

DUMONT POINT
SITE PLAN AMENDMENT # 13-21
STAFF REPORT
October 27, 2021

SITE: 1 Derek Way (off Pelham Road); Tax Map 199 Lot 004-001

ZONING: General (G)

PURPOSE OF PLAN: Amend and supplement the previously approved residential site plan to depict the layout of three detached single-family residential units and the associated site appurtenances on Map 199 Lot 4-1.

PLAN UNDER REVIEW: Amended Residential Site Plan, Dumont Point, Map 199 Lot 4-1, 1 Derek Way, Hudson, New Hampshire; prepared by Keach-Nordstrom Associates, Inc., 10 Commerce Park North, Suite 3, Bedford, New Hampshire 03110; prepared for Donald R. Dumont, Dumont Management Trust, 195R Central Street, Hudson, New Hampshire 03051; consisting of 5 sheets plus a cover page, with notes 1-44 on Sheet 1; dated October 7, 2021.

ATTACHMENTS:

- A. Previously approved plan, December 14, 2016.
- B. Department Comments.

APPLICATION TRACKING:

- October 6, 2021 – Application received.
- October 27, 2021 – Public hearing scheduled.

COMMENTS & RECOMMENDS:

BACKGROUND

The submitted site plan is a proposed amendment to a master plan of the same site approved by the Board in 2016 (**Attachment A**). The common leachfield and the access road from Pelham Road to the on-site roundabout have been built. The amended site plan proposes to relocate the location of two of the homes due to site conditions.

Staff noted the following changes from the previously approved plans:

- House #1 is relocated away from the roundabout, accessed by an approximately 200' driveway with an approximately 7% grade slope.
- House #3 is relocated away from the roundabout, accessed by a relatively flat 150' driveway.

- Both House #1 and #3 will each have a detached garage. No detached garage is proposed for House #2.
- A modified design to the stormwater management on the east side of the roundabout. The amended system consists of a rip-rap-lined sediment forebay, a detention pond, an outlet structure, and a flared end section. The outflow from the detention will be directed into a 3,500-SF drainage buffer area, which the plan notes “Do Not Disturb”.

STAFF COMMENTS

1. **Screening:** While the relocation of House #1 doesn’t bring it closer to the abutting residence on Map 199 Lot 3, the long driveway and additional detached garage require clearing a larger area of natural vegetation than in the previously approved plan. The clearing will create two breaks on the line of woods along the lot line. Consequently, the detached garage and driveway will be visible from the abutting residence. The Applicant may wish to consider providing buffering landscape. Further, a condition of the 2016 approval was to create a suitable landscaped buffer between the private drive and Map 199 Lot 5, which remains a condition today.
2. **Signage for Drainage Buffer:** Staff suggests the erection of one or more “Do Not Disturb” signs at the perimeter of the buffer.

DEPARTMENTAL COMMENTS

Please see **Attachment B** for the comments from the Engineering Department.

DRAFT MOTIONS

ACCEPT the site plan application:

I move to accept the site plan amendment application for Dumont Point at 1 Derek Way; Tax Map 199 Lot 004-001.

Motion by: _____ Second: _____ Carried/Failed: _____

CONTINUE the public hearing to a date certain:

I move to continue the public hearing for the site plan amendment application for Dumont Point at 1 Derek Way; Tax Map 199 Lot 004-001 to date certain, _____.

Motion by: _____ Second: _____ Carried/Failed: _____

[Continued on following page]

APPROVE the site plan application:

I move to approve Amended Residential Site Plan, Dumont Point, Map 199 Lot 4-1, 1 Derek Way, Hudson, New Hampshire; prepared by Keach-Nordstrom Associates, Inc., 10 Commerce Park North, Suite 3, Bedford, New Hampshire 03110; prepared for Donald R. Dumont, Dumont Management Trust, 195R Central Street, Hudson, New Hampshire 03051; consisting of 5 sheets plus a cover page, with notes 1-44 on Sheet 1; dated October 7, 2021.; subject to, and revised per, the following stipulations:

1. All stipulations of approval shall be incorporated into the Notice of Decision and the Development Agreement, which shall be recorded at the HCRD, together with the Plan.
2. This plan shall remain subject to the conditions of approval set forth by the December 14, 2016 Hudson Planning Board decision.
3. The final plan shall satisfy the Town Engineer's comments of Wednesday, October 13, 2021.

Motion by: _____ Second: _____ Carried/Failed: _____

NOTES:

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE LAYOUT OF THREE DETACHED SINGLE FAMILY RESIDENTIAL UNITS AND THE ASSOCIATED SITE APPURTENANCES ON MAP 199 LOT 4-1.
- REFERENCE THIS PARCEL AS HUDSON ASSESSOR'S MAP 199 LOT 4-1.
- TOTAL AREA OF PARCEL IS = 218,881 SF, OR 5.025 ACRES
- OWNER OF RECORD:
DONALD R. DUMONT, TRUSTEE
DUMONT MANAGEMENT TRUST
195R CENTRAL STREET
HUDSON, NH 03051
- THE SUBJECT PARCEL IS SITUATED ENTIRELY WITHIN THE GENERAL (G) ZONING DISTRICT AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REQUIREMENTS:
- MINIMUM LOT AREA 43,560 SF
- MINIMUM LOT FRONTAGE 150 FT
MINIMUM BUILDING SETBACKS:
- FRONT (LOCAL ROAD) 30 FT
- FRONT (COLLECTOR) 50 FT
- REAR 15 FT
- SIDE 15 FT
- BOUNDARY INFORMATION SHOWN HEREON IS BASED ON REFERENCE PLAN #2. TOPOGRAPHIC INFORMATION FOR LOT 4-1 IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE IN AUGUST OF 2016. TOPOGRAPHIC INFORMATION FOR LOT 4 IS TAKEN FROM THE TOWN OF HUDSON TOWN TOPOGRAPHY AND IS BASED ON NGVD 29 DATUM.
- VERTICAL DATUM IS NGVD 1929. HORIZONTAL DATUM IS ASSUMED. NORTH ORIENTATION IS MAGNETIC BASED ON REFERENCE PLAN #2. BENCHMARKS SET AS NOTED BASED ON NGVD 29. THE DATA WAS OBTAINED FROM NHDOT DISK - 229-0320 SET IN LEDGE ON WASON ROAD, HUDSON, NH.
- WETLANDS WERE DELINEATED BY MICHELE F. GRENIER, CERTIFIED WETLAND SCIENTIST #102, ON JUNE 7, 2016.
- SUBJECT PARCEL WILL BE SERVICED BY INDIVIDUAL WATER WELLS AND ON-SITE SUBSURFACE SEWAGE DISPOSAL SYSTEM.
- PROPOSED USE: SINGLE FAMILY RESIDENTIAL CONDOMINIUM
- ALLOWABLE DENSITY:

LOT NUMBER	TOTAL LOT AREA (SF)	WETLAND AREA (SF)	AREA (SF) >25% SLOPE	BUILDABLE AREA (SF)
4-1	218,881 SF	0 SF	10,013 SF	208,868 SF

MAXIMUM DENSITY OF HOMES = 1 DWELLING/43,560 SF OF BUILDABLE LAND = 208,868 SF/43,560 = 4 DWELLINGS
 PROPOSED DENSITY = 3 DWELLINGS (4 BEDROOMS EACH)
- EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 3301C00518D, PANEL NUMBER 518 OF 701, EFFECTIVE DATE: SEPTEMBER 25, 2009, INDICATES THAT THE SUBJECT PARCEL IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
- PARKING CALCULATIONS:
REQUIRED - 2 SPACES PER UNIT
PROVIDED - 2 SPACES PER UNIT (NOT INCLUDING GARAGE SPACES)
- OPEN SPACE: REQUIRED = 40%, PROVIDED = 91.8%
- ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON ZONING ADMINISTRATOR PRIOR TO INSTALLATION.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR CLAIM TO THE ACCURACY OR COMPLETENESS OF THE SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
- TRASH PICK-UP SHALL NOT OCCUR EARLIER THEN 7:00 AM NOR LATER THAN 7:00 PM, MONDAY THROUGH FRIDAY ONLY.
- EXTERIOR CONSTRUCTION ACTIVITIES ON THE SITE SHALL BE LIMITED TO BETWEEN 7:00 AM AND 7:00 PM MONDAY THROUGH SATURDAY. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS.
- IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON WEEKENDS.
- WAIVERS REQUESTED:
HTC 276-13.A - UNDERGROUND UTILITIES
- PERMITS REQUIRED:

PERMIT	STATUS	PERMIT NUMBER
NHDES INDIVIDUAL SUBSURFACE DISPOSAL SYSTEM PERMIT	PENDING	-
NHDES NOTICE OF INTENT	BEFORE CONSTRUCTION	-
NHDES SUBDIVISION (CONDOMINIUM)	PENDING	-
- SNOW STORAGE SHALL BE ALONG BOTH SIDES OF THE ROADWAY. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- ON-SITE DRAINAGE SYSTEM SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH NHDES REQUIREMENTS FOR SUCH SYSTEMS.
- THE APPLICANT'S ENGINEER AND/OR CONTRACTOR SHALL CONTACT THE TOWN OF HUDSON TO SCHEDULE A PRECONSTRUCTION MEETING, WHICH WILL BE HELD WITH STAFF PRIOR TO STARTING CONSTRUCTION.
- ALL STIPULATIONS OF APPROVAL SHALL BE INCORPORATED INTO THE DEVELOPMENT AGREEMENT, WHICH SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS, TOGETHER WITH THE SITE PLAN-OFF-RECORD.
- THIS APPROVAL SHALL BE SUBJECT TO FINAL ENGINEERING REVIEW, INCLUDING APPROVAL OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
- AFTER THE ISSUANCE OF THE FOUNDATION PERMIT AND PRIOR TO THE ISSUANCE OF THE FRAMING PERMIT, THE APPLICANT SHALL SUBMIT TO THE HUDSON COMMUNITY DEVELOPMENT DEPARTMENT A FOUNDATION "AS-BUILT" PLAN ON A TRANSPARENCY AND TO THE SAME SCALE AS THE APPROVED SITE PLAN. THE FOUNDATION "AS-BUILT" PLAN SHALL INCLUDE ALL STRUCTURAL DIMENSIONS AND LOT LINE SETBACK MEASUREMENTS TO THE FOUNDATION AND BE STAMPED BY A LICENSED LAND SURVEYOR. ANY DISCREPANCY BETWEEN THE APPROVED SITE PLAN AND FOUNDATION "AS-BUILT" PLANS SHALL BE DOCUMENTED BY THE APPLICANT AND BE PART OF THE FOUNDATION "AS-BUILT" SUBMISSION.
- PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, A L.L.S. CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED PLAN.
- ON-SITE LANDSCAPE SHALL BE PROVIDED FOR IN ACCORDANCE WITH THE PLANT AND TREE SPECIES SPECIFIED ON SHEET 7 OF THE PLAN SET.
- THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
- PRIOR TO PLANNING BOARD ENDORSEMENT OF THE PLAN, THE DEVELOPMENT AGREEMENT SHALL BE FAVORABLY REVIEWED AND RECOMMENDED ON BY TOWN COUNSEL.
- ALL IMPROVEMENTS SHOWN ON THE SITE PLAN-OFF-RECORD, INCLUDING NOTES 1-43, SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
- THERE WILL BE NO EXTERIOR LIGHTING.
- A CAP IN THE AMOUNT OF \$1,554.33, PER RESIDENTIAL UNIT IN HUDSON, SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- A PUBLIC SCHOOL IMPACT FEE IN THE AMOUNT OF \$3,578 IN HUDSON, PER RESIDENTIAL UNIT, SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- A RECREATION CONTRIBUTION IN THE AMOUNT OF \$400 IN HUDSON, PER RESIDENTIAL UNIT, SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THE NUMBER OF DWELLING UNITS FOR THIS DEVELOPMENT SHALL BE LIMITED TO 3.
- SHEET 1 SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS AND A FULL PLAN SET IS LOCATED AT THE HUDSON PLANNING OFFICE. ALL STIPULATIONS OF APPROVAL SHALL BE INCORPORATED INTO A DEVELOPMENT AGREEMENT, WHICH SHALL ALSO BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
- THIS PLAN IS CONTINGENT UPON THE SUBDIVISION OF TAX MAP 199 LOT 4 FOR THE CREATION OF LOT 4-1.
- THE PROPOSED DRIVEWAY AND DRAINAGE SYSTEMS SHALL REMAIN PRIVATE AFTER CONSTRUCTION.
- ALL CONDOMINIUMS TO BE LESS THAN 38 FT IN HEIGHT.
- DEVELOPER TO INSTALL AN NFPA APPROVED 13D SPRINKLER SYSTEM IN EACH UNIT.

