

# **FRENETTE GARDENS**

SB# 03-22 CU #05-22

## **STAFF REPORT**

May 25, 2022

**SITE:** 65 Central Street; Map 182 Lot 3

**ZONING:** Town Residential (TR)

**PURPOSE OF PLAN:** To show a proposed ten lot subdivision and 705 linear feet of a new dead end roadway.

### **PLANS UNDER REVIEW:**

- Residential Subdivision Plan, Frenette Gardens, Map 182; Lot 3, 65 Central Street, Hudson, New Hampshire; prepared by: Keach-Nordstrom Associates, Inc., 10 Commerce Park North, Suite 3B, Bedford, NH 03110; prepared for: Laura Ripaldi, 46 Bush Hill Road, Hudson, NH 03051 & Kimberly Frenette, 88 Dumont Road, Hudson, NH 03051 & Ricky Frenette, 14 Tate Street, Hudson, NH 03051; consisting of 16 sheets and an additional cover sheet, and general notes 1-20 on Sheet 1; dated April 20, 2022.
- Wetland Buffer Impact Plan, Frenette Gardens, Map 182, Lot 3, 65 Central Street, Hudson, New Hampshire; prepared by: Keach-Nordstrom Associates, Inc., 10 Commerce Park North, Suite 3B, Bedford, NH 03110; prepared for: Laura Ripaldi, 46 Bush Hill Road, Hudson, NH 03051 & Kimberly Frenette, 88 Dumont Road, Hudson, NH 03051 & Ricky Frenette, 14 Tate Street, Hudson, NH 03051; consisting of a single sheet and construction notes 1-8, dated April 15, 2022.

### **ATTACHMENTS:**

- A. Peer Review, Fuss & O'Neill, dated May 13, 2022.
- B. Town Department Comments
- C. Stormwater Management Report (provided digitally only)

### **APPLICATION TRACKING:**

- April 28, 2022 – Application received.
- May 9, 2022 – presentation to Conservation Commission
- May 12, 2022 – Conservation Commission conducted a site walk
- May 25, 2022 – Planning Board public hearing scheduled.
- June 13, 2022 – anticipated second meeting with Conservation Commission

## COMMENTS & RECOMMENDATIONS:

### SUBDIVISION

The existing lot is nearly 10 acres with a single family home and several out buildings. The lot is in the Town Residential (TR) Zone, fronts on Central Street and is served by Town sewer and water. First Brook runs through the rear of the property, as does a sewer easement. The application proposes to subdivide the lot to create nine (9) new house lots on a new cul-de-sac road, leaving the existing lot with almost 6 acres. Also filed is a conditional use permit application to work within the wetland buffer to connect to the sewer line running through the property.

At staff's encouragement, the Applicant is proposing underground stormwater chambers in lieu of open basins. This is particularly favorable in the TR zones where development is more compact where the appearance of open basins may have a negative impact on neighborhood aesthetics and safety.

The proposed curbcut mirrors that of the duplex development on the other side of Central Street. With only 9 homes, the proposed street is not expected to generate significant traffic. The movement in and out of the proposed street should be similar to that of the 6 residential units on the other side of Central street (54-66 Central Street) and of the existing home on the development parcel (65 Central Street). Staff understands that the Applicant explored alternative access points such as the signalized intersection of Library Street and Central Street or through Gillis Street, however did not receive permission from the requisite private property owners.

A waiver request has been filed for relief/exemption from §289-37.A which restricts the rate at which new lots can be developed. Under conformance to this regulation, the proposal would be limited to developing 6 lots in the first year, while the remaining three could be developed in the second year.

There remain a number of items that require plan revisions or waivers prior to potential approval. Of note from the peer review (**Attachment A**) are various plan requirements of §276-11.1.B, lot geometry per §289-17.C, Right-of-way dimensional requirements (e.g. cul-de-sac radius, grass strip width), some clarifications on drainage and utility design, and some various construction details. Additionally, there are some comments from town departments that require response, particularly from the Engineering Department (**Attachment B**).

### CONDITIONAL USE PERMIT

The proposed development requires a Wetlands Conservation Conditional Use Permit for the proposed sewer connection and for a drainage improvement (level spreader). The Conservation Commission first heard the application on May 9, 2022 followed by a site walk on May 12, 2022. It is anticipated that the Conservation Commission will further discuss the application at their June 13, 2022 meeting.

**DRAFT MOTIONS**

**ACCEPT the conditional use permit & subdivision applications:**

I move to accept the conditional use permit application, CU #05-22, and the subdivision application, SB #03-22, for Frenette Gardens, 65 Central Street Map, 182 Lot 3.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**CONTINUE the public hearing to a date certain:**

I move to continue the conditional use permit application, CU #05-22, and the subdivision application, SB #03-22, for Frenette Gardens, 65 Central Street Map, 182 Lot 3, to date certain, \_\_\_\_\_, 2022.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**WAIVER MOTIONS:**

**To GRANT a waiver:**

I move to grant a waiver from § 289-37.A, to waive the requirement to adhere to the phased development schedule, based on the Board’s discussion, the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_



May 13, 2022

Mr. Brian Groth  
Town Planner  
Town of Hudson  
12 School Street  
Hudson, NH 03051

Re: Town of Hudson Planning Board Review  
Frenette Gardens Subdivision Plan  
Tax Map 182, Lot 3; Acct. #1350-996  
Reference No. 20030249.2170

Dear Mr. Groth:

Fuss & O'Neill, Inc. has reviewed the first submission of the materials received on April 28, 2022, related to the above-referenced project. Authorization to proceed was received on May 2, 2022. A list of items reviewed is enclosed. The scope of our review is based on the Subdivision Plan Review Codes, Stormwater Codes, Driveway Review Codes, Sewer Use Ordinance 77, Zoning Regulations, and criteria outlined in the CLD Consulting Engineers Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007, September 3, 2008, and October 2015.

We have included a copy of Fuss & O'Neill's evaluation of the checklist for your reference. We note that several items could not be verified by Fuss & O'Neill and require action by the Town.

The project appears to consist of subdividing the existing 9.84-acre existing lot to create a ten (10)-lot subdivision. A new roadway with a cul-de-sac is also proposed as part of the subdivision. The new subdivision lots are proposed to be serviced by public water and sewer connections.

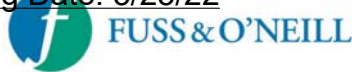
The following items are noted:

**1. Administrative and Subdivision Review Codes (HR 276 & HR 289)**

- a. Hudson Regulation HR 276-11.1.B.(6). The owner's signature was not provided on the plan set; however, a space was provided for their future signatures.
- b. HR 276-11.1.B.(13). The applicant has not shown any sign locations or details on the plan set other than traffic signs.
- c. HR 276-11.1.B.(14). The applicant has shown one proposed streetlight on the plan set approximately three feet from the curb line. It is not noted on the plans or in the application documents that the proposed street right-of-way will be public and the responsibility of the Town to maintain. The applicant should confirm that the proposed right-of-way will be public and that the proposed light model is acceptable to the Town for this location and for maintenance responsibilities.

The Gateway Building  
50 Commercial Street  
Manchester, NH  
03101  
t 603.668.8223  
800.286.2469  
[www.fando.com](http://www.fando.com)

California  
Connecticut  
Maine  
Massachusetts  
New Hampshire  
Rhode Island  
Vermont



Mr. Brian Groth

May 13, 2022

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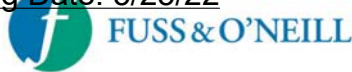
- d. HR 276-11.1.B.(14). We note that there are existing street lights on the utility poles on both sides of the proposed street intersection with Central Street, located 80' and 107' from the proposed street centerline. The applicant should confirm that these lights will provide enough illumination for drivers to see pedestrians at the proposed crosswalk at night.
- e. HR 276-11.1.B.(15). The applicant has not shown any buildings within 50 feet of the site.
- f. HR 276-11.1.B.(16). The applicant has not included information on driveways and travel ways within 200 feet of the site.
- g. HR 276-11.1.B.(17). & 289-27.B.(7). The applicant has not provided any benchmark information.
- h. HR 276-11.1.B.(20). The applicant has not noted existing building heights on the plan set.
- i. HR 276-11.1.B.(20). The applicant has shown an existing sewer easement on the plans. Several utility easements are proposed and shown on the plans. Copies of these easements were not included in the review package.
- j. HR 289-15. & 334-83. The applicant had noted that the site is partially located in the flood hazard area. The applicant has delineated this area on the plan set and we note that it is not within the area proposed for development of the road or new lot areas.
- k. HR 289-17.C. The applicant should review the front eastern corner of proposed lot 3-7 as it appears to intersect the front lot at an angle of less than 45 degrees.
- l. HR 289-22. The applicant has not proposed any specific open spaces on the plan set. Per the Regulation the Planning Board shall review the plan for open space requirements, which shall generally consist of 10% or less of the total area, and if required this open space shall be deeded to the Town of Hudson and be so indicated on the final subdivision plan.
- m. HR 289-26.B.(5). The applicant has not shown the Right-of-Way width of the existing streets on the plan set.
- n. HR 289-28.A. The applicant should provide a detail for the proposed granite bounds to be set.
- o. HR 289-37.A. The applicant has requested a waiver from the Regulation for phasing of subdivision construction to minimize the disturbance to the abutting parcels.

## **2. Driveway Review Codes (HR 193-10)**

- a. HR 193-10.A. & 193-10.E. The applicant has provided sight distance information for the proposed roadway at the Central Street intersection on the plan set.

## **3. Roadway Design**

- a. HR 289-18.B.(3). The applicant has proposed a cul-de-sac curb radius of 64 feet and the Regulation requires a minimum of 65 feet.
- b. HR 289-18.B.(5). The applicant should add a dead-end informational sign to the plan set and a detail for the sign.



Mr. Brian Groth

May 13, 2022

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- c. The proposed stop bar at the intersection with Central Street is shown as less than two feet from the crosswalk. A four-foot separation distance is recommended for this location.
- d. The applicant should provide a crosswalk striping detail in the plans.
- e. The applicant should provide a curb ramp construction detail in the plans.
- f. The applicant has proposed a 6.5-foot-wide grass panel between the road and sidewalk. The Town's standard detail requires a five-foot grass panel. The applicant should confirm with the Town that the wider grass panel is acceptable.

#### 4. Drainage Design /Stormwater Management (HR 289-20.C. /Chapter 290)

- a. HR 289-20.C.3. & 290-5.A.9. The applicant should provide test pits located within the footprint of Proposed Infiltration Trenches #1 and #2. Verification of the infiltration rate, SHWT, and ledge is required to ensure long term functionality of the infiltration practice. We note Infiltration Trenches #1 and #2 do not account for treatment, as it appears was the design intent.
- b. HR 290-5.A.1. & 290-5.A.3. The applicant should provide language in the Drainage Analysis Report, stating if and how low impact development (LID) strategies for stormwater runoff were evaluated for this project.
- c. HR 290-5.A.12. The applicant should provide information on the maintenance of the proposed drainage system and if a homeowner's association is to be created for that purpose. The plans and application documents do not indicate if the proposed right-of-way will be a public way with Town maintenance.
- d. HR 290-6.A.8. We note the requirement of the applicant to coordinate a pre-construction meeting with the Town Engineer.
- e. HR 290-7.A.6. The applicant should provide information as to how the stormwater system is designed to account for frozen ground conditions of the infiltration trenches as the subsurface system is below the frost line.
- f. HR 290-8.A.4. & 5. We note the requirement of the applicant to coordinate the need for a Bond or Escrow with the Town Engineer.
- g. HR 290-10.A. We note that disturbance, tree clearing/stumping, and grading greater than 100,000 sf disturbance may require an NHDES AoT permit.
- h. Engineering Technical Guideline & Typical Details (ETGTD) 920.3.13. The applicant has proposed storm drains that are below the listed minimum velocity of 2.0 fps. We note that although it is self-cleaning velocity, it does not meet the regulations.
- i. The applicant will be required to comply with all provisions of the Town of Hudson's MS4 permit, including but not limited to annual reporting requirements, construction site stormwater runoff control, and record keeping requirements. The applicant has noted that the project meets 2019 MS4 requirements.
- j. Please note that this review was carried out in accordance with applicable regulations and standards in place in New Hampshire at this time. Note that conditions at the site, including average weather conditions, patterns and trends, and design storm characteristics, may change in the future. In addition, future changes in federal, state or local laws, rules or regulations, or in generally accepted scientific or industry information concerning environmental, atmospheric and geotechnical conditions and developments may affect the information and conclusions set forth in this review. In no way shall Fuss & O'Neill be



Mr. Brian Groth

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liable for any of these changed conditions that may impact the review, regardless of the source of or reason for such changed conditions. Other than as described herein, no other investigation or analysis has been requested by the Client or performed by Fuss & O'Neill in preparing this review.

**5. Zoning (HR 334)**

- a. HR 334-14 and HR 276-11.1.B.(20). The applicant has not noted the maximum proposed building heights on the plan set. The applicant should note the maximum building height of 38 feet on the plan set.
- b. HR 334-20. The site is located in the Town Residence (TR) District. The applicant should provide a formal use note confirming that single family homes are the proposed use.
- c. HR 334-27. We note that the subdivision design appears to meet the lot size requirements for the district. The applicant has included a table with calculations illustrating that each lot meets the contiguous lot requirements excluding wetland areas and slopes greater than 25%.
- d. HR 334-36.C. The applicant has noted in their application that a Conditional Use Permit has been filed for the drainage and sewer construction within the Wetland Conservation District.

**6. Sewer/Water Design/Conflicts & Utility Design/Conflicts (HR 276-13.E.)**

- a. HR 276-13. The applicant has proposed one fire hydrant within the site, and there is an existing hydrant approximately 180 feet from the proposed intersection on Central Street. The applicant should coordinate with the Hudson Fire Department to verify that there is adequate fire protection coverage for the proposed lots.
- b. ETGTD Section 801. The applicant should verify with the Town that the existing water main in Central Street has adequate flow and pressure to meet both domestic and fire hydrant requirements for the proposed subdivision.
- c. The applicant has not provided any typical details for water and sewer connections to the proposed lots.
- d. The applicant has not shown utility service connections to the two small existing houses located within proposed lot 3, other than adjacent tank covers. The applicant should verify if these are septic tanks, or if these houses are already connected to the Town sewer system with the main house on that lot.
- e. The applicant is proposing four new sewer manholes within a space of less than 60 feet, included internal drop SMH #3 which is located within the steep slope down towards First Brook which will make maintenance difficult.
- f. The applicant is proposing a drop over sewer manhole (SMH #1) for the connection to the existing sewer main adjacent to First Brook. The applicant should review this proposed installation with the Town to confirm that this is acceptable. Also, connection of the proposed sewer to the existing sewer manhole 15 feet upstream from SMH #1 would eliminate the need for this drop over manhole.
- g. ETGTD Detail S-3. The proposed internal drop sewer manhole doesn't quite match the Town of Hudson detail (cross used at inlet instead of Tee).



Mr. Brian Groth

May 13, 2022

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- h. The SMH#5 to Existing Sewer Main Profile should show the proposed water main that crosses the sewer at approximate station 1+95. The applicant should also include a water/sewer crossing detail in the plans.
- i. ETGTD Detail R-5. The applicant has proposed a pavement repair detail that doesn't quite match the Town of Hudson detail (base courses should step out 12" beyond the trench width, pavement course cutbacks vary from the detail). The applicant should also coordinate with the Town to show the minimum required pavement depth for the patch across Central Street.

#### 7. Erosion Control/Wetland Impacts

- a. HR 290-5.A.10. Due to the close proximity of the onsite wetlands, and as to avoid unwanted additional wetland impacts, we recommend that the applicant add a note stating that orange construction fence will be placed at all wetland buffers within 50-feet of proposed grading. This fence is recommended during build out, and kept up until the site is complete.
- b. The Town should reserve the right to require additional erosion control measures.

#### 8. State and Local Permits

- a. HR 290-10.A. The applicant has noted the need for a NHDES Sewer Connection permit on the plan. The applicant should list all required permits on the plan. We note that an Alteration of Terrain Permit and a Wetlands permit will be required also.
- b. HR 290-10.B. The applicant has noted the need for a NPDES Notice of Intent. The applicant should expand this to also note the need for a SWPPP on the plan set.
- c. Additional local permitting may be required.

#### 9. Other

- a. The applicant has shown a lot of design elements on the Roadway Plan. There are locations where lines and symbols are overwritten by other notes. We recommend that the applicant review the plan to more clearly show the information for ease of use by the construction contractor.
- b. ETGTD Section 565.1.1. The applicant is reminded that the Town of Hudson has specific requirements for the importing of off-site fill materials for use in constructing this project. We recommended that these requirements be stated on the plans for the Contractors attention.

Please feel free to call if you have any questions.

Very truly yours,

Steven W. Reichert, PE

Steven W. Reichert, PE

Digitally signed by Steven W. Reichert,  
PE  
DN: cn=Steven W. Reichert, PE, c=US,  
o=Fuss & O'Neill, Inc., ou=Fuss &  
O'Neill, Inc.,  
email=sreichert@fando.com  
Date: 2022.05.13 09:02:37 -04'00'

SWR:elc



**Groth, Brian**

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**From:** Dhima, Elvis  
**Sent:** Thursday, May 5, 2022 8:48 AM  
**To:** Groth, Brian  
**Subject:** RE: Departmental Review - Frenette Gardens Subdivision

Brian

Please see below

1. Applicant shall revise sewer profile to show no more than 10% grade on any of sewer mains
2. Applicant shall provide locations of sewer services and clean outs
3. Applicant shall provide locations of water services and curb stops
4. No cleanouts or curb stops shall be located on proposed driveways
5. Applicant shall provide maintenance cleanout ports locations on the plan ( every 10 feet for the isolator row)
6. Proposed sidewalk appears adjacent to the proposed ROW at the culdesac
7. Applicant is the first one to proposed underground storm water chambers within proposed ROW, at staff's request. This is a pilot program in Hudson with the intent to move away from open detention and infiltration basins and replace them with unground drainage systems.

***Elvis Dhima, P.E.***  
***Town Engineer***

12 School Street  
Hudson, NH 03051  
Phone: (603) 886-6008  
Mobile: (603) 318-8286





# TOWN OF HUDSON

## FIRE DEPARTMENT

39 FERRY STREET, HUDSON, NEW HAMPSHIRE 03051



Emergency 911  
Business 603-886-6021  
Fax 603-594-1164

Robert M. Buxton  
Chief of Department

TO: Brian Groth  
Town Planner

FR: Robert M. Buxton   
Fire Chief

DT: May 5, 2022

RE: Frenette Gardens

The following is a list of sub-division plan concerns for this project. This review was completed utilizing plans submitted by Keach-Nordstrom Associates dated April 30, 2022.

1. The project shall obtain street name authorization from the Hudson Fire Department.
2. The project shall obtain site addressing from the Hudson Fire Department.
3. Please make sure that the proposed snow storage area shown on the plan does not impede parking or travel paths.
4. The Fire Department will require three copies of the fire hydrant layout for the full site.

**\*\*The following life safety and fire protection concerns provided are for informational purposes to the applicant and Planning Board for this project. Final determinations on these issues occur after further review of the project.**

- A. A blasting permit will be required for any blasting on the site in accordance with the **Hudson Town Code, Chapter 202.**

cc: Project Engineer  
File



# TOWN OF HUDSON

## Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

**Subdivision application #08-22**  
**Zoning Review/Comments** *BM 5-5-22*

May 5, 2022

Re: Map 182 Lot 003  
Address: 65 Central Street  
Zoning district: Town Residential (TR)  
Proposal: 10 lot subdivision w/associated new roadway.  
Based on submitted plans: 1 of 16 dated April 20, 2022 and 3 of 16 dated April 20, 2022.

- 1) Recommend that Lot 3-1 take frontage and access from the proposed new roadway.
- 2) This comment is more for a practical use of the property as a homeowner, and that would be to erect/install "wetland buffer boundary markers" at the following lots: 3-8 and 3-9.

*Bruce Buttrick*  
Zoning Administrator/Code Enforcement Officer  
(603) 816-1275  
[bbuttrick@hudsonnh.gov](mailto:bbuttrick@hudsonnh.gov)

cc: Public Folder  
B. Groth - Town Planner  
file

April 27, 2022

Subject: **Frenette Gardens –Residential Subdivision Application**  
**Map 182; Lot 3**  
**65 Central Street, Hudson NH**  
KNA Project No. 21-0928-1

**PROJECT NARRATIVE**

The project proposes to subdivide the existing parcel into ten (10) new residential lots and construct approximately 700 feet of new roadway, culminating in a cul-de-sac. Roadway construction entails the installation of public utilities, including water, sewer, drainage, gas, underground electric, and telecommunications services.

