



TOWN OF HUDSON

Planning Board

Timothy Malley, Chairman

Roger Coutu, Selectmen Liaison



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

PUBLIC MEETING TOWN OF HUDSON, NH JUNE 10, 2020

COVID-19 Meeting Procedure

Due to the Covid-19 pandemic, and pursuant to Governor Sununu's Executive Order #12, the Planning Board meeting will be using remote technology in addition to limited physical presence. The public is permitted to attend physically in accordance with CDC guidelines and Town policy.

To participate without attending physically, the meeting will be live-streamed through Hudson Community Television on Cable Channel 22 or through:

<http://www.hudsonctv.com/CablecastPublicSite/watch/2?channel=3>

To provide public input without attending physically, please email planning@hudsonnh.gov with your name, address, phone number and the agenda item you wish to speak on. If you don't have access to email, please call 603-886-6008. Those wishing to provide public input will be called during the public hearing in the order requests are received.

If you have any questions, please contact planning@hudsonnh.gov or 603-886-6008.

The Town of Hudson Planning Board will hold a regularly scheduled meeting on Wednesday, June 10, 2020 at 7:00 p.m. at the Community Center, 12 Lions Avenue. The following items will be on the agenda:

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES
- V. MINUTES OF PREVIOUS MEETING(S)
 - 13 May 2020 Meeting Minutes – Decisions
 - 27 May 2020 Meeting Minutes – Decisions
- VI. CORRESPONDENCE
 - A. Request for release of Tax Map Update Funds by Elvis Dhima, Town Engineer.



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12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

MINUTES/DECISIONS OF THE PLANNING BOARD MEETING DATE: MAY 13, 2020

In attendance = X	Alternate Seated = S	Partial Attendance = P	Excused Absence = E
Tim Malley Chair <input checked="" type="checkbox"/>	Jordan Ulery (Virtual) Vice-Chair <input checked="" type="checkbox"/>	William Collins Secretary <input checked="" type="checkbox"/>	Charlie Brackett Member <input checked="" type="checkbox"/> (Virtual)
Dillon Dumont Member <input checked="" type="checkbox"/>	Ed Van der Veen Member <input checked="" type="checkbox"/>	Elliott Veloso Alternate <input checked="" type="checkbox"/> (Virtual)	Roger Coutu Select. Rep <input checked="" type="checkbox"/> (Virtual)
Marilyn McGrath Alt. Select. Rep. <input type="checkbox"/> E <input type="checkbox"/>	Brian Groth Town Rep. <input checked="" type="checkbox"/>		

- I. CALL TO ORDER BY CHAIRPERSON AT 6:58 P.M.
- II. PLEDGE OF ALLEGIANCE

III. ROLL CALL

Due to COVID-19, Ulery, Brackett, Veloso, & Coutu attended the meeting virtually from home.

IV. SEATING OF ALTERNATES

None.

V. MINUTES OF PREVIOUS MEETING(S)

- 22 APRIL 20 Meeting Minutes – Decisions

Mr. Coutu moved to accept the 22 April 20 Meeting Minutes (as written/amended).

Motion seconded by Mr. Dumont. All in favor – motion carried by roll call 7/0/0.



TOWN OF HUDSON

Planning Board



Timothy Malley, Chairman Roger Coutu, Selectmen Liaison

12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

MINUTES/DECISIONS OF THE PLANNING BOARD MEETING DATE: MAY 13, 2020

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Tim Malley Chair <u> X </u>	Jordan Ulery (Virtual) Vice-Chair <u> X </u>	William Collins Secretary <u> X </u>	Charlie Brackett Member <u> X </u> (Virtual)
Dillon Dumont Member <u> X </u>	Ed Van der Veen Member <u> X </u>	Elliott Veloso Alternate <u> X </u> (Virtual)	Roger Coutu Select. Rep <u> X </u> (Virtual)
Marilyn McGrath Alt. Select. Rep. <u> E </u>	Brian Groth Town Rep. <u> X </u>		



- I. CALL TO ORDER BY CHAIRPERSON AT 6:58 P.M.
- II. PLEDGE OF ALLEGIANCE

III. ROLL CALL

Due to COVID-19, Ulery, Brackett, Veloso, & Coutu attended the meeting virtually from home.

IV. SEATING OF ALTERNATES

None.

V. MINUTES OF PREVIOUS MEETING(S)

- 22 APRIL 20 Meeting Minutes – Decisions

Mr. Coutu moved to accept the 22 April 20 Meeting Minutes (as written/amended).

Motion seconded by Mr. Dumont. All in favor – motion carried by roll call 7/0/0.

VI. NEW BUSINESS

A. Chapin Street Lot Line Relocation
SB# 08-20

1 Chapin Street
Map 190/Lot 109 & 109-001

Purpose of Plan: to relocate the lot line between Map 190/Lots 109 & 109-001.
Application Acceptance & Hearing.

Mr. Dumont moved to accept the lot line relocation application for 1 Chapin Street, Hudson, NH, Map 190/Lots 109-000, & 109-001.

Motion seconded by Mr. Collins. All in favor – motion carried by roll call 7/0/0.

Mr. Coutu moved to approve the Lot Line Relocation Plan, One Chapin Street; prepared by: Maynard & Paquette Engineering Associates, LLC, 31 Quincy St., Nashua, NH 03060; prepared for: Michael Shumsky & Ellen Bourassa, 16 Fulton St., Hudson, NH 03051; consisting of 1 Sheet and Notes 1-12 on Sheet 1, dated March 15, 2020; subject to, and revised per, the following stipulations:

1. The Notice of Decision shall be recorded at the HCRD.
2. This amendment remains subject to the conditions placed on the original Planning Board approval dated June 26, 2019 unless otherwise noted in this approval.
3. Approval of this plan shall be subject to final review by the Fire Department and Engineering Department.
4. Construction activities involving the proposed undeveloped lots shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday.
5. Correct Note 12 on Plan; should be listed as Note 11.

Motion seconded by Mr. Ulery. All in favor – motion carried by roll call 7/0/0.

B. Schaeffer Circle Lot Line Relocation
SB# 10-20

23 & 17 Schaeffer Circle
Map 253/Lots 017 & 018

Purpose of Plan: to relocate the lot line between Map 253/Lots 017 & 018.
Application Acceptance & Hearing.

Mr. Collins moved to accept the lot line relocation application for 17 & 23 Schaeffer Circle, Hudson, NH, Map 253/Lots 17 & 18.

Motion seconded by Mr. Coutu. All in favor – motion carried by roll call 7/0/0.

3. An LLS-certified as-built plan shall be provided to the Town prior to issuance of a Certificate of Occupancy.
4. Approval of this plan shall be subject to final review by the Fire Department and Engineering Department.
5. Construction activities involving the proposed undeveloped lots shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday.

Motion seconded by Mr. Ulery. All in favor – motion carried by roll call 7/0/0.
Mr. Van der Veen moved to approve reduced parking space size (9x18) on south side of parking area.

Motion seconded by Mr. Collins. All in favor – motion carried by roll call 7/0/0.

VII. OTHER BUSINESS

A. Development Agreement Revision – 161 Lowell Road

Mr. Collins moved to approve the additional passage to the development agreement as presented, for the development agreement between the Town of Hudson and Dakota Partners concerning the approved Subdivision SB# 02-19, and Site Plan SP# 03-19, at 161 Lowell Road, Hudson, NH.

Motion seconded by Mr. Dumont. All in favor – motion carried by roll call 7/0/0.

VIII. ADJOURNMENT

Motion to adjourn by Mr. Coutu. Seconded by Mr. Dumont. All in favor – motion carried by roll call.

Meeting adjourned at 8:35 p.m.

William Collins, Secretary

These minutes are in draft form and have not yet been approved by the Planning Board.



TOWN OF HUDSON

Planning Board



Timothy Malley, Chairman Roger Coutu, Selectmen Liaison

12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

MINUTES/DECISIONS OF THE PLANNING BOARD MEETING DATE: MAY 27, 2020

In attendance = X	Alternate Seated = S	Partial Attendance = P	Excused Absence = E
Tim Malley Chair <input checked="" type="checkbox"/>	Jordan Ulery Vice-Chair <input checked="" type="checkbox"/>	William Collins Secretary <input checked="" type="checkbox"/>	Charlie Brackett Member <input checked="" type="checkbox"/> (Virtual)
Dillon Dumont Member <input checked="" type="checkbox"/>	Ed Van der Veen Member <input checked="" type="checkbox"/>	Elliott Veloso Alternate <input checked="" type="checkbox"/>	Roger Coutu Select. Rep <input checked="" type="checkbox"/>
Marilyn McGrath Alt. Select. Rep. <input checked="" type="checkbox"/>	Brian Groth Town Rep. <input checked="" type="checkbox"/>	George Hall Alternate <input checked="" type="checkbox"/>	William Cole Alternate <input checked="" type="checkbox"/>



- I. CALL TO ORDER BY CHAIRPERSON AT 7:07P.M.
- II. PLEDGE OF ALLEGIANCE

III. ROLL CALL

Due to COVID-19, Mr. Brackett attended the meeting virtually from home.

IV. SEATING OF ALTERNATES

None.

V. NEW BUSINESS

- A. Hudson Logistics Center Subdivision Lowell & Steele Road
SB# 11-20 Map 234/Lots 5, 34 & 35, Map 239/Lot 1

Purpose of Plan: to show the dedication of a new subdivision road and the consolidation/subdivision/lot line adjustment of Map 234/Lots 005, 034 & 035, and Map 239/Lot 001. Application Acceptance & Hearing.

- B. Hudson Logistics Center Site Plan Lowell & Steele Road
SP# 04-20 Map 234/Lots 5, 34 & 35, Map 239/Lot 1

Purpose of plan: to propose commercial development consisting of three (3) new distribution and logistics buildings with associated access ways, parking, stormwater/drainage infrastructure and other site improvements. Application Acceptance & Hearing.

C. Hudson Logistics Center Conditional Use Permit Lowell & Steel Road
CU# 02-20 Map 234/Lots 5, 34 & 35, Map 239/Lot 1

Purpose of plan: to propose commercial development consisting of three (3) new distribution and logistics buildings and associated access ways, parking, stormwater/drainage infrastructure and other site improvements. Application Acceptance & Hearing.

Prior to deciding whether or not to accept jurisdiction over the application, Town Counsel recommends the Board first address the following waiver request:

1. §276-6 Table 1 – Fees. Due to the amount of the application fee (\$220,066.90), the applicant is requesting to pay the fee in three (3) installments, the first of which has been submitted.

Mr. Ulery moved to grant a waiver from §276-6 table 1 – Fees, based on the Board’s discussion, the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver and in accordance with the following stipulation:

- The Applicant shall be permitted to pay the fees in three (3) equal installments, with the first payment being due prior to Planning Board first meeting at which it will consider acceptance, the second payment being due prior to the Planning Board’s second meeting, and the third payment being due prior to the Planning Board’s third meeting, time being of the essence with regard to prompt payment of each installment. Payments shall be received by the Town 10 days prior to the project being on a Planning Board meeting agenda. Prompt payment of these installments is a necessary condition of continued review by the Town. Failure to adhere to timely payment of any installment may result in denial of the application.

Motion seconded by Mr. Van der Veen. All in favor - Motion carried 7/0/0.

Mr. Dumont moved to accept jurisdiction over the subdivision, site plan, and conditional use permit applications for 43 Steele Road, Hudson, NH, Map 234/Lots 5, 34, & 35, and Map 239/Lot 1.

Motion seconded by Mr. Ulery. All in favor – motion carried 7/0/0.

Recess started @ 8:35PM, and ended @ 9:00PM.

Note: Planning Board minutes are not a transcript. For full details on public input comments, please view the meeting on HCTV (Hudson Community Television). The following is a record of who spoke and their primary question/comment.

Public hearing opened @ 9:00PM:

Physical Attendance:

- Gene Porter – 77 Concord Street, Nashua, NH, Chairman, Lower Merrimack River Local Advisory Committee – Wetland Aspect of Project, Boat Ramp
- Jim Dobens – 4 Eagle Drive, Hudson, NH – Site Buffer, Nighttime Noise Study
- Bob Costello – 17 Fairway Drive, Hudson, NH – River Contamination
- Paul Groleau – 18 Fairway Drive, Hudson, NH – Noise
- Phillip Volk – 15 Fairway Drive, Hudson, NH – Air Quality/Traffic Study
- James Crowley – 4 Fairway Drive, Hudson, NH – Waiver Requests for cul-de-sac length and parking space size
- Joe Dipilato – 12 Eagle Drive, Hudson, NH – Better rendition of proposed site
- Kathleen Leary – 8 Par Lane, Hudson, NH – Jobs/Sewer/Water/Fueling/Chemicals
- Richard Lebourdais – 23 Fairway Drive, Hudson, NH – Pollution
- Paula Michalski – 1 Rena Avenue, Hudson, NH – Lowell Rd Noise
- Joanne Walsh – 2 Eagle Drive, Hudson, NH – Blasting, effects thereof
- Dean Sakatti – 11 Fairway Drive, Hudson, NH – developer performance
- Jim Will – 25 Chalifoux Road, Hudson, NH – Fuel Leak/Trucks
- John Fontaine – 8 Eagle Drive, Hudson, NH – Construction Noise Study/Water Usage
- Kristen Sullivan – 15 Lorraine Street, Hudson, NH – Zoning Laws (Industrial)/ Air Quality
- Teresa Stewart – 22 Tamarak Street, Hudson, NH – Supports Project
- Suellen Seabury – 50 Pelham Road, Hudson, NH – Supports Project, believes it is best alternative in comparison to past proposals
- Richard Maddox – 323 Fox Run, Hudson, NH – Slip Ramp/Traffic off Lowell Rd.
- Merrill Harriman – 5 Birdie Lane, Hudson, NH – Truck Traffic

Call In:

- Karen Nevin – 3 Eagle Drive, Hudson, NH – Quality of Life/Air Pollution
- Scott Wade – 1 Fairway Drive, Hudson, NH – Noise/Traffic/Value of Homes/Finance of Project/Jobs
- Craig Proulx – 6 Eagle Drive, Hudson, NH – Berms/View of Buildings
- Sean McAllister – 16 Chalifoux Road, Hudson, NH – Number of Jobs/Trucks/Traffic
- Jason Cook – 9 Par Lane, Hudson, NH – Impact on North & South Hudson/Traffic Study Date

- Chris Thatcher – 15 Parkhurst Drive, Hudson, NH – Quality of Life/Proposed Number of Jobs/Green Space Land/Truck Fueling Station
- Bill Marsch – 3 Fairway Drive, Hudson, NH – Sound Study/Grading & Drainage Plan
- Michael Bergeron – Senior Business Development Manager, Division of Economic Development, Department of Business and Economic Affairs, 100 North Main Street, Concord, NH – Supports Project
- Ruth Sessions – 68 Schaefer Circle, Hudson, NH – Quality of Life
- Bill Kallgren – 11 Winslow Farm, Hudson, NH – Applicant Payment Phases/Building “B “Truck Volume
- Tim Monk – 13 Fairway Drive, Hudson, NH – Noise Study/Berm View
- Alexander Taylor – 20 Gabrielle Drive, Hudson, NH – Employees/Workers
- Marion Mahoney – 5 Chalifoux Road, Hudson, NH – Noise/Traffic
- Phyllis Appler – 62 Glen Drive, Hudson, NH – Stormwater Runoff Issues/ Permeable Paving/Water/Sewer Capacity
- Debbie Arrington – 5 Eagle Drive, Hudson, NH – Water Runoff/Homes with Sump Pumps/Truck Smell/Smog

Public Input closed @ 11:03PM.

Note: Planning Board minutes are not a transcript. For full details on public input comments, please view the meeting on HCTV (Hudson Community Television).

Mr. Van der Veen moved to continue the public hearing for the subdivision, site plan, and conditional use permit applications for 43 Steele Road, Hudson, NH, Map 234/Lots 5, 34, & 35, and Map 239/Lot 1, to date certain, a site walk on June 13, 2020 at 9:00AM.

Motion seconded by Mr. Ulery. All in favor – motion carried 7/0/0.

VI. ADJOURNMENT

Motion to adjourn by Mr. Coutu. Seconded by Mr. Ulery. All in favor – motion carried by roll call 7/0/0.

Meeting adjourned at 11:05PM (Curfew).

William Collins, Secretary

These minutes are in draft form and have not yet been approved by the Planning Board.

Town Engineer Request to Release Tax Map Updating Fees

STAFF REPORT

June 10, 2020

Attached, hereto, please find a Request to Release Funds from the Planning Board Tax Map Update account by Elvis Dhima, Town Engineer & Jim Michaud, Chief Assessor (Memo dated 05-22-20) for the updated tax maps for 2019 utilizing their consultant and NRPC, and requests the Planning Board to favorably recommend to the BOS, the release of \$2,000.00 from Tax Map Update Account # 1312-000-505 – Tax Mapping Updating Fees.

DRAFT MOTION:

I move to approve and recommend to the Board of Selectman the release of \$2,000.00 using Account # 1312-000-505 – Tax Mapping Updating Fees, for updating the tax maps for 2019 in accordance with the written request for same from the Town Engineer & Chief Assessor (please see attached memo from Town Engineer, Elvis Dhima, and Chief Assessor, Jim Michaud, dated 22 MAY 2020).

Motion by: _____ Second: _____ Carried/Failed: _____



TOWN OF HUDSON

Engineering Department



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-816-1291

TO: Brian Groth, Town Planner
Planning Board

FROM: Elvis Dhima, P.E., Town Engineer
Jim Michaud, Chief Assessor

DATE: May 22, 2020

RE: Request for Approval of Funds from Planning Board Tax Map Update

Town of Hudson currently has updated the tax maps for 2019 utilizing our consultant and NRPC.

Engineering and Assessing Department is asking the Planning Board to approve and recommend the expenditure to the Board of Selectmen.

Motion:

To approve and recommend 2019 Tax Map Update using Account #: 1312-505, for the amount of \$2,000.

INTEGRA BUILDING ADDITION

SITE PLAN APPLICATION #05-20

STAFF REPORT

June 10, 2020

SITE: 2 Wentworth Drive; Map 215 Lot 9

ZONING: Industrial (I)

PURPOSE OF PLANS: To show a proposed 1-story, 15,810 square-foot building addition and accompanying site improvements.

PLANS UNDER REVIEW: Site Plan - Proposed Building Addition; prepared by Hayner/Swanson, Inc., 3 Congress St., Nashua, NH 03062; prepared for: Integra Biosciences Corp., 2 Wentworth Drive, Hudson, NH 03051; consisting of 10 Sheets and cover sheet, and notes 1-26 on Sheet 1; dated April 29, 2020, last revised May 26, 2020.

ATTACHMENTS:

- A. Fuss & O'Neill Peer Review Letter, dated May 15, 2020

APPLICATION TRACKING:

- April 28, 2020 – Application Received
- June 3, 2020 – Revised Plans Received
- June 10, 2020 – Public Hearing Scheduled

WAIVER REQUESTS:

- §275-8.C.2 – Number of parking spaces
- §275-8.C.6 – Number of loading spaces
- §276-11.22 – 35-foot landscape area along frontage
- §276-11.26 – Open space requirement

COMMENTS:

Overview

This application proposes to construct a 1-story, 15,685 square-foot addition to an existing manufacturing facility that produces equipment related to the medical and biosciences industry. While the application and plan indicate a one-story building, the project narrative contemplates occupancy on two floors. It is possible that the second floor is a mezzanine level which is common in manufacturing facilities. This should be clarified by the applicant.

DRAFT MOTIONS

ACCEPT the site plan application:

I move to accept the site plan application for 2 Wentworth Drive; Map 215 Lot 9.

Motion by: _____ Second: _____ Carried/Failed: _____

*[If the Board needs more information, move to **defer** the application and indicate why]*

CONTINUE the public hearing to a date certain:

I move to continue the public hearing for the site plan application for 2 Wentworth Drive; Map 215 Lot 9, to date certain, _____.

Motion by: _____ Second: _____ Carried/Failed: _____

*[If the Board needs more time to deliberate, move to **continue** the hearing]*

GRANT a waiver:

I move to grant a waiver from §275-8.C.2 – Number of parking spaces, based on the Board’s discussion, the testimony of the Applicant’s representative, and in accordance with the testimony provided in the application.

Motion by: _____ Second: _____ Carried/Failed: _____

I move to grant a waiver from §275-8.C.6 – Number of loading spaces, based on the Board’s discussion, the testimony of the Applicant’s representative, and in accordance with the testimony provided in the application.

Motion by: _____ Second: _____ Carried/Failed: _____

I move to grant a waiver from §276-11.22 – 35-foot landscape area, based on the Board’s discussion, the testimony of the Applicant’s representative, and in accordance with the testimony provided in the application.

Motion by: _____ Second: _____ Carried/Failed: _____

I move to grant a waiver from §276-11.26 – Open space requirement, based on the Board’s discussion, the testimony of the Applicant’s representative, and in accordance with the testimony provided in the application.

Motion by: _____ Second: _____ Carried/Failed: _____

"A"



FUSS & O'NEILL

May 15, 2020

Mr. Brian Groth
Town Planner
Town of Hudson
12 School Street
Hudson, NH 03051

Re: Town of Hudson Planning Board Review
Proposed Building Addition Plan, 2 Wentworth Drive
Tax Map 215, Lot 9; Acct. #1350-950
Reference No. 03-0249.1920

Dear Mr. Groth:

Fuss & O'Neill, Inc. has reviewed the first submission of the materials received on April 28, 2020, related to the above-referenced project. Authorization to Proceed was received on May 6, 2020. A list of items reviewed is enclosed. The scope of our review is based on the Site Plan Review Codes, the recently adopted Stormwater Regulations, Driveway Review Codes, Sewer Use Ordinance 77, Zoning Regulations, and criteria outlined in the CLD Consulting Engineers Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007, September 3, 2008, and October 2015.

We have included a copy of Fuss & O'Neill's evaluation of the checklist for your reference. We note that several items could not be verified by Fuss & O'Neill and require action by the Town.

The project appears to consist of a 15,180 square foot building addition to an existing 26,620 square foot manufacturing building and associated site improvements. Proposed improvements to the site also include the reconstruction of the two existing driveways, parking areas, drainage improvements, landscaping, lighting and other associated site improvements. The proposed building addition will be serviced by existing Municipal water and proposed sewer connections.

The following items are noted:

1. Site Plan Review Codes and Administrative Requirements and Definitions

- a. Hudson Regulation (HR) 275-6.I. The scope of this review does not include the adequacy of any fire protection provisions for the site. No proposed measures were included in Fuss & O'Neill's review package.
- b. HR 275-6.T.(1). The applicant has not proposed the installation of any off-site improvements.
- c. HR 275-8.C.(2) and ZO 334-15.A. The applicant has provided parking calculations showing that 71 spaces are required and has provided 63 spaces on the site. The applicant has noted that based on the shift numbers provided in the waiver letter, the flexible arrival and departure times of many employees and the close proximity of their other building, they believe the proposed parking spaces are ample for the site. The applicant has

The Gateway Building
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Rhode Island
Vermont



Mr. Brian Groth

May 15, 2020

Page 3 of 4

5. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- a. HR 290-6.A. The applicant should add relevant erosion control notes to the plan set, including but not limited to 290-6.A.9, 12, and 13 to the erosion control plan.
- b. HR 290-7.A.6. An infiltration rate of 10.5 inches per hour is utilized within the drainage calculations. The applicant should review Env-Wq 1504.14(c) to ensure that the soil meets NHDES Stormwater requirements.
- c. HR 290-7.A.9. Due to the configuration of SMA, the applicant should provide clean out/access ports or manholes at all corners of the subsurface system for maintenance purposes.
- d. HR 290-7.B.4. The applicant should add the existing water line (and any other pertinent utilities) to the Utility Profiles, to ensure proper clearance between utilities.
- e. HR 290-7.B.13. The applicant should provide the soils information required by this Regulation or request a waiver from the requirement.

6. Zoning (ZO 334)

- a. ZO 334-18.E. The applicant has noted that the subject parcel is located within the Town Industrial (I) zoning district. The manufacturing use is permitted within that district.
- b. ZO 334-35.B.(2). The applicant has noted that no wetlands are located within the site.
- c. ZO 334-83. The applicant has noted that the subject parcel does not fall within a special flood hazard area.

7. Erosion Control/Wetland Impacts

- a. HR 290-5.A.(8). The applicant has noted that there are no wetlands present on the site.
- b. HR 290-5.K.(14). The applicant has not shown the location of any earth stockpiles on site; however, they have noted erosion control measures for any stockpiles on the Erosion Control Plan.
- c. HR 290-5.K.(15). The applicant has not shown the location of any equipment storage or staging on site.
- d. The applicant has noted that the Town reserves the right to require additional erosion control measures if needed.

8. Landscaping (HR 276-11.1.B.(20)) and Lighting (HR 276-11.1.B.(14))

- a. HR 276.11.1.B.(22). The applicant has requested a waiver from the green space requirement along the right-of-way. The applicant has provided approximately 25 feet of landscaping along the new parking areas while 35 feet is required.
- b. HR 276.11.1.B.(22). The applicant has requested a waiver for the 35% open space requirement. The applicant has proposed 30.8% open space and has noted that substantial site improvements are proposed, including new landscaping along Executive Drive that will enhance the attractiveness of the property.

MAP 215, LOT 9
SITE PLAN

PROPOSED BUILDING ADDITION

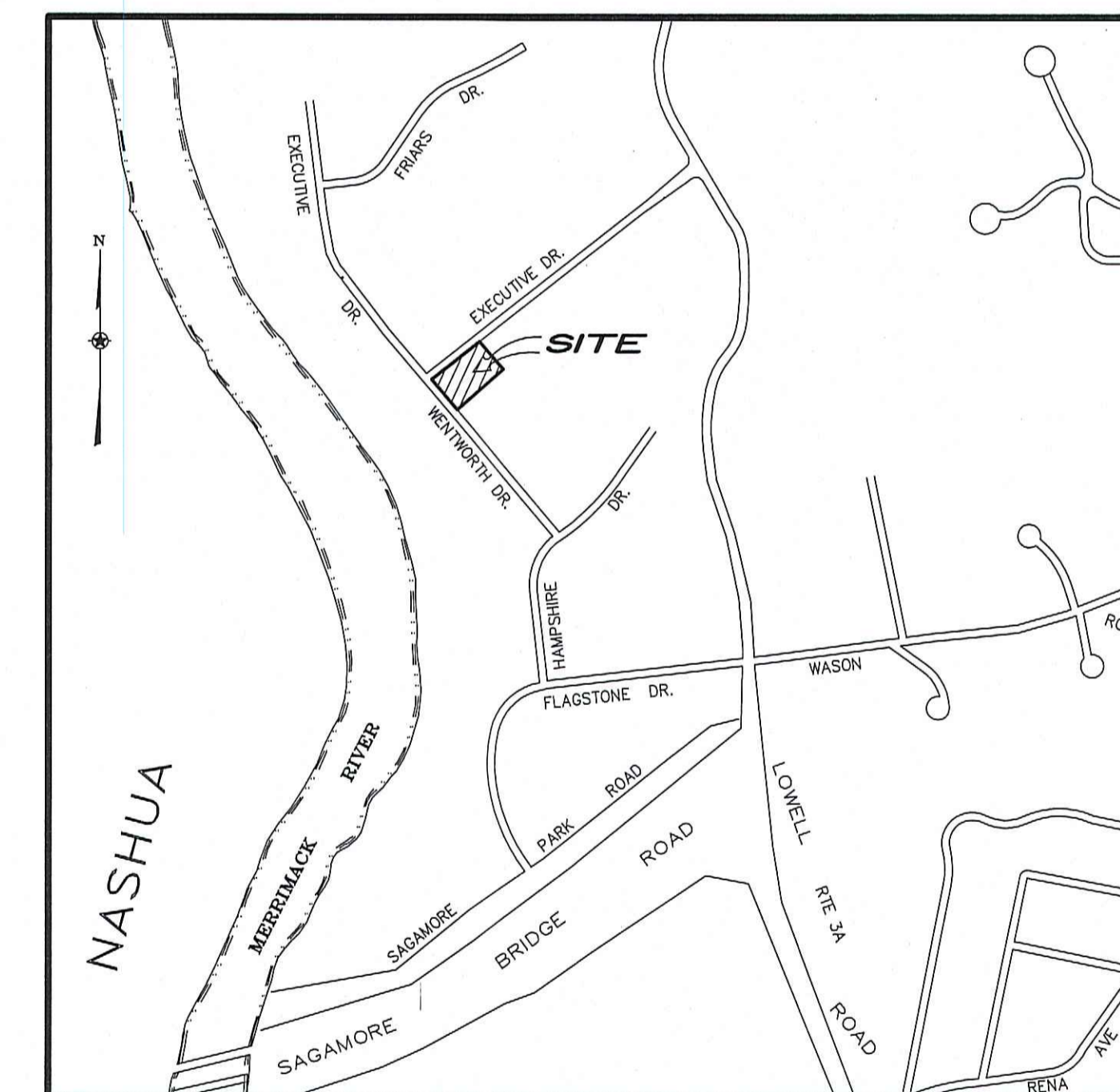
2 WENTWORTH DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER

INTEGRA BIOSCIENCES CORP.

2 WENTWORTH DRIVE
HUDSON, NEW HAMPSHIRE 03051
(603) 578-5800
www.integra-bioscience.com

29 APRIL 2020



VICINITY PLAN

SCALE: 1" = 1,000'

INDEX OF PLANS		
SHEET No.	TITLE	
1 OF 10	MASTER SITE PLAN	1" = 40'
2 OF 10	EXISTING CONDITIONS PLAN	1" = 20'
3 OF 10	SITE PLAN	1" = 20'
4 OF 10	EROSION CONTROL PLAN	1" = 20'
5 OF 10	UTILITY PROFILES	1" = 20' H 1" = 4' V
6 OF 10	DETAIL SHEET - GENERAL SITE	
7 OF 10	DETAIL SHEET - DRAINAGE	
8 OF 10	DETAIL SHEET - EROSION CONTROL	
9 OF 10	LANDSCAPE PLAN	1" = 30'
10 OF 10	PHOTOMETRIC SITE LIGHTING PLAN	1" = 30'
BUILDING ELEVATIONS		

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

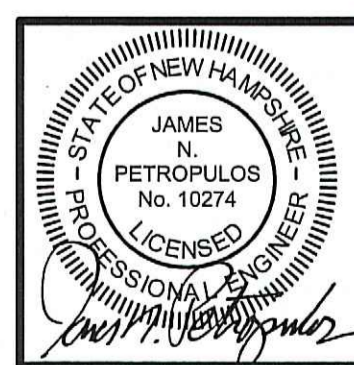
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

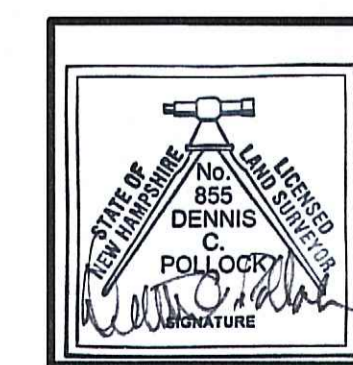
SECRETARY: _____ SIGNATURE DATE: _____

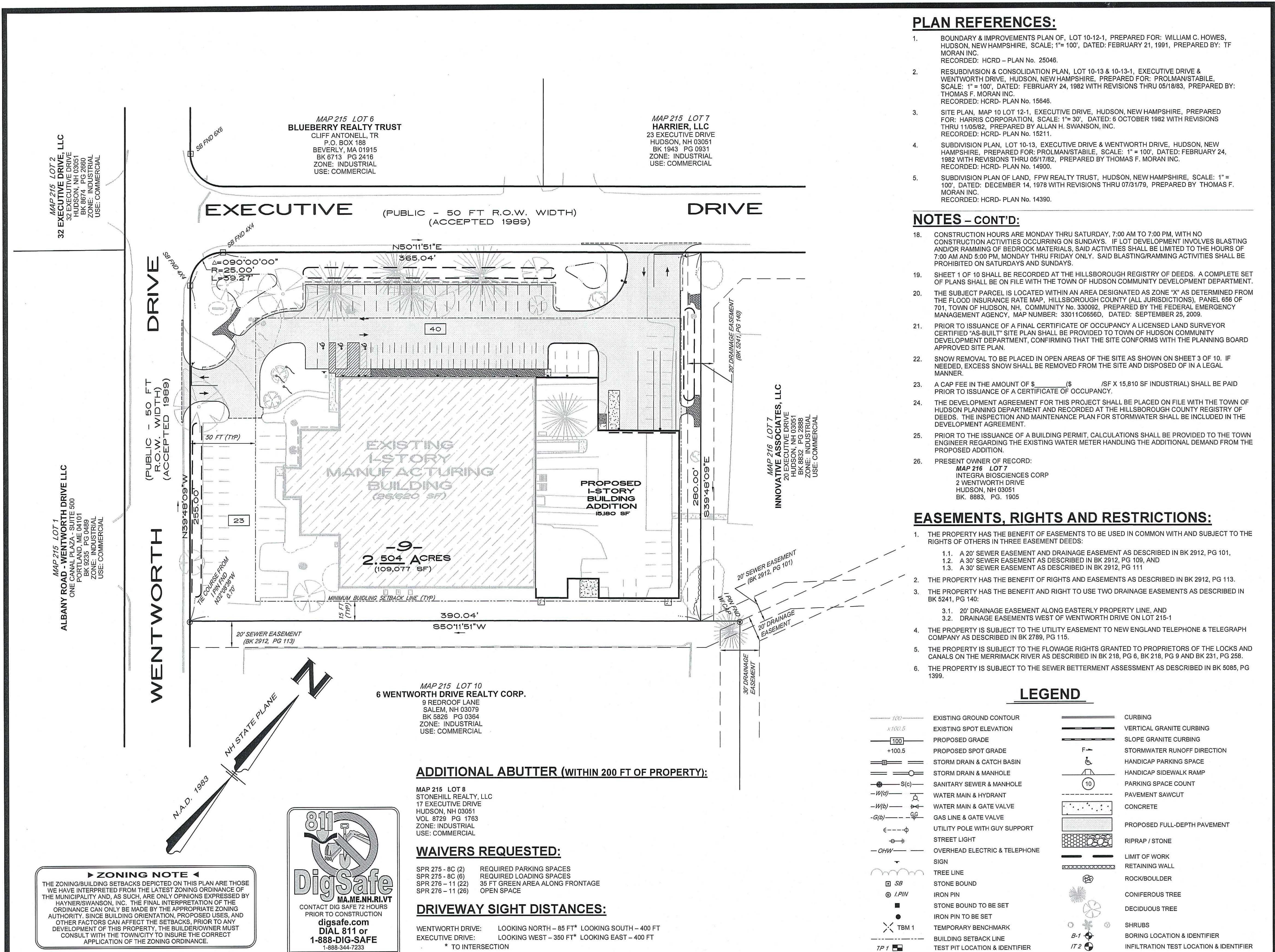
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



HSI Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors
3 Congress Street
Nashua, NH 03062
(603) 883-2057
131 Middlesex Turnpike
Burlington, MA 01803
(781) 203-1501
www.hayner-swanson.com





PLAN REFERENCES:

- BOUNDARY & IMPROVEMENTS PLAN OF LOT 10-12-1, PREPARED FOR: WILLIAM C. HOWES, HUDSON, NEW HAMPSHIRE, SCALE: 1" = 100', DATED: FEBRUARY 21, 1991, PREPARED BY: TF MORAN INC. RECORDED: HCRD - PLAN No. 25046.
- RESUBDIVISION & CONSOLIDATION PLAN, LOT 10-13 & 10-13-1, EXECUTIVE DRIVE & WENTWORTH DRIVE, HUDSON, NEW HAMPSHIRE, PREPARED FOR: PROLMAN/STABLE, SCALE: 1" = 100', DATED: FEBRUARY 24, 1982 WITH REVISIONS THRU 05/18/83, PREPARED BY: THOMAS F. MORAN INC. RECORDED: HCRD-PLAN No. 15646.
- SITE PLAN, MAP 10 LOT 12-1, EXECUTIVE DRIVE, HUDSON, NEW HAMPSHIRE, PREPARED FOR: HARRIS CORPORATION, SCALE: 1" = 30', DATED: 6 OCTOBER 1982 WITH REVISIONS THRU 11/05/82, PREPARED BY ALLAN H. SWANSON, INC. RECORDED: HCRD-PLAN No. 15211.
- SUBDIVISION PLAN, LOT 10-13, EXECUTIVE DRIVE & WENTWORTH DRIVE, HUDSON, NEW HAMPSHIRE, PREPARED FOR: PROLMAN/STABLE, SCALE: 1" = 100', DATED: FEBRUARY 24, 1982 WITH REVISIONS THRU 05/17/82, PREPARED BY THOMAS F. MORAN INC. RECORDED: HCRD-PLAN No. 14900.
- SUBDIVISION PLAN OF LAND, FPW REALTY TRUST, HUDSON, NEW HAMPSHIRE, SCALE: 1" = 100', DATED: DECEMBER 14, 1978 WITH REVISIONS THRU 07/31/79, PREPARED BY THOMAS F. MORAN INC. RECORDED: HCRD-PLAN No. 14390.

NOTES - CONT'D:

- CONSTRUCTION HOURS ARE MONDAY THRU SATURDAY, 7:00 AM TO 7:00 PM, WITH NO CONSTRUCTION ACTIVITIES OCCURRING ON SUNDAYS. IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS OF 7:00 AM AND 5:00 PM, MONDAY THRU FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON SATURDAYS AND SUNDAYS.
- SHEET 1 OF 10 SHALL BE RECORDED AT THE HILLSBOROUGH REGISTRY OF DEEDS. A COMPLETE SET OF PLANS SHALL BE ON FILE WITH THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT.
- THE SUBJECT PARCEL IS LOCATED WITHIN AN AREA DESIGNATED AS ZONE "X" AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP, HILLSBOROUGH COUNTY (ALL JURISDICTIONS), PANEL 656 OF 701, TOWN OF HUDSON, NH, COMMUNITY No. 330092, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 3301100656D, DATED: SEPTEMBER 25, 2009.
- PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY A LICENSED LAND SURVEYOR CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED SITE PLAN.
- SNOW REMOVAL TO BE PLACED IN OPEN AREAS OF THE SITE AS SHOWN ON SHEET 3 OF 10. IF NEEDED, EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- A CAP FEE IN THE AMOUNT OF \$ _____ (\$ _____ /SF X 15,810 SF INDUSTRIAL) SHALL BE PAID PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THE DEVELOPMENT AGREEMENT FOR THIS PROJECT SHALL BE PLACED ON FILE WITH THE TOWN OF HUDSON PLANNING DEPARTMENT AND RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. THE INSPECTION AND MAINTENANCE PLAN FOR STORMWATER SHALL BE INCLUDED IN THE DEVELOPMENT AGREEMENT.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, CALCULATIONS SHALL BE PROVIDED TO THE TOWN ENGINEER REGARDING THE EXISTING WATER METER HANDLING THE ADDITIONAL DEMAND FROM THE PROPOSED ADDITION.
- PRESENT OWNER OF RECORD:
MAP 216 LOT 7
INTEGRA BIOSCIENCES CORP
2 WENTWORTH DRIVE
HUDSON, NH 03051
BK. 8883, PG. 1905

EASEMENTS, RIGHTS AND RESTRICTIONS:

- THE PROPERTY HAS THE BENEFIT OF EASEMENTS TO BE USED IN COMMON WITH AND SUBJECT TO THE RIGHTS OF OTHERS IN THREE EASEMENT DEEDS:
 - A 20' SEWER EASEMENT AND DRAINAGE EASEMENT AS DESCRIBED IN BK 2912, PG 101,
 - A 30' SEWER EASEMENT AS DESCRIBED IN BK 2912, PG 109, AND
 - A 30' SEWER EASEMENT AS DESCRIBED IN BK 2912, PG 111
- THE PROPERTY HAS THE BENEFIT OF RIGHTS AND EASEMENTS AS DESCRIBED IN BK 2912, PG 113.
- THE PROPERTY HAS THE BENEFIT AND RIGHT TO USE TWO DRAINAGE EASEMENTS AS DESCRIBED IN BK 5241, PG 140:
 - 20' DRAINAGE EASEMENT ALONG EASTERLY PROPERTY LINE, AND
 - DRAINAGE EASEMENTS WEST OF WENTWORTH DRIVE ON LOT 215-1
- THE PROPERTY IS SUBJECT TO THE UTILITY EASEMENT TO NEW ENGLAND TELEPHONE & TELEGRAPH COMPANY AS DESCRIBED IN BK 2789, PG 115.
- THE PROPERTY IS SUBJECT TO THE FLOWAGE RIGHTS GRANTED TO PROPRIETORS OF THE LOCKS AND CANALS ON THE MERRIMACK RIVER AS DESCRIBED IN BK 218, PG 6, BK 218, PG 9 AND BK 231, PG 256.
- THE PROPERTY IS SUBJECT TO THE SEWER BETTERMENT ASSESSMENT AS DESCRIBED IN BK 5085, PG 1399.

