



**TOWN OF HUDSON
PLANNING BOARD
PUBLIC MEETING
TOWN OF HUDSON, NH
MAY 14, 2014**

12 School Street

Hudson, New Hampshire 03051

603/886-6005



The Town of Hudson Planning Board will hold a regularly scheduled meeting on Wednesday, May 14, 2014 at 7:00 p.m. in the "Buxton Community Development Conference Room" at Town Hall. The following items will be on the agenda:

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES
- V. MINUTES OF PREVIOUS MEETING(S)
- VI. CASES REQUESTED FOR DEFERRAL
- VII. CORRESPONDENCE
- VIII. PERFORMANCE SURETIES
- IX. ZBA INPUT ONLY
- X. PUBLIC HEARINGS

- XI. OLD BUSINESS/PUBLIC HEARINGS

- A. Goodwill Industries of Northern N.E.
SP# 03-14

Lowell/Wason Road
Map 222/Lot 041

Purpose of plan: To convert the existing Stop & Shop Supermarket facility into a Goodwill Retail Store and shipping/receiving center. Hearing. Deferred Date Specific from the 04-09-14 Planning Board Meeting.

- XII. DESIGN REVIEW PHASE
- XIII. CONCEPTUAL REVIEW ONLY

- XIV. NEW BUSINESS/PUBLIC HEARINGS

- A. Prime Motor Group Site Plan
SP# 06-14

201 Lowell Road
Map 216/Lot 011

Purpose of plan: Site development for expanded vehicle display area. Application Acceptance & Hearing.

B. 141 & 137 Belknap Road LLR
SB# 03-14

141 & 137 Belknap Rd
Map 184/Lots 26 & 27

Purpose of plan: To relocate lot line between lot 26 & lot 27 on Belknap Road. No development proposed at this time. Application Acceptance & Hearing.

C. 4 Candy Lane Site Plan (Extension)
SP# 07-14

4 Candy Lane
Map 101/Lot 027

Purpose of plan: Remove the existing paved parking area and construct a 25,000 square foot commercial building and associated site improvements. Application Acceptance & Hearing. (Request for Extension) Approved 07-24-13.

XV. OTHER BUSINESS
XVI. ADJOURNMENT

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting.

The public is invited to attend.



John M. Cashell
Town Planner

POSTED: Town Hall, Library, Post Office – 05-02-14

Goodwill Industries of Northern N.E. Site Plan

STAFF REPORT

May 14, 2014

SITE: Lowell/Wason Road -- Map 222/Lot 041 -- SP# 03-14

ZONING: Business (B)

PURPOSE OF PLAN: To convert the existing Stop & Shop Supermarket facility into a Goodwill Retail Store and shipping/receiving center. Hearing. Deferred Date Specific from the 04-09-14 Planning Board Meeting.

PLAN UNDER REVIEW ENTITLED: Amended Site Plan Goodwill Industries Map 222 Lot 41, 9 Wason Road, Hudson, NH, prepared by Keach-Nordstrom Associates, Inc., dated: Feb. 5, 2014, latest revision date: April 16, 2014, consisting of Sheets 1 - 11 and Notes 1 - 30 (said plans are attached hereto).

ATTACHMENTS:

- 1) Keach-Nordstrom's Response Letter, RE: CLD's Initial Comments Report, dated 5/5/14 - "A".
- 2) Waiver Request Form, RE: HTC 275-9(A) - Stormwater Management - "B".

ATTACHMENTS INCLUDED IN THE APRIL 9, 2014 MEETING PACKETS:

- 1) Project Narrative, Site Plan Application, Checklist and Waiver Forms, including an aerial site photo date stamped Mar. 07, 2014 - Attachment "A".
- 2) Keach-Nordstrom's Traffic Impact Analysis, dated March 4, 2014 - "B".
- 3) Keach-Nordstrom's Stormwater Management Analysis, dated March 3, 2014 - "C".
- 4) Comments/Memos from Zoning Administrator, Bill Oleksak, HFD Deputy Fire Chief, John O'Brien, and Asst. Assessor, Jim Michaud - ps - "D".
- 5) CLD's Initial Comments Report, dated Apr. 3, 2014 - "E".

REQUESTED WAIVERS:

- 1) HTC 275-9(A) - Stormwater Management
- 2) HTC 275-9(C) -- Noise Study
- 3) HTC 275-9(D) -- Fiscal/Environmental Impact Study (Approved at the 04/09/14 Meeting)

STAFF COMMENTS/OUTSTANDING ISSUES:

Resulting from the initial public hearing held on April 9, 2014 were the following issues:

- 1) The board requested that the applicant consider eliminating the parking spaces along the east border of the parking lot. **Status:** the subject spaces have not been eliminated.

However, the applicant shows on the revised plans (Sheets 4 & 7) an alternative to said elimination, i.e., the following sound attenuation/visual screening site enhancements:

- (i) The number of subject parking spaces has been reduced from 27 down to 21;
- (ii) Trees and landscaping, measuring 60 ft., have replaced the 6 eliminated parking spaces, and
- (iii) A 6 ft. in-height, cedar-colored vinyl clad fence, 150 ft. in-length, has been added along the southeast portion of the subject parking area.

NOTE: The above-cited enhancements, together with the existing 200 ft.(+) wide heavily vegetated wetland provide a substantial buffer for the abutting residents, which include the closest dwelling being over 230 ft. from the subject parking spaces, and two dwellings nearest, thereto, being over 400 ft. from the subject parking area.

- 2) Reduce the width of the 1-way ingress driveway off Wason Rd., i.e., the westernmost driveway. **Status:** per the board's request at the 04/09/14 meeting, the subject driveway has been narrowed and modified, especially in regard to the onsite route of travel leading to the loading dock area. Please see Sheet 4 of the revised plans, and compare the aforementioned improvements with Sheet 4 of the original plan dated Feb. 5, 2014 (no revision date).
- 3) Add elevated median along Wason Rd. **Status:** this improvement feature has been added on the attached revised plans. Please see Sheet 4 of 11.
- 4) No outside storage of anything outside of the dumpsters and the trailers being loaded for transport. **Status:** this issue has been addressed, i.e., please see Note 28 on the Master Sheet 1 of 11.
- 5) Provided additional landscaping along the west side of the parking lot, re: to screen loading area located on the southwest side of the building. **Status:** 6 spaces 21 now were 27.
- 6) Please read through Keach-Nordstrom's response letter, dated May 5, 2014 – "A" - for the status of additional outstanding issues, i.e., stormwater mgt., which the applicant now requests a waiver for.
- 7) Note 25 on Sheet 1 shall be amended prior to endorsement of the Plan, relative to citing "30" notes on the Plan instead of "25".
- 8) Match hours of operation concerning Warehousing, Refuse Removal and Truck Loading and Unloading to the proposed "Retail Hrs. of Operation". Please see Notes 18, 26 & 27 on Sheet 1.

RECOMMENDATION: Taking the abovementioned outstanding issues/comments into consideration, for Wednesday night's 2d public hearing staff recommends:

- (i) Open and conduct the public hearing;

- (ii) Allow the applicant to present the above-cited modifications, including those cited in Keach-Nordstrom's attached response letter – "A".
- (iii) Hear any additional pro/con public input, and
- (iv) If the board moves to approve the remaining 2 waivers and/or the application, staff has provided below the appropriate DRAFT MOTIONS.

APPLICATION TRACKING:

- 03/07/2014 – Site Plan application submitted;
- 04/09/2014 - Initial public hearing conducted, application accepted and the hearing deferred date specific to the 05/14/14 meeting. .

DRAFT MOTIONS:

I move to defer further review of the Goodwill Industries Site Plan application, 9 Wason Rd., Map 222/Lot 041, date specific, to the May 28, 2014 meeting.

Motion by: _____ Second: _____ Carried/Failed: _____.

REQUESTED WAIVERS:

1. HTC 275-9(A) – Stormwater Management
2. HTC 275-9(C) -- Noise Study
3. HTC 275-9(D) -- Fiscal/Environmental Impact Study (**APPROVED 04/09/14**)

1) HTC 275-9C – Noise Study

I move to grant the requested waiver: HTC 275-9C - Noise Study - because such a study is unnecessary, taking into consideration that the majority of the commercial activities associated with the proposed use shall be conducted inside the subject building, thus reducing the noise impact upon abutting properties, which are primarily existing commercial uses, and as such, the granting of this waiver is not contrary to the spirit and intent of the Site Plan Review regulations.

Motion by: _____ Second: _____ Carried/Failed: _____.

2) HTC 275-9(A) – Stormwater Management

I move to grant the requested waiver: HTC 275-9(A) – Stormwater Management - because: (i) a full stormwater management report and analysis was approved for the previous use (i.e., Stop & Shop, Inc.) , (ii) as reported by the applicant, all stormwater infrastructure called for in the previously approved Site Plan was completed and properly maintained since implementation, and (iii) the new use calls for a reduction in onsite impervious surface, resulting in less stormwater outflow, and as such, the granting of this waiver is not contrary to the spirit and intent of the Planning Board's Land Use regulations, as same pertains to best stormwater management practices and infrastructure improvements required thereof.

Motion by: _____ Second: _____ Carried/Failed: _____.

MOTION to APPROVE:

I move to grant approval for the Site Plan entitled: Amended Site Plan Goodwill Industries Map 222 Lot 41, 9 Wason Road, Hudson, NH, prepared by Keach-Nordstrom Associates, Inc., dated: Feb. 5, 2014, latest revision date April 16, 2014, consisting of Sheets 1 - 11 and Notes 1 – 30 in accordance with the following terms and conditions:

- 1) All stipulations of approval shall be incorporated into the Development Agreement,
 - a. which shall be recorded at the HCRD, together with the Site Plan-of-Record (hereinafter referred to as the Plan).
- 2) Prior to the Planning Board endorsement of the Plan, the Development Agreement and the future road widening easements along Lowell Rd and Wason Rd. shall be favorably reviewed and recommended on by Town Counsel.
- 3) All improvements shown on the Plan, including Notes 1-30, shall be completed in their entirety and at the expense of the Applicant or his assigns.
- 4) After the issuance of the foundation permit for the proposed addition, and prior to the issuance of the framing permit thereof, the applicant shall submit to the Hudson Community Development Department a foundation "As- Built" plan on a transparency and to the same scale as the approved site plan. The foundation "As-Built" plan shall include all structural dimensions and lot line setback measurements to the foundation and be stamped by a licensed land surveyor. Any discrepancy between the approved site plan and foundation "As-Built" plans shall be documented by the applicant and be part of the foundation "As-Built" submission.
- 5) Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Community Development Department, confirming that the site conforms with the Planning Board approved Plan.
- 6) Onsite landscaping shall be provided for in accordance with the plant and tree species specified on Sheet 7 of 11 of the Plan.
- 7) Exterior construction activities on the site shall be limited to between 7:00 A.M. and 7:00 P.M. Monday through Saturday. No construction activities shall occur on Sunday.
- 8) This approval shall be subject to final engineering review.
- 9) Note 25 on Sheet 1 shall be amended prior to endorsement of the Plan, relative to citing "30" notes on the Plan instead of "25".

Motion by: _____ Second: _____ Carried/Failed: _____

"A"

May 5, 2014

Mr. John Cashell, Town Planner
Town of Hudson – Planning Department
12 School Street
Hudson, New Hampshire 03051



Subject: **Goodwill Industries – Amended Site Plan: Map 222, Lot 41
Wason Road, Hudson, New Hampshire
KNA Project No. 13-1216-2**

Dear Mr. Cashell,

On behalf of Goodwill Industries of Northern New England, Keach-Nordstrom Associates, Inc. respectfully submits the following response letter and revised project plans in association with the municipal engineering review letter prepared by CLD Consulting Engineers, dated April 3, 2014. Below we have listed the comments as written and have provided brief responses to aid in your re-review of the same.

- 1. Site Plan Review Codes
 - a. Hudson Regulations (HR) 275-8.B. (17) The applicant has shown one temporary benchmark on the plan set. Reference to a USGS benchmark was not provided. The applicant has noted the horizontal datum as Magnetic 2008 and the vertical datum as NGVD29.

The USGS benchmark reference has been added to the Existing Conditions plan.

- b. HR 275-9.A. See comments below.

No response required.

- c. HR 275-9.B. See comments below.

No response required.

- d. HR 275-9.C. The applicant has noted on the plan set that a waiver from the Noise Study requirement is requested.

No comment necessary.

- e. HR 275-9.D. The applicant has noted on the plan set that a waiver from the Fiscal and Environmental Impact Study requirement is requested.

No comment necessary.

f. HR 275-9.E. See comments below.

No response required.

g. HR 275-9.F. Copies of deeds or easements were not received for review. The applicant has shown several existing easements on the plans including an existing sewer easement, an existing "100' Buffer" easement, an existing drainage easement and an existing "R.O.W." easement.

A copy of the subject parcel deed (Map 222, Lot 41), along with recorded plans depicting the sewer, 100' buffer, drainage, and R.O.W. easements are included with the resubmission materials.

h. HR 275-9.G. See comments below.

No response required.

2. Driveway Review Codes (HR 275-8.B. (34)/Chapter 193) Traffic Review

a. HR 275-9.B. The applicant has provided a Traffic Impact Analysis Letter (TIAL) dated March 4, 2014. The TIAL concludes that the traffic generation from the previous supermarket use far exceeds what the expected generation from the proposed Goodwill use will be. While we may not necessarily agree that the ITE land use codes used in the analysis are representative of the proposed uses, intuitively, the differences in total trips are likely of a similar order-of-magnitude to the information presented. As such, we concur with that finding of the TIAL. No further CLD comment.

No response required.

b. HR 193-10.E. We were unable to find sight distance information on the plan set for the driveways.

Sight distance information has been added to the Master Site Plan, as taken from reference plan. Recall the plans for the Stop & Shop were approved in 2002. The proposed Site Plan Amendment does not propose any modification to the existing full access driveway.

c. The applicant has noted that the angle of the existing right turn in 'slip' ramp is being altered to facilitate truck traffic to the new loading area on the east side of the building. This will likely encourage higher entry speeds for all traffic, including trucks. The applicant states in the TIAL that only eight tractor trailer trips per day are expected to enter and exit the site on a daily basis. Given that the passenger car traffic will far exceed the amount of truck traffic, the applicant should reconsider altering this entry angle to accommodate only eight entering trucks. The previous supermarket use likely had a comparable amount, if not more, of daily truck traffic yet these vehicles used the main entry drive to access their loading area.

The right-slip modifications to accommodate large delivery vehicles is proposed due to the location of the proposed building. The addition will house large compactors and roll off dumpsters requiring pickup and drop off. As well, the addition will accommodate traditional loading space. In order to ease concern regarding exiting traffic's use of the right-slip, the applicant is proposing to extend an existing median strip beyond the right-slip, restricting left exits. In order to ease concern regarding the speed of entering traffic we have proposed a stop condition at the end of the right-slip lane.

- d. It is unclear what the intended traffic pattern is for the new truck entry drive. A 40-foot-wide area is provided with a 26-foot lane and a 14-foot lane separated by a solid white line. This solid line is aligned with the edge of the travel way from the slip ramp, which implies it is an edge line. In that case, what is the proposed use of the 14-foot lane? Is this section intended for 2-way traffic?

Directional arrows have been added to the plans to clarify the intended traffic pattern for the new entry drive. As well, the 14-foot lane has been removed and replaced with additional landscaping.

- e. All stop bars, words and symbols should be repainted. This includes the Stop bars/symbols on either side of the slip ramp drive, the stop condition at the east end of the site near the exit, as well as the lane markings at the main exit drive.

A note has been added to Sheet 1 stating that all stop bars, words, and symbols are to be repainted.

- f. Two 'Do Not Enter' signs should be provided at the end of the slip ramp facing the parking field so that vehicles do not try to use this ramp as an exit.

Two 'Do Not Enter' signs are proposed at the end of the slip ramp.

- g. The proposed Directory sign is providing a lot of information right at the decision point for the driver at the end of the slip ramp. A detail should be provided in the plans showing the size of the sign as well as proposed lettering, should the truck lane be approved as currently shown.

A detail of the proposed directory sign will be provided to the Code Enforcement Officer for review and approval prior to construction. We have not been given details for the plan, nor has the sign been designed. The applicant's will pursue a sign design following plan approval.

- h. The EB Stop sign (and Stop bar) at the slip ramp is positioned so as to not obscure the visibility of the proposed directory sign. However, it should be noted that if a car is stopped there, they could interfere with the circulation within the adjacent parking aisle.

By adding the stop condition at the end of the right-slip entrance, we are affording patrons additional time to review the content of the directory sign prior to turning left, right, or staying straight.

- i. A 'No Left Turn' sign should be considered on Wason Road facing WB traffic near the slip ramp.

A 'No Left Turn' sign is proposed on Wason Road to discourage the use of the slip ramp as an exit.

- j. The applicant should clarify as to why the crosswalk from the handicapped-accessible parking spaces at the front of the building is aligned at an angle. We are unable to tell if the intent is to match to an existing curb ramp. We strongly recommend that the crosswalk be provided at an angle to give the shortest crossing path.

The existing cross walk (to remain) is aligned at an angle so that patrons are directed to the existing concrete handicap ramp in front of the building entrance.

- k. The applicant should clarify the existing and proposed grading schematic/spot grades at the westerly drive to be reconstructed.

We have added a note in this location explaining to contractors that existing grade shall be matched at the sawcut line.

- l. The applicant should confirm that the existing guardrail is in satisfactory condition, approximately located and is adequately protective based upon 2014 standards.

The existing guardrail onsite consists of wood posts and metal rail and is in healthy condition. It is in place to prevent cars from driving off the edge of the parking field into the existing stormwater pond. The guardrail along Wason Road consists of wood posts and wood rail. It is in poor condition, and is broken in several spots, probably due to snow removal activity within the Lowell Road/Wason Road intersection. During a recent site meeting with the Hudson Road Agent, we were asked to simply remove the existing guardrail, as it seems unnecessary in this location.

3. Utility Design/Conflicts (HR 275-9.E.)
 - a. The applicant has not shown how electric or telephone services are connected to the building but has shown the electric meter on the building.

Approximate locations of the electric and telephone lines, taken from plan reference #2 on Sheet 1, have been added to the plan.

- b. Although we believe that the proposed use is less intensive than the former use, we did not find proposed water or sewer usage calculated in the packages received for review.

We agree that the proposed use will be less intense than the previous use of water and sewer. The applicant will provide anticipated use calculations to the Engineering Department prior to the Town's issuance of a Certificate of Occupancy, as is typical.

- c. The applicant should demonstrate that appropriate vertical separation exists between the existing water and sewer crossings.

We have contacted Gary Webster from the Hudson Engineering Department, who was onsite during installation of sewer and water at the subject property. He confirmed that a minimum of 18" of vertical separation between sewer and water was maintained.

4. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)
 - a. HR 275-9.A. (1) and (4) and HR 290-4.A. (10) The applicant has not supplied stormwater engineering calculations for relevant design storms as required by the Regulations. We suggest that the applicant request waivers from all appropriate Stormwater Regulations. The applicant's Stormwater Management Analysis utilizes the concept of "reduce impervious and increase green-space" but according to Town of Hudson Regulations, drainage calculations are required to illustrate, "all drainage shall be designed to achieve a zero increase in runoff for both peak and volume." Since the applicant has indicated that the pond adjacent to Wason Road will receive some additional area, we do recommend that the applicant provide a basic calculation demonstrating that water levels in the pond will not increase and that additional erosion protection (e.g. riprap) is not necessary.

A waiver request from the stormwater regulations is attached to this resubmittal, however it remains our opinion that a waiver is not necessary because the proposed site plan amendment clearly reduces impervious cover, increases onsite green area, and thereby reduces the peak rate of stormwater discharge offsite.

Relative to the existing above ground detention pond, we have chosen to modify the proposed site grading plan so as to maintain existing drainage patterns from the pre-development scenario, rather than to increase the flow to the above ground pond as previously proposed. You will note that the revised Grading and Drainage plan proposes to replace the DMH#1 with proposed CB#1. As well, the grading within the landscape area at the southwest corner of the building expansion has been modified to direct stormwater toward CB#1, rather than overland toward the above ground pond. Now, the stormwater within this area is directed via hard pipe to the subsurface detention pond, which is reaping the benefits of the reduced impervious cover and thereby mitigating less stormwater.

- b. HR 290-4.C. (1) and (2)(m) The applicant should further analyze the need for additional erosion control BMPs including, but not limited to, a construction entrance and protective measures for the southwest corner of the site. The operation and maintenance schedule of all proposed BMPs should also be provided within the submission.

Silt fence has been added to the southwest corner of the site. We do not believe a construction exit is required because the existing property is substantially paved and will provide adequate truck cleaning prior to exiting the site onto Wason Road.

- c. HR 290-5B. (1)(u) and (v) The applicant has shown a very small snow storage area on an interior landscaped island and has noted that excess snow will be moved from the site. We suggest that the note be expanded to emphasize that snow will not be stored in the wetlands buffer or where it will block sight distance.

Note #21 on Sheet 1 has been expanded to explain that no snow will be stored in the wetland buffer or where it could block sight distance.

5. Erosion Control/Wetland Impacts

- HR 290-5.B.(1) (m) The applicant should show a temporary stockpile area and detail for pavement to be removed.

A temporary staging and stockpile area has been added to the grading, drainage, and erosion control plan. A detail for pavement to be removed has been added to the plan set.

6. Landscaping (HR 275-8B (31))

- HR 275-8.B(31)(d) The applicant has met (exceeded) the tree requirement. The applicant has noted that the existing shrubs are covered by snow. We suggest that a note be added to the plan indicating a commitment from the applicant to provide a definitive number of shrubs through either all existing or to be supplemented if necessary.

Since the snow onsite has melted, we have visited the site and have counted existing shrubbery. The Landscape Plan has been revised to indicate the results of our field work.

7. State and Local Permits (HR 275-9.G.)

- Additional local permitting may be required.

No response required.

8. Other

- a. HR 275-8.B. (35) The applicant should expand the note regarding American with Disabilities Act (ADA) compliance to include the date of the Regulations used and remove the limitation that the compliance evaluation is solely limited to dimension and grade. An ADA sidewalk ramp detail should be provided for the sidewalk modification at the westerly entrance driveway. Lastly, the applicant should provide additional detail for the westerly building entrance, showing clearly the intent or not for a flush entrance.

Note # 15 on Sheet 1 has been revised to include the date of the Regulations used and to remove the limitation that the compliance evaluation is solely limited to dimension and grade. Construction details for an ADA sidewalk ramp and westerly building entrance have been added to the plan set.

