

Zheng Garden Site Plan

Staff Report

December 10, 2014

SITE: 143 Lowell Road -- Map 204/Lot 5 -- SP# 13-14

ZONING: Business (B) – Minimum lot size 30,000 with Town water & sewer and 150 ft. street frontage.

PURPOSE OF PLAN: to propose a 2,360 sf restaurant and associated site appurtenances on Map 204; Lot 5 in the Town of Hudson. Application Acceptance & Hearing.

PLAN UNDER REVIEW ENTITLED: “Non-Residential Site Plan Zheng Garden, Map 204 Lot 5, Lowell Rd., Hudson, NH, prepared by Keach-Nordstrom Associates, Inc., dated: 25 August, 2014, last revised 5 November 2014, consisting of Sheets 1 - 15 and Notes 1 – 32 on Sheet 1 (said plans are attached hereto).

ATTACHMENTS:

- 1) Site Plan Application, including the Project Narrative, Checklist & Waiver Forms and Aerial Site Photos date stamped July 21, 2014 – Attachment “A”.
- 2) CLD’s Initial Comments Report, including Application Checklist dated 28 Oct 14 – “B”.
- 3) Keach-Nordstrom’s response letter to CLD’s Initial Comments Report and the attached revised plans reflect the changes requested in CLD’s Initial Comments Report, dated 17 Nov14 – “C”.
- 4) Comments/Memos from: Zoning Admin., Bill Oleksak (including ZBA Dimensional Variance Decision, HFD Deputy Fire Chief, John O’Brien, Road Agent, Kevin Burns, Asst. Assessor, Jim Michaud and the Police Dept. – “D”.
- 5) CAP Fee Form – “E”.

REQUESTED WAIVERS (shown in Note 23 of Master Plan Sheet 1 of 15):

1. HTC 275-8(B)12C – Residential Buffer
2. HTC 275-9(B) -- Traffic Study
3. HTC 275-9(C) -- Noise Study
4. HTC 275-9(D) -- Fiscal/Environmental Impact Study
5. HTC 275-8.B.(31)a. – Interior Landscaping

APPLICATION TRACKING:

1. 14 OCT 14 - Application submitted.
2. 10 DEC 14 - Initial Public Hearing scheduled.

OUTSTANDING ISSUES:

1. As stated in the Project Narrative, this Site Plan application consists of razing an existing dwelling and 2 freestanding wooden sheds and constructing a “fast-turnover sit down restaurant”. The parcel is located at 143 Lowell Rd., Map 204/Lot 005, across from Nottingham Square Shopping Plaza. The lot area consists of 29,092 sf. Photos of the site

are included in attachment "A", and depict the existing dwelling, garage, lot area, sight distance photos along Lowell Rd. and an aerial photo of the site and immediate vicinity.

2. The Site Plans, consisting of Sheets 1 – 15, include the following plans: Locus, Master, Existing Conditions, Demolition/Removal, Site Plan Layout, Grading and Drainage, Erosion Control, Utility, Landscaping, Lighting & Construction. This plan set has been reviewed by CLD (see attachment "B") and revised accordingly by the Applicant's Engineer, Keach-Nordstrom (see attached Plans and Response Letter "C").
3. Besides the main transformation of the existing site (i.e., the construction of a free-standing 2,360 sf restaurant), parking, including HP spaces, will be provided in accordance with the total prescribed by the board's Site Plan Review regulations, §278-8(26)(c)[4], also see Note 11 of Sheet 1 of 15 and Sheet 4 of 15 as to the required parking space dimensions of 10' X 20' and 24' in-width travel lanes.
4. As proposed, the site will not include an exclusive loading space; rather, on page 2 of attachment "C", the Applicant depicts onsite maneuvering space within the proposed parking lot, which the Applicant describes as sufficient for a typical delivery-size truck.
5. A traffic study was not included in the submission; a waiver has been requested in this regard. Please note, CLD comment 2.d., cites that they feel, because of the anticipated low volume of traffic associated with this restaurant, that the subject requested waiver is appropriate. Please note, also, that a median lane exists in front of this site, and the proposed driveway for this restaurant is directly across from the notorious "ingress only" driveway for Nottingham Square.
6. In regard to CLD's Comment 3.b., re: non-conforming lot size. This has no bearing on the redevelopment of the subject lot, i.e., per §334-32. of the Zoning Ordinance.
7. Except for the oft sought "Interior Landscaping" waiver request, the site's proposed landscaping complies with §275-6.L. and §275-8.(22) of the board's Site Plan Review regulations, whereby the grass or landscaping area shall be, at minimum, 35 ft. in-width (i.e., from the edge of the ROW into the lot) when the front setback calls for a 50 ft. structural setback. In this regard, Lowell Rd., which is an arterial road requires said 50 ft. front setback. Also, please refer to Sheet 4 of 15, wherein, said 35 ft. grass or landscape area is measured and depicted.
8. Onsite exterior lighting has been provided in accordance with the requirements prescribed in §275-8.(B)(13), and shown on Sheet 9. The proposed exterior lighting is LED, and of course hooded.
9. Note 27 needs to be amended to cite only 32 Notes associated with this Plan, rather than the noted "33" Notes.
10. A freestanding sign footprint for the is shown, and labeled as such, on Sheet 4 of 15. However, the plans do not include construction detail nor a sign plan, profile and

elevation/dimension information for said sign. NOTE: Note 32, found on Sheet 1 of 15 reads: "All signs are subject to approval by the Hudson Planning Board prior to installation thereof.

11. All other technical and engineering features, including, but not limited to, stormwater management design features and proposed utility connections, are properly and thoroughly addressed in the attached plans and in Keach-Nordstrom's attached response letter, attachment "C". Note: this Site Plan also includes: low impact development (LID) rain gardens, i.e., 2 to be exact, located on each side of the entrance driveway.
12. A 10 – 12 ft. in-width reserve easement for future roadway widening purposes has not been offered or designed to date for this application plan. Staff will work with the Applicant on this matter, together Town staff to determine the appropriate easement width along the frontage of this parcel.
13. The CAP Fee Worksheet Form is provided as attachment "E". Note: this fee, in the amount of \$13,758.80, and was calculated by use (i.e., a fast-turnover sit down restaurant), located in Sector 7 of the CAP Fee Matrix Map X the proposed 2,360 square feet of use (see attached Worksheet "E" for calculated sum).

RECOMMENDATION: For this hearing, staff recommends, first, application acceptance, followed by the board having the applicant present the project, then allow for public input, followed by the project representatives answering questions from the board and the public. The question and answer period, may lead to both on and offsite modifications that may cause a second hearing prior to the Planning Board taking final action on the Site Plan application. If the foregoing scenario does not occur, and the board moves to take final action at this hearing, staff has provided below appropriate DRAFT MOTIONS for the board's consideration.

DRAFT MOTIONS:

I move to accept the Site Plan application calling for the construction of a 2,360 sf restaurant and associated site appurtenances at 143 Lowell Rd., Map 204; Lot 5.

Motion by: _____ Second: _____ Carried/Failed: _____.

I move to defer further review of the Zheng Garden Site Plan application date specific to the Jan. 14, 2015 Planning Board meeting.

Motion by: _____ Second: _____ Carried/Failed: _____.

REQUESTED WAIVERS:

1. HTC 275-8(B)12C – Residential Buffer
2. HTC 275-9(B) -- Traffic Study
3. HTC 275-9(C) -- Noise Study
4. HTC 275-9(D) -- Fiscal/Environmental Impact Study
5. HTC 275-8.B.(31)a. – Interior Landscaping

1) HTC 275-8(B)12C – Residential Buffer

I move to grant the requested waiver - HTC 275-8(B)12C – Residential Buffer - because the subject proposed restaurant is an allowed use in the Business Zoning District, with similar uses located along the same commercial corridor; further, the granting of this waiver will allow for an appropriate use of the land and reasonable sized building to suit the needs required, and also provided an evergreen buffer along the property line closest to the residential abutter, as such, the granting of this waiver is in keeping with the spirit and intent of the Town’s ordinances.

Motion by: _____ Second: _____ Carried/Failed: _____

2) HTC 275-9B - Traffic Study

I move to grant the requested waiver HTC 275-9B - Traffic Study - because the proposed restaurant use, with its expected low volume of traffic, will not adversely impact traffic conditions along Lowell Rd., and as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan Review regulations.

Motion by: _____ Second: _____ Carried/Failed: _____

3) HTC 275-9(C) -- Noise Study

I move to grant the requested waiver: HTC 275-9C - Noise Study - because the proposed use is not expected to create noise beyond that which is allowed by Town Code, as such, the granting of this waiver is in keeping with the spirit and intent of the ordinances.

Motion by: _____ Second: _____ Carried/Failed: _____

4) HTC 275-9D – Fiscal and Environmental Impact Study

I move to grant the requested waiver: HTC 275-9D - Fiscal and Environmental Impact Study because in addition to the submitted plans and submitted application documents, which include best management practices for stormwater control and a CAP Fee, said study is unnecessary in order to evaluate the fiscal and environmental impact of this expansion project, and as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan Review regulations.

Motion by: _____ Second: _____ Carried/Failed: _____

5) HTC 275-8.B.(31)a. – Interior Landscaping

I move to grant the requested waiver – Section 275-8(31) – because landscaping along the perimeter of the site will be more effective to serve purposes of the ordinance enumerated in section 334-2; further within the proposed parking lot, interior landscape islands present a nuisance during winter maintenance, as such, the granting of this waiver will not violate the purposes or general standards of this chapter.

Motion by: _____ Second: _____ Carried/Failed: _____

MOTION TO APPROVE:

I move to grant approval for the Site Plan entitled: ““Non-Residential Site Plan Zheng Garden, Map 204 Lot 5, Lowell Rd., Hudson, NH, prepared by Keach-Nordstrom Associates, Inc., dated: 25 August, 2014, last revised 5 November 2014, consisting of Sheets 1 - 15 and Notes 1 – 32 on Sheet 1, in accordance with the following terms and conditions:

- 1) All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record (hereinafter referred to as the Plan).
- 2) Prior to the Planning Board endorsement of the Plan, the Development Agreement and any and all easement deeds shall be favorably reviewed and recommended on by Town Counsel.
- 3) All improvements shown on the Plan, including Notes 1-32, shall be completed in their entirety and at the expense of the Applicant or his assigns.
- 4) After the issuance of the foundation permit for the proposed building, and prior to the issuance of the framing permit thereof, the applicant shall submit to the Hudson Community Development Department a foundation "As- Built" plan on a transparency and to the same scale as the approved site plan. The foundation "As-Built" plan shall include all structural dimensions and lot line setback measurements to the foundation and be stamped by a licensed land surveyor. Any discrepancy between the approved site plan and foundation "As-Built" plans shall be documented by the applicant and be part of the foundation "As-Built" submission.
- 5) A CAP Fee of \$13,758.80 shall be submitted by the Applicant to the Town prior to the issuance of a Certificate of Occupancy for the expansion.
- 6) Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms with the Planning Board approved Plan.
- 7) Onsite landscaping and exterior lighting shall be provided for in accordance with the Sheets 8 & 9 of the Plan.
- 8) Exterior construction activities on the site shall be limited to between 7:00 A.M. and 7:00 P.M. Monday through Saturday. No construction activities shall occur on Sunday.
- 9) This approval shall be subject to final engineering review.
- 10) The applicant's engineer and/or contractor shall contact the Town of Hudson to schedule a preconstruction meeting, which will be held with Town staff prior to the start of construction.
- 11) Prior to Planning Board endorsement of the Plan, Note 27 shall be amended to cite “32” Notes, rather than the noted “33”.

Motion by: _____ Second: _____ Carried/Failed: _____

NOTE: all other pertinent Site Plan approval terms and conditions are included in the above-cited Site Plan-of-Record, Notes 1 – 32, including, but not limited to blasting, refuse removal, hrs. of operation, snow plowing/storage/offsite transport, setbacks, open space, waivers, etc.

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October 1, 2014

Project Narrative

Zheng Garden
Map 204; Lot 5
143 Lowell Road
Hudson, NH 03051

The subject parcel is located at 143 Lowell Road, and is referenced on Hudson's Tax Map 204 as Lot 5. The 0.668 acre parcel is in Hudson's Business (B) Zoning District. The site is currently developed with an existing two-story wood frame house. The site is accessed along Lowell Road.

The proposed project entails the construction of a 2,360 square foot restaurant. The existing house and shed will be razed and removed from the site. Additionally the site will include 22 parking spaces and two handicapped, van accessible parking spaces. The restaurant will tie into the town gas and water lines directly from Lowell road. It will connect via force main into the existing sewer system across Lowell Road on Tax Map 204, Lot 73. The site distance along Lowell Road is greater than 400 feet in both directions. Since the site is under 20,000 total square feet, a stormwater management report is not necessary. However, two proposed rain gardens with dry wells will store and treat surface water.

1
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A Cont.

**PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: October 2, 2014 Tax Map # 204 Lot # 5
Name of Project: Zheng Garden
Zoning District: _____ General SP# 13-14
(For Town Use) (For Town Use)
ZBA Action: N/A



<u>PROPERTY OWNER:</u>	<u>DEVELOPER:</u>
Name: <u>Yue Yun & Zhou Deng Zheng</u>	<u>Same as owner</u>
Address: <u>4 Paula Circle</u>	_____
Address: <u>Hudson, NH 03051</u>	_____
Telephone # _____	_____
Fax # _____	_____
Email: _____	_____

<u>PROJECT ENGINEER</u>	<u>SURVEYOR</u>
Name: <u>Patrick Colburn, PE (KNA)</u>	<u>Anthony Basso, L.L.S (KNA)</u>
Address: <u>10 Commerce Park No., Suite 3</u>	<u>10 Commerce Park No., Suite 3</u>
Address: <u>Bedford, NH 03110</u>	<u>Bedford, NH 03110</u>
Telephone # <u>(603) 627-2881</u>	<u>(603) 627-2881</u>
Fax # <u>(603) 627-2915</u>	<u>(603) 627-2915</u>
Email: <u>bcole@keachnordstrom.com</u>	<u>abasso@keachnordstrom.com</u>

PURPOSE OF PLAN:
To propose a 2,360 sf restaurant and associated site appurtenances on Map 204;
Lot 5 in the town of Hudson, NH.

For Town Use

Plan Routing Date: 10-15-14 Sub/Site Date: 11-10-14 @ 10:00 AM
CDD Mtg Room

I have no comments I have comments (attach to form)

(Initials) Title: _____ Date: _____

DEPT:
 Zoning Engineering Assessor Police Fire Planning
 Consultant Highway Department

Fees Paid: _____

October 1, 2014

Project Narrative

Zheng Garden
Map 204; Lot 5
143 Lowell Road
Hudson, NH 03051

The subject parcel is located at 143 Lowell Road, and is referenced on Hudson's Tax Map 204 as Lot 5. The 0.668 acre parcel is in Hudson's Business (B) Zoning District. The site is currently developed with an existing two-story wood frame house. The site is accessed along Lowell Road.

The proposed project entails the construction of a 2,360 square foot restaurant. The existing house and shed will be razed and removed from the site. Additionally the site will include 22 parking spaces and two handicapped, van accessible parking spaces. The restaurant will tie into the town gas and water lines directly from Lowell road. It will connect via force main into the existing sewer system across Lowell Road on Tax Map 204, Lot 73. The site distance along Lowell Road is greater than 400 feet in both directions. Since the site is under 20,000 total square feet, a stormwater management report is not necessary. However, two proposed rain gardens with dry wells will store and treat surface water.

SITE DATA SHEET

PLAN NAME: Zheng Garden

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 204 LOT 5

DATE: October 2, 2014

Location by Street: 143 Lowell Road

Zoning: Business (B)

Proposed Land Use: Restaurant

Existing Use: Residential

Surrounding Land Use(s): Commercial/Residential

Number of Lots Occupied: One

Existing Area Covered by Building: 2,079 sf (758 sf Wood Shed)

Existing Buildings to be removed: 2,079 sf (758 sf Wood Shed)

Proposed Area Covered by Building: 2,360 sf

Open Space Proposed: 53 %

Open Space Required: 35%

Total Area: S.F.: 29,093 Acres: 0.668

Area in Wetland: 0 Area Steep Slopes: 0

Required Lot Size: 30,000

Existing Frontage: 142.62 (Lowell)

Required Frontage: 150

Building Setbacks:	<u>Required*</u>	<u>Proposed</u>
Front:	<u>50</u>	<u>50</u>
Side:	<u>15</u>	<u>15</u>
Rear:	<u>15</u>	<u>15</u>

**SITE PLAN DATA SHEET
(Continued)**

Flood Zone Reference: FIRM Map 33011C0656D, Panel # 656, 09/25/09 (Not in a Flood Zone)

Width of Driveways: 24'

Number of Curb Cuts: 1 (Existing)

Proposed Parking Spaces: 24 (including 2 handicap spaces)

Required Parking Spaces: 24

Basis of Required Parking (Use): 1 Space/100 SF (Restaurant) - No Bar

Dates/Case #/Description/Stipulations of ZBA, Conservation Commission, NH Wetlands Board Actions: N/A
(Attach stipulations on separate sheet)

Hudson Town Code

<u>Waivers Requested:</u>	<u>Reference</u>	<u>Regulation Description</u>
	1. <u>HTC 275-8B-12C</u>	<u>Residential Buffer</u>
	2. <u>HTC 275-9C</u>	<u>Noise Study</u>
	3. <u>HTC 275-9D</u>	<u>Fiscal/Enviro. Impact Study</u>
	4. <u>HTC 275-9B</u>	<u>Traffic Study</u>
	5. <u>HTC 275-8B-31A</u>	<u>Interior Landscape</u>
	6. _____	_____
	7. _____	_____
	8. _____	_____

(Left column for Town Use)

Impact Fees:
C.A.P Fee: TBD

Development Agreement Proposed: _____

<i>For Town Use</i>	
Data Sheet Checked By: _____	Date: _____

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Thirty (30) days prior to Planning Board Meeting, a complete site plan to include all supporting materials/documents must be submitted in final form. The site plan shall comply with the following specifications/requirements:

Applicant Initials		Staff Initials
<u>BJC</u>	a) Submission of nine (9) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M., Tuesday the week prior to the scheduled public hearing/conceptual review date.	_____
<u>BJC</u>	b) A Site Plan narrative, describing the purpose, locations, long-range plans, impacts on traffic, schools, and utilities	_____
<u>BJC</u>	c) Plan scale at not less the one inch equals fifty feet (1" = 50')	_____
<u>BJC</u>	d) Locus plan with 1,000' minimum radius of site to surrounding area	_____
<u>BJC</u>	e) Plan date by day/month/year	_____
<u>BJC</u>	f) Revision block inscribed on the plan	_____
<u>BJC</u>	g) Planning Board approval block inscribed on the plan	_____
<u>BJC</u>	h) Title of project inscribed on the plan	_____
<u>BJC</u>	i) Names and addresses of property owners and their signatures inscribed on the plan	_____
<u>BJC</u>	j) North point inscribed on the plan	_____
<u>BJC</u>	k) Property lines: exact locations and dimensions	_____
<u>BJC</u>	l) Square feet and acreage of site	_____
<u>BJC</u>	m) Square feet of each building (existing and proposed)	_____
<u>BJC</u>	n) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan.	_____

Applicant Initials		Staff Initials
<u>BJC</u> o)	Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve areas, floodways/floodplains, driveways, travel areas, parking areas and natural features within 200 feet of the tract	_____
<u>BJC</u> p)	Locations of existing and proposed permanent monuments and bench marks within 200 feet of the development tract	_____
<u>BJC</u> q)	Pertinent highway projects	_____
<u>BJC</u> r)	Assessor's Map and Lot number(s)	_____
<u>BJC</u> s)	Waiver application form shall be submitted with the site plan application, note on plan listing waivers requested/granted; and all waivers granted to the site plan regulations shall be listed on the final plan; waivers to checklist shall be reduced to writing and be signed by the Planning Board Chairman and Planning Board Secretary and recorded with the plan	_____
<u>BJC</u> t)	Delineate zoning district on the plan	_____
<u>NA</u> u)	Storm water drainage plan	_____
<u>BJC</u> v)	Topographical elevations at 2-foot intervals contours: existing and proposed	_____
<u>BJC</u> w)	Utilities: existing and proposed	_____
<u>BJC</u> x)	Parking: existing and proposed	_____
<u>BJC</u> y)	Parking space: length and width	_____
<u>BJC</u> z)	Aisle width/maneuvering space	_____
<u>BJC</u> aa)	Landscaping: existing and proposed	_____
<u>BJC</u> ab)	Building and wetland setback lines	_____
<u>BJC</u> ac)	Curb cuts	_____
<u>BJC</u> ad)	Rights of way: existing and proposed	_____
<u>BJC</u> ae)	Sidewalks: existing and proposed	_____
<u>BJC</u> af)	Exterior lighting plan	_____
<u>BJC</u> ag)	Sign locations: size and design	_____
<u>BJC</u> ah)	Water mains and sewerage lines	_____
<u>BJC</u> ai)	Location of dumpsters on concrete pads	_____
<u>BJC</u> aj)	All notes from plats	_____

Applicant Initials		Staff Initials
<u>W</u> ak)	Buffer as required by site plan regulations	_____
<u>BJC</u> al)	Green and open space requirements met with both types of spaces inscribed on the plan	_____
<u>BJC</u> am)	Soil types and boundaries, Note: If site contains marginal or questionable soils, a High Intensity Soil, Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire Certified Soil Scientist, who shall affix his/her stamp and signature shall be inscribed on the plan.	_____
<u>N/A</u> an)	Wetlands (and poorly-drained and very poorly-drained soils, also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire certified wetland or soil scientist, who shall affix his/her stamp and signature to the respective plan.	_____
<u>BJC</u> ao)	“Valid for one year after approval” statement inscribed on the plan.	_____
<u>N/A</u> ap)	Loading bays/docks	_____
<u>BJC</u> aq)	State of New Hampshire engineer’s stamp, signature, surveyor’s stamp, and signature	_____
<u>BJC</u> ar)	Error of closure (1 in 10,000 or better)	_____
<u>BJC</u> as)	Drafting errors/omissions	_____
<u>BJC</u> at)	Developer names, addresses, telephone numbers and signatures	_____
<u>BJC</u> au)	Photographs, electronic/digital display or video of site and area	_____
<u>BJC</u> av)	Attach one (1) copy of the building elevations	_____
<u>W</u> aw)	Fiscal impact study	_____
<u>W</u> ax)	Traffic study	_____
<u>W</u> ay)	Noise study	_____

Applicant
Initials

Staff
Initials

N/A az) Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents _____

N/A ba) Copy of applicable Town, State, Federal approval/permits to include but not limited to the following: _____

- industrial discharge application
- sewer application
- flood plain permit
- wetlands special exception
- variance
- erosion control permit (149:8a)
- septic construction approval
- dredge and fill permit
- curb cut permit
- shore-land protection certification in accordance with RSA483-B
- if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.

BJC bb) Presentation plan (colored, with color-coded bar chart) _____

BJC bc) Fees paid to clerk _____

BJC bd) Five (5) 22" x 34" copies of the plan shall be brought to the Planning Board meeting and distributed to the Planning Board members at the meeting. Note: for all subsequent meetings involving revised plans, five 22" x 34" copies of said plan shall be brought to the meeting for distribution to the board members. _____

*Under the purview of the Planning Board, any and all items may be waived.

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Site Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Site Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: 

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: 

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

APPLICATION IS DUE AT NOON 21 days prior to the Planning Board Meeting. (The date the Agenda is CLOSED.) Any applications received after that time will be deferred until the next available meeting.

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: **Zheng Garden**

Street Address: **143 Lowell Road, Hudson, New Hampshire 03051**

I **Brenton Cole** hereby request that the Planning Board waive the requirements of item **HTC 275-8.B.(12)** of the Subdivision/Site Plan Checklist in reference to a plan presented by **Keach-Nordstrom Associates, Inc.** (name of surveyor and engineer) dated **August 28, 2014** for property Tax Map(s) **204** and Lot(s) **5** in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The subject parcel is located within the Town of Hudson's Business zone. This particular business district is abutted by residential uses which require a residential buffer. It is not feasible to construct a restaurant (permitted use within this zone) outside the residential buffer. The proposed project's intent remove this building and construct a restaurant. To propose the building outside of the buffer would create significant hardship to the restaurant as the size of the building would be ineffective.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

Granting the waiver will allow a permitted use and appropriate use of the land to build a reasonably sized building to suit the needs required. The proposed development will revitalize this parcel to create a more aesthetically pleasing site with an evergreen buffer along the property line and a new building. Therefore, granting the waiver is not contrary to the spirit and intent of the ordinance.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: **Zheng Garden**

Street Address: **143 Lowell Road, Hudson, New Hampshire 03051**

I **Brenton Cole** hereby request that the Planning Board waive the requirements of item **HTC 275-9.B.** of the Subdivision/Site Plan Checklist in reference to a plan presented by **Keach-Nordstrom Associates, Inc.** (name of surveyor and engineer) dated **August 28, 2014** for property Tax Map(s) **204** and Lot(s) **5** in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

A Traffic Study would cause unnecessary financial burden on the applicant. The use is not a peak hour generator and will not affect traffic on Lowell Road.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

The ordinance is in place to assess existing traffic conditions and what proposed developments would do to the current traffic. It is not expected that the proposed building, being the size of the development and not a peak hour generator, will bring any increase in peak hour traffic to Lowell Road, therefore granting of the waiver is in keeping with the spirit and intent of the ordinance.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: Zheng Garden

Street Address: 143 Lowell Road, Hudson, New Hampshire 03051

I Brenton Cole hereby request that the Planning Board waive the requirements of item HTC 275-9C of the Subdivision/Site Plan Checklist in reference to a plan presented by Keach-Nordstrom Associates, Inc. (name of surveyor and engineer) dated August 28, 2014 for property Tax Map(s) 204 and Lot(s) 5 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

A Noise Impact Study would cause unnecessary financial burden on the applicant.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

The ordinance is in place to prevent noise pollution from occurring within areas of mixed use where it may cause disputes amongst neighbors. It is not expected that the proposed restaurant will bring any increased noise pollution to the site or to the residential and commercial uses surrounding it, therefore granting of the waiver is in keeping with the spirit and intent of the ordinance.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: **Zheng Garden**

Street Address: **143 Lowell Road, Hudson, New Hampshire 03051**

I **Brenton Cole** hereby request that the Planning Board waive the requirements of item **HTC 275-9D** of the Subdivision/Site Plan Checklist in reference to a plan presented by **Keach-Nordstrom Associates, Inc.** (name of surveyor and engineer) dated **August 28, 2014** for property Tax Map(s) **204** and Lot(s) **5** in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

A Fiscal/Environmental Impact study beyond what we have provided through our Best Management Practices and the CAP fee required by the Town of Hudson would cause unnecessary financial burden on the applicant.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

This waiver request is not violating the spirit and intent of the ordinance due to the fact that the site is currently developed. Fiscally, the site is subject to a CAP fee to be determined.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: **Zheng Garden**

Street Address: **143 Lowell Road, Hudson, New Hampshire 03051**

I **Brenton Cole** hereby request that the Planning Board waive the requirements of item **HTC 275-8.B.(31) a.** of the Subdivision/Site Plan Checklist in reference to a plan presented by **Keach-Nordstrom Associates, Inc.** (name of surveyor and engineer) dated **August 28, 2014** for property Tax Map(s) **204** and Lot(s) **5** in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The proposed development consists of parking stalls situated across from the proposed building. Since the development consists of only single row parking stalls there is no good opportunity for internal green space, without incorporating peninsula islands that greatly interfere with snow removal operations.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

Ample landscaping is provided around the proposed parking lots and travel lanes. The landscape plan that was designed by a Licensed Landscape Architect consisting of 7 shade trees and 47 shrubs. Given that the proposed plan provides the required number of trees and shrubs, just surrounding the parking lot and travel lane rather than within the parking areas, granting the waiver is in keeping with the spirit and intent of the ordinance.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____

Photo No. 1: An aerial view of the subject parcel (Map 204; Lot 5)



Photo No. 2: The existing two-story wood frame house.



Civil Engineering

Land Surveying

Landscape Architecture

Photo No. 3: Looking east at the existing house and shed.



Photo No. 4: A view from the back of the existing house.



Photo No. 5: Sight distance looking north along Lowell Road toward a traffic cone, placed 400' away.



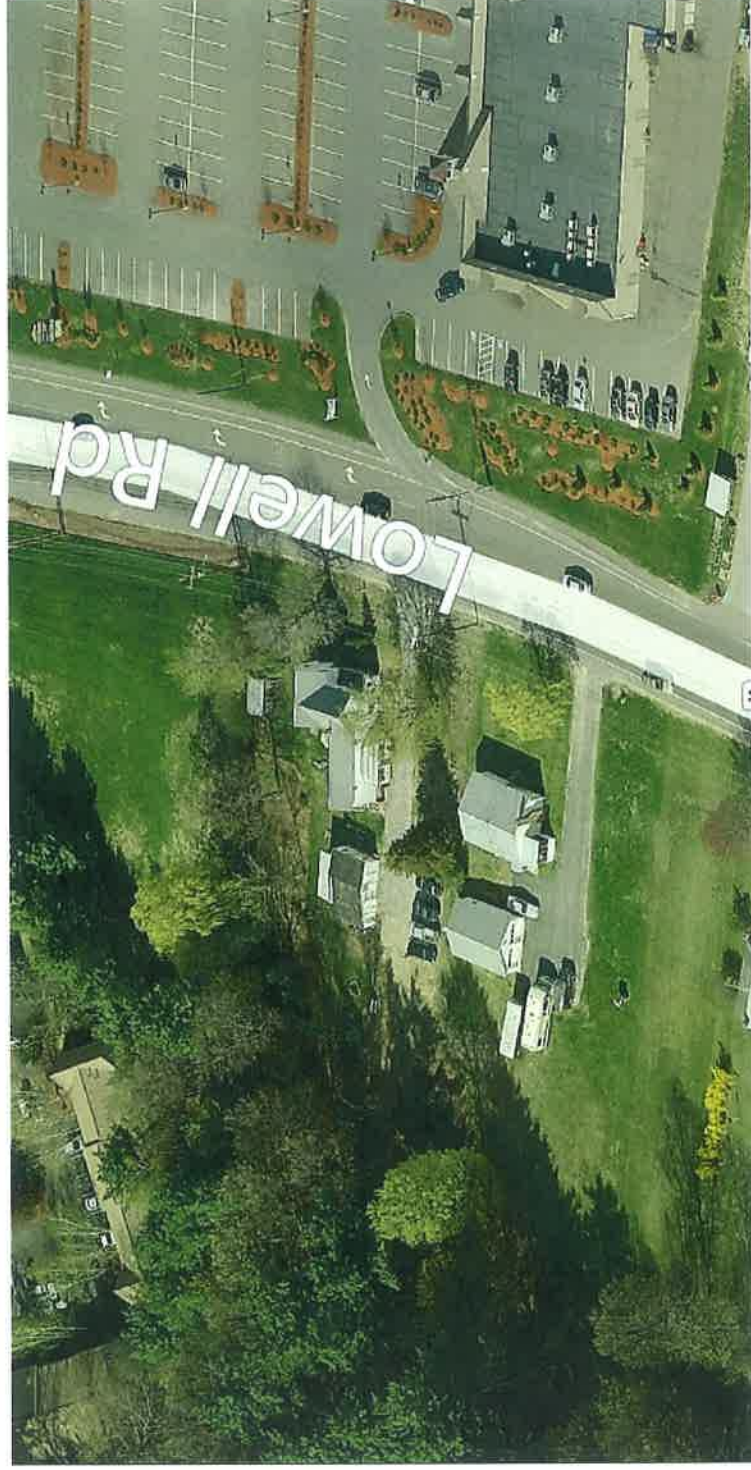
Location of target cone

Photo No. 4: Sight distance looking south along Lowell Road toward a traffic cone, placed 400' away.

Location of target cone



143 Lowell Road – HUDSON, NEW HAMPSHIRE





Owner Affidavit

I, Yue Yun Zheng, owner of the property referenced on Tax Map 204; Lot 4, located on Lowell Road in Hudson, New Hampshire, hereby verify that I authorize Keach-Nordstrom Associates, Inc. (KNA) to prepare, submit and represent, on my behalf, throughout the federal, state and municipal application process.

Signature of Landowner:

Printed Name of Landowner:

Yue Yun Zheng

Address of Owner:

4. Paula circle
Hudson NH 03051

Date:

10-14-14



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B
u

November 24, 2014

Mr. John Cashell, Town Planner
Town of Hudson
12 School Street
Hudson, NH 03051

Re: Town of Hudson Planning Board Review
Zheng Garden, 143 Lowell Road
Tax Map 240, Lot 5; Acct. #1350-369
CLD Reference No. 03-0249.1440

Dear Mr. Cashell:

CLD Consulting Engineers, Inc. (CLD) has reviewed the second submission of the materials received on November 17, 2014 related to the above-referenced project. A list of items reviewed is enclosed. The scope of our review is based on the Site Plan Review Codes, Stormwater Codes, Driveway Review Codes, Sewer Use Ordinance 77, and criteria outlined in the CLD Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007, and September 3, 2008.

The project consists of razing an existing house and sheds and constructing a 2,360-square-foot restaurant, parking lot, and associated landscaping and site improvements. The site will be serviced by modifying the existing municipal water and connecting to public sewer by directional drilling across Lowell Road.

The following items have outstanding issues:

3. Utility Design/Conflicts (HR 275-9.E.)

- a. *Former CLD Comment: HR 275-9.E. The applicant is proposing connection to existing public sewer by directional drilling of a force main across Lowell Road. The proposed depth of the force main provides less than six feet of cover which conflicts with details in the plan set, and could also potentially conflict with existing water and gas mains. For sewer and force main construction within the site, the applicant has proposed elevations that conflict with minimum cover amounts shown in construction details. Also, the applicant should note that all components of the existing septic system shall be removed/remediated according to all state and local requirements.*

Current CLD Comment: The applicant has revised the plans and added a detail that shows a depth of six feet. The applicant has noted that final profiles of existing utilities and proposed force main will be submitted to the Hudson Engineering Department prior to construction and have noted on the plans that components of the septic system are to be removed with removal of septic system to be "handled properly." We suggest that the note be expanded to include intended compliance with local, state and federal guidelines and rules.



Mr. John Cashell
 CLD Reference No. 03-0249.1440
 November 24, 2014
 Page - 2

- c. *Former CLD Comment: The applicant should provide details of proposed lift station to be designed by others for Town review.*

Current CLD Comment: The applicant has noted that the proposed lift station details will be provided to the Town of Hudson Engineering Department prior to the start of construction.

- e. *Former CLD Comment: The applicant has proposed a directional drill receiving pit and the permanent sewer connection on the private site to the east of Lowell Road, but has not shown any temporary or permanent easements.*

Current CLD Comment: The applicant has noted that the easement documents and plans are being developed with the owner of Map 204, Lot 73 and that documents will be submitted to the Town prior to the signing of final mylars.

4. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- b. *Former CLD Comment: We note that Section 290-3 of the Stormwater Management Regulations states that a Site Specific Construction Stormwater Management and Erosion Control Plan is required based on the five (5) conditions listed (cumulative disturbed area greater than 20,000 sf, etc.). This is intended in reference to a Best Management Practices (BMP) or Stormwater Pollution Prevention Plan (SWPPP) type plan, and not Stormwater Calculations or Stormwater Report as required in section 290-4 as well as 275-9.A. of the Hudson Regulations. At a minimum, the applicant should provide pertinent data and material illustrating the proposed drainage design meets Town Regulations including, but not limited to:*

- o *Illustrations of zero increase in runoff for both peak and volume from pre- to post-conditions.*
- o *Rain Garden Data: infiltration rate and any supporting calculations, separation of ledge and Estimated Seasonal High Water Table (ESHWT) to bottom of infiltration practice, test pit data, Operation and Maintenance to ensure a fully functional lifespan of this practice; or*
- o *Request a waiver for all Regulation requirements pertaining to a Stormwater Management Report.*

Current CLD Comment: The applicant has provided a Stormwater Management Report. The applicant should provide additional design information for the "Proposed Rain Garden with Nyloplast Basin." The Grading and Drainage Plan illustrates a 188.0 rim elevation, and references the Detail Sheet; while the details on Sheet 12 do not illustrate a depth of basin, where all other dimensions are listed.

- c. **New CLD Comment:** Stormwater Management Regulation (SMR) 290-5.A.(8) The Stormwater Management calculations, provided by the applicant, do not account for frozen ground conditions.



Mr. John Cashell
 CLD Reference No. 03-0249.1440
 November 24, 2014
 Page - 3

The following items require Town input:

1. Site Plan Review Codes

- c. *Former CLD Comment: HR 275-8.B. (30) The applicant has not provided an off-street loading area but has noted on the plans that no designated loading space has been provided. Deliveries will occur in the morning prior to the restaurant opening. The applicant should confirm what types of trucks will be making deliveries on-site as we note a WB-50 will have a difficult time maneuvering the site. The Town should determine whether it would be appropriate to post Lowell Road as "No Parking."*

Current CLD Comment: The applicant has noted that SU box trucks will be used to make deliveries and that there is adequate area for the truck to maneuver the site. We suggest the Town still review the need to post Lowell Road as "No Parking."

- f. *HR 275-9.C. The applicant has noted on the plan set that a waiver from the Noise Study requirement is requested.*
- g. *HR 275-9.D. The applicant has noted on the plan set that a waiver from the Fiscal and Environmental Impact Study requirement is requested.*
- i. **Former/Current CLD Comment:** HR 275-9.F. Copies of any deeds or easements were not received for review as part of the package.

2. Driveway Review Codes (HR 275-8.B. (34)/Chapter 193)

- d. *HR 275-9.B. The applicant has noted in the plan set that a waiver from the Traffic Study requirement is requested. Since the proposed restaurant use should not be a major peak hour traffic generator compared to other nearby retail uses, such as Nottingham Square, this is a reasonable request.*

6. Landscaping (HR 275-8B (31))

- a. *HR 275-8.B.(31)(a) The applicant has requested a waiver from the requirement for landscaping a minimum of 10% of the interior area of the parking lot.*

The following items have been resolved or have no further CLD input:

1. Site Plan Review Codes

- a. *Former CLD Comment: HR 275-8.B. (17) The applicant has shown two temporary benchmarks on the plan set, but has not referenced the survey to a specific United States Geological Survey (USGS) benchmark. The applicant has noted a horizon datum of NAD 83 and vertical datum NGVD 29.*

Current CLD Comment: The applicant has noted that data was obtained from NHDOT Disk – 229-0320 set in ledge in Wason Road. No further CLD Comment.



Mr. John Cashell
 CLD Reference No. 03-0249.1440
 November 24, 2014
 Page - 4

- b. *Former CLD Comment: HR 275-8.B. (20) The applicant has not given the size of the existing shed to the north and has only provided the existing and proposed story size for the buildings and has not provided the exact height.*

Current CLD Comment: The applicant has provided the existing shed area and has noted only the story heights were provided as the three existing structures are to be removed.

2. Driveway Review Codes (HR 275-8.B. (34)/Chapter 193)

- a. *Former CLD Comment: HR 93-10.B. The applicant has proposed runoff from the site to drain out the driveway onto Lowell Road.*

Current CLD Comment: The applicant has noted that the entire site drains towards Lowell Road now, but never into the Road, and that the proposed drainage is intended to be conveyed similarly and should be reduced because of proposed Stormwater collection and treatment systems.

- b. *Former CLD Comment: HR 193-10.C. The applicant has only proposed a 10-foot driveway stopping platform with a slope of 2%. The remainder of the stopping platform has a 5% slope. We suggest the platform be provided for a minimum of 20 feet.*

Current CLD Comment: The applicant has revised the plans to provide a 20-foot stopping platform at 3%. No further CLD comment.

- c. *HR 193-10.E. The applicant has noted 400-foot safe all-season sight distances along Lowell Road for the existing site driveway.*

3. Utility Design/Conflicts (HR 275-9.E.)

- b. *HR 334-27. The minimum lot area requirement with Town water and sewer is 30,000 square feet for the Business (B) zoning district. The applicant's lot size is 29,062 square feet.*

- d. *Former CLD Comment: The applicant should provide a detail for the sewer cleanout with cast iron cover.*

Current CLD Comment: The applicant has provided a sewer cleanout detail on the plans. No further CLD comment.

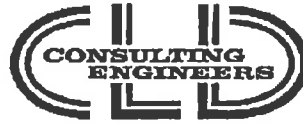
4. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- a. *Former CLD Comment: HR 275-9.A. A Stormwater Management Report was not provided as part of this review. The applicant has not requested a waiver from this requirement on the plan set.*

Current CLD Comment: The applicant provided a Stormwater Management Report.

5. Erosion Control/Wetland Impacts

- *No CLD comment at this time.*



Mr. John Cashell
CLD Reference No. 03-0249.1440
November 24, 2014
Page - 5

6. Landscaping (HR 275-8B (31))

- b. *Former CLD Comment: The applicant should clarify the intent of the clearing limits on the northwest side of the site. The proposal appears to be planting trees beyond the clearing limits depicted on the plan.*

Current CLD Comment: The applicant has revised the clearing limits and has shown the proposed trees in front of the clearing limits. No further CLD comment.

7. State and Local Permits (HR 275-9.G.)

- a. *Former CLD Comment: The applicant should review the need for a Change of Use Permit related to the existing septic system.*

Current CLD Comment: The applicant has noted that the existing septic system is to be removed and proposed sewer is to service the proposed use. No further CLD comment.

- b. *Additional local permitting may be required.*

8. Other

- a. *Former CLD Comment: HR 275-8.B. (35) The applicant has not shown any detectable warning devices to be installed in the proposed sidewalk.*

Current CLD Comment: The applicant has added a detectable warning device to the plans and has provided a detail. No further CLD comment.

- b. *Former CLD Comment: The applicant should clarify on the plan where the bollard(s) detail is intended to be used. The applicant may want to consider a bollard near the proposed cooler to minimize the chance of a vehicle accidentally backing into this corner of the building.*

Current CLD Comment: The applicant has noted on the plans the intended locations for the proposed bollards. We note no bollard has been proposed near the proposed cooler to minimize the chance of a vehicle accidentally backing into this corner of the building.

- c. *Former CLD Comment: The applicant should review the location of the lights being installed to the south of the proposed parking area as the lights are proposed to be only 2 feet off the edge of the pavement. A truck with a large overhang may easily damage these lights in their proposed location with no curbing or other protective measures.*

Current CLD Comment: The applicant has revised the lighting location to better protect the light foundations. No further CLD comment.



Mr. John Cashell
CLD Reference No. 03-0249.1440
November 24, 2014
Page - 6

Please feel free to call if you have any questions.

Very truly yours,

A handwritten signature in cursive script that reads 'Heidi Marshall'.

Heidi J. Marshall, P.E.

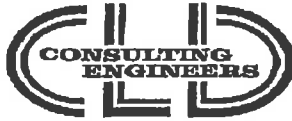
A handwritten signature in cursive script that reads 'Paul Konieczka'.

Paul Konieczka, AICP

HJM/PK:jt

Enclosure

cc: Town of Hudson Engineering Division – File
Keach-Nordstrom Associates, Inc.
10 Commerce Park North, Suite 3B
Bedford, NH 03110
Fax (603) 627-2915



540 Commercial Street Manchester, NH 03101
 (603) 668-8223 • Fax: (603) 668-8802
 cld@cldeengineers.com • www.cldengineers.com
 New Hampshire • Vermont • Maine

TO: File

FROM: Kelsey M. Gagnon *KMG*

DATE: November 24, 2014

RE: Town of Hudson Planning Board Review
 Zheng Garden, 143 Lowell Road
 Tax Map 240, Lot 5; Acct. #1350-369
 CLD Reference No. 03-0249.1440

The following list itemizes the second set of documents reviewed related to the current Zheng Garden, 143 Lowell Road review comments.

- Letter of Transmittal from the Keach-Nordstrom Associates, Inc. to CLD, dated and received November 17, 2014, including the following:
 1. Copy of *Zheng Garden* Response Letter from Keach-Nordstrom Associates, Inc. to the Town of Hudson, dated November 17, 2014.
 2. Copy of *Inspection and Maintenance Reporting Form for Zheng Garden*, not dated.
 3. Copy of *Stormwater Management Report, Zheng Garden*, prepared by Keach-Nordstrom Associates, Inc., dated November 5, 2014, unless otherwise noted, including the following:
 - a. *Pre-development Drainage Area Plan*, Sheet 1 of 2.
 - b. *Post-development Drainage Area Plan*, Sheet 2 of 2.
 4. Copy of *Non-Residential Site Plan, Zheng Garden, Map 204, Lot 5, Lowell Road, Hudson, New Hampshire* Plan Set, prepared by Keach-Nordstrom Associates, Inc., dated August 25, 2014, revised November 5, 2014, including the following:
 - a. Cover Plan.
 - b. *Master Plan*, Sheet 2 of 15.
 - c. *Existing Conditions Plan*, Sheet 2 of 15.
 - d. *Removals/Demolition Plan*, Sheet 3 of 15.
 - e. *Non-Residential Site Layout Plan*, Sheet 4 of 15.
 - f. *Grading and Drainage Plan*, Sheet 5 of 15.
 - g. *Erosion Control Plan*, Sheet 6 of 15.
 - h. *Utility Plan*, Sheet 7 of 15.
 - i. *Landscape Plan*, Sheet 8 of 15.
 - j. *Lighting Plan*, Sheet 9 of 15, prepared by Charron Incorporated.
 - k. *Construction Details*, Sheets 10 through 15 of 15.

KMG:jt

cc: John Cashell -- Town of Hudson Planner
 Town of Hudson Engineering Division -- File

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

**Zheng Garden, 143 Lowell Road
Town of Hudson
CLD Reference No. 03-0249.1440
Reviewed October 28, 2014**

Thirty (30) days prior to Planning Board Meeting, a complete site plan to include all supporting materials/documents must be submitted in final form. The site plan shall comply with the following specifications/requirements.

Applicant
Initials

Staff
Initials

- _____ a) Submission of nine (9) full sets of Site Plans (sheet size: 22" x 34") at the time of application filing, followed by the submission of seventeen (17) 11" x 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 AM Tuesday the week prior to the scheduled public hearing/conceptual review date.
- _____ b) A Site Plan narrative, describing the purpose, locations, long range plans, impacts on traffic, schools and utilities.
- _____ c) Plan scale at not less the one inch equals fifty feet (1" = 50')
- _____ d) Locus plan with 1,000' minimum radius of site to surrounding area
- _____ e) Plan date by day/month/year
- _____ f) Revision block inscribed on the plan
- _____ g) Planning Board approval block inscribed on the plan
- _____ h) Title of project inscribed on the plan
- _____ i) Names and addresses of property owners and their signatures inscribed on the plan
- _____ j) North point inscribed on the plan
- _____ k) Property lines: exact locations and dimensions
- _____ l) Square feet and acreage of site
- _____ m) Square feet of each building (existing & proposed)
- _____ n) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan





CLD/SWR

CLD/SWR



CLD/SWR



CLD/SWR

CLD/SWR

CLD/SWR





- a) One set received by CLD.
- b) Discussion regarding impacts to traffic, schools, and utilities not included in narrative. Waivers requested for these items.
- c) Month/Day/Year
- d) Language varies from the Regulation.
- e) Only story heights provided for existing and proposed structures. No size/dimensions provided for existing shed to the north.
- f) Abutters' names and addresses are shown on plan; unable to verify 5-day update criteria.

Applicant
Initials

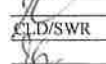
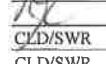
- _____ o) Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve areas, floodways/floodplains, driveways, travel areas, parking areas and natural features within 200 feet of the tract
- _____ p) Locations of existing and proposed permanent monuments and benchmarks within 200 feet of the development tract
- _____ q) Pertinent highway projects
- _____ r) Assessor's Map and Lot number(s)
- _____ s) Waiver application form shall be submitted with the site plan application, note on plan listing waivers requested/ granted; and all waivers granted to the site plan regulations shall be listed on the final plan; waivers to checklist shall be reduced to writing and be signed by the Planning Board Chairman and Planning Board Secretary and recorded with the plan.
- _____ t) Delineate zoning district on the plan
- _____ u) Stormwater drainage plan
- _____ v) Topographical elevations at 2-foot intervals contours: existing and proposed
- _____ w) Utilities: existing and proposed
- _____ x) Parking: existing and proposed
- _____ y) Parking space: length and width
- _____ z) Aisle width/maneuvering space
- _____ aa) Landscaping: existing and proposed
- _____ ab) Building and wetland setback lines
- _____ ac) Curb cuts
- _____ ad) Right of way: existing and proposed
- _____ ae) Sidewalks: existing and proposed
- _____ af) Exterior lighting plan
- _____ ag) Sign locations: size and design
- _____ ah) Water mains and sewerage lines
- _____ ai) Location of dumpsters on concrete pads
- _____ aj) All notes from plats

Staff
Initials

CLD/SWR


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CLD/SWR

- p) Two temporary benchmarks have been shown on the plans (NGVD 29). We are unable to verify that all locations of existing monuments within 200 feet of the development tract are shown.
- q) No highway projects noted.
- t) Noted but not delineated on the plans.
- u) Stormwater Management Report not provided.
- w) Existing sewer/teach field not shown. Dry well and PVC pipe identified as possible septic system.
- z) Large trucks cannot maneuver the site.
- aa) Waiver requested for 10% landscaping within parking area, proposed trees behind limit of clearing.
- ac) No sidewalk proposed along frontage of site.
- ag) Detail not provided for pylon sign.
- ah) Sewer and Force Main details (6' cover under pavement) conflicts with plan invert elevations.

Applicant
Initials

- _____ ak) Buffer as required by site plan regulations
- _____ al) Green and open space requirements met with percentages of both types of spaces inscribed on the plan
- _____ am) Soil types and boundaries, Note: if site contains marginal or questionable soils, a High Intensity Soil Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire certified Soil Scientist, who shall affix his/her stamp and signature shall be inscribed on the plan.
- _____ an) Wetlands (and poorly-drained and very poorly-drained soils), also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire certified Wetland or Soil Scientist, who shall affix his/her stamp and signature to the respective plan.
- _____ ao) "Valid for one year after approval" statement inscribed on the plan
- _____ ap) Loading bays/docks
- _____ aq) State of New Hampshire engineer's stamp, signature, surveyor's stamp, and signature
- _____ ar) Error of closure (1 in 10,000 or better)
- _____ as) Drafting errors/omissions
- _____ at) Developer names, addresses, telephone numbers and signatures
- _____ au) Photographs, electronic/digital display or video of site and area
- _____ av) Attach one (1) copy of the building elevations
- _____ aw) Fiscal impact study
- _____ ax) Traffic study
- _____ ay) Noise study

Staff
Initials

- _____ 
- _____ CLD/SWR
- _____ 
- _____ 
- _____ CLD/SWR
- _____ 
- _____ CLD/SWR
- _____ 
- _____ CLD/SWR
- _____ 
- _____ 

- ak) Waiver requested for residential buffer.
- am) Regulation was repealed in 2010.
- an) No wetlands were shown onsite.
- ap) No loading area shown, applicant noted deliveries will occur during the morning hours.
- aq) Construction Detail sheets were not stamped.
- as) Unable to find statement.
- at) Phone number not provided.
- av) None received for review.
- aw) Not received, applicant noted waiver requested.
- ax) Not received, applicant noted waiver requested.
- ay) Not received, applicant noted waiver requested.

Applicant
Initials

Staff
Initials

- _____ az) Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents
- _____ ba) Copy of applicable Town, State, Federal approval/permits to include but not limited to the following:
 - industrial discharge application
 - sewer application
 - flood plain permit
 - wetlands special exception
 - variance
 - erosion control permit (149:8a)
 - septic construction approval
 - dredge and fill permit
 - curb cut permit
 - shoreland protection certification in accordance with RSA483-B
 - if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.
- _____ bb) Presentation plan (colored, with color coded bar chart)
- _____ bc) Fees paid to clerk
- _____ bd) Five (5) 22" x 34" copies of the plan shall be brought to the Planning Board meeting and distributed to the Planning Board members at the meeting. Note: for all subsequent meetings involving revised plans, five 22" x 34" copies of said plan shall be brought to the meeting for distribution to the board members.

PENDING

az) No deeds or easement documents received for review.

PENDING

ba) No permits received in package for review.

JK
JK

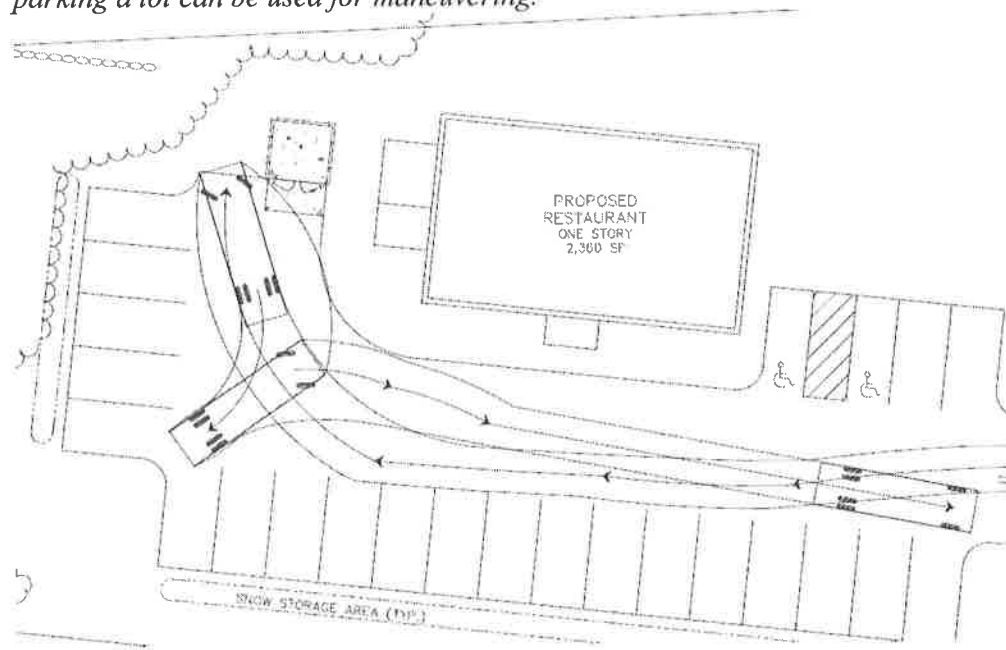
bb) No presentation plan received, requires a Town action.

bc) Requires Town action.

bd) Requires Town action.

• Under the purview of the Planning Board any and all items may be waived.

parking area. Since the deliveries will occur outside of business hours, the entire parking lot can be used for maneuvering.



- d. HR 275-9.A. See comments below.

No response required.

- e. HR 275-9.B. See comments below.

No response required.

- f. HR 275-9.C. The applicant has noted on the plan set that a waiver from the Noise Study requirement is requested.

No response required.

- g. HR 275-9.D. The applicant has noted on the plan set that a waiver from the Fiscal and Environmental Impact Study requirement is requested.

No response required.

- h. HR 275-9.E. See comments below.

No response required.

- i. HR 275-9.F. Copies of any deeds or easements were not received for review as part of the package.

No response required.

- j. HR 275-9.G. see comments below.

No response required.

2. Driveway Review Codes (HR 275-8.B.(34)/Chapter 193)

- a. HR 193-10.B. The applicant has proposed runoff from the site to drain out the driveway onto Lowell Road.

As constructed today, the entire site drain's toward Lowell Road but never onto Lowell Road. The runoff is collected in an undefined ditch along the shoulder and moves north and south outside of the paved area of Lowell Road. The proposed drainage will be conveyed similarly but will be reduced due to proposed stormwater collection and treatment systems.

- b. HR 193-10.C. The applicant has only proposed a 10-foot driveway stopping platform with a slope of 2%. The remainder of the stopping platform has a 5% slope. We suggest the platform be provided for a minimum of 20 feet.

A 20 foot driveway stopping platform was been added to the revised plans.

- c. HR 193-10.E. The applicant has noted 400 foot safe all-season sight distances along Lowell Road for the existing site driveway.

No response required.

- d. HR 275-9.B. The applicant has noted in the plan set that a waiver from the Traffic Study requirement is requested. Since the proposed restaurant use should not be a major peak hour traffic generator compared to other nearby retail uses, such as Nottingham Square, this a reasonable request.

No response required.

3. Utility Design/Conflicts (HR 275-9.E.)

- a. HR 275-9.E. The applicant is proposing connection to existing public sewer by directional drilling of a force main across Lowell Road. The proposed depth of the force main provides less than six feet of cover which conflicts with details in the plan set, and could also potentially conflict with existing water and gas mains. For sewer and force main construction within the site, the applicant has proposed elevations that conflict with minimum cover amounts shown in construction details. Also, the applicant should note that all components of the existing septic system shall be removed/remediated according to all state and local requirements.

The details and plans have been revised to show a depth of 6 feet within the site. The proposed force main within Lowell Road will require extensive research. Profiles of the existing utilities and depth of the proposed force main will be submitted to the Hudson Engineering Department prior to the start of construction. Note #6 has been added to sheet 7 regarding the existing septic system.

- b. HR 334-27. The minimum lot area requirement with Town water and sewer is 30,000-square feet for the Business (B) zoning district. The applicant's lot size is 29,062 square feet.

This is an existing lot of record. No response required.

- c. The applicant should provide details of proposed lift station to be designed by others for Town review.

Design of the proposed lift station will be provided to the Hudson Engineering Department prior to the start of construction.

- d. The applicant should provide a detail for the sewer cleanout with cast iron cover.

A sewer cleanout detail has been added to sheet 13.

- e. The applicant has proposed a directional drill receiving pit and the permanent sewer connection on the private site to the east of Lowell Road, but has not shown any temporary or permanent easements.

The easement documents and plans are being worked out with the owner of Map 204, Lot 73. The documents will be submitted to the Town prior to the signing of final mylars.

4. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- a. HR 275-9.A. A Stormwater Water Management Report was not provided as part of this review. The applicant has not requested a waiver from this requirement on the plan set.

It was our understanding that a stormwater report was not necessary since the proposed construction was limited to less than 20,000 square feet of disturbance. A stormwater report is enclosed with the revised documents of this submittal. We apologize for the confusion.

- b. We note that Section 290-3 of the Stormwater Management Regulations states that a Site Specific Construction Stormwater Management and Erosion Control Plan is required based on the five (5) conditions listed (cumulative disturbed area greater than 20,000 sf, etc.). This is intended in reference to a Best Management Practices (BMP) or Stormwater Pollution Prevention Plan (SWPPP) type plan, and not Stormwater Calculations or Stormwater Report as required in section 290-4 as well as

Civil Engineering

Land Surveying

Landscape Architecture

275-9.A. of the Hudson Regulations. At a minimum, the applicant should provide pertinent data and material illustrating the proposed drainage design meets Town Regulations including, but not limited to:

- Illustrations of zero increase in runoff for both peak and volume from pre to post conditions.
- Rain Garden Data: infiltration rate and any supporting calculations, separation of ledge and Estimate Seasonal High Water Table (ESHWT) to bottom of infiltration practice, test pit data, Operation and Maintenance to ensure a fully functional lifespan of this practice.

Or request a waiver for all Regulation requirements pertaining to a Stormwater Management Report.

A stormwater management report has been included with the revised submittal. A table has been provided within this report showing zero increase in runoff. Infiltration rate supporting calculations, test pit data and Operation & Maintenance documents have been included.

5. Erosion Control/Wetland Impacts

- No CLD comment at this time.

No response required.

6. Landscaping (HR 275-8B (31))

- a. HR 275-8.B.(31)(a) The applicant has requested a waiver from the requirement for landscaping a minimum of 10% of the interior area of the parking lot.

No response required.

- b. The applicant should clarify the intent of the clearing limits on the northwest side of the site. The proposal appears to be planting trees beyond the clearing limits depicted on the plan.

The clearing limits have been revised to accommodate the additional trees. The intent of these trees is to thicken the buffer along this property line.

7. State and Local Permits (HR 275-9.G.)

- a. The applicant should review the need for a Change of Use Permit related to the existing septic system.

Public sewer will serve the proposed use. The existing septic system will be removed.

- b. Additional local permitting may be required.

No response required.

Civil Engineering

Land Surveying

Landscape Architecture

8. Other

- a. HR 275-8.B. (35) The applicant has not shown any detectable warning devices to be installed in the proposed sidewalk.

A Detectable warning has been incorporated into the plan as requested.

- b. The applicant should clarify on the plan where the bollard(s) detail is intended to be used. The applicant may want to consider a bollard near the proposed cooler to minimize the chance of a vehicle accidentally backing into this corner of the building.

Revised as requested.

- c. The applicant should review the location of the lights being installed to the south of the proposed parking area as the lights are proposed to be only 2 feet off the edge of the pavement. A truck with a large overhang may easily damage these lights in their proposed location with no curbing or other protective measures.

Proposed lighting has been moved a safe distance off the edge of pavement in the parking.

We trust the content of this response to CLD comments and its attachments will serve to address their concerns as noted. Should you or they have any questions or require further information, please do not hesitate to contact our office.

Respectfully,

Brenton Cole
Project Engineer

u
D

**PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: October 2, 2014 Tax Map # 204 Lot # 5

Name of Project: Zheng Garden

Zoning District: _____ General SP# 13-14
(For Town Use) (For Town Use)

ZBA Action: N/A

PROPERTY OWNER:
Name: Yue Yun & Zhou Deng Zheng
Address: 4 Paula Circle
Address: Hudson, NH 03051
Telephone # _____
Fax # _____
Email: _____

DEVELOPER:
Name: Same as owner
Address: _____
Address: _____
Telephone # _____
Fax # _____
Email: _____



PROJECT ENGINEER
Name: Patrick Colburn, PE (KNA)
Address: 10 Commerce Park No., Suite 3
Address: Bedford, NH 03110
Telephone # (603) 627-2881
Fax # (603) 627-2915
Email: bcole@keachnordstrom.com

SURVEYOR
Name: Anthony Basso, L.L.S (KNA)
Address: 10 Commerce Park No., Suite 3
Address: Bedford, NH 03110
Telephone # (603) 627-2881
Fax # (603) 627-2915
Email: abasso@keachnordstrom.com

PURPOSE OF PLAN:

To propose a 2,360 sf restaurant and associated site appurtenances on Map 204; Lot 5 in the town of Hudson, NH.

For Town Use

Plan Routing Date: 10-15-14

Sub/Site Date: 11-10-14 @ 10:00 AM
CDD Mtg Room

_____ I have no comments _____ I have comments (attach to form)

_____ Title: _____ Date: _____
(Initials)

DEPT. 10-15-14
KWD Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning
_____ Consultant _____ Highway Department

Fees Paid: _____

**PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE**

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(For Town Use) (For Town Use)

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DEVELOPER:
Name: Same as owner
Address: _____
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CDD Mtg Room

I have no comments I have comments (attach to form)

EZD Title: Town Engineer Date: 10/21/14
(Initials)

DEPT:
 Zoning Engineering Assessor Police Fire Planning
 Consultant Highway Department

Fees Paid: _____



TOWN OF HUDSON

Engineering Department



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

October 21, 2014

143 Lowell Road

RE: 143 Lowell Road Development – Restaurant Building

John

Below are my comments for the project listed above:

1. Provide temporary construction easement for the installation of the 2” forcemain on 46 Lowell Road.
2. Provide the limits of pavement saw cut on Lowell Road.
3. Revised “Typical Rain Garden Section” to show the vertical perforated pipe.
4. Revise plans to indicate a 6” drop inlet at the existing SMH.
5. Provide calculation to show the velocity of the sewage out of the 2” forcemain to be connected to the existing SMH.

Sincerely,

Elvis Dhima, P.E.
Town Engineer

cc: Fire Chief Robert Buxton,
Gary Webster, Civil Engineer,
Kevin Burns, Road Agent
John Cashell, Town Planner

**PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: October 2, 2014 Tax Map # 204 Lot # 5

Name of Project: Zheng Garden

Zoning District: _____ General SP# 13-14
(For Town Use) (For Town Use)

ZBA Action: N/A

PROPERTY OWNER:
Name: Yue Yun & Zhou Deng Zheng
Address: 4 Paula Circle
Address: Hudson, NH 03051
Telephone # _____
Fax # _____
Email: _____

DEVELOPER:
Name: Same as owner
Address: _____
Address: _____
Telephone # _____
Fax # _____
Email: _____



PROJECT ENGINEER
Name: Patrick Colburn, PE (KNA)
Address: 10 Commerce Park No., Suite 3
Address: Bedford, NH 03110
Telephone # (603) 627-2881
Fax # (603) 627-2915
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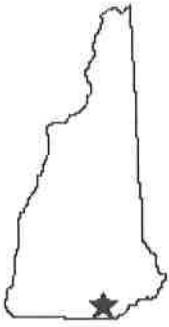
Plan Routing Date: 10-15-14 Sub/Site Date: 11-10-14 @ 10:00 AM
CDD Mtg Room

I have no comments I have comments (attach to form)

Job Title: Deputy Fire Chief Date: 10/23/14
(Initials)

DEPT:
 Zoning Engineering Assessor Police Fire Planning
 Consultant Highway Department

Fees Paid: _____



TOWN OF HUDSON

FIRE DEPARTMENT

39 FERRY STREET, HUDSON, NEW HAMPSHIRE 03051



Emergency 911
Business 603-886-6021
Fax 603-594-1164

Robert M. Buxton
Chief of Department

TO: John M. Cashell
Town Planner

FR: John J. O'Brien *J.O.B.*
Deputy Fire Chief

DT: Oct 23, 2014

RE: Site Plan for Zheng Garden Lowell Rd Map 204 Lot 5

A site plan review was conducted for the above proposed development. Fire Dept comments are listed below.

Addressing and numbering

This must be assigned and approved by the Hudson Fire Dept prior to the issuance of a certificate of occupancy.

Fire Alarm Monitoring

Hudson Town Code 210-9(C)

All required fire protective systems shall connect to the municipal system through a master box. The Hudson Fire Dept must approve location of installation as well as assignment of box number.

If I can be of any further assistance please call at 886-6021 or e mail jobrien@hudsonnh.gov

John J. O'Brien
John J. O'Brien
Deputy Fire Chief

**PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE**

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(For Town Use) (For Town Use)

ZBA Action: N/A

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Address: Hudson, NH 03051
Telephone # _____
Fax # _____
Email: _____

DEVELOPER:
Name: Same as owner
Address: _____
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PROJECT ENGINEER
Name: Patrick Colburn, PE (KNA)
Address: 10 Commerce Park No., Suite 3
Address: Bedford, NH 03110
Telephone # (603) 627-2881
Fax # (603) 627-2915
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Address: 10 Commerce Park No., Suite 3
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For Town Use

Plan Routing Date: 10-15-14 Sub/Site Date: 11-10-14 @ 10:00 AM
CDD Mtg Room

I have no comments I have comments (attach to form)

RB Title: ROAD ALIGN Date: 10/16/14
(Initials)

DEPT:
 Zoning Engineering Assessor Police Fire Planning
 Consultant Highway Department

Fees Paid: _____

**PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: October 2, 2014 Tax Map # 204 Lot # 5

Name of Project: Zheng Garden

Zoning District: _____ General SP# 13-14
(For Town Use) (For Town Use)

ZBA Action: N/A

PROPERTY OWNER:
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Address: Hudson, NH 03051
Telephone # _____
Fax # _____
Email: _____

DEVELOPER:
Name: Same as owner
Address: _____
Address: _____
Telephone # _____
Fax # _____
Email: _____



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<i>For Town Use</i>	
Plan Routing Date: <u>10-15-14</u>	Sub/Site Date: <u>11-10-14 @ 10:00 AM</u> <u>CDD Mtg Room</u>
<input checked="" type="checkbox"/> I have no comments <input type="checkbox"/> I have comments (attach to form)	
(Initials) <u>Jm</u> Title: <u>Asst. Assessor</u>	Date: <u>10-16-14</u>
DEPT: _____ Zoning _____ Engineering _____ <u>Assessor</u> _____ Police _____ Fire _____ Planning _____ Consultant _____ Highway Department	
Fees Paid: _____	

**PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: October 2, 2014 Tax Map # 204 Lot # 5

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(For Town Use) (For Town Use)

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For Town Use

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CDD Mtg Room

[Signature] I have no comments _____ I have comments (attach to form)

[Signature] Title: LISOTENANT Date: 10/17/14
(Initials)

DEPT:
 _____ Zoning _____ Engineering _____ Assessor Police _____ Fire _____ Planning
 _____ Consultant _____ Highway Department

Fees Paid: _____

CAP FEE WORKSHEET

Central St. Restaurant “E”

Date: 12/10/14 Sector #: 7 Map/Lot: 204/005

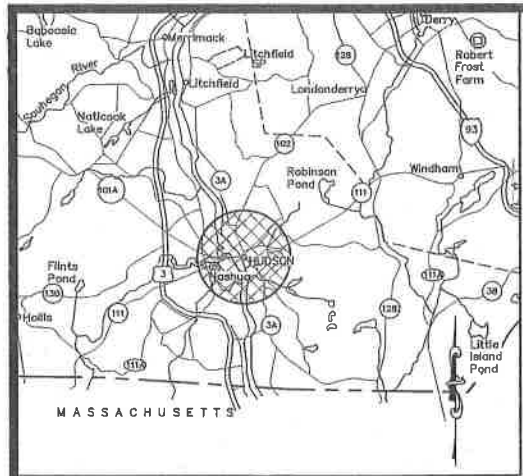
Project Name: Zheng Garden Restaurant

Proposed ITE Use #1: High Turnover (Sit Down) Restaurant

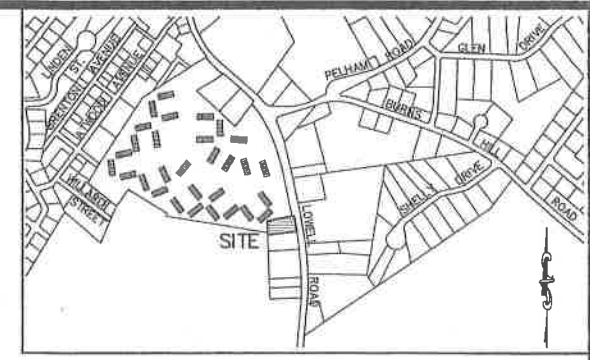
Proposed Building Area (square footage): 2,360 S.F.

