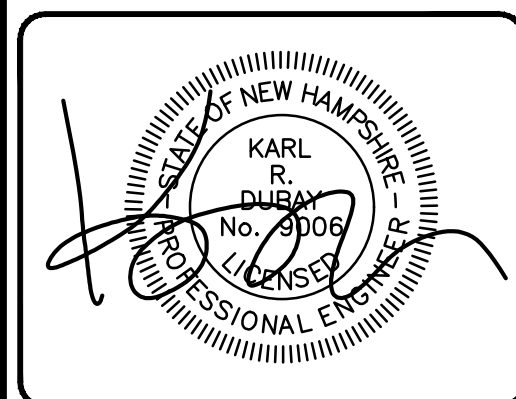




The Dubay Group, Inc.
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers
Planners
Surveyors
TheDubayGroup.com



REVISIONS:			
REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REVS	WA
2	9/28/21	MISC. REVS	WA
3	10/5/21	MISC. REVS	WA
4	11/18/21	DRAINAGE REVS	SJK
5	11/23/21	MISC. REVS	WA
6	1/11/22	MISC. REVS	SJK

DRAWN BY: WA
CHECKED BY: KRD
DATE: AUG. 3, 2021
SCALE: 1"=140'±
FILE: 475-COVER
DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH
PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110
OWNER
5 WAY REALTY TRUST
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE:
TITLE SHEET
PROJECT #475 SHEET 1 of 80

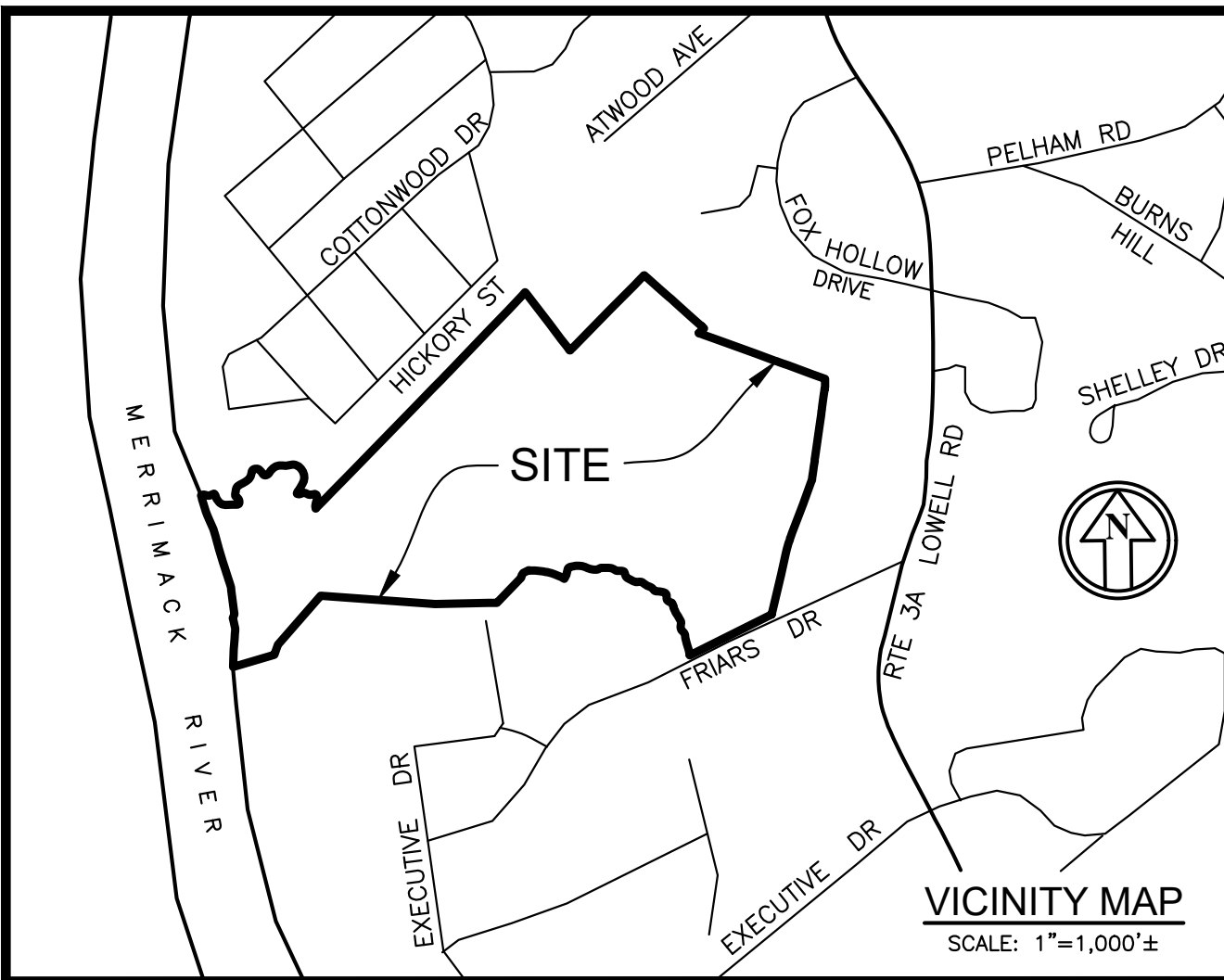
SITE PLAN

FRIARS DRIVE

PARCEL 209-001-000

@ SAGAMORE INDUSTRIAL PARK

HUDSON, NEW HAMPSHIRE



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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



Peter Horne 9/20/2021
DATE
OWNER: 5 WAY REALTY TRUST
C/O PETER HORNE
PO BOX 1435
N. HAMPTON, NH 03862

[Signature] 9-20-2021
DATE
DEVELOPER: LOWELL ROAD PROPERTY OWNER, LLC
C/O GFI PARTNERS, STEVEN E. GOODMAN
133 PEARL STREET #300
BOSTON, MA 02110

N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-COVER.dwg

Accessibility Notes

- Walkways along accessible routes not to exceed 5% running slope or 2% cross slope.
- All ADA parking spaces and passenger loading zones shall not exceed 2% in any direction.
- All ADA egresses shall be flush with adjoining material unless noted otherwise.
- All ramps shall not exceed 1:12 or 2% cross slope.
- Contractor shall confirm field conditions are consistent with construction documents and notify of any compliance issues prior to construction..
- Proposed site work improvements shall conform with the latest edition of the ADA standards for accessible design, last revised September 15, 2010, to the best of the designer's knowledge.

Building Height Calculation (see Architectural Plans A101 & A102):

- High elevation within 5 FT of building is at the man doors along walks.
Finish floor Elev = 165.00.
Walks at FF less 2 percent at 5LF = 0.10 FT drop.
165.00 - 0.10 = 164.90.
- Low elevation within 5 FT of building is at the loading docks.
Grade at dock = Elev 161.00.
Concrete slab slope off bldg. = 1 percent at 5 LF = 0.05 FT drop.
161.00 - 0.05 = 160.95.
- Average Elevation = (164.90 + 160.95) / 2 = 162.92 within 5 FT of building.
This Elevation is annotated on the Architectural plans as "Grade Plane".
- Height point of roof = Elev 212.92, as annotated and depicted on the Architectual Plans.
- Height of Building = 212.92 - 162.92 = 50 FT = maximum allowed.

Additional Fire Department Notes:

- Markings by fire apparatus access in accordance with access in accordance with NFPA1 shall be reviewed and in place to issuance of C.O., irrespective of plan information.
- The project shall obtain site addressing from the Hudson fire Dept.
- The common driveway shall have a permanent sign approved by the Hudson Fire Dept. noting the addresses of the buildings that are accessed from the driveway. These signs shall be approved and installed before issuance of any building permits.
- The proposed building will require an approved sprinkler system. The Hudson Fire dept. upon review of the building plans shall conduct this review. The requirement is in accordance with the **International Building Code (IBC) and Hudson Town code (HTC), current revision, Chapter 210, Article VI.** Any fire protection system shall be monitored by an approved fire alarm system.
- Any required fire alarm system components must remain accessible and visible at all times. The Fire Dept. will require an emergency communication system review by their radio system vendor. The vendor shall review the need for signal amplification for first responder communication signals to be received and transmitted from inside the building; additionally, a review of transmission from the site to the Town of Hudson radio system will also be required. As outlined in the Building and Fire code, the AHJ shall determine the acceptable level of coverage for the site. Any improvements identified shall be at the cost of the developer.
- Blasting is not anticipated on the project, based on soils testing performed to date. A blasting permit will be required for any blasting on the site in accordance with the **Hudson Town code, Chapter 202.**
- Storage above the exempt amounts for hazardous materials, liquids, or chemicals presenting a physical or health hazard as listed in the **International Building Code, Sections 307, 414, or 415** will require additional permitting. All Tier II reporting requirements shall be followed each year for all facilities, as applicable.
- All storage either inside or outside of hazardous materials, liquids or chemicals presenting a physical or health hazard as listed in **NFPA 1, Section 20.15.2.2** shall be in accordance with the applicable portions of the following:

NFPA 13, Standard for the Installation of Sprinkler Systems
NFPA 30, Flammable and Combustible Liquids Code
NFPA 30B, Code for the Manufacture and Storage of Aerosol Products
NFPA 230, Standard for the Fire Protection of Storage
NFPA 430, Code for the Storage of Liquid and Solid Oxidizers
NFPA 432, Code for the Storage of Organic Peroxide Formulations
NFPA 434, Code for the Storage of pesticides

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____

SECRETARY _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

Zoning Ordinance Compliance Notes

- III-334-12 Fencing
F. Fencing is not subject to setback requirements.
(Fencing locations and details will be finalized with planning board input)
- III-334-14.A Building Height
Measured "from the average elevation of the finished grade within five feet of the structure to the highest point of the roof, excluding accessory, unoccupied protruberances".

Maximum allowed occupiable building height: "shall be 50 feet, for uses of manufacturing, warehouse, distribution and office space ancillary to said principal uses." Location: "Sagamore Industrial Park (IP), located in an Industrial (I) Zoning District, bordered by Sagamore Bridge Road to the south, the Merrimack River to the west, the existing General (G) District to the north and the existing Business (B) District, abutting Lowell Road to the east, and including all parcels located within this I Zoning District." Also included are the properties "The General (G) Zoning District abutting to the north of the above-described Sagamore IP, and known locally as the "Friar Property," having frontage off Friars Drive.
(Complies for this parcel - refer to prototypical building elevations demonstrating compliance with the 50-ft allowed height requirement)
- III-334-15.A.3 Parking Setbacks - none for nonresidential zones. **(Complies - refer to 276-11.1.B.12 for setback to residential uses)**
- IV-334-18.E Industrial (I) District
"The I District is established to provide for industrial development, warehousing, limited business and commercial uses and customary accessory uses and structures. The district is intended to be strictly nonresidential in character." **(Complies - use is warehousing and is allowed by right)**
- IV-334-18.F General (G) District
"The G District includes all areas not specifically designated as being within an R-1, R-2, TR, B or I District. The district is designed to permit a wide diversity of land uses. Most uses permitted in the other five districts are permitted in the G District. The G District is intended to allow natural constraints, such as infrastructure development and market forces to determine the most appropriate use of land. It is also intended that the G District will eventually be absorbed by the expansion of other existing districts or replaced by newly created districts. The Planning Board will be responsible for maintaining sound planning concepts in this district and shall ensure that conflicting land uses do not but each other without appropriate buffers." **(The project is located within the Sagamore Industrial Park which has been master-planned by the Town for decades to allow and foster industrial-based uses such as the warehouse use. The required buffers are provided, and the uses comply)**
- V-334-20 Allowed Uses per Table (334 Attachment 1) - for Both G & I Districts
Allowed Uses by right includes: (see table for additional allowed uses):
E.8 Warehousing **(Complies, Hours of operation are 24/7.)**
- VII-334-27 Dimensional Requirements
Table (334 Attachment 4) (w/ municipal sewer & water)
Item G Zone I Zone Provided
Lot Area, SF **(Complies)** 43,560 30,000 3,260,249
Lot Frontage, LF **(Complies)** 150 150 468
Building Setbacks :
Front/Side/Rear, FT **(Complies)** 30/15/15 50/15/15 431/287/246
(Proposed work is within the G Zone)
- VII-334-27.1.B Minimum Buildable Lot Area
Shall not contain wetlands, E-Slopes, and shall be contiguous upland.
(Complies - refer to existing conditions plans)
- IX-334-35.A Wetlands Conservation Overlay District
Applies to wetlands and surface waters and a 50 FT buffer around them.
(Refer to plans)
- IX-334-36.C WCOD Conditional Uses Allowed
2. Access Ways, driveways, and Utilities if essential to the productive use of the land beyond the WCOD, utilize least impact design. **(refer to plans, reflecting design intent to avoid work within the WCOD)**
Drainage work for stormwater management if not practicable or possible to be located outside the WCOD. **(refer to plans - reflecting design intent to avoid work within the WCOD)**
- IX-334-37 WCOD CUP Criteria
(Design avoids a WCOD CUP at this time)
- XII-334-57 Signs - NOTE: All signs are subject to approval by the Zoning Administrator prior to installation.
334-60.C Business Signage Front Setback
= 50% (min) of Building Front Setback = 30/2 = 15 FT. **(Complies, 85 FT provided)**
334-60.D Business Signage Side & Rear Setback
= associated building setback (min) = 15 FT **(Complies, 202 FT provided)**
334-60.J Business Freestanding Sign Height
= 30 FT (max) **(Will comply at time of sign permit application)**
Street Address shall be shown @ 4 IN lettering height **(Will comply at time of sign permit application)**
334-64 One Freestanding Sign per site:
A. Area (max) = 1 SF per LF of road frontage up to 100 SF max. **(Complies - 468 FT frontage = 100 SF max, will comply at the time of sign permit application)**
- XIV Impact Fees
(To be determined and verified with Town Staff)
- XVI Flood Zones
Per Chapter 218 of Town Code:
(Complies - no new development is proposed within the Flood Zone)

Administrative Requirements Compliance Notes

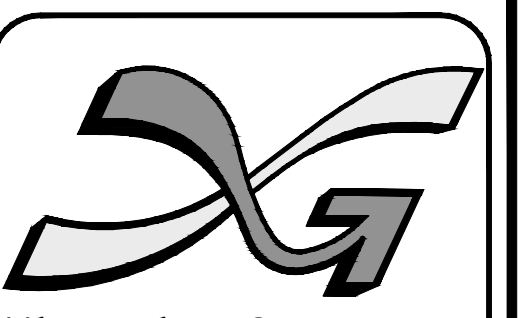
- 276-4 Performance Sureties
(To be determined, will be provided and comply as applicable)
- 276-7 Waivers
(None known at this time but may be coordinated if determined to be required per the design, and coordinated with Town Staff and the Planning Board)
- 276-11.1.B General Plan Requirements:
12. Parking / Building Setbacks
No parking is allowed in the building setbacks **(Complies)**
"(NOTE: For this section, "residential use" shall mean any LOT which either contains a residential dwelling and/or has received SUBDIVISION or SITE PLAN approval for the purpose of constructing residential dwellings.)
12.a In G Zone, where an industrial use abuts a residential use, there shall be a 200-FT distance from the residential property line to any improved part of the industrial development. **(Complies - see plans)**
12.c In I Zone, where commercial/industrial use or zoning district abuts a residential use or zoning district, there shall be a 100-FT distance between the residential use or zoning district and any improved part of the nonresidential development. **(Complies - see plans)**
22. Green Area
A green area (grass or landscaping) area is required between the right of way and pavement/structure, excepting driveways - **(Provided - see plans)**
Minimum width = 20 FT (for 30-FT building setbacks) (35 FT @ 50-FT setback). **(Complies - see plans)**
24.a Open Space
Min 35% required for each lot (for sites located between the Circumferential Highway and the Merrimack River).
Open Space - grass/tree/landscaped or natural growth; there must be reasonable open space near or adjacent to each building or structure, including pavement, as determined by the planning board. **(Complies - see plans for data)**
25. Parking and Drive Setbacks - Same as building Setbacks. **(Complies - see plans)**
276-13. A. Utilities - shall be underground **(Complies)**
Provide easements where necessary **(To be provided if necessary)**
D. Utilities Screening - Year-round (other than poles) is required **(Provided)**

Contractor Notes

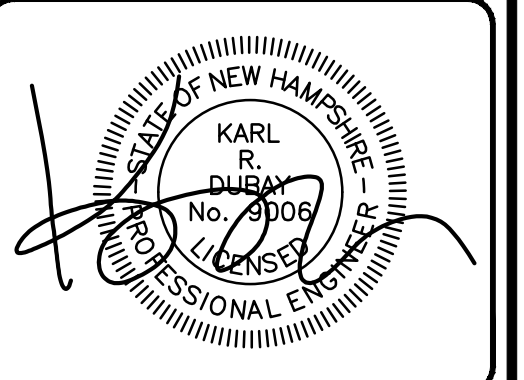
- The contractor shall sufficiently review all plans, profiles and any other information in the contract documents for consistency prior to bid. Any inconsistencies or discrepancies that are found by the contractor or his assigns shall be immediately brought to the attention of the owner and engineer in writing, in the format of an RFI prior to bid.
- Any discrepancies between existing horizontal or vertical data shown on these drawings and that encountered in the field must be reported to the design team prior to construction for resolution.

Utility Notes

- The contractor shall be responsible for installation of the domestic and fire service line connections to existing mains.
- Test pits are to be performed prior to installation of domestic and fire service line connections to confirm the size and material of the main.
- Tapping sleeves and gate valve assemblies shall be installed at each domestic and fire service line connection and shall be manufactured by Clow Valve Co., Mueller Co., or American Valve and Hydrant.
- Scheduling of all domestic and fire service line connection work shall be coordinated with the Hudson Water Department (HWD) to allow for a representative from the HWD to be onsite to oversee the connections and perform a water shutdown as needed.
- The equipment and materials for the water meter vault and appurtenances shall be submitted to the HWD for review and approval prior to construction.
- All water mains and services shall have a minimum of 5'-0" of cover. Insulation shall be used for any mains and services receiving less than 5'-0" of cover. Insulation shall be 2-inches thick, "foamglass" style with jacketing as manufactured by Pittsburgh Corning Corp in accordance with AWWA C552.
- All water mains and services shall maintain a minimum vertical separation of 18-inches from other utilities with strict adherence to this separation for sewer and drain lines. if adequate separation is not maintained. Pipelines shall be sleeved or encased in flowable and excavatable concrete. In addition, no water mains or services shall be installed within the same trench as other utilities. A minimum of 10-feet of horizontal separation from sewer or drain lines shall be maintained.
- Water flow isolation valves shall open left (counterclockwise) and be resilient seat gate valves.
- Valve boxes shall be cast iron, adjustable sliding heavy pattern type with flange on the top of the section, be stamped "water" on the top cover, be dirt-tight, and fully enclose the valve operating nut and stuffing box.
- Hydrants shall have drains and open left (counterclockwise).
- Hydrants paint shall be orange (barrel), reflective white (bonnet and pumper nozzle cap), and black (side nozzle caps and operating nut).
- All fire hydrants shall receive an isolation valve along the hydrant lateral and a minimum of two protective bollards.
- The developer shall provide as-built record drawings of all new and existing water infrastructure to the HWD at the completion of construction.



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SHEET TITLE:
ZONING ORDINANCE COMPLIANCE NOTES

General Notes

- Conservation Wetland Overlay District markers shall be placed at 100 foot intervals along the conservation easement boundaries, post construction to clearly identify the conservation easement areas.
- Proposed site work improvements shall conform to the standard details and specifications of the Town of Hudson. In the absence of local standards, site work shall conform to the requirements of the New Hampshire standard details.
- See architectural drawings for locations, dimensions and details of all doors, ramps, sidewalks and walls associated with the building.
- All improvements constructed in the town public right-of-way shall conform to Town of Hudson standard details. In the absence of local details & requirements and work in the state right-of-way shall comply with state of New Hampshire Department of Transportation standard specifications for roads and other applicable regulations.
- All signs and pavement markings shall conform to the latest edition of the MUTCD and New Hampshire Department of Transportation regulations.
- Contractor to prevent dust, sediment and debris from exiting the site and shall be responsible for cleanup, repairs and corrective action if such occurs. Adjoining streets and properties to be kept free of debris resulting from demolition and shall be cleaned on a daily basis or as needed.
- Dust control treatments shall be applied as necessary to control and reduce the amount of dust which may cause off-site damage, be a health hazard to humans, wildlife and plant life, or pose a hazard to traffic safety.
- All utility work shall be performed in accordance with the requirements and specifications/details of the utility companies having authority over the proposed work. All proposed utility work shall be performed in accordance with all applicable local, state, and federal ordinance/requirements governing the proposed work.
- Any utility easements required by any of the various utility companies shall be obtained, executed, and recorded prior to any of the affected utility work being performed.
- Cleanouts shall be provided flush to grade at all locations of roof drain intersections, bends and upstream ends.
- All pavement markings shall be epoxy resin paint.
- Spot shots along curb lines represent the base of the curb unless noted otherwise.
- A pre-construction meeting shall be held with Hudson's town engineer at least two weeks prior to the start of construction. The applicant, contractor, and applicant's, engineer shall be in attendance.
- Contractor shall not import any fill over the amount of ten cubic yards cumulative total per source to any job site in The Town of Hudson without soils testing verifying the absence of all constituents of concern, and without prior approval by engineering department staff. Documentation such as test reports, Certifications and sieve analysis of fill shall be provided to the engineering department for approval prior to transporting the materials to Hudson.
- The EPA General construction permit, e-noi, and swppp documents must be adhered to, active, and required documentation be kept on site at all times. the town of Hudson, New Hampshire is to be made aware of all updates, revisions, and the statues of these documents.
- The developer will be required to comply with all provisions of the Town of Hudson's MS4 permit, including but not limited to annual reporting requirements, construction site stormwater runoff control, and record keeping requirements.

Grading & Drainage Notes

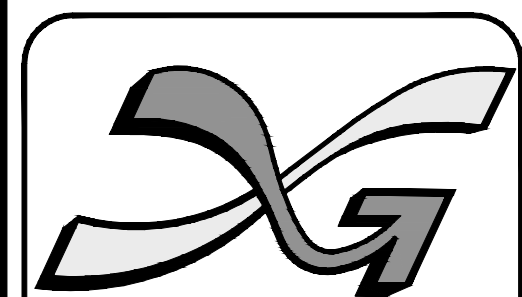
- Locations and elevations of roof leaders should be coordinated with architectural and MEP drawings prior to construction.
- Cleanouts shall be provided flush to grade at all locations of roof drain intersections, bends and upstream ends.
- Contractor shall connect all new roof drains to the drainage system. Locations and elevations of roof leaders should be coordinated with MEP and architectural drawings prior to construction.
- All manhole covers, grates, inlets and rims to remain shall be adjusted to actual resultant field proposed grade.

Site Plan Regulations Compliance Notes

- 275-6.U Development Agreement
Required between "the Applicant and the Town to detail the terms, conditions, and responsibilities of the Applicant and the Town in conjunction with the approved plan."
(To be determined & provided)
- 275.6.V Waste Materials Handling
Dumpsters will not be needed on site.
Materials are handled internally via building and enclosed units by private vendor.
Hours of refuse removal shall be exclusive to the hours between 7:00 AM and 7:00 PM, Monday through Friday only.
- 275-8.C.2 Parking Calculations
Calculation per this section required, OR the Board may reduce the requirements if appropriately demonstrated.
Parking Calculations. The calculations for required off-street spaces shall be computed in accord with the specifications listed
Any use not listed shall provide parking as required by the PLANNING BOARD. The PLANNING BOARD may vary these requirements if the APPLICANT can demonstrate that fewer spaces than required below are consistent with the proposed use:
(On 12/15/2021, the Planning Board granted a waiver of the provisions of this section to allow the total parking quantity as depicted on the plans. Refer to Parking Compliance & Landscape Summary Plan)
- 275-8.C.2.g Industrial Use Parking
The larger of 1:600 GSF, or 0.75 per employee of the combined employment of the two largest successive shifts.
(Refer to plan data)
- 275-8.C.4 Parking Space Dimensions
10x20 FT
(Complies - all parking spaces are 10x20 FT)
- 275-8.C.5.a Parking Aisle Width
24 FT (min) required. **(Complies - all aisles at 24 FT width min)**
- 275-8.C.6.a Loading Spaces
1 space for first 5 GSF plus 1 space per each additional 10 KGSF.
Building Area = 504 ksf
Total Loading Spaces Required = 51 Loading Spaces
(Complies - see plan data)
- 275-8.C.6.b Loading Space Dimensions
12x60 FT and for shorter trucks, 12x35 FT (min), also required maneuvering/aisle space as appropriate.
(Complies)
- 275-8.C.6.c Loading Space Location
On same lot as the use served.
(Complies - all loading spaces are located on subject lot)
- 275-8.C.6.d Maneuvering Areas
Required within the property lines of the use, shall not hinder sidewalks or vehicles on a road.
(Complies)
- 275-8.C.7.a Parking Lot Landscaping
(Complies - see plan data)
- 275-8.C.7.b Parking Lot Landscaping
The 10% min area is calculated from the total space/aisle area.
(Complies - see plan data)
- 275-8.C.7.c Parking Lot Shade Trees
(Complies - see plan data)
- 275-8.C.7.d Parking Lot Shrubs
(Complies - see plan data)
- 275-8.C.7.e Parking Lot Landscaping
For parking areas consisting of a single access lane, this section (275-8.C.7) shall not apply.
(Complies - most areas area exempt per this section, although the criteria is demonstrated to be meeting all design intents.)
- 275-8.C.8 Screening
Shall be provided for visual separation of incompatible uses. **(provided)**
Shall be required between parking or loading areas and abutting residential zones. May also be required between abutting nonresidential sites. **(provided)**
Where screening is required, provide a reasonable effective visual buffer by:
(a) Use of existing vegetation and terrain where possible **(provided);** or
(b) New plantings (type, size and spacing to be approved by the Board), grade separations, fences or similar features. **(provided)**
(Complies - refer to landscape plans)
- 275-8.C.9 Parking Space Location
Required spaces to be on same lot as the use served.
(Complies - parking spaces all on site)
- 275-8-C.10 Drive Entrance Design
Shall conform with Chapter 193 (Driveways), except that site plan approval shall constitute the issuance of a driveway permit.
193-4 Permit Required for Town **(will obtain prior to construction)**
193-10 Design Criteria **(complies, refer to plans, details, and traffic study)**
A. Safe Location **(complies)**
B. Drainage & Channelization Design **(Complies)**
C. Grades/Alignment/Drainage **(Complies)**
D. Additional Design Elements **(Provided)**
E. AASHTO Sight/Stopping Distance/Geometries **(Complies)**
F. Widths as Appropriate for Lanes & Islands **(Complies)**
G. One Drive per Parcel Max Allowed (combined to single via Easement) **(Complies)**
H. Drives per Side/Rear Building Setbacks OR per Shared Easements **(Complies)**
I. Shared Drive with Easements per Proper Design Techniques **(Complies)**
J. Pavements **(Complies)**
- 275-8-C.11 ADA - Accessibility per Federal Guidelines
Plan detailing/data required, note on plan required per ADA requirements and citing regulations referenced.
(Complies - refer to plans and plan calculations)

- 275-9 Information & Studies:
- 275-9.A Stormwater Management Plan - per Ch 290
- 290-3.A SMECP Required **(provided)**
- 290-5.A Basic Standards (1-13)
(Complies - refer to plans, details, and drainage study)
- 290-5.A Basic Standards (1-13)
(Complies - refer to plans, details, and drainage study)
- 290-5.B.1 Enhanced Standards
(Complies - refer to plans, details, and drainage study)
- 290-6.A Stormwater Management Design (1-15) (Temporary & Permanent)
(Complies - refer to plans, details, and drainage study)
- 290-7 SMECP Design Requirements (A-B)
(Complies - refer to plans, details, and drainage study)
- 290-8 Construction Phase Requirements **(Will comply)**
A.4 Bonding/Security **(Will comply)**
A.5 Inspections/Escrows **(Will comply)**
A.6 EPA NPDES Filings/Reports **(Will comply)**
O&M Plan & Inspections/Reports **(Will comply)**
- 290-9 O&M Plan & Inspections/Reports **(Will comply)**
- 290-10 A. NHDES AOT Permit **(Required)**
B. EPA CGP/Reporting **(Required)**
- 275-9.A.1 Pre/Post peak rates and volumes where practicable per AOT permit criteria.
(Complies per Town, AOT, NHDES, and EPA permitting requirements - refer to drainage report)
- 275-9.A.2 Runoff Flow - depict with use of plan arrows.
(Complies - refer to plans and drainage report)
- 275-9.A.3 Details - of all systems required, including soils testing on infiltration systems.
(Complies - refer to plans and drainage report)
- 275-9.A.4 Calculations - 10YR (closed site systems), 25YR (culverts/swales/ponds)
(Complies - refer to drainage report)
- 275-9.B Traffic Study
(Complies - refer to traffic report, note that the tract was pre-planned within the Sagamore Industrial Park for development of this type, which meets all regulations. Note also that offsite mitigation has been provided via the construction of Friars Drive and looped utilities for the northerly interconnect with Lowell Road, and limited to right-in-right-out at its intersection. Also note that multiple signalized intersections serve the Sagamore Industrial Park and have been master planned to appropriately serve the park development. Additional mitigation, if required, may include a right turn pocket from Lowell Road onto Friars Drive.
- 275-9.C Noise Study
(The uses proposed are allowed by right at this location. A noise study will demonstrate that such normal uses as allowed would not product any more noise than what is reasonably expected and allowed in the Ordinance at this location.
- 275-9.D Fiscal Impact Study
(The project will provide substantial net tax revenues to the Town with no public school costs, and negligible, if any, public safety costs. The project as designed meets all ordinances and regulations, and within the expectations of the underlying zoning master planning for the location.
- 275-9.E Utility Plans
(Provided and compliant with Town and Utility Company and State requirements, see plans)
- 275-9.F Proposed/Existing easements, covenants, deed restrictions, etc.
(Provided as required)
- 275-8-C.10 Drive Entrance Design
- 275-9.G Permits:
1. NHDES Sewer Connection (including Town Chapter 270)
- 270-15.A-E Flow Content Limits **(will be required to comply)**
270-17.B.3 a. Allocated on a per-acre basis **(will comply)**
a. Area excludes steep slopes (>25%), wetlands, noncontiguous dry land and dedicated public or private rights-of-way. **(refer to plan for calc)**
b. Actual allocation dedication will be flow verification at first year of building occupancy **(will comply)**
c. Flow Allocation Table (Max ADF GPD/Ac):
General Industrial Uses = 500 (domestic)
Process Flow = 2,000 (requires detailed review & agreement review process)
(refer to sewer plans and application calculations. Flows required are substantially less than allocations allowed)
- 3. Town Wetlands Buffer CUP **(Not required at this time)**
Other. NHDES AOT **(Required)**
Other. EPA SWPPP **(Prior to Construction)**
Other. NHDES Shoreland **(No work proposed at this time in shoreland areas.)**
- 275-9.I Environmental Impact Study
(NHDES Wildlife Study will be coordinated and will meet the requirements, all systems designed and constructed will meet applicable Town, State, and Federal Environmental Requirements)
- 275-10 Escrow Deposit Per 276-12 may be required.
(To be determined with Town Staff & Planning Board)
- 275-12.E Bonding/Security For Site and Offsite work, may be required.
(To be determined with Town Staff & Planning Board)
- 275-15 Refer to waiver of Section 275-8.C.2 (see note) granted by the Board.
- 275-18 Performance Sureties - be required, per 276-4.
(To be determined with Town Staff & Planning Board)
- 275-20 Utilities - All work shall comply with 276-13. **(Complies)**

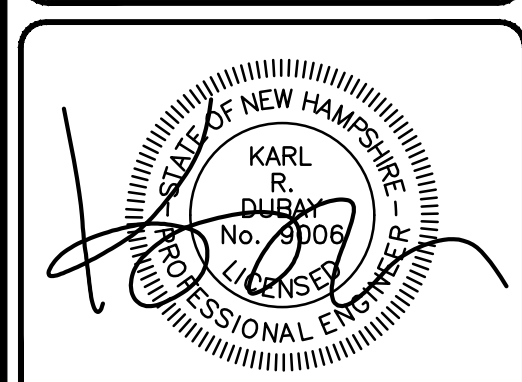
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	CHAIRMAN _____	SIGNATURE DATE: _____
	SECRETARY _____	SIGNATURE DATE: _____
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The Dubay Group, Inc.
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Londonderry, NH 03053
603-458-6462

Engineers
Planners
Surveyors

TheDubayGroup.com



REVISIONS:			
REV.	DATE:	COMMENT:	BY:
1	9/20/21	MISC. REVS	WA
5	11/23/21	MISC. REVS	JUG
6	1/11/22	MISC. REVS	SJK

DRAWN BY: JGG
CHECKED BY: KRD
DATE: AUG. 3, 2021
SCALE: NONE
FILE: 475-NOTES
DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH



PREPARED FOR

LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110

OWNER

5 WAY REALTY TRUST
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE:

SITE
REGULATIONS
COMPLIANCE
NOTES

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-NOTES.dwg

ABUTTER LIST:

MAP 203/LOT:

- 10, 11 TOWN OF HUDSON 12 SCHOOL ST HUDSON, NH 03051
12, 13 TOWN OF HUDSON 12 SCHOOL ST HUDSON, NH 03051
14 TOWN OF HUDSON 12 SCHOOL ST HUDSON, NH 03051
27 BRIAN R. BLOCKER 6 HICKORY ST HUDSON, NH 03051
28 GREGORY & LEE ANN NELSON 8 HICKORY ST HUDSON, NH 03051
29 PHILIP & JOAN MACSWEENEY 10 HICKORY ST HUDSON, NH 03051
30 TODD NEWCOMBE DINA FAGUNDES-NEWCOMBE 12 HICKORY ST HUDSON, NH 03051
31 TIM & BARBARA COULTER 14 HICKORY ST HUDSON, NH 03051
32 HULSE JOINT REVOCABLE TRUST OF 2014 JAMES & DENISE HULSE TRUSTEES 16 HICKORY ST HUDSON, NH 03051
33 RICHARD & LISA OLSON 18 HICKORY ST HUDSON, NH 03051
34 CHARLES & MARY BOISSONNEAULT 20 HICKORY ST HUDSON, NH 03051
35 OUELLETTE FAMILY TRUST DONALD & DEBORAH OUELLETTE TRUSTEES 22 HICKORY ST HUDSON, NH 03051
36 DONALD & PAMELA CHARTRAND 24 HICKORY ST HUDSON, NH 03051
37 VICTOR GOMEZ 26 HICKORY ST HUDSON, NH 03051

ABUTTER LIST:

MAP 203/LOT CONT.:

- 38 JONATHAN & DOROTHY DAVIS 7 JUNIPER ST HUDSON, NH 03051
39 SEIBERG REV. TRUST AGREEMENT DALE & SUSAN SEIBERG TRUSTEES 5 JUNIPER ST HUDSON, NH 03051
40 JAMES & SHEILA QUEENAN 47 COTTONWOOD DR HUDSON, NH 03051
41 ALAIN DUBE DIANE ST. PIERRE 45 COTTONWOOD DR HUDSON, NH 03051
42 EVAN GODOUCO 43 COTTONWOOD DR HUDSON, NH 03051
43 DAVID TAVARES 41 COTTONWOOD DR HUDSON, NH 03051
55 SCHMITT REVOCABLE TRUST JOSEPH SCHMITT TRUSTEE 19 HICKORY ST HUDSON, NH 03051
56 JOSEPH MARTIN LINDSAY LEMIEUX 17 HICKORY ST HUDSON, NH 03051
104 KATHLEEN FINN JESSICA LIBERMAN 15 HICKORY ST HUDSON, NH 03051
105 JENNIFER GARNEAU 13 HICKORY ST HUDSON, NH 03051
115 MARK & CAROL SCANLON 11 HICKORY ST HUDSON, NH 03051
116 MICHAEL RICE 9 HICKORY ST HUDSON, NH 03051
125 ZACHARY PHILLIPS 7 HICKORY ST HUDSON, NH 03051

ABUTTER LIST:

MAP 209/LOT:

- 1-1 FRIARS COURT CONDOMINIUM 1264 MAIN ST WALTHAM, MA 02451
1-2 5 WAY REALTY TRUST C/O WALTER FLOWERS PO BOX 1435 N. HAMPTON, NH 03862
1-1-1 FC OWNER LLC 1264 MAIN ST WALTHAM, MA 02451
1-1-2 FC2 OWNER LLC 1264 MAIN ST WALTHAM, MA 02451
2 FARLEY WHITE HUDSON, LLC 1 BEDFORD FARMS DR, STE 200 BEDFORD, NH 03110
4 INTEGRA BIOSCIENCES CORP 2 WENTWORTH DR HUDSON, NH 03051
5 HARRY HAYTAYAN REV. TRUST HARRY HAYTAYAN TRUSTEE 17 FRIARS DR HUDSON, NH 03051

ABUTTER LIST:

MAP 204/LOT:

- 1 LOWELL ROAD, LLC PO BOX 1435 NORTH HAMPTON, NH 03862
2 RICHARD GEORGE DEMERS 22 LISA LANE LOWELL, MA 01854
3 MONUMENT CONSTRUCTION, LLC 21 FACTORY ST, STE 1 NASHUA, NH 03060
4 DBV, INC C/O WALTER FLOWERS 15 COURT SQ, STE 340 BOSTON, MA 02108
6 FOX HOLLOW CONDOMINIUM ASSOC C/O GREAT NORTH PROPERTY MGMT 636 DANIEL WEBSTER HWY MERRIMACK, NH 03054
6-421 DAVID J. LAFOND 421 FOX HOLLOW DRIVE HUDSON, NH 03051

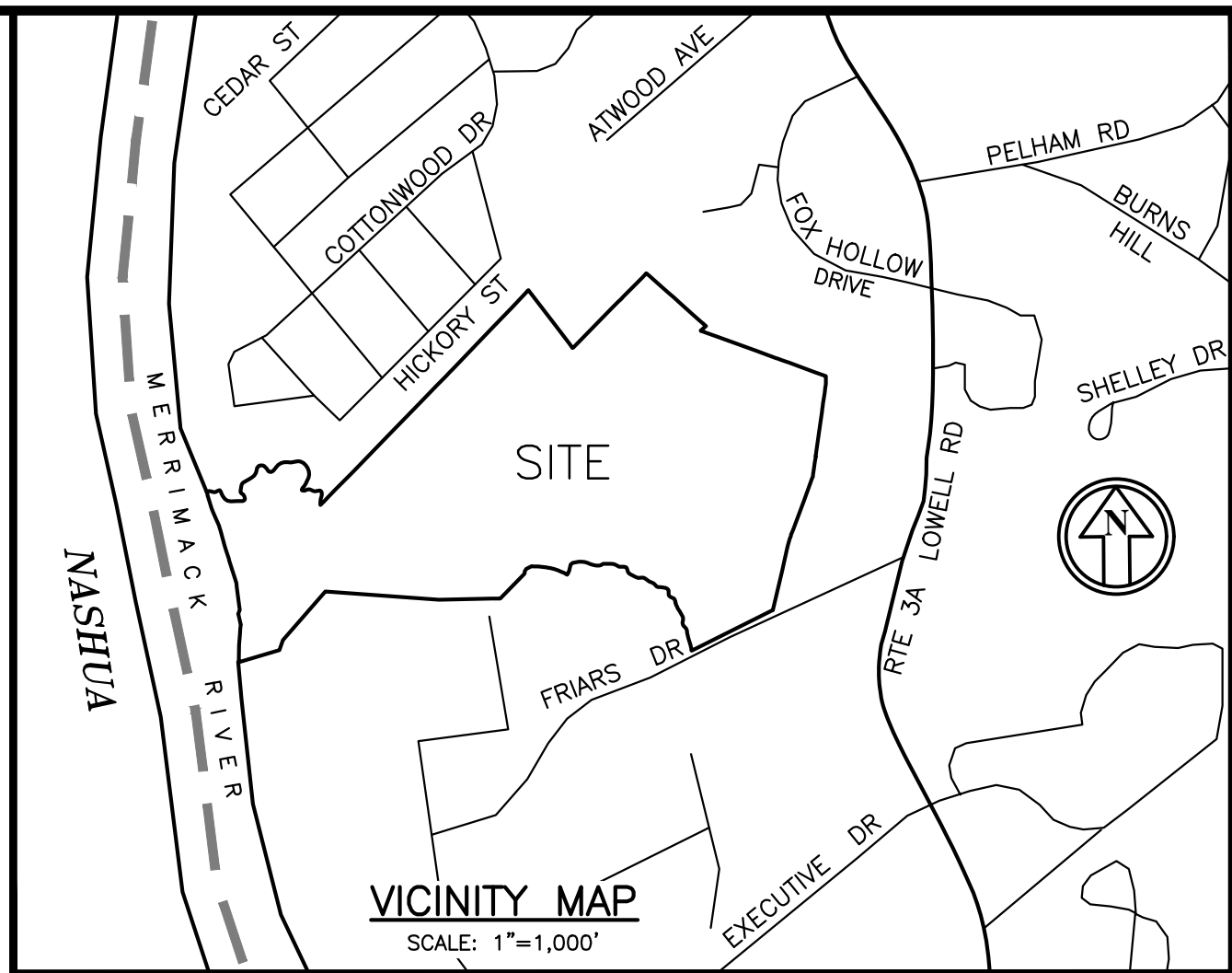
ABUTTER LIST:

MAP 210/LOT:

- 8 171 JMJ REALTY, LLC 175 LOWELL RD HUDSON, NH 03051

PLAN AND DEED REFERENCES:

- 1. ALTA/NSPS LAND TITLE SURVEY, FRIARS COURT, MAP 209 LOT 1-1, 161 LOWELL ROAD, HUDSON, NH; PREPARED FOR: 5 WAY REALTY TRUST, PETER HORNE, TRUSTEE; SCALE: 1"=50'; DATED JUNE 20, 2020, AND REVISED THROUGH SEPTEMBER 2020; PREPARED BY THE DUBAY GROUP, INC.; PLAN NOT RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
2. CONDO SITE PLAN OF FRIARS COURT, MAP 209 LOT 1-1; PREPARED FOR DAKOTA PARTNERS, INC.; SCALE: 1"=50'; DATED MARCH 2020, AND REVISED THROUGH SEPTEMBER 2020; PREPARED BY THE DUBAY GROUP, INC.; RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS AS PLAN #40705.
3. H.C.R.D. PLAN #40569.
4. H.C.R.D. PLAN #40568.
5. H.C.R.D. PLAN #38615.
6. H.C.R.D. PLAN #38110.
7. H.C.R.D. PLAN #28934.
8. H.C.R.D. PLAN #28866.
9. H.C.R.D. PLAN #28865.
10. H.C.R.D. PLAN #28159.
11. H.C.R.D. PLAN #25519.
12. H.C.R.D. PLAN #22840.
13. H.C.R.D. PLAN #17646.
14. H.C.R.D. PLAN #14556.
15. H.C.R.D. PLAN #13738.
16. H.C.R.D. PLAN #13138.
17. H.C.R.D. PLAN #11071.
18. H.C.R.D. PLAN #11023.
19. H.C.R.D. PLAN #8729.
20. H.C.R.D. PLAN #5475.
21. H.C.R.D. PLAN #4600.
22. H.C.R.D. PLAN #2807.
23. H.C.R.D. PLAN #890.
24. H.C.R.D. PLAN #301.



NOTES:

- 1. OWNER OF RECORD: (MAP 209 LOT 1) 5 WAY REALTY TRUST PETER HORNE, TRUSTEE PO BOX 1435 N. HAMPTON, NH 03862 SOURCE OF TITLE: Bk. 6046 PG. 1131 (H.C.R.D.)
2. THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON AN ON-THE-GROUND SURVEY BY THIS OFFICE IN DECEMBER 2020 AND JANUARY 2021, AND INFORMATION TAKEN FROM DEEDS AND PLANS OF RECORD.
3. EXISTING FEATURES AND TOPOGRAPHICAL DATA SHOWING TWO (2) FOOT CONTOUR INTERVALS PROVIDED BY EASTERN TOPOGRAPHICS, INC., WOLFEBORO, NEW HAMPSHIRE.
4. BEARINGS SHOWN ARE BASED ON GRID NORTH VIA GNSS OBSERVATIONS TAKEN DECEMBER 2020; VERTICAL DATUM IS REFERENCED TO NAVD88.
5. LOT 1 IS ZONED GENERAL (G ZONE) AND INDUSTRIAL (I ZONE) PER TOWN OF HUDSON ZONING MAP.
MIN. LOT AREA: 30,000 SF - INDUSTRIAL
MIN. LOT AREA: 43,560 SF - GENERAL
BUILDING HEIGHT: 50FT MAX
MIN. LOT FRONTAGE: 150FT
MIN. FRONT YARD: 50FT
MIN. SIDE YARD: 15FT
MIN. REAR YARD: 15FT
6. LOCATION OF THE 100 YEAR FLOODPLAIN BOUNDARY AT ELEVATION 112', IS SHOWN IN ACCORDANCE TO FEMA FLOOD INSURANCE RATE MAP NUMBER 3300339E, WITH AN EFFECTIVE DATE MAY 17, 2005. SAME INFORMATION IS DEPICTED ON FEMA MAP NUMBER 33011C0652Z DATED APRIL 18, 2011 AND FEMA MAP NUMBER 33011C0656D DATED SEPTEMBER 25, 2009.
7. FRONTAGE ALONG FRIARS DRIVE IS A TOWN MAINTAINED ROAD (CLASS V). RIGHT OF WAY IS 50 FEET WIDE.
8. REFER TO EASEMENT DEED OF THE PROVINCE OF ST. MARY OF THE CAPUCHIN ORDER TO PSNH DATED MARCH 1954, FILED AT BOOK 2054, PAGE 115. PERMANENT SEWER EASEMENT, THIRTY (30) FEET WIDE, CONVEYED TO THE TOWN OF HUDSON, DATED MARCH 14, 1978, FILED AT BOOK 2594, PAGE 290.
9. THE LOCATION OF ANY UNDERGROUND UTILITIES SERVICING THE SUBJECT PARCEL ARE APPROXIMATE ONLY. PORTION OF FRIARS DRIVE AND AREA ADJACENT TO IT IS CURRENTLY UNDER CONSTRUCTION AS OBSERVED WHILE CONDUCTING FIELDWORK.
10. THERE IS DIRECT VEHICULAR & PEDESTRIAN ACCESS TO AND FROM LOWELL ROAD (ROUTE 3A) AND EXECUTIVE DRIVE, OVER AND ACROSS FRIARS DRIVE. ALL ARE DEDICATED PUBLIC RIGHTS OF WAY.

LEGEND

Table with 2 columns: Symbol and Description. Includes symbols for GBS, IRF, IRF, GBF, utility poles, manholes, catch basins, sewer manholes, light poles, fire hydrants, water valves, signs, mailboxes, existing buildings, property lines, abutment lines, wetland edges, stone walls, yellow/white lines, granite curbs, pavement edges, retaining walls, overhead wires, tree lines, sewer/water/gas lines.

LAND SURVEYORS CERTIFICATION:

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND IN DECEMBER 2020 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.
Timothy W. Sutherland 8/3/21



WETLAND NOTES

- 1. WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN MARCH 2019 AND DECEMBER 2020, AND LOCATED BY THIS OFFICE IN MARCH 2019 AND DECEMBER 2020.
2. WETLAND DELINEATION WAS PERFORMED TO THE STANDARDS OF THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, (JANUARY, 1987).
3. DOMINANT HYDRIC SOIL CONDITIONS WITHIN THE WETLANDS WERE IDENTIFIED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE CRITERIA OF FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, 2004.
4. DOMINANCE OF WETLAND VEGETATION WAS ASSESSED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: 1988 NORTHEAST (REGION 1) (PORTER B. REED, JR.).
5. THERE IS A TOTAL OF 71,325 SF OF WETLANDS DELINEATED ON THIS SITE.



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING:
CHAIRMAN SIGNATURE DATE:
SECRETARY SIGNATURE DATE:
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The Dubay Group, Inc. 136 Harvey Rd. Bldg B101 Londonderry, NH 03053 603-458-6462
Engineers
Planners
Surveyors
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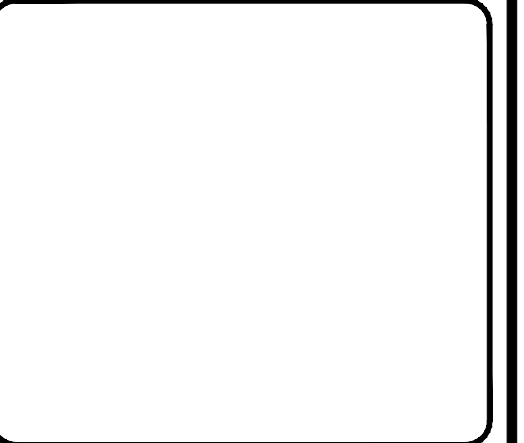


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Table with 4 columns: REV, DATE, COMMENT, BY. Multiple empty rows for revisions.

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CHECKED BY: TWS
DATE: AUG. 3, 2021
SCALE: 1"=200'
FILE: 475 ECP/VIEW
DEED REF: 6046/1131

PROJECT: SITE PLAN
FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH
PREPARED FOR:

GFI PARTNERS
LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110
OWNER
5 WAY REALTY TRUST
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE:
EXISTING
CONDITIONS
OVERVIEW
PLAN
PROJECT #475 SHEET 4 of 80



The Dubai Group, Inc.

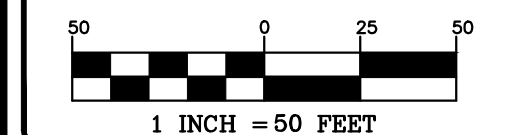
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers

Planners

Surveyors

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G	F	E
D	C	B
A		

SHEET KEY

REVISIONS:			
REV.	DATE:	COMMENT:	BY:
1	9/20/21	MISC. REVS	WA

DRAWN BY:	TWS
CHECKED BY:	TWS
DATE:	AUG. 3, 2021
SCALE:	1"=50'
FILE:	475 ECP
DEED REF:	6046/1131

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH

PREPARED FOR



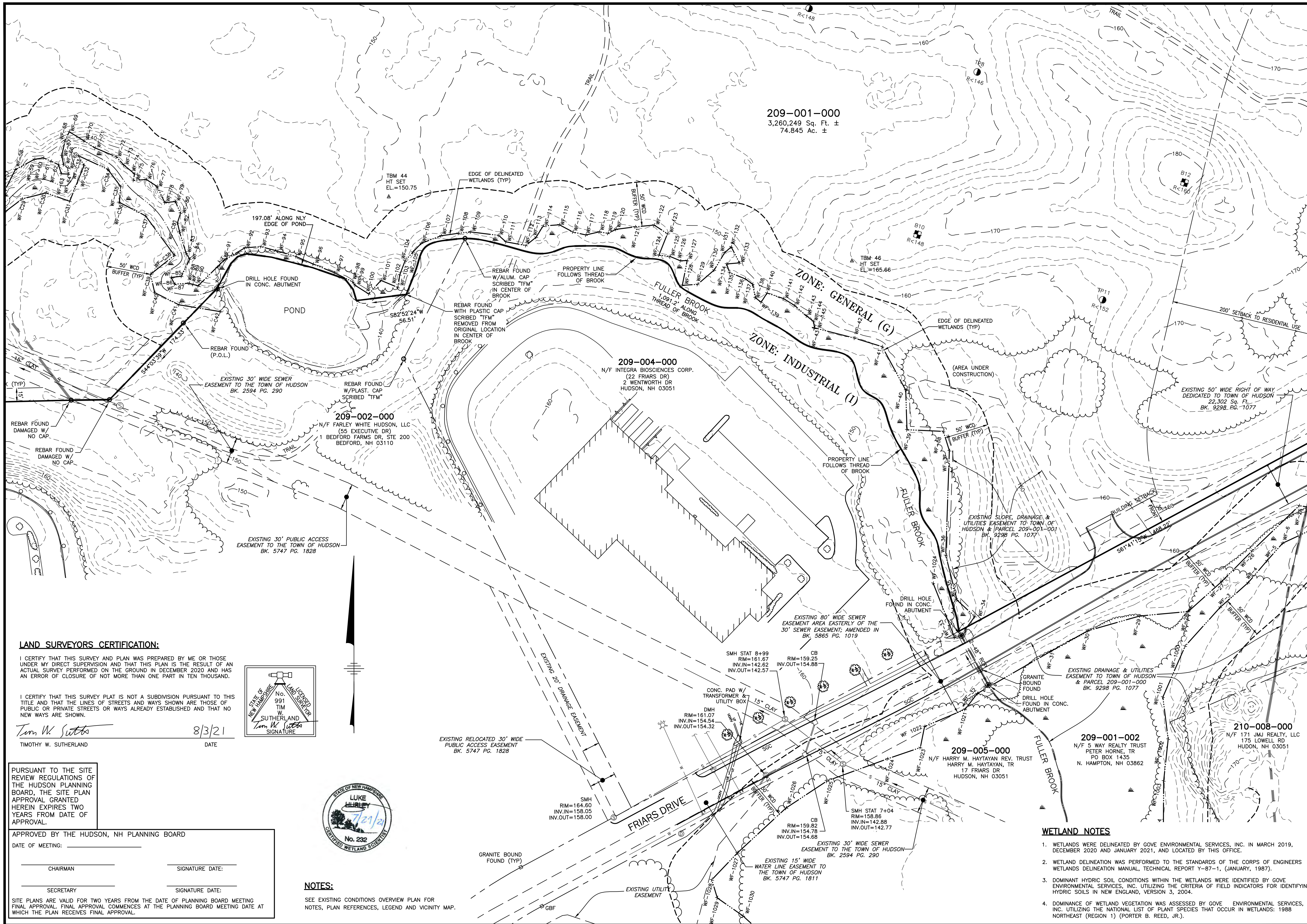
LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:

EXISTING CONDITIONS PLAN - A

PROJECT #475 SHEET 5 of 80



209-001-000
 3,260,249 Sq. Ft. ±
 74.845 Ac. ±

209-004-000
 N/F INTEGRA BIOSCIENCES CORP.
 (22 FRIARS DR
 HUDSON, NH 03051

209-002-000
 N/F FARLEY WHITE HUDSON, LLC
 (55 EXECUTIVE DR
 1 BEDFORD FARMS DR, STE 200
 BEDFORD, NH 03110

209-001-002
 N/F 5 WAY REALTY TRUST
 PETER HORNE, TR
 PO BOX 1435
 N. HAMPTON, NH 03862

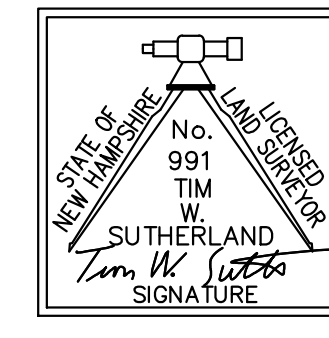
210-008-000
 N/F 171 JMJ REALTY, LLC
 175 LOWELL RD
 HUDSON, NH 03051

209-005-000
 N/F HARRY M. HAYTAYAN REV. TRUST
 HARRY M. HAYTAYAN, TR
 17 FRIARS DR
 HUDSON, NH 03051

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Timothy W. Sutherland
 TIMOTHY W. SUTHERLAND
 8/3/21
 DATE



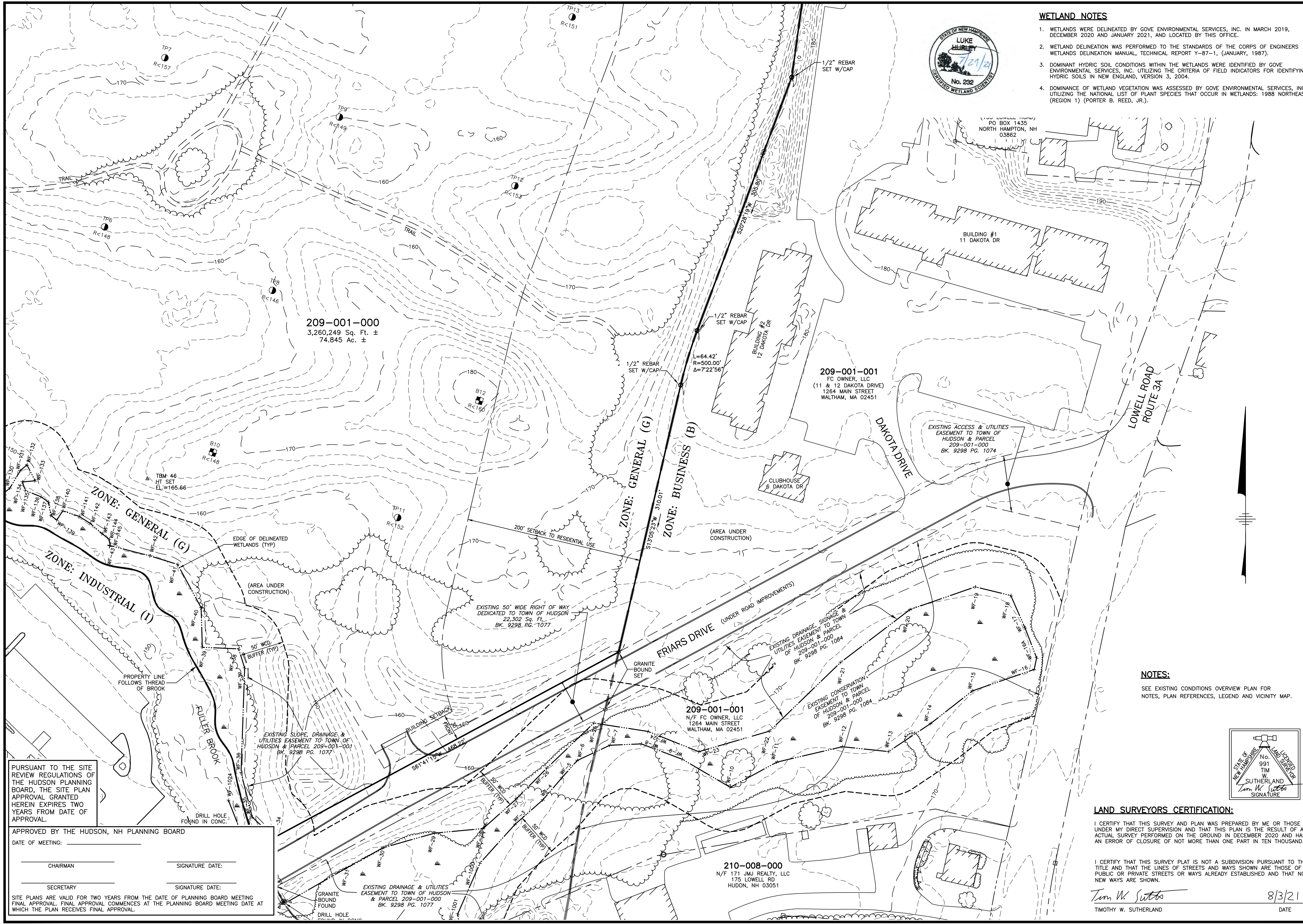
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NOTES:
 SEE EXISTING CONDITIONS OVERVIEW PLAN FOR NOTES, PLAN REFERENCES, LEGEND AND VICINITY MAP.

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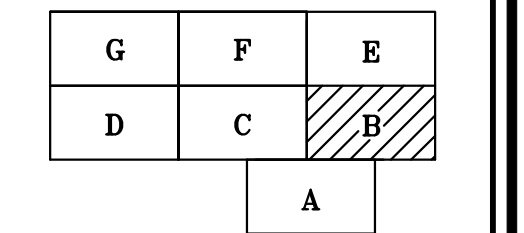
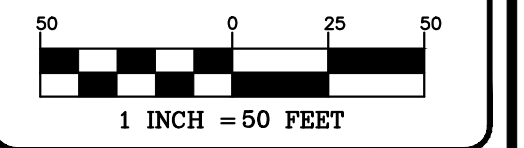
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 Planners
 Surveyors
 TheDubayGroup.com



SHEET KEY

REVISIONS:

REV.	DATE:	COMMENT:	BY:
1	9/20/21	MISC. REVS	WA

DRAWN BY: TWS
 CHECKED BY: TWS
 DATE: AUG. 3, 2021
 SCALE: 1"=50'
 FILE: 475 ECP
 DEED REF: 6046/1131

PROJECT:
SITE PLAN
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER
5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:

EXISTING
CONDITIONS
PLAN - B

NOTES:

SEE EXISTING CONDITIONS OVERVIEW PLAN FOR NOTES, PLAN REFERENCES, LEGEND AND VICINITY MAP.

LAND SURVEYORS CERTIFICATION:

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND IN DECEMBER 2020 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

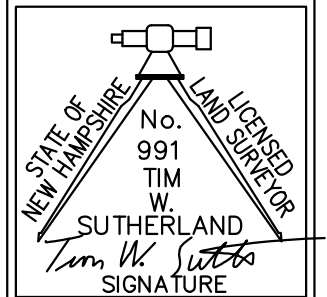
Timothy W. Sutherland
 TIMOTHY W. SUTHERLAND
 DATE 8/3/21

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____
 SECRETARY _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.





The Dubay Group, Inc.

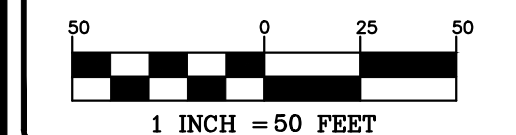
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers

Planners

Surveyors

TheDubayGroup.com



G	F	E
D	C	B
A		

SHEET KEY

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1	9/20/21	MISC. REVS	WA

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PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
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 HUDSON, NH
 PREPARED FOR _____



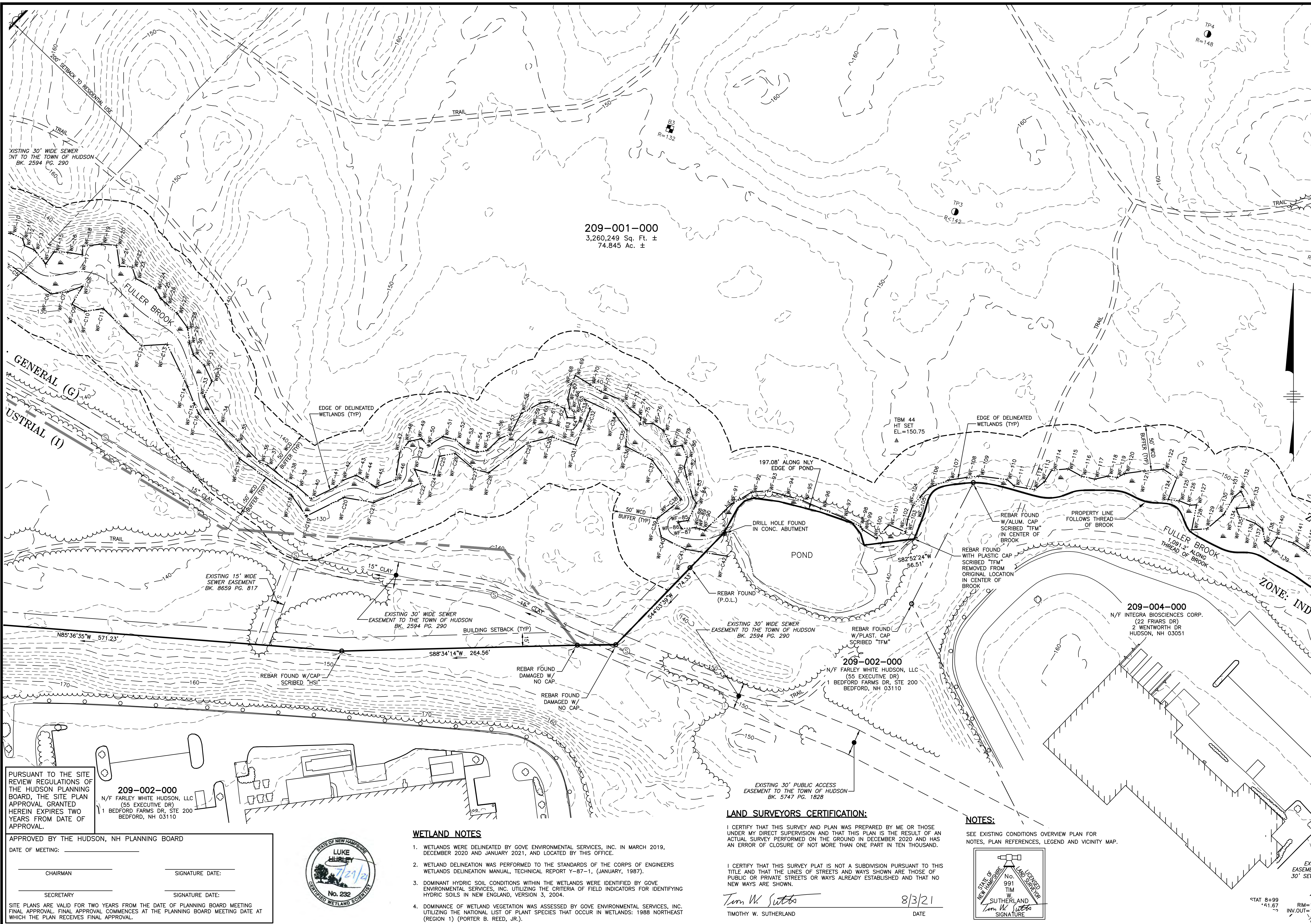
LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:

EXISTING
CONDITIONS
PLAN - C

PROJECT #475 SHEET 7 of 80



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

209-002-000
 N/F FARLEY WHITE HUDSON, LLC
 (55 EXECUTIVE DR)
 1 BEDFORD FARMS DR, STE 200
 BEDFORD, NH 03110

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



- WETLAND NOTES**
1. WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN MARCH 2019, DECEMBER 2020 AND JANUARY 2021, AND LOCATED BY THIS OFFICE.
 2. WETLAND DELINEATION WAS PERFORMED TO THE STANDARDS OF THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, (JANUARY, 1987).
 3. DOMINANT HYDRIC SOIL CONDITIONS WITHIN THE WETLANDS WERE IDENTIFIED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE CRITERIA OF FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, 2004.
 4. DOMINANCE OF WETLAND VEGETATION WAS ASSESSED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: 1988 NORTHEAST (REGION 1) (PORTER B. REED, JR.).

LAND SURVEYORS CERTIFICATION:

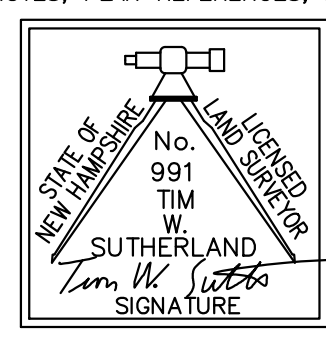
I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND IN DECEMBER 2020 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

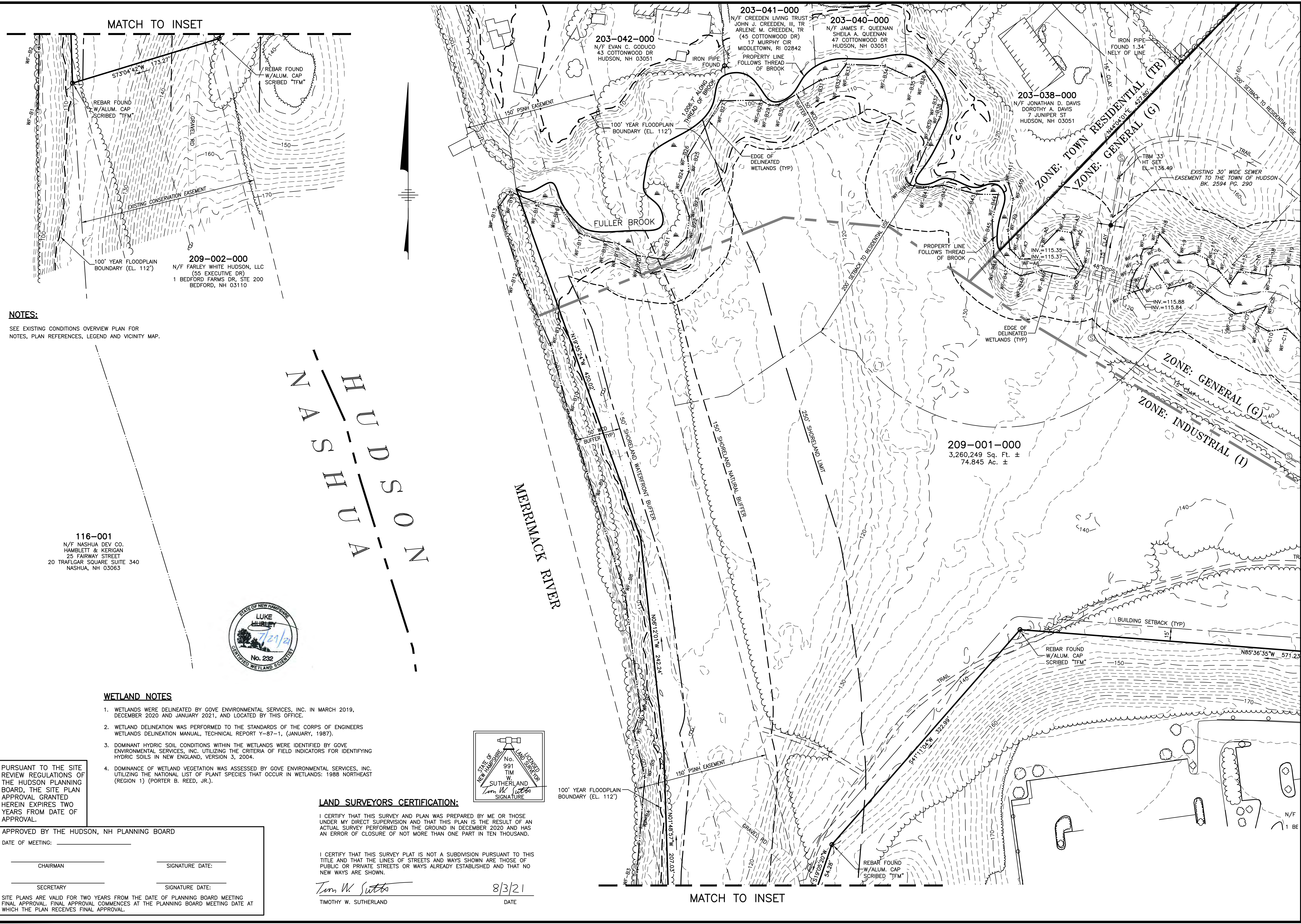
I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

Timothy W. Sutherland 8/3/21
 TIMOTHY W. SUTHERLAND DATE

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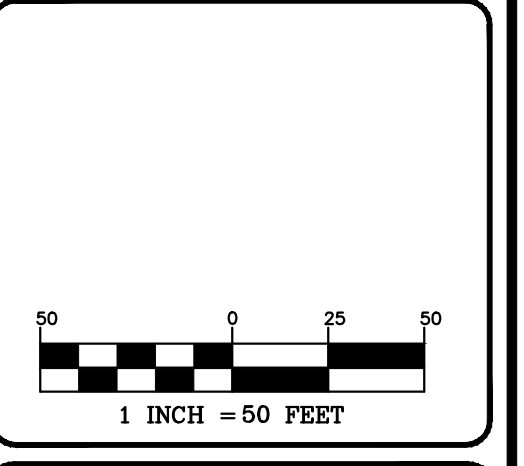
SEE EXISTING CONDITIONS OVERVIEW PLAN FOR NOTES, PLAN REFERENCES, LEGEND AND VICINITY MAP.





The Dubay Group, Inc.
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers
Planners
Surveyors
TheDubayGroup.com



G	F	E
D	C	B
A		

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SITE PLAN
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TAX MAP 209
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161 LOWELL ROAD
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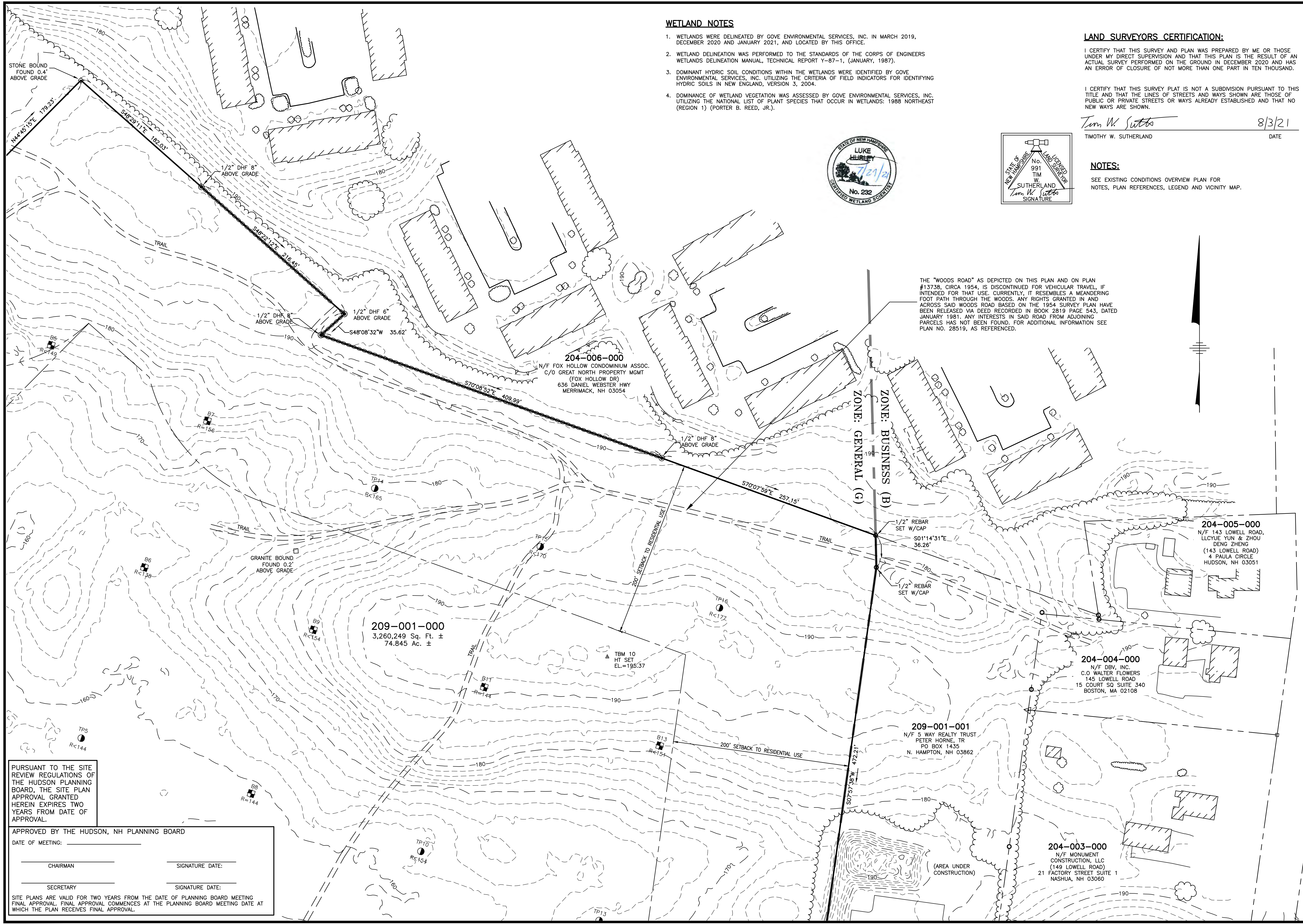
GFI PARTNERS

LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110
OWNER

5 WAY REALTY TRUST
PETER HORNE, TRUSTEE
PO BOX 1435
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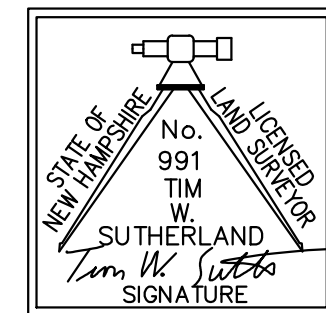
SHEET TITLE:
EXISTING CONDITIONS PLAN - D

PROJECT #475 SHEET 8 of 80



WETLAND NOTES

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Timothy W. Sutherland 8/3/21
TIMOTHY W. SUTHERLAND DATE

NOTES:

SEE EXISTING CONDITIONS OVERVIEW PLAN FOR NOTES, PLAN REFERENCES, LEGEND AND VICINITY MAP.

THE "WOODS ROAD" AS DEPICTED ON THIS PLAN AND ON PLAN #13738, CIRCA 1954, IS DISCONTINUED FOR VEHICULAR TRAVEL, IF INTENDED FOR THAT USE. CURRENTLY, IT RESEMBLES A MEANDERING FOOT PATH THROUGH THE WOODS. ANY RIGHTS GRANTED IN AND ACROSS SAID WOODS ROAD BASED ON THE 1954 SURVEY PLAN HAVE BEEN RELEASED VIA DEED RECORDED IN BOOK 2819 PAGE 543, DATED JANUARY 1981. ANY INTERESTS IN SAID ROAD FROM ADJOINING PARCELS HAS NOT BEEN FOUND. FOR ADDITIONAL INFORMATION SEE PLAN NO. 28519, AS REFERENCED.



The Dubay Group, Inc.

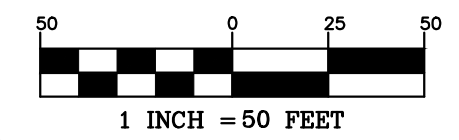
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462

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Planners

Surveyors

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 161 LOWELL ROAD
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LOWELL ROAD
PROPERTY OWNER, LLC
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 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:

EXISTING
CONDITIONS
PLAN - E

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APPROVED BY THE HUDSON, NH PLANNING BOARD

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SECRETARY _____ SIGNATURE DATE: _____

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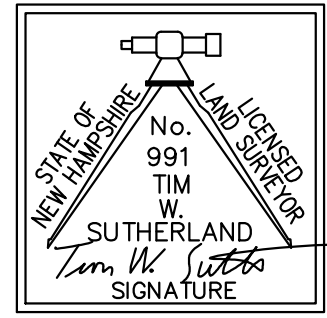
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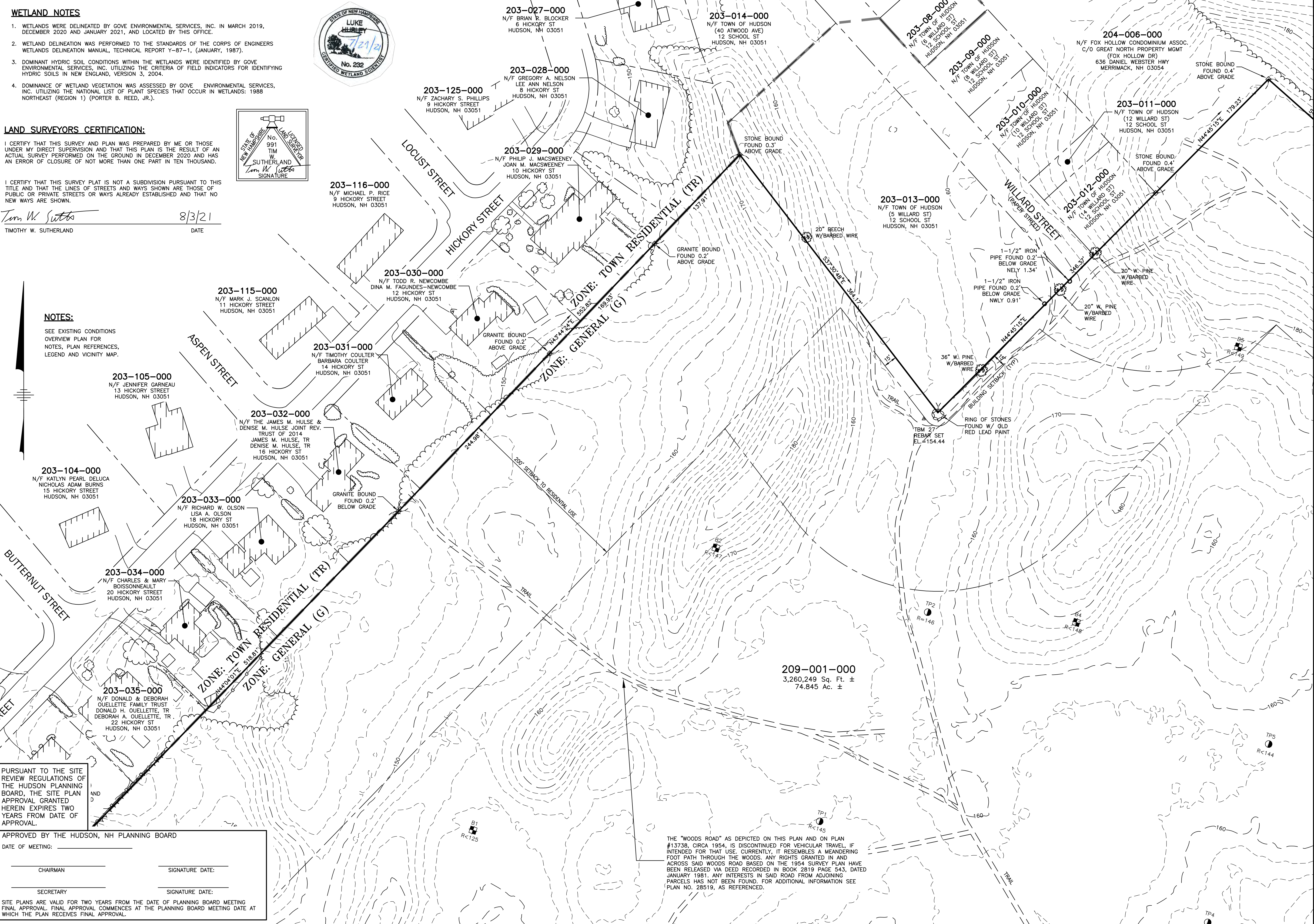


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Tim W. Sutherland 8/3/21
TIMOTHY W. SUTHERLAND DATE

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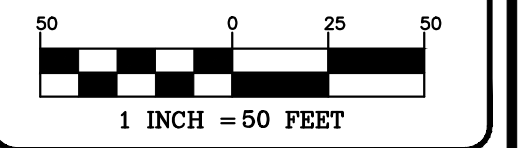
SEE EXISTING CONDITIONS OVERVIEW PLAN FOR NOTES, PLAN REFERENCES, LEGEND AND VICINITY MAP.



The Dubay Group, Inc.
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462

- Engineers
- Planners
- Surveyors

TheDubayGroup.com



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161 LOWELL ROAD
HUDSON, NH
PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110
OWNER

5 WAY REALTY TRUST
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE:
EXISTING
CONDITIONS
PLAN - F

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

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The Dubai Group, Inc.

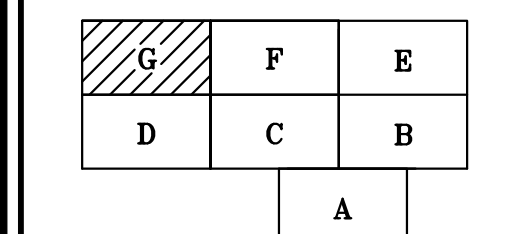
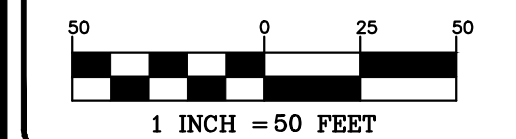
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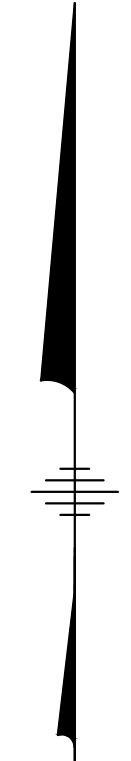
PROJECT: **SITE PLAN**
FRIARS DRIVE
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 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR _____



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER
5 WAY REALTY TRUST
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 N. HAMPTON, NH 03862

SHEET TITLE:
EXISTING
CONDITIONS
PLAN - G

PROJECT #475 SHEET 11 of 80



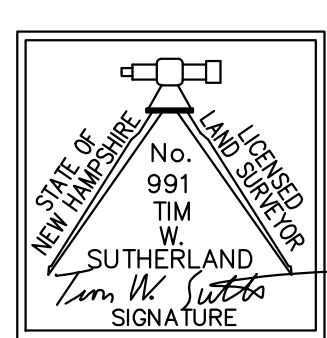
STEEP SLOPES

AREA #	SQ. FT.
1	16,946
2	3,887
3	11,064
4	31,635
5	7,602
6	8,792
7	11,814
8	60,543
9	7,510
10	14,054
11	11,004
12	11,857
13	5,828
TOTAL	202,536

- WETLAND NOTES**
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LAND SURVEYORS CERTIFICATION:

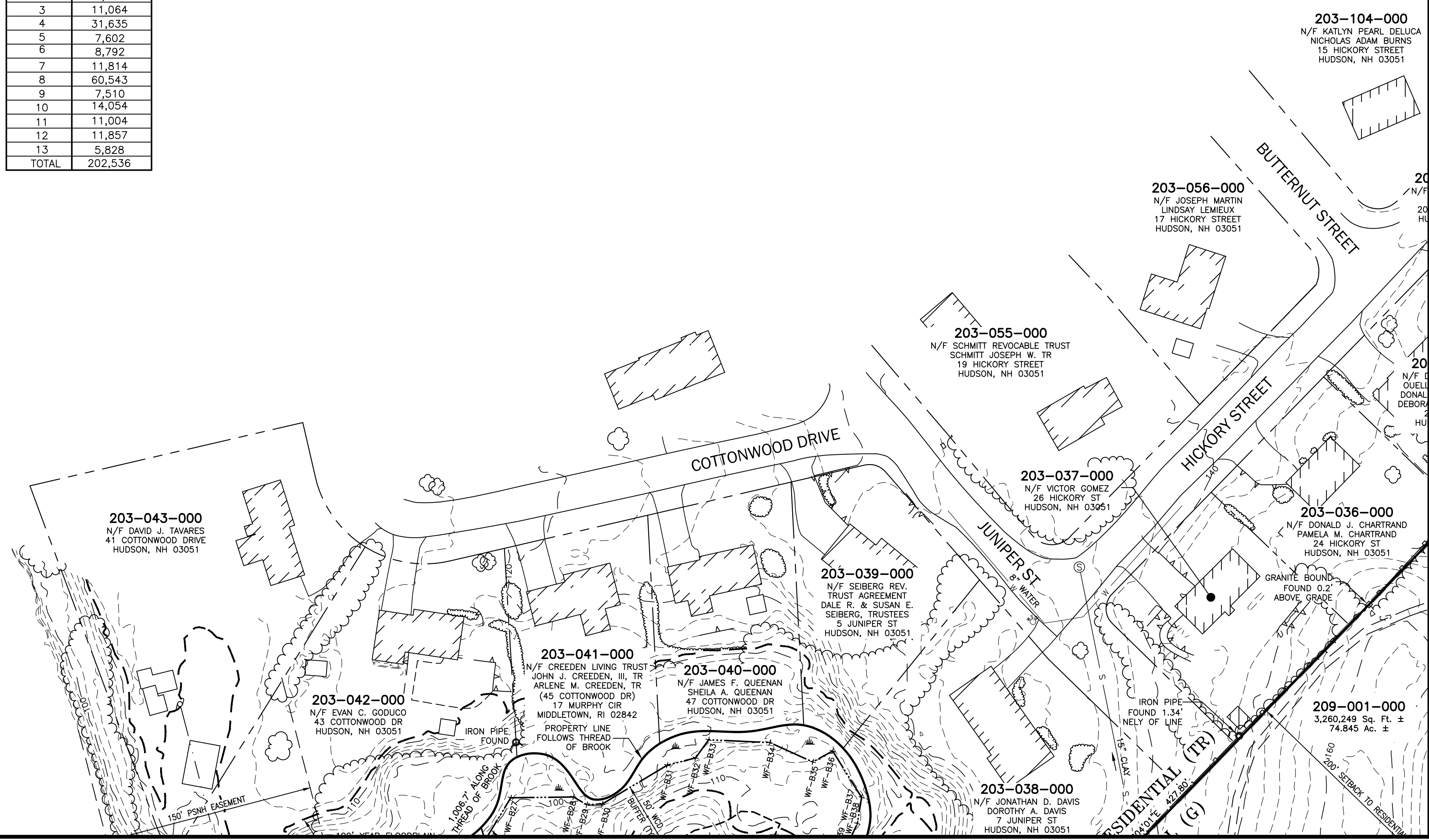
I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND IN DECEMBER 2015 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.



I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

Timothy W. Sutherland 8/3/21
 TIMOTHY W. SUTHERLAND DATE

NOTES:
 SEE EXISTING CONDITIONS OVERVIEW PLAN FOR NOTES, PLAN REFERENCES, LEGEND AND VICINITY MAP.



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

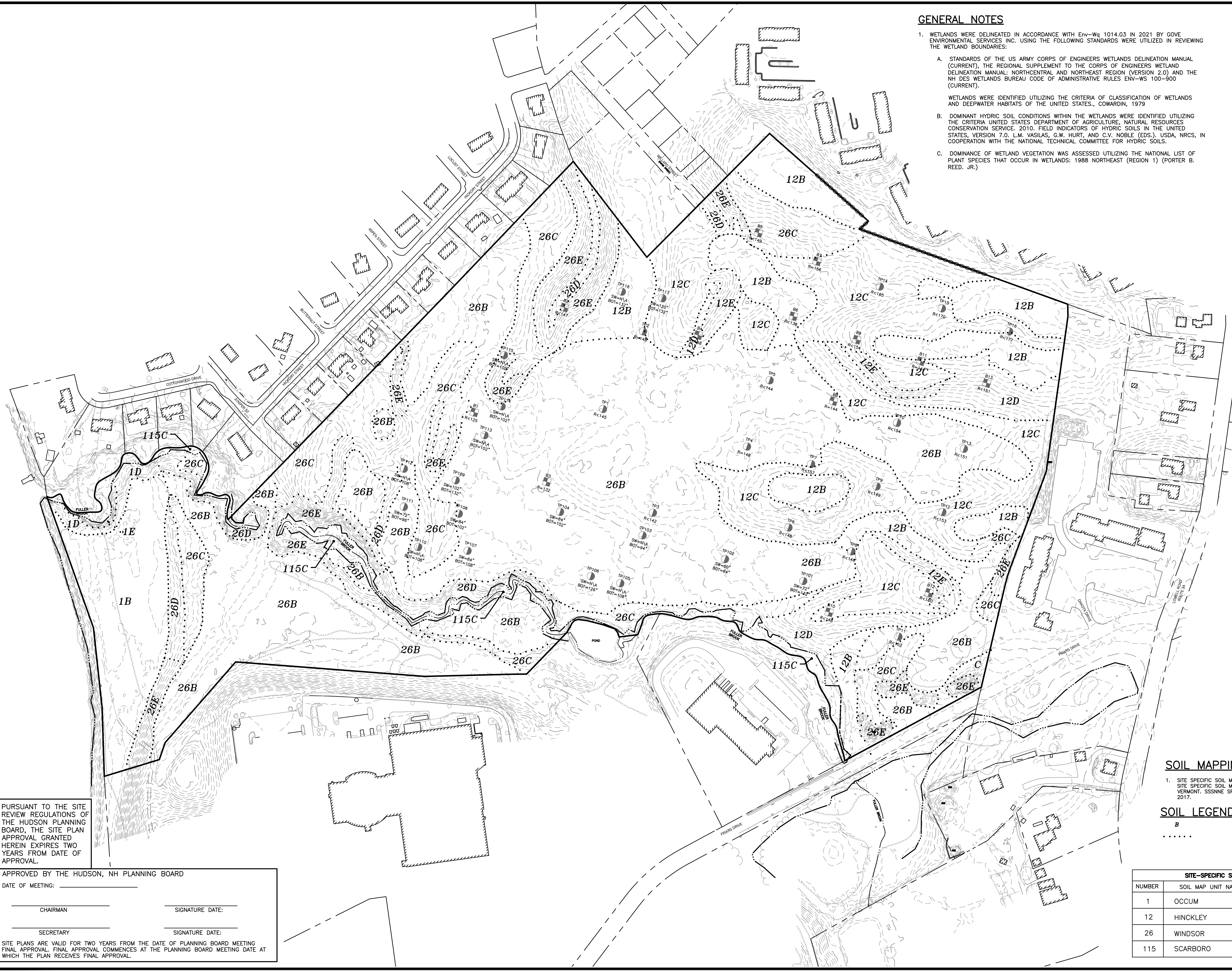
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CHAIRMAN _____ SIGNATURE DATE: _____

SECRETARY _____ SIGNATURE DATE: _____

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GENERAL NOTES

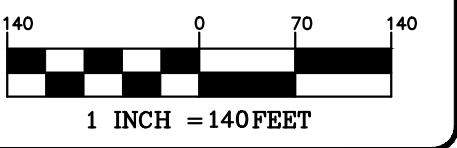
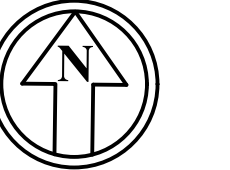
1. WETLANDS WERE DELINEATED IN ACCORDANCE WITH ENV-WQ 1014.03 IN 2021 BY GOVE ENVIRONMENTAL SERVICES INC. USING THE FOLLOWING STANDARDS WERE UTILIZED IN REVIEWING THE WETLAND BOUNDARIES:
 - A. STANDARDS OF THE US ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL (CURRENT), THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION (VERSION 2.0) AND THE NH DES WETLANDS BUREAU CODE OF ADMINISTRATIVE RULES ENV-W5 100-900 (CURRENT).
 - B. DOMINANT HYDRIC SOIL CONDITIONS WITHIN THE WETLANDS WERE IDENTIFIED UTILIZING THE CRITERIA UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, 2010, FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0. L.M. VASILAS, G.W. HURT, AND C.V. NOBLE (EDS.), USDA, NRCS, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
 - C. DOMINANCE OF WETLAND VEGETATION WAS ASSESSED UTILIZING THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: 1988 NORTHEAST (REGION 1) (PORTER B. REED, JR.)



