

TOWN OF HUDSON

Planning Board

Timothy Malley, Chairman

Roger Coutu, Selectmen Liaison



12 School Street · Hudson, New Hampshire 03051 · Tel: 603-886-6008 · Fax: 603-594-1142

PUBLIC MEETING TOWN OF HUDSON OCTOBER 14, 2020

The Town of Hudson Planning Board will hold a scheduled meeting on **Wednesday, October 14, 2020 at 7:00 p.m.** at the **Hudson Community Center**, 12 Lions Ave., Hudson, NH. The following items will be on the agenda:

- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES

- V. MINUTES OF PREVIOUS MEETING(S)
 - 22 May 2019 Meeting Minutes – Decisions
 - 9 September 2020 Meeting Minutes – Decisions
 - 16 September 2020 Meeting Minutes – Decisions

- VI. CORRESPONDENCE
 - A. Request for release of two-year Maintenance Bond for Lucier Park Drive requested by Elvis Dhima, Town Engineer.

- VII. NEW BUSINESS
 - A. Dewey & Friends Pet Resort 153 Lowell Road
 SP# 09-20 Map 204/Lot 002

 Purpose of Plan: to propose a dog daycare (w/grooming, animal rescue services, retail sales, community pet education, and kennel facility) with associated site improvements. Application Acceptance & Hearing.

- VIII. OLD BUSINESS
 - A. Central Street & Lowell Road Lot Line Relocation 73 Central Street
 SB# 07-20 Map 182/Lot 218

 Purpose of Plan: to adjust the lot line on the corner of Central Street & Lowell Road. Application Acceptance & Hearing.

B. Executive Drive Proposed Building Addition
SP# 07-20

36 Executive Drive
Map 215/Lot 004

Purpose of Plan: to show a proposed 1-story, 100, 000 square-foot building addition with appurtenant parking, loading, and other site improvements. Application Acceptance & Hearing.

IX. ADJOURNMENT

All plans and applications are available for review in the Planning Office. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting. The public is invited to attend.

POSTED: Town Hall, Library & Web – 10-02-20

Brian Groth
Town Planner



TOWN OF HUDSON

Planning Board

Timothy Malley, Chairman

Roger Coutu, Selectmen Liaison



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

**PUBLIC MEETING
TOWN OF HUDSON, NH
OCTOBER 14, 2020
(Addendum#1)**

In addition to items already scheduled and posted for review at the October 14, 2020 Planning Board Meeting, the following items are scheduled to be heard:

VII. CORRESPONDENCE

A. Review Updated Planning Board Applications.

All plans and applications are available for review by request. Comments may be submitted in writing until 10:00 a.m. on the Tuesday prior to the day of the meeting.

The public is invited to attend.

Brian Groth
Town Planner

POSTED: Town Hall & Website – 10/06/20



TOWN OF HUDSON

Planning Board



Timothy Malley, Chairman Roger Coutu, Selectmen Liaison

12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

MINUTES/DECISIONS OF THE PLANNING BOARD

MEETING DATE: SEPTEMBER 16, 2020

In attendance = X	Alternate Seated = S	Partial Attendance = P	Excused Absence = E
Tim Malley Chair <input checked="" type="checkbox"/>	Ed Van der Veen Vice-Chair <input checked="" type="checkbox"/>	William Collins Secretary <input checked="" type="checkbox"/>	Charlie Brackett Member <input checked="" type="checkbox"/>
Dillon Dumont Member <input checked="" type="checkbox"/>	Jordan Ulery Member <input checked="" type="checkbox"/>	Elliott Veloso Alternate <input type="checkbox"/>	William Cole Alternate <input checked="" type="checkbox"/>
George Hall Alternate <input checked="" type="checkbox"/>	Roger Coutu Select. Rep <input checked="" type="checkbox"/>	Normand Martin Alt. Select. Rep. <input checked="" type="checkbox"/>	Brian Groth Town Rep. <input checked="" type="checkbox"/>



- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES

Mr. Martin seated for Ms. McGrath.

V. MINUTES OF PREVIOUS MEETING(S)

- 6 May 20 Meeting Minutes – Decisions
Mr. Coutu moved to accept the 6 May 20 Meeting Minutes (as written/amended).
Motion seconded by Mr. Ulery. All in favor – motion carried 7/0/0.
- 13 June 20 Meeting Minutes – Decisions
Mr. Coutu moved to accept the 13 June 20 Meeting Minutes (as written/amended).
Motion seconded by Mr. Ulery. All in favor – motion carried 7/0/0.
- 12 August 20 Meeting Minutes – Decisions
Mr. Coutu moved to accept the 12 August 20 Meeting Minutes (as written/amended).
Motion seconded by Mr. Ulery. All in favor – motion carried 7/0/0.

- 19 August 20 Meeting Minutes – Decisions

Mr. Coutu moved to accept the 19 August 20 Meeting Minutes (as written/amended).

Motion seconded by Mr. Ulery. All in favor – motion carried 7/0/0.

- 26 August 20 Meeting Minutes – Decisions

Mr. Coutu moved to accept the 26 August 20 Meeting Minutes (as written/amended).

Motion seconded by Mr. Ulery. All in favor – motion carried 7/0/0.

VI. OLD BUSINESS

- A. Central Street & Lowell Road Lot Line Relocation 73 Central Street
Map 182/Lot 218
SB# 07-20

Purpose of Plan: to adjust the lot line on the corner of Central Street & Lowell Road. Application Acceptance & Hearing.

Mr. Van der Veen moved to defer the Lot Line Relocation Application for 73 Central Street, date specific, to the Planning Board meeting on October 7, 2020.

Motion seconded by Mr. Brackett. All in favor – motion carried 7/0/0.

VII. NEW BUSINESS

- A. Hudson Car Wash Addition 184 Central Street
Map 176/Lot 007
SP# 08-20

Purpose of Plan: to construct a 160 square-foot addition to the existing car wash and other site improvements. Application Acceptance & Hearing.

Mr. Dumont moved to accept the site plan & conditional use permit application for the Hudson Car Wash Addition located at 184 Central Street, Map 176/Lot 007, Hudson, NH.

Motion seconded by Mr. Collins. All in favor - motion carried 7/0/0.

Mr. Ulery moved to approve the site plan & conditional use permit for Hudson Car Wash Site Plan, 184 Central Street, Map 176/Lot 007; prepared by Granite Engineering, 250 Commercial Street, Suite 3008, Manchester, NH 03101; prepared for Travis Spaulding, Spaulding Investment Properties, LLC, 37 Ponemah road, Amherst, NH 03031; consisting of 9 sheets with various notes on all sheets; dated August 4, 2020; subject to the following stipulations:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Plan.

2. Copies of the proposed access easements shall be submitted to the Town and properly recorded at the HCRD.
3. An as-built plan shall be provided to the Town prior to the issuance of a Certificate of Occupancy.
4. The site plan shall be subject to final engineering review and approval.
5. The vacuum station located within the setback shall be removed from the final plan.
6. Construction activities involving this plan shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday.

Motion seconded by Mr. Van der Veen. All in favor – motion carried 7/0/0.

B. Executive Drive Proposed Building Addition SP# 07-20	36 Executive Drive Map 215/Lot 004
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Purpose of Plan: to show a proposed 1-story, 100, 000 square-foot building addition with appurtenant parking, loading, and other site improvements. Application Acceptance & Hearing.

Mr. Dumont moved to accept the site plan application for 36 Executive Drive; Map 215/Lot 004.

Motion seconded by Mr. Ulery. All in favor – motion carried 7/0/0.

Mr. Ulery moved to continue the public hearing for the site plan application for 36 Executive Drive; Map 215/Lot 004, date specific, to the Planning Board Meeting on October 7, 2020.

Motion seconded by Mr. Dumont. All in favor – motion carried 7/0/0.

VIII. ADJOURNMENT

Motion to adjourn by Mr. Ulery. Seconded by Mr. Dumont. All in favor – motion carried 7/0/0.

Meeting adjourned at 8:39p.m.

William Collins
Secretary

These minutes are in draft form and have not yet been approved by the Planning Board.

MINUTES/DECISIONS OF THE PLANNING BOARD
MEETING DATE: MAY 22, 2019

In attendance = X; Alternates Seated = S; Partial Attendance = P; Excused Absence = E

Timothy Malley Chairman <u> X </u>	Jordan Ulery Vice-Chair <u> E </u>	William Collins Secretary <u> X </u>	Charlie Brackett Member <u> X </u>
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Dillon Dumont Member <u> E </u>	Ed Van der Veen Member <u> E </u>	Elliott Veloso Alternate <u> S </u>
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Roger Coutu Select. Rep. <u> X </u>	Marilyn McGrath Alt. Select. Rep. <u> E </u>	Brian Groth Town Rep. <u> X </u>
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- I. CALL TO ORDER BY CHAIRPERSON AT 7:00 P.M.
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL

IV. SEATING OF ALTERNATES

Mr. Veloso seated for Mr. Van der Veen.

V. MINUTES OF PREVIOUS MEETING(S)

- 08 May 19 Meeting Minutes – Decisions.

Mr. Coutu moved to approve the 08 May 19 Meeting Minutes (as written/amended).

Motion seconded by Mr. Brackett. All in favor - Motion carried.

- 08 May 19 Sitewalk Minutes – Decisions.

Mr. Veloso moved to approve the 08 May 19 Sitewalk Minutes (as written/amended).

Motion seconded by Mr. Coutu. All in favor – Motion carried.

VI. OTHER BUSINESS

A. CMAQ Grant Opportunities

The purpose of the Congestion Mitigation and Air Quality (CMAQ) grant program is to provide assisted funding for road projects that will help reduce vehicle emission in local communities.

The conversation on this matter initially started with Town Planner Groth stating that after conferring with the Town Administrator it was deemed that there were no projects currently proposed in town that would meet the threshold of funding required to make applying for such a grant worth wild. Mr. Groth added that there were projects such as completing sidewalks along Rt. 102 going towards Alvirne but funding for this could come from other sources.

Mr. Veloso asked if there might future projects that would be applicable to this type of grant funding. Town Planner Groth replied that there is already a CMAQ project taking place where an additional traffic lane will be added to Lowell Road at the Sagamore Bridge on ramp to get a better flow of traffic onto the bridge. Mr. Groth added that other projects considered such as improvements at the intersection of Wason Road and Lowell Rd would not be taken up this year. Lastly he added that a slip lane proposed by for the Town Engineer for traffic entering the new CTE addition at Alvirne High School could be paid for with impact fees.

Chairman Malley asked if the improvements to Lowell Road near Birch Street could be considered. Mr. Groth said that the improvement to that area were more for infrastructure improvements. He stated that the CMAQ grant program addressed issues more related to traffic flow and pedestrian safety.

Selectman Coutu pointed out that the Lowell Road and Birch Street project might be applicable as any improvement made there would help move traffic off of County Road. He added that in regards to Wason and Lowell Road, Market Basket was still planning on expanding and it might be prudent to wait on making improvements at this intersection until a time frame for work could be established. Selectman Coutu stated that if the work could be coordinated in this area it would help minimize disruptions during construction.

Town Planner Groth said he would review the Lowell Road and Birch Street financing idea with the Town Engineer and Town Administrator and that he would be willing to submit a letter of intent to CMAQ if the board pleased.

With no objections by board members, Selectman Coutu moved to authorize the Chairman of the Planning Board, with the assistance of the Planning Department, to send a Letter of Intent to the NHDOT by June 7, 2019 as discussed at this meeting, to be considered for the 2019 CMAQ funding

Motion by: R. Coutu

Second: E. Veloso

Mr. Veloso asked if the motion should be amended to include that the letter of intent was to address issue at Lowell Road and Birch Street. The Chairman pointed out that including such wording may limit town staff to change the use of possible funding to a more urgent and costlier project. Mr. Veloso then withdrew his suggestion to amend the motion.

With no other discussion on the matter the Chairman poled board members on the motion. The motion to file a Letter of Intent made by Selectman Coutu **carried: 5 / 0 / 0**

B. CIP Update

Town Planner Groth provided an update as to the progress of the Capital Improvement Committee (CIC) stating the committee has met twice and has now heard all suggestions made by town departments heads, boards and committees for addition to the 2019 Capital Improvement Plan (CIP). Mr. Groth said that there were a few submission made by the Engineer Department but that some of these had already be addressed through the use of impact fees. He added that there was a total of 17 project submissions and that the next step would be for the committee to organize and prioritize the projects in terms of importance to the community.

Mr. Collins asked what were some of the bigger projects submitted by department heads. Town Planner Groth answered that the Police Department was in need of space and looking into expanding its current facility. The other major project was submitted by town staff for possibly expanding town hall. Mr. Groth went on to mention that the schools submissions included improvements and repairs to building roofs, football field and tennis courts. Lastly, Mr. Groth said the Benson Park Committee had proposed repairs to the Hazelton Barn, Kitchen Building and Sustainability Committee wants to initiate establish a fund to finance energy saving projects in various town facilities.

Selectman Coutu discussed the Town Hall expansion proposal stating that preliminary costs could be under \$1,000,000 dollars. He stated that adding an addition to the existing building rather than razing and building a new facility would be more cost efficient and cause less problems. Selectmen Coutu went on to add that spending money on the Hazelton Barn was not a practical use of town funds and the Board of Selectmen would be looking to see if NHDOT would be willing to remove the building from the state historical records thus relieving the town of its responsibility to repair and maintain the building. Selectman Coutu added the improvements to the Office Building and kitchen addition made sense and would provide a source of revenue to the park through the sales of snack foods.

Mr. Collins asked if any of the quotes to Town Hall included improvements to the existing building. Town Planner Groth and Selectman Coutu stated that they did not believe so and that initial cost estimates were based on a \$300 per square foot price. Mr. Groth did add that these existing HVAC system would have to be

considered for an upgrade as part of the addition. Mr. Collins asked if building a New Town Hall building now would be more prudent than simply adding on to the existing building pointing out that any addition might reach capacity in a short time and that town would be again in the same position within 5 or 6 years. Town Planner Groth stated that no one suggested the idea so it was not added to the 2019 CIP update.

Town Planner Groth spoke on the issue of Storm Water Management stating that the town was in the process of updating the plan to reflect compliance with state regulations. He said the goal is to better manage storm water runoff by applying better construction management practices and tailoring land use regulations towards the practices.

Mr. Veloso asked if there was a time frame for submission of the MS4 plan updates and if any of the changes to the plan required approval of the Planning Board. Town Planner Groth replied that he was not sure but would look into the matter.

Selectman Coutu stated that he had heard other communities were discussing implementing fees for this program and was wondering if this was a requirement. Mr. Groth he did know of any regulation coming from the state that would force local government to institute a fee schedule. He did add that he will research the matter for clarification.

Lastly, Town Planner Groth mentioned that he was in the process of reviewing the Land Use Regulations and would be bringing his suggestions to the board for review. He also mentioned that the town was in the process of instituting a new I.D. badging program for all employee and committee members starting July 1, 2019.

Mr. Collins asked if committee and board members would be getting assigned email addresses as part of this new program. Selectman Coutu suggested that Chairman Malley send a list of current board members to the IT Department so that email addresses could be provided.

VII. ADJOURNMENT

Motion to adjourn by Mr. Collins. Seconded by Mr. Veloso. All in favor – motion carried.

Meeting adjourned at 7:41 p.m.

William Collins
Secretary

Town Engineer Request to Release Two-Year Maintenance Bond for Lucier Park Drive

STAFF REPORT

October 14, 2020

Attached, hereto, please find a Request to Release a Two-Year Maintenance Bond for Lucier Park Drive in the amount of \$36,620.00 by Elvis Dhima, Town Engineer (Memo dated 09-17-20). The road was accepted by the Board of Selectman as a public road in November of 2018. This cash bond can now be released after November 1, 2020. The Engineering and Public Works Departments have inspected the road and are satisfied with its condition (see attached memo with signatures).

DRAFT MOTION:

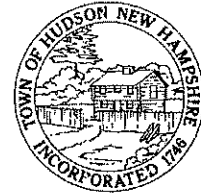
I move to approve the release of the Two-Year Maintenance Bond for Lucier Park Drive in the amount of \$36,620.00 on November 2, 2020, in accordance with the written request by Elvis Dhima, Town Engineer dated September 17, 2020.

Motion by: _____ Second: _____ Carried/Failed: _____



TOWN OF HUDSON

Engineering Department



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-816-1291

INTEROFFICE MEMORANDUM

TO: Brian Groth, Town Planner
Planning Board

FROM: Elvis Dhima P.E., Town Engineer

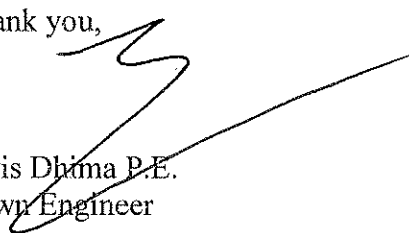
DATE: September 17, 2020

RE: Release of Two-Year Maintenance Bond for Lucier Park Drive

The Town of Hudson currently holds a Two-Year Road Maintenance Bond in the amount of \$36,620.00 for Lucier Park Drive, located off of Eayers Pond Road. The road was accepted by the Board of Selectman as a public road in November of 2018. This cash bond can now be released after November 1, 2020, as requested by the developer.

The Engineering and Public Works Departments have inspected the road and are satisfied with its condition (see attached memo with signatures), so we are recommending the release of this bond to the Planning Board at this time.

Thank you,


Elvis Dhima P.E.
Town Engineer

Enclosure



TOWN OF HUDSON
Engineering Department



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

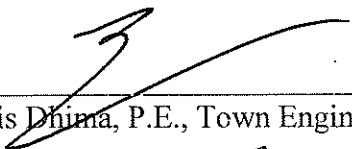
INTEROFFICE MEMORANDUM

TO: Brian Groth, Town Planner
FROM: Elvis Dhima, P.E., Town Engineer
CC: Jess Forrence, Public Works Director
DATE: September 2, 2020
RE: 2-Year Maintenance Bond Release – Lucier Park Drive

Prior to November 1, 2018, the Town of Hudson took ownership of Lucier Park Drive and it became a public road. At that time, the developer put up a Two-Year cash Maintenance Bond in the amount of \$36,620.00. This bond can now be released after November 1, 2020, as requested by the developer.

The Engineering and Public Works Departments have inspected the road and have no objections to the Two-Year Maintenance Bond being released at this time.


Thank you.



Elvis Dhima, P.E., Town Engineer

8-2-20

Date



Jess Forrence, Public Work Director

9/3/20

Date

**TOWN OF HUDSON, NH
ROAD GUARANTEE ESTIMATE FORM**

I hereby certify that, in addition to any work already completed, the following itemized statement and estimate unit costs will complete all improvements required by the Hudson, NH Planning Board for the following Streets:

Owner/Developer Name: K & M Developers LLC

Date: 1-Mar-17

Project Name: Lucier Park Drive & Eayer Pond Road

Map: 247

Lots: 45-6 to 45-16

Street Name: See Above

Street Length: Approx: 1195 ft

						Total	Bond Remaining	Date
Clearing	1 A.C.	@	\$ 8,500.00	=	\$	8,500.00	\$0.00	9/13/2017
Excavation	2360 C.Y.	@	\$ 8.00	=	\$	18,880.00	\$0.00	9/13/2017
Ledge Removal Mass	C.Y.	@	\$ 30.00	=	\$	-		
Trench Ledge	C.Y.	@	\$ 50.00	=	\$	-		
Drainage Swales	645 L.F.	@	\$ 7.00	=	\$	4,515.00	\$4,515.00	
Drainage Swale w/Riprap	L.F.	@	\$ 10.00	=	\$	-		
Hay Bale Dike	EA	@	\$ 5.00	=	\$	-		
Silt Fence	L.F.	@	\$ 5.00	=	\$	-		
Storm Drains Size/Type								
12" (HDPE) at Driveway Culverts	220 L.F.	@	\$ 50.00	=	\$	11,000.00	\$11,000.00	
15" (HDPE)	120 L.F.	@	\$ 50.00	=	\$	6,000.00	\$0.00	9/13/2017
18" RCP	L.F.	@	\$ 55.00	=	\$	-		
21" RCP	L.F.	@	\$ 65.00	=	\$	-		
24" RCP	L.F.	@	\$ 72.00	=	\$	-		
30" RCP	L.F.	@	\$ 85.00	=	\$	-		
36" RCP	L.F.	@	\$ 120.00	=	\$	-		
6" PVC	L.F.	@	\$ 30.00	=	\$	-		
6" Underdrain	L.F.	@	\$ 18.00	=	\$	-		
8" Underdrain	L.F.	@	\$ 20.00	=	\$	-		
Additional Excavation for Structures	C.Y.	@	\$ 10.00	=	\$	-		
4' Catch Basins	V.F.	@	\$ 2,500.00	=	\$	-		
5' Catch Basins	V.F.	@	\$ 3,000.00	=	\$	-		
4' Drain Manholes	V.F.	@	\$ 2,500.00	=	\$	-		
5' Drain Manholes	V.F.	@	\$ 3,000.00	=	\$	-		
Headwalls (15" Precast Concrete)	4 EA.	@	\$ 1,500.00	=	\$	6,000.00	\$0.00	9/13/2017
Rip-Rap (Min 12" thick)	84 C.Y.	@	\$ 40.00	=	\$	3,360.00	\$0.00	9/13/2017

Subdivision Name: Lucier Park Drive & Eayer Pond Road

Date: 1-Mar-17

					Total	Bond Remaining	Date
Sanitary Sewer Size							
6" PVC Service Connection	L.F.	@	\$ 50.00 = \$	-			
8" PVC							
0' - 12' Depth	L.F.	@	\$ 80.00 = \$	-			
12' - 18' Depth	L.F.	@	\$ 150.00 = \$	-			
10" PVC	L.F.	@	\$ 125.00 = \$	-			
Other	L.F.	@					
Sanitary Sewer Manholes 4' dia.	V.F.	@	\$ 2,500.00 = \$	-			
Sanitary Sewer Manholes 5' dia.	V.F.	@	\$ 3,000.00 = \$	-			
Service Cleanout	EA.	@	\$ 500.00 = \$	-			
Water Main Size (valves included)							
4" DIP Class 52	L.F.	@	\$ 80.00 = \$	-			
6" DIP Class 52	L.F.	@	\$ 90.00 = \$	-			
8" DIP Class 52	1000 L.F.	@	\$ 100.00 = \$	100,000.00	\$0.00	9/13/2017	
10" DIP Class 52	L.F.	@	\$ 110.00 = \$	-			
12" DIP Class 52	L.F.	@	\$ 125.00 = \$	-			
T/S&V	L.F.	@	\$ 3,500.00 = \$	-			
Hydrants	2 EA	@	\$ 3,500.00 = \$	7,000.00	\$0.00	9/13/2017	
1" Copper Service (stops included)	11 EA.	@	\$ 1,000.00 = \$	11,000.00	\$0.00	9/13/2017	
Bank Run Gravel	1175 C.Y.	@	\$ 16.00 = \$	18,800.00	\$0.00	9/13/2017	
Crushed Bank Run Gravel	600 C.Y.	@	\$ 21.00 = \$	12,600.00	\$0.00	9/13/2017	
Sand Cushion	C.Y.	@	\$ 12.00 = \$	-			
Hot Bituminous Pavement 24' width							
2 1/2" Base Course Type C	460 TONS	@	\$ 85.00 = \$	39,100.00	\$0.00	9/13/2017	
1 1/2" Wearing Course Type F	280 TONS	@	\$ 85.00 = \$	23,800.00	\$23,800.00		
Other		@	\$	-			
Tack Coat	3190 S.Y.	@	\$ 0.20 = \$	638.00	\$683		
Curbing							
Granite	L.F.	@	\$ 30.00 = \$	-			
Cape Cod	L.F.	@	\$ 15.00 = \$	-			
Sidewalks							
5' Wide bituminous	S.Y.	@	\$ 40.00 = \$	-			
Loam and Seed							
Easement areas	300 L.F.	@	\$ 10.00 = \$	3,000.00	\$3,000.00		
R.O.W. areas	1195 L.F.	@	\$ 10.00 = \$	11,950.00	\$11,950.00		

Subdivision Name: Lucier Park Drive & Eayer Pond Road

Date: 1-Mar-17

					Total	Bond Remaining	Date
Bounds and Pins							
Property Pins	11 EA.	@	\$ 200.00 = \$		2,200.00	\$2,200.00	
Road Bounds	17 EA.	@	\$ 400.00 = \$		6,800.00	\$6,800.00	
Stop Signs							
Stop Signs	2 EA.	@	\$ 150.00 = \$		300.00	\$300.00	
Street Signs	2 EA.	@	\$ 150.00 = \$		300.00	\$300.00	
As-Built Plans	1195 L.F.	@	\$ 4.00 = \$		4,780.00	\$4,780.00	
Landscaping							
Trees	EA.	@	\$ 400.00 = \$		-		
Bushes	EA.	@	\$ 200.00 = \$		-		
Guard Rails	L.F.	@	\$ 50.00 = \$		-		
Utility Trench (Elec/Tel/TV)	600 L.F.	@	\$50.00 = \$		30,000.00	\$0.00	9/13/2017
Other required improvements (See attached itemized list)	1 L.S.	@	\$35,650.00 = \$		35,650.00	\$10,016.00	9/13/2017
Subtotal:					\$ 366,173.00	\$79,344.00	9/13/2017
Mobilization (5%)					\$ 18,308.65	\$18,308.65	
Engineering & Contingencies (10% subtotal)					\$ 36,617.30	\$36,617.30	
Maintenance Level (10%)					\$ 36,617.30	\$36,617.30	
Total Estimate:					\$ 457,716.25	\$170,887.25	

Prepares Name: Inspected by Alex Cote

Date: 9/13/17

Rev 2/17/15
 rev 7/9/10
 rev1129/07
 rev 2/27/17
 rev 9/13/17

Printed
9/28/2018
10:12AM
Created
9/28/2018
10:09 AM

Transaction Receipt

Receipt# 523,049
dstickney

Town of Hudson, NH
12 School Street
Hudson, NH 03051-4249

Description	Current Invoice	Payment	Balance Due
1.00 Agency Account - Lucier Park Drive, 2-Yr. Maintenance Bond			
Lucier Pk-Maint Bond	0.00	36,620.0000	0.00
		Total:	36,620.00

Remitter	Pay Type	Reference	Tendered	Change	Net Paid
K&M Developers, LLC	CHECK	2232	36,620.00	0.00	36,620.00
			Total Due:		36,620.00
			Total Tendered:		36,620.00
			Total Change:		0.00
			Net Paid:		36,620.00

2232

K & M Developers, LLC
46 Lowell Road
Hudson, NH 03051
603-880-7799

TD BANK
America's Most Convenient Bank
54-7/114

9/26/2018


PAY TO THE ORDER OF: Town of Hudson-

\$ **36,620.00

Thirty-Six Thousand Six Hundred Twenty and 00/100***** DOLLARS

Town of Hudson-

MEMO


Justin M. Carrall
 AUTHORIZED SIGNATURE

⑈4645⑈

DEWEY & FRIENDS SITE PLAN

SITE PLAN APPLICATION SP#09-20

STAFF REPORT

SITE: 153 Lowell Road, Map 204 Lot 2

ZONING: Business (B)

PURPOSE OF PLANS: to change the use of the existing site to dog daycare (w/ grooming, animal rescue, retail sales, community pet education, and kennel facility) with associated site improvements.

PLANS UNDER REVIEW: Dewey & Friends Site Plan; prepared by: TFMoran, 48 Constitution Drive, Bedford, NH 03110; prepared for: Richard and Kerri Demers, 22 Lisa Lane, Lowell, MA 01854; consisting of 4 sheets with 24 notes; dated September 1, 2020, revised October 5, 2020.

ATTACHMENTS:

- A. Project Narrative
- B. Special Exception approval from ZBA
- C. Town Department comments.
- D. Fuss & O'Neil peer review letter.
- E. Response letter from Applicant.

APPLICATION TRACKING:

- July 9, 2020 – ZBA approved Special Exception.
- September 1, 2020 – Application received.
- October 6, 2020 – Revised application received.
- October 14, 2020 – Public hearing scheduled.

WAIVER REQUESTS:

- §275-8.C(2) (p) – Parking Calculations
- §275-8.C(6) – Off-street Loading Space
- §276-11.1(B)(12)(c) – General Plan Requirements, 100' buffer
- §290-4.A – Stormwater Management Design

COMMENTS & RECOMMENDATIONS:

BACKGROUND

The proposed conversion to a dog daycare operation was preceded by massage school (NH Institute for Therapeutic Arts). The building and site visually resembles a residential property, however, it was operating as a mixed-use property. While the property is on Lowell Road and within the Business zoning district, it shares its boundaries with 3 residential properties. The large abutting lot to the west is the Friary site, zoned General, with plans to develop workforce housing along Lowell Road. The lots across Lowell Road are comprised of mixed-use residential and commercial with a majority of their properties being used for auto body repairs and car sales.

The ZBA approved (5:0) the proposed use for this site on July 9th, 2020. See **Attachment B**.

STAFF COMMENTS

While the building footprint will not change, there are proposed modifications to the parking lot and the construction of a fenced in dog area behind the building. A new ramp and staircase will be also be constructed on the backside of the building. It is understood that the existing signage located on Lowell Road will remain the same.

Buffering: The proposed mixed-use site abuts three residential uses on the same side of Lowell Road. As such, sufficient buffering shall be provided for visual separation of incompatible uses, per §275-8(C) (8).

Parking Lot: The applicant is requesting a waiver for the number of parking spaces (11) and proposing that seven spaces be provided. Although seven space may be sufficient, it is unclear how many employees and customers are to be expected. The septic system evaluation utilized 3 employees and 20 dogs in its calculation – if this is the case, 3 of the 7 spaces will be for employees, and 4 (one handicapped space) of the remaining spaces will be used for customers and/or residents. It is recommended that the applicant clarify the expected number of employees, customer turnover, and how many spaces will be occupied by residents.

Also, the handicapped parking space is proposed to be 8' x 20' where the minimum allowable width may be 9', per §275-8(C) (4). This issue shall be resolved.

Circulation: Per §275-6.B, the Planning Board shall require that adequate provisions be made by the owner for traffic circulation. However, considering the site's narrow driveway and reduced parking spaces, a safe turnaround in a full parking lot may be difficult; and reversing a vehicle into Lowell Road should be avoided. It is recommended that the Board discuss the adequacy of the proposed parking lot dimensions.

Fenced Dog Area and Waste: The construction of the fenced in dog area is generally located in the same location as the removed pavement. A six-foot solid vinyl fence, roughly ten feet from the property line, does not impede access to the septic system. A pea stone/gravel mixture will be placed in the area. Per the septic calculation, there may be upwards of 20 dogs on the site, however, it is recommended that this clarified.

A dumpster for dog waste is located at the end of the parking lot, within the setback, and in proxy to the residential abutter. Its placement within the setback may create a nuisance (smell). There is no concrete pad or screening proposed. It is recommended that the dumpster location and screening be discussed for adequacy.

Loading: The applicant is requesting a waiver for loading spaces and indicates it's not necessary due to the nature of the business; staff believes this to be a reasonable. The proposed driveway/parking lot configuration would make it difficult to accommodate any loading activities. The applicant should explain the types of deliveries that may be expected, if any.

Stormwater Management: The applicant is requesting a waiver for stormwater management design and cites the reduction in impervious surface area as the reasons for approval. It is stated that the parking lot modifications reduce the impervious surface area by roughly 740sf and move the edge of the pavement further away from the property line. The use of a temporary silt fence has been proposed during the demolition of the parking lot. It is recommended that the Town Engineer review the latest revisions.

DEPARTMENTAL REVIEWS

See **Attachment C**

The **Engineering Department** reviewed the application and stated the applicant shall provide additional information as it relates to the impervious area and septic system, including the existing conditions, proposed changes, and performance expectations. Applicant has addressed these comments in the latest revision; currently waiting on a follow up from the Town Engineer.

PEER REVIEW AND APPLICANT RESPONSES

See **Attachment D & E**

Site Plan

The Town's peer reviewer, Fuss & O'Neil, noted that the application did not include any proposed fire protection, off-site improvements, or new grading. The applicant has responded that none of these are being proposed. The revised plan set does not include an approval block and must be added, per §276-11.1(B) (4) & (5). Details concerning the sign along Lowell Road have not been provided, however, the applicant states that the new sign will use the existing site sign with a new panel and will submit a permit application with the Building Department.

Traffic

Applicant states a Traffic Memo has been submitted but we don't have it – Town Planner feels this is not necessary.

Utility

The leach field is not shown and there is a potential conflict with the septic tank access and the proposed fencing. The applicant has altered the fence location to allow for septic tank access.

Stormwater

Due to the reduction in impervious, no new stormwater improvements have been proposed. A dumpster has been added to handle pet waste management.

Zoning

No wetlands were indicated on the site, however, the applicant added a note confirming this. The applicant also added a note stating that no new exterior lighting is proposed.

Other

Fuss & O'Neil did not review the ramp or stair for conformance with ADA and/or building code requirements. The applicant responded that plans and designs will be submitted to the Building Department as part of the Building Permit application. The applicant has also noted that a pea stone/gravel mixture will be used in the outdoor play area.

DRAFT MOTIONS

ACCEPT the site plan application:

I move to accept the site plan for 153 Lowell Road, Map 204 Lot 2.

Motion by: _____ Second: _____ Carried/Failed: _____

*[If the Board needs more information, move to **defer** the application and indicate why]*

CONTINUE the public hearing to a date certain:

I move to continue the public hearing for the site plan application for 153 Lowell Road, Map 204 Lot 2, to date certain, _____.

Motion by: _____ Second: _____ Carried/Failed: _____

*[If the Board needs more time to deliberate, move to **continue** the hearing]*

GRANT a waiver:

I move to grant a waiver from §275-8.C(2) (p) – Parking Calculations, based on the Board’s discussion, the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: _____ Second: _____ Carried/Failed: _____

GRANT a waiver:

I move to grant a waiver from §275-8.C(6) – Off-street Loading Space, based on the Board’s discussion, the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: _____ Second: _____ Carried/Failed: _____

GRANT a waiver:

I move to grant a waiver from §276-11.1(B)(12)(c) – General Plan Requirements, 100’ buffer, based on the Board’s discussion, the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: _____ Second: _____ Carried/Failed: _____

GRANT a waiver:

I move to grant a waiver from §290-4.A – Stormwater Management Design, based on the Board’s discussion, the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: _____ Second: _____ Carried/Failed: _____

APPROVE the site plan application:

I move to approve the Dewey & Friends Site Plan; prepared by: TFMoran, 48 Constitution Drive, Bedford, NH 03110; prepared for: Richard and Kerri Demers, 22 Lisa Lane, Lowell, MA 01854; consisting of 4 sheets with 24 notes; dated September 1, 2020, revised October 5, 2020; subject to, and revised per, the following stipulations:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Plan.
2. Final administrative review by Town Planner and Town Engineer.
3. Construction activities involving the site plan shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday.



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

September 1, 2020

Ref: 17913.10

Brian Groth
Town Planner
Hudson Planning Department
12 School Street
Hudson, NH 03051

**Re: 153 Lowell Road
Tax Map 204 Lot 2
Project Narrative**

Dear Brian,

On behalf of the Applicant(s), Richard and Keri Demers, TFMoran, Inc. (TFM) is submitting an application for site plan review for a proposed change of use at 153 Lowell Road (Tax Map 204, Lot 2). As part of this application, we have included the following narrative.

PROJECT NARRATIVE

The project site is located at 153 Lowell Road, in the Business (B) Zoning District and was most recently utilized by the New Hampshire Institute of Therapeutic Arts. The site is bordered by residential properties to the north and south, vacant land to the west, and commercial businesses across Lowell Road.

The Applicant is proposing to convert the existing building and site to a dog daycare operation, including associated grooming, animal rescue services, retail sales, community pet education and day/overnight boarding services.

On July 9, 2020, the Zoning Board of Adjustment granted a Special Exception to permit the above-outlined operations at the site, including use of a second-floor apartment by the business operator.

Site improvements associated with the change of use would include removal of approximately 740 s.f. of paved area behind the existing building to accommodate a fenced, outdoor play area for attending dogs and a new handicap-accessible ramp in the location of the existing one. Employee and customer parking would be located, as in the current condition, within the existing paved lot to the rear of the building. No other site changes are proposed. Based on the removal of impervious surfaces, a net reduction in stormwater runoff from the site would occur.

The site will continue to be served by municipal water and a private, on-site septic system. The proposed use relative to the existing septic system capacity has been reviewed with NHDES. Based on the minimal flow generated by the use, the existing system can support the proposed operations without alteration. No new utilities or changes to existing utilities are proposed and no additional site lighting or landscaping is proposed.

Based on the nature of the proposed use, the following waivers are being requested:

- Section 276-11.1(c): General Plan Requirements
- Section 275-8(c)(2)(p): Parking Calculations
- Section 275-8(c)(6): Loading Space
- Section 275-9A: Stormwater Management Plan

We appreciate your assistance on this application. Should you have any questions, please do not hesitate to contact our office at (603)-472-4488 or tburns@tfmoran.com.

Respectfully Submitted,
TFMoran, Inc.



Thomas C. Burns, P.E.
Senior Project Manager

COPY

Send recorded copy to:

TOWN OF HUDSON
ZONING BOARD OF ADJUSTMENT
12 School Street, Hudson, New Hampshire 03051

NOTICE OF DECISION

Map 204, Lot 002-000, Zone B (Business), Case # 204-002

ZBA Decision 07/09/2020

Special Exception - GRANTED

Applicant: Keri Demers, Dewey & Friends Pet Resort, 23 Dexter St., Nashua, NH 03060

Property Owner & Address: Patrick I. Cowan, 153 Lowell Road, Hudson, NH 03051

Property Location: 153 Lowell Road, Hudson, NH 03051


Applicant's Agent: Jesse Hepler, Real Estate Broker, 1 Greystone Terrace, Hooksett, NH 03106

Action sought: Special Exception to allow a dog day care and boarding facility with uses of retail, grooming, training, community pet education, animal rescue services and kennel/boarding of dogs (day & overnight).

Zoning Ordinance Article: VI §334-23, Special Exceptions, General Requirements

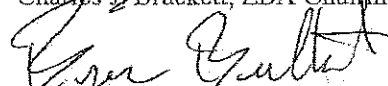
Action granted: After consideration of the testimony and recognition that the business model is identical to one approved on January 23, 2020 at another location, and with the understanding that a Modification of Site Plan is required from the Planning Board, and determination made that the criteria for the granting of a Special Exception have been addressed, motion made, seconded and voted 5:0 to grant the Special Exception as requested.

NOTE: All representations of fact or intention made by the applicant during testimony before the Zoning Board of Adjustment relative to the obtaining of this relief shall be considered conditions of this approval, regardless of the fact that such facts or intentions may not have been specifically stated as stipulations of the motion. For details of specific discussion relative to this decision, please consult the public minutes recorded during this hearing.



Charles J. Brackett, ZBA Chairman

7/21/20
Date



Bruce Buttrick, Zoning Administrator

7-21-20
Date

John Goeman

From: Dhima, Elvis
Sent: Tuesday, September 15, 2020 1:41 PM
To: Groth, Brian
Cc: Dubowik, Brooke; John Goeman
Subject: Re: Department Sign Off - Dewey & Friends Pet Resort

Just the sewer discharge

Can't dump that in the sewer line in case it has litter on it

Could create back ups on the line

That's all I got

E

Elvis Dhima P.E.
Town Engineer
12 School Street
Hudson, NH 03051
Sent from my iPhone

On Sep 15, 2020, at 1:31 PM, Groth, Brian <bgroth@hudsonnh.gov> wrote:

Elvis,

Any MS4 related items for dog waste?

Brian

From: Dhima, Elvis
Sent: Tuesday, September 8, 2020 1:41 PM
To: Dubowik, Brooke <bdubowik@hudsonnh.gov>
Cc: Groth, Brian <bgroth@hudsonnh.gov>
Subject: RE: Department Sign Off - Dewey & Friends Pet Resort

Brooke

Please find below my comments

1. Applicant shall provide information related to the existing, proposed and increase or reduction of impervious area
2. Applicant shall provide information, location and size, related to the existing septic system, currently serving this property.

3. Applicant shall provide a written statement related to the existing septic system conditions and ability to handle the proposed usage, stamped by a NH septic designer and NH PE.

Thanks

E

Elvis Dhima, P.E.
Town Engineer

Town of Hudson, NH
12 School Street
Hudson, NH 03051
Phone: (603) 886-6008
Mobile: (603) 318-8286
<image001.png>

From: Dubowik, Brooke
Sent: Tuesday, September 08, 2020 11:09 AM
To: Bianchi, Dave <dbianchi@hudsonnh.gov>; Buttrick, Bruce <bbuttrick@hudsonnh.gov>; Buxton, Robert <RBuxton@hudsonnh.gov>; Dhima, Elvis <edhima@hudsonnh.gov>; Forrence, Jess <jforrence@hudsonnh.gov>; Groth, Brian <bgroth@hudsonnh.gov>; Michaud, Jim <jmichaud@hudsonnh.gov>
Subject: Department Sign Off - Dewey & Friends Pet Resort

Good morning,
Attached you will find a new project at 153 Lowell Road.
Please send back your sign off by 9/18/20.
Thank you,

Brooke Dubowik
Planning Administrative Aide II
<image002.png>
12 School Street
Hudson, NH 03051
603-816-1267 (Direct)
603-594-1142 (Fax)



FUSS & O'NEILL

September 22, 2020

Mr. Brian Groth
Town Planner
Town of Hudson
12 School Street
Hudson, NH 03051

Re: Town of Hudson Planning Board Review
Dewey & Friends Pet Resort Site Plan, 153 Lowell Road
Tax Map 204, Lot 2; Acct. #1350-953
Reference No. 03-0249.1950

Dear Mr. Groth:

Fuss & O'Neill, Inc. has reviewed the first submission of the materials received on September 9, 2020, related to the above-referenced project. Authorization to Proceed was received on September 8, 2020. A list of items reviewed is enclosed. The scope of our review is based on the Site Plan Review Codes, the recently adopted Stormwater Regulations, Driveway Review Codes, Sewer Use Ordinance 77, Zoning Regulations, and criteria outlined in the CLD Consulting Engineers Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007, September 3, 2008, and October 2015.

We have included a copy of Fuss & O'Neill's evaluation of the checklist for your reference. We note that several items could not be verified by Fuss & O'Neill and require action by the Town.

The project appears to consist of constructing a revised parking area and outdoor pet play area for an existing 1,712 square foot professional building and other associated site improvements. The proposed building addition will be serviced by existing Municipal water and private sewer system.

The following items are noted:

1. Site Plan Review Codes and Administrative Requirements and Definitions

- a. Hudson Regulation (HR) 275-6.I. The scope of this review does not include the adequacy of any fire protection provisions for the site. No proposed measures were noted as part of the change of use for the site and included in Fuss & O'Neill's review package.
- b. HR 275-6.T.(1). The applicant has not proposed the installation of any off-site improvements.
- c. HR 275-8.C.(2) and ZO 334-15.A. The applicant has provided parking calculations showing that 11 spaces are required for the entire site and 7 spaces are proposed. The applicant requested a waiver for parking spaces. The applicant has noted that the business operator would be utilizing the residential space which would reduce the number of required spaces for the retail/personal service operation.
- d. HR 275-8.C.(6). The applicant has requested a waiver for loading spaces on site. The applicant has stated based on the nature of the proposed use of the site they do not

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Mr. Brian Groth
 September 22, 2020
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believe they are necessary.

- e. HR 275-8.C.(11). The applicant has proposed 1 handicapped van accessible space as required for the proposed site.
- f. HR 275-9.F. The applicant has not noted or shown any existing easements on the site plan. No easement documents were received as part of the package received for review.
- g. HR 276-11.1.B.(4). & (5). The applicant has not provided the required approval blocks on the plan set.
- h. HR 276-11.1.B.(6). The applicant has not provided the owners signature on the plan set as required.
- i. HR 276-11.1.B.(12). and Zoning Ordinance (ZO) 334-27. The applicant has not shown all setback lines on the plans.
- j. HR 276-11.1.B.(12).(c) .and Zoning Ordinance (ZO) 334-27. The applicant has requested a waiver from the 100 foot setback stating that the site is currently a commercial use.
- k. HR 276-11.1.B.(13). and ZO 334-60. The applicant has proposed handicapped parking signs within the site and noted a proposed "Dewey & Friends Pet Resort" business sign near Lowell Road. No details were provided for this sign.
- l. HR 276-11.1.B.(15). The applicant has only shown buildings within 20 feet of the site.
- m. HR 276-11.1.B.(16). The applicant has only shown driveways and parking areas within 20 feet of the site. The applicant should review of a waiver is needed for the 200 foot requirement.
- n. HR 276-11.1.B.(18). The applicant has not provided any proposed topography for the site. Two spot grades were all that was provided.
- o. HR 276-11.1.B.(18). The applicant has noted in the application that there is a proposed open space of 58.9 percent. This exceeds the minimum required by the Regulation.

2. Driveway Review Codes (HR 275-8.B. (34)/Chapter 193)

- a. The applicant has not proposed any changes to the driveway at Lowell Road.

3. Traffic

- a. No traffic information was provided for review.

4. Utility Design/Conflicts

- a. HR 275-9.E. and 276-13. The applicant is not proposing any new utility connections for the site. We note that underground utilities such as the water service and leach field location are not shown on the plan set and therefore were not reviewed for conflicts.
- b. The applicant has proposed to install the new fenced in outdoor play area on top of the existing septic tank location. The applicant should review this for conflicts with the fencing and access to the tank for servicing, as it is unclear where the tank cover is located and if fence post installations will conflict with the tank structure.



Mr. Brian Groth
September 22, 2020
Page 3 of 4

5. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- a. HR 275.9.A. The applicant has requested a waiver from the requirement to submit a Stormwater Management Report. The applicant has proposed to remove impervious area from the site and therefore feel it is unnecessary as the proposed runoff would decrease.
- b. The applicant should provide additional detail on how pet waste will be handled, particularly at the outdoor play area such that stormwater from this area is not contaminated as it flows to the adjacent property to the north. There isn't a dumpster shown so proposed pet waste management should be further explained.

6. Zoning (ZO 334)

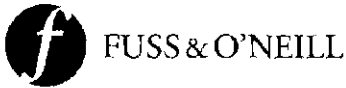
- a. ZO 334-12. The fence proposed by the applicant is six feet high and therefore is allowed without a permit.
- b. ZO 334-14.A. The applicant is not proposing any changes to the building height or footprint.
- c. ZO 334-18.E. The applicant has noted that the subject parcel is located within the Town Business (B) zoning district. The proposed use is permitted with Special Exception within this district.
- d. ZO 334-23. The applicant has noted that a Special Exemption was received for the site on July 9, 2020 by the Zoning Board of Adjustment to permit the proposed uses.
- e. ZO 334-35. The applicant should confirm that there are no wetlands located within the site.
- f. ZO 334-60.C. The applicant is proposing a business sign to be installed in the same location as an existing business sign. We note that this existing sign is located at less than 50% of the front setback for this district, which doesn't meet the Ordinance requirement.
- g. ZO 334-83. The applicant has noted the site is not within the 100 year flood limit on the plan set.

7. Erosion Control/Wetland Impacts

- a. The applicant has not proposed any temporary erosion control measures for the site. We note that since the areas around where the pavement will be removed slopes away from the area of proposed improvements towards abutting property, the applicant should review the need for silt socks or other erosion control measures until the fence installation is complete and the grass is established.
- b. The applicant has noted that the Town reserves the right to require additional erosion control measures if needed.

8. Landscaping (HR 276-11.1.B.(20)) and Lighting (HR 276-11.1.B.(14))

- a. HR 276-11.1.B.(14). The applicant has not shown any existing or proposed any new lighting on the plan set. The applicant should review the need to add the required note to the plan set.
- b. The applicant has not proposed any new landscaping areas for the site. The applicant has stated that the existing landscaping is to remain.



Mr. Brian Groth
September 22, 2020
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9. State and Local Permits (HR 275-9.G.)

- a. HR 275-9.G. The applicant did not provide copies of any applicable Town, State or Federal approvals or permits in the review package. No permits were noted as required on the plan set.
- b. Additional local permitting may be required.

10. Other

- a. Fuss & O'Neill did not review the proposed accessible ramp or stairs for conformance with ADA and/or building code requirements.
- b. The applicant has included a pavement detail in the plan set but it is not clear where this detail would be implemented.
- c. The applicant has not noted what surface will be installed for the outdoor play area.

Please feel free to call if you have any questions.

Very truly yours,

Steven W. Reichert, P.E.

**Steven W.
Reichert, PE**

Digitally signed by Steven W. Reichert,
PE
DN: cn=Steven W. Reichert, PE, c=US,
o=Fuss & O'Neill, Inc., ou=Fuss &
O'Neill, Inc.,
email=sreichert@fandco.com
Date: 2020.09.22 16:03:51 -0400

SWR:

Enclosure

cc: Town of Hudson Engineering Division -- File
TF Moran
48 Constitution Drive
Bedford, NH 03110
tburns@tfmoran.com



Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

October 5, 2020

Mr. Brian Groth
Town Planner
Town of Hudson
12 School Street
Hudson, NH 03051

**Re: Town of Hudson Planning Board Review
 Dewey & Friends Pet Resort Site Plan, 153 Lowell Road
 Tax Map 204, Lot 2; Acct. #1350-953
 Reference No. 03-249.1950**

Dear Brian,

TFMoran, Inc. has reviewed the Fuss & O'Neill comments received on September 29, 2020. Based on those comments, we have prepared updated materials, along with the following response.

1. Site Plan Review Codes and Administrative Requirements and Definitions

- a. Hudson Regulation (HR) 275-6.I. The scope of this review does not include the adequacy of any fire protection provisions for the site. No proposed measures were noted as part of the change of use for the site and included in Fuss & O'Neill's review package.

TFM RESPONSE: No new exterior measures are proposed.

- b. HR 275-6.T.(1). The applicant has not proposed the installation of any off-site improvements.

TFM RESPONSE : No offsite improvements are proposed.

- c. HR 275-8.C.(2) and ZO 334-15.A. The applicant has provided parking calculations showing that 11 spaces are required for the entire site and 7 spaces are proposed. The applicant requested a waiver for parking spaces. The applicant has noted that the business operator would be utilizing the residential space which would reduce the number of required spaces for the retail/personal service operation.

TFM RESPONSE: A Waiver of required parking has been requested.

- d. HR 275-8.C.(6). The applicant has requested a waiver for loading spaces on site. The applicant has stated based on the nature of the proposed use of the site they do not believe they are necessary.

TFM RESPONSE: A waiver of the required loading space has been requested.

- e. HR 275-8.C.(11). The applicant has proposed 1 handicapped van accessible space as required for the proposed site.

TFM RESPONSE: Comment noted.

- f. HR 275-9.F. The applicant has not noted or shown any existing easements on the site plan. No easement documents were received as part of the package received for review.

TFM RESPONSE: Per research at the Hillsborough County Registry of Deeds, there are no easements recorded on this site.

- g. HR 276-11.1.B.(4). & (5). The applicant has not provided the required approval blocks on the plan set.

TFM RESPONSE: The required approval block has been added to the plans.

- h. HR 276-11.1.B.(6). The applicant has not provided the owners signature on the plan set as required.



TFM RESPONSE: The owner's signature block has been added to the plan, signature will be provided on the final plans.

- i. HR 276-11.1.B.(12). and Zoning Ordinance (ZO) 334-27. The applicant has not shown all setback lines on the plans.

TFM RESPONSE: The setbacks have been added to the site plan.

- j. HR 276-11.1.B.(12).(c) .and Zoning Ordinance (ZO) 334-27. The applicant has requested a waiver from the 100 foot setback stating that the site is currently a commercial use.

TFM Response: A waiver request of this requirement has been submitted.

- k. HR 276-11.1.B.(13). and ZO 334-60. The applicant has proposed handicapped parking signs within the site and noted a proposed "Dewey & Friends Pet Resort" business sign near Lowell Road. No details were provided for this sign.

TFM RESPONSE: Details for the handicap sign are included with the plan set. The owner/operator of the site intends to utilize the existing site sign with a new panel. A permit application for the signage will be submitted to the Building Department.

- l. HR 276-11.1.B.(15). The applicant has only shown buildings within 20 feet of the site.

TFM RESPONSE: The site plan has been revised to show existing buildings within 200 ft of the site.

- m. HR 276-11.1.B.(16). The applicant has only shown driveways and parking areas within 20 feet of the site. The applicant should review if a waiver is needed for the 200 foot requirement.

TFM RESPONSE: The site plan has been revised to show driveways and parking areas with 200 ft of the site.

- n. HR 276-11.1.B.(18). The applicant has not provided any proposed topography for the site. Two spot grades were all that was provided.

TFM RESPONSE: No new grading is proposed, spot grades shown are to clarify existing grades to be maintained.

- o. HR 276-11.1.B.(18). The applicant has noted in the application that there is a proposed open space of 58.9 percent. This exceeds the minimum required by the Regulation.

TFM RESPONSE: Comment noted.

2. Driveway Review Codes (HR 275-8.B. (34)/Chapter 193)

- a. The applicant has not proposed any changes to the driveway at Lowell Road.

TFM RESPONSE: Comment noted.

3. Traffic

- a. No traffic information was provided for review.

TFM RESPONSE: A traffic memo has been included with this submittal.

4. Utility Design/Conflicts

- a. HR 275-9.E. and 276-13. The applicant is not proposing any new utility connections for the site. We note that underground utilities such as the water service and leach field location are not shown on the plan set and therefore were not reviewed for conflicts.

TFM RESPONSE: No new utilities are proposed as part of this project. The site is served by public water extending from Lowell Road and a private leach field located in the rear of the building, in the location of the proposed play area.



- b. The applicant has proposed to install the new fenced in outdoor play area on top of the existing septic tank location. The applicant should review this for conflicts with the fencing and access to the tank for servicing, as it is unclear where the tank cover is located and if fence post installations will conflict with the tank structure.

TFM RESPONSE: The septic tank cover is shown on the site plan. The fence layout has been adjusted to clear the location of the existing tank. Access to the tank for pumping/servicing will be via the proposed fence gate.

5. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- a. HR 275.9.A. The applicant has requested a waiver from the requirement to submit a Stormwater Management Report. The applicant has proposed to remove impervious area from the site and therefore feel it is unnecessary as the proposed runoff would decrease.

TFM RESPONSE: A waiver of the requirement to prepare a stormwater analysis and report has been requested because there is a proposed reduction in impervious surfaces on the site.

- b. The applicant should provide additional detail on how pet waste will be handled, particularly at the outdoor play area such that stormwater from this area is not contaminated as it flows to the adjacent property to the north. There isn't a dumpster shown so proposed pet waste management should be further explained.

TFM RESPONSE: A dumpster has been added to the plan for disposal of pet waste.

6. Zoning (ZO 334)

- a. ZO 334-12. The fence proposed by the applicant is six feet high and therefore is allowed without a permit.

TFM RESPONSE: Comment noted.

- b. ZO 334-14.A. The applicant is not proposing any changes to the building height or footprint.

TFM RESPONSE: Comment noted.

- c. ZO 334-18.E. The applicant has noted that the subject parcel is located within the Town Business (B) zoning district. The proposed use is permitted with Special Exception within this district.

TFM RESPONSE: The Owner/Operator has received a Use Special Exception from the ZBA.

- d. ZO 334-23. The applicant has noted that a Special Exemption was received for the site on July 9, 2020 by the Zoning Board of Adjustment to permit the proposed uses.

TFM RESPONSE: Comment noted.

- e. ZO 334-35. The applicant should confirm that there are no wetlands located within the site.

TFM RESPONSE: There are no wetlands on the site. A note has been added to the Site Layout Plan.

- f. ZO 334-60.C. The applicant is proposing a business sign to be installed in the same location as an existing business sign. We note that this existing sign is located at less than 50% of the front setback for this district, which doesn't meet the Ordinance requirement.

TFM RESPONSE: The Applicant is proposing to reuse the existing sign base and plantings, which have been in place for over a decade, with a resurfaced or replaced panel. Relocating the existing sign to outside of the 50 ft front yard setback would place it adjacent to the building where visibility from the street would be limited.

- g. ZO 334-83. The applicant has noted the site is not within the 100 year flood limit on the plan set.

TFM RESPONSE: Comment noted.

7. Erosion Control/Wetland Impacts



Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

- a. The applicant has not proposed any temporary erosion control measures for the site. We note that since the areas around where the pavement will be removed slopes away from the area of proposed improvements towards abutting property, the applicant should review the need for silt socks or other erosion control measures until the fence installation is complete and the grass is established.

TFM RESPONSE: Erosion control measures have been added to the site preparation plan.

- b. The applicant has noted that the Town reserves the right to require additional erosion control measures if needed.

TFM RESPONSE: Comment noted.

8. Landscaping (HR 276-11.1.B.(20)) and Lighting (HR 276-11.1.B.(14))

- a. HR 276-11.1.B.(14). The applicant has not shown any existing or proposed any new lighting on the plan set. The applicant should review the need to add the required note to the plan set.

TFM RESPONSE: The requested note has been add to the Site Layout Plan.

- b. The applicant has not proposed any new landscaping areas for the site. The applicant has stated that the existing landscaping is to remain.

TFM RESPONSE: Comment noted.

9. State and Local Permits (HR 275-9.G.)

- a. HR 275-9.G. The applicant did not provide copies of any applicable Town, State or Federal approvals or permits in the review package. No permits were noted as required on the plan set.

TFM RESPONSE: No additional permits are required.

- b. Additional local permitting may be required.

TFM RESPONSE: Comment noted.

10. Other

- a. Fuss & O'Neill did not review the proposed accessible ramp or stairs for conformance with ADA and/or building code requirements.

TFM RESPONSE: Plans/design for the ramp will be submitted to the Building Department as part of the Building Permit application.

- b. The applicant has included a pavement detail in the plan set but it is not clear where this detail would be implemented.

TFM RESPONSE: The detail has been removed.

- c. The applicant has not noted what surface will be installed for the outdoor play area.

TFM RESPONSE: The play area surface is proposed to be pea stone/gravel.



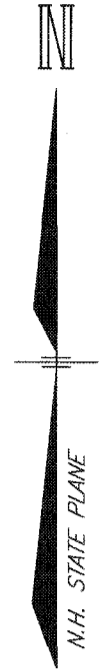
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

We appreciate your continued assistance with this application. Should you have any questions or need any additional information, please do not hesitate to contact our office at (603)-472-4488 or TBurns@TFMoran.com.

Respectfully submitted,
TFMORAN, INC.

A handwritten signature in blue ink that reads "Thomas C. Burns". The signature is written in a cursive, flowing style.

Thomas C. Burns, P.E.
Senior Project Manager



209-1
5 WAY REALTY TRUST
C/O WALTER FLOWERS
PO BOX 1435
NORTH HAMPTON, NH 03862
B. 9266 P. 1077

204-3
MONUMENT CONSTRUCTION, LLC
21 FACTORY DR. STE 1
NASHUA, NH 03080
B. 9320 P. 733

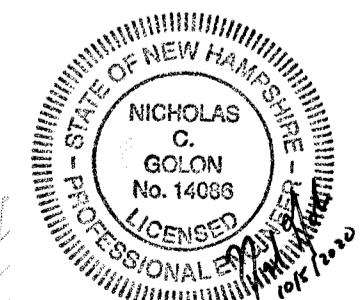
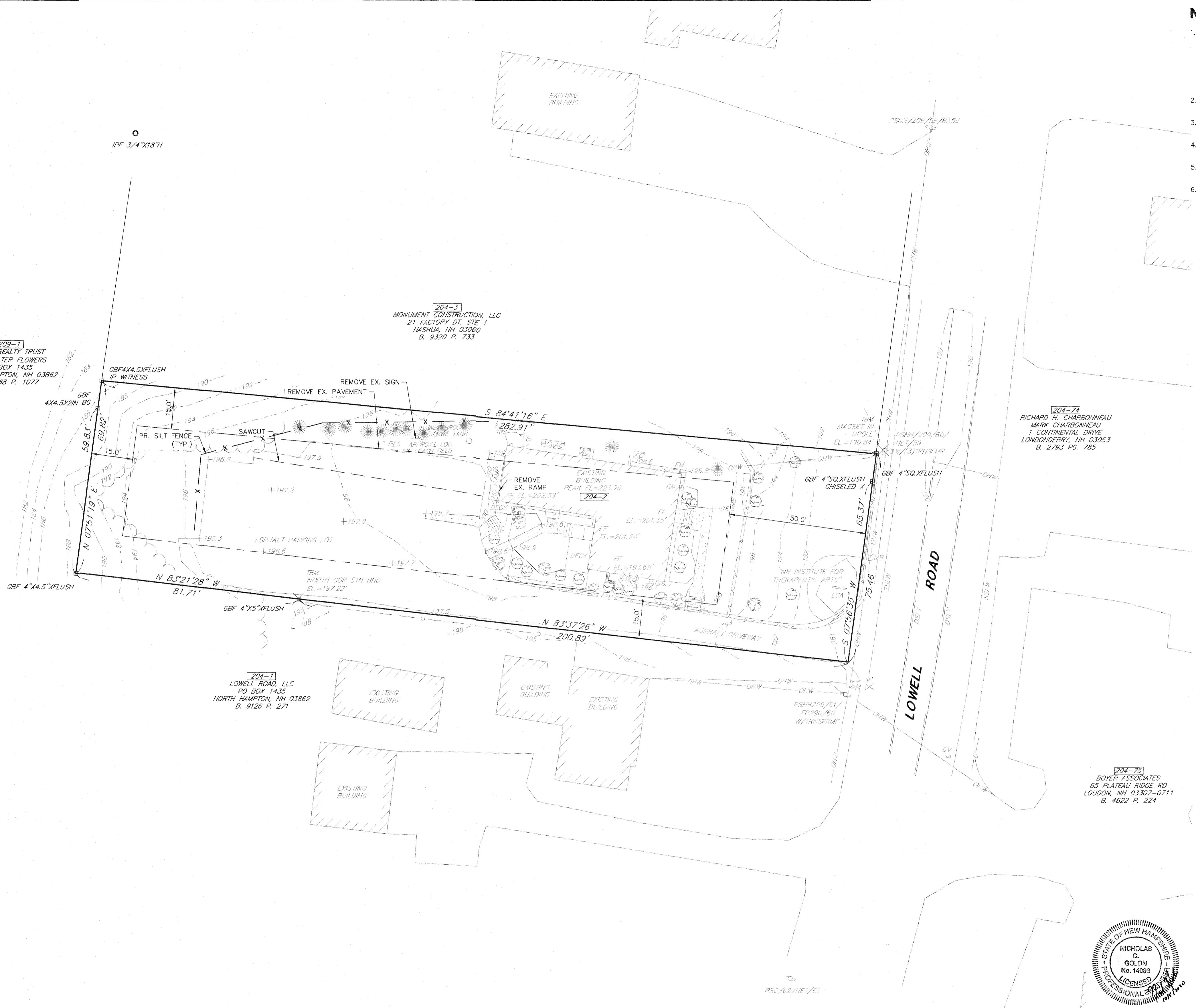
204-74
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1 CONTINENTAL DRIVE
LONDONDERRY, NH 03053
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B. 9126 P. 271

204-75
BOYER ASSOCIATES
65 PLATEAU RIDGE RD
LOUDDON, NH 03307-0711
B. 4622 P. 224

NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATIONS, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY DEMOLITION. THE LOCATIONS SHOWN ON THESE PLANS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DEMOLITION TO DETERMINE APPROPRIATE ACTION TO BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS AND REPAIR EXISTING UTILITIES AS NECESSARY TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
2. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
3. THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
4. EXISTING UTILITY SERVICES TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
5. CONSTRUCTION DEBRIS AND INVASIVE SPECIES SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
6. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL PLACE ORANGE CONSTRUCTION FENCING AROUND EACH TREE TO BE RETAINED THROUGHOUT CONSTRUCTION. NO STOCKPILES OF MATERIAL ARE PERMITTED WITHIN THE DRIP LINE OF THE TREES TO BE SAVED.



HORIZONTAL SCALE 1"=20'
20 10 0 20

REV.	DATE	DESCRIPTION	TCB	RD	DF	CK
1	10/5/2020	REVISED PER PLANNING/ENGINEERING REVIEW	TCB	RD		

TAX MAP 204 LOT 2
SITE PREPARATION PLAN
DEWEY & FRIENDS PET RESORT
153 LOWELL ROAD HUDSON, NH

OWNED BY
PATRICK I. COWAN
153 LOWELL ROAD
HUDSON, NH 03051

PREPARED FOR
RICHARD & KERI DEMERS
22 LISA LANE
LOWELL, MA 01854

SCALE: 1"=20' **1 SEPTEMBER 2020**

TFM Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com

17913.10 DR TCB FB
CK RD CADFILE 17913-10 SITE PLANS C-2

Oct 05, 2020 - 7:05pm
F:\TFM\Projects\17913 Lowell Road, Hudson, NH\17913-10 Demers - Pet Resort - 153 Lowell Rd - Hudson, NH\17913-10 CADD\Design\Production Drawings\17913-10 Site Plans.dwg

NOTES

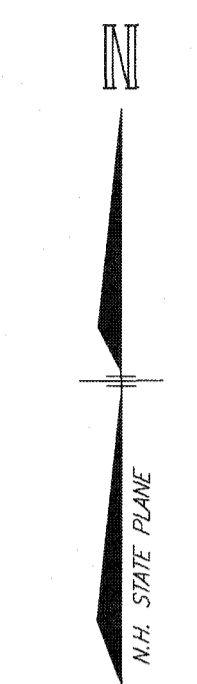
- OWNER OF RECORD OF MAP 204 LOT 2 IS PATRICK I. COWAN, 153 LOWELL RD, HUDSON, NH 03051. PARCEL ADDRESS: 153 LOWELL RD, HUDSON, NH. DEED REFERENCE TO PARCEL IS BK. 6076 PG. 1173 IN THE HCRD. AREA = 20,563 SF +/- OR 0.4721 ACRES +/-.
- THE PURPOSE OF THIS PLAN IS TO CONVERT THE EXISTING BUILDING TO A DOG DAYCARE W/GROOMING, ANIMAL RESCUE SERVICES, RETAIL SALES, COMMUNITY PET EDUCATION AND KENNEL FACILITY.
- CURRENT ZONING IS B-BUSINESS ZONING DISTRICT.