CAP FEES: (THREE CHECKS NEEDED)

1.	(Bank 08)		
	(2070-090)	Route 3A:	<u>\$ 6,631.60 (2360 sf X \$2.81 per sf)</u>
	(2070-091)	Route 102:	<u>\$ 2,525.20 X \$1.07</u>
	(2070-086)	Route 111:	<u>\$ 4,602.00 X \$1.95</u>
		Total CAP Fee:	<u>\$13,758.80</u>



VICINITY PLAN
NOT TO SCALE



VICINITY PLAN
SCALE: 1" = 1,000'

NON-RESIDENTIAL SITE PLAN

ZHENG GARDEN

MAP 204; LOT 5

LOWELL ROAD

HUDSON, NEW HAMPSHIRE

OWNER/APPLICANT:
YUE YUN & ZHOU DENG ZHENG
4 PAULA CIRCLE
HUDSON, NH 03051

PREPARED BY:
KEACH-NORDSTROM ASSOCIATES, INC.
10 COMMERCE PARK NORTH, SUITE 3B
BEDFORD, NEW HAMPSHIRE 03110
(603) 627-2881

SHEET TITLE

SHEET No.

MASTER PLAN	1
EXISTING CONDITIONS PLAN	2
DEMOLITION/REMOVALS PLAN	3
NON-RESIDENTIAL SITE LAYOUT PLAN	4
GRADING AND DRAINAGE PLAN	5
EROSION CONTROL PLAN	6
UTILITY PLAN	7
LANDSCAPE PLAN	8
LIGHTING PLAN	9
CONSTRUCTION DETAILS	10-15



KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

AUGUST 25, 2014
NOVEMBER 5, 2014
PROJECT NO. 14-0718-1

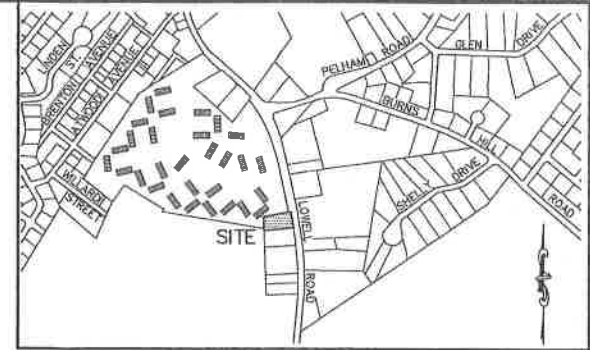
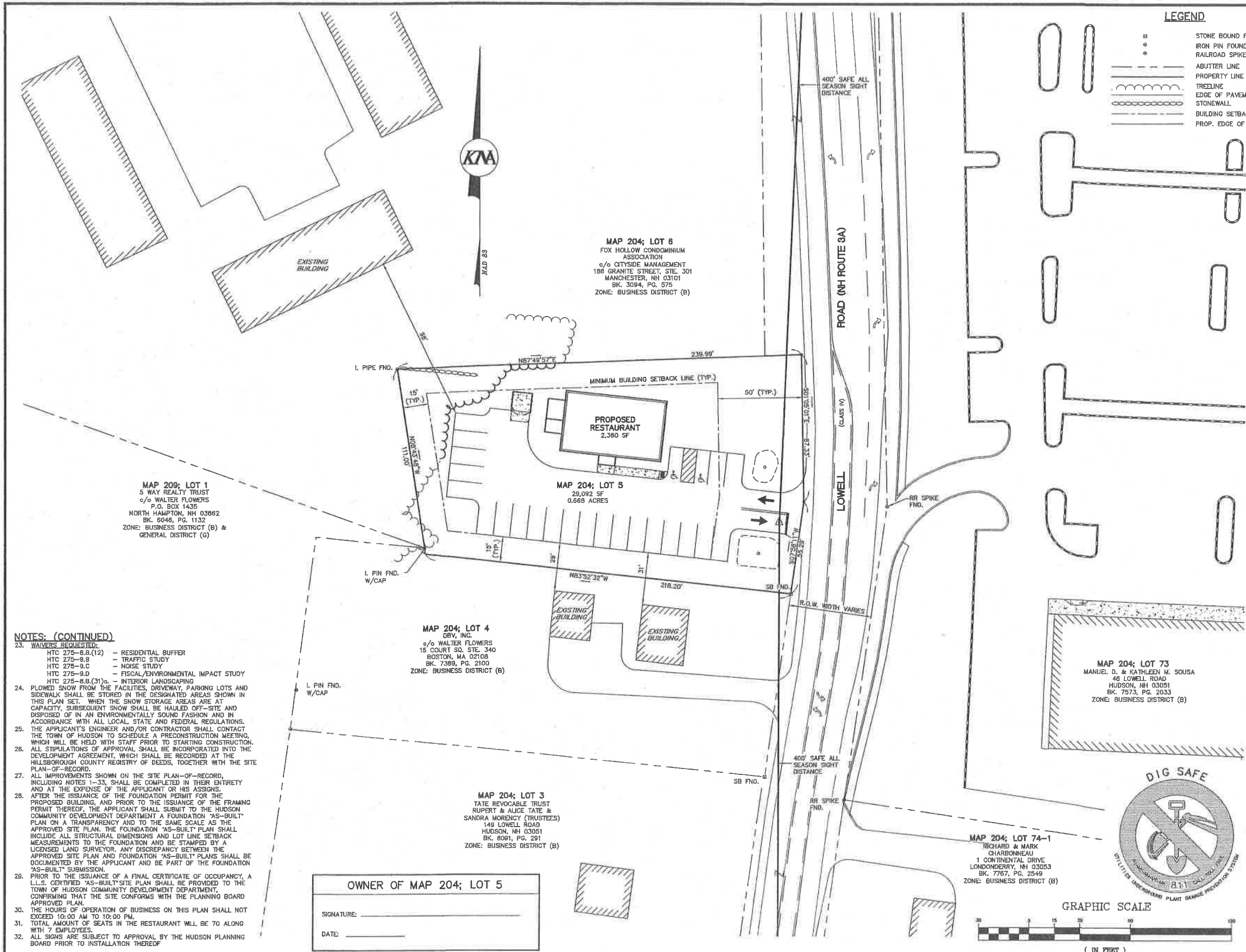
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



- LEGEND**
- STONE BOUND FOUND
 - IRON PIN FOUND
 - RAILROAD SPIKE FOUND
 - ABUTTER LINE
 - PROPERTY LINE
 - TREELINE
 - EDGE OF PAVEMENT
 - STONEWALL
 - BUILDING SETBACK
 - PROP. EDGE OF PAVEMENT

VICINITY PLAN
SCALE: 1" = 1,000'

- REFERENCE PLANS:**
- "PHASING PLAN, FOX HOLLOW CONDOMINIUMS, LOWELL ROAD - N.H. ROUTE 3A, HUDSON, NEW HAMPSHIRE," SCALE: 1"=50', DATED: 3 JANUARY 1984, WITH REVISIONS THROUGH 6/20/84, PREPARED BY ALLAN H. SWANSON, INC. H.C.R.D. PLAN NO. 24618.
 - "BOUNDARY AND CONSOLIDATION PLAN, LOWELL ROAD, HUDSON, NEW HAMPSHIRE," SCALE: 1"=100', DATED: SEPTEMBER 4, 1981, PREPARED BY ALLAN H. SWANSON, INC. H.C.R.D. PLAN NO. 14356.
 - "TAX MAP 13 LOT 5, SUBDIVISION PLAN, OF LAND OF DIGITAL EQUIPMENT CORPORATION, EXECUTIVE DRIVE AND LOWELL ROAD, HUDSON, N.H.," SCALE: 1"=200', DATED: JULY 26, 1996, PREPARED BY TMORAN INC. H.C.R.D. PLAN NO. 28159.
 - "PLAN OF LAND OF PROVINCE OF ST. MARY OF THE CAPUCHIN ORDER, LOWELL ROAD, HUDSON, NEW HAMPSHIRE," SCALE: 1"=80', DATED: MARCH 1954, PREPARED BY NED SPAULDING. H.C.R.D. PLAN NO. 37338.

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW THE OVERVIEW OF A PROPOSED 2,380 SF RESTAURANT AND ASSOCIATED SITE APPURTENANCES ON MAP 204, LOT 5 IN THE TOWN OF HUDSON.
 - TOTAL SITE AREA: 29,093 SF, OR 0.668 ACRES.
 - REFERENCE THIS PARCEL AS TOWN OF HUDSON TAX MAP 204; LOT 5.
 - OWNER OF RECORD:
YUE YUN & ZHOU DENG ZHENG
4 PAULA CIRCLE
HUDSON, NH 03051
BK. 8462; PG. 906
 - SUBJECT PARCEL IS LOCATED ENTIRELY IN THE BUSINESS (B) ZONING DISTRICT AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REGULATIONS:
MINIMUM LOT REQUIREMENTS:
- LOT AREA: 30,000 SF (WITH WATER AND SEWER)
43,550 SF (WITHOUT WATER OR SEWER)
- LOT FRONTAGE: 150 FT
MINIMUM BUILDING SETBACKS:
- FRONT: 50 FT
- SIDE: 15 FT
- REAR: 15 FT
 - BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE ON JULY 31 AND AUGUST 1, 2014.
 - HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NAVD 29. THE DATA WAS OBTAINED FROM MHDT DISK - 229-0320 SET IN LEDGE ON WAGON ROAD, HUDSON, NH.
 - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, COMMUNITY PANEL NUMBER 3301C06860 PANEL NUMBER 658 OF 701, EFFECTIVE DATE SEPTEMBER 25, 2009, INDICATES THAT THE SUBJECT PREMISES IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.
 - SITE IS CURRENTLY SERVICED BY MUNICIPAL WATER AND PRIVATE SEPTIC. PROPOSED SITE WILL BE SERVICED BY SEWER.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
 - PARKING CALCULATION:
REQUIRED: 1 SPACE FOR EVERY 100 SF (NO BAR) = 24 SPACES
PROVIDED: 24 SPACES (INCLUDING 1 HANDICAP SPACE)
*NO DESIGNATED LOADING SPACE PROVIDED. DELIVERIES OCCUR IN THE MORNING PRIOR TO THE RESTAURANT OPENING.
 - OPEN SPACE:
REQUIRED: 35%
PROVIDED: 53%
 - SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
 - SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADE.
 - IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
 - TRASH PICK-UP SHALL NOT OCCUR EARLIER THAN 7:00 AM NOR LATER THAN 7:00 PM, MONDAY THROUGH FRIDAY ONLY.
 - EXTERIOR CONSTRUCTION ACTIVITIES ON THE SITE SHALL BE LIMITED TO BETWEEN 7:00 AM AND 7:00 PM MONDAY THROUGH SATURDAY. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS.
 - IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON WEEKENDS.
 - ON AUGUST 21, 2014, REPRESENTATIVES FROM KEACH-NORDSTROM ASSOCIATES, INC. VERIFIED THAT ADEQUATE SIGHT DISTANCE EXISTS FROM THE PROPOSED DRIVEWAY ALONG LOWELL ROAD.
 - THIS APPROVAL SHALL BE SUBJECT TO FINAL ENGINEERING REVIEW.

- NOTES: (CONTINUED)**
23. WAIVERS REQUESTED:
HTC 275-8.1(12) - RESIDENTIAL BUFFER
HTC 275-9.8 - TRAFFIC STUDY
HTC 275-9.C - NOISE STUDY
HTC 275-9.D - FISCAL/ENVIRONMENTAL IMPACT STUDY
 24. PLOWED SNOW FROM THE FACILITIES, DRIVEWAY, PARKING LOTS AND SIDEWALK SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
 25. THE APPLICANT'S ENGINEER AND/OR CONTRACTOR SHALL CONTACT THE TOWN OF HUDSON TO SCHEDULE A PRECONSTRUCTION MEETING, WHICH WILL BE HELD WITH STAFF PRIOR TO STARTING CONSTRUCTION.
 26. ALL STIPULATIONS OF APPROVAL SHALL BE INCORPORATED INTO THE DEVELOPMENT AGREEMENT, WHICH SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS, TOGETHER WITH THE SITE PLAN-OF-RECORD.
 27. ALL IMPROVEMENTS SHOWN ON THE SITE PLAN-OF-RECORD, INCLUDING NOTES 1-33, SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
 28. AFTER THE ISSUANCE OF THE FOUNDATION PERMIT FOR THE PROPOSED BUILDING, AND PRIOR TO THE ISSUANCE OF THE FRAMING PERMIT THEREOF, THE APPLICANT SHALL SUBMIT TO THE HUDSON COMMUNITY DEVELOPMENT DEPARTMENT A FOUNDATION "AS-BUILT" PLAN ON A TRANSPARENT AND TO THE SAME SCALE AS THE APPROVED SITE PLAN. THE FOUNDATION "AS-BUILT" PLAN SHALL INCLUDE ALL STRUCTURAL DIMENSIONS AND LOT LINE SETBACK MEASUREMENTS TO THE FOUNDATION AND BE STAMPED BY A LICENSED LAND SURVEYOR. ANY DISCREPANCY BETWEEN THE APPROVED SITE PLAN AND FOUNDATION "AS-BUILT" PLANS SHALL BE DOCUMENTED BY THE APPLICANT AND BE PART OF THE FOUNDATION "AS-BUILT" SUBMISSION.
 29. PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, A L.L.S. CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED PLAN.
 30. THE HOURS OF OPERATION OF BUSINESS ON THIS PLAN SHALL NOT EXCEED 10:00 AM TO 10:00 PM.
 31. TOTAL AMOUNT OF SEATS IN THE RESTAURANT WILL BE 70 ALONG WITH 7 EMPLOYEES.
 32. ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD PRIOR TO INSTALLATION THEREOF.

OWNER OF MAP 204; LOT 5

SIGNATURE: _____ DATE: _____

MAP 204; LOT 3
TATE REVOCABLE TRUST
RUPERT & ALICE TATE &
SANDRA MORENCY (TRUSTEES)
149 LOWELL ROAD
HUDSON, NH 03051
BK. 8001, PG. 291
ZONE: BUSINESS DISTRICT (B)

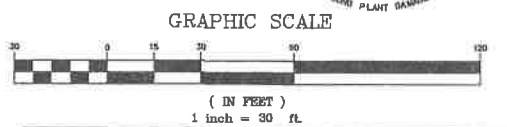
MAP 204; LOT 4
OBV, INC.
c/o WALTER FLOWERS
16 COURT SQ. STE. 340
BOSTON, MA 02108
BK. 7389, PG. 2100
ZONE: BUSINESS DISTRICT (B)

MAP 204; LOT 5
29,093 SF
0.668 ACRES

MAP 204; LOT 6
FOX HOLLOW CONDOMINIUM
ASSOCIATION
c/o CITYSIDE MANAGEMENT
188 GRANITE STREET, STE. 301
MANCHESTER, NH 03101
BK. 3094, PG. 575
ZONE: BUSINESS DISTRICT (B)

MAP 204; LOT 74-1
RICHARD & MARK
CHARBONNEAU
1 CONTINENTAL DRIVE
LONDONDERRY, NH 03053
BK. 7767, PG. 2549
ZONE: BUSINESS DISTRICT (B)

MAP 204; LOT 73
MANUEL D. & KATHLEEN M. SOUSA
48 LOWELL ROAD
HUDSON, NH 03051
BK. 7573, PG. 2033
ZONE: BUSINESS DISTRICT (B)



MASTER PLAN
ZHENG GARDEN
MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
YUE YUN & ZHOU DENG ZHENG
4 PAULA CIRCLE
HUDSON, NH 03051
H.C.R.D. BK. 8462; PG. 906

APPLICANT:
YUE YUN & ZHOU DENG ZHENG
4 PAULA CIRCLE
HUDSON, NH 03051

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

ZONING NOTE

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY KEACH-NORDSTROM ASSOCIATES, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

UTILITY NOTE

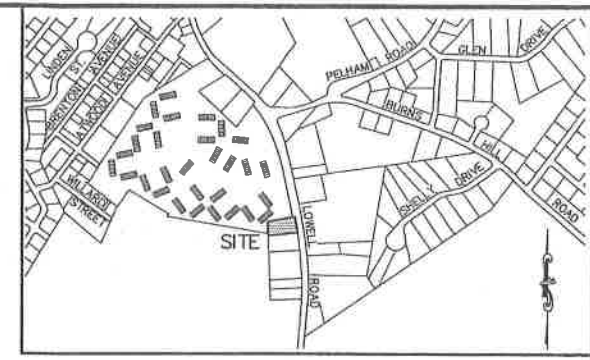
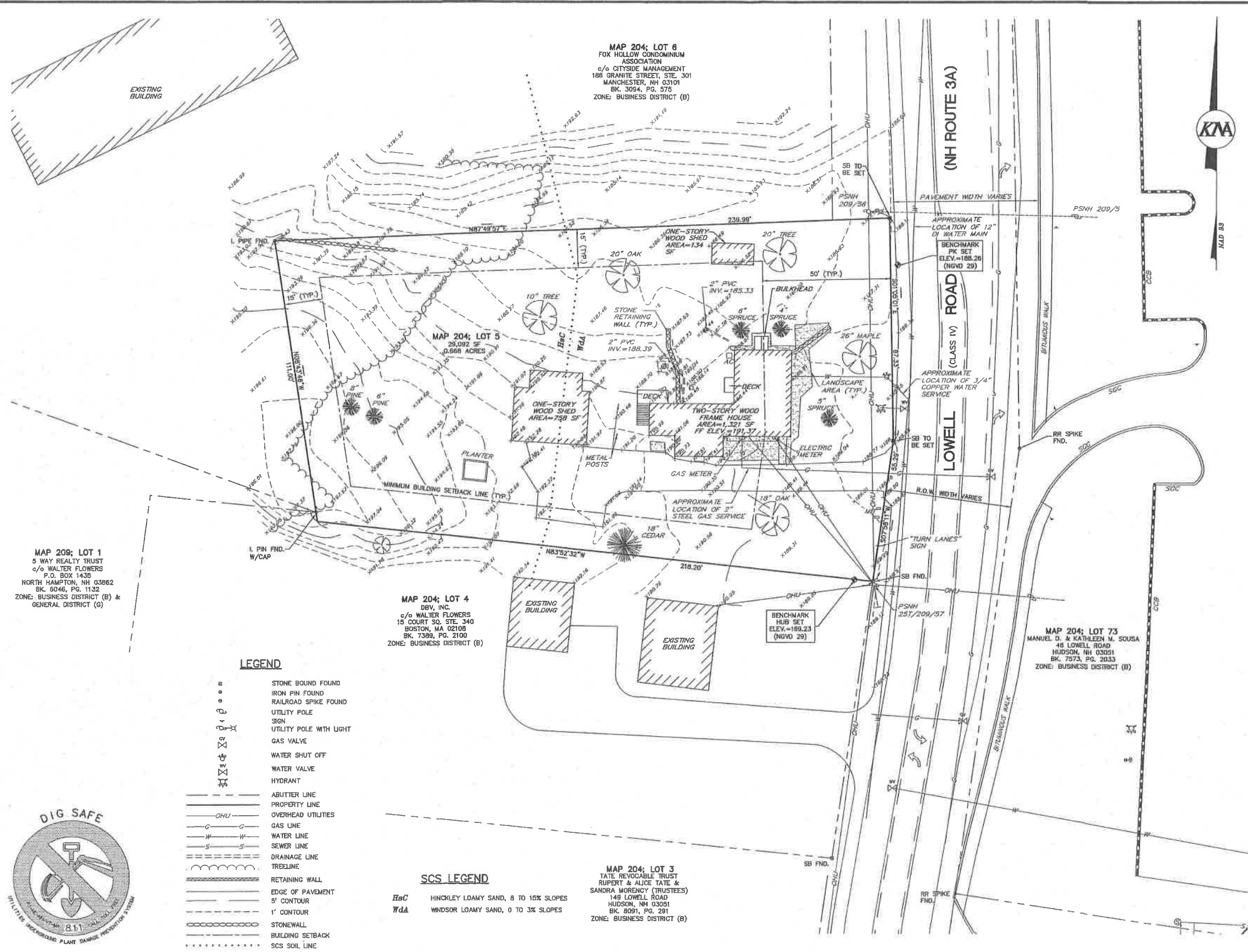
THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION BETWEEN JULY 31 AND AUGUST 1, 2014 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS AN URBAN STANDARD SURVEY. (CATEGORY 1, CONDITION 1) AS CODIFIED IN THE STATE OF NEW HAMPSHIRE ADMINISTRATIVE RULES.

11-16-14
DATE

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	11/5/14	PER TOWN COMMENTS	BJC

DATE: AUGUST 25, 2014 SCALE: 1" = 30'
PROJECT NO: 14-0718-1 SHEET 1 OF 15



VICINITY PLAN
SCALE: 1" = 1,000'

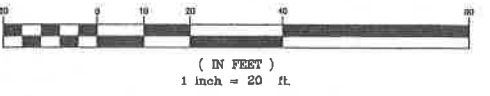
REFERENCE PLANS:

- "PHASING PLAN, FOX HOLLOW CONDOMINIUMS, LOWELL ROAD - N.H. ROUTE 3A, HUDSON, NEW HAMPSHIRE," SCALE: 1"=50', DATED: 3 JANUARY 1984, WITH REVISIONS THROUGH 6/20/84, PREPARED BY ALLAN H. SWANSON, INC. H.C.R.D. PLAN NO. 24618.
- "BOUNDARY AND CONSOLIDATION PLAN, LOWELL ROAD, HUDSON, NEW HAMPSHIRE," SCALE: 1"=100', DATED: SEPTEMBER 4, 1981, PREPARED BY ALLAN H. SWANSON, INC. H.C.R.D. PLAN NO. 14556.
- "TAX MAP 13 LOT 8, SUBDIVISION PLAN, OF LAND OF, DIGITAL EQUIPMENT CORPORATION, EXECUTIVE DRIVE AND LOWELL ROAD, HUDSON, N.H.," SCALE: 1"=200', DATED: JULY 26, 1986, PREPARED BY TFMORAN INC. H.C.R.D. PLAN NO. 28155.
- "PLAN OF LAND, PROVINCE OF ST. MARY OF THE CAPUCHIN ORDER, LOWELL ROAD, HUDSON, NEW HAMPSHIRE," SCALE: 1"=80', DATED: MARCH 1954, PREPARED BY NED SPAULDING. H.C.R.D. PLAN NO. 13738

NOTES:

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS OF LOT 5 ON THE TOWN OF HUDSON TAX MAP 204.
- TOTAL SITE AREA: 29,093 SF, OR 0.668 ACRES.
- REFERENCE THIS PARCEL AS TOWN OF HUDSON TAX MAP 204; LOT 5.
- OWNER OF RECORD:
YUE YUN & ZHOU DENG ZHENG
4 PAULA CIRCLE
HUDSON, NH 03051
BK. 8462, PG. 906
- SUBJECT PARCEL IS LOCATED ENTIRELY IN THE BUSINESS (B) ZONING DISTRICT AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REGULATIONS:
MINIMUM LOT REQUIREMENTS:
- LOT AREA 30,000 SF (WITH WATER AND SEWER)
43,560 SF (WITHOUT WATER OR SEWER)
- LOT FRONTAGE 150 FT
MINIMUM BUILDING SETBACKS:
- FRONT 50 FT
- SIDE 15 FT
- REAR 15 FT
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE ON JULY 31 AND AUGUST 1, 2014.
- HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NGVD 29. THE DATA WAS OBTAINED FROM NHD20 DISK - 229-0320 SET IN LEDGE ON WASON ROAD, HUDSON, NH.
- EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, COMMUNITY PANEL NUMBER 33011C0656D PANEL NUMBER 656 OF 701, EFFECTIVE DATE SEPTEMBER 25, 2009, INDICATES THAT THE SUBJECT PREMISES IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
- STRIPING IN LOWELL ROAD IS APPROXIMATE.

GRAPHIC SCALE



EXISTING CONDITIONS PLAN
ZHENG GARDEN
MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
YUE YUN & ZHOU DENG ZHENG
4 PAULA CIRCLE
HUDSON, NH 03051
H.C.R.D. BK. 8462; PG. 906

APPLICANT:
YUE YUN & ZHOU DENG ZHENG
4 PAULA CIRCLE
HUDSON, NH 03051



Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS				
No.	DATE	DESCRIPTION	BY	DATE
1	11/25/14	PER TOWN COMMENTS	B.J.C.	

DATE: AUGUST 25, 2014
PROJECT NO: 14-0718-1
SCALE: 1" = 20'
SHEET 2 OF 15

MAP 209; LOT 1
5 WAY REALTY TRUST
c/o WALTER FLOWERS
P.O. BOX 1435
NORTH HAMPTON, NH 03862
BK. 6046, PG. 1132
ZONE: BUSINESS DISTRICT (B) &
GENERAL DISTRICT (G)

MAP 204; LOT 4
DBV, INC.
c/o WALTER FLOWERS
15 COURT SQ. STE. 340
BOSTON, MA 02108
BK. 7389, PG. 2100
ZONE: BUSINESS DISTRICT (B)

MAP 204; LOT 73
MANUEL D. & KATHLEEN M. SOUSA
48 LOWELL ROAD
HUDSON, NH 03051
BK. 7873, PG. 2033
ZONE: BUSINESS DISTRICT (B)

MAP 204; LOT 6
FOX HOLLOW CONDOMINIUM
ASSOCIATION
c/o CITYSIDE MANAGEMENT
188 GRANITE STREET, STE. 301
MANCHESTER, NH 03101
BK. 3054, PG. 575
ZONE: BUSINESS DISTRICT (B)

LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- RAILROAD SPIKE FOUND
- UTILITY POLE
- SIGN
- UTILITY POLE WITH LIGHT
- GAS VALVE
- WATER SHUT OFF
- WATER VALVE
- HYDRANT
- ABUTTER LINE
- PROPERTY LINE
- OVERHEAD UTILITIES
- GAS LINE
- WATER LINE
- SEWER LINE
- DRAINAGE LINE
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- 5' CONTOUR
- 1' CONTOUR
- STONEWALL
- BUILDING SETBACK
- SCS SOIL LINE

SCS LEGEND

- HsC HINCKLEY LOAMY SAND, 8 TO 15% SLOPES
- YdA WINDSOR LOAMY SAND, 0 TO 3% SLOPES

MAP 204; LOT 3
TATE REVOCABLE TRUST
RUPERT & ALICE TATE &
SANDRA MORENOY (TRUSTEES)
149 LOWELL ROAD
HUDSON, NH 03051
BK. 8091, PG. 291
ZONE: BUSINESS DISTRICT (B)

ZONING NOTE

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY KEACH-NORDSTROM ASSOCIATES, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY, SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

UTILITY NOTE

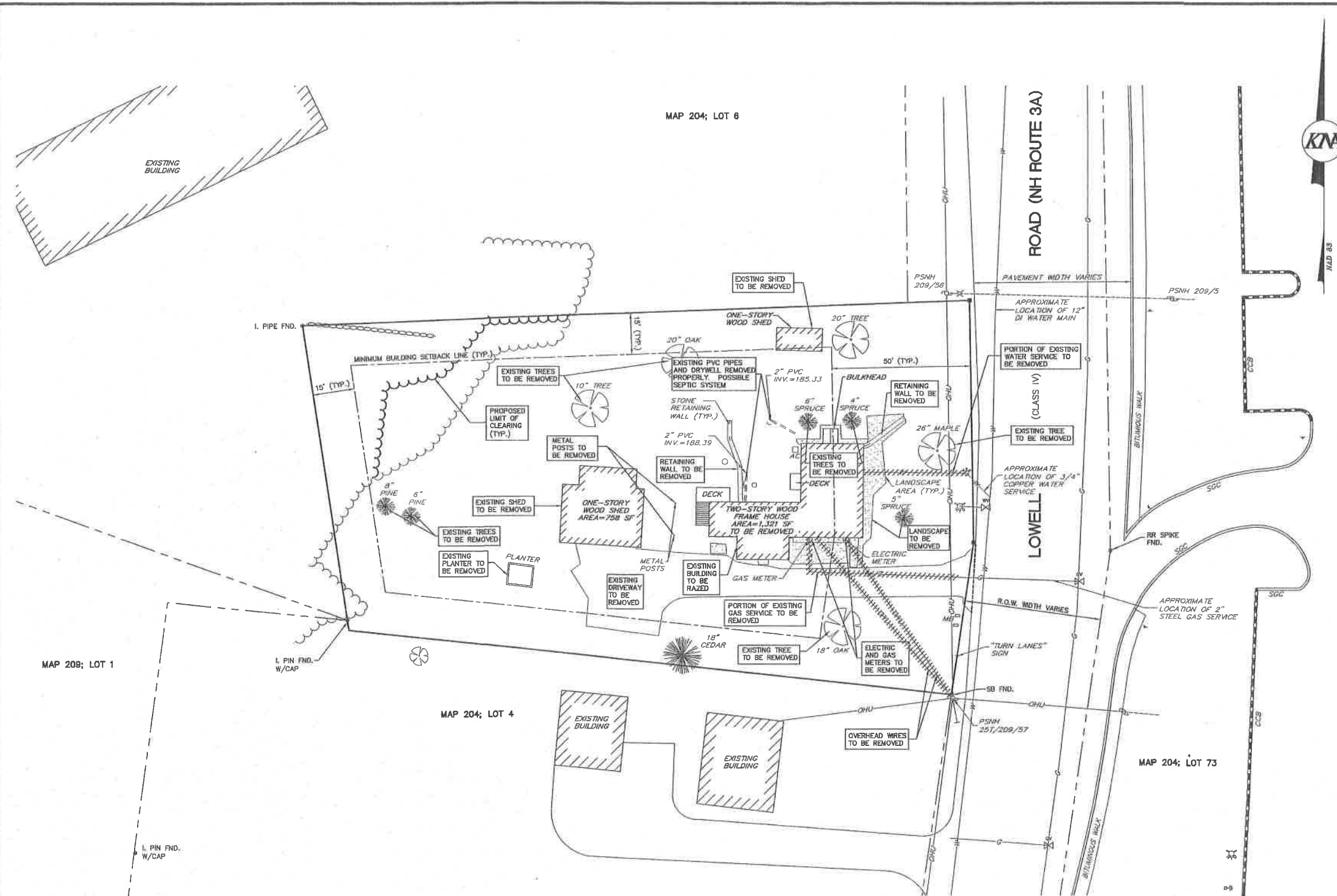
THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION BETWEEN JULY 31 AND AUGUST 1, 2014 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS AN URBAN STANDARD SURVEY, (CATEGORY 1, CONDITION 1) AS CODIFIED IN THE STATE OF NEW HAMPSHIRE ADMINISTRATIVE RULES.



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING FEATURES ON SITE TO BE REMOVED, SALVAGED OR REPLACED.
 2. ITEMS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH THE TOWN OF HUDSON REQUIREMENTS, UNLESS OTHERWISE SHOWN HEREON OR DIRECTED BY OWNER.
 3. REMOVE AND SALVAGE ALL STREET SIGNS, POSTS AND LIGHT POLES WITHIN THE WORK AREA AND DELIVER THEM TO PLANT OPERATIONS DEPARTMENT (603) 589-2780 FOR REUSE. INSTALL NEW SIGNS ON NEW POSTS AS SPECIFIED HEREON.
 4. THE CONTRACTOR SHALL CONTROL ALL DUST GENERATED DURING THE REMOVAL PHASE AND CONSTRUCTION PHASE SO THAT NO DUST LEAVES THE SITE.
 5. ANY MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE RESET BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR AT THE SITE CONTRACTORS EXPENSE.
 6. EXISTING SEPTIC SYSTEM IS A POSSIBILITY. REMOVAL OF SEPTIC SYSTEM TO BE HANDLED PROPERLY.

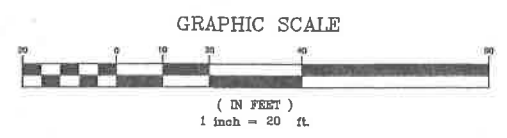
LEGEND

	STONE BOUND FOUND
	IRON PIN FOUND
	RAILROAD SPIKE FOUND
	UTILITY POLE
	SIGN
	UTILITY POLE WITH LIGHT
	GAS VALVE
	WATER SHUT OFF
	WATER VALVE
	HYDRANT
	ABUTTER LINE
	PROPERTY LINE
	OVERHEAD UTILITIES
	GAS LINE
	WATER LINE
	SEWER LINE
	DRAINAGE LINE
	TREELINE
	RETAINING WALL
	EDGE OF PAVEMENT
	STONEWALL
	BUILDING SETBACK

REMOVALS/DEMOLITION PLAN
ZHENG GARDEN
 MAP 204; LOT 5
 LOWELL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD: YUE YUN & ZHOU DENG ZHENG 4 PAULA CIRCLE HUDSON, NH 03051 H.C.R.D. BK. 8462; PG. 906	APPLICANT: YUE YUN & ZHOU DENG ZHENG 4 PAULA CIRCLE HUDSON, NH 03051
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KM KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE _____ DATE _____
 SIGNATURE _____ DATE _____
 SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	11/5/14	DATE ONLY	BJC

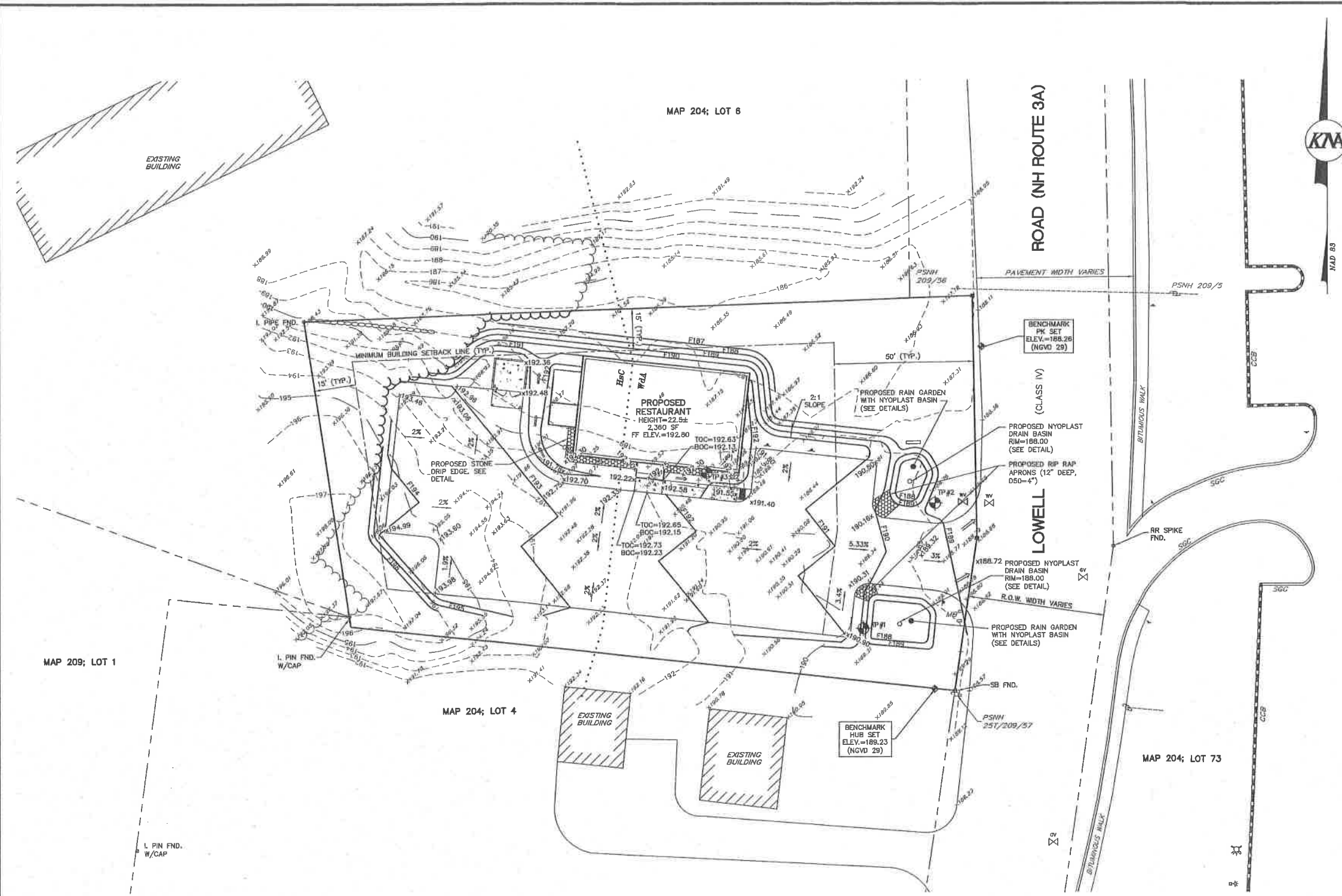
DATE: AUGUST 25, 2014 SCALE: 1" = 20'
 PROJECT NO: 14-0718-1 SHEET 3 OF 15

- CONSTRUCTION NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPARTMENT, HUDSON, NEW HAMPSHIRE.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
 4. SEE CONSTRUCTION DETAILS FOR SPECIFIC CONSTRUCTION INFORMATION.

