

- B. N.E. Motor Car Company SP# 12-14 Map 240/Lot 015
13 River Road – Change of Use Plan 13 River Road

Purpose of plan: To amend the site plan to allow for automotive sales in addition to the existing permitted uses. Application Acceptance & Hearing.

XV. OTHER BUSINESS

- A. Public Hearing on the Fiscal Year 2016 Draft Capital Improvements Program (CIP). Deferred Date Specific from the 08-27-14 Planning Board Meeting.

XVI. ADJOURNMENT

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting.

The public is invited to attend.



John M. Cashell
Town Planner

POSTED: Town Hall, Library, Post Office – 9-12-14

Dairy Queen Amended Site Plan

Staff Report

September 24, 2014

SITE: 119 Ferry Street -- Map 175/Lot 142 --SP# 11-14

ZONING: Business (B) – Minimum lot size 30,000 with Town water & sewer and 150 ft. street frontage.

PURPOSE OF PLAN: to propose a 1,020 sf addition on the existing Dairy Queen building, along with a reconfiguration of parking, access, circulation, stormwater, landscaping and lighting on Lot 142. Application Acceptance & Hearing.

PLAN UNDER REVIEW ENTITLED: “Non-Residential Site Plan Dairy Queen, Map 175 Lots 142, 119 Ferry St., Hudson, NH, prepared by Keach-Nordstrom Associates, Inc., dated: July 18, 2014, last revised Aug. 28, 2014, consisting of Sheets 1 - 13 and Notes 1 – 32 on Sheet 1 (said plans are attached hereto).

ATTACHMENTS:

- 1) June 1983 DQ Site Plan – HCRD Plan #15833 – Attachment “A”.
- 2) GPI Traffic Consultant Response Letter, RE: Public Comments Concerning Previous Traffic Impact & Access Study, dated September 15, 2014 – “B”.
- 3) Updated GPI Traffic Impact & Access Study (abridged), dated September 2014 – “C”.
- 4) Memorandum from Road Agent, Kevin Burns, RE: Support for Adelaide Ingress Only Driveway, dated Sept. 10, 2014 – “D”.

ATTACHMENTS INCLUDED IN THE AUGUST 27, 2014 PLANNING BOARD MEETING PACKET:

- 1) Site Plan Application, including the Project Narrative, Checklist & Waiver Forms and Aerial Site Photos date stamped July 21, 2014 – Attachment “A”.
- 2) CLD’s 2d Comments Report, including Traffic Study Critique and Application Checklist dated August 21, 2014 – “B”. NOTE: this report also includes Keach-Nordstrom’s response to CLD’s Initial Comments Report and the attached revised plans reflect the changes requested in CLD’s Initial Comments Report.
- 3) CAP Fee Form – “C”.
- 4) Comments/Memos from: Zoning Admin., Bill Oleksak (including ZBA Dimensional Variance Decision, HFD Deputy Fire Chief, John O’Brien, Road Agent, Kevin Burns, Asst. Assessor, Jim Michaud and the Police Dept. – “D”.
- 5) GPI Traffic Report for Dairy Queen Expansion (abridged), dated July 2014 – “E”.

multi-family structure (owned by the owner of DQ) should provide a sufficient residential sight and sound buffer from the activities at DQ.

- 4) The Ridge Ave. right-of-way parking encroachment issue to be reviewed and recommended on by Town Counsel, in collaboration with the applicant's attorney.

STATUS: I contacted Town Counsel on this matter and cc'd the information to Atty. Westgate. As of this writing, 09/18/14, Town Counsel's recommendation remains pending, but is expected in time for Wednesday night's meeting.

- 5) As requested by the board at the last meeting, staff attached, herewith, the most recently approved Site Plan to the present plan; it is dated June 1983 – "A".
- 6) At the initial public hearing, abutters raised concerns regarding the traffic study, and questioned whether it was conducted during a time when Adelaide St. was closed . To the effect of these concerns, the applicant's traffic consultant, GPI, Inc. submitted a response letter. In this regard, please read said letter, attached herewith, as attachment "B".
- 7) Since the revised Site Plans call for the Adelaide St. driveway to be ingress only, the applicant updated the Traffic Impact & Access Study, to indicate the impact on Adelaide St. and Ridge Ave. Please see said updated study, which is attached herewith as attachment "C".
- 8) At the initial hearing, the board requested that the applicant and his representatives meet with the abutters, relative to resolving the outstanding issues, as described above. At the hearing the applicant and his representatives will present the results of their meeting with said parties.
- 9) Please note, the attached revised plans now comply with the 35% minimum open space requirement. Hence, the previously sought waiver concerning this item no longer applies and was stricken from the requested waiver list.

RECOMMENDATION: For this second hearing, staff recommends for the board to have the applicant representatives present the status of the above-cited outstanding issues, and report on the results of the neighborhood meeting. After which, the board should open the hearing for any additional comments/concerns the public may want to express. At the conclusion of the hearing, if it comes to a conclusion at this hearing, the board may want to move to take final action on this application. To this effect, staff has provided DRAFT MOTIONS below for the board's consideration.

4) HTC 275-8(B)22 – Front Yard Green Space

I move to grant the requested waiver: HTC - 275-8(B)22 – Front Yard Green Space - because currently, as developed, the site contains 13 parking spaces within the 35 ft. green area buffer, and the proposed Site Plan calls for reducing this total to 9 spaces within said buffer, so although this proposal does not comply with the ordinances, it represents a reduction in the buffer encroachment, and therefore, the granting of this waiver moves in the direction of better providing for the spirit and intent of the ordinances.

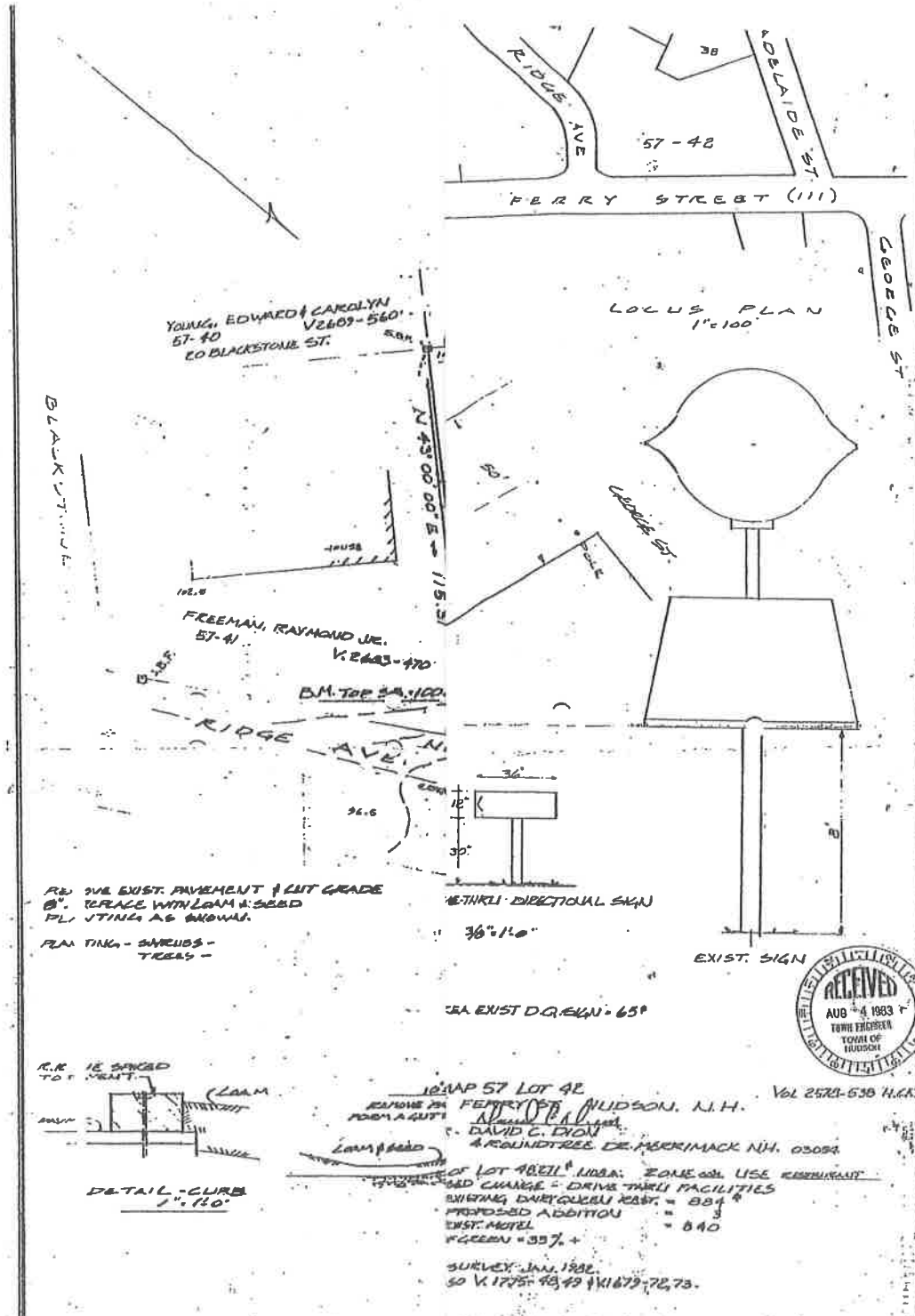
Motion by: _____ Second: _____ Carried/Failed: _____

MOTION TO APPROVE:

I move to grant approval for the Site Plan entitled: “Non-Residential Site Plan Dairy Queen, Map 175 Lots 142, 119 Ferry St., Hudson, NH, prepared by Keach-Nordstrom Associates, Inc., dated: July 18, 2014, last revised Aug. 8, 2014, consisting of Sheets 1 - 13 and Notes 1 – 32 on Sheet 1 in accordance with the following terms and conditions:

- 1) All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record (hereinafter referred to as the Plan).
- 2) Prior to the Planning Board endorsement of the Plan, the Development Agreement and the Ridge Avenue easement/transfer of land deeds shall be favorably reviewed and recommended on by Town Counsel, together with all other easement deeds.
- 3) All improvements shown on the Plan, including Notes 1-32, shall be completed in their entirety and at the expense of the Applicant or his assigns.
- 4) After the issuance of the foundation permit for the proposed building, and prior to the issuance of the framing permit thereof, the applicant shall submit to the Hudson Community Development Department a foundation "As-Built" plan on a transparency and to the same scale as the approved site plan. The foundation "As-Built" plan shall include all structural dimensions and lot line setback measurements to the foundation and be stamped by a licensed land surveyor. Any discrepancy between the approved site plan and foundation "As-Built" plans shall be documented by the applicant and be part of the foundation "As-Built" submission.
- 5) A CAP Fee of \$8,884.20 shall be submitted by the Applicant to the Town prior to the issuance of a Certificate of Occupancy for the expansion.
- 6) Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms with the Planning Board approved Plan.

12 A 76

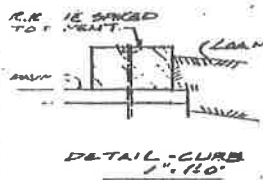


RD ONE EXIST. PAVEMENT & LOT GRADE
 8" REFACE WITH LOAM & SEED
 PLANTING AS SHOWN.
 PLANTING - SHRUBS -
 TREES -

36' x 110'
 1/4" THICK DIRECTIONAL SIGN

EXIST. SIGN

SEA EXIST D.G. PLAN - 65°



MAP 57 LOT 42
 HUDSON, N.H. Vol 2529-538 H.C.K.
 DAVID C. DION
 TOWN ENGINEER
 4 ROUND TREE DE. MERRIMACK NH. 03094
 OF LOT 48211. LIBRA. ZONE 201 USE REZONING
 AND CHANGE - DRIVE THRU FACILITIES
 SHIRING DART QUINN REST. = 884
 PROPOSED ADDITION = 884
 EXIST. HOTEL = 840
 GREEN = 35% +
 SURVEY - JAN. 1982.
 SO V. 1775-48, 49 & 11679-72, 73.

APPROVED BY THE HUDSON PLANNING BOARD
 UNDERBITZEN 8/5/83
 DATE 8/5/83
 DATE



SITE PLAN: MAP 57 LOT 42 HUDSON, N.H.
 119 FERRY ST. (DARTY QUINN)

NO.	REVISION	DATE	BY
1	ISSUE	7/15/83	

5.P.260

“B”

REF.: MAX-2014078

September 15, 2014

Mr. John Cashell, Town Planner
Town of Hudson
12 School Street
Hudson, New Hampshire 03051

SUBJECT: Dairy Queen Expansion
119 Ferry Street (NH Route 111) – Hudson, New Hampshire
Response to Comments from Planning Board Meeting on 8/27/14

Dear Mr. Cashell:

Greenman-Pedersen, Inc. (GPI) attended the Planning Board meeting for the proposed Dairy Queen expansion to be located at 119 Ferry Street (NH Route 111) in Hudson, New Hampshire on August 27, 2014. At the meeting, the Traffic Impact and Access Study¹ (TIAS) prepared by GPI was discussed. The purposes of this letter are to (i) re-state the intent of the TIAS, (ii) discuss whether or not any detours during the dates of data collection had an impact on the TIAS, and (iii) note basic concepts concerning the re-location of the entrance to the Hudson Dairy Queen from Ferry Street to Adelaide Street.

The purpose of the study (the TIAS) was to identify and document deficiencies or improvements necessary, both on-site and off-site, to accommodate current and/or projected traffic as a result of the proposed expansion, recognizing that the new entrance will be off Adelaide Street and not Ferry Street. Evaluation of the traffic impacts associated with the project requires an evaluation of existing and projected traffic volumes on the adjacent streets and site driveways, the volume of traffic expected to be generated by the project, and the impact that this traffic may have on the site driveway intersections and adjacent roadways. To help with this evaluation of traffic impacts, GPI arranged for traffic count data to be collected in mid-July. Automatic traffic recorder (ATR) data were collected to determine weekday daily and Saturday daily traffic volumes, as well as average and 85th percentile speeds along Ferry Street, Adelaide Street, and Ridge Avenue. These speed data were used to evaluate sight distance requirements since the distance required to stop a vehicle is dependent on the speed of that vehicle.

In addition to the ATR data that were collected, manual-turning movement counts (TMCs) were also collected at the site driveways, as well as the intersections of Ferry Street at Adelaide Street and at George Street. These TMC data were used to evaluate the existing trip generation of the site and determine the projected impact the redevelopment would have on the intersections evaluated.

At the Planning Board Meeting of August 27, 2014, there was some question as to whether the traffic counts for the TIAS were performed while there was a detour/road closure on Adelaide Street, and if the counts and speeds collected are representative of a typical average weekday and Saturday. Following the Planning Board meeting, GPI contacted Kevin Burns, the Road Agent of the Town of Hudson, as well as the data collection sub-consultant, and TDD Earth Tech, Inc., the contractor who was performing the

¹ *Traffic Impact and Access Study; Dairy Queen Expansion, Hudson, New Hampshire; Greenman-Pedersen, Inc.; July 2014.*

Mr. John Cashell, Town Planner
September 15, 2014
Page 3 of 3

All relevant correspondence and emails are attached to this letter for your reference. Should you have any questions or require additional information, please feel free to contact me at (978) 570-2968.

Sincerely,

GREENMAN – PEDERSEN, INC.



Heather L. Monticup, P.E.
Project Manager

enclosure(s)

cc: (via email)

Mr. Lynn C. & Mrs. Ann M. White, Trustees, Lynn C. & Ann M. White Revocable Trust
Mr. Anthony Basso, Keach-Nordstrom Assoc., Inc.
Mr. Brenton Cole, Keach-Nordstrom Assoc., Inc.
Mr. J. Bradford Westgate, Winer & Bennett, LLP

Barnes, Susannah

From: Burns, Kevin <kburns@hudsonnh.gov>
Sent: Thursday, August 28, 2014 1:34 PM
To: Barnes, Susannah
Subject: RE: Hudson, NH - Road Closures/Detours

Traffic went up Noel then left on Blackstone and then left on bond. Or the other way around depending on direction of travel. Don't know dates. Contractor was tdd earth tech. Hudson.

Sent from my Verizon Wireless 4G LTE smartphone

----- Original message -----

From: "Barnes, Susannah" <sbarnes@gpinet.com>
Date: 08/28/2014 1:15 PM (GMT-05:00)
To: "Burns, Kevin" <kburns@hudsonnh.gov>
Cc:
Subject: RE: Hudson, NH - Road Closures/Detours

Do you know any dates that this was done? Or if there is a contractor that I can contact, then I don't mind doing so. Do you know where the traffic was taken off of Adelaide and where they came back on – where the construction/roadwork was being done?

Thank you for your help.

GPI | Susannah E. Barnes, E.I.T.
d 978.570.2982

From: Burns, Kevin [<mailto:kburns@hudsonnh.gov>]
Sent: Thursday, August 28, 2014 1:07 PM
To: Barnes, Susannah
Subject: RE: Hudson, NH - Road Closures/Detours

Detour on a adalaide was short and brought traffic back onto adalaide. If your unsure recount.

Sent from my Verizon Wireless 4G LTE smartphone

----- Original message -----

From: "Barnes, Susannah" <sbarnes@gpinet.com>
Date: 08/28/2014 12:49 PM (GMT-05:00)
To: "Burns, Kevin" <kburns@hudsonnh.gov>
Cc:
Subject: RE: Hudson, NH - Road Closures/Detours

We have abutters that say there was a road closure during our counts, so we just want to be sure. Is there anyone else that we should check with in addition to you that might have any information?



Susannah E. Barnes, E.I.T.
Engineer

Greenman-Pedersen, Inc.
Engineering and Construction Services

181 Ballardvale Street, Suite 202, Wilmington, MA 01887
d 978.570.2982 | f 978.658.3044
sbarnes@gpinet.com | www.gpinet.com

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Bob Dinsmoor



PO Box 603

Hudson NH 03051

Phone & Fax 603-881-8692

Cell 603-438-7693

E-mail: bob@tddearthtech.com

From: Barnes, Susannah [<mailto:sbarnes@gpinet.com>]

Sent: Thursday, August 28, 2014 1:42 PM

To: bob@tddearthtech.com

Subject: Detour Dates/Route

Hi there,

My name is Susie Barnes and I'm a traffic engineer for Greenman-Pedersen, Inc. (GPI), working on a traffic study for a proposed redevelopment in Hudson. I am aware that you had a detour on Adelaide Street in July, would you be able to provide me with exact dates (and times if known) of the detour and what the route was?

Thanks so much!

Susie



Susannah E. Barnes, E.I.T.

Engineer

Greenman-Pedersen, Inc.
Engineering and Construction Services

181 Ballardvale Street, Suite 202, Wilmington, MA 01887

d 978.570.2982 | f 978.658.3044

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From: TSE [mailto:tsetraffic@yahoo.com]
Sent: Thursday, August 28, 2014 12:44 PM
To: Barnes, Susannah
Subject: Re: Hudson, NH - DQ - traffic counts

Hi Susannah

I believe the tech used a radar based recorder for this location. I will try to get in touch with the tech to confirm the specifics. (Exact location)

Thanks

On Aug 28, 2014, at 12:20 PM, "Barnes, Susannah" <sbarnes@gpinet.com> wrote:

Hi Flo,

We are receiving comments from the Town of Hudson, New Hampshire and we want to be sure exactly when and where the ATR tubes were put out on Adelaide Street per the request below. Also, when the tubes were put out or when the TMC's were counted, were there any road closure signs or detours along Ferry Street or Adelaide Street?

Thank you,
Susie

Susannah E. Barnes, E. I. T.
d 978.570.2982

From: Monticup, Heather
Sent: Tuesday, July 15, 2014 3:56 PM
To: DeBarros, John
Cc: Barnes, Susannah
Subject: Hudson, NH - DQ - traffic counts

John,

Is there any way that you could find out if TSE would be available on Thursday (7/17) and Saturday (7/19) to conduct a PM and SAT TMC at Ferry Street (NH Route 111) at Adelaide Street and George Street for the Dairy Queen project they just did counts for. The side streets are off set, but I still think 1 person could count it. We would also need an ATR on Adelaide Street to collect volumes and speeds from Thursday to Friday. Please let me know if this is possible and I will let you know if we have authorization.

Thank you,

UPDATED
TRAFFIC IMPACT AND ACCESS STUDY

DAIRY QUEEN EXPANSION
HUDSON, NEW HAMPSHIRE

GPI

181 BALLARDVALE STREET, SUITE 202
WILMINGTON, MASSACHUSETTS 01887
(978) 570-2999

PREPARED FOR:

LYNN C. & ANN M. WHITE REVOCABLE TRUST
2 BRADFORD CIRCLE
HUDSON, NEW HAMPSHIRE 03051

SEPTEMBER 2014

GPI

Updated Traffic Impact and Access Study

Dairy Queen Expansion

Hudson, New Hampshire

September 2014

UPDATED TRAFFIC IMPACT AND ACCESS STUDY

Dairy Queen Expansion – Hudson, New Hampshire

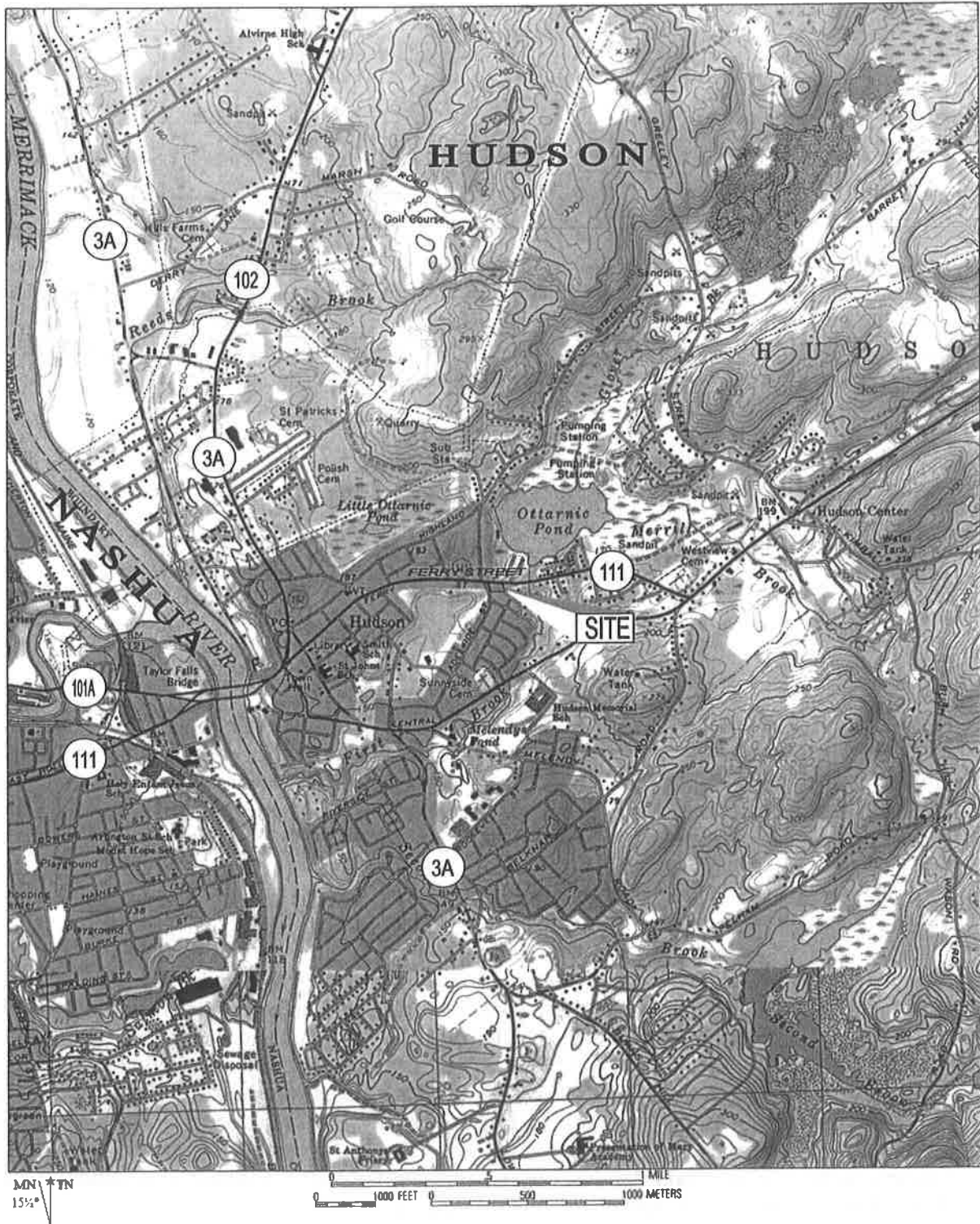


Figure 1
Site Location Map

UPDATED TRAFFIC IMPACT AND ACCESS STUDY

Dairy Queen Expansion – Hudson, New Hampshire

Traffic on a given roadway typically fluctuates throughout the year depending on the area and the type of roadway. Based on NHDOT guidelines for the preparation of a traffic study, existing traffic volumes must represent the peak of the monthly average peak-hour conditions. To determine if the data needed to be adjusted to account for this fluctuation, seasonal adjustment and historical count data provided by NHDOT were reviewed.¹ This information revealed that the July weekday and Saturday traffic volumes are 7.0 and 13.1 percent lower than peak-month conditions, respectively. Additionally, this information indicated that the July traffic volumes are 4.4 percent lower than the peak-month conditions during weekday PM peak period and are 16.0 percent lower than the peak-month conditions during the Saturday midday peak period. Therefore, the traffic counts were upwardly adjusted to reflect peak-month conditions. The NHDOT seasonal adjustment factors are provided in the Appendix.

Table 1 summarizes the existing traffic volumes along Ferry Street, Ridge Street, and Adelaide Street adjacent to the site. The 2014 Existing weekday PM and Saturday midday peak-hour traffic-volume networks are shown on Figure 2.

**Table 1
EXISTING TRAFFIC-VOLUME SUMMARY**

Location/Time Period	Daily Volume (vpd) ^a	Peak Hour Volume (vph) ^b	K Factor (%) ^c	Directional Distribution ^d
Ferry Street adjacent to site:				
Weekday Daily	13,980			
Weekday PM Peak Hour		1,341	9.6	51% EB
Saturday Daily	11,970			
Saturday Midday Peak Hour		1,097	9.2	52% EB
Ridge Avenue adjacent to site:				
Weekday Daily	630			
Weekday PM Peak Hour		73	11.6	79% NB
Saturday Daily	550			
Saturday Midday Peak Hour		51	9.3	86% NB
Adelaide Street adjacent to site:				
Weekday Daily	1,780			
Weekday PM Peak Hour		185	10.4	59% NB
Saturday Daily	1,350			
Saturday Midday Peak Hour		139	10.3	53% SB

^a In vehicles per day.

^b In vehicles per hour.

^c Percentage of daily traffic occurring during the peak hour.

^d WB = westbound; EB = eastbound; NB = northbound; SB = southbound.

¹ New Hampshire Department of Transportation Traffic Volume Report; 2012, Nashua, NH 111 at Hudson TL.

UPDATED TRAFFIC IMPACT AND ACCESS STUDY

Dairy Queen Expansion – Hudson, New Hampshire

Collision History

Collision data for the study area intersections were obtained from the Hudson Police Department (2011 through 2013) and NHDOT (2008 through 2011) for the latest three years available. A summary of the Hudson Police Department and NHDOT collision data at the study area intersections is provided in Table 2.

The intersection of Ferry Street at Ridge Avenue has experienced, on average, 0.33 reported collisions per year. The one collision that occurred between 2011 and 2013 resulted in personal injury and was due to the driver following too closely. The one collision that occurred between 2008 and 2010 resulted in property damage only and occurred in dry conditions.

The off-set intersection of Ferry Street at Adelaide Street and George Street has experienced four collisions between 2011 and 2013, and three collisions between 2008 and 2010. Of the seven collisions, three resulted in personal injury. The causes of collision based on the Hudson Police Department crashes include a rear-end collision, driver distraction, failure to yield, and obscured vision/sun glare.

The intersections with the existing site driveways were also investigated and resulted in no collisions from 2008 through 2010. From 2011 through 2013, one collision occurred at the enter-only driveway on Ferry Street that did not result in personal injury and occurred in dry conditions. The cause of the collision was negligent driving.

**Table 2
COLLISION HISTORY SUMMARY**

Location	Number of Crashes		Severity ^a			Roadway Conditions	
	Total	Average per Year	PD	PI	F	Dry	Wet/Icy Conditions
Hudson Police Department (2011-2013)							
Ferry Street at Ridge Avenue	1	0.33	--	1	--	1	--
Ferry Street at Adelaide St/George St	4	1.33	2	2	--	4	--
Ferry Street at Enter-Only Driveway	1	0.33	1	--	--	1	--
NHDOT (2008-2010)							
Ferry Street at Ridge Avenue	1	0.33	1	--	--	1	--
Ferry Street at Adelaide St/George St	3	1.00	2	1	--	1	2

Source: Hudson Police Department (2011-2013) and NHDOT Crash Data (2008-2010)

^a PD = property damage only; PI = personal injury; F = fatality.

FUTURE CONDITIONS

To estimate the impact of site-generated traffic within the study area, existing traffic volumes were projected to the expected opening year of the development (2015) and to the expected opening year plus ten years (2025). These design horizons were chosen to be consistent with the Town of Hudson and NHDOT guidelines for the preparation of a traffic study. Traffic volumes on the roadway network at these times will include existing traffic, new traffic due to normal traffic growth, and traffic related to any significant developments by others expected to be completed within the area by 2015 and 2025. Consideration of these factors resulted in the development of 2015 No-Build and 2025 No-Build traffic volumes, which assume that the proposed development is not built. The incremental impacts of the proposed project may then be determined by adding site-generated traffic volumes (Build conditions) and making comparisons to the No-Build conditions.

Traffic Growth

To develop the 2015 and 2025 No-Build forecast traffic volumes, two components of traffic growth were considered. First, an annual growth percentage was determined. Based on historic traffic-volume counts provided by NHDOT and the Nashua Regional Planning Commission (NRPC), these data indicate that traffic volumes in the area have been decreasing at a rate of approximately 1.12 percent and 1.16 percent per year, respectively. In order to provide a conservative (worse-case) analysis scenario, a 1.0 percent compounded annual traffic growth rate was assumed to account for general population growth and the traffic generated by smaller area developments. The NHDOT and NRPC historical traffic data are provided in the Appendix.

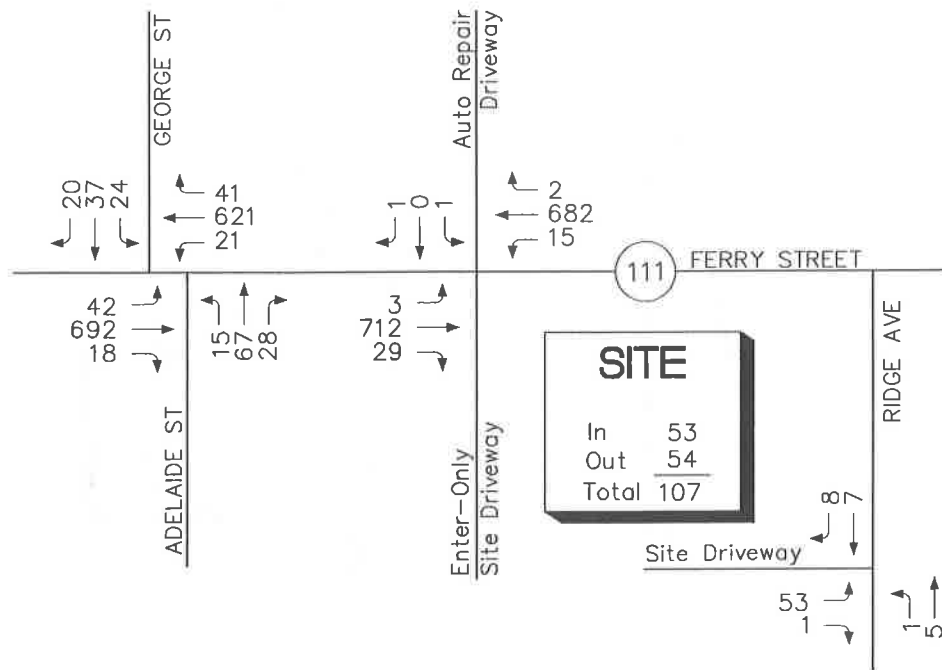
Second, any traffic that may be generated by planned developments that could add a substantial volume of traffic through the study area during the design horizons was considered. Based on discussions with local officials from the Town of Hudson and City of Nashua, there are two planned developments in the vicinity of the project that would be expected to add traffic to the study area roadways; a ±17,209 square foot retail development project² at 66 & 68 Derry Road in Hudson and the Renaissance Downtown project³ at 70 Bridge Street in Nashua. Traffic volumes and methodology associated with the developments were obtained from the corresponding *Traffic Impact and Access Study* prepared for each development and distributed along the adjacent roadway system. All background development data are provided in the Appendix.

² *Traffic Impact and Access Study*; Proposed Retail Development; 66 & 68 Derry Road (NH Route 102), Hudson, New Hampshire; Greenman-Pedersen, Inc.; April 11, 2014.