LEGEND

--- 100 ---	EXISTING GROUND CONTOUR	---	CURBING
+100.5	EXISTING SPOT ELEVATION	---	VERTICAL GRANITE CURBING
--- 100 ---	PROPOSED GRADE	---	SLOPE GRANITE CURBING
--- 100.5	PROPOSED SPOT GRADE	---	STORMWATER RUNOFF DIRECTION
---	STORM DRAIN & CATCH BASIN	---	HANDICAP PARKING SPACE
---	STORM DRAIN & MANHOLE	---	HANDICAP SIDEWALK RAMP
---	SANITARY SEWER & MANHOLE	---	PARKING SPACE COUNT
---	WATER MAIN & HYDRANT	---	PAVEMENT SAWCUT
---	WATER MAIN & GATE VALVE	---	CONCRETE
---	GAS LINE & GATE VALVE	---	PROPOSED FULL-DEPTH PAVEMENT
---	UTILITY POLE WITH GUY SUPPORT	---	RIPRAP / STONE
---	STREET LIGHT	---	LIMIT OF WORK
---	OVERHEAD ELECTRIC & TELEPHONE	---	RETAINING WALL
---	SIGN	---	ROCK/BOULDER
---	TREE LINE	---	CONIFEROUS TREE
---	STONE BOUND	---	DECIDUOUS TREE
---	IRON PIN	---	SHRUBS
---	STONE BOUND TO BE SET	---	BORING LOCATION & IDENTIFIER
---	IRON PIN TO BE SET	---	INFILTRATION TEST LOCATION & IDENTIFIER
---	TEMPORARY BENCHMARK	---	
---	BUILDING SETBACK LINE	---	
---	TEST PIT LOCATION & IDENTIFIER	---	

ADDITIONAL ABUTTER (WITHIN 200 FT OF PROPERTY):

MAP 215 LOT 8
STONEHILL REALTY, LLC
17 EXECUTIVE DRIVE
HUDSON, NH 03051
VOL. 8729 PG. 1763
ZONE: INDUSTRIAL
USE: COMMERCIAL

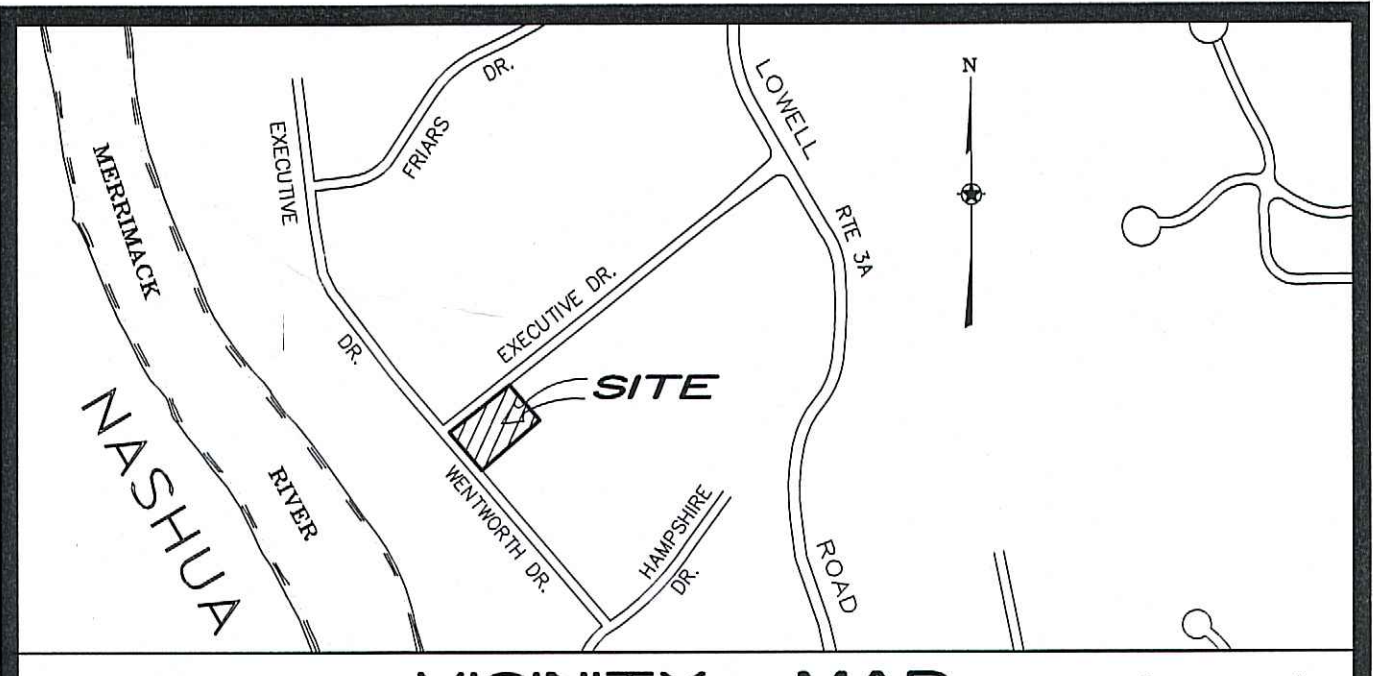
WAIVERS REQUESTED:

- SPR 275 - 8C (2) REQUIRED PARKING SPACES
- SPR 275 - 8C (6) REQUIRED LOADING SPACES
- SPR 276 - 11 (22) 35 FT GREEN AREA ALONG FRONTAGE
- SPR 276 - 11 (26) OPEN SPACE

DRIVEWAY SIGHT DISTANCES:

WENTWORTH DRIVE: LOOKING NORTH - 85 FT* LOOKING SOUTH - 400 FT
EXECUTIVE DRIVE: LOOKING WEST - 350 FT* LOOKING EAST - 400 FT
* TO INTERSECTION

ZONING NOTE
THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY, SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS. PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

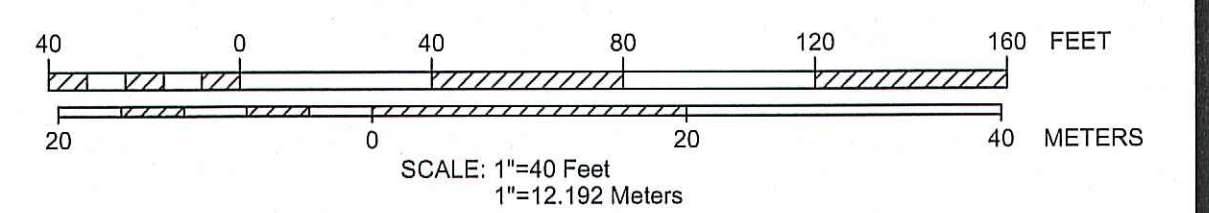


NOTES:

- LOT AREA: (MAP 216, LOT 7) 2.504 ACRES (109,077 SF)
- PRESENT ZONING: I; INDUSTRIAL
MINIMUM LOT REQUIREMENTS:
- LOT AREA 30,000 SF
- LOT FRONTAGE 150 FT
MINIMUM BUILDING SETBACKS REQUIREMENTS:
- FRONT YARD 50 FT
- SIDE YARD 15 FT
- REAR YARD 15 FT
- LOT NUMBERS REFER TO THE TOWN OF HUDSON ASSESSORS MAPS 215 AND 216.
- SITE IS CURRENTLY SERVICED BY MUNICIPAL WATER AND MUNICIPAL SEWER, GAS AND OVERHEAD ELECTRIC AND TELECOMMUNICATION UTILITIES.
- PURPOSE OF PLAN:
TO SHOW A PROPOSED 1-STORY, 15,810 SF BUILDING ADDITION ALONG WITH ACCOMPANYING LOADING AND SITE IMPROVEMENTS.
- BUILDING AREA:
EXISTING BUILDING: 26,620 SF
PROPOSED ADDITION: 16,160 SF
TOTAL BUILDING AREA: 42,430 SF
- PARKING:
REQUIRED: 1 SPACE/600 SF X 50,180 SF (INDUSTRIAL) = 71 SPACES
PROVIDED: (INCLUDES 3 ACCESSIBLE SPACES) = 63 SPACES
- LOADING:
REQUIRED: 5 SPACES
EXISTING: 3 SPACES
PROVIDED: 2 SPACES
- OPEN SPACE:
REQUIRED: 35 %
PROVIDED: 30.8%
- THE SUBJECT SITE WAS INSPECTED BY A CERTIFIED WETLAND SCIENTIST ON APRIL 15, 2020 AND WAS DETERMINED THAT, AT THE DATE OF INSPECTION, THERE ARE NO WETLANDS OR ASSOCIATED BUFFERS AFFECTING THIS PROPERTY.
- ALL SIGNS ARE SUBJECT TO ALL REQUIREMENTS OF THE ZONING ORDINANCE AS DETERMINED DURING THE SIGN PERMIT APPLICATION PROCESS.
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT (LATEST EDITION).
- SITE LIGHTING SHALL BE SHOWN ON THE PLAN, DIRECTED ONTO THE SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN WITH THE EXCEPTION OF DECKS AND PORCHES (PROVIDED THEY CONFORM WITH THE REQUIREMENTS OF THE TOWN OF HUDSON ZONING BY-LAWS), OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
- TRASH PICK-UP SHALL NOT OCCUR EARLIER THAN 7:00 AM NOR LATER THAN 7:00 PM, MONDAY THRU SATURDAY ONLY.
- HOURS OF OPERATION: MONDAY - FRIDAY 24 HOURS PER DAY (3 SHIFTS).
- THERE ARE NO HIGHWAY PROJECTS LISTED UPON THIS PROPERTY.

MASTER SITE PLAN
(MAP 215, LOT 9)
PROPOSED BUILDING ADDITION
2 WENTWORTH DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
INTEGRA BIOSCIENCES CORP.
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800



29 APRIL 2020

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

STATE OF NEW HAMPSHIRE
JAMES N. PETROPOULOS
No. 10274
LICENSED PROFESSIONAL SURVEYOR

FOR INTEGRA BIOSCIENCES CORP. DATE: 4/27/2020

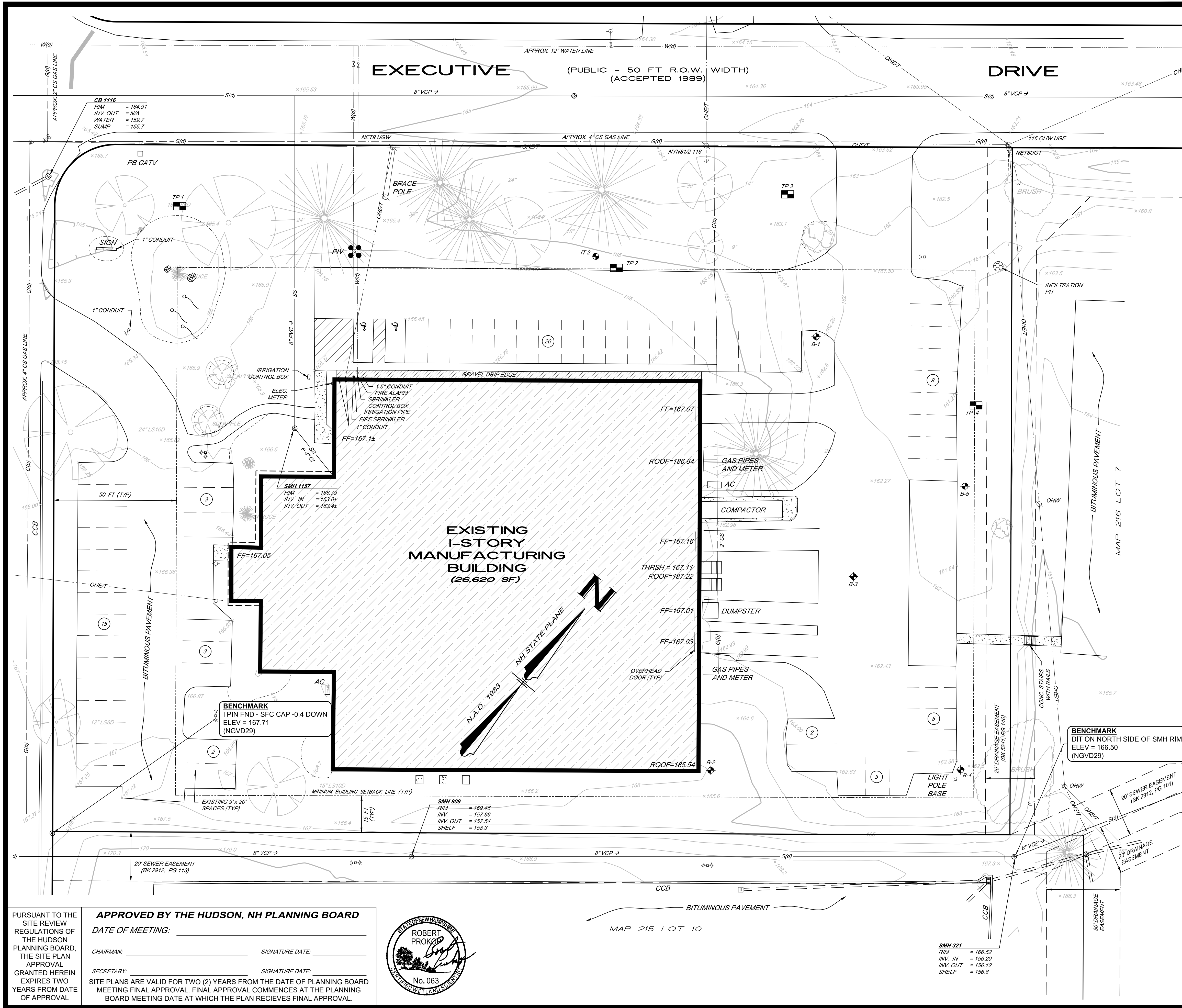
CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

DATE: 4/27/20

LAND SURVEYOR
DENNIS C. COLLOCK
No. 855
BOLLOXEE
SIGNATURE



SURVEY NOTES:

- TOPOGRAPHY IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE IN APRIL 2016 THRU APRIL 2020.
- UTILITIES SHOWN ARE APPROXIMATE BASED ON RECORD PLANS AND OBSERVED EVIDENCE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
- SURVEY CONTROL:
 HORIZONTAL DATUM: NAD83/2011 PROJECTION: NH STATE PLANE
 VERTICAL DATUM: NGVD29 SCALE FACTOR APPLIED: 1.000000
 UNITS: US SURVEY FEET
 * VERTICAL DATUM WAS VERIFIED USING GPS (KEYNET NETWORK) BY TAKING OBSERVATIONS ON SITE AND ON NGS (FORMERLY USGS) "DISK D-26" LOCATED ON THE NORTHERLY SIDE OF RTE 101A APPROXIMATELY 4.5 MILES WEST OF THE NASHUA LIBRARY.
- THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES. SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- TEST PITS AS SHOWN ARE APPROXIMATE. TEST PITS WERE PERFORMED IN APRIL 2020 UNDER THE SUPERVISION OF HAYNER/SWANSON, INC., NASHUA, NH.
- BORINGS WERE PERFORMED ON APRIL 18, 2020 UNDER THE SUPERVISION OF MILLER ENGINEERING AND TESTING, INC. MANCHESTER, NH.
- THIS SITE CONTAINS WINDSOR (W4a, W6c) SOILS AS DETERMINED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA) NATURAL RESOURCES CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY.

UTILITY QUALITY LEGEND

- SUBSURFACE UTILITIES AS DEPICTED ON THIS PLAN ARE IDENTIFIED BY QUALITY LEVELS DEFINED BY C/ASCE 38-02 "ASCE STANDARD GUIDELINE FOR COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"
- LEVEL A (a) PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY ACTUAL EXPOSURE AND SUBSEQUENT MEASUREMENTS OF SUBSURFACE UTILITIES.
 - LEVEL B (b) INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. (IE. DIGSAFE)
 - LEVEL C (c) INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.
 - LEVEL D (d) INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

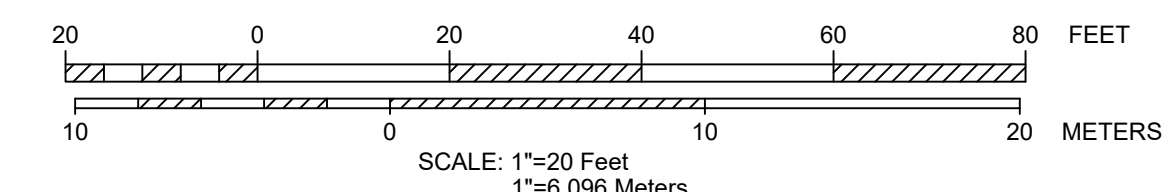
UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

No.	DATE	REVISION	BY

EXISTING CONDITIONS PLAN
(MAP 215, LOT 9)
PROPOSED BUILDING ADDITION
2 WENTWORTH DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
INTEGRA BIOSCIENCES CORP.
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

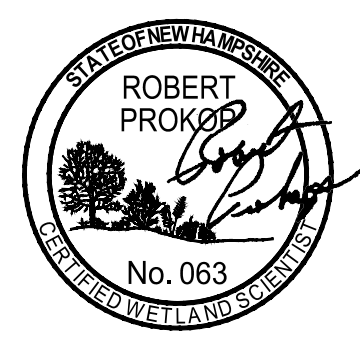


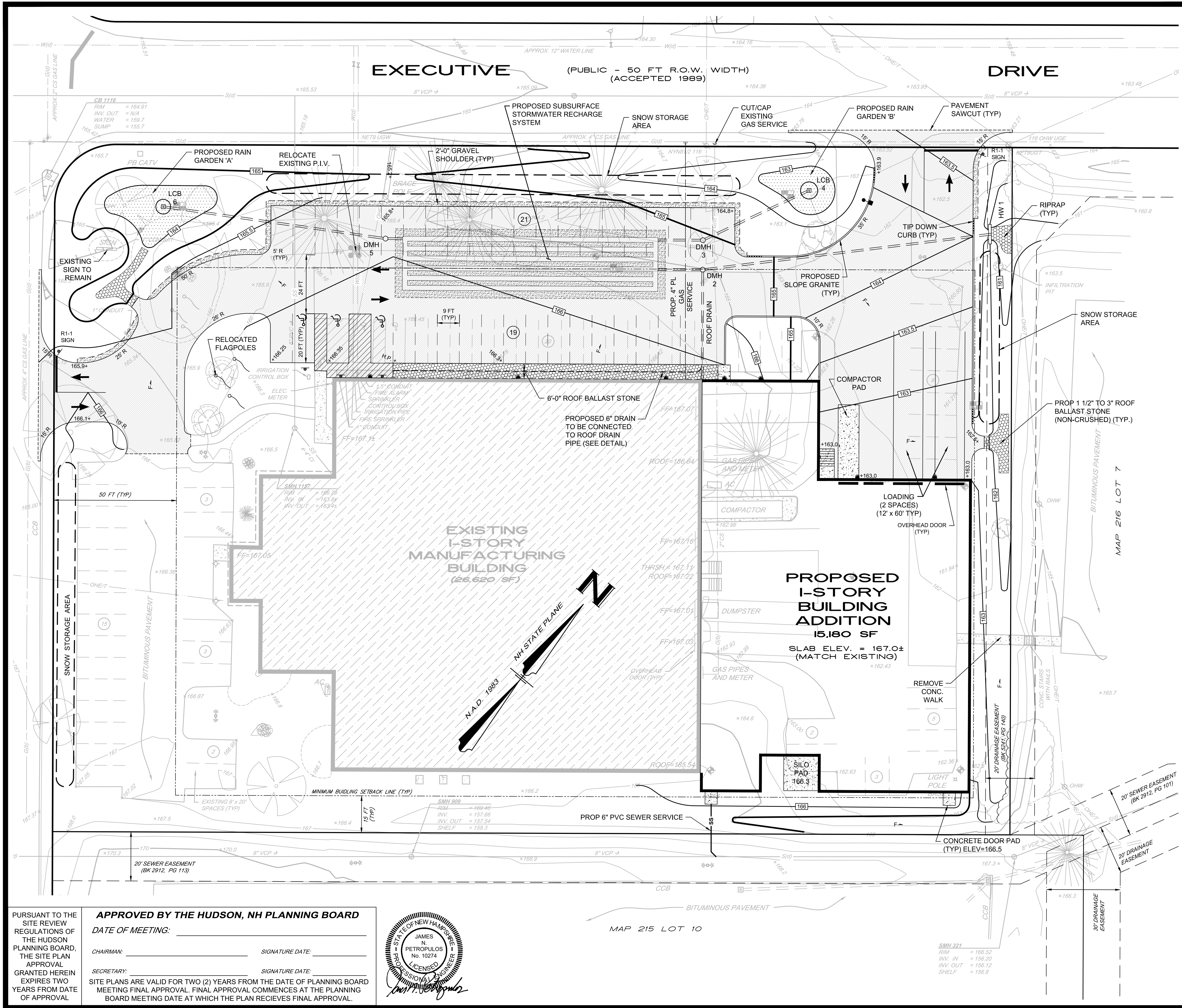
29 APRIL 2020

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street 131 Middlesex Turnpike
Nashua, NH 03062 Burlington, MA 01803
(603) 883-2057 (781) 203-1501
www.haynerswanson.com

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.





CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST ADDITION, ARE HEREBY INCORPORATED BY REFERENCE.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPT., HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHALL BE ADS N-12 (SOIL TIGHT). CATCH BASINS SHALL BE TYPE B, AND HAVE 3 FT SUMPS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES. SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- WATER (DOMESTIC & FIRE PROTECTION), GAS, ELECTRIC AND TELECOMMUNICATION UTILITIES SHALL BE EXTENDED FROM THE EXISTING BUILDING TO THE PROPOSED ADDITION.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED THROUGH THE CONSTRUCTION PROCESS UNTIL STABILIZATION OCCURS.
- STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- DIMENSIONS TO CURB AND GUTTERS INDICATE EDGE OF PAVING UNLESS OTHERWISE NOTED.
- EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING PAVEMENT.

TOWN OF HUDSON CONTACTS

PLANNING DEPARTMENT
 HUDSON PLANNING DEPT.
 12 SCHOOL STREET
 HUDSON, NH 03051
 ATT: BRIAN GROTH, AICP
 LAND USE DIRECTOR
 (603) 886-6008

ENGINEERING DEPARTMENT
 HUDSON ENGINEERING DEPT.
 12 SCHOOL STREET
 HUDSON, NH 03051
 ATT: ELVIS DHIMA, P.E.
 TOWN ENGINEER
 (603) 886-6008

FIRE DEPARTMENT
 HUDSON FIRE DEPARTMENT
 12 SCHOOL STREET
 HUDSON, NH 03051
 ATT: ROBERT BUXTON, FIRE CHIEF
 (603) 886-6021

UTILITY CONTACTS

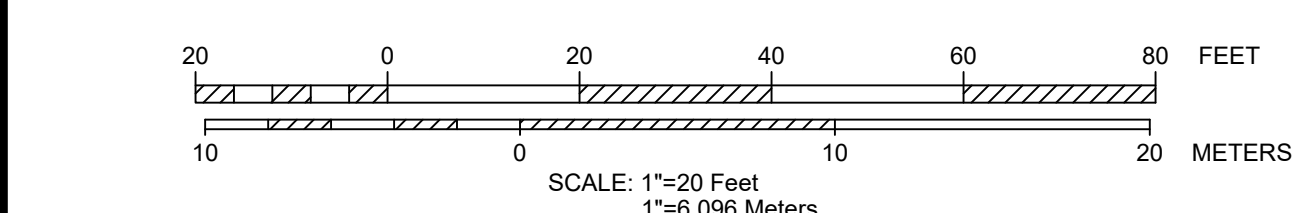
GAS:
 LIBERTY UTILITIES
 130 ELM STREET
 MANCHESTER, NH 03103
 ATT: ANDREW MORGAN
 (603) 327-5357

TELEPHONE:
 CONSOLIDATED COMMUNICATIONS
 257 DANIEL WEBSTER HIGHWAY
 MERRIMACK, NH 03054
 ATT: HEATHER ARJUJO
 (603) 296-5998

POWER:
 EVERSOURCE
 370 AMHERST STREET
 NASHUA, NH 03060
 ATT: MARC GAGNON
 (603) 882-5894

SITE PLAN (MAP 215, LOT 9)
PROPOSED BUILDING ADDITION
 2 WENTWORTH DRIVE
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
INTEGRA BIOSCIENCES CORP.
 2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800



29 APRIL 2020

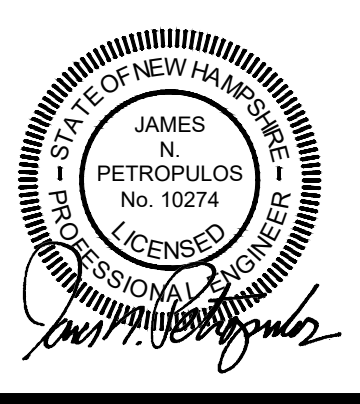


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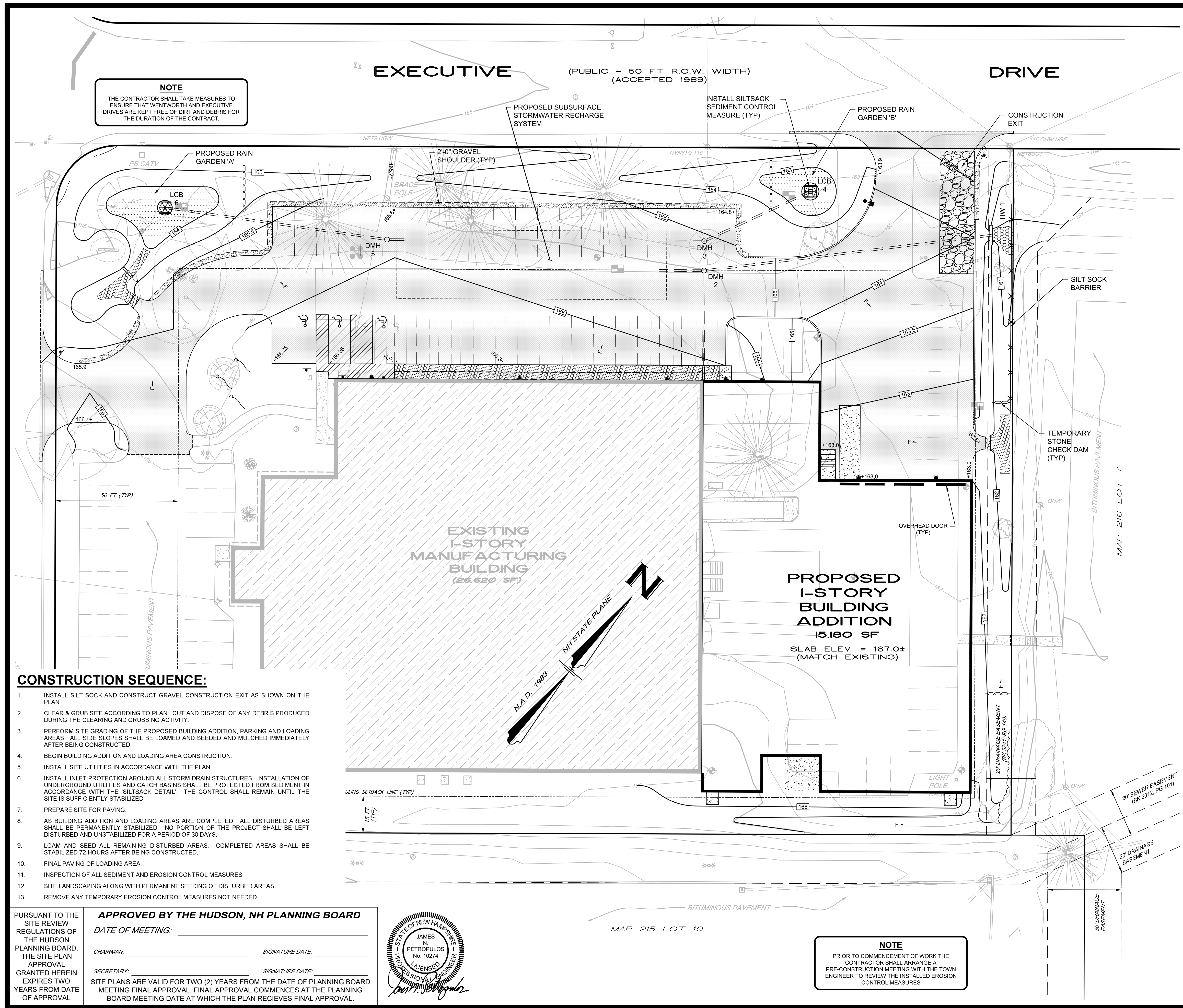
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 CHAIRMAN: _____ SIGNATURE DATE: _____
 SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



MAP 215 LOT 10



NOTE
THE CONTRACTOR SHALL TAKE MEASURES TO ENSURE THAT WENTWORTH AND EXECUTIVE DRIVES ARE KEPT FREE OF DIRT AND DEBRIS FOR THE DURATION OF THE CONTRACT.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT SOCK AND CONSTRUCT GRAVEL CONSTRUCTION EXIT AS SHOWN ON THE PLAN.
2. CLEAR & GRUB SITE ACCORDING TO PLAN. CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
3. PERFORM SITE GRADING OF THE PROPOSED BUILDING ADDITION, PARKING AND LOADING AREAS. ALL SIDE SLOPES SHALL BE LOAMED AND SEEDED AND MULCHED IMMEDIATELY AFTER BEING CONSTRUCTED.
4. BEGIN BUILDING ADDITION AND LOADING AREA CONSTRUCTION.
5. INSTALL SITE UTILITIES IN ACCORDANCE WITH THE PLAN.
6. INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE 'SILTSACK DETAIL'. THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
7. PREPARE SITE FOR PAVING.
8. AS BUILDING ADDITION AND LOADING AREAS ARE COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED, NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF 30 DAYS.
9. LOAM AND SEED ALL REMAINING DISTURBED AREAS. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER BEING CONSTRUCTED.
10. FINAL PAVING OF LOADING AREA.
11. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
12. SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF DISTURBED AREAS.
13. REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

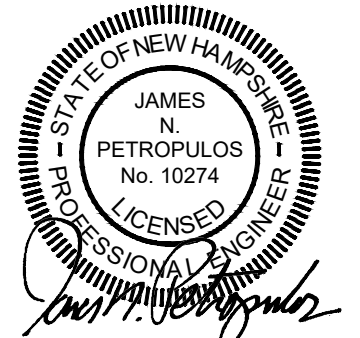
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



NOTE
PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE TOWN ENGINEER TO REVIEW THE INSTALLED EROSION CONTROL MEASURES



GENERAL NOTES:

1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH THE PROJECT SHALL OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND SHALL COMPLY WITH THE TERMS OF SWPPP AND NPDES PERMIT.
2. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY SITE CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
4. STOCKPILE AREAS SHALL BE SURROUNDED BY SILT SOCK AND RE-SEEDED IF THEY ARE LEFT UNTOUCHED FOR MORE THAN FOURTEEN (14) DAYS.
5. ALL MEASURES STATED ON THIS EROSION CONTROL PLAN, AND IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETE PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT.
6. SILT SOCK SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED.
7. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
8. ALL SEEDED AREAS SHALL BE CHECK REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
9. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXIT AS CONDITIONS DEMAND.
10. THE TOWN OF HUDSON RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION IF NEEDED.

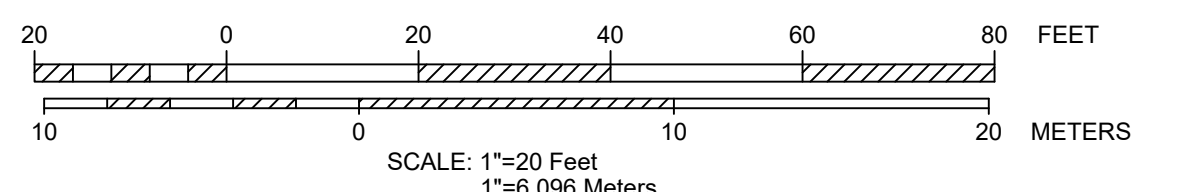
LEGEND

- 100 — EXISTING GROUND CONTOUR
- 100 — PROPOSED GRADE
- F → RUNOFF DIRECTION
- X — SILT SOCK PERIMETER BARRIER
- ⊠ SILT-SACK INLET PROTECTION DEVICES
- ▨ GRAVEL CONSTRUCTION EXIT
- ▤ TEMPORARY STONE CHECK DAM