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|--|---------------------|---------------|
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NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND. THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.

REVIEWED AND APPROVED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NH DEPT OF ENVIRONMENTAL SERVICES WATER DIVISION

DATE: 4/20/2017 - ONE YEAR FROM DATE OF MEETING

#ESA2017042005

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

SIGNATURE _____ SIGNATURE DATE _____

SIGNATURE _____ SIGNATURE DATE _____

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

OWNER OF MAP 199 LOT 4-1

SIGNATURE _____

DATE: 10/13/16

STATE OF NEW HAMPSHIRE
 MICHELE F. GRENIER
 No. 102
 CERTIFIED WETLAND SCIENTIST

MICHELE F. GRENIER, CERTIFIED WETLAND SCIENTIST #102 PERFORMED THE DELINEATION OF JURISDICTIONAL WETLANDS USING THE TECHNICAL CRITERIA IN THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1, JANUARY 1987).

10/21/16

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, SURVEY DATA FOR MAP 199 LOT 4-1 IS BASED ON A FIELD SURVEY MADE BY THIS OFFICE IN AUGUST OF 2016, SAID SURVEY HAS A RELATIVE ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) OR BETTER. THE REMAINING BOUNDARY DATA IS BASED ON REFERENCE PLAN #2.

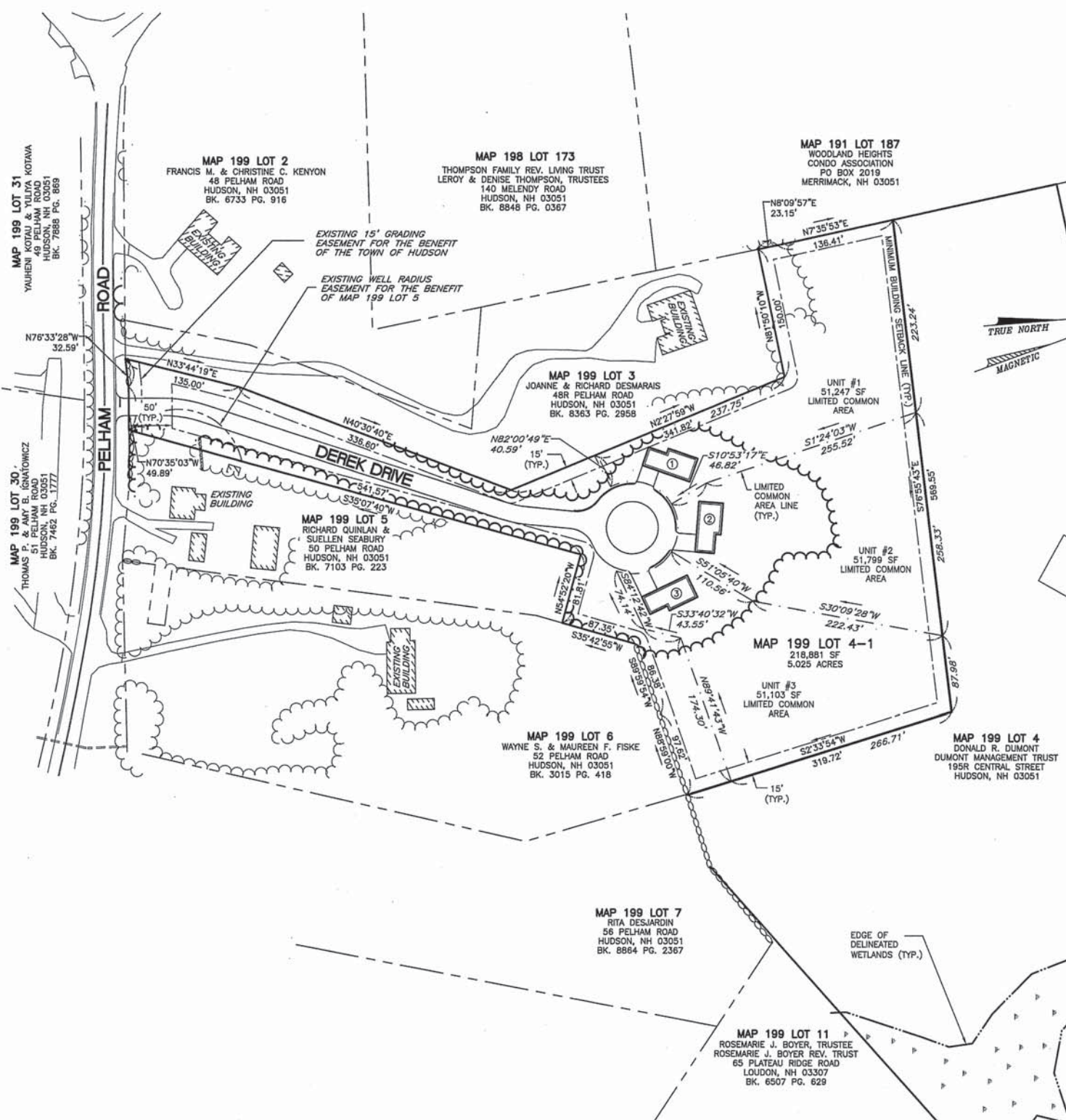
11-23-16
 LICENSED LAND SURVEYOR

STATE OF NEW HAMPSHIRE
 No. 714
 MICHAEL R. DAHLBERG
 LICENSED LAND SURVEYOR

REVISIONS

No.	DATE	DESCRIPTION	BY
1	11/18/16	REVISED PER TOWN COMMENTS	KMB

DATE: OCTOBER 13, 2016
 PROJECT No: 16-0801-1
 SCALE: 1" = 80'
 SHEET 1 OF 15

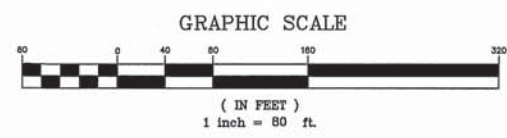


REFERENCE PLANS:

- "CONSOLIDATION & LOT LINE RELOCATION PLAN - PELHAM ROAD - HUDSON, NEW HAMPSHIRE: FOR: GEORGE JOZIATIS - PELHAM ROAD - HUDSON, NEW HAMPSHIRE" PREPARED BY: A.E. MAYNARD CIVIL ENGINEER; SCALE: 1" = 100'; DATED: JANUARY, 1981; H.C.R.D. PLAN NO. 13873.
- "SUBDIVISION PLAN - MAP 17/LOT 12 - JOZIATIS SUBDIVISION PLAN - PELHAM ROAD - HUDSON, NEW HAMPSHIRE"; PREPARED FOR: BRUCE JOZIATIS - 1178 PARK AVE - BOSTON, MASSACHUSETTS 02115; PREPARED BY: MAYNARD & PAQUETTE, INC. CONSULTING ENGINEERS & LAND SURVEYORS - 23 EAST PEARL STREET, NASHUA, NH 03060; SCALE: 1" = 100'; DATED: FEBRUARY 12, 1996; H.C.R.D. PLAN NO. 28120.
- "RESIDENTIAL SUBDIVISION PLAN - DUMONT POINT - MAP 199 LOT 4 - HILLDALE DRIVE & PELHAM ROAD - HUDSON, NEW HAMPSHIRE - HILLSBOROUGH COUNTY" PREPARED BY: KEACH-NORDSTROM ASSOCIATES, INC.; SCALE 1"=40'; DATED: OCTOBER 13, 2016.

LEGEND

- BUTTER LINE
- PROPERTY LINE
- WETLAND
- TREELINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- BUILDING SETBACK
- EASEMENT LINE
- PROPOSED EDGE OF PAVEMENT



MASTER PLAN
 DUMONT POINT
 MAP 199 LOT 4-1
 PELHAM ROAD
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD:
 DONALD R. DUMONT
 DUMONT MANAGEMENT TRUST
 195R CENTRAL STREET
 HUDSON, NH 03051

APPLICANT:
 DONALD R. DUMONT
 DUMONT MANAGEMENT TRUST
 195R CENTRAL STREET
 HUDSON, NH 03051

KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

STATE OF NEW HAMPSHIRE
 No. 14744
 BRENTON MIDDLEBURY
 LICENSED PROFESSIONAL ENGINEER

DIG SAFE
 811
 CALL BEFORE YOU DIG
 UTILITIES INTERFERED PLANT DAMAGE PREVENTION SYSTEM



TOWN OF HUDSON

FIRE DEPARTMENT

39 FERRY STREET, HUDSON, NEW HAMPSHIRE 03051



Emergency 911
Business 603-886-6021
Fax 603-594-1164

Robert M. Buxton
Chief of Department

TO: Brian Groth
Town Planner

FR: Robert M. Buxton *RMB*
Fire Chief

DT: October 21, 2021

RE: Site Plan Review for Derek Way (Map: 199 Lot 4-1)

A Site Plan review was completed for the proposed Dumont Point project. The following shall serve as the Fire Department's concerns;

- The proposed name of the private way is Derek Way. This has been submitted and approved by the Hudson Fire Department.
- House numbering shall be obtained from the Hudson Fire Department prior to the issuance of any building permits.
- This plan is being reviewed as an amended site plan. The original plan call for a 30,000 gallon cistern on Derek Way. The developer proposed the installation of fire sprinklers in each of the homes. The Fire Department would find this acceptable if the developer wishes to continue to pursue this proposal.

Please contact me with any questions.