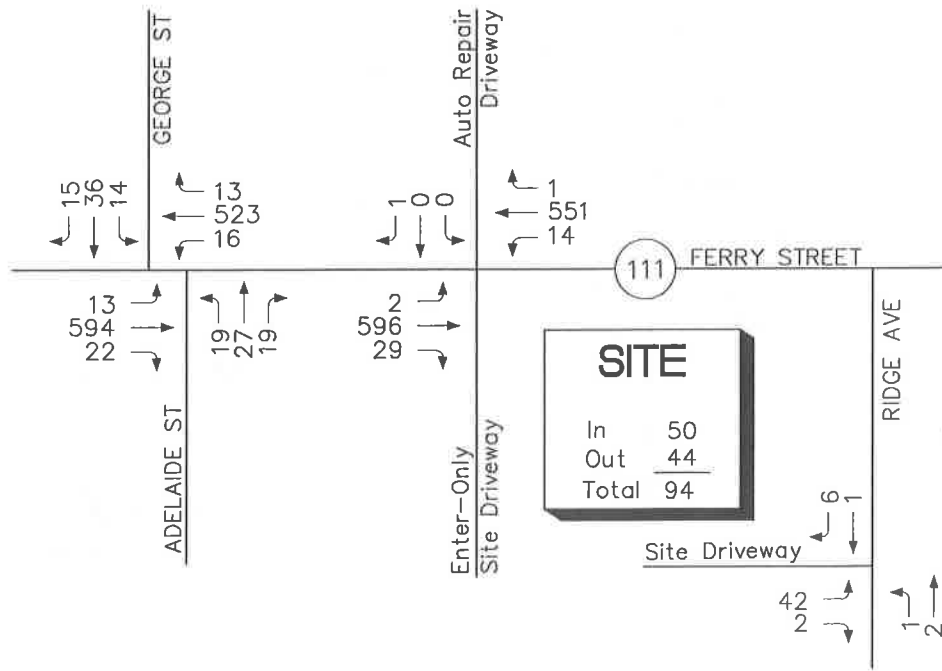
³ *Traffic Impact and Access Study*; Bridge Street Development; 70 Bridge Street, Nashua, New Hampshire; McFarland Johnson, Inc.

UPDATED TRAFFIC IMPACT AND ACCESS STUDY

Dairy Queen Expansion - Hudson, New Hampshire



WEEKDAY PM



SATURDAY MIDDAY



NOT TO SCALE

Figure 3

2015 No-Build Peak Hour Traffic Volumes

UPDATED TRAFFIC IMPACT AND ACCESS STUDY

Dairy Queen Expansion – Hudson, New Hampshire

generation characteristics of the proposed Dairy Queen redevelopment project. The *pass-by* data are provided in the Appendix.

**Table 4
TRIP-GENERATION SUMMARY**

Time Period/Direction	Existing Site Trips ^a	Proposed Site Trips ^b	Additional Trips		
			Total Trips ^c	Pass-By Trips ^d	New Trips ^e
Weekday PM Peak Hour:					
<i>Enter</i>	53	91	38	19	19
<i>Exit</i>	54	92	38	19	19
<i>Total</i>	107	183	76	38	38
Saturday Midday Peak Hour:					
<i>Enter</i>	50	86	36	16	20
<i>Exit</i>	44	75	31	16	15
<i>Total</i>	94	161	67	32	35

^a Traffic Counts conducted at all three site driveways on July 10, 2014 and July 12, 2014.

^b Based on a rate (trip/sf) generated by existing counts for the existing 1,431 sf and applied to the proposed 2,451 sf.

^c Proposed Site Trips minus Existing Site Trips.

^d 50 percent of Proposed Trips during the weekday PM peak hour and 49 percent during the Saturday midday peak hour.

^e Additional Trips minus Pass-By Trips.

As shown in Table 4, the proposed development is expected to generate 38 additional *new* vehicle trips (19 entering and 19 exiting) during the weekday PM peak hour and 35 additional *new* vehicle trips (20 entering and 15 exiting) during the Saturday midday peak hour. It should be noted that the volume of *pass-by* traffic does not reduce the total volume of traffic generated by the development and the external trips will still be realized as turning movements at the site driveways.

Trip Distribution

Having estimated project-generated vehicle trips, the next step is to determine the distribution of project traffic and assign these trips to the local roadway network. The directional distribution of site traffic on the area roadways is based on existing travel patterns and expected travel routes to the site. Accordingly, approximately 45 percent of the site-generated traffic is expected to and from the west along Ferry Street, 45 percent is expected to and from the east along Ferry Street, 5 percent is expected to and from the south along Adelaide Street, and 5 percent is expected to and from the north along George Street. The distribution of *pass-by* traffic will follow the

UPDATED TRAFFIC IMPACT AND ACCESS STUDY

Dairy Queen Expansion – Hudson, New Hampshire

The SSD is generally more important as it represents the minimum distance required for safe stopping while ISD is based only upon acceptable speed reductions to the approaching traffic stream. The ISD, however, must be equal to or greater than the minimum required SSD in order to provide safe operations at the intersection. In accordance with the AASHTO manual, “If the available sight distance for an entering or crossing vehicle is at least equal to the appropriate stopping sight distance for the major road, then drivers have sufficient sight distance to anticipate and avoid collisions. However, in some cases, this may require a major-road vehicle to stop or slow to accommodate the maneuver by a minor-road vehicle. To enhance traffic operations, intersection sight distances that exceed stopping sight distances are desirable along the major road.” Accordingly, ISD should be at least equal to the distance required to allow a driver approaching the minor road to safely stop.

The available SSD and ISD at the existing and proposed site driveways were measured in the field and compared to minimum requirements as established by AASHTO. Since the distance required to stop a vehicle is dependent on the speed of that vehicle, speed studies were conducted as presented in the *Existing Conditions: Vehicle Speeds* section. Based on both the posted speed limit and the observed speeds, the SSD and ISD requirements at the site driveway intersections were calculated. The required minimum sight distances for each direction are compared to the available distances, as shown in Table 5.

**Table 5
SIGHT DISTANCE SUMMARY**

Location/Direction	Stopping Sight Distance (feet)		Intersection Sight Distance (feet)		
	Measured	Minimum Required ^a	Measured	Minimum Required ^b	Desirable ^c
Ridge Avenue at Site Driveway:					
North of Intersection (southbound)	140 ^d	200	140 ^d	200	335
South of Intersection (northbound)	240	200	240	200	335
Adelaide Street at Site Driveway:					
North of Intersection (southbound)	150 ^d	200	Enter-Only Driveway		
South of Intersection (northbound)	340 ^e	200			

^a Values based on AASHTO requirements for the posted speed limit of 30 mph since the 85th percentile speeds of 27 mph for Adelaide Street are lower than the posted speed limit; a speed study using ATRs could not be conducted on Ridge Avenue due to the curvature and close proximity to curb cuts, therefore the enforced speed of 30 mph was used.

^b Values based on AASHTO requirements for SSD.

^c Values based on AASHTO requirements for enforced speed limit of 30 mph on Ridge Avenue and posted speed limit of 30 mph on Adelaide Street.

^d Measurement is through the intersection across Ferry Street.

^e Measurement based on existing vegetation kept low to the ground at edge of 54 and 56 Adelaide Street properties.

UPDATED TRAFFIC IMPACT AND ACCESS STUDY

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are turning into Adelaide Street and, therefore, there are some near-miss collisions. By relocating the driveway to Adelaide Street, this confusion is eliminated.

Drive-Through Lane Vehicle Queuing

The proposed facility includes a reconfigured drive-through window lane. The drive-through window lane is proposed to be 20-feet wide and provide approximately 190 feet (9 vehicles) of storage without interrupting on-site circulation and an additional 40 feet (2 vehicles) without disrupting flow on Adelaide Street. This is an improvement over the existing drive-through window lane which can only accommodate 9 vehicles before disrupting flow on Ferry Street.

Based on the Town of Hudson Zoning Ordinance, eating and drinking establishments having a drive-through window service shall provide a minimum of 12 vehicle stacking spaces. Accordingly, the proposed Site Plan does not meet the Town's minimum requirement; however, the proposed stacking lane is an improvement over the existing condition and based on observations at the existing site the queue is not expected to exceed 11 vehicles.

Build Traffic Volumes

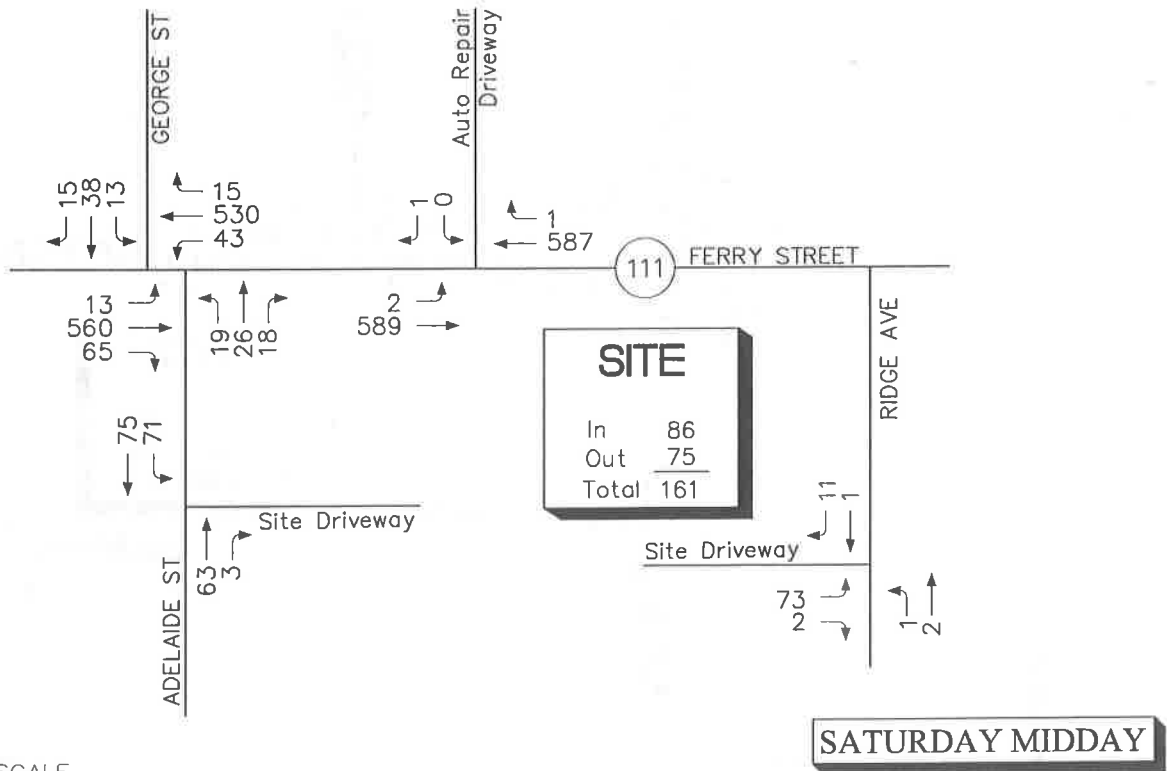
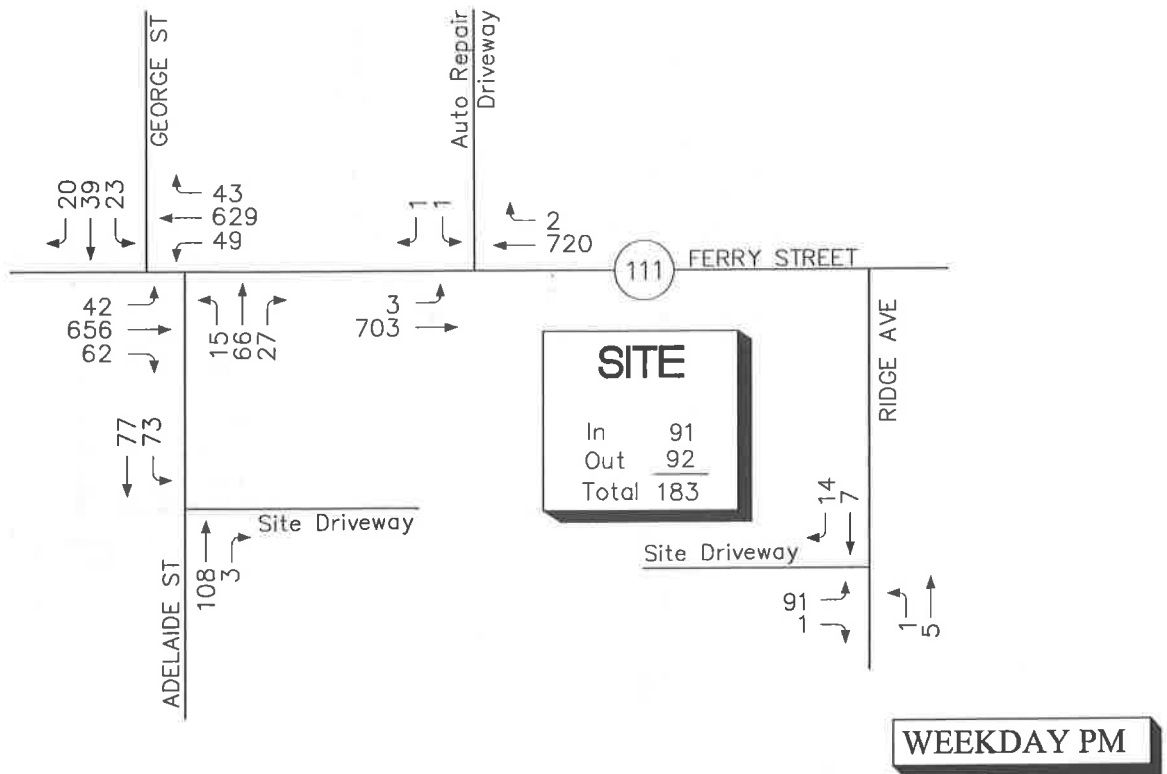
Based on the traffic-generation and distribution estimates for this project, the traffic volumes associated with the proposed project were assigned to the roadway network. The site-generated traffic network is shown on Figure 5 for the weekday PM and Saturday midday peak hours. The site-generated traffic volumes were then combined with the No-Build traffic volumes to develop the Build peak-hour traffic-volume networks. The 2015 and 2025 Build weekday PM and Saturday midday peak hour traffic volumes are illustrated on Figures 6 and 7, respectively.

Traffic Increases

The proposed development is expected to result in minimal increases in traffic on the study area roadways. As shown on Figure 5, traffic-volume increases beyond the study area during the peak hours are projected to be in the range of 2 to 18 vehicle trips. These increases represent, on average, one additional vehicle every 3 minutes to 30 minutes during the critical peak hours.

UPDATED TRAFFIC IMPACT AND ACCESS STUDY

Dairy Queen Expansion - Hudson, New Hampshire



NOT TO SCALE

Figure 6
2015 Build
Peak Hour Traffic Volumes

CAPACITY AND QUEUE ANALYSIS

Level-of-service (LOS) analyses were conducted at the study-area intersections under 2014 Existing, 2015 No-Build, 2015 Build, 2025 No-Build, and 2025 Build conditions during the weekday PM and Saturday midday peak hours. The capacity and queue analysis methodology is based on the concepts and procedures in the *Highway Capacity Manual* (HCM) and is described in the Appendix.⁷

The queue analysis methodology for signalized and unsignalized intersections is based on the concepts and procedures described in the HCM. The maximum back of queue during a 95th percentile signal cycle was calculated for each critical lane group during the peak periods studied. The back of queue is the length of a backup of vehicles from the stop line of a signalized intersection to the last vehicle in the queue that is required to stop, regardless of the signal indication. The length of this queue depends on a number of factors including signal timing, vehicle arrival patterns, and the saturation flow rate.

For unsignalized intersections, the 95th percentile queue represents the length of queue of the critical minor-street movement that is not expected to be exceeded 95 percent of the time during the analysis period (typically one hour). In this case, the queue length is a function of the capacity of the movement and the movement's degree of saturation.

Analysis Results

The results of the level-of-service and queue analyses are shown in Table 6 (2015 design year conditions) and Table 7 (2025 design year conditions) and are discussed below. All analysis worksheets are provided in the Appendix.

Capacity and queue analyses were conducted at the study area intersections utilizing Synchro software and the default values in the program. It is expected that motorists typically accept smaller gaps in traffic at unsignalized intersections during peak periods of traffic than reflected in the analysis model and, therefore, do not wait as long to exit into the main line of traffic as shown in the analysis results. Therefore, unsignalized intersection operating results are anticipated to be better than as presented in this memorandum.

⁷*Highway Capacity Manual 2000*; Transportation Research Board; Washington, D.C.; 2000.

UPDATED TRAFFIC IMPACT AND ACCESS STUDY

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are anticipated to be less than 1 vehicle on average with delays less than 30 seconds. Additionally, the volume-to-capacity (v/c) ratios are expected to be well below 1.00, indicating there will be adequate capacity to accommodate the anticipated traffic volumes.

Ridge Avenue at Site Driveway

Under 2015 and 2025 Build traffic-volume conditions, the Ridge Avenue and site driveway intersection is expected to operate at optimal levels (LOS A) during the weekday PM and Saturday midday peak hours. Queue lengths are anticipated to be less than 1 vehicle on average with delays less than 10 seconds. Additionally, the v/c ratios are expected to be well below 1.00, indicating there will be adequate capacity to accommodate the anticipated traffic volumes.

Adelaide Street at Proposed Enter-Only Driveway

Under 2015 and 2025 Build traffic-volume conditions, Adelaide Street is expected to operate at optimal levels (LOS A) during the weekday PM and Saturday midday peak hours. Queue lengths are anticipated to be less than 1 vehicle on average with delays of 4 seconds or less. Additionally, the v/c ratios are expected to be well below 1.00, indicating there will be adequate capacity to accommodate the anticipated traffic volumes.

UPDATED TRAFFIC IMPACT AND ACCESS STUDY

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**Table 6 (continued)
INTERSECTION CAPACITY ANALYSIS SUMMARY – 2015 CONDITIONS**

Intersection/Peak Hour/Lane Group	2014 Existing				2015 No-Build			2015 Build				
	V/C ^a	Del. ^b	LOS ^c	Queue ^d	V/C	Del.	LOS	Queue	V/C	Del.	LOS	Queue
Ferry Street at Existing Enter-Only Driveway												
<i>Weekday P.M.:</i>												
Ferry Street EB approach	0.00	0.1	A	--/0	0.00	0.1	A	--/0	0.00	0.1	A	--/0
Ferry Street WB approach	0.02	0.5	A	--/1	0.02	0.5	A	--/1	0.47	0.0	A	--/0
Auto Repair Driveway SB approach	0.02	27.3	D	--/2	0.03	30.0	D	--/2	0.02	24.2	C	--/2
<i>Saturday Midday:</i>												
Ferry Street EB approach	0.00	0.1	A	--/0	0.00	0.1	A	--/0	0.00	0.1	A	--/0
Ferry Street WB approach	0.02	0.4	A	--/1	0.02	0.4	A	--/1	0.37	0.0	A	--/0
Auto Repair Driveway SB approach	0.01	11.9	B	--/1	0.01	12.2	B	--/1	0.01	12.6	B	--/1

^a Volume-to-capacity ratio.

^b Average control delay in seconds per vehicle.

^c Level of service.

^d Maximum queue length in feet per lane (assuming 25 feet per vehicle) that is not expected to be exceeded 95 percent of the time period.

UPDATED TRAFFIC IMPACT AND ACCESS STUDY

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Table 7
INTERSECTION CAPACITY ANALYSIS SUMMARY – 2025 CONDITIONS

Intersection/Peak Hour/Lane Group	2014 Existing			2025 No-Build			2025 Build					
	V/C ^a	Del. ^b	LOS ^c	Queue ^d	V/C	Del.	LOS	Queue	V/C	Del.	LOS	Queue
Ferry Street at George Street												
<i>Weekday PM:</i>												
Ferry Street EB approach	0.05	1.4	A	--/4	0.07	1.8	A	--/5	0.07	1.9	A	--/5
Ferry Street WB approach	0.44	0.0	A	--/0	0.51	0.0	A	--/0	0.52	0.0	A	--/0
George Street SB approach	0.61	60.2	F	--/81	0.95	145.9	F	--/146	0.98	158.5	F	--/153
<i>Saturday Midday:</i>												
Ferry Street EB approach	0.01	0.4	A	--/1	0.02	0.5	A	--/1	0.02	0.5	A	--/1
Ferry Street WB approach	0.37	0.0	A	--/0	0.44	0.0	A	--/0	0.44	0.0	A	--/0
George Street SB approach	0.39	32.2	D	--/43	0.58	53.8	F	--/76	0.60	57.3	F	--/80
Ferry Street at Adelaide Street												
<i>Weekday PM:</i>												
Ferry Street EB approach	0.46	0.0	A	--/0	0.53	0.0	A	--/0	0.53	0.0	A	--/0
Ferry Street WB approach	0.03	0.7	A	--/2	0.03	0.9	A	--/3	0.07	2.0	A	--/6
Adelaide Street NB approach	0.89	98.8	F	--/160	1.37	275.8	F	--/277	1.51	341.3	F	--/298
<i>Saturday Midday:</i>												
Ferry Street EB approach	0.39	0.0	A	--/0	0.45	0.0	A	--/0	0.46	0.0	A	--/0
Ferry Street WB approach	0.02	0.5	A	--/2	0.02	0.7	A	--/2	0.06	1.6	A	--/5
Adelaide Street NB approach	0.38	30.8	D	--/42	0.56	50.1	F	--/72	0.61	60.0	F	--/81

^a Volume-to-capacity ratio.

^b Average control delay in seconds per vehicle.

^c Level of service.

^d Maximum queue length in feet per lane (assuming 25 feet per vehicle) that is not expected to be exceeded 95 percent of the time period.

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Dairy Queen Expansion – Hudson, New Hampshire

**Table 7 (continued)
INTERSECTION CAPACITY ANALYSIS SUMMARY – 2025 CONDITIONS**

Intersection/Peak Hour/Lane Group	2014 Existing				2025 No-Build				2025 Build			
	V/C ^a	Del. ^b	LOS ^c	Queue ^d	V/C	Del.	LOS	Queue	V/C	Del.	LOS	Queue
Ridge Avenue at Site Driveway												
<i>Weekday PM:</i>												
Ridge Avenue NB approach	0.00	1.2	A	--/0	0.00	1.2	A	--/0	0.00	1.2	A	--/0
Ridge Avenue SB approach	0.02	0.0	A	--/0	0.02	0.0	A	--/0	0.02	0.0	A	--/0
Site Driveway EB approach	0.09	9.1	A	--/8	0.09	9.1	A	--/8	0.16	9.4	A	--/14
<i>Saturday MIDDAY:</i>												
Ridge Avenue NB approach	0.00	2.4	A	--/0	0.00	2.4	A	--/0	0.00	2.4	A	--/0
Ridge Avenue SB approach	0.01	0.0	A	--/0	0.01	0.0	A	--/0	0.01	0.0	A	--/0
Site Driveway EB approach	0.06	8.8	A	--/4	0.06	8.8	A	--/4	0.10	9.0	A	--/8
Adelaide St at Proposed Enter-Only Driveway												
<i>Weekday PM:</i>												
Adelaide Street NB approach	--	--	--	--/--	--	--	--	--/--	0.10	0.0	A	--/0
Adelaide Street SB approach	--	--	--	--/--	--	--	--	--/--	0.06	3.8	A	--/5
<i>Saturday MIDDAY:</i>												
Adelaide Street NB approach	--	--	--	--/--	--	--	--	--/--	0.06	0.0	A	--/0
Adelaide Street SB approach	--	--	--	--/--	--	--	--	--/--	0.06	3.7	A	--/5

^a Volume-to-capacity ratio.

^b Average control delay in seconds per vehicle.

^c Level of service.

^d Maximum queue length in feet per lane (assuming 2.5 feet per vehicle) that is not expected to be exceeded 95 percent of the time period.

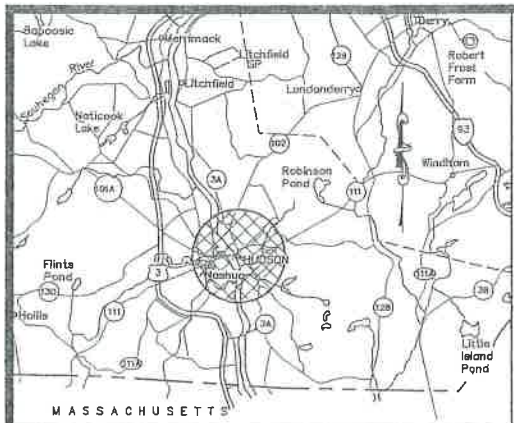
UPDATED TRAFFIC IMPACT AND ACCESS STUDY

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approach drops from LOS D to LOS E due to historical growth and background developments and remains at LOS E with the construction of the development. Comparing 2014 Existing to 2025 No-Build traffic-volume conditions, the approach drops from LOS D to LOS F due to historical growth and background developments and remains at LOS F with the construction of the development. In addition, all increases in delay on the George Street approach as a result of the redevelopment are expected to be less than 4 seconds and increases in queues to be less than 1 vehicle.

- Under 2015 and 2025 Build traffic-volume conditions, the Ferry Street major street movements at Adelaide Street are expected to operate at optimal levels (LOS A) during the weekday PM and Saturday midday peak hours. During the weekday PM peak hour, the Adelaide Street approach currently operates with long delays (LOS F). With the addition of historical growth, background developments, and the proposed redevelopment, the Adelaide approach is expected to continue to operate with long delays (LOS F). During the Saturday midday peak hour, the Adelaide Street approach currently operates at LOS D. Under 2015 No-Build traffic-volume conditions, the approach remains at LOS D and drops from LOS D to LOS E as a result of the redevelopment due to an increase in delay of less than 6 seconds. Under 2025 No-Build traffic-volume conditions, the approach drops from LOS D to LOS F and remains at LOS F as a result of the redevelopment, however, vehicle queues are expected to increase by less than 1 vehicle..
- The Ferry Street enter-only driveway will be closed as part of the proposed redevelopment. Under 2015 and 2025 Build traffic-volume conditions, the Ferry Street major street movements at the auto repair driveway are expected to operate at optimal levels (LOS A) during the weekday PM and Saturday midday peak hours. The auto repair driveway is anticipated to operate at LOS D or better. Queue lengths are anticipated to be less than 1 vehicle on average with delays less than 30 seconds. Additionally, the v/c ratios are expected to be well below 1.00, indicating there will be adequate capacity to accommodate the anticipated traffic volumes.
- Under 2015 and 2025 Build traffic-volume conditions, the site driveway intersections are expected to operate at optimal levels (LOS A) during the weekday PM and Saturday midday peak hours. Queue lengths are anticipated to be less than 1 vehicle on average with delays less than 10 seconds. Additionally, the v/c ratios are expected to be well below 1.00, indicating there will be adequate capacity to accommodate the anticipated traffic volumes.

Cc: Jay Lavoie, Police Chief
Rob Buxton, Fire chief
Gary Webster, Town Engineer
George Hall, Planning Board



VICINITY PLAN
NOT TO SCALE



VICINITY MAP
SCALE: 1" = 1,000'

NON-RESIDENTIAL SITE PLAN DAIRY QUEEN MAP 175; LOT 142 119 FERRY STREET HUDSON, NEW HAMPSHIRE



OWNER OF RECORD/APPLICANT:
 LYNN C. & ANN M. WHITE REVOCABLE TRUST
 LYNN C. & ANN M. WHITE (TRUSTEES)
 2 BRADFORD CIRCLE
 HUDSON, NH 03051
 H.C.R.D. BK. 7864; PG. 30

PREPARED BY:
 KEACH-NORDSTROM ASSOCIATES, INC.
 10 COMMERCE PARK NORTH, SUITE 3
 BEDFORD, NEW HAMPSHIRE 03110
 (603) 627-2881

<u>SHEET TITLE</u>	<u>SHEET No.</u>
MASTER PLAN	1
EXISTING CONDITIONS PLAN	2
DEMOLITION/REMOVALS PLAN	3
NON-RESIDENTIAL SITE LAYOUT PLAN	4
GRADING & DRAINAGE PLAN	5
UTILITY PLAN	6
EROSION CONTROL PLAN	7
LANDSCAPE PLAN	8
LIGHTING PLAN	9
CONSTRUCTION DETAILS	10 - 13



KNA
 KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

JULY 18, 2014
 AUGUST 28, 2014
 PROJECT NO. 14-0321-1

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

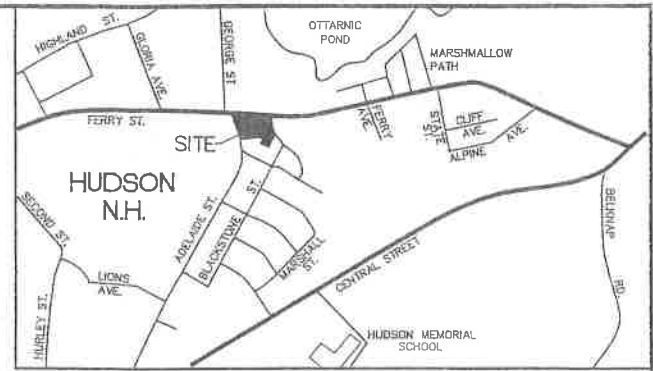
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ DATE _____

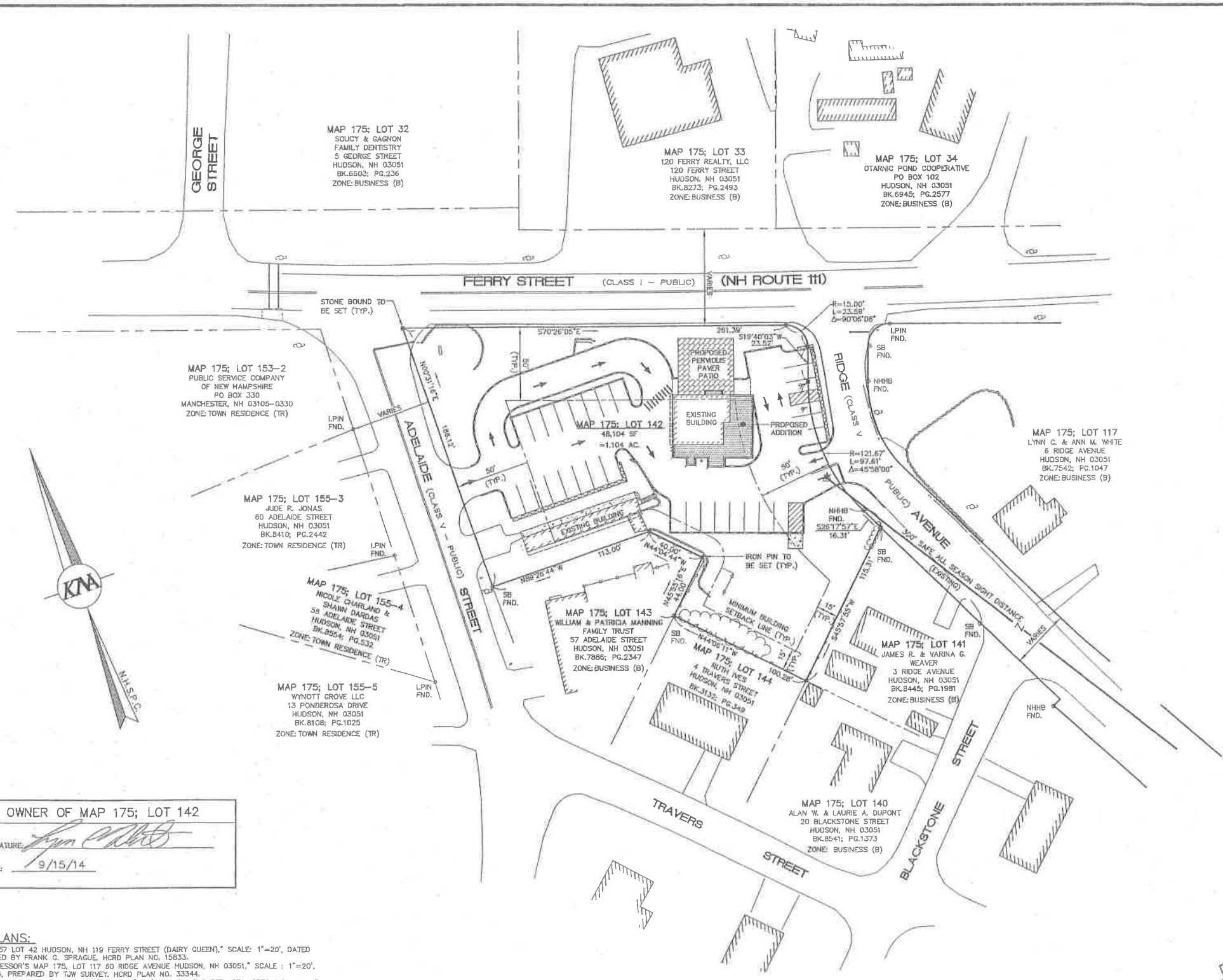
SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

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VICINITY MAP
SCALE: 1" = 1,000'



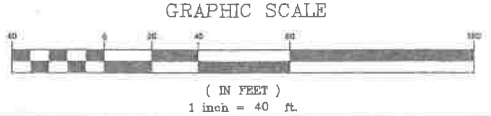
NOTES

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED BUILDING ADDITION AND OTHER SITE IMPROVEMENTS TO THE EXISTING DAIRY QUEEN RESTAURANT ON TOWN OF HUDSON TAX MAP 175; LOT 142.
- AREA OF PARCELS:
MAP 175; LOT 142 = 48,104 SF, 1.104 ACRES
- REFERENCE THIS PARCELS AS TOWN OF HUDSON TAX MAP 175; LOTS 142.
- PRESENT OWNER OF RECORD:
MAP 175; LOT 142
LYNN C. & ANN M. WHITE REVOCABLE TRUST
LYNN C. & ANN M. WHITE (TRUSTEES)
119 FERRY STREET
HUDSON, NH 03051
H.C.R.D. BK. 7864; PG. 30
- PRESENT ZONING: BUSINESS (B)
MINIMUM LOT REQUIREMENTS:
- LOT AREA 30,000 SF WITH WATER AND SEWER
- LOT AREA 43,560 SF WITHOUT WATER AND SEWER
- LOT FRONTAGE 150 FT ARTERIAL/COLLECTOR
- LOT FRONTAGE 150 FT LOCAL ROAD WITH WATER AND SEWER
MINIMUM BUILDING SETBACKS: (LOCAL, COLLECTOR, AND ARTERIAL ROADWAYS)
- FRONT 50 FT
- SIDE 15 FT
- REAR 15 FT
- BOUNDARY AND TOPOGRAPHIC INFORMATION DEPICTED HEREON IS A RESULT OF AN ON GROUND FIELD SURVEY PREPARED BY THIS OFFICE IN APRIL 2014. THERE ARE NO ONSITE JURISDICTIONAL WETLANDS.
- EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 33011C051B0, PANEL 518 OF 701, EFFECTIVE DATE APRIL 18, 2011 INDICATES THAT THE SUBJECT PARCELS ARE NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
- SITE IS SERVICED BY MUNICIPAL WATER AND SEWER.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
- PARKING CALCULATION:
REQUIRED:
2.255 S.F./100 SF = 23 SPACES REQUIRED
PROVIDED:
30 SPACES (INCLUDING 2 HANDICAP)
-NO DESIGNATED LOADING SPACE PROVIDED. DELIVERIES OCCUR IN THE MORNING PRIOR TO THE RESTAURANT OPENING.
- OPEN SPACE:
REQUIRED: 35%
EXISTING: 33.7%
PROPOSED: 35%
- ON JULY 18, 2014, REPRESENTATIVES FROM KEACH-NORDSTROM ASSOCIATES, INC. VERIFIED THAT ADEQUATE SIGHT DISTANCE EXISTS FROM THE PROPOSED DRIVEWAY ALONG ADELAIDE STREET.
- SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADE.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
- TRASH PICK-UP SHALL NOT OCCUR EARLIER THAN 7:00 AM NOR LATER THAN 7:00 PM, MONDAY THROUGH FRIDAY ONLY.
- EXTERIOR CONSTRUCTION ACTIVITIES ON THE SITE SHALL BE LIMITED TO BETWEEN 7:00 AM AND 7:00 PM MONDAY THROUGH SATURDAY. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS.
- IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON WEEKENDS.
- WAIVERS REQUESTED:
HTC 275-8(B)12C - RESIDENTIAL BUFFER
HTC 275-9(C) - NOISE STUDY
HTC 275-9(D) - FISCAL/ENVIRONMENTAL IMPACT STUDY
HTC 275-9(B)22 - FRONT YARD GREEN SPACE
- A VARIANCE WAS GRANTED BY THE HUDSON ZONING BOARD OF ADJUSTMENT (CASE NO. 175-142-000) ON JUNE 19, 2014 TO ALLOW A BUILDING WITHIN TO 50 FOOT FRONT SETBACK
- PLOWED SNOW FROM THE FACILITIES, DRIVEWAY, PARKING LOTS AND SIDEWALK SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ON-SITE DRAINAGE SYSTEM SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH NHDES REQUIREMENTS FOR SUCH SYSTEMS.