- b. A lighting plan was not provided. Two light poles are proposed to be relocated. No lighting details were provided.

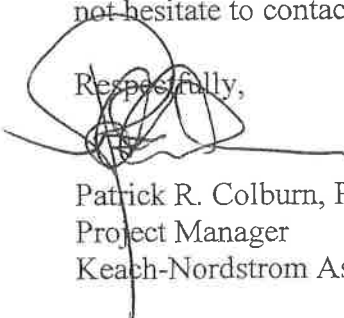
We have provided a light pole base installation detail within the revised plans set.

- c. The applicant should provide additional detail for the proposed cast-in-place retaining walls to be designed by others. At a minimum, top and bottom of wall elevations should be more clearly labeled, and the intent or not to have "behind the wall" drainage should be shown or labeled.

Top and bottom elevations for the proposed cast-in-place retaining walls have been added to the plans. Prior to construction, stamped structural plans for the proposed walls will be submitted to the Building Department for review and approval.

We trust the content of this letter and its attachments will serve to address the engineering review comments listed above. Should you have any questions or require further information, please do not hesitate to contact our office.

Respectfully,



Patrick R. Colburn, PE
Project Manager
Keach-Nordstrom Associates, Inc.

"B"

SUBDIVISION/SITE PLAN WAIVER REQUEST FORM

Name of Subdivision/Site Plan: Goodwill - Hudson

Street Address: 9 Wason Road, Hudson, New Hampshire 03051

I Anthony Basso hereby request that the Planning Board waive the requirements of item HTC 275-9A of the Subdivision/Site Plan Checklist in reference to a plan presented by Keach-Nordstrom Associates, Inc. (name of surveyor and engineer) dated February 5, 2014 for property Tax Map(s) 222 and Lot(s) 41 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

A stormwater management letter report was prepared by this office and presented for review. The report is limited in scope because the proposed site plan amendment greatly reduces onsite impervious surface area and increases onsite green space and landscaping. A full stormwater management report and analysis will pose an unnecessary burden on the applicant. A report was prepared and approved for this site when the previous applicant came forward with plans for the Stop & Shop grocery store.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

This waiver request is not violating the spirit and intent of the ordinance due to the fact that the proposed site plan amendment reduces the amount of stormwater leaving the site and entering the Town's MS4. A full report of the onsite stormwater treatment and mitigation strategies was prepared during the design of the previous Stop & Shop use. This amendment maintains those existing stormwater management strategies and is therefore in keeping with the spirit and intent of the ordinance.

Signed:  For AMB
Applicant or Authorized Agent

Planning Board Action:
Waiver Granted: _____
Waiver Not Granted: _____



VICINITY PLAN
NOT TO SCALE



VICINITY MAP
SCALE: 1" = 1,000'

AMENDED SITE PLAN

GOODWILL INDUSTRIES

MAP 222; LOT 41

9 WASON ROAD

HUDSON, NEW HAMPSHIRE

OWNER:
 MANUEL D. SOUSA ET AL
 c/o STOP & SHOP SUPERMARKET CO.
 1385 HANCOCK STREET
 QUINCY, MASSACHUSETTS 02169

APPLICANT:
 GOODWILL INDUSTRIES OF NORTHERN NEW ENGLAND
 75 WASHINGTON AVENUE
 PORTLAND, MAINE 04101

PREPARED BY:
 KEACH-NORDSTROM ASSOCIATES, INC.
 10 COMMERCE PARK NORTH, SUITE 3B
 BEDFORD, NEW HAMPSHIRE 03110
 (603) 627-2881

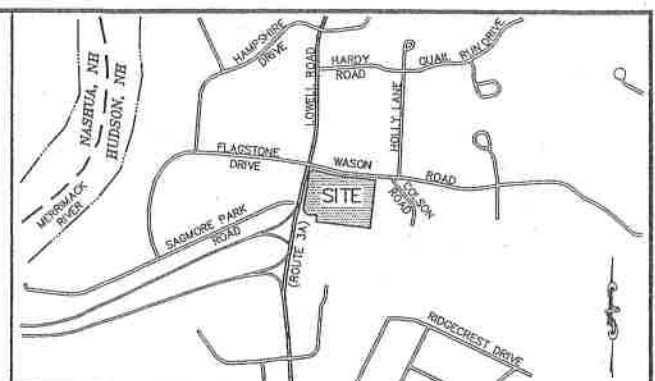
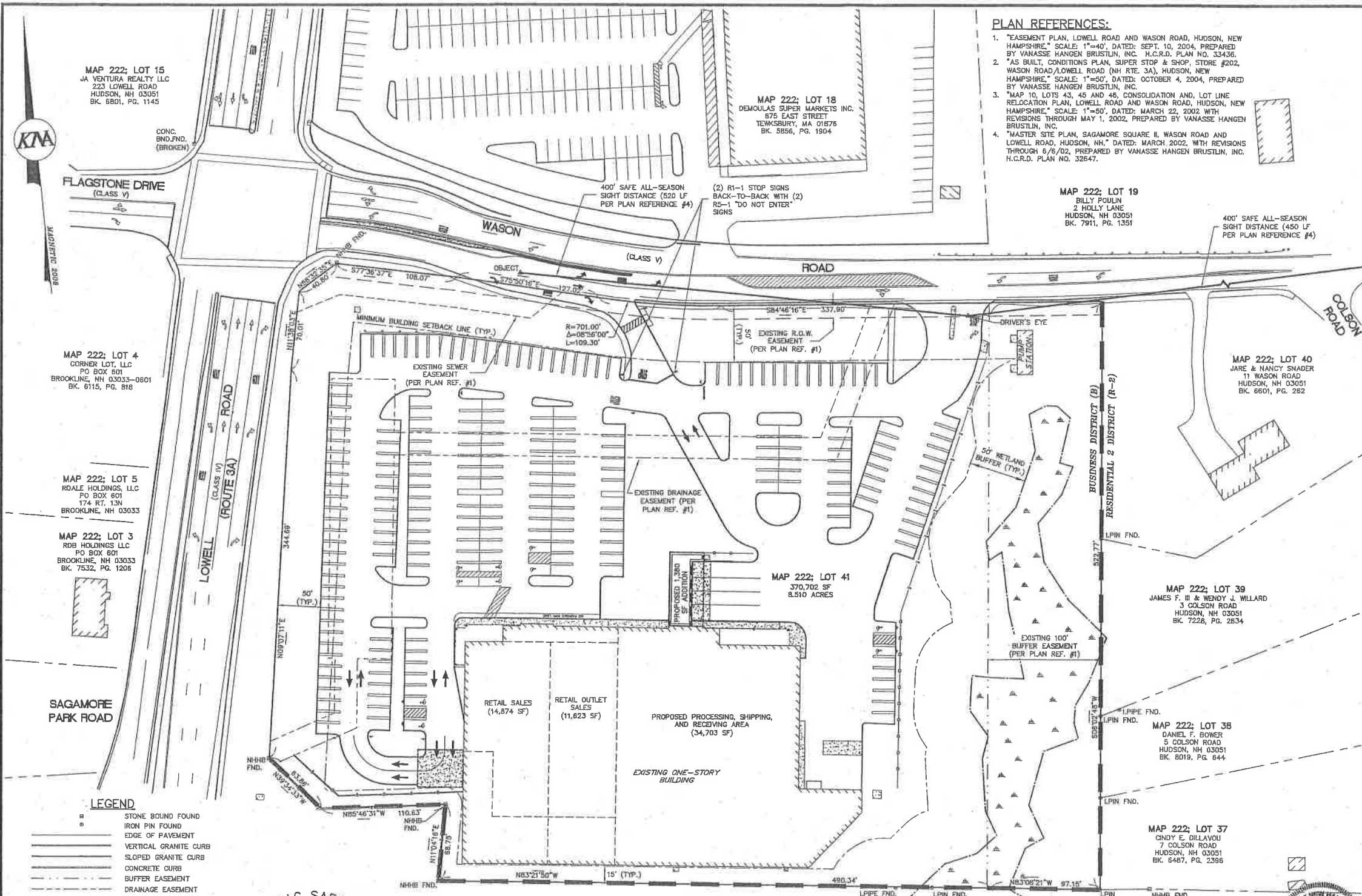


KN KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

FEBRUARY 5, 2014
 LAST REVISED: APRIL 16, 2014
 PROJECT NO. 13-1216-2

<u>SHEET TITLE</u>	<u>SHEET No.</u>
MASTER PLAN	1
EXISTING CONDITIONS PLAN	2
REMOVALS/DEMOLITION PLAN	3
NON-RESIDENTIAL SITE LAYOUT PLAN	4
GRADING, DRAINAGE, AND EROSION CONTROL PLAN	5
UTILITY PLAN	6
LANDSCAPE PLAN	7
CONSTRUCTION DETAILS	8 - 11

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HERIN EXPIRES ONE YEAR FROM DATE OF APPROVAL	APPROVED BY THE HUDSON, NH PLANNING BOARD DATE OF MEETING: _____ SIGNATURE _____ DATE _____ SIGNATURE _____ DATE _____ SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.
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- PLAN REFERENCES:**
- "EASEMENT PLAN, LOWELL ROAD AND WASON ROAD, HUDSON, NEW HAMPSHIRE" SCALE: 1"=40', DATED: SEPT. 10, 2004, PREPARED BY VANASSE HANGEN BRUSTLIN, INC. H.C.R.D. PLAN NO. 33436.
 - "AS BUILT, CONDITIONS PLAN, SUPER STOP & SHOP, STORE #202, WASON ROAD/LOWELL ROAD (NH RTE. 3A), HUDSON, NEW HAMPSHIRE" SCALE: 1"=50', DATED: OCTOBER 4, 2004, PREPARED BY VANASSE HANGEN BRUSTLIN, INC.
 - "MAP 10, LOTS 43, 45 AND 46, CONSOLIDATION AND, LOT LINE RELOCATION PLAN, LOWELL ROAD AND WASON ROAD, HUDSON, NEW HAMPSHIRE" SCALE: 1"=50', DATED: MARCH 22, 2002 WITH REVISIONS THROUGH MAY 1, 2002, PREPARED BY VANASSE HANGEN BRUSTLIN, INC.
 - "MASTER SITE PLAN, SAGAMORE SQUARE II, WASON ROAD AND LOWELL ROAD, HUDSON, NH," DATED: MARCH 2002, WITH REVISIONS THROUGH 6/6/02, PREPARED BY VANASSE HANGEN BRUSTLIN, INC. H.C.R.D. PLAN NO. 32647.

- GENERAL NOTES:**
SCALE: 1" = 1,000'
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE CONVERSION OF AN EXISTING STOP & SHOP SUPERMARKET INTO GOODWILL RETAIL STORE WITH ASSOCIATED SITE IMPROVEMENTS ON LOT 41 ON THE TOWN OF HUDSON TAX MAP 222.
 - TOTAL SITE AREA: 370,702 SF, OR 8.510 ACRES
 - MAP 222; LOT 41 INDICATES TOWN OF HUDSON TAX ASSESSORS MAP AND LOT NUMBER.
 - PRESENT OWNER OF RECORD:
MANUEL D. SOUSA ET. AL
c/o STOP & SHOP SUPERMARKET
1385 HANCOCK STREET
QUINCY, MA 02169
H.C.R.D. BK. 7178; PG. 233
 - PRESENT ZONING: BUSINESS (B)
MINIMUM LOT REQUIREMENTS:
- LOT AREA: 30,000 SF (WITH TOWN WATER AND SEWER)
- LOT FRONTAGE: 150 FT (ARTERIAL/COLLECTOR)
MINIMUM BUILDING SETBACKS: (ARTERIAL/COLLECTOR)
- FRONT: 50 FT
- SIDE: 15 FT
- REAR: 15 FT
 - SITE IS SERVICED BY MUNICIPAL WATER AND SEWER.
 - PARKING:
SORTING/PROCESSING/SHIPPING/RECEIVING:
1 SPACE/600 SF = 38,083 SF/600 = 60.1 SPACES REQUIRED
RETAIL: 1 SPACE/200 SF = 26,487 SF/200 = 132.5 SPACES REQUIRED
TOTAL SPACES REQUIRED = 192.6 = 193 SPACES REQUIRED
TOTAL SPACES PROVIDED = 241 SPACES (INCLUDES 10 HANDICAP SPACES)
 - LOADING:
REQUIRED: 1 SPACE FOR FIRST 5,000 SF + 1 SPACE FOR EACH ADDITIONAL 10,000 SF (62,580 SF) = 1 + 5.76 = 7 SPACES REQUIRED
3 EXISTING AND 4 PROPOSED = 7 TOTAL LOADING SPACES PROVIDED
 - OPEN SPACE:
REQUIRED: 35%
EXISTING: 39.8%
PROPOSED: 42.7%
 - BOUNDARY AND TOPOGRAPHIC INFORMATION DEPICTED ON THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN JANUARY AND FEBRUARY 2014.
 - WETLAND MAPPING PERFORMED BY PETER SCHAUER OF SCHAUER ENVIRONMENTAL CONSULTANTS, LLC ON APRIL 10, 2014.
 - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 3301C0650, PANEL NUMBER 656 OF 701, EFFECTIVE DATE: SEPTEMBER 25, 2009 INDICATES THAT THE SUBJECT PREMISES IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
 - SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
 - SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH 2010 TITLE III OF THE AMERICANS WITH DISABILITIES ACT.
 - IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
 - GOODWILL'S BUSINESS MODEL IS SUCH THAT ALL OF THEIR DONATIONS ARE SOLD EITHER FOR RETAIL PRICES, OUTLET PRICES, OR COMMODITY, THEREFORE, THEY DO NOT USE TRADITIONAL DUMPSTERS. ALL GOODS AND WASTE IS RECYCLED AND HAULED AWAY BY CASSELLA WASTE IN CONTAINERS.
 - THE RETAIL STORE WILL BE OPEN MONDAY THROUGH SATURDAY 8AM-9PM AND SUNDAY 8AM-6PM.
 - EXTERIOR CONSTRUCTION ACTIVITIES ON THE SITE SHALL BE LIMITED TO BETWEEN 7:00 AM AND 7:00 PM MONDAY THROUGH SATURDAY. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS.
 - WAIVERS REQUESTED:
275-9(A) - STORMWATER MANAGEMENT
275-9(C) - NOISE STUDY
275-9(D) - FISCAL/ENVIRONMENTAL IMPACT
 - FLOWED SNOW FROM THE FACILITIES, DRIVEWAY, PARKING LOTS AND SIDEWALK SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS. NO SNOW WILL BE STORED IN THE WETLAND AND BUFFER OR WHERE IT COULD BLOCK SIGHT DISTANCE.
 - IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAINING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON WEEKENDS.

MAP 222; LOT 15
JA VENTURA REALTY LLC
223 LOWELL ROAD
HUDSON, NH 03051
BK. 6801, PG. 1145

MAP 222; LOT 18
DEMOLAS SUPER MARKETS INC.
875 EAST STREET
TEWKSBURY, MA 01876
BK. 5856, PG. 1904

MAP 222; LOT 19
BILLY POULIN
2 HOLLY LANE
HUDSON, NH 03051
BK. 7911, PG. 1351

MAP 222; LOT 40
JARE & NANCY SNADER
11 WASON ROAD
HUDSON, NH 03051
BK. 6601, PG. 262

MAP 222; LOT 4
CORNER LOT, LLC
PO BOX 801
174 RT. 13N
BROOKLINE, NH 03033
BK. 6115, PG. 818

MAP 222; LOT 5
RDAL HOLDINGS, LLC
PO BOX 601
BROOKLINE, NH 03033
BK. 7532, PG. 1206

MAP 222; LOT 3
ROB HOLDINGS LLC
PO BOX 601
BROOKLINE, NH 03033
BK. 7532, PG. 1206

MAP 222; LOT 41
370,702 SF
8.510 ACRES

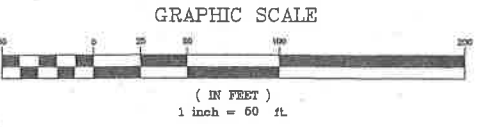
MAP 222; LOT 39
JAMES F. III & WENDY J. WILLARD
3 COLSON ROAD
HUDSON, NH 03051
BK. 7228, PG. 2634

MAP 222; LOT 38
DANIEL F. BOWER
5 COLSON ROAD
HUDSON, NH 03051
BK. 8019, PG. 644

MAP 222; LOT 37
CINDY E. DILLAVOU
7 COLSON ROAD
HUDSON, NH 03051
BK. 6487, PG. 2388

MAP 222; LOT 44
STATE OF NEW HAMPSHIRE
DEPARTMENT OF TRANSPORTATION
PO BOX 483
1 HAZEN DRIVE, ROOM 204
CONCORD, NH 03302-0483
BK. 2376, PG. 86

- LEGEND**
- STONE BOUND FOUND
 - IRON PIN FOUND
 - EDGE OF PAVEMENT
 - VERTICAL GRANITE CURB
 - SLOPED GRANITE CURB
 - CONCRETE CURB
 - BUFFER EASEMENT
 - DRAINAGE EASEMENT
 - SLOPE EASEMENT
 - ABUTTER LINE
 - PROPERTY LINE
 - WETLAND
 - CHAIN LINK FENCE
 - STOCKADE FENCE
 - GUARDRAIL
 - TREELINE
 - RETAINING WALL
 - BUILDING SETBACK
 - ZONE LINE
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED VERTICAL GRANITE CURB
 - PROPOSED SLOPED GRANITE CURB
 - PROPOSED VINYL FENCE



- GENERAL NOTES (CONTINUED):**
- ON-SITE DRAINAGE SYSTEM SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH NHDES REQUIREMENTS FOR SUCH SYSTEMS.
 - THE APPLICANT'S ENGINEER AND/OR CONTRACTOR SHALL CONTACT THE TOWN OF HUDSON TO SCHEDULE A PRECONSTRUCTION MEETING, WHICH WILL BE HELD WITH STAFF PRIOR TO STARTING CONSTRUCTION.
 - ALL IMPROVEMENTS SHOWN ON THE SITE PLAN-OF-RECORD, INCLUDING NOTES 1-25, SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
 - TRUCK LOADING AND UNLOADING TO BE RESTRICTED TO RETAIL BUSINESS HOURS SHOWN IN NOTE #18.
 - TRASH PICKUP AND DUMPSTER LOADING TO BE RESTRICTED TO RETAIL BUSINESS HOURS SHOWN IN NOTE #18.
 - NO OUTDOOR STORAGE OR DISPLAY IS PERMITTED.
 - ELECTRIC AND TELEPHONE LINES DEPICTED ON THIS PLAN ARE APPROXIMATE BASED ON PLAN REFERENCE #2.
 - ALL EXISTING STOP BARS, WORDS, AND SYMBOLS ON SITE TO BE REPAINTED DURING CONSTRUCTION.

OWNER OF MAP 222; LOT 41

SIGNATURE: *Manuel D. Sousa*
DATE: 5/5/2014



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

ZONING NOTE

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY KEACH-NORDSTROM ASSOCIATES, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

PETER S. SCHAUER, CERTIFIED WETLAND SCIENTIST #48, OF SCHAUER ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH PERFORMED THE WETLAND MAPPING ON APRIL 10, 2014 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL- NORTH-CENTRAL AND NORTH-EAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.

THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION BETWEEN JANUARY AND FEBRUARY OF 2014 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS AN URBAN STANDARD SURVEY, (CATEGORY 1, CONDITION 1) AS DEFINED IN THE NEW HAMPSHIRE LAND SURVEYORS ASSOCIATION ETHICS AND STANDARDS.

slw/14
DATE

MASTER PLAN
GOODWILL
MAP 222; LOT 41
9 WASON ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

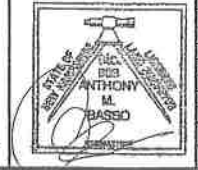
OWNER OF RECORD:
MANUEL D. SOUSA ET. AL
c/o STOP & SHOP SUPERMARKET
1385 HANCOCK STREET
QUINCY, MA 02169
H.C.R.D. BK. 7178; PG. 233

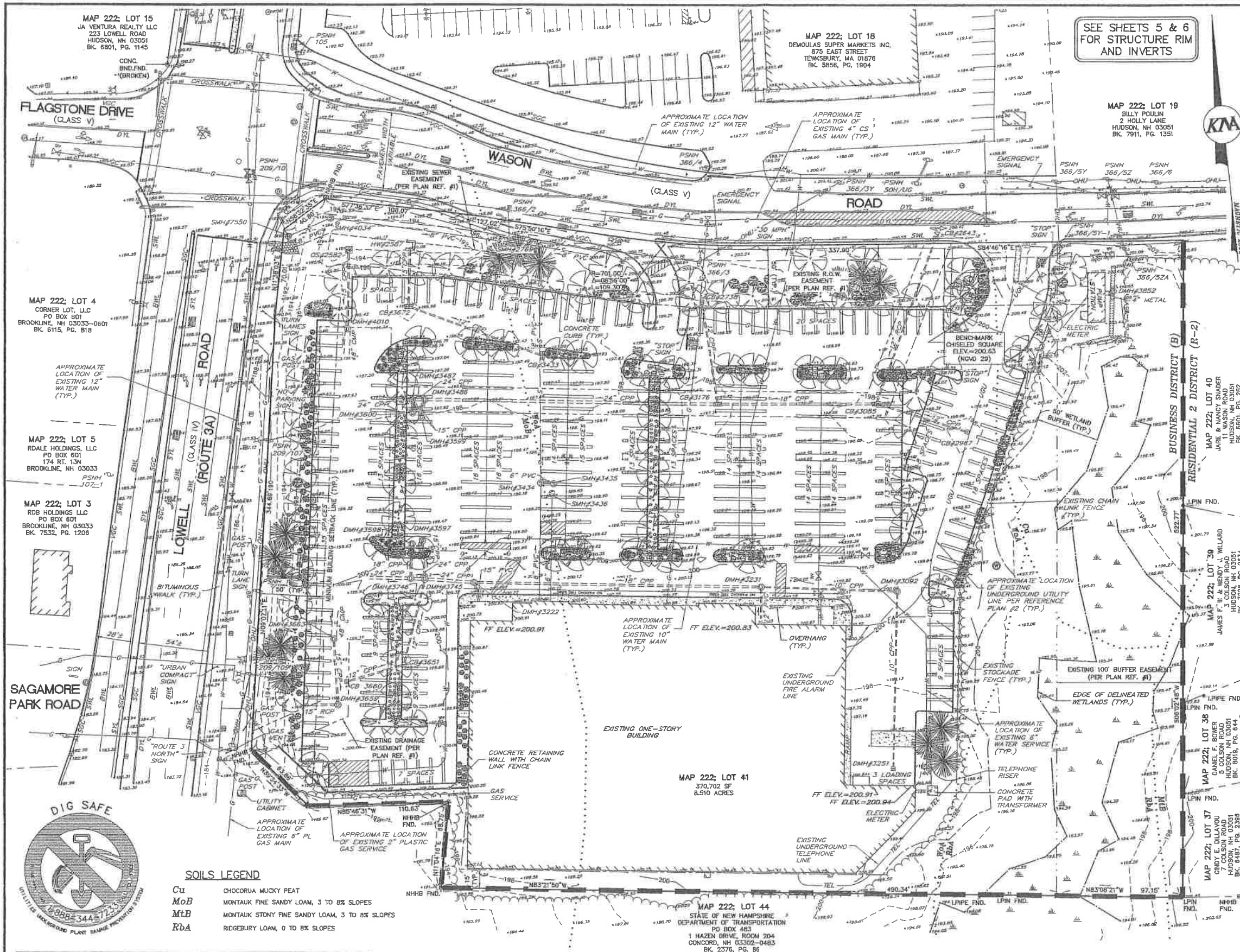
APPLICANT:
GOODWILL INDUSTRIES OF
NORTHERN NEW ENGLAND
75 WASHINGTON AVENUE
PORTLAND, ME 04101

K/A KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/16/14	REV. PER ENGINEERING REVIEW	KMB

DATE: FEBRUARY 5, 2014 SCALE: 1" = 50'
PROJECT NO: 13-1216-2 SHEET 1 OF 11





SEE SHEETS 5 & 6
FOR STRUCTURE RIM
AND INVERTS



VICINITY MAP
PLAN REFERENCES: SCALE: 1" = 1,000'

- "EASEMENT PLAN, LOWELL ROAD AND WASON ROAD, HUDSON, NEW HAMPSHIRE" SCALE: 1"=40', DATED: SEPT. 2004, PREPARED BY VANASSE HANGEN BRUSTLIN, INC. H.C.R.D. PLAN NO. 33436.
- "AS BUILT, CONDITIONS PLAN, SUPER STOP & SHOP, STORE #202, WASON ROAD/LOWELL ROAD (NH RTE. 3A), HUDSON, NEW HAMPSHIRE" SCALE: 1"=50', DATED: OCTOBER 4, 2004, PREPARED BY VANASSE HANGEN BRUSTLIN, INC.
- "MAP 10, LOTS 43, 45 AND 48, CONSOLIDATION AND LOT LINE RELOCATION PLAN, LOWELL ROAD AND WASON ROAD, HUDSON, NEW HAMPSHIRE" SCALE: 1"=50', DATED: MARCH 22, 2002 WITH REVISIONS THROUGH MAY 1, 2002, PREPARED BY VANASSE HANGEN BRUSTLIN, INC.
- "MASTER SITE PLAN, SAGAMORE SQUARE II, WASON ROAD AND LOWELL ROAD, HUDSON, NH," DATED: MARCH 2002, WITH REVISIONS THROUGH 6/8/02, PREPARED BY VANASSE HANGEN BRUSTLIN, INC. H.C.R.D. PLAN NO. 32647.

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF LOT 41 ON THE TOWN OF HUDSON TAX MAP 222.
 - TOTAL SITE AREA: 370,702 SF, OR 8.510 ACRES
 - MAP 222: LOT 41 INDICATES TOWN OF HUDSON TAX ASSESSORS MAP AND LOT NUMBER.
 - PRESENT OWNER OF RECORD: MANUEL D. SOUSA ET. AL
c/o STOP & SHOP SUPERMARKET
1385 HANCOCK STREET
QUINCY, MA 02169
H.C.R.D. BK. 7178; PG. 233
 - PRESENT ZONING: BUSINESS (B)
MINIMUM LOT REQUIREMENTS:
- LOT AREA: 30,000 SF (WITH TOWN WATER AND SEWER)
- LOT FRONTAGE: 150 FT (ARTERIAL/COLLECTOR)
MINIMUM BUILDING SETBACKS: (ARTERIAL/COLLECTOR)
- FRONT: 50 FT
- SIDE: 15 FT
- REAR: 15 FT
 - BOUNDARY AND TOPOGRAPHIC INFORMATION DEPICTED ON THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN JANUARY AND FEBRUARY 2014.
 - HORIZONTAL DATUM IS MAGNETIC 2008. VERTICAL DATUM IS NGVD 29.
 - WETLAND MAPPING PERFORMED BY PETER SCHAUER OF SCHAUER ENVIRONMENTAL CONSULTANTS, LLC ON APRIL 10, 2014.
 - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 3301100560, PANEL NUMBER 856 OF 701, EFFECTIVE DATE: SEPTEMBER 25, 2009 INDICATES THAT THE SUBJECT PREMISES IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT BIG SAFE AT 811.

LEGEND

STONE BOUND FOUND	ABUTMENT LINE
IRON PIN FOUND	PROPERTY LINE
UTILITY POLE	WETLAND
SIGN	CHAIN LINK FENCE
LIGHT	STOCKADE FENCE
GAS VALVE	GUARDRAIL
WATER VALVE	OVERHEAD UTILITIES
HYDRANT	UNDERGROUND UTILITIES
SEWER MANHOLE	GAS LINE
DRAINAGE MANHOLE	WATER LINE
CATCH BASIN	SEWER LINE
EDGE OF PAVEMENT	DRAINAGE LINE
VERTICAL GRANITE CURB	TREELINE
SLOPED GRANITE CURB	RETAINING WALL
CONCRETE CURB	10' CONTOUR
BUFFER EASEMENT	2' CONTOUR
DRAINAGE EASEMENT	SCS SOIL LINE
SLOPE EASEMENT	ZONE LINE
BUILDING SETBACK	

EXISTING CONDITIONS PLAN
GOODWILL
MAP 222: LOT 41
9 WASON ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
MANUEL D. SOUSA ET. AL
c/o STOP & SHOP SUPERMARKET
1385 HANCOCK STREET
QUINCY, MA 02169
H.C.R.D. BK. 7178; PG. 233

APPLICANT:
GOODWILL INDUSTRIES OF
NORTHERN NEW ENGLAND
75 WASHINGTON AVENUE
PORTLAND, ME 04101

KM KRACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 35, Bedford, NH 03110 Phone (603) 627-2881

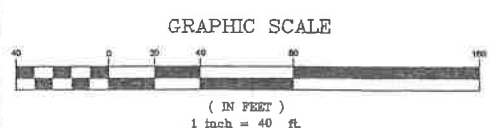
PURSUANT TO THE REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



PETER S. SCHAUER, CERTIFIED WETLAND SCIENTIST #48, OF SCHAUER ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH PERFORMED THE WETLAND MAPPING ON APRIL 10, 2014 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL - NORTHEASTERN AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.

PETER S. SCHAUER, CERTIFIED WETLAND SCIENTIST #48, OF SCHAUER ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH PERFORMED THE WETLAND MAPPING ON APRIL 10, 2014 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL - NORTHEASTERN AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.

THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION BETWEEN JANUARY AND FEBRUARY OF 2014 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS AN URBAN STANDARD SURVEY, (CATEGORY 1), CONDITION 1) AS DEFINED IN THE NEW HAMPSHIRE LAND SURVEYORS ASSOCIATION ETHICS AND STANDARDS.

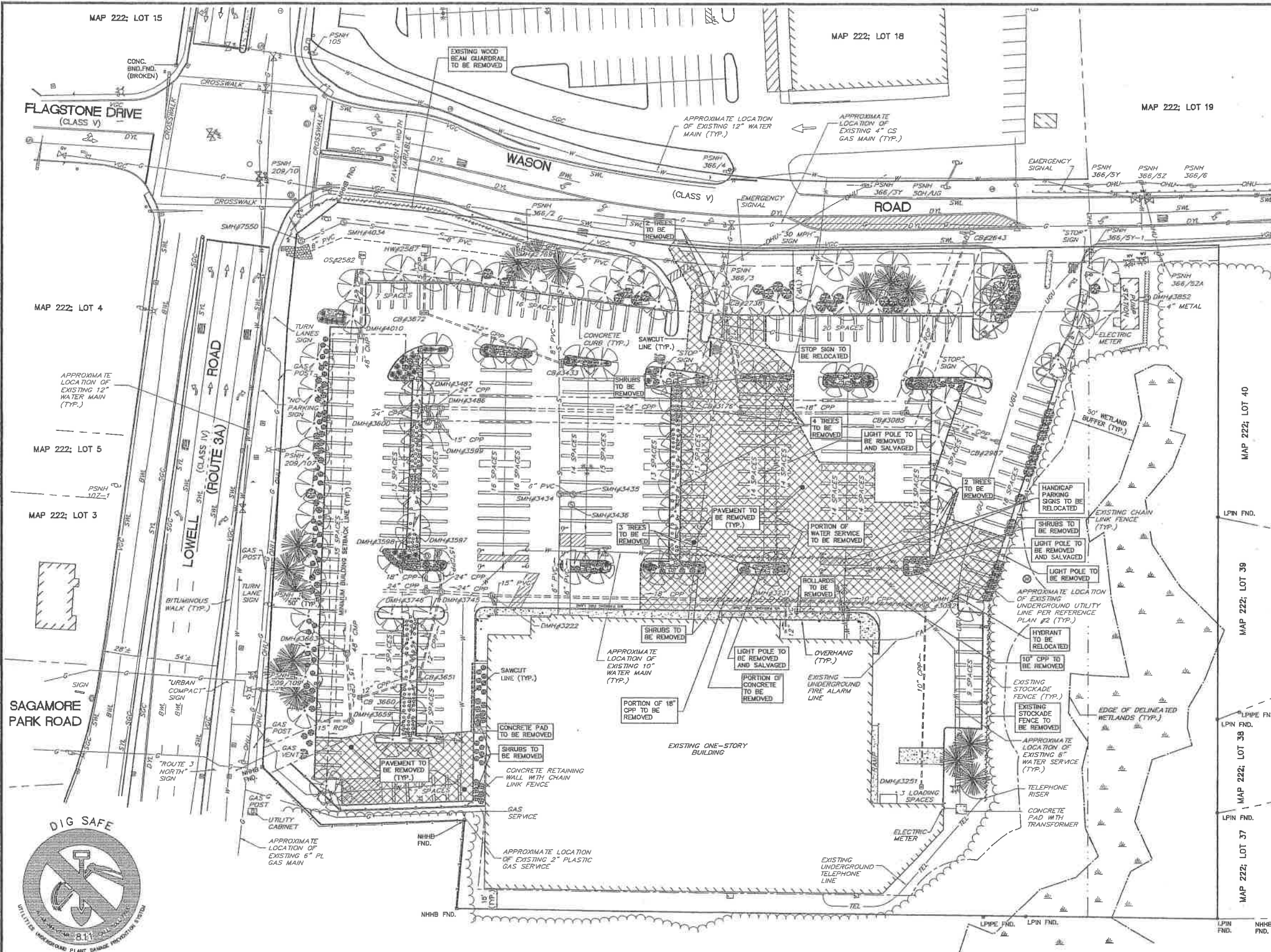
DATE: _____



REVISIONS

No.	DATE	DESCRIPTION	BY
1	04/16/14	REV. PER ENGINEERING REVIEW	KMB

DATE: FEBRUARY 5, 2014
PROJECT NO: 13-1216-2
SCALE: 1" = 40'
SHEET 2 OF 10



- GENERAL NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING FEATURES ON SITE TO BE REMOVED, SALVAGED, OR REPLACED.
 2. BOUNDARY AND TOPOGRAPHIC INFORMATION DEPICTED ON THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN JANUARY AND FEBRUARY 2014.
 3. ITEMS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH THE TOWN OF HUDSON REQUIREMENTS, UNLESS OTHERWISE SHOWN HEREON OR DIRECTED BY OWNER.
 4. ALL EXISTING PAVEMENT AND GRAVEL WITHIN THE CROSS HATCHED AREA IS TO BE REMOVED DURING THE DEMOLITION PHASE OF THE PROJECT. EXCESS MATERIAL FROM THESE AREAS SHALL BE APPROPRIATELY DISPOSED OF OFF-SITE.
 5. REMOVE AND SALVAGE ALL STREET SIGNS, POSTS, AND LIGHT POLES WITHIN THE WORK AREA. INSTALL NEW SIGNS ON NEW POSTS AS SPECIFIED HEREON.
 6. THE CONTRACTOR SHALL CONTROL ALL DUST GENERATED DURING THE REMOVAL PHASE AND CONSTRUCTION PHASE SO THAT NO DUST LEAVES THE SITE.
 7. ANY MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE RESET BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR AT THE SITE CONTRACTORS EXPENSE.

LEGEND

■	STONE BOUND FOUND
■	IRON PIN FOUND
○	UTILITY POLE
○	SIGN
○	LIGHT
○	GAS VALVE
○	WATER VALVE
○	HYDRANT
○	WATER SHUT OFF
○	SEWER MANHOLE
○	DRAINAGE MANHOLE
○	CATCH BASIN
○	EDGE OF PAVEMENT
○	VERTICAL GRANITE CURB
○	SLOPED GRANITE CURB
○	CONCRETE CURB
○	BUFFER EASEMENT
○	DRAINAGE EASEMENT
○	SLOPE EASEMENT
○	ABUTTER LINE
○	PROPERTY LINE
○	WETLAND
○	CHAIN LINK FENCE
○	STOCKADE FENCE
○	GUARDRAIL
○	OVERHEAD UTILITIES
○	GAS LINE
○	WATER LINE
○	SEWER LINE
○	DRAINAGE LINE
○	TREELINE
○	RETAINING WALL
○	BUILDING SETBACK
○	SAWCUT LINE
○	PAVEMENT & GRAVEL TO BE REMOVED

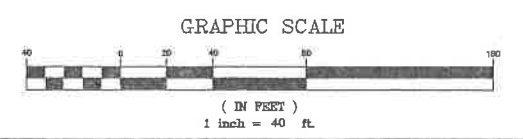
REMOVALS/DEMOLITION PLAN
GOODWILL
 MAP 222; LOT 41
 9 WASON ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD: MANUEL D. SOUSA ET. AL c/o STOP & SHOP SUPERMARKET 1385 HANCOCK STREET QUINCY, MA 02169 H.C.R.D. BK. 7178; PG. 233	APPLICANT: GOODWILL INDUSTRIES OF NORTHERN NEW ENGLAND 75 WASHINGTON AVENUE PORTLAND, ME 04101
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KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/16/14	REV. PER ENGINEERING REVIEW	KMB

DATE: FEBRUARY 5, 2014 SCALE: 1" = 40'
 PROJECT NO: 13-1216-2 SHEET 3 OF 11



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

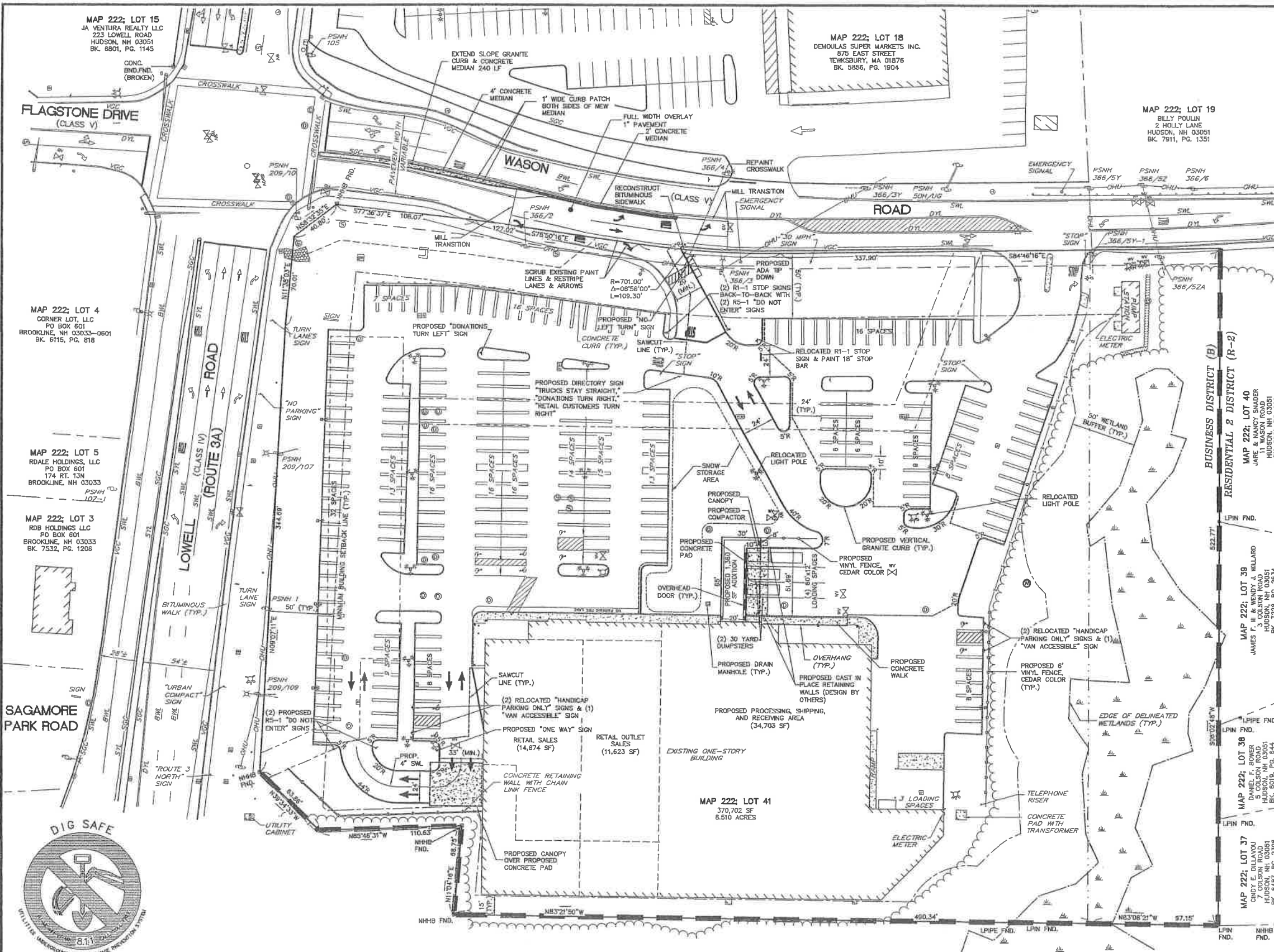
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ DATE _____
 SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



P:_projects\1312162\1312162-5\TDP\AN-REV1.dwg, 5/5/2014, 4:20:15 PM, rlf



VICINITY MAP
SCALE: 1" = 1,000'

SEE SHEET 1 FOR GENERAL NOTES

LEGEND

STONE BOUND FOUND	○
IRON PIN FOUND	●
UTILITY POLE	⊕
SIGN	⊙
LIGHT	⊛
GAS VALVE	⊕
WATER VALVE	⊕
HYDRANT	⊕
WATER SHUT OFF	⊕
SEWER MANHOLE	⊕
DRAINAGE MANHOLE	⊕
CATCH BASIN	⊕
EDGE OF PAVEMENT	—
VERTICAL GRANITE CURB	—
SLOPED GRANITE CURB	—
CONCRETE CURB	—
BUFFER EASEMENT	—
DRAINAGE EASEMENT	—
SLOPE EASEMENT	—
ABUTTER LINE	—
PROPERTY LINE	—
WETLAND	—
CHAIN LINK FENCE	—
STOCKADE FENCE	—
GUARDRAIL	—
OVERHEAD UTILITIES	—
DRAINAGE LINE	—
TREELINE	—
RETAINING WALL	—
BUILDING SETBACK	—
ZONE LINE	—
SAWCUT LINE	—
PROPOSED EDGE OF PAVEMENT	—
PROPOSED VERTICAL GRANITE CURB	—
PROPOSED SLOPED GRANITE CURB	—
PROPOSED VINYL FENCE	—

NON-RESIDENTIAL SITE LAYOUT PLAN
GOODWILL
MAP 222; LOT 41
9 WASON ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
MANUEL D. SOUSA ET. AL
c/o STOP & SHOP SUPERMARKET
1385 HANCOCK STREET
QUINCY, MA 02169
H.C.R.D. BK. 7178; PG. 233

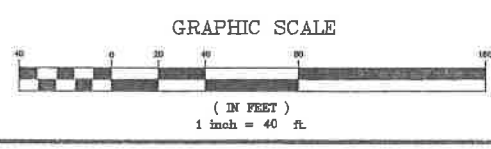
APPLICANT:
GOODWILL INDUSTRIES OF
NORTHERN NEW ENGLAND
75 WASHINGTON AVENUE
PORTLAND, ME 04101

KM KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2801

REVISIONS

No.	DATE	DESCRIPTION	BY
1	04/16/14	REV. PER ENGINEERING REVIEW	KMB

DATE: FEBRUARY 5, 2014 SCALE: 1" = 40'
PROJECT NO: 13-1216-2 SHEET 4 OF 11



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

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MAP 222; LOT 44
STATE OF NEW HAMPSHIRE
DEPARTMENT OF TRANSPORTATION
PO BOX 423
1 HAZEN DRIVE, ROOM 204
CONCORD, NH 03302-0423
BK 2376, PG. 86