The parcel is located at 65 Central Street and is referenced on Hudson’s Tax Map 182 as Lot 3. The 9.84-acre (429,679-sf) lot lies in Hudson’s Town Residential (TR) Zoning District and is currently developed with a single-family house in the northeast corner. It is bisected by First Brook to the south of the existing house and bordered by Central Street to the north and several single-family houses to the east, south, and west. Access to the existing single-family house is currently provided from Central Street.

A waiver for lot phasing and a conditional use permit for impacts within the wetland conservation overlay district are both requested of the planning board as part of this application. Please refer to the waiver request sheet on the subdivision application for more information regarding the lot phasing and the recently submitted conditional use permit application for more information regarding the wetland buffer impacts. Furthermore, the proposed municipal sewer system will need state approval prior to development.



*Town of Hudson  
12 School Street  
Hudson, NH 03501*

## **SUBDIVISION APPLICATION**

Revised August 30, 2021

The following information must be filed with the Planning Department *at the time of filing a site plan application*:

1. One (1) original completed application with original signatures, and one (1) copy.
2. Three (3) full plan sets (sheet size: 22" x 34").
3. One (1) original copy of the project narrative, and one (1) copy.
4. A list of direct abutters and a list of indirect abutters, and two (2) sets of mailing labels for abutter notifications.
5. All of the above application materials, including plans, shall also be submitted in electronic form as a PDF.
6. All plans shall be folded and all pertinent data shall be attached to the plans with an elastic band or other enclosure.

The following information is required to be filed with the Planning Department *no later than 10:00 A.M., Tuesday ONE WEEK prior to the scheduled Planning meeting. The purpose of these materials is hardcopy distribution to Planning Board members, not review. Any plan revisions that require staff review must be submitted no later than 10:00 A.M., Tuesday TWO WEEKS prior to the scheduled Planning meeting. Depending on the complexity of changes, more time may be required for review. Please contact the Town Planner if you have any questions on this matter.*

1. Submission of fifteen (15) 11" X 17" plan sets, revised if applicable.
2. Submission of two (2) full plan sets (sheet size: 22" x 34"), if revised.
3. All of the above application materials, including plans, shall also be submitted in electronic form as a PDF.

*Note: Prior to filing an application, it is recommended to schedule an appointment with the Town Planner.*

**SUBDIVISION APPLICATION**

Date of Application: 4/27/22 Tax Map #: 182 Lot #: 3

Site Address: 65 Central Street

Name of Project: Frenette Gardens

Zoning District: Town Residential (TR) General SB#: \_\_\_\_\_  
(For Town Use Only)

Z.B.A. Action: \_\_\_\_\_

**PROPERTY OWNER:**

Name: Laura Ripaldi/Kimberly Frenette

Address: 46 Bush Hill Road, Hudson, NH 03051

Address: 88 Dumont Road, Hudson, NH 03051

Telephone # [REDACTED]

Email: N/A

**PROJECT ENGINEER:**

Name: Keach-Nordstrom Associates, Inc.

Address: 10 Commerce Park North, Suite 3

Address: Bedford, NH 03110

Telephone # (603) 627-2881

Email: pmadsen@keachnordstrom.com

**DEVELOPER:**

Pete Ripaldi

46 Bush Hill Road, Hudson, NH 03051

**PROPERTY OWNER**

Ricky Frenette

14 Tate Street, Hudson, NH 03051

**SURVEYOR:**

Keach-Nordstrom Associates, Inc.

10 Commerce Park North, Suite 3

Bedford, NH 03110

(603) 627-2881

chickey@keachnordstrom.com

**PURPOSE OF PLAN:**

To show a proposed ten lot subdivision and 705 linear feet of a new dead end roadway.

<b>(For Town Use Only)</b>		
Routing Date: _____	Deadline Date: _____	Meeting Date: _____
_____ I have no comments		_____ I have comments (attach to form)
_____ Title: _____	_____ Date: _____	
(Initials)		
Department: _____		
Zoning: ___ Engineering: ___ Assessor: ___ Police: ___ Fire: ___ DPW: ___ Consultant: ___		

**SUBDIVISION PLAN DATA SHEET**

PLAN NAME: Residential Subdivision Plan Frenette Gardens

PLAN TYPE: Conventional Subdivision Plan or Open Space Development (Circle One)

LEGAL DESCRIPTION: MAP 182 LOT 3

DATE: 4/27/22

-----  
Address: 65 Central Street

Total Area: S.F. 430,507 Acres: 9.88

Zoning: Town Residential (TR)

Required Lot Area: 10,000 SF

Required Lot Frontage: 90 FT

Number of Lots Proposed: 10

Water and Waste System Proposed: Municipal sewer and water

Area in Wetlands: 71,506 SF

Existing Buildings To Be Removed: 0

Flood Zone Reference: FIRM Map Number 33011C0518D, Panel Number 518 of 701

Proposed Linear Feet Of New Roadway: 705 LF

**SUBDIVISION PLAN DATA SHEET**

Dates/Case #/Description/  
Stipulations of ZBA,  
Conservation Commission,  
NH Wetlands Board Action:

CUP for wetlands buffer impact has been filed

(Attach Stipulations on  
Separate Sheet)

List Permits Required:

NHDES Sewer Connection Permit

NPDES Notice of Intent

<b><u>*Waivers Requested:</u></b>	<b>Hudson Town Code Reference</b>	<b><u>Regulation Description</u></b>
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	1. 289-37(A.)	Lot Phasing
	2.	
	3.	
	4.	
	5.	
	6.	
	7.	

*\*(Left Column for Town Use)*

**(For Town Use Only)**

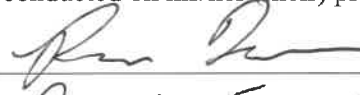
Data Sheets Checked By: \_\_\_\_\_ Date: \_\_\_\_\_



**SUBDIVISION PLAN APPLICATION AUTHORIZATION**

I hereby apply for *Subdivision Plan* Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the *Subdivision Plan* specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Planner, the Town Engineer, and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner:  Date: 4/21/22  
Print Name of Owner: Ricky Frenette

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer:  Date: 4/21/22  
Print Name of Developer: Petur Ripaldi

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The individual in charge of the project must notify the Code Enforcement Officer/Building Inspector within two (2) working days of any change.

**WAIVER REQUEST FORM**

Name of Subdivision/Site Plan: Residential Subdivision, Plan Frenette Gardens

Street Address: 65 Central Street

I Ricky Frenette hereby request that the Planning Board waive the requirements of item 289-37(A.) of the Hudson Land Use Regulations in reference to a plan presented by Keach-Nordstrom Associates, Inc. (name of surveyor and engineer) dated 4/20/22 for property tax map(s) 182 and lot(s) 3 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Land Use Regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The applicant would like to construct the roadway and develop the nine new lots as quickly and efficiently as possible and would prefer not to phase the development for two years. Adhering to this rule would cause an unnecessary hardship for the applicant and the surrounding residential abutters, as the overall small scale of the project makes it best suited to be developed within a year and disturbance from construction should be limited as such.

Reason(s) for granting this waiver, relative to not being contrary to the spirit and intent of the Land Use Regulations: (if additional space is needed please attach the appropriate documentation hereto):

Granting this waiver would not be contrary to the spirit and intent of the regulation because requiring phased construction would only increase the amount and time of disturbance to the surrounding residential abutters, which there are many of.

Signed:

  
\_\_\_\_\_  
Applicant or Authorized Agent



***NOTE: fees below apply only upon plan approval, NOT collected at time of application.***

**D. RECORDING FEES:**

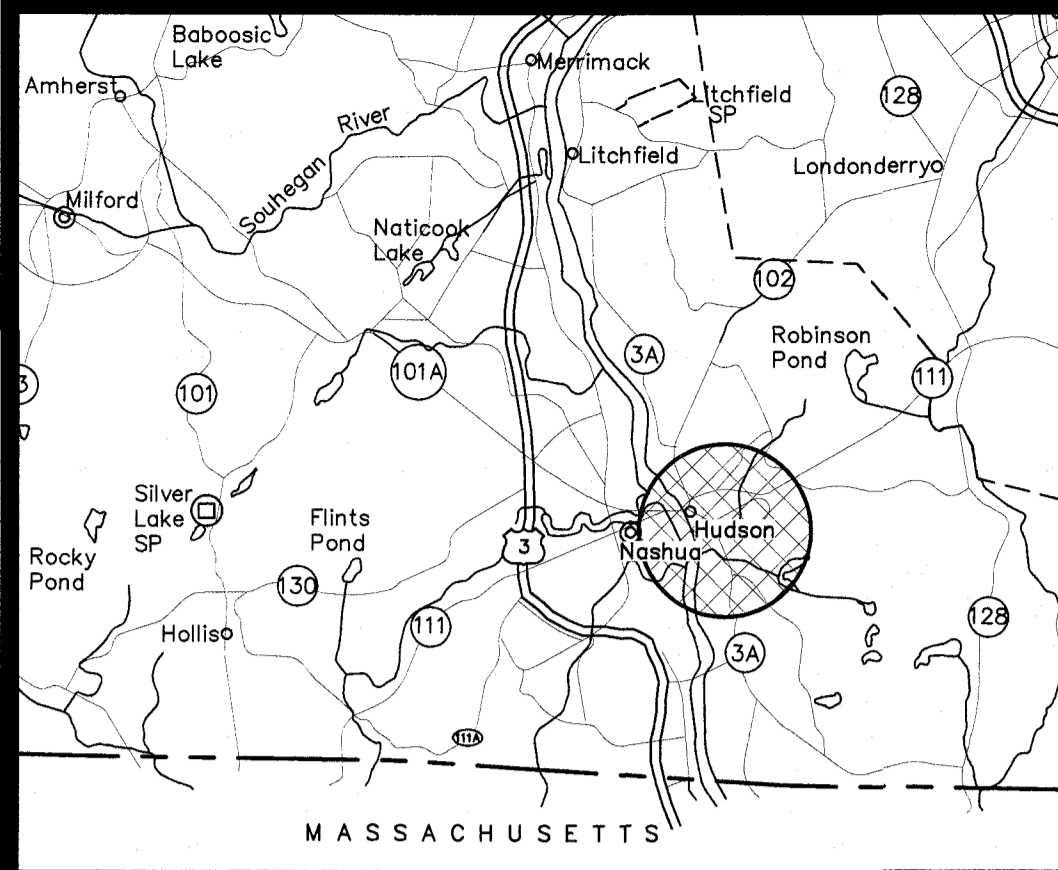
**The applicant shall pay the costs of recording the final site plan layout prior to final site plan approval, in accordance with fees established by the County. Recording fees must be paid prior to recording.**

Recording of Plan @ \$24.00/sheet + \$2.00/surcharge plan  
Land & Community Heritage Investment Program (LCHIP) fee @ \$25.00  
Easements/Agreements @\$10.00/first sheet, \$4.00/each sheet thereafter +  
\$2.00/surcharge/doc. + First Class return postage rate

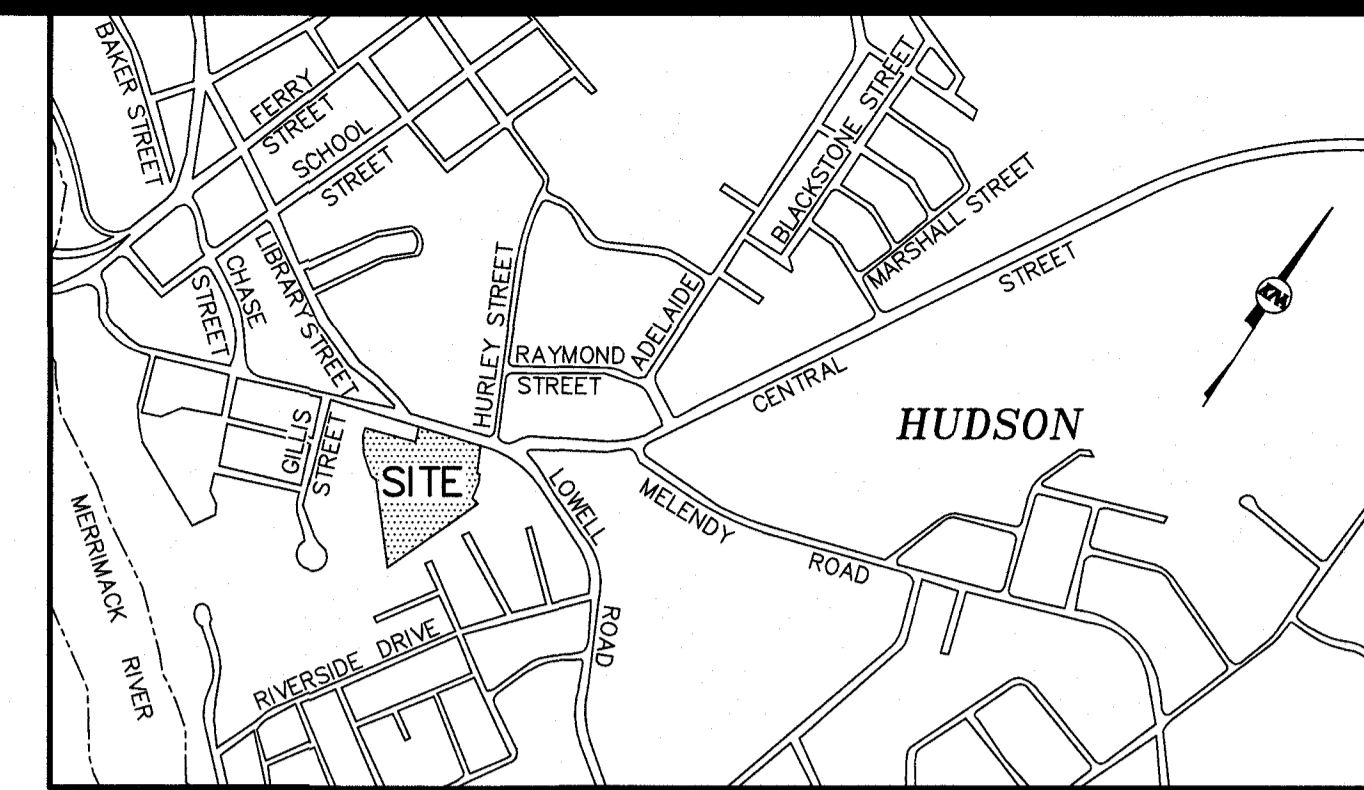
**E. COST ALLOCATION PROCEDURE AMOUNT CONTRIBUTION AND OTHER IMPACT FEE PAYMENTS:**

To be determined by the Planning Board at time of plan approval and shall be paid by the applicant at the time of submittal of the Certificate of Occupancy Permit requests.

**\*\*\*The applicant shall be responsible for all fees incurred by the town for processing and review of the applicant's application, plan and related materials.\*\*\***



VICINITY PLAN  
NOT TO SCALE



VICINITY PLAN  
SCALE: 1" = 1,000±

# RESIDENTIAL SUBDIVISION PLAN

## FRENETTE GARDENS

### MAP 182; LOT 3

### 65 CENTRAL STREET

### HUDSON, NEW HAMPSHIRE

**OWNERS/APPLICANTS:**

**LAURA RIPALDI**  
46 BUSH HILL ROAD  
HUDSON, NH 03051

**KIMBERLEY FRENETTE**  
8B DUMONT ROAD  
HUDSON, NH 03051

**RICKY FRENETTE**  
14 TATE STREET  
HUDSON, NH 03051

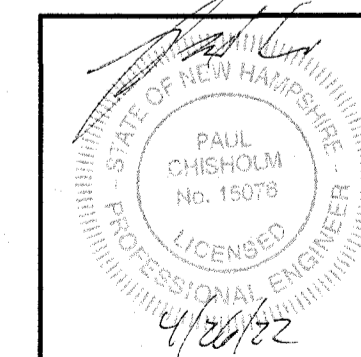
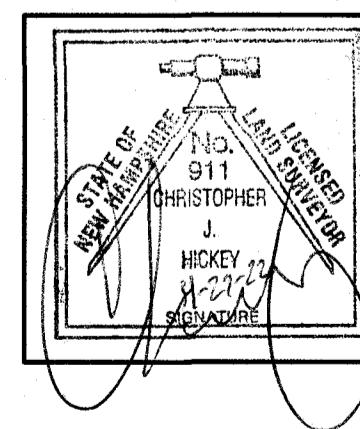
**PREPARED BY:**

**KEACH-NORDSTROM ASSOCIATES, INC.**  
10 COMMERCE PARK NORTH, SUITE 3B  
BEDFORD, NEW HAMPSHIRE 03110  
(603) 627-2881

**SHEET TITLE**

**SHEET No.**

MASTER SUBDIVISION PLAN	1
TOPOGRAPHIC MASTER SUBDIVISION PLAN	2
SUBDIVISION PLAN	3
TOPOGRAPHIC SUBDIVISION PLAN	4
ROADWAY PLAN	5
ROADWAY PROFILE	6
EROSION CONTROL PLAN	7
LANDSCAPING & LIGHTING PLAN	8
SIGHT DISTANCE PLAN & PROFILE	9
SEWER & DRAINAGE PROFILES	10
CONSTRUCTION DETAILS	11 - 16



**KN** KEACH-NORDSTROM ASSOCIATES, INC.  
Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

APRIL 20, 2022

PROJECT NO. 21-0928-1

**LEGEND**

- GB-F GRANITE BOUND FOUND
- FSB-F FIELDSTONE BOUND FOUND
- IP-F IRON PIPE FOUND
- AI-F ANGLE IRON FOUND
- IR-F IRON ROD FOUND
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- WETLAND BUFFER
- 100 YEAR FLOOD LINE



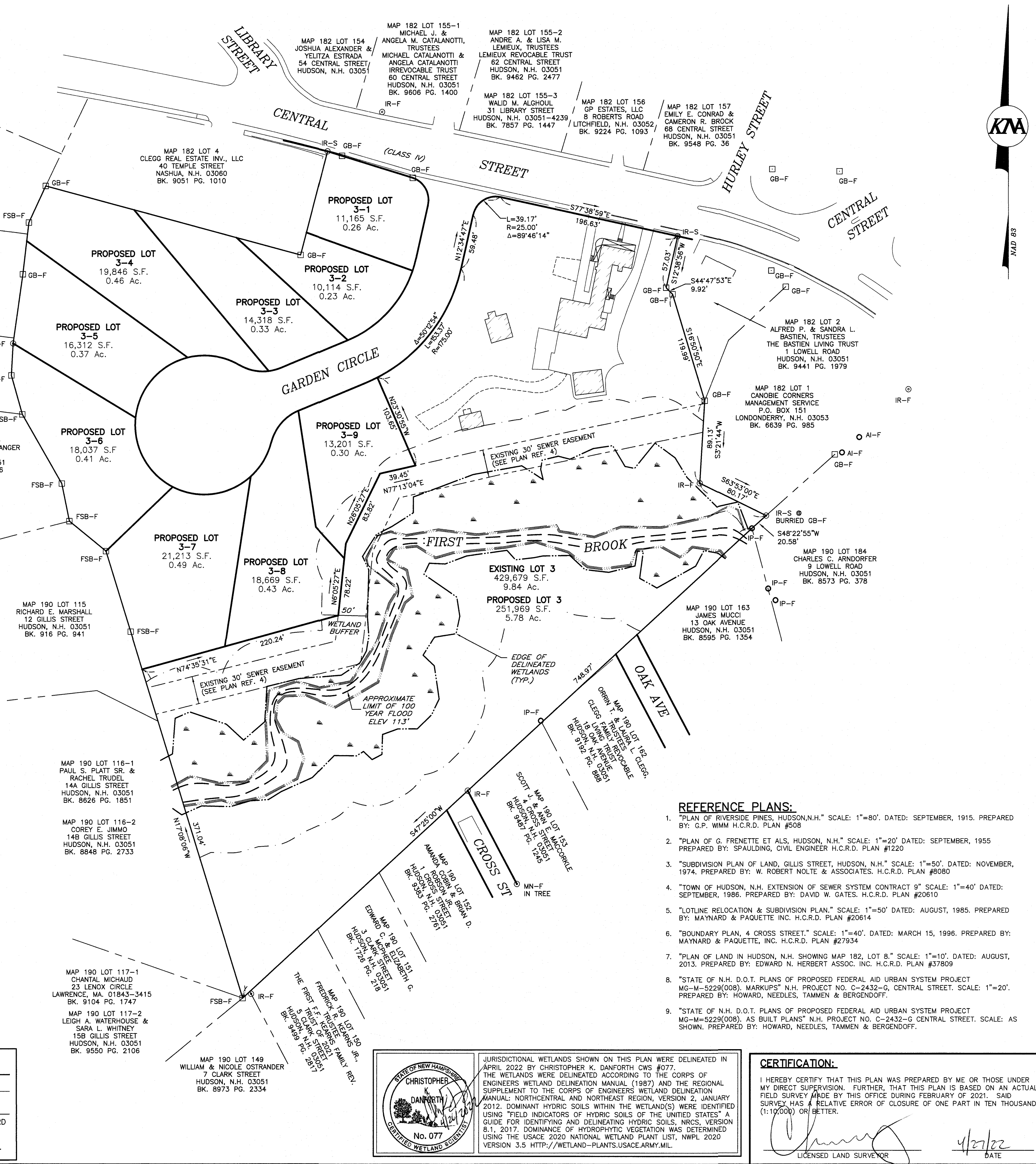
**LOT AREA TABLE**

LOT NUMBER	TOTAL LOT AREA (SF)	WETLAND AREA (SF)	AREA (SF) >25% SLOPE	BUILDABLE AREA (SF)	FRONTAGE (FT)
3	251,969	71,506	49,910	130,553	448.65
3-1	11,165	0	0	11,165	206.51
3-2	10,114	0	0	10,114	105.76
3-3	14,318	0	0	14,318	92.31
3-4	19,846	0	0	19,846	91.08
3-5	16,312	0	0	16,312	91.62
3-6	18,037	0	0	18,037	90.35
3-7	21,213	0	2,120	19,093	90.69
3-8	18,669	0	2,400	16,269	90.27
3-9	13,201	0	2,930	10,271	92.97

**OWNERS OF MAP 182 LOT 3**

SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

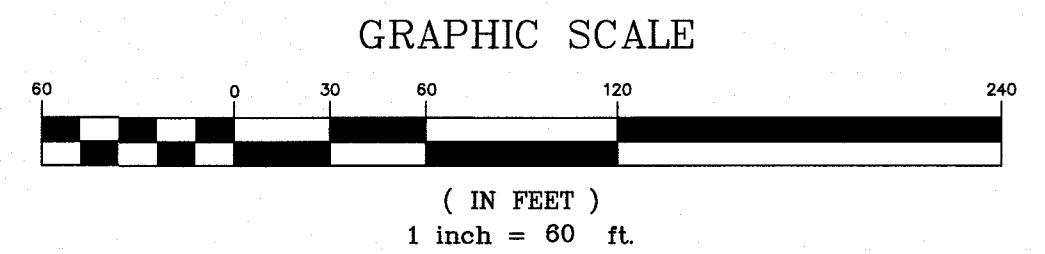
**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
 DATE OF MEETING: \_\_\_\_\_  
 SIGNATURE DATE: \_\_\_\_\_  
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 SUBDIVISIONS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.