Cc: Deputy Tice

Groth, Brian

From: Dhima, Elvis
Sent: Wednesday, October 13, 2021 2:37 PM
To: Dubowik, Brooke
Cc: Groth, Brian
Subject: Re: SP# 13-21 Dumont Point Amended Site Plan

Brooke / Brian

I have the following comments

1. The applicant shall provide a driveway profile for Building 1
2. Applicant shall provide the location of the septic tanks, building services and sewer lines from the tanks to the existing leaching field
3. Applicant shall provide pre vs post drainage backs up showing they meet storm water requirements
4. The drainage detention basin, adjacent to the access road, appears to be eight feet deep. Applicant needs to evaluate where a guard rail is required

Thanks

E

Elvis Dhima P.E.
Town Engineer
12 School Street
Hudson, NH 03051
Sent from my iPhone

On Oct 13, 2021, at 2:08 PM, Dubowik, Brooke <bdubowik@hudsonnh.gov> wrote:

Good afternoon,
Attached is a sign off for an amended site plan for Dumont Point (1 Derek Way).
I've included a copy of the approved plan to reference the change being proposed.
Please have your sign off back no later than October 22, 2021.
Thank you,

Brooke Dubowik
Planning Administrative Aide II



12 School Street
Hudson, NH 03051
603-816-1267 (Direct)
603-594-1142 (Fax)

<Application & Narrative.pdf>

<Amended Residential Site Plan 10-12-21.pdf>

<2016 Master Plan.pdf>

RECEIVED

OCT 06 2021

TOWN OF HUDSON
PLANNING DEPARTMENT

SITE PLAN APPLICATION

Date of Application: 10/4/21 Tax Map #: 199 Lot #: 4-1

Site Address: DEREK WAY

Name of Project: DUMONT POINT

Zoning District: GENERAL General SP#: 13-21
(For Town Use Only)

Z.B.A. Action: _____

PROPERTY OWNER:

Name: DON DUMONT

Address: 195 R CENTRAL ST.

Address: _____

Telephone # 603-231-7344

Email: _____

DEVELOPER:

DUMONT REALTY & DEVELOPMENT

43 LOWELL RD

SUIT 202A

HUDSON NH.

PROJECT ENGINEER:

Name: KEACH-NORDSTROM

Address: 10 COMMERCE PARK

Address: BEDFORD NH. 03110

Telephone # 603-627-2881

Email: _____

SURVEYOR:

BOUDREAU LAND SURVEYING

2 BEATRICE LANE

NEW MARKET NH. 03857

PURPOSE OF PLAN:

(For Town Use Only)

Routing Date: 10/6/21 Deadline Date: 10/13/21 Meeting Date: 10/27/21

_____ I have no comments _____ I have comments (attach to form)

_____ Title: _____ Date: _____

(Initials)

Department:

Zoning: ___ Engineering: ___ Assessor: ___ Police: ___ Fire: ___ DPW: ___ Consultant: ___

SITE DATA SHEET

PLAN NAME: DUMONT POINT

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 199 LOT 4-1

DATE: 10/4/21

Location by Street: DEREK WAY

Zoning: GENERAL

Proposed Land Use: SINGLE FAMILY 4 BEDROOM

Existing Use: GENERAL

Surrounding Land Use(s): GENERAL / RESIDENTIAL

Number of Lots Occupied: 3

Existing Area Covered by Building: Ø

Existing Buildings to be removed: Ø

Proposed Area Covered by Building: _____

Open Space Proposed: 91.8%

Open Space Required: 40%

Total Area: S.F.: 218,881 Acres: 5.025

Area in Wetland: Ø Area Steep Slopes: _____

Required Lot Size: 43,560 SF
~~218,881 SF~~

Existing Frontage: 80'

Required Frontage: 150 FT

Building Setbacks:	<u>Required*</u>	<u>Proposed</u>
Front:	<u>30 FT</u>	_____
Side:	<u>15 FT</u>	_____
Rear:	<u>15 FT</u>	_____

SITE DATA SHEET

(Continued)

Flood Zone Reference: _____ N/A _____

Width of Driveways: _____ 30' _____

Number of Curb Cuts: _____ 3 _____

Proposed Parking Spaces: _____ 2 (NOT INCLUDING GARAGES) _____

Required Parking Spaces: _____ 2 _____

Basis of Required Parking (Use): _____

Dates/Case #/Description/Stipulations
of ZBA, Conservation Commission,
NH Wetlands Board Actions:
(Attach stipulations on separate sheet)

Waiver Requests

<i>Town Code Reference:</i>	<i>Regulation Description:</i>
<u>NONE</u>	
_____	_____
_____	_____
_____	_____
_____	_____


(For Town Use Only)

Data Sheets Checked By: _____ Date: _____

SITE PLAN APPLICATION AUTHORIZATION

I hereby apply for *Site Plan* Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the *Site Plan* specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Planner, the Town Engineer, and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner:  Date: 10/4/21
Print Name of Owner: DON DUMONT

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: _____ Date: _____
Print Name of Developer: _____

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The individual in charge of the project must notify the Code Enforcement Officer/Building Inspector within two (2) working days of any change.

NONE

WAIVER REQUEST FORM

Name of Subdivision/Site Plan: _____

Street Address: _____

I _____ hereby request that the Planning Board waive the requirements of item _____ of the Hudson Land Use Regulations in reference to a plan presented by _____ (name of surveyor and engineer) dated _____ for property tax map(s) _____ and lot(s) _____ in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Land Use Regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

Reason(s) for granting this waiver, relative to not being contrary to the spirit and intent of the Land Use Regulations: (if additional space is needed please attach the appropriate documentation hereto):

Signed:

Applicant or Authorized Agent

SCHEDULE OF FEES

A. REVIEW FEES:

1. <u>Site Plan Use</u>	<u>Project Size/Fee</u>	
Multi-Family	\$105.00/unit for 3-50 units \$78.50/unit for each additional unit over 50	\$ <u>210.⁰⁰</u>
Commercial/Semi Public/Civic or Recreational	\$157.00/1,000 sq. ft. for first 100,000 sq.ft. (bldg. area); \$78.50/1,000 sq.ft. thereafter.	\$ <u> </u>
Industrial	\$150.00/1,000 sq.ft for first 100,000 sq.ft. (bldg. area); \$78.50/1,000 sq.ft thereafter.	\$ <u> </u>
No Buildings	\$30.00 per 1,000 sq.ft. of proposed developed area	\$ <u> </u>

CONSULTANT REVIEW FEE: (Separate Check)

Total acres @ \$600.00 per acre, or \$1,250.00, whichever is greater. \$

This is an estimate for cost of consultant review. The fee is expected to cover the amount. A complex project may require additional funds. A simple project may result in a refund.

LEGAL FEE:

The applicant shall be charged attorney costs billed to the Town for the Town's attorney review of any application plan set documents.

(continued on next page)

SCHEDULE OF FEES
(Continued)

B. <u>POSTAGE:</u>		
<u>6</u> Direct Abutters @\$4.33 (or Current Certified Mail Rate)	\$	<u>25.98</u>
<u>10</u> Indirect Abutters (property owners within 200 feet) @\$0.58 (or Current First Class Rate)	\$	<u>5.90</u>
C. <u>ON SITE SIGNAGE:</u>	\$	<u>15.00</u>
E. <u>TAX MAP UPDATING FEE:</u> (FLAT FEE)	\$	<u>275.00</u>
	TOTAL	\$ <u>321.78</u> <u>531.78</u>

(For Town Use)			
AMOUNT RECEIVED: \$	<u>531.78</u>	DATE RECEIVED:	<u>10/6/21</u>
RECEIPT NO.:	<u>658,872</u>	RECEIVED BY:	<u>BROOKE</u>

NOTE: fees below apply only upon plan approval, not collected at time of application.

F. RECORDING FEES:

The applicant shall pay the costs of recording the final site plan layout prior to final site plan approval, in accordance with fees established by the County. Recording fees must be paid prior to recording.

Recording of Plan @ \$24.00/sheet + \$2.00/surcharge plan
 Land & Community Heritage Investment Program (LCHIP) fee @ \$25.00
 Easements/Agreements @\$10.00/first sheet, \$4.00/each sheet thereafter +
 \$2.00/surcharge/doc. + First Class return postage rate

G. COST ALLOCATION PROCEDURE AMOUNT CONTRIBUTION AND OTHER IMPACT FEE PAYMENTS:

To be determined by the Planning Board at time of plan approval and shall be paid by the applicant at the time of submittal of the Certificate of Occupancy Permit requests.

*****The applicant shall be responsible for all fees incurred by the town for processing and review of the applicant's application, plan and related materials.*****

