

BOBCAT OF NEW HAMPSHIRE

SITE PLAN APPLICATION # 11-21

CONDITIONAL USE PERMIT APPLICATION # 10-21

STAFF REPORT #3

December 8, 2021

(See Sep 22 & Oct 27 Staff Report for previous information)

SITE: 2 Rebel Road & 345 Derry Road; Map 101 Lot 018-000 & Map 101 Lot 019-000

ZONING: Business (B)

PURPOSE OF PLAN: To depict the proposed site work which includes paving and reconfiguration of the parking lot/access drives for Lot 101-18 and Lot 2-34A, as well as adding outdoor display and storage areas. Site Work for Lot 101-19 includes the construction of two building additions with associated site improvements and outdoor display areas.

PLAN UNDER REVIEW: Site Development Plans, Tax Map 101 Lot 18 & 19 / Tax Map 2 Lot 34A, Bobcat of New Hampshire, 2 Rebel Rd & 345 Derry Rd (Hudson, NH) 307 Nashua Rd (Londonderry, NH); prepared by TFM, 48 Constitution Drive, Bedford, NH 03110; prepared for owner/developer Mal-Mar, LLC, 9 Dover Rd, Chichester, NH 03258, and Bobcat of New Hampshire; consisting of 15 sheets with General Notes 1-15 on Sheet 2 (C-2) and Notes 1-30 on Sheet 5 (C-4); dated July 26, 2021 and last revised November 12, 2021.

ATTACHMENTS:

- A. Peer Review Comments (2nd Review), by Fuss & O'Neill, dated November 2, 2021
- B. The Applicant's Response to Peer Review Comments (2nd Review), by TF Moran, Inc., dated November 15, 2021
- C. CAP Fee Worksheet

APPLICATION TRACKING:

- August 31, 2021 – Application received.
- September 13, 2021 – Public hearing held by the Conservation Commission.
- September 22, 2021 – Public hearing held by the Planning Board, continued to 10/27/21
- October 20, 2021 - Revised plan set and review responses submitted.
- October 27, 2021 – Public hearing held by the Planning Board, continued to 11/17/21.
- November 17, 2021 – Public hearing held by the Planning Board, continued to 12/08/21.
- December 8, 2021 – Public hearing scheduled.

COMMENTS & RECOMMENDS:

Conditional Use Permit: The Conservation Commission issued its recommendation on Monday, September 13, 2021, which can be found in the previous staff report.

Staff verifies that the revised plan has incorporated all of the Commission’s recommendations to aide in storm water containment and treatment on site, including:

- Using a standard asphalt paving materials in the area where recycled asphalt is proposed in the previous plan to help reduce infiltration of contaminates through the more pores recycled asphalt material.
- Adding an additional storm water catch basin within the proposed storage area and/or proposed paved surface area to pretreat and convey storm water to the retention basin.
- Constructing an asphalt curbing along the south easterly portion of the storage area adjacent to the proposed retention basin to prevent storm water sheet flow off the property and into the nearby wetlands.
- Installing “No Cut/No Disturb” signage along the wetland buffer boundary.

Nevertheless, Staff recommends the Board include four of the Commission’s recommendations as conditions for CUP approval (see conditions #11-14 under Draft Motion to Approve).

Site Plan: The Applicant’s plan revision dated November 12, 2021, and follow-up response to peer review comments dated November 15, 2021 (see **Attachment B**) address all comments on the October 27, 2021 Staff Report #2 and Peer Review Comments from the 2nd Review (see **Attachment A**). Staff has identified the following remaining issues:

1. **Stormwater Facilities Specifications:** The final specifications of the stormwater retention pond drainage (required slope) and oil separator (exact model), as agreed between the Applicant and the Town Engineer, should be reflected on the final Plan. Staff suggests the Board add this task as a condition for Site Plan approval (see condition #5 under Draft Motion to Approve).
2. **Hours of Operations & Refuse Removal:** Staff suggests the Board ascertain the proposed business hours of operations and of refuse removal, and incorporate these hours as conditions for approval (see condition #10 & 11 under Draft Motion to Approve).

DRAFT MOTIONS:

CONTINUE the public hearing to a date certain:

I move to continue the public hearing for the conditional use permit and site plan for Bobcat of New Hampshire at 2 Rebel Road & 345 Derry Road; Map 101 Lot 18 & Map 101 Lot 19 to date certain, _____.

Motion by: _____ Second: _____ Carried/Failed: _____

APPROVE the conditional use permit and site plan application:

I move to approve the conditional use permit and site plan for Bobcat of New Hampshire at 2 Rebel Road & 345 Derry Road; Map 101 Lot 018-000 & Map 101 Lot 019-000, entitled: Site Development Plans, Tax Map 101 Lot 18 & 19 / Tax Map 2 Lot 34A, Bobcat of New Hampshire, 2 Rebel Rd & 345 Derry Rd (Hudson, NH) 307 Nashua Rd (Londonderry, NH); prepared by TFM, 48 Constitution Drive, Bedford, NH 03110; prepared for owner/developer Mal-Mar, LLC, 9 Dover Rd, Chichester, NH 03258, and Bobcat of New Hampshire; consisting of 15 sheets with General Notes 1-15 on Sheet 2 (C-2) and Notes 1-30 on Sheet 5 (C-4); dated July 26, 2021 and last revised November 12, 2021; subject to, and revised per, the following stipulations:

1. All stipulations of approval shall be incorporated into the Notice of Decision and the Development Agreement, which shall be recorded at the HCRD, together with the Plan.
2. All improvements shown on the Plan shall be completed in their entirety and at the expense of the applicant or the applicant's assigns.
3. A cost allocation procedure (CAP) amount of \$2,601.30 shall be paid prior to the issuance of a Certificate of Occupancy.
4. Prior to the issuance of a Certificate of Occupancy, an L.L.S. Certified "as-built" site plan shall be provided to the Planning Department, confirming that the site conforms to the Plan approved by the Planning Board.
5. The specifications of the stormwater retention pond drainage and oil separator, as agreed by the Town Engineer, will be reflected on the final Plan.
6. Prior to the Planning Board endorsement of the Plan, it shall be subject to final administrative review by Town Planner and Town Engineer.
7. The applicant shall schedule a pre-construction meeting with the Town Engineer prior to applying for a building permit.
8. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M. No exterior construction activities shall be allowed on Sundays.
9. Blasting or ramming activities shall be limited to the hours between 9:00 A.M and 5:00 P.M, Monday through Friday. Blasting activities are prohibited on Saturday and Sunday.
10. Hours of refuse removal shall be exclusive to the hours between 7:00 A.M. and 9:00 P.M., Monday through Saturday only. This condition shall also be noted on the final Plan.

Conditions Recommended by the Conservation Commission

11. Construction and restoration shall comply with Best Management Practices set forth in *New Hampshire Storm Water Manual Volume 3: Erosion and Sediment Control*.
12. During construction and restoration erosion control barriers shall be installed and maintained to the satisfaction of the Town Engineer.
13. The Town Engineer or his representative shall be allowed to inspect the boundaries of the wetland and wetland buffer areas during construction and report any finding to the applicant and the Conservation Commission for remediation.
14. “No Cut/No Disturb” signage shall be installed along the wetland buffer boundary prior to issuing Certificates of Occupancy per Hudson Zoning Ordinance, Article IX §334-35 (E.).

Motion by: _____ Second: _____ Carried/Failed: _____



November 2, 2021

Mr. Brian Groth
Town Planner
Town of Hudson
12 School Street
Hudson, NH 03051

Re: Town of Hudson Planning Board Review
Bobcat of NH's Site Plan, 2 Rebel Road & 345 Derry Road
Tax Map 101 Lot 18 & 19; Acct. #1350-977
Reference No. 20030249.2080

Dear Mr. Groth:

Fuss & O'Neill (F&O) has reviewed the second submission of the materials received on October 6, 2021, related to the above-referenced project. A list of items reviewed is enclosed. The scope of our review is based on the Site Plan Review Codes, Stormwater Codes, Driveway Review Codes, Sewer Use Ordinance 77, Zoning Regulations, and criteria outlined in the CLD Consulting Engineers Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007, September 3, 2008, and October 2015.

The project appears to consist of the development of a construction equipment dealership on the previously developed sites. Proposed improvements to the site also include the construction of an 1,885 square foot addition, driveway construction, parking areas, drainage improvements, landscaping, lighting, and other associated site improvements. The proposed buildings will continue to be serviced by private on-site water and subsurface disposal areas.

It is noted that two of the three subject parcels are located in the Town of Hudson and the other one (Map 2, Lot 34A) is located in the Town of Londonderry. The following review comments are for proposed site improvements within the lots that are within the Town of Hudson, unless those improvements extend across the lot line into lot 34A or those elements are otherwise required for a full site plan review. Any improvements solely within the Londonderry lot were not reviewed by Fuss & O'Neill.

The following items have outstanding issues:

5. Utility Design/Conflicts

- b. *Former Fuss & O'Neill Comment: HR 276-13. The applicant has not shown the locations of the existing leach fields for both sites. We do note that there are some sewer manholes shown on lot 19 but no connections are shown to those manholes.*

Current Fuss & O'Neill Comment: The applicant has shown the locations of the existing septic areas on the plans. It does not appear that any proposed construction will impact these leach fields, but the applicant should ensure that they are protected during construction operations. We do note that a wheel stop is now proposed to be installed directly over one of the lot 19 sewer manhole covers.

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- d. *Former Fuss & O'Neill Comment: HR 276-13. The applicant had not shown any existing electrical or communication utility connections to the existing buildings.*
Current Fuss & O'Neill Comment: The applicant has noted that all electrical or communications utilities are underground and could not be located by DigSafe, the project does not propose any changes to these utilities, and existing utilities shown were compiled from reference plans and are approximate. The applicant should note that the Contractor shall use extreme care when constructing any below grade portions of the building expansion, sign posts, bollards, etc. to prevent accidental damage to these utilities.
- e. **New Fuss & O'Neill Comment:** The applicant has relocated the oil and diesel storage tanks along the north side of the building at lot 19. We note that these tanks are approximately 15 feet from the well that appears to be the source of domestic water for this building. The applicant should review NHDES Administrative Rule Env-Wq 401 Section 401.04(h)(4) which prohibits regulated containers in outdoor storage areas from being located within 75 feet of a private well. We believe this regulation applies to this location and the containment tanks need to be relocated.

6. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- l. *Former Fuss & O'Neill Comment: ETGTD 930.3. The Outlet Structure Detail on Plan Sheet C-11 illustrates a 3'x4' galvanized top grate, while the Stormwater Report for Pond 201P illustrates a 30"x42". The applicant should correct this discrepancy.*
Current Fuss & O'Neill Comment: The applicant has revised the Stormwater Report and pond 201P to a 3'x4' grate size. The applicant should provide revised stormwater calculations illustrating the revised grate sizing.
- m. *Former Fuss & O'Neill Comment: ETGTD 930.4. We note that the two proposed stormwater pipes utilize a pipe slope less than the required 2.0%. The applicant should illustrate how the drain line velocities are self-cleaning.*
Current Fuss & O'Neill Comment: The applicant has revised the pipe slopes to 2.0%. The applicant should provide revised stormwater calculations illustrating the revised pipe slopes.

9. Landscaping (HR 275-8.C.(7) & 276-11.1.B.(20)) and Lighting (HR 276-11.1.B.(14))

- a. *Former Fuss & O'Neill Comment: HR 275-8.C.(7). The applicant has provided the parking lot landscaping calculations on the plan set and noted that waivers are needed for the requirements. A waiver request form was included in the Site Plan Application documents, where the applicant is requesting waivers from Sections 275-8.C.(7)(a), (c) and (d).*
Current Fuss & O'Neill Comment: The applicant has noted that the Hudson Planning Board approved this waiver on September 22, 2021. The applicant should note the Regulation section for which waivers have been approved on the plans.

10. State and Local Permits (HR 275-9.G.)

- d. *Former Fuss & O'Neill Comment: The applicant should confirm if a permit is required for the fuel/oil storage tanks proposed for lot 19 and provide a detail on the plans for the spill containment slab.*
Current Fuss & O'Neill Comment: The applicant has noted that registration of the above ground storage tanks is not required by the NHDES for tanks with a storage capacity less than 1,320 gallons. Although the plan does not specifically note the size of

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November 2, 2021
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the proposed tanks, the applicant has provided a detail for containment vessels for 550-gallon tanks. The applicant should confirm the proposed tank sizes.

11. Other

- a. *Former Fuss & O'Neill Comment: The applicant should review the Professional Engineer Stamp location on many of the plan sheets. They appear to overwrite text making it illegible.*
Current Fuss & O'Neill Comment: The applicant has revised the stamp location on some drawings. We note that the Landscape Plan and Lighting Plan both still have stamp/note conflicts.

The following items require Town evaluation or input:

1. Site Plan Review Codes (HR 275)

- a. *Former Fuss & O'Neill Comment: Hudson Regulation (HR) 275-6.C. The applicant has not proposed a sidewalk along Derry Road or Rebel Road.*
Current Fuss & O'Neill Comment: The applicant has noted that there are no existing sidewalks along Derry Road or Rebel Road and the proposal is consistent with the surrounding properties and area. The Town should confirm that a sidewalk is not required at this location.

2. Administrative Review Codes (HR 276)

- b. *Former Fuss & O'Neill Comment: HR 276-11.1.B.(6). The owner's signature should be provided on the plan set.*
Current Fuss & O'Neill Comment: The applicant has noted that the owner's signature is provided on the Cover Sheet and Site Layout Plan Sheet. This signature is not on the plans received for review. The applicant should provide the owner's signature on the final plan set to the Town prior to Planning Board approval.

6. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- b. *Former Fuss & O'Neill Comment: HR 290-5.A.10. The design currently calls for grading for the creation of the proposed infiltration pond, resulting in detention occurring within the 50' wetland buffer, as well as outlet structure OS-1 being located within the 50' wetland buffer. Per section 334-35 of the Zoning Ordinance, this buffer is located within the Wetlands Conservation Overlay District. The applicant should coordinate with the Conservation Commission as well as the PB to ensure the proposed grading, stormwater detention, and installation of the outlet structure meets Town Standards within the 50' wetland buffer as currently proposed.*
Current Fuss & O'Neill Comment: The applicant has noted that they are coordinating with the Conservation Commission and the Planning Board to ensure the infiltration pond meets Town Standards. The applicant should ensure comments from the Town related to stormwater pollutants and materials storage should be addressed to the Town's satisfaction.
- g. *Former Fuss & O'Neill Comment: HR 290-7.A.(7). The applicant should keep the Town informed of all communication with the Town of Londonderry in relation to the required concurrent Londonderry Site Plan Approval also required to ensure Towns comments do not alter drainage design/ calculations.*
Current Fuss & O'Neill Comment: The applicant has noted that the Town of Hudson

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will be informed of all Town of Londonderry communications. This comment should remain open until such time as the Town of Londonderry approves the site plan and no further revisions are required due to their comments/approval conditions that would impact the stormwater features and design within the Town of Hudson portion of the project.

7. Zoning (ZO 334)

- c. *Former Fuss & O'Neill Comment: ZO 334-33. The applicant has shown wetlands on the plan set. The applicant has provided a Conditional Use Permit application for the Wetlands buffer, which details impacts to the wetland buffer in the south corner of lot 18. There are also impacts proposed for the wetlands buffer in the east corner of lot 19, however these impacts (installation of an 8'x40' storage unit and additional paving) are located in a previously paved/impacted area of the buffer.*

Current Fuss & O'Neill Comment: We note that the applicant has removed the proposed storage unit and widened pavement section in lot 19 that was located in the wetlands buffer. The remainder of proposed impacts to wetlands buffers remain on the plans for Conditional Use Permit consideration.

10. State and Local Permits (HR 275-9.G.)

- b. *Former Fuss & O'Neill Comment: HR 275-9.G. The applicant did not provide copies of any applicable Town, State or Federal approvals or permits in the review package.*

Current Fuss & O'Neill Comment: The applicant has noted that permits and approvals are pending, and once obtained will be submitted. Copies of those permits should be provided to the Town for their records. No further Fuss & O'Neill comment.

The following items are resolved or have no further Fuss & O'Neill input:

1. Site Plan Review Codes (HR 275)

- b. *Former Fuss & O'Neill Comment: HR 275-6.I. The scope of this review does not include the adequacy of any fire protection provisions for the buildings. No fire service connections to the buildings are shown.*

Current Fuss & O'Neill Comment: The applicant has noted that this will be reviewed by the Hudson Building Department as part of the Building Permit process. No further Fuss & O'Neill comment.

- c. *Former Fuss & O'Neill Comment: HR 275-8.C.(2) and Zoning Ordinance (ZO) 334-15.A. The applicant has provided parking calculations on the plan set. We note that the building square footages do not match the areas used in the parking calculations. The applicant should clarify the areas. The applicant has noted that 13 parking are required and that 19 spaces are provided.*

Current Fuss & O'Neill Comment: The applicant has revised the parking calculations. We note that the number of proposed parking spaces has been reduced to 16, but this still exceeds the minimum number required. No further Fuss & O'Neill comment.

- d. *Former Fuss & O'Neill Comment: HR 275-8.C.(6). The applicant has not provided any off-street loading spaces on the plan set.*

Current Fuss & O'Neill Comment: The applicant has provided a loading space on the revised plans. No further Fuss & O'Neill comment.

- e. *Former Fuss & O'Neill Comment: HR 275-9.C.(11). The applicant has provided one handicap space for the site which meets the one space required. We recommend that the applicant add spot grades to the*

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parking lot and sidewalk area to ensure that it is constructed as intended and the handicap space meets ADA requirement.

Current Fuss & O'Neill Comment: The applicant has added spot grades to the handicap parking space. No further Fuss & O'Neill comment.

- f. *Former Fuss & O'Neill Comment: HR 275-9.F. The applicant did not provide copies of any easements or deeds as part of the package received for review. The applicant has shown an existing slope and drainage easement along Nashua Road on the lot 34A portion of the project. The applicant should note whether this easement extends into the Hudson lots.*

Current Fuss & O'Neill Comment: The applicant has clarified and extended the slope and drainage easement into the Hudson portion of the project. We note that a copy of the easement was not provided, but there are no improvements are proposed for this easement area. No further Fuss & O'Neill comment.

2. Administrative Review Codes (HR 276)

- a. *Former Fuss & O'Neill Comment: HR 276-11.1.B.(4).(b). The applicant should add the Town of Hudson approval block to each sheet of the plan set.*

Current Fuss & O'Neill Comment: The applicant has added the approval block to all plan sheets. No further Fuss & O'Neill comment.

- c. *Former Fuss & O'Neill Comment: HR 276-11.1.B.(13). The applicant has not included details for any proposed site signage other than traffic signs. The applicant has included a note stating that, "All signs are subject to approval by the Hudson Planning Board prior to installation." We note that an existing sign is shown along Nashua Road within lot 34A.*

Current Fuss & O'Neill Comment: The applicant has added proposed site signage details to the plans. The applicant has noted that the sign located along Rebel Road in lot 19 is to remain, and the applicant has noted that the existing sign within lot 34A is to be replaced. No further Fuss & O'Neill comment.

- d. *Former Fuss & O'Neill Comment: HR 276-11.1.B.(16). The applicant has not provided the locations of all driveways and travel ways within 200 feet of the site.*

Current Fuss & O'Neill Comment: The applicant has added driveways and travel ways within 200 feet of the site to the plans. No further Fuss & O'Neill comment.

- e. *Former Fuss & O'Neill Comment: HR 276-11.1.B.(23). The applicant has not noted any pertinent highway projects on the plan set.*

Current Fuss & O'Neill Comment: The applicant has noted that this project does not affect or involve any highway projects, and there are no proposed Right-of-Ways or changes to the existing highway boundary. No further Fuss & O'Neill comment.

- f. *Former Fuss & O'Neill Comment: HR 276-11.1.B.(24). The applicant has shown the required open space percentage on the plan set but has not provide a calculation showing the actual open space provided.*

Current Fuss & O'Neill Comment: The applicant has shown the proposed open space percentage on the plans. No further Fuss & O'Neill comment.

3. Driveway Review Codes (HR 275-8.B.(34)/Chapter 193)

- a. *Former Fuss & O'Neill Comment: HR 193. The applicant has proposed to keep the existing driveway locations and connect the lots with an internal driveway connection. No new driveways are proposed.*

- b. *Former Fuss & O'Neill Comment: HR 193.10.E. The applicant has not provided any sight distances for the existing driveway locations on the plan set.*

Current Fuss & O'Neill Comment: The applicant has noted the all season safe sight

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distance for the Rebel Road driveway on the plans. No further Fuss & O'Neill comment.

4. Traffic

- a. *Former Fuss & O'Neill Comment: HR 275-9.B. The applicant has provided a Traffic Memorandum dated August 12, 2021, as part of their review package. We note that with this memorandum the trip generation calculations don't appear to account for the return of delivery vehicles and/or rental equipment (i.e. no 'in' deliveries are noted, just 'out').*
Current Fuss & O'Neill Comment: The applicant has noted that the business closes at 4:30 PM and it is therefore assumed that "in" deliveries do not occur during the PM peak. Fuss & O'Neill concurs with this assumption. No further Fuss & O'Neill comment.
- b. *Former Fuss & O'Neill Comment: HR 275-9.B. Fuss & O'Neill concurs with the overall conclusion in the Traffic Memorandum that impacts associated with traffic from this project will be negligible, with traffic from the existing Bobcat facility on the other side of NH102 already present on local roads.*

5. Utility Design/Conflicts

- a. *Former Fuss & O'Neill Comment: HR 276-13. The applicant has shown the locations of the existing wells on the plan set. The applicant should note if there is an existing well radius easement for lot 19 since the well is located close to the property line of lot 18.*
Current Fuss & O'Neill Comment: The applicant has noted that there is no known well radius easement for these lots. No further Fuss & O'Neill comment.
- c. *Former Fuss & O'Neill Comment: HR 276-13. The applicant has noted in their application cover letter that they intend to keep both lots septic systems. The applicant also provided anticipated flows which they believe the existing systems have adequate capacity to treat, although the south lot (#19) leaching field is noted to have an unknown capacity. We recommend that the applicant perform further evaluation to confirm that the south lot system will be able to treat the anticipated flows for that lot.*
Current Fuss & O'Neill Comment: The applicant has provided calculations which demonstrate that the existing leaching field for lot #19 is adequately sized for the anticipated design flows for this site, with that size based on record plans for the lot. No further Fuss & O'Neill comment.

6. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- a. *Former Fuss & O'Neill Comment: HR 275-9.A.(3). The applicant should illustrate the location of the test pits on the plan set.*
Current Fuss & O'Neill Comment: The applicant has illustrated the test pit locations on the plans. No further Fuss & O'Neill comment.
- c. *Former Fuss & O'Neill Comment: HR 290-6.A.(5). The applicant should show the location of the proposed construction entrance(s) to the plan set.*
Current Fuss & O'Neill Comment: The applicant has shown the proposed construction entrance on the plan set. No further Fuss & O'Neill comment.
- d. *Former Fuss & O'Neill Comment: HR 290-6.A.(8). The applicant should add a note of the requirement to coordinate a pre-construction meeting with the Town Engineer.*
Current Fuss & O'Neill Comment: The applicant has added this note. No further Fuss & O'Neill comment.

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- e. *Former Fuss & O'Neill Comment: HR 290-6.A.(9) The applicant should revise Note #5 on Plan Sheet C-7 to state the "temporary stabilization within 5 days of initial disturbance".*
Current Fuss & O'Neill Comment: The applicant has revised the note as suggested. No further Fuss & O'Neill comment.
- f. *Former Fuss & O'Neill Comment: HR 290-7.A.(6). The applicant should provide information as to how the stormwater system is designed to account for frozen ground conditions.*
Current Fuss & O'Neill Comment: The applicant has added a wick drain with underdrain to ensure infiltration through the stone during frozen ground conditions. No further Fuss & O'Neill comment.
- h. *Former Fuss & O'Neill Comment: HR 290-7.B.(16). The applicant should label snow storage areas upon the plan set.*
Current Fuss & O'Neill Comment: The applicant has labeled these areas on the plans. No further Fuss & O'Neill comment.
- i. *Former Fuss & O'Neill Comment: Engineering Technical Guideline & Typical Details (ETGTD) ETGTD 920.2. The applicant should illustrate the proposed locations for the dandy bags upon the plan set.*
Current Fuss & O'Neill Comment: The applicant has shown the proposed inlet protection on the plans. No further Fuss & O'Neill comment.
- j. *Former Fuss & O'Neill Comment: ETGTD 920.2. The applicant should coordinate the rip rap calculations with the details illustrated on plan sheet C-10.*
Current Fuss & O'Neill Comment: The applicant has revised the plans to match the drainage calculations. No further Fuss & O'Neill comment.
- k. *Former Fuss & O'Neill Comment: ETGTD 920.4.2. The applicant should show equipment storage locations on the plan set.*
Current Fuss & O'Neill Comment: The applicant has added equipment storage locations to the plans. No further Fuss & O'Neill comment.
- n. *Former Fuss & O'Neill Comment: The applicant will be required to comply with all provisions of the Town of Hudson's MS4 permit, including but not limited to annual reporting requirements, construction site stormwater runoff control, and record keeping requirements.*
Current Fuss & O'Neill Comment: The applicant has added a note to the Stormwater Management Plan regarding compliance with all provisions of the Town of Hudson's MS4 permit. No further Fuss & O'Neill comment.
- o. *Former Fuss & O'Neill Comment: Please note that this review was carried out in accordance with applicable regulations and standards in place in New Hampshire at this time. Note that conditions at the site, including average weather conditions, patterns and trends, and design storm characteristics, may change in the future. In addition, future changes in federal, state, or local laws, rules, or regulations, or in generally accepted scientific or industry information concerning environmental, atmospheric, and geotechnical conditions and developments may affect the information and conclusions set forth in this review. In no way shall Fuss & O'Neill be liable for any of these changed conditions that may impact the review, regardless of the source of or reason for such changed conditions. Other than as described herein, no other investigation or analysis has been requested by the Client or performed by Fuss & O'Neill in preparing this review.*

7. Zoning (ZO 334)

- a. *Former Fuss & O'Neill Comment: ZO 334-14.A. The applicant has not provided the proposed building addition heights on the plan set.*
Current Fuss & O'Neill Comment: The applicant has noted the building height on the plans and provided proposed architectural elevations for the building. No further Fuss &

Mr. Brian Groth
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O'Neill comment.

- b. *Former Fuss & O'Neill Comment: ZO 334-17 & 334-21. The applicant has noted that the subject parcel is located within the Business (B) zoning district. The proposed use is permitted by the Ordinance within the Business district.*
- d. *Former Fuss & O'Neill Comment: ZO 334-60. The applicant has not provided any information for any proposed signs within the Hudson lots, except traffic and parking signage.*
Current Fuss & O'Neill Comment: The applicant has noted that the existing sign along Rebel Road is to remain. No further Fuss & O'Neill comment.
- e. *Former Fuss & O'Neill Comment: ZO 334-83 and HR 218-4.E. The applicant has noted that the site is not located within a designated flood hazard area.*

8. Erosion Control/Wetland Impacts

- a. *Former Fuss & O'Neill Comment: The Town of Hudson should reserve the right to require any additional erosion control measures as needed.*

9. Landscaping (HR 275-8.C.(7) & 276-11.1.B.(20)) and Lighting (HR 276-11.1.B.(14))

- b. *Former Fuss & O'Neill Comment: HR 275-8.C.(8). The applicant has noted they will keep existing vegetation for screening of uses to the east of the site.*
- c. *Former Fuss & O'Neill Comment: HR 276-11.1.B.(14). The applicant has shown lighting fixture locations on the plans with details and photometric information for lot 18. We note that no new lighting is proposed for lot 19.*
- d. *Former Fuss & O'Neill Comment: HR 276-11.1.B.(14). The applicant should provide the hours of operation for the facility and note whether the lights are intended to be in operation during non-working hours.*

Current Fuss & O'Neill Comment: The applicant has noted on the plans that the lights are intended to be used during non-working hours for security levels and will be dimmed. The hours of operation for the site are also noted on the plans. No further Fuss & O'Neill comment.

10. State and Local Permits (HR 275-9.G.)

- a. *Former Fuss & O'Neill Comment: HR 275-9.G. The applicant has listed the required permits on the plan set. We note that the applicant should show the status of those permits.*
Current Fuss & O'Neill Comment: The applicant has added the status of required permits to the plans. No further Fuss & O'Neill comment.
- c. *Former Fuss & O'Neill Comment: Additional local and state permitting may be required.*


11. Other

- a. *Former Fuss & O'Neill Comment: The applicant should review the need for an enclosure around the dumpster at lot 19.*
Current Fuss & O'Neill Comment: The applicant has added a dumpster enclosure and detail to the plan set. No further Fuss & O'Neill comment.

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Please feel free to call if you have any questions.

Very truly yours,


Steven W. Reichert, P.E.

Steven W. Reichert, PE
Digitally signed by Steven W. Reichert,
PE,
DN: cn=Steven W. Reichert, PE, c=US,
o=Fuss & O'Neill, Inc., ou=Fuss &
O'Neill, Inc.,
email=sreichert@fando.com
Date: 2021.11.02 13:15:07 -0400

SWR:

Enclosure

cc: Town of Hudson Engineering Division – File
TFM - jhill@tfmoran.com



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

November 15, 2021

Ref: 17851.08

Steven W. Reichert, P.E.
Fuss & O'Neill
50 Commercial Street #2S
Manchester, NH 03101
(603) 668-8223

Re: Town of Hudson Planning Board Review
Bobcat of NH's Site Plan, 2 Rebel Road & 345 Derry Road
Tax Map 101 Lot 18 & 19

Dear Mr. Reichert,

On behalf of our client, Bobcat of New Hampshire, TFMoran, Inc. is pleased to provide the enclosed revised plans for the proposed improvements associated with the Site Plans located at 2 Rebel Road and 345 Derry Road in Hudson, NH. These plans have been revised based on comments from the Fuss & O'Neill review dated 11/2/21.

We have provided responses to each of the comments from this letter relative to the Site Plan in underline below.

5. Utility Design/Conflicts

b. *Former Fuss & O'Neill Comment:* HR 276-13. *The applicant has not shown the locations of the existing leach fields for both sites. We do note that there are some sewer manholes shown on lot 19 but no connections are shown to those manholes.*

Current Fuss & O'Neill Comment: The applicant has shown the locations of the existing septic areas on the plans. It does not appear that any proposed construction will impact these leach fields, but the applicant should ensure that they are protected during construction operations. We do note that a wheel stop is now proposed to be installed directly over one of the lot 19 sewer manhole covers.

TFM has revised the wheelstop location to avoid conflict w/ SMH cover. TFM has added a note to the plans regarding location and protection of the system during construction.

d. *Former Fuss & O'Neill Comment:* HR 276-13. *The applicant had not shown any existing electrical or communication utility connections to the existing buildings.*

Current Fuss & O'Neill Comment: The applicant has noted that all electrical or communications utilities are underground and could not be located by DigSafe, the project does not propose any changes to these utilities, and existing utilities shown were compiled from reference plans and are approximate. The applicant should note that the Contractor shall use extreme care when constructing any below grade portions of the building expansion, sign posts, bollards, etc. to prevent accidental damage to these utilities.

TFM has updated the plans to incorporate the above notation.

Steven W. Reichert, P.E.

Ref: 17851.08

Page 2

e. **New Fuss & O'Neill Comment:** The applicant has relocated the oil and diesel storage tanks along the north side of the building at lot 19. We note that these tanks are approximately 15 feet from the well that appears to be the source of domestic water for this building. The applicant should review NHDES Administrative Rule Env-Wq 401 Section 401.04(h)(4) which prohibits regulated containers in outdoor storage areas from being located within 75 feet of a private well. We believe this regulation applies to this location and the containment tanks need to be relocated.

TFM has revised the tank location to outside of the 75 foot buffer to the private well.

6. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

l. *Former Fuss & O'Neill Comment:* ETGTD 930.3. The Outlet Structure Detail on Plan Sheet C-11 illustrates a 3'x4' galvanized top grate, while the Stormwater Report for Pond 201P illustrates a 30"x42". The applicant should correct this discrepancy.

Current Fuss & O'Neill Comment: The applicant has revised the Stormwater Report and pond 201P to a 3'x4' grate size. The applicant should provide revised stormwater calculations illustrating the revised grate sizing.

TFM has enclosed the updated stormwater calculations.

m. *Former Fuss & O'Neill Comment:* ETGTD 930.4. We note that the two proposed stormwater pipes utilize a pipe slope less than the required 2.0%. The applicant should illustrate how the drain line velocities are self-cleaning.

Current Fuss & O'Neill Comment: The applicant has revised the pipe slopes to 2.0%. The applicant should provide revised stormwater calculations illustrating the revised pipe slopes.

TFM has enclosed the updated stormwater calculations.

9. Landscaping (HR 275-8.C.(7) & 276-11.1.B.(20)) and Lighting (HR 276-11.1.B.(14))

a. *Former Fuss & O'Neill Comment:* HR 275-8.C.(7). The applicant has provided the parking lot landscaping calculations on the plan set and noted that waivers are needed for the requirements. A waiver request form was included in the Site Plan Application documents, where the applicant is requesting waivers from Sections 275-8.C.(7)(a), (c) and (d).