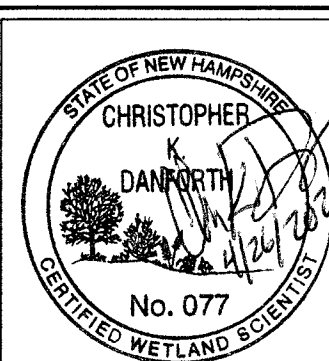
**VICINITY PLAN**  
 SCALE: 1" = 1,000±

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED SUBDIVISION OF MAP 182 LOT 3 INTO TEN (10) LOTS WITH MUNICIPAL SEWER AND WATER.
  - EXISTING AREA OF PARCEL IS 429,679 SF OR 9.84 ACRES.
  - THE SUBJECT PARCEL IS SITUATED ENTIRELY WITHIN THE TOWN RESIDENTIAL (TR) ZONING DISTRICT AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REQUIREMENTS:
    - MINIMUM LOT AREA 10,000 SF (WITH WATER & SEWER)
    - MINIMUM LOT FRONTAGE 90 FT (LOCAL ROADS)
    - MINIMUM BUILDING SETBACKS:
      - FRONT 30 FT
      - REAR 15 FT
      - SIDE 15 FT
  - BOUNDARY INFORMATION SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE IN FEBRUARY OF 2021.
  - HORIZONTAL DATUM IS NAD83. VERTICAL DATUM IS NAVD88 FROM GPS SURVEY METHODS POST PROCESSED THROUGH NOAA-OPUS.
  - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, MAP NUMBER 33011C0518D, PANEL NUMBER 518 OF 701, EFFECTIVE DATE: SEPTEMBER 25, 2009, INDICATES THAT A PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A FLOOD HAZARD AREA. THE BASE FLOOD ELEVATION OF 113 FALLS WITHIN THE LIMITS OF FIRST BROOK AND THE APPROXIMATE LOCATION IS SHOWN.
  - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR OR OWNER SHALL CONTACT DIG SAFE AT 811.
  - WARRANTS REQUESTED:**
    - HTC 289-37(A) - LOT PHASING
  - A CAP IN THE AMOUNT OF \$\_\_\_\_\_ PER RESIDENTIAL UNIT IN HUDSON, SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - A PUBLIC SCHOOL IMPACT FEE IN THE AMOUNT OF \$\_\_\_\_\_ IN HUDSON, PER RESIDENTIAL UNIT, SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - A RECREATION CONTRIBUTION IN THE AMOUNT OF \$\_\_\_\_\_ IN HUDSON, PER RESIDENTIAL UNIT, SHALL BE PAID PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - STONE BOUNDS (5"x5"x30") TO BE SET AT ALL BOUNDARY INTERSECTIONS AND POINTS OF CURVATURE ON THE RIGHT-OF-WAY AND IRON PINS (5/8" x 30") TO BE SET AT ALL OTHER BOUNDARY CORNERS.
  - THIS PLAN SET CONTAINS A TOTAL OF 16 SHEETS, SHEETS 1 & 3 SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS AND THE ENTIRE SET IS ON FILE WITH THE TOWN OF HUDSON PLANNING DEPARTMENT.
  - CONSTRUCTION ACTIVITIES INVOLVING THE LOTS SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 A.M. AND 6:00 P.M., MONDAY THROUGH FRIDAY. INTERIOR CONSTRUCTION ACTIVITIES ARE ALLOWED ON SATURDAY 7:00 A.M. AND 6:00 P.M. BOTH INTERIOR AND EXTERIOR CONSTRUCTION ACTIVITIES ARE PROHIBITED ON SUNDAYS.
  - PROPER EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED PRIOR TO CLEARING AND EXCAVATION. THE CONTROLS SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL COMPLETION OF CONSTRUCTION. THE TOWN OF HUDSON RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION, IF NECESSARY.
  - PERMITS REQUIRED:**

STATUS	NUMBER
-NHDES SEWER CONNECTION PERMIT	PENDING
-NHDES NOTICE OF INTENT	REQUIRED PRIOR TO CONSTRUCTION
-NHDES SEWER CONNECTION PERMIT	N/A
  - THE ONSITE DRAINAGE SYSTEM SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH LOCAL AND NHDES REQUIREMENTS FOR SUCH SYSTEMS.
  - IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 A.M. AND 5:00 P.M. MONDAY THROUGH FRIDAY ONLY. SAID BLASTING / RAMMING ACTIVITIES ARE PROHIBITED ON SATURDAY AND SUNDAY.
  - THIS APPROVAL IS SUBJECT TO FINAL ENGINEERING REVIEW.
  - THIS PROJECT MEETS THE 2019 MS4 REQUIREMENTS.



- REFERENCE PLANS:**
- "PLAN OF RIVERSIDE PINES, HUDSON, N.H." SCALE: 1"=80'. DATED: SEPTEMBER, 1915. PREPARED BY: G.P. WMM H.C.R.D. PLAN #508
  - "PLAN OF G. FRENETTE ET ALS, HUDSON, N.H." SCALE: 1"=20' DATED: SEPTEMBER, 1955 PREPARED BY: SPAULDING, CIVIL ENGINEER H.C.R.D. PLAN #1220
  - "SUBDIVISION PLAN OF LAND, GILLIS STREET, HUDSON, N.H." SCALE: 1"=50'. DATED: NOVEMBER, 1974. PREPARED BY: W. ROBERT NOLTE & ASSOCIATES. H.C.R.D. PLAN #8080
  - "TOWN OF HUDSON, N.H. EXTENSION OF SEWER SYSTEM CONTRACT 9" SCALE: 1"=40' DATED: SEPTEMBER, 1986. PREPARED BY: DAVID W. GATES. H.C.R.D. PLAN #20610
  - "LOTLINE RELOCATION & SUBDIVISION PLAN." SCALE: 1"=50' DATED: AUGUST, 1985. PREPARED BY: MAYNARD & PAQUETTE INC. H.C.R.D. PLAN #27934
  - "BOUNDARY PLAN, 4 CROSS STREET." SCALE: 1"=40'. DATED: MARCH 15, 1996. PREPARED BY: MAYNARD & PAQUETTE, INC. H.C.R.D. PLAN #27934
  - "PLAN OF LAND IN HUDSON, N.H. SHOWING MAP 182, LOT 8." SCALE: 1"=10'. DATED: AUGUST, 2013. PREPARED BY: EDWARD N. HERBERT ASSOC. INC. H.C.R.D. PLAN #37809
  - "STATE OF N.H. D.O.T. PLANS OF PROPOSED FEDERAL AID URBAN SYSTEM PROJECT MG-M-5229(008), MARKUPS" N.H. PROJECT NO. C-2432-G, CENTRAL STREET. SCALE: 1"=20'. PREPARED BY: HOWARD, NEEDLES, TAMMEN & BERGENOFF.
  - "STATE OF N.H. D.O.T. PLANS OF PROPOSED FEDERAL AID URBAN SYSTEM PROJECT MG-M-5229(008), AS BUILT PLANS" N.H. PROJECT NO. C-2432-G CENTRAL STREET. SCALE: AS SHOWN. PREPARED BY: HOWARD, NEEDLES, TAMMEN & BERGENOFF.



JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED IN APRIL 2022 BY CHRISTOPHER K. DANFORTH CWS #077. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING "FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES" A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, NRCS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USACE 2020 NATIONAL WETLAND PLANT LIST, NWPL 2020 VERSION 3.5 HTTP://WETLAND-PLANTS.USACE.ARMY.MIL.

**CERTIFICATION:**  
 I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE DURING FEBRUARY OF 2021. SAID SURVEY HAS A RELATIVE ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) OR BETTER.  
 \_\_\_\_\_  
 LICENSED LAND SURVEYOR  
 DATE: 4/20/22

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: APRIL 20, 2022 SCALE: 1" = 60'  
 PROJECT NO: 21-0928-1 SHEET 1 OF 16

**MASTER SUBDIVISION PLAN**  
**FRENETTE GARDENS**  
 MAP 182 LOT 3  
 65 CENTRAL STREET  
 HUDSON, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

**OWNERS/APPLICANTS OF MAP 182 LOT 3:**

LAURA RIPALDI 46 BUSH HILL ROAD HUDSON, NH 03051 9531/2754	KIMBERLY FRENETTE 89 DUMONT ROAD HUDSON, NH 03051 9531/2754	RICKY FRENETTE 14 TATE STREET HUDSON, NH 03051 9531/2754
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**KEACH-NORDSTROM ASSOCIATES, INC.**  
 Civil Engineering Land Surveying Landscape Architecture  
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

**LEGEND**

- BUTTER LINE
- PROPERTY LINE
- WETLAND
- BROOK
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- EDGE OF GRAVEL
- EASEMENT
- WETLAND BUFFER
- 100 YEAR FLOOD LINE
- 10' CONTOUR
- 2' CONTOUR

**SOILS LEGEND**

**MAP UNIT SOIL TYPE**

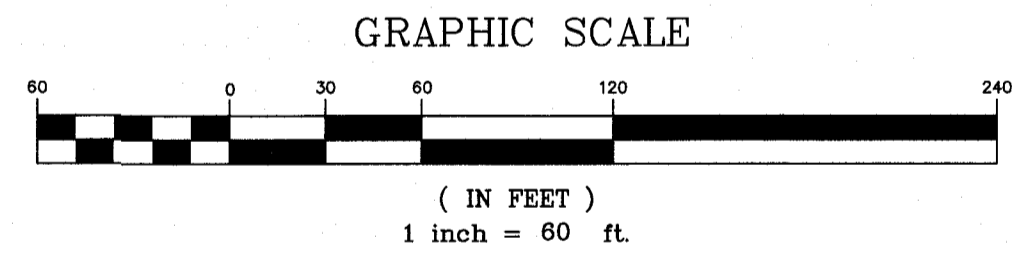
- WdD** WINDSOR-LOAMY SAND  
15 TO 35 PERCENT SLOPES
- WnC** WINDSOR-URBAN LAND COMPLEX  
3 TO 15 PERCENT SLOPES

SOURCE: USDA-SCS WEB SOIL SURVEY  
HILLSBOROUGH COUNTY



MAP 85

SEE SHEET 1 FOR NOTES AND REFERENCE PLANS



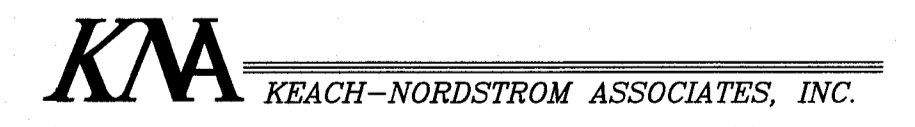
**TOPOGRAPHIC MASTER SUBDIVISION PLAN**

**FRENETTE GARDENS**

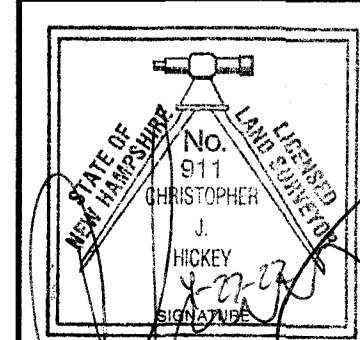
MAP 182 LOT 3  
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HUDSON, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

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REVISIONS			
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DATE: APRIL 20, 2022 SCALE: 1" = 60'  
PROJECT NO: 21-0928-1 SHEET 2 OF 16



APPROVED BY THE HUDSON, NH PLANNING BOARD  
DATE OF MEETING: \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE DATE: \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE DATE: \_\_\_\_\_

SUBDIVISIONS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.



NAD 83

**LEGEND**

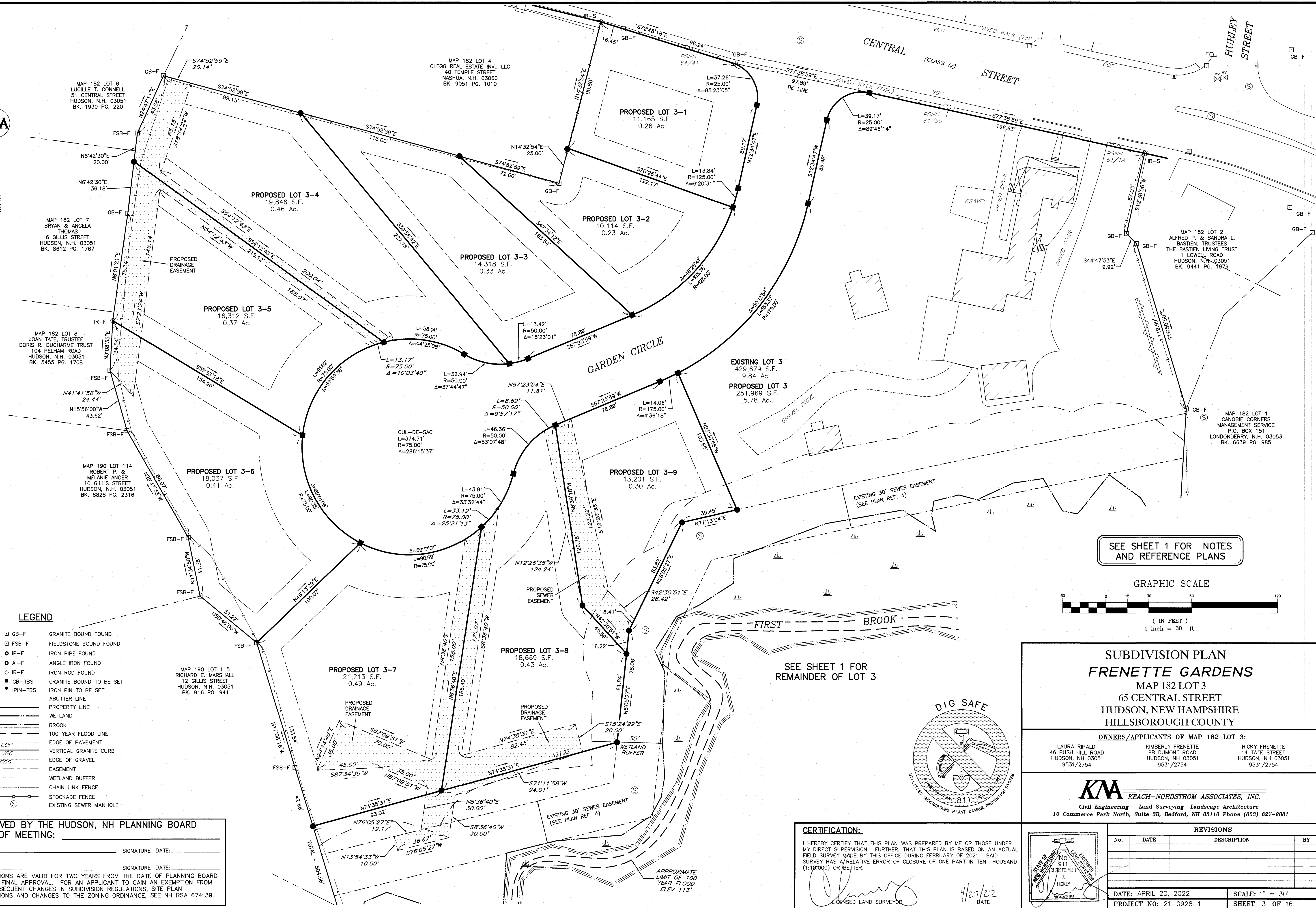
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- BROOK
- 100 YEAR FLOOD LINE
- EOP EDGE OF PAVEMENT
- VGC VERTICAL GRANITE CURB
- EDG EDGE OF GRAVEL
- EASEMENT
- WETLAND BUFFER
- CHAIN LINK FENCE
- STOCKADE FENCE
- EXISTING SEWER MANHOLE

**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
 DATE OF MEETING: \_\_\_\_\_

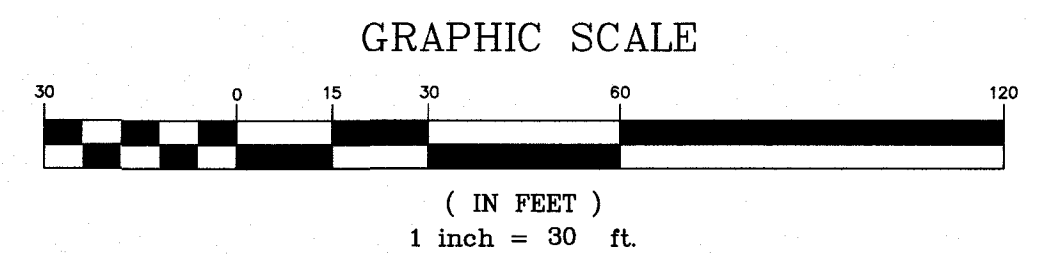
\_\_\_\_\_  
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SEE SHEET 1 FOR NOTES AND REFERENCE PLANS



SEE SHEET 1 FOR REMAINDER OF LOT 3



**SUBDIVISION PLAN**  
**FRENETTE GARDENS**  
 MAP 182 LOT 3  
 65 CENTRAL STREET  
 HUDSON, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

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**KMA KEACH-NORDSTROM ASSOCIATES, INC.**  
 Civil Engineering Land Surveying Landscape Architecture  
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

**CERTIFICATION:**

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*[Signature]*  
 LICENSED LAND SURVEYOR

4/27/22  
 DATE

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: APRIL 20, 2022      SCALE: 1" = 30'  
 PROJECT NO: 21-0928-1      SHEET 3 OF 16