MIN. LOT SIZE:	REQUIRED 43,560 S.F.	PROVIDED 20,563 S.F.
MIN. LOT FRONTAGE:	150'	75.46'
MIN. BUILDING SETBACKS:		
FRONT	50'	63'
SIDE	15'	9'
REAR	15'	145'
- PARKING CALCULATIONS:

REQUIRED:	
DOG DAYCARE OPERATION:	1 SPACE PER 200 SF OF GROSS LEASABLE AREA
1712 SF @ 1 SP/200 SF =	8.56 SPACES
OWNER/OPERATOR APARTMENT:	2 SPACES PER RESIDENTIAL UNIT
1 UNIT @ 2 SP/UNIT =	2 SPACES
TOTAL REQUIRED:	10.56 SPACES
PROPOSED:	7 SPACES (INC. 1 ACCESSIBLE)
- THE PROPERTY WILL CONTINUE TO BE SERVICED BY THE FOLLOWING:

DRAINAGE	PRIVATE
SEWER	PRIVATE
WATER	MUNICIPAL
ELECTRIC	EVERSOURCE
TELEPHONE	CONSOLIDATED COMMUNICATIONS
CABLE	COMCAST
- HOURS OF OPERATION:

MON-FRI	6:00 AM-8:00 PM
SAT	8:00 AM-6:00 PM
SUN	9:00 AM-5:00 PM
- ON JULY 9, 2020, THE ZONING BOARD OF ADJUSTMENT GRANTED A SPECIAL EXCEPTION TO ALLOW A DOG DAY CARE, GROOMING, ANIMAL RESCUE SERVICE, RETAIL SALES, COMMUNITY PET EDUCATION AND KENNEL (DAY AND OVERNIGHT BOARDING) FACILITY.
- EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR HILLSBOROUGH COUNTY, NEW HAMPSHIRE, (ALL JURISDICTIONS) MAP NUMBER 33011C0656D EFFECTIVE DATE: SEPTEMBER 25, 2009, INDICATES THAT THE SUBJECT PARCEL IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE.
- IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH N.H.D.E.S. REGULATIONS.
- THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS AND STANDARDS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC. DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF HIS INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
- THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
- LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE HUDSON ZONING ORDINANCE AND SITE PLAN REGULATIONS.
- THERE WILL BE NO NEW EXTERIOR LIGHTING.
- SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
- ALL WORK IS TO CONFORM TO TOWN OF HUDSON DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.
- IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION. IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- TFMORAN INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
- THERE ARE NO WETLANDS ON-SITE.
- NRCS ON-SITE SOILS INCLUDE: HINCKLEY LOAMY SAND, 8-15% SLOPES.



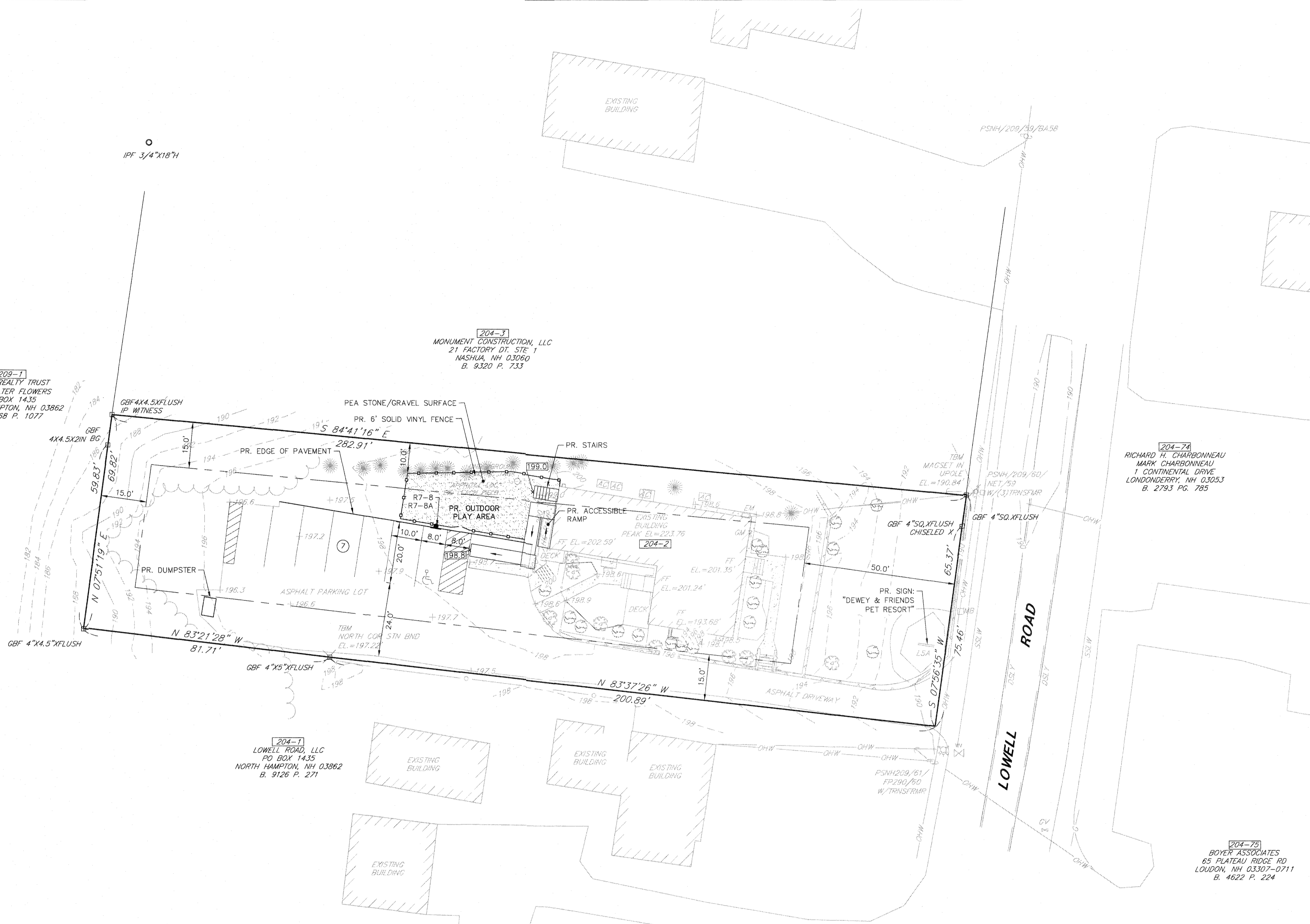
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PO BOX 1435
NORTH HAMPTON, NH 03862
B. 9268 P. 1077

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B. 9126 P. 271

204-75
BOYER ASSOCIATES
65 PLATEAU RIDGE RD
LOUDEM, NH 03307-0711
B. 4622 P. 224



OWNER'S SIGNATURE _____ DATE _____
OWNER OR REPRESENTATIVE

APPROVED BY THE HUDSON, NH PLANNING BOARD

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

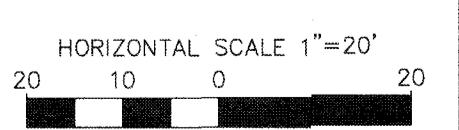
DATE OF MEETING _____ DATE _____
SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

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48 Constitution Drive, Bedford, N.H. 03110

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



REV.	DATE	DESCRIPTION	DR	CK
1	10/5/2020	REVISED PER PLANNING/ENGINEERING REVIEW	TCB	RD

TAX MAP 204 LOT 2
SITE LAYOUT PLAN
DEWEY & FRIENDS PET RESORT
153 LOWELL ROAD HUDSON, NH

OWNED BY
PATRICK I. COWAN
153 LOWELL ROAD
HUDSON, NH 03051

PREPARED FOR
RICHARD & KERI DEMERS
22 LISA LANE
LOWELL, MA 01854

SCALE: 1"=20' 1 SEPTEMBER 2020

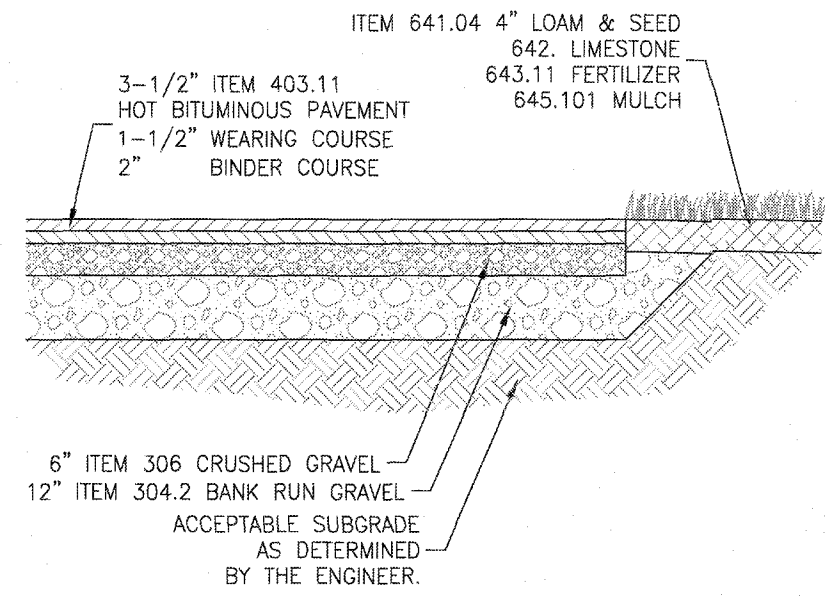
TFM Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists

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www.tfmoran.com

17913.10 DR TCB FB
CK RD CADFILE 17913-10 SITE PLANS

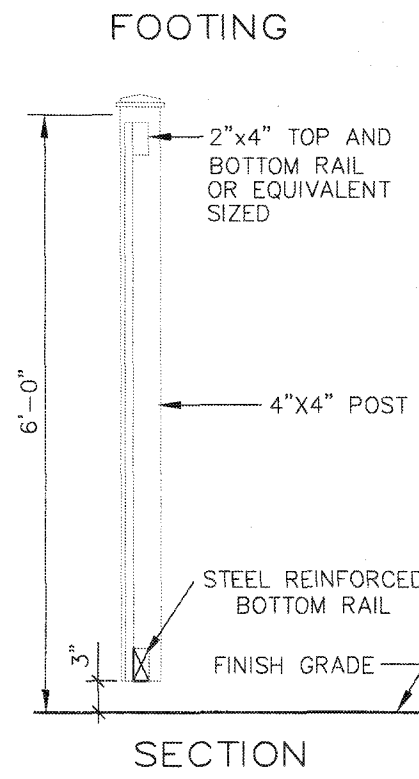
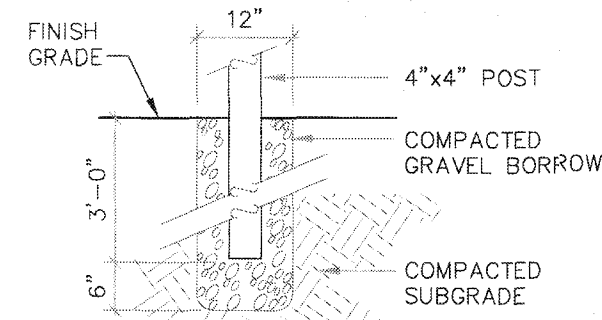
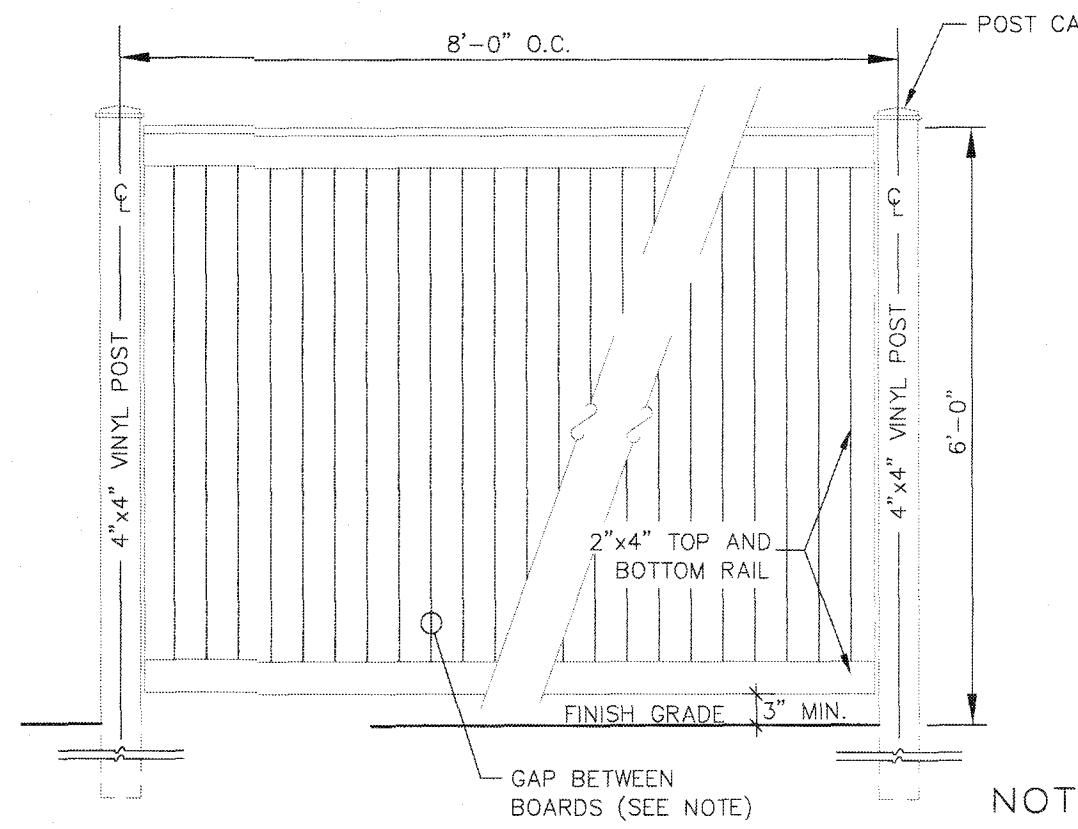
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04.05.2020 7:09am F:\Tfm\Projects\17913\Lowell Road, Hudson, NH\17913-10.Demers - Pet Resort - 153 Lowell Rd - Hudson, NH\17913-10.C3D\Design\Production Drawings\17913-10.Site Plans.dwg



PAVEMENT SECTION / LOAM & SEED DETAIL
NOT TO SCALE

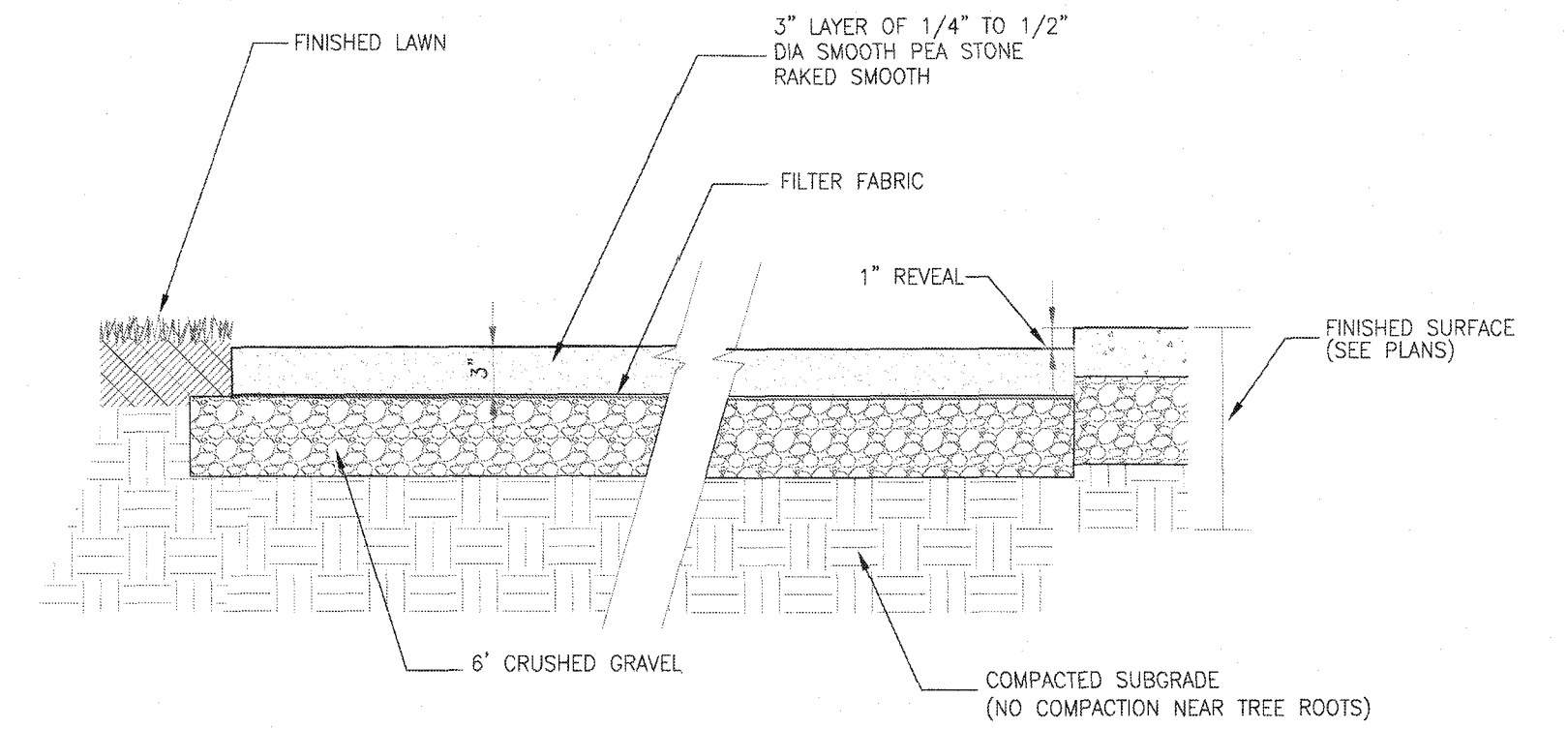
- ROAD CONSTRUCTION NOTES**
1. REMOVE ALL LOAM, CLAY, MUCK, STUMPS, AND OTHER IMPROPER PAVEMENT FOUNDATION MATERIAL WITHIN 2' OF SUBGRADE. REPLACE WITH COMPACTED GRANULAR FILL MATERIAL ACCEPTABLE TO APPROVING AGENCY. COMPACTION TO BE AT LEAST 95% OF STANDARD PROCTOR.
 2. ALL PAVEMENT, BASE MATERIALS AND WORKMANSHIP TO BE IN COMPLIANCE WITH N.H.D.O.T. "STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION.
 3. ALL PAVEMENT TO MEET AASHTO H-20 LOADING.



- NOTES**
1. STAGGERED GAP SHALL BE 7/8".
 2. TOP, MIDDLE & BOTTOM RAILS SHALL FACE THE OUTSIDE OF STRUCTURE.
 3. COLOR TO BE WHITE.

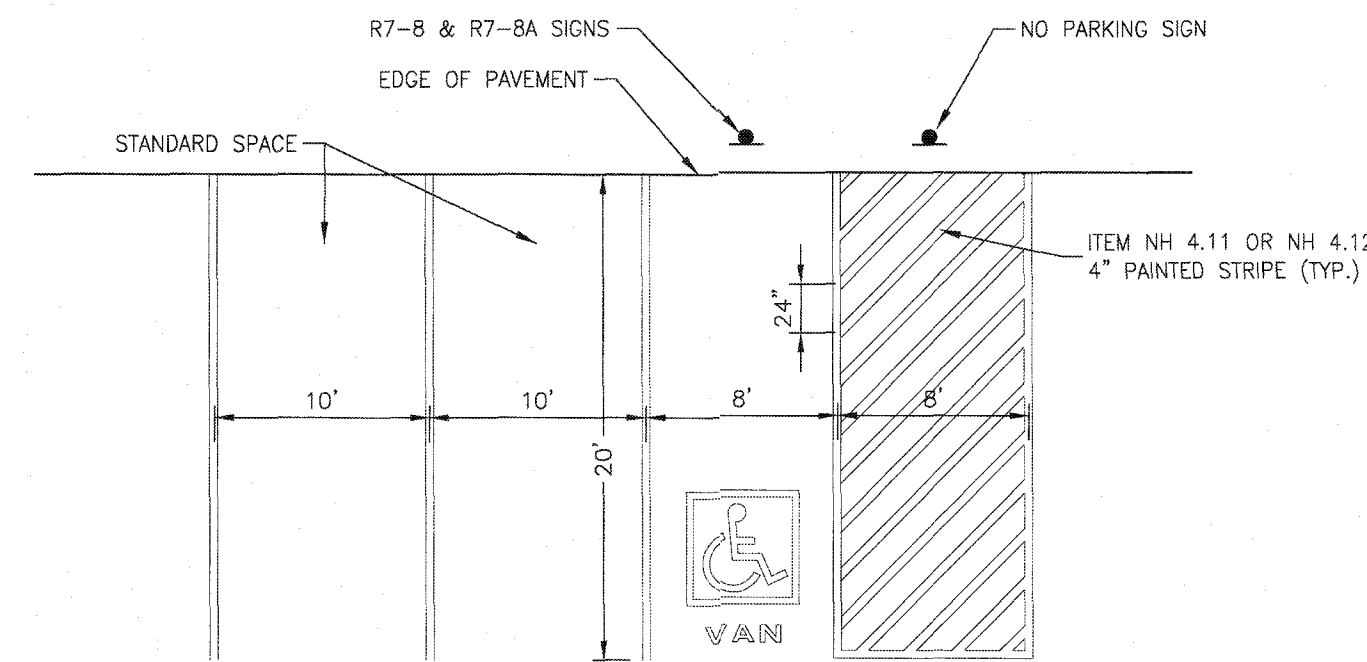
VINYL FENCE SECTION

NOT TO SCALE



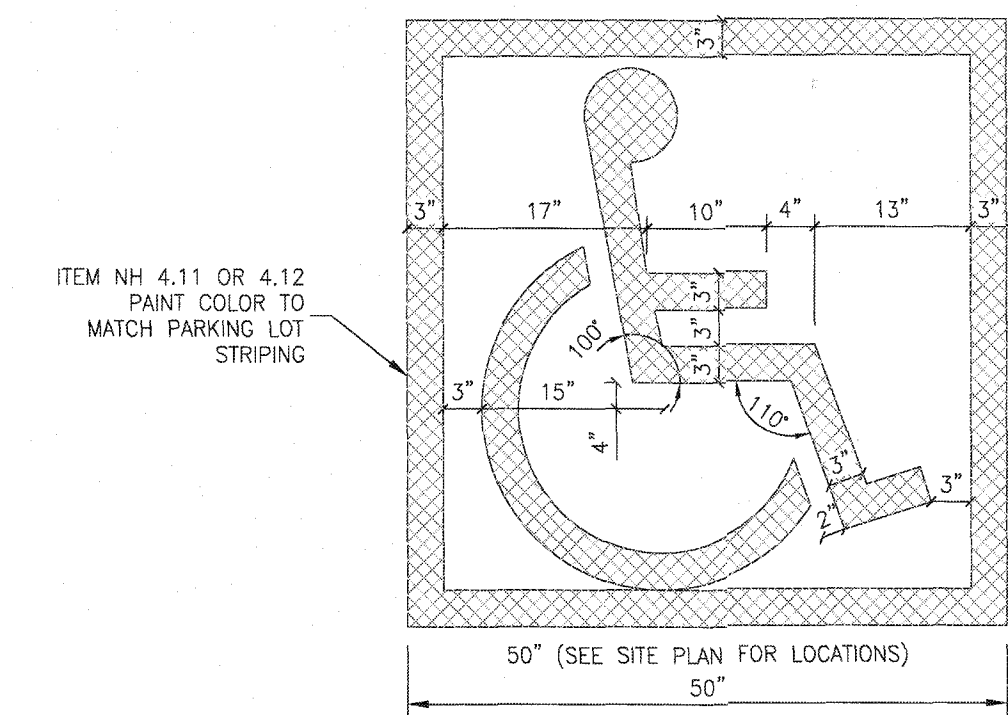
PEA STONE SURFACE

NOT TO SCALE



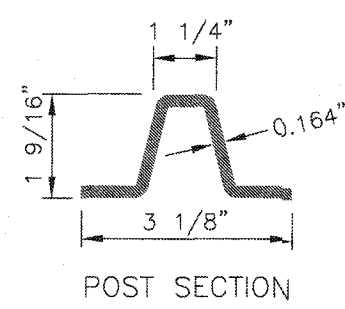
PARKING STRIPING DETAIL

NOT TO SCALE

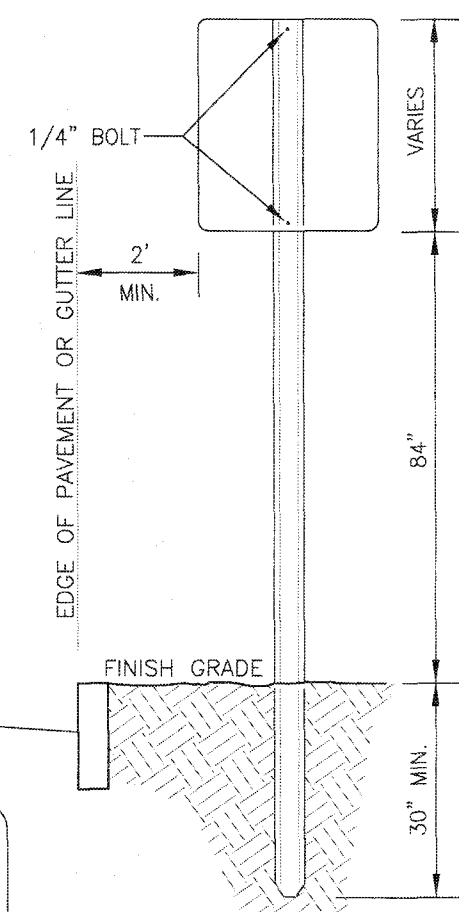
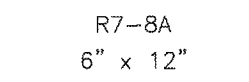
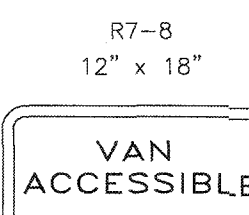


PAINTED HANDICAP SYMBOL

NOT TO SCALE



POST SECTION

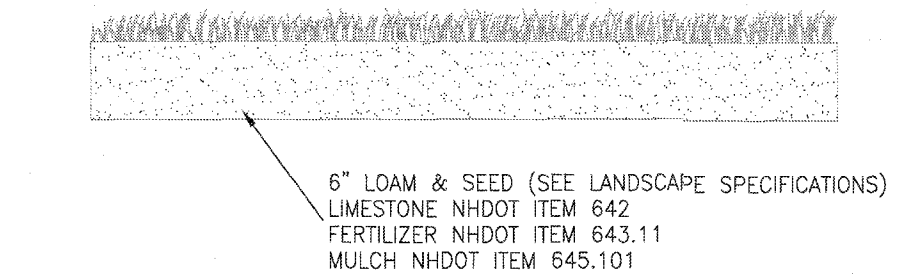


TRAFFIC SIGN POST IN GRADE

NOT TO SCALE

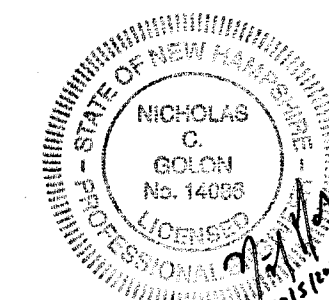
- LENGTH:** P-12, 12'-0"; P-14, 14'-0"; P-16, 16'-0".
WEIGHT PER LINEAR FOOT: 2.50 LBS. (MIN.)
HOLES: 3/8" DIA. 1" C-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070-1080).
FINISH: SHALL BE PAINTED WITH TWO COATS OF AN APPROVED MEDIUM GREEN, BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.

- NOTES**
1. POSTS SHALL BE PLUMB; ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND PROPERLY REPLACED. POSTS MAY BE SET OR DRIVEN.
 2. WHEN POSTS ARE SET, HOLES SHALL BE DUG TO THE PROPER DEPTH. AFTER INSERTING POSTS, THE HOLES SHALL BE BACKFILLED WITH SUITABLE MATERIAL IN LAYERS NO TO EXCEED 6" DEEP THOROUGHLY COMPACTED, CARE BEING TAKEN TO PRESERVE THE ALIGNMENT OF THE POST.
 3. WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED AND AFTER DRIVING THE TOP OF THE POST SHALL HAVE SUBSTANTIALLY THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST; BATTERED HEADS WILL NOT BE ACCEPTED.
 4. POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
 5. SIGNS SHALL BE ERECTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
 6. WHEN SIGN IS IN PLACE NO PART OF POST SHALL EXTEND ABOVE THE SIGN.
 7. DIMENSIONS SHOWN ARE NOMINAL.
 8. ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE.



LOAM & SEED DETAIL

NOT TO SCALE



TAX MAP 204 LOT 2
CONSTRUCTION DETAILS
DEWEY & FRIENDS PET RESORT
153 LOWELL ROAD HUDSON, NH
 OWNED BY
PATRICK I. COWAN
153 LOWELL ROAD
HUDSON, NH 03051
 PREPARED FOR
RICHARD & KERI DEMERS
22 LISA LANE
OWELL, MA 01854

SCALE: NTS
 1 SEPTEMBER 2020

REV	DATE	DESCRIPTION	TCB	RD
1	10/5/2020	REVISED PER PLANNING/ENGINEERING REVIEW	TCB	RD

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 Land Surveyors
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17913.10
 DR TCB FB
 CK RD CADFILE
 17913-10 SITE PLANS
 C-4

Oct 06, 2020 - 9:28am F:\TFM\Projects\17913\10 Demers - Pet Resort - 153 Lowell Rd - Hudson, NH\17913-10 C3D\Design\Production Drawings\17913-10 Site Plans.dwg

EXECUTIVE DRIVE BUILDING ADDITION

SITE PLAN APPLICATION #07-20

STAFF REPORT #2

For additional information, please see the September 9, 2020 staff report.

SITE: 36 Executive Drive; Map 215 Lot 4

ZONING: Industrial (I)

PURPOSE OF PLANS: To show a proposed 1-story, 100,000 square-foot high-bay building addition along with accompanying loading, parking, and site improvements.

PLANS UNDER REVIEW: Site Plan - Proposed Building Addition; prepared by Hayner/Swanson, Inc., 3 Congress St., Nashua, NH 03062; prepared for: NV Hudson Industrial, 265 Franklin Street, Suite 1001, Boston, Massachusetts 02110; consisting of 23 Sheets and cover sheet and Notes 1-26 on Sheets 1 & 2; dated June 12, 2020, revised September 29, 2020.

ATTACHMENTS:

- A. Resubmittal package, includes response letter, Weston & Sampson water review and updated Traffic Memo, received October 2, 2020.
- B. Waiver Request letters
- C. Correspondence from Fuss & O'Neill re: stormwater
- D. CAP fee worksheet

APPLICATION TRACKING:

- July 1, 2020 – Preliminary meeting with applicant's engineer
- Jul 13, 2020 – Application Received
- August 19-20, 2020 – Revised materials received
- August 25, 2020 – Met with applicant to clarify proposed land use
- September 19, 2020 – Public Hearing Scheduled, continued to 10/7.
- October 2, 2020 – Revised plans and response letter received.
- October 7, 2020 – Public Hearing deferred to 10/14 due to scheduling conflict.
- October 14, 2020 – Continuance of Public Hearing scheduled.

WAIVER REQUESTS:

- §193-10.G – Number of driveways
- §275-8.C.2 – Number of parking spaces

COMMENTS:

The existing 2-story building operates as a warehouse for BAE Systems, encompasses roughly 209,000 square feet of building space, and includes 19 loading docks, 115 parking spaces, and 3 driveway entrances along Executive Drive. This application proposes to construct a high-bay, 1-story (36 feet), 100,000 square foot warehouse addition on the north end of the existing building.

The proposed use is strictly warehouse, not a distribution warehouse.

The addition is intended for 2 tenants (none currently under lease) and includes 22 new loading docks, 64 parking spaces, and 1 new driveway entrance on Executive Drive. Two new infiltration basins will also be installed for improved stormwater management. The improvements will disturb approx. 283,000 square feet, and is subject to an Alteration of Terrain permit. The site’s current stormwater management system consists of various catch basins and underground pipes leading into a large sedimentation basin which subsequently discharges into the Merrimack River. The original site plan for this site anticipated the addition before the Board today, thus the utilities were installed with this expectation.

The applicant is requesting waivers for the number of driveways and parking spaces. In 1997, the site was granted a waiver for parking requirements due to the understanding that there was to be no increase in employee count. It is also understood that the continuing function of the site will be similar and not employee intensive.

Regulation	Requirement	Proposed
§193-10.G – Number of driveways	1	4 (3 existing)
§275-8.C.2 – Number of parking spaces	515 (1/600sf)	154 spaces (132 existing)

Currently, there are 132 parking spaces. 42 spaces will be removed as part of the proposed expansion, and a new 64 space lot is proposed to be built, resulting in 154 total spaces. 62 of these spaces are dedicated to the southern end of the building (BAE), and the remaining 92 are dedicated to the northern end.

Town Department Review

The **Fire Chief** requested marking for fire apparatus access, three (3) hydrant maps, a hydrant at the center of the new addition, and that the proposed snow storage area be cut back away from the cistern. Chief Buxton also notes additional permits required by this proposal.

Update: The applicant has satisfactorily addressed the Fire Chief’s comments.

The **Town Engineer** requested information related to water & sewer flows and demands, and a water assessment related to domestic and fire protection.

Update: The applicant has satisfactorily addressed the Town Engineer’s comments.

DRAFT MOTIONS

GRANT a waiver:

I move to grant a waiver from §193-10.G – Number of driveways, based on the Board’s discussion, the testimony of the Applicant’s representative, and in accordance with the testimony provided in the application.

Motion by: _____ Second: _____ Carried/Failed: _____

GRANT a waiver:

I move to grant a waiver from §275-8.C.2 – Number of parking spaces, based on the Board’s discussion, the testimony of the Applicant’s representative, and in accordance with the testimony provided in the application.

Motion by: _____ Second: _____ Carried/Failed: _____

CONTINUE the public hearing to a date certain:

I move to continue the public hearing for the site plan application for 36 Executive Drive; Map 215 Lot 4, to date certain, _____.

Motion by: _____ Second: _____ Carried/Failed: _____

[If the Board needs more time to deliberate, move to continue the hearing]

APPROVE the site plan application:

I move to approve the conditional use permit for Site Plan - Proposed Building Addition; prepared by Hayner/Swanson, Inc., 3 Congress St., Nashua, NH 03062; prepared for: NV Hudson Industrial, 265 Franklin Street, Suite 1001, Boston, Massachusetts 02110; consisting of 23 Sheets and cover sheet and Notes 1-26 on Sheets 1 & 2; dated June 12, 2020, last revised September 29, 2020; subject to the following stipulations:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Plan.
2. An as-built plan shall be provided to the Town prior to the issuance of a Certificate of Occupancy.
3. A cost allocation procedure (CAP) amount of \$70,000.00 shall be paid prior to the issuance of a Certificate of Occupancy for the proposed expansion.
4. Subject to final administrative review by the Town Planner and Town Engineer.
5. Subject to receiving an Alteration of Terrain permit from NH DES.
6. Construction activities involving this plan shall be limited to the hours between 7:00 A.M. and 7:00 P.M., Monday through Saturday. No exterior construction activities shall occur on Sunday.

Motion by: _____ Second: _____ Carried/Failed: _____.

To:
 Brian Groth, Town Planner
 Town of Hudson Planning Dept.
 12 School Street
 Hudson, NH

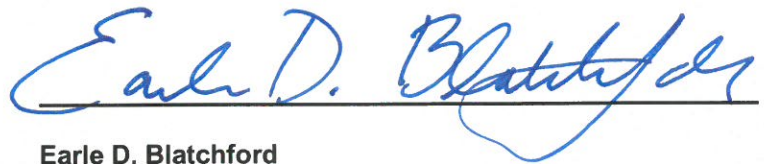
Date: 2 October 2020	HSI Job No. 3889-NVHI
Attn:	
Re: SITE PLAN – PROPOSED BUILDING ADDITION	
36 Executive Drive	
Hudson, NH	

- WE ARE SENDING YOU**
- Attached Under separate cover via _____ the following items:
- Shop drawings Prints Plans Samples Specifications
- Copy of letter Change order Fed Ex Standard Delivery _____

Scope:

COPIES	DATE	NO.	DESCRIPTION
13	9/1/20	--	Comment response letter w/ attachments and 9/10/20 & 10/1/20 updates
13	9/29/20	--	Updated Traffic Report
13	6/12/20	1-22 of 22	Site Plan, revised through 9/29/20 – 11"x17" (includes AoT comment revisions, and addition of a 10 loading dock/12 dock knockout Building Elevation)

REMARKS: The attached materials are submitted for the October 14, 2020 Planning Board hearing.



Earle D. Blatchford
 Senior Project Manager
 Hayner/Swanson, Inc.

CC:



Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors

September 1, 2020
Job No. 3889-NHVI
Updated:
September 10, 2020
October 1, 2020

Mr. Brian Groth, AICP
Land Use Director
Town of Hudson
12 School Street
Hudson, NH 03051

**RE: RESPONSE TO PEER REVIEW COMMENTS
PROPOSED INDUSTRIAL BUILDING ADDITION
36 EXECUTIVE DRIVE (TAX MAP 215, LOT 4)
HUDSON, NEW HAMPSHIRE**

Dear Mr. Groth:

Please find enclosed revised site plans and supplemental information addressing the peer review comments provided to us for the above-referenced project. Our responses to comments are shown in ***bold italics*** and appear after each corresponding comment.

Fuss & O'Neill Peer Review Letter (dated July 31, 2020)

1. Site Plan Review Codes and Administrative Requirements and Definitions

a. Hudson Regulation (HR) 275-6.I. The scope of this review does not include the adequacy of any fire protection provisions for the building expansion. No proposed measures were included in Fuss & O'Neill's review package other than a proposed hydrant outside the building.

Fire protection information has been provided to the Town Engineer and the Town's water system consultant.

October 1, 2020 updated response:

A water system analysis was performed by Weston & Sampson which shows that the existing water system has adequate supply and pressure for the proposed fire flow demand for this project (see attached emails from Weston & Sampson and Town Engineer).

b. HR 275-6.T.(1). The applicant has not proposed the installation of any off-site

improvements.

Correct.

c. HR 275-8.C.(2) and ZO 334-15.A. The applicant has provided parking calculations showing that 515 spaces are required for the entire site and has provided 154 spaces. The applicant requested a waiver for parking spaces and has noted that based on the warehouse/distribution space use of the building they believe the proposed spaces to be adequate. On the waiver request form the applicant has noted that waiver request information was attached to the site plan application, however these documents were not included in the review package received by Fuss & O'Neill.

The waiver request information has been provided to the Planning Department.

d. HR 275-8.C.(6)(a). The applicant has proposed 41 loading spaces on the plan set. We note that this is more than is required for the building and they are proposed to be larger than the regulation requires.

Loading space count and dimensions are based on the owner's projected requirements for the facility.

e. HR 275-8.C.(11). The applicant has stated that 6 handicapped spaces are proposed for the site. We note that only 4 are labeled on the plan set. The applicant should label the 2 existing spaces on the plan set.

The 2 existing HC accessible parking spaces at the south end of the existing building have been labeled on the plans.

f. HR 276-11.1.B.(12) and Zoning Ordinance (ZO) 334-27. The applicant has not shown all setback lines on the plans.

Building setback lines have been added to the plans.

g. HR 276-11.1.B.(13) and ZO 334-60. The applicant has proposed traffic signs and handicapped parking signs within the site. No new business signs are proposed. The applicant should revise note 11 on sheet 1 to state that all signs are subject to approval by the Hudson Planning Board prior to installation thereof.

Note 11 has been revised as requested.

h. HR 276-11.1.B.(20). The applicant has shown several existing easements on the plans and provided copies. No new easements are proposed.

No response required.

2. Driveway Review Codes (HR 275-8.B. (34)/Chapter 193)

a. HR 193-10.E. The applicant has noted the sight distances for the proposed driveway on the plan set.

No response required.

b. HR 193-10.G. The applicant is proposing to add one additional driveway to the existing three site driveways. This exceeds the two driveways allowed by the Regulation. The applicant should review the need for a waiver from the Regulation for this additional proposed driveway.

A waiver for the new driveway is being requested.

3. Traffic

a. HR 275-9.B. The applicant has provided a Traffic Study for this project, which concluded that the proposed building addition should result in minimal impact on the adjacent street network given existing traffic volumes. We concur with these findings. No further Fuss & O'Neill comment.

No response required.

4. Utility Design/Conflicts

a. HR 275-9.E. and 276-13. The applicant appears to be adding a new sewer service connection to the sewer manhole southeast of the proposed addition. We note that it does not appear the applicant is proposing to connect this service to the building addition. The applicant should provide additional information about the intent for this connection and add a detail to the plan set for its construction.

The proposed sanitary sewer service will connect to the proposed building addition. As is our standard practice, we stub the service 5 feet from the face of building; which is the limit of work for the site contractor. The last 5 feet of the service to the building will be constructed by the plumbing contractor.

b. HR 275-9.E and 276-13. The applicant is not proposing any new water service or fire connections for the building addition. The applicant has stated that water, gas, electric and telecommunications utilities will be extended from the existing building.

No response required.

c. HR 275-9.E and 276-13. The applicant should include an installation detail in the plans for the proposed hydrant.

A Hydrant Installation Detail has been added to Sheet 17 of 22.

5. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

a. HR 290-5.A.5. & 290-7.B.21. The applicant has proposed a 550% increase in the volume during the 2-year storm event at POA C. This location also has similar volume increases during all other storm events. There are increases in the peak flow for the 2-Year event at POA B, as well as the 2, 10, 25, and 50-Year storm events for peak flow at POA C. The applicant should discuss these increases with the Town Engineer and NHDES for their respective endorsements. If increases are proposed, the applicant should provide additional information detailing how the design does not negatively affect the downstream drainage systems.

The post-development analysis methodology, summarized in Table No. 3 of the Stormwater Report (see attached), has been discussed with the Town Engineer and deemed to be acceptable in having no increase in peak rates of runoff to the downstream drainage system.

b. HR 290-5.A.11. The trench drains are shown connecting directly into the drainage system with an outlet into SMA "A". The applicant should provide information to illustrate how proper pre-treatment will be achieved prior to discharge into the treatment area.

As described in Stormwater Report Section II.A (attached), the trench drains connected to offline deep sump drain manholes fitted with oil & debris stops meet the pretreatment criteria for a deep sump catch basin as outlined in

Section 4.4, Pretreatment Practices, NH Stormwater Manual, Volume 2, Revisions 1.0 (excepts attached).

c. HR 290-5.B.2.(a). The applicant has noted within the AoT application that the project design exceeds the minimum stormwater treatment standards required by the EPA's MS4 Stormwater permit requirements.

No response required.

October 1, 2020 updated response:

As stated in the Stormwater Report, the project design complies with the Town of Hudson's EPA MS4 Permit requirements as follows: "In order to comply with the Town of Hudson Stormwater Management standards this project will meet requirement 290-5B(2)(a) as the existing site has treatment measures for at least 30% of existing impervious cover, and 50% of additional proposed impervious cover using filtration/infiltration practices. Using these guidelines, a minimum area of 4.08 acres of impervious cover would need to be treated. The existing and proposed stormwater management features provide treatment for an estimated 10.60 acres of impervious cover; thus, meeting the requirement."

d. HR 290-6.A.8. The applicant should be prepared to coordinate a pre-construction meeting with the Town Engineer.

Acknowledged.

e. HR 290-6.A. The applicant should list the disturbed area time requirement upon the plan set.

See Construction Sequence Note #10 on sheet 11 of 22, and General Note #8 on Sheet #12 of 22.

f. HR 290-7.A.6. Test pit #3 is not located within the footprint of SMA "A", as required by NHDES standards.

The location of Test Pit #3 will be discussed with the NHDES AoT reviewer for suitable proximity to Stormwater Management Area 'A'.

October 1, 2020 updated response:

The location of Test Pit #3 was discussed with the NHDES AoT reviewer for suitable proximity to Stormwater Management Area 'A' and found to be acceptable (see attached email from Gloria Andrews of NHDES Alteration of Terrain Bureau).

g. HR 290-7.A.6. The applicants Drainage Report calculations do not account for frozen ground conditions.

As discussed with the Town Engineer, a small diameter perforated standpipe has been added to the base of each stormwater basin to allow for drainage during frozen ground conditions.

h. HR 290-7.A.6. Infiltration rates of 6.5 and 9.75 inches per hour are utilized within the drainage calculations. The applicant should review Env-Wq 1504.14(c) to ensure the infiltration rate meets NHDES Stormwater requirements.

The infiltration rates will be discussed with the NHDES AoT reviewer and, if necessary, a 24" thick engineered filter course will be added to the basin base and side slopes to slow the infiltration rate.

October 1, 2020 updated response:

The infiltration rates at SMA 'A' and SMA 'B' were discussed with the NHDES AoT reviewer and a 24" thick engineered filter media layer has been added to the design under the base and side slopes of SMA 'A' and SMA 'B' in compliance with Env-Wq 1508.07(k)(4). A revised design infiltration rate of 10 inches/hour is being used for SMA 'A' and SMA 'B', per Env-Wq 1508.07(k)(4).

i. HR 290-7.A.7. Due to the proximity of the Merrimack River, the applicant should keep the Town informed of any coordination with the Local River Advisory Committee (LAC) if required.

Acknowledged.

j. HR 290-7.B.16. The applicant has noted on sheet 2 of 22 that snow removal is to be placed in open areas of the site as shown on sheet 3 of 10. This note should be corrected with the appropriate sheet number reference, and proposed snow storage locations should be shown on the plans.

Note #25 has been corrected and snow storage areas have been added to Sheets 9 & 10 of 22.

k. HR 290-10.A & B The applicant should keep the Town informed of all communication with NHDES in relation to the Alteration of Terrain and Wetlands Permits being requested to ensure NHDES comments do not alter drainage design/calculations.

Acknowledged.

l. The scope of this review does not take into account any considerations associated with future climate change. While not currently required by the Regulations, if future precipitation/storm intensity increases are to be considered then additional comments/recommendations may be provided by Fuss & O'Neill.

No response required.

6. Zoning (ZO 334)

a. ZO 334-14.A. The applicant is proposing a building height that is less than the maximum allowed by the Ordinance and matches the height of the existing building.

The attached revised Building Elevations show that the proposed addition will be 1.5 feet taller than the existing building, but still well below the maximum building height allowed in the zone.

b. ZO 334-18.E. The applicant has noted that the subject parcel is located within the Town Industrial (I) zoning district. The warehouse/distribution use is permitted within this district.

No response required.

c. ZO 334-35.B.(2). The applicant has noted that no wetlands are located within the site; however the site does abut the Merrimack River. The applicant has shown the 200 foot Shoreland Protection Limit on the plan set. We note that no construction is proposed within this limit.

No response required.

d. ZO 334-83. The applicant has shown the 100-year flood limit on the plan set. No construction is proposed within this special flood hazard area.

No response required.

7. Erosion Control/Wetland Impacts

a. HR 290-5.A.(8). The applicant has noted that there are no wetlands present on the site. See comment 6.b above regarding wetlands.

No response required.

b. HR 290-5.K.(14). The applicant has not shown the location of any earth stockpiles on site; however, they have noted erosion control measures for any stockpiles on the Erosion Control Plan.

Stockpile locations will be determined by the contractor at the time of construction, but shall not be allowed within the Executive Drive ROW.

c. HR 290-5.K.(15). The applicant has not shown the location of any equipment storage on site.

Equipment storage and laydown areas will be determined by the contractor at the time of construction, but shall not be allowed within the Executive Drive ROW.

d. The applicant has shown a temporary gravel construction exit on the site behind the addition. We note that the applicant should review the need to move this to the edge of the limit of construction at the rear of the building.

This gravel construction entrance was reconfigured at the same location for easier access/egress from the rear work area.

e. The applicant has noted that the Town reserves the right to require additional erosion control measures if needed.

No response required.

8. Landscaping (HR 276-11.1.B.(20)) and Lighting (HR 276-11.1.B.(14))

a. The applicant has added landscaping around the proposed parking area in front of the site. We note that the existing parking areas do not include any proposed landscaping.

No response required.

9. State and Local Permits (HR 275-9.G.)

a. HR 275-9.G. The applicant has noted that a NPDES permit and preparation of a SWPPP will be required for this project.

No response required.

b. HR 275-9.G. The applicant has noted that a NHDES Alteration of Terrain permit is required for this site.

No response required.

c. HR 275-9.G. The applicant has not noted if a NHDES Wastewater connection permit will be required for this project.

It is our understanding that an NHDES Wastewater Connection Permit is not required because of the small additional discharge proposed (500 GPD).

d. HR 275-9.G. The applicant did not provide copies of any applicable Town, State or Federal approvals or permits in the review package.

Copies of permits will be submitted to the Town upon receipt.

e. Additional local permitting may be required.

No response required.

10. Other

a. We have no other comments at this time.

No response required.

Town Engineer Comments via 8/11/20 email (dated July 16, 2020)

1. Applicant shall provide a full traffic study, which will include expected vehicle type, size and travel routes throughout Hudson.

The Traffic Report has been submitted and discussed with Planning and Engineering staff.

September 10, 2020 updated response:

The Traffic Report, prepared by Stephen G. Pernaw & Co., Inc has been submitted. It was discussed with Planning and Engineering staff to use the original memorandum report analyzing the proposed warehouse use of the building. A copy of that memorandum report is attached herewith.

October 1, 2020 updated response:

An updated Traffic Report, dated September 29, 2020, is included with this submittal which added information requested by the Planning Board and staff as follows:

- A. Added analysis of maximum hypothetical buildout scenario for the proposed warehouse addition with a 24-hour, 3-shift operation utilizing all 22 proposed loading docks.***
- B. Added a parking generation analysis in support of the requested parking waiver.***
- C. Expanded discussion of why further traffic study is not warranted for the proposed project.***

2. Applicant shall provide information related to daily domestic water and sewer flows/demand.
Estimated domestic water and sewer discharge flows for the project have been submitted to the Engineering Department.

September 10, 2020 updated response:

Estimated domestic water and sewer discharge flows for the project (500 GPD) have been submitted to the Engineering Department, along with the Sewer Connection Application and IDA Checklist. Copies are attached herewith.

October 1, 2020 updated response:

Estimated domestic water and sewer discharge flows for the project have been submitted to the Engineering Department and Town Sewer Permit No. 2020-00812 was issued on August 28, 2020 (see attached copy).

3. Applicant shall work with the Town water consultant to perform a water assessment related to domestic and fire protection.
The owner/applicant's fire protection consultant is coordinating the fire protection analysis with the Engineering Department and the Town's water system consultant.

September 10, 2020 updated response:

A letter from F.E. Moran Fire, Inc. estimating a combined anticipated sprinkler demand at the street main of 1,768 GPM was previously submitted. A copy of the letter is attached herewith. The owner/applicant's fire protection consultant is available to work with the Town's water system consultant, if necessary. If required, please provide the Town consultant's contact information; and the owner/applicant's consultant will contact the Town's consultant directly.

October 1, 2020 updated response:

A water system analysis was performed by Weston & Sampson which shows that the existing water system has adequate supply and pressure for the proposed fire flow demand for this project (see attached report from Weston & Sampson and email from Town Engineer).

4. Applicant shall provide information related to proposed sewer, water and fire hydrants, if applicable.
This information has been provided on the plans and in writing to the Planning, Engineering, and Fire Departments.

Fire Department Comments via 8/11/20 email (dated July 16, 2020)

Site Plan Comments:

1. Please provide the markings for fire apparatus access in accordance with **NFPA 1**.

Fire lane pavement markings and signage have been added adjacent to the north end of the proposed building addition. In addition, Note #18 was added to 2 of 22.

2. Please provide three (3) hydrant maps signed by the Hudson Fire Department, the Hudson Water Company and the property owner. There shall be a hydrant flag and painting acceptable to the current Town of Hudson Engineering Department's specifications provided for all water supply appurtenances.

The requested hydrant maps have been submitted to the Fire Department.

The Fire Department will request a hydrant located in the center of the new addition on the river side of the addition. Due to the size of the overall building we have concerns regarding the lack of a hydrant in this location.

The requested new hydrant has been added to the Site Plan.

3. Addressing will need to be obtained from the Hudson Fire Department prior to a building permit being issued.

Acknowledged, see Note #19 on Sheet 2 of 22 of the Site Plan.

4. The common driveway shall have a permanent sign approved by the Hudson Fire Department noting the addresses of the buildings that are accessed from that driveway. These signs shall be approved and installed before issuance of any building permits.

Acknowledged, see Note #20 on Sheet 2 of 22 of the Site Plan.

5. Please make sure that the proposed snow storage area shown on the plan in the area of the cistern (*hydrant*) is cut back to make sure access is maintained.

Snow storage areas have been added to Sheets 9&10 of 22, along with notes to keep hydrants free of snow.

Life Safety and Fire Protection Concerns (responses provided by ARCO):

- A. The proposed building may require an approved sprinkler system. The Hudson Fire Department upon review of the building plans makes this determination. Further plan reviews will uncover those requirements.
A wet pipe ESFR fire sprinkler system per NFPA requirements shall be designed and submitted for approval. Currently the anticipated plan is to extend a new fire suppression bulk main from the existing pump room to the expansion and design and install an ESFR wet pipe fire suppression system throughout the expanded areas to accommodate Class I-IV commodities and unexpanded plastics.
- B. Any fire protection system shall be monitored by an approved fire alarm system. The fire alarm system shall be connected to the Hudson Fire Department's municipal fire alarm system or a substantially equivalent system in accordance with the Hudson Town Code, Chapter 210. A site plan detailing the aerial or underground layout to the municipal fire alarm connection must be provided before the utilities are completed for this project. Any required fire alarm system component must remain accessible and visible at all times.
A fire alarm design expanded from the existing system shall be designed and submitted to the city for review and approval per Hudson's Town Code.
- C. Will there be inside or outside storage above the exempt amounts of hazardous materials, liquids or chemicals presenting a physical or health hazard as listed in the International Building Code, Sections 307, 414 or 415?
The expansion is a shell expansion only and does not anticipate inside or outside storage of hazardous materials, liquids, or chemicals above the permitted portions as defined in the International Building Code. If a tenant

has them, they will submit such information as part of the tenant fit out design.

- D. A blasting permit will be required for any blasting on the site in accordance with the Hudson Town Code, Chapter 202.
Based on current grade changes and facility expansion design, blasting is not required.
- E. All storage either inside or outside of hazardous materials, liquids or chemicals presenting a physical or health hazard as listed in NFPA 1, Section 20.15.2.2 shall be in accordance with the applicable portions of the following:

- NFPA 13, Standard for the Installation of Sprinkler Systems
- NFPA 30, Flammable and Combustible Liquids Code
- NFPA 30B, Code for the Manufacture and Storage of Aerosol Products
- NFPA 230, Standard for the Fire Protection of Storage
- NFPA 430, Code for the Storage of Liquid and Solid Oxidizers
- NFPA 432, Code for the Storage of Organic Peroxide Formulations
- NFPA 434, Code for the Storage of Pesticides

We acknowledge the requirement and will abide by the guidelines.

It is requested that this revised submittal be reviewed for concurrence with the comments referenced above. As always, please do not hesitate to contact our office if you have any questions regarding this project or if you need any additional information.

Sincerely,


Earle D. Blatchford
Senior Project Manager
Hayner/Swanson, Inc.

cc: Elvis Dhima, Town Engineer
Steven Reichert, Fuss & O'Neill
Nick Eddy, NV Hudson Industrial, LLC



100 International Drive, Suite 152, Portsmouth, NH 03801
Tel: 603.431.3937

October 1, 2020

Mr. Earle Blatchford
Senior Project Manager
Hayner/Swanson, Inc.
3 Congress Street
Nashua, NH 03062

**Re: 36 Executive Drive – Fire Sprinkler Demand Water System Analysis
Engineering Review**

Dear Mr. Blatchford;

As requested, Weston & Sampson (W&S) has completed a hydraulic review of the proposed expansion project at 36 Executive Drive in Hudson, NH. The purpose of this evaluation was to review the proposed 100,000 sq. ft. building expansion and associated fire sprinkler demand to determine if the town's distribution system can provide sufficient flows and pressure during a fire flow event. This evaluation would also determine if there would be any adverse impacts on the nearby water system. The Town's computer based hydraulic model was used to evaluate the capabilities of the water distribution system in the area of the proposed building expansion.

The analysis of the proposed building expansion was performed using the existing hydraulic model as it is currently configured:

- The current sources of water for the Hudson water system are the Litchfield wells, the Merrimack River Station in Litchfield and the Taylor Falls interconnection; although the interconnection was modeled as being 'not in service' in the model simulation to represent a worst case scenario.
- The Executive Drive building expansion will receive its water service from the Main Service System.

REGULATIONS and EVALUATION CRITERIA

New Hampshire Department of Environmental Services (NHDES) regulations and Ten States Standards were used as the basis for our determination. NHDES regulations require that any public water system must provide 35 pounds per square inch (psi) pressure to all homes, under all normal conditions of flow. Normal conditions include peak hour demands, which usually entail the most severe demand condition that occurs during the hottest summer days.

NHDES and Ten States Standards require that any public water system shall provide 20-psi pressure under fire flow situations. System adequacy is evaluated under a fire flow situation occurring during a maximum day domestic demand condition.

SERVICE AREA and MODEL DEVELOPMENT

We used the software package InfoWater by Innovyze to model the impact of providing water to the Executive Drive building expansion on Hudson's water distribution system. We currently maintain a hydraulic model of the town's distribution system in this software package, making it possible to add the proposed building expansion demands and model its effects on the town's water system.

A Fire Flow Memorandum titled "Re: 36 Executive Drive – Fire Sprinkler Demand" by F.E. Moran, Inc., dated August 5, 2020 was utilized to understand the location and expected fire service demand that will be required by the proposed building expansion. The memorandum informed us that the proposed 100,000 sq. ft. addition will be protected with K25.2 ESFR sprinklers operating at 25 psi. The fire sprinkler demand for this system is anticipated to be 1,518 gallons per minute (GPM). In addition, a 250 GPM hose flow allowance must be added outside of the building, thus equating to a total anticipated fire sprinkler demand of 1,768 GPM at the point of connection to the town water main.

MODELING RESULTS

We acknowledge that the fire and domestic service for the proposed building will be served through extension of existing premise plumbing from the existing warehouse and that no new connections to Hudson's distribution system are proposed to serve the proposed building. The existing water service to the existing warehouse originates from a connection to the 12-inch water main in Executive Drive.

First, the hydraulic model was analyzed to determine existing pressure conditions at the proposed site. Under normal conditions of flow, we confirmed that Hudson's distribution system can provide greater than 35 psi pressure at the tie in connection to the existing building on Executive Drive.

During a fire event, we simulated a fire demand of 1,768 GPM at the tie in connection for three hours. This simulation was conducted under Maximum Day demand conditions in the model. The model indicated that greater than 25 psi is available at the connection point on Executive Drive for the entire 3-hour duration. We also observed that pressures in the surrounding area of the Hudson distribution system did not drop below 20 psi during the three-hour simulation.

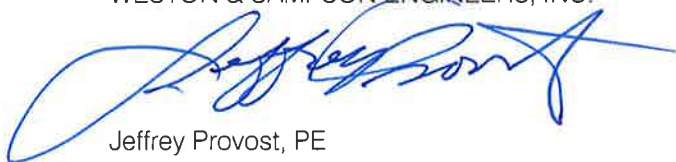
CONCLUSIONS

The Main Service System can serve the proposed building expansion at 36 Executive Drive under all normal conditions of flow. Pressures in the surrounding area of the Hudson distribution system also remained above the NHDES and Ten States Standards requirement of 20 psi under fire flow situations.

If you have any questions please do not hesitate to call Jeff McClure or myself at (603) 431-3937.

Very truly yours,

WESTON & SAMPSON ENGINEERS, INC.



Jeffrey Provost, PE
Senior Project Manager

JCP/JWM

\\wse03.local\WSE\Projects\NH\Hudson, NH\General Engineering 2014-2020\Executive Drive\Executive Drive_Developer Review.docx

Earle Blatchford

From: Dhima, Elvis <edhima@hudsonnh.gov> on behalf of Dhima, Elvis
Sent: Friday, September 25, 2020 1:59 PM
To: Provost, Jeffrey; Earle Blatchford; McClure, Jeffrey
Cc: Groth, Brian; Buxton, Robert; Slobodnik, Bradley; Stahnke, Sam; Nick Eddy; Jeff Theobald; Beaulier, Ethan
Subject: RE: 3889 Executive Drive Hudson NH Rev1

Thank you Jeff for the quick turnaround, much appreciated

It appears we are good, I'm good with this item Brian

Have a great weekend everyone

E

Elvis Dhima, P.E.
Town Engineer

Town of Hudson, NH
12 School Street
Hudson, NH 03051
Phone: (603) 886-6008
Mobile: (603) 318-8286



From: Provost, Jeffrey [mailto:provostj@wseinc.com]
Sent: Friday, September 25, 2020 1:40 PM
To: Earle Blatchford <eblatchford@hayner-swanson.com>; McClure, Jeffrey <mcclurej@wseinc.com>; Dhima, Elvis <edhima@hudsonnh.gov>
Cc: Groth, Brian <bgroth@hudsonnh.gov>; Buxton, Robert <RBuxton@hudsonnh.gov>; Slobodnik, Bradley <bslobodnik@arco1.com>; Stahnke, Sam <sstahnke@arco1.com>; Nick Eddy <neddy@novayaventures.com>; Jeff Theobald <jtheobald@novayaventures.com>; Beaulier, Ethan <BeaulierE@wseinc.com>
Subject: RE: 3889 Executive Drive Hudson NH Rev1

EXTERNAL: Do not open attachments or click links unless you recognize and trust the sender.

Earle

We were able to run the model and review the electronic plans of the proposed building/site layout that you sent to our attention on Tuesday of this week.

We acknowledge that the fire and domestic service for the proposed building will be served through extension of existing premise plumbing from the existing warehouse and that no new connections to Hudson's distribution system

are proposed to serve the proposed building. The existing water service to the existing warehouse originates from a connection to the 12-inch water main in Executive Drive.

Upon running the model, we confirmed that Hudson's distribution system can provide greater than 35 psi pressure, at the existing tie in connection in the street, under all normal conditions of flow.

During a fire event, we simulated a fire demand of 1,768 gpm for three hours. This simulation was conducted under Maximum Day demand conditions in the model. The model indicated that greater than 25 psi is available at the connection point in Executive Drive for the entire 3-hour duration. We also observed that pressures in the surrounding area of the Hudson distribution system did not drop below 20 psi during the three hour simulation.

We will formalize these results in our standard summary memorandum next week and send that memo to your attention upon completion.

Thank you,

Jeff

Jeffrey C. Provost, P.E.
SENIOR PROJECT MANAGER
direct: 603-570-6316
cell: 603-303-9471



Weston & Sampson
100 International Drive, Suite 152 | Portsmouth, NH 03801
tel: 603-431-3937
westonandsampson.com

[Facebook](#) | [Twitter](#) | [LinkedIn](#)

1,768 gpm at the proposed Executive Drive site

From: Earle Blatchford <ebatchford@hayner-swanson.com>
Sent: Friday, September 25, 2020 11:30 AM
To: McClure, Jeffrey <mclurej@wseinc.com>; Dhima, Elvis <edhima@hudsonnh.gov>
Cc: Groth, Brian <bgroth@hudsonnh.gov>; Buxton, Robert <RBuxton@hudsonnh.gov>; Slobodnik, Bradley <bslobodnik@arco1.com>; Stahnke, Sam <sstahnke@arco1.com>; Provost, Jeffrey <provostj@wseinc.com>; Nick Eddy <neddy@novayaventures.com>; Jeff Theobald <jtheobald@novayaventures.com>
Subject: RE: 3889 Executive Drive Hudson NH Rev1

Hi Jeff,

Just checking-in to see how you're making out with the water system analysis.

Thanks,

Earle

Earle Blatchford

From: Andrews, Gloria <Gloria.S.Andrews@des.nh.gov> on behalf of Andrews, Gloria
Sent: Thursday, October 1, 2020 10:49 AM
To: Earle Blatchford
Subject: RE: Proposed Building Addition, Hudson; AoT 200715-099

Great talking to you this morning. I just wanted to let you know that it isn't a problem for AoT that your test pit #3 is just outside of where your basin is. The test pits on the project are all pretty consistent and you are now proposing the use of filter material for both SMA A and SMA B.

Thanks.

Gloria S. Andrews, PE

Alteration of Terrain Bureau, Land Resources Management

From: Earle Blatchford <eblatchford@hayner-swanson.com>
Sent: Wednesday, September 30, 2020 1:16 PM
To: Andrews, Gloria <Gloria.S.Andrews@des.nh.gov>
Subject: FW: Proposed Building Addition, Hudson; AoT 200715-099

EXTERNAL: Do not open attachments or click on links unless you recognize and trust the sender.

Hi Gloria,

I think the only things I need clarified are in the portions of Comment #5 highlighted on the attached copy of your comments. I've added a 24" layer of amended soil (filter media) specified per Env-Wq 1508.07(k)(4) for SMA 'A' and SMA 'B' under the base and up the sideslopes to just above the 50-year storm peak elevations. For 'A' I'll use a design infiltration rate of 10.0 inches/hour, as the field-tested infiltration rate for the underlying soils in TP #3 was 28.0 inches. For 'B' I'll continue to use a design infiltration rate of 6.5 inches/hour, which is half the field-tested infiltration rate of 13 inches/hour for the underlying soils in TPs #4-#7. Will this be acceptable, or am I misinterpreting the regs. and should use 5.0 inches/hour in both basins?

Also, in light of the fact that I'm adding the filter media under SMA 'A', do you have any problem that TP #3 is just outside the footprint of the basin? The Town was asking.

I think I'm all set with the rest of your comments.

Thanks,

Earle

Earle Blatchford
Senior Project Manager
Hayner/Swanson, Inc.
3 Congress Street



Town of Hudson, NH
SEWER PERMIT

Hudson Fire - Inspectional Services Division
 12 School Street
 Hudson, NH 03051
 603-886-6005

Permit Number
 2020-00812
Date of Issue
 8/28/2020
Expiration Date
 2/24/2021

Owner: NV HUDSON INDUSTRIAL, LLC C/O JONES LANG LASALLE

Applicant:

Location of Work: 36 EXECUTIVE DR (Unit or Building)
 (No. and Street)

Description of Work: New Sewer service for warehouse addition

ZONING DATA: District: Map\Lot: 215-004-000

Permit Holder:	(Taking Responsibility for the Work)		
Company/Affiliation:	Job Site Phone Number:		

Constr Cost:	\$0	Permit Fee:	\$25.00	Check No.: 23317	Cash:	\$0.00
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The Permit Card Shall be Posted and Visible From the Street During Construction

THIS BUILDING PERMIT AUTHORIZES ALL CODE OFFICIALS, BUILDING INSPECTOR AND ASSESSOR OR THEIR AGENTS TO CONDUCT INSPECTIONS FROM TIME TO TIME DURING AND UPON COMPLETION OF THE WORK FOR WHICH THIS PERMIT IS ISSUED.