Re: Derek Way

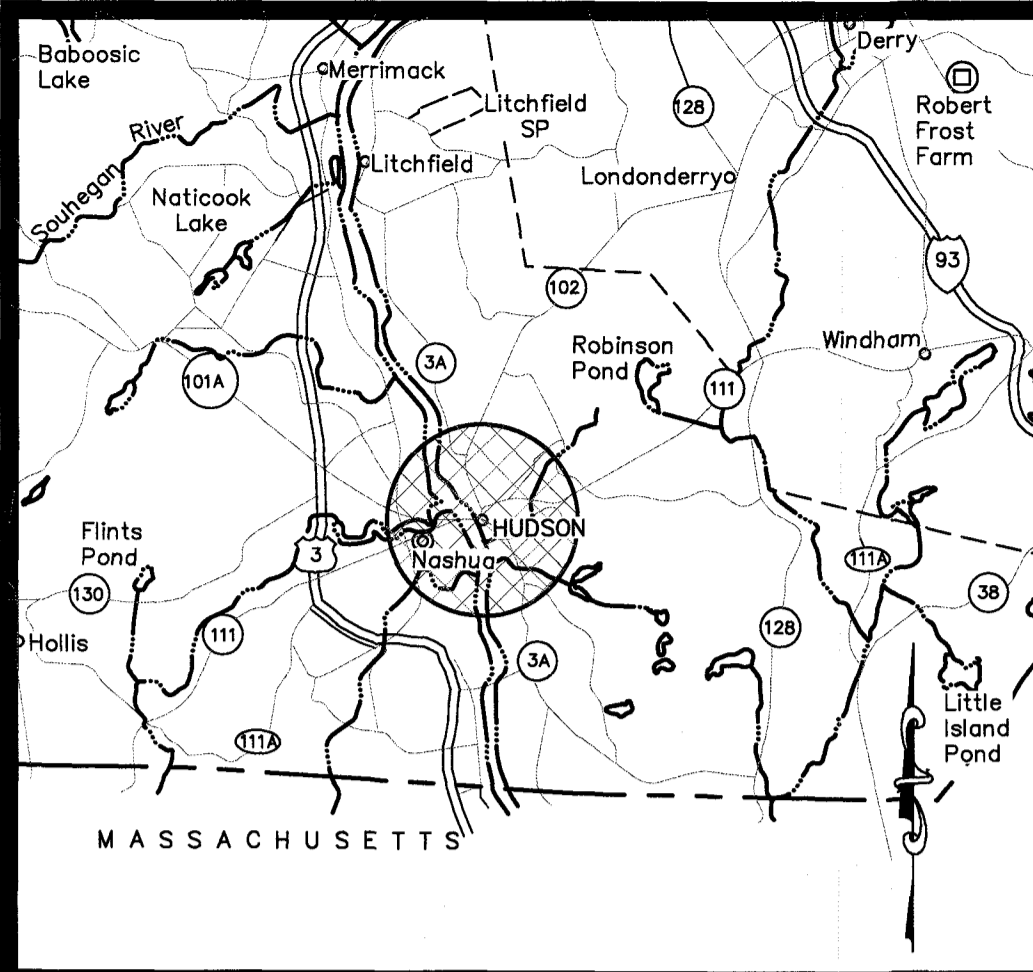
10-5-21

Map 199 Lot 4-1

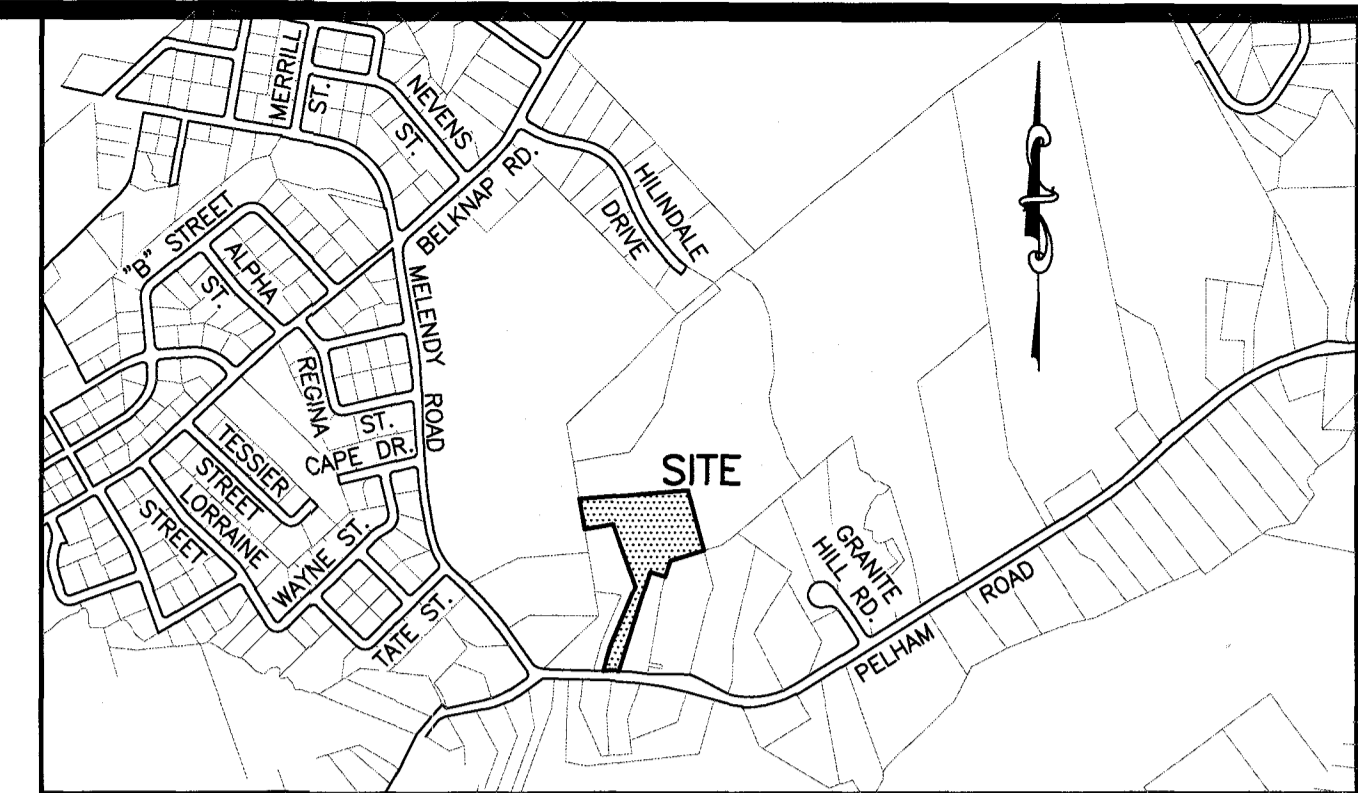
I am requesting to re locate two house locations on the existing approved site plan Dumont Point at 18 and 19 Derek Way, Please see amended site plan for new locations

Thank you

Don Dumont



VICINITY PLAN
NOT TO SCALE



VICINITY PLAN
SCALE: 1" = 1,000'

AMENDED RESIDENTIAL SITE PLAN DUMONT POINT

MAP 199 LOT 4-1
1 DEREK WAY
HUDSON, NEW HAMPSHIRE

APPLICANT/OWNER:

DONALD R. DUMONT
DUMONT MANAGEMENT TRUST
195R CENTRAL STREET
HUDSON, NEW HAMPSHIRE 03051

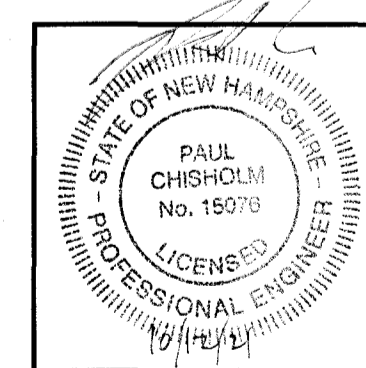
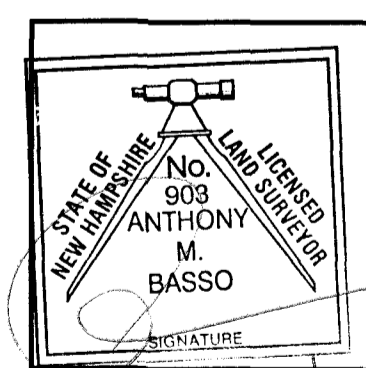
PREPARED BY:

KEACH-NORDSTROM ASSOCIATES, INC.
10 COMMERCE PARK NORTH, SUITE 3
BEDFORD, NEW HAMPSHIRE 03110
(603) 627-2881

SHEET TITLE

SHEET No.

AMENDED MASTER PLAN	1
AMENDED RESIDENTIAL SITE PLAN	2
AMENDED GRADING AND DRAINAGE PLAN	3
AMENDED UTILITY PLAN	4
AMENDED EROSION CONTROL PLAN	5



KNA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

OCTOBER 7, 2021

PROJECT NO. 16-0801-1

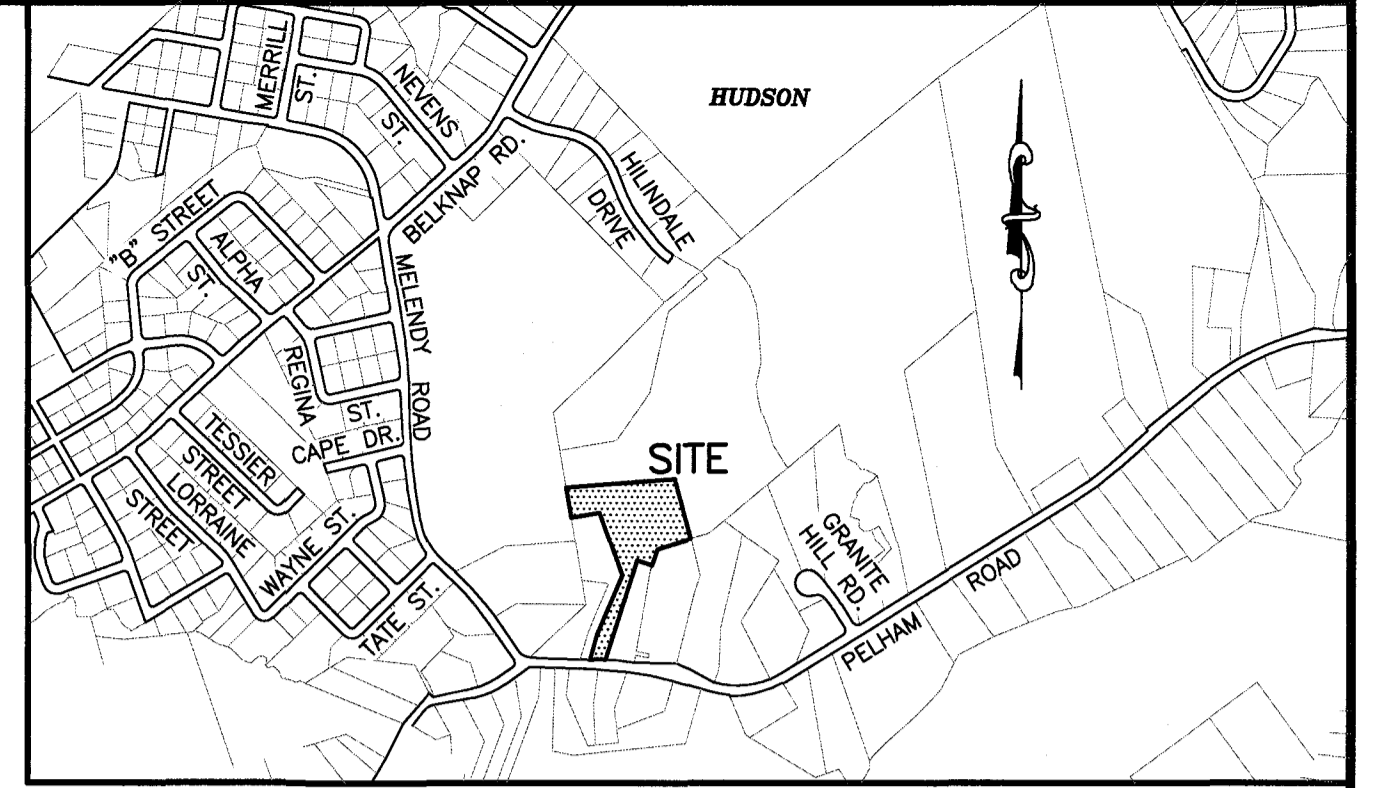
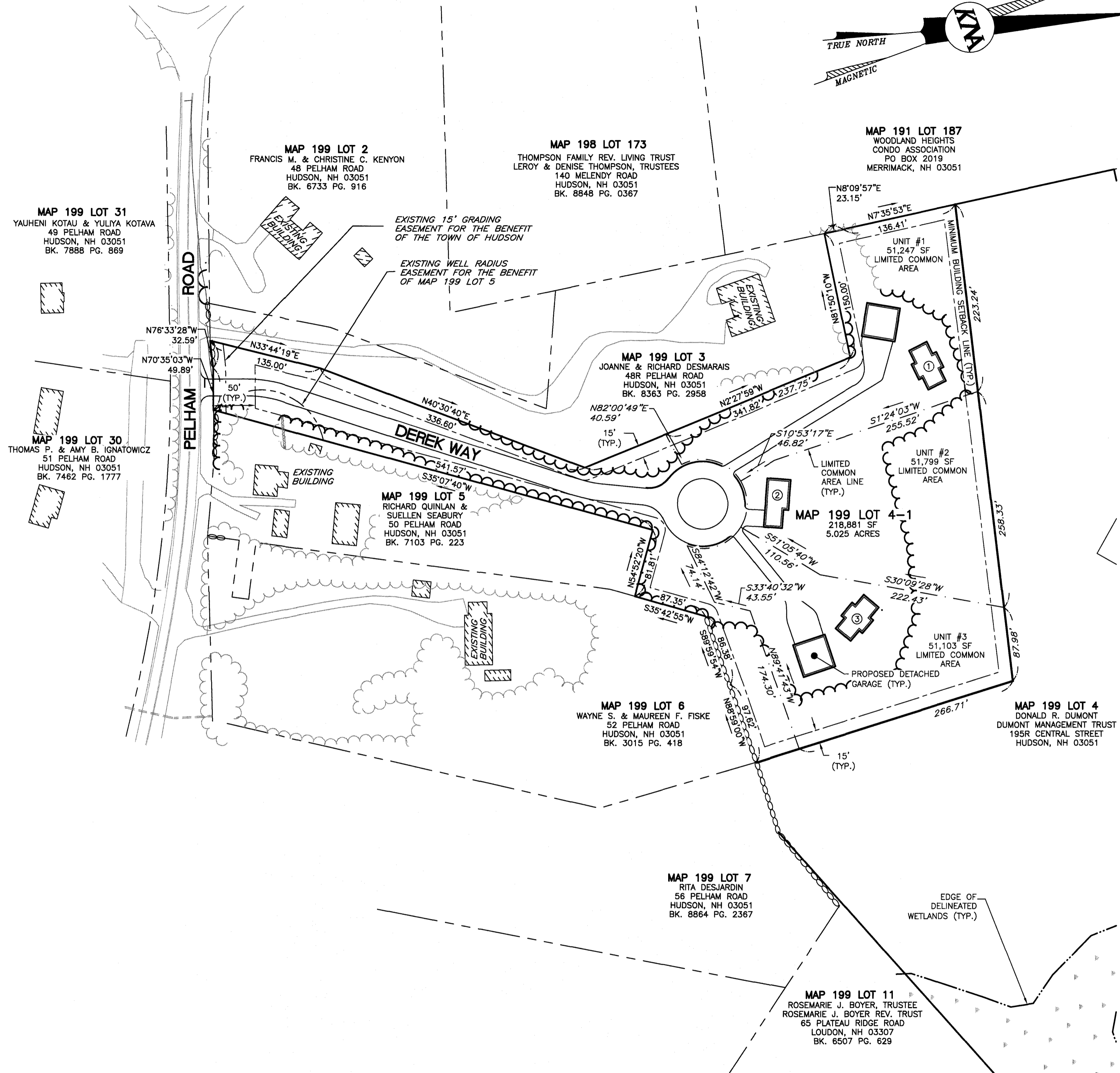
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL	APPROVED BY THE HUDSON, NH PLANNING BOARD DATE OF MEETING: _____
	_____ SIGNATURE DATE: _____
	_____ SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.	