NAD 83

**LEGEND**

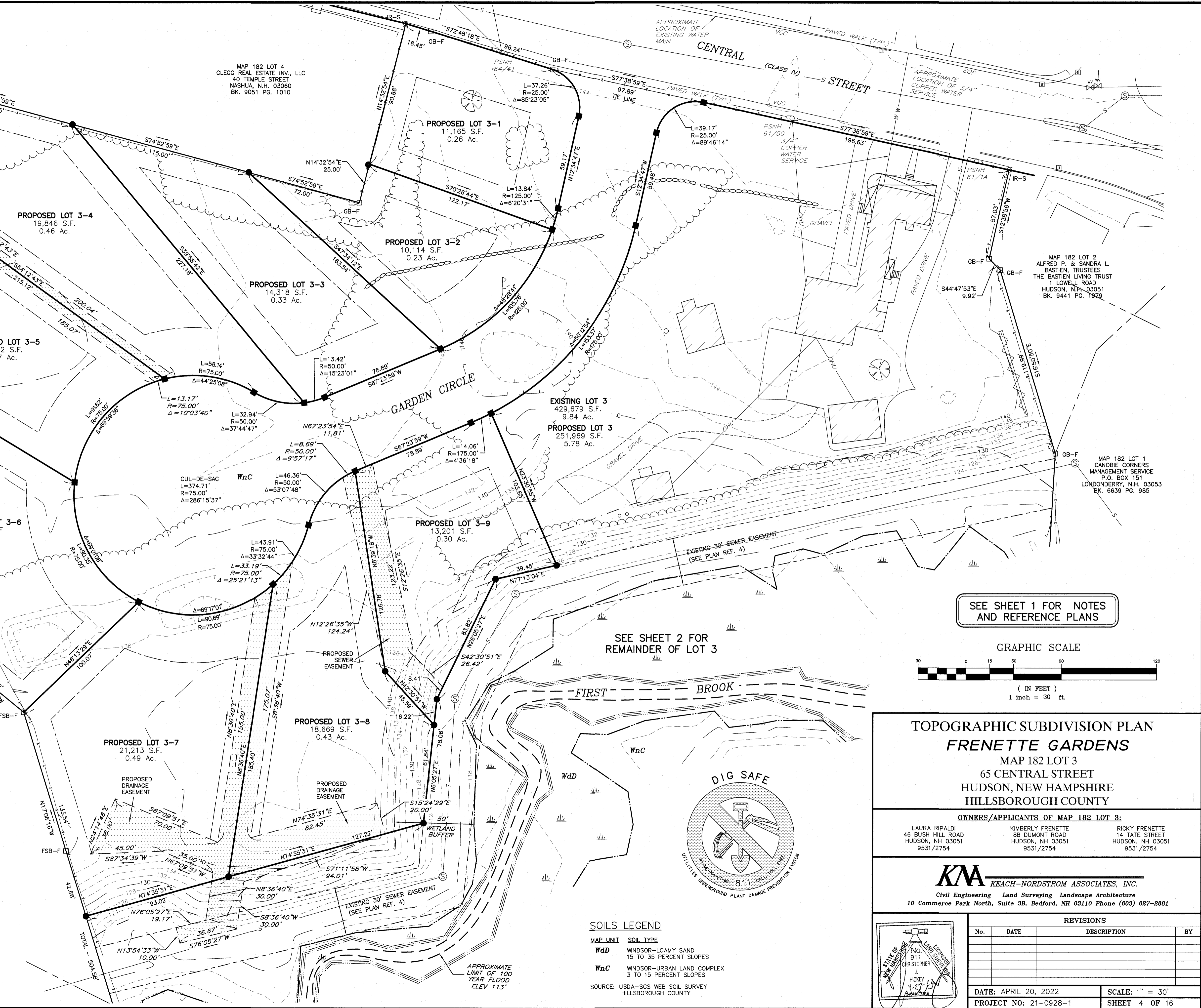
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- SOIL LINE
- SETBACK
- EASEMENT
- BROOK
- 100 YEAR FLOOD LINE
- 10' CONTOUR
- 2' CONTOUR
- CHAIN LINK FENCE
- STOCKADE FENCE
- VGC VERTICAL GRANITE CURB
- EOP EDGE OF PAVEMENT
- EDG EDGE OF GRAVEL
- OHU OVERHEAD UTILITIES
- G GAS LINE
- W WATER LINE
- S SEWER LINE
- TREELINE
- DECIDUOUS TREE

APPROVED BY THE HUDSON, NH PLANNING BOARD  
 DATE OF MEETING: \_\_\_\_\_

\_\_\_\_\_  
 SIGNATURE DATE: \_\_\_\_\_

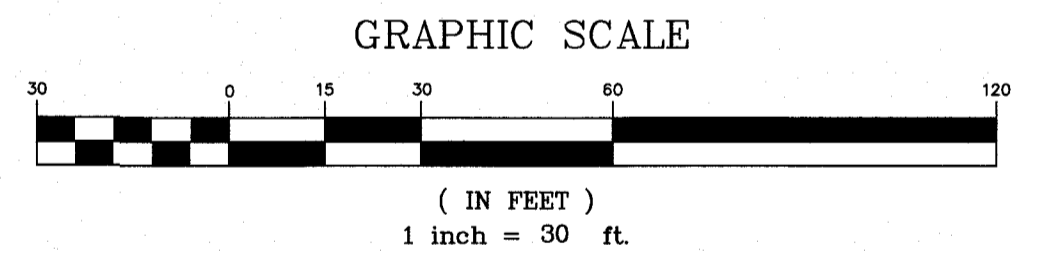
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SEE SHEET 1 FOR NOTES AND REFERENCE PLANS

SEE SHEET 2 FOR REMAINDER OF LOT 3



**TOPOGRAPHIC SUBDIVISION PLAN**  
**FRENETTE GARDENS**  
 MAP 182 LOT 3  
 65 CENTRAL STREET  
 HUDSON, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

**OWNERS/APPLICANTS OF MAP 182 LOT 3:**

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**KMA KEACH-NORDSTROM ASSOCIATES, INC.**  
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REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: APRIL 20, 2022      SCALE: 1" = 30'  
 PROJECT NO: 21-0928-1      SHEET 4 OF 16

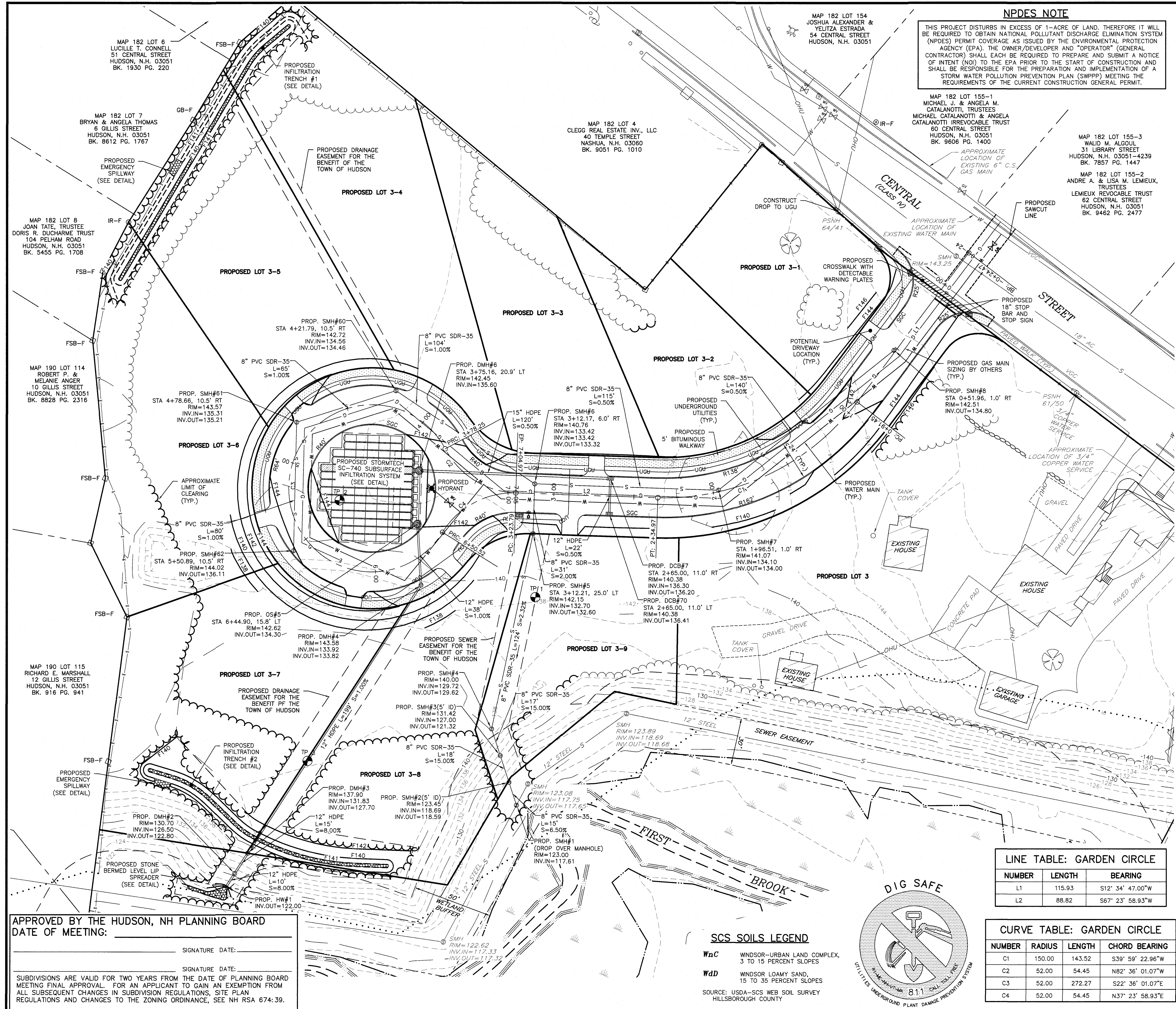
**SOILS LEGEND**

MAP UNIT    SOIL TYPE

WdD    WINDSOR-LOAMY SAND  
15 TO 35 PERCENT SLOPES

WnC    WINDSOR-URBAN LAND COMPLEX  
3 TO 15 PERCENT SLOPES

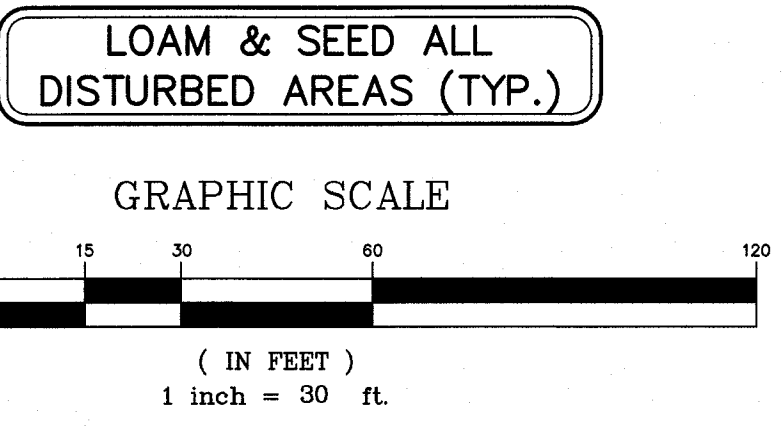
SOURCE: USDA-SCS WEB SOIL SURVEY  
HILLSBOROUGH COUNTY



**NPDES NOTE**  
 THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND. THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.

- CONSTRUCTION NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED ROADWAY DESIGN, GRADING, AND UTILITIES FOR THIS SITE.
  2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL WORK PERFORMED IN THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
  3. CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPARTMENT, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHOWN SHALL BE HDPE. CATCH BASINS SHALL BE TYPE B, AND HAVE 3' SLUMPS UNLESS OTHERWISE NOTED.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
  5. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
  6. ALL DRIVEWAY, WATER, AND GAS STUB LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE COORDINATED WITH OWNER & ENGINEER OF RECORD FOR FINAL APPROVAL PRIOR TO CONSTRUCTION.

- LEGEND**
- GB-F GRANITE BOUND FOUND
  - FSB-F FIELDSTONE BOUND FOUND
  - IP-F IRON PIPE FOUND
  - AI-F ANGLE IRON FOUND
  - IR-F IRON ROD FOUND
  - U-P UTILITY POLE
  - SIGN SIGN
  - SMH SEWER MANHOLE
  - DMH DRAINAGE MANHOLE
  - CB CATCH BASIN
  - AB BUTTER LINE
  - PL PROPERTY LINE
  - WETLAND WETLAND
  - BROOK BROOK
  - CLF CHAIN LINK FENCE
  - SCF STOCKADE FENCE
  - OHU OVERHEAD UTILITIES
  - GL GAS LINE
  - WL WATER LINE
  - SL SEWER LINE
  - DL DRAINAGE LINE
  - TL TREELINE
  - EPV EDGE OF PAVEMENT
  - VG VERTICAL GRANITE CURB
  - EGR EDGE OF GRAVEL
  - 10' 10' CONTOUR
  - 2' 2' CONTOUR
  - STW STONEWALL
  - SSL SCS SOIL LINE
  - BS BUILDING SETBACK
  - EASEMENT EASEMENT
  - UGU PROPOSED UNDERGROUND UTILITIES
  - GL PROPOSED GAS LINE
  - WL PROPOSED WATER LINE
  - SL PROPOSED SEWER LINE
  - DL PROPOSED DRAINAGE LINE
  - TL PROPOSED TREELINE
  - EPV PROPOSED EDGE OF PAVEMENT
  - VG PROPOSED SLOPED GRANITE CURB
  - 2' 2' CONTOUR



**ROADWAY PLAN  
 FRENETTE GARDENS  
 MAP 182 LOT 3  
 65 CENTRAL STREET  
 HUDSON, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY**

**OWNERS/APPLICANTS OF MAP 182 LOT 3:**

LAURA RIPALDI 48 BUSH HILL ROAD HUDSON, NH 03051 9531/2754	KIMBERLY FRENETTE 88 DUMONT ROAD HUDSON, NH 03051 9531/2754	RICKY FRENETTE 14 TATE STREET HUDSON, NH 03051 9531/2754
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**KMA KEACH-NORDSTROM ASSOCIATES, INC.**  
 Civil Engineering Land Surveying Landscape Architecture  
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

**LINE TABLE: GARDEN CIRCLE**

NUMBER	LENGTH	BEARING
L1	115.93	S12° 34' 47.00"W
L2	88.82	S67° 23' 58.93"W

**CURVE TABLE: GARDEN CIRCLE**

NUMBER	RADIUS	LENGTH	CHORD	BEARING
C1	150.00	143.52	S39° 59' 22.96"W	
C2	52.00	54.45	N82° 36' 01.07"W	
C3	52.00	272.27	S22° 36' 01.07"E	
C4	52.00	54.45	N37° 23' 58.93"E	

**SCS SOILS LEGEND**

**WuC** WINDSOR-URBAN LAND COMPLEX, 3 TO 15 PERCENT SLOPES

**WdD** WINDSOR LOAMY SAND, 15 TO 35 PERCENT SLOPES

SOURCE: USDA-SCS WEB SOIL SURVEY HILLSBOROUGH COUNTY



**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
 DATE OF MEETING: \_\_\_\_\_

SIGNATURE DATE: \_\_\_\_\_

SIGNATURE DATE: \_\_\_\_\_

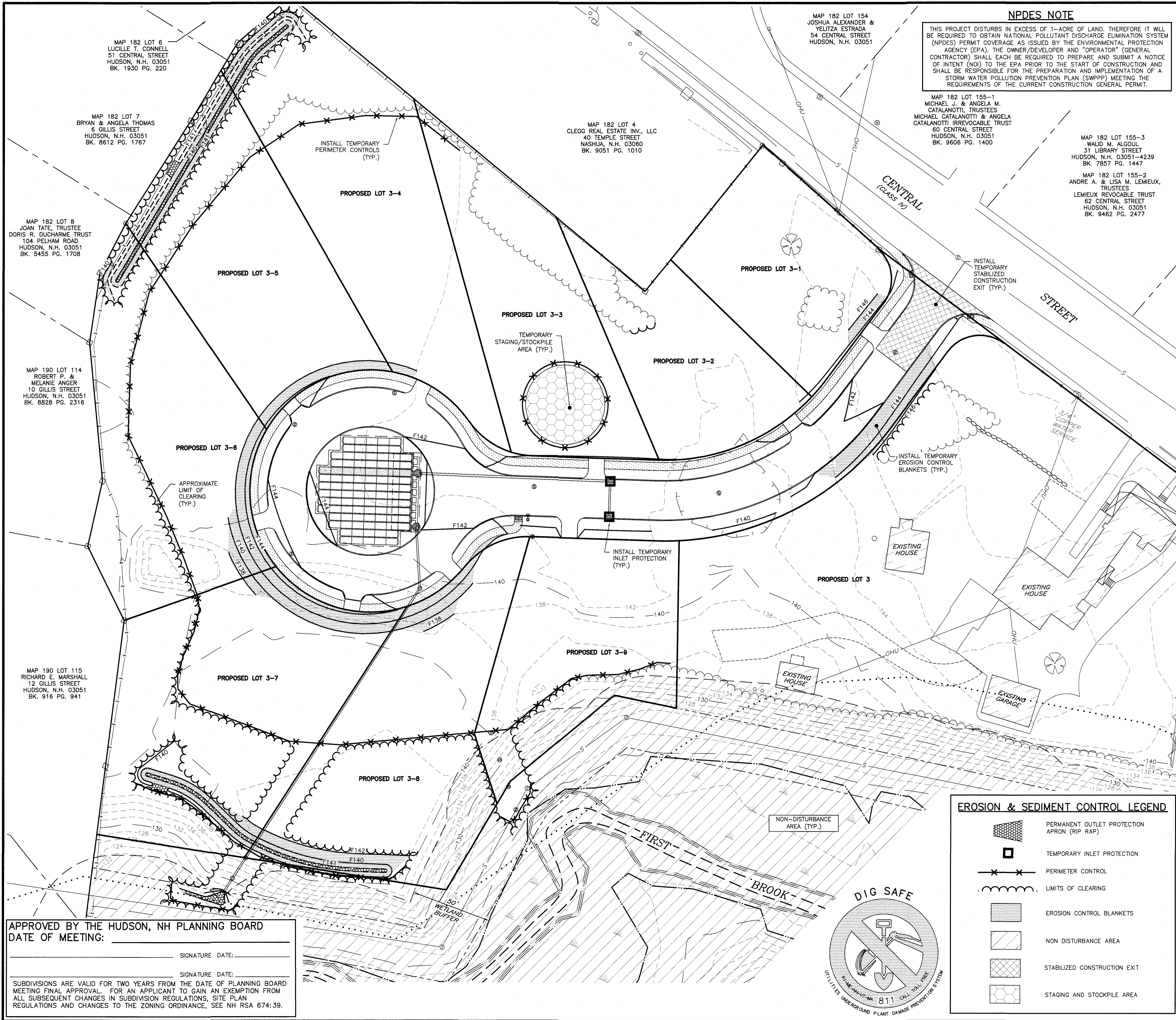
SUBDIVISIONS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.

**REVISIONS**

No.	DATE	DESCRIPTION	BY

DATE: APRIL 20, 2022      SCALE: 1" = 30'  
 PROJECT NO: 21-0928-1      SHEET 5 OF 16



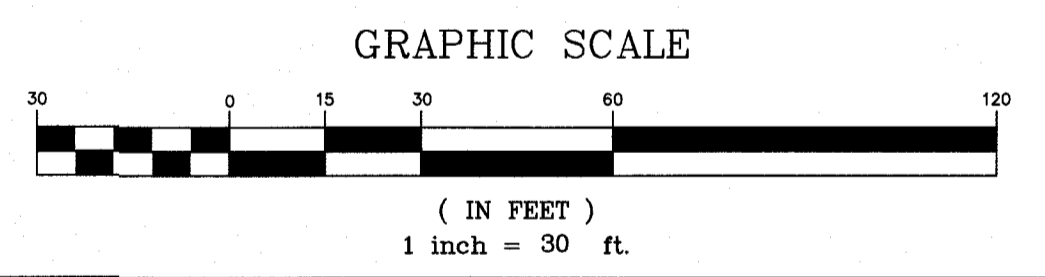


**NPDES NOTE**  
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- EROSION CONTROL NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES AS WELL AS THE PERMANENT EROSION CONTROL MEASURES.
  2. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME.
  3. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
  4. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
  5. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
  6. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
  7. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
  8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
  9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
  10. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.