Code Official	Permit Holder	Date
		8/28/2020

MEMORANDUM

Ref: 2002A

To: Nicholas Eddy
NV Hudson Industrial, LLC

From: Stephen G. Pernaw, P.E., PTOE

Subject: 36 Executive Drive Expansion
Hudson, New Hampshire

Date: April 17, 2020 (Updated September 29, 2020)

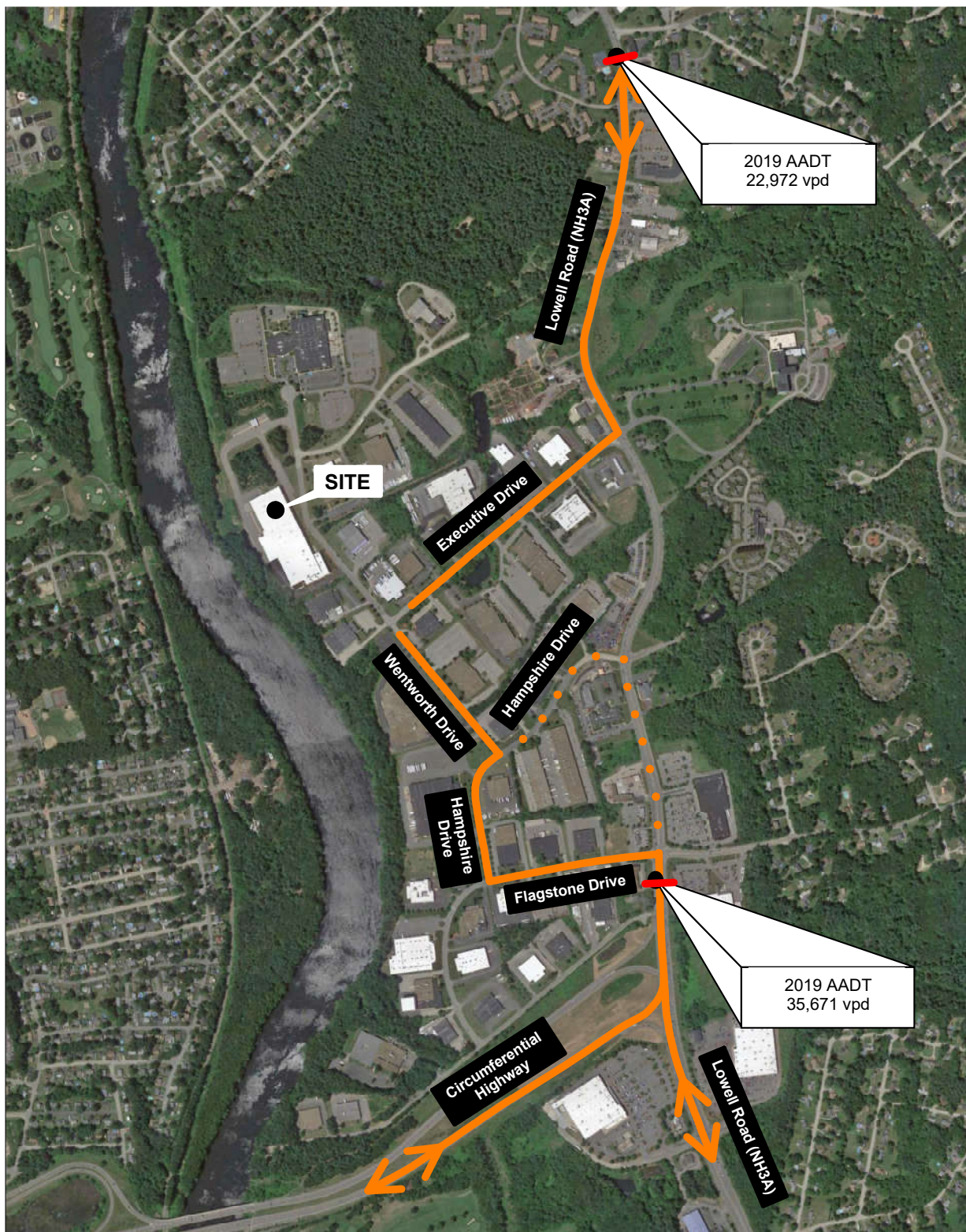
As requested, Pernaw & Company, Inc. has updated the previous trip generation analyses for the proposed expansion of the former Southeastern Container facility located at 36 Executive Drive in Hudson, New Hampshire to include a hypothetical buildout scenario where the future warehouse tenant operates on a 24-hour basis (three work shifts) and utilizes all 22 loading docks. The site is situated in an industrial park that is accessed via Executive Drive, Hampshire Drive, and Flagstone Drive. The purpose of this memorandum is to summarize the results of our trip generation analyses for the various development scenarios, our research of available traffic count data, and the results of the parking generation analysis. To summarize:


Proposed Development – According to the site plan excerpt provided (see Attachment 1), this project involves the construction of a 100,000-sf building addition at the north end of the site. Access to the site will be provided via four full-access driveways on the east side of Executive Drive. Figure 1 on Page 2 shows the location of the subject site with respect to the area roadway system, the primary travel routes to/from the subject site, and the location of the recent traffic count conducted by the NHDOT.

Existing Traffic Volumes – Research at the New Hampshire Department of Transportation (NHDOT) revealed that a short-term automatic traffic recorder count was conducted on Lowell Road (NH3A) south of Pelham Road in August 2017. This count location is located approximately 0.5 miles north of Executive Drive. The NHDOT data shows this section of Lowell Road carried an Annual Average Daily Traffic (AADT) volume of approximately 22,972 vehicles per day (vpd) in 2019, up slightly from 22,700 vpd in 2018.

A similar traffic count was conducted on Lowell Road south of Wason Road during the same months/years. This count station is located approximately 0.7 miles south of Executive Drive. The AADT volume on this section of NH3A was 35,671 vpd in 2019, up slightly from 35,248 in 2018. The raw data from the 2017 August counts are summarized graphically on Page 3 and show the daily and hourly variations in traffic demand on the corridor. This data shows that hourly traffic volumes in the area typically reach peak levels during the morning and late afternoon on weekdays; thus, reflecting typical commuting patterns. The detail sheets pertaining to these counts are attached (see Attachments 2 - 5).

Pernaw & Company, Inc.



-  = PRIMARY TRAVEL ROUTES
-  = AUTOMATIC TRAFFIC RECORDER LOCATION (NHDOT)

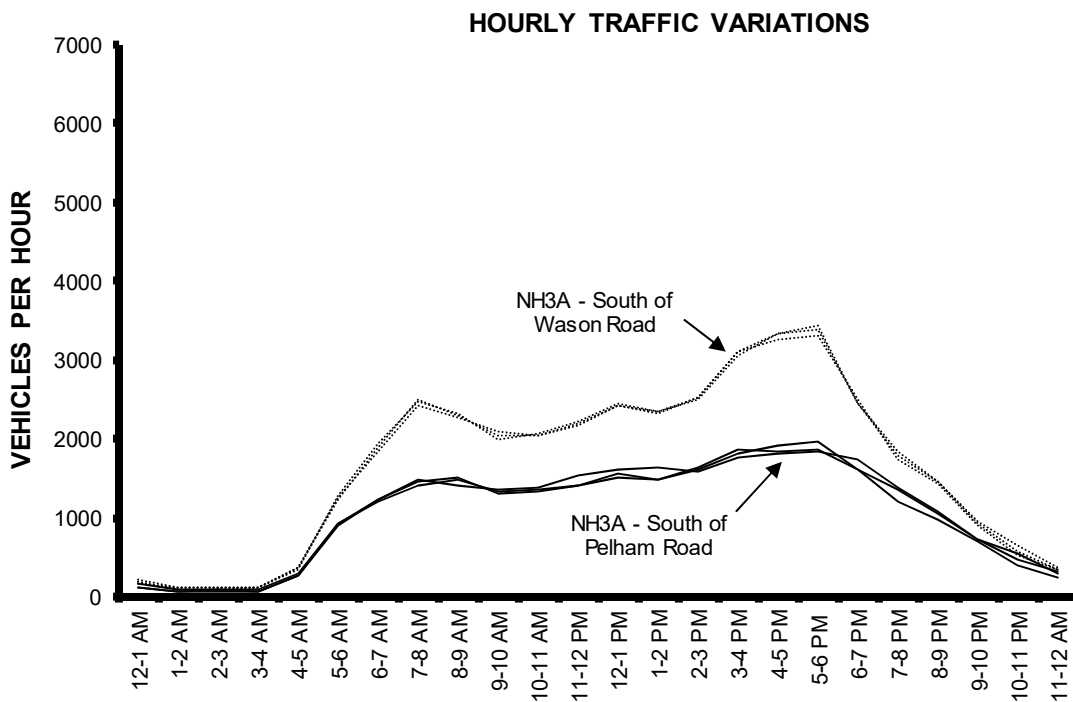
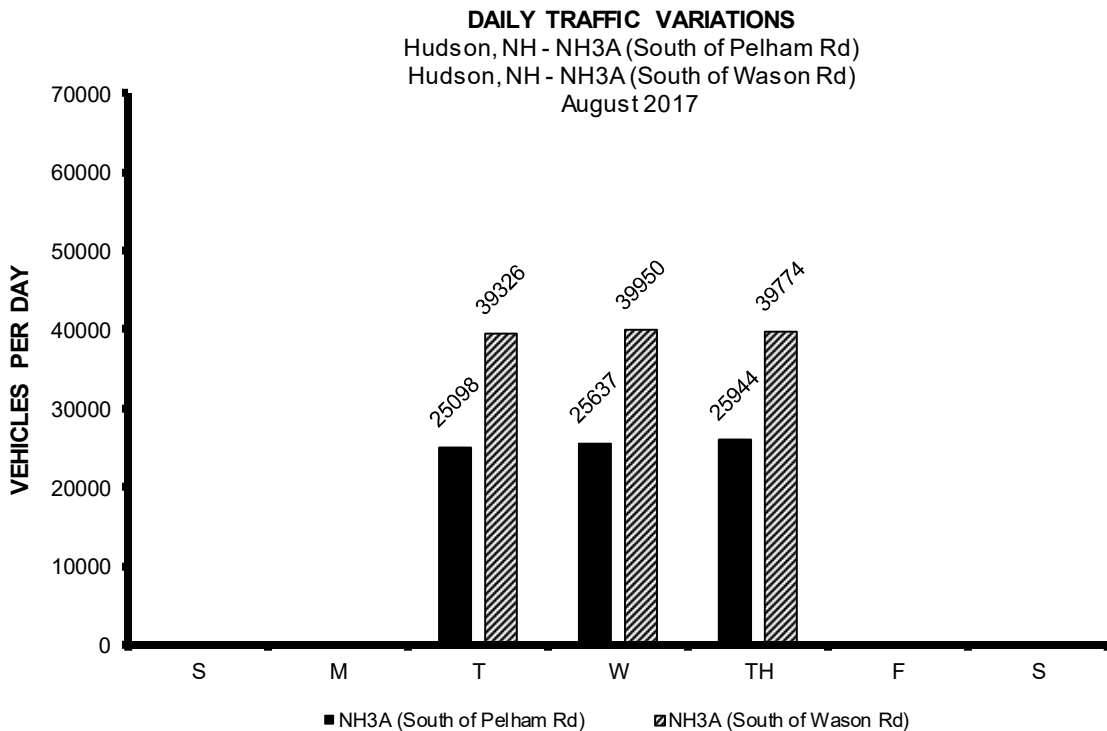
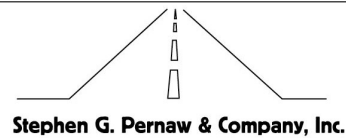


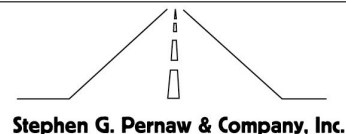
2002A

Figure 1

Site Location

Traffic Evaluation, Proposed Expansion at 36 Executive Drive, Hudson, New Hampshire





Trip Generation - To estimate the quantity of vehicle-trips that will be produced by the existing facility and expanded facility, Pernaw & Company, Inc. considered the standard trip generation rates and equations published by the Institute of Transportation Engineers¹ (ITE). Land Use Code LUC 150 (Warehousing) is considered to be the most applicable category for the subject site, and the gross floor area was utilized as the independent variable. According to ITE, “a warehouse is primarily devoted to the storage of material, but it may also include office and maintenance areas.”

Recognizing that the ultimate tenant remains unknown at this juncture, supplemental trip estimates for LUC 155 (High-Cube Fulfillment Center – Non-Sort) are also provided below. In response to questions raised at the public hearing on 9/16/20, our office has prepared supplemental trip generation estimates for a hypothetical buildout scenario where the future warehouse tenant operates on a 24-hour basis with three work shifts and 22 active loading docks.

Table 1 shows that the proposed building expansion project has the potential to increase the traffic generated by the site by +12-36 (AM) and +8-16 (PM) vehicle-trips during the peak hour periods. The computations pertaining to these analyses are attached (see Attachments 6 - 9).

Table 1	Trip Generation Summary (Average Weekday Conditions)				
	Existing Warehouse ¹ (215,206 sf)	Proposed Building Addition (100,000 sf)			Post-Expansion Building (315,206 sf)
		CASE A Warehouse ¹	CASE B Fulfillment Center ²	Case C Hypothetical Buildout Scenario ³	
Weekday (24 Hours)					
Entering	193 veh	+79 trips	+91 veh	+164 veh	272-357 trips
Exiting	<u>193 veh</u>	<u>+79 trips</u>	<u>+91 veh</u>	<u>+164 veh</u>	<u>272-357 trips</u>
Total	386 trips	+158 trips	+182 trips	+328 trips	544-714 trips
AM Peak Hour					
Entering	39 veh	+10 trips	+12 veh	+3 veh	42-51 trips
Exiting	<u>12 veh</u>	<u>+2 trips</u>	<u>+3 veh</u>	<u>+33 veh</u>	<u>14-45 trips</u>
Total	51 trips	+12 trips	+15 trips	+36 trips	63-87 trips
PM Peak Hour					
Entering	15 veh	+3 trips	+6 veh	+4 veh	18-21 trips
Exiting	<u>39 veh</u>	<u>+9 trips</u>	<u>+10 veh</u>	<u>+4 veh</u>	<u>43-49 trips</u>
Total	54 trips	+12 trips	+16 trips	+8 trips	62-70 trips

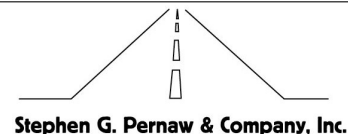
¹ ITE Land Use Code #50 - Warehousing (Trip Equation Method)

² ITE Land Use Code #55 - High-Cube Fulfillment Center Warehouse - Non-Sort (Trip Rate Method)

³ Manual derivation based on 3 work shifts, 30 employees per shift, 22 active loading docks

All vehicle-trips associated with the proposed building expansion will be “primary” type trips, or new trips to the area.

¹ Institute of Transportation Engineers, *Trip Generation*, 10th Edition (Washington, D.C., 2017)



Parking Generation – According to the parking generation rates published by the Institute of Transportation Engineers² (ITE), a standard warehouse exhibits a peak parking demand of 0.39 parked vehicles per 1000 sf. Applying this rate to the gross floor area of the proposed building addition results in 39 occupied parking stalls. By way of comparison, this is more than both BAE (15) and RJ Schinner (20) have to date for warehousing on-site (existing tenants).

The hypothetical scenario (Case C) with a future tenant that operates on a 24-hour basis with 30 employees per work shift would result in 60 occupied stalls (see Attachment 9) in the employee parking area. The proposed site plan provides parking for 64 vehicles.

Need for Further Study - Further study normally involves collecting intersection turning movement count data at specified study area intersections, and then forecasting future traffic volumes with and without the proposed warehouse addition. According to the NHDOT data on Attachment 3 and Attachment 6, the highest hourly traffic volume on Lowell Road (NH3A) typically occurs from 5:00 to 6:00 PM on weekdays. During this worst-case peak hour period, the hypothetical buildout scenario (Case C) is expected to generate 8 vehicle-trips.

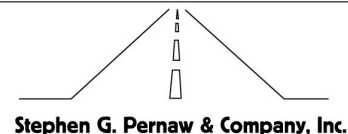
According to a previously prepared traffic study prepared by our office for the “call center” project located at 55 Executive Drive, it is reasonable to expect that approximately 35% of the warehouse traffic will utilize Executive Drive for access to/from the north, and the remaining 65% will utilize Flagstone Drive. This means that the hypothetical warehouse (Case C) will likely add approximately +3 vehicles to the NH3A/Executive Drive intersection and +5 vehicles to the NH3A/Flagstone Drive/Wason Road intersection over the 5:00 to 6:00 PM time period. This translates into increases of less than one-tenth of a percent.

During the highest traffic hour for warehouse traffic, the Case C analysis shows that the site will generate approximately +38 vehicle-trips (4 arrivals, 34 departures) from 3:00 to 4:00 PM on weekdays. This translates into an increase of +13 vehicles at the NH3A/Executive Drive intersection, when traffic is approximately -4% below peak levels; and +23 vehicles at the NH3A/Flagstone Drive/Wason Road intersection when traffic levels are approximately -8% below peak levels. Attachment 9 shows the site generated traffic volumes for the warehouse addition (hypothetical buildout with 24-hour operation and 22 loading docks) for each hour of the day. Favorably, the peak hour for warehouse traffic does not coincide with the peak hour for NH3A traffic.

Analysis of the morning peak hour period would not produce meaningful results in that traffic levels on NH3A are well below peak levels, and that most vehicles will be exiting from the warehouse during the morning peak hour. Favorably, the directional traffic flows associated with the warehouse addition (majority outbound) are opposite those for the overall industrial area (majority inbound) during the morning peak hour period.

Truck Generation – Without a specific tenant it is not possible to quantify vehicle type, size and specific travel routes. According to ITE truck trip generation rates for a conventional warehouse, the proposed building addition will generate approximately 60 truck-trips per day, with hourly volumes ranging from 0-6 truck-trips per hour. The Case C analysis with 22 loading docks and a 24-hour operation indicates that 132 truck-trips per day are possible, with hourly volumes ranging from 2-6 truck-trips per hour. It is reasonable to expect the largest trucks will be Semitrailer WB-67 Design Vehicles, and they will follow the travel routes depicted on Figure 1.

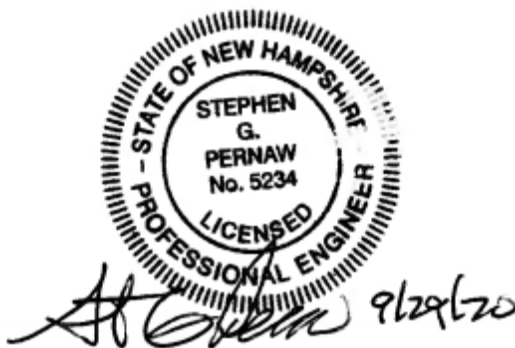
² Institute of Transportation Engineers, *Parking Generation*, 5th Edition (Washington, D.C., 2019)

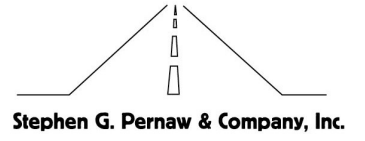


Findings & Conclusions

1. Traffic counts conducted by the NHDOT in August 2017 on Lowell Road (NH3A) revealed that the section south of Pelham Road (north of the industrial park area) carried approximately 25,600 vehicles per day. The section south of Wason Road (south of the industrial park area) carried approximately 39,700 vehicles per day. At both count stations the highest hourly traffic volumes occurred from 7:00 to 8:00 AM or 8:00 to 9:00 AM and from 5:00 to 6:00 PM on weekdays.
2. According to the trip generation equations published by ITE, the proposed expansion project will generate approximately +12-15 additional vehicle-trips during the AM peak hour period and +12-16 additional vehicle-trips during the PM peak hour period, when compared with the existing facility. This translates into approximately one additional vehicle every 4 to 5 minutes during the worst-case peak hour periods.
3. Supplemental trip generation calculations based on a hypothetical warehouse tenant that operates with three work shifts (24-hour operation), 30 employees per shift, and utilizes all 22 active loading docks revealed that increases of +36 (AM) and +8 (PM) vehicle-trips could occur during the peak hour periods. The majority would be outbound vehicles exiting from the warehouse site during the AM peak hour; whereas most are entering the industrial park during that hour of the day.
4. Further study is not needed as it would simply demonstrate that traffic increases of this order of magnitude, when split between the three access points to the industrial park area (Executive Drive, Hampshire Drive and Flagstone Drive), and again between points north and south on Lowell Road, will not significantly impact traffic operations at nearby intersections.
5. The parking generation analyses demonstrate that the 64 proposed parking stalls is sufficient for both a standard warehouse and a future tenant that might operate on a 24-hour basis with 30 employees per work shift.

Attachments





ATTACHMENTS



Transportation Data Management System

List View All DIRs

Record	3200 of 5743 Goto Record <input type="text" value="go"/>		
Location ID	82229073	MPO ID	
Type	SPOT	HPMS ID	
On NHS	Yes	On HPMS	Yes
LRS ID	S0000003A_	LRS Loc Pt.	
SF Group	04	Route Type	
AF Group	04	Route	NH 3A
GF Group	E	Active	Yes
Class Dist Grp	Default	Category	3
Seas Class Grp	Default		
WIM Group	Default		
QC Group	Default		
Funct'l Class	Other Principal Arterial	Milepost	
Located On	Lowell Rd		
Loc On Alias	NH 3A (LOWELL RD) SOUTH OF PELHAM RD		
More Detail			
STATION DATA			

Directions: 2-WAY

AA DT

Year	AA DT	DHV-30	K %	D %	PA	BC	Src
2019	22,972 ³		9		21,042 (92%)	1,930 (8%)	Grown from 2018
2018	22,700 ³		9		20,929 (92%)	1,771 (8%)	Grown from 2017
2017	22,255	1,958	9		20,653 (93%)	1,602 (7%)	
2016	22,063 ³				20,122 (91%)	1,941 (9%)	Grown from 2015
2015	21,630 ³						Grown from 2014

1-5 of 20

Travel Demand Model										
Model Year	Model AADT	AM PHV	AM PPV	MD PHV	MD PPV	PM PHV	PM PPV	NT PHV	NT PPV	

VOLUME COUNT			
	Date	Int	Total
	Thu 8/17/2017	60	25,944
	Wed 8/16/2017	60	25,637
	Tue 8/15/2017	60	25,098
	Sat 8/23/2014	60	21,274
	Fri 8/22/2014	60	25,465
	Thu 8/21/2014	60	25,227
	Wed 8/20/2014	60	24,823
	Tue 8/19/2014	60	24,430
	Mon 8/18/2014	60	23,915
	Sun 8/7/2011	60	17,983

VOLUME TREND	
Year	Annual Growth
2019	1%
2018	2%
2017	1%
2016	2%
2015	3%
2014	-2%
2011	0%
2008	-1%
2005	-1%
2001	0%

1-10 of 53



Transportation Data Management System



Excel Version

Weekly Volume Report			
Location ID:	82229073	Type:	SPOT
Located On:	Lowell Rd	:	
Direction:	2-WAY		
Community:	HUDSON	Period:	Mon 8/14/2017 - Sun 8/20/2017
AADT:	22255		

Start Time	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Avg	Graph
12:00 AM		122	120	166				136	0.5%
1:00 AM		69	54	78				67	0.3%
2:00 AM		87	67	89				81	0.3%
3:00 AM		81	75	75				77	0.3%
4:00 AM		281	263	275				273	1.1%
5:00 AM		914	933	900				916	3.6%
6:00 AM		1212	1228	1227				1,222	4.8%
7:00 AM		1416	1453	1481				1,450	5.7%
8:00 AM		1477	1501	1419				1,466	5.7%
9:00 AM		1329	1295	1357				1,327	5.2%
10:00 AM		1358	1340	1383				1,360	5.3%
11:00 AM		1412	1413	1529				1,451	5.7%
12:00 PM		1514	1566	1608				1,563	6.1%
1:00 PM		1494	1475	1642				1,537	6.0%
2:00 PM		1645	1621	1593				1,620	6.3%
3:00 PM		1866	1820	1759				1,815	7.1%
4:00 PM		1829	1903	1821				1,851	7.2%
5:00 PM		1869	1958	1835				1,887	7.4%
6:00 PM		1615	1605	1732				1,651	6.5%
7:00 PM		1207	1353	1379				1,313	5.1%
8:00 PM		984	1043	1079				1,035	4.1%
9:00 PM		687	734	724				715	2.8%
10:00 PM		391	536	470				466	1.8%
11:00 PM		239	281	323				281	1.1%
Total	0	25,098	25,637	25,944	0	0	0		
24hr Total		25098	25637	25944				25,560	
AM Pk Hr		8:00	8:00	11:00					
AM Peak		1477	1501	1529				1,502	
PM Pk Hr		5:00	5:00	5:00					
PM Peak		1869	1958	1835				1,887	
% Pk Hr		7.45%	7.64%	7.07%				7.39%	



Transportation Data Management System

List View All DIRs

Record		3171	of 5743	Goto Record	<input type="text" value="go"/>
Location ID	82229039	MPO ID			
Type	SPOT	HPMS ID			
On NHS	Yes	On HPMS	Yes		
LRS ID	S0000003A_	LRS Loc Pt.			
SF Group	04	Route Type			
AF Group	04	Route	NH 3A		
GF Group	E	Active	Yes		
Class Dist Grp	Default	Category	3		
Seas Class Grp	Default				
WIM Group	Default				
QC Group	Default				
Funct'l Class	Other Principal Arterial	Milepost			
Located On	Lowell Rd				
Loc On Alias	NH 3A (LOWELL RD) SOUTH OF WASON RD				
More Detail					
STATION DATA					

Directions: 2-WAY NB SB

AAADT

Year	AAADT	DHV-30	K %	D %	PA	BC	Src
2019	35,671 ³		10	55	32,675 (92%)	2,996 (8%)	Grown from 2018
2018	35,248 ³		10	55	32,500 (92%)	2,748 (8%)	Grown from 2017
2017	34,557	3,428	10	55	32,067 (93%)	2,490 (7%)	
2016	32,569 ³				29,703 (91%)	2,866 (9%)	Grown from 2015
2015	31,930 ³						Grown from 2014

1-5 of 16

Travel Demand Model

Model Year	Model AADT	AM PHV	AM PPV	MD PHV	MD PPV	PM PHV	PM PPV	NT PHV	NT PPV
------------	------------	--------	--------	--------	--------	--------	--------	--------	--------

VOLUME COUNT

Date	Int	Total
Thu 8/17/2017	60	39,774
Wed 8/16/2017	60	39,950
Tue 8/15/2017	60	39,326
Thu 8/28/2014	60	39,835
Wed 8/27/2014	60	36,171
Tue 8/26/2014	60	33,711
Mon 8/25/2014	60	35,438
Sat 8/27/2011	60	32,659
Fri 8/26/2011	60	43,492
Thu 8/25/2011	60	40,794

VOLUME TREND

Year	Annual Growth
2019	1%
2018	2%
2017	6%
2016	2%
2015	3%
2014	-4%
2011	1%
2008	2%
2005	0%
2001	7%

1-10 of 55



Transportation Data Management System



Excel Version

Weekly Volume Report			
Location ID:	82229039	Type:	SPOT
Located On:	Lowell Rd	:	
Direction:	2-WAY		
Community:	HUDSON	Period:	Mon 8/14/2017 - Sun 8/20/2017
AADT:	34557		

Start Time	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Avg	Graph
12:00 AM		159	195	218				191	0.5%
1:00 AM		114	91	111				105	0.3%
2:00 AM		111	99	116				109	0.3%
3:00 AM		123	120	119				121	0.3%
4:00 AM		369	332	363				355	0.9%
5:00 AM		1254	1282	1222				1,253	3.2%
6:00 AM		1842	1947	1897				1,895	4.8%
7:00 AM		2414	2462	2502				2,459	6.2%
8:00 AM		2275	2310	2306				2,297	5.8%
9:00 AM		2082	2001	2051				2,045	5.2%
10:00 AM		2048	2069	2054				2,057	5.2%
11:00 AM		2202	2207	2169				2,193	5.5%
12:00 PM		2412	2446	2432				2,430	6.1%
1:00 PM		2327	2350	2341				2,339	5.9%
2:00 PM		2530	2507	2517				2,518	6.3%
3:00 PM		3108	3062	3095				3,088	7.8%
4:00 PM		3251	3345	3324				3,307	8.3%
5:00 PM		3303	3428	3387				3,373	8.5%
6:00 PM		2494	2451	2459				2,468	6.2%
7:00 PM		1737	1833	1778				1,783	4.5%
8:00 PM		1423	1454	1465				1,447	3.6%
9:00 PM		890	955	914				920	2.3%
10:00 PM		514	638	582				578	1.5%
11:00 PM		344	366	352				354	0.9%
Total	0	39,326	39,950	39,774	0	0	0		
24hr Total		39326	39950	39774				39,683	
AM Pk Hr		7:00	7:00	7:00					
AM Peak		2414	2462	2502				2,459	
PM Pk Hr		5:00	5:00	5:00					
PM Peak		3303	3428	3387				3,373	
% Pk Hr		8.40%	8.58%	8.52%				8.50%	

Trip Generation Summary

Alternative: 36 Executive Drive Expansion
 Phase: Existing Facility
 Project: XXXXXXXXXX
 Open Date: 4/15/2020
 Analysis Date: 4/15/2020

ITE	Land Use	Weekday Average Daily Trips			Weekday AM Peak Hour of Adjacent Street Traffic			Weekday PM Peak Hour of Adjacent Street Traffic					
		*	Enter	Exit	Total	*	Enter	Exit	Total	*	Enter	Exit	Total
150	WAREHOUSE 2		193	193	386		39	12	51		15	39	54
	215.2 1000 Sq. Ft. GFA												
	Unadjusted Volume		193	193	386		39	12	51		15	39	54
	Internal Capture Trips		0	0	0		0	0	0		0	0	0
	Pass-By Trips		0	0	0		0	0	0		0	0	0
	Volume Added to Adjacent Streets		193	193	386		39	12	51		15	39	54

Total Weekday Average Daily Trips Internal Capture = 0 Percent
 Total Weekday AM Peak Hour of Adjacent Street Traffic Internal Capture = 0 Percent
 Total Weekday PM Peak Hour of Adjacent Street Traffic Internal Capture = 0 Percent

* - Custom rate used for selected time period.

Trip Generation Summary

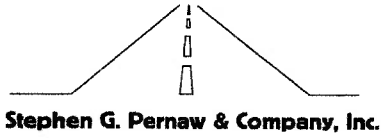
Alternative: 36 Executive Drive Expansion
 Phase: Expanded Facility
 Project: ~~XXXXXX~~
 Open Date: 4/15/2020
 Analysis Date: 4/15/2020

ITE	Land Use	Weekday Average Daily Trips			Weekday AM Peak Hour of Adjacent Street Traffic			Weekday PM Peak Hour of Adjacent Street Traffic		
		* Enter	Exit	Total	* Enter	Exit	Total	* Enter	Exit	Total
150	WAREHOUSE 1	272	272	544	49	14	63	18	48	66
	315.2 1000 Sq. Ft. GFA									
	Unadjusted Volume	272	272	544	49	14	63	18	48	66
	Internal Capture Trips	0	0	0	0	0	0	0	0	0
	Pass-By Trips	0	0	0	0	0	0	0	0	0
	Volume Added to Adjacent Streets	272	272	544	49	14	63	18	48	66

Total Weekday Average Daily Trips Internal Capture = 0 Percent
 Total Weekday AM Peak Hour of Adjacent Street Traffic Internal Capture = 0 Percent
 Total Weekday PM Peak Hour of Adjacent Street Traffic Internal Capture = 0 Percent

* - Custom rate used for selected time period.

CALCULATION SHEET



Project:	<u>36 Executive Drive</u>	Job Number:	<u>2002A</u>
Calculated By:	<u>SGP</u>	Date:	<u>8/18/2020</u>
Checked By:	<u>CA</u>	Date:	<u>8/18/2020</u>
Sheet No:	<u>1</u>	Of:	<u>1</u>
Subject:	<u>Supplemental Trip Generation Calculations</u>		

Consider LUC 155 (High-Cube Fulfillment Center Warehouse - Non-Sort) for 100,000 sf building addition.

Weekday (24-hours) Trips

100,000 sf x 1.81 = 182 vehicle-trips (91 arrivals, 91 departures)

Weekday AM Peak Hour Trips

100,000 sf x 0.15 = 15 vehicle-trips (12 arrivals, 3 departures)

Weekday PM Peak Hour Trips

100,000 sf x 0.16 = 16 vehicle-trips (6 arrivals, 10 departures)

Hypothetical Buildout Scenario: Warehouse @ 36 Executive Drive, Hudson, New Hampshire
9/23/2020

SCENARIO: 24-Hour operation with three work shifts and 22 active loading docks

	First Shift		Second Shift		Third Shift		Trucks		Misc. Trips		TOTAL TRIPS			Employee Parking Accumulation (Occupied Stalls)
	IN	OUT	IN	OUT	IN	OUT	IN	OUT	IN	OUT	IN	OUT	Total	
12:00 AM														30
1:00 AM							1	1			1	1	2	30
2:00 AM							2	2			2	2	4	30
3:00 AM							3	3			3	3	6	30
4:00 AM							3	3			3	3	6	30
5:00 AM							3	3			3	3	6	30
6:00 AM							3	3			3	3	6	30
7:00 AM	30						3	3			33	3	36	60
8:00 AM					30		3	3			3	33	36	30
9:00 AM							3	3	1	1	4	4	8	30
10:00 AM							3	3			3	3	6	30
11:00 AM							3	3	1	1	4	4	8	30
12:00 PM							3	3	1	1	4	4	8	30
1:00 PM							3	3	1	1	4	4	8	30
2:00 PM							3	3	1	1	4	4	8	30
3:00 PM	30						3	3			33	3	36	60
4:00 PM							3	3	1	1	4	4	8	30
5:00 PM							3	3			3	3	6	30
6:00 PM							3	3	1	1	4	4	8	30
7:00 PM							3	3			3	3	6	30
8:00 PM							3	3	1	1	4	4	8	30
9:00 PM							3	3			3	3	6	30
10:00 PM							3	3	1	1	4	4	8	30
11:00 PM			30				2	2			32	2	34	30
12:00 AM				30			1	1			1	31	32	60
	30	30	30	30	30	30	66	66	8	8	164	164	328	30

Notes:

- 30 employees per shift
- Rolling use of each loading dock; turn over once per work shift, on average
- Miscellaneous trips = service vehicles, FedEx, UPS, etc.

36 EXECUTIVE DRIVE – PROPOSED BUILDING ADDITION

WAIVER REQUEST #1:

Site Plan Regulation: Hudson Site Plan Regulation Chapter 275-8 C (2) – Required number of Parking Spaces.

Waiver Request: A waiver is requested from **Chapter 275-8 C (2)** in order to allow 154 parking spaces on a lot where 515 spaces are required per the regulation.

Basis of Waiver:

For Industrial lots, the Hudson Site Plan regulations parking requirement is: *one for each 600 square feet of gross floor space or 0.75 space per employee of the combined employment of the two largest consecutive shifts, whichever is larger.* Currently, the existing building measures 208,960 square feet and the site contains 132 parking spaces. The total number of employees is not known at this time, as most of the building is vacant. Historically the building has not required a lot of passenger car parking, as it had a large automated manufacturing space at the south end of the building, with a large warehouse/distribution space at the north end of the building. The proposed addition, which measures 100,000 square feet, will be primarily additional warehouse/distribution space, and will displace approximately 42 parking spaces currently located in the front and north side parking areas of the site. It is being proposed to replace and add to these spaces by constructing a new 64 space parking lot in front of the proposed addition. In calculating the required number of spaces, the larger amount per the Hudson Code is anticipated to be the 1 space per 600 square feet criteria which yields a requirement of 515 spaces. The proposed site plan shows a total of 154 car parking spaces being provided.

BAE's lease provides them with the 62 car parking spaces at the southerly end of the site. They have determined that this is sufficient for their parking needs. The owner/applicant has determined, based on their experience leasing warehouse space, that the proposed remaining 92 car parking spaces will be sufficient for the rest of the expanded building.

Waiver Request Form Standards

The hardship reason for granting this waiver is that there is simply no need for the number of car parking spaces required by the regulations. This type of property does not require large numbers of employees, and is much more oriented to warehouse and trucking operations.

Granting this waiver will not be contrary to the spirit and intent of the Town's Land Use Regulations because the spirit and intent of Chapter 275-8 C (2) is that adequate parking is provided for the intended use. As has been stated above, given the past history of this site and the experience of the owner/applicant in leasing industrial space, adequate parking is provided.

Chapter 276-7 Waivers

The requirements of Chapter 275-8 C (2) are unnecessary.

The purpose of Chapter 275-8 C (2) is to ensure adequate number of parking spaces are provided for a particular use. Given the above stated reasons, it is the owner/applicant's opinion that ample parking is provided for this business operation.

Granting the waiver will not violate the purposes or general standards of the Land Use Regulations.

This waiver will not violate the public safety purposes of Chapter 275-8 C (2), in that the plan represents good planning principles and is balanced with regard to parking, building and open spaces.

Granting the waiver shall result in a general benefit to the Town and surrounding properties.

Granting the waiver will support the owner/applicant's proposed building addition which will create new jobs, increase annual tax revenue, and is the type of development specifically contemplated by the Town's Master Plan. As a result, the waiver will result in a general benefit to the Town.

Conclusion:

When the Site Plan regulations are applied to this particular property, they impose unreasonable and egregious requirements with no benefit to the public. The property is a multi-tenant warehousing site with few visitors. The applicant knows their parking demands. Because the site plan calculations require two alternative calculations, there is an unnecessarily large parking requirement by one calculation.

This proposed site plan balances the needs of the community to enable growth and expansion in a safe and reasonable manner without imposing requirements that have no benefit under the circumstances.

WAIVER REQUEST #2:

Site Plan Regulation: Hudson Site Plan Regulation Chapter 193-10 G – Allowed number of driveways.

Waiver Request: A waiver is requested from **Chapter 193-10 G** in order to allow a 4th driveway curb cut off Executive Drive to service the property, where 3 driveway curb cuts currently exist, and two are allowed per the regulation.

Basis of Waiver:

The 36 Executive Drive property is unique in that it has 1,582 feet of frontage along Executive Drive, where 150 feet of frontage is the minimum required. Therefore, it has sufficient frontage for 10 individual industrial lots. Further, the length of the building, including the proposed addition, is 1,150 feet and will have up to 5 separate tenant spaces. The additional curb cut is needed to adequately access the new building addition parking area.

Waiver Request Form Standards

The hardship reason for granting this waiver is the length of the property and building requires an additional driveway for proper vehicular access and circulation, as well as life safety access to all of the tenant spaces.

Granting this waiver will not be contrary to the spirit and intent of the Town's Land Use Regulations because the spirit and intent of Chapter 193-10 G is that adequate site access is provided for the intended use.

Chapter 276-7 Waivers

The requirements of Chapter 193-10 G are unnecessary.

The purpose of Chapter 193-10 G is to ensure adequate and safe site access to the site. Given the above stated reasons, it is the owner/applicant's opinion that reasonable site access is being proposed for this business operation.

Granting the waiver will not violate the purposes or general standards of the Land Use Regulations.

This waiver will not violate the public safety purposes of Chapter 193-10 G, in that the plan represents good planning principles and provides adequate site access, while providing adequate safe sight distance and driveway spacing.

Granting the waiver shall result in a general benefit to the Town and surrounding properties.

Granting the waiver will support the owner/applicant's proposed building addition which will create new jobs, increase annual tax revenue, and is the type of development specifically contemplated by the Town's Master Plan. As a result, the waiver will result in a general benefit to the Town.

Conclusion:

When the Site Plan regulations are applied to this particular property, they impose unreasonable and egregious requirements with no benefit to the public. The property is a multi-tenant warehousing site with a longer than normal building and an excess of road frontage.

This proposed site plan balances the needs of the community to enable growth and expansion in a safe and reasonable manner without imposing requirements that have no benefit under the circumstances.

Groth, Brian

From: Steven Reichert <SReichert@fando.com>
Sent: Tuesday, August 25, 2020 9:15 AM
To: Dhima, Elvis
Cc: Groth, Brian
Subject: FW: [External] FW: 36 Executive Drive

Elvis,
Our stormwater reviewer reviewed the email and attachments from Hayner/Swanson and responded below. They should be all set.

Thanks.

Steve Reichert, PE
Senior Project Manager
Fuss & O'Neill, Inc. | The Gateway Bldg., 50 Commercial Street, Unit 2S | Manchester, NH 03101
603.668.8223 x2130 | sreichert@fando.com | cell: 603.703.2765
www.fando.com | [twitter](#) | [facebook](#) | [linkedin](#)

From: A. Cory Dubois
Sent: Tuesday, August 25, 2020 9:12 AM
To: Steven Reichert <SReichert@fando.com>
Subject: RE: [External] FW: 36 Executive Drive

NO FURTHER COMMENT. Applicant's explanation of the analysis point is a sufficient response to address our comment.

The applicant fully explains the design intent and the process of the analysis. It was not 100% understandable during the initial review, but they have explained it in greater detail. This point is an internal analysis point, and is just a portion of the cumulative analysis.

FYI...The reason they wrote Elvis is because our comment notes to coordinate with him about the increase.

A. Cory Dubois, PE
Senior Project Engineer
Fuss & O'Neill, Inc. | The Gateway Bldg., 50 Commercial Street, Unit 2S | Manchester, NH 03101
603.668.8223 x2120 | adubois@fando.com
www.fando.com | [twitter](#) | [facebook](#) | [linkedin](#)

From: Steven Reichert
Sent: Monday, August 24, 2020 4:38 PM
To: A. Cory Dubois <ADubois@fando.com>
Subject: FW: [External] FW: 36 Executive Drive

Cory – Can you review the email below and the attachments and let me know what you think?

Steve Reichert, PE
Senior Project Manager
Fuss & O'Neill, Inc. | The Gateway Bldg., 50 Commercial Street, Unit 2S | Manchester, NH 03101
603.668.8223 x2130 | sreichert@fando.com | cell: 603.703.2765
www.fando.com | [twitter](#) | [facebook](#) | [linkedin](#)

From: Dhima, Elvis [<mailto:edhima@hudsonnh.gov>]
Sent: Monday, August 24, 2020 4:34 PM
To: Steven Reichert <SReichert@fando.com>

Cc: Groth, Brian <bgroth@hudsonnh.gov>

Subject: [External] FW: 36 Executive Drive

Steve

Can you have a look at this and let me know what the deal is ,

We are meeting them this week

I don't know why he wants to talk to me vs you

Thanks

E

Elvis Dhima, P.E.
Town Engineer

Town of Hudson, NH
12 School Street
Hudson, NH 03051
Phone: (603) 886-6008
Mobile: (603) 318-8286



From: Earle Blatchford [<mailto:eblatchford@hayner-swanson.com>]

Sent: Monday, August 24, 2020 4:19 PM

To: Dhima, Elvis <edhima@hudsonnh.gov>

Cc: Groth, Brian <bgroth@hudsonnh.gov>

Subject: 36 Executive Drive

Hi Elvis,

Per Fuss & O'Neill's comment #5 (attached) I'd like to discuss with you when you have a couple minutes. I've also attached our Table 3, and the Pre- and Post-Development Drainage Area Maps from our Stormwater Report. Fuss's comments singles out POA C for incremental Increases; but as we show on Table 3 and the note immediately following, the accurate way to analyze the pre-vs. post-development impacts is to sum POA A through POA D. That's because all of the drainage subareas draining to these points-of-analysis eventually get into the 30"/36" drain line to the Merrimack River along the rear of the site. In the existing condition DA 1 flows to the 30"/36" drain line via a grass swale in the rear of the site. DA 3 flows to the closed system in Executive Drive; which discharges to the existing sedimentation basin at the north end of the site, which in-turn discharges to the 30"/36" drain line at the back of the site. And DA 5 and DA 6 flow into the existing sedimentation basin directly on-site, and in-turn into the 30"/36" drain line to the river.

Please give me a call to discuss this further as I'd like to respond to all the comments received to-date this week.

Thanks,

Earle

Earle Blatchford
Senior Project Manager
Hayner/Swanson, Inc.
*3 Congress Street
Nashua, NH 03062
phone: 603.883.2057 x132
fax: 603.883.5057
eblatchford@hayner-swanson.com
www.hayner-swanson.com*

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TOWN OF HUDSON

Planning Board

Timothy Malley, Chairman



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

CAP FEE WORKSHEET - 2020

Date: 09-09-20 Zone # 1 Map/Lot: 215/4
36 Executive Dr.
 Project Name: 36 Executive Drive Building Addition
 Proposed ITE Use #1: Industrial
 Proposed Building Area (net square footage): 7,500 S.F.

CAP FEES: (ONE CHECK NEEDED)

1. (Bank 09) 2070-702 Zone 1	Warehousing (100,000 s.f @ \$0.70)	<u>\$ 70,000.00</u>
Total:		<u>\$ 70,000.00</u>

Check should be made payable to the Town of Hudson.

Thank you,

Brian Groth
Town Planner

MAP 215, LOT 4
SITE PLAN

PROPOSED BUILDING ADDITION

36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE 03051

3 Congress Street Nashua, NH 03062 (603) 883-2057
131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
www.hayner-swanson.com

Hayner/Swanson, Inc.



INDEX OF PLANS

SHEET No.	TITLE	
1 OF 22	MASTER SITE PLAN	1" = 80'
2 OF 22	MASTER SITE PLAN - NOTES	
3-4 OF 22	EXISTING CONDITIONS PLAN	1" = 50'
5-6 OF 22	SITE DEMOLITION PLAN	1" = 30'
7-8 OF 22	SITE GRADING & UTILITY PLAN	1" = 30'
9-10 OF 22	SITE LAYOUT PLAN	1" = 30'
11 OF 22	EROSION CONTROL PLAN	1" = 40'
12 OF 22	DETAIL SHEET - EROSION CONTROL	
13-14 OF 22	UTILITY PROFILES	1" = 20' H 1" = 4' V
15-18 OF 22	DETAIL SHEET - GENERAL SITE	
19 OF 22	LANDSCAPE PLAN	1" = 40'
20 OF 22	DETAIL SHEET - LANDSCAPE	
21 OF 22	PHOTOMETRIC LIGHTING PLAN	1" = 40'
22 OF 22	SITE PLAN DETAILS	
BUILDING ELEVATIONS		

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

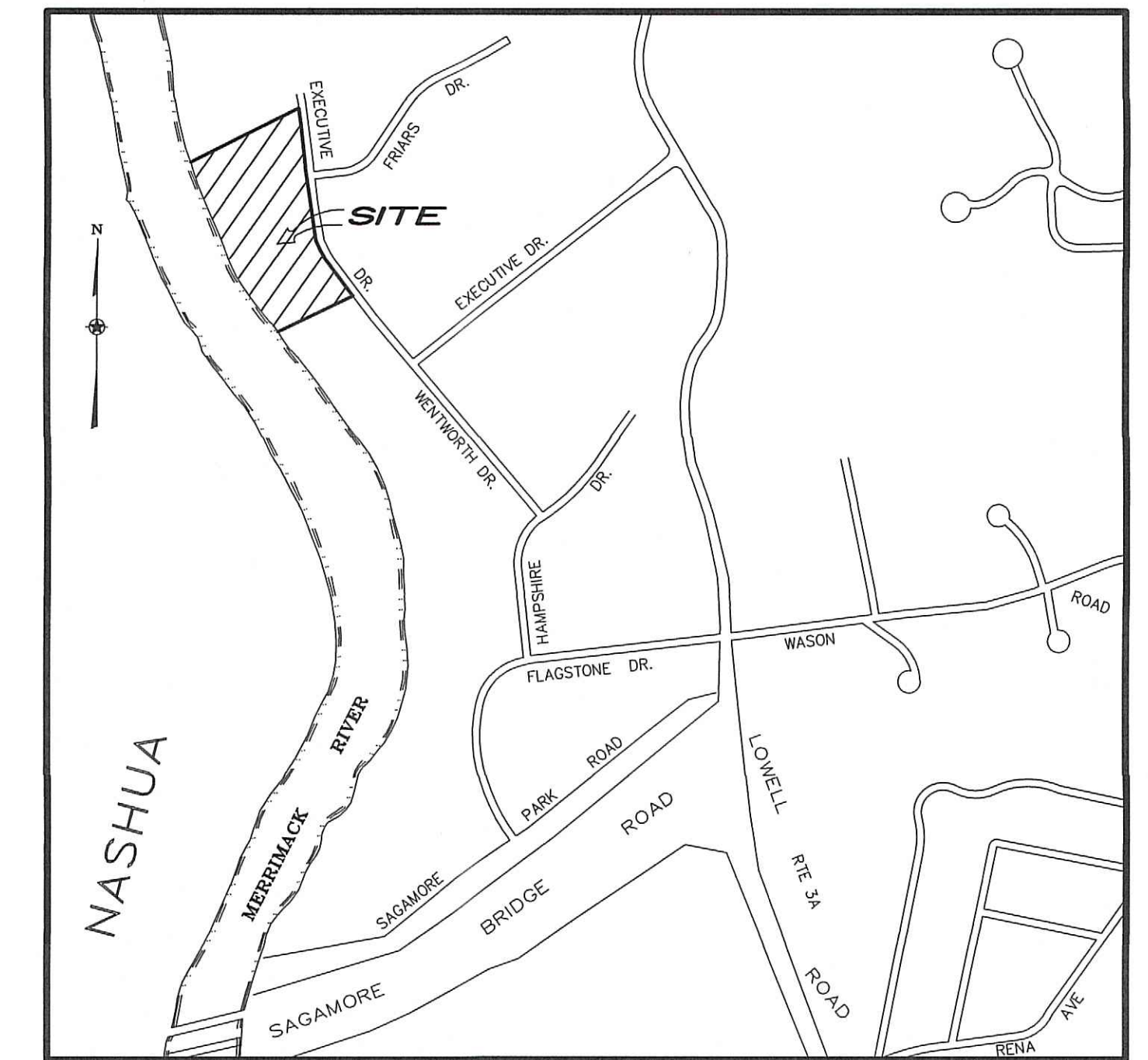
PREPARED FOR/RECORD OWNER

NV HUDSON INDUSTRIAL, LLC

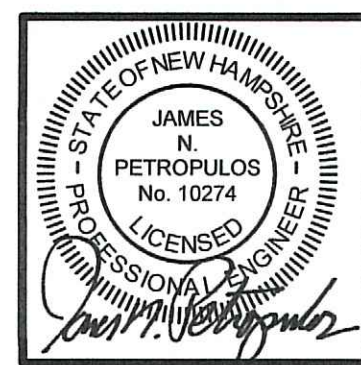
265 FRANKLIN STREET, SUITE 1001
BOSTON, MASSACHUSETTS 02110
(617) 391-3590

12 JUNE 2020

No.	DATE	REVISION	BY
1	09/29/20	TOWN AND NHDES COMMENTS	EDB
1	09/01/20	TOWN AND NHDES COMMENTS	EDB



VICINITY PLAN
SCALE: 1" = 1,000'

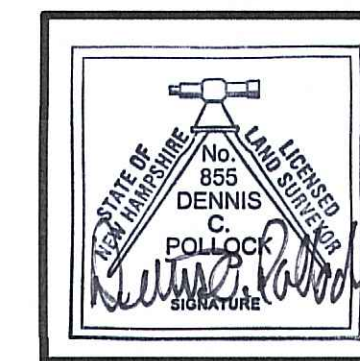


HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors

3 Congress Street
Nashua, NH 03062
(603) 883-2057

131 Middlesex Turnpike
Burlington, MA 01803
(781) 203-1501

www.hayner-swanson.com





ADDITIONAL ABUTTERS (ACROSS RIVER IN NASHUA):

MAP 'A' LOTS 73 & 867
RIVERVIEW LANDING, LLC
21 CONTINENTAL BLVD
MERRIMACK, NH 03054
BK 8221, PG 161

MAP 'A' LOTS 531 & 1001
PAUL J. PENNELL
70 FARMINGTON ROAD
NASHUA, NH 03080-5306
BK 5863, PG 277

MAP 22, LOT 7
BOSTON & MAINE CORP
C/O GUILFORD TRANSPORTATION IND.
IRON HORSE PARK
NASHUA, NH 03085-1991
BK 733, PG 170

ZONING NOTE

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

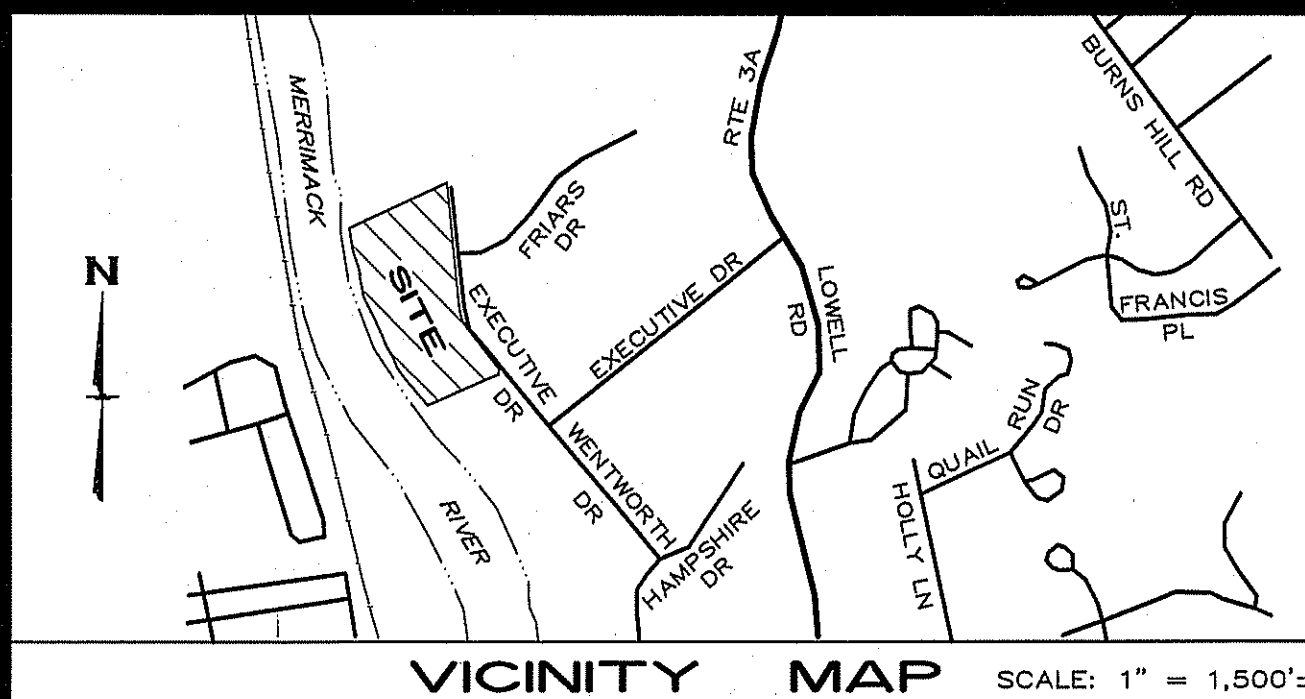
RIPARIAN NOTE:

THE PORTION OF THE MERRIMACK RIVER DEPICTED ON THIS PLAN, IS IDENTIFIED ON THE OFFICIAL LIST OF PUBLIC WATERS PURSUANT TO RSA 271:20(1) AND ALSO ON THE NHDES LIST OF WATERBODIES SUBJECT TO RSA 483-B, THE SHORELAND WATER QUALITY PROTECTION ACT (SWQPA).

UNDER THE PUBLIC TRUST DOCTRINE THE STATE HOLDS RIGHTS FOR USE BY THE PUBLIC OF THE WATER WAY FOR THE PEOPLE OF NEW HAMPSHIRE.

FOR THE PURPOSE OF THIS SURVEY THE MEAN HIGH WATER LINE OF THE MERRIMACK RIVER WAS HELD FOR COMPUTING LAND AREAS. THE UNDERLYING FEE OWNERSHIP FOR THE MERRIMACK RIVER IS NOT DETERMINED BY THIS SURVEY. OWNERSHIP MAY EXTEND TO CENTERLINE AS DEFINED BY COMMON LAW.

THE JURISDICTIONAL LINE BETWEEN THE TOWN OF HUDSON AND THE CITY OF NASHUA IS DEFINED BY THE CENTERLINE OF THE MERRIMACK RIVER.



NOTES:

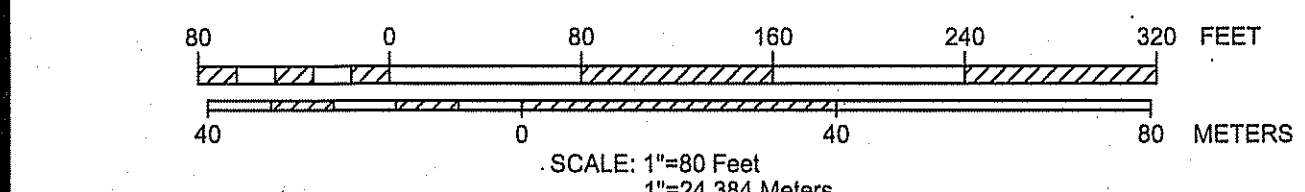
- LOT AREA: (MAP 215, LOT 4) 25.84+/- ACRES (1,125,700+/- SF)
- PRESENT ZONING: INDUSTRIAL
MINIMUM LOT REQUIREMENTS:
- LOT AREA: 30,000 SF
- LOT FRONTAGE: 150 FT
MINIMUM BUILDING SETBACKS REQUIREMENTS
- FRONT YARD: 50 FT
- SIDE YARD: 15 FT
- REAR YARD: 15 FT
- LOT NUMBERS REFER TO THE TOWN OF HUDSON ASSESSORS MAPS 209 AND 215.
- SITE IS CURRENTLY SERVICED BY MUNICIPAL WATER AND MUNICIPAL SEWER, GAS AND OVERHEAD ELECTRIC AND TELECOMMUNICATION UTILITIES.
- PURPOSE OF PLAN:
TO SHOW A PROPOSED 1-STORY, 100,000 SF HIGH BAY BUILDING ADDITION ALONG WITH ACCOMPANYING LOADING, PARKING, AND SITE IMPROVEMENTS.
- BUILDING AREA:
EXISTING BUILDING: 208,960 SF
PROPOSED ADDITION: 100,000 SF
TOTAL BUILDING AREA: 308,960 SF
- PARKING:
REQUIRED: 1 SPACE/600 SF x 308,960 SF (INDUSTRIAL) = 515 SPACES
PROVIDED: (INCLUDES 6 ACCESSIBLE SPACES) = 154 SPACES (WAIVER REQUESTED)
- LOADING:
REQUIRED: 32 SPACES
PROPOSED: 41 SPACES
- OPEN SPACE:
REQUIRED: 35%
PROVIDED: 50.29%
- THE SUBJECT SITE WAS INSPECTED BY A CERTIFIED WETLAND SCIENTIST ON APRIL 15, 2020 AND WAS DETERMINED THAT, AT THE DATE OF INSPECTION, THERE ARE NO WETLANDS OR ASSOCIATED BUFFERS AFFECTING THE PROPOSED WORK AREA ON THIS PROPERTY.
- ALL SIGNS ARE SUBJECT TO ALL REQUIREMENTS OF THE ZONING ORDINANCE AS DETERMINED DURING THE SIGN PERMIT APPLICATION PROCESS. ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD PRIOR TO INSTALLATION.
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT (LATEST EDITION).
- SITE LIGHTING SHALL BE SHOWN ON THE PLAN, DIRECTED ONTO THE SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN WITH THE EXCEPTION OF DECKS AND PORCHES (PROVIDED THEY CONFORM WITH THE REQUIREMENTS OF THE TOWN OF HUDSON ZONING BY-LAWS), OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
- TRASH PICK-UP SHALL NOT OCCUR EARLIER THAN 7:00 AM NOR LATER THAN 7:00 PM, MONDAY THRU SATURDAY ONLY.
- HOURS OF OPERATION: MONDAY - SATURDAY 24 HOURS (MULTIPLE SHIFTS).
- THERE ARE NO HIGHWAY PROJECTS LISTED UPON THIS PROPERTY.

NOTES CONTINUED ON SHEET 2 OF 22

No.	DATE	REVISION	BY
1	09/28/20	TOWN AND NHDES COMMENTS	EDB
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

MASTER SITE PLAN (MAP 215, LOT 4)
PROPOSED BUILDING ADDITION
36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

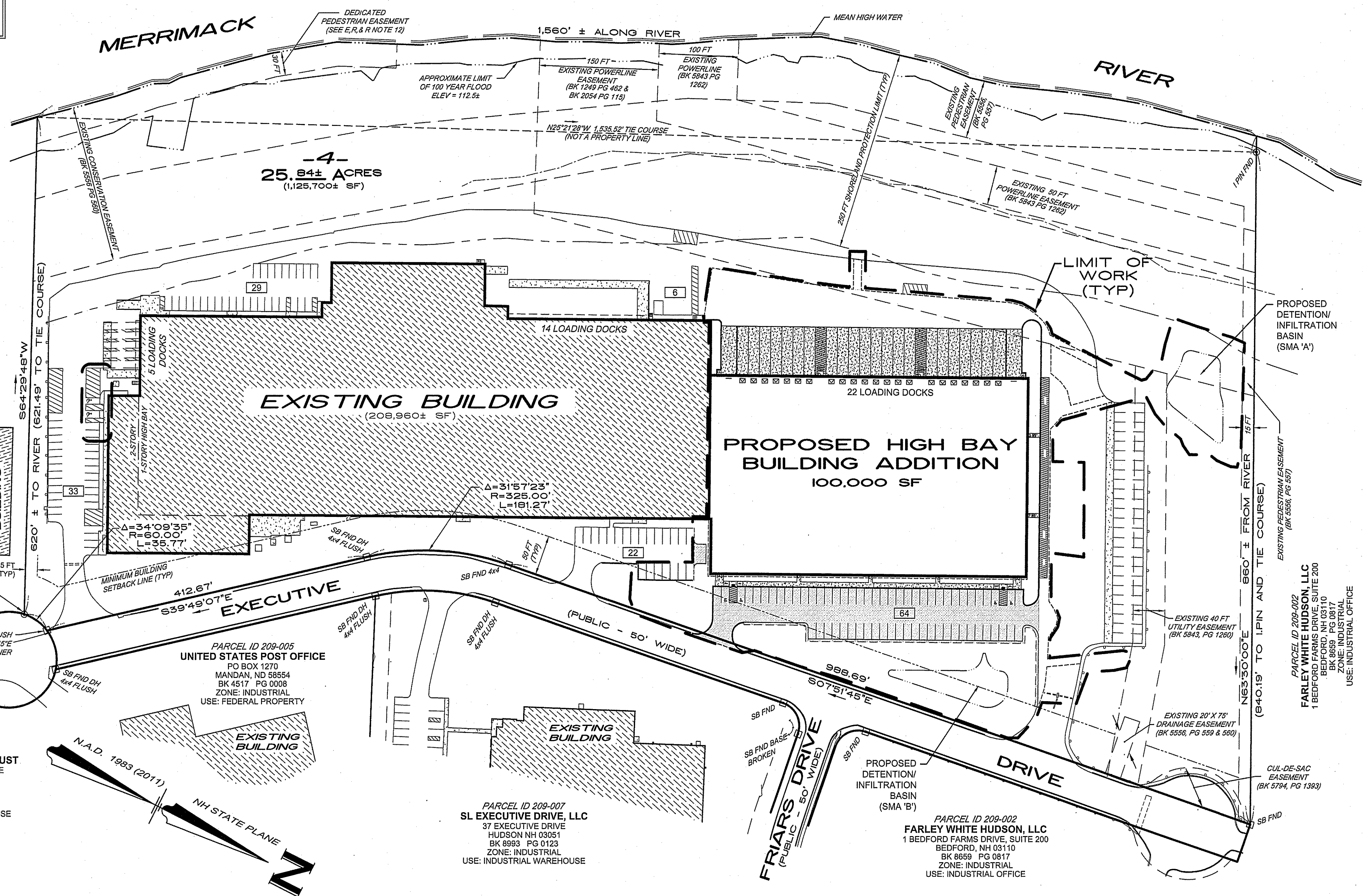
PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590



12 JUNE 2020

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street
Nashua, NH 03062
(603) 883-2057
131 Middlesex Turnpike
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(781) 203-1501
www.haynerswanson.com

FIELD BOOK: 1239	DRAWING NAME: 3889-SITE-F081	3889	1 OF 22
DRAWING LOC: J:\3000\3889\DWG\SITE	File Number	Sheet	



PARCEL ID 215-003
34 EXECUTIVE DRIVE, LLC
34 EXECUTIVE DRIVE
HUDSON, NH 03051
BK 8819, PG 2153
ZONE: INDUSTRIAL
USE: INDUSTRIAL WAREHOUSE

PARCEL ID 215-006
BLUEBERRY REALTY TRUST
CLIFF ANTONELLI, TRUSTEE
PO BOX 188
BEVERLY, MA 01815
BK 8713, PG 2416
ZONE: INDUSTRIAL
USE: INDUSTRIAL WAREHOUSE

PARCEL ID 209-005
UNITED STATES POST OFFICE
PO BOX 1270
MANDAN, ND 58554
BK 4517, PG 0008
ZONE: INDUSTRIAL
USE: FEDERAL PROPERTY

PARCEL ID 209-007
SL EXECUTIVE DRIVE, LLC
37 EXECUTIVE DRIVE
HUDSON NH 03051
BK 8993, PG 0123
ZONE: INDUSTRIAL
USE: INDUSTRIAL WAREHOUSE

PARCEL ID 209-002
FARLEY WHITE HUDSON, LLC
1 BEDFORD FARMS DRIVE, SUITE 200
BEDFORD, NH 03110
BK 8659, PG 0817
ZONE: INDUSTRIAL
USE: INDUSTRIAL OFFICE

PARCEL ID 209-002
FARLEY WHITE HUDSON, LLC
1 BEDFORD FARMS DRIVE, SUITE 200
BEDFORD, NH 03110
BK 8659, PG 0817
ZONE: INDUSTRIAL
USE: INDUSTRIAL OFFICE

WAIVERS REQUESTED:

SPR 275 - BC (2) REQUIRED PARKING SPACES
SPR 193-10.G ALLOWED CURB CUTS

PROPOSED DRIVEWAY SIGHT DISTANCES:

EXECUTIVE DRIVE: LOOKING NORTH - 720 FT* LOOKING SOUTH - 450+ FT
* TO END OF CUL-DE-SAC

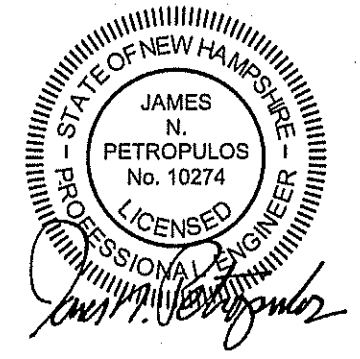
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



CERTIFICATION

PURSUANT TO RSA 676:18, III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I FURTHER CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

DATE: 9/24/20

DENNIS C. POLLOCK, LLS

NOTES - CONT'D:

18. ALL FIRE LANE MARKINGS FOR FIRE APPARATUS SHALL CONFORM WITH NFPA 1 REQUIREMENTS.
19. ADDRESSING OF INDIVIDUAL TENANT SPACES WILL NEED TO BE OBTAINED FROM THE HUDSON FIRE DEPARTMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT.
20. COMMON DRIVES SHALL HAVE PERMANENT SIGNS APPROVED BY THE HUDSON FIRE DEPARTMENT AND CONFORMING WITH ZONING REQUIREMENTS. NOTING ADDRESSES OF TENANT SPACES ACCESSED FROM THAT DRIVEWAY. THESE SIGNS SHALL BE APPROVED AND INSTALLED PRIOR TO ISSUANCE OF BUILDING PERMIT.
21. CONSTRUCTION HOURS ARE MONDAY THRU SATURDAY, 7:00 AM TO 7:00 PM, WITH NO CONSTRUCTION ACTIVITIES OCCURRING ON SUNDAYS. IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS OF 7:00 AM AND 5:00 PM, MONDAY THRU FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON SATURDAYS AND SUNDAYS.
22. SHEET 1 AND 2 OF 22 SHALL BE RECORDED AT THE HILLSBOROUGH REGISTRY OF DEEDS. A COMPLETE SET OF PLANS SHALL BE ON FILE WITH THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT.
23. THE SUBJECT PARCEL APPEARS TO BE LOCATED WITHIN THE SPECIAL FLOOD HAZARD ZONE 'AE' AND ZONE 'X' AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP(FIRM), HILLSBOROUGH COUNTY, TOWN OF HUDSON, NH, COMMUNITY No. 330092, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C0652E, REVISED DATE: APRIL 18, 2011 AND MAP NUMBER: 33011C0652D, DATED: SEPTEMBER 25, 2009.
24. PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY A LICENSED LAND SURVEYOR CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED SITE PLAN.
25. SNOW REMOVAL TO BE PLACED IN OPEN AREAS OF THE SITE AS SHOWN ON SHEETS 9 & 10 OF 22. IF NEEDED, EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
26. A CAP FEE IN THE AMOUNT OF \$ _____ SHALL BE PAID PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
27. THE DEVELOPMENT AGREEMENT FOR THIS PROJECT SHALL BE PLACED ON FILE WITH THE TOWN OF HUDSON PLANNING DEPARTMENT AND RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. THE INSPECTION AND MAINTENANCE PLAN FOR STORMWATER SHALL BE INCLUDED IN THE DEVELOPMENT AGREEMENT.
28. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, CALCULATIONS SHALL BE PROVIDED TO THE TOWN ENGINEER REGARDING THE EXISTING WATER METER HANDLING THE ADDITIONAL DEMAND FROM THE PROPOSED ADDITION.
29. PRESENT OWNER OF RECORD:
 MAP 215 LOT 4
 NV HUDSON INDUSTRIAL, LLC
 300 BAKER AVENUE, SUITE 180
 CONCORD, MA 01742
 BK. 9045, PG. 2116

PLAN REFERENCES:

1. PLAN OF LAND, 36 EXECUTIVE DRIVE, HUDSON, NH 03051, TAX MAP 215, LOT 4, PREPARED FOR: NOVAYA REAL ESTATE VENTURES, LLC, RECORD OWNER: SOUTHEASTERN CONTAINER, INC., SCALE: 1" = 50 FT, DATED: 12 JANUARY 2018, PREPARED BY: TAJ ENGINEERING, LLC. RECORDED: HCRD - PLAN No. 39570.
2. SOUTHEASTERN CONTAINER, INC. - ADDITION No. 4, LOT 14-2, MAP 10, SITE PLAN, 36 EXECUTIVE DRIVE, HILLSBOROUGH CO., HUDSON, NH, PREPARED FOR/RECORD OWNER: SOUTHEASTERN CONTAINER, INC., SCALE: 1" = 80', DATED: 28 AUGUST 1997 WITH REVISIONS THRU 10/14/97 AND PREPARED BY THIS OFFICE. RECORDED: HCRD - PLAN No. 28870.
3. SOUTHEASTERN CONTAINER, INC. - ADDITION No. 2, TAX MAP 10 LOT 14-2, TAX MAP 13 LOT 8, 36 EXECUTIVE DRIVE, HILLSBOROUGH CO., HUDSON, NH, PREPARED FOR: SOUTHEASTERN CONTAINER, INC., RECORD OWNERS: SOUTHEASTERN CONTAINER, INC. AND DIGITAL EQUIPMENT CORP. SCALE: 1" = 200', DATED: 1 MAY 1994 WITH REVISIONS THRU 08/01/94 AND PREPARED BY ALLAN H. SWANSON, INC. RECORDED: HCRD - PLAN No. 26916.
4. SOUTHEASTERN CONTAINER, INC. - ADDITION No. 2, SITE PLAN, TAX MAP 10 LOT 14-2, TAX MAP 13 LOT 8, 36 EXECUTIVE DRIVE, HILLSBOROUGH CO., HUDSON, NH, PREPARED FOR: SOUTHEASTERN CONTAINER, INC., RECORD OWNERS: SOUTHEASTERN CONTAINER, INC. AND DIGITAL EQUIPMENT CORP. SCALE: 1" = 50', DATED: 1 MAY 1994 WITH REVISIONS THRU 08/01/94 AND PREPARED BY ALLAN H. SWANSON, INC. RECORDED: HCRD - PLAN No. 26915.
5. SITE PLAN, MAP 10, LOT 14-2, SOUTHEASTERN CONTAINER, INC., 36 EXECUTIVE DRIVE, HUDSON, NH, SCALE: 1" = 40', DATED: 12 MAY 1993 WITH REVISIONS THRU 05/24 AND PREPARED BY HOYLE, TANNER & ASSOCIATES, INC. CONSULTING ENGINEERS. RECORDED: HCRD - PLAN No. 26946.
6. SITE PLAN, LOT 14-2 / MAP 10, WENTWORTH DRIVE, HUDSON, NH, PREPARED FOR: PAUL VILLEMAIRE, KPV REALTY TRUST, SCALE: 1" = 40', DATED: MAY 1984 AND PREPARED BY MAYNARD & PAQUETTE INC. RECORDED: HCRD - PLAN No. 17063.
7. RESUBDIVISION PLAN, ROBERT ROBBINS & FERD CORP & UPACO ADHESIVES INC., HUDSON, NEW HAMPSHIRE, SCALE: 1" = 100', DATED: 14 NOVEMBER 1973 WITH REVISIONS THRU 06/02/76 AND PREPARED BY THOMAS F. MORAN INC. RECORDED: HCRD - PLAN No. 9509.
8. AS-BUILT PLAN, SOUTHEASTERN CONTAINER, INC. - ADDITION No. 2, TAX MAP 10 LOT 14-2 AND TAX MAP 13 LOT 8, 36 EXECUTIVE DRIVE, HILLSBOROUGH CO., HUDSON, NEW HAMPSHIRE, SCALE: 1" = 50', DATED: 16 NOVEMBER 1994, CLIENT: SOUTHEASTERN CONTAINER, INC., RECORD OWNER: SOUTHEASTERN CONTAINER, INC. AND DIGITAL EQUIPMENT CORP. AND PREPARED BY ALLAN H. SWANSON, INC.

