BY SBK
PERC. TEST DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
4"	B1	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
18"	B2	WEAK GRANULAR, FRIABLE 10YR 6/3 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.

32" AT LEDGE

TP #R227

LOGGED BY SBK
PERC. TEST DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/4 FINE SANDY LOAM MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE 10YR 7/3 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.

30" BOULDERS OR LEDGE

TP #R228

LOGGED BY SBK
PERC. TEST DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/4 FINE SANDY LOAM MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE 10YR 6/4 FADING TO 10YR 7/2 AT 38" FINE SANDY LOAM FEW FINE ROOTS TO 38" FEW FE CONC. STARTING 38" STRUCTURE BECOMES MASSIVE AT 38"

38" E.S.H.W.T.
60" AT LEDGE

TP #R229

LOGGED BY SBK
PERC. TEST DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/3 FINE SANDY LOAM MANY ROOTS
2"	B	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.

24" AT LEDGE

TP #R230

LOGGED BY SBK
PERC. TEST DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/3 FINE SANDY LOAM MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.

36" AT LEDGE

TP #R231

LOGGED BY SBK
PERC. TEST DATE: 8-1-12
PERC. RATE: 10 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/2 FINE SANDY LOAM MANY ROOTS
6"	B1	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM TRACE ROOTS THROUGHOUT
42"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM MASSIVE IN PLACE TRACE ROOTS TO 48" FEW FE CONC 42" TO 54"

42" E.S.H.W.T.
84" NO LEDGE

TP #R232

LOGGED BY SBK
PERC. TEST DATE: 8-1-12
PERC. RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
4"	B1	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT
18"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.

42" AT LEDGE

TP #R233

LOGGED BY SBK
PERC. TEST DATE: 8-1-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
10"	B1	WEAK GRANULAR, FRIABLE 10YR 6/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT
42"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM TRACE ROOTS TO 54"

54" E.S.H.W.T.
72" NO LEDGE

TP #R234

LOGGED BY SBK
PERC. TEST DATE: 8-2-12
PERC. RATE: 12 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/6 FINE SANDY LOAM COMMON ROOTS
5"	B1	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
26"	B2	WEAK GRANULAR, FRIABLE 10YR 7/3 FINE SANDY LOAM TRACE ROOTS TO 58"

58" E.S.H.W.T.
66" LEDGE OR BOULDER

TP #R235

LOGGED BY SBK
PERC. TEST DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/8 FINE SANDY LOAM MANY ROOTS
3"	B1	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
16"	B2	WEAK GRANULAR, FRIABLE 10YR 7/3 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.

42" AT LEDGE

TP #R236

LOGGED BY SBK
PERC. TEST DATE: 8-2-12
PERC. RATE: 15 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/8 FINE SANDY LOAM MANY ROOTS
4"	B1	WEAK GRANULAR, FRIABLE 10YR 5/8 FINE SANDY LOAM FEW ROOTS THROUGHOUT
33"	B2	WEAK GRANULAR, FRIABLE MASSIVE IN PLACE 10YR 7/3 FINE SANDY LOAM NO ROOTS FEW FE CONC. THROUGHOUT

33" E.S.H.W.T.
66" NO LEDGE

TP #R237

LOGGED BY SBK
PERC. TEST DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/8 FINE SANDY LOAM COMMON ROOTS
6"	B1	WEAK GRANULAR, FRIABLE 10YR 6/8 FINE SANDY LOAM FEW ROOTS THROUGHOUT
28"	B2	WEAK GRANULAR, FRIABLE 10YR 7/3 FINE SANDY LOAM MOST TRACE ROOTS END @ 42" FEW FAINT FE CONC. AT 42"

42" E.S.H.W.T.
84" NO LEDGE

TEST PIT LOGS

EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186: LOT 24: MAP 184: LOTS 9 & 10 & MAP 195: LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC, 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186: LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201: LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/25/15	REMOVED PER TOWN & DES COMMENTS	JEM
2	06/18/15	REMOVED PER TOWN COMMENTS	JEM

DATE: JANUARY 7, 2015
PROJECT NO: 11-0202-1

SCALE: AS SHOWN
SHEET 86 OF 102

TP #R238

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/6 FINE SANDY LOAM COMMON ROOTS
3"	B	WEAK GRANULAR, FRIABLE 10YR 7/3 FINE SANDY LOAM COMMON ROOTS THROUGHOUT NO E.S.H.W.T.
26"	AT LEDGE	

TP #R239

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 5/2 FINE SANDY LOAM MANY ROOTS
4"	B1	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
20"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
42"	AT LEDGE	

TP #R240

LOGGED BY SBK
PERC. TEST @ 22"
DATE: 8-2-12
PERC. RATE: 15 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 5/2 FINE SANDY LOAM MANY ROOTS
6"	B1	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT
30"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM NO ROOTS TRACE FE MOTTLES
50"	AT LEDGE	

TP #R241

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 5/2 FINE SANDY LOAM MANY ROOTS
4"	B1	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
24"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
34"	AT LEDGE	

TP #R242

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 5/2 FINE SANDY LOAM MANY ROOTS
4"	B1	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
12"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
36"	AT LEDGE	

TP #R243

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 5/2 FINE SANDY LOAM MANY ROOTS
4"	B1	WEAK GRANULAR, FRIABLE 10YR 7/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT
34"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM TRACE ROOTS TO 46"
46"	E.S.H.W.T.	
78"	NO LEDGE	

TP #R244

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 4/4 FINE SANDY LOAM MANY ROOTS
6"	B1	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
32"	B2	WEAK GRANULAR, FRIABLE 10YR 6/2 FINE SANDY LOAM FEW ROOTS TO 46"
46"	E.S.H.W.T.	
84"	NO LEDGE	

TP #R245

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 2.5Y 3/1 FINE SANDY LOAM MANY ROOTS
6"	B1	WEAK GRANULAR, FRIABLE 10YR 5/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
32"	B2	WEAK GRANULAR, FRIABLE 10YR 6/3 FINE SANDY LOAM TRACE ROOTS TO 42"
42"	E.S.H.W.T.	
84"	NO LEDGE	

TP #R246

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
4"	B1	WEAK GRANULAR, FRIABLE 10YR 5/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
24"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM TRACE ROOTS TO 42"
48"	E.S.H.W.T.	
52"	NO LEDGE	

TP #R247

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
3"	B	WEAK GRANULAR, FRIABLE 10YR 5/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.
24"	AT LEDGE	

TP #R248

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
6"	B1	WEAK GRANULAR, FRIABLE 10YR 5/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT
21"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM TRACE ROOTS TO 36"
36"	E.S.H.W.T.	
48"	POSSIBLE LEDGE	

TP #R249

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM COMMON ROOTS
6"	B1	WEAK GRANULAR, FRIABLE 10YR 5/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT
26"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.
54"	AT LEDGE	

TP #R250

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM COMMON ROOTS
4"	B1	WEAK GRANULAR, FRIABLE 10YR 5/4 FINE SANDY LOAM FEW ROOTS THROUGHOUT
24"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.
44"	AT LEDGE	

TP #R251

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
4"	B1	WEAK GRANULAR, FRIABLE 10YR 5/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
36"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM NO ROOTS NO E.S.H.W.T.
52"	AT LEDGE/BOULDER	

TP #R252

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
4"	B1	WEAK GRANULAR, FRIABLE 10YR 5/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
20"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM TRACE ROOTS NO E.S.H.W.T.
48"	AT LEDGE	

TP #R253

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
4"	B1	WEAK GRANULAR, FRIABLE 10YR 5/4 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
40"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM FEW ROOTS TO 66" TRACE FE CONC. AT 66"
66"	E.S.H.W.T.	
90"	AT LEDGE	

TP #R254

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
4"	B1	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
40"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM FEW ROOTS TO 64" FE CONC NARROW BAND AT 48"
48"	E.S.H.W.T.	
84"	NO LEDGE	

TP #R255

LOGGED BY SBK
PERC. TEST @ 28"
DATE: 8-2-12
PERC. RATE: 12 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
6"	B1	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
48"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM TRACE ROOTS TO 64" NO MOTTLES AWAY FROM ROCKS
64"	E.S.H.W.T.	
78"	AT LEDGE	

TP #R256

LOGGED BY SBK
PERC. TEST @ 20"
DATE: 8-2-12
PERC. RATE: 12 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
4"	B1	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT
24"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM TRACE ROOTS TO 36"
36"	E.S.H.W.T.	
60"	BOULDER SOIL DOWN SIDES	

TEST PIT LOGS

EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186: LOT 24: MAP 194: LOTS 9 & 10 & MAP 195: LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC, 21 CENTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186: LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201: LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-8881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JEM
2	06/18/15	REVISED PER TOWN COMMENTS	JEM
DATE: JANUARY 7, 2015		SCALE: AS SHOWN	
PROJECT NO: 11-0202-1		SHEET 87 OF 102	



PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

IP #R257

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
4"	B1	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
12"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.

32" AT LEDGE

IP #R258

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE: 12 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
4"	B1	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
36"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.

60" E.S.H.W.T.
86" BOULDERS

IP #R259

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE: 12 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
4"	B1	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
24"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.

60" AT LEDGE

IP #R260

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
6"	B	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.

24" AT LEDGE

IP #R261

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
4"	B1	WEAK GRANULAR, FRIABLE 10YR 5/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT
30"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM TRACE ROOTS TO 44"

44" E.S.H.W.T.
64" NO LEDGE
SOIL BECOMES MASSIVE IN PLACE @ 48"

IP #R262

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
8"	B1	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
16"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM TRACE ROOTS TO 36"

48" AT LEDGE
NO E.S.H.W.T.

IP #R263

LOGGED BY SBK
PERC. TEST
DATE: 8-2-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
2"	B1	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM COMMON ROOTS THROUGHOUT
10"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM TRACE ROOTS TO THROUGHOUT NO E.S.H.W.T.

20" AT LEDGE

IP #R264

LOGGED BY SBK
PERC. TEST
DATE: 8-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM COMMON ROOTS
6"	B1	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT
14"	B2	WEAK GRANULAR, FRIABLE 10YR 7/2 FINE SANDY LOAM TRACE ROOTS THROUGHOUT NO E.S.H.W.T.

32" AT LEDGE

IP #R265

LOGGED BY SBK
PERC. TEST
DATE: 8-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM COMMON ROOTS
6"	B	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.

20" AT LEDGE

IP #R266

LOGGED BY SBK
PERC. TEST
DATE: 8-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER AND GRASS
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM FEW TO TRACE ROOTS THROUGHOUT NO E.S.H.W.T.

36" AT LEDGE

IP #R267

LOGGED BY SBK
PERC. TEST
DATE: 8-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM COMMON ROOTS TO 18" FEW ROOTS TO BOTTOM NO E.S.H.W.T.

38" AT LEDGE

IP #R268

LOGGED BY SBK
PERC. TEST
DATE: 8-3-12
PERC. RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
6"	B	WEAK GRANULAR, FRIABLE 10YR 5/4 FADING TO 10YR 7/3 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.

42" AT LEDGE

IP #R269

LOGGED BY SBK
PERC. TEST
DATE: 8-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
6"	B	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM FEW ROOTS TO 24" TRACE TO BOTTOM NO E.S.H.W.T.

30" AT LEDGE

IP #R270

LOGGED BY SBK
PERC. TEST
DATE: 8-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
2"	B	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM WITH FEW ROOTS TO 22" WEATHERED AND BROKEN BEDROCK WITH TRACE ROOTS TO BOTTOM MIXED IN WITH SOIL NO E.S.H.W.T.

34" AT LEDGE

IP #R271

LOGGED BY SBK
PERC. TEST
DATE: 8-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM COMMON ROOTS
8"	B	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.

34" AT LEDGE

IP #R272

LOGGED BY SBK
PERC. TEST
DATE: 8-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM COMMON ROOTS
8"	B	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM FEW ROOTS THROUGHOUT NO E.S.H.W.T.

24" AT LEDGE

IP #R273

LOGGED BY SBK
PERC. TEST
DATE: 8-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
3"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM MANY ROOTS
8"	B	WEAK GRANULAR, FRIABLE 10YR 5/4 FADING TO 10YR 7/3 FINE SANDY LOAM FEW ROOTS TO 34" TRACE ROOTS TO BOTTOM NO E.S.H.W.T.

24" AT BOULDERS

IP #R274

LOGGED BY SBK
PERC. TEST
DATE: 8-3-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST LITTER
0"	A	WEAK GRANULAR, FRIABLE 10YR 3/2 FINE SANDY LOAM COMMON ROOTS
4"	B	WEAK GRANULAR, FRIABLE 10YR 6/6 FINE SANDY LOAM WITH FEW ROOTS THROUGHOUT WEATHERED AND BROKEN BEDROCK THROUGHOUT NO E.S.H.W.T.

18" AT LEDGE

TEST PIT LOGS

EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC. 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881



PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JJM
2	06/18/15	REVISED PER TOWN COMMENTS	JJM

DATE: JANUARY 7, 2015 SCALE: AS SHOWN
PROJECT NO: 11-0202-1 SHEET 88 OF 102

TP #20
 LOGGED BY JN
 PERC. TEST
 DATE: 3-28-12
 PERC. RATE:
 IMPERVIOUS LAYER: 22"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 22"

DEPTH	HORIZON	DESCRIPTION
0"	A	WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
0"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/8

22" BOTTOM OF HOLE @ LEDGE

TP #20A
 LOGGED BY JN
 PERC. TEST
 DATE: 3-28-12
 PERC. RATE:
 IMPERVIOUS LAYER: 30"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 30"

DEPTH	HORIZON	DESCRIPTION
0"	A	WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
0"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/8

30" BOTTOM OF HOLE @ LEDGE

TP #20B
 LOGGED BY JN
 PERC. TEST
 DATE: 3-28-12
 PERC. RATE:
 IMPERVIOUS LAYER: 18"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 18"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3
4"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/8

18" BOTTOM OF HOLE @ LEDGE

TP #20C
 LOGGED BY JN
 PERC. TEST
 DATE: 3-28-12
 PERC. RATE:
 IMPERVIOUS LAYER: 20"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 20"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3
4"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/8

20" BOTTOM OF HOLE @ LEDGE

TP #18
 LOGGED BY JN
 PERC. TEST
 DATE: 3-28-12
 PERC. RATE:
 IMPERVIOUS LAYER: 10"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 10"

DEPTH	HORIZON	DESCRIPTION
4"	A	WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3
0"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/8

10" BOTTOM OF HOLE @ LEDGE

TP #18A
 LOGGED BY JN
 PERC. TEST
 DATE: 3-28-12
 PERC. RATE:
 IMPERVIOUS LAYER: 12"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 12"

DEPTH	HORIZON	DESCRIPTION
4"	A	WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3
0"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/8

12" BOTTOM OF HOLE @ LEDGE

TP #17
 LOGGED BY JN
 PERC. TEST
 DATE: 3-28-12
 PERC. RATE:
 IMPERVIOUS LAYER: 18"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 18"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3
6"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/8

18" BOTTOM OF HOLE @ LEDGE

TP #19
 LOGGED BY JN
 PERC. TEST
 DATE: 3-28-12
 PERC. RATE:
 IMPERVIOUS LAYER: 20"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 20"

DEPTH	HORIZON	DESCRIPTION
2"	A	WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3
0"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/8

20" BOTTOM OF HOLE @ LEDGE

TP #21
 LOGGED BY JN
 PERC. TEST
 DATE: 3-28-12
 PERC. RATE:
 IMPERVIOUS LAYER: 8"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 8"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3
4"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/8

8" BOTTOM OF HOLE @ LEDGE

TP #22
 LOGGED BY JN
 PERC. TEST
 DATE: 3-28-12
 PERC. RATE:
 IMPERVIOUS LAYER: 12"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 12"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3
4"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/8

12" BOTTOM OF HOLE @ LEDGE

TP #15
 LOGGED BY JN
 PERC. TEST
 DATE: 3-28-12
 PERC. RATE:
 IMPERVIOUS LAYER: 30"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 30"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3
4"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/8
18"	C	WEAK GRANULAR, FRIABLE LOAMY SAND 10YR 7/2

30" BOTTOM OF HOLE @ LEDGE

TP #15A
 LOGGED BY JN
 PERC. TEST
 DATE: 3-28-12
 PERC. RATE:
 IMPERVIOUS LAYER: 24"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 24"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3
4"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/8
18"	C	WEAK GRANULAR, FRIABLE LOAMY SAND 10YR 7/2

24" BOTTOM OF HOLE @ LEDGE

TP #14
 LOGGED BY JN
 PERC. TEST
 DATE: 3-28-12
 PERC. RATE:
 IMPERVIOUS LAYER: 20"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 20"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3
4"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/8

20" BOTTOM OF HOLE @ LEDGE

TP #14A
 LOGGED BY JN
 PERC. TEST @ 24"
 DATE: 3-28-12
 PERC. RATE: 12 MIN/INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: 38"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3
4"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/8 FEW ROOTS
28"	C	WEAK GRANULAR, FRIABLE LOAMY SAND 10YR 7/3 COMMON Fe CONC. @ 38"

ESHW @ 30"
 68" BOTTOM OF HOLE NO LEDGE

TP #13
 LOGGED BY JN
 PERC. TEST
 DATE: 3-28-12
 PERC. RATE:
 IMPERVIOUS LAYER: 18"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 18"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3
4"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/8

18" BOTTOM OF HOLE @ LEDGE

TP #13A
 LOGGED BY JN
 PERC. TEST
 DATE: 3-28-12
 PERC. RATE:
 IMPERVIOUS LAYER: 12"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 12"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3
4"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/8

12" BOTTOM OF HOLE @ LEDGE

TP #12
 LOGGED BY JN
 PERC. TEST
 DATE: 3-28-12
 PERC. RATE: 12 MIN/INCH
 IMPERVIOUS LAYER: 65"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: 30"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/4 FEW ROOTS
24"	C	ANGULAR BLOCKY, FRIABLE LOAMY SAND 10YR 7/3 Fe CONC. @ 30"

ESHW @ 30"
 65" BOTTOM OF HOLE @ LEDGE

TP #37
 LOGGED BY JN
 PERC. TEST
 DATE: 3-28-12
 PERC. RATE:
 IMPERVIOUS LAYER: 18"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 18"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6

18" BOTTOM OF HOLE @ LEDGE

TP #37A
 LOGGED BY JN
 PERC. TEST
 DATE: 3-28-12
 PERC. RATE:
 IMPERVIOUS LAYER: 12"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 12"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6

12" BOTTOM OF HOLE @ LEDGE

TP #37B
 LOGGED BY JN
 PERC. TEST
 DATE: 3-28-12
 PERC. RATE:
 IMPERVIOUS LAYER: 12"
 WATER ENCOUNTERED: NONE
 E.S.H.W.T.: NONE TO 12"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"	A	WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
4"	B	WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6

12" BOTTOM OF HOLE @ LEDGE

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



TEST PIT LOGS

EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
 MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 8 OLD DERRY ROAD HUDSON, NH 03051
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KM KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 687-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/16/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: AS SHOWN
 PROJECT NO: 11-0202-1 SHEET 89 OF 102

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TP #37C

LOGGED BY JN
PERC. TEST
DATE: 3-28-12
PERC. RATE:
IMPERVIOUS LAYER: 15"
WATER ENCOUNTERED: NONE
E.S.H.W.T.: NONE TO 15"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
4"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6
15" BOTTOM OF HOLE @ LEDGE		

TP #D-1

LOGGED BY JN
PERC. TEST
DATE: 3-28-12
PERC. RATE:
IMPERVIOUS LAYER: 42"
WATER ENCOUNTERED: NONE
E.S.H.W.T.: 28"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3
6"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/4 FEW ROOTS
18"		
C		ANGULAR BLOCKY, FRIABLE LOAMY SAND 10YR 7/3 COMMON Fe CONC. @ 28"
42" BOTTOM OF HOLE @ LEDGE		

TP #D-2

LOGGED BY JN
PERC. TEST
DATE: 3-28-12
PERC. RATE:
IMPERVIOUS LAYER: 36"
WATER ENCOUNTERED: NONE
E.S.H.W.T.: 25"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3
6"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/4 FEW ROOTS
18"		
C		ANGULAR BLOCKY, FRIABLE LOAMY SAND 10YR 7/3 COMMON Fe CONC. @ 26"
36" BOTTOM OF HOLE @ LEDGE		

TP #38

LOGGED BY JN
PERC. TEST @ 20"
DATE: 3-28-12
PERC. RATE: 12 MIN./INCH
IMPERVIOUS LAYER: 56"
WATER ENCOUNTERED: NONE
E.S.H.W.T.: 24"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
4"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 FEW ROOTS TO 24"
24"		
C		WEAK GRANULAR, FRIABLE LOAMY SAND 10YR 7/3 COMMON DISTINCT Fe CONC.
56" BOTTOM OF HOLE @ LEDGE		

TP #24

LOGGED BY JN
PERC. TEST
DATE: 3-28-12
PERC. RATE:
IMPERVIOUS LAYER: 48"
WATER ENCOUNTERED: NONE
E.S.H.W.T.: 36"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3
4"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 FEW ROOTS
22"		
C		WEAK GRANULAR, FRIABLE LOAMY SAND 10YR 7/3 FEW DISTINCT Fe CONC. @ 36"
48" BOTTOM OF HOLE @ LEDGE		

TP #C

LOGGED BY JN
PERC. TEST
DATE: 3-30-12
PERC. RATE: 10 MIN./IN.
IMPERVIOUS LAYER: 60"
WATER ENCOUNTERED: NONE
E.S.H.W.T.: 48"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
6"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 FEW ROOTS
28"		
C1		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/4 FEW ROOTS
36"		
C2		BLOCKY, FRIABLE LOAMY SAND 10YR 7/3 FEW DISTINCT Fe CONC. @ 48"
60" BOTTOM OF HOLE @ LEDGE		

TP #B

LOGGED BY JN
PERC. TEST
DATE: 3-30-12
PERC. RATE:
IMPERVIOUS LAYER: 58"
WATER ENCOUNTERED: NONE
E.S.H.W.T.: 46"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
4"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 FEW ROOTS
24"		
C		WEAK GRANULAR, FRIABLE LOAMY SAND 10YR 7/3 FEW FAINT Fe CONC. @ 46"
58" BOTTOM OF HOLE @ LEDGE		

TP #B2

LOGGED BY JN
PERC. TEST
DATE: 3-30-12
PERC. RATE:
IMPERVIOUS LAYER: 60"
WATER ENCOUNTERED: NONE
E.S.H.W.T.: 46"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
4"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 FEW ROOTS
28"		
C		WEAK GRANULAR, FRIABLE LOAMY SAND 10YR 7/3 FEW Fe CONC. AT 42"
60" BOTTOM OF HOLE @ LEDGE		

TP #E

LOGGED BY JN
PERC. TEST
DATE: 3-30-12
PERC. RATE:
IMPERVIOUS LAYER: 60"
WATER ENCOUNTERED: NONE
E.S.H.W.T.: 48"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
4"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 FEW ROOTS
22"		
C		WEAK GRANULAR, FRIABLE LOAMY SAND, MOIST 10YR 6/2 FEW DISTINCT Fe CONC. AT 48"
60" BOTTOM OF HOLE @ LEDGE		

TP #F

LOGGED BY JN
PERC. TEST
DATE: 3-30-12
PERC. RATE:
IMPERVIOUS LAYER: 36"
WATER ENCOUNTERED: NONE
E.S.H.W.T.: NONE TO 36"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
4"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 FEW ROOTS
20"		
C		WEAK GRANULAR, FRIABLE LOAMY SAND, 10YR 6/2
36" BOTTOM OF HOLE @ LEDGE		

TP #G

LOGGED BY JN
PERC. TEST
DATE: 3-30-12
PERC. RATE:
IMPERVIOUS LAYER: 40"
WATER ENCOUNTERED: NONE
E.S.H.W.T.: NONE TO 40"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
4"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 FEW ROOTS
24"		
C		BLOCKY, FRIABLE LOAMY SAND 10YR 7/2 FEW ROOTS THROUGHOUT
40" BOTTOM OF HOLE @ LEDGE		

TP #G2

LOGGED BY JN
PERC. TEST
DATE: 3-30-12
PERC. RATE:
IMPERVIOUS LAYER: 42"
WATER ENCOUNTERED: NONE
E.S.H.W.T.: NONE TO 42"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
4"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 FEW ROOTS
22"		
C		BLOCKY, FRIABLE LOAMY SAND 10YR 7/2 FEW ROOTS THROUGHOUT
42" BOTTOM OF HOLE @ LEDGE		

TP #H

LOGGED BY JN
PERC. TEST
DATE: 3-30-12
PERC. RATE:
IMPERVIOUS LAYER: 38"
WATER ENCOUNTERED: NONE
E.S.H.W.T.: NONE TO 38"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
4"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 FEW ROOTS
20"		
C		BLOCKY, FRIABLE LOAMY SAND 10YR 7/3 FEW ROOTS THROUGHOUT
38" BOTTOM OF HOLE @ LEDGE		

TP #11

LOGGED BY JN
PERC. TEST @ 22"
DATE: 3-30-12
PERC. RATE: 12 MIN./INCH
IMPERVIOUS LAYER: 48"
WATER ENCOUNTERED: NONE
E.S.H.W.T.: 26"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
4"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 FEW ROOTS
26"		
C		BLOCKY, FRIABLE MOIST 10YR 7/4 COMMON DISTINCT Fe CONC.
48" BOTTOM OF HOLE @ LEDGE		

TP #11A

LOGGED BY JN
PERC. TEST @ 20"
DATE: 3-30-12
PERC. RATE: 12 MIN./INCH
IMPERVIOUS LAYER: 52"
WATER ENCOUNTERED: NONE
E.S.H.W.T.: 26"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
4"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 FEW ROOTS
26"		
C		BLOCKY, FRIABLE MOIST 10YR 7/4 COMMON DISTINCT Fe CONC.
52" BOTTOM OF HOLE @ LEDGE		