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REVISIONS:			
REV.	DATE:	COMMENT:	BY:

DRAWN BY: TRL
 CHECKED BY: KRD
 DATE: SEPTEMBER 16, 2021
 SCALE: 1" = 140'
 FILE: 475-SOILS
 DEED REF: 6046/1131

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
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SHEET TITLE:

SITE SPECIFIC SOILS PLAN

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

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SECRETARY: _____ SIGNATURE DATE: _____

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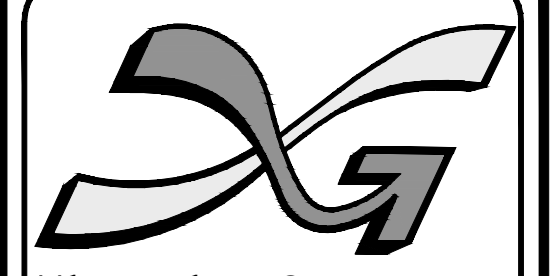
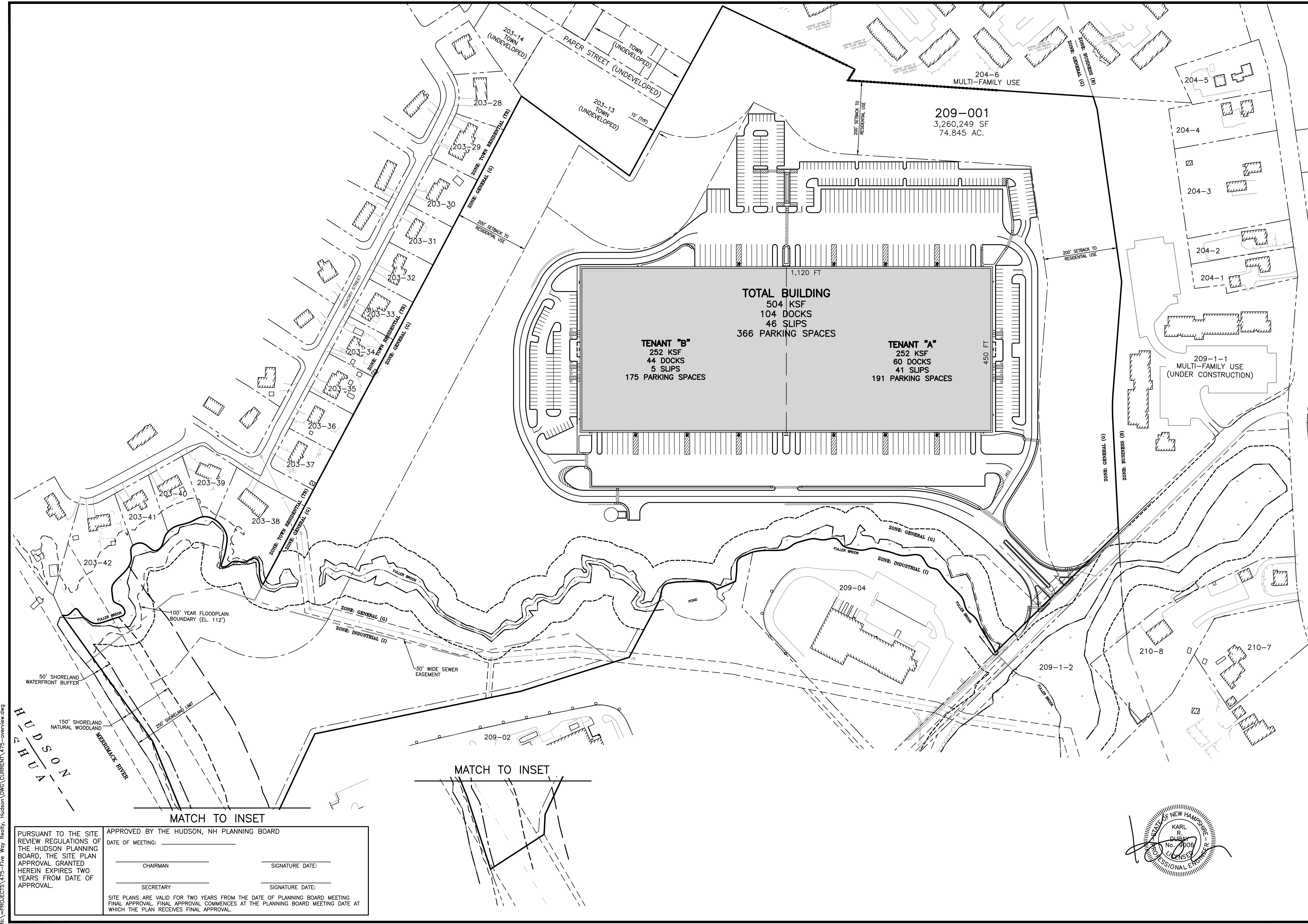
SOIL MAPPING NOTES

1. SITE SPECIFIC SOIL MAPPING WAS PERFORMED TO THE STANDARDS OF SITE SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT. SSSNNE SPECIAL PUBLICATION NO. 3, VERSION 5, FEBRUARY 2017.

SOIL LEGEND

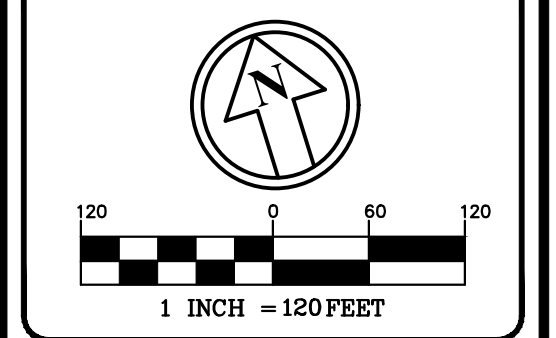
- B SOIL TYPE DESIGNATION
- SOIL BOUNDARY

SITE-SPECIFIC SOIL MAPPING LEGEND			
NUMBER	SOIL MAP UNIT NAME	DRAINAGE CLASS	HSG
1	OCCUM	MODERATELY WELL DRAINED	B
12	HINCKLEY	EXCESSIVELY WELL DRAINED	A
26	WINDSOR	EXCESSIVELY WELL DRAINED	A
115	SCARBORO	VERY POORLY DRAINED	D



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5	11/23/21	MISC. REVS.	WA

DRAWN BY: WA
 CHECKED BY: KRD
 DATE: AUG. 3, 2021
 SCALE: 1" = 120'
 FILE: 475-overview
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER
5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:

TRACT
OVERVIEW
PLAN

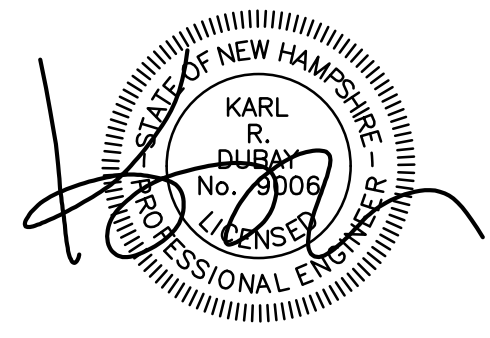
N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-overview.dwg

HUDSON
 SHUHA

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
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MATCH TO INSET

MATCH TO INSET

100' YEAR FLOODPLAIN BOUNDARY (EL. 112')

50' SHORELAND WATERFRONT BUFFER

150' SHORELAND NATURAL WOODLAND

200' SHORELAND LIMIT

30' WIDE SEWER EASEMENT

209-02

209-04

209-1-2

210-8

210-7

209-001
 3,260,249 SF
 74.845 AC.

TOTAL BUILDING
 504 KSF
 104 DOCKS
 46 SLIPS
 366 PARKING SPACES

TENANT "B"
 252 KSF
 44 DOCKS
 5 SLIPS
 175 PARKING SPACES

TENANT "A"
 252 KSF
 60 DOCKS
 41 SLIPS
 191 PARKING SPACES

209-1-1
 MULTI-FAMILY USE
 (UNDER CONSTRUCTION)

203-14 TOWN (UNDEVELOPED)
 PAPER STREET (UNDEVELOPED)
 203-13 TOWN (UNDEVELOPED)
 15' (TYP)

203-28

203-29

203-30

203-31

203-32

203-33

203-34

203-35

203-36

203-37

203-38

203-39

203-40

203-41

203-42

204-4

204-3

204-2

204-1

200' SETBACK TO RESIDENTIAL USE

200' SETBACK TO RESIDENTIAL USE

ZONE: GENERAL (G)

ZONE: BUSINESS (B)

ZONE: GENERAL (G)

ZONE: INDUSTRIAL (I)

ZONE: GENERAL (G)

ZONE: INDUSTRIAL (I)

ZONE: TOWN RESIDENTIAL (TR)

ZONE: GENERAL (G)

200' SETBACK TO RESIDENTIAL USE

ZONE: TOWN RESIDENTIAL (TR)

ZONE: GENERAL (G)

200' SETBACK TO RESIDENTIAL USE

ZONE: TOWN RESIDENTIAL (TR)

ZONE: GENERAL (G)

200' SETBACK TO RESIDENTIAL USE

ZONE: TOWN RESIDENTIAL (TR)

ZONE: GENERAL (G)

200' SETBACK TO RESIDENTIAL USE

ZONE: TOWN RESIDENTIAL (TR)

ZONE: GENERAL (G)

200' SETBACK TO RESIDENTIAL USE

ZONE: TOWN RESIDENTIAL (TR)

ZONE: GENERAL (G)

200' SETBACK TO RESIDENTIAL USE

ZONE: TOWN RESIDENTIAL (TR)

ZONE: GENERAL (G)

200' SETBACK TO RESIDENTIAL USE

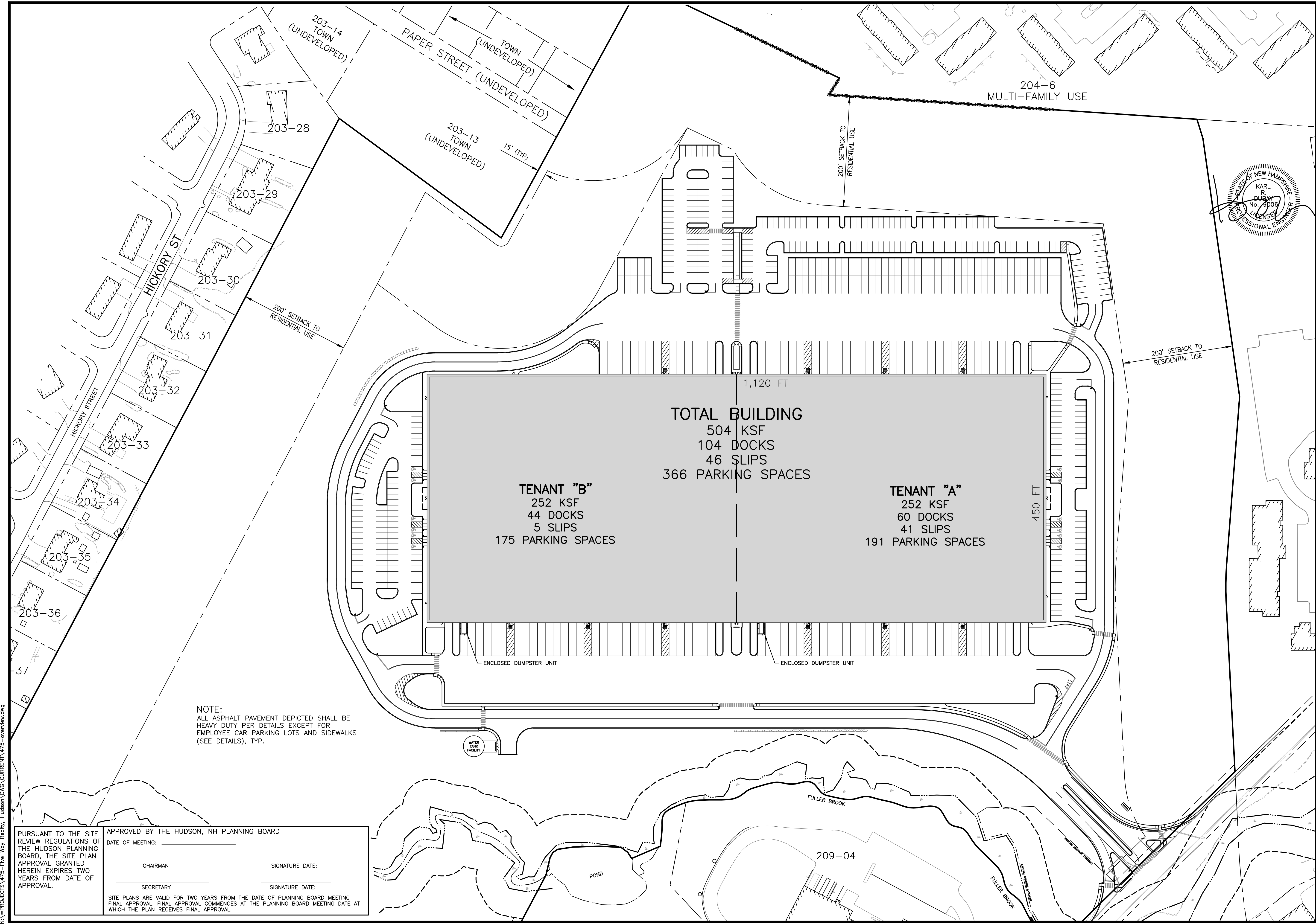
ZONE: TOWN RESIDENTIAL (TR)

ZONE: GENERAL (G)

200' SETBACK TO RESIDENTIAL USE

ZONE: TOWN RESIDENTIAL (TR)

ZONE: GENERAL (G)



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1 INCH = 80 FEET

SHEET INDEX

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REVISIONS:

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1	9/20/21	MISC. REVS	WA
5	11/23/21	MISC. REVS	WA
6	1/11/22	MISC. REVS	SJK

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PROJECT:
SITE PLAN
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH

PREPARED FOR

GFI PARTNERS

LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110

OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:

SITE OVERVIEW PLAN

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-overview.dwg

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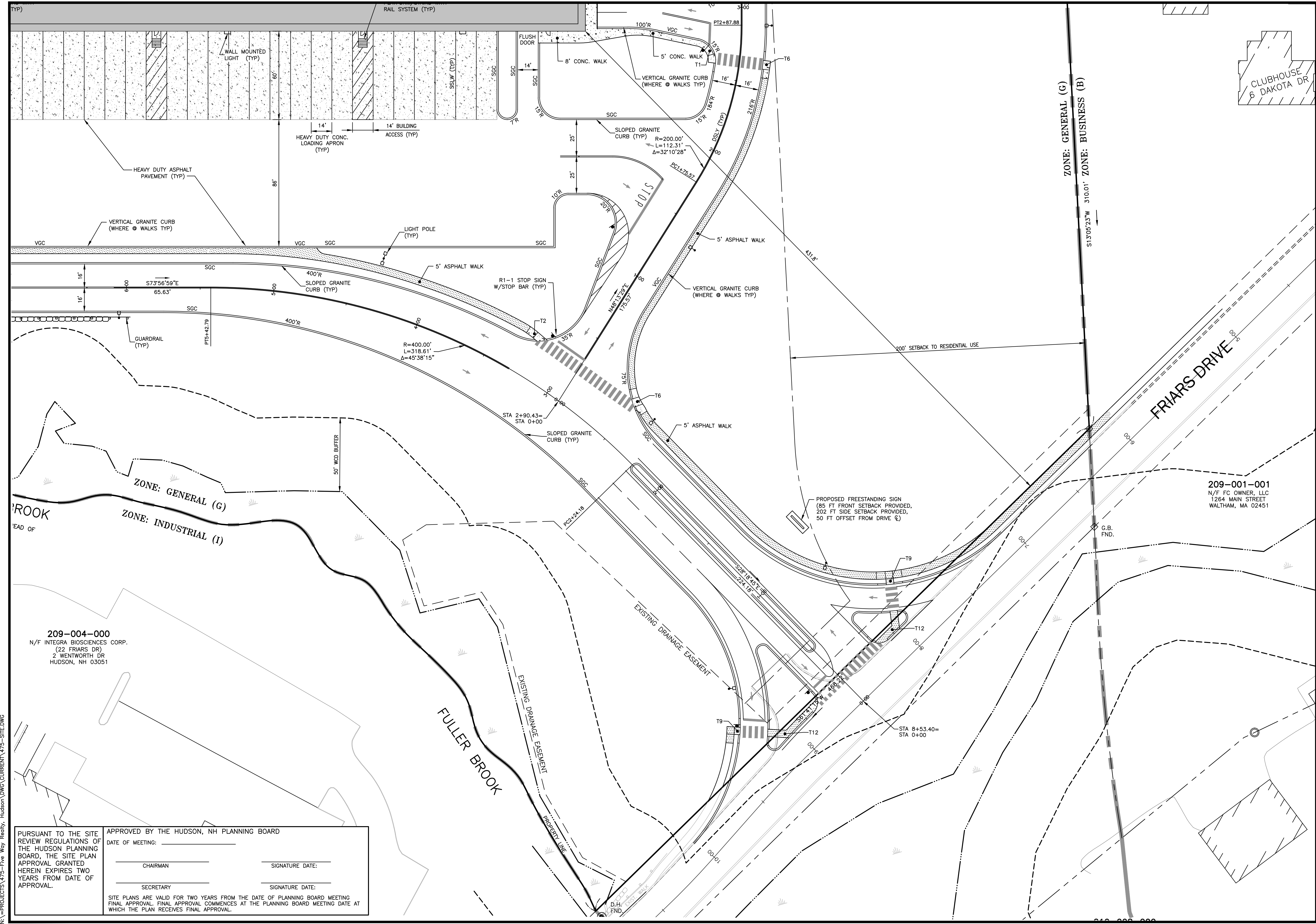
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SECRETARY: _____ SIGNATURE DATE: _____

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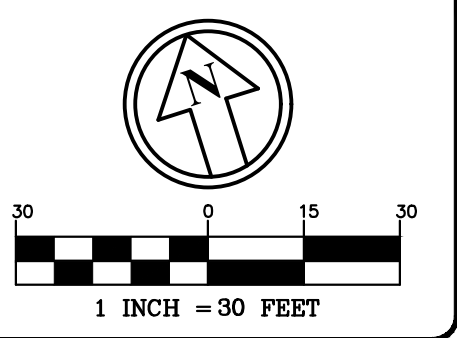


CLUBHOUSE
6 DAKOTA DR



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REV.	DATE:	COMMENT:	BY:

DRAWN BY: WA
CHECKED BY: KRD
DATE: AUG. 3, 2021
SCALE: 1" = 30'
FILE: 475-SITE
DEED REF:

209-001-001
N/F FC OWNER, LLC
1264 MAIN STREET
WALTHAM, MA 02451

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH
PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110
OWNER
5 WAY REALTY TRUST
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE:
SITE PLAN - A

209-004-000
N/F INTEGRA BIOSCIENCES CORP.
22 FRIARS DR
2 WENTWORTH DR
HUDSON, NH 03051

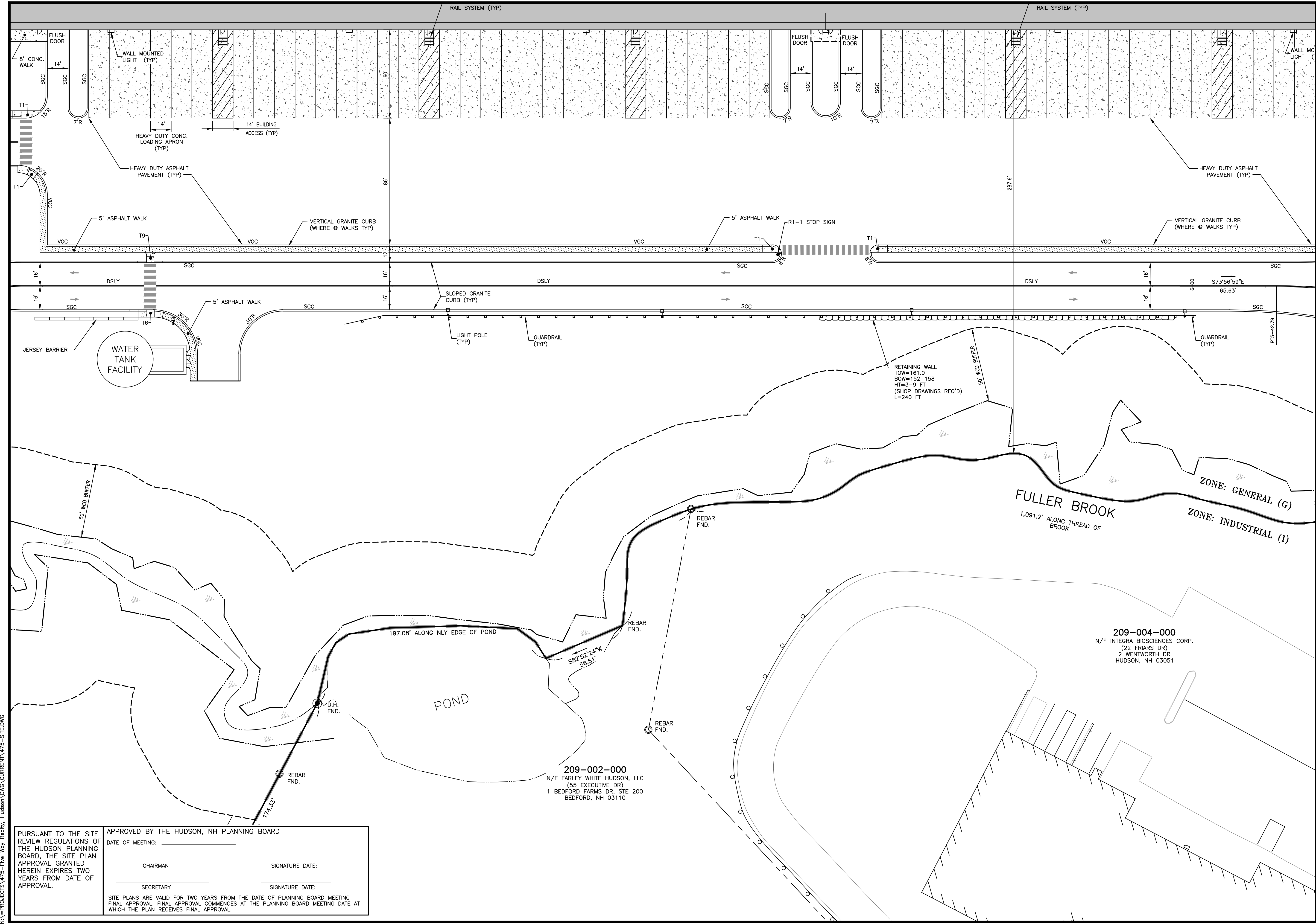
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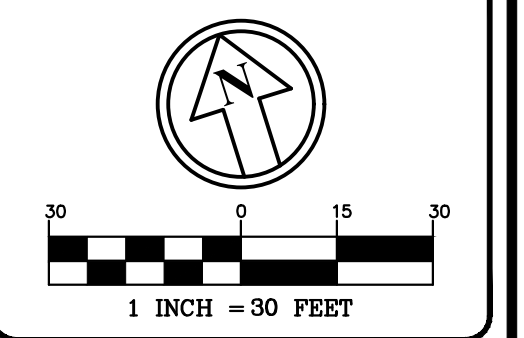
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 SCALE: 1" = 30'
 FILE: 475-SITE
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR:



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER
5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
SITE PLAN - B

N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-SITE.DWG

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209-002-000
 N/F FARLEY WHITE HUDSON, LLC
 (55 EXECUTIVE DR)
 1 BEDFORD FARMS DR, STE 200
 BEDFORD, NH 03110

209-004-000
 N/F INTEGRA BIOSCIENCES CORP.
 (22 FRIARS DR)
 2 WENTWORTH DR
 HUDSON, NH 03051

FULLER BROOK
 1,091.2' ALONG THREAD OF BROOK
 ZONE: GENERAL (G)
 ZONE: INDUSTRIAL (I)

POND
 197.08' ALONG NLY EDGE OF POND

RETAINING WALL
 TOW=161.0
 BOW=152-158
 HT=3-9 FT
 (SHOP DRAWINGS REQ'D)
 L=240 FT

WATER TANK FACILITY

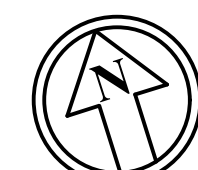


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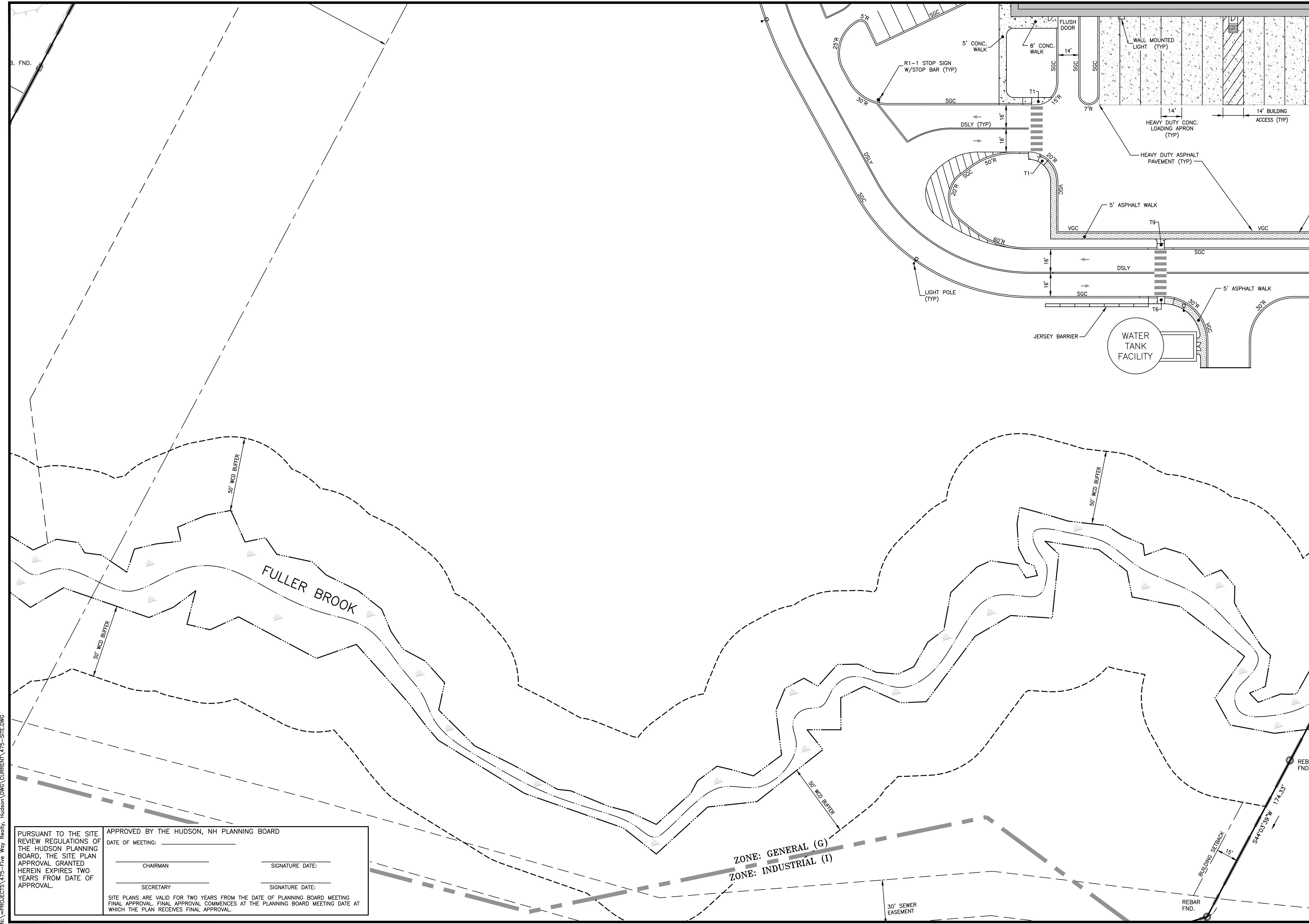
PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER
5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
SITE PLAN - C

PROJECT #475 SHEET 17 of 80

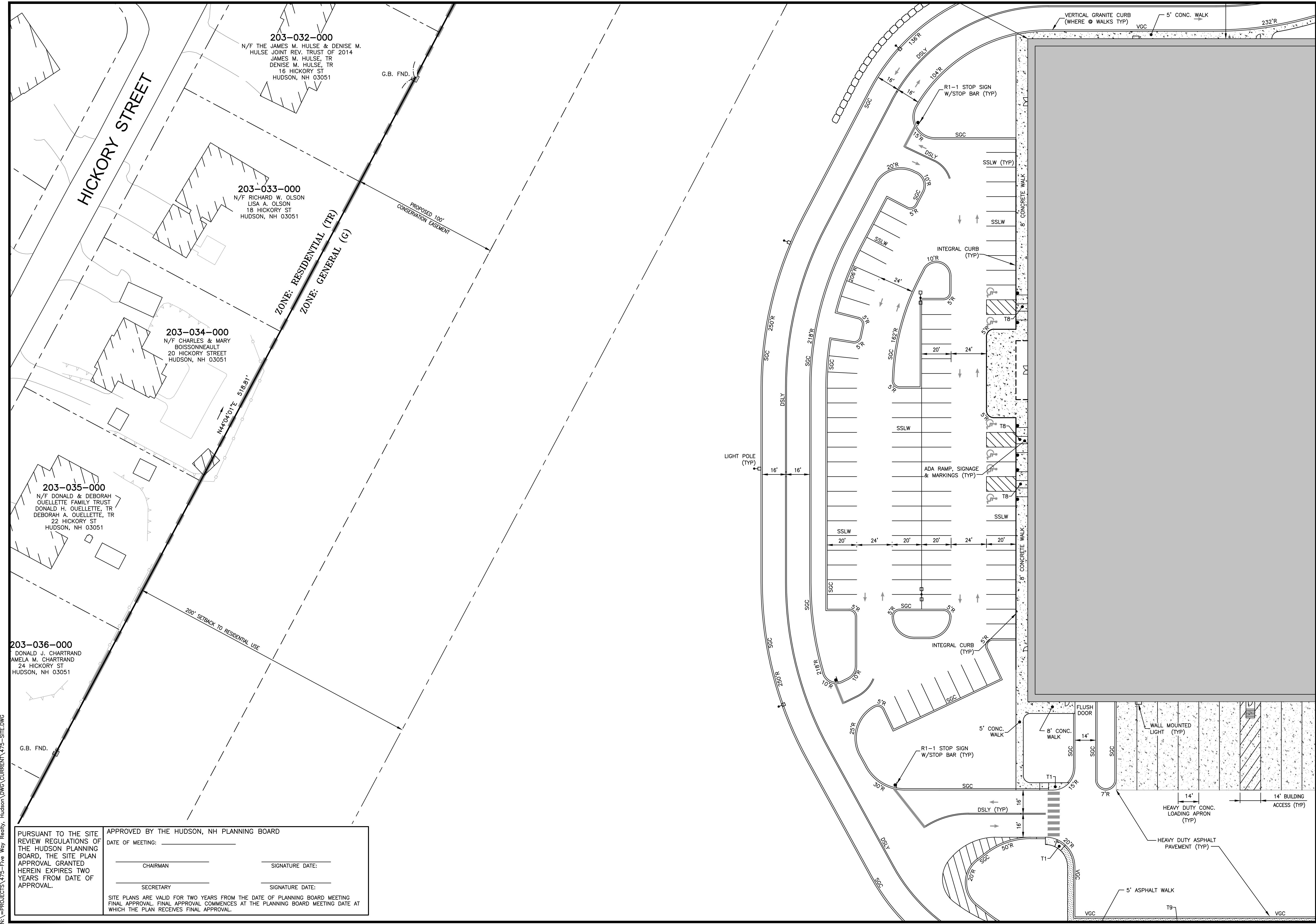


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203-032-000
N/F THE JAMES M. HULSE & DENISE M. HULSE JOINT REV. TRUST OF 2014
JAMES M. HULSE, TR
DENISE M. HULSE, TR
16 HICKORY ST
HUDSON, NH 03051

203-033-000
N/F RICHARD W. OLSON
LISA A. OLSON
18 HICKORY ST
HUDSON, NH 03051

203-034-000
N/F CHARLES & MARY BOISSONNEAULT
20 HICKORY STREET
HUDSON, NH 03051

203-035-000
N/F DONALD & DEBORAH OUELLETTE FAMILY TRUST
DONALD H. OUELLETTE, TR
DEBORAH A. OUELLETTE, TR
22 HICKORY ST
HUDSON, NH 03051

203-036-000
DONALD J. CHARTRAND
AMELA M. CHARTRAND
24 HICKORY ST
HUDSON, NH 03051

ZONE: RESIDENTIAL (TR)
ZONE: GENERAL (G)

PROPOSED 100' CONSERVATION EASEMENT

200' SETBACK TO RESIDENTIAL USE

G.B. FND.

M44°10'10"E 518.81'

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1 INCH = 30 FEET

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PROJECT:
SITE PLAN
FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH
PREPARED FOR

GFI PARTNERS

LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110
OWNER

5 WAY REALTY TRUST
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE:
SITE PLAN - D

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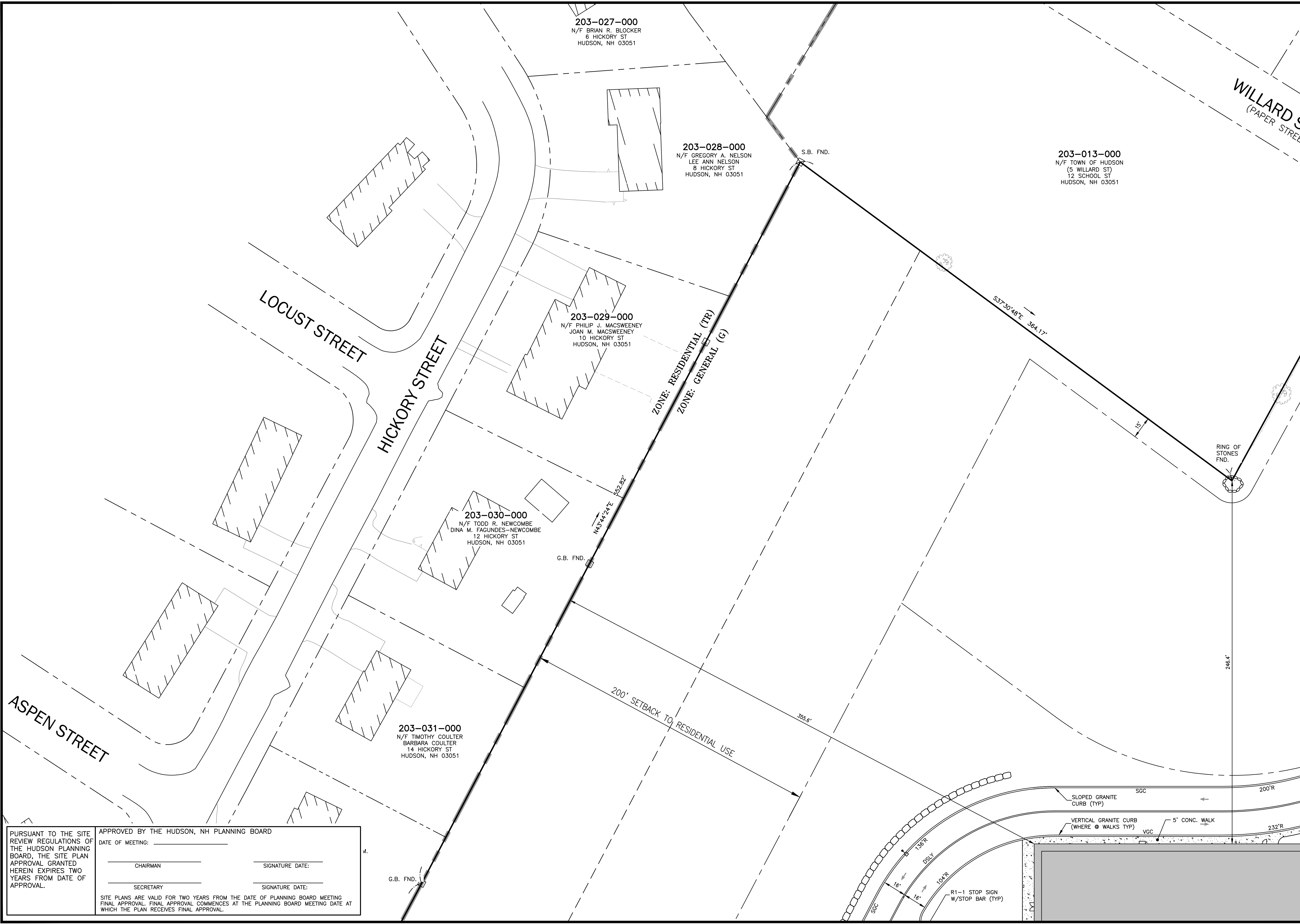
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FRIARS DRIVE
TAX MAP 209
LOT 001-000
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GFI PARTNERS

LOWELL ROAD
 PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

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 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
SITE PLAN - E

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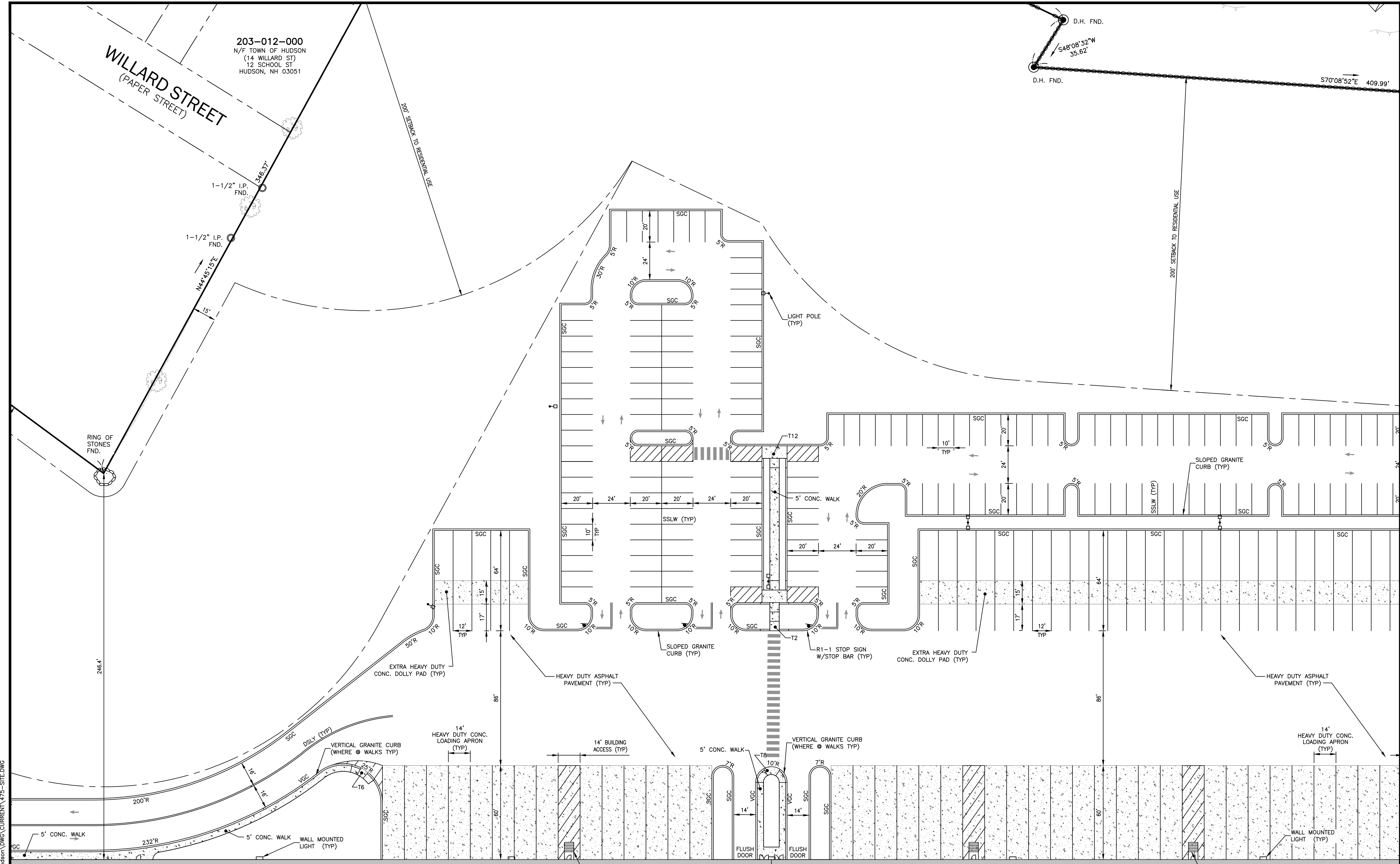
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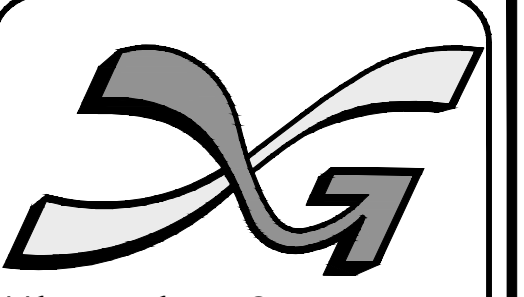
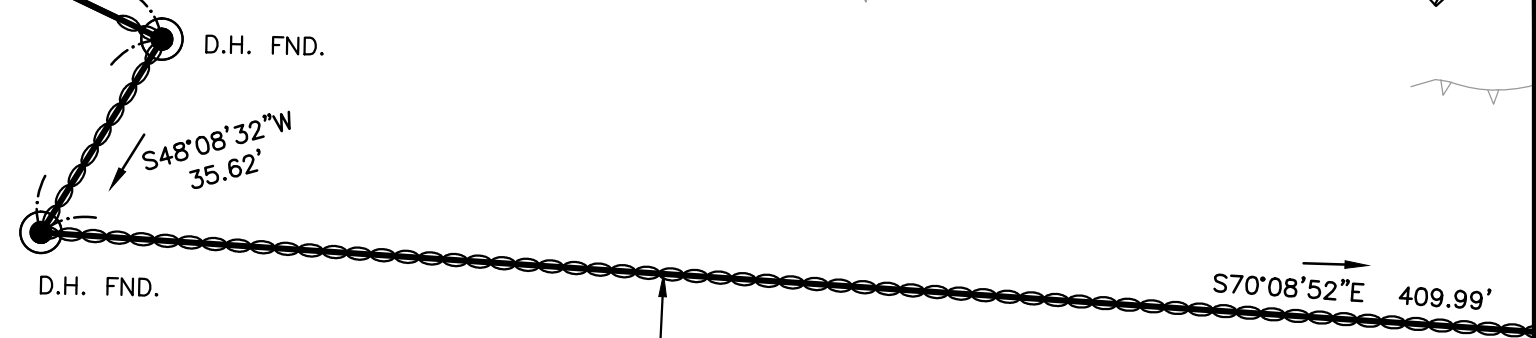
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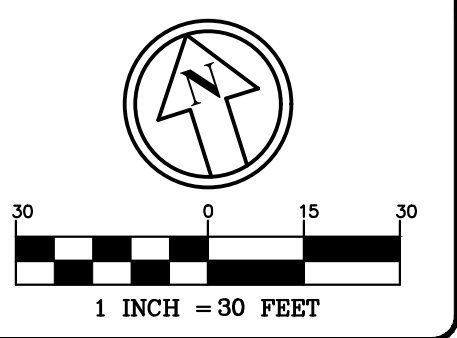
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203-012-000
N/F TOWN OF HUDSON
(14 WILLARD ST)
12 SCHOOL ST
HUDSON, NH 03051



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REVISIONS:			
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FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH
PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110
OWNER
5 WAY REALTY TRUST
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

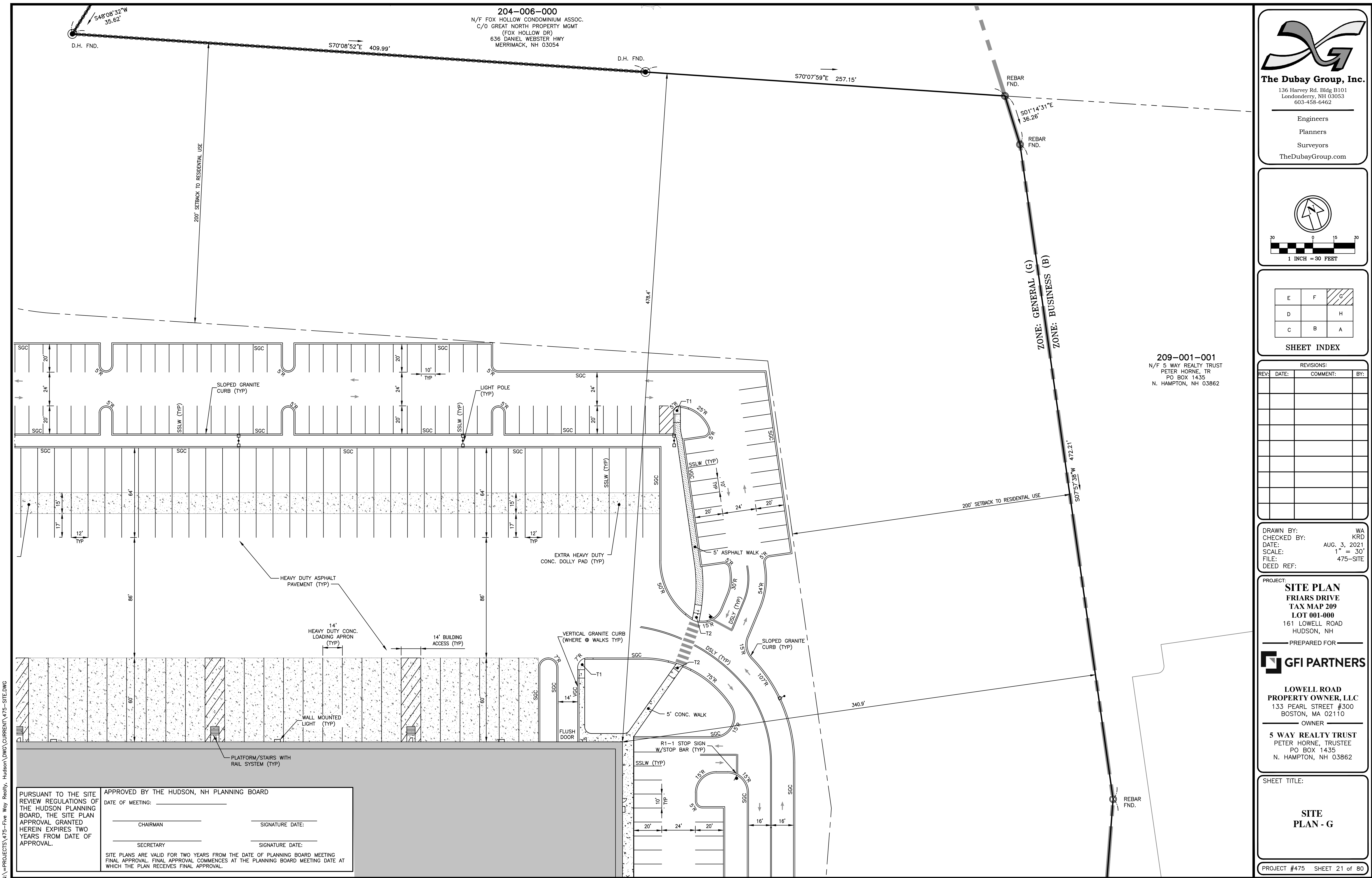
SHEET TITLE:
SITE PLAN - F
PROJECT #475 SHEET 20 of 80

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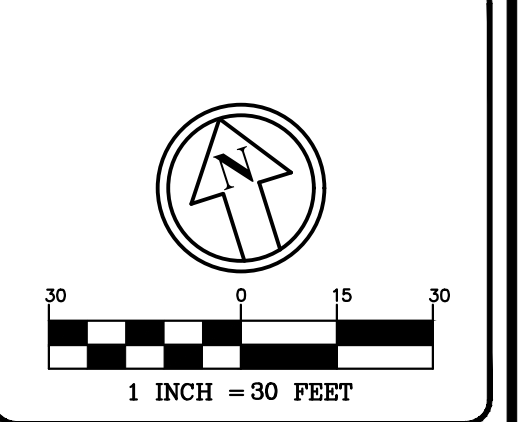


204-006-000
 N/F FOX HOLLOW CONDOMINIUM ASSOC.
 C/O GREAT NORTH PROPERTY MGMT
 (FOX HOLLOW DR)
 636 DANIEL WEBSTER HWY
 MERRIMACK, NH 03054

209-001-001
 N/F 5 WAY REALTY TRUST
 PETER HORNE, TR
 PO BOX 1435
 N. HAMPTON, NH 03862

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 Londonderry, NH 03053
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 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
SITE PLAN - G

PROJECT #475 SHEET 21 of 80

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

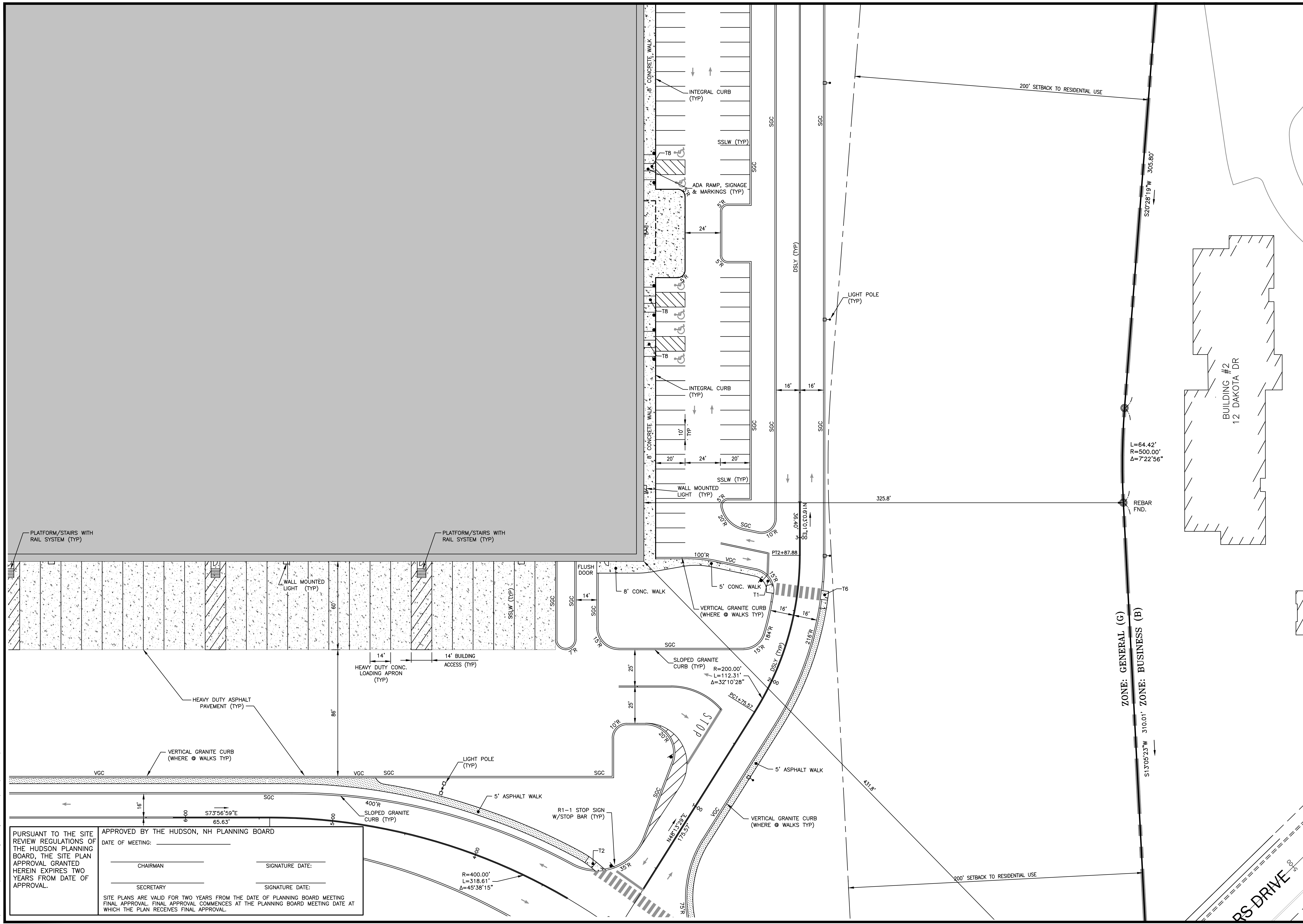
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____
 SECRETARY _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

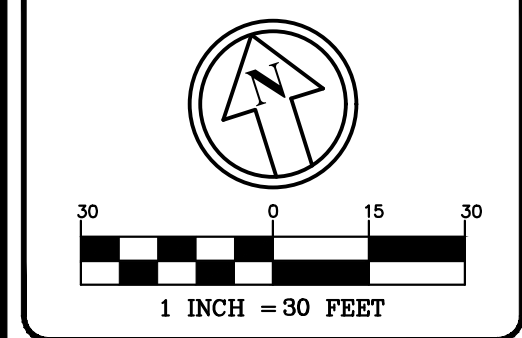
N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-SITE.DWG

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-SITE.DWG



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 603-458-6462

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 Planners
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 TheDubayGroup.com



E	F	G
D		H
C	B	A

SHEET INDEX

REVISIONS:			
REV.	DATE:	COMMENT:	BY:

DRAWN BY: WA
 CHECKED BY: KRD
 DATE: AUG. 3, 2021
 SCALE: 1" = 30'
 FILE: 475-SITE
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER
5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:

SITE PLAN - H

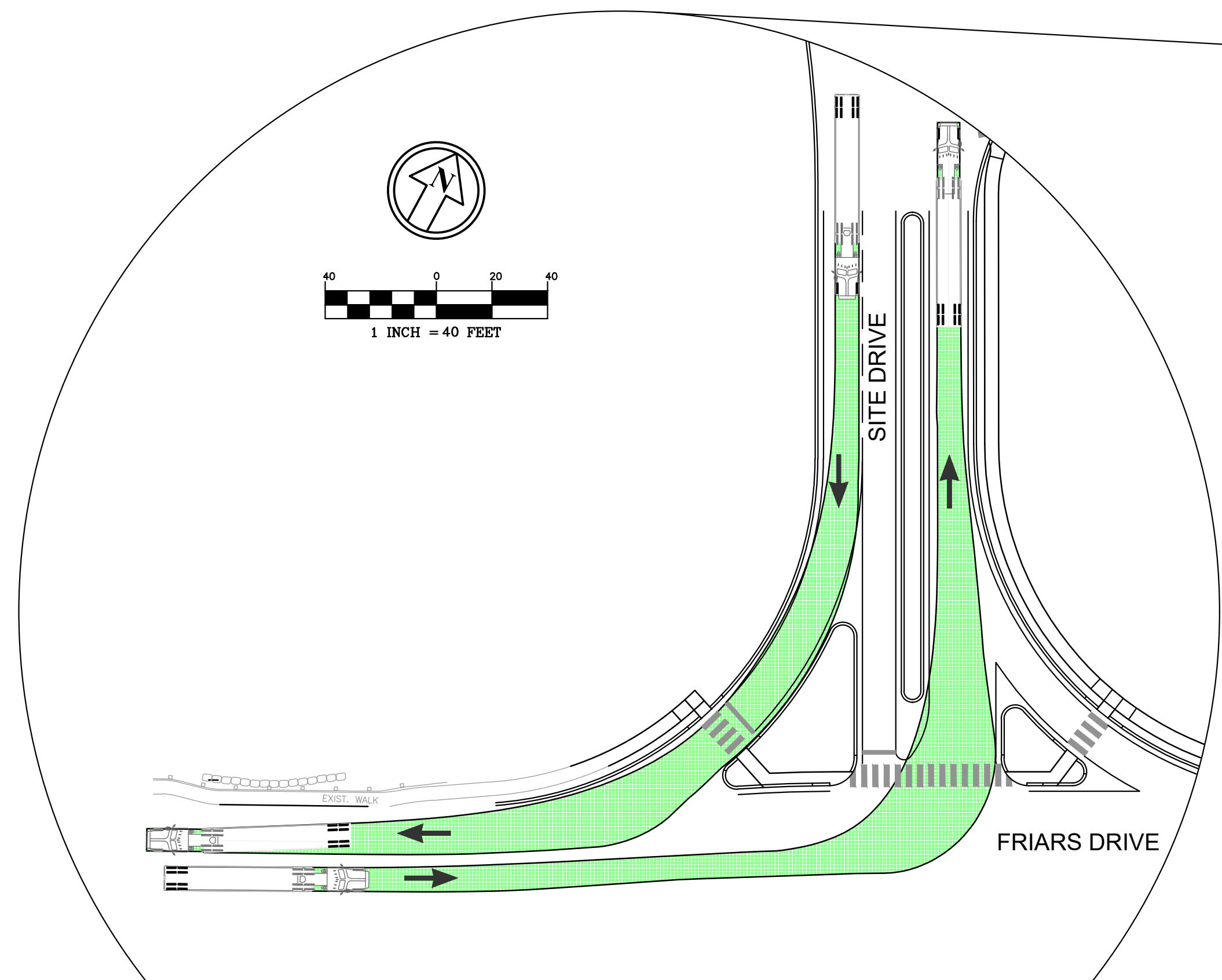
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

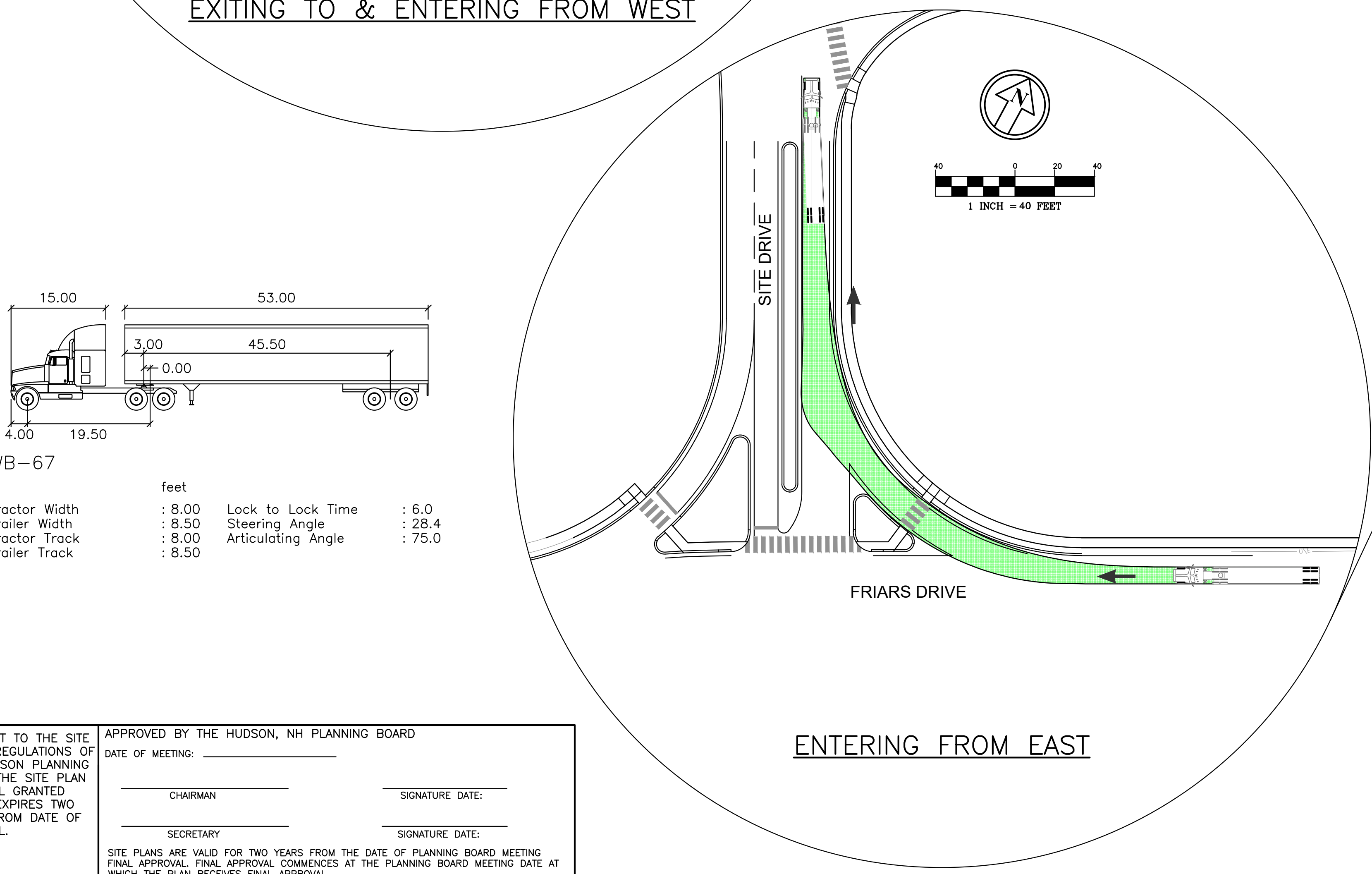
CHAIRMAN _____ SIGNATURE DATE: _____
 SECRETARY _____ SIGNATURE DATE: _____

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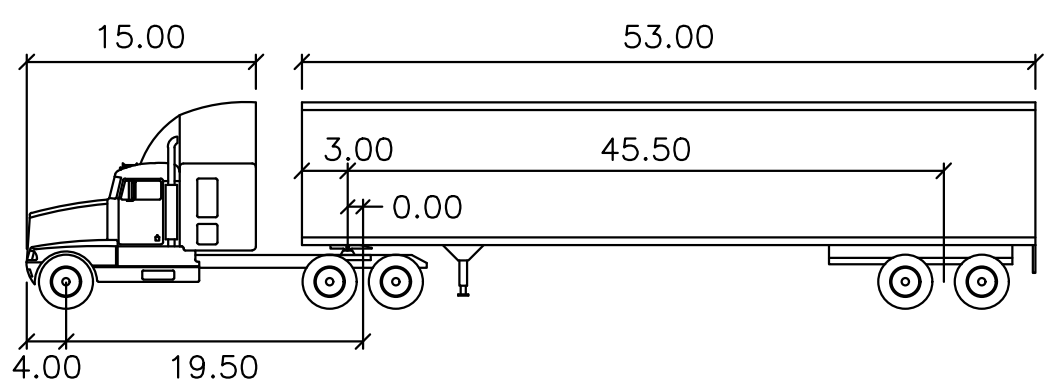
N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-ACCESSUM.dwg



EXITING TO & ENTERING FROM WEST



ENTERING FROM EAST



WB-67

feet			
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

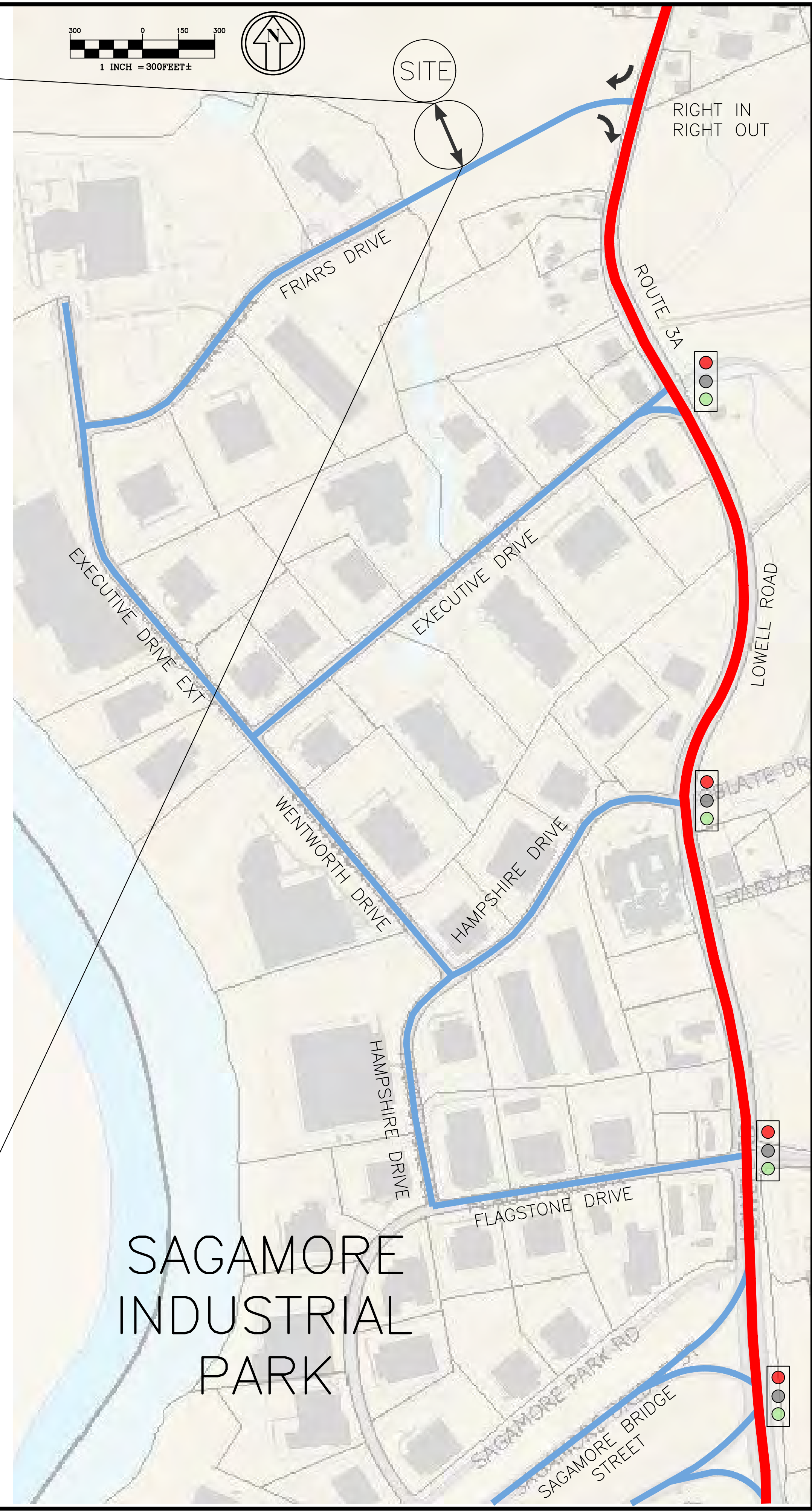
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____

SECRETARY _____ SIGNATURE DATE: _____

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SAGAMORE INDUSTRIAL PARK

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 Surveyors
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REVISIONS:			
REV:	DATE:	COMMENT:	BY:

DRAWN BY: SJK
 CHECKED BY: KRD
 DATE: MAR. 31, 2021
 SCALE: AS NOTED
 FILE: 475-ACCESSUM
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR _____

GFI PARTNERS

LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:

ACCESS SUMMARY

PROJECT #475 SHEET 23 of 80



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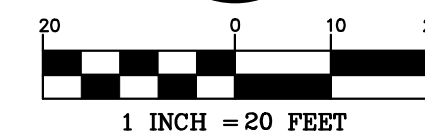
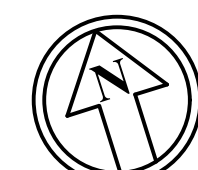
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603-458-6462

Engineers

Planners

Surveyors

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1 INCH = 20 FEET

REVISIONS:

REV.	DATE:	COMMENT:	BY:
6	1/11/22	MISC. REVS	SJK

DRAWN BY: WA
 CHECKED BY: KR
 DATE: AUG. 3, 2021
 SCALE: 1" = 20'
 FILE: 475-INTERSECTION
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH

PREPARED FOR
GFI PARTNERS

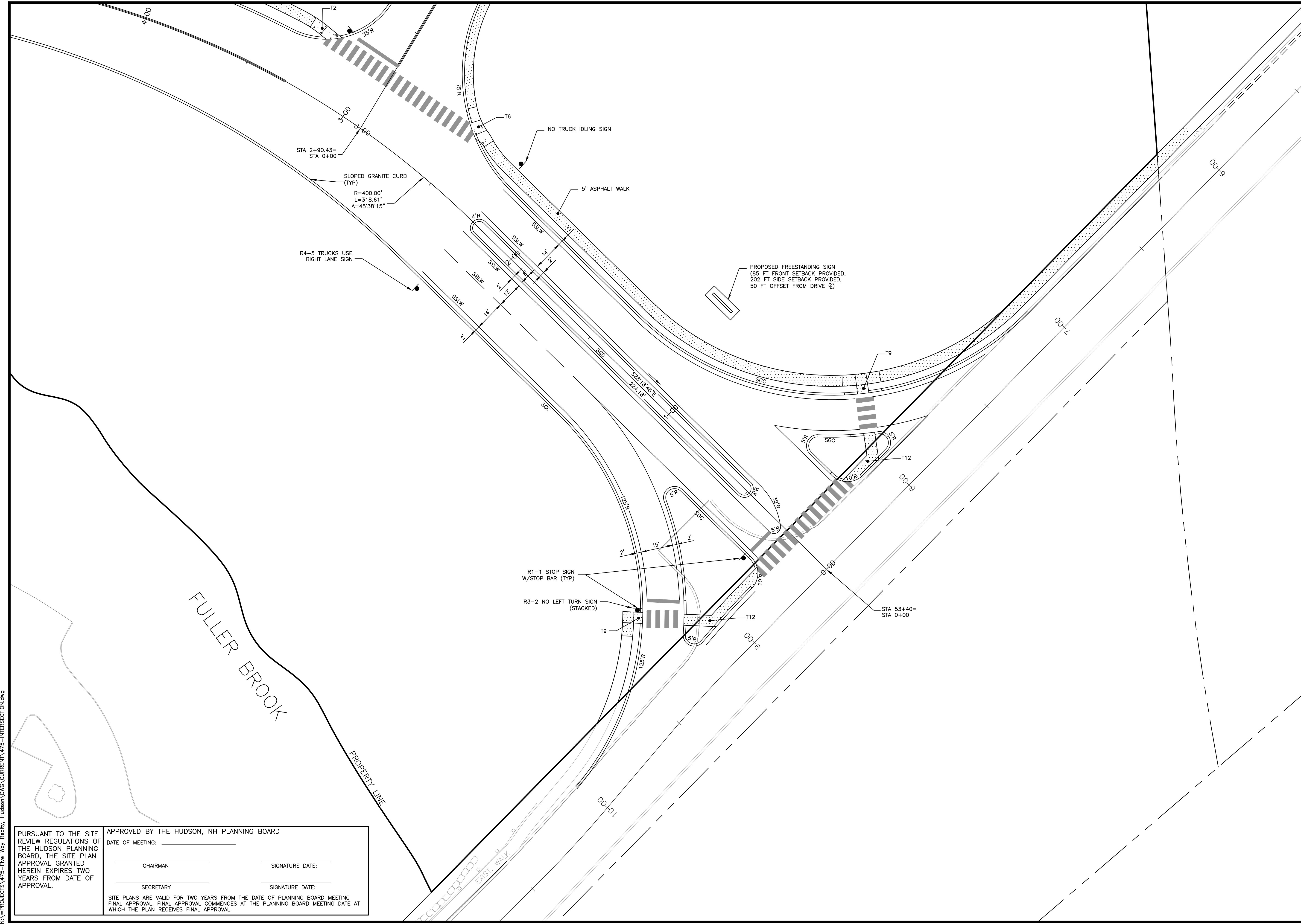
LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110

OWNER
5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:

**MAIN
ENTRANCE
DETAIL**

PROJECT #475 SHEET 24 of 80



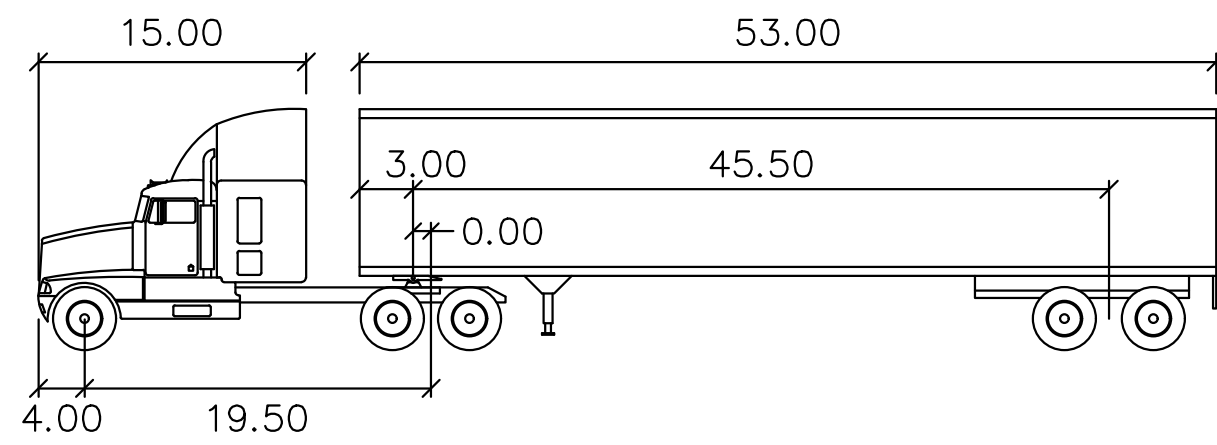
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 SECRETARY _____ SIGNATURE DATE: _____

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N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-INTERSECTION.dwg



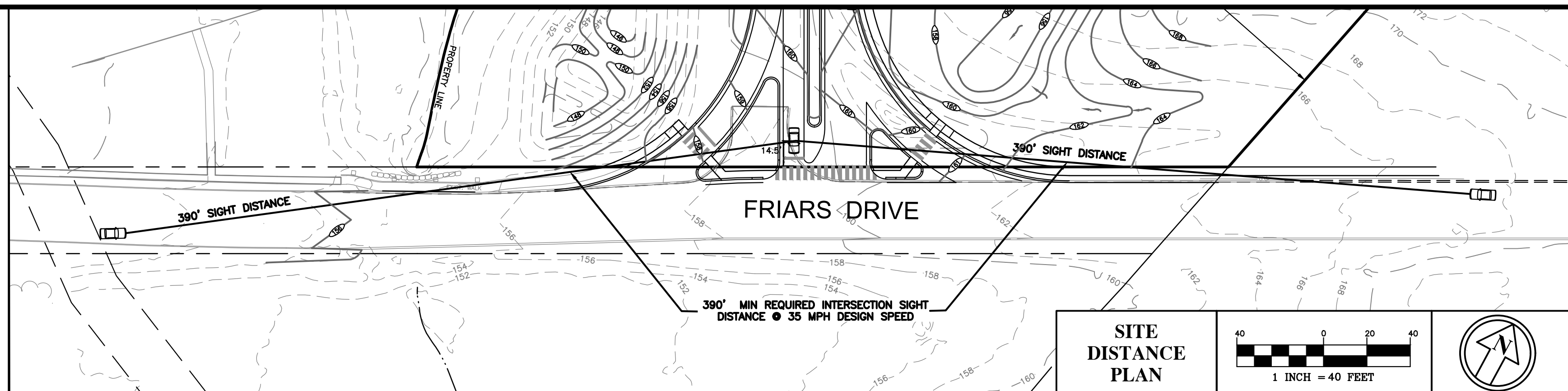
WB-67

feet

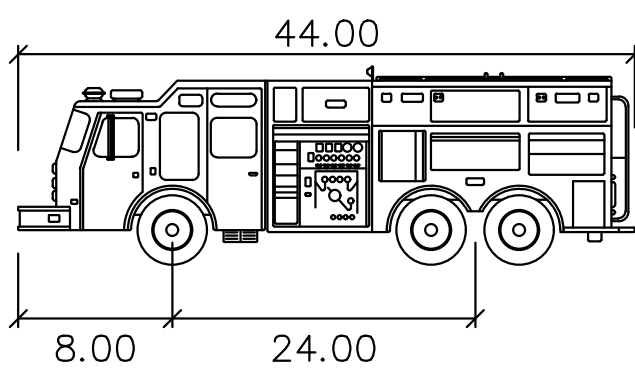
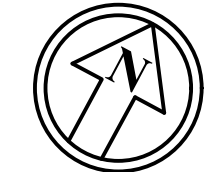
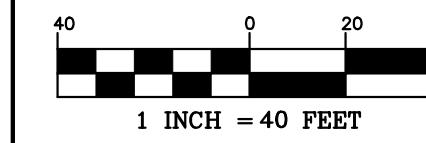
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		

LEGEND

- TENANT "A" (WB-67)
- TENANT "B" (WB-67)
- FIRE/EMS (FIRE TRUCK)



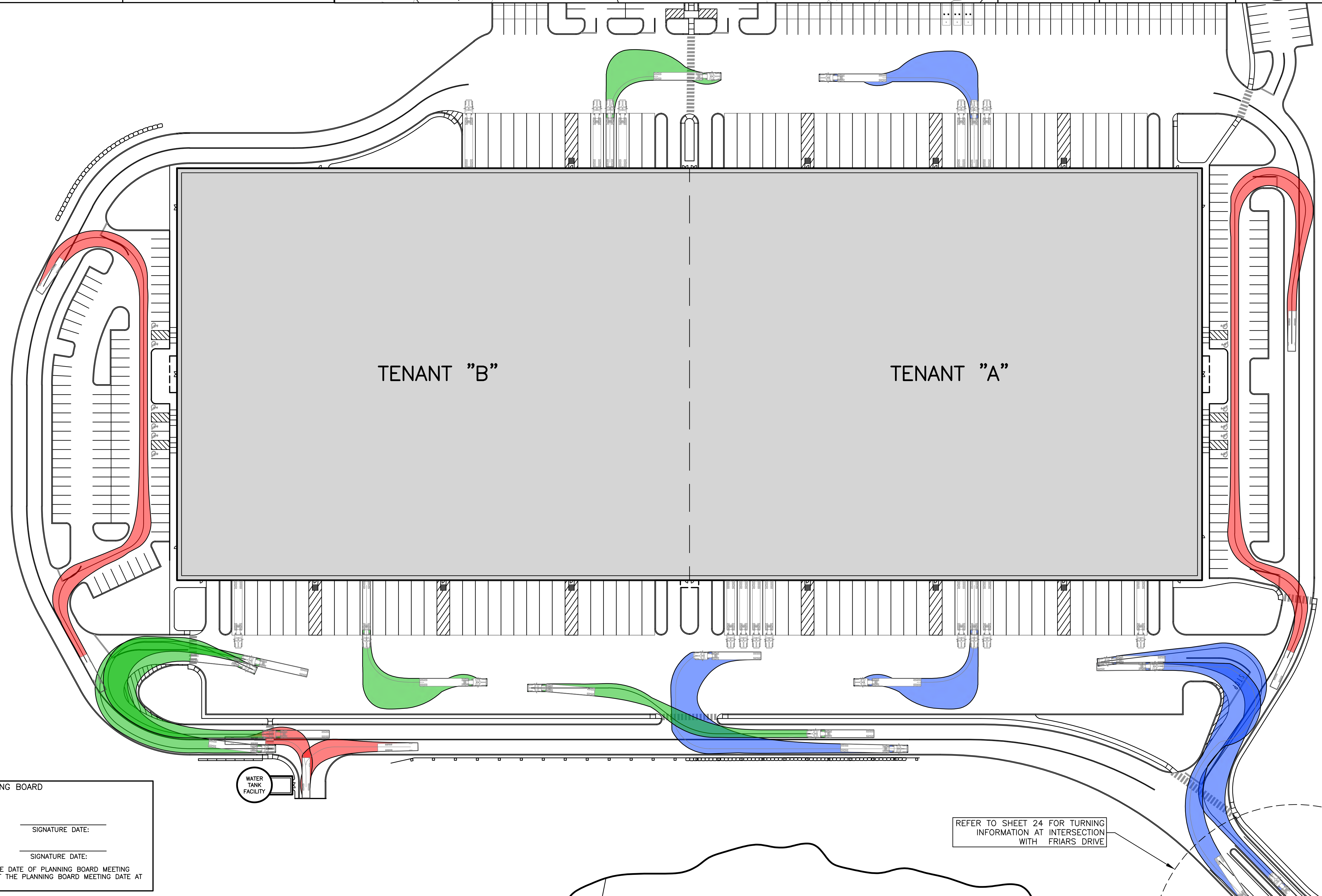
SITE DISTANCE PLAN



Pumper Fire Truck

feet

Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 37.8



TENANT "B"

TENANT "A"



REFER TO SHEET 24 FOR TURNING INFORMATION AT INTERSECTION WITH FRIARS DRIVE

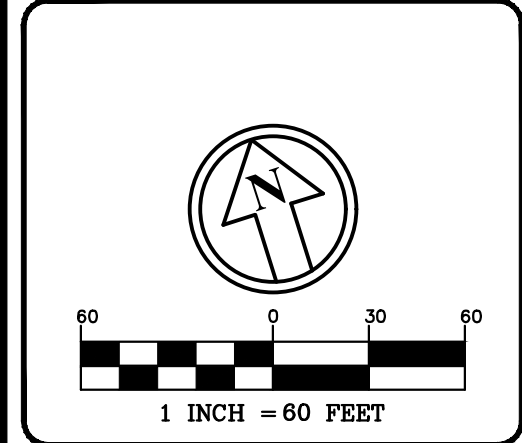


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Planners
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REVISIONS:			
REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REV.	JJC
5	11/23/21	MISC. REVS	WA

DRAWN BY: SJK
CHECKED BY: KRD
DATE: AUG. 3, 2021
SCALE: 1" = 60'
FILE: 475-SITECIRC
DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH
PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110
OWNER
5 WAY REALTY TRUST
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE:
SITE CIRCULATION PLAN

PROJECT #475 SHEET 25 of 80

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN

SIGNATURE DATE:

SECRETARY

SIGNATURE DATE:

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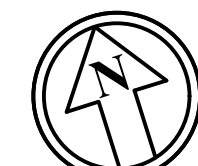


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1 INCH = 80 FEET

REVISIONS:

REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REVS	WA
3	10/5/21	REV. LS	REK
5	11/23/21	MISC. REVS	WA
6	1/11/22	MISC. REVS	SIK

DRAWN BY: WA
 CHECKED BY: KR
 DATE: AUG. 3, 2021
 SCALE: 1" = 80'
 FILE: 475-LANDSCAPE
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:

LANDSCAPE OVERVIEW

PROJECT #475 SHEET 26 of 80

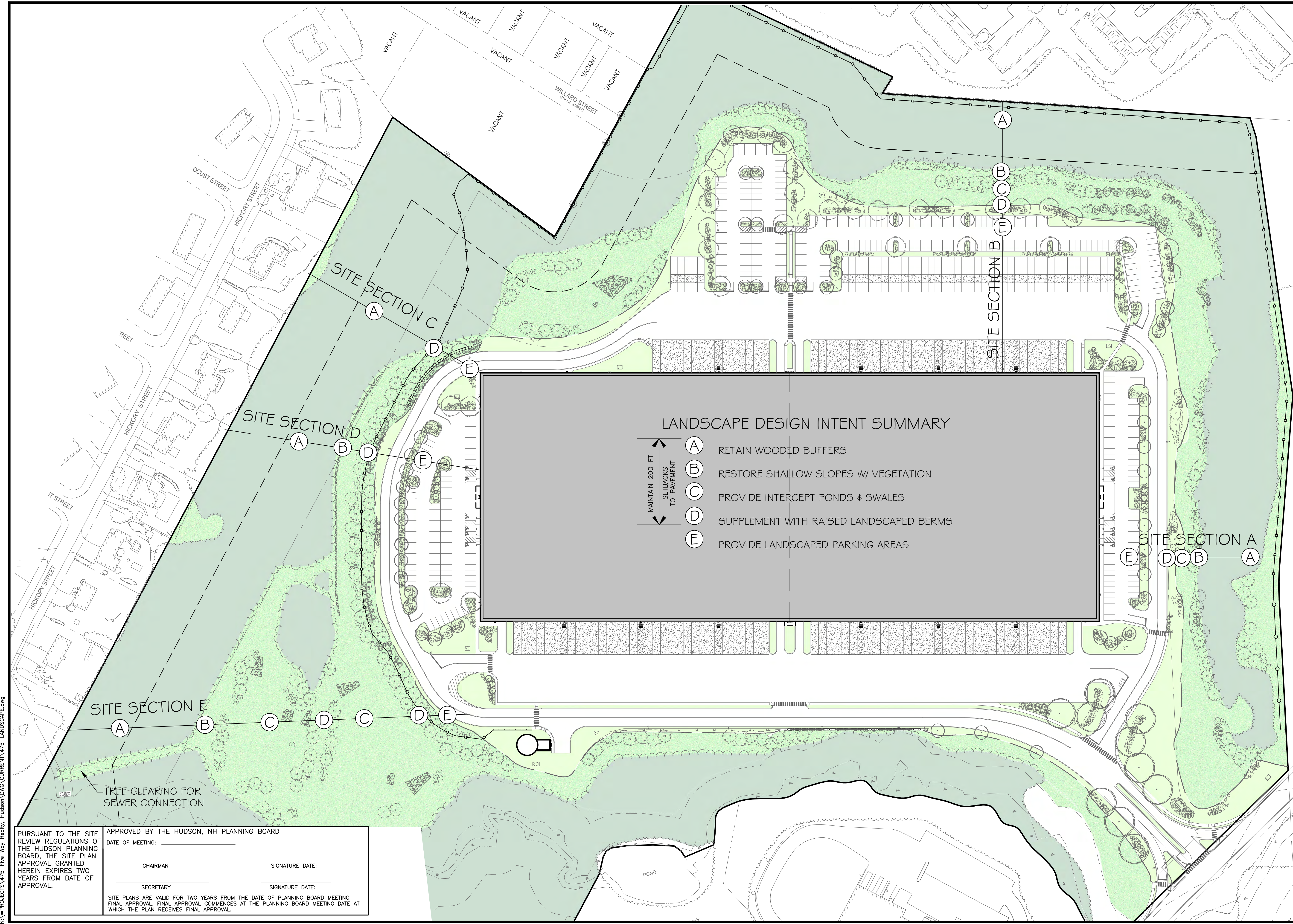
LANDSCAPE DESIGN INTENT SUMMARY

↑

MAINTAIN 200 FT SETBACKS TO PAVEMENT

↓

- A RETAIN WOODED BUFFERS
- B RESTORE SHALLOW SLOPES W/ VEGETATION
- C PROVIDE INTERCEPT PONDS & SWALES
- D SUPPLEMENT WITH RAISED LANDSCAPED BERMS
- E PROVIDE LANDSCAPED PARKING AREAS



N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-LANDSCAPE.dwg

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

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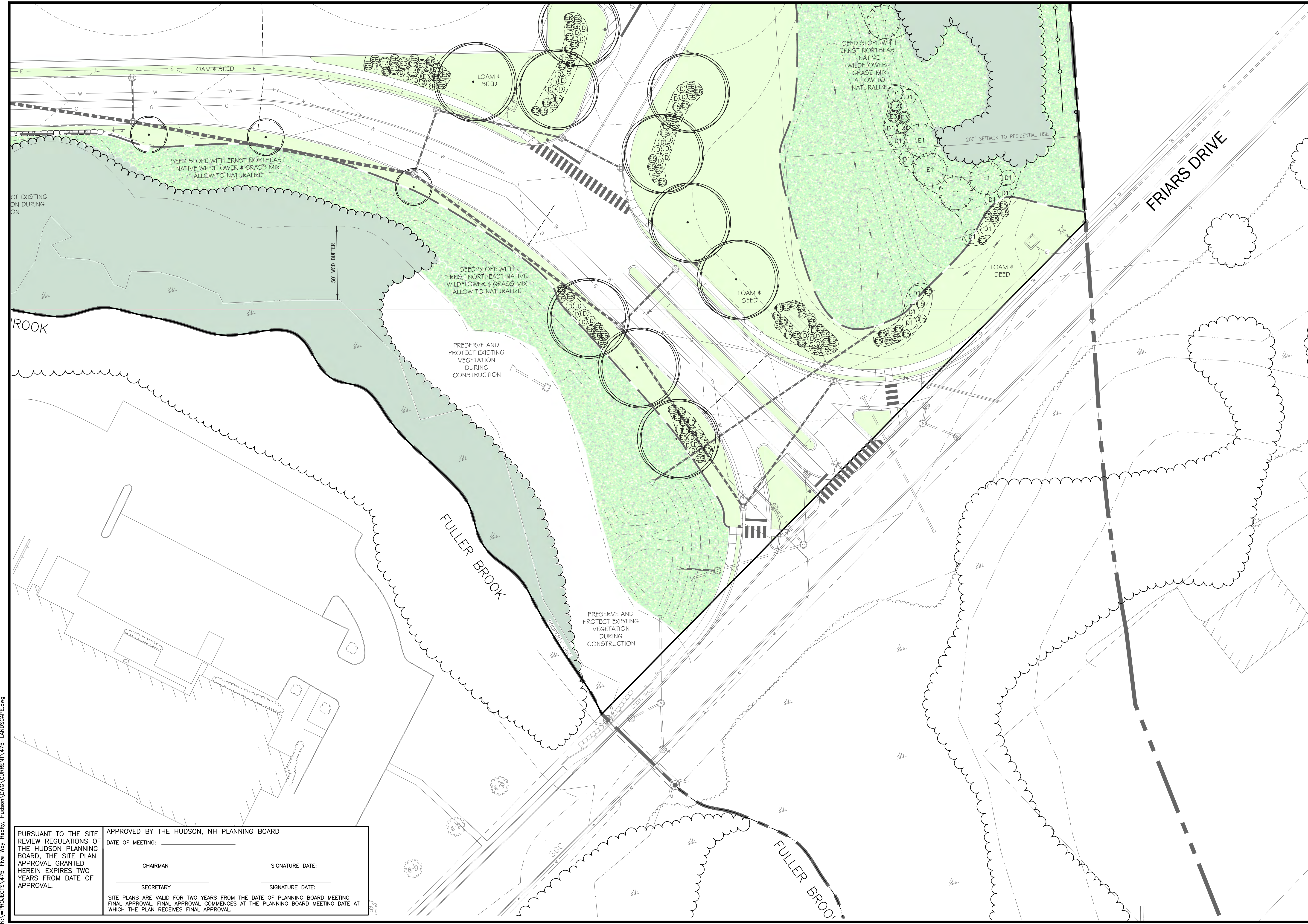
CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

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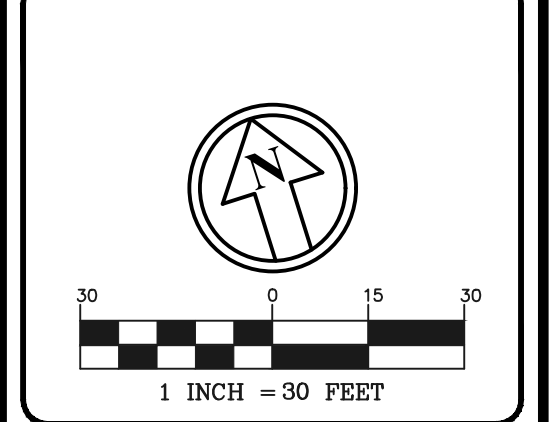
TREE CLEARING FOR SEWER CONNECTION

POND



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E	F	G
D		H
C	B	

SHEET INDEX

REVISIONS:			
REV.	DATE:	COMMENT:	BY:
1	9/20/21	MISC. REVS	WA
3	10/5/21	REV. LS	REK
5	11/23/21	MISC. REVS	WA
6	1/11/22	MISC. REVS	SIK

DRAWN BY: WA
 CHECKED BY: KRD
 DATE: AUG. 3, 2021
 SCALE: 1" = 30'
 FILE: 475-LANDSCAPE
 DEED REF:

PROJECT:
SITE PLAN
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER
5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
LANDSCAPE
PLAN - A
 PROJECT #475 SHEET 27 of 80

N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-LANDSCAPE.dwg

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

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30 0 15 30
1 INCH = 30 FEET

E	F	G
D		H
C	B	A

SHEET INDEX

REVISIONS:			
REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REVS	WA
3	10/5/21	REV. LS	REK
5	11/23/21	MISC. REVS	WA

DRAWN BY: WA
 CHECKED BY: KRD
 DATE: AUG. 3, 2021
 SCALE: 1" = 30'
 FILE: 475-LANDSCAPE
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH

PREPARED FOR



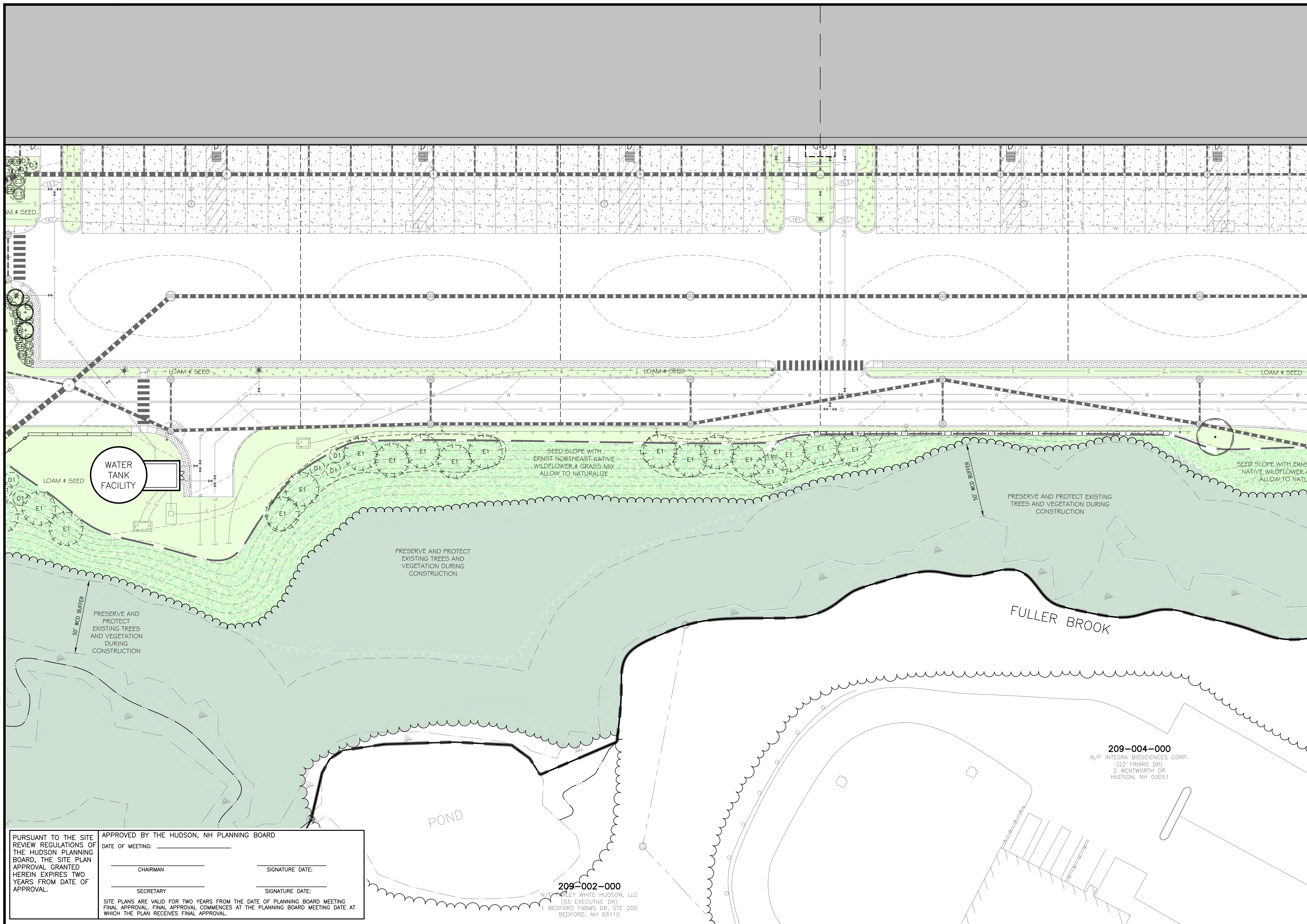
LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:

LANDSCAPE PLAN - B

PROJECT #475 SHEET 28 of 80



N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-LANDSCAPE.dwg

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

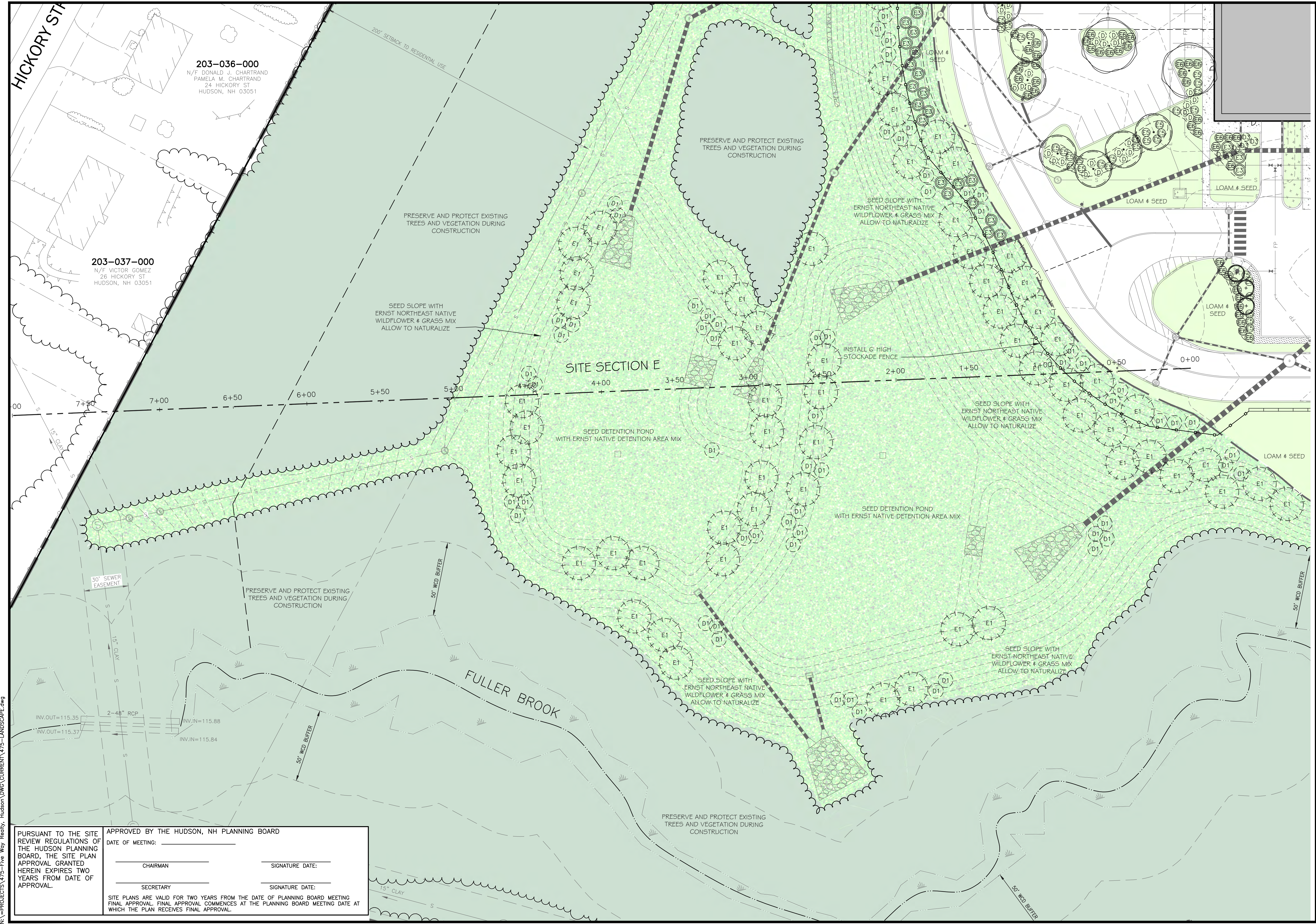
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____
 SECRETARY _____ SIGNATURE DATE: _____

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209-002-000
 N/F RILEY WHITE HUDSON, LLC
 (55 EXECUTIVE DR)
 1 BEDFORD FARMS DR, STE 200
 BEDFORD, NH 03110

209-004-000
 N/F INTEGRA BIOSCIENCES CORP.
 (22 FRIARS DR)
 2 WENTWORTH DR
 HUDSON, NH 03051



N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-LANDSCAPE.dwg
 203-036-000
 N/F DONALD J. CHARTRAND
 PAMELA M. CHARTRAND
 24 HICKORY ST
 HUDSON, NH 03051
 203-037-000
 N/F VICTOR GOMEZ
 26 HICKORY ST
 HUDSON, NH 03051



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D		H
C	B	A

SHEET INDEX

REVISIONS:		
REV.	DATE:	COMMENT:
1	9/20/21	MISC. REVS
3	10/5/21	REV. LS
5	11/23/21	MISC. REVS

DRAWN BY: WA
 CHECKED BY: KRD
 DATE: AUG. 3, 2021
 SCALE: 1" = 30'
 FILE: 475-LANDSCAPE
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER
5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
LANDSCAPE
PLAN - C

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
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CHAIRMAN _____ SIGNATURE DATE: _____
 SECRETARY _____ SIGNATURE DATE: _____

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Planners
Surveyors

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30 0 15 30
1 INCH = 30 FEET

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D		H
C	B	A

SHEET INDEX

REVISIONS:			
REV.	DATE:	COMMENT:	BY:
1	9/20/21	MISC. REVS	WA
3	10/5/21	REV. LS	REK
5	11/23/21	MISC. REVS	WA

DRAWN BY: WA
CHECKED BY: KRD
DATE: AUG. 3, 2021
SCALE: 1" = 30'
FILE: 475-LANDSCAPE
DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH

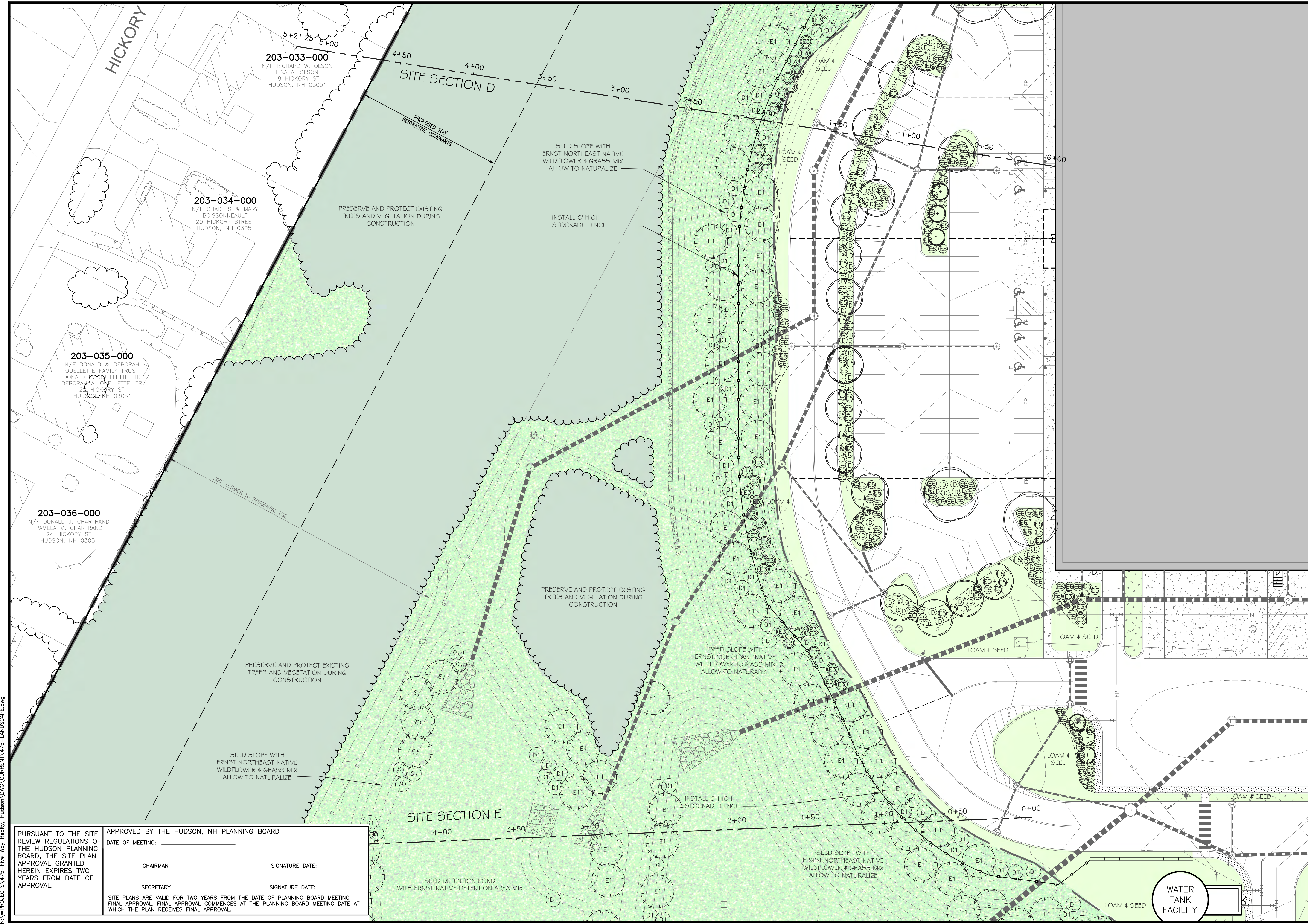
PREPARED FOR
GFI PARTNERS

LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110
OWNER

5 WAY REALTY TRUST
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE:
LANDSCAPE
PLAN - D

PROJECT #475 SHEET 30 of 80



203-033-000
N/F RICHARD W. OLSON
LISA A. OLSON
18 HICKORY ST
HUDSON, NH 03051

203-034-000
N/F CHARLES & MARY
BOISSONNEAULT
20 HICKORY STREET
HUDSON, NH 03051

203-035-000
N/F DONALD & DEBORAH
OUELLETTE FAMILY TRUST
DONALD OUELLETTE, TR
DEBORAH A. OUELLETTE, TR
23 HICKORY ST
HUDSON, NH 03051

203-036-000
N/F DONALD J. CHARTRAND
PAMELA M. CHARTRAND
24 HICKORY ST
HUDSON, NH 03051

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

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SECRETARY _____ SIGNATURE DATE: _____

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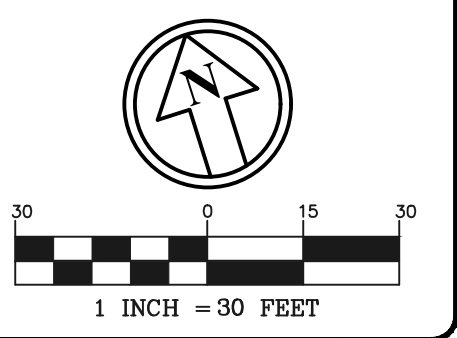
N:\PROJECTS\475-Five Way Realty, Hudson\DW\CURRENT\475-LANDSCAPE.dwg

LANDSCAPE PLAN (PAPER SIZE)



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 Planners
 Surveyors
 TheDubayGroup.com



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D		H
C	B	A

SHEET INDEX

REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REVS	WA
3	10/5/21	REV. LS	REK
5	11/23/21	MISC. REVS	WA
6	1/11/22	MISC. REVS	SIK

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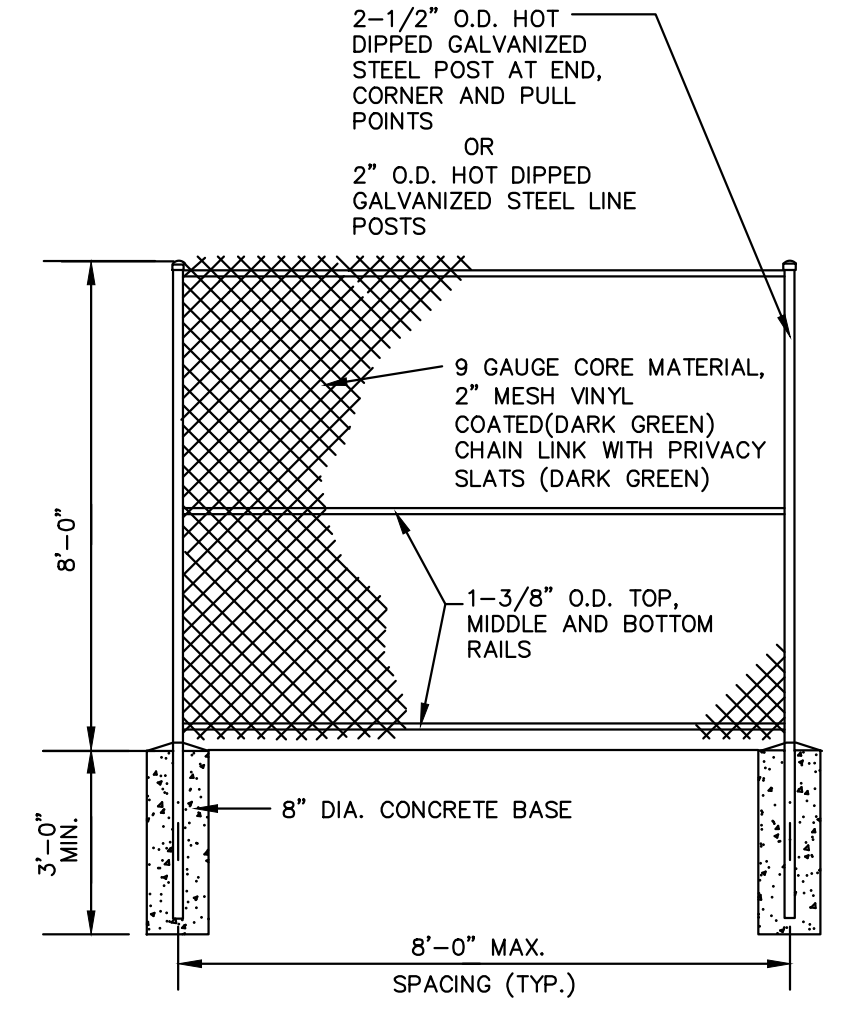
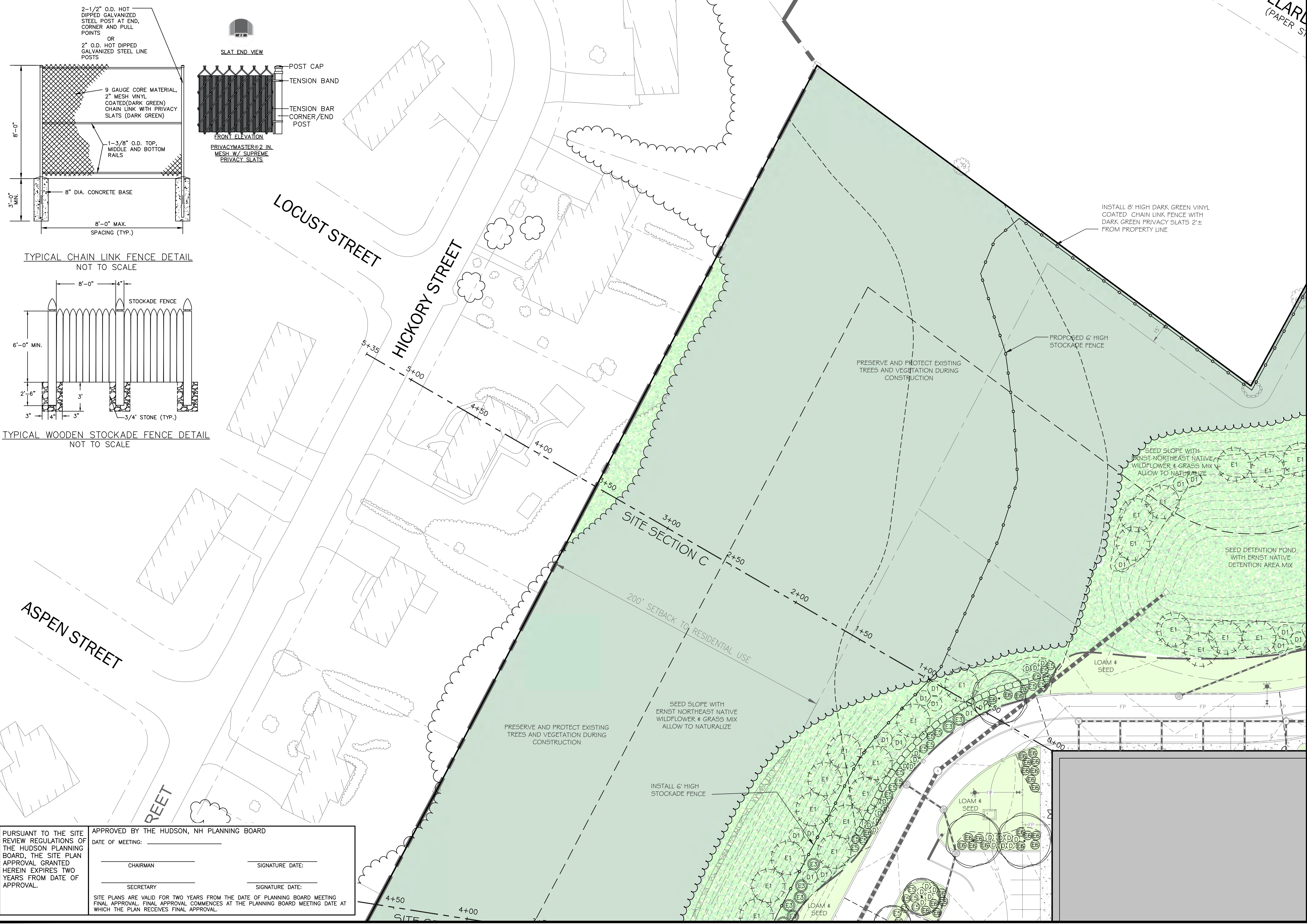
PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



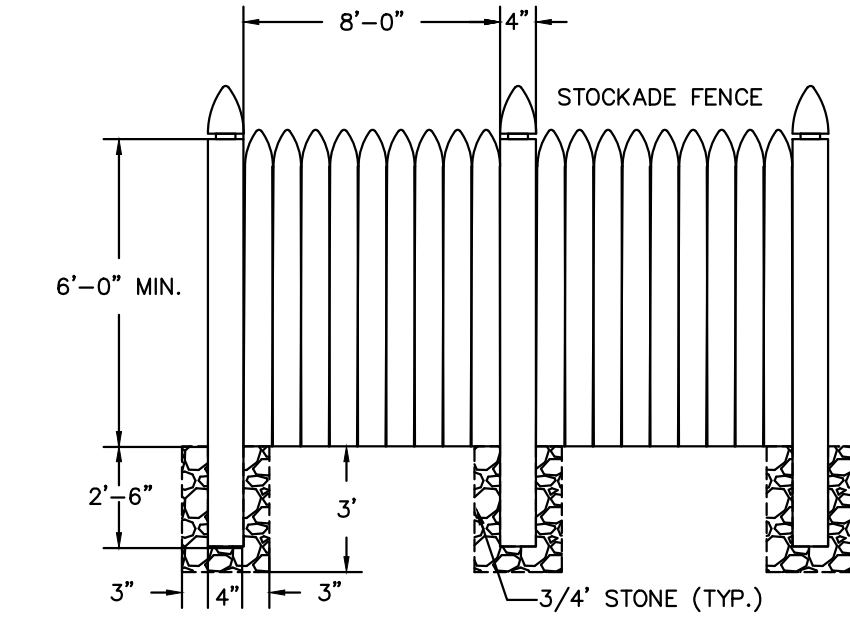
LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

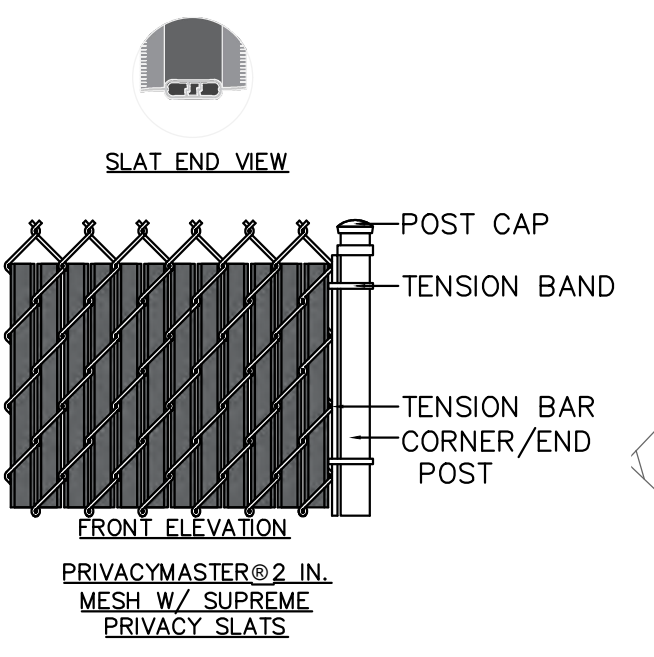
SHEET TITLE:
LANDSCAPE PLAN - E



TYPICAL CHAIN LINK FENCE DETAIL
 NOT TO SCALE



TYPICAL WOODEN STOCKADE FENCE DETAIL
 NOT TO SCALE



FRONT ELEVATION
 PRIVACYMASTER® 2 IN. MESH W/ SUPREME PRIVACY SLATS

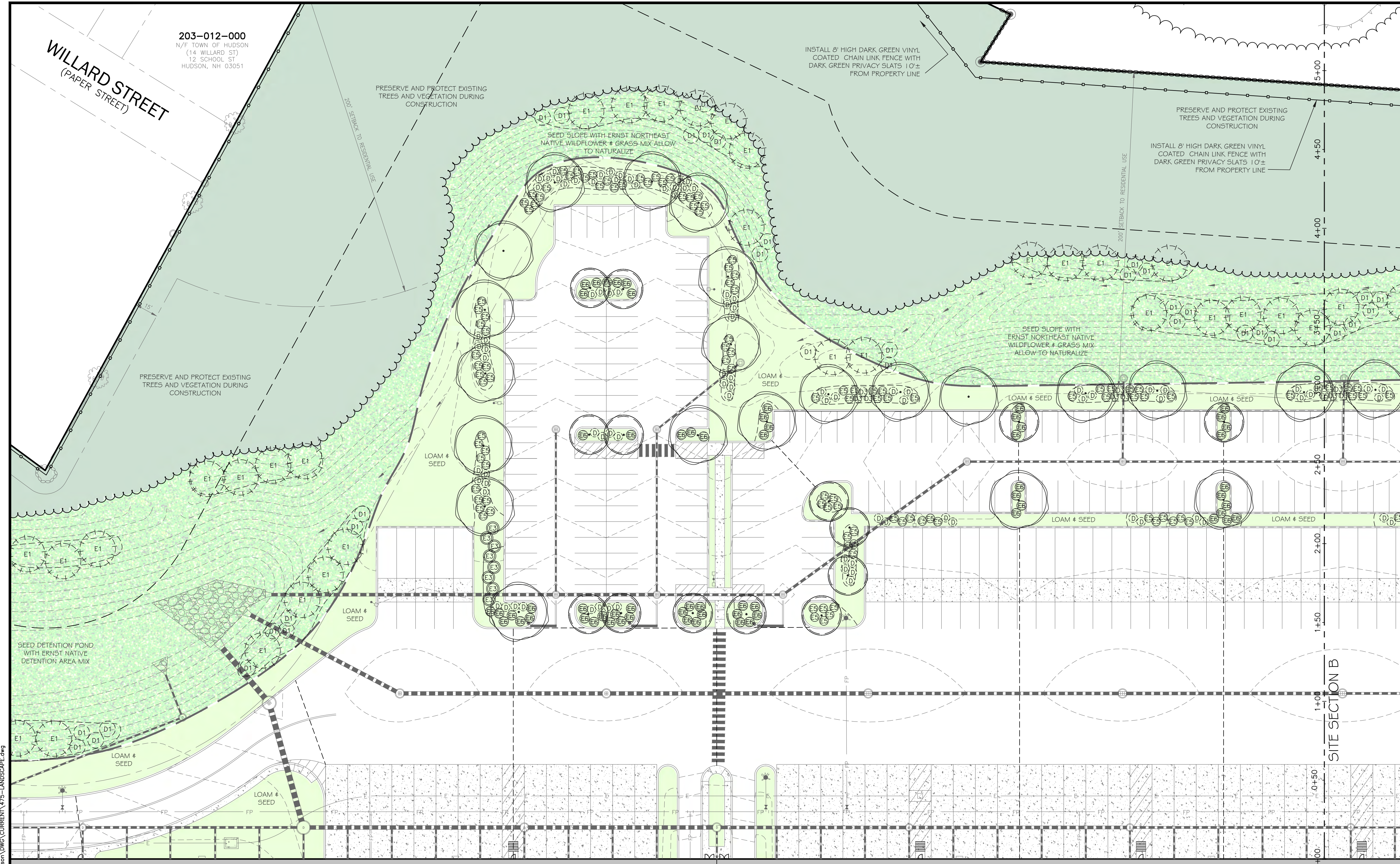
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____
 SECRETARY _____ SIGNATURE DATE: _____

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N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-LANDSCAPE.dwg



**WILLARD STREET
(PAPER STREET)**

203-012-000
N/F TOWN OF HUDSON
(14 WILLARD ST)
12 SCHOOL ST
HUDSON, NH 03051

INSTALL 8' HIGH DARK GREEN VINYL
COATED CHAIN LINK FENCE WITH
DARK GREEN PRIVACY SLATS 10'±
FROM PROPERTY LINE

PRESERVE AND PROTECT EXISTING
TREES AND VEGETATION DURING
CONSTRUCTION

PRESERVE AND PROTECT EXISTING
TREES AND VEGETATION DURING
CONSTRUCTION

INSTALL 8' HIGH DARK GREEN VINYL
COATED CHAIN LINK FENCE WITH
DARK GREEN PRIVACY SLATS 10'±
FROM PROPERTY LINE

SEED SLOPE WITH ERNST NORTHEAST
NATIVE WILDFLOWER + GRASS MIX ALLOW
TO NATURALIZE

SEED SLOPE WITH
ERNST NORTHEAST NATIVE
WILDFLOWER + GRASS MIX
ALLOW TO NATURALIZE

PRESERVE AND PROTECT EXISTING
TREES AND VEGETATION DURING
CONSTRUCTION

LOAM & SEED

LOAM & SEED

LOAM & SEED

LOAM & SEED

LOAM & SEED

LOAM & SEED

LOAM & SEED

SEED DETENTION POND
WITH ERNST NATIVE
DETENTION AREA MIX

LOAM & SEED

LOAM & SEED

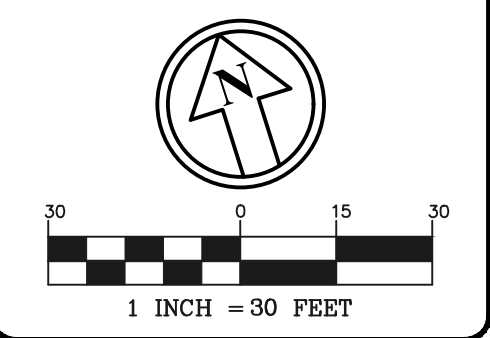
SITE SECTION B

N:\PROJECTS\175-Five Way Realty, Hudson\DWG\CURRENT\175-LANDSCAPE.dwg



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Londonderry, NH 03053
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Planners
Surveyors
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5	11/23/21	MISC. REVS	WA
6	1/11/22	MISC. REVS	SJK

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CHECKED BY: KRD
DATE: AUG. 3, 2021
SCALE: 1" = 30'
FILE: 475-LANDSCAPE
DEED REF:

PROJECT:
SITE PLAN
FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH
PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110
OWNER

5 WAY REALTY TRUST
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE:

**LANDSCAPE
PLAN - F**

PROJECT #475 SHEET 32 of 80

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

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SECRETARY _____ SIGNATURE DATE: _____

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204-006-000
 N/F FOX HOLLOW CONDOMINIUM ASSOC.
 C/O GREAT NORTH PROPERTY MGMT
 (FOX HOLLOW DR)
 636 DANIEL WEBSTER HWY
 MERRIMACK, NH 03054

PRESERVE AND PROTECT EXISTING TREES AND VEGETATION DURING CONSTRUCTION
 INSTALL 8' HIGH DARK GREEN VINYL COATED CHAIN LINK FENCE WITH DARK GREEN PRIVACY SLATS 10'± FROM PROPERTY LINE

INSTALL 8' HIGH DARK GREEN VINYL COATED CHAIN LINK FENCE WITH DARK GREEN PRIVACY SLATS 10'± FROM PROPERTY LINE

PRESERVE AND PROTECT EXISTING TREES AND VEGETATION DURING CONSTRUCTION

SEED SLOPE WITH ERNST NORTHEAST NATIVE WILDFLOWER & GRASS MIX ALLOW TO NATURALIZE

SEED SLOPE WITH ERNST NORTHEAST NATIVE WILDFLOWER & GRASS MIX ALLOW TO NATURALIZE

SEED SLOPE WITH ERNST NORTHEAST NATIVE WILDFLOWER & GRASS MIX ALLOW TO NATURALIZE

200' SETBACK TO RESIDENTIAL USE

PRESERVE AND PROTECT EXISTING TREES AND VEGETATION DURING CONSTRUCTION

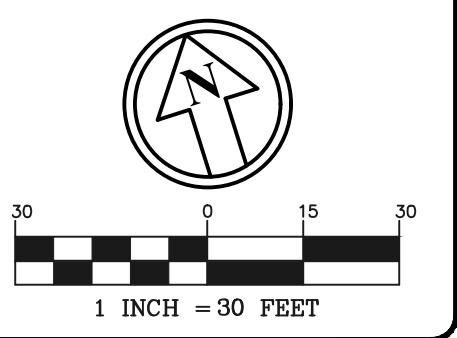
INSTALL 8' HIGH DARK GREEN VINYL COATED CHAIN LINK FENCE WITH DARK GREEN PRIVACY SLATS 10'± FROM PROPERTY LINE

209-001-001
 N/F 5 WAY REALTY TRUST
 PETER HORNE, TR
 PO BOX 1435
 N. HAMPTON, NH 03862



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 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462

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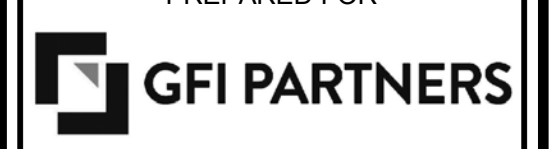
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FRIARS DRIVE
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LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH



LOWELL ROAD
 PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
LANDSCAPE PLAN - G

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-LANDSCAPE.dwg

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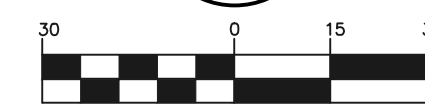
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Londonderry, NH 03053
603-458-6462

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1 INCH = 30 FEET

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6	1/11/22	MISC. REVS	SJK

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 CHECKED BY: KR
 DATE: AUG. 3, 2021
 SCALE: 1" = 30'
 FILE: 475-LANDSCAPE
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH

PREPARED FOR



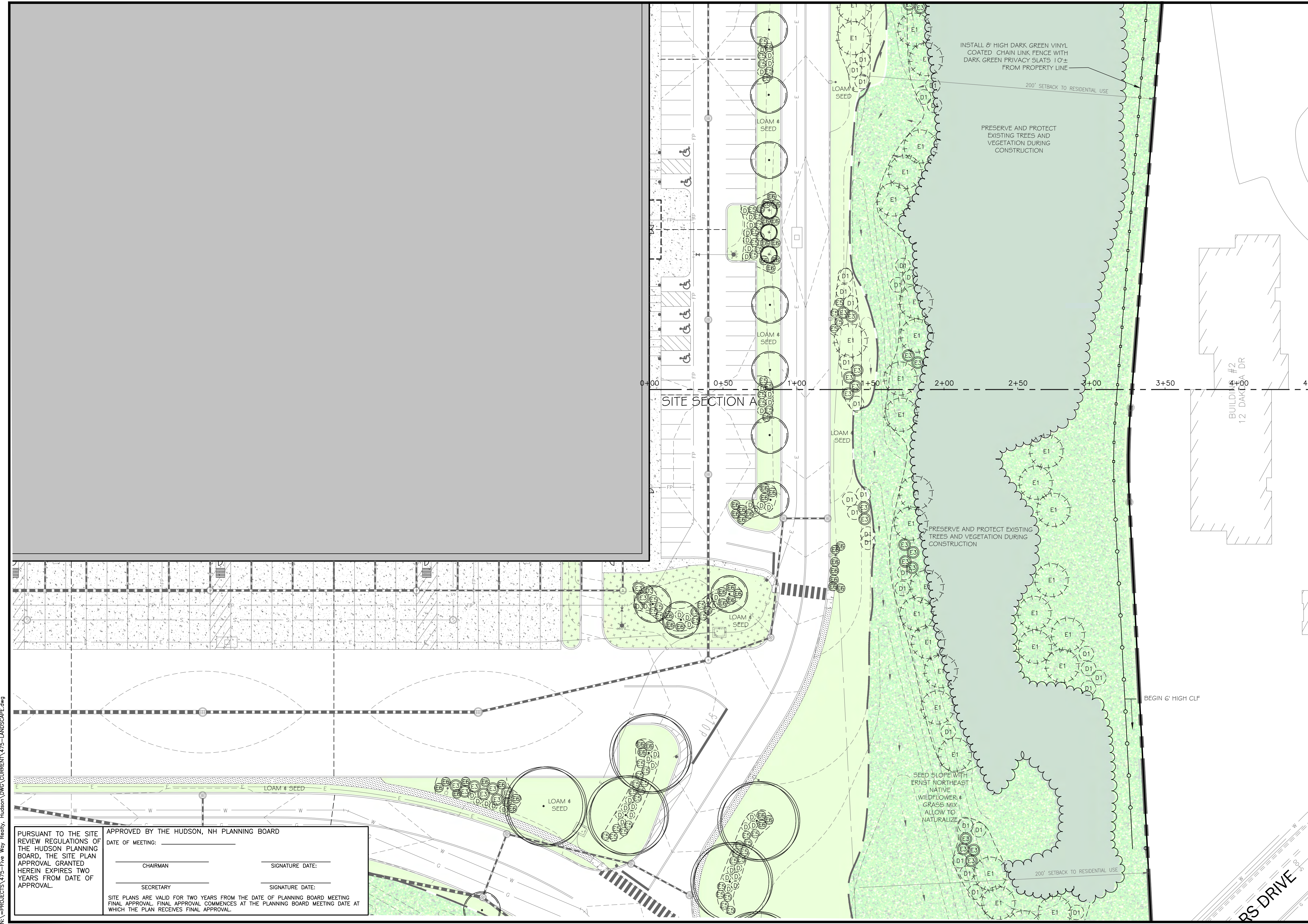
LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:

LANDSCAPE PLAN - H

PROJECT #475 SHEET 34 of 80



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

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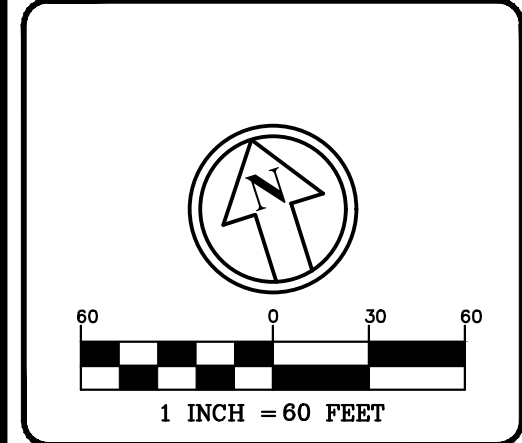
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NOTE:
 SINGLE ACCESS LANE PARKING AREAS ARE EXEMPT FROM PARKING LOT LANDSCAPING REGULATIONS SECTION 275-8.C.7 PER 275-8.C.7.e HOWEVER, ALL OF THE PARKING AREAS FOR THE PURPOSES OF THE SPIRIT OF THE REGULATIONS ARE DEPICTED AND DESIGNED TO MEET 275.8.C.7 NOTWITHSTANDING BEING EXEMPT.

TRUCK IDLING AND DIESEL FUMES
 THE PROJECT WILL FULLY COMPLY WITH U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA) CLEAN AIR ACT (CAA). NEW HAMPSHIRE REGULATIONS HELP TO MINIMIZE THE HEALTH AND ENVIRONMENTAL IMPACTS OF IDLING BY ESTABLISHING A LIMIT ON THE AMOUNT OF TIME THAT ENGINES ARE PERMITTED TO IDLE. IF THE OUTSIDE TEMPERATURE IS ABOVE 32°F, MAXIMUM IDLING TIME IS 5 MINUTES. FURTHERMORE, THE PROJECT ASSUMES THAT EACH IDLING TRUCK WILL BE LIMITED TO TEN (10) MINUTES PER THE TOWN ORDINANCE (PER 249-4(J)(2)).

LANDSCAPING IN PARKING LOT 'E'
 34,304 SF
 80 SPACES WITHIN
 LESS SIDEWALK AREA = 0 SF
 NET AREA = 34,304 SF
 10% OF NET AREA = 3,430 SF
 MIN REQ'D LS AREA = 3,430 SF
 TOTAL LS AREA = 4,590 SF
 (COMPLIES)
 PAVED AREA = 29,714 SF
 #SHADE TREES REQ'D@1:1600 = 19 TREES
 OR 1:5 SPACES = 16 TREES (USE 19 TREES)
 #SHRUBS REQ'D@1:200 = 149 SHRUBS
 OR 1.6 PER SPACE = 64 SHRUBS (USE 149 SHRUBS)

LANDSCAPING IN PARKING LOT 'B'
 53,213 SF
 123 SPACES WITHIN
 LESS SIDEWALK AREA = 105 SF
 NET AREA = 53,108 SF
 10% OF NET AREA = 5,310 SF
 MIN REQ'D LS AREA = 5,310 SF
 TOTAL LS AREA = 6,152 SF
 (COMPLIES)
 PAVED AREA = 46,956 SF
 #SHADE TREES REQ'D@1:1600 = 29 TREES
 OR 1:5 SPACES = 25 TREES (USE 29 TREES)
 #SHRUBS REQ'D@1:200 = 235 SHRUBS
 OR 1.6 PER SPACE = 197 SHRUBS (USE 235 SHRUBS)

LANDSCAPING IN PARKING LOT 'C'
 59,639 SF
 95 SPACES WITHIN
 LESS SIDEWALK AREA = 1,189 SF
 NET AREA = 58,450 SF
 10% OF NET AREA = 5,845 SF
 MIN REQ'D LS AREA = 5,845 SF
 TOTAL LS AREA = 16,673 SF
 (COMPLIES)
 PAVED AREA = 40,177 SF
 #SHADE TREES REQ'D@1:1600 = 25 TREES
 OR 1:5 SPACES = 19 TREES (USE 25 TREES)
 #SHRUBS REQ'D@1:200 = 200 SHRUBS
 OR 1.6 PER SPACE = 152 SHRUBS (USE 200 SHRUBS)

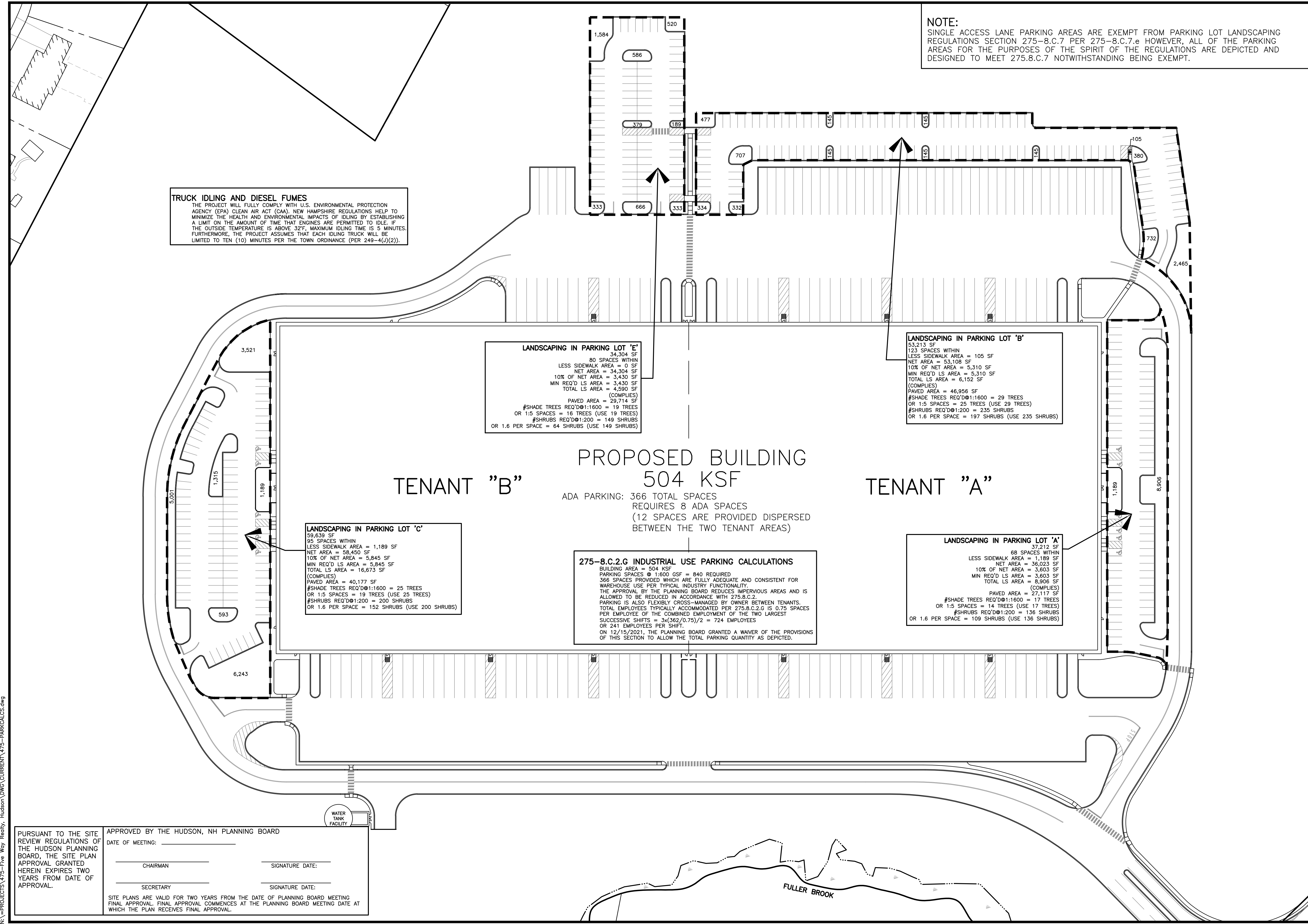
LANDSCAPING IN PARKING LOT 'A'
 37,212 SF
 68 SPACES WITHIN
 LESS SIDEWALK AREA = 1,189 SF
 NET AREA = 36,023 SF
 10% OF NET AREA = 3,603 SF
 MIN REQ'D LS AREA = 3,603 SF
 TOTAL LS AREA = 8,906 SF
 (COMPLIES)
 PAVED AREA = 27,117 SF
 #SHADE TREES REQ'D@1:1600 = 17 TREES
 OR 1:5 SPACES = 14 TREES (USE 17 TREES)
 #SHRUBS REQ'D@1:200 = 136 SHRUBS
 OR 1.6 PER SPACE = 109 SHRUBS (USE 136 SHRUBS)

PROPOSED BUILDING
504 KSF
 ADA PARKING: 366 TOTAL SPACES
 REQUIRES 8 ADA SPACES
 (12 SPACES ARE PROVIDED DISPERSED BETWEEN THE TWO TENANT AREAS)

275-8.C.2.G INDUSTRIAL USE PARKING CALCULATIONS
 BUILDING AREA = 504 KSF
 PARKING SPACES @ 1:600 GSF = 840 REQUIRED
 366 SPACES PROVIDED WHICH ARE FULLY ADEQUATE AND CONSISTENT FOR WAREHOUSE USE PER TYPICAL INDUSTRY FUNCTIONALITY.
 THE APPROVAL BY THE PLANNING BOARD REDUCES IMPERVIOUS AREAS AND IS ALLOWED TO BE REDUCED IN ACCORDANCE WITH 275.8.C.2.
 PARKING IS ALSO FLEXIBLY CROSS-MANAGED BY OWNER BETWEEN TENANTS.
 TOTAL EMPLOYEES TYPICALLY ACCOMMODATED PER 275.8.C.2.G IS 0.76 SPACES PER EMPLOYEE OF THE COMBINED EMPLOYMENT OF THE TWO LARGEST SUCCESSIVE SHIFTS = $3 \times (362 / 0.75) / 2 = 724$ EMPLOYEES
 OR 241 EMPLOYEES PER SHIFT.
 ON 12/15/2021, THE PLANNING BOARD GRANTED A WAIVER OF THE PROVISIONS OF THIS SECTION TO ALLOW THE TOTAL PARKING QUANTITY AS DEPICTED.

TENANT "B"

TENANT "A"



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6	1/11/22	MISC. REVS	SJK

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 CHECKED BY: KR
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 FILE: 475-PARKCALCS
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

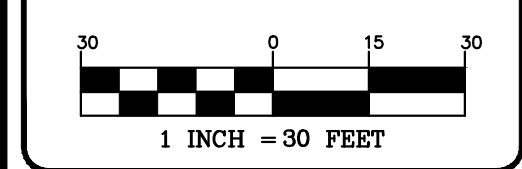
SHEET TITLE:
PARKING COMPLIANCE & LANDSCAPE SUMMARY

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-PARKCALCS.dwg



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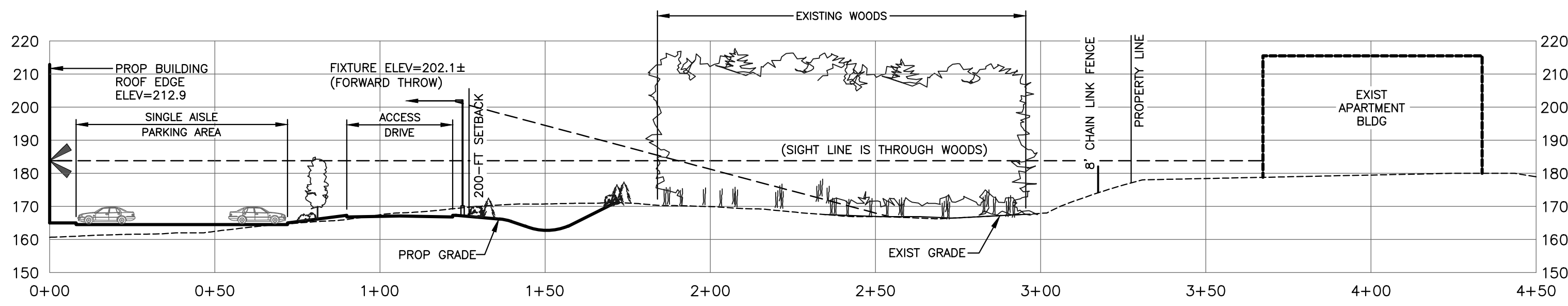
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 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



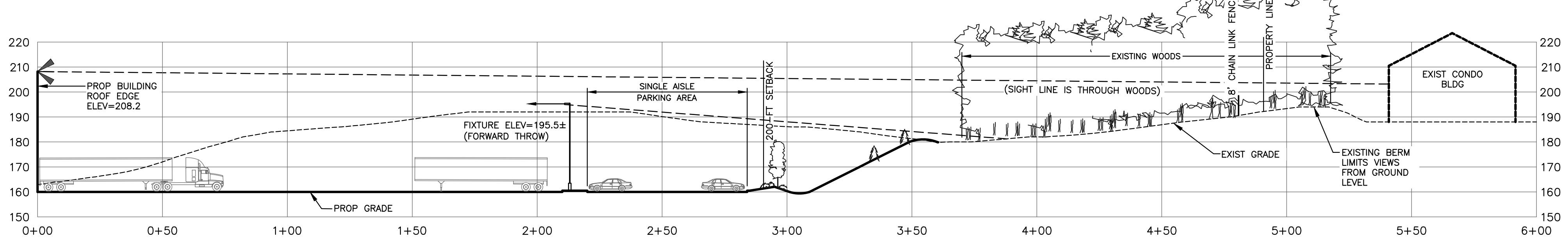
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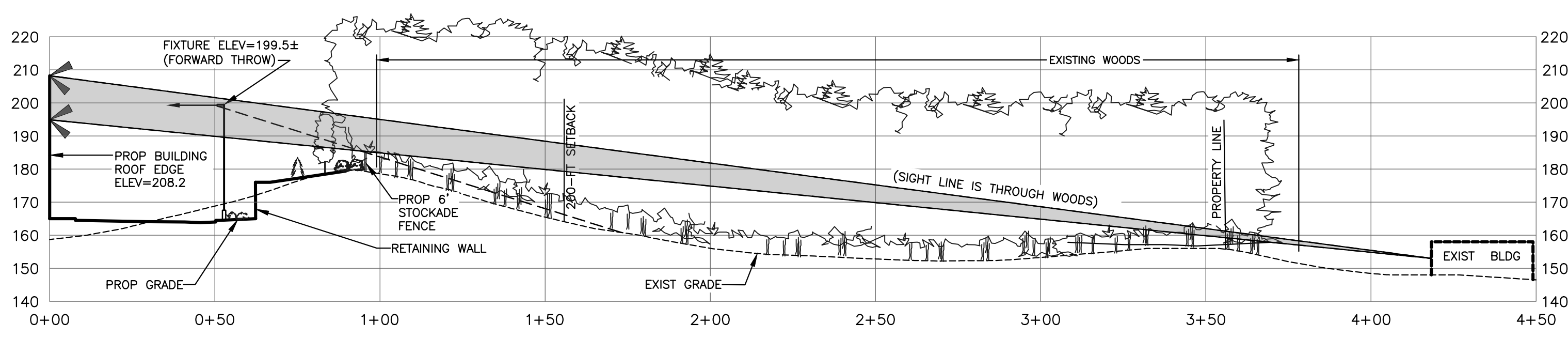
SITE SECTIONS



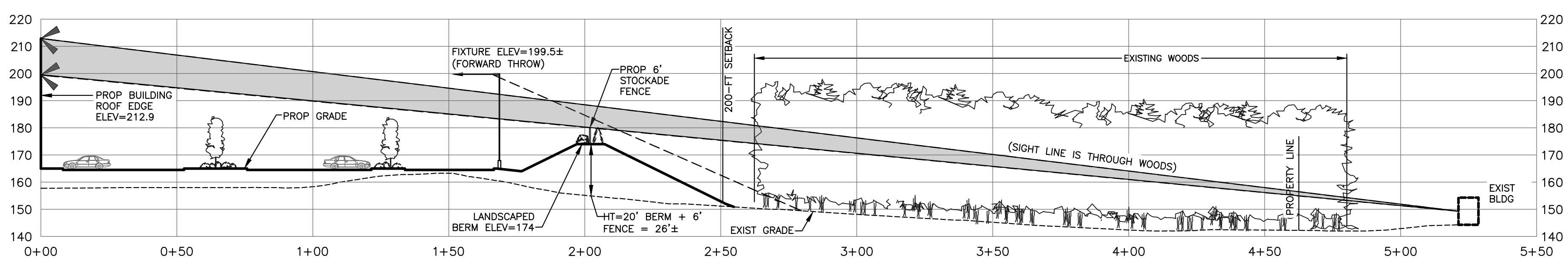
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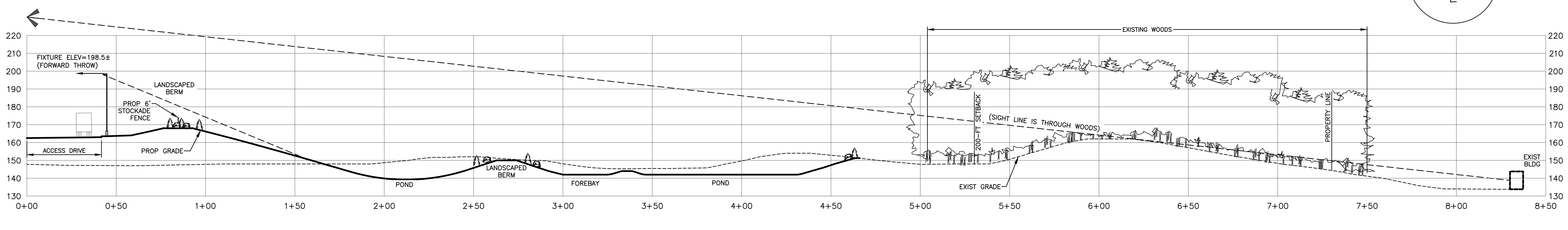
SITE SECTION B



SITE SECTION C



SITE SECTION D



SITE SECTION E

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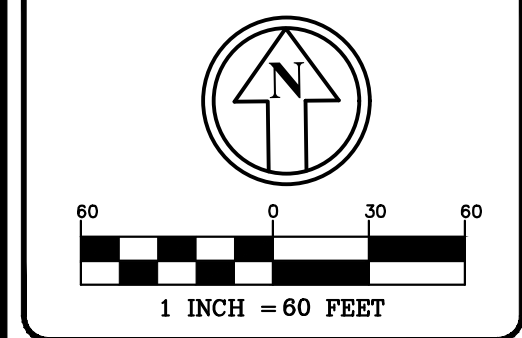
REFER TO LANDSCAPE & GRADING PLANS FOR PLAN DATA.

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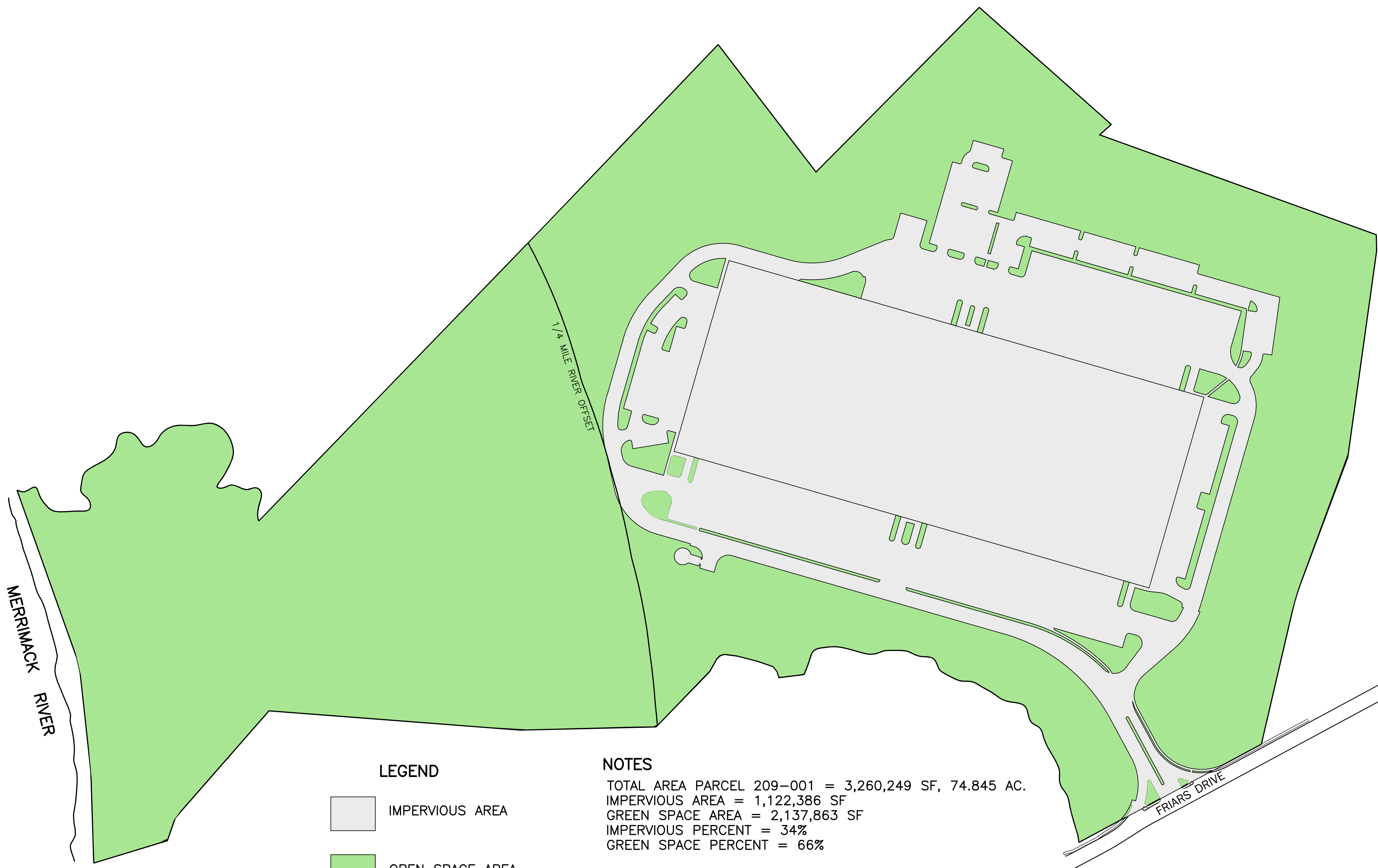
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FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR

GFI PARTNERS
 LOWELL ROAD
 PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER
5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
GREEN SPACE & IMPERVIOUS AREA SUMMARY



LEGEND

IMPERVIOUS AREA

OPEN SPACE AREA

NOTES

TOTAL AREA PARCEL 209-001 = 3,260,249 SF, 74.845 AC.
 IMPERVIOUS AREA = 1,122,386 SF
 GREEN SPACE AREA = 2,137,863 SF
 IMPERVIOUS PERCENT = 34%
 GREEN SPACE PERCENT = 66%

MIN. GREEN SPACE REQUIRED = 35% (COMPLIES)

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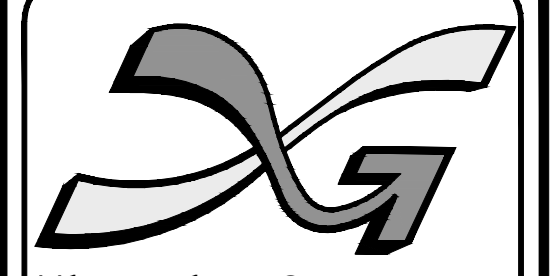
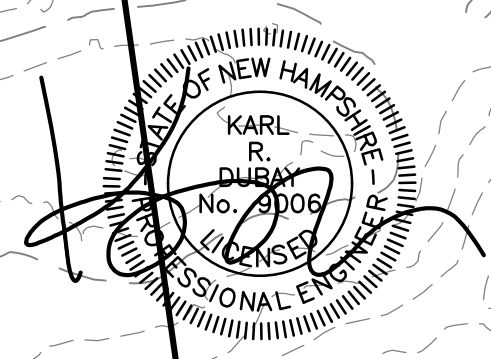
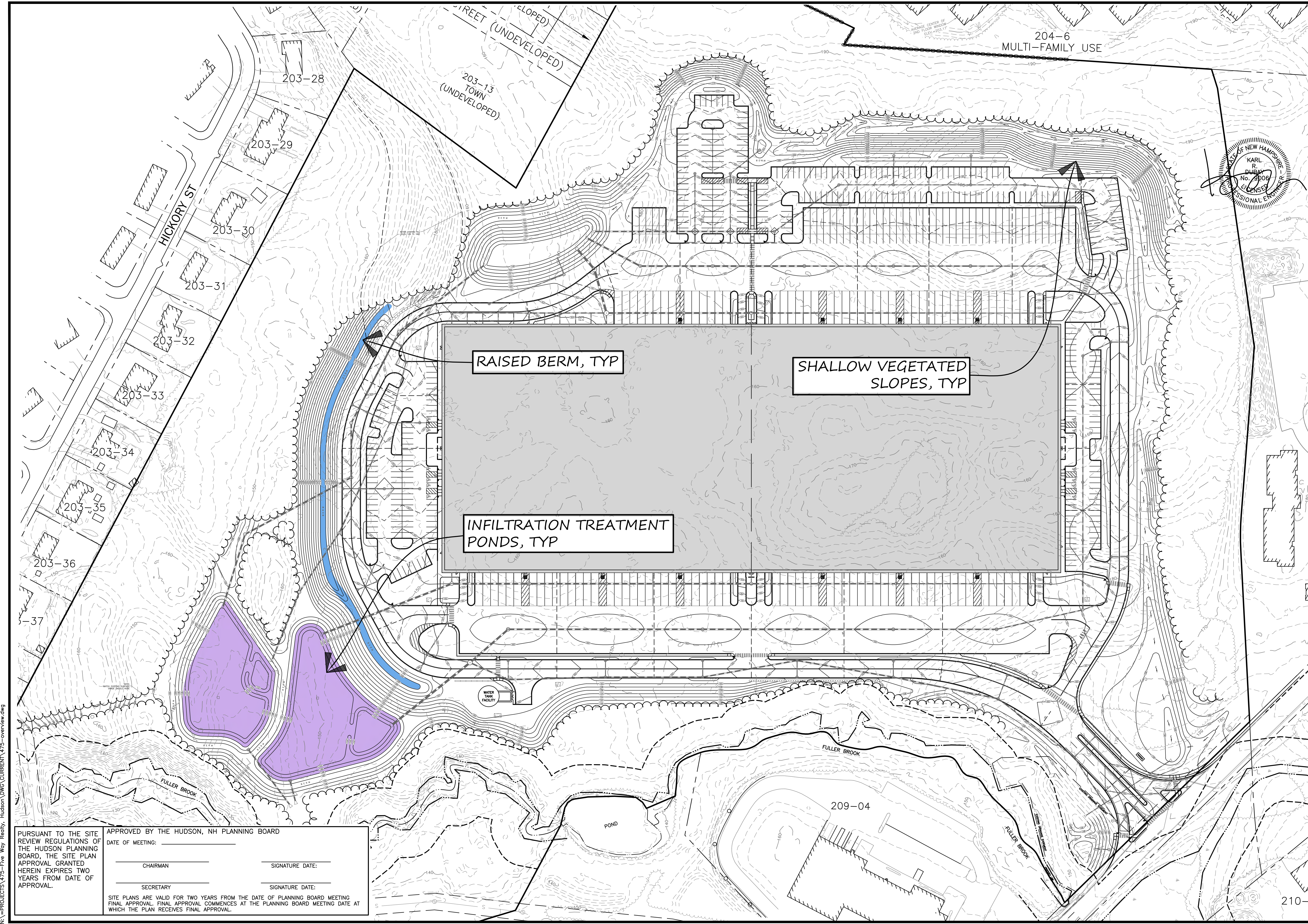
DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____

SECRETARY _____ SIGNATURE DATE: _____

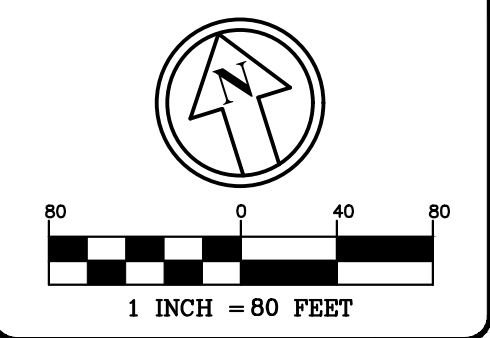
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-OPENSACE.dwg



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 Planners
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REVISIONS:			
REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REVS	WA
3	10/5/21	MISC. REVS	WA
5	11/23/21	MISC. REVS	WA

DRAWN BY: WA
 CHECKED BY: KR D
 DATE: AUG. 3, 2021
 SCALE: 1" = 80'
 FILE: 475-overview
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER
5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
**GRADING &
 DRAINAGE
 OVERVIEW
 PLAN**

PROJECT #475 SHEET 39 of 80

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-overview.dwg

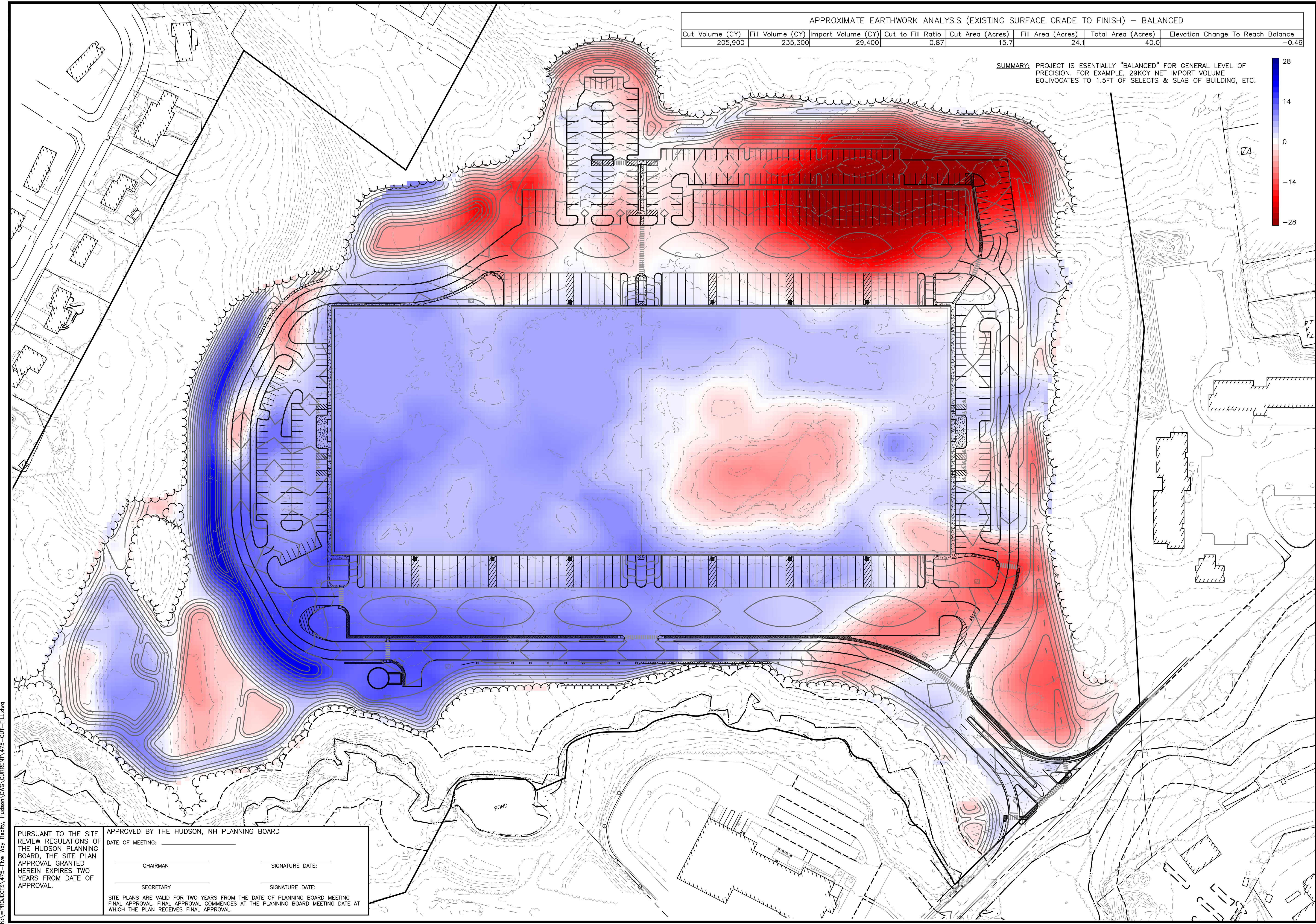
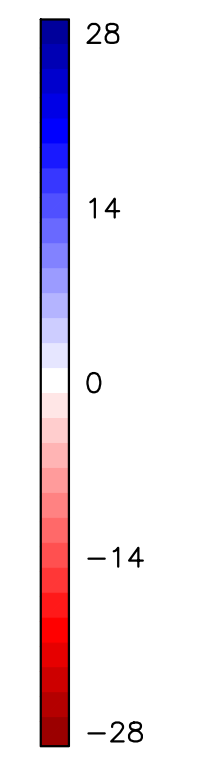
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 CHAIRMAN _____ SIGNATURE DATE: _____
 SECRETARY _____ SIGNATURE DATE: _____

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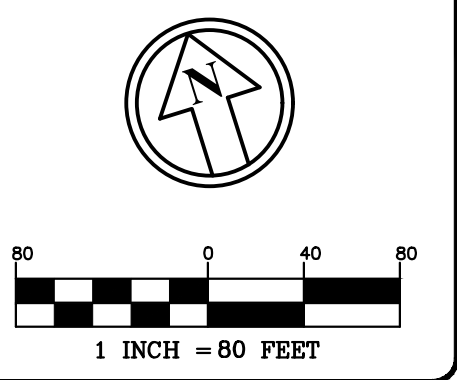
APPROXIMATE EARTHWORK ANALYSIS (EXISTING SURFACE GRADE TO FINISH) - BALANCED							
Cut Volume (CY)	Fill Volume (CY)	Import Volume (CY)	Cut to Fill Ratio	Cut Area (Acres)	Fill Area (Acres)	Total Area (Acres)	Elevation Change To Reach Balance
205,900	235,300	29,400	0.87	15.7	24.1	40.0	-0.46

SUMMARY: PROJECT IS ESSENTIALLY "BALANCED" FOR GENERAL LEVEL OF PRECISION. FOR EXAMPLE, 29KCY NET IMPORT VOLUME EQUIVOCATES TO 1.5FT OF SELECTS & SLAB OF BUILDING, ETC.



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 TheDubayGroup.com



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REV.	DATE:	COMMENT:	BY:
3	10/5/21	MISC. REVS	SJK
5	11/23/21	MISC. REVS	WA

DRAWN BY: SJK
 CHECKED BY: KRD
 DATE: AUG. 3, 2021
 SCALE: 1" = 80'
 FILE: 475-CUT-FILL
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER
5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

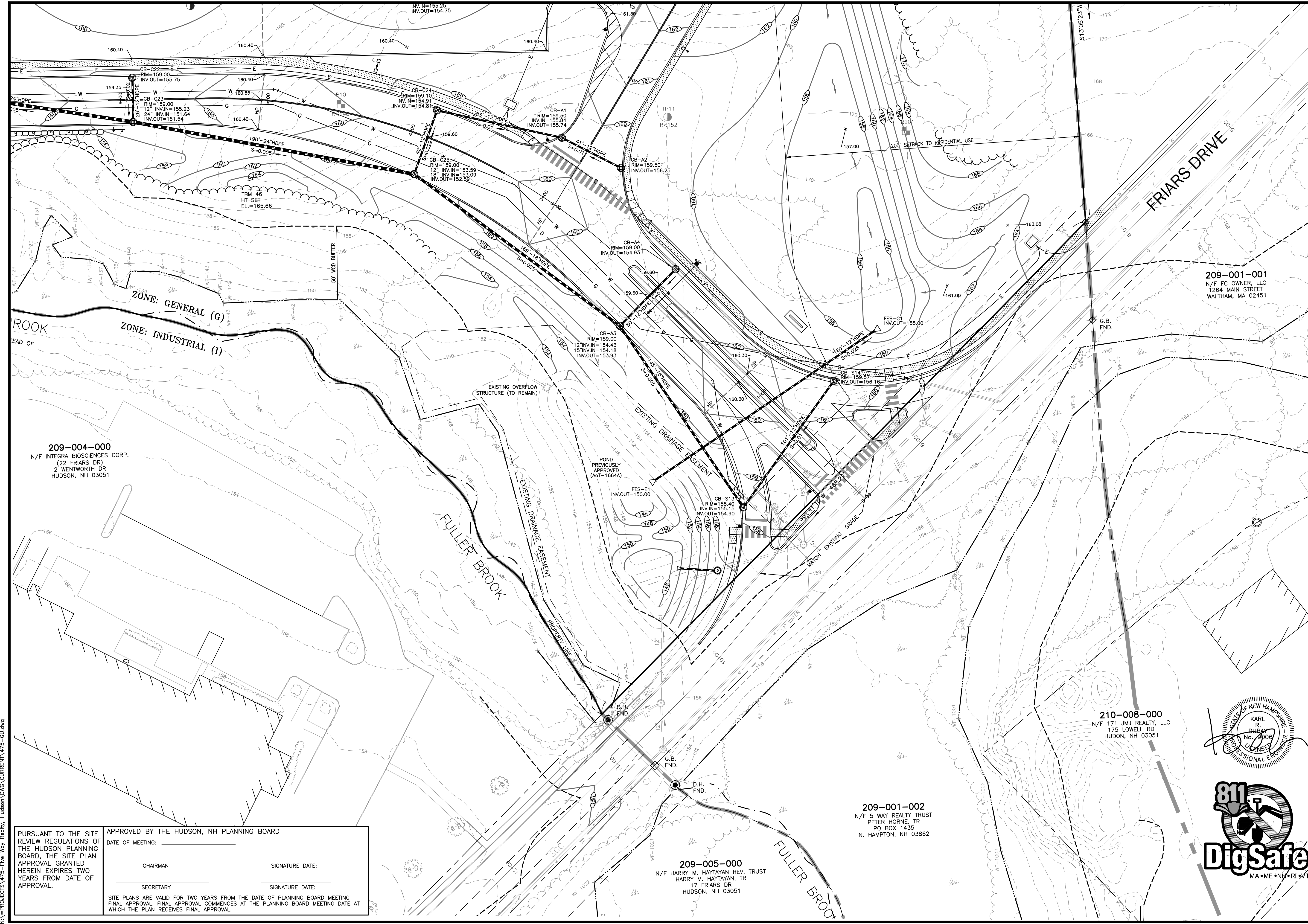
SHEET TITLE:
CUT / FILL
BALANCE
PLAN

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-CUT-FILL.dwg

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

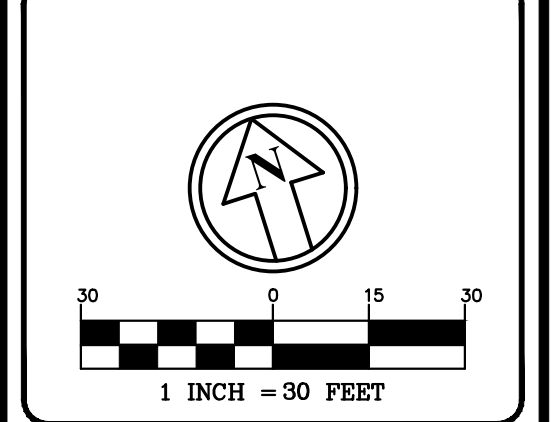
APPROVED BY THE HUDSON, NH PLANNING BOARD
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 CHAIRMAN: _____ SIGNATURE DATE: _____
 SECRETARY: _____ SIGNATURE DATE: _____

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C	B	A

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REV.	DATE:	REVISIONS:	BY:
1	9/20/21	MISC. REVS	WA
3	10/5/21	MISC. REVS	WA

DRAWN BY: WA
 CHECKED BY: KRD
 DATE: AUG. 3, 2021
 SCALE: 1" = 30'
 FILE: 475-GU
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
GRADING & DRAINAGE
PLAN - A

PROJECT #475 SHEET 41 of 80

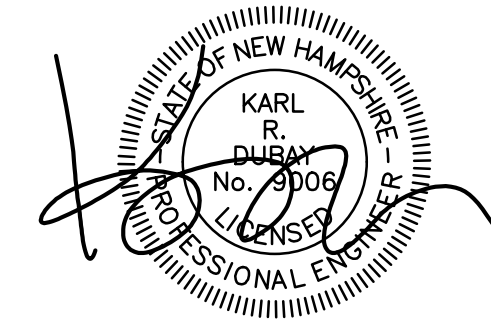
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 SECRETARY _____ SIGNATURE DATE: _____

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209-004-000
 N/F INTEGRA BIOSCIENCES CORP.
 (22 FRIARS DR)
 2 WENTWORTH DR
 HUDSON, NH 03051

CB-A3
 RIM=159.00
 12" INV.IN=154.43
 15" INV.IN=154.18
 INV.OUT=153.93

POND
 PREVIOUSLY
 APPROVED
 (ACT-1664A)

FES-E1
 RIM=159.00
 INV.OUT=150.00

209-005-000
 N/F HARRY M. HAYTAYAN REV. TRUST
 HARRY M. HAYTAYAN, TR
 17 FRIARS DR
 HUDSON, NH 03051

209-001-002
 N/F 5 WAY REALTY TRUST
 PETER HORNE, TR
 PO BOX 1435
 N. HAMPTON, NH 03862

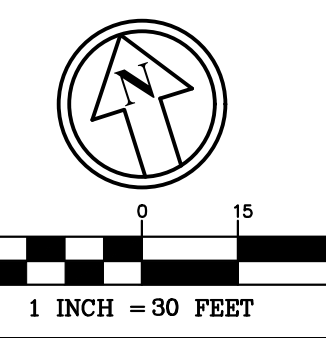
210-008-000
 N/F 171 JMJ REALTY, LLC
 175 LOWELL RD
 HUDSON, NH 03051

209-001-001
 N/F FC OWNER, LLC
 1264 MAIN STREET
 WALTHAM, MA 02451



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 Planners
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D		H
C	B	A

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REV.	DATE	REVISIONS:	BY:
1	9/20/21	MISC. REVS	WA
3	10/5/21	MISC. REVS	WA
5	11/23/21	MISC. REVS	JUG

DRAWN BY: WA
 CHECKED BY: KR
 DATE: AUG. 3, 2021
 SCALE: 1" = 30'
 FILE: 475-GU
 DEED REF: 475-GU

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR

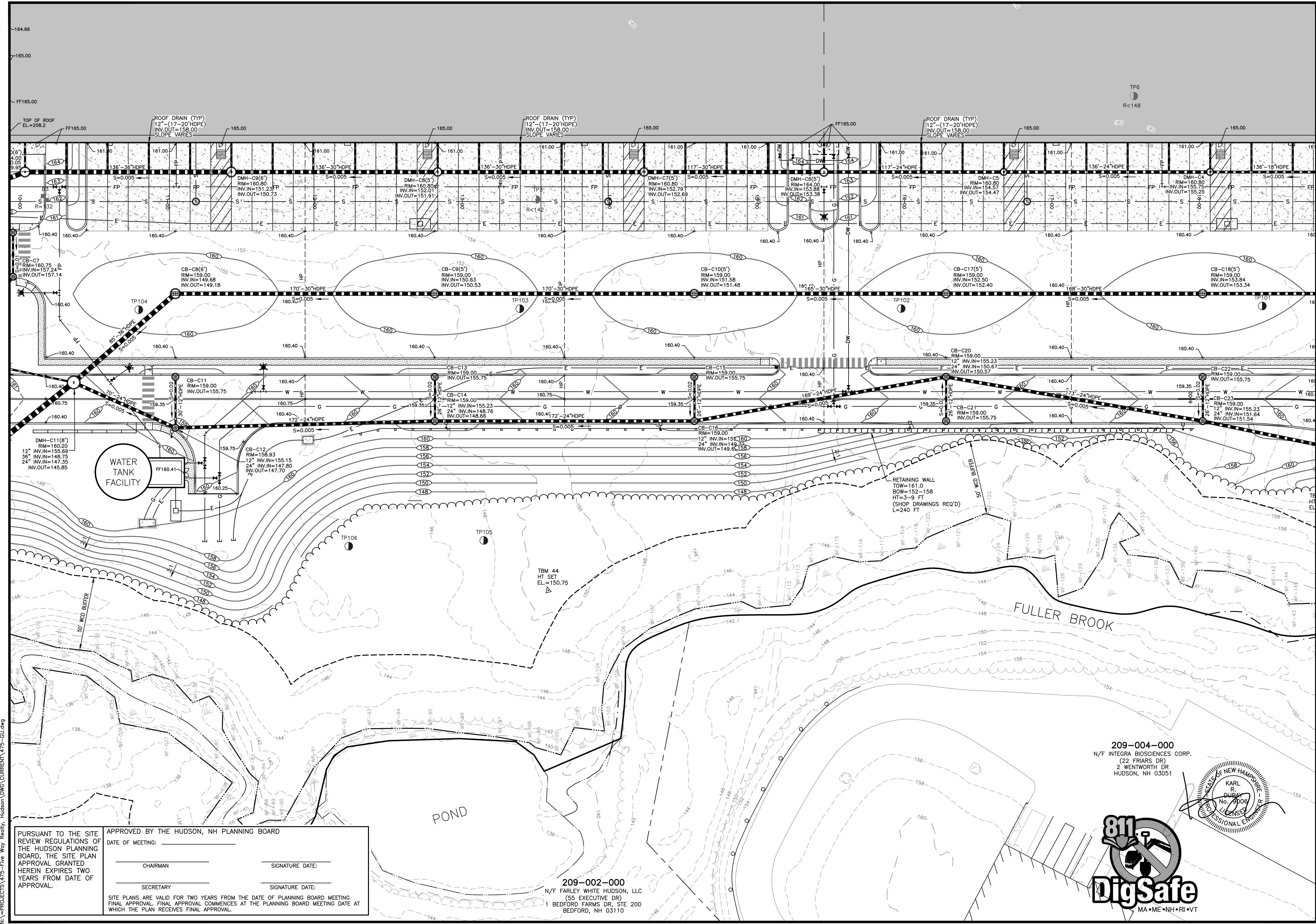


LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
GRADING & DRAINAGE
PLAN - B

PROJECT #475 SHEET 42 of 80



N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-GU.dwg

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

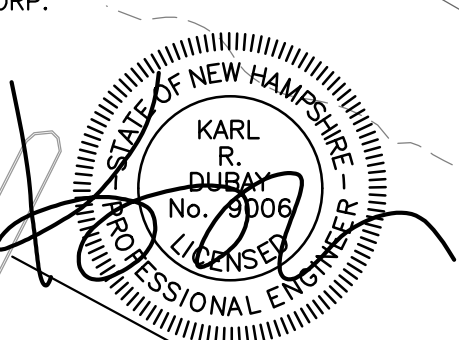
CHAIRMAN: _____ SIGNATURE DATE: _____

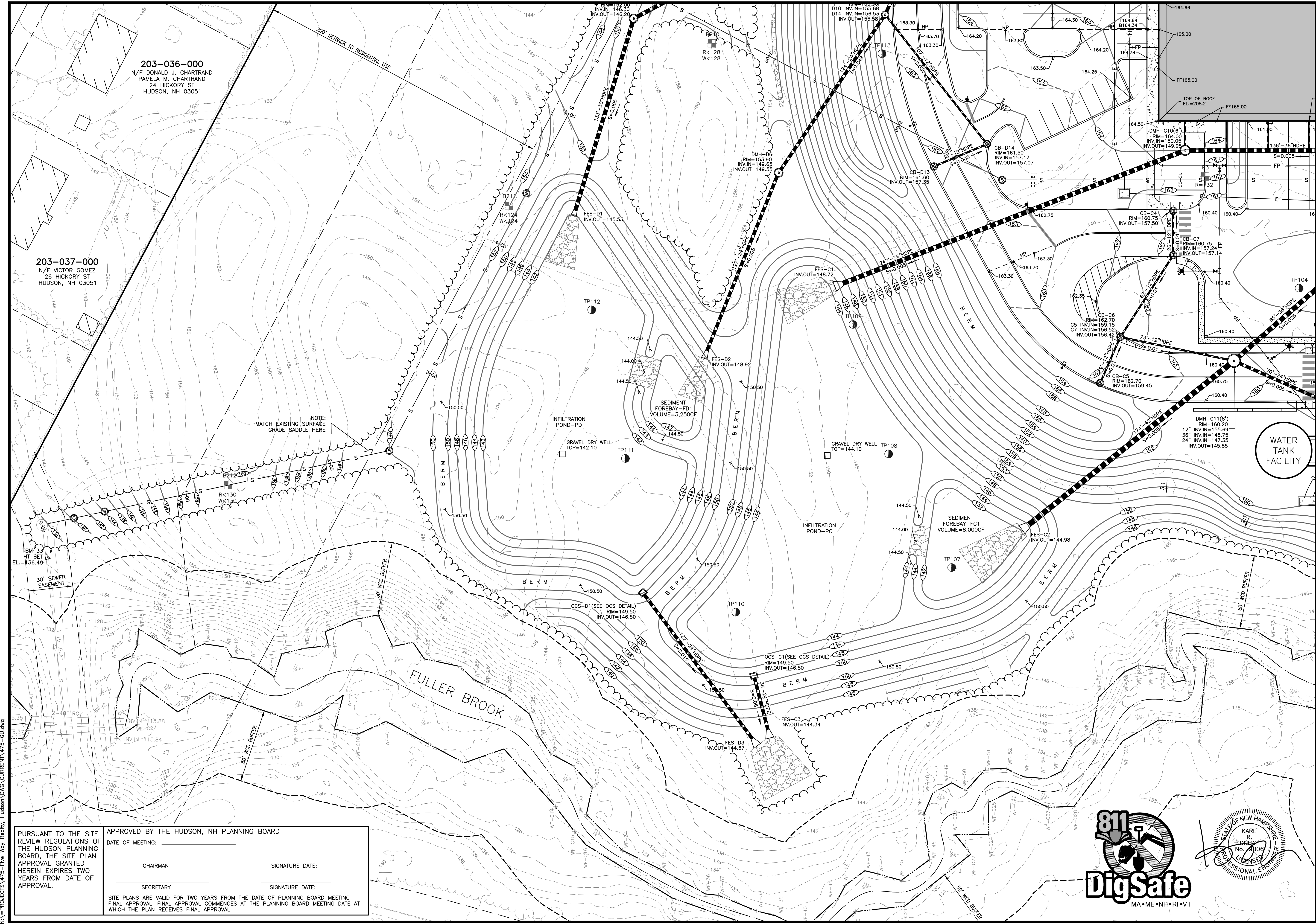
SECRETARY: _____ SIGNATURE DATE: _____

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209-002-000
 N/F FARLEY WHITE HUDSON, LLC
 (55 EXECUTIVE DR)
 1 BEDFORD FARMS DR, STE 200
 BEDFORD, NH 03110

209-004-000
 N/F INTEGRA BIOSCIENCES CORP.
 (22 FRIARS DR)
 2 WENTWORTH DR
 HUDSON, NH 03051





203-036-000
N/F DONALD J. CHARTRAND
PAMELA M. CHARTRAND
24 HICKORY ST
HUDSON, NH 03051

203-037-000
N/F VICTOR GOMEZ
26 HICKORY ST
HUDSON, NH 03051

NOTE:
MATCH EXISTING SURFACE
GRADE SADDLE HERE

30' SEWER EASEMENT

FULLER BROOK

WATER TANK FACILITY

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____

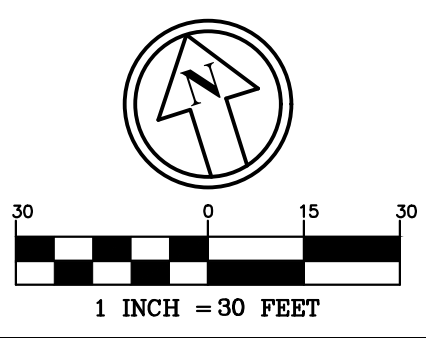
SECRETARY _____ SIGNATURE DATE: _____

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D	H	A

SHEET INDEX

REV.	DATE	REVISIONS:	BY:
1	9/20/21	MISC. REVS	WA
3	10/5/21	MISC. REVS	WA
5	11/23/21	MISC. REVS	JUG

DRAWN BY: WA
CHECKED BY: KRD
DATE: AUG. 3, 2021
SCALE: 1" = 30'
FILE: 475-GU

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH



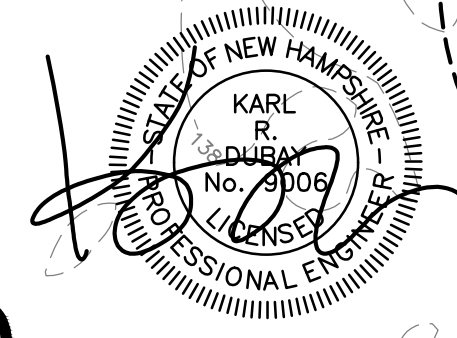
LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110

OWNER
5 WAY REALTY TRUST
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

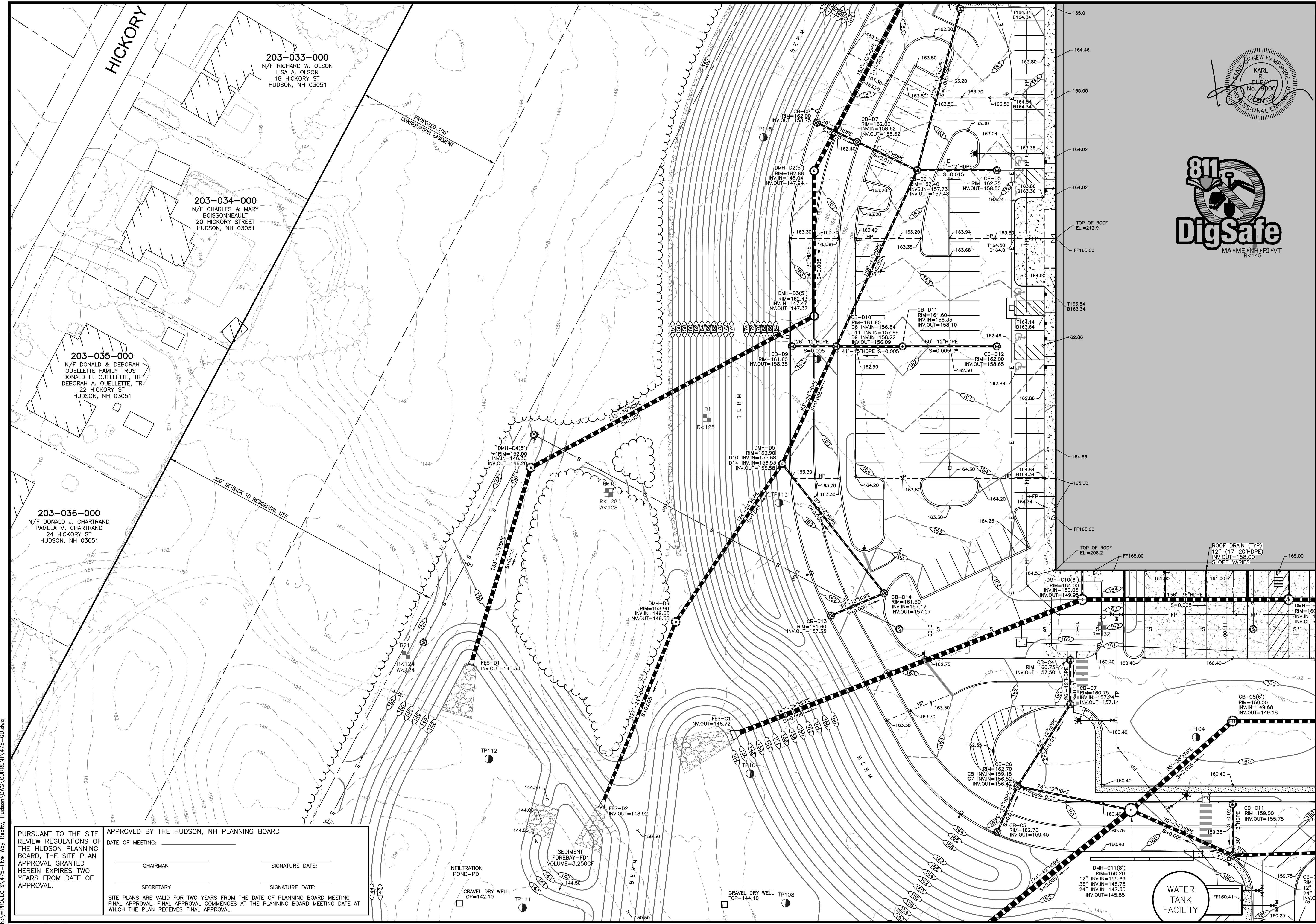
SHEET TITLE:

GRADING & DRAINAGE PLAN - C

PROJECT #475 SHEET 43 of 80

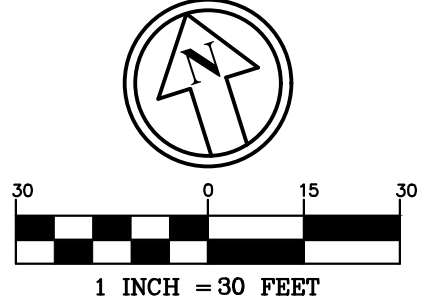


N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-GU.dwg



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1	9/20/21	MISC. REVS	WA
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DRAWN BY: WA
 CHECKED BY: KRD
 DATE: AUG. 3, 2021
 SCALE: 1" = 30'
 DEED REF: 475-GU

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

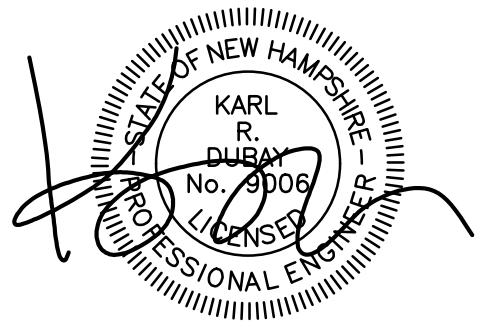
SHEET TITLE:
GRADING & DRAINAGE
PLAN - D

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-GU.dwg

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

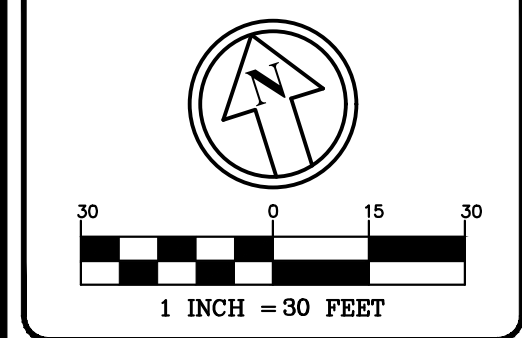
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 CHAIRMAN _____ SIGNATURE DATE: _____
 SECRETARY _____ SIGNATURE DATE: _____

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D		H
C	B	A

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REV.	DATE	COMMENT	BY
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DATE: AUG. 3, 2021
SCALE: 1" = 30'
FILE: 475-GU
DEED REF:

PROJECT:
SITE PLAN
FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH



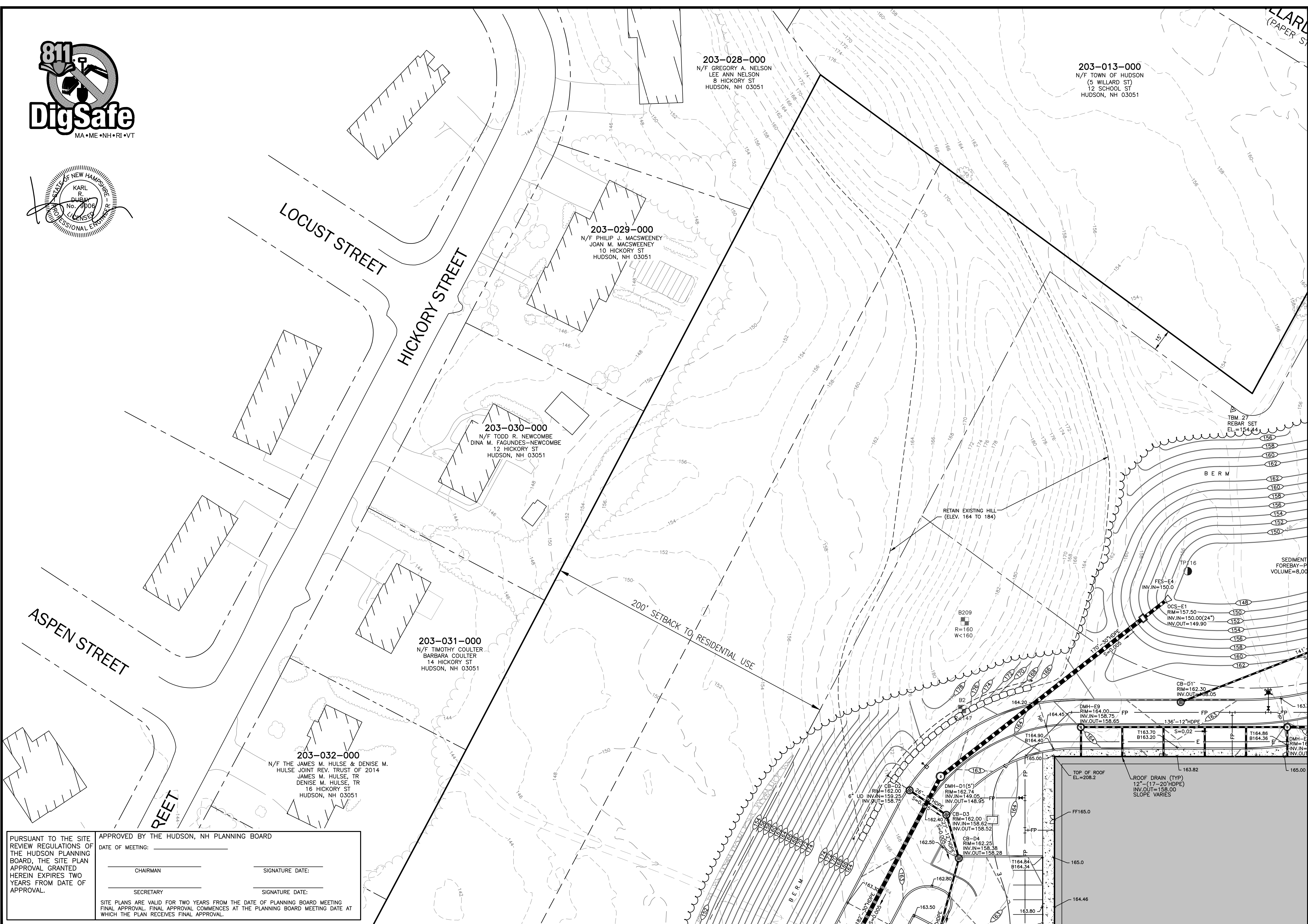
LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110
OWNER