EASEMENTS, RIGHTS AND RESTRICTIONS:

1. RIGHT AND EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE, DATED FEBRUARY 28, 1950 AND RECORDED AT BK 1249, PG 462.
2. RIGHT AND EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE, DATED SEPTEMBER 11, 1959 AND RECORDED AT BK 2054, PG 115.
3. TERMS, COVENANTS AND CONDITIONS IN AGREEMENT WITH THE TOWN OF HUDSON, DATED JULY 30, 1976 AND RECORDED AT BK 2476, PG 771.
4. PROTECTIVE COVENANT STANDARDS FOR LAND KNOWN AS EXECUTIVE PARK, DATED MAY 3, 1979 AND RECORDED AT BK 2686, PAGE 256, AS AMENDED BY MODIFIED PROTECTIVE COVENANT STANDARDS FOR LAND KNOWN AS EXECUTIVE PARK, DATED NOVEMBER 9, 1979 AND RECORDED AT BK 2734, PG 704.
5. DEVELOPMENT AGREEMENT WITH THE TOWN OF HUDSON, DATED JUNE 2, 1993 AND RECORDED AT BK 5439, PG 1519.
6. RIGHT AND EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE, DATED JULY 15, 1993 AND RECORDED AT BK 5461, PG 1135.
7. NOTICE OF APPROVAL ISSUED BY THE HUDSON ZONING BOARD OF ADJUSTMENT RE: VARIANCE, DATED FEBRUARY 24, 1994 AND RECORDED AT BK 5330, PG 1425.
8. NOTICE OF APPROVAL ISSUED BY THE HUDSON ZONING BOARD OF ADJUSTMENT RE: VARIANCE, DATED FEBRUARY 24, 1994 AND RECORDED AT BK 5330, PG 1429.
9. DEVELOPMENT AGREEMENT WITH THE TOWN OF HUDSON, DATED JUNE 13, 1994 AND RECORDED AT BK 5556, PG 540.
10. DEVELOPMENT AGREEMENT WITH THE TOWN OF HUDSON, DATED JUNE 13, 1994 AND RECORDED AT BK 5556, PG 545.
11. PEDESTRIAN EASEMENT GRANTED TO THE TOWN OF HUDSON, DATED JUNE 13, 1994 AND RECORDED AT BK 5556, PG 557.
12. PEDESTRIAN EASEMENT AS ORIGINALLY DEDICATED ON SITE PLAN, DATED MAY 1984 AND RECORDED AS PLAN No. 17063 AND SUBSEQUENTLY ON SUBDIVISION / CONSOLIDATION PLAN, DATED 01 MAY, 1994 AND RECORDED AS PLAN No. 26916. HOWEVER, NO RECORDED DOCUMENT FOUND MEMORIALIZING THIS EASEMENT.
13. DRAINAGE EASEMENT GRANTED TO THE TOWN OF HUDSON, DATED JUNE 13, 1994 AND RECORDED AT BK 5556, 559.
14. CONSERVATION EASEMENT GRANTED TO THE TOWN OF HUDSON, DATED JUNE 13, 1994 AND RECORDED AT BK 5556, PG 560.
15. EASEMENTS, RESTRICTIONS AND RIGHTS IN DEED FROM DIGITAL EQUIPMENT CORPORATION TO SOUTHEASTERN CONTAINER, INC., DATED JUNE 14, 1994 AND RECORDED AT BK 5556, PG 1875.
16. RECIPROCAL EASEMENT AGREEMENT BETWEEN DIGITAL EQUIPMENT CORPORATION AND SOUTHEASTERN CONTAINER, INC. DATED JUNE 17, 1994 AND RECORDED AT BK 5556, PG 1878.
17. DEED AND EASEMENT GRANTED TO THE TOWN OF HUDSON, DATED FEBRUARY 24, 1997 AND RECORDED AT BK 5794, PG 1393.
18. RIGHT AND EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE, DATED JULY 17, 1997 AND RECORDED AT BK 5843, PG 1260.
19. RIGHT AND EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE, DATED JULY 17, 1997 AND RECORDED AT BK 5843, PG 1262.
20. DEVELOPMENT AGREEMENT WITH THE TOWN OF HUDSON, DATED OCTOBER 21, 1997 AND RECORDED AT BK 5864, PG 1604.
21. RIGHTS OF THE STATE OF NEW HAMPSHIRE, THE PUBLIC AND OTHERS IN AND TO THE WATER OF THE MERRIMACK RIVER AND THE NATURAL FLOW THEREOF, AND TO THAT PORTION OF THE PROPERTY LYING BELOW THE MEAN HIGHWATER MARK OF THE MERRIMACK RIVER.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

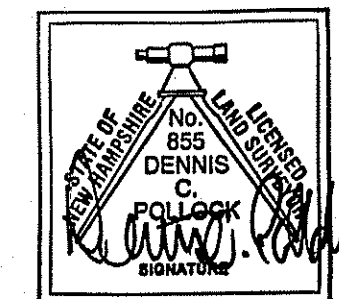
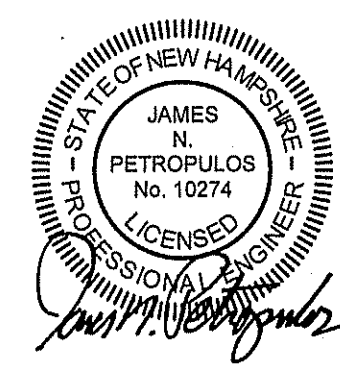
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



No.	DATE	REVISION	BY
1	09/29/20	TOWN AND NHDES COMMENTS	EDB
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

MASTER SITE PLAN - NOTES
(MAP 215, LOT 4)

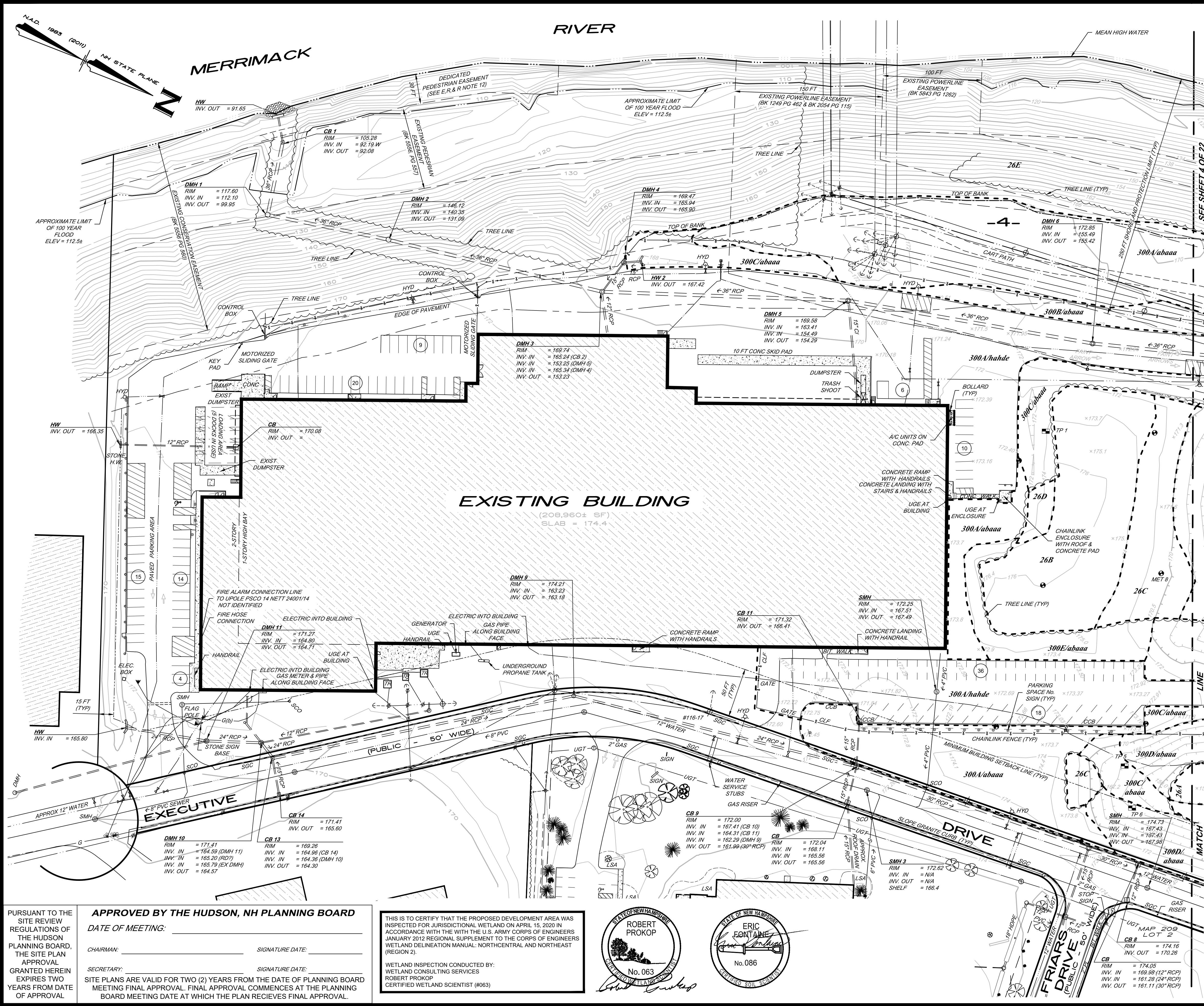
PROPOSED BUILDING ADDITION
 36 EXECUTIVE DRIVE
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
 265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

NO SCALE

12 JUNE 2020

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- SURVEY NOTES:**
- TOPOGRAPHY, INVERTS AND SITE DETAILS ARE A COMPILATION OF THAT TAKEN FROM PREVIOUS AS-BUILT PLAN (PLAN REF. No. 8) AND ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE IN FEBRUARY 2020 THRU APRIL 2020.
 - UTILITIES SHOWN ARE APPROXIMATE BASED ON RECORD PLANS, OBSERVED EVIDENCE AND UTILITY DETECTION PERFORMED BY THIS OFFICE IN MARCH 2020.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
 - SURVEY CONTROL:
HORIZONTAL DATUM: NAD83/2011 PROJECTION: NH STATE PLANE
VERTICAL DATUM: NGVD29 SCALE FACTOR APPLIED: 1.000000
UNITS: US SURVEY FEET
* VERTICAL DATUM WAS VERIFIED USING GPS (KEYNET NETWORK) BY TAKING OBSERVATIONS ON SITE AND ON NGS (FORMERLY USGS) DISK D-26 LOCATED ON THE NORTHERLY SIDE OF RTE 101A APPROXIMATELY 4.5 MILES WEST OF THE NASHUA LIBRARY.
 - THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES. SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
 - TEST PITS AS SHOWN ARE APPROXIMATE. TEST PITS WERE PERFORMED IN MARCH 2020 UNDER THE SUPERVISION OF HAYNER/SWANSON, INC., NASHUA, NH
 - BORINGS WERE PERFORMED IN MARCH 2020 UNDER THE SUPERVISION OF MILLER ENGINEERING AND TESTING, INC. MANCHESTER, NH.
 - THIS SITE CONTAINS WINDSOR (WMA W/C) SOILS AS DETERMINED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA) NATURAL RESOURCES CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY.
 - SEE SHEET 2 FOR EASEMENTS, RIGHTS AND RESTRICTIONS NOTE.

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

UTILITY QUALITY LEGEND

SUBSURFACE UTILITIES AS DEPICTED ON THIS PLAN ARE IDENTIFIED BY QUALITY LEVELS DEFINED BY C/ASCE 38-02 "ASCE STANDARD GUIDELINE FOR COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

- LEVEL A (a) PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY ACTUAL EXPOSURE AND SUBSEQUENT MEASUREMENTS OF SUBSURFACE UTILITIES.
- LEVEL B (b) INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. (E. DIGSAFE)
- LEVEL C (c) INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.
- LEVEL D (d) INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

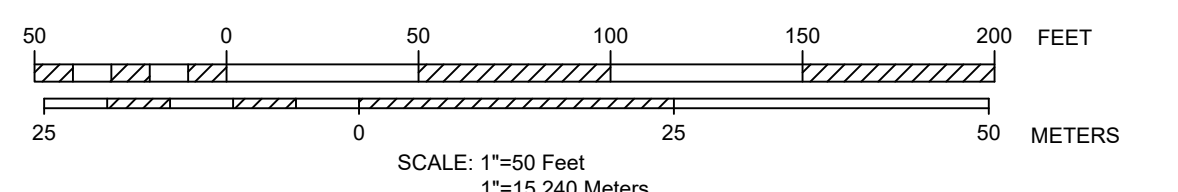
No.	DATE	REVISION	BY
1	09/29/20	TOWN AND NHDES COMMENTS	EDB
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

EXISTING CONDITIONS PLAN (MAP 215, LOT 4)

PROPOSED BUILDING ADDITION

36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590



12 JUNE 2020

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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

THIS IS TO CERTIFY THAT THE PROPOSED DEVELOPMENT AREA WAS INSPECTED FOR JURISDICTIONAL WETLAND ON APRIL 15, 2020 IN ACCORDANCE WITH THE WITH THE U.S. ARMY CORPS OF ENGINEERS JANUARY 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST (REGION 2).

WETLAND INSPECTION CONDUCTED BY:
WETLAND CONSULTING SERVICES
ROBERT PROKOP
CERTIFIED WETLAND SCIENTIST (#063)

STATE OF NEW HAMPSHIRE
ROBERT PROKOP
No. 063
WETLAND SCIENTIST

STATE OF NEW HAMPSHIRE
ERIC FONTAINE
No. 086
CERTIFIED SOIL SCIENTIST

TEST PIT LOG

HSI # 3889
 MAP 10 LOT 14-2
 NOVAYA REAL ESTATE VENTURES, LLC
 36 EXECUTIVE DRIVE
 HUDSON, NH

TEST PIT # 1 DATE: 3/30/20 (AREA THAT HAS BEEN REGRADED)

0-6" 10YR 3/3, DARK BROWN, FINE SANDY LOAM FILL, WEAK FINE GRANULAR, VERY FRIABLE WITH FEW ROOTS
 6-13" 10YR 5/6, YELLOWISH BROWN, LOAMY SAND, FINE GRANULAR, FRIABLE WITH FEW ROOTS
 13-34" 10YR 6/6, BROWNISH YELLOW, LOAMY SAND, GRANULAR, FRIABLE WITH FEW ROOTS
 34-44" 10YR 7/4, VERY PALE BROWN, SAND, SINGLE GRAIN, LOOSE WITH FEW ROOTS TO 44"
 44-72" 10YR 5/4, YELLOWISH BROWN, GRAVELLY SAND, 15% ROUNDED COBBLES, 5% GRAVEL, SINGLE GRAIN AND LOOSE
 72-104" 10YR 7/4, VERY PALE BROWN, SAND, SINGLE GRAIN AND LOOSE
 104-150" 10YR 6/3, PALE BROWN, GRAVELLY SAND, 10% ROUNDED COBBLES, 10% GRAVEL, SINGLE GRAIN AND LOOSE

ESHWT: NONE OWT: NONE ROOTS: 44" LEDGE: NONE

TEST PIT # 2 DATE: 3/30/20 (MOWED GRASS AREA)

0-12" 10YR 3/3, DARK BROWN, FINE SANDY LOAM FILL, WEAK FINE GRANULAR, VERY FRIABLE WITH FEW ROOTS
 12-26" 10YR 5/6, YELLOWISH BROWN, SANDY LOAM FILL, FINE GRANULAR, VERY FRIABLE WITH FEW ROOTS
 26-30" 10YR 3/3, DARK BROWN, FINE SANDY LOAM, WEAK FINE GRANULAR, FRIABLE WITH FEW ROOTS
 30-45" 10YR 5/8, YELLOWISH BROWN, SANDY LOAM, FINE GRANULAR, FRIABLE WITH FEW ROOTS
 45-96" 10YR 6/3, PALE BROWN, LOAMY SAND, FINE GRANULAR, FRIABLE WITH FEW ROOTS TO 45"

ESHWT: NONE OWT: NONE ROOTS: 48" LEDGE: NONE

TEST PIT # 3 DATE: 3/30/20

0-7" 10YR 3/3, DARK BROWN, FINE SANDY LOAM, WEAK FINE GRANULAR, VERY FRIABLE WITH MANY ROOTS
 7-24" 10YR 5/6, YELLOWISH BROWN, SANDY LOAM, FINE GRANULAR, FRIABLE WITH COMMON ROOTS
 24-40" 10YR 6/6, BROWNISH YELLOW, MEDIUM SAND, SINGLE GRAIN, LOOSE WITH FEW ROOTS
 40-82" 10YR 3/3, PALE BROWN, COARSE GRAVELLY SAND, 25% ROUNDED COBBLES, 15% GRAVEL, SINGLE GRAIN, LOOSE WITH FEW ROOTS TO 72"
 82-108" 10YR 6/3, PALE BROWN, GRAVELLY SAND, 15% ROUNDED COBBLES, 10% GRAVEL, SINGLE GRAIN AND LOOSE
 108-144" 10YR 6/3, PALE BROWN, COARSE GRAVELLY SAND, 25% ROUNDED COBBLES, 15% GRAVEL, SINGLE GRAIN AND LOOSE

ESHWT: NONE OWT: NONE ROOTS: 72" LEDGE: NONE

TEST PIT # 4 DATE: 3/30/20 (MOWED GRASS AREA)

0-66" 10YR 3/3, DARK BROWN, FINE SANDY LOAM FILL, WEAK FINE GRANULAR, VERY FRIABLE WITH NO ROOTS
 66-75" 10YR 6/4, YELLOWISH BROWN, GRAVELLY LOAMY SAND, 5% ROUNDED COBBLES, 10% GRAVEL, GRANULAR AND FRIABLE
 75-96" 10YR 6/3, PALE BROWN, MEDIUM SAND, SINGLE GRAIN AND LOOSE

ESHWT: NONE OWT: NONE ROOTS: NONE LEDGE: NONE

TEST PIT # 5 DATE: 3/30/20 (EDGE OF MOWED GRASS AREA)

0-34" 10YR 3/3, DARK BROWN, FINE SANDY LOAM FILL, WEAK FINE GRANULAR, VERY FRIABLE WITH MANY ROOTS
 34-60" 10YR 5/4, YELLOWISH BROWN, GRAVELLY LOAMY SAND, 5% ROUNDED COBBLES, 15% GRAVEL, GRANULAR, FRIABLE WITH COMMON TO FEW ROOTS
 60-84" 10YR 6/3, PALE BROWN, MEDIUM SAND, SINGLE GRAIN, LOOSE WITH FEW ROOTS TO 72"

ESHWT: NONE OWT: NONE ROOTS: 72" LEDGE: NONE

TEST PIT # 6 DATE: 3/30/20 (MOWED GRASS AREA)

0-6" 10YR 3/3, DARK BROWN, FINE SANDY LOAM FILL, WEAK FINE GRANULAR, VERY FRIABLE WITH NO ROOTS
 6-18" 10YR 6/4, LIGHT YELLOWISH BROWN, FINE LOAMY SAND FILL, WEAK FINE GRANULAR AND FRIABLE
 18-48" 10YR 6/3, PALE BROWN, GRAVELLY LOAMY SAND FILL, 10% ROUNDED COBBLES, 10% GRAVEL, FINE GRANULAR AND FRIABLE
 48-54" 10YR 3/2, VERY DARK GRAYISH BROWN, FINE SANDY LOAM, WEAK FINE GRANULAR AND FRIABLE WITH FEW ROOTS
 54-68" 10YR 5/6, YELLOWISH BROWN, SANDY LOAM, FINE GRANULAR, FRIABLE WITH FEW ROOTS
 68-88" 10YR 5/4, YELLOWISH BROWN, GRAVELLY SAND, 15% ROUNDED COBBLES, 15% GRAVEL, SINGLE GRAIN AND LOOSE WITH FEW ROOTS TO 80"
 88-96" 10YR 6/3, PALE BROWN, MEDIUM SAND, SINGLE GRAIN AND LOOSE

ESHWT: NONE OWT: NONE ROOTS: 80" LEDGE: NONE

TEST PIT # 7 DATE: 3/30/20 (EDGE MOWED GRASS AREA)

0-24" 10YR 3/3, DARK BROWN, FINE SANDY LOAM FILL, MASSIVE, VERY FRIABLE WITH FEW ROOTS
 24-30" 10YR 6/4, LIGHT YELLOWISH BROWN, LOAMY SAND FILL, FINE GRANULAR AND FRIABLE WITH FEW ROOTS
 30-52" 10YR 5/4, YELLOWISH BROWN, GRAVELLY LOAMY SAND, 5% ROUNDED COBBLES, 5% GRAVEL, GRANULAR AND FRIABLE WITH COMMON ROOTS
 52-96" 10YR 6/3, PALE BROWN, GRAVELLY SAND, 5% ROUNDED COBBLES, 10% GRAVEL, SINGLE GRAIN AND LOOSE WITH FEW ROOTS TO 78"

ESHWT: NONE OWT: NONE ROOTS: 78" LEDGE: NONE

LEGEND

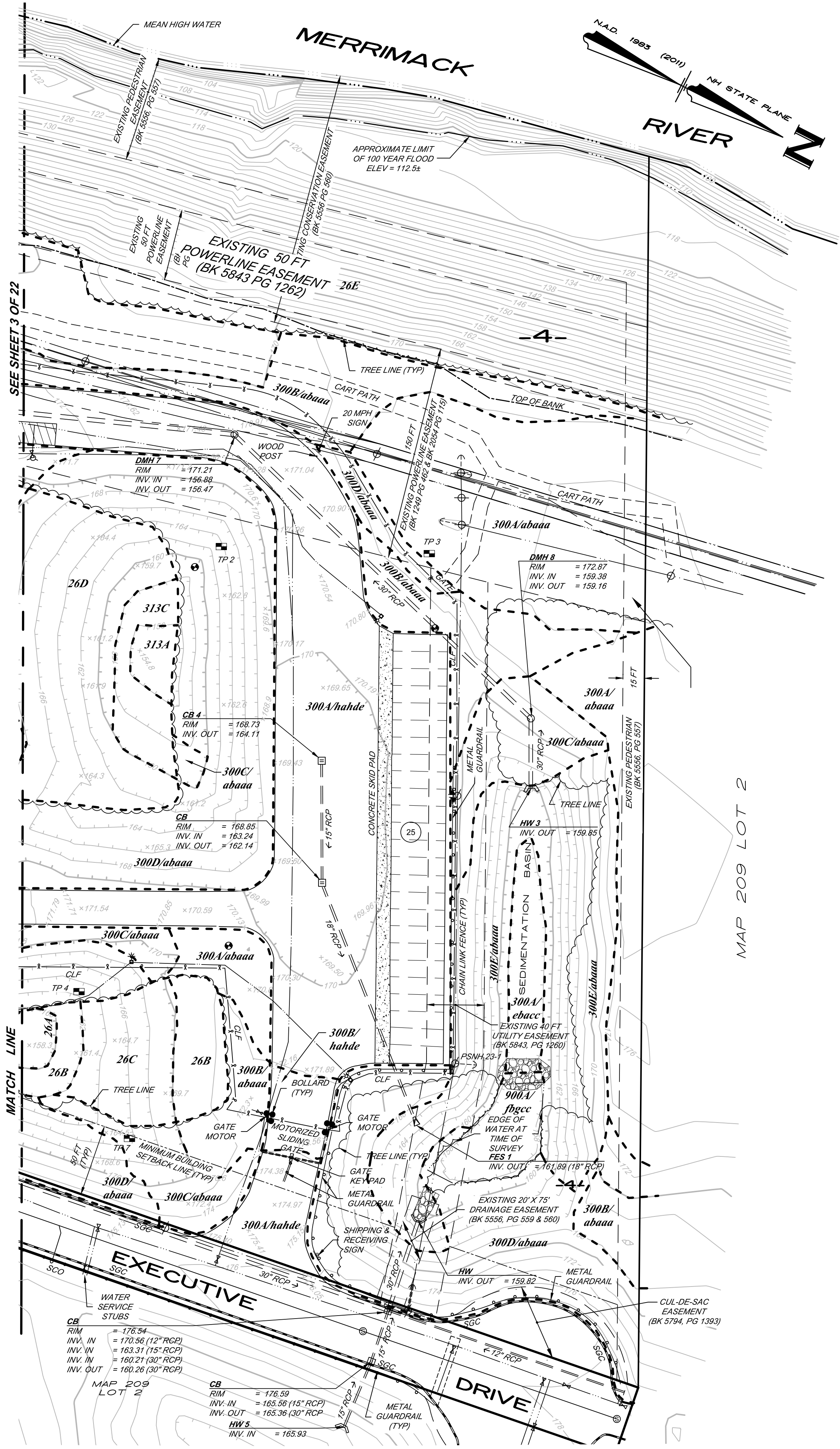
- 100 EXISTING GROUND CONTOUR
- +100.5 EXISTING SPOT ELEVATION
- 100 PROPOSED GRADE
- +100.5 PROPOSED SPOT GRADE
- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLE
- STORM DRAIN & HEADWALL
- STORM DRAIN & END SECTION
- SANITARY SEWER & MANHOLE
- WATER MAIN & HYDRANT
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT
- OVERHEAD ELECTRIC & TELEPHONE
- UNDERGROUND ELEC/TEL & MANHOLES
- SIGN
- TREE LINE
- STONE BOUND
- IRON PIN
- IRON PIPE
- TEMPORARY BENCHMARK
- BUILDING SETBACK LINE
- CHAINLINK FENCE
- CURBING
- VERTICAL GRANITE CURBING
- SLOPE GRANITE CURBING
- STORMWATER RUNOFF DIRECTION
- HANDICAP PARKING SPACE
- HANDICAP SIDEWALK RAMP
- PARKING SPACE COUNT
- GUARDRAIL
- PAVEMENT SAWCUT
- CONCRETE
- PROPOSED LIGHT DUTY PAVEMENT
- PROPOSED HEAVY DUTY PAVEMENT
- RIPRAP / STONE
- BORING LOCATION & IDENTIFIER
- TEST PIT LOCATION & IDENTIFIER
- RETAINING WALL
- CONIFEROUS TREE
- DECIDUOUS TREE

UTILITY QUALITY LEGEND

- SUBSURFACE UTILITIES AS DEPICTED ON THIS PLAN ARE IDENTIFIED BY QUALITY LEVELS DEFINED BY CI/ASCE 38-02 "ASCE STANDARD GUIDELINE FOR COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"
- LEVEL A (a) PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY ACTUAL EXPOSURE AND SUBSEQUENT MEASUREMENTS OF SUBSURFACE UTILITIES.
- LEVEL B (b) INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. (E. DIGSAFE)
- LEVEL C (c) INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.
- LEVEL D (d) INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.



SOIL NOTES

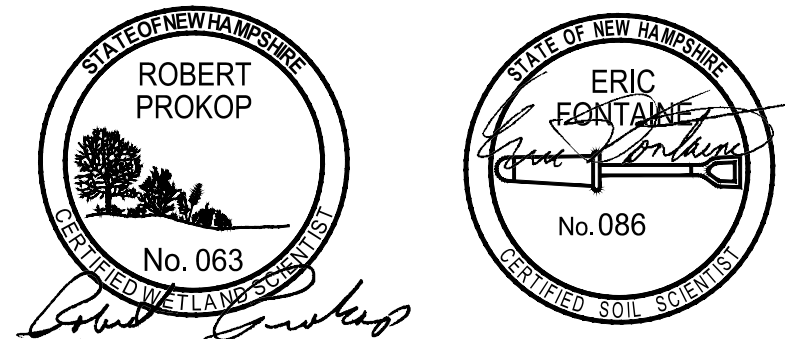
1. SITE SPECIFIC SOIL MAPPING WAS PERFORMED BY ROBERT PROKOP, NH CERTIFIED WETLAND SCIENTIST (#063) AND ERIC FONTAINE, NH CERTIFIED SOIL SCIENTIST (#086) ON APRIL 15, 2020 TO THE SITE SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT, SPECIAL PUBLICATION NUMBER #3, DECEMBER, 2006.
2. NO WETLANDS WERE FLAGGED ON THE SITE, ALTHOUGH AN AREA OF STANDING WATER WAS FOUND AS PART OF A DETENTION BASIN (300A SOIL).
3. THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR USE AS A PLANNING DOCUMENT FOR SITE DEVELOPMENT CONSTRUCTION. IT WAS COMPLETED BY A NH CERTIFIED WETLAND SCIENTIST AND NH CERTIFIED SOIL SCIENTIST AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A NARRATIVE REPORT DATED JUNE 10, 2020 THAT ACCOMPANIES THIS MAP.
4. THE SOIL MAP UNITS IDENTIFIED FOR THE 26.6 ACRE SOUTHERN CONTAINER, INC. SITE LOCATED AT 36 EXECUTIVE DRIVE IN HUDSON, NH (MAP 10 LOT 14.2) ARE IDENTIFIED BELOW USING THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, ISSUE #10, JANUARY 2011.
5. ONLY THE NORTHERN HALF OF THE SITE WAS MAPPED WHERE THE BUILDING ADDITION IS PROPOSED.

Soil Type*	Soil Taxonomic Name	Slope	Drainage**	Hydrologic Group
26A	Windsor	0 to 3%	EX	A
26B	Windsor	3 to 8%	EX	A
26C	Windsor	8 to 15%	EX	A
26D	Windsor	15 to 25%	EX	A
313A	Deerfield	0 to 3%	Mw	B
313B	Deerfield	3 to 8%	Mw	B
300A/abede*	Udipsammnets, smooth	0 to 3%	EX/Ud	A/Ud
300B/abede*	Udipsammnets, smooth	3 to 8%	EX/Ud	A/Ud
300C/abede*	Udipsammnets, smooth	8 to 15%	EX/Ud	A/Ud
300D/abede*	Udipsammnets, smooth	15 to 25%	EX/Ud	A/Ud
300E/abede*	Udipsammnets, smooth	25 to 50%	EX	A
900A/P/abede*	Endoaquent, sandy	0 to 3%	P	C

*For a Disturbed Soil (e.g. 300 series), the lower case letter refers to:
 a = Drainage Class, b = Parent Material, c = Restrictive/Impervious layer, d = Estimated Ksat, e = Hydrologic Soil Group (also see Appendix A from report).

**Ex = excessively well drained; Mw = moderately well drained; P = poorly drained; Ud = undetermined

SOILS INFORMATION SHOWN PREPARED BY:
 ROBERT PROKOP
 WETLAND CONSULTING SERVICES
 NH CERTIFIED WETLAND SCIENTIST No. 063
 AND
 ERIC FONTAINE
 NH CERTIFIED SOIL SCIENTIST No. 086



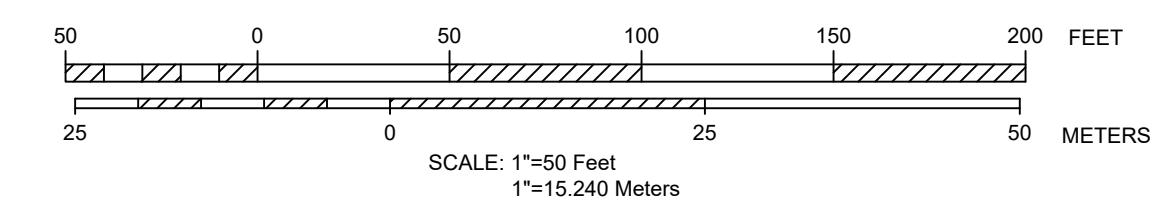
THIS IS TO CERTIFY THAT THE PROPOSED DEVELOPMENT AREA WAS INSPECTED FOR JURISDICTIONAL WETLAND ON APRIL 15, 2020 IN ACCORDANCE WITH THE WITH THE U.S. ARMY CORPS OF ENGINEERS JANUARY 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST (REGION 2).

WETLAND INSPECTION CONDUCTED BY:
 WETLAND CONSULTING SERVICES
 ROBERT PROKOP
 CERTIFIED WETLAND SCIENTIST (#063)

No.	DATE	REVISION	BY
1	09/29/20	TOWN AND NHDES COMMENTS	EDB
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

EXISTING CONDITIONS PLAN (MAP 215, LOT 4)
PROPOSED BUILDING ADDITION
 36 EXECUTIVE DRIVE
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
 265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590



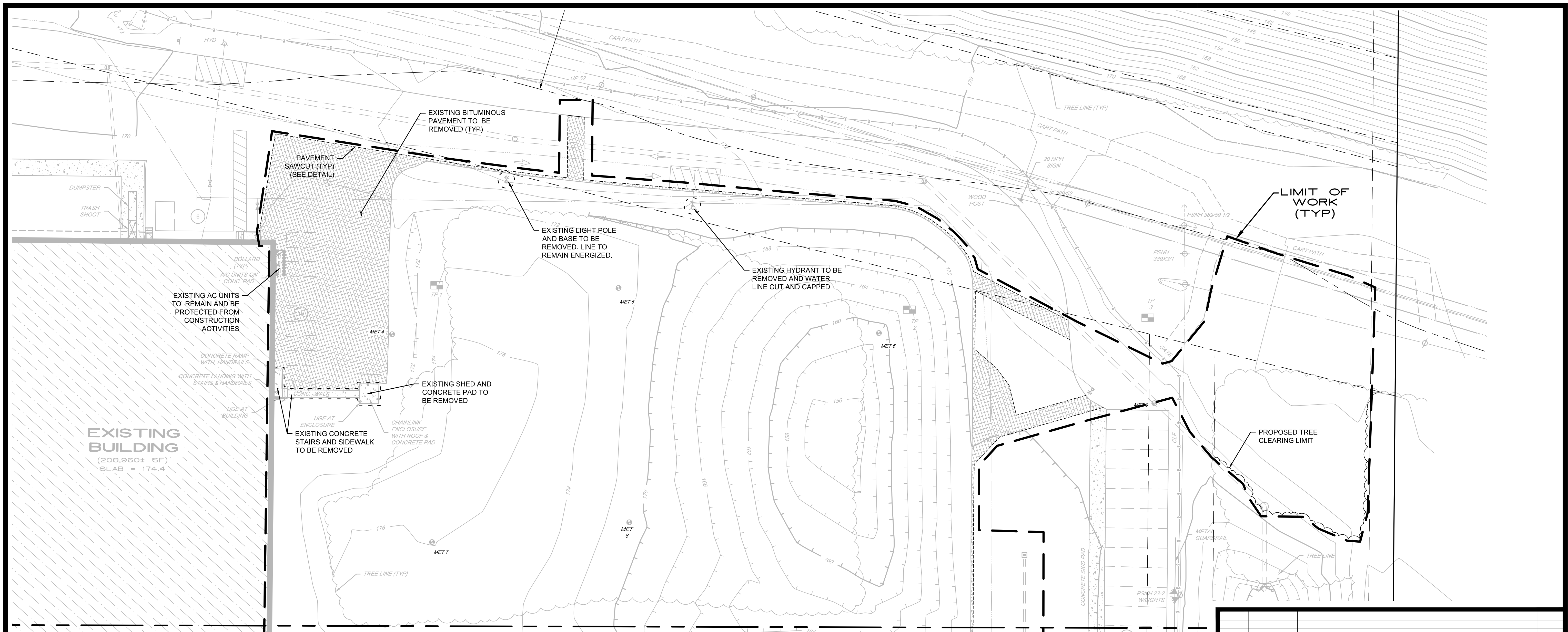
12 JUNE 2020

HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 3 Congress Street
 Nashua, NH 03062
 (603) 883-2057
 www.haynerswanson.com

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

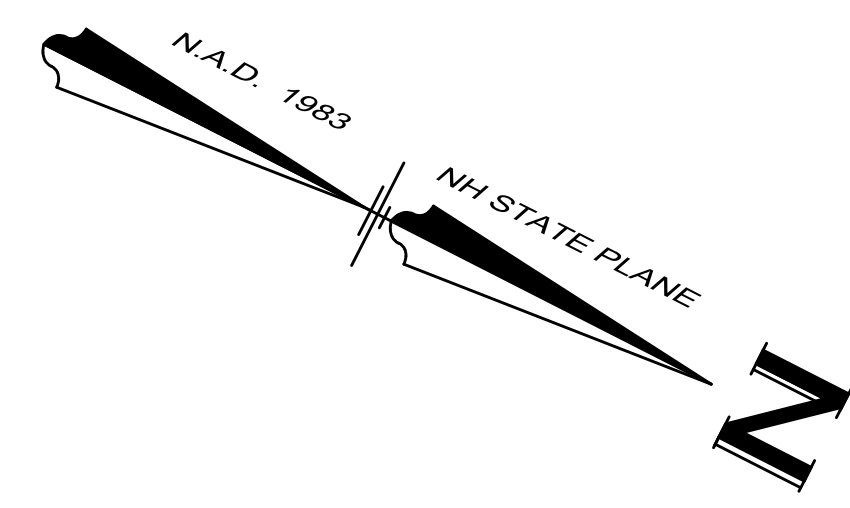
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 CHAIRMAN: _____ SIGNATURE DATE: _____
 SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



MATCH LINE

SEE SHEET 6 OF 22



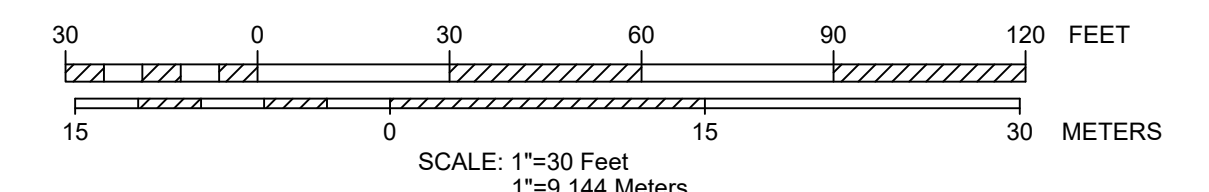
SITE DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES. THE CONTRACTOR SHALL COORDINATE WITH TOWN OF HUDSON OFFICIALS ALL WORK INVOLVING WATER SUPPLY, SANITARY SEWER, AND IF NECESSARY STORMWATER MANAGEMENT.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON SITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBERGLASS PIPE (HEAT), FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
7. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
8. THE CONTRACTOR SHALL TAKE CARE DURING DEMOLITION WORK THAT NO DEBRIS ENTERS THE TOWN OF HUDSON SEWER SYSTEM. SEWER SERVICE DEMOLITION/ABANDONMENT WORK SHALL BE PERFORMED IN THE PRESENCE OF A CITY INSPECTOR.
9. THE CONTRACTOR SHALL TAKE CARE TO MINIMIZE DUST ENTERING THE TRAVEL WAY OF EXECUTIVE DRIVE OR ANY OTHER RIGHT OF WAY AREAS BY APPROPRIATE MITIGATION METHODS.
10. THE CONTRACTOR SHALL OBTAIN A STREET EXCAVATION PERMIT FOR ANY WORK IN THE TOWN RIGHT OF WAY.

No.	DATE	REVISION	BY
1	09/29/20	TOWN AND NHDES COMMENTS	EDB
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

SITE DEMOLITION PLAN
(MAP 215, LOT 4)
PROPOSED BUILDING ADDITION
36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590



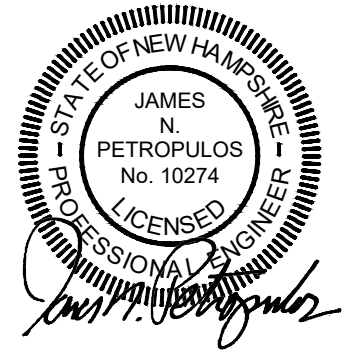
12 JUNE 2020

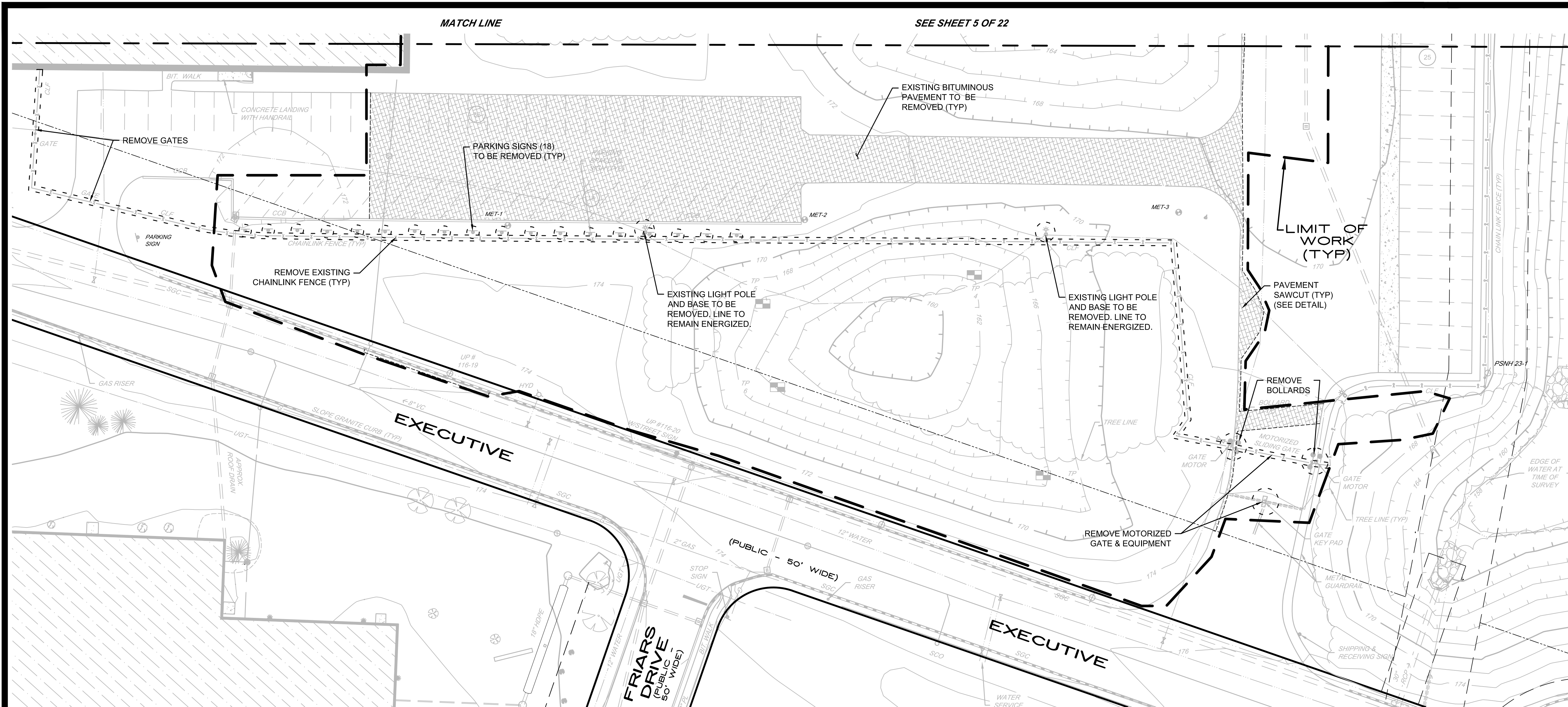
HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street Nashua, NH 03062 (603) 883-2057
131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
www.haynerswanson.com

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____

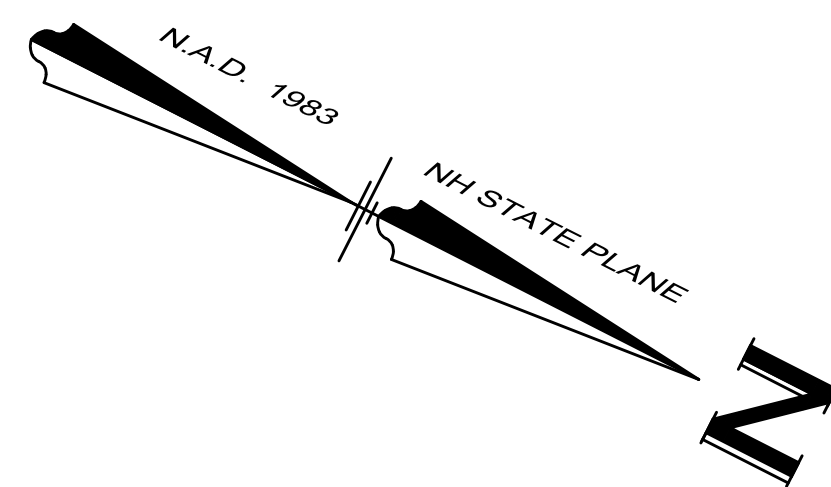
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.





MATCH LINE

SEE SHEET 5 OF 22



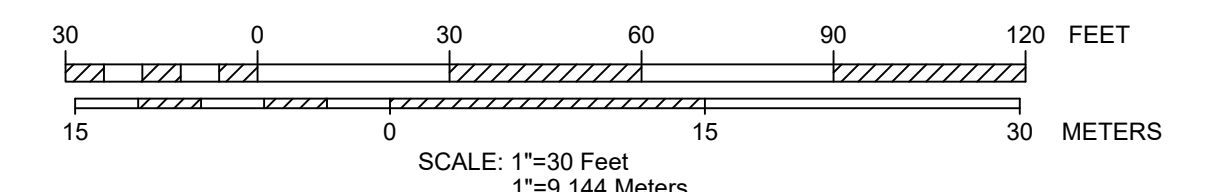
No.	DATE	REVISION	BY
1	09/29/20	TOWN AND NHDES COMMENTS	EDB
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

SITE DEMOLITION PLAN
(MAP 215, LOT 4)

PROPOSED BUILDING ADDITION

36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590



12 JUNE 2020



3 Congress Street
Nashua, NH 03062
(603) 883-2057
www.haynerswanson.com

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

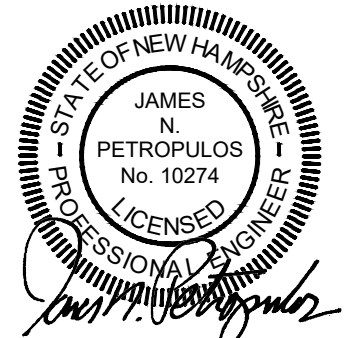
APPROVED BY THE HUDSON, NH PLANNING BOARD

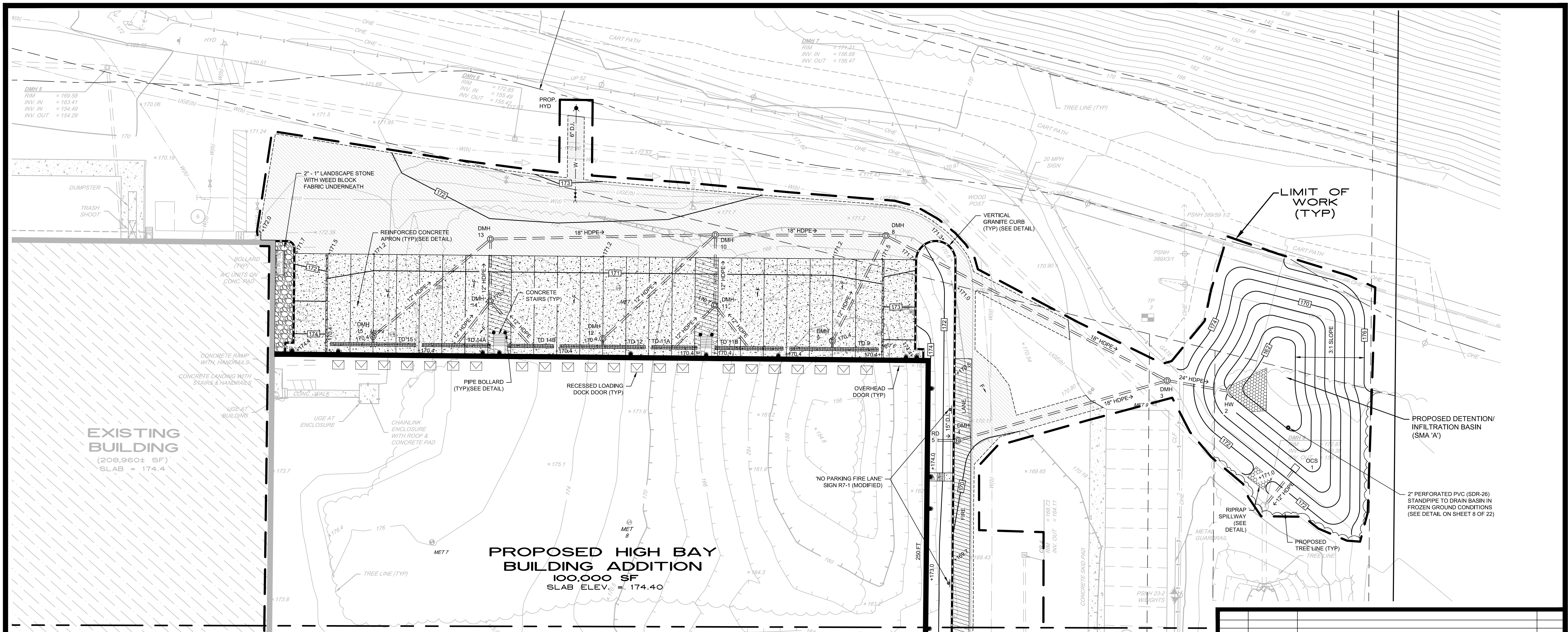
DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

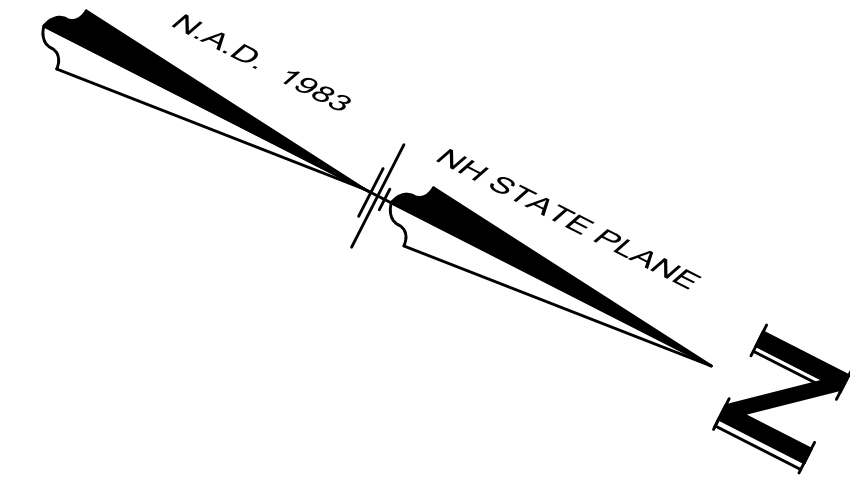
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.





MATCH LINE

SEE SHEET 8 OF 22



INFILTRATION BASIN NOTES:

- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASIN.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION BASIN.
- AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
- VEGETATION SHOULD BE ESTABLISHED IMMEDIATELY.
- DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST ADDITION, ARE HEREBY INCORPORATED BY REFERENCE.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPT., HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHALL BE ADS HP STORM. CATCH BASINS SHALL BE TYPE B, AND HAVE 4 FT SUMPS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- WATER (DOMESTIC & FIRE PROTECTION), GAS, ELECTRIC AND TELECOMMUNICATION UTILITIES SHALL BE EXTENDED FROM THE EXISTING BUILDING TO THE PROPOSED ADDITION
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED THROUGH THE CONSTRUCTION PROCESS UNTIL STABILIZATION OCCURS.
- STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- DIMENSIONS TO CURB AND GUTTERS INDICATE EDGE OF PAVING UNLESS OTHERWISE NOTED.
- EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING PAVEMENT.
- ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS AND DETAILS, AND SHALL BE IN COMPLIANCE WITH TOWN OF HUDSON AND NHDES REQUIREMENTS.

TOWN OF HUDSON CONTACTS

PLANNING DEPARTMENT
HUDSON PLANNING DEPT.
12 SCHOOL STREET
HUDSON, NH 03051

ATT: BRIAN GROTH, AICP
LAND USE DIRECTOR
(603) 886-6008

ENGINEERING DEPARTMENT
HUDSON ENGINEERING DEPT.
12 SCHOOL STREET
HUDSON, NH 03051

ATT: ELVIS DHIMA, P.E.
TOWN ENGINEER
(603) 886-6008

FIRE DEPARTMENT
HUDSON FIRE DEPARTMENT
12 SCHOOL STREET
HUDSON, NH 03051

ATT: ROBERT BUXTON, FIRE CHIEF
(603) 886-6021

UTILITY CONTACTS

GAS:
LIBERTY UTILITIES
130 ELM STREET
MANCHESTER, NH 03103
ATT: ANDREW MORGAN
(603) 327-5357

TELEPHONE:
CONSOLIDATED COMMUNICATIONS
257 DANIEL WEBSTER HIGHWAY
MERRIMACK, NH 03054
ATT: HEATHER ARUJOO
(603) 296-5998

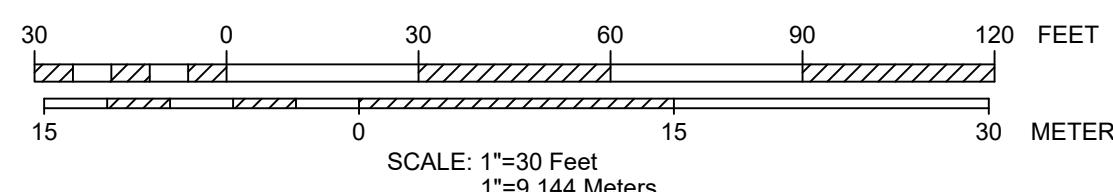
POWER:
EVERSOURCE
370 AMHERST STREET
NASHUA, NH 03060
ATT: MARC GAGNON
(603) 882-5894

No.	DATE	REVISION	BY
1	09/29/20	TOWN AND NHDES COMMENTS	EDB
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

SITE GRADING & UTILITY PLAN
(MAP 215, LOT 4)

PROPOSED BUILDING ADDITION
36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590



12 JUNE 2020

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street
Nashua, NH 03062
(603) 883-2057
131 Middlesex Turnpike
Burlington, MA 01803
(781) 203-1501
www.haynerswanson.com

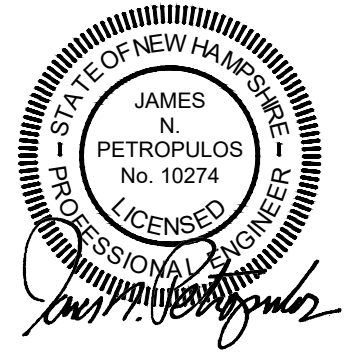
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

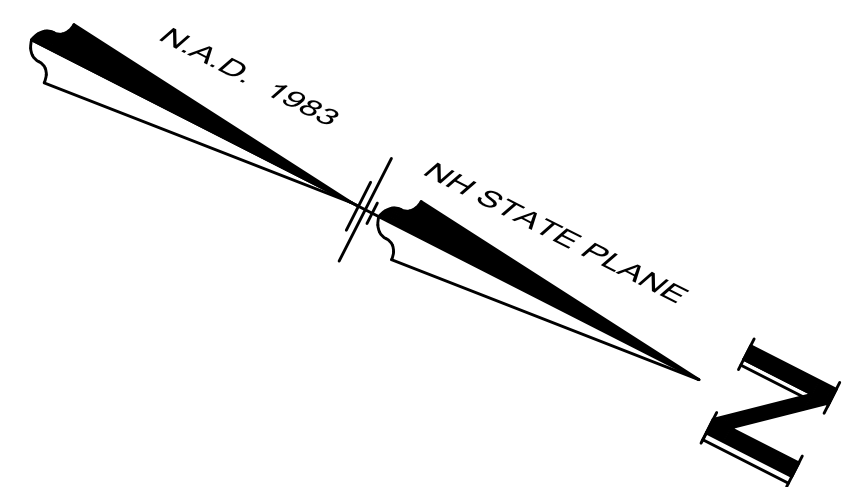
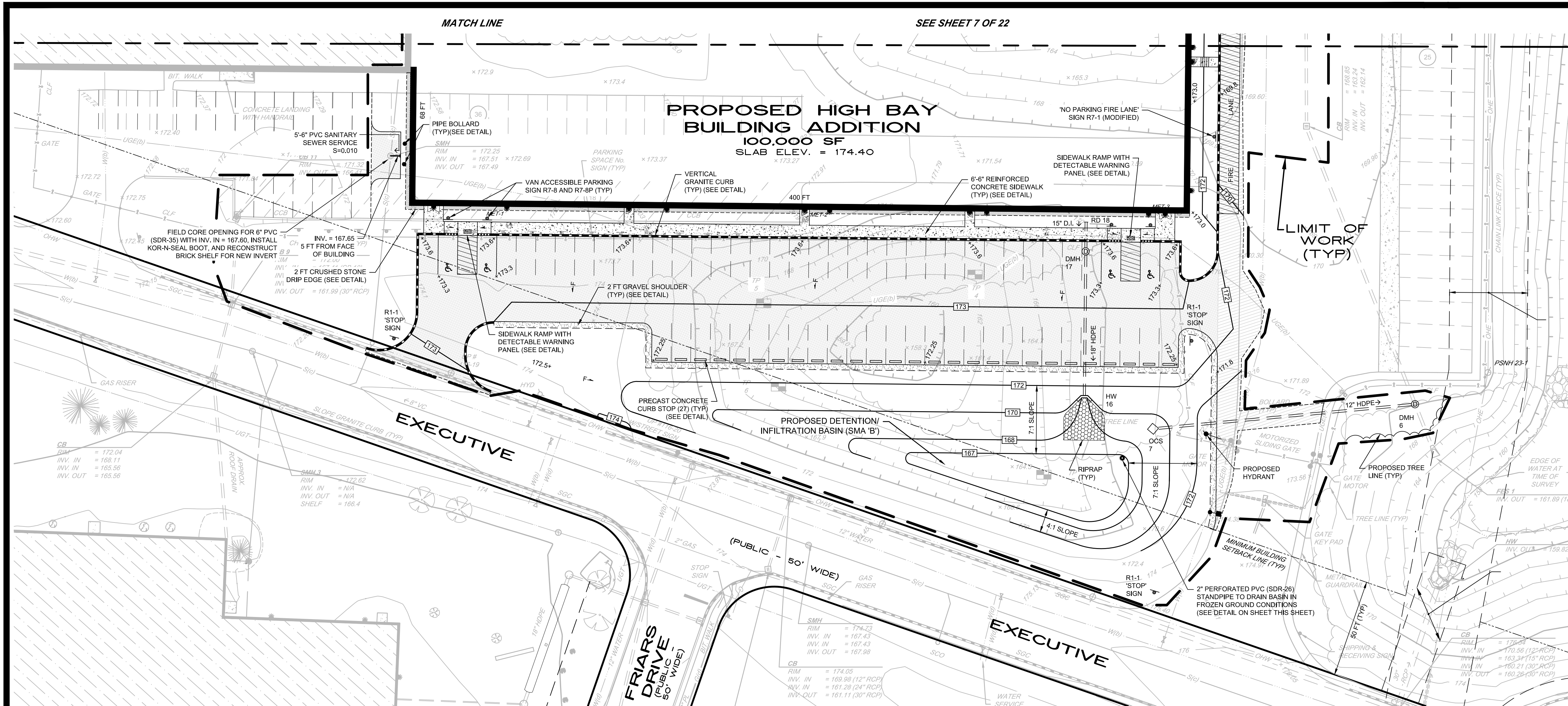
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

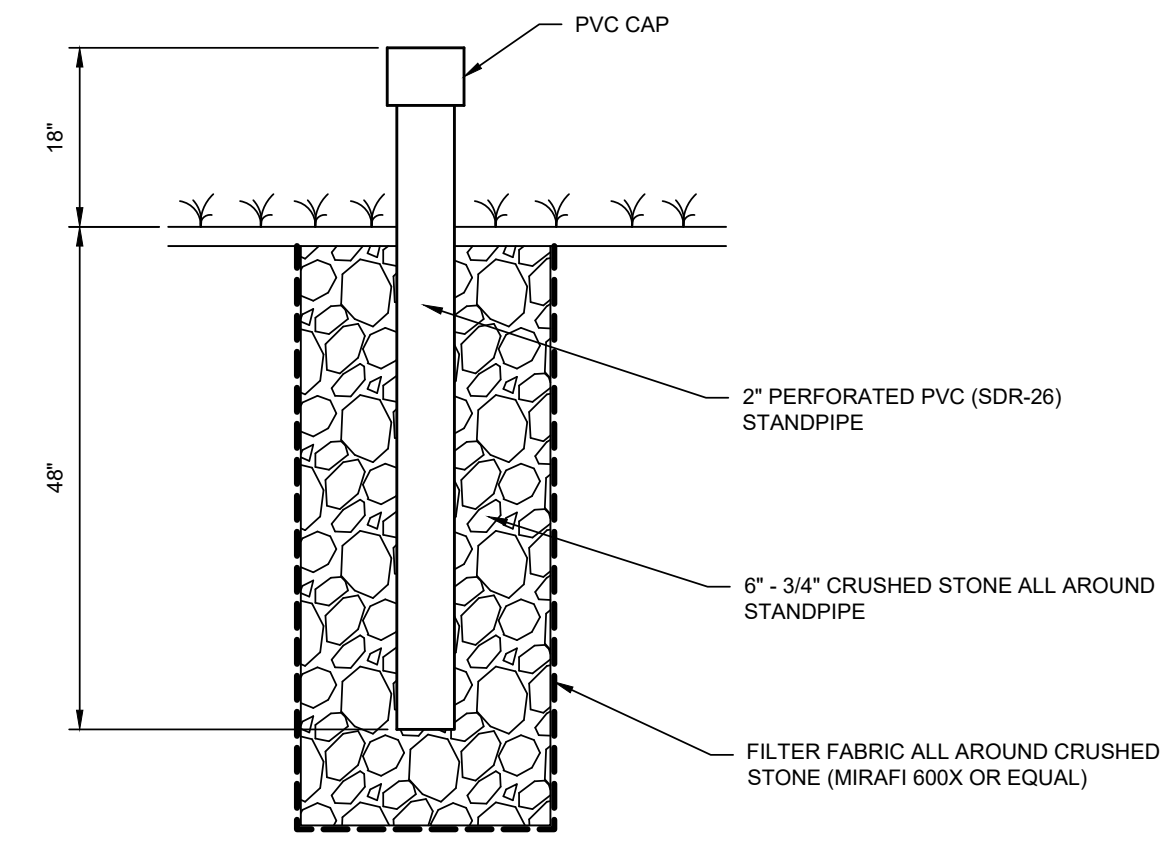
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.