NOTES:

- THE PURPOSE OF THIS PLAN IS TO AMEND AND SUPPLEMENT THE PREVIOUSLY APPROVED RESIDENTIAL SITE PLAN TO DEPICT THE LAYOUT OF THREE DETACHED SINGLE FAMILY RESIDENTIAL UNITS AND THE ASSOCIATED SITE APPURTENANCES ON MAP 199 LOT 4-1.
- REFERENCE THIS PARCEL AS HUDSON ASSESSOR'S MAP 199 LOT 4-1.
- TOTAL AREA OF PARCEL IS = 218,881 SF, OR 5.025 ACRES
- OWNER OF RECORD:
DONALD R. DUMONT, TRUSTEE
DUMONT MANAGEMENT TRUST
195R CENTRAL STREET
HUDSON, NH 03051
- THE SUBJECT PARCEL IS SITUATED ENTIRELY WITHIN THE GENERAL (G) ZONING DISTRICT AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REQUIREMENTS:
- MINIMUM LOT AREA 43,560 SF
- MINIMUM LOT FRONTAGE 150 FT
- MINIMUM BUILDING SETBACKS:
- FRONT (LOCAL ROAD) 30 FT
- FRONT (COLLECTOR) 50 FT
- REAR 15 FT
- SIDE 15 FT
- BOUNDARY INFORMATION SHOWN HEREON IS BASED ON REFERENCE PLAN #2. TOPOGRAPHIC INFORMATION FOR LOT 4-1 IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE IN AUGUST OF 2016. TOPOGRAPHIC INFORMATION FOR LOT 4 IS TAKEN FROM THE TOWN OF HUDSON TOWN TOPOGRAPHY AND IS BASED ON NGVD 29 DATUM.
- VERTICAL DATUM IS NGVD 1929. HORIZONTAL DATUM IS ASSUMED. NORTH ORIENTATION IS MAGNETIC BASED ON REFERENCE PLAN #2. BENCHMARKS SET AS NOTED BASED ON NGVD 29. THE DATA WAS OBTAINED FROM NHDOT DISK # 229-0320 SET IN LEDGE ON WASON ROAD, HUDSON, NH.
- WETLANDS WERE DELINEATED BY MICHELE F. GRENIER, CERTIFIED WETLAND SCIENTIST #102, ON JUNE 7, 2016
- SUBJECT PARCEL WILL BE SERVICED BY INDIVIDUAL WATER WELLS AND ON-SITE SUBSURFACE SEWAGE DISPOSAL SYSTEM.
- PROPOSED USE: SINGLE FAMILY RESIDENTIAL CONDOMINIUM
- ALLOWABLE DENSITY:

LOT NUMBER	TOTAL LOT AREA (SF)	WETLAND AREA (SF)	AREA (SF) >25% SLOPE	BUILDABLE AREA (SF)
4-1	218,881 SF	0 SF	10,013 SF	208,868 SF

- MAXIMUM DENSITY OF HOMES = 1 DWELLING/43,560 SF OF BUILDABLE LAND = 208,868 SF/43,560 = 4 DWELLINGS
PROPOSED DENSITY = 3 DWELLINGS (4 BEDROOMS EACH)
- EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 3301100518D, PANEL NUMBER 701, EFFECTIVE DATE: SEPTEMBER 25, 2009, INDICATES THAT THE SUBJECT PARCEL IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
 - PARKING CALCULATIONS:
REQUIRED - 2 SPACES PER UNIT
PROVIDED - 2 SPACES PER UNIT (NOT INCLUDING GARAGE SPACES)
 - OPEN SPACE: REQUIRED = 40%; PROVIDED = 91.8%
 - ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON ZONING ADMINISTRATOR PRIOR TO INSTALLATION.
 - IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
 - TRASH PICK-UP SHALL NOT OCCUR EARLIER THEN 7:00 AM NOR LATER THAN 7:00 PM, MONDAY THROUGH FRIDAY ONLY.
 - EXTERIOR CONSTRUCTION ACTIVITIES ON THE SITE SHALL BE LIMITED TO BETWEEN 7:00 AM AND 7:00 PM MONDAY THROUGH SATURDAY. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS.
 - IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON WEEKENDS.
 - PERMITS REQUIRED:
NHDES INDIVIDUAL SUBSURFACE DISPOSAL SYSTEM PERMIT STATUS: ACTIVE PERMIT NUMBER: eCA2017042012
NHDES NOTICE OF INTENT STATUS: BEFORE CONSTRUCTION eSA2017042012
NHDES SUBDIVISION (CONDOMINIUM) STATUS: ACTIVE PERMIT NUMBER: eSA2017042005
NHDES ALTERATION OF TERRAIN PERMIT STATUS: REQUIRED
 - SNOW STORAGE SHALL BE ALONG BOTH SIDES OF THE ROADWAY. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
 - ON-SITE DRAINAGE SYSTEM SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH NHDES REQUIREMENTS FOR SUCH SYSTEMS.
 - THE APPLICANT'S ENGINEER AND/OR CONTRACTOR SHALL CONTACT THE TOWN OF HUDSON TO SCHEDULE A PRECONSTRUCTION MEETING, WHICH WILL BE HELD WITH STAFF PRIOR TO STARTING CONSTRUCTION.
 - ALL STIPULATIONS OF APPROVAL SHALL BE INCORPORATED INTO THE DEVELOPMENT AGREEMENT, WHICH SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS, TOGETHER WITH THE SITE PLAN-OF-RECORD.
 - THIS APPROVAL SHALL BE SUBJECT TO FINAL ENGINEERING REVIEW, INCLUDING APPROVAL OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
 - AFTER THE ISSUANCE OF THE FOUNDATION PERMIT AND PRIOR TO THE ISSUANCE OF THE FRAMING PERMIT, THE APPLICANT SHALL SUBMIT TO THE HUDSON COMMUNITY DEVELOPMENT DEPARTMENT A FOUNDATION "AS-BUILT" PLAN ON A TRANSPARENCY AND TO THE SAME SCALE AS THE APPROVED SITE PLAN. THE FOUNDATION "AS-BUILT" PLAN SHALL INCLUDE ALL STRUCTURAL DIMENSIONS AND LOT LINE SETBACK MEASUREMENTS TO THE FOUNDATION AND BE STAMPED BY A LICENSED LAND SURVEYOR. ANY DISCREPANCY BETWEEN THE APPROVED SITE PLAN AND FOUNDATION "AS-BUILT" PLANS SHALL BE DOCUMENTED BY THE APPLICANT AND BE PART OF THE FOUNDATION "AS-BUILT" SUBMISSION.
 - PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, A L.L.S. CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED PLAN.
 - ON-SITE LANDSCAPE SHALL BE PROVIDED FOR IN ACCORDANCE WITH THE PLANT AND TREE SPECIES SPECIFIED ON SHEET 7 OF THE PREVIOUSLY APPROVED PLAN SET.
 - THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
 - PRIOR TO PLANNING BOARD ENDORSEMENT OF THE PLAN, THE DEVELOPMENT AGREEMENT SHALL BE FAVORABLY REVIEWED AND RECOMMENDED ON BY TOWN COUNSEL.
 - ALL IMPROVEMENTS SHOWN ON THE SITE PLAN-OF-RECORD, INCLUDING NOTES 1-44, SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
 - THERE WILL BE NO EXTERIOR LIGHTING.
 - A CAP IN THE AMOUNT OF \$1,664.00, PER RESIDENTIAL UNIT IN HUDSON, SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - A PUBLIC SCHOOL IMPACT FEE IN THE AMOUNT OF \$3,578.00 IN HUDSON, PER RESIDENTIAL UNIT, SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - A RECREATION CONTRIBUTION IN THE AMOUNT OF \$400.00 IN HUDSON, PER RESIDENTIAL UNIT, SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - THE NUMBER OF DWELLING UNITS FOR THIS DEVELOPMENT SHALL BE LIMITED TO 3.
 - SHEET 1 SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS AND A FULL PLAN SET IS LOCATED AT THE HUDSON PLANNING OFFICE. ALL STIPULATIONS OF APPROVAL SHALL BE INCORPORATED INTO A DEVELOPMENT AGREEMENT, WHICH SHALL ALSO BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
 - THIS PLAN IS CONTINGENT UPON THE SUBDIVISION OF TAX MAP 199 LOT 4 FOR THE CREATION OF LOT 4-1.
 - THE PROPOSED DRIVEWAY AND DRAINAGE SYSTEMS SHALL REMAIN PRIVATE AFTER CONSTRUCTION.
 - ALL CONDOMINIUMS TO BE LESS THAN 38 FT IN HEIGHT.
 - DEVELOPER TO INSTALL AN NFPA APPROVED 130 SPRINKLER SYSTEM IN EACH UNIT.
 - RELOCATE STONE WALL ALONG THE PROPERTY BETWEEN MAP 199/LOT 5 AND LOT 4-1.
 - THE APPLICANT/OWNER SHALL COOPERATE WITH OWNER OF MAP 199 LOT 5 IN ORDER TO CREATE A SUITABLE LANDSCAPED BUFFER BETWEEN THE PRIVATE DRIVE AND PROPERTY.