5 WAY REALTY TRUST
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE:
GRADING & DRAINAGE PLAN - E

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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

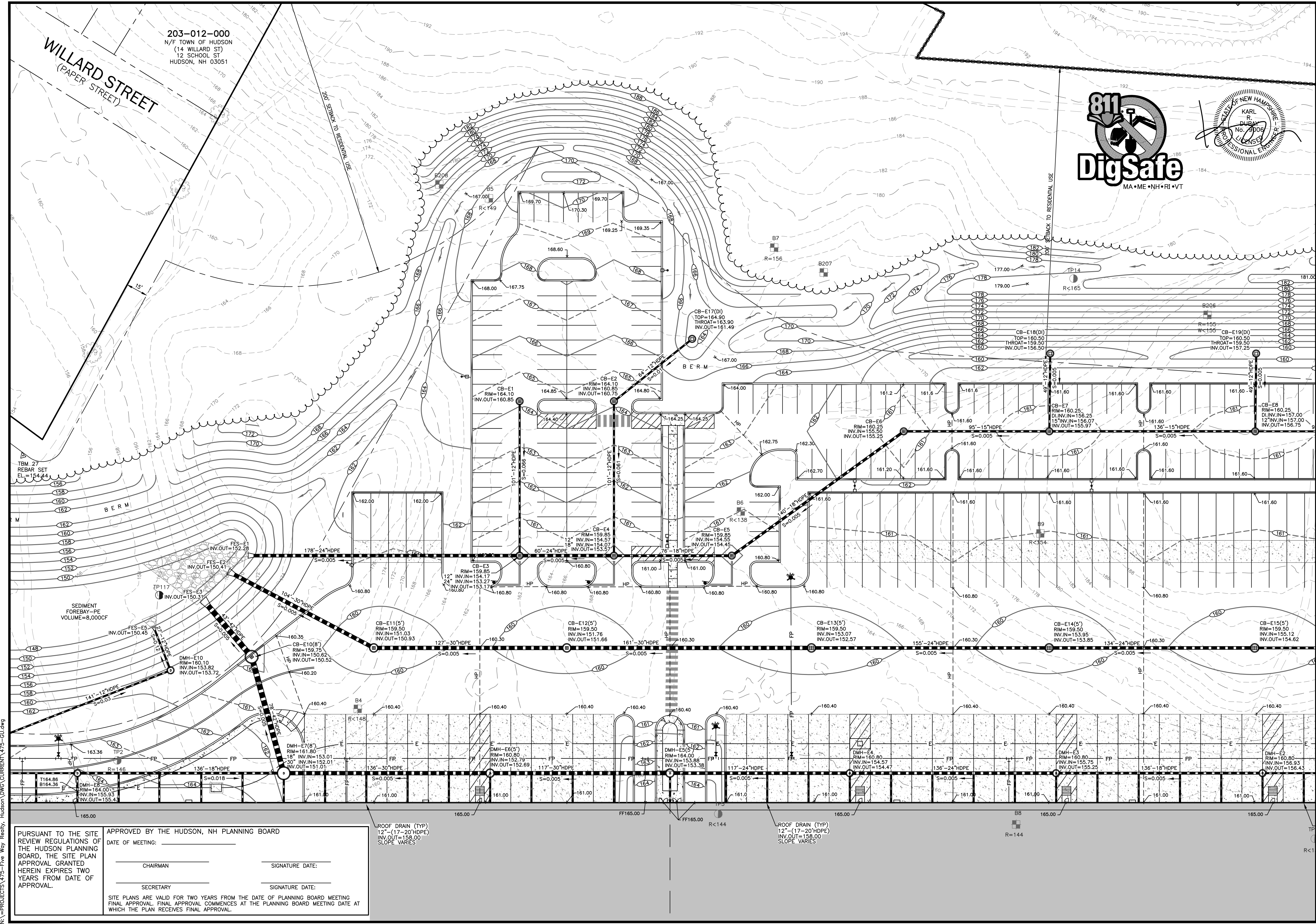
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

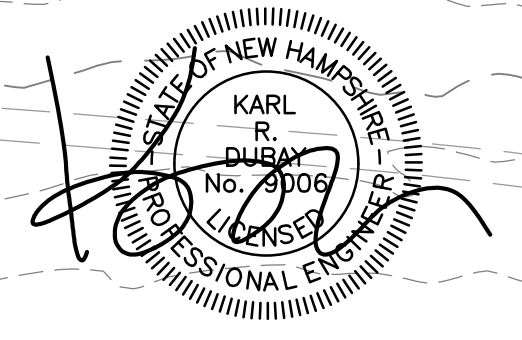
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SECRETARY: _____ SIGNATURE DATE: _____

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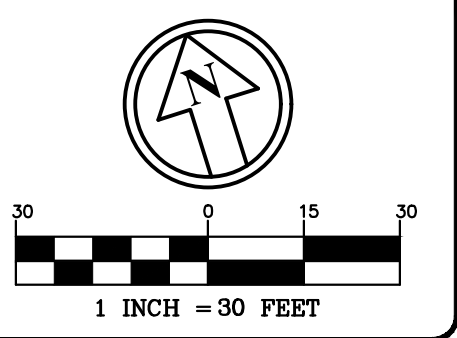
203-012-000
N/F TOWN OF HUDSON
(14 WILLARD ST)
12 SCHOOL ST
HUDSON, NH 03051



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REV.	DATE	REVISIONS COMMENT	BY:
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3	10/5/21	MISC. REVS	WA
5	11/23/21	MISC. REVS	JUG

DRAWN BY: WA
CHECKED BY: KRD
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SCALE: 1" = 30'
FILE: 475-GU
DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH
PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110
OWNER

5 WAY REALTY TRUST
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE:
GRADING & DRAINAGE
PLAN - F

PROJECT #475 SHEET 46 of 80

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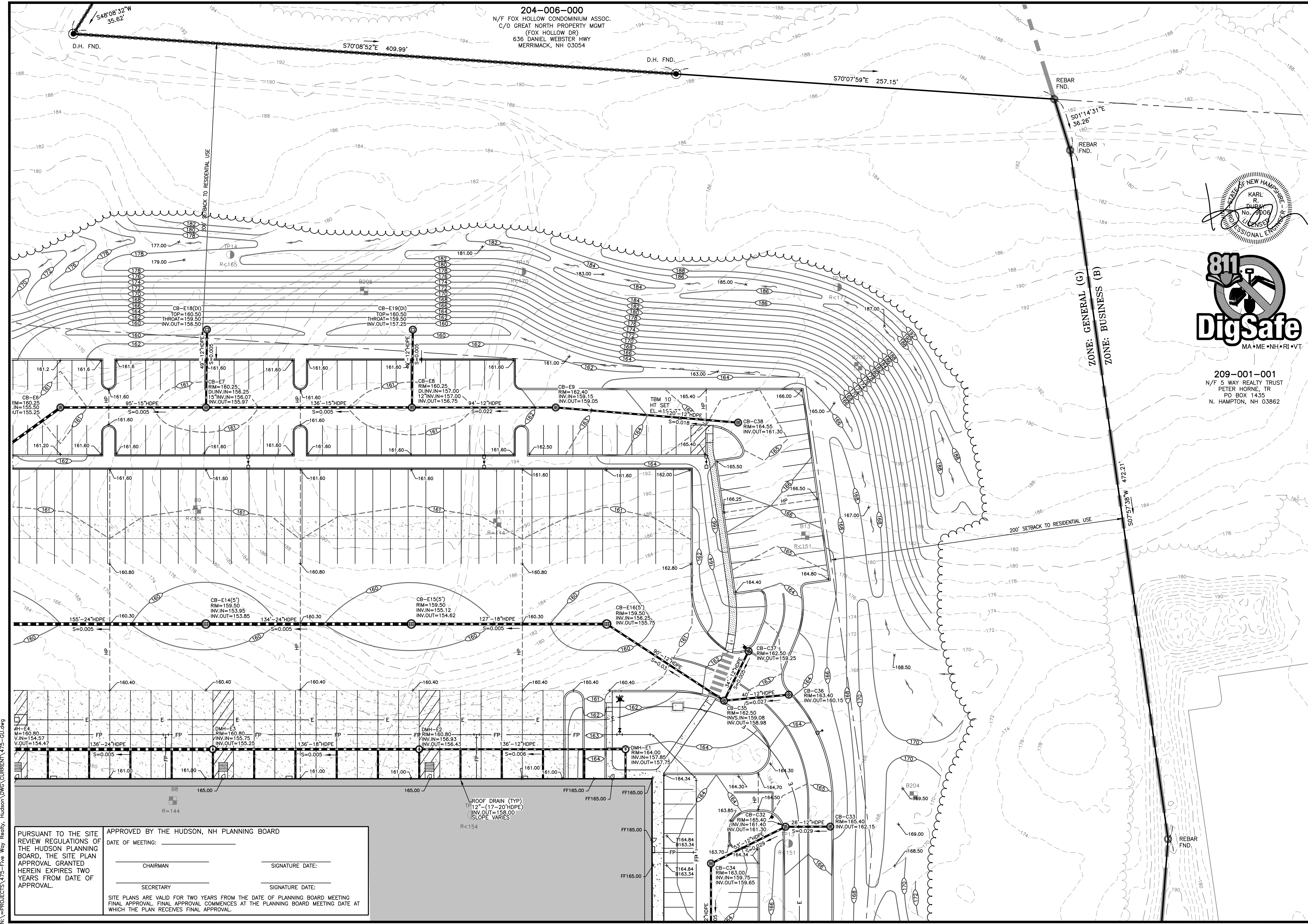
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SECRETARY _____ SIGNATURE DATE: _____

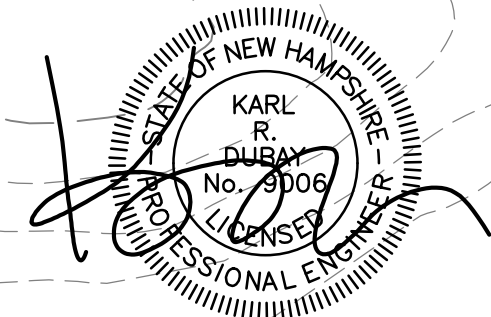
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ROOF DRAIN (TYP)
12"-(17'-20')HDPE
INV.OUT=158.00
SLOPE VARIES

ROOF DRAIN (TYP)
12"-(17'-20')HDPE
INV.OUT=158.00
SLOPE VARIES



204-006-000
 N/F FOX HOLLOW CONDOMINIUM ASSOC.
 C/O GREAT NORTH PROPERTY MGMT
 (FOX HOLLOW DR)
 636 DANIEL WEBSTER HWY
 MERRIMACK, NH 03054

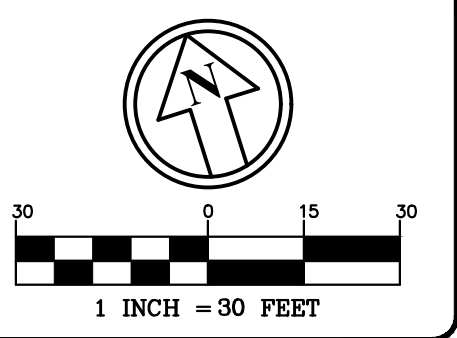


209-001-001
 N/F 5 WAY REALTY TRUST
 PETER HORNE, TR
 PO BOX 1435
 N. HAMPTON, NH 03862



The Dubay Group, Inc.
 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462

Engineers
 Planners
 Surveyors
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 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



LOWELL ROAD
 PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
GRADING & DRAINAGE PLAN - G

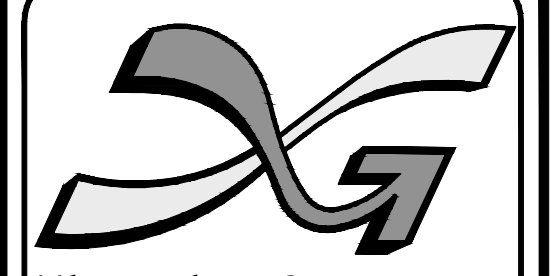
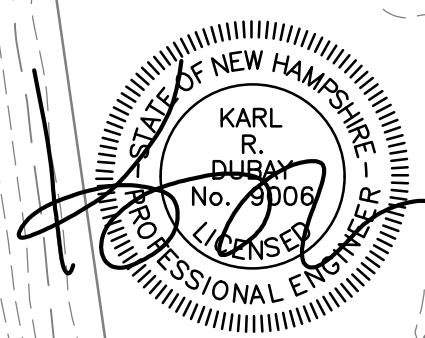
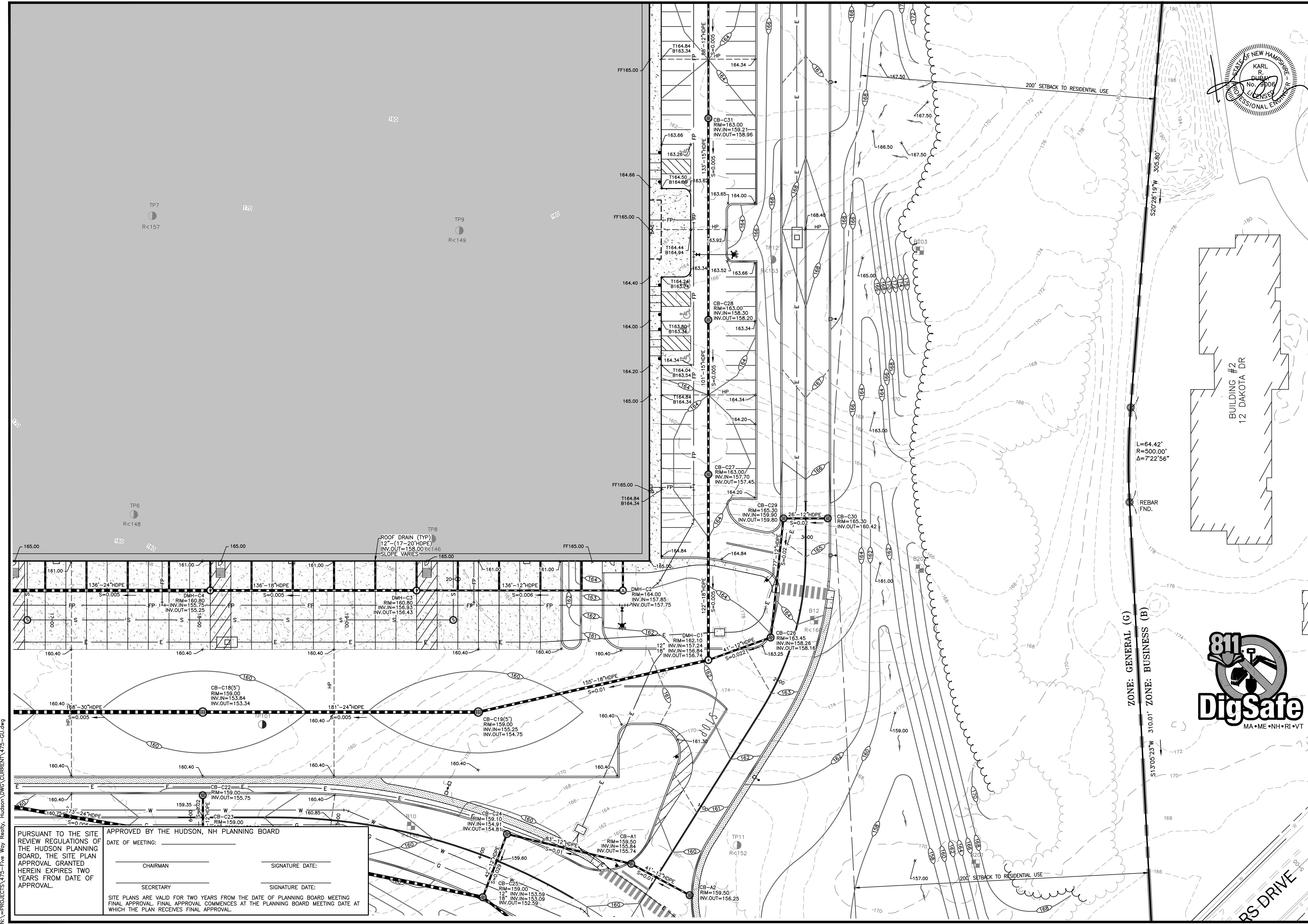
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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

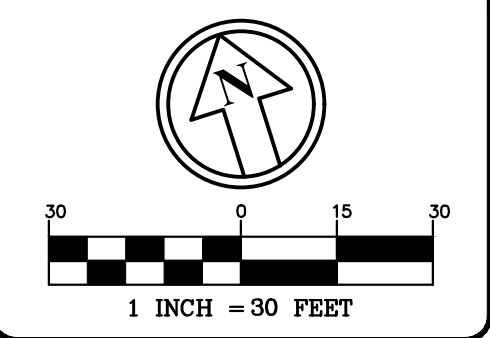
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DRAWN BY: WA
 CHECKED BY: KRD
 DATE: AUG. 3, 2021
 SCALE: 1" = 30'
 FILE: 475-GU
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
GRADING & DRAINAGE PLAN - H

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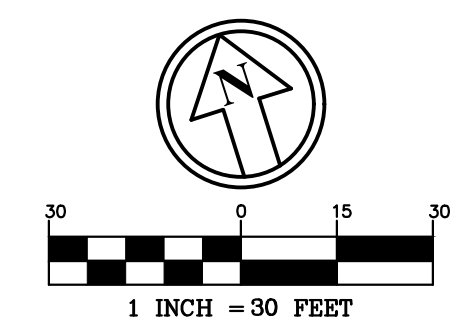
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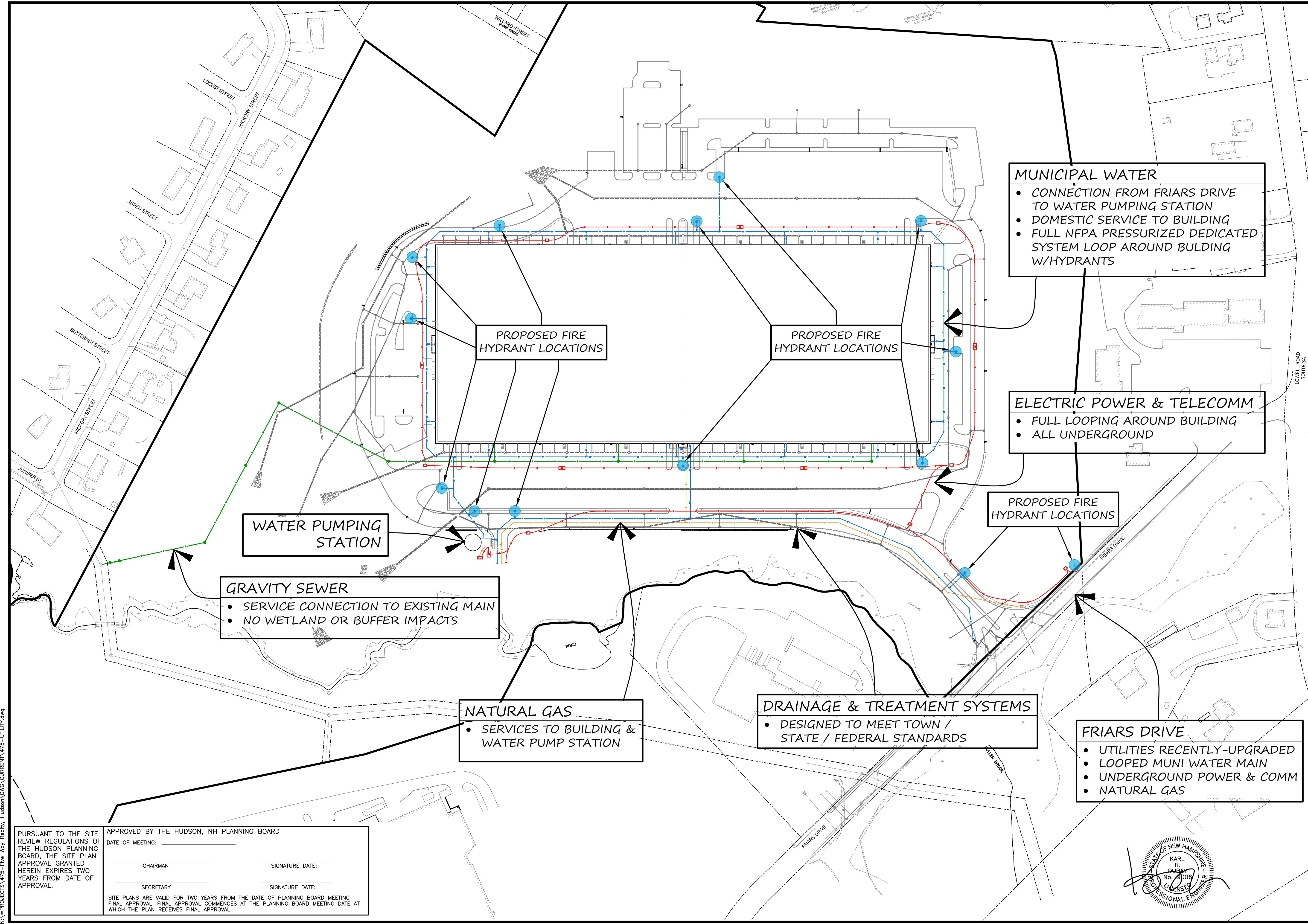
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 BOSTON, MA 02110
 OWNER
 5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
UTILITY OVERVIEW PLAN



MUNICIPAL WATER

- CONNECTION FROM FRIARS DRIVE TO WATER PUMPING STATION
- DOMESTIC SERVICE TO BUILDING
- FULL NFPA PRESSURIZED DEDICATED SYSTEM LOOP AROUND BUILDING W/HYDRANTS

ELECTRIC POWER & TELECOMM

- FULL LOOPING AROUND BUILDING
- ALL UNDERGROUND

WATER PUMPING STATION

GRAVITY SEWER

- SERVICE CONNECTION TO EXISTING MAIN
- NO WETLAND OR BUFFER IMPACTS

NATURAL GAS

- SERVICES TO BUILDING & WATER PUMP STATION

DRAINAGE & TREATMENT SYSTEMS

- DESIGNED TO MEET TOWN / STATE / FEDERAL STANDARDS

FRIARS DRIVE

- UTILITIES RECENTLY-UPGRADED
- LOOPED MUNI WATER MAIN
- UNDERGROUND POWER & COMM
- NATURAL GAS

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

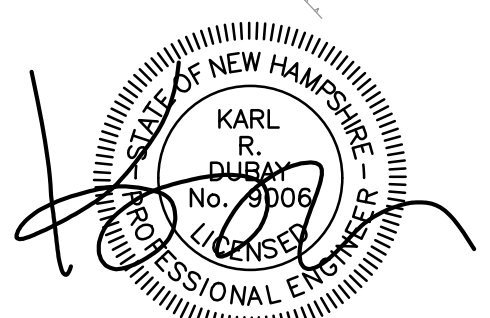
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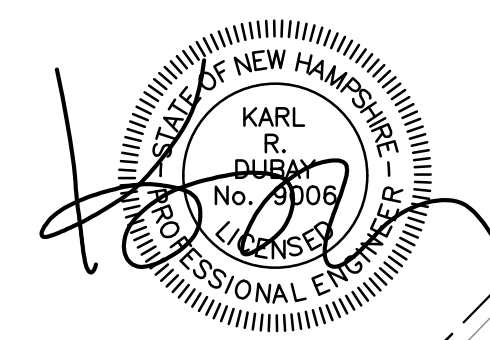
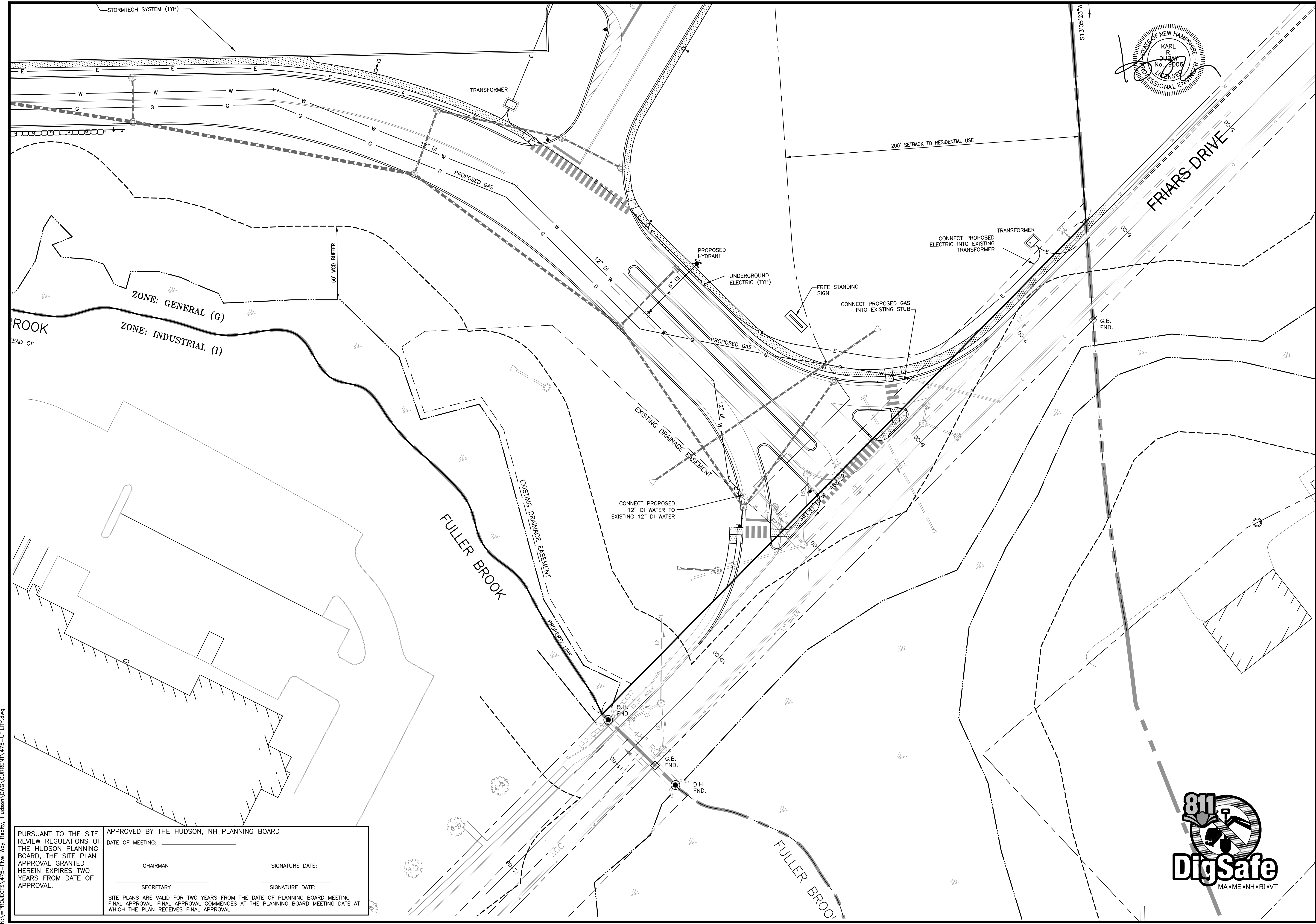
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 N. HAMPTON, NH 03862

SHEET TITLE:
UTILITY PLAN - A

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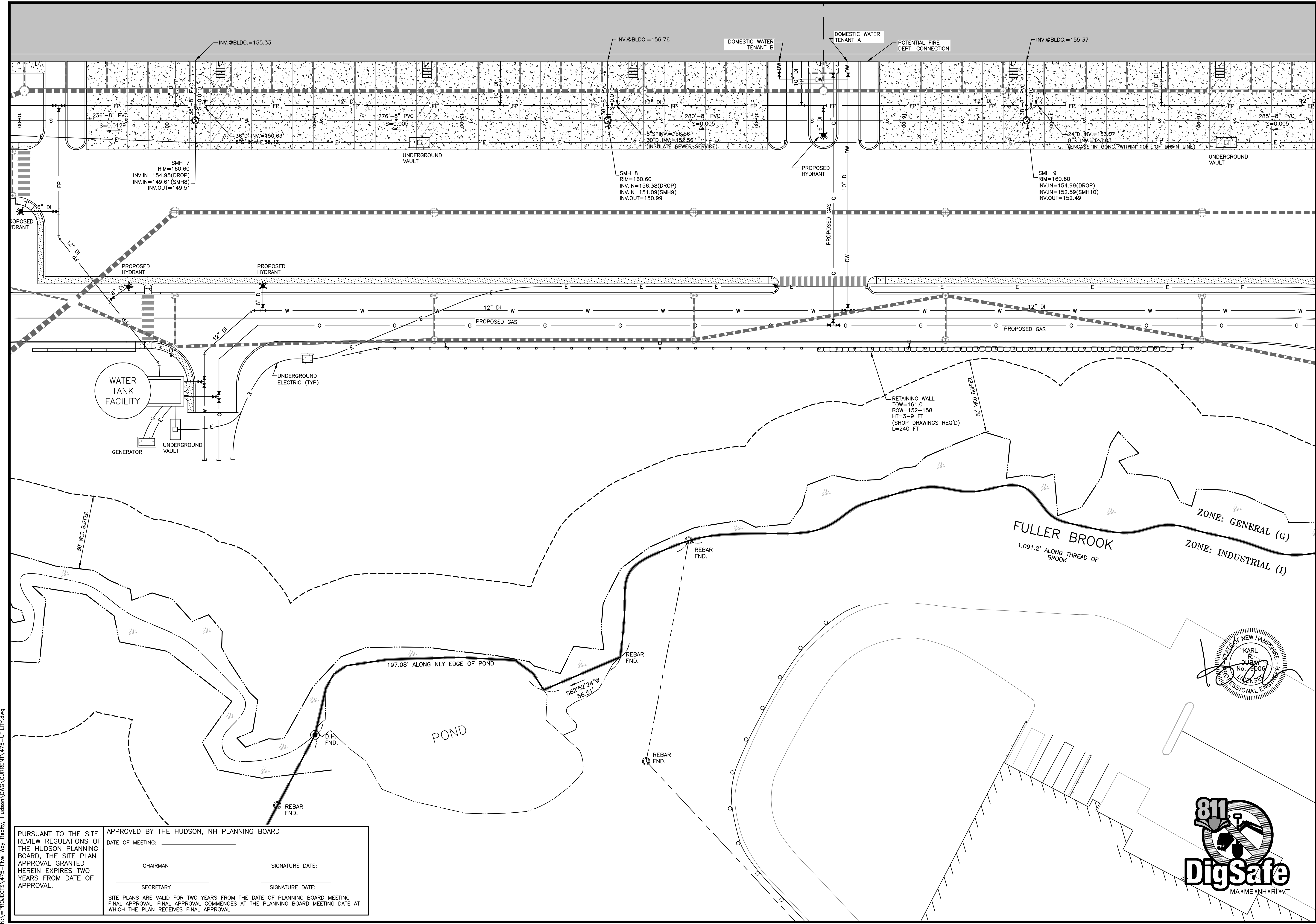
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LOWELL ROAD
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 BOSTON, MA 02110
 OWNER

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SHEET TITLE:
UTILITY PLAN - B

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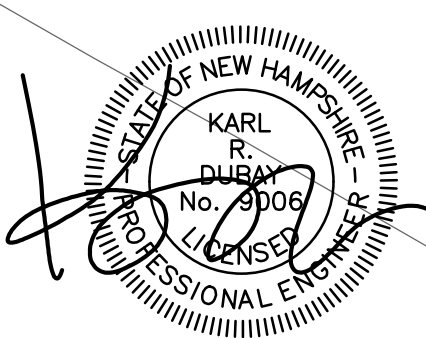
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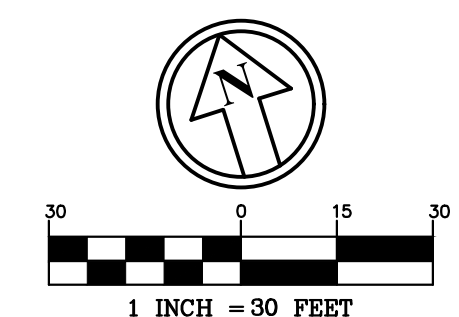
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FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR

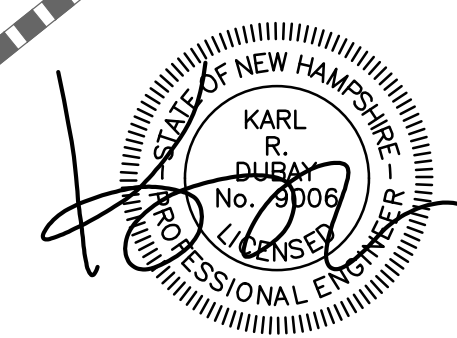
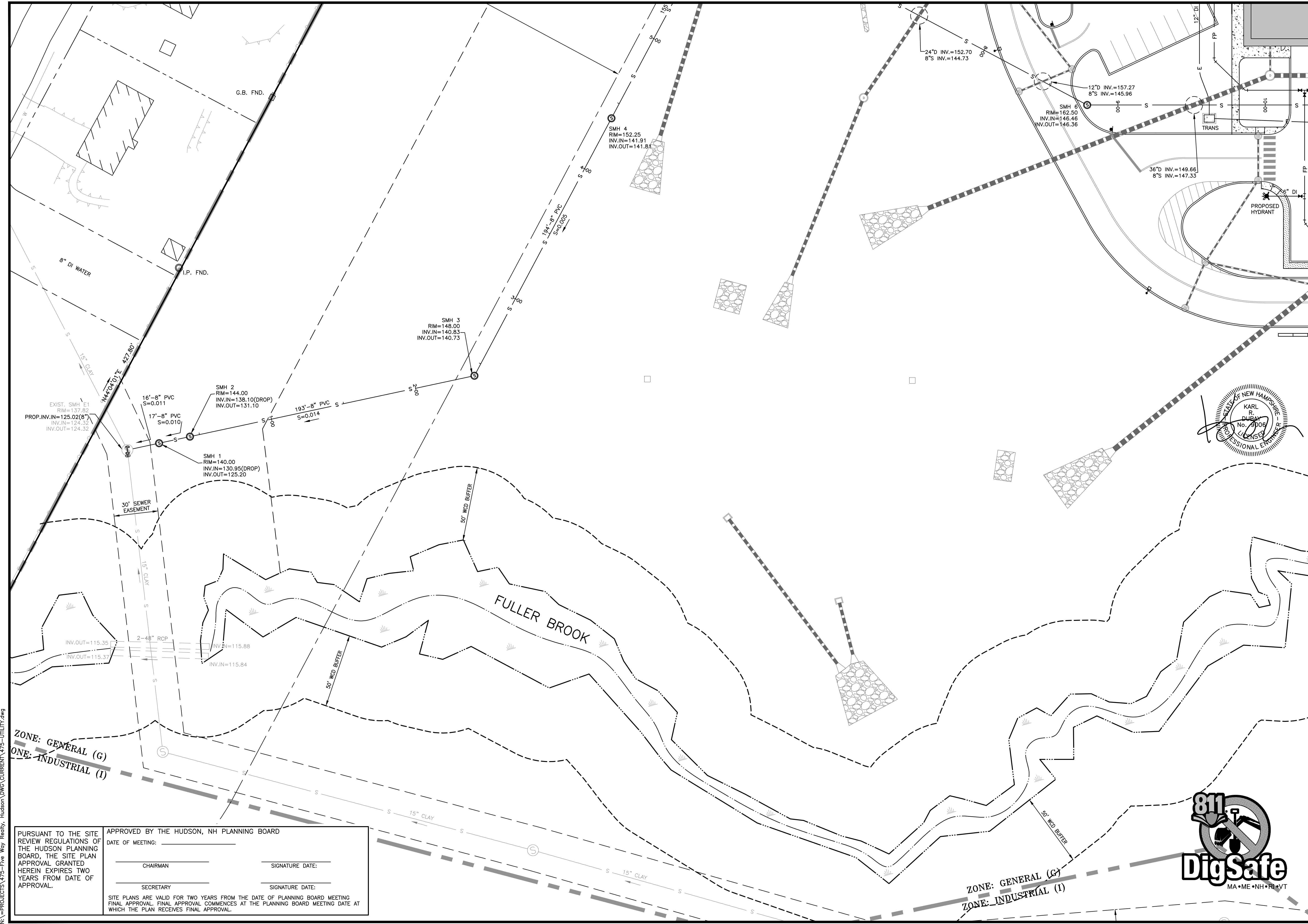


LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER
5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:

UTILITY PLAN - C

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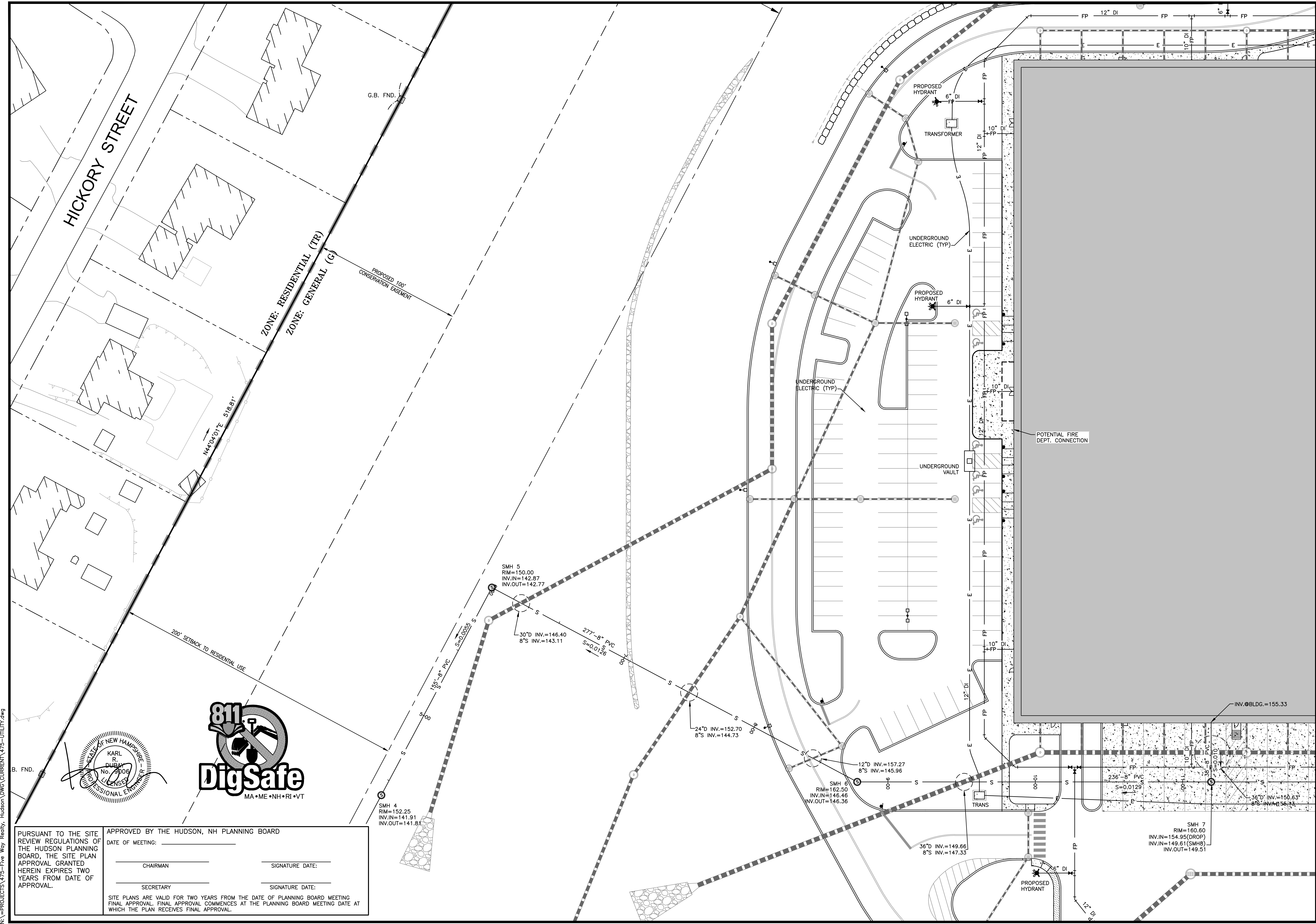


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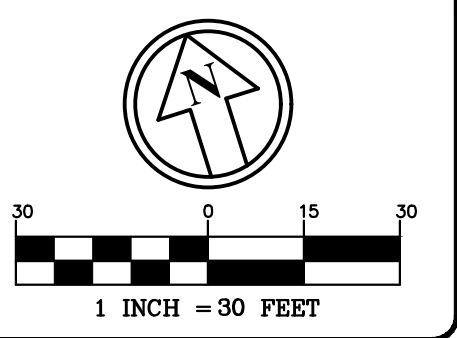
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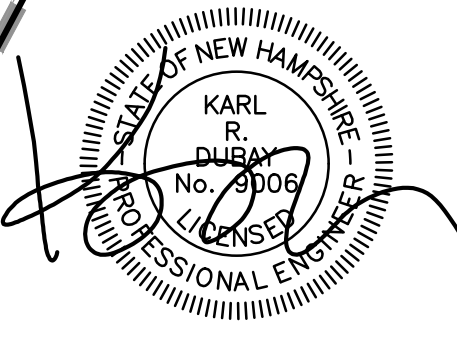
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FRIARS DRIVE
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GFI PARTNERS
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 PETER HORNE, TRUSTEE
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 N. HAMPTON, NH 03862

SHEET TITLE:
UTILITY PLAN - D
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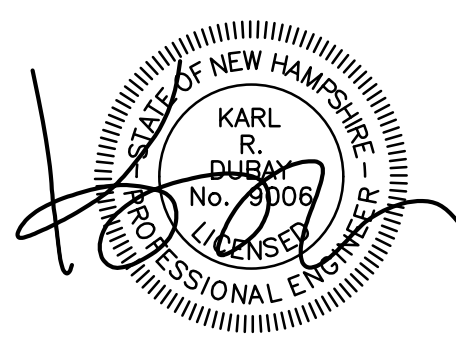
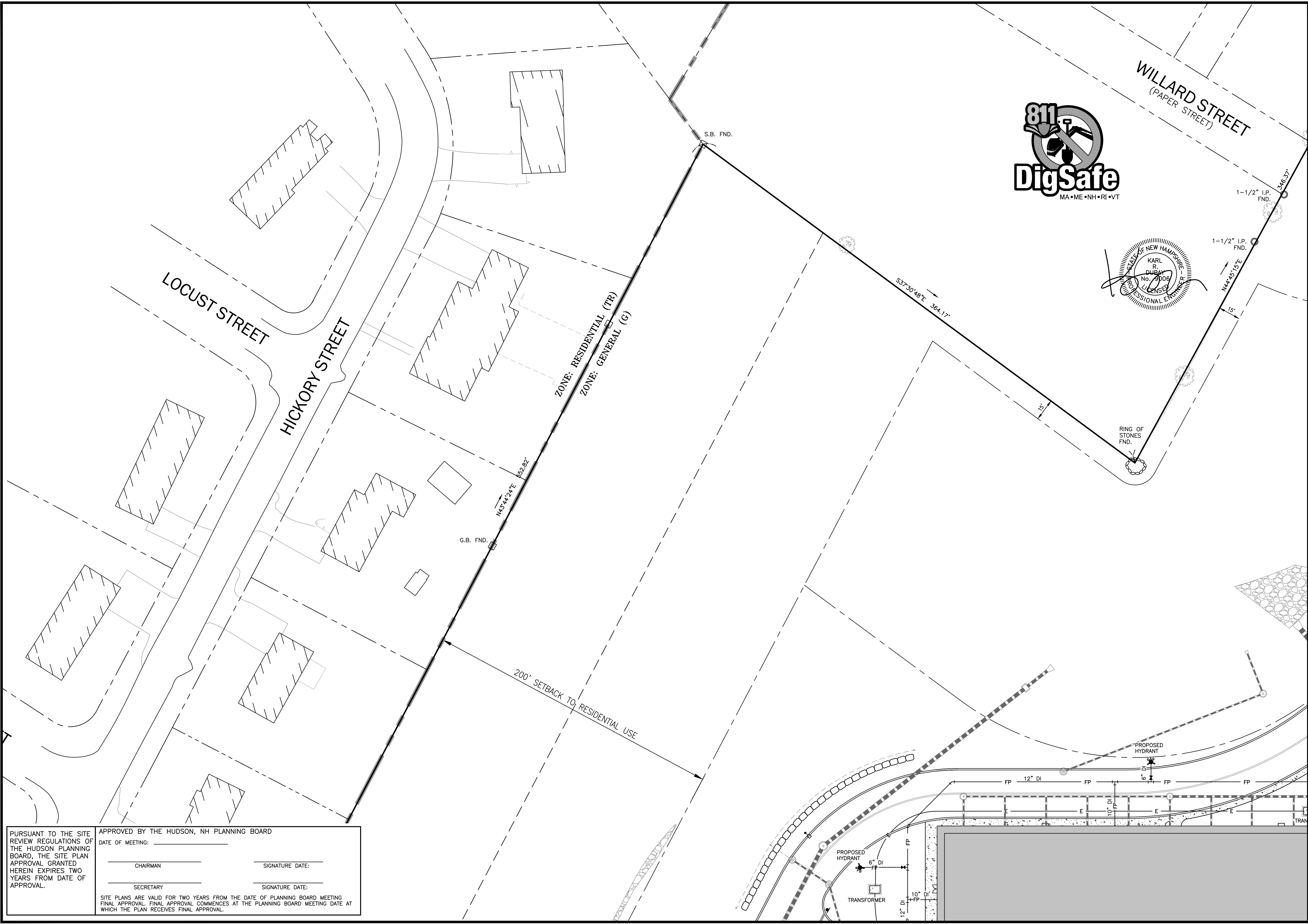
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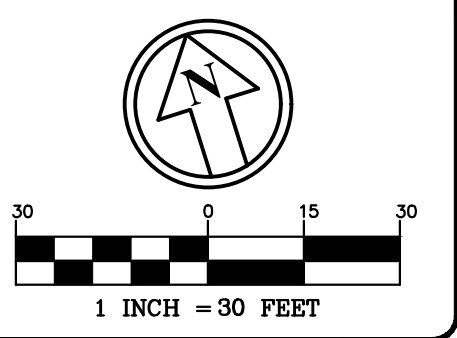
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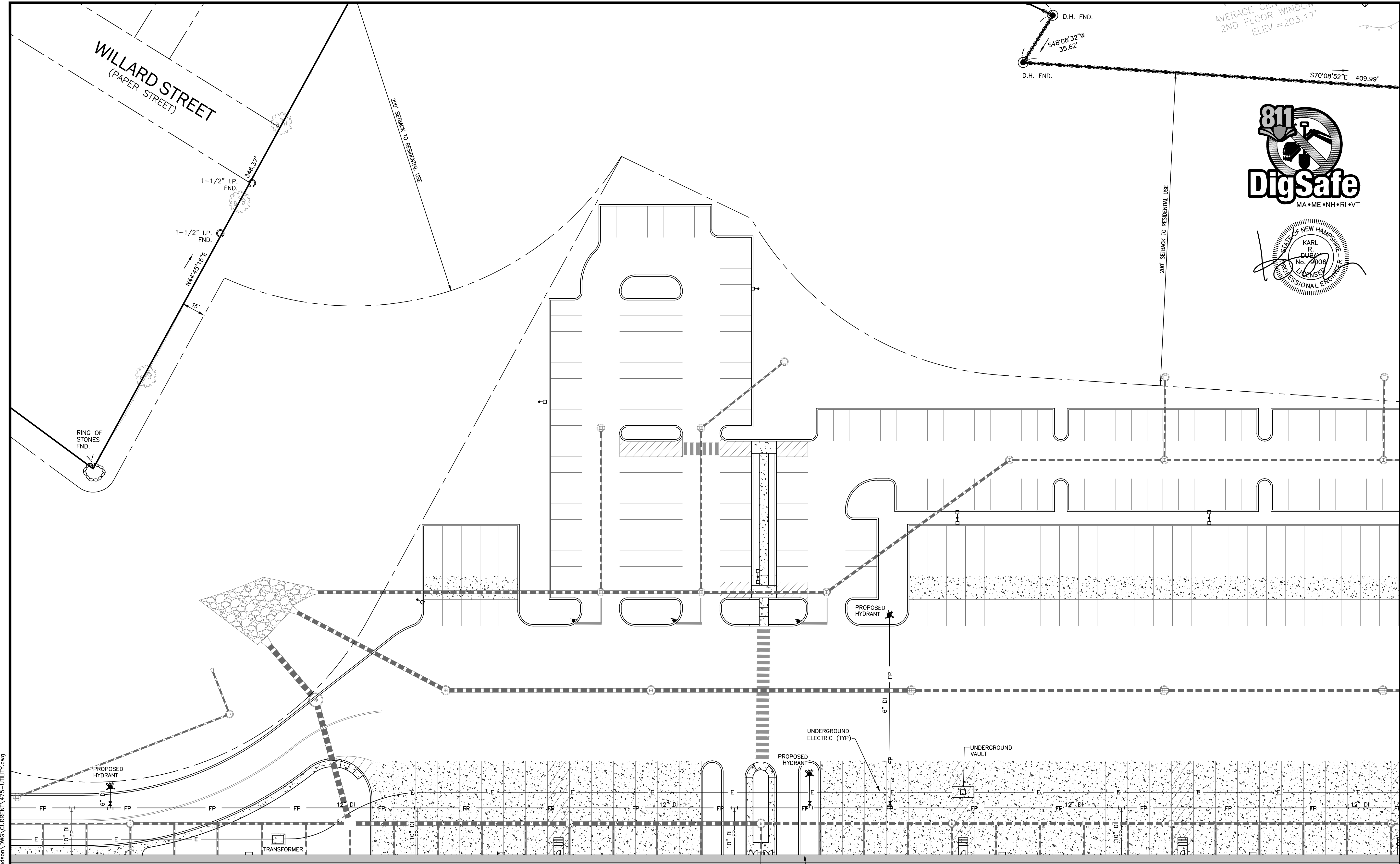
SHEET TITLE:
UTILITY PLAN - E

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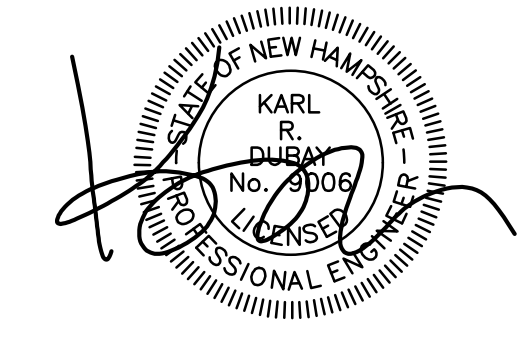
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D.H. FND.
 548°08'32"W
 35.62'
 D.H. FND.
 S70°08'52"E
 409.99'

AVERAGE CENTER
 2ND FLOOR WINDOW
 ELEV.=203.17'



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SHEET TITLE:
UTILITY PLAN - F

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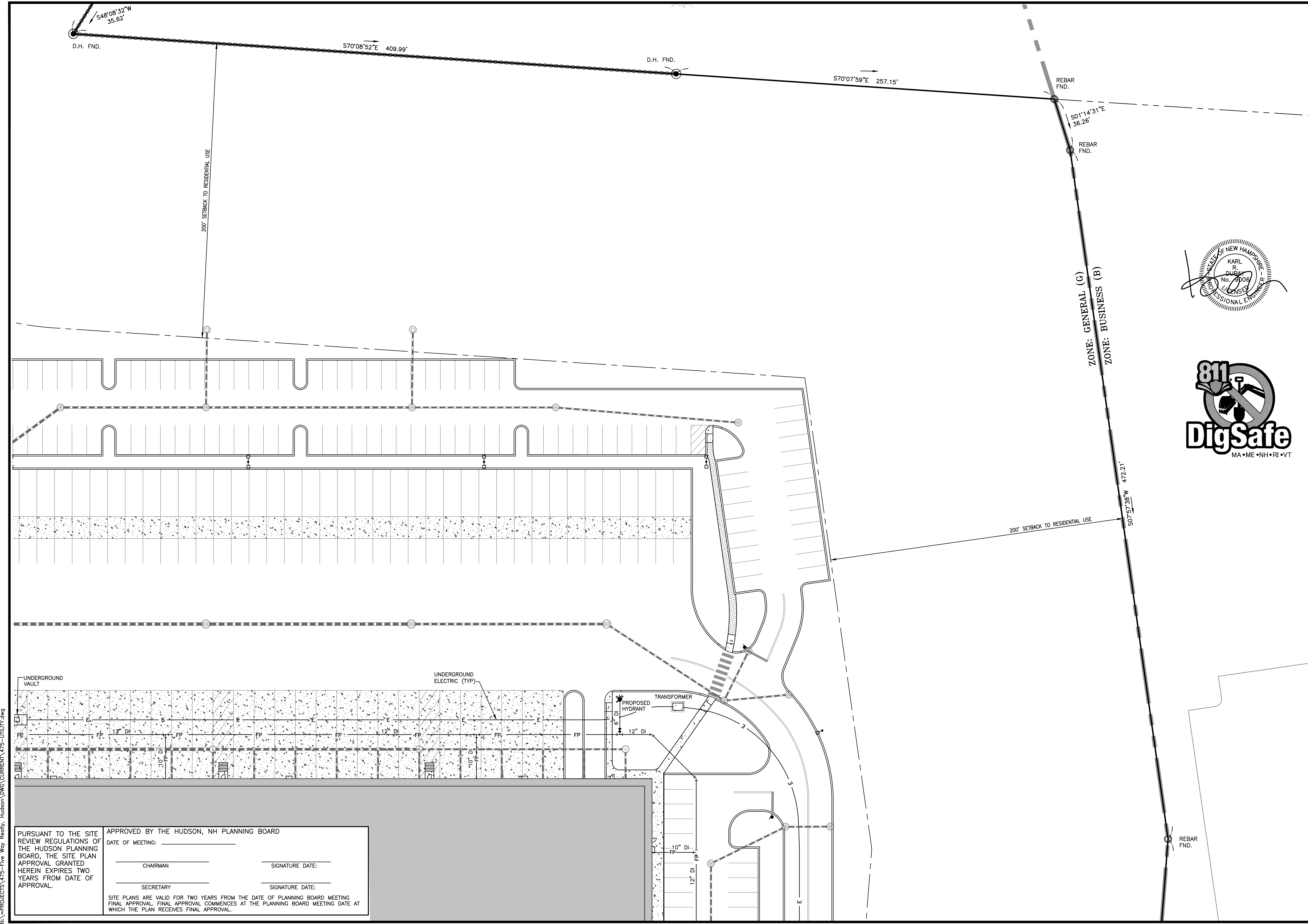
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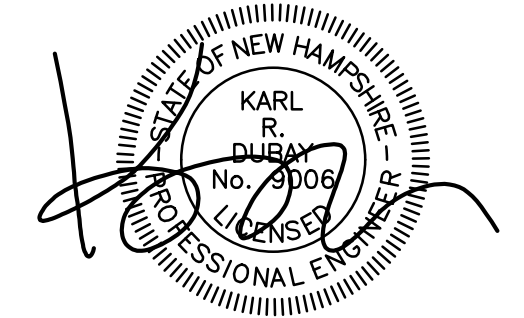
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SHEET TITLE:

UTILITY PLAN - G

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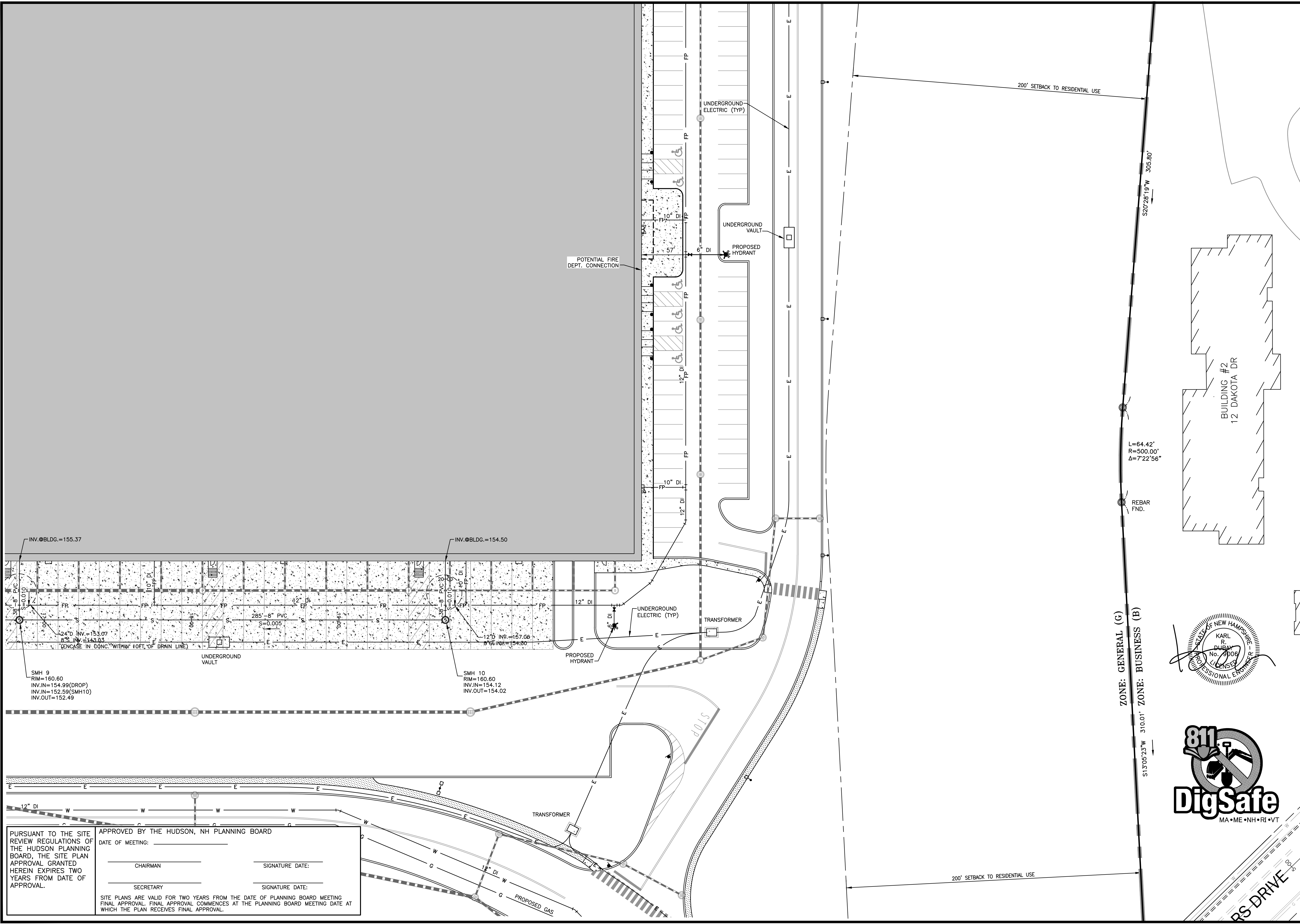
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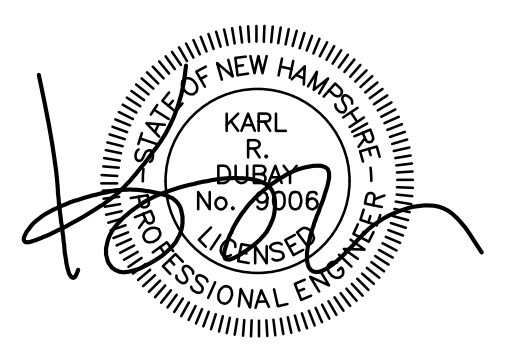
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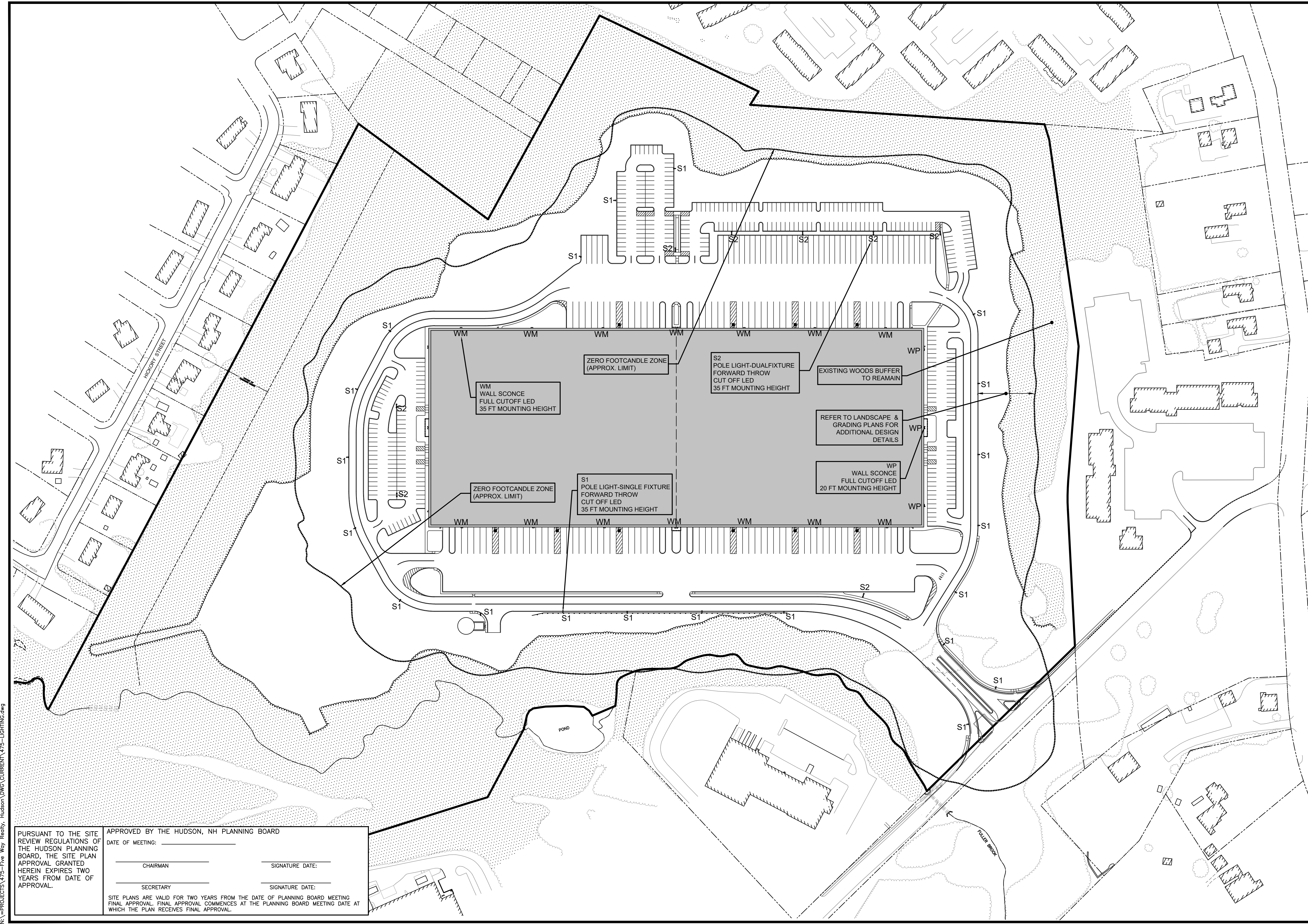
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____

SECRETARY _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



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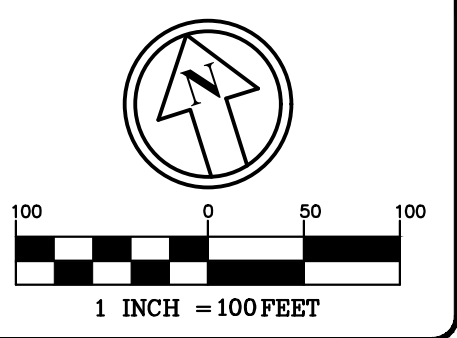
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 603-458-6462

Engineers
 Planners
 Surveyors
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PHILIP J. INFURNA
 LIGHTING CONSULTANT
 EMAIL: pinfurna@gmail.com

3	4
2	1

SHEET INDEX

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REV.	DATE:	COMMENT:	BY:
5	11/23/21	MISC. REVS	WA

DRAWN BY: WA
 CHECKED BY: KRD
 DATE: AUG. 3, 2021
 SCALE: 1" = 50'
 FILE: 475-LIGHTING
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR _____



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
LIGHTING OVERVIEW PLAN



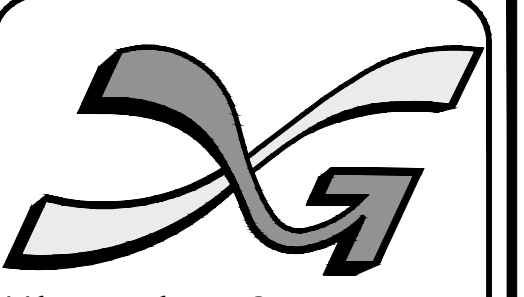
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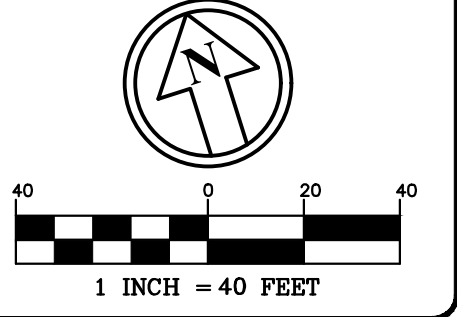
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 LIGHTING CONSULTANT
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3	4
2	1

SHEET INDEX

REVISIONS:			
REV.	DATE	COMMENT	BY

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PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR _____

GFI PARTNERS

LOWELL ROAD
 PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

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 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
LIGHTING PLAN - A



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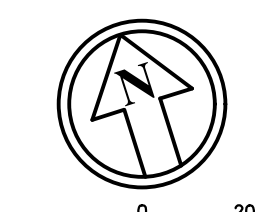
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers

Planners

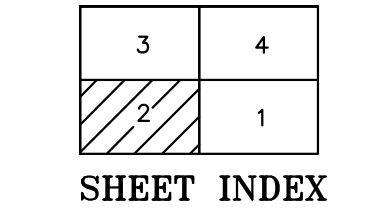
Surveyors

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LIGHTING CONSULTANT
EMAIL: pinfurna@gmail.com



SHEET INDEX

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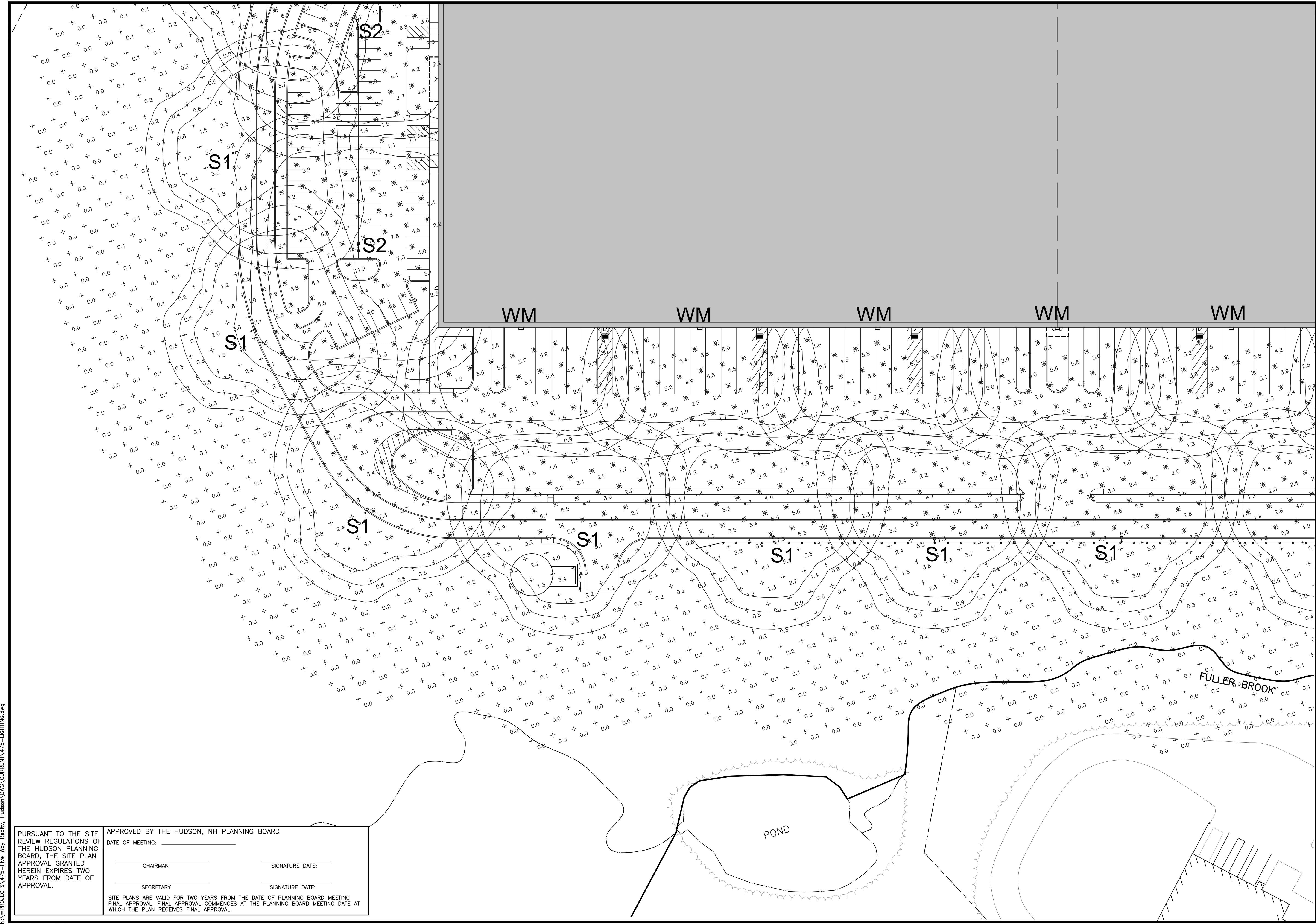


LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

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SHEET TITLE:
LIGHTING PLAN - B

PROJECT #475 SHEET 60 of 80



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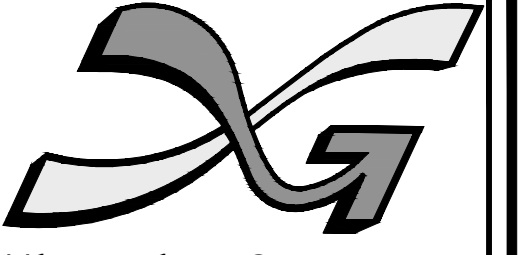
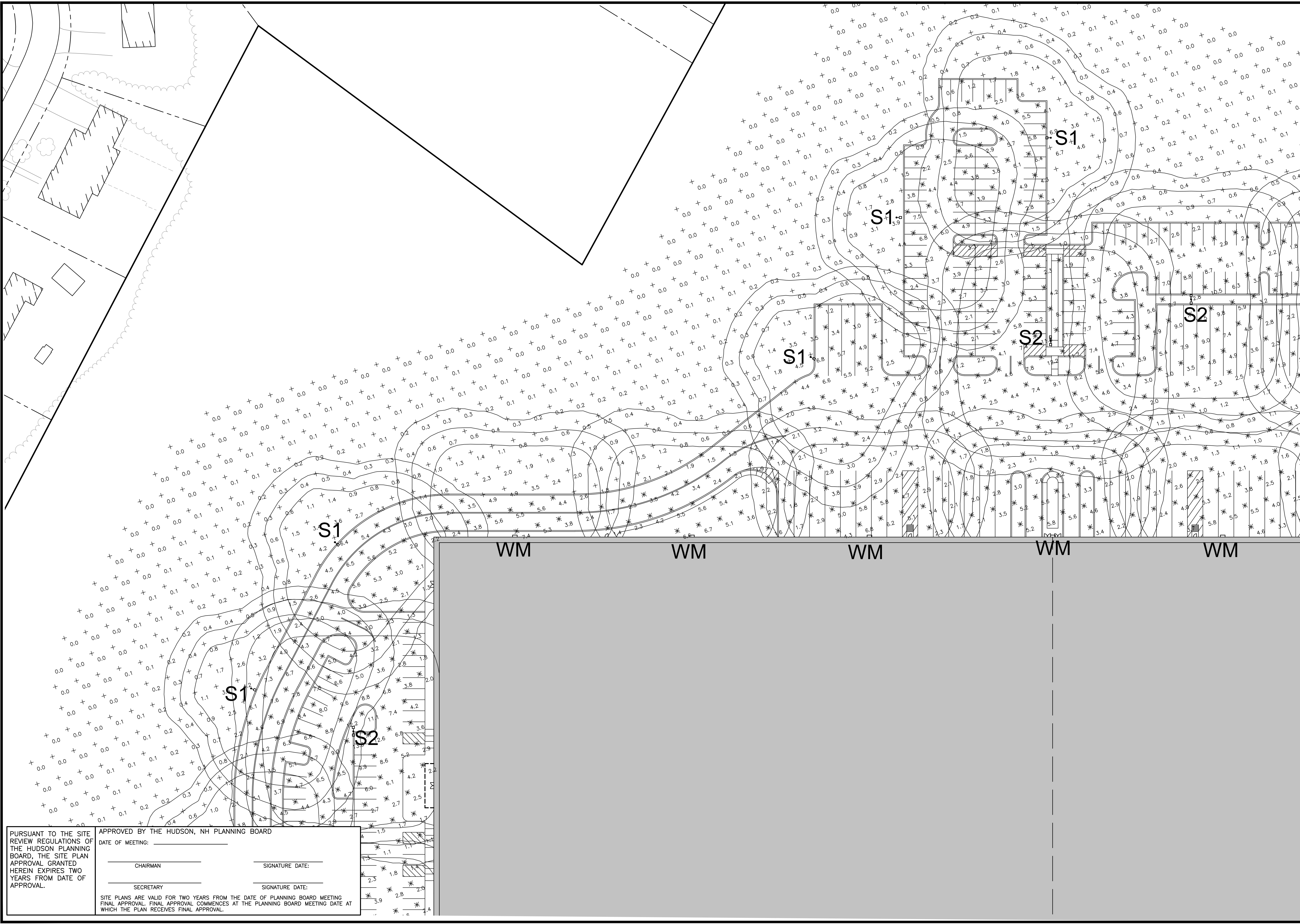
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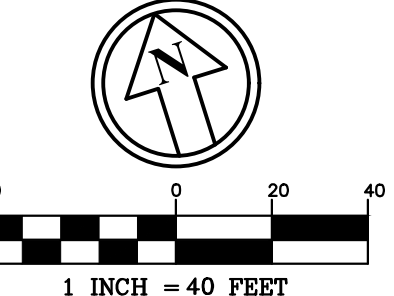
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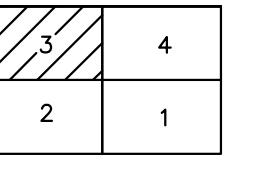


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 LIGHTING CONSULTANT
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FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER
5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
LIGHTING PLAN - C

PROJECT #475 SHEET 61 of 80

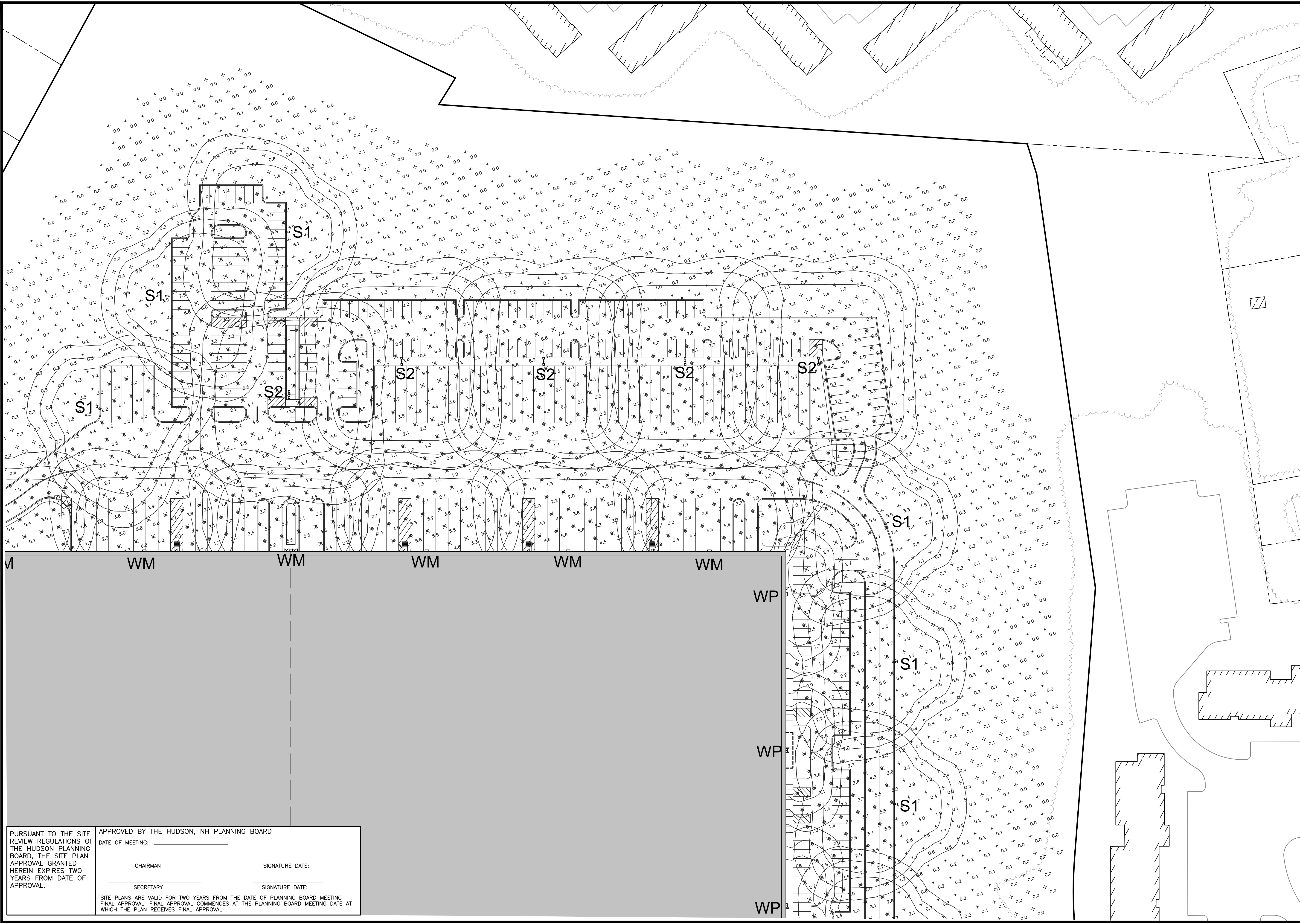
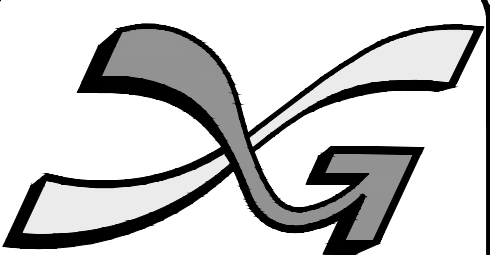
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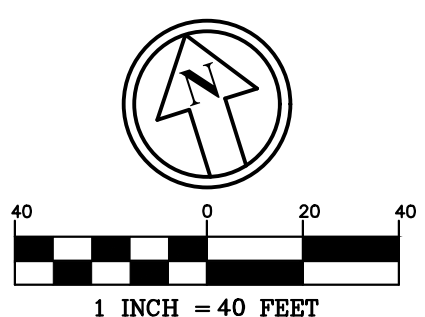
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 LIGHTING CONSULTANT
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3	4
2	1

SHEET INDEX

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FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH

PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110

OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:

LIGHTING
PLAN - D

PROJECT #475 SHEET 62 of 80

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Types "S1", "S2" and "WM"

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Prepared By: _____ Date: _____ Project: _____ Type: _____

Mirada Large (MRL) Outdoor LED Area Light



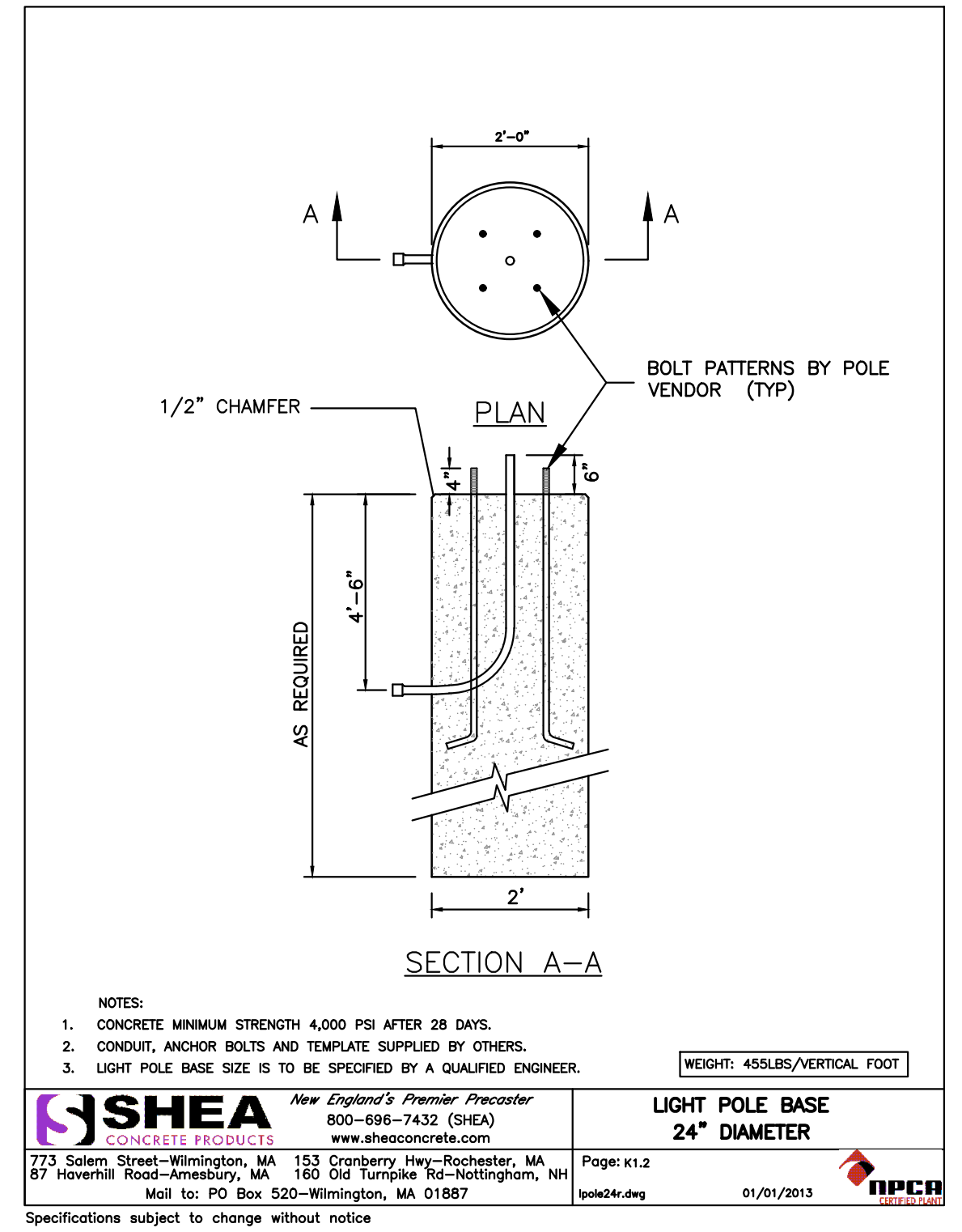
OVERVIEW	
Lumen Package	40,000 - 78,000
Wattage Range	296 - 648
Efficacy Range (LPW)	115 - 154
Weight lbs(kg)	60 (27.2)

QUICK LINKS

- Ordering Guide Performance Photometrics Dimensions

FEATURES & SPECIFICATIONS

- Construction**
- Rugged die-cast aluminum housing, optical frame, and driver access cover.
 - Fixtures are finished with LSI's DuraGrip™ polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
 - Shipping weight: 68 lbs in carton.
- Optical System**
- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
 - Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT, FTA and AM.
 - Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
 - Zero uplight.
 - Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377.
 - Minimum CRI of 70.
 - Integral louver (L) and house-side shield (H) options available for improved back-light control without sacrificing street side performance. See page 5 for more details.
- Electrical**
- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
 - 0-10V dimming (10% - 100%) standard.
 - Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- Warranty**
- LSI LED Fixtures carry a 5-year warranty.
- Listings**
- Listed to UL 1598 and UL 8750.
 - State of California Title 24 Compliant; with IMSBT, AL SC, or ALSCH Options.
 - DesignLights Consortium™ (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.
 - Meets Buy American Act requirements.
 - IDA compliant; with 3000K color temperature selection.
 - Suitable for wet locations.
 - IP66 rated Luminaire per IEC 60598.
 - 3G rated for ANSI C136.31 high vibration applications are qualified.
 - DesignLights Consortium™ (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.
- Controls**
- Optional integral passive infrared Bluetooth™ motion and photocell sensor (see page 5 for more details). Fixtures operate independently and can be commissioned via IOS or Android configuration app.
 - LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7 (see page 8 for more details).
- Installation**
- Designed to mount to square or round poles.
 - A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment for installing/servicing.
 - Included terminal block accepts up to 12 ga. wire.
 - Utilizes both B3 and B5 drill patterns for easy fastening of LSI products. (See drawing on page 8)
- Notes:**
- CONCRETE MINIMUM STRENGTH 4,000 PSI AFTER 28 DAYS.
 - CONDUIT, ANCHOR BOLTS AND TEMPLATE SUPPLIED BY OTHERS.
 - LIGHT POLE BASE SIZE IS TO BE SPECIFIED BY A QUALIFIED ENGINEER.



NOTES:

- CONCRETE MINIMUM STRENGTH 4,000 PSI AFTER 28 DAYS.
- CONDUIT, ANCHOR BOLTS AND TEMPLATE SUPPLIED BY OTHERS.
- LIGHT POLE BASE SIZE IS TO BE SPECIFIED BY A QUALIFIED ENGINEER.

LSH SHEET PRODUCTS
 773 Salem Street - Wilmington, MA 153 Cranberry Hwy - Rochester, MA 87 Haverhill Road - Amesbury, MA 180 Old Turnpike Rd - Nottingham, NH
 Mail to: PO Box 520 - Wilmington, MA 01987
 Page: K1.2
 gskd4r.dwg 01/01/2013

NOTE:
 OWNER WILL PROVIDE SUPPLEMENTAL LIGHTING (FOR EXAMPLE, AT ENTRY/EXIST. DOORS, PEDESTRIAN WALKWAY AREAS, BUILDING FACADE) IN ADDITION TO LIGHTING DEPICTED HERE, WHICH ARE INTENDED FOR GENERAL PAVEMENT AREAS ONLY

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Lumen Multiplier	Light Loss Factor	Wattage	Efficiency
⬆	S1		21	LSI Lighting	MRL-LED-65L-SIL-FT-40-70CRI BLK - 65Q Bx S07G 32 S BLK	Full Cut Off, LED Pole Mounted Luminaire with Forward Throw Distribution and 32 ft. 6" Square Steel Pole on 3 ft. Exposed Base	LED	1	MRL-LED-65L-SIL-FT-40-70CRI.ies	66648	1	0.9	518	100%
⬆	S2		8	LSI Lighting	2/ MRL-LED-65L-SIL-FT-40-70CRI BLK - 65Q Bx S07G 32 D180 BLK	Twin / Full Cut Off, LED Pole Mounted Luminaire with Forward Throw Distribution and 32 ft. 6" Square Steel Pole on 3 ft. Exposed Base	LED	1	MRL-LED-65L-SIL-FT-40-70CRI.ies	66648	1	0.9	1036	100%
⬆	WM		14	LSI Lighting	MRL-LED-65L-SIL-FT-40-70CRI BLK 382132 BLK	Full Cut Off, LED Building Mounted Luminaire at 35 ft. AFG with Wall Mounting Bracket	LED	1	MRL-LED-65L-SIL-FT-40-70CRI.ies	66648	1	0.9	518	100%
⬆	WP		3	LSI Lighting	XDLM-3-LED-HO-NW BLK	Full Cut Off, LED Building Mounted Wall Pack Luminaire at 20 ft. AFG	LED	1	XDLM-3-LED-HO-NW.IES	18069	1	0.9	203.7	100%

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Entire Calculation Area	+	0.8 fc	14.0 fc	0.0 fc	N/A	N/A
Paved	X	3.3 fc	14.0 fc	0.7 fc	20.0:1	4.7:1

Type "WP"

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Prepared By: _____ Date: _____ Project: _____ Type: _____

Mirada Wall Sconce (XWM) Outdoor LED Wall Sconce



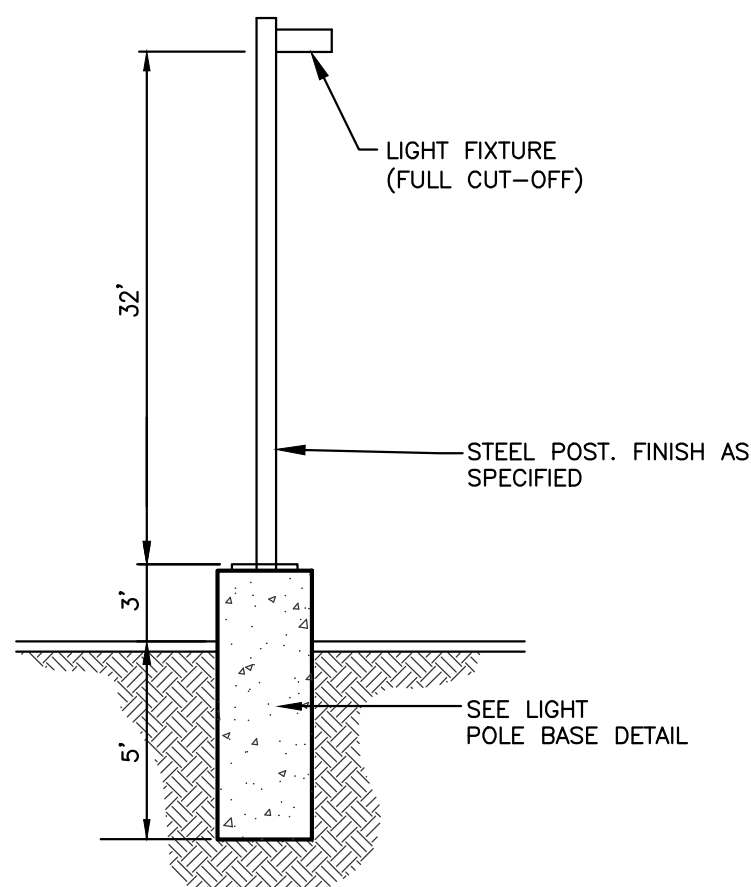
OVERVIEW	
Lumen Range	3,000 - 12,000
Wattage Range	25 - 102
Efficacy Range (LPW)	107 - 140
Weight lbs(kg)	30 (13.6)

QUICK LINKS

- Ordering Guide Performance Photometrics Dimensions

FEATURES & SPECIFICATIONS

- Construction**
- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Hinged die-cast aluminum wiring access door located underneath.
 - Galvanized-steel universal wall mount bracket comes standard with hinging mechanism to easily access the junction box wire connections without removing the luminaire.
 - Optional pole-mounting bracket (XPM) permits mounting to standard poles.
 - Fixtures are finished with LSI's DuraGrip™ polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
 - Shipping weight: 30 lbs in carton.
- Optical System**
- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
 - Proprietary silicone refractor optics provide exceptional coverage and uniformity in Types 2, 3, and Forward Throw (FT) distributions.
 - Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
 - Zero uplight.
 - Available in 5000K, 4000K and 3000K color temperatures per ANSI C78.377.
 - Minimum CRI of 70.
- Electrical**
- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
 - 0-10V dimming (10% - 100%) standard.
 - Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
 - L90 Calculated Life: >100k Hours
 - Total harmonic distortion: <20%
 - Operating temperature: -40°C to +50°C (-40°F to +122°F).
 - Power factor: >90
 - Input power stays constant over life.
 - Optional 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
 - High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation.
 - Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed via hinged door.
 - Optional integral emergency battery pack provides 90-minutes of constant power to the LED system, ensuring code compliance. A test switch/indicator button is installed on the housing for ease of maintenance. The fixture delivers 1500 lumens during emergency mode.
- Installation**
- Universal wall mounting plate easily mounts directly to 4" octagonal or square junction box.
 - 2 fasteners secure the hinged door & easy access to the electrical compartment for installing/servicing.
 - Optional terminal block accepts up to 12 ga wire.
- Warranty**
- LSI LED Fixtures carry a 5-year warranty.
 - 1 Year warranty on Battery Back-up option.
- Listings**
- Listed to UL 1598 and UL 8750.
 - Meets Buy American Act requirements.
 - IDA compliant; with 3000K or lower color temperature selection.
 - State of California Title 24 Compliant
 - Suitable for wet Locations.
 - IP66 rated luminaire per IEC 60598.
 - 3G rated for ANSI C136.31 high vibration applications when pole mounted (using optional XPM bracket) or wall mounted.
 - DesignLights Consortium (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.
- Controls**
- Optional integral passive infrared Bluetooth™ motion and photocell sensor (see page 5 for more details). Fixtures operate independently and can be commissioned via IOS or Android configuration app.
 - LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7 (see page 5 for more details).