No.	DATE	REVISION	BY

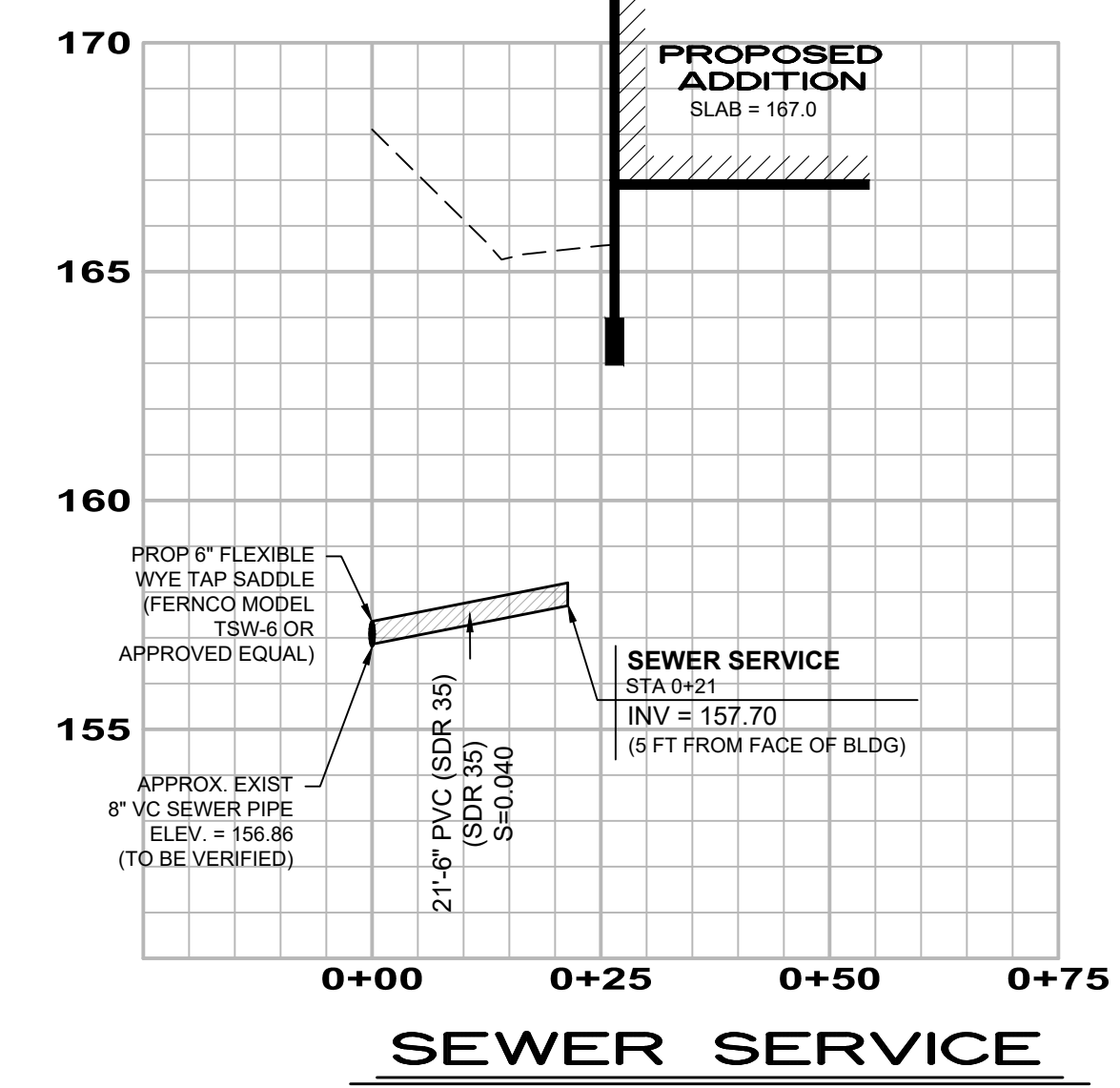
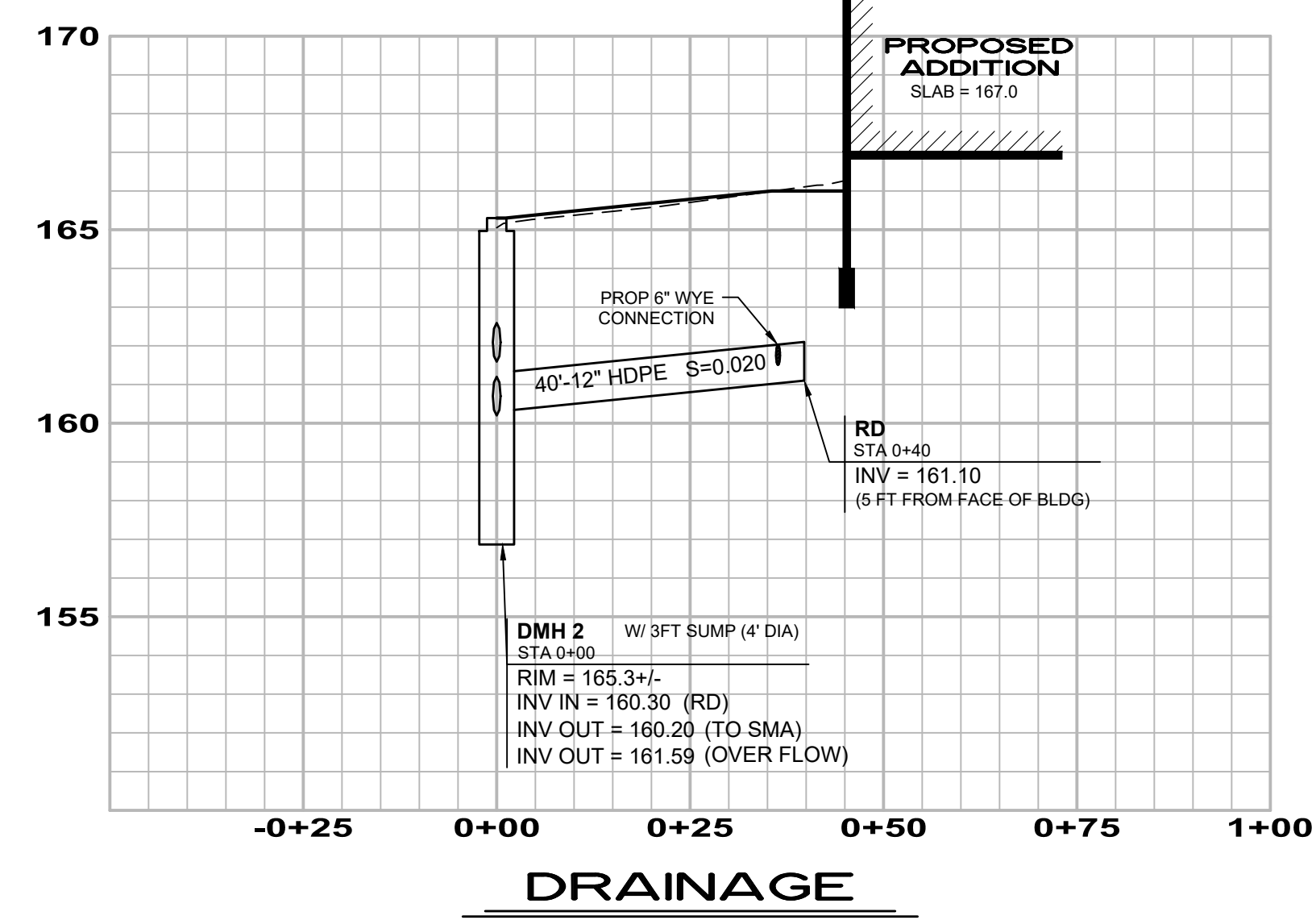
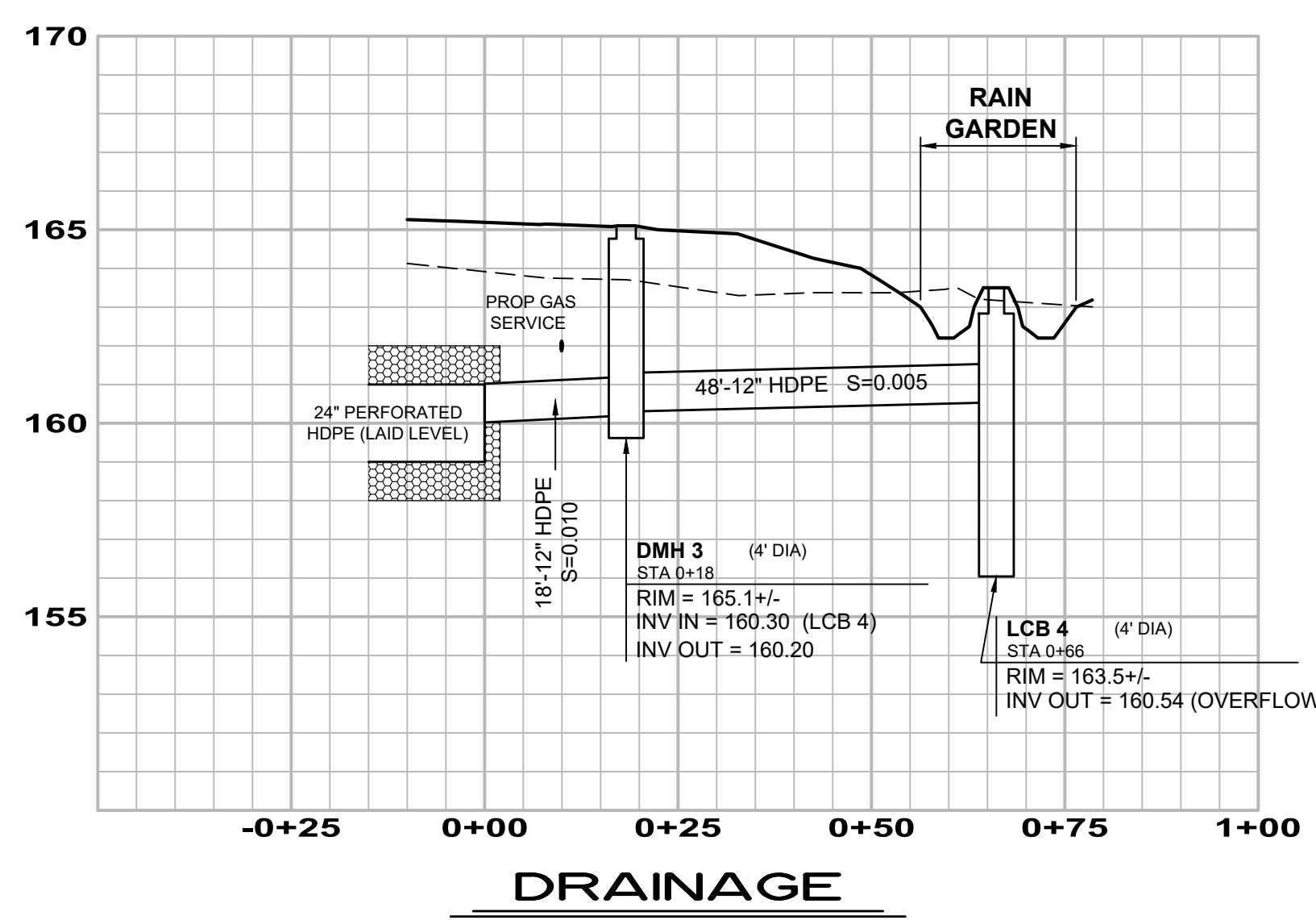
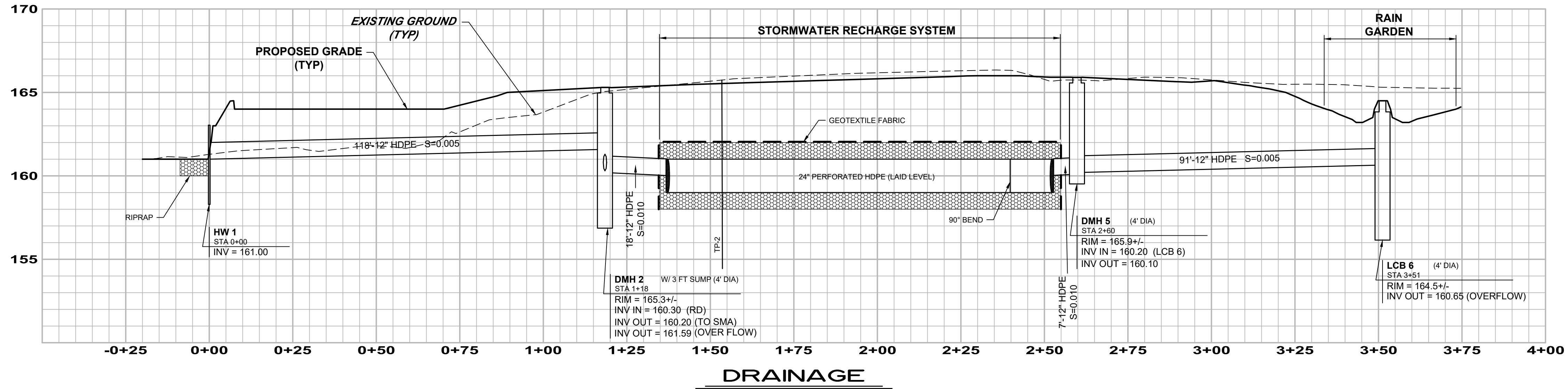
EROSION CONTROL PLAN
(MAP 215, LOT 9)
PROPOSED BUILDING ADDITION
2 WENTWORTH DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
INTEGRA BIOSCIENCES CORP.
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800



29 APRIL 2020

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Civil Engineers/Land Surveyors
3 Congress Street
Nashua, NH 03062
(603) 883-2057
131 Middlesex Turnpike
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(781) 203-1501
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- NOTES**
- STRUCTURE DIAMETERS AS SHOWN ON DRAINAGE PROFILES ARE CONSIDERED TO BE MINIMUM INSIDE DIMENSIONS. ALL STRUCTURES SHALL BE A MINIMUM INSIDE DIAMETER OF 48" UNLESS OTHERWISE INDICATED. LARGER STRUCTURES MAY BE NECESSARY DUE TO ALIGNMENT AND/OR PIPE SIZES. STRUCTURE MANUFACTURER SHALL DETERMINE FINAL SIZE.
 - PIPE LENGTHS ARE MEASURED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
 - EXTERIOR FOUNDATION WALLS AND FOOTINGS AS SHOWN ARE APPROXIMATE.
 - THE CONTRACTOR SHALL VERIFY THE EXACT SIZE, LOCATION AND ELEVATION OF THE EXISTING 8-INCH VC SEWER PIPE. THE INFORMATION SHALL BE PROVIDED TO THE ENGINEER PRIOR TO CONSTRUCTION.

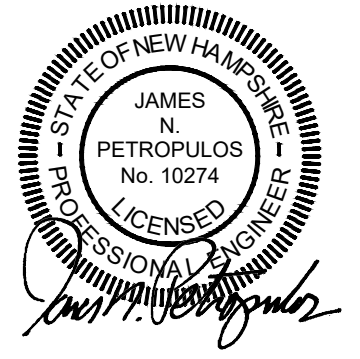
APPROVED BY THE HUDSON, NH PLANNING BOARD

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No.	DATE	REVISION	BY

UTILITY PROFILES
(MAP 215, LOT 9)

PROPOSED BUILDING ADDITION
2 WENTWORTH DRIVE
HUDSON, NEW HAMPSHIRE

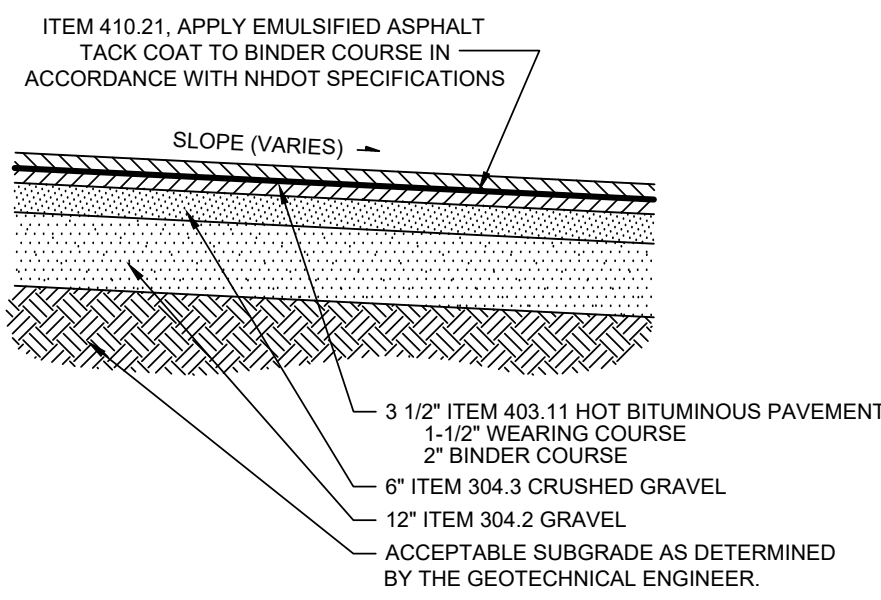
PREPARED FOR/RECORD OWNER:
INTEGRA BIOSCIENCES CORP.
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

40 0 40 40 60 80 FEET
SCALE: HORIZ. 1" = 20 Feet
VERT. 1" = 4 Feet

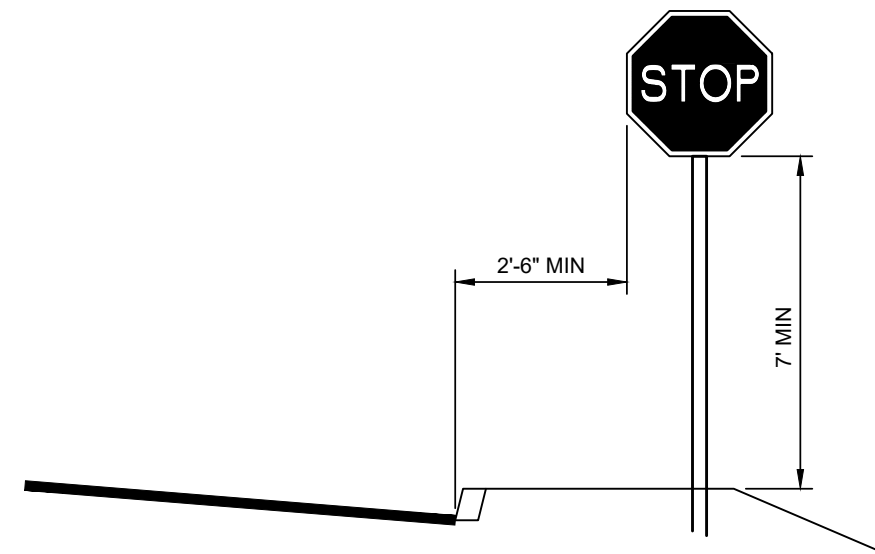
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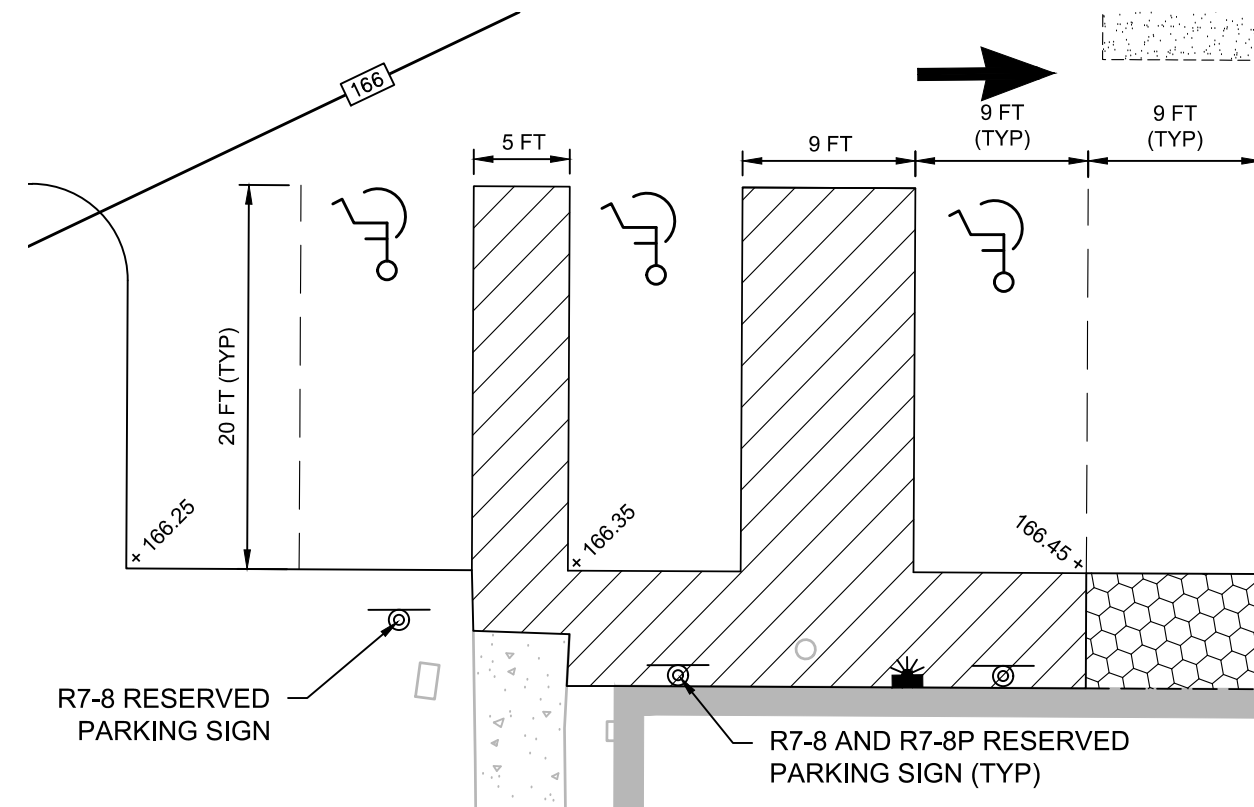
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DRAWING LOC: J:\5000\5414\DWG\5414 BA20 File Number Sheet



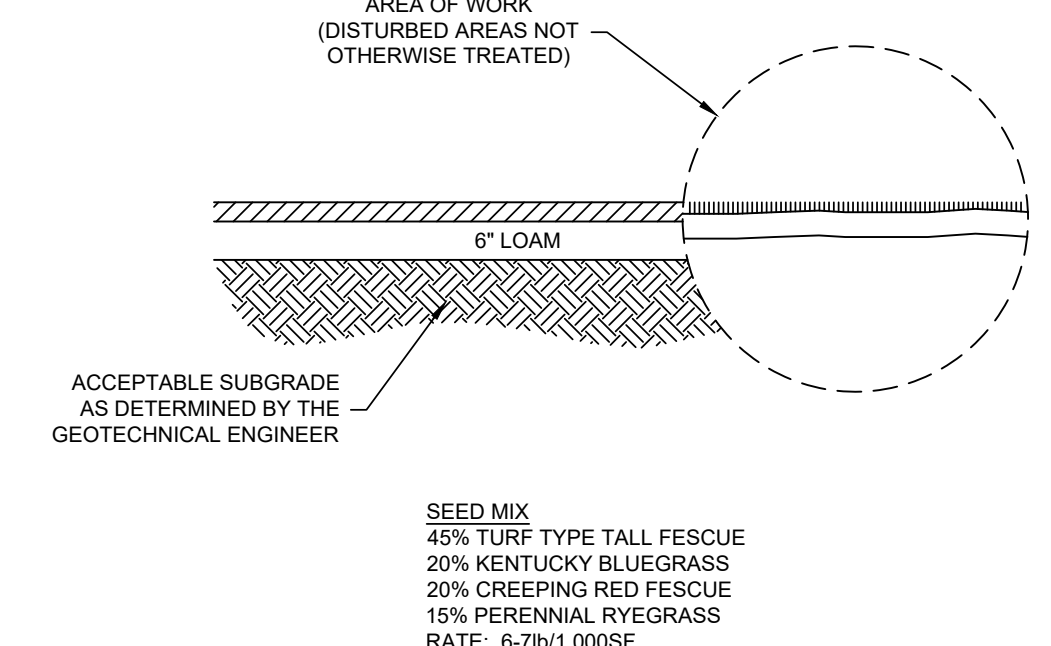
TYPICAL PAVEMENT SECTION
NOT TO SCALE



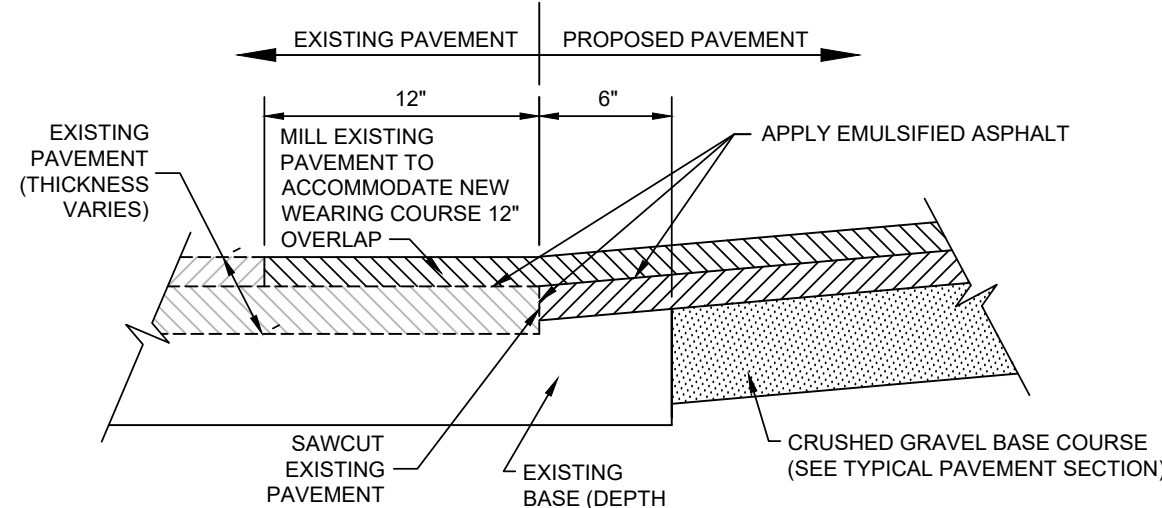
STOP SIGN LOCATION DETAIL
NOT TO SCALE



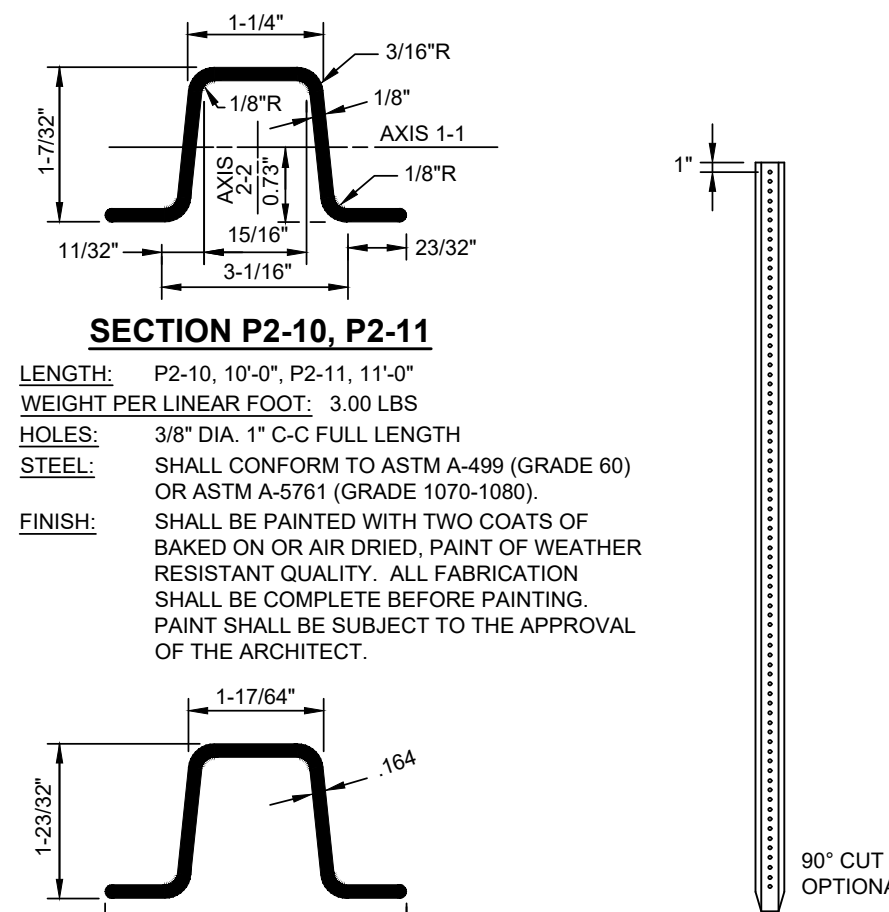
RESERVED PARKING AREA DETAIL
SCALE: 1" = 10'



LOAM AND SEED DETAIL
NOT TO SCALE



SAWCUT PAVEMENT DETAIL
NOT TO SCALE

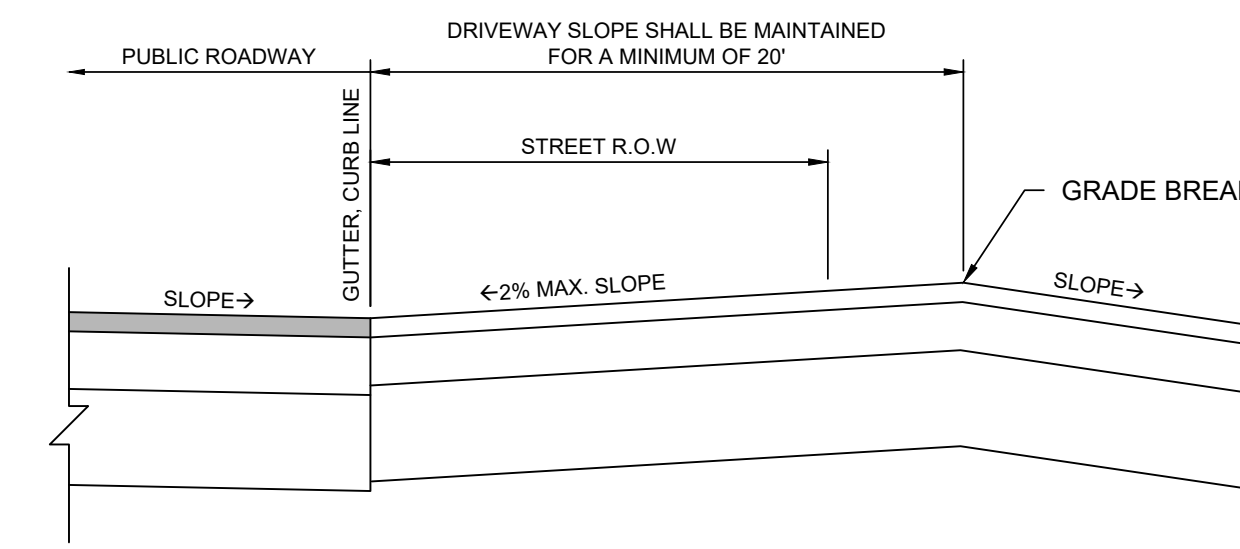


SECTION P-11 THRU P-16

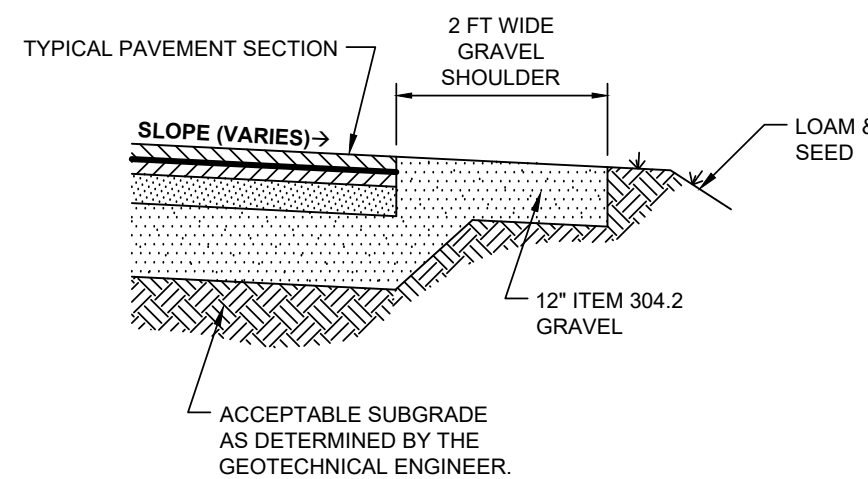
SECTION P2-10, P2-11
LENGTH: P2-10, 10'-0"; P2-11, 11'-0"
WEIGHT PER LINEAR FOOT: 3.00 LBS
HOLES: 3/8" DIA. 1" O-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-5761 (GRADE 1070-1080).
FINISH: SHALL BE PAINTED WITH TWO COATS OF BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING. PAINT SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT.

TRAFFIC SIGN SUPPORT DETAIL
NOT TO SCALE

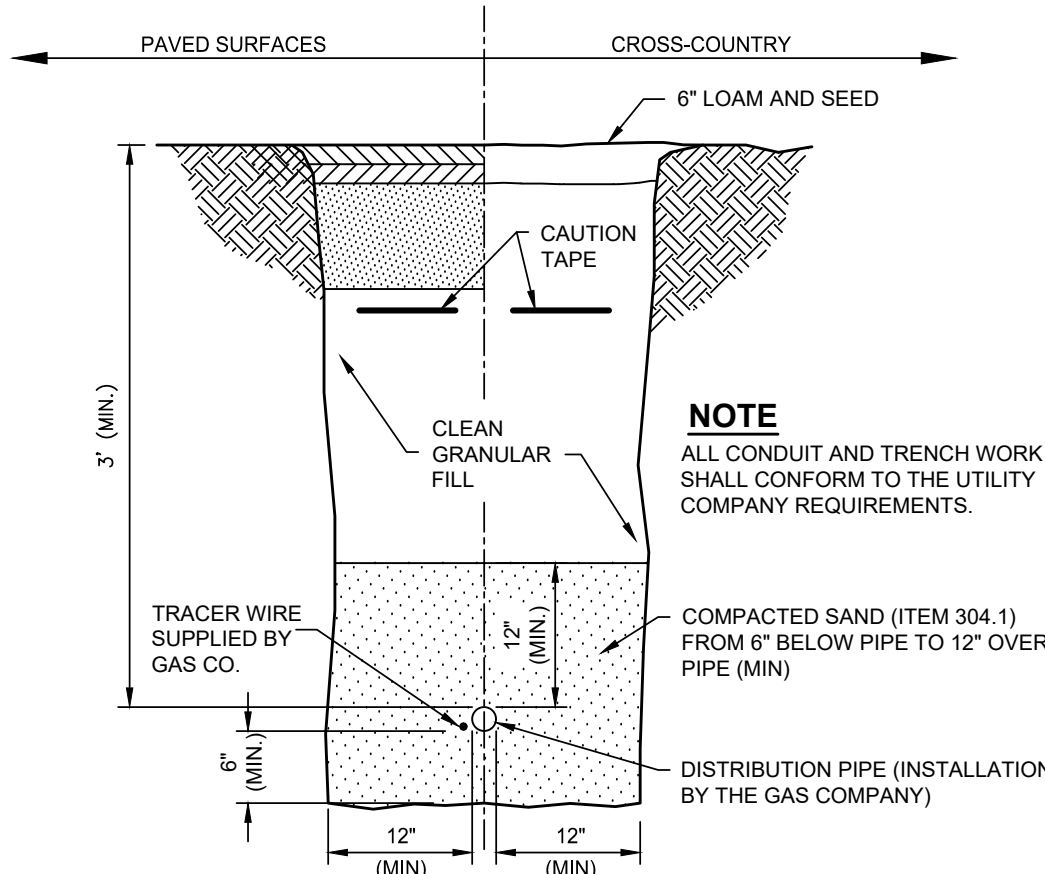
SIGN LEGEND		
TEXT	IDENTIFICATION NUMBER	SIZE WIDTH/HEIGHT
SEE MUTCD FOR TEXT DIMENSIONS	TEXT DIMENSIONS	
	R1-1	30"X30"
SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS		
	R7-8	12"X18"
SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS		
	R7-8P	18"X9"
SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS		



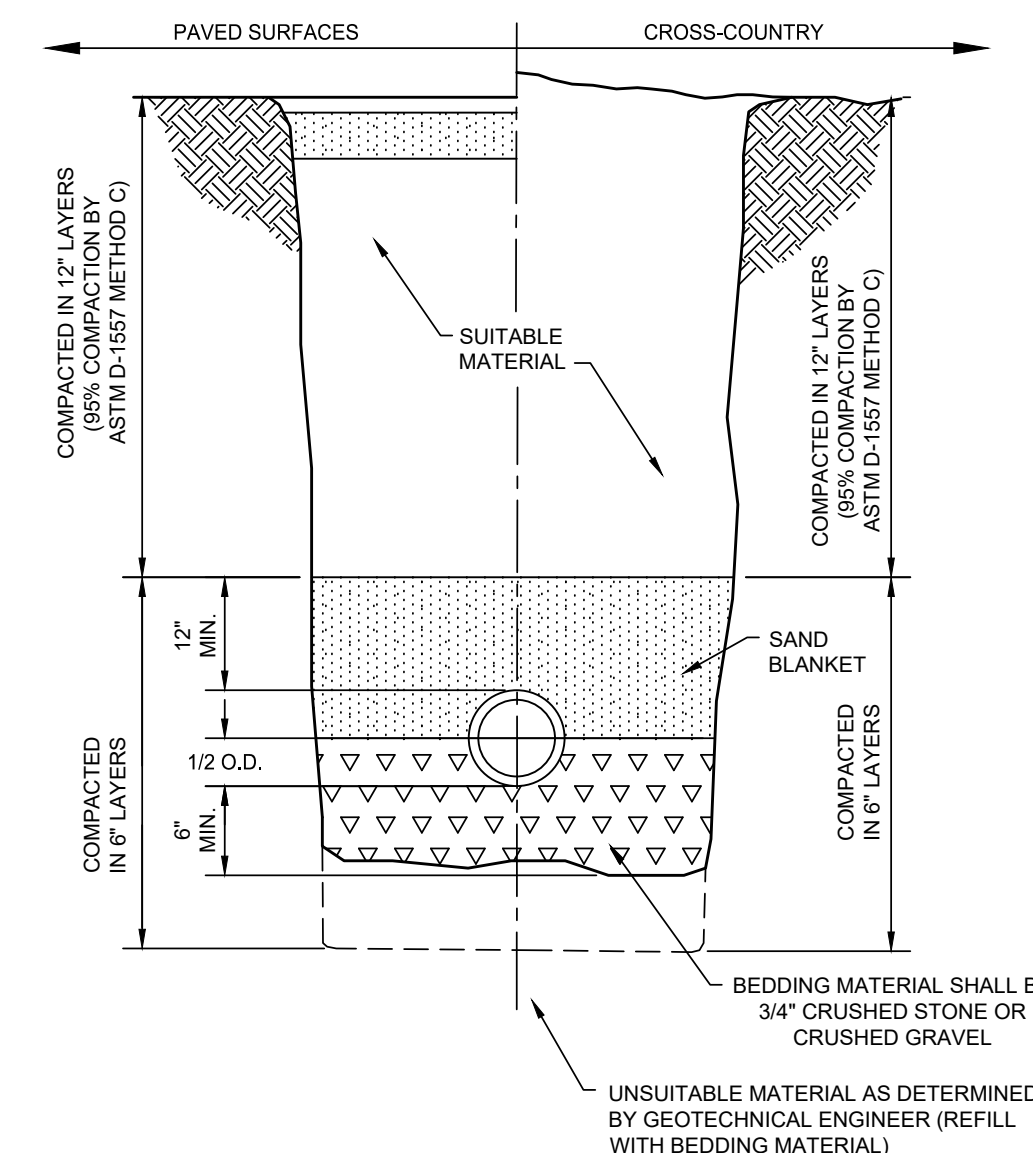
TYPICAL SECTION - DRIVEWAY APRON
NOT TO SCALE



GRAVEL SHOULDER DETAIL
NOT TO SCALE

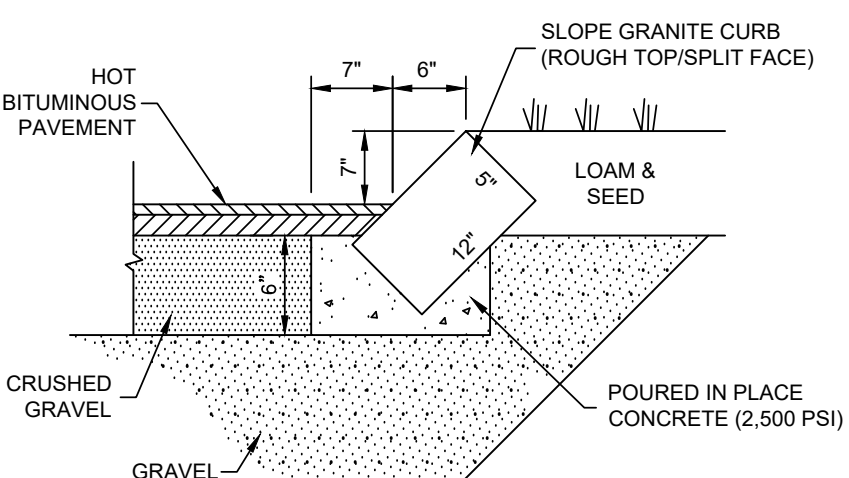


GAS MAIN TRENCH SECTION
NOT TO SCALE



NOTES
1. THE SEWER TRENCH SECTION SHALL CONFORM TO THE NHDES STANDARD TRENCH SECTION, AND TO THE TOWN OF HUDSON ENGINEERING DEPARTMENT ENGINEERING TECHNICAL GUIDE LINES AND TYPICAL DETAILS.
2. IN GENERAL, DISTURBED CROSS-COUNTRY AREAS SHALL BE RESTORED TO THE SATISFACTION OF THE ENGINEER AND SHALL BE LOAMED AND SEEDING IN ACCORDANCE WITH THE DETAIL AND SHALL BE MAINTAINED UNTIL A VIABLE STAND OF GRASS HAS BEEN ESTABLISHED.