VICINITY PLAN
SCALE: 1" = 1,000'

REFERENCE PLANS:

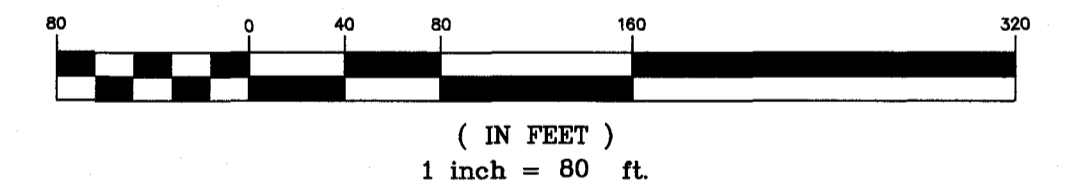
- "CONSOLIDATION & LOT LINE RELOCATION PLAN - PELHAM ROAD - HUDSON, NEW HAMPSHIRE; FOR: GEORGE JOZIATIS - PELHAM ROAD - HUDSON, NEW HAMPSHIRE" PREPARED BY: A.E. MAYNARD CIVIL ENGINEER; SCALE: 1" = 100'; DATED: JANUARY, 1981; H.C.R.D. PLAN NO. 13873.
- "SUBDIVISION PLAN - MAP 17/LOT 12 - JOZIATIS SUBDIVISION PLAN - PELHAM ROAD - HUDSON, NEW HAMPSHIRE"; PREPARED FOR: BRUCE JOZIATIS - 117B PARK AVE - BOSTON, MASSACHUSETTS 02115; PREPARED BY: MAYNARD & PAQUETTE, INC. CONSULTING ENGINEERS & LAND SURVEYORS - 23 EAST PEARL STREET, NASHUA, NH 03060; SCALE: 1" = 100'; DATED: FEBRUARY 12, 1996; H.C.R.D. PLAN NO. 28120.
- "RESIDENTIAL SUBDIVISION PLAN - DUMONT POINT - MAP 199 LOT 4 - HILLDALE DRIVE & PELHAM ROAD - HUDSON, NEW HAMPSHIRE - HILLSBOROUGH COUNTY" PREPARED BY: KEACH-NORDSTROM ASSOCIATES, INC.; SCALE 1"=40'; DATED: OCTOBER 13, 2016.
- "RESIDENTIAL SITE PLAN - DUMONT POINT - MAP 199 LOT 4 - HILLDALE DRIVE & PELHAM ROAD - HUDSON, NEW HAMPSHIRE - HILLSBOROUGH COUNTY" PREPARED BY: KEACH-NORDSTROM ASSOCIATES, INC.; SCALE 1"=40'; DATED: OCTOBER 13, 2016.

LEGEND

- ABUTTER LINE
- PROPERTY LINE
- WETLAND
- TREELINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- BUILDING SETBACK
- EASEMENT LINE
- PROPOSED EDGE OF PAVEMENT



GRAPHIC SCALE



NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND, THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE DATE: _____

SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

OWNER OF MAP 199 LOT 4-1

SIGNATURE: _____

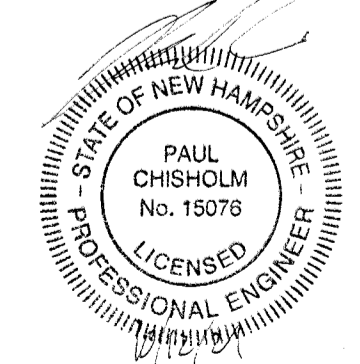
DATE: _____

MICHELE F. GRENIER, CERTIFIED WETLAND SCIENTIST #102
PERFORMED THE DELINEATION OF JURISDICTIONAL WETLANDS USING THE TECHNICAL CRITERIA IN THE CORES OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1, JANUARY 1987).

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, SURVEY DATA FOR MAP 199 LOT 4-1 IS BASED ON A FIELD SURVEY MADE BY THIS OFFICE IN AUGUST OF 2016, SAID SURVEY HAS A RELATIVE ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) OR BETTER. THE REMAINING BOUNDARY DATA IS BASED ON REFERENCE PLAN #2.

LICENSED LAND SURVEYOR

10/2/21
DATE



**AMENDED MASTER PLAN
DUMONT POINT**

MAP 199 LOT 4-1
1 DEREK WAY
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

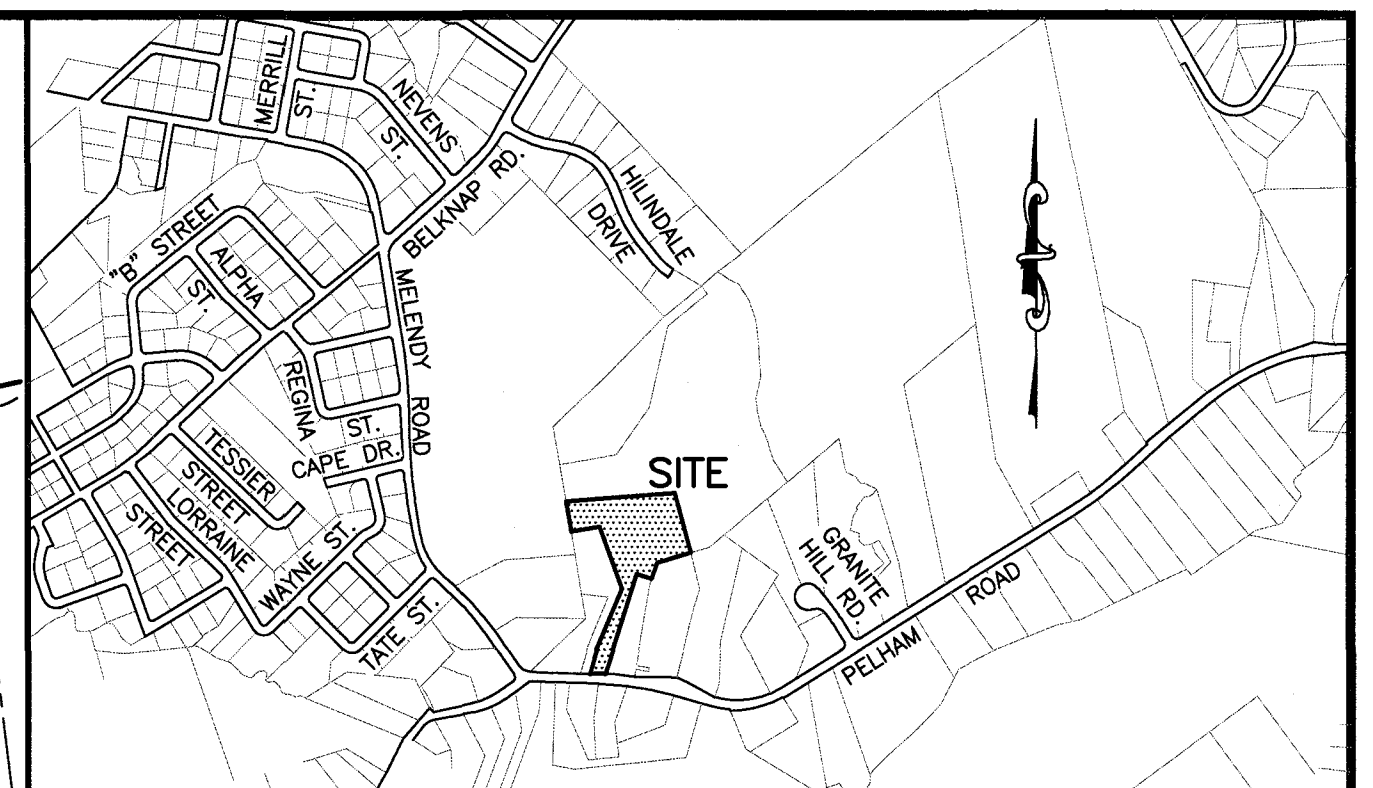
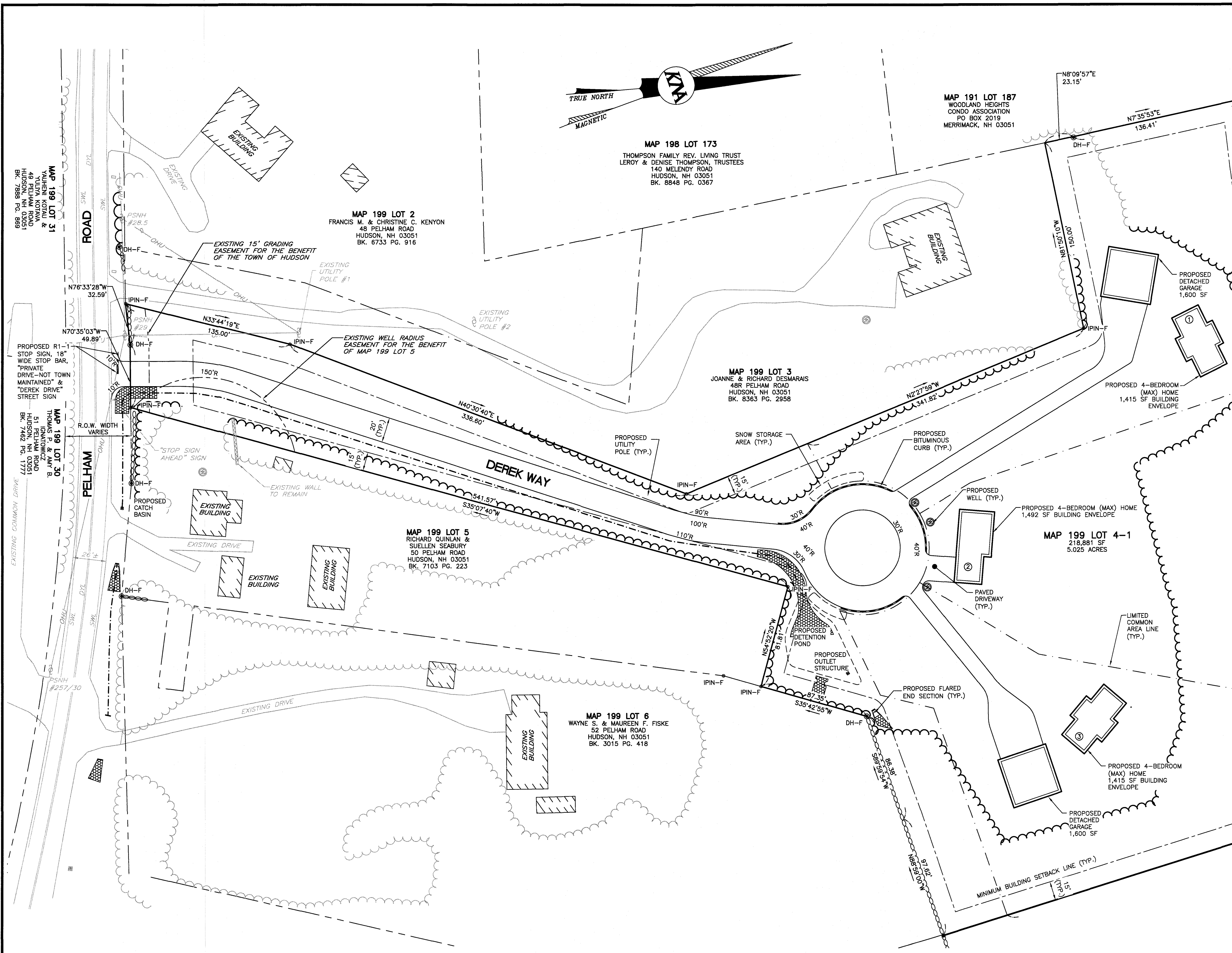
OWNER OF RECORD: DONALD R. DUMONT DUMONT MANAGEMENT TRUST 195R CENTRAL STREET HUDSON, NH 03051	APPLICANT: DONALD R. DUMONT DUMONT MANAGEMENT TRUST 195R CENTRAL STREET HUDSON, NH 03051
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KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: OCTOBER 7, 2021
PROJECT NO: 16-0801-1

SCALE: 1" = 80'
SHEET 1 OF 5



VICINITY PLAN
SCALE: 1" = 1,000'

SEE SHEET 1 FOR
REFERENCE PLANS & NOTES

LEGEND

- GB-F GRANITE BOUND FOUND
- IPIN-F IRON PIN FOUND
- ⊙ DH-F DRILL HOLE FOUND
- UTILITY POLE
- ⊕ SIGN
- ⊕ GAS VALVE
- WELL
- CATCH BASIN
- PROPOSED END SECTION
- ABUTTER LINE
- PROPERTY LINE
- WETLAND
- OVERHEAD UTILITIES
- TREELINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- STONEWALL
- BUILDING SETBACK
- EASEMENT
- PROPOSED EDGE OF PAVEMENT
- PROPOSED BITUMINOUS CURB
- PROPOSED DITCH