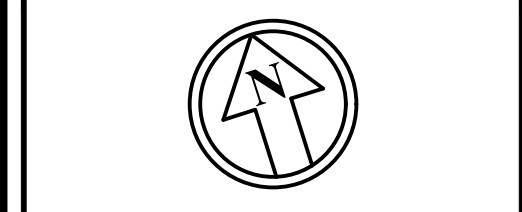


POLE MOUNT DETAIL
 NOT TO SCALE



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 EMAIL: pinfurna@gmail.com

REVISIONS:			
REV.	DATE:	COMMENT:	BY:
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SHEET TITLE:
LIGHTING
DETAILS

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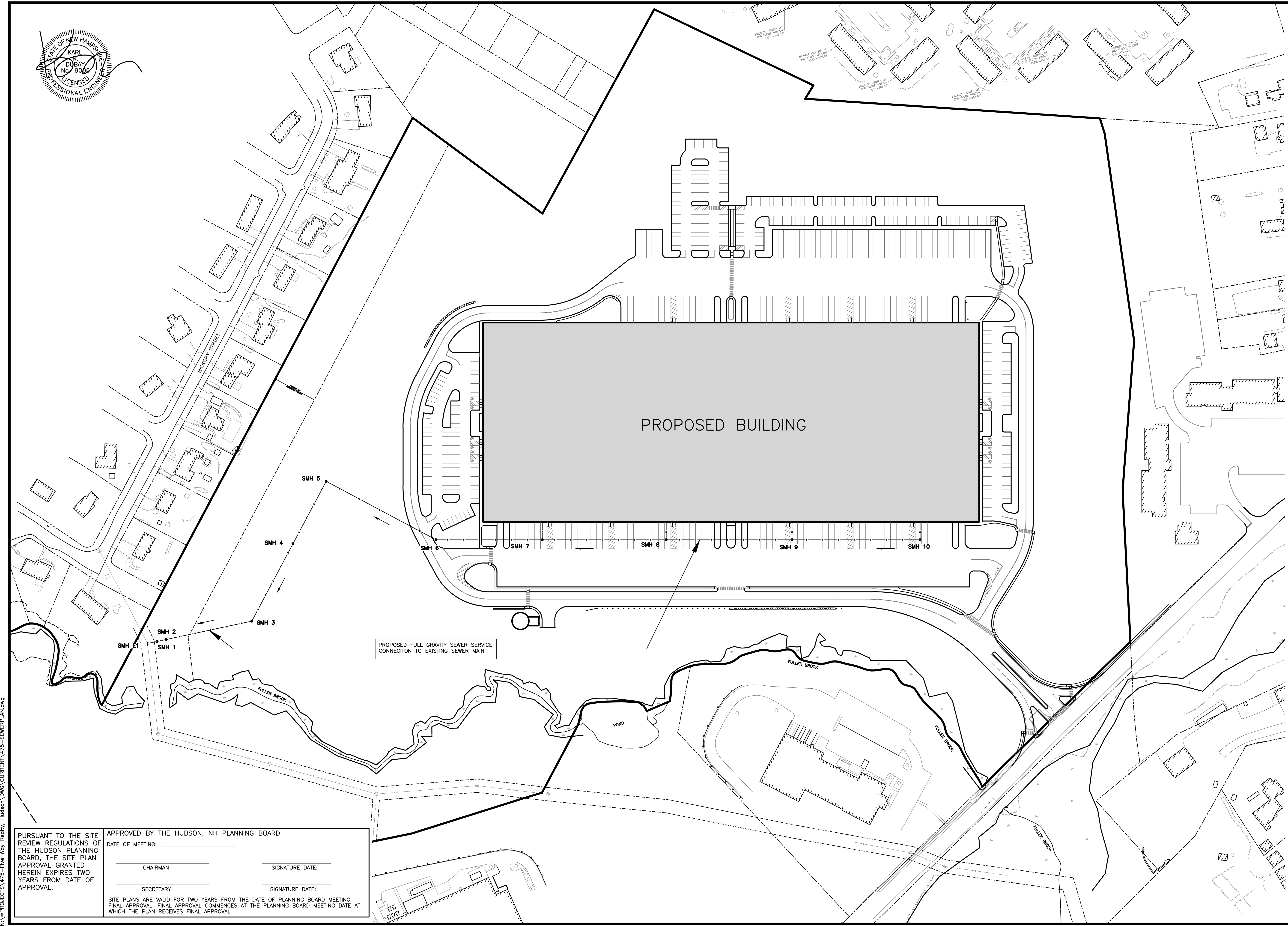
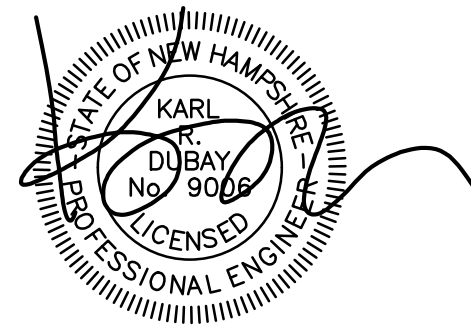
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PROPOSED FULL GRAVITY SEWER SERVICE CONNECTION TO EXISTING SEWER MAIN

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

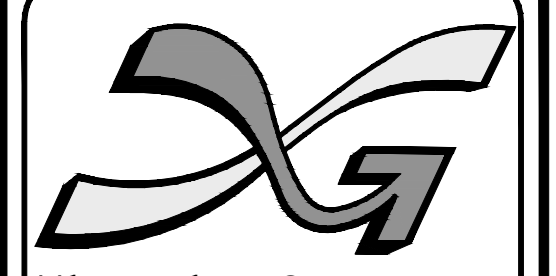
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

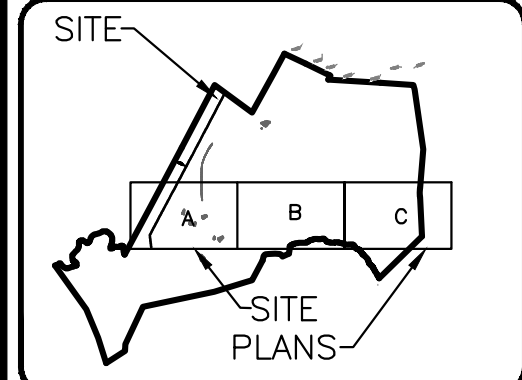
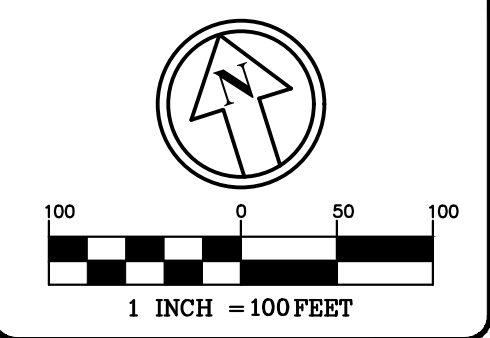
SECRETARY: _____ SIGNATURE DATE: _____

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The Dubay Group, Inc.
 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462

Engineers
 Planners
 Surveyors
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REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REV.	JUG
5	11/23/21	MISC. REVS	JUG

DRAWN BY: WA
 CHECKED BY: KRD
 DATE: AUG. 3, 2021
 SCALE: 1" = 100'
 FILE: 475--SEWERPLAN
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR _____



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

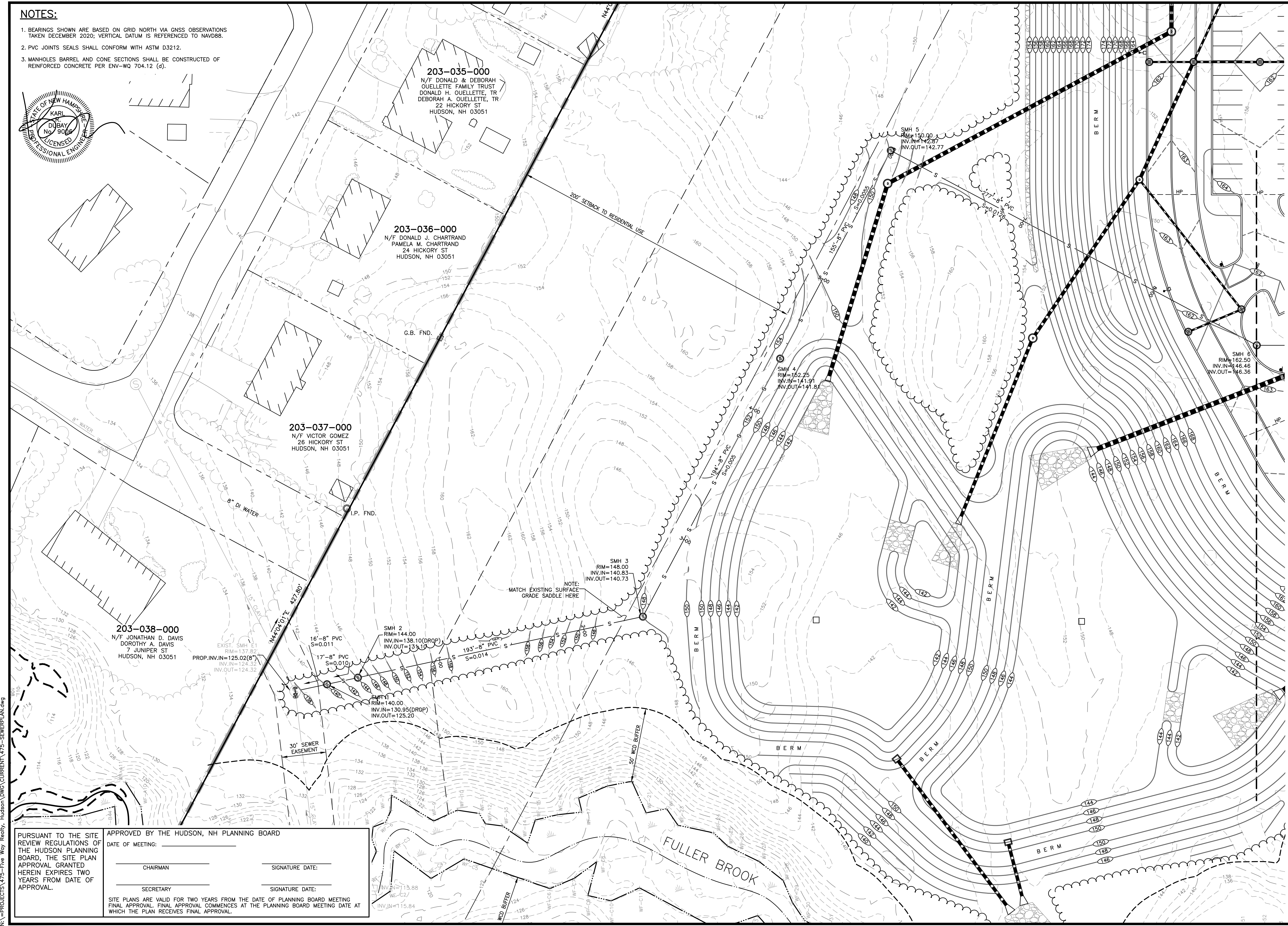
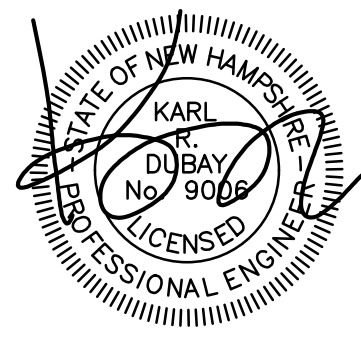
5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
SEWER SERVICE OVERVIEW PLAN

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475--SEWERPLAN.dwg

NOTES:

1. BEARINGS SHOWN ARE BASED ON GRID NORTH VIA GNSS OBSERVATIONS TAKEN DECEMBER 2020; VERTICAL DATUM IS REFERENCED TO NAVD88.
2. PVC JOINTS SEALS SHALL CONFORM WITH ASTM D3212.
3. MANHOLES BARREL AND CONE SECTIONS SHALL BE CONSTRUCTED OF REINFORCED CONCRETE PER ENV-WQ 704.12 (d).

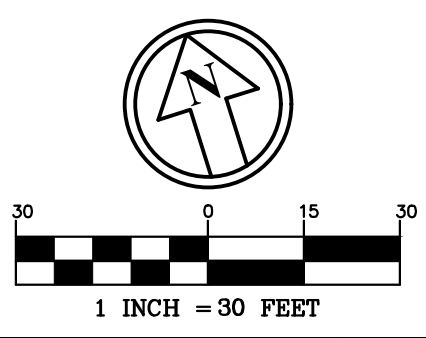


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A	B	C
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SHEET INDEX

REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REV.	JUG
3	10/5/21	MISC. REVS	WA
5	11/23/21	MISC. REVS	JUG

DRAWN BY: WA
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 DATE: AUG. 3, 2021
 SCALE: 1" = 30'
 FILE: 475-SEWERPLAN
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER
5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
SEWER PLAN - A

MATCH TO SEWER PLAN-B

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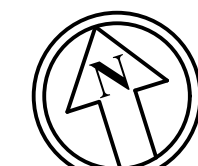
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30 0 15 30
1 INCH = 30 FEET

A B C
SHEET INDEX

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FRIARS DRIVE
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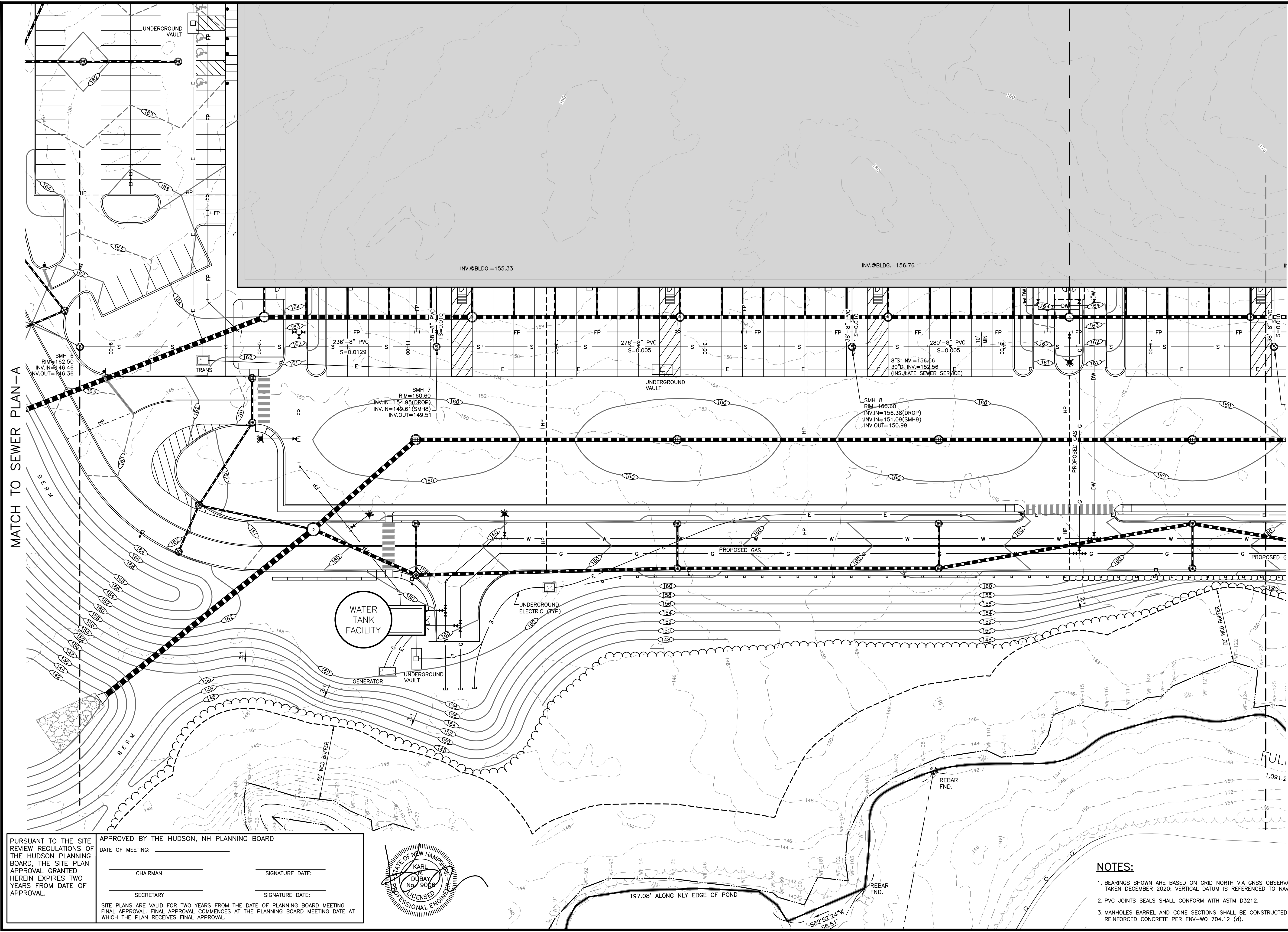
LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
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 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:

SEWER PLAN - B

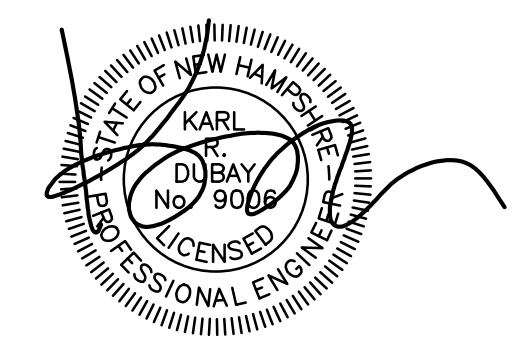
PROJECT #475 SHEET 66 of 80



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

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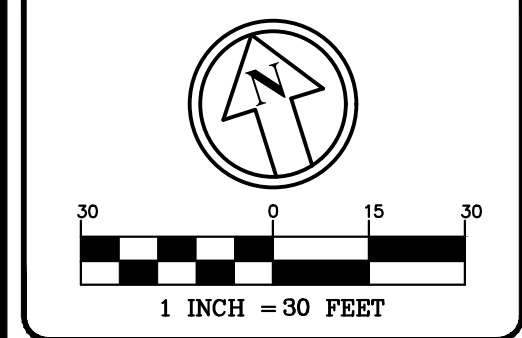
N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475--SEWERPLAN.dwg



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A	B	C
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SHEET INDEX

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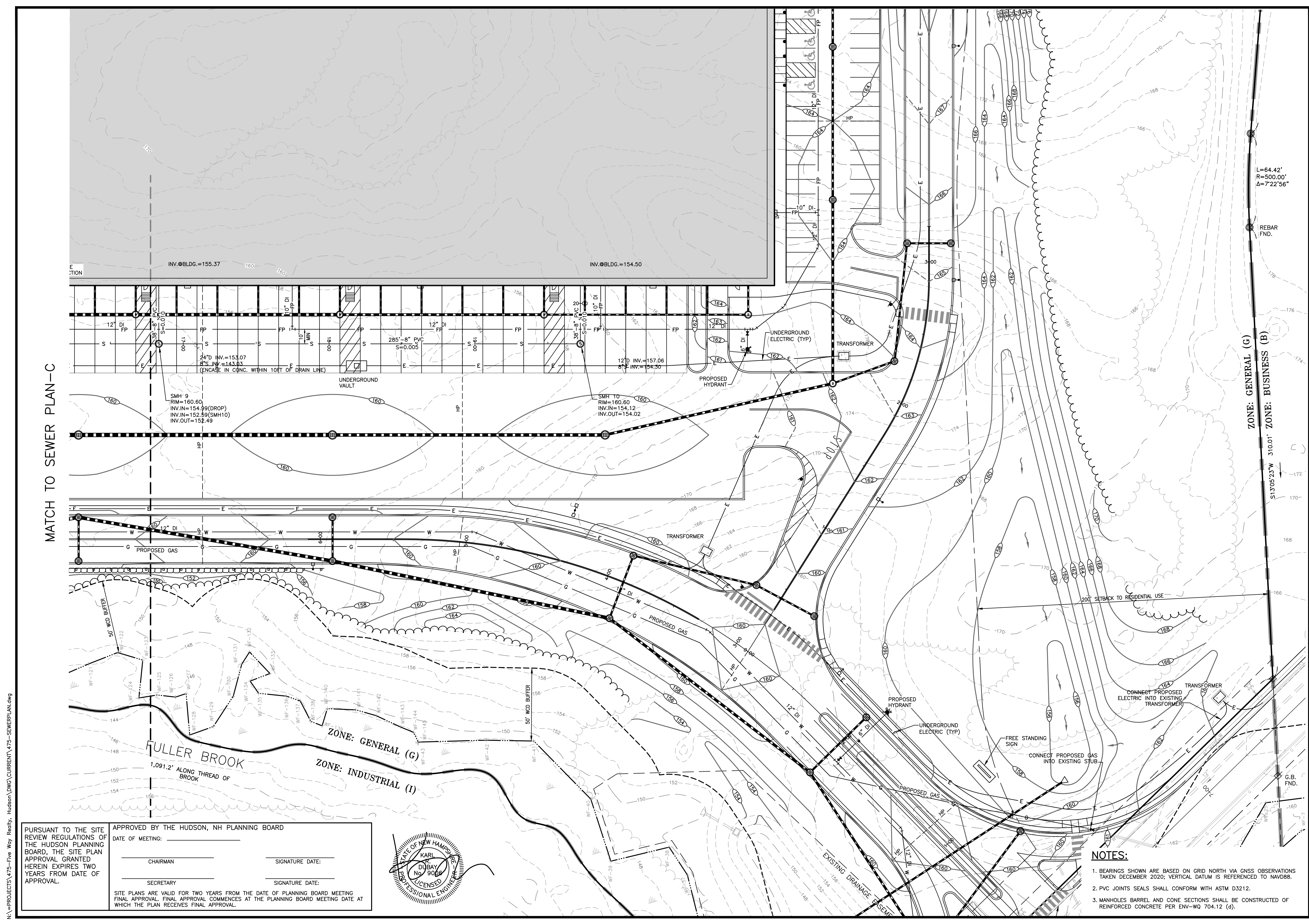
PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
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SHEET TITLE:
SEWER PLAN - C
 PROJECT #475 SHEET 67 of 80



MATCH TO SEWER PLAN-C

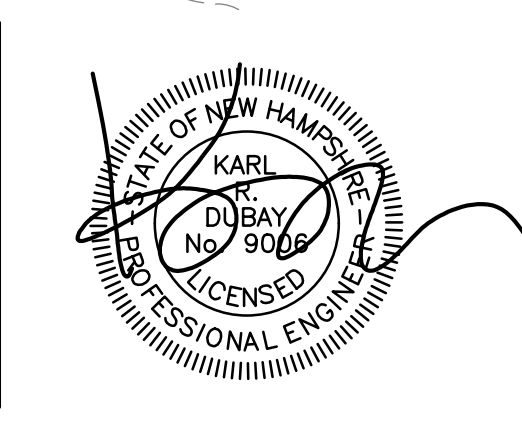
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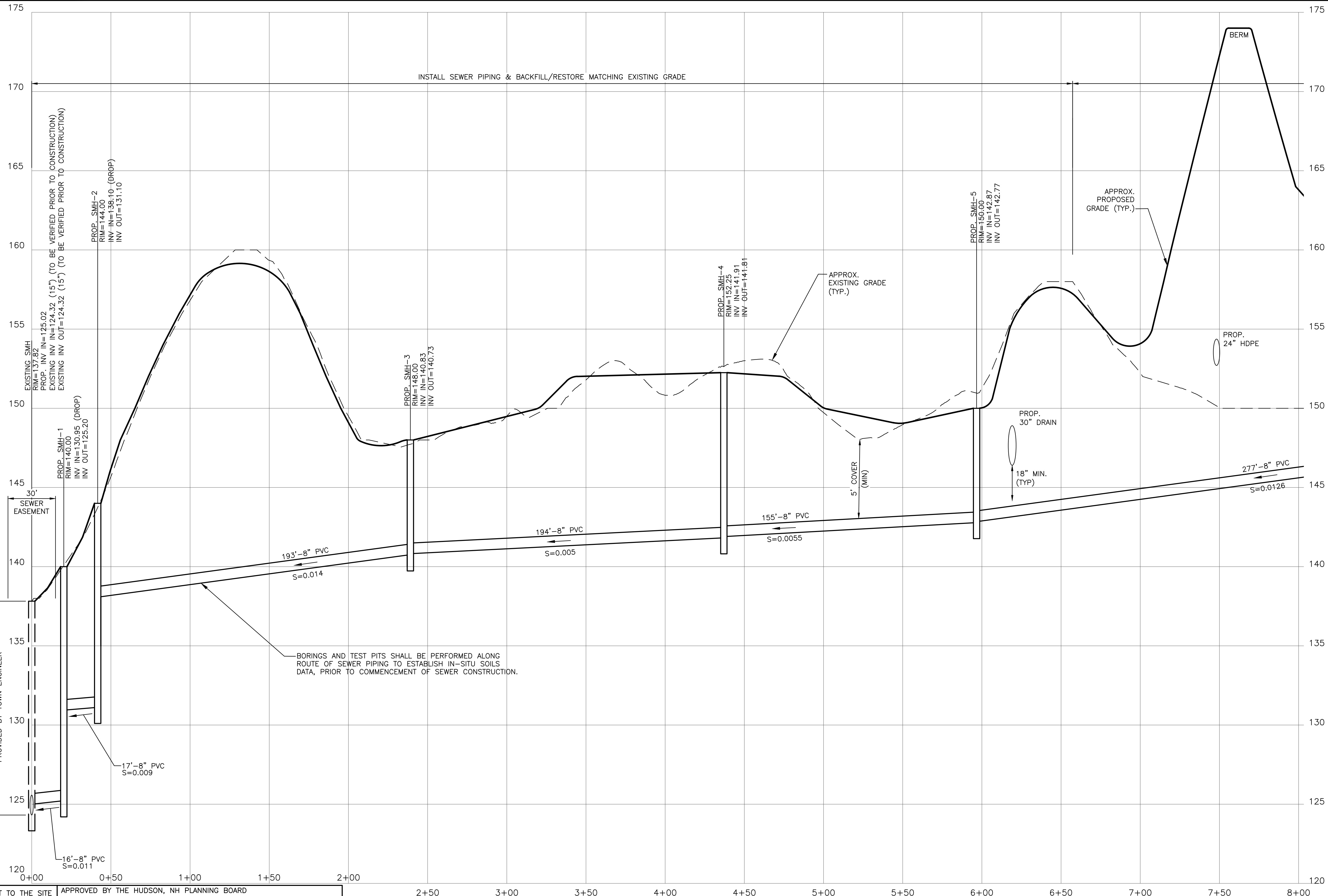
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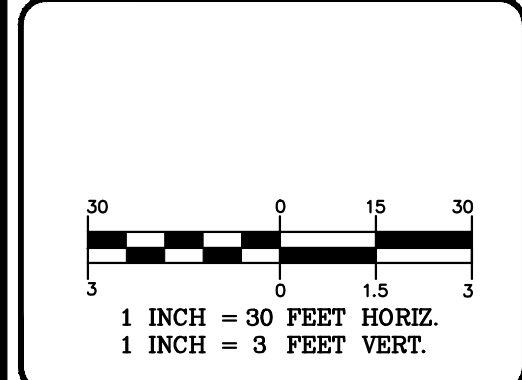
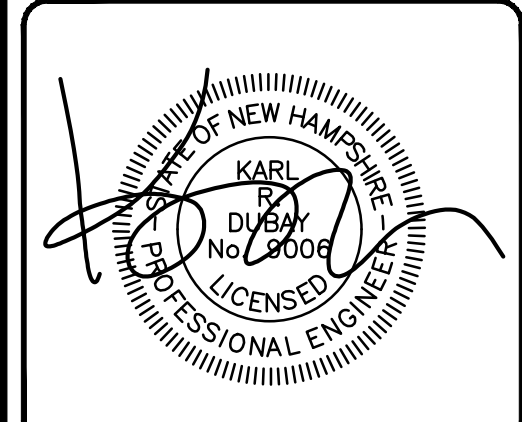
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INSTALL SEWER PIPING & BACKFILL/RESTORE MATCHING EXISTING GRADE



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DRAWN BY: JJC
 CHECKED BY: KRD
 DATE: AUG. 3, 2021
 SCALE: 1"=30'H, 3'V
 FILE: 475-SEWERPROF
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH



PREPARED FOR
LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER
5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
SEWER
PROFILE - A
 PROJECT #475 SHEET 68 of 80

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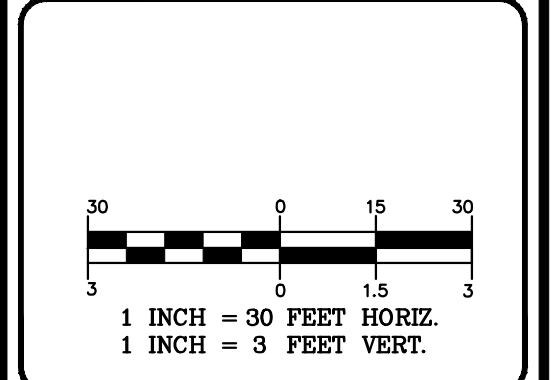
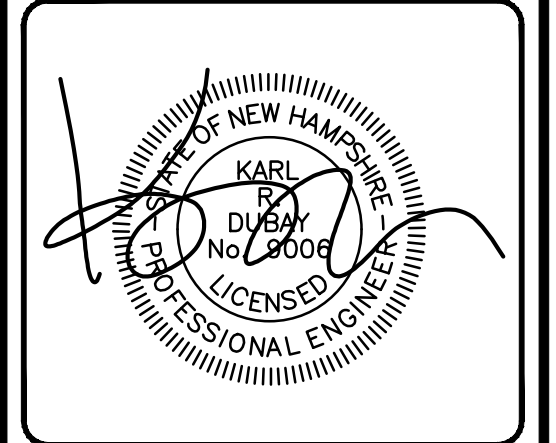
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 2. ALL ITEMS SHALL BE LAID OUT BY A LICENSED LAND SURVEYOR.



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FRIARS DRIVE
TAX MAP 209
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 HUDSON, NH

PREPARED FOR

LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110

OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
SEWER
PROFILE - B

PROJECT #475 SHEET 69 of 80

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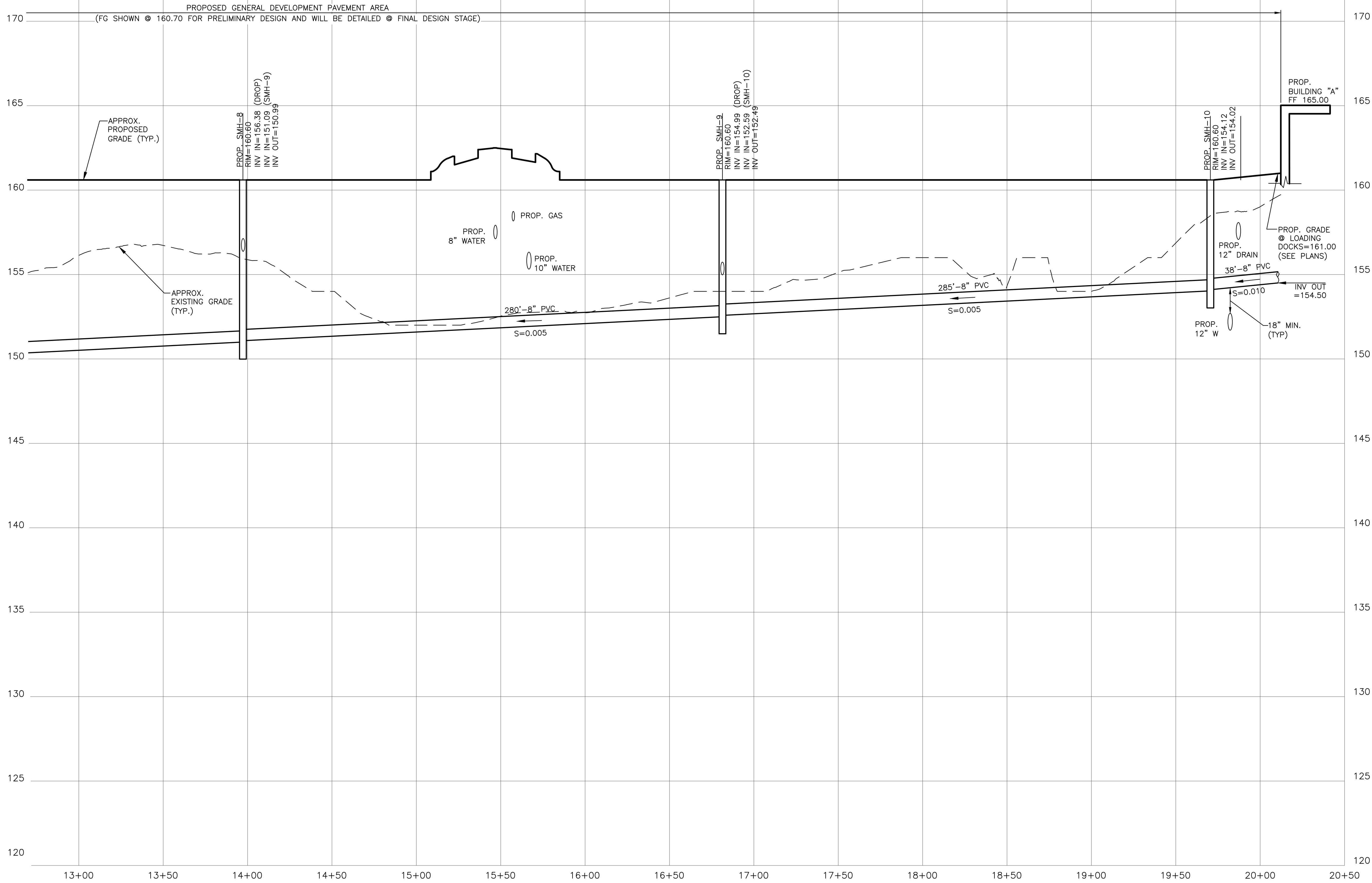
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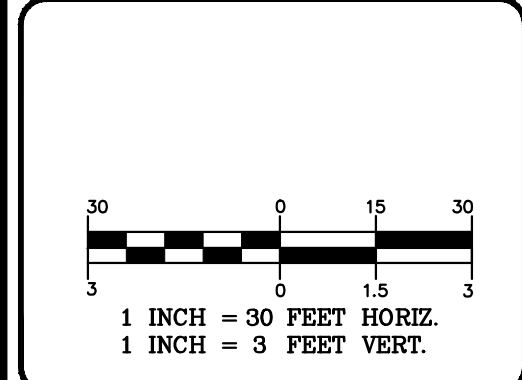
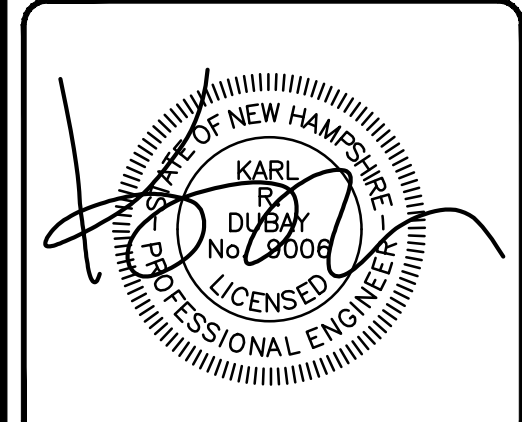
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REVISIONS:			
REV.	DATE:	COMMENT:	BY:
1	9/20/21	MISC. REV.	JUG

DRAWN BY: JJC
CHECKED BY: KRJ
DATE: AUG. 3, 2021
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FILE: 475-SEWERPROF
DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH

PREPARED FOR

GFI PARTNERS

LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110

OWNER

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PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE:

**SEWER
PROFILE - C**

PROJECT #475 SHEET 70 of 80

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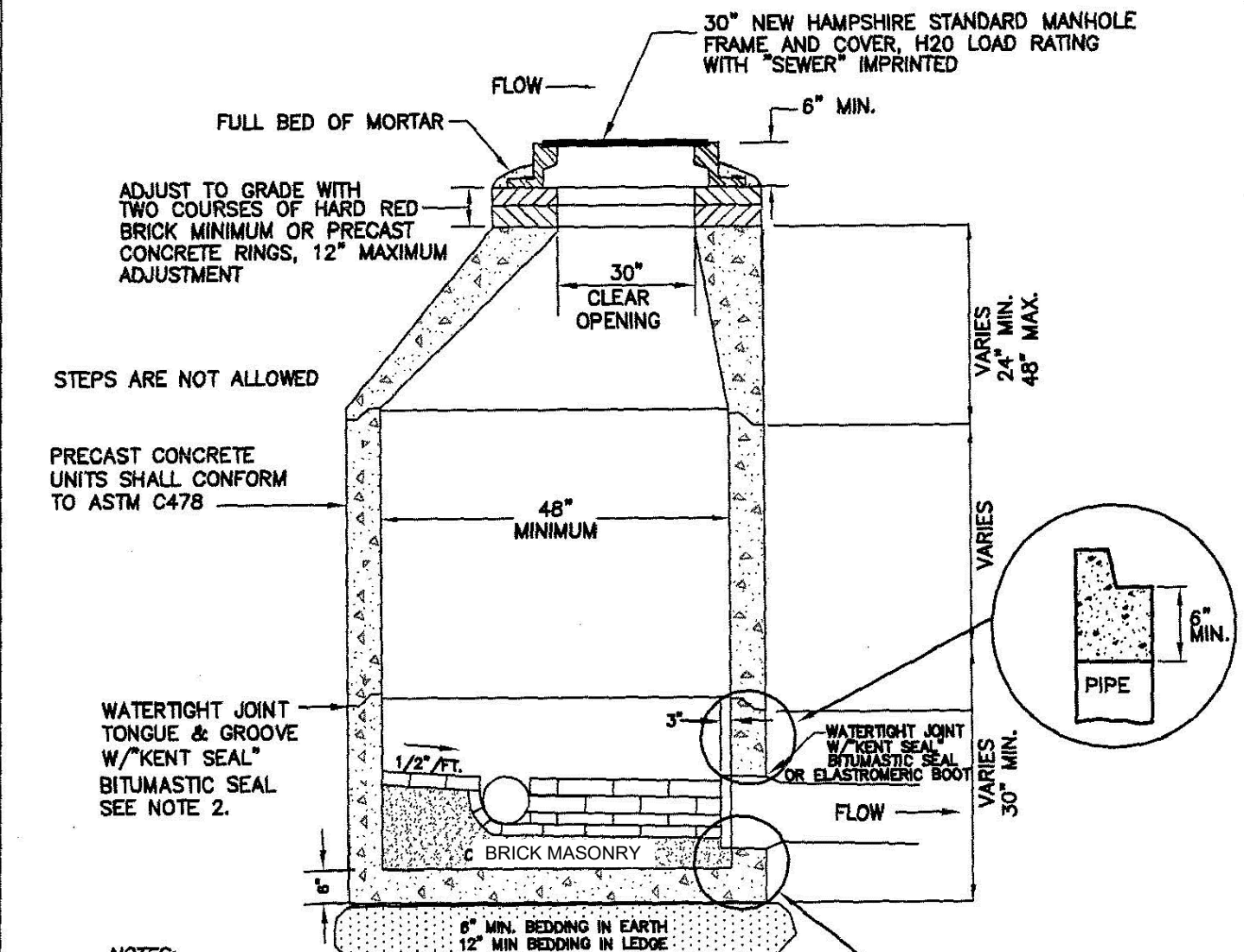
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N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-SEWER DETAILS.dwg



- NOTES:**
1. ALL GASKETS AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
 2. FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY. APPROVED BITUMASTIC SEALANTS
RAM-NEK
KENT SEAL No. 2

NOTES REQUIREMENTS:

1. PRECAST CONCRETE MANHOLES SHALL CONFORM WITH ASTM C478 (ENV-WQ 704.13 (A)(3)).
2. MANHOLE CASTINGS SHALL CONFORM WITH ASTM A48/48M ENV-WQ 704.13 (A)(8)).
3. BRICK MASONRY SHALL CONFORM WITH ASTM C32 (ENV-WQ 704.13 (A)(9)).
4. MORTAR USED FOR MANHOLE CONSTRUCTION SHALL CONFORM WITH ENV-WQ 704.13 (C).
5. MANHOLES SHALL BE TESTED IN ACCORDANCE WITH ENV-WQ 704.17
6. UNDERLAYMENT OF MANHOLE INVERT AND SHELF SHALL BE BRICK MASONRY PER ENV-WQ 704.12 (K). CONCRETE UNDERLAYMENT SHOWN.
7. MANHOLES BARREL AND CONE SECTIONS SHALL BE CONSTRUCTED OF REINFORCED CONCRETE PER ENV-WQ 704.12 (d).

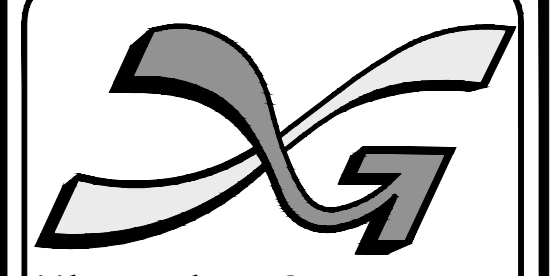
TYPE OF PIPE	SIZE	MAX. DIST. TO FIRST JOINT
R.C.P. & C.I.	ALL	48"
C.I.P.	ALL	48"
P.V.C.	>15"	48"
V.C.P.	0-12"	18"
V.C.P.	>12"	36"

ALL SECTIONS SHALL BE CONCRETE CLASS AA (4000 PSI), CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER L.F. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER L.F.

SEWER MANHOLE
NOT TO SCALE
DETAIL S-1
SEWER MANHOLE
TOWN OF HUDSON AUGUST-01
REV: SCALE: NTS

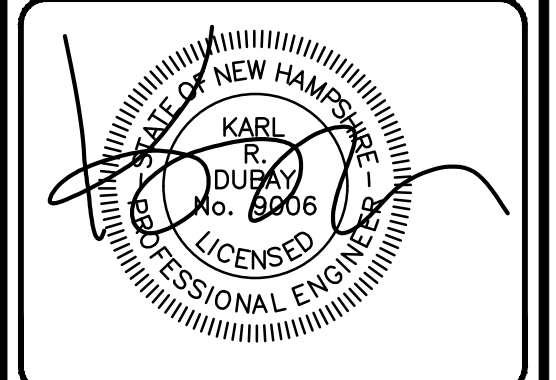
- NOTES:**
1. ALL MANHOLES, INCLUDING ALL COMPONENT PARTS, SHALL HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY BY THE ENGINEER FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS, WITH STEEL REINFORCEMENT, WITH ADEQUATE JOINTING, OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH REINFORCEMENT. IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE, CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
 2. BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE OR POURED IN PLACE REINFORCED CONCRETE.
 3. PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C 478.
 4. LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS.
 5. INVERTS AND SHELVES MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE. CROWN AND SLOPE TO DRAIN TOWARD THE FLOW THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY. INVERTS AND SHELVES SHALL BE PLACED AFTER TESTING.
 6. FRAMES AND COVERS MANHOLE FRAMES AND COVERS SHALL PROVIDE A 30 INCH CLEAR OPENING. A 3 INCH (MINIMUM HEIGHT) LETTER "S" OR THE WORD "SEWER" SHALL BE CAST INTO THE TOP SURFACE. CASTINGS SHALL BE EVEN-GRAINED CAST IRON AND SHALL BE EQUAL TO CLASS 30, CONFORMING TO ASTM A 48.
 7. BEDDING SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33
100 PASSING 1 INCH SCREEN
90-100 PASSING 3/4 INCH SCREEN
20-55 PASSING 3/8 INCH SCREEN
0-10 PASSING #4 SIEVE
0-5 PASSING #8 SIEVE
WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE. SCREENED GRAVEL OR CRUSHE STONE 1/2 TO 1-1/2 INCH SHALL BE USED.
 8. FLEXIBLE JOINT A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:
RCP & CI PIPE (ALL SIZES): 48"
AC & VC PIPE (UP THROUGH 12" DIA.): 18"
AC & VC PIPE (LARGER THAN 12" DIA.): 36"
 9. SHALLOW MANHOLE IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED. IT MUST HAVE AN ECCENTRIC ENTRANCE OPENING AND BE CAPABLE OF SUPPORTING H-20 LOADS.
 - 9a. DI PIPE - NONE REQUIRED
PVC (ASTM 3034) - UP THROUGH 15: DIA - NONE REQUIRED
PVC (ASTM F 679) - LARGER THAN 15: DIA - 48" - 60"
PVC (ASTM F 789) - ALL SIZES - 48" - 60"
ABS (ASTM D 2680) - ALL SIZES - SAME AS PVC ABOVE
 - 9b. UNDER SEVERE CONDITIONS WHEN DIFFERENTIAL SETTING CANNOT BE CONTROLLED WITHIN NORMAL LIMITS, VARIATIONS IN THE STUB LENGTH MAY BE NECESSARY OTHER PLASTIC PIPES SHALL BE REVIEWED ON A CASE BY CASE BASIS.
 10. MANHOLE STEPS ARE NOT PERMITTED.
- NOTE:** SEPARATE CONSTRUCTION SPECIFICATIONS MUST BE ATTACHED OR INCLUDED IN THE CONTRACT DOCUMENTS. THESE STANDARD DRAWINGS ARE NOT COMPLETE WITHOUT THESE SPECIFICATIONS.

STANDARD MANHOLE - PART A
DETAIL S-2
STANDARD MANHOLE - PART A
TOWN OF HUDSON AUGUST-01
REV: SCALE: NTS



The Dubai Group, Inc.
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers
Planners
Surveyors
TheDubayGroup.com



REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REV.	JUG

DRAWN BY: JJC
CHECKED BY: KRD
DATE: AUG. 3, 2021
SCALE: AS SHOWN
FILE: 475-SEWER DETAILS
DEED REF:

SITE PLAN
FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH
PREPARED FOR

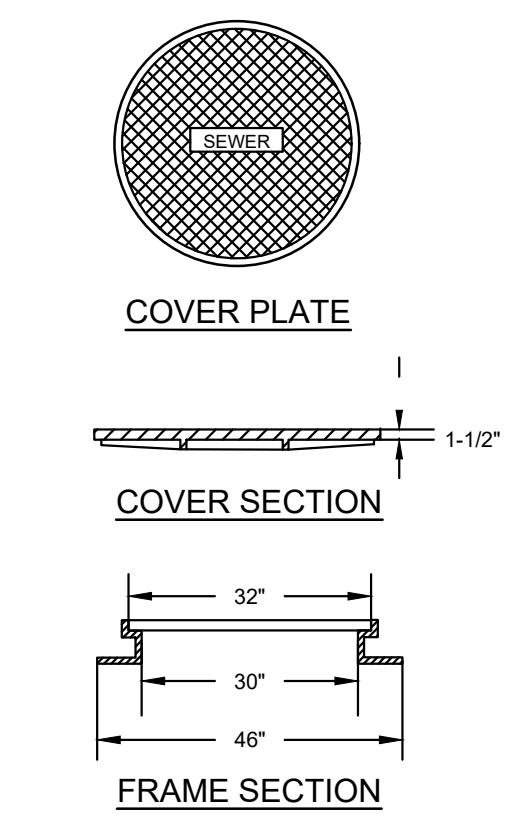
GFI PARTNERS

LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110
OWNER

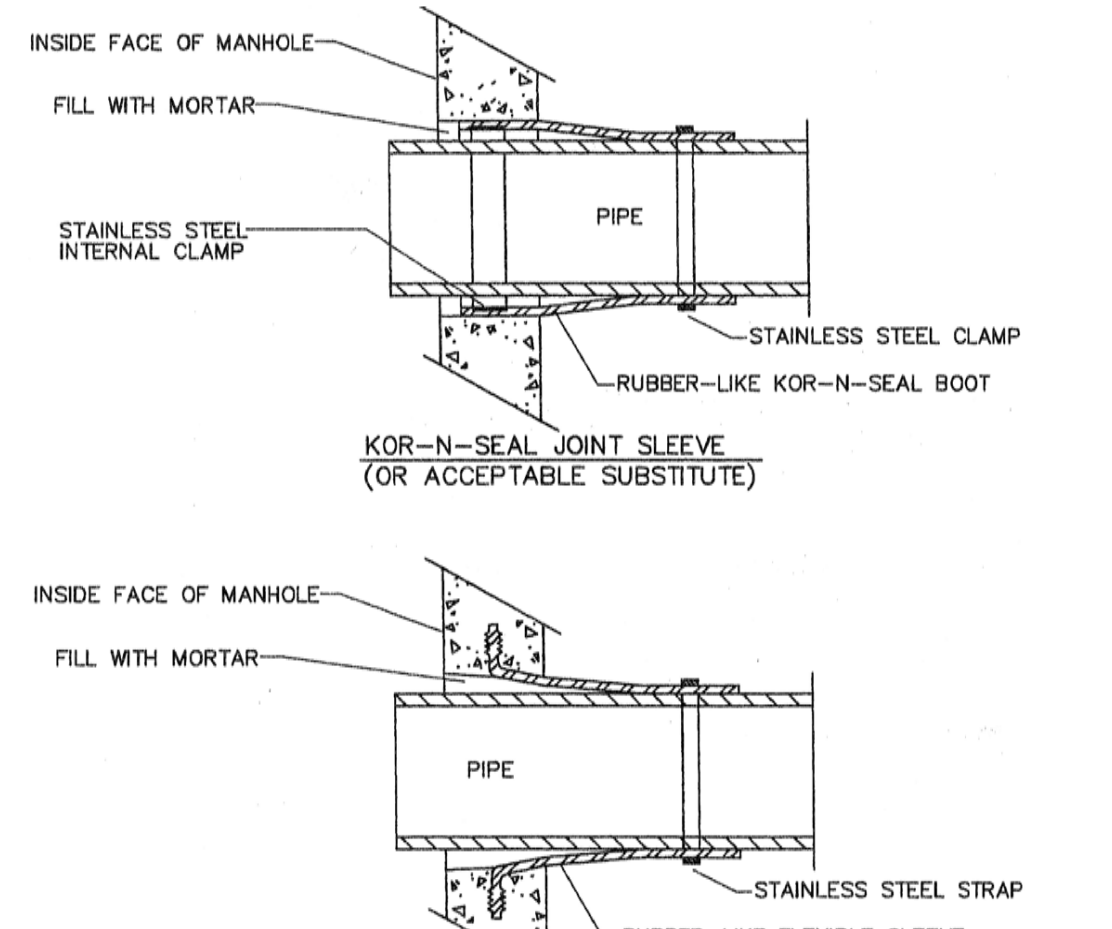
5 WAY REALTY TRUST
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE:
SEWER DETAILS

PROJECT #475 SHEET 71 of 80



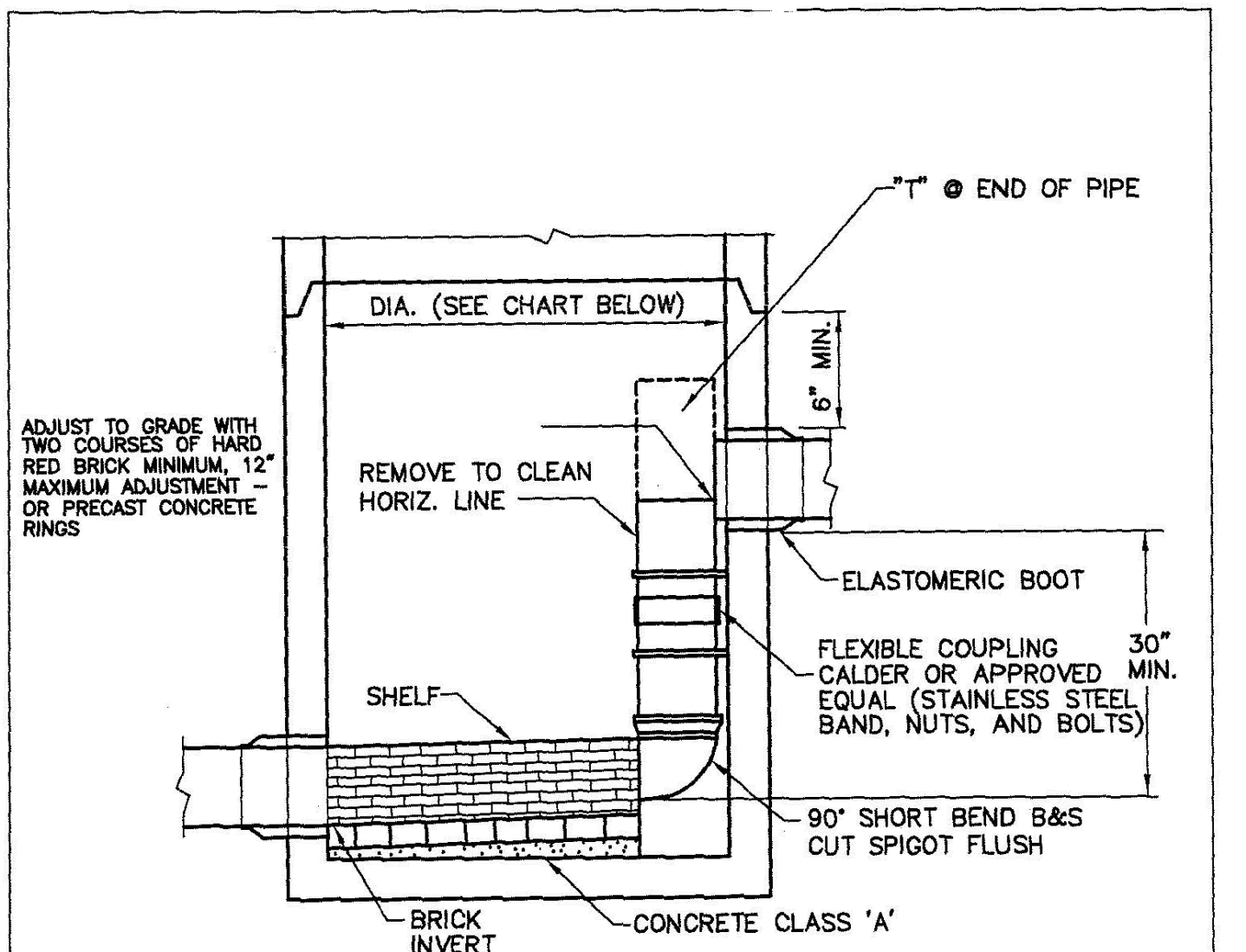
SEWER MANHOLE COVER
NOT TO SCALE



NOTE:
ALL GASKETS, SEALANTS, MORTAR, ETC., SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS

NOTE:
1. PVC JOINTS SEALS SHALL CONFORM WITH ASTM D3212

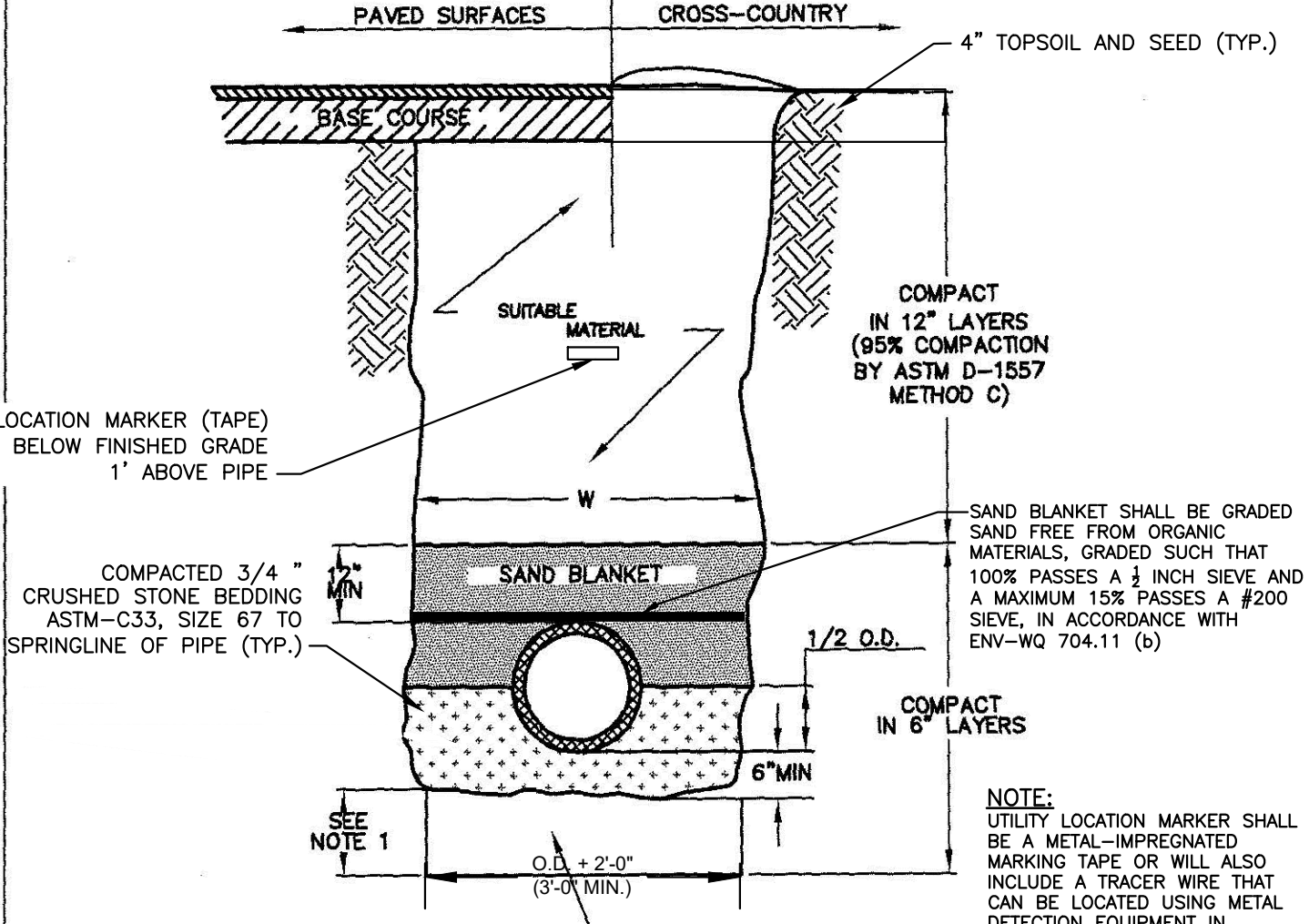
PIPE TO SEWER MANHOLE JOINTS
NOT TO SCALE
EXHIBIT SW4



MAN HOLE SIZE CHART

ONE 8" DROP	USE 4' DIA.
ONE 10" DROP	USE 4' DIA.
TWO 8" DROP	USE 5' DIA.
TWO 10" DROP	USE 5' DIA.
ONE 12" DROP	USE 5' DIA.
ONE 15" DROP	USE 5' DIA.
ONE 18" DROP	USE 8' DIA.
ONE 24" DROP	USE 6' DIA.

INTERNAL DROP SMH
NOT TO SCALE
DETAIL S-3
INTERNAL DROP SMH
TOWN OF HUDSON AUGUST-01
REV: SCALE: NTS



NOTES:

1. ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE, REFILL WITH BEDDING MATERIAL.
1. BACKFILL SHALL BE MOUNDED 6" ABOVE ORIGINAL GROUND IN CROSS COUNTRY LOCATIONS (ENV-WQ 704.05 (j))
2. GRAVITY SEWER PIPE TESTING SHALL BE PERFORMED IN ACCORDANCE WITH ENV-WQ 704.06 AND FORCE MAIN/PRESSURE SEWER PIPE TESTING SHALL BE PERFORMED IN ACCORDANCE WITH ENV-WQ 704.09
3. TRENCH BACKFILL MATERIAL SHALL CONFORM WITH ENV-WQ 704.11 (H)
4. FOR EXCAVATION IN LEDGE, EXCAVATION SHALL EXTEND AT LEAST 12" BELOW THE BOTTOM OF THE SEWER PIPE PER ENV-WQ 704.11 (O)
5. PVC JOINTS SEALS SHALL CONFORM WITH ASTM D3212.

SEWER TRENCH SECTION
NOT TO SCALE
DETAIL S-4
SEWER TRENCH SECTION
TOWN OF HUDSON AUGUST-01
REV: SCALE: NTS

APPROVED BY THE HUDSON, NH PLANNING BOARD

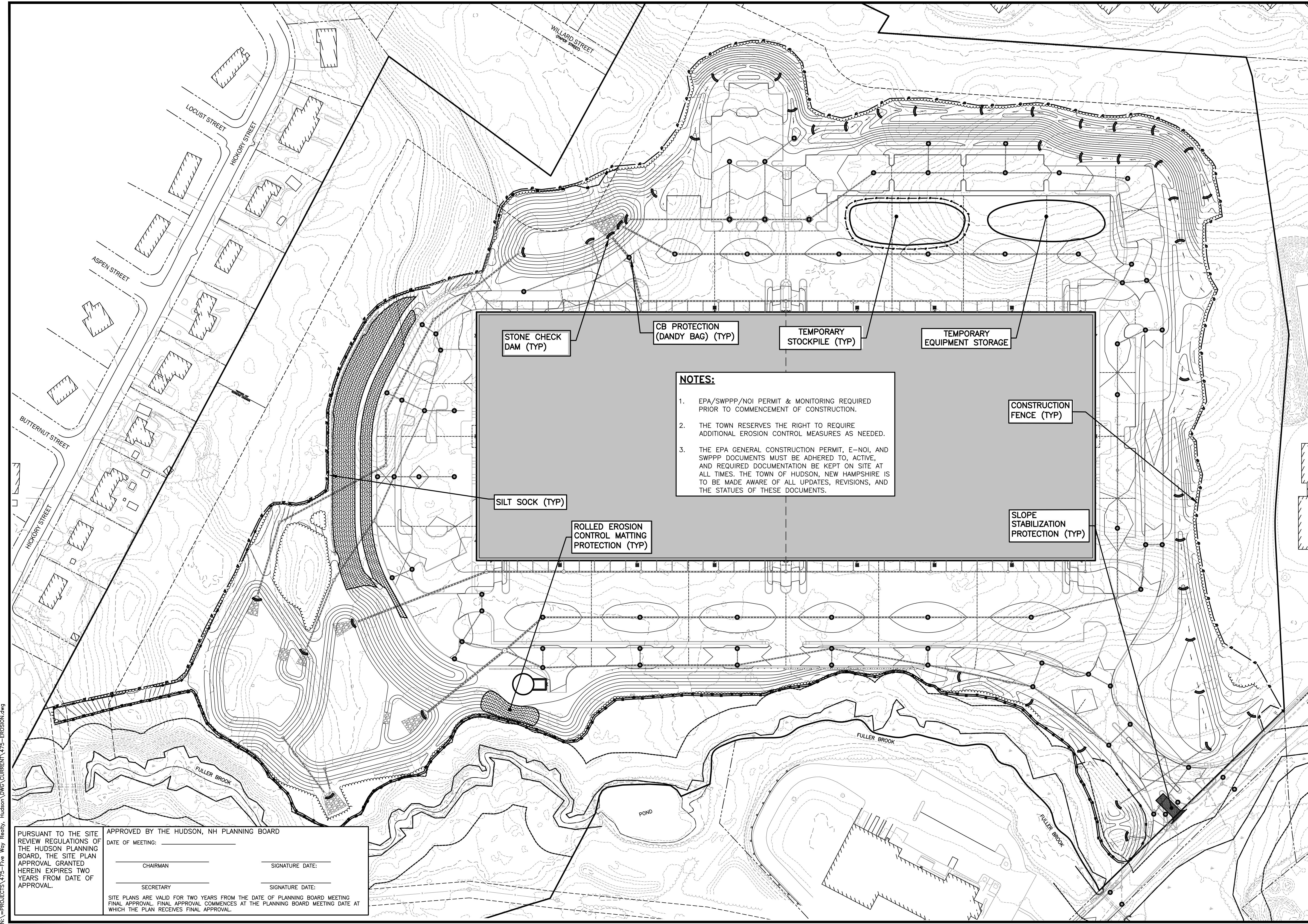
DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____

SECRETARY _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.



STONE CHECK DAM (TYP)

CB PROTECTION (DANDY BAG) (TYP)

TEMPORARY STOCKPILE (TYP)

TEMPORARY EQUIPMENT STORAGE

CONSTRUCTION FENCE (TYP)

SLOPE STABILIZATION PROTECTION (TYP)

SILT SOCK (TYP)

ROLLED EROSION CONTROL MATTING PROTECTION (TYP)

NOTES:

1. EPA/SWPPP/NOI PERMIT & MONITORING REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. THE TOWN RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS NEEDED.
3. THE EPA GENERAL CONSTRUCTION PERMIT, E-NOI, AND SWPPP DOCUMENTS MUST BE ADHERED TO, ACTIVE, AND REQUIRED DOCUMENTATION BE KEPT ON SITE AT ALL TIMES. THE TOWN OF HUDSON, NEW HAMPSHIRE IS TO BE MADE AWARE OF ALL UPDATES, REVISIONS, AND THE STATUES OF THESE DOCUMENTS.

The Dubai Group, Inc.
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 Londonderry, NH 03053
 603-458-6462

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 Planners
 Surveyors
 TheDubayGroup.com

1 INCH = 80 FEET

REVISIONS:			
REV.	DATE	COMMENT	BY
4	11/18/21	DRAINAGE REVS	SUK
5	11/23/21	MISC. REVS	WA
6	1/11/22	MISC. REVS	SUK

DRAWN BY: WA
 CHECKED BY: KRD
 DATE: AUG. 3, 2021
 SCALE: 1" = 80'
 FILE: 475-EROSION
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR

GFI PARTNERS

LOWELL ROAD
 PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
EROSION CONTROL OVERVIEW PLAN

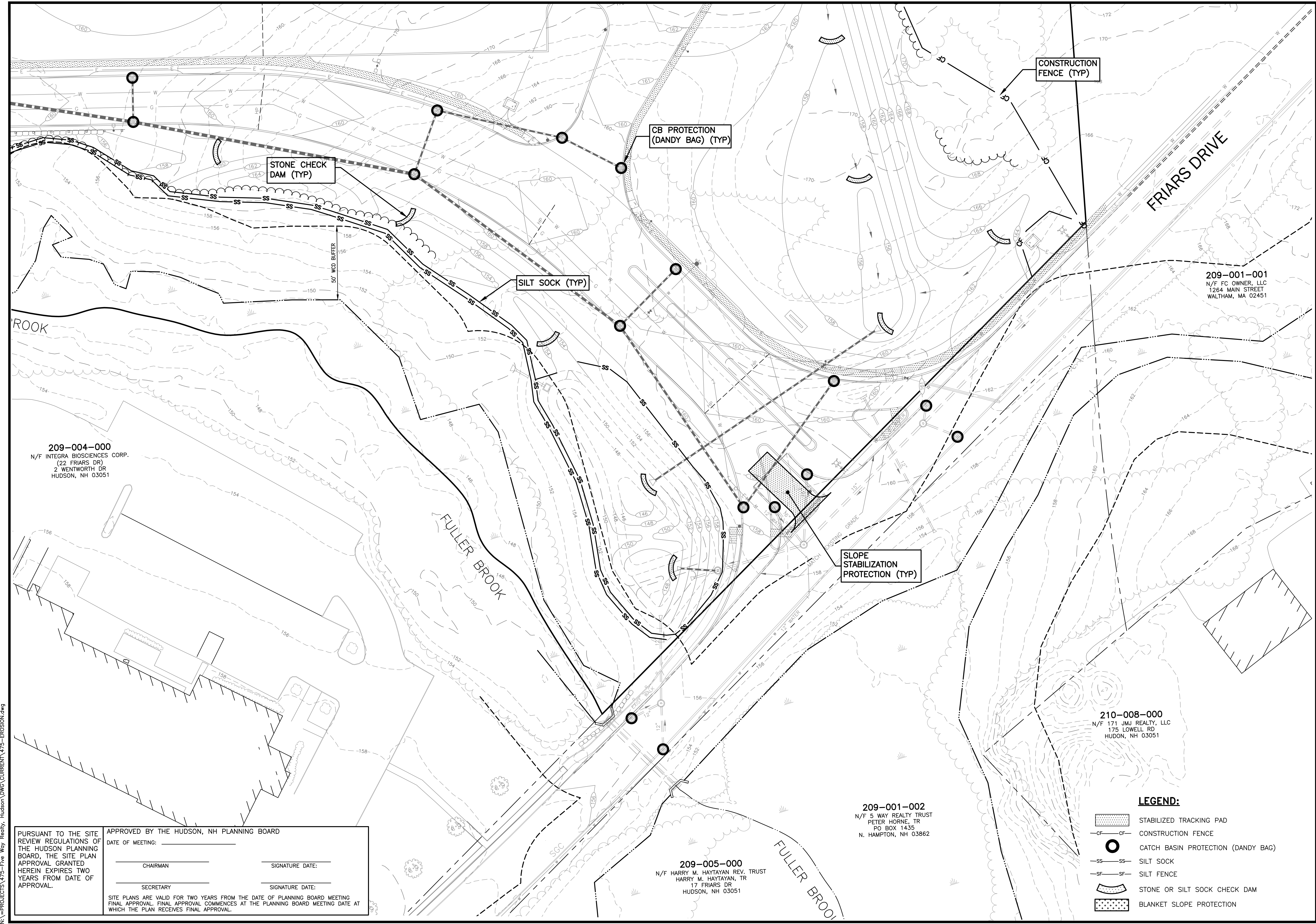
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APPROVED BY THE HUDSON, NH PLANNING BOARD
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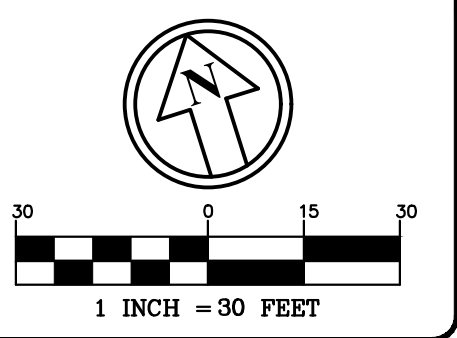
CHAIRMAN _____ SIGNATURE DATE: _____
 SECRETARY _____ SIGNATURE DATE: _____

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 Londonderry, NH 03053
 603-458-6462

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 Planners
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SHEET INDEX

REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REVS	WA
3	10/5/21	MISC. REVS	JUG
4	11/18/21	DRAINAGE REVS	SJK
6	1/11/22	MISC. REVS	SJK

DRAWN BY: WA
 CHECKED BY: KRD
 DATE: AUG. 3, 2021
 SCALE: 1" = 30'
 FILE: 475-EROSION
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
EROSION CONTROL PLAN - A

N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-EROSION.dwg

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 SECRETARY _____ SIGNATURE DATE: _____

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209-001-002
 N/F 5 WAY REALTY TRUST
 PETER HORNE, TR
 PO BOX 1435
 N. HAMPTON, NH 03862

209-005-000
 N/F HARRY M. HAYTAYAN REV. TRUST
 HARRY M. HAYTAYAN, TR
 17 FRIARS DR
 HUDSON, NH 03051

210-008-000
 N/F 171 JMJ REALTY, LLC
 175 LOWELL RD
 HUDSON, NH 03051

- LEGEND:**
- STABILIZED TRACKING PAD
 - CONSTRUCTION FENCE
 - CATCH BASIN PROTECTION (DANDY BAG)
 - SILT SOCK
 - SILT FENCE
 - STONE OR SILT SOCK CHECK DAM
 - BLANKET SLOPE PROTECTION



The Dubai Group, Inc.

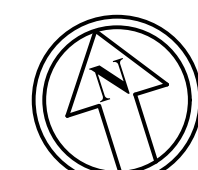
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers

Planners

Surveyors

TheDubayGroup.com



1 INCH = 30 FEET

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C	B	A

SHEET INDEX

REV.	DATE:	REVISIONS:	BY:
1	9/20/21	MISC. REVS	WA
3	10/5/21	MISC. REVS	JUG
4	11/18/21	DRAINAGE REVS	SJK
5	11/23/21	MISC. REVS	WA

DRAWN BY: WA
 CHECKED BY: KRD
 DATE: AUG. 3, 2021
 SCALE: 1" = 30'
 FILE: 475-EROSION
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



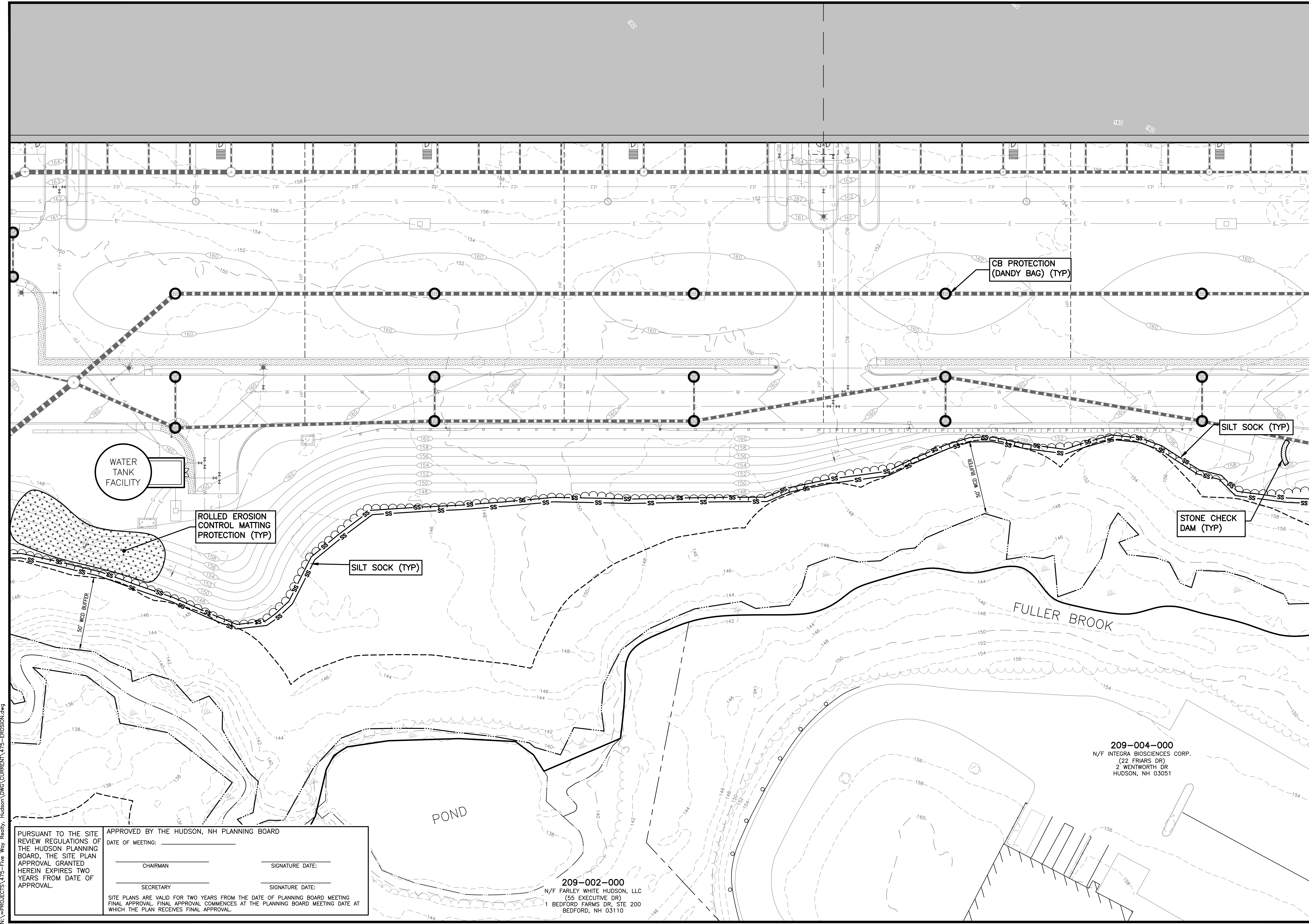
LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:

EROSION CONTROL PLAN - B

PROJECT #475 SHEET 74 of 80



N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-EROSION.dwg

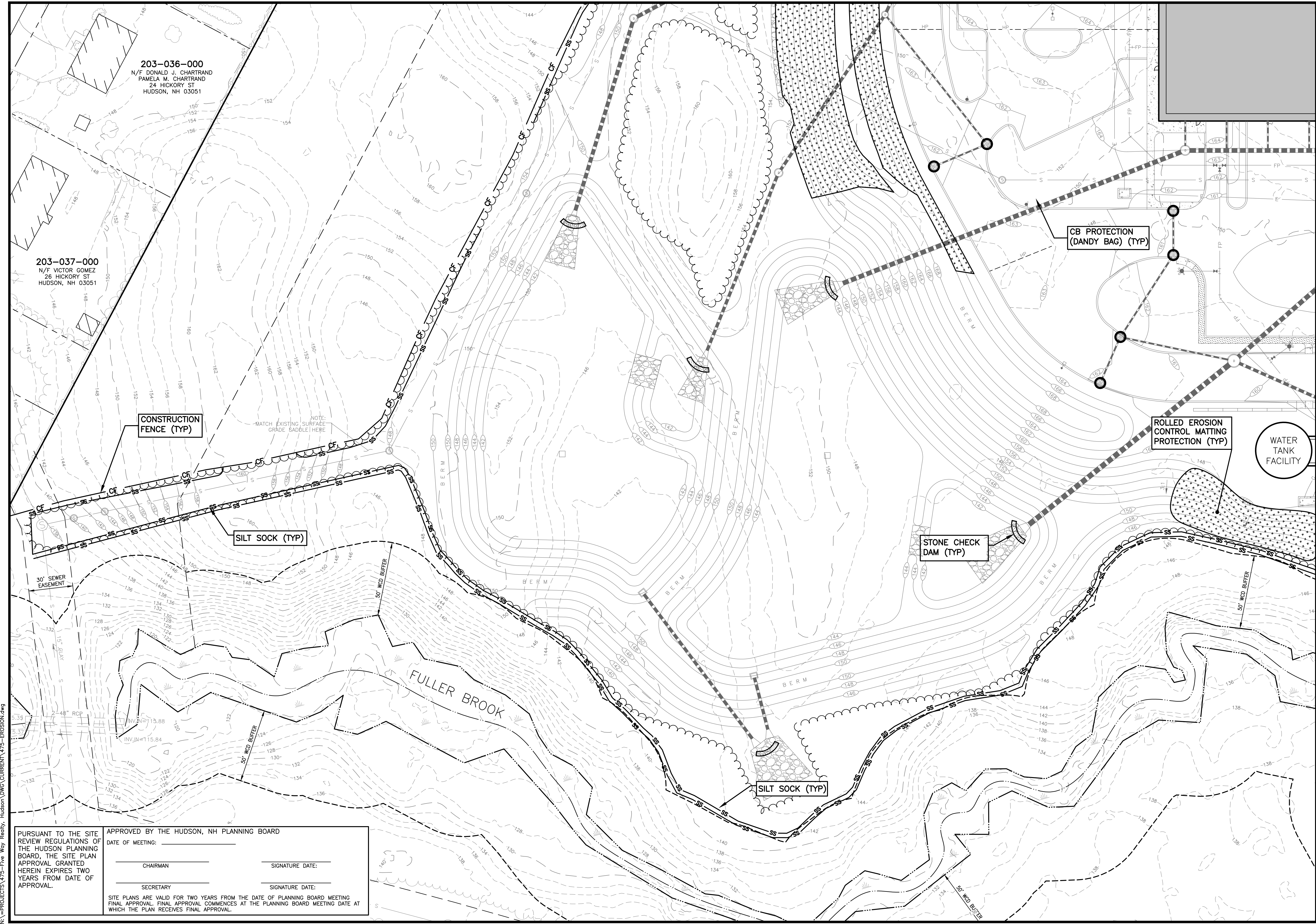
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 CHAIRMAN: _____ SIGNATURE DATE: _____
 SECRETARY: _____ SIGNATURE DATE: _____

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209-002-000
 N/F FARLEY WHITE HUDSON, LLC
 (55 EXECUTIVE DR)
 1 BEDFORD FARMS DR, STE 200
 BEDFORD, NH 03110

209-004-000
 N/F INTEGRA BIOSCIENCES CORP.
 (22 FRIARS DR)
 2 WENTWORTH DR
 HUDSON, NH 03051



203-036-000
 N/F DONALD J. CHARTRAND
 PAMELA M. CHARTRAND
 24 HICKORY ST
 HUDSON, NH 03051

203-037-000
 N/F VICTOR GOMEZ
 26 HICKORY ST
 HUDSON, NH 03051

CONSTRUCTION
 FENCE (TYP)

SILT SOCK (TYP)

STONE CHECK
 DAM (TYP)

CB PROTECTION
 (DANDY BAG) (TYP)

ROLLED EROSION
 CONTROL MATTING
 PROTECTION (TYP)

WATER TANK
 FACILITY

NOTE:
 MATCH EXISTING SURFACE
 GRADE SADDLE HERE

30' SEWER
 EASEMENT

50' WOOD BUFFER

50' WOOD BUFFER

FULLER BROOK

SILT SOCK (TYP)

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____

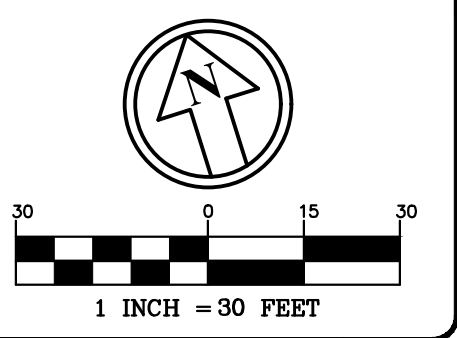
SECRETARY _____ SIGNATURE DATE: _____

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 603-458-6462

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 Planners
 Surveyors
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D		H
C	B	A

SHEET INDEX

REV.	DATE:	REVISIONS:	BY:
1	9/20/21	MISC. REVS	WA
3	10/5/21	MISC. REVS	JUG
4	11/18/21	DRAINAGE REVS	SJK
5	11/23/21	MISC. REVS	WA

DRAWN BY: WA
 CHECKED BY: KRD
 DATE: AUG. 3, 2021
 SCALE: 1" = 30'
 FILE: 475-EROSION
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR _____

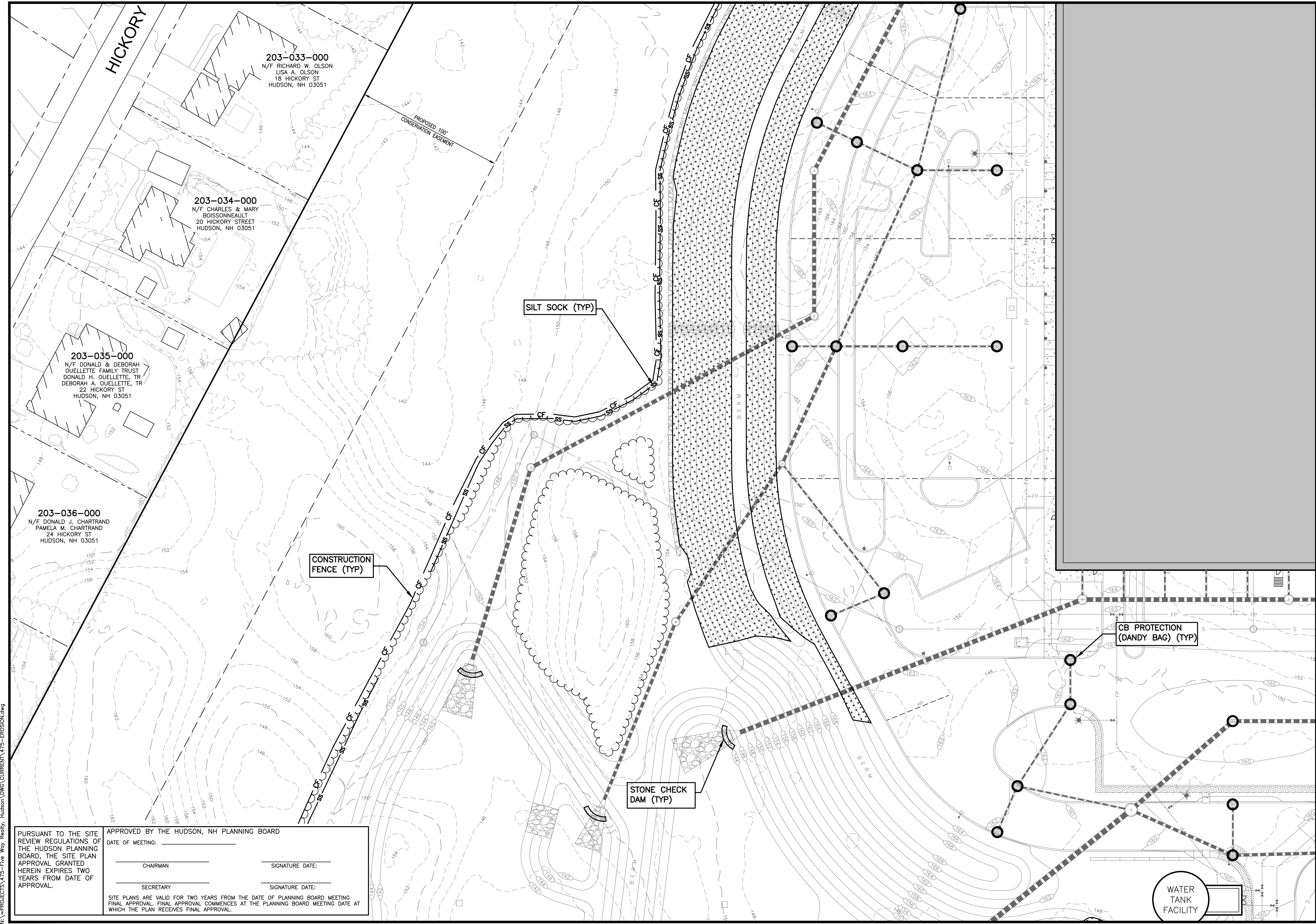


LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

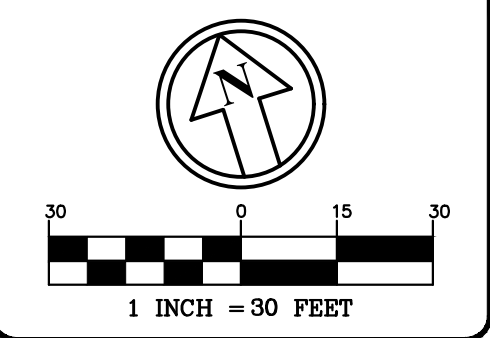
SHEET TITLE:
EROSION CONTROL PLAN - C

N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-EROSION.dwg



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TAX MAP 209
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 HUDSON, NH
 PREPARED FOR

GFI PARTNERS
 LOWELL ROAD
 PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER
5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
EROSION CONTROL PLAN - D
 PROJECT #475 SHEET 76 of 80

N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-EROSION.dwg

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203-033-000
 N/F RICHARD W. OLSON
 LISA A. OLSON
 18 HICKORY ST
 HUDSON, NH 03051

203-034-000
 N/F CHARLES & MARY
 BOISSONNEAULT
 20 HICKORY STREET
 HUDSON, NH 03051

203-035-000
 N/F DONALD & DEBORAH
 OUELLETTE FAMILY TRUST
 DONALD H. OUELLETTE, TR
 DEBORAH A. OUELLETTE, TR
 22 HICKORY ST
 HUDSON, NH 03051

203-036-000
 N/F DONALD J. CHARTRAND
 PAMELA M. CHARTRAND
 24 HICKORY ST
 HUDSON, NH 03051

PROPOSED 100'
 CONSERVATION EASEMENT

SILT SOCK (TYP)

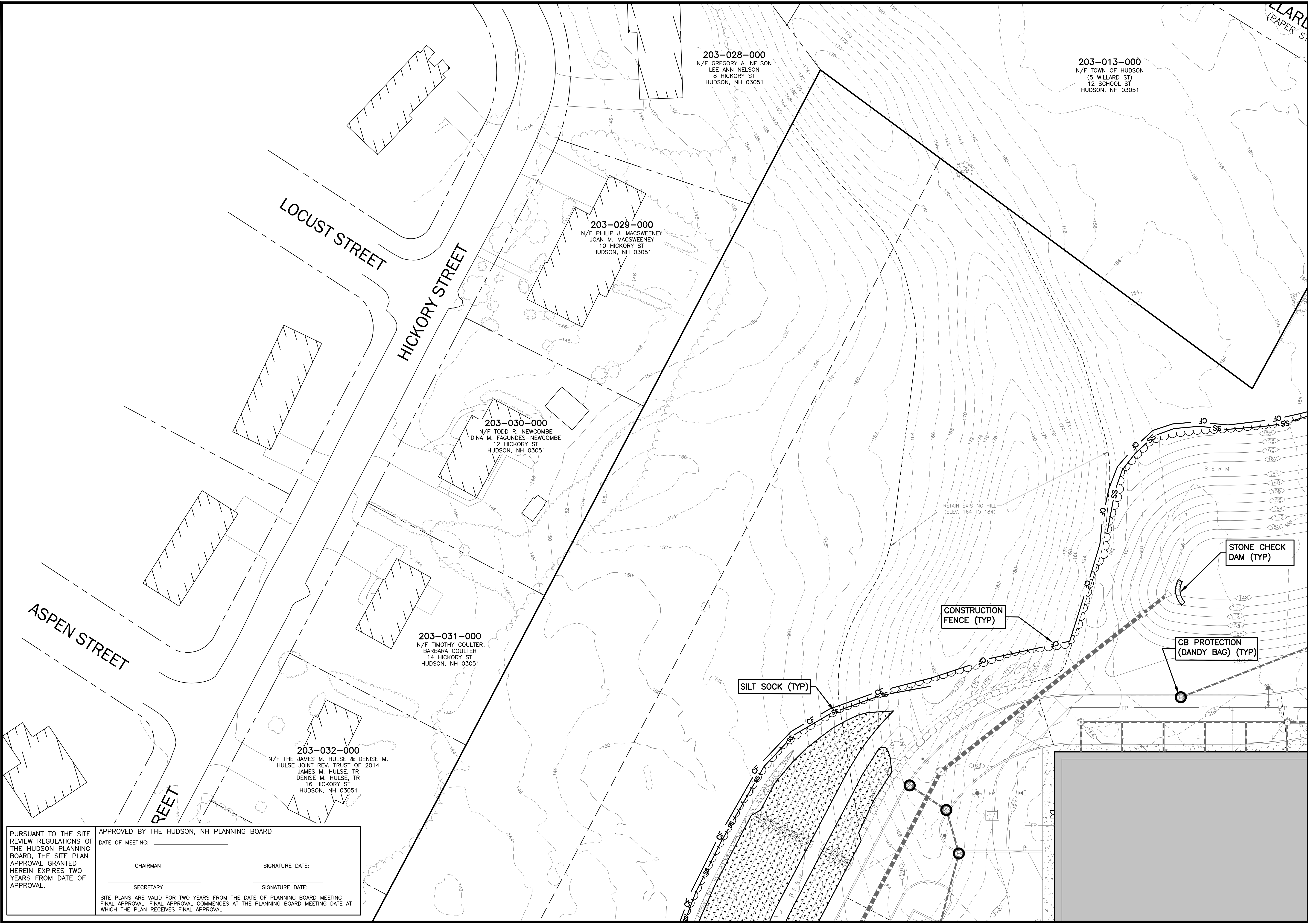
CONSTRUCTION FENCE (TYP)

STONE CHECK DAM (TYP)

CB PROTECTION
 (DANDY BAG) (TYP)

WATER TANK FACILITY

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-EROSION.dwg



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 Surveyors

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1 INCH = 30 FEET

SHEET INDEX

E	F	G
D		H
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REVISIONS:

REV.	DATE:	COMMENT:	BY:
1	9/20/21	MISC. REVS	WA
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DRAWN BY: WA
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 DEED REF:

PROJECT:
SITE PLAN
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH

GFI PARTNERS

LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
EROSION CONTROL PLAN - E

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

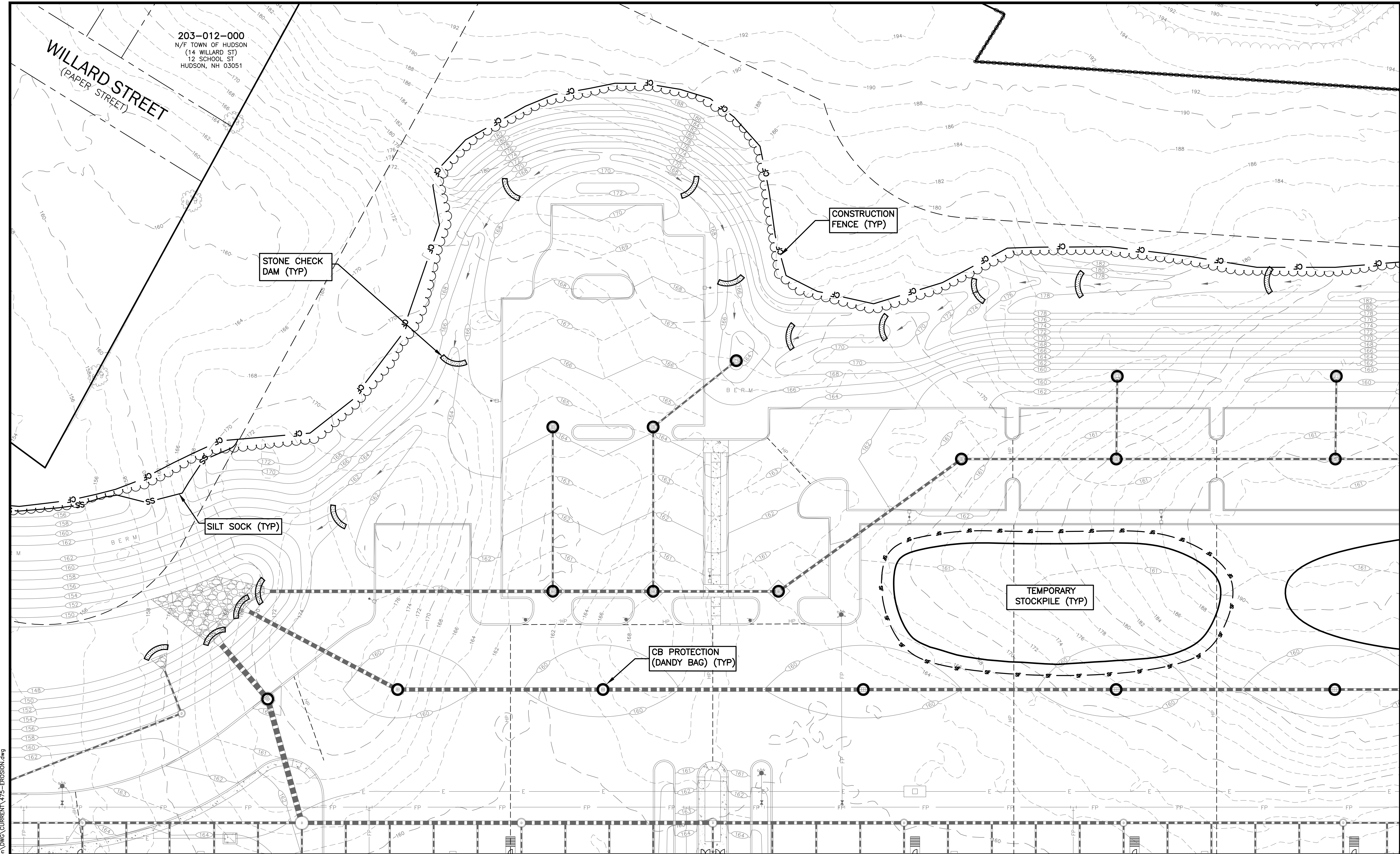
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____

SECRETARY _____ SIGNATURE DATE: _____

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203-012-000
 N/F TOWN OF HUDSON
 (14 WILLARD ST)
 12 SCHOOL ST
 HUDSON, NH 03051

WILLARD STREET
 (PAPER STREET)

STONE CHECK DAM (TYP)

CONSTRUCTION FENCE (TYP)

SILTS SOCK (TYP)

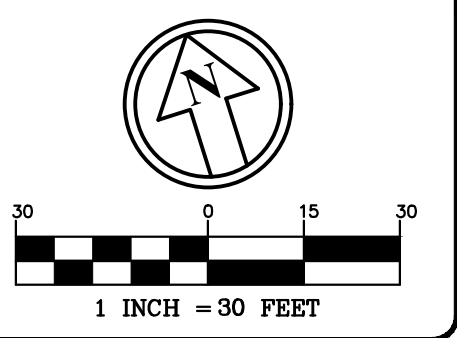
TEMPORARY STOCKPILE (TYP)

CB PROTECTION (DANDY BAG) (TYP)



The Dubai Group, Inc.
 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462

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 Planners
 Surveyors
 TheDubayGroup.com



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D		H
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3	10/5/21	MISC. REVS	JUG
4	11/18/21	DRAINAGE REVS	SUK
5	11/23/21	MISC. REVS	WA
6	1/11/22	MISC. REVS	SUK

DRAWN BY: WA
 CHECKED BY: KRD
 DATE: AUG. 3, 2021
 SCALE: 1" = 30'
 FILE: 475-EROSION
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER
5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
EROSION CONTROL PLAN - F

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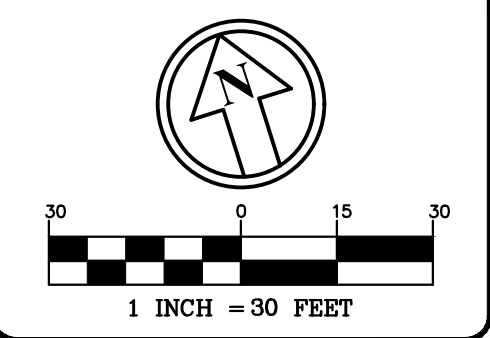
204-006-000
 N/F FOX HOLLOW CONDOMINIUM ASSOC.
 C/O GREAT NORTH PROPERTY MGMT
 (FOX HOLLOW DR)
 636 DANIEL WEBSTER HWY
 MERRIMACK, NH 03054

209-001-001
 N/F 5 WAY REALTY TRUST
 PETER HORNE, TR
 PO BOX 1435
 N. HAMPTON, NH 03862



The Dubai Group, Inc.
 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462

Engineers
 Planners
 Surveyors
 TheDubayGroup.com



E	F	G
D		H
C	B	A

SHEET INDEX

REV.	DATE	REVISIONS:	BY:
1	9/20/21	MISC. REVS	WA
3	10/5/21	MISC. REVS	JUG
4	11/18/21	DRAINAGE REVS	SJK
6	1/11/22	MISC. REVS	SJK

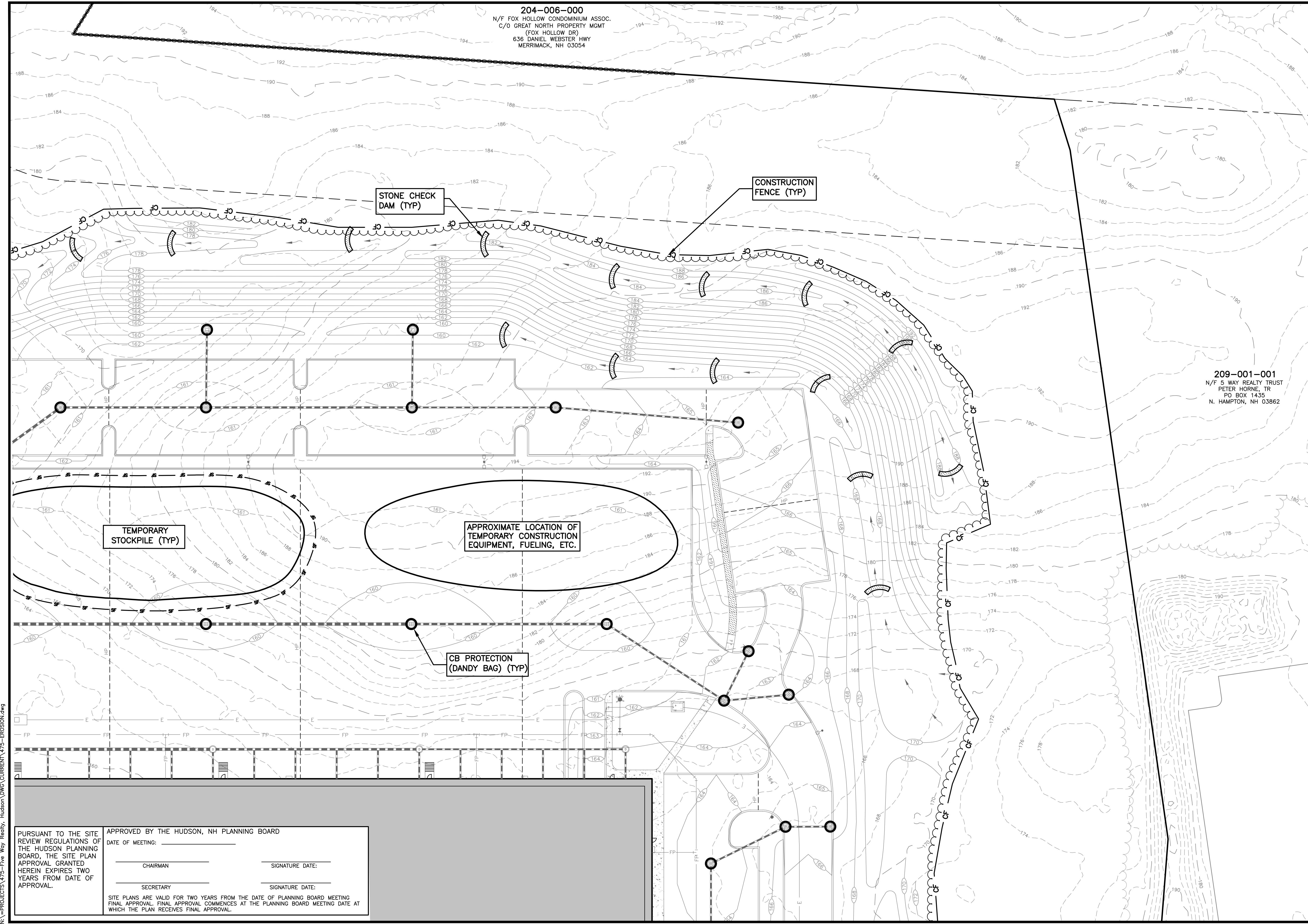
DRAWN BY: WA
 CHECKED BY: KRD
 DATE: AUG. 3, 2021
 SCALE: 1" = 30'
 FILE: 475-EROSION
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER
5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
EROSION CONTROL PLAN - G



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

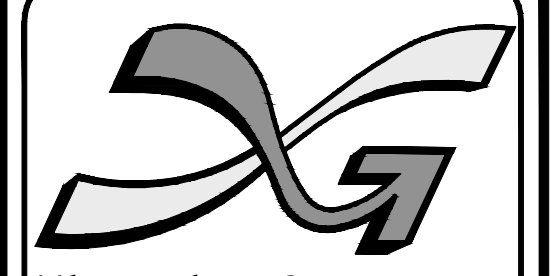
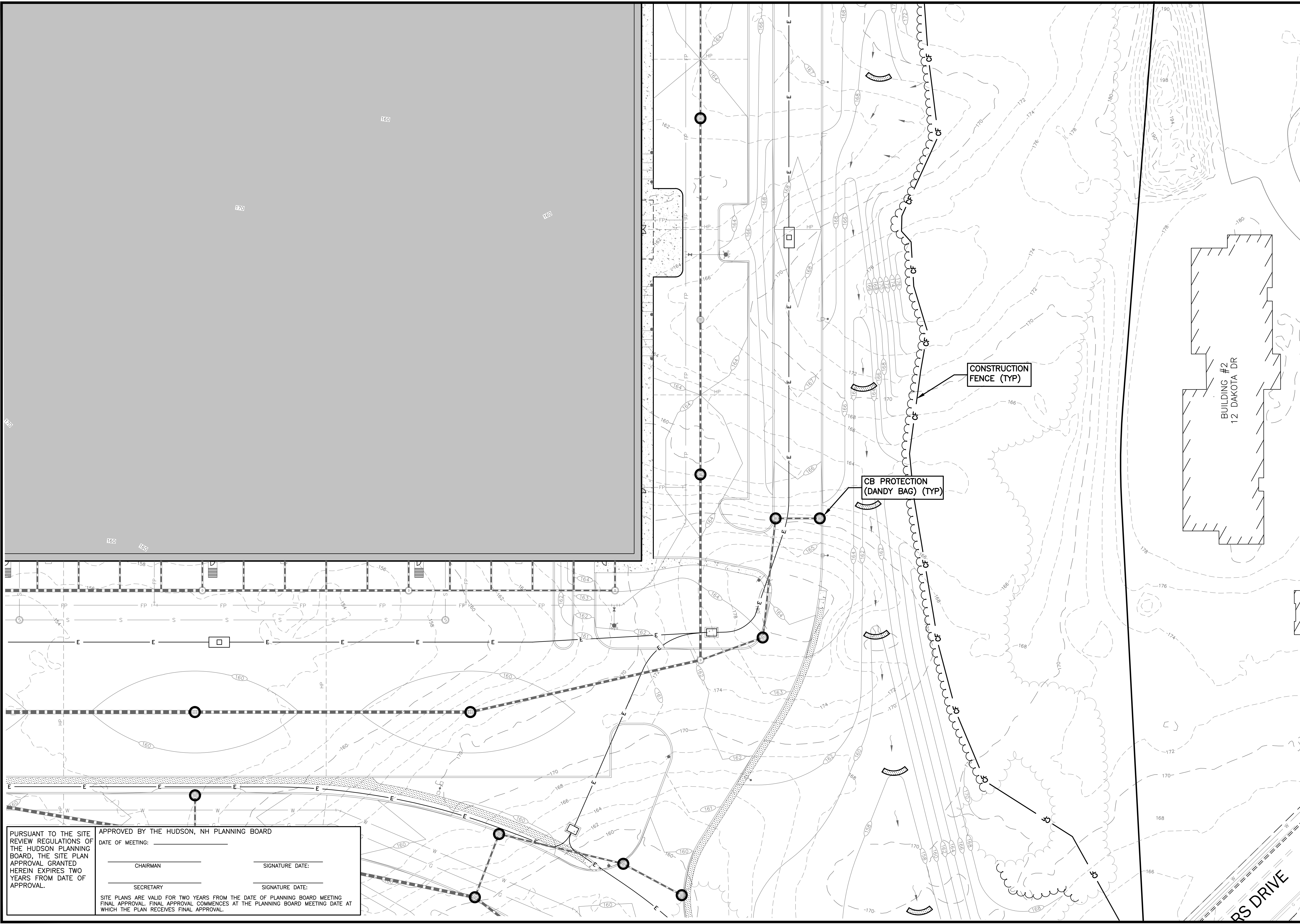
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____
 SECRETARY _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

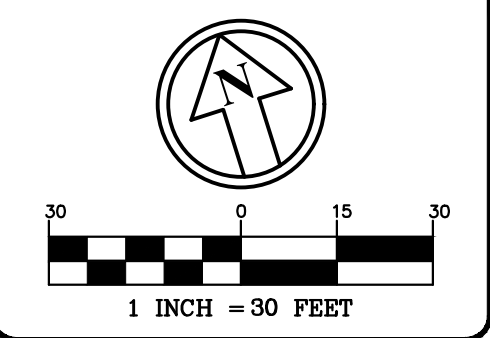
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SHEET TITLE:
EROSION CONTROL PLAN - H

PROJECT #475 SHEET 80 of 80

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CHAIRMAN _____ SIGNATURE DATE: _____
 SECRETARY _____ SIGNATURE DATE: _____

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290-2 Definitions

CRITICAL AREA -- Disturbed area of any size within 50 feet of a stream, bog, water body, or poorly or very poorly drained soils; or disturbed areas exceeding 2,000 square feet in highly erodible soils; or disturbed areas of more than 25 feet in length on slopes greater than 10%.