Current Fuss & O'Neill Comment: The applicant has noted that the Hudson Planning Board approved this waiver on September 22, 2021. The applicant should note the Regulation section for which waivers have been approved on the plans.

TFM has updated the cover sheet to include this waiver request and relevant section.

10. State and Local Permits (HR 275-9.G.)

d. *Former Fuss & O'Neill Comment:* The applicant should confirm if a permit is required for the fuel/oil storage tanks proposed for lot 19 and provide a detail on the plans for the spill containment slab.

Current Fuss & O'Neill Comment: The applicant has noted that registration of the above ground storage tanks is not required by the NHDES for tanks with a storage capacity less than 1,320 gallons. Although the plan does not specifically note the size of the proposed tanks, the applicant has provided a detail for containment vessels for 550-gallon tanks. The applicant should confirm the proposed tank sizes.

TFM has updated the plan to include reference to two – 500 gal tanks.

11. Other

a. *Former Fuss & O'Neill Comment:* The applicant should review the Professional Engineer Stamp location on many of the plan sheets. They appear to overwrite text making it illegible.

Current Fuss & O'Neill Comment: The applicant has revised the stamp location on some drawings. We note that the Landscape Plan and Lighting Plan both still have stamp/note conflicts.

Steven W. Reichert, P.E.

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TFM has corrected stamp /note conflicts.

We trust these response materials adequately address your concerns. Please do not hesitate to contact me at (603) 472-4488 or at jhill@tfmoran.com with any questions.

Sincerely,
TFMoran, Inc.

Jason S. Hill, PE
Project Manager

cc: Bobcat of New Hampshire
File

Enclosures



TOWN OF HUDSON

Planning Board

Timothy Malley, Chairman



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

CAP FEE WORKSHEET - 2021

Date: 12-01-21 Zone # 1 Map/Lot: 101/018 & 019

2 Rebel Rd & 345 Derry R

Project Name: Bobcat of New Hampshire

Proposed ITE Use #1: General Light Industrial

Proposed Building Area (square footage): 1,885 Addition S.F.

CAP FEES: (ONE CHECK NEEDED)

1.	(Bank 09) 2070-701	Light Industrial (1,885 s.f @ \$1.38 per s.f)	\$ <u>2,601.30</u>
		Total CAP Fee	\$ <u>2,601.30</u>

Check should be made payable to the Town of Hudson.

Thank you,

Brooke Dabowik

Planning Administrative Aide

GENERAL INFORMATION

OWNER
 MAP 101 LOTS 18 & 19
 MAP 2 LOT 34A
 MAL-MAR, LLC
 9 DOVER ROAD
 CHICHESTER, NH 03258

APPLICANT
 BOBCAT OF NEW HAMPSHIRE
 2 TRACY LANE
 HUDSON, NH 03051

LONDONDERRY RESOURCE LIST
 PLANNING & ECONOMIC DEVELOPMENT
 268B MAMMOTH ROAD
 LONDONDERRY, NH 03053
 603-432-1100 EXT. 149
 COLLEEN MAILLOUX

BUILDING & ZONING ENFORCEMENT
 268B MAMMOTH ROAD
 LONDONDERRY, NH 03053
 603-432-1100 EXT. 115
 LIBBY CANUEL

PUBLIC WORKS & ENGINEERING
 268B MAMMOTH ROAD
 LONDONDERRY, NH 03053
 603-432-1100 EXT. 146
 JOHN TROTTER, DIRECTOR

POLICE DEPARTMENT
 268A MAMMOTH ROAD
 LONDONDERRY, NH 03053
 603-432-1118
 WILLIAM R. HART, CHIEF OF POLICE

FIRE DEPARTMENT
 280 MAMMOTH ROAD
 LONDONDERRY, NH 03053
 603-432-1124
 DARREN O'BRIEN, CHIEF

HUDSON RESOURCE LIST
 PLANNING DEPARTMENT
 TOWN OF HUDSON
 12 SCHOOL STREET
 HUDSON, NH 03051
 603-886-6008

ZONING DEPARTMENT
 TOWN OF HUDSON
 12 SCHOOL STREET
 HUDSON, NH 03051
 603-886-6008

POLICE DEPARTMENT
 1 CONSTITUTION DRIVE
 HUDSON, NH 03051
 603-886-6011
 WILLIAM AVERY, CHIEF OF POLICE

FIRE DEPARTMENT
 39 FERRY STREET
 HUDSON, NH 03051
 603-886-6021
 ROBERT BUXTON, CHIEF

ABUTTERS
 ABUTTERS-HUDSON
 MAP 101 LOT 11
 SMT REBEL ROAD, LLC
 3 TRACY LANE
 HUDSON, NH 03051

MAP 101 LOT 17
 SMT TRACEY LANE HOLDINGS, LLC
 3 TRACY LANE
 HUDSON, NH 03051

MAP 101 LOT 30-000
 MARIO PLANTE TR & DENYSE PLANTE TR
 GREEN MOUNTAIN PARTNERS TRUST
 9 OLD DERRY ROAD
 HUDSON, NH 03051

MAP 101 LOTS 30-001, 30-002, 30-003, 30-004 & 30-005
 ANTHONY E. DIONNE TRUST
 GREENLAND INVESTMENT REALTY TRUST
 P.O. BOX 1206
 LONDONDERRY, NH 03053

MAP 101 LOT 20
 4 REBEL ROAD, LLC
 4 REBEL ROAD
 HUDSON, NH 03051

MAP 101 LOT 21
 MATTHEW E. MASON TR & LYNN A. MASON TR
 13 CUTLER ROAD
 LITCHFIELD, NH 03052

MAP 102 LOT 1
 LINDA K. HARVEY
 11 AVERY ROAD
 LONDONDERRY, NH 03053

ABUTTERS-LONDONDERRY
 MAP 2 LOT 34
 SMT TRACEY LANE HOLDINGS, LLC
 3 TRACY LANE
 HUDSON, NH 03051

MAP 2 LOT 34-1
 CABLE HOLDCO EXCHANGE III LLC
 ONE COMCAST CENTER
 PHILADELPHIA, PA 19103

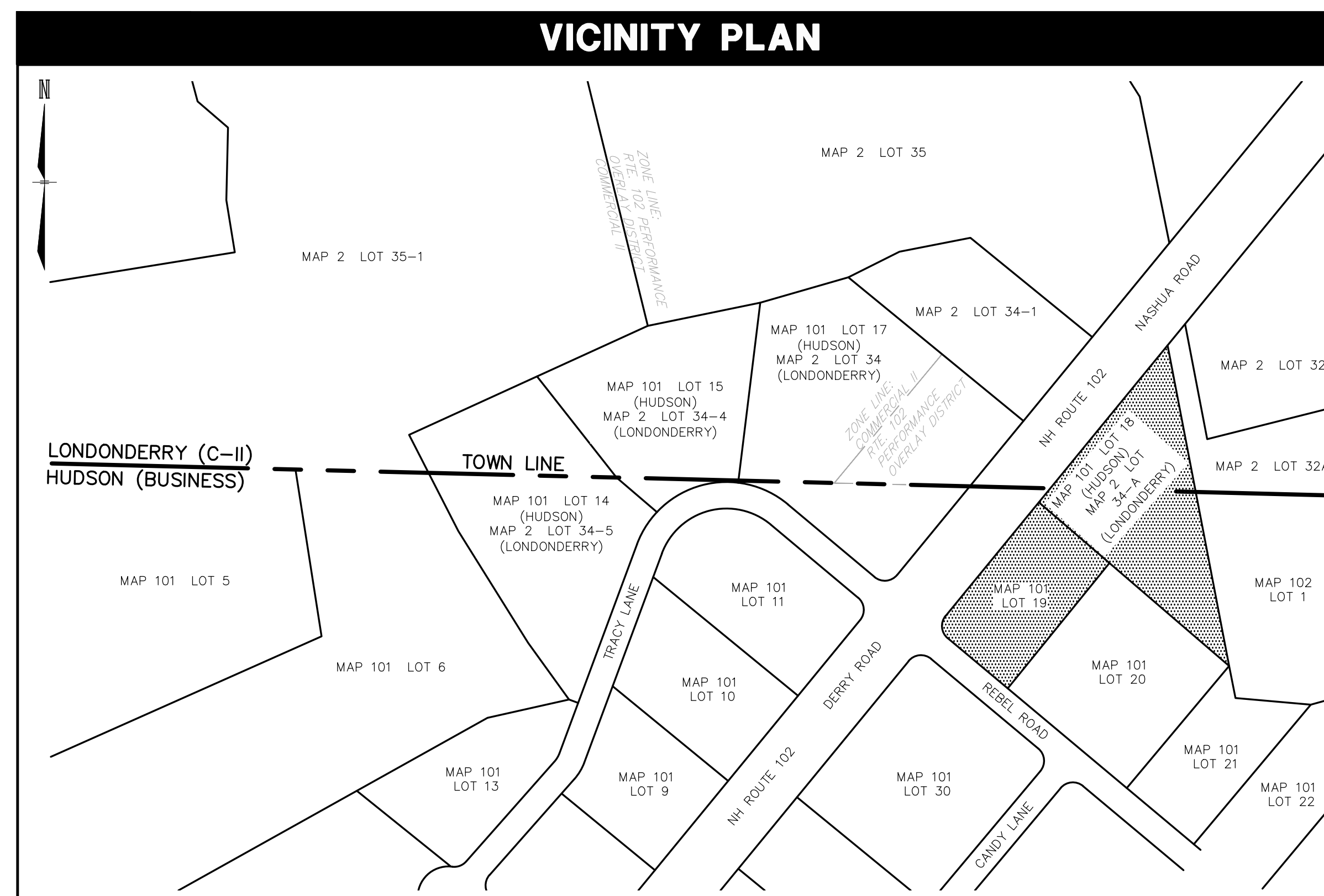
MAP 2 LOT 35
 CABLE HOLDCO EXCHANGE III LLC
 ONE COMCAST CENTER
 PHILADELPHIA, PA 19103

MAP 2 LOT 32
 PETER J. SAPATIS REVOCABLE TRUST OF 2007
 5 AVERY ROAD
 LONDONDERRY, NH 03053

MAP 2 LOT 32A
 LINDA K. & DOUGLAS C. JR. HARVEY
 P.O. BOX 639
 LONDONDERRY, NH 03053

BOBCAT OF NEW HAMPSHIRE

**2 REBEL ROAD, 345 DERRY ROAD & 307 NASHUA ROAD
 HUDSON & LONDONDERRY, NEW HAMPSHIRE**

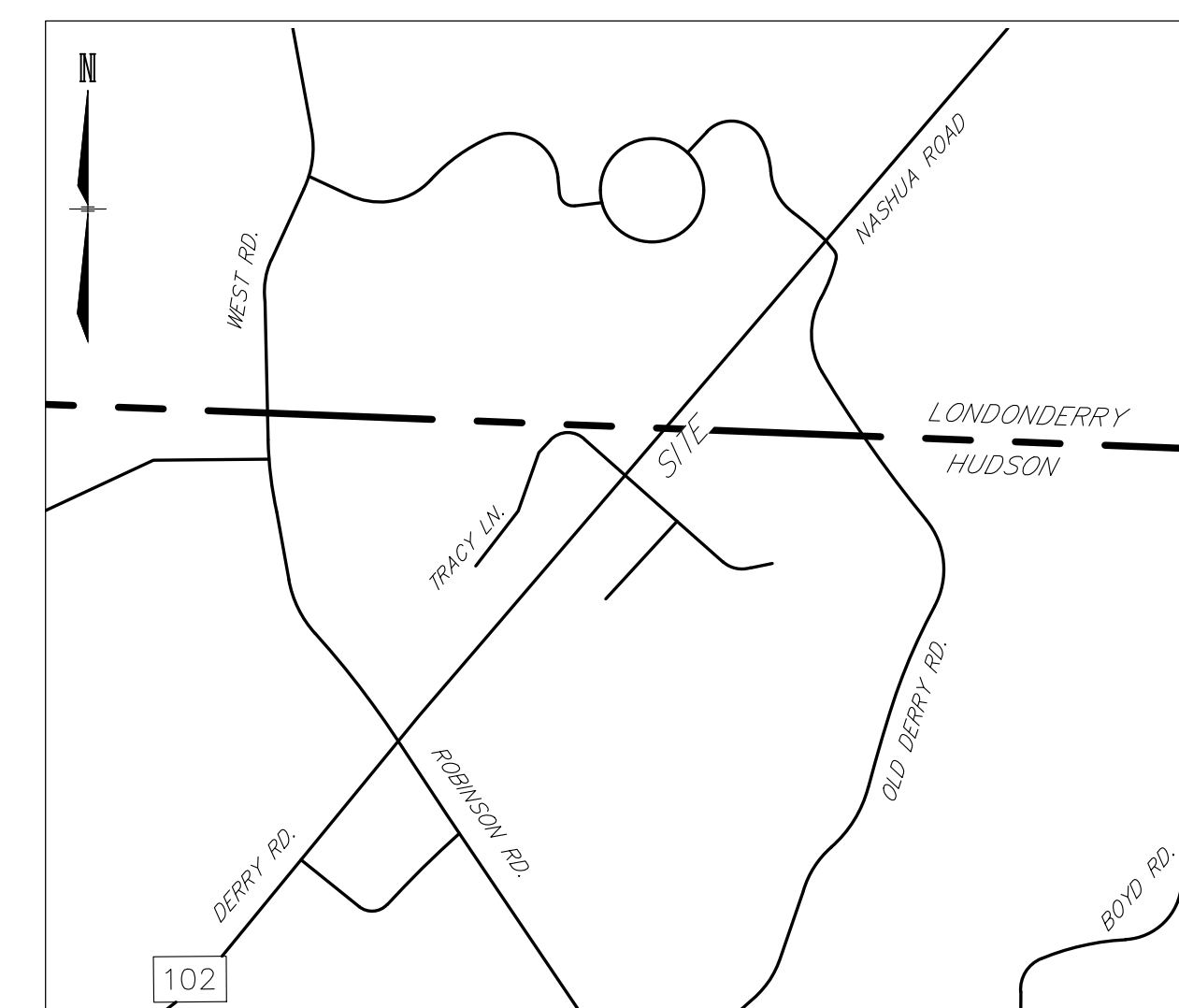


INDEX OF SHEETS

SHEET	SHEET TITLE
C-1	COVER
C-2	NOTES & LEGEND
S-1	EXISTING CONDITIONS PLAN
C-3	SITE PREPARATION PLAN
C-4	SITE LAYOUT PLAN
C-5	GRADING & DRAINAGE PLAN
C-6	LANDSCAPE PLAN
C-7	STORMWATER MANAGEMENT PLAN
C-8 - C-13	DETAILS
REFERENCE PLANS BY ASSOCIATED PROFESSIONALS	
L1	LIGHTING PLAN
A1	ARCHITECTURAL ELEVATION PLANS

PERMITS/APPROVALS

	NUMBER	APPROVED	EXPIRES
HUDSON PLANNING BOARD SITE PLAN REVIEW	-	PENDING	-
LONDONDERRY PLANNING BOARD SITE PLAN REVIEW	-	PENDING	-
HUDSON CONDITIONAL USE PERMIT	-	PENDING	-
HUDSON WAIVER (LANDSCAPING) SECTIONS 275-8.C.(7)(A),(C) & (D)	-	9/22/2021	-
HUDSON WAIVER (ACCESS DRIVE)	-	PENDING	-
LONDONDERRY WAIVER (APPROVAL BLOCK)	-	PENDING	-
LONDONDERRY VARIANCE: SECTION 4.3.2.D (OUTDOOR DISPLAY)	-	PENDING	-
NHDOT DRIVEWAY	-	PENDING	-



SITE DEVELOPMENT PLANS

TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A
COVER
BOBCAT OF NEW HAMPSHIRE
2 REBEL RD & 345 DERRY RD (HUDSON, NH)
307 NASHUA RD (LONDONDERRY, NH)
 OWNED BY
MAL-MAR, LLC
 PREPARED FOR
BOBCAT OF NEW HAMPSHIRE
 SCALE: NTS JULY 26, 2021

OWNER'S SIGNATURE _____
 OWNER OR REPRESENTATIVE _____ DATE _____

Approved by the Town of Londonderry N.H. Planning Board _____ for Phase _____
 on Date: _____
 Certified By: _____

APPROVED BY THE HUDSON, NH PLANNING BOARD

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

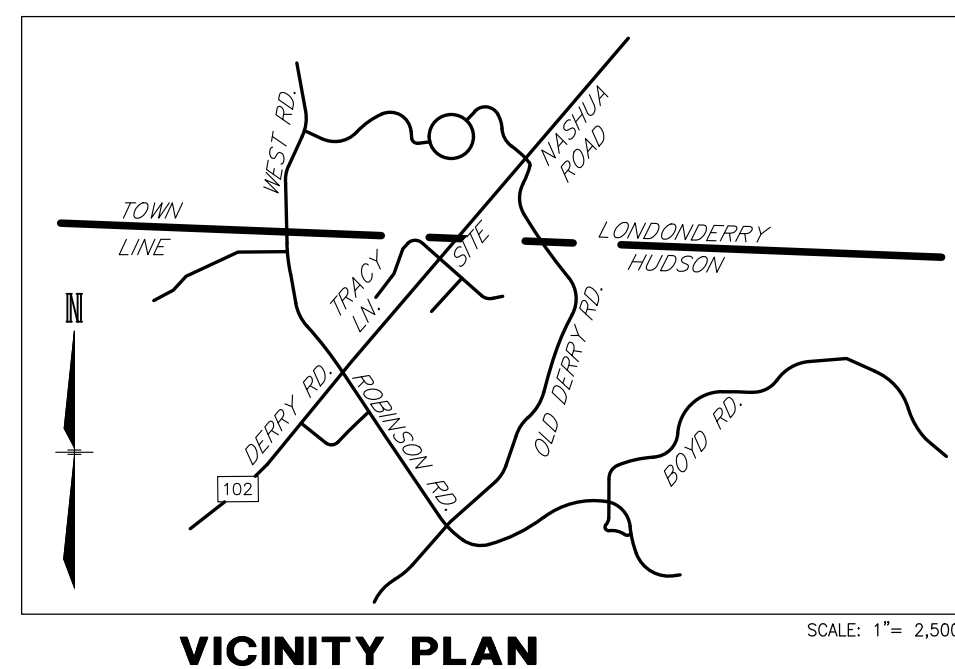
DATE OF MEETING _____
 SIGNATURE _____ DATE _____
 SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

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TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

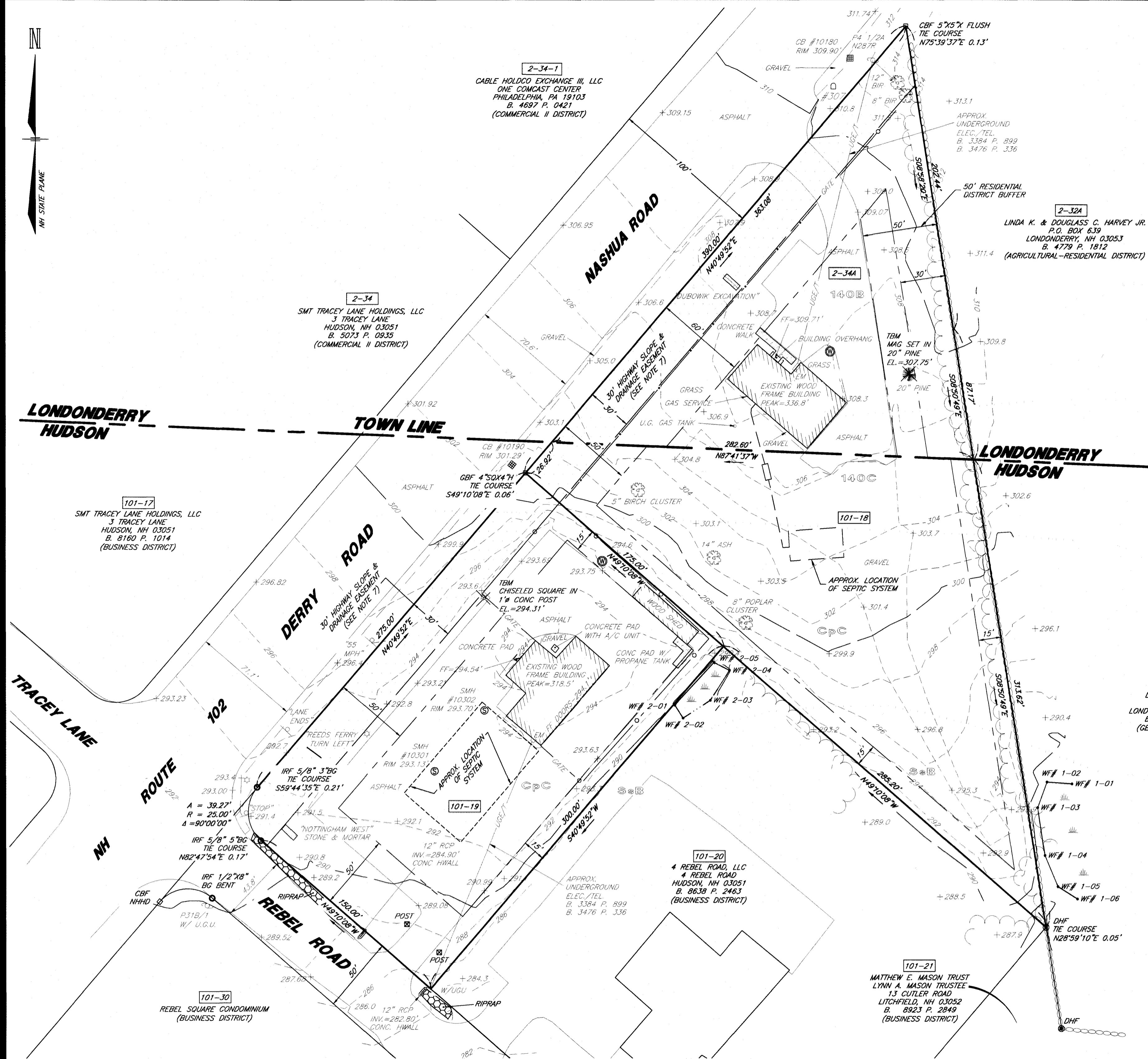


REV	DATE	DESCRIPTION	DR	CK
2	11/12/2021	REV. PER CONSERVATION COMM. COMMENTS	JSH	RED
1	9/24/2021	REV. PER ENGINEERING COMMENTS	PWH	JSH

TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

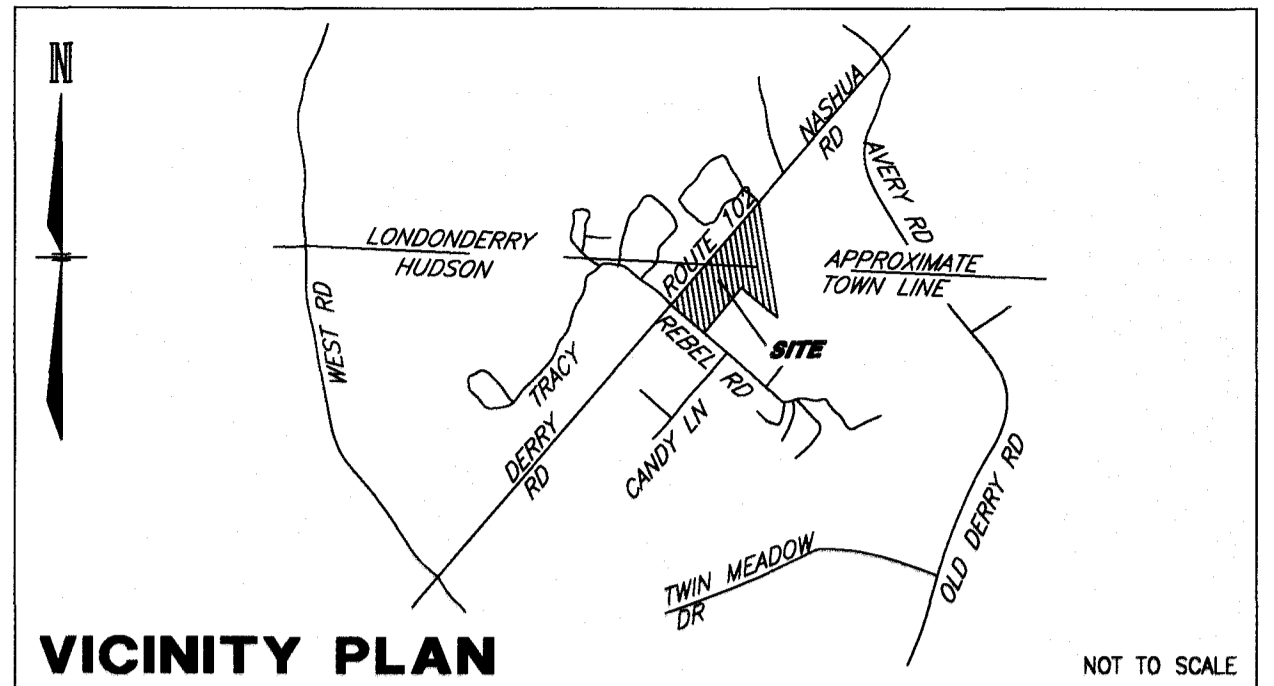
48 Constitution Drive
 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
 www.tfmoran.com

17851-08 DR PWH FB
 CK JSH CADFILE 17851-08 SITE PLANS C-1



LEGEND

- CBF
- GBF
- IPF
- IPinF or IRF
- DHF
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- CHAIN LINK FENCE
- POST & RAIL PVC FENCE
- SIGN
- LIGHT POLE
- SEWER MANHOLE
- CATCH BASIN
- UTILITY POLE
- WELL
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- EDGE OF WETLAND
- STONEWALL
- TREELINE
- TREES
- DELINEATOR POST
- ELECTRIC METER
- MAILBOX
- BENCHMARK
- GUY WIRE
- SPOT GRADE



REFERENCE PLAN

- SUBDIVISION PLAN: MAP 42 LOT 7 LEE J. ALLARD ET. UX. NH ROUTE 102 HUDSON & LONDONDERRY NH, 23 MARCH 1984 BY GEORGE F. KELLER INC. H.C.R.D. PLAN # 18102.
- EXISTING CONDITIONS PLAN - 2 REBEL ROAD - MAP 101 LOT 19 - HUDSON, NEW HAMPSHIRE - HILLSBOROUGH COUNTY, DATED OCTOBER 1, 2015 BY KEACH-MORSTROM ASSOCIATES, INC.
- SEPTIC DESIGN: PLOT PLAN OF LOT M-42 LOT 7 - LEE ALLARD RTE 102 HUDSON/LONDONDERRY - SUBDIVISION APPROVAL NO 19513, DATED APRIL 17, 1995 BY GARY WEBSTER.

NOTES

- OWNER OF RECORD OF MAP 2 LOT 34-A, MAP 101 LOT 18, MAP 101 LOT 19: MAL-MAR, LLC 9 DOVER ROAD CHICHESTER, NH 03258 DEED REFERENCE TO PARCELS IS BK. 6304 PG. 443 (H.C.R.D.), AND BK. 9498 PG. 1858 (H.C.R.D.). AREA OF LOT 2-34-A = 40,156 S.F.± OR 0.9219 ACRES± AREA OF LOT 101-18 = 49,672 S.F.± OR 1.1403 ACRES± AREA OF LOT 101-19 = 52,366 S.F.± OR 1.2022 ACRES±
- [2-34-A] INDICATES TAX MAP AND LOT NUMBER.
- THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING CONDITIONS OF LOTS 2-34-A, 101-18, 101-19.
- CURRENT ZONING IS LONDONDERRY: COMMERCIAL 2 WITH ROUTE 102 PERFORMANCE DISTRICT OVERLAY. HUDSON: BUSINESS DISTRICT
- EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR HILLSBOROUGH AND ROCKINGHAM COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS), MAP NUMBER 3301100508D, EFFECTIVE DATE 9/25/2008 AND MAP NUMBER 3301500508E EFFECTIVE DATE 5/17/2005, INDICATES THAT THE SUBJECT PARCELS ARE NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA.
- HORIZONTAL DATUM IS NEW HAMPSHIRE STATE PLANE, NAD 83/86. VERTICAL DATUM IS NAVD1988 BENCHMARKS SET AS NOTED
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE HILLSBOROUGH AND ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE. BK. 3384 PG. 859 (H.C.R.D.), BK. 3476 PG. 336 (H.C.R.D.) NET&T CO. AND PSNH EASEMENT, BK. 2626 PG. 45 (H.C.R.D.) DEVELOPMENT AGREEMENT H.C.R.D. PLAN #18102, 30' HIGHWAY SLOPE & DRAINAGE EASEMENT (NO DEED RECORDED)
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
- TOWN LINE PER REFERENCE PLAN.
- THE LOCATION OF SEPTIC SYSTEM AREAS SHOWN HEREON ARE PER REFERENCE PLANS AND ARE APPROXIMATE.
- PORTIONS OF THE DRIVEWAYS AND TRAVEL WAYS SHOWN WITHIN 200 FEET OF THE SITE ARE CONSIDERED APPROXIMATE AND WERE COMPILED FROM AERIAL PHOTOGRAPHY.

NRCS SOILS LEGEND

SYMBOL	MAP UNIT	SLOPE	HSG
140B	CHATFIELD-HOLLIS-CANTON COMPLEX	0-8%	B
140C	CHATFIELD-HOLLIS-CANTON COMPLEX	8-15%	B
CpC	CHATFIELD-HOLLIS-CANTON COMPLEX	8-15%	B
SsB	SCITUATE FINE SANDY LOAM	3-8%	C

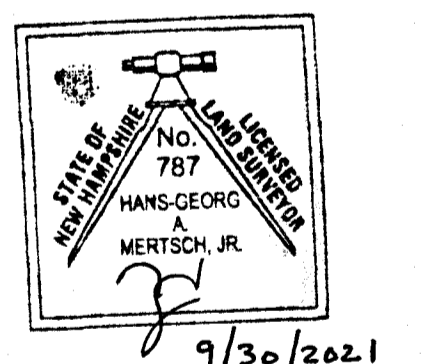
ADDITIONAL ABUTTERS:

[2-35] CABLE HOLDCO EXCHANGE III, LLC ONE COMCAST CENTER PHILADELPHIA, PA 19103 B. 4697 P. 1077 (COMMERCIAL II DISTRICT)

CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000).

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. (RSA 676:18-III)



TAX MAP 2 LOT 34-A (LONDONDERRY)
TAX MAP 101 LOTS 17&18 (HUDSON)
EXISTING CONDITIONS PLAN
NH ROUTE 102
HUDSON / LONDONDERRY, NH
OWNED BY
MAL-MAR, LLC
PREPARED FOR
BOBCAT OF NH **JUNE 9, 2021**

SCALE: 1"=40'

WETLAND CERTIFICATION

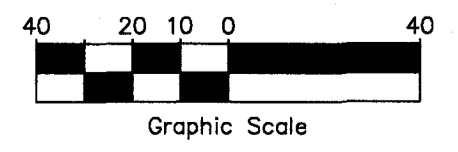
JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED ON 2/9/21 BY CHRISTOPHER K. DANFORTH CWS #077. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING "FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES" A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS. NRCS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USACE NATIONAL WETLAND PLANT LIST, NWPL 2016 VERSION 3.3 HTTP://WETLAND_PLANTS.USACE.ARMY.MIL.



CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

OWNER'S SIGNATURE _____ DATE _____

OWNER OR REPRESENTATIVE _____ DATE _____

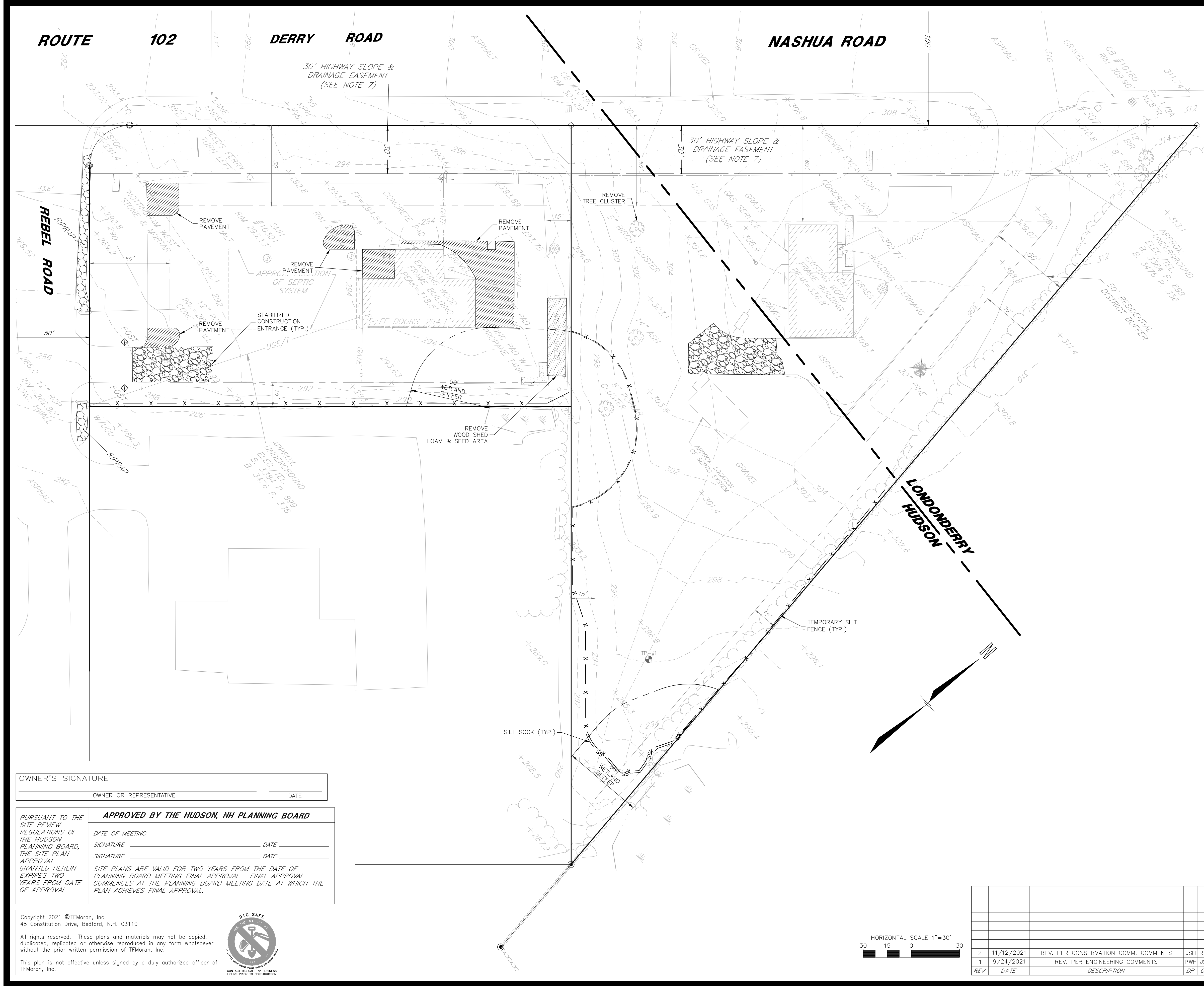


REV.	DATE	REV. PER ENGINEERING COMMENTS DESCRIPTION	PWH DR	HGM CK
1	9/24/21			

TFM Civil Engineers 48 CONSTITUTION DRIVE
Structural Engineers BEDFORD, NH 03110
Traffic Engineers PHONE (603) 472-4488
Land Surveyors FAX (603) 472-9747
Landscape Architects WWW.TFMORAN.COM
Scientists

17851.08 DR AGL FB 2177, 2178
CK HGM CADFILE 17851-08 SURVEY S-1

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



NOTES

1. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
2. THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
3. ALL SUBBASE MATERIALS LOCATED WITHIN THE PROPOSED LANDSCAPING AREAS SHALL BE REMOVED AND REPLACED WITH MATERIALS SUITABLE FOR LANDSCAPING.
4. STUMPS SHALL NOT BE BURIED ON SITE; STUMPS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
5. TEMPORARY CONSTRUCTION FENCE SHALL BE PLACED TO SEPARATE PEDESTRIANS FROM THE CONSTRUCTION SITE WHERE NEEDED. THE TEMPORARY FENCE SHALL BE ADJUSTED AS CONSTRUCTION PROGRESSES.
6. THE LOCATION OF UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-344-7233.
7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF THEIR INTENTION AT LEAST 48 HOURS IN ADVANCE.

OWNER'S SIGNATURE _____
 OWNER OR REPRESENTATIVE _____ DATE _____

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING _____
 SIGNATURE _____ DATE _____
 SIGNATURE _____ DATE _____

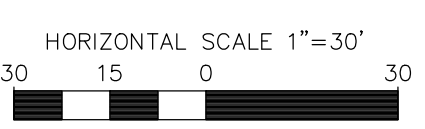
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

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This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



REV	DATE	DESCRIPTION	DR	CK
2	11/12/2021	REV. PER CONSERVATION COMM. COMMENTS	JSH	RED
1	9/24/2021	REV. PER ENGINEERING COMMENTS	PWH	JSH

OWNER'S SIGNATURE _____
 OWNER OR REPRESENTATIVE _____ DATE _____

SITE DEVELOPMENT PLANS

TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A

SITE PREPARATION PLAN

BOBCAT OF NEW HAMPSHIRE

2 REBEL RD & 345 DERRY RD (HUDSON, NH)

307 NASHUA RD (LONDONDERRY, NH)

OWNED BY
MAL-MAR, LLC

PREPARED FOR
BOBCAT OF NEW HAMPSHIRE

SCALE: 1"=30' **JULY 26, 2021**

TFM	Civil Engineers	48 Constitution Drive
	Structural Engineers	Bedford, NH 03110
	Traffic Engineers	Phone (603) 472-4488
	Land Surveyors	Fax (603) 472-9747
	Landscape Architects	www.tfmoran.com
	Scientists	

17851-08	DR PWH FB	-	
CK JSH CADFILE	17851-08 SITE PLANS		C-3

ROUTE 102

DERRY ROAD

NASHUA ROAD

NOTES

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED SITE WORK WHICH INCLUDES PAVING AND RECONFIGURATION OF THE PARKING LOT/ACCESS DRIVES FOR LOT 101-18 AND LOT 2-34A, AS WELL AS ADDING OUTDOOR DISPLAY AND STORAGE AREAS. SITE WORK FOR LOT 101-19 INCLUDES THE CONSTRUCTION OF TWO BUILDING ADDITIONS WITH ASSOCIATED SITE IMPROVEMENTS AND OUTDOOR DISPLAY AREAS. LOT 2-34A AND LOT 101-18 INCLUDES THE CHANGE OF USE FROM OFFICE AND GARAGE SPACE TO A CONSTRUCTION EQUIPMENT DEALERSHIP (NEW EQUIPMENT RENTAL SALES AND DETAILING SHOP). LOT 101-19 INCLUDES THE CHANGE OF USE FROM OFFICE AND GARAGE SPACE TO A CONSTRUCTION EQUIPMENT DEALERSHIP (PARTS AND SERVICE).

2. ZONING:

TOWN OF LONDONDERRY COMMERCIAL II DISTRICT (C-II) & RT 28 PERFORMANCE OVERLAY (PO), AND IN ACCORDANCE WITH SECTION 4.6.6.9.B OF THE ZONING ORDINANCE, IS SUBJECT TO THE C-II ZONING PROVISIONS.

Table with 3 columns: LOT AREA, LOT FRONTAGE, MINIMUM BUILDING SETBACKS, BUILDING HEIGHT, MAX. BUILDING COVERAGE, MIN. GREEN SPACE, GREEN SPACE SETBACKS. Rows show required vs proposed values for various metrics.

Table with 4 columns: LOT AREA, LOT FRONTAGE, MINIMUM BUILDING SETBACKS, BUILDING HEIGHT, MIN. GREEN SPACE, GREEN SPACE SETBACKS. Rows show required vs proposed values for various metrics.

3. TOWN OF LONDONDERRY PARKING CALCULATIONS: SALES & RENTAL OF TRUCKS OR HEAVY EQUIPMENT (EQUIPMENT DISPLAY OR STORAGE AREA) 0.5 SPACE/1,000 SF = 14,985 SF (2,528 SF BLDG., 3,260 SF DISPLAY, 9,200 SF OUTDOOR STORAGE) = 7 SPACES. PROPOSED: 7 SPACES.

TOWN OF HUDSON PARKING CALCULATIONS: RETAIL & OFFICE = 1 SPACE/200 SF = 1,520 SF/200 SF = 7.6 SPACES. WAREHOUSE = 1 SPACE/600 SF = 2,850 SF/600 SF = 4.8 SPACES. TOTAL REQUIRED: 13 SPACES. PROPOSED: 16 SPACES.

4. THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:

- Private services list: DRAINAGE, SEWER, WATER, GAS, ELECTRIC, TELEPHONE, CABLE.

5. IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH N.H.D.E.S. REGULATIONS. IF SNOW IS STORED WITHIN PARKING AREA KEEP CATCH BASINS CLEAR.

6. THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS AND STANDARDS.

7. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.

8. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.

9. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.

10. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF HIS INTENTIONS AT LEAST 48 HOURS IN ADVANCE.

11. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.

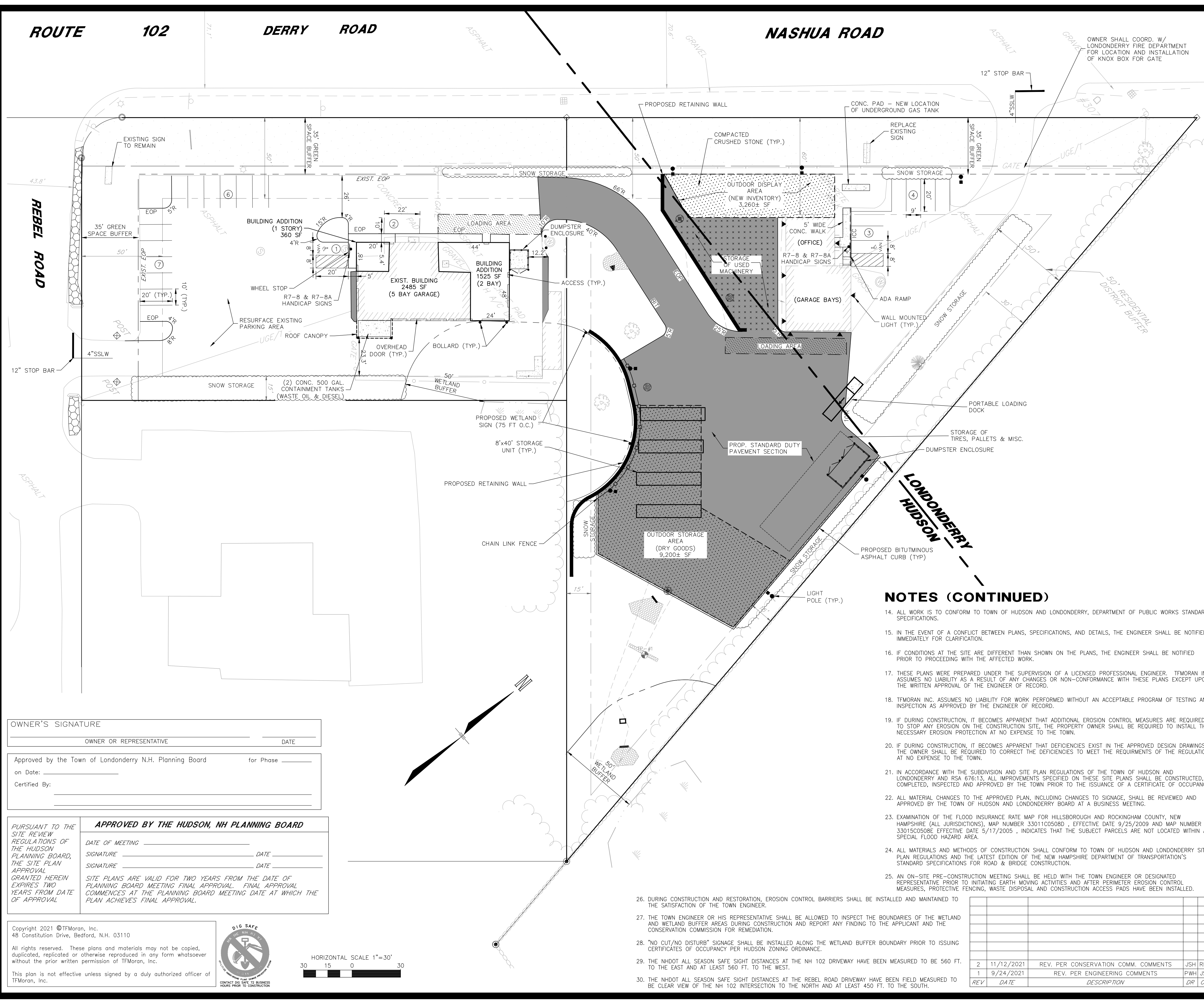
12. LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE CITY/TOWN ZONING ORDINANCE AND SITE PLAN REGULATIONS. ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON ZONING ADMINISTRATOR PRIOR TO INSTALLATION THEREOF.

13. SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY SHEET. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.

NOTES (CONTINUED)

- 14. ALL WORK IS TO CONFORM TO TOWN OF HUDSON AND LONDONDERRY, DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.
15. IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
16. IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
17. THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
18. TFMORAN INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
19. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE, THE PROPERTY OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
20. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
21. IN ACCORDANCE WITH THE SUBDIVISION AND SITE PLAN REGULATIONS OF THE TOWN OF HUDSON AND LONDONDERRY AND RSA 676:13, ALL IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, INSPECTED AND APPROVED BY THE TOWN PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
22. ALL MATERIAL CHANGES TO THE APPROVED PLAN, INCLUDING CHANGES TO SIGNAGE, SHALL BE REVIEWED AND APPROVED BY THE TOWN OF HUDSON AND LONDONDERRY BOARD AT A BUSINESS MEETING.
23. EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR HILLSBOROUGH AND ROCKINGHAM COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS), MAP NUMBER 33011C05080 - EFFECTIVE DATE 9/25/2009 AND MAP NUMBER 33015C05080 EFFECTIVE DATE 5/17/2005, INDICATES THAT THE SUBJECT PARCELS ARE NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA.
24. ALL MATERIAL CHANGES TO THE APPROVED PLAN, INCLUDING CHANGES TO SIGNAGE, SHALL BE REVIEWED AND APPROVED BY THE TOWN OF HUDSON AND LONDONDERRY BOARD AT A BUSINESS MEETING.
25. AN ON-SITE PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN ENGINEER OR DESIGNATED REPRESENTATIVE PRIOR TO INITIATING EARTH MOVING ACTIVITIES AND AFTER PERIMETER EROSION CONTROL MEASURES, PROTECTIVE FENCING, WASTE DISPOSAL AND CONSTRUCTION ACCESS PADS HAVE BEEN INSTALLED.

- 26. DURING CONSTRUCTION AND RESTORATION, EROSION CONTROL BARRIERS SHALL BE INSTALLED AND MAINTAINED TO THE SATISFACTION OF THE TOWN ENGINEER.
27. THE TOWN ENGINEER OR HIS REPRESENTATIVE SHALL BE ALLOWED TO INSPECT THE BOUNDARIES OF THE WETLAND AND WETLAND BUFFER AREAS DURING CONSTRUCTION AND REPORT ANY FINDING TO THE APPLICANT AND THE CONSERVATION COMMISSION FOR REMEDIATION.
28. NO CUT/NO DISTURB SIGNAGE SHALL BE INSTALLED ALONG THE WETLAND BUFFER BOUNDARY PRIOR TO ISSUING CERTIFICATES OF OCCUPANCY PER HUDSON ZONING ORDINANCE.
29. THE NHDOT ALL SEASON SAFE SIGHT DISTANCES AT THE NH 102 DRIVEWAY HAVE BEEN MEASURED TO BE 560 FT. TO THE EAST AND AT LEAST 560 FT. TO THE WEST.
30. THE NHDOT ALL SEASON SAFE SIGHT DISTANCES AT THE REBEL ROAD DRIVEWAY HAVE BEEN FIELD MEASURED TO BE CLEAR VIEW OF THE NH 102 INTERSECTION TO THE NORTH AND AT LEAST 450 FT. TO THE SOUTH.



OWNER'S SIGNATURE
OWNER OR REPRESENTATIVE DATE

Approved by the Town of Londonderry N.H. Planning Board for Phase
on Date:
Certified By:

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING
SIGNATURE DATE
SIGNATURE DATE
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

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HORIZONTAL SCALE 1"=30'
30 15 0 30

SITE DEVELOPMENT PLANS

TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A

SITE LAYOUT PLAN
BOBCAT OF NEW HAMPSHIRE
2 REBEL RD & 345 DERRY RD (HUDSON, NH)
307 NASHUA RD (LONDONDERRY, NH)

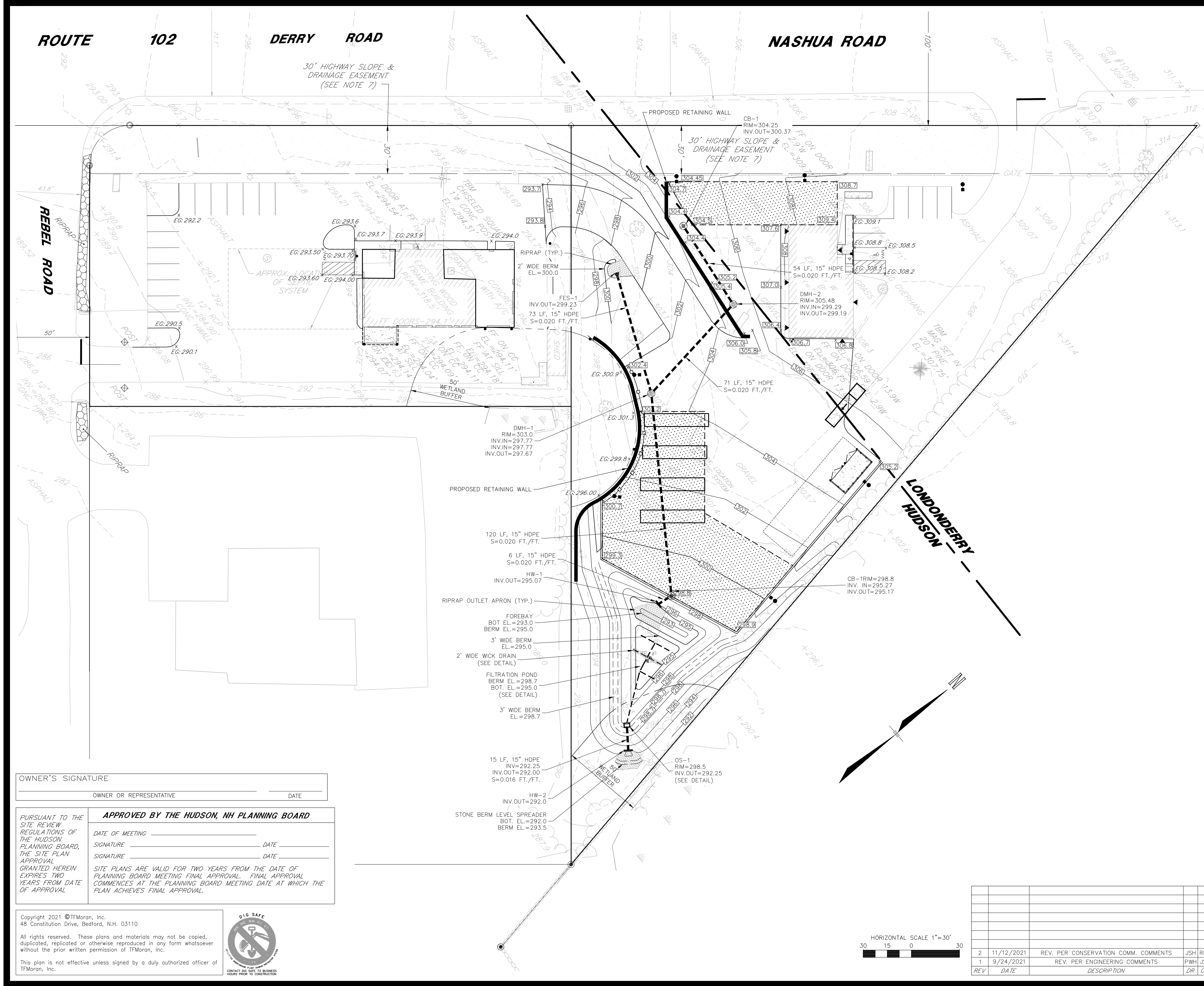
OWNED BY
MAL-MAR, LLC
PREPARED FOR
BOBCAT OF NEW HAMPSHIRE

SCALE: 1"=30' JULY 26, 2021

TFMORAN, INC. Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists. 48 Constitution Drive, Bedford, NH 03110. Phone (603) 472-4488. Fax (603) 472-9747. www.tfmoran.com

Table with 4 columns: REV, DATE, DESCRIPTION, DR CK. Rows show revision history for 11/12/2021 and 9/24/2021.

17851-08 DR PWH FB CK JSH CADFILE 17851-08 SITE PLANS C-4



- ### NOTES
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON AND LONDONDERRY, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL SURROUNDING CONDITIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
 - THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
 - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
 - STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
 - ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
 - ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
 - ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
 - IN ACCORDANCE WITH RSA 430:53 AND Agr 3800, THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES OFF THE PROPERTY, AND SHALL DISPOSE OF INVASIVE SPECIES ON-SITE IN A LEGAL MANNER.
 - THE SITE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
 - THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN eNOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
 - COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
 - COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
 - COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION.
 - LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
 - THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO ADDRESS ANY GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
 - VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
 - IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
 - IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
 - THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, TFMORAN INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
 - TFMORAN INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
 - AT COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND A LETTER STAMPED BY A QUALIFIED ENGINEER THAT THEY HAVE OBSERVED ALL UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS PRIOR TO BACKFILL, AND THAT SUCH SYSTEMS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS.
 - IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS, AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.
 - THE EDGE OF THE CONSERVATION OVERLAY DISTRICT AND NON-DISTURBANCE ZONES SHALL BE APPROPRIATELY DELINEATED IN THE FIELD PRIOR TO CONSTRUCTION.
 - CONSTRUCTION AND RESTORATION SHALL COMPLY WITH BEST MANAGEMENT PRACTICES SET FORTH IN NEW HAMPSHIRE STORM WATER MANUAL VOLUME 3: EROSION AND SEDIMENT CONTROL.
 - THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN CONSTRUCTING ANY BELOW GRADE PORTIONS OF THE BUILDING EXPANSION, SIGN POSTS, BOLLARDS, ETC. TO PREVENT ACCIDENTAL DAMAGE TO EXISTING UTILITIES.

SITE DEVELOPMENT PLANS
TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A
GRADING & DRAINAGE PLAN
BOBCAT OF NEW HAMPSHIRE
2 REBEL RD & 345 DERRY RD (HUDSON, NH)
307 NASHUA RD (LONDONDERRY, NH)
OWNED BY
MAL-MAR, LLC
PREPARED FOR
BOBCAT OF NEW HAMPSHIRE
SCALE: 1"=30' **JULY 26, 2021**

OWNER'S SIGNATURE _____ DATE _____
OWNER OR REPRESENTATIVE _____

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING _____
SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

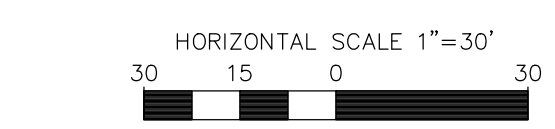
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DIG SAFE

CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION



REV	DATE	DESCRIPTION	DR	CK
2	11/12/2021	REV. PER CONSERVATION COMM. COMMENTS	JSH	RED
1	9/24/2021	REV. PER ENGINEERING COMMENTS	PWH	JSH

TFM Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

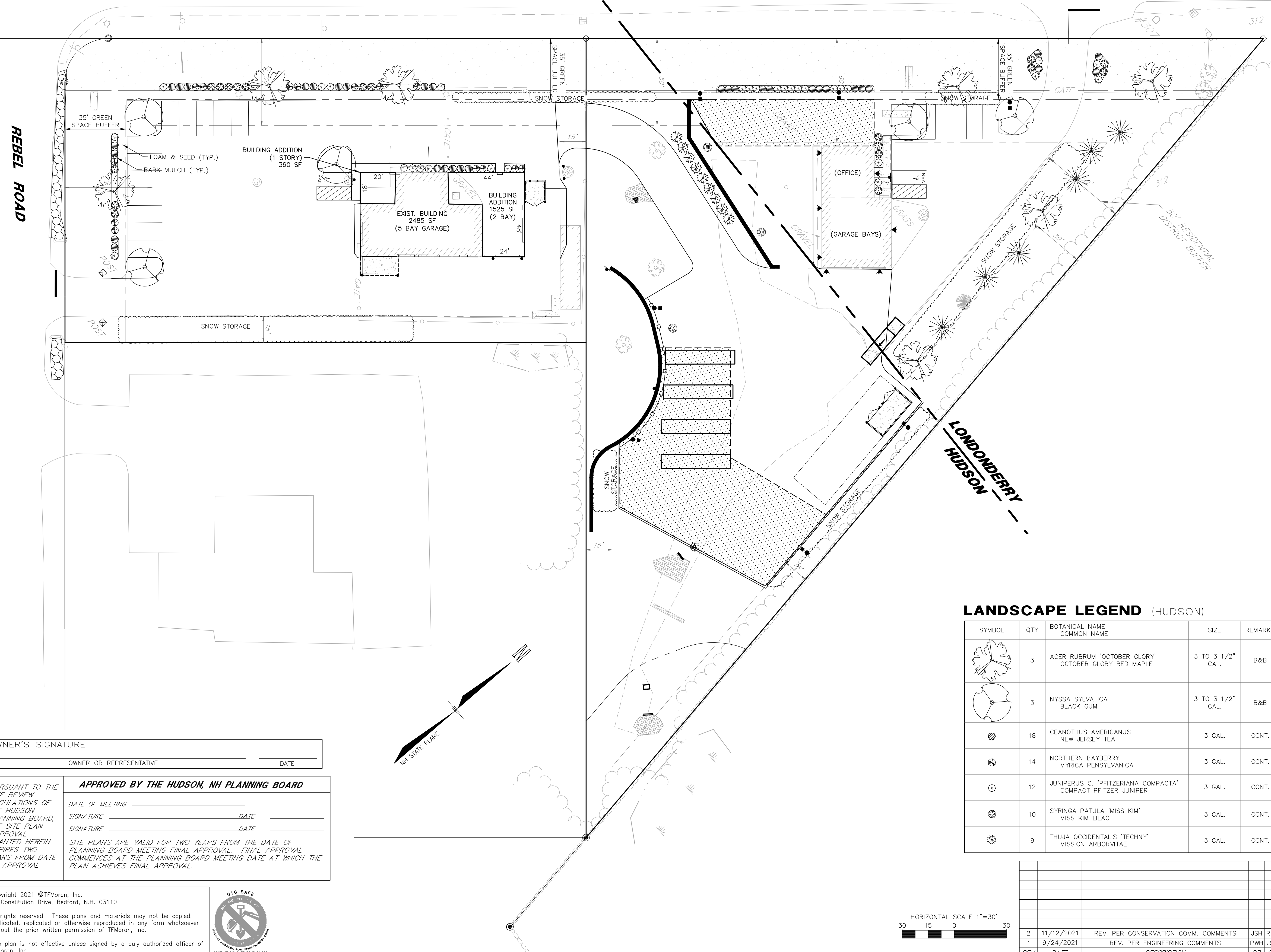
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17851-08 DR PWH FB
CK JSH CADFILE 17851-08 SITE PLANS

C-5

ROUTE 102 DERRY ROAD

NASHUA ROAD



LANDSCAPE REQUIREMENTS (HUDSON)

- 1. INTERIOR PARKING LANDSCAPE AREA REQUIREMENTS: (275-8.C(7) OF SITE PLAN REG.'S)
 INTERIOR PARKING LOT: 10% LANDSCAPE AREA REQUIRED.
 REQUIRED: 1,490 SF (10%)
 PROVIDED: *998 SF. (6.7%)
- a. REQUIRED TREES: 1 TREE PER 1,600 SF OR 1 TREE PER 5 SPACES, WHICHEVER IS GREATER.
 REQUIRED: 9 TREES
 PROVIDED: *6 TREES
- b. REQUIRED SHRUBS: 1 SHRUB PER 200 SF OR 1 SHRUB PER 1.6 SPACES, WHICHEVER IS GREATER.
 REQUIRED: 74 SHRUBS
 PROVIDED: *57 SHRUBS

*WAIVER REQUIRED FROM HR SECTIONS 275-8.C(7)(a), (c), and (d). FOR PROPOSED LANDSCAPING.

LANDSCAPE REQUIREMENTS (LONDONDERRY)

- 1. GREEN SPACE REQUIREMENT:
 30' GREEN SPACE BUFFER ALONG ROW.
 15' GREEN SPACE BUFFER ALONG SIDE AND REAR LOT LINES.
- 2. INTERIOR PARKING LANDSCAPE AREA REQUIREMENTS: (3.10g OF SITE PLAN REG.'S)
 PARKING LOT: 10% LANDSCAPE AREA REQUIRED
 REQUIRED: 350 SF (10%)
 PROVIDED: 397 SF (11.3%)
- 3. INTERNAL PARKING LOT LANDSCAPING (TREES):
 1 TREE/15 PARKING SPACES.
 REQUIRED: 1 TREE
 PROVIDED: 1 TREE
- 4. PARKING LOT PERIMETER LANDSCAPING (TREES):
 1 SHADE TREE/20' OF PARKING PERIMETER.
 REQUIRED: 2 TREES
 PROVIDED: 2 TREES
- 5. SCREENING FROM PUBLIC RIGHT-OF-WAY:
 EXISTING AND PROPOSED DISPLAY AREAS TO SATISFY REQUIREMENT.
- 6. ACCORDING TO THE USDA PLANT HARDINESS ZONE MAP THE ANNUAL MINIMUM TEMPERATURE ZONES FOR SOUTHERN NH ARE BETWEEN ZONE 4 (-30 TO -20 DEGREES) AND ZONE 5 (-20 TO -10 DEGREES). THE PLANT MATERIALS SHOWN ON THIS PLAN HAVE A HARDINESS ZONE TO MEET THAT OF SOUTHERN NH.
- 7. AT TIME OF PLANTING:
 ALL TREES SHALL BE A MINIMUM OF 3" CALIPER.
 ALL ORNAMENTAL TREES SHALL BE A MINIMUM OF 2" CALIPER.
 ALL EVERGREEN TREES SHALL BE A MINIMUM OF 6' HIGH.
- 8. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE THROUGHOUT CONSTRUCTION OF PROTECTIVE TREE FENCING LOCATED 12" INCHES OFF THE THE DRIPLINE OF ALL TREES TO BE PROTECTED. PRIOR TO CONSTRUCTION THE CONTRACTOR IS REQUIRED TO HAVE ALL NO-CUT ZONES DELINEATED IN THE FIELD.
- 9. THE CONTRACTOR/APPLICANT IS RESPONSIBLE FOR REPLACEMENT OF "ANY TREES DESIGNATED TO REMAIN, WHICH HAVE BEEN DAMAGED, KILLED OR REMOVED AS A RESULT OF CONSTRUCTION ACTIVITIES". SEE TOWN OF LONDONDERRY "LANDSCAPE DESIGN STANDARDS" SECTION 3.10.D OF THE SITE PLAN REGULATIONS.
- 10. THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPE AREAS ONCE CONSTRUCTION IS COMPLETED AS OUTLINED IN THE TOWN OF LONDONDERRY, "LANDSCAPE DESIGN STANDARDS" SECTION 3.10.F OF THE SITE PLAN REGULATIONS.

LANDSCAPE LEGEND (LONDONDERRY)

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
	4	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	3 TO 3 1/2" CAL.	B&B
	2	NYSSA SYLVATICA BLACK GUM	3 TO 3 1/2" CAL.	B&B
	6	PINUS STROBUS WHITE PINE	3 GAL.	CONT.
	15	CEANOTHUS AMERICANUS NEW JERSEY TEA	3 GAL.	CONT.
	17	JUNIPERUS C. 'PFITZERIANA COMPACTA' COMPACT PFITZER JUNIPER	3 GAL.	CONT.
	8	SYRINGA PATULA 'MISS KIM' MISS KIM LILAC	3 GAL.	CONT.

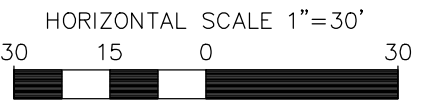
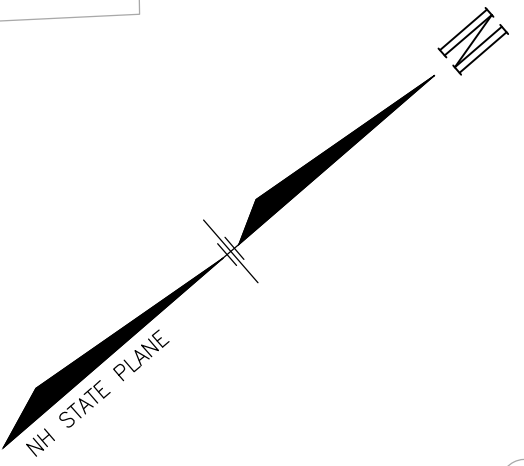
LANDSCAPE LEGEND (HUDSON)

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
	3	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	3 TO 3 1/2" CAL.	B&B
	3	NYSSA SYLVATICA BLACK GUM	3 TO 3 1/2" CAL.	B&B
	18	CEANOTHUS AMERICANUS NEW JERSEY TEA	3 GAL.	CONT.
	14	NORTHERN BAYBERRY MYRICA PENNSYLVANICA	3 GAL.	CONT.
	12	JUNIPERUS C. 'PFITZERIANA COMPACTA' COMPACT PFITZER JUNIPER	3 GAL.	CONT.
	10	SYRINGA PATULA 'MISS KIM' MISS KIM LILAC	3 GAL.	CONT.
	9	THUJA OCCIDENTALIS 'TECHNY' MISSION ARBORVITAE	3 GAL.	CONT.