OWNER OF MAP 175; LOT 142
SIGNATURE: *Lynn C. White*
DATE: 9/15/14

REFERENCE PLANS:

- "SITE PLAN - MAP 57 LOT 42 HUDSON, NH 119 FERRY STREET (DAIRY QUEEN)," SCALE: 1"=20', DATED JUNE 1983, PREPARED BY FRANK G. SPRAGUE, HCRD PLAN NO. 15833.
- "PLAN OF LAND ASSESSOR'S MAP 175, LOT 117 60 RIDGE AVENUE HUDSON, NH 03051," SCALE: 1"=20', DATED AUGUST 2004, PREPARED BY TJW SURVEY, HCRD PLAN NO. 33344.
- "BOUNDARY PLAN RIDGE AVENUE HUDSON, NH," SCALE: 1"=20', DATED NOVEMBER 1979, PREPARED BY A.E. MAYNARD, HCRD PLAN NO. 12765.
- "PINE RIDGE IN HUDSON, N.H.," SCALE: 1"=40', DATED NOVEMBER 12, 1914, PREPARED BY C.W. HOBBS, SURVEYOR, HCRD PLAN NO. 325.
- "PROPOSED REVISIONS DEARBORN LAND HUDSON, NH," SCALE: 1"=50', DATED OCTOBER 1961, PREPARED BY NED SPAULDING, HCRD PLAN NO. 2240.
- HOUSELOTS IN HUDSON, N.H., SCALE: 1"=200', HCRD PLAN NO 202-1A.



LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- UTILITY POLE
- ABUTTER LINE
- PROPERTY LINE
- STOCKADE FENCE
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- STONEWALL
- SETBACK
- BITUMINOUS CURB

NOTES (CONTINUED)

- THE APPLICANT'S ENGINEER AND/OR CONTRACTOR SHALL CONTACT THE TOWN OF HUDSON TO SCHEDULE A PRECONSTRUCTION MEETING, WHICH WILL BE HELD WITH STAFF PRIOR TO STARTING CONSTRUCTION.
- ALL STIPULATIONS OF APPROVAL SHALL BE INCORPORATED INTO THE DEVELOPMENT AGREEMENT, WHICH SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS, TOGETHER WITH THE SITE PLAN-OF-RECORD.
- PRIOR TO THE PLANNING BOARD ENDORSEMENT OF THE SITE PLAN, THE DEVELOPMENT AGREEMENT AND ALL EASEMENT DOCUMENTS, INCLUDING DRAINAGE, SHARED DRIVEWAYS AND SHARED PARKING, SHALL BE FAVORABLY REVIEWED AND RECOMMENDED BY THE TOWN COUNSEL.
- ALL IMPROVEMENTS SHOWN ON THE SITE PLAN-OF-RECORD, INCLUDING NOTES 1-32, SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
- THIS APPROVAL SHALL BE SUBJECT TO FINAL ENGINEERING REVIEW.
- THE HOURS OF OPERATION OF BUSINESS ON THIS PLAN SHALL NOT EXCEED 10:00 AM TO 11:00PM.
- AFTER THE ISSUANCE OF THE FOUNDATION PERMITS FOR EACH OF THE PROPOSED BUILDINGS, AND PRIOR TO THE ISSUANCE OF THE FRAMING PERMIT THEREOF, THE APPLICANT SHALL SUBMIT TO THE HUDSON COMMUNITY DEVELOPMENT DEPARTMENT A FOUNDATION "AS-BUILT" PLAN ON A TRANSPARENCY AND TO THE SAME SCALE AS THE APPROVED SITE PLAN. THE FOUNDATION "AS-BUILT" PLAN SHALL INCLUDE ALL STRUCTURAL DIMENSIONS AND LOT LINE SETBACK MEASUREMENTS TO THE FOUNDATION AND BE STAMPED BY A LICENSED LAND SURVEYOR. ANY DISCREPANCY BETWEEN THE APPROVED SITE PLAN AND FOUNDATION "AS-BUILT" PLANS SHALL BE DOCUMENTED BY THE APPLICANT AND BE PART OF THE FOUNDATION "AS-BUILT" SUBMISSION.
- PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, A L.L.S. CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED PLAN.
- RESTAURANT DELIVERIES SHALL NOT OCCUR EARLIER THAN 7:00 AM NOR LATER THAN 7:00 PM, MONDAY THROUGH FRIDAY ONLY.
- THE PROPOSED ADDITION AND EXISTING BUILDING WILL CONTAIN 61 SEATS.



CERTIFICATION:

THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION IN APRIL 2014 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRANSVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS AN URBAN STANDARD SURVEY, (CATEGORY 1, CONDITION 1) AS DEFINED IN THE NEW HAMPSHIRE LAND SURVEYORS ASSOCIATION ETHICS AND STANDARDS.

DATE: *9/15/14*
DATE

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

**MASTER PLAN
DAIRY QUEEN
TAX MAP 175; LOT 142
119 FERRY STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY**

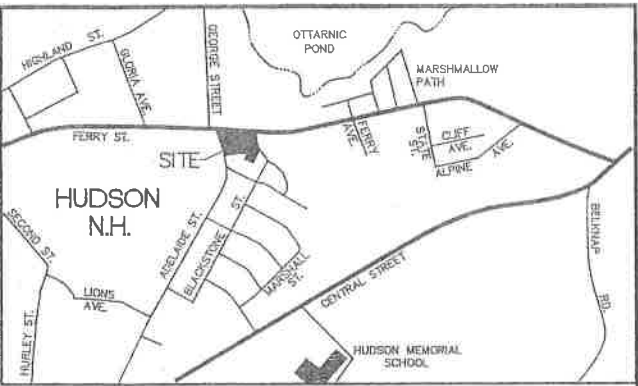
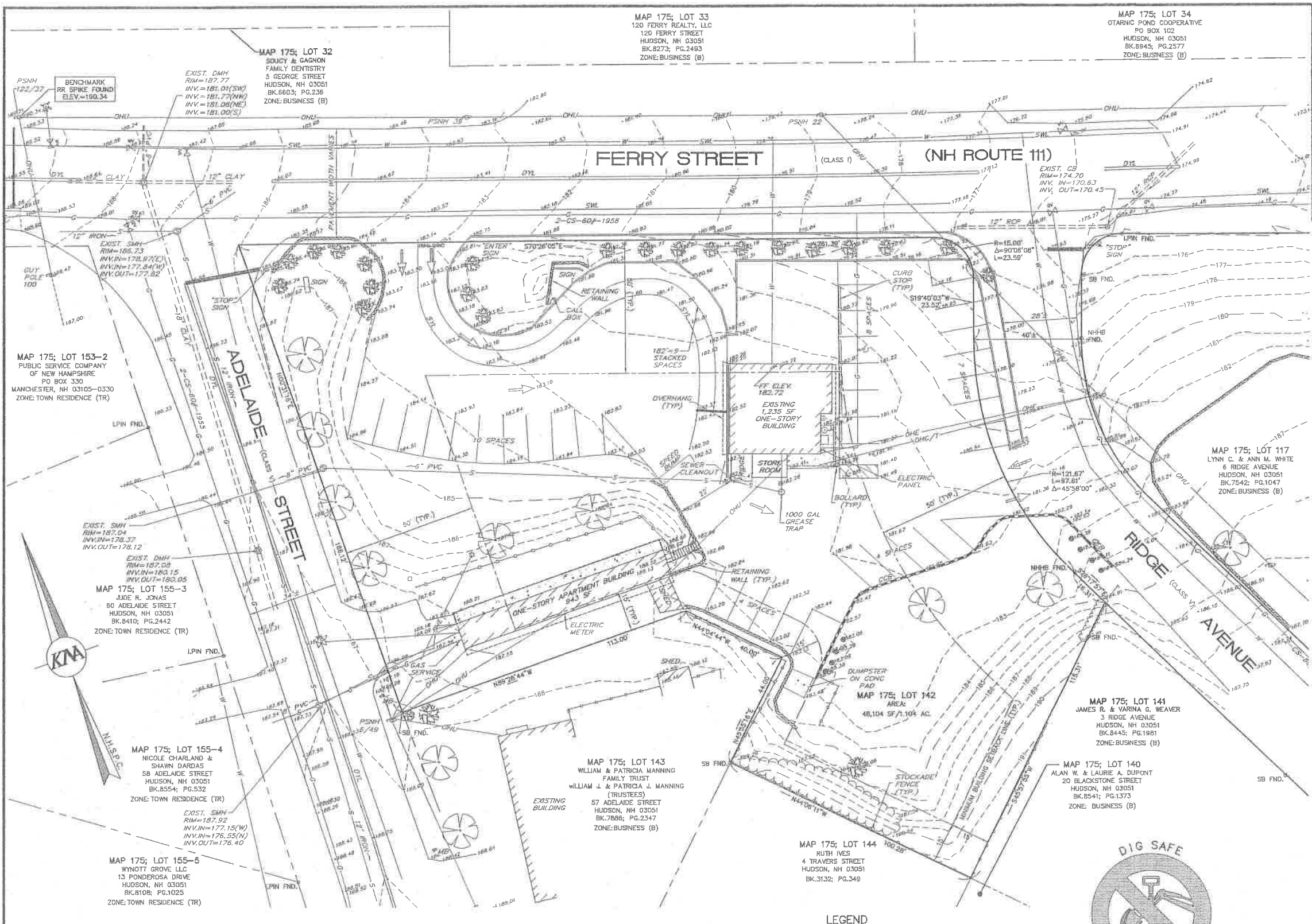
OWNER OF RECORD / APPLICANT
LYNN C. & ANN M. WHITE
REVOCABLE TRUST
LYNN C. & ANN M. WHITE (TRUSTEES)
2 BRADFORD CIRCLE
HUDSON, NH 03051
H.C.R.D. BK. 7864; PG. 30

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS

No.	DATE	DESCRIPTION	BY
1	08/08/2014	PER TOWN COMMENTS	BJC
2	08/28/2014	PER TOWN COMMENTS	BJC

DATE: JULY 18, 2014
PROJECT NO: 14-0321-1
SCALE: 1" = 40'
SHEET 1 OF 13



VICINITY MAP
SCALE: 1" = 1,000'

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS PRESENT ON TAX MAP 175, LOT 142.
 - MAP 175; LOT 142 INDICATES TOWN OF HUDSON TAX ASSESSORS MAP AND LOT NUMBER.
 - PRESENT OWNERS OF RECORD:
LYNN C. & ANN M. WHITE
REVOCABLE TRUST
LYNN C. & ANN M. WHITE (TRUSTEES)
119 FERRY STREET
HUDSON, NH 03051
HCRD BK.7864; PG. 30
 - THE AREA OF THE SUBJECT PARCEL IS AS FOLLOWS:
48,104 SQUARE FEET OR 1.104 ACRES
 - PRESENT ZONING: BUSINESS (B)
MINIMUM LOT REQUIREMENTS:
- LOT AREA 30,000 SF (WITH TOWN WATER AND SEWER)
- LOT FRONTAGE 150 FT (ARTERIAL/COLLECTOR)
MINIMUM BUILDING SETBACKS: (ARTERIAL/COLLECTOR)
- FRONT 50 FT
- SIDE 15 FT
- REAR 15 FT
 - BOUNDARY AND TOPOGRAPHIC INFORMATION DEPICTED ON THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE IN APRIL 2014. HORIZONTAL DATUM NEW HAMPSHIRE STATE PLANE COORDINATES. VERTICAL DATUM IS NGVD 29.
 - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 33010504D, PANEL NUMBER 518 OF 701, EFFECTIVE DATE, SEPTEMBER 25, 2009 INDICATES THAT THE SUBJECT PREMISES IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN, PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.

- REFERENCE PLANS:**
- "SITE PLAN - MAP 57 LOT 42 HUDSON, NH 119 FERRY STREET (DAIRY QUEEN)," SCALE: 1"=20', DATED JUNE 1983, PREPARED BY FRANK G. SPRAGUE, HCRD PLAN NO. 15833.
 - "PLAN OF LAND ASSESSOR'S MAP 175, LOT 117 80 RIDGE AVENUE HUDSON, NH 03051," SCALE: 1"=20', DATED AUGUST 2004, PREPARED BY T&W SURVEY, HCRD PLAN NO. 33344.
 - "BOUNDARY PLAN RIDGE AVENUE HUDSON, NH," SCALE: 1"=20', DATED NOVEMBER 1979, PREPARED BY A.E. MAYNARD, HCRD PLAN NO. 12785.
 - "FINE RIDGE IN HUDSON, N.H.," SCALE: 1"=40', DATED NOVEMBER 12, 1914, PREPARED BY C.W. HOBBS, SURVEYOR. HCRD PLAN NO. 325.
 - "PROPOSED REVISIONS DEARBORN LAND HUDSON, NH," SCALE: 1"=50', DATED OCTOBER 1961, PREPARED BY NED SPAULDING, HCRD PLAN NO. 2240.
 - HOUSELOTS IN HUDSON, N.H., SCALE: 1"=200', HCRD PLAN NO 202-1A.

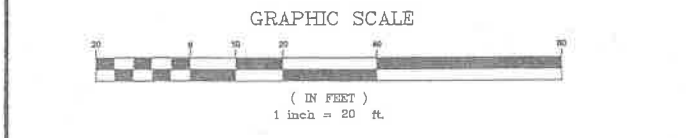
EXISTING CONDITIONS PLAN
DAIRY QUEEN
TAX MAP 175; LOT 142
119 FERRY STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD / APPLICANT
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REVISIONS			
No.	DATE	DESCRIPTION	BY
1	06/05/2014	PER TOWN COMMENTS	B/C
2	06/26/2014	DATE ONLY	B/C

DATE: JULY 18, 2014
PROJECT NO: 14-0321-1
SCALE: 1" = 20'
SHEET 2 OF 13



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

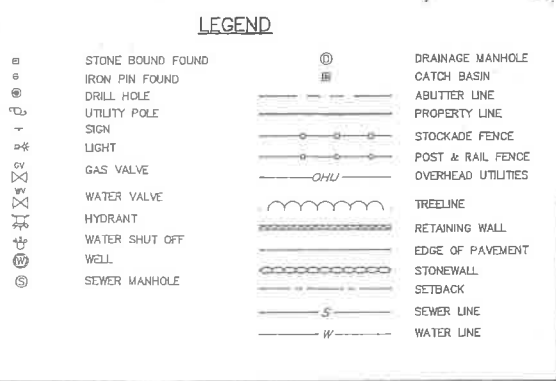
SIGNATURE _____ DATE _____

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ZONING NOTE
THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY KEACH-NORDSTROM ASSOCIATES, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

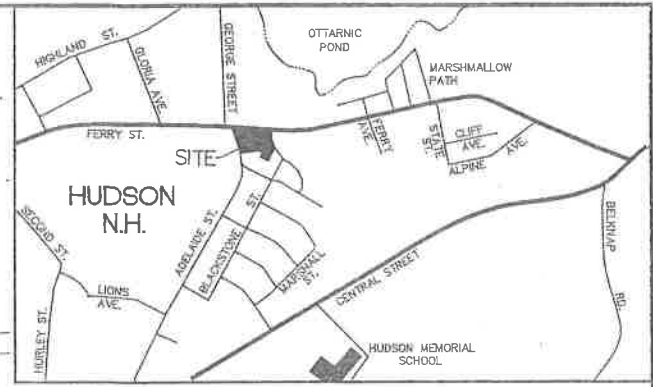
UTILITY NOTE
THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.



CERTIFICATION:
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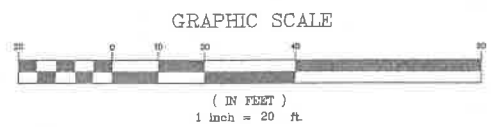
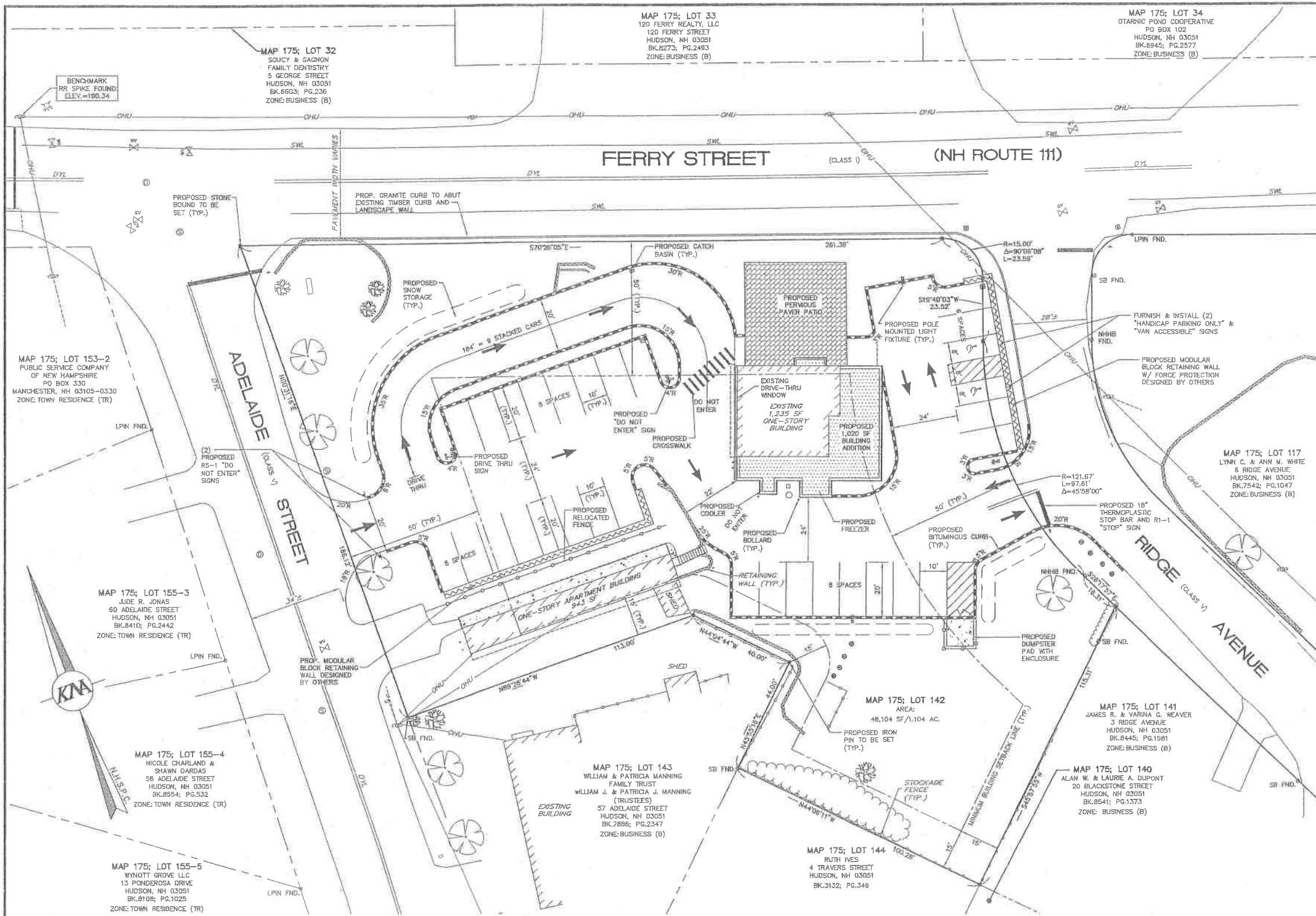
[Signature]
DATE





VICINITY MAP
SCALE: 1" = 1,000'

SEE SHEET 1 FOR NOTES



LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- LIGHT
- GAS VALVE
- WATER VALVE
- HYDRANT
- WATER SHUT OFF
- WELL
- SEWER MANHOLE
- DRAINAGE MANHOLE
- CATCH BASIN
- ABUTTER LINE
- PROPERTY LINE
- STOCKADE FENCE
- POST & RAIL FENCE
- OVERHEAD UTILITIES
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- STONEWALL
- SETBACK
- BITUMINOUS CURB
- GRANITE CURB



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NON-RESIDENTIAL SITE LAYOUT PLAN
DAIRY QUEEN
TAX MAP 175; LOT 142
119 FERRY STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

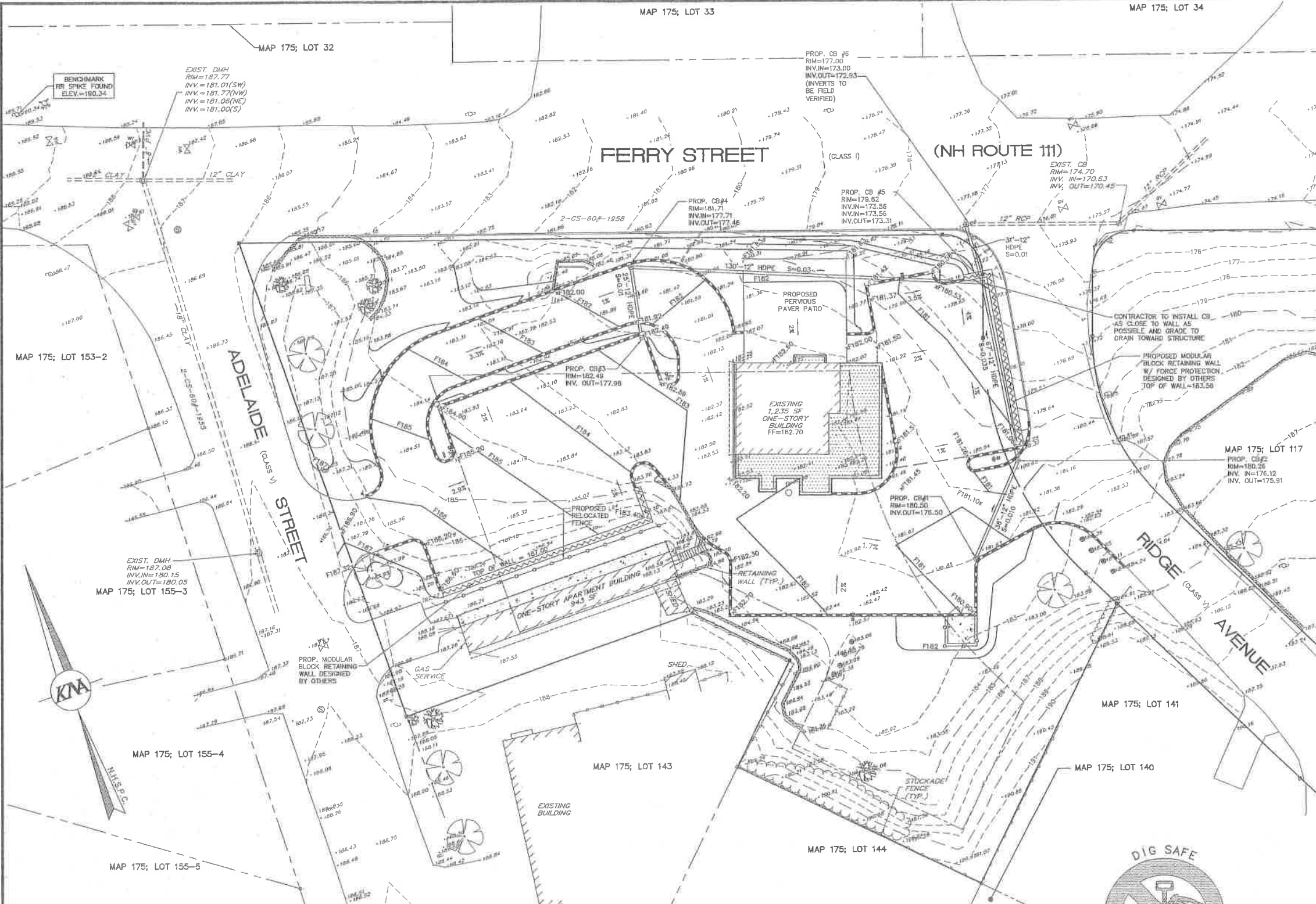
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REVISIONS			
No.	DATE	DESCRIPTION	BY
1	08/08/2014	PER TOWN COMMENTS	BJC
2	08/28/2014	PER TOWN COMMENTS	BJC

DATE: JULY 18, 2014 SCALE: 1" = 20'
PROJECT NO: 14-0321-1 SHEET 4 OF 13



- CONSTRUCTION NOTES:**
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPARTMENT, HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHOWN SHALL BE HDPEP. CATCH BASINS SHALL BE TYPE B, AND HAVE 3' SUMPS UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
 - ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - SEE DETAILS FOR SPECIFIC CONSTRUCTION INFORMATION.
 - CS'S 1-5 TO BE DEEP SUMP CATCH BASINS WITH SNOUT OIL AND DEBRIS STOP. SEE DETAILS ON SHEET 12.

AUGER PROBE #1
 LOGGED BY JAN
 DATE: 7/7/2014
 IMPERVIOUS LAYER: NONE TO 42"
 WATER ENCOUNTERED: NONE TO 42"

0'	SHREDDED BARK MULCH
10'	10YR 5/8" HEX GRANULAR, FRIABLE, GRAVELLY (ROAD BASE MATERIAL)
42" BOTTOM OF HOLE	2.5 7/3. LOOSE, MEDIUM GRAIN, SAND

LOAM & SEED ALL DISTURBED AREAS (TYP.)

GRADING & DRAINAGE PLAN
DAIRY QUEEN
 TAX MAP 175; LOT 142
 119 FERRY STREET
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD / APPLICANT
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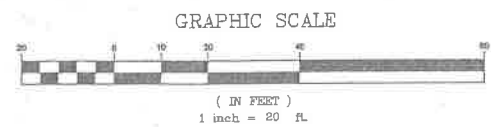
REVISIONS

No.	DATE	DESCRIPTION	BY
1	05/08/2014	PER TOWN COMMENTS	BUC
2	08/28/2014	PER TOWN COMMENTS	BUC

DATE: JULY 18, 2014 SCALE: 1" = 20'
 PROJECT NO: 14-0321-1 SHEET 5 OF 13

LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- LIGHT
- GAS VALVE
- WATER VALVE
- HYDRANT
- WATER SHUT OFF
- WELL
- SEWER MANHOLE
- DRAINAGE MANHOLE
- CATCH BASIN
- ABUTTER LINE
- PROPERTY LINE
- STOCKADE FENCE
- POST & RAIL FENCE
- OVERHEAD UTILITIES
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- STONEMALL
- SETBACK
- SEWER LINE
- WATER LINE
- PROPOSED BITUMINOUS CURB
- GRANITE CURB

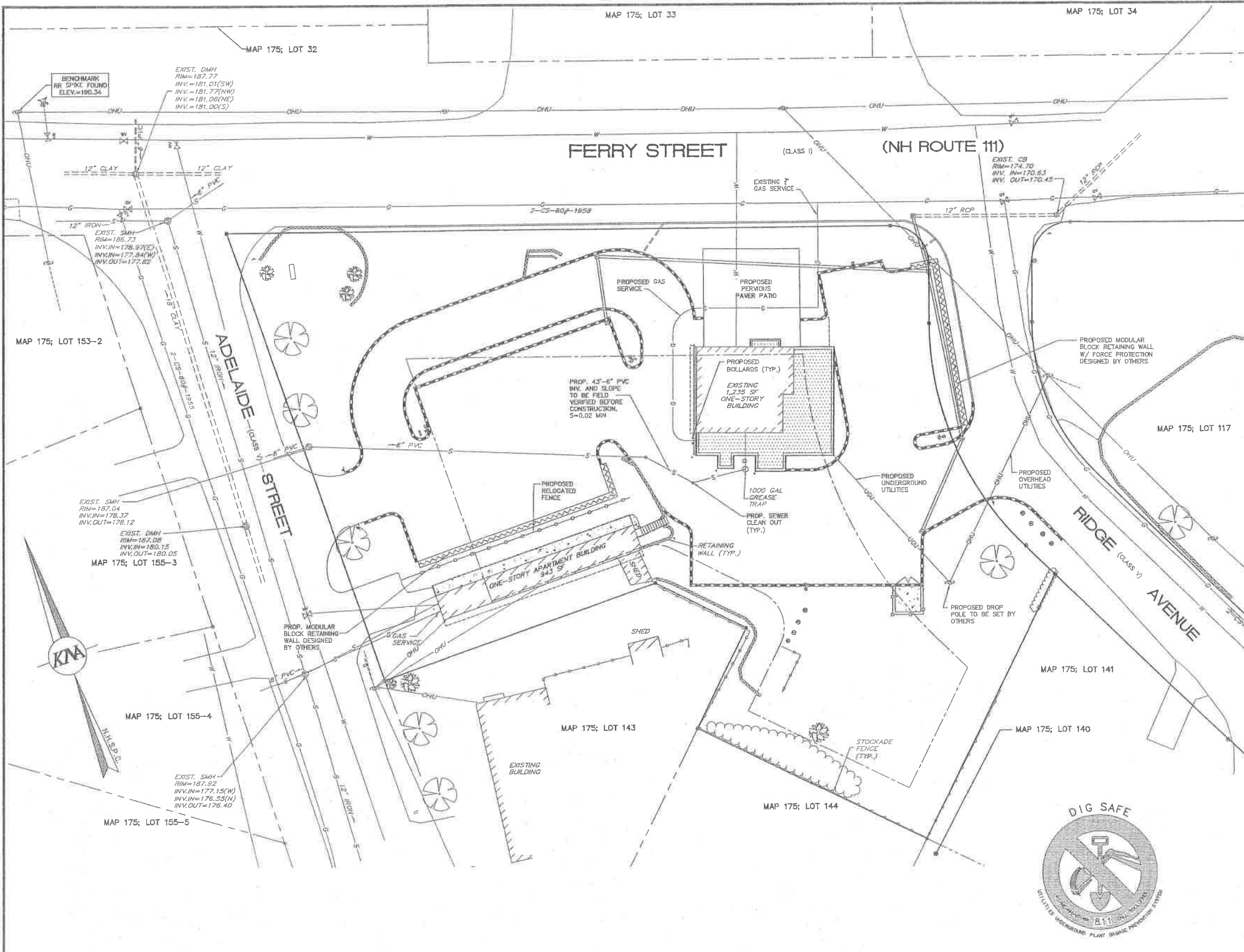


PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
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- CONSTRUCTION NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
 3. CONTRACTOR TO COORDINATE WITH PSNH AND FAIRPOINT REGARDING DROP POLE AND TRANSFORMER LOCATIONS.
 4. LIBERTY UTILITIES SHALL SIZE AND INSTALL PROPOSED GAS SERVICES.