DISCONNECTED IMPERVIOUS COVER -- Impervious cover that directs stormwater runoff to on-site vegetated areas to allow infiltration into the soil or be filtered by overland flow such that the stormwater is not directly released from a site to off-site drainage infrastructure or adjacent water bodies or wetlands.

EFFECTIVE IMPERVIOUS AREA -- Impervious cover that discharges stormwater runoff directly to other paved surfaces, off-site drainage infrastructure or adjacent water bodies or wetlands.

GROUNDWATER RECHARGE VOLUME (GRV) -- Volume of runoff to be infiltrated based on existing soils as calculated in accordance with AOT criteria.

STABILIZED SOIL --
A. When the soil erosion rate approaches that of undisturbed soils, soils which are disturbed shall be considered protected when covered with a healthy and stabilized when one of the following is achieved:
 (1) A minimum of 85% vegetative cover has been established;
 (2) A minimum of 3 inches of non-erosive material such as stone or riprap has been placed; or
 (3) Erosion control blankets have been installed in accordance with AOT criteria.
 B. Note: Measures listed under Subsections A(2) and (3) are considered temporary and ultimately, the site needs to be fully vegetated or have a non-erodible surface.

WATER QUALITY VOLUME -- Volume of runoff to be retained or treated as calculated in accordance with N.H. Code Admin. R. Part Env-Wq 1504.10.

290-3 Applicability for a Stormwater Management and Erosion Control Plan

- A. STORMWATER MANAGEMENT AND EROSION CONTROL PLAN (SMECP)
 - (1) A cumulative disturbed area exceeding 20,000 square feet.

290-4 Application Plan Review and Approval

D. The Planning Board may waive certain requirements that are not relevant or applicable to the proposed project.

F. After Planning Board approval of the SMECP, and as established in the Notice of Decision, the property owner of record shall record at the Registry of Deeds documentation sufficient to provide notice to all persons that may acquire any property that the property is subject to the requirements and responsibilities described within the approved SMECP, including the operation and maintenance requirements and all BMPs. The notice shall comply with applicable requirements for Registry recording.

290-5 Post-Construction Stormwater Management Standards

- A. Basic Post-Construction Stormwater Management Standards: Include a narrative and appropriate design details demonstrating how standards are met as well as the construction and erosion control related items listed in § 290-6:
 (1) Low-Impact Development (LID) planning and design strategies have been included to the maximum extent practical, to reduce the disturbance and impervious cover, minimize the volume of stormwater runoff discharged from the site, as well as preserve and protect existing vegetation. If LID measures are determined to be impractical or inappropriate, document in writing why LID strategies or measures are not appropriate or practical for the particular site.
 (2) Stormwater runoff from developed portions of the site shall be treated on site to the maximum extent practicable and not discharged directly to municipal drainage systems, privately owned drainage systems or to surface water bodies and wetlands that will cause adverse water quality impacts or additional flooding.
 (3) Minimize the amount of effective impervious area through use of permeable pavement, capture/reuse measures or other methods designed to disconnect impervious area and retain/infiltrate water on site through vegetative islands, rain gardens, bioretention systems, tree box filters and/or filter strips.
 (4) Maintain existing groundwater recharge volume GRv in accordance with AOT. All groundwater recharge systems shall require on-site test pit and percolation test data to be submitted as part of the review.
 (5) Implement measures to control the post-development peak rate runoff so that it does not exceed pre-development runoff. Drainage analyses shall include calculations comparing pre-and post-development stormwater runoff rates (cubic feet/second) and volumes (cubic feet) for the two-, ten-, twenty-five-, and fifty-year twenty-four-hour storm events.
 (6) Stormwater management BMP sizing and design shall be based on the extreme precipitation tables per AOT.
 (7) The drainage system design shall not result in flooding or functional impairment to streets, adjacent properties, downstream properties, soils, or vegetation while accounting for upstream and upgradient runoff that flows onto, over, or through the site to be developed or redeveloped and provide for this contribution of runoff.
 (8) Where practical, native site vegetation shall be retained, protected, or supplemented. Vegetation removal shall be done in a manner that minimizes soil erosion.
 (9) Seasonal high-water table elevations must be accounted for in all BMP designs.
 (10) Locate stormwater management and erosion and sediment control practices outside any protected buffer zones unless otherwise approved by the Planning Board.
 (11) Design and size permanent stormwater management measures in accordance with the design guidelines and sizing criteria per NHDES/AOT.
 (12) Long-term maintenance plan and agreement shall meet the requirements of 290-8.
 (13) Design salt storage areas to be fully covered with permanent or semipermanent measures and locate salt loading/off-loading areas to prevent runoff from draining directly to receiving waters and shall be maintained with good housekeeping measures in accordance with NHDES published guidance. Runoff from snow and salt storage areas shall be directed to treatment areas before discharging to receiving waters or allowed to infiltrate into the groundwater.

- B. Enhanced Stormwater Management Standards that will Disturb 40,000 SF or more:
 (1) New Development: In addition to the Basic Stormwater Management Standards in Subsection A above, shall also meet one of the following enhanced stormwater management requirements:
 (a) Incorporate stormwater treatment BMPs into the project design that are designed to retain the Water Quality Volume generated from the total post-construction impervious area to the maximum extent practicable.
 (b) Incorporate stormwater treatment BMPs designed to remove 80% of the average annual Total Suspended Solids (TSS) load and 50% of the average annual Total Phosphorus (TP) load generated from the total post-construction impervious area to the maximum extent practicable.

290-6 Construction Erosion Control and Stormwater Standards.

- A. Temporary/Construction Stormwater Management Design. If a Stormwater Pollution Prevention Plan (SWPPP) has been prepared to comply with the EPA Construction General Permit (CGP), the SWPPP can also be utilized to satisfy related portions of the required SMECP contents, provided that the listed required elements are included in the SWPPP.
 (1) The selection, sizing, installation and maintenance of all erosion and sediment control measures included in the SMECP shall meet, as a minimum, the Best Management Practice design guidance set forth via the AOT process.
 (2) Whenever practical, natural vegetation shall be retained, protected and/or supplemented. The clearing of vegetation shall be done in a manner that minimizes soil erosion. Vegetated areas to be retained should be clearly marked and protected using construction fencing or similar means.
 (3) Soil disturbance shall be avoided within established buffer setbacks as established by the Town Wetland and Conservation Overlay District.
 (4) The area of disturbance shall be kept to a minimum through use of Low-Impact Development (LID) site design and treatment methods to preserve and protect the integrity of existing natural resources to the maximum extent practical.
 (5) Construction site disturbance should be limited to only disturb the area necessary for a particular construction activity or phase of development especially in winter months.
 (6) Adequate temporary solid waste and sanitary waste disposal facilities shall be maintained on site during the construction period, as necessary.
 (7) Adequate construction stone access pads shall be installed and maintained at site entrance and exit locations to prevent mud and sediment from being tracked on to pavement.
 (8) An on-site pre-construction meeting shall be held with the Town Engineer or designated representative prior to initiating earth moving activities and after perimeter erosion control measures, protective fencing, waste disposal and construction access pads have been installed.
 (9) Disturbed soil areas that will remain idle for more than 30 days shall be temporarily stabilized as soon as practicable but no later than five days from the initial disturbance with seed and mulch, erosion control blankets or crushed stone or other suitable measures approved by the Town Engineer or designated representative. All disturbed soil areas that have achieved final grading shall be permanently stabilized within three days following final grading.
 (10) Up-gradient surface runoff from undisturbed areas shall be diverted away from disturbed areas where feasible or carried non-erosively through the project area. Integrity of downstream drainage systems shall be maintained.
 (11) Natural drainage patterns and conveyances, including intermittent streams, swales, and drainage ditches shall be maintained to the extent practical to convey runoff from the project area. Perimeter controls shall not be placed within wetlands or intermittent and perennial stream channels.
 (12) Disturbed areas that will remain idle over the winter period shall employ winter stabilization measures per AOT criteria.
 (13) All erosion and sediment control measures shall be designed and installed in accordance with guidelines via AOT criteria.
 (14) All erosion control measures and related drainage ways shall be routinely inspected and maintained by a qualified professional to ensure measures remain in functioning condition until final site stabilization is accomplished. See § 290-6.
 (15) All temporary erosion and sediment control measures and accumulated sediment shall be removed after final site stabilization.

290-7 Stormwater Management and Erosion Control Plan (SMECP) Contents.

- A. SMECP Contents/Descriptions:
 (1) Proposed development activity, the construction period and timing, the proposed changes in existing land use, land cover and changes in impervious areas and how the various local and state stormwater management and erosion control standards will be met.
 (2) On-site and adjacent wetlands, streams and other water bodies or natural resources and the methods used to identify these resources.
 (3) Low-Impact Development (LID) practices and other protective measures to limit impacts to adjacent natural resources and water bodies.
 (4) Applicable buffer setbacks, steep slopes, critical areas, existing mature vegetation, unique habitat conditions, 100-year floodplain limits, man-made and natural drainage conveyances and constraints and known water quality.
 (5) Proposed erosion control and stormwater treatment measures, dewatering methods, methods and calculations of stormwater runoff rate and volumes and BMP sizing, demonstration of no downstream impacts, inspection and maintenance procedures including discussion of roles and responsibilities and contingency measures for extreme precipitation events during construction.
 (6) Calculations for the infiltration or exfiltration system, test pit information including estimated seasonal high-water table elevation for any proposed infiltrating or exfiltrating device. These calculations should also account for frozen ground conditions, when the devices may not function at their optimal design.
 (8) The SMECP and Drainage Plans shall be PE certified.
 (9) An erosion control inspection and maintenance plan that describes inspection protocols, frequency, reporting, roles and responsibilities, contact information and contingency plans for extreme weather events.
 (10) A long-term post-construction stormwater BMP maintenance plan that describes inspection and maintenance procedures for all post-construction stormwater control measures including a description of the responsible party that will perform the long-term maintenance, reporting procedures and process for corrective actions.

- B. Plans of both existing and proposed conditions:
 (1) Locus map.
 (2) Parcel map showing property boundaries and any existing and proposed easements.
 (3) North arrow, scale, date and existing and proposed topographic contours.
 (4) Existing and proposed structures, utilities, roads and limits of other paved areas.
 (5) Locations and limits of CRITICAL AREAS within the Project Area and within 200 feet of project boundary and surface waters and wetlands.
 (6) Surface water and wetlands, drainage patterns, and watershed boundaries.
 (7) Limits of disturbance, areas of cut and fill and limits and types of existing mature vegetation.
 (8) Locations and detail notes of the sediment and erosion control measures including temporary and permanent stabilization measures, perimeter controls, slope stabilization, construction access pads and spill containment measures to be used at various locations and stages of construction.
 (9) Proposed stockpiles, equipment storage and refueling areas, and a plan for stump and debris removal.
 (10) Identify locations and type of sanitary and solid waste disposal facilities, if applicable.
 (11) Construction schedule, phasing and grading details.
 (12) Extent of 100-year floodplain boundaries if published or determined.
 (13) Soils data.
 (14) Identify wetland impact areas (Not Applicable)
 (15) Identification of permanent stormwater treatment BMPs and associated design and sizing details.
 (16) Locations of post-construction snow storage areas and temporary snow storage area during construction.
 (17) The direction of flow of runoff using arrows and location, elevation, and size of all existing and proposed catch basins, dry wells, drainage ditches, swales, retention basins, and storm sewers.
 (18) As applicable, test pit log forms, subsurface inspection results and infiltration rates.
 (19) Location and description of nearest receiving water (include at least 1/4 mile downstream), drainage channels, conveyance systems and information on water quality impairments.
 (20) A demonstration or explanation showing the adequate capacity of the downstream system to handle flow conditions after Development.
 (21) A demonstration or explanation showing that the Development of the site shall not affect the downstream systems negatively.

290-8 Required Actions following Plan Approval and Prior to Construction.

- A. Construction Plan Documents and Approvals:
 (1) Stamped copies required to Town.
 (2) Planning Department to confirm/annotate official construction plan set.
 (4) Bonding may be required by Town Engineer.
 (5) Inspection/Monitoring Escrows may be required by the Town.
 (6) Owner finalizes EPA NOT in accordance with Federal Regulations
 B. Roles and Responsibilities:
 (1) Owner is legally responsible for implementing/constructing/disposition of all stormwater management and erosion control measures required by the provisions of this regulation.
 (2) Owner is legally responsible for implementing the SMECP.
 (6) Provide an emergency contact name and number for stormwater management emergency incidents. The contact name and number shall remain current during the life of the permit and shall be able to respond to an emergency as soon as possible and no more than four hours at any given time.
 C. Preconstruction Meeting:
 (1) Mandatory with the Town Engineer at least two weeks prior to commencement of construction. Perimeter erosion controls and any markings or protective fencing indicating no-disturbance areas shall be installed and be clearly visible prior to the preconstruction meeting.

290-9 Inspection and Maintenance Plan.

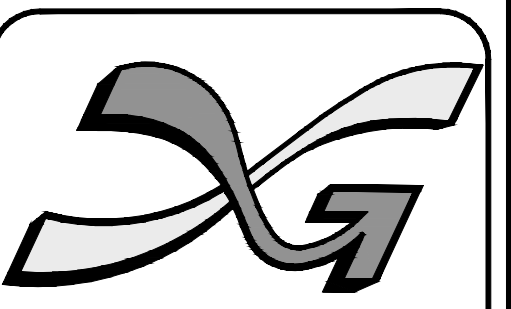
- A. Long-term Operations and Maintenance O&M Plan: Execute an enforceable operations and maintenance plan for both erosion control measures and permanent stormwater treatment measures as well as related protective covenants or land preservation commitments with a long-term agreement that specifies who will be responsible for inspecting and maintaining the long-term integrity and the stormwater BMP functions and protected area. The operations and maintenance shall be provided to the Planning Board as part of the application prior to issuance of any local permits for land disturbance and construction activities. The Plan shall include the following items at a minimum:
 (1) This agreement will identify the Owner/ Operator and their successor that will be responsible for perform the inspections and maintenance and the ability to access these BMPs including all maintenance easements required to access and inspect the stormwater treatment practices, and to perform routine maintenance as necessary to ensure proper functioning of the stormwater system.
 (2) During the construction period, inspections shall be conducted at least once every 7 days or once every 14 days and within 24 hours of the end of a storm event of 0.5 inch or greater.
 (3) Permanent Stormwater BMPs shall be inspected annually following post-construction.
 (4) The O&M plan shall specify the parties responsible for the proper maintenance of all stormwater treatment practices.
 (5) The approved plan shall be incorporated into the Development Agreement and recorded at the HCRD. The narrative shall be in the form of a typical SITE PLAN Management or Development Agreement, or as otherwise set forth by the Planning Board.
 B. Inspection reports are to be kept on-site in a location easily accessible to a Town Engineer.

290-10 Other Required Permits.

- A. NHDES AOT
 B. EPA NOI/SWPPP

290-11 Post-Construction Reports and Recordkeeping.

- A. Treatment BMPs shall be inspected annually and maintained as needed, and documented:
 (1) All inspections records must be made available to the Town upon request.
 (2) As-Built Plans shall be submitted to the Town within 2 years upon project completion.
 (3) EPA NOT copy shall be provided to the Town upon full completion/stabilization.
 B/C Notification of spills or other non-stormwater discharges - required of Owner to Town.



The Dubai Group, Inc.

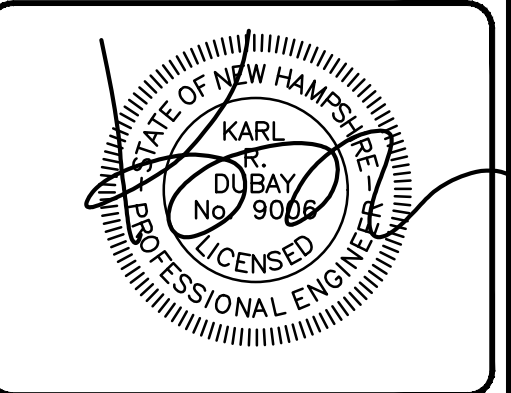
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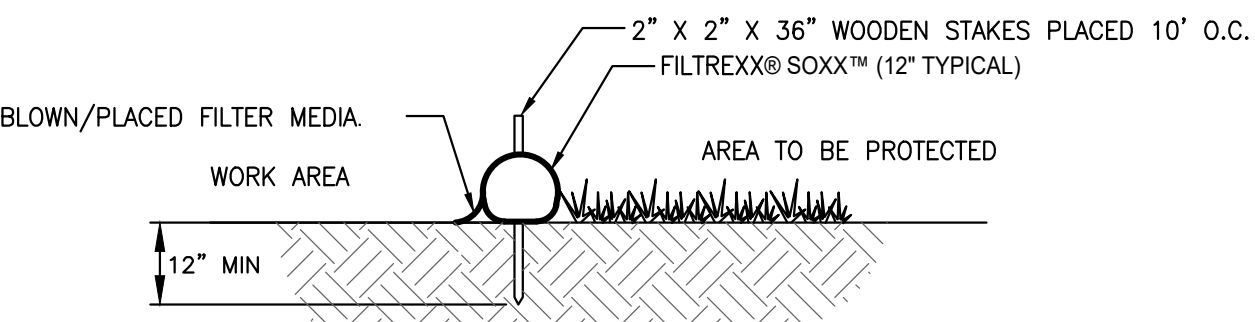
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SITE DETAILS 1

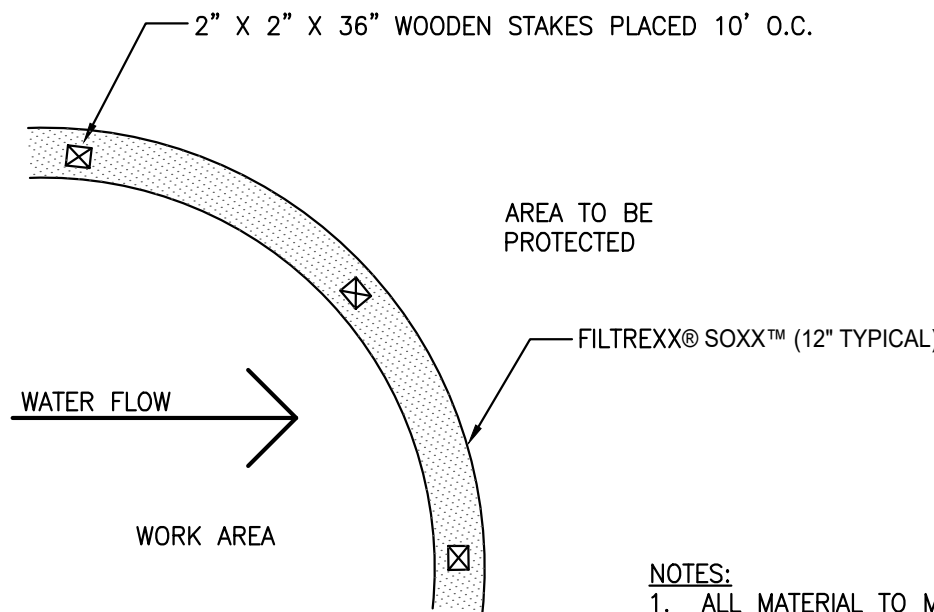
PROJECT #475 SHEET D1

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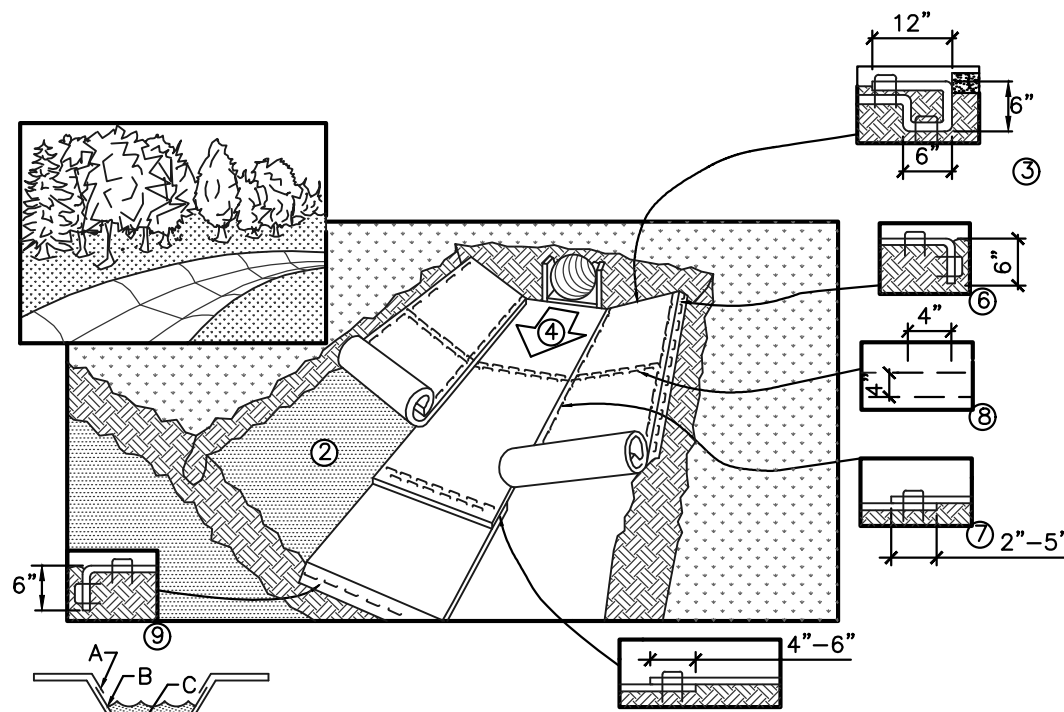
SECTION nts



PLAN nts

NOTES:
 1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
 2. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

FILTREXX. SEDIMENT CONTROL NTS



CHANNEL INSTALLATION SPECIFICATIONS

- INSTALL PRODUCT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH THE PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4"(10") ON CENTER TO SECURE BLANKETS.
- FULL-LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2"-5" (DEPENDING ON BLANKET TYPE) AND STAPLED TO ENSURE PROPER SEAM ALIGNMENT. PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE BLANKET BEING OVERLAPPED.
- IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30" TO 40" INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF CHANNEL.

THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

ROLLED EROSION CONTROL MATTING NOT TO SCALE

- CRITICAL POINTS
 A. OVERLAPS AND SEAMS
 B. PROJECTED WATER LINE
 C. CHANNEL BOTTOM/SIDE SLOPE VERTICES
- HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
 - ** IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 cm) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

EROSION CONTROL NOTES

CONSTRUCTION SEQUENCE

- PRIOR TO CONSTRUCTION, AN INITIAL PRE CONSTRUCTION MEETING(S) SHALL TAKE PLACE WITH THE CONTRACTOR, OWNER, AND TOWN AGENTS.
- THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE EXCEEDS ONE ACRE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTED IS RESPONSIBLE, OR ANOTHER OPERATOR/PERMITEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
- INSTALL PERIMETER CONTROLS, I.E SILT FENCE AND/OR SILTSOXX AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATION.
- CONSTRUCT TEMPORARY CONSTRUCTION EXIT.
- CLEAR AND GRUB WITHIN AREAS OF DISTURBANCE UNLESS OTHERWISE NOTED.
- REMOVE AND STOCKPILE MATERIALS AS REQUIRED. STOCKPILE SHALL BE SURROUNDED WITH AN EROSION CONTROL DEVICE TO PREVENT EROSION. STOCKPILE AREAS ARE LIMITED AND THUS MANAGEMENT OF MATERIALS WILL BE REQUIRED.
- SHAPE PROPOSED DRAINAGE PONDS, DITCHES AND/OR SWALES.
- PERFORM ROUGH SITE GRADING. INSTALL DRAINAGE SYSTEMS AND UTILITIES.
- INSTALL UNDERGROUND UTILITIES AND PLACE EROSION CONTROL MEASURES AROUND ANY CATCH BASINS PRIOR TO DIRECTING ANY RUNOFF TO THEM. DRAINAGE SYSTEMS SHALL BE CONSTRUCTED AND STABILIZED PRIOR TO DIRECTING ANY FLOW TO THEM. ALL SIDE SLOPES SHALL BE STABILIZED WITHIN 72 HOURS.
- LAYOUT AND INSTALL ALL BURIED UTILITIES AND SERVICES UP TO 10' OF THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIES.
- FINISH GRADE SITE, BACKFILL ROAD SUBBASE GRAVEL IN TWO, COMPACTED LIFTS. PROVIDE TEMPORARY EROSION PROTECTION TO DITCHES AND SWALES WHERE APPLICABLE, IN THE FORM OF MULCHING, JUTE MATTING OR STONE CHECK DAMS.
- INSTALL EXTERIOR LIGHT POLE BASES, AND MAKE FINAL CONNECTIONS TO CONDUIT.
- ANY PERMANENT DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PLACE BINDER LAYER OF PAVEMENT, THEN RAISE CATCH BASIN FRAMES TO FINAL GRADE. REINSTALL BASIN INLET PROTECTION.
- AFTER ALL DRAINAGE AND ROADWAY IMPROVEMENTS (NOT INCLUDING FINAL LAYER OF PAVEMENT) HAVE BEEN COMPLETED, BEGIN CONSTRUCTION OF THE BUILDING FOUNDATIONS AND CONNECT TO SITE UTILITIES. BEGIN BUILDING CONSTRUCTION.
- PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.
- AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING LANDSCAPED WORK.
- CONSTRUCT ASPHALT WEARING COURSE.
- REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

GENERAL CONSTRUCTION NOTES

- THE TEMPORARY BMPs ASSOCIATED WITH THIS PROJECT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND LANDOWNER, WHO WILL BE RESPONSIBLE FOR INSPECTION, OPERATION, AND MAINTENANCE.
- EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION OF THE NHDOT". EROSION CONTROL SHALL BE INSTALLED DOWNHILL OF ALL AREAS WHERE WORK WILL EXPOSE UNPROTECTED SOIL TO PREVENT SEDIMENT FROM ENTERING CATCH BASINS, DRAINAGE STRUCTURES AND/OR DRAINAGEWAYS. INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES PRIOR TO ANY EARTH MOVING OPERATIONS. THE CONTRACTOR SHALL MANAGE THE PROJECT IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
- EROSION CONTROL DEVICES SHALL BE INSTALLED WHERE REQUIRED PRIOR TO ANY ON-SITE GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. EROSION CONTROL MEASURES SHALL BE MAINTAINED DURING DEVELOPMENT AND SHALL BE CHECKED PERIODICALLY AND EXCESS SILT SHALL BE REMOVED.
- ALL DISTURBED AREAS WHICH ARE FINISH GRADED SHALL BE LOAMED (6" MINIMUM) AND SEEDED. SEE SEEDING AND FERTILIZER SPECIFICATION. SEE SLOPE DESIGN AND/OR LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
- ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER SHALL BE MACHINED STRAW MULCHED AND SEEDED WITH SLOPE STABILIZATION SEED MIXTURE TO PREVENT EROSION. STRAW MULCH SHALL BE APPLIED AT A RATE OF 2 TONS/ACRE.
- ALL DRAINAGE SYSTEMS (DITCHES, SWALES, DRAINAGE PONDS/BASINS, ETC.) SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM. STORMWATER FLOWS ARE NOT TO BE DIRECTED TO THESE SYSTEMS UNTIL CONTRIBUTING AREAS HAVE ALSO BEEN FULLY STABILIZED.
- CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH NHDES, EPA & TOWN REQUIREMENTS FOR THE DURATION OF THE PROJECT. WATER FOR DUST CONTROL SHALL BE PROVIDED ON SITE. FUGITIVE DUST IS CONTROLLED IN ACCORDANCE WITH ENV-A 1000.
- ALL EROSION CONTROLS ARE TO BE INSPECTED WEEKLY AND AFTER 0.5" OR GREATER OF RAINFALL WITHIN A 24 HOUR PERIOD.
- ALL FILLS SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED. FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC. AND SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.
- SILT FENCES AND/OR SILTSOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT FENCES AND/OR SILTSOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURE LOCATION.
- PAVED AREAS MUST BE KEPT CLEAN AT ALL TIMES.
- ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING. EXPOSURE OF UNSTABILIZED SOILS SHALL BE TEMPORARILY STABILIZED AS SOON AS POSSIBLE BUT NO LATER THAN 45 DAYS OF INITIAL DISTURBANCE.
- WINTERIZATION EFFORTS FOR AREAS NOT STABILIZED BY NOV. 1ST SHALL BE MADE BY THE APPROPRIATE USE OF MATTING, BLANKETS, MULCH AND SEEDING.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 A. BASE COURSE GRAVELS HAS BEEN INSTALLED IN AREAS TO BE PAVED;

- B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
- C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
- D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

SEEDING SPECIFICATION

- TEMPORARY SEED
 - TEMPORARY VEGETATIVE COVER SHOULD BE APPLIED WHERE EXPOSED SOIL SURFACES WILL NOT BE FINAL GRADED WITHIN 45 DAYS.
 - SEED BED PREPARATION SHALL BE IN ACCORDANCE WITH THE NHDES STORMWATER MANAGEMENT MANUAL VOLUME 3, TEMPORARY VEGETATION SECTION.
- SEEDING MIXTURE

MIXTURE	SPECIES	POUNDS PER ACRE	POUNDS PER 1,000 SQ. FT.
A	WINTER RYE	112	2.50
	OATS	80	2.00
	ANNUAL RYEGRASS	40	1.00
	PERENNIAL RYEGRASS	30	0.12
	TOTAL	262	5.67
- SEEDING SCHEDULE
 - SPRING SEEDING USUALLY GIVES THE BEST RESULTS FOR ALL SEED MIXES OR WITH LEGUMES.
 - PERMANENT SEEDING SHOULD BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST. IF SEEDING CANNOT BE DONE WITHIN THE SPECIFIED SEEDING DATES, MULCH ACCORDING TO THE NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3, CONSTRUCTION PHASE EROSION AND SEDIMENT CONTROLS AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- ESTABLISHING A STAND OF GRASS
 - STONES AND TRASH SHOULD BE REMOVED FROM LOAMED AREAS SO AS NOT TO INTERFERE WITH THE SEEDING PROCESS.
 - WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
 - IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHOULD BE APPLIED DURING THE GROWING SEASON.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHATE FERTILIZER (N-P205-K20) OR EQUIVALENT. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET).
 - FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER
- SEED SHOULD BE SPREAD UNIFORMLY BY A METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDING HAND, CYCLONE SEEDER, DRILL, CULTIPACKER TYPE SEEDER OR HYDROSEEDER.
 - INOCULATE ALL LEGUME SEED WITH THE CORRECT TYPE AND AMOUNT OF INOCULANTS.
 - NORMAL SEEDING DEPTH IS FROM 1/4 TO 1/2 INCH. HYDROSEEDING THAT INCLUDES MULCH MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED TO 1/2 WHEN HYDROSEEDING.
 - WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A ROLLER, OR LIGHT DRAG.
 - THE GRADE "A" OF SEEDING MIXTURE HAS BEEN INCREASED FROM THE AOT STANDARDS TO MEET SECTION 704.1.2 OF THE TOWN OF WINDHAM SPECIFICATIONS OF 1 POUND PER 50 SQUARE YARDS (450 SQUARE FEET). THE BREAKDOWN OF THE SEEDING MIXTURE IS SHOWN BELOW

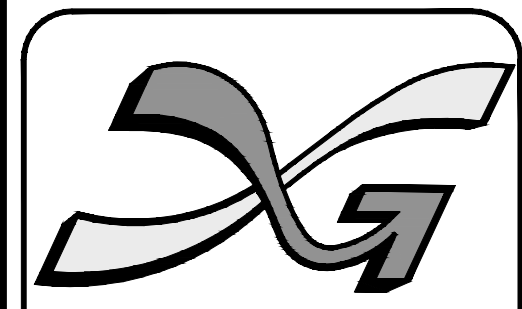
MIXTURE	SPECIES	POUNDS PER ACRE	POUNDS PER 1,000 SQ. FT.
A	TALL FESCUE	45	1.04
	CREEPING RED FESCUE	45	1.04
	REDTOP	7	0.12
	TOTAL	97	2.22
- ALTERNATE PERMANENT SEEDING FOR AREAS NOT RECEIVING LAWN OR LANDSCAPING SHALL BE AS FOLLOWS:
 - THE NEW ENGLAND EROSION CONTROL/RESTORATION MIX CONTAINS A SELECTION OF NATIVE GRASSES AND WILDFLOWERS DESIGNED TO COLONIZE GENERALLY MOIST, RECENTLY DISTURBED SITES WHERE QUICK GROWTH OF VEGETATION IS DESIRED TO STABILIZE THE SOIL SURFACE. THIS MIX IS PARTICULARLY APPROPRIATE FOR DETENTION BASINS WHICH DO NOT NORMALLY HOLD STANDING WATER. THE PLANTS IN THIS MIX CAN TOLERATE INFREQUENT INUNDATION, BUT NOT CONSTANT FLOODING. IN NEW ENGLAND, THE BEST RESULTS ARE OBTAINED WITH A SPRING OR EARLY FALL SEEDING. SUMMER AND FALL SEEDING CAN BE SUCCESSFUL WITH A LIGHT MULCHING OF WEED-FREE STRAW TO CONSERVE MOISTURE. LATE FALL AND WINTER DORMANT SEEDING REQUIRE A SLIGHT INCREASE IN THE SEEDING RATE. FERTILIZATION IS NOT REQUIRED UNLESS THE SOILS ARE PARTICULARLY INFERTILE.
 - APPLICATION RATE: 35 LBS/ACRE 1245 SQ FT/LB
 - SPECIES: SWITCHGRASS (PANICUM VIRGATUM), CREEPING RED FESCUE (FESTUCA RUBRA), VIRGINIA WILD RYE (ELYMUS VIRGINICUS), FOX SEDGE (CAREX VULPINOIDEA), BENTGRASS (AGROSTIS STOLONIFERA), SILKY WILD RYE (ELYMUS VILLOSOUS), NODDING BUR-MAEGOLD (BIDENS CERNUA), SOFT RUSH (JUNCUS EFFUSUS), GRASS-LEAVED GOLDENROD (SOLIDAGO GRAMINIFOLIA), SENSITIVE FERN (ONOCLEA SENSIBILIS), JOE-PYE WEED (EUPATORIUM MACULATUM), BONESET (EUPATORIUM PERFOLIATUM), FLAT-TOP ASTER (ASTER UMBELLATUS), NEW YORK ASTER (ASTER NOV-BELGII), BLUE VERVAIN (VERBENA HASTATA).

WINTER NOTES

- ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS;
- ALL AREAS TO BE PLANTED WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15TH, INCOMPLETE SURFACES TO BE PAVED, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3 OR CRUSHED STONE.

MAINTENANCE AND PROTECTION

- THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT DEVELOPS.
- TO BE ACCEPTABLE, SEEDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH A UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.
- SEEDED AREAS WILL BE FERTILIZED AND RE-SEEDED AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.
- THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY, UNTIL ADEQUATE VEGETATION IS ESTABLISHED.
- THE SILT FENCE AND/OR SILTSOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- SILT FENCE AND/OR SILTSOXX SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SILT FENCE AND/OR SILTSOXX REMOVAL SHALL BE PERMANENTLY SEEDED.

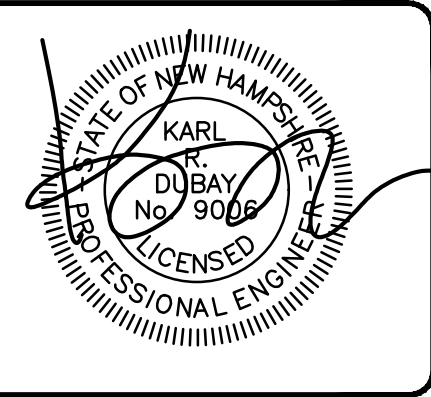


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Engineers
 Planners
 Surveyors

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REV.	DATE	COMMENT	BY.
3	10/5/21	MISC. REVS	WA

DRAWN BY: JGG
 CHECKED BY: KRF
 DATE: AUG. 3, 2021
 SCALE: AS SHOWN
 FILE: 475-DETAILS
 DEED REF: 475-DETAILS

PROJECT: **SITE PLAN
 FRIARS DRIVE
 TAX MAP 209
 LOT 001-000**
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



LOWELL ROAD
 PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

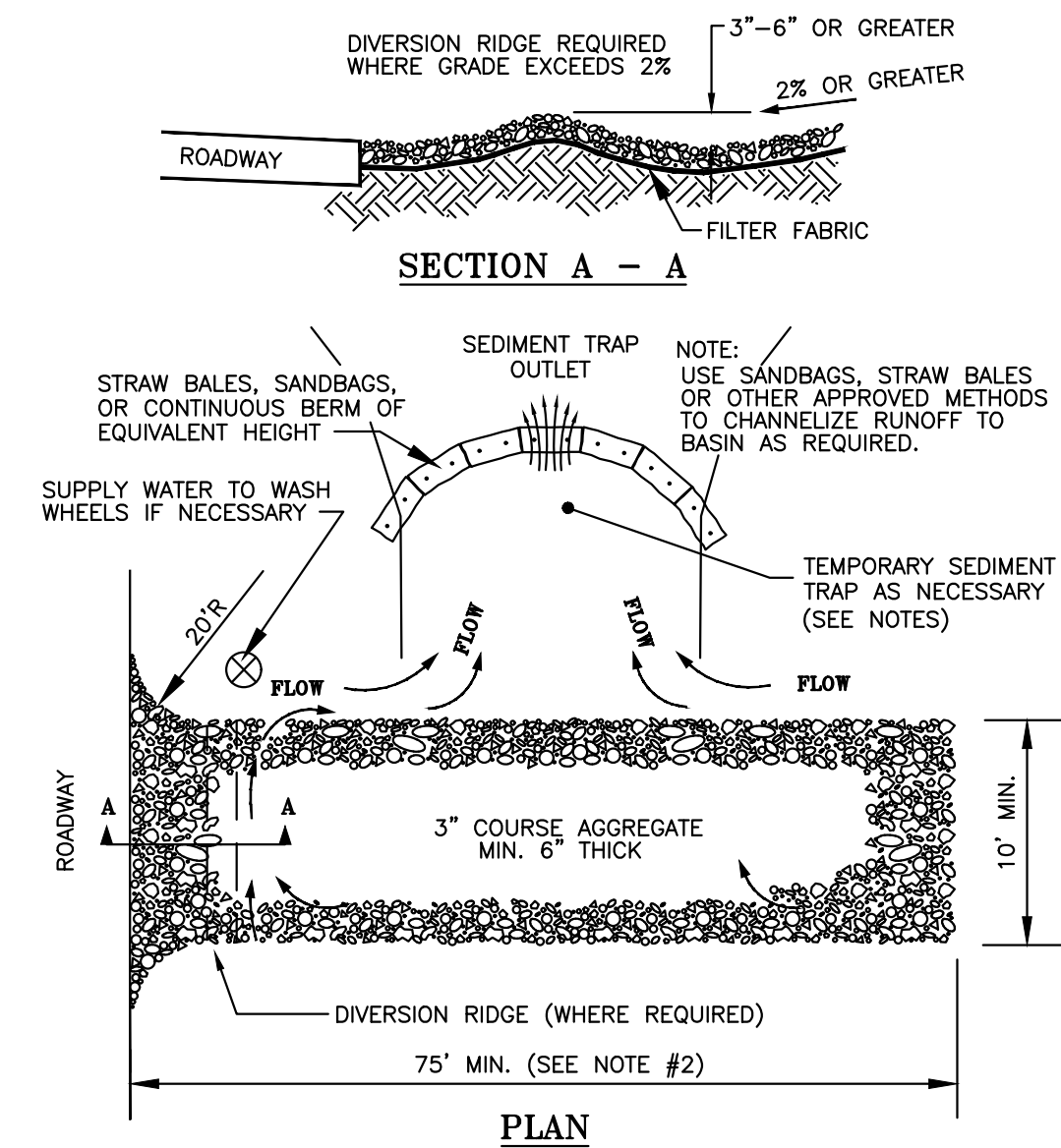
SHEET TITLE:
**SITE
 DETAILS - 2**
 PROJECT #475 SHEET D2

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

 CHAIRMAN SIGNATURE DATE: _____

 SECRETARY SIGNATURE DATE: _____
 SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

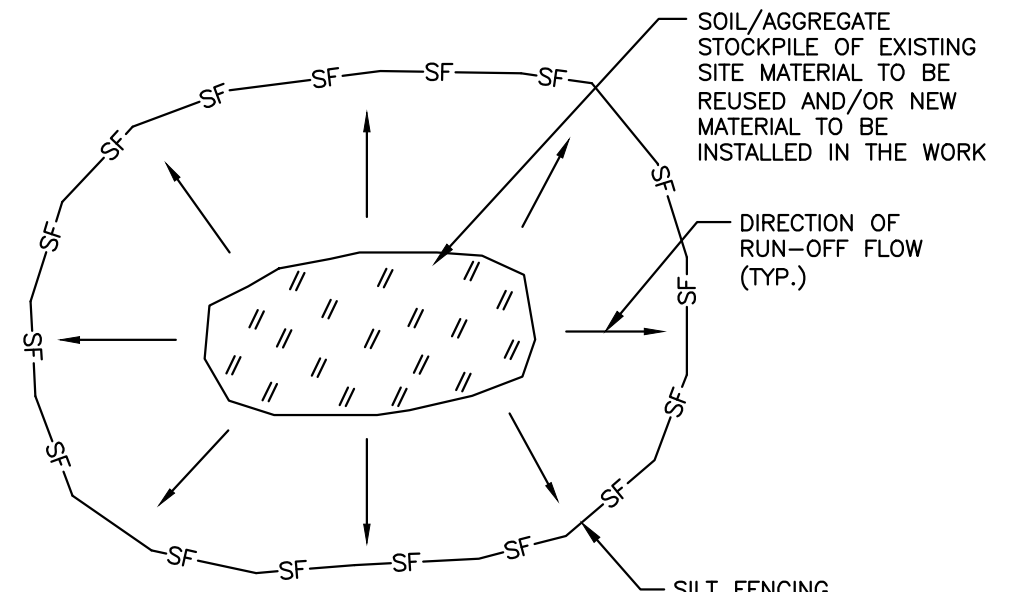


TEMPORARY CONSTRUCTION EXIT

1. THE MINIMUM STONE USED SHALL BE 3-INCH CRUSHED STONE.
2. THE MINIMUM LENGTH OF THE PAD SHALL BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
3. THE PAD SHALL EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
4. THE PAD SHALL SLOPE AWAY FROM THE EXISTING ROADWAY.
5. THE PAD SHALL BE AT LEAST 6 INCHES THICK. A GEOTEXTILE FILTER FABRIC SHALL BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
6. THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
7. A STABILIZED CONSTRUCTION EXIT CONSISTS OF A PAD OF STONE AGGREGATE PLACED ON A GEOTEXTILE FILTER FABRIC, LOCATED AT ANY POINT WHERE TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE TO AN EXISTING ACCESS ROAD WAY OR OTHER PAVED SURFACE. ITS PURPOSE IS TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO PUBLIC ROADS BY CONSTRUCTION VEHICLES. THIS HELPS PROTECT RECEIVING WATERS FROM SEDIMENT CARRIED BY STORMWATER RUNOFF FROM PUBLIC ROADS.
8. ONLY CONSTRUCTION TRAFFIC LEAVING THE SITE SHALL TO USE THE TEMPORARY STABILIZED EXIT. CONSIDER PROVIDING A SEPARATE, UNPROTECTED, ENTRANCE FOR TRAFFIC ENTERING THE SITE. THIS WILL INCREASE THE LONGEVITY OF THE STABILIZED EXIT BY ELIMINATING HEAVY LOADS ENTERING THE SITE AND REDUCING THE TOTAL TRAFFIC OVER THE DEVICE.
9. LOCATE CONSTRUCTION ENTRANCES AS SHOWN ON THE PLAN.
10. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR MAINTENANCE OF ANY MEASURES USED TO TRAP SEDIMENT.
11. THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY.
12. WHEN THE CONTROL PAD BECOMES INEFFECTIVE, THE STONE SHALL BE REMOVED ALONG WITH THE COLLECTED SOIL MATERIAL, REGRADED ON SITE, AND STABILIZED. THE ENTRANCE SHALL THEN BE RECONSTRUCTED.
13. THE CONTRACTOR SHALL SWEEP THE PAVEMENT AT EXITS WHENEVER SOIL MATERIALS ARE TRACKED ONTO THE ADJACENT PAVEMENT OR TRAVELED WAY.
14. WHEN WHEEL WASHING IS REQUIRED, IT SHALL BE CONDUCTED ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS INTO AN APPROVED SEDIMENT-TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.
15. NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHALL BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
16. THESE REQUIREMENTS MAY BE ADJUSTED TO SPECIFIC SITE CONDITIONS PER THE DIRECTION OF JURISDICTIONAL TOWN AND STATE AUTHORITIES, PER SWPPP INSPECTION/MANAGEMENT PROCESSES, AND PER BEST MANAGEMENT PRACTICES.

STABILIZED TRACKING PAD DETAIL

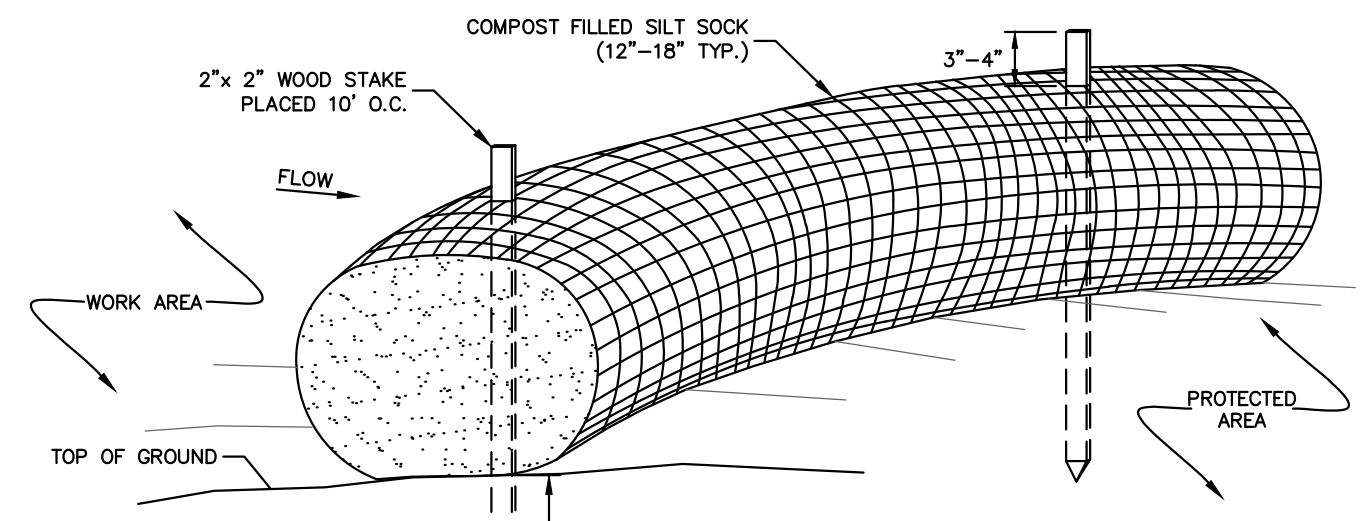
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- NOTES:**
1. ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
 2. RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
 3. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.

MATERIALS STOCKPILE DETAIL

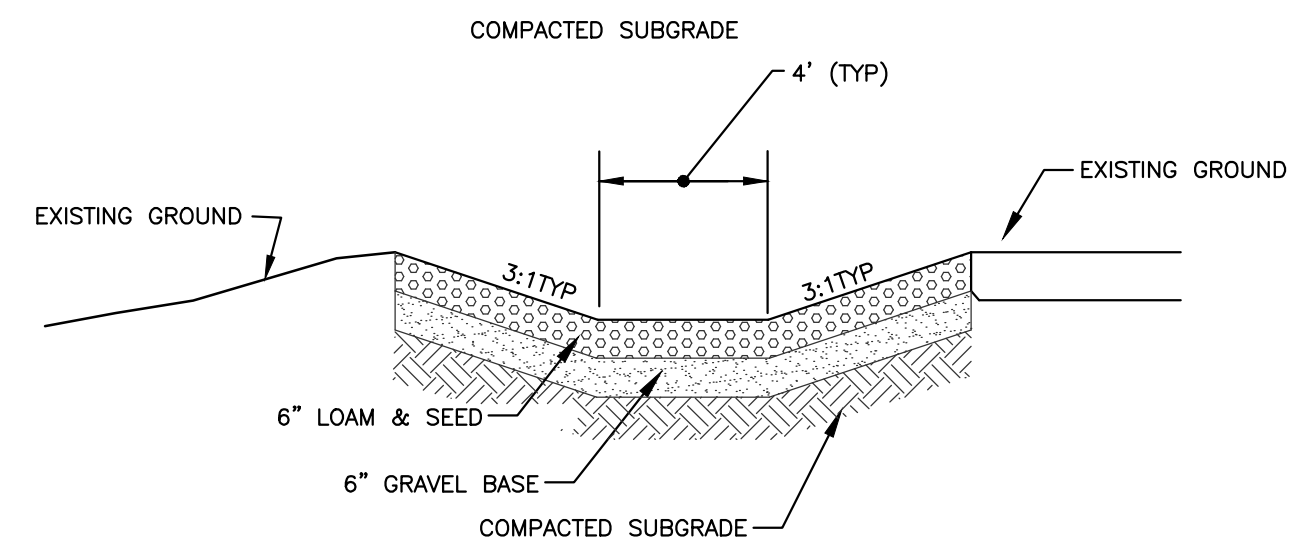
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- NOTES**
1. SILT SOCK SHALL BE FILTREXX™ SILT SOCK™ OR APPROVED EQUIVALENT.
 2. SEE SPECIFICATIONS FOR SOCK SIZE AND COMPOST FILL REQUIREMENTS.
 3. SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED.
 4. COMPOST MATERIAL SHALL BE DISPersed ON SITE, AS DETERMINED BY THE ENGINEER.

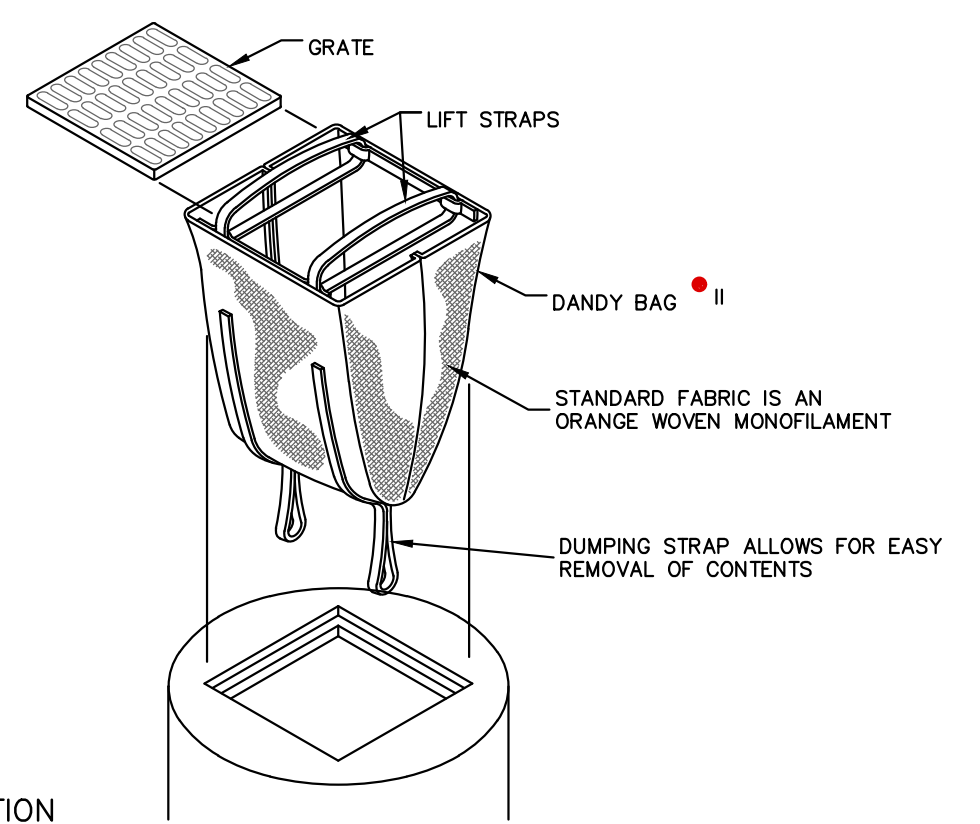
SILT SOCK DETAIL

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TYPICAL GRASS LINED SWALE

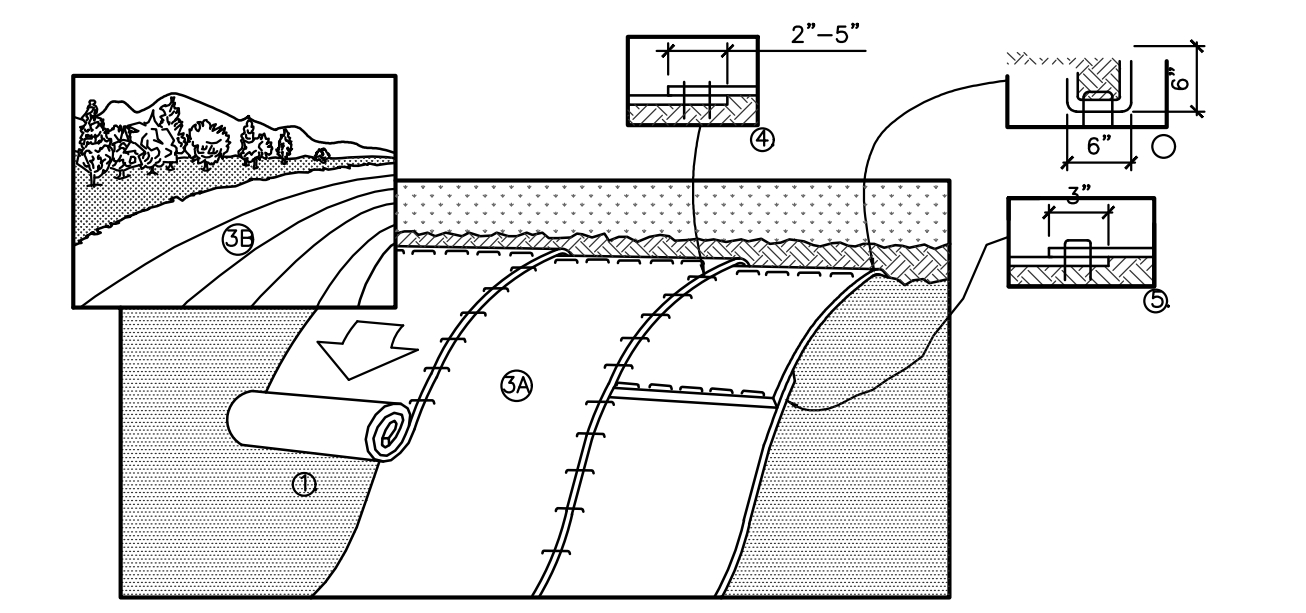
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- INSTALLATION**
- INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS, PLACE ABSORBENT PILLow IN UNIT. STAND THE GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY BAG® II SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.
- MAINTENANCE**
- MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY BAG® II. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS, REPLACE ABSORBENT WHEN NEAR SATURATION.

DANDY BAG® II

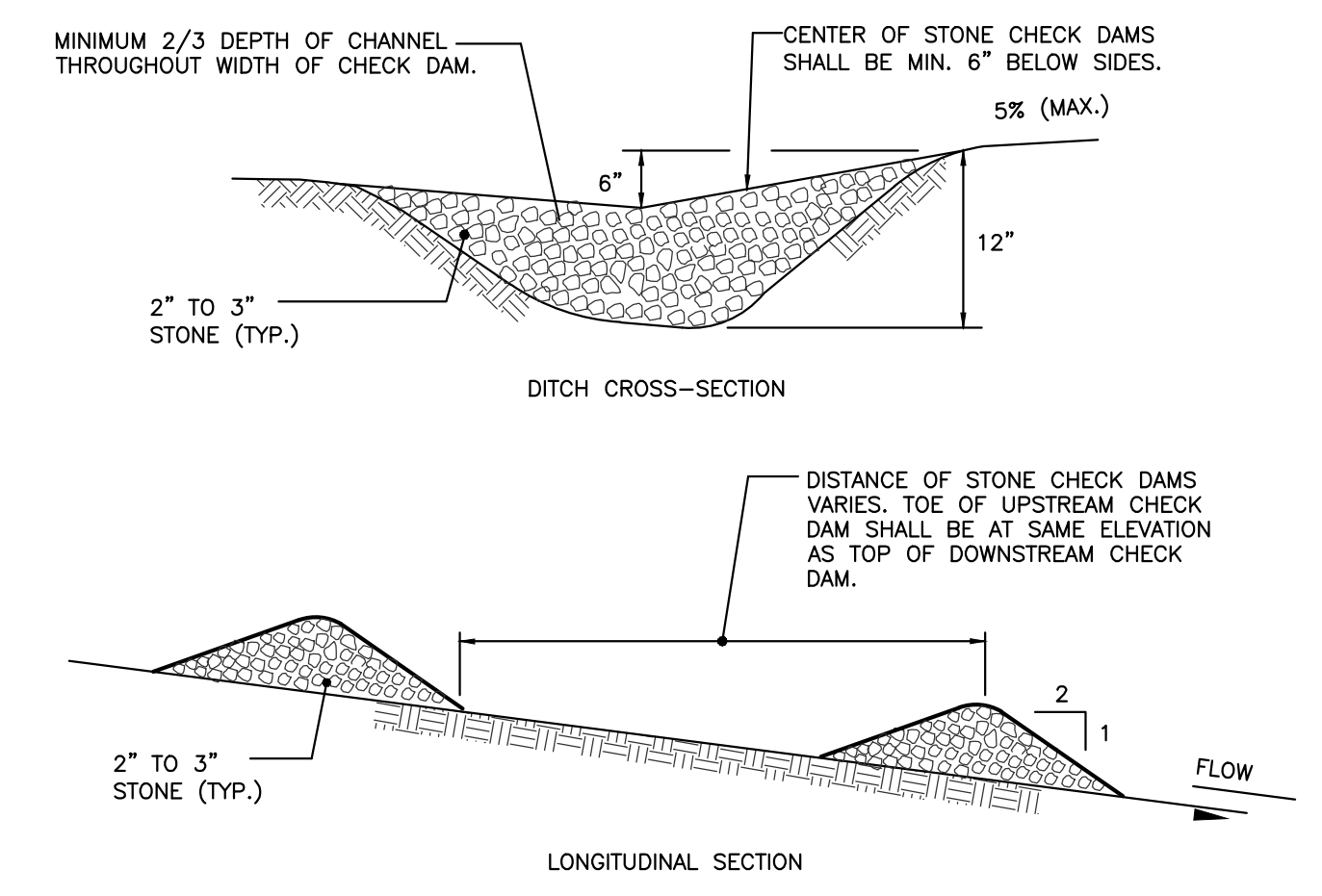
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- MATting INSTALLATION NOTES**
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
 5. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
 6. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
 7. INSTALL PRODUCT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- * DUE TO THE POTENTIAL OF ENDANGERED SPECIES ON SITE, CONTRACTORS SHALL USE ROLLMAX BIONET C125BN EROSION CONTROL BLANKET OR EQUIVALENT. BLANKETS ARE MADE OF 100% COCONUT FIBER AND ARE 100% BIODEGRADABLE.

SLOPE PROTECTION EROSION CONTROL MATTING

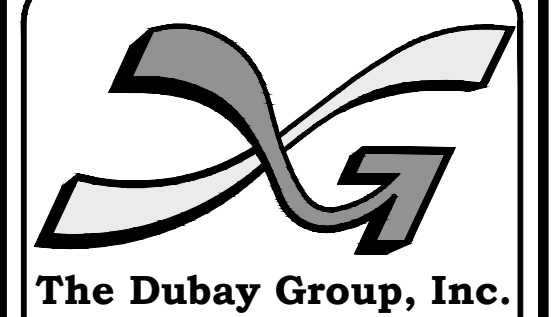
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STONE CHECK DAM DETAILS

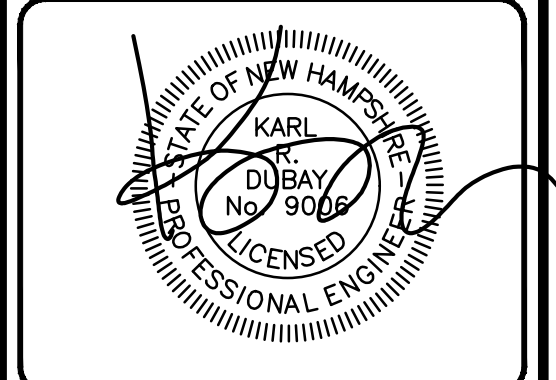
NOT TO SCALE

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.	APPROVED BY THE HUDSON, NH PLANNING BOARD	
	DATE OF MEETING: _____	
	CHAIRMAN _____	SIGNATURE DATE: _____
	SECRETARY _____	SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.		



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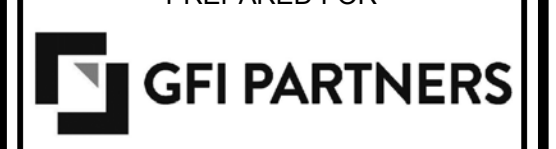
Engineers
Planners
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REVISIONS:			
REV.	DATE	COMMENT	BY
3	10/5/21	MISC. REVS	WA

DRAWN BY: JGG
CHECKED BY: KRD
DATE: AUG. 3, 2021
SCALE: AS SHOWN
FILE: 475-DETAILS
DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH



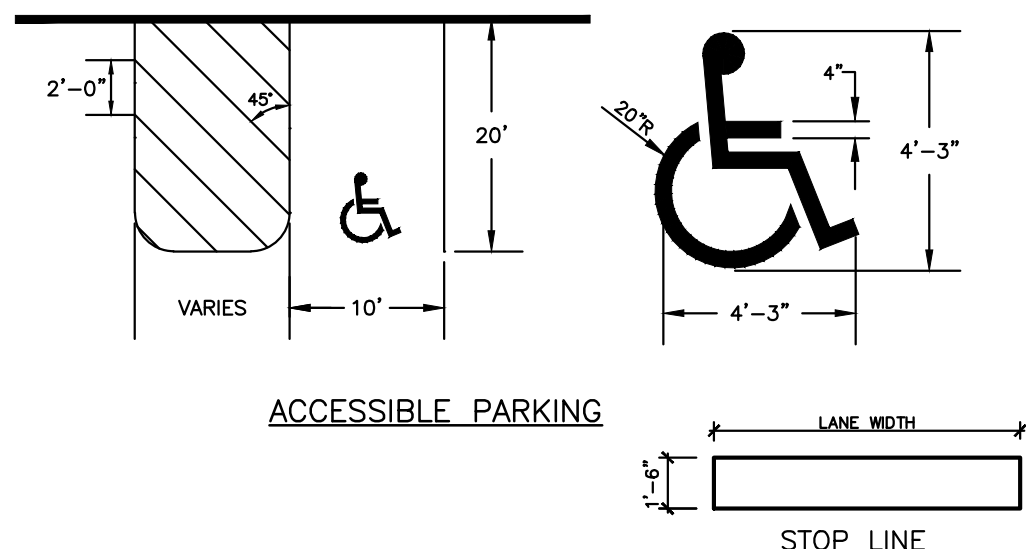
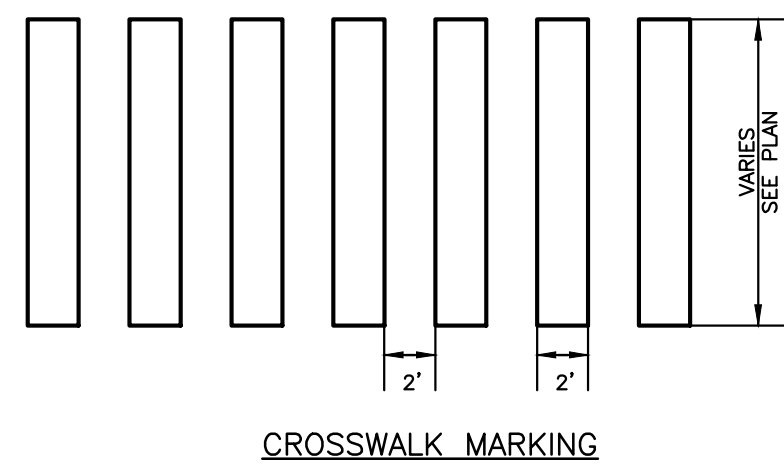
LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110

OWNER
5 WAY REALTY TRUST
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE:
SITE
DETAILS - 3

PROJECT #475 SHEET D3

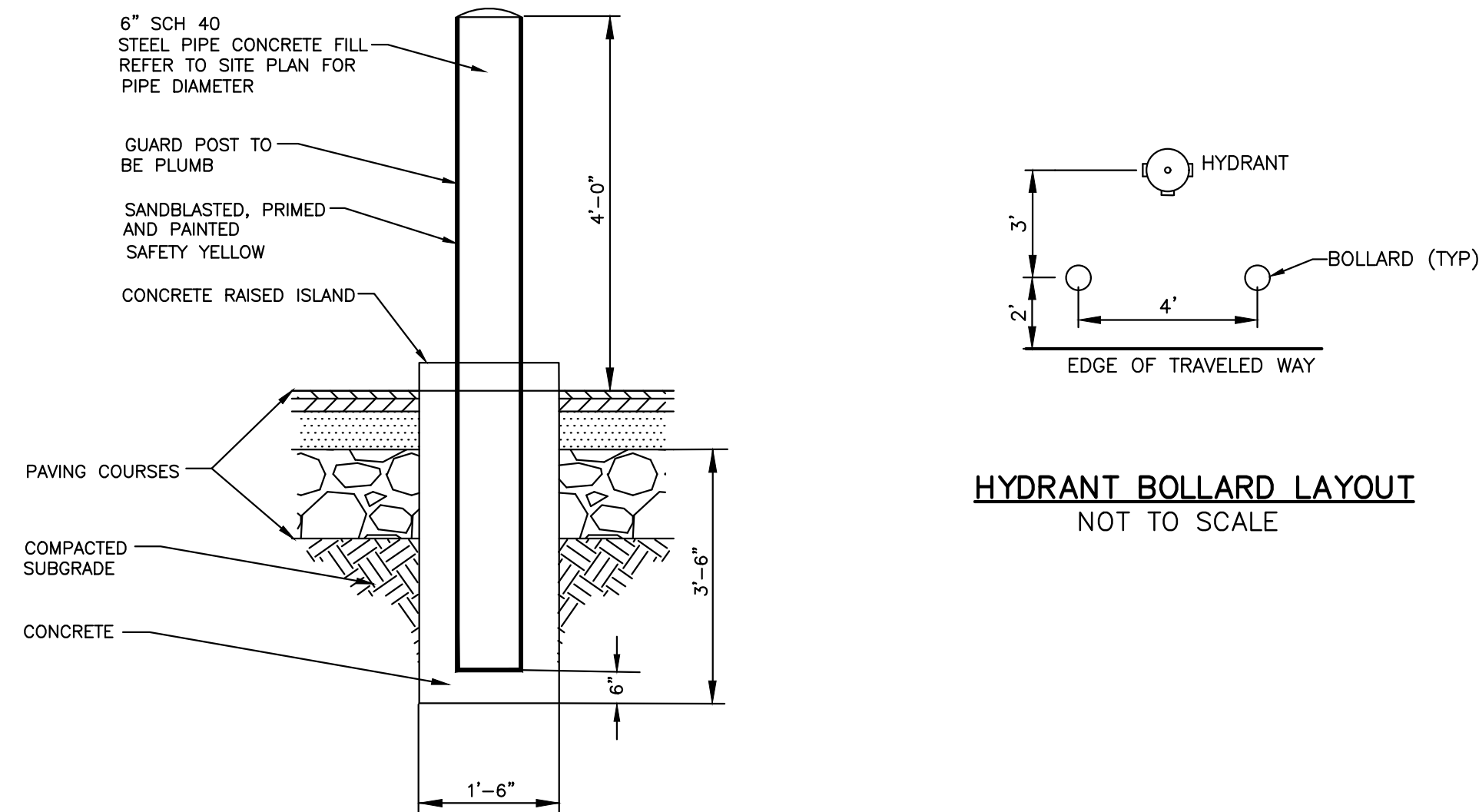
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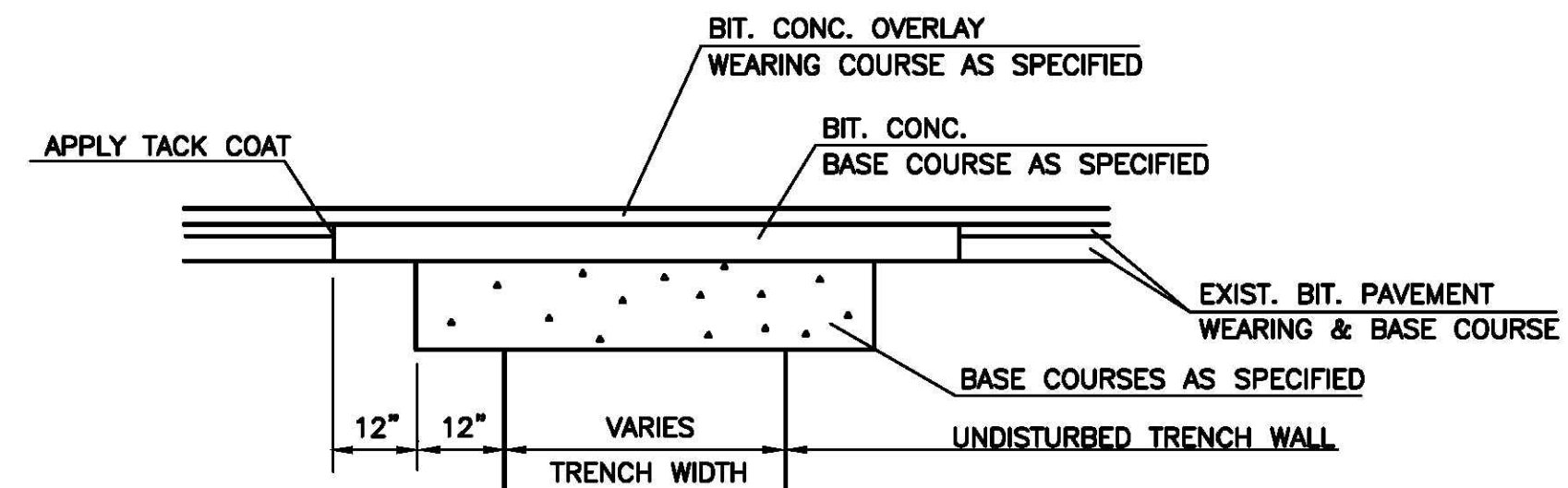
GENERAL NOTES:

- ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE CURRENT EDITION OF MUTCD.
- WIDTH OF LINES SHALL VARY NO MORE THAN = 1/4 INCH FROM THAT SPECIFIED.
- THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED.
- OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.
- STOP LINES & CROSSWALKS SHALL BE WHITE THERMOPLASTIC.
- CROSSWALK BARS SHALL BE 24" WIDTH AND 10' IN LENGTH WITH 24" SPACING.

TYPICAL PAVEMENT STRIPING DETAILS
NOT TO SCALE



HYDRANT BOLLARD LAYOUT
NOT TO SCALE

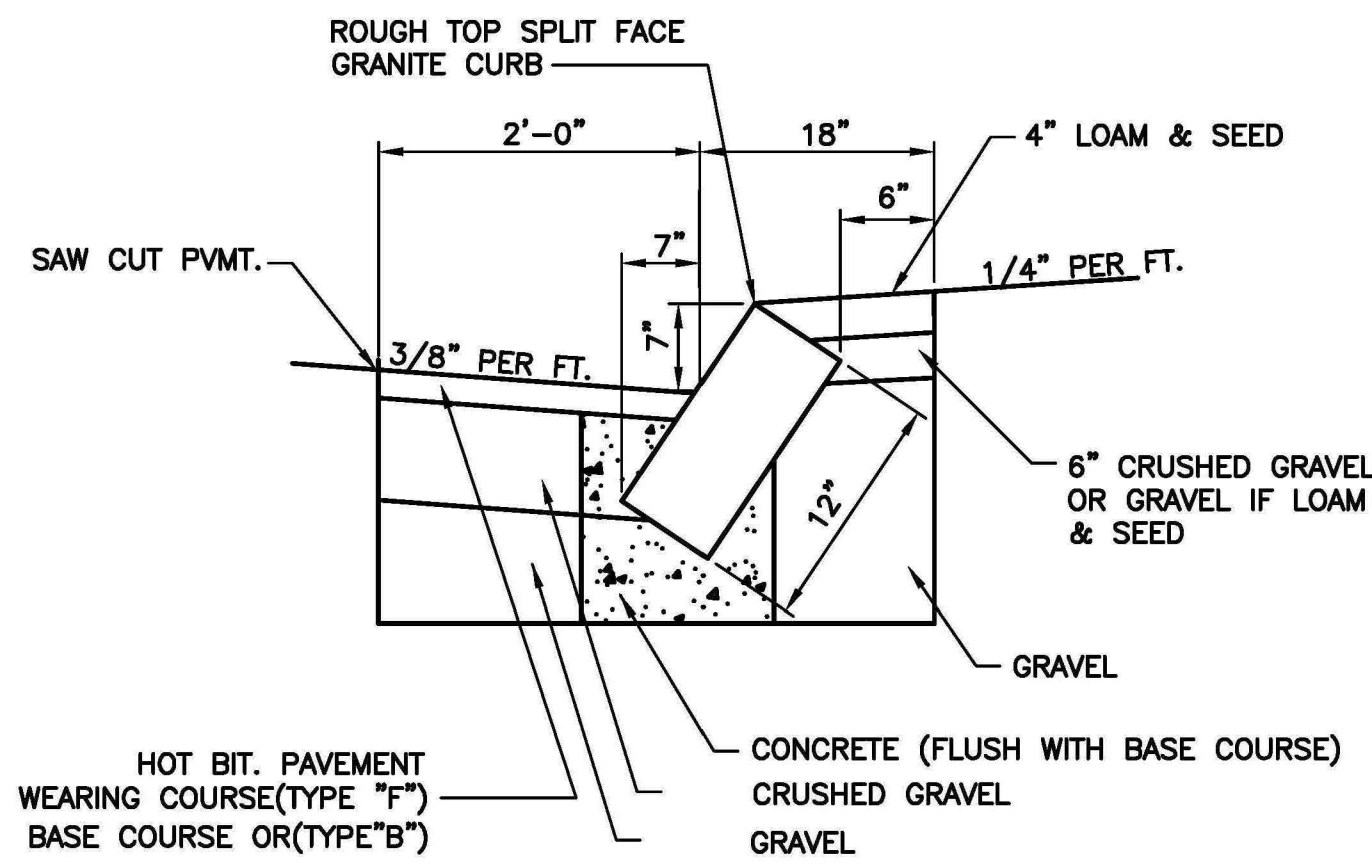
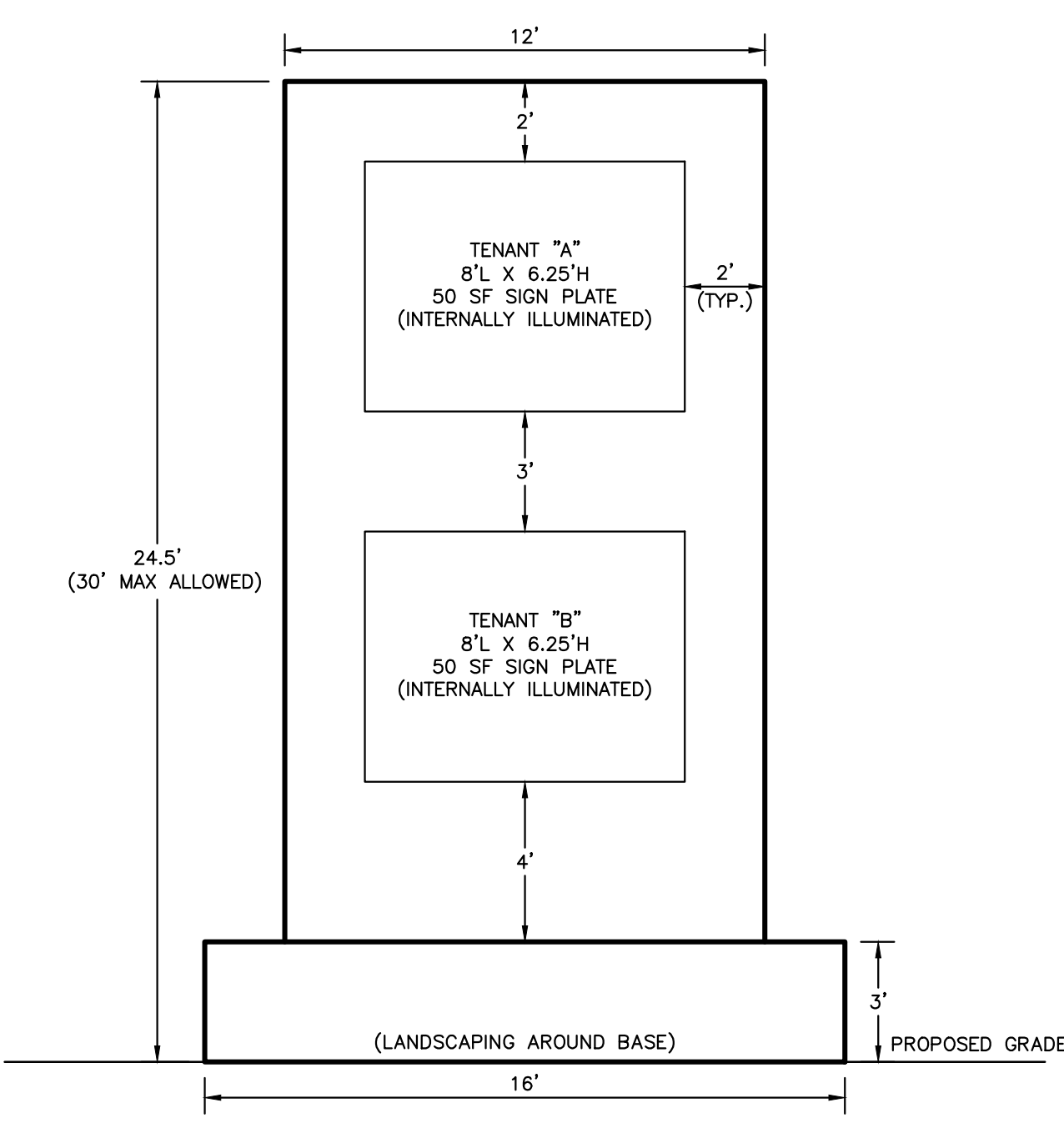


NOTE: AT END OF OVERLAY, SAW CUT AND REMOVE EXISTING PAVEMENT. BUTT PROPOSED OVERLAY TO EXISTING WEARING COURSE.