SAGAMORE PARK ROAD

MAP 222; LOT 3
ROB HOLDINGS LLC
PO BOX 601
BROOKLINE, NH 03033
BK. 7532, PG. 1206

MAP 222; LOT 5
RDAL HOLDINGS, LLC
PO BOX 601
174 RT. 13N
BROOKLINE, NH 03033
PSNH 102-1

MAP 222; LOT 4
CORNER LOT, LLC
PO BOX 601
BROOKLINE, NH 03033-0601
BK. 6115, PG. 818

MAP 222; LOT 15
JA VENTURA REALTY LLC
223 LOWELL ROAD
HUDSON, NH 03051
BK. 8801, PG. 1145

MAP 222; LOT 18
DEMOULAS SUPER MARKETS INC.
875 EAST STREET
TEWKSBURY, MA 01876
BK. 5856, PG. 1904

MAP 222; LOT 19
BILLY POLUN
2 HOLLY LANE
HUDSON, NH 03051
BK. 7911, PG. 1351

MAP 222; LOT 40
JARE & NANCY SHARER
HUDSON, NH 03051
BK. 8501, PG. 282

MAP 222; LOT 38
JAMES L. WILLARD
HUDSON, NH 03051
BK. 7228, PG. 2634

MAP 222; LOT 37
DANIEL F. BOKER
HUDSON, NH 03051
BK. 6487, PG. 2398

MAP 222; LOT 19

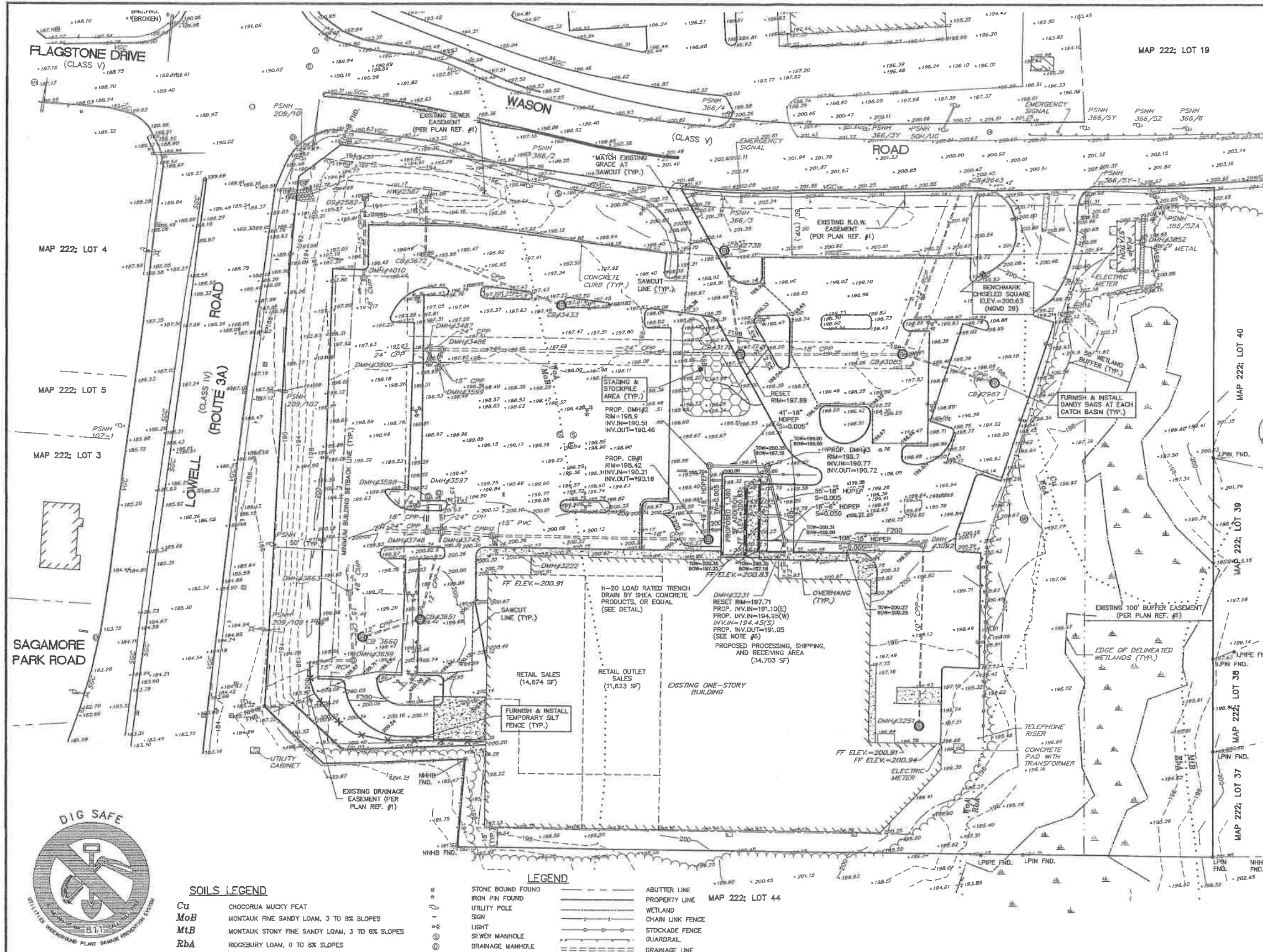
- CONSTRUCTION NOTES:**
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 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS. ALL SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPARTMENT, HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHOWN SHALL BE HDPEP. CATCH BASINS SHALL BE TYPE B, AND HAVE 3' SUMPS UNLESS OTHERWISE NOTED.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE RESPONSIBLE IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
 4. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 5. SEE CONSTRUCTION DETAILS FOR SPECIFIC CONSTRUCTION INFORMATION.
 6. CONTRACTOR TO CONFIRM CONSTRUCTABILITY OF NEW DMH#3231 AND RELAY 12" PVC ROOF DRAIN IF NECESSARY.

- EROSION CONTROL NOTES:**
1. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2008, AS AMENDED FROM TIME TO TIME. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR REPLANTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
 2. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
 3. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
 4. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
 5. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA.
 6. THE INTENSITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
 7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
 8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
 9. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.

LOAM & SEED ALL DISTURBED AREAS (TYP.)

DRAINAGE INVERT TABLE

CB#3651 RIM=199.29 INV.IN=193.85 INV.OUT=193.85	DMH#3231 RIM=200.19 INV.IN=190.50(F) INV.OUT=190.26	CB#3433 RIM=197.02 INV.OUT=193.33
DMH#3259 RIM=199.46 INV.IN=182.65 INV.OUT=182.86	DMH#3092 RIM=200.09 INV.IN=191.66 INV.OUT=191.64	DMH#3486 RIM=197.69 INV.IN=189.57(E) INV.IN=189.85(S) INV.OUT=189.47
CB#3660 RIM=199.02 INV.OUT=194.24	DMH#3251 RIM=196.52 INV.OUT=TOO DEEP	DMH#3487 RIM=197.72 INV.IN=189.00(E) INV.IN=189.13(S) INV.OUT=187.51
DMH#3663 RIM=199.52 INV.OUT=185.18	CB#2987 RIM=197.77 INV.OUT=193.85	DMH#3599 RIM=198.02 INV.OUT=TOO DEEP
DMH#3746 RIM=200.13 INV.IN=188.12(N) INV.IN=187.96(E) INV.OUT=187.86	DMH#3852 RIM=199.85 INV.OUT=196.62	DMH#3600 RIM=197.98 INV.OUT=189.78
DMH#3745 RIM=200.30 INV.IN=188.61(N) INV.IN=188.52(E) INV.OUT=188.43	CB#3085 RIM=197.71 INV.IN=193.11(N) INV.IN=193.10(E) INV.OUT=193.11	CB#3672 RIM=195.62 INV.IN=191.94 INV.OUT=191.82
DMH#3598 RIM=199.63 INV.OUT=188.16	CB#2643 RIM=200.08 INV.OUT=195.23	DMH#4010 RIM=196.44 INV.IN=TOO DEEP INV.OUT=185.53
DMH#3597 RIM=199.72 INV.OUT=TOO DEEP	DMH#3222 RIM=200.18 INV.IN=188.90(E) INV.IN=194.93(S) INV.OUT=198.81	OS#2592 RIM=184.17 INV.OUT=189.37
	CB#3176 RIM=197.68 INV.IN=192.85(N) INV.IN=192.76(E) INV.OUT=192.06	HW#2587 INV.=191.08



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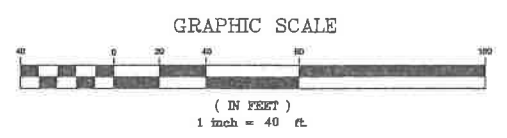
SIGNATURE _____ DATE _____

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LEGEND

STONE BOUND FOUND	ABUTTER LINE
IRON PIN FOUND	PROPERTY LINE
UTILITY POLE	WETLAND
SIGN	CHAIN LINK FENCE
LIGHT	STOCKADE FENCE
SEWER MANHOLE	GUARDRAIL
DRAINAGE MANHOLE	DRAINAGE LINE
CATCH BASIN	TREELINE
EDGE OF PAVEMENT	RETAINING WALL
VERTICAL GRANITE CURB	10' CONTOUR
SLOPED GRANITE CURB	2' CONTOUR
CONCRETE CURB	SCS SOIL LINE
BUFFER EASEMENT	BUILDING SETBACK
DRAINAGE EASEMENT	SAWCUT LINE
SLOPE EASEMENT	PROPOSED EDGE OF PAVEMENT
TEMPORARY DANDY BAG	PROPOSED VERTICAL GRANITE CURB
AT ALL CATCH BASINS	PROPOSED DRAIN LINE
	PROPOSED CONTOUR LINE
	SILT FENCE



GRADING, DRAINAGE, AND EROSION CONTROL PLAN
GOODWILL
 MAP 222; LOT 41
 9 WASON ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD:
 MANUEL D. SOUSA ET. AL
 c/o STOP & SHOP SUPERMARKET
 1385 HANCOCK STREET
 QUINCY, MA 02169
 H.C.R.D. BK. 7178; PG. 233

APPLICANT:
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 NORTHERN NEW ENGLAND
 75 WASHINGTON AVENUE
 PORTLAND, ME 04101

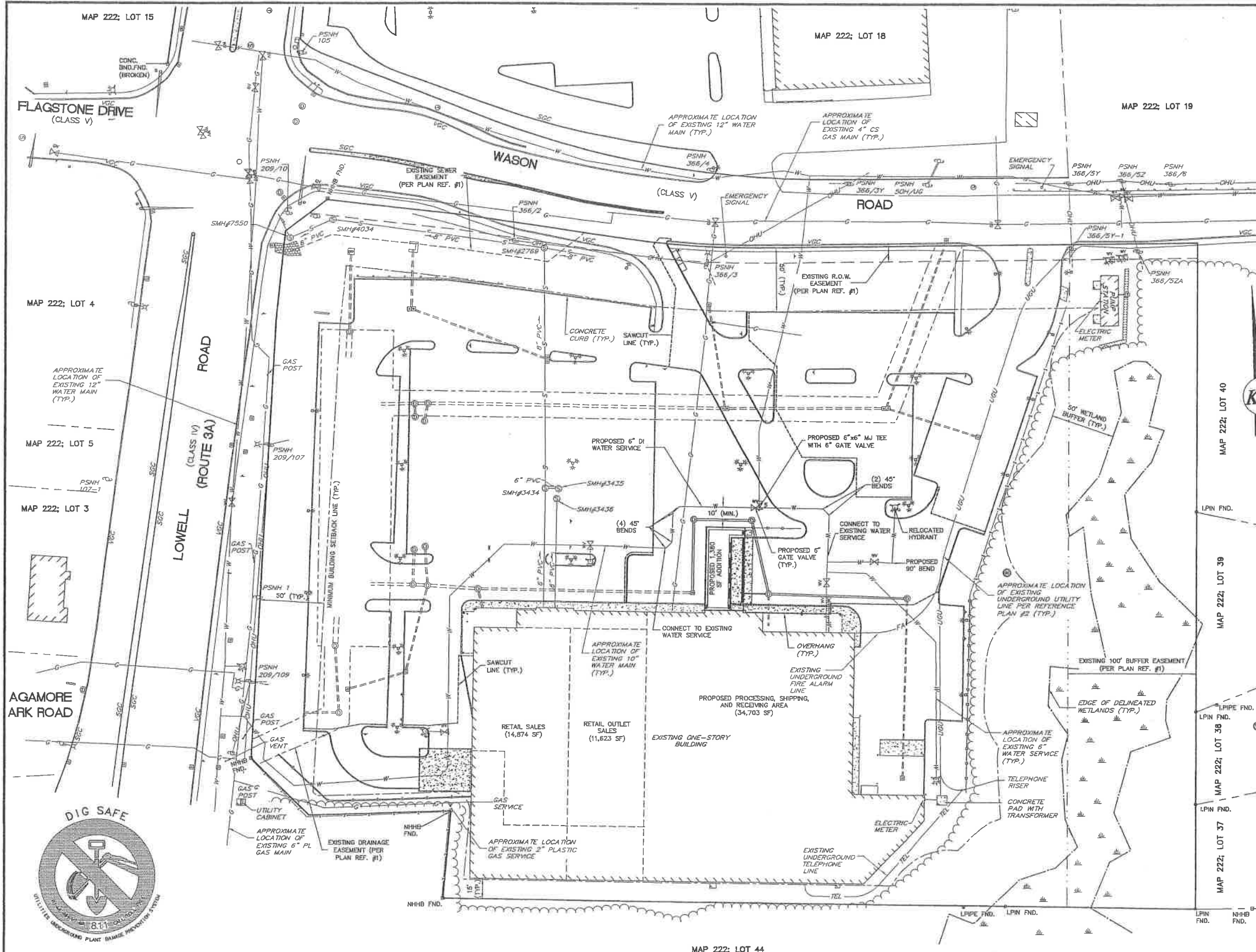
KM KEACH-NORDSTROM ASSOCIATES, INC.
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 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-8881

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- ALL WATER SERVICE CONSTRUCTION SHALL CONFORM WITH HUDSON WATER UTILITY CONSTRUCTION SPECIFICATIONS.
- EMERGENCY CONTACTS:
 HUDSON WATER UTILITY c/o PENNICHUCK WATER WORKS (603)882-5191
 HUDSON HIGHWAY DEPARTMENT (603)886-6018

LEGEND

Stone Bound Found	Iron Pin Found
Utility Pole	Sign
Light	Gas Valve
Water Valve	Hydrant
Water Shut Off	Sewer Manhole
Drainage Manhole	Catch Basin
Abutter Line	Property Line
Wetland	Chain Link Fence
Stockade Fence	Guardrail
Overhead Utilities	Underground Utilities
Gas Line	Water Line
Sewer Line	Drainage Line
Treeline	Retaining Wall
Building Setback	Edge of Pavement
Vertical Granite Curb	Sloped Granite Curb
Concrete Curb	Buffer Easement
Drainage Easement	Slope Easement
Sawcut Line	Proposed Edge of Pavement
Proposed Vertical Granite Curb	Proposed Sloped Granite Curb
Proposed Drain Line	Proposed Water Line

INVERT TABLE

SMH#7550	RIM=191.09	INV.IN=183.74	INV.OUT=183.65
SMH#3434	RIM=192.70	INV.IN=189.54(S)	INV.OUT=189.56
SMH#3436	RIM=198.82	INV.IN=191.64	
SMH#3435	RIM=192.73	INV.OUT=TOO DEEP	
SMH#2769	RIM=198.34	INV.IN=187.46(S)	INV.OUT=187.28
SMH#4034	RIM=195.17	INV.IN=182.93	INV.OUT=184.81

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UTILITY PLAN
GOODWILL
 MAP 222; LOT 41
 9 WASON ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD:
 MANUEL D. SOUSA ET. AL.
 c/o STOP & SHOP SUPERMARKET
 1385 HANCOCK STREET
 QUINCY, MA 02169
 H.C.R.D. BK. 7178; PG. 233

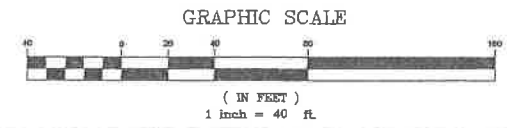
APPLICANT:
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 75 WASHINGTON AVENUE
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 PROJECT NO: 13-1216-2 SHEET 6 OF 11



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LANDSCAPE NOTES:

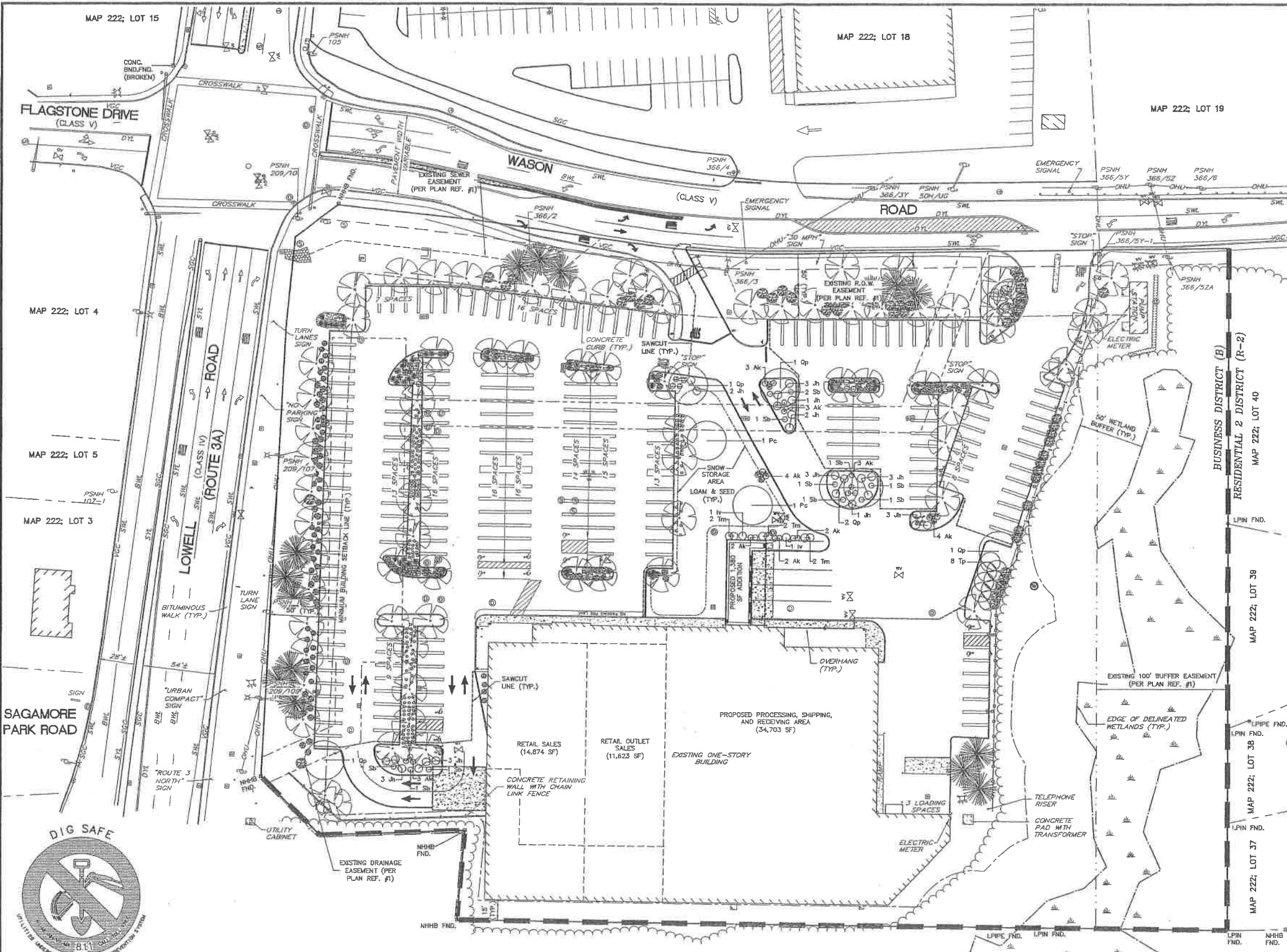
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE LANDSCAPE WHICH PROVIDES CLIMATIC RELIEF AND AESTHETIC APPEAL.
2. ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOW HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTIES TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
3. IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS: ORGANIC TOPSOIL AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% COMPOST AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
4. PLANTING BEDS AND SAUCERS SHALL RECEIVE A 4" MINIMUM THICKNESS OF PINE/HEMLOCK BARK MULCH OVER A 5oz. POLYPROPYLENE WEED CONTROL FABRIC. PAVEMENT AND ROAD BASE MATERIAL ENCOUNTERED IN ANY LAWN OR PLANTING BED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AND SUITABLE AMENDED SOIL INSTALLED AS SPECIFIED IN THE TURF ESTABLISHMENT SCHEDULE.