INFILTRATION BASIN NOTES:

- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASIN.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION BASIN.
- AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
- VEGETATION SHOULD BE ESTABLISHED IMMEDIATELY.
- DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

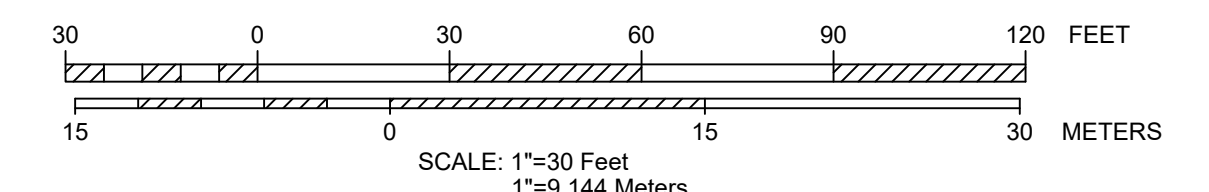


PERFORATED STANDPIPE DETAIL
NOT TO SCALE

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SITE GRADING & UTILITY PLAN
(MAP 215, LOT 4)
PROPOSED BUILDING ADDITION
36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

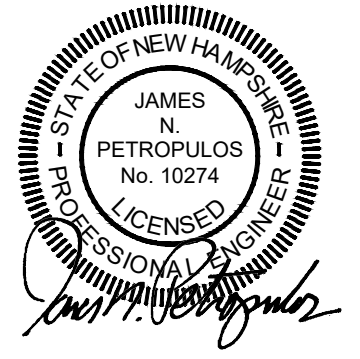


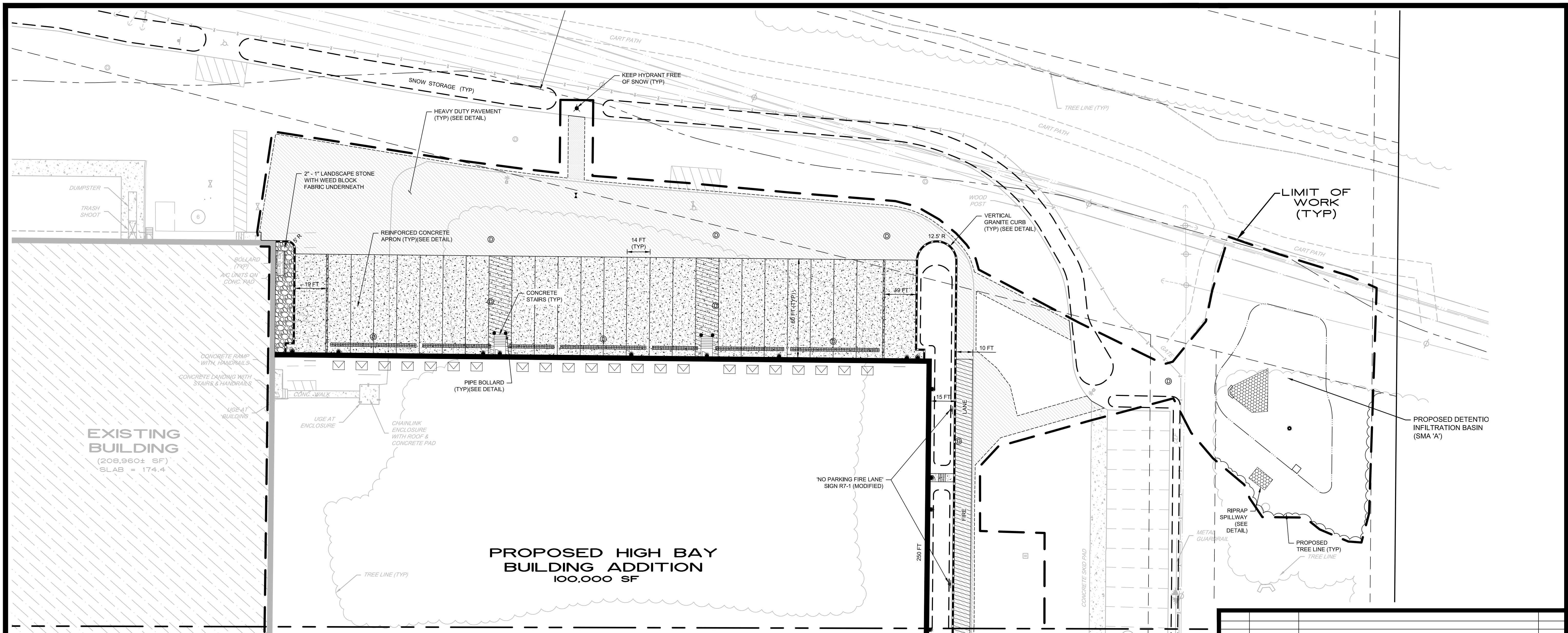
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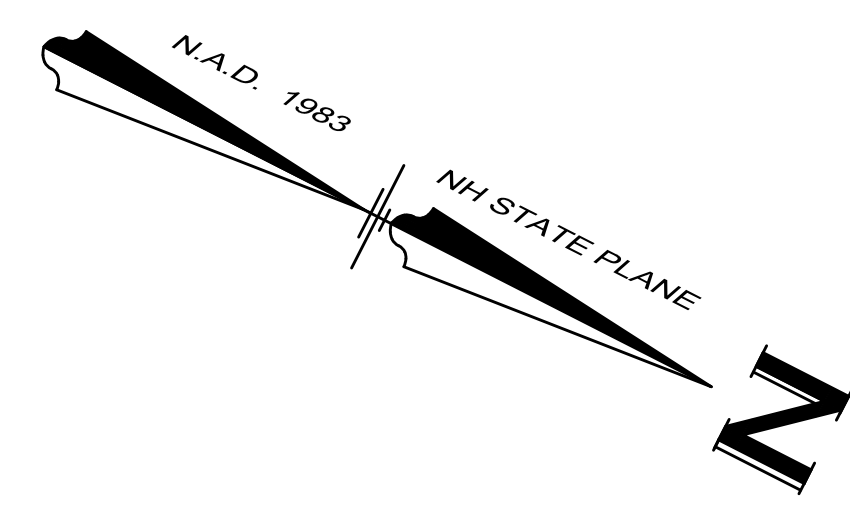
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MATCH LINE

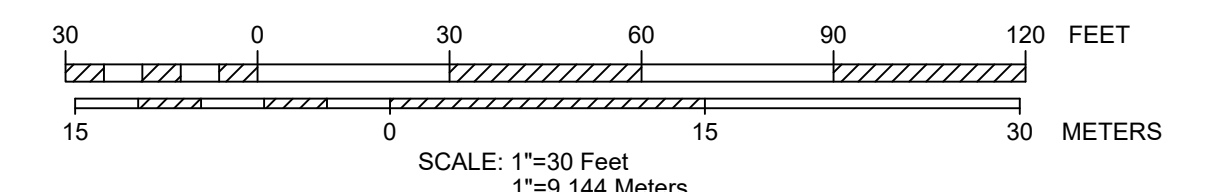
SEE SHEET 10 OF 22



No.	DATE	REVISION	BY
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SITE LAYOUT PLAN
 (MAP 215, LOT 4)
PROPOSED BUILDING ADDITION
 36 EXECUTIVE DRIVE
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
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 265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590



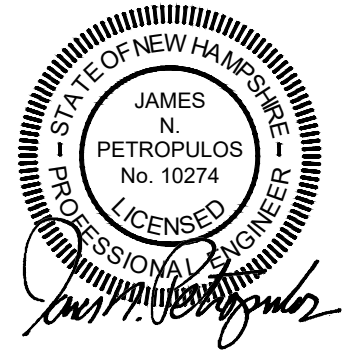
12 JUNE 2020

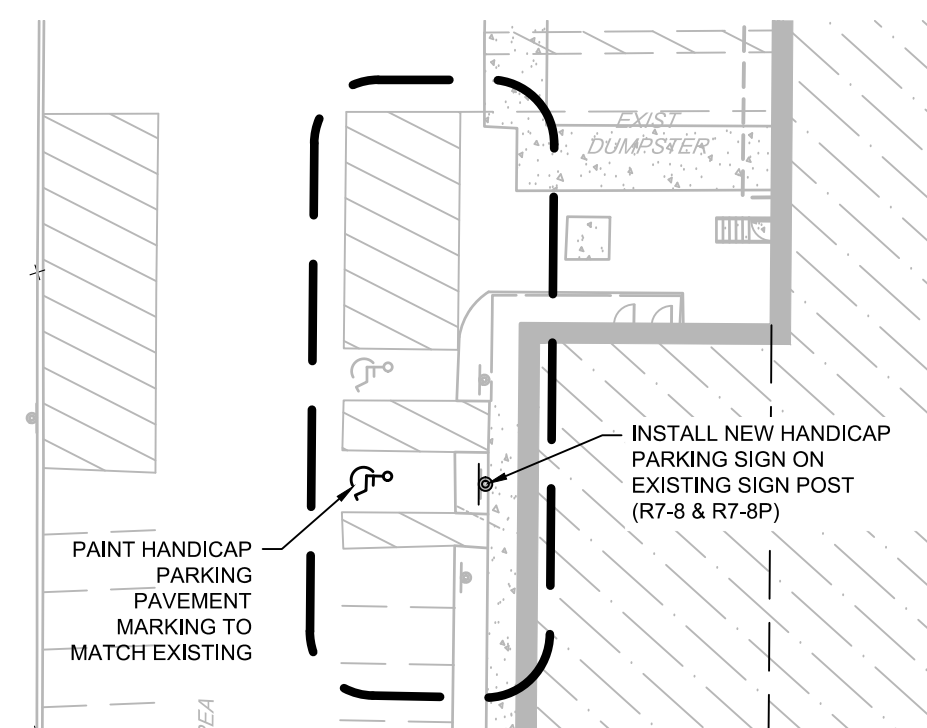
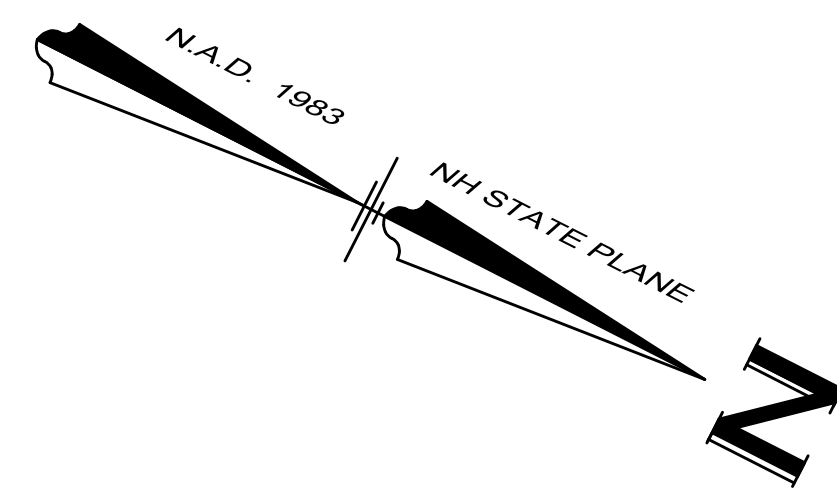
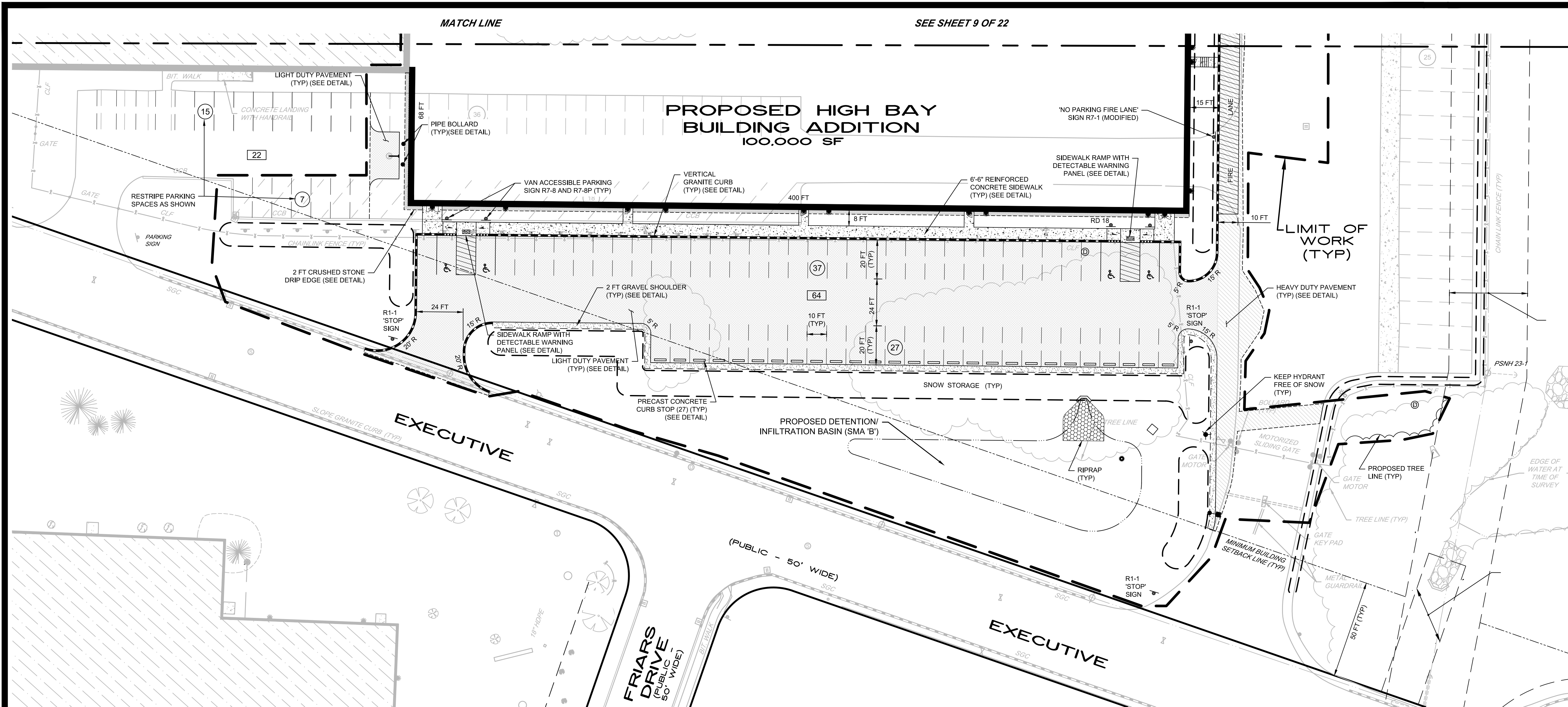
HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 3 Congress Street Nashua, NH 03062
 131 Middlesex Turnpike Burlington, MA 01803
 (603) 883-2057 (781) 203-1501
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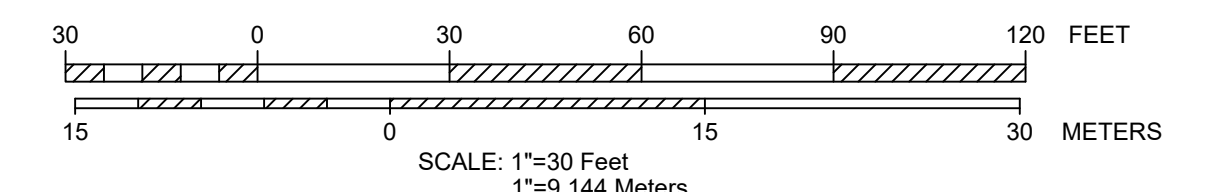
**HANDICAP ACCESSIBLE PARKING
(SOUTH END OF BUILDING)**

SCALE: 1" = 30'

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**SITE LAYOUT PLAN
(MAP 215, LOT 4)**
PROPOSED BUILDING ADDITION
 36 EXECUTIVE DRIVE
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
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 265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590



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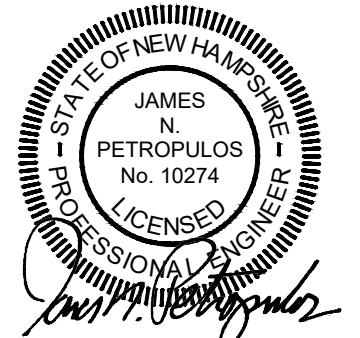
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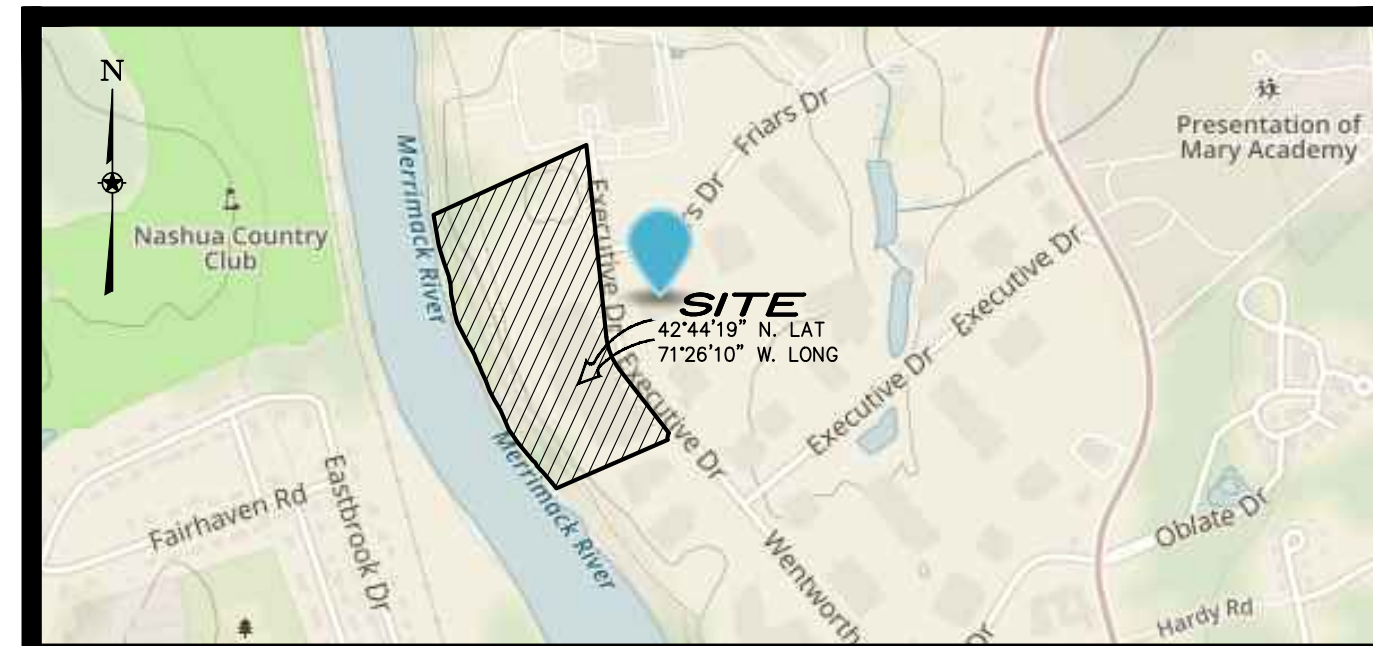
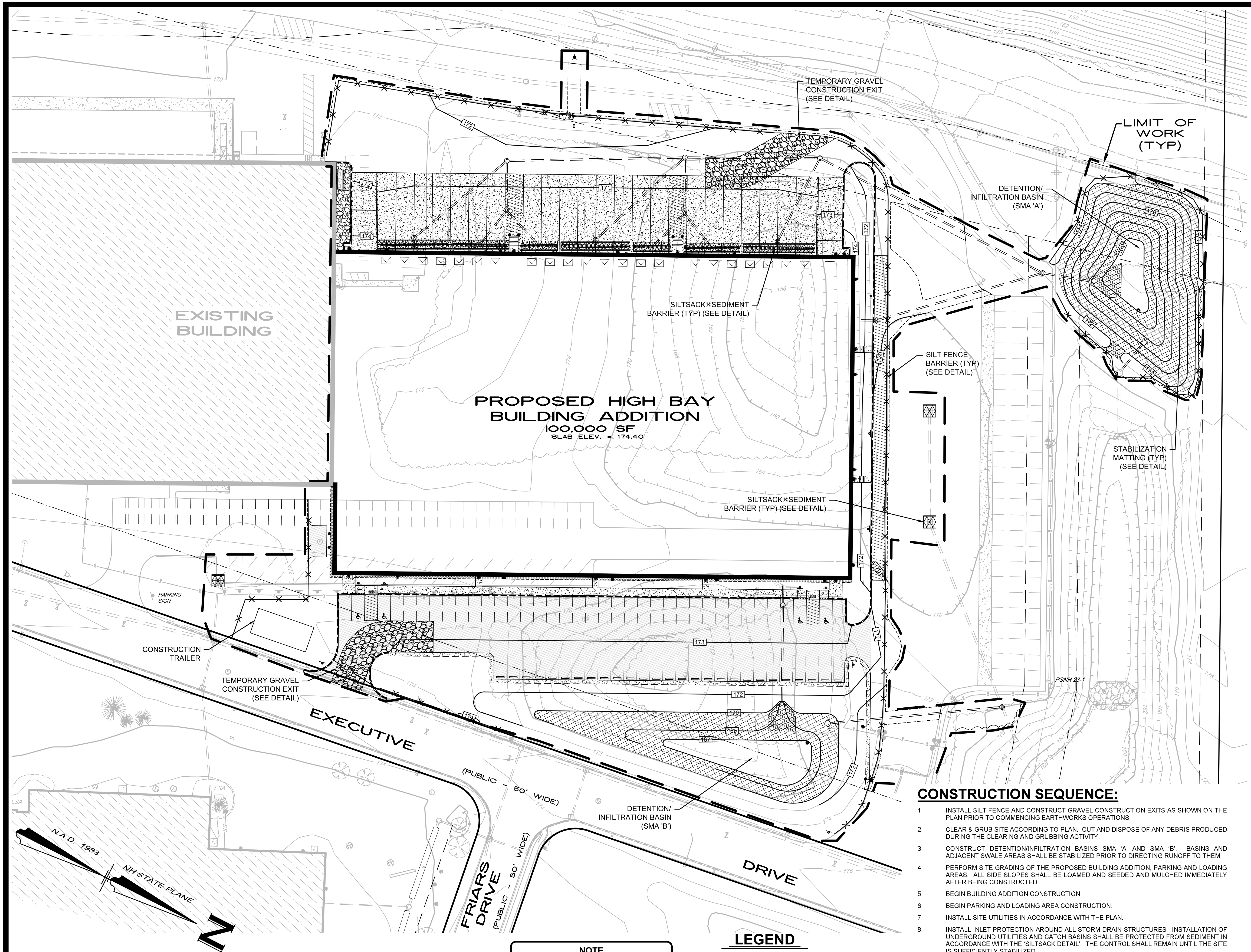
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VICINITY MAP

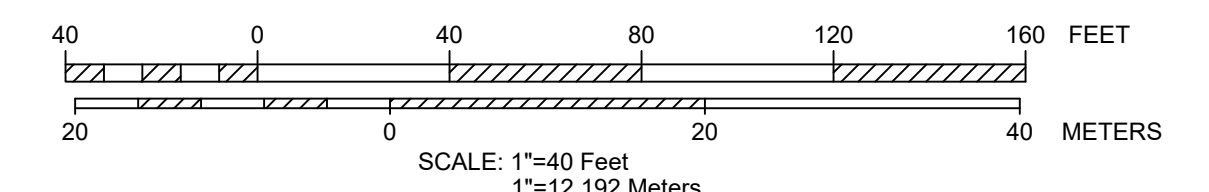
GENERAL NOTES:

- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH THE PROJECT SHALL OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND SHALL COMPLY WITH THE TERMS OF SWPPP AND NPDES PERMIT.
- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY SITE CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- STOCKPILE AREAS SHALL BE SURROUNDED BY SILT FENCE AND RE-SEEDDED IF THEY ARE LEFT UNTOUCHED FOR MORE THAN FOURTEEN (14) DAYS.
- ALL MEASURES STATED ON THIS EROSION CONTROL PLAN, AND IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETE PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT.
- SILT FENCE SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED.
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECK REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDDED AS NEEDED.
- THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXIT AS CONDITIONS DEMAND.
- THE TOWN OF HUDSON RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION IF NEEDED.

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EROSION CONTROL PLAN
(MAP 215, LOT 4)
PROPOSED BUILDING ADDITION
36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590



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FIELD BOOK: 1239	DRAWING NAME: 3889-SITE-ERS1	3889	11 OF 22
DRAWING LOC: J:\3000\3889\DWG\SITE		File Number	Sheet

CONSTRUCTION SEQUENCE:

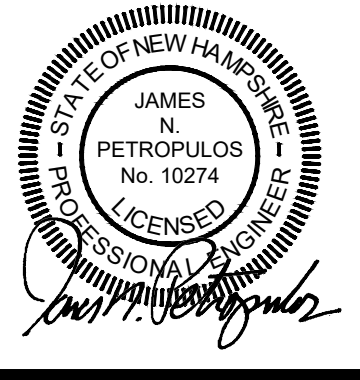
- INSTALL SILT FENCE AND CONSTRUCT GRAVEL CONSTRUCTION EXITS AS SHOWN ON THE PLAN PRIOR TO COMMENCING EARTHWORKS OPERATIONS.
- CLEAR & GRUB SITE ACCORDING TO PLAN. CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
- CONSTRUCT DETENTION/INFILTRATION BASINS SMA 'A' AND SMA 'B'. BASINS AND ADJACENT SWALE AREAS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PERFORM SITE GRADING OF THE PROPOSED BUILDING ADDITION, PARKING AND LOADING AREAS. ALL SIDE SLOPES SHALL BE LOAMED AND SEEDED AND MULCHED IMMEDIATELY AFTER BEING CONSTRUCTED.
- BEGIN BUILDING ADDITION CONSTRUCTION.
- BEGIN PARKING AND LOADING AREA CONSTRUCTION.
- INSTALL SITE UTILITIES IN ACCORDANCE WITH THE PLAN.
- INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE 'SILT-SACK DETAIL'. THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
- PREPARE SITE FOR PAVING.
- AS BUILDING ADDITION, PARKING, AND LOADING AREAS ARE COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED. NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF 30 DAYS.
- LOAM AND SEED ALL REMAINING DISTURBED AREAS. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER BEING CONSTRUCTED.
- FINAL PAVING OF LOADING AREA.
- INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
- SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF DISTURBED AREAS.
- REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

LEGEND

- EXISTING GROUND CONTOUR
- PROPOSED GRADE
- RUNOFF DIRECTION
- SILT SOCK PERIMETER BARRIER
- SILT-SACK INLET PROTECTION DEVICES
- GRAVEL CONSTRUCTION EXIT
- TEMPORARY STONE CHECK DAM

NOTE
THE CONTRACTOR SHALL TAKE MEASURES TO ENSURE THAT EXECUTIVE DRIVE IS KEPT FREE OF DIRT AND DEBRIS FOR THE DURATION OF THE CONTRACT.

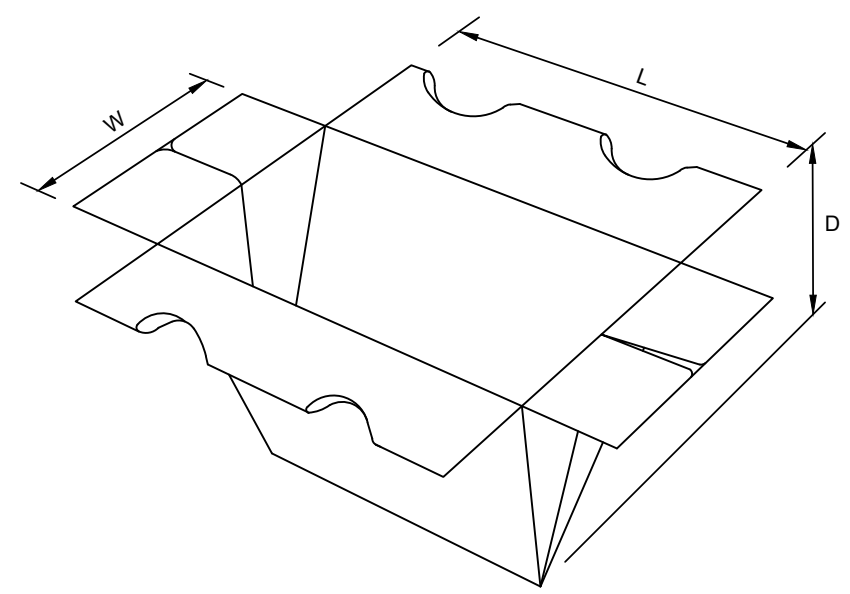
NOTE
PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE TOWN ENGINEER TO REVIEW THE INSTALLED EROSION CONTROL MEASURES



APPROVED BY THE HUDSON, NH PLANNING BOARD

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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL



SILTSAK® NOTES:

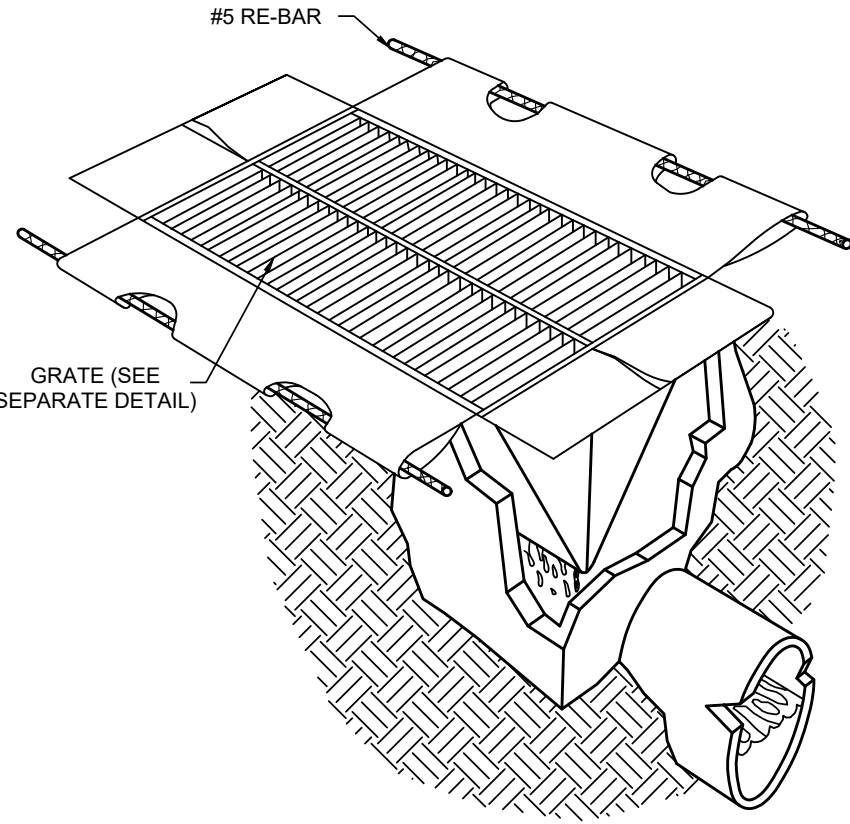
- THE SILTSAK® SHALL BE MANUFACTURED FROM WOVEN POLYPROPYLENE AND SEWN BY A DOUBLE NEEDLE MACHINE, USING A HIGH STRENGTH NYLON THREAD.
- THE SILTSAK® SEAMS SHALL HAVE A CERTIFIED AVERAGE WIDE WIDTH STRENGTH PER ASTM D-4884 STANDARDS AS FOLLOWS:

SILTSAK® STYLE	TEST METHOD	TEST RESULT
REGULAR FLOW	ASTM D-4884	165.0 LBS/IN
HI-FLOW	ASTM D-4884	114.6 LBS/IN

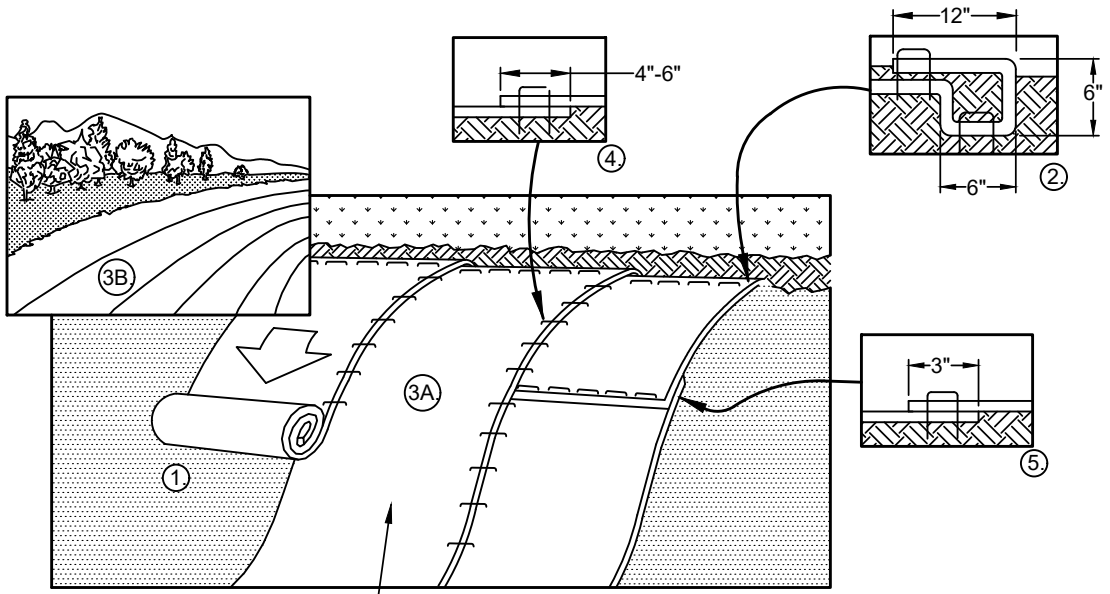
- THE SILTSAK® WILL BE MANUFACTURED TO FIT THE OPENING OF THE CATCH BASIN OR DROP INLET. THE SILTSAK® WILL HAVE THE FOLLOWING FEATURES: TWO 'DUMP' STRAPS ATTACHED AT THE BOTTOM TO FACILITATE THE EMPTYING OF THE SILTSAK®; THE SILTSAK® SHALL HAVE LIFTING LOOPS AS AN INTEGRAL PART OF THE SYSTEM TO BE USED TO LIFT THE SILTSAK® FROM THE BASIN; THE SILTSAK® SHALL HAVE A RESTRAINT CORD APPROXIMATELY HALF-WAY UP THE SACK TO KEEP THE SIDES AWAY FROM THE CATCH BASIN WALLS. THIS YELLOW CORD IS ALSO A VISIBLE MEANS OF INDICATING WHEN THE SACK SHOULD BE EMPTIED, CLEANED, AND PLACED BACK INTO THE BASIN.
- THE GEOTEXTILE FABRIC SHALL BE WOVEN POLYPROPYLENE FABRIC WITH THE FOLLOWING PROPERTIES:

SILTSAK® REGULAR FLOW		
PROPERTY	TEST METHOD	TEST RESULT
GRAB TENSILE	ASTM D-4632	300 LBS
GRAB ELONGATION	ASTM D-4631	20%
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80%
APPARENT OPENING	ASTM D-4751	40 US Sieve
FLOW RATE	ASTM D-4491	40 GAL/MIN/FT2
PERMITTIVITY	ASTM D-4491	0.55 SEC

OR SILTSAK® HI-FLOW		
PROPERTY	TEST METHOD	TEST RESULT
GRAB TENSILE	ASTM D-4632	265 LBS
GRAB ELONGATION	ASTM D-4632	20%
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90%
APPARENT OPENING	ASTM D-4751	20 US Sieve
FLOW RATE	ASTM D-4491	200 GAL/MIN/FT2
PERMITTIVITY	ASTM D-4491	1.5 SEC



SILTSAK® DETAIL
NOT TO SCALE

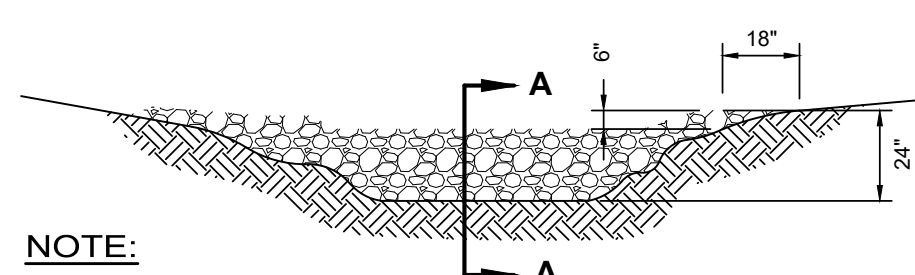


STABILIZATION MATTING BY NORTH AMERICAN GREEN BIOMET S150BN, OR APPROVED EQUAL

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
- ROLL THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH, BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURERS RECOMMENDATION.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET BEING INSTALLED ON TOP/EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
- CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
- PLACE STAPLES/STAKES PER MANUFACTURE RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.

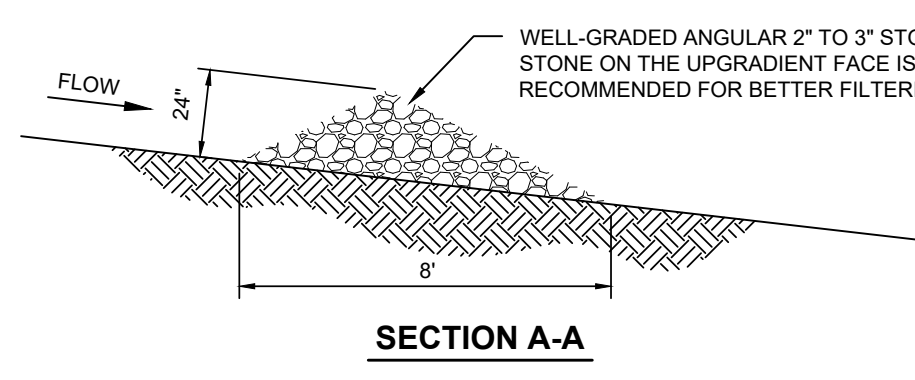
NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

STABILIZATION MATTING DETAIL
NOT TO SCALE



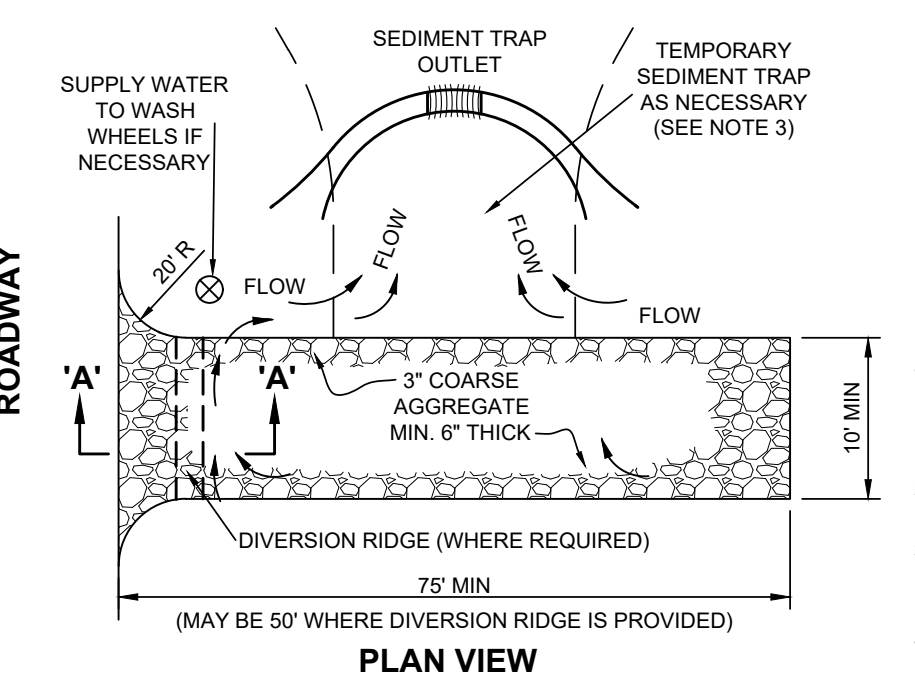
NOTE: KEY STONE INTO CHANNEL BANKS AND EXTEND IT BEYOND THE ABUTMENTS A MINIMUM OF 18" TO PREVENT FLOW AROUND THE DAM.

VIEW LOOKING UPSTREAM



SECTION A-A

TEMPORARY STONE CHECK DAM TYPICAL SECTION
NOT TO SCALE



TEMPORARY GRAVEL CONSTRUCTION EXIT
NOT TO SCALE

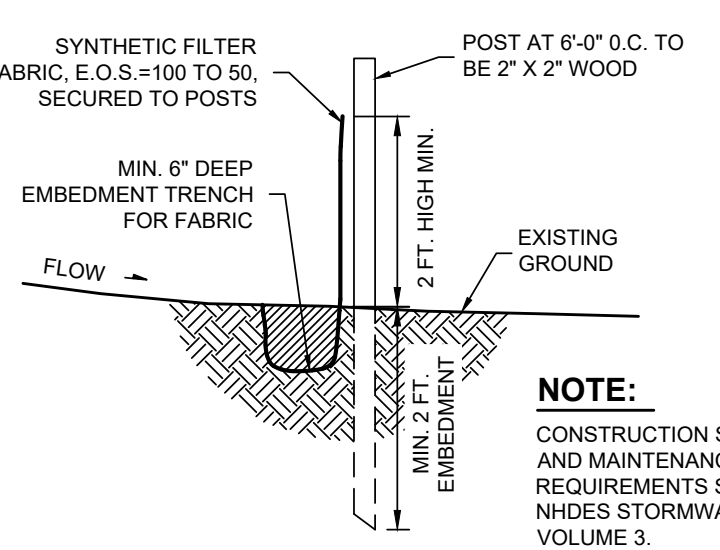
- NOTES:**
- THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO EXITING THE SITE ONTO A PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 - CONSTRUCTION SPECIFICATIONS AND MAINTENANCE REQUIREMENTS SHOWN IN NHDES STORMWATER MANUAL VOLUME 3.

GENERAL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES STORMWATER MANUALS, VOLUME 1-3, LATEST EDITION.
 - THE WORK AREA SHALL BE GRADED, SHAPED, AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA. SILT FENCES, STRAW BALES AND/OR DETENTION BASINS WILL BE NECESSARY TO ACCOMPLISH THIS END.
 - STRIPPED TOPSOIL SHALL BE STOCKPILED, WITHOUT COMPACTION, AND STABILIZED AGAINST EROSION IN ACCORDANCE WITH 'TEMPORARY STABILIZATION OF DISTURBED AREAS', AS OUTLINED IN NOTE NO. 4.
 - TEMPORARY STABILIZATION OF DISTURBED AREAS:
SEED BED PREPARATION: 10-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS PER 1,000 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 90 LBS PER 1,000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.
- A. SEED MIXTURE: USE ANY OF THE FOLLOWING:
- | SPECIES | RATE PER 1,000 SF | DEPTH | SEEDING DATES |
|------------------|-------------------|-------|----------------|
| WINTER RYE | 2.5 LBS | 1" | 08/15 TO 09/15 |
| OATS | 2.5 LBS | 1" | 04/15 TO 10/15 |
| ANNUAL RYE GRASS | 1.0 LBS | 0.25" | 08/15 TO 09/15 |
- B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODABLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:
- | TYPE | RATE PER 1,000 SF | USE & COMMENTS |
|----------------------------------|---------------------------------------|--|
| STRAW | 70 TO 90 LBS | MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE |
| WOOD CHIPS OR BARK MULCH | 460 TO 920 LBS | USED WITH TREE AND SHRUB PLANTINGS |
| FIBROUS MATTING | AS RECOMMENDED BY MANUFACTURER | MUST BE BIODEGRADABLE, USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE. |
| CRUSHED STONE 1/4" TO 1 1/2" DIA | SPREAD TO GREATER THAN 1/2" THICKNESS | USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED. |
- PERMANENT STABILIZATION OF DISTURBED AREAS:
A. ALL ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
B. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOADED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
 - THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
 - AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
C. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
D. OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
 - ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
 - NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES ALTERATION OF TERRAIN PERMIT No. _____
 - SITE LOCATION:
42° 44' 19" N LATITUDE, 71° 26' 10" W LONGITUDE (PER GOOGLE EARTH)
 - TOTAL AREA OF DISTURBED SOILS: 283,000 SF.
 - REFERENCE IS MADE TO THE LATEST EDITION OF THE FEDERAL REGISTER (63 FR 7857), ENVIRONMENTAL PROTECTION AGENCY NPDES GENERAL PERMITS FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. FOR ADDITIONAL INFORMATION CONTACT (202) 954-9545 OR www.epa.gov/nhdes/stormwater.
 - THE ENTIRE CONTENTS OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE RETAINED ON-SITE FOR THE DURATION OF THE CONTRACT AND BE MADE AVAILABLE TO LOCAL STATE AND FEDERAL CODE ENFORCEMENT PERSONNEL.
 - THIS PROJECT SHALL BE MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:63 AND AGR 3890 RELATIVE TO INVASIVE SPECIES, AND FUGITIVE DUST IS CONTROLLED IN ACCORDANCE WITH ENV-A 1000.

WINTER CONDITION NOTES

- ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.



SILT FENCE DETAIL
NOT TO SCALE

SITE MAINTENANCE/INSPECTION PROGRAM

THE FOLLOWING PROVIDES AN ITEMIZATION OF SPECIFIC SITE MAINTENANCE PRACTICES THAT WILL BE EMPLOYED ON THE SITE TO MINIMIZE POLLUTANT GENERATION AND TRANSPORT FROM THE SITE. THE SITE MAINTENANCE PROGRAM INCLUDES ROUTINE INSPECTIONS, PREVENTATIVE MAINTENANCE AND 'GOOD HOUSEKEEPING' PRACTICES.

ROUTINE INSPECTIONS

- THE CONTRACTOR SHALL INSPECT ALL CONTROL MEASURES AT LEAST ONCE A WEEK AND WITHIN TWELVE (12) HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 0.5 INCHES. THE INSPECTIONS WILL VERIFY THAT THE STRUCTURAL BMPs DESCRIBED IN THE PLANS ARE IN GOOD CONDITION AND ARE MINIMIZING EROSION. A MAINTENANCE INSPECTION REPORT WILL BE MADE WITH EACH INSPECTION. COMPLETED INSPECTION FORMS SHALL BE KEPT ON-SITE FOR THE DURATION OF THE PROJECT. FOLLOWING CONSTRUCTION, THE COMPLETED FORMS SHALL BE RETAINED AT THE CONTRACTOR'S OFFICE FOR A MINIMUM OF ONE YEAR.

PREVENTATIVE MAINTENANCE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT CONTROLS THROUGHOUT THE DURATION OF THIS CONTRACT. MAINTENANCE PRACTICES SHALL INCLUDE, BUT ARE NOT LIMITED TO:

- CLEANING OF CATCH BASINS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY QUARTERLY INSPECTIONS.
- CLEANING OF SEDIMENT AND DEBRIS FROM STORMWATER MANAGEMENT AREA FOREBAY TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY MONTHLY INSPECTIONS.
- IMPLEMENTATION OF OTHER MAINTENANCE OR REPAIR ACTIVITIES AS DEEMED NECESSARY BASED UPON WEEKLY INSPECTIONS.
- REMOVAL OF BUILT UP SEDIMENT ALONG SILT FENCES AND/OR HAY BALE BARRIERS.
- REMOVAL OF SOIL SEDIMENT IN BOTH TEMPORARY AND PERMANENT CONTROLS SUCH AS GRASS SWALES, SEDIMENT FOREBAYS AND RECHARGE/DETENTION BASINS.
- RECONSTRUCTING THE TEMPORARY GRAVEL CONSTRUCTION EXIT IF NOT WORKING PROPERLY.
- TREATMENT OF NON-STORM WATER DISCHARGES SUCH AS WATER FROM WATER LINE FLUSHINGS OR GROUNDWATER FROM DEWATERING EXCAVATIONS. SUCH FLOWS SHOULD BE DIRECTED TO A TEMPORARY SEDIMENTATION BASIN OR STORMWATER MANAGEMENT AREA.
- SWEEP PARKING LOTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION. FREQUENCY WILL VARY SEASONALLY ACCORDING TO SEDIMENT ACCUMULATION ON PAVE SURFACES (E.G., MORE FREQUENT SWEEPING DURING THE WINTER AND SPRING).

GOOD HOUSEKEEPING PRACTICES

- THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM AND WATER RUNOFF. THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THE USE OF THESE PRODUCTS IS MINIMIZED. THE FOLLOWING 'GOOD HOUSEKEEPING' PRACTICES SHALL BE FOLLOWED DURING CONSTRUCTION OF THE PROJECT:
 A. AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
 B. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
 C. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR MANUFACTURERS' LABELS.
 D. WHENEVER POSSIBLE, ALL OF A PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER.
 E. MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
 F. THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.

SPILL PREVENTION AND CLEANUP PRACTICES

- MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIAL WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

No.	DATE	REVISION	BY
1	09/29/20	TOWN AND NHDES COMMENTS	EDB
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

DETAIL SHEET - EROSION CONTROL (MAP 215, LOT 4)

PROPOSED BUILDING ADDITION
36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

NO SCALE

12 JUNE 2020

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street
Nashua, NH 03062
(603) 883-2057
131 Middlesex Turnpike
Burlington, MA 01803
(781) 203-1501
www.haynerswanson.com

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

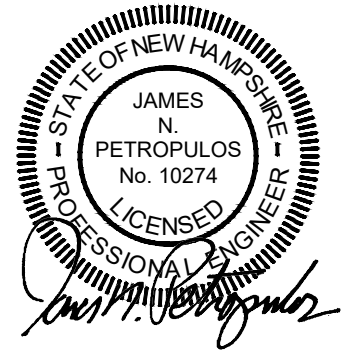
APPROVED BY THE HUDSON, NH PLANNING BOARD

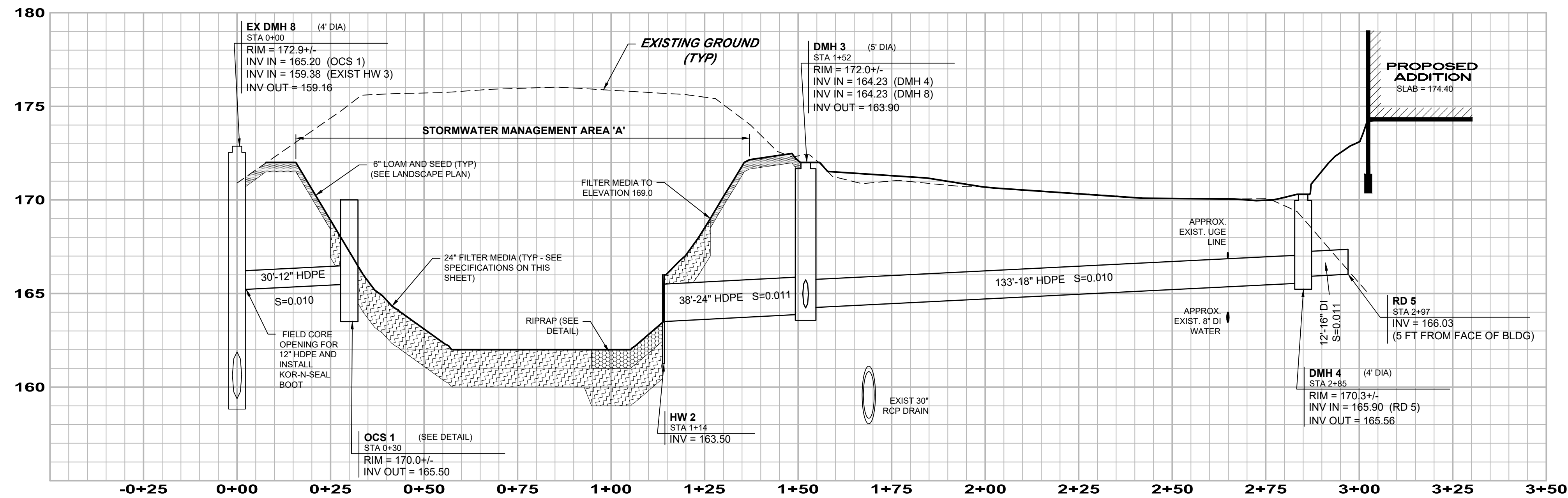
DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

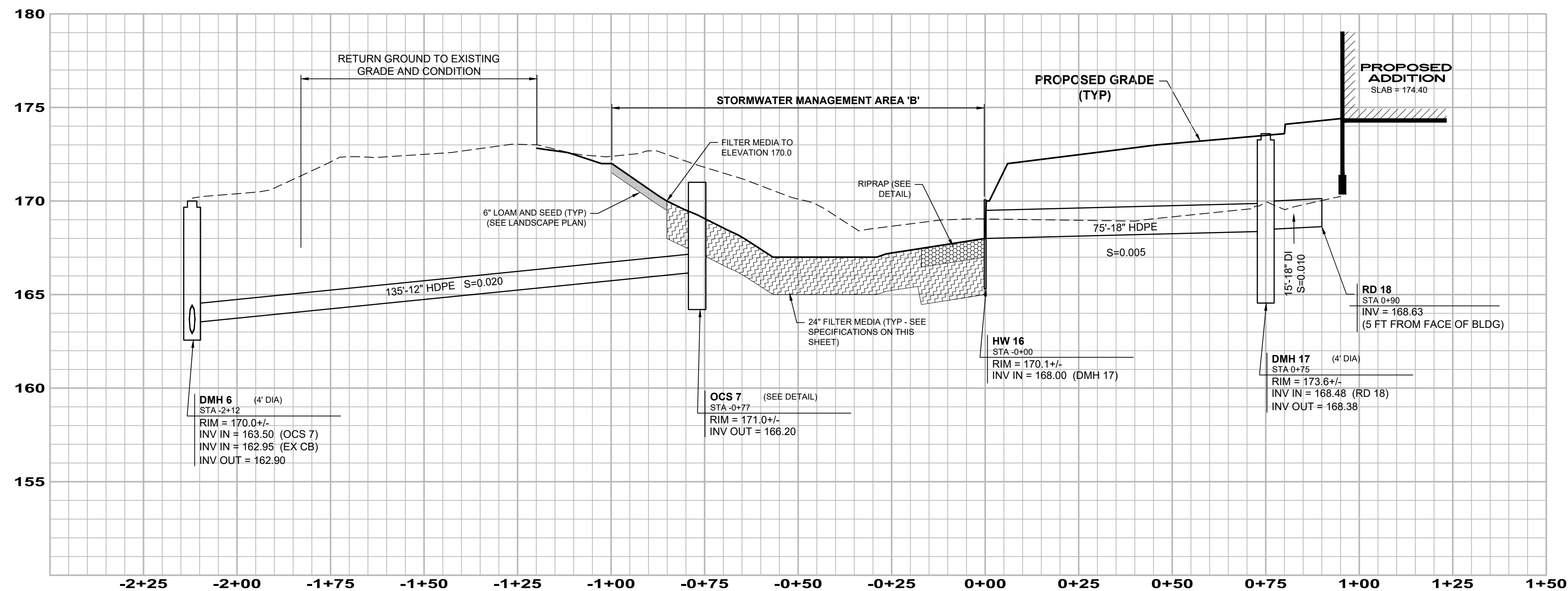
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.