- LEGEND**
- GB-F GRANITE BOUND FOUND
  - FSB-F FIELDSTONE BOUND FOUND
  - IP-F IRON PIPE FOUND
  - AI-F ANGLE IRON FOUND
  - IR-F IRON ROD FOUND
  - UTY UTILITY POLE
  - SIGN SIGN
  - SEWER MANHOLE SEWER MANHOLE
  - DRAINAGE MANHOLE DRAINAGE MANHOLE
  - CATCH BASIN CATCH BASIN
  - ABUTTER LINE ABUTTER LINE
  - PROPERTY LINE PROPERTY LINE
  - WETLAND WETLAND
  - BROOK BROOK
  - CHAIN LINK FENCE CHAIN LINK FENCE
  - STOCKADE FENCE STOCKADE FENCE
  - OHU OVERHEAD UTILITIES
  - DRAINAGE LINE DRAINAGE LINE
  - TREELINE TREELINE
  - EDGE OF PAVEMENT EDGE OF PAVEMENT
  - VERTICAL GRANITE CURB VERTICAL GRANITE CURB
  - EDGE OF GRAVEL EDGE OF GRAVEL
  - 10' CONTOUR 10' CONTOUR
  - 2' CONTOUR 2' CONTOUR
  - STONEWALL STONEWALL
  - BUILDING SETBACK BUILDING SETBACK
  - PROPOSED DRAINAGE LINE PROPOSED DRAINAGE LINE
  - PROPOSED TREELINE PROPOSED TREELINE
  - PROPOSED EDGE OF PAVEMENT PROPOSED EDGE OF PAVEMENT
  - PROPOSED VERTICAL GRANITE CURB PROPOSED VERTICAL GRANITE CURB
  - PROPOSED 2' CONTOUR PROPOSED 2' CONTOUR

LOAM & SEED ALL DISTURBED AREAS (TYP.)



- EROSION & SEDIMENT CONTROL LEGEND**
- PERMANENT OUTLET PROTECTION APRON (RIP RAP)
  - TEMPORARY INLET PROTECTION
  - PERIMETER CONTROL
  - LIMITS OF CLEARING
  - EROSION CONTROL BLANKETS
  - NON DISTURBANCE AREA
  - STABILIZED CONSTRUCTION EXIT
  - STAGING AND STOCKPILE AREA



APPROVED BY THE HUDSON, NH PLANNING BOARD  
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 SIGNATURE DATE: \_\_\_\_\_  
 SIGNATURE DATE: \_\_\_\_\_  
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**EROSION CONTROL PLAN**  
**FRENETTE GARDENS**  
 MAP 182 LOT 3  
 65 CENTRAL STREET  
 HUDSON, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

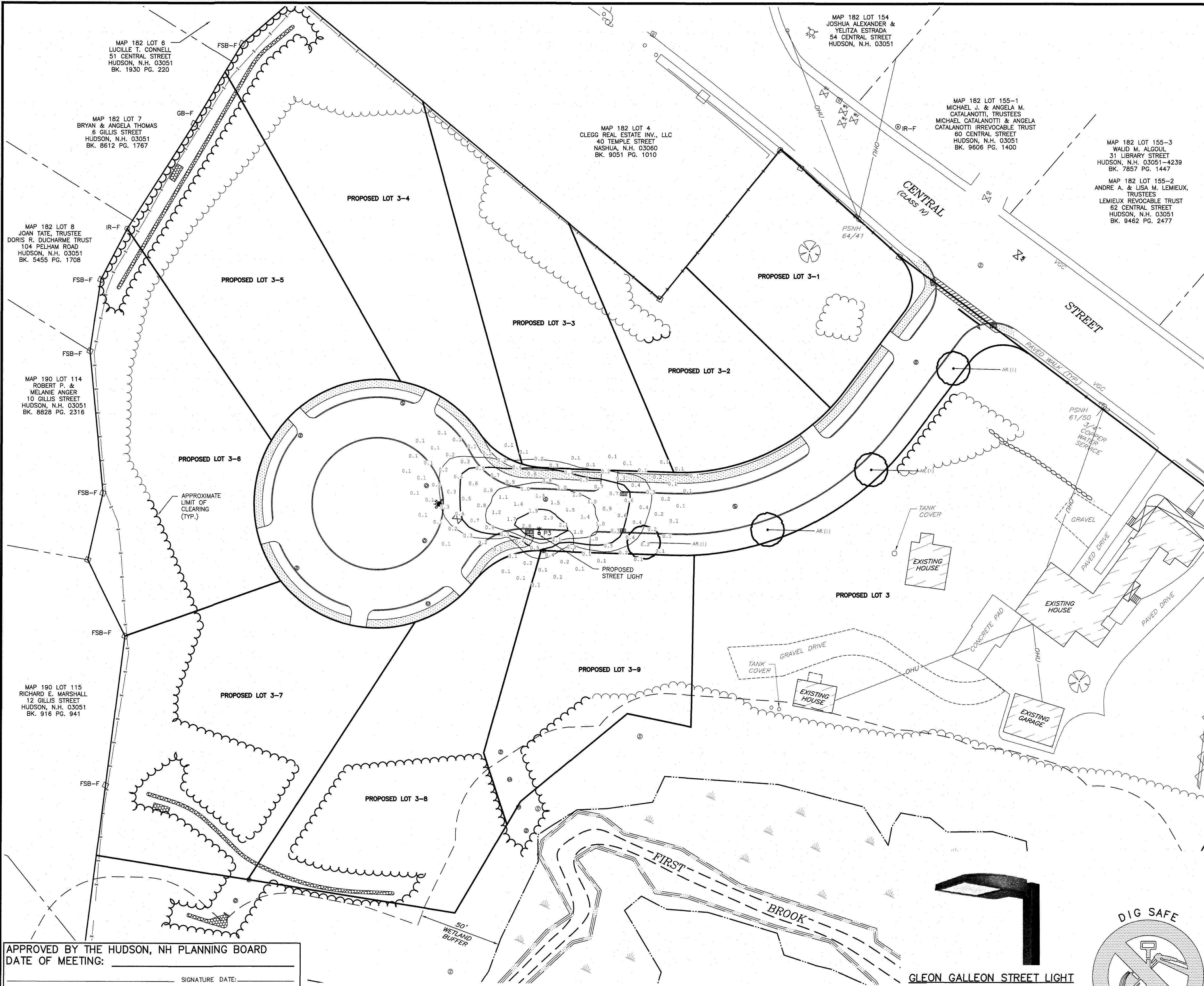
**OWNERS/APPLICANTS OF MAP 182 LOT 3:**

LAURA RIPALDI 46 BUSH HILL ROAD HUDSON, NH 03051 9531/2754	KIMBERLY FRENETTE 89 DUMONT ROAD HUDSON, NH 03051 9531/2754	RICKY FRENETTE 14 TATE STREET HUDSON, NH 03051 9531/2754
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**KM REACH-NORDSTROM ASSOCIATES, INC.**  
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 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
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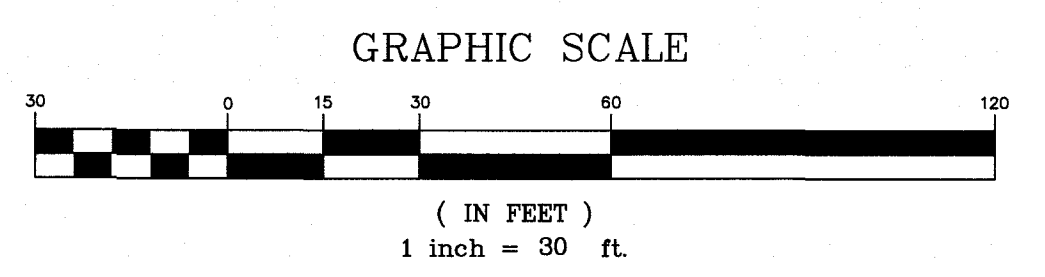
DATE: APRIL 20, 2022 SCALE: 1" = 30'  
 PROJECT NO: 21-0928-1 SHEET 7 OF 16



- LANDSCAPE NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE LANDSCAPING AND LIGHTING WHICH PROVIDES CLIMATIC RELIEF AND AESTHETIC APPEAL.
  - ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOW HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE; WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTIES TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
  - IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS; ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% COMPOST AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
  - PLANTING BEDS AND SAUCERS SHALL RECEIVE A FOUR INCH (4") MINIMUM THICKNESS OF PINE/HEMLOCK BARK MULCH OVER A 5 OZ. POLYPROPYLENE WEED CONTROL FABRIC.
  - MINIMUM TOPSOIL DEPTH IN LAWN AREAS AND ALL OTHER DISTURBED AREAS SHALL BE 6".
  - MULCH SHALL BE MINIMUM 3" THICKNESS CONSISTING OF 50% SHREDDED BARK AND 50% WOOD CHIPS, 3/4" TO 2 INCH IN SIZE, UNIFORMLY MIXED AND FREE OF ELM WOOD. MULCH TO BE PLACED UNIFORMLY OVER THE PLANTING BED ALLOWING NO WEED BARRIER TO BE SEEN.
  - PAVEMENT AND ROAD BASE MATERIAL ENCOUNTERED IN ANY LAWN OR PLANTING BED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AND SUITABLE AMENDED SOIL INSTALLED AS SPECIFIED IN THE TURF ESTABLISHMENT SCHEDULE.
  - THE APPLICANT OR THEIR SUCCESSORS SHALL BE RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL PLANTING AND OTHER LANDSCAPE FEATURES. PLANT MATERIALS SHALL BE MAINTAINED ALIVE, HEALTHY AND FREE FROM PESTS AND DISEASE.
  - ALL LIGHTS/FIXTURES SHALL BE AS SPECIFIED BY CHARRON INCORPORATED.
  - ALL PROPOSED FIXTURES ARE TO BE FULL CUTOFF.
  - ALL FINAL SITE LIGHTING AND CONDUIT LAYOUT SHALL BE COORDINATED WITH LOCAL UTILITY PROVIDER.
  - PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ELECTRICIAN FOR THE EXACT LOCATION, LAYOUT, CONDUIT SIZE AND CIRCUITS ASSOCIATED WITH THE SITE LIGHTING.

**LEGEND**

- GB-F GRANITE BOUND FOUND
- FSB-F FIELDSTONE BOUND FOUND
- IP-F IRON PIPE FOUND
- AI-F ANGLE IRON FOUND
- IR-F IRON ROD FOUND
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- SIGN SIGN
- SM SEWER MANHOLE
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- CB CATCH BASIN
- AL ABUTTER LINE
- PL PROPERTY LINE
- WL WETLAND
- BK BROOK
- CL CHAIN LINK FENCE
- ST STOCKADE FENCE
- OH OVERHEAD UTILITIES
- TR TREELINE
- EP EDGE OF PAVEMENT
- VG VERTICAL GRANITE CURB
- EG EDGE OF GRAVEL
- STW STONEWALL
- SB BUILDING SETBACK
- EASEMENT EASEMENT
- TRP PROPOSED TREELINE
- PEP PROPOSED EDGE OF PAVEMENT
- PVG PROPOSED VERTICAL GRANITE CURB
- PC PROPOSED 2' CONTOUR



IN ASSOCIATION WITH:

P.O. BOX 4550  
MANCHESTER, NH 03108  
(603) 624-4827  
FAX (603) 624-9784  
SALES@CHARRONINC.COM

**LANDSCAPING & LIGHTING PLAN**  
**FRENETTE GARDENS**  
MAP 182 LOT 3  
65 CENTRAL STREET  
HUDSON, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

**OWNERS/APPLICANTS OF MAP 182 LOT 3:**

Laura Ripaldi  
46 Bush Hill Road  
Hudson, NH 03051  
9531/2754

Kimberly Frenette  
88 Dumont Road  
Hudson, NH 03051  
9531/2754

Ricky Frenette  
14 Tate Street  
Hudson, NH 03051  
9531/2754

**KMA** KEACH-NORDSTROM ASSOCIATES, INC.  
Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

**REVISIONS**

No.	DATE	DESCRIPTION	BY

DATE: APRIL 20, 2022 SCALE: 1" = 30'  
PROJECT NO: 21-0928-1 SHEET 8 OF 16

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**Luminaire Schedule**

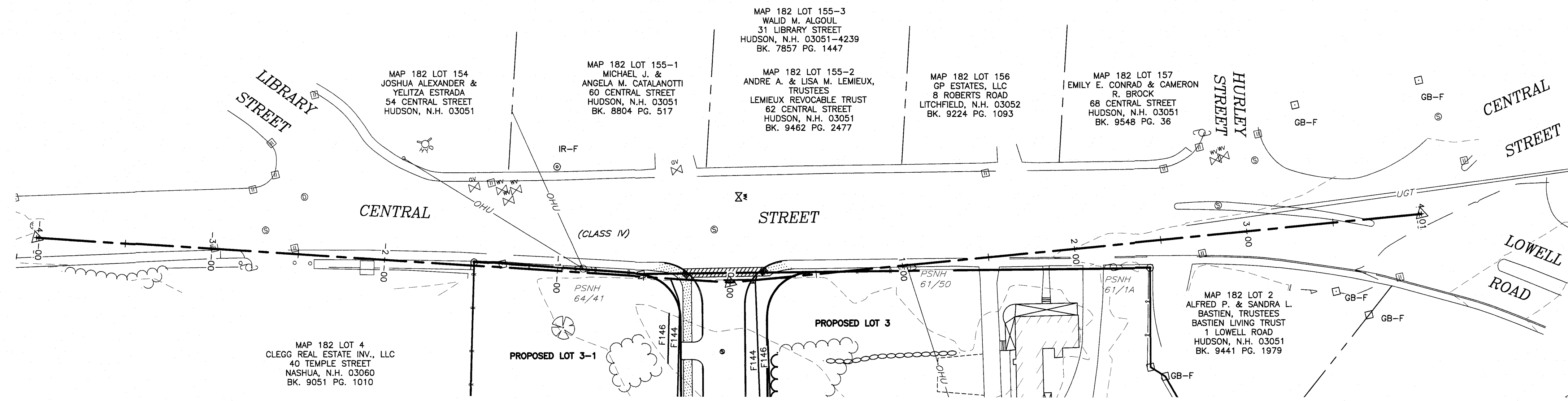
Symbol	Qty	Label	Arrangement	Description
*	1	P3	SINGLE	GLEON-SA1C-730-U-SL3/SS4420SFN1 (20' AFG)

**PLANT LIST**

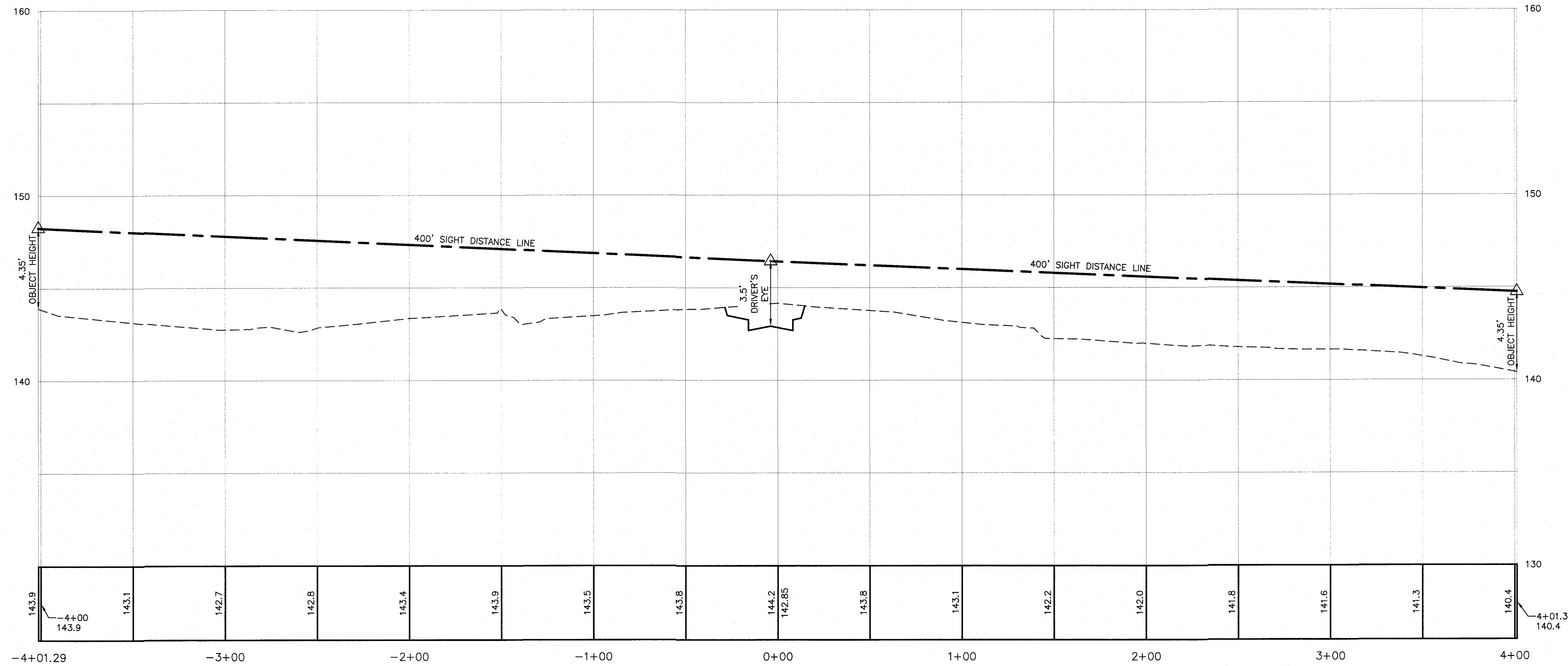
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT
Ar	4	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5-3" CAL.	40-60'



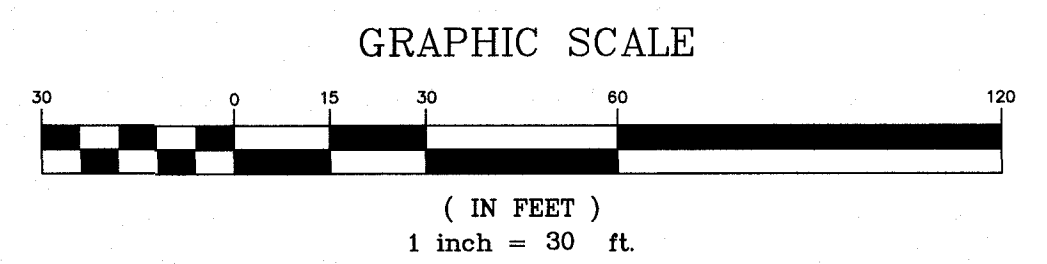
GLEON GALLEON STREET LIGHT



**SIGHT DISTANCE PLAN**  
 SCALE: 1" = 40'(HORIZ.)  
 1" = 4'(VERT.)



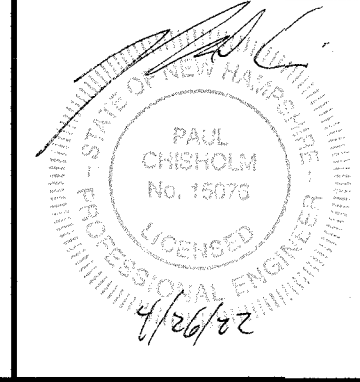
**SIGHT DISTANCE PROFILE**  
 SCALE: 1" = 40'(HORIZ.)  
 1" = 4'(VERT.)