LANDSCAPE CALCULATIONS

EXISTING PARKING LOT INTERIOR LANDSCAPE AREA	118,841 SF
EXISTING PARKING AREA PAVED	11,884 SF
10% REQUIRED LANDSCAPE AREA	11,884 SF
EXISTING LANDSCAPE AREA	11,000 SF
REQUIRED PARKING LOT INTERIOR LANDSCAPE AREA	92,602 SF
PROPOSED PARKING AREA PAVED	92,602 SF
10% REQUIRED LANDSCAPE AREA	9,260 SF
PROVIDED LANDSCAPE AREA	19,338 SF
REQUIRED PARKING LOT SHADE TREES AND SHRUBS	92,602 SF
PROPOSED PAVED AREA	92,602 SF
SHADE TREES REQUIRED (92,602/1,600):	58 TREES REQUIRED
(OR 1 TREE/5 PARKING SPACES x 246)	49 TREES REQUIRED
SHADE TREES PROVIDED:	103 TREES TOTAL
(95 EXISTING + 8 PROPOSED)	
SHRUBS REQUIRED (92,602/200):	463 SHRUBS, OR
(OR 1.8 x 246 PROP. PARKING SPACES)	394 SHRUBS REQUIRED
SHRUBS PROVIDED:	500 SHRUBS TOTAL
(435 EXISTING + 65 PROPOSED)	

LEGEND

	STONE BOUND FOUND
	IRON PIN FOUND
	UTILITY POLE
	SIGN
	LIGHT
	GAS VALVE
	WATER VALVE
	HYDRANT
	WATER SHUT OFF
	SEWER MANHOLE
	DRAINAGE MANHOLE
	CATCH BASIN
	EDGE OF PAVEMENT
	VERTICAL GRANITE CURB
	SLOPED GRANITE CURB
	CONCRETE CURB
	BUFFER EASEMENT
	DRAINAGE EASEMENT
	SLOPE EASEMENT
	ABUTMENT LINE
	PROPERTY LINE
	WETLAND
	CHAIN LINK FENCE
	STOCKADE FENCE
	GUARDRAIL
	OVERHEAD UTILITIES
	DRAINAGE LINE
	TREELINE
	RETAINING WALL
	BUILDING SETBACK
	ZONE LINE
	SAWCUT LINE
	PROPOSED EDGE OF PAVEMENT
	PROPOSED VERTICAL GRANITE CURB
	PROPOSED SLOPED GRANITE CURB
	PROPOSED VINYL FENCE



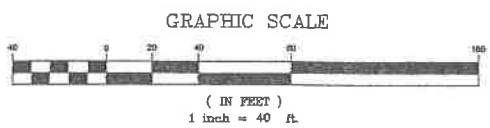
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PLANT LIST

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
Pc	2	PYRUS CALLERYANNA 'ARISTOCRAT'	ARISTOCRAT FLOWERING PEAR	2.5-3" CAL.
Op	6	QUERCUS PALUSTRIS	PIN OAK	2.5-3" CAL.
Tp	8	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT WESTERN ARBORVITAE	6-7' B&B
SHRUBS				
Ak	26	AZALEA 'KAREN'	KAREN AZALEA	18-24"
Iv	2	ILEX VERTICILLATA 'MARYLAND BEAUTY'	MARYLAND BEAUTY WINTERBERRY	2-2.5"
Jh	24	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	#3
Sb	11	SPIRAEA BUNALDA 'FROEBELI'	FROEBEL SPIREA	18-24"
Tm	6	TAXUS MEDIA 'TAUNTONI'	TAUNTONI YEW	18-24" B&B

LANDSCAPE PLAN

GOODWILL

MAP 222; LOT 41
9 WASON ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

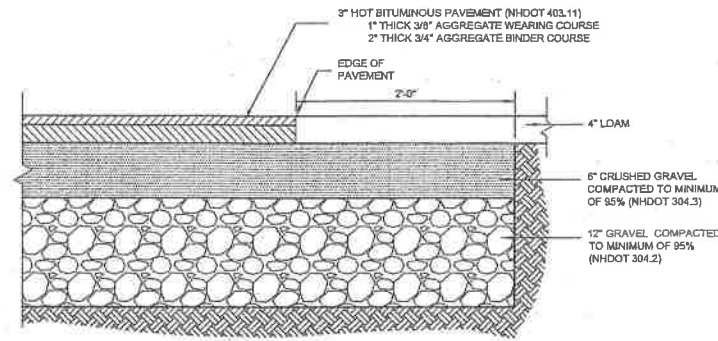
OWNER OF RECORD: MANUEL D. SOUSA ET. AL. c/o STOP & SHOP SUPERMARKET 1385 HANCOCK STREET QUINCY, MA 02169 H.C.R.D. BK. 717B; PG. 233	APPLICANT: GOODWILL INDUSTRIES OF NORTHERN NEW ENGLAND 75 WASHINGTON AVENUE PORTLAND, ME 04101
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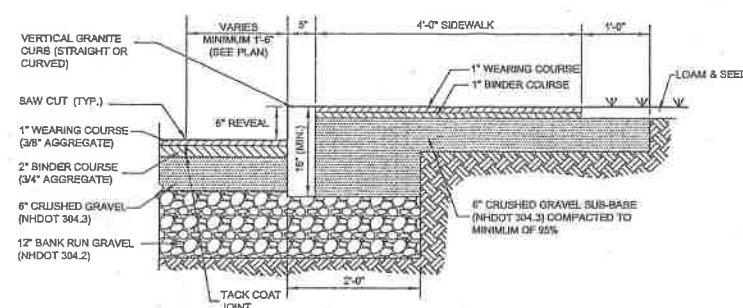
DATE: FEBRUARY 5, 2014 SCALE: 1" = 40'
PROJECT NO: 13-1216-2 SHEET 7 OF 11

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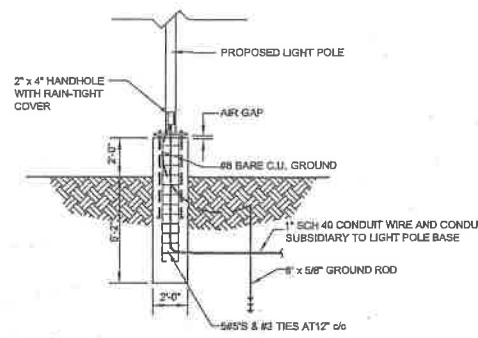
DRIVEWAY AND PARKING LOT SECTION

NOT TO SCALE
(MARCH 2008)



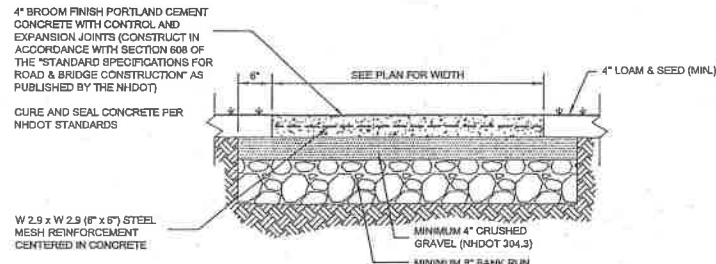
VERTICAL GRANITE CURB WITH BITUMINOUS SIDEWALK

NOT TO SCALE
(MARCH 2008)



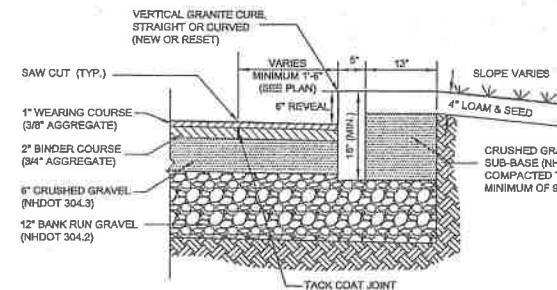
CONCRETE LIGHT POLE BASE DETAIL

NOT TO SCALE
(MARCH 2008)



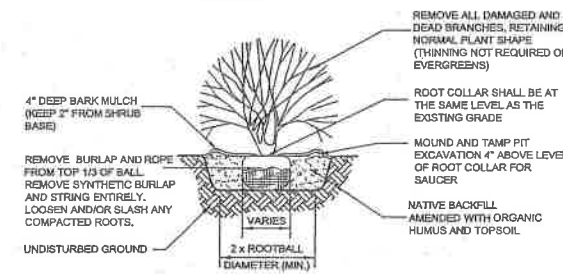
CONCRETE PAD DETAIL

NOT TO SCALE
(MARCH 2008)



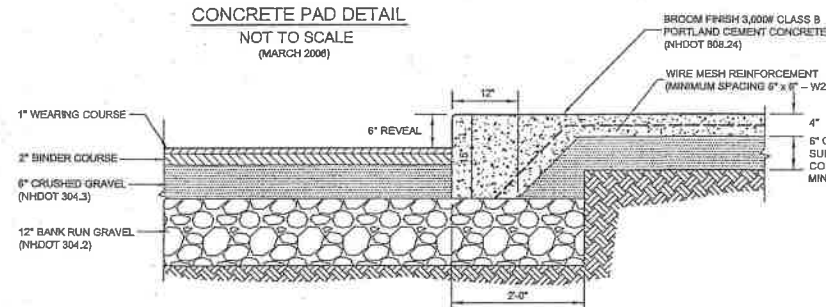
VERTICAL GRANITE CURB DETAIL

NOT TO SCALE
(MARCH 2008)



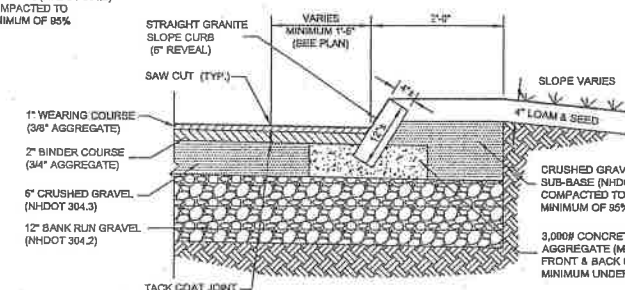
BALLED & BURLAP SHRUB PLANTING DETAIL

NOT TO SCALE
(JANUARY 2012)



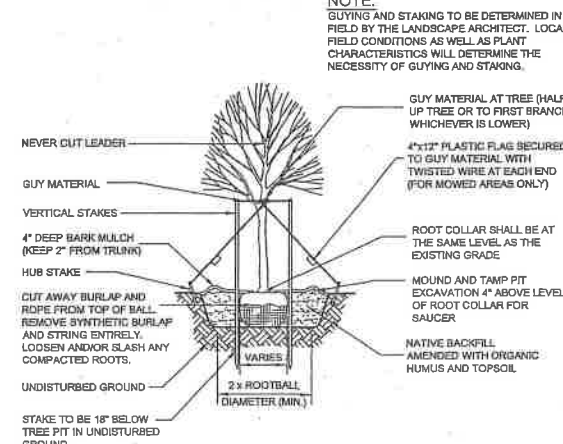
INTEGRAL CURB AND WALK DETAIL

NOT TO SCALE
(MARCH 2008)



STRAIGHT GRANITE SLOPE CURB DETAIL

NOT TO SCALE
(MARCH 2008)



DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE
(JANUARY 2012)



HANDICAP STRIPING DETAIL

NOT TO SCALE
(MARCH 2012)

- STRIPING NOTES:**
- ALL PAYMENT MARKINGS SHALL BE IN CONFORMANCE WITH THESE STANDARDS AND THE CURRENT EDITION OF MUTCD.
 - WIDTH OF LINES SHALL VARY NO MORE THAN 1/4 INCH FROM THAT SPECIFIED.
 - THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED.
 - OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.

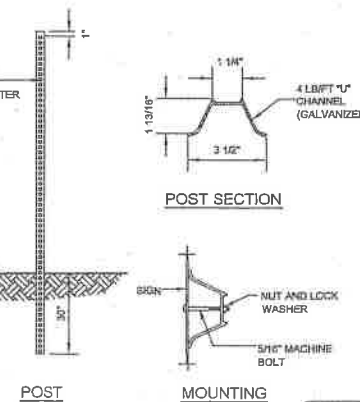
OPTION B

(2) FACE REPLACEMENT FOR (1) EXISTING D.F. PYLON SIGN

EXISTING CABINET & RETAINER: WHITE
FACE REPLACEMENTS: WHITE LEXAN
3M TRANS VINYL WHITE, BLACK & BLUE
FONTS: IMPACT



- TRAFFIC SIGN NOTES:**
- ALL TRAFFIC SIGN FACES AND SHAPES SHALL CONFORM WITH THE MUTCD.
 - ALL SIGN POST MOUNTS SHALL CONFORM WITH THE AASHTO AND NHDOT SPECIFICATIONS.



STEEL SIGN POST DETAIL

NOT TO SCALE
(MARCH 2008)

TURF ESTABLISHMENT SCHEDULE

PURPOSE:
TO ESTABLISH AND MAINTAIN PERMANENT AND TEMPORARY TURF AREAS, RESTORE GROWTH TO EXISTING TURF AREAS DISTURBED DURING CONSTRUCTION AND CONTROL SOIL EROSION.

PREPARATION AND EXECUTION:

- RAKE THE SUBGRADE OF ALL AREAS TO BE LOAMED AND SEED TO REMOVE RUBBISH, STICKS, ROOTS AND STONES LARGER THAN 1 INCH.
- PLACE LOAM OVER AREAS TO BE SEED AND SPREAD.
- FINE GRADE SURFACE AND SUPPLEMENT WITH SUITABLE LOAM WHERE NEEDED TO CREATE A UNIFORM SURFACE ACCORDING TO THE FINISH GRADES INDICATED; TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED. NO LOAM SHALL BE SPREAD IF THE SUBGRADE IS EXCESSIVELY WET OR FROZEN.
- APPLY LIME EVENLY OVER LOAM SURFACE AND THOROUGHLY INCORPORATE LIME INTO THE LOAM BY HEAVY RAKING TO AT LEAST ONE-HALF THE DEPTH OF THE LOAM.
- APPLY FERTILIZER AND MIX WITH THE UPPER 2 INCHES OF LOAM.
- DETERMINE APPROPRIATE MIXTURE FOR AREA TO BE SEEDS BASED ON EXAMINATION OF PROJECT PLANS, UNIFORMLY SPREAD THE SEED BY BROADCASTING OR HYDROSEEDING. IF BROADCASTING, LIGHTLY RAKE INTO THE PREPARED SURFACE AND ROLL. IF HYDROSEEDING, USE 4 TIMES THE RECOMMENDED RATE OF INOCULANT. AFTER SEED IS SPREAD, WATER THOROUGHLY WITH A FINE SPRAY.
- SEEDING FOR PERMANENT COVER SHALL OCCUR BETWEEN SEPTEMBER 15 AND OCTOBER 15 AND BETWEEN APRIL 15 AND JUNE 15. SEEDING SHALL NOT BE DONE DURING WINDY WEATHER WHEN THE GROUND IS FROZEN OR EXCESSIVELY WET OR OTHERWISE UNUSABLE.
- WITHIN 24 HOURS AFTER SEEDING OPERATION, UNIFORMLY MULCH THE AREA WITH HAY. ANCHOR MULCH ON ALL SLOPES EXCEEDING 3:1 USING MULCH NETTING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER.
- PROTECT AND PREVENT AGAINST WASHOUTS, ANY WASHOUTS WHICH OCCUR SHALL BE PROMPTLY REGRADED AND RESEED.
- WHEN IT IS IMPRACTICAL TO ESTABLISH PERMANENT GROWTH ON DISTURBED EARTH BY OCTOBER 15, A TEMPORARY SEED MIXTURE SHALL BE USED. WHEN TEMPORARY SEEDING CANNOT ESTABLISH VISIBLE GROWTH, THE DISTURBED AREA SHALL BE COVERED WITH SIX INCHES OF MULCH FOR THE WINTER.

MAINTENANCE:

ALL SEEDS AREAS SHALL BE KEPT WATERED AND IN GOOD CONDITION. RESEED AS NECESSARY TO ESTABLISH HEALTHY UNIFORM GROWTH OVER THE ENTIRE SEEDS AREA. MAINTAIN SEEDS AREAS IN AN APPROVED CONDITION UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE REPAIRS FOR DAMAGE CAUSED BY EROSION.

APPLICATION RATES:

- LOAM SHALL BE APPLIED AT A MINIMUM COMPACTED THICKNESS OF 4 INCHES.
- LIME SHALL BE APPLIED AT A RATE OF 75 TO 100 POUNDS PER 1,000 S.F.
- FERTILIZER SHALL BE APPLIED AT A RATE OF 30 POUNDS PER 1,000 S.F.
- SEED MIXTURE FOR LAWN AREAS SHALL BE APPLIED AT A RATE OF AT LEAST 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
- TEMPORARY SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1,000 S.F.
- SEED MIXTURE FOR SLOPE AREAS SHALL BE APPLIED AT A RATE OF 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
- SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS SHALL BE APPLIED AT A RATE OF 70 POUNDS PER ACRE OR 1.6 POUNDS PER 1,000 S.F.
- MULCH SHALL BE APPLIED AT A RATE OF 90 POUNDS PER 1,000 S.F.

MATERIALS:

- LOAM USED FOR TOPSOIL SHALL BE FRIABLE, FERTILE, NATURAL FREE-DRAINING LOAM; FREE OF ROOTS, GRASS, STICKS, WEEDS, CLAY, SOIL LUMPS, DEBRIS AND STONES LARGER THAN 1 INCH IN ANY DIMENSION. SOIL SHALL NOT BE EXCESSIVELY ACID OR ALKALINE AND CONTAIN NO TOXIC MATERIALS.
- LIME SHALL BE GROUND LIMESTONE CONTAINING NO LESS THAN 95% CALCIUM AND MAGNESIUM CARBONATES.
- FERTILIZER SHALL BE 10-20-20 COMMERCIAL GRADE.
- SEED MIXTURE FOR LAWN AREAS SHALL BE 99% PURE LIVE SEED AND CONSIST OF THE FOLLOWING:
 - 25% CREEPING RED FESCUE
 - 25% KENTUCKY BLUEGRASS
 - 25% REDTOP
 - 25% MANHATTAN PERENNIAL RYEGRASS
- TEMPORARY SEEDING MIXTURE SHALL BE AN APPROVED CONSERVATION MIX OR CONSIST OF THE FOLLOWING:
 - 15% BLACKWELL OR SHELTER SWITCHGRASS
 - 30% NIAGRA OR KAW BIG BLUESTEM
 - 30% CAMPER OR BLAZE LITTLESTEM
 - 15% NE-ZE OR BLAZE SAND LOWGRASS
 - 10% VIKING BIRDSFOOT TREFOIL
 INOCULUM SPECIFIC TO BIRDSFOOT TREFOIL MUST BE USED WITH THIS MIXTURE. IF SEEDING BY HAND, A STICKING AGENT SHALL BE USED. IF SEEDING WITH A HYDROSEEDER, USE FOUR TIMES THE RECOMMENDED AMOUNT OF INOCULUM.
- SEED MIXTURE FOR SLOPE AREAS SHALL BE 99% PURE LIVE SEED AND SHALL CONSIST OF THE FOLLOWING:
 - 30% CREEPING RED FESCUE
 - 40% PERENNIAL RYE GRASS
 - 15% REDTOP
 - 15% BIRDSFOOT TREFOIL
 IN ADDITION TO THE MIX SPECIFIED ABOVE, CROWN VETCH SHALL BE USED ON ALL SLOPES STEEPER THAN 3:1. CROWN VETCH SHALL BE APPLIED AT A RATE OF 10 POUNDS PER ACRE AND INOCULUM SPECIFIC TO CROWN VETCH MUST BE USED.
- SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS, INCLUDING DETENTION BASINS AND VEGETATED TREATMENT SWALES SHALL CONSIST OF THE FOLLOWING:
 - 25% CREEPING RED FESCUE
 - 15% SWITCH GRASS
 - 15% FOX SEDGE
 - 15% CREEPING BENTGRASS
 - 10% FLATPEA
 - 20% WILDFLOWER VARIETY
- HAY USED FOR MULCH SHALL CONSIST OF MOWED AND PROPERLY CURED GRASS OR LEGUME MOWING, FREE FROM WEEDS, TWIGS, DEBRIS OR OTHER DELETERIOUS MATERIAL AND ROT OR MOLD.

CONSTRUCTION DETAILS

GOODWILL

MAP 222; LOT 41
9 WASON ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
MANUEL D. SOUSA ET. AL.
c/o STOP & SHOP SUPERMARKET
1385 HANCOCK STREET
QUINCY, MA 02169
H.C.R.D. BK. 7178; PG. 233

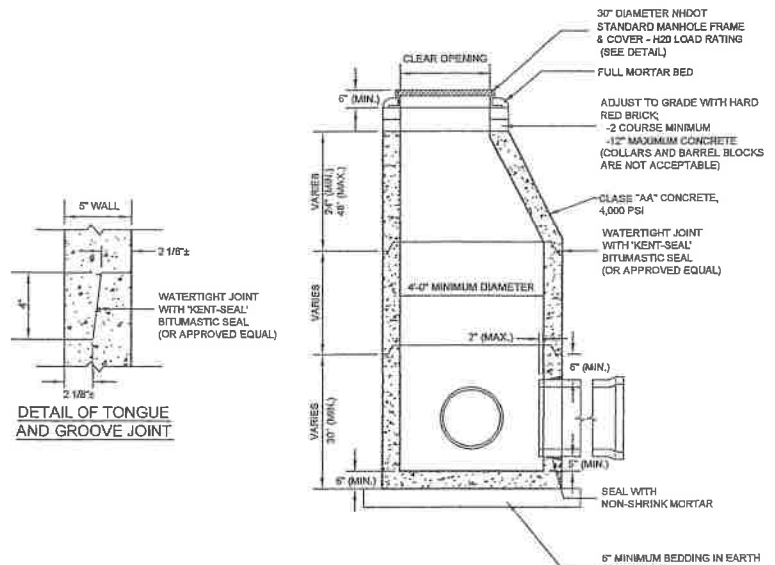
APPLICANT:
GOODWILL INDUSTRIES OF
NORTHERN NEW ENGLAND
75 WASHINGTON AVENUE
PORTLAND, ME 04101

K&A KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS

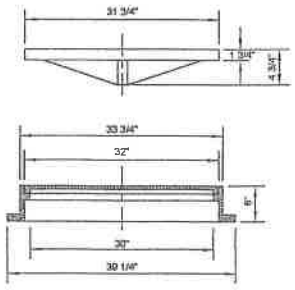
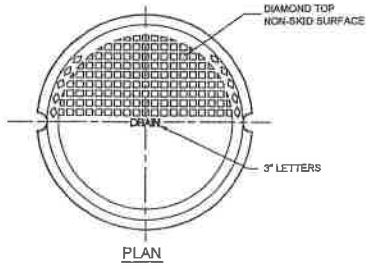
No.	DATE	DESCRIPTION	BY
1	04/16/14	REV. PER ENGINEERING REVIEW	KWB

DATE: FEBRUARY 5, 2014 SCALE: AS SHOWN
PROJECT NO: 13-1216-2 SHEET 8 OF 11



- NOTES:**
- STEPS ARE NOT ALLOWED.
 - ALL SECTIONS SHALL BE CONCRETE CLASS AA (4,000 PSI). CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER L.F. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER OF THE WALL.
 - THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER L.F.
 - MATERIALS AND CONSTRUCTION TO MHDOT STANDARDS.