AMENDED RESIDENTIAL SITE PLAN
DUMONT POINT
MAP 199 LOT 4-1
1 DEREK WAY
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
DONALD R. DUMONT
DUMONT MANAGEMENT TRUST
195R CENTRAL STREET
HUDSON, NH 03051

APPLICANT:
DONALD R. DUMONT
DUMONT MANAGEMENT TRUST
195R CENTRAL STREET
HUDSON, NH 03051

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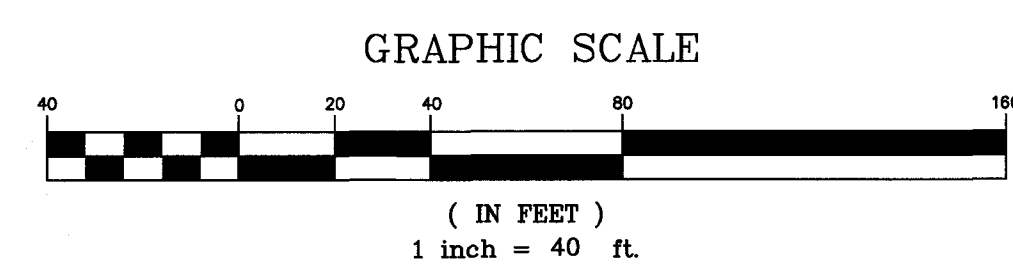
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

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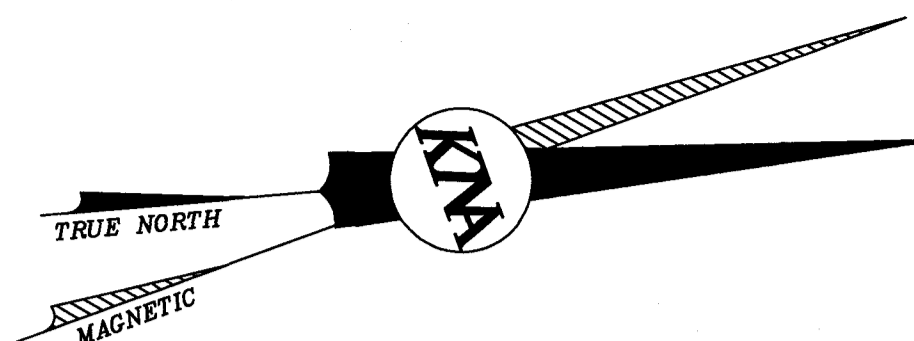
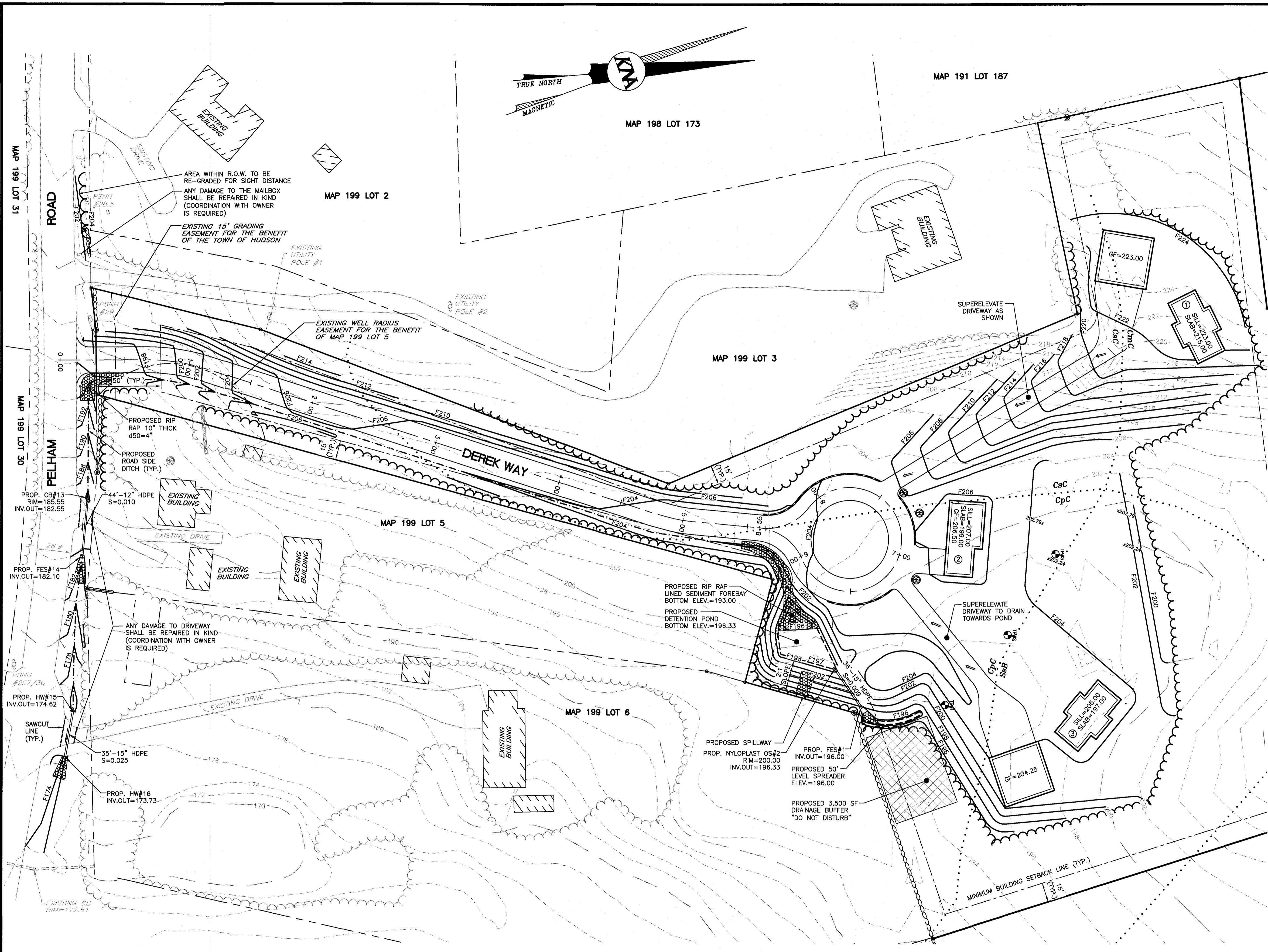
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REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: OCTOBER 7, 2021 SCALE: 1" = 40'
PROJECT NO: 16-0801-1 SHEET 2 OF 5



- CONSTRUCTION NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPARTMENT, HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHOWN SHALL BE HDPE. CATCH BASINS SHALL BE TYPE B, AND HAVE 3" Sumps UNLESS OTHERWISE NOTED.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
 4. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 5. SEE CONSTRUCTION DETAILS FOR SPECIFIC CONSTRUCTION INFORMATION.
 6. POSTED SPEED LIMIT ON PELHAM ROAD IS 30MPH.
 7. REFER TO OPERATION & MAINTENANCE MANUAL PROVIDED BY THE ENGINEER FOR PROPER MAINTENANCE OF STORMWATER PRACTICES.

LOAM & SEED ALL DISTURBED AREAS (TYP.)

- LEGEND**
- ▣ GB-F GRANITE BOUND FOUND
 - IPIN-F IRON PIN FOUND
 - DH-F DRILL HOLE FOUND
 - UTILITY POLE
 - SIGN
 - GAS VALVE
 - WELL
 - CATCH BASIN
 - PROPOSED END SECTION
 - ABUTTER LINE
 - PROPERTY LINE
 - WETLAND
 - DRAINAGE LINE
 - TREELINE
 - EDGE OF PAVEMENT
 - EDGE OF GRAVEL
 - 10' CONTOUR
 - 2' CONTOUR
 - STONEWALL
 - SCS SOIL LINE
 - BUILDING SETBACK
 - EASEMENT
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED BITUMINOUS CURB
 - PROPOSED DITCH
 - PROPOSED DRAINAGE LINE
 - PROPOSED 2' CONTOUR



AMENDED GRADING AND DRAINAGE PLAN
DUMONT POINT
 MAP 199 LOT 4-1
 1 DEREK WAY
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD:
 DONALD R. DUMONT
 DUMONT MANAGEMENT TRUST
 195R CENTRAL STREET
 HUDSON, NH 03051

APPLICANT:
 DONALD R. DUMONT
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REVISIONS			
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DATE: OCTOBER 7, 2021 SCALE: 1" = 40'
 PROJECT NO: 16-0801-1 SHEET 3 OF 5

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

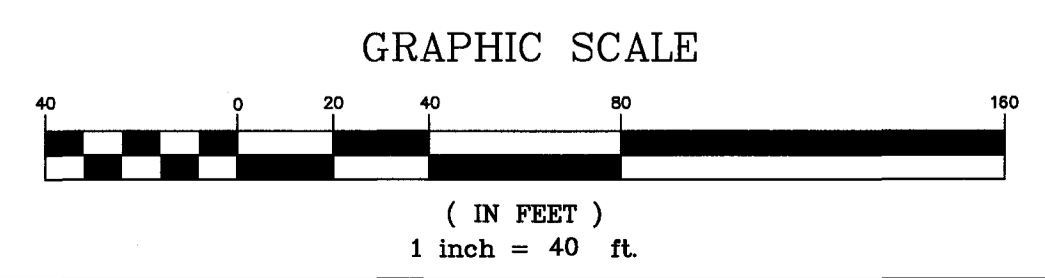
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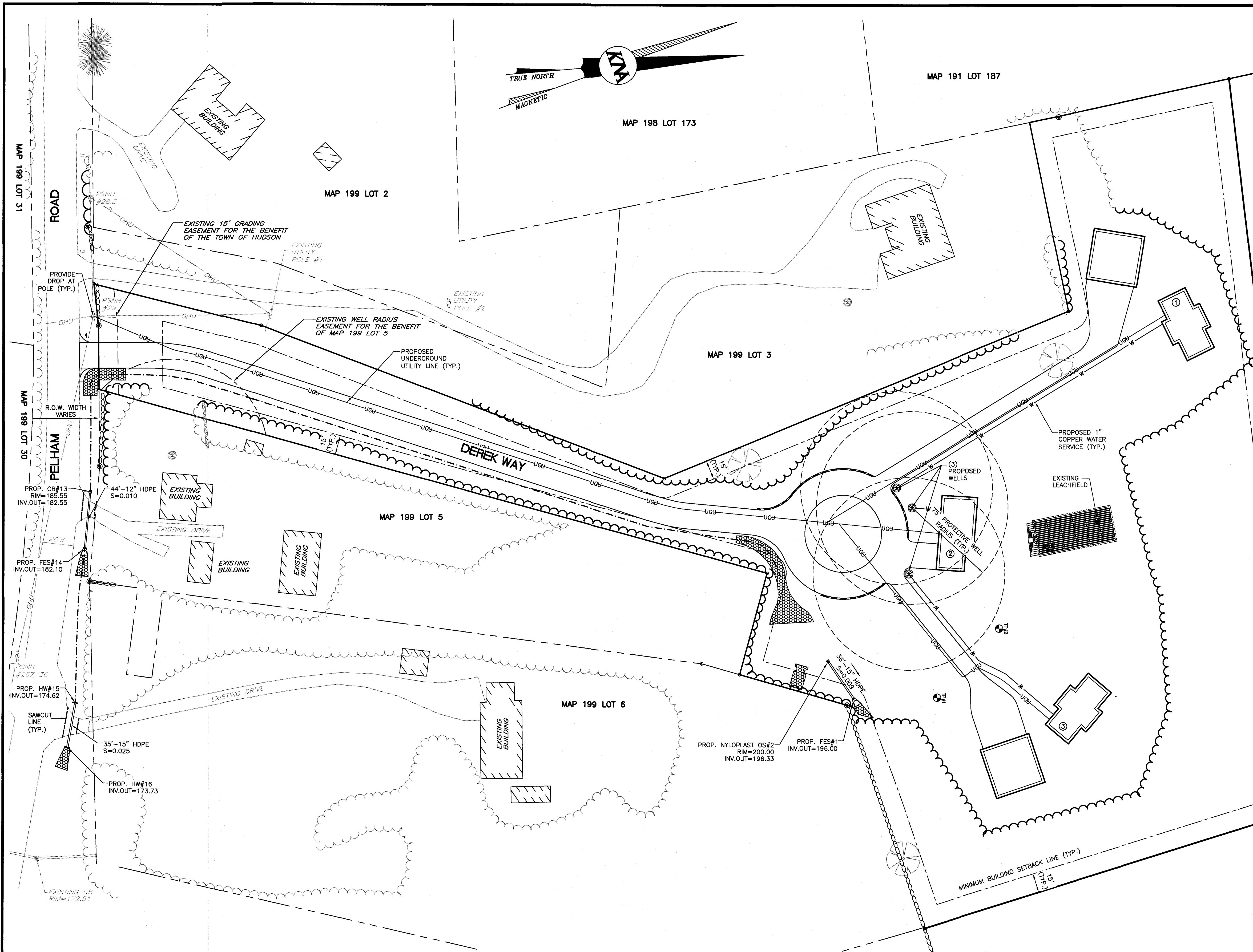
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- SCS SOILS LEGEND**
- BoA** BOROHEMIST, NEARLY LEVEL
 - CmB** CANTON STONY FINE SANDY LOAM; 3 TO 8% SLOPES
 - CmC** CANTON STONY FINE SANDY LOAM; 8 TO 15% SLOPES
 - CpC** CHATFIELD-HOLLIS-CANTON COMPLEX; 8 TO 15% SLOPES
 - CsC** CHATFIELD-HOLLIS COMPLEX; 8 TO 15% SLOPES
 - CLD** CHATFIELD-HOLLIS-ROCK OUTCROP COMPLEX; 15 TO 35% SLOPES
 - Sr** SCARBORO STONY MUCKY LOAMY SAND
 - SsB** SCITUATE FINE SANDY LOAM; 3 TO 8% SLOPES