**SIGHT DISTANCE PLAN & PROFILE**  
**FRENETTE GARDENS**  
 MAP 182 LOT 3  
 65 CENTRAL STREET  
 HUDSON, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

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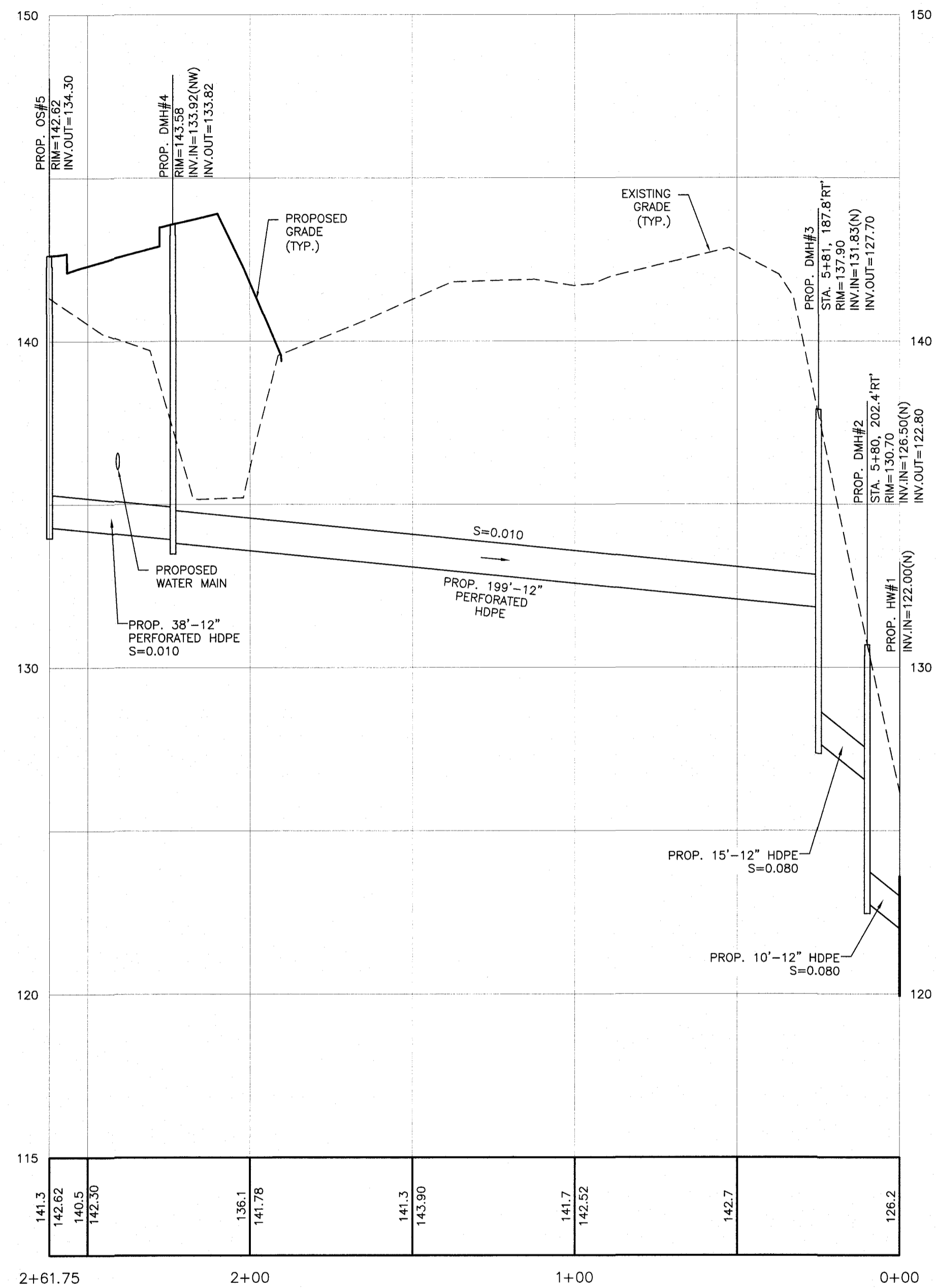
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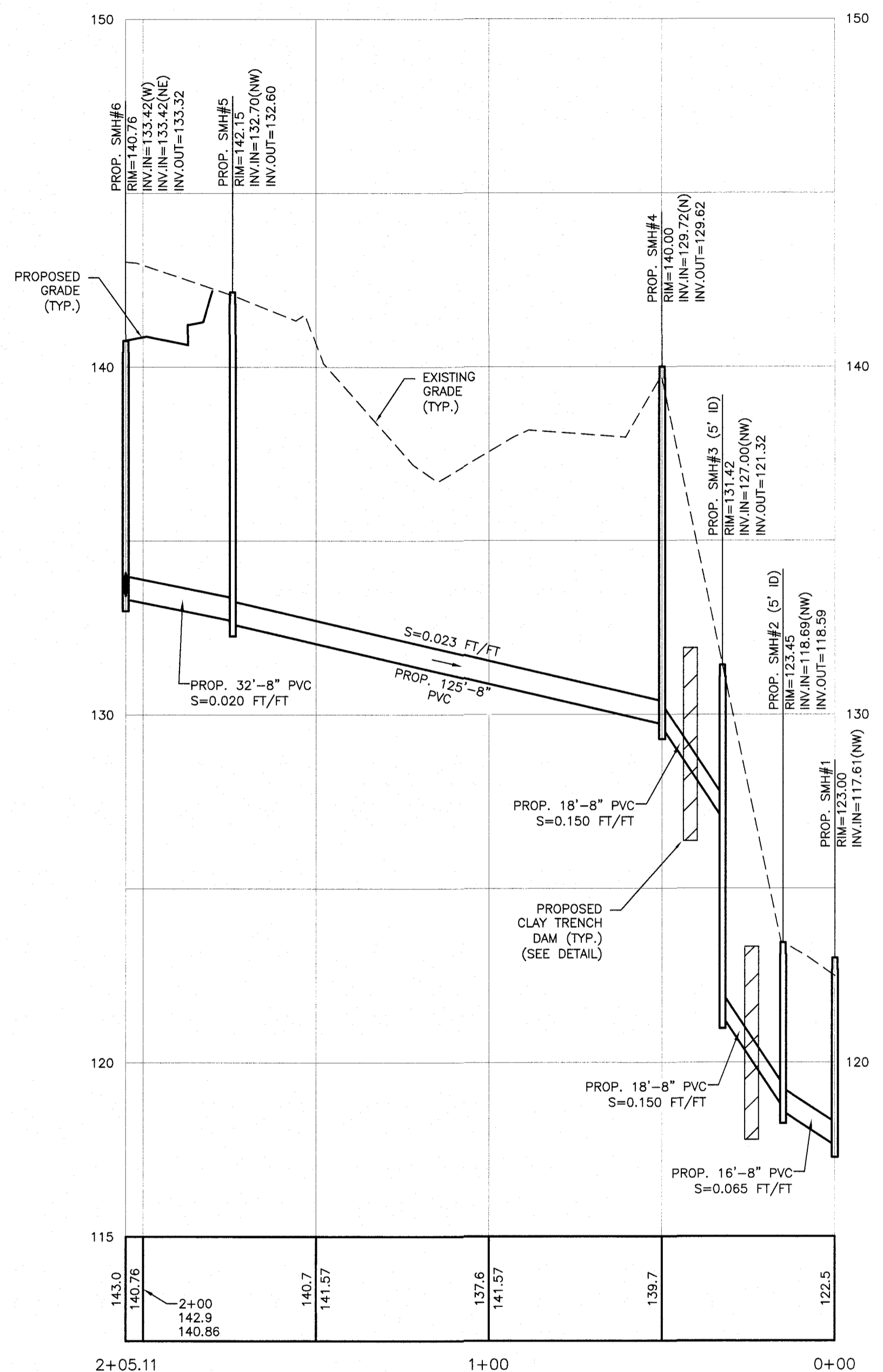
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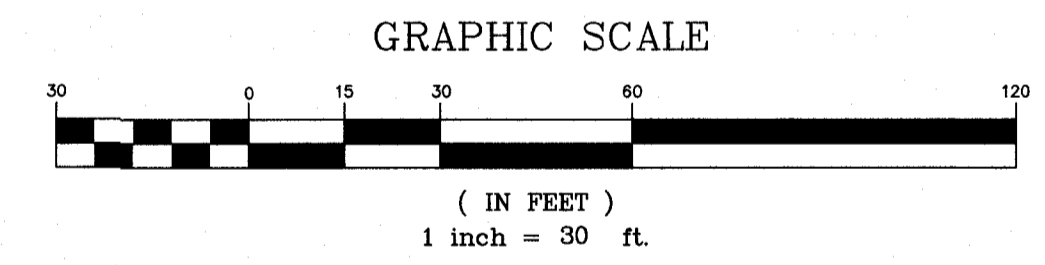
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**OS#5 TO HW#1 PROFILE**  
 SCALE: 1" = 30'(HORIZ.)  
 1" = 3'(VERT.)



**SMH#5 TO EXISTING SEWER MAIN PROFILE**  
 SCALE: 1" = 30'(HORIZ.)  
 1" = 3'(VERT.)



**SEWER & DRAINAGE PROFILES**  
**FRENETTE GARDENS**  
 MAP 182 LOT 3  
 65 CENTRAL STREET  
 HUDSON, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

**OWNERS/APPLICANTS OF MAP 182 LOT 3:**

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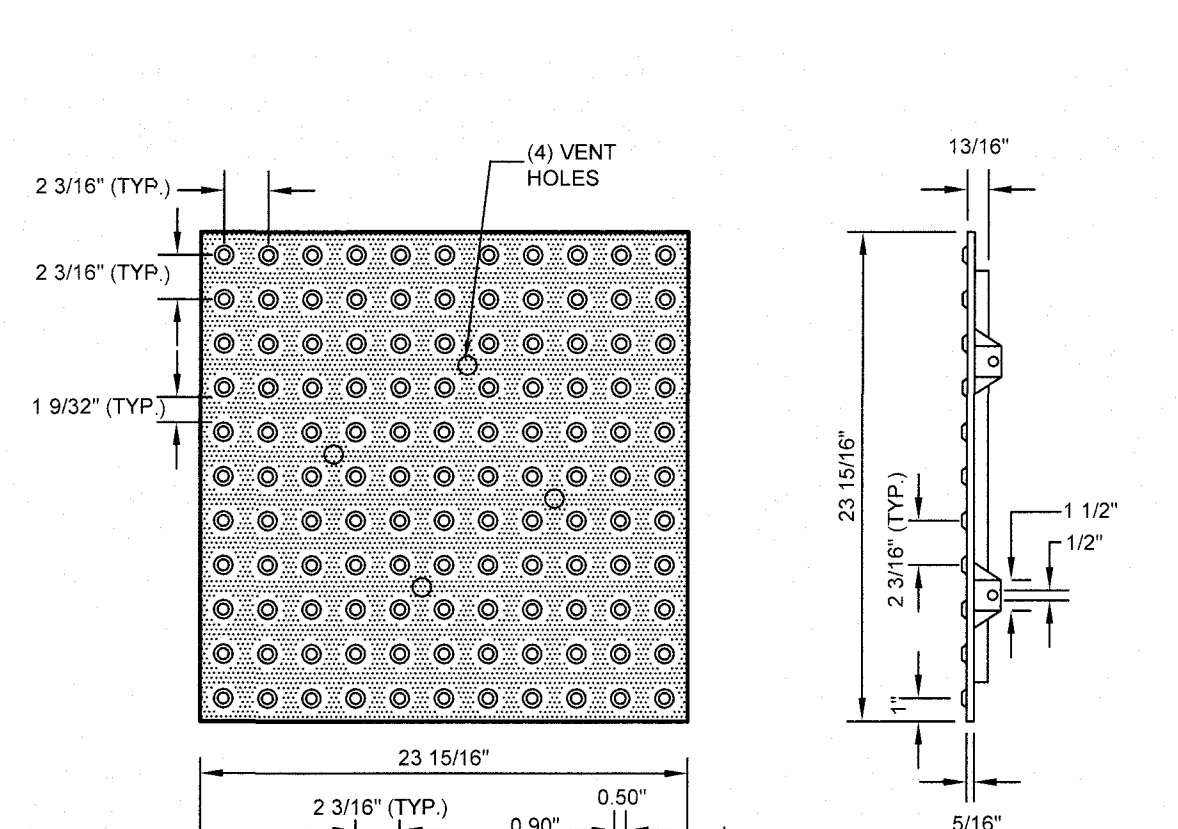
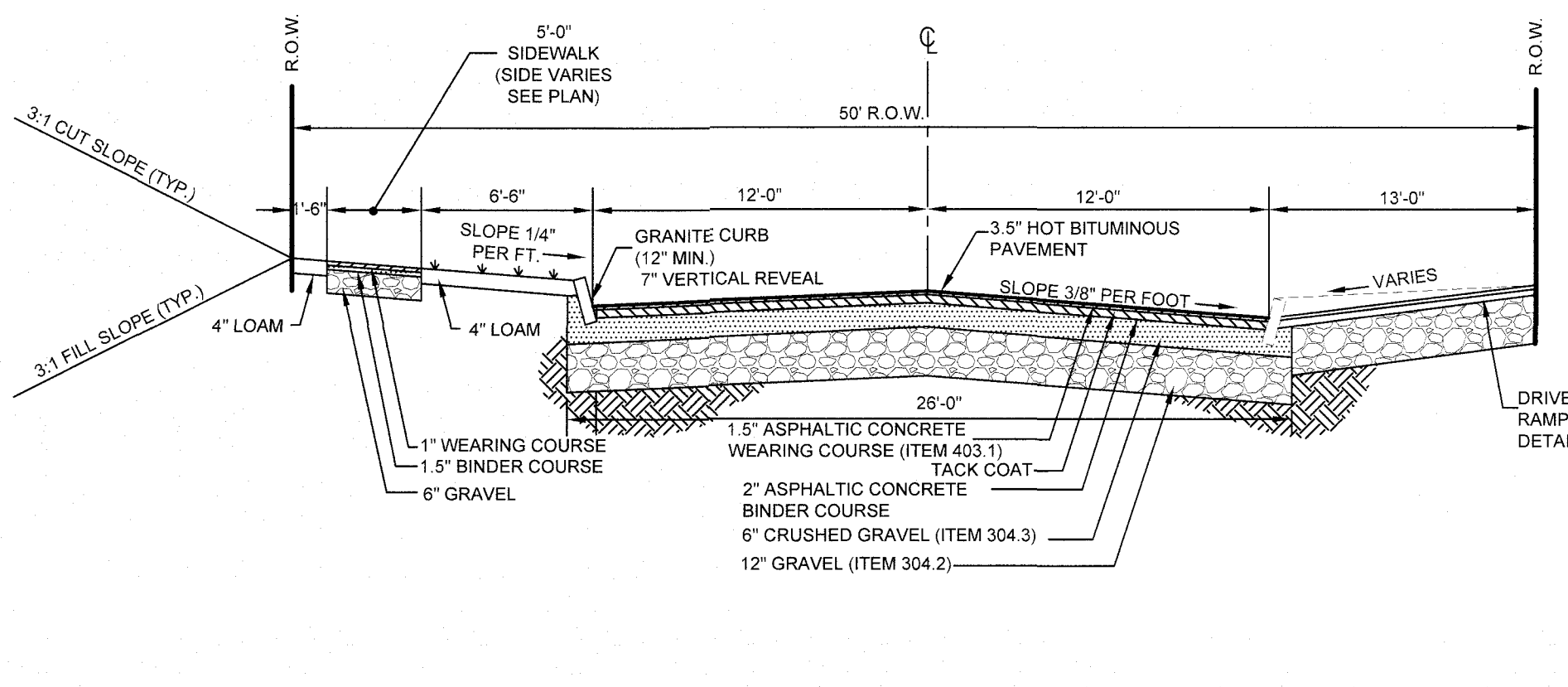
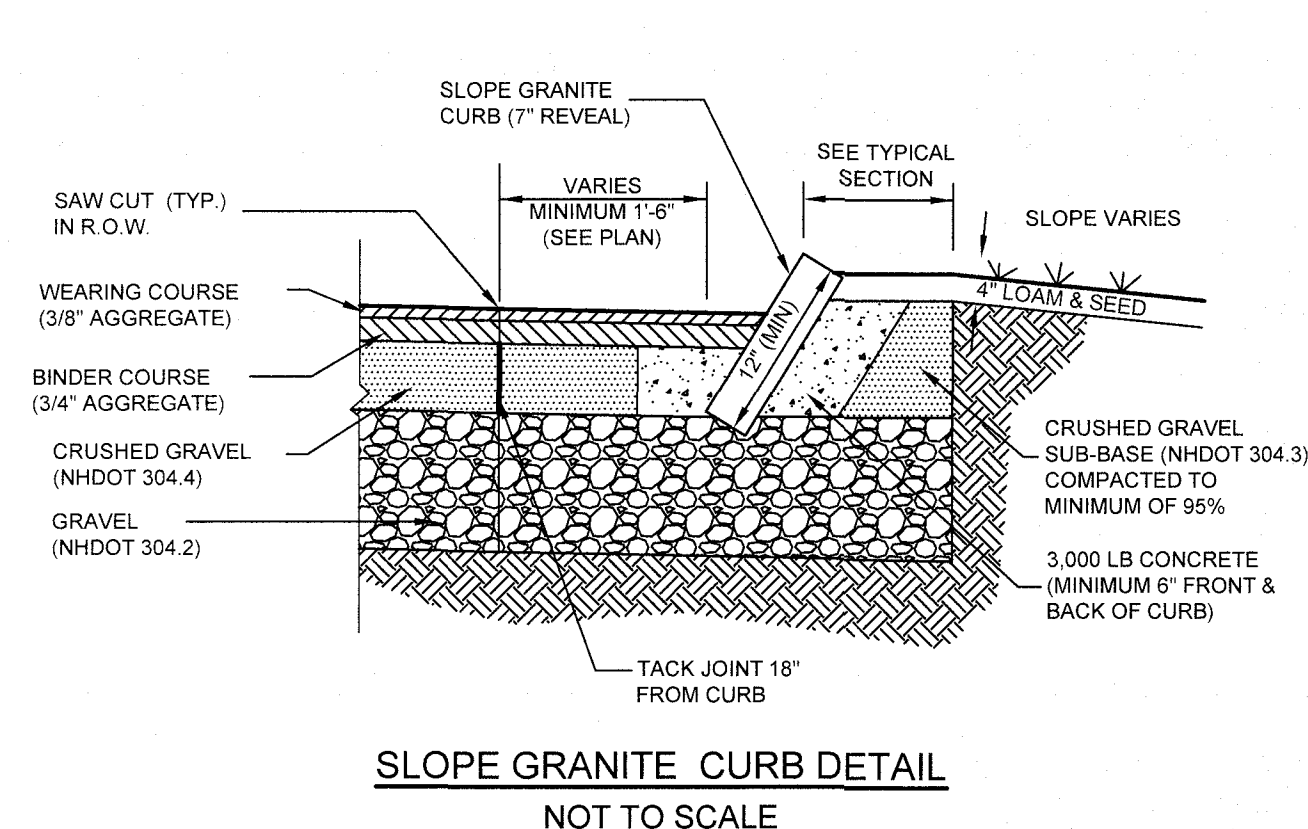
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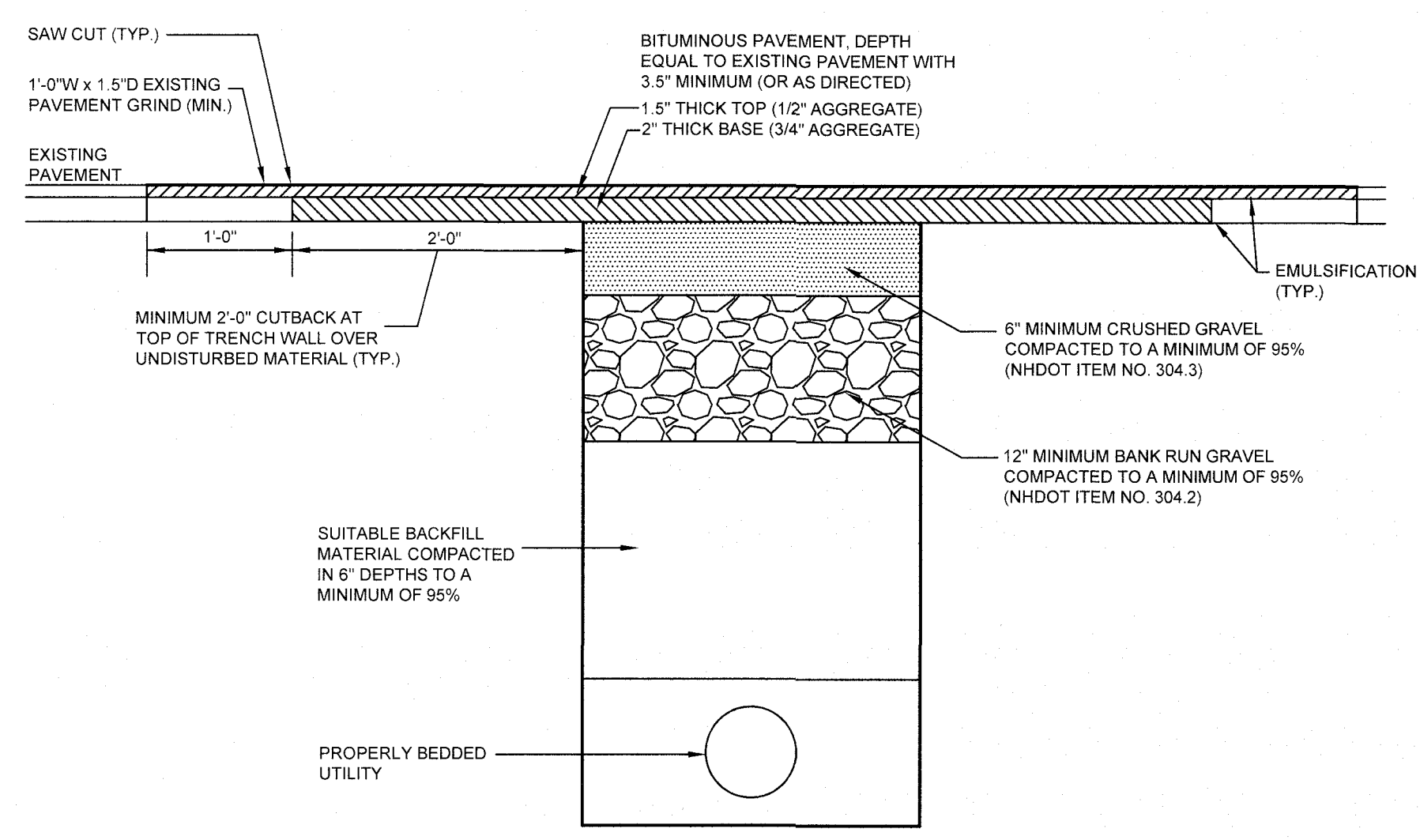
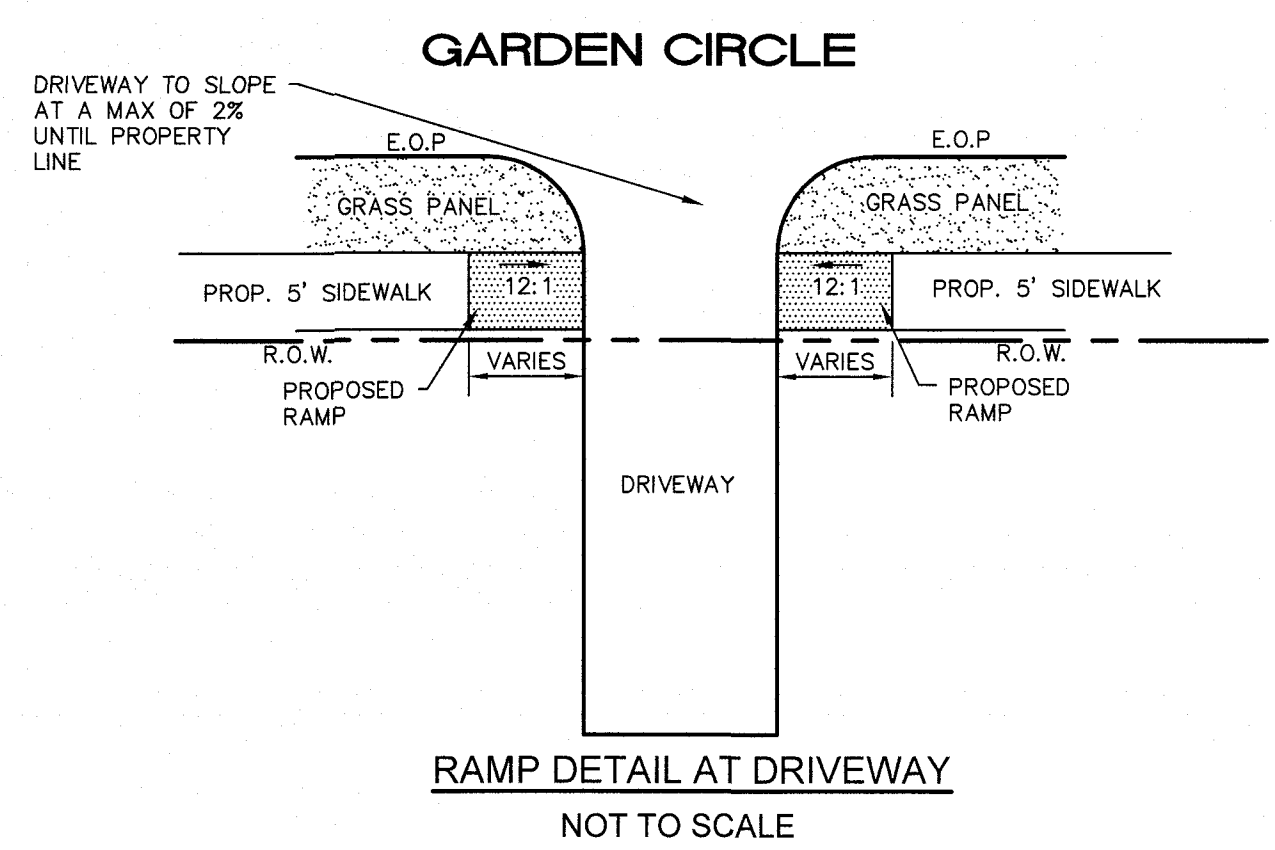
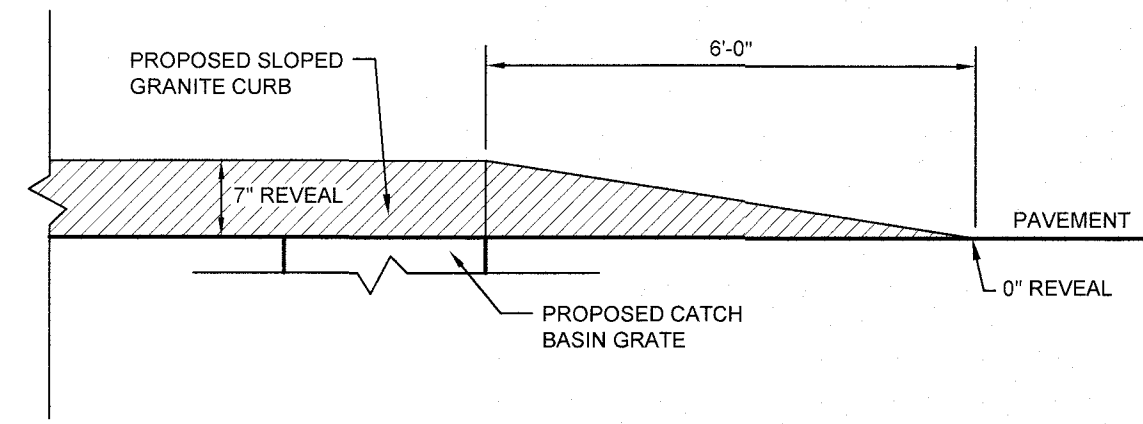
\_\_\_\_\_  
 SIGNATURE DATE: \_\_\_\_\_