- LEGEND**
- ⊕ STONE BOUND FOUND
 - ⊕ UTILITY POLE
 - ⊕ SIGN
 - ⊕ GAS VALVE
 - ⊕ WATER VALVE
 - ⊕ HYDRANT
 - ⊕ WELL
 - ⊕ SEWER MANHOLE
 - ⊕ DRAINAGE MANHOLE
 - ⊕ CATCH BASIN
 - ⊕ ABUTTER LINE
 - ⊕ PROPERTY LINE
 - ⊕ WETLAND
 - ⊕ WIRE FENCE
 - ⊕ OVERHEAD UTILITIES
 - ⊕ GAS LINE
 - ⊕ WATER LINE
 - ⊕ SEWER LINE
 - ⊕ DRAINAGE LINE
 - ⊕ TREELINE
 - ⊕ RETAINING WALL
 - ⊕ EDGE OF PAVEMENT
 - ⊕ BUILDING SETBACK
 - ⊕ EXISTING EASEMENT
 - ⊕ PROPOSED EDGE OF PAVEMENT
 - ⊕ PROPOSED BITUMINOUS CURB
 - ⊕ PROPOSED DRAINAGE LINE
 - ⊕ OHU PROPOSED OVERHEAD UTILITIES
 - ⊕ UGU PROPOSED UNDERGROUND UTILITIES
 - ⊕ G PROPOSED GAS LINE
 - ⊕ W PROPOSED WATER LINE
 - ⊕ S PROPOSED SEWER LINE

LOAM & SEED ALL DISTURBED AREAS (TYP.)

UTILITY PLAN
DAIRY QUEEN
 TAX MAP 175; LOT 142
 119 FERRY STREET
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD / APPLICANT
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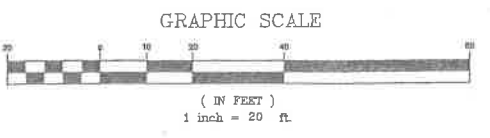
REVISIONS			
No.	DATE	DESCRIPTION	BY
1	08/08/2014	PER TOWN COMMENTS	BJC
2	08/25/2014	PER TOWN COMMENTS	BJC

DATE: AUGUST 8, 2014 SCALE: 1" = 20'
 PROJECT NO: 14-0321-1 SHEET 6 OF 13

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
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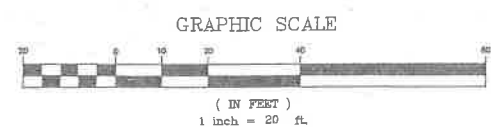
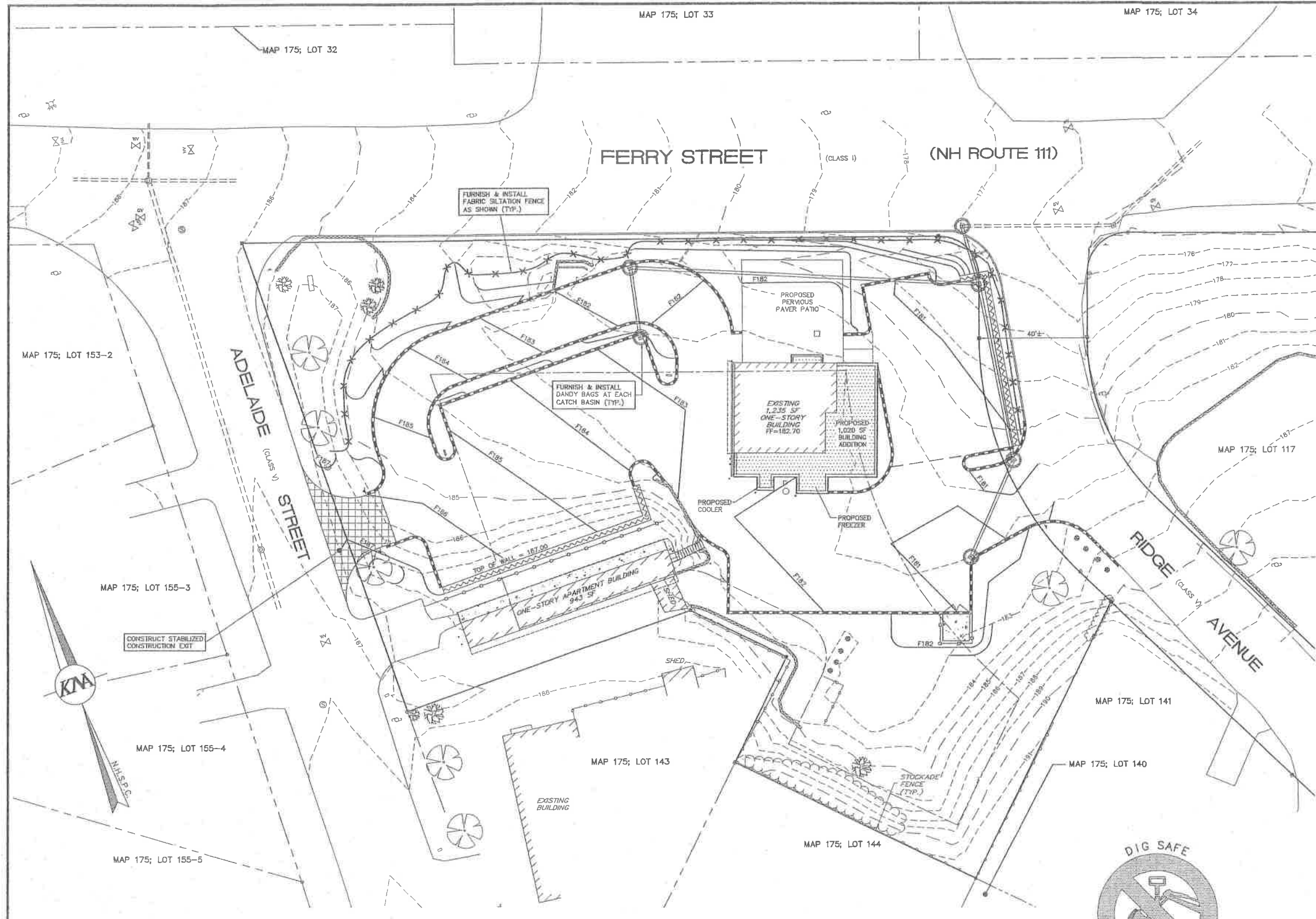
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- CONSTRUCTION NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES AS WELL AS THE PERMANENT EROSION CONTROL MEASURES.
 2. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME.
 3. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
 4. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
 5. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDELE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
 6. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
 7. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
 8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
 9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
 10. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
 11. SNOW ACCUMULATED DURING THE WINTER CONSTRUCTION CONDITIONS SHOULD BE STORED IN THE STAGING & STOCKPILE AREA DETERMINED BY THE CONTRACTOR, SURROUNDED BY SILT FENCE.

LOAM & SEED ALL DISTURBED AREAS (TYP.)

EROSION & SEDIMENT CONTROL LEGEND

- TEMPORARY DANDY BAGS AT ALL CATCH BASINS
- x — SILT FENCE
- ▨ STABILIZED CONSTRUCTION EXIT



LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE
- UTILITY POLE
- SIGN
- LIGHT
- GAS VALVE
- WATER VALVE
- HYDRANT
- WATER SHUT OFF
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EROSION CONTROL PLAN
DAIRY QUEEN
TAX MAP 175; LOT 142
119 FERRY STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD / APPLICANT
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HUDSON, NH 03051
H.C.R.D. BK.7B64; PG.30

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

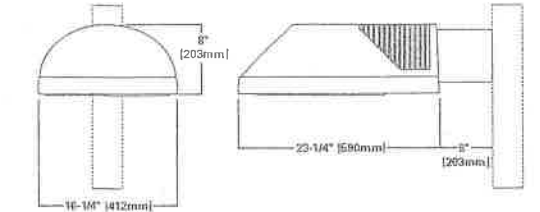
REVISIONS

No.	DATE	DESCRIPTION	BY
1	08/05/2014	PER TOWN COMMENTS	BJC
2	08/25/2014	PER TOWN COMMENTS	BJC

DATE: JULY 18, 2014 SCALE: 1" = 20'
PROJECT NO: 14-0321-1 SHEET 7 OF 13

O:_proj\1403211\1403211.dwg - SITE PLAN - SET - REVZ.dwg, 9/15/2014 12:36:30 PM, SAVIN 3406WD

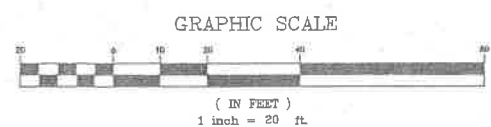
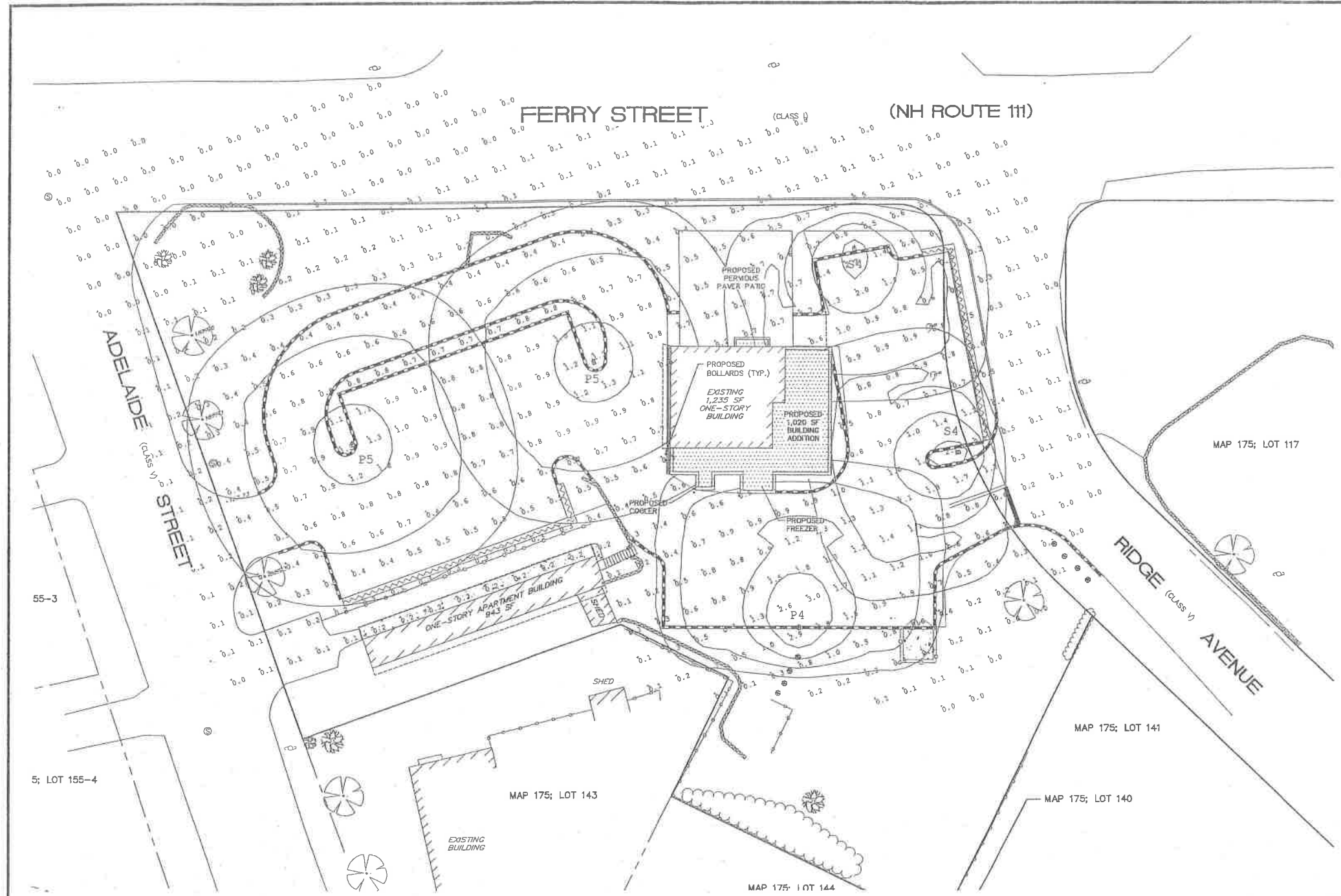
- CONSTRUCTION NOTES:**
1. PROVIDE NEW WIRE FROM PANELS TO NEW AND EXISTING LIGHTS IN SCHEDULE 80 ELECTRICAL CONDUIT, 1" MINIMUM.
 2. PROVIDE PHOTO CELL AND TIME CLOCK CONTROL.
 3. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION REGARDING LIGHT INSTALLATION AND WIRING REQUIREMENTS.



TALON MEDIUM LED
NOT TO SCALE

StatArea
DRIVES AND PARKING AREAS
Illuminance (Fc)
Average = 0.86
Maximum = 3.0
Minimum = 0.4
Avg/Min Ratio = 2.15
Max/Min Ratio = 7.50

Symbol	Qty	Label	Arrangement	Description
P4	1	P4	SINGLE	TLM-B03-LED-E1-SL4/ 20' AFG
P5	2	P5	SINGLE	TLM-B03-LED-E1-SWQ/ 20' AFG
S4	2	S4	SINGLE	TLM-B02-LED-E1-SL4/ 20' AFG



IN ASSOCIATION WITH:

CHARRON
INCORPORATED
P.O. BOX 4550
MANCHESTER, NH 03108
(603) 824-4827
FAX (603) 824-6764

LIGHTING PLAN
DAIRY QUEEN
TAX MAP 175; LOT 142
119 FERRY STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD / APPLICANT
LYNN C. & ANN M. WHITE
REVOCABLE TRUST
LYNN C. & ANN M. WHITE (TRUSTEES)
2 BRADFORD CIRCLE
HUDSON, NH 03051
H.C.R.D. BK.7864; PG.30

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REVISIONS			
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2	08/25/2014	PER TOWN COMMENTS	B/C

DATE: JULY 18, 2014 SCALE: 1" = 20'
PROJECT NO: 14-0321-1 SHEET 9 OF 13

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

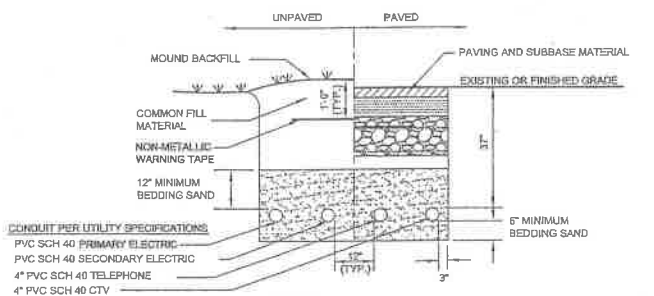
SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

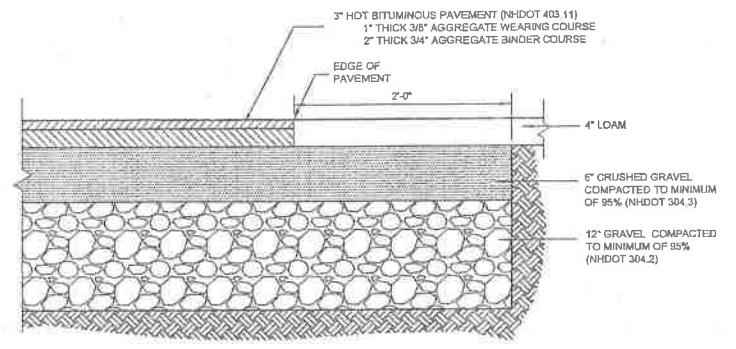
SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



O:_proj\pc\14032111\14032111-LIGHTING-REVZ.dwg, 9/15/2014 12:38:53 PM, SAVIN 3406WD

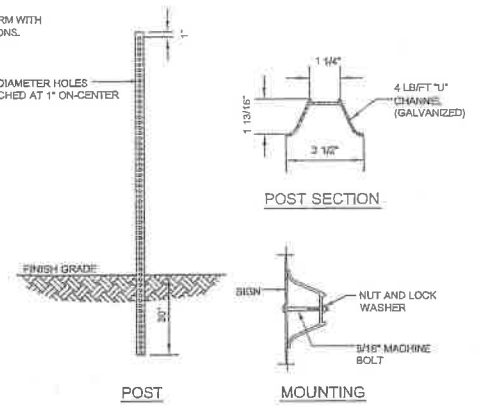


UTILITY TRENCH DETAIL
NOT TO SCALE
(MARCH 2008)



DRIVEWAY AND PARKING LOT SECTION
NOT TO SCALE
(MARCH 2008)

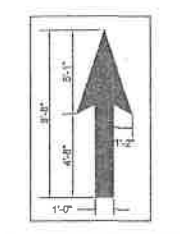
TRAFFIC SIGN NOTES:
1. ALL TRAFFIC SIGN FACES AND SHAPES SHALL CONFORM WITH THE MUTCD.
2. ALL SIGN POST MOUNTS SHALL CONFORM WITH THE AASHTO AND NHDOT SPECIFICATIONS.



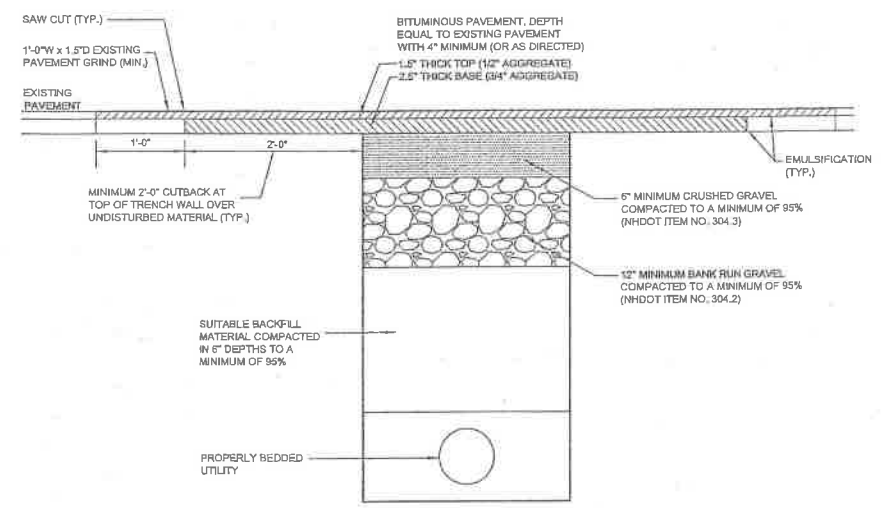
NOTE:
POST SHALL CONFORM TO NHDOT B15.2.5.3

STEEL SIGN POST DETAIL
NOT TO SCALE
(MARCH 2008)

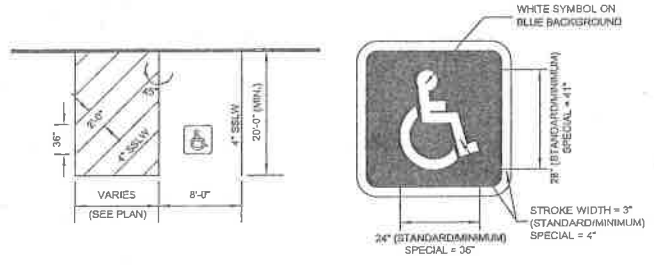
STRIPING NOTES:
1. ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THESE STANDARDS AND THE CURRENT EDITION OF MUTCD.
2. WIDTH OF LINES SHALL VARY NO MORE THAN 1/4 INCH FROM THAT SPECIFIED.
3. THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED.
4. OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.



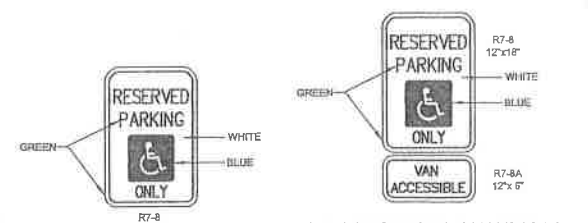
THROUGH (STRAIGHT) ARROW



PERMANENT PAVEMENT REPAIR
NOT TO SCALE
(MARCH 2008)

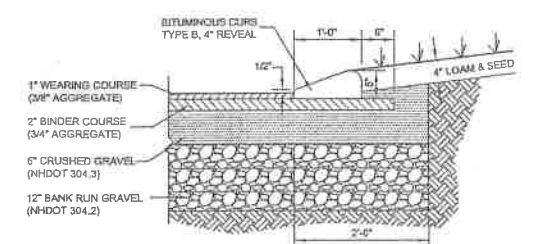


HANDICAP STRIPING DETAIL
NOT TO SCALE
(MARCH 2012)

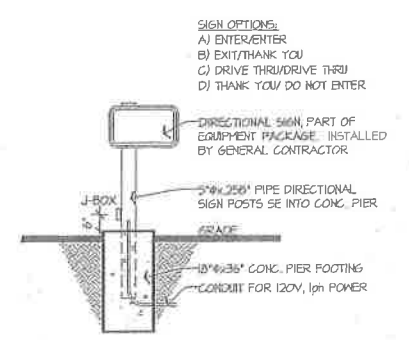


HANDICAP PARKING SIGN DETAIL
NOT TO SCALE
(MARCH 2008)

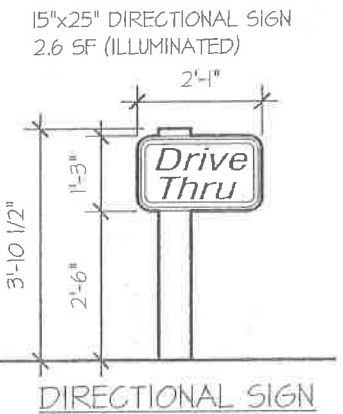
VAN ACCESSIBLE HANDICAP PARKING SIGN DETAIL
NOT TO SCALE
(MARCH 2008)



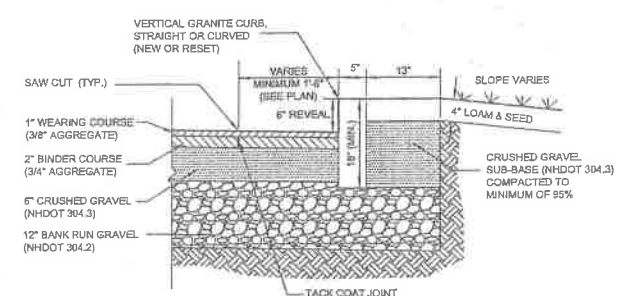
BITUMINOUS CURB TYPE B DETAIL
NOT TO SCALE
(MARCH 2008)



DIRECTIONAL SIGN SECTION



DIRECTIONAL SIGN



VERTICAL GRANITE CURB DETAIL
NOT TO SCALE
(MARCH 2008)

CONSTRUCTION DETAILS
DAIRY QUEEN
TAX MAP 175; LOT 142
119 FERRY STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

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REVISIONS			
No.	DATE	DESCRIPTION	BY
1	05/08/2014	PER TOWN COMMENTS	BUC
2	05/28/2014	DATE ONLY	BUC

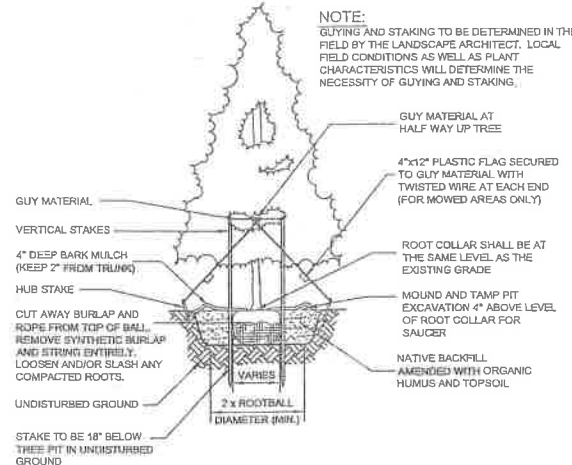
DATE: JULY 18, 2014 SCALE: NONE
PROJECT NO: 14-0321-1 SHEET 10 OF 13

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

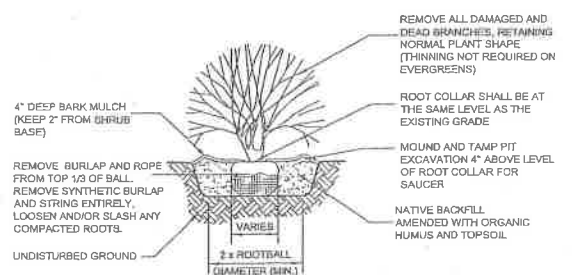
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

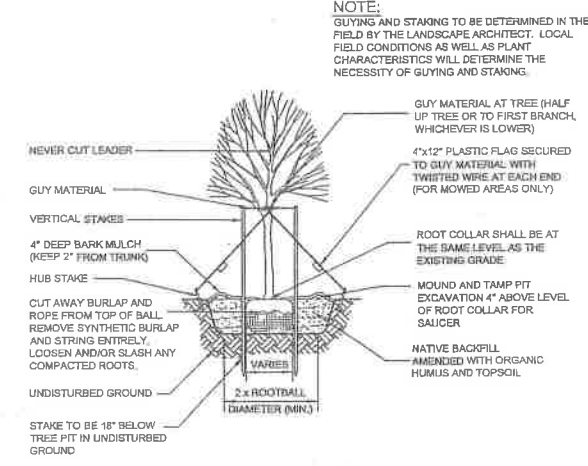
O:_projec\1403211\1403211.dwg 1403211-DETAILS - REV2.dwg, 9/15/2014 12:37:37 PM, SAVIN 3406WD



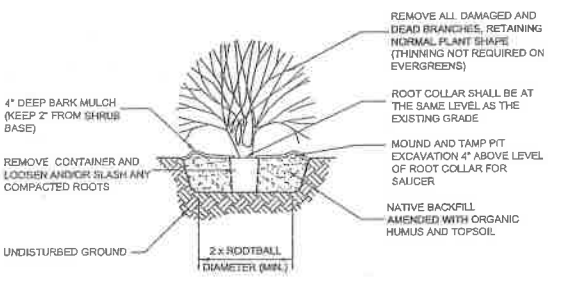
EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



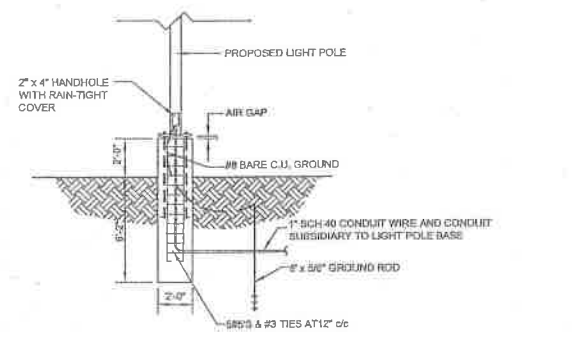
BALLED & BURLAP SHRUB PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



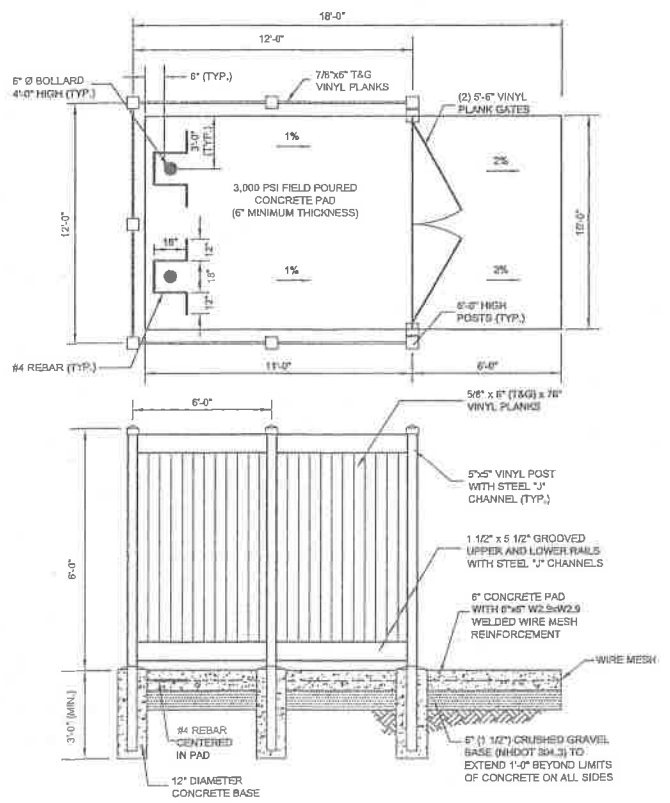
DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



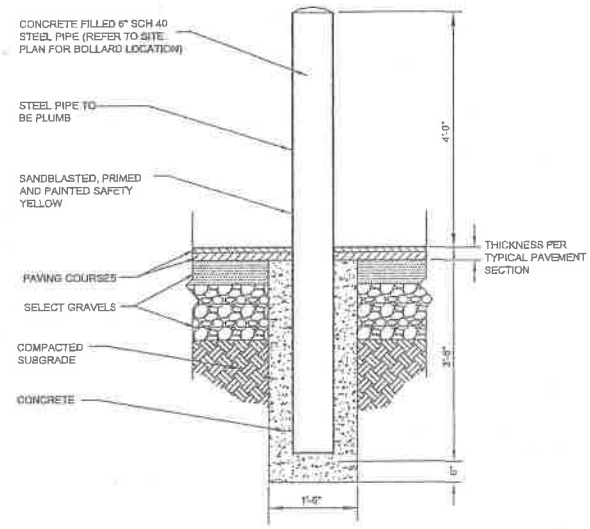
CONTAINER SHRUB PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



CONCRETE LIGHT POLE BASE DETAIL
NOT TO SCALE
(MARCH 2008)



VINYL TRASH ENCLOSURE DETAIL
NOT TO SCALE
(MARCH 2008)



BOLLARD DETAIL
NOT TO SCALE
(MARCH 2008)

TURF ESTABLISHMENT SCHEDULE

PURPOSE:
TO ESTABLISH AND MAINTAIN PERMANENT AND TEMPORARY TURF AREAS, RESTORE GROWTH TO EXISTING TURF AREAS DISTURBED DURING CONSTRUCTION AND CONTROL SOIL EROSION.

PREPARATION AND EXECUTION:

- RAKE THE SUBGRADE OF ALL AREAS TO BE LOAMED AND SEED TO REMOVE RUBBISH, STICKS, ROOTS AND STONES LARGER THAN 1 INCH.
- PLACE LOAM OVER AREAS TO BE SEED AND SPREAD.
- FINE GRADE SURFACE AND SUPPLEMENT WITH SUITABLE LOAM WHERE NEEDED TO CREATE A UNIFORM SURFACE ACCORDING TO THE FINISH GRADES INDICATED. TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED. NO LOAM SHALL BE SPREAD IF THE SUBGRADE IS EXCESSIVELY WET OR FROZEN.
- APPLY LIME EVENLY OVER LOAM SURFACE AND THOROUGHLY INCORPORATE LIME INTO THE LOAM BY HEAVY RAKING TO AT LEAST ONE-HALF THE DEPTH OF THE LOAM.
- APPLY FERTILIZER AND MIX WITH THE UPPER 2 INCHES OF LOAM.
- DETERMINE APPROPRIATE MIXTURE FOR AREA TO BE SEED BASED ON EXAMINATION OF PROJECT PLANS. UNIFORMLY SPREAD THE SEED BY BROADCASTING OR HYDROSEEDING. IF BROADCASTING, LIGHTLY RAKE INTO THE PREPARED SURFACE AND ROLL. IF HYDROSEEDING, USE 4 TIMES THE RECOMMENDED RATE OF INOCULANT. AFTER SEED IS SPREAD, WATER THOROUGHLY WITH A FINE SPRAY.
- SEEDING FOR PERMANENT COVER SHALL OCCUR BETWEEN SEPTEMBER 15 AND OCTOBER 15 AND BETWEEN APRIL 15 AND JUNE 15. SEEDING SHALL NOT BE DONE DURING WINDY WEATHER, WHEN THE GROUND IS FROZEN OR EXCESSIVELY WET OR OTHERWISE UNTILLABLE.
- WITHIN 24 HOURS AFTER SEEDING OPERATION, UNIFORMLY MULCH THE AREA WITH HAY, ANCHOR MULCH ON ALL SLOPES EXCEEDING 3:1 USING MULCH NETTING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER.
- PROTECT AND PREVENT AGAINST WASHOUTS, ANY WASHOUTS WHICH OCCUR SHALL BE PROMPTLY REGRADED AND RESEED.
- WHEN IT IS IMPRACTICAL TO ESTABLISH PERMANENT GROWTH ON DISTURBED EARTH BY OCTOBER 15, A TEMPORARY SEED MIXTURE SHALL BE USED. WHEN TEMPORARY SEEDING CANNOT ESTABLISH VISIBLE GROWTH, THE DISTURBED AREA SHALL BE COVERED WITH SIX INCHES OF MULCH FOR THE WINTER.

MAINTENANCE:
ALL SEEDING AREAS SHALL BE KEPT WATERED AND IN GOOD CONDITION. RESEED AS NECESSARY TO ESTABLISH HEALTHY UNIFORM GROWTH OVER THE ENTIRE SEEDING AREA. MAINTAIN SEEDING AREAS IN AN APPROVED CONDITION UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE REPAIRS FOR DAMAGE CAUSED BY EROSION.