TP #9

LOGGED BY JN
PERC. TEST
DATE: 3-30-12
PERC. RATE:
IMPERVIOUS LAYER: 20"
WATER ENCOUNTERED: NONE
E.S.H.W.T.: NONE TO 20"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
4"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/6
20" BOTTOM OF HOLE @ LEDGE		

TP #18B

LOGGED BY JN
PERC. TEST
DATE: 4-10-12
PERC. RATE:
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE
E.S.H.W.T.: 34"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
6"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 FEW ROOTS
24"		
C		WEAK GRANULAR, VERY FRIABLE LOAMY SAND 10YR 7/2 FEW DISTINCT Fe CONC. @ 34"
78" BOTTOM OF HOLE NO LEDGE		

TP #19A

LOGGED BY JN
PERC. TEST
DATE: 4-10-12
PERC. RATE:
IMPERVIOUS LAYER: 12"
WATER ENCOUNTERED: NONE
E.S.H.W.T.: NONE TO 12"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 COMMON ROOTS
6"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 6/6 FEW ROOTS
12" BOTTOM OF HOLE @ LEDGE		

TP #19B

LOGGED BY JN
PERC. TEST
DATE: 4-10-12
PERC. RATE:
IMPERVIOUS LAYER: 52"
WATER ENCOUNTERED: NONE
E.S.H.W.T.: 36"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 COMMON ROOTS
6"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 FEW ROOTS
20"		
C		WEAK GRANULAR, VERY FRIABLE LOAMY SAND 10YR 7/3 COMMON DISTINCT Fe CONC. @ 36" ROOTS TO 40"
52" BOTTOM OF HOLE @ LEDGE		

TP #19C

LOGGED BY JN
PERC. TEST
DATE: 4-10-12
PERC. RATE:
IMPERVIOUS LAYER: 54"
WATER ENCOUNTERED: NONE
E.S.H.W.T.: 32"

DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 COMMON ROOTS
4"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 FEW ROOTS
24"		
C		WEAK GRANULAR, VERY FRIABLE LOAMY SAND, MOIST, 10YR 7/3 COMMON DISTINCT Fe CONC. @ 32" ROOTS TO 40"
54" BOTTOM OF HOLE @ LEDGE		

TP #17A

LOGGED BY JN
PERC. TEST
DATE: 4-10-12
PERC. RATE: 12 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE
E.S.H.W.T.: 44"

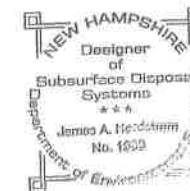
DEPTH	HORIZON	DESCRIPTION
2"	O	FOREST MAT
0"		
A		WEAK GRANULAR, FRIABLE LOAMY 10YR 3/3 MANY ROOTS
6"		
B		WEAK GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6 FEW ROOTS
28"		
C		WEAK GRANULAR, VERY FRIABLE LOAMY SAND 10YR 7/2 FEW ROOTS TO 48" FEW DISTINCT Fe CONC. @ 44"
72" BOTTOM OF HOLE NO LEDGE		

TEST PIT LOGS

EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186: LOT 24, MAP 194: LOTS 9 & 10 & MAP 195: LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC, 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054
OWNER OF MAP 186: LOT 20-4, GREEN MOUNTAIN PARTNERS REALTY TRUST, MARIO & DNYSE PLANTE, TRUSTEES, 9 OLD DERRY ROAD HUDSON, NH 03051
OWNER OF MAP 201: LOT 7, KELY A. TRUDEL, 11 KARAS CROSSING DRIVE HUDSON, NH 03051

KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commarco Park North, Suite 2B, Bedford, NH 03110 Phone (603) 687-2861



PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/26/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015
PROJECT NO: 11-0202-1
SCALE: AS SHOWN
SHEET 90 OF 102

TP #JL100
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: IMPERVIOUS LAYER: 24"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 3/2
6"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/4
10"	C	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/4 ROOTS TO 24" NO E.S.H.W.T.

24" BOTTOM OF HOLE @ LEDGE

TP #JL101
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: IMPERVIOUS LAYER: 30"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
4"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/4
9"	C	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/6 ROOTS TO 30" NO E.S.H.W.T.

30" BOTTOM OF HOLE @ LEDGE

TP #JL102
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 3/2
4"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 2/2
10"	C1	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/4
28" ESHWT @ 28"	C2	GRANULAR, FRIABLE FINE LOAMY SAND 10YR 4/4
38"	C3	GRANULAR, FRIABLE FINE SILTY SAND 2.5Y 5/3
68" BOTTOM OF HOLE NO LEDGE		

TP #JL103
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: IMPERVIOUS LAYER: 20"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
4"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/3
10"	C	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/4 ROOTS TO 20" NO E.S.H.W.T.

20" BOTTOM OF HOLE @ LEDGE

TP #JL104
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: IMPERVIOUS LAYER: 22"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 3/2
5"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/3
10"	C	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/6 ROOTS TO 20" NO E.S.H.W.T.

22" BOTTOM OF HOLE @ LEDGE

TP #JL105
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: IMPERVIOUS LAYER: 36"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/1
4"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/4
16"	C	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/4 ROOTS TO 36" NO E.S.H.W.T.

36" BOTTOM OF HOLE @ LEDGE

TP #JL106
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: IMPERVIOUS LAYER: 28"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
6"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/3
12"	C	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/4 ROOTS TO 28" NO E.S.H.W.T.

28" BOTTOM OF HOLE @ LEDGE

TP #JL107
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: IMPERVIOUS LAYER: 12"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
4"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/4 ROOTS TO 12" NO E.S.H.W.T.

12" BOTTOM OF HOLE @ LEDGE

TP #JL108
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 3/2
4"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 2/2
10"	C1	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/6
24" ESHWT @ 24"	C2	GRANULAR, FRIABLE FINE SAND 2.5Y 5/4
44"	C3	GRANULAR, FRIABLE FINE-MED. SAND 2.5Y 8/3 ROOTS TO 52"

60" BOTTOM OF HOLE NO LEDGE

TP #JL109
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
4"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/4
12"	C1	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/4
26" ESHWT @ 26"	C2	GRANULAR, FRIABLE FINE-MED. SAND 2.5Y 5/3
42"	C3	GRANULAR, FRIABLE FINE-MED. SAND 2.5Y 5/2 ROOTS TO 52"

66" BOTTOM OF HOLE NO LEDGE

TP #JL110
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: IMPERVIOUS LAYER: 28"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
4"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/3
10"	C	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/4 ROOTS TO 24" NO E.S.H.W.T.

28" BOTTOM OF HOLE @ LEDGE

TP #JL111
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: IMPERVIOUS LAYER: 38"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 3/3
6"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 2/2
10"	C1	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/4
24" ESHWT @ 24"	C2	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/6
36"	C3	GRANULAR, FRIABLE FINE LOAMY SAND 2.5Y 5/4 ROOTS TO 36"

36" BOTTOM OF HOLE @ LEDGE

TP #JL112
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: IMPERVIOUS LAYER: 42"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/1
4"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/3
8"	C1	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/3
20"	C2	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/6
28" ESHWT @ 28"	C3	GRANULAR, FRIABLE FINE LOAMY SAND 10YR 4/6
42" BOTTOM OF HOLE @ LEDGE		

TP #JL113
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: IMPERVIOUS LAYER: 30"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 3/2
4"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/4
8"	C	GRANULAR, FRIABLE FINE LOAMY SAND 10YR 3/6 WEATHERED BEDROCK ROOTS TO 30" NO E.S.H.W.T.

30" BOTTOM OF HOLE @ LEDGE

TP #JL114
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: IMPERVIOUS LAYER: 38"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
3"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/3
8"	C1	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/4
28" ESHWT @ 28"	C2	GRANULAR, FRIABLE FINE SANDY LOAM 2.5Y 5/3 ROOTS TO 38"

38" BOTTOM OF HOLE @ LEDGE

TP #JL115
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: IMPERVIOUS LAYER: 18"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
3"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/4
6"	C	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/4 ROOTS TO 18" NO E.S.H.W.T.

18" BOTTOM OF HOLE @ LEDGE

TP #JL116
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: IMPERVIOUS LAYER: 18"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
3"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/4
8"	C	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/4 ROOTS TO 18" NO E.S.H.W.T.

18" BOTTOM OF HOLE @ LEDGE

TP #JL117
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: IMPERVIOUS LAYER: 26"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
3"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/4
5"	C	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/6 ROOTS TO 26" NO E.S.H.W.T.

26" BOTTOM OF HOLE @ LEDGE

TP #JL118
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: IMPERVIOUS LAYER: 20"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
3"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/4
5"	C	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/6 ROOTS TO 20" NO E.S.H.W.T.

20" BOTTOM OF HOLE @ LEDGE

TEST PIT LOGS

EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
 MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186: LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC. 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186: LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201: LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DEVISE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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KM KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-8881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: AS SHOWN
 PROJECT NO: 11-0202-1 SHEET 91 OF 102

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ DATE _____
 SIGNATURE _____ DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



K:_Projects\110202-1\110202-1.dwg, 5/25/2015 2:40:23 PM, news

TP #JL119
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: 24"
 IMPERVIOUS LAYER: 24"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 3/1
4"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/2
10"	C	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/4 ROOTS TO 24" NO E.S.H.W.T.

24" BOTTOM OF HOLE @ LEDGE

TP #JL120
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: 24"
 IMPERVIOUS LAYER: 24"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/1
4"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/4
8"	C	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/6 ROOTS TO 24" NO E.S.H.W.T.

24" BOTTOM OF HOLE @ LEDGE

TP #JL121
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: 40"
 IMPERVIOUS LAYER: 40"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
3"	B	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 3/3
8"	C1	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/6
26" ESHWT @ 28"	C2	GRANULAR, FRIABLE FINE LOAMY SAND 2.5Y 5/3 ROOTS TO 36"

40" BOTTOM OF HOLE @ LEDGE

TP #JL122
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: 20"
 IMPERVIOUS LAYER: 20"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
4"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/3
10"	C	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/6 ROOTS TO 20" NO E.S.H.W.T.

20" BOTTOM OF HOLE @ LEDGE

TP #JL123
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: 50"
 IMPERVIOUS LAYER: 50"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
3"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/3
9"	C1	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/6
20"	C2	GRANULAR, FRIABLE FINE LOAMY SAND 10YR 4/6
34" ESHWT @ 34"	C3	GRANULAR, FRIABLE FINE LOAMY SAND 2.5Y 5/3 ROOTS TO 38"

50" BOTTOM OF HOLE @ LEDGE

TP #JL124
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: 48"
 IMPERVIOUS LAYER: 48"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 3/2
3"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/3
8"	C1	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/4
18"	C2	GRANULAR, FRIABLE FINE LOAMY SAND 10YR 4/6
30" ESHWT @ 30"	C3	GRANULAR, FRIABLE FINE LOAMY SAND 2.5Y 5/3 ROOTS TO 38"

48" BOTTOM OF HOLE @ LEDGE

TP #JL125
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: 48"
 IMPERVIOUS LAYER: 48"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
4"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/3
10"	C1	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/4
18"	C2	GRANULAR, FRIABLE FINE LOAMY SAND 10YR 5/4
26" ESHWT @ 28"	C3	GRANULAR, FRIABLE FINE SAND 2.5Y 5/3 ROOTS TO 38"

48" BOTTOM OF HOLE @ LEDGE

TP #JL126
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: 12 MIN/INCH
 IMPERVIOUS LAYER: 52"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
4"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/3
8"	C1	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/4
18"	C2	GRANULAR, FRIABLE FINE SAND 10YR 4/6
30" ESHWT @ 30"	C3	GRANULAR, FRIABLE FINE SAND 2.5Y 5/3 ROOTS TO 40"

52" BOTTOM OF HOLE @ LEDGE

TP #JL127
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: 26"
 IMPERVIOUS LAYER: 26"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
3"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/3
8"	C	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/6 ROOTS TO 26" NO E.S.H.W.T.

26" BOTTOM OF HOLE @ LEDGE

TP #JL128
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: 30"
 IMPERVIOUS LAYER: 30"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 3/2
3"	B	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 3/4
10"	C	GRANULAR, FRIABLE FINE LOAMY SAND 10YR 3/4 ROOTS TO 30" NO E.S.H.W.T.

30" BOTTOM OF HOLE @ LEDGE

TP #JL129
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: 42"
 IMPERVIOUS LAYER: 42"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 3/2
3"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/4
12"	C1	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/6
26" ESHWT @ 26"	C2	GRANULAR, FRIABLE FINE LOAMY SAND 10YR 4/4 ROOTS TO 38"

42" BOTTOM OF HOLE @ LEDGE

TP #JL130
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: 28"
 IMPERVIOUS LAYER: 28"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
4"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/4
10"	C	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/4 ROOTS TO 28" NO E.S.H.W.T.

28" BOTTOM OF HOLE @ LEDGE

TP #JL131
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: 52"
 IMPERVIOUS LAYER: 52"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 3/3
4"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/6
10"	C1	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/6
28" ESHWT @ 28"	C2	GRANULAR, FRIABLE FINE LOAMY SAND 2.5Y 5/3 ROOTS TO 40"

52" BOTTOM OF HOLE @ LEDGE

TP #JL132
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: 22"
 IMPERVIOUS LAYER: 22"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
3"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/3
6"	C	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/4 ROOTS TO 22" NO E.S.H.W.T.

22" BOTTOM OF HOLE @ LEDGE

TP #JL133
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: 26"
 IMPERVIOUS LAYER: 26"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
3"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/3
10"	C	GRANULAR, FRIABLE FINE LOAMY SAND 10YR 4/4 ROOTS TO 26" NO E.S.H.W.T.

26" BOTTOM OF HOLE @ LEDGE

TP #JL134
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: 22"
 IMPERVIOUS LAYER: 22"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
4"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/3
8"	C	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/4 ROOTS TO 22" NO E.S.H.W.T.

22" BOTTOM OF HOLE @ LEDGE

TP #JL135
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: 8 MIN/INCH
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
3"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/3
6"	C1	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/4
18"	C2	GRANULAR, FRIABLE FINE LOAMY SAND 10YR 5/4
34" ESHWT @ 34"	C3	GRANULAR, FRIABLE FINE SAND 2.5Y 5/3 ROOTS TO 50"

72" BOTTOM OF HOLE NO LEDGE

TP #JL137
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: 38"
 IMPERVIOUS LAYER: 38"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
4"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/4
8"	C1	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 4/6
22" ESHWT @ 22"	C2	GRANULAR, FRIABLE FINE SANDY LOAM 2.5Y 5/4 ROOTS TO 38"

38" BOTTOM OF HOLE @ LEDGE

TP #JL138
 LOGGED BY JDL
 PERC. TEST DATE: 6-18-12
 PERC. RATE: 50"
 IMPERVIOUS LAYER: 50"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	A	GRANULAR, VERY FRIABLE FINE SANDY LOAM 10YR 2/2
3"	B	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 3/4
6"	C1	GRANULAR, FRIABLE FINE SANDY LOAM 10YR 5/6
22" ESHWT @ 22"	C2	GRANULAR, FRIABLE FINE LOAMY SAND 2.5Y 5/4 ROOTS TO 45"

50" BOTTOM OF HOLE @ LEDGE

TEST PIT LOGS

EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
 MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CENTRAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7; GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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KMA
 KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: AS SHOWN
 PROJECT NO: 11-0202-1 SHEET 92 OF 102

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ DATE _____
 SIGNATURE _____ DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



K:\Projects\110202-1\Drawings\110202-1-DETAILS.dwg, TEST PITS, 6/28/2015 2:40:13 PM, News

TP #500

LOGGED BY JN
PERC. TEST @ 20"
DATE: 11-13-2014
PERC. RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"		
0"	O	FOREST MAT
5"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
26"	B	10YR 5/6, WEAK GRANULAR, FINE SANDY LOAM, FEW ROOTS
	C	10YR 7/3, ANGULAR BLOCKY, FRIABLE, LOAMY SAND, FEW ROOTS, FEW FAINT FE CONC. (MOTTLES) @ 60"
		ESHWT @ 60"
76"		BOTTOM OF HOLE, NO LEDGE

TP #501

LOGGED BY JN
PERC. TEST @ 30"
DATE: 11-13-2014
PERC. RATE: 12 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"		
0"	O	FOREST MAT
5"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
22"	B	10YR 5/6, WEAK GRANULAR, FINE SANDY LOAM, FEW ROOTS
38"	C-1	10YR 7/3, ANGULAR BLOCKY, FRIABLE, LOAMY SAND, FEW ROOTS
	C-2	2.5 8/3, PLATY, FRM IN PLACE, FRIABLE IN HAND, LOAMY SAND, FEW DIST. FE CONC. (MOTTLES) @ 42"
		ESHWT @ 42"
76"		BOTTOM OF HOLE, NO LEDGE

TP #502

LOGGED BY JN
PERC. TEST @ 30"
DATE: 11-13-2014
PERC. RATE: 12 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"		
0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
24"	B	10YR 5/6, WEAK GRANULAR, FINE SANDY LOAM, FEW ROOTS
40"	C-1	10YR 7/3, ANGULAR BLOCKY, FRIABLE, LOAMY SAND, FEW ROOTS
	C-2	2.5 8/3, PLATY, FRM IN PLACE, FRIABLE IN HAND, LOAMY SAND, FEW DIST. FE CONC. (MOTTLES) @ 48"
		ESHWT @ 48"
76"		BOTTOM OF HOLE, NO LEDGE

TP #503

LOGGED BY JN
PERC. TEST @ 24"
DATE: 11-13-2014
PERC. RATE: 12 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"		
0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
18"	B	10YR 5/6, WEAK GRANULAR, FINE SANDY LOAM, FEW ROOTS
28"	C-1	10YR 7/4, WEAK GRANULAR, FRIABLE, LOAMY SAND
	C-2	10YR 7/2, BLOCKY, FRIABLE, LOAMY SAND, COMMON DIST. FE CONC. (MOTTLES) THROUGHOUT
		ESHWT @ 28"
72"		BOTTOM OF HOLE, NO LEDGE

TP #504

LOGGED BY JN
PERC. TEST @ 24"
DATE: 11-13-2014
PERC. RATE: 12 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"		
0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
20"	B	10YR 5/6, WEAK GRANULAR, FINE SANDY LOAM, FEW ROOTS
26"	C-1	10YR 7/4, WEAK GRANULAR, FRIABLE, LOAMY SAND
	C-2	10YR 7/2, BLOCKY, FRIABLE, LOAMY SAND, COMMON DIST. FE CONC. (MOTTLES) THROUGHOUT
		ESHWT @ 26"
76"		BOTTOM OF HOLE, NO LEDGE

TP #505

LOGGED BY JN
PERC. TEST @ 20"
DATE: 11-13-2014
PERC. RATE: 12 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"		
0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
20"	B-1	10YR 5/6, WEAK GRANULAR, FINE SANDY LOAM, FEW ROOTS
24"	B-2	10YR 7/4, WEAK GRANULAR, FRIABLE, LOAMY SAND
	C	10YR 7/2, ANGULAR BLOCKY, FRM IN PLACE, FRIABLE IN HAND, LOAMY SAND, COMMON DIST. FE CONC. (MOTTLES) THROUGHOUT
		ESHWT @ 24"
72"		BOTTOM OF HOLE, NO LEDGE

TP #506

LOGGED BY JN
PERC. TEST @ 24"
DATE: 11-13-2014
PERC. RATE: 12 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"		
0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
20"	B-1	10YR 5/6, WEAK GRANULAR, FINE SANDY LOAM, FEW ROOTS
28"	B-2	10YR 7/4, WEAK GRANULAR, FRIABLE, LOAMY SAND
	C	10YR 7/2, ANGULAR BLOCKY, FRM IN PLACE, FRIABLE IN HAND, LOAMY SAND, COMMON DIST. FE CONC. (MOTTLES) THROUGHOUT
		ESHWT @ 28"
72"		BOTTOM OF HOLE, NO LEDGE

TP #507

LOGGED BY JN
PERC. TEST @ 20"
DATE: 11-13-2014
PERC. RATE: 12 MIN./INCH
IMPERVIOUS LAYER: 54"
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"		
0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
18"	B-1	10YR 5/6, WEAK GRANULAR, FINE SANDY LOAM, FEW ROOTS
26"	B-2	10YR 7/4, WEAK GRANULAR, FRIABLE, LOAMY SAND
	C	10YR 7/2, ANGULAR BLOCKY, FRM IN PLACE, FRIABLE IN HAND, LOAMY SAND, COMMON DIST. FE CONC. (MOTTLES) THROUGHOUT
		ESHWT @ 26"
54"		BOTTOM OF HOLE AT LEDGE

TP #507A

LOGGED BY JN
PERC. TEST @ 20"
DATE: 11-13-2014
PERC. RATE: 10 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"		
0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
26"	B	10YR 5/6, WEAK GRANULAR, FINE SANDY LOAM, FEW ROOTS
34"	C-1	10YR 7/4, WEAK GRANULAR, FRIABLE, LOAMY SAND
	C-2	10YR 8/2, BLOCKY, FRIABLE, LOAMY SAND, COMMON DIST. FE CONC. (MOTTLES) THROUGHOUT
		ESHWT @ 26"
76"		BOTTOM OF HOLE, NO LEDGE

TP #508

LOGGED BY JN
PERC. TEST @ 20"
DATE: 11-13-2014
PERC. RATE: 10 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"		
0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
24"	B	10YR 5/6, WEAK GRANULAR, FINE SANDY LOAM, FEW ROOTS
	C	10YR 8/2, ANGULAR BLOCKY, FRIABLE, LOAMY SAND, FEW FAINT FE CONC. (MOTTLES) @ 30"
		ESHWT @ 30"
72"		BOTTOM OF HOLE, NO LEDGE

TP #509

LOGGED BY JN
PERC. TEST @ 20"
DATE: 11-13-2014
PERC. RATE: 10 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"		
0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
28"	B	10YR 5/6, WEAK GRANULAR, FINE SANDY LOAM, FEW ROOTS
	C	10YR 8/2, ANGULAR BLOCKY, FRIABLE, LOAMY SAND, COMMON DIST. FE CONC. THROUGHOUT
		ESHWT @ 28"
72"		BOTTOM OF HOLE, NO LEDGE

TP #509A

LOGGED BY JN
PERC. TEST @ 24"
DATE: 11-13-2014
PERC. RATE: 10 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"		
0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
24"	B	10YR 5/6, WEAK GRANULAR, FINE SANDY LOAM, FEW ROOTS
	C	10YR 8/2, ANGULAR BLOCKY, FRIABLE, LOAMY SAND, COMMON DIST. FE CONC. AND DEPL. THROUGHOUT
		ESHWT @ 24"
72"		BOTTOM OF HOLE, NO LEDGE

TP #510

LOGGED BY JN
PERC. TEST @ 20"
DATE: 11-13-2014
PERC. RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"		
0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
22"	B	10YR 5/6, WEAK GRANULAR, FINE SANDY LOAM, FEW ROOTS
	C	10YR 8/2, ANGULAR BLOCKY, FRIABLE, LOAMY SAND, FEW FAINT FE CONC. (MOTTLES) @ 28"
		ESHWT @ 28"
46"		BOTTOM OF HOLE AT LEDGE

TP #510A

LOGGED BY JN
PERC. TEST @ 20"
DATE: 11-13-2014
PERC. RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"		
0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
24"	B	10YR 5/6, WEAK GRANULAR, FINE SANDY LOAM, FEW ROOTS
	C	10YR 8/2, ANGULAR BLOCKY, FRIABLE, LOAMY SAND, FEW FAINT FE CONC. (MOTTLES) THROUGHOUT
		ESHWT @ 24"
72"		BOTTOM OF HOLE, NO LEDGE

TP #511

LOGGED BY JN
PERC. TEST @ 20"
DATE: 11-13-2014
PERC. RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"		
0"	O	FOREST MAT
6"	A	10YR 3/4, WEAK GRANULAR, FRIABLE, LOAMY, COMMON COARSE ROOTS
24"	B	10YR 5/6, WEAK GRANULAR, FINE SANDY LOAM, MANY ROOTS
	C	10YR 7/3, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW FAINT FE CONC. @ 32"
		ESHWT @ 32"
76"		BOTTOM OF HOLE, NO LEDGE

TP #512

LOGGED BY JN
PERC. TEST @ 22"
DATE: 11-13-2014
PERC. RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"		
0"	O	FOREST MAT
6"	A	10YR 3/4, WEAK GRANULAR, FRIABLE, LOAMY, COMMON COARSE ROOTS
26"	B	10YR 5/6, WEAK GRANULAR, FINE SANDY LOAM, MANY ROOTS
	C	10YR 7/3, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW FAINT FE CONC. @ 34"
		ESHWT @ 34"
76"		BOTTOM OF HOLE, NO LEDGE

TP #513

LOGGED BY JN
PERC. TEST @ 20"
DATE: 11-13-2014
PERC. RATE: 8 MIN./INCH
IMPERVIOUS LAYER: 52"
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"		
0"	O	FOREST MAT
4"	A	10YR 3/4, WEAK GRANULAR, FRIABLE, LOAMY, COMMON COARSE ROOTS
24"	B	10YR 5/6, WEAK GRANULAR, FINE SANDY LOAM, MANY ROOTS
	C	10YR 7/3, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW DIST. FE CONC. @ 28"
		ESHWT @ 28"
52"		BOTTOM OF HOLE, NO LEDGE

TP #513B

LOGGED BY JN
PERC. TEST @ 20"
DATE: 11-13-2014
PERC. RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"		
0"	O	FOREST MAT
4"	A	10YR 3/4, WEAK GRANULAR, FRIABLE, LOAMY, COMMON COARSE ROOTS
24"	B	10YR 5/6, WEAK GRANULAR, FINE SANDY LOAM, MANY ROOTS
	C	10YR 7/3, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW FAINT FE CONC. @ 30"
		ESHWT @ 30"
68"		BOTTOM OF HOLE, NO LEDGE