TYPICAL SEWER TRENCH SECTION
NOT TO SCALE

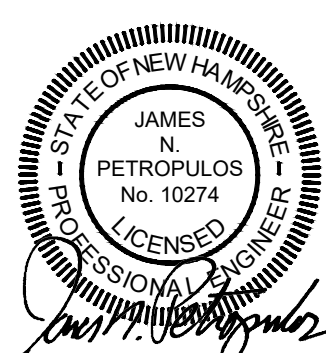


SLOPE GRANITE CURB DETAIL
NOT TO SCALE

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APPROVED BY THE HUDSON, NH PLANNING BOARD
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No.	DATE	REVISION	BY

DETAIL SHEET - GENERAL SITE
(MAP 215, LOT 9)

PROPOSED BUILDING ADDITION
2 WENTWORTH DRIVE
HUDSON, NEW HAMPSHIRE

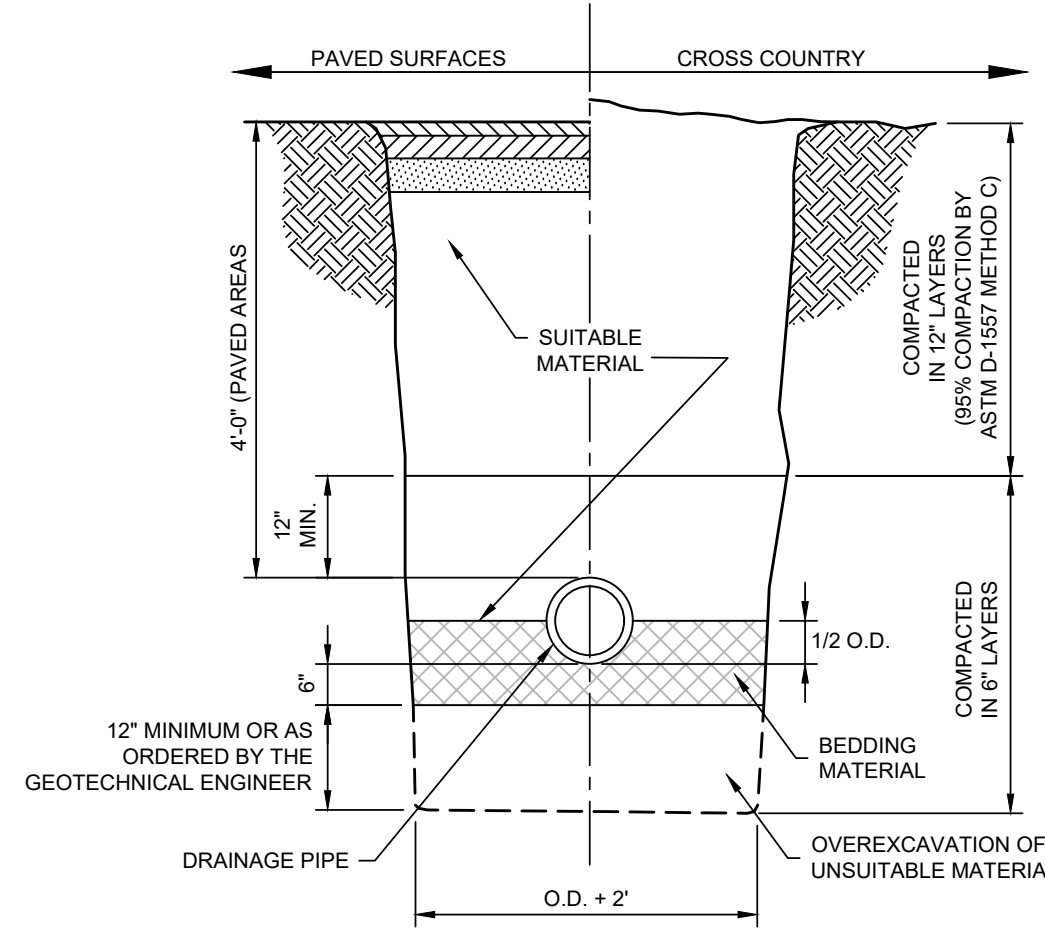
PREPARED FOR/RECORD OWNER:
INTEGRA BIOSCIENCES CORP.
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

NO SCALE

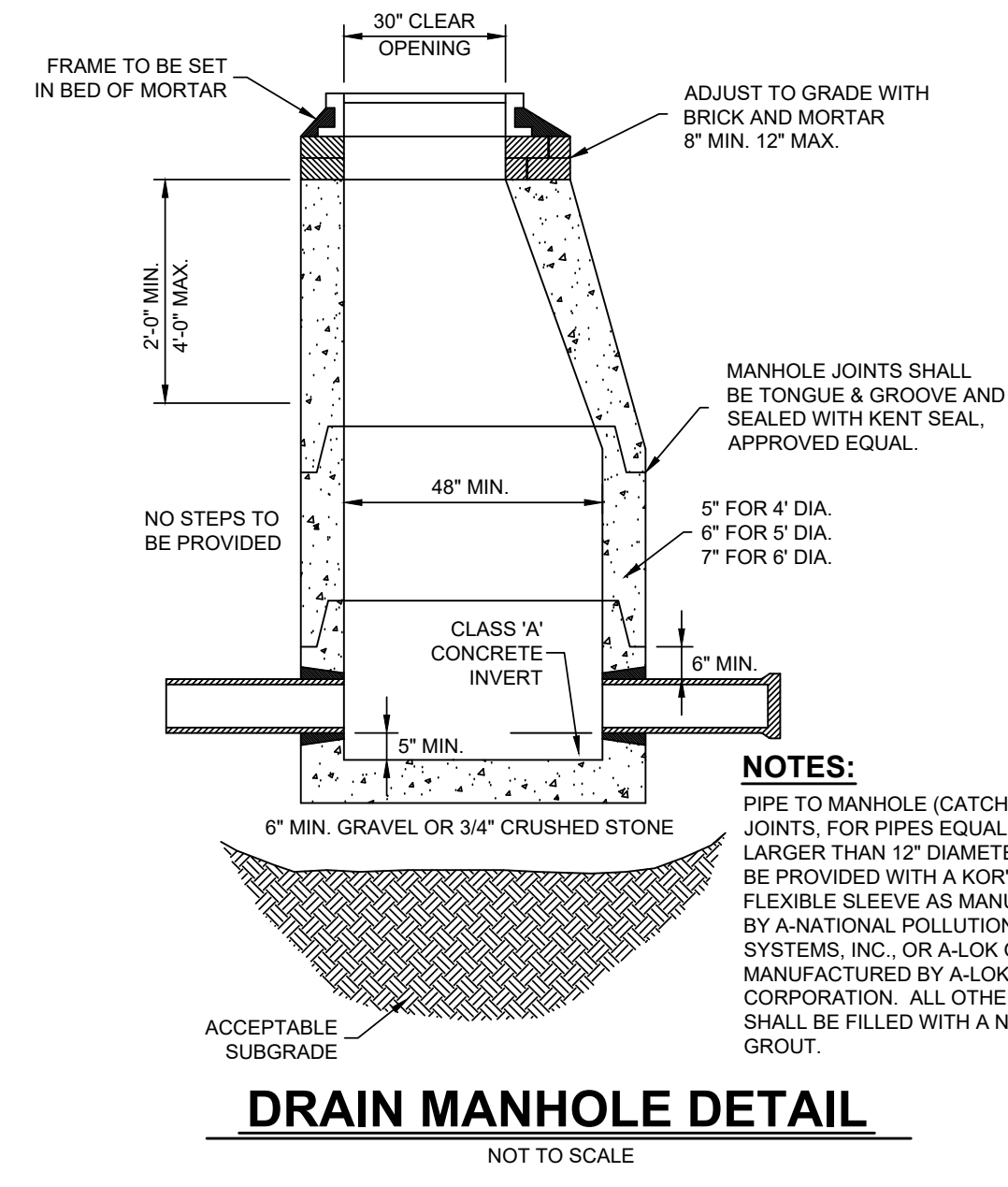
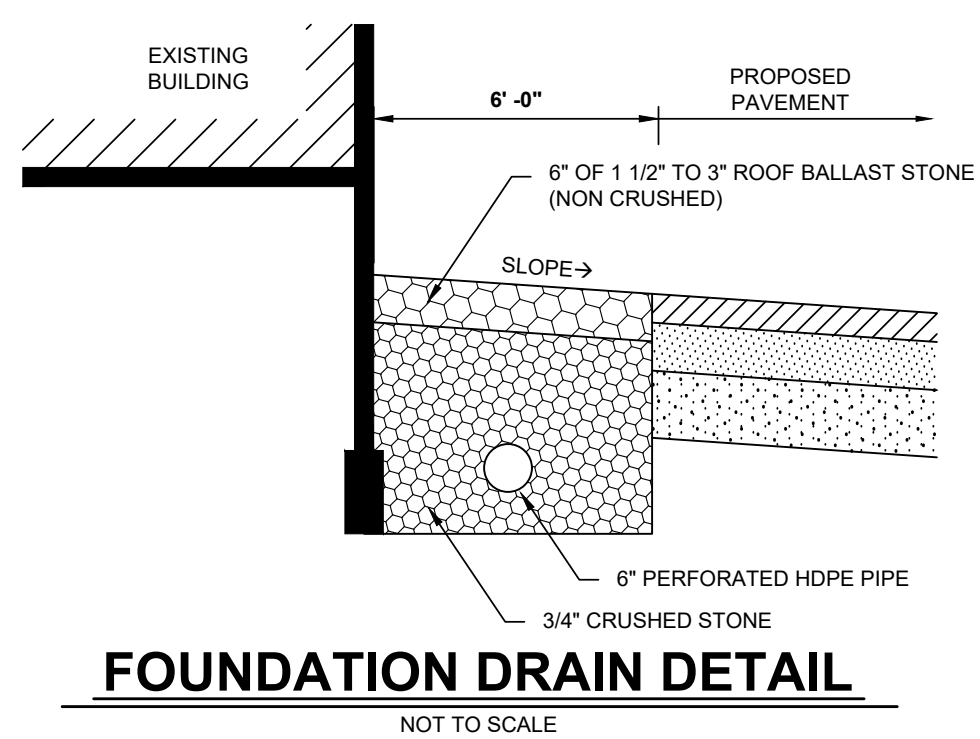
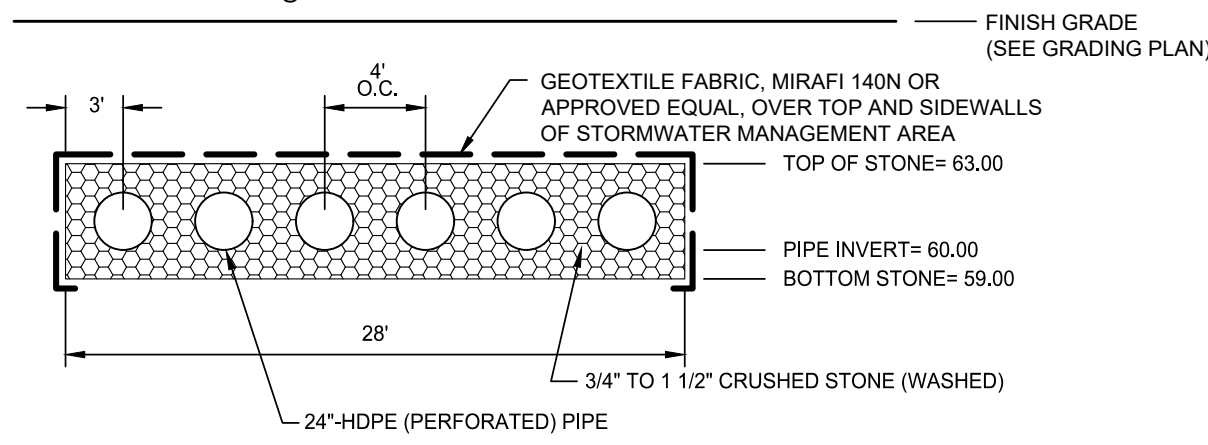
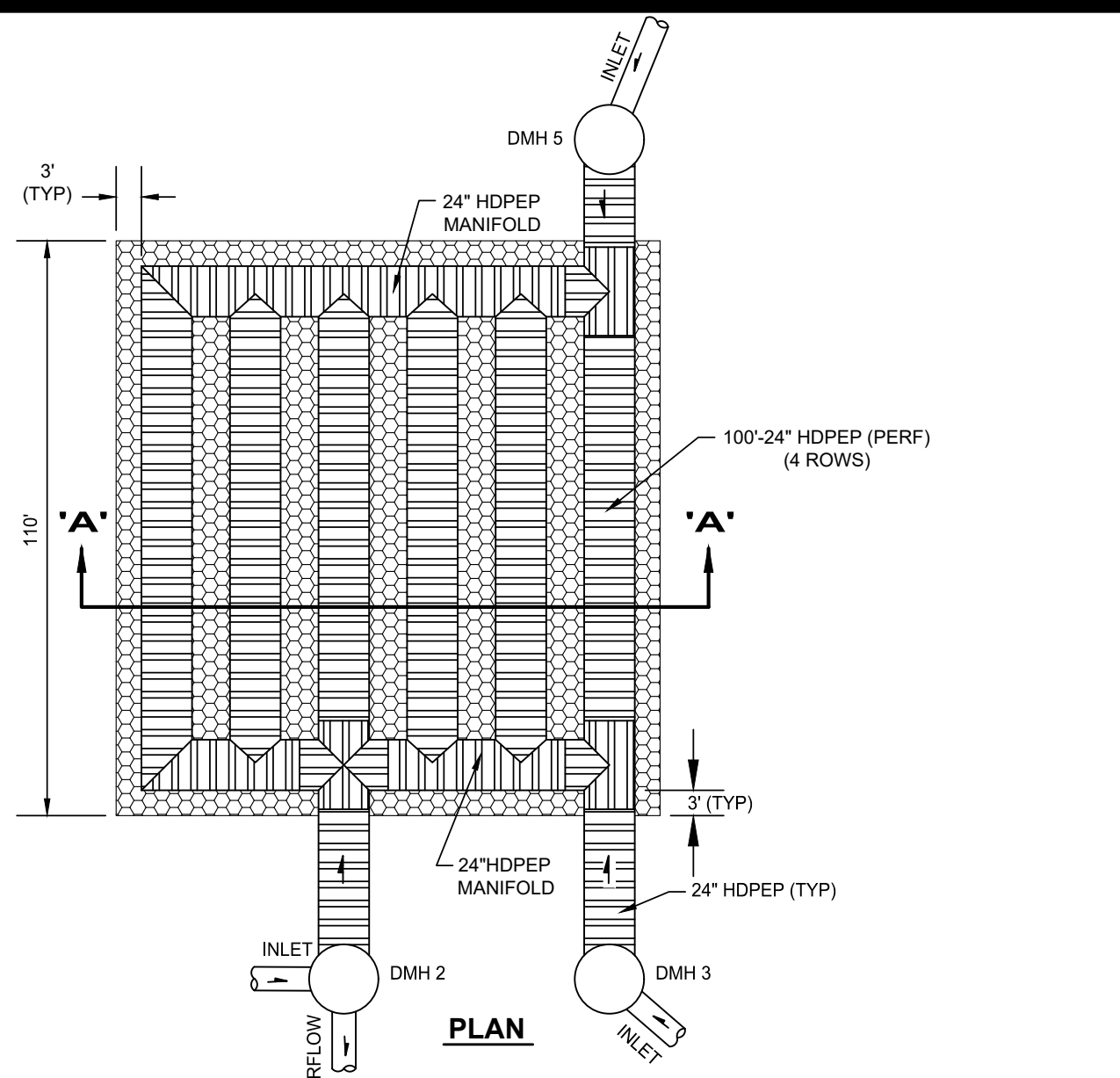
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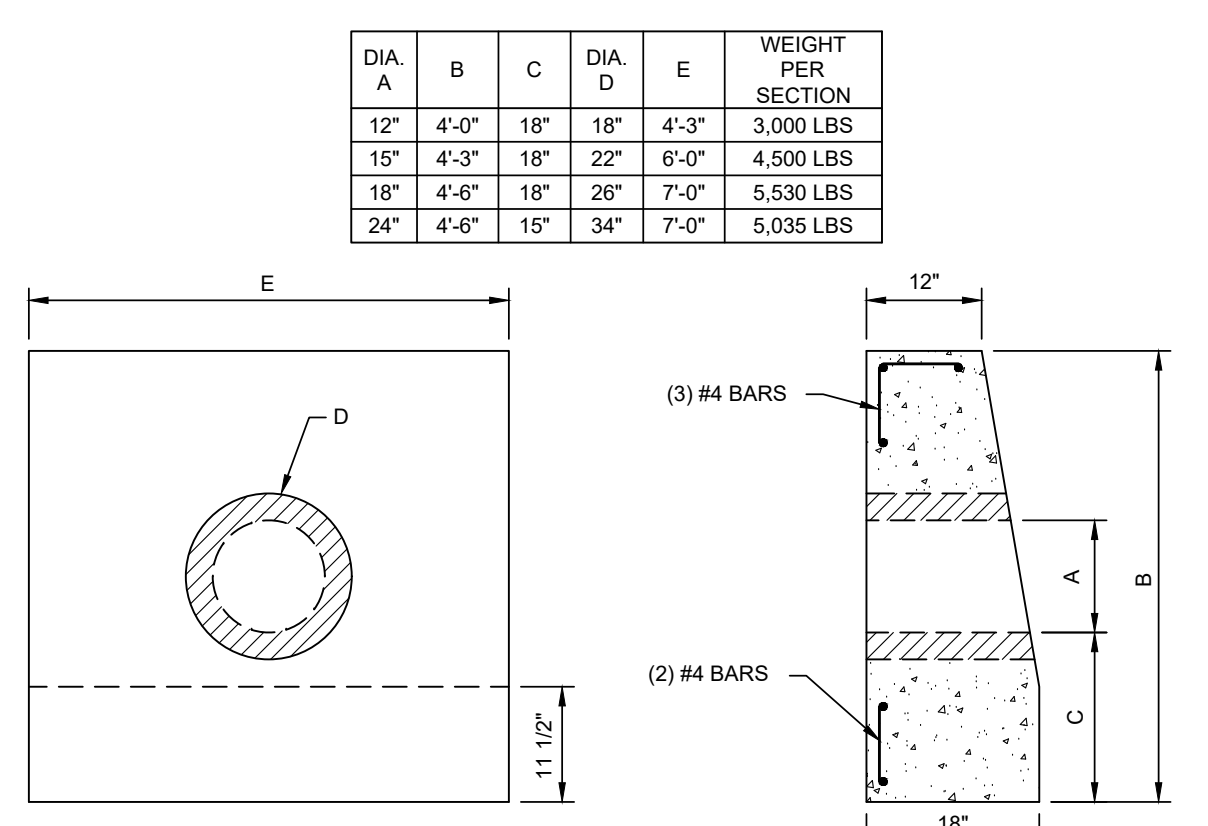
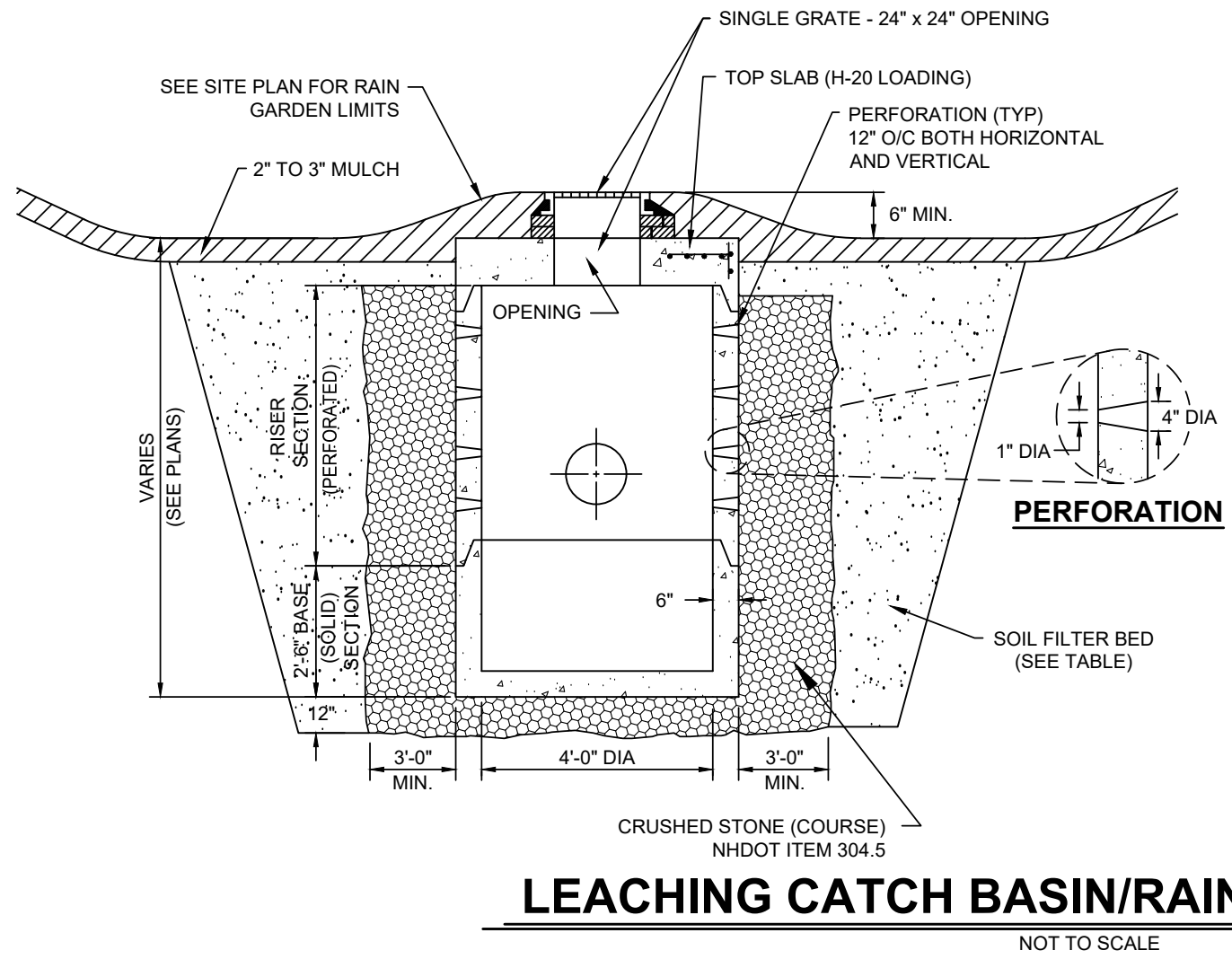
FIELD BOOK: --- DRAWING NAME: 5414 BA20-DET1 5414 BA20 6 OF 10
DRAWING LOC: J:\5000\5414\DWG\5414 BA20 File Number Sheet



BEDDING MATERIAL:
BEDDING SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33, STONE SIZE #67
100% PASSING 1 INCH SCREEN
90-100% PASSING 3/4 INCH SCREEN
20-50% PASSING 3/8 INCH SCREEN
0-10% PASSING #4 SIEVE
0-5% PASSING #8 SIEVE
WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED SCREENED GRAVEL OR CRUSHED STONE 1/2 TO 3/4 INCH SHALL BE USED.



NOTES:
PIPE TO MANHOLE (CATCH BASIN) JOINTS, FOR PIPES EQUAL TO OR LARGER THAN 12" DIAMETER, SHALL BE PROVIDED WITH A KORIN SEAL FLEXIBLE SLEEVE AS MANUFACTURED BY A-NATIONAL POLLUTION CONTROL SYSTEMS, INC. OR A-LOK GASKET AS MANUFACTURED BY A-LOK PRODUCTS CORPORATION. ALL OTHER JOINTS SHALL BE FILLED WITH A NON-SHRINK GROUT.

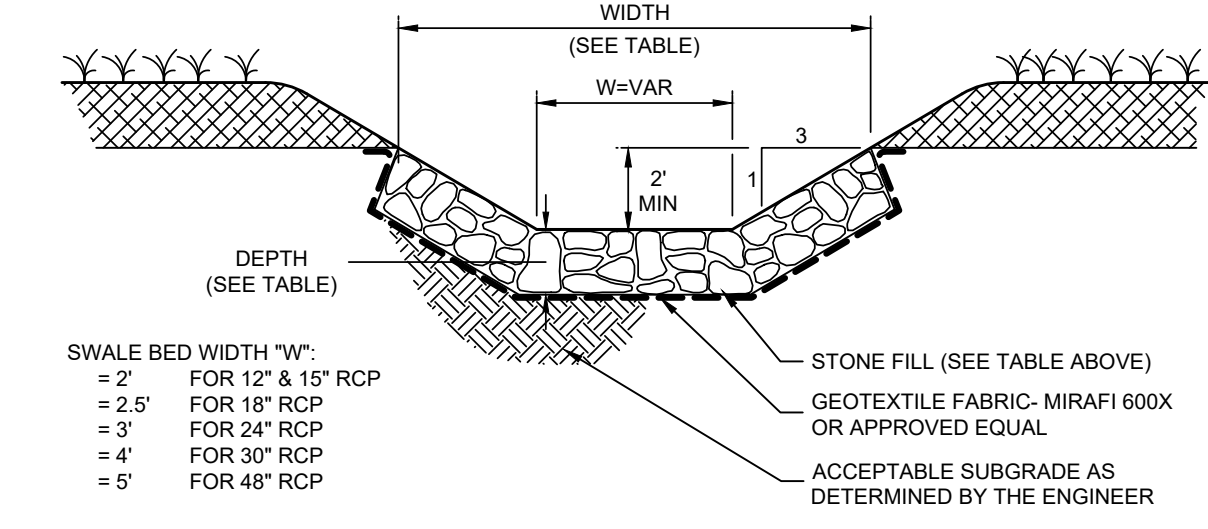


GENERAL NOTES:
1. STEEL REINFORCEMENT CONFORMS TO LATEST ASTM SPECIFICATIONS: ASTM-A615 GRADE 60 REBAR.
2. CONCRETE: Fc = 4,000 PSI @ 28 DAYS MINIMUM.
3. EST WEIGHT: 3,000 LBS.

PRECAST HEADWALL DETAIL
NOT TO SCALE

RIPRAP OUTLET PROTECTION SPECIFICATION TABLE

LOCATION	WIDTH (FT)	LENGTH (FT)	DEPTH (FT)	D 50 (IN)	MATERIAL
HW 1	8	8	1.5	6	ITEM 585.3 STONE FILL CLASS C



RAIN GARDEN MATERIAL TABLE FOR BIORETENTION FILTER MEDIA

COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL	
		SIEVE No.	PERCENT BY WEIGHT PASSING STANDARD SIEVE
FILTER MEDIA OPTION A			
ASTM C-33 CONCRETE SAND	50 TO 55		
LOAMY SAND TOPSOIL, WITH FINES AS INDICATED	20 TO 30	200	15 to 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5
FILTER MEDIA OPTION B			
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5
	70 TO 80	10	85 to 100
		20	70 to 100
		60	15 to 40
LOAMY COARSE SAND		200	8 to 15

RAIN GARDEN NOTES:
1. DO NOT PLACE THE RAIN GARDENS INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
2. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE RAIN GARDEN DURING ANY STAGE OF CONSTRUCTION.
3. DO NOT EXPOSE SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
4. IF FINE MATERIAL THAT WOULD PERCH THE WATER TABLE IS ENCOUNTERED DURING THE CONSTRUCTION OF RAIN GARDEN, THE UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH COARSE GRAVEL (NHDOT ITEM No. 304.2).

LEACHING CATCH BASIN NOTES
1. BASE SHALL BE SOLID. SEDIMENT SHALL BE REMOVED ON A REGULAR SCHEDULED BASIS BY OWNER.
2. LOCATION OF DRAIN LINE OPENINGS VARY, CORE TO JOB SPECIFICATIONS (SEE DRAIN PROFILES).
3. STRUCTURE DESIGN AND REINFORCEMENT SHALL CONFORM TO ASTM C478 AND A185. CONCRETE SHALL BE 4000PSI MINIMUM.

TEST PIT LOG

HSI # 5414 TEST PITS: FOR DRAINAGE DESIGN
MAP 215 LOT 9 WEATHER: 40-45° SUNNY
INTEGRA BIOSCIENCES CORP. EQUIPMENT: KUBOTA MINI EXCAVATOR
2 WENTWORTH DRIVE LOGGED BY: PAUL CARIDEO, NHDES PERMIT #68
HUDSON, NH

TEST PIT # 1 DATE: 4/17/20
0-6" 10YR 3/3, DARK BROWN, SANDY LOAM, FINE GRANULAR, VERY FRIABLE WITH MANY MEDIUM TO FINE ROOTS
6-26" 10YR 5/6, YELLOWISH BROWN, GRAVELLY LOAMY SAND, 15% GRAVEL, 2% COBBLES, GRANULAR, FRIABLE WITH VERY FEW ROOTS
26-70" 10YR 6/4, LIGHT YELLOWISH BROWN, GRAVELLY LOAMY SAND, 15% GRAVEL, 2% COBBLES, GRANULAR, FRIABLE WITH MANY MEDIUM ROOTS STARTING AT 48" THROUGH 70"
70-96" 10YR 5/3, BROWN, GRAVELLY LOAMY SAND, 10% GRAVEL, 2% COBBLES, GRANULAR, FRIABLE WITH MEDIUM TO FINE ROOTS TO 90"
ESHW: NONE OWT: NONE ROOTS: 90" LEDGE: NONE

TEST PIT # 2 DATE: 4/17/20
0-3" 10YR 3/3, DARK BROWN, SANDY LOAM FILL, FINE GRANULAR, VERY FRIABLE WITH NO ROOTS
3-30" 10YR 6/4, LIGHT YELLOWISH BROWN, GRAVELLY COARSE SAND FILL, 15% GRAVEL, SINGLE GRAIN, LOOSE WITH NO ROOTS
30-48" 10YR 7/3, VERY PALE BROWN, GRAVELLY SAND, 10% GRAVEL, SINGLE GRAIN, LOOSE WITH MANY MEDIUM ROOTS STARTING AT 30" THROUGH 48"
48-144" 10YR 6/3, PALE BROWN, COARSE SAND, 5% GRAVEL, SINGLE GRAIN, LOOSE AND 10YR 7/3, VERY BROWN, SAND, SINGLE GRAIN, LOOSE IN STRATIFIED LAYERS WITH ROOTS TO 72"
ESHW: NONE OWT: NONE ROOTS: 72" LEDGE: NONE

TEST PIT # 3 DATE: 4/17/20
0-6" 10YR 3/3, DARK BROWN, SANDY LOAM, FINE GRANULAR, VERY FRIABLE WITH NO ROOTS
6-14" 10YR 5/6, YELLOWISH BROWN, GRAVELLY LOAMY SAND, 15% GRAVEL, SINGLE GRAIN, LOOSE WITH NO ROOTS
14-36" 10YR 6/4, LIGHT YELLOWISH BROWN, GRAVELLY SAND, 15% GRAVEL, SINGLE GRAIN, LOOSE WITH NO ROOTS
36-46" 10YR 6/3, PALE BROWN, GRAVELLY SAND, 15% GRAVEL, SINGLE GRAIN, LOOSE & NO ROOTS
46-82" 10YR 7/3, VERY PALE BROWN, SAND, GRANULAR, LOOSE & NO ROOTS
82-120" 10YR 6/3, PALE BROWN, GRAVELLY SAND, 5% GRAVEL, SINGLE GRAIN, LOOSE & NO ROOTS
ESHW: NONE OWT: NONE ROOTS: NONE LEDGE: NONE

TEST PIT # 4 DATE: 4/17/20
0-6" 10YR 3/3, DARK BROWN, SANDY LOAM, WEAK FINE GRANULAR, VERY FRIABLE WITH NO ROOTS
6-16" 10YR 5/6, YELLOWISH BROWN, GRAVELLY SAND, 15% GRAVEL, SINGLE GRAIN, LOOSE WITH NO ROOTS
16-48" 10YR 5/3, BROWN, GRAVELLY SAND, 15% GRAVEL, SINGLE GRAIN, LOOSE WITH 7.5YR 5/8, STRONG BROWN REDOXIMORPHIC FEATURES AT 44" AND NO ROOTS
48-74" 10YR 6/4, LIGHT YELLOWISH BROWN, VERY FINE LOAMY SAND, WEAK FINE GRANULAR TO VERY THIN WEAK PLATES, FIRM IN PLACE FRIABLE REMOVED WITH NO ROOTS
ESHW: 44" OWT: NONE ROOTS: NONE LEDGE: NONE

Infiltration Test #2 (60" Below Surface) Date: April 17, 2020

1	2	3	4	5	6	7	8
Reading on the clock	Time difference	Cumulative time	Water level reading	Infiltration	Infiltration rate	Infiltration rate	Infiltration rate
Start=0	min	min	Before filling After filling	mm	mm/min	mm/hr	In/hr
11:20:00	5	Start=0	105	(105-54.2) =50.8	50.8/5=10.16	609.6	24
11:25:00	10	5	54.2	102	(102-55.4) =46.6	46.6/5=9.32	559.2
11:30:00	15	5	55.4	104	(104-59.5) =44.5	44.5/5=8.9	534.0
11:35:00	20	5	59.5	100	(100-55.0) =45.0	45.0/5=9.0	540
11:40:00		5	55.0				

No.	DATE	REVISION	BY

DETAIL SHEET - DRAINAGE
(MAP 215, LOT 9)
PROPOSED BUILDING ADDITION
2 WENTWORTH DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
INTEGRA BIOSCIENCES CORP.
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

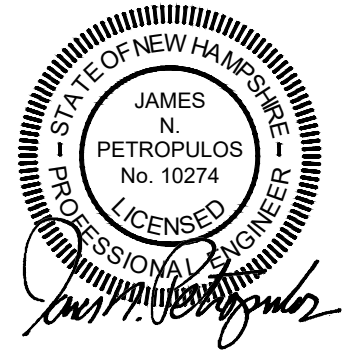
NO SCALE

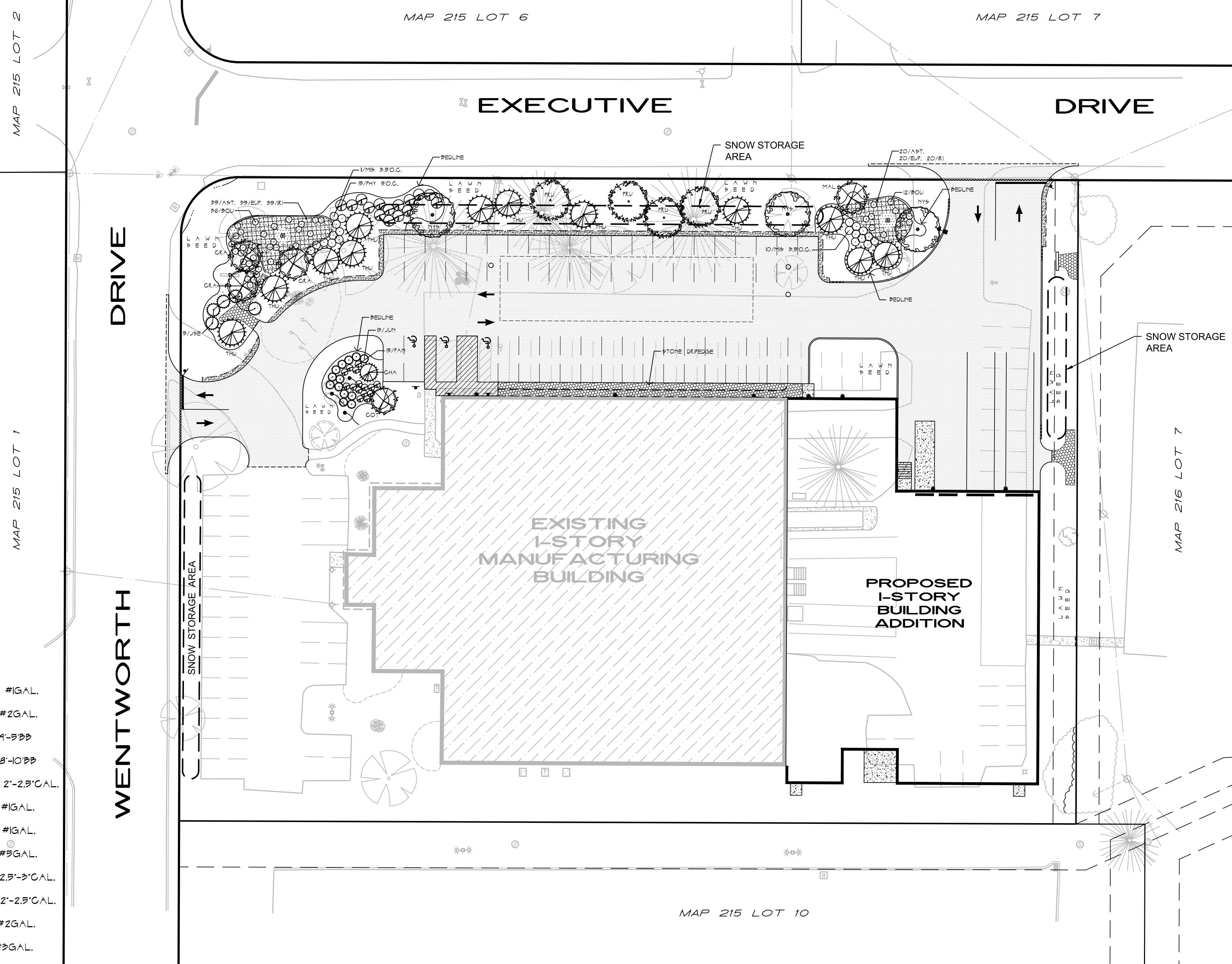
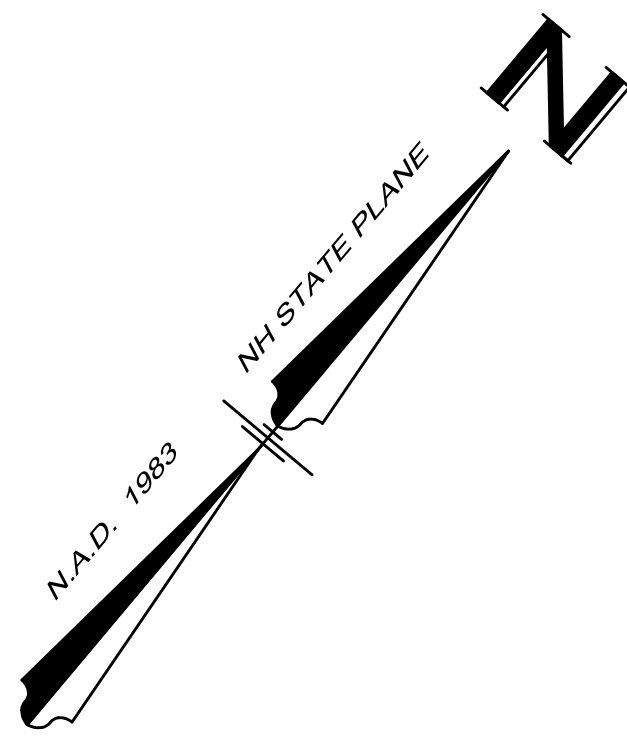
29 APRIL 2020

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street 131 Middlesex Turnpike
Nashua, NH 03062 Burlington, MA 01803
(603) 883-2057 (781) 203-1501
www.haynerswanson.com

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.





MATERIAL LIST

99/AST	ASTER NOVAE-ANGLIAE (PURPLE DOME ASTER)	#1 GAL.
48/BOU	BOUTELLOUA (BLONDE AMBITIONS BLUE GRAMA)	#2 GAL.
1/CHA	CHAMAECYPARIS PISIFERA (GREEN THREADLEAF CYPRESS)	4-5 DB
1/COT	COTINUS COGGYGRIA (GRACE SMOKEBUSH)	8-10 DB
2/CRA	CRATAEGUS LAEVIGATA (CRIMSON CLOUD HAWTHORN)	2'-2.5' CAL.
99/EUP	EUPATORIUM DUBIUM (BABY JOE JOE PYE WEED)	#1 GAL.
99/RI	IRIS ENSATA (MT FUJISAMA JAPANESE IRIS)	#1 GAL.
1/JUN	JUNIPERUS HORIZONTALIS (PLUMOSA YOUNGSTOWN JUNPER)	#3 GAL.
1/MAA	MAACKIA AMURENSIS (MAAGNIFICENT MAACKIA)	2.5'-3' CAL.
1/MAL	MALUS SPECIES (LOUISA CRABAPPLE)	2'-2.5' CAL.
2/MIS	MISCANTHUS SINENSIS (PURPURASCENS MAIDEN GRASS)	#2 GAL.
1/PAN	PANICUM VIRGATUM (HEAVY METAL SWITCH GRASS)	#2 GAL.
1/PHY	PHYOGARPUS OPULIFOLIS (COPPERTINA NINEBARK)	#7 GAL.
1/PRU	PRUNUS SARGENTI (PINK FLAIR CHERRY)	2.5'-3' CAL.
2/NYS	NYSSA SYLVATICA (FIRESTARTER TUPELO)	2.5'-3' CAL.
12/THU	THUJA PLICATA (GREEN GIANT ARBORVITAE)	8-10 DB

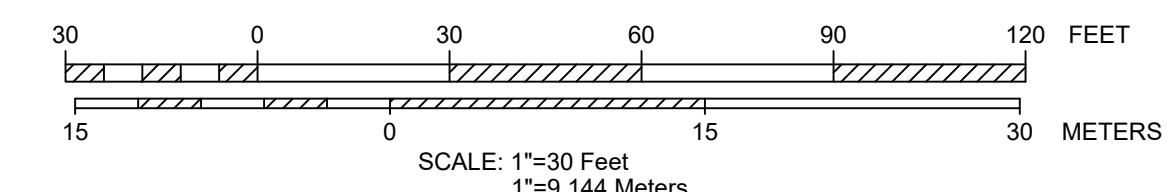
General Specifications

- The contractor shall at his expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and acquaint himself with all conditions before making his proposal. He will be held responsible for errors in his proposal resulting from his failure to make such an examination. All bidders shall visit the site and inform themselves of all conditions.
- The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials conforming to the bid items. Under no circumstances may a species 'hybrid' be substituted or size changed without written consent of the landscape architect.
- The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, he shall be responsible for their repair and/or replacement at his expense.
- The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstructed providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- All seeded areas shall receive a minimum 6" topsoil blanket (by site contractor) w/site preparation, raking and general clean up prior to application. Operations shall include a preemergence type herbicide, 12-25-12 granular fertilizer @ 10 lbs./1000 sq. ft., and pelletized limestone @ 25 lbs./1000 sq ft power raked into the top 2" of soil prior to hydro-seeding. Ratios & application rates may change based upon the required soil analysis.
- Contractor is responsible for establishing a thick, weed free lawn. Seed shall be spread @ 4lbs./1000. Lawn germination shall be 95% free of noxious weeds for acceptance. Define differences in seed mixes (if applicable) with irrigation flagging until 2nd mowing. Site review by LA is required.
- Hydroseeding operations shall be a one part process with a paper fiber mulch; a tackifier shall be applied on all slopes greater than 3:1.
- All plant materials shall be installed in accordance with A.L.C.C. Trees and shrubs shall have appropriate soil mixtures, fertilizer and soil retention granules.
- If the soil conditions are extremely sandy, all trees shall have a 6" layer of compacted topsoil (verify with Landscape Architect) placed in the base of the plant pit as a moisture retention layer. The plant pit sidewalls shall be over excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec # 22.
- All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractors expense; with same warranty requirements as the original. Warranty does not cover loss due mechanical damage, i.e. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.
- Plant beds and saucers vary in dia. (refer to dwg). Trees and shrubs shall receive a 4" (settled) covering of pine/hemlock bark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6' dia. saucer (typ.), evergreen trees shall have a saucer 2' min. beyond it's outer branches. All edges shall have a 'V' groove.
- All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be stored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface dries out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- Plan dictates, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- Any questions concerning this drawing shall be directed to Joseph Hochrein c/o Blackwater Design, 85 Frost Lane, Webster, NH 03303, 603-648-2541.