LOAM & SEED ALL DISTURBED AREAS (TYP.)

LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- RAILROAD SPIKE FOUND
- UTILITY POLE
- UTILITY POLE WITH LIGHT
- GAS VALVE
- WATER SHUT OFF
- WATER VALVE
- HYDRANT
- PROPOSED DRYWELL
- ABUTTER LINE
- PROPERTY LINE
- DRAINAGE LINE
- TREETLINE
- EDGE OF PAVEMENT
- 5' CONTOUR
- 1' CONTOUR
- STONEWALL
- BUILDING SETBACK
- SCS SOIL LINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED 1' CONTOUR



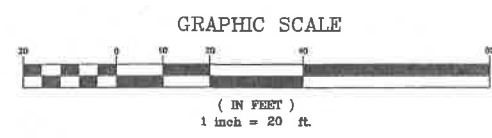
MAP 209; LOT 1

MAP 204; LOT 6

MAP 204; LOT 4

MAP 204; LOT 73

- SCS LEGEND**
- HmC HINCKLEY LOAMY SAND, 8 TO 15% SLOPES
 - WdA WINDSOR LOAMY SAND, 0 TO 3% SLOPES



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

GRADING AND DRAINAGE PLAN
ZHENG GARDEN
MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: YUE YUN & ZHOU DENG ZHENG 4 PAULA CIRCLE HUDSON, NH 03051 H.C.R.D. BK. 8462; PG. 906	APPLICANT: YUE YUN & ZHOU DENG ZHENG 4 PAULA CIRCLE HUDSON, NH 03051
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KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 887-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	11/5/14	PER TOWN COMMENTS	BJC








DATE: AUGUST 25, 2014 SCALE: 1" = 20'
PROJECT NO: 14-0718-1 SHEET 5 OF 15

EROSION CONTROL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES AS WELL AS THE PERMANENT EROSION CONTROL MEASURES.
2. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL, TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME.
3. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
4. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
5. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
6. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
7. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
10. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
11. SNOW ACCUMULATED DURING THE WINTER CONSTRUCTION CONDITIONS SHOULD BE STORED IN THE STAGING & STOCKPILE AREA DETERMINED BY THE CONTRACTOR, SURROUNDED BY SILT FENCE.

LOAM & SEED ALL DISTURBED AREAS (TYP.)

EROSION & SEDIMENT CONTROL LEGEND

-  PERMANENT PROTECTION APRON (RIP RAP)
-  SILT FENCE
-  LIMITS OF CLEARING
-  STABILIZED CONSTRUCTION EXIT
-  EROSION CONTROL BLANKETS
-  TEMPORARY BLOCK AND GRAVEL SEDIMENT BARRIERS AT ALL CATCH BASINS
-  STAGING AND STOCKPILE AREA

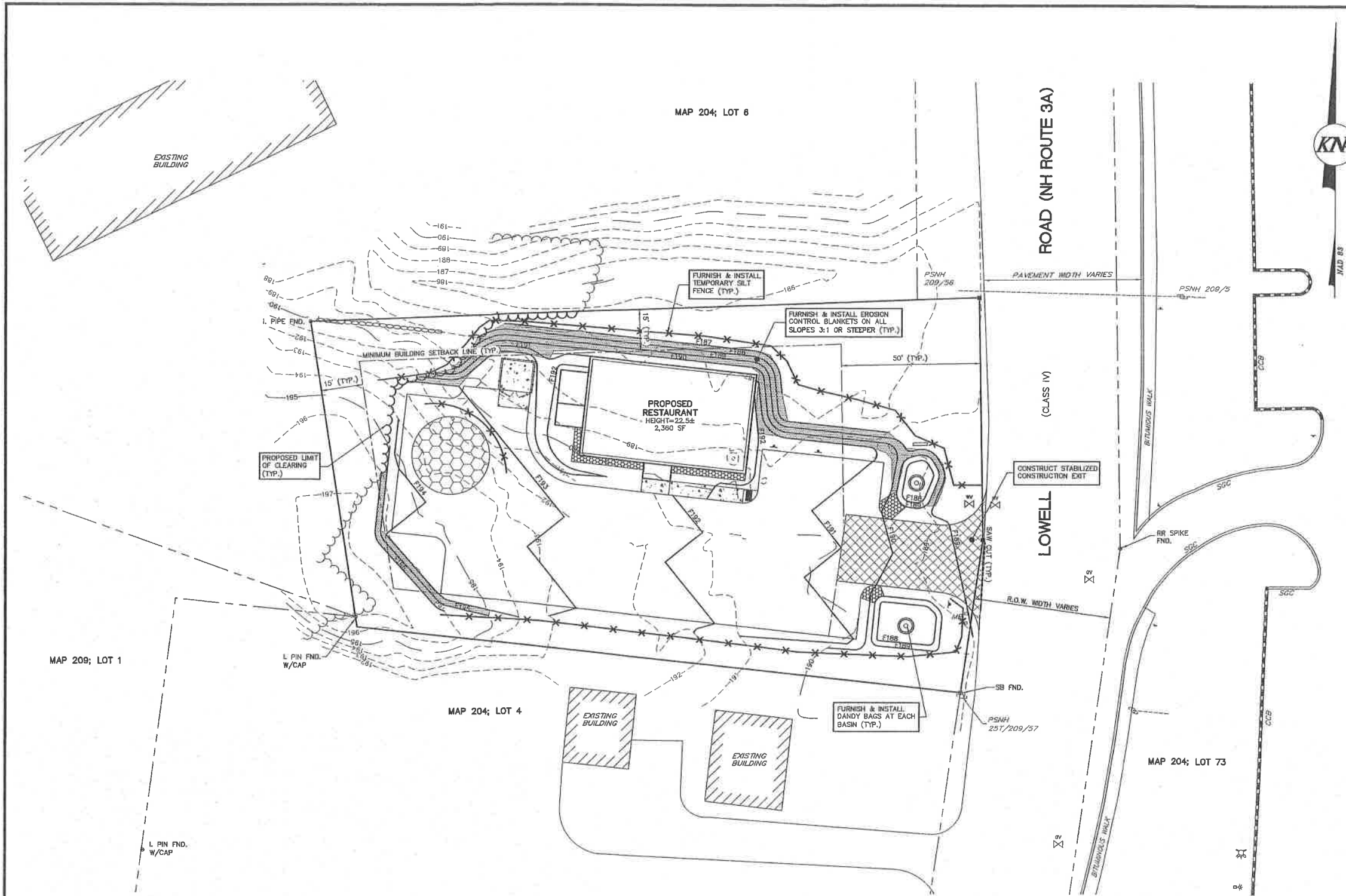
EROSION CONTROL PLAN
ZHENG GARDEN
MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

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PROJECT NO: 14-0718-1 SHEET 6 OF 15



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

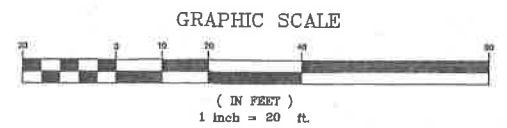
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SIGNATURE _____ DATE _____

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SCS LEGEND

H_oC HINCKLEY LOAMY SAND, 8 TO 15% SLOPES
W_dA WINDSOR LOAMY SAND, 0 TO 3% SLOPES



MAP 204; LOT 6

CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
3. ALL WATER SERVICE CONSTRUCTION SHALL CONFORM WITH HUDSON WATER UTILITY CONSTRUCTION SPECIFICATIONS.
4. LIBERTY UTILITIES SHALL SIZE AND INSTALL PROPOSED GAS SERVICES.
5. PROPOSED SEWER LIFT STATIONS AND FORCE MAINS WILL BE DESIGNED FOLLOWING SITE PLAN APPROVAL. SEWER DESIGN SHALL BE SUBMITTED ALONG WITH PROFILES OF LOWELL ROAD TO THE HUDSON ENGINEERING DEPARTMENT PRIOR TO THE START OF CONSTRUCTION.
6. ALL COMPONENTS OF THE EXISTING SEPTIC SYSTEM SHALL BE REMOVED/REMEDIATED ACCORDING TO ALL STATE AND LOCAL REQUIREMENTS.

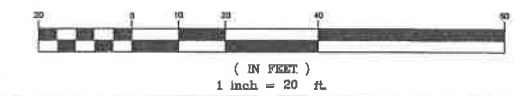


LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- RAILROAD SPIKE FOUND
- UTILITY POLE
- SIGN
- UTILITY POLE WITH LIGHT
- GAS VALVE
- WATER SHUT OFF
- WATER VALVE
- HYDRANT
- PROPOSED DRYWELL
- ABUTTER LINE
- PROPERTY LINE
- OVERHEAD UTILITIES
- GAS LINE
- WATER LINE
- SEWER LINE
- DRAINAGE LINE
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- STONEMALL
- BUILDING SETBACK
- PROPOSED EDGE OF PAVEMENT
- PROPOSED UNDERGROUND UTILITIES
- PROPOSED GAS LINE
- PROPOSED WATER LINE
- PROPOSED SEWER FORCE MAIN



GRAPHIC SCALE



UTILITY PLAN
ZHENG GARDEN
 MAP 204; LOT 5
 LOWELL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

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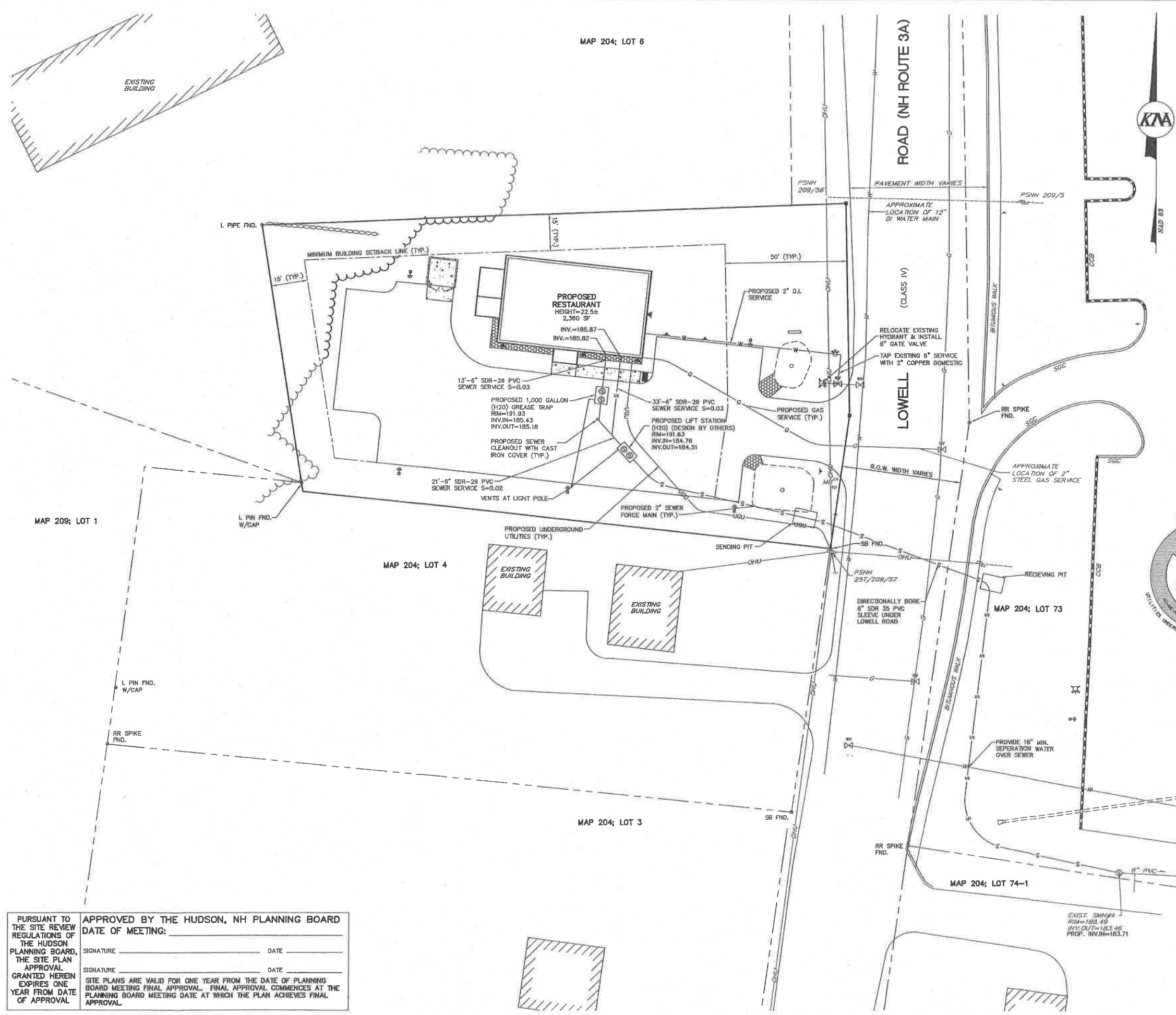
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SCALE: 1" = 20'

PROJECT NO: 14-0718-1

SHEET 7 OF 15



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PLANT LIST				
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
Ac	11	ABIES CONCOLOR	WHITE FIR	5-6' B&B
Ar	2	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2"-2.5" CAL
Gb	3	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	2-2.5" CAL
Px	2	PRUNUS X 'OKAME'	OKAME CHERRY	2-2.5" CAL
Pp	9	PICEA PUNGENS 'BLUE SELECT'	BLUE SELECT SPRUCE	5-6' B&B
SHRUBS				
Ab	8	AZALEA 'BLOOM A THON PINK'	BLOOM A THON PINK AZALEA	18-24"
Ap	2	ACER P. DISSECTUM 'RED DRAGON'	RED DRAGON JAPANESE MAPLE	3-4' B&B
Co	6	CHAMAECYPARIS OBTUSA 'VERDONI'	VERDONI HINOKI FALSECYPRESS	3-4' B&B
Ha	5	HYDRANGEA ARBORESCENS 'INCREDIBALL'	INCREDIBALL SMOOTH HYDRANGEA	2-2.5'
Pa	4	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL'	LITTLE DEVIL NINBARK	18-24"
Ps	3	PINUS STROBUS 'BLUE SHAG'	BLUE SHAG WHITE PINE	2.5-3'



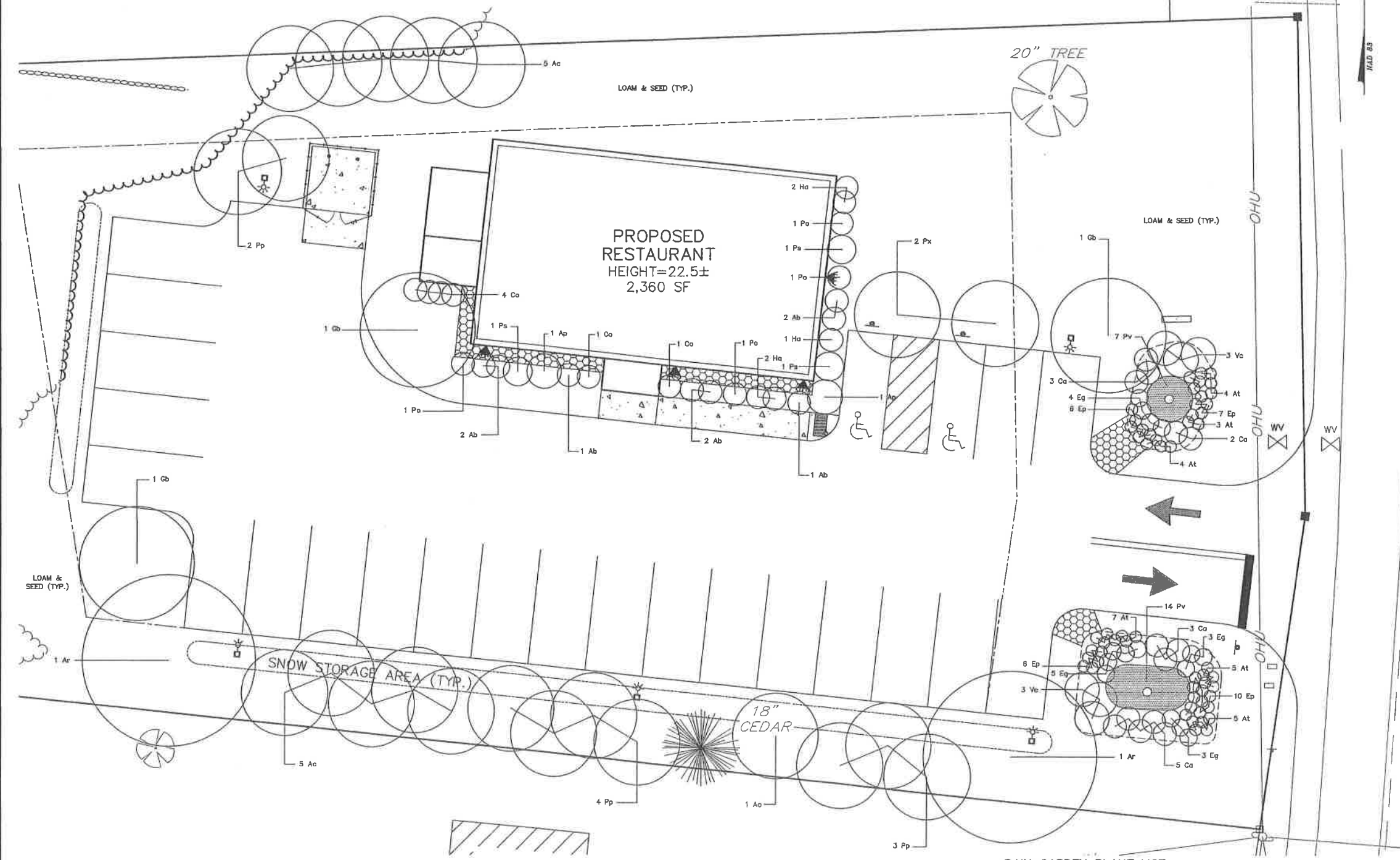
- LANDSCAPE NOTES:**
- ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOW HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL WARRANTIES. WARRANTIES TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
 - IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS: ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% COMPOST AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
 - PLANTING BEDS AND SAUCERS SHALL RECEIVE A 4" MINIMUM THICKNESS OF PINE/HEMLOCK BARK MULCH OVER A 5 OZ. POLYPROPYLENE WEED CONTROL FABRIC. PAVEMENT AND ROAD BASE MATERIAL ENCOUNTERED IN ANY LAWN OR PLANTING BED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AND SUITABLE AMENDED SOIL INSTALLED AS SPECIFIED ABOVE.

LANDSCAPE CALCULATIONS

REQUIRED PARKING LOT INTERIOR LANDSCAPE AREA	9,176 SF
PROPOSED PARKING AREA PAVED:	9,176 SF
10% REQUIRED LANDSCAPE AREA:	918 SF
PROVIDED LANDSCAPE AREA:	40 SF

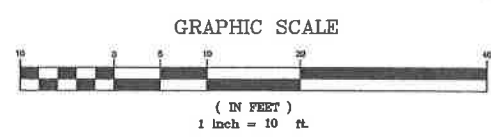
REQUIRED PARKING LOT SHADE TREES AND SHRUBS	9,176 SF
PROPOSED PAVED AREA:	9,176 SF
SHADE TREES REQUIRED (9,176/1,800):	5 TREES REQUIRED
(OR 1 TREE/5 PROP. PARKING SPACES)	5 TREES REQUIRED
SHADE TREES PROVIDED:	7 TREES PROPOSED
SHRUBS REQUIRED (9,176/200):	46 SHRUBS, OR
(OR 1.8 x 24 PROP. PARKING SPACES)	38 SHRUBS REQUIRED
SHRUBS PROVIDED:	47 SHRUBS PROPOSED

* WAIVER REQUESTED



LEGEND

□	STONE BOUND FOUND
○	IRON PIN FOUND
⊥	RAILROAD SPIKE FOUND
⊙	UTILITY POLE
⊙	SIGN
⊙	UTILITY POLE WITH LIGHT
⊙	GAS VALVE
⊙	WATER SHUT OFF
⊙	WATER VALVE
⊙	HYDRANT
⊙	PROPOSED DRYWELL
---	ABUTTER LINE
---	PROPERTY LINE
---	OVERHEAD UTILITIES
---	TREELINE
---	EDGE OF PAVEMENT
---	STONEWALL
---	BUILDING SETBACK
---	PROPOSED EDGE OF PAVEMENT



LOWELL (CLASS IV)

LANDSCAPE PLAN
ZHENG GARDEN

MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

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PROJECT NO: 14-0718-1	SHEET 8 OF 15

RAIN GARDEN PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
SHRUBS				
Ca	13	CLETHRA ALNIFOLIA 'COMPACTA'	COMPACT SUMMERSWEET	18-24"
Vc	6	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	2-2.5'
PERENNIALS				
At	28	ASCLEPIAS TUBEROSA	BUTTERFLY WEED	#1
Ep	15	EUPATORIUM 'GATEWAY'	GATEWAY JOE PYE WEED	#2
Ep	29	ECHINACEA PURPUREA	PURPLE CONEFLOWER	#2
Pv	21	PANICUM VIRGATUM 'PRAIRIE FIRE'	PRAIRIE FIRE SWITCH GRASS	#2

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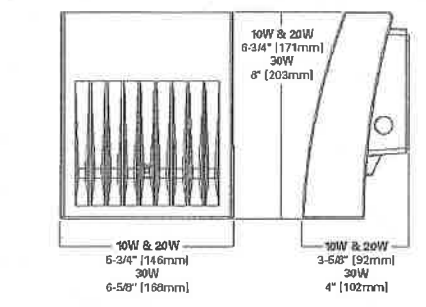
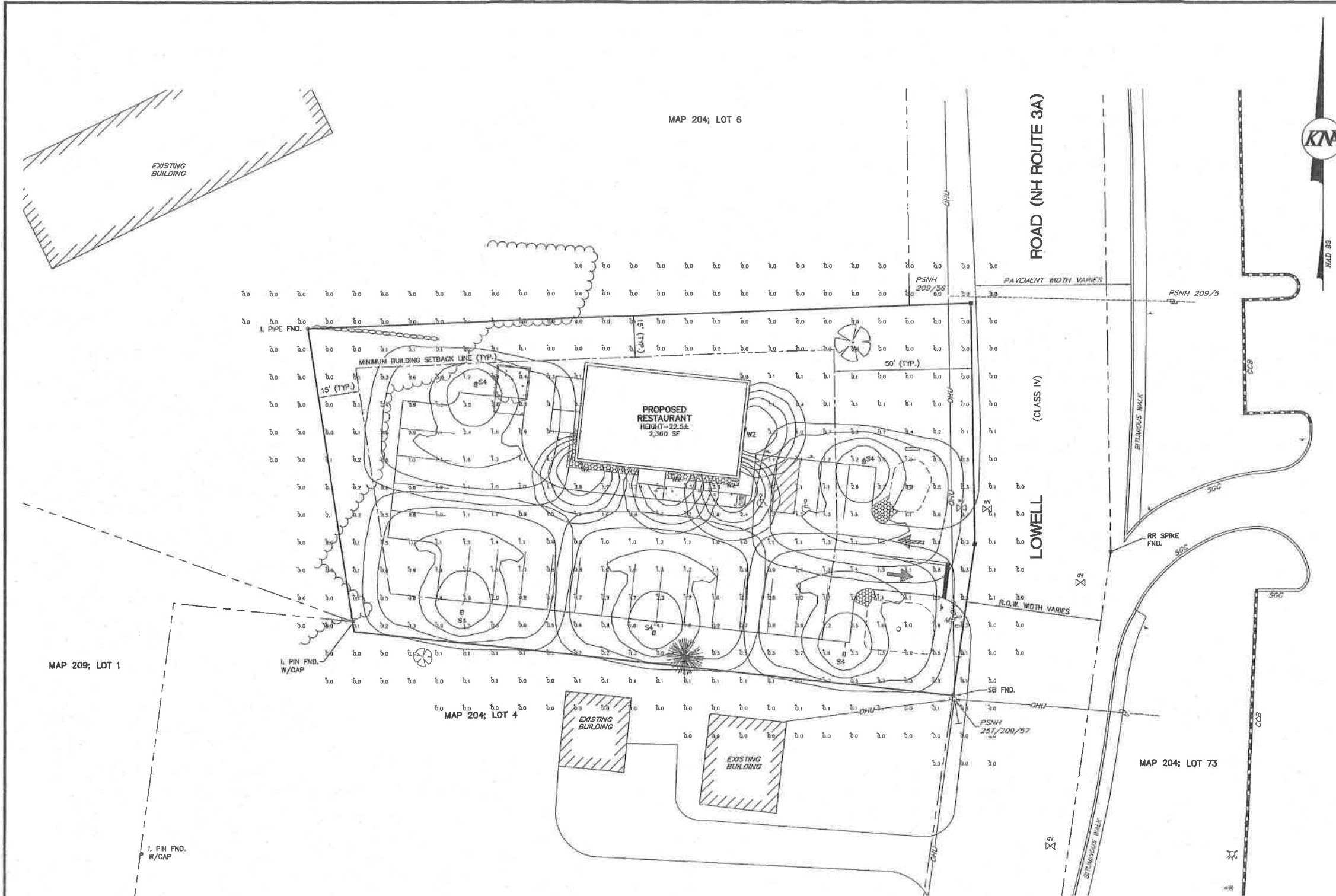
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DATE OF MEETING: _____

SIGNATURE _____ DATE _____

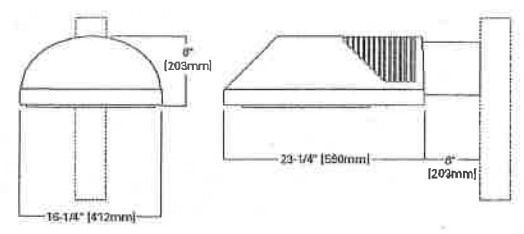
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Q:\Projects\140718\140718\REV\140718-1 SITE PLAN-REV1.dwg LANDSCAPE 11/27/2014 8:36:39 AM, Revs: HP Dwg\jkt-4000 HP12.dwg



XTOR CROSSTOUR LED
NOT TO SCALE



TLM TALON MEDIUM LED
NOT TO SCALE

IN ASSOCIATION WITH:
CHARRON
 INCORPORATED
 P.O. BOX 4690
 MANCHESTER, NH 03108
 (603) 624-8827
 FAX (603) 624-3764

LIGHTING PLAN
ZHENG GARDEN
 MAP 204; LOT 5
 LOWELL ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

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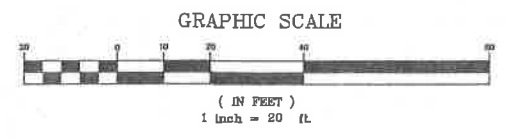
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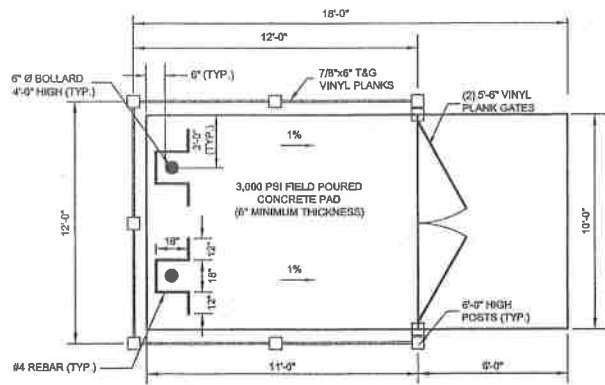
STATAREA_1
 ILLUMINANCE (FC)
 AVERAGE = 1.28
 MAXIMUM = 3.9
 MINIMUM = 0.7
 AVG./MIN. RATIO = 1.83
 MAX./MIN. RATIO = 5.57

SYMBOL	QTY	LABEL	ARRANGEMENT	DESCRIPTION
[Symbol]	5	S4	SINGLE	TLM-802-LED-E1-SL4/ 10' AFG
[Symbol]	4	W2	SINGLE	XTOR2A/ WALL MTD 10' AFG

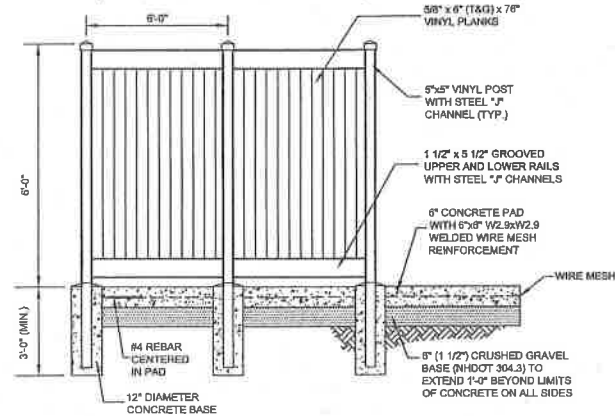


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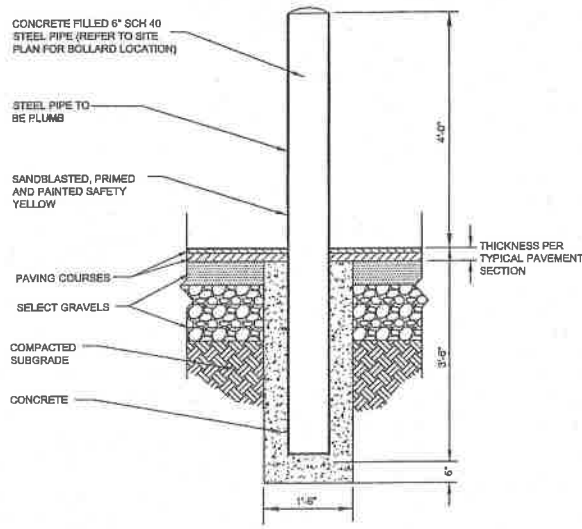
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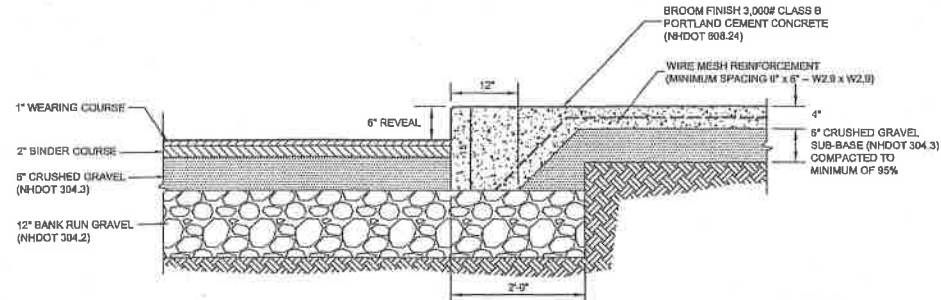
VINYLA TRASH ENCLOSURE DETAIL
NOT TO SCALE
(MARCH 2008)



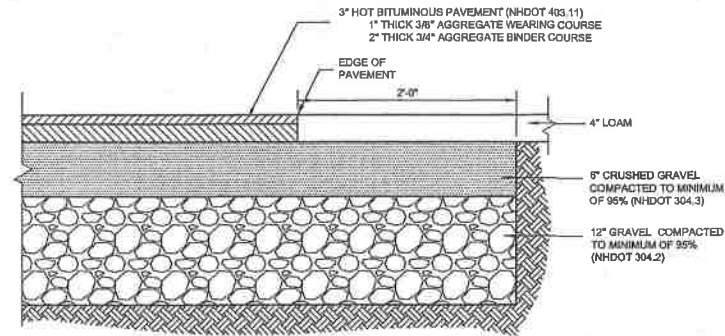
VINYLA TRASH ENCLOSURE DETAIL
NOT TO SCALE
(MARCH 2008)



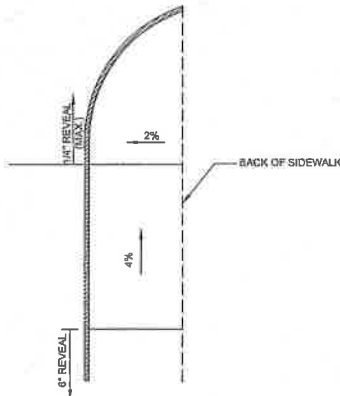
BOLLARD DETAIL
NOT TO SCALE
(MARCH 2008)



INTEGRAL CURB AND WALK DETAIL
NOT TO SCALE
(MARCH 2008)

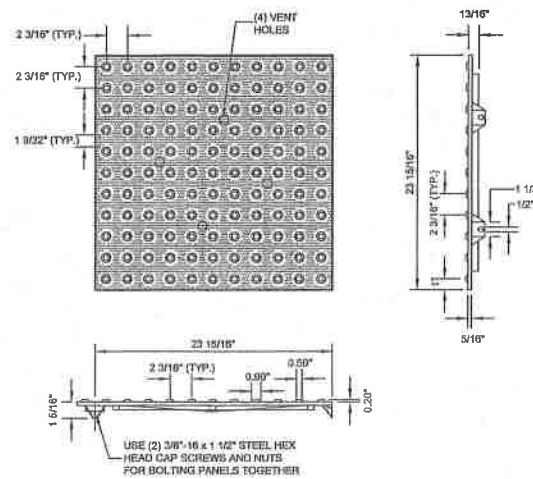


DRIVEWAY AND PARKING LOT SECTION
NOT TO SCALE
(MARCH 2008)



- NOTES:**
- A broom finish transverse to the slope of the ramp shall be used on portland cement concrete ramps.
 - Maintain the normal gutter profile throughout the ramp area.
 - Intercept drainage along the curb in advance of the ramp.
 - Maintain a maximum 1/4 inch of curb reveal at the ramp, see section A-A.