OWNER'S SIGNATURE _____ DATE _____
 OWNER OR REPRESENTATIVE

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING _____
 SIGNATURE _____ DATE _____
 SIGNATURE _____ DATE _____
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REV	DATE	DESCRIPTION	DR	CK
2	11/12/2021	REV. PER CONSERVATION COMM. COMMENTS	JSH	RED
1	9/24/2021	REV. PER ENGINEERING COMMENTS	PWH	JSH

SITE DEVELOPMENT PLANS

TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A

LANDSCAPE PLAN
BOBCAT OF NEW HAMPSHIRE
2 REBEL RD & 345 DERRY RD (HUDSON, NH)
307 NASHUA RD (LONDONDERRY, NH)
 OWNED BY
MAL-MAR, LLC
 PREPARED FOR
BOBCAT OF NEW HAMPSHIRE
SCALE: 1"=30' JULY 26, 2021

TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

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17851-08 DR PWH FB
 CK JSH CADFILE 17851-08_XR_LANDSCAPING C-6

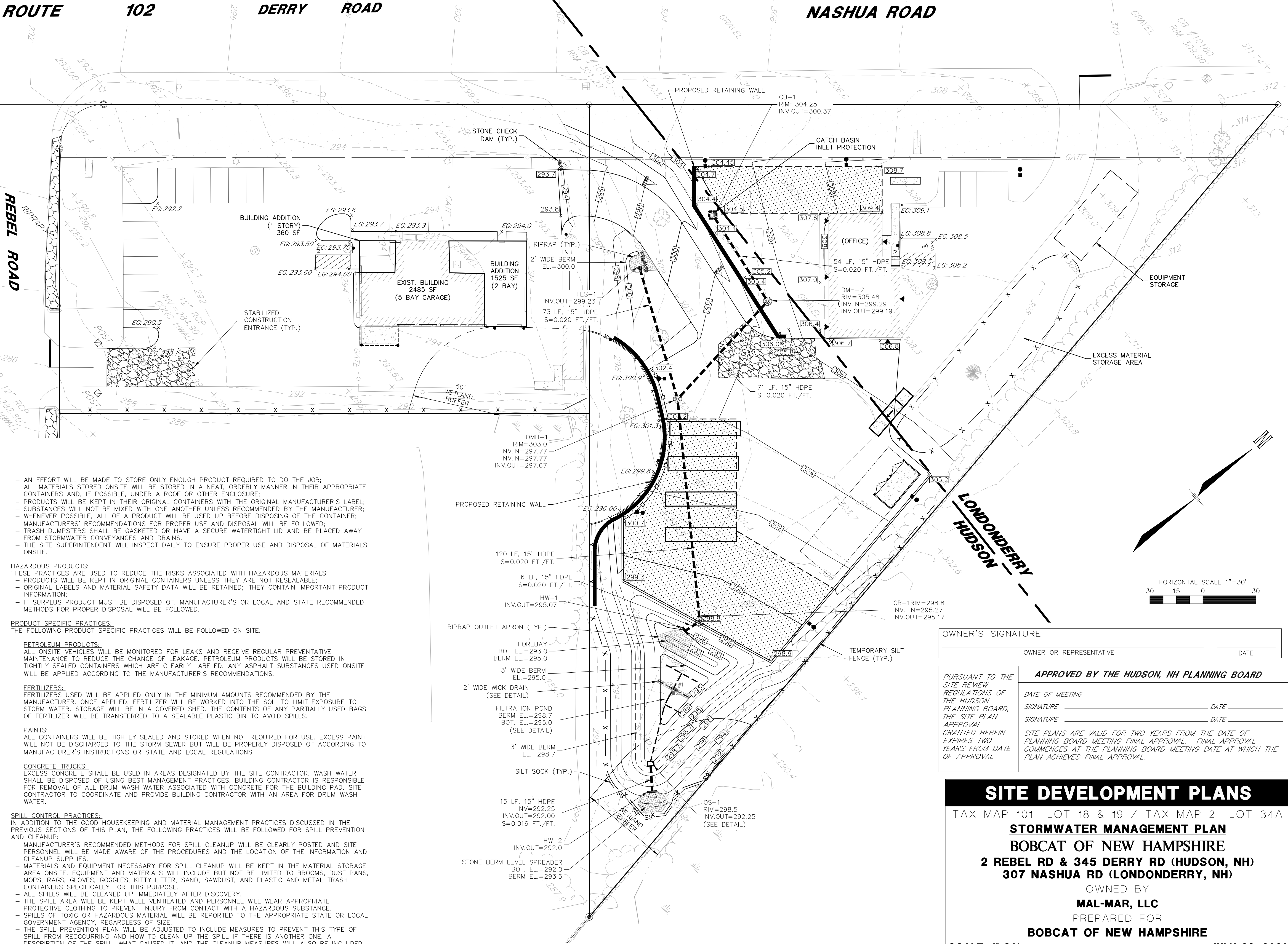
CONSTRUCTION GENERAL PERMIT

1. THE OWNER, IN CONJUNCTION WITH THE CONTRACTOR (OPERATORS), MUST OBTAIN A CONSTRUCTION GENERAL PERMIT (CGP) FOR LARGE CONSTRUCTION ACTIVITIES (FIVE OR MORE ACRES) OR SMALL CONSTRUCTION ACTIVITIES (GREATER THAN ONE ACRE BUT LESS THAN FIVE ACRES) FROM THE ENVIRONMENTAL PROTECTION AGENCY (EPA), AS PART OF THE CGP, A STORMWATER NOTICE OF INTENT (NOI) MUST BE SUBMITTED TO THE EPA AT LEAST 7 DAYS PRIOR TO COMMENCING CONSTRUCTION. THE NOI MUST BE SUBMITTED TO STORM WATER NOTICE OF INTENT (4203M), USEPA, 1200 PENNSYLVANIA AVE. NW, WASHINGTON, DC 20460.
2. THE CGP OUTLINES A SET OF PROVISIONS MANDATING THE OWNER AND CONTRACTOR TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER REGULATIONS, INCLUDING, BUT NOT LIMITED TO: STORM WATER POLLUTION PREVENTION PLANS (SWPPP'S), IMPLEMENTATION OF EROSION AND SEDIMENTATION CONTROLS, EQUIPMENT MAINTENANCE GUIDELINES, ETC. PLEASE CONTACT USEPA OFFICE OF WASTEWATER MANAGEMENT AT 202-564-9545 OR AT WWW.EPA.GOV/NPDES/STORMWATER FOR ADDITIONAL INFORMATION. FOR FURTHER ASSISTANCE, CONTACT ABBY SWAINE OF NEW ENGLAND'S EPA REGION 1 AT 617-918-1841.

NOTES

1. THIS PROJECT INCLUDES PAVING AND RECONFIGURATION OF THE PARKING LOT/ACCESS DRIVES FOR LOT 101-18 AS WELL AS ADDING OUTDOOR DISPLAY AND STORAGE AREAS. SITE WORK FOR LOT 101-19 INCLUDES THE CONSTRUCTION OF TWO BUILDING ADDITIONS WITH ASSOCIATED SITE IMPROVEMENTS AND OUTDOOR DISPLAY AREAS.
2. TOTAL SITE AREA: 2.342 AC
TOTAL AREA OF DISTURBANCE: 1.27± AC
3. SOILS SHOWN ARE FROM THE SOIL SURVEY OF HILLSBOROUGH COUNTY, NH, EASTERN PART, PREPARED BY USDA-SOIL CONSERVATION SERVICES.
140B - CHATFIELD-HOLLIS CANTON COMPLEX
140C - CHATFIELD-HOLLIS CANTON COMPLEX
CpC - CHATFIELD-HOLLIS CANTON COMPLEX
Ssb - SCITUATE FINE SANDY LOAM
4. STORM WATER DRAINAGE SYSTEM IS SHOWN ON THE PLAN. SEE GRADING & DRAINAGE PLAN FOR RIM, INVERT, PIPE LENGTH, AND SLOPE INFORMATION.
POST-CONSTRUCTION RUNOFF COEFFICIENT: C=0.80
IMPERVIOUS SURFACE AREA: 1.35± AC
5. STABILIZATION PRACTICES FOR EROSION AND SEDIMENTATION CONTROLS:
TEMPORARY STABILIZATION - TOPSOIL STOCKPILES AND DISTURBED AREAS OF THE CONSTRUCTION SITE THAT WILL NOT BE REDISTRIBUTED FOR 30 DAYS OR MORE MUST BE STABILIZED BY THE 5TH DAY AFTER THE LAST DISTURBANCE. THE TEMPORARY SEED SHALL BE ANNUAL RYE APPLIED AT THE RATE OF 1.1 LBS PER 1,000 SF. PRIOR TO SEEDING, A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 1.5 TONS PER ACRE OF HAY MULCH OR 1.5 TONS PER ACRE OF MULCH MULCH IS NECESSARY. AREAS OF THE SITE THAT WILL BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILES AND A STONE SUB-BASE UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED. CALCIUM CHLORIDE SHALL BE USED FOR DUST CONTROL IF NEEDED.
PERMANENT STABILIZATION - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 3 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE PERMANENT SEED MIX SHALL BE AS SPECIFIED BY THE LANDSCAPE PLAN NOTES OR MAY OTHERWISE CONSIST OF 0.45 LBS/1,000 SF TALL FESCUE, 0.20 LBS/1,000 SF CREeping RED FESCUE, AND 0.20 LBS/1,000 SF BIRDFOOT TREF-OIL. PRIOR TO SEEDING, A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 1.5 TONS PER ACRE OF HAY MULCH. MULCH TO BE ANCHORED IN PLACE WHERE NECESSARY.
6. STRUCTURAL PRACTICES FOR EROSION AND SEDIMENTATION CONTROL
SILT SOCK - WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE DISTURBED AREAS AND WILL DELINEATE THE LIMITS OF WORK FOR THE PROPOSED CONSTRUCTION. THE SILT SOCK WILL BE INSTALLED BY OTHERS. POSTS SHALL BE USED WITH AT LEAST 6" OF THE POST BURIED BELOW THE GROUND SURFACE TO PREVENT THE SILT SOCK FROM FORMING GAPS NEAR THE GROUND SURFACE. RUNOFF WILL FLOW THROUGH THE OPENINGS IN THE SILT SOCK WHILE RETAINING THE SEDIMENT WITHIN THE CONSTRUCTION AREA.
SILT FENCE - WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE DISTURBED AREAS AND WILL DELINEATE THE LIMITS OF WORK FOR THE PROPOSED CONSTRUCTION. THE SILT FENCE WILL BE INSTALLED BY STRETCHING REINFORCED FILTER FABRIC BETWEEN POSTS WITH AT LEAST 8" OF THE FABRIC BURIED BELOW THE GROUND SURFACE TO PREVENT GAPS FROM FORMING NEAR THE GROUND SURFACE. RUNOFF WILL FLOW THROUGH THE OPENINGS IN THE FILTER FABRIC WHILE RETAINING THE SEDIMENT WITHIN THE CONSTRUCTION AREA.
STABILIZED CONSTRUCTION ENTRANCE - WILL BE INSTALLED IN ACCORDANCE WITH THE DETAIL AT THE ENTRANCE TO THE CONSTRUCTION SITE TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS OFF THE SITE. THE STABILIZED ENTRANCE WILL BE 20'-WIDE AND FLARE AT THE ENTRANCE TO THE PAVED ROAD AND HAVE A DEPTH OF 12" OF STONE. THE STABILIZED ENTRANCE SHALL BE MAINTAINED UNTIL THE REMAINDER OF THE CONSTRUCTION SITE HAS BEEN FULLY STABILIZED. THE PAVED STREET ADJACENT TO THE SITE SHALL BE SWEEPED ON A WEEKLY BASIS TO REMOVE EXCESS MUD AND DIRT FROM BEING TRACKED FROM THE SITE. TRUCKS HAULING MATERIAL TO AND/OR FROM THE SITE SHALL BE COVERED WITH A TARP/AULIN.
CATCH BASINS - WILL BE CLEANED ON AN ANNUAL BASIS TO REMOVE ALL SEDIMENTS FROM THE CATCH BASIN SUMPS.
CATCH BASIN PROTECTION - WILL BE INSTALLED AT ALL CATCH BASINS WITHIN THE CONSTRUCTION AREA. FILTER FABRIC WILL BE INSTALLED AROUND THE GRATES OF CATCH BASINS THAT ARE LOCATED IN THE TRAVEL WAY AND STONE/FILTER FABRIC PROTECTION WILL BE INSTALLED AT THE CATCH BASINS FOUND WITHIN THE PARKING AREA AND GRASS.
BLANKET SLOPE PROTECTION - SHALL BE INSTALLED ON ALL 2:1 SLOPES OR STEEPER ON SITE. ANCHOR THE TOP OF THE BLANKET BY ANCHORING THE BLANKET IN A 6" DEEP TRENCH, BACKFILL AND COMPACT TRENCH AFTER STAPLING. ROLL THE BLANKET IN THE DIRECTION OF STORM WATER FLOW. WHERE 2 OR MORE STRIPS OF BLANKET ARE REQUIRED, A MINIMUM OF 4" OF OVERLAP SHALL BE PROVIDED.
STONE CHECK DAMS - WILL BE INSTALLED IN EXISTING AND PROPOSED GRASS SWALES TO REDUCE THE VELOCITY OF CONCENTRATED STORM WATER FLOWS AND PREVENT EROSION OF THE SWALE.
7. STORM WATER MANAGEMENT
STORM WATER DRAINAGE FOR DEVELOPED AREAS WILL BE COLLECTED BY A PIPE AND CATCH BASIN CLOSED DRAINAGE SYSTEM. APPROXIMATELY 1.07 ACRES OF THE 2.342 ACRE SITE WILL REMAIN UNTOUCHED AND IN ITS NATURAL STATE. WHEN CONSTRUCTION IS COMPLETE, THE MAJORITY OF THE SITE WILL DRAIN TO ONE FILTRATION BASIN SYSTEM FOR STORMWATER RUN OFF TREATMENT.
8. ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURE DUMPSTERS OR APPROVED ENCLOSURE AND REMOVED FROM THE SITE ON A WEEKLY BASIS. NO CONSTRUCTION WASTE SHALL BE BURIED ON SITE. PORTABLE TOILET/SANITARY WASTE FACILITIES WILL BE PROVIDED DURING CONSTRUCTION AND MAINTAINED/DISPOSED OF ON A REGULAR BASIS IN ACCORDANCE WITH TOWN AND STATE REGULATIONS.
9. THRUST BLOCK SHALL BE PROVIDED WHERE WATER LINE CHANGES DIRECTION OR TAPS INTO EXISTING WATER LINE.
10. A LIST OF CONSTRUCTION ITEMS AND OTHER PRODUCTS USED ON THIS PROJECT SHALL BE KEPT ON RECORD WITH THIS PLAN ONSITE. ALL CHEMICALS, PETROLEUM PRODUCTS AND OTHER MATERIALS USED DURING CONSTRUCTION SHALL BE STORED IN A SECURE AREA, AND PRECAUTIONS USED TO PREVENT POTENTIAL SOURCES OF CONTAMINATION OR POLLUTION. ANY SPILL OF THESE TYPES OF SUBSTANCES SHALL BE CLEANED UP AND DISPOSED OF IN A LEGAL MANNER AS SPECIFIED BY STATE REGULATIONS AND THE MANUFACTURER. ANY SPILL IN AMOUNTS EQUAL TO OR EXCEEDING REPORTABLE QUANTITY AS DEFINED BY THE EPA SHALL TAKE THE FOLLOWING STEPS:
- NOTIFY THE NATIONAL RESPONSE CENTER IMMEDIATELY AT (888) 424-8802; IN WASHINGTON, D.C., CALL (202) 426-2675.
- WITHIN 14 DAYS, SUBMIT A WRITTEN DESCRIPTION OF THE RELEASE TO THE EPA REGIONAL OFFICE PROVIDING THE DATE AND CIRCUMSTANCES OF THE RELEASE AND THE STEPS TO BE TAKEN TO PREVENT ANOTHER RELEASE.
- NOTIFY THE NATIONAL RESPONSE CENTER IMMEDIATELY AT (888) 424-8802; IN WASHINGTON, D.C., CALL (202) 426-2675.
- WITHIN 14 DAYS, SUBMIT A WRITTEN DESCRIPTION OF THE RELEASE TO THE EPA REGIONAL OFFICE PROVIDING THE DATE AND CIRCUMSTANCES OF THE RELEASE AND THE STEPS TO BE TAKEN TO PREVENT ANOTHER RELEASE.
- NOTIFY THE NATIONAL RESPONSE CENTER IMMEDIATELY AT (888) 424-8802; IN WASHINGTON, D.C., CALL (202) 426-2675.

GOOD HOUSEKEEPING.
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.



- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB;
- ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE;
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL;
- SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER;
- WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER;
- MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED;
- TRASH DUMPSTERS SHALL BE GASKETED OR HAVE A SECURE WATERTIGHT LID AND BE PLACED AWAY FROM STORMWATER CONVEYANCES AND DRAINS.
- THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE.

- HAZARDOUS PRODUCTS:**
THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE;
 - ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION;
 - IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

- PRODUCT SPECIFIC PRACTICES:**
THE FOLLOWING ANNUAL SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:
- PETROLEUM PRODUCTS:**
ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

- FERTILIZERS:**
FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

- PAINTS:**
ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

- CONCRETE TRUCKS:**
EXCESS CONCRETE SHALL BE USED IN AREAS DESIGNATED BY THE SITE CONTRACTOR. WASH WATER SHALL BE DISPOSED OF USING BEST MANAGEMENT PRACTICES. BUILDING CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DRUM WASH WATER ASSOCIATED WITH CONCRETE FOR THE BUILDING PAD. SITE CONTRACTOR TO COORDINATE AND PROVIDE BUILDING CONTRACTOR WITH AN AREA FOR DRUM WASH WATER.

- SPILL CONTROL PRACTICES:**
IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
- MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
 - MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAUWUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
 - ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
 - THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
 - SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF SIZE.
 - THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
 - THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. THEY WILL DESIGNATE AT LEAST THREE OTHER SITE PERSONNEL WHO WILL EACH RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

11. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN RECORDS OF CONSTRUCTION ACTIVITIES, INCLUDING DATES OF MAJOR GRADING ACTIVITIES, DATES WHEN CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED ON A PORTION OF THE SITE, DATES WHEN WORK IS COMPLETED ON A PORTION OF THE SITE, AND DATES WHEN STABILIZATION MEASURES ARE INITIATED ONSITE.
12. THE CONTRACTOR SHALL PERFORM INSPECTIONS OR HAVE A CONSULTING ENGINEER PERFORM INSPECTIONS EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER A STORM OF 0.5" OR GREATER. INSPECTIONS REPORTS ARE TO BE KEPT ON FILE AT THE SITE WITH THIS PLAN. MAINTENANCE OR MODIFICATION SHALL BE IMPLEMENTED AND ADDED TO THE PLAN AS RECOMMENDED BY THE QUALIFIED INSPECTOR.

NOTES:

1. THE APPLICANT SHALL COMPLY WITH ALL PROVISIONS OF THE TOWN OF HUDSON'S MS4 PERMIT, INCLUDING BUT NOT LIMITED TO ANNUAL REPORTING REQUIREMENTS, CONSTRUCTION SITE STORMWATER RUNOFF CONTROL, AND RECORD KEEPING REQUIREMENTS.
2. PERIODIC INSPECTIONS SHALL BE PERFORMED TO ENSURE NO VEHICLE LEAKAGE. IF LEAKAGE IS OBSERVED, LEAKING EQUIPMENT AND SPILLS SHALL BE HANDLED PER STATE AND FEDERAL REGULATIONS.

REV	DATE	DESCRIPTION	DR	CK
2	11/12/2021	REV. PER CONSERVATION COMM. COMMENTS	JSH	RED
1	9/24/2021	REV. PER ENGINEERING COMMENTS	PWH	JSH

OWNER'S SIGNATURE _____ DATE _____
OWNER OR REPRESENTATIVE _____ DATE _____

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING _____
SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

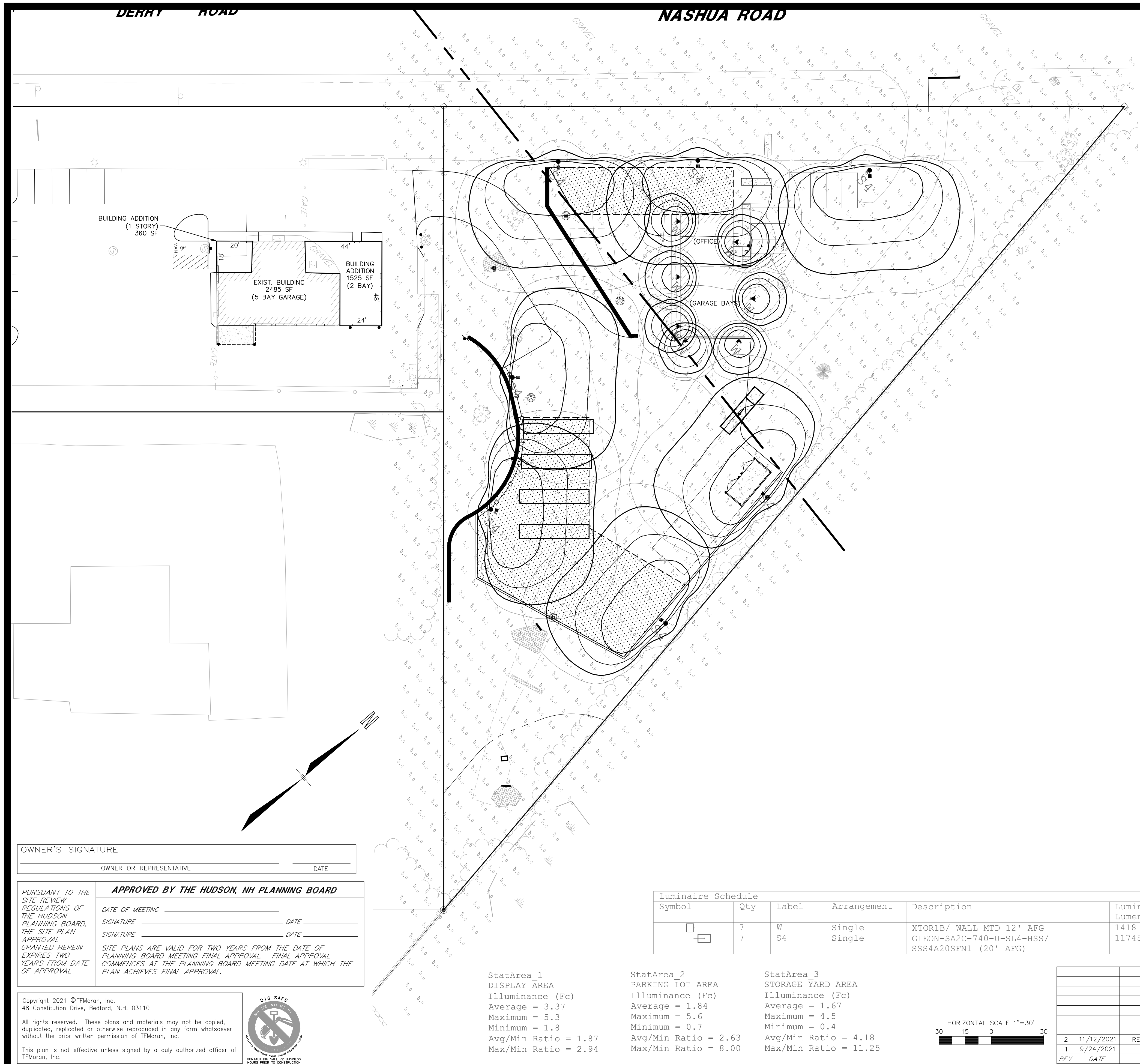
SITE DEVELOPMENT PLANS
TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A
STORMWATER MANAGEMENT PLAN
BOBCAT OF NEW HAMPSHIRE
2 REBEL RD & 345 DERRY RD (HUDSON, NH)
307 NASHUA RD (LONDONDERRY, NH)
OWNED BY
MAL-MAR, LLC
PREPARED FOR
BOBCAT OF NEW HAMPSHIRE
SCALE: 1"=30' **JULY 26, 2021**

TFM	Civil Engineers	48 Constitution Drive
	Structural Engineers	Bedford, NH 03110
	Traffic Engineers	Phone (603) 472-4488
	Land Surveyors	Fax (603) 472-9747
	Landscape Architects	www.tfmoran.com
	Scientists	

17851-08 DR PWH FB -
CK JSH CADFILE 17851-08 SITE PLANS C-7

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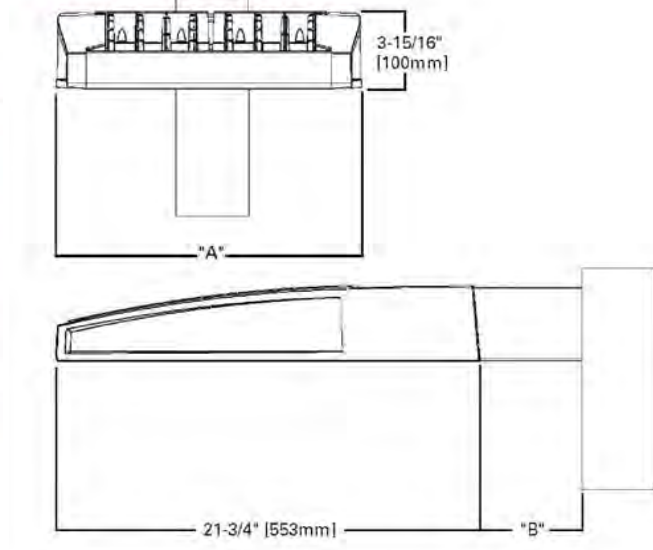




NOTES

1. LIGHTING PLAN AND CALCULATIONS PREPARED BY CHARRON LIGHTING.
2. ALL LIGHTS ARE FULL CUT-OFF FIXTURES AS REQUIRED.
3. THE HOURS OF OPERATION ARE FROM 7:30 AM TO 4:30 PM MONDAY THROUGH FRIDAY. THE LIGHTS ARE INTENDED TO BE USED DURING NON-WORKING HOURS FOR SECURITY LEVELS AND WILL BE DIMMED.

Dimensional Details



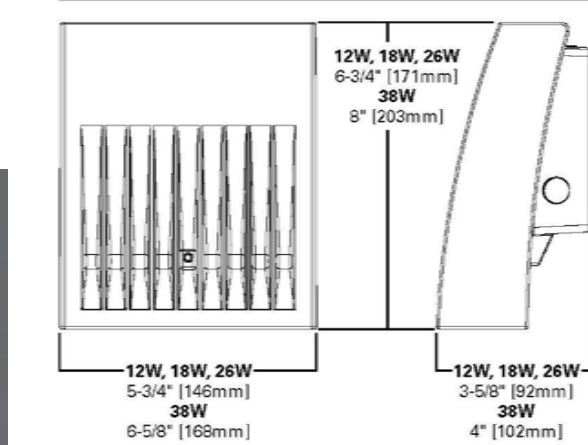
Number of Light Squares	'A' Width	'B' Standard Arm Length	'B' Extended Arm Length	'B' Quick Mount Arm Length	'B' Quick Mount Extended Arm Length
1-4	15-1/2'	7'	10'	10-5/8'	16-9/16'
5-6	21-5/8'	7'	10'	10-5/8'	16-9/16'
7-8	27-5/8'	7'	13'	10-5/8'	-
9-10	33-3/4'	7'	16'	-	-

NOTES: For arm selection requirements and additional line art, see Mounting Details section.

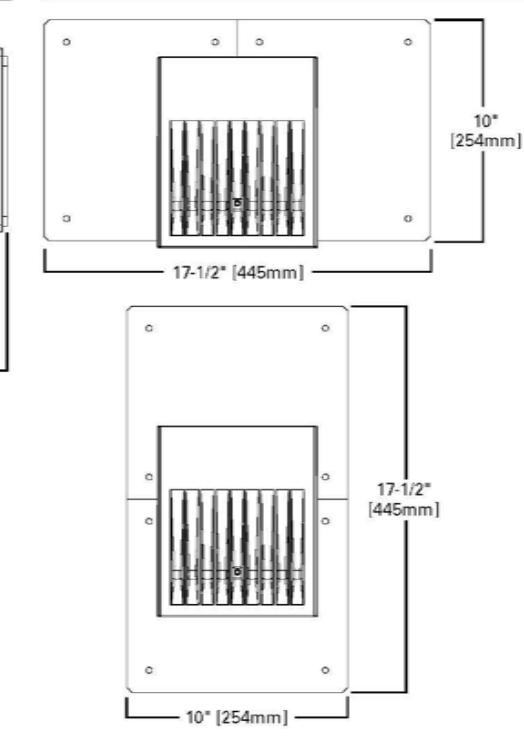
MCGRAW-EDISON GLEON GALLEON

POLE MOUNTED 20' ABOVE F.G. NOT TO SCALE

DIMENSIONS



ESCUTCHEON PLATES



LUMARK XTOR CROSSTOUR LED

WALL MOUNTED 12' ABOVE F.G. NOT TO SCALE



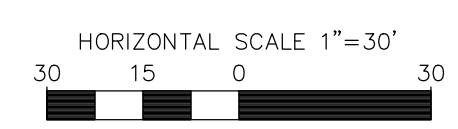
SSS SQUARE STRAIGHT STEEL

SSS SQUARE STRAIGHT STEEL

STEEL POLE NOT TO SCALE

Symbol	Qty	Label	Arrangement	Description	Luminaire Lumens	Luminaire Watts	Total Watts
☐	7	W	Single	XTOR1B/ WALL MTD 12' AFG	1418	12.2	85.4
☐	7	S4	Single	GLEON-SA2C-740-U-SL4-HSS/SSS4A20SFN1 (20' AFG)	11745	113	791

StatArea 1 DISPLAY AREA	StatArea 2 PARKING LOT AREA	StatArea 3 STORAGE YARD AREA
Illuminance (Fc) Average = 3.37 Maximum = 5.3 Minimum = 1.8 Avg/Min Ratio = 1.87 Max/Min Ratio = 2.94	Illuminance (Fc) Average = 1.84 Maximum = 5.6 Minimum = 0.7 Avg/Min Ratio = 2.63 Max/Min Ratio = 8.00	Illuminance (Fc) Average = 1.67 Maximum = 4.5 Minimum = 0.4 Avg/Min Ratio = 4.18 Max/Min Ratio = 11.25



OWNER'S SIGNATURE _____ DATE _____
OWNER OR REPRESENTATIVE

APPROVED BY THE HUDSON, NH PLANNING BOARD

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

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SITE DEVELOPMENT PLANS

TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A

LIGHTING PLAN

BOBCAT OF NEW HAMPSHIRE
2 REBEL RD & 345 DERRY RD (HUDSON, NH)
307 NASHUA RD (LONDONDERRY, NH)

OWNED BY
MAL-MAR, LLC

PREPARED FOR
BOBCAT OF NEW HAMPSHIRE

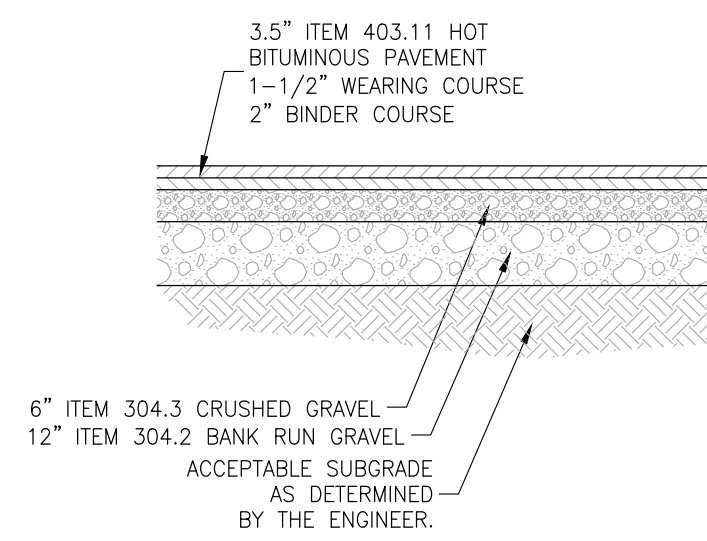
SCALE: 1"=30' **JULY 26, 2021**

TFM Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists

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17851-08	DR PWH	FB	-
	CK JSH	CADFILE	17851-08 SITE PLANS

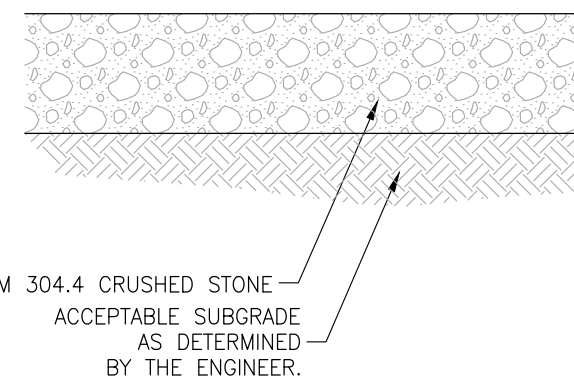
L1



NOTES:
 REMOVE ALL LOAM, CLAY, MUCK, STUMPS, AND OTHER IMPROPER PAVEMENT FOUNDATION MATERIAL WITHIN 2' OF SUBGRADE. REPLACE WITH COMPACTED GRANULAR FILL MATERIAL ACCEPTABLE TO APPROVING AGENCY. COMPACTION TO BE AT LEAST 95% OF STANDARD PROCTOR.
 ALL PAVEMENT, BASE MATERIALS AND WORKMANSHIP TO BE IN COMPLIANCE WITH N.H.D.O.T., "STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION.