PRECAST REINFORCED DRAIN MANHOLE DETAIL
NOT TO SCALE
(MARCH 2008)



DRAIN MANHOLE FRAME AND COVER DETAIL
NOT TO SCALE
(JANUARY 2012)

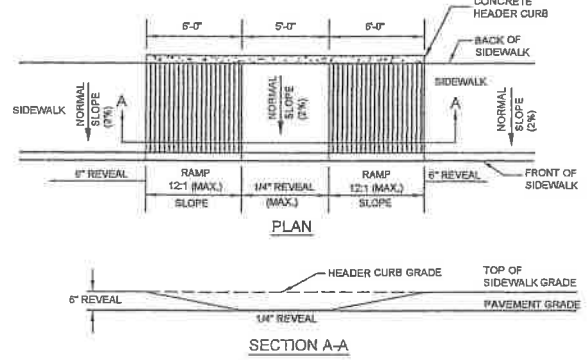
- NOTES:**
NEW HAMPSHIRE MAINTAINS A CLEAR OPENING DESIGNATION OF 30\"/>

FEATURES:

 - 3\"/>
 - COVERS MARKED DRAIN
 - NONROCKING COVER
 - DIAMOND SURFACE DESIGN

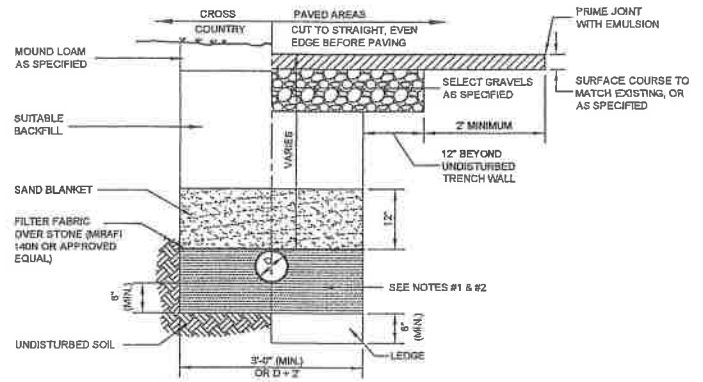
SPECIFICATIONS:

 - FULLY MACHINED FRAME AND COVER
 - H-20 LOAD RATED
 - GRAY CAST IRON MEETS ASTM A48 CLASS 30



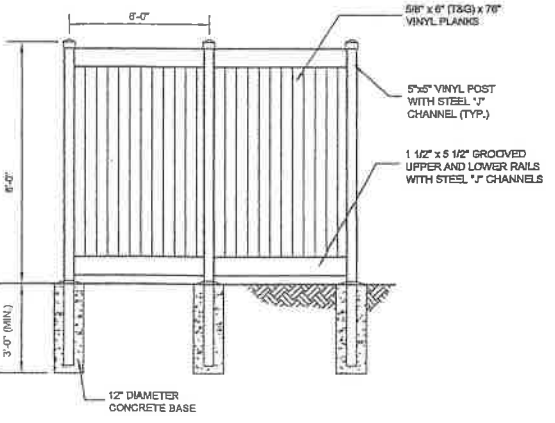
- NOTES:**
- A BROOM FINISH TRANSVERSE TO THE SLOPE OF THE RAMP SHALL BE USED ON PORTLAND CEMENT CONCRETE RAMPS.
 - MAINTAIN THE NORMAL PAVEMENT PROFILE THROUGHOUT THE RAMP AREA.
 - MAINTAIN A MAXIMUM 1/4\"/>

SIDEWALK RAMP
NOT TO SCALE
(JUNE 2012)

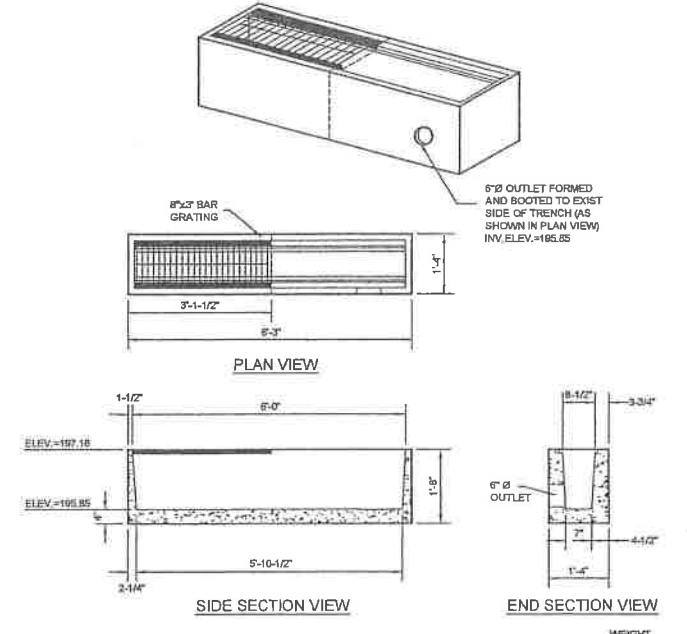


- NOTES:**
- THOROUGHLY COMPACTED SCREENED GRAVEL FOR RCP PIPE. SCREENED GRAVEL TO EXTEND TO SELECT FILL LINE.
 - FOR HDPE OR PVC PIPE, BEDDING SHALL BE 3/4\"/>

STORM DRAINAGE TRENCH DETAIL
NOT TO SCALE
(MARCH 2008)



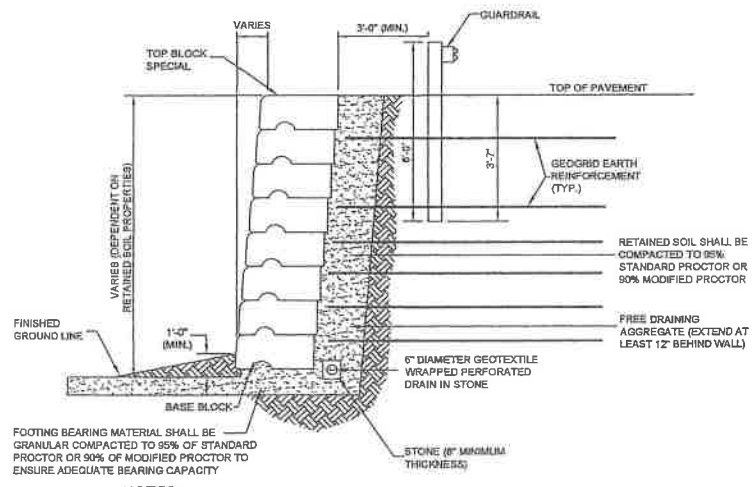
VINYL FENCE DETAIL
NOT TO SCALE
(MARCH 2008)



- NOTES:**
- CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 - AVAILABLE IN 3\"/>
 - AVAILABLE IN END OR MIDDLE SECTIONS.
 - CONFORMS TO H-20 LOADING.

TRENCH DRAIN DETAIL
(BY SHEA, OR APPROVED EQUAL)
NOT TO SCALE

ITEM NO.	M-TDG 6\"/> <th>WEIGHT</th>	WEIGHT
M-TDG 3\"/> <td>711 LBS</td>	711 LBS	



- NOTES:**
- AS PERMISSIBLE, THE STRUCTURAL ENGINEER CHARGED WITH RETAINING WALL DESIGN SHALL SPECIFY SALT RESISTANT BLOCK CONSTRUCTION WHERE WALLS ARE TO BE CONSTRUCTED NEAR ROADWAYS OR PARKING AREAS.
 - RETAINING WALL DRAIN TO \"DAYLIGHT\" AT LOW POINT OR TIE TO DRAIN STRUCTURE AS SHOWN IN PLAN VIEW.

REDI-ROCK RETAINING WALL WITH GUARDRAIL
(TO BE DESIGNED BY OTHERS)
NOT TO SCALE
(SEPTEMBER 2010)

CONSTRUCTION SEQUENCE

- FIRST CUT AND CLEAR TREES AND BRUSH ONLY WITHIN DESIGNATED LIMITS OF CLEARING AS NECESSARY TO FACILITATE PROPOSED CONSTRUCTION. ALL TREES, BRANCHES AND OTHER VEGETATIVE MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR. THIS PROJECT IS MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:33 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
- PRIOR TO COMMENCEMENT OF ANY EARTHMOVING OPERATIONS, ALL APPLICABLE TEMPORARY EROSION CONTROL MEASURES, INCLUDING SPECIFIED PERIMETER SILTATION FENCING AND STABILIZED CONSTRUCTION EXIT SHALL BE IN PLACE AS SHOWN ON THE PROJECT PLANS.
- COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR ORGANIC DEBRIS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR. NATIVE ORGANIC SOIL MATERIALS SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED WITHIN AREAS OUT OF THE WAY OF OTHER CONSTRUCTIONS ACTIVITIES AND DRAINAGE FLOW. STOCKPILES SHALL BE TEMPORARILY SEEDED WITH WINTER RYE AND BE SURROUNDED WITH HAY BALES AND/OR FABRIC SILTATION FENCE IN ORDER TO PREVENT LOSS DUE TO EROSION.
- BEGIN EARTHMOVING OPERATIONS, COMMENCING WITH WORK NEEDED TO BALANCE SITE AND FACILITATE BUILDING FOUNDATION AND RETAINING WALL CONSTRUCTION. PERMANENT DOWNSLOPE WORK SHALL BE PROTECTED FROM UPGRADIENT STORMWATER FLOW BY THE CONSTRUCTION OF TEMPORARY EARTHEN Dikes OR EXCAVATED SWALES.
- ONCE BUILDING FOUNDATION WORK IS UNDERWAY, CONTINUE EARTHMOVING OPERATIONS UNTIL DESIGN SUBGRADE IS ACHIEVED.
- INSTALL DRAINAGE SYSTEMS AND OTHER UTILITIES WORKING FROM LOW TO HIGH. INCOMPLETE WORK SHALL BE PROTECTED FROM SILTATION BY THE USE OF SILTATION BARRIERS AROUND SWALES UNTIL THE SITE HAS BECOME FULLY STABILIZED.
- PLACE GRAVEL AND CRUSHED GRAVEL OVER PROPOSED DRIVEWAY, WALKS AND PARKING AREAS AND COMPACT IN SPECIFIED LIFT THICKNESS.
- COMPLETE EXCAVATION/STABILIZATION GRADING ACTIVITIES. WHEN COMPLETE, IMMEDIATELY BEGIN TOPSOILING PROPOSED TURF AREAS USING STOCKPILED LOAM SUPPLEMENTED WITH BORROW LOAM, IF NECESSARY, TO LEAVE A THICKNESS OF 4 INCHES OF FRABLE LOAM.
- FINE GRADE ALL FUTURE TURF AREAS AND HYDROSEED WITH THE SPECIFIED SEED MIXTURE IMMEDIATELY AFTER FINE GRADING IS COMPLETED. ALL AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
- INSTALL THE BINDER COURSE OF PAVEMENT OVER ALL DESIGNATED AREAS.
- CONTINUE TO MONITOR AND RECTIFY MINOR SITE AND SLOPE EROSION UNTIL ENTIRE SITE APPEARS TO BE COMPLETELY STABILIZED AND VEGETATED WITH A HEALTHY STAND OF TURF OR GROUND COVER. MAINTAIN SPECIFIED SILTATION/EROSION CONTROL MEASURES THROUGH ONE WINTER.
- INSTALL THE SPECIFIED WEARING COURSE OF PAVEMENT OVER THE BINDER COURSE.
- COMPLETE INSTALLATION OF LANDSCAPING, SIGNAGE AND OTHER SITE AMENITIES.

EROSION CONTROL NOTES

- EXPOSED EARTHWORK SHALL BE CONFINED TO AS LIMITED AN AREA AS IS PRACTICAL AT ANY GIVEN TIME THROUGHOUT THE CONSTRUCTION SEQUENCE. AT NO TIME SHALL MORE THAN FIVE (5) ACRES OF SITE AREA BE IN AN UNSTABLE CONDITION. NO GIVEN AREA OF THE SITE SHALL BE LEFT IN AN UNSTABILIZED CONDITION FOR A PERIOD OF TIME EXCEEDING FORTY-FIVE (45) CALENDAR DAYS.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS. IN ADDITION, SIMILAR MEASURES SHALL BE INSTALLED WHERE AND WHEN THE FIELD CONDITION, OR FIELD OPERATION OF THE INDIVIDUAL SITE CONTRACTOR, MAY WARRANT. ALL TEMPORARY EROSION CONTROL MEASURES USED SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25\"/>
- ALL DISTURBED AREAS DESIGNATED TO BE TURF, SHALL RECEIVE A MINIMUM APPLICATION OF 4 INCHES OF LOAM (COMPACTED THICKNESS), PRIOR TO FINAL SEEDING AND MULCHING.
- ALL SWALES AND DITCHLINES SHALL BE PERIODICALLY CLEANED OF DEPOSITED SEDIMENT SO AS TO MAINTAIN AN EFFECTIVE GRADE AND CROSS SECTION. ALL SWALES AND DITCHLINES SHALL BE FULLY STABILIZED PRIOR TO HAVING STORMWATER DIRECTED TOWARDS THEM.
- IN THE EVENT THAT, DURING CONSTRUCTION OF ANY PORTION OF THIS PROJECT, A WINTER SHUTDOWN IS NECESSARY, THE CONTRACTOR SHALL STABILIZE ALL INCOMPLETE WORK AND PROVIDE FOR SUITABLE METHODS OF DIVERTING RUNOFF IN ORDER TO ELIMINATE SHEET FLOW ACROSS FROZEN SURFACES.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3\"/>
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- DUST SHALL BE CONTROLLED BY THE USE OF WATER AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD, IN ACCORDANCE WITH ENV-A 1000.
- IN NO WAY ARE THOSE TEMPORARY EROSION CONTROL MEASURES INDICATED ON THESE PLANS TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT IN INSTALLING SUPPLEMENTARY EROSION CONTROL MEASURES WHERE AND WHEN SPECIFIC SITE CONDITIONS AND/OR CONSTRUCTION METHODOLOGIES MAY WARRANT.
- AREAS HAVING FINISH GRADE SLOPES OF 3:1 OR STEEPER, SHALL BE STABILIZED WITH JUTE MATTING WHEN AND IF FIELD CONDITIONS WARRANT, OR IF SO ORDERED. JUTE MATTING INSTALLED TO CONFORM WITH THE RECOMMENDED BEST MANAGEMENT PRACTICE OUTLINED IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL \"EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION\".
- ALL DETENTION PONDS AND TREATMENT SWALES SHALL BE CONSTRUCTED PRIOR TO ANY EARTH MOVING ACTIVITIES THAT WILL INFLUENCE STORMWATER RUNOFF.
- ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

CONSTRUCTION DETAILS
GOODWILL
MAP 222; LOT 41
9 WASON ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
MANUEL D. SOUSA ET. AL
c/o STOP & SHOP SUPERMARKET
1385 HANCOCK STREET
QUINCY, MA 02169
H.C.R.D. BK. 7178; PG. 233

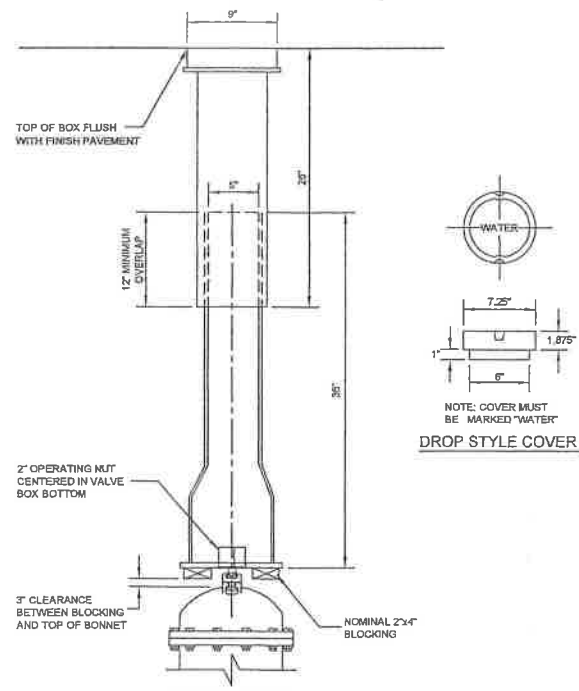
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KM REACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/16/14	REV. PER ENGINEERING REVIEW	KMB

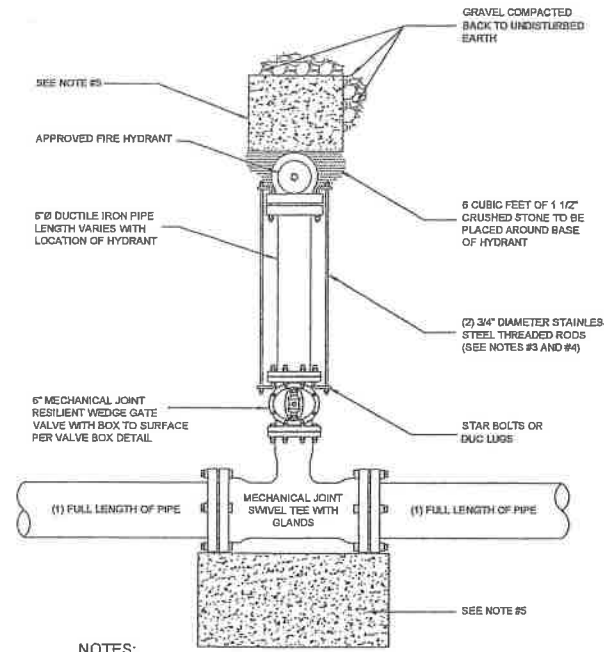
DATE: FEBRUARY 5, 2014 SCALE: AS SHOWN
PROJECT NO: 13-1216-2 SHEET 9 OF 11





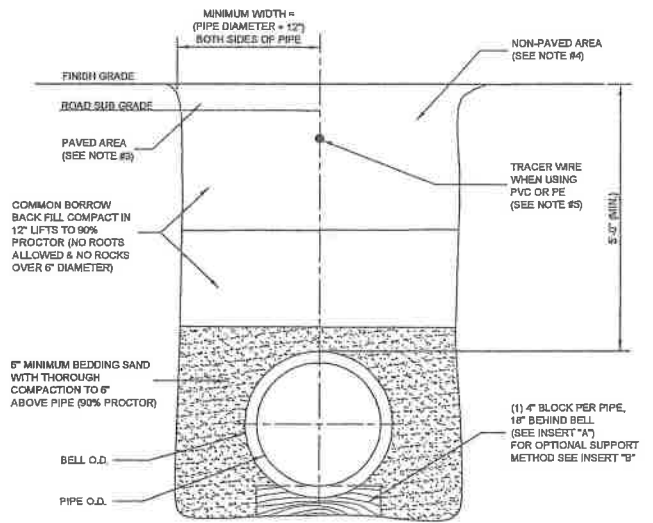
NOTES:
 1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO PENNICHUCK WATER WORKS, INC. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.

VALVE BOX DETAIL
 (A-09)
 NOT TO SCALE
 (MARCH 2008)



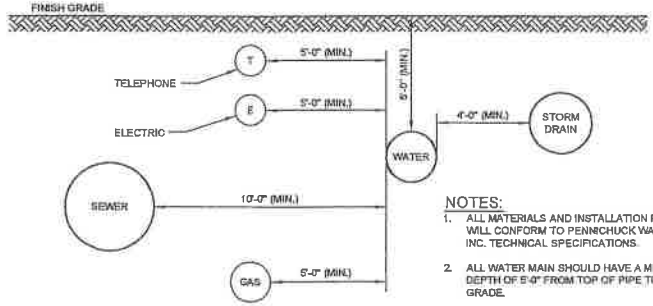
NOTES:
 1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO PENNICHUCK WATER WORKS, INC. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
 3. 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS. 10" FITTING OR SMALLER = (2) 3/4" S.S. RODS & ASSOCIATED HARDWARE. 12" FITTING OR LARGER = (4) 3/4" S.S. RODS & ASSOCIATED HARDWARE.
 4. WHEN DISTANCE FROM WATER MAIN TO HYDRANT IS MORE THAN 10'-0" SUBSTITUTE MEGALUGS (OR GRIP RINGS) IN LIEU OF THREADED RODS.
 5. MINIMUM 3x3x2 PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH PENNICHUCK WATER WORKS, INC. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE THRUST BLOCK BEHIND FITTINGS DETAIL.

HYDRANT INSTALLATION
 (A-10)
 NOT TO SCALE
 (MARCH 2008)



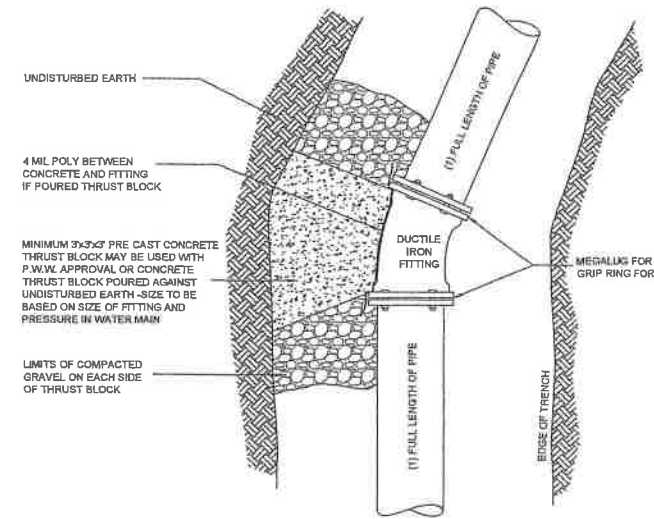
NOTES:
 1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO PENNICHUCK WATER WORKS, INC. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
 3. REQUIREMENTS FOR SUBBASE AND BASE MATERIAL TYPE ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN PAVED AREAS.
 4. REQUIREMENTS FOR GRAVEL, LOAM AND/OR SEED ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN NON-PAVED AREAS.
 5. 10 GAUGE TRACER WIRE AS MANUFACTURED BY BMS, DIVISION OF ALBESTAR CORP., AVON, MA OR EQUIVALENT.

TRENCH DETAIL
 (A-02)
 NOT TO SCALE
 (MARCH 2008)



NOTES:
 1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO PENNICHUCK WATER WORKS, INC. TECHNICAL SPECIFICATIONS.
 2. ALL WATER MAIN SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
 3. SEE DETAIL FOR TRENCH SPECIFICATIONS.
 4. SEE DETAIL FOR OUTSIDE SERVICE ENTRANCE SPECIFICATIONS.

UTILITY SEPARATION (MAIN) DETAIL
 (A-01)
 NOT TO SCALE
 (MARCH 2008)



NOTES:
 1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO PENNICHUCK WATER WORKS, INC. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
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 4. MIN 3x3x2 PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH PENNICHUCK WATER WORKS, INC. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN.

THRUST BLOCK BEHIND FITTINGS INSTALLATION
 (A-07)
 NOT TO SCALE
 (MARCH 2008)

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

CONSTRUCTION DETAILS
GOODWILL
 MAP 222; LOT 41
 9 WASON ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

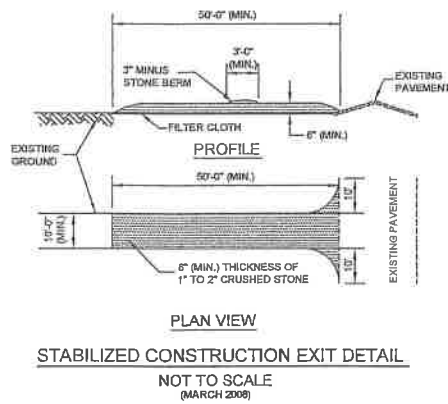
OWNER OF RECORD: MANUEL D. SOUSA ET. AL c/o STOP & SHOP SUPERMARKET 1385 HANCOCK STREET QUINCY, MA 02169 H.C.R.D. BK. 7178; PG. 233	APPLICANT: GOODWILL INDUSTRIES OF NORTHERN NEW ENGLAND 75 WASHINGTON AVENUE PORTLAND, ME 04101
---	---

KMA KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 2B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/16/14	REV. PER ENGINEERING REVIEW	KMB

DATE: FEBRUARY 5, 2014 SCALE: AS SHOWN
 PROJECT NO: 13-1216-2 SHEET 10 OF 11

P:_project\131216\131216.dwg(131216-08)TALES-REV1.dwg, 4/23/2014 9:44:24 AM, rtd



STABILIZED CONSTRUCTION EXIT DETAIL
NOT TO SCALE
(MARCH 2009)

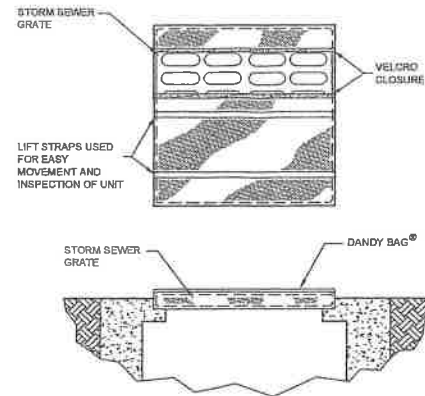
MAINTENANCE:

MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE CRUSHED STONE AND THE EFFECTIVENESS OF THE CRUSHED STONE PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW CRUSHED STONE OR COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.

IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

CONSTRUCTION SPECIFICATIONS:

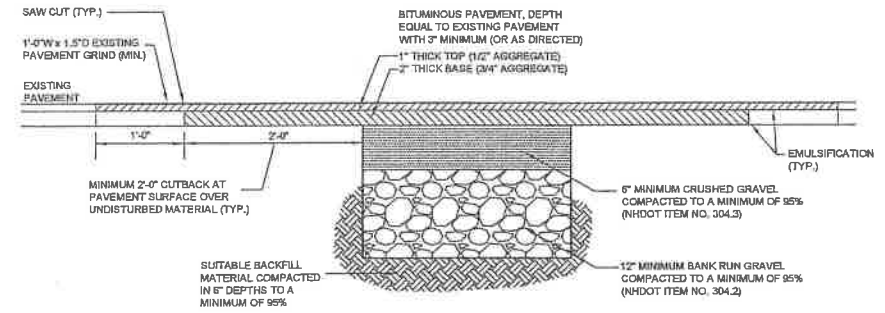
- STONE FOR A STABILIZED CONSTRUCTION EXIT SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED EXIT SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THE THICKNESS OF THE STONE FOR THE STABILIZED EXIT SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE EXIT SHALL NOT BE LESS THAN THE FULL WIDTH OF THE AREA WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION EXIT SHALL BE PIPED BENEATH THE EXIT. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.



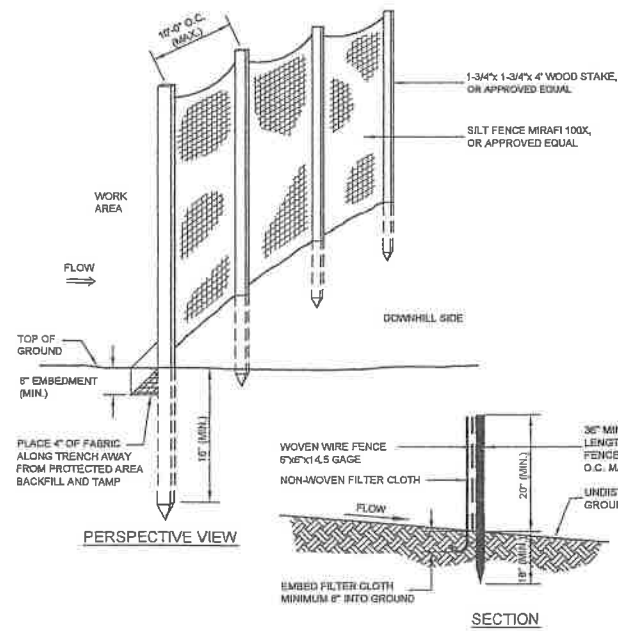
HI-FLOW DANDY BAG® (SAFETY ORANGE)

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	kN (lbs)	1.62 (365) x 0.89 (200)
GRAB TENSILE ELONGATION	ASTM D 4632	%	24 x 10
PUNCTURE STRENGTH	ASTM D 4633	kN (lbs)	0.40 (90)
MULLER BURST STRENGTH	ASTM D 3786	kPa (psi)	3097 (450)
TRAPEZOID TEAR STRENGTH	ASTM D 4533	kN (lbs)	0.51 (115) x 0.33 (75)
UV RESISTANCE	ASTM D 4355	%	90
APPARENT OPENING SIZE	ASTM D 4751	Min (30 Mic Sieve)	0.425 (100)
FLOW RATE	ASTM D 4491	Flowrate (gpm/inch ²)	5567 (145)
PERMITTIVITY	ASTM D 4491	Sec ⁻¹	2.1

DANDY BAG®
NOT TO SCALE
(APRIL 2010)



PERMANENT PAVEMENT REMOVAL AND REPAIR DETAIL
NOT TO SCALE



SILT FENCE DETAIL
NOT TO SCALE
(MARCH 2009)

CONSTRUCTION SPECIFICATIONS:

- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIE OR STAPLES WHERE NOTED OR AS DIRECTED BY DESIGN ENGINEER.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MIDSECTION AND BOTTOM.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
- FENCE POSTS SHALL BE A MINIMUM OF 30 INCHES LONG AND DRIVEN A MINIMUM OF 18 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

MAINTENANCE:

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

CONSTRUCTION DETAILS

GOODWILL

MAP 222; LOT 41
9 WASON ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
MANUEL D. SOUSA ET. AL
c/o STOP & SHOP SUPERMARKET
1385 HANCOCK STREET
QUINCY, MA 02169
H.C.R.D. BK. 7176; PG. 233

APPLICANT:
GOODWILL INDUSTRIES OF
NORTHERN NEW ENGLAND
75 WASHINGTON AVENUE
PORTLAND, ME 04101

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2801



REVISIONS			
No.	DATE	DESCRIPTION	BY
1	04/16/14	REV. PER ENGINEERING REVIEW	KMB

DATE: FEBRUARY 5, 2014 SCALE: AS SHOWN
PROJECT NO: 13-1216-2 SHEET 11 OF 11

Prime Motor Group Site Plan

Staff Report
May 14, 2014

SITE: 201 Lowell Road -- Map 216/Lot 011 -- SP# 06-14

ZONING: Business (B)

PURPOSE OF PLAN: Site development for expanded vehicle display area. Application Acceptance & Hearing.

On Monday, May 3d, the applicant informed staff that he planned to significantly revise the Site Plan, and that the revised plans would not be available until later this week. This issue, which also includes major stormwater design and engineering modifications, has resulted in the need for the applicant to request postponement of the initial public hearing - scheduled for Wednesday night, May 14th.

To the effect of the above issue, the applicant has requested, in writing (see below email), for the board to postpone the initial hearing on this application, date specific, to the May 28th meeting. Below, staff has provided a DRAFT MOTION for this request.

DRAFT MOTION:

I move for the Planning Board, per the applicant's written request (see email in file) to postpone the scheduled public hearing on the 201 Lowell Rd. Site Plan application, Map 216/Lot 011, date specific, to the May 28, 2014 Planning Board meeting.

Motion by: _____ Second: _____ Carried/Failed: _____.

John,

We respectfully request that Planning Board consideration of the site development plan be withdrawn from the May 14 agenda.

Thank you.

George Fredette
(603) 801-1478

141 & 137 Belknap Road LLR

Staff Report

April 14, 2014

SITE: 141 & 137 Belknap Road Map 184/Lots 26 & 27 SB# 03-14

ZONING: R-2 and General (G) Zoning Districts.

PURPOSE OF PLAN: To relocate lot line between lot 26 & lot 27 on Belknap Road. No development proposed at this time. Application Acceptance & Hearing.

PLAN UNDER REVIEW ENTITLED: 141 and 137 Belknap Road, Hudson, NH 03051, prepared by Maynard & Paquette, Engineering Associates, Inc. 23 East Pearl St., Nashua, NH 03060 dated: Jan. 20, 2014 (no revision date), consisting of Sheets 1 & 2 and Notes 1 – 9 (said plans is attached hereto).

ATTACHMENTS:

- 1) Lot Line Relocation Plan application, date stamped 04/17/14 - Attachment "A".
- 2) Comment Reports from Zoning, Assessing, Highway and Fire – "B".

REQUESTED WAIVERS:

- HTC 289 – 26(B)4 – Utilities

APPLICATION TRACKING:

1. 04/17/14 - Application submitted.
2. 05/14/14 - Public Hearing scheduled.

OUTSTANDING ISSUES & RECOMMENDED ACTION:

With no development presently proposed involving this plan, no outstanding issues are involved with this application. That is, except the following:

1. The plan shows proposed new Lot 26 (141 Belknap Rd.) having 102,631 sf (2.35 acres) and 151.89 ft. of frontage and Lot 27 (137 Belknap Rd.) having 662,753 sf (15.21 acres) and 264.62 ft. of frontage. Please see Note 5 on Sheet 1 for additional lot size information.
2. Please note, one change regarding Lot Line Relocation (LLR) plans (only) is the provision requested by the Asst. Assessor, Jim Michaud, and assented to by Town Counsel: i.e., prior to Planning Board endorsement of such plans, that new deeds be submitted for the particular lots shown on the plan, and for said deeds to be recorded with the approved plan, the Decision of Approval, etc. To this effect, the below DRAFT MOTION of approval includes as one of its terms of approval said deed provision. Note: in regard to the present plan, which was prepared by Richard Maynard, he stated to this author that the aforementioned provision is important to implement, and as such, he will be happy to submit the new deeds associated with the present plan, as well as any succeeding LLR plans he submits to the board in the future.

3. In addition to the above, Sheet 2 of 2 of this plan set erroneously includes two additional waivers, i.e., in addition to the single one regarding utilities inscribed on Sheet 1. Please disregard these waivers, namely, Traffic and Fiscal Impact, which will be deleted from the plan set prior to Planning Board endorsement of same.

DRAFT MOTIONS:

I move to accept the LLR Plan application for 141 & 137 Belknap Rd, Map 184/Lots 26 & 27.

Motion by: _____ Second: _____ Carried/Failed: _____.

REQUESTED WAIVER:

- HTC 289 – 26(B)4 - Utilities

I move to grant the requested waiver - HTC 289 – 26(B)4 – Utilities - because no construction activities are planned with this application, and as such, the need to provide utility detail for the subject lots is not required, hence, the granting of this waiver is not contrary to the spirit and intent of the Site Plan regulations.

Motion by: _____ Second: _____ Carried/Failed: _____.

MOTION TO APPROVE:

I move to approve the Lot Line Relocation Plan entitled: 141 and 137 Belknap Road, Hudson, NH 03051, prepared by Maynard & Paquette, Engineering Associates, Inc. 23 East Pearl St., Nashua, NH 03060 dated: Jan. 20, 2014 (no revision date), consisting of Sheets 1 & 2 and Notes 1 – 9, in accordance with the following terms and conditions:

1. All stipulations of approval shall be incorporated into the Decision of Approval, which shall be recorded at the HCRD, together with the Plan.
2. Prior to Planning Board endorsement of the Plan, deeds for the newly configured Lots 26 & 27 shall be submitted and recorded at the HCRD, together with the aforementioned Plan and Decision Notice of Approval.
3. All monumentation shall be set or bonded prior to the Planning Board endorsing the Plan-of-Record.

Motion by: _____ Second: _____ Carried/Failed: _____.

**LOT LINE RELOCATION APPLICATION FOR REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: JAN 31, 2014 Tax Map # 184 Lot # 26 + 27
 Name of Project: LOT LINE RELOCATION - ~~LOT~~ 141 + 137 BELKNAP RD
 Zoning District: R-2 AND G General SB# 03-14
 (For Town Use) (For Town Use)
 Z.B.A. Action: NOT APPLICABLE

PROPERTY OWNER:

Name: JOHN J. MCCARTHY
 Address: 141 BELKNAP RD
 Address: HUDSON NH 03051
 Telephone # _____
 Fax # _____
 Email: _____

DEVELOPER:

PROPERTY OWNER
DEER CREEK DEVELOPMENT LLC
32 EXECUTIVE DRIVE
HUDSON, NH 03051

PROJECT ENGINEER

Name: MAYNARD + PROUETTE ENGINEERING
 Address: 23 EAST PEARL ST
 Address: NASHUA NH 03060

Telephone # 603 883 8384
 Fax # 603 883 7227
 Email: MPEA.LLC@AOL.COM

PURPOSE OF PLAN:

RELOCATE LOT LINE BETWEEN LOT 26 + LOT 27
ON BELKNAP ROAD, NO DEVELOPMENT PROPOSED
AT THIS TIME

(FOR TOWN USE)

Plan Routing Date: _____ Sub/Site Date: _____
 I have no comments I have comments (attach to form)
 Title: _____ Date: _____
 (Initials)
Department:
 Zoning Engineering Assessor Police Fire Planning
 Consultant Highway Department

 Fees Paid _____



LOT LINE RELOCATION DATA SHEET

Plan Name: 141 + 137 BELKNAP ROAD

Plan Type: Lot Line Relocation Plan

Legal Description: Map 184 Lot 26
Map 184 Lot 27

Date: _____

Location: 137 + 141 BELKNAP RD

Total Area: S.F. 265,383 Acres: 17 1/2

Area in Wetlands: 200,000 +/- AND 26,000 +/-

Zoning: R-2 AND G

Lots Not Meeting
Required Dimensions: NONE

Required Area: 43,560

Required Frontage: 150

Water and Waste System
Proposed: YES TOWN / PCW (FUTURE)

Number of Lots With
Existing Buildings: TWO / ONE TO BE RAZED

Existing Buildings
To Be Removed: ONE

Flood Zone Reference: N/A

Proposed Linear Feet
Of New Roadway: NONE

LOT LINE RELOCATION DATA SHEET

Dates/Case #/Description:

N/A

Stipulations of ZBA,
(Attach Copies of Stipulations on
Separate Sheet)

NH Wetlands Board Action:

N/A

No Objections

Conservation Commission Recommendation:

N/A

List Permits Required:

None

No NEW CONSTRUCTION

AT THIS TIME

**APPLICATION FOR LOT LINE RELOCATION
TOWN OF HUDSON, NEW HAMPSHIRE**

I hereby apply for Lot Line Relocation Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Lot Line Relocation Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s), by the filing of this application as indicated above, hereby give permission for any member of the Hudson Planning Board, the Town Engineer, the Conservation Commission and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: _____
John J. McCarthy

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

~~Signature of Developer:~~ ^{OWNER} Deer Creek Development, LLC by: Jeffrey A. Zall

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The individual in charge of the project must notify the Code Enforcement Officer/Building Inspector within two (2) working days of any change.

Technical Review Signature: _____

Planner Approval Signature: _____

APPLICATION IS DUE AT 10:00 A.M. Tuesday the week prior to the Planning Board Meeting. Any applications/materials received after that time will be deferred until the next available meeting.

LOT LINE RELOCATION WAIVER REQUEST FORM

Name of the Lot Line Relocation Plan: 137 & 141 BEEKNAP RD

Street Address: JANIE

I _____ hereby request that the Planning Board waive the requirements of item HTC 289-2634 of the Lot Line Relocation Plan Checklist in reference to a plan presented by MAYNARD F PAQUETTE ENG'S ASSOC, LLC (name of surveyor and engineer) dated _____ for property tax map(s) 189 and lot(s) 26 & 27 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

NO DEVELOPMENT PROPOSED AT THIS TIME
AND OFF SITE UTILITIES ARE IRRELEVANT

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

NO DEVELOPMENT PROPOSED, NOT RELEVANT TO
THIS LAND EXCHANGE

Signed: Richard M. Mearns
Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

**APPLICATION FOR LOT LINE RELOCATION
TOWN OF HUDSON, NEW HAMPSHIRE**

SCHEDULE OF FEES

A. REVIEW FEES

1. \$170.00 per lot

\$ 340

Legal Fees: The applicant shall be charged attorney costs billed to the Town for Town's attorney review of any application plan set documents.

B. POSTAGE

Current "certified mail" postage rate per abutter to proposed site plan and current first class postage rate per property owner within 200 feet of proposed site plan.

12 Direct abutters @ \$3.56 each (certified mail)

\$ 42.72

8 Indirect property owners w/in 200 feet @\$.46 each (first class)

\$ 3.68

C. ADVERTISING

(PUBLIC NOTICE) For all Lot Line Relocations

\$ 40.00

D. TAX MAP UPDATE FEE

2 to 7 lots (# of lots x \$30.00) + \$25.00 (min. \$85.00)

\$ 85.00

8 lots or more (min. \$325.00)

\$

TOTAL

\$ 511.40

**APPLICATION FOR LOT LINE RELOCATION
TOWN OF HUDSON, NEW HAMPSHIRE**

**SCHEDULE OF FEES
(CONTINUED)**

AMOUNT DUE	\$ _____	DATE RECEIVED	_____
AMOUNT RECEIVED	\$ _____	RECEIPT NO.	_____
		RECEIVED BY	_____

E. RECORDING FEES

The applicant shall pay the costs of recording the final plan layout prior to final subdivision recording, in accordance with fees established by the County.

Recording of Plan	@ \$24.00/sheet + \$2.00/surcharge/Plan	\$ <u>26.00</u>
Land & Community Heritage Investment Program (LCHIP) fee \$25.00		\$ <u>25.00</u>
Easements/Agreements (if applicable)	@ \$10.00/first sheet @ 4.00/each sheet thereafter + \$2.00/surcharge/doc. + first class return postage rate	\$ <u>14.00</u>
TOTAL		\$ <u>51.00</u>

PLEASE NOTE: Recording fees shall be computed when plans are finalized for recording. Recording fees must be paid by the applicant prior to recording.

The applicant shall be responsible for all fees incurred by the Town for processing and review of the applicant's application, plan and related materials. All such fees must be paid prior to recording.

F. COST ALLOCATION PROCEDURE AMOUNT CONTRIBUTION AND OTHER IMPACT FEE PAYMENTS

To be determined by vote of the Planning Board and paid by the applicant at time of application for the Certificate of Occupancy.

LOT LINE RELOCATION APPLICATION FOR REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: JAN 31, 2014 Tax Map # 184 Lot # 26 + 27
Name of Project: LOT LINE RELOCATION - ~~141~~ 141 + 137 BELKNAP RD
Zoning District: R-2 AND G General SB# 03-14
(For Town Use) (For Town Use)
Z.B.A. Action: NOT APPLICABLE

PROPERTY OWNER:

Name: JOHN J. MCCARTHY
Address: 141 BELKNAP RD
Address: HUDSON NH 03051
Telephone # _____
Fax # _____
Email: _____

DEVELOPER: PROPERTY OWNER
DEER CREEK DEVELOPMENT LLC
32 EXECUTIVE DRIVE
HUDSON, NH 03051

PROJECT ENGINEER

Name: MAYNARD + PEARL ENGINEERING
Address: 23 EAST PEARL ST
Address: NASHUA NH 03060

Telephone # 603 883 8384
Fax # 603 883 7227
Email: M.PEARL@AOL.COM

PURPOSE OF PLAN:

RELOCATE LOT LINE BETWEEN LOT 26 + LOT 27
ON BELKNAP ROAD, NO DEVELOPMENT PROPOSED
AT THIS TIME

(FOR TOWN USE)

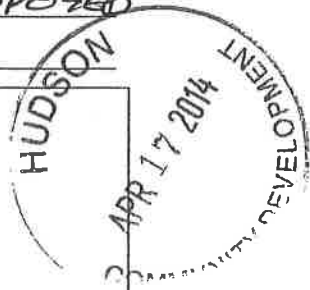
Plan Routing Date: 4-18-14 Sub/Site Date: 5-14-14 *pb mto.*

I have no comments I have comments (attach to form)

MAO Title: ZA Date: _____
(Initials)

Department:
____ Zoning ____ Engineering ____ Assessor ____ Police ____ Fire ____ Planning
____ Consultant ____ Highway Department

Fees Paid _____



**LOT LINE RELOCATION APPLICATION FOR REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: JAN 31, 2014 Tax Map # 184 Lot # 26 + 27
 Name of Project: LOT LINE RELOCATION - ~~LOT~~ 1A1 + P37 PELKNAP RD
 Zoning District: R-2 AND G General SB# 03-14
 (For Town Use) (For Town Use)
 Z.B.A. Action: NOT APPLICABLE

PROPERTY OWNER:

Name: JOHN J. MCCARTHY
 Address: 141 PELKNAP RD
 Address: HUDSON NH 03051
 Telephone # _____
 Fax # _____
 Email: _____

DEVELOPER:

PROPERTY OWNER
DEER CREEK DEVELOPMENT LLC
32 EXECUTIVE DRIVE
HUDSON, NH 03051

PROJECT ENGINEER

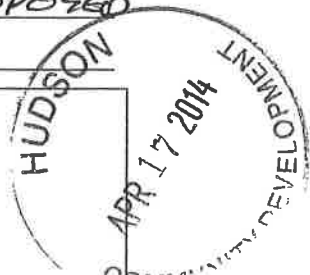
Name: MAIWARD + PRODUCTS ENGINEERING
 Address: 23 EAST PEARL ST
 Address: NASHUA NH 03060

Telephone # 603 883 8384
 Fax # 603 883 7227
 Email: MPEA.LLC@AOL.COM

PURPOSE OF PLAN:

RELOCATE LOT LINE BETWEEN LOT 26 + LOT 27
ON PELKNAP ROAD, NO DEVELOPMENT PROPOSED
AT THIS TIME

(FOR TOWN USE)	
Plan Routing Date: <u>4-18-14</u>	Sub/Site Date: <u>5-14-14</u>
<input type="checkbox"/> I have no comments	<input checked="" type="checkbox"/> I have comments (attach to form)
Title: <u>ASST-ASSESSOR</u> (Initials)	Date: <u>4-22-14</u>
<u>Department:</u>	
<input type="checkbox"/> Zoning	<input type="checkbox"/> Engineering
<input type="checkbox"/> Assessor	<input type="checkbox"/> Police
<input type="checkbox"/> Fire	<input type="checkbox"/> Planning
<input type="checkbox"/> Consultant	<input type="checkbox"/> Highway Department
Fees Paid _____	



Please ensure that deeds transferring the land from 1 lot to the next are required as a condition of approval & that the plan and deed get recorded simultaneously. We have seen issues on this before. In

**LOT LINE RELOCATION APPLICATION FOR REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

Date of Application: JAN 31, 2014 Tax Map # 184 Lot # 26 + 27
 Name of Project: LOT LINE RELOCATION - ~~LOT~~ 1A1 + P37 BELKNAP RD
 Zoning District: R-2 AND G General SB# 03-14
 (For Town Use) (For Town Use)
 Z.B.A. Action: NOT APPLICABLE