FILTER MEDIA SPECIFICATIONS:

- THE PROPOSED FILTER MEDIA LAYER SHALL MEET THE REQUIREMENTS OF ENV-WQ1508.07(K)(4) BY USING ONE OF THE FOLLOWING SPECIFICATIONS:
- A. 50% TO 55% BY VOLUME SAND THAT IS CERTIFIED BY ITS PRODUCER AS MEETING THE REQUIREMENTS FOR ASTM C-33 CONCRETE SAND, 20% TO 30% BY VOLUME OF LOAMY SAND TOPSOIL WITH 15% TO 25% FINES PASSING THE NUMBER 200 SIEVE, AND 20% TO 30% BY VOLUME MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH WITH LESS THAN 5% PASSING THE NUMBER 200 SIEVE;
 - B. 20% TO 30% BY VOLUME OF MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH THAT HAS NO MORE THAN 5% FINES PASSING THE NUMBER 200 SIEVE, WITH 70 TO 80% BY VOLUME LOAMY COARSE SAND USED IN THE MIXTURE MEETING THE FOLLOWING SIEVE ANALYSIS SPECIFICATION:
 1. FROM 85 TO 100 PERCENT BY WEIGHT SHALL PASS THE NUMBER 10 SIEVE;
 2. FROM 70 TO 100 PERCENT BY WEIGHT SHALL PASS THE NUMBER 20 SIEVE;
 3. FROM 15 TO 40 PERCENT BY WEIGHT SHALL PASS THE NUMBER 60 SIEVE; AND
 4. FROM 8 TO 15 PERCENT BY WEIGHT SHALL PASS THE NUMBER 200 SIEVE;



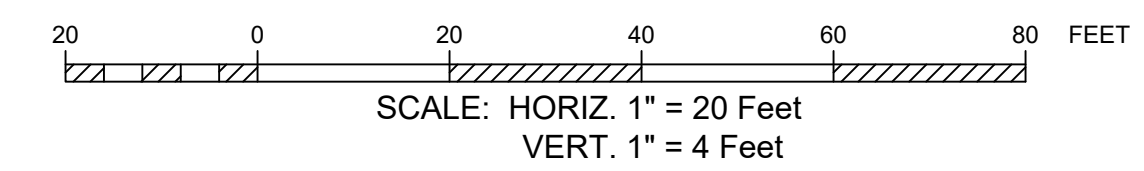
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UTILITY PROFILES
(MAP 215, LOT 4)

PROPOSED BUILDING ADDITION

36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590



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FIELD BOOK: 1239	DRAWING NAME: 3889-SITE-FY21	3889	13 OF 22
DRAWING LOC: J:\3000\3889\DWG\SITE		File Number	Sheet

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

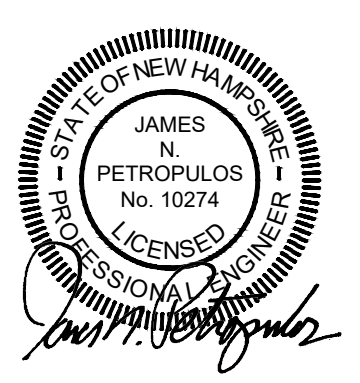
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

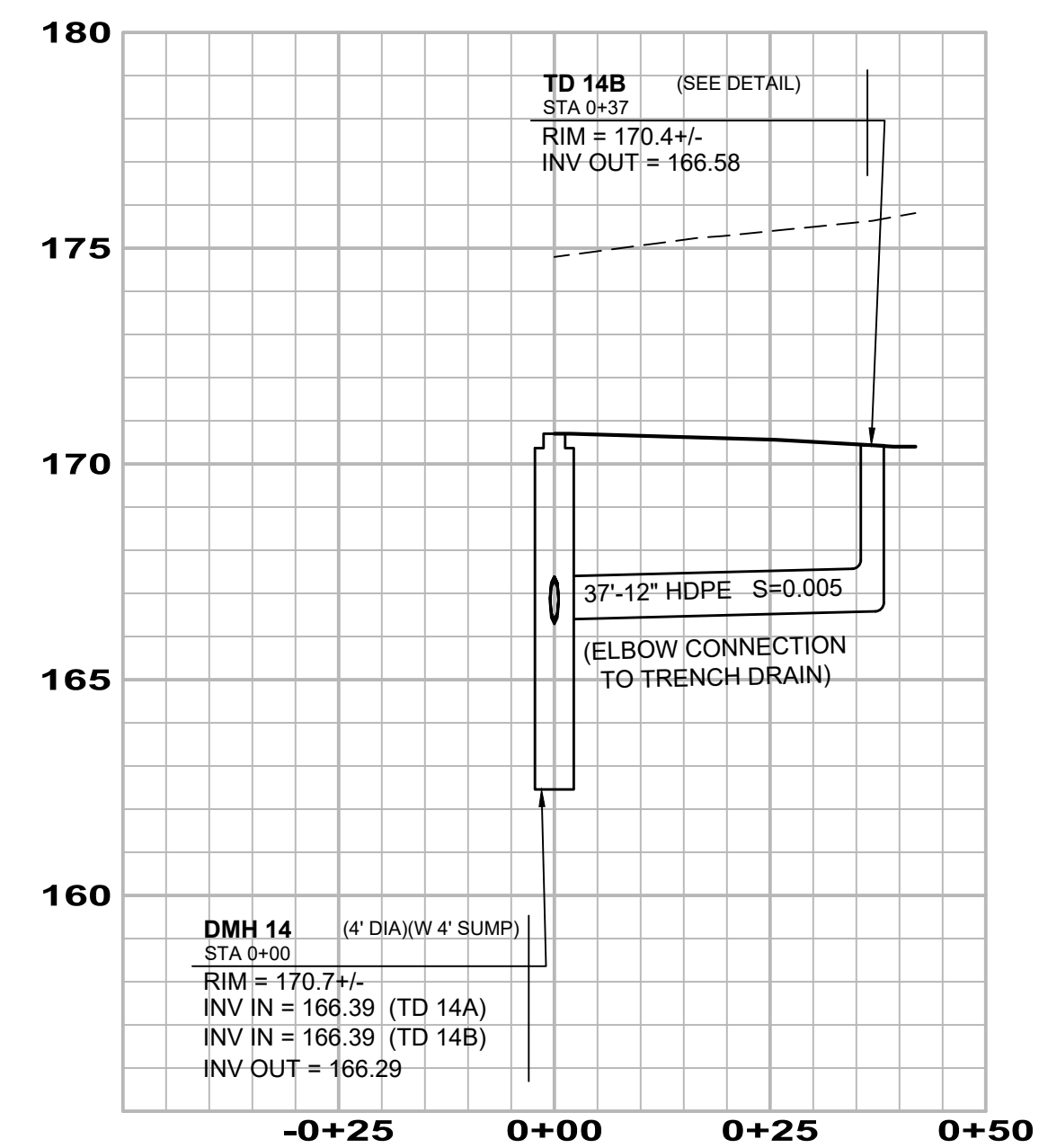
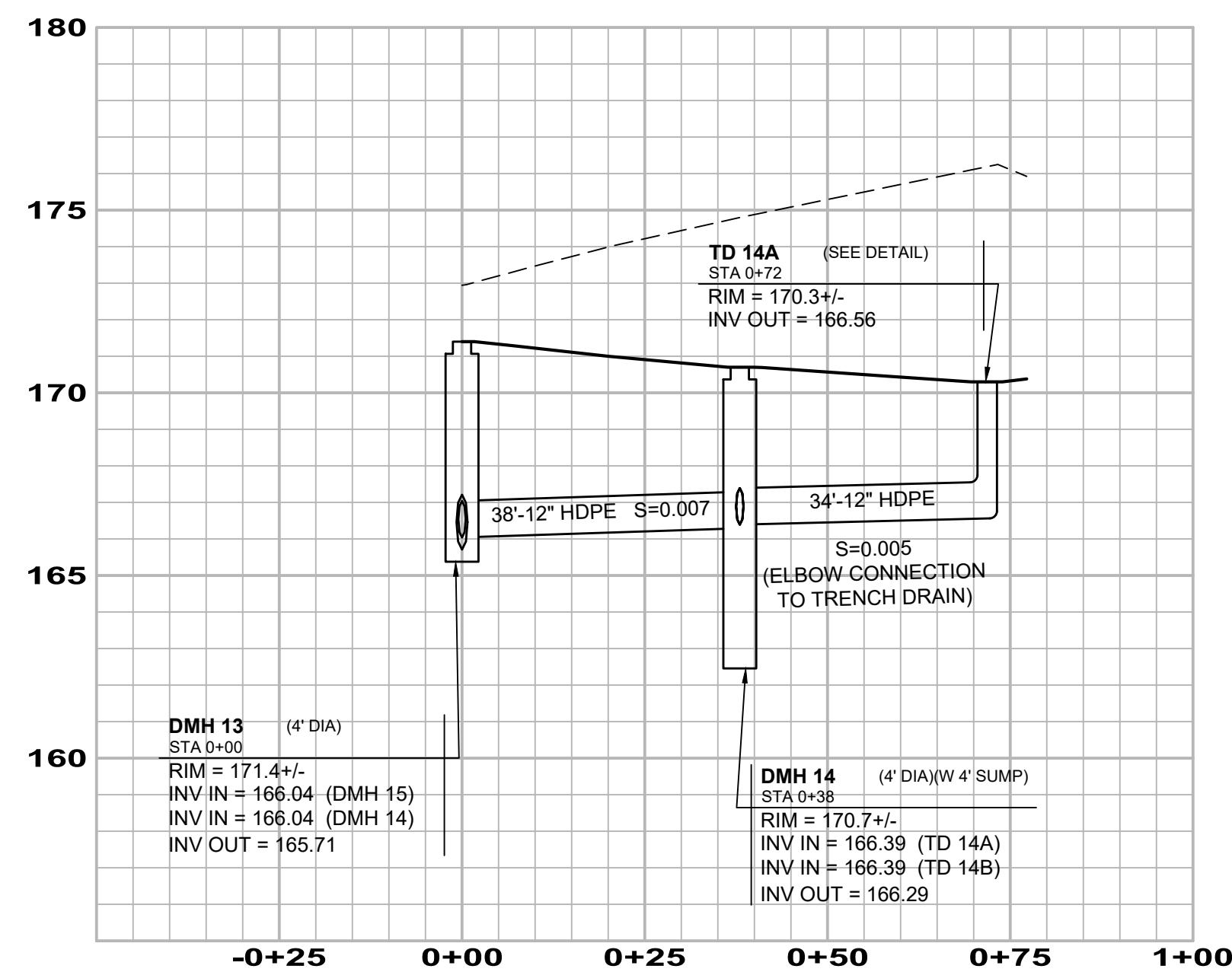
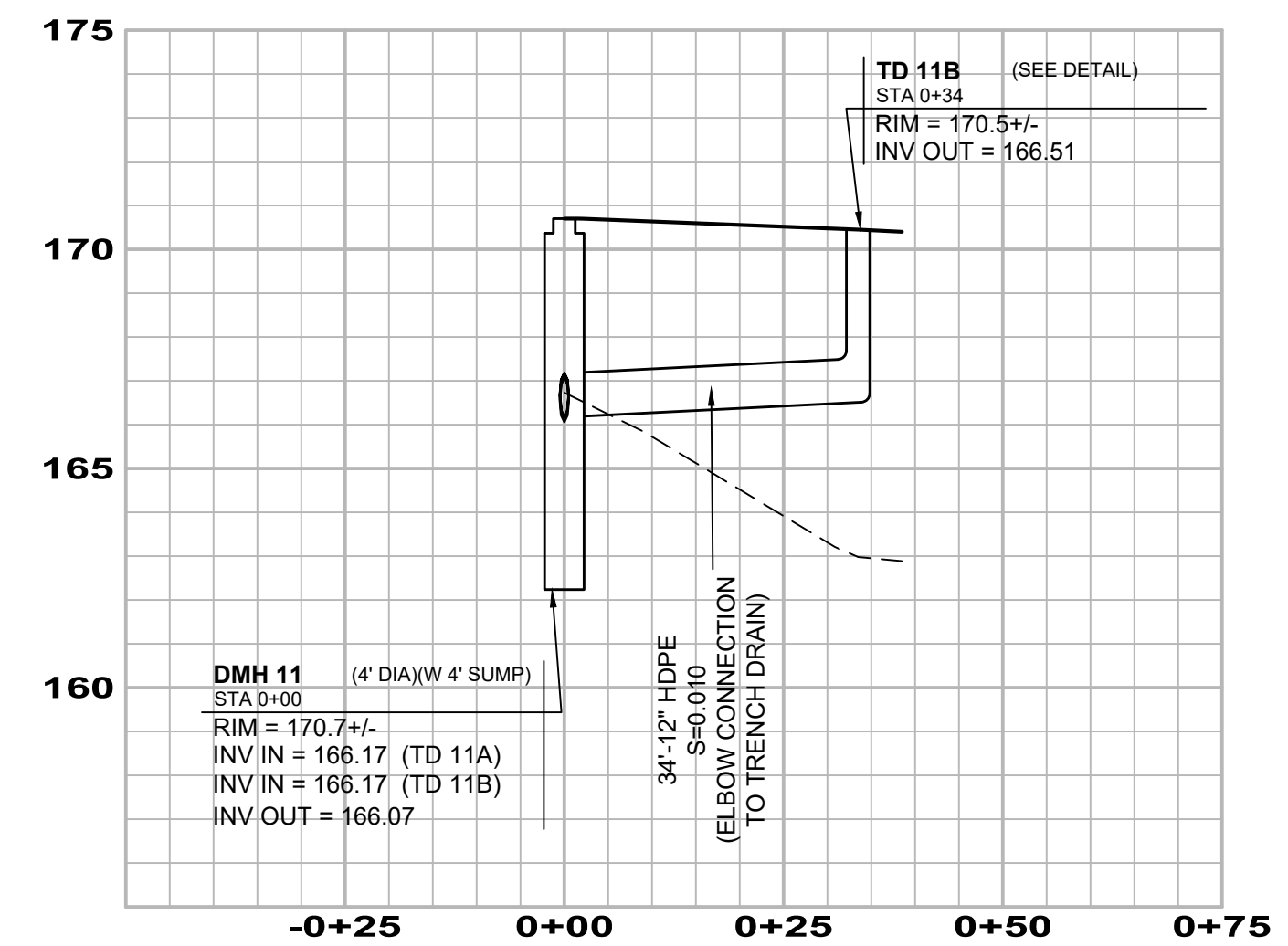
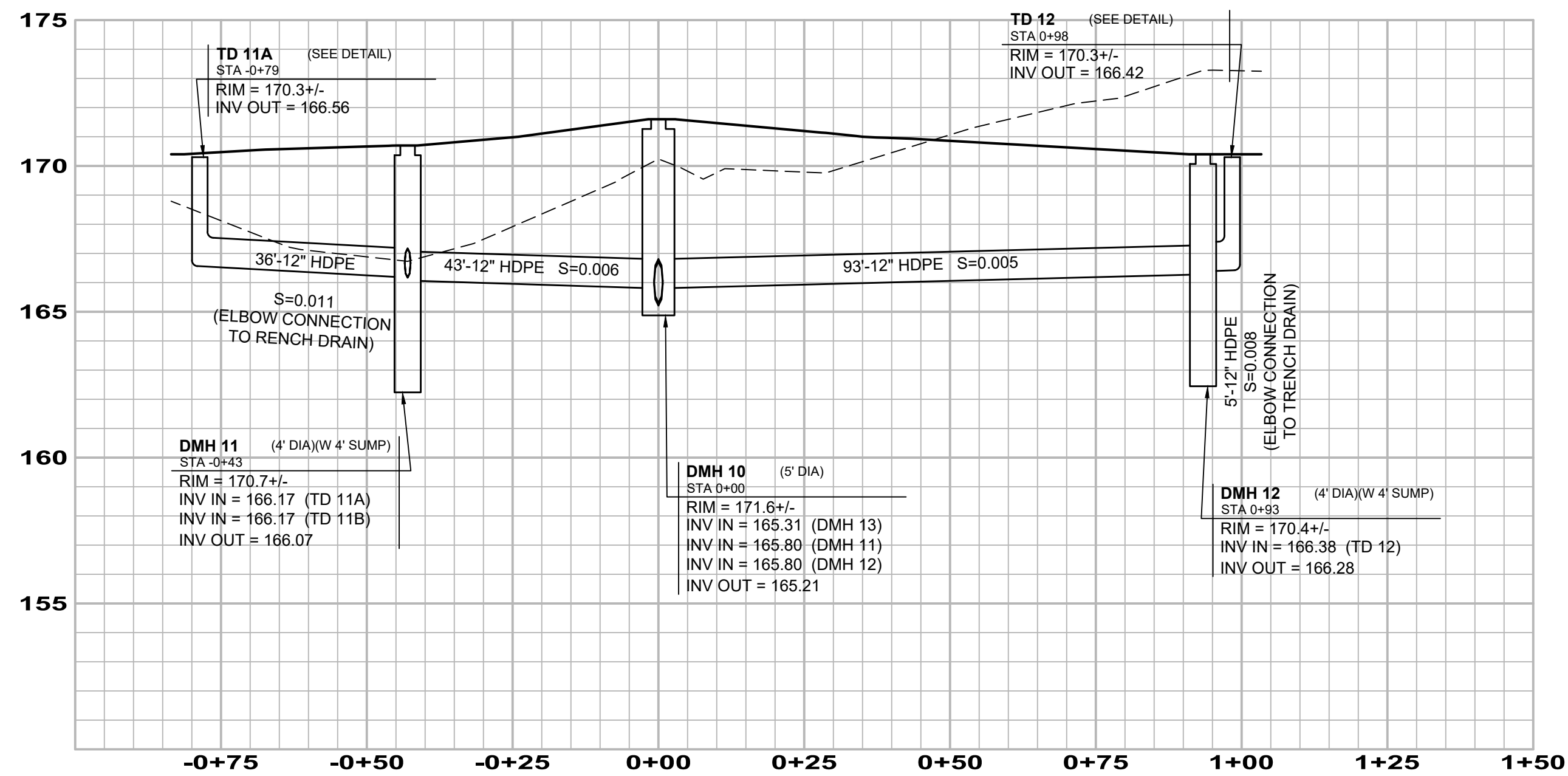
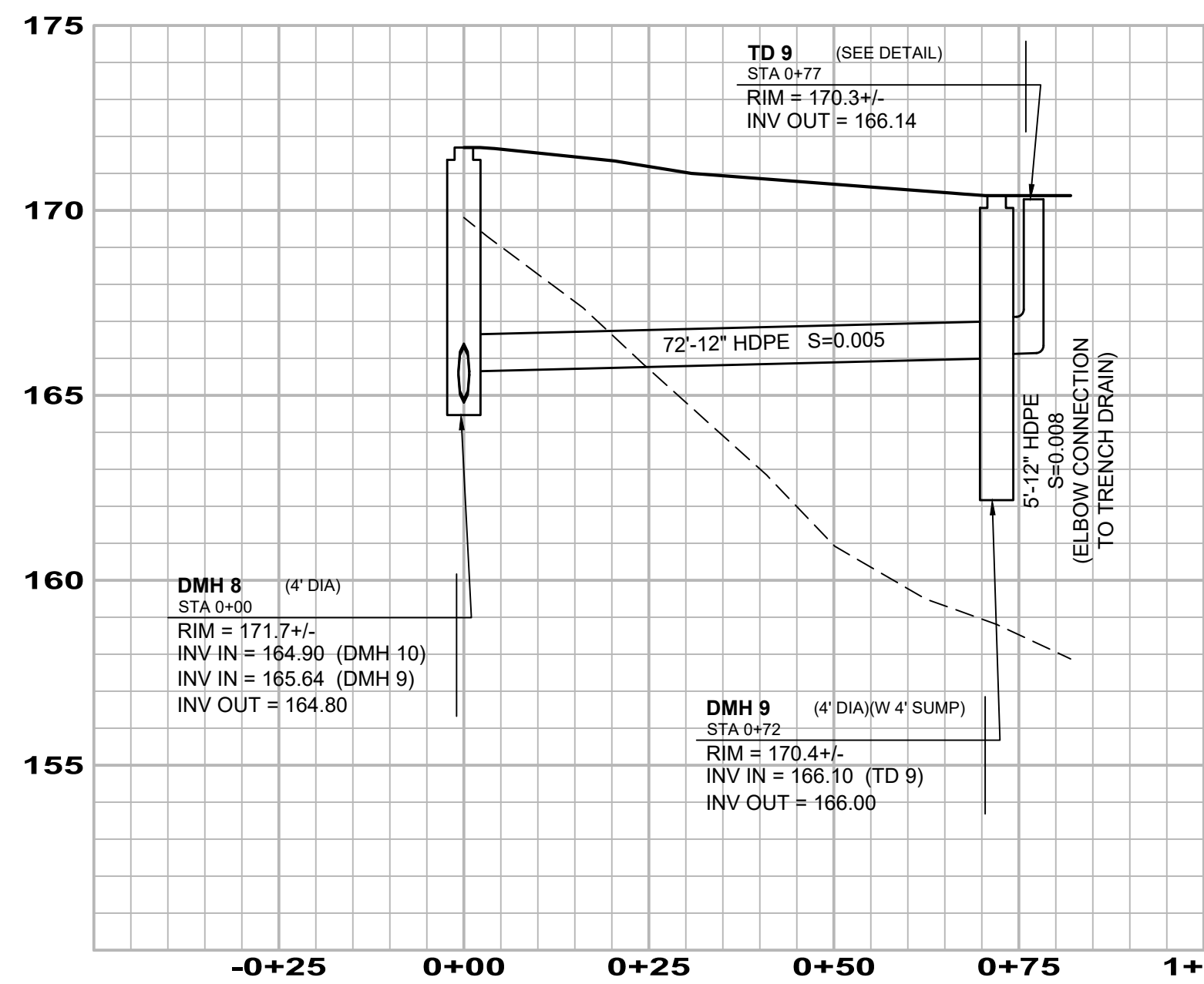
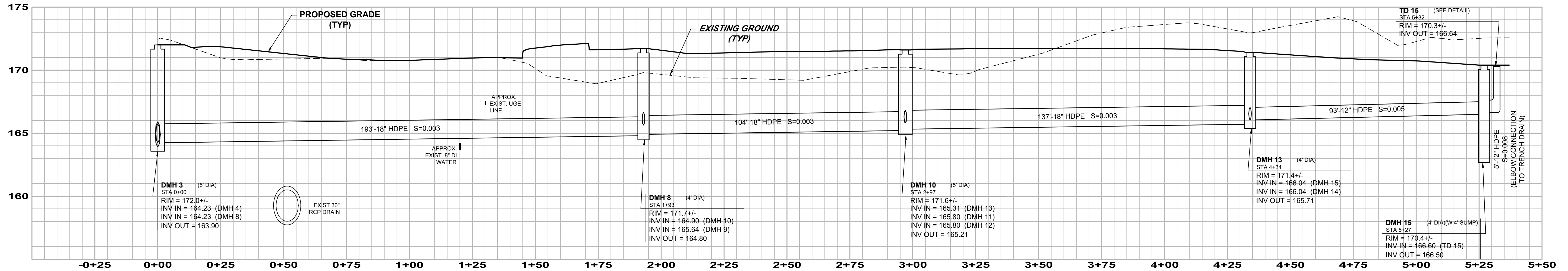
CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



- NOTES**
1. STRUCTURE DIAMETERS AS SHOWN ON DRAINAGE PROFILES ARE CONSIDERED TO BE MINIMUM INSIDE DIMENSIONS. ALL STRUCTURES SHALL BE A MINIMUM INSIDE DIAMETER OF 48" UNLESS OTHERWISE INDICATED. LARGER STRUCTURES MAY BE NECESSARY DUE TO ALIGNMENT AND/OR PIPE SIZES. STRUCTURE MANUFACTURER SHALL DETERMINE FINAL SIZE.
 2. PIPE LENGTHS ARE MEASURED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
 3. EXTERIOR FOUNDATION WALLS AND FOOTINGS AS SHOWN ARE APPROXIMATE.



- NOTES**
- STRUCTURE DIAMETERS AS SHOWN ON DRAINAGE PROFILES ARE CONSIDERED TO BE MINIMUM INSIDE DIMENSIONS. ALL STRUCTURES SHALL BE A MINIMUM INSIDE DIAMETER OF 48" UNLESS OTHERWISE INDICATED. LARGER STRUCTURES MAY BE NECESSARY DUE TO ALIGNMENT AND/OR PIPE SIZES. STRUCTURE MANUFACTURER SHALL DETERMINE FINAL SIZE.
 - PIPE LENGTHS ARE MEASURED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
 - EXTERIOR FOUNDATION WALLS AND FOOTINGS AS SHOWN ARE APPROXIMATE.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

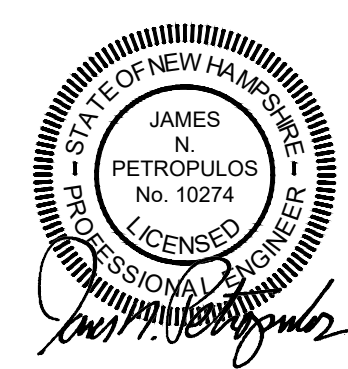
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1	09/01/20	TOWN AND NHDES COMMENTS	EDB

UTILITY PROFILES
(MAP 215, LOT 4)

PROPOSED BUILDING ADDITION

36 EXECUTIVE DRIVE

HUDSON, NEW HAMPSHIRE

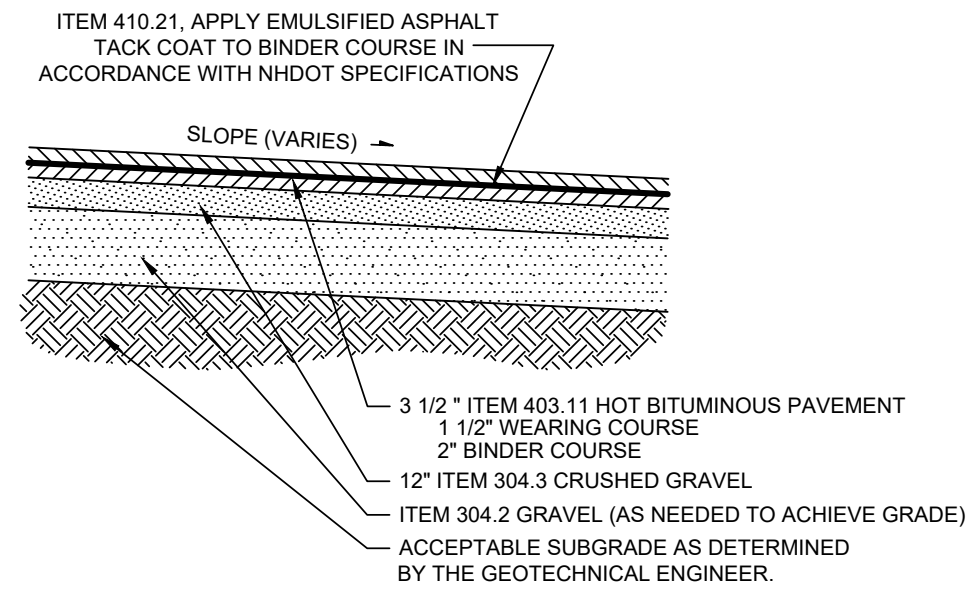
PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

SCALE: HORIZ. 1" = 20 Feet
VERT. 1" = 4 Feet

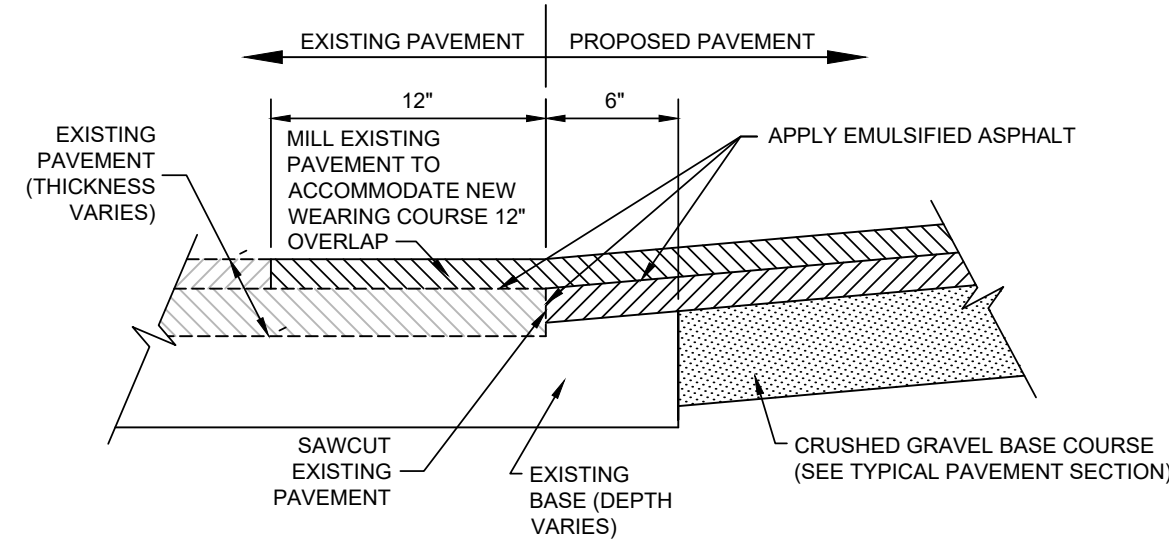
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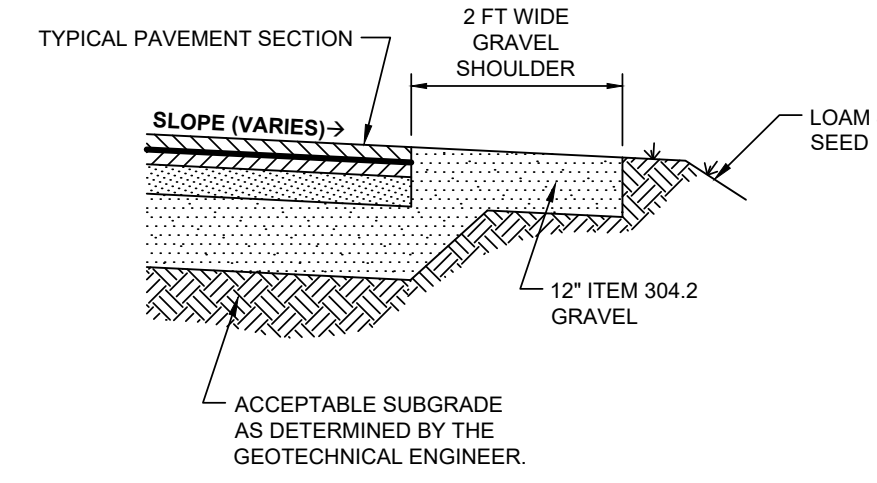
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DRAWING LOC: J:\3000\3889\DWG\SITE		File Number	Sheet



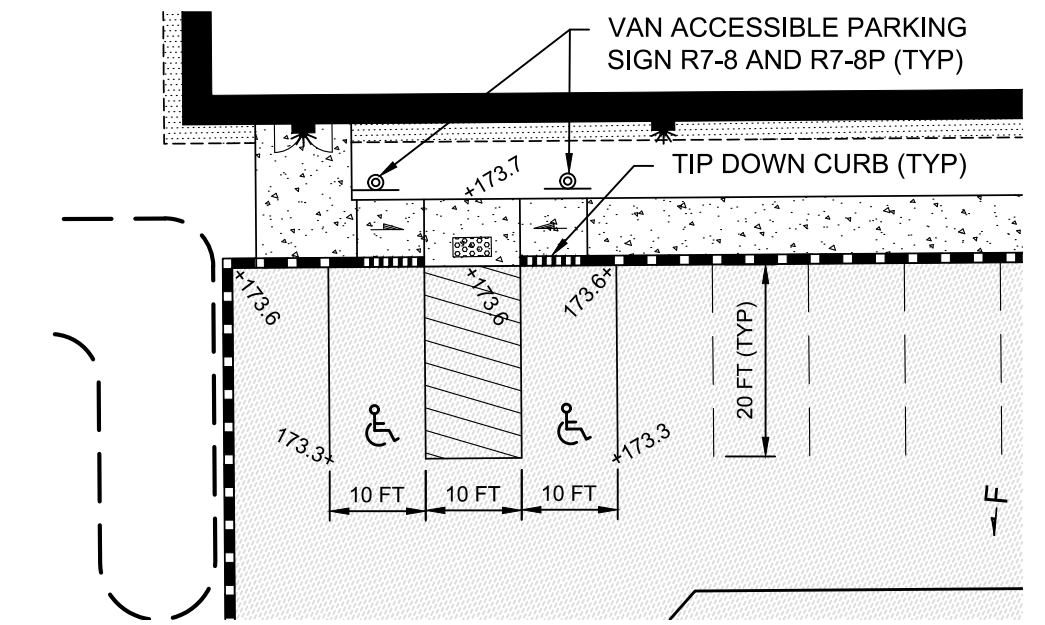
LIGHT DUTY TYPICAL PAVEMENT SECTION
NOT TO SCALE



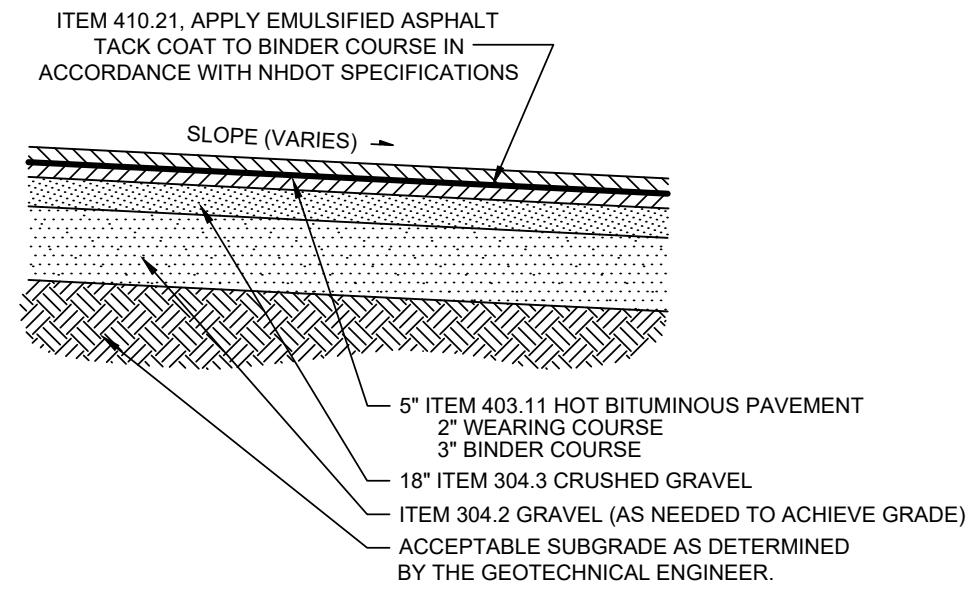
SAWCUT PAVEMENT DETAIL
NOT TO SCALE



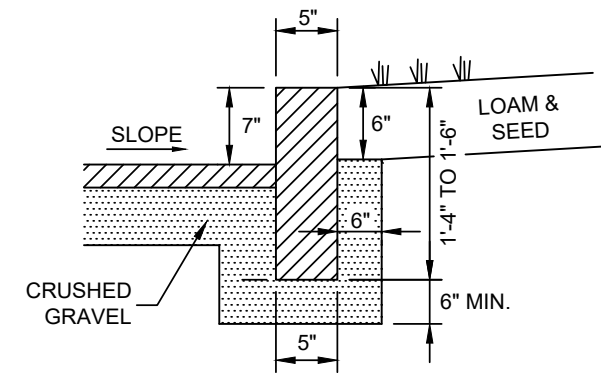
GRAVEL SHOULDER DETAIL
NOT TO SCALE



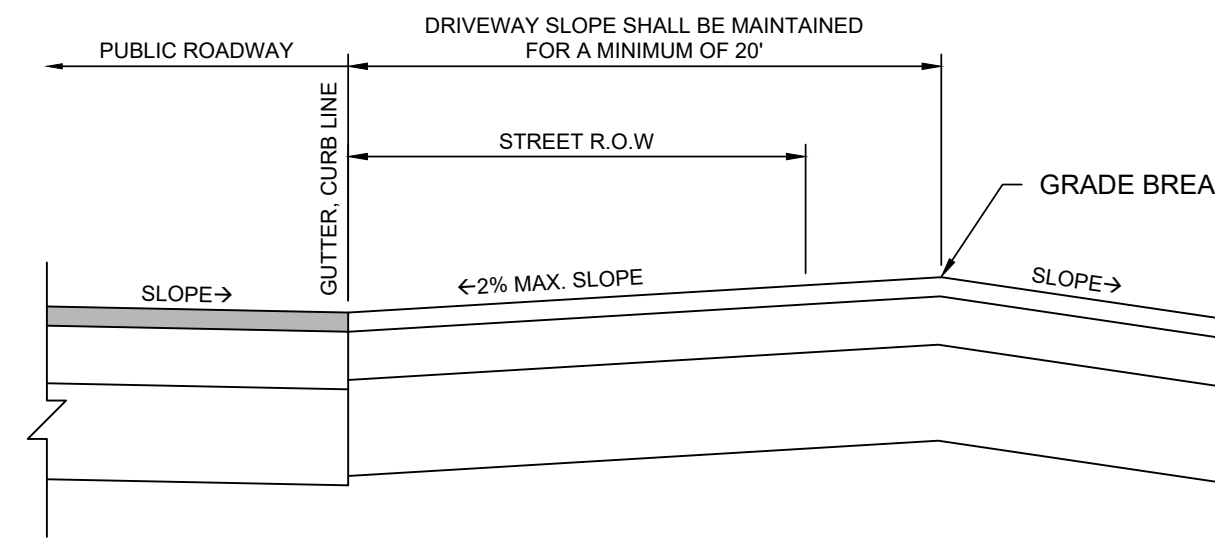
RESERVED PARKING AREA DETAIL
SCALE: 1" = 20'



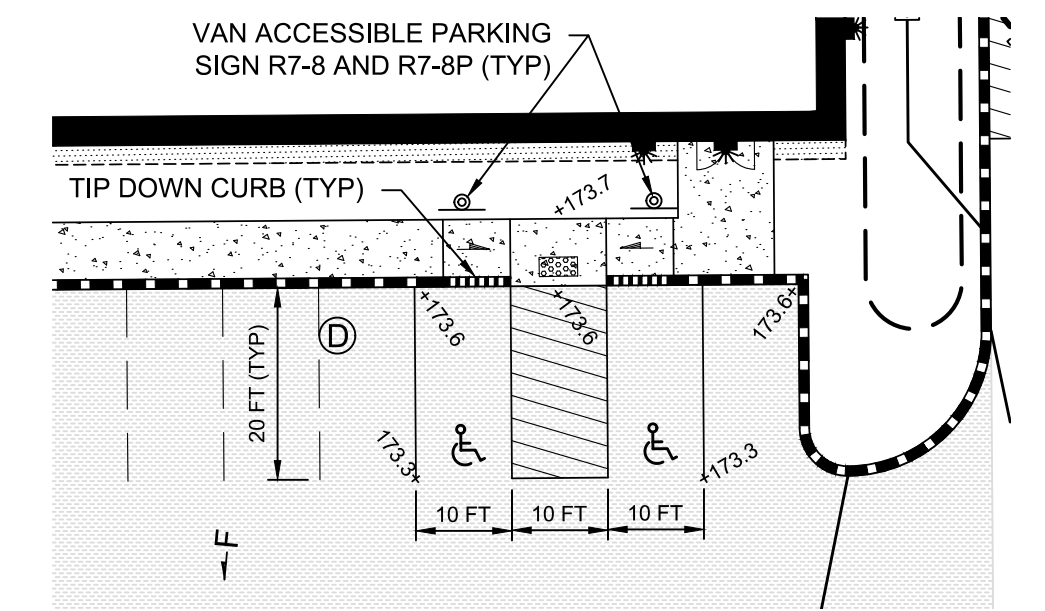
HEAVY DUTY TYPICAL PAVEMENT SECTION
NOT TO SCALE



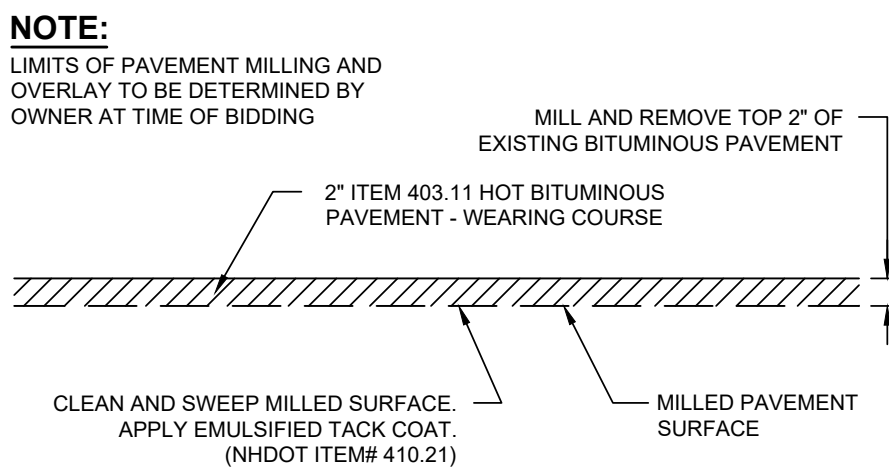
STRAIGHT OR CURVED VERTICAL GRANITE CURB
(ITEM 609.1 OR 609.2-MODIFIED)
NOT TO SCALE



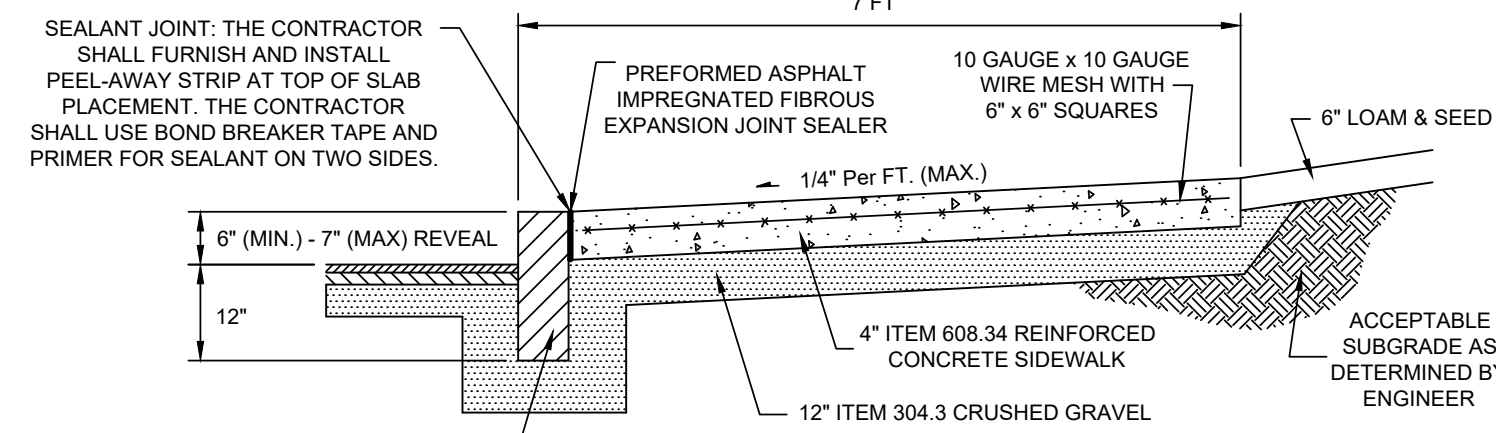
TYPICAL SECTION - DRIVEWAY APRON
NOT TO SCALE



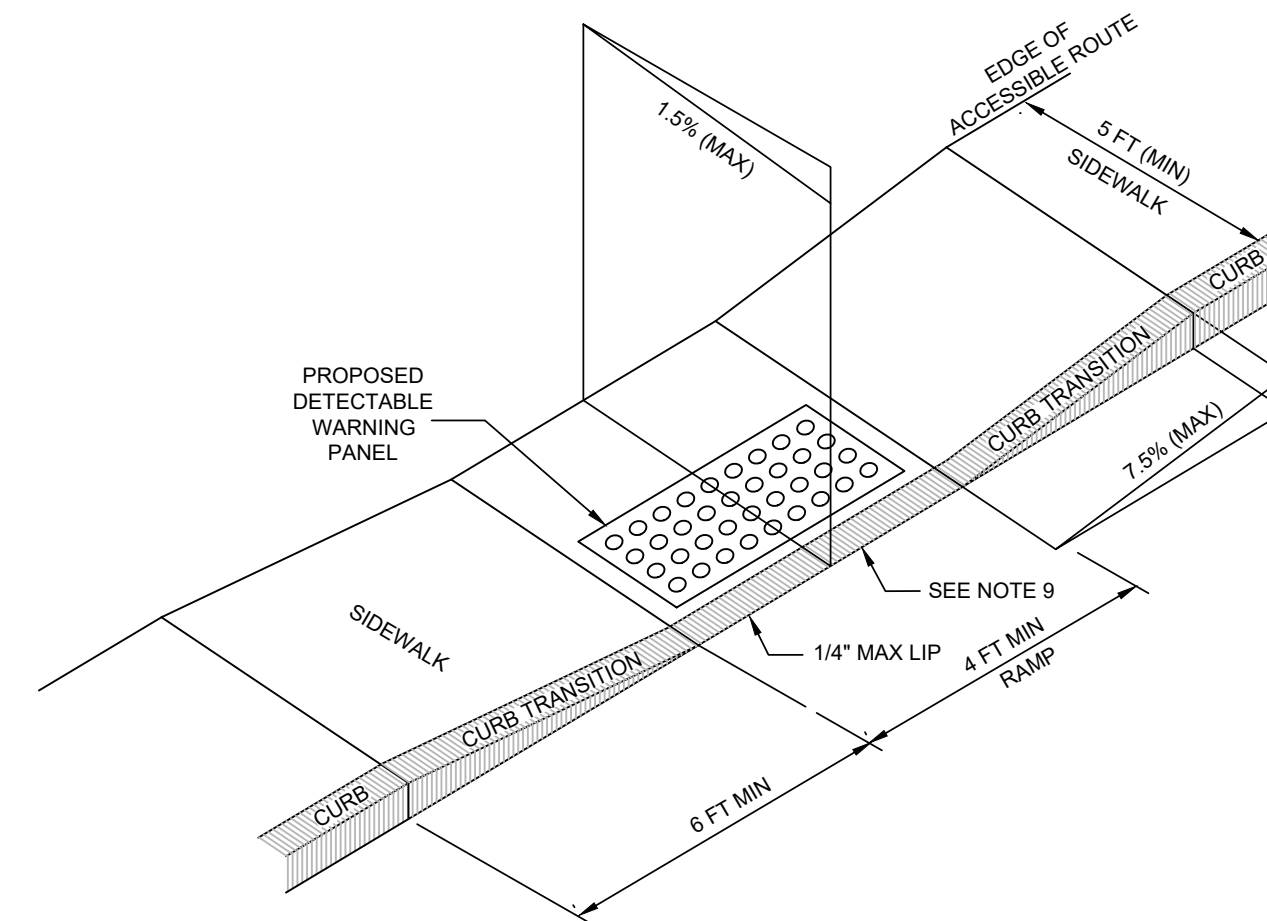
RESERVED PARKING AREA DETAIL
SCALE: 1" = 20'



MILL AND PAVEMENT OVERLAY DETAIL (BID ALTERNATE)
NOT TO SCALE



CONCRETE SIDEWALK AND VERTICAL GRANITE CURB DETAIL
NOT TO SCALE



- NOTES:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5 FT IN WIDTH (EXCLUDING CURB) A 5 FT X 5 FT PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE ALL CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS PAVEMENT.

HANDICAP ACCESSIBLE CURB RAMP DETAIL
NOT TO SCALE

No.	DATE	REVISION	BY
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1	09/01/20	TOWN AND NHDES COMMENTS	EDB

DETAIL SHEET - GENERAL SITE
(MAP 215, LOT 4)

PROPOSED BUILDING ADDITION
36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

NO SCALE

12 JUNE 2020

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street Nashua, NH 03062
131 Middlesex Turnpike Burlington, MA 01803
(603) 883-2057 (781) 203-1501
www.haynerswanson.com

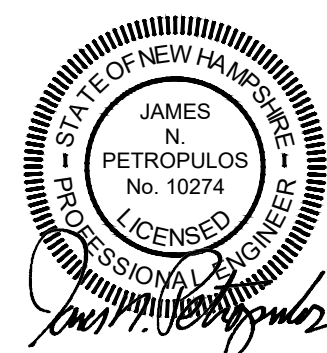
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

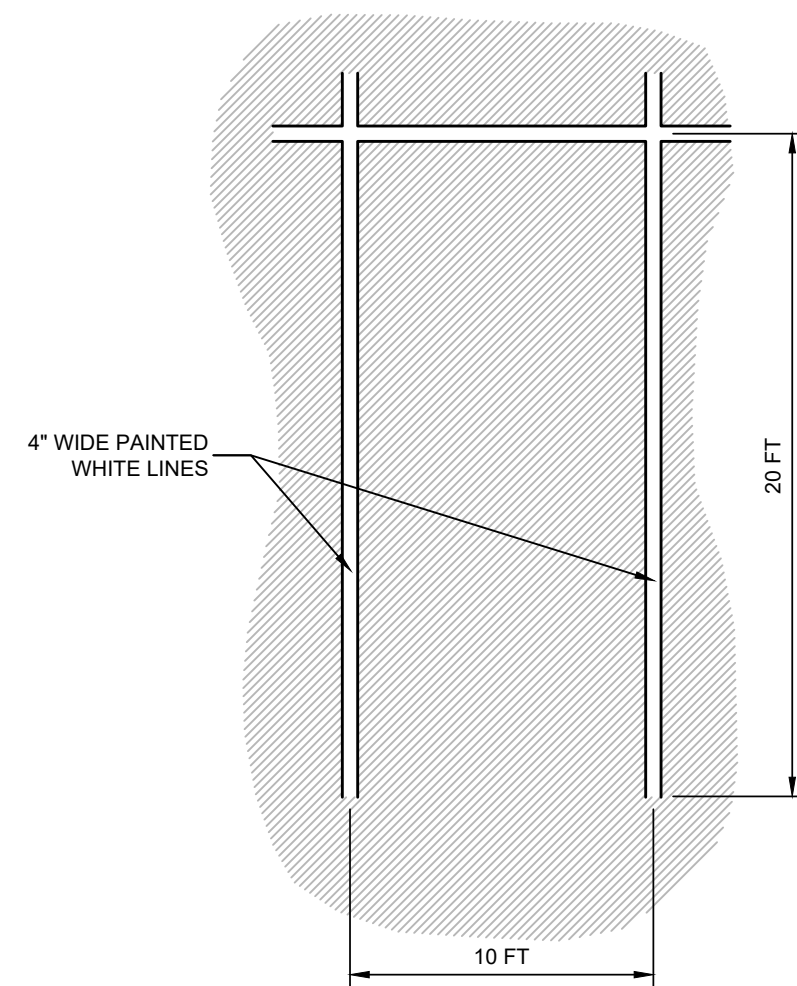
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

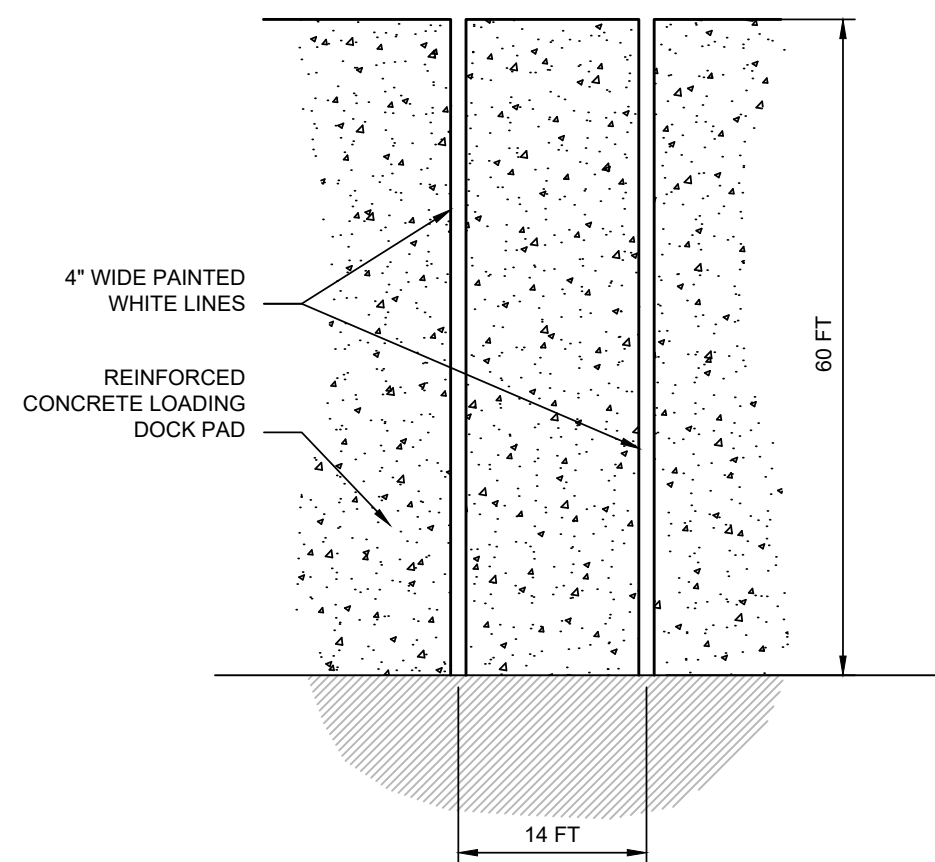
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.





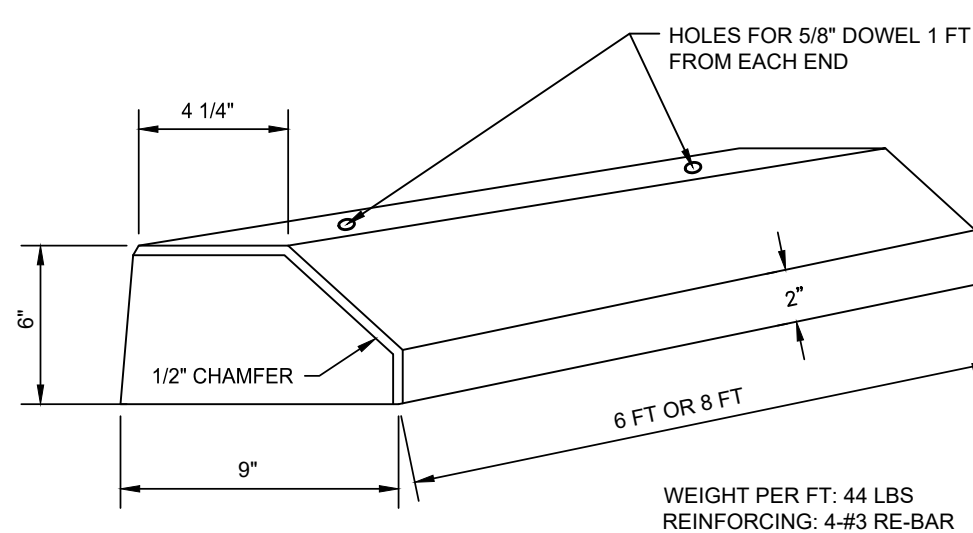
TYPICAL AUTOMOBILE PARKING STALL DETAIL

NOT TO SCALE



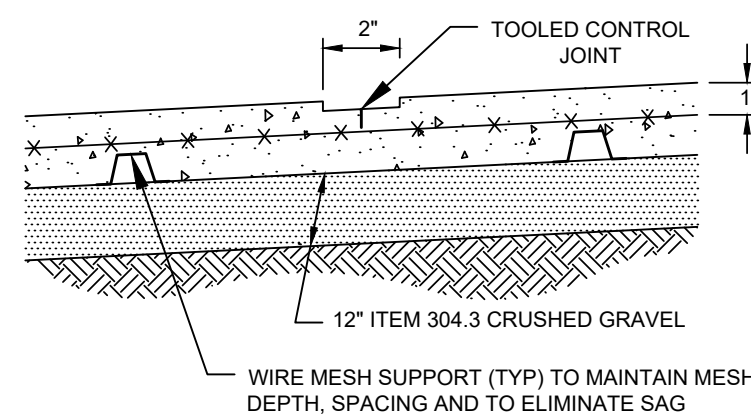
TYPICAL TRAILER PARKING STALL DETAIL

NOT TO SCALE



PRECAST CONCRETE CURB STOP DETAIL

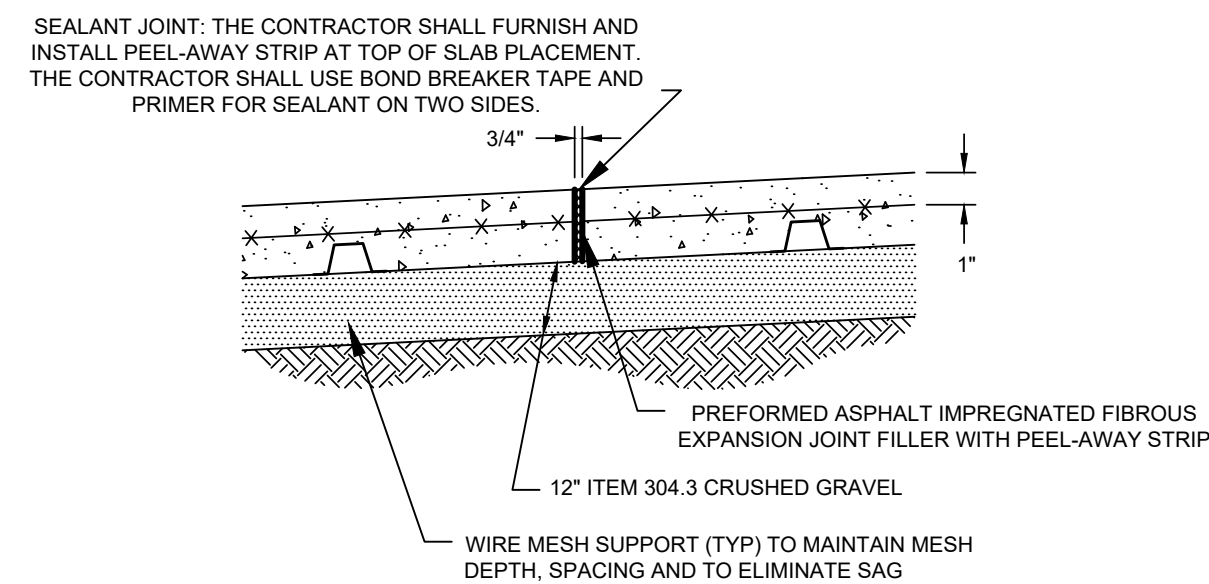
NOT TO SCALE



THE CONTRACTOR SHALL PROVIDE TOoled CONTROL JOINTS @ 5'-0" O/C PROVIDE FULL DEPTH EXPANSION JOINT @ 20'-0" O/C AND AT ALL SIDEWALK INTERSECTIONS, T'S, L'S AND CORNERS. DO NOT USE PRE-FORMED KEY COOLD JOINTS. JOINTS SHALL ALSO LINE UP WITH BOTH SIDES OF T SLAB INTERSECTIONS.

CONCRETE CONTROL JOINT DETAIL

NOT TO SCALE

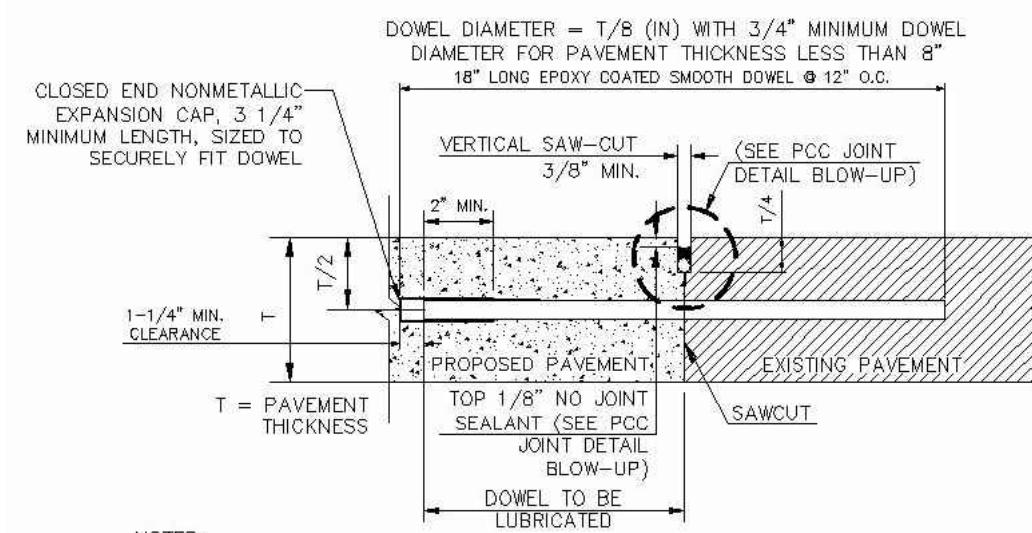


SEALANT JOINT: THE CONTRACTOR SHALL FURNISH AND INSTALL PEEL-AWAY STRIP AT TOP OF SLAB PLACEMENT. THE CONTRACTOR SHALL USE BOND BREAKER TAPE AND PRIMER FOR SEALANT ON TWO SIDES.

SIDEWALK EXPANSION JOINT DETAIL

NOT TO SCALE

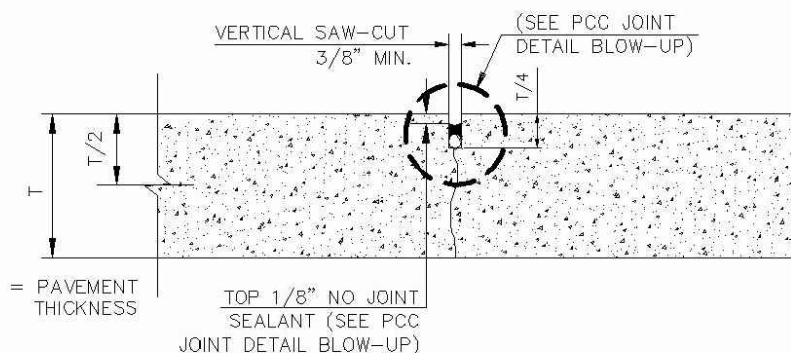
NOTE
THE CONCRETE LOADING APRON AND JOINTING METHODS DETAILS ARE FOR SCHEMATIC PURPOSES ONLY. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL AND STRUCTURAL PLANS FOR THE FINAL DESIGN INCLUDING EXACT SIZES, DIMENSIONS AND DETAILS.



NOTES:

1. DOWEL BARS SHALL BE DRILLED 9" DEEP, 12" ON CENTER INTO VERTICAL FACE OF EXISTING PAVEMENT BY USE OF A MECHANICAL RIG; CLEAN HOLES THOROUGHLY.
2. DRILLING BY HAND OR PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.
3. COMPLETELY FILL HOLE WITH EPOXY GROUT AND INSERT DOWEL WITH EXPANSION CAPS SHOWN IN DETAIL. INSTALL EXPANSION CAPS ON THE FREE END OF THE DOWELS.
4. DOWELS SHALL BE ALIGNED PERPENDICULAR TO THE JOINT.
5. DRILLING, CLEANING, AND GROUTING SHALL BE PERFORMED PER THE EPOXY MANUFACTURER'S REQUIREMENTS FOR THIS SPECIFIC APPLICATION.
6. FOR EPOXY GROUT, THE HOLE DIAMETER SHALL BE NOT MORE THAN 1/8" LARGER THAN THE DOWEL DIAMETER OR AS DIRECTED BY THE EPOXY MANUFACTURER.
7. FOR CEMENT-BASED GROUT, THE HOLE DIAMETER SHALL BE ATLEAST 1/4" LARGER AND NOT MORE THAN 3/8" LARGER THAN THE DOWEL DIAMETER OR AS DIRECTED BY THE EPOXY MANUFACTURER.

BUTT JOINT



NOTE:

1. REFERENCE SLAB PLAN FOR JOINT SPACING.

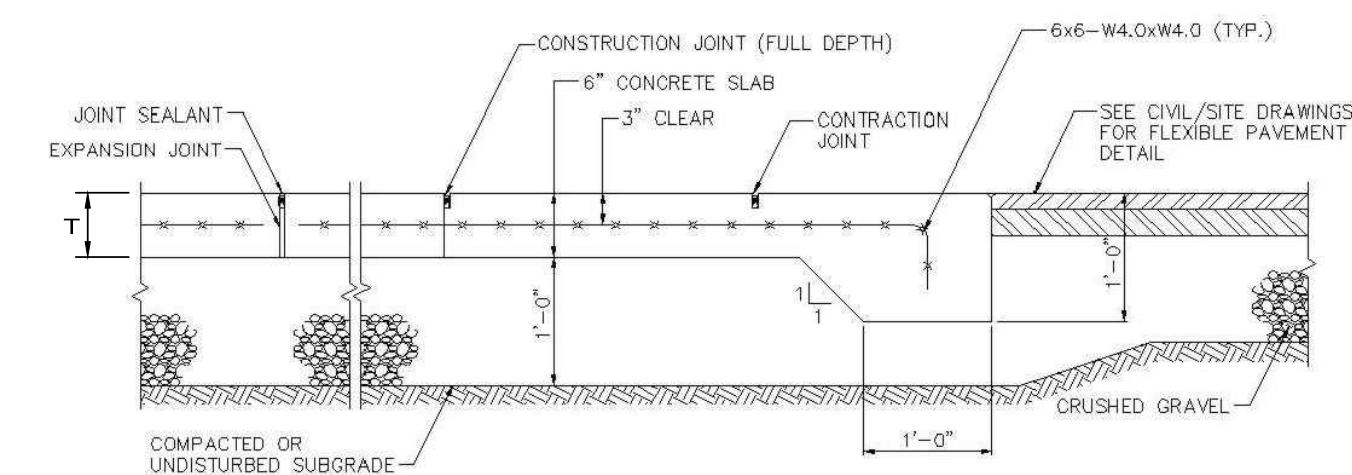
CONTRACTION JOINT

CONCRETE JOINT DETAIL

NOT TO SCALE

NOTE:

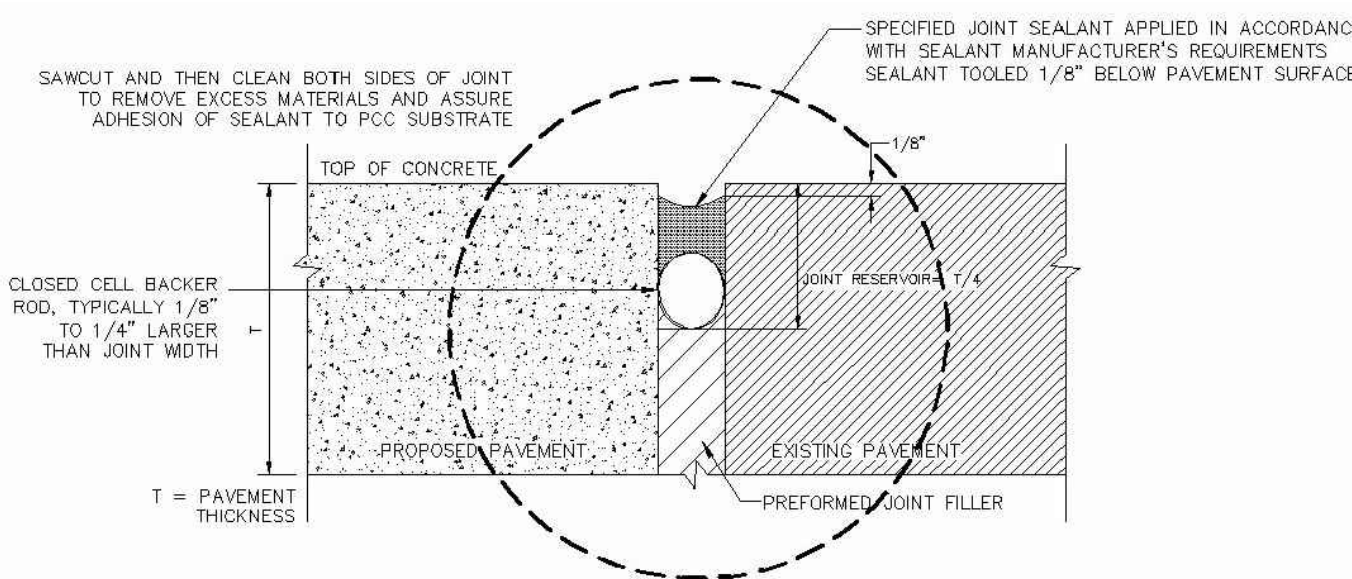
1. PLACE RIGID PAVEMENT CONSTRUCTION JOINTS AT END OF CONCRETE PLACEMENTS AND AT LOCATIONS WHERE PLACEMENT OPERATIONS ARE STOPPED FOR MORE THAN 1/2 HOUR. CONSTRUCTION JOINTS CAN BE PLACED AT ANY OF THE CONTRACTION JOINT LOCATIONS SHOWN ON THE SLAB PLAN.
2. TYPICAL JOINT SPACING SHALL BE AS SHOWN. HOWEVER ADJUST SPACING SO THAT JOINTS COINCIDE WITH ALL DRAINAGE STRUCTURES, (ALL CB'S & ALL DM'S).
3. JOINTS FOR COMPACTOR SLAB SHALL BE SIMILAR AND CONTRACTION JOINTS SHALL ALSO BE PLACED AT A MAXIMUM SPACING OF 10'-0" ON CENTER.



FOR EXPANSION, CONSTRUCTION, CONTRACTION, AND BUTT JOINTS SEE CONCRETE JOINT DETAILS

TYPICAL SECTION - CONCRETE APRON

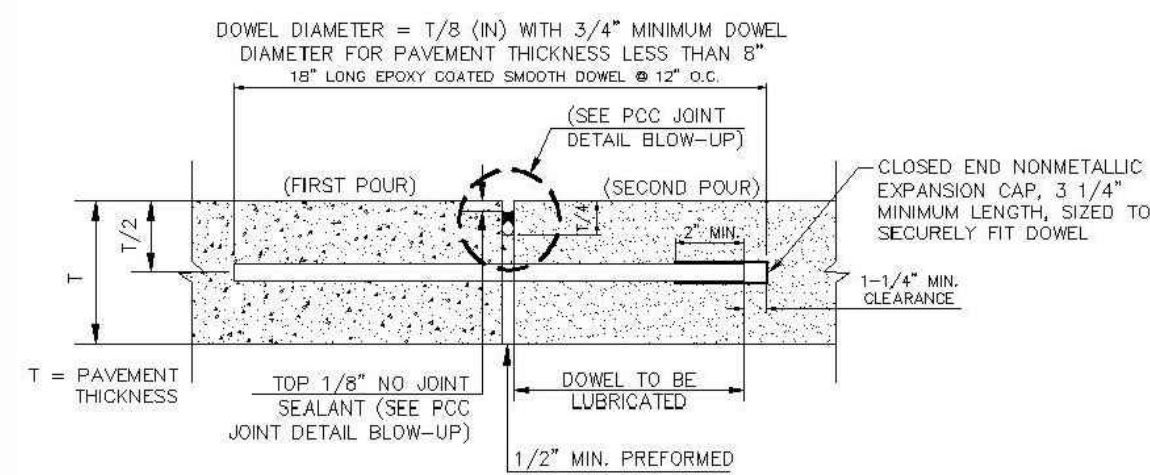
NOT TO SCALE



NOTES:

1. ASSURE SAW JOINTS ARE CLEAN AND DRY PRIOR TO THE APPLICATION OF THE JOINT SEALANT.
2. INSTALL CLOSED CELL BACKER ROD AFTER JOINTS HAVE BEEN CLEANED AND DRIED IN ACCORDANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.
3. INSTALL BACKER ROD AT CONSISTENT AND UNIFORM DEPTH.
4. JOINT SEALANT APPLICATION SHALL BE IN STRICT COMPLIANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.

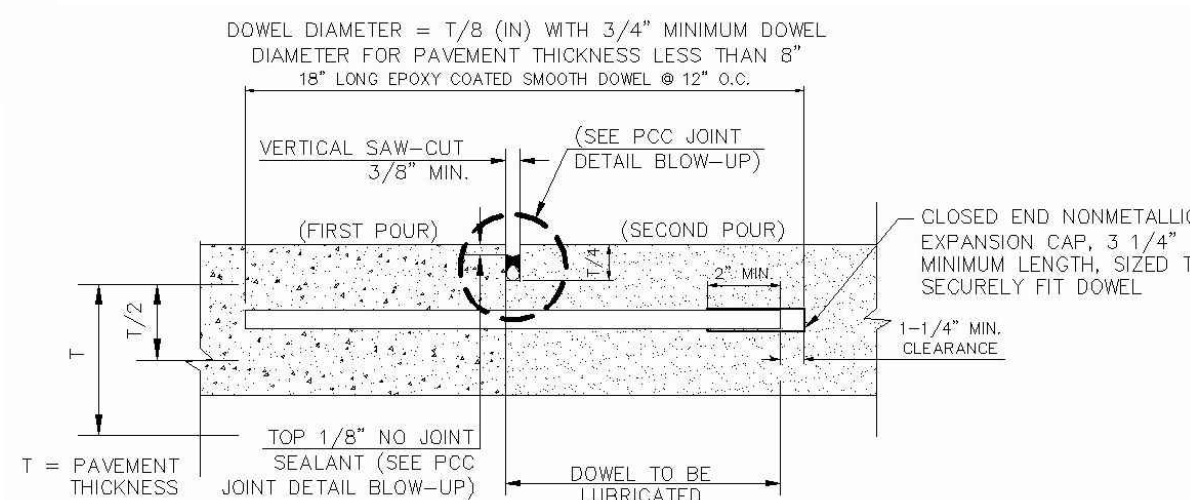
PCC JOINT DETAIL BLOW-UP (TYP) (EXPANSION JOINT)



NOTES:

1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE, DRILLING BY HAND OR PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.
2. REFERENCE SLAB PLAN FOR JOINT SPACING.