TYPICAL PAVEMENT SECTION

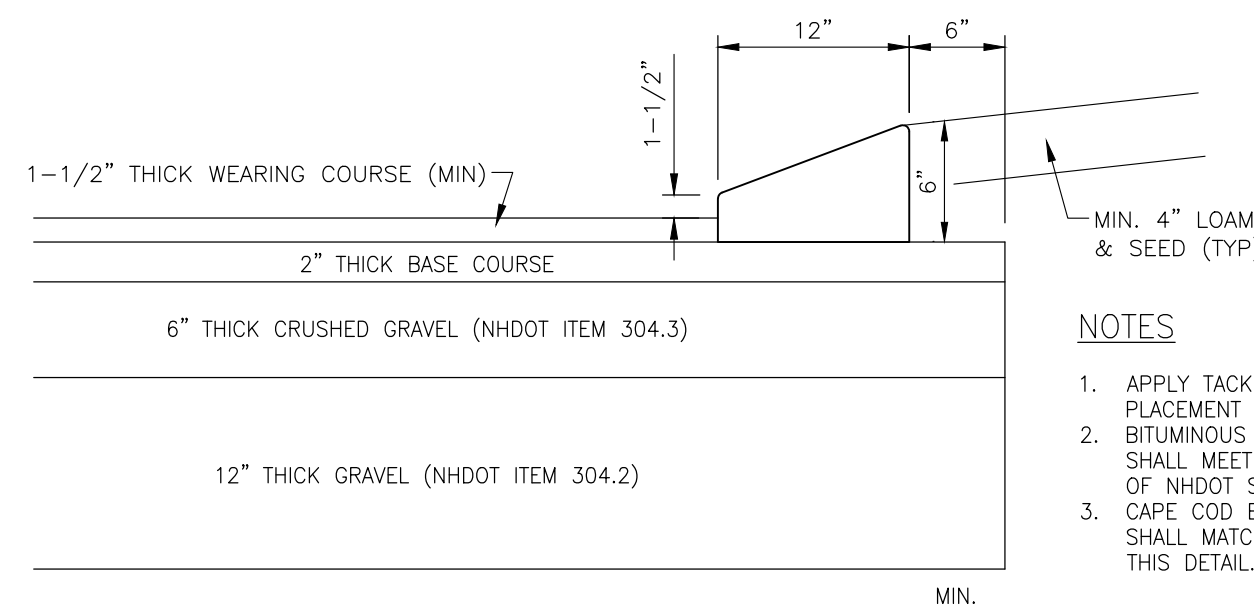
NOT TO SCALE



NOTES:
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 ALL PAVEMENT, BASE MATERIALS AND WORKMANSHIP TO BE IN COMPLIANCE WITH N.H.D.O.T., "STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION.

CRUSHED STONE SECTION

NOT TO SCALE

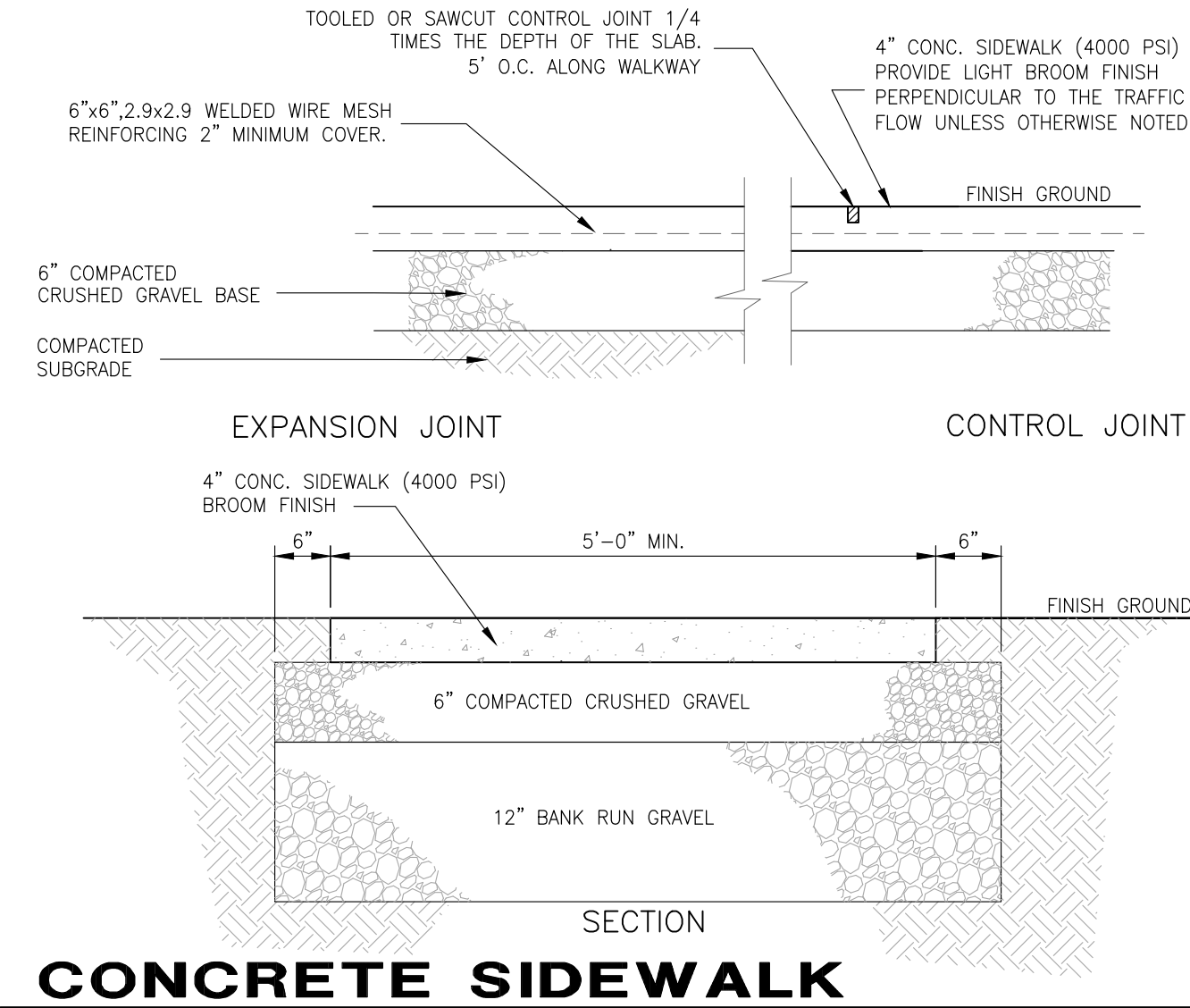


NOTES:
 1. APPLY TACK COAT PRIOR TO PLACEMENT OF CURB.
 2. BITUMINOUS CURB MATERIAL SHALL MEET THE REQUIREMENTS OF NHDOT SECTION 609.
 3. CAPE COD BERM DIMENSIONS SHALL MATCH THOSE GIVEN IN THIS DETAIL.

CAPE COD BERM

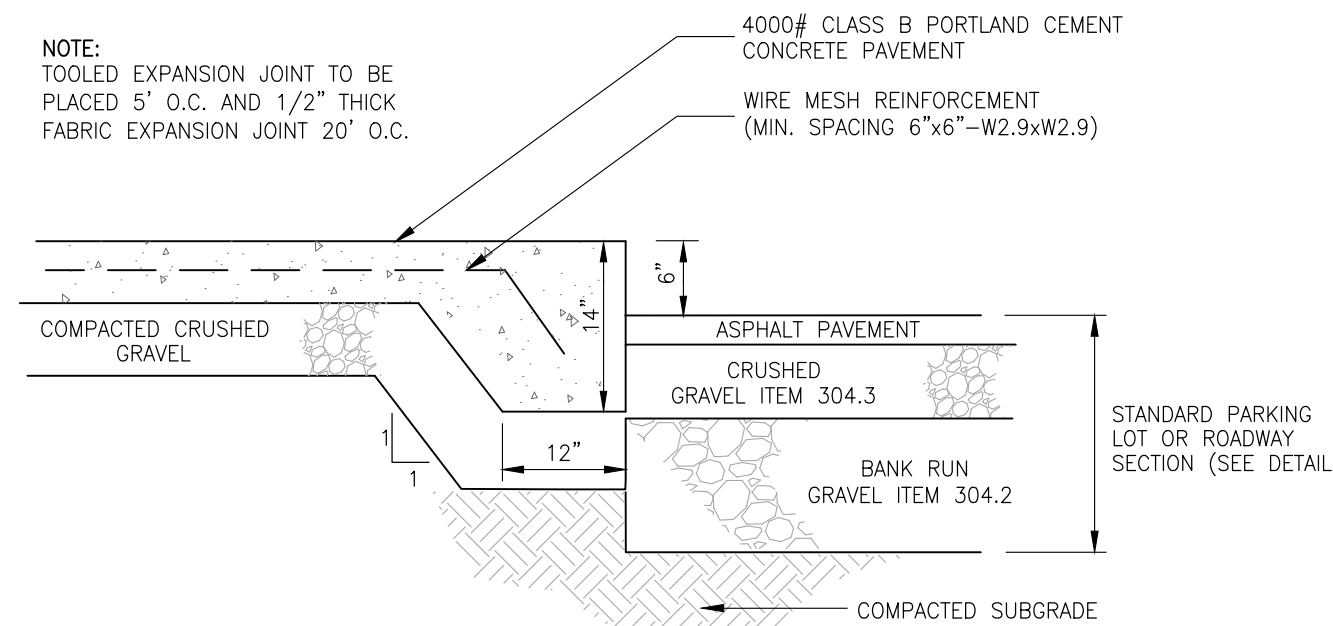
TOWN OF LONDONDERRY

NOT TO SCALE



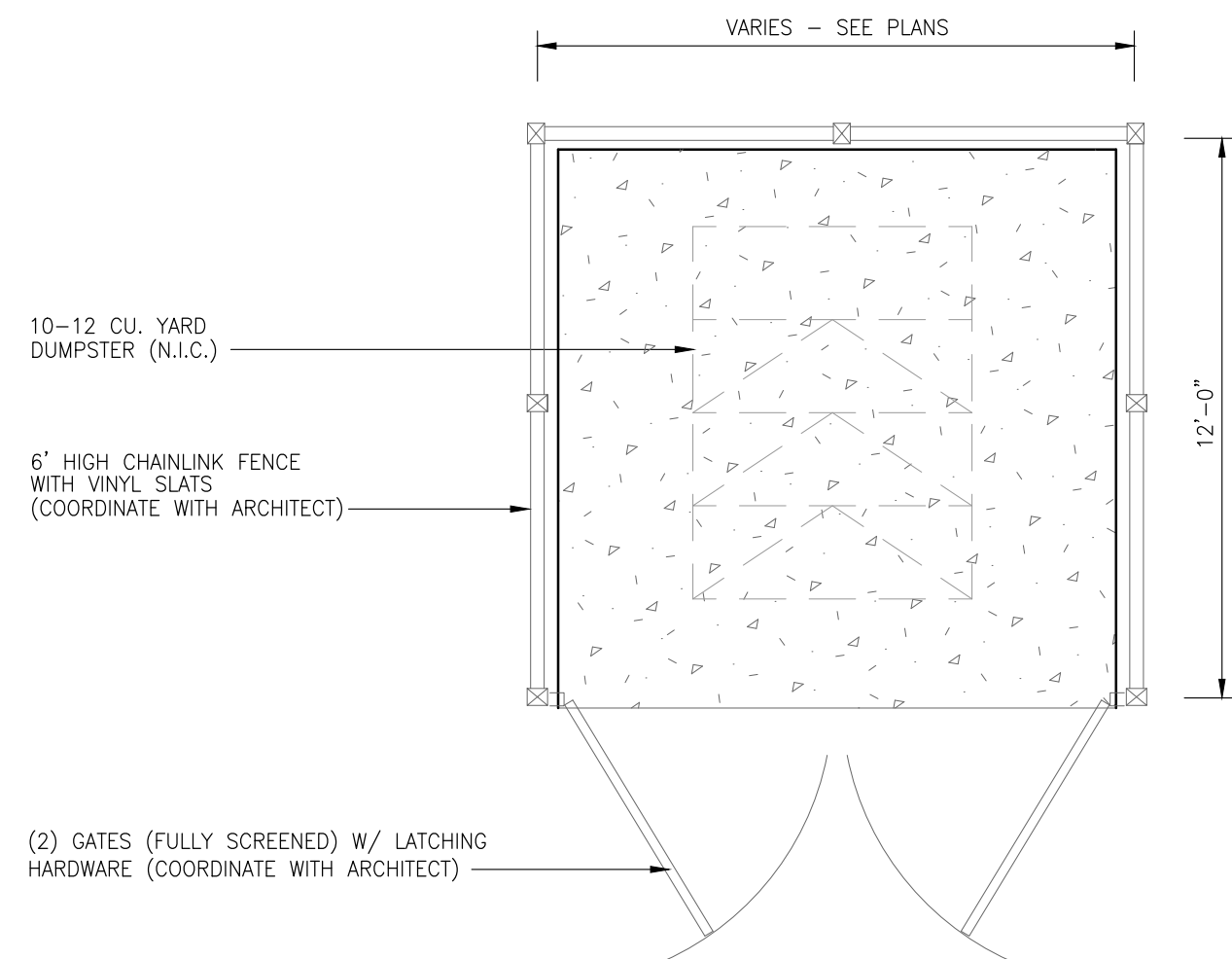
CONCRETE SIDEWALK

NOT TO SCALE



CONCRETE CURB AT SIDEWALK

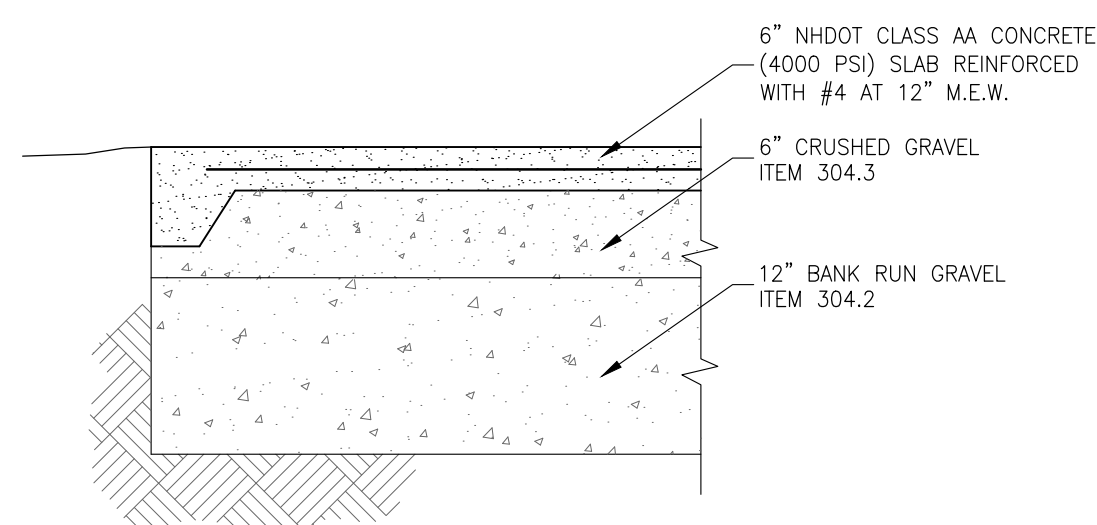
NOT TO SCALE



DUMPSTER ENCLOSURE - VINYL

SEE PLANS FOR LAYOUT

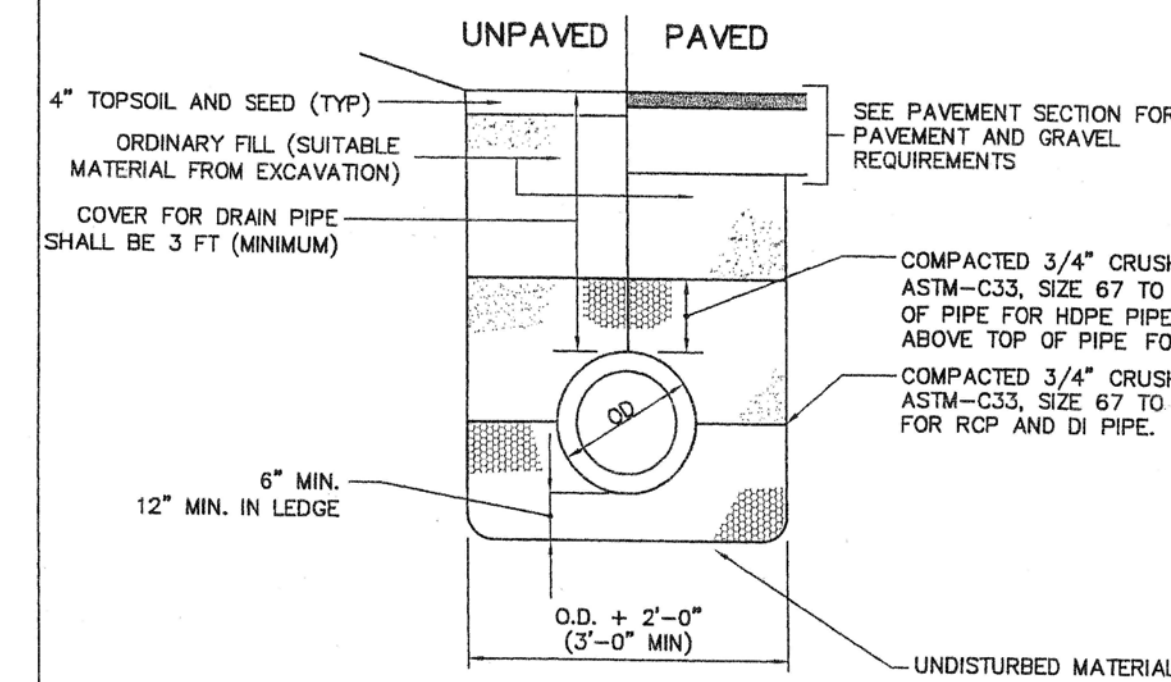
NOT TO SCALE



CONCRETE PAD

DUMPSTER

NOT TO SCALE



NOTE:

DRAIN PIPE SHALL BE 15" DIAMETER MIN.
 PLASTIC DRAIN PIPE (HDPE) SHALL BE ADS N-12 (CORRUGATED EXTERIOR/SMOOTH INTERIOR) OR EQUAL MEETING AASHTO M-252 AND H-20 LOADING.
 DI DRAIN PIPE SHALL BE CL. 50.
 RC DRAIN PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED.

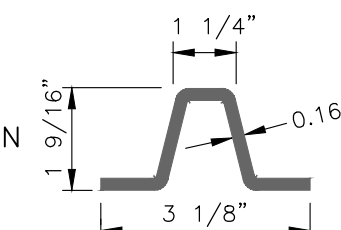
TYPICAL DRAIN PIPE TRENCH

NOT TO SCALE

EXHIBIT D101



POST SECTION



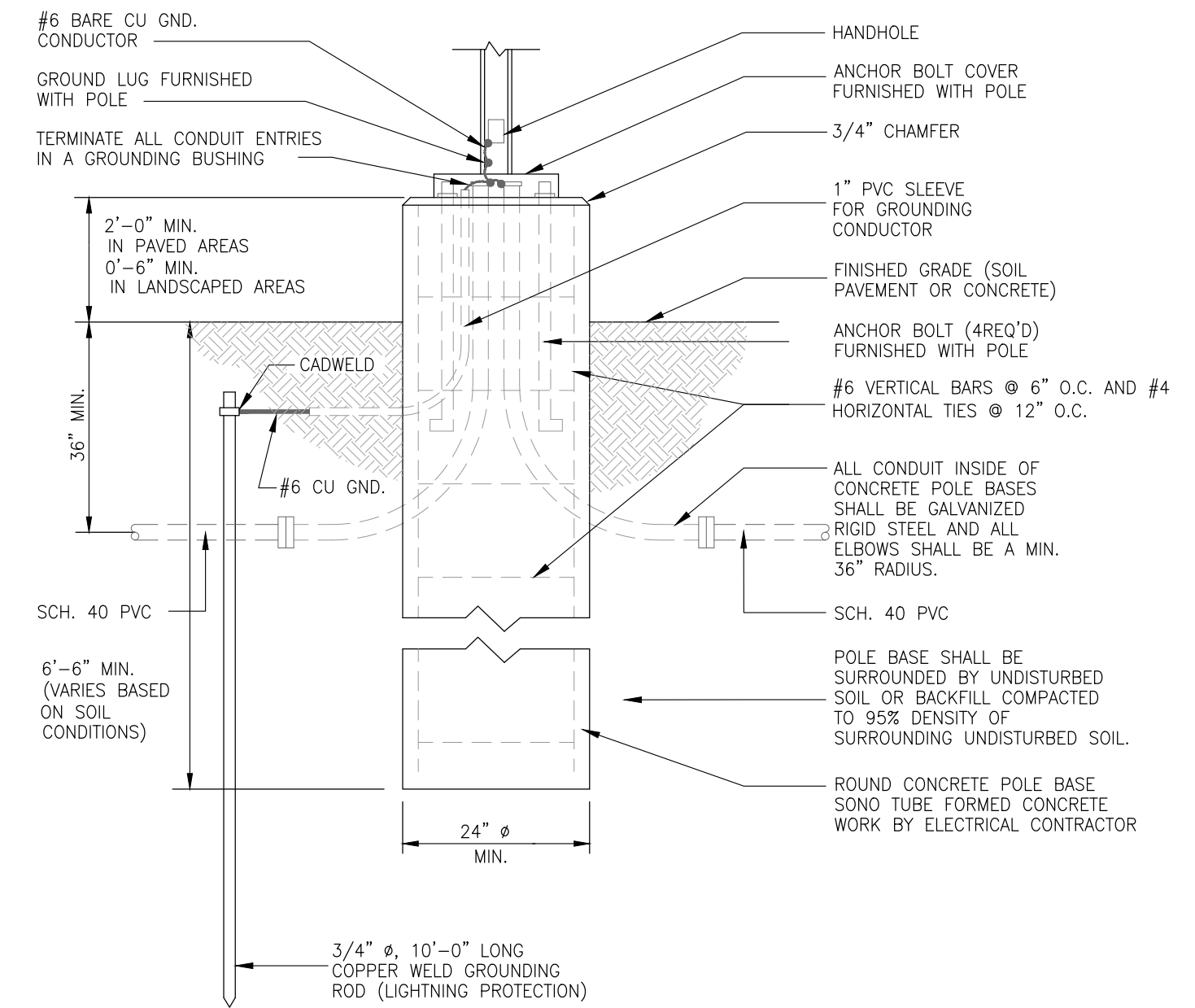
LENGTH: P-12, 12'-0"; P-14, 14'-0"; P-16, 16'-0".
 WEIGHT PER LINEAR FOOT: 2.50 LBS. (MIN.)
 HOLES: 3/8" DIA. 1' C-C FULL LENGTH
 STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070-1080).
 FINISH: SHALL BE PAINTED WITH TWO COATS OF AN APPROVED MEDIUM GREEN, BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.

NOTES:

- POSTS SHALL BE PLUMB; ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND PROPERLY REPLACED. POSTS MAY BE SET OR DRIVEN.
- WHEN POSTS ARE SET, HOLES SHALL BE DUG TO THE PROPER DEPTH. AFTER INSERTING POSTS, THE HOLES SHALL BE BACKFILLED WITH SUITABLE MATERIAL IN LAYERS NO TO EXCEED 6" DEEP THOROUGHLY COMPACTED, CARE BEING TAKEN TO PRESERVE THE ALIGNMENT OF THE POST.
- WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED AND AFTER DRIVING THE TOP OF THE POST SHALL HAVE SUBSTANTIALLY THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST; BATTERED HEADS WILL NOT BE ACCEPTED.
- POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
- SIGNS SHALL BE ERRECTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- WHEN SIGN IS IN PLACE NO PART OF POST SHALL EXTEND ABOVE THE SIGN.
- DIMENSIONS SHOWN ARE NOMINAL.
- ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE.

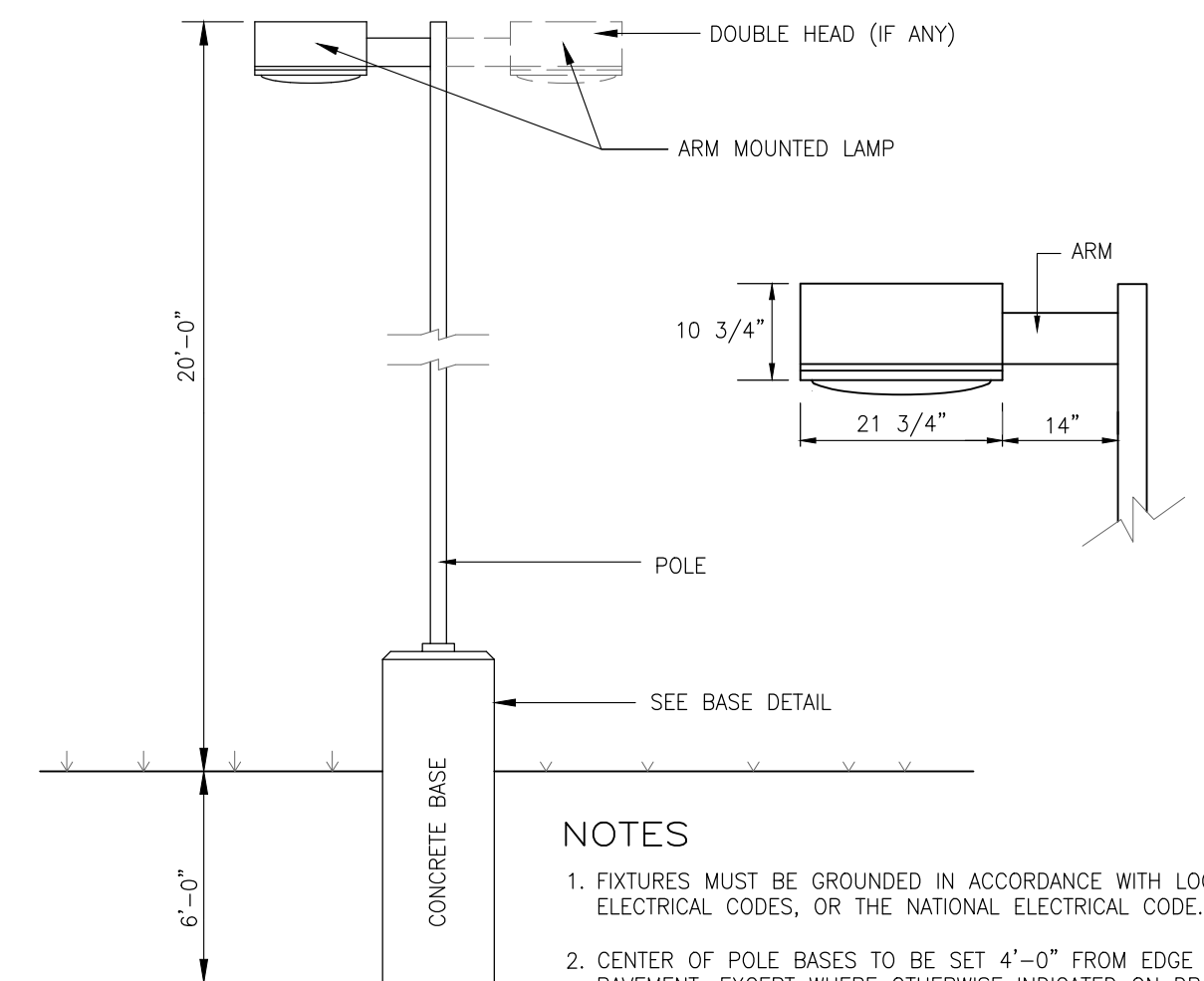
TRAFFIC SIGN POST IN GRADE

NOT TO SCALE



LIGHT POLE BASE

NOT TO SCALE



LIGHT POLE

NOT TO SCALE

TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A

DETAIL SHEET

BOBCAT OF NEW HAMPSHIRE
 2 REBEL RD & 345 DERRY RD (HUDSON, NH)
 307 NASHUA RD (LONDONDERRY, NH)

OWNED BY
MAL-MAR, LLC
 PREPARED FOR

BOBCAT OF NEW HAMPSHIRE

SCALE: AS SHOWN

JULY 26, 2021

PURSUANT TO THE REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL	APPROVED BY THE HUDSON, NH PLANNING BOARD	
	DATE OF MEETING _____	DATE _____
	SIGNATURE _____	DATE _____
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.		

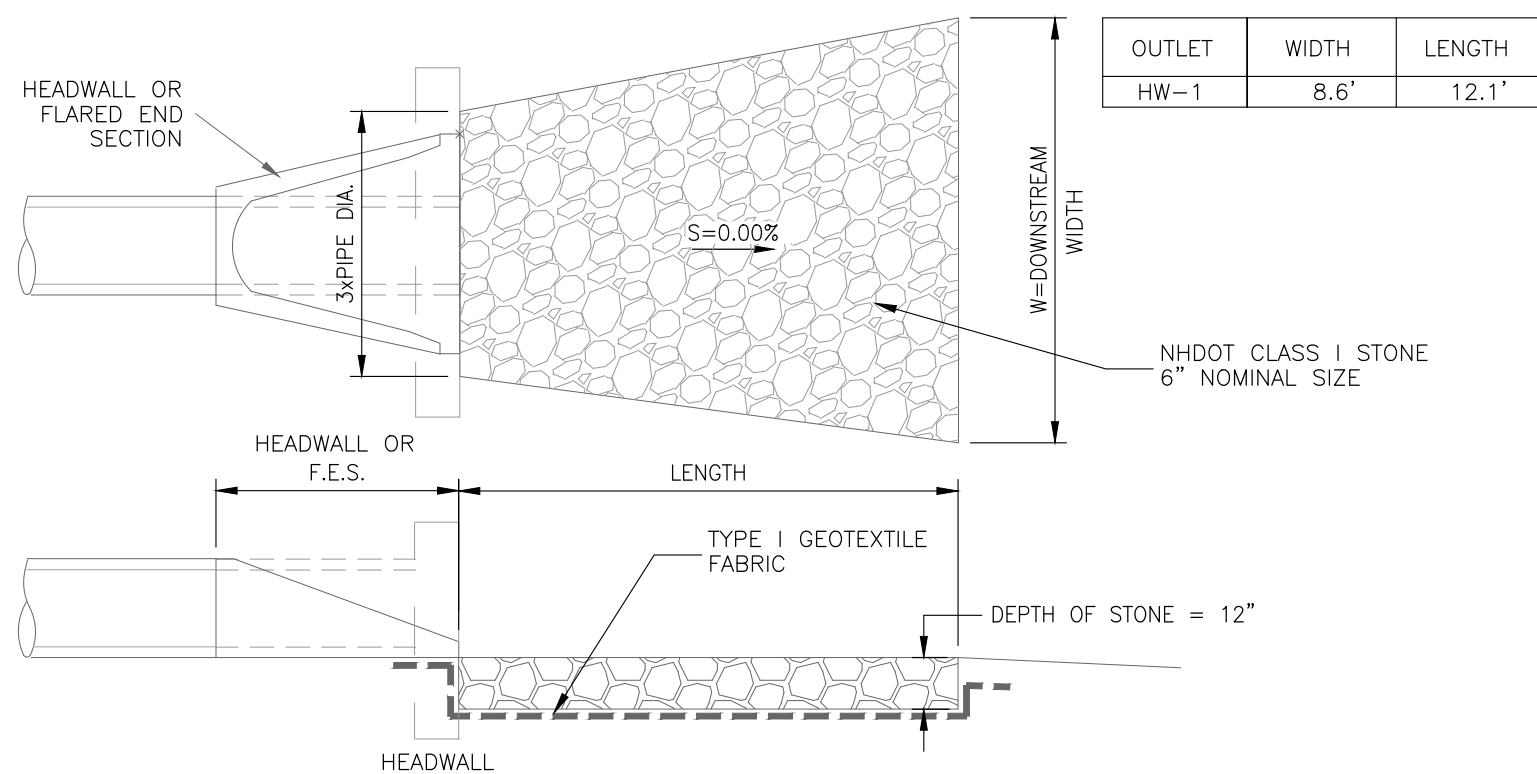
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This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.