APPLICATION RATES:

- LOAM SHALL BE APPLIED AT A MINIMUM COMPACTED THICKNESS OF 4 INCHES.
- LIME SHALL BE APPLIED AT A RATE OF 75 TO 100 POUNDS PER 1,000 S.F.
- FERTILIZER SHALL BE APPLIED AT A RATE OF 30 POUNDS PER 1,000 S.F.
- SEED MIXTURE FOR LAWN AREAS SHALL BE APPLIED AT A RATE OF AT LEAST 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
- TEMPORARY SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1,000 S.F.
- SEED MIXTURE FOR SLOPE AREAS SHALL BE APPLIED AT A RATE OF 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
- SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS SHALL BE APPLIED AT A RATE OF 70 POUNDS PER ACRE OR 1.8 POUNDS PER 1,000 S.F.
- MULCH SHALL BE APPLIED AT A RATE OF 90 POUNDS PER 1,000 S.F.

MATERIALS:

- LOAM USED FOR TOPSOIL SHALL BE FRABLE, FERTILE, NATURAL FREE-DRAINING LOAM; FREE OF ROOTS, GRASS, STICKS, WEEDS, CLAY, SOD LUMPS, DEBRIS AND STONES LARGER THAN 1 INCH IN ANY DIMENSION. SOIL SHALL NOT BE EXCESSIVELY ACID OR ALKALINE AND CONTAIN NO TOXIC MATERIALS.
- LIME SHALL BE GROUND LIMESTONE CONTAINING NO LESS THAN 95% CALCIUM AND MAGNESIUM CARBONATES.
- FERTILIZER SHALL BE 10-20-20 COMMERCIAL GRADE.
- SEED MIXTURE FOR LAWN AREAS SHALL BE 99% PURE LIVE SEED AND CONSIST OF THE FOLLOWING:
25% CREEPING RED FESCUE
25% KENTUCKY BLUEGRASS
25% REDTOP
25% MANHATTAN PERENNIAL RYEGRASS
- TEMPORARY SEEDING MIXTURE SHALL BE AN APPROVED CONSERVATION MIX OR CONSIST OF THE FOLLOWING:
15% BLACKWELL OR SHELTER SWITCHGRASS
35% WAGRA OR KAW BIG BLUESTEM
30% CAMPER OR BLAZE LITTLESTEM
15% NE-27 OR BLAZE SAND LOVEGRASS
10% VIKING BIRDSFOOT TREFLOID
- INOCULUM SPECIFIC TO BIRDSFOOT TREFLOID MUST BE USED WITH THIS MIXTURE. IF SEEDING BY HAND, A STICKING AGENT SHALL BE USED. IF SEEDING WITH A HYDROSEEDER, USE FOUR TIMES THE RECOMMENDED AMOUNT OF INOCULUM.
- SEED MIXTURE FOR SLOPE AREAS SHALL BE 99% PURE LIVE SEED AND SHALL CONSIST OF THE FOLLOWING:
30% CREEPING RED FESCUE
40% PERENNIAL RYE GRASS
15% REDTOP
15% BIRDSFOOT TREFLOID
IN ADDITION TO THE MIX SPECIFIED ABOVE, CROWN VETCH SHALL BE USED ON ALL SLOPES STEEPER THAN 3:1. CROWN VETCH SHALL BE APPLIED AT A RATE OF 10 POUNDS PER ACRE AND INOCULUM SPECIFIC TO CROWN VETCH MUST BE USED.
- SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS, INCLUDING DETENTION BASINS AND VEGETATED TREATMENT SWALES SHALL CONSIST OF THE FOLLOWING:
25% CREEPING RED FESCUE
15% SWITCH GRASS
15% FOX SEDGE
15% CREEPING BENTGRASS
10% FLATPEA
20% WILDFLOWER VARIETY
- HAY USED FOR MULCH SHALL CONSIST OF MOWED AND PROPERLY CURED GRASS OR LEGUME MOWINGS, FREE FROM WEEDS, TWIGS, DEBRIS OR OTHER DELETERIOUS MATERIAL AND ROT OR MOLD.

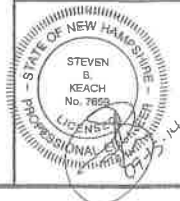
CONSTRUCTION DETAILS

DAIRY QUEEN

TAX MAP 175; LOT 142
119 FERRY STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD / APPLICANT
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KM KEACH-NORDSTROM ASSOCIATES, INC.
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REVISIONS			
No.	DATE	DESCRIPTION	BY
1	08/08/2014	PER TOWN COMMENTS	B.J.C.
2	08/28/2014	DATE ONLY	B.J.C.

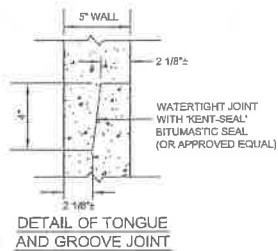
DATE: JULY 18, 2014 SCALE: NONE
PROJECT NO: 14-0321-1 SHEET 11 OF 13

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

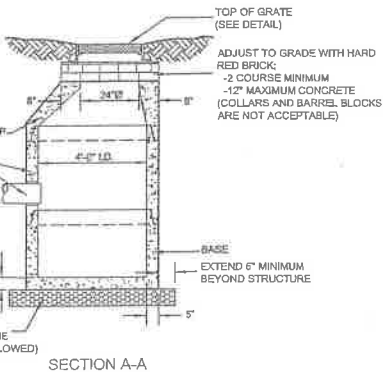
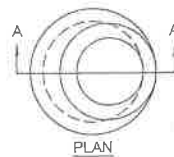
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____
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NOTES:

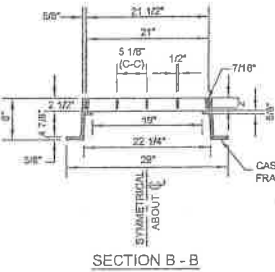
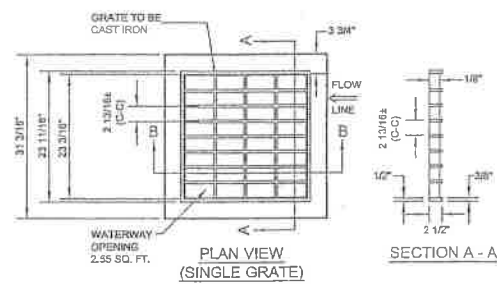
- ALL SECTIONS SHALL BE CONCRETE CLASS AA(4000 PSI), CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCH PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
- THE TONGUE OR GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCH PER LINEAR FOOT.
- RISER OF 1", 2", 3" & 4" CAN BE USED TO REACH DESIRED DEPTH.
- MATERIALS AND CONSTRUCTION TO NHDOT STANDARDS.



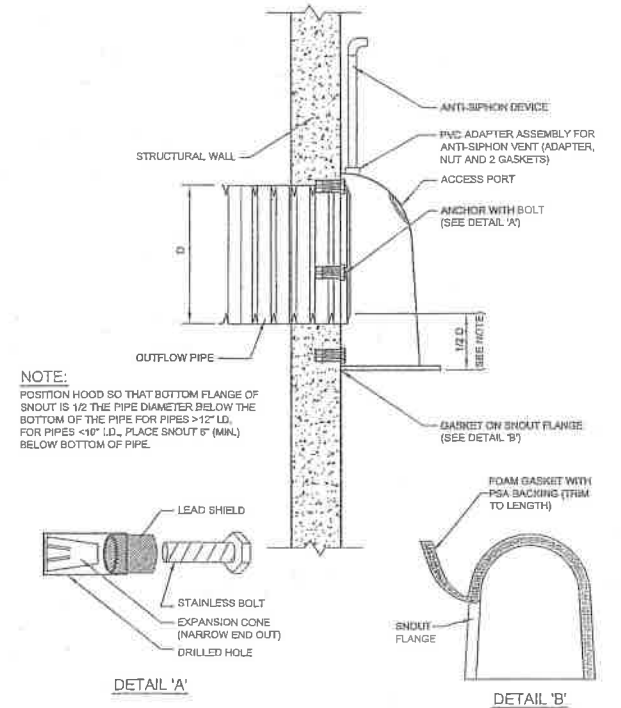
DETAIL OF TONGUE AND GROOVE JOINT



PRECAST REINFORCED CATCH BASIN
NOT TO SCALE
(MAY 2012)

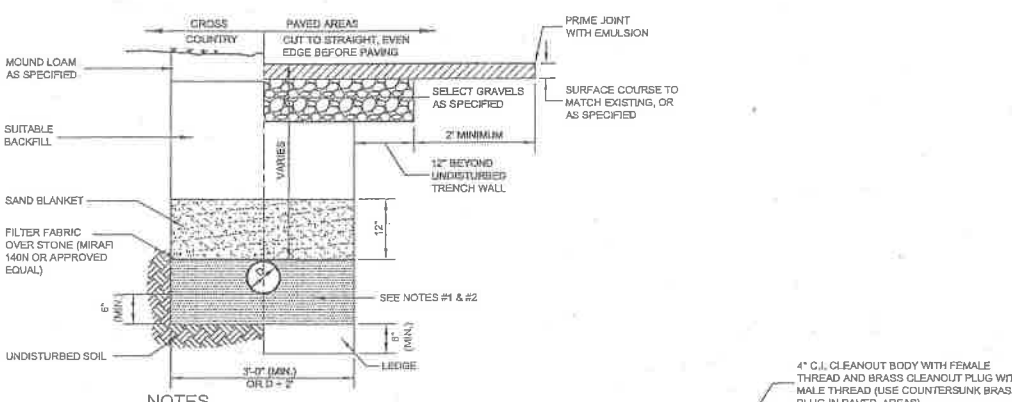


TYPE B FRAME & GRATE DETAIL
NOT TO SCALE
(MARCH 2008)

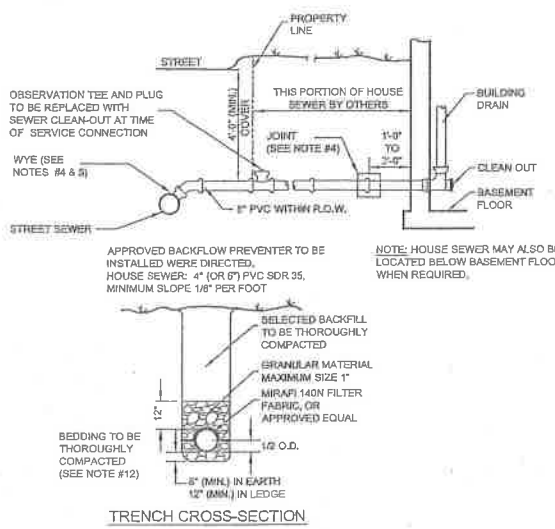


NOTE:
POSITION HOOD SO THAT BOTTOM FLANGE OF SNOUT IS 1/2 THE PIPE DIAMETER BELOW THE BOTTOM OF THE PIPE FOR PIPES >12\"/>

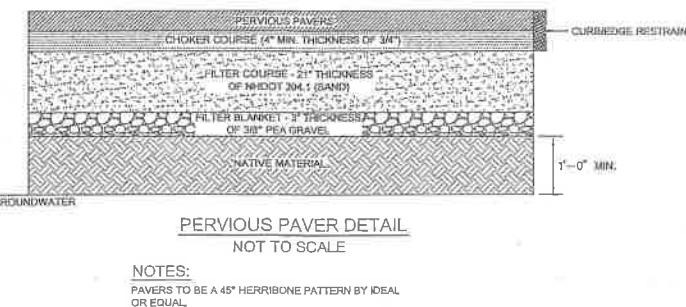
SNOUT OIL AND DEBRIS STOP DETAIL (OR EQUAL)
NOT TO SCALE
(MARCH 2008)



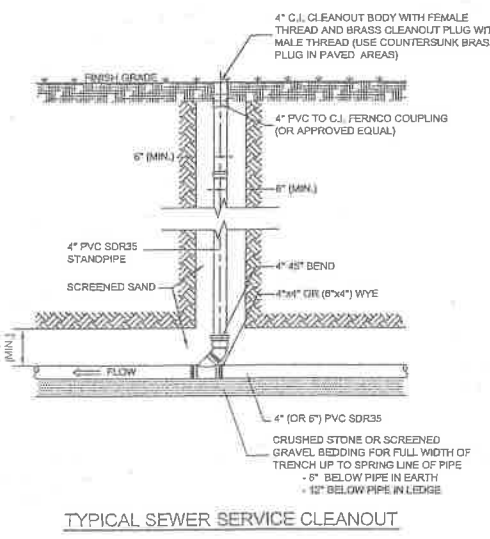
STORM DRAINAGE TRENCH DETAIL
NOT TO SCALE
(MARCH 2009)



SANITARY SEWER SERVICE DETAIL
NOT TO SCALE
(MARCH 2011)



PERVIOUS PAVER DETAIL
NOT TO SCALE



TYPICAL SEWER SERVICE CLEANOUT
NOT TO SCALE
(AUGUST 2011)

NOTES:

- MINIMUM SIZE PIPE FOR COMMERCIAL SERVICE SHALL BE 6 INCHES.
- PIPE AND JOINT MATERIALS:
 - DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE AMERICAN WATER WORKS ASSOCIATION (AWWA):
 - AWWA C151/A21.51-02 - FOR DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL OR SAND-LINED MOLDS, FOR WATER OR OTHER LIQUIDS;
 - AWWA C150/A21.50-02 - FOR THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A536-04 (2004) DUCTILE IRON CASTINGS;
 - JOINTS SHALL BE MECHANICAL, PUSH-ON OR BALL-AND-SOCKET TYPE.
 - PLASTIC GRAVITY SEWER PIPE AND FITTINGS SHALL COMPLY WITH THE FOLLOWING STANDARDS:
 - ASTM D3034-04 - PVC, SOLID WALL;
 - AT LEAST 46 PSI AT 5% PIPE DIAMETER DEFLECTION, AS MEASURED IN ACCORDANCE WITH ASTM D2444-02 DURING MANUFACTURING; AND
 - JOINT SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D3212-96(2003)E1 AND SHALL BE PUSH-ON OR BALL-AND-SOCKET TYPE.
- DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
- JOINTS SHALL BE DEPENDENT UPON PROPER MATERIALS (SEE NOTE #2) FOR WATER TIGHTNESS, AND ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
- ALL NEW CONSTRUCTION SERVICE CONNECTIONS SHALL USE TEE OR WYE FITTINGS. IN EXISTING CONSTRUCTION WHERE A TEE OR WYE IS NOT AVAILABLE, THE APPROPRIATE CONNECTION SHALL BE MADE, FOLLOWING THE MANUFACTURER'S INSTRUCTIONS USING A BOLTED, CLAMPED OR EPOXY-CEMENTED SADDLE TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING IN THE SEWER. THE PRACTICE OF BREAKING AN OPENING WITH A SLEDGE HAMMER, APPLYING MORTAR TO HOLD THE CONNECTION OR ANY OTHER SIMILAR CRUDE PRACTICES WILL NOT BE PERMITTED. SADDLE CONNECTIONS SHALL BE CONCRETE ENCASED IF PERMITTED BY THE AUTHORITY HAVING JURISDICTION (AHJ).
- PIPE INSTALLATION:
 - THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER.
 - PIPES SHALL BE CAREFULLY BEDDED ON A 4 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL.
 - BEDDING AND RE-FILL FOR A DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE, SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH THE APPROPRIATE MECHANICAL DEVICES.
 - THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE HOUSE FOUNDATION AT A GRADE OF NOT LESS THAN 1/8 INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH.
- TESTING: THE COMPLETED HOUSE SEWER SHALL BE SUBJECTED TO A LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS: (PRIOR TO BACKFILLING)
 - AN OBSERVATION TEE SHALL BE INSTALLED AS SHOWN AND WHEN READY FOR TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE TEE. AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.
 - THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS OR, IF THE TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEAN OUT WITH A FLASHLIGHT.
 - DRY FLUORESCENCE DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER, OR IF THE TRENCH IS WET, GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE FIRST DOWNSTREAM MANHOLE.
 - LEAKAGE OBSERVED IN ANY OF THE ABOVE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG-UP, IF NECESSARY, AND RE-LAID SO AS TO ASSURE WATER-TIGHTNESS.
- ILLEGAL CONNECTIONS: NOTHING BUT SANITARY WASTE FLOW FROM TOILETS, SINKS, LAUNDRY, ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SLUMP PUMPS OR ANY OTHER SIMILAR CONNECTION CARRYING RAIN WATER, DRAINAGE OR GROUND WATER, SHALL NOT BE PERMITTED.
- WATER SERVICE SHALL NOT BE LAID IN THE SAME TRENCH AS THE SEWER SERVICE. UNLESS NECESSARY AND APPROVED BY THE AHJ. WHEN NECESSARY, THE WATER SERVICE SHALL BE PLACED ABOVE AND TO ONE SIDE OF THE SEWER SERVICE, AS SHOWN.
- LOCATION: THE LOCATION OF THE WYE SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS MATERIAL ROD OR PIPE SHALL BE PLACED OVER THE WYE TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPE FINDER.
- CHIMNEY CONNECTIONS ARE ONLY PERMITTED IF ALLOWED BY THE AHJ. ANY VERTICAL RISE GREATER THAN 4 FEET SHALL BE PROVIDED WITH ADDED SUPPORT BY ENCASED THE FITTING AND RISER IN A PRECAST CONCRETE CHIMNEY. UP TO 12 FEET OF VERTICAL RISE CAN ALSO BE SECURED BY PROPER MEANS AS LONG AS IT CONSISTS OF A BELL-ON-BELL CONNECTION PROPERLY PROTECTED AGAINST PIPE PENETRATION AND IF IT IS ALLOWED BY THE AHJ.
- UNLESS OTHERWISE NOTED, ALL GRANULAR MATERIAL SHALL BE PLACED IN 12\"/>

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

CONSTRUCTION DETAILS
DAIRY QUEEN
TAX MAP 175; LOT 142
119 FERRY STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD / APPLICANT
LYNN C. & ANN M. WHITE
REVOCABLE TRUST
LYNN C. & ANN M. WHITE (TRUSTEES)
2 BRADFORD CIRCLE
HUDSON, NH 03051
H.C.R.D. BK.7864; PG.30

KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2081

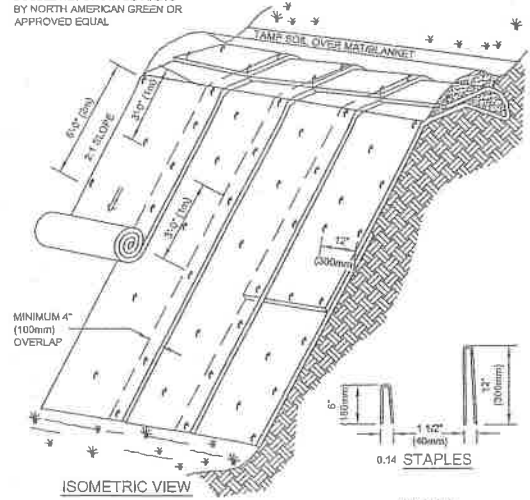
REVISIONS

No.	DATE	DESCRIPTION	BY
1	08/08/2014	PER TOWN COMMENTS	BJC
2	08/26/2014	DATE ONLY	BJD

DATE: JULY 18, 2014 SCALE: NONE
PROJECT NO: 14-0321-1 SHEET 12 OF 13

STEVEN B. KEACH
Professional Engineer
No. 7859

MATS/BLANKETS SHOULD BE INSTALLED VERTICALLY DOWN SLOPE AND SHALL BE DOUBLE NET STRAW BLANKETS BY NORTH AMERICAN GREEN OR APPROVED EQUAL

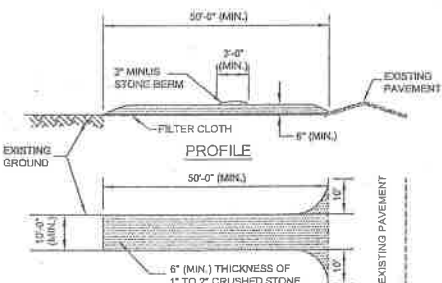


NOTES:

- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
- APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
- LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

EROSION CONTROL BLANKETS - SLOPE INSTALLATION

NOT TO SCALE
(AUGUST 2011)



STABILIZED CONSTRUCTION EXIT DETAIL
NOT TO SCALE
(MARCH 2008)

MAINTENANCE:

MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE CRUSHED STONE AND THE EFFECTIVENESS OF THE CRUSHED STONE PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPRESSED WITH NEW CRUSHED STONE OR COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.

IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

CONSTRUCTION SPECIFICATIONS:

- STONE FOR A STABILIZED CONSTRUCTION EXIT SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED EXIT SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THE THICKNESS OF THE STONE FOR THE STABILIZED EXIT SHALL NOT BE LESS THAN 8 INCHES.
- THE WIDTH OF THE EXIT SHALL NOT BE LESS THAN THE FULL WIDTH OF THE AREA WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION EXIT SHALL BE PIPED BENEATH THE EXIT. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPPRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

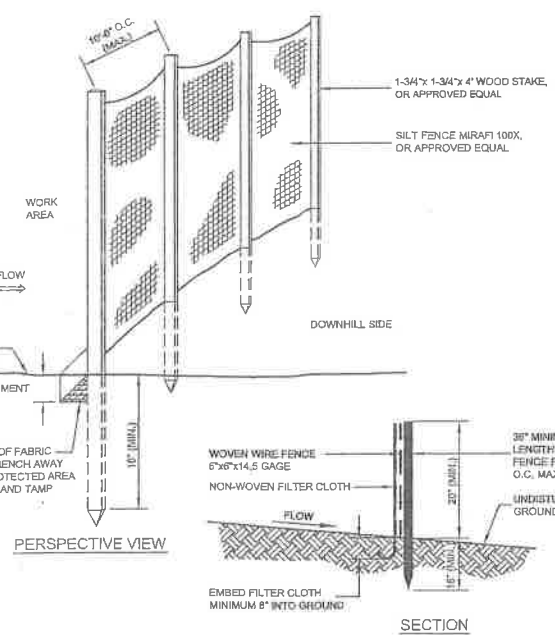
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



SILT FENCE DETAIL
NOT TO SCALE
(MARCH 2008)

CONSTRUCTION SPECIFICATIONS:

- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE OR STAPLES WHERE NOTED OR AS DIRECTED BY DESIGN ENGINEER.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MIDSECTION AND BOTTOM.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
- FENCE POSTS SHALL BE A MINIMUM OF 38 INCHES LONG AND DRIVEN A MINIMUM OF 18 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.

MAINTENANCE:

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

WINTER CONSTRUCTION NOTES:

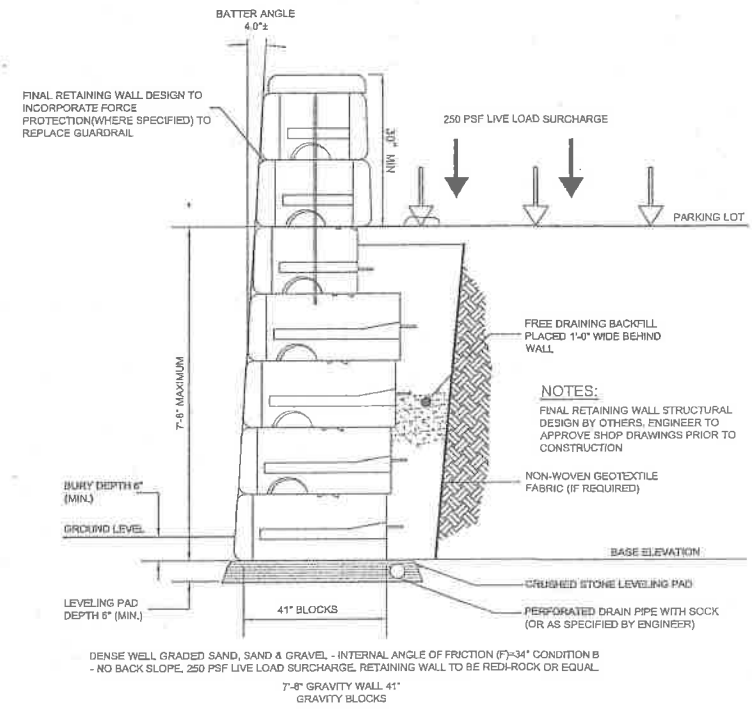
- ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3 OR, IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON, BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3\"/>

CONSTRUCTION SEQUENCE

- FIRST CUT AND CLEAR TREES AND BRUSH ONLY WITHIN DESIGNATED LIMITS OF CLEARING AS NECESSARY TO FACILITATE PROPOSED CONSTRUCTION. ALL TREES, BRANCHES AND OTHER VEGETATIVE MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR. THIS PROJECT IS MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
- PRIOR TO COMMENCEMENT OF ANY EARTHMOVING OPERATIONS, ALL APPLICABLE TEMPORARY EROSION CONTROL MEASURES, INCLUDING SPECIFIED PERIMETER SILTATION FENCES AND STABILIZED CONSTRUCTION EXIT SHALL BE IN PLACE AS SHOWN ON THE PROJECT PLANS.
- COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR ORGANIC DEBRIS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR. NATIVE ORGANIC SOIL MATERIALS SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED WITHIN AREAS OUT OF THE WAY OF OTHER CONSTRUCTION ACTIVITIES AND DRAINAGE FLOW. STOCKPILES SHALL BE TEMPORARILY SEEDING WITH WINTER RYE AND BE SURROUNDED WITH HAY BALES AND/OR FABRIC SILTATION FENCE IN ORDER TO PREVENT LOSS DUE TO EROSION.
- BEGIN EARTHMOVING OPERATIONS, COMMENCING WITH WORK NEEDED TO BALANCE SITE AND FACILITATE BUILDING FOUNDATION AND RETAINING WALL CONSTRUCTION. PERMANENT DOWNSLOPE WORK SHALL BE PROTECTED FROM UPGRADIENT STORMWATER FLOW BY THE CONSTRUCTION OF TEMPORARY EARTHEN DIKES OR EXCAVATED SWALES.
- ONCE BUILDING FOUNDATION WORK IS UNDERWAY, CONTINUE EARTHMOVING OPERATIONS UNTIL DESIGN SUBGRADE IS ACHIEVED.
- INSTALL DRAINAGE SYSTEMS AND OTHER UTILITIES WORKING FROM LOW TO HIGH. INCOMPLETE WORK SHALL BE PROTECTED FROM SILTATION BY THE USE OF SILTATION BARRIERS AROUND SWALES UNTIL THE SITE HAS BECOME FULLY STABILIZED.
- PLACE GRAVEL AND CRUSHED GRAVEL OVER PROPOSED DRIVEWAY, WALKS AND PARKING AREAS AND COMPACT IN SPECIFIED LIFT THICKNESS.
- COMPLETE EXCAVATION/STABILIZATION GRADING ACTIVITIES. WHEN COMPLETE, IMMEDIATELY BEGIN TOPSOILING PROPOSED TURF AREAS USING STOCKPILED LOAM SUPPLEMENTED WITH BORROW LOAM, IF NECESSARY, TO LEAVE A THICKNESS OF 4 INCHES OF FRIABLE LOAM.
- FINE GRADE ALL FUTURE TURF AREAS AND HYDROSEED WITH THE SPECIFIED SEED MIXTURE IMMEDIATELY AFTER FINE GRADING IS COMPLETED. ALL AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
- INSTALL THE BINDER COURSE OF PAVEMENT OVER ALL DESIGNATED AREAS.
- CONTINUE TO MONITOR AND RECTIFY MINOR SITE AND SLOPE EROSION UNTIL ENTIRE SITE APPEARS TO BE COMPLETELY STABILIZED AND VEGETATED WITH A HEALTHY STAND OF TURF OR GROUND COVER. MAINTAIN SPECIFIED SILTATION/EROSION CONTROL MEASURES THROUGH ONE WINTER.
- INSTALL THE SPECIFIED WEARING COURSE OF PAVEMENT OVER THE BINDER COURSE.
- COMPLETE INSTALLATION OF LANDSCAPING, SIGNAGE AND OTHER SITE AMENITIES.

EROSION CONTROL NOTES

- EXPOSED EARTHWORK SHALL BE CONFINED TO AS LIMITED AN AREA AS IS PRACTICAL AT ANY GIVEN TIME THROUGHOUT THE CONSTRUCTION SEQUENCE. AT NO TIME SHALL MORE THAN FIVE (5) ACRES OF SITE AREA BE IN AN UNSTABLE CONDITION. NO GIVEN AREA OF THE SITE SHALL BE LEFT IN AN UNSTABLE CONDITION FOR A PERIOD OF TIME EXCEEDING THIRTY (30) CALENDAR DAYS.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS. IN ADDITION, SIMILAR MEASURES SHALL BE INSTALLED WHERE AND WHEN THE FIELD CONDITION, OR FIELD OPERATION OF THE INDIVIDUAL SITE CONTRACTOR, MAY WARRANT. ALL TEMPORARY EROSION CONTROL MEASURES USED SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25\"/>
- ALL DISTURBED AREAS DESIGNATED TO BE TURF, SHALL RECEIVE A MINIMUM APPLICATION OF 4 INCHES OF LOAM (COMPACTED THICKNESS), PRIOR TO FINAL SEEDING AND MULCHING.
- ALL SWALES AND DITCHLINES SHALL BE PERIODICALLY CLEANED OF DEPOSITED SEDIMENT SO AS TO MAINTAIN AN EFFECTIVE GRADE AND CROSS SECTION. ALL SWALES AND DITCHLINES SHALL BE FULLY STABILIZED PRIOR TO HAVING STORMWATER DIRECTED TOWARDS THEM.
- IN THE EVENT THAT, DURING CONSTRUCTION OF ANY PORTION OF THIS PROJECT, A WINTER SHUTDOWN IS NECESSARY, THE CONTRACTOR SHALL STABILIZE ALL INCOMPLETE WORK AND PROVIDE FOR SUITABLE METHODS OF DIVERTING RUNOFF IN ORDER TO ELIMINATE SHEET FLOW ACROSS FROZEN SURFACES.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3\"/>
- DUST SHALL BE CONTROLLED BY THE USE OF WATER AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD, IN ACCORDANCE WITH ENV-A 1000.
- IN NO WAY ARE THOSE TEMPORARY EROSION CONTROL MEASURES INDICATED ON THESE PLANS TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT IN INSTALLING SUPPLEMENTARY EROSION CONTROL MEASURES WHERE AND WHEN SPECIFIC SITE CONDITIONS AND/OR CONSTRUCTION METHODOLOGIES MAY WARRANT.
- AREAS HAVING FINISH GRADE SLOPES OF 3:1 OR STEEPER, SHALL BE STABILIZED WITH JUTE MATTING WHEN AND IF FIELD CONDITIONS WARRANT, OR IF SO ORDERED. JUTE MATTING INSTALLED TO CONFORM WITH THE RECOMMENDED BEST MANAGEMENT PRACTICE OUTLINED IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION."
- ALL DETENTION PONDS AND TREATMENT SWALES SHALL BE CONSTRUCTED PRIOR TO ANY EARTH MOVING ACTIVITIES THAT WILL INFLUENCE STORMWATER RUNOFF.
- ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDING AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.



MODULAR BLOCK (REDI-ROCK OR EQUAL) RETAINING WALL
NOT TO SCALE
(AUGUST 2011)

- THE STAMPED SHOP DRAWINGS AND CALCULATIONS FOR THE ACTUAL RETAINING WALL MUST BE PROVIDED FOR REVIEW AND APPROVAL AT OR PRIOR TO THE PROJECT'S REQUIRED PRE CONSTRUCTION MEETING.
- THE PROVIDED PLANS AND SUPPORTING CALCULATIONS MUST ADDRESS THE FOLLOWING CRITERIA:
 - DESIGN CALCULATIONS STAMPED BY QUALIFIED PE LICENSE IN NH
 - STABILITY CALCULATIONS (INCLUDING BEARING CAPACITY, GLOBAL STABILITY, OVERTURNING & SLIDING, IMPACT)
 - GEORGRID PULLOUT AND OTHER PERTINENT DATA & ELEVATIONS
 - CONSTRUCTION INSTALLATION SPECIFICATION
 - LATERAL EARTH PRESSURE COEFFICIENT
 - SURCHARGE LOAD, EMBEDMENT DEPTH
 - BOTH A PLAN AND PROFILE OF EACH WALL SECTION

HI-FLOW DANDY BAG® (SAFETY ORANGE)

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4832	KN (lbs)	1.82 (409) x 0.28 (620)
GRAB TENSILE ELONGATION	ASTM D 4832	%	24 x 16
PUNCTURE STRENGTH	ASTM D 4833	KN (lbs)	0.40 (90)
MULLEN BURST STRENGTH	ASTM D 3726	MPa (psi)	3007 (436)
TRAPEZOID TEAR STRENGTH	ASTM D 4533	KN (lbs)	0.51 (115) x 0.33 (75)
TUV RESISTANCE	ASTM D 4355	%	92
APPARENT OPENING SIZE	ASTM D 4751	mm (US Std Sieve)	0.425 (10)
FLOW RATE	ASTM D 4491	1/min/m² (gal/min/ft²)	5907 (145)
PERMITTIVITY	ASTM D 4491	Sec-1	2.3

DANDY BAG®
NOT TO SCALE
(APRIL 2010)

CONSTRUCTION DETAILS
DAIRY QUEEN
TAX MAP 175; LOT 142
119 FERRY STREET
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD / APPLICANT
LYNN C. & ANN M. WHITE
REVOCABLE TRUST
LYNN C. & ANN M. WHITE (TRUSTEES)
2 BRADFORD CIRCLE
HUDSON, NH 03051
H.C.R.D. BK.7864; PG.30

KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS

No.	DATE	DESCRIPTION	BY
1	05/08/2014	PER TOWN COMMENTS	BLC
2	05/28/2014	DATE ONLY	BLC

DATE: JULY 18, 2014 SCALE: NONE
PROJECT NO: 14-0321-1 SHEET 13 OF 13

STEVEN B. KEACH
No. 7859
LICENSED PROFESSIONAL ENGINEER
EXPIRES 07-15-14

Warnick Lot Line Relocation Plan

Staff Report

September 24, 2014

SITE: 45 Webster Street/1 Daw St. -- Map 173/Lot 049 -- SB# 07-14

ZONING: TR Zone (Minimum Lot Size 10,000 sf and 90 ft. of Frontage)

PURPOSE OF PLAN: to relocate the lot line between Map 173/Lot 48 and Map 173/Lot 49.
Application Acceptance & Hearing.