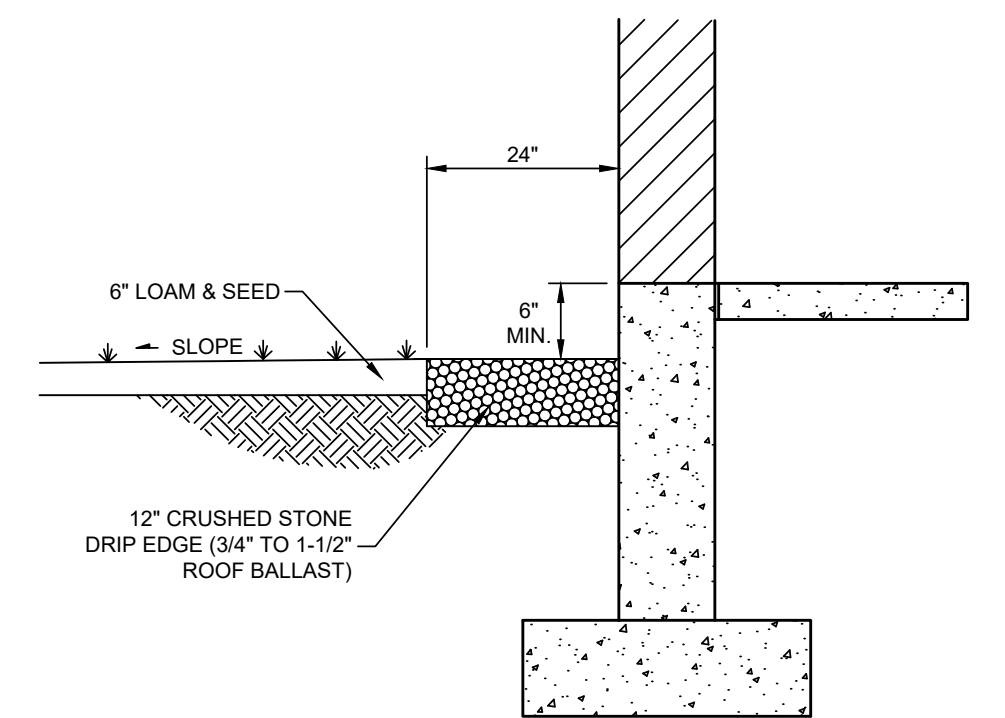
TRANSVERSE EXPANSION JOINT



NOTE:

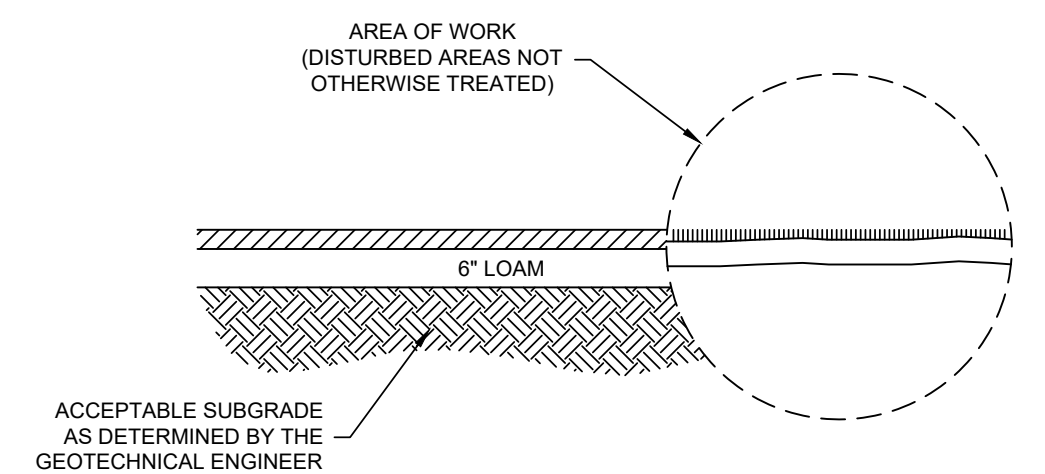
1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE, DRILLING BY HAND OR PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.

CONSTRUCTION JOINT



CRUSHED STONE DRIP EDGE DETAIL (FRONT OF BUILDING ADDITION)

NOT TO SCALE



SEED MIX
45% TURF TYPE TALL FESCUE
20% KENTUCKY BLUEGRASS
20% CREEPING RED FESCUE
15% PERENNIAL RYEGRASS
RATE: 6-7lb/1,000SF

LOAM AND SEED DETAIL

NOT TO SCALE

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1	09/01/20	TOWN AND NHDES COMMENTS	EDB

DETAIL SHEET - GENERAL SITE
(MAP 215, LOT 4)

PROPOSED BUILDING ADDITION
36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

NO SCALE

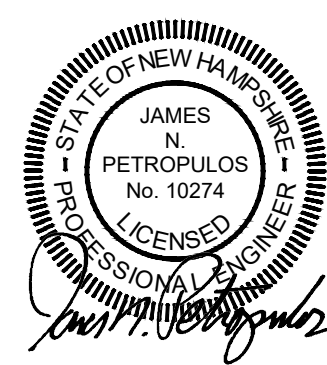
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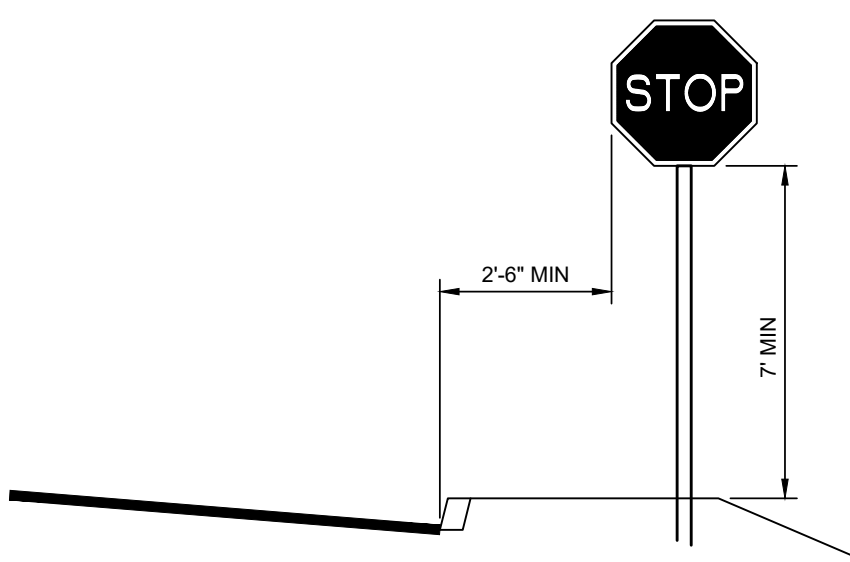
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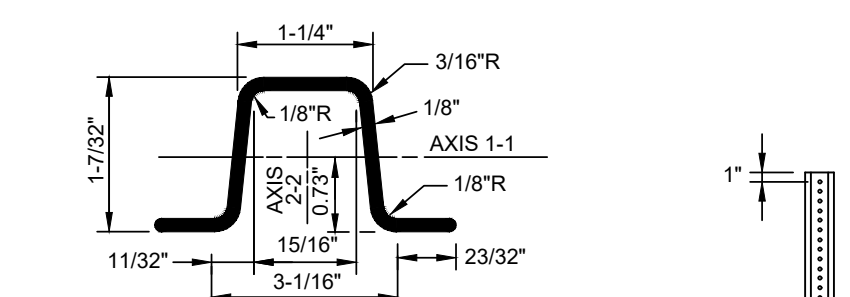
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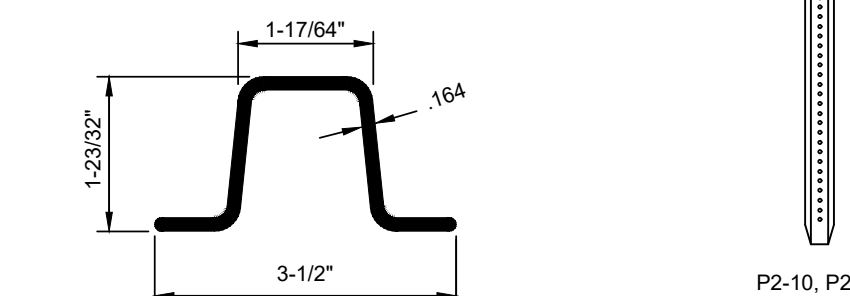
SIGN LEGEND		
TEXT SEE MUTCD FOR TEXT DIMENSIONS	IDENTIFICATION NUMBER	SIZE WIDTH/HEIGHT
	TEXT DIMENSIONS	
	R1-1	30"/30"
	SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS	
	R7-1 (MODIFIED)	12"/18"
	SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS	
	R7-8	12"/18"
	SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS	
	R7-8P	18"/9"
	SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS	



STOP SIGN LOCATION DETAIL
NOT TO SCALE

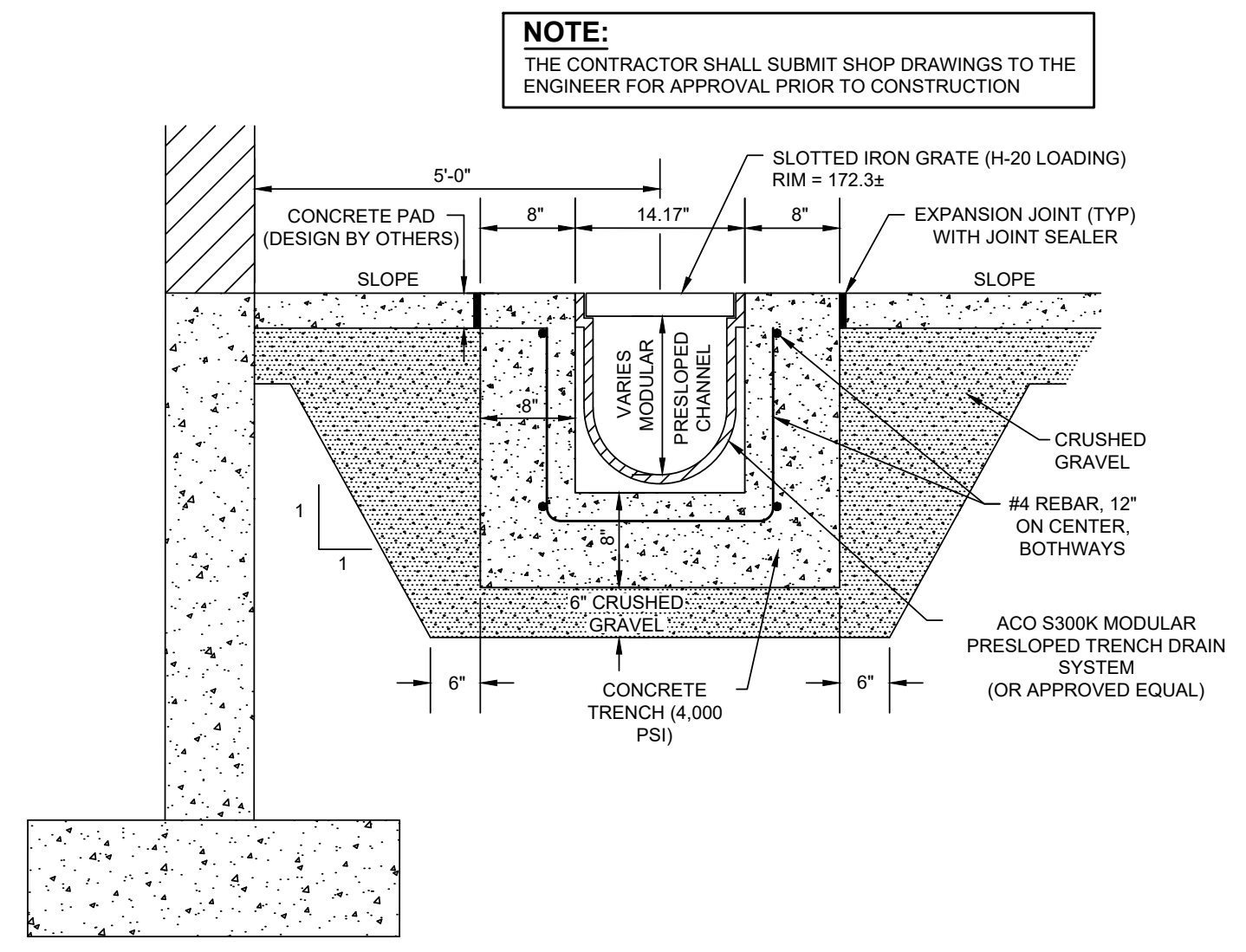


SECTION P2-10, P2-11
 LENGTH: P2-10, 10'-0", P2-11, 11'-0"
 WEIGHT PER LINEAR FOOT: 3.00 LBS
 HOLES: 3/8" DIA. 1" C-C FULL LENGTH
 STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-5781 (GRADE 1070-1080)
 FINISH: SHALL BE PAINTED WITH TWO COATS OF BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING. PAINT SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT.



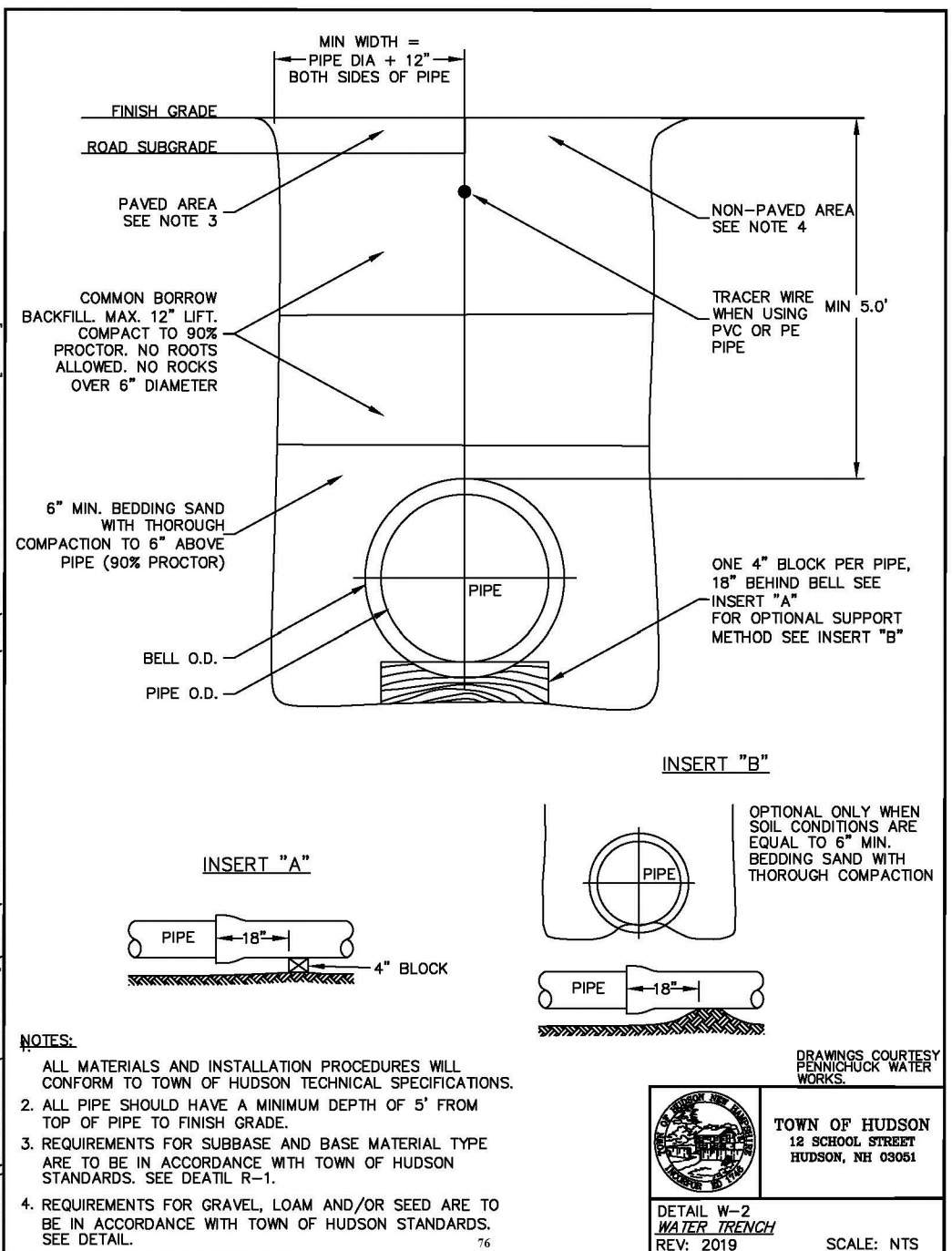
SECTION P-11 THRU P-16
 LENGTH: P-11, 11'-0", P-12, 12'-0", P-14, 14'-0", P-16, 16'-0"
 WEIGHT PER LINEAR FOOT: 3.00 LBS
 STEEL: SAME AS FOR P2-10, P2-11
 FINISH: SAME AS FOR P2-10, P2-11
 DIMENSIONS SHOWN ARE NOMINAL
 ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE.

TRAFFIC SIGN SUPPORT DETAIL
NOT TO SCALE



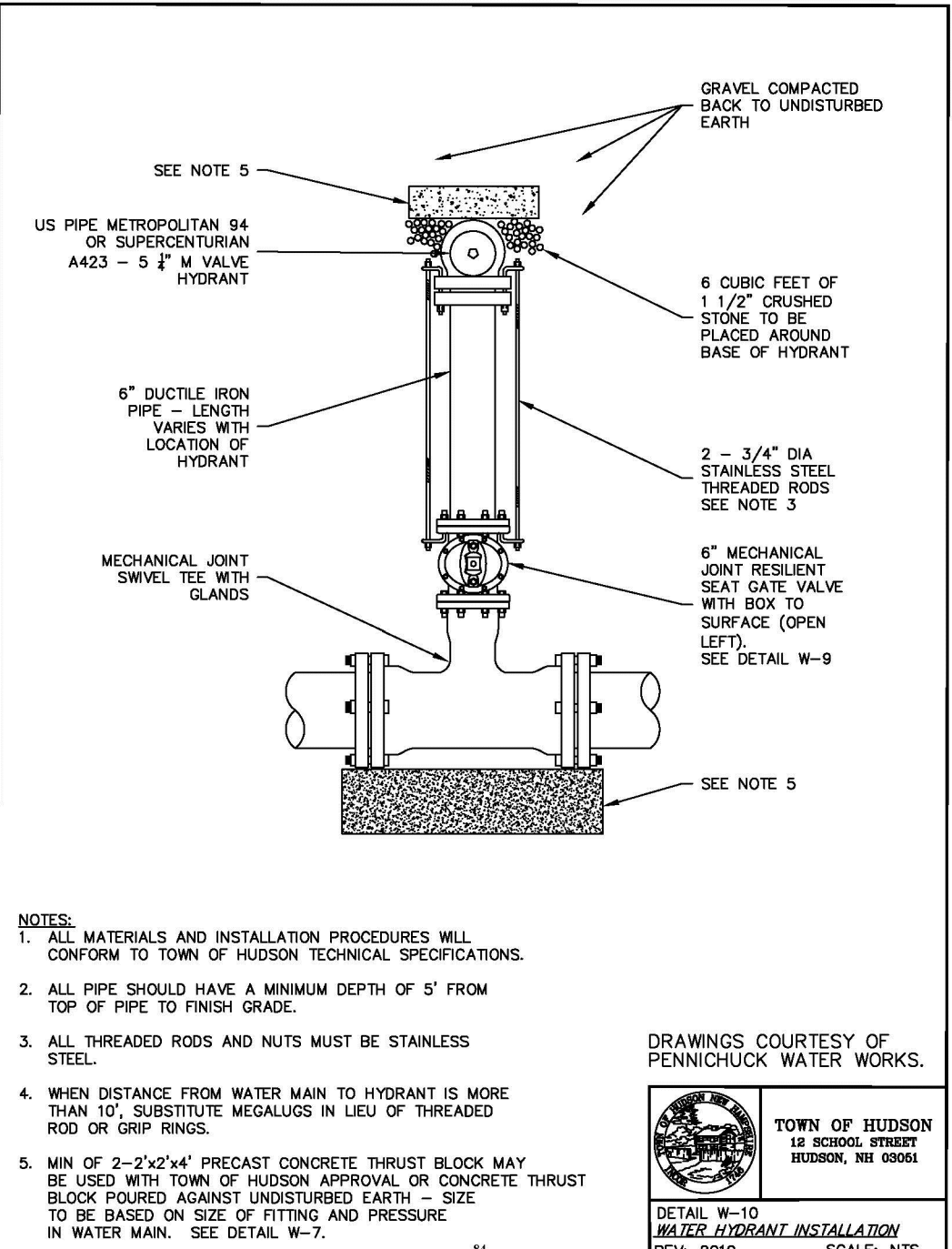
NOTE:
THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION

TRENCH DRAIN DETAIL
NOT TO SCALE



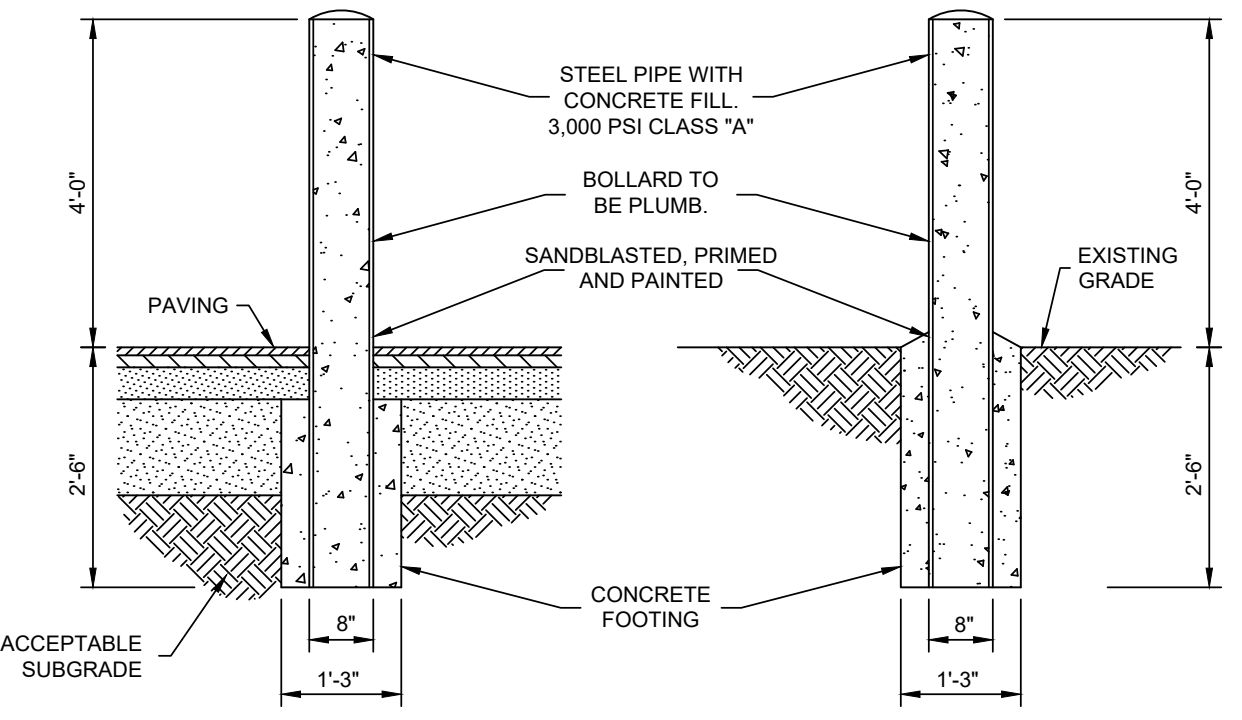
NOTES:
 1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. REQUIREMENTS FOR SUBBASE AND BASE MATERIAL TYPE ARE TO BE IN ACCORDANCE WITH TOWN OF HUDSON STANDARDS. SEE DETAIL W-1.
 4. REQUIREMENTS FOR GRAVEL, LOAM AND/OR SEED ARE TO BE IN ACCORDANCE WITH TOWN OF HUDSON STANDARDS. SEE DETAIL W-2.

TYPICAL SEWER TRENCH SECTION
NOT TO SCALE

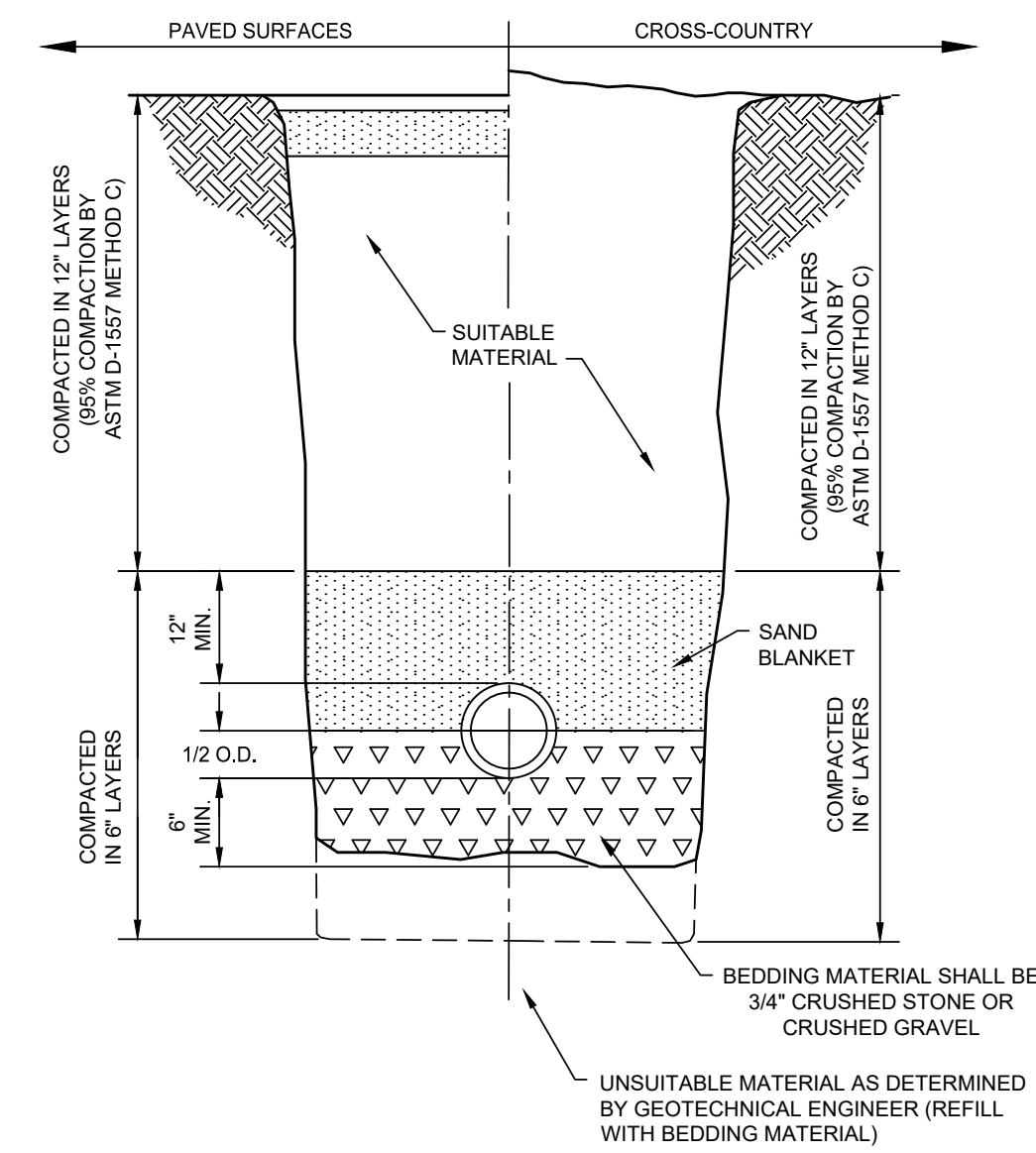


NOTES:
 1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. ALL THREADED RODS AND NUTS MUST BE STAINLESS STEEL.
 4. WHEN DISTANCE FROM WATER MAIN TO HYDRANT IS MORE THAN 10', SUBSTITUTE MEGALUGS IN LIEU OF THREADED ROD OR GRIP RINGS.
 5. MIN OF 2'-2x2x4" PRECAST CONCRETE THRUST BLOCK MAY BE USED WITH TOWN OF HUDSON APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE DETAIL W-7.

WATER HYDRANT INSTALLATION
NOT TO SCALE



BOLLARD DETAIL
NOT TO SCALE



NOTES:
 1. THE SEWER TRENCH SECTION SHALL CONFORM TO THE NHDES STANDARD TRENCH SECTION, AND TO THE TOWN OF HUDSON ENGINEERING DEPARTMENT ENGINEERING TECHNICAL GUIDE LINES AND TYPICAL DETAILS.
 2. IN GENERAL, DISTURBED CROSS-COUNTRY AREAS SHALL BE RESTORED TO THE SATISFACTION OF THE ENGINEER AND SHALL BE LOAMED AND SEEDING IN ACCORDANCE WITH THE DETAIL AND SHALL BE MAINTAINED UNTIL A VIABLE STAND OF GRASS HAS BEEN ESTABLISHED.

TYPICAL SEWER TRENCH SECTION
NOT TO SCALE

No.	DATE	REVISION	BY
1	09/29/20	TOWN AND NHDES COMMENTS	EDB
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

DETAIL SHEET - GENERAL SITE
(MAP 215, LOT 4)
PROPOSED BUILDING ADDITION
 36 EXECUTIVE DRIVE
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
 265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

NO SCALE

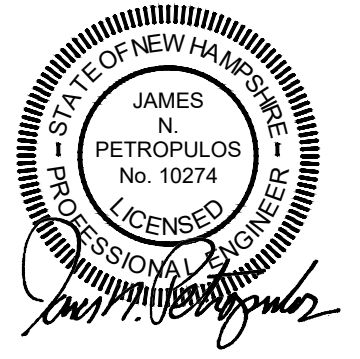
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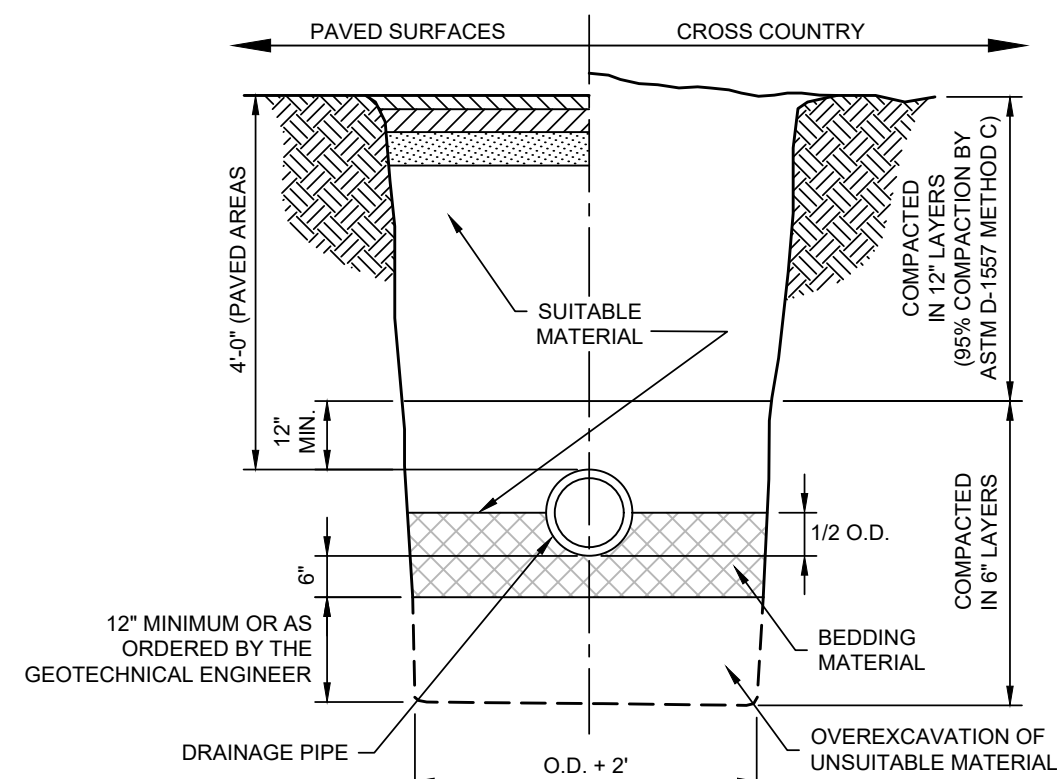
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FIELD BOOK: 1239	DRAWING NAME: 3889-SITE-DET1	3889	17 OF 22
DRAWING LOC: J:\3000\3889\DWG\SITE		File Number	Sheet

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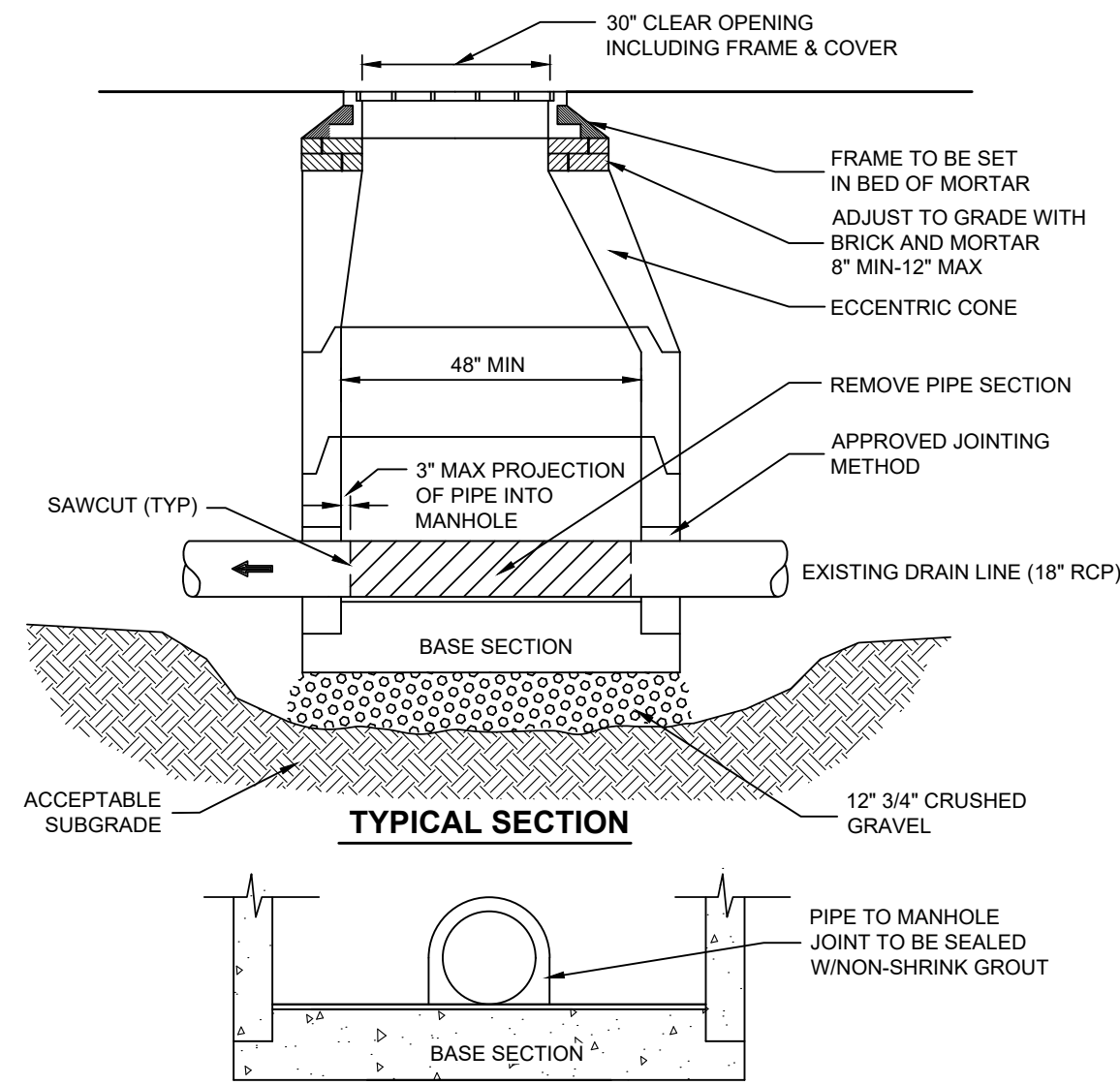
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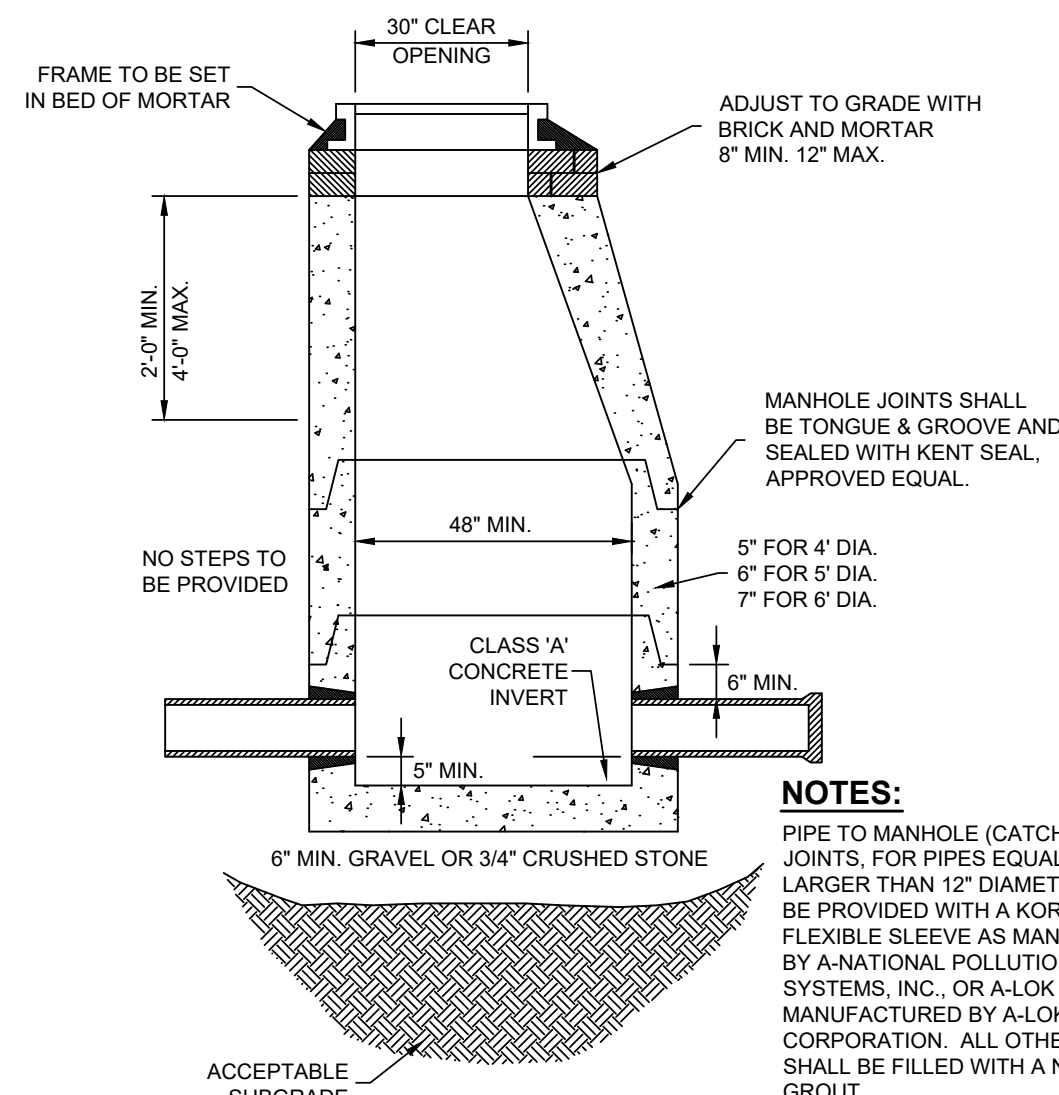


BEDDING MATERIAL:
 BEDDING SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33, STONE SIZE #57
 100% PASSING 1 INCH SCREEN
 90-100% PASSING 3/4 INCH SCREEN
 20-50% PASSING 3/8 INCH SCREEN
 0-10% PASSING #4 SIEVE
 0-5% PASSING #6 SIEVE
 WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED SCREENED GRAVEL OR CRUSHED STONE 1/2 TO 3/4 INCH SHALL BE USED.

TYPICAL DRAINAGE TRENCH SECTION
 NOT TO SCALE



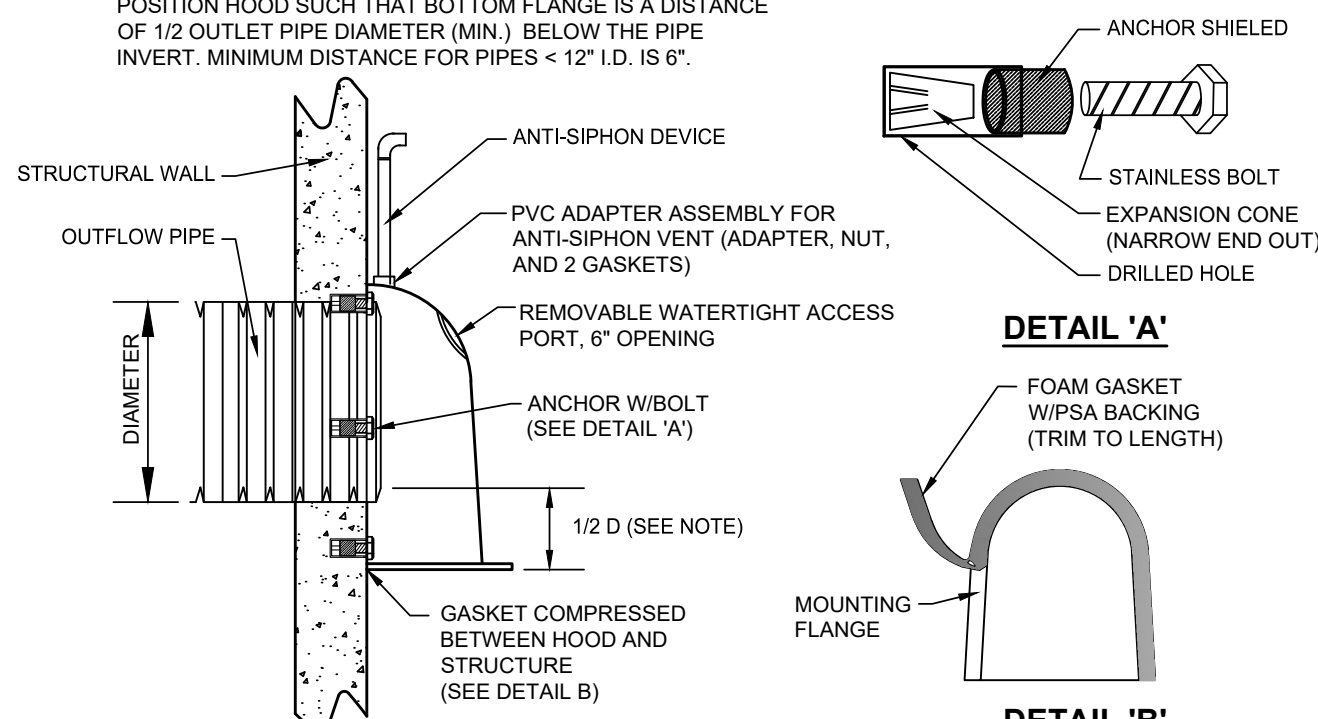
TYPICAL SECTION
CROSS SECTION
DROP-OVER DRAIN MANHOLE
 NOT TO SCALE



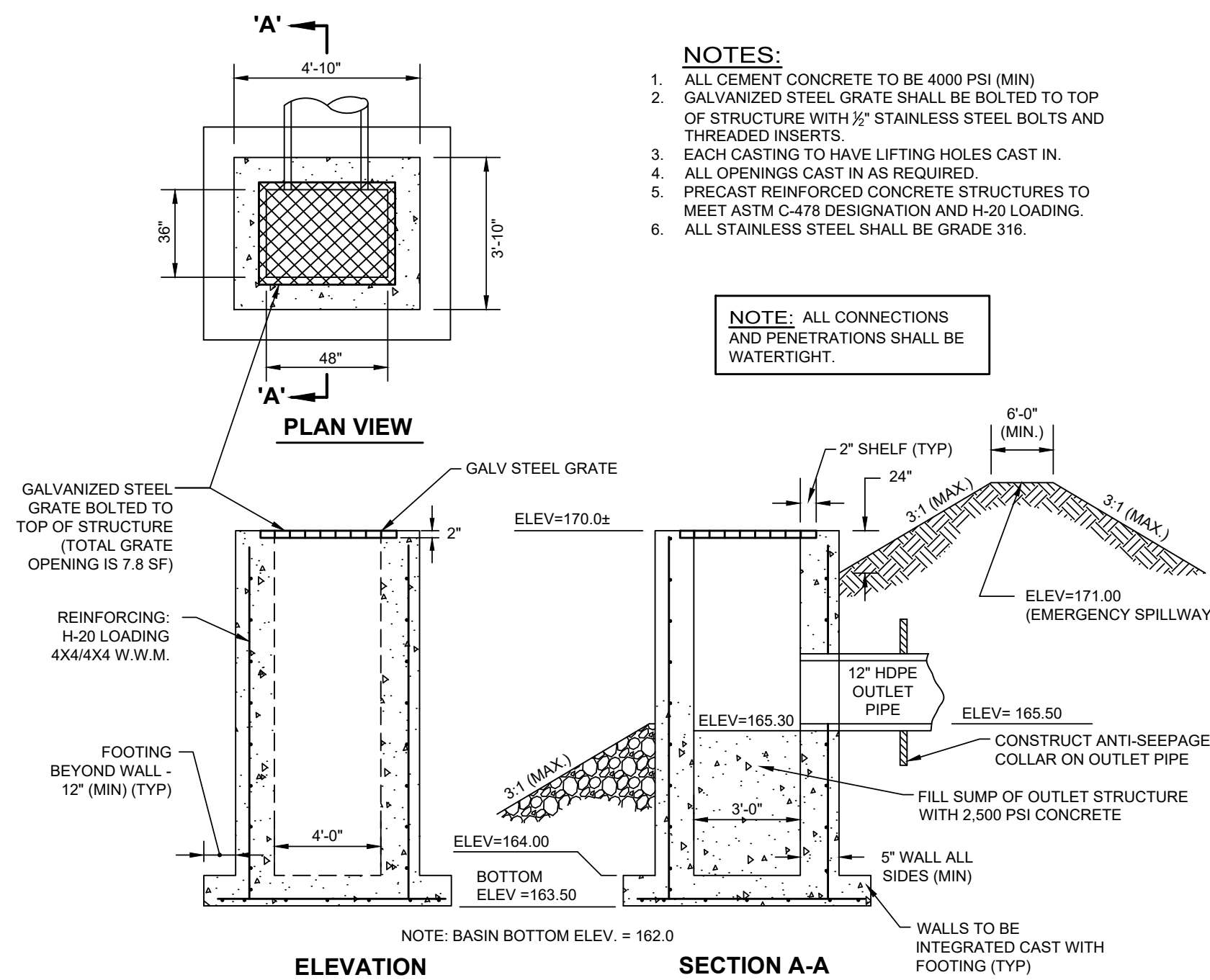
NOTES:
 PIPE TO MANHOLE (CATCH BASIN) JOINTS, FOR PIPES EQUAL TO OR LARGER THAN 12\"/>

STANDARD DRAIN MANHOLE DETAIL
 NOT TO SCALE

NOTE:
 POSITION HOOD SUCH THAT BOTTOM FLANGE IS A DISTANCE OF 1/2 OUTLET PIPE DIAMETER (MIN.) BELOW THE PIPE INVERT. MINIMUM DISTANCE FOR PIPES < 12\"/>



SNOUT OIL AND DEBRIS STOP DETAIL
 NOT TO SCALE

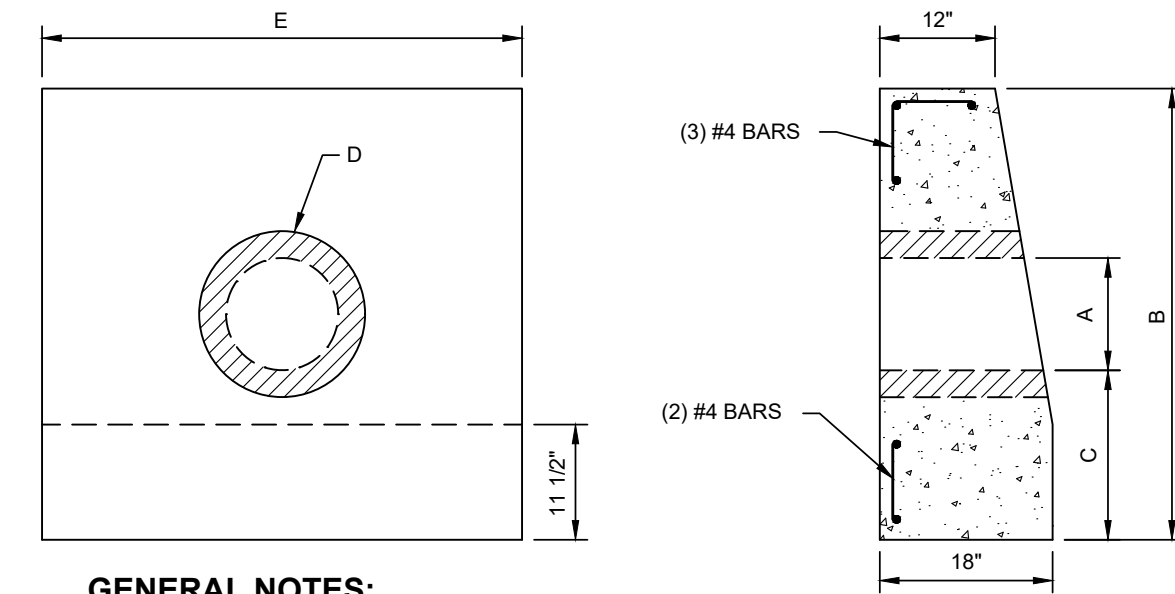


NOTES:
 1. ALL CEMENT CONCRETE TO BE 4000 PSI (MIN)
 2. GALVANIZED STEEL GRATE SHALL BE BOLTED TO TOP OF STRUCTURE WITH 1/2\"/>

NOTE: ALL CONNECTIONS AND PENETRATIONS SHALL BE WATERTIGHT.

ELEVATION
SECTION A-A
OUTLET CONTROL STRUCTURE 1 DETAIL (OS 1)
 NOT TO SCALE

DIA. A	B	C	DIA. D	E	WEIGHT PER SECTION
12"	4'-0"	18"	18"	4'-3"	3,000 LBS
15"	4'-3"	18"	22"	6'-0"	4,500 LBS
18"	4'-6"	18"	26"	7'-0"	5,530 LBS
24"	4'-6"	15"	34"	7'-0"	5,035 LBS

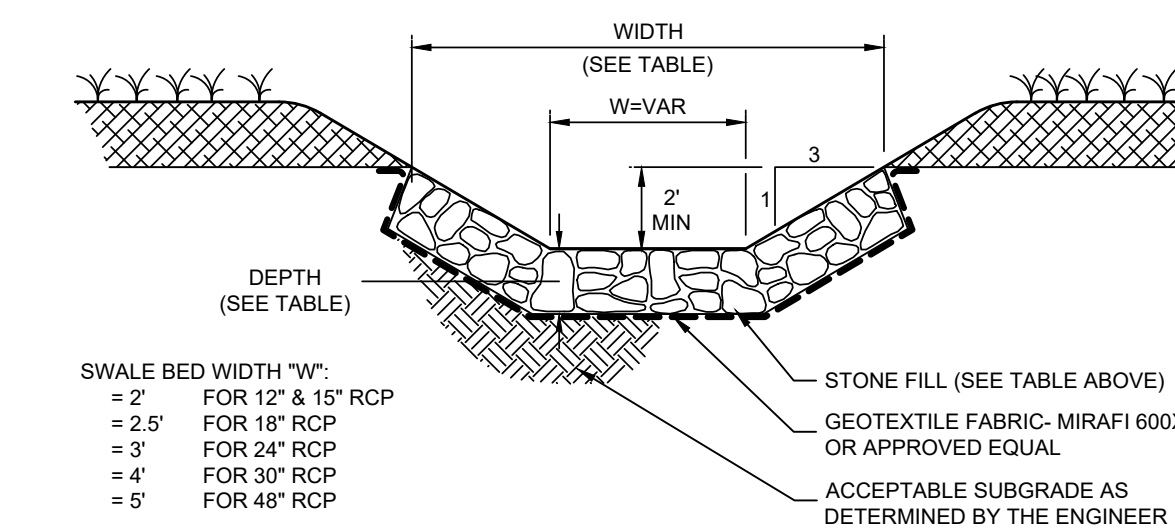


GENERAL NOTES:
 1. STEEL REINFORCEMENT CONFORMS TO LATEST ASTM SPECIFICATIONS: ASTM-A615 GRADE 60 REBAR.
 2. CONCRETE: Fc = 4,000 PSI @ 28 DAYS MINIMUM.
 3. EST WEIGHT: 3,000 LBS.

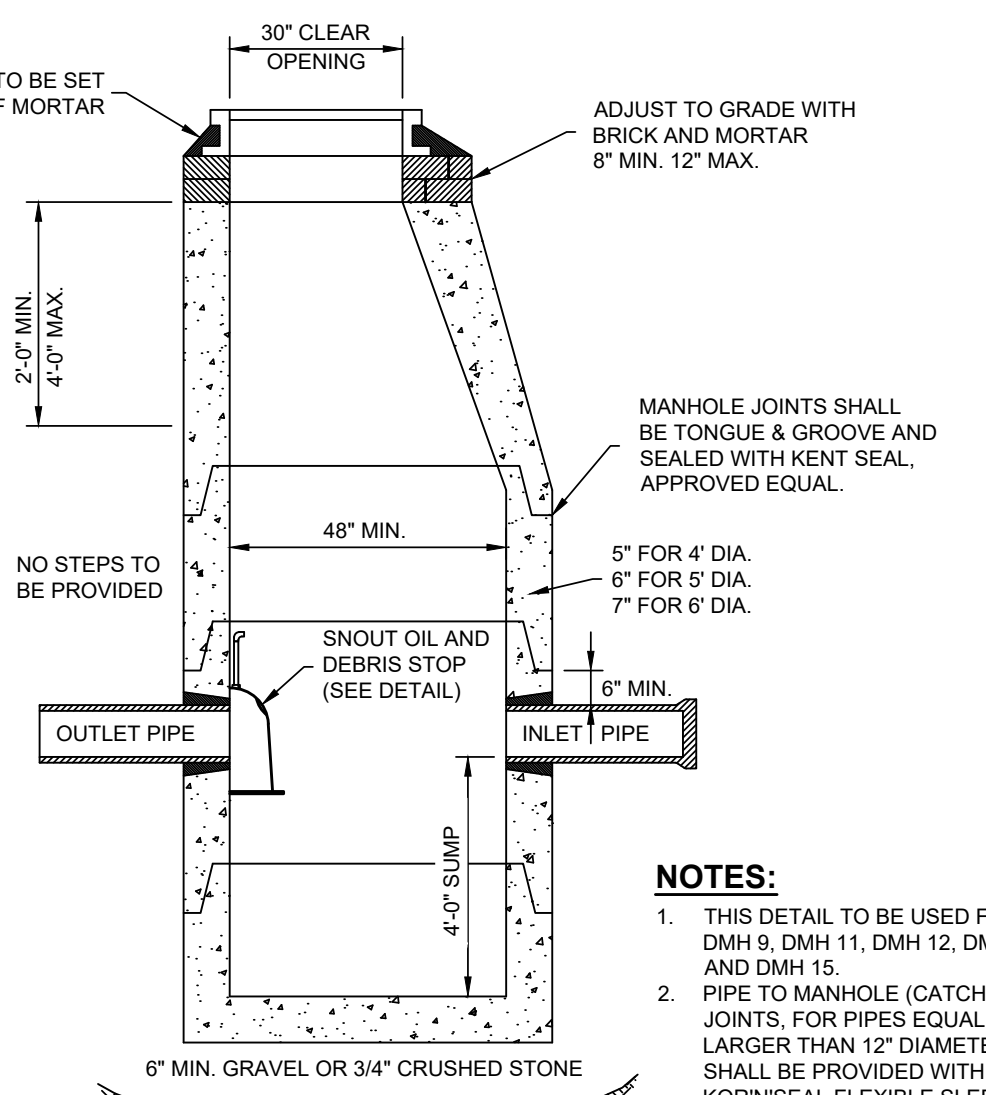
PRECAST HEADWALL DETAIL
 NOT TO SCALE

RIPRAP OUTLET PROTECTION SPECIFICATION TABLE

LOCATION	WIDTH (FT)	LENGTH (FT)	DEPTH (FT)	d 50 (IN)	MATERIAL
HW 2	29	23	1.5	5	ITEM 585.3 STONE FILL CLASS C
HW 16	21	17	1.0	3	ITEM 585.3 STONE FILL CLASS C

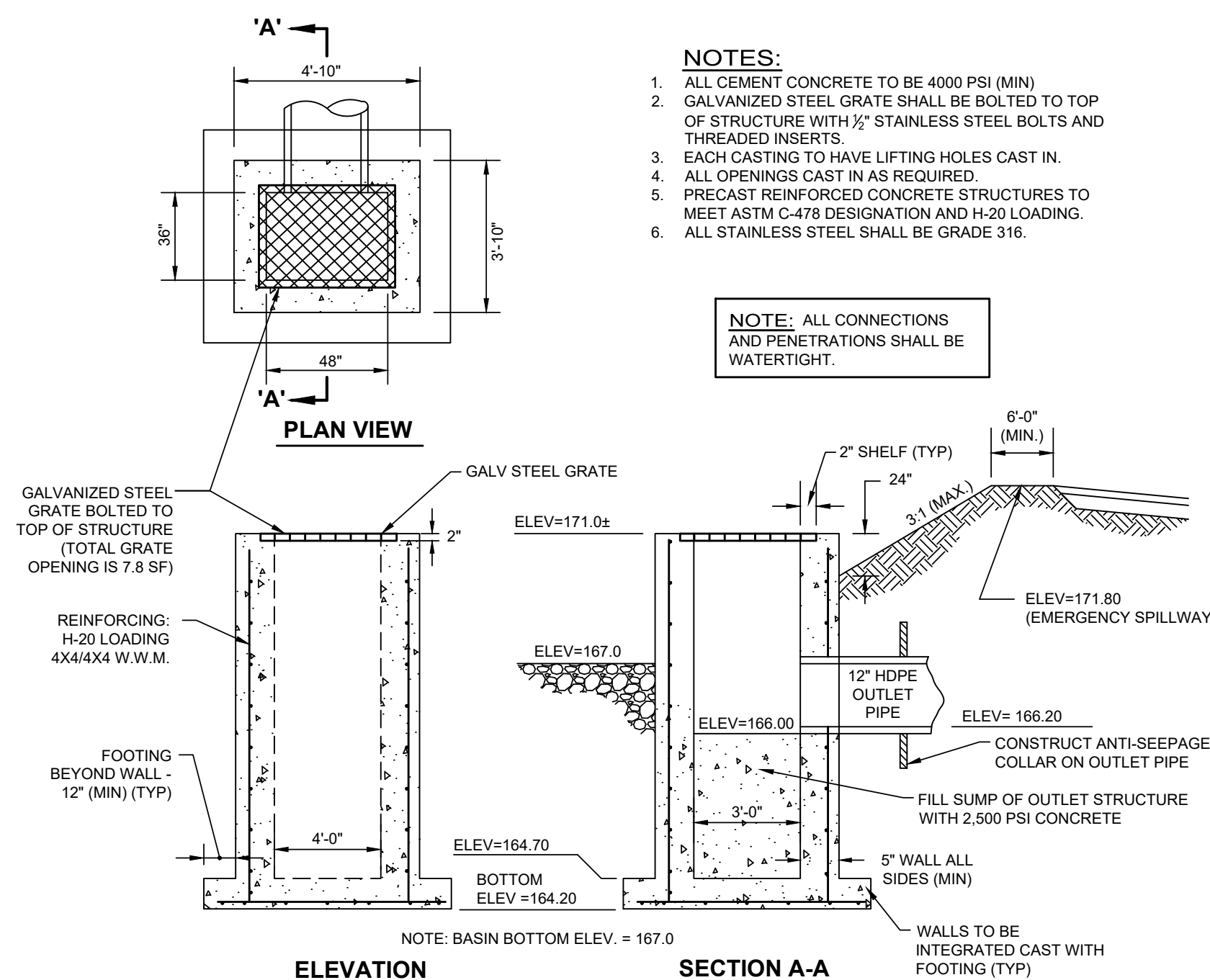


RIPRAP DETAIL AT HEADWALL/OUTLET DETAIL
 NOT TO SCALE



NOTES:
 1. THIS DETAIL TO BE USED FOR DMH 9, DMH 11, DMH 12, DMH 14 AND DMH 15.
 2. PIPE TO MANHOLE (CATCH BASIN) JOINTS, FOR PIPES EQUAL TO OR LARGER THAN 12\"/>

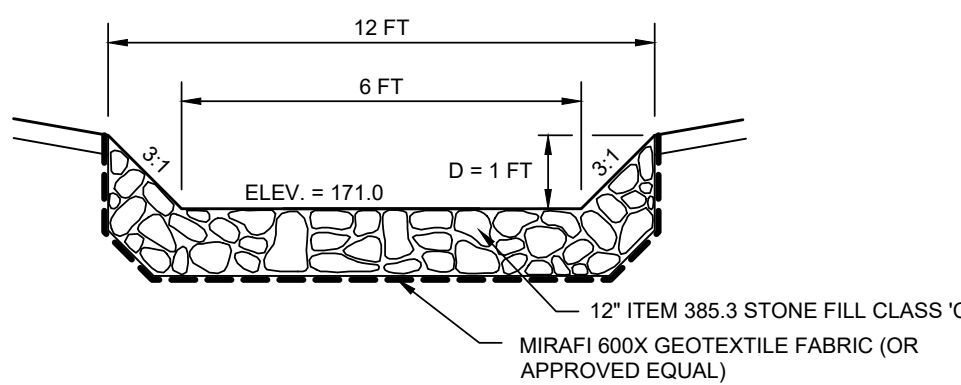
DEEP SUMP (4' - 0\") DRAIN MANHOLE DETAIL
 NOT TO SCALE



NOTES:
 1. ALL CEMENT CONCRETE TO BE 4000 PSI (MIN)
 2. GALVANIZED STEEL GRATE SHALL BE BOLTED TO TOP OF STRUCTURE WITH 1/2\"/>

NOTE: ALL CONNECTIONS AND PENETRATIONS SHALL BE WATERTIGHT.

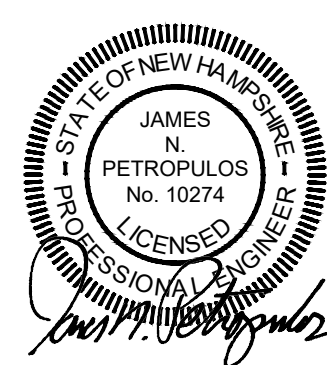
ELEVATION
SECTION A-A
OUTLET CONTROL STRUCTURE 7 DETAIL (OS 7)
 NOT TO SCALE



SMA 'A' SPILLWAY TYPICAL SECTION
 NOT TO SCALE

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DETAIL SHEET - GENERAL SITE (MAP 215, LOT 4)

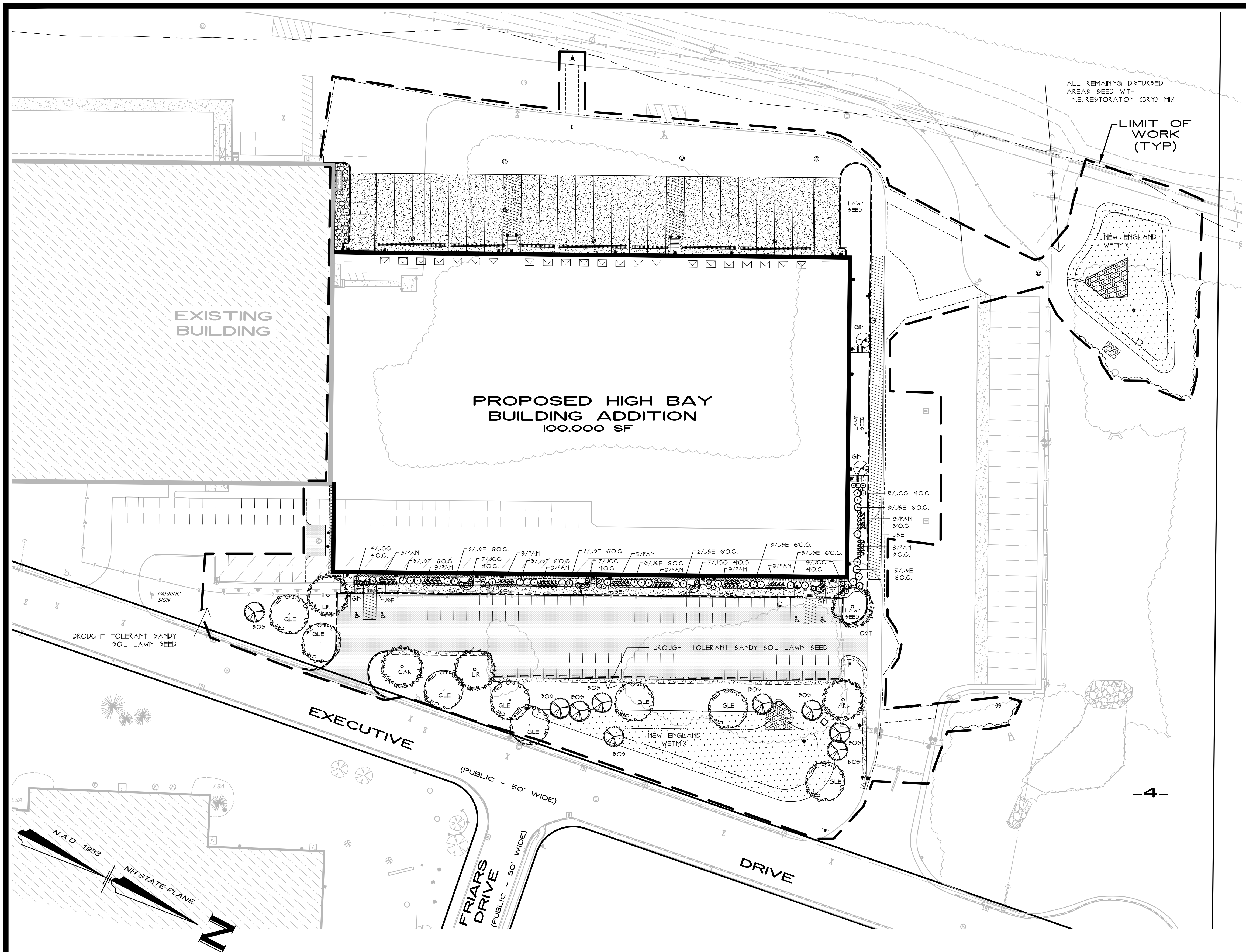
PROPOSED BUILDING ADDITION
 36 EXECUTIVE DRIVE
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
 265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

NO SCALE

12 JUNE 2020

HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 3 Congress Street
 Nashua, NH 03062
 (603) 883-2057
 131 Middlesex Turnpike
 Burlington, MA 01803
 (781) 203-1501
 www.haynerswanson.com



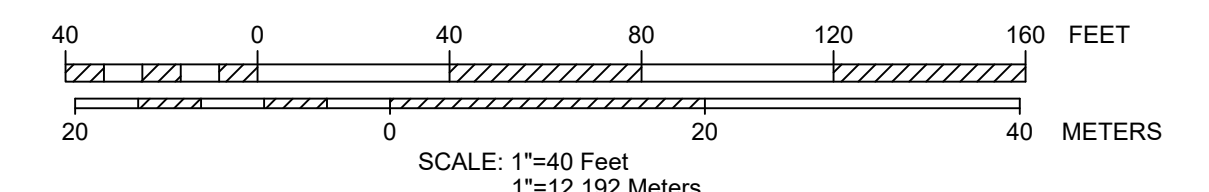
No.	DATE	REVISION	BY
1	09/29/20	TOWN AND NHDES COMMENTS	EDB
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

LANDSCAPE PLAN
(MAP 215, LOT 4)

PROPOSED BUILDING ADDITION

36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590



12 JUNE 2020

PREPARED BY :
BLACKWATER DESIGN
PHONE (603) 648-6500 FAX (603) 648-6506
Land Planning - Landscape Architecture
85 Frost Lane - Webster, NH 03303

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

General Specifications

- The contractor shall at his expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and acquaint himself with all conditions before making his proposal. He will be held responsible for errors in his proposal resulting from his failure to make such an examination. All bidders shall visit the site and inform themselves of all conditions.
- The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials conforming to the bid items. Under no circumstances may a species 'hybrid' be substituted or size changed without written consent of the landscape architect.
- The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, he shall be responsible for their repair and/or replacement at his expense.
- The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstructed providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- If additional labor and/or materials is requested or required, the contractor shall submit a price to the owner. If the owner approves the price he shall prepare a change order for approval and signature. The contractor shall not proceed without a written authorization from the owner for the additional work. If the contractor proceeds with the additional work without this authorization he shall forfeit any claim for additional compensation.
- The landscape architect shall reserve the right to inspect the project work at any time deemed necessary to insure that the specifications and plans and any other contract documents are being followed.
- The L.A. shall have the right to reject any plant on-site based upon condition, size, or incorrect species or hybrid. LA must be contacted prior to install, to inspect materials delivered to the site, and to insure that soil amendments, bark mulch, roof ballast, etc. are to the written specifications.
- All seeded areas shall receive a minimum 6" topsoil blanket (by site contractor) w/site preparation, raking and general clean up prior to application. Operations shall include a preemergence type herbicide, 12 -25 -12 granular fertilizer @ 10 lbs./1000 sf., and pelletized limestone @ 25 lbs./1000 s/f power raked into the top 2" of soil prior to hydro-seeding. Ratios & application rates may change based upon the required soil analysis.
- Contractor is responsible for establishing a thick, weed free lawn. Seed shall be spread @ 4lbs./1000. Lawn germination shall be 95% free of noxious weeds for acceptance. Define differences in seed mixes (if applicable) with irrigation flagging until 2nd mowing. Site review by LA is required.