TP #513C

LOGGED BY JN
PERC. TEST @ 20"
DATE: 11-13-2014
PERC. RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2"		
0"	O	FOREST MAT
4"	A	10YR 3/4, WEAK GRANULAR, FRIABLE, LOAMY, COMMON COARSE ROOTS
24"	B	10YR 5/6, WEAK GRANULAR, FINE SANDY LOAM, MANY ROOTS
	C	10YR 7/3, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW FAINT FE CONC. @ 30"
		ESHWT @ 30"
56"		BOTTOM OF HOLE AT LEDGE

TEST PIT LOGS

EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CENTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DEBRY ROAD HUDSON, NH 03051
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KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 687-2881



PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015
PROJECT NO: 11-0202-1

SCALE: AS SHOWN
SHEET 93 OF 102

TP #529

LOGGED BY JN
PERC. TEST @ 20"
DATE: 11-20-2014
PERC. RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2" 0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY COARSE ROOTS
24"	B	10YR 6/8, WEAK GRANULAR, FRIABLE, FINE SANDY LOAM, FEW ROOTS
ESHWT @ 42"	C	10YR 7/3, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW FAINT FE CONC. @ 45"
64"		BOTTOM OF HOLE, NO LEDGE

TP #529B

LOGGED BY JN
PERC. TEST @ 24"
DATE: 11-20-2014
PERC. RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2" 0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY COARSE ROOTS
26"	B	10YR 6/8, WEAK GRANULAR, FRIABLE, FINE SANDY LOAM, FEW ROOTS
ESHWT @ 44"	C	10YR 7/3, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW FAINT FE CONC. @ 44"
56"		BOTTOM OF HOLE AT LEDGE

TP #529C

LOGGED BY JN
PERC. TEST @ 20"
DATE: 11-20-2014
PERC. RATE: 8 MIN./INCH
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2" 0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY COARSE ROOTS
26"	B	10YR 6/8, WEAK GRANULAR, FRIABLE, FINE SANDY LOAM, FEW ROOTS
38"	C	10YR 7/3, WEAK GRANULAR, FRIABLE, LOAMY SAND
		BOTTOM OF HOLE AT LEDGE

TP #530

LOGGED BY JN
PERC. TEST @ 20"
DATE: 11-20-2014
PERC. RATE: 8 MIN./INCH
IMPERVIOUS LAYER: 54"
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2" 0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY COARSE ROOTS
24"	B	10YR 6/8, WEAK GRANULAR, FRIABLE, FINE SANDY LOAM, FEW ROOTS
ESHWT @ 36"	C	10YR 7/3, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW FAINT FE CONC. @ 36"
54"		BOTTOM OF HOLE AT LEDGE

TP #530A

LOGGED BY JN
PERC. TEST @ 20"
DATE: 11-20-2014
PERC. RATE: 10 MIN./INCH
IMPERVIOUS LAYER: 55"
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2" 0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY COARSE ROOTS
26"	B	10YR 6/8, WEAK GRANULAR, FRIABLE, FINE SANDY LOAM, FEW ROOTS
ESHWT @ 34"	C	10YR 7/3, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW FAINT FE CONC. @ 34"
55"		BOTTOM OF HOLE AT LEDGE

TP #530B

LOGGED BY JN
PERC. TEST @ 20"
DATE: 11-20-2014
PERC. RATE: 8 MIN./INCH
IMPERVIOUS LAYER: 60"
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2" 0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY COARSE ROOTS
28"	B	10YR 6/8, WEAK GRANULAR, FRIABLE, FINE SANDY LOAM, FEW ROOTS
ESHWT @ 32"	C	10YR 7/3, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW FAINT FE CONC. @ 32"
60"		BOTTOM OF HOLE AT LEDGE

TP #530C

LOGGED BY JN
PERC. TEST @ 20"
DATE: 11-20-2014
PERC. RATE: 8 MIN./INCH
IMPERVIOUS LAYER: 58"
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2" 0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY COARSE ROOTS
28"	B	10YR 6/8, WEAK GRANULAR, FRIABLE, FINE SANDY LOAM, FEW ROOTS
ESHWT @ 32"	C	10YR 7/3, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW FAINT FE CONC. @ 32"
58"		BOTTOM OF HOLE AT LEDGE

TP #531

LOGGED BY JN
PERC. TEST @ 20"
DATE: 11-20-2014
PERC. RATE: 8 MIN./INCH
IMPERVIOUS LAYER: 32"
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2" 0"	O	FOREST MAT
4"	A	10YR 3/4, WEAK GRANULAR, FRIABLE, LOAMY, MANY COARSE ROOTS
20"	B	10YR 6/8, WEAK GRANULAR, FRIABLE, FINE SANDY LOAM, FEW ROOTS
32"	C	10YR 7/3, WEAK GRANULAR, FRIABLE, LOAMY SAND
		BOTTOM OF HOLE AT LEDGE

TP #532

LOGGED BY JN
PERC. TEST @ 24"
DATE: 11-20-2014
PERC. RATE: 10 MIN./INCH
IMPERVIOUS LAYER: 58"
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2" 0"	O	FOREST MAT
4"	A	10YR 3/4, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
12"	B-1	10YR 6/8, WEAK GRANULAR, FRIABLE, FINE SANDY LOAM, MANY ROOTS
28"	B-2	10YR 6/8, BLOCKY, FRIABLE, FINE SANDY LOAM, FEW ROOTS
ESHWT @ 54"	C	10YR 7/3, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW ROOTS
58"		BOTTOM OF HOLE AT LEDGE

TP #532A

LOGGED BY JN
PERC. TEST @ 24"
DATE: 11-20-2014
PERC. RATE: 10 MIN./INCH
IMPERVIOUS LAYER: 50"
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2" 0"	O	FOREST MAT
4"	A	10YR 3/4, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
18"	B-1	10YR 6/8, WEAK GRANULAR, FRIABLE, FINE SANDY LOAM, MANY ROOTS
30"	B-2	10YR 6/8, BLOCKY, FRIABLE, FINE SANDY LOAM, FEW ROOTS
ESHWT @ 50"	C	10YR 7/3, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW ROOTS
50"		BOTTOM OF HOLE AT LEDGE

TP #533

LOGGED BY JN
PERC. TEST @ 20"
DATE: 11-20-2014
PERC. RATE: 8 MIN./INCH
IMPERVIOUS LAYER: 56"
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2" 0"	O	FOREST MAT
4"	A	10YR 3/4, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
28"	B	10YR 6/8, WEAK GRANULAR, FRIABLE, FINE SANDY LOAM, MANY ROOTS
ESHWT @ 36"	C	10YR 7/3, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW ROOTS TO 36"
56"		BOTTOM OF HOLE AT LEDGE

TP #534

LOGGED BY JN
PERC. TEST @ 22"
DATE: 11-20-2014
PERC. RATE: 8 MIN./INCH
IMPERVIOUS LAYER: 58"
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2" 0"	O	FOREST MAT
4"	A	10YR 3/4, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
24"	B	10YR 6/8, WEAK GRANULAR, FRIABLE, FINE SANDY LOAM, MANY ROOTS
ESHWT @ 48"	C	10YR 7/3, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW FAINT FE CONC. (MOTTLES) @ 48"
58"		BOTTOM OF HOLE AT LEDGE

TP #534A

LOGGED BY JN
PERC. TEST @ 22"
DATE: 11-20-2014
PERC. RATE: 8 MIN./INCH
IMPERVIOUS LAYER: 56"
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2" 0"	O	FOREST MAT
4"	A	10YR 3/4, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
26"	B	10YR 6/8, WEAK GRANULAR, FRIABLE, FINE SANDY LOAM, MANY ROOTS
ESHWT @ 48"	C	10YR 7/3, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW FAINT FE CONC. (MOTTLES) @ 48"
50"		BOTTOM OF HOLE AT LEDGE

TP #535

LOGGED BY JN
PERC. TEST @ 28"
DATE: 11-20-2014
PERC. RATE: 10 MIN./INCH
IMPERVIOUS LAYER: 56"
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2" 0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
28"	B	10YR 6/4, WEAK GRANULAR, FRIABLE, FINE SANDY LOAM, MANY ROOTS
48"	C-1	10YR 6/8, WEAK GRANULAR, FRIABLE, FINE LOAMY SAND, FEW ROOTS
ESHWT @ 48"	C-2	10YR 7/2, WEAK GRANULAR, FRIABLE, LOAMY SAND, FEW DIST. FE CONC. (MOTTLES) THROUGHOUT
56"		BOTTOM OF HOLE AT LEDGE

TP #535A

LOGGED BY JN
PERC. TEST @ 26"
DATE: 11-20-2014
PERC. RATE: 10 MIN./INCH
IMPERVIOUS LAYER: 46"
WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
2" 0"	O	FOREST MAT
4"	A	10YR 3/3, WEAK GRANULAR, FRIABLE, LOAMY, MANY ROOTS
28"	B	10YR 5/4, WEAK GRANULAR, FRIABLE, FINE SANDY LOAM, MANY ROOTS
46"	C	10YR 6/8, WEAK GRANULAR, FRIABLE, FINE LOAMY SAND, FEW ROOTS
		BOTTOM OF HOLE AT LEDGE

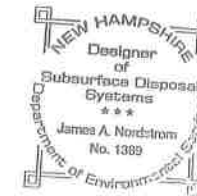
PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

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TEST PIT LOGS

EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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KMA
KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 303, Bedford, NH 03110 Phone (603) 627-8881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/26/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: AS SHOWN
PROJECT NO: 11-0202-1 SHEET 95 OF 102

TP #600

LOGGED BY JDM
 PERC. TEST: 12-5-2014
 DATE: 12-5-2014
 PERC. RATE: 15-20 MIN/IN
 IMPERVIOUS LAYER: 54"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	O	FOREST MAT
4"		
	A	10YR 5/6, GRANULAR, FRIABLE, LOAMY SAND
14"		
	B	2.5Y 5/4, GRANULAR, FRIABLE, LOAMY SAND
23"		
	C	2.5Y 6/3, GRANULAR, FRIABLE, FINE SAND, 7.5YR 6/8 - Fe CONC.
ESHWT @ 36"		
54"		BOTTOM OF HOLE AT LEDGE

TP #601

LOGGED BY JDM
 PERC. TEST: 12-5-2014
 DATE: 12-5-2014
 PERC. RATE: 15-20 MIN/IN
 IMPERVIOUS LAYER: 49"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	O	FOREST MAT
4"		
	A	10YR 5/6, GRANULAR, FRIABLE, LOAMY SAND
14"		
	B	2.5Y 5/4, GRANULAR, FRIABLE, LOAMY SAND
23"		
	C	2.5Y 6/3, GRANULAR, FRIABLE, FINE SAND, 7.5YR 6/8 - Fe CONC.
ESHWT @ 36"		
49"		BOTTOM OF HOLE AT LEDGE

TP #602

LOGGED BY JDM
 PERC. TEST: 12-5-2014
 DATE: 12-5-2014
 PERC. RATE: 15-20 MIN/IN
 IMPERVIOUS LAYER: 60"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	O	FOREST MAT
8"		
	A	10YR 5/6, GRANULAR, FRIABLE, LOAMY SAND, ROOTS
15"		
	B	2.5Y 5/6, GRANULAR, FRIABLE, LOAMY SAND, ROOTS, 7.5 YR 5/8 - Fe CONC.
ESHWT @ 26"		
34"		
	C	5Y 6/3, GRANULAR, FRIABLE, FINE SAND, TRACE COBBLES
ESHWT @ 36"		
60"		BOTTOM OF HOLE AT LEDGE

TP #604

LOGGED BY JDM
 PERC. TEST: 12-5-2014
 DATE: 12-5-2014
 PERC. RATE: 15-20 MIN/IN
 IMPERVIOUS LAYER: 61"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	O	FOREST MAT
3"		
	A	10YR 3/6, GRANULAR, FRIABLE, LOAMY SAND, ROOTS
7"		
	B1	10YR 6/8, GRANULAR, FRIABLE, FINE LOAMY SAND, ROOTS TO 32"
18"		
	B2	2.5Y 6/8, GRANULAR, FRIABLE, FINE SAND
31"		
	C	2.5Y 7/3, GRANULAR, FRIABLE, FINE SAND, TRACE COBBLES, 7.5YR 6/8 - Fe CONC.
ESHWT @ 33"		
61"		BOTTOM OF HOLE AT LEDGE

TP #605

LOGGED BY JDM
 PERC. TEST: 12-5-2014
 DATE: 12-5-2014
 PERC. RATE: 15-20 MIN/IN
 IMPERVIOUS LAYER: 53"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	O	FOREST MAT
3"		
	A	10YR 3/6, GRANULAR, FRIABLE, LOAMY SAND, ROOTS
11"		
	B1	10YR 6/8, GRANULAR, FRIABLE, FINE LOAMY SAND, ROOTS TO 32"
24"		
	B2	2.5Y 6/6, GRANULAR, FRIABLE, FINE SAND, 7.5YR 6/8 - Fe CONC.
ESHWT @ 32"		
34"		
	C	2.5Y 7/3, GRANULAR, FRIABLE, FINE SAND, TRACE COBBLES
ESHWT @ 34"		
53"		BOTTOM OF HOLE AT LEDGE

TP #606

LOGGED BY JDM
 PERC. TEST: 12-5-2014
 DATE: 12-5-2014
 PERC. RATE: 15-20 MIN/IN
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	O	FOREST MAT
3"		
	A	2.5Y 5/4, GRANULAR, FRIABLE, LOAMY SAND, ROOTS
7"		
	B	2.5Y 6/4, GRANULAR, FRIABLE, FINE SANDY LOAM, ROOTS TO 28"
18"		
	C	2.5Y 7/3, GRANULAR, FRIABLE, FINE SAND, TRACE COBBLES, 7.5 YR 5/8 - Fe CONC.
ESHWT @ 23"		
65"		BOTTOM OF HOLE, NO LEDGE

TP #700

LOGGED BY JDM
 PERC. TEST: 12-16-2014
 DATE: 12-16-2014
 PERC. RATE: 15-20 MIN/IN
 IMPERVIOUS LAYER: 43"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	O	FOREST MAT
2"		
	A	10YR 3/3, GRANULAR, FRIABLE, LOAM
12"		
	B	10YR 6/6, GRANULAR, FRIABLE, FINE SANDY LOAM
26"		
	C	2.5Y 7/2, GRANULAR, FRIABLE, FINE SAND, 7.5YR 6/8 - Fe CONC.
ESHWT @ 30"		
43"		BOTTOM OF HOLE AT LEDGE

TP #701

LOGGED BY JDM
 PERC. TEST: 12-16-2014
 DATE: 12-16-2014
 PERC. RATE: 15-20 MIN/IN
 IMPERVIOUS LAYER: 43"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	O	FOREST MAT
2"		
	A	10YR 3/3, GRANULAR, FRIABLE, LOAM
12"		
	B	10YR 6/6, GRANULAR, FRIABLE, FINE SANDY LOAM
26"		
	C	2.5Y 7/2, GRANULAR, FRIABLE, FINE SAND, 7.5YR 6/8 - Fe CONC.
ESHWT @ 30"		
43"		BOTTOM OF HOLE AT LEDGE

TP #800

LOGGED BY JDM
 PERC. TEST: 5-19-15
 DATE: 5-19-15
 PERC. RATE: 15-20 MIN/IN
 IMPERVIOUS LAYER: 56"
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	O	FOREST MAT
2"		
	A	10YR 3/3, W. GRANULAR, FRIABLE, LOAMY, MANY ROOTS
8"		
	B	10 YR 6/6, W. GRANULAR, FRIABLE, FINE SANDY LOAM
30"		
	C	10 YR 7/4, W. GRANULAR, FRIABLE, LOAMY SAND, FEW FE CONC. @ 50"
ESHWT @ 50"		
56"		BOTTOM OF HOLE, LEDGE

TP #801

LOGGED BY JDM
 PERC. TEST: 5-20-15
 DATE: 5-20-15
 PERC. RATE: 5-10 MIN/IN
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	O	FOREST MAT
4"		
	A	10YR 6/6, GRANULAR, FRIABLE, LOAMY SAND, ROOTS
19"		
	B	2.5 Y 5/6, GRANULAR, FRIABLE, SANDY LOAM, ROOTS
31"		
	C	5 Y 2/6, GRANULAR, FRIABLE, FINE SAND, TRACE GRAVEL, ROOTS TO 36", FEW FE CONC. @ 36"
ESHWT @ 52"		
62"		BOTTOM OF HOLE, NO LEDGE

TP #802

LOGGED BY JDM
 PERC. TEST: 5-20-15
 DATE: 5-20-15
 PERC. RATE: 8-10 MIN/IN
 IMPERVIOUS LAYER: NONE
 WATER ENCOUNTERED: NONE

DEPTH	HORIZON	DESCRIPTION
0"	O	FOREST MAT
4"		
	A	10YR 6/6, GRANULAR, FRIABLE, LOAMY SAND, ROOTS
19"		
	B	2.5 Y 5/6, GRANULAR, FRIABLE, SANDY LOAM, ROOTS
31"		
	C	5 Y 2/6, GRANULAR, FRIABLE, FINE SAND, TRACE GRAVEL, ROOTS TO 36", FEW FE CONC. @ 36"
ESHWT @ 52"		
56"		BOTTOM OF HOLE, NO LEDGE

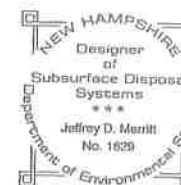
PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

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TEST PIT LOGS

EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
 MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24; MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC. 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 687-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/16/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: AS SHOWN
 PROJECT NO: 11-0202-1 SHEET 96 OF 102

CONVENTIONAL LOT AREA TABLE

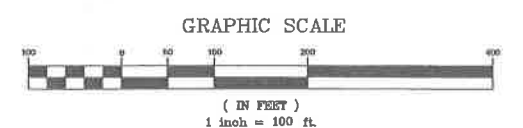
LOT NUMBER	TOTAL LOT AREA		WETLAND AREA		AREA >25% SLOPE		*BUIDABLE LOT AREA		FRONTAGE FEET
	SF	ACRES	SF	ACRES	SF	ACRES	SF	ACRES	
1	327,626	7.521	75,482	1.733	82,007	1.883	105,127	2.436	814
2	118,832	2.728	N/A	N/A	20,371	0.466	98,445	2.260	200
3	104,412	2.397	2,343	0.054	8,230	0.189	93,839	2.154	200
4	127,838	2.935	10,895	0.246	16,513	0.379	87,237	2.003	200
5	102,824	2.361	12,837	0.297	2,234	0.051	87,653	2.012	200
6	94,416	2.167	2,225	0.051	4,586	0.105	87,209	2.002	200
7	120,590	2.766	16,839	0.432	4,104	0.094	94,801	2.172	200
8	118,861	2.731	16,892	0.388	5,534	0.127	87,155	2.001	443
9	82,858	2.127	632	0.012	5,519	0.127	87,139	2.000	200
10	298,405	6.873	115,007	2.640	10,714	0.246	87,484	2.008	476
11	102,701	2.358	34	0.001	11,774	0.270	90,927	2.087	287
12	244,240	5.507	50,320	1.155	16,488	0.379	127,217	2.921	378
13	101,480	2.329	8,208	0.188	43	0.001	89,779	2.056	233
14	182,549	4.191	40,366	0.927	13,513	0.310	86,370	2.029	440
15	145,148	3.332	4,583	0.107	1,785	0.041	138,890	3.184	214
16	87,892	2.018	N/A	N/A	886	0.016	87,186	2.002	200
17	100,584	2.309	11,398	0.262	935	0.021	88,258	2.026	525
18	221,644	5.088	105,453	2.421	N/A	N/A	87,183	2.001	561
19	183,773	4.219	91,822	2.110	N/A	N/A	87,147	2.001	280
20	257,833	5.914	99,298	2.280	4,425	0.102	88,852	2.035	311
21	127,544	2.928	28,077	0.645	557	0.013	98,908	2.271	200
22	90,832	2.081	N/A	N/A	3,308	0.076	87,321	2.005	200
23	87,787	2.015	N/A	N/A	290	0.007	87,497	2.009	266
24	94,391	2.187	828	0.021	5,499	0.126	87,964	2.018	200
25	124,230	2.852	22,195	0.510	12,889	0.299	88,345	2.028	210
26	148,490	3.432	1,750	0.040	30,848	0.709	118,644	2.724	200
27	102,362	2.350	2,457	0.056	5,714	0.131	90,187	2.070	265
28	102,836	2.361	N/A	N/A	15,449	0.355	87,387	2.006	433
29	106,724	2.450	2,281	0.052	17,561	0.403	89,164	2.047	441
30	91,415	2.098	N/A	N/A	3,966	0.092	87,428	2.007	200
31	90,570	2.079	N/A	N/A	N/A	N/A	89,483	2.054	200
32	90,429	2.076	N/A	N/A	1,246	0.029	87,203	2.002	407
33	87,138	2.000	N/A	N/A	N/A	N/A	87,138	2.000	200
34	87,308	2.004	N/A	N/A	N/A	N/A	87,308	2.004	200
35	116,024	2.664	9,074	0.208	7,852	0.180	90,529	2.078	288
36	152,476	3.500	N/A	N/A	12,144	0.279	115,156	2.644	300
37	516,294	11.852	146,655	3.387	48,051	1.103	146,010	3.352	200
38	168,529	3.869	25,864	0.619	20,291	0.466	87,370	2.020	200
39	247,570	5.683	11,754	0.270	18,519	0.425	94,126	2.161	200
40	250,998	5.762	98,804	2.291	5,623	0.136	103,517	2.376	200
41	238,838	5.506	111,392	2.557	605	0.014	127,367	2.924	200
42	88,280	2.027	N/A	N/A	55	0.001	88,225	2.025	200
43	87,245	2.003	N/A	N/A	N/A	N/A	87,245	2.003	200
44	91,670	2.104	N/A	N/A	1,042	0.024	90,628	2.081	361
45	88,184	2.047	N/A	N/A	1,157	0.027	88,027	2.021	213
46	93,381	2.144	N/A	N/A	1,923	0.044	91,458	2.100	200
47	94,404	2.167	N/A	N/A	3,925	0.090	90,479	2.077	200
48	120,447	2.785	N/A	N/A	3,180	0.073	117,267	2.892	200
48	128,870	2.958	12,909	0.289	1,486	0.034	114,755	2.634	200
50	90,868	2.086	1,724	0.040	1,270	0.029	87,847	2.017	200
51	188,206	4.321	52,212	1.199	4,304	0.099	87,857	2.019	733
52	263,885	6.053	147,596	3.388	6,996	0.153	87,851	2.010	605
53	149,063	3.436	56,853	1.305	4,699	0.107	87,144	2.001	245
54	115,700	2.666	23,016	0.528	5,474	0.126	87,169	2.001	303
55	123,251	2.830	17,760	0.408	4,857	0.107	100,844	2.315	496
56	211,888	4.884	51,526	1.183	3,344	0.077	157,018	3.605	200
57	112,128	2.574	N/A	N/A	N/A	N/A	112,128	2.574	208
58	98,640	2.284	N/A	N/A	N/A	N/A	98,640	2.284	203
59	87,475	2.008	N/A	N/A	N/A	N/A	87,138	2.000	471
60	95,152	2.185	N/A	N/A	7,986	0.183	87,176	2.001	200
61	94,028	2.159	6,774	0.156	78	0.002	87,177	2.001	200
62	87,852	2.017	188	0.004	532	0.012	87,134	2.000	389
63	103,572	2.378	N/A	N/A	15,878	0.364	87,696	2.013	200
64	102,022	2.342	7,763	0.178	1,570	0.036	87,457	2.008	200
65	282,908	6.035	106,783	2.451	14,904	0.342	88,855	2.025	896
66	121,875	2.798	28,006	0.643	4,837	0.111	88,032	2.044	348
67	130,646	2.997	29,802	0.684	12,334	0.283	88,410	2.030	302
68	108,224	2.484	6,644	0.159	14,102	0.324	87,178	2.001	516
69	113,524	2.606	11,868	0.269	3,155	0.072	87,288	2.004	311
70	335,480	7.701	80,459	1.847	145,847	3.344	109,344	2.510	483
71	189,593	4.352	78,088	1.816	21,088	0.484	88,417	2.053	1281
72	109,058	2.504	3,373	0.077	12,846	0.295	82,839	2.131	570
73	114,514	2.629	1,110	0.025	22,768	0.523	90,636	2.081	316
74	118,424	2.719	N/A	N/A	14,134	0.324	104,290	2.394	672



- YIELD PLAN NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE THE CONCEPTUAL LAYOUT OF A CONVENTIONAL RESIDENTIAL SUBDIVISION FOR THE PURPOSE OF DETERMINING THE ALLOWABLE DENSITY FOR AN OPEN SPACE DEVELOPMENT.
 2. THIS YIELD PLAN ILLUSTRATES A TOTAL OF 74 CONVENTIONAL LOTS. LOT 36 DOES NOT COUNT TOWARDS THE ALLOWED OSD DENSITY AS LOT 36 IS CURRENTLY DEVELOPED. THE TOTAL ALLOWED OSD DENSITY BASED ON THIS PLAN IS 73 LOTS.
 3. PROPOSED OSD DENSITY = 66 LOTS
CONVENTIONAL YIELD DENSITY = 73 LOTS