PAVEMENT PATCH WITH OVERLAY
NOT TO SCALE

TOWN OF HUDSON
12 SCHOOL STREET
HUDSON, NH 03051

DETAIL R-5
PAVEMENT PATCH WITH OVERLAY
TOWN OF HUDSON AUGUST-01
REV: 8/23/19 SCALE: NTS



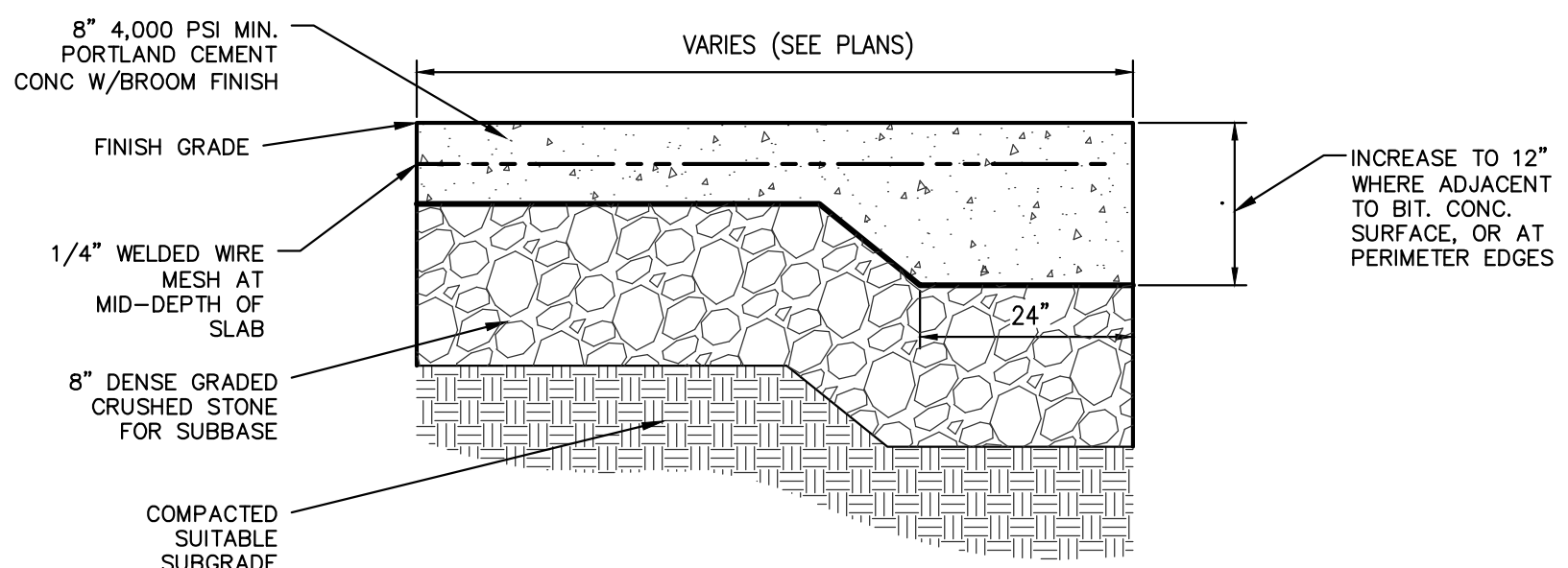
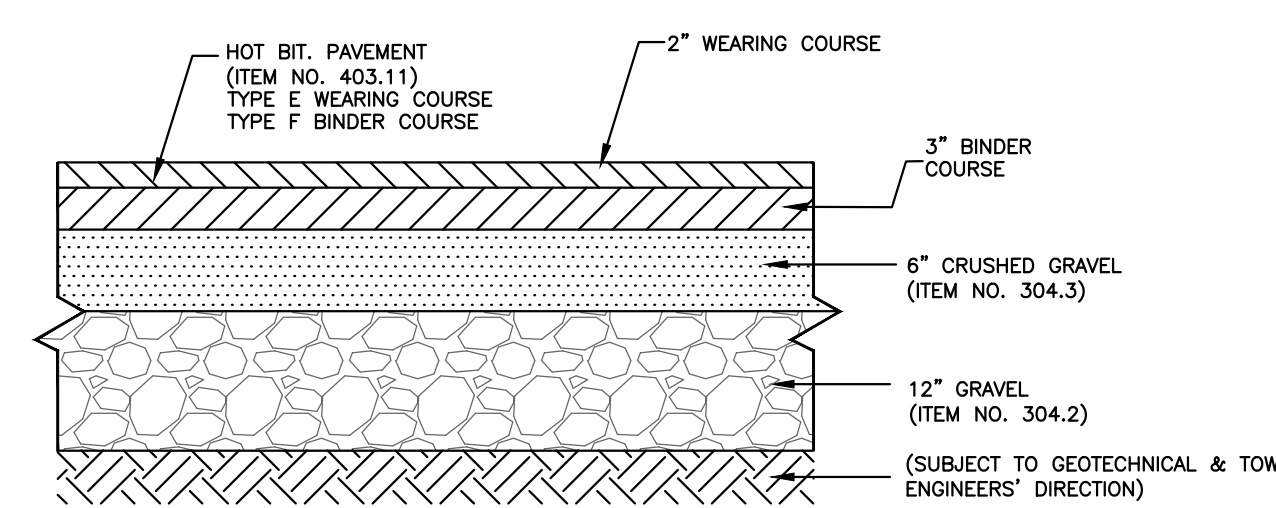
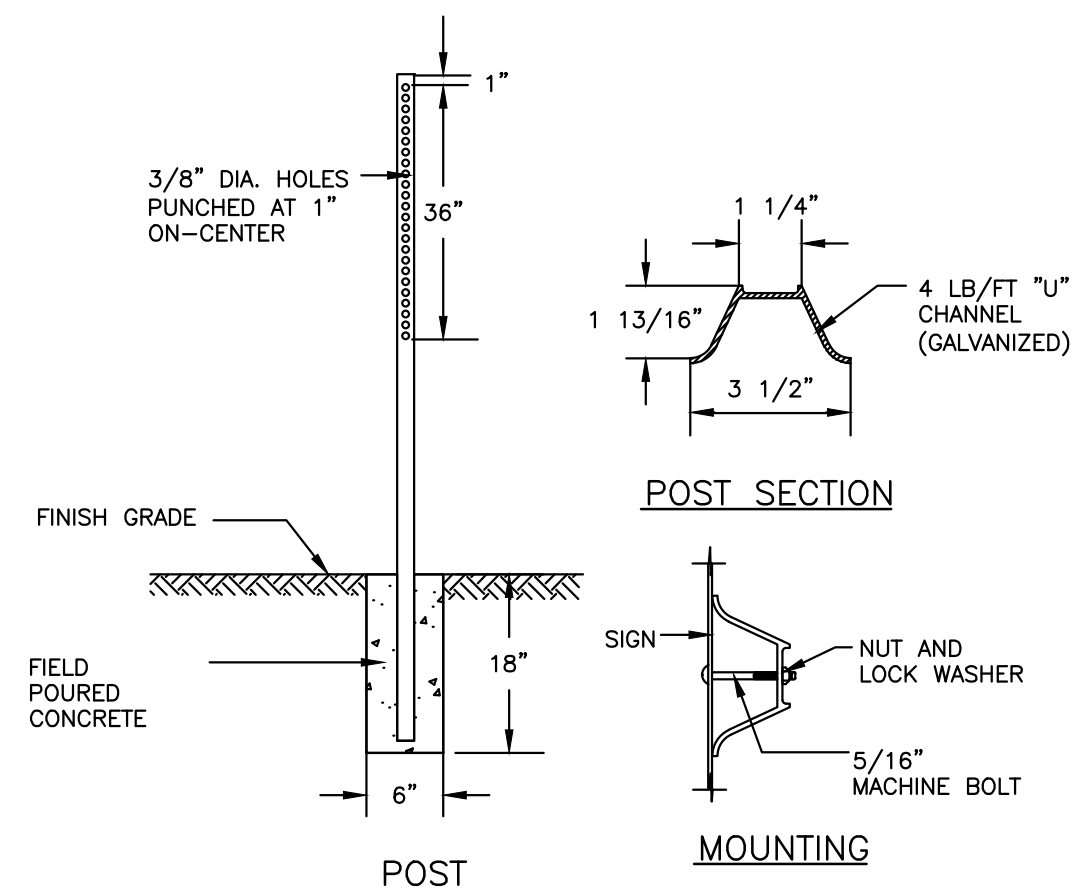
SLOPED GRANITE CURB REMOVED & RESET OR INSTALLED
NOT TO SCALE

TOWN OF HUDSON
12 SCHOOL STREET
HUDSON, NH 03051

DETAIL R-4
SLOPED GRANITE CURB REMOVED & RESET OR INSTALLED
TOWN OF HUDSON AUGUST-01
REV: 8/23/19 SCALE: NTS

IDENTIFICATION NUMBER	SIZE OF SIGN		TEXT
	WIDTH	HEIGHT	
R1-1	30"	30"	STOP
R7-8P6	12"	6"	VAN ACCESSIBLE
R7-8	12"	18"	RESERVED PARKING

PROPOSED TRAFFIC SIGN INVENTORY
NOT TO SCALE



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FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH

PREPARED FOR: **GFI PARTNERS**

LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110
OWNER

5 WAY REALTY TRUST
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PO BOX 1435
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SHEET TITLE:
SITE DETAILS - 4

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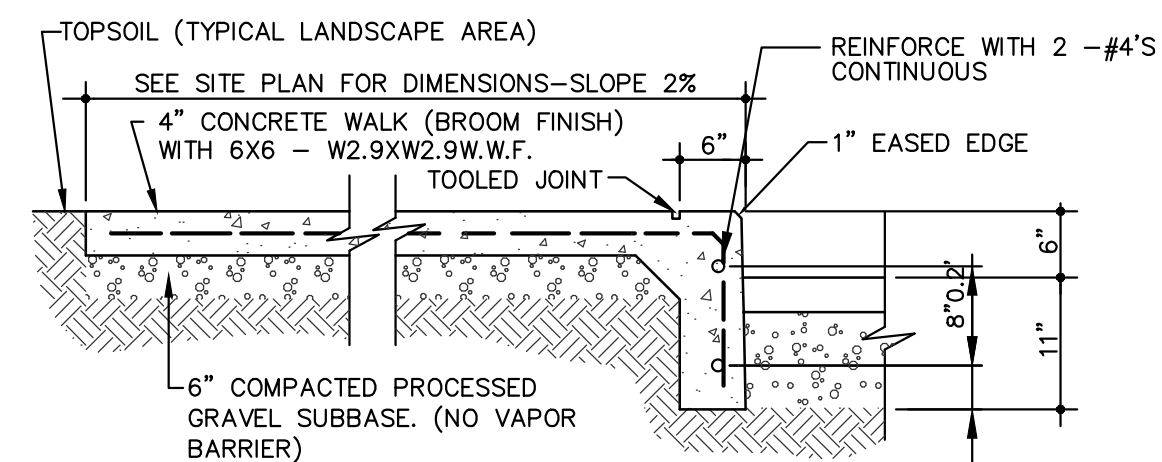
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603-458-6462

Engineers

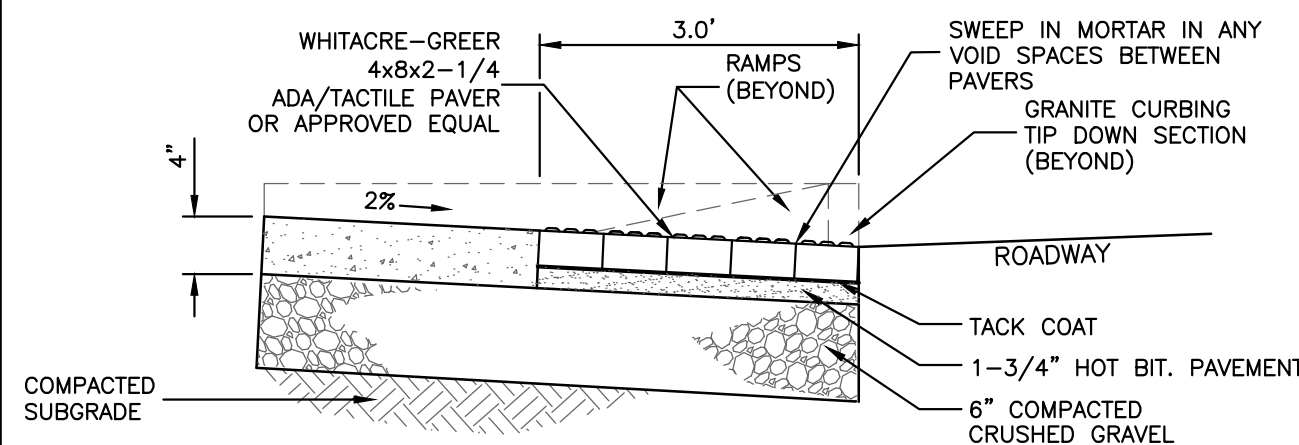
Planners

Surveyors

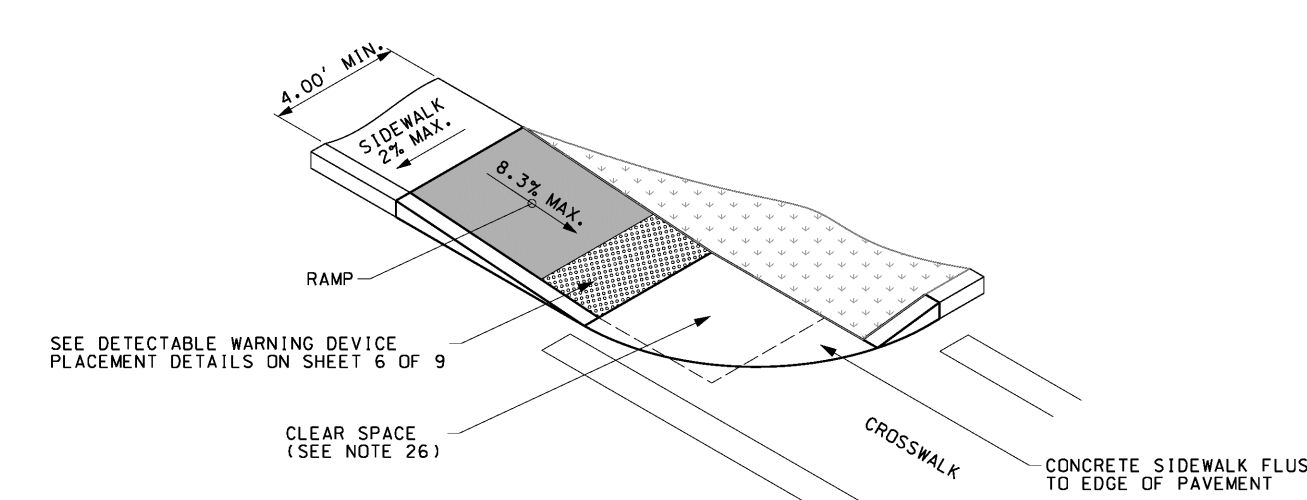
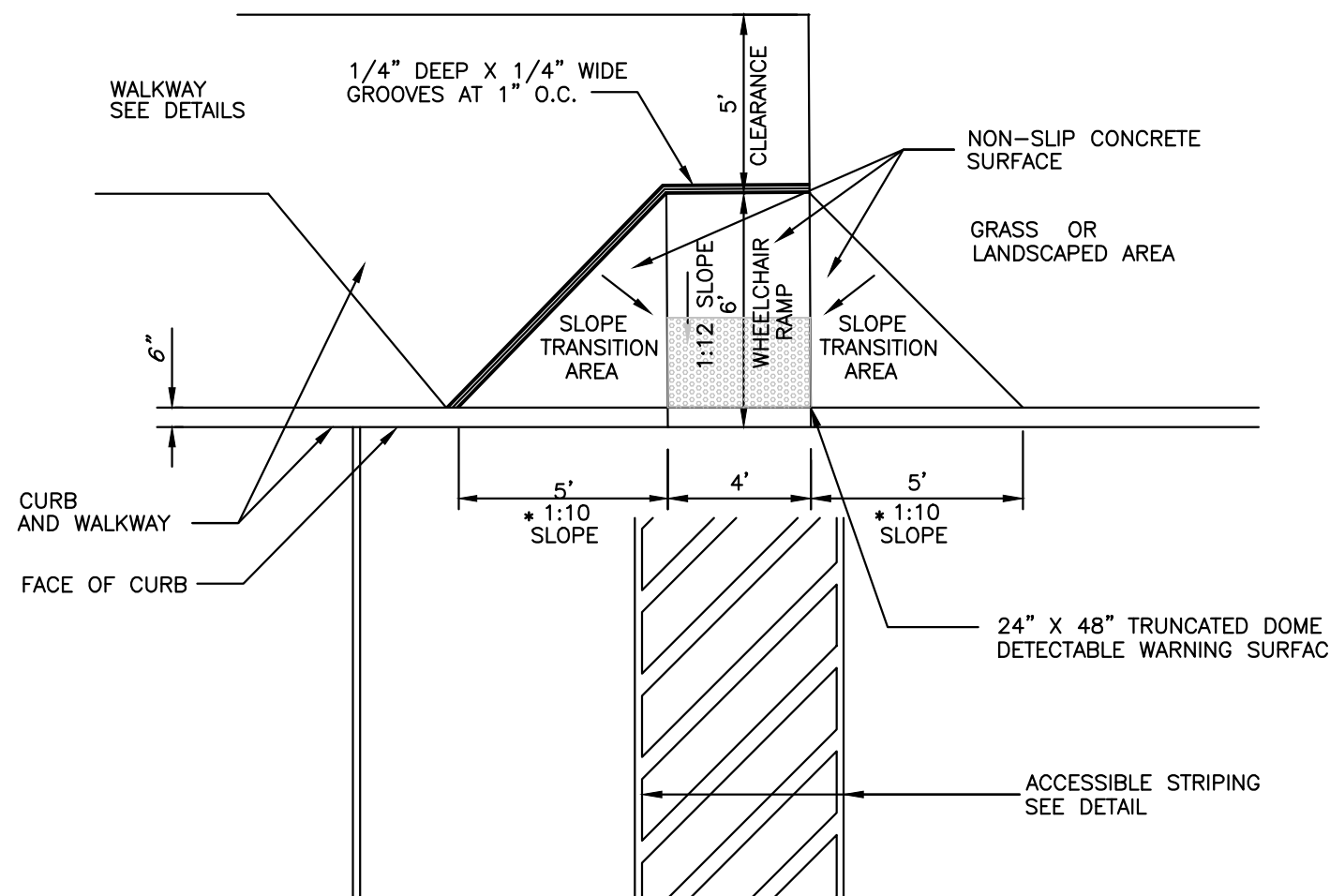
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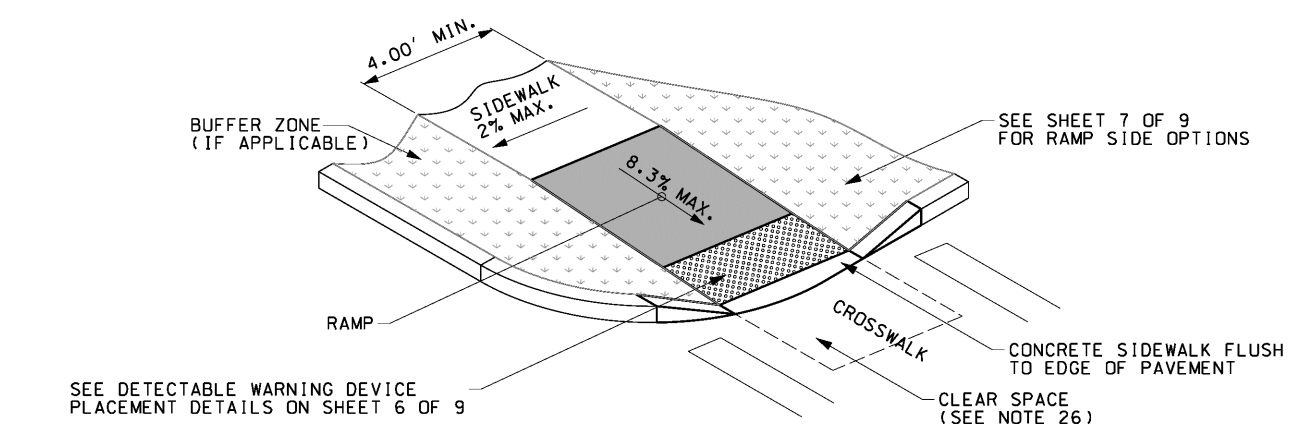
INTEGRAL WALK DETAIL
NOT TO SCALE



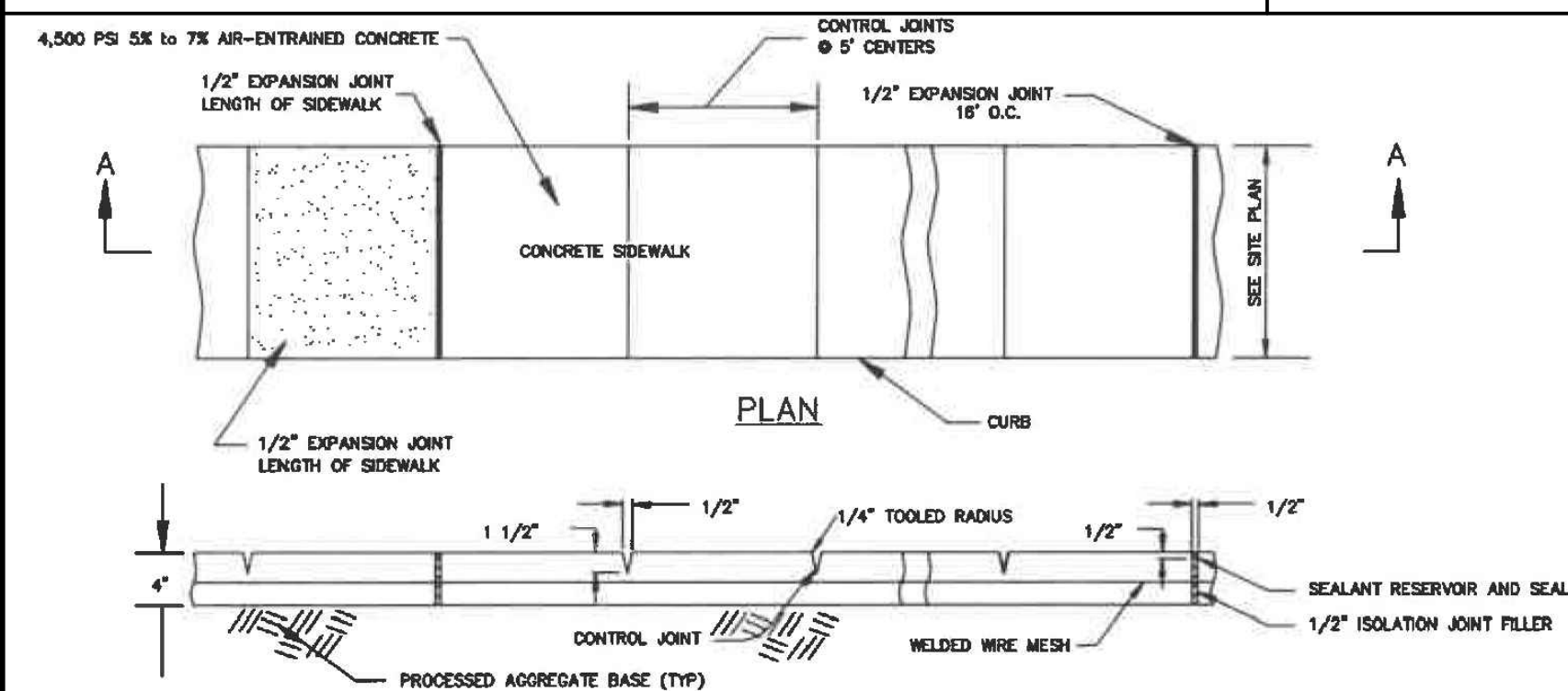
ACCESSIBLE RAMP DETAIL
NOT TO SCALE



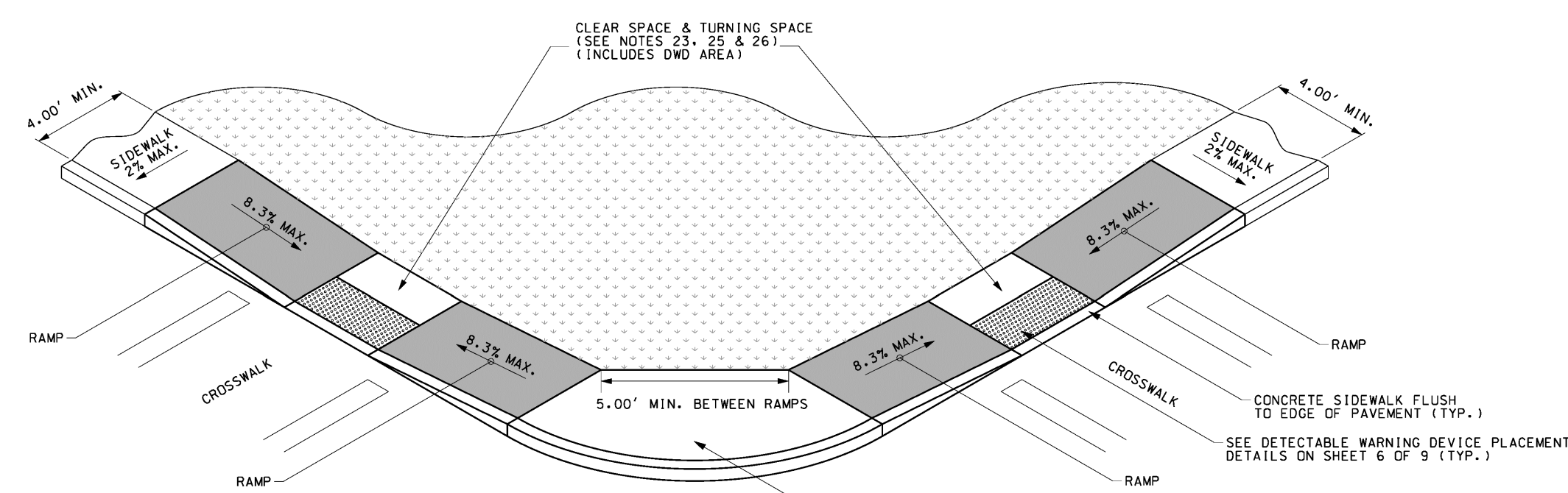
TYPE 1



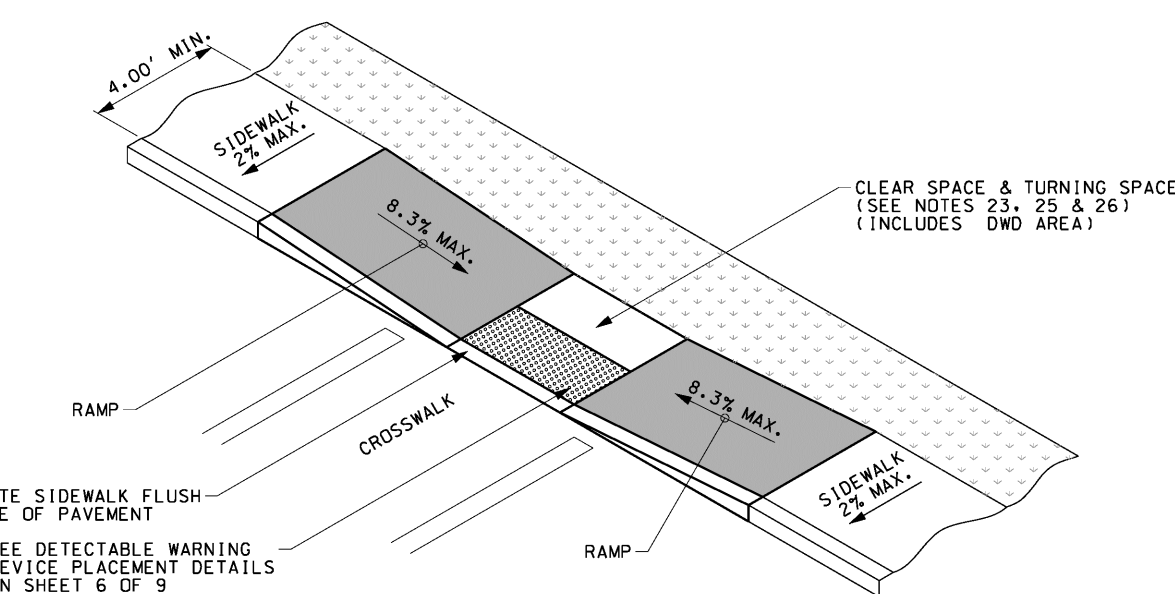
TYPE 2



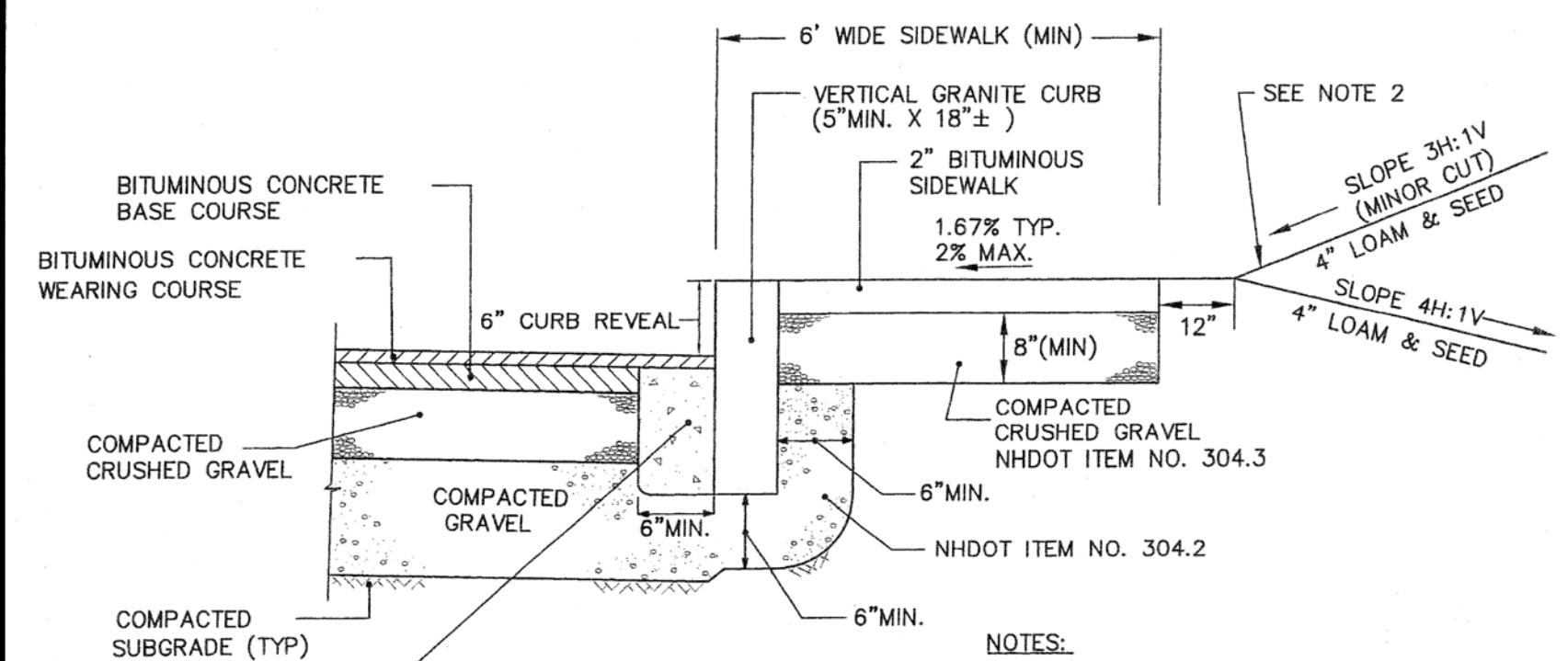
CONCRETE SIDEWALK DETAIL
NOT TO SCALE



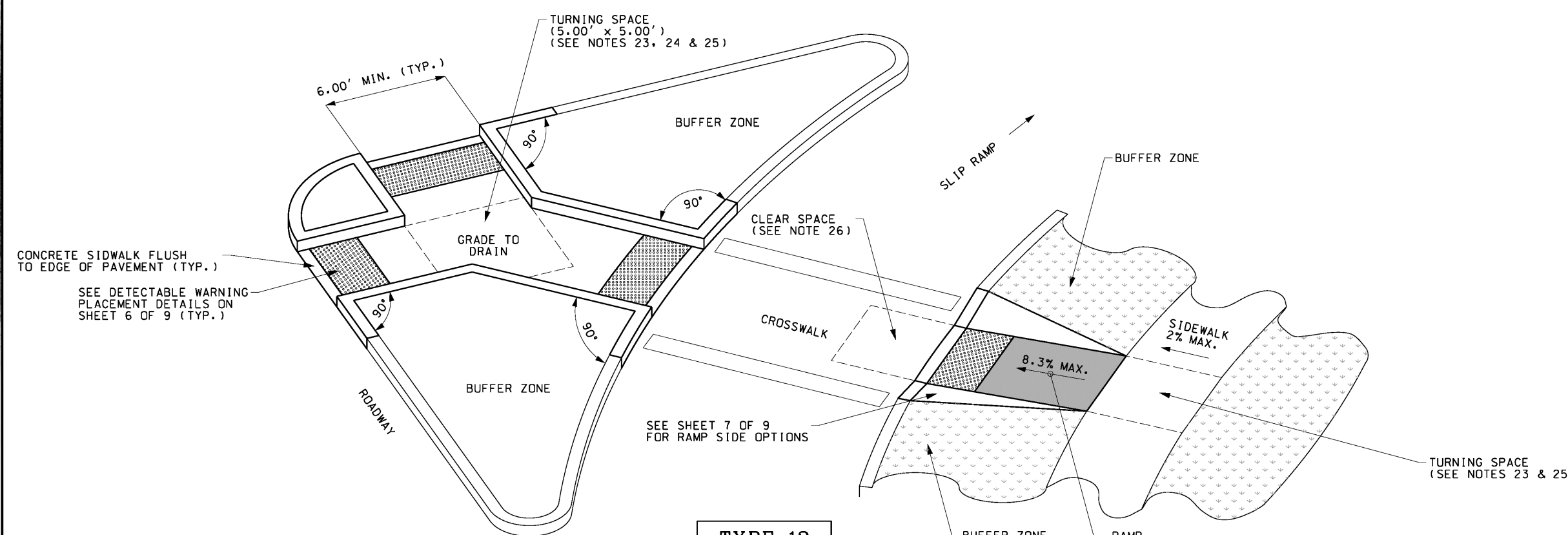
TYPE 6



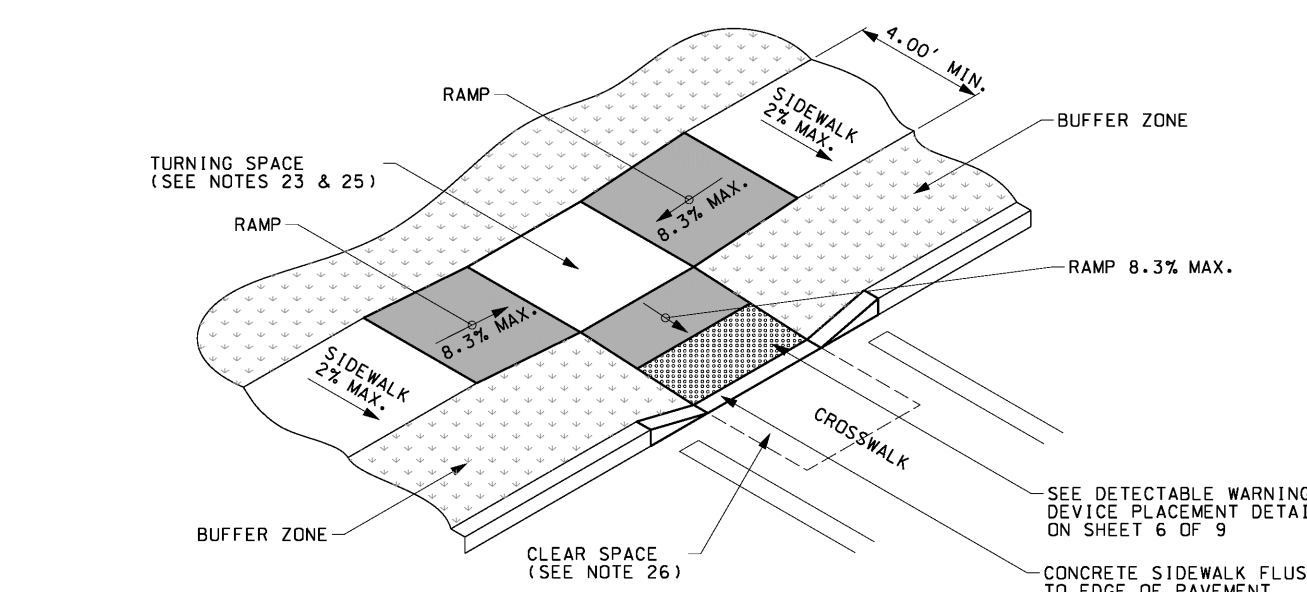
TYPE 8
MID BLOCK CROSSING OR T INTERSECTION



SIDEWALK AND GRANITE CURB DETAIL
EXHIBIT R103
NOT TO SCALE



TYPE 12
SLIP RAMP



TYPE 9
MID BLOCK CROSSING OR T INTERSECTION

NOTE: DETAILS SHOWN HERE ARE PROTOTYPICAL. REFER TO NHDOT SIDEWALK CURB RAMP DETAILS (9 SHEETS) FOR ADDITIONAL INFORMATION.

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APPROVED BY THE HUDSON, NH PLANNING BOARD

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FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH

PREPARED FOR: **GFI PARTNERS**

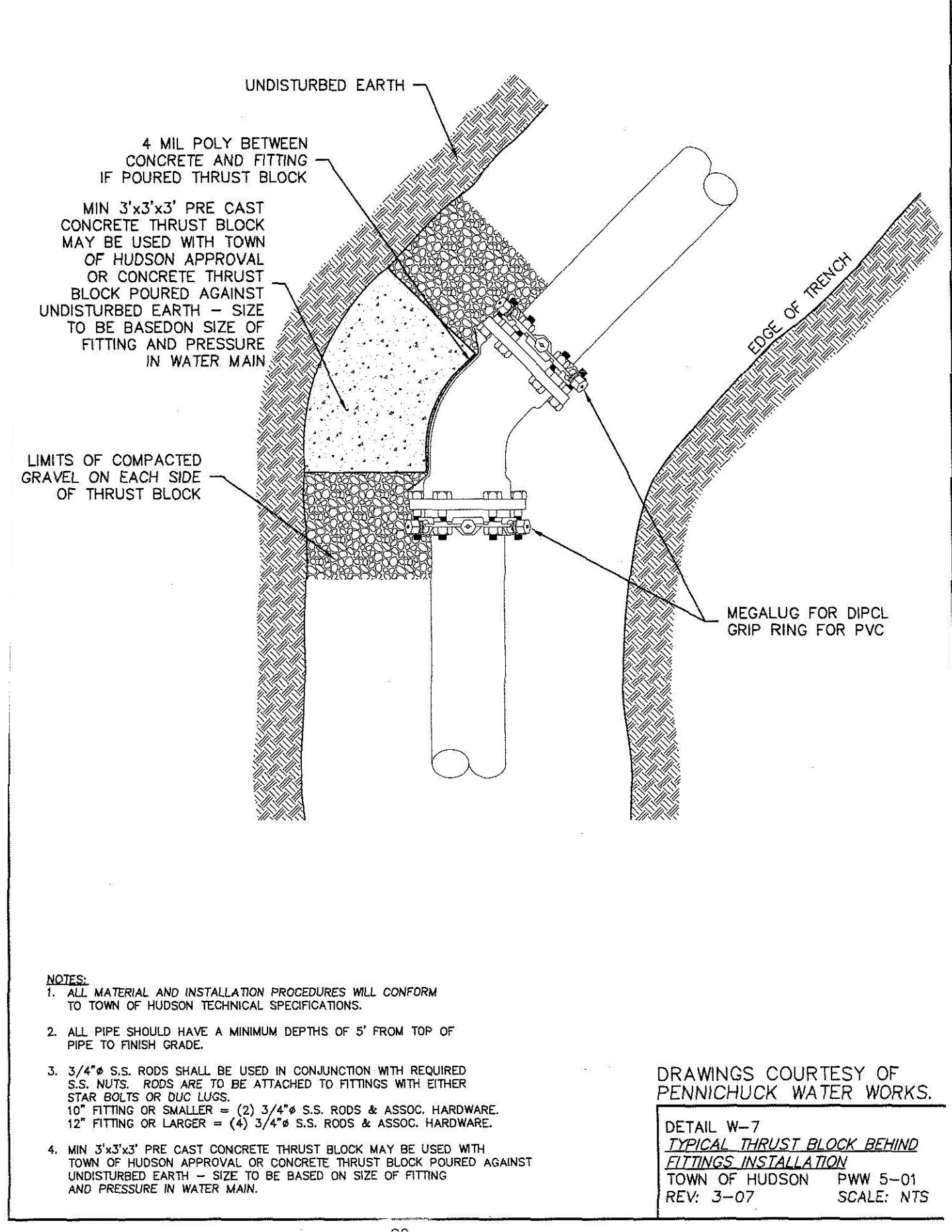
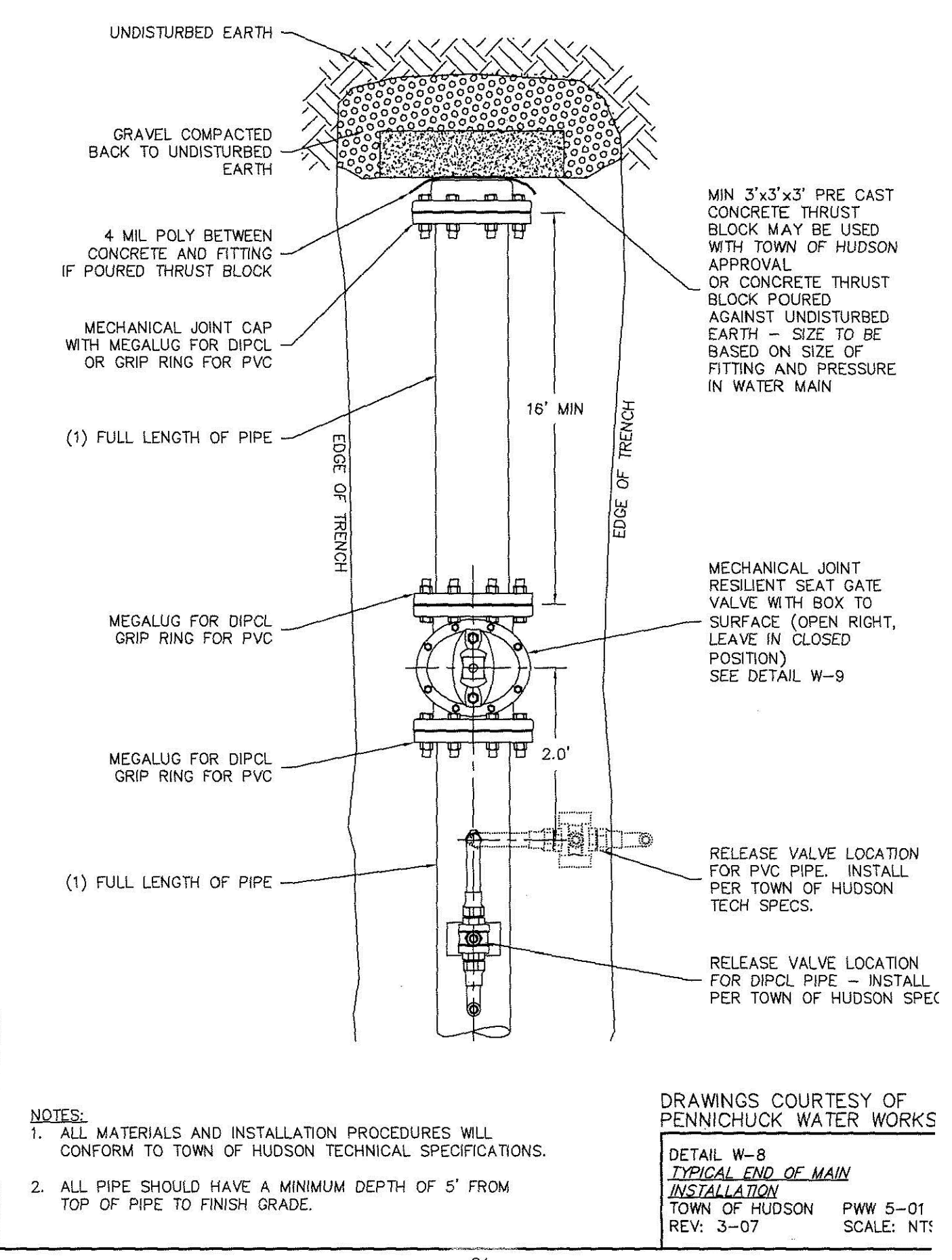
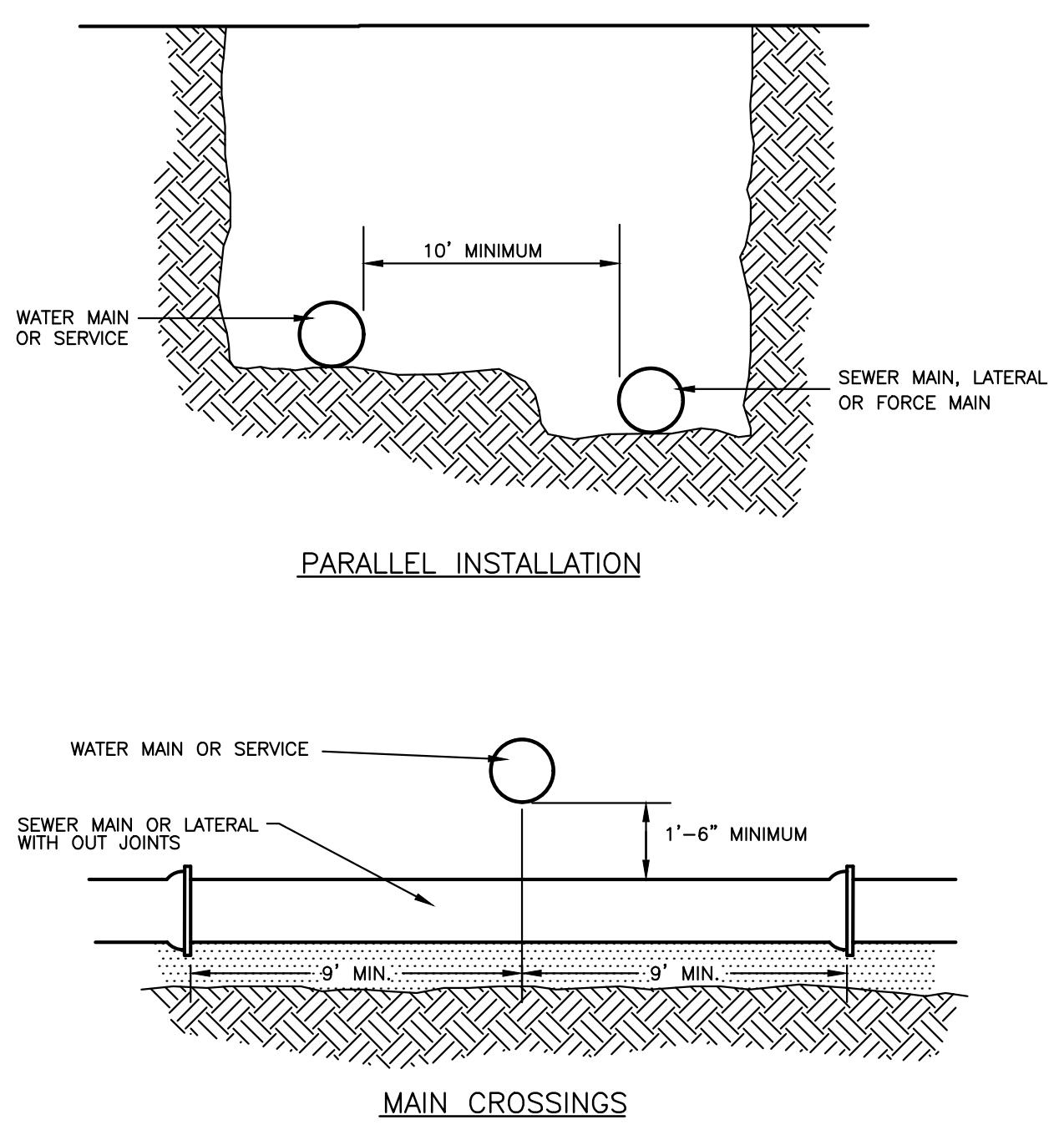
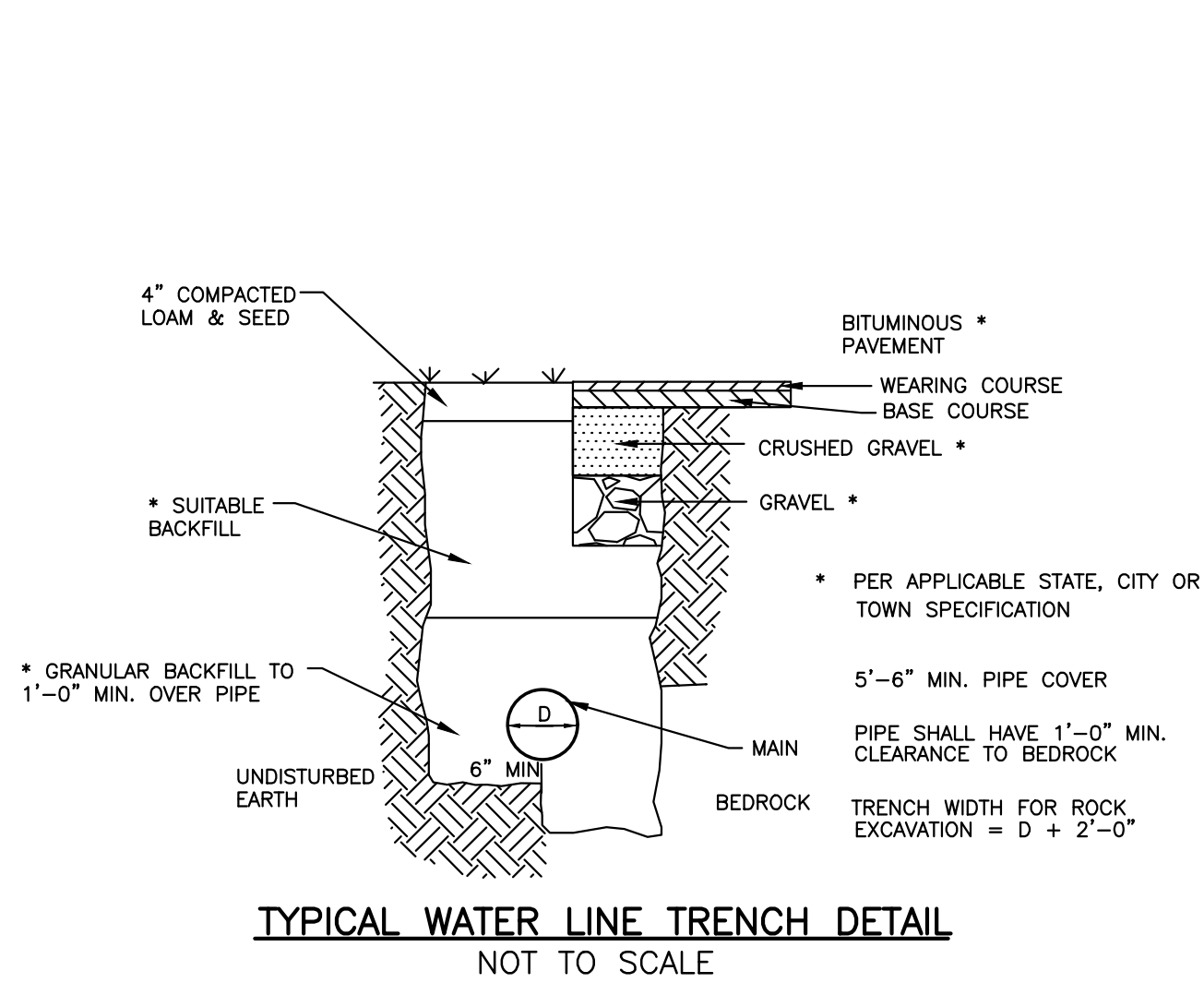
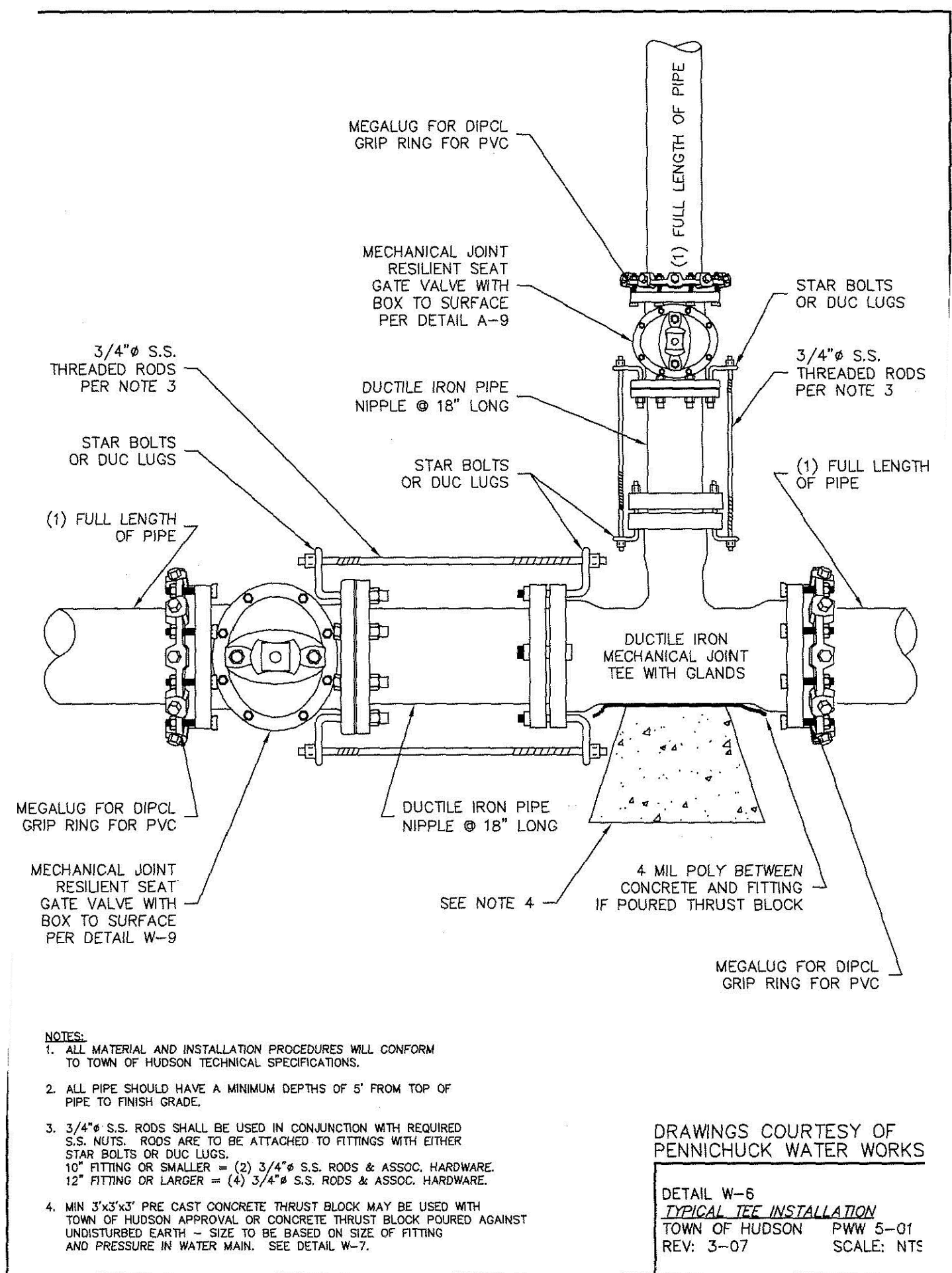
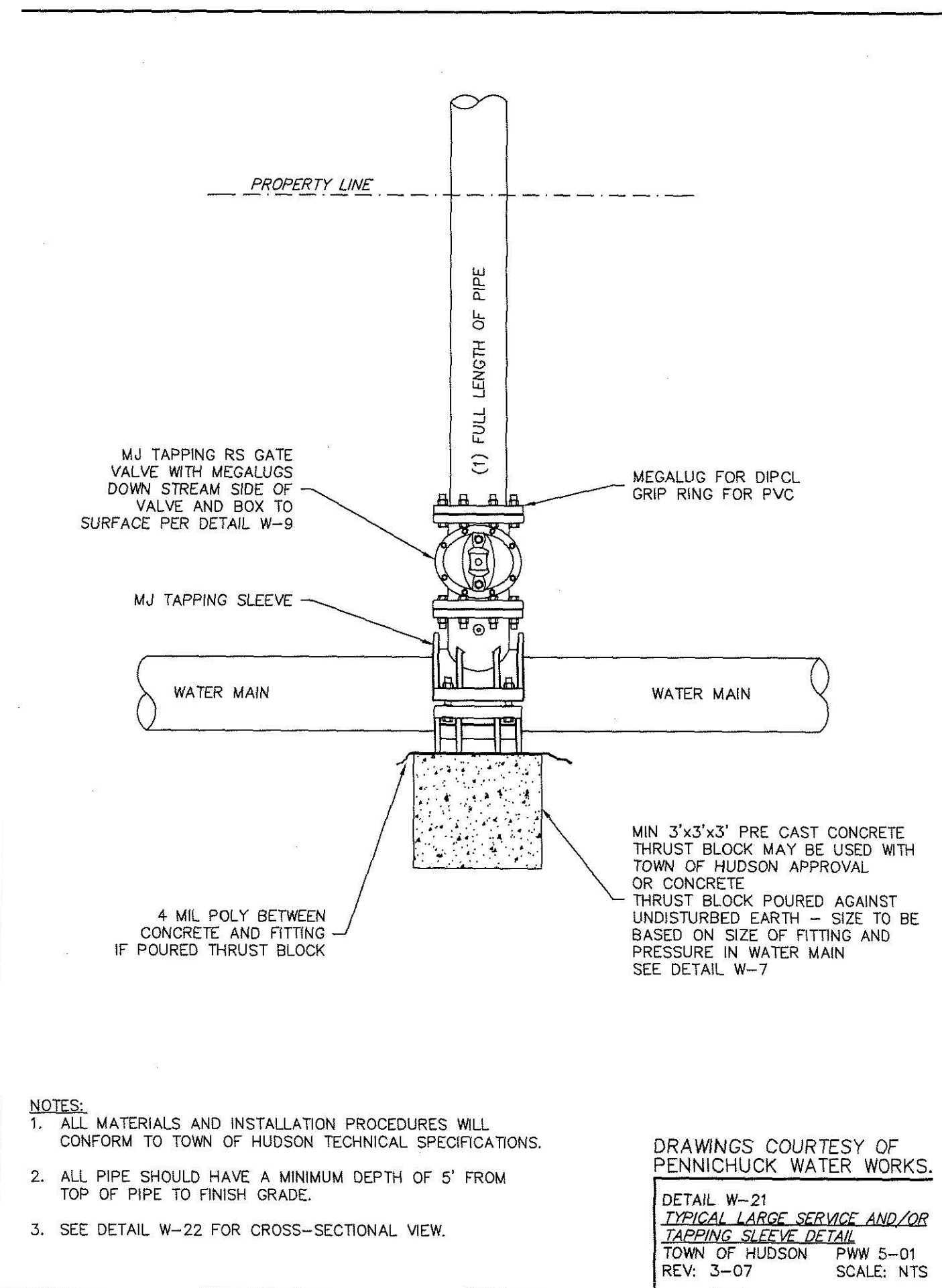
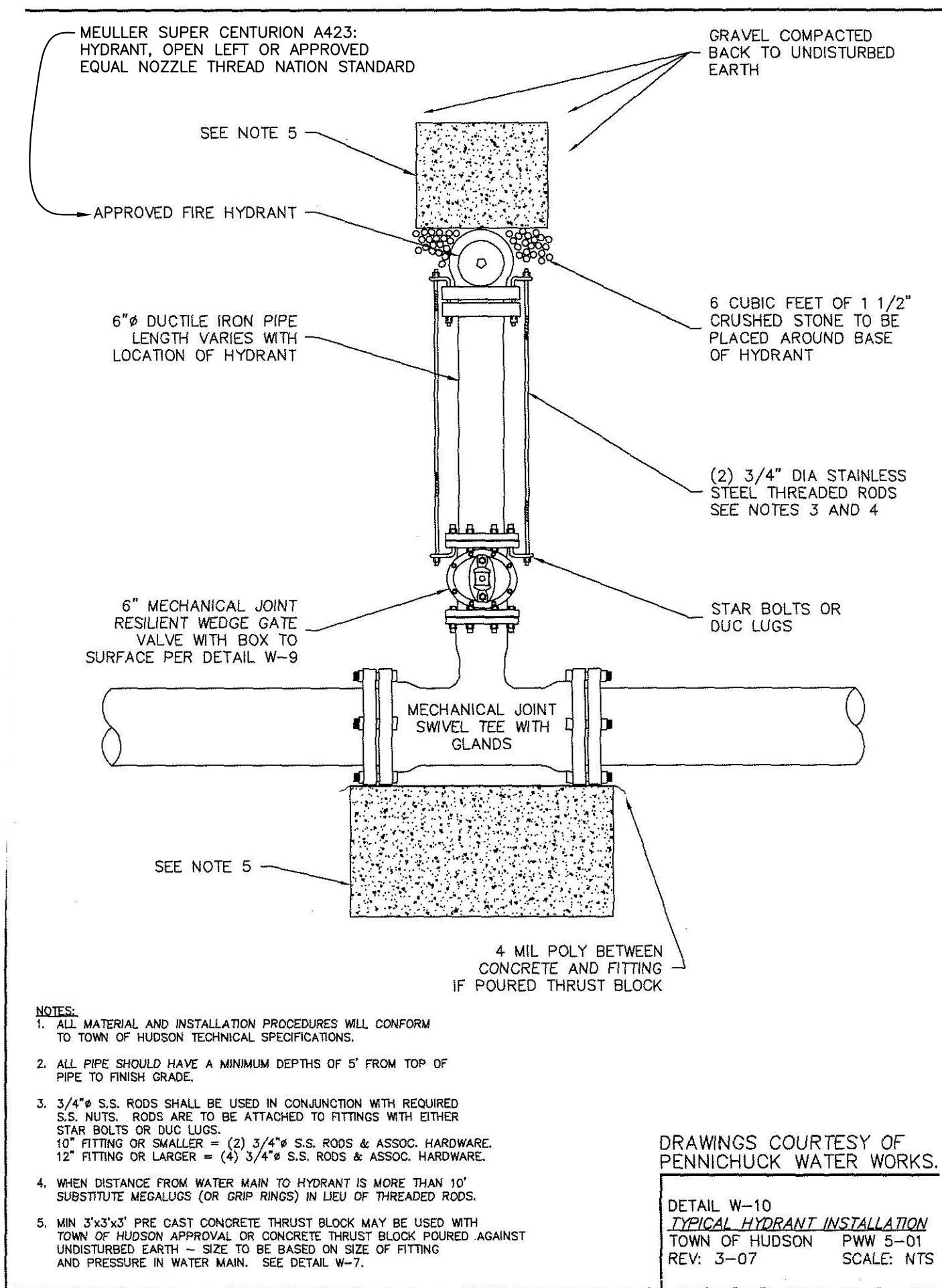
LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110
OWNER

5 WAY REALTY TRUST
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE:
SITE
DETAILS - 5

PROJECT #475 SHEET D5

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FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR:

GFI PARTNERS

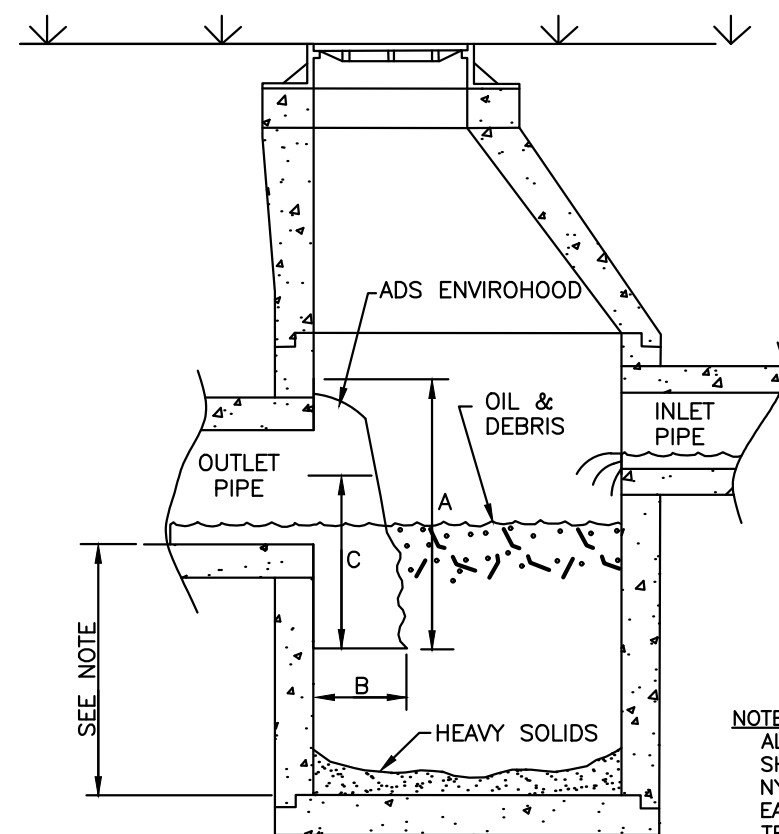
LOWELL ROAD
PROPERTY OWNER, LLC
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 BOSTON, MA 02110
 OWNER

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SHEET TITLE:
SITE
DETAILS - 6

PROJECT #475 SHEET D6

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STRUCTURE TYPE	OUTLET COVERED	PART NUMBER	GENERAL DIMENSIONS IN. (cm)			
			A	B	C	D
48" (120 cm) ROUND CONCRETE	UP TO 18" (45 cm)	581BAGR	30.2 (75)	14.9 (35)	17.2 (45)	20.5 (50)
48"-54" (120-135 cm) ROUND CONCRETE	UP TO 24" (60 cm)	5824AGR	41.7 (105)	18.0 (45)	26.9 (70)	26.9 (70)
54"-60" (135-150 cm) ROUND CONCRETE	UP TO 30" (75 cm)	5830AGR	48.7 (120)	20.5 (50)	30.5 (75)	33.1 (85)
FLAT CONCRETE	UP TO 18" (45 cm)	581BAGF	30.2 (75)	11.8 (30)	17.2 (45)	20.4 (50)
FLAT CONCRETE	UP TO 24" (60 cm)	5824AGF	41.8 (105)	15.3 (40)	26.9 (70)	27.0 (70)
FLAT CONCRETE	UP TO 30" (75 cm)	5830AGF	48.8 (120)	18.3 (45)	30.5 (75)	34.0 (85)
18" (45 cm) NYLOPLAST	UP TO 12" (30 cm)	581BAGO412	19.4 (50)	9.38 (25)	12.3 (30)	13.8 (35)
24" (60 cm) NYLOPLAST	UP TO 15" (40 cm)	5824AGO415	26.5 (65)	12.8 (30)	14.5 (35)	20.0 (50)
30" (75 cm) NYLOPLAST	UP TO 18" (45 cm)	5830AGO418	32.8 (85)	15.4 (40)	18.7 (45)	26.0 (65)

(DIM "D" = UNIT WIDTH AT BASE EXCLUDING SURFACE MOUNTING FLANGE)

NOTE: SUMP DEPTH OF 36" FOR 12" OR SMALLER DIAM. OUTLET. FOR 15" AND LARGER OUTLETS USE 2.5-3X OUTLET DIAM.

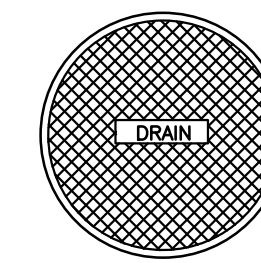
NOTE: ALL PROPOSED CATCH BASINS SHALL BE INSTALLED WITH NYLOPLAST ENVIROHOOD FOR EACH OUTLET FOR ADDITIONAL TREATMENT.

TYPICAL INSTALLATION

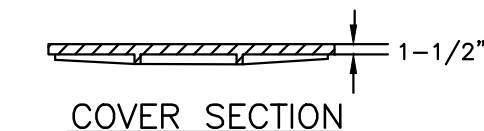
(TO BE INSTALLED IN ALL CATCH BASINS THAT ARE NOT SPECIALTY HYDRODYNAMIC SEPARATORS)

NYLOPLAST ENVIROHOOD DETAIL

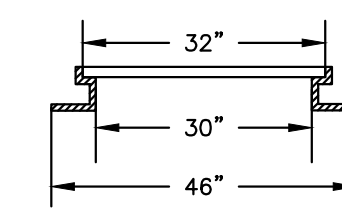
NOT TO SCALE



COVER PLATE



COVER SECTION



FRAME SECTION

NOTES:

- CONTACT SURFACES OF COVERS AND FRAMES SHALL BE MACHINED AT THE FOUNDRY TO PREVENT ROCKING OF COVERS IN ANY ORIENTATION.
- CASTINGS SHALL BE EQUAL TO CLASS 30, CONFORMING TO ASTM A48.
- WHERE MANHOLE TOPS ARE TO BE FLOODED BY WATER THEY WILL HAVE A WATER TIGHT COVER.
- FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH CLEAR OPENING. A 3 INCH (MINIMUM HEIGHT) WORD "SEWER" FOR SEWERS OR "DRAIN" FOR DRAINS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER. MANHOLE COVERS SHALL HAVE NON-PENETRATION PICK HOLES.

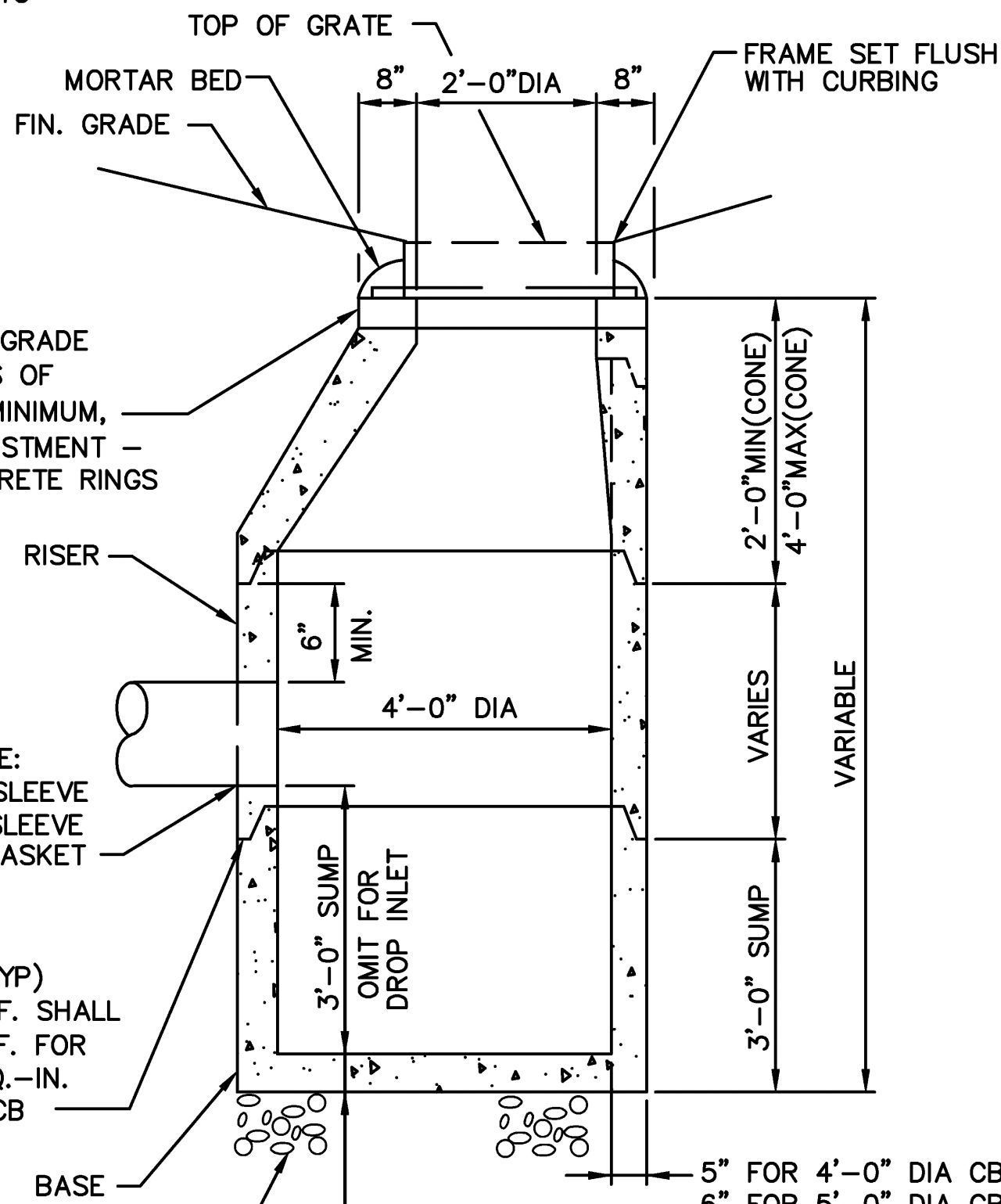
DRAIN MANHOLE FRAME AND COVER DETAIL

NOT TO SCALE

PRECAST REINFORCED CATCH BASIN

NOT TO SCALE

PRECAST SECTIONS SHALL CONFORM TO ASTM C-478

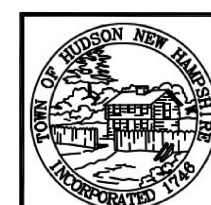


ADJUST FRAME TO GRADE WITH TWO COURSES OF HARD RED BRICK MINIMUM, 12" MAXIMUM ADJUSTMENT - OR PRECAST CONCRETE RINGS

PIPE JOINTS SHALL BE: LOCKJOINT FLEXIBLE SLEEVE KOR-N-SEAL FLEX. SLEEVE OR A-LOK RUBBER GASKET

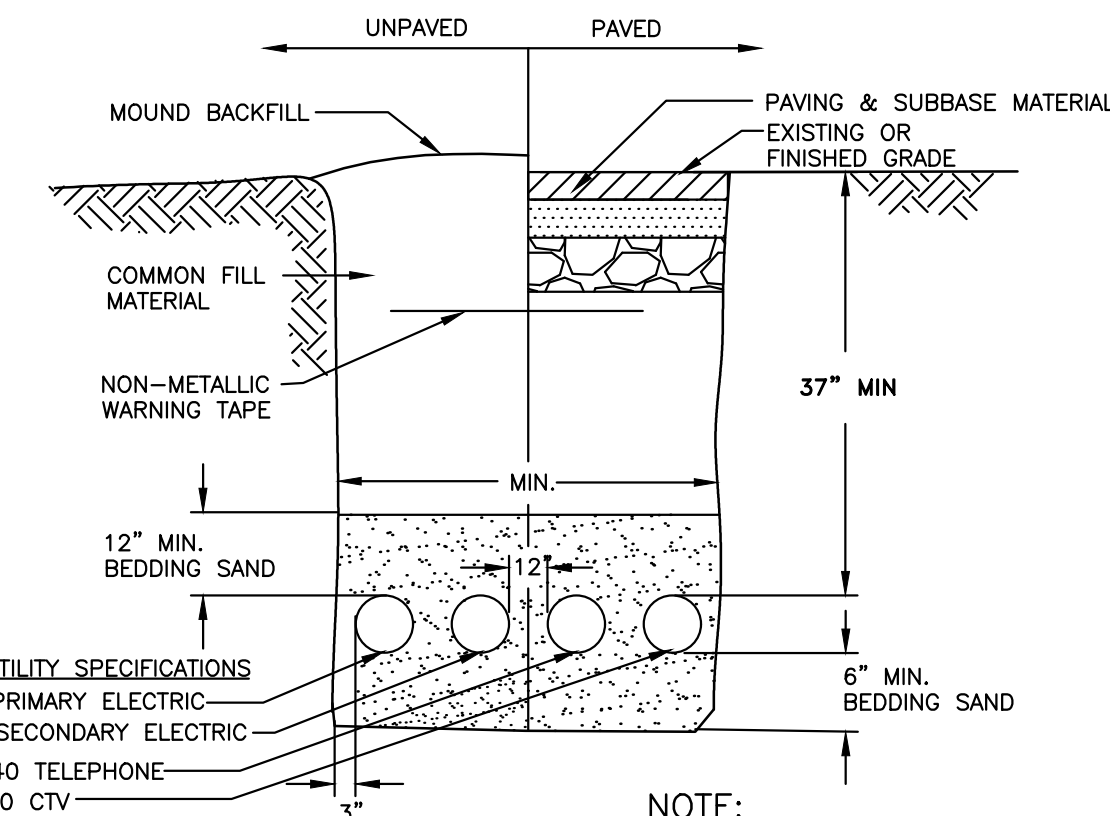
BITUMASTIC SEALER (TYP) CIRCUMFERENTIAL REINF. SHALL BE .12 SQ.-IN. PER L.F. FOR 4' DIA. CB AND .15 SQ.-IN. PER L.F. FOR 5' DIA. CB

6" BEDDING IF IN EARTH 12" BEDDING IF IN LEDGE



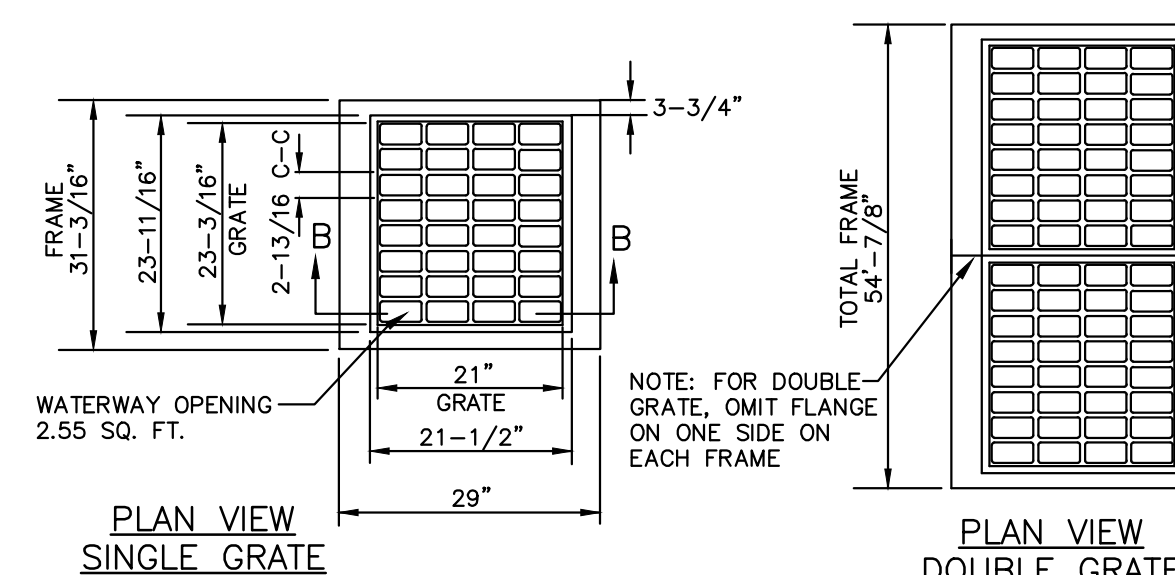
TOWN OF HUDSON
12 SCHOOL STREET
HUDSON, NH 03051

DETAIL D-2
PRECAST REINFORCED CATCH BASIN
TOWN OF HUDSON AUGUST-01
REV: SCALE: NTS



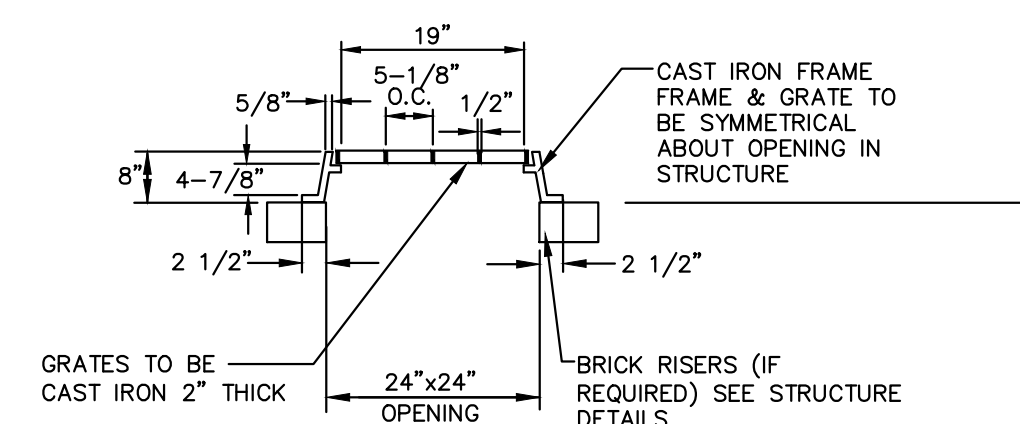
UTILITY TRENCH DETAIL

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PLAN VIEW SINGLE GRATE

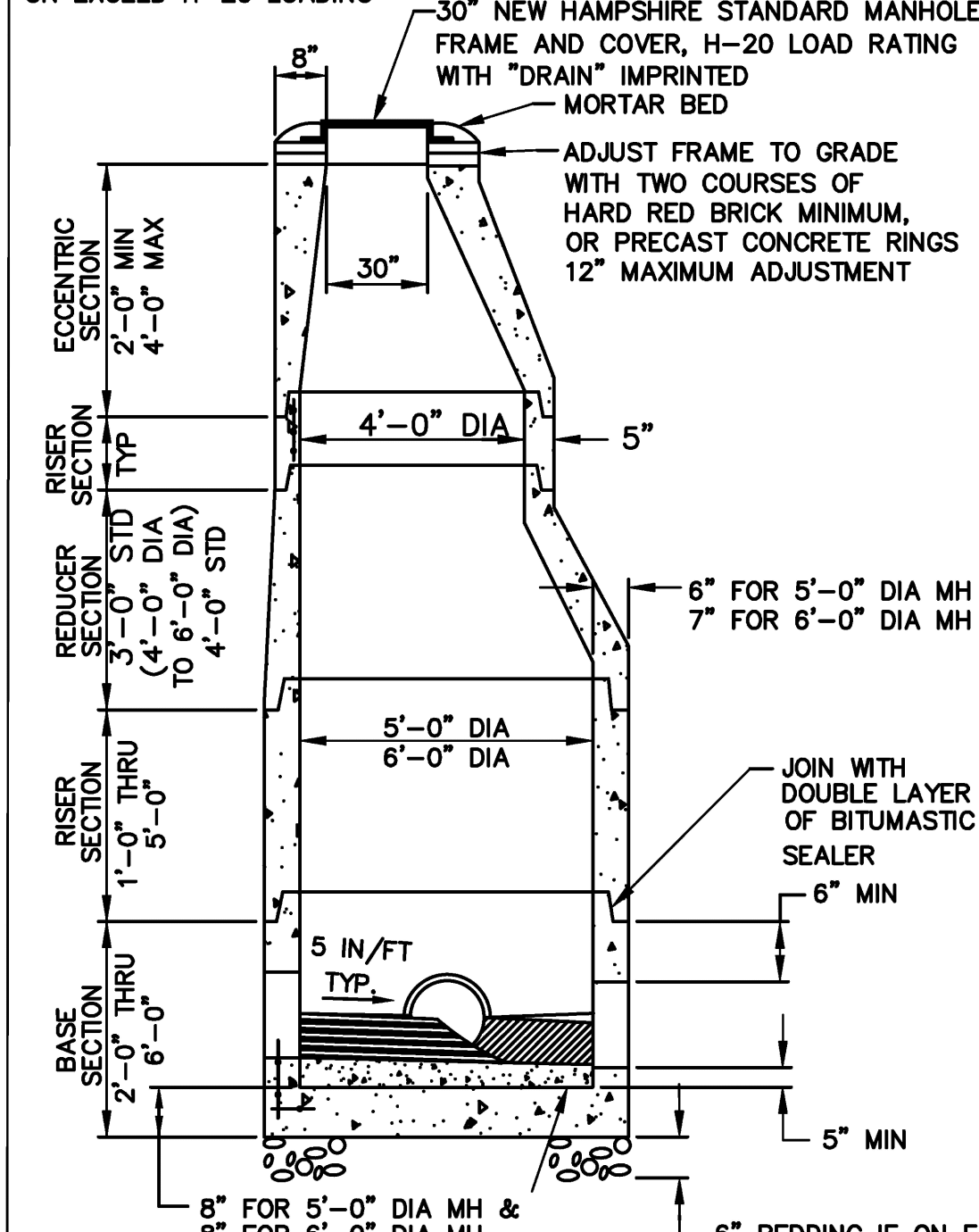
PLAN VIEW DOUBLE GRATE



SECTION B-B CATCH BASIN FRAME AND GRATE

NOT TO SCALE
HS-20LOADING, NHDOT TYPE F (MIN)

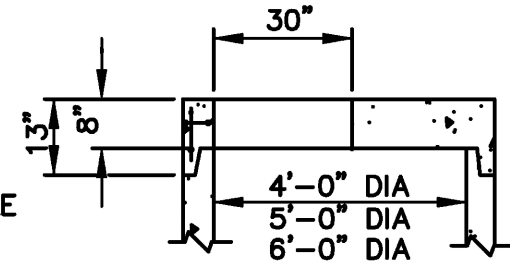
NOTE: ALTERNATE ECCENTRIC TOP SHALL BE DESIGNED TO MEET OR EXCEED H-20 LOADING



STANDARD DRAINAGE MANHOLE

NOT TO SCALE

ALTERNATE COVER



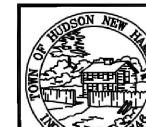
GENERAL NOTES FOR MH'S AND CB'S

- REINFORCING STEEL SHALL CONFORM TO THE LATEST ASTM A185 SPECIFICATIONS:

SECTION SIZE	STEEL REQUIREMENT
4'-0" DIA	0.12 SQ.IN./L.F.
5'-0" DIA	0.15 SQ.IN./L.F.
6'-0" DIA	0.18 SQ.IN./L.F.
8'-0" DIA	0.24 SQ.IN./L.F.
- CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 4000 PSI MINIMUM.
- DESIGN SPECIFICATIONS SHALL CONFORM TO ASTM C478 LATEST EDITION.
- BASE SECTIONS SHALL BE POURED MONOLITHICALLY.
- PIPE JOINTS SHALL BE: LOCK JOINT, FLEXIBLE SLEEVE KOR-N-SEAL FLEXIBLE SLEEVE A-LOK RUBBER GASKET
- A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:

PIPE TYPE	PIPE SIZE	DISTANCE
RCP & CI	ALL SIZES	4'-0"

 NONE REQUIRED UNDER SEVERE CONDITIONS WHEN DIFFERENTIAL SETTING CAN NOT BE CONTROLLED WITHIN NORMAL LIMITS, VARIATIONS IN THE STUB LENGTH MAY BE NECESSARY.



TOWN OF HUDSON
12 SCHOOL STREET
HUDSON, NH 03051

DETAIL D-1
STANDARD DRAINAGE MANHOLE
TOWN OF HUDSON AUGUST-01
REV: JULY 2019 SCALE: NTS

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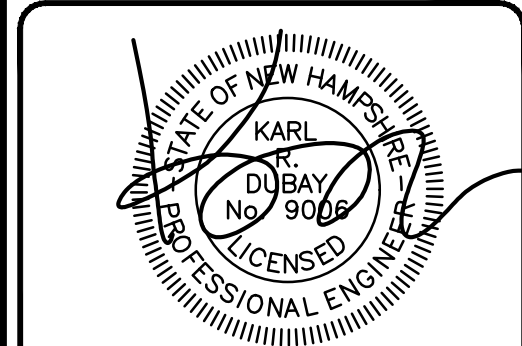
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PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE: **SITE DETAILS - 7**

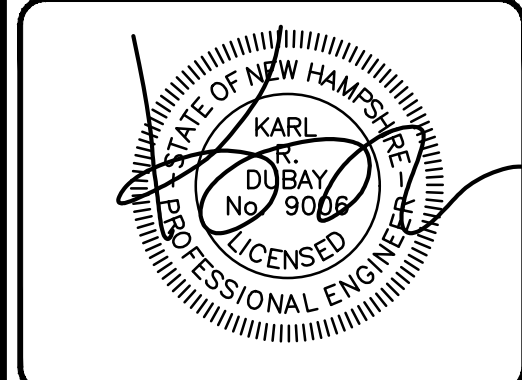
PROJECT #475 SHEET D7



The Dubay Group, Inc.
 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462

Engineers
 Planners
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REVISIONS:			
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3	10/5/21	MISC. REVS	WA
5	11/23/21	MISC. REVS	JUG

DRAWN BY: JUG
 CHECKED BY: KRD
 DATE: AUG. 3, 2021
 SCALE: AS SHOWN
 FILE: 475-DETAILS
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH
 PREPARED FOR



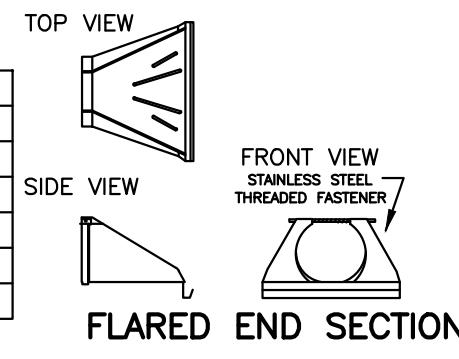
LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
SITE DETAILS - 8
 PROJECT #475 SHEET D8

FLARED END SECTIONS

SIZE	PRODUCT CODE
10"(250mm)	1015NP
12"(300mm)/15"(375mm)	1210NP
18"(450mm)	1810NP
24"(600mm)	2410NP
30"(750mm)	3015NP
36"(900mm)	3615NP



METAL TRASH GUARDS*

DIAMETER	DESCRIPTION	PRODUCT CODE
12"(300mm)	GALVANIZED STEEL	1290DA
15"(375mm)	GALVANIZED STEEL	1590DA
18"(450mm)	GALVANIZED STEEL	1890DA
24"(600mm)	GALVANIZED STEEL	2490DA
30"(750mm)	GALVANIZED STEEL	3090DA
36"(900mm)	GALVANIZED STEEL	3690DA

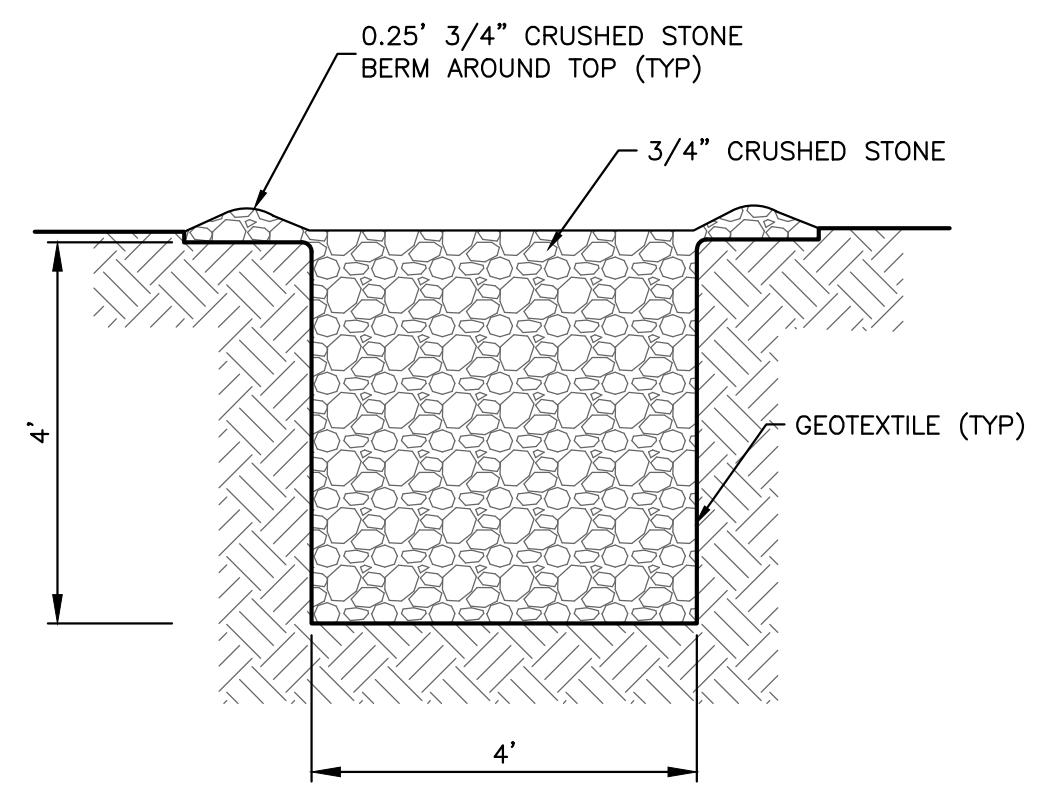


*GRATE IS SIZED TO FIT FLARED END SECTIONS ONLY.