REV	DATE	DESCRIPTION	DR	CK
2	11/12/2021	REV. PER CONSERVATION COMM. COMMENTS	JSH	RED
1	9/24/2021	REV. PER ENGINEERING COMMENTS	PWH	JSH
REV	DATE	DESCRIPTION	DR	CK

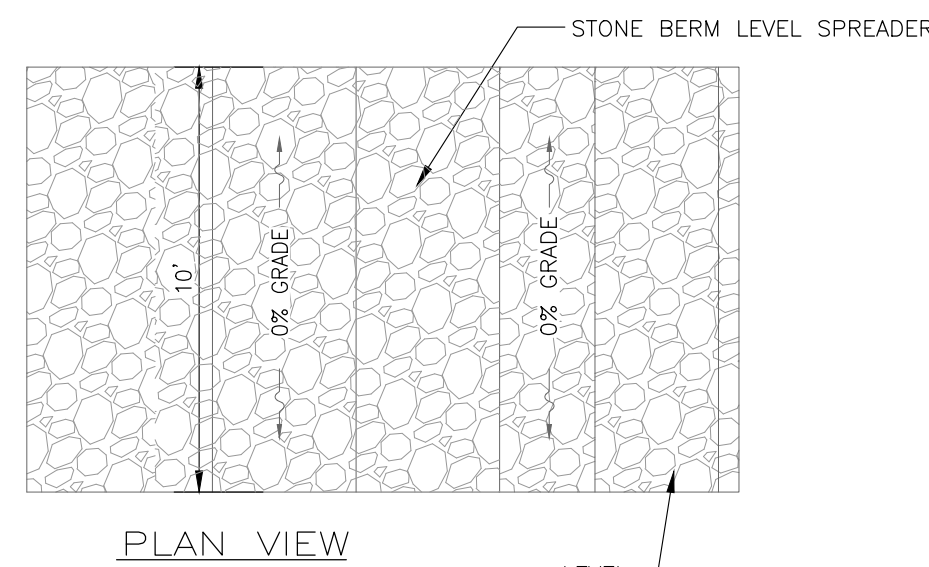
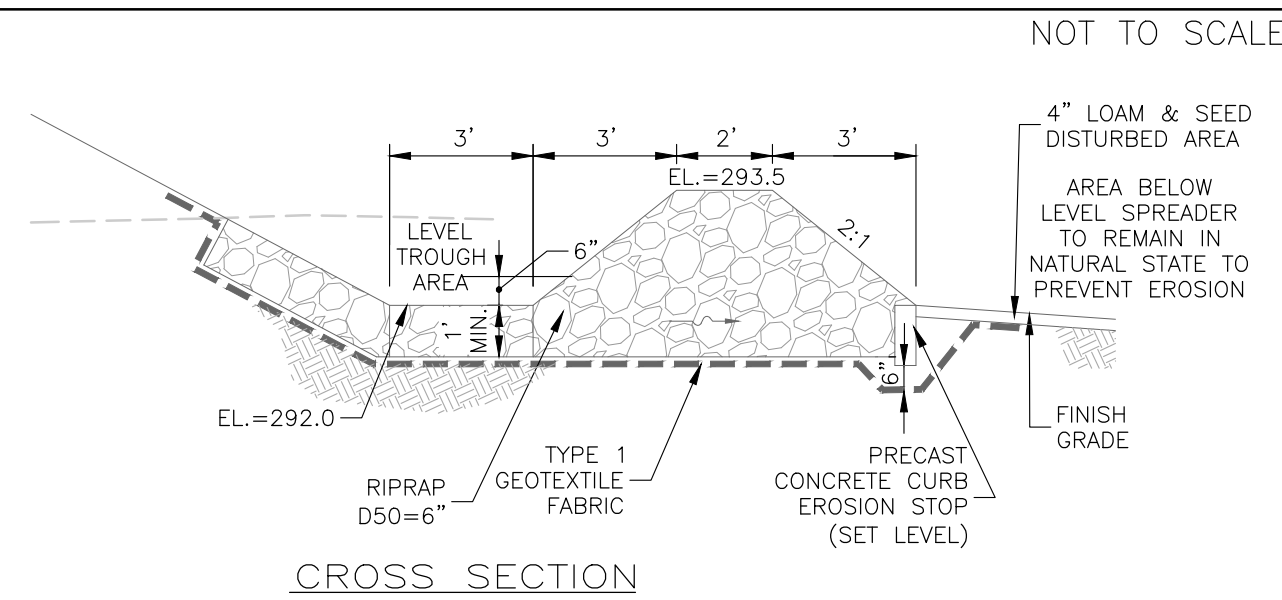
	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com
	17851-08 DR PWH FB CK JSH CADFILE 17851-08 DETAILS	
		C-9



CONSTRUCTION SPECIFICATIONS:

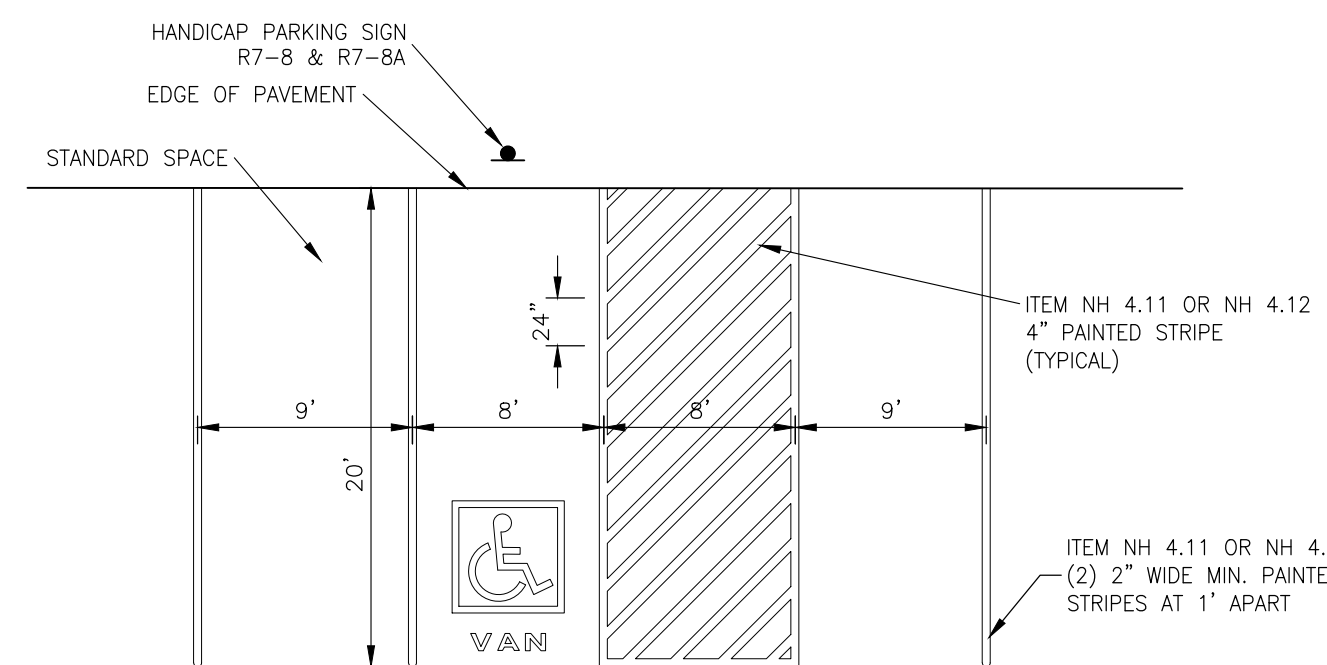
1. THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP-RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK USED FOR RIP-RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP-RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIP-RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

OUTLET APRON



RIPRAP LEVEL SPREADER

NOT TO SCALE



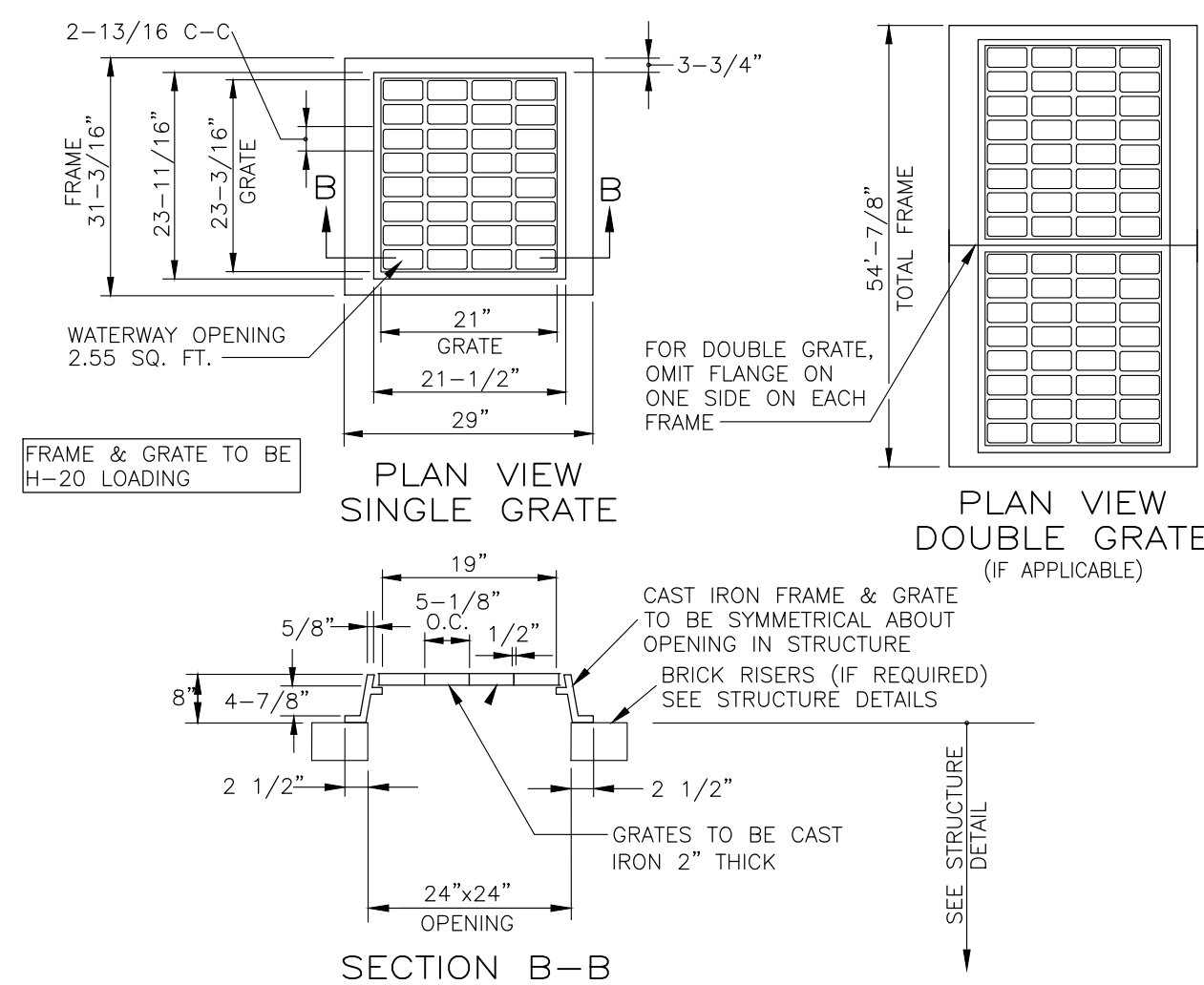
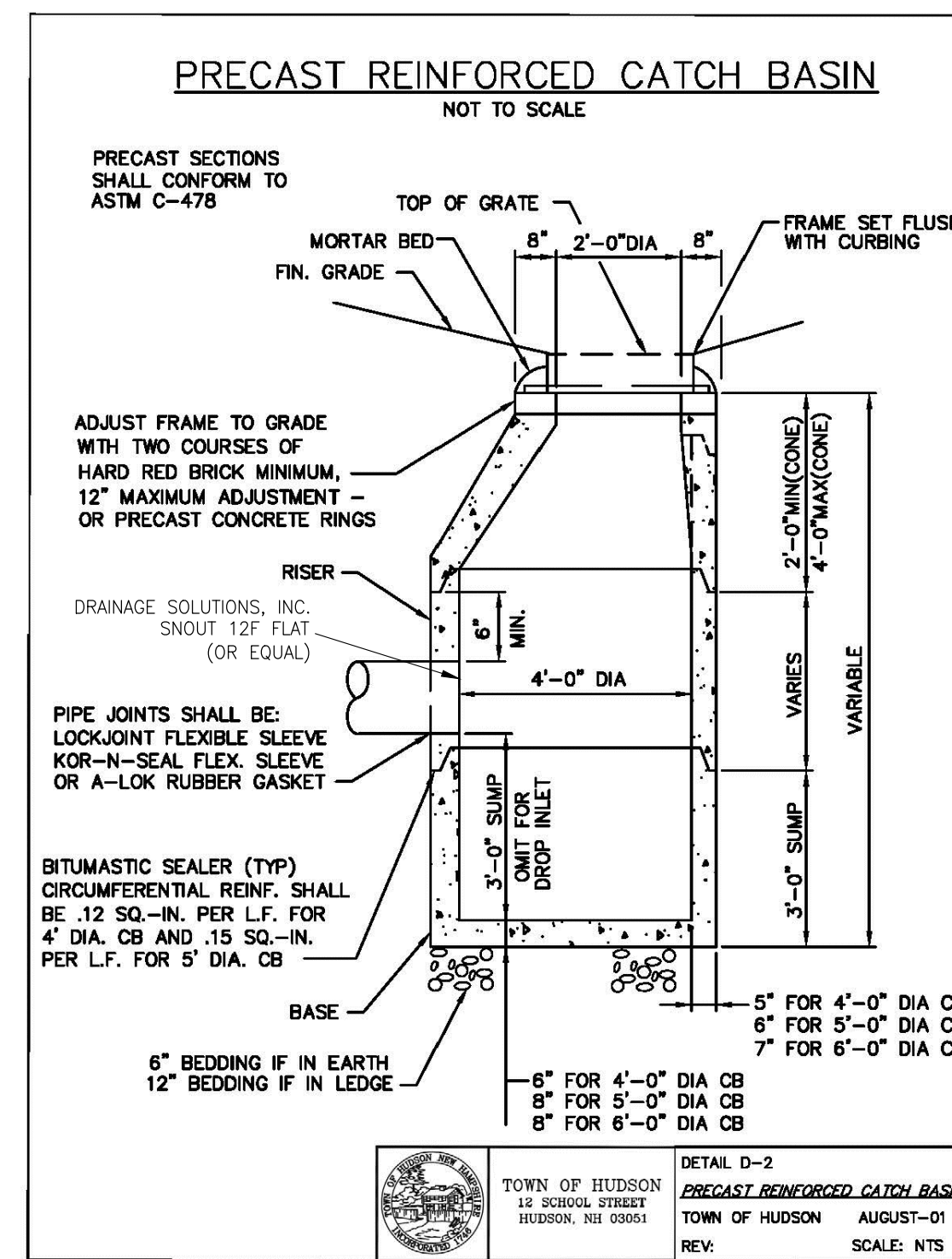
PARKING STRIPING DETAIL

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD

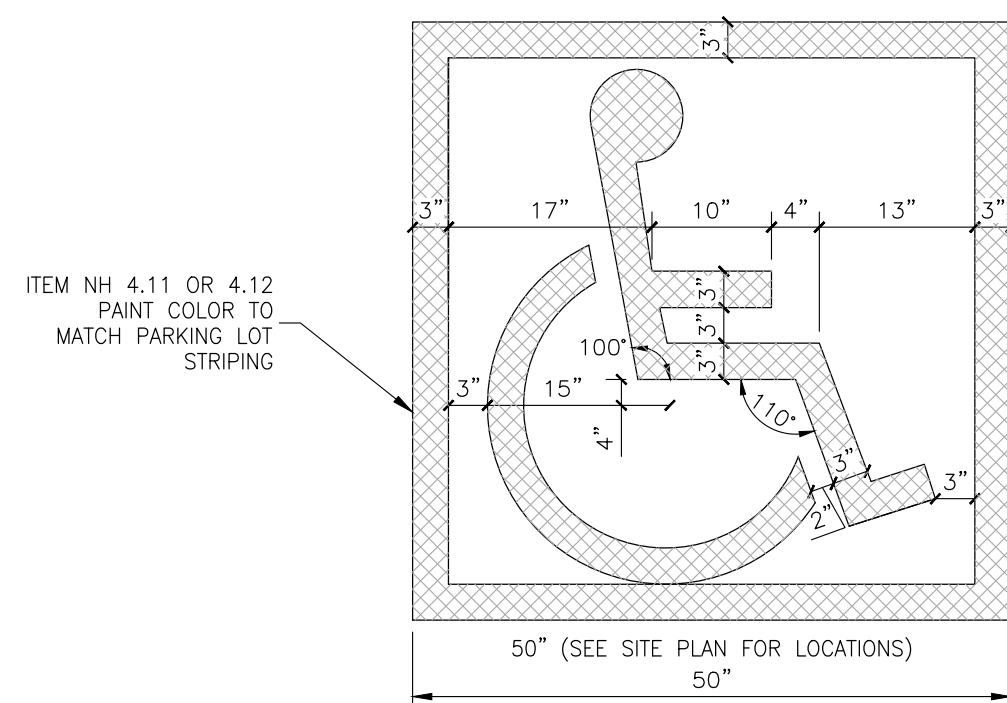
DATE OF MEETING _____ DATE _____
SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



FRAME AND GRATE

NHDOT TYPE B ALT 1 NOT TO SCALE



PAINTED HANDICAP SYMBOL

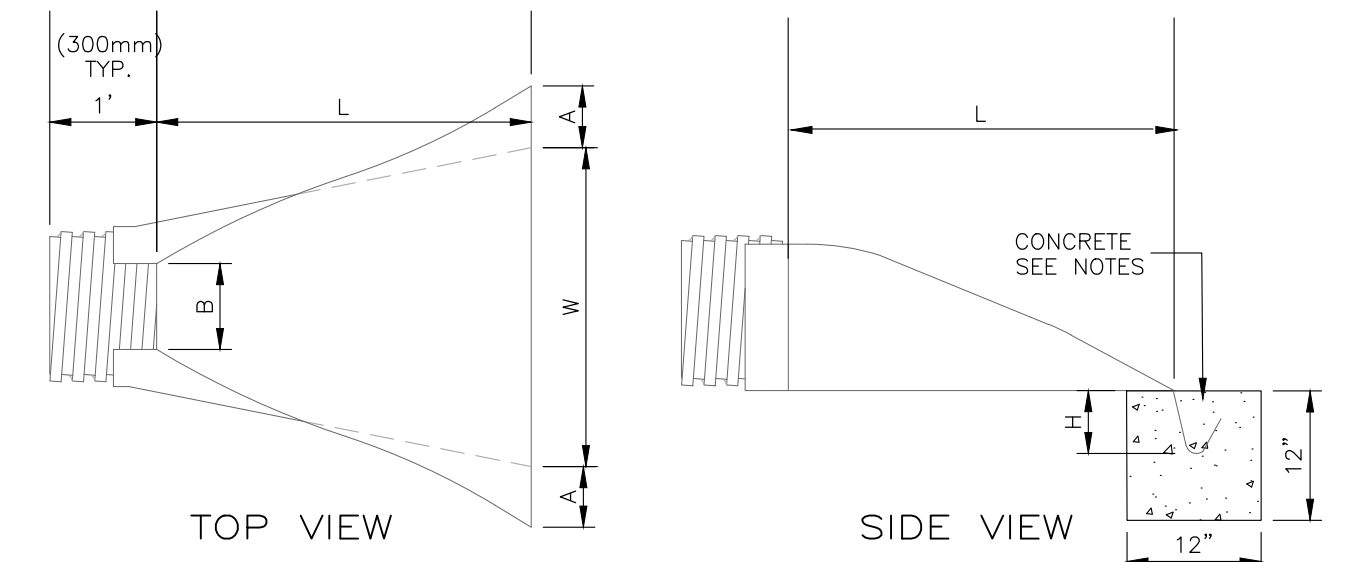
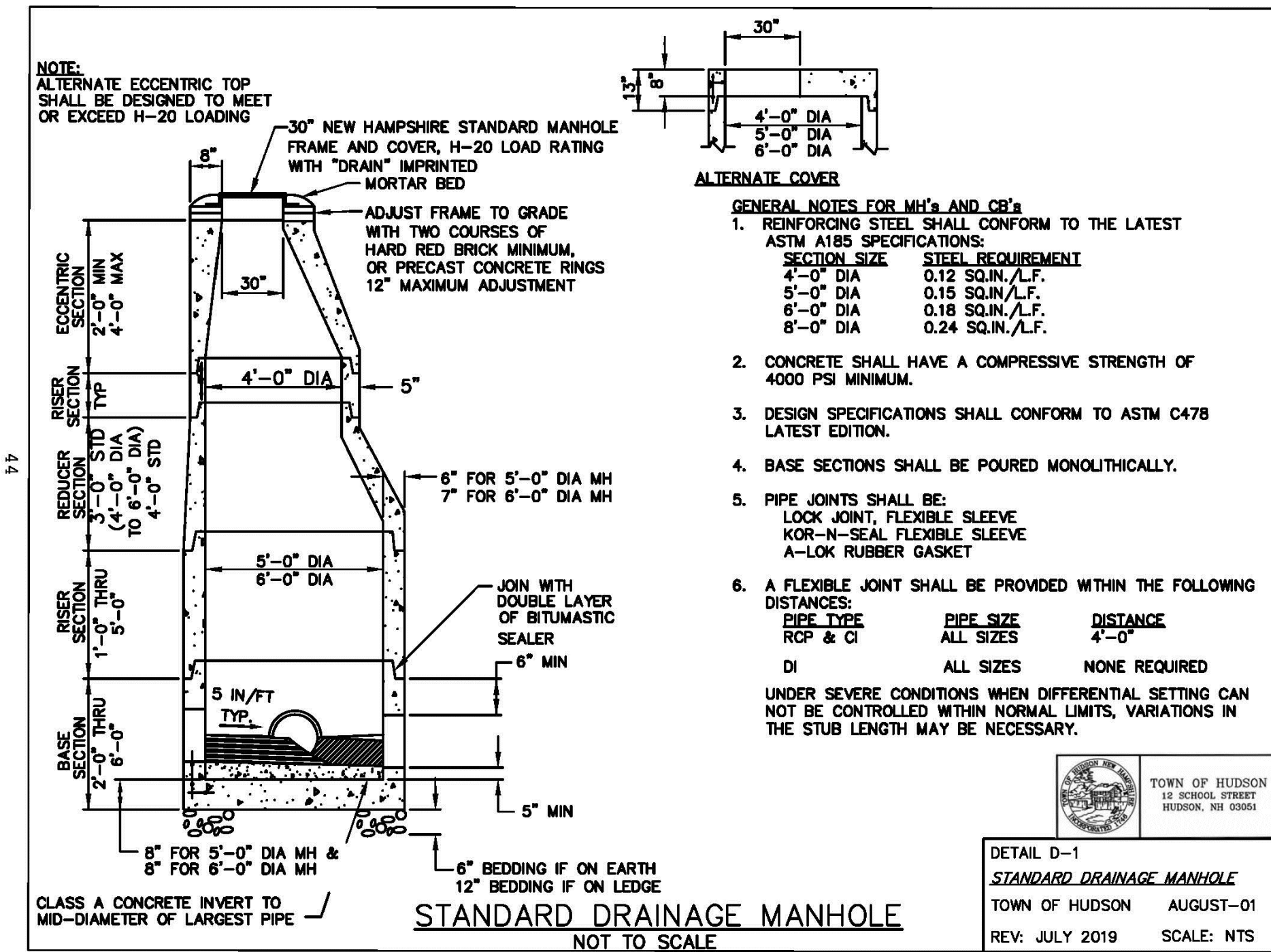
CONSTRUCTION SPECIFICATIONS

- PREPARE BEDDING:
BACKFILL MATERIAL AROUND THE END SECTION MAY BE THE SAME AS THE MATERIAL AROUND THE PIPE. PLACE A FEW INCHES OF BACKFILL MATERIAL IN THE TRENCH OR DITCH WHERE THE END SECTION WILL BE PLACED. COMPACT AND CONTOUR THIS BEDDING MATERIAL TO GENERALLY MATCH THE END SECTION. EXCAVATE AN AREA IN THE BEDDING WHERE THE TROUGH WILL SEAT SO THAT THE END SECTION WILL BE LEVEL WITH THE BOTTOM OF THE TRENCH OR DITCH IN THE FINISHED INSTALLATION.
- PLACE END SECTION OF PIPE:
OPEN THE END SECTION COLLAR AND SEAT IT OVER THE TWO PIPE CONNECTIONS. ONCE THE END SECTION IS POSITIONED, CHECK TO MAKE SURE THAT THE INVERT OF THE END SECTION MATCHES THE INVERT OF THE PIPE AND THAT THE END SECTION IS LEVEL WITH THE TRENCH OR DITCH BOTTOM.
- SECURE THE END SECTION:
SLIP THE STAINLESS STEEL ROD THROUGH THE PRE-DRILLED HOLES AT THE TOP OF THE COLLAR. THE ROD SHOULD BE BETWEEN THE CROWNS OF THE TWO PIPE CONNECTIONS. PLACE A WASHER ON EITHER END OF THE ROD. PLACE A NUT ON EITHER END OF THE ROD AND TIGHTEN WITH A WRENCH.
- SECURE THE TOE TROUGH:
TO PREVENT WASHOUTS FROM HIGH VELOCITY FLOW, IT IS RECOMMENDED THAT THE TROUGH BE SECURED WITH CONCRETE. POUR CONCRETE IN THE TROUGH UP TO THE LEVEL OF THE TRENCH OR DITCH BOTTOM AND ALONG THE ENTIRE LENGTH OF THE TROUGH.
- FINISH BACKFILL:
SHOVEL BACKFILL AROUND THE END SECTION IN 6 TO 9 INCH LAYERS EQUALLY ON BOTH SIDES, KNIFING IT TO ELIMINATE VOIDS. TAMP WITH A SMALL-FACED COMPACTOR OR OTHER EQUIPMENT SUITABLE FOR SMALL AREAS. CONTINUE PLACING, KNIFING, AND COMPACTING BACKFILL LAYERS TO THE TOP OF THE END SECTION TO SEAT IT WELL INTO THE BACKFILL.

FLARED END SECTION

HIGH DENSITY POLYETHYLENE (HDPE)

NOT TO SCALE



PIPE DIAMETER	PART NO.	DIMENSIONS, INCHES (mm)					
		A, ±1 (25)	B MAX	H, ±1 (25)	L, ±1/2 (13)	W, ±2 (50)	
12", 15" (300,375)	1210 NP	6.5 (165)	10 (254)	6.5 (165)	25 (635)	29 (736)	
18" (450)	1810 NP	7.5 (190)	15 (380)	6.5 (165)	32 (812)	35 (890)	
24" (600)	2410 NP	7.5 (190)	18 (450)	6.5 (165)	36 (900)	45 (1140)	
30" (750)	3010 NP	10.5 (266)	NA	7.0 (178)	53 (1346)	68 (1725)	
36" (900)	3610 NP	10.5 (266)	NA	7.0 (178)	53 (1346)	68 (1725)	

TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A

DETAIL SHEET
BOBCAT OF NEW HAMPSHIRE
2 REBEL RD & 345 DERRY RD (HUDSON, NH)
307 NASHUA RD (LONDONDERRY, NH)
OWNED BY
MAL-MAR, LLC
PREPARED FOR
BOBCAT OF NEW HAMPSHIRE
SCALE: AS SHOWN **JULY 26, 2021**

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TFM Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

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17851-08 DR PWH FB
CK JSH CADFILE 17851-08 DETAILS C-10

BIORETENTION AREA CONSTRUCTION

CLEAR AND GRUB THE AREA WHERE THE BIORETENTION AREAS ARE TO BE LOCATED. STOCKPILE LOAM FOR REUSE ON SLOPES.

GRADE BIORETENTION AREAS ACCORDING TO PLAN AND DETAILS. SIDE SLOPES SHALL HAVE 4" LOAM AND SEED. BOTTOM OF BIORETENTION AREAS TO BE CONSTRUCTED WITH MULCH, MANUFACTURED SOIL, PEA STONE AND CRUSHED STONE (SEE BIORETENTION AREA DETAIL). SPECIFIC PLANTINGS SHALL BE FIELD LOCATED BY LANDSCAPE ARCHITECT AT TIME OF INSTALLATION.

BIORETENTION SOIL MIXTURE SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES EXCLUDING MULCH. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION AREA THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVIDE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATION.

TOPSOIL/LOAM SHALL CONSIST OF LOOSE FRIABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. LOAM SHALL BE FREE FROM STONES, LUMPS, STUMPS, OR SIMILAR OBJECTS LARGER THAN ONE INCH (1") IN GREATEST DIAMETER. SUBSOIL, ROOTS, AND WEEDS. THE MINIMUM AND MAXIMUM PH VALUE SHALL BE FROM 5.5 TO 7.2. LOAM SHALL CONTAIN A MINIMUM OF FOUR PERCENT (4%) AND A MAXIMUM OF FIVE AND A HALF PERCENT (5.5%) ORGANIC MATTER AS DETERMINED BY WEIGHT. NOT MORE THAN TWENTY-FIVE PERCENT (25%) SHALL PASS A NO. 200 SIEVE. IN NO INSTANCE SHALL MORE THAN 20% OF THAT MATERIAL PASSING THE #4 SIEVE CONSIST OF CLAY SIZE PARTICLES. THE RATIO OF THE PARTICLE SIZE FOR 80% PASSING (D80) TO THE PARTICLE SIZE FOR 30% PASSING (D30) SHALL BE 6.0 OR LESS (D80/D30 ≤ 6.0). SATURATED HYDRAULIC CONDUCTIVITY OF TOPSOIL/LOAM SHALL BE BETWEEN 3 INCHES/HOUR AND 10 INCHES/HOUR ACCORDING TO ASTM D5856-95 WHEN COMPACTED TO A MINIMUM OF 88% STANDARD PROCTOR, ASTM 698.

FILTER MEDIA
 FILTER MEDIA SHALL CONFORM TO THE FOLLOWING:
 20% TO 30% BY VOLUME OF MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH THAT HAS NO MORE THAN 5% FINES PASSING THE NUMBER 200 SIEVE, WITH 70 TO 80% BY VOLUME LOAMY COARSE SAND USED IN THE MIXTURE MEETING THE FOLLOWING SIEVE ANALYSIS SPECIFICATION:
 FROM 85 TO 100 PERCENT BY WEIGHT SHALL PASS THE NUMBER 10 SIEVE;
 FROM 70 TO 100 PERCENT BY WEIGHT SHALL PASS THE NUMBER 20 SIEVE;
 FROM 15 TO 40 PERCENT BY WEIGHT SHALL PASS THE NUMBER 60 SIEVE; AND
 FROM 8 TO 15 PERCENT BY WEIGHT SHALL PASS THE NUMBER 200 SIEVE;

SEEDING FOR BIORETENTION AREA SIDE SLOPES SHALL HAVE A MINIMUM OF 4" LOAM MIXTURE INSTALLED WITH TYPICAL LAWN MIX (MIN. 200 LBS/ACRE):
 33% CREEPING RED FESCUE (MIN. 66 LBS/ACRE)
 42% PERENNIAL RYEGRASS (MIN. 84 LBS/ACRE)
 21% KENTUCKY BLUEGRASS (MIN. 42 LBS/ACRE)
 4% REDTOP (MIN. 8 LBS/ACRE)

SEEDING FOR BIORETENTION AREA BASIN SHALL BE NEW ENGLAND WETLAND PLANTS, INC. NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES (MIN. 35 LBS/ACRE).

THE DRAINAGE LAYER MATERIAL SHALL BE PLACED WITH ONLY NOMINAL COMPACTION APPLIED BY A DOZER OR GRADER. FORMAL COMPACTION USING A VIBRATORY STEEL DRUM ROLLER SHALL NOT BE USED AS DENSIFICATION WILL REDUCE THE PERMEABILITY AND ABILITY FOR THE MANUFACTURED SOIL TO PROPERLY DRAIN. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT EQUIPMENT & VEHICLE TRAFFIC FROM DRIVING IN THE AREA OF THE PROPOSED BIORETENTION AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT SMEARING OF THE SUBGRADE DURING CONSTRUCTION.

BIORETENTION AREA INSPECTION & MAINTENANCE

INSPECTION & MAINTENANCE SCHEDULE TO BEGIN AFTER CONSTRUCTION SITE IS STABILIZED AND FLOW DIRECTED TO BASIN.