- LEGEND**
- STONE BOUND FOUND
 - IRON PIN FOUND
 - DRILL HOLE
 - UTILITY POLE
 - SIGN
 - WELL
 - DRAINAGE MANHOLE
 - CATCH BASIN
 - ABUTTER LINE
 - EXISTING PROPERTY LINE
 - STREAM
 - WETLAND
 - STOCKADE FENCE
 - BARBED WIRE FENCE
 - GUARDRAIL
 - DRAINAGE LINE
 - TREELINE
 - RETAINING WALL
 - EDGE OF PAVEMENT
 - EDGE OF GRAVEL
 - 10' CONTOUR
 - 2' CONTOUR
 - STONEMALL
 - EASEMENT



MATCH TO SHEET 98

**YIELD PLAN FOR 66 LOT OPEN SPACE DEVELOPMENT
EAGLES NEST ESTATES**
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 188; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENISE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3E, Bedford, NH 03110 Phone (603) 627-2861

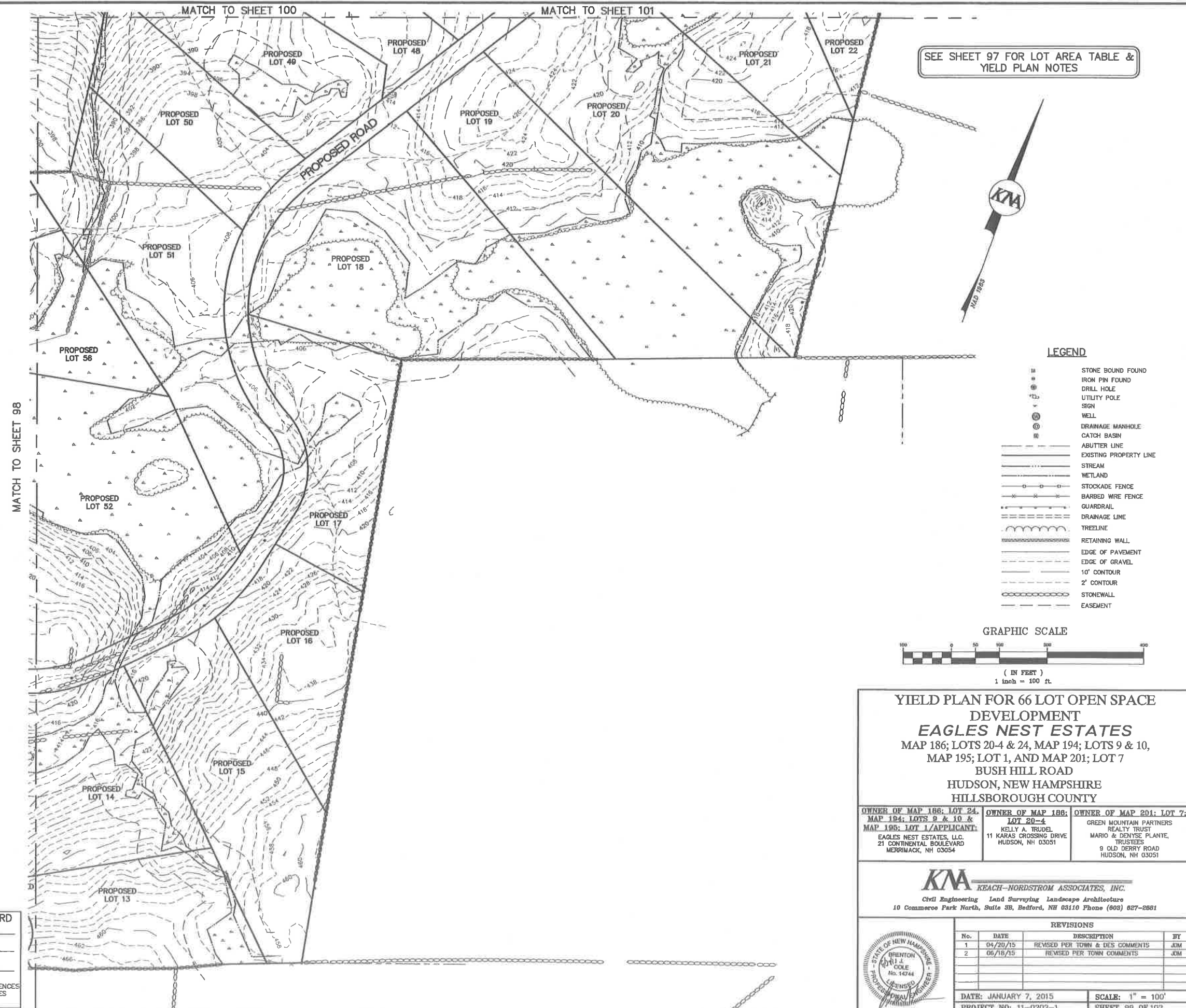
REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: 1" = 100'
PROJECT NO: 11-0202-1 SHEET 97 OF 102

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE _____ DATE _____
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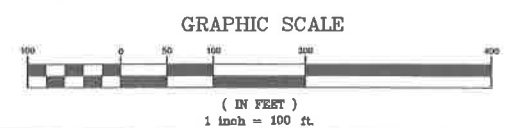


SEE SHEET 97 FOR LOT AREA TABLE & YIELD PLAN NOTES



LEGEND

⊠	STONE BOUND FOUND
⊙	IRON PIN FOUND
⊚	DRILL HOLE
⊛	UTILITY POLE
⊜	SIGN
⊝	WELL
⊞	DRAINAGE MANHOLE
⊟	CATCH BASIN
⊠	ABUTTER LINE
---	EXISTING PROPERTY LINE
---	STREAM
---	WETLAND
---	STOCKADE FENCE
---	BARBED WIRE FENCE
---	GUARDRAIL
---	DRAINAGE LINE
---	TREELINE
---	RETAINING WALL
---	EDGE OF PAVEMENT
---	EDGE OF GRAVEL
---	10' CONTOUR
---	2' CONTOUR
---	STONEWALL
---	EASEMENT



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EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186: LOT 24, MAP 184; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186: LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201: LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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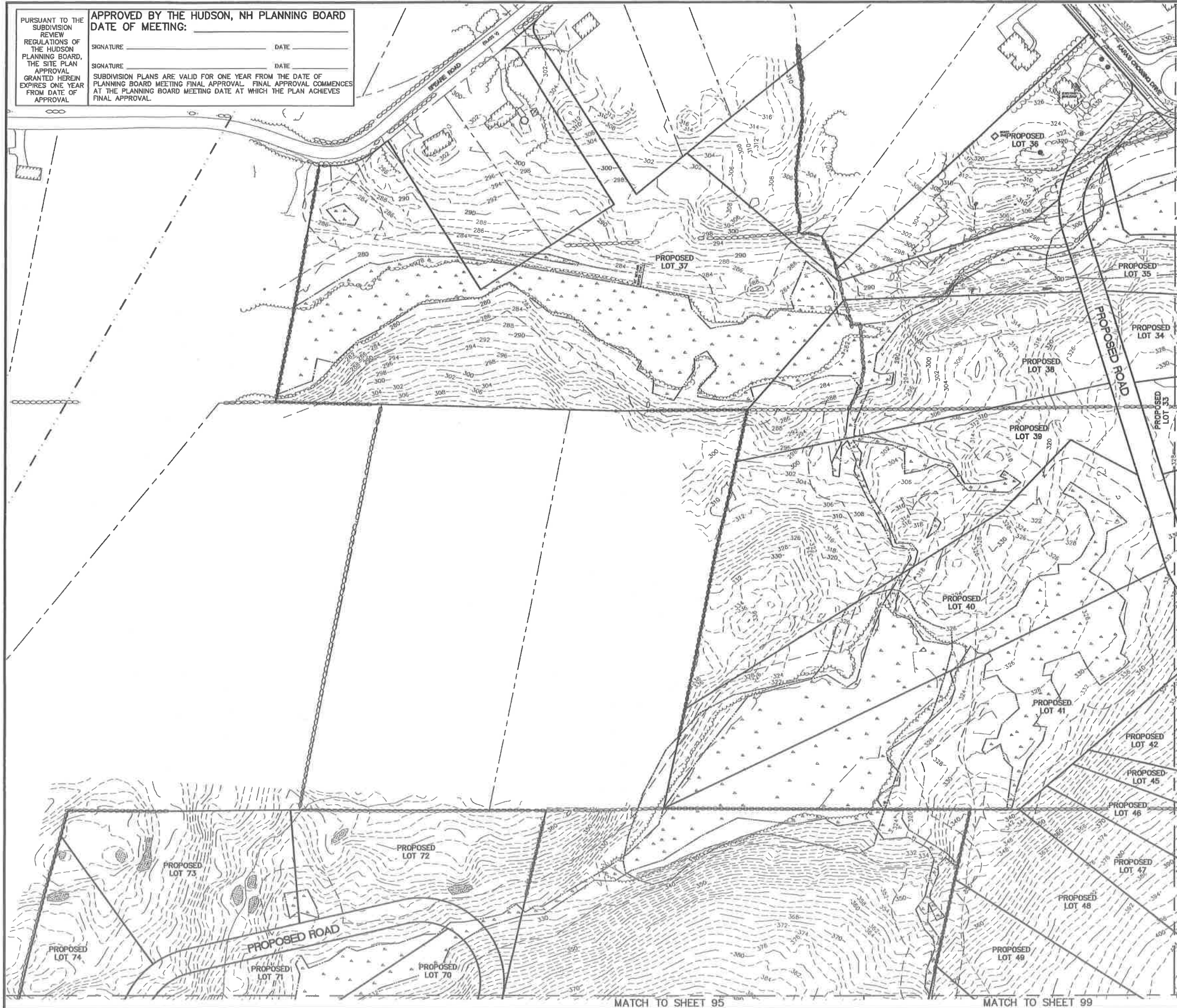
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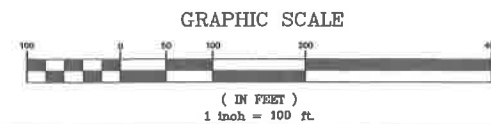
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SEE SHEET 97 FOR LOT AREA TABLE & YIELD PLAN NOTES



LEGEND

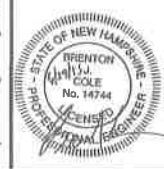
- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- ABUTTER LINE
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- RETAINING WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- EASEMENT



YIELD PLAN FOR 66 LOT OPEN SPACE DEVELOPMENT
EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186: LOT 24, MAP 184: LOTS 9 & 10 & MAP 195: LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC, 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186: LOT 20-4 LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201: LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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REVISIONS			
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1	04/20/15	REVISED PER TOWN & DES COMMENTS	JEM
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DATE: JANUARY 7, 2015 SCALE: 1" = 100'
 PROJECT NO: 11-0202-1 SHEET 100 OF 102

SEE SHEET 97 FOR LOT AREA TABLE & YIELD PLAN NOTES



LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- WELL
- DRAINAGE MANHOLE
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- RETAINING WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- EASEMENT

GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

**YIELD PLAN FOR 66 LOT OPEN SPACE DEVELOPMENT
EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY**

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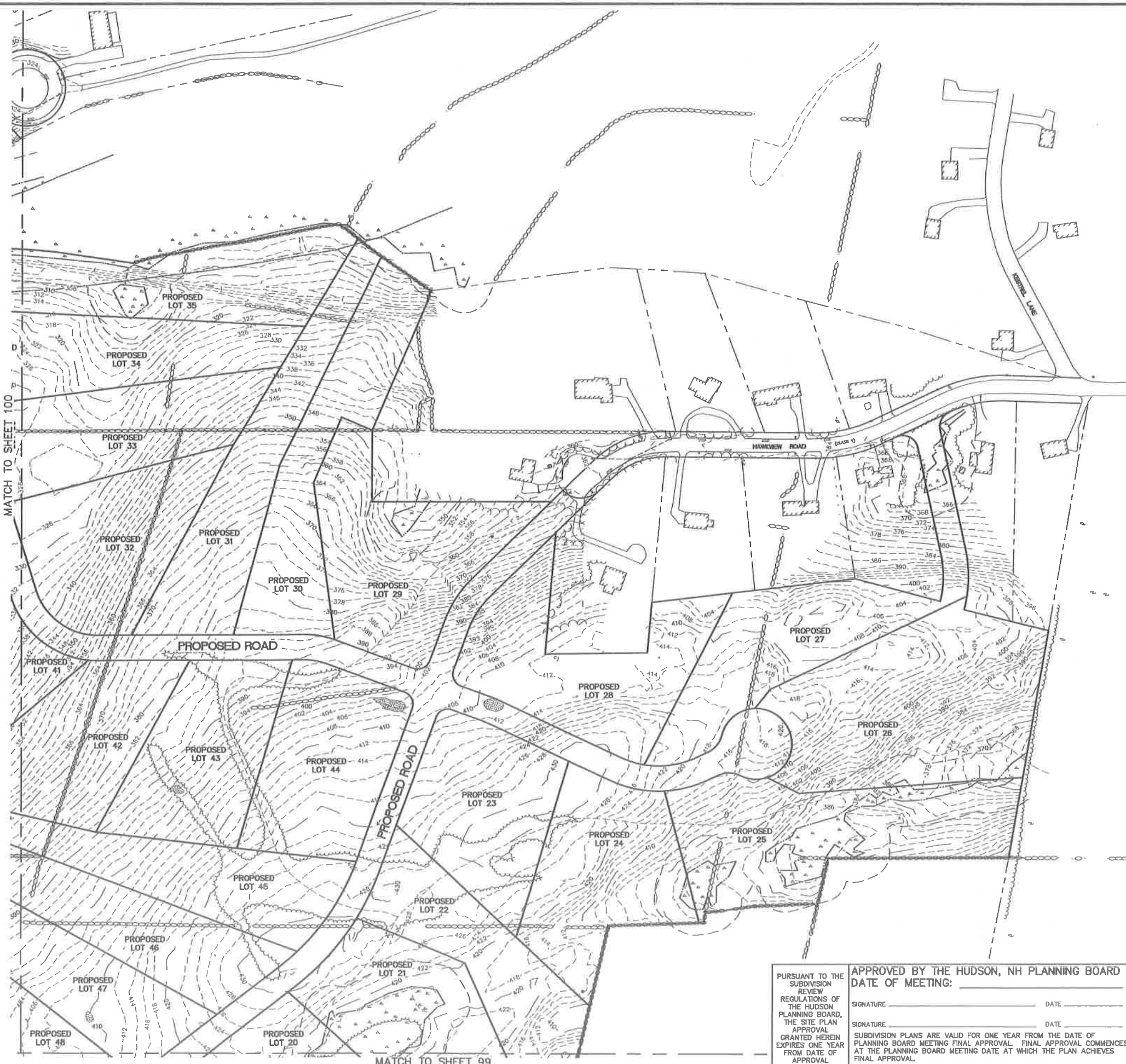
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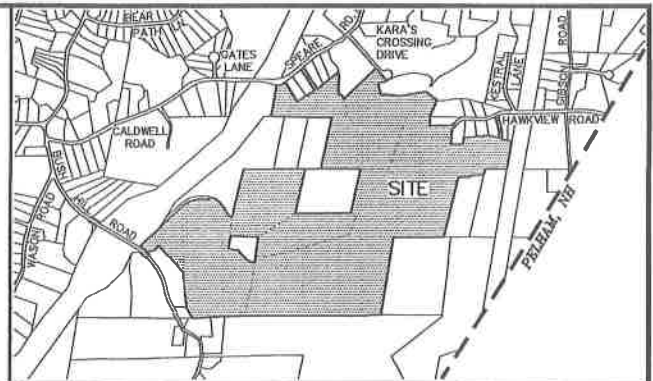
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2	06/18/15	REVISED PER TOWN COMMENTS	JOM

DATE: JANUARY 7, 2015 SCALE: 1" = 100'
PROJECT NO: 11-0202-1 SHEET 101 OF 102

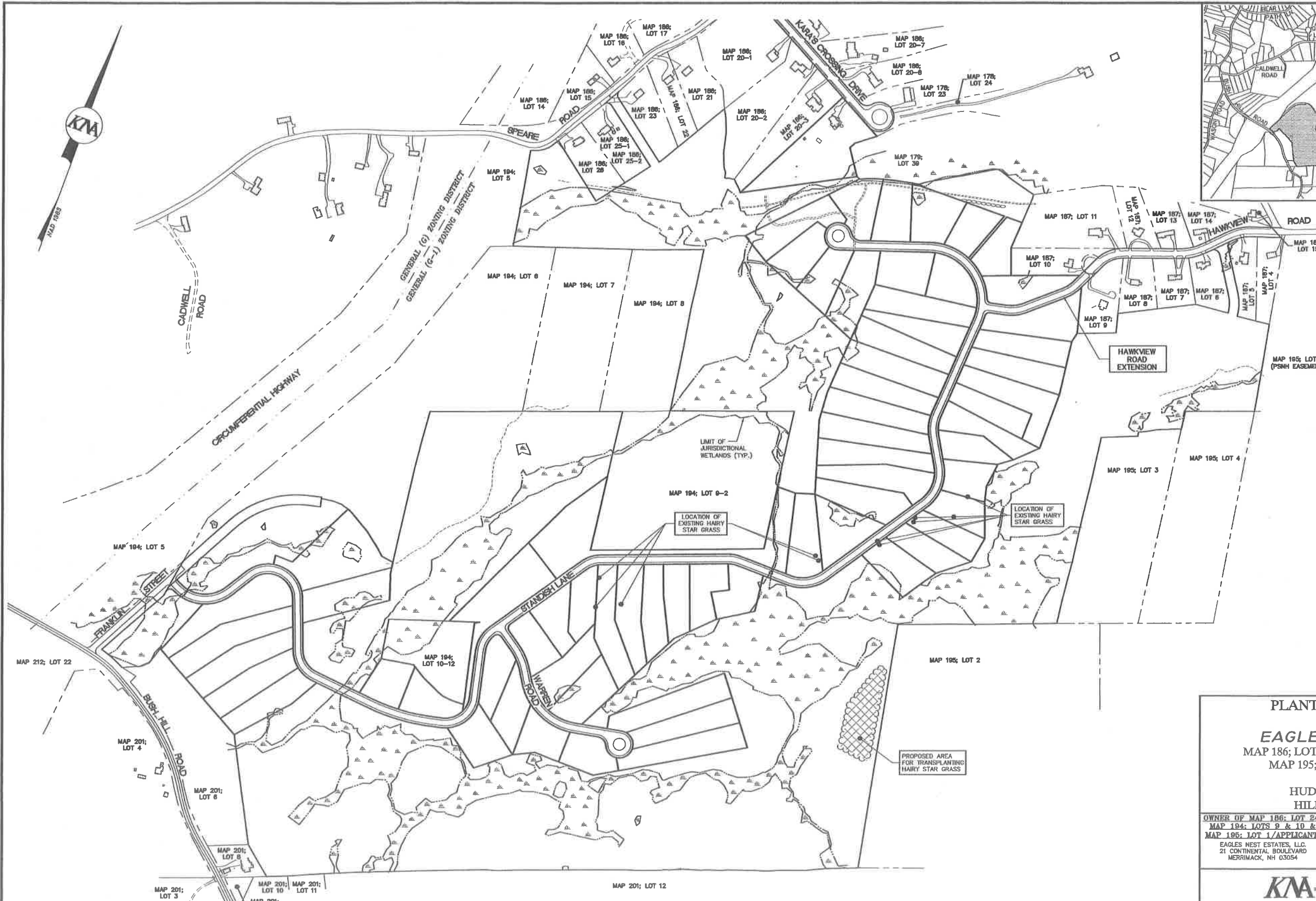


MATCH TO SHEET 100

MATCH TO SHEET 99



VICINITY MAP
SCALE: 1" = 1,500'



LEGEND

---	ABUTTER LINE
---	EXISTING PROPERTY LINE
---	WETLAND
---	EDGE OF PAVEMENT
---	EDGE OF GRAVEL
---	FLOOD HAZARD ZONE X
---	PROPOSED PROPERTY LINE
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED AREA FOR TRANSPLANTING HAIRY STAR GRASS



PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

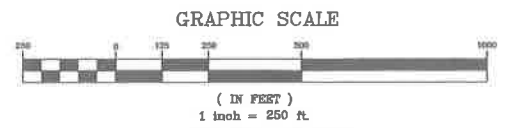
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- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE LOCATION OF EXISTING HAIRY STAR GRASS ON THE SUBJECT PARCEL AND TO ILLUSTRATE THE PROPOSED AREA WHERE IT WILL BE RELOCATED TO.
 2. A REPRESENTATIVE FROM GOVE ENVIRONMENTAL SERVICES (GES) SHALL BE NOTIFIED PRIOR TO THE TRANSPLANTING. CONTACT LUKE HURLEY AT (603)770-5114.
 3. THE TRANSPLANT AREA SHALL BE MARKED IN THE FIELD BY GES PRIOR TO DIGGING UP THE PLANTS.
 4. INDIVIDUAL PLANTS OR CLUSTERS WILL BE DUG UP IN LARGE SOIL CLUMPS AND MARKED OFF WITH SURVEY TAPE TO LIMIT FURTHER DISTURBANCE.
 5. ONCE TRANSPLANTED, THE TRANSPLANT AREA WILL BE MONITORED BY GES FOR THREE (3) SUCCESSIVE YEARS IN THE MID-SUMMER AS REQUIRED BY NEW HAMPSHIRE NATURAL HERITAGE BUREAU.



PLANT RELOCATION PLAN

EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4: KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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K/A KEACH-NORDSTROM ASSOCIATES, INC.
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REVISIONS			
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DATE: JANUARY 7, 2015 SCALE: 1" = 250'
PROJECT NO: 11-0202-1 SHEET 102 OF 102

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REFERENCE PLANS:

- "PLAN OF LAND, TURNABOUT, GIBSON RD., HUDSON, N.H.," SCALE: 1"=200', DATED 11/23/76, LAST REVISED 6/14/78, PREPARED BY PIANTOSI ASSOCIATES, INC. H.C.R.D. PLAN NO.11302.
- "SUBDIVISION PLAN, KARA'S CROSSING, 75 SPEARE ROAD, HUDSON, NEW HAMPSHIRE," SCALE: 1"=200', DATED DECEMBER 1, 2006, LAST REVISED 6/04/07, PREPARED BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC. H.C.R.D. PLAN NO. 35553. (2 SHEETS)
- "SURVEY OF LAND IN HUDSON, N.H. BELONGING TO HERVE W. LAMOTHE," SCALE: 1"=80', DATED DECEMBER 1979 WITH REVISIONS THRU APRIL 1984, PREPARED BY YOUNG, CAMPBELL AND GATE, INC. H.C.R.D. PLAN NO. 16579.
- "BOUNDARY PLAN—LOTS 26, 28-1, 29, 29-1 & 6-5/MAP 18, BUSH HILL & SPEARE ROADS, HUDSON, NEW HAMPSHIRE," SCALE: 1"=200', DATED OCTOBER 1986, PREPARED BY MAYNARD & PAQUETTE INC. H.C.R.D. PLAN NO. 19834.
- "HAWKVIEW, MAP 22 LOT 10 CODE 022, ZONE-RURAL," SCALE: AS SHOWN, DATED SEPT. 1981, PREPARED BY FRANK G. SPRAGUE, R.L.S. H.C.R.D. PLAN NO. 15275. (2 SHEETS)
- "LOT LINE RELOCATE & SUBDIVISION PLAN—MAP 195/LOT 1, MAP 196/LOT 24, MAP 194/LOT 10, MAP 201/LOT 7, HAWKVIEW RIDGE, HAWKVIEW ROAD, HUDSON, NEW HAMPSHIRE," SCALE: 1"=100', DATED JUNE 1, 2005, LAST REVISED 06/09/06, PREPARED BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC. (6 SHEETS)
- "LOT LINE RELOCATION PLAN, MILLS & ERB PROPERTY, BUSH HILL ROAD, HUDSON, NEW HAMPSHIRE," SCALE: 1"=200', DATED JUNE 16, 1998, LAST REVISED 10/7/98, PREPARED BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC. H.C.R.D. PLAN NO. 29476.
- "SUBDIVISION PLAN OF LAND IN HUDSON, HILLSBOROUGH COUNTY, N.H. BELONGING TO TURNABOUT ASSOCIATES & FIR REALTY ET AL." SCALE: 1"=40', DATED JULY 11, 1977, PREPARED BY GABOR SZAVA-KOVATS R.L.S. H.C.R.D. PLAN NO. 10560. (2 SHEETS)
- "LOT LINE RELOCATION PLAN, SPEARE ROAD, HUDSON, N.H.," SCALE: 1"=100', DATED JUNE 1985, PREPARED BY M.L. GRAINGER ENGINEERING. H.C.R.D. PLAN NO. 19065.
- "THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, RIGHT-OF-WAY, PLANS OF PROPOSED NASHUA-HUDSON CIRCUMFERENTIAL HIGHWAY, N.H. PROJECT NO. 10644," SCALE: 1"=50', DATED 5/89, LAST REVISED 3/18/91, PREPARED BY DELEUW, CATHER & COMPANY.