PLAN UNDER REVIEW ENTITLED: Warnick Lot Line Relocation 45 Webster Street/1 Daw St., Map 173/Lot 049:, Hudson, NH 03051, prepared by Maynard & Paquette, Engineering Associates, Inc. 23 East Pearl St., Nashua, NH 03060 dated: Sept. 23, 2013, latest revision date June 18, 2014, consisting of Sheet 1 of 1 and Notes 1 – 7 (said plan is attached hereto).

ATTACHMENTS:

- 1) Lot Line Relocation Plan application, date stamped 08/21/14 - Attachment "A".

REQUESTED WAIVERS: N/A

APPLICATION TRACKING:

1. 08/21/14 - Application submitted.
2. 09/24/14 - Public Hearing scheduled.

OUTSTANDING ISSUES & RECOMMENDED ACTION:

This is a simple exchange of an equal amount of land (i.e., 606 sf and no frontage change) between the subject abutting lots. Both lots will continue to exceed the above-cited minimum lot and frontage requirements for the TR zone. Note: no changes are proposed concerning the existing structures on each lot.

DRAFT MOTIONS:

I move to accept the LLR Plan application for 45 Webster Street/1 Daw St. -- Map 173/Lot 049.

Motion by: _____ Second: _____ Carried/Failed: _____.

MOTION TO APPROVE:

I move to approve the Lot Line Relocation Plan entitled: Warnick Lot Line Relocation 45 Webster Street/1 Daw St., Map 173/Lot 049:, Hudson, NH 03051, prepared by Maynard & Paquette, Engineering Associates, Inc. 23 East Pearl St., Nashua, NH 03060 dated: Sept. 23, 2013, latest revision date June 18, 2014, consisting of Sheet 1 of 1 and Notes 1 – 7, in accordance with the following terms and conditions:

1. All stipulations of approval shall be incorporated into the Decision of Approval, which shall be recorded at the HCRD, together with the Plan.
2. Prior to Planning Board endorsement of the Plan, deeds for the newly configured Lots 48 49 shall be submitted and recorded at the HCRD, together with the aforementioned Plan and Decision Notice of Approval.
3. All monumentation shall be set or bonded prior to the Planning Board endorsing the Plan-of-Record.

Motion by: _____ Second: _____ Carried/Failed: _____.

**LOT LINE RELOCATION APPLICATION FOR REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: August 21, 2014 Tax Map # 173 Lot # 48

Name of Project: Warnick Lot Line Relocation - 45 Webster St. / 1 Dow St.

Zoning District: G1 - General One General SB# _____
(For Town Use) (For Town Use)

Z.B.A. Action: _____

PROPERTY OWNER:

Name: Brad & Tammy Jarry
Address: 25 Towhee Drive
Address: Hudson, NH 03051
Telephone # -
Fax # -
Email: -

DEVELOPER:

N/A

PROJECT ENGINEER

Name: Maynard & Paquette Eng. Assoc., LLC
Address: 23 East Pearl Street
Address: Nashua, NH 03060

Telephone # 603-883-8433
Fax # 603-883-7227
Email: MPEALLC@AOL.COM

PURPOSE OF PLAN:

The purpose of this plan is to relocate the lot line between Map 173/Lot 48 & Map 173/Lot 49.

(FOR TOWN USE)

Plan Routing Date: _____ Sub/Site Date: _____

_____ I have no comments _____ I have comments (attach to form)

_____ Title: _____ Date: _____

(Initials)

Department:

_____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning
_____ Consultant _____ Highway Department

Fees Paid _____

LOT LINE RELOCATION DATA SHEET

Plan Name: Warrick Lotline Relocation - 45 Webster St. / 1 Daw St.

Plan Type: Lot Line Relocation Plan

Legal Description: Map 173 Lot 48

Map 173 Lot 49

Date: Oct. 17, 2013

Location: 1 Daw Street / 45 Webster Street

Total Area: S.F. 31,785 SF Acres: 0.729 Ac.

Area in Wetlands: 0

Zoning: G1- General One

Lots Not Meeting
Required Dimensions: 0

Required Area: 10,000 SF

Required Frontage: 90 FT

Water and Waste System
Proposed: Existing town sewer & water

Number of Lots With
Existing Buildings: 2

Existing Buildings
To Be Removed: 0

Flood Zone Reference: N.F.I.P. F.I.R.M.
3300920005B - Not in 100 yr Flood Plain

Proposed Linear Feet
Of New Roadway: 0

LOT LINE RELOCATION DATA SHEET

Dates/Case #/Description:

N/A

Stipulations of ZBA,
(Attach Copies of Stipulations on
Separate Sheet)

NH Wetlands Board Action:

N/A

Conservation Commission Recommendation:

N/A

List Permits Required:

N/A

**APPLICATION FOR LOT LINE RELOCATION
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Lot Line Relocation Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Lot Line Relocation Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s), by the filing of this application as indicated above, hereby give permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and inspections conducted on his/her (their) property in connection with this applications.

Lot 48 Signature of Owner: Bred Jarry Tamara Jarry
Bred & Tamara Jarry

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

John K. Warrick

Signature of Developer: N/A

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The individual in charge of the project must notify the Code Enforcement Officer/Building Inspector within two (2) working days of any change.

Technical Review Signature: _____

Planner Approval Signature: _____

APPLICATION IS DUE AT 10:00 A.M. Tuesday the week prior to the Planning Board Meeting. Any applications/materials received after that time will be deferred until the next available meeting.

**APPLICATION FOR LOT LINE RELOCATION
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Lot Line Relocation Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Lot Line Relocation Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s), by the filing of this application as indicated above, hereby give permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and inspections conducted on his/her (their) property in connection with this applications.

Lot 49 Signature of Owner: _____

Jean K. Warnick

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: _____

N/A

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The individual in charge of the project must notify the Code Enforcement Officer/Building Inspector within two (2) working days of any change.

Technical Review Signature: _____

N/A

Planner Approval Signature: _____

[Handwritten Signature]

APPLICATION IS DUE AT 10:00 A.M. Tuesday the week prior to the Planning Board Meeting. Any applications/materials received after that time will be deferred until the next available meeting.

LOT LINE RELOCATION WAIVER REQUEST FORM

NONE

Name of the Lot Line Relocation Plan: _____

Street Address: _____

I _____ hereby request that the Planning Board waive the requirements of item _____ of the Lot Line Relocation Plan Checklist in reference to a plan presented by _____

_____ (name of surveyor and engineer) dated _____

for property tax map(s) _____ and lot(s) _____ in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

Signed:

Applicant or Authorized Agent

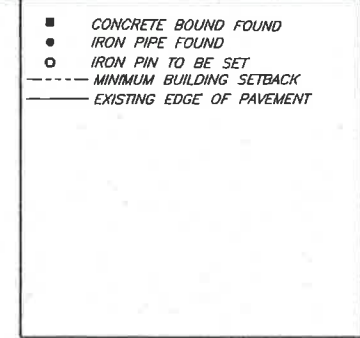
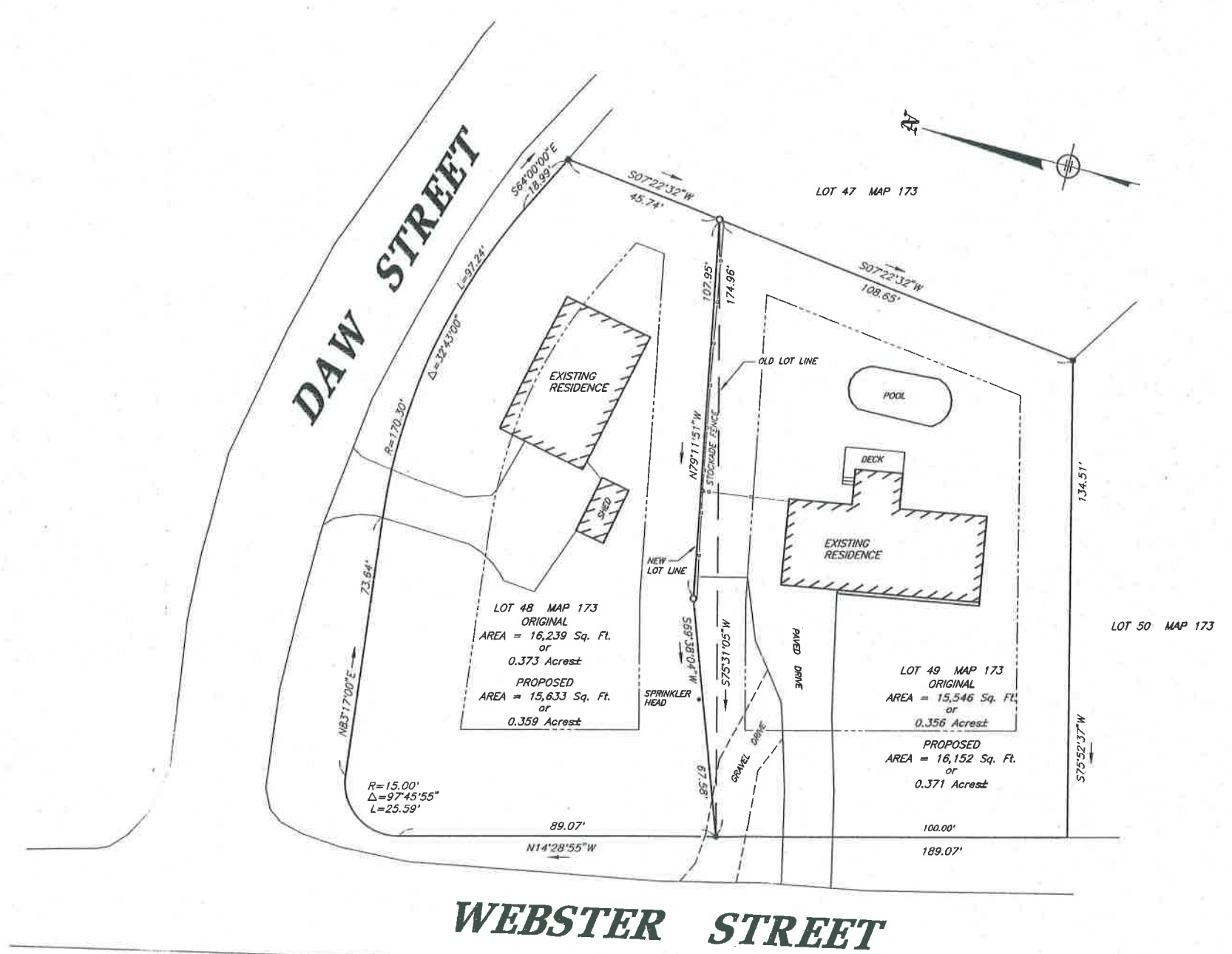
Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

ABUTTERS:

- ABUTTERS:**
 Map 173 Lot 3
 John McLaughlin
 36 Webster Street
 Hudson, NH 03051
- Map 173 Lot 4
 Robert R. Williams
 40 Webster Street
 Hudson, NH 03051
- Map 173 Lot 5
 Richard J. Lindquist Rev. Trust
 Richard J. Lindquist Trustee
 44 Webster Street
 Hudson, NH 03051
- Map 173 Lot 6
 Susanne G. Lindquist Rev. Trust
 Susanne G. Lindquist Trustee
 44 Webster Street
 Hudson, NH 03051
- Map 173 Lot 7
 Susanne G. Lindquist Rev. Trust
 Susanne G. Lindquist Trustee
 44 Webster Street
 Hudson, NH 03051
- Map 173 Lot 52
 Jordan G. & Janice Uley
 PO Box 15
 Hudson, NH 03051
- Map 173 Lot 51
 Theoharis M. Valeras
 47 S. Summer Street
 Nottingham, NH 03290
- Map 173 Lot 50
 Karen A. Campbell
 28 Merrimack Street
 Hudson, NH 03051
- Map 173 Lot 49
 Jean K. Warnick
 246 Andover Street
 Lowell, MA 01852
- Map 173 Lot 48
 Brad P. & Tammie L. Jarry
 25 Towhee Drive
 Hudson, NH 03051
- Map 173 Lot 47
 Luis A. & Tracy L. Bonilla
 3 Daw Street
 Hudson, NH 03051
- Map 173 Lot 46
 Sandra L. Daly
 38 Campbell Street
 Hudson, NH 03051
- Map 173 Lot 27
 Beverly D. Paquin Rev. Trust
 Beverly D. Paquin trustee
 40 Baker Street
 Hudson, NH 03051
- Map 173 Lot 26
 Buttercup Hill Associates
 PO Box 565
 Keene, NH 03431
- (ENGINEER/SURVEYOR)
 MAYNARD & PAQUETTE
 ENGINEERING ASSOC., LLC
 23 EAST PEARL STREET
 NASHUA, NH 03060



LEGEND

VICINITY

NOTES:

- PRESENT ZONING: "TR" TOWN RESIDENCE
- PRESENT AND PROPOSED USE: SINGLE FAMILY RESIDENCE
- THE PURPOSE OF THIS PLAN IS TO RELOCATE THE LOT LINE BETWEEN LOTS 48 & 49 ON MAP 173.
- LOT NUMBERS REFER TO HUDSON ASSESSOR'S MAP 173.
- DIMENSIONAL REQUIREMENTS:
 MINIMUM LOT SIZE = 10,000 S.F.
 MINIMUM ROAD FRONTAGE = 90 FT.
 MINIMUM BUILDING SETBACKS: FRONT YARD = 30 FT.
 SIDE AND REAR YARD = 15 FT.
- IRON PINS TO BE SET AT ALL LOT CORNERS AND STONEBOUNDS TO BE SET AT ALL POINTS OF TANGENCY AND CURVATURE ALONG THE RIGHT-OF-WAY BY A LICENSED LAND SURVEYOR PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- N.F.I.P. F.I.R.M. COMMUNITY-PANEL NUMBER 330092 0005 B INDICATES THAT THIS SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD PLAN.

PLAN REFERENCES:

- PLAN OF DAW ACRES, HUDSON, DATED JUNE 1960 BY NED SPAULDING, CIVIL ENGINEER. FILED HCRO AS PLAN No. 2473.
- STAKING WORKSHEET 1 DAW STREET, HUDSON, NH DATED JUNE 2010 BY JEFFREY LAND SURVEY, LLC.



LOT LINE RELOCATION PLAN MAP 173 / LOTS 48 & 49
WARNICK LOT LINE RELOCATION
45 WEBSTER ST. / 1 DAW ST.
HUDSON, NEW HAMPSHIRE

OWNERS OF RECORD:
 LOT 49
 JEAN K. WARNICK
 45 WEBSTER STREET
 HUDSON, NH 03051

LOT 48
 BRAD P. & TAMMIE L. JARRY
 1 DAW STREET
 HUDSON, NH 03051

SCALE: 1"=20'
 DATE: SEPTEMBER 23, 2013

ENGINEERING ASSOCIATES
Maynard & Paquette
 Consulting Engineers and Land Surveyors
 23 East Pearl Street, Nashua, NH 03060
 Phone: (603)883-8433 Fax: (603)883-7227

OWNER LOT 48
 BRAD P. JARRY
 DATE 8-5-14

OWNER LOT 49
 JEAN K. WARNICK
 DATE 8-19-14

I CERTIFY THAT THIS PLAN WAS PREPARED FROM BOUNDARY INFORMATION SHOWN ON PLAN REFERENCES 1 & 2 AND A FIELD SURVEY LAST MADE ON THE GROUND IN AUGUST 2013 HAVING A MAXIMUM ERROR OF CLOSURE OF 1:10,000.

PURSUANT TO THE SUBDIVISION REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SUBDIVISION PLAN APPROVAL GRANTED HEREIN EXPIRES ONE (1) YEAR FROM DATE OF APPROVAL.

NO.	DATE	BY	REVISION
1	8-19-14	JWY	REVISE NEW LOT LINE PER ATTY. COMMENTS

© COPYRIGHT ALL RIGHTS RESERVED 2008-2014
 MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC
 ILLEGAL TO COPY THIS PLAN/PRIOR WITHOUT WRITTEN PERMISSION

N.E. Motor Car Company 13 River Road Site Plan

STAFF REPORT

September 24, 2014

SITE: 13 River Road -- Map 240/Lot 015 -- SP# 12-14

ZONING: G-1

PURPOSE OF PLAN: To amend the site plan to allow for automotive sales in addition to the existing permitted uses. Application Acceptance & Hearing.

PLAN UNDER REVIEW ENTITLED: Change of Use Plan, 13 River Road, Tax Map 240 Lot 15, Hudson, NH, prepared by Benchmark Engineering, Inc., Londonderry, NH, dated August 20, 2014, latest revision date: September 15, 2014, consisting of Sheets 1 – 4 and Notes 1 -29 (said plans attached herewith).

ATTACHMENTS:

- 1) Project Narrative and Site Plan Application, including the Checklist and Waiver Forms, date stamped Aug. 28, 2014 – Attachment “A”.
- 2) CLD’s initial Comments Report, including the Site Plan application Checklist, dated Sept. 9, 2014 – “B”.
- 3) Benchmark Engineering Response letter to CLD, dated Sept. 16, 2014 – “C”.
- 4) Comment Reports/Forms from: Deputy Fire Chief, Robert Buxton, Zoning Admin., Bill Oleksak, Road Agent, Kevin Burns and Asst. Assessor, Jim Michaud & Police Chief, Jason Lavoie - “D”.
- 5) July 25, 2012 Site Plan Approval Decision for Shooting Range/Gun Sales – 13 River Road – “E”.
- 6) July 25, 2014 Site Plan-of Record, Sheet 2 of 4 – “F”.

OUTSTANDING ISSUES INCLUDE:

1. The shooting range, gun shop and contractor’s facility, which was approved by the Planning Board in July 2012, has since gone out of business, resulting in this new proposal to use the property for “auto sales”, and accessory uses thereto, i.e., office space and light auto service/repair. Please note, since this new proposal does not include adding building space or additional impervious surface to the site, this application is before the board as a categorical use change only, with the proposed use “auto sales and service” allowed in the G-1 zoning district, via Site Plan Approval.
2. Except for the addition of exterior lighting structures (see Sheet 3 of 4) and 4 additional parking spaces within the existing pavement surface, there are no structural or onsite changes involved in this application. That is, beyond what was approved and implemented concerning the 2012 approved uses: the shooting range, gun shop and contractor’s yard (see 2012 Site Plan-of-Record “F” and 2012 Decision of Approval “E”), and since these latter uses were projected to create more traffic for the site than the presently proposed use, no CAP fee applies to this present application. Herein, staff also

takes into consideration that the aforementioned 2012 approved uses paid to the Town a CAP Fee in the amount of \$15,756.00.

3. Please note, on the attached Site Plans the applicant agreed to designate the parking spaces per use, as numbered on the plans, and as further referenced in Note 14 on Sheet 2 of 4 (the Change of Use Plan – the plan to be recorded as the Plan-of-Record).
4. No other issues remain outstanding with this application. All pertinent notes are cited on Sheet 2 of 4, including proposed hrs. of operation, refuse removal, etc. Note 28, which refers to a CAP Fee does not apply to this application.

REQUESTED WAIVERS:

- 1) HTC 275-8.B.31 -- Interior Landscaping
- 2) HTC 275-9.A -- Stormwater Report
- 3) HTC 275-9.C - Noise Study
- 4) HTC 275-9.D - Fiscal/Environmental Impact Studies
- 5) HTC 275-9.B. – Traffic Study

APPLICATION TRACKING:

- 08/28/14 - Application submitted.
- 09/24/14 - Initial Public Hearing date.

RECOMMENDATION: For this initial hearing, staff recommends application acceptance and for the hearing to be conducted. At its conclusion, notwithstanding any unforeseen issues resulting from the hearing, staff recommends approval of this change of use application in accordance with the below DRAFT MOTIONS, which have been prepared for the board's consideration.

DRAFT MOTIONS:

I move to accept the 13 River Road, Map 240/Lot 015, Site Plan application, calling for the proposed change of use from a shooting range and gun shop to an auto sales and service facility.

Motion by: _____ Second: _____ Carried/Failed: _____

I move for the Planning Board to defer further review of this Site Plan Application, date specific, to the October 22, 2014 Planning Board meeting.

Motion by: _____ Second: _____ Carried/Failed: _____

REQUESTED WAIVERS:

- 1) HTC 275-8.B.31.(a) - Interior Landscaping
- 2) HTC 275-9.A - Stormwater Report
- 3) HTC 275-9.C - Noise Study
- 4) HTC 275-9.D - Fiscal/Environmental Impact Studies
- 5) HTC 275-9.B. – Traffic Study

NOTE: The Applicant requests waivers concerning several checklist items. These are not applicable to this application. For the building already exists; stormwater drainage plan is already requested in the list of requested waivers; and Soils Type and Boundaries don't apply because this application does not propose changes to same.

1) HTC 275-8.B.31 – Interior Landscaping

I move to grant the requested waiver - HTC 275-8.B.31 – Interior Landscaping - because the site is already developed and this application does not propose to change existing interior landscape conditions, as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan regulations.

Motion by: _____ Second: _____ Carried/Failed: _____

2) HTC 275-9.A -- Stormwater Report

I move to grant the requested waiver - HTC 275-9.A -- Stormwater Report - because this application does not propose to change the existing impervious surfaces of the site and existing drainage infrastructure, which has been determined adequate by the Town's consulting engineer, as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan regulations.

Motion by: _____ Second: _____ Carried/Failed: _____

3) HTC 275-9C – Noise Study

I move to grant the requested waiver: HTC 275-9C - Noise Study - because such a study is unnecessary, taking into consideration the proposed use is not expected to create noise levels that would violate Town noise ordinances, as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan regulations.

Motion by: _____ Second: _____ Carried/Failed: _____

4) HTC 275-9D – Fiscal/Environmental Impact Studies

I move to grant the requested waiver: HTC 275-9D - Fiscal/Environmental Impact Studies - because said study, in addition to the submitted application materials, is not necessary to evaluate the fiscal and environmental impact of this development, and as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan regulations.

Motion by: _____ Second: _____ Carried/Failed: _____

5) HTC 275-9B - Traffic Study

I move to grant the requested waiver HTC 275-9B - Traffic Study - because this project is expected to create less PM Peak Hour traffic than the previous use of the site, and as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan Review regulations.

Motion by: _____ Second: _____ Carried/Failed: _____

DRAFT MOTION TO APPROVE:

I move to approve the Site Plan entitled: Change of Use Plan, 13 River Road, Tax Map 240 Lot 15, Hudson, NH, prepared by Benchmark Engineering, Inc., Londonderry, NH, dated August 20, 2014, latest revision date: September 15, 2014, consisting of Sheets 1 – 4 and Notes 1 -29, in accordance with the following terms and conditions:

- 1) All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record (hereafter referred to as the Plan).
- 2) All improvements shown on the Plan, including Notes 1-29, shall be completed in their entirety and at the expense of the Applicant or his assigns.
- 3) Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" Site Plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms with the Planning Board approved Plan.
- 4) Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No construction activities shall occur on Sunday.
- 5) Prior to Planning Board endorsement of the plan, it shall be subject to final engineering review, and Note 28 shall be deleted, which refers to a CAP Fee, which does not apply to this application.
- 6) The applicant's engineer and/or contractor shall contact the Town of Hudson to schedule a preconstruction meeting, which will be held with Town staff prior to the start of construction.

Motion by: _____ Second: _____ Carried/Failed: _____.

NOTE: all other pertinent Site Plan approval terms and conditions are included in the above-cited Site Plan-of-Record, Notes 1 – 29, including, but not limited blasting and refuse removal, etc.



"A"

September 17, 2014

RE: CHANGE OF USE PLAN, 13 RIVER ROAD, HUDSON, NH
(TAX MAP 240 LOT 15)

PROJECT NARRATIVE:

The subject property is located along the western side of River Road at a private drive known as Friel Golf Road in Hudson, NH. This property is identified as Tax Map 240 Lot 15 and contains a 2.06 acre of industrial land serviced by the municipal water supply and an on-site septic system.

The parcel presently contains an existing 18,240 s.f. building (industrial/office/ firing range uses). There is also a paved loading/ maneuvering area behind the building. All improvements were constructed in the mid 1980's and were modified upon site plan approval in 2012 to allow for a firing range within the building.

Currently, we are proposing to change the use of the building to discontinue the firing range use allow for automotive sales. The tenant, New England Motor Car Company, specializes in conversion vans (including recreational and handicap equipped vans). Actual van conversions are performed by another company located in Ohio.

Once a van is delivered on site it is cleaned and polished and prepared for sale. Some second hand vans and other passenger vehicles will be sold as well. When they arrive at the facility they will be typically reconditioned, cleaned and prepared for sale within the building. Only light repairs will be performed on site. Vehicles will be also stored inside the building.

We are proposing to create 4 additional parking spaces, all within the existing paved area. We designated parking spaces 1 through 7 as the customer parking; spaces 8 through 33 as the display area and the remaining spaces behind existing fence as the employee/ service parking. The display parking was not figured into the minimum parking requirements; there are 32 designated spaces meeting your minimum parking requirements for the building itself. There will be no drainage impact as a result of this change of use.

We are also proposing to add 4 new light poles to illuminate the display area. Lighting design/ calculations were completed by Charron, Inc. of Hooksett, NH; this design meets your requirements. will be no drainage impact associated with this plan. Four new pole-mounted light fixtures are proposed.

**PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE**



A cont

Date of Application: AUGUST 20, 2014 Tax Map # 240 Lot # 15

Name of Project: 13 RIVER RD - CHANGE OF USE PLAN

Zoning District: G-1 General SP# _____
(For Town Use) (For Town Use)

ZBA Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: DESJARDINS REALTY TRUST

NEW ENGLAND MOTOR CAR CO,

Address: 13 RIVER ROAD

323 DANIEL WEBSTER HIGHWAY

Address: HUDSON, NH 03051

NASHUA, NH 03060

Telephone # _____

603 888-1207

Fax # _____

Email: _____

ajmello@allenmello.com

PROJECT ENGINEER

SURVEYOR

Name: BENCHMARK ENGINEERING, INC

RANGWAY LAND SURVEYING

Address: 1F COMMONS DR, UNIT 35

252 DANIEL PLUMMER ROAD

Address: LONDONDERRY, NH 03053

GOFFSTOWN, NH 03045

Telephone # (603) 437-5000

(603) 624-1602

Fax # _____

Email: jm@benchmark-engineering.com

pzarnowski@dbt-rangeway.com ;

PURPOSE OF PLAN:

TO AMEND THE SITE PLAN TO ALLOW FOR AUTOMOTIVE SALES, [REDACTED]

<i>For Town Use</i>	
Plan Routing Date: _____	Sub/Site Date: _____
<input type="checkbox"/> I have no comments <input type="checkbox"/> I have comments (attach to form)	
(Initials) _____	Title: _____ Date: _____
DEPT: <input type="checkbox"/> Zoning <input type="checkbox"/> Engineering <input type="checkbox"/> Assessor <input type="checkbox"/> Police <input type="checkbox"/> Fire <input type="checkbox"/> Planning <input type="checkbox"/> Consultant <input type="checkbox"/> Highway Department	
Fees Paid: _____	

SITE DATA SHEET

PLAN NAME: 13 RIVER ROAD CHANGE OF USE PLAN

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 240 LOT 15

DATE: AUGUST 20, 2014

Location by Street 13 RIVER ROAD

Zoning: G1

Proposed Land Use: AUTOMOTIVE SALES/ DISPLAY/ SHOWROOM/

Existing Use: RECONDITIONING & STORAGE
INDUSTRIAL/ OFFICE/ RETAIL/ FIRING RANGE

Surrounding Land Use(s): G1

Number of Lots Occupied: 1

Existing Area Covered by Building: 18,240 S.F.

Existing Buildings to be removed: N/A

Proposed Area Covered by Building: 18,000 S.F.

Open Space Proposed: 44 %

Open Space Required: 40%

Total Area: S.F.: 89,711 Acres: 2.06

Area in Wetland: 2,500 S.F. Area Steep Slopes: N/A

Required Lot Size: 2 ACRES

Existing Frontage: 256 FEET

Required Frontage: 200 FEET

Building Setbacks:	<u>Required*</u>	<u>Proposed</u>
Front:	<u>50 FT</u>	<u>60 FT</u>
Side:	<u>15 FT</u>	<u>35+</u>
Rear:	<u>15 FT</u>	<u>35+</u>

**SITE PLAN DATA SHEET
(Continued)**

Flood Zone Reference: PANEL# 33011C0658D

Width of Driveways: 24 FT

Number of Curb Cuts: 2

Proposed Parking Spaces: 57

Required Parking Spaces: 32

Basis of Required Parking (Use): OFFICE/ RETAIL/ AUTOMOTIVE SALES, SERVICE & STORAGE

Dates/Case #/Description/Stipulations of ZBA, Conservation Commission, NH Wetlands Board Actions: N/A
(Attach stipulations on separate sheet)

Hudson Town Code		
<u>Waivers Requested:</u>	<u>Reference</u>	<u>Regulation Description</u>
	1. <u>275-8.B.31.a</u>	<u>INTERIOR LANDSCAPING</u>
	2. <u>275-9.C</u>	<u>NOISE STUDY</u>
	3. <u>275-9.D</u>	<u>FISCAL/ENVIRON IMPACT</u>
	4. <u>275-9.B</u>	<u>TRAFFIC STUDY</u>
	5. <u>CHECKLIST</u>	<u>BUILDING RENDERING</u>
	6. <u>275-9.A</u>	<u>STORMWATER MANAGEMENT</u>
	7. _____	<u>REPORT</u>
	8. _____	_____

(Left column for Town Use)

Impact Fees:
C.A.P Fee: _____

Development Agreement Proposed: _____

<i>For Town Use</i>	
Data Sheet Checked By: _____	Date: _____

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Thirty (30) days prior to Planning Board Meeting, a complete site plan to include all supporting materials/documents must be submitted in final form. The site plan shall comply with the following specifications/requirements:

Applicant Initials		Staff Initials
<u> X </u>	a) Submission of nine (9) full sets of Site Plans (sheet size: 22" x 34") shall be submitted at the time of application filing, followed by the submission of seventeen (17) 11" X 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 A.M., Tuesday the week prior to the scheduled public hearing/conceptual review date.	_____
<u> X </u>	b) A Site Plan narrative, describing the purpose, locations, long-range plans, impacts on traffic, schools, and utilities	_____
<u> X </u>	c) Plan scale at not less the one inch equals fifty feet (1" = 50')	_____
<u> X </u>	d) Locus plan with 1,000' minimum radius of site to surrounding area	_____
<u> X </u>	e) Plan date by day/month/year	_____
<u> X </u>	f) Revision block inscribed on the plan	_____
<u> X </u>	g) Planning Board approval block inscribed on the plan	_____
<u> X </u>	h) Title of project inscribed on the plan	_____
<u> X </u>	i) Names and addresses of property owners and their signatures inscribed on the plan	_____
<u> X </u>	j) North point inscribed on the plan	_____
<u> X </u>	k) Property lines: exact locations and dimensions	_____
<u> X </u>	l) Square feet and acreage of site	_____
<u> X </u>	m) Square feet of each building (existing and proposed)	_____
<u> X </u>	n) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan.	_____

Applicant
Initials

Staff
Initials

- | | | | |
|-------------------|-----|--|-------|
| <u> X </u> | o) | Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve areas, floodways/floodplains, driveways, travel areas, parking areas and natural features within 200 feet of the tract | _____ |
| <u> X </u> | p) | Locations of existing and proposed permanent monuments and bench marks within 200 feet of the development tract | _____ |
| <u> N/A </u> | q) | Pertinent highway projects | _____ |
| <u> Y </u> | r) | Assessor's Map and Lot number(s) | _____ |
| <u> Y </u> | s) | Waiver application form shall be submitted with the site plan application, note on plan listing waivers requested/granted; and all waivers granted to the site plan regulations shall be listed on the final plan; waivers to checklist shall be reduced to writing and be signed by the Planning Board Chairman and Planning Board Secretary and recorded with the plan | _____ |
| <u> Y </u> | t) | Delineate zoning district on the plan | _____ |
| <u> WAIVER </u> | u) | Storm water drainage plan | _____ |
| <u> Y </u> | v) | Topographical elevations at 2-foot intervals contours: existing and proposed | _____ |
| <u> Y </u> | w) | Utilities: existing and proposed | _____ |
| <u> Y </u> | x) | Parking: existing and proposed | _____ |
| <u> Y </u> | y) | Parking space: length and width | _____ |
| <u> Y </u> | z) | Aisle width/maneuvering space | _____ |
| <u> Y </u> | aa) | Landscaping: existing and proposed | _____ |
| <u> Y </u> | ab) | Building and wetland setback lines | _____ |
| <u> Y </u> | ac) | Curb cuts | _____ |
| <u> Y </u> | ad) | Rights of way: existing and proposed | _____ |
| <u> N/A </u> | ae) | Sidewalks: existing and proposed | _____ |
| <u> Y </u> | af) | Exterior lighting plan | _____ |
| <u> y </u> | ag) | Sign locations: size and design | _____ |
| <u> Y </u> | ah) | Water mains and sewerage lines | _____ |
| <u> Y </u> | ai) | Location of dumpsters on concrete pads | _____ |
| <u> Y </u> | aj) | All notes from plats | _____ |

Applicant Initials		Staff Initials
<u>N/A</u>	ak) Buffer as required by site plan regulations	_____
<u>Y</u>	al) Green and open space requirements met with both types of spaces inscribed on the plan	_____
<u>Y</u>	am) Soil types and boundaries, Note: If site contains marginal or questionable soils, a High Intensity Soil, Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire Certified Soil Scientist, who shall affix his/her stamp and signature shall be inscribed on the plan.	_____
<u>Y</u>	an) Wetlands (and poorly-drained and very poorly-drained soils, also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire certified wetland or soil scientist, who shall affix his/her stamp and signature to the respective plan.	_____
<u>Y</u>	ao) "Valid for one year after approval" statement inscribed on the plan.	_____
<u>Y</u>	ap) Loading bays/docks	_____
<u>Y</u>	aq) State of New Hampshire engineer's stamp, signature, surveyor's stamp, and signature	_____
<u>Y</u>	ar) Error of closure (1 in 10,000 or better)	_____
<u>Y</u>	as) Drafting errors/omissions	_____
<u>Y</u>	at) Developer names, addresses, telephone numbers and signatures	_____
<u>Y</u>	au) Photographs, electronic/digital display or video of site and area	_____
<u>WAIVER</u>	av) Attach one (1) copy of the building elevations	_____
<u>WAIVER</u>	aw) Fiscal impact study	_____
<u>WAIVER</u>	ax) Traffic study	_____
<u>WAIVER</u>	ay) Noise study	_____

Applicant
Initials

Staff
Initials

 N/A az) Copies of any proposed or existing easements, covenants, deed restrictions,
right of way agreements or other similar documents _____

 N/A ba) Copy of applicable Town, State, Federal approval/permits to include but
not limited to the following: _____

- industrial discharge application
- sewer application
- flood plain permit
- wetlands special exception
- variance
- erosion control permit (149:8a)
- septic construction approval
- dredge and fill permit
- curb cut permit
- shore-land protection certification in
in accordance with RSA483-B
- if applicable, review application with Lower Merrimack River Local
Advisory Committee (LMRLAC) and attach LMRLAC project
comments hereto.

 bb) Presentation plan (colored, with color-coded bar chart) _____

 Y bc) Fees paid to clerk _____

 bd) Five (5) 22" x 34" copies of the plan shall be brought to the Planning
Board meeting and distributed to the Planning Board members at the
meeting. Note: for all subsequent meetings involving revised plans,
five 22" x 34" copies of said plan shall be brought to the meeting for
distribution to the board members. _____

*Under the purview of the Planning Board, any and all items may be waived.