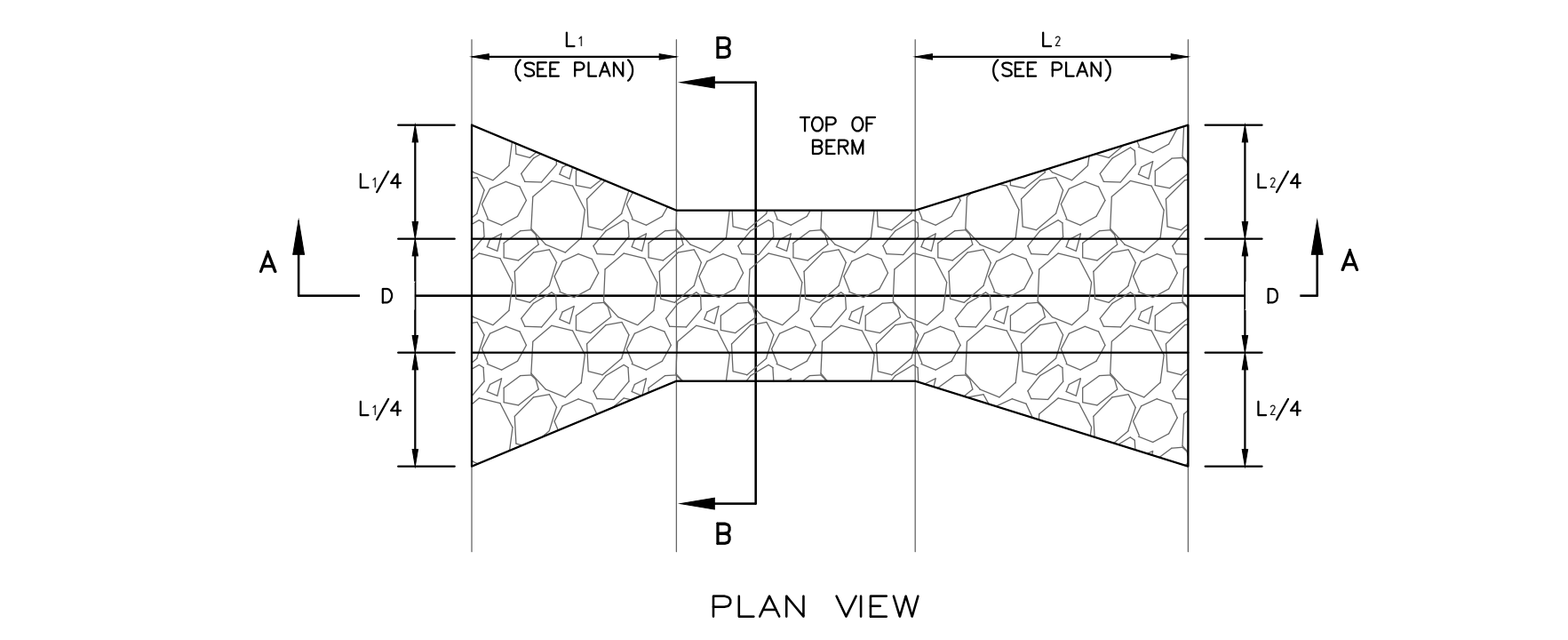
METAL TRASH GUARD

FLARED END SECTION TRASH GUARD
DETAIL

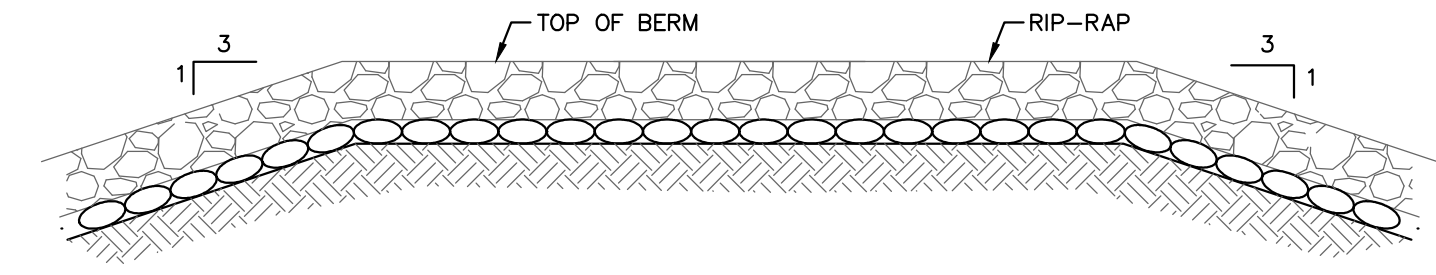
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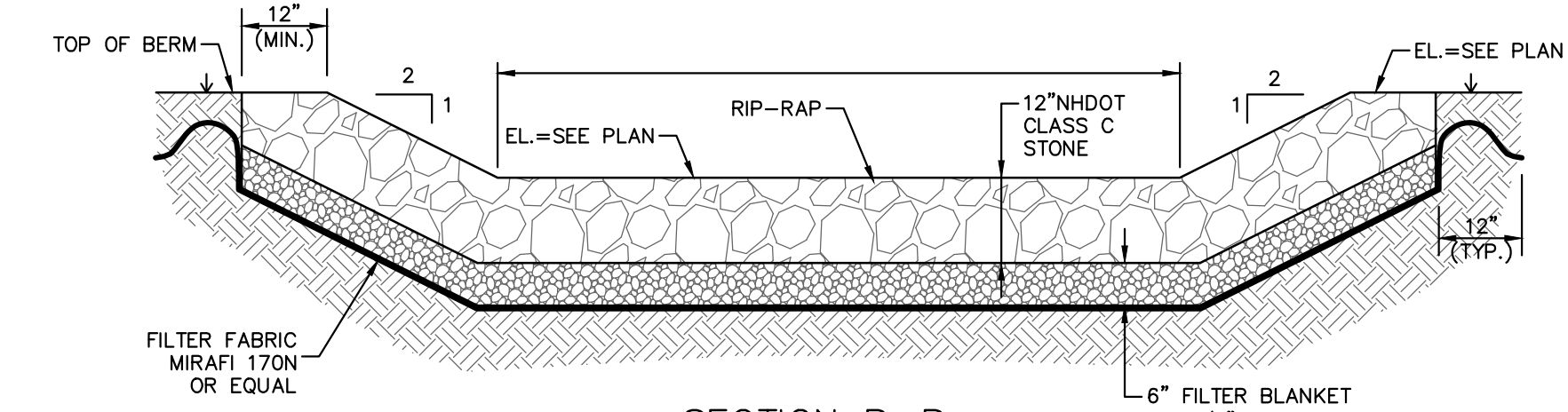
GRAVEL DRY WELL
 NOT TO SCALE



PLAN VIEW

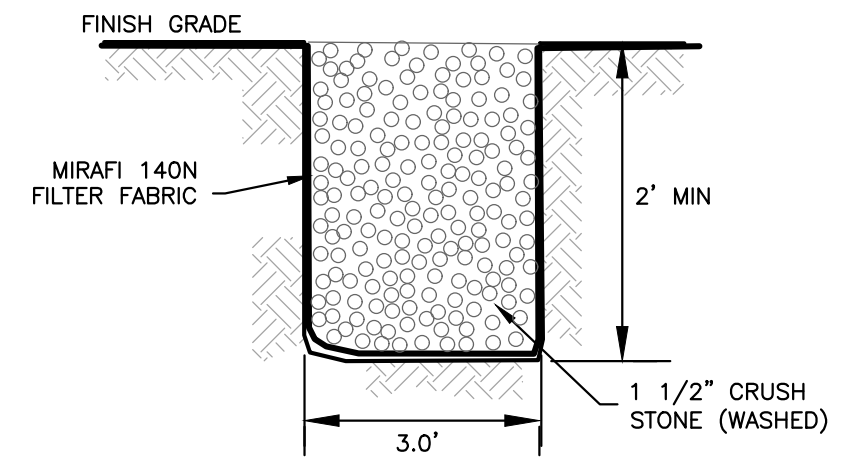


SECTION A-A

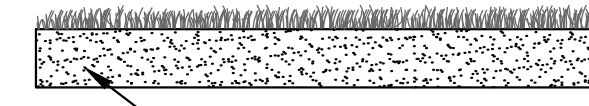


SECTION B-B

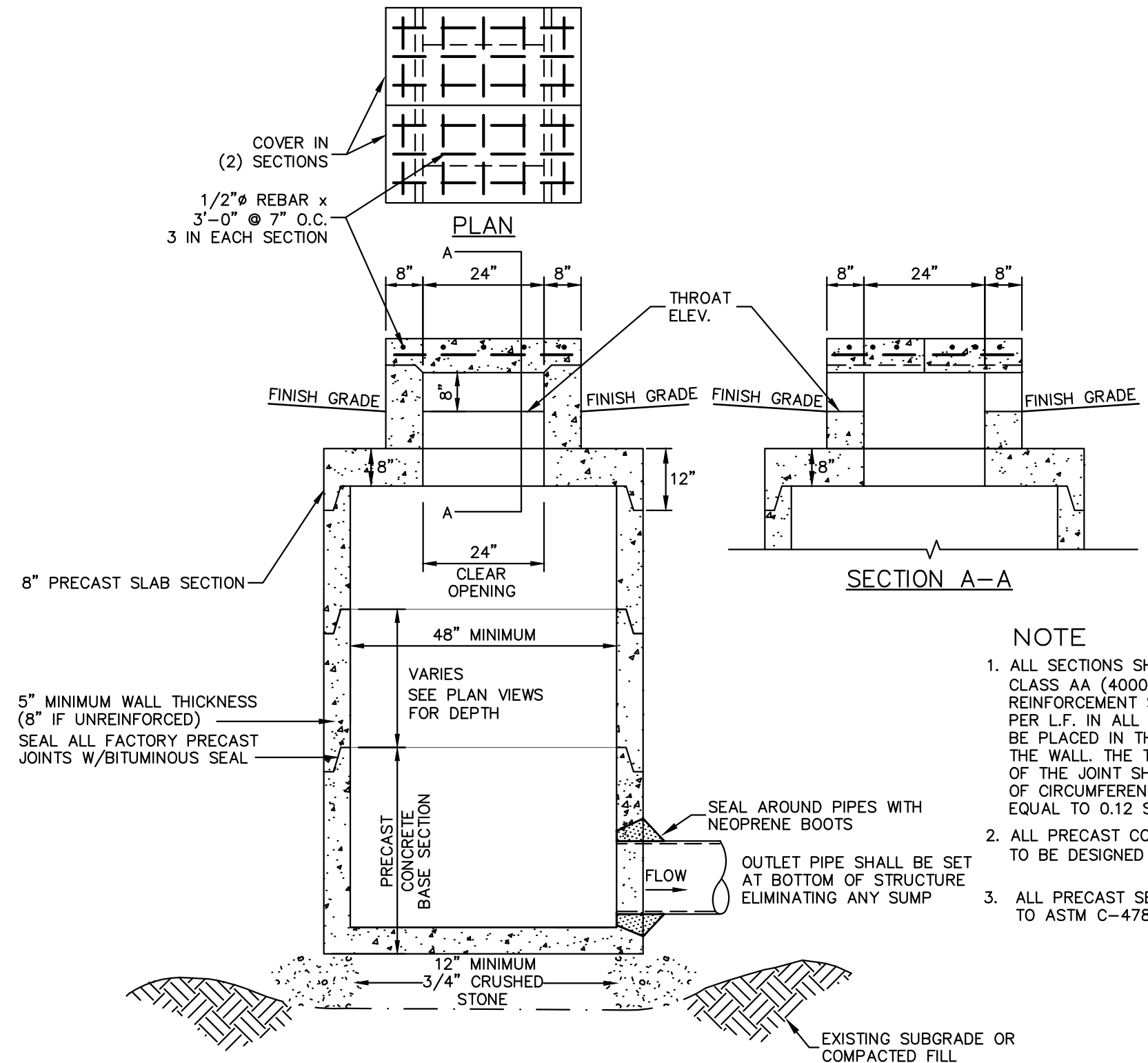
OVERFLOW SPILLWAY
 NOT TO SCALE



DRAINAGE INFILTRATION TRENCH DETAIL
 NOT TO SCALE

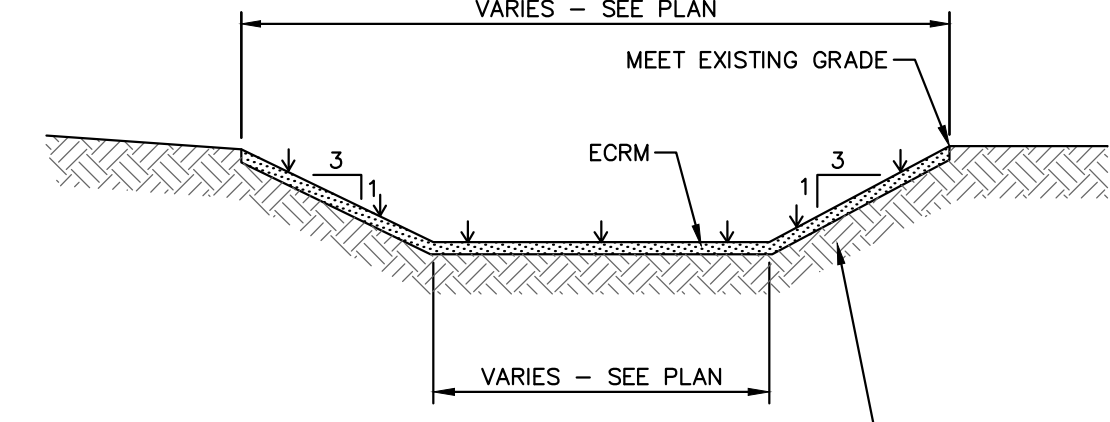


LOAM & SEED DETAIL
 NOT TO SCALE



NHDOT TYPE C CATCH BASIN WITH DROP INLET DETAIL
 NOT TO SCALE

- NOTE**
- ALL SECTIONS SHALL BE CONCRETE CLASS AA (4000 PSI). CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER L.F. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER L.F.
 - ALL PRECAST CONCRETE STRUCTURES ARE TO BE DESIGNED TO MEET H-20 LOADING.
 - ALL PRECAST SECTIONS SHALL CONFORM TO ASTM C-478



- NOTES**
- AT A MINIMUM, SEDIMENT PONDS MUST PROVIDE STORAGE FOR EITHER (1) THE CALCULATED VOLUME OF RUNOFF FROM THE 2-YEAR, 24-HOUR STORM (SEE CGP APP. H), OR (2) 3,600 CUBIC FEET PER ACRE DRAINED.
 - SEDIMENT PONDS MUST ALSO UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE, UNLESS INFEASIBLE.
 - REFER TO ENV-WQ 1506.10 FOR GUIDANCE AND DESIGN REQUIREMENTS.

TEMPORARY SEDIMENT TRAP
 NOT TO SCALE

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-DETAILS.dwg

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____

SECRETARY _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

CONSTRUCTION CRITERIA:

1. FOUNDATION PREPARATION – THE FOUNDATION AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOD, AND RUBBISH. IF NEEDED TO ESTABLISH VEGETATION, THE TOPSOIL AND SOD SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED DAM AND SPILLWAYS. FOUNDATION SURFACES SHALL BE SLOPED NO STEEPER THAN 1:1. THE FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IT SHALL BE COMPACTED IF NECESSARY SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE FOUNDATIONS.

THE CUTOFF TRENCH AND ANY OTHER REQUIRED EXCAVATIONS SHALL BE DUG TO THE LINES AND GRADES SHOWN ON THE PLANS OR AS STAKED IN THE FIELD. IF THEY ARE SUITABLE, EXCAVATED MATERIALS SHALL BE USED IN THE PERMANENT FILL.

EXISTING STREAM CHANNELS IN THE FOUNDATION AREA SHALL BE SLOPED NO STEEPER THAN 1:1 AND DEEPEMED AND WIDENED AS NECESSARY TO REMOVE ALL STONES, GRAVEL, SAND, STUMPS, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AND TO ACCOMMODATE COMPACTION EQUIPMENT.

FOUNDATION AREAS SHALL BE KEPT FREE OF STANDING WATER WHEN FILL IS BEING PLACED ON THEM.

2. FILL PLACEMENT – THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOD, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILLS), AND OTHER OBJECTIONABLE MATERIAL.

SELECTED BACKFILL MATERIAL SHALL BE PLACED AROUND STRUCTURES, PIPE CONDUITS, AND ANTISEEP COLLARS AT ABOUT THE SAME RATE ON ALL SIDES TO PREVENT DAMAGE FROM UNEQUAL LOADING.

THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION AND THE FILL BROUGHT UP IN HORIZONTAL LAYERS OF SUCH THICKNESS THAT THE REQUIRED COMPACTION CAN BE OBTAINED. THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS EXCEPT WHERE OPENINGS OR SECTIONALIZED FILLS ARE REQUIRED. IN THOSE CASES, THE SLOPE OF THE BONDING SURFACES BETWEEN THE EMBANKMENT IN PLACE AND THE EMBANKMENT TO BE PLACED SHALL NOT BE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE BONDING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION SO AS TO INSURE A GOOD BOND WITH THE NEW FILL.

THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OF GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION, THE MORE IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER AND UPSTREAM PARTS OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THE DRAWINGS OR AS STAKED IN THE FIELD.

3. MOISTURE CONTROL – THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND MIXED UNTIL THE REQUIREMENT IS MET.

4. COMPACTION – CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION.

IF A MINIMUM REQUIRED DENSITY IS SPECIFIED, EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY.

FILL ADJACENT TO STRUCTURES, PIPE CONDUITS, AND ANTISEEP COLLARS SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY MEANS OF HAND TAMPING OR MANUALLY DIRECTED POWER TAMPER OR PLATE VIBRATORS. FILL ADJACENT TO CONCRETE STRUCTURES SHALL NOT BE COMPACTED UNTIL THE CONCRETE IS STRONG ENOUGH TO SUPPORT THE LOAD.

5. PROTECTION – A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS, SUCH AS MULCHES OR GRAVEL, MAY BE USED. IN SOME PLACES, TEMPORARY VEGETATION MAY BE USED UNTIL CONDITIONS PERMIT ESTABLISHMENT OF PERMANENT VEGETATION. THE EMBANKMENT AND SPILLWAY SHALL BE FENCED IF NECESSARY TO PROTECT THE VEGETATION.

SEEDBED PREPARATION, SEEDING, FERTILIZING, AND MULCHING SHALL COMPLY WITH THE APPROPRIATE VEGETATIVE BMPs.

6. CONCRETE – ALL CONCRETE SHALL MEET SPECIFICATIONS OF NHOOT CLASS 'A' CONCRETE UNLESS OTHERWISE NOTED.

7. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO INFILTRATION BASINS.

8. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION BASIN.

9. AFTER THE BASIN IS EXCAVATED TO FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.

10. VEGETATION SHOULD BE ESTABLISHED IMMEDIATELY.

11. DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

MAINTENANCE:

MAINTENANCE IS NECESSARY IF DETENTION/RETENTION BASINS ARE TO CONTINUE TO FUNCTION AS ORIGINALLY DESIGNED. A LOCAL GOVERNMENT, A DESIGNATED GROUP SUCH AS A HOMEOWNERS' ASSOCIATION OR SOME INDIVIDUAL MUST BE ASSIGNED RESPONSIBILITY FOR MAINTAINING THE STRUCTURES AND THE BASIN AREA. A MAINTENANCE PLAN SHOULD BE DEVELOPED THAT OUTLINES THE MAINTENANCE OPERATIONS AND A SCHEDULE FOR CARRYING OUT THE PROCEDURES.

THE FOLLOWING ARE SOME ITEMS WHICH SHOULD BE CONSIDERED IN FORMULATING A MAINTENANCE PLAN.

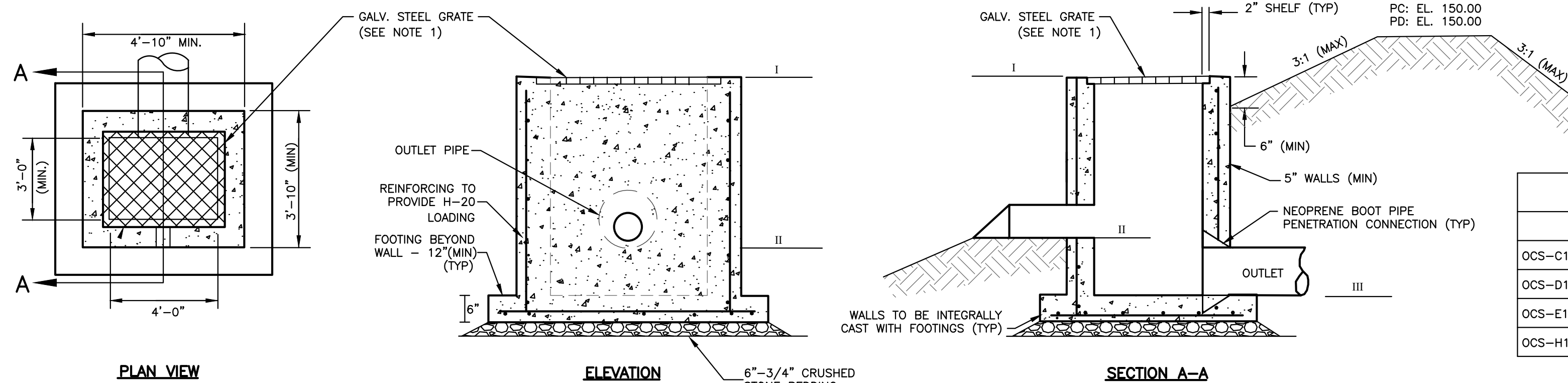
- EMBANKMENT – THE EMBANKMENT SHOULD BE INSPECTED ANNUALLY TO DETERMINE IF RODENT BURROWS, WET AREAS, OR EROSION OF THE FILL IS TAKING PLACE.
- VEGETATION – THE VEGETATED AREAS OF THE STRUCTURE SHOULD BE PROTECTED FROM DRAINAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. LIME AND FERTILIZER SHOULD BE APPLIED AS NECESSARY AS DETERMINED BY SOIL TESTS. TREES AND SHRUBS SHOULD BE KEPT OFF THE EMBANKMENT AND EMERGENCY SPILLWAY AREAS.

3. INLETS – PIPE INLETS AND SPILLWAY STRUCTURES SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. ACCUMULATED DEBRIS AND SEDIMENT SHOULD BE REMOVED. IF PIPES ARE COATED, THE COATING SHOULD BE CHECKED AND REPAIRED AS NECESSARY.

4. OUTLETS – PIPE OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY. IF EROSION IS TAKING PLACE, THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE AFFECTED AREA OF THE OUTLET.

5. SEDIMENT – SEDIMENT SHOULD BE CONTINUALLY CHECKED IN THE BASIN. WHEN SEDIMENT ACCUMULATIONS REACH THE PREDETERMINED DESIGN ELEVATION, THEN THE SEDIMENT SHOULD BE REMOVED AND PROPERLY DISPOSED OF.

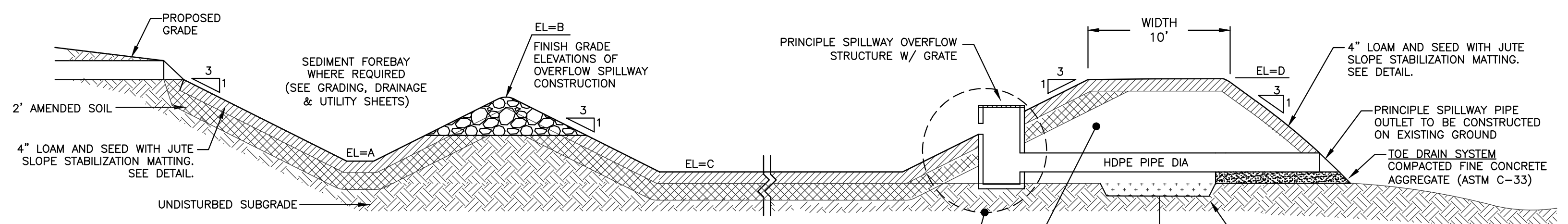
6. SAFETY INSPECTIONS – ALL PERMANENT IMPOUNDMENTS SHOULD BE INSPECTED BY A QUALIFIED PROFESSIONAL ENGINEER ON A PERIODIC BASIS. IF THERE IS A POTENTIAL FOR SIGNIFICANT DAMAGE OR LOSS OF LIFE DOWNSTREAM, THEN THE INSPECTION SHOULD BE CARRIED OUT ANNUALLY. THE DESIGNATED INDIVIDUAL OR GROUP SHOULD ALSO MAKE INSPECTIONS AFTER EVERY MAJOR STORM EVENT.



ELEVATIONS			
	I	II	III
OCS-C1	149.50	—	146.50 (24")
OCS-D1	149.50	—	146.50 (24")
OCS-E1	157.50	150.00 (24")	149.90 (30")
OCS-H1	153.50	150.00 (3")	150.00 (15")

NOTES:
1. GALVANIZED STEEL GRATE SHALL BE BOLTED TO TOP OF STRUCTURE WITH 1/2" STAINLESS STEEL BOLTS WITH THREADED INSERTS.

OUTLET CONTROL STRUCTURE DETAIL
NOT TO SCALE



POND	A	B	C	D
POND C	142.00	144.00	144.00	150.00
POND D	142.00	144.00	142.00	150.00
POND E	—	—	148.00	162.00
POND H	148.00	149.50	146.00	154.00

INFILTRATION POND
TYPICAL POND SECTION & PRINCIPLE
SPILLWAY PROFILE DETAILS
NOT TO SCALE

SOIL AMENDMENT NOTE:

- WHERE NECESSARY, THE CONTRACTOR SHALL OVER EXCAVATE THE BOTTOMS AND SIDES OF THE PROPOSED PRACTICE TO PROVIDE A CONSISTENT AMENDED SOIL DEPTH OF 2 FEET MEETING AN INFILTRATION RATE OF 10 INCHES PER HOUR.
- A QUALIFIED SOIL SCIENTIST, GEOLOGIST, OR ENGINEER SHALL BE RETAINED TO DESIGN THE SOIL AMENDMENT AND PERFORM INFILTRATION TESTING AT THE BASIN LOCATION. THE INFORMATION AND TEST RESULTS SHALL BE PROVIDED TO THE NHDES ALTERATION OF TERRAIN BUREAU AS WELL AS THE TOWN OF HUDSON TO VERIFY THE ASSUMED INFILTRATION RATES USED IN THE HYDROLOGIC MODEL.

RECHARGE BASIN NOTES:

- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASIN.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION BASIN.
- AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
- VEGETATION SHOULD BE ESTABLISHED IMMEDIATELY.
- DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

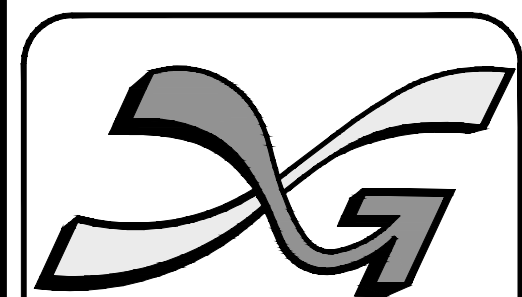
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____

SECRETARY _____ SIGNATURE DATE: _____

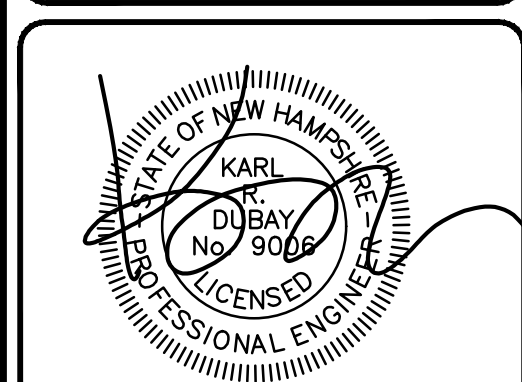
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PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
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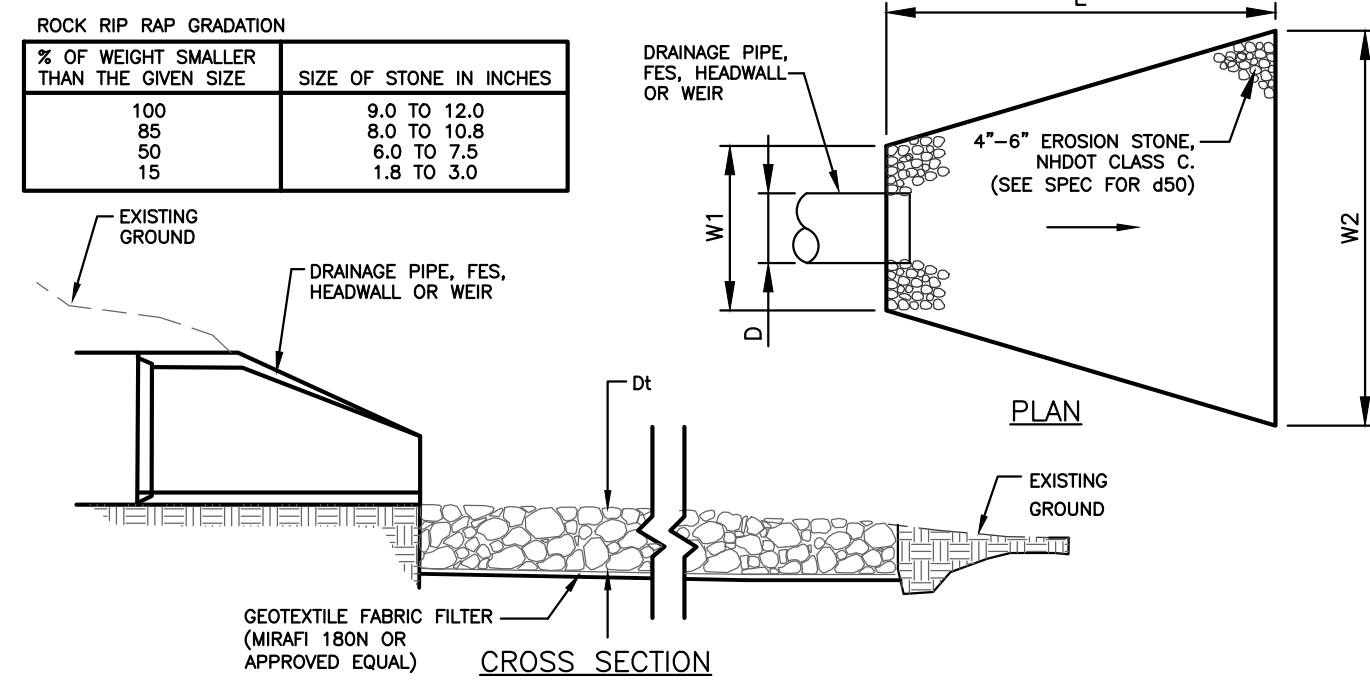
PREPARED FOR: **GFI PARTNERS**

LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
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OWNER: **5 WAY REALTY TRUST**
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE:
SITE
DETAILS - 9

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CONSTRUCTION NOTES:

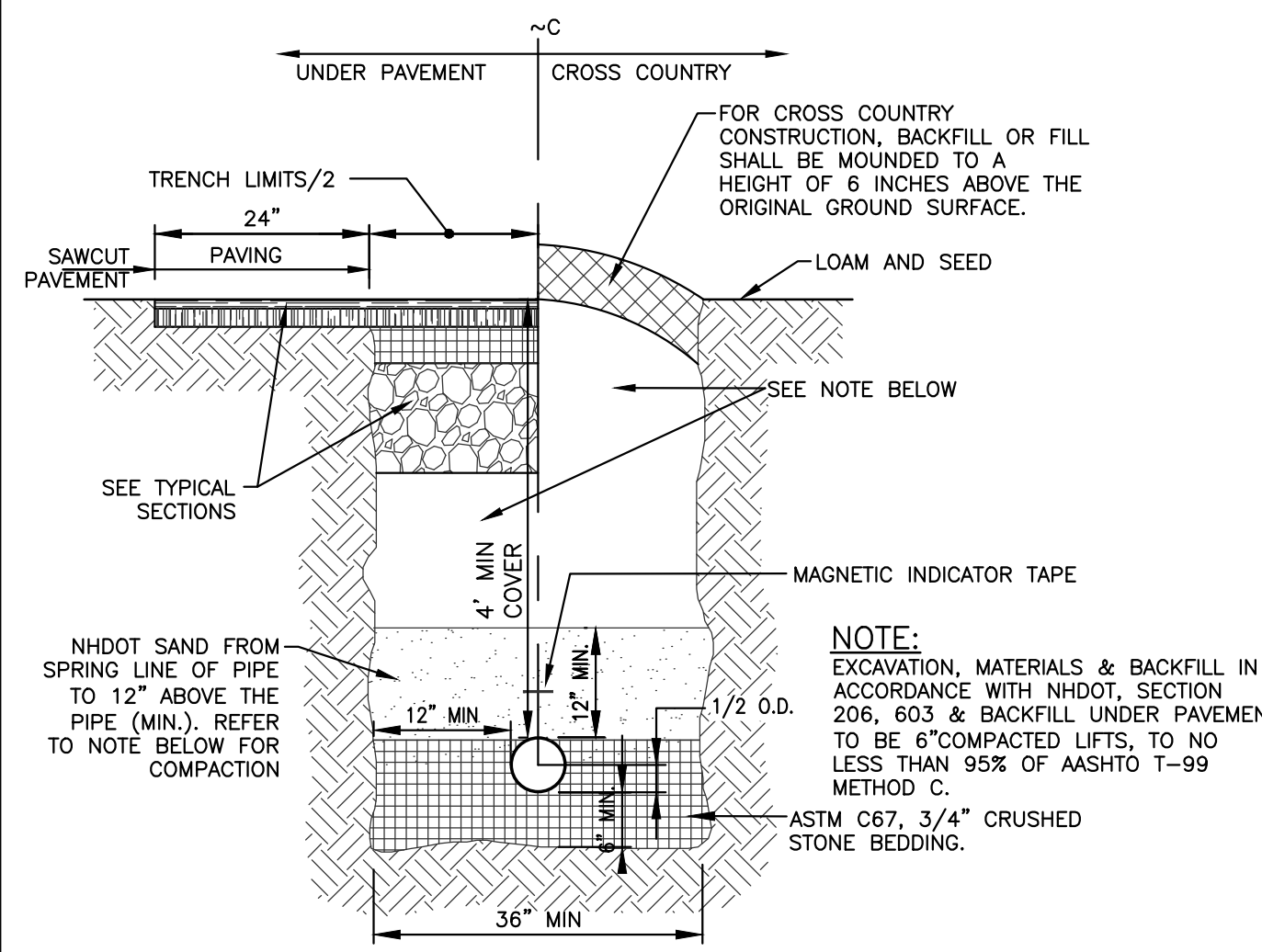
1. THE SUBGRADE, GEOTEXTILE FABRIC, AND RIPRAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK OR GRAVEL USED FOR RIPRAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIPRAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIPRAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
5. THE MEDIAN STONE DIAMETER FOR THE RIPRAP APRON IS d50. FIFTY PERCENT BY WEIGHT OF THE RIPRAP MIXTURE SHALL BE SMALLER THAN THE MEDIAN STONE SIZE. THE LARGEST STONE SIZE IN THE MIXTURE SHALL BE 1.5 TIMES THE d50.

MAINTENANCE

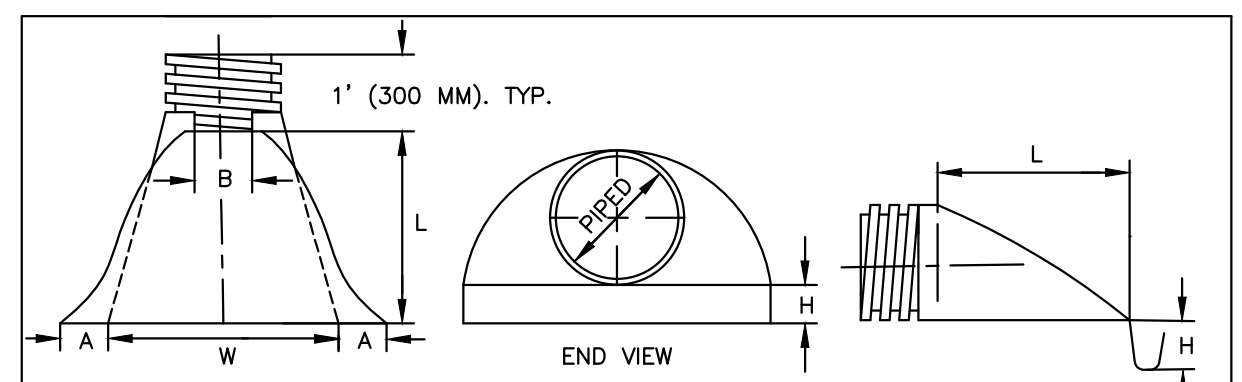
1. THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM WITHIN THE GROWING STABILIZATION PERIOD. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

STONE LINED OUTLET PROTECTION
NOT TO SCALE

LOCATION	Lo	W1	W2	d50	Depth
FES-E1	24'	6'	16'	6"	15"
FES-E2	34'	8'	21'	6"	15"
FES-E3	39'	11'	26'	6"	15"
FES-E5	8'	3'	11'	6"	15"
FES-D1	35'	8'	21'	6"	15"
FES-D2	23'	6'	16'	6"	15"
FES-D3	14'	6'	20'	6"	15"
FES-C1	39'	9'	25'	6"	15"
FES-C2	43'	11'	28'	6"	15"
FES-C3	14'	6'	20'	6"	15"



TYPICAL TRENCH DETAIL
NOT TO SCALE
(TYPICAL TO ALL NON-INFILTRATION PIPES)



PIPE DIAMETER	DIMENSIONS, INCHES (MM)					
	PART No.	A. ± 1 (25)	B MAX	H. ± 1 (25)	L. ± 1/2(13)	W. ± 2 (50)
12. 15 (300,375)	1210 NP	6.5 (165)	10 (254)	6.5 (165)	25 (635)	29 (738)
18 (450)	1810 NP	7.5 (190)	15 (380)	6.5 (168)	32 (812)	35 (890)
24 (600)	2410 NP	7.5 (190)	18 (450)	6.5 (165)	36 (900)	45 (1140)
30 (750)	3010 NP	10.5 (266)	NA	7.0 (178)	53 (1346)	68 (1735)
36 (900)	3610 NP	10.5 (266)	NA	7.0 (178)	53 (1346)	68 (1725)

ADS END SECTION DETAIL
NOT TO SCALE

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SHEET TITLE:
SITE
DETAILS - 10

PROJECT #475 SHEET D10

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APPROVED BY THE HUDSON, NH PLANNING BOARD

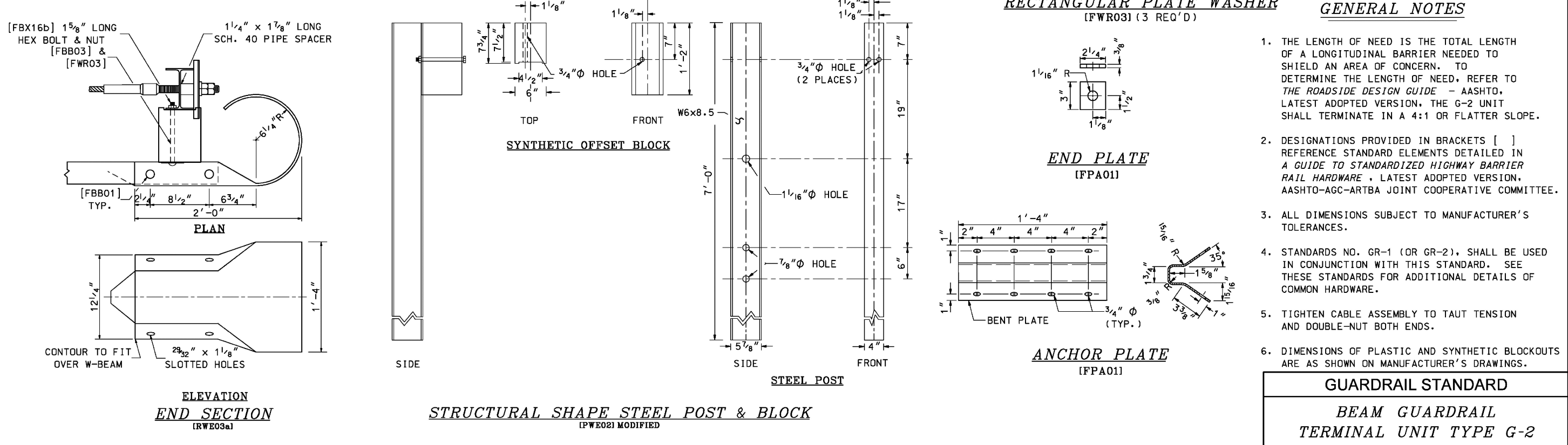
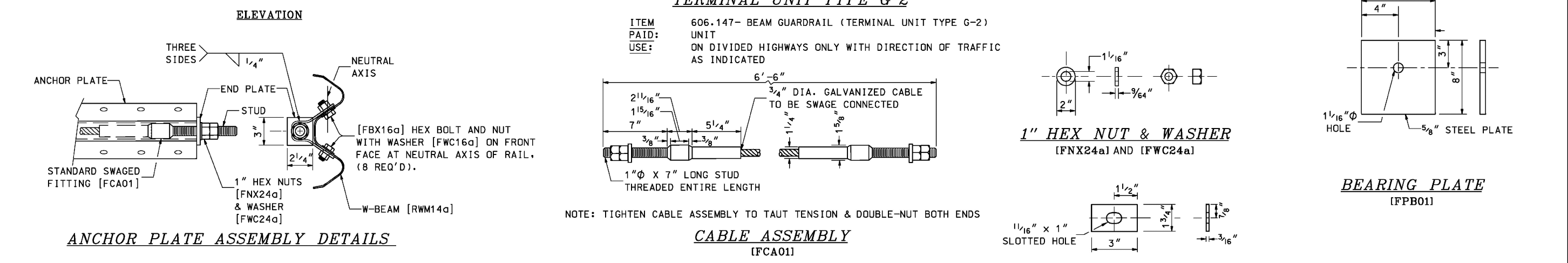
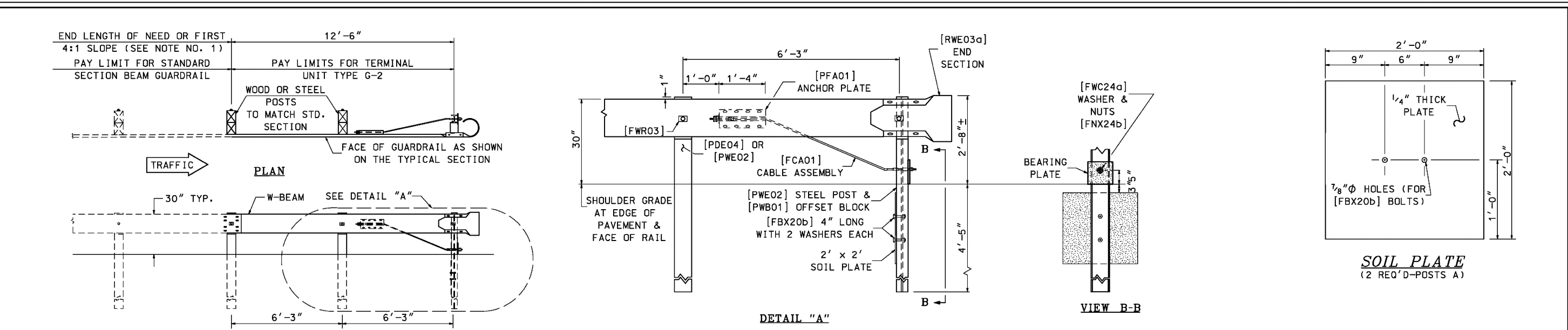
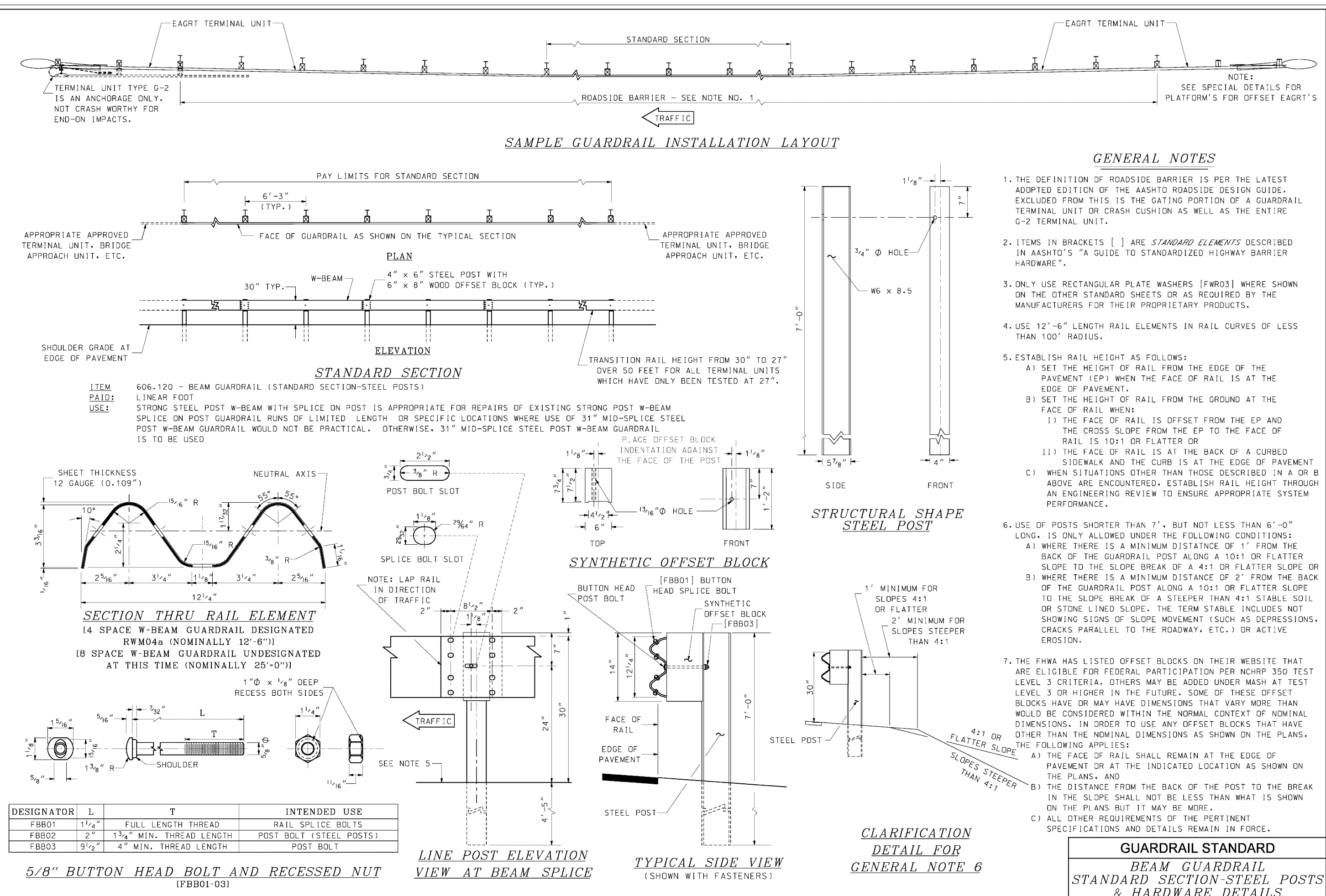
DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-DETAILS.dwg



STANDARD NO. GR-2

REVISION DATE: 07-13-2001, 06-16-2010, 05-03-2011, 08-19-2015

CON FILE NAME: GR-2

STANDARD NO. GR-10

REVISION DATE: 07-13-2001, 06-16-2010

CON FILE NAME: GR-10

STANDARD NO. GR-10

REVISION DATE: 07-13-2001, 06-16-2010

CON FILE NAME: GR-10

The Dubay Group, Inc.
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers
Planners
Surveyors
TheDubayGroup.com

KARL DUBAY
PROFESSIONAL ENGINEER
LICENSED

REV.	DATE	REVISIONS:	BY:
3	10/5/21	MISC. REVS	WA

DRAWN BY: JGG
CHECKED BY: KRD
DATE: AUG. 3, 2021
SCALE: AS SHOWN
FILE: 475-DETAILS

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH

PREPARED FOR: **GFI PARTNERS**

LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110

OWNER: **5 WAY REALTY TRUST**
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE: **SITE DETAILS - 11**

PROJECT #475 SHEET D11

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

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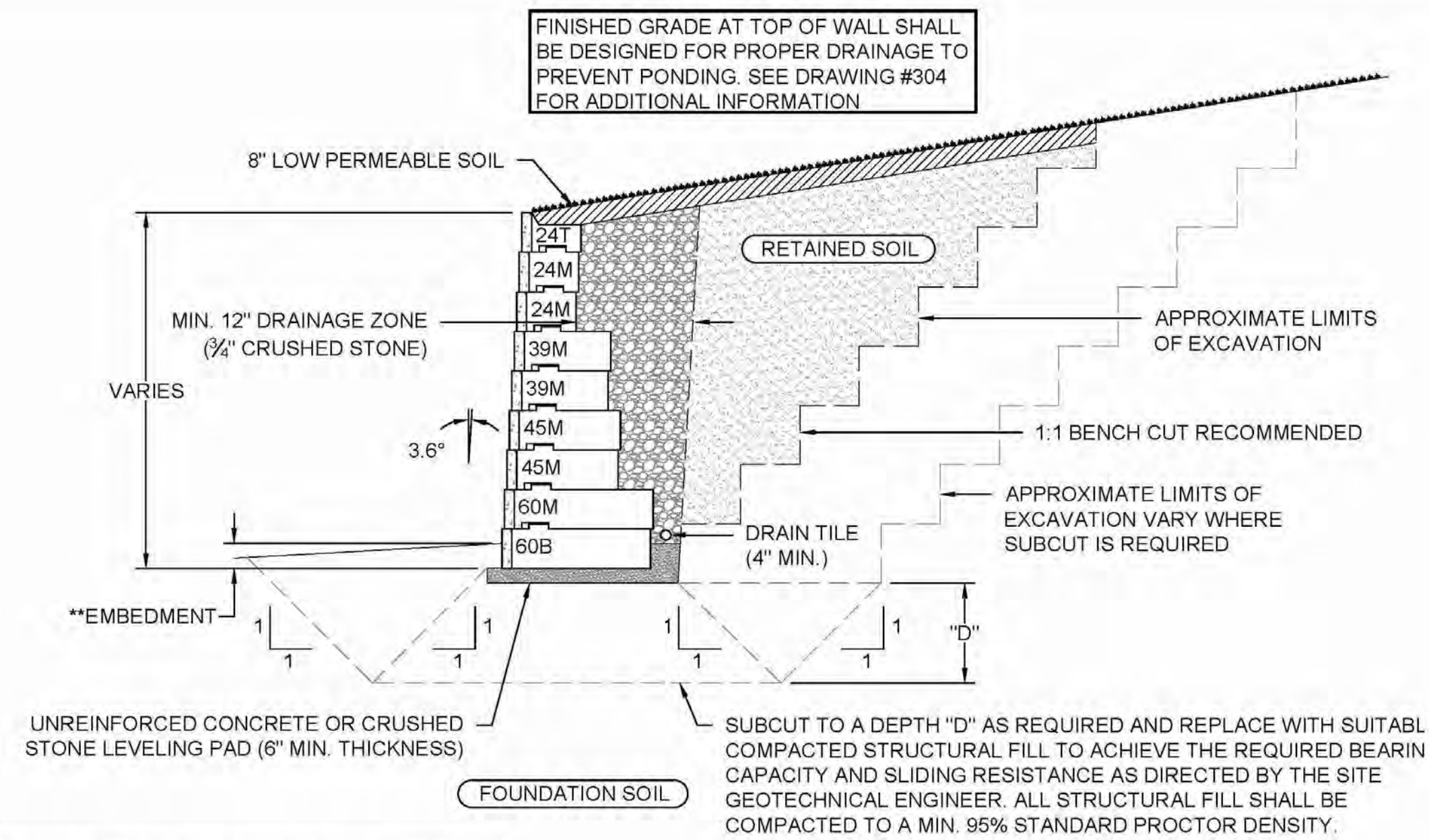
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

CHAIRMAN _____ SIGNATURE DATE: _____

SECRETARY _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



**EMBEDMENT SHOULD BE THE GREATER OF 6" OR H/20 FOR WALLS WITH LEVEL GRADE AT THE TOE. REFER TO RECON'S EMBEDMENT RECOMMENDATION DOCUMENT FOR ADDITIONAL INFORMATION FOR WALLS WITH A TOE SLOPE CONDITION.

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DRAWING #103

TYPICAL GRAVITY WALL CROSS SECTION

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 952-922-0027
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 136 Harvey Rd. Bldg B101
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 603-458-6462

Engineers
 Planners
 Surveyors
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REVISIONS:			
REV.	DATE	COMMENT	BY
3	10/5/21	MISC. REVS	WA

DRAWN BY: JGG
 CHECKED BY: KRK
 DATE: AUG. 3, 2021
 SCALE: AS SHOWN
 FILE: 475-DETAILS
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH



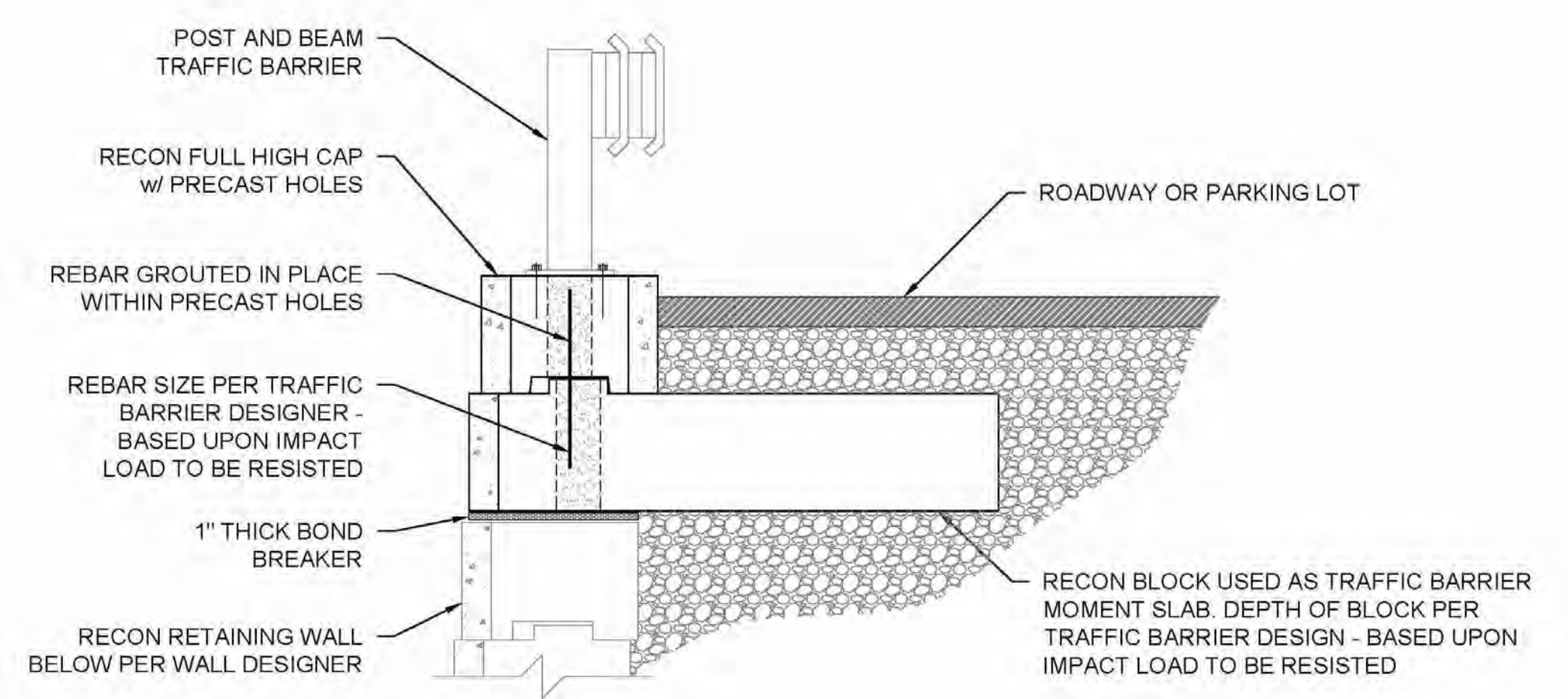
LOWELL ROAD
 PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110
 OWNER

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:
**SITE
 DETAILS - 12**

PROJECT #475 SHEET D12

NOTE:
 WITH PROPER REINFORCING AND MOMENT SLAB BLOCK DEPTHS, A POST AND BEAM TRAFFIC BARRIER CAN BE ATTACHED TO THE TOP OF RECON'S FULL HIGH CAP CREATING A TRAFFIC BARRIER CAPABLE OF RESISTING LOADS AS HIGH AS AASHTO'S TL-1 (13,500 LBS). THIS DETAIL IS INTENDED TO REPRESENT THE GENERAL CONFIGURATION OF THE BLOCK AND THE LOCATION OF THE REBAR REINFORCEMENT. FINAL DESIGN AND LAYOUT OF THE REBAR, MOMENT SLAB BLOCK DEPTH AND ALL CONNECTIONS IS BY OTHERS. CONTACT RECON TO OBTAIN AN EXAMPLE COPY OF THE SUPPORTING CALCULATIONS FOR THE BLOCK PORTION OF THE TRAFFIC BARRIER SYSTEM. ALL CALCULATIONS SHALL BE REVIEWED BY A PROFESSIONAL ENGINEER PRIOR TO USE IN FINAL DESIGN.



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DRAWING #507

INTEGRAL POST AND BEAM TRAFFIC BARRIER

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 www.reconwalls.com



Anti-icing

NH Best Management Practices

GET OUT EARLY

Typically anti-icing is most effective if applied 1-2 hours before the precipitation begins however it can be applied up to 24 hours in advance.

TRY IT FIRST

Trying anti-icing for the first time? Make a 23.3% brine solution and before a storm spray pavement on your own property using a masonry/plant sprayer. Use this experiment to determine how best to use it with your clients.

LEAVE SOME PAVEMENT BARE

It's always best to use stream nozzles instead of fan tip to avoid creating a slippery condition. If the anti-icing liquid freezes the bare pavement will still provide a traction surface.

USE A FILTER

Having a filter in your liquid dispensing system will reduce clogs in your nozzle. Automotive in-line fuel filters work quiet well. If your liquid dispenser is not functioning properly be sure to check the filter first.

A Proactive Treatment

Anti-icing before a storm is very similar to using a non-stick spray on a pan before cooking. Just like a non-stick spray prevents food from bonding to the pan, anti-icing prevents snow and ice from bonding to the pavement so that it can be plowed away. Anti-icing can save you money as it costs 50% less than reactive deicing.



Make Your Own Salt Brine

When making brine it is important to add enough salt to produce a 23.3% solution which freezes around 0°F. Roughly 2.5lb per gallon of water will produce a 23.3% solution. You can verify using a salometer (~\$20) a 23.3% solution will have a specific gravity of 1.176, or 85% salinity. Consult the Brine Making BMP sheet for more info.



How Much Should I Use and When?

You can apply brine up to 24 hours in advance of the storm. Typical application rates range from 0.5 to 0.75 gallon per 1000 sq.ft. (10' x 100' area). Other chemicals such as magnesium are also available—consult your supplier for application rates. Anti-icing is not advised prior to freezing rain events.



Getting Started

Try making your own salt brine by putting 13 lb of salt in 5 gallons of water to get a 23.3% salt brine solution. Mix the brine until all of the salt is dissolved. Using a masonry sprayer apply the liquid several hours before a storm. Start by applying about 0.25–0.5 gallons to a 10' x 50' area. Adjust the application rates based on your experience. Being careful not to over apply and cause a slippery condition.



Produced in partnership with:



NHDES ANTI-ICING BEST MANAGEMENT PRACTICES

NOT TO SCALE

ENVIRONMENTAL Fact Sheet



29 Hazen Drive, Concord, New Hampshire 03301 • (603) 271-3503 • www.des.nh.gov

WMB-3

2007

Snow Disposal Guidelines

Introduction

During each snowfall season from November to April, the Department of Environmental Services receives many complaints related to snow disposal into and/or near surface water. There are several different concerns regarding disposal of snow cleared from streets and parking lots. These can be initially categorized as aesthetic concerns, such as minimizing the visibility of debris and huge snow piles, and environmental concerns, such as protection of groundwater quality, surface water quality, and aquatic life.

The environmental effects of disposed snow result from high levels of sodium chloride, sand, debris and contaminants from automobile exhaust. It is the debris contained in plowed snow that makes it illegal to dump snow directly in water bodies. RSA 485-A:13.(a) prohibits discharging wastes to surface waters without a permit. Groundwater is sensitive to snow dumping due to the high levels of sodium chloride in plowed snow. RSA 485-C:12 prohibits the siting or operation of snow dumps within classified wellhead protection areas.

Refer to the following guidelines for siting legal snow dumps and protecting the environment.

Recommended Guidelines for Snow Disposal

By following these guidelines you will find a safe place to dump plowed snow. Please note that snow dumps are kept out of water bodies due to litter and debris. Litter and debris do not belong on the land surface either; after the snow melts, all litter and debris must be collected and disposed of properly.

- Disposed snow should be stored near flowing surface waters, but at least 25 feet from the high water mark of the surface water.
- A silt fence or equivalent barrier should be securely placed between the snow storage area and the high water mark.
- The snow storage area should be at least 75 feet from any private water supply wells, at least 200 feet from any community water supply wells, and at least 400 feet from any municipal wells. (Note: Snow storage areas are prohibited in wellhead protection areas [class GAA groundwater].)
- All debris in the snow storage area should be cleared from the site prior to snow storage.
- All debris in the snow storage area should be cleared from the site and properly disposed of no later than May 15 of each year the area is used for snow storage.

For more information about snow storage contact DES Watershed Management Bureau at (603) 271-2457.

SNOW DISPOSAL GUIDELINES & RECOMMENDED PRACTICES

NOT TO SCALE

ENVIRONMENTAL Fact Sheet



29 Hazen Drive, Concord, New Hampshire 03301 • (603) 271-3503 • www.des.nh.gov

WD-DWGB-22-30

2011

Storage and Management of Deicing Materials

Storage and management of deicing material can be a source of contamination of surface water and groundwater, causing a violation of state water quality standards. These salt-based products dissolve in precipitation and either infiltrate through the ground surface to groundwater, or run off into surface water. Salt that infiltrates the subsurface at significant concentrations can also react with the soils and release metals into groundwater and surface water at concentrations that exceed water quality standards.

The term "deicing material" used here refers to deicing salts, and may include any of the following in either solid or liquid form: sodium chloride (often called rock salt), potassium chloride, calcium chloride, magnesium chloride, and other mixtures that contain salts (chlorides) including mixtures with abrasives, such as sand, cinder, slag, etc.

Need for Proper Management

Due to their high potential for causing groundwater and surface water pollution, salt storage facilities should not be placed in environmentally sensitive areas. The best strategy to prevent pollution from deicing materials and the associated liability is to use and store these materials responsibly. Facilities should develop good housekeeping practices to minimize loss and waste during the delivery, storage, loading and management of deicing materials.

Existing and new facilities that operate without impermeable surfaces and infiltrate brine to the ground or groundwater need to register with DES under Env-Wq 402 Groundwater Discharge Permit and Registration Rules. This is a free registration and is a method of tracking potential contaminant sources. If there are sensitive receptors nearby, some sites may be required to monitor drinking water wells and/or the groundwater. The registration form can be found at: http://des.nh.gov/organization/divisions/water/dwgb/dwsp/bmps/documents/floor_drain_form.pdf.

Best management practices (BMPs) for locating a new deicing materials storage facility should include the following:

- The facility should be located in an area that is not environmentally sensitive. Avoid areas where there are wells, reservoirs, or within the footprint of stratified-drift aquifers.
- The facility should be located on a flat site away from surface water and wetlands.
- Site drainage should be designed to direct clean stormwater away from the operations and storage areas in order to keep the stockpiles as dry as possible.

DEICING GUIDELINES

NOT TO SCALE

Pavement Temp. (°F) and Trend (↑ ↓)	Weather Condition	Maintenance Actions	Application Rate (lbs/per 1000 sq.ft.)			
			Salt Prewetted/Pretreated with salt brine	Salt Prewetted/Pretreated with other blends	Dry salt	Winter sand
>30 ↑	Snow	Plow, treat intersections only	4.5	4	4.5	Not recommended
	Frz. Rain	Apply chemical	5.75	5.25	6.5	Not recommended
30 ↓	Snow	Plow and apply chemical	5.75	5.25	6.5	Not recommended
	Frz. Rain	Apply chemical	6.5	5.75	7	Not recommended
25 - 30 ↑	Snow	Plow and apply chemical	5.75	5.25	6.5	Not recommended
	Frz. Rain	Apply chemical	6.5	5.75	7	Not recommended
25 - 30 ↓	Snow	Plow and apply chemical	5.75	5.25	6.5	Not recommended
	Frz. Rain	Apply chemical	7	6.5	8.25	10.5
20 - 25 ↑	Snow or frz. Rain	Plow and Apply chemical	7	6.5	8.25	10.5 for frz. Rain
	Snow	Plow and apply chemical	5.75	7.5	9.5	Not recommended
20 - 25 ↓	Snow	Plow and apply chemical	5.75	7.5	9.5	Not recommended
	Frz. Rain	Apply chemical	7	7.5	10	10.5
15 - 20 ↑	Snow	Plow and apply chemical	7.5	7.5	9.5	Not recommended
	Frz. Rain	Apply chemical	8.75	7.5	10	10.5
15 - 20 ↓	Snow or Frz. Rain	Plow and apply chemical	8.25	7.5	10	10.5 for frz. Rain
	Snow	Plow, treat with blends, sand hazardous areas	Not recommended	10	Not recommended	13 and spot-treat as needed
< 0	Snow	Plow, treat with blends, sand hazardous areas	Not recommended	23	Not recommended	13 and spot-treat as needed

Table 19. Application Rates for Deicing

The format and methodology are based on (Mn Snow & Ice Control Field Handbook, Manual 2005-1). Develop your own application rates by adjusting your current rates incrementally downward toward these guidelines. Where temperature categories overlap, select the rate most applicable to your situation.

DEICING APPLICATION RATES

NOT TO SCALE

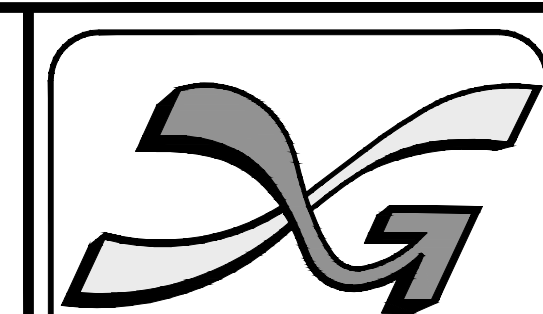


NOTES:

1. THE SITE SNOW MANAGEMENT VENDOR SHALL BE A NH CERTIFIED GREEN SNOW PRO APPLICATOR AND BE PROPERLY TRAINED IN ACCORDANCE WITH RSA 489-C AND Env-Wq 2200 PRIOR TO COMMENCING ANY SNOW MANAGEMENT OR DEICING PRACTICES.
2. REFER TO Env-Wq 2203 FOR ADDITIONAL INFORMATION ON THE COMMERCIAL APPLICATORS CERTIFICATION PROCESS AND PROCEDURES.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.	APPROVED BY THE HUDSON, NH PLANNING BOARD
	DATE OF MEETING: _____
	CHAIRMAN _____ SIGNATURE DATE: _____
	SECRETARY _____ SIGNATURE DATE: _____

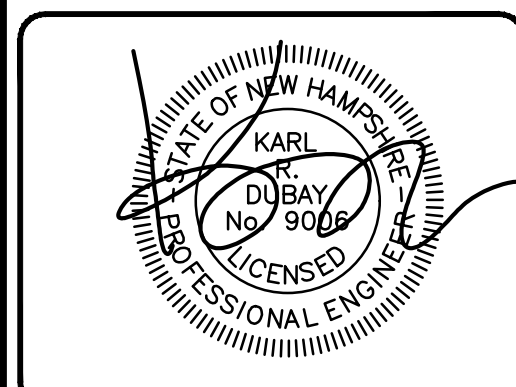
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



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603-458-6462

Engineers
Planners
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CHECKED BY: KRD
DATE: AUG. 3, 2021
SCALE: AS SHOWN
FILE: 475-DETAILS
DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH
PREPARED FOR _____



LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110
OWNER
5 WAY REALTY TRUST
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE:
SITE DETAILS - 13
PROJECT #475 SHEET D13

NHDOT SECTION 607 - FENCES

- SPECIAL NOTES:**
- OPENINGS AND GATES ALONG THE FENCING SHALL BE COORDINATED AS DIRECTED BY THE OWNER, INCLUDING ANY REQUIRED WILDLIFE OPENINGS, ETC. WHICH SHALL BE COORDINATED IN FIELD AND ARE NOT DEPICTED OR DESCRIBED HEREIN.
 - EXACT ALIGNMENT OF FENCING SHALL BE COORDINATED WITH OWNER PRIOR TO CONSTRUCTION, INCLUDING AVOIDANCE OF SIGNIFICANT TREES OR FEATURES.
 - ALL WORK TO BE PROVIDED IN ACCORDANCE WITH NHDOT SPECIFICATIONS AND DETAILS, AND GENERALLY-ACCEPTED COMMERCIAL FENCING INDUSTRY STANDARDS.
 - THESE SPECS AND DETAILS ARE PROVIDED AS A GENERAL GUIDE ONLY, AND THE OWNER SHALL DIRECT AND DETERMINE EXACT PRODUCT PROVISIONS, SHOP DRAWINGS FROM THE CONTRACTOR SHALL BE SUBMITTED FOR REVIEW AND APPROVAL, SAID SHOP DRAWING PACKAGE SHALL BE PREPARED BY A QUALIFIED HEAVY COMMERCIAL FENCING PROVIDER.
 - ALL MATERIALS SHALL BE FULL VINYL COATED WITH DARK GREEN PVC. ALL FABRIC SHALL BE PROVIDED WITH SAME COLOR PRIVACY PVC SLATS, UNLESS OTHERWISE DIRECTED.
 - HEIGHTS SHALL BE NOMINAL EIGHT FEET, UNLESS OTHERWISE DIRECTED.

DESCRIPTION

1.1 THIS WORK SHALL CONSIST OF THE CONSTRUCTING FENCES AND GATES AS SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER. THIS WORK SHALL INCLUDE FURNISHING AND INSTALLING ELECTRICAL GROUNDS, IF REQUIRED.

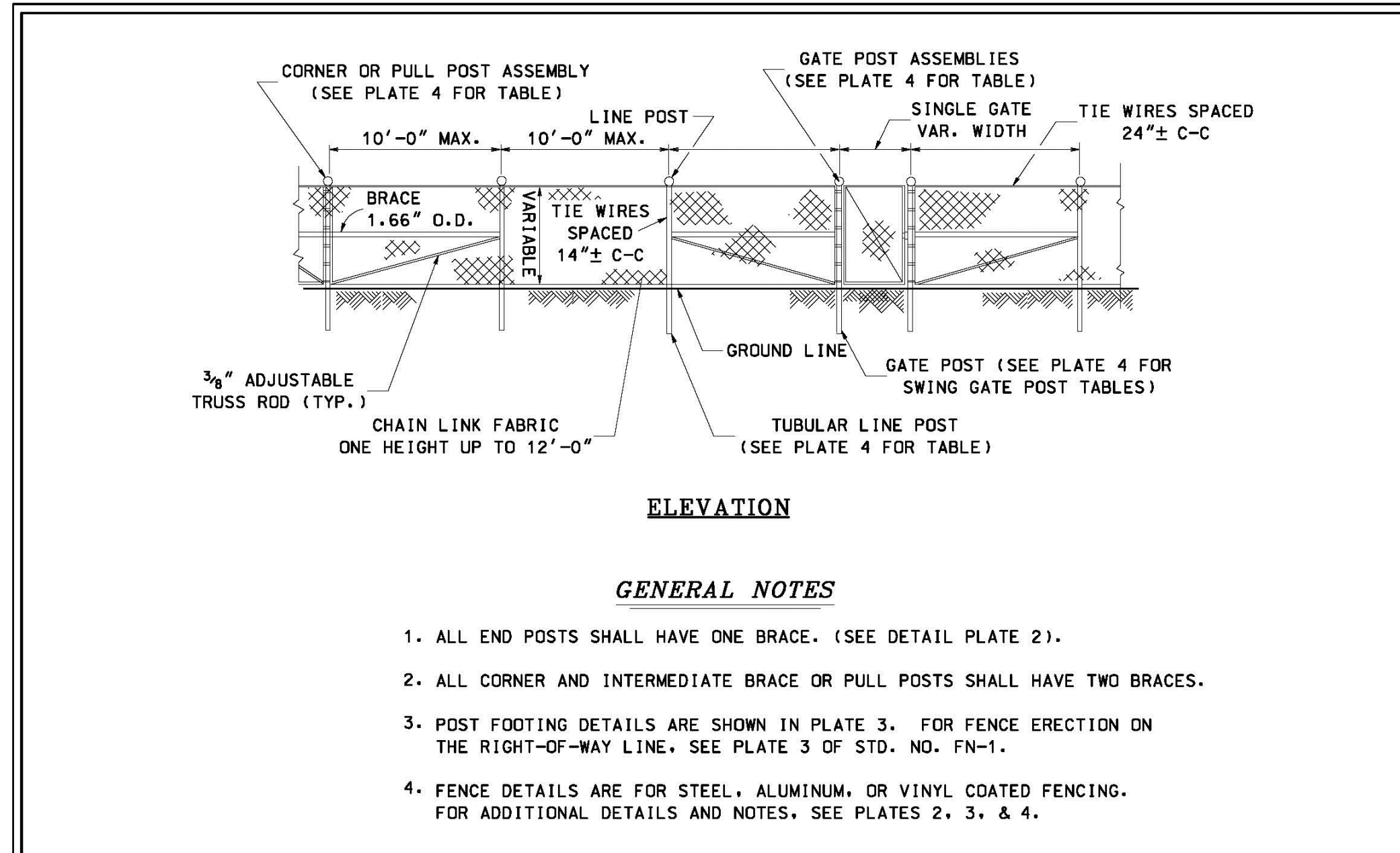
2.2 MATERIALS

- CHAIN LINK FENCE SHALL CONFORM TO AASHTO M 181.
- UNLESS OTHERWISE STIPULATED, FENCING MATERIAL SHALL BE 9 GAUGE, 2" MESH, TYPE II OR TYPE IV FABRIC. THE SPECIFIC DIAMETER FOR TYPE IV FABRIC IS THE METALLIC COATED DIAMETER AND THE PVC COATING SHALL NOT BE USED WHEN DETERMINING WIRE SIZE. ALL VINYL-COATED FABRIC USED ON THE PROJECT SHALL BE THE SAME SHADE OF COLOR CALLED FOR BY THE OWNER.
- FABRIC OVER 60" HIGH SHALL BE TWISTED AND BARBED ON THE BOTTOM SELVAGE AND KNUCKLED ON THE TOP SELVAGE.
- METALLIC COATED STEEL POSTS, RAILS, OR GATE FRAMES SHALL CONFORM TO AASHTO M 181 GRADE 1 OR GRADE 2. MISCELLANEOUS FITTINGS AND HARDWARE SHALL CONFORM TO AASHTO M 181 SECTION 29. FOR THIS PROJECT, ALL MATERIALS SHALL BE 100% VINYL COATED TO THE COLOR THE OWNER DIRECTS.
- TENSION BARS SHALL NOT BE LESS THAN 0.25 BY 0.75".
- WIRE TIES AND CLIPS FOR FASTENING FABRIC TO POSTS AND TOP RAIL SHALL BE OF THE SAME MATERIAL AND THE SAME OR LARGER GAUGE AS THE FABRIC.
- CONCRETE SHALL CONFORM TO SECTION 520.
- PROTECTIVE COATING FOR CONTACT SURFACES OF ALUMINUM AND CONCRETE SHALL BE EITHER AN APPROVED ZINC-RICH PRIMER, OR AN APPROVED BITUMINOUS PAINT MEETING FSS TT-C-494. ALSO REFER TO REQUIREMENT FOR FULL VINYL COATED MATERIALS.

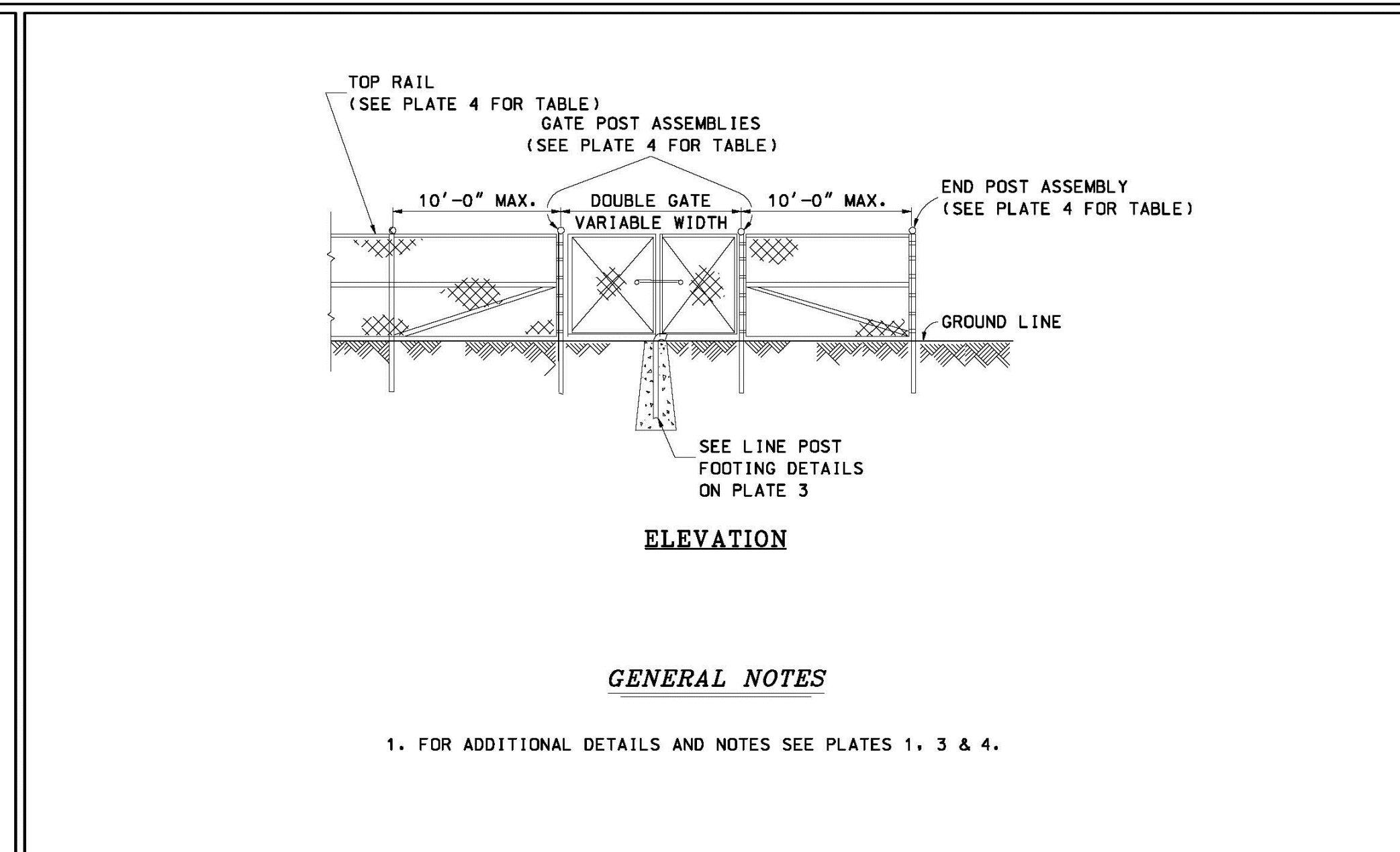
3.1 GENERAL CONSTRUCTION REQUIREMENTS

- THE CONTRACTOR SHALL PERFORM SUCH CLEARING AND GRUBBING AS MAY BE NECESSARY TO CONSTRUCT THE FENCE TO THE REQUIRED GRADE AND ALIGNMENT. THE OWNER WILL DIRECT EXACT FENCE ALIGNMENT, AND MAY BE ADJUSTED TO AVOID LARGE SIGNIFICANT TREES OR OTHER FEATURES. CONTRACTOR SHALL REVIEW STAKED EXACT ALIGNMENT WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
- AT LOCATIONS WHERE BREAKS IN A RUN OF FENCING ARE REQUIRED, OR AT INTERSECTIONS WITH EXISTING FENCES, APPROPRIATE ADJUSTMENT IN POST SPACING SHALL BE MADE. POSTS, BRACES, OR ANCHORS SHALL BE EMBEDDED IN CONCRETE AND TEMPORARY GUYS OR BRACES MAY BE REQUIRED TO HOLD THE POSTS IN PROPER POSITION UNTIL SUCH TIME AS THE CONCRETE HAS SET SUFFICIENTLY TO HOLD THE POSTS. UNLESS OTHERWISE PERMITTED, NO MATERIALS SHALL BE INSTALLED ON POSTS OR STRAIN PLACED ON GUYS AND BRACING SET IN CONCRETE UNTIL 3 DAYS HAVE ELAPSED FROM THE TIME OF PLACING OF THE CONCRETE.
- THE PORTIONS OF ALUMINUM POSTS WHICH WILL BE IN CONTACT WITH CONCRETE SHALL BE COATED BOTH INSIDE AND OUTSIDE WITH PROTECTIVE COATING TO 1" ABOVE THE TOP OF THE CONCRETE. THE COATING SHALL BE ALLOWED TO DRY FOR AT LEAST 24 HOURS BEFORE THE CONCRETE IS PLACED.
- ALL POSTS SHALL BE SET PLUMB AND FIRM AND TO THE REQUIRED GRADE, SPACING, AND ALIGNMENT. CUTTING OF THE POSTS WILL BE ALLOWED ONLY WITH THE APPROVAL OF THE OWNER.
- WHEN IT IS NECESSARY TO DRILL INTO A ROCK TO SET A STEEL POST, THE POST MAY BE SHORTENED, PROVIDED A MINIMUM LENGTH OF 12" OF POST IS GROUTED IN THE ROCK.
- AT EACH LOCATION WHERE AN ELECTRIC TRANSMISSION, DISTRIBUTION, OR SECONDARY LINE CROSSES ANY OF THE TYPES OF METAL FENCES COVERED BY THESE SPECIFICATIONS, THE FENCE SHALL BE GROUNDED AS REQUIRED BY THE ELECTRIC UTILITY COMPANY.
- AT LOCATIONS WHERE ELECTRIC LINES RUN PARALLEL AND IN CLOSE PROXIMITY TO METAL FENCES, GROUNDING SYSTEMS MAY BE REQUIRED BY THE ELECTRIC UTILITY COMPANY.
- WHERE IT IS IMPRACTICAL TO CONFORM THE FENCE TO THE GENERAL CONTOUR OF THE GROUND, AS AT DITCHES, THE OPENING BENEATH THE FENCE SHALL BE CLOSED AS ORDERED.

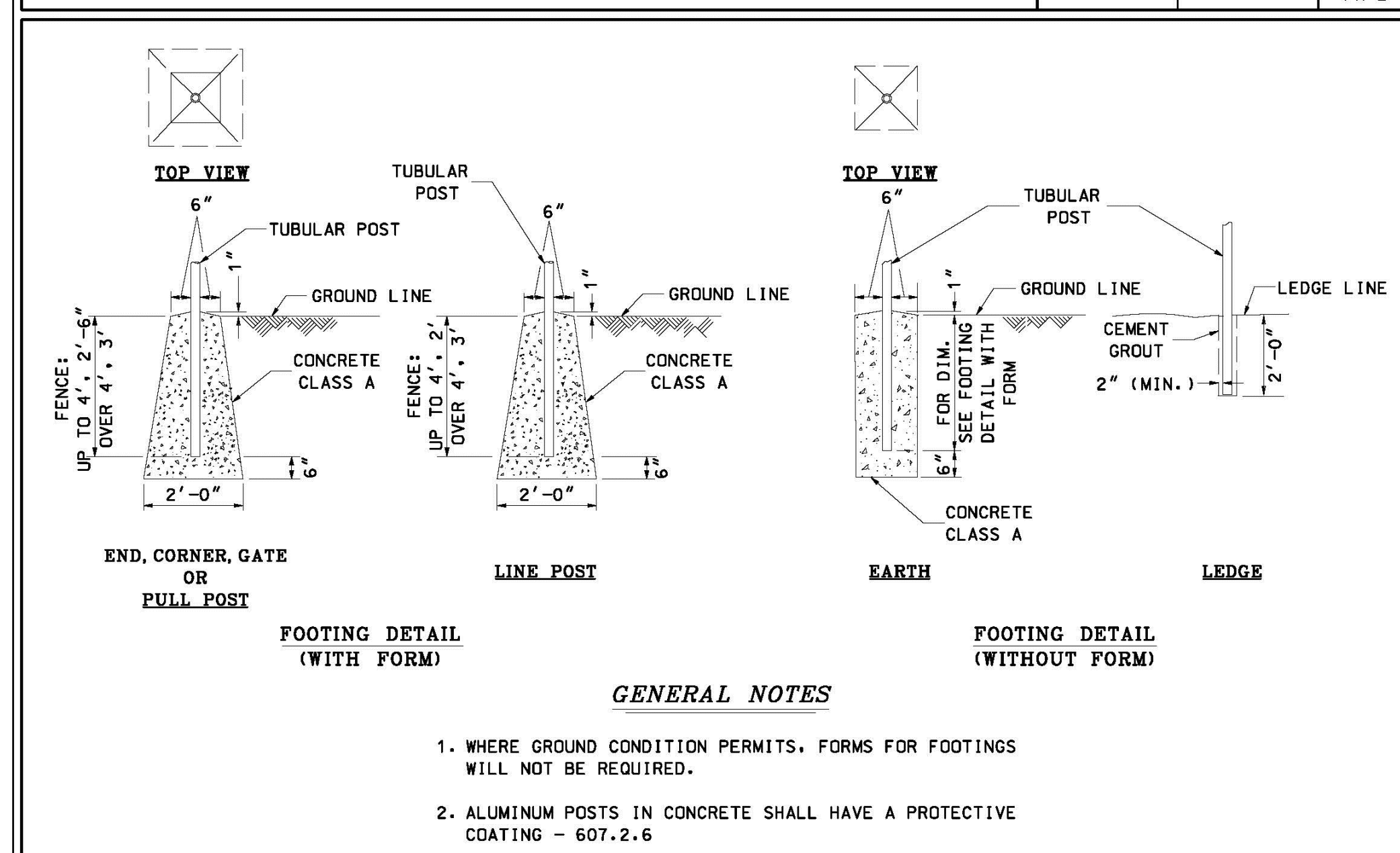
- ALL SURPLUS MATERIAL AND OTHER DEBRIS SHALL BE REMOVED.
- THE FENCE SHALL BE ERECTED SO THAT THE BOTTOM IS BETWEEN 1 AND 2" ABOVE THE GROUND.
- THE TOP RAIL SHALL PASS THROUGH THE POST TOPS TO FORM A CONTINUOUS BRACE FROM END TO END OF EACH SECTION OF FENCE, AND SHALL BE SECURELY FASTENED TO THE POSTS AT POST ASSEMBLIES BY SUITABLE CLAMPS.
- POST ASSEMBLIES AS SHOWN ON THE PLANS SHALL BE INSTALLED AT ENDS, AT CORNERS OR CHANGES IN LINE WHERE THE ANGLE OF DEFLECTION IS 30 DEGREES OR MORE, AT ABRUPT CHANGES IN VERTICAL GRADES WHERE PULL POSTS ARE REQUIRED, AND AT GATES. MOREOVER, AT LEAST ONE POST ASSEMBLY SHALL BE INSTALLED FOR EVERY 500 FT. OF RUN.
- BRACES SHALL BE SPACED APPROXIMATELY MIDWAY BETWEEN THE TOP AND THE GROUND, AND EXTEND TO THE FIRST LINE POST. BRACES SHALL BE SECURELY FASTENED TO POSTS BY SUITABLE CLAMPS.
- FABRIC SHALL BE FASTENED TO THE POST WITH SUITABLE FABRIC BANDS, STRETCHER BAR BANDS, AND HOOK BOLTS AND TO THE TOP RAIL WITH THE WIRES AS REQUIRED. THE FABRIC SHALL BE FREE FROM SAGS AND BENDS. ALL HOLES WITHIN 2 FT. OF THE FENCE SHALL BE FILLED WITH SUITABLE APPROVED MATERIAL AND COMPACTED PROPERLY.
- GATES, IF REQUIRED OR DIRECTED, SHALL BE FIRMLY AND SECURELY ERECTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER AND AS DIRECTED.



NHDOT STANDARD PLANS		
REV. DATE	PLATE	
06-16-2010	1	STANDARD FN-2
CHAIN LINK FENCE		



NHDOT STANDARD PLANS		
REV. DATE	PLATE	
06-16-2010	2	STANDARD FN-2
CHAIN LINK FENCE		



NHDOT STANDARD PLANS		
REV. DATE	PLATE	
06-16-2010	3	STANDARD FN-2
CHAIN LINK FENCE		

END, CORNER AND PULL POST				
FENCE HEIGHT (ft)	TUBULAR			
	ROUND	1b/ft	SQUARE	1b/ft
UP TO 6'	2 3/8" O.D.	3.65	2" x 2"	3.60
OVER 6'	2 7/8" O.D.	5.79	2 1/2" x 2 1/2"	5.70
STEEL				
UP TO 12'	2 7/8" O.D.	2.00	3" x 3"	1.76
TOP RAILS				
FENCE HEIGHT (ft)	STEEL		ALUMINUM	
	ROUND	1b/ft	ROUND	1b/ft
ALL	2 7/8" O.D.	5.79	2 7/8" O.D.	3.65
UP TO 12'	2 7/8" O.D.	2.00	2 7/8" O.D.	1.264
LINE POSTS				
FENCE HEIGHT (ft)	STEEL		ALUMINUM	
	ROUND	1b/ft	ROUND	1b/ft
UP TO 6'	1.90" O.D.	2.72	1 1/2" x 1 1/2"	1.90
OVER 6'	2 3/8" O.D.	3.65	2" x 2"	2.72
STEEL SWING GATE AND POST TABLE				
TYPE	GATE OPENING		GATE POST (TUBULAR)	
	SINGLE	DOUBLE	ROUND	SQUARE
A	UP TO 6'	UP TO 12'	2 7/8" O.D.	5.79
B	OVER 6' TO 13'	OVER 12' TO 26'	4" O.D.	9.11
C	OVER 13' TO 18'	OVER 26' TO 36'	6 3/8" O.D.	18.97
D	OVER 18'	OVER 36'	8 3/8" O.D.	28.55
GATE FRAME	UP TO 6'	UP TO 12'	1.660" O.D.	2.27
	OVER 6'	OVER 12'	1.90" O.D.	2.72
ALUMINUM SWING GATE AND POST TABLE				
TYPE	GATE OPENING		GATE POST (TUBULAR)	
	SINGLE	DOUBLE	ROUND	SQUARE
A - A	UP TO 6'	UP TO 12'	2 7/8" O.D.	2.004
B - A	OVER 6' TO 12'	OVER 12' TO 24'	4" O.D.	3.151
C - A	OVER 12' TO 18'	OVER 24' TO 36'	6 3/8" O.D.	6.564
D - A	OVER 18' TO 32'	OVER 36' TO 44'	8 3/8" O.D.	9.878
GATE FRAME ALL			1.90" O.D.	0.940

NHDOT STANDARD PLANS		
REV. DATE	PLATE	
06-16-2010	4	STANDARD FN-2
POSTS FOR CHAIN LINK FENCE		

STANDARD PLANS

STANDARD NO. FN-2

REVISION DATE	07-13-2001
06-16-2010	
DGN FILE NAME	FN-2

The Dubai Group, Inc.
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers
Planners
Surveyors

TheDubayGroup.com

REVISIONS:			
REV.	DATE	COMMENT:	BY:
6	1/11/22	MISC. REVS	SJK

DRAWN BY: JGG
CHECKED BY: KRD
DATE: AUG. 3, 2021
SCALE: AS SHOWN
FILE: 475-DETAILS
DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH

PREPARED FOR:

GFI PARTNERS

LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110

OWNER

5 WAY REALTY TRUST
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE:

SITE DETAILS - 14

PROJECT #475 SHEET D14

N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-DETAILS.dwg

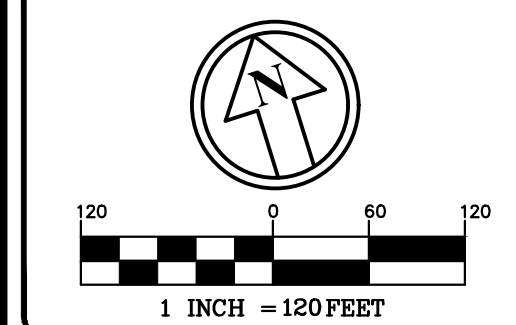


The Dubai Group, Inc.

136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers
Planners
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REVISIONS:

REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REVS	WA
2	12/13/21	MISC. REVS	JUG
6	1/11/22	MISC. REVS	SJK

DRAWN BY: WA
 CHECKED BY: KR
 DATE: OCT. 27, 2021
 SCALE: 1" = 120'
 FILE: 475-PROTECTCOV
 DEED REF:

PROJECT: **SITE PLAN**
FRIARS DRIVE
TAX MAP 209
LOT 001-000
 161 LOWELL ROAD
 HUDSON, NH



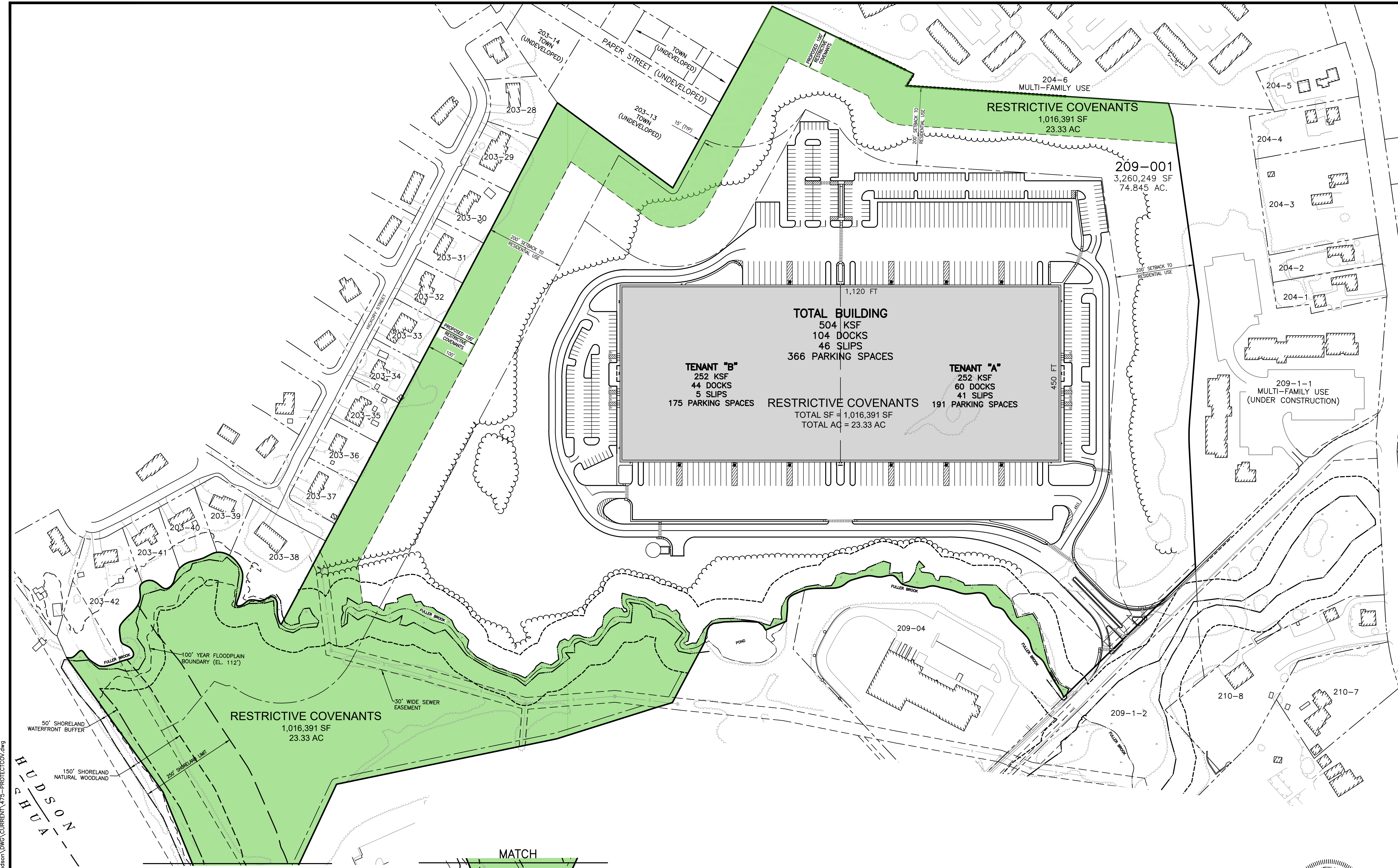
LOWELL ROAD
PROPERTY OWNER, LLC
 133 PEARL STREET #300
 BOSTON, MA 02110

5 WAY REALTY TRUST
 PETER HORNE, TRUSTEE
 PO BOX 1435
 N. HAMPTON, NH 03862

SHEET TITLE:

RESTRICTIVE COVENANTS PLAN

PROJECT #475 SHEET C1



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 CHAIRMAN: _____ SIGNATURE DATE: _____
 SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-PROTECTCOV.dwg

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Prepared For

GFI Partners

133 Pearl Street
Boston MA 02110

Project

Friars Drive

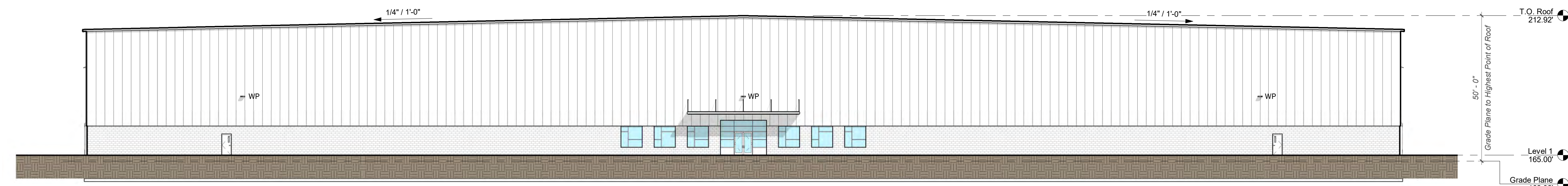
161 Lowell Road
Hudson NH

No.	Date	Revision/Issue

Date
8.2.2021
Scale
1" = 20'-0"
aF+S Job No.
Project Number

Proposed East and West Elevations

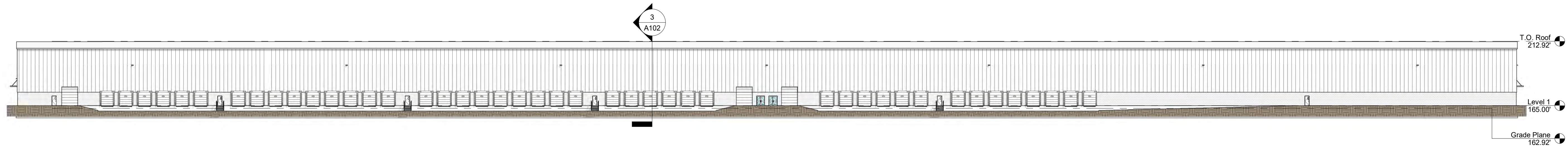
A101



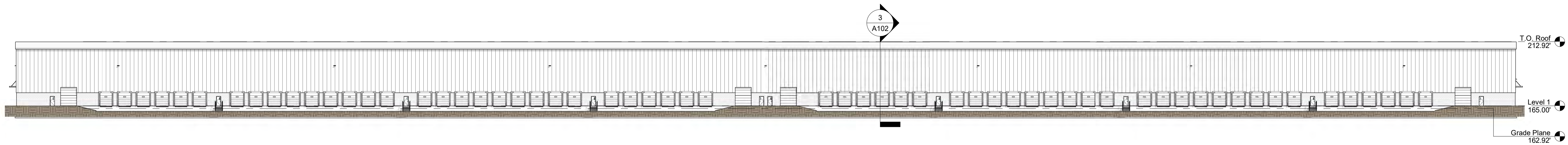
1 Proposed East Elevation
1" = 20'-0"



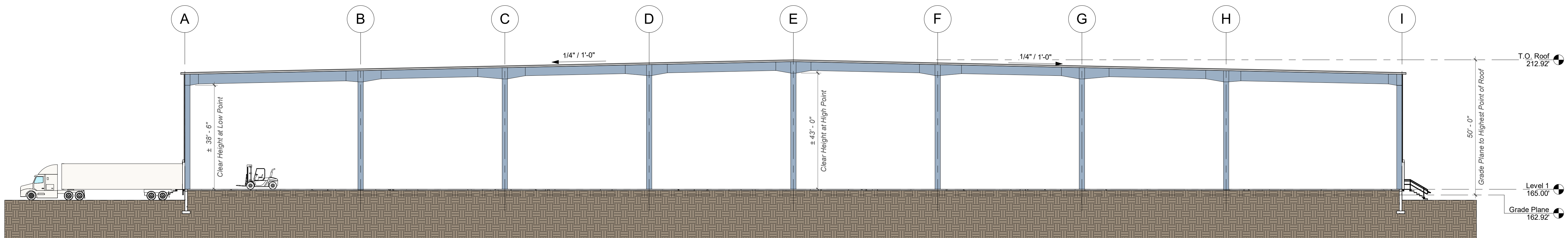
2 Proposed West Elevation
1" = 20'-0"



1 Proposed North Elevation
1" = 40'-0"



2 Proposed South Elevation
1" = 40'-0"



3 Building Section
1" = 20'-0"

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Prepared For
GFI Partners
133 Pearl Street
Boston MA 02110

Project
Friars Drive
161 Lowell Road
Hudson NH

No.	Date	Revision/Issue

Date
8.2.2021
Scale
As indicated
aF+S Job No.
Project Number

Proposed North and South Elevations
Building Section

A102