GENERAL NOTES:

- THE PURPOSE OF THIS PLAN SET IS TO ILLUSTRATE A LOT LINE ADJUSTMENT OF EXISTING TAX MAP 186; LOTS 20-4 AND 24.
 - BOUNDARY INFORMATION SHOWN HEREON IS THE RESULT OF AN ON THE GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN MAY 2011 AND NOVEMBER 2013.
 - TOPOGRAPHIC INFORMATION DEPICTED ON THIS PLAN IS A COMPILATION OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE BETWEEN MAY 2011 AND NOVEMBER 2013 AND AERIAL MAPPING PREPARED BY EASTERN TOPOGRAPHICS, INC. IN APRIL 2011.
 - WETLAND DELINEATION WAS PERFORMED BY GOVE ENVIRONMENTAL SERVICES, INC.
 - SITE SPECIFIC SOIL MAPPING WAS PERFORMED BY GOVE ENVIRONMENTAL SERVICES INC.
 - EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH PERFORMED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
 - THE SUBJECT PARCELS ARE LOCATED ENTIRELY WITHIN THE GENERAL ONE (0-1) ZONING DISTRICT AND ARE SUBJECT TO THE FOLLOWING DIMENSIONAL REQUIREMENTS:
- | REQUIREMENT | CONVENTIONAL | OSL |
|-----------------------|------------------------|-----------|
| MINIMUM LOT AREA | 87,120 SF | 43,560 SF |
| MINIMUM LOT FRONTAGE | 200 FT | 100 FT |
| MINIMUM FRONT SETBACK | 30 FT (LOCAL ROAD) | 15 FT |
| | 50 FT (COLLECTOR ROAD) | 7.5 FT |
| MINIMUM REAR SETBACK | 15 FT | 7.5 FT |
| MINIMUM SIDE SETBACK | 15 FT | 7.5 FT |
- THE TOTAL LAND AREA IS AS FOLLOWS:
 EXISTING MAP 186; LOT 20-4 = 637,879 SF, OR 14,544 ACRES
 EXISTING MAP 186; LOT 24 = 1,509,314 SF, OR 34,649 ACRES
 PARCEL "A" (TO BE ADDED TO MAP 186; LOT 24) = 497,319 SF, OR 11,417 ACRES
 PROPOSED MAP 186; LOT 20-4 = 140,560 SF, OR 3,227 ACRES
 PROPOSED MAP 186; LOT 24 = 2,006,632 SF, OR 46,066 ACRES
 - OWNERS OF RECORDS:
 MAP 186; LOT 24: EAGLES NEST ESTATES, LLC, 21 CONTINENTAL BOULEVARD, MERRIMACK, NH 03054, BK. 8221, PG. 169
 MAP 186; LOT 20-4: KELLY A. TRUDEL, 11 KARAS CROSSING DRIVE, HUDSON, NH 03051-4422, BK. 8046, PG. 2911
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
 - EXAMINATION OF THE FLOOD INSURANCE RATE MAPS (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 33011005380, PANEL NUMBER 538 OF 701 AND MAP NUMBER 33011005190, PANEL NUMBER 519 OF 701, EFFECTIVE DATE SEPTEMBER 25, 2009 INDICATES THAT THE SUBJECT PREMISES IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.
 - LOT 20-4 IS SERVICED BY ON-SITE SEPTIC SYSTEM AND WELL. LOT 24 IS UNDEVELOPED.
 - STONE BOUNDS (5"x5"x30") TO BE SET AT ALL BOUNDARY INTERSECTIONS AND POINTS OF CURVATURE ON THE RIGHT-OF-WAY AND IRON PINS (1" x 30") TO BE SET AT ALL OTHER BOUNDARY CORNERS.
 - SHEETS L1 THROUGH L4 SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS AND A FULL PLAN SET IS LOCATED AT THE HUDSON PLANNING OFFICES.

LOT AREA TABLE

LOT NUMBER	TOTAL LOT AREA	WETLAND AREA	AREA >25% SLOPE	BUILDABLE LOT AREA	FRONTAGE
EXISTING MAP 186; LOT 20-4	637,879 SF 14.544 ACRES	25,083 SF	90,383 SF	409,344 SF 9,397 ACRES	254.60'
EXISTING MAP 186; LOT 24	1,509,314 SF 34,649 ACRES	384,240 SF	75,048 SF	931,559 SF 21,203 ACRES	200.00'
PROPOSED MAP 186; LOT 20-4	140,560 SF 3,227 ACRES	2,731 SF	14,515 SF	92,985 SF 2,135 ACRES	254.60'
PROPOSED MAP 186; LOT 24	2,006,632 SF 46,066 ACRES	406,592 SF	110,898 SF	983,178 SF 22,641 ACRES	200.00'

OWNER OF MAP 186; LOT 20-4

SIGNATURE: *[Signature]*
 DATE: 1-23-2015

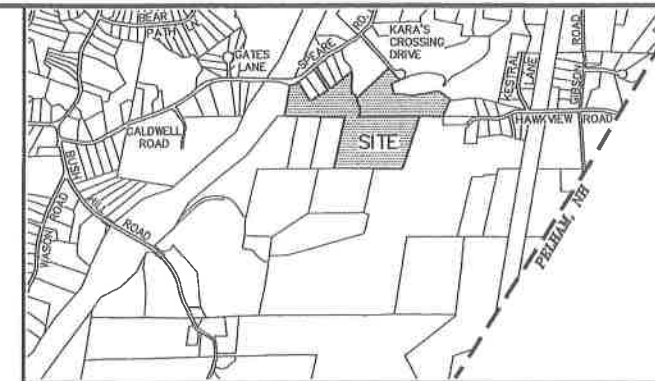
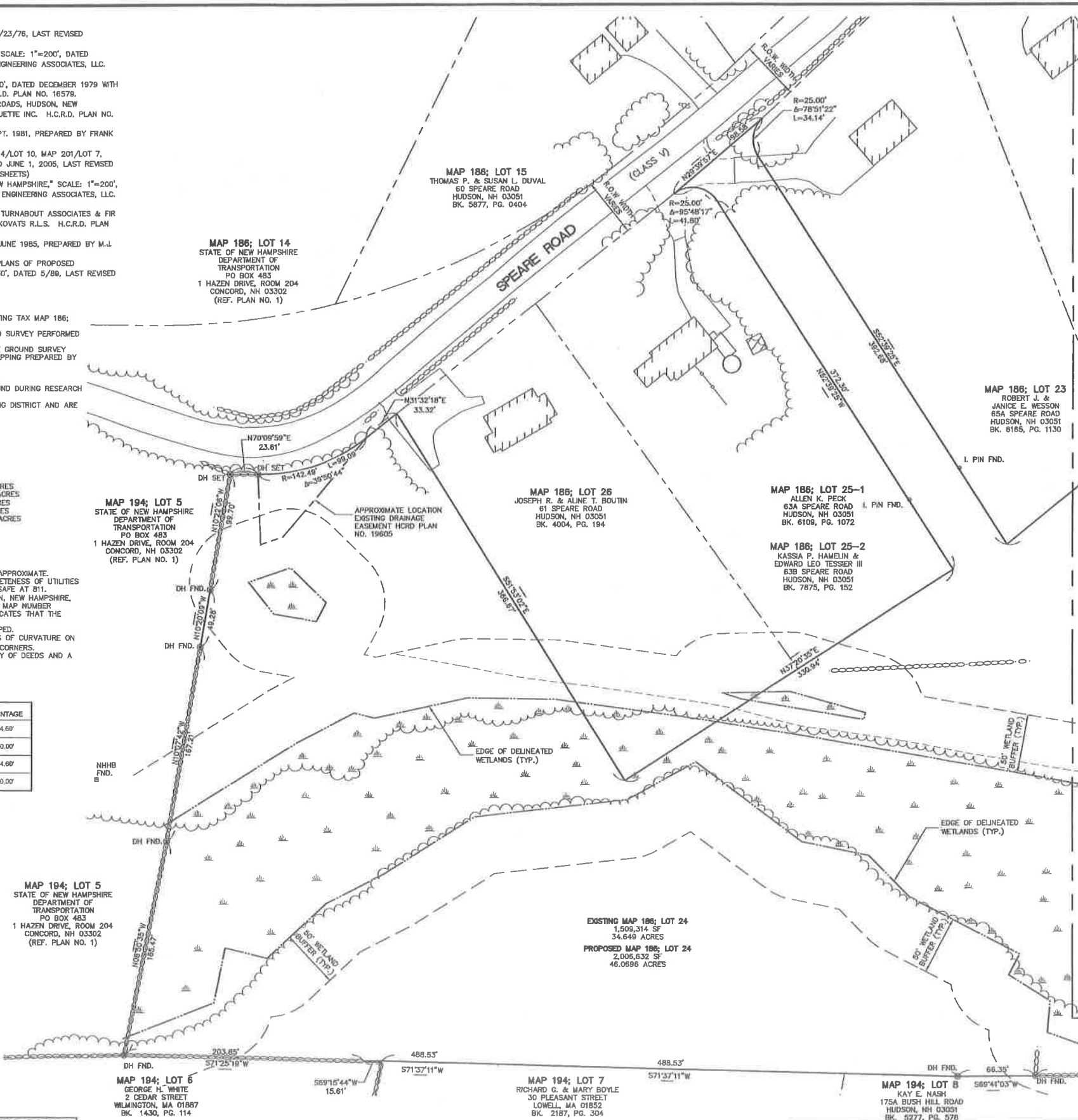
APPLICANT/OWNER OF MAP 186; LOT 24

SIGNATURE: *[Signature]*
 DATE: 1/22/2015

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____
 SIGNATURE _____ DATE _____
 SIGNATURE _____ DATE _____
 SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

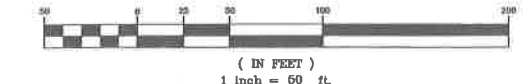


VICINITY MAP
 SCALE: 1" = 1,500'

LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- EXISTING WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- ABUTTER LINE
- EXISTING PROPERTY LINE
- STREAM
- WETLAND
- STOCKADE FENCE
- BARBED WIRE FENCE
- GUARDRAIL
- OVERHEAD UTILITIES
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- STONEWALL
- BUILDING SETBACK
- EXISTING EASEMENT
- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT
- EXISTING PROPERTY LINE TO BE EXTINGUISHED

GRAPHIC SCALE



MATCH TO SHEET L2



LOT LINE ADJUSTMENT PLAN
EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24
 SPEARE ROAD & KARAS CROSSING DRIVE
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 20-4
 KELLY A. TRUDEL
 11 KARAS CROSSING DRIVE
 HUDSON, NH 03051
 H.C.R.D. BK. 8046, PG. 2911

OWNER OF MAP 186; LOT 24/APPLICANT:
 EAGLES NEST ESTATES, LLC
 21 CONTINENTAL BOULEVARD
 MERRIMACK, NH 03054
 H.C.R.D. BK. 8221, PG. 169



10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS

No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: 1" = 50'
 PROJECT NO: 11-0202-1 SHEET L1 OF L8

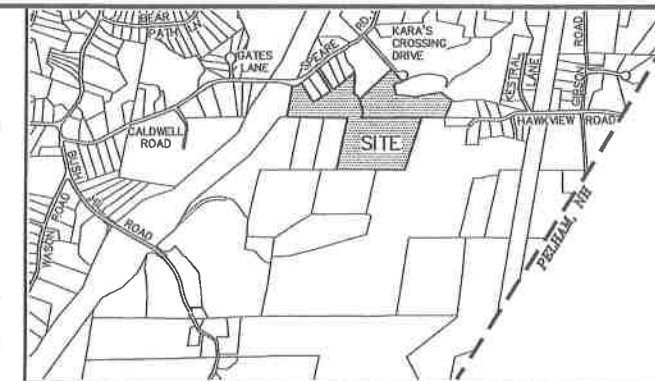
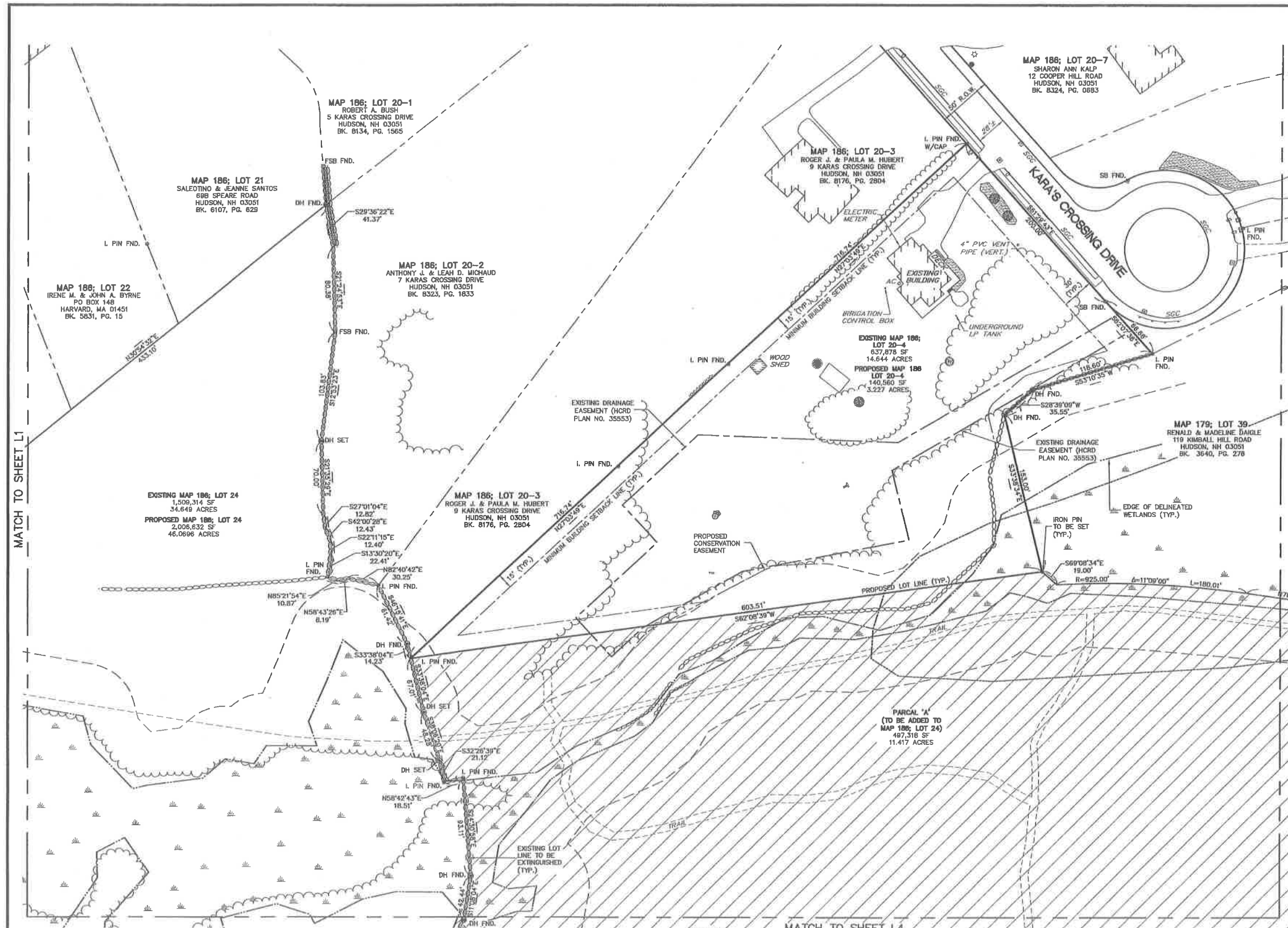


THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL (TECHNICAL REPORT Y-87-1)

WETLAND DELINEATION PREPARED BY:
 NAME: _____ DATE: 2/1/15
 NAME: _____ DATE: 2/1/15

THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION BETWEEN MAY 2011 AND NOVEMBER 2013 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS A STANDARD URBAN PROPERTY SURVEY AS DEFINED IN THE STATE OF NEW HAMPSHIRE ADMINISTRATIVE RULES GOVERNING LAND SURVEYS (LAN 503).

DATE: 1/12/15



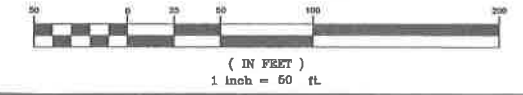
VICINITY MAP
SCALE: 1" = 1,500'

SEE SHEET L1 FOR GENERAL NOTES,
REFERENCE PLANS & LOT AREA TABLE

LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- EXISTING WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- ABUTTER LINE
- EXISTING PROPERTY LINE
- STREAM
- WETLAND
- STOCKADE FENCE
- BARBED WIRE FENCE
- GUARDRAIL
- OHU OVERHEAD UTILITIES
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- STONEWALL
- BUILDING SETBACK
- EXISTING EASEMENT
- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT
- EXISTING PROPERTY LINE TO BE EXTINGUISHED

GRAPHIC SCALE



MATCH TO SHEET L3

MATCH TO SHEET L1

MATCH TO SHEET L4

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____
SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

OWNER OF MAP 186; LOT 20-4
SIGNATURE: *Memo Phad*
DATE: 1-23-2015

APPLICANT/OWNER OF MAP 186; LOT 24
SIGNATURE: *[Signature]*
DATE: 1/12/2015



THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL (TECHNICAL REPORT Y-87-1)

WETLAND DELINEATION PREPARED BY:
NAME: *[Signature]* CERTIFIED WETLAND SCIENTIST # 232 DATE: 1/12/2015

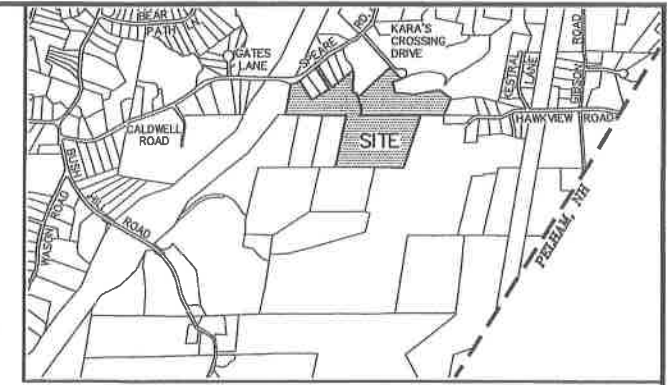
THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION BETWEEN MAP 2011 AND NOVEMBER 2013 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS A STANDARD URBAN PROPERTY SURVEY AS DEFINED IN THE STATE OF NEW HAMPSHIRE ADMINISTRATIVE RULES GOVERNING LAND SURVEYS (LAW 503).

DATE: 1/12/2015



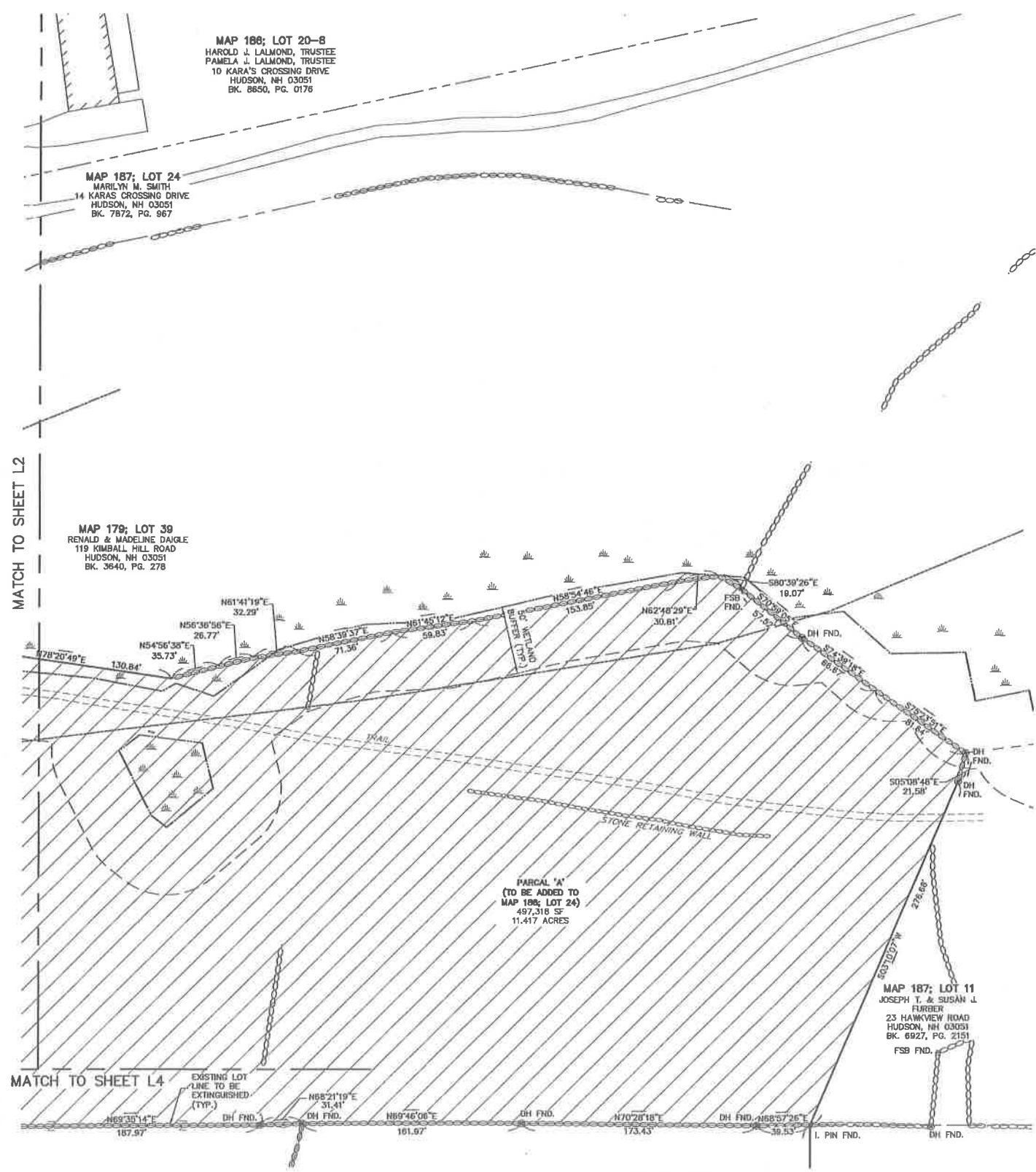
REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JOM
2	06/16/15	REVISED PER TOWN COMMENTS	JOM

DATE: JANUARY 7, 2015 SCALE: 1" = 50'
PROJECT NO: 11-0202-1 SHEET L2 OF L8



VICINITY MAP
SCALE: 1" = 1,500'

SEE SHEET L1 FOR GENERAL NOTES,
REFERENCE PLANS & LOT AREA TABLE



MATCH TO SHEET L2

MATCH TO SHEET L4

MAP 186; LOT 20-8
HAROLD J. LALMOND, TRUSTEE
PAMELA J. LALMOND, TRUSTEE
10 KARAS CROSSING DRIVE
HUDSON, NH 03051
BK. 8650, PG. 0176

MAP 187; LOT 24
MARLYN M. SMITH
14 KARAS CROSSING DRIVE
HUDSON, NH 03051
BK. 7872, PG. 967

MAP 179; LOT 39
REYALD & MADELINE DAIGLE
119 KIMBALL HILL ROAD
HUDSON, NH 03051
BK. 3640, PG. 278

PARCEL 'A'
(TO BE ADDED TO
MAP 186; LOT 24)
497,318 SF
11.417 ACRES

MAP 187; LOT 11
JOSEPH T. & SUSAN J.
FURBER
23 HAWKVIEW ROAD
HUDSON, NH 03051
BK. 6927, PG. 2151

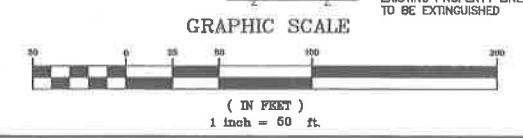
MAP 185; LOT 1
EAGLE NEST ESTATES
21 CONTINENTAL BOULEVARD
MERRIMACK, NH 03054

MAP 187; LOT 10
PAUL M. BEACH
25 HAWKVIEW ROAD
HUDSON, NH 03051
BK. 8130, PG. 1327



LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- ⊙ DRILL HOLE
- ⊕ UTILITY POLE
- ⊖ SIGN
- ⊙ EXISTING WELL
- ⊕ DRAINAGE MANHOLE
- ⊖ CATCH BASIN
- STONE BOUND TO BE SET
- ⊙ IRON PIN TO BE SET
- ABUTTER LINE
- EXISTING PROPERTY LINE
- STREAM
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- BARBED WIRE FENCE
- GUARDRAIL
- OHU OVERHEAD UTILITIES
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- STONEWALL
- BUILDING SETBACK
- EXISTING EASEMENT
- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT
- EXISTING PROPERTY LINE TO BE EXTINGUISHED



PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL (TECHNICAL REPORT Y-87-1)

WETLAND DELINEATION PREPARED BY:

NAME _____ CERTIFIED WETLAND SCIENTIST # _____ DATE 2/3/15

OWNER OF MAP 186; LOT 20-4

SIGNATURE: *Amos Phant*

DATE: 1-23-2015

APPLICANT/OWNER OF MAP 186; LOT 24

SIGNATURE: *[Signature]*

DATE: 1/23/2015

LOT LINE ADJUSTMENT PLAN

EAGLES NEST ESTATES

MAP 186; LOTS 20-4 & 24
SPEARE ROAD & KARAS CROSSING DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051 H.C.R.D. BK. 8046, PG. 2911	OWNER OF MAP 186; LOT 24/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054 H.C.R.D. BK. 8221, PG. 169
---	--

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 2B, Bedford, NH 03110 Phone (603) 827-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: 1" = 50'
PROJECT NO: 11-0202-1 SHEET L3 OF L8

MATCH TO SHEET L2

MATCH TO SHEET L3



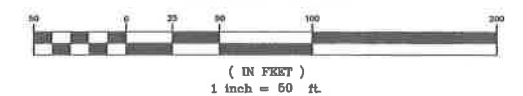
LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- EXISTING WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- STONE BOUND TO BE SET
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- STONEWALL
- BUILDING SETBACK
- EXISTING EASEMENT
- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT
- EXISTING PROPERTY LINE TO BE EXTINGUISHED

MAP 195; LOT 1
EAGLE NEST ESTATES
21 CONTINENTAL BOULEVARD
MERRIMACK, NH 03054

SEE SHEET L1 FOR GENERAL NOTES,
REFERENCE PLANS & LOT AREA TABLE

GRAPHIC SCALE



THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL (TECHNICAL REPORT Y-87-1)
WETLAND DELINEATION PREPARED BY:
[Signature] 2/1/15
NAME CERTIFIED WETLAND SCIENTIST # DATE



LOT LINE ADJUSTMENT PLAN
EAGLES NEST ESTATES

MAP 186; LOTS 20-4 & 24
SPEARE ROAD & KARAS CROSSING DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