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 SIGNATURE DATE: \_\_\_\_\_

SUBDIVISIONS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.

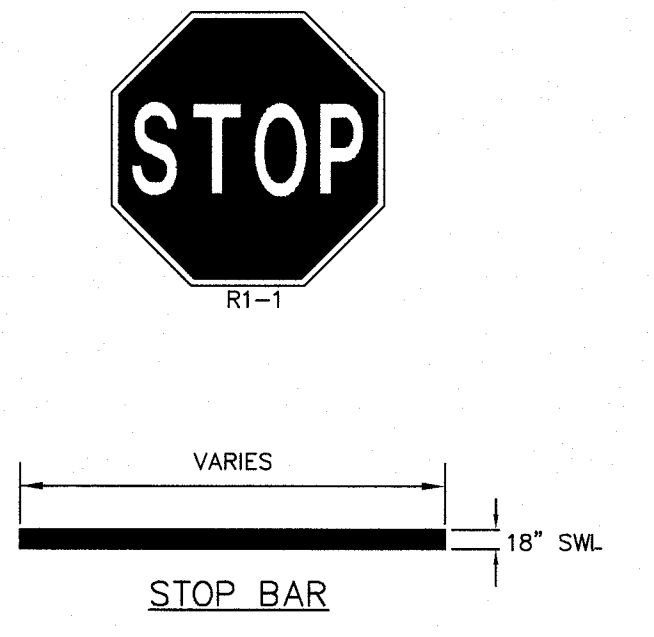


**NOTES:**  
 1. DETECTABLE WARNING PLATE SHALL BE NEENAH FOUNDRY OR APPROVED EQUAL.  
 2. THE PLATE MUST COMPLY WITH ADAAG (AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES) AND ARCHITECTURAL BARRIER ACT GUIDELINES.  
 3. MATERIAL SHALL BE CAST GRAY IRON.  
 4. FINISH: NO PAINT.  
**24\"/>**



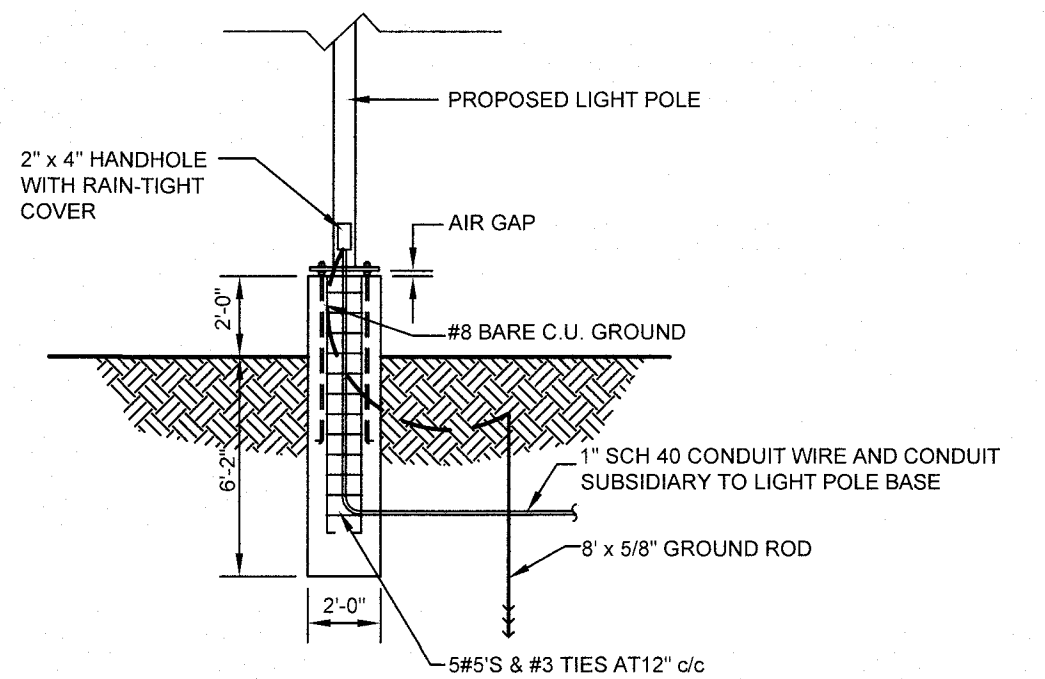
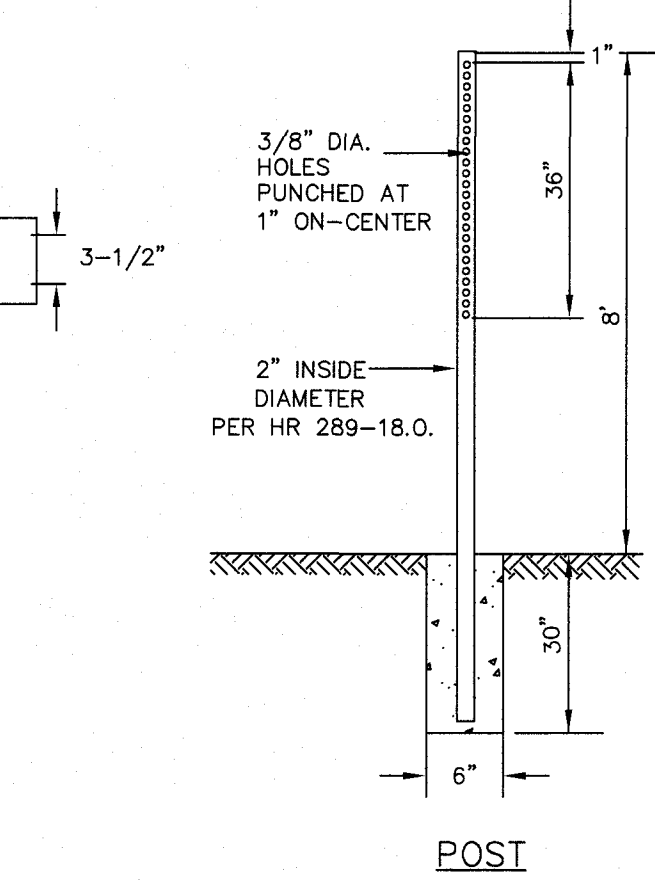
**NOTES:**  
 1. STREET NAME SIGNS SHALL BE METAL IN CONFORMITY WITH NEW SIGNS PURCHASED BY THE TOWN, TWO-FACED AND REFLECTORIZED, SIX INCHES HIGH WITH THREE-AND-ONE-HALF-INCH LETTERS EMBOSSED AND REFLECTORIZED WITH GREEN BACKGROUND AND WHITE LETTERS, OF ALUMINUM METAL.

**TYPICAL SIGN PLATE DETAILS NOT TO SCALE**

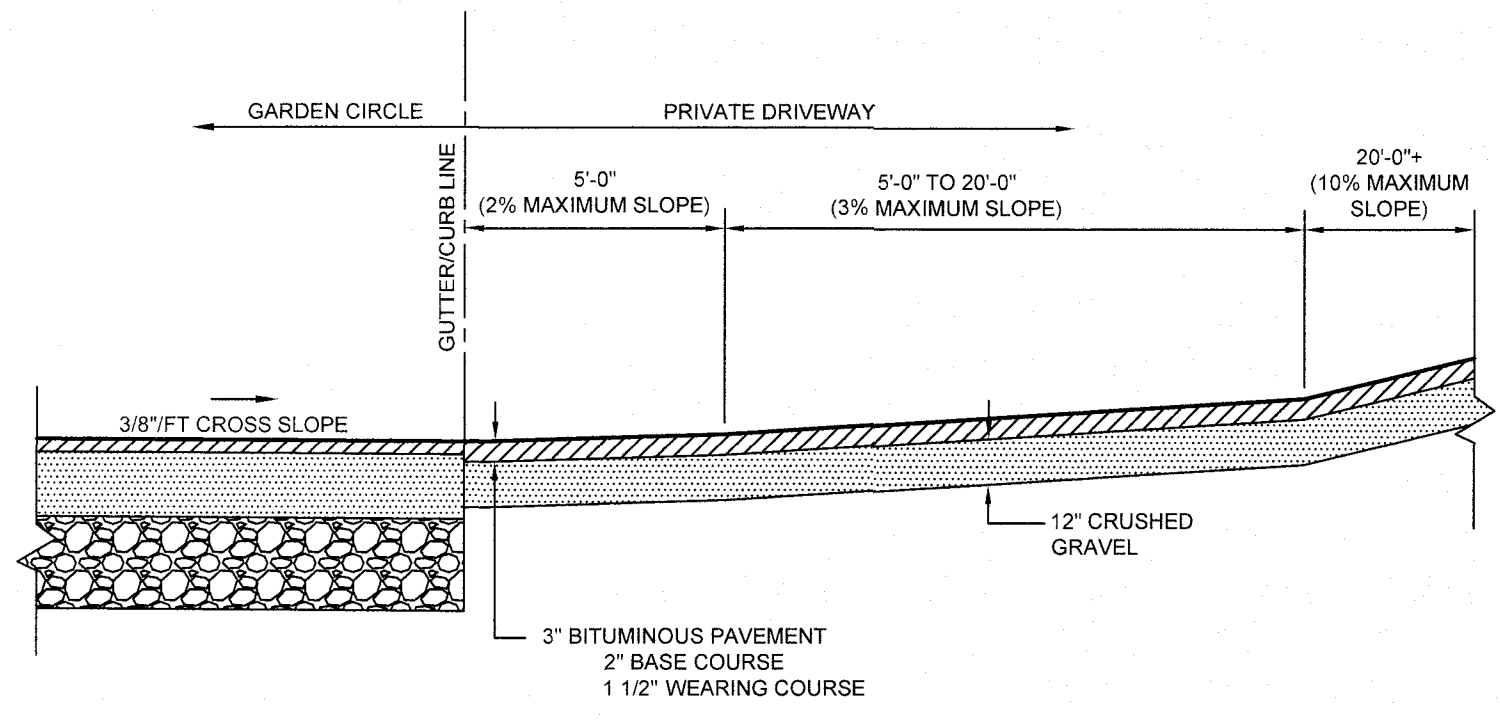
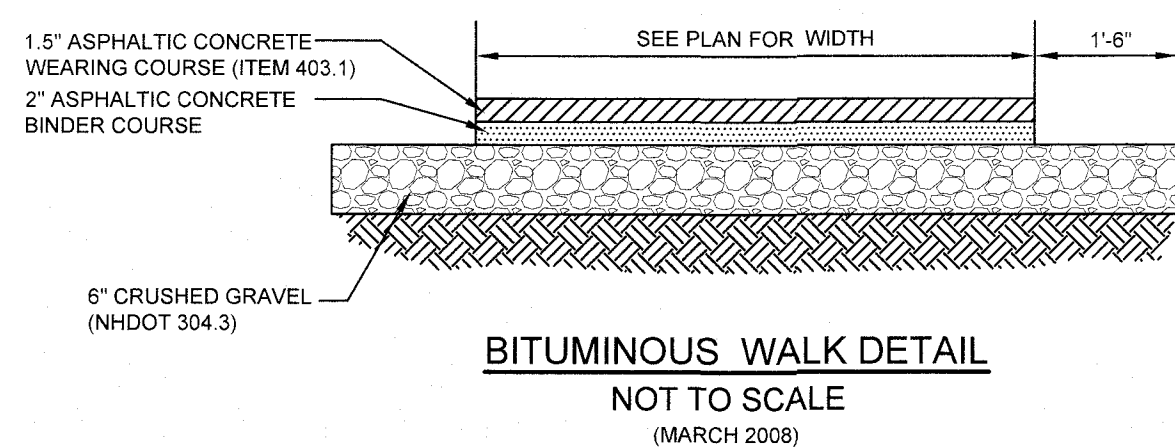


**TYPICAL PAVEMENT MARKING DETAIL NOT TO SCALE**

**STRIPING NOTES:**  
 1. ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THESE STANDARDS AND THE CURRENT EDITION OF MUTCD.  
 2. WIDTH OF LINES SHALL VARY NO MORE THAN 1/4 INCH FROM THAT SPECIFIED.  
 3. THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED.  
 4. OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.  
 5. ALL PAINT SHALL COMPLY WITH NHDOT SPECIFICATION SECTION 708.