NO.	DATE	REVISION	BY

LANDSCAPE PLAN
(MAP 215, LOT 9)
PROPOSED BUILDING ADDITION
2 WENTWORTH DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
INTEGRA BIOSCIENCES CORP.
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

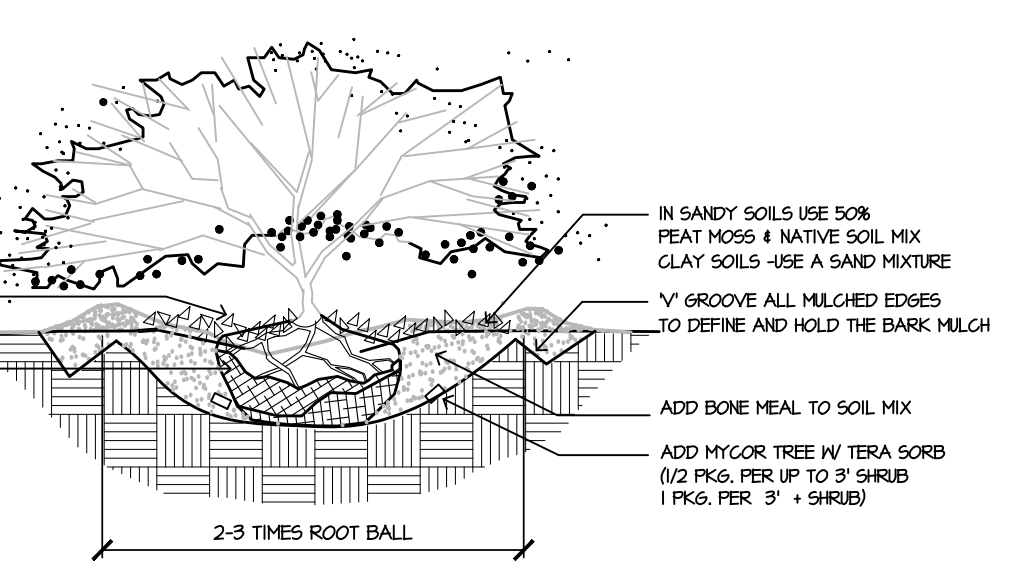


29 APRIL 2020

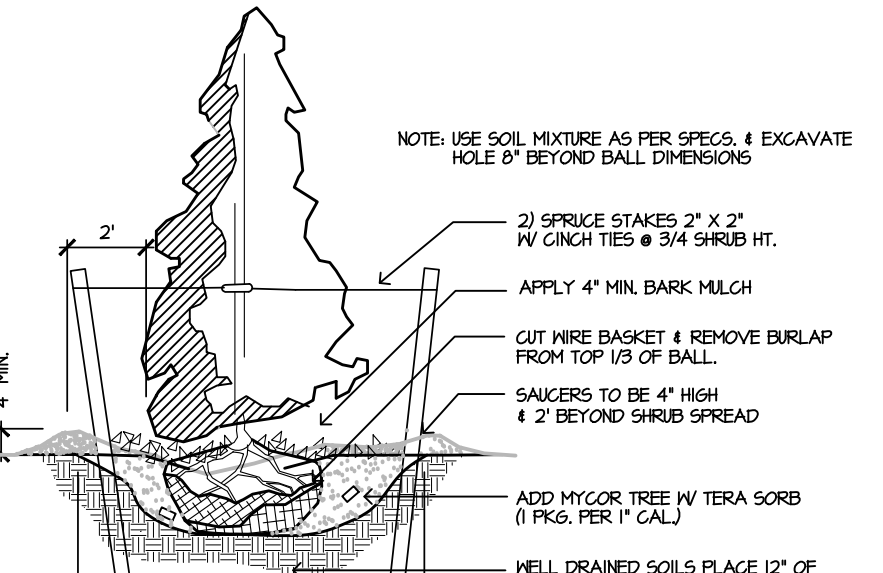
PREPARED BY:
BLACKWATER DESIGN
PHONE (603) 648-6500 FAX (603) 648-6506
Land Planning - Landscape Architecture
85 Frost Lane - Webster, NH 03303

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

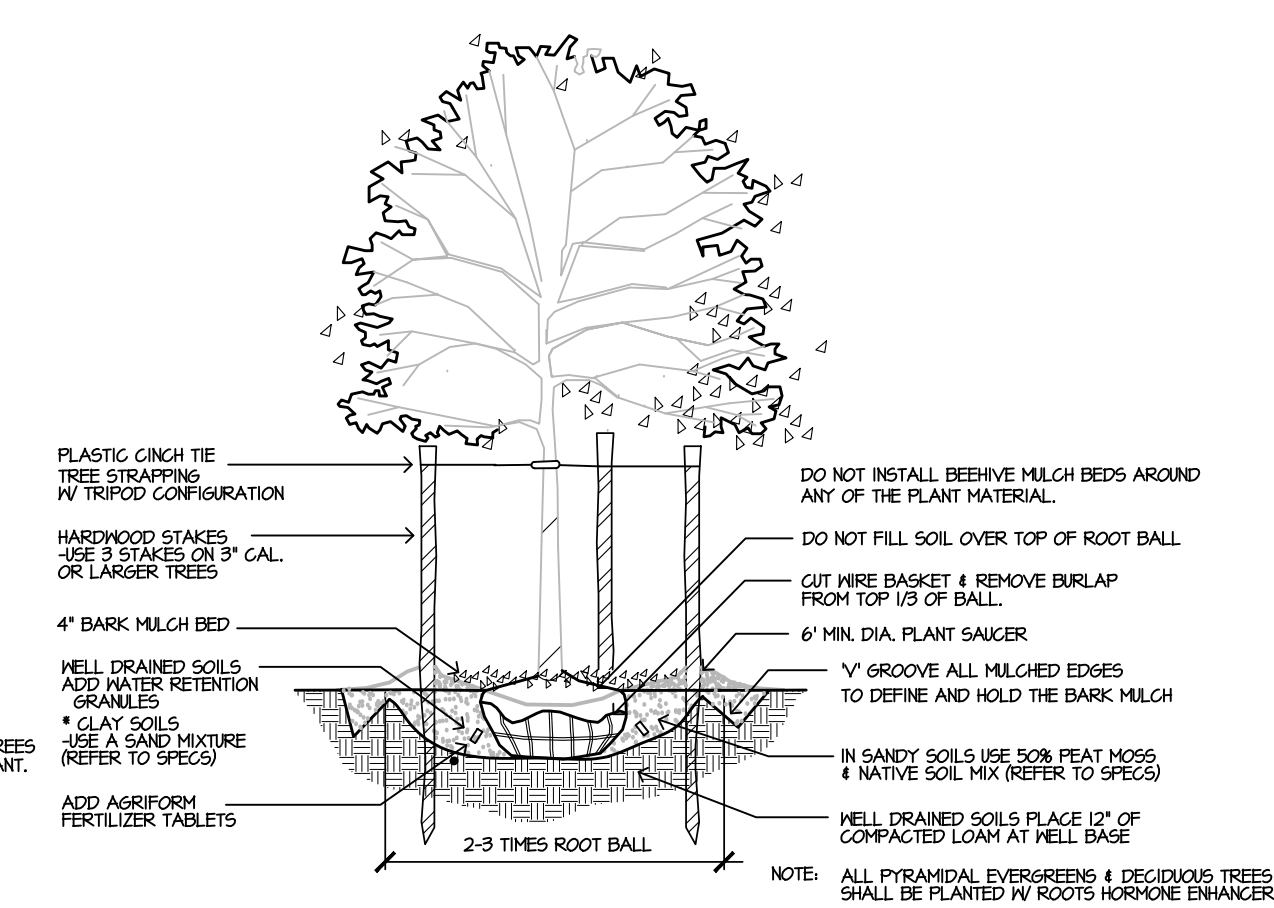
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



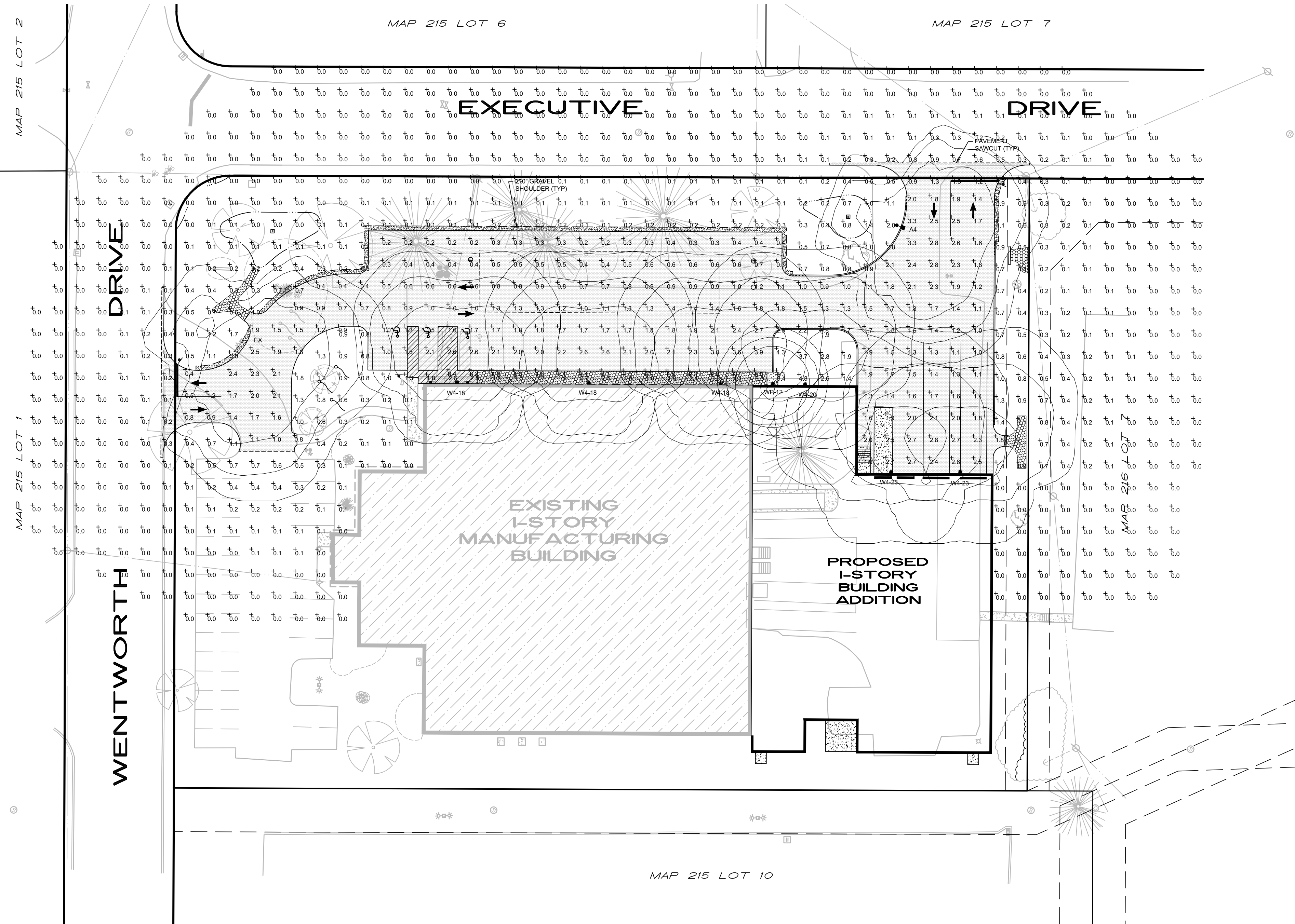
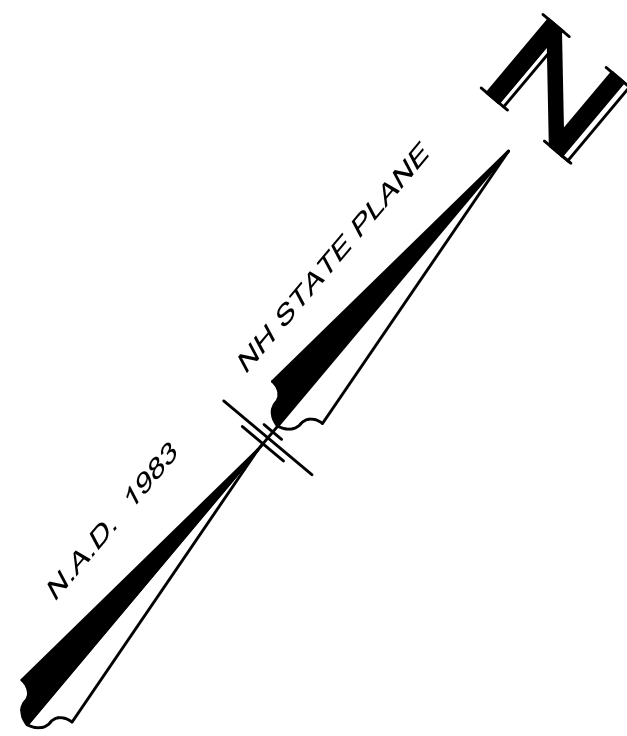
B&B SHRUB PLANTING
NOT TO SCALE



PYRAMIDAL EVERGREEN TREE PLANTING
NOT TO SCALE



TREE PLANTING 2" + CAL.
NOT TO SCALE



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A4	1	Lithonia Lighting	DSX0 LED P4 40K TFTM MVOLT SPA XXXX with SSS 20 4C DM19AS XXXX	DSX0 LED Area Fixture, mounted at 20ft	LED	1	DSX0_LED_P4_40K_TFTM_MVO LT.ies	10558	0.9	92
	EX	1	Lithonia Lighting	XXXXXX	Existing Fixture, mounted at 20ft	LED	1	DSX0_LED_P4_40K_TFTM_MVO LT.ies	10558	0.9	92
	W4-18	3	Lithonia Lighting	DSXW2 LED 30C 700 40K TFTM MVOLT	DSXW2 LED Wall Pack, mounted at 18ft	LED	1	DSXW2_LED_30 C_700_40K_TFT M_MVOLT.ies	8082	0.9	71
	W4-20	1	Lithonia Lighting	DSXW2 LED 30C 700 40K TFTM MVOLT	DSXW2 LED Wall Pack, mounted at 20ft	LED	1	DSXW2_LED_30 C_700_40K_TFT M_MVOLT.ies	8082	0.9	71
	W4-23	2	Lithonia Lighting	DSXW2 LED 30C 700 40K TFTM MVOLT	DSXW2 LED Wall Pack, mounted at 23ft	LED	1	DSXW2_LED_30 C_700_40K_TFT M_MVOLT.ies	8082	0.9	71
	WP-12	1	Lithonia Lighting	QLWX1 LED 40W 40K DDB	40W 4000K LED WALL PACK, mounted at 12ft	LED	1	QLWX1_LED_40 W_40K_DDB.ies	4000	0.9	38.82

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside of Parking Lot	+	0.2 fc	9.4 fc	0.0 fc	N/A	N/A
Parking Lot	+	1.6 fc	8.3 fc	0.2 fc	41.5:1	8.0:1

No.	DATE	REVISION	BY

PHOTOMETRIC SITE LIGHTING PLAN
(MAP 215, LOT 9)

PROPOSED BUILDING ADDITION

2 WENTWORTH DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
INTEGRA BIOSCIENCES CORP.
2 WENTWORTH DRIVE HUDSON, NEW HAMPSHIRE 03051 (603) 578-5800

SCALE: 1"=30 Feet
1"=9.144 Meters

29 APRIL 2020

GATE CITY ELECTRIC

NASHUA, NH 603-886-0200

FIELD BOOK: ---	DRAWING NAME: 5414 BA20-SL31	5414 BA20	10 OF 10
DRAWING LOC: J:\5000\5414\DWG\5414 BA20		File Number	Sheet

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

**PRELIMINARY
NOT FOR
CONSTRUCTION**

Consultant

**Warehouse
Addition
INTEGRA**

Project Address

2 Wentworth Dr,
Hudson, NH 03051

Revision		
#	Date	Description

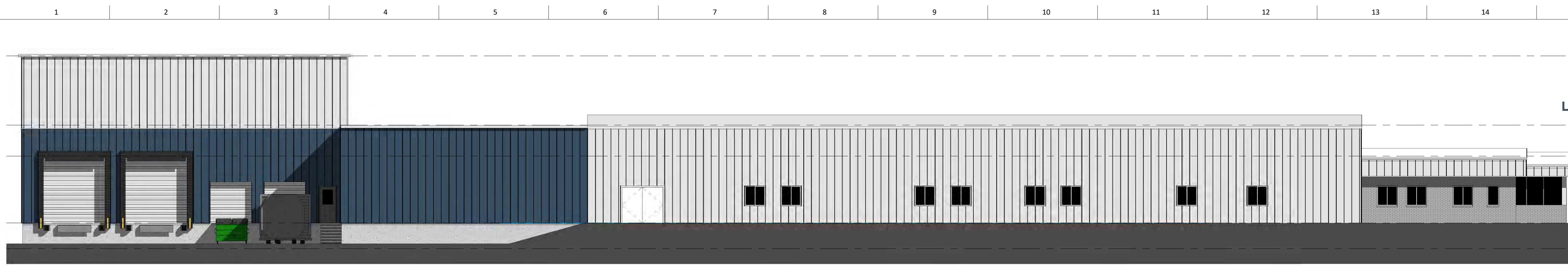
Elevations

Project number 20200315
Date April 27 2020

A200

Scale 3/32" = 1'-0"

28/04/2020 12:07:13 AM

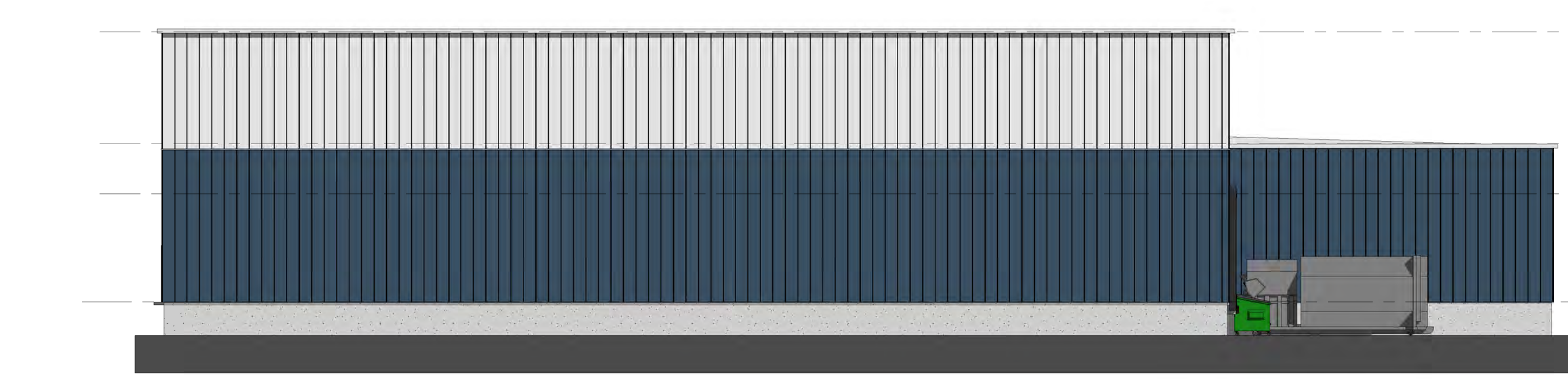


④ South Copy 1
3/32" = 1'-0"

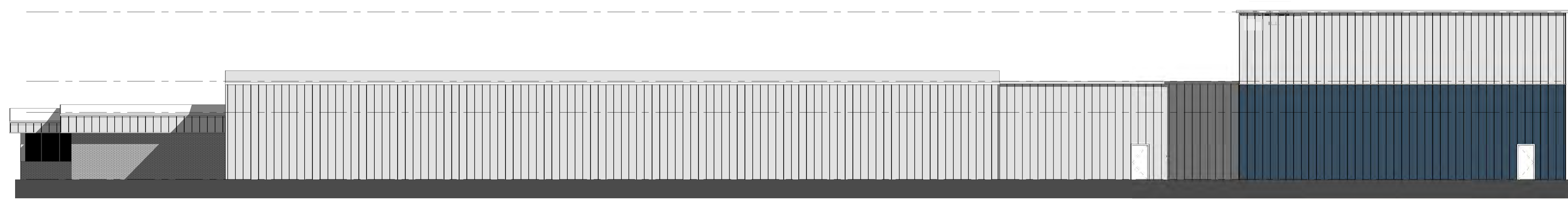
Top Roof
32' - 6"

Low Roof
19' - 0 1/2"

First Floor
0' - 0"



③ West Copy 1
3/32" = 1'-0"

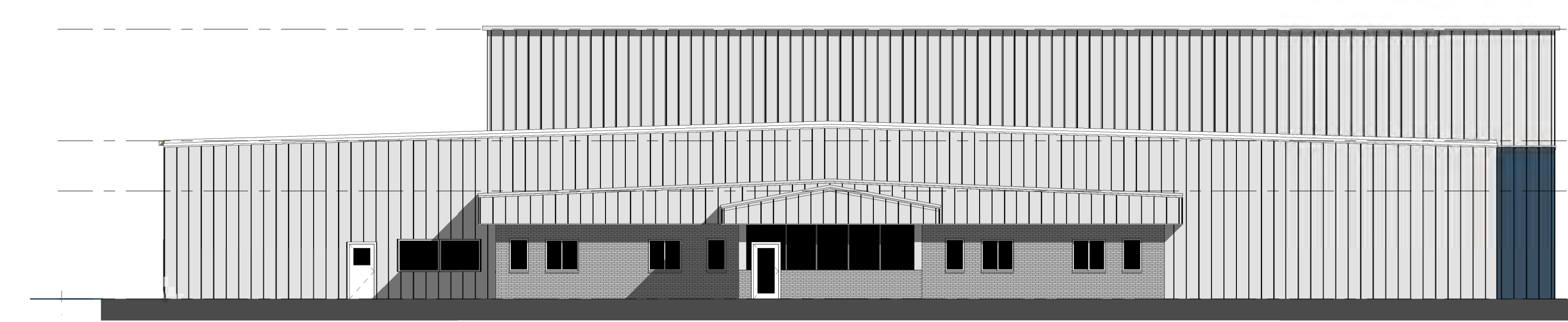


② North Copy 1
3/32" = 1'-0"

Top Roof
32' - 6"

Low Roof
19' - 0 1/2"

First Floor
0' - 0"



① East Copy 1
3/32" = 1'-0"



439 York Street Suite A
 York Harbor Maine 03090
 207-641-9739
 contact@lindseyarchitects.com
 www.lindseyarchitects.com

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

Consultant

**Warehouse
 Addition
 INTEGRA**

Project Address

2 Wentworth Dr,
 Hudson, NH 03051

Revision		
#	Date	Description

Perspective

Project number 20200315
 Date April 27 2020

A900

Scale

28/04/2020 12:07:14 AM

TRIGATE RD. 3-LOT SUBDIVISION **SUBDIVISION APPLICATION #09-20**

STAFF REPORT

June 10, 2020

SITE: 18A & 18B Trigate Road, Map 218 Lots 022-001 & 002

ZONING: General (G)

PURPOSE OF PLANS: To subdivide one lot (although it has two Map/Lot numbers) into three lots, thereby creating 2 new building lots..

PLANS UNDER REVIEW: Subdivision Plan, 18 Trigate Road Condominium; prepared by Gate City Survey, 1 Tara Blvd, Suite 200, Nashua, NH 03062; prepared for: Peter Johnson, 18a Trigate Rd., Hudson, NH 03051; consisting of 2 Sheets and cover sheet; dated April 8, 2020.

ATTACHMENTS:

- A. Fire Department comments

APPLICATION TRACKING:

- April 10, 2020 – Application Received
- June 10, 2020 – Public Hearing Scheduled

COMMENTS:

Fire Department & Engineering

Please view Attachment A, Fire Chief Buxton's requirements for this subdivision. Since the proposed driveway will serve 3 buildings, it needs to be built as a private road. The driveway/private road will also need to conform to standards that will be administered by the Engineering Department.

The application also proposes a shared driveway condition due to the topography of the site.

DRAFT MOTIONS

ACCEPT the subdivision application:

I move to accept the subdivision application for 18A & 18B Trigate Road, Map 218 Lots 022-001 & 002.

Motion by: _____ Second: _____ Carried/Failed: _____

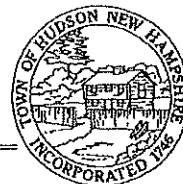
*[If the Board needs more information, move to **defer** the application and indicate why]*

A



TOWN OF HUDSON FIRE DEPARTMENT

39 FERRY STREET, HUDSON, NEW HAMPSHIRE 03051



Emergency 911
Business 603-886-6021
Fax 603-594-1164

Robert M. Buxton
Chief of Department

TO: Brian Groth
Town Planner

FR: Robert M. Buxton *RMB*
Fire Chief

DT: April 25, 2020

RE: Trigate Road Condominium, Map 218-002-001/002

The following is a list of subdivision concerns for this project. This review was completed utilizing plans submitted by Gate City Survey.

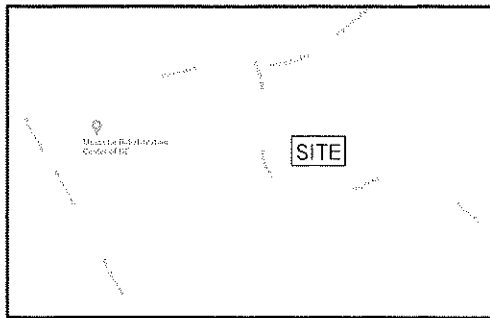
1. The common drive will need to be built as a private road, with street name submitted for approval.
2. Street addressing will need to be obtained from the Hudson Fire Department prior to the issuance of any building permit. This will include the readdressing of the existing property that is coming off of the proposed common drive.
3. The entrance to 218-022-004 will need to be reviewed to allow the turnaround of emergency vehicles.
4. The entrance into the development appears to be at a fairly steep angle. We would note that a maximum slope for the road not exceed Town of Hudson road standards and would ask for a review on entry angles for Trigate and the new private road approaches. This will allow for assurance that the large fleet owned by the Hudson Fire Department will be able to access the site appropriately.

****The following life safety and fire protection concerns provided are for informational purposes to the applicant and Planning Board for this project. Final determinations on these issues occur after further review of the project.**

- A blasting permit will be required for any blasting on the site in accordance with the **Code of the Town of Hudson, Chapter 202.**

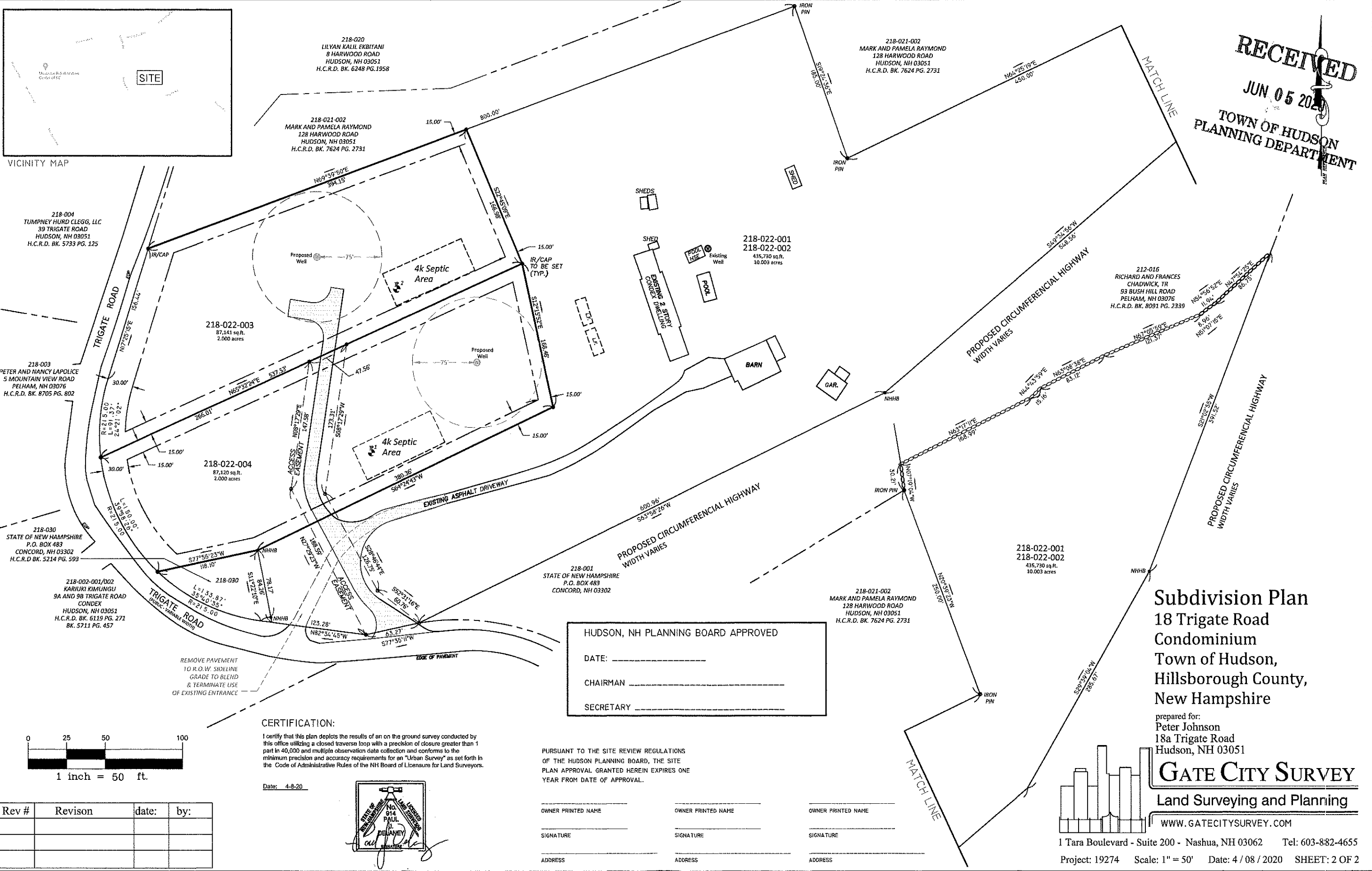
These are all of the Hudson Fire Department's concerns as of this time. If you have any further questions, please call me directly and thank you for your continued cooperation.

cc: Project Engineer
File



VICINITY MAP

RECEIVED
 JUN 05 2020
 TOWN OF HUDSON
 PLANNING DEPARTMENT



HUDSON, NH PLANNING BOARD APPROVED
 DATE: _____
 CHAIRMAN _____
 SECRETARY _____

CERTIFICATION:
 I certify that this plan depicts the results of an on the ground survey conducted by this office utilizing a closed traverse loop with a precision of closure greater than 1 part in 40,000 and multiple observation data collection and conforms to the minimum precision and accuracy requirements for an "Urban Survey" as set forth in the Code of Administrative Rules of the NH Board of Licensure for Land Surveyors.

Date: 4-8-20

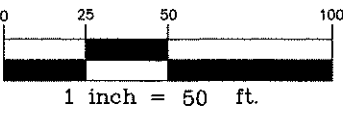
 PAUL R. DELANEY
 SURVEYOR

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

OWNER PRINTED NAME _____
 SIGNATURE _____
 ADDRESS _____

OWNER PRINTED NAME _____
 SIGNATURE _____
 ADDRESS _____

OWNER PRINTED NAME _____
 SIGNATURE _____
 ADDRESS _____



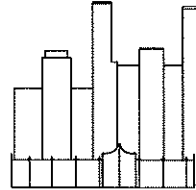
Rev #	Revision	date:	by:

Subdivision Plan
 18 Trigate Road
 Condominium
 Town of Hudson,
 Hillsborough County,
 New Hampshire

prepared for:
 Peter Johnson
 18a Trigate Road
 Hudson, NH 03051

GATE CITY SURVEY
 Land Surveying and Planning

WWW.GATECITYSURVEY.COM



1 Tara Boulevard - Suite 200 - Nashua, NH 03062 Tel: 603-882-4655
 Project: 19274 Scale: 1" = 50' Date: 4 / 08 / 2020 SHEET: 2 OF 2

SOIL EVALUATION RESULTS: TEST PITS

TEST PIT 1 4-4-14			
DEPTH (IN.)	SOIL MATRIX COLOR(MUNSELL)	SOIL TEXTURE	DESCRIPTION/ COMMENTS
0-4"	10YR 2/2	FINE SANDY LOAM	WEAK GRANULAR, VERY FRIABLE
4-11"	10YR 4/6	FINE SANDY LOAM	WEAK GRANULAR, VERY FRIABLE
11-17"	10YR 5/6	FINE SANDY LOAM	WEAK GRANULAR, VERY FRIABLE
17-32"	2.5Y5/6, 10YR4/6	LOAMY SAND	RC @ 23"
32-58"	5Y2, GRAVELY SAND	GRAVELY SAND	MASSIVE AND FRIABLE

DEPTH: 58"
SHWT: 23"
ROOTS: FEW TO 40"

TEST PIT 2 4-4-14			
DEPTH (IN.)	SOIL MATRIX COLOR(MUNSELL)	SOIL TEXTURE	DESCRIPTION/ COMMENTS
0-5"	10YR 2/2	FINE SANDY LOAM	WEAK GRANULAR, VERY FRIABLE
5-11"	10YR 3/6	FINE SANDY LOAM	WEAK GRANULAR, VERY FRIABLE
11-27"	2.5Y5/6	LOAMY SAND	MASSIVE, VERY FRIABLE
27-50"	5Y5/2	GRAVELY SAND	MASSIVE, VERY FRIABLE

DEPTH: 50"
SHWT: 24"
ROOTS: FEW TO 24"

SOIL LIST

- CAC CANTON FINE SANDY LOAM 8-15% SLOPES
- CMC CANTON STONY FINE SANDY LOAM 15-25% SLOPES
- CMD CANTON STONY FINE SANDY LOAM 8-15% SLOPES
- CSB CHATFIELD- HOLLIS COMPLEX 3-8% SLOPES
- CSC CHATFIELD- HOLLIS COMPLEX 8-15% SLOPES

LOT AREA CHART

LOT	TOTAL AREA	WETLAND	25% SLOPE	BUILDABLE AREA	FRONTAGE
218-022-003	87,141 S.F.	0 S.F.	13,825 S.F.	73,316 S.F.	247.81'
218-022-004	87,120 S.F.	0 S.F.	2,304 S.F.	84,816 S.F.	150.00'
REMAINDER					
218-022-001	435,730 S.F.	0 S.F.	10,360 S.F.	425,370 S.F.	186.55'
218-022-002					

PLAN REFERENCES:

- SUBDIVISION PLAN MAP 15 LOT 25, JOHNSON SUBDIVISION, TRIGATE ROAD, HUDSON, NH PREPARED BY MAYNARD AND PAUQUETTE, INC. DATED OCTOBER 2, 1989 AND RECORDED IN THE H.C.R.D. AS PLAN NO. 24462
- BOUNDARY, SUBDIVISION, CONSOLIDATION PLAN: WASON ROAD, HUDSON, NH PREPARED BY MAYNARD AND PAUQUETTE, INC. DATED DECEMBER, 1993, REVISED THROUGH APRIL 12, 1994 AND RECORDED IN THE H.C.R.D. AS PLAN NO. 16606
- STATE OF NEW HAMPSHIRE TURNPIKE PROJECT 10644A ON FILE AT THE N.H.D.O.T. - FILE NO. 55139
- LOT LINE RELOCATION PLAN PREPARED BY DELANEY GROUP, LLC DATED SEPTEMBER 9, 2005 AND RECORDED AT THE H.C.R.D. AS PLAN NO. 34518
- SITE AND FLOOR PLANS PREPARED BY DELANEY GROUP, LLC DATED DECEMBER 19, 2005 AND RECORDED AT THE H.C.R.D. AS PLAN NO. 34433
- SITE AND FLOOR PLANS PREPARED BY DELANEY GROUP, LLC DATED JANUARY 12, 2006 AND RECORDED AT THE H.C.R.D. AS PLAN NO. 34493

NOTES:

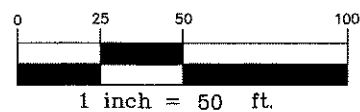
- SUBJECT PROPERTY LOCATION
18A & 18B TRIGATE ROAD CONDOMINIUM
HUDSON, NH 03051
HUDSON TAX MAP 218 LOT 002 AND 001
- CURRENT OWNERS:
18A: PETER AND TAMARA JOHNSON
18B: GREGORY JOHNSON AND JOAN JOHNSON
- DEED REFERENCE:
HILLSBOROUGH COUNTY REGISTRY OF DEEDS
18 a VOL. 9070 PG. 2632
18 b VOL. 7607 PG. 2434
- ZONING: GENERAL
MIN LOT AREA: 43,550 S.F. - W/OUT MUNICIPAL WATER / SEWER
MIN FRONTAGE 150'
BUILDING SETBACKS:
FRONT: 30' REAR: 15' SIDE: 15'
- THE SUBJECT PARCEL DOES NOT LIE WITHIN A FLOOD HAZARD AREA ACCORDING TO THE FEMA "FIRM" - FLOOD INSURANCE RATE MAP, TOWN OF HUDSON, NH, HILLSBOROUGH COUNTY MAP NO. 330092 0010B, EFFECTIVE DATE: JANUARY 3, 1979.
- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE TWO, 2 ACRE LOTS OUT OF THE 14.003 ACRE PARENT TRACT, LEAVING 10.003 ACRE REMAINDER FOR TAX PARCEL 218-002-001 / 002.
- PARENT TRACT IS SERVICED BY ON SITE SEPTIC AND PRIVATE WELL.
THE 2 NEW LOTS WILL BE SERVICED BY ON SITE SEPTIC AND PRIVATE WELL.
- THERE ARE NO WETLANDS ON SITE.
- CURRENT USE: 218-022-001 / 218-022-002 RESIDENTIAL PROPOSED USE: RESIDENTIAL
PROPOSED USE: 218-022-003 / 218-022-004 RESIDENTIAL
- A COST ALLOCATION PROCEDURE WILL BE ASSESSED TO NEW BUILDING LOTS PRIOR TO THE ISSUANCE OF C.O.O.
- STATE SUBDIVISION APPROVED.
MAP 218 LOT 022-003
STATE APPROVAL NO. SA2014010473
MAP 218 LOT 022-004
STATE APPROVAL NO. SA2014010473
- IRON PINS TO BE SET AT ALL LOT CORNERS AND EASEMENT CORNERS PRIOR TO PLANNING BOARD ENDORSEMENT.
- THIS SUBDIVISION IS UNDERSTOOD TO BE IN COMPLIANCE WITH THE TOWN OF HUDSON ZONING ORDINANCES AS INTERPRETED BY THIS OFFICE.
- TOPOGRAPHIC MAPPING BASED ON AERIAL TOPO CONDUCTED BY EASTERN TOPOGRAPHICS COMBINED WITH A GROUND SURVEY CONDUCTED BY THIS OFFICE. DATUM IS NGVD29.