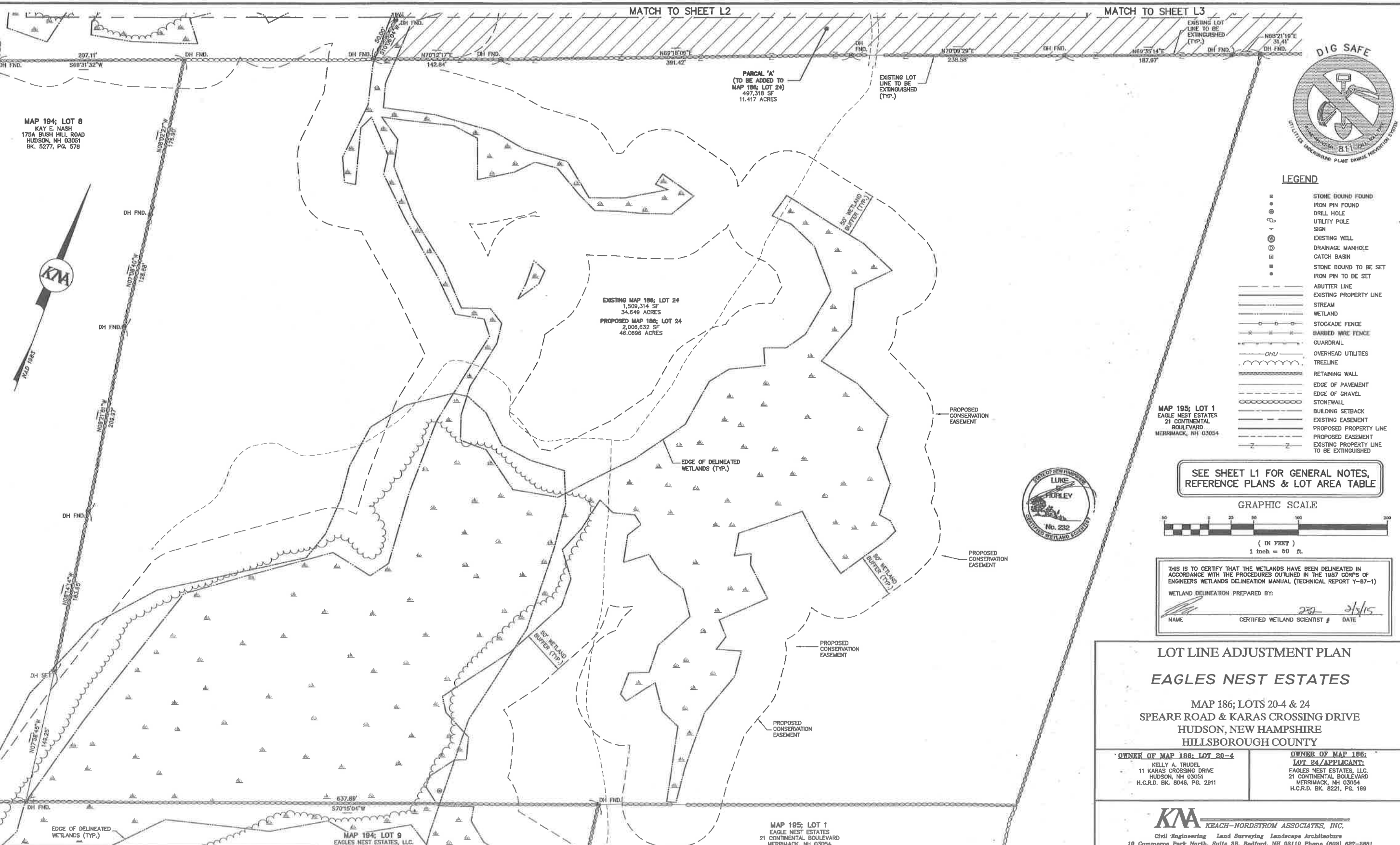
OWNER OF MAP 186; LOT 20-4
KELLY A. TRUDEL
11 KARAS CROSSING DRIVE
HUDSON, NH 03051
H.C.R.D. BK. 8046, PG. 2811

OWNER OF MAP 186;
LOT 24/APPLICANT
EAGLES NEST ESTATES, LLC
21 CONTINENTAL BOULEVARD
MERRIMACK, NH 03054
H.C.R.D. BK. 8221, PG. 169

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3E, Bedford, NH 03110 Phone (603) 687-8881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: 1" = 50'
PROJECT NO: 11-0202-1 SHEET L4 OF L8



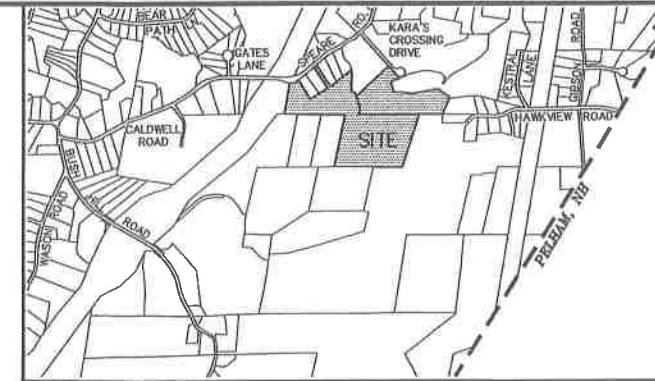
PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____
SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

APPLICANT/OWNER OF MAP 186; LOT 24
SIGNATURE: *[Signature]*
DATE: 1/12/15

OWNER OF MAP 186; LOT 20-4
SIGNATURE: *[Signature]*
DATE: 1-23-2015

THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION BETWEEN MAP 2011 AND NOVEMBER 2013 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS A STANDARD URBAN PROPERTY SURVEY AS DEFINED IN THE STATE OF NEW HAMPSHIRE ADMINISTRATIVE RULES GOVERNING LAND SURVEYS (LAN 503).
[Signature]
DATE

SEE SHEET L1 FOR GENERAL NOTES,
REFERENCE PLANS & LOT AREA TABLE



VICINITY MAP
SCALE: 1" = 1,500'

SCS SOILS LEGEND

CaC	CANTON FINE SANDY LOAM, 8 TO 15% SLOPES
CmC	CANTON STONY FINE SANDY LOAM, 8 TO 15% SLOPES
CmD	CANTON STONY FINE SANDY LOAM, 15 TO 25% SLOPES
CmE	CANTON STONY FINE SANDY LOAM, 25 TO 35% SLOPES
CpB	CHATFIELD-HOLLIS-CANTON COMPLEX, 3 TO 8% SLOPES
CpC	CHATFIELD-HOLLIS-CANTON COMPLEX, 8 TO 15% SLOPES
CpD	CHATFIELD-HOLLIS-CANTON COMPLEX, 15 TO 25% SLOPES
CsC	CHATFIELD-HOLLIS COMPLEX, 8 TO 15% SLOPES
CLD	CHATFIELD-HOLLIS-ROCK OUTCROP COMPLEX, 15 TO 35% SLOPES
LvA	LEICESTER-WALPOLE COMPLEX STONY, 0 TO 3% SLOPES
LvB	LEICESTER-WALPOLE COMPLEX STONY, 3 TO 8% SLOPES

SITE SPECIFIC SOIL MAP UNIT KEY

SYMBOL	MAP UNIT	SLOPE CLASS	DRAINAGE CLASS
42B	CANTON	0-8%	WELL
42C	CANTON	8-15%	WELL
42D	CANTON	15-25%	WELL
42E	CANTON	25%+	WELL
87B	CHATFIELD VERY STONY	0-8%	SOMEWHAT EXCESSIVELY
87C	CHATFIELD VERY STONY	8-15%	SOMEWHAT EXCESSIVELY
87D	CHATFIELD VERY STONY	15-25%	SOMEWHAT EXCESSIVELY
87E	CHATFIELD VERY STONY	25%+	SOMEWHAT EXCESSIVELY
444B	NEWFIELDS	0-8%	MODERATELY WELL
444C	NEWFIELDS	8-15%	MODERATELY WELL
444D	NEWFIELDS	15-25%	MODERATELY WELL
921B	NEWFIELDS VARIANT	0-8%	SOMEWHAT POORLY
921C	NEWFIELDS VARIANT	8-15%	SOMEWHAT POORLY
921D	NEWFIELDS VARIANT	15-25%	SOMEWHAT POORLY
546B/P	WALPOLE (POORLY DRAINED)	0-8%	POORLY

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOILS SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, PRODUCED BY A CERTIFIED SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCE CONSERVATION SERVICE. THERE IS A NARRATIVE REPORT THAT ACCOMPANIES THIS MAP AND MAP KEY.



THIS DETAILED SITE-SPECIFIC SOIL MAP WAS PERFORMED ON NOVEMBER 6, 2013 BY GOVE ENVIRONMENTAL SERVICES, INC. IN EXETER, NEW HAMPSHIRE AND CONFORMS TO THE STANDARDS OF SSSSNE PUBLICATION NO. 5, AS AMENDED, "SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT."

NAME: James P. Gove CERTIFIED SOIL SCIENTIST # 009 DATE: 11/15/13

OWNER OF MAP 186; LOT 20-4

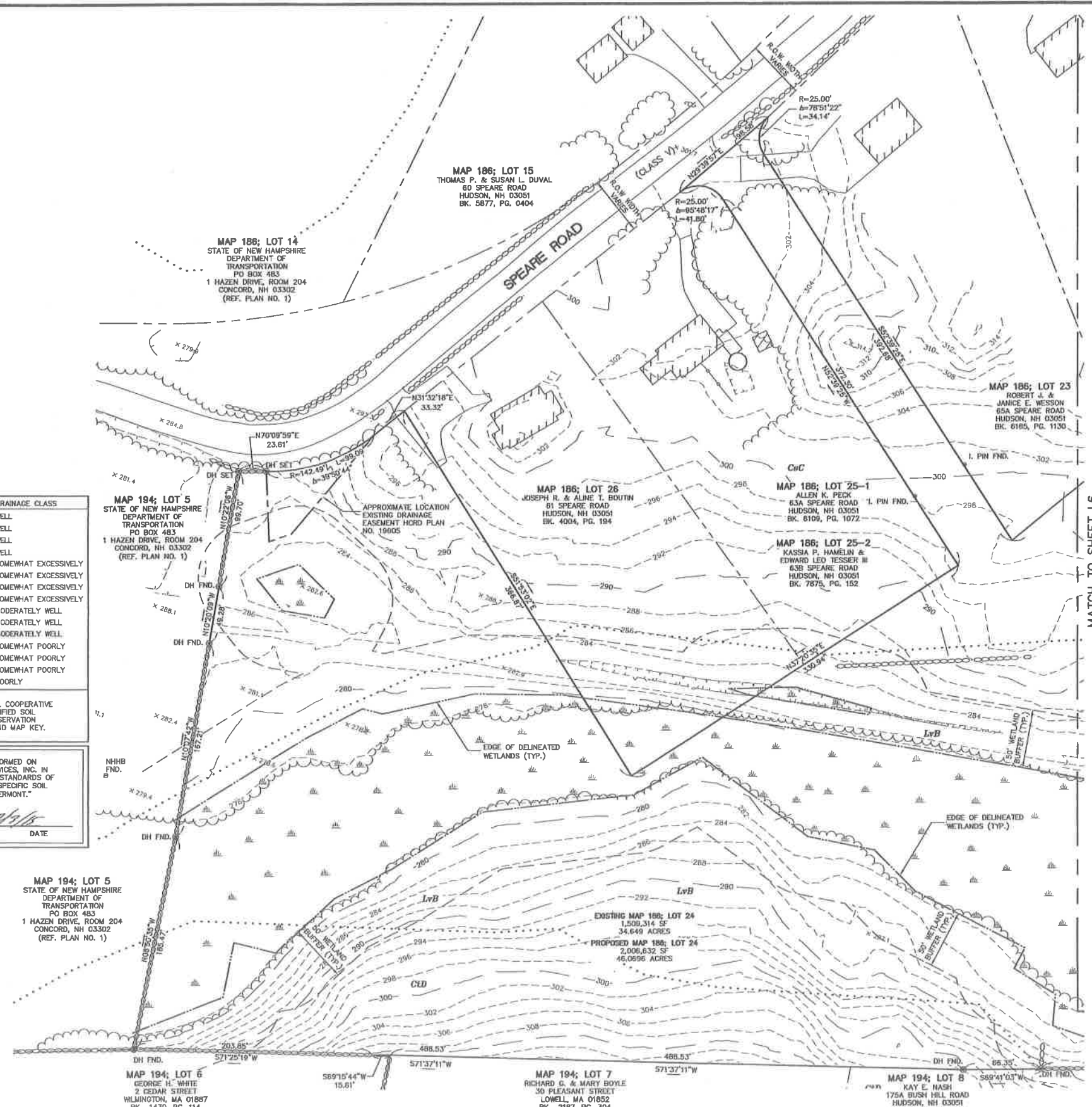
SIGNATURE: [Signature]
DATE: 1-23-2015

APPLICANT/OWNER OF MAP 186; LOT 24

SIGNATURE: [Signature]
DATE: 1/22/2015

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE: _____ DATE: _____
SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



MATCH TO SHEET L6

LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- EXISTING WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- STONE BOUND TO BE SET
- IRON PIN TO BE SET
- PROPOSED WELL
- ABUTTER LINE
- EXISTING PROPERTY LINE
- STREAM
- WETLAND
- STOCKADE FENCE
- BARBED WIRE FENCE
- GUARDRAIL
- OHU OVERHEAD UTILITIES
- DRAINAGE LINE
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- SCS SOIL LINE
- SITE SPECIFIC SOIL LINE
- BUILDING SETBACK
- EXISTING EASEMENT
- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT
- EXISTING PROPERTY LINE TO BE EXTINGUISHED



GRAPHIC SCALE



TOPOGRAPHIC LOT LINE ADJUSTMENT PLAN

EAGLES NEST ESTATES

MAP 186; LOTS 20-4 & 24
SPEARE ROAD & KARAS CROSSING DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 20-4

KELLY A. TRUDEL
11 KARAS CROSSING DRIVE
HUDSON, NH 03051
H.C.R.D. BK. 8046, PG. 2911

OWNER OF MAP 186; LOT 24/APPLICANT:

EAGLES NEST ESTATES, LLC
21 CONTINENTAL BOULEVARD
MERRIMACK, NH 03054
H.C.R.D. BK. 8221, PG. 169



Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 38, Bedford, NH 03110 Phone (603) 627-2861

REVISIONS

No.	DATE	DESCRIPTION	BY
1	04/28/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: 1" = 50'
PROJECT NO: 11-0202-1 SHEET L5 OF L8

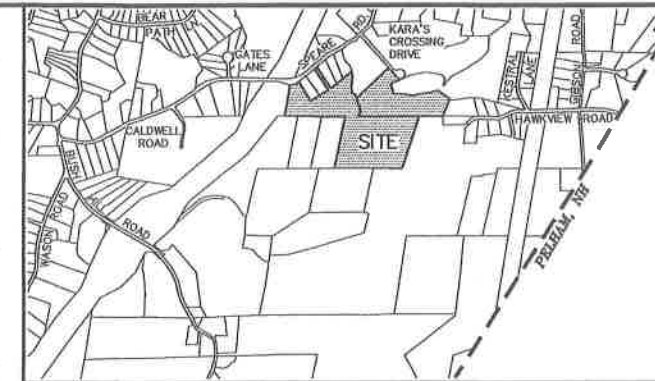


THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL (TECHNICAL REPORT Y-87-1)

WETLAND DELINEATION PREPARED BY:
NAME: Luke Purley CERTIFIED WETLAND SCIENTIST # 232 DATE: 1/15/15

THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION BETWEEN MAP 2011 AND NOVEMBER 2013 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS A STANDARD URBAN PROPERTY SURVEY AS DEFINED IN THE STATE OF NEW HAMPSHIRE ADMINISTRATIVE RULES GOVERNING LAND SURVEYS (LAW 503).

DATE: 1/15/15



VICINITY MAP
SCALE: 1" = 1,500'

SEE SHEET L1 FOR GENERAL NOTES,
REFERENCE PLANS & LOT AREA TABLE

SEE SHEET L5 FOR SITE SPECIFIC SOIL
MAP UNIT KEY & SCS SOILS LEGEND

LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- ⊕ DRILL HOLE
- ⊙ UTILITY POLE
- ⊙ SIGN
- ⊙ EXISTING WELL
- ⊙ DRAINAGE MANHOLE
- ⊙ CATCH BASIN
- ⊙ STONE BOUND TO BE SET
- ⊙ IRON PIN TO BE SET
- ⊙ PROPOSED WELL
- ⊙ ABUTTER LINE
- ⊙ EXISTING PROPERTY LINE
- ⊙ STREAM
- ⊙ WETLAND
- ⊙ STOCKADE FENCE
- ⊙ BARBED WIRE FENCE
- ⊙ GUARDRAIL
- ⊙ OHU OVERHEAD UTILITIES
- ⊙ DRAINAGE LINE
- ⊙ TREELINE
- ⊙ RETAINING WALL
- ⊙ EDGE OF PAVEMENT
- ⊙ EDGE OF GRAVEL
- ⊙ 10' CONTOUR
- ⊙ 2' CONTOUR
- ⊙ STONEWALL
- ⊙ SCS SOIL LINE
- ⊙ SITE SPECIFIC SOIL LINE
- ⊙ BUILDING SETBACK
- ⊙ EXISTING EASEMENT
- ⊙ PROPOSED PROPERTY LINE
- ⊙ PROPOSED EASEMENT
- ⊙ EXISTING PROPERTY LINE TO BE EXTINGUISHED



MATCH TO SHEET L7

TOPOGRAPHIC LOT LINE ADJUSTMENT PLAN

EAGLES NEST ESTATES

MAP 186; LOTS 20-4 & 24
SPEARE ROAD & KARAS CROSSING DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 20-4
KELLY A. TRUDEL
11 KARAS CROSSING DRIVE
HUDSON, NH 03051
H.C.R.D. BK. 8046, PG. 2911

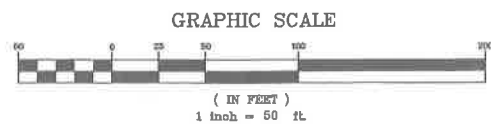
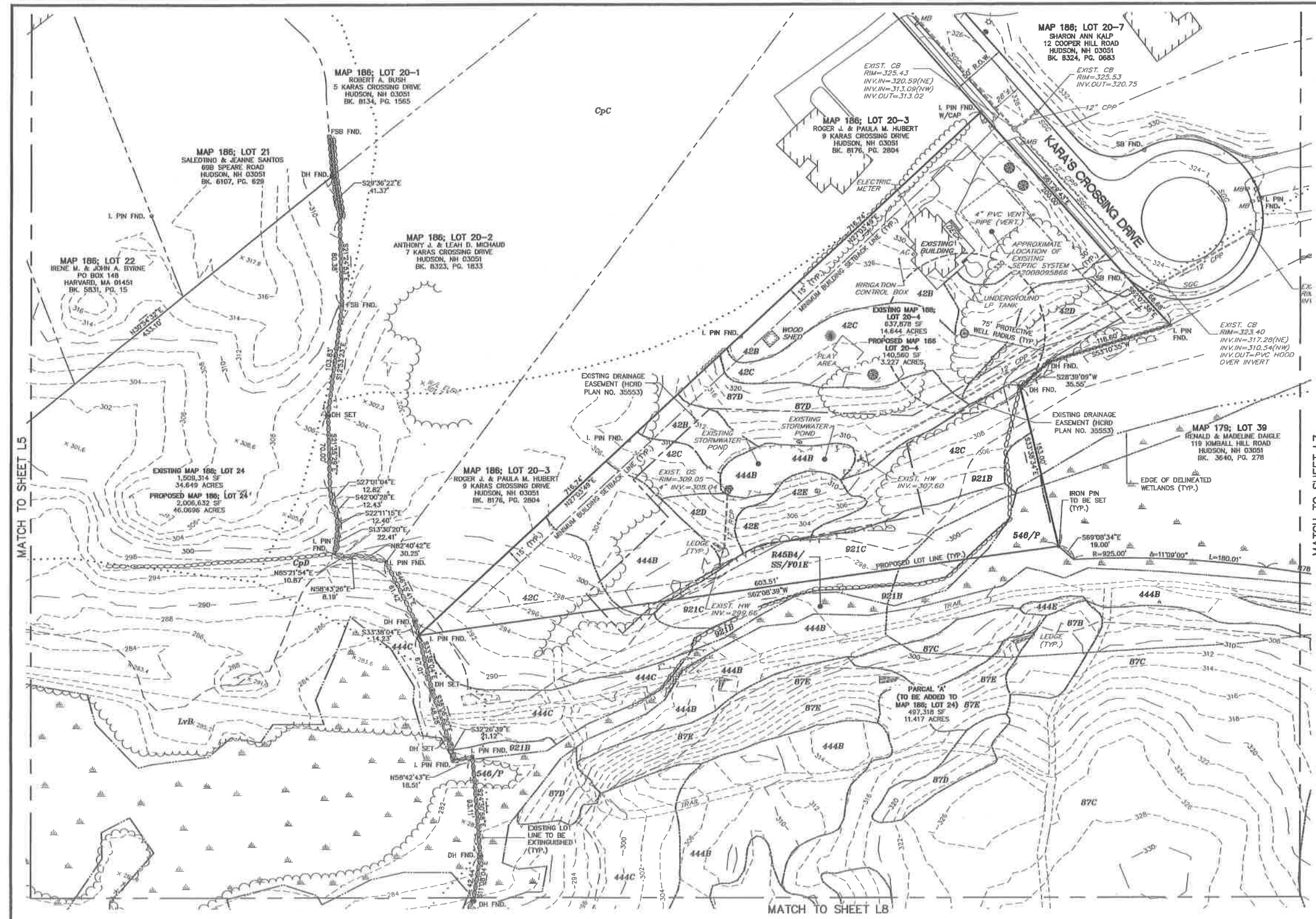
OWNER OF MAP 186;
LOT 24/APPLICANT:
EAGLES NEST ESTATES, LLC
21 CONTINENTAL BOULEVARD
MERRIMACK, NH 03054
H.C.R.D. BK. 8221, PG. 169



Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/26/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015
PROJECT NO: 11-0202-1
SCALE: 1" = 50'
SHEET L6 OF L8



OWNER OF MAP 186; LOT 20-4
SIGNATURE: *Memo Photo*
DATE: 1-23-2015

APPLICANT/OWNER OF MAP 186; LOT 24
SIGNATURE: *[Signature]*
DATE: 1/12/2015



THIS DETAILED SITE-SPECIFIC SOIL MAP WAS PERFORMED ON NOVEMBER 8, 2013 BY GOVE ENVIRONMENTAL SERVICES, INC. IN EXETER, NEW HAMPSHIRE AND CONFORMS TO THE STANDARDS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS A STANDARD URBAN PROPERTY SURVEY AS DEFINED IN THE STATE OF NEW HAMPSHIRE ADMINISTRATIVE RULES GOVERNING LAND SURVEYS (LAN 503).

SIGNATURE: *[Signature]*
NAME: *[Name]*
DATE: *[Date]*

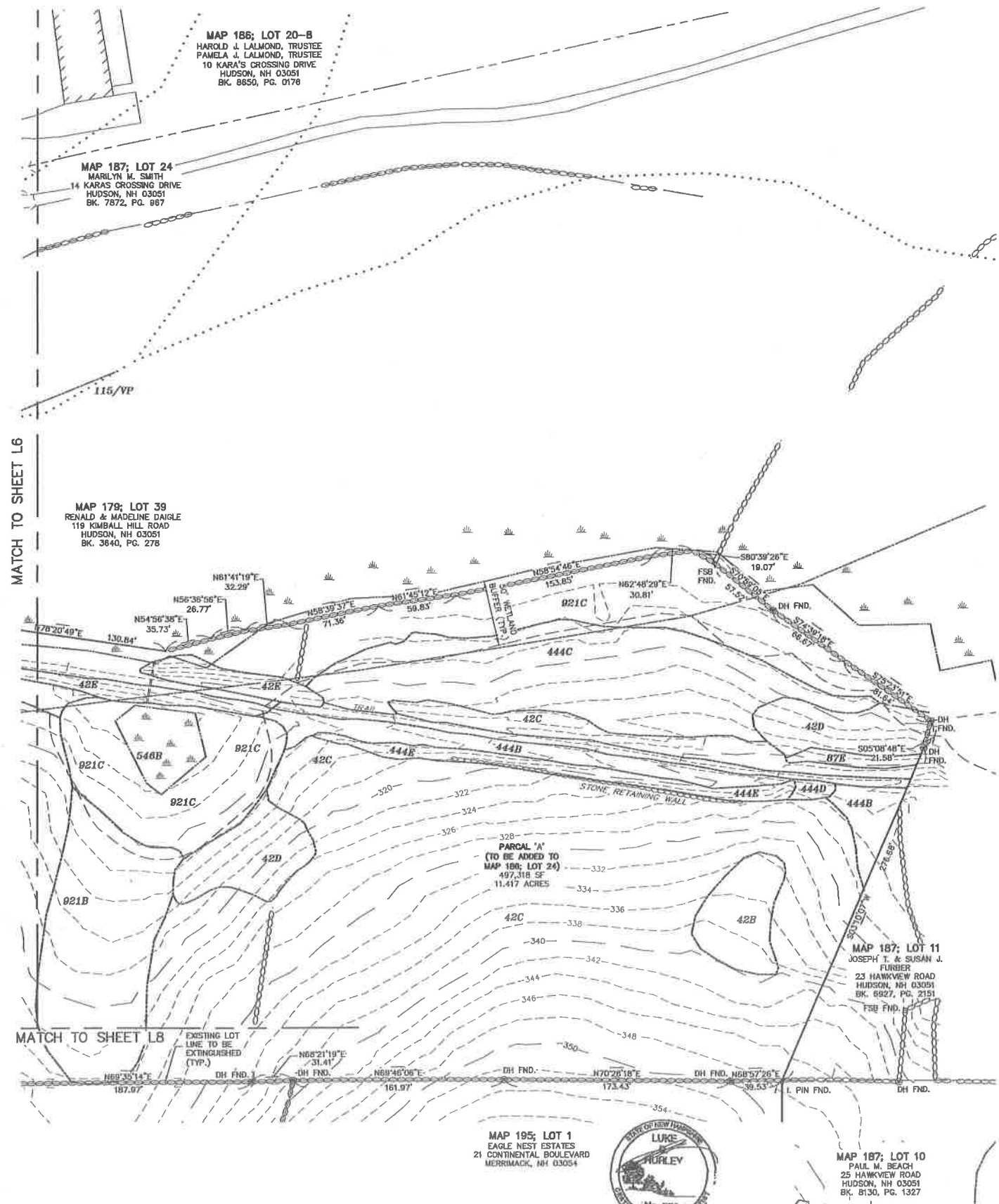
THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL (TECHNICAL REPORT Y-87-1)
WETLAND DELINEATION PREPARED BY:
SIGNATURE: *[Signature]*
NAME: *[Name]* CERTIFIED WETLAND SCIENTIST # *[Number]* DATE: *[Date]*

THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION BETWEEN MAP 2011 AND NOVEMBER 2013 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS A STANDARD URBAN PROPERTY SURVEY AS DEFINED IN THE STATE OF NEW HAMPSHIRE ADMINISTRATIVE RULES GOVERNING LAND SURVEYS (LAN 503).