PROPERTY OWNER:

Name: JOHN J. MCCARTHY
 Address: 141 BELKNAP RD
 Address: HUDSON NH 03051
 Telephone # _____
 Fax # _____
 Email: _____

DEVELOPER: PROPERTY OWNER

DEER CREEK DEVELOPMENT LLC
32 EXECUTIVE DRIVE
HUDSON, NH 03051
 Telephone # _____
 Fax # _____
 Email: _____

PROJECT ENGINEER

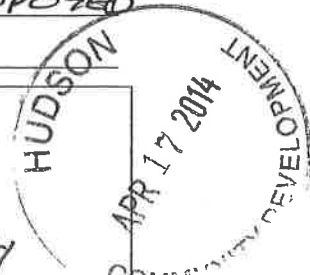
Name: MAYNARD + PAVOLITE ENGINEERING
 Address: 23 EAST PEARL ST
 Address: NASHUA NH 03060

Telephone # 603 883 8384
 Fax # 603 883 7227
 Email: M.PE@LLC@AOL.COM

PURPOSE OF PLAN:

RELOCATE LOT LINE BETWEEN LOT 26 + LOT 27
ON BELKNAP ROAD, NO DEVELOPMENT PROPOSED
AT THIS TIME

<small>(FOR TOWN USE)</small>	
Plan Routing Date: <u>4-18-14</u>	Sub Site Date: <u>5-14-14</u>
<input checked="" type="checkbox"/> I have no comments	<input type="checkbox"/> I have comments (attach to form)
Initials: <u>KB</u> Title: <u>ROAD BLKNT</u>	Date: <u>4/22/14</u>
<u>Department:</u>	
<input type="checkbox"/> Zoning	<input type="checkbox"/> Engineering
<input type="checkbox"/> Assessor	<input type="checkbox"/> Police
<input type="checkbox"/> Fire	<input type="checkbox"/> Planning
<input type="checkbox"/> Consultant	<input type="checkbox"/> Highway Department
Fees Paid _____	



LOT LINE RELOCATION APPLICATION FOR REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE

Date of Application: JAN 31, 2014 Tax Map # 184 Lot # 26 + 27
Name of Project: LOT LINE RELOCATION - ~~FOR~~ 141 + 137 BELKNAP RD
Zoning District: R-2 AND G General SB# 03-14
(For Town Use) (For Town Use)
Z.B.A. Action: NOT APPLICABLE

PROPERTY OWNER:

Name: JOHN J. MCCARTHY
Address: 141 BELKNAP RD
Address: HUDSON NH 03051
Telephone # _____
Fax # _____
Email: _____

DEVELOPER: PROPERTY OWNER

DEER CREEK DEVELOPMENT LLC
32 EXECUTIVE DRIVE
HUDSON, NH 03051

PROJECT ENGINEER

Name: MAYNARD + PARDUE ENGINEERING
Address: 23 EAST PEARL ST
Address: NASHUA NH 03060

Telephone # 603 883 8384
Fax # 603 883 7227
Email: M.PEA.LLC@AOL.COM

PURPOSE OF PLAN:

RELOCATE LOT LINE BETWEEN LOT 26 + LOT 27
ON BELKNAP ROAD, NO DEVELOPMENT PROPOSED
AT THIS TIME

(FOR TOWN USE)

Plan Routing Date: 4-18-14 Sub/Site Date: 5-14-14

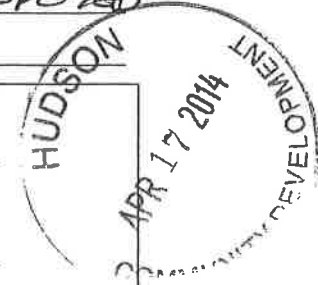
I have no comments I have comments (attach to form)

Job Title: Deputy Fire Chief Date: 25 APR 14
(Initials)

Department:

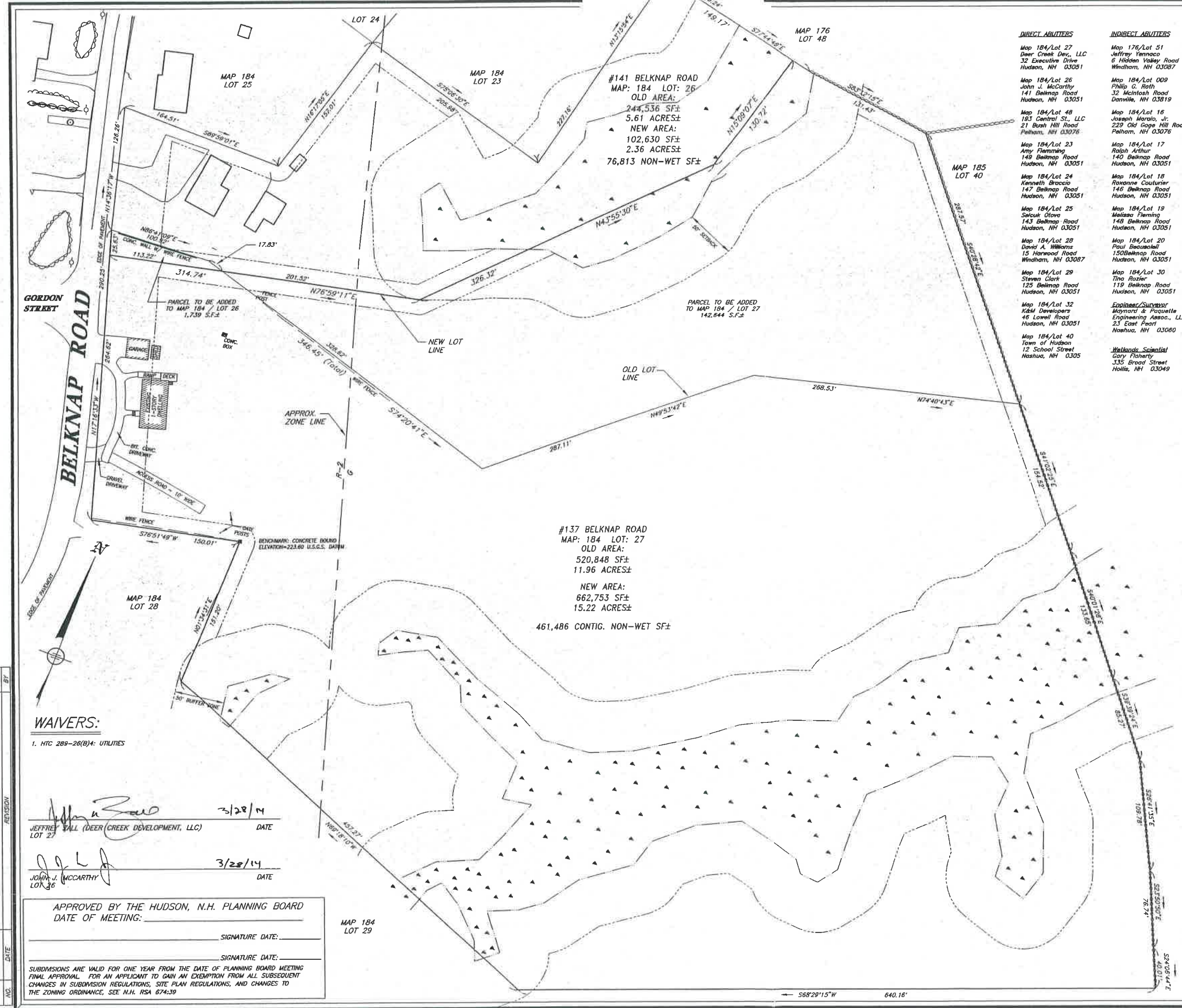
Zoning Engineering Assessor Police Fire Planning
 Consultant Highway Department

Fees Paid _____

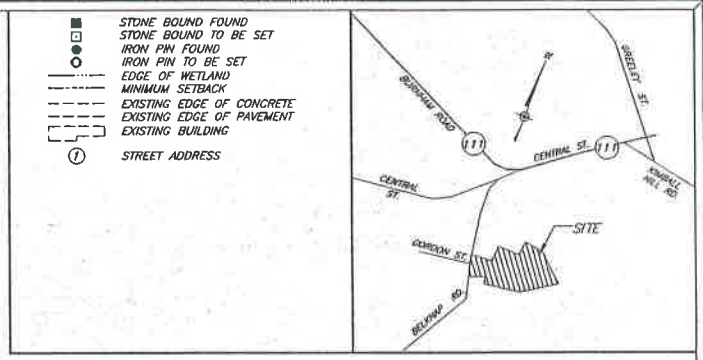


RECEIVED
APR 21 2014

BY:



- DIRECT ADJUTERS**
- Map 184/Lot 27
Deer Creek Dev., LLC
32 Executive Drive
Hudson, NH 03051
 - Map 184/Lot 26
John J. McCarthy
141 Belknap Road
Hudson, NH 03051
 - Map 184/Lot 49
183 Central St. LLC
21 Bush Hill Road
Pelham, NH 03076
 - Map 184/Lot 23
Amy Flemming
149 Belknap Road
Hudson, NH 03051
 - Map 184/Lot 24
Kenneth Braccio
147 Belknap Road
Hudson, NH 03051
 - Map 184/Lot 25
Sejuk Olwe
143 Belknap Road
Hudson, NH 03051
 - Map 184/Lot 28
David A. Williams
15 Hornwood Road
Windham, NH 03087
 - Map 184/Lot 29
Steven Clark
125 Belknap Road
Hudson, NH 03051
 - Map 184/Lot 32
K&M Developers
46 Lowell Road
Hudson, NH 03051
 - Map 184/Lot 40
Town of Hudson
12 School Street
Nashua, NH 03060
- INDIRECT ADJUTERS**
- Map 176/Lot 51
Jeffrey Yannaco
6 Hidden Valley Road
Windham, NH 03087
 - Map 184/Lot 009
Philip G. Roth
32 McIntosh Road
Danville, NH 03819
 - Map 184/Lot 16
Joseph Marzio, Jr.
229 Old Gage Hill Road
Pelham, NH 03076
 - Map 184/Lot 17
Ralph Arthur
140 Belknap Road
Hudson, NH 03051
 - Map 184/Lot 18
Ronanne Coulterier
146 Belknap Road
Hudson, NH 03051
 - Map 184/Lot 19
Melissa Fleming
148 Belknap Road
Hudson, NH 03051
 - Map 184/Lot 20
Paul Beauvoile
150 Belknap Road
Hudson, NH 03051
 - Map 184/Lot 30
Tina Rozier
119 Belknap Road
Hudson, NH 03051
- Engineer/Supervisor**
Maynard & Paquette
Engineering Assoc., LLC
23 East Pearl
Nashua, NH 03060
- Wetlands Scientist**
Gary Flaherty
City Planner
335 Broad Street
Hollis, NH 03049



LEGEND
 STONE BOUND FOUND
 STONE BOUND TO BE SET
 IRON PIN FOUND
 IRON PIN TO BE SET
 EDGE OF WETLAND
 MINIMUM SETBACK
 EXISTING EDGE OF CONCRETE
 EXISTING EDGE OF PAVEMENT
 EXISTING BUILDING
 STREET ADDRESS

- NOTES:**
- PRESENT ZONING: RESIDENTIAL R-2, GENERAL G-1
 - EXISTING & PROPOSED USE: LOT 26: RESIDENTIAL LOT 27: RESIDENTIAL
 - THE PURPOSE OF THIS PLAN IS TO RELOCATE THE EXISTING LOT LINE BETWEEN MAP 184/LOT 26 AND MAP 184/LOT 27.
 - TOTAL LOT AREA (LOTS 26 & 27): 765,384 S.F. = 17.57 AC.
 - AREA OF EXCHANGE:

	OLD AREA	NEW AREA	AREA OF EXCHANGE
LOT 26:	244,536 S.F.	102,631 S.F.	-141,905 S.F.
LOT 27:	520,848 S.F.	662,753 S.F.	+141,905 S.F.
TOTALS:	765,383 S.F.	765,383 S.F.	0 S.F.
 - DIMENSIONAL REQUIREMENTS R-2 / G-1 (AS REQUIRED AND PROPOSED):

	LOT 26	LOT 27
MINIMUM LOT AREA:	43,560 S.F.	102,631 S.F.
FRONT YARD SETBACK:	30 FT.	30 FT.
SIDE YARD SETBACK:	15 FT.	15 FT.
REAR YARD SETBACK:	15 FT.	15 FT.
MIN. LOT FRONTAGE:	150 FT.	150.58 FT.
 - EACH LOT CONTAINS AT LEAST 1 ACRE OF USABLE LAND AND A MINIMUM OF 35,000 S.F. OF CONTIGUOUS, USABLE LAND FREE OF WETLANDS AND STEEP SLOPES.
 - IRON PINS TO BE SET AT ALL NEW LOT CORNERS BY A LICENSED LAND SURVEYOR.
 - EXISTING HOUSES ON BOTH LOTS SERVICED BY TOWN WATER AND SEWER.



- PLAN REFERENCES:**
- BOUNDARY PLAN LOT 20-27 DORIS & LOUIS PASKALI, BELKNAP ROAD, HUDSON, NH. DATED DEC. 16, 1983 BY GEROME F. KELLER, INC. FILED HC RD AS PLAN No. 27773.
 - SUBDIVISION PLAN - MAP MAP 20 / LOT 1, CLARK SUBDIVISION BELKNAP ROAD, HUDSON, NH DATED AUG. 26, 1994 BY MAYNARD & PAQUETTE INC. FILED HC RD AS PLAN No. 27671.

I CERTIFY THAT THIS PLAN WAS PREPARED FROM BOUNDARY INFORMATION SHOWN ON PLAN REFERENCES 1 & 2 AND A FIELD SURVEY LAST MADE ON THE GROUND IN DECEMBER 2014 HAVING A MAXIMUM ERROR OF CLOSURE OF 1:10,000.

JURISDICTIONAL WETLANDS LAST IDENTIFIED AND DELINEATED IN DECEMBER 2014 BY GARY FLAHERTY CWS - NH CERTIFIED WETLAND SCIENTIST #002

LOT LINE RELOCATION PLAN - MAP 184 / LOTS 26 & 27
141 & 137 BELKNAP ROAD
HUDSON, NEW HAMPSHIRE
 PREPARED FOR (OWNER OF RECORD):
 DEER CREEK DEVELOPMENT, LLC
 32 EXECUTIVE DRIVE
 HUDSON, NH 03051
 SCALE: 1" = 50' DATE: JANUARY 20, 2014

ENGINEERING ASSOCIATES, LLC
 Consulting Engineers and Land Surveyors
 23 East Pearl Street, Nashua, NH 03060
 Phone: (603)883-8433 Fax: (603)883-7227

JWY	JWY	CHECKED	APPROVED	BOOK & PAGE	REVISION	SIZE	JOB NUMBER
						D	12391

WAIVERS:

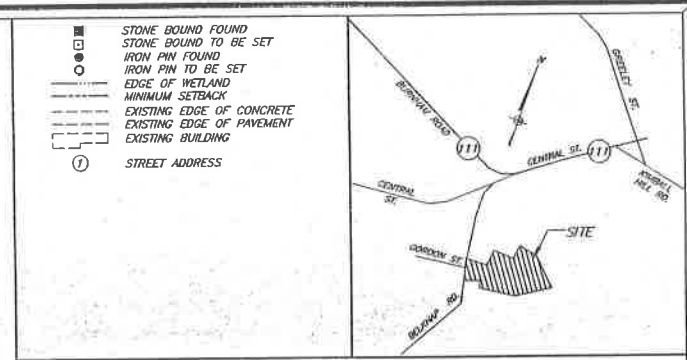
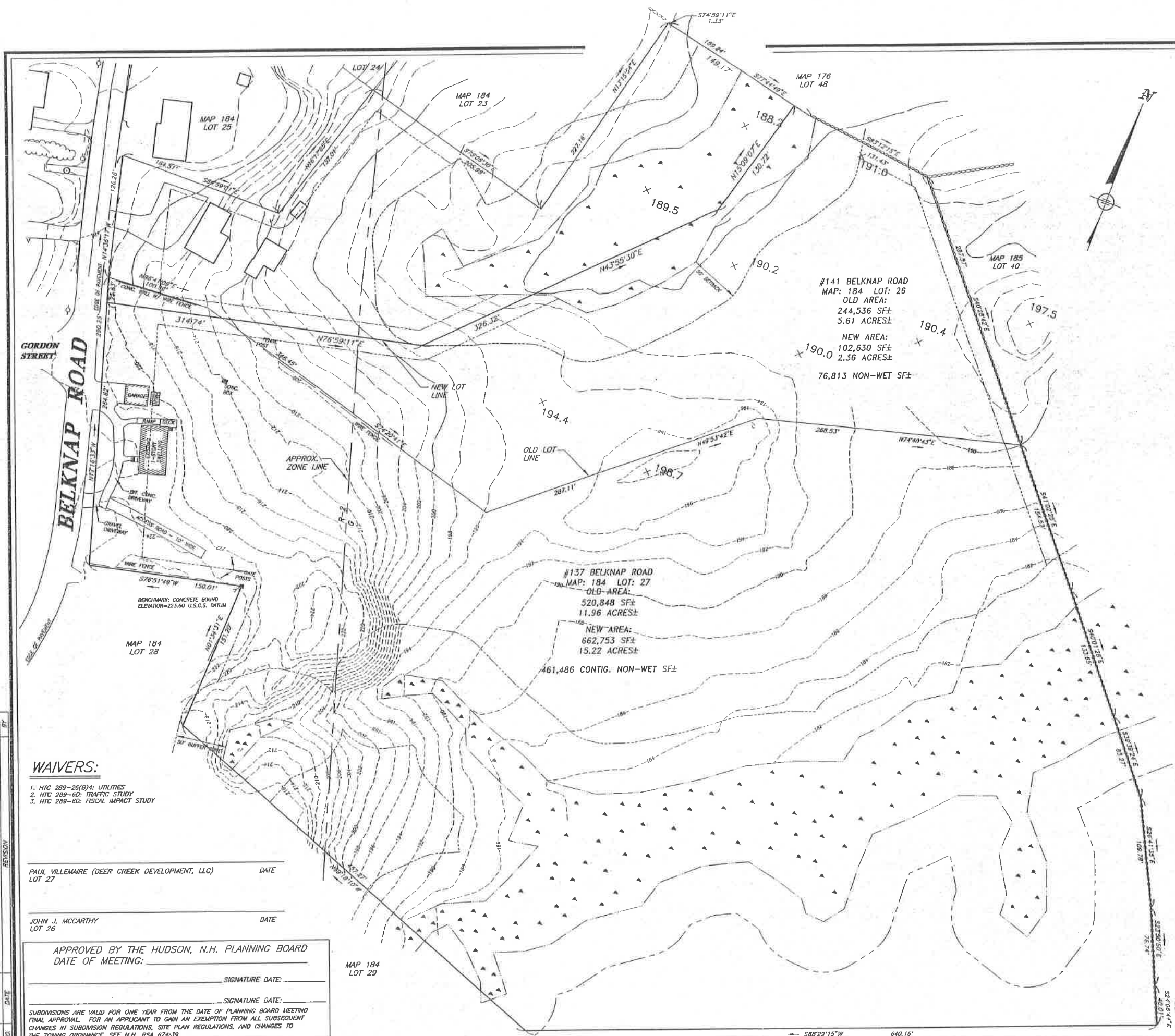
- HTC 289-26(B)4: UTILITIES

JEFFREY WALL (DEER CREEK DEVELOPMENT, LLC) DATE 2/28/14
 JOHN J. MCCARTHY DATE 3/28/14

APPROVED BY THE HUDSON, N.H. PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE DATE: _____
 SIGNATURE DATE: _____

SUBDIVISIONS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS, AND CHANGES TO THE ZONING ORDINANCE, SEE N.H. RSA 674:39

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 MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC
 ILLEGAL TO COPY THIS PLAN/PRINT WITHOUT WRITTEN PERMISSION.



LEGEND **VICINITY**

- NOTES:**
- PRESENT ZONING: RESIDENTIAL R-2, GENERAL G-1
 - EXISTING & PROPOSED USE: LOT 26: RESIDENTIAL LOT 27: RESIDENTIAL
 - THE PURPOSE OF THIS PLAN IS TO RELOCATE THE EXISTING LOT LINE BETWEEN MAP 184/LOT 26 AND MAP 184/LOT 27.
 - TOTAL LOT AREA (LOTS 2-33-7 & 2-33-8): 103,332 S.F. = 2.37 AC.
 - INDIVIDUAL LOTS ARE SERVICED BY ON-SITE PRIVATE WELLS AND SEPTIC SYSTEMS.
 - AREA OF EXCHANGE:

LOT 26:	OLD AREA	NEW AREA	AREA OF EXCHANGE
244,536 S.F.	102,631 S.F.	-141,905 S.F.	
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JURISDICTIONAL WETLANDS LAST IDENTIFIED AND DELINEATED IN DECEMBER 2014 BY GARY FLAHERTY CWS - NH CERTIFIED WETLAND SCIENTIST #002

LOT LINE RELOCATION PLAN - MAP 184 / LOTS 26 & 27
141 & 137 BELKNAP ROAD
HUDSON, NEW HAMPSHIRE

PREPARED FOR (OWNER OF RECORD):
 DEER CREEK DEVELOPMENT, LLC
 32 EXECUTIVE DRIVE
 HUDSON, NH 03051

SCALE: 1" = 50' DATE: JANUARY 20, 2014

ENGINEERING
MP ASSOCIATES
Maynard & Paquette
 Consulting Engineers and Land Surveyors
 23 East Pearl Street, Nashua, NH 03060
 Phone: (603)883-8433 Fax: (603)883-7227

JWY	JWY				D	12391
DESIGNED	DRAFTED	CHECKED	APPROVED	BOOK & PAGE	REVISION	SHEET

WAIVERS:

- HTC 289-26(b): UTILITIES
- HTC 289-60: TRAFFIC STUDY
- HTC 289-60: FISCAL IMPACT STUDY

PAUL VILLEMAIRE (DEER CREEK DEVELOPMENT, LLC) DATE _____

JOHN J. MCCARTHY DATE _____

APPROVED BY THE HUDSON, N.H. PLANNING BOARD
 DATE OF MEETING: _____

 SIGNATURE DATE: _____

 SIGNATURE DATE: _____

SUBDIVISIONS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL FOR AN APPLICANT TO OBTAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS, AND CHANGES TO THE ZONING ORDINANCE. SEE N.H. RSA 674:39

NO.	DATE	REVISION