CORNER SIDEWALK RAMP DETAIL
NOT TO SCALE
(MARCH 2008)



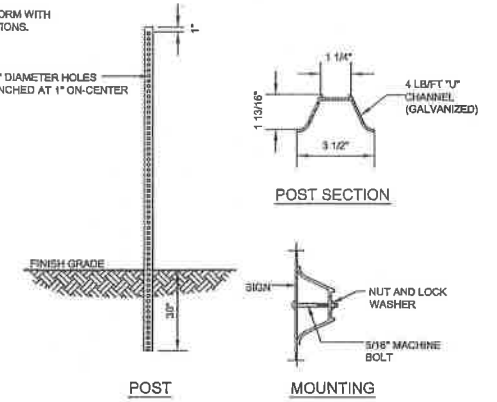
- NOTES:**
- Detectable warning plate shall be Neenah Foundry or approved equal.
 - The plate must comply with ADAAG (Americans with Disabilities Act Accessibility Guidelines) and Architectural Barrier Act Guidelines.
 - Material shall be cast gray iron.
 - Finish: no paint.

24"x24" DETECTABLE WARNING PLATE DETAIL
NOT TO SCALE
(MARCH 2008)

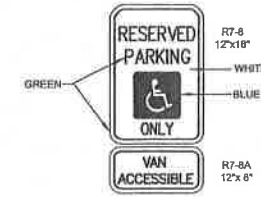
- TRAFFIC SIGN NOTES:**
- All traffic sign faces and shapes shall conform with the MUTCD.
 - All sign post mounts shall conform with the AASHTO and NHDOT specifications.



STOP SIGN DETAIL
NOT TO SCALE
(MARCH 2008)



STEEL SIGN POST DETAIL
NOT TO SCALE
(MARCH 2008)



VAN ACCESSIBLE HANDICAP PARKING SIGN DETAIL
NOT TO SCALE
(MARCH 2008)

STRIPING NOTES:

- All pavement markings shall be in conformance with these standards and the current edition of MUTCD.
- Width of lines shall vary no more than 1/4 inch from that specified.
- The wet film thickness of a painted line shall be a minimum of 16 mils throughout the entire width and length of line specified.
- Overspray shall be kept to an absolute minimum.



STOP BAR



HANDICAP STRIPING DETAIL
NOT TO SCALE
(MARCH 2012)

CONSTRUCTION DETAILS
ZHENG GARDEN
MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

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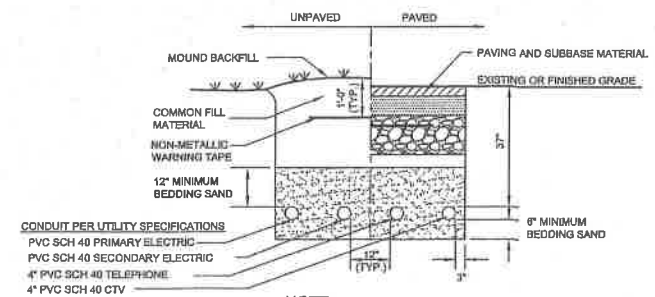
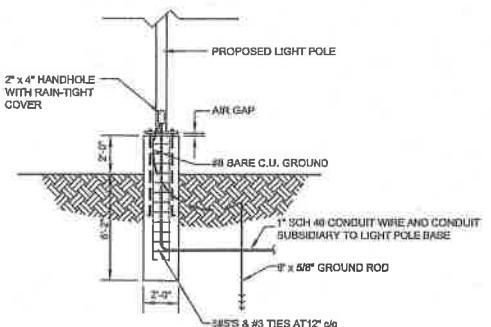
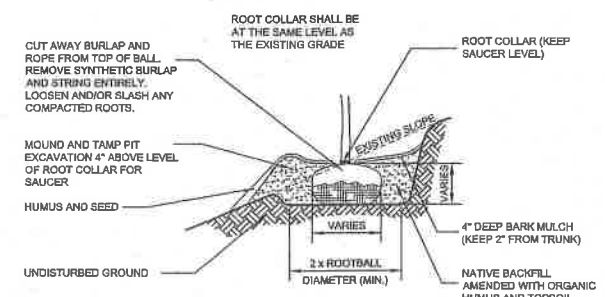
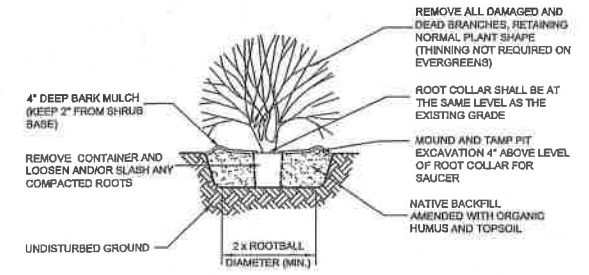
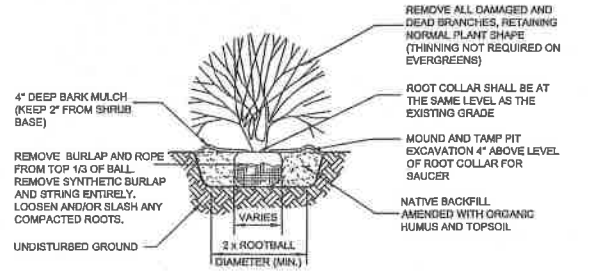
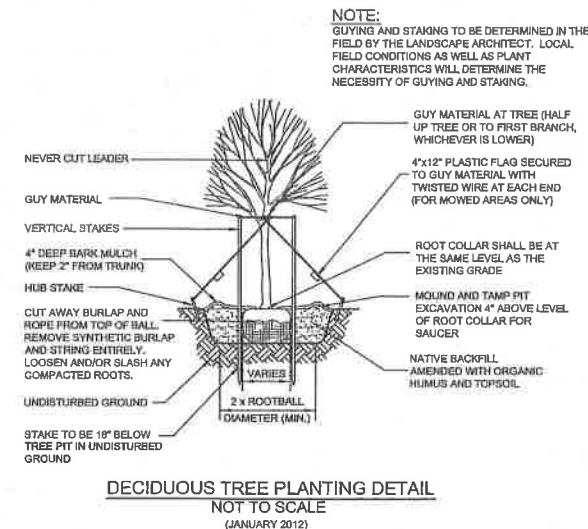
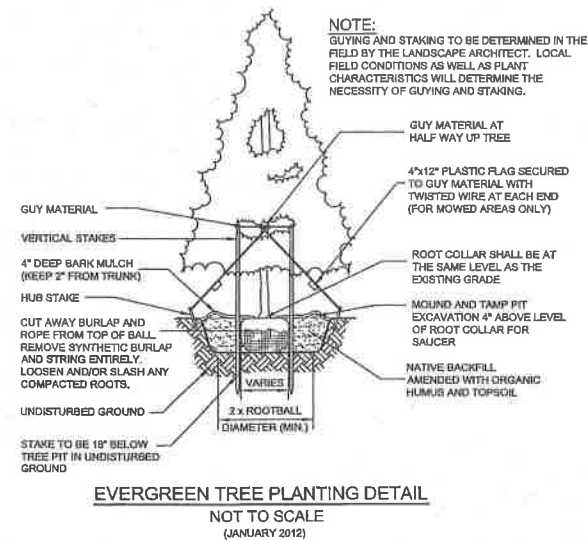
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

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TURF ESTABLISHMENT SCHEDULE

PURPOSE:
TO ESTABLISH AND MAINTAIN PERMANENT AND TEMPORARY TURF AREAS, RESTORE GROWTH TO EXISTING TURF AREAS DISTURBED DURING CONSTRUCTION AND CONTROL SOIL EROSION.

PREPARATION AND EXECUTION:

- RAKE THE SUBGRADE OF ALL AREAS TO BE LOAMED AND SEEDED TO REMOVE RUBBISH, STICKS, ROOTS AND STONES LARGER THAN 1 INCH.
- PLACE LOAM OVER AREAS TO BE SEEDED AND SPREAD.
- FINE GRADE SURFACE AND SUPPLEMENT WITH SUITABLE LOAM WHERE NEEDED TO CREATE A UNIFORM SURFACE ACCORDING TO THE FINISH GRADES INDICATED; TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED, NO LOAM SHALL BE SPREAD IF THE SUBGRADE IS EXCESSIVELY WET OR FROZEN.
- APPLY LIME EVENLY OVER LOAM SURFACE AND THOROUGHLY INCORPORATE LIME INTO THE LOAM BY HEAVY RAKING TO AT LEAST ONE-HALF THE DEPTH OF THE LOAM.
- APPLY FERTILIZER AND MIX WITH THE UPPER 2 INCHES OF LOAM.
- DETERMINE APPROPRIATE MIXTURE FOR AREA TO BE SEEDED BASED ON EXAMINATION OF PROJECT PLANS. UNIFORMLY SPREAD THE SEED BY BROADCASTING OR HYDROSEEDING. IF BROADCASTING, LIGHTLY RAKE INTO THE PREPARED SURFACE AND ROLL. IF HYDROSEEDING, USE 4 TIMES THE RECOMMENDED RATE OF INOCULANT. AFTER SEED IS SPREAD, WATER THOROUGHLY WITH A FINE SPRAY.
- SEEDING FOR PERMANENT COVER SHALL OCCUR BETWEEN SEPTEMBER 15 AND OCTOBER 15 AND BETWEEN APRIL 15 AND JUNE 15. SEEDING SHALL NOT BE DONE DURING WINDY WEATHER, WHEN THE GROUND IS FROZEN OR EXCESSIVELY WET OR OTHERWISE UNFRIENDLY.
- WITHIN 24 HOURS AFTER SEEDING OPERATION, UNIFORMLY MULCH THE AREA WITH HAY. ANCHOR MULCH ON ALL SLOPES EXCEEDING 3:1 USING MULCH NETTING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER.
- PROTECT AND PREVENT AGAINST WASHOUTS, ANY WASHOUTS WHICH OCCUR SHALL BE PROMPTLY REGRADED AND RESEEDED.
- WHEN IT IS IMPRACTICAL TO ESTABLISH PERMANENT GROWTH ON DISTURBED EARTH BY SEEDING CANNOT ESTABLISH VISIBLE GROWTH, THE DISTURBED AREA SHALL BE COVERED WITH SIX INCHES OF MULCH FOR THE WINTER.

MAINTENANCE:
ALL SEEDED AREAS SHALL BE KEPT WATERED AND IN GOOD CONDITION. RESEED AS NECESSARY TO ESTABLISH HEALTHY UNIFORM GROWTH OVER THE ENTIRE SEEDED AREA. MAINTAIN SEEDED AREAS IN AN APPROVED CONDITION UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE REPAIRS FOR DAMAGE CAUSED BY EROSION.

APPLICATION RATES:

- LOAM SHALL BE APPLIED AT A MINIMUM COMPACTED THICKNESS OF 4 INCHES.
- LIME SHALL BE APPLIED AT A RATE OF 75 TO 100 POUNDS PER 1,000 S.F.
- FERTILIZER SHALL BE APPLIED AT A RATE OF 30 POUNDS PER 1,000 S.F.
- SEED MIXTURE FOR LAWN AREAS SHALL BE APPLIED AT A RATE OF AT LEAST 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
- TEMPORARY SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1,000 S.F.
- SEED MIXTURE FOR SLOPE AREAS SHALL BE APPLIED AT A RATE OF 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
- SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS SHALL BE APPLIED AT A RATE OF 70 POUNDS PER ACRE OR 1.5 POUNDS PER 1,000 S.F.
- MULCH SHALL BE APPLIED AT A RATE OF 90 POUNDS PER 1,000 S.F.

MATERIALS:

- LOAM USED FOR TOPSOIL SHALL BE FRAGILE, FERTILE, NATURAL, FREE-DRAINING LOAM; FREE OF ROOTS, GRASS, STICKS, WEEDS, GLAY, SOO LUMPS, DEBRIS AND STONES LARGER THAN 1 INCH IN ANY DIMENSION. SOIL SHALL NOT BE EXCESSIVELY ACID OR ALKALINE AND CONTAIN NO TOXIC MATERIALS.
- LIME SHALL BE GROUND LIMESTONE CONTAINING NO LESS THAN 95% CALCIUM AND MAGNESIUM CARBONATES.
- FERTILIZER SHALL BE 10-20-20 COMMERCIAL GRADE.
- SEED MIXTURE FOR LAWN AREAS SHALL BE 99% PURE LIVE SEED AND CONSIST OF THE FOLLOWING:
 - 25% CREEPING RED FESCUE
 - 25% KENTUCKY BLUEGRASS
 - 25% REDTOP
 - 25% MANHATTAN PERENNIAL RYEGRASS
- TEMPORARY SEEDING MIXTURE SHALL BE AN APPROVED CONSERVATION MIX OR CONSIST OF THE FOLLOWING:
 - 15% BLACKWELL OR SHELTER SWITCHGRASS
 - 30% NIAGRA OR KAW BIG BLUESTEM
 - 30% CAMPER OR BLAZE LITTLESTEM
 - 15% NE-27 OR BLAZE SAND LOVEGRASS
 - 10% VIKING BIRDSFOOT TREFLOID

INOCULUM SPECIFIC TO BIRDSFOOT TREFLOID MUST BE USED WITH THIS MIXTURE. IF SEEDING BY HAND, A STICKING AGENT SHALL BE USED. IF SEEDING WITH A HYDROSEEDER, USE FOUR TIMES THE RECOMMENDED AMOUNT OF INOCULUM.
- SEED MIXTURE FOR SLOPE AREAS SHALL BE 99% PURE LIVE SEED AND SHALL CONSIST OF THE FOLLOWING:
 - 30% CREEPING RED FESCUE
 - 40% PERENNIAL RYE GRASS
 - 15% REDTOP
 - 15% BIRDSFOOT TREFLOID

IN ADDITION TO THE MIX SPECIFIED ABOVE, CROWN VETCH SHALL BE USED ON ALL SLOPES STEEPER THAN 3:1. CROWN VETCH SHALL BE APPLIED AT A RATE OF 10 POUNDS PER ACRE AND INOCULUM SPECIFIC TO CROWN VETCH MUST BE USED.
- SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS, INCLUDING DETENTION BASINS AND VEGETATED TREATMENT SWALES SHALL CONSIST OF THE FOLLOWING:
 - 25% CREEPING RED FESCUE
 - 15% SWITCH GRASS
 - 15% FOX SEDGE
 - 15% CREEPING BENTGRASS
 - 10% FLATPEA
 - 20% WILDFLOWER VARIETY
- HAY USED FOR MULCH SHALL CONSIST OF MOWED AND PROPERLY CURED GRASS OR LEGUME MOWINGS, FREE FROM WEEDS, TWIGS, DEBRIS OR OTHER DELETERIOUS MATERIAL AND ROT OR MOLD.

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CONSTRUCTION DETAILS
ZHENG GARDEN
MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
YUE YUN & ZHOU DENG ZHENG
4 PAULA CIRCLE
HUDSON, NH 03051
H.C.R.D. BK. 8482; PG. 906

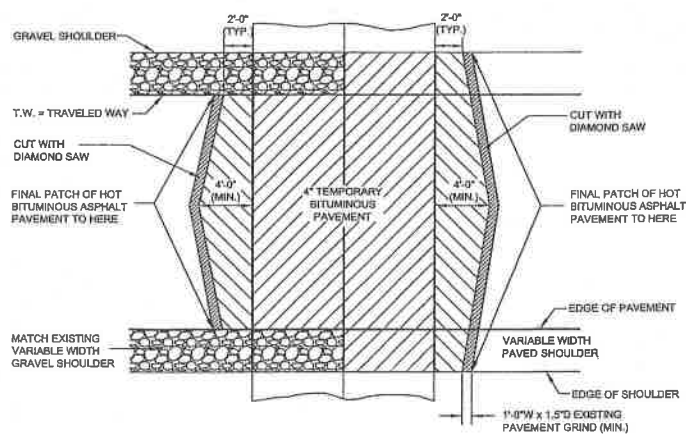
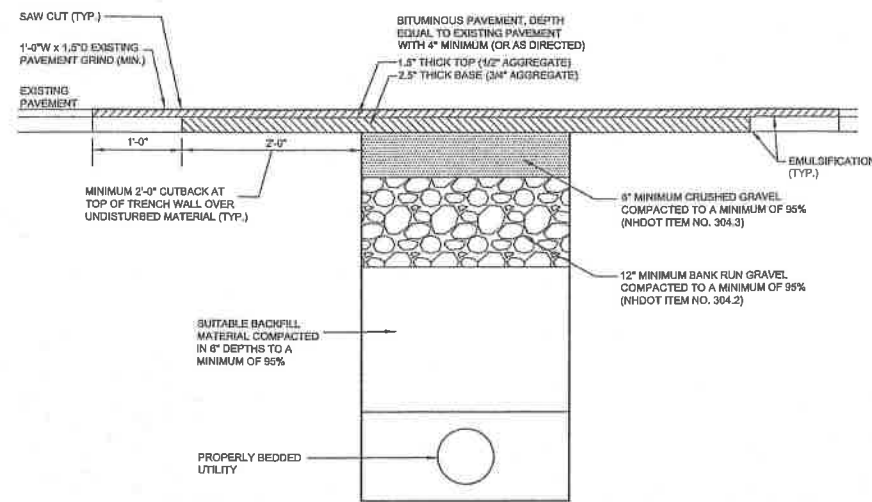
APPLICANT:
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4 PAULA CIRCLE
HUDSON, NH 03051

K&A KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commeron Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

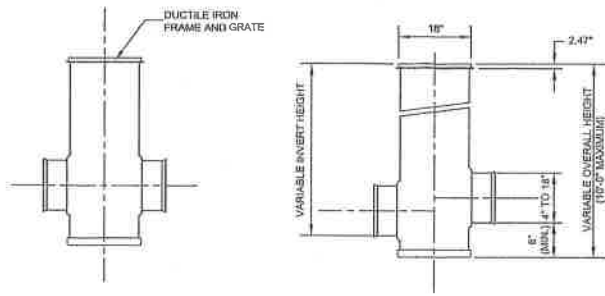
REVISIONS

No.	DATE	DESCRIPTION	BY
1	11/5/14	DATE ONLY	BJC

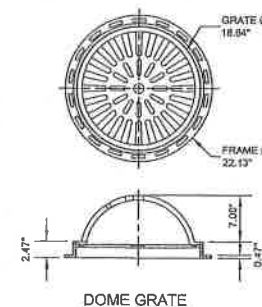
DATE: AUGUST 25, 2014 SCALE: AS SHOWN
PROJECT NO: 14-0718-1 SHEET 11 OF 15



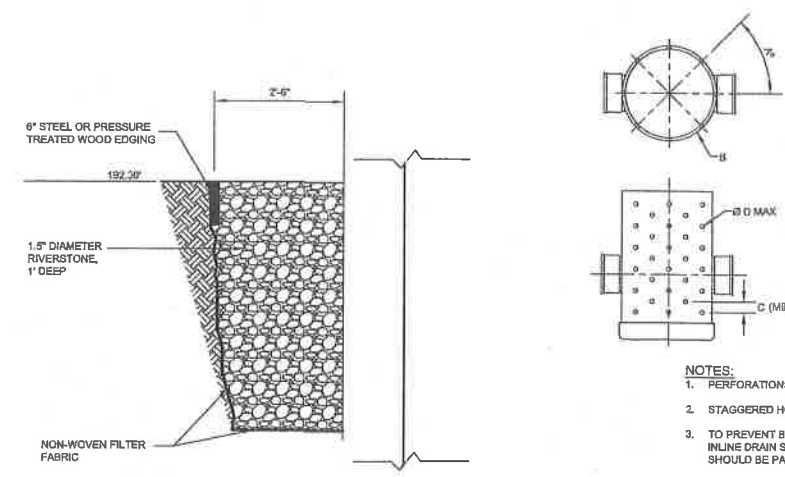
PERMANENT PAVEMENT REPAIR
NOT TO SCALE
(MARCH 2008)



18" DRAIN BASIN
NOT TO SCALE
(MARCH 2008)



NYLOPLAST NEW STYLE 18" GRATES/COVERS
NOT TO SCALE

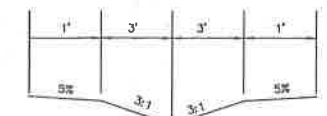


STONE DRIP EDGE DETAIL
NOT TO SCALE

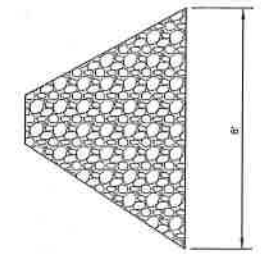
BASIN SIZE	A* ANGLE BETWEEN HOLES	B NUMBER OF HOLES	C DISTANCE BETWEEN HOLES	Ø D DIAMETER OF HOLE
10"	90	4	2.00	0.375
12"	60	6	2.00	0.375
15"	60	8	2.00	0.375
18"	45	8	2.00	0.375
24"	45	8	2.00	0.375
30"	38	10	2.00	0.375

- NOTES:**
- PERFORATIONS NOT TO BE ON OR WITHIN 1" OF ADAPTERS.
 - STAGGERED HOLES EVERY OTHER ROW AS SHOWN.
 - TO PREVENT BLOCKAGE OF PERFORATIONS, DRAIN BASIN OR INLINE DRAIN SHOULD BE WRAPPED IN GEO-CLOTH AND/OR SHOULD BE PACKED WITH GRAVEL.

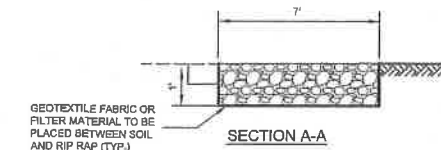
10" - 30" PERFORATION SCHEDULE
NOT TO SCALE
(MARCH 2008)



TYPICAL DITCH SECTION
NOT TO SCALE



PLAN



PAVEMENT TO RAIN GARDEN EROSION STONE
NOT TO SCALE
(MARCH 2008)

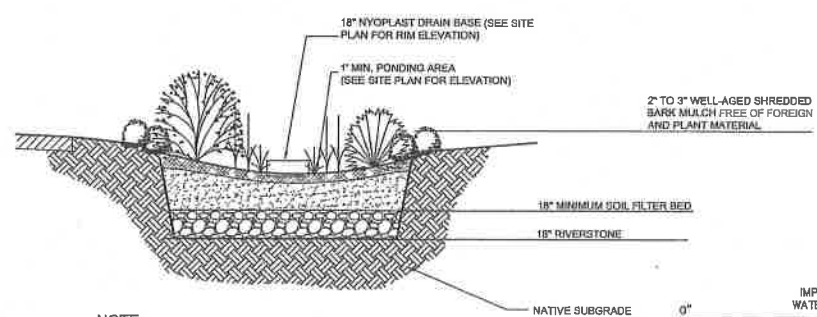
TABLE 7-24 - RECOMMENDED RIP RAP GRADATION RANGES

PERCENT OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE
100%	1.5 TO 2.0 Ø50
85%	1.3 TO 1.8 Ø50
50%	1.0 TO 1.5 Ø50
15%	0.3 TO 0.5 Ø50

- CONSTRUCTION SPECIFICATIONS:**
- THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 - THE ROCK OR GRAVEL USED FOR FILTER OR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 - GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 - STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

MAINTENANCE:
THE PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR RAIN EVENT. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED, OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL	
		SIEVE NO.	PERCENT BY WEIGHT PASSING STANDARD SIEVE
FILTER MEDIA OPTION A			
ASTM C-33 CONCRETE SAND	50 TO 55		
LOAMY SAND TOPSOIL, WITH FINES AS INDICATED	20 TO 30	200	15 TO 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	<5
FILTER MEDIA OPTION B			
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	<5
LOAMY COARSE SAND	70 TO 80	10	65 TO 100
		20	70 TO 100
		40	15 TO 40
		200	5 TO 15



TYPICAL RAIN GARDEN SECTION
NOT TO SCALE
JUNE 2012

NOTE:
THIS SYSTEM SHALL NOT BE IN SERVICE UNTIL THE SPECIFIED PLANTINGS ARE INSTALLED AND THE CONTRIBUTING SURFACE AREA IS STABILIZED.

TP #1
LOGGED BY JAN DATE: 11/14/14
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

0"	A	10YR 3/3, WEAK GRANULAR, FRIABLE LOAMY
15"	B	10 YR 5/6, WEAK GRANULAR, FRIABLE FINE SANDY LOAM, FEW ROOTS
25"	C	10 YR 2/4, WEAK GRANULAR, FRIABLE LOAMY SAND, FEW ROOTS

72" BOTTOM OF HOLE, NO E.S.H.W.T.

TP #2
LOGGED BY JAN DATE: 11/14/14
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

0"	A	10YR 3/3, WEAK GRANULAR, FRIABLE LOAMY
15"	B	10 YR 5/6, WEAK GRANULAR, FRIABLE FINE SANDY LOAM, FEW ROOTS
25"	C	10 YR 2/4, WEAK GRANULAR, FRIABLE LOAMY SAND, FEW ROOTS

72" BOTTOM OF HOLE, NO E.S.H.W.T.

TP #3
LOGGED BY JAN DATE: 11/14/14
IMPERVIOUS LAYER: NONE
WATER ENCOUNTERED: NONE

0"	A	10YR 3/4, WEAK GRANULAR, FRIABLE LOAMY, MANY ROOTS
15"	B	10 YR 5/6, WEAK GRANULAR, FRIABLE FINE SANDY LOAM, FEW ROOTS
22"	C1	10 YR 2/4, WEAK GRANULAR, FRIABLE LOAMY SAND, FEW ROOTS
56"	C2	10 YR 8/2, BLOCKY FRIABLE, LOAMY SAND

70" BOTTOM OF HOLE, NO E.S.H.W.T.

CONSTRUCTION DETAILS
ZHENG GARDEN
MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
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HUDSON, NH 03051
H.C.R.D. BK. 8462; PG. 906

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KM
KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 887-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	11/5/14	PER TOWN COMMENTS	BJC

DATE: AUGUST 25, 2014
PROJECT NO: 14-0718-1
SCALE: AS SHOWN
SHEET 12 OF 15

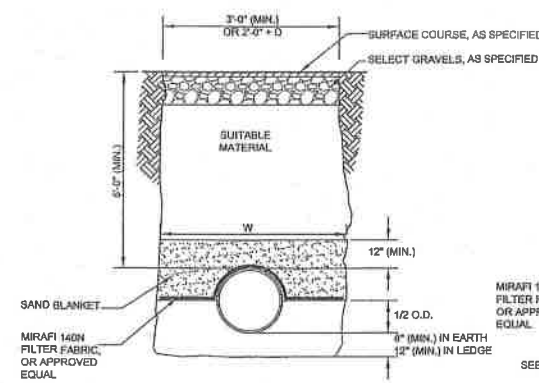
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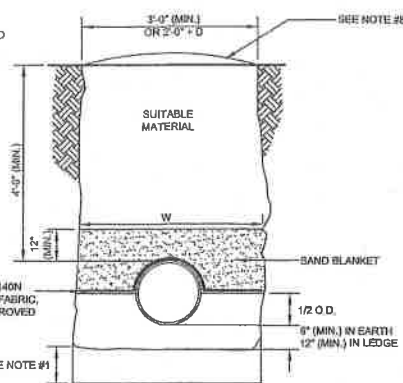
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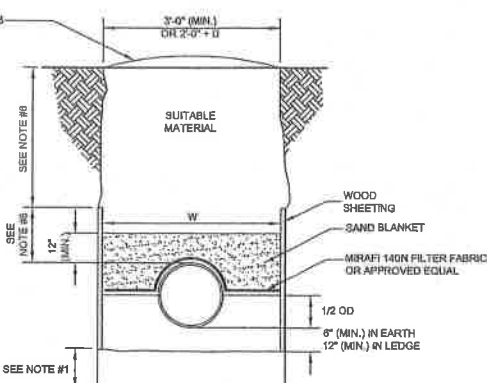


FOR CONSTRUCTION IN ROADS, ROAD SHOULDER AND WALKWAYS

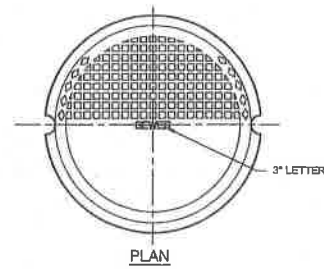
NOTE:
MINIMUM BEDDING DEPTH AND MAXIMUM PAYMENT DEPTH FOR LEDGE EXCAVATION: 14 O.D., (8" MIN)



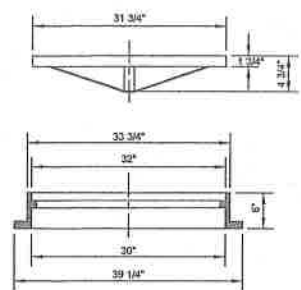
CROSS COUNTRY EARTH CONSTRUCTION



CROSS COUNTRY EARTH CONSTRUCTION WITH SHEETING



PLAN



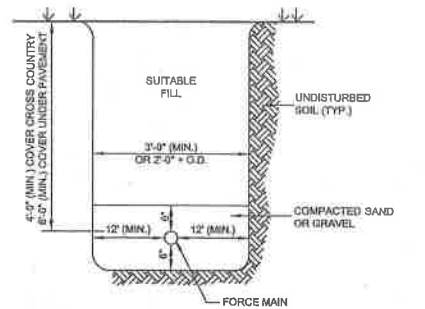
SECTION

SEWER MANHOLE FRAME AND COVER DETAIL

NOT TO SCALE
(MARCH 2008)

NOTES:
NEW HAMPSHIRE MAINTAINS A CLEAR OPENING DESIGNATION OF 30" FOR ITS MANHOLE CASTINGS.

- FEATURES:
- 3" LETTERING
 - COVERS MARKED SEWER
 - NONROCKING COVER
 - DIAMOND SURFACE DESIGN
- SPECIFICATIONS:
- FULLY MACHINED FRAME AND COVER
 - H-20 LOAD RATED
 - GRAY CAST IRON MEETS ASTM A48 CLASS 30



SEWER FORCE MAIN TRENCH DETAIL

NOT TO SCALE
(MARCH 2008)

SEWER FORCEMAIN CONSTRUCTION:

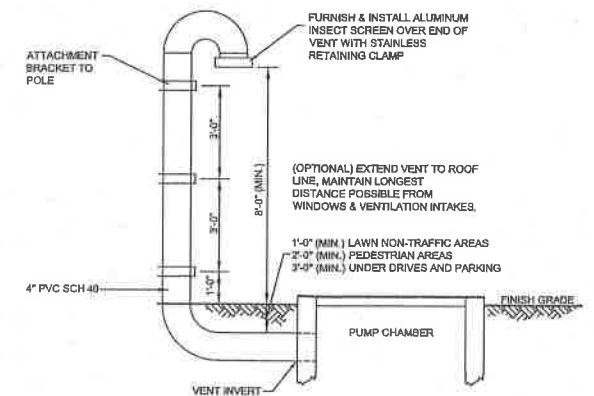
- PER ENV-WQ 704.04(g) ALL FORCEMAINS SHALL BE RATED TO WITHSTAND 2.5 TIMES DESIGN DYNAMIC HEAD.
- PER ENV-WQ 706.07(g) FORCEMAINS SHALL FLOW AT 3FPS OR GREATER FOR CONSTANT SPEED PUMPS AND PER ENV-WQ 706.07(b) FLOW AT 2FPS OR GREATER AT AVERAGE DAILY DESIGN FLOW FOR VARIABLE SPEED PUMPS.
- FORCEMAINS SHALL MEET TRENCH AND BEDDING REQUIREMENTS OF GRAVITY SEWERS.
- FORCEMAINS SHALL BE CONSTRUCTED FROM DUCTILE IRON, HIGH DENSITY POLYETHYLENE, OR PVC PER ENV-WQ 704.06(g).
PVC SHALL CONFORM TO ASTM D2241-05 OR ASTM D1785-05
HDPE SHALL CONFORM TO ASTM D3035-03a
DI SHALL BE CORROSION PROTECTED IN CORROSIVE ENVIRONMENTS
- FORCEMAINS SHALL BE TESTED IN ACCORDANCE WITH SECTION 4 OF AWWA C600-05 AT 1.5 DESIGN DYNAMIC PRESSURE OR 100 PSI, WHICHEVER IS GREATER, PER ENV-WQ 704.08.

NOTES:

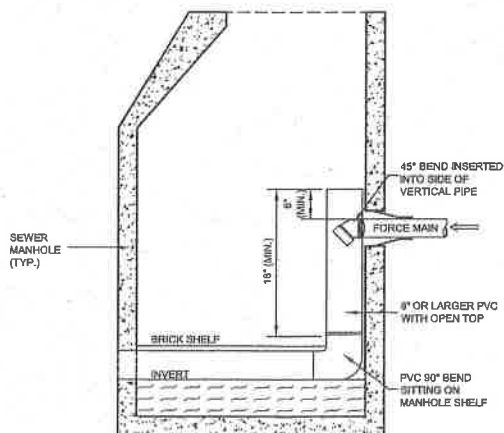
- ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE. REFILL WITH BEDDING MATERIAL, ALSO SEE NOTE #7.
BEDDING: CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33-03 STONE SIZE NO. 67.
100% PASSING 1 INCH SCREEN
90 - 100% PASSING 3/4 INCH SCREEN
20 - 55% PASSING 3/8 INCH SCREEN
0 - 10% PASSING #4 SIEVE
0 - 5% PASSING #8 SIEVE
WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED CRUSHED STONE 1/2 INCH TO 1-1/2 INCHES SHALL BE USED.
- SAND BLANKET: GRADED CLEAN SAND FREE FROM ORGANIC MATTER, SO THAT 100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE. BLANKET MAY BE OMITTED FOR CAST IRON, DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED, HOWEVER, THAT NO STONE LARGER THAN 2 INCHES IS IN CONTACT WITH THE PIPE.
- MIRAJ 140 N FILTER FABRIC, OR APPROVED EQUAL, SHALL BE INSTALLED ABOVE PIPE.

- SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL AND ALL ROCKS OVER 6 INCHES IN LARGEST DIMENSION, OR ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.
IN CROSS COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT IF HE/SHE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER WILL BE PRESERVED FOR MAINTENANCE AND POSSIBLY RECONSTRUCTION, WHEN NECESSARY.
- BASE COURSE, IF ORDERED BY THE ENGINEER, SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE LATEST EDITION OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS."
- WOOD SHEETING, IF REQUIRED, WHERE PLACED ALONGSIDE THE PIPE AND EXTENDING BELOW MID-DIAMETER, SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
- FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

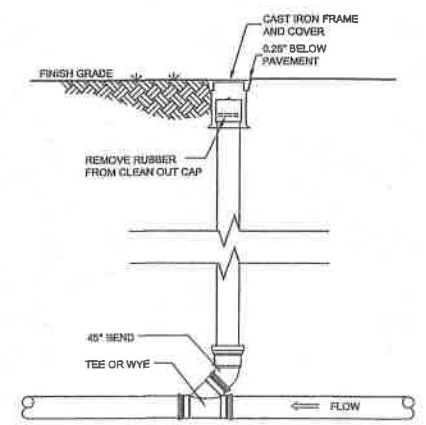
- NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES DESIGN STANDARDS REQUIRE 10 FEET OF SEPARATION BETWEEN WATER AND SEWER. HOWEVER, SHOULD CONSTRUCTION REVEAL OR EXPOSE A WATERLINE (MAIN OR SERVICE) RUNNING APPROXIMATELY PARALLEL AND LESS THAN 10 FEET HORIZONTALLY FROM THE PROPOSED SEWER INSTALLATION AND WHERE IT IS NOT PRACTICAL TO RELOCATE THE SEWER, A DEVIATION MAY BE GRANTED PROVIDED THAT THE SEWER IS CONSTRUCTED IN ACCORDANCE WITH THE FORCE MAIN CONSTRUCTION REQUIREMENT SPECIFIED BELOW:
 - FORCEMAINS SHALL BE CONSTRUCTED FROM DUCTILE IRON, HIGH DENSITY POLYETHYLENE, OR PVC PER ENV-WQ 704.06(g).
PVC SHALL CONFORM TO ASTM D2241-05 OR ASTM D1785-05
HDPE SHALL CONFORM TO ASTM D3035-03a
DI SHALL BE CORROSION PROTECTED IN CORROSIVE ENVIRONMENTS
- WHERE WATER LINES AND SEWER LINES CROSS, THEY SHOULD CROSS AS PERPENDICULAR AS POSSIBLE AND THE WATER MAIN SHALL CROSS AT LEAST 18" INCHES ABOVE THE SEWER. FURTHER, THE SEWER JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATER MAIN.
- ALL SEWERS AT 8 PERCENT SLOPE, OR GREATER, SHALL HAVE IMPERVIOUS TRENCH DAMS CONSTRUCTED EVERY 300 FEET.
- UNLESS OTHERWISE NOTED, ALL GRANULAR MATERIAL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 95% OF THE MODIFIED PROCTOR TEST.
- WHERE WATER MAINS CROSS UNDER SEWER MAINS, BOTH THE SEWER AND WATER MAINS SHALL BE PRESSURE RATED PIPE PER ENV-WQ 704.08 AND TESTED PER AWWA C800-06 AT 1.6 TIMES DESIGN PRESSURE OR 100 PSI, WHICHEVER IS GREATER, WITH NO JOINTS WITHIN 8 FEET OF THE CROSSING POINT AND 18" MINIMUM VERTICAL SEPARATION.
- GRAVITY PIPE SEWER TESTING:
 - ALL NEW GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY THE USE OF LOW-PRESSURE AIR TESTS.
 - LOW-PRESSURE AIR TESTING SHALL BE IN CONFORMANCE WITH:
 - ASTM F1417-02(2005) "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW-PRESSURE AIR" OR
 - UNI-BELL PVC PIPE ASSOCIATION UN-9-6, "LOW-PRESSURE AIR TESTING OF INSTALLED SEWER PIPE" (1998).
 - ALL NEW GRAVITY SEWERS SHALL BE CLEANED AND VISUALLY INSPECTED AND SHALL BE TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR TO USE.
 - ALL PLASTIC SEWER PIPE SHALL BE DEFLECTION TESTED NOT LESS THAN 30 DAYS FOLLOWING INSTALLATION.
 - THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 7-1/2 PERCENT OF AVERAGE INSIDE DIAMETER.



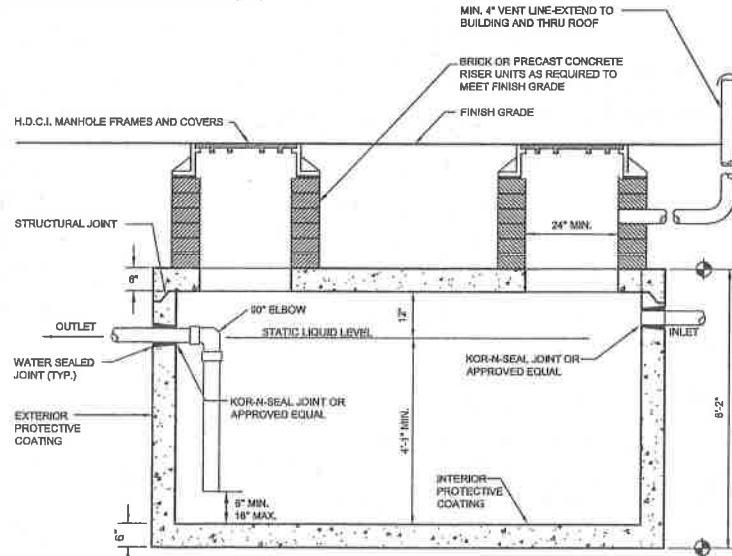
VENT DETAIL
NOT TO SCALE
(MARCH 2008)



FORCE MAIN CONNECTION TO SEWER MANHOLE
NOT TO SCALE
(MARCH 2008)



CLEANOUTS ON SERVICE LATERALS (4" OR 6")
NOT TO SCALE
(MARCH 2008)



1,000 GALLON GREASE TRAP SEPARATOR TANK
DESIGN LOAD HS20-44
CONCRETE MIN. 5,000 PSI @ 28 DAYS
STEEL REINFORCEMENT-ASTM A-615-79 GR.60

1,000 GAL. GREASE TRAP (H-20)
NOT TO SCALE

- DESIGN DATA & GENERAL NOTES:
- CONCRETE STRENGTH 3,000 PSI MIN. STRENGTH @ 28 DAYS
 - STEEL REINFORCEMENT - ASTM A-615 GRADE 60
 - COVER TO STEEL - 1" MIN.
 - TANKS ARE DESIGNED TO MEET ASTM C 868 AND ACI 318 WITH ASH TO H20 LOADING
 - EARTH COVER - 0 TO 4 FEET
 - CONSTRUCT JOINT - SEALED WITH 1" DIA. BUTYL RUBBER OR EQUIVALENT.
 - ALL PIPE TO STRUCTURE JOINTS SHALL BE KOR-N-SEAL OR APPROVED EQUAL.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____

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CONSTRUCTION DETAILS
ZHENG GARDEN
MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

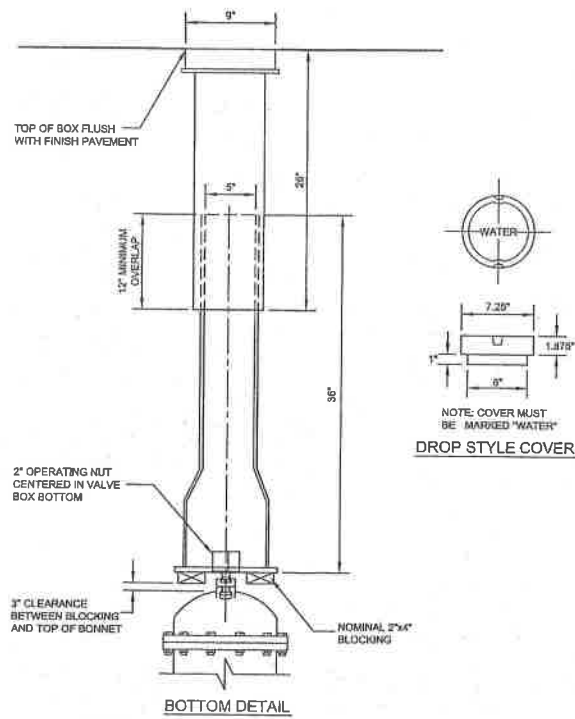
OWNER OF RECORD:
YUE YUN & ZHOU DENG ZHENG
4 PAULA CIRCLE
HUDSON, NH 03051
H.C.R.D. BK. 8462; PG. 906

APPLICANT:
YUE YUN & ZHOU DENG ZHENG
4 PAULA CIRCLE
HUDSON, NH 03051

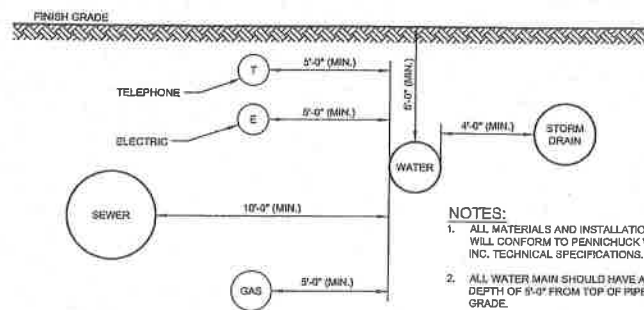
KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commarco Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	11/5/14	PER TOWN COMMENTS	BAC

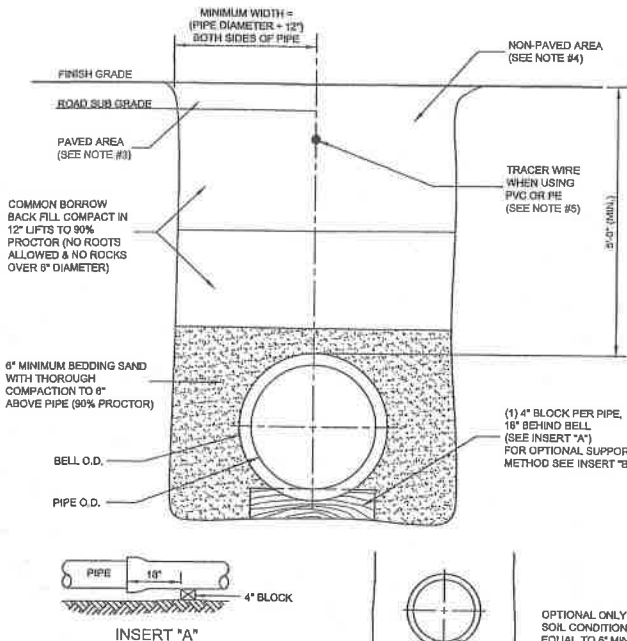
DATE: AUGUST 25, 2014
PROJECT NO: 14-0718-1
SCALE: AS SHOWN
SHEET 13 OF 15



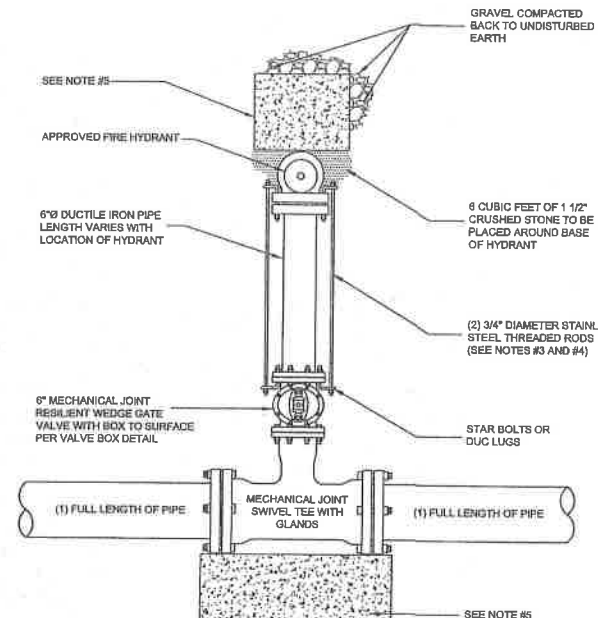
VALVE BOX DETAIL
(A-09)
NOT TO SCALE
(MARCH 2008)



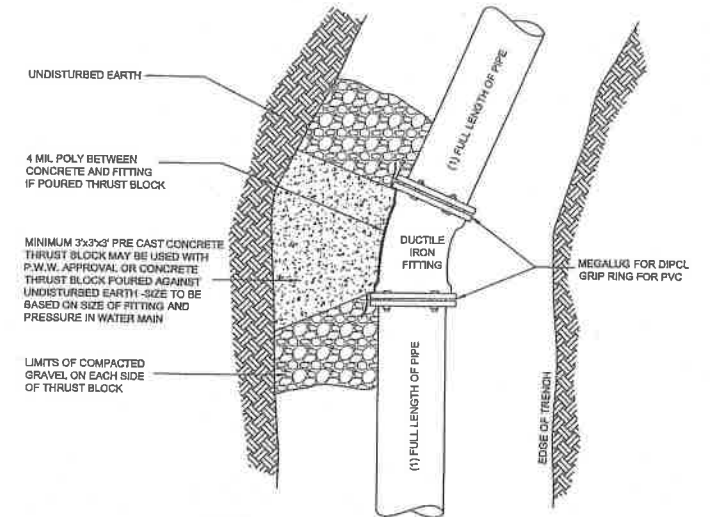
UTILITY SEPARATION (MAIN) DETAIL
(A-01)
NOT TO SCALE
(MARCH 2008)



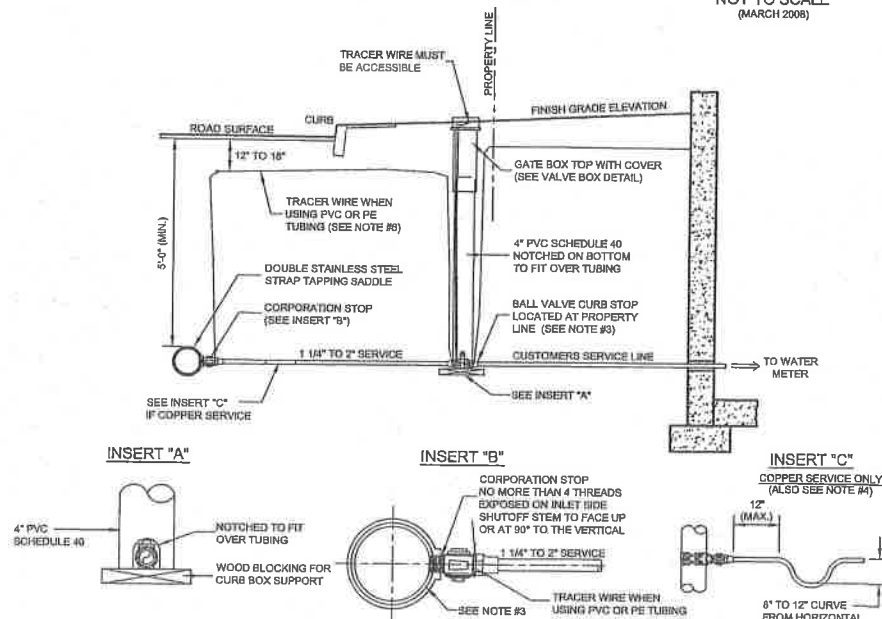
TRENCH DETAIL
(A-02)
NOT TO SCALE
(MARCH 2008)



HYDRANT INSTALLATION
(A-10)
NOT TO SCALE
(MARCH 2008)



THRUST BLOCK BEHIND FITTINGS INSTALLATION
(A-07)
NOT TO SCALE
(MARCH 2008)



1 1/4" TO 2" SERVICE AND VALVE BOX INSTALLATION DETAIL
(A-12)
NOT TO SCALE
(MARCH 2008)

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
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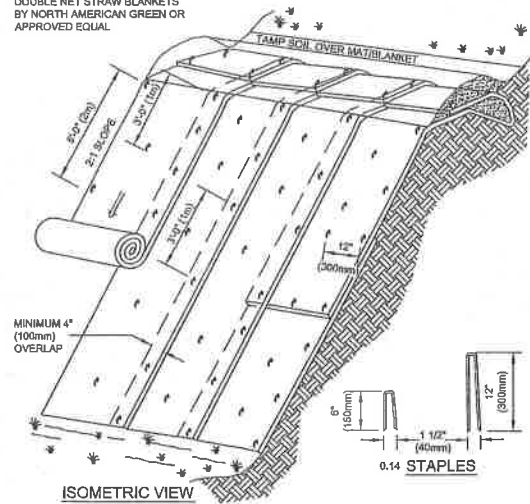
KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2861

REVISIONS

No.	DATE	DESCRIPTION	BY
1	11/5/14	DATE ONLY	BJC

DATE: AUGUST 25, 2014 SCALE: AS SHOWN
PROJECT NO: 14-0718-1 SHEET 14 OF 15

MATS/BLANKETS SHOULD BE INSTALLED VERTICALLY DOWNSLOPE AND SHALL BE DOUBLE NET STRAW BLANKETS BY NORTH AMERICAN GREEN OR APPROVED EQUAL.

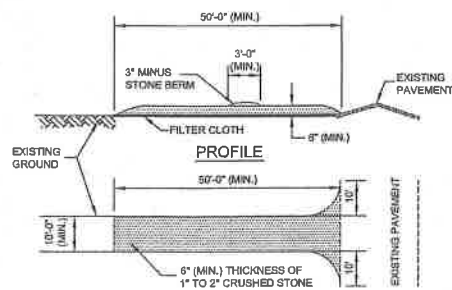


NOTES:

- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
- APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
- LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

EROSION CONTROL BLANKETS - SLOPE INSTALLATION

NOT TO SCALE
(AUGUST 2011)



STABILIZED CONSTRUCTION EXIT DETAIL

NOT TO SCALE
(MARCH 2008)

MAINTENANCE:

MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE CRUSHED STONE AND THE EFFECTIVENESS OF THE CRUSHED STONE PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW CRUSHED STONE OR COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.

IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

CONSTRUCTION SPECIFICATIONS:

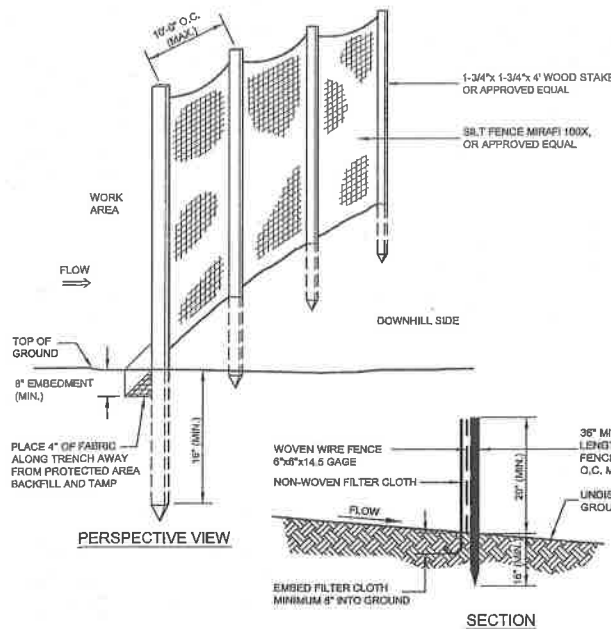
- STONE FOR A STABILIZED CONSTRUCTION EXIT SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED EXIT SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THE THICKNESS OF THE STONE FOR THE STABILIZED EXIT SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE EXIT SHALL NOT BE LESS THAN THE FULL WIDTH OF THE AREA WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION EXIT SHALL BE PIPED BENEATH THE EXIT. IF PIPING IS IMPRACTICAL, A BERM WITH 6:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

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SILT FENCE DETAIL

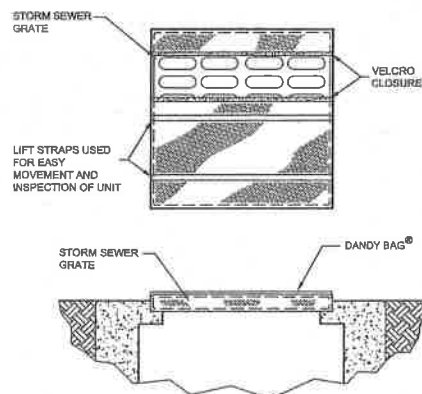
NOT TO SCALE
(MARCH 2008)

CONSTRUCTION SPECIFICATIONS:

- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIE OR STAPLES WHERE NOTED OR AS DIRECTED BY DESIGN ENGINEER.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MIDSECTION AND BOTTOM.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
- FENCE POSTS SHALL BE A MINIMUM OF 38 INCHES LONG AND DRIVEN A MINIMUM OF 18 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

MAINTENANCE:

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.



HI-FLOW DANDY BAG® (SAFETY ORANGE)

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4832	kN (lbs)	1.62 (365) x 0.88 (200)
GRAB TENSILE ELONGATION	ASTM D 4832	%	34 x 10
PUNCTURE STRENGTH	ASTM D 4833	kN (lbs)	0.40 (90)
MULLEN BURST STRENGTH	ASTM D 3786	kPa (psi)	3097 (450)
TRAPEZOID TEAR STRENGTH	ASTM D 4833	kN (lbs)	0.51 (115) x 0.33 (75)
UV RESISTANCE	ASTM D 4355	%	90
APPARENT OPENING SIZE	ASTM D 4751	mm (US Sieve)	0.425 (40)
FLOW RATE	ASTM D 4491	m ³ /min ² (gal/min ²)	5907 (143)
PERMITTIVITY	ASTM D 4491	Sec ⁻¹	1.1

DANDY BAG®
NOT TO SCALE
(APRIL 2010)

WINTER CONSTRUCTION NOTES:

- ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 80% VEGETATIVE GROWTH BY OCTOBER 15TH OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 80% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL, PER NDOT ITEM 304.3 OR, IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON, BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 80% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

CONSTRUCTION SEQUENCE

- FIRST CUT AND CLEAR TREES AND BRUSH ONLY WITHIN DESIGNATED LIMITS OF CLEARING AS NECESSARY TO FACILITATE PROPOSED CONSTRUCTION. ALL TREES, BRANCHES AND OTHER VEGETATIVE MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR. THIS PROJECT IS MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3900 RELATIVE TO INVASIVE SPECIES.
- PRIOR TO COMMENCEMENT OF ANY EARTH-MOVING OPERATIONS, ALL APPLICABLE TEMPORARY EROSION CONTROL MEASURES, INCLUDING SPECIFIED PERIMETER SILTATION FENCING AND STABILIZED CONSTRUCTION EXIT SHALL BE IN PLACE AS SHOWN ON THE PROJECT PLANS.
- COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR ORGANIC DEBRIS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR. NATIVE ORGANIC SOIL MATERIALS SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED WITHIN AREAS OUT OF THE WAY OF OTHER CONSTRUCTION ACTIVITIES AND DRAINAGE FLOW. STOCKPILES SHALL BE TEMPORARILY SEEDED WITH WINTER RYE AND BE SURROUNDED WITH HAY BALES AND/OR FABRIC SILTATION FENCE IN ORDER TO PREVENT LOSS DUE TO EROSION.
- BEGIN EARTHMOVING OPERATIONS, COMMENCING WITH WORK NEEDED TO BALANCE SITE AND FACILITATE BUILDING FOUNDATION CONSTRUCTION. PERMANENT DOWNSLOPE WORK SHALL BE PROTECTED FROM UPGRADIENT STORMWATER FLOW BY THE CONSTRUCTION OF TEMPORARY EARTHEN DIKES OR EXCAVATED SWALES.
- ONCE BUILDING FOUNDATION WORK IS UNDERWAY, CONTINUE EARTHMOVING OPERATIONS UNTIL DESIGN SUBGRADE IS ACHIEVED.
- INSTALL DRAINAGE SYSTEMS AND OTHER UTILITIES WORKING FROM LOW TO HIGH. INCOMPLETE WORK SHALL BE PROTECTED FROM SILTATION BY THE USE OF SILTATION BARRIERS AROUND SWALES UNTIL THE SITE HAS BECOME FULLY STABILIZED.
- PLACE GRAVEL AND CRUSHED GRAVEL OVER PROPOSED DRIVEWAY, WALKS AND PARKING AREAS AND COMPACT IN SPECIFIED LIFT THICKNESS.
- COMPLETE EXCAVATION/STABILIZATION GRADING ACTIVITIES. WHEN COMPLETE, IMMEDIATELY BEGIN TOPSOILING PROPOSED TURF AREAS USING STOCKPILED LOAM SUPPLEMENTED WITH BORROW LOAM, IF NECESSARY, TO LEAVE A THICKNESS OF 4 INCHES OF FRIABLE LOAM.
- FINE GRADE ALL FUTURE TURF AREAS AND HYDROSEED WITH THE SPECIFIED SEED MIXTURE IMMEDIATELY AFTER FINE GRADING IS COMPLETED. ALL AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
- INSTALL THE BINDER COURSE OF PAVEMENT OVER ALL DESIGNATED AREAS.
- CONTINUE TO MONITOR AND RECTIFY MINOR SITE AND SLOPE EROSION UNTIL ENTIRE SITE APPEARS TO BE COMPLETELY STABILIZED AND VEGETATED WITH A HEALTHY STAND OF TURF OR GROUND COVER. MAINTAIN SPECIFIED SILTATION/EROSION CONTROL MEASURES THROUGH ONE WINTER.
- INSTALL THE SPECIFIED WEARING COURSE OF PAVEMENT OVER THE BINDER COURSE.
- COMPLETE INSTALLATION OF LANDSCAPING, SIGNAGE AND OTHER SITE AMENITIES.

EROSION CONTROL NOTES

- EXPOSED EARTHWORK SHALL BE CONFINED TO AS LIMITED AN AREA AS IS PRACTICAL AT ANY GIVEN TIME THROUGHOUT THE CONSTRUCTION SEQUENCE. AT NO TIME SHALL MORE THAN FIVE (5) ACRES OF SITE AREA BE IN AN UNSTABLE CONDITION. NO GIVEN AREA OF THE SITE SHALL BE LEFT IN AN UNSTABILIZED CONDITION FOR A PERIOD OF TIME EXCEEDING THIRTY (30) CALENDAR DAYS.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS. IN ADDITION, SIMILAR MEASURES SHALL BE INSTALLED WHERE AND WHEN THE FIELD CONDITION, OR FIELD OPERATION OF THE INDIVIDUAL SITE CONTRACTOR, MAY WARRANT. ALL TEMPORARY EROSION CONTROL MEASURES USED SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25" OF RAINFALL OR MORE. THEY SHALL BE CLEANED AND MAINTAINED AND OTHERWISE KEPT IN AN EFFECTIVE OPERATING MANNER THROUGHOUT THE CONSTRUCTION PERIOD.
- ALL DISTURBED AREAS DESIGNATED TO BE TURF, SHALL RECEIVE A MINIMUM APPLICATION OF 4 INCHES OF LOAM (COMPACTED THICKNESS), PRIOR TO FINAL SEEDING AND MULCHING.
- ALL SWALES AND DITCHLINES SHALL BE PERIODICALLY CLEANED OF DEPOSITED SEDIMENT SO AS TO MAINTAIN AN EFFECTIVE GRADE AND CROSS SECTION. ALL SWALES AND DITCHLINES SHALL BE FULLY STABILIZED PRIOR TO HAVING STORMWATER DIRECTED TOWARDS THEM.
- IN THE EVENT THAT, DURING CONSTRUCTION OF ANY PORTION OF THIS PROJECT, A WINTER SHUTDOWN IS NECESSARY, THE CONTRACTOR SHALL STABILIZE ALL INCOMPLETE WORK AND PROVIDE FOR SUITABLE METHODS OF DIVERTING RUNOFF IN ORDER TO ELIMINATE SHEET FLOW ACROSS FROZEN SURFACES.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 80% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- DUST SHALL BE CONTROLLED BY THE USE OF WATER AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD, IN ACCORDANCE WITH ENV-A 1003.
- IN NO WAY ARE THOSE TEMPORARY EROSION CONTROL MEASURES INDICATED ON THESE PLANS TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT IN INSTALLING SUPPLEMENTARY EROSION CONTROL MEASURES WHERE AND WHEN SPECIFIC SITE CONDITIONS AND/OR CONSTRUCTION METHODOLOGIES MAY WARRANT.
- AREAS HAVING FINISH GRADE SLOPES OF 3:1 OR STEEPER, SHALL BE STABILIZED WITH JUTE MATTING WHEN AND IF FIELD CONDITIONS WARRANT, OR IF SO ORDERED. JUTE MATTING INSTALLED TO CONFORM WITH THE RECOMMENDED BEST MANAGEMENT PRACTICE OUTLINED IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION."
- ALL DETENTION PONDS AND TREATMENT SWALES SHALL BE CONSTRUCTED PRIOR TO ANY EARTH MOVING ACTIVITIES THAT WILL INFLUENCE STORMWATER RUNOFF.
- ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

CONSTRUCTION DETAILS
ZHENG GARDEN
MAP 204; LOT 5
LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
YUE YUN & ZHOU DENG ZHENG
4 PAULA CIRCLE
HUDSON, NH 03051
H.C.R.D. BK. 8452; PG. 906

APPLICANT:
YUE YUN & ZHOU DENG ZHENG
4 PAULA CIRCLE
HUDSON, NH 03051

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY
1	11/5/14	DATE ONLY	BJC

DATE: AUGUST 25, 2014 SCALE: AS SHOWN
PROJECT NO: 14-0718-1 SHEET 15 OF 15

22 A Street Subdivision Plan

STAFF REPORT

December 10, 2014

SITE: 22 A Street -- Map 191/Lot 053 -- SB# 10-14

ZONING: TR -- Minimum lot size 10,000 sf and 90 ft. of frontage.

PURPOSE OF PLAN: is to subdivide 1 building lot from the 30,272 sf parent tract in a TR zone. Application Acceptance & Hearing.

SUBDIVISION PLAN UNDER REVIEW ENTITLED: Subdivision Plan Tax Map 191 Lot 53, 22 A Street, Hudson, NH, prepared by Delaney Group, 186 Pine Hill Road, Hollis, NH 03049, dated 09/30/14, last revised 11/10/14, consisting of Sheets 1 – 5 and Notes 1 – 11 are included in the Recording Sheet 2 of 5 (said plan is attached herewith).

ATTACHMENTS:

- 1) Subdivision Application, Waiver Request Form, and Aerial Photo, showing features within 200 ft. of the subdivision, date stamped Oct 1, 2014 – Attachment “A”.
- 2) Comments from: Zoning Administrator, Kevin Delaney, Asst. Town Eng., Gary Webster, Asst. Assessor, Jim Michaud, Road Agent, Kevin Burns, Deputy Fire Chief, John O’Brien and the Police Dept. – “B”.

OUTSTANDING ISSUES:

1. This 1-lot subdivision meets or exceeds the net contiguous upland requirements found in the Zoning Ordinance for lots located within the T-R Zoning District (minimum lot size 10,000 sf and 90 ft. of frontage). Since this plan is a simple subdivision of 1 lot into two, with no road construction involved or offsite improvements (i.e., except for the radius area proposed on the southeast corner of proposed Lot 053-001), it was reviewed by in-house staff only. Please see staff comments included in attachment “B”.
2. The existing dwelling, shown on proposed Lot 053-000, received an Equitable Waiver from the ZBA (see ZBA Decision on same included in Zoning Administrator’s comments, included in attachment “B”), relative to its encroachment into the front setback.
3. This plan does not include wetland or wetland buffer impacts. To this effect, please see Hall Chart on Sheet 2 of 4 and Plan Sheets.
4. The following notes are now included on the Recording Sheet, i.e., Sheet 2 of 5:
 1. *A cost allocation procedure (CAP) amount of \$1,081.77 per residential unit shall be paid prior to the issuance of a Certificate of Occupancy.*
 2. *A public school impact fee in the amount of \$3,578.00, per residential unit shall be paid prior to the issuance of a Certificate of Occupancy.*
 3. *A recreation contribution in the amount of \$400.00, per residential unit shall be paid prior to the issuance of a Certificate of Occupancy.*

4. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday.

5. Relative to creating a radius at the southeast corner of proposed Lot 053-001, the 86 sf “Area of Dedication”, should be conveyed to the Town prior to the issuance of a CO for the dwelling proposed on said lot.

6. Sheet 3 of 5 shows the unobstructed 400 ft. safe sight distances for both driveways.

REQUESTED WAIVER: §193-10.H. – Driveway in Side Setback

APPLICATION TRACKING:

1 OCT 14 - Application submitted, but delayed for the need of an Equitable Waiver for the existing dwelling setback encroachment.

10 DEC 14 - Initial public hearing scheduled.

RECOMMENDED ACTION: For this meeting, staff recommends application acceptance, conduct the public hearing and subdivision approval in accordance with the below DRAFT MOTIONS.

DRAFT MOTIONS:

I move to accept the 2-lot Subdivision application at 22 A Street, Map 191/Lot 053.

Motion by: _____ Second: _____ Carried/Failed: _____

I move to defer the public hearing on this Subdivision application date specific to the January 14, 2015 Planning Board meeting.

Motion by: _____ Second: _____ Carried/Failed: _____

REQUESTED WAIVER:

- § 193-10.H. Driveway in side setback.

I move to grant the requested waiver - § 193-10.H. Driveway in Side Setback – because the proposed driveway will provide the most feasible/reasonable means of access to the existing dwelling’s main entranceway, and in the immediate vicinity of this dwelling several other residential properties include driveways within their respective side setbacks, therefore, the granting of this waiver does not negatively affect surrounding property values and is not contrary to the spirit of the regulations.

Motion by: _____ Second: _____ Carried/Failed: _____

MOTION to APPROVE:

I move to approve the subdivision plan entitled: Subdivision Plan Tax Map 191 Lot 53, 22 A Street, Hudson, NH, prepared by Delaney Group, 186 Pine Hill Road, Hollis, NH 03049, dated 09/30/14, last revised 11/10/14, consisting of Sheets 1 – 5 and Notes 1 – 11, in accordance with the following terms and conditions:

1. All stipulations of approval shall be incorporated into the Decision of Approval, which shall be recorded at the HCRD, together with the Plan.
2. A cost allocation procedure (CAP) amount of \$1,081.77 per residential unit shall be paid prior to the issuance of a Certificate of Occupancy.
3. A public school impact fee in the amount of \$3,578.00, per residential unit shall be paid prior to the issuance of a Certificate of Occupancy.
4. A recreation contribution in the amount of \$400.00, per residential unit shall be paid prior to the issuance of a Certificate of Occupancy.
5. All monumentation shall be set or bonded for prior to the Planning Board endorsing the Plan-of -Record.
6. Approval of this plan shall be subject to final engineering review, including the location of the driveways for each lot.

Motion by: _____ Second: _____ Carried/Failed: _____.

PROJECT NARRATIVE

1 Lot Subdivision Plan

October 1, 2014

Project Location:

22 A Street
Hudson, NH

Applicant:

William Frusteri
22 A Street
Hudson, NH 03051

Plan Prepared By:

DELANEY GROUP, LLC
186 Pine Hill Road
Hollis, NH 03049
603-882-4655



Project Description: 1 lot subdivision

The applicant is proposing to subdivide 1 building lot from the parent tract located at 22 A Street.

Parent Tract:

Address: 22 A Street, Hudson, NH 03051
Tax Map: Map 191 Lot 053
Area: 30,272 Sq. Ft.
Zone: TR – Town Residence

A cont.

**SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: September 10, 2014 Tax Map #191 Lot # 053

Name of Project: Frusteri - Minor Subdivision

Zoning District: _____
(For Town Use)

General SB# 10-14
(For Town Use)

ZBA Action: N/A

PROPERTY OWNER:

DEVELOPER:

Name: William Frusteri

Address: 22 A Street

Address: Hudson, NH 03051

Telephone # 978-375-4358

Fax # _____

Email: _____

PROJECT ENGINEER

Name: Delaney Group, llc

Address: 186 Pine Hill Road

Address: Hollis, NH 03049

Telephone # 603-882-4655

Fax # _____

Email: paul@delaneysurveying.com

PURPOSE OF PLAN:

The purpose of the plan is to subdivide 1 building lot from the 30,272 s.f. parent tract in a TR zone

(FOR TOWN USE)

Plan Routing Date: 10-2-14

Sub/Site Date: PA Mtg. 10-22-14

_____ I have no comments

_____ I have comments (attach to form)

Title: _____ Date: _____

(Initials)

DEPT:

_____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning

_____ Consultant _____ Highway Department

Fees Paid _____

SITE DATA SHEET

Plan Name: Frusteri minor subdivision

Plan Type: Subdivision Plan

Legal Description: Map 191 Lot 53

Map _____ Lot _____

Date: 10/01/14

Location: 22 A Street

Total Area: S.F. 30,272 Acres: 0.69

Area in Wetlands: 0

Zoning: TR : TOWN RESIDENCE

Lots Not Meeting
Required Dimensions: 0

Required Area: 10,000 s.f

Required Frontage: 90'

Water and Waste System Proposed: Municipal sewer and Pennichuck water

Number of Lots With
Existing Buildings: 1

Existing Buildings To Be Removed: 0

Flood Zone Reference: not in flood zone- note on plan

Proposed Linear Feet
Of New Roadway: N/A

LOT AREA CALCULATION TABLE

LOT #	TOTAL AREA	WETLAND AREA	AREA > 25% SLOPE	BUILDABLE AREA (net contiguous upland useable)	FRONTAGE
191-053	19,264 S.F. 0.44 AC.	0 S.F.	0 S.F.	19,264 S.F.	140'
191-053-1	10,922 S.F. 0.25 AC.	0 S.F.	0 S.F.	10,922 S.F.	117.6'

Data Sheets Checked By: _____ Date: _____

**APPLICATION FOR SUBDIVISION PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Twenty one (21) days prior to Planning Board Meeting, a complete subdivision plan to include all supporting materials/documents must be submitted in final form. The subdivision plan shall comply with the following specifications/requirements:

**Applicant
Initials**

**Staff
Initials**

- | | | |
|---------------|--|----|
| <u>PJD</u> a) | Submission of eight (8) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M. Tuesday the week prior to the scheduled public hearing/conceptual review date. | JC |
| <u>PJD</u> b) | Seventeen (17)-subdivision narratives, describing the project. | JC |
| <u>PJD</u> c) | Plan scale at not less than one inch equals fifty feet (example: 1" = 50' acceptable). | JC |
| <u>PJD</u> d) | Locus plan with 1,000 minimum radius of site to surrounding area. | JC |
| <u>PJD</u> e) | Plan dated by day/month/year. | JC |
| <u>PJD</u> f) | Revision block. | JC |
| <u>PJD</u> g) | Planning Board approval block. | JC |
| <u>PJD</u> h) | Title of project inscribed on plan. | JC |
| <u>PJD</u> i) | Name(s) and address of property owner(s) and signature(s) shall be inscribed on plan. | JC |
| <u>PJD</u> j) | North point shall be inscribed on plan. | JC |
| <u>PJD</u> k) | Property lines-exact locations and dimensions. | JC |
| <u>PJD</u> l) | Acreage/sq. ft. of entire subdivision. | JC |
| <u>PJD</u> m) | Proposed lots, with lot numbers and area of each lot. Note: each proposed Lot shall be listed on the plan, in chart form, indicating in square feet/ acreage the total lot area, wetland, slope area greater than 25% and total net contiguous useable upland area. | JC |

Applicant
Initials

Staff
Initials

PJD n) Certified list of names and addresses of bordering abutters, shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on plan.

JC

PJD o) Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve area, floodways/floodplains, driveways, travel areas, parking areas, natural features within 200 feet of the tract.

JC

PJD p) Locations of existing and proposed permanent monuments and benchmarks within 200 feet of the tract.

JC

PJD q) Pertinent highway projects.

JC

PJD r) Assessor map and lot number.

JC

N/A s) Waiver application form shall be submitted with subdivision application, Note on plan listing waivers requested/granted; and all waivers granted to the subdivision regulations shall be listed on the final plan.

PJD t) Delineate zoning.

JC

PJD u) Storm water drainage plan.

JC

PJD v) Topographical contours at 2-foot intervals existing and proposed.

JC

PJD w) Utilities: existing and proposed.

JC

PJD x) Building and wetland setback lines.

JC

PJD y) Rights of way, existing and proposed.

JC

PJD z) Location of dedicated recreational public use land(s) proposed.

JC

N/A aa) Detailed designs of bridges and culverts.

N/A

PJD ab) Typical roadway cross-section, road profile, stationing, and curve data, etc.

JC

Applicant
Initials

Staff
Initials

N/A ac) Proposed location of water supply and sewage disposal systems, including perk test data, test-pit logs and locations; wells, (proposed and existing) 75' protective well radii and attached copies of any required well protection easements.

Town Water
& Sewer
JC

PJD ad) All notes from plats.

JC

N/A ae) Buffers as required by subdivision regulations.

N/A

N/A af) Soil types and boundaries, Note: If site contains marginal or questionable soils, a High Intensity Soil Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire Certified Soil Scientist, who shall affix his/her stamp and signature and this shall be inscribed on the plan.

N/A

N/A ag) Wetlands (and poorly-drained and very poorly-drained soils), also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire Certified Wetland or Soil Scientist, who shall affix his/her stamp and signature to the respective plan.

N/A

PJD ah) Easements, existing and proposed.

JC

PJD ai) State of New Hampshire Engineer's seal and signature. Surveyor's seal and signature.

JC

PJD aj) Error of closure (1 in 10,000 or better).

JC

PJD ak) Drafting errors/omissions.

JC

N/A al) Note outlining phasing schedule.

N/A

N/A am) Narrative description stating the purpose, location, long range plans impacts on traffic, schools, and utilities.

N/A

PJD an) Aerial photograph of site and area within 200 feet of the subdivision parcel.

JC

N/A ao) Fiscal impact study.

N/A

N/A ap) Traffic study.

N/A

PJD aq) Drainage calculations and supporting data.

JC

Applicant
Initials

Staff
Initials

N/A ar) Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents.

JC N/A

N/A as) Copy of applicable town, state, federal approval/permits to include but not limited to the following:

w/it

- sewer applications
- flood plain permit
- wetlands special exception
- variance
- erosion control permit (149:8a)
- WSPCC subdivision approval (septic)
- dredge and fill permit
- curb cut/driveway permit
- shore land protection certification in accordance with RSA483-B.
- if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.

N/A at) Off-site agreement(s).

N/A

N/A au) Presentation plan (colored, with color-coded bar chart).

JC N/A

_____ av) Fees paid to clerk.

JC

PJD aw) Plans that include relocation of lot lines shall clearly delineate the former (old) lot lines from proposed (new) lot lines.

JC

- Any or all items may be waived under the purview of the Planning Board.

**APPLICATION FOR SUBDIVISION PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Subdivision Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Subdivision Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s), by the filing of this application as indicated above, hereby give permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and inspections conducted on his (their) property in connection with this applications.

Signature of Owner: Walter J. Est

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: Walter J. Est

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

Technical Review Signature: _____

Planner Approval Signature: John O'Neil

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: Frusteri Subdivision aka 22 A Street subdivision
Street Address: 22 A Street

I William Frusteri hereby request that the Planning Board waive the requirements of item Requested
Waiver: § 193-10.H. Driveway within side setback.

Delaney Group, LLC (name of surveyor and engineer) dated 9/30/14

Revised through 11-10-14 for property tax map(s) 191 and lot 053 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The location of the existing entrance to the house is on the right side of the house and to place the driveway within the side setback would require locating it on the opposite side of the house from the entrance causing the occupant to have to walk around the house to gain entrance. The existing grading is such that the proposed driveway location would be the cause the least impact to the site and makes the most sense.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

This is an older neighborhood with abutters sharing similar characteristics as several driveways are in the side setback and therefor the proposed driveway as shown on the plan set does not negatively affect surrounding property values and is not contrary to the spirit of the regulation.

Signed: Paul J. Delaney (AGENT)
Applicant or Authorized Agent

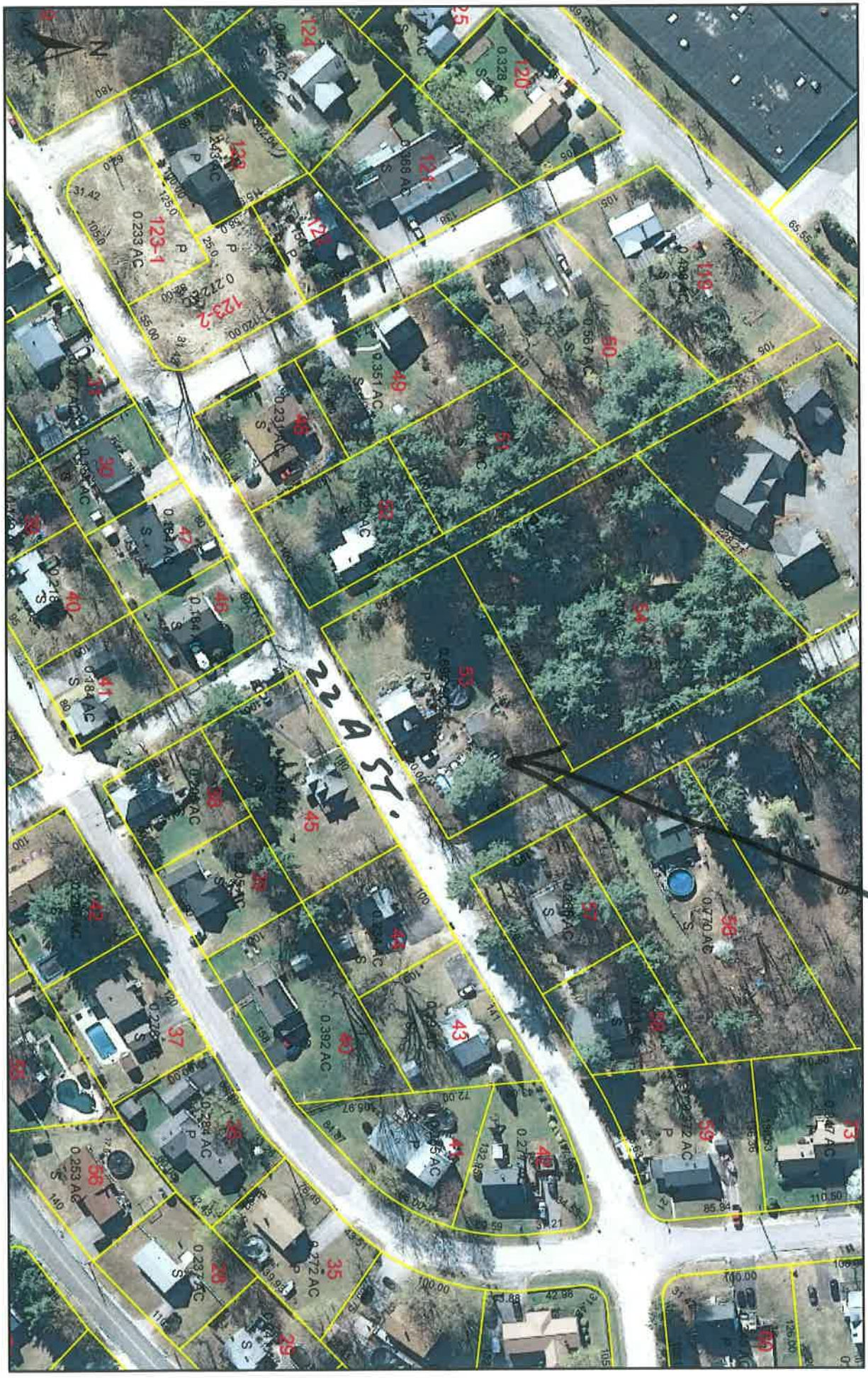
Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____



22 A Street, Hudson, NH



November 20, 2014

- Parcels - Aerials
- Parcels

1 inch = 122 feet



"B"

SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: September 10, 2014 Tax Map #191 Lot # 053

Name of Project: Frusteri - Minor Subdivision

Zoning District: _____
(For Town Use)

General SB# 10-14
(For Town Use)



ZBA Action: N/A

PROPERTY OWNER:

DEVELOPER:

Name: William Frusteri

Address: 22 A Street

Address: Hudson, NH 03051

Telephone # 978-375-4358

Fax # _____

Email: _____

PROJECT ENGINEER

Name: Delaney Group, llc

Address: 186 Pine Hill Road

Address: Hollis, NH 03049

Telephone # 603-882-4655

Fax # _____

Email: paul@delaneysurveying.com

PURPOSE OF PLAN:

The purpose of the plan is to subdivide 1 building lot from the 30,272 s.f. parent tract in a TR zone

(FOR TOWN USE)

Plan Routing Date: 10-2-14

Sub/Site Date: 10-22-14

_____ I have no comments

I have comments (attach to form)

(Initials)

Title: Zoning Administrator

Date: 10/6/14

DEPT:

KWD Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning
_____ Consultant _____ Highway Department

* Driveway falls within 15' setback. Waiver Req'd. KWD 10/6/14

Fees Paid _____

Hudson Town Hall
Hudson Zoning Board
12 School Street
Hudson, NH 03051

Town of Hudson

Zoning Board of Adjustment

Decision to Grant an Equitable Waiver

On **November 13, 2014**, the members of the Hudson Zoning Board of Adjustment, as part of its regular public meeting for that date, heard **Case 191-053**, pertaining to a request by **William & Jean Frusteri, 22 A Street, to allow an Equitable Waiver for an existing building which falls into the 30 foot setback**. [Map 191, Lot 053, Zoned TR, HZO Article VIII, Section 334-31, Alteration and expansion of Non-conforming Structures

Following a review of the testimony and deliberation, a majority of the members of this Zoning Board voted to grant the requested equitable waiver.

For details of specific discussion relative to this decision, please consult the public minutes recorded during this hearing.

All representations of fact or intention made by the applicant or any applicant's representative(s) during testimony before the Zoning Board of Adjustment relative to the obtaining of this Equitable Waiver permit shall be considered conditions of the Equitable Waiver, regardless of the fact that such facts or intentions may not have been specifically stated as part of the motion to grant.

In the event that the requested use subsequently is found by the Hudson Zoning Administrator to demonstrate deliberate or preventable lack of compliance with any applicable stipulation or restrictions, including the verbally specified restrictions described in the preceding paragraph, such use shall be held to be in violation of the covenant made with the Board, and corrective action(s) will be enforced under N.H. R.S.A. 676:17, Fines and Penalties, which allows a civil penalty of \$275 for the first offense and \$550 for subsequent offenses for each day that such violation is found to continue, as well as recovery of costs and reasonable attorney's fees.

Signed:

Chairman, Hudson Zoning Board of Adjustment

Date: _____

Signed:

Zoning Administrator

Date: _____

**SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: September 10, 2014 Tax Map #191 Lot # 053



Name of Project: Frusteri - Minor Subdivision

Zoning District: _____
(For Town Use)

General SB# 10-14
(For Town Use)

ZBA Action: N/A

PROPERTY OWNER:

DEVELOPER:

Name: William Frusteri

Address: 22 A Street

Address: Hudson, NH 03051

Telephone # 978-375-4358

Fax # _____

Email: _____

PROJECT ENGINEER

Name: Delaney Group, llc

Address: 186 Pine Hill Road

Address: Hollis, NH 03049

Telephone # 603-882-4655

Fax # _____

Email: paul@delaneysurveying.com

PURPOSE OF PLAN:

The purpose of the plan is to subdivide 1 building lot from the 30,272 s.f. parent tract in a TR zone

(FOR TOWN USE)

Plan Routing Date: 10-2-14 Sub/Site Date: 10-22-14 *PA Mtg.*

I have no comments I have comments (attach to form)

GLW Title: Town TR. Servicing Date: 10/2/14
(Initials)

DEPT: _____

Zoning Engineering Assessor _____ Police _____ Fire _____ Planning _____
_____ Consultant _____ Highway Department _____

Fees Paid _____

D: SARA CASSELL

from G.W.

10/2/14

Map 191 - Lot 53

Low

REVIEWING PLAN FOR DRAINAGE ARE

IN SIDE AND SETBACKS NOT SHOWN

LAND USE REGULATIONS DRAINAGE 193-10-H

DRAINAGE ARE NOT PERMITTED IN SIDE OR REAR

SETBACKS - LOT 191-053-001 DRAINAGE SHALL

BE ON F ST. 193-¹⁰⁻~~13~~ G ONE DRAINAGE PER

PARCEL HAVING ADEQUATE FRONTAGE.

**SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: September 10, 2014 Tax Map #191 Lot # 053

Name of Project: Frusteri - Minor Subdivision

Zoning District: _____ (For Town Use) General SB# 10-14 (For Town Use)

ZBA Action: N/A

PROPERTY OWNER:

Name: William Frusteri
Address: 22 A Street
Address: Hudson, NH 03051
Telephone # 978-375-4358
Fax # _____
Email: _____

DEVELOPER:



PROJECT ENGINEER

Name: Delaney Group, llc
Address: 186 Pine Hill Road
Address: Hollis, NH 03049

Telephone # 603-882-4655
Fax # _____
Email: paul@delaneysurveying.com

PURPOSE OF PLAN:

The purpose of the plan is to subdivide 1 building lot from the 30,272 s.f. parent tract in a TR zone

(FOR TOWN USE)

Plan Routing Date: 10-2-14 Sub/Site Date: 10-22-14 *PA Mtg.*

I have no comments I have comments (attach to form)

SB (Initials) Title: Deputy Fire Chief Date: 10/6/2014

DEPT: Zoning Engineering Assessor Police Fire Planning

Consultant Highway Department

Fees Paid _____

**SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**



Date of Application: September 10, 2014 Tax Map #191_Lot # 053

Name of Project: Frusteri - Minor Subdivision

Zoning District: _____
(For Town Use)

General SB# 10-14
(For Town Use)

ZBA Action: N/A

PROPERTY OWNER:

DEVELOPER:

Name: William Frusteri

Address: 22 A Street

Address: Hudson, NH 03051

Telephone # 978-375-4358

Fax # _____

Email: _____

PROJECT ENGINEER

Name: Delaney Group, llc

Address: 186 Pine Hill Road

Address: Hollis, NH 03049

Telephone # 603-882-4655

Fax # _____

Email: paul@delaneysurveying.com

PURPOSE OF PLAN:

The purpose of the plan is to subdivide 1 building lot from the 30,272 s.f. parent tract in a TR zone

(FOR TOWN USE)

Plan Routing Date: 10-2-14 Sub/Site Date: 10-22-14 *PA Mtg.*

I have no comments I have comments (attach to form)

KB Title: ROAD ACCT Date: 10/6/14
(Initials)

DEPT: _____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning _____
_____ Consultant _____ Highway Department

Fees Paid _____

**SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: September 10, 2014 Tax Map #191_Lot # 053



Name of Project: Frusteri - Minor Subdivision

Zoning District: _____
(For Town Use)

General SB# 10-14
(For Town Use)

ZBA Action: N/A

PROPERTY OWNER:

DEVELOPER:

Name: William Frusteri

Address: 22 A Street

Address: Hudson, NH 03051

Telephone # 978-375-4358

Fax # _____

Email: _____

PROJECT ENGINEER

Name: Delaney Group, llc

Address: 186 Pine Hill Road

Address: Hollis, NH 03049

Telephone # 603-882-4655

Fax # _____

Email: paul@delaneysurveying.com

PURPOSE OF PLAN:

The purpose of the plan is to subdivide 1 building lot from the 30,272 s.f. parent tract in a TR zone

(FOR TOWN USE)

Plan Routing Date: 10-2-14 Sub/Site Date: 10-22-14 *PK Mtg.*

I have no comments I have comments (attach to form)

(Initials) [Signature] Title: Asst. Assessor Date: 10-7-14

DEPT: _____

Zoning Engineering Assessor Police Fire Planning

Consultant Highway Department

Fees Paid _____

**SUBDIVISION PLAN APPLICATION FOR PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: September 10, 2014 Tax Map #191 Lot # 053



Name of Project: Frusteri - Minor Subdivision

Zoning District: _____
(For Town Use)

General SB# 10-14
(For Town Use)

ZBA Action: N/A

PROPERTY OWNER:

DEVELOPER:

Name: William Frusteri

Address: 22 A Street

Address: Hudson, NH 03051

Telephone # 978-375-4358

Fax # _____

Email: _____

PROJECT ENGINEER

Name: Delaney Group, llc

Address: 186 Pine Hill Road

Address: Hollis, NH 03049

Telephone # 603-882-4655

Fax # _____

Email: paul@delaneysurveying.com

PURPOSE OF PLAN:

The purpose of the plan is to subdivide 1 building lot from the 30,272 s.f. parent tract in a TR zone

(FOR TOWN USE)

Plan Routing Date: 10-2-14 Sub/Site Date: 10-22-14 *PK Mtg.*

I have no comments I have comments (attach to form)

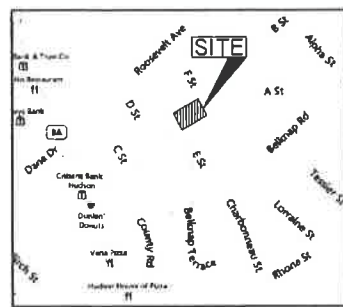
[Signature] Title: LIEUTENANT Date: 10/8/14
(Initials)

DEPT: _____

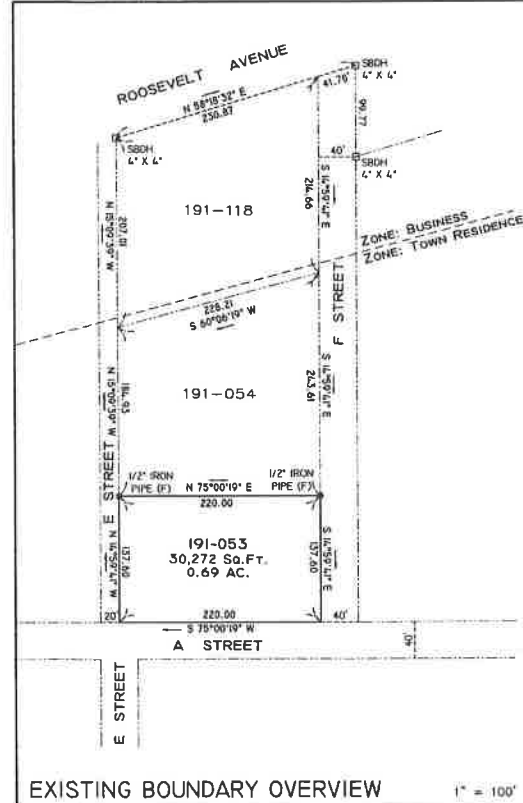
Zoning Engineering Assessor Police Fire Planning

Consultant Highway Department

Fees Paid _____



VICINITY MAP

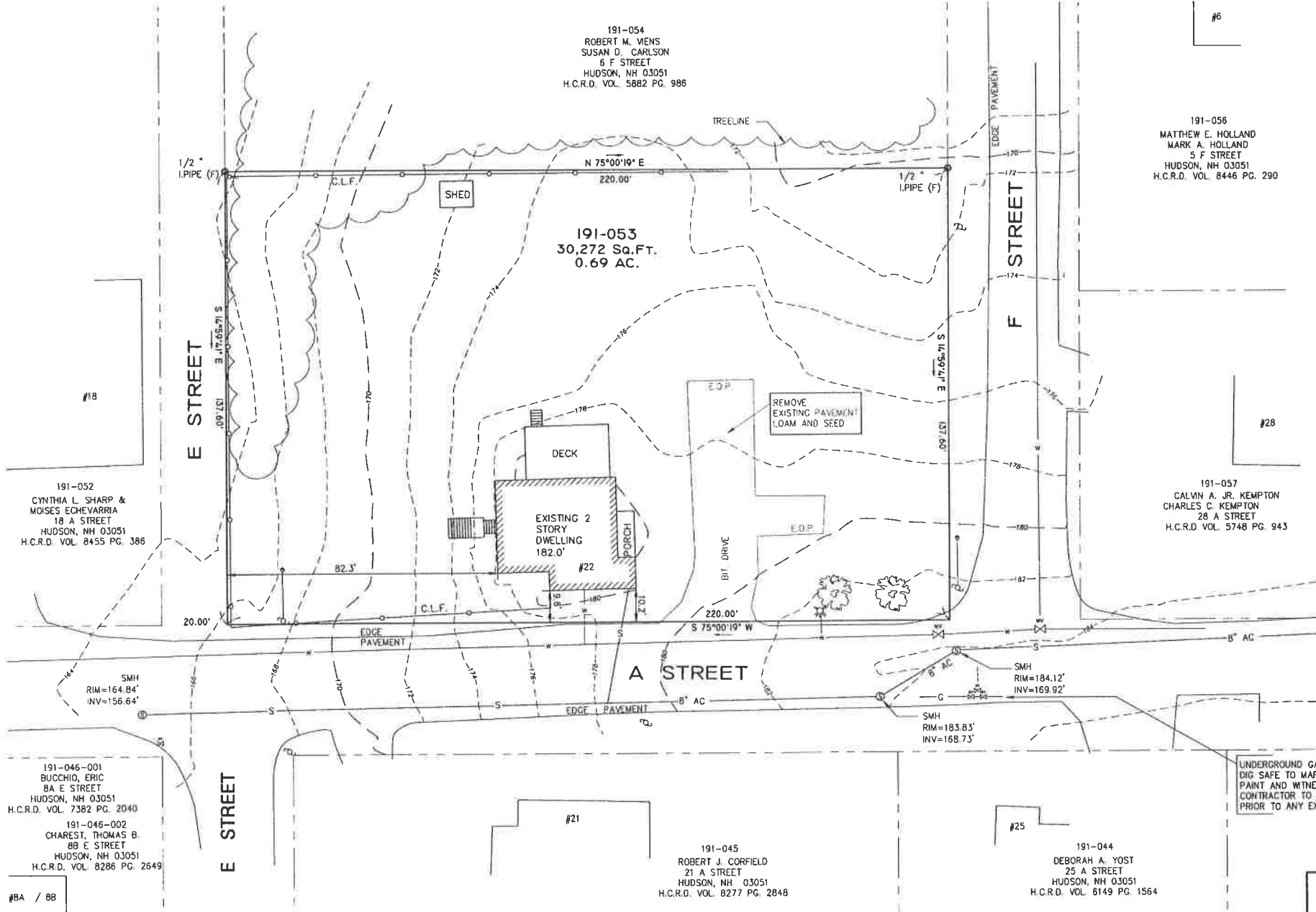


EXISTING BOUNDARY OVERVIEW 1" = 100'

- LEGEND**
- EDGE OF PAVEMENT
 - I.P.(F) ○ IRON PIN FOUND
 - ⊙ IRON PIN TO BE SET
 - ⊕ UTILITY POLE
 - 182--- MINOR CONTOUR INTERVAL
 - 180--- MAJOR CONTOUR INTERVAL
 - STONE BOUND TO BE SET
 - CHAIN LINK FENCE
 - ⊙ SEWER MAN HOLE



NO.	DATE	REVISION	BY
3	11-10-14	ADD SIGHT DISTANCE SHEET	PJD
2	11-10-14	ADD NOTES AND WAIVER	PJD
1	11-10-14	DRIVEWAY LOCATION LOT 191-053-001	PJD



- PLAN REFERENCES:**
- SUBDIVISION PLAN OF LAND IN HUDSON, NH BELONGING TO PEGGY RIGG DATED OCTOBER 6, 1973 AND RECORDED AT THE H.C.R.D. AS PLAN NO. 7328
 - PLAN OF BROOKSIDE PARK IN HUDSON, NH, DATED OCTOBER 1912 AND RECORDED AT THE H.C.R.D. AS PLAN NO. 418
 - LOT LINE REVISION PLAN ON ROOSEVELT AND F STREET IN HUDSON, NH DATED MAY 1982 AND RECORDED AT THE H.C.R.D. AS PLAN NO. 14990
 - PLAN OF WARRENVILLE OFF OF ROUTE 3A IN HUDSON, NH DATED NOVEMBER, 1948 AND RECORDED AT THE H.C.R.D. AS PLAN NO. 734

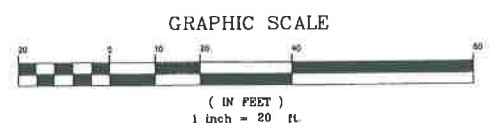
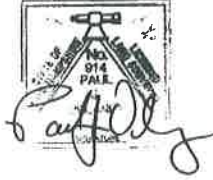
- NOTES:**
- SUBJECT PARCEL: TAX MAP 191 LOT 053
RECORD OWNERS:
WILLIAM J. AND JEAN E. FRUSTERI
22 A STREET
HUDSON, NH 03051
DEED REFERENCE:
HC RD VOL. 8149 PG. 677
 - ZONING AND DIMENSIONAL REQUIREMENTS
TR- TOWN RESIDENTIAL
MINIMUM LOT FRONTAGE: 80'
MINIMUM LOT AREA: 10,000 S.F.
MINIMUM BUILDING SETBACKS:
FRONT: 30'
SIDE: 15'
REAR: 15'
 - THE PURPOSE OF THIS PLAN SET IS TO SUBDIVIDE ONE BUILDING LOT FROM THE SUBJECT PARCEL.
 - SUBJECT PARCEL IS SERVICED BY MUNICIPAL SEWER AND PENNICHUCK WATER.
 - THE SUBJECT PARCELS DO NOT LIE WITHIN A FLOOD HAZARD AREA ACCORDING TO "FIRM" - FLOOD INSURANCE RATE MAP, TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY MAP PANEL NO 330092 00100, EFFECTIVE DATE JANUARY 3, 1979
 - A STREET AND F STREET ARE PUBLIC ROADS 40 FEET IN WIDTH RECORDS INDICATE THE EASTERLY HALF OF E STREET FROM A STREET TO ROOSEVELT AVE HAS BEEN DISCONTINUED AND OWNERSHIP TO THE CENTERLINE HAS REVERTED TO ADJUTING LOTS INCLUDING THE SUBJECT LOT. TOWN RECORDS INDICATE THAT THE 20 FEET REMAINDER OF E STREET REMAINS A PAPER STREET.
 - THERE ARE NO WETLANDS ON OR WITHIN 75' OF SITE.
 - TOPOGRAPHIC MAPPING BASED ON THE RESULTS OF AN ON THE GROUND SURVEY CONDUCTED BY THIS OFFICE DURING AUGUST, 2014. DATUM IS NGVD 29. BENCHMARK SET AS SHOWN.
 - UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RECORDS PROVIDED BY THE TOWN AND ARE APPROXIMATE IN NATURE. THIS PLAN MAY NOT SHOW ALL UNDERGROUND UTILITIES ON OR NEAR SITE. CONTRACTOR TO VERIFY LOCATION CONTRACTOR TO CALL DIG SAFE PRIOR TO ANY EXCAVATION. CONTRACTOR TO CONTACT ENGINEER WITH INFORMATION ON ADDITIONAL UTILITIES NOT SHOWN HEREON. ADJUTING DWELLING OUTLINES TAKEN FROM TOWN MAP.
 - CURRENT USE: MAP 191 PARCEL 053 : RESIDENTIAL



UNDERGROUND GAS LINES PRESENT DIG SAFE TO MARK WITH PAINT AND WITNESS FLAGS CONTRACTOR TO CONTACT DIG SAFE PRIOR TO ANY EXCAVATION

CERTIFICATION:
I CERTIFY THAT THIS PLAT IS BASED ON AN ACTUAL FIELD SURVEY CONDUCTED ON THE GROUND BY THIS OFFICE DURING AUGUST, 2014 WITH A PRECISION OF CLOSURE GREATER THAN 1 PART IN 10,000 ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

DATE 11/10/14

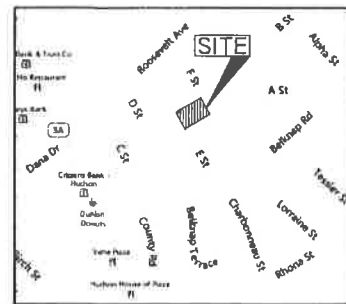


EXISTING CONDITIONS PLAN
TAX MAP 191 LOT 053
22 A STREET
Hudson, New Hampshire
PREPARED FOR:
WILLIAM FRUSTERI
22 A STREET
HUDSON, NH 03051

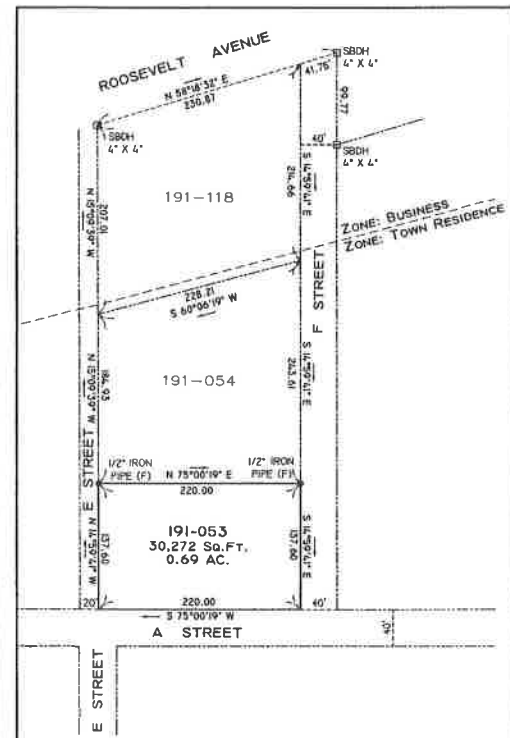
PROJECT# 14224 DWG: SUBD SCALE: AS SHOWN DATE: 09/30/14 SHEET 1 OF 5



186 Pine Hill Road Hollis, NH 03049 Tel. 603-882-4655



VICINITY MAP



EXISTING BOUNDARY OVERVIEW 1" = 100'

LEGEND

- EDGE OF PAVEMENT
- I.P.(F) IRON PIN FOUND
- ⊙ IRON PIN TO BE SET
- STONE BOUND TO BE SET
- ⊕ SEWER MAN HOLE

William J. Frusteri
OWNER MAP 191 PARCEL 053

11-10-14
DATE

191-045-001
BUCCIO, ERIC
8A E STREET
HUDSON, NH 03051
H.C.R.D. VOL. 7382 PG. 2040

191-046-002
CHAREST, THOMAS B.
88 E STREET
HUDSON, NH 03051
H.C.R.D., VOL. 8286 PG. 2649

#BA / #B

APPROVED BY THE HUDSON, NH PLANNING BOARD

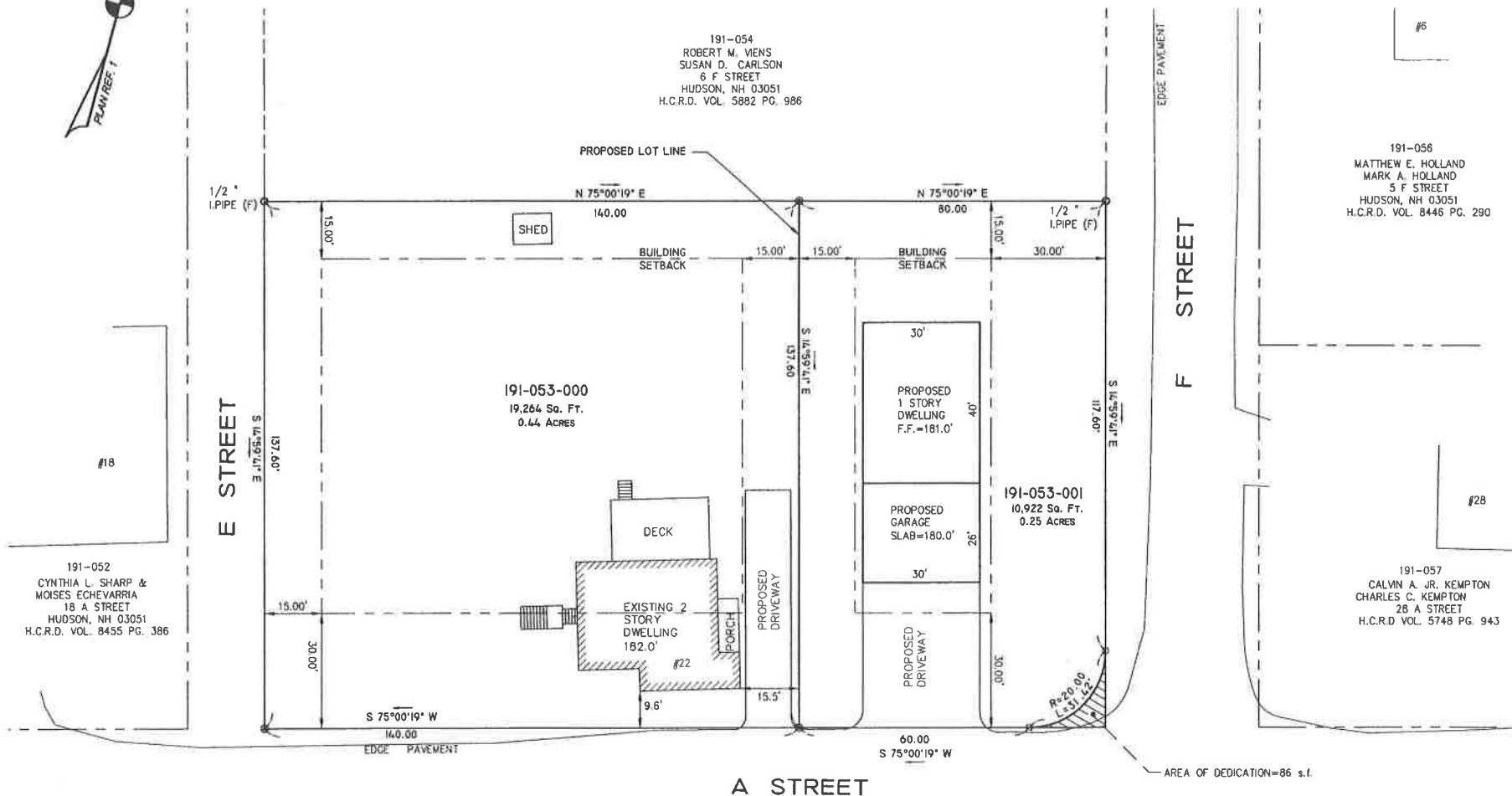
DATE OF MEETING _____

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

LOT AREA CHART

ORIGINAL PARCEL MAP 191 LOT 053: LOT AREA= 30,272 Sq.Ft. / 0.69 ACRES					
LOT	TOTAL AREA	WETLAND AREA	AREA > 25% SLOPE	BUILDABLE AREA	FRONTAGE
191-053	19,264 S.F.	0 S.F.	0 S.F.	19,264 S.F.	140.00'
191-053-1	10,922 S.F.	0 S.F.	0 S.F.	10,922 S.F.	117.00'



A STREET

AREA OF DEDICATION=86 s.f.