SIGNATURE: *[Signature]*
NAME: *[Name]* CERTIFIED SOIL SCIENTIST # *[Number]* DATE: *[Date]*

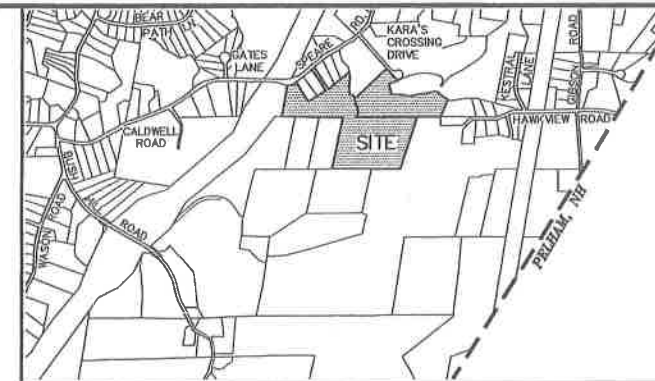
PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE: _____ DATE: _____
SIGNATURE: _____ DATE: _____
SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



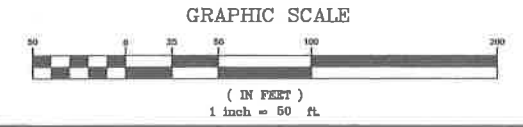
SEE SHEET L1 FOR GENERAL NOTES, REFERENCE PLANS & LOT AREA TABLE

SEE SHEET L5 FOR SITE SPECIFIC SOIL MAP UNIT KEY & SCS SOILS LEGEND



VICINITY MAP
SCALE: 1" = 1,500'

- LEGEND**
- STONE BOUND FOUND
 - IRON PIN FOUND
 - ⊙ DRILL HOLE
 - ⊕ UTILITY POLE
 - ⊖ SIGN
 - ⊙ EXISTING WELL
 - ⊕ DRAINAGE MANHOLE
 - ⊖ CATCH BASIN
 - STONE BOUND TO BE SET
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 - ⊕ GUARDRAIL
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 - ⊕ SCS SOIL LINE
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 - ⊕ BUILDING SETBACK
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 - ⊕ PROPOSED PROPERTY LINE
 - ⊖ PROPOSED EASEMENT
 - ⊕ EXISTING PROPERTY LINE TO BE EXTINGUISHED



TOPOGRAPHIC LOT LINE ADJUSTMENT PLAN

EAGLES NEST ESTATES

MAP 186; LOTS 20-4 & 24
SPEARE ROAD & KARAS CROSSING DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 20-4
KELLY A. TRUDEL
11 KARAS CROSSING DRIVE
HUDSON, NH 03051
H.C.R.D. BK. 8046, PG. 2911

OWNER OF MAP 186; LOT 24/APPLICANT:
EAGLES NEST ESTATES, LLC
21 CONTINENTAL BOULEVARD
MERRIMACK, NH 03054
H.C.R.D. BK. 8221, PG. 169

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

OWNER OF MAP 186; LOT 20-4
SIGNATURE: *[Signature]*
DATE: 1-23-2015

APPLICANT/OWNER OF MAP 186; LOT 24
SIGNATURE: *[Signature]*
DATE: 1/23/2015

FURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

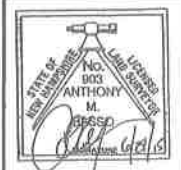
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE: _____ DATE: _____
SIGNATURE: _____ DATE: _____
SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



THIS DETAILED SITE-SPECIFIC SOIL MAP WAS PERFORMED ON NOVEMBER 8, 2013 BY GOVE ENVIRONMENTAL SERVICES, INC. IN EXETER, NEW HAMPSHIRE AND CONFORMS TO THE STANDARDS OF SSSNNE PUBLICATION NO. 3, AS AMENDED, "SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT."
NAME: *[Signature]* DATE: 1/23/15
NAME: _____ CERTIFIED SOIL SCIENTIST # _____ DATE: _____

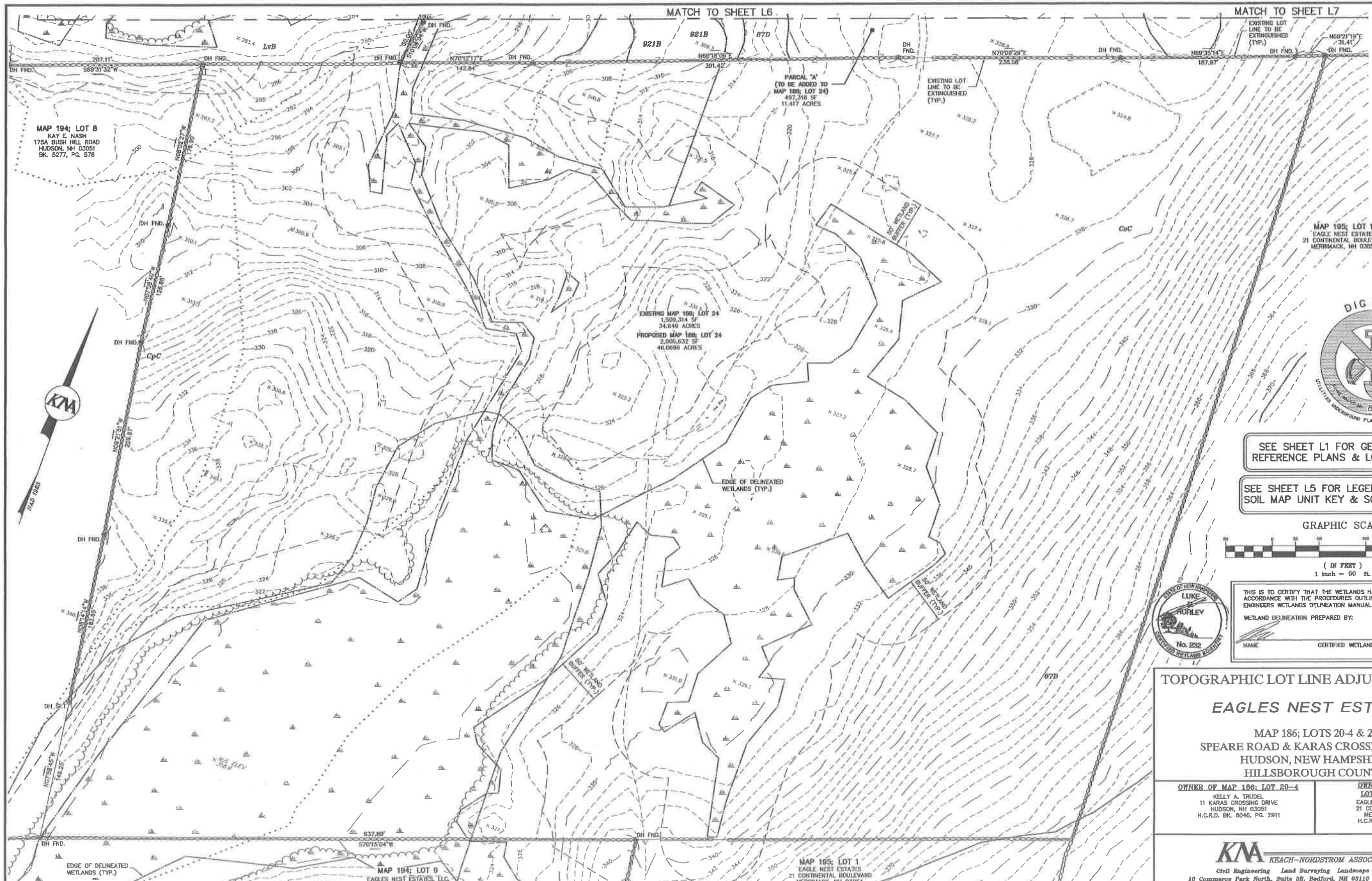
THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE 1987 CORPUS OF ENGINEERS WETLANDS DELINEATION MANUAL (TECHNICAL REPORT Y-87-1)
WETLAND DELINEATION PREPARED BY: *[Signature]* DATE: 1/23/15
NAME: _____ CERTIFIED WETLAND SCIENTIST # _____ DATE: _____

THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION BETWEEN MAP 2011 AND NOVEMBER 2013 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS A STANDARD URBAN PROPERTY SURVEY AS DEFINED IN THE STATE OF NEW HAMPSHIRE ADMINISTRATIVE RULES GOVERNING LAND SURVEYS (LAN 503).
DATE: 1/23/15



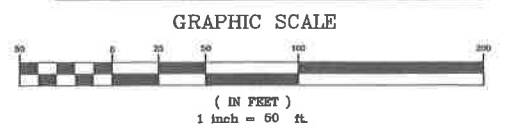
REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/18/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: 1" = 50'
PROJECT NO: 11-0202-1 SHEET L7 OF L8



SEE SHEET L1 FOR GENERAL NOTES, REFERENCE PLANS & LOT AREA TABLE

SEE SHEET L5 FOR LEGEND SITE SPECIFIC SOIL MAP UNIT KEY & SCS SOILS LEGEND



THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL (TECHNICAL REPORT Y-87-1)
 WETLAND DELINEATION PREPARED BY:
 NAME: 287 2/4/15
 CERTIFIED WETLAND SCIENTIST # DATE



TOPOGRAPHIC LOT LINE ADJUSTMENT PLAN

EAGLES NEST ESTATES

MAP 186; LOTS 20-4 & 24
 SPEARE ROAD & KARAS CROSSING DRIVE
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 20-4
 KELLY A. TRUDEL
 11 KARAS CROSSING DRIVE
 HUDSON, NH 03051
 H.C.R.D. BK. 8046, PG. 2911

OWNER OF MAP 186;
 LOT 24/APPLICANT:
 EAGLES NEST ESTATES, LLC
 21 CONTINENTAL BOULEVARD
 MERRIMACK, NH 03054
 H.C.R.D. BK. 8221, PG. 169

KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 5B, Bedford, NH 03110 Phone (603) 627-2881

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE: _____ DATE: _____
 SIGNATURE: _____ DATE: _____
 SUBDIVISION PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

APPLICANT/OWNER OF MAP 186; LOT 24
 SIGNATURE: [Signature]
 DATE: 1/22/2015

OWNER OF MAP 186; LOT 20-4
 SIGNATURE: [Signature]
 DATE: 1-23-2015

THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION BETWEEN MAP 2011 AND NOVEMBER 2013 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS A STANDARD URBAN PROPERTY SURVEY AS DEFINED IN THE STATE OF NEW HAMPSHIRE ADMINISTRATIVE RULES GOVERNING LAND SURVEYS (LAN 503).



REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/20/15	REVISED PER TOWN & DES COMMENTS	JEM
2	05/18/15	REVISED PER TOWN COMMENTS	JEM

DATE: JANUARY 7, 2015 SCALE: 1" = 50'
 PROJECT NO: 11-0202-1 SHEET LB OF LB

K:\Projects\110202\110202-1\110202-1-LA-PLAN.dwg, LLA TOPO, 6/26/2015 2:17:17 PM, rlewis

CONCEPTUAL OSD LOT AREA TABLE

LOT NUMBER	TOTAL LOT AREA		WETLAND AREA		AREA >25% SLOPE		*BUILDABLE LOT AREA		FRONTAGE FEET
	SF	ACRES	SF	ACRES	SF	ACRES	SF	ACRES	
1	74,345	1.707	12,196	0.280	10,332	0.237	51,827	1.190	164.25
2	118,827	2.728	11,988	0.275	20,496	0.471	86,363	1.983	147.62
3	95,672	2.198	N/A	N/A	46,738	1.073	48,934	1.123	611.84
4	82,342	1.890	N/A	N/A	16,362	0.378	65,981	1.515	109.56
5	72,108	1.655	N/A	N/A	12,234	0.281	59,875	1.375	109.56
6	63,401	1.456	N/A	N/A	7,225	0.166	56,177	1.290	106.27
7	60,203	1.382	864	0.020	3,786	0.087	56,553	1.276	125.16
8	44,103	1.012	N/A	N/A	N/A	N/A	44,103	1.012	216.13
9	43,908	1.006	N/A	N/A	N/A	N/A	43,908	1.006	346.99
10	53,860	1.238	N/A	N/A	9,857	0.222	44,203	1.015	221.21
11	48,510	1.114	N/A	N/A	2,089	0.069	45,521	1.045	645.57
12	49,007	1.125	N/A	N/A	825	0.014	48,383	1.111	242.69
13	44,952	1.025	N/A	N/A	194	0.004	44,458	1.021	253.23
14	44,989	1.035	N/A	N/A	236	0.006	44,733	1.027	298.56
15	72,953	1.675	N/A	N/A	328	0.007	72,627	1.667	100.00
16	63,758	1.464	N/A	N/A	N/A	N/A	63,758	1.464	100.00
17	76,445	1.765	N/A	N/A	8,897	0.158	68,548	1.597	100.00
18	81,750	1.818	4,161	0.096	1,919	0.044	55,670	1.278	189.92
19	81,852	1.820	2,789	0.064	N/A	N/A	59,053	1.356	195.41
20	44,837	1.025	N/A	N/A	903	0.014	44,034	1.011	425.42
21	45,675	1.046	N/A	N/A	N/A	N/A	45,675	1.046	285.71
22	44,039	1.011	N/A	N/A	N/A	N/A	44,039	1.011	163.60
23	89,202	1.589	N/A	N/A	406	0.009	88,796	1.579	100.28
24	85,535	1.504	N/A	N/A	N/A	N/A	85,535	1.504	135.27
25	54,106	1.242	N/A	N/A	906	0.021	53,200	1.221	100.06
26	48,140	1.105	N/A	N/A	524	0.012	47,616	1.083	135.00
27	50,608	1.162	N/A	N/A	1,388	0.032	49,222	1.130	188.87
28	46,963	1.078	956	0.023	546	0.013	45,419	1.043	190.73
29	64,993	1.262	7,116	0.163	N/A	N/A	47,877	1.099	153.83
30	47,144	1.082	N/A	N/A	N/A	N/A	47,144	1.082	125.43
31	43,980	1.010	N/A	N/A	N/A	N/A	43,980	1.010	111.07
32	43,560	1.000	N/A	N/A	N/A	N/A	43,560	1.000	140.39
33	43,560	1.000	N/A	N/A	N/A	N/A	43,560	1.000	182.09
34	43,565	1.000	N/A	N/A	N/A	N/A	43,565	1.000	151.44
35	52,874	1.214	N/A	N/A	589	0.014	52,285	1.200	161.50
36	50,596	1.161	N/A	N/A	N/A	N/A	50,596	1.161	100.00
37	77,403	1.777	N/A	N/A	N/A	N/A	77,403	1.777	100.00
38	61,230	1.406	N/A	N/A	N/A	N/A	61,230	1.406	100.00
39	57,233	1.314	N/A	N/A	1,347	0.031	55,886	1.283	100.00
40	71,980	1.650	N/A	N/A	23,584	0.541	48,296	1.109	563.76
41	53,671	1.232	2,281	0.052	5,401	0.124	45,989	1.056	436.55
42	44,281	1.017	N/A	N/A	N/A	N/A	44,281	1.017	101.94
43	44,328	1.018	N/A	N/A	N/A	N/A	44,328	1.018	147.09
44	62,006	1.423	2,887	0.069	N/A	N/A	59,019	1.355	173.04
45	55,847	1.282	1,629	0.037	677	0.016	53,540	1.229	205.61
46	55,003	1.263	1,487	0.034	3,824	0.088	49,682	1.141	177.88
47	65,461	1.503	2,783	0.064	8,948	0.203	53,552	1.236	100.00
48	62,832	1.215	2,302	0.053	1,611	0.037	48,281	1.052	103.23
49	60,497	1.159	2,481	0.057	456	0.010	50,041	1.149	132.56
50	69,087	1.595	17,388	0.399	N/A	N/A	45,153	1.037	135.74
51	55,088	1.265	N/A	N/A	1,246	0.029	53,842	1.236	261.57
52	49,346	1.133	N/A	N/A	N/A	N/A	49,346	1.133	395.50
53	65,733	1.509	N/A	N/A	N/A	N/A	65,733	1.509	138.47
54	53,802	1.235	N/A	N/A	N/A	N/A	53,802	1.235	134.34
55	62,787	1.442	1,030	0.024	N/A	N/A	61,767	1.418	100.00
56	70,464	1.618	4,872	0.112	378	0.009	65,214	1.497	130.00
57	63,026	1.447	N/A	N/A	287	0.007	62,739	1.440	100.00
58	64,158	1.473	N/A	N/A	4,554	0.105	59,604	1.368	100.00
59	66,499	1.627	N/A	N/A	2,957	0.068	63,542	1.459	100.00
60	63,243	1.452	N/A	N/A	N/A	N/A	63,243	1.452	125.01
61	66,814	1.575	N/A	N/A	N/A	N/A	66,814	1.575	211.00
62	64,027	1.470	1,077	0.025	1,134	0.026	61,815	1.419	170.00
63	69,594	1.596	11,533	0.265	N/A	N/A	58,061	1.333	465.33
64	62,285	1.430	N/A	N/A	N/A	N/A	62,285	1.430	199.50
65	57,140	1.312	N/A	N/A	13,178	0.303	43,962	1.009	188.00
66	110,172	2.529	N/A	N/A	65,291	1.269	64,881	1.290	893.76
67	69,885	1.604	N/A	N/A	24,796	0.569	45,119	1.036	144.00
68	65,086	1.264	N/A	N/A	10,086	0.232	44,970	1.032	131.00
69	53,709	1.235	N/A	N/A	8,345	0.215	44,383	1.018	138.00
70	63,548	1.229	N/A	N/A	740	0.017	62,909	1.212	100.00
71	45,936	1.048	N/A	N/A	N/A	N/A	45,936	1.048	100.00
72	46,532	1.068	N/A	N/A	1,395	0.032	45,137	1.036	100.00
73	47,282	1.085	N/A	N/A	1,971	0.045	45,311	1.040	136.00
74	45,405	1.042	N/A	N/A	1,258	0.029	44,148	1.013	100.00
75	149,404	3.430	38,106	0.875	45,114	1.036	66,184	1.519	468.00



- PLAN NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE THE POTENTIAL FUTURE AMENDMENT OF THE EAGLES NEST ESTATES OPEN SPACE SUBDIVISION.
 2. THE CURRENT OPEN SPACE DEVELOPMENT (OSD) PLAN ENTAILS THE CREATION OF 66 OSD RESIDENTIAL LOTS. THIS CONCEPTUAL OSD SUBDIVISION PLAN WOULD AMEND THE 66 LOT OSD BY CREATING 9 ADDITIONAL OSD LOTS. THE TOTAL POTENTIAL OSD WOULD HAVE A DENSITY OF 75 LOTS (66+9=75).
 3. THE PROPOSED ADDITIONAL DENSITY OF 9 LOTS IS THE RESULT OF SUBDIVIDING THE EASTERN PORTION AND SOUTHERN TIP OF TAX MAP 194; LOT 9. THE EASTERN PORTION AND SOUTHERN TIP OF TAX MAP 194; LOT 9 IS NOT BEING SUBDIVIDED AS PART OF THE 66 LOT OSD. TITLE TO THE EASTERN PORTION AND SOUTHERN TIP OF TAX MAP 194; LOT 9 REMAINS SUBJECT TO RESOLUTION. THIS PLAN ILLUSTRATES THE CONCEPTUAL OSD PLAN UTILIZING ALL OF TAX MAP 194; LOT 9 FOLLOWING RESOLUTION OF TITLE.
 4. THIS PLAN DEPICTS A POSSIBLE FUTURE AMENDMENT OF THE 66 LOT OSD SHOULD THE LAND TITLE/OWNERSHIP OF THE REMAINING PORTIONS OF TAX MAP 194; LOT 9 BE RESOLVED.



LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- ABUTTER LINE
- EXISTING PROPERTY LINE
- STREAM
- WETLAND
- STOCKADE FENCE
- BARBED WIRE FENCE
- GUARDRAIL
- DRAINAGE LINE
- TREE LINE
- RETAINING WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- 10' CONTOUR
- 2' CONTOUR
- STONE WALL
- EASEMENT

GRAPHIC SCALE



CONCEPTUAL OSD SUBDIVISION PLAN
75 LOT OSD
EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
 MAP 195; LOT 1, AND MAP 201; LOT 7
 BUSH HILL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24, MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC. 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENYSE PLANTE, TRUSTEES 9 OLD DENRY ROAD HUDSON, NH 03051
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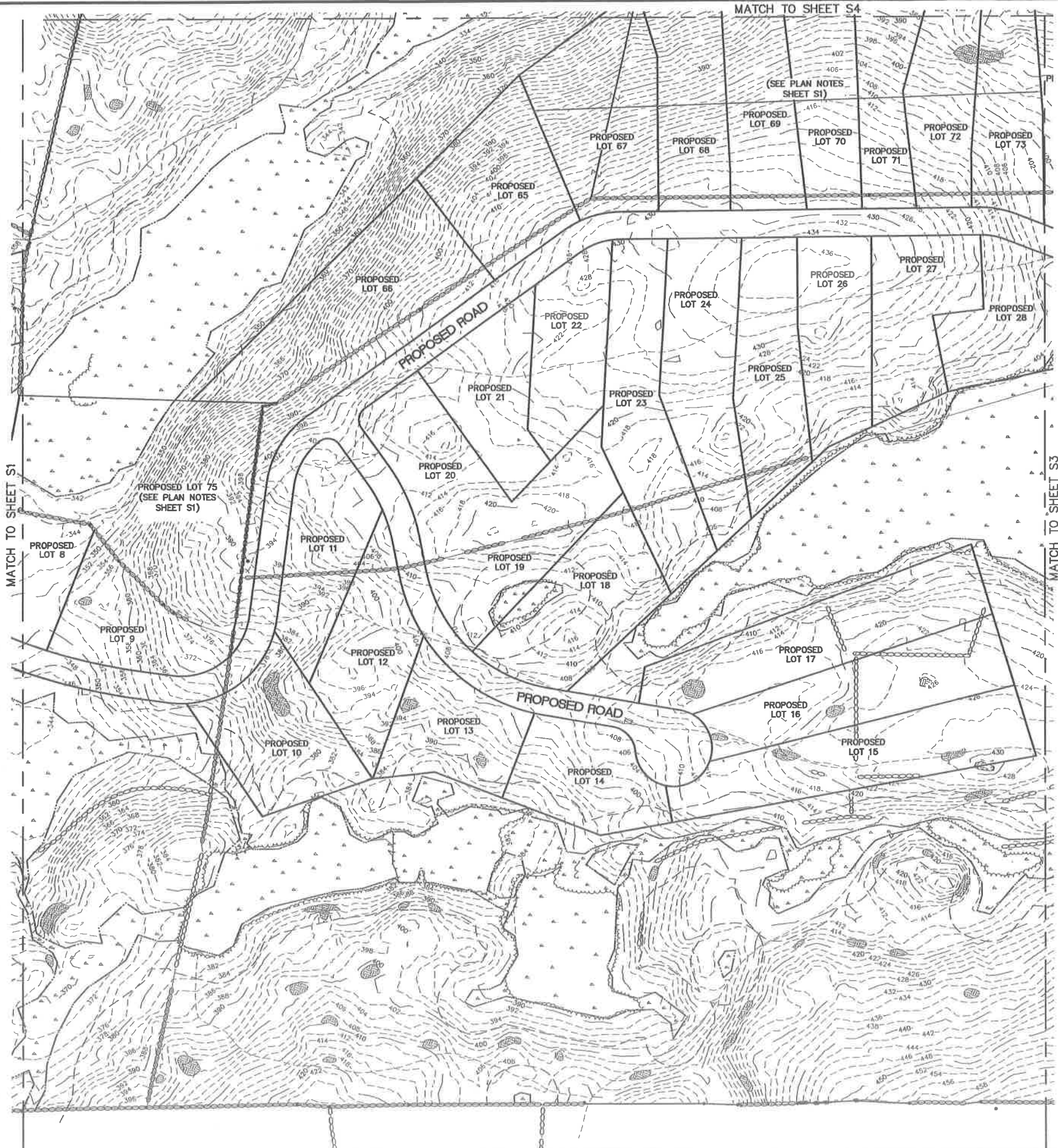
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 PROJECT NO: 11-0202-1 SHEET S1 OF S5