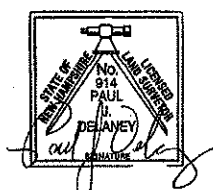
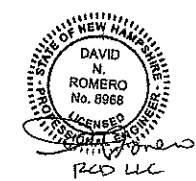
LEGEND

- SOILS LINE DIVISION
- EDGE OF PAVEMENT
- CATCH BASIN
- UTILITY POLE

REMOVE PAVEMENT TO R.O.W. SIDELINE GRADE TO BLEND & TERMINATE USE OF EXISTING ENTRANCE



Rev #	Revision	date:	by:



Subdivision Topo & Soils Plan

18 Trigate Road
Condominium
Town of Hudson,
Hillsborough County,
New Hampshire

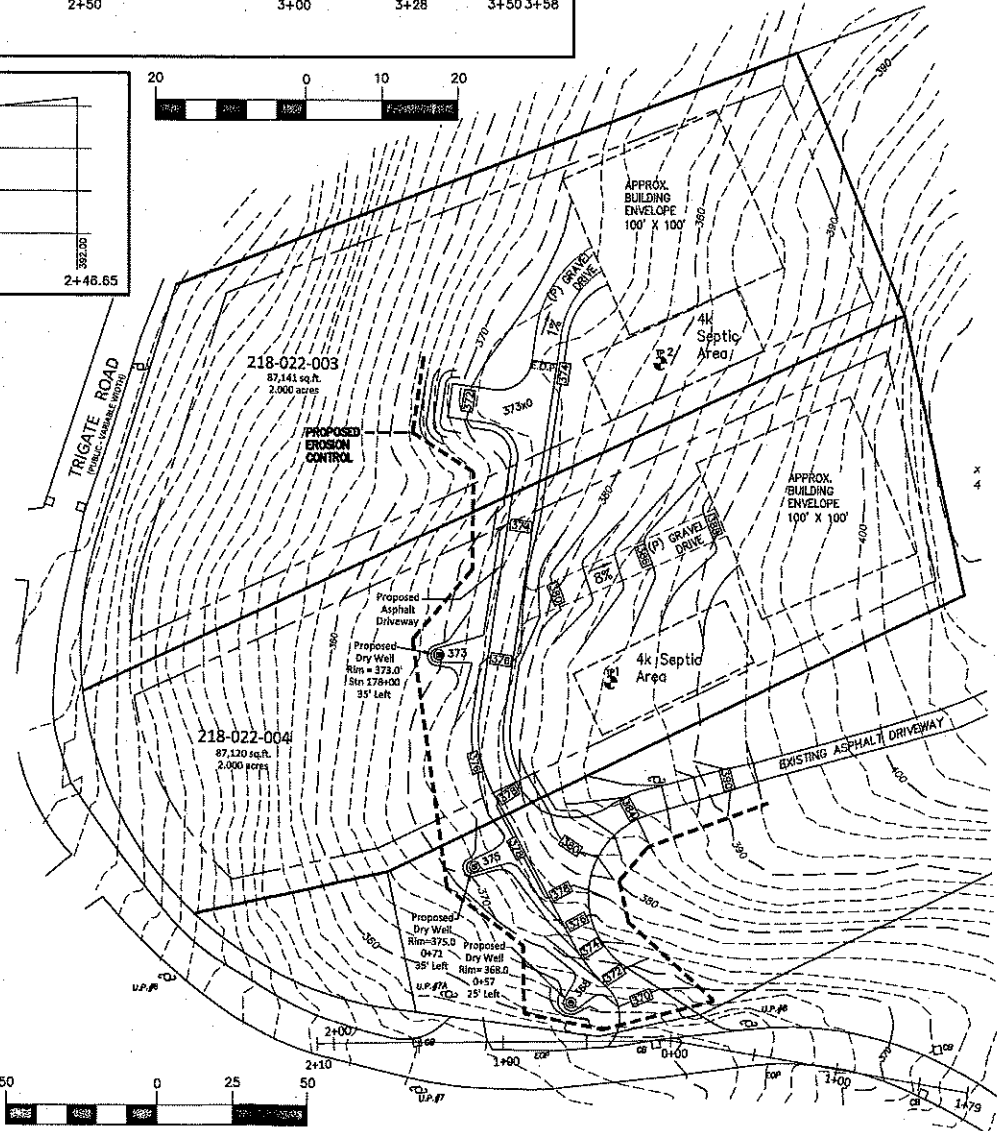
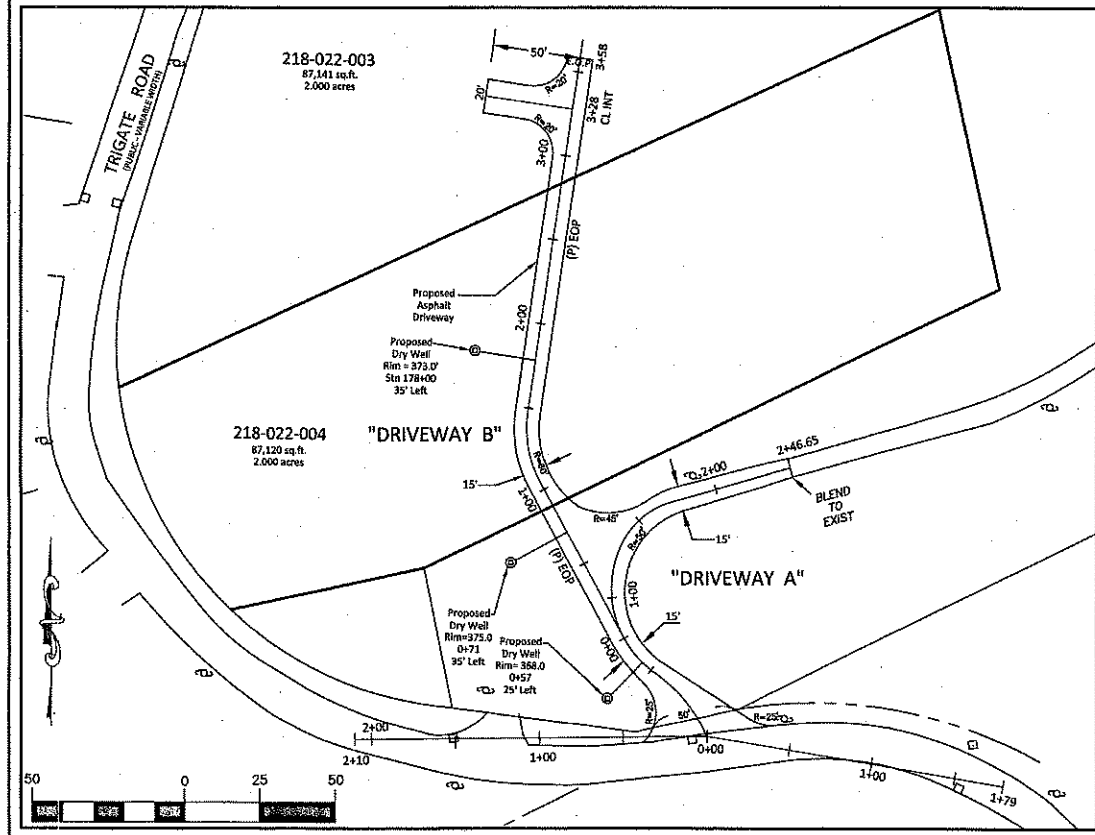
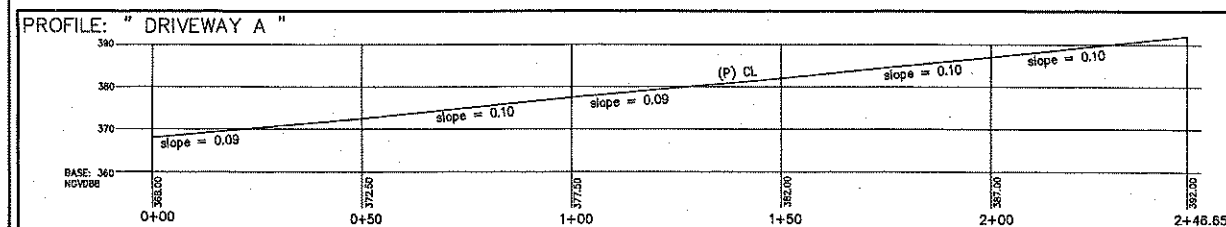
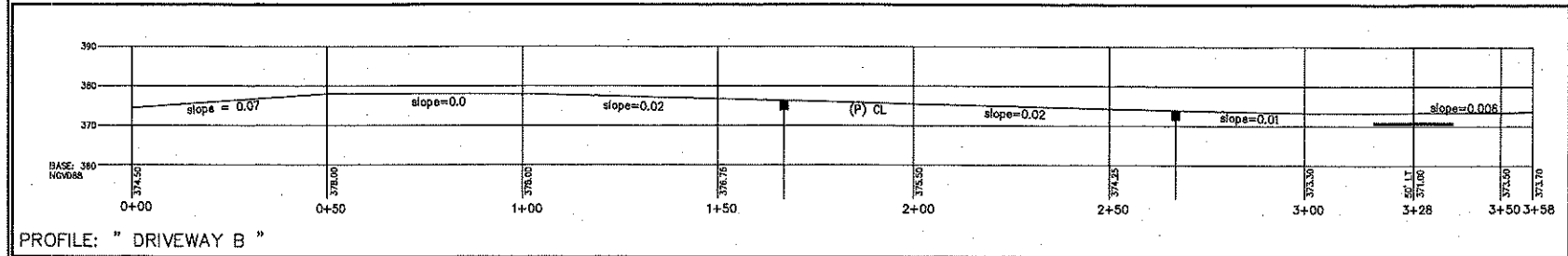
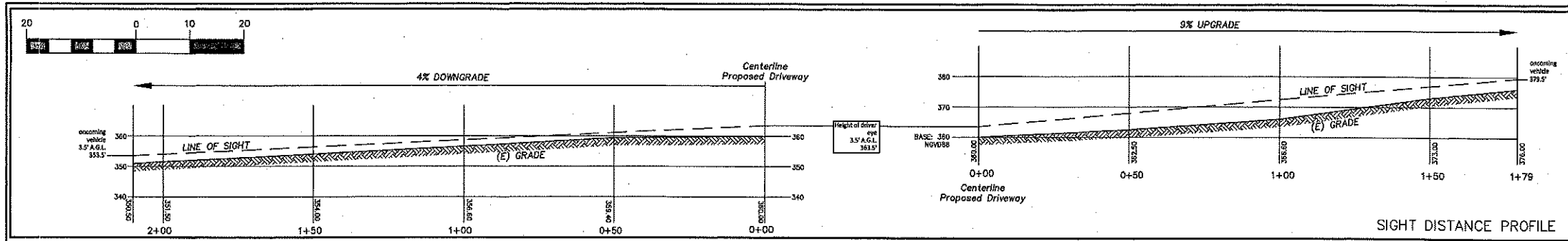
prepared for:
Peter Johnson
18a Trigate Road
Hudson, NH 03051

GATE CITY SURVEY

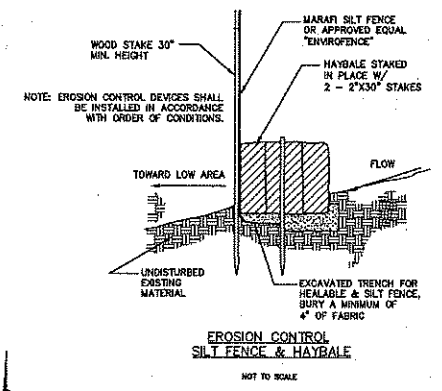
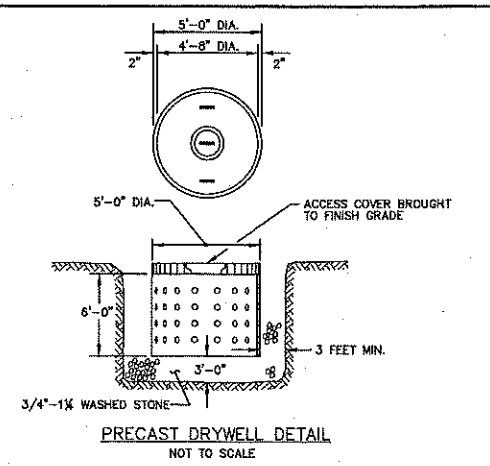
Land Surveying and Planning

WWW.GATECITYSURVEY.COM

1 Tara Boulevard - Suite 200 - Nashua, NH 03062 Tel: 603-882-4655
Project: 19274 Scale: 1" = 50' Date: 4 / 08 / 2020 SHEET: 1 OF 2



- NOTES:
- SUBJECT PROPERTY LOCATION
18A & 18B TRIGATE ROAD CONDOMINIUM
HUDSON, NH 03051
HUDSON TAX MAP 218 LOT 032 AND 001
 - PROPOSED COMMON DRIVEWAY COMPLIES WITH THE 10% MAXIMUM GRADE.
 - SIGHT DISTANCE CALCULATED USING TABLE 3-2 (STOPPING SIGHT DISTANCE ON GRADES) FOUND IN AASHTO'S "A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS, 2016, 7TH EDITION AS REQUIRED BY HTC-193-10(E).
 - THIS DRIVEWAY PLAN IS SUPPLEMENTARY TO A SUBDIVISION APPLICATION AND PLAN SET SUBMITTED HEREWITH.



Driveway Plan

18 Trigate Road
Condominium
Town of Hudson,
Hillsborough County,
New Hampshire

prepared for:
Peter Johnson
18a Trigate Road
Hudson, NH 03051

GATE CITY SURVEY
Land Surveying and Planning

WWW.GATECITYSURVEY.COM

TATE SITE PLAN EXTENSION REQUEST

SITE PLAN APPLICATION SP#06-20

STAFF REPORT

June 10, 2020

SITE: Tate Site Plan – 117 Lowell Road – Map 204/Lot 008- SP# 06-20

PURPOSE OF PETITION: Pursuant to RSA 674:39, the Applicant requests a two-year extension for the approved Tate Site Plan SP# 06-18 of 07/11/18. Application Acceptance & Hearing.

ATTACHMENTS:

- 1) Project Narrative – Attachment “A”.
- 2) Notice of Approval, RE: 11 JUL 18 Tate Site Pan – Attachment “B”.

COMMENTS: In accordance with the attached letter from the project engineer Edward N. Herbert Associates, Inc., the Applicant requests for the Planning Board to consider granting a 2-year extension for the approved Tate Site Plan. The project was approved in July of 2018.

RECOMMENDATION: Staff recommends that the Board accept testimony from the applicant and the public. At the end of that comment period, the Board can deliberate on whether to grant the requested 2-year extension request. The Board can also defer making a decision until the next Planning Board meeting if more information is needed.

DRAFT MOTION TO DEFER ACTION ON THE APPLICATION:

I move to defer action on the applicant’s request for a two-year extension of the site plan approval for the Tate Site Plan, located at 117 Lowell Road to the July 8, 2020 Planning Board meeting.

Motion by: _____ Second: _____ Carried/Failed: _____

DRAFT MOTION TO GRANT THE EXTENSION:

I move to grant a two-year extension (i.e., from July 11, 2020 to July 11, 2022) of the site plan for the Tate Site Plan, located at 117 Lowell Road, Hudson, NH, Map 204/Lot 008.

Motion by: _____ Second: _____ Carried/Failed: _____

"A"

**EDWARD N. HERBERT
ASSOCIATES INC.
LAND SURVEYORS AND CONSULTANT ENGINEERS**

RECEIVED

MAY 27 2020

TOWN OF HUDSON
PLANNING DEPARTMENT

Request for Extension of Approval
Map 204, Lot 008
117 Lowell Road / Rte 3A
Owner: Wesley Tate

Project Narrative

This site plan was approved by the Planning on July 11, 2018 (SP#6-18). At this time due to the Covid 19 pandemic, the owner would like to request a 2-year extension of approval from the Planning Board.

The purpose of this project at the time of approval was to show the replacement for the existing burned out garage with a new proposed garage on Map 204, Lot 008, or 117 Lowell Road.

The property is located on the west side of Lowell Road abutting to the south of the northern driveway into Fox Hollow and is across the street from the Teledyne Technologies, Inc. The property is current use is residential and commercial. The property is distinguished with fully mature trees along the Lowell Road Corridor. The approval for Fox Hollow required the construction of a berms along the common property line thus buffering Fox Hollow from this site and vice versa. Photos have been enclosed. The existing residential home is approximately 28.5 feet, with the proposed garage height of 34.2 feet to the ridge and 41.25 feet to the cupola based on the plan renderings. There will be a slight increase in impervious area from the existing and we have provided a bio-retention area to mitigate the slight increase in flows from the development. Outdoor lighting is being provided by led direct downward wall packs on the proposed garage. No light poles are being proposed.

The property is serviced by two driveways (horse shoe shaped) along Lowell Road. No proposed improvements are being considered. The southern driveway looking South and North are 248 ft. and >600 ft. respectively. The northern driveway looking South and North are 370 ft. and >500 ft. respectively. Both driveways are gapped looking south due to the newly installed lights.

"B"



TOWN OF HUDSON
PLANNING BOARD

NOTICE OF APPROVAL



12 School Street

Hudson, New Hampshire 03051

603/886-6008

July 17, 2018

7016 1370 0000 1914 7027

Owner or Applicant: WESLEY TATE
117 A LOWELL ROAD
HUDSON, NH 03051

On Wednesday, July 11, 2018, the Hudson Planning Board heard subject case SP# 06-18 "Tate Site Plan"

SUBJECT: TO SHOW THE REPLACEMENT OF AN EXISTING BURNED OUT GARAGE WITH A NEW PROPOSED GARAGE. APPLICATION ACCEPTANCE & HEARING.

LOCATION: 117 LOWELL ROAD - MAP 204/LOT 008

The Planning Board moved to accept the Site Plan Application for 117 Lowell Road, Map 204/Lot 008.

WAIVER MOTIONS:

- 1) HR 275 – 8. C. (6) – Required off-street loading

The Planning Board moved to grant the requested waiver of HR 275–8. C. (6) – Required off-street loading, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted waiver request.

- 2) HR 275 – 8. C. (7) – Interior parking lot landscaping

The Planning Board moved to grant the requested waiver of HR 275-8. C. – Interior parking lot landscaping, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted waiver request.

- 3) HR 276 - 11.1 B. (12) (C) – One hundred foot setback from residential property

The Planning Board moved to grant the requested waiver of HR 276-11.1 B (12)(C) – One hundred foot setback from residential property, based on the testimony of the Applicant’s representative, and in accordance with the language included in the submitted waiver request.

MOTION TO APPROVE:

The Planning Board moved to approve the Site Plan entitled: Tate Site Plan, 117 Lowell Road, Hudson, NH, Map 204, Lot 008, prepared by Edward N Herbert Associates, Inc., 1 Forest Road, Windham, NH, dated 30 April 2018, (last revised 12 JUNE 2018), consisting of Sheets 1 - 6 and Notes 1 - 17 on Sheet 1 with the following stipulations:

1. All stipulations of approval shall be incorporated into the Development Agreement, which shall be recorded at the HCRD, together with the Site Plan-of-Record.
2. All improvements shown on the Site Plan-of-Record, including Notes 1- 17, shall be completed in their entirety and at the expense of the Applicant or his assigns.
3. Prior to the issuance of a final certificate of occupancy, a L.L.S. certified "As Built" site plan shall be provided to the Town of Hudson Land Use Department, confirming that the site conforms to the Planning Board approved site plan.
4. The onsite drainage system shall be constructed and maintained in compliance with NHDES requirements for such systems.
5. Prior to Planning Board endorsement of the plan, it shall be subject to final review by the Town Engineer and CLD.
6. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M. No exterior construction activities shall be allowed on Sundays. Note 15 shall be added to the Plan set.
7. Hours of refuse removal shall be exclusive to the hours between 7:00 A.M. and 7:00 P.M. Monday through Saturday only. Note 16 shall be added to the Plan set.
8. Hours of operation shall be exclusive to the hours between 7:00 A.M. and 7:00 P.M. Monday through Saturday only. Note 17 shall be added to the Plan set.

All representations of fact or intention made by the applicant or any applicant's representative during testimony before the Planning Board relative to the obtaining approval of this plan, shall be considered conditions of this approval regardless of the fact that such fact or intentions were not specifically stated as part of the motion to grant.

Signed: _____

Jay Minkarah
Interim Town Planner

Date: _____

7/17/18

cc: Edward N. Herbert Associates, Inc.

LIST OF ABUTTERS

- 198-001 JOHN & ANNE SOKA 8011-648
- 198-002 11 ATWOOD AVE., HUDSON, NH 03051
- 198-150 TELEPHONE TECHNOLOGIES, INC. 6186-1202
110 LOWELL RD., HUDSON, NH 03051
- 204-006 FOX HOLLOW CONDOMINIUM ASSOC. 3094-575
C/O CITYSIDE MANAGEMENT
25 SUNDIAL AVE., STE 504W, MANCHESTER, NH 03103
- 204-007 GSG REALTY HUDSON, LLC. 8622-2690
238 PLEASANT ST., LACONIA, NH 03246
- 204-008 WESLEY TATE 7591-1967
117A LOWELL RD., HUDSON, NH 03051
- 204-009 122 LOWELL RD INVESTMENTS, LLC. 8706-665
119 BRAINTREE ST., STE 209, ALLSTON, MA 02134

ADDITIONAL PEOPLE TO NOTIFY:

PAUL ZARNOWSKI, LLS
EDWARD N. HERBERT ASSOC., INC.
1 FROST ROAD
WINDHAM, NH 03087

MICHAEL GOSPODAREK, PE
EDWARD N. HERBERT ASSOC., INC.
1 FROST ROAD
WINDHAM, NH 03087

PLAN REFERENCES:

- 1) CONSOLIDATION & SUBDIVISION PLAN, LOWELL ROAD, HUDSON, NH, PREPARED FOR: ROSE M. JETTE, SCALE: 1"=50', DATED: MAY, 1978, BY: AE MAYNARD-CIVIL ENGINEER, RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS PLAN #11320.
- 2) PLAN OF LAND IN HUDSON, NH - ELMHURST - OWNED BY WM. J. COUGHLIN ESQ. HCRD PLAN 300, 301.
- 3) PLAN OF LAND LOWELL RD. - HUDSON, NH - FOR ADOLPH M. CHAPLICK - 1"=50', AUG. 1972 - BY: NOTTINGHAM SURVEY SERVICE - NASHUA, NH.

THE PURPOSE OF THIS PLAN IS TO SHOW THE REPLACEMENT FOR THE EXISTING BURNED OUT GARAGE WITH A NEW PROPOSED GARAGE ON MAP 204, LOT 008.

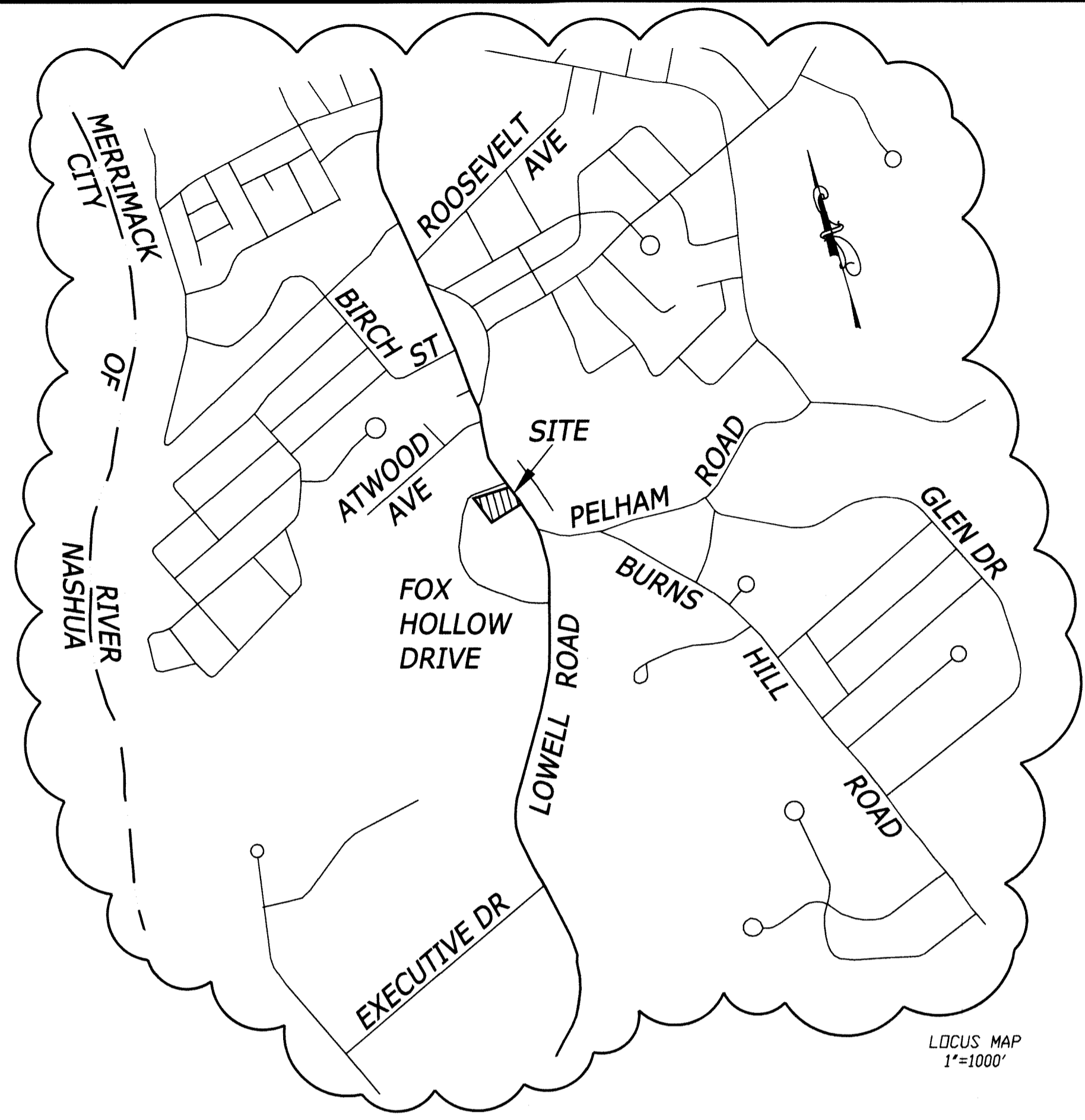
- 1) THIS SITE IS CONTAINED WITHIN THE B - BUSINESS DISTRICT
- 2) LOT AREA: 63,177 SF. OR 1.45 ACRES.
- 3) THE OWNER OF RECORD: WESLEY TATE, 117A LOWELL ROAD, HUDSON, NH 03051.
- 4) DEED REFERENCE: HCRD BOOK 7591 PAGE 1967
- 5) THE BUILDING LOCATIONS SHOWN FOR ADJUTING LOTS WERE DIGITIZED FROM THE TOWN OF HUDSON TAX MAPS #204.
- 6) BEARINGS SHOWN HEREON ARE BASED ON PLAN REFERENCE #1.
- 7) ALL BENCHMARKS ARE BASED ON NGVD 1929.
- 8) THE EXISTING HOUSE & BARN WILL REMAIN ON THE LOT AS CURRENT USE. EXISTING HOUSE & PROPOSED GARAGE TO BE SERVICED BY TOWN WATER AND SEWER. THE PROPOSED USE FOR THE GARAGE WILL REMAIN THE SAME AS AUTOMOTIVE REPAIR & SALES.
- 9) THIS LOT IS NOT WITHIN THE 100 YEAR FLOOD PLAIN AS SHOWN ON FIRM COMMUNITY MAPS 33011C0518D & 33011C0656D, EFFECTIVE DATE: SEPTEMBER 25, 2009.
- 10) THE APPROVED SITE PLAN IS VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL, PROVIDED THAT:
 - (1) ACTIVE AND SUBSTANTIAL DEVELOPMENT OR CONSTRUCTION SHALL HAVE COMMENCED ON THE SITE BY THE OWNER, IN ACCORDANCE WITH THE APPROVED PLAN, WITHIN SAID ONE-YEAR PERIOD.
 - (2) IF NO ACTIVE AND SUBSTANTIAL DEVELOPMENT OR CONSTRUCTION OCCURS AS SPECIFIED IN HUDSON TOWN CODE 275-13A(1) ABOVE, THE SITE PLAN APPROVAL BECOMES NULL AND VOID AND EXPIRES AT THE END OF ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. A SITE PLAN SUBMITTED FOR APPROVAL OR REAPPROVAL AFTER HAVING EXPIRED AS SPECIFIED IN HUDSON TOWN CODE 275-13A(2) ABOVE SHALL BE SUBJECT TO SITE PLAN REGULATIONS AND ZONING ORDINANCES IN EFFECT AT THE TIME OF ANY SUBSEQUENT SUBMISSION.
- 11) THERE ARE NO PERTINENT HIGHWAY PROJECTS WITHIN THE VICINITY OF THIS PROJECT SITE LISTED IN THE 2006 MASTER PLAN.
- 12) NO SWPPP IS REQUIRED FOR THIS PROJECT.
- 13) OWNER SHALL PROVIDE AN INDOOR GREASE/OIL SEPARATOR FOR THE PROPOSED GARAGE TO BE REVIEWED BY THE TOWN PRIOR TO PERMIT APPLICATION.
- 14) TO THE BEST OF OUR KNOWLEDGE THIS PROJECT MEETS THE NEW MS4 RULES AND REGULATIONS IMPLEMENTED IN NH.

FINAL SITE PLAN APPROVAL IS GRANTED FOR THE SITE PLAN ENTITLED: TATE SITE PLAN, 117 LOWELL ROAD, HUDSON, NH, MAP 204, LOT 008, PREPARED BY EDWARD N. HERBERT ASSOC., INC. 1 FROST ROAD, WINDHAM, DATED 30 APRIL 2018, (LAST REVISED 12 JUNE 2018), CONSISTING OF SHEETS 1-6 AND NOTES 1 - 17 ON SHEET 1 HILLSBOROUGH COUNTY REGISTRY OF DEEDS PLAN NO. HCRD# _____, IN ACCORDANCE WITH THE FOLLOWING TERMS AND CONDITIONS:

1. ALL STIPULATIONS OF APPROVAL SHALL BE INCORPORATED INTO THE DEVELOPMENT AGREEMENT, WHICH SHALL BE RECORDED AT THE HCRD, TOGETHER WITH THE SITE PLAN-OF-RECORD.
2. ALL IMPROVEMENTS SHOWN ON THE SITE PLAN-OF-RECORD, INCLUDING NOTES 1-17, SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
3. PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, A L/L/S/ CERTIFIED 'AS-BUILT' SITE PLAN SHALL BE PROVIDED TO THE TOWN OF HUDSON LAND USE DEVELOPMENT, CONFIRMING THAT THE SITE CONFORMS TO THE PLANNING BOARD APPROVED SITE.
4. THE ONSITE DRAINAGE SYSTEM SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH NHDES REQUIREMENTS FOR SUCH SYSTEMS.
5. PRIOR TO PLANNING BOARD ENDORSEMENT OF THE PLAN, IT SHALL BE SUBJECT TO FINAL REVIEW BY THE TOWN ENGINEER AND C.L.D.
6. CONSTRUCTION ACTIVITIES INVOLVING THE SUBJECT LOT SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 A.M. AND 7:00 P.M. NO EXTERIOR CONSTRUCTION ACTIVITIES SHALL BE ALLOWED ON SUNDAYS. NOTE 15 SHALL BE ADDED TO THE PLAN SET.
7. HOURS OF REFUSE REMOVAL SHALL BE EXCLUSIVE TO THE HOURS BETWEEN 7:00 A.M. AND 7:30 P.M. MONDAY THROUGH SATURDAY ONLY. NOTE 16 SHALL BE ADDED TO THE PLAN SET.
8. HOURS OF OPERATION SHALL BE EXCLUSIVE TO THE HOURS BETWEEN 7:00 A.M. AND 7:00 P.M. MONDAY THROUGH SATURDAY ONLY. NOTE NUMBER 17 SHALL BE ADDED TO THE PLAN SET.

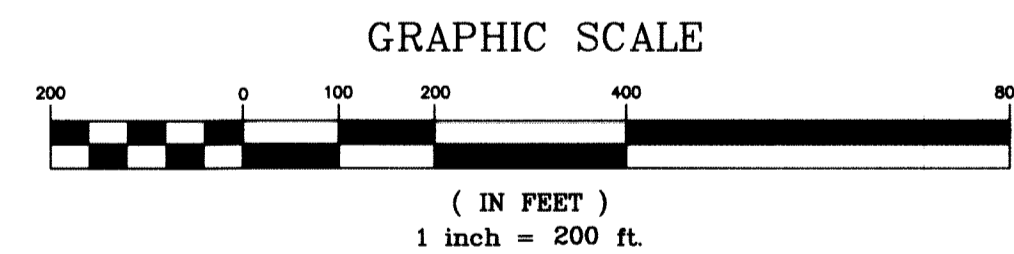
TATE SITE PLAN

TAX MAP 204 LOT 008
117 LOWELL ROAD / RTE 3A
HUDSON, NH



NOTES FROM SITE DEVELOPMENT AGREEMENT:

- XV. APPLICANT AGREES THAT IF IN THE FUTURE THE TOWN DETERMINES THAT THE APPLICANT HAS COMMITTED A MATERIAL BREACH OF THIS AGREEMENT OR HAS VIOLATED ANY TOWN ZONING, SUBDIVISION, SITE PLAN OR ANY STATE LAND USE OR ENVIRONMENTAL LAW OR REGULATION OR BUILDING CODE, AND SAID MATERIAL BREACH OR VIOLATION IS DECIDED AGAINST APPLICANT BY A COURT OF COMPETENT JURISDICTION IN A LEGAL ACTION BY THE TOWN AGAINST APPLICANT, APPLICANT AGREES TO PAY, ON DEMAND, ALL REASONABLE ATTORNEY FEES, COURT COSTS, SHERIFF CHARGES AND RELATED COSTS INCURRED BY THE TOWN IN CONNECTION WITH THE BREACH OR VIOLATION TO THE EXTENT THAT SAID FEES, COSTS AND CHARGES WOULD NOT HAVE BEEN INCURRED HAD THE BREACH OR VIOLATION NOT OCCURRED.
- XVI. A NOTE SHALL BE ADDED TO THE RECORDED PLAN. THIS NOTE SHALL STATE THE EXISTENCE OF THIS DEVELOPMENT AGREEMENT, AND THAT A COPY OF IT IS ON FILE WITH THE PLANNING DEPARTMENT OR OTHER DESIGNATED TOWN DEPARTMENT. THIS AGREEMENT SHALL BE RECORDED WITH THE PLAN.
- XVII. THIS AGREEMENT SHALL RUN WITH THE LAND AND SHALL BE BINDING ON ANY SUBSEQUENT PURCHASER OF THE PROPOSED DEVELOPMENT ON APPLICANT'S HEIRS AND ASSIGNS, AND ON ANY SUCCESSOR ENTITY.



APPROVED BY THE HUDSON PLANNING BOARD

DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE _____

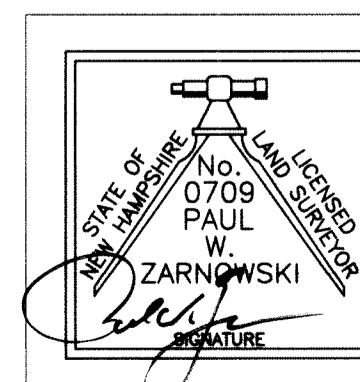
SECRETARY: _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

OWNER'S SIGNATURE: *Wesley Tate* DATE: 9/26/18
WESLEY TATE
117A LOWELL ROAD
HUDSON, NH 03051

SHEET INDEX	
SHEET 1	COVER SHEET
SHEET 2	FINAL PLAN
SHEET 3	EXISTING CONDITIONS & SOILS PLAN
SHEET 4	PROPOSED CONDITIONS PLAN
SHEET 5-6	DETAIL SHEETS
SHEET 7	PRESENTATION PLAN
SHEET S-A	ARCHITECTURAL



9-19-18 NOTICE OF PLANNING BOARD APPROVAL
REVISIONS: 6-12-18 PER TOWN STAFF & CONSULTANT REVIEW COMMENTS

TATE SITE PLAN

COVER SHEET MAP 204/LOT 008
117 LOWELL ROAD / RTE 3A
HUDSON, NH
PREPARED FOR:
WESLEY TATE
117A LOWELL ROAD
HUDSON, NH 03051

SCALE: 1"=200' DATE: APRIL 30, 2018

EDWARD N. HERBERT ASSOC., INC.
LAND SURVEYORS - CIVIL ENGINEERS
1 FROST ROAD WINDHAM, NH 03087 (603) 432-2462

SHEET 1 OF 7



MAP 204, LOT 006
FOX HOLLOW CONDOMINIUM ASSOC.
C/O CITYSIDE MANAGEMENT
25 SUNDIAL AVE., SUITE 504W
MANCHESTER, NH 03103
3094-0575

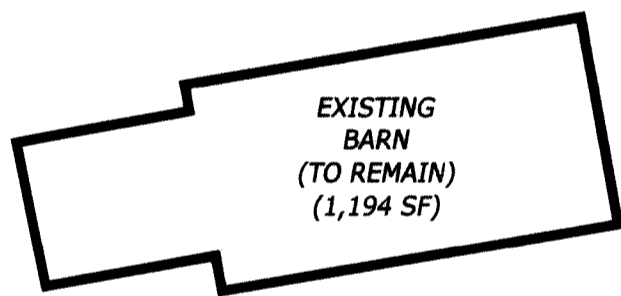
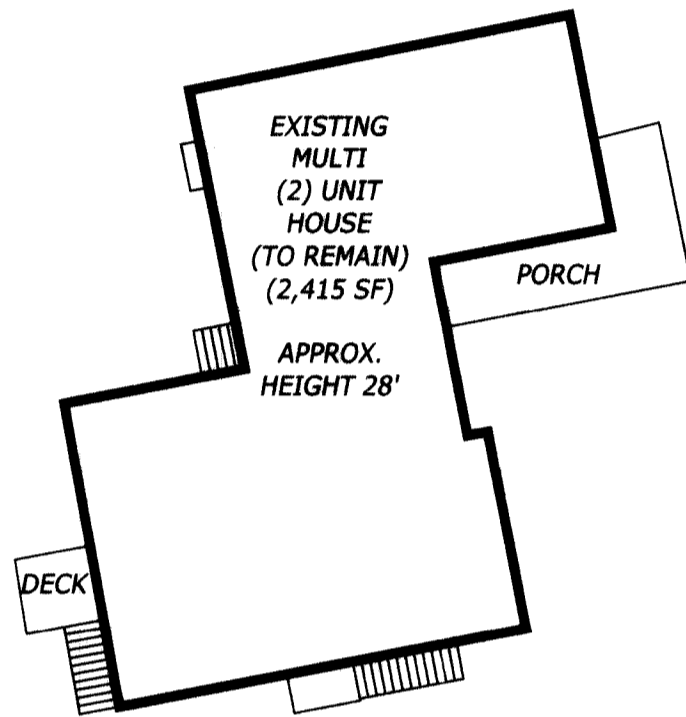
FOX HOLLOW DRIVE (PRIVATE)

N88°58'02"E
300.00'

15' BUILDING SETBACK

MAP 198, LOT 150
TELEDYNE TECHNOLOGIES, INC.
110 LOWELL ROAD
HUDSON, NH 03051
6186-1202

MAP 204, LOT 006
FOX HOLLOW CONDOMINIUM ASSOC.
C/O CITYSIDE MANAGEMENT
25 SUNDIAL AVE., SUITE 504W
MANCHESTER, NH 03103
3094-0575



MAP 204 LOT 008
63,177 S.F.
1.45 AC.