**CONCRETE LIGHT POLE BASE DETAIL NOT TO SCALE (MARCH 2008)**



**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
 DATE OF MEETING: \_\_\_\_\_  
 \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
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**CONSTRUCTION DETAILS**  
**FRENETTE GARDENS**  
 MAP 182 LOT 3  
 65 CENTRAL STREET  
 HUDSON, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

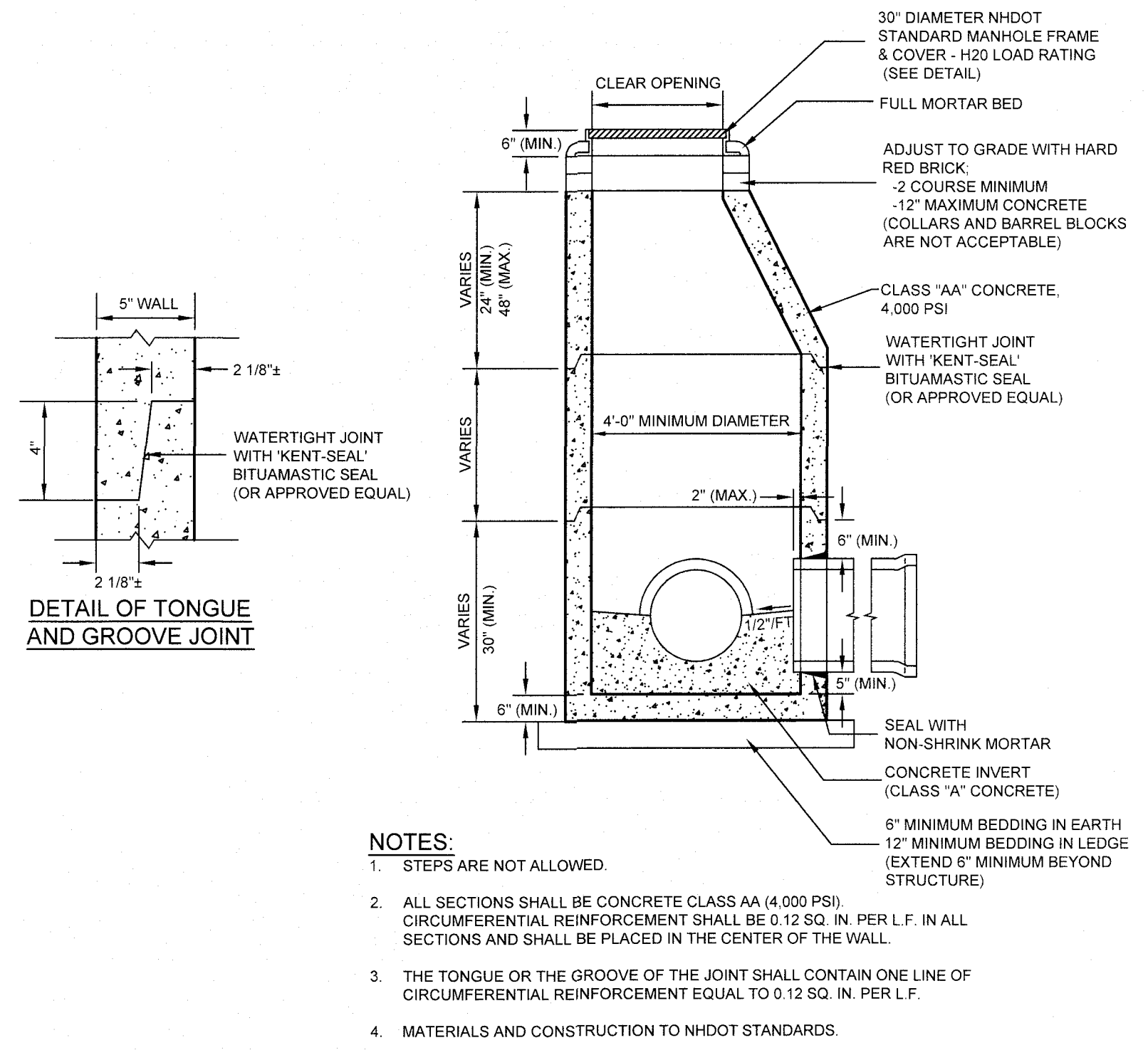
**OWNERS/APPLICANTS OF MAP 182 LOT 3:**  
 LAURA RIPALDI 46 BUSH HILL ROAD HUDSON, NH 03051 9531/2754  
 KIMBERLY FRENETTE 88 DUMONT ROAD HUDSON, NH 03051 9531/2754  
 RICKY FRENETTE 14 TATE STREET HUDSON, NH 03051 9531/2754

**KM KEACH-NORDSTROM ASSOCIATES, INC.**  
 Civil Engineering Land Surveying Landscape Architecture  
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

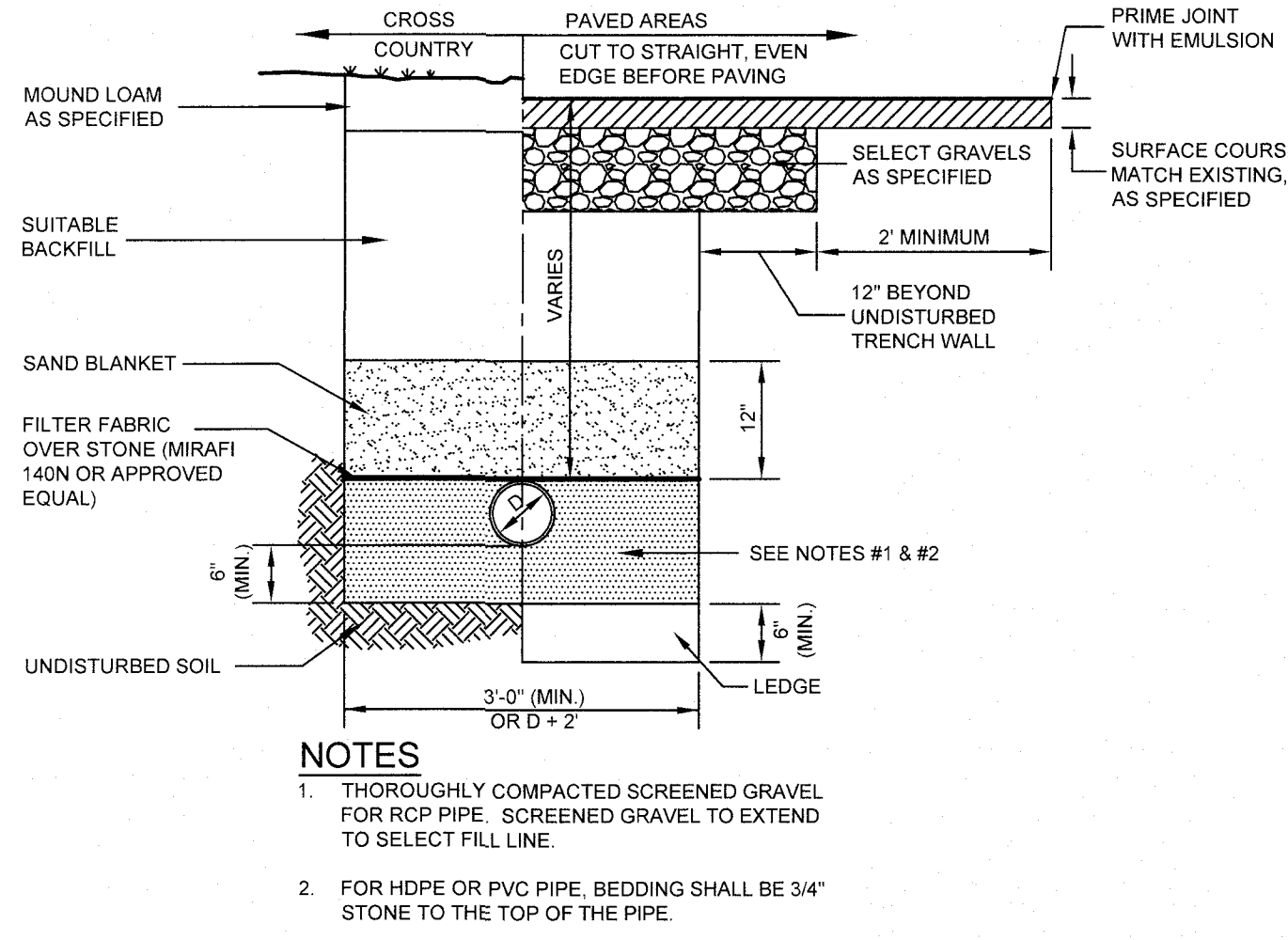
REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: APRIL 20, 2022 SCALE: AS SHOWN  
 PROJECT NO: 21-0928-1 SHEET 11 OF 16

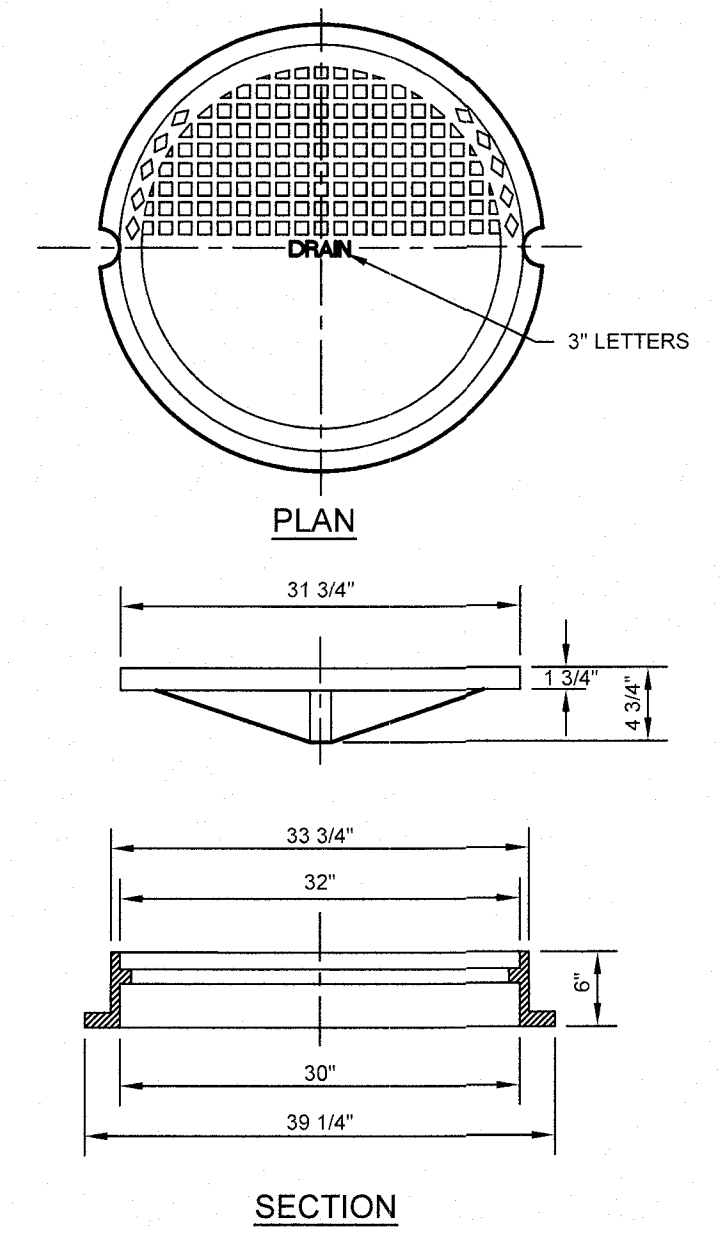




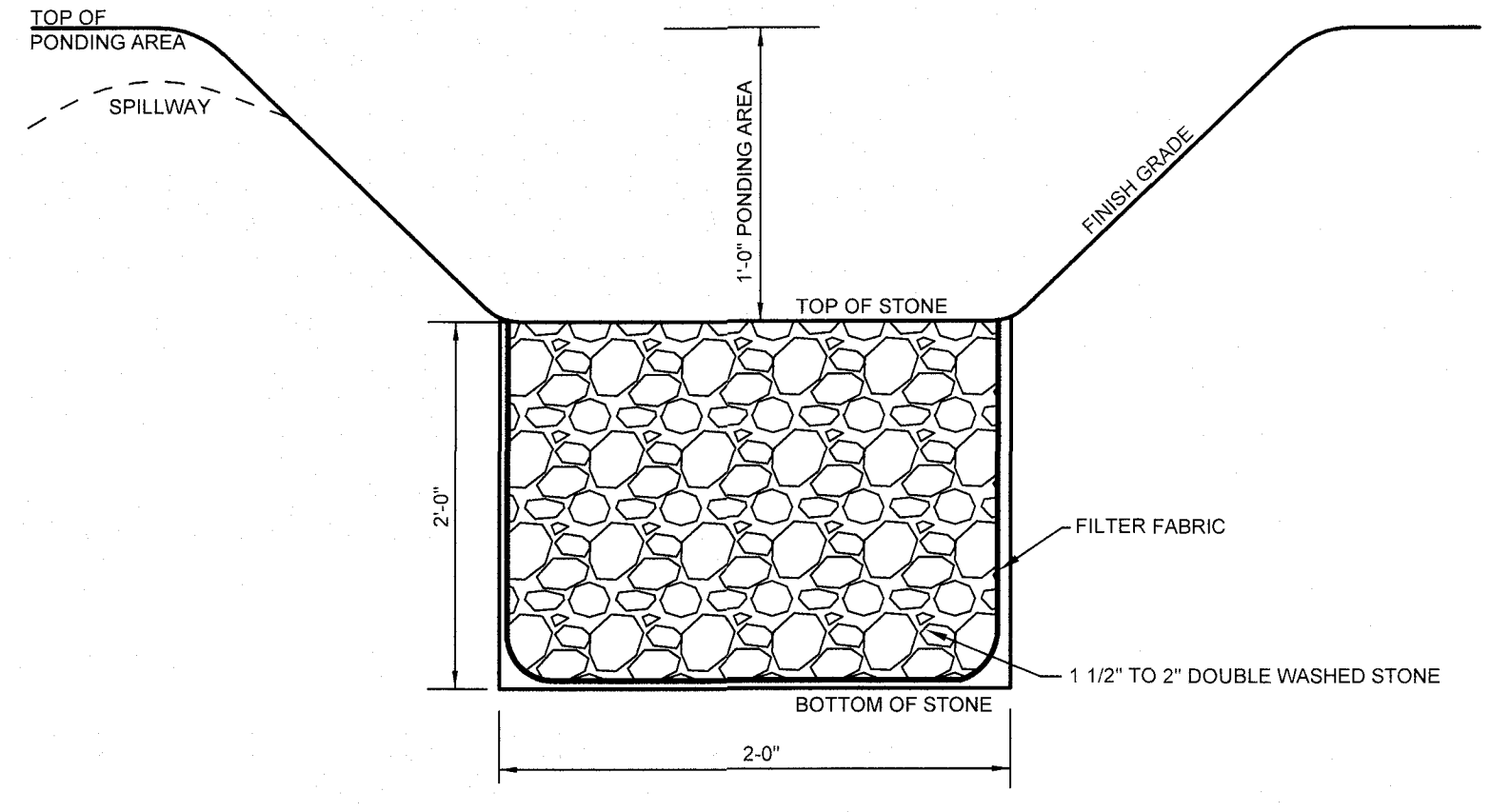
**PRECAST REINFORCED DRAIN MANHOLE DETAIL**  
NOT TO SCALE  
(MARCH 2008)



**STORM DRAINAGE TRENCH DETAIL**  
NOT TO SCALE  
(MARCH 2008)

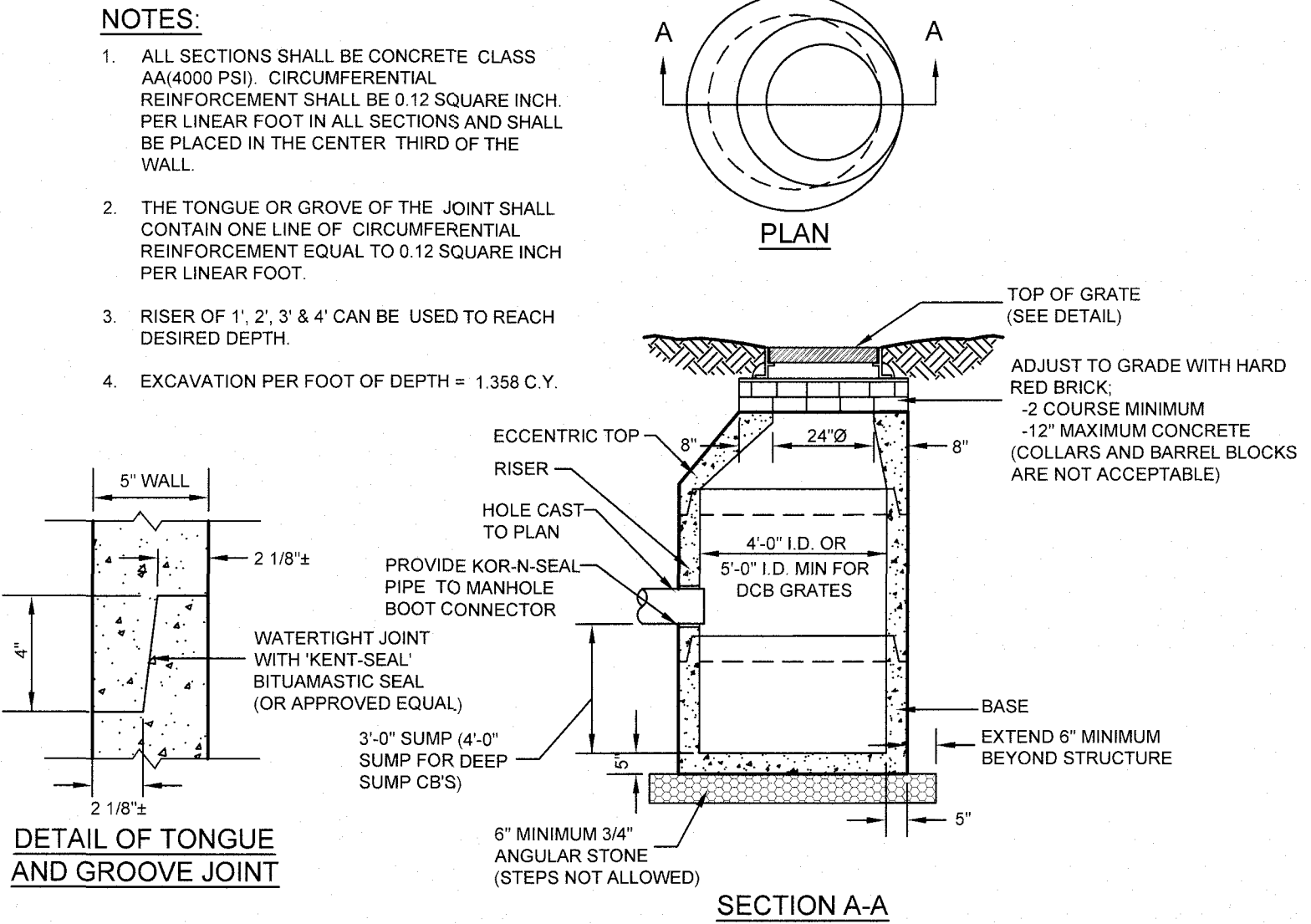


**DRAIN MANHOLE FRAME AND COVER DETAIL**  
NOT TO SCALE  
(MARCH 2008)



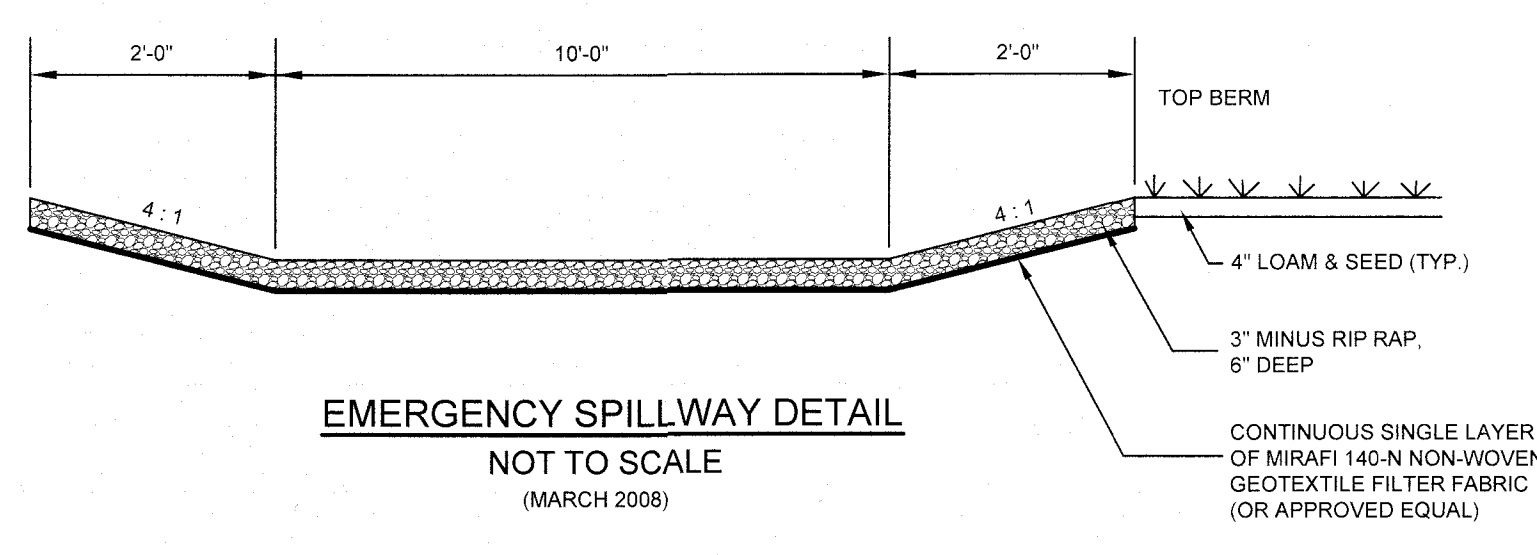
**EXFILTRATION TRENCH DETAIL**  
NOT TO SCALE  
(MARCH 2008)

TP #1	TP #2	TP #3
LOGGED BY GPC PERC TEST @ 20" DATE: 3-3-2022 PERC RATE: 2 MIN./INCH IMPERVIOUS LAYER: NONE WATER ENCOUNTERED: NONE	LOGGED BY GPC PERC TEST @ 20" DATE: 3-3-2022 PERC RATE: 2 MIN./INCH IMPERVIOUS LAYER: NONE WATER ENCOUNTERED: NONE	LOGGED BY GPC PERC TEST @ 20" DATE: 3-3-2022 PERC RATE: 2 MIN./INCH IMPERVIOUS LAYER: NONE WATER ENCOUNTERED: NONE
9"	0"	0"
4"	22"	5"
24"	32"	24"
54"	42"	40"
72" BOTTOM OF HOLE	72" BOTTOM OF HOLE	72" BOTTOM OF HOLE