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

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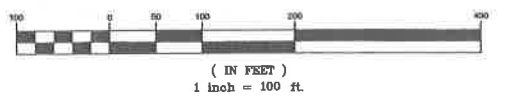
SEE SHEET S1 FOR LOT AREA TABLE & PLAN NOTES



LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- WELL
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- TREETLINE
- RETAINING WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- EASEMENT

GRAPHIC SCALE



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CONCEPTUAL OSD SUBDIVISION PLAN
75 LOT OSD
EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

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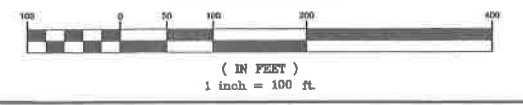
SEE SHEET S1 FOR LOT AREA TABLE & PLAN NOTES



LEGEND

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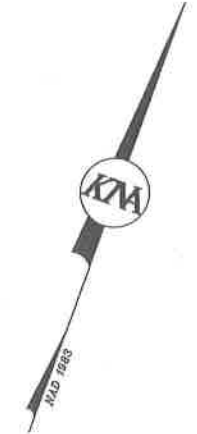
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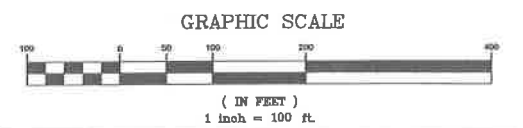
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SEE SHEET S1 FOR LOT AREA TABLE & PLAN NOTES



LEGEND

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- UTILITY POLE
- SIGN
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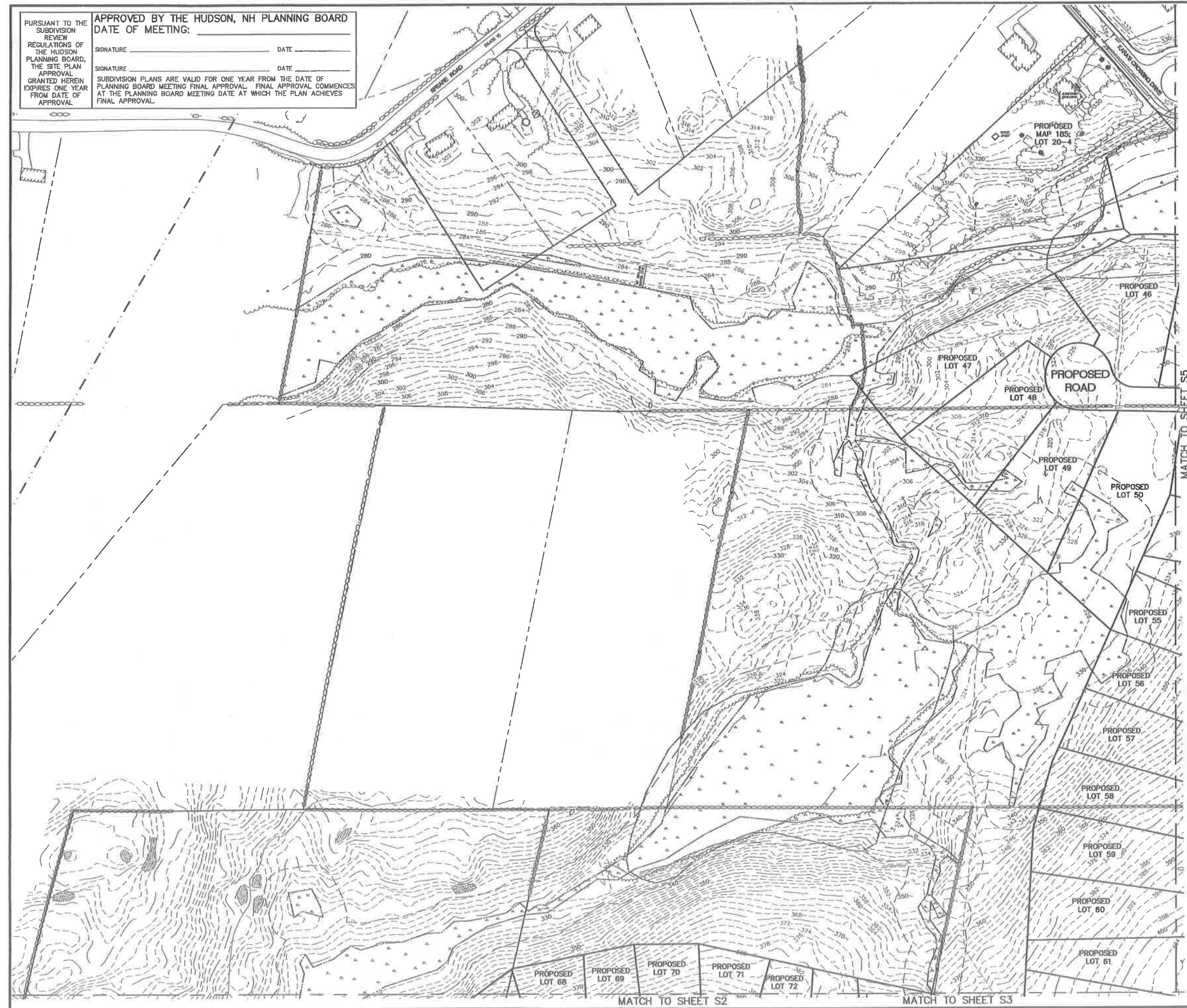
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 PROJECT NO: 11-0202-1 SHEET S4 OF 55



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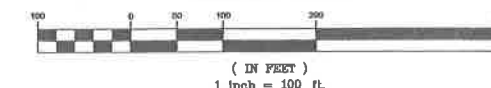
SEE SHEET S1 FOR LOT AREA TABLE & PLAN NOTES



LEGEND

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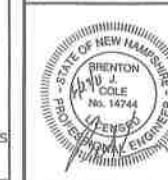
GRAPHIC SCALE



**CONCEPTUAL OSD SUBDIVISION PLAN
75 LOT OSD
EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
MAP 195; LOT 1, AND MAP 201; LOT 7
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HUDSON, NEW HAMPSHIRE
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MATCH TO SHEET S4

MATCH TO SHEET S3

CONCEPTUAL CONVENTIONAL LOT AREA TABLE

LOT NUMBER	TOTAL LOT AREA		WETLAND AREA		AREA >25% SLOPE		*BUILDABLE LOT AREA		FRONTAGE FEET
	SF	ACRES	SF	ACRES	SF	ACRES	SF	ACRES	
1	327,626	7.521	75,482	1.733	82,007	1.883	106,127	2.436	814
2	118,832	2.728	N/A	N/A	20,371	0.468	98,445	2.280	200
3	104,412	2.397	2,343	0.054	8,230	0.189	83,838	2.154	200
4	127,838	2.935	10,895	0.246	16,513	0.379	87,237	2.003	200
5	102,824	2.361	12,837	0.297	2,234	0.051	87,853	2.012	200
6	94,416	2.167	2,225	0.051	4,886	0.105	87,209	2.002	200
7	120,590	2.798	18,838	0.432	4,104	0.094	94,801	2.172	200
8	118,951	2.731	16,882	0.388	5,534	0.127	87,165	2.001	443
9	92,856	2.127	832	0.012	5,619	0.127	87,139	2.000	200
10	296,405	6.873	115,007	2.640	10,714	0.246	87,484	2.006	475
11	102,701	2.358	34	0.001	11,774	0.270	90,927	2.087	287
12	244,240	5.607	90,320	1.155	16,488	0.378	127,217	2.921	379
13	101,460	2.329	8,206	0.188	43	0.001	89,579	2.056	233
14	182,649	4.191	40,386	0.927	13,613	0.310	88,370	2.029	440
15	145,148	3.332	4,883	0.107	1,795	0.041	138,890	3.184	214
16	87,892	2.018	N/A	N/A	696	0.016	87,198	2.002	200
17	100,594	2.309	11,389	0.262	835	0.021	88,259	2.026	525
18	221,644	5.088	105,453	2.421	N/A	N/A	87,193	2.001	561
19	183,773	4.218	91,822	2.110	N/A	N/A	87,147	2.001	200
20	257,833	5.914	99,298	2.280	4,425	0.102	88,852	2.035	311
21	127,544	2.928	28,077	0.645	557	0.013	98,809	2.271	200
22	90,832	2.081	N/A	N/A	3,308	0.078	87,321	2.005	200
23	87,787	2.015	N/A	N/A	290	0.007	87,497	2.009	256
24	94,391	2.167	928	0.021	5,499	0.126	87,964	2.019	200
25	124,230	2.852	22,195	0.510	12,889	0.296	88,345	2.028	210
26	149,490	3.432	1,750	0.040	30,845	0.708	118,644	2.724	200
27	102,362	2.360	2,467	0.056	5,714	0.131	90,167	2.070	265
28	102,836	2.361	N/A	N/A	15,449	0.355	87,387	2.006	433
29	106,724	2.450	2,281	0.052	17,561	0.403	89,164	2.047	441
30	91,415	2.099	N/A	N/A	3,888	0.082	87,428	2.007	200
31	80,570	2.079	N/A	N/A	N/A	N/A	88,483	2.054	200
32	90,428	2.076	N/A	N/A	1,246	0.029	87,203	2.002	407
33	87,138	2.000	N/A	N/A	N/A	N/A	87,138	2.000	200
34	87,308	2.004	N/A	N/A	N/A	N/A	87,308	2.004	200
35	116,024	2.684	9,074	0.208	7,852	0.180	90,629	2.078	299
36	152,478	3.500	N/A	N/A	12,144	0.279	115,196	2.644	300
37	516,294	11.852	145,655	3.367	48,051	1.103	146,010	3.352	200
38	168,529	3.869	25,964	0.619	20,281	0.468	87,870	2.020	200
39	247,670	5.683	11,754	0.270	18,519	0.425	94,126	2.181	200
40	250,998	5.782	88,804	2.291	5,923	0.136	103,517	2.376	200
41	239,838	5.506	111,392	2.557	605	0.014	127,367	2.924	200
42	88,280	2.027	N/A	N/A	55	0.001	88,225	2.025	200
43	87,245	2.003	N/A	N/A	N/A	N/A	87,245	2.003	200
44	91,670	2.104	N/A	N/A	1,042	0.024	90,628	2.081	361
45	89,184	2.047	N/A	N/A	1,167	0.027	88,027	2.021	213
46	83,381	2.144	N/A	N/A	1,923	0.044	91,459	2.100	200
47	94,404	2.167	N/A	N/A	3,925	0.090	90,479	2.077	200
48	120,447	2.785	N/A	N/A	3,180	0.073	117,267	2.692	200
49	128,870	2.958	12,809	0.289	1,486	0.034	114,755	2.634	200
50	90,868	2.086	1,724	0.040	1,270	0.029	87,847	2.017	200
51	188,205	4.321	52,212	1.199	4,304	0.099	87,667	2.019	733
52	263,685	6.053	147,596	3.388	6,998	0.153	87,551	2.010	605
53	149,863	3.436	56,853	1.305	4,669	0.107	87,144	2.001	245
54	115,700	2.656	23,016	0.528	5,474	0.126	87,159	2.001	303
55	123,281	2.830	17,760	0.408	4,657	0.107	100,844	2.315	496
56	211,886	4.864	51,526	1.183	3,344	0.077	157,018	3.805	200
57	112,128	2.574	N/A	N/A	N/A	N/A	112,128	2.574	208
58	88,550	2.282	N/A	N/A	N/A	N/A	88,550	2.282	203
59	87,475	2.008	N/A	N/A	N/A	N/A	87,138	2.000	471
60	95,162	2.185	N/A	N/A	7,986	0.183	87,176	2.001	200
61	94,028	2.159	6,774	0.156	78	0.002	87,177	2.001	200
62	87,852	2.017	168	0.004	532	0.012	87,134	2.000	399
63	103,572	2.378	N/A	N/A	15,878	0.364	87,896	2.013	200
64	102,022	2.342	7,763	0.178	1,570	0.036	87,457	2.006	200
65	252,906	6.036	106,753	2.451	14,904	0.342	88,555	2.035	696
66	121,875	2.798	28,008	0.643	4,837	0.111	89,032	2.044	348
67	130,545	2.997	29,802	0.684	12,334	0.283	88,410	2.030	302
68	108,224	2.484	8,944	0.159	14,102	0.324	87,178	2.001	516
69	113,624	2.608	11,868	0.268	3,195	0.072	87,288	2.004	311
70	335,480	7.701	80,469	1.847	145,847	3.344	108,344	2.510	493
71	189,553	4.352	78,088	1.816	21,088	0.484	89,417	2.053	1281
72	106,058	2.504	3,373	0.077	12,846	0.295	82,838	2.131	570
73	114,514	2.629	1,110	0.025	22,768	0.523	90,636	2.081	316
74	118,424	2.719	N/A	N/A	14,134	0.324	104,290	2.384	672
75	219,234	5.033	15,247	0.350	74,888	1.721	129,001	2.961	300
76	198,118	4.548	8,877	0.204	33,839	0.777	155,400	3.567	300
77	157,818	3.623	11,466	0.263	19,479	0.447	126,874	2.913	359

*LOT 36 IS CURRENTLY DEVELOPED AND DOES NOT COUNT TOWARDS THE ALLOWABLE DENSITY OF THE POTENTIAL FUTURE OSD.

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- PLAN NOTES:**
- THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE THE CONCEPTUAL LAYOUT OF A CONVENTIONAL RESIDENTIAL SUBDIVISION FOR THE PURPOSE OF DETERMINING THE ALLOWABLE DENSITY FOR AN OPEN SPACE DEVELOPMENT.
 - THIS CONCEPTUAL YIELD PLAN UTILIZES THE ENTIRE LAND AREA OF TAX MAP 194; LOT 9. ON DECEMBER 30, 2014, ALL OF TAX MAP 194; LOT 9 WAS CONVEYED TO EAGLES NEST ESTATES, LLC (H.C.R.D. BOOK 8718, PAGE 1139), TITLE TO THE EASTERN PORTION AND SOUTHERN TIP OF TAX MAP 194; LOT 9 REMAINS SUBJECT TO RESOLUTION. THIS PLAN ILLUSTRATES THE YIELD OF A CONVENTIONAL SUBDIVISION UTILIZING ALL OF TAX MAP 194; LOT 9 FOLLOWING RESOLUTION OF TITLE.
 - THIS PLAN SHOWS 77 CONVENTIONAL LOTS. PROPOSED LOT 36 IS ALREADY DEVELOPED AND THIS DOES NOT COUNT TOWARDS THE DENSITY OF ANY FUTURE OSD. THE TOTAL ALLOWED OSD DENSITY BASED ON THIS PLAN IS 76 LOTS.

LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- WELL
- DRAINAGE MANHOLE
- CATCH BASIN
- ABUTTER LINE
- EXISTING PROPERTY LINE
- STREAM
- WETLAND
- STOCKADE FENCE
- BARBED WIRE FENCE
- GUARDRAIL
- DRAINAGE LINE
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- EASEMENT

GRAPHIC SCALE

(IN FEET)
1 inch = 100 ft.

CONCEPTUAL YIELD PLAN
75 LOT OSD
EAGLES NEST ESTATES
MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10, MAP 195; LOT 1, AND MAP 201; LOT 7
BUSH HILL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF MAP 186; LOT 24 MAP 194; LOTS 9 & 10 & MAP 195; LOT 1/APPLICANT: EAGLES NEST ESTATES, LLC 21 CONTINENTAL BOULEVARD MERRIMACK, NH 03054	OWNER OF MAP 186; LOT 20-4 KELLY A. TRUDEL 11 KARAS CROSSING DRIVE HUDSON, NH 03051	OWNER OF MAP 201; LOT 7: GREEN MOUNTAIN PARTNERS REALTY TRUST MARIO & DENISE PLANTE, TRUSTEES 9 OLD DERRY ROAD HUDSON, NH 03051
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KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS

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1	04/20/15	REVISED PER TOWN & DES COMMENTS	JDM
2	06/19/15	REVISED PER TOWN COMMENTS	JDM

DATE: JANUARY 7, 2015 SCALE: 1" = 100'
PROJECT NO: 11-0202-1 SHEET Y1 OF Y5



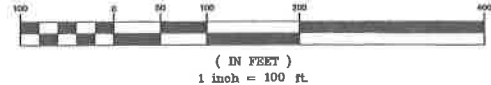
SEE SHEET Y1 FOR LOT AREA TABLE & PLAN NOTES



LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- WELL
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- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- EASEMENT

GRAPHIC SCALE



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CONCEPTUAL YIELD PLAN
75 LOT OSD
EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
 MAP 195; LOT 1, AND MAP 201; LOT 7
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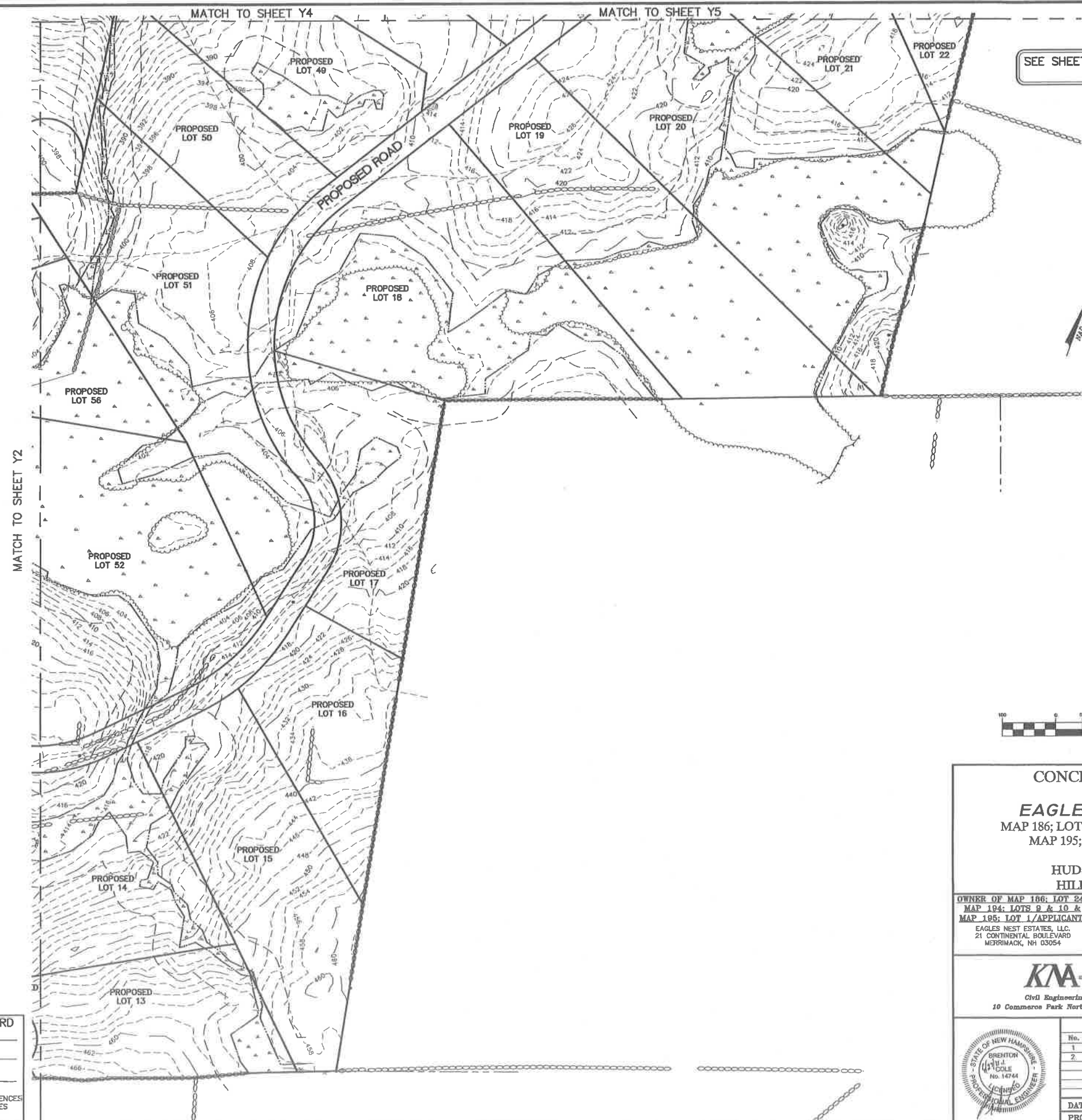
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 10 Commerce Park North, Suite 20, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
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DATE: JANUARY 7, 2015 SCALE: 1" = 100'
 PROJECT NO: 11-0202-1 SHEET Y2 OF Y5

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SEE SHEET Y1 FOR LOT AREA TABLE & PLAN NOTES



LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- WELL
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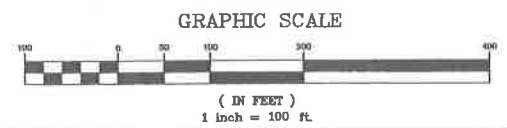
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SEE SHEET Y1 FOR LOT AREA TABLE & PLAN NOTES



LEGEND

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- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
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75 LOT OSD
EAGLES NEST ESTATES
 MAP 186; LOTS 20-4 & 24, MAP 194; LOTS 9 & 10,
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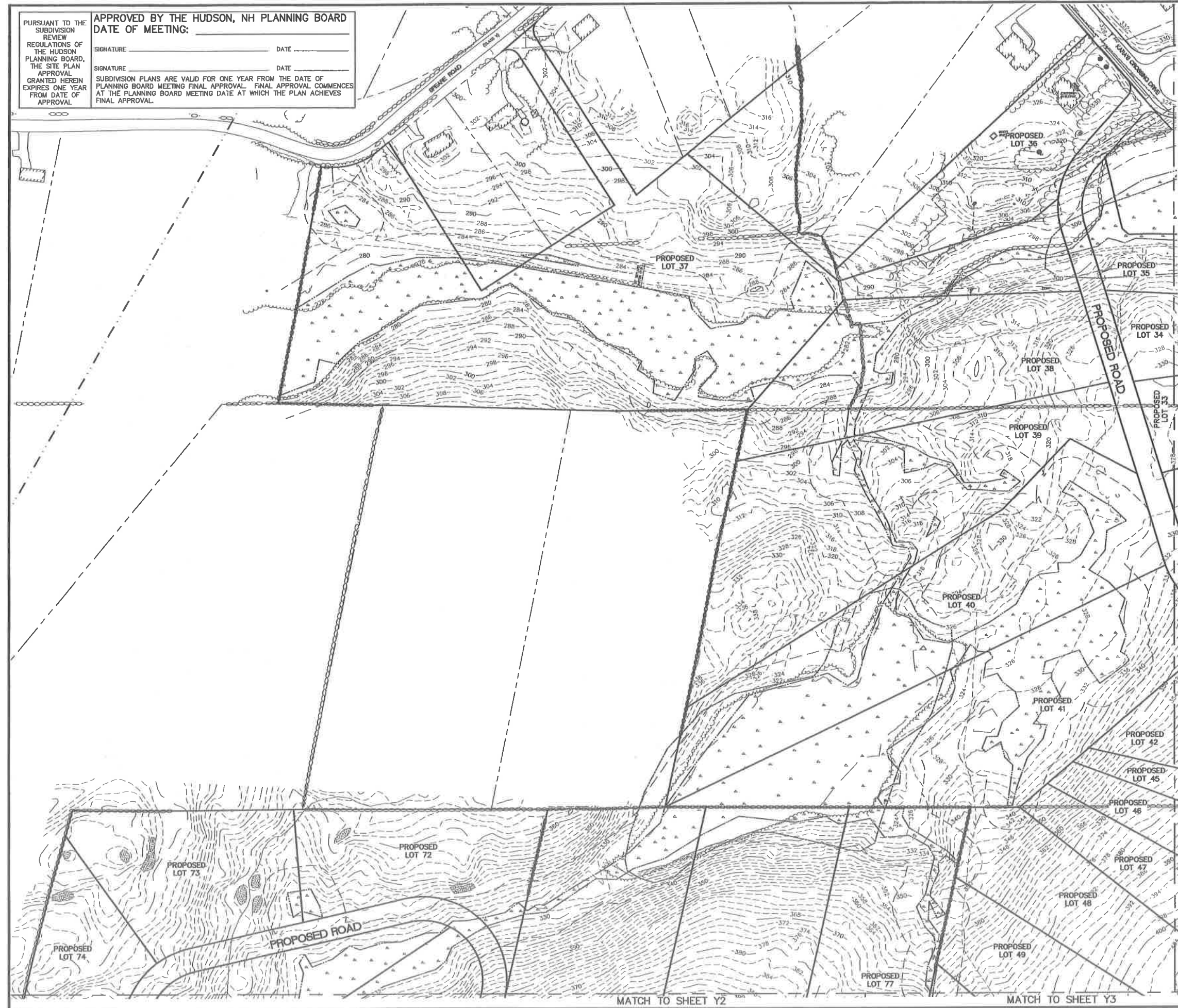
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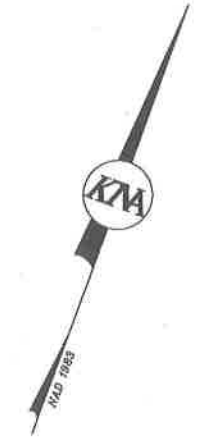
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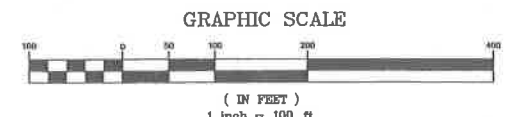
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SEE SHEET Y1 FOR LOT AREA TABLE & PLAN NOTES



LEGEND

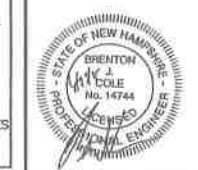
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