MAINTENANCE REQUIREMENTS

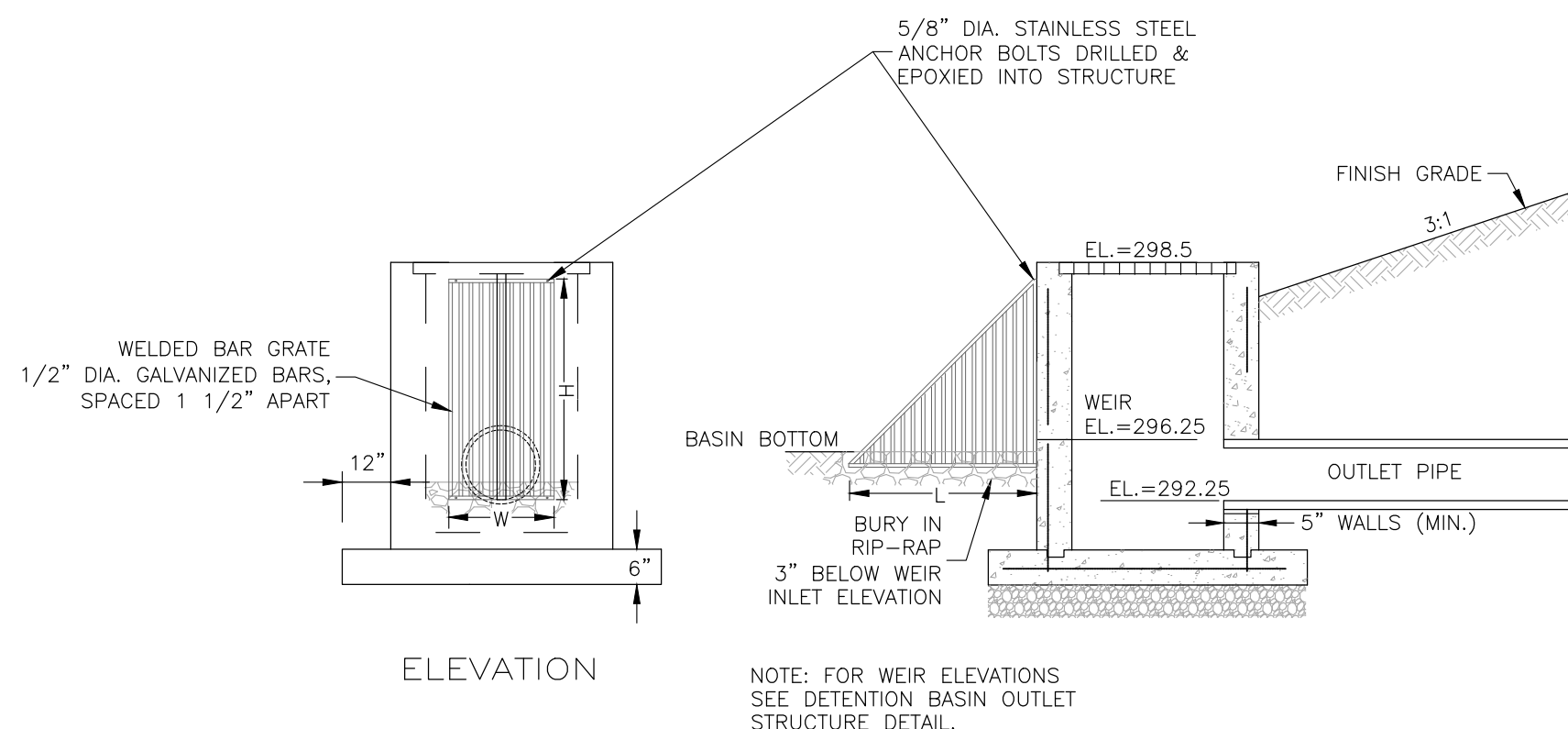
- ONCE ANNUALLY, EACH BIO-RETENTION SYSTEM SHALL BE INSPECTED BY THE DESIGN ENGINEER OR OTHER QUALIFIED PARTY. THE RESULTS OF THE INSPECTION SHALL BE PROVIDED TO DEPARTMENT OF PUBLIC WORKS.
- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- TRASH AND DEBRIS SHOULD BE REMOVED AT EACH INSPECTION. ALL SEDIMENT AND TRASH SHOULD BE HANDLED PROPERLY AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL GUIDELINES AND REGULATIONS.
- AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

VEGETATION - SHALL BE INSPECTED AND MAINTAINED IN A HEALTHY CONDITION BY REMOVING/REPLACING DEAD OR DISEASED VEGETATION AND REMOVING INVASIVE SPECIES. THE VEGETATED AREAS SHALL BE PROTECTED FROM DAMAGE BY TRAFFIC AND DENSE WEED GROWTH. VEGETATION MAINTENANCE A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS. PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED.

BOTTOM OF BASIN - BOTTOM OF BASIN SHALL BE INSPECTED FOR EROSION, SEDIMENT ACCUMULATION, TRASH & DEBRIS. REPAIR ANY ERODED AREA OF THE BIORETENTION AREA WITH APPROPRIATE GRASS COVER AFTER REPLACING ANY LOST FILL MATERIAL AND LOAM. REMOVED SEDIMENT, TRASH & DEBRIS SHALL BE REMOVED AND DISPOSED OF PROPERLY.

INLET/OUTLET - CONDITIONS OF PIPES/RIPRAP SHALL BE NOTED AND REPAIRS MADE IF NEEDED. ACCUMULATED SEDIMENT & DEBRIS SHALL BE REMOVED AND DISPOSED OF PROPERLY. IF EROSION HAS OCCURRED, THEN MEASURES SHALL BE TAKEN TO STABILIZE AND PROTECT THE AREAS.

TRASH RACK LOCATION	WIDTH (W)	HEIGHT (H)	LENGTH (L)
FILTRATION POND #1	2'	2.5'	2



FABRICATED TRASH RACK

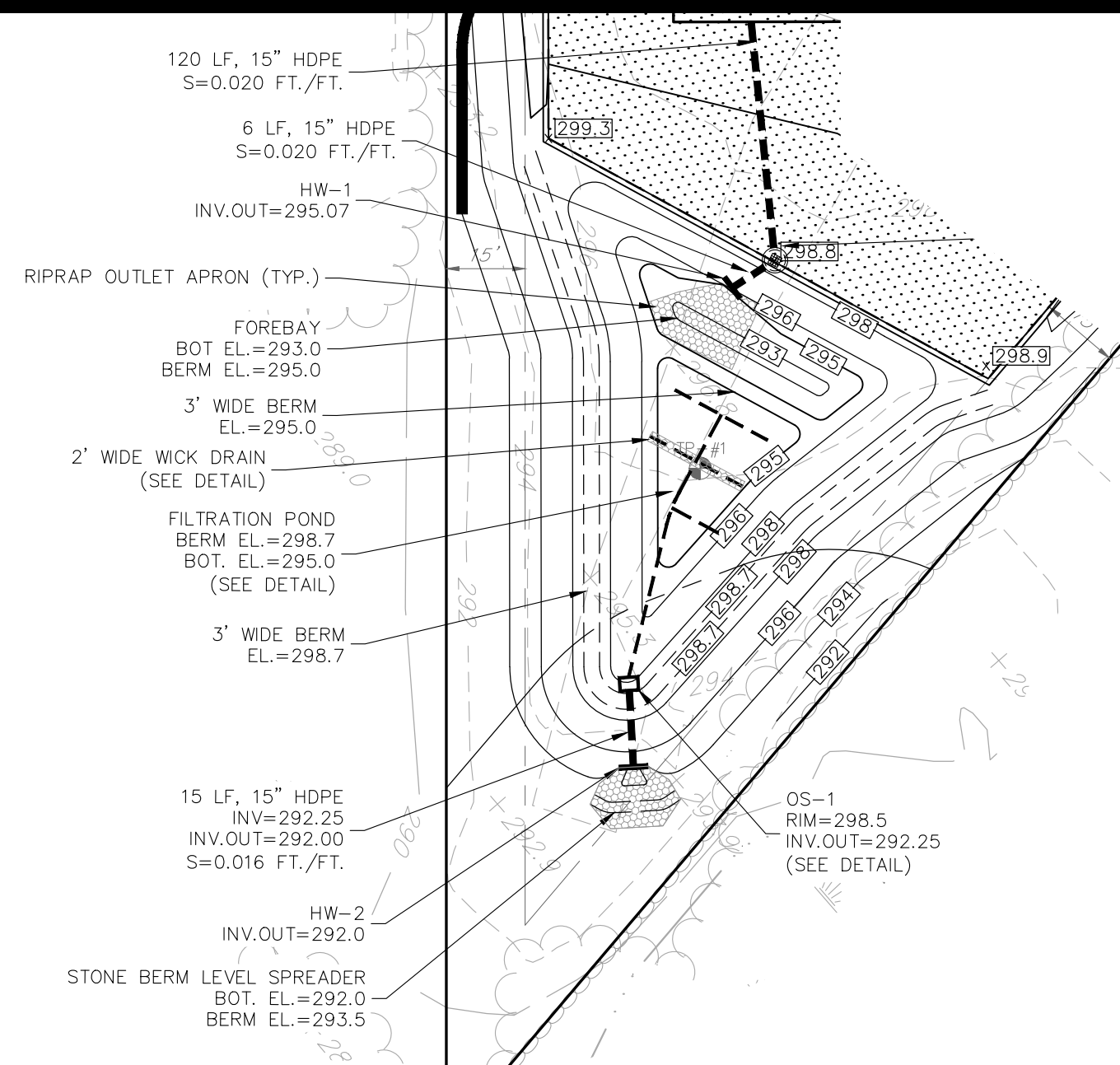
AT OUTLET STRUCTURE

NOT TO SCALE

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

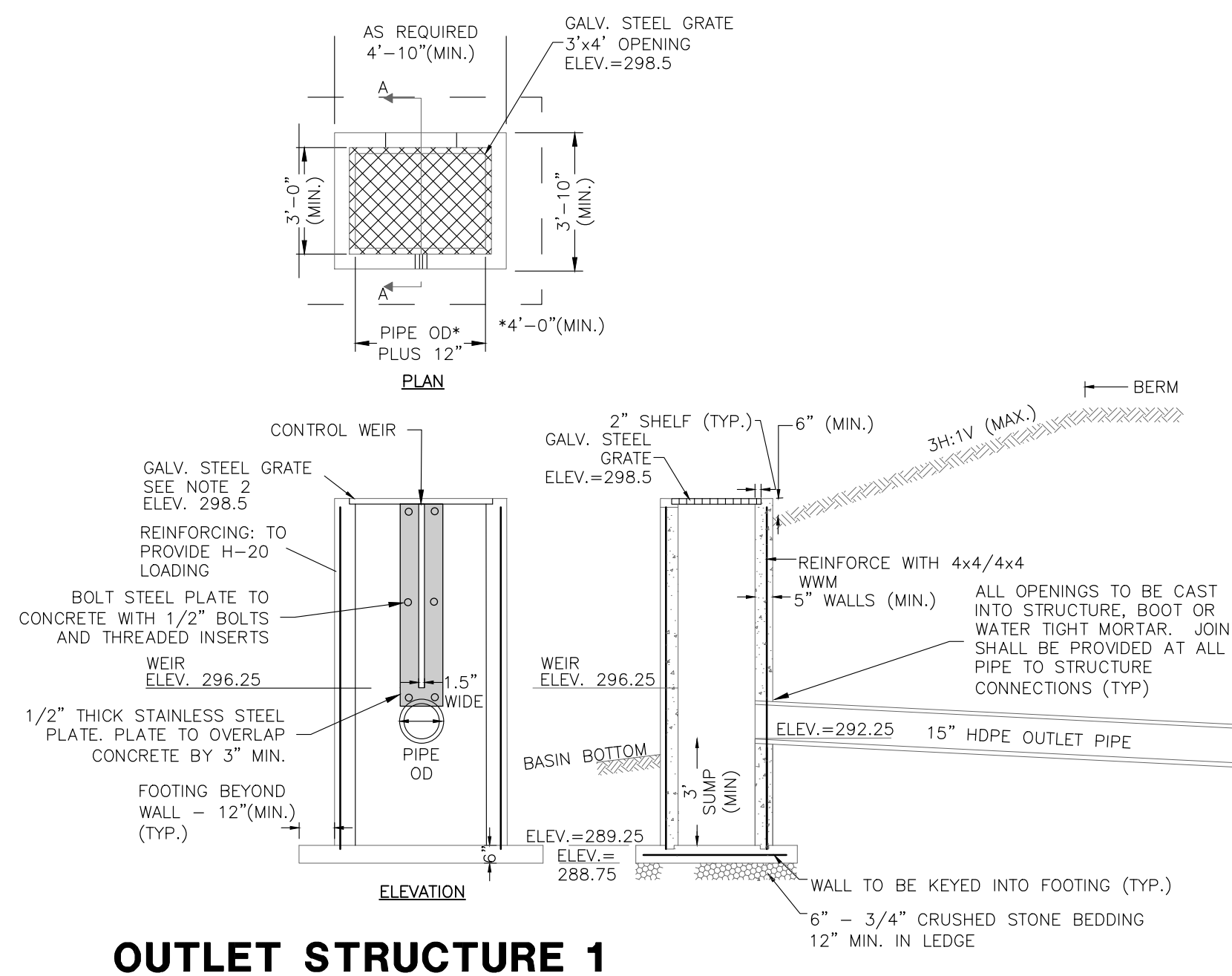
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING _____ DATE _____
 SIGNATURE _____ DATE _____
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 SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.



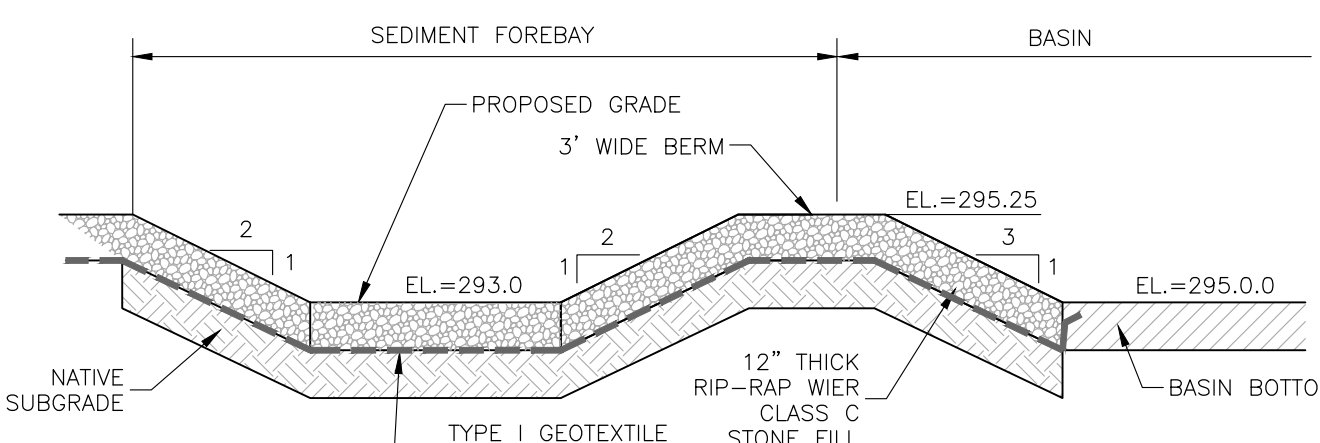
FILTRATION BASIN #1

1" = 30'



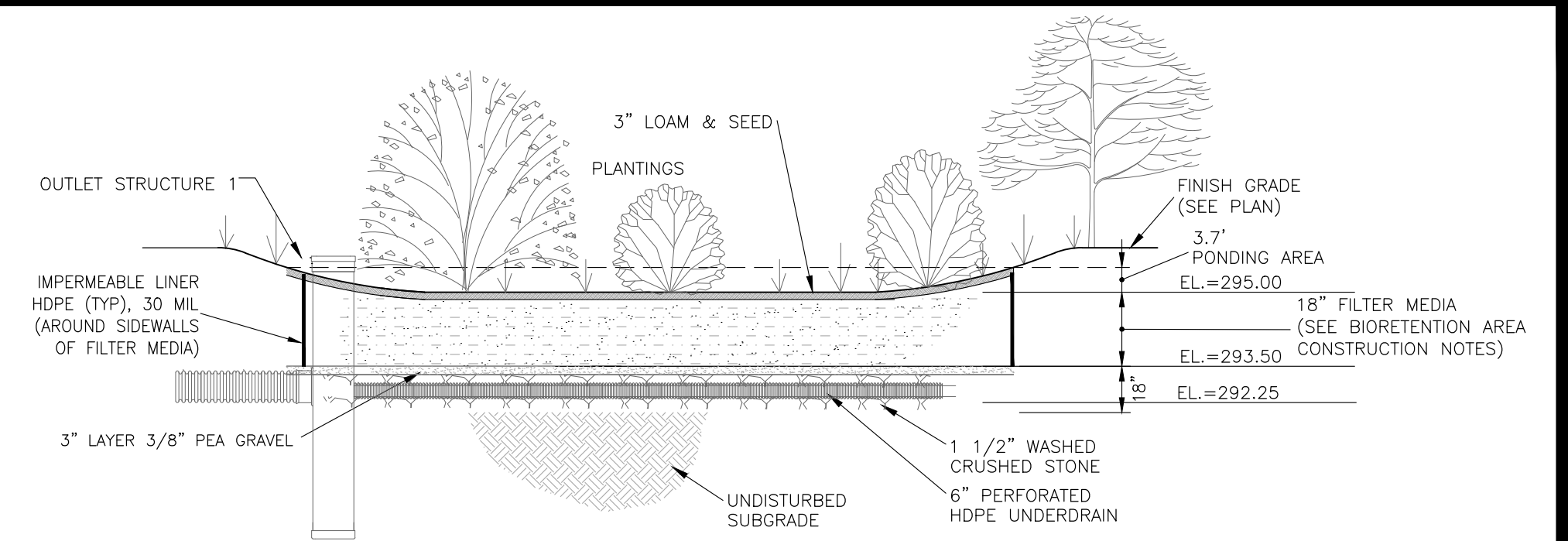
OUTLET STRUCTURE 1

- NOTES:
- ALL CEMENT CONCRETE TO BE 4000 PSI (NHDOT - CLASS AA) WITH AIR ENTRAINMENT.
 - GALVANIZED STEEL GRATE SHALL BE BOLTED TO TOP OF STRUCTURE W/ 1/2" SS BOLTS AND THREADED INSERTS.
 - ALL OPENINGS CAST AS REQUIRED. MIN. CONCRETE WEIR WIDTH TO BE 2 INCHES.
 - PRECAST REINFORCED CONCRETE STRUCTURE TO MEET ASTM C-478 DESIGNATION AND H-20 LOADING.
 - CONTROL WEIR SHALL BE SIZED TO MITIGATE DESIGN STORM AS REQUIRED BY REGULATIONS AND IN ACCORDANCE WITH THE APPROVED DRAINAGE CALCULATIONS. STAINLESS STEEL PLATE SHALL BE USED FOR CONTROL WEIRS LESS THAN 2 INCHES WIDE.
 - ALL STAINLESS STEEL SHALL BE GRADE 316.
 - MINIMUM EMBANKMENT ELEVATIONS TO BE 12" ABOVE 50-YEAR STORM ELEVATION.
 - PROVIDE GALVANIZED STEEL TRASH RACK TO COVER VERTICAL WEIR. BOLT TO STRUCTURE W/ STAINLESS STEEL BOLTS.



SEDIMENT FOREBAY

NOT TO SCALE

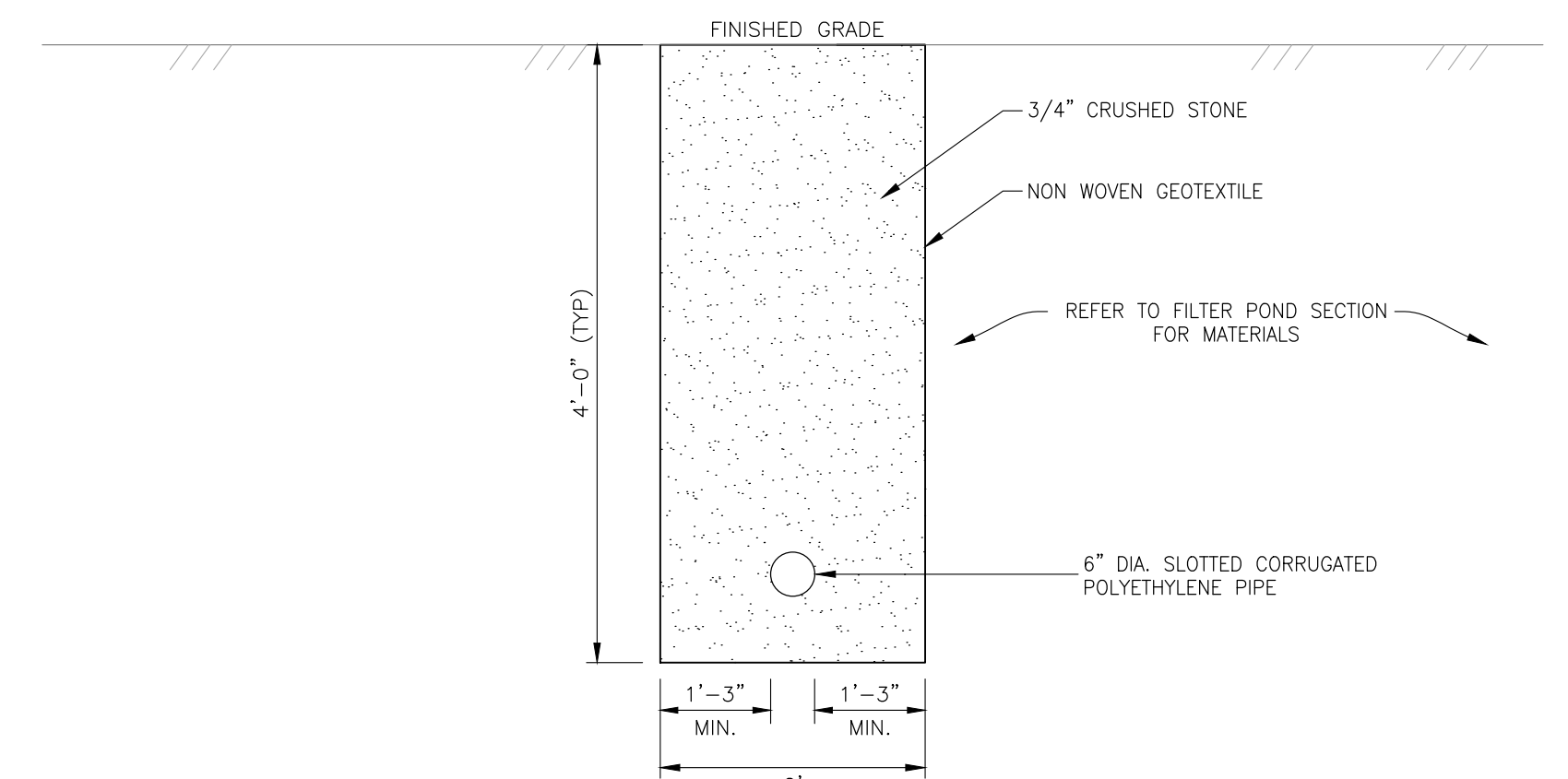


BIORETENTION NOTES

- DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND IT'S CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

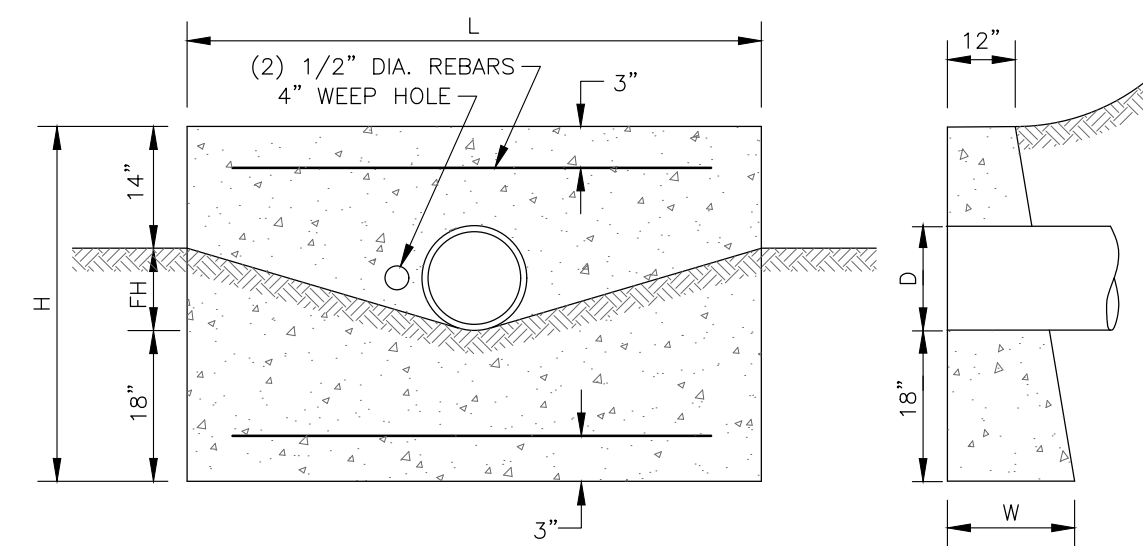
BIORETENTION AREA SECTION

NOT TO SCALE



WICK DRAIN AT FILTER POND

NOT TO SCALE



CONCRETE HEADWALL

SINGLE PIPE SYSTEM

NOT TO SCALE

NOMINAL PIPE SIZE D	LENGTH OF BARS L	H	FH	W
12	3'-2"	3'-6"	0'-10"	1'-10.5"
15	4'-2"	4'-6"	3'-9"	1-11.25
18	5'-2"	5'-6"	4'-0"	1-4
24	7'-2"	7'-6"	4'-6"	1-10
30	9'-2"	9'-6"	5'-0"	2-4
36	11'-2"	11'-6"	5'-6"	2-10
42	13'-2"	13'-6"	6'-0"	3-4
48	15'-2"	15'-6"	6'-6"	3-10

TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A

DETAIL SHEET

BOBCAT OF NEW HAMPSHIRE
 2 REBEL RD & 345 DERRY RD (HUDSON, NH)
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OWNED BY

MAL-MAR, LLC

PREPARED FOR

BOBCAT OF NEW HAMPSHIRE

SCALE: AS SHOWN

JULY 26, 2021



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

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REV	DATE	DESCRIPTION	JSH	RED
2	11/12/2021	REV. PER CONSERVATION COMM. COMMENTS	JSH	RED
1	9/24/2021	REV. PER ENGINEERING COMMENTS	PWH	JSH
			DP	CK

17851-08

DR PWH FB

CK JSH CADFILE

17851-08 DETAILS

C-11

LANDSCAPE NOTES

SITE AND SOIL PREPARATION

- 1. WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR LEDGE, NOTIFY LANDSCAPE ARCHITECT/ENGINEER BEFORE PLANTING.
2. ALL DISTURBED AREAS & PLANTING AREAS, INCLUDING AREAS TO BE SODDED, SHALL RECEIVE THE FOLLOWING SOIL PREPARATION PRIOR TO PLANTING: A MINIMUM OF 6 INCHES OF LIGHTLY COMPACTED TOPSOIL SHALL BE INSTALLED OVER THE SUBSOIL IF TOPSOIL HAS BEEN REMOVED OR IS NOT PRESENT.
3. LOAM SHALL CONSIST OF LOOSE FRIABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. LOAM SHALL BE FREE FROM STONES, LUMPS, STUMPS, OR SIMILAR OBJECTS LARGER THAN TWO INCHES (2") IN GREATEST DIAMETER, SUBSOIL, ROOTS, AND WEEDS. THE MINIMUM AND MAXIMUM PH VALUE SHALL BE FROM 5.5 TO 7.0. LOAM SHALL CONTAIN A MINIMUM OF TWO PERCENT (2%) AND A MAXIMUM OF FIVE PERCENT (5%) ORGANIC MATTER AS DETERMINED BY LOSS BY IGNITION. SOIL TEXTURE SHALL BE SANDY CLAY LOAM OR SANDY LOAM WITH CLAY CONTENT BETWEEN 15 AND 25%, AND A COMBINED CLAY/SILT CONTENT OF NO MORE THAN 55%. NOT MORE THAN SIXTY-FIVE PERCENT (65%) SHALL PASS A NO. 200 SIEVE AS DETERMINED BY THE WASH TEST IN ACCORDANCE WITH ASTM D1140. IN NO INSTANCE SHALL MORE THAN 20% OF THAT MATERIAL PASSING THE #4 SIEVE CONSIST OF CLAY SIZE PARTICLES.
4. NATURAL TOPSOIL NOT CONFORMING TO THE PARAGRAPH ABOVE OR CONTAINING EXCESSIVE AMOUNTS OF CLAY OR SAND SHALL BE TREATED BY THE CONTRACTOR TO MEET THOSE REQUIREMENTS.
5. SUBMIT TEST RESULTS OBTAINED FROM SOURCE TO ENGINEER/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL, PRIOR TO SPREADING OPERATIONS.
6. APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT TO USE THE TOPSOIL WILL DEPEND UPON THE RESULTS OF THE SOIL TESTS.
7. THE BURDEN OF PROOF OF SOIL AMENDMENT INSTALLATION RESTS WITH THE CONTRACTOR. SOIL TESTS MAY BE REQUIRED AT THE CONTRACTOR'S EXPENSE IN ORDER TO CONFIRM AMENDMENT INSTALLATION.

SEEDING

- 1. ROUGH GRADING SHALL BE COMPLETED PRIOR TO THE START OF PLANTING IN ANY GIVEN AREA OF THE PROJECT SITE.
2. SEEDING SHALL BE DONE BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 15, EXCEPT FOR RESEEDING OF BARE SPOTS AND MAINTENANCE. ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, PAVING OR AREAS THAT HAVE NOT BEEN OTHERWISE DEVELOPED SHALL BE SEED OR SODDED. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. AFTER OCTOBER 15 DISTURBED SOILS SHALL BE PROTECTED IN ACCORDANCE WITH THE WINTER CONSTRUCTION NOTES.

ACCEPTABLE SEED MIXES ARE AS FOLLOWS:

PARK SEED MIX (NHDOT TYPE 44) MIN. 135 LBS/ACRE:
33% CREEPING RED FESCUE (MIN. 45 LBS/ACRE)
42% PERENNIAL RYEGRASS (MIN. 55 LBS/ACRE)
21% KENTUCKY BLUEGRASS (MIN. 30 LBS/ACRE)
4% REDTOP (MIN. 5 LBS/ACRE)

TEMPORARY LAWN MIX: (MIN. 47 LBS/ACRE)
100% ANNUAL RYE

SLOPE SEED (NHDOT TYPE 44) MIX 3:1 OR GREATER SLOPES (MIN. 90 LBS/ACRE):
44% CREEPING RED FESCUE (MIN. 40 LBS/ACRE)
38% PERENNIAL RYEGRASS (MIN. 35 LBS/ACRE)
6% REDTOP (MIN. 5 LBS/ACRE)
6% ALSIKE CLOVER (MIN. 5 LBS/ACRE)
6% BIRDFOOT TREFLOL (MIN. 5 LBS/ACRE)

PLANTING

- 1. EXCAVATE PITS, PLANTERS, BEDS AND TRENCHES WITH VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SLIGHTLY RAISED AT CENTER TO PROVIDE PROPER DRAINAGE. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION.
2. ANY LEDGE OR RUBBLE MATERIAL SHALL BE FRACTURED TO A DEPTH OF 3 FEET AND EXCAVATED TO A DEPTH OF 30 INCHES FOR TREE POCKETS AND 18 INCHES FOR SHRUB BEDS. THIS PROCEDURE SHALL BE HANDLED BY THE SITE CONTRACTOR. SITE TOPSOIL SHALL BE DEPOSITED IN ALL EXCAVATED POCKETS.
3. DISPOSE OF SUBSOIL REMOVED FROM PLANTING EXCAVATIONS. DO NOT MIX WITH PLANTING SOIL OR USE AS BACKFILL.
4. FILL EXCAVATIONS FOR TREES AND SHRUBS WITH WATER AND ALLOW TO PERCOLATE OUT BEFORE PLANTING.
5. DISH TOP OF BACKFILL TO ALLOW FOR MULCH - PLANT SAUCERS SHALL BE AS SHOWN ON DETAIL SHEETS; 6" DIAMETER FOR ALL DECIDUOUS TREES, AND FOR EVERGREEN TREES A RADIUS 2" BEYOND THE OUTER MOST BRANCHES.
6. MULCH TREES, SHRUBS, PLANTERS AND BEDS. PROVIDE NOT LESS THAN 3" THICKNESS OF BARK MULCH, 3/8"-2" OF WIDTH, AND WORK INTO TOP OF BACKFILL. FINISH LEVEL WITH ADJACENT FINISH GRADES AS DIRECTED IN THE FIELD.
7. TREGATOR WATERING SYSTEM OR APPROVED EQUAL SHALL BE INSTALLED FOR ALL DECIDUOUS TREES AT TIME OF PLANTING AND REMOVED BEFORE FROST. WATERING RATE TO BE APPLIED PER MANUFACTURER'S SPECIFICATIONS.
8. THE CONTRACTOR SHALL REQUEST A FINAL OBSERVATION BY THE OWNER'S REPRESENTATIVE UPON COMPLETION OF INSTALLATION.