EXISTING TRAILER TO BE REMOVED (338 SF)

SHED (92 SF)

EXISTING SHED TO BE REMOVED

(429 SF) COVER IT

EXISTING COVER IT TO BE REMOVED

(157 SF)

EXISTING STORAGE CONTAINER TO BE REMOVED

EXISTING SHED TO BE REMOVED

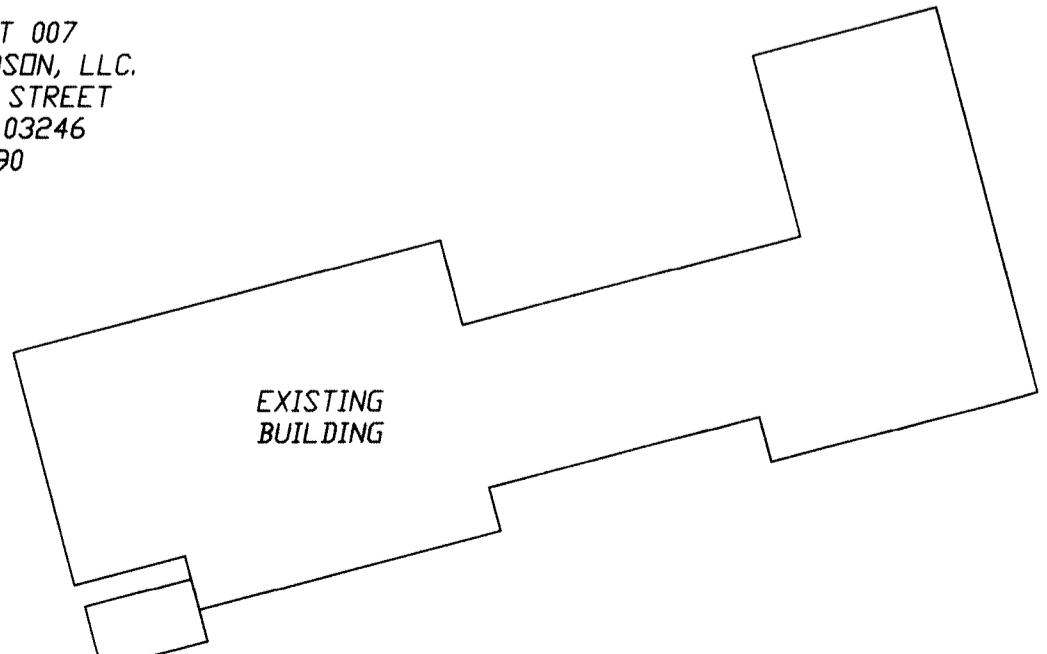
SHED (201 SF)

IP FND

15' BUILDING SETBACK

278.67'
S73°50'50"W

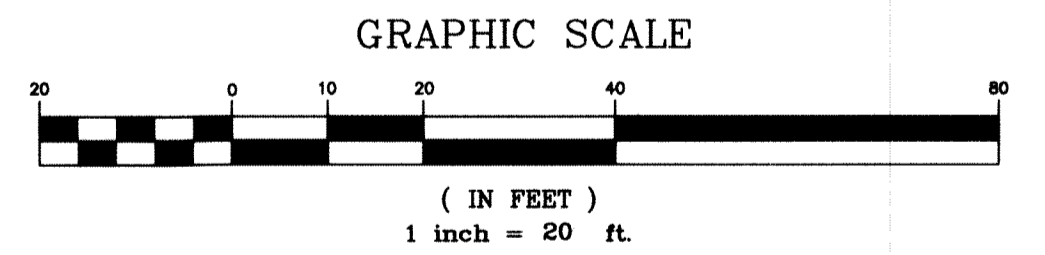
MAP 204, LOT 007
GSG REALTY HUDSON, LLC.
238 PLEASANT STREET
LACONIA, NH 03246
8622-2690



I CERTIFY THAT THIS PLAN IS THE RESULT OF A CLOSED BOUNDARY TRAVERSE AND MEETS THE STANDARDS OF AN URBAN CLASS SURVEY WITH AN ERROR OF CLOSURE OF 1 IN 10,000 OR BETTER.

Edward N. Herbert
LICENSED LAND SURVEYOR
EDWARD N. HERBERT ASSOC., INC.

MAP 204, LOT 009
122 LOWELL RD INVESTMENTS, LLC.
119 BRAINTREE ST., SUITE 209
ALLSTON, MA. 02134
8706-665



APPROVED BY THE HUDSON PLANNING BOARD

DATE OF MEETING: _____

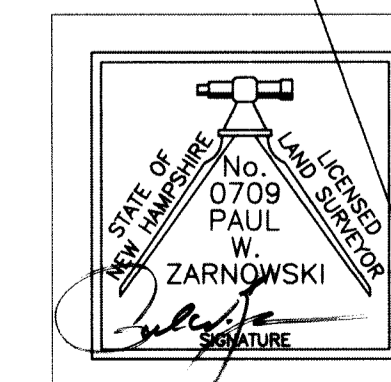
PLANNING BOARD CHAIRMAN SIGNATURE DATE _____

SECRETARY SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

OWNER'S SIGNATURE: *Wesley Tate* DATE: 9/26/18
WESLEY TATE
117A LOWELL ROAD
HUDSON, NH 03051



9-19-18 NOTICE OF PLANNING BOARD APPROVAL
REVISIONS: 6-12-18 PER TOWN STAFF & CONSULTANT REVIEW COMMENTS

TATE SITE PLAN

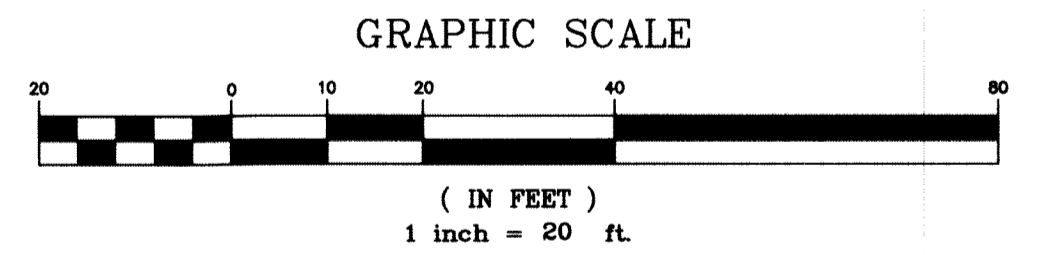
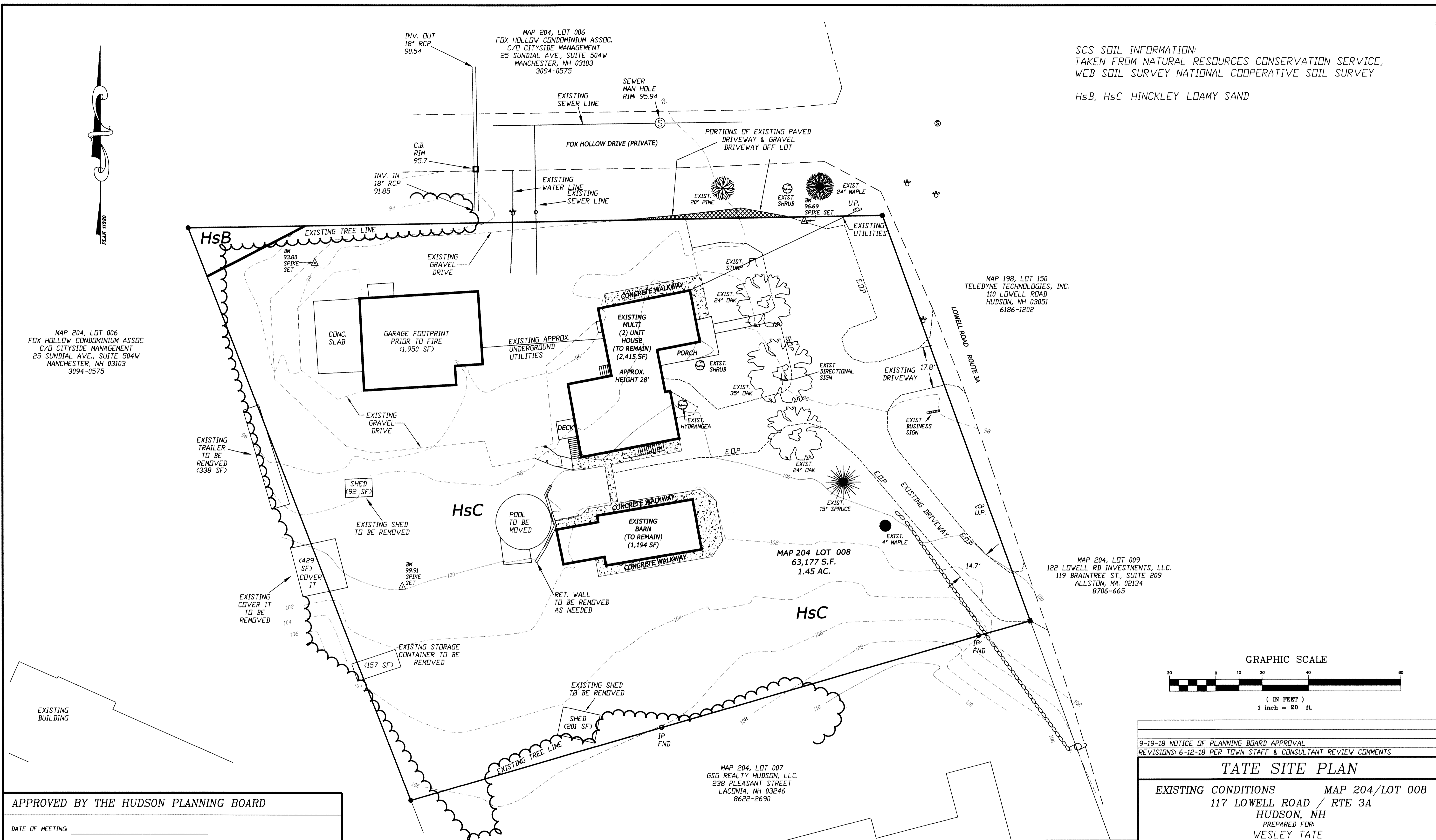
FINAL PLAN MAP 204/LOT 008
117 LOWELL ROAD / RTE 3A
HUDSON, NH
PREPARED FOR:
WESLEY TATE
117A LOWELL ROAD
HUDSON, NH 03051

SCALE: 1"=20' DATE: APRIL 30, 2018

EDWARD N. HERBERT ASSOC., INC.
LAND SURVEYORS - CIVIL ENGINEERS
1 FROST ROAD WINDHAM, NH 03087 (603) 432-2462

SHEET 2 OF 7

SCS SOIL INFORMATION:
 TAKEN FROM NATURAL RESOURCES CONSERVATION SERVICE,
 WEB SOIL SURVEY NATIONAL COOPERATIVE SOIL SURVEY
 HsB, HsC HINCKLEY LOAMY SAND



APPROVED BY THE HUDSON PLANNING BOARD

DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE: _____

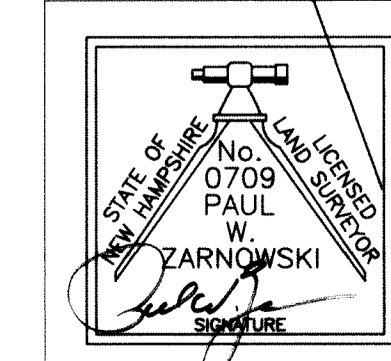
SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

OWNER'S SIGNATURE: *Wesley Tate* DATE: *9/26/18*

WESLEY TATE
 117A LOWELL ROAD
 HUDSON, NH 03051



9-19-18 NOTICE OF PLANNING BOARD APPROVAL
 REVISIONS: 6-12-18 PER TOWN STAFF & CONSULTANT REVIEW COMMENTS

TATE SITE PLAN

EXISTING CONDITIONS MAP 204/LOT 008
 117 LOWELL ROAD / RTE 3A
 HUDSON, NH
 PREPARED FOR:
 WESLEY TATE
 117A LOWELL ROAD
 HUDSON, NH 03051

SCALE: 1"=20' DATE: APRIL 30, 2018

EDWARD N. HERBERT ASSOC., INC.
 LAND SURVEYORS - CIVIL ENGINEERS
 1 FROST ROAD WINDHAM, NH 03087 (603) 432-2462

SHEET 3 OF 7

2-26-18 BY MG
ELEV. TP
94.3 0"-16" ASPHALT/LOOSE
GRAVEL AND ORGANICS


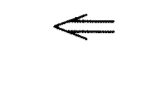
16"-69" 10YR5/4 FINE
SAND/BARELY TRACE OF LOAM

69"-75" 10YR5/4 FINE
SAND/BARELY TRACE OF LOAM

88.5 SHWT @ 69"
88.0 WATER @ 75"
NO REFUSAL

NAME: HINCKLEY SOIL

LEGEND

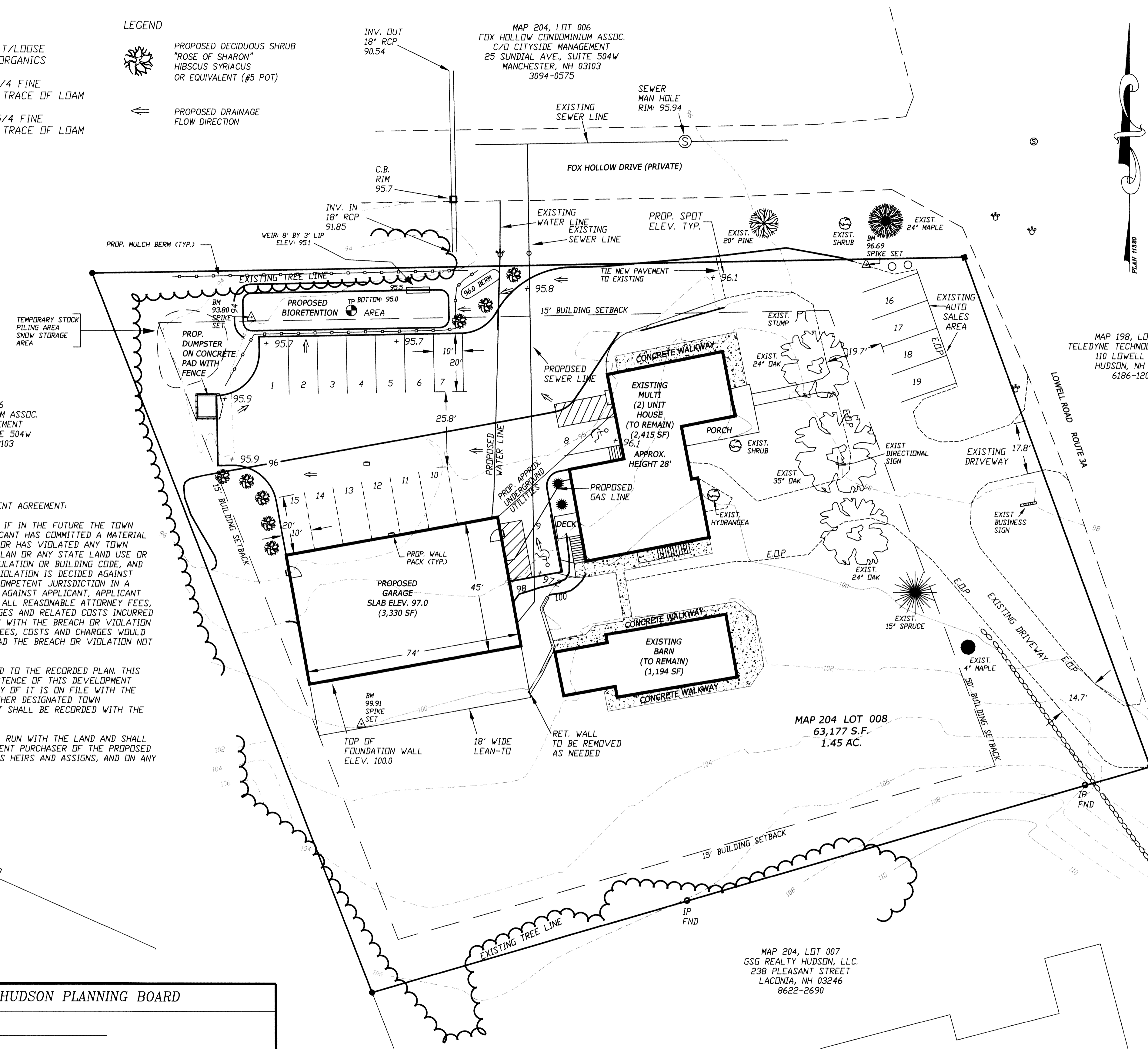
-  PROPOSED DECIDUOUS SHRUB
"ROSE OF SHARON"
HIBSCUS SYRIACUS
OR EQUIVALENT (#5 POT)
-  PROPOSED DRAINAGE
FLOW DIRECTION

MAP 204, LOT 006
FOX HOLLOW CONDOMINIUM ASSOC.
C/O CITYSIDE MANAGEMENT
25 SUNDIAL AVE., SUITE 504W
MANCHESTER, NH 03103
3094-0575

MAP 198, LOT 150
TELEDYNE TECHNOLOGIES, INC.
110 LOWELL ROAD
HUDSON, NH 03051
6186-1202

MAP 204, LOT 009
122 LOWELL RD INVESTMENTS, LLC.
119 BRAINTREE ST., SUITE 209
ALLSTON, MA 02134
8706-665

MAP 204, LOT 007
GSG REALTY HUDSON, LLC.
238 PLEASANT STREET
LACONIA, NH 03246
8622-2690



NOTES FROM SITE DEVELOPMENT AGREEMENT:

XV. APPLICANT AGREES THAT IF IN THE FUTURE THE TOWN DETERMINES THAT THE APPLICANT HAS COMMITTED A MATERIAL BREACH OF THIS AGREEMENT OR HAS VIOLATED ANY TOWN ZONING, SUBDIVISION, SITE PLAN OR ANY STATE LAND USE OR ENVIRONMENTAL LAW OR REGULATION OR BUILDING CODE, AND SAID MATERIAL BREACH OR VIOLATION IS DECIDED AGAINST APPLICANT BY A COURT OF COMPETENT JURISDICTION IN A LEGAL ACTION BY THE TOWN AGAINST APPLICANT, APPLICANT AGREES TO PAY, ON DEMAND, ALL REASONABLE ATTORNEY FEES, COURT COSTS, SHERIFF CHARGES AND RELATED COSTS INCURRED BY THE TOWN IN CONNECTION WITH THE BREACH OR VIOLATION TO THE EXTENT THAT SAID FEES, COSTS AND CHARGES WOULD NOT HAVE BEEN INCURRED HAD THE BREACH OR VIOLATION NOT OCCURRED.

XVI. A NOTE SHALL BE ADDED TO THE RECORDED PLAN. THIS NOTE SHALL STATE THE EXISTENCE OF THIS DEVELOPMENT AGREEMENT, AND THAT A COPY OF IT IS ON FILE WITH THE PLANNING DEPARTMENT OR OTHER DESIGNATED TOWN DEPARTMENT. THIS AGREEMENT SHALL BE RECORDED WITH THE PLAN.

XVII. THIS AGREEMENT SHALL RUN WITH THE LAND AND SHALL BE BINDING ON ANY SUBSEQUENT PURCHASER OF THE PROPOSED DEVELOPMENT ON APPLICANT'S HEIRS AND ASSIGNS, AND ON ANY SUCCESSOR ENTITY.

OPEN SPACE CALCULATIONS:
PER SECTION 276-111(24) FORTY PERCENT, IF THE AREA OF THE LOT IS LOCATED OUTSIDE OF THE AREA BOUNDED BY THE CORRIDOR OR RIGHT-OF-WAY OF THE NASHUA-HUDSON CIRCUMFERENTIAL HIGHWAY AND THE MERRIMACK RIVER.

TOTAL LOT AREA = 63,177 SF OR 1.45 AC.
TOTAL EXISTING & PROPOSED BUILDING AREA INCLUDING PORCH, STAIRWAYS, DECKS & CHIMNEY = 8,723 SF
TOTAL EXISTING & PROPOSED DRIVEWAYS, WALKWAYS & DUMPSTER PAD = 18,690 SF

63,177 SF - 8,723 SF = 54,454 SF
54,454 SF - 18,690 SF = 35,764 SF
35,764 SF / 63,177 SF = 0.566 OR 56.6% OPEN SPACE PROVIDED

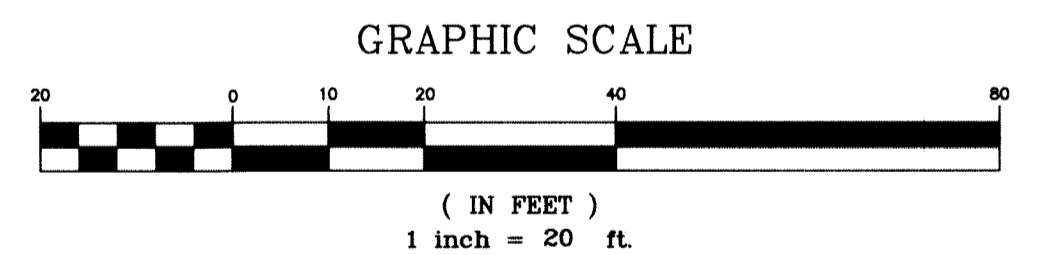
PARKING CALCULATIONS:
PROPOSED AUTOMOTIVE REPAIR WITH 4 WORKING BAYS = 8 SPACES
EXISTING AUTO SALES AREA = 4 SPACES
2 EXISTING RESIDENTIAL UNITS = 4 SPACES

TOTAL SPACES REQUIRED = 16, TOTAL SPACES PROVIDED = 19

TO THE BEST OF OUR KNOWLEDGE THIS PLAN COMPLIES WITH THE LATEST ADA REQUIREMENTS AS PUBLISHED IN THE LATEST REVISION DATE OF 2010.

FINAL SITE PLAN APPROVAL IS GRANTED FOR THE SITE PLAN ENTITLED: TATE SITE PLAN, 117 LOWELL ROAD, HUDSON, NH, MAP 204, LOT 008, PREPARED BY EDWARD N. HERBERT ASSOC., INC. 1 FROST ROAD, WINDHAM, DATED 30 APRIL 2018, (LAST REVISED 12 JUNE 2018), CONSISTING OF SHEETS 1-6 AND NOTES 1 - 17 ON SHEET 1 HILLSBOROUGH COUNTY REGISTRY OF DEEDS PLAN NO. HCRD# _____ IN ACCORDANCE WITH THE FOLLOWING TERMS AND CONDITIONS:

1. ALL STIPULATIONS OF APPROVAL SHALL BE INCORPORATED INTO THE DEVELOPMENT AGREEMENT, WHICH SHALL BE RECORDED AT THE HCRD, TOGETHER WITH THE SITE PLAN-OF-RECORD.
2. ALL IMPROVEMENTS SHOWN ON THE SITE PLAN-OF-RECORD, INCLUDING NOTES 1-17, SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
3. PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, A L/L/S/ CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO THE TOWN OF HUDSON LAND USE DEVELOPMENT, CONFIRMING THAT THE SITE CONFORMS TO THE PLANNING BOARD APPROVED SITE.
4. THE ONSITE DRAINAGE SYSTEM SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH NHDES REQUIREMENTS FOR SUCH SYSTEMS.
5. PRIOR TO PLANNING BOARD ENDORSEMENT OF THE PLAN, IT SHALL BE SUBJECT TO FINAL REVIEW BY THE TOWN ENGINEER AND CLD.
6. CONSTRUCTION ACTIVITIES INVOLVING THE SUBJECT LOT SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 A.M. AND 7:00 P.M. NO EXTERIOR CONSTRUCTION ACTIVITIES SHALL BE ALLOWED ON SUNDAYS. NOTE 15 SHALL BE ADDED TO THE PLAN SET.
7. HOURS OF REFUSE REMOVAL SHALL BE EXCLUSIVE TO THE HOURS BETWEEN 7:00 A.M. AND 7:30 P.M. MONDAY THROUGH SATURDAY ONLY. NOTE 16 SHALL BE ADDED TO THE PLAN SET.
8. HOURS OF OPERATION SHALL BE EXCLUSIVE TO THE HOURS BETWEEN 7:00 A.M. AND 7:00 P.M. MONDAY THROUGH SATURDAY ONLY. NOTE NUMBER 17 SHALL BE ADDED TO THE PLAN SET.



APPROVED BY THE HUDSON PLANNING BOARD


DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN _____ SIGNATURE DATE _____

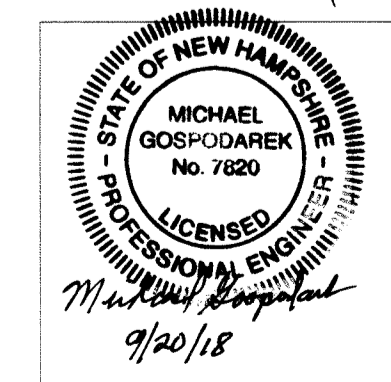
SECRETARY _____ SIGNATURE DATE _____

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OWNER'S SIGNATURE:  DATE: 9/26/18

WESLEY TATE
117A LOWELL ROAD
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9-19-18 NOTICE OF PLANNING BOARD APPROVAL
REVISIONS: 6-12-18 PER TOWN STAFF & CONSULTANT REVIEW COMMENTS

TATE SITE PLAN

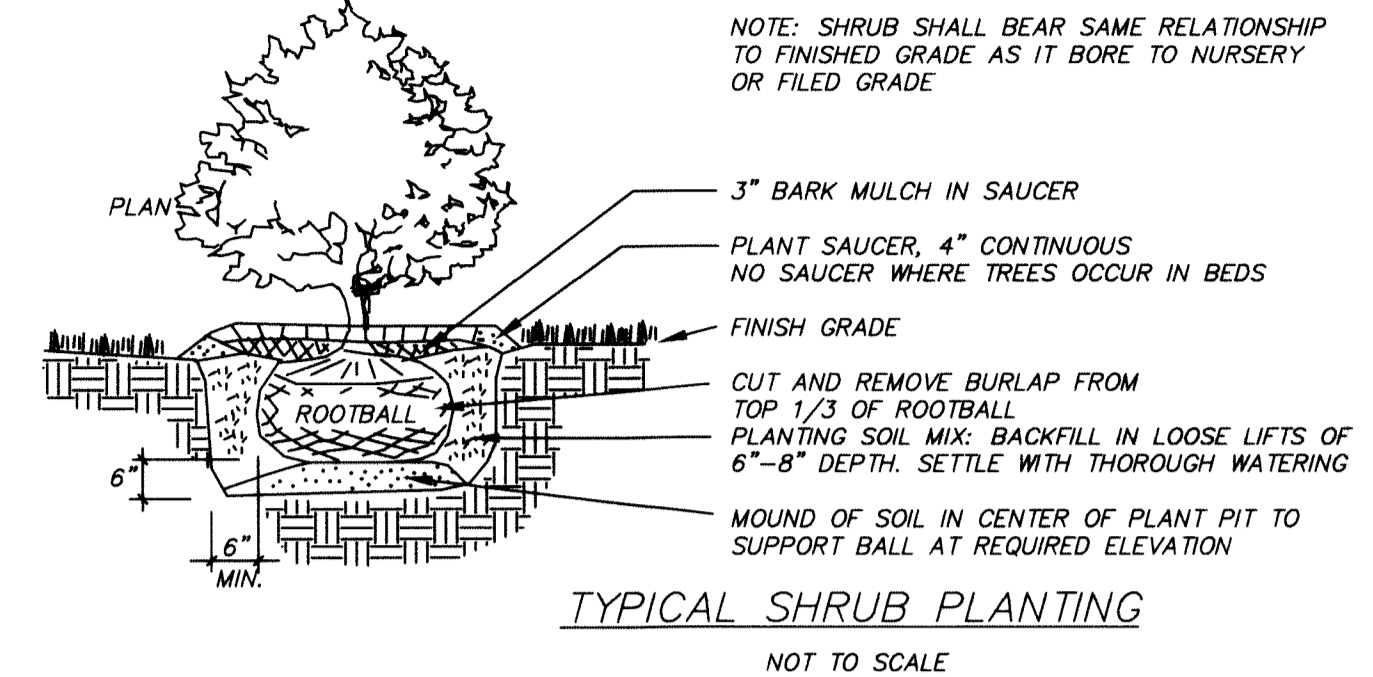
PROPOSED CONDITIONS MAP 204/LOT 008
117 LOWELL ROAD / RTE 3A
HUDSON, NH
PREPARED FOR:
WESLEY TATE
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1 FROST ROAD WINDHAM, NH 03087 (603) 432-2462

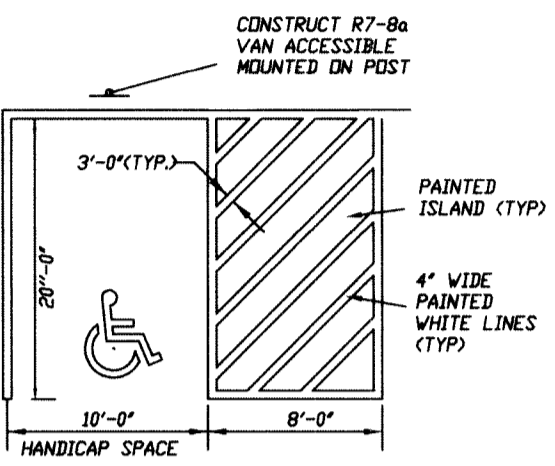
SHEET 4 OF 7

PROPOSED DECIDUOUS SHRUB
"ROSE OF SHARON"
HIBISCUS SYRIACUS
OR EQUIVALENT (#5 POT)



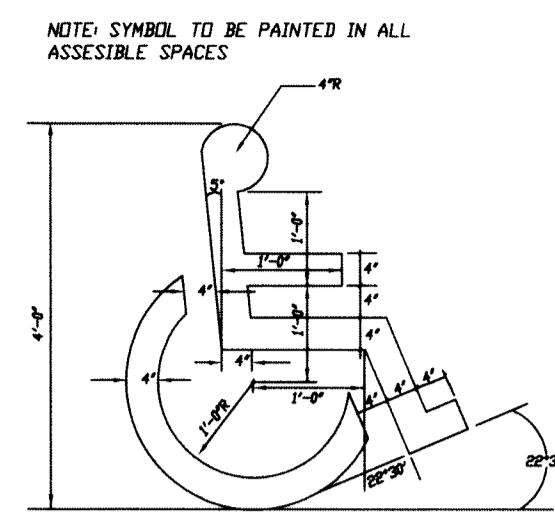
SIGN REFLECTIVE 0.880 ALUMINUM SIGN
COLOR: WHITE COPY ON BLUE FIELD.
CORNERS: 1/16\"/>

HANDICAPPED PARKING SIGN DETAIL

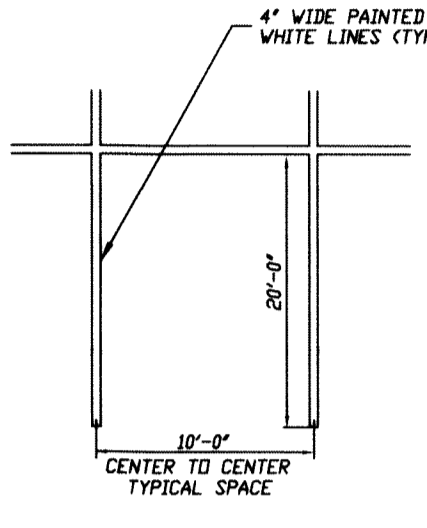


NOTE:
1. ALL PAINT SHALL BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF ASHTO M448-TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.
2. MAXIMUM CROSS SLOPE SHALL BE IN CONFORMANCE WITH ADA REQUIREMENTS.

ACCESSIBLE PARKING STALL
NOT TO SCALE

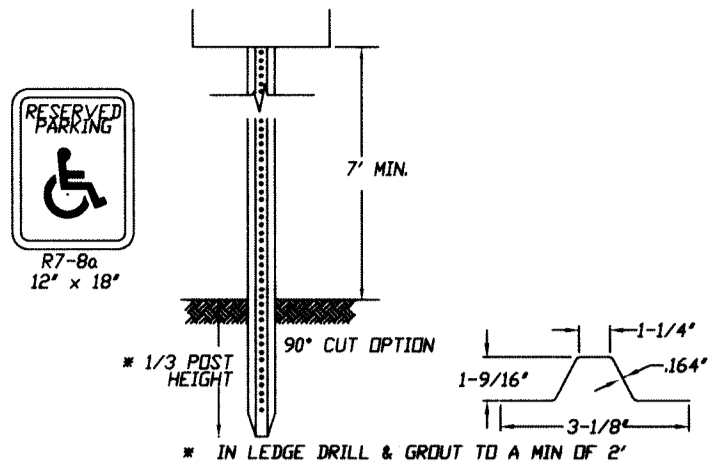


PAINTED ACCESSIBLE SYMBOL
NOT TO SCALE



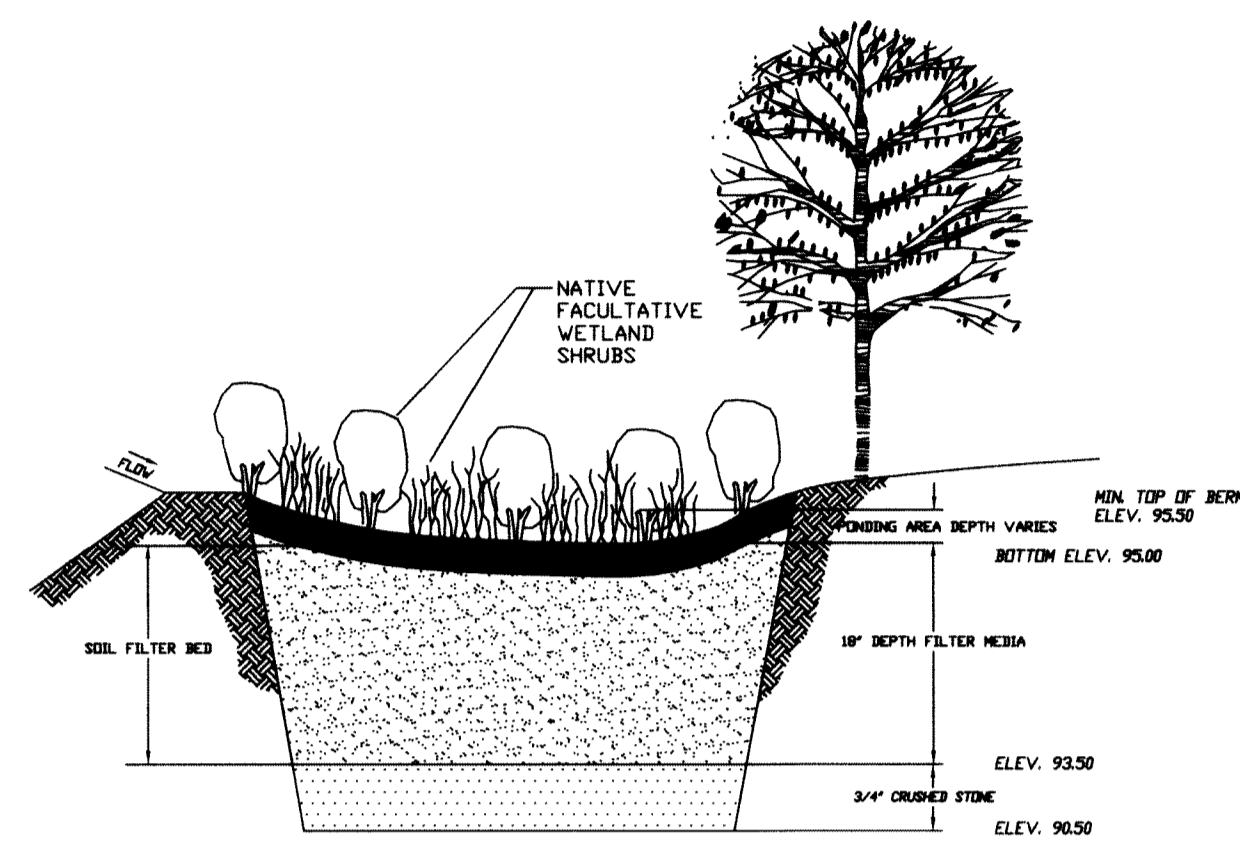
SINGLE STRIPED PARKING STALL
NOT TO SCALE

LENGTHS AS REQUIRED/WEIGHT PER LINEAR FOOT:
250 LBS (MIN)
HOLES: 3/8\"/>



NOTE:
ALL SIGNS TO BE INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

SIGN LEGEND & SIGN POST



BIO-RETENTION AREA PROFILE
NOT TO SCALE

INSPECTION AND MAINTENANCE OF DRAINAGE SYSTEM

STRUCTURE: BIO-RETENTION AREAS

SYSTEM SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.

PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY. TRASH AND DEBRIS SHOULD BE REMOVED AT EACH INSPECTION.

AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72 HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTIONS (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF FILTER MEDIA.

VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

STRUCTURE: BIO-RETENTION SIDE SLOPES AND OUTLET STRUCTURES

PERIODIC MOVING OF EMBANKMENTS.

REMOVAL OF WOODY VEGETATION FROM FILL EMBANKMENTS.

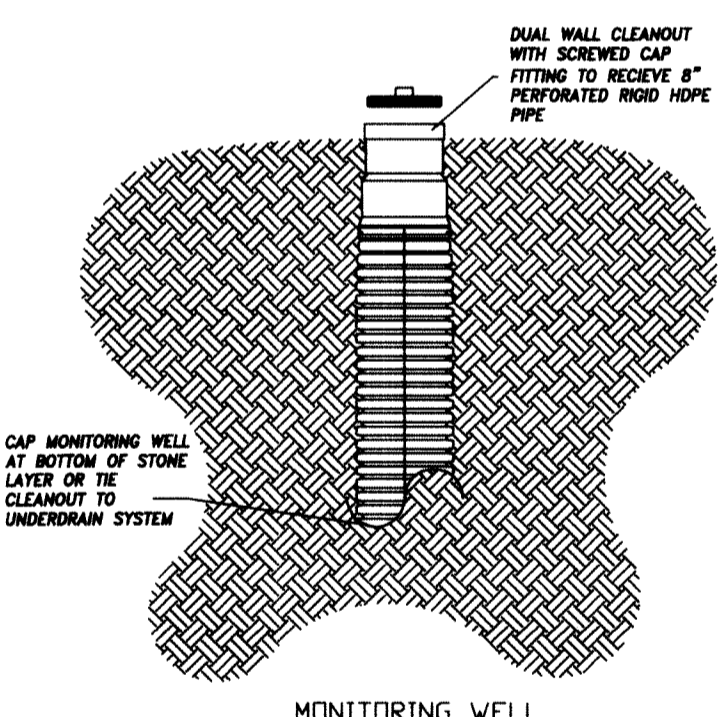
REMOVAL OF DEBRIS FROM OUTLET STRUCTURES.

REMOVAL OF ACCUMULATED SEDIMENT.

INSPECTION AND REPAIR OF EMBANKMENTS, INLET AND OUTLET STRUCTURES, AND APPURTENANCES.