CONSTRUCTION NOTES:

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3. FINAL LAYOUT AND DESIGN OF OVERHEAD UTILITY LINE SHALL BE SUPPLIED BY LOCAL UTILITY PROVIDER.

LEGEND

□ GB-F	GRANITE BOUND FOUND
● IPIN-F	IRON PIN FOUND
○ DH-F	DRILL HOLE FOUND
○	UTILITY POLE
+	SIGN
⊕	GAS VALVE
⊖	WELL
⊙	CATCH BASIN
⊚	PROPOSED END SECTION
---	ABUTTER LINE
---	PROPERTY LINE
---	OVERHEAD UTILITIES
---	DRAINAGE LINE
---	TREELINE
---	EDGE OF PAVEMENT
---	EDGE OF GRAVEL
---	STONEWALL
---	BUILDING SETBACK
---	EASEMENT
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED BITUMINOUS CURB
---	PROPOSED SWALE
---	PROPOSED UNDERGROUND UTILITIES
---	PROPOSED WATER LINE
---	PROPOSED SEPTIC LINE
---	PROPOSED DRAINAGE LINE



AMENDED UTILITY PLAN
DUMONT POINT
 MAP 199 LOT 4-1
 1 DEREK WAY
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD: DONALD R. DUMONT DUMONT MANAGEMENT TRUST 195R CENTRAL STREET HUDSON, NH 03051	APPLICANT: DONALD R. DUMONT DUMONT MANAGEMENT TRUST 195R CENTRAL STREET HUDSON, NH 03051
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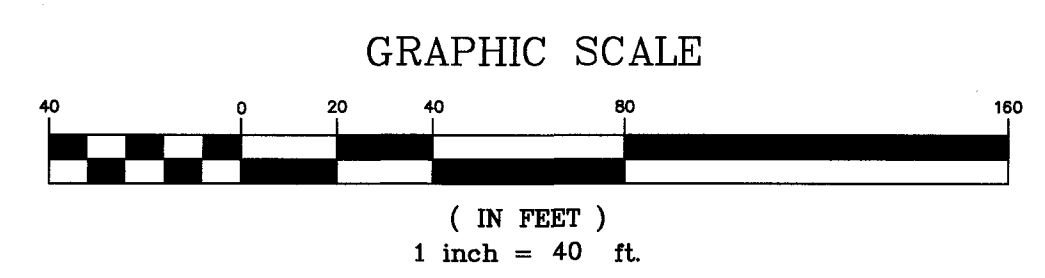
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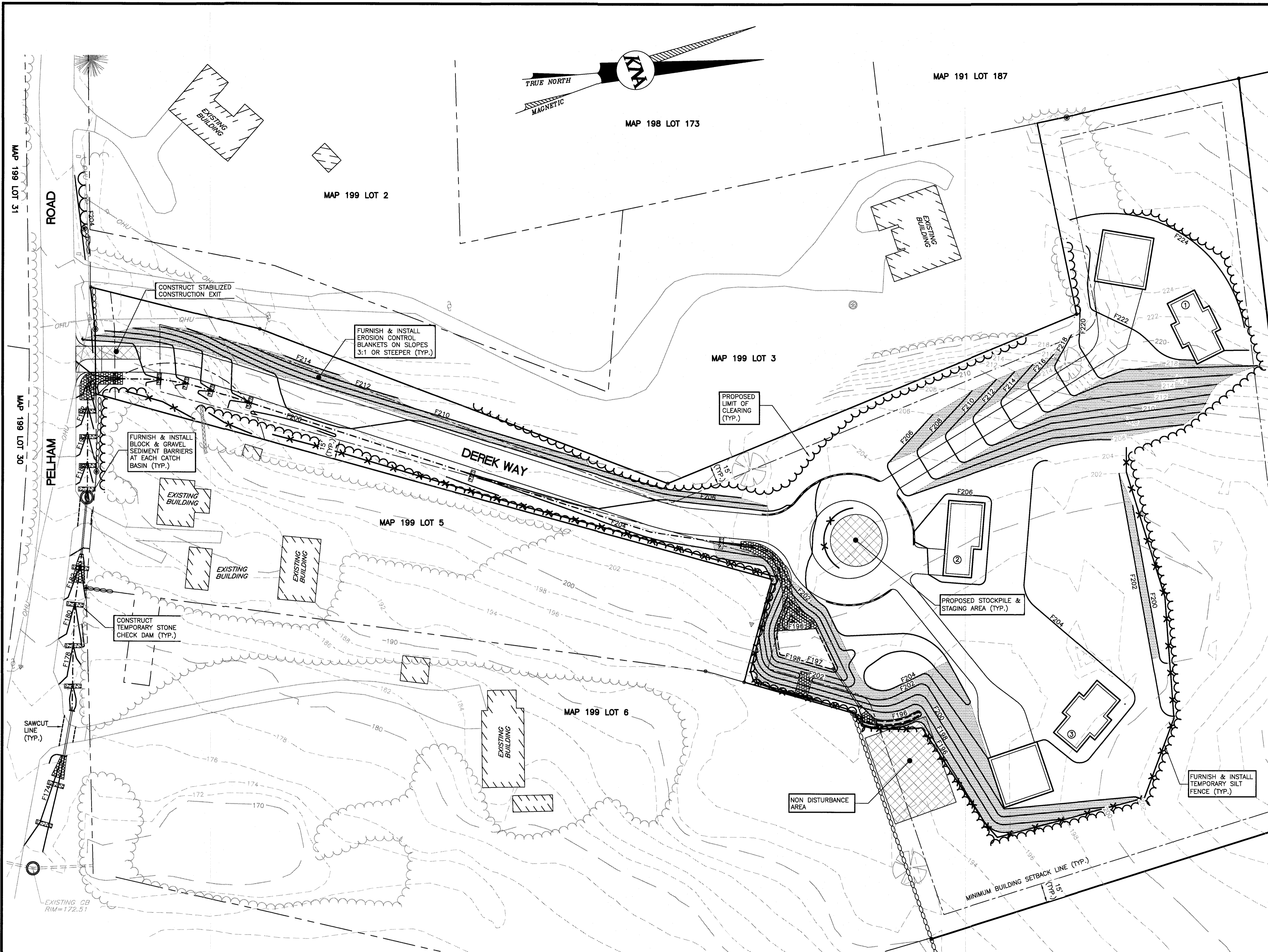
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- EROSION CONTROL NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES AS WELL AS THE PERMANENT EROSION CONTROL MEASURES.
 2. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" AS PUBLISHED AND AMENDED BY THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES.
 3. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
 4. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
 5. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
 6. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
 7. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
 8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
 9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
 10. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
 11. SNOW ACCUMULATED DURING WINTER CONSTRUCTION CONDITIONS SHOULD BE STORED IN THE STAGING AREA SURROUNDED BY SILT FENCE.
 12. ALL REMOVED STUMPS ARE TO BE GROUND AND EITHER TO BE USED AS EROSION CONTROL AND LEFT ON SITE OR TRANSPORTED OFF SITE FOR DISPOSAL.

LOAM & SEED ALL DISTURBED AREAS (TYP.)

EROSION & SEDIMENT CONTROL LEGEND

	PERMANENT OUTLET PROTECTION APRON (RIP RAP)
	TEMPORARY BLOCK AND GRAVEL SEDIMENT BARRIERS AT ALL CATCH BASINS
	TEMPORARY STONE CHECK DAM
	SILT FENCE
	LIMITS OF CLEARING
	STABILIZED CONSTRUCTION EXIT
	NON DISTURBANCE AREA
	STAGING AND STOCKPILE AREA
	EROSION CONTROL BLANKETS



AMENDED EROSION CONTROL PLAN
DUMONT POINT
 MAP 199 LOT 4-1
 1 DEREK WAY
 HUDSON, NEW HAMPSHIRE
 HILLSBOROUGH COUNTY

OWNER OF RECORD: DONALD R. DUMONT DUMONT MANAGEMENT TRUST 195R CENTRAL STREET HUDSON, NH 03051	APPLICANT: DONALD R. DUMONT DUMONT MANAGEMENT TRUST 195R CENTRAL STREET HUDSON, NH 03051
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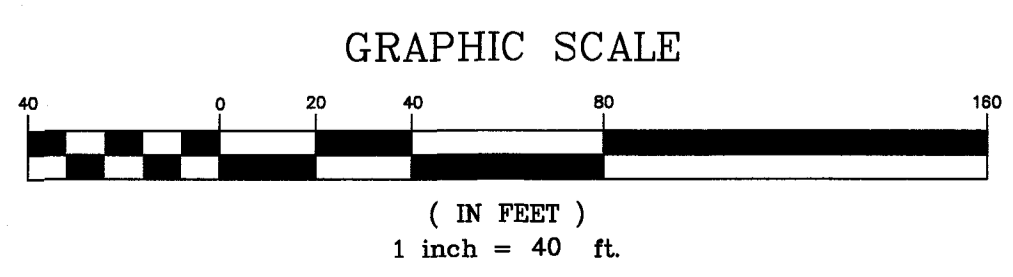
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