- Review of the installed irrigation system by the designer is required prior to release of final payment.
- Hydroseeding operations shall be a one part process with a paper fiber mulch; a tackifier shall be applied on all slopes greater than 3:1, Excelsior Drainage mat shall be applied to all 2:1 slopes and drainage swales per plan.
- Contractor shall maintain, from acceptance date, the lawn areas through the first mowing. Contractor is not responsible for the first mowing.
- All plant materials shall be installed in accordance with A.L.C.C. Trees and shrubs shall have appropriate soil mixtures, fertilizer and soil retention granules.
- If the soil conditions are extremely sandy, all trees shall have a 6" layer of compacted topsoil (verify with Landscape Architect) placed in the base of the plant pit as a moisture retention layer. The plant pit sidewalls shall be over excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec # 22.
- Landscape architect shall have the right to reject and have ground removed any plant material not of proper size or of weak quality, ie. thin, no lower branching, etc. Contractor must submit shipping lists (billing invoices) for verification, prior to installation.
- All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractors expense; with same warranty requirements as the original. Warranty does not cover loss due mechanical damage, ie. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.
- Plant beds and saucers vary in dia. (refer to dwg). Trees and shrubs shall receive a 4" (settled) covering of pine/hemlock bark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6' dia. saucer (typ.), evergreen trees shall have a saucer 2' min. beyond it's outer branches. All edges shall have a 'V' groove.
- All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- If road base is encountered in any plant bed areas, ie. parking islands, it shall be removed and suitable amended soil installed per drawings and specifications.
- Soil planting mixture shall be a 6%-10% organic topsoil, amended with 10% wood ash, 10%% manure, & 30%% peatmoss or incorporate a dehydrated compost material. If planting in sand, gravel or other well drained soils, a 50% peatmoss to excavated soil. Other soil amendments shall include; Agriform tablets, Hydro-Gel or equal, and Roots growth enhancer to all trees and shrubs listed, per manufacturers specifications. All plant material pits will receive a min. 20%% in volume mix of a compost soil amendment. Submittal required. 'Roots' STEP 1 can be substituted for the individual supplements. Install per manufacturer's specs.
- Landscape contractor shall not be responsible for topsoil spreading but shall coordinate with the site contractor adherence to the mound grades, plant bed soil depths and soil type per dwgs & spec. Landscape contractor shall power rake-out for seed.

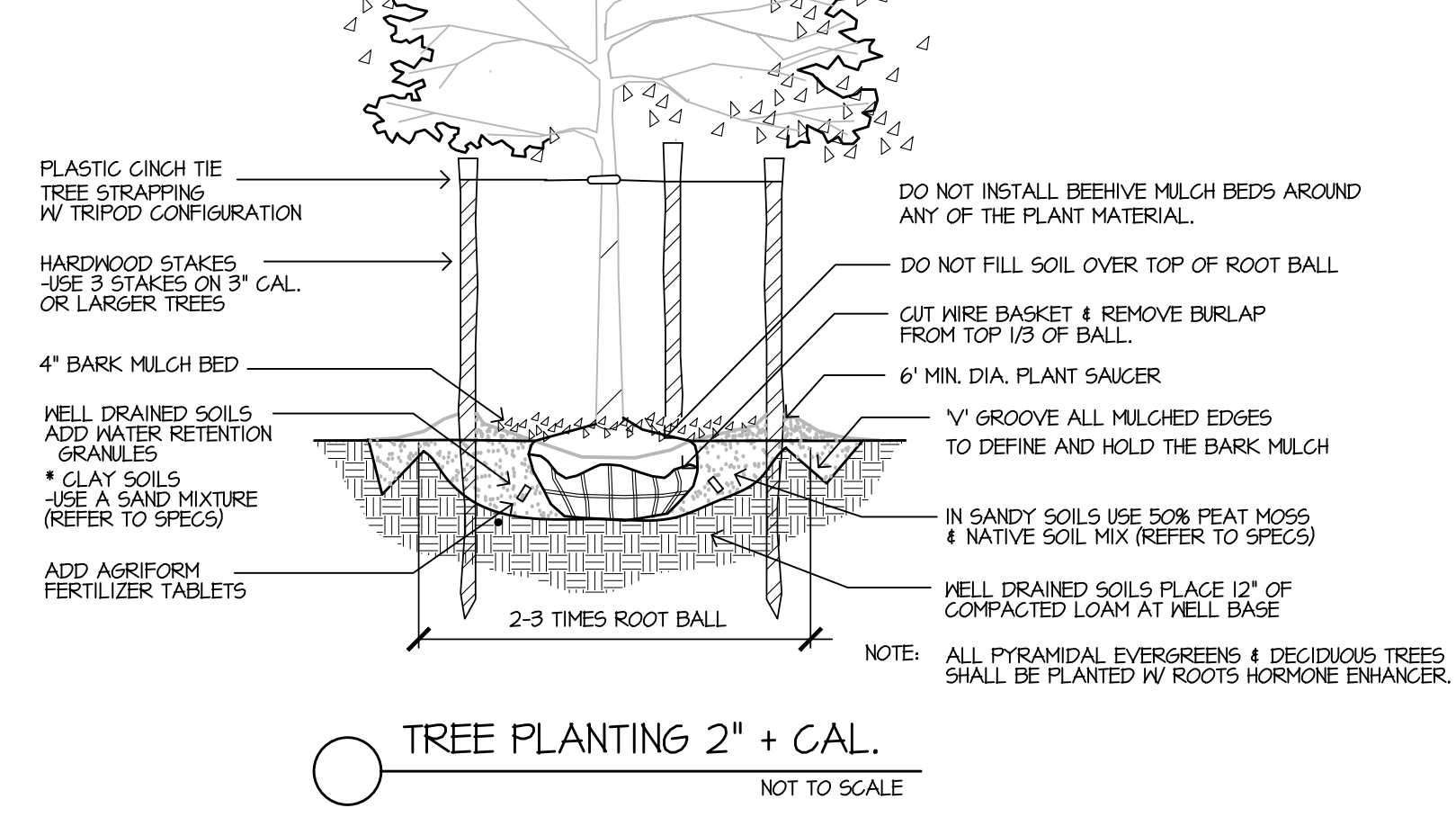
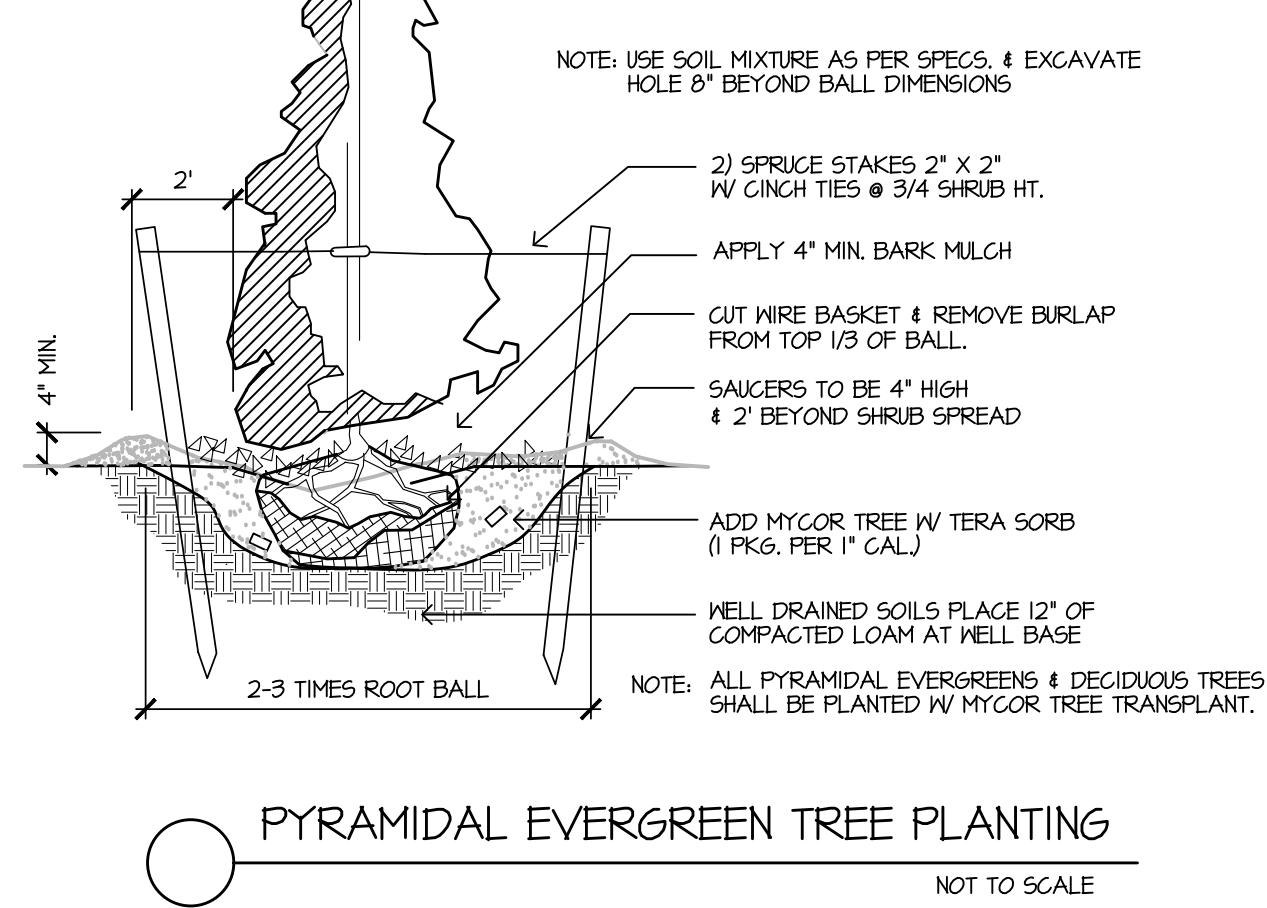
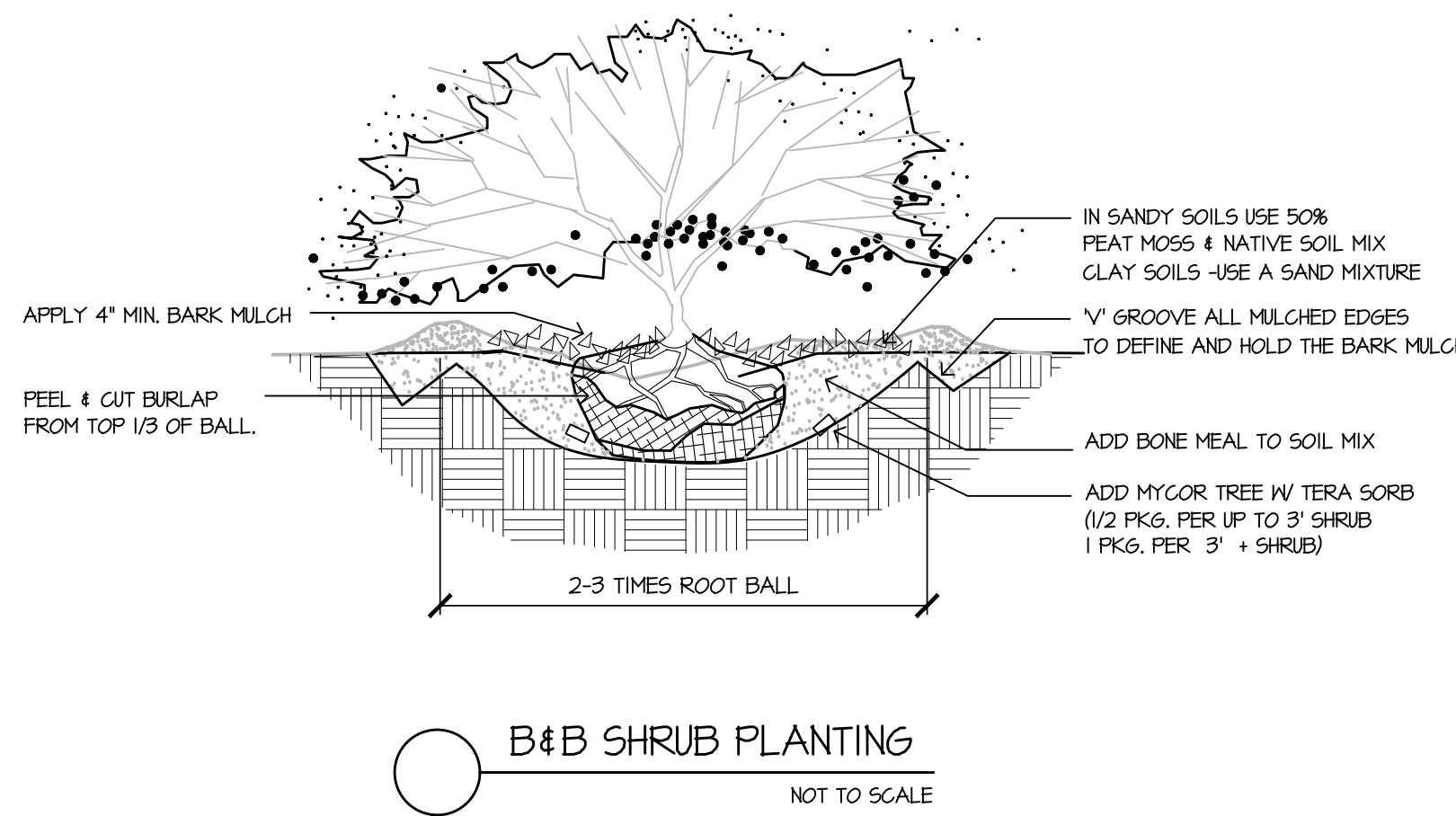
- Landscape contractor shall provide a soil analysis of the topsoil planting mixture. Analysis to show soil classification (min. sandy loam) and nutrients.
- Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be stored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface dries out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- Plan dictates, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- Installer shall notify landscape architect prior to planting, to review plant locations and bedline configurations. If contractor installs without the placement approval of the L.A., said architect shall have the right to relocate any installed plants at the contractor's expense.
- Installer shall notify landscape architect prior to plant installation to review all materials. Any plants of poor condition, improper size, or species will be rejected.
- Upon one year review, contractor shall straighten any trees that have shifted. Any weak or bare spots in lawn shall be reseeded.
- All bedlines shall have a deep 'V' groove to define lawn to mulch edge. No 'Beehive' mounding of mulch is allowed, also keep mulch away from base of perennials.
- Do not plant materials too close to the edge of bedlines. Refer to drawings for center of plant to bedline. At a minimum no outer branching of a shrub or perennial shall be closer than two feet from the bedlines. If the as-built does not comply contractor shall adjust the plant location or bedline at his expense.
- Seed mixes include: Sandy Soil Lawn Mix by: deercreekseed.com; New England Wetland Plants, Amherst, Ma. refer to planting plan for designations.
- Any items not completed to the specifications will be required at contractors expense prior to final approvals. Contractor is to bid the work according to the specifications and not to what they may do under their standard practices. Special attention will be payed to soils, amendments, guy stakes, bedline & saucer configurations, seed mixtures, etc.
- Certain designated foundation edging is rood ballust (washed rounds, non-crushed, natural) Size of stone is a range of 3/4"-1.5"dia. placed to a depth of 3", upon placement apply a coating of granular Preen (preemergent).
- Any questions concerning this drawing shall be directed to Joseph Hochrein c/o Blackwater Design, 85 Frost Lane, Webster, NH 03303, 603-648-2541.

PLANTING SCHEDULE:

V/ARU	ACER RUBRUM (RED MAPLE)	25'-3" CAL.
V/CAR	CARPINUS BETULUS (EUROPEAN HORNBEAM)	25'-3" CAL.
7/GH	GINKGO BILOBA FASTIGIATA (COLUMNAR MAIDENHAIR)	25'-3" CAL.
B/GLE	GLADIOLIA TI (SHADEMASTER HONEYLOCUST)	25'-3" CAL.
Z/LR	LIRIODENDRON TUPLIFERA (TULPTREE)	25'-3" CAL.
38/JCC	JUNIPERUS SABINA (CALGARY CARPET JUNPER)	#2 GAL.
34/JSE	JUNIPERUS CHINENSIS (SEAGREEN JUNPER)	#3 GAL.
V/OST	OSTRYA VIRGINIA (AMERICAN HONEYWOOD)	25'-3" CAL.
30/PAN	PANICUM VIRGATUM (SHENANDOAH SWITCH GRASS)	#2 GAL.
3/PDS	PNUS LEUCODERMIS (DOBNIAN PINE)	6-7 DB

MISCELLANEOUS:
 N.E. WETLAND MIX BY NEW ENGLAND WETLAND PLANTS
 N.E. EROSION/CONTROL RESTORATION MIX (DRY) BY NEW ENGLAND WETLAND PLANTS
 SANDY SOIL LAWN MIX (IE. WWW.DEERCREEKSEED.COM)
 PREMIUM BLEND PINE/SPRUCE BARK MULCH.

NOTE:
 PLANT SOURCE CATALOG SOURCE: MILLIGAN NURSERY, CHICHESTER, N.H. 603-499-6660
GENERAL CONTRACTOR NOTES:
 1. THE PD LIST MY NOT BE ALTERED DURING THE BID PROCESS OR INSTALLATION WITHOUT THE PRIOR CONSENT (IN WRITING) OF THE LANDSCAPE ARCHITECT.
 2. ANY CHANGES TO THE PLANT INSTALLATION WITHOUT PRIOR CONSENT OF THE L.A. WILL BE GROUND REMOVED AND REPLACED WITH THE CORRECT MATERIAL AT THE CONTRACTOR'S EXPENSE (NO REIMBURSEMENT).
 3. IF AN IRRIGATION SYSTEM IS REQUESTED, THE INSTALLER SHALL SUBMIT A SHOP DRAWING FOR APPROVAL PRIOR TO THE INSTALLATION.
 4. ALL PLANT SAUCERS AROUND THE EVERGREEN TREES, SHALL EXTEND A MINIMUM 2' BEYOND THE LOWER OUTER BRANCHES.
 SUGGESTED MATERIAL SOURCES, MILLIGAN NURSERY, CHICHESTER, N.H. AND NEW ENGLAND WETLAND PLANTS, AMHERST, MA.



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1	09/01/20	TOWN AND NHDES COMMENTS	EDB

DETAIL SHEET - LANDSCAPE
 (MAP 215, LOT 4)
PROPOSED BUILDING ADDITION
 36 EXECUTIVE DRIVE
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
 265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

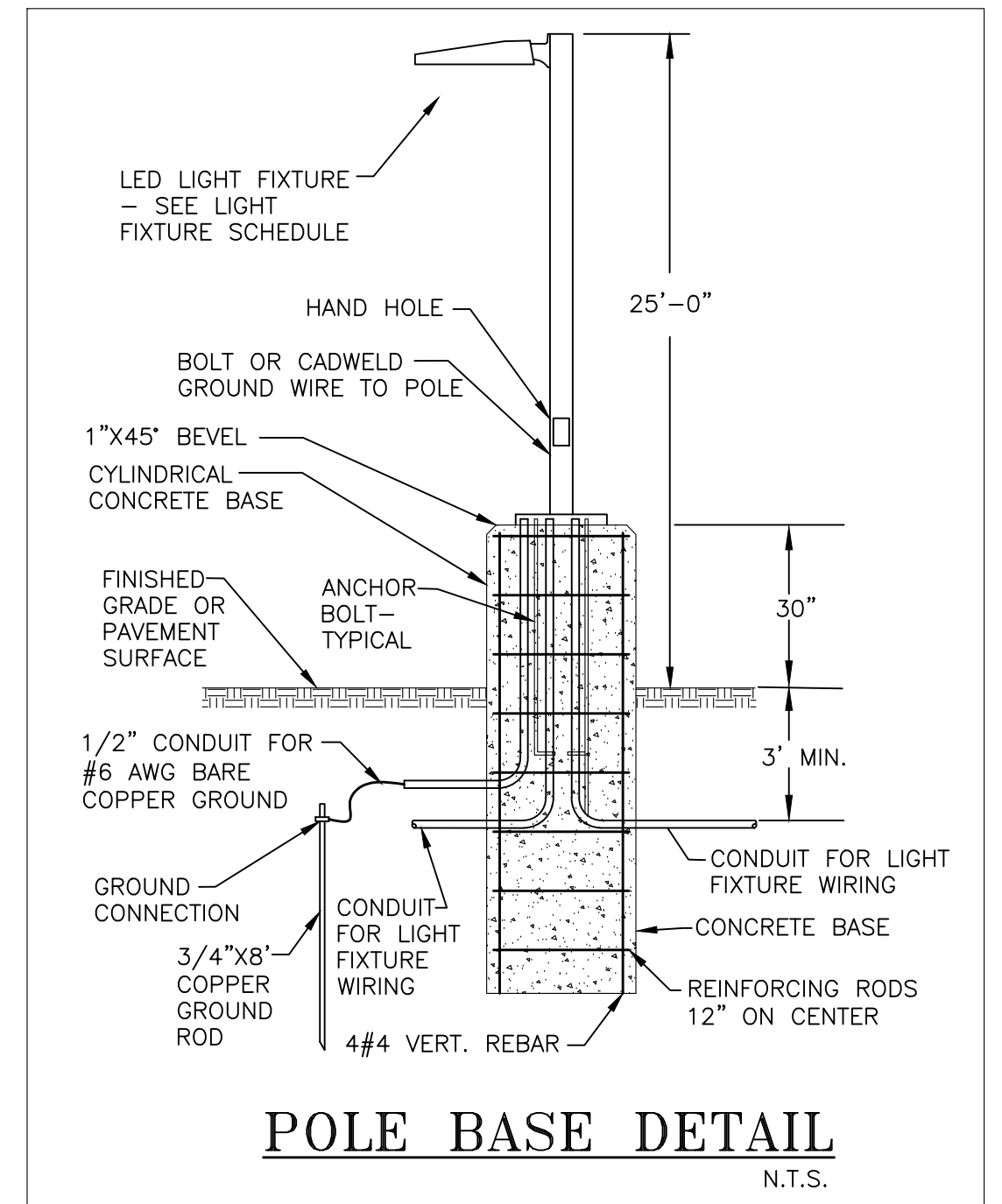
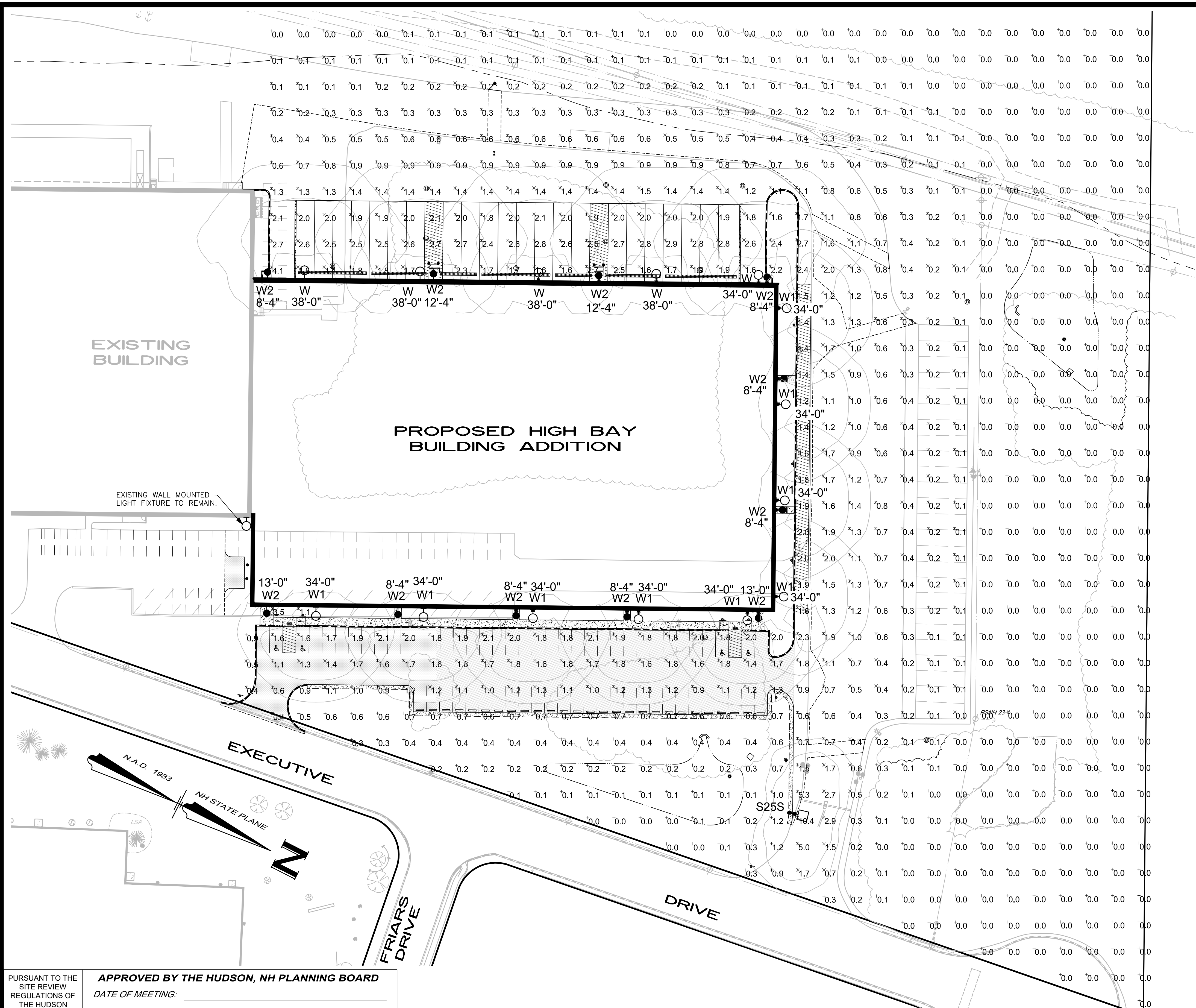
NO SCALE

12 JUNE 2020

PREPARED BY :
BLACKWATER DESIGN
 PHONE (603) 648-6500 FAX (603) 648-6506
 Land Planning - Landscape Architecture
 85 Frost Lane - Webster, NH 03303

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

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 SECRETARY: _____ SIGNATURE DATE: _____
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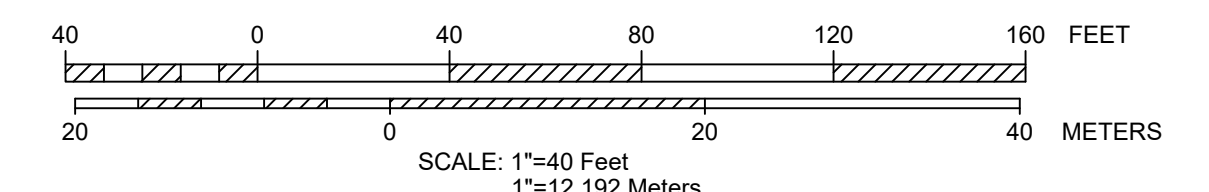


Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
□	S25	1	EALP-03-VOLTAGE-H2-AN-740-DIMMING/CONTROL-DI-COLOR -OPTIONS ON 22'-6" GE POLE #SSS-22.5-B4-4-COLOR-D190	GENERAL ELECTRIC EVOLVE LED AREA LIGHT WITH TYPE 2 ASYMMETRIC NARROW DISTRIBUTION ON A 22'-6" SQUARE, STEEL POLE ON A 30" EXPOSED CONCRETE BASE	LED	1	20,199	0.9	151
○	W	5	EALP-03-VOLTAGE-J4-AH-740-DIMMING/CONTROL-V1-COLOR -OPTIONS	GENERAL ELECTRIC EVOLVE LED AREA LIGHT WITH TYPE 4 ASYMMETRIC FORWARD THROW - MOUNT WITH BOTTOM OF FIXTURE ABOVE FINISHED GRADE AT THE HEIGHT NOTED ON THE DRAWINGS	LED	1	24,101	0.9	186
○	W1	9	EWNB-VOLTAGE-F4-740-PE FUNCTION-COLOR-OPTIONS	GENERAL ELECTRIC EVOLVE LED WALL PACK - TYPE 4 ASYMMETRIC FORWARD DISTRIBUTION - BOTTOM OF FIXTURE ABOVE FINISHED GRADE AT THE HEIGHT NOTED ON THE DRAWINGS	LED	1	13,700	0.9	125
●	W2	11	EWLS-01-VOLTAGE-15AF-7-NON-DIMMING-FM-COLOR	GENERAL ELECTRIC EVOLVE LED L SERIES WALL PACK - TYPE 4 ASYMMETRIC FORWARD DISTRIBUTION - MOUNT WITH BOTTOM OF FIXTURE ABOVE FINISHED GRADE AT THE HEIGHT NOTED ON THE DRAWINGS	LED	1	1,500	0.9	12

No.	DATE	REVISION	BY
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PHOTOMETRIC LIGHTING PLAN
 (MAP 215, LOT 4)
PROPOSED BUILDING ADDITION
 36 EXECUTIVE DRIVE
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
 265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590



12 JUNE 2020

VA
 YEATON ASSOCIATES, INC.
 Bedford, NH | Littleton, NH
 MEP/FP Engineers
 603.444.6578
 20059E



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

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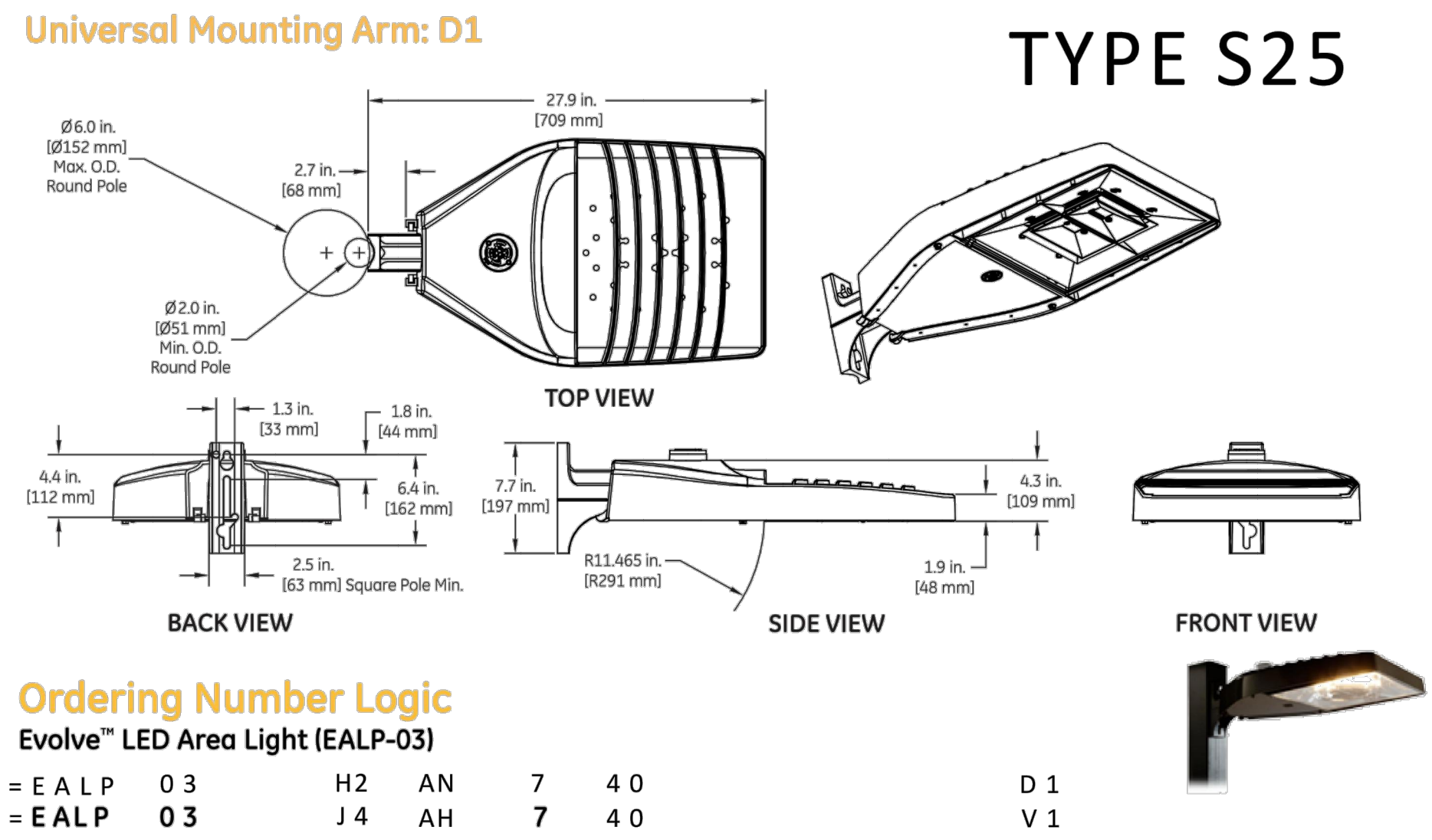
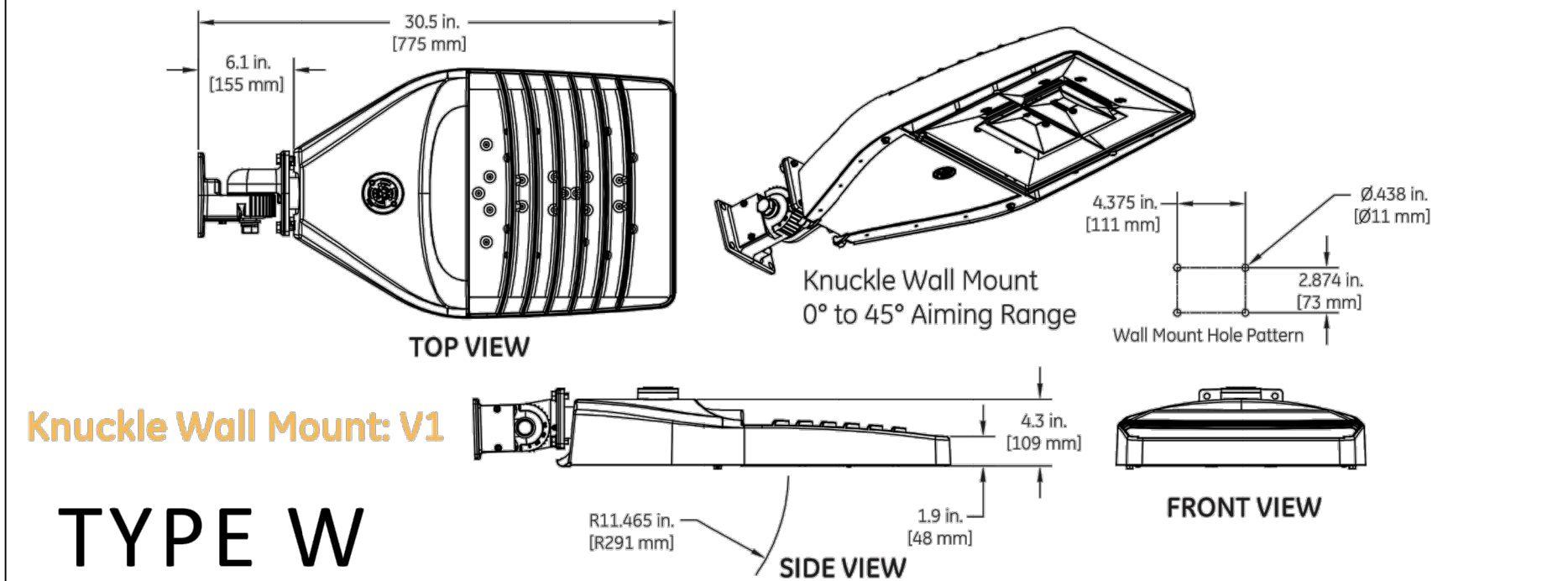
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PHOTOMETRIC SITE LIGHTING PLAN
 SCALE: 1" = 40'-0"

GE Evolve™ LED Area Lighting

EALS-03 & EALP-03

TYPES W & S25



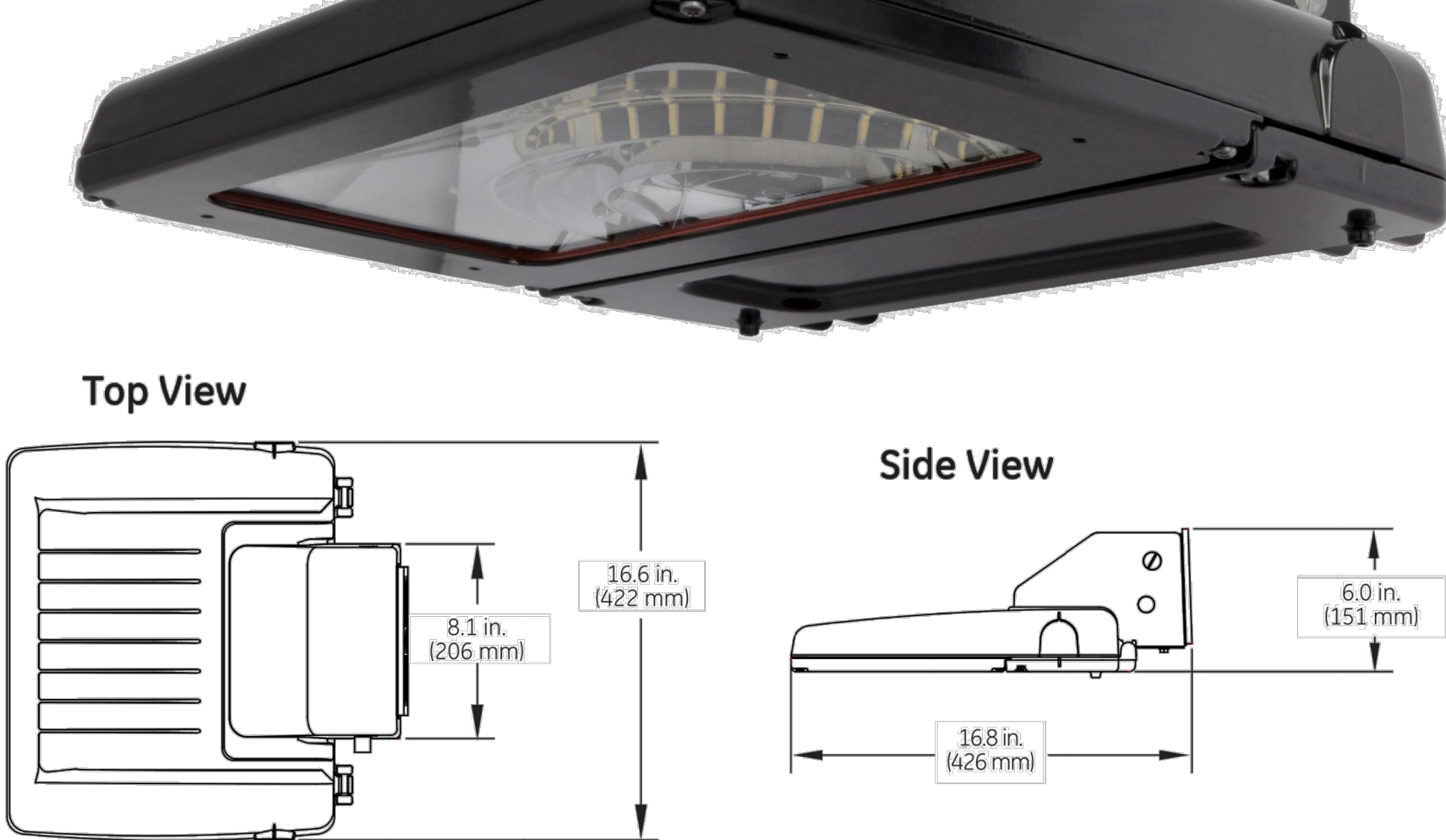
PROD. ID	GENERATION	VOLTAGE	OPTICAL DISTRIBUTION CODE	CRI	CCT	DIMMING	CONTROLS	MOUNTING ARM	COLOR	OPTIONS
E = Evolve AL = Area Light P = Premium	03 = 3rd Generation	0 = 120-277* 1 = 120 2 = 208 3 = 240 4 = 277 5 = 480 D = 347 H = 347-480**	SM = Symmetric Medium SW = Symmetric Wide SH = Symmetric High Angle AH = Asymmetric High Angle AF = Asymmetric Forward AN = Asymmetric Narrow/Auto	7 = 70 (min)	30 = 3000K 40 = 4000K 50 = 5000K	N = Dimming thru PE receptacle (no control) D = External Dimming 18/2-3ft cable N = Non-dimmable *All constructions supplied with ANSI C136.41 7-pin PE Receptacle **Restricted Aiming Angle 0° to 45°	A = ANSI 7-pin PE Receptacle (no control) D = ANSI 7-pin PE Receptacle with shorting cap provided *Note: See accessories section on page 10 for PE Control ordering	C1 = Integral Slip-fitter Pipe (2.378 in. ODP) D1 = Universal Mounting Arm, fitted for round or square pole mounting** K1 = Knuckle Slipfitter for 1.9 in. - 2.3 in. OD Tenon*** S1 = Knuckle Slipfitter for 2.3 in. - 3.0 in. OD Tenon*** V1 = Knuckle Wall Mount*** *Supplied with leads ** Supplied with 16/3 T cable *** Restricted Aiming Angle 0° to 45°	GRAY = Gray BLCK = Black DKBZ = Dark Bronze GRAY = Gray WHITE = White	F = Fusing H = Motion Sensor (Sensor Switch) H2 = Motion Sensor (Dinrail) L = Tool-Less Entry R = Enhanced Surge Protection (10kV/5kA) S1 = Rotated Left † S2 = Rotated Right † T = Elevated Surge Protection (20kV/10kA) U = DALI dimming** V = 3-Position Terminal Block V = Coastal Finish XXX = Special Options

TYPE	OPTICAL CODE	DISTRIBUTION	TYPICAL INITIAL LUMENS		TYPICAL SYSTEM WATTAGE		BUG RATING		IES FILE NUMBER 3000K	IES FILE NUMBER 4000K	IES FILE NUMBER 5000K
			3000K	4000K & 5000K	120-277V & 120-277V	347V & 480V	3000K	4000K & 5000K			
W	H4	Asymmetric High Angle (AH)	18200	19300	151	B3-U0-G4	B3-U0-G4	EALP03_H4AH750_JES	EALP03_H4AH740_JES	EALP03_H4AH750_JES	
	J4	Asymmetric High Angle (AH)	22700	24100	200	B3-U0-G4	B3-U0-G4	EALP03_J4AH750_JES	EALP03_J4AH740_JES	EALP03_J4AH750_JES	
	K4	Asymmetric High Angle (AH)	27400	29000	212	B3-U0-G4	B3-U0-G5	EALP03_K4AH750_JES	EALP03_K4AH740_JES	EALP03_K4AH750_JES	
	F2	Asymmetric Narrow/Auto (AN)	14200	15100	104	B3-U0-G3	B3-U0-G3	EALP03_F2AN750_JES	EALP03_F2AN740_JES	EALP03_F2AN750_JES	
S25	H2	Asymmetric Narrow/Auto (AN)	19000	20200	151	B3-U0-G3	B3-U0-G3	EALP03_H2AN750_JES	EALP03_H2AN740_JES	EALP03_H2AN750_JES	
	J2	Asymmetric Narrow/Auto (AN)	23800	25200	200	B3-U0-G3	B3-U0-G3	EALP03_J2AN750_JES	EALP03_J2AN740_JES	EALP03_J2AN750_JES	

Evolve™ LED Wall Pack

N Series (EWNB)

TYPE W1



Ordering Number Logic

Evolve LED Wall Pack N Series (EWNB)

EWN B F 4 7 4 0

PROD. ID	PHOTOMETRIC SERIES	VOLTAGE	OPTICAL CODE	CRI	LED COLOR TEMP.	PE FUNCTION	MOUNTING ARM	COLOR	OPTIONS
E = Evolve W = Wall Pack N = Housing Series	B = Photometric Series "B"	0 = 120-277* 1 = 120 2 = 208 3 = 240 4 = 277 5 = 480 D = 347 H = 347-480**	7 = 70 (min)	30 = 3000K 40 = 4000K 50 = 5000K	1 = None 3 = Button PE* A = ANSI C136.41 7-pin PE Receptacle # D = ANSI C136.41 7-pin PE Receptacle with Shorting Cap #	N = None Required	BLCK = Black DKBZ = Dark Bronze GRAY = Gray WHITE = White	D = External Dimming Leads Provided (0-10Volt Input) F = Fusing L = Tool less entry R = 10kV Enhanced Surge Protection H = Motion Sensor # U = DALI Dimming** XXX = Special Options	

*Not available with Fusing. Must choose a discreet voltage with F Option.
**Only available with voltage 1,2,3 and 4.
Order Dimming/Control PE as a separate item. See accessories section of this datasheet for ordering information.

TYPE	OPTICAL CODE	TYPE	TYPICAL INITIAL LUMENS		TYPICAL SYSTEM WATTAGE		BUG RATING		IES FILE NUMBER		
			3000K	4000K & 5000K	120-277V & 347-480V	3000K 8-U-0-S	4000K & 5000K 8-U-0-S	3000K	4000K	5000K	
TYPE W	A4	Asymmetric Forward	4,000	4,300	44	B1-U0-G1	B1-U0-G1	EWNB_A4730_JES	EWNB_A4740_JES	EWNB_A4750_JES	
	B4	Asymmetric Forward	5,800	6,200	58	B1-U0-G2	B1-U0-G2	EWNB_B4730_JES	EWNB_B4740_JES	EWNB_B4750_JES	
	C4	Asymmetric Forward	7,500	8,000	70	B1-U0-G2	B1-U0-G2	EWNB_C4730_JES	EWNB_C4740_JES	EWNB_C4750_JES	
	D4	Asymmetric Forward	9,200	9,800	89	B1-U0-G2	B2-U0-G2	EWNB_D4730_JES	EWNB_D4740_JES	EWNB_D4750_JES	
E4	E4	Asymmetric Forward	10,800	11,500	98	B2-U0-G2	B2-U0-G2	EWNB_E4730_JES	EWNB_E4740_JES	EWNB_E4750_JES	
	F4	Asymmetric Forward	12,900	13,700	125	B2-U0-G3	B2-U0-G3	EWNB_F4730_JES	EWNB_F4740_JES	EWNB_F4750_JES	

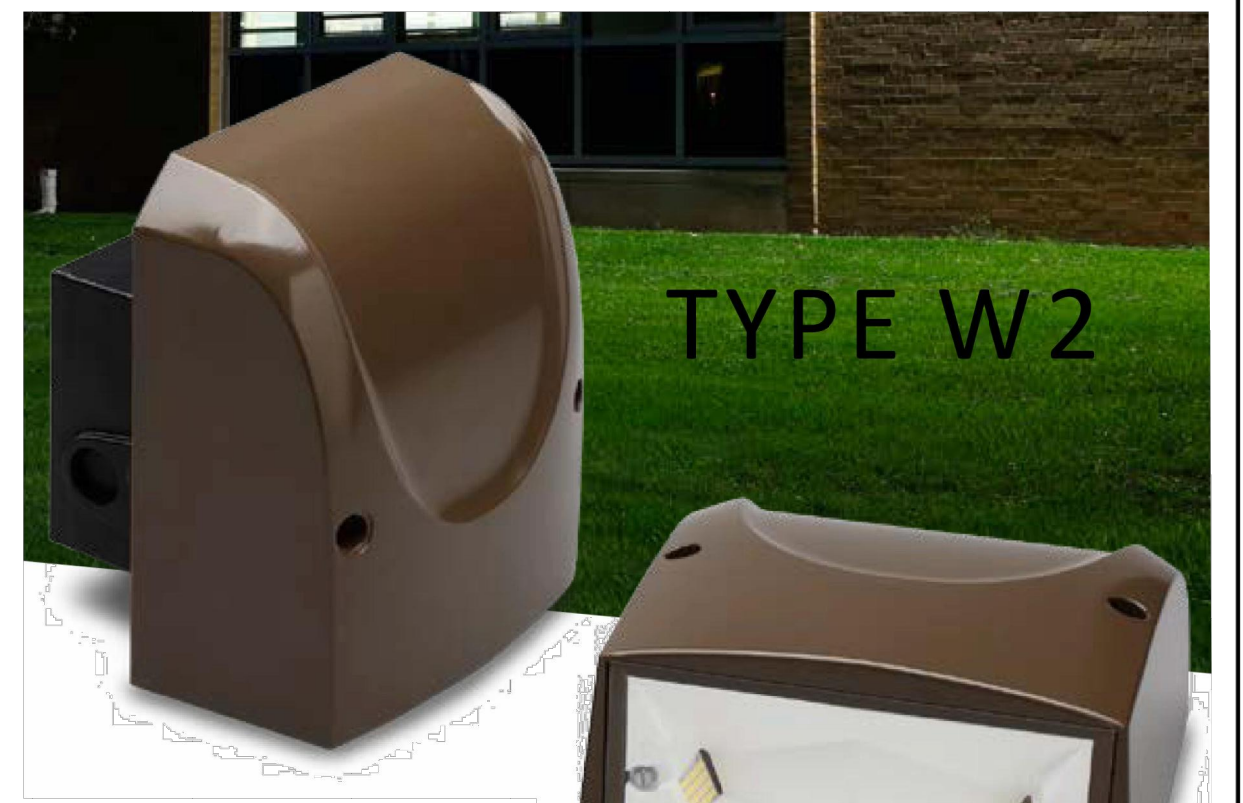
GE Evolve™ LED L-Series Wall Pack EWLS

TYPE W2

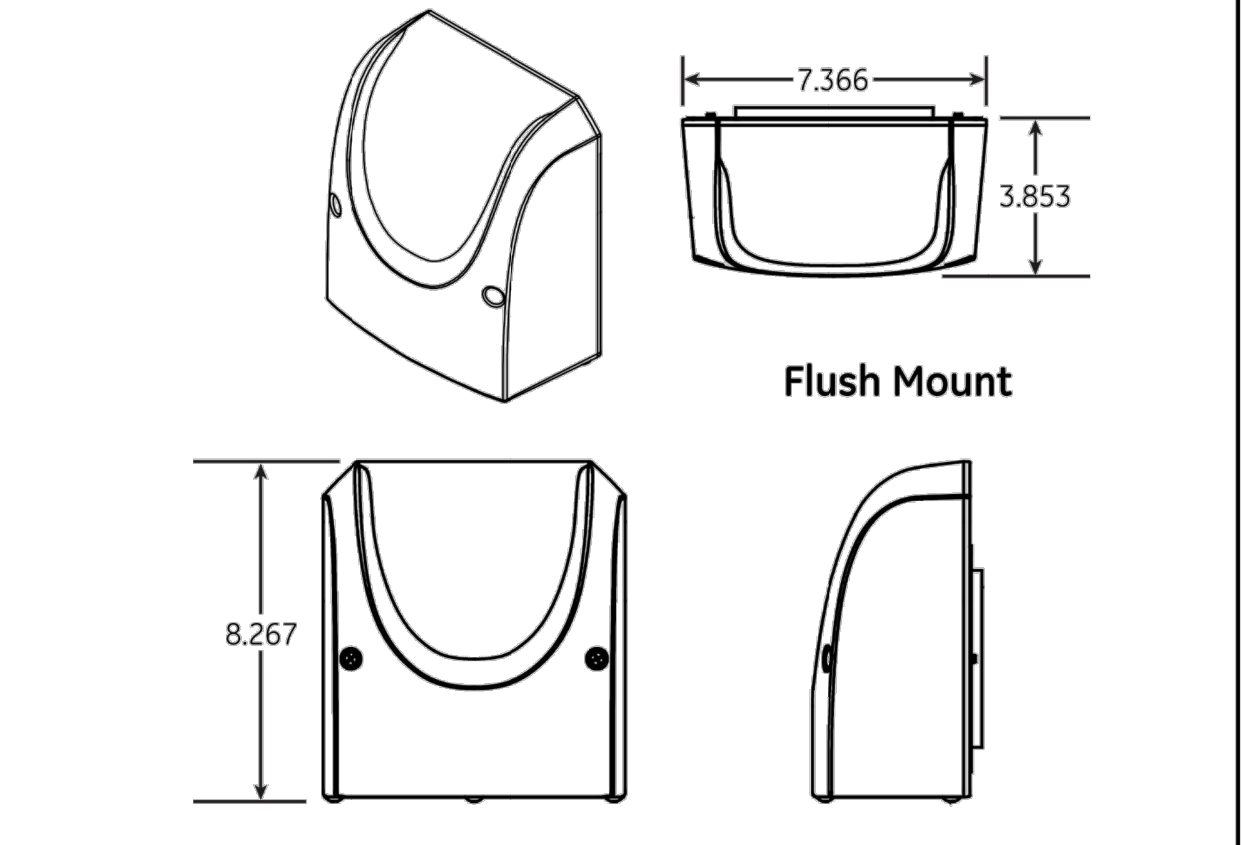
EWLS 01 15 AF 7 4 0

PRODUCT	GENERATION	VOLTAGE	OPTICAL CODE	CRI	CCT	DIMMING	CONTROLS	MOUNTING	COLOR	OPTIONS
E = Evolve W = Wallpack L = L-series S = Standard	01 = Generation	0 = 120-277* 1 = 120* 2 = 208* 3 = 240* 4 = 277* D = 347*	15AF = 1500lm, Asymmetric Forward 40AF = 4000lm, Asymmetric Forward	7 = 70 CRI	30 = 3000K 40 = 4000K 50 = 5000K	N = Non-Dimming D = Dimming* 40AF = 4000lm, Asymmetric Forward ‡ Dimming not available at 1500lm	1 = None* 3 = Button PE* ‡ Must specify discrete voltage	F = Flush Mount* CB = Conduit Box Mount**	DKBZ = Dark Bronze BLCK = Black GRAY = Gray WHITE = White	H = Motion Sensor* ### = Special Options J = CLU/Canada W = Non-Graphical White Box

OPTICAL CODE	SYSTEM WATTS	TYPICAL INITIAL LUMENS		TYPICAL INITIAL LPW		BUG RATING						
		120-277V	347V	3000K	4000K & 5000K	3000K	4000K & 5000K					
15	AF	12	13	1,450	1,500	121	125	112	112	115	B1-U0-U0	B1-U0-U0



GE Evolve™ LED L-Series Wall Pack EWLS



No.	DATE	REVISION	BY
1	09/29/20	TOWN AND NHDES COMMENTS	EDB
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

SITE PLAN DETAILS (MAP 215, LOT 4)

PROPOSED BUILDING ADDITION

36 EXECUTIVE DRIVE HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

NO SCALE

12 JUNE 2020

VA
YEATON ASSOCIATES, INC.
Bedford, NH | Littleton, NH
MEP/FP Engineers
603.444.6578
20059E

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

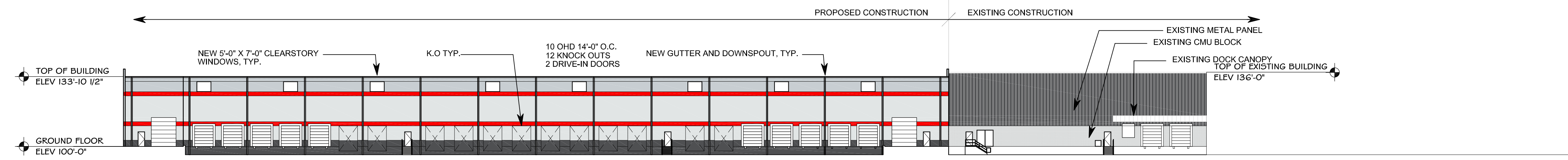
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

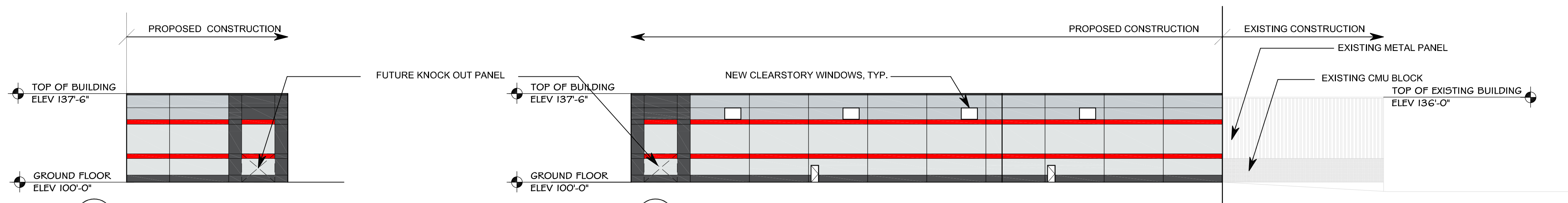
CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

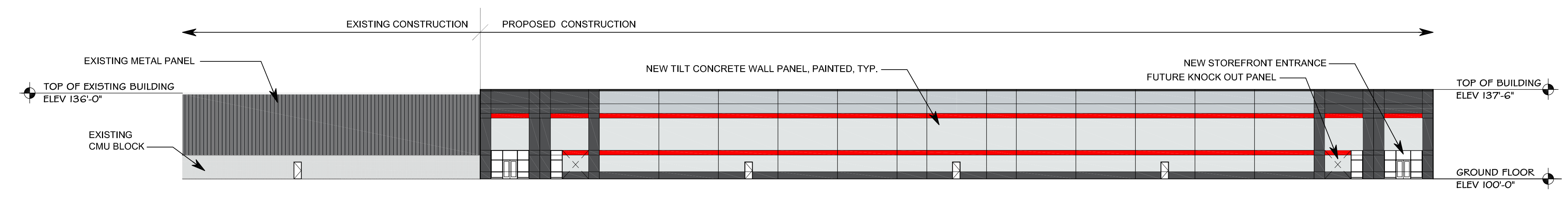


1 PROPOSED WEST ELEVATION
A2.1 SCALE: 1" = 20'-0"

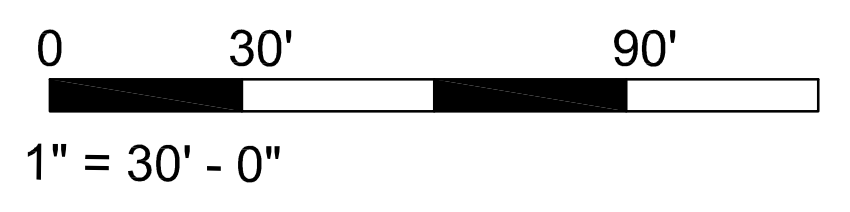


2 PROPOSED SOUTH ELEVATION
A2.1 SCALE: 1" = 20'-0"

3 PROPOSED NORTH ELEVATION
A2.0 SCALE: 1" = 30'-0"



4 PROPOSED EAST ELEVATION
A2.1 SCALE: 1" = 20'-0"



10 LOADING DOCKS PLUS
12 DOCK KNOCKOUTS PROPOSED
(MINIMUM BUILDING SCENARIO)

ARCHITECT
GMA
ARCHITECTS
90 DOWNS GROVE
DUNELAND, NJ 08028
(P) 331-251-2726 (F) 331-251-2727
WWW.GMA-ARCHITECTS.COM

DESIGN BUILDER
ARCO
NATIONAL CONSTRUCTION
5015 NW CANAL STREET, SUITE 110
DUNELAND, NJ 08028
(P) 816-282-8330
WWW.ARCCO.COM

CONSULTING ENGINEERS
ELECTRICAL: NAME, ADDRESS, CITY/STATE/ZIP, CONTACT INFO
PLUMBING: NAME, ADDRESS, CITY/STATE/ZIP, CONTACT INFO
FIRE PROTECTION: NAME, ADDRESS, CITY/STATE/ZIP, CONTACT INFO
MECHANICAL: NAME, ADDRESS, CITY/STATE/ZIP, CONTACT INFO
STRUCTURAL: NAME, ADDRESS, CITY/STATE/ZIP, CONTACT INFO
CIVIL: NAME, ADDRESS, CITY/STATE/ZIP, CONTACT INFO

PROJECT
NOVAYA
REAL ESTATE DEVELOPERS
36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

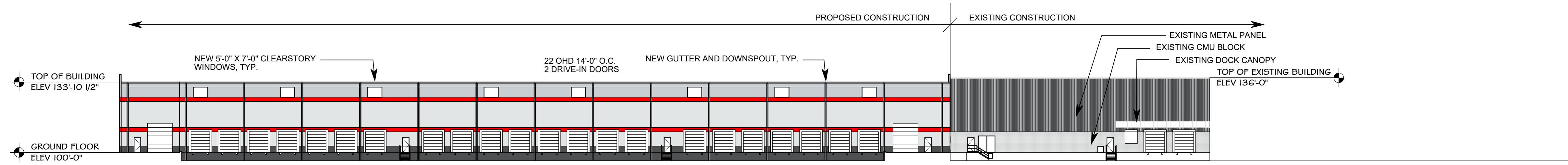
JOB NO : SJ2210
PA : BJC
DATE : 09.25.2020

REVISIONS

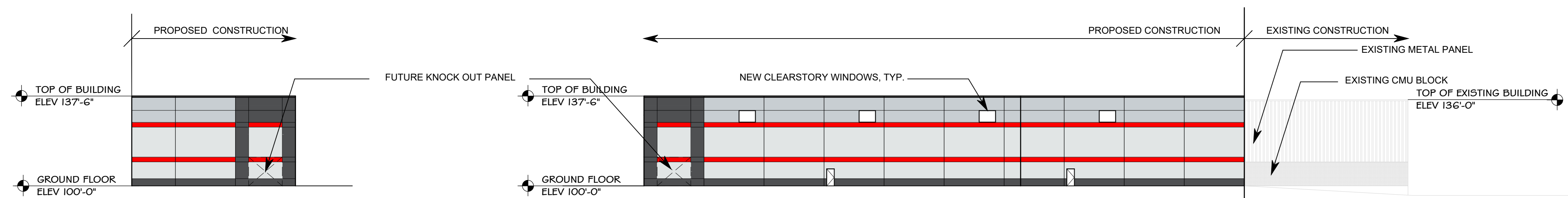
05.11.2020	
08.21.2020	
09.02.2020	
09.25.2020	

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SHEET NUMBER
A2.0
ELEVATIONS

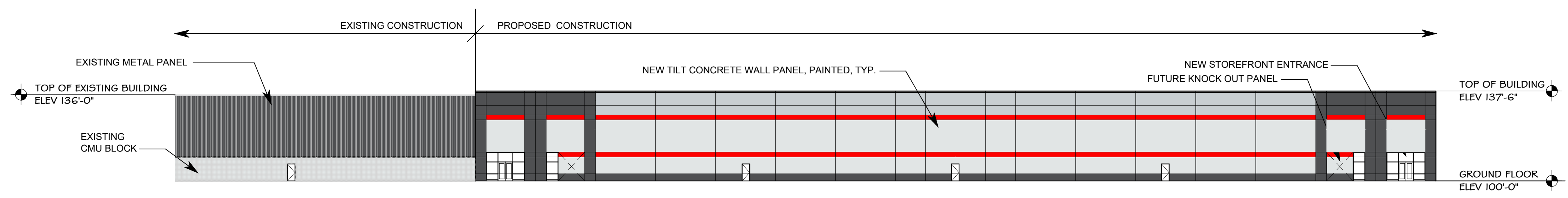


1 PROPOSED WEST ELEVATION
A2.1 SCALE: 1" = 20'-0"

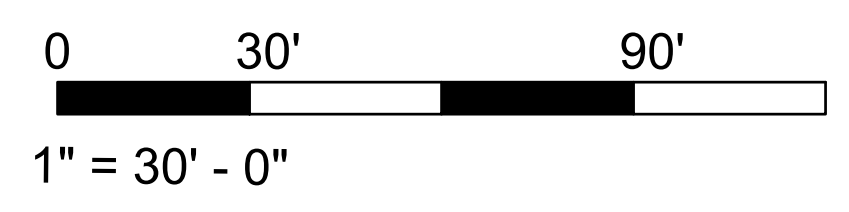


2 PROPOSED SOUTH ELEVATION
A2.1 SCALE: 1" = 20'-0"

3 PROPOSED NORTH ELEVATION
A2.0 SCALE: 1" = 30'-0"



4 PROPOSED EAST ELEVATION
A2.1 SCALE: 1" = 20'-0"



22 LOADING DOCKS
(MAXIMUM BUILDING SCENARIO)

ELECTRICAL: NAME _____ ADDRESS _____ CITY _____ STATE _____ ZIP _____ CONTACT INFO _____
PLUMBING: NAME _____ ADDRESS _____ CITY _____ STATE _____ ZIP _____ CONTACT INFO _____
FIRE PROTECTION: NAME _____ ADDRESS _____ CITY _____ STATE _____ ZIP _____ CONTACT INFO _____

CONSULTING ENGINEERS
CIVIL: NAME _____ ADDRESS _____ CITY _____ STATE _____ ZIP _____ CONTACT INFO _____
STRUCTURAL: NAME _____ ADDRESS _____ CITY _____ STATE _____ ZIP _____ CONTACT INFO _____
MECHANICAL: NAME _____ ADDRESS _____ CITY _____ STATE _____ ZIP _____ CONTACT INFO _____

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PROJECT
NOVAYA
36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

JOB NO : SJ2210
PA : BJC
DATE : 08.21.2020

REVISIONS	
05.11.2020	
08.21.2020	
09.02.2020	

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SHEET NUMBER
A2.0
ELEVATIONS