LANDSCAPE MAINTENANCE

LAWN

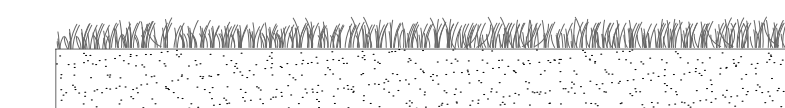
- 1. BEGIN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED, BUT NOT LESS THAN THE FOLLOWING PERIODS:
A. SEEDED LAWNS: 60 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
1. WHEN FULL MAINTENANCE PERIOD HAS NOT ELAPSED BEFORE END OF OF PLANTING SEASON, OR IF LAWN IS NOT FULLY ESTABLISHED, CONTINUE MAINTENANCE DURING NEXT PLANTING SEASON.
B. SODDED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
C. FLUGGED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
E. SPRIGGED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
2. MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
A. IN AREAS WHERE MULCH HAS BEEN DISTURBED BY WIND OR MAINTENANCE OPERATIONS, ADD NEW MULCH. ANCHOR AS REQUIRED TO PREVENT DISPLACEMENT.
3. WATERING: PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN-WATERING EQUIPMENT TO CONVEY WATER FROM SOURCES AND KEEP LAWN UNIFORMLY MOIST TO A DEPTH OF FOUR INCHES (100 mm).
A. SCHEDULE WATERING TO PREVENT WILTING, PUDDLING, EROSION, AND DISPLACEMENT OF SEED OR MULCH. LAY OUT TEMPORARY WATERING SYSTEM TO AVOID WALKING OVER MUDDY OR NEWLY PLANTED AREAS.
B. WATER LAWN AT A MINIMUM RATE OF ONE INCH (25 mm) PER WEEK.
4. MOW LAWN AS SOON AS TOP GROWTH IS TALL ENOUGH TO CUT. REPEAT MOWING TO MAINTAIN SPECIFIC HEIGHT WITHOUT CUTTING MORE THAN 40 PERCENT OF GRASS HEIGHT. REMOVE NO MORE THAN 40 PERCENT OF GRASS-LEAF GROWTH IN INITIAL OR SUBSEQUENT MOWINGS. DO NOT DELAY MOWING UNTIL GRASS BLADES BEND OVER AND BECOME MATTED. DO NOT MOW WHEN GRASS IS WET. SCHEDULE INITIAL AND SUBSEQUENT MOWINGS TO MAINTAIN THE FOLLOWING GRASS HEIGHT.
A. MOW GRASS TO 1/2 INCH (13 mm) HIGH OR LESS.
B. MOW GRASS 1/2 TO 1 INCH (13 TO 25 mm) HIGH OR LESS.
C. MOW GRASS 1 TO 2 INCHES (25 TO 50 mm) HIGH OR LESS.
D. MOW GRASS 1-1/2 TO 2 INCHES (38 TO 50 mm) HIGH OR LESS.
E. MOW GRASS 2 TO 3 INCHES (50 TO 75 mm) HIGH OR LESS.
5. LAWN POSTFERTILIZATION: APPLY FERTILIZER AFTER INITIAL MOWING AND WHEN GRASS IS DRY.
A. USE FERTILIZER THAT WILL PROVIDE ACTUAL NITROGEN OF AT LEAST 1 lb/1,000 SF (0.45 kg/92.9 SM) TO LAWN AREA.

MEADOW

- 1. BEGIN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE MEADOW IS ESTABLISHED, BUT FOR NOT LESS THAN 40 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
2. MAINTAIN AND ESTABLISH MEADOW BY WATERING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH.
3. WATERING: PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN-WATERING EQUIPMENT TO CONVEY WATER FROM SOURCES AND KEEP MEADOW UNIFORMLY MOIST.
A. SCHEDULE WATERING TO PREVENT WILTING, PUDDLING, EROSION, AND DISPLACEMENT OF SEED OR MULCH. LAY OUT TEMPORARY WATERING SYSTEM TO AVOID WALKING OVER MUDDY OR NEWLY PLANTED AREAS.
B. WATER LAWN AT A MINIMUM RATE OF 1/2 INCH (13 mm) PER WEEK FOR 4 WEEKS.

TREES AND SHRUBS:

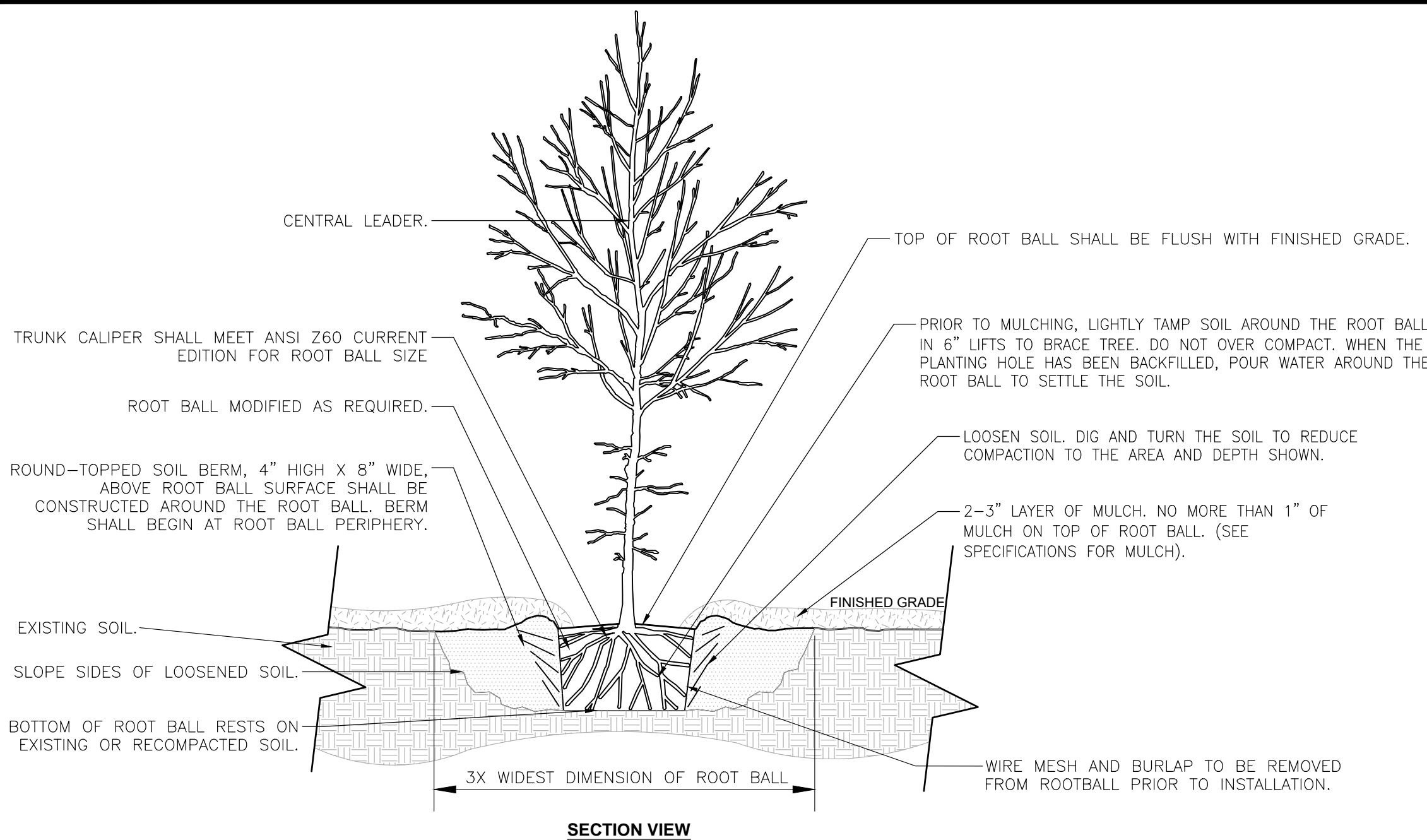
- 1. PRUNING SHOULD BE STARTED EARLY AND KEPT UP AT REGULAR INTERVALS. TREES SHOULD BE PRUNED AND SHAPED TO AVOID SPLITTING LATER IN LIFE. BROKEN TOPS AND BRANCHES SHOULD BE REMOVED AS SOON AS POSSIBLE AFTER INJURY. BROKEN, WEAK OR DISEASED BRANCHES SHOULD BE REMOVED FIRST, DEAD BRANCHES SECOND AND HEALTH BRANCHES LAST.
2. TREES AND SHRUBS SHOULD BE PROTECTED AGAINST DAMAGE INCURRED WITH LAWN MOWERS AND GARDEN EQUIPMENT. KEEPING GRASS AWAY FROM TREE TRUNKS WITH THE USE OF MULCH IS RECOMMENDED.
3. THE USE OF ROAD SALT AROUND TREES AND SHRUBS SHOULD BE AVOIDED OR MINIMIZED.
4. LANDSCAPED AREAS SHALL BE ROUTINELY MAINTAINED FREE OF DEBRIS AND LITTER. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD.



6" LOAM (ITEM 641)
SEED (SEE LANDSCAPE SPECIFICATIONS)
LIMESTONE (ITEM 642)
FERTILIZER (ITEM 643.11)
MULCH (ITEM 645.111)

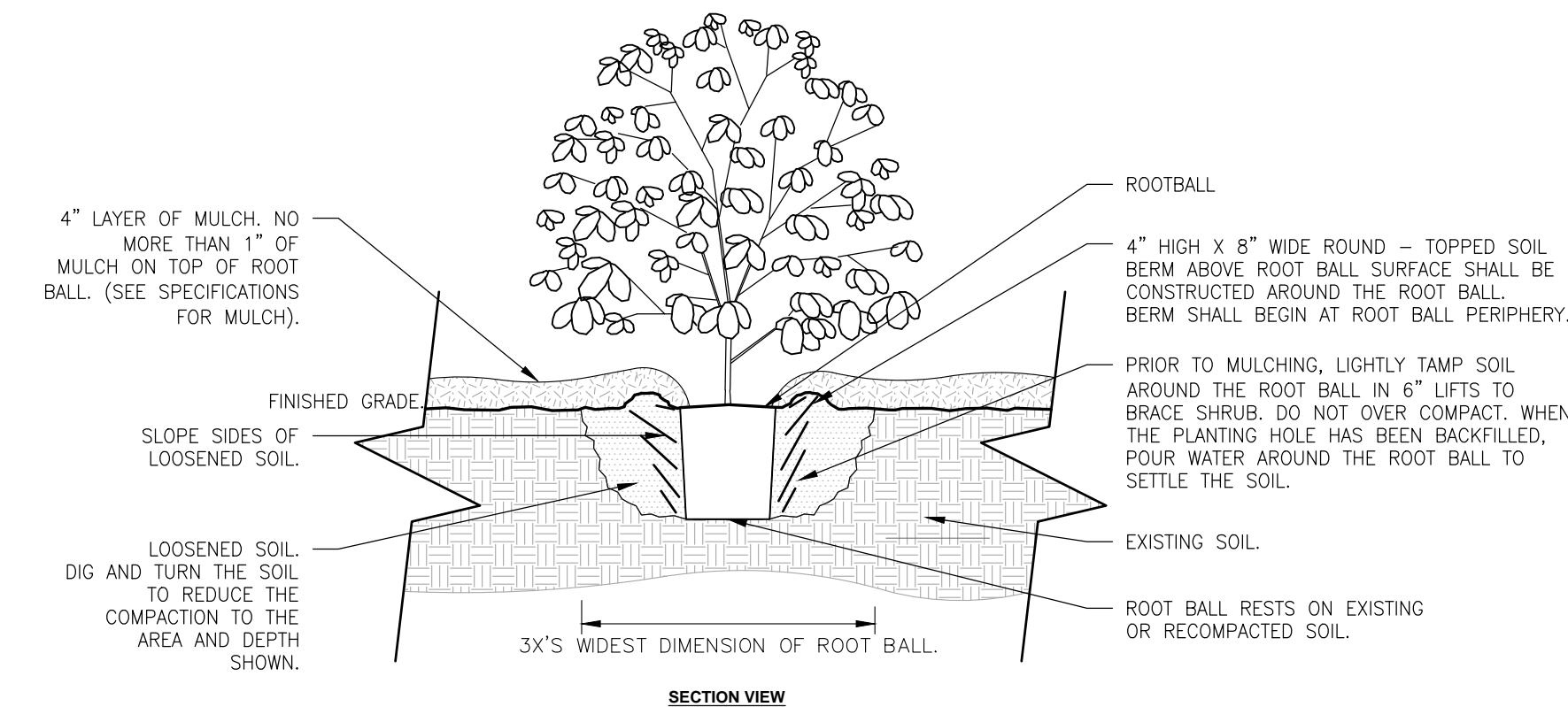
LOAM & SEED

NOT TO SCALE



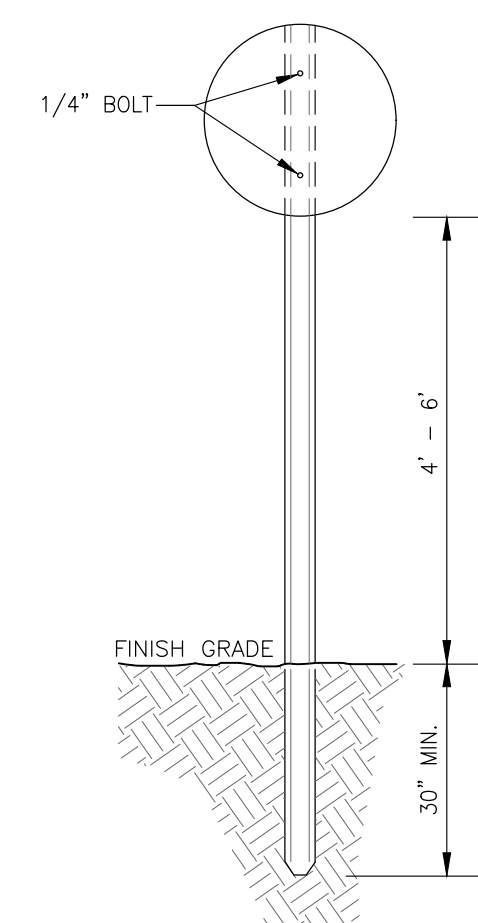
TREE WITH MULCH BERM

NOT TO SCALE

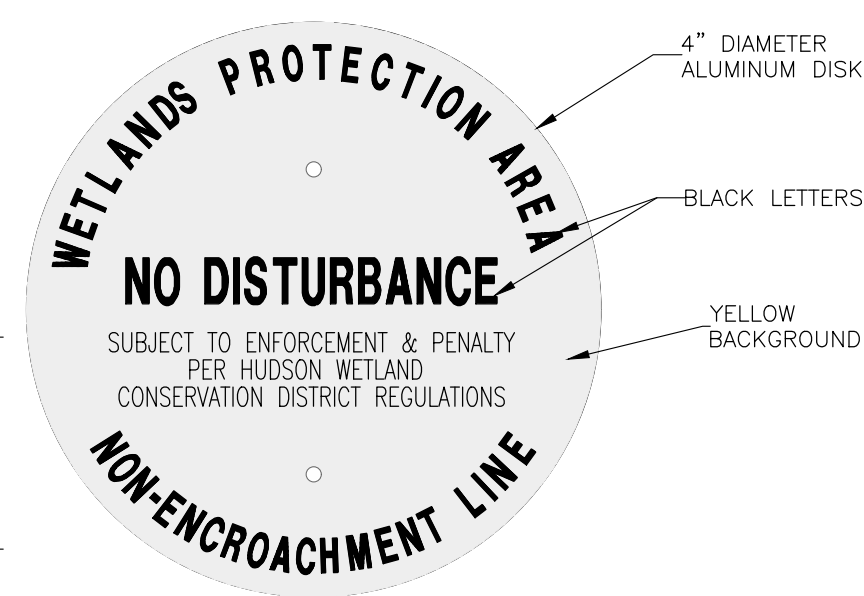


SHRUB PLANTING

NOT TO SCALE

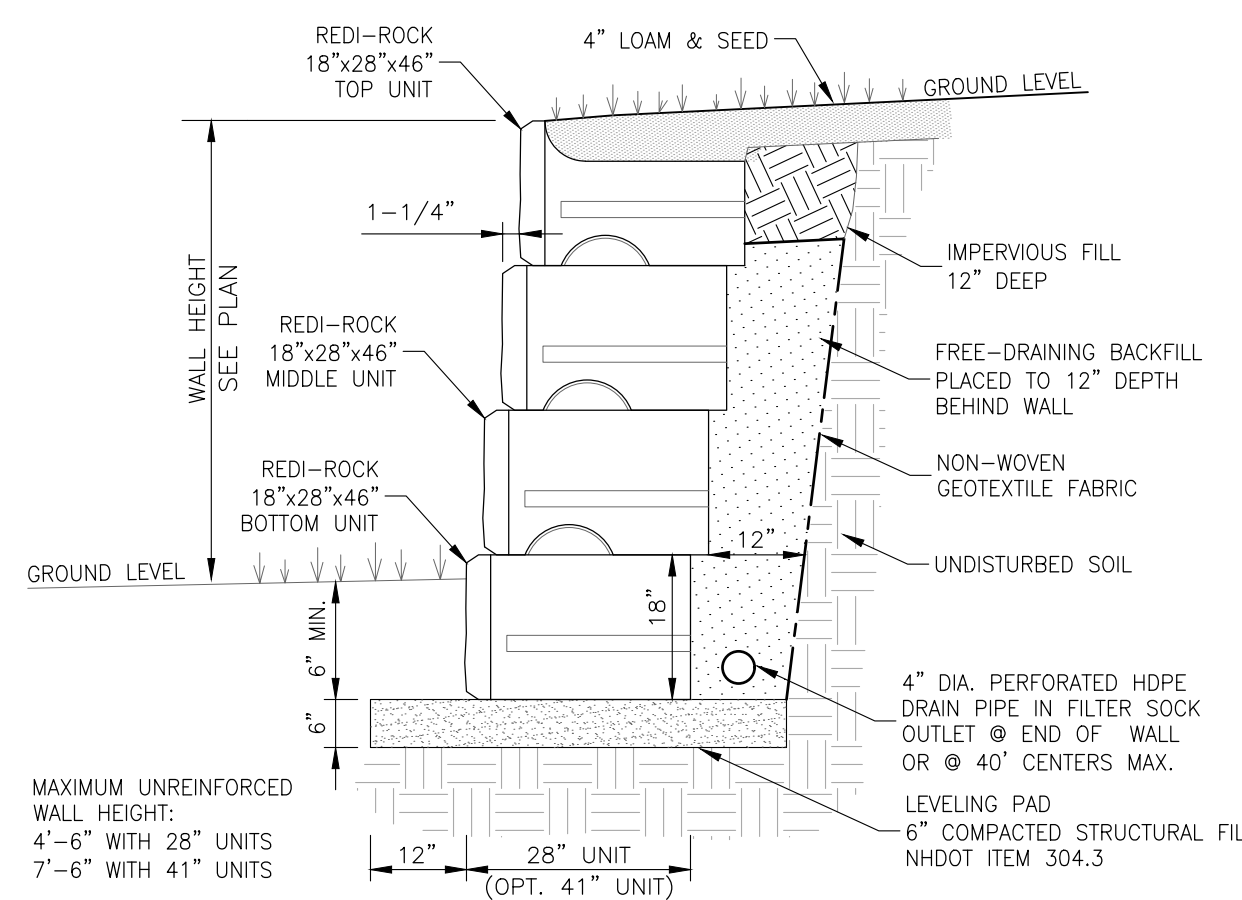


- NOTES:
1. IN AREAS WHERE THERE ARE NO TREES, SIGN POSTS SHALL BE USED AND INSTALLED.
2. TAGS SHALL BE PLACED IN NEAREST TREE WHERE APPLICABLE AT A HEIGHT OF 6-8 FEET.



ALUMINUM MARKER DETAIL

(PROVIDED BY QUALITY NAME PLATE, INC. 1-800-385-2220) NOT TO SCALE



NOTE: RETAINING WALL SHALL HAVE A COBBLESTONE FINISH

REDI-ROCK RETAINING WALL (OR EQUAL)

UNREINFORCED

SCALE: 1/2"=1'-0"

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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING
SIGNATURE
DATE
SIGNATURE
DATE

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

Table with columns: REV, DATE, DESCRIPTION, DR, CK. Contains revision history for the drawing.

TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A
DETAIL SHEET
BOBCAT OF NEW HAMPSHIRE
2 REBEL RD & 345 DERRY RD (HUDSON, NH)
307 NASHUA RD (LONDONDERRY, NH)
OWNED BY MAL-MAR, LLC
PREPARED FOR BOBCAT OF NEW HAMPSHIRE
SCALE: AS SHOWN JULY 26, 2021

TFM logo and contact information: Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists. 48 Constitution Drive, Bedford, NH 03110. Phone (603) 472-4488. Fax (603) 472-9747. www.tfmoran.com



EXISTING D/S INTERNALLY ILLUMINATED SIGN CABINET



NEW BASE

RELOCATE AND RESEAT EXISTING INTERNALLY ILLUMINATED SIGN CABINET. MANUFACTURE 1 NEW ALUMINUM POLE COVER. REDUCE SIGN HEIGHT FROM 20' TO 10'



6" ROUND STEEL POST

NP Signs
66 Gold Ledge Avenue, Auburn, NH 03032
603.437.1200
www.npsigns.com

DESIGN, MANUFACTURE, INSTALL, SERVICE

CLIENT: BOBCAT
LOCATION: LONDONDERRY, NH
DATE: 9.1.21

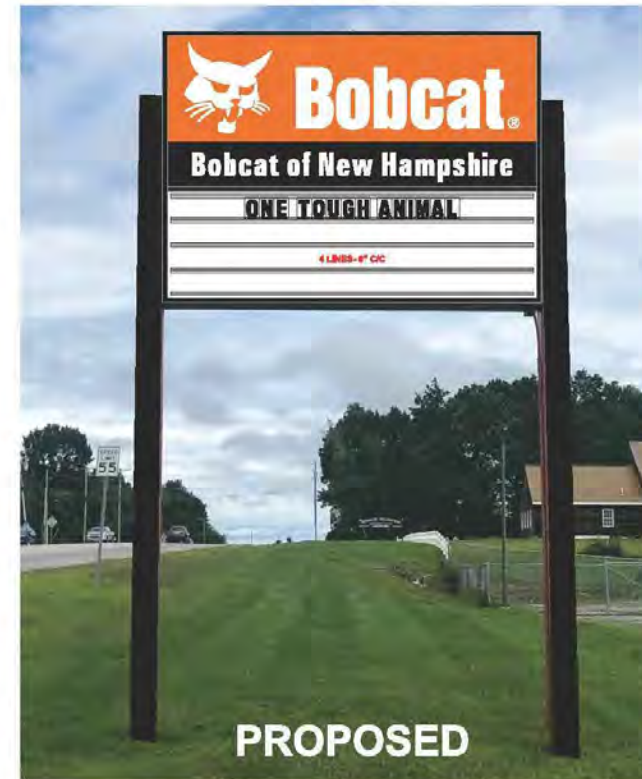
ACCT. REP: D. Hutchins
DESIGN: J. Sanville
DATE: 0.0.21

REV. NOTES
0.0.21
0.0.21
0.0.21

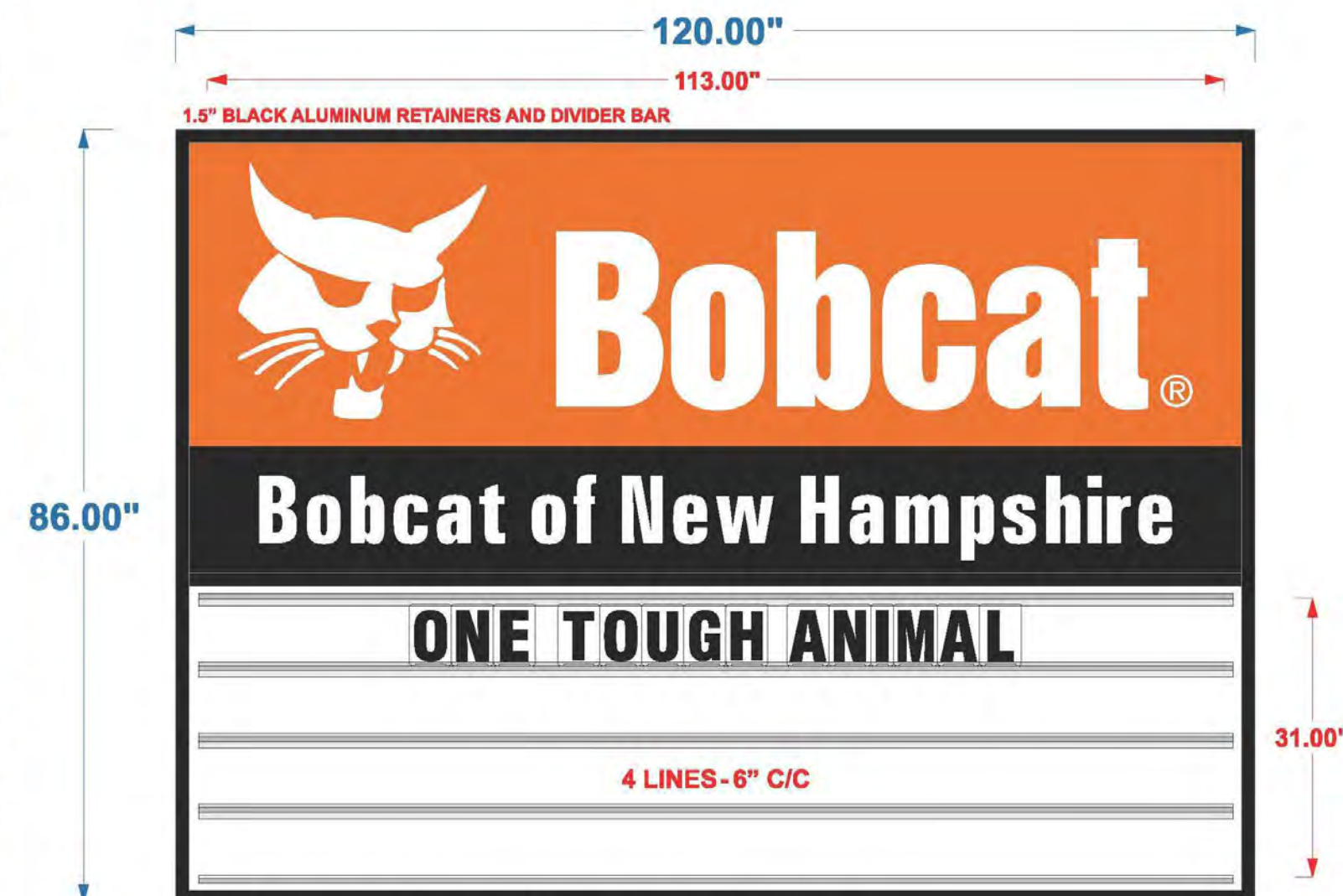
DESIGN APPROVED BY: DATE



EXISTING



PROPOSED



REMOVE EXISTING D/S INTERNALLY ILLUMINATED SIGN CABINET AND REPLACE WITH NEW D/S INTERNALLY ILLUMINATED SIGN CABINET. INSTALL BETWEEN EXISTING 8" SQUARE STEEL POSTS. ADD 4 LINES OF 6" C/C

NP Signs
66 Gold Ledge Avenue, Auburn, NH 03032
603.437.1200
www.npsigns.com

DESIGN, MANUFACTURE, INSTALL, SERVICE

CLIENT: BOBCAT
LOCATION: HUDSON, NH
DATE: 9.1.21

ACCT. REP: D. Hutchins
DESIGN: J. Sanville
DATE: 0.0.21

REV. NOTES
9.9.21
0.0.21
0.0.21

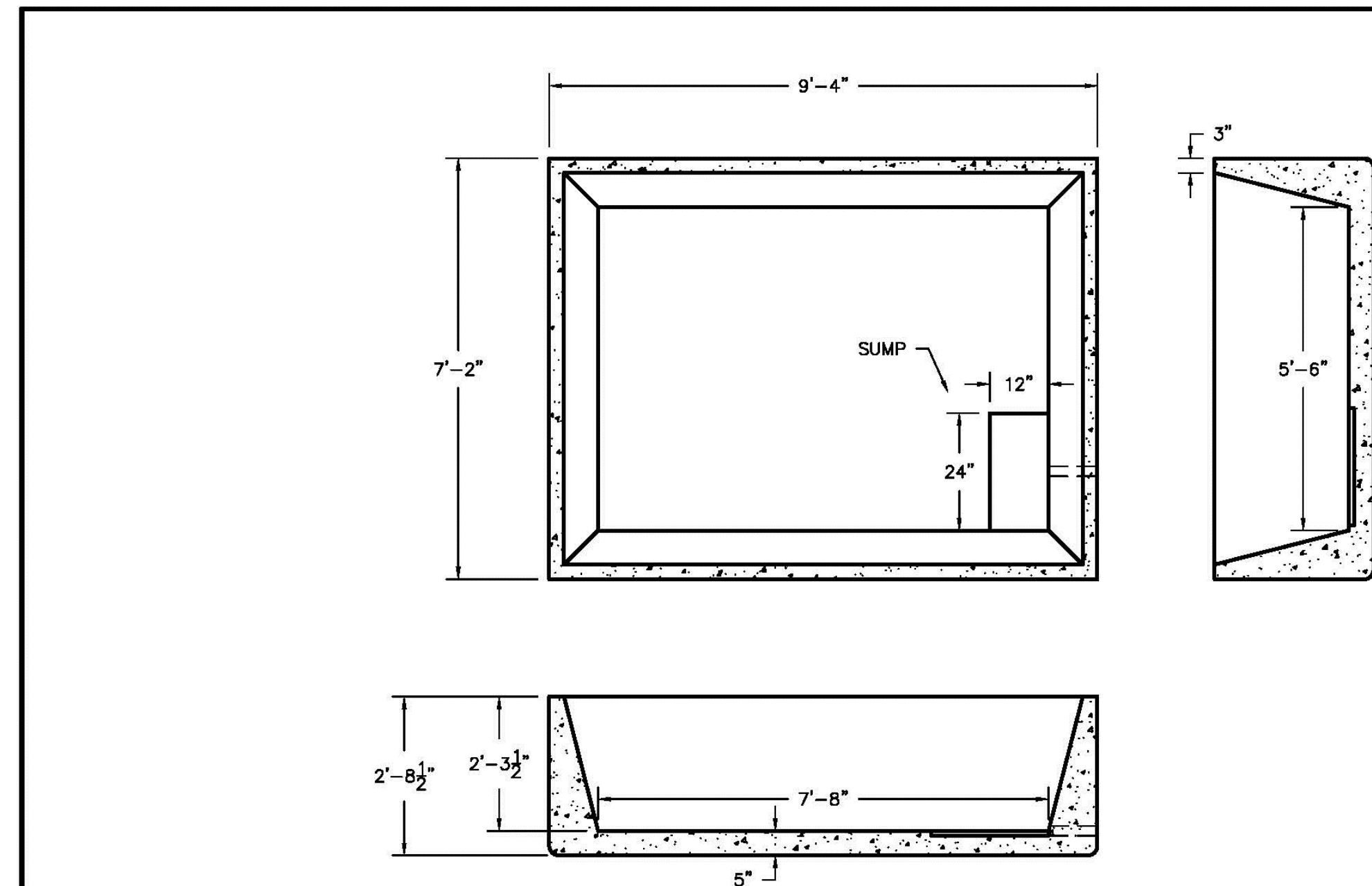
DESIGN APPROVED BY: DATE

PROJECT SIGNS

NOT TO SCALE

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SIGNATURE	_____/_____/_____	DATE	_____/_____/_____
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.			



SPECIFICATIONS

866 GALLON SPILL/LEAK CONTAINMENT FOR 550 GALLON TANKS
WEIGHT APPROXIMATELY: 9,950 LBS.
MIN. COMPRESSIVE STRENGTH CONCRETE: 4000 PSI
REINFORCEMENT: #4 REBAR 12" O.C.E.W. TOP & BOTTOM IN & OUT FLOOR & WALLS
A 1" SELF CLOSING VALVE IS PROVIDED TO DISCHARGE STORM WATER OR RECOVER SPILLED PETROLEUM PRODUCTS.

MODEL SL-550A CONTAINMENT VESSEL

REV. NO.	DATE
1-10-10	
SCALE	DATE
SCALE: 1"=10'-0"	
DRAWN BY: DATE:	
FILE: 17851-08\17851-08\17851-08.dwg	
WIESER CONCRETE	
MODEL SL-550A	
SHEET NO. 0 OF 0	

TAX MAP 101 LOT 18 & 19 / TAX MAP 2 LOT 34A
DETAIL SHEET
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MAL-MAR, LLC
PREPARED FOR
BOBCAT OF NEW HAMPSHIRE
SCALE: AS SHOWN **JULY 26, 2021**

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REV	DATE	DESCRIPTION	DR	CK

TFM Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists

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17851-08 DR PWH FB CK JSH CADFILE 17851-08 DETAILS C-13