EDGE PAVEMENT

EDGE PAVEMENT

GRAPHIC SCALE



CERTIFICATION:

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY CONDUCTED ON THE GROUND BY THIS OFFICE DURING AUGUST, 2014 WITH A PRECISION OF CLOSURE GREATER THAN 1 PART IN 10,000 ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

DATE 11/10/14



PLAN REFERENCES:

- SUBDIVISION PLAN OF LAND IN HUDSON, NH BELONGING TO PEGGY RIGG DATED OCTOBER 8, 1973 AND RECORDED AT THE H.C.R.D. AS PLAN NO. 7328
- PLAN OF BROOKSIDE PARK IN HUDSON, NH, DATED OCTOBER 1912 AND RECORDED AT THE H.C.R.D. AS PLAN NO. 418
- LOT LINE REVISION PLAN ON ROOSEVELT AND F STREET IN HUDSON, NH DATED MAY 1982 AND RECORDED AT THE H.C.R.D. AS PLAN NO. 14990
- PLAN OF WARRENVILLE OFF OF ROUTE 3A IN HUDSON, NH DATED NOVEMBER, 1946 AND RECORDED AT THE H.C.R.D. AS PLAN NO. 734

NOTES:

- SUBJECT PARCEL: TAX MAP 191 LOT 053
RECORD OWNERS:
WILLIAM J. AND JEAN E. FRUSTERI
22 A STREET
HUDSON, NH 03051
DEED REFERENCE:
HCRD VOL. 8149 PG. 877
 - ZONING AND DIMENSIONAL REQUIREMENTS
TR- TOWN RESIDENTIAL
MINIMUM LOT FRONTAGE: 90'
MINIMUM LOT AREA: 10,000 S.F.
MINIMUM BUILDING SETBACKS:
FRONT: 30'
SIDE: 15'
REAR: 15'
 - THE PURPOSE OF THIS PLAN SET IS TO SUBDIVIDE ONE BUILDING LOT FROM THE SUBJECT PARCEL.
 - SUBJECT PARCEL IS SERVICED BY MUNICIPAL SEWER AND PENNICHUCK WATER.
 - CURRENT USE: MAP 191 PARCEL 053: RESIDENTIAL
 - FEES:
-A COST ALLOCATION PROCEDURE (CAP) IN THE AMOUNT OF \$1081.77 PER RESIDENTIAL UNIT TO BE PAID PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY
-A PUBLIC SCHOOL IMPACT FEE IN THE AMOUNT OF \$3,576.00 PER RESIDENTIAL UNIT TO BE PAID PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY
-A RECREATION CONTRIBUTION IN THE AMOUNT OF \$400.00 PER RESIDENTIAL UNIT TO BE PAID PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY
 - STREET ADDRESS TO BE ACQUIRED FROM THE HUDSON FIRE DEPARTMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT.
 - DEVELOPMENT AGREEMENT NOT REQUIRED.
 - CONSTRUCTION ACTIVITIES INVOLVING THE LOT SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 A.M. AND 7:00 P.M. MONDAY THROUGH SATURDAY. NO EXTERIOR CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAY.
 - MONUMENTS TO BE SET AT ALL NEW LOT CORNERS PRIOR TO PLANNING BOARD ENDORSEMENT.
 - THIS SUBDIVISION IS UNDERSTOOD TO BE IN COMPLIANCE WITH THE TOWN OF HUDSON ZONING ORDINANCES AS INTERPRETED BY THIS OFFICE.
- WAIVER REQUEST
Requested Waiver: § 183-10.H. Driveway within site setback.

SUBDIVISION PLAN

TAX MAP 191 LOT 053
22 A STREET
Hudson, New Hampshire
PREPARED FOR:

WILLIAM FRUSTERI
22 A STREET
HUDSON, NH 03051

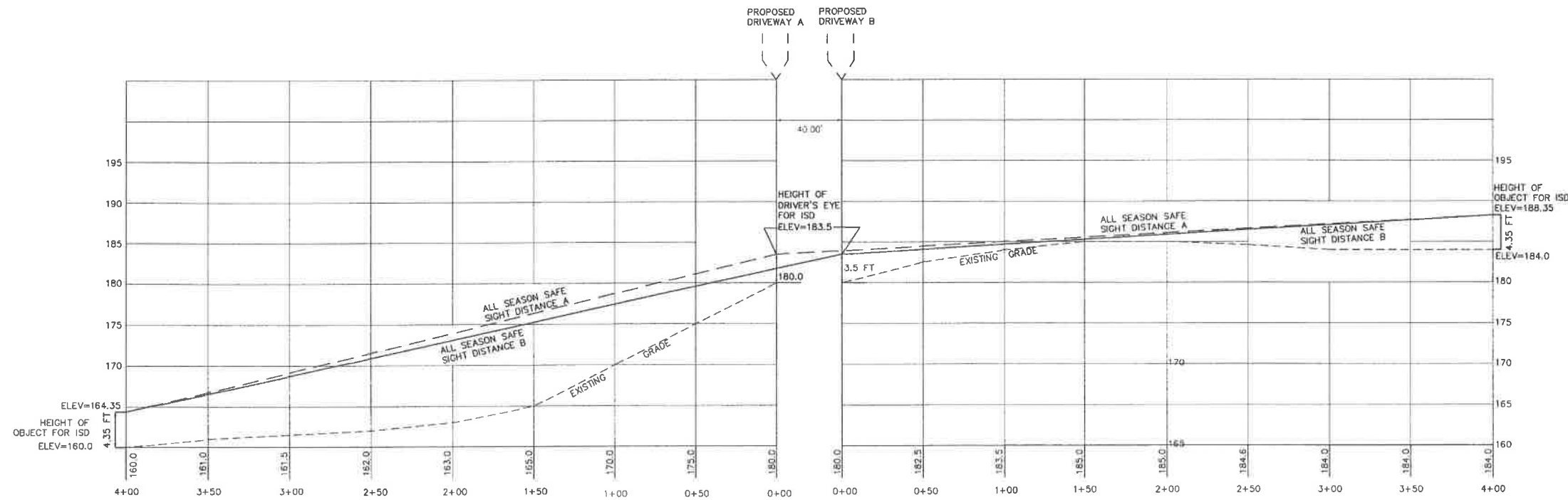
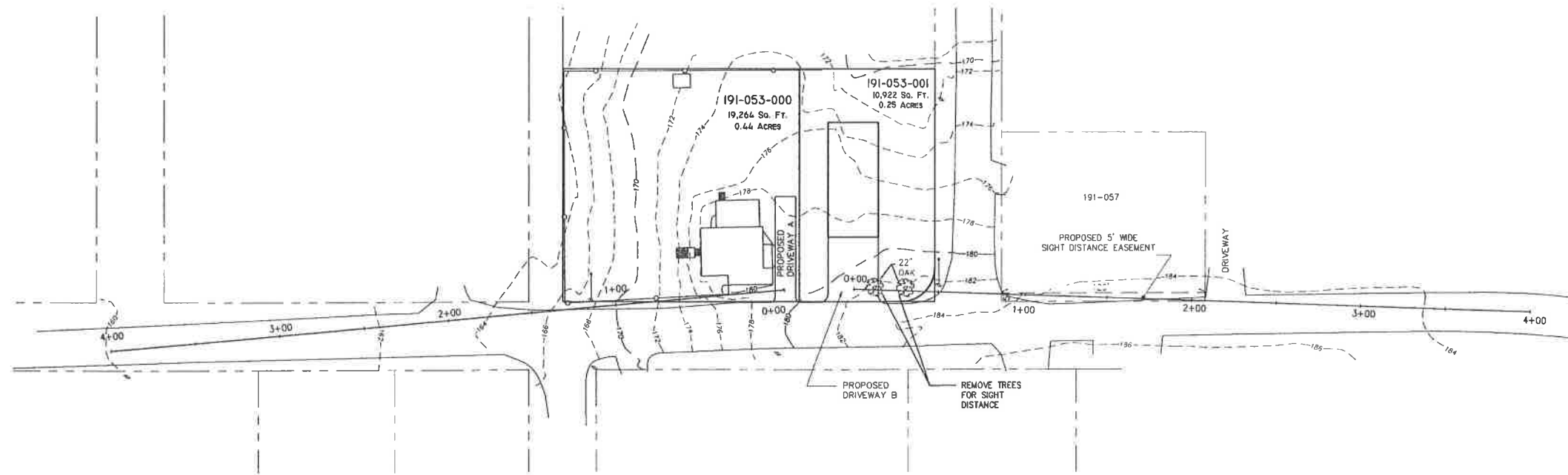
PROJECT# 14224 | DWG: SUBD | SCALE: AS SHOWN | DATE: 09 / 30 / 14 | SHEET 2 OF 5



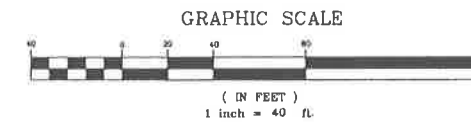
186 Pine Hill Road, Hollis, NH 03049 Tel. 603-882-4655

NO	DATE	REVISION	BY
3	11-10-14	ADD SIGHT DISTANCE SHEET	PJD
2	11-10-14	ADD NOTES AND WAIVER	PJD
1	11-10-14	DRIVEWAY LOCATION LOT 191-053-001	PJD

PROPOSED SIGHT DISTANCE PLAN VIEW
SCALE 1" = 40'



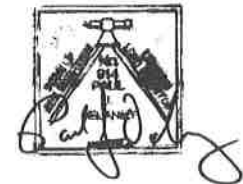
PROPOSED SIGHT DISTANCE PROFILE
HORIZ. SCALE 1" = 40'
VERT. SCALE 1" = 4'



NO.	DATE	REVISION	BY
3	11-10-14	ADD SIGHT DISTANCE SHEET	PJD
2	11-10-14	ADD NOTES AND WAIVER	PJD
1	11-10-14	DRIVEWAY LOCATION LOT 191-053-001	PJD

CERTIFICATION:

I CERTIFY THAT THE DATA SHOWN HEREON IS THE RESULT OF A FIELD SURVEY CONDUCTED ON THE GROUND BY THIS OFFICE DURING APRIL, 2014.
DATE 11/10/14



SIGHT DISTANCE PLAN & PROFILE

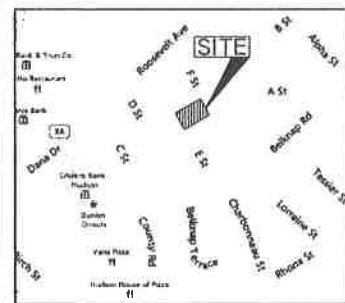
TAX MAP 191 LOT 053
22 A STREET
Hudson, New Hampshire
PREPARED FOR:

WILLIAM FRUSTERI
22 A STREET
HUDSON, NH 03051

PROJECT# 14224 DWG: SUBD SCALE: AS SHOWN DATE: 11/10/14 SHEET 3 OF 5

DELANEY GROUP
Surveying • Planning • Consulting
DELANEYSURVEYING.COM

186 Pine Hill Road Hollis, NH 03049 Tel. 603-882-4655



VICINITY MAP

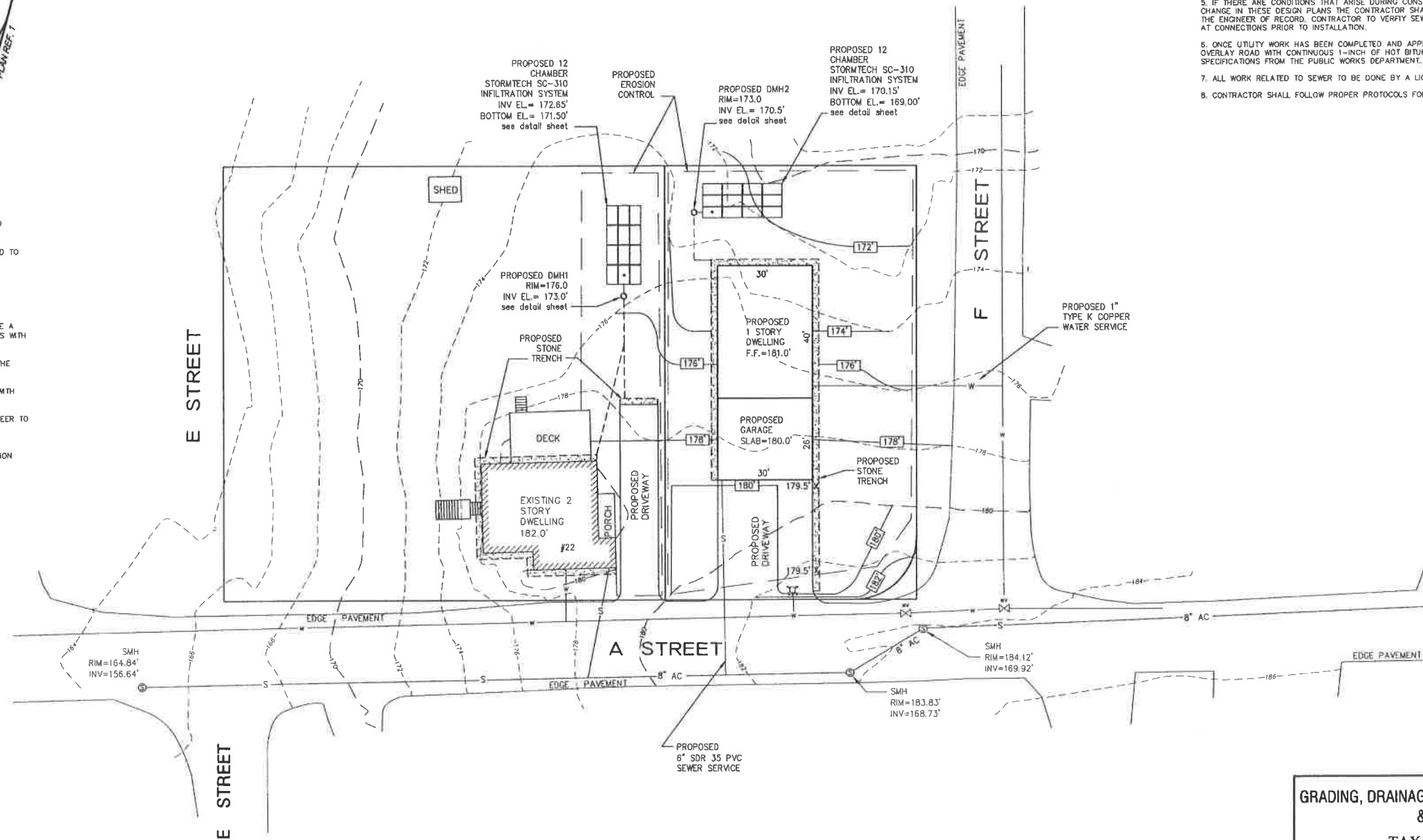


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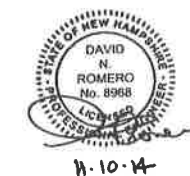
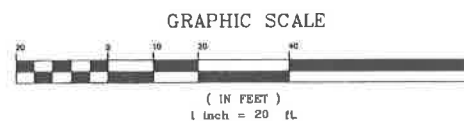
1. CONTRACTOR TO REPLACE DISTURBED AREA WITH 4" OF LOAM AND SEED.
2. CONTRACTOR TO CONTACT THE TOWN AND DIGSAFE TO VERIFY UTILITY LOCATIONS AND COORDINATE THEIR WORK WITH THE PROPER DEPARTMENTS.
3. PROPOSED STORM TECH CHAMBERS TO BE CONSTRUCTED PER MANUFACTURER SPECIFICATIONS
4. CONTRACTOR IS TO CONTACT ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO OBTAIN PROPER PERMITS AND SPECIFICATION FOR ANY UTILITY WORK.
5. THE EROSION CONTROL BLANKETS SHALL BE INSTALLED OVER THE LOAM AND SEED TO PROTECT IT FROM EROSION POTENTIAL. THE CONTRACTOR MAY INSTALL THE EROSION CONTROL BLANKET OVER THE LOAM AND HYDROSEED. IN EITHER CASE THE BLANKET SHOULD BE DAMPENED AFTER INSTALLATION TO PROMOTE GRASS GROWTH.
6. ADDITIONAL EROSION CONTROL MEASURES SHOULD BE TAKEN DURING THE WINTER MONTHS.
7. IF THERE ARE CONDITIONS THAT ARISE DURING CONSTRUCTION THAT WOULD CAUSE A CHANGE IN THESE DESIGN PLANS THE CONTRACTOR SHALL COORDINATE THE CHANGES WITH THE ENGINEER OF RECORD.
8. THE CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES AS OUTLINED WITH THE NHDES, NHDOT AND EPA STORMWATER RULES.
9. THE CONTRACTOR ARE TO REVIEW THIS PLAN SET AND FAMILIARIZE THEMSELVES WITH THE SITE LOCATION AND DESIGN.
10. IF GROUND WATER IS ENCOUNTERED DURING CONSTRUCTION, CONTACT THE ENGINEER TO INSURE THE DESIGN WILL ADEQUATELY HANDLE ANY UNANTICIPATED GROUNDWATER VOLUMES.
11. THE CONTRACTOR SHALL FOLLOW THE EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCES AS NOTED ON THESE PLANS AND THE DETAIL SHEETS.

UTILITY AND STREET RESTORATION NOTES:

1. CONTRACTOR TO CONTACT ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO OBTAIN PROPER PERMITS AND SPECIFICATION FOR ANY UTILITY WORK. THE UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND REQUIRE FIELD VERIFICATION.
2. IF THERE ARE CONDITIONS THAT ARISE DURING CONSTRUCTION THAT WOULD CAUSE A CHANGE IN THESE DESIGN PLANS THE CONTRACTOR SHALL COORDINATE THE CHANGES WITH THE ENGINEER OF RECORD.
3. THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN THE PUBLIC RIGHTS OF WAY WITH THE TOWN AND PROVIDE TRAFFIC SAFETY MEASURES AS APPLICABLE.
4. CONTRACTOR IS TO CONTACT ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO OBTAIN PROPER PERMITS AND SPECIFICATION FOR ANY UTILITY WORK.
5. IF THERE ARE CONDITIONS THAT ARISE DURING CONSTRUCTION THAT WOULD CAUSE A CHANGE IN THESE DESIGN PLANS THE CONTRACTOR SHALL COORDINATE THE CHANGES WITH THE ENGINEER OF RECORD, CONTRACTOR TO VERIFY SEWER INVERT ELEVATIONS IN A STREET AT CONNECTIONS PRIOR TO INSTALLATION.
6. ONCE UTILITY WORK HAS BEEN COMPLETED AND APPROVED BY THE TOWN OF HUDSON OVERLAY ROAD WITH CONTINUOUS 1-INCH OF HOT BITUMINOUS PAVEMENT OVERLAY PER SPECIFICATIONS FROM THE PUBLIC WORKS DEPARTMENT.
7. ALL WORK RELATED TO SEWER TO BE DONE BY A LICENSED DRAIN LAYER.
8. CONTRACTOR SHALL FOLLOW PROPER PROTOCOLS FOR STREET CONNECTIONS.



NO.	DATE	REVISION	BY
3	11-10-14	ADD SIGHT DISTANCE SHEET	PJD
2	11-10-14	ADD NOTES AND WAIVER	PJD
1	11-10-14	DRIVEWAY LOCATION LOT 191-053-001	PJD



GRADING, DRAINAGE, STORMWATER MANAGEMENT & UTILITY PLAN

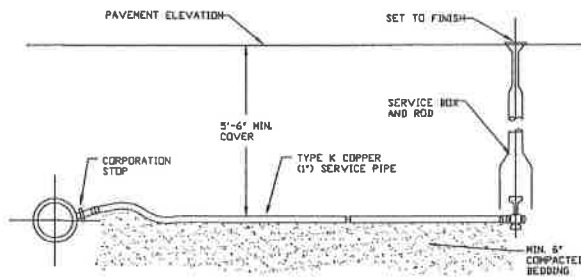
TAX MAP 191 LOT 053
22 A STREET
Hudson, New Hampshire
PREPARED FOR:

WILLIAM FRUSTERI
22 A STREET
HUDSON, NH 03051

PROJECT# 14224 DWG: SUBD SCALE: 1"=20' DATE: 08/30/14 SHEET 4 OF 5

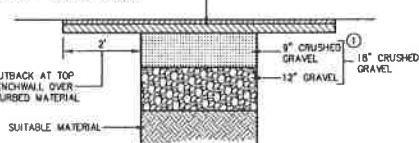


188 Pine Hill Road Hollis, NH 03049 Tel. 803-882-4655

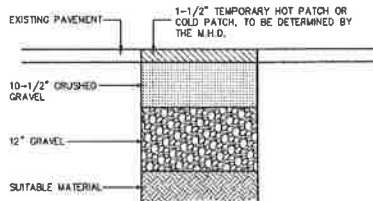


TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE

BITUMINOUS PAVEMENT, DEPTH EQUAL TO EXISTING PAVEMENT THICKNESS OR WITH 3" MINIMUM WHICHEVER IS GREATER (2" BASE COURSE AND 1" WEARING COURSE)



PERMANENT PAVEMENT REPAIR
FIGURE 9-2

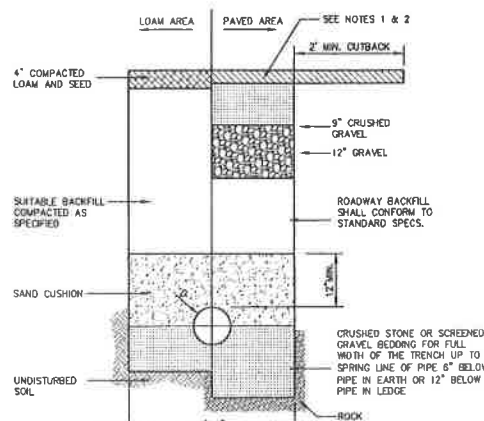


TEMPORARY PAVEMENT REPAIR
FIGURE 9-3

- N O T E S :**
1. MATERIALS SHOULD BE REPLACED IN-KIND, WITH MINIMUM THICKNESS AS SHOWN.
 2. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REQUIREMENTS.
 3. ROADWAY CONSTRUCTION SHALL CONFORM TO CITY OF MANCHESTER STANDARD SPECIFICATIONS.

PAVEMENT RESTORATION

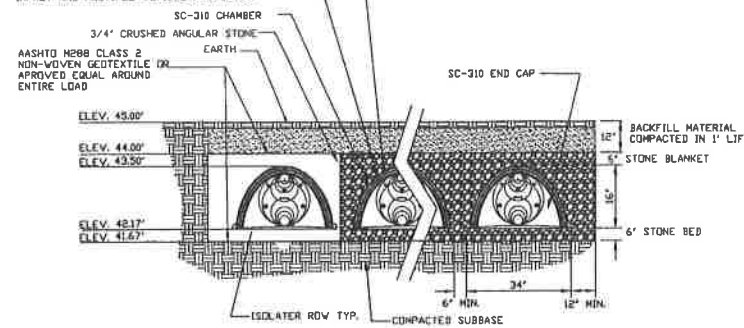
(NOT FOR WATER CONSTRUCTION)
NOT TO SCALE



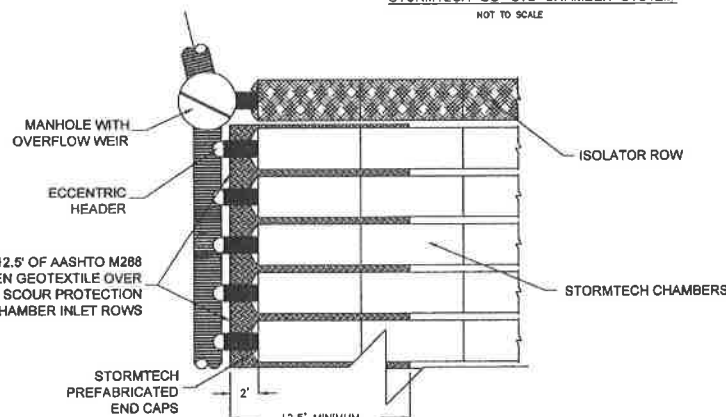
- N O T E S :**
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS. DEPTH FOR BITUMINOUS PAVEMENT SHALL BE EQUAL TO EXISTING PAVEMENT WITH 3" MINIMUM (1" WEARING AND 2" BASE COURSES).
 2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.
 3. IN LIEU OF THE 12" GRAVEL COURSE AND 9" OF CRUSHED GRAVEL, 18" OF CRUSHED GRAVEL OR RECLAIMED STABILIZED BASE MAY BE USED AS A BASE FOR THE PAVEMENT REPAIR.
 4. MATERIAL SHALL BE REPLACED IN-KIND WHEREVER POSSIBLE.
 5. A MINIMUM OF 2 FT. OUTBACK IS REQUIRED AT THE TOP OF THE TRENCH WALL OVER UNDISTURBED MATERIAL.

TYPICAL SEWER TRENCH DETAIL
NOT TO SCALE

THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE SAFETY FACTORS SPECIFIED IN THE AASHTO LFD/DBRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS, WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.

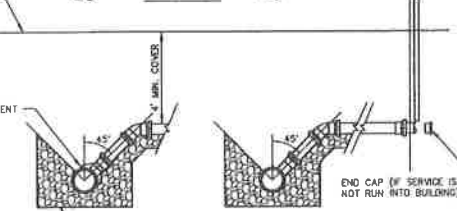
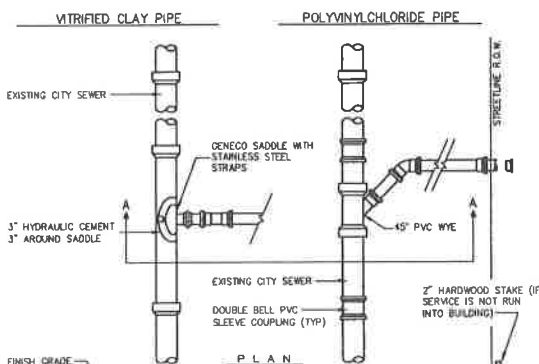


CROSS SECTION DETAIL
STORMTECH SC-310 CHAMBER SYSTEM
NOT TO SCALE



PLACE MINIMUM 12.5' OF AASHTO M288 CLASS 1 WOVEN GEOTEXTILE OVER BEDDING STONE FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS

ISOLATOR ROW MANIFOLD DETAIL
NOT TO SCALE

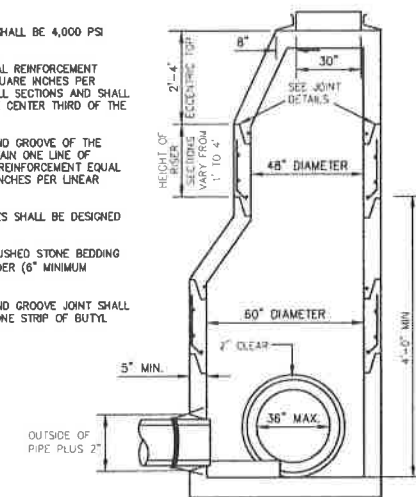


TYPICAL SEWER CONNECTION
(TYING INTO EXISTING MAINS)
NOT TO SCALE

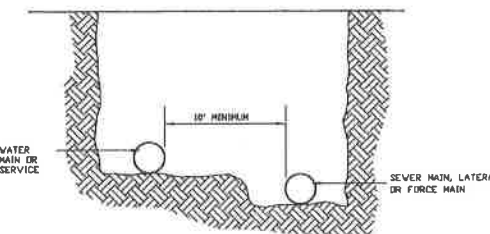
NOTE: A LICENSED PLUMBER MUST RUN THE SERVICE TO THE BUILDING AFTER OBTAINING A CLASS 'A' PERMIT

NOTES:

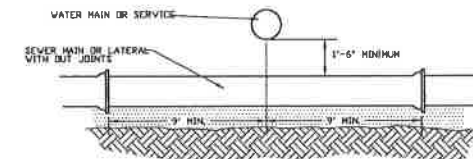
1. ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.
2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
3. THE TONGUE AND GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
4. THE STRUCTURES SHALL BE DESIGNED FOR H2O LOADING.
5. CONSTRUCT CRUSHED STONE BEDDING AND BACKFILL UNDER (6" MINIMUM THICKNESS).
6. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.



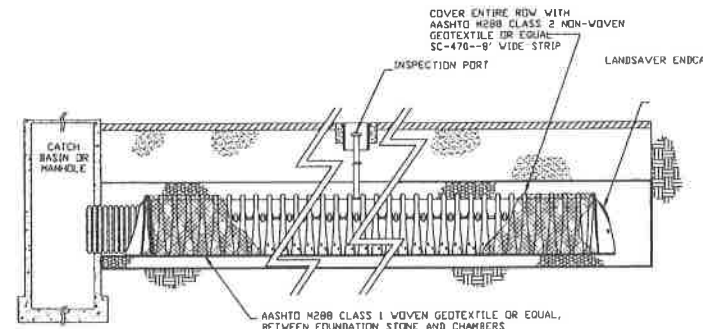
TYPICAL DRAIN MANHOLE (5' DIAMETER)
NOT TO SCALE



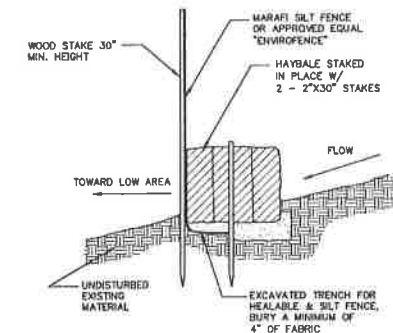
PARALLEL INSTALLATION



WATER PIPE/SEWER PIPE SEPARATION
NOT TO SCALE

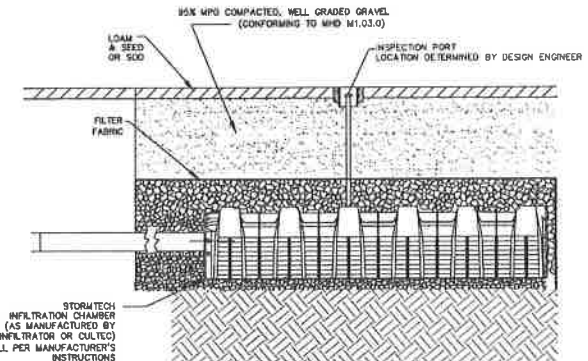


STORMTECH ISOLATOR ROW DETAIL
NOT TO SCALE



NOTE: EROSION CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH ORDER OF CONDITIONS.

EROSION CONTROL
SILT FENCE & HAYBALE
NOT TO SCALE



CROSS SECTION
TYPICAL DOWNSPOUT DRAINAGE SYSTEM
NOT TO SCALE

NO.	DATE	REVISION	BY
3	11-10-14	ADD SIGHT DISTANCE SHEET	PJD
2	11-10-14	ADD NOTES AND WAIVER	PJD
1	11-10-14	DRIVEWAY LOCATION LOT 191-063-001	PJD

DETAILS PLAN

TAX MAP 191 LOT 053
22 A STREET
Hudson, New Hampshire
PREPARED FOR:
WILLIAM FRUSTERI
22 A STREET
HUDSON, NH 03051

PROJECT# 14224 | DWG: SUBD | SCALE: AS SHOWN | DATE: 09 / 30 / 14 | SHEET 5 OF 5



186 Pine Hill Road Hollis, NH 03049 Tel. 603-882-4855