BIO-RETENTION PLANTING DESIGN NOTES

- ONLY NATIVE NON-INVASIVE SPECIES SHALL BE USED.
 - NO INVASIVE SPECIES TO BE USED IN THE PLANTINGS.
 - TREE AND SHRUB PLANTINGS ARE SPECIES NATIVE TO NEW HAMPSHIRE.
- PLANT LAYOUT SHALL BE RANDOM AND NATURAL.
 - THE LANDSCAPING CREW IS TO RANDOMLY PLACE THE SHRUBS AND TREES, BUT MAINTAIN AN OVERALL DENSITY OF 6' ON CENTER, WITHIN THE DESIGNATED PLANTING AREAS.
 - A GRID PATTERN OF PLANTING IS NOT NEEDED, BUT SPACING SHALL BE SUCH THAT ALL PLANTS SHALL BE UTILIZED WITHIN THE DESIGNATED PLANTING AREAS. THERE WILL BE NO CLUMPING OF ALL PLANTS TO ONE AREA.
- WOODY VEGETATION SHALL NOT BE USED NEAR INFLOW LOCATIONS.
- VEGETATION DIRECTLY OVER THE FILTER MEDIA SHALL BE LIMITED TO FACULTATIVE WETLAND SHRUBS.
 - IN THE CENTER OF THE BASIN, THERE WILL BE A RANDOM PLANTING OF FACULTATIVE WETLAND SHRUBS.
 - THE FOLLOWING SHRUBS ARE RECOMMENDED, WITH A SIZE OF 18-24 INCHES OF HEIGHT:
 - CORNUS AMOMUM
 - LYONIA LIGUSTRINA
 - RHOODENDRON CANADENSE
 - SPIRAEA TOMENTOSA
- TREE OR LARGE SHRUBS SHALL BE PLACED ALONG THE PERIMETER:
 - ON THE EDGES OF THE BASIN, TREES SHALL BE PLANTED THAT ARE ALSO FACULTATIVE WETLAND SPECIES.
 - THE FOLLOWING TREES ARE RECOMMENDED, WITH A SIZE OF 2-3 FEET HEIGHT.
 - BETULA NIGRA
 - FRAXINUS NIGRA
 - FRAXINUS PENNSYLVANICA
 - POPULUS BALSAMIFERA
- THE PLAN SHALL ESTABLISH A PERIMETER TREE CANOPY WITH AN UNDERSTORY OF SHRUBS AND HERBACEOUS PLANTS.
 - AROUND EACH OF THE BASINS IS A MAN MADE SOIL BERM.
 - THE SOIL BERM IS ACTING AS A SMALL DAM STRUCTURE.
 - TYPICALLY, TREE AND SHRUB ROOTS PENETRATING THE BERMS WOULD EVENTUALLY LEAD TO STRUCTURAL INTEGRITY PROBLEMS WITH DEAD ROOTS CAUSING AVENUES FOR WATER FLOW AND EROSION.
 - THE NEW ENGLAND WETLAND PLANTS EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS SHALL BE USED AS TYPICAL GROUND COVER SEED MIX IN THE MAN MADE BERM AREAS THAT SURROUND THE BIORETENTION AREAS AND IS TO BE APPLIED AT A MINIMUM OF ONE POUND OF SEED FOR EVERY 1000 SQUARE FEET OF GROUND SURFACE.
 - NATURAL WOODLANDS BEYOND THE EDGE OF GRADING WILL BE MAINTAINED.



MONITORING WELL



CALL BEFORE YOU DIG!

NOTE:
CONTRACTOR IS REQUIRED TO CALL DIGSAFE AND COORDINATE LOCATIONS OF EXISTING UTILITY SERVICES A MINIMUM OF 72 HOURS PRIOR TO STARTING ANY WORK ON SITE.

WP1CH50
Curtain reflector with glass shield for 35' - 100W/110V, 50' - 100W/110V (17 Amps) and 200W/240V. Lens is 1/2\"/>

Lamp Info		Ballast Info	
Type	40 T	Type	MR-TYPE 120V
Watts	40W	200V	200W
Ballast	NA	200V	0
Base	NA	240V	NA
Mount	NA	277V	NA
Hours	10,000	Input Watts	50W
Weight	1.44LBS	Efficiency	73%
Efficiency	40 LUM/W		

Technical Specifications
UL Listing: Suitable for wet locations. -ED fixtures can be wired with 40' (1) supply wiring if supply wires are routed 3' away from the ballast.
Housing: Die-cast aluminum, 1/2\"/>

Buy American Act Compliant:
This product is a COTS item manufactured in the United States, and is compliant with the Buy American Act.

Recovery Act (ARRA) Compliant:
This product complies with the 32 USC 21 "Required Use of American Iron, Steel, and Manufactured Goods--Buy American Act--Construction Materials (October 2010).

Trade Agreements Act Compliant:
This product is a COTS item manufactured in the United States, and is compliant with the Trade Agreements Act.

GSA Schedule:
Suitable in accordance with FAR Subpart 25.4

RAB
1 1/2\"/>

DETAILS

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TATE SITE PLAN

PROPOSED CONDITIONS MAP 204/LOT 008
117 LOWELL ROAD / RTE 3A
HUDSON, NH
PREPARED FOR:
WESLEY TATE
117A LOWELL ROAD
HUDSON, NH 03051

SCALE: N/A DATE: APRIL 30, 2018

EDWARD N. HERBERT ASSOC., INC.
LAND SURVEYORS - CIVIL ENGINEERS
1 FROST ROAD WINDHAM, NH 03087 (603) 432-2462

SHEET 5 OF 7

APPROVED BY THE HUDSON PLANNING BOARD

DATE OF MEETING: _____

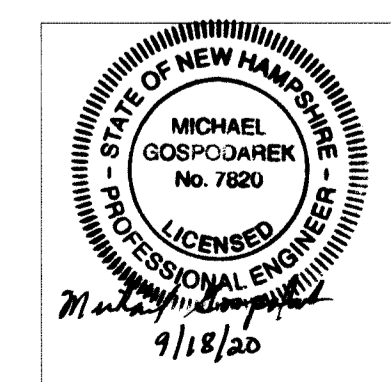
PLANNING BOARD CHAIRMAN _____ SIGNATURE DATE _____

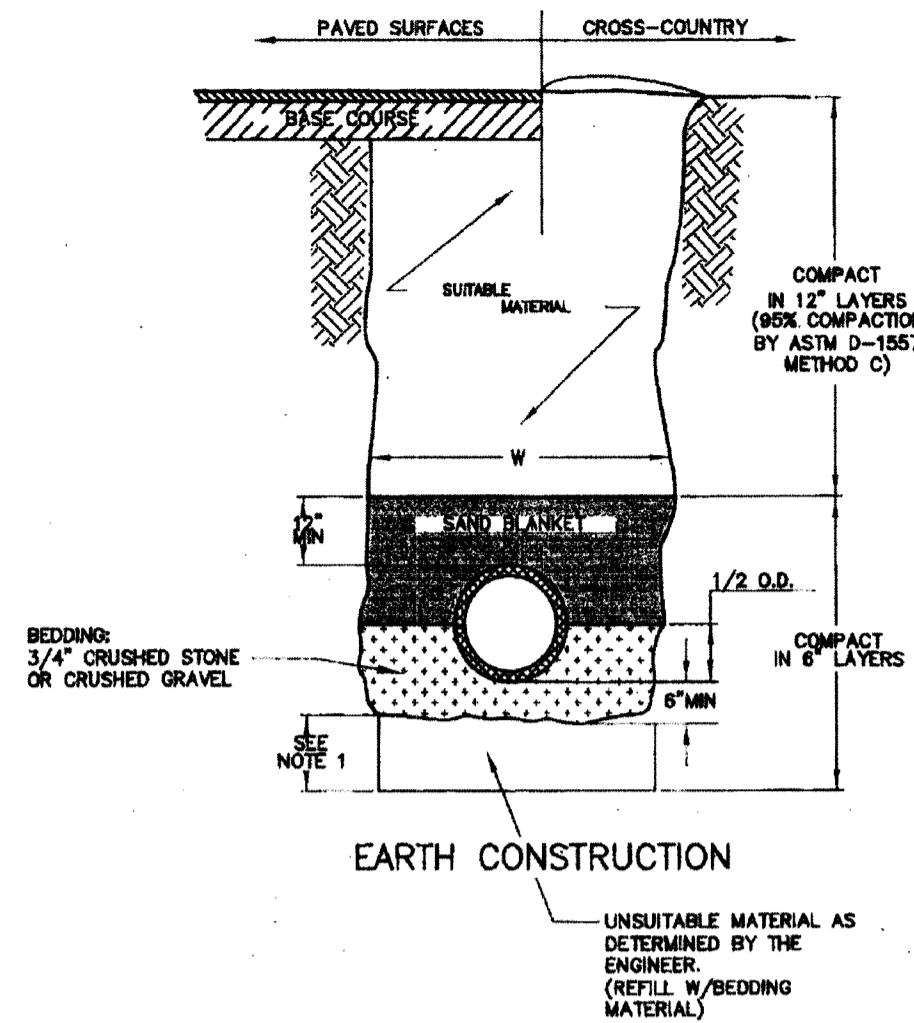
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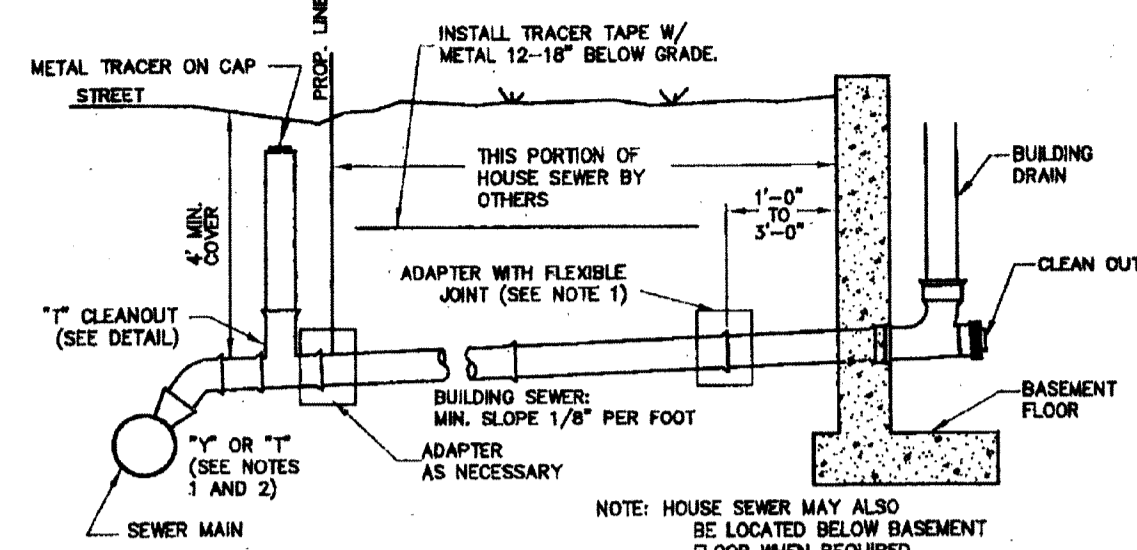
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

OWNER'S SIGNATURE: Wesley Tate DATE: 9/28/18
WESLEY TATE
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HUDSON, NH 03051



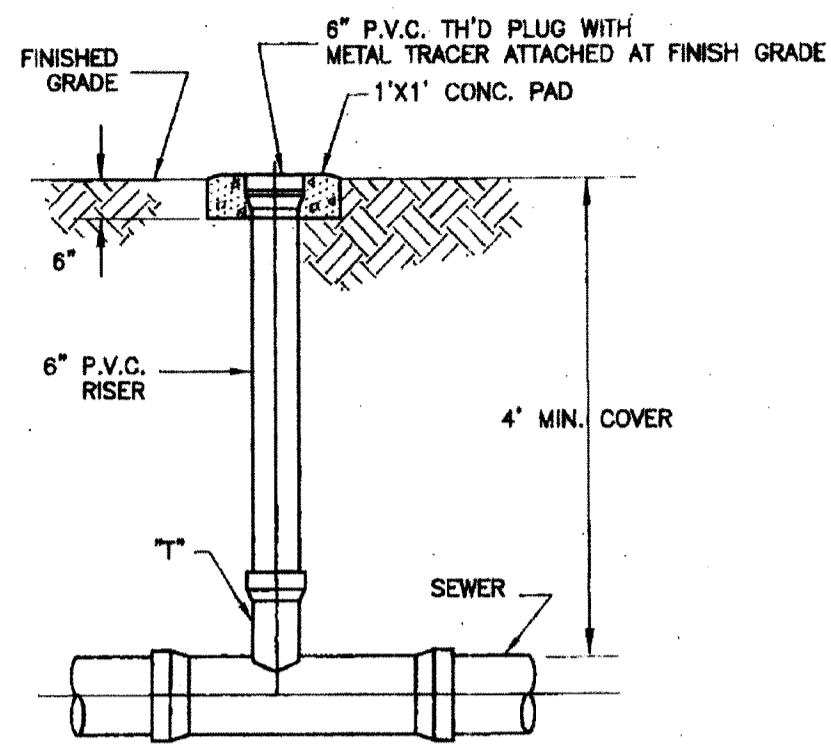


SEWER TRENCH SECTION
NOT TO SCALE

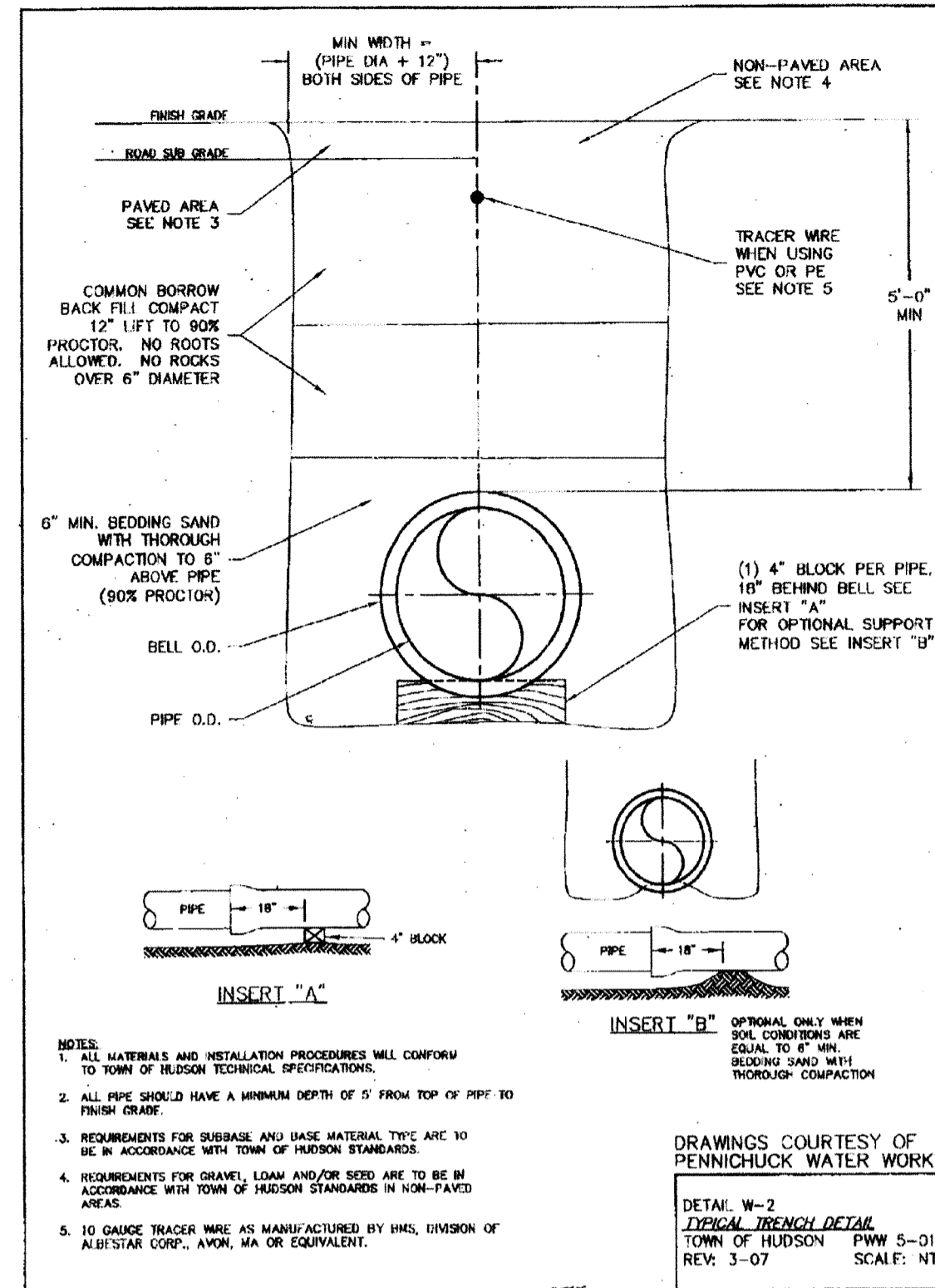


- JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER-TIGHTNESS. ALL JOINTS SHALL BE PROPERLY WATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER "Y" OR AT THE FOUNDATION WALL, APPROPRIATE ADAPTERS SHALL BE USED.
- WHERE A "T" OR "Y" IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE IN ACCORDANCE WITH THE TOWN ENGINEER.
- PIPE SHALL BE 6" DIAMETER MINIMUM FROM SEWER MAIN TO CASEMENT (9" R.) AND 4" DIAMETER MINIMUM FROM CLEANOUT TO BUILDING FOUNDATION.

SANITARY SEWER BUILDING SERVICE CONNECTION
NOT TO SCALE



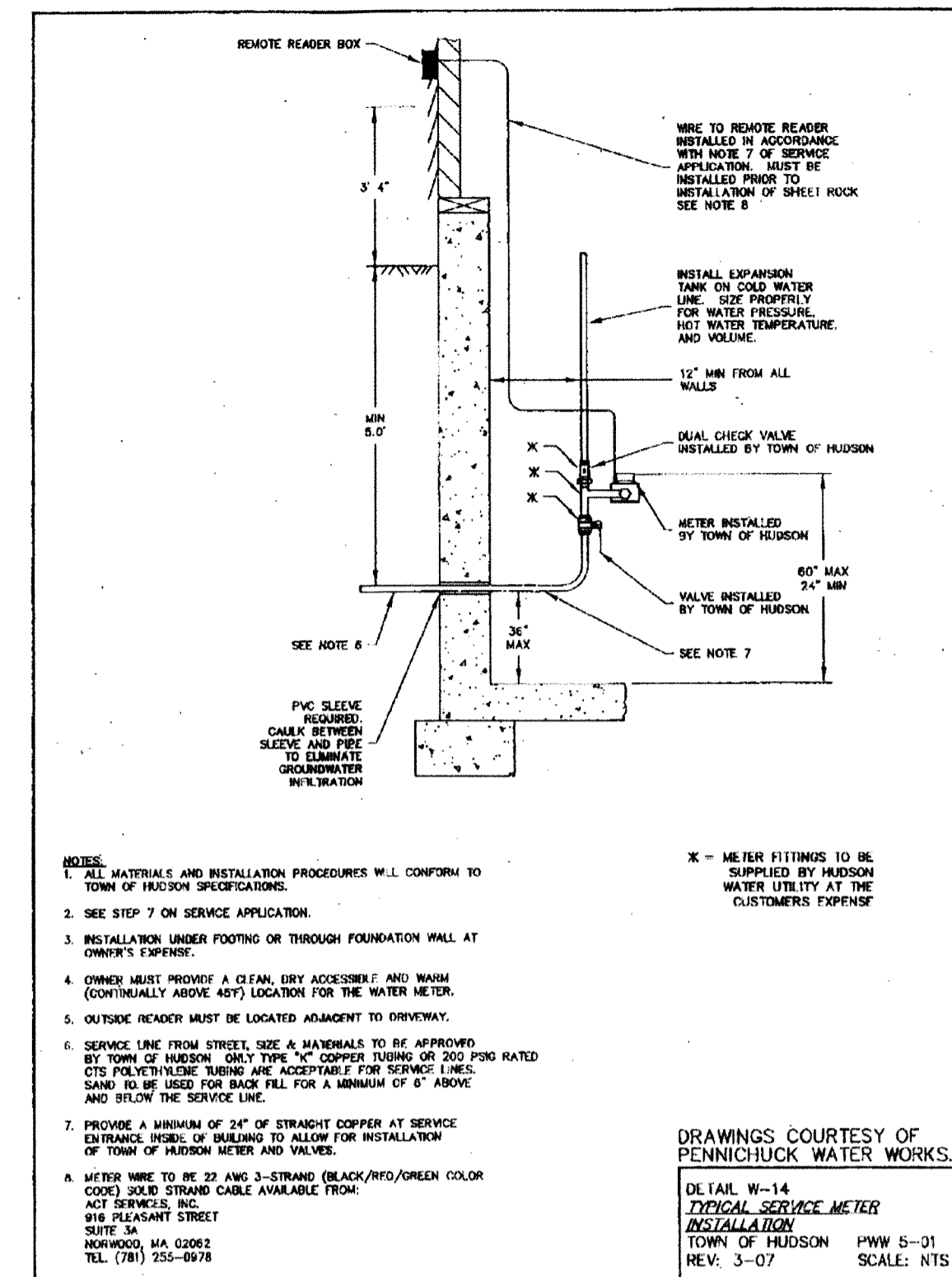
SEWER CLEANOUT



- ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
- ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
- REQUIREMENTS FOR SUBBASE AND BASE MATERIAL TYPE ARE TO BE IN ACCORDANCE WITH TOWN OF HUDSON STANDARDS.
- REQUIREMENTS FOR GRAVEL, LOAM AND/OR SAND ARE TO BE IN ACCORDANCE WITH TOWN OF HUDSON STANDARDS IN NON-PAVED AREAS.
- 10 GAUGE TRACER WIRE AS MANUFACTURED BY HHS, DIVISION OF ALBISTAR CORP., AMOR, MA OR EQUIVALENT.

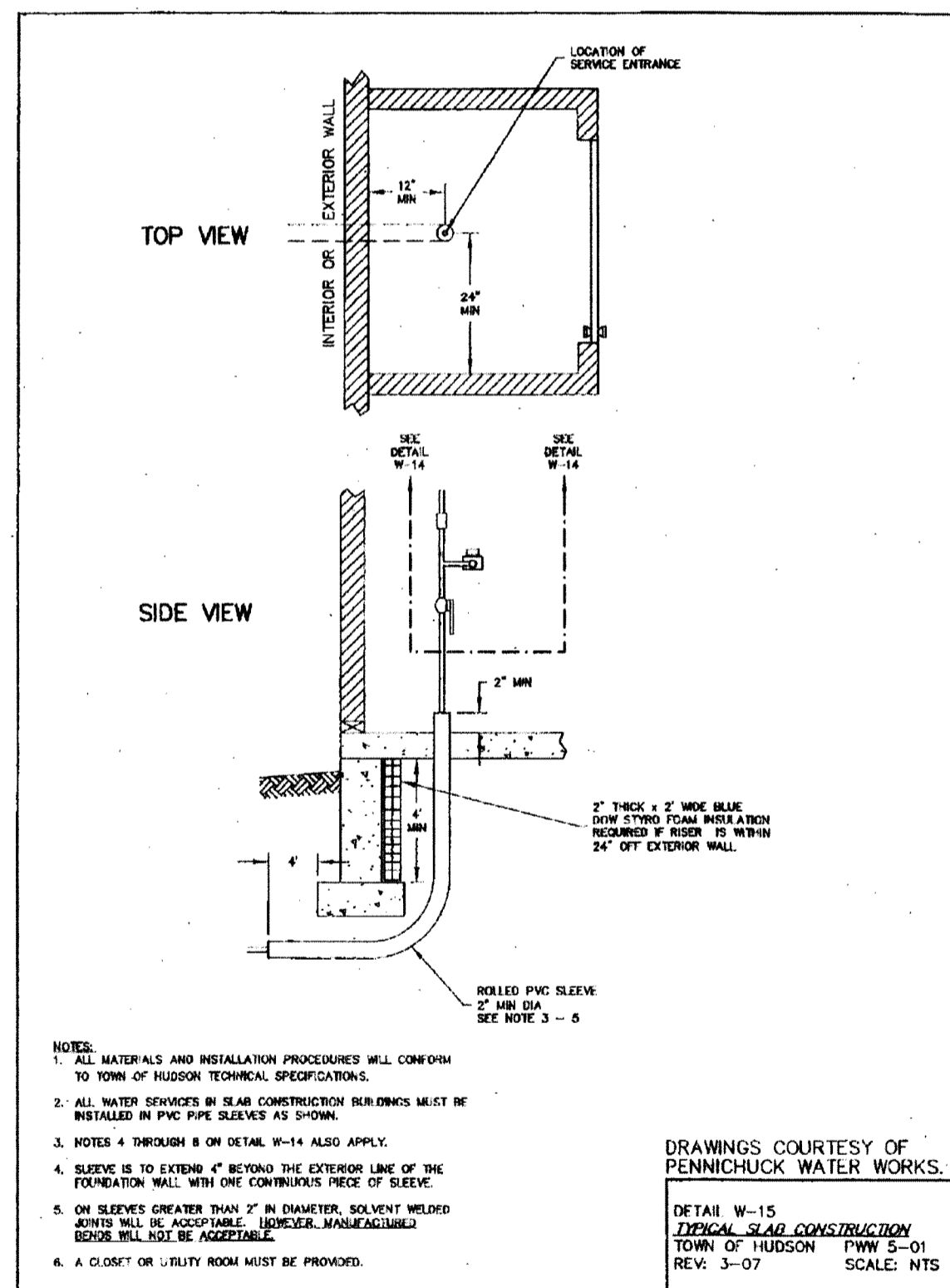
DRAWINGS COURTESY OF PENNICHUCK WATER WORKS.

DETAIL W-2
TYPICAL TRENCH DETAIL
TOWN OF HUDSON PWW 5-01
REV: 3-07 SCALE: NTS



- ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
- SEE STEP 7 ON SERVICE APPLICATION.
- INSTALLATION UNDER FOOTING OR THROUGH FOUNDATION WALL AT OWNER'S EXPENSE.
- OWNER MUST PROVIDE A CLEAN, LEVEL ACCESSIBLE AND MAINT. (CONTINUALLY ABOVE 45") LOCATION FOR THE WATER METER.
- OUTSIDE METER MUST BE LOCATED ADJACENT TO DRIVEWAY.
- SERVICE LINE FROM STREET, USE A MANHOLE TO BE APPROVED BY TOWN OF HUDSON. ONLY TYPE "X" COPPER TUBING OR 200 PSI RATED CTS POLYETHYLENE TUBING ARE ACCEPTABLE FOR SERVICE LINES. SAND TO BE USED FOR BACK FILL FOR A MINIMUM OF 6" ABOVE AND BELOW THE SERVICE LINE.
- PROVIDE A MINIMUM OF 24" OF STRAIGHT COPPER AT SERVICE ENTRANCE POINT OF WALLING TO ALLOW FOR INSTALLATION OF TOWN OF HUDSON METER AND VALVES.
- METER WIRE TO BE 22 AWG 3-STRAND (BLACK/RED/WHITE) OR 20 AWG (BLACK/RED/WHITE) STRAND CABLE AVAILABLE FROM: ACT SERVICES, INC. 916 PLEASANT STREET SUITE 2A NORWOOD, MA 02062 TEL: (781) 255-0978

DRAWINGS COURTESY OF PENNICHUCK WATER WORKS.
DETAIL W-14
TYPICAL SERVICE METER INSTALLATION
TOWN OF HUDSON PWW 5-01
REV: 3-07 SCALE: NTS



- ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
- ALL WATER SERVICES IN SLAB CONSTRUCTION REQUIREMENTS MUST BE INSTALLED IN PVC PIPE SLEEVES AS SHOWN.
- NOTES 4 THROUGH 8 ON DETAIL W-14 ALSO APPLY.
- SLEEVE IS TO EXTEND 4" BEYOND THE EXTERIOR LINE OF THE FOUNDATION WALL WITH ONE CONTINUOUS PIECE OF SLEEVE.
- IF SLEEVES GREATER THAN 4" IN DIAMETER, SOLVENT WELDED JOINTS WILL BE ACCEPTABLE. UNLESS MANUFACTURED SLEEVES WILL NOT BE ACCEPTABLE.
- A CLOSET OR UTILITY ROOM MUST BE PROVIDED.

DRAWINGS COURTESY OF PENNICHUCK WATER WORKS.
DETAIL W-15
TYPICAL SLAB CONSTRUCTION
TOWN OF HUDSON PWW 5-01
REV: 3-07 SCALE: NTS

APPROVED BY THE HUDSON PLANNING BOARD

DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN _____ SIGNATURE DATE _____

SECRETARY _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

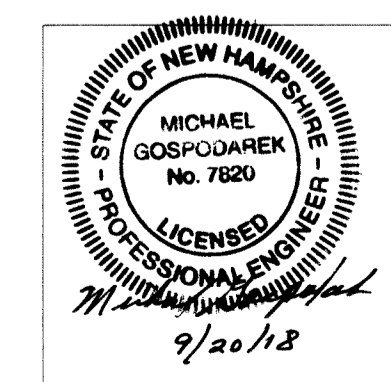
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

OWNER'S SIGNATURE: *Wesley Tate* DATE: 9/26/18

WESLEY TATE
117A LOWELL ROAD
HUDSON, NH 03051



NOTE: CONTRACTOR IS REQUIRED TO CALL DIGSAFE AND COORDINATE LOCATIONS OF EXISTING UTILITY SERVICES A MINIMUM OF 72 HOURS PRIOR TO STARTING ANY WORK ON SITE.



DETAILS

9-19-18 NOTICE OF PLANNING BOARD APPROVAL
REVISIONS: 6-12-18 PER TOWN STAFF & CONSULTANT REVIEW COMMENTS

TATE SITE PLAN





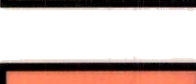
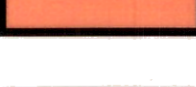
PROPOSED CONDITIONS MAP 204/LOT 008
117 LOWELL ROAD / RTE 3A
HUDSON, NH
PREPARED FOR:
WESLEY TATE
117A LOWELL ROAD
HUDSON, NH 03051

SCALE: N/A DATE: APRIL 30, 2018

EDWARD N. HERBERT ASSOC., INC.
LAND SURVEYORS - CIVIL ENGINEERS
1 FROST ROAD WINDHAM, NH 03087 (603) 432-2462

SHEET 6 OF 7



-  EXISTING BUILDINGS TO REMAIN
-  EXISTING BUILDINGS TO BE REMOVED
-  EXISTING DRIVEWAY/WALKWAYS
-  EXISTING DRIVEWAY OFF LOT TO BE REMOVED
-  PROPOSED GARAGE
-  PROPOSED DRIVEWAY

MAP 204, LOT 006
FOX HOLLOW CONDOMINIUM ASSOC.
C/O CITYSIDE MANAGEMENT
25 SUNDIAL AVE., SUITE 504W
MANCHESTER, NH 03103
3094-0575

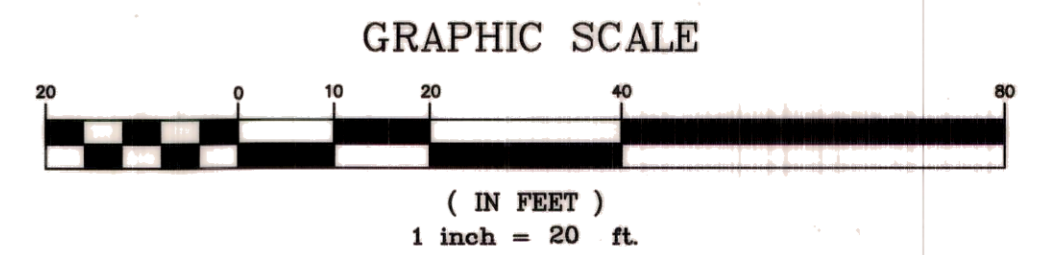
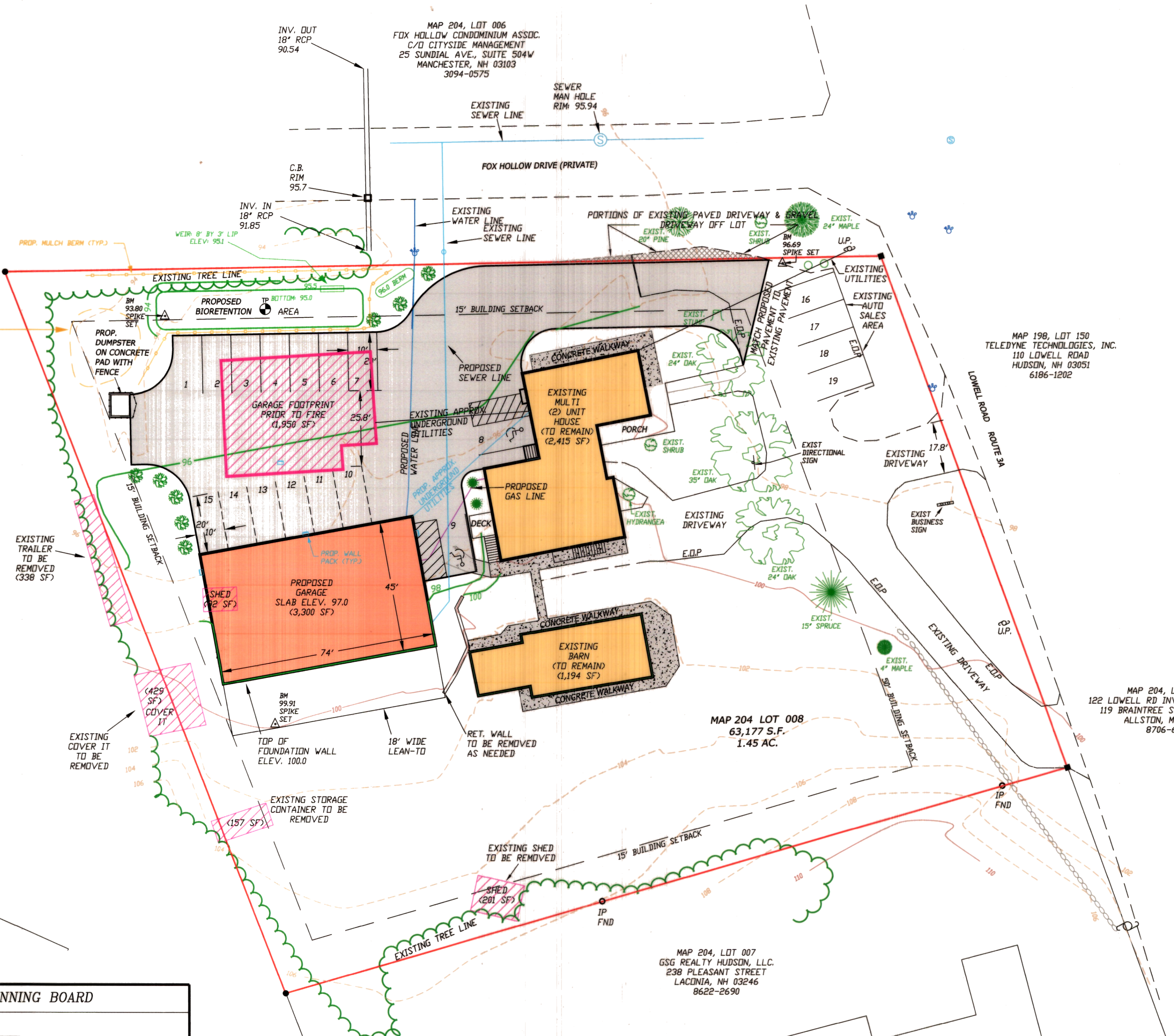
MAP 204, LOT 006
FOX HOLLOW CONDOMINIUM ASSOC.
C/O CITYSIDE MANAGEMENT
25 SUNDIAL AVE., SUITE 504W
MANCHESTER, NH 03103
3094-0575

MAP 198, LOT 150
TELEDYNE TECHNOLOGIES, INC.
110 LOWELL ROAD
HUDSON, NH 03051
6186-1202

MAP 204, LOT 009
122 LOWELL RD INVESTMENTS, LLC.
119 BRAINTREE ST., SUITE 209
ALLSTON, MA 02134
8706-665

MAP 204, LOT 007
GSG REALTY HUDSON, LLC.
238 PLEASANT STREET
LACONIA, NH 03246
8622-2690

MAP 204 LOT 008
63,177 S.F.
1.45 AC.



APPROVED BY THE HUDSON PLANNING BOARD

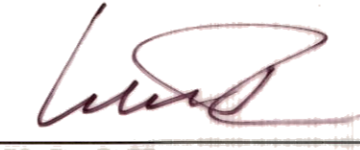
DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN _____ SIGNATURE DATE _____

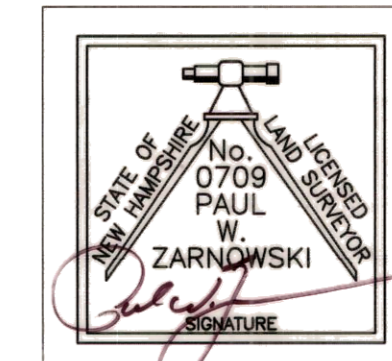
SECRETARY _____ SIGNATURE DATE _____

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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

OWNER'S SIGNATURE:  DATE: 9/26/15

WESLEY TATE
117A LOWELL ROAD
HUDSON, NH 03051



9-19-18 NOTICE OF PLANNING BOARD APPROVAL
REVISIONS: 6-12-18 PER TOWN CONSULTANT REVIEW COMMENTS

TATE SITE PLAN

COVER SHEET MAP 204/LOT 008
117 LOWELL ROAD / RTE 3A
HUDSON, NH
PREPARED FOR:
WESLEY TATE
117A LOWELL ROAD
HUDSON, NH 03051

SCALE: 1"=20' DATE: APRIL 30, 2018

EDWARD N. HERBERT ASSOC., INC.
LAND SURVEYORS - CIVIL ENGINEERS
1 FROST ROAD WINDHAM, NH 03087 (603) 432-2462

SHEET 7 OF 7



TOWN OF HUDSON

Planning Board

Timothy Malley, Chairman



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

CAP FEE WORKSHEET - 2020

Date: 06-03-20 Zone # 2 Map/Lot: 215/009
2 Wentworth Dr.

Project Name: Integra Building Addition

Proposed ITE Use #1: Industrial & Commercial

Proposed Building Area (net square footage): 15,685 S.F.

CAP FEES: (ONE CHECK NEEDED)

1. (Bank 09)		
2070-702	Industrial (15,685 s.f @ \$1.36)	\$ <u>21,331.60</u>
Zone 2		

Total:	\$ <u>21,331.60</u>
---------------	----------------------------

Check should be made payable to the Town of Hudson.

Thank you,

Brooke Dubowik

Planning Admin Aide



TOWN OF HUDSON

Planning Board

Timothy Malley, Chairman



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

CAP FEE WORKSHEET - 2020

Date: 06-03-20 Zone # 2 Map/Lot: 218/022-001

18 Trigate Road

Project Name: Trigate Road 3-Lot Subdivision

Proposed ITE Use #1: Single Family Residential Lot

Proposed Building Area (square footage): N/A S.F.

CAP FEES: (ONE CHECK NEEDED)

1.	(Bank 09) 2070-701	Traffic Improvements	\$ <u>1,872.00</u>
2.	(Bank 09) 2050-182	Recreation	\$ <u>400.00</u>
3.	(Bank 09) 2080-051	School	\$ <u>3,578.00</u>
		Total CAP Fee	\$ <u>5,850.00</u>

Check should be made payable to the Town of Hudson.

Thank you,

Brooke Dubowik
Administrative Aide



TOWN OF HUDSON

Planning Board

Timothy Malley, Chairman



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

CAP FEE WORKSHEET - 2020

Date: 06-03-20 Zone # 2 Map/Lot: 218/022-001

18 Trigate Road

Project Name: Trigate Road 3-Lot Subdivision

Proposed ITE Use #1: Duplex

Proposed Building Area (square footage): N/A S.F.

CAP FEES: (ONE CHECK NEEDED)

1.	(Bank 09) 2070-701	Traffic Improvements	\$ <u>1,872.00</u>
2.	(Bank 09) 2050-182	Recreation	\$ <u>400.00</u>
3.	(Bank 09) 2080-051	School	\$ <u>3,063.00</u>
		Total CAP Fee (per unit)	\$ <u>5,335.00</u>

Check should be made payable to the Town of Hudson.

Thank you,

Brooke Dubowik
Administrative Aide