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Site Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Site Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: _____

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: _____

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The Code Enforcement Officer/Building Inspector must be notified within two (2) working days of any change by the individual in charge of the project.

APPLICATION IS DUE AT NOON 21 days prior to the Planning Board Meeting. (The date the Agenda is CLOSED.) Any applications received after that time will be deferred until the next available meeting.

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: 13 RIVER ROAD CHANGE OF USE PLAN

Street Address: 13 RIVER ROAD

I JACK SZEMPLINSKI hereby request that the Planning Board waive the requirements of item 275-8.B.31(a) LANDSCAPING of the Subdivision/Site Plan Checklist in reference to a plan presented by BENCHMARK ENGINEERING, INC (name of surveyor and engineer) dated AUGUST 20, 2014 for property tax map(s) MAP 240 and lot(s) LOT 15 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

THIS SITE PREVIOUSLY RECEIVED PLANNING BOARD APPROVAL IN 1984 AND MORE RECENTLY IN 2012. WHEN CONSTRUCTED THE PROJECT MET THE REGULATIONS OF THE TOWN.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

THE PAVED AREAS AND PARKING ON THIS SITE ARE FROM AN APPROVED SITE PLAN FROM 1984. ADDING THE 10% REQUIRED INTERIOR LANDSCAPING WOULD REQUIRE EXCAVATION WITHIN THE EXISTING PARKING LOT AND REDUCE ITS OVERALL AREA REQUIRED FOR THE BUILDING

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: 13 RIVER ROAD CHANGE OF USE PLAN

Street Address: 13 RIVER ROAD

I JACK SZEMPLINSKI hereby request that the Planning Board waive the requirements of item 275-9C - NOISE STUDY of the Subdivision/Site Plan Checklist in reference to a plan presented by BENCHMARK ENGINEERING, INC (name of surveyor and engineer) dated AUGUST 20, 2014 for property tax map(s) 240 and lot(s) 15 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

THE PROPERTY HAS AN EXISTING INDUSTRIAL BUILDING NOW CONSTRUCTED OF CONCRETE BLOCK. PROPOSED USE (AUTOMOTIVE SALES) WILL NOT CREATE ANY ADDITIONAL NOISE THAN AT PRESENT. THE PROPERTY IS SURROUNDED BY A GOLF COURSE AND ADDITIONAL INDUSTRIAL USES.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

THIS BUILDING IS EXISTING AND IS LOCATED IN AN INDUSTRIAL/COMMERCIAL AREA. THE PROPERTY IS SURROUNDED BY A GOLD COURSE. THIS PROJECT WILL NOT CREATE ABY MORE NOISE THAN THE EXISTING SITUATION.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: 13 RIVER ROAD CHANGE OF USE PLAN

Street Address: 13 RIVER ROAD

I JACK SZEMPLINSKI hereby request that the
Planning Board waive the requirements of item 275-9D FISCAL&ENVIRON. IMPACT of the
Subdivision/Site Plan Checklist in reference to a plan presented by BENCHMARK
ENGINEERING, INC (name of surveyor and engineer) dated
8/20/2014 for property tax map(s) 240 and lot(s)
15 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.


Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

THIS IS AN EXISTING BUILDING, ONLY INTERIOR MODIFICATIONS ARE PROPOSED TO THE EXISTING
BUILDING. THE SITE AND SURROUNDING AREAS ARE ALREADY DEVELOPED AND ZONED THE SAME WAY
AS THE SUBJECT PROPERTY.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

ONLY INTERIOR MODIFICATIONS PROPOSED.
THE SITE IS ZONED APPROPRIATELY FOR THE EXISTING AND PROPOSED USES.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

Waiver Not Granted: _____

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: 13 RIVER ROAD CHANGE OF USE PLAN

Street Address: 13 RIVER, HUDSON, NH

I, JACK SZEMPLINSKI hereby request that the Planning Board waive the requirements of item 275-9.B - TRAFFIC STUDY

of the Subdivision/Site Plan Checklist in reference to a plan presented by BENCHMARK ENGINEERING, INC. dated AUGUST 20, 2014 for the property tax map 240 Lot 15 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

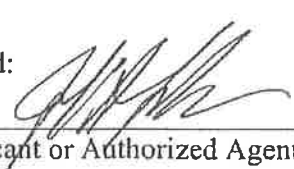
Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

Proposed change of use will allow for automotive sales. Only minimal additional traffic, if any, is anticipated. A traffic study would require unnecessary expense for permitting of this project.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

There will be no or minimal additional traffic generated by this proposal as compared to the previously approved industrial use.

Signed:



Applicant or Authorized Agent

Planning Board Action:

Waiver Granted: _____

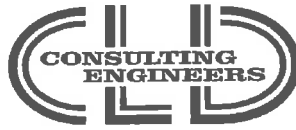
Waiver Not Granted: _____











"B"

September 9, 2014

Mr. John Cashell, Town Planner
Town of Hudson
12 School Street
Hudson, NH 03051

Re: Town of Hudson Planning Board Review
New England Motor Car Co, 13 River Rd
Tax Map 240, Lot 15; PO #1350-848
CLD Reference No. 03-0249.1410

Dear Mr. Cashell:

CLD Consulting Engineers, Inc. (CLD) has reviewed the first submission of the materials received on August 30, 2014 related to the above-referenced project. A list of items reviewed is enclosed. The scope of our review is based on the Site Plan Review Codes, Stormwater Codes, Driveway Review Codes, Sewer Use Ordinance 77, and criteria outlined in the CLD Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007, and September 3, 2008.

We have included a copy of CLD's evaluation of the checklist for your reference. We did not receive a copy of the applicant's checklist. We note that several items could not be verified by CLD and require action by the Town.

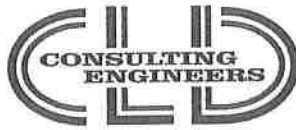
The project consists of converting an existing 12,000 square-foot warehouse/6,240 square-foot office space building into an 11,622 square-foot industrial/4,618 square-foot office/2,000 square-foot retail building, proposed lighting improvements and portions of striping of the parking lot for the proposed uses. We note that tax records and a line in the applicant's application materials show the building being 18,000 square-feet. The site will be serviced by existing municipal water and an on-site private septic system.

We note that the format of the Plan Set was not set up to easily distinguish between existing and proposed work.

The following items are noted:

1. Site Plan Review Codes

- a. HR 275-8.B. (16) The applicant has shown existing features within 90 feet of the site versus the 200 foot required. The applicant should review with the Town whether a waiver is required.
- b. HR 275-8.B. (17) The applicant has shown two temporary benchmarks on the plan set, but has not referenced the survey to a specific USGS benchmark.
- c. HR 275-8.B. (20) The applicant has shown a 10-foot wide slope easement on the plan set.



Mr. John Cashell
CLD Reference No. 03-0249.1410
September 9, 2014
Page - 2

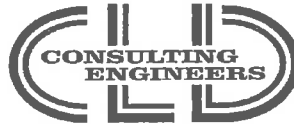
- d. HR 275-8.B. (21) The applicant should coordinate the project narrative and the parking provided on the plan set as the narrative notes the addition of three (3) parking spaces where CLD's latest plan from the former use provided 49 spaces, resulting in an increase of seven (7) spaces.
- e. HR 275-8.B. (30) The applicant has shown loading docks on the west side of the building; however, the size of the loading area is not labeled on plan set. The applicant should provide additional information regarding the size of the loading area and what types of vehicles are expected to access the site. We note that the applicant has also proposed a small loading area at a door near the driveway closest to River Road. The applicant should confirm that trucks loading and unloading in this area will not impede the flow of vehicles entering and exiting the site.
- f. HR 275-9.A. See comments below.
- g. HR 275-9.B. See comments below.
- h. HR 275-9.C. The applicant has noted on the plan set that a waiver from the Noise Study requirement is requested.
- i. HR 275-9.D. The applicant has noted on the plan set that a waiver from the Fiscal and Environmental Impact Study requirement is requested.
- j. HR 275-9.E. See comments below.
- k. HR 275-9.F. Copies of deeds or easements were not received for review as part of the package. One existing 10 foot wide slope easement has been shown.
- l. HR 275-9.G. See comments below.

2. Driveway Review Codes (HR 275-8.B. (34)/Chapter 193)

- a. HR 193-10.C. The applicant should provide spot grades in the drive area demonstrating that an adequate stopping platform is provided.
- b. HR 193-10.E. The applicant has not shown any sight distance information on the plan set for the existing site driveways or for the intersection of Friel Golf Road at River Road.
- c. HR 193-10.G. The applicant has shown two driveways on the plan set. We note that both are existing and the applicant has not proposed to remove or close either driveway. The applicant should review with the Town whether a waiver is necessary.
- d. HR 275-9.B. The applicant has noted on the plan set that a waiver from the Traffic Study requirement is requested.

3. Utility Design/Conflicts (HR 275-9.E.)

- Septic system review was not performed as part of this review.



Mr. John Cashell
CLD Reference No. 03-0249.1410
September 9, 2014
Page - 3

4. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- HR 275-9.A.A Stormwater Water Management report was not provided as part of this review. The applicant has requested a waiver on the plan set.

5. Erosion Control/Wetland Impacts

- The Town should reserve the right to require additional erosion control measures during construction if needed.

6. Landscaping (HR 275-8B (31))

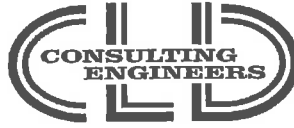
- HR 275-8B(31) A Landscaping Plan was not provided as part of this review. The applicant has requested a waiver request on the plan set for Interior Landscaping Requirements.

7. State and Local Permits (HR 275-9.G.)

- a. The applicant has stated that a portion of the building will be for industrial use. The applicant should provide additional information regarding the types of industrial activities that are proposed as additional Town Industrial Pretreatment Permitting may be necessary.
- b. We note that the existing dumpster enclosure is adjacent to proposed parking and existing irrigation wells and appears to be located on gravel. The applicant should confirm that garbage trucks will be able to access the dumpsters without impacting parking. The applicant should also provide additional information regarding measures proposed to prevent dumpster leachate from reaching the ground water.
- c. The applicant should review the need for a Change of Use Permit related to the existing septic system.
- d. Additional local permitting may be required.

8. Other

- a. HR 275-8.B.(14) The applicant has provided a lighting plan in the plan set. We note that many areas of the site have a less than 0.1 foot-candle illuminance; some of these sections are in parking areas. The applicant has also not met maximum lighting standard uniformity ratios. The lighting plan also does not provide lighting illumination data for the proposed lights to be installed. Additionally, the narrative conflicts with the lighting plan as it states that only four new light poles are proposed and the lighting plan shows 5 lights to be installed. The applicant should review with the Town to confirm that the lighting design is acceptable and provides appropriate lighting for safety.



Mr. John Cashell
CLD Reference No. 03-0249.1410
September 9, 2014
Page - 4

- b. HR 275-8.B.(35) The applicant has noted the need to construct a "handicap ramp" on the north side of the building; but no existing grades or details are provided.

Please feel free to call if you have any questions.

Very truly yours,

A handwritten signature in black ink that reads "Heidi Marshall".

Heidi J. Marshall, P.E.

A handwritten signature in black ink that reads "Paul Konieczka".

Paul Konieczka, AICP

HJM/PK:mjt

Enclosure

cc: Town of Hudson Engineering Division – File
Benchmark Engineering, Inc.
1F Commons Drive, Suite 39
Londonderry, NH 03053
Fax (603) 437-3078



540 Commercial Street Manchester, NH 03101
(603) 668-8223 • Fax: (603) 668-8802
cld@cldengineers.com • www.cldengineers.com
New Hampshire • Vermont • Maine

TO: File

FROM: Kelsey M. Gagnon *KMG*

DATE: September 9, 2014

RE: Town of Hudson Planning Board Review
New England Motor Car Co, 13 River Rd
Tax Map 240, Lot 15; PO #1350-848
CLD Reference No. 03-0249.1410

The following list itemizes the set of documents reviewed related to the current New England Motor Car Co, 13 River Road review comments.












- Various correspondences between Town of Hudson and CLD, between September 4, and September 5, 2014.
- Letter from the Town of Hudson to CLD, dated August 29, 2014, received August 30, 2014, including the following:
 1. Copy of *Project Narrative*, dated July 26, 2014, prepared by Benchmark Engineering, Inc.
 2. Copy of *Preliminary & Final Site Plan Application for Plan Review (Also for Wireless) Town of Hudson, New Hampshire for Map 240, Lot 15*, dated August 29, 2014.
 3. Copy of *Check*, from the applicant to the Town of Hudson, dated August 26, 2014.
 4. Copy of *Change of Use Plan, 13 River Road, Tax Map 240, Lot 15, Hudson, NH Plan Set*, prepared by Benchmark Engineering, Inc., dated August 20, 2014, unless otherwise noted, including the following:
 - a. Cover Plan.
 - b. *Change of Use Plan*, Sheet 2 of 4.
 - c. *Lighting Plan*, Sheet 3 of 4.
 - d. *Building Interior Plans*, Sheet 4 of 4, prepared by Roland J. Soucy Co, LLC.


KMG:mjt

cc: John Cashell – Town of Hudson Planner
Town of Hudson Engineering Division – File

APPLICATION FOR SITE PLAN REVIEW
 TOWN OF HUDSON, NEW HAMPSHIRE

Thirty (30) days prior to Planning Board Meeting, a complete site plan to include all supporting materials/documents must be submitted in final form. The site plan shall comply with the following specifications/requirements.

Applicant Initials	Staff Initials	
		a) Submission of nine (9) full sets of Site Plans (sheet size: 22" x 34") at the time of application filing, followed by the submission of seventeen (17) 11" x 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 AM Tuesday the week prior to the scheduled public hearing/conceptual review date.
		b) A Site Plan narrative, describing the purpose, locations, long range plans, impacts on traffic, schools and utilities.
	CLD/KMG	c) Plan scale at not less than one inch equals fifty feet (1" = 50')
	CLD/KMG	d) Locus plan with 1,000' minimum radius of site to surrounding area
	CLD/KMG	e) Plan date by day/month/year
	CLD/KMG	f) Revision block inscribed on the plan
	CLD/KMG	g) Planning Board approval block inscribed on the plan
	CLD/KMG	h) Title of project inscribed on the plan
	CLD/KMG	i) Names and addresses of property owners and their signatures inscribed on the plan
	CLD/KMG	j) North point inscribed on the plan
	CLD/KMG	k) Property lines: exact locations and dimensions
	CLD/KMG	l) Square feet and acreage of site
	CLD/KMG	m) Square feet of each building (existing & proposed)
		n) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan

- a) One set received by CLD.
- b)  Discussion regarding impacts to traffic, schools, and utilities not included in narrative received for review.
- e) Plan date by month/day/year.
- g) Language does not exactly match Regulation.
- m) The square footage noted on the Preliminary & Final Site Plan Application and in tax records does not match the building area called out on the plans.
- n) Abutters' names and addresses are shown on plan; unable to verify 5-day update criteria.

Applicant
Initials

- o) Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve areas, floodways/floodplains, driveways, travel areas, parking areas and natural features within 200 feet of the tract
- p) Locations of existing and proposed permanent monuments and benchmarks within 200 feet of the development tract
- q) Pertinent highway projects
- r) Assessor's Map and Lot number(s)
- s) Waiver application form shall be submitted with the site plan application, note on plan listing waivers requested/granted; and all waivers granted to the site plan regulations shall be listed on the final plan; waivers to checklist shall be reduced to writing and be signed by the Planning Board Chairman and Planning Board Secretary and recorded with the plan.

Staff
Initials

- o) Locations of features within 90 feet of the site are shown.
- p) Two temporary benchmarks have been shown on the plans. We are unable to verify that all locations of existing monuments within 200 feet of the development tract are shown.
- q) No highway projects noted.
- s) Requested waivers were noted on the plans; however, waiver application forms were not received for review.

- t) Delineate zoning district on the plan
- u) Stormwater drainage plan
- v) Topographical elevations at 2-foot intervals contours: existing and proposed

CLD/KMG
~~CLD/KMG~~

- w) Utilities: existing and proposed
- x) Parking: existing and proposed
- y) Parking space: length and width
- z) Aisle width/maneuvering space
- aa) Landscaping: existing and proposed
- ab) Building and wetland setback lines
- ac) Curb cuts
- ad) Right of way: existing and proposed
- ae) Sidewalks: existing and proposed
- af) Exterior lighting plan
- ag) Sign locations: size and design
- ah) Water mains and sewerage lines
- ai) Location of dumpsters on concrete pads
- aj) All notes from plats

CLD/KMG
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u) Applicant noted waiver requested on plan set.

x) The parking noted in the narrative does not match the parking provided on the plans.

z) WB-50 will not be able to maneuver the site.

aa) Applicant noted waiver requested on plan set.

ab) Existing parking areas within Wetland Conservation District.








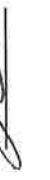



ae) No sidewalks shown on the plan set.

ag) The applicant should confirm relocated sign will not conflict with existing septic.

Applicant
Initials

- ak) Buffer as required by site plan regulations
- al) Green and open space requirements met with percentages of both types of spaces inscribed on the plan
- am) Soil types and boundaries, Note: if site contains marginal or questionable soils, a High Intensity Soil Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire certified Soil Scientist, who shall affix his/her stamp and signature shall be inscribed on the plan.
- an) Wetlands (and poorly-drained and very poorly-drained soils), also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire certified Wetland or Soil Scientist, who shall affix his/her stamp and signature to the respective plan.
- ao) "Valid for one year after approval" statement inscribed on the plan
- ap) Loading bays/docks
- aq) State of New Hampshire engineer's stamp, signature, surveyor's stamp, and signature
- ar) Error of closure (1 in 10,000 or better)
- as) Drafting errors/omissions
- at) Developer names, addresses, telephone numbers and signatures
- au) Photographs, electronic/digital display or video of site and area
- av) Attach one (1) copy of the building elevations
- aw) Fiscal impact study
- ax) Traffic study
- ay) Noise study

Staff
Initials

- ak) Existing parking areas within side and rear building setback areas.
- al) Applicant noted waiver requested on plan set.
- am) Regulation was repealed in 2010.
- an) The applicant should better define wetland and wetland conservation district boundaries on the plans.
- ao)  CLLD/KMG
- ap)  CLLD/KMG
- aq)  CLLD/KMG
- ar)  CLLD/KMG
- as)  CLLD/KMG
- at)  CLLD/KMG
- au)  None received for review.
- av)  None received for review.
- aw)  Not received, applicant noted waiver requested.
- ax)  Not received, applicant noted waiver requested.
- ay)  Not received, applicant noted waiver requested.

Applicant
Initials

az) Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents

ba) Copy of applicable Town, State, Federal approval/permits to include but not limited to the following:

- industrial discharge application
- sewer application
- flood plain permit
- wetlands special exception
- variance
- erosion control permit (149:8a)
- septic construction approval
- dredge and fill permit
- curb cut permit

- shoreland protection certification in accordance with RSA483-B
 - if applicable, review application with Lower Merrimack River Local Advisory Committee (LMRLAC) and attach LMRLAC project comments hereto.

bb) Presentation plan (colored, with color coded bar chart)

bc) Fees paid to clerk

bd) Five (5) 22" x 34" copies of the plan shall be brought to the Planning Board meeting and distributed to the Planning Board members at the meeting. Note: for all subsequent meetings involving revised plans, five 22" x 34" copies of said plan shall be brought to the meeting for distribution to the board members.

• Under the purview of the Planning Board any and all items may be waived.

Staff
Initials

az) No deeds or easement documents received for review. One 10 foot wide slope easement is shown on the plans.

ba) No permits received in package for review.

bb) No presentation plan received, requires a Town action.

bc) Requires Town action.

bd) Requires Town action.



September 16, 2014

Mr. John Cashell, Town Planner
Town of Hudson
12 School Street
Hudson, NH 03051

RE: CLD REVIEW -13 RIVER ROAD CHANGE OF USE PLAN

Dear John,

In reply to CLD Review letter Dated September 9th, we revised our plans and are forwarding 15 8 ½ x17" copies of the revised plans. Additionally, we would like to offer the following reply:

1. Site Plan Review Codes

- a. **HR 275-8.B.(16) Existing Features within 200 feet.** We have provided a Google Earth image on Sheet 1 showing existing features within 200' of the site.
- b. **HR 275-8.B.(17) Temporary benchmarks.** The elevations shown on this plan are based on the existing plans of record by Maynard & Paquette dated June 1984. This was also the basis of the plan prepared by this office in 2012.
- c. **HR 275-8.B.(20)**The 10' wide slope easement along River Road is an existing easement of record. Please see Book 2379 Page 200.
- d. **HR 275-8.B.(21) Project Narrative.** The latest plan entitled "Change of Use Plan, Tax Map 240, Lot 15" dated May 9, 2012 and approved by the Hudson planning board 7/25/2012 shows 53 parking spots. Based on that it would seem our narrative is correct – we are proposing 3 new parking spots.
- e. **HR 275-8.B.(20) Loading Docks.** All loading docks are existing at present time. We dimensioned the loading area and the width of the overhead doors. We anticipate utilizing this area for cars or other service equipment allowed on this site.
- f. **HR 275-9.A** No reply necessary.
- g. **HR 275-9.B** No reply necessary.
- h. **HR 275-9.C Noise Study.** A waiver requested. No reply necessary.
- i. **HR 275-9.D Fiscal & Environmental Impact Study.** A waiver requested. No reply necessary.
- j. **HR 275-9.E** No reply necessary.
- k. **HR 275-9.F** Copies of Deeds, Easements, etc. No deeds are needed. The 10' wide slope easement along River Road is an existing easement of record. Please see Book 2379 Page 200.
- l. **HR 275-9.G** No reply necessary.

2. Driveway Review Codes

- **HR 193-10.C. Spot Grades.** We added several existing grade spot elevations at the driveways.
- **HR 193-10.E. Sight distance along driveways.** These are existing driveways and were reviewed and approved by the planning board in 2012 and, we believe, a sight distance plan is not necessary.
- **HR 193-10.G. Two Existing Driveways.** These driveways were shown on the previous plans and are not new. We believe no further action is required on this item.
- **HR 275-9.B. Traffic Study.** A waiver requested. No reply necessary.

3. Utility Design/ Conflicts (HR 275-9.E)

- **Septic System Review.** There is no additional loading proposed on the septic system. Proposed use is compatible with the use previously approved.

4. Drainage Design/ Stormwater Management (HR 275-9.A/ Chapter 290)

- There will be no additional impermeable surfaces. Therefore there will be no alteration of the existing volumes of runoff or the drainage patterns. A waiver is submitted requesting that we do not submit a stormwater management report.

5. Erosion Control/ Wetland Impacts.

- There is no work which will impact erosion or any wetlands proposed.

6. Landscaping.

- There is no work which impact existing landscaping or tree buffers. The site is well treed and landscaped. A waiver not to provide additional landscaping is submitted as part of this application.

7. State and Local Permits.

- Use of Building.** There will be no discharge of any substances that will require pre-treatment.
- Dumpster.** There is presently adequate maneuvering room for garbage trucks. There is an existing concrete pad for dumpster storage to prevent any potential leachate from seeping into groundwater.
- Change of Use Permit (Septic system).** The septic system was designed for a similar use and is compatible in capacity and construction with the current plan.
- Additional local permitting may be required. A note only – no reply necessary.

8. Other.

- HR 275-8.B.(14) Lighting.** Only 4 new lights will be installed. We updated the plans and the illumination plan as requested.
- R 275-8.(35) Handicap Ramp.** Details are now provided on Sheet 3.

I hope you will find the revised plans and the above reply satisfactory.

Thanks for your help.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Jack A. Szemplinski', with a long horizontal flourish extending to the right.

Jack A. Szemplinski, PE
BENCHMARK ENGINEERING, INC.

"D"

PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: AUGUST 20, 2014 Tax Map # 240 Lot # 15
Name of Project: 13 RIVER RD - CHANGE OF USE PLAN
Zoning District: G-1 General SP# 12-14
(For Town Use) (For Town Use)

ZBA Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: DESJARDINS REALTY TRUST
Address: 13 RIVER ROAD
Address: HUDSON, NH 03051
Telephone # _____
Fax # _____
Email: _____

NEW ENGLAND MOTOR CAR CO,
323 DANIEL WEBSTER HIGHWAY
NASHUA, NH 03060
603 888-1207

ajmello@allenmello.com

PROJECT ENGINEER

SURVEYOR

Name: BENCHMARK ENGINEERING, INC
Address: 1F COMMONS DR, UNIT 35
Address: LONDONDERRY, NH 03053
Telephone # (603) 437-5000
Fax # _____
Email: jm@benchmark-engineering.com

RANGEWAY LAND SURVEYING
252 DANIEL PLUMMER ROAD
GOFFSTOWN, NH 03045
(603) 624-1602

pzarnowski@dbt-rangeway.com ;



PURPOSE OF PLAN:

TO AMEND THE SITE PLAN TO ALLOW FOR AUTOMOTIVE SALES IN ADDITION TO
THE EXISTING PERMITTED USES

For Town Use PB mtg.

Plan Routing Date: 8-29-14 Sub/Site Date: 9-24-14

I have no comments I have comments (attach to form)

DB Title: Lt D B Bianchi Date: 9/5/14
(Initials)

DEPT:
 Zoning Engineering Assessor Police Fire Planning
 Consultant Highway Department

Fees Paid: _____

**PRELIMINARY & FINAL SITE PLAN APPLICATION
FOR PLAN REVIEW (Also for Wireless)
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: AUGUST 20, 2014 Tax Map # 240 Lot # 15

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Zoning District: G-1 General SP# 12-14
(For Town Use) (For Town Use)

ZBA Action: _____

PROPERTY OWNER:

DEVELOPER:

Name: DESJARDINS REALTY TRUST

NEW ENGLAND MOTOR CAR CO,

Address: 13 RIVER ROAD

323 DANIEL WEBSTER HIGHWAY

Address: HUDSON, NH 03051

NASHUA, NH 03060

Telephone # _____

603 888-1207

Fax # _____

Email: _____

ajmello@allenmello.com

PROJECT ENGINEER

SURVEYOR

Name: BENCHMARK ENGINEERING, INC

RANGEWAY LAND SURVEYING

Address: 1F COMMONS DR, UNIT 35

252 DANIEL PLUMMER ROAD

Address: LONDONDERRY, NH 03053

GOFFSTOWN, NH 03045

Telephone # (603) 437-5000

(603) 624-1602

Fax # _____

Email: jm@benchmark-engineering.com

pzarnowski@dbt-rangeway.com ;

PURPOSE OF PLAN:

TO AMEND THE SITE PLAN TO ALLOW FOR AUTOMOTIVE SALES IN ADDITION TO
THE EXISTING PERMITTED USES



Plan Routing Date: <u>8-29-14</u>	<i>For Town Use</i> <u>PB mtg.</u>	Sub/Site Date: <u>9-24-14</u>
<input checked="" type="checkbox"/> I have no comments <input type="checkbox"/> I have comments (attach to form)		
<u>MAC</u> (Initials)	Title: <u>2.A (TEMP)</u>	Date: <u>9-4-14</u>
DEPT: _____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning _____ _____ Consultant _____ Highway Department		
Fees Paid: _____		

**PRELIMINARY & FINAL SITE PLAN APPLICATION
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NEW ENGLAND MOTOR CAR CO,

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NASHUA, NH 03060

Telephone # _____

603 888-1207

Fax # _____

ajmello@allenmello.com

Email: _____

PROJECT ENGINEER

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Name: BENCHMARK ENGINEERING, INC

RANGEWAY LAND SURVEYING

Address: 1F COMMONS DR, UNIT 35

252 DANIEL PLUMMER ROAD

Address: LONDONDERRY, NH 03053

GOFFSTOWN, NH 03045

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<input checked="" type="checkbox"/> I have no comments <input type="checkbox"/> I have comments (attach to form)		
<u>JOB</u> (Initials)	Title: <u>Deputy Fire Chief</u>	Date: <u>9/2/14</u>
DEPT: _____ Zoning _____ Engineering _____ Assessor _____ Police _____ <u>Fire</u> _____ Planning _____ _____ Consultant _____ Highway Department		
Fees Paid: _____		

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<input checked="" type="checkbox"/> I have no comments <input type="checkbox"/> I have comments (attach to form)		
(Initials) <u>[Signature]</u>	Title: <u>Asst. Assessor</u>	Date: <u>9-2-14</u>
DEPT: _____ Zoning _____ Engineering _____ Assessor _____ Police _____ Fire _____ Planning _____ _____ Consultant _____ Highway Department		
Fees Paid: _____		

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Telephone # _____
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DEVELOPER:

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323 DANIEL WEBSTER HIGHWAY
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SURVEYOR

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<input checked="" type="checkbox"/> I have no comments	<input type="checkbox"/> I have comments (attach to form)	
<u>KB</u> (Initials)	Title: <u>ROAD AGENT</u>	Date: <u>9/8/14</u>
DEPT:	<input type="checkbox"/> Zoning <input type="checkbox"/> Engineering <input type="checkbox"/> Assessor <input type="checkbox"/> Police <input type="checkbox"/> Fire <input type="checkbox"/> Planning <input type="checkbox"/> Consultant <input type="checkbox"/> Highway Department	
Fees Paid: _____		

MINUTES/DECISIONS OF THE PLANNING BOARD

MEETING DATE:

JULY 25, 2012

- A. 13 River Road Site Plan
SP# 03-12

Map 240/Lot 15

Purpose of plan: To change use of the building from the existing use (12,000 sq. ft. warehouse/6,000 sq. ft. office) to a 6,864 sq. ft. industrial/ 3,264 sq. ft. office/3,021 sq. ft. retail/4,851 sq. ft. indoor firing range. There are no changes to the site other than the improvements within the building and the restriping of the parking lot to the proposed uses. Hearing. Deferred Date Specific from the 06-27-12 Planning Board Meeting.

Waivers:

HTC 275-8.25 – Green Area

Mr. Maddox moved to grant the requested waiver – HTC 275-8.25 – Green Area – because the site is already developed and this application does not propose to change existing green area conditions, as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan regulations. Motion seconded by Mr. Della-Monica. All in favor – motion carried.

HTC 275-8.B.31 – Interior Landscaping

Mr. Maddox moved to grant the requested waiver – HTC 275-8.B.31 – Interior Landscaping – because the site is already developed and this application does not propose to change existing interior landscape conditions, as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan regulations. Motion seconded by Mr. Della-Monica. All in favor – motion carried.

HTC 275-8.B.31.(c) – Shade Trees

Mr. Maddox moved to grant the requested waiver – HTC 275-8.B.31.(c) – Shade Trees – because the site is already developed and the existing shade trees are established and in keeping with such trees on abutting properties, as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan regulations. Motion seconded by Mr. Barnes. All in favor – motion carried.

HTC 275-9.A – Stormwater Report

Mr. Maddox moved to grant the requested waiver – HTC 275-9.A – Stormwater Report – because this application does not propose to change the existing impervious surfaces of the site and existing drainage infrastructure, which has been determined adequate by the Town’s consulting engineer, as such, the

granting of this waiver is not contrary to the spirit and intent of the Site Plan regulations. Motion seconded by Mr. Della-Monica. All in favor – motion carried.

HTC 275-9C – Noise Study

Mr. Maddox moved to grant the requested waiver: HTC 275-9C – Noise Study – because such a study is unnecessary, taking into consideration the proposed use is not expected to create noise levels that would violate Town noise ordinances by the testimony of the testifying consultant, at the meeting held on July 25, 2012, as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan regulations. Motion seconded by Mr. Della-Monica. All in favor – motion carried.

HTC 275-9D – Fiscal/Environmental Impact Studies

Mr. Maddox moved to grant the requested waiver: HTC 275-9D – Fiscal/Environmental Impact Studies – because said study, in addition to the subject CAP fee and other submitted application materials, is not necessary to evaluate the fiscal and environmental impact of this development, by the testimony of the testifying consultant, and as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan regulations. Motion seconded by Mr. Della-Monica. All in favor – motion carried.

MOTION TO APPROVE:

Mr. Maddox moved to approve the Site Plan entitled: Change of Use Plan, Desjardins Realty Trust, Tax Map 240, Lot 15, 13 River Road, Hudson, NH, prepared by Benchmark Engineering, Inc., Londonderry, NH, dated May 9, 2012 and revised thru July 12, 2012, consisting of a Cover Sheet, Sheets 1 – 4 and Notes 1 – 25, in accordance with the following terms and conditions:

- 1) All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record (hereafter referred to as the Plan).
- 2) Prior to the issuance of a final certificate of occupancy, a L.L.S. certified “As-Built” Site Plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms with the Planning Board approved Plan.
- 3) Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No construction activities shall occur on Sunday.
- 4) Hours of operation shall be limited to: Mon. – Sat. 9:00 A.M. to 9:00 P.M. – Sun. 10:00 A.M. to 5:00 P.M.
- 5) Refuse removal shall be limited to Monday – Friday 8:00 A.M. – 6:00 P.M. only. Refuse removal on Saturday and Sunday is prohibited.

- 6) Prior to Planning Board endorsement of the plan, it shall be subject to final engineering and Police Chief review.
- 7) The calculated CAP fee of \$15,756.00 prepared in accordance with the 2012 CAP Fee Matrix shall be submitted to the Town prior to the issuance of the Certificate of Occupancy.
- 8) Prior to Planning Board endorsement of this Plan, above conditions 3 – 7 shall be inscribed as additional notes on the Plan, which shall provide a total of 30 notes.
- 9) Prior to the shooting range opening, the range shall be certified by a professional engineer as to what caliber bullet size can be shot safely at the range.

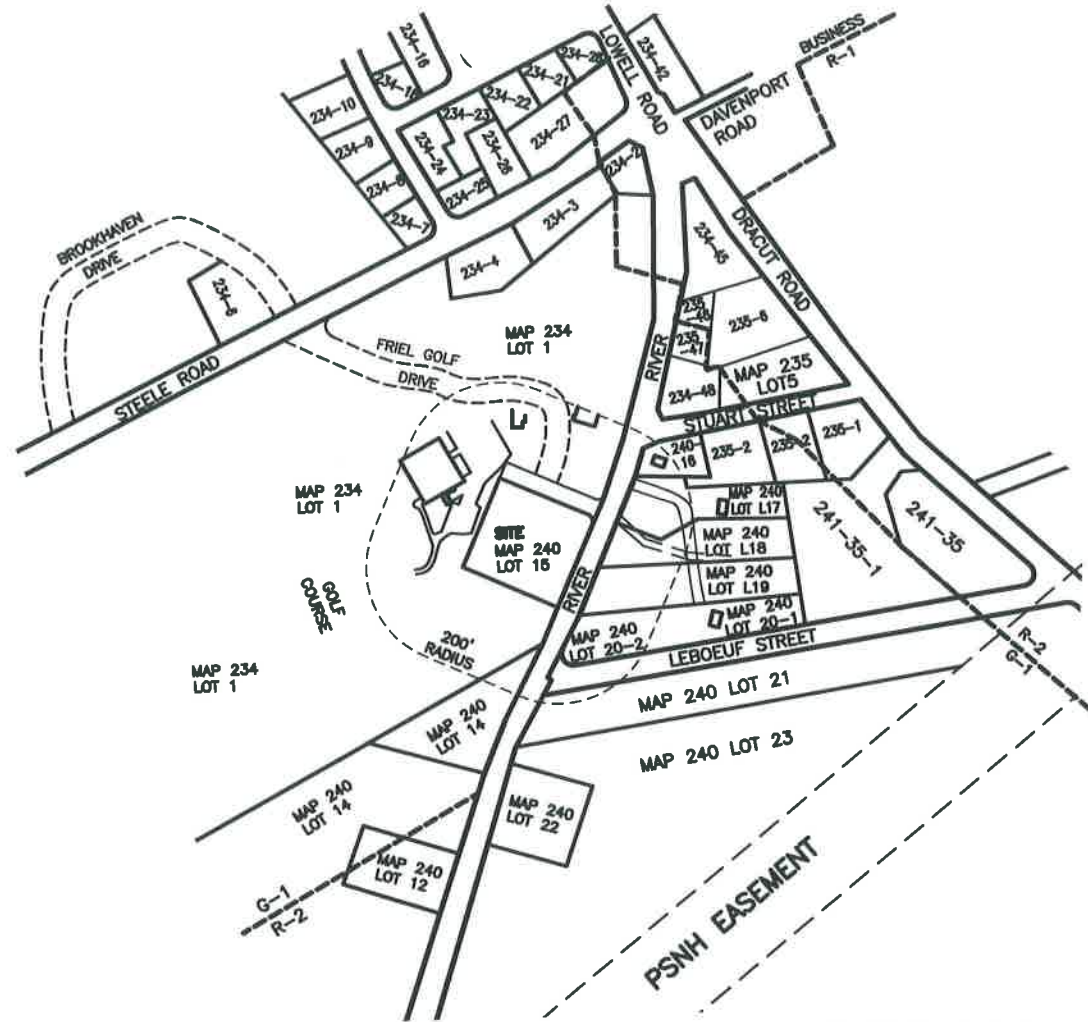
Motion seconded by Mr. Della-Monica. All in favor – motion carried.

OWNER OF RECORD: 
 STEVEN J. DESJARDINS, TRUSTEE
 DESJARDINS REALTY TRUST
 13 RIVER ROAD
 HUDSON, NEW HAMPSHIRE 03051
 HCRD BOOK 8488/PAGE 414

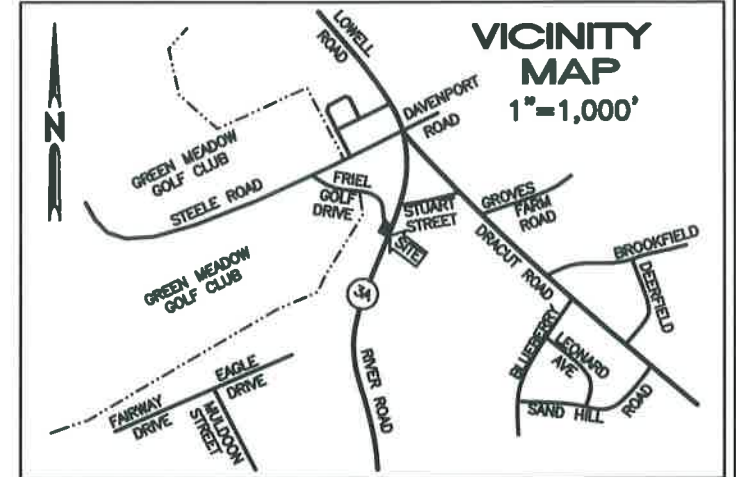
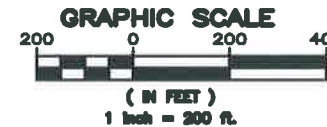
DATE: 9/17/14



GOOGLE EARTH IMAGE
 1"=200' +/-



TAX MAP
 1"=200'



SHEET INDEX:
 SHEET 1..... COVER PLAN
 SHEET 2..... SITE PLAN
 SHEET 3..... LIGHTING PLAN & DETAILS
 SHEET 4..... BUILDING PLAN

TAX MAP 240 LOT 15
 PROPERTY OWNER
 DESJARDINS REALTY TRUST
 STEVEN J. DESJARDINS, TRUSTEE
 13 RIVER ROAD
 HUDSON, NEW HAMPSHIRE 03051
 HCRD BOOK 8488/PAGE 414

PREPARED FOR
 NEW ENGLAND MOTOR CAR COMPANY
 323 DANIEL WEBSTER HIGHWAY
 NASHUA, NEW HAMPSHIRE 03060

PREPARED BY
 BENCHMARK ENGINEERING, INC
 1F COMMONS DRIVE, SUITE 35
 LONDONDERRY, NEW HAMPSHIRE 03053
 PHONE: 603-437-5000

CHANGE OF USE PLAN 13 RIVER ROAD TAX MAP 240 LOT 15 HUDSON NEW HAMPSHIRE

 BENCHMARK ENGINEERING, INC.
 Consulting Engineers Land Planners
 1F Commons Drive, Suite 35
 Londonderry, New Hampshire 03053
 Phone: (603) 437-5000
 Fax: (603) 437-3078

August 20, 2014

PURSUANT TO THE SITE PLANS REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING _____

SIGNATURE _____ DATE _____

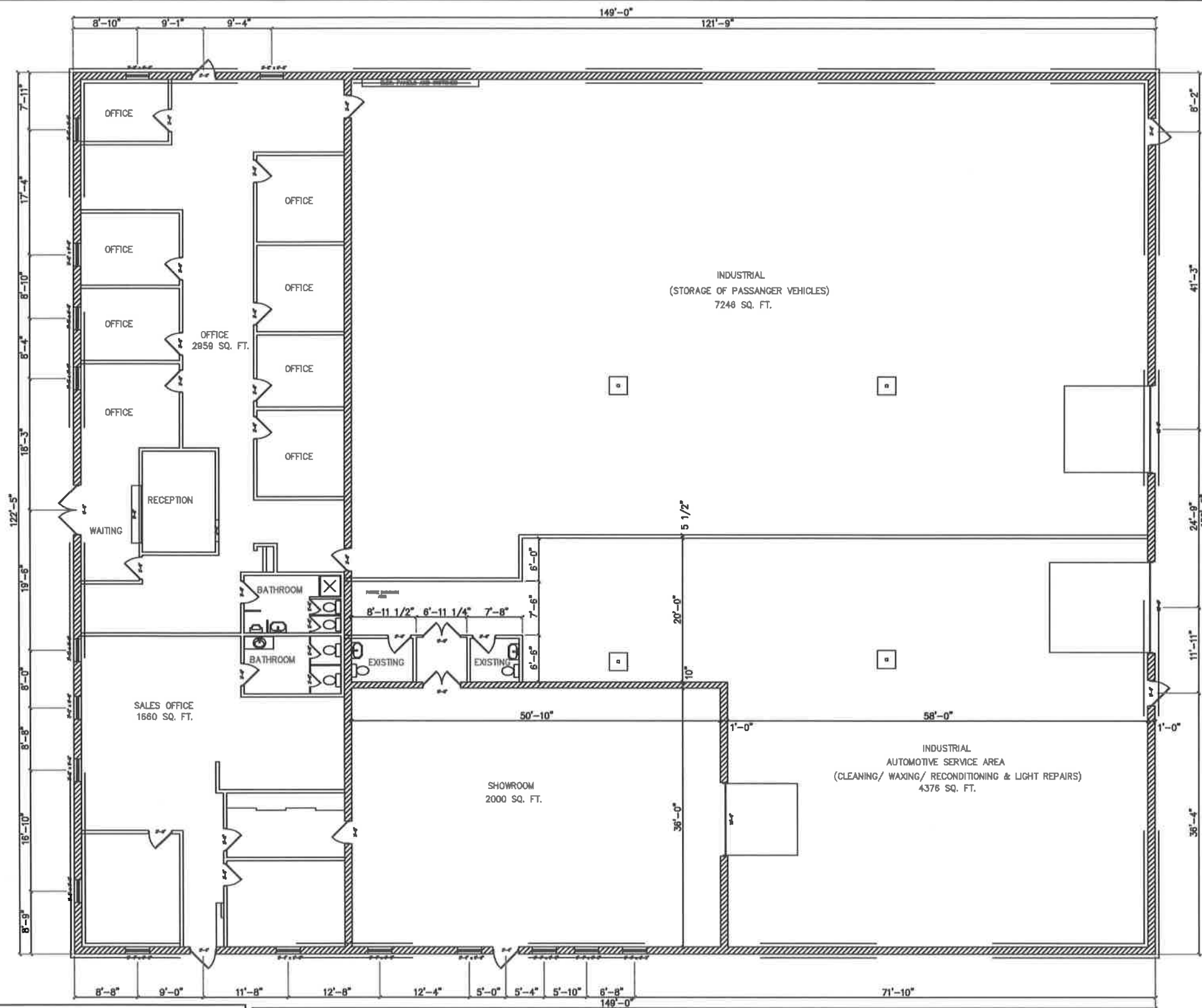
SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



CLD COMMENTS/ UPDATE	9/15/2014
REVISIONS	DATE

RIVER ROAD SIDE



STREET SIGN
NO SCALE



BUILDING SIGN
NO SCALE

BUILDING INTERIOR PLANS
TAX MAP 240 LOT 15
13 RIVER ROAD
HUDSON NEW HAMPSHIRE
PREPARED FOR:
NEW ENGLAND MOTOR CAR COMPANY
323 DANIEL WEBSTER HIGHWAY
NASHUA, NEW HAMPSHIRE 03060

SCALE: 1/8"=1'-0 SHEET 4 OF 4 AUGUST 20, 2014

CLD COMMENTS/ UPDATE	DATE
	9/15/2014
REVISIONS	DATE



APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

FRIEL GOLF ROAD SIDE

FUTURE AUTO SALES SPACE FOR
NEW ENGLAND MOTOR CAR COMPANY

ROLAND J. SOUCY CO., LLC
architectural design services
52 Marsh Road, Pelham, New Hampshire 03076
(603) 635-3285

13 RIVER RD. 2012 PLAN OF RECORD

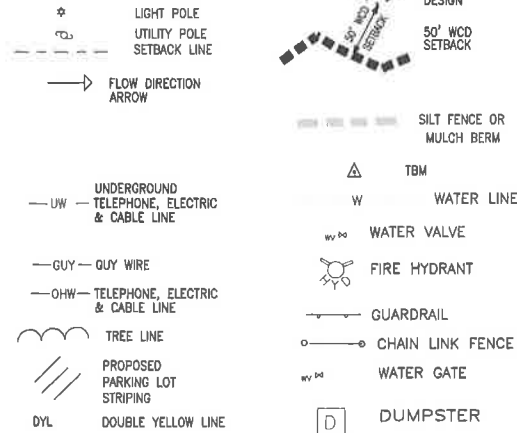
11F

OWNER OF RECORD:

THOMAS F. HEAD III REVOCABLE TRUST
C/O ENVIRONMENTAL INTERIORS
13 RIVER ROAD
HUDSON, NEW HAMPSHIRE 03051
HCRD BOOK 5636/PAGE 843

- 21.) NHDES SITE LOADING (PREVIOUSLY APPROVED FOR 800 GPD)
- | | | |
|-------------------------------|---|--|
| INDUSTRIAL | = | 40 GPD (2 EMPLOYEES @ 20 GPD/EMPLOYEE) |
| OFFICE | = | 490 GPD (15 GPD/100 SQ. FT.) |
| RETAIL | = | 100 GPD (DRY GOOD IN SHOPPING CENTER) |
| INDOOR RANGE | = | 144 GPD |
| TOTAL PROPOSED LOADING | = | 774 GPD |
- SITE LOADING CALCULATIONS
SCS SOILS GROUP-WINDSOR LOAMY SAND (NHDES GROUP 1 SOIL)
2.08 ACRES (TOTAL LOT AREA) * 2,000 GPD/ACRES
1.0 (NHDES SOIL FACTOR) = 4,120 GPD ALLOWED
- 22.) A HANDICAP RAMP SHALL BE INSTALLED NEAR THE PROPOSED HANDICAP PARKING SPACES IN ACCORDANCE WITH THE CURRENT TOWN OF HUDSON AND THE AMERICANS WITH DISABILITIES ACT (ADA) REGULATIONS.
- 23.) BENCHMARK ELEVATIONS SHOWN WERE ESTABLISHED FROM INFORMATION SHOWN ON PLAN REFERENCE #1

LEGEND:



WETLAND NOTES:

- 1.) WETLANDS SHOWN HEREON WERE FLAGGED IN THE FIELD BY JOSEPH MAYNARD OF BENCHMARK ENGINEERING, INC. UNDER THE SUPERVISION OF PAUL ZARNOWSKI OF RANGEWAY LAND SURVEY & DESIGN IN OCTOBER OF 2011 ACCORDING TO THE FOLLOWING STANDARDS:
- ARMY CORP. OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1), JANUARY, 1997
 - FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION II, JULY, 1998
 - NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS. NH FISH & WILDLIFE SERVICE, MAY, 1998



I CERTIFY THAT THIS PLAN WAS PREPARED FROM BOUNDARY INFORMATION SHOWN ON HCRD PLAN #D-17170 AND A FIELD SURVEY CONDUCTED BETWEEN FEBRUARY 2012 AND JUNE 2012 HAVING A MAXIMUM ERROR OF CLOSURE OF 1:10,000



RANGEWAY LAND SURVEYING & DESIGN, INC. DATE BY: PAUL W. ZARNOWSKI LLS.

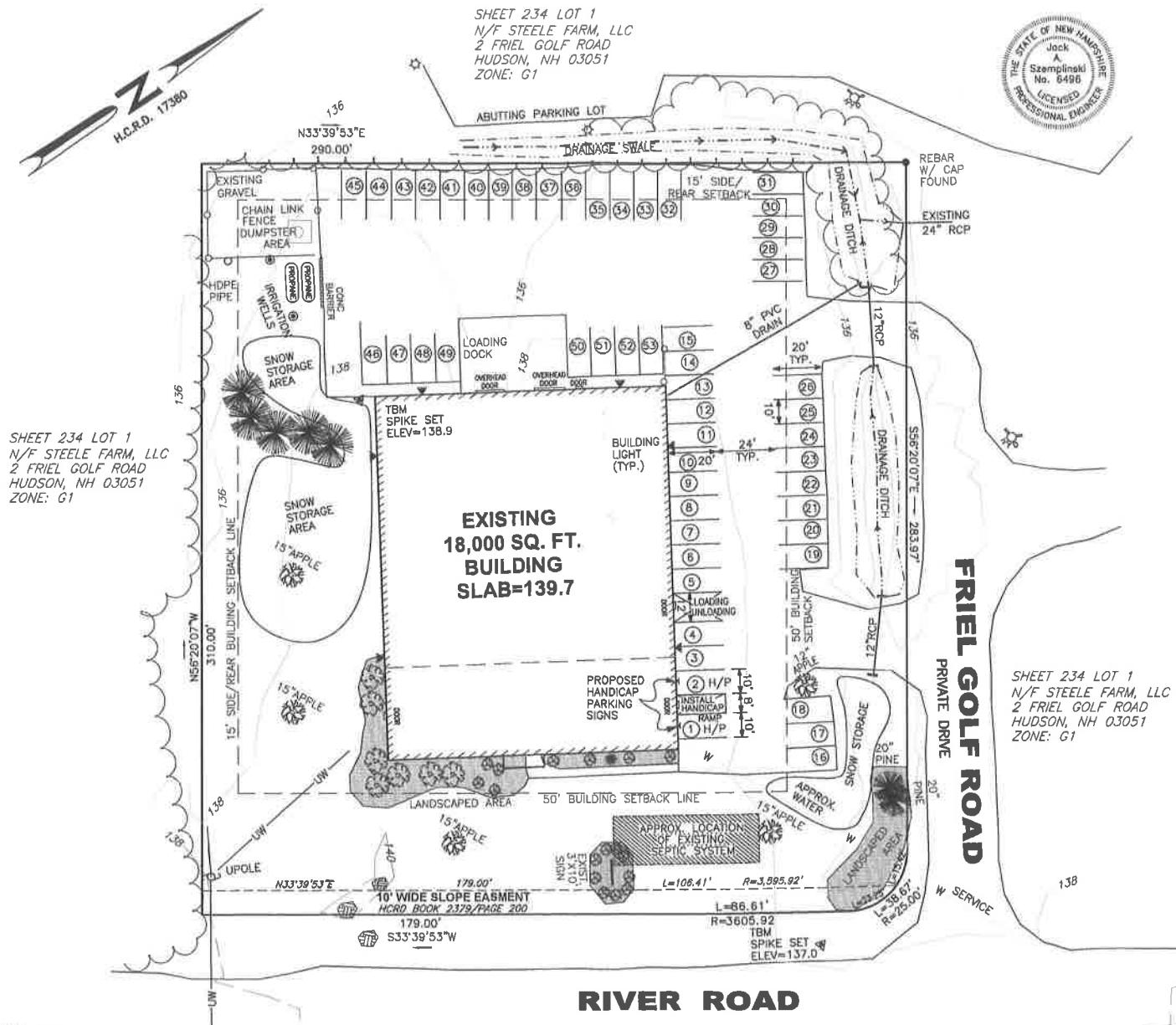
PURSUANT TO THE SITE PLANS REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING	
SIGNATURE	DATE
SIGNATURE	DATE

SITE PLANS ARE VALID FOR ONE (1) YEAR FROM THE DATE OF PLANNING BOARD MEETING. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

- PLAN REFERENCES:**
- "SITE PLAN - LOT 1-2/MAP 7 RIVER ROAD HUDSON, NH FOR TOM HEAD ENVIRONMENTAL INTERIOR INC 352 AMHERST STREET NASHUA, NH SCALE: 1"=20' DATE: JUNE 1984" AS PREPARED BY MAYNARD & PAQUETTE, INC. CONSULTING ENGINEERS & LAND SURVEYORS 23 EAST PEARL STREET - NASHUA NH 03060. HCRD PLAN #17380
 - HCRD PLAN #D-17170
- DEED REFERENCES:**
- H.C.R.D. BOOK 5636 PAGE 843



GENERAL NOTES:

- PARCEL ID: TAX MAP 240 LOT 15
- PARCEL AREA = 89,711 S.F. = 2.06 ACRES
- PARCEL ZONE: G1
- BOUNDARY TAKEN DIRECTLY FROM PLAN REFERENCES.
- BOUNDARY SURVEY RESEARCH COMPLETED BY RANGEWAY LAND SURVEY AND DESIGN 252 DANIEL PLUMMER ROAD GOFFSTOWN, NEW HAMPSHIRE 03045 PHONE: (603) 624-1602
- TOPOGRAPHIC INFORMATION IS BASED ON THE ACTUAL TOPOGRAPHIC AND LOCATION SURVEY BY BENCHMARK ENGINEERING, INC. IN MARCH 2012. ELEVATION DATE FROM PLANS OF RECORD
- PREDOMINANT SCS SOILS GROUP ON THIS LOT ARE WgB & WdA WINDSOR LOAMY SAND AS SHOWN ON THE SCS SOILS MAP FOR THE TOWN OF HUDSON, NEW HAMPSHIRE.
- THIS PROPERTY IS LOCATED OUTSIDE OF THE ESTABLISHED 100-YEAR FLOOD HAZARD ZONE AS SHOWN ON THE FEDERAL FLOOD INSURANCE MAPS (F.I.R.M.) FOR HUDSON, NH, COMMUNITY PANEL #33011C0658D (EFFECTIVE SEPTEMBER 25, 2009).
- LOCATIONS OF UTILITIES WERE COMPILED FROM THE FIELD SURVEY AND INFORMATION OF RECORD. THESE LOCATIONS ARE APPROXIMATE ONLY. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CALL DIG-SAFE AT 1 888 344-7233.
- THE PURPOSE OF THIS PLAN
 - TO SHOW THE EXISTING CONDITIONS ON TAX MAP 240 LOT 015
 - TO SHOW THE CHANGE OF USE PROPOSED FOR THE EXISTING BUILDING
- MINIMUM REQUIREMENTS:

LOT AREA	=	87,120	SQ. FT.
BUILDING SETBACKS:			
FRONT	=	50'	
SIDE/REAR	=	15'	
MINIMUM FRONTAGE	=	200'	
- EXISTING USE

INDUSTRIAL USE	=	12,000	SQ. FT.
OFFICE	=	6,000	SQ. FT.
- PROPOSED USE:

INDUSTRIAL	=	6,864	SQ. FT.
OFFICE	=	3,264	SQ. FT.
RETAIL	=	3,021	SQ. FT.
INDOOR GUN RANGE	=	4,851	SQ. FT.
TOTAL	=	18,000	SQ. FT.
- PARKING REQUIREMENTS:

INDUSTRIAL	=	1 SPACE/800 SF
6,864 SQ. FT. * 1 SPACE/800 SQ. FT.	=	11 SPACES
OFFICE	=	1 SPACE/300 SQ. FT.
3,264 SQ. FT. * 1 SPACE/300 SQ. FT.	=	11 SPACE
RETAIL	=	1 SPACE/200 SQ. FT.
3,021 SQ. FT. * 1 SPACE/200 SQ. FT.	=	15 SPACES
INDOOR GUN RANGE	=	12 RANGES
TOTAL REQUIRED PARKING	=	49 SPACES
TOTAL PARKING PROVIDED	=	53 SPACES
- OPEN SPACE CALCULATIONS (40% REQUIRED):

EXISTING: 39,560 SQ. FT. +/- GREEN SPACE/87,711 SQ. FT.	=	44%
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- THE BUILDING IS SERVICED BY THE MUNICIPAL WATER AND AN ON-SITE SEPTIC SYSTEM
- BENCHMARK DATA TAKEN DIRECTLY FROM PLAN REFERENCES
- ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD PRIOR TO INSTALLATION THEREOF.
- PLANNING BOARD WAIVERS

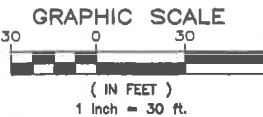
275-8.B.25	GREEN AREA
275-8.B.31	INTERIOR LANDSCAPING
275-8.B.31	SHADE TREES
275-9.A	STORMWATER REPORT
275-9.C	NOISE STUDY
275-9.D	FISCAL/ENVIRONMENTAL IMPACT STUDIES
CHECKLIST	BUILDING RENDERING
	STORMWATER DRAINAGE PLAN
	SOILS TYPE AND BOUNDARIES
- DRAINAGE DITCHES SHOWN ON THIS PLAN WERE MAN MADE AND ARE SHOWN ON THE ORIGINAL APPROVED PLANS (SEE PLAN REFERENCES). THESE DITCHLINES MAY BE MAINTAINED IN ACCORDANCE WITH NHDES ENV-WQ 303.05(q).

**CHANGE OF USE PLAN
TAX MAP 240 LOT 15
13 RIVER ROAD
HUDSON NEW HAMPSHIRE**

PREPARED FOR:
DESJARDINS REVOCABLE TRUST
PULPIT ROCK ROAD
PELHAM, NEW HAMPSHIRE 03076

SCALE: 1"=30' SHEET 2 OF 4 MAY 09, 2012

PB COMMENTS	7/12/2012
CLD COMMENTS/TOWN COMMENTS	6/14/2012
DRAIN DITCH NOTES	5/21/2012
REVISIONS	DATE



- SHEET 240 LOT 20-1
N/F JAMES COVELL
22A RIVER ROAD
HUDSON, NH 03051
ZONE: G1
- SHEET 240 LOT 20-2
N/F JANE M. VIGEANT TRUST
C/O LEONARD A VIGEANT, TRUSTEE
11 LILAC COURT
LITCHFIELD, NH 03052
ZONE: G1
- SHEET 240 LOT 19
N/F HYLAND REVOCABLE TRUST
C/O LOUISE S. HYLAND TRUSTEE
5 BOLIC STREET
NASHUA, NH 03060
ZONE: G1
- SHEET 240 LOT 18-1
N/F SANDRA MEAD & GLENN EMERSON
18A RIVER ROAD
HUDSON, NH 03051
ZONE: G1
- SHEET 240 LOT 18-2
N/F TREVOR REGIS & MELANIE CLOW
18B RIVER ROAD
HUDSON, NH 03051
ZONE: G1
- SHEET 240 LOT 17
N/F KIMBERLY SWANSON RESIDENTIAL SERVICES
100 INSTITUTE ROAD
WORCESTER, MASSACHUSETTS 01609
ZONE: G1
- TAX MAP 240 LOT 15
PROPERTY OWNER
THOMAS F. HEAD III REVOCABLE TRUST
C/O ENVIRONMENTAL INTERIORS
13 RIVER ROAD
HUDSON, NEW HAMPSHIRE 03051
HCRD BOOK 5636/PAGE 843
- PREPARED FOR
DESJARDINS REALTY TRUST
PULPIT ROCK ROAD
PELHAM, NEW HAMPSHIRE 03076
- PREPARED BY
BENCHMARK ENGINEERING, INC
1F COMMONS DRIVE, SUITE 39
LONDONDERRY, NEW HAMPSHIRE 03053
PHONE: 603-437-5000

FY2016 CIP

STAFF REPORT

September 24, 2014

ACTION RECOMMENDATION: At the August 27, 2014 Planning Board meeting final action on the FY2016 CIP was deferred, pending the BOS taking action on the Fire Department's CIP proposal, which calls for the construction of a new Central Fire Station. At Wednesday night's meeting, Selectman Maddox will report to the Planning Board on the progress concerning the Fire Dept's proposal.

In addition to the above, at the August 27th meeting, staff handed-out the attached 3 tables, which pertain to the financing part of the CIP's preparation. To this effect, staff, working with the Town Administrator, Steve Malizia, completed said tables, which are now ready for inclusion into the FY2016 CIP. After the board's review and acceptance of these tables, and if there are no further concerns with the DRAFT COPY of the FY2016 CIP, this document will/is ready for final action by the Planning Board in accordance with the below DRAFT MOTION.

DRAFT MOTIONS for the board's consideration:

Whereby the Town of Hudson Capital Improvements Committee (CIC) prepared the FY2016 Capital Improvements Program (CIP) in accordance with the provisions of RSA 674:5 – 674:8, I move to forward said CIP to the Board of Selectmen and Budget Committee for their consideration in preparing the capital improvements portion of the Town's FY2016 Budget.

Motion by: _____ Second: _____ Carried/Failed: _____.

I move to defer further review of the FY2016 CIP, date specific, to the October 22, 2014 Meeting.

Motion by: _____ Second: _____ Carried/Failed: _____

Town of Hudson, NH
Capital Improvement Plan FY 2016
Debt Schedule

	FY16	FY17	FY18	FY19
Current Lease/Purchase Payments	43,999	35,795	-	-
Current Outstanding Town Bonds	\$0	\$0	\$0	\$0
Current Total Town Debt				
Current Debt Service on Town Tax Rate	\$0.02	\$0.01	\$0.00	\$0.00
Capital Spending Tax Rate	\$0.98	\$0.99	\$1.00	\$1.00
Available Tax Rate for Capital Projects	<u>\$1.00</u>	<u>\$1.00</u>	<u>\$1.00</u>	<u>\$1.00</u>
Available Budget for Capital Projects	\$2,509,373	\$2,534,979	\$2,560,585	\$2,560,585

The above chart details the available annual budget for capital projects if \$1.00 of the Town tax rate were reserved for capital projects. The chart takes into account current outstanding debt obligations.

SAMPLE BOND TAX RATE IMPACTS	per \$1,000
\$1,000,000 Bond (10 yr Repayment)	\$0.05
\$2,000,000 Bond (10 yr Repayment)	\$0.10
\$3,000,000 Bond (10 yr Repayment)	\$0.15
\$4,000,000 Bond (10 yr Repayment)	\$0.20

**Capital Improvement Plan FY 2016
Impact Account Balances**

<u>Account</u>	<u>As of 6-30-14 Balance</u>	<u>Committed</u>	<u>Available</u>
<u>CORRIDOR ACCOUNTS</u>			
2070-086 Route 111	\$371,396	\$0	\$371,396
2070-090 Lowell Rd (Route 3A)	\$98,629	\$0	\$98,629
2070-091 Route 102	\$426,873	\$0	\$426,873
<u>IMPACT FEES</u>			
2080-051 School Impact Fees	\$129,980	\$0	\$129,980
<u>OTHER FEES</u>			
2050-182 Recreation Fees	\$49,683	\$0	\$49,683
2050-113 Shepherd's Hill/Benson Fees	\$3,978	\$0	\$3,978
2050-053 Sidewalks	\$30,063.03	\$0	\$30,063.03
2050-183 Elm Ave/Webster St Improvement	\$7,764.23	\$0	\$7,764.23
2050-190 Alvirne Varsity Hockey Program	\$15,746.23	\$0	\$15,746.23

2050-564 Walgreens 102 Offsite Improvement	\$7,063.11	\$0	\$7,063.11
2050-576 Reeds Ferry Rte 102 Offsite Improvements	\$7,070.85	\$0	\$7,070.85
2050-807 Oak Ridge (Belknap Rd Improvements)	\$16,520.01	\$0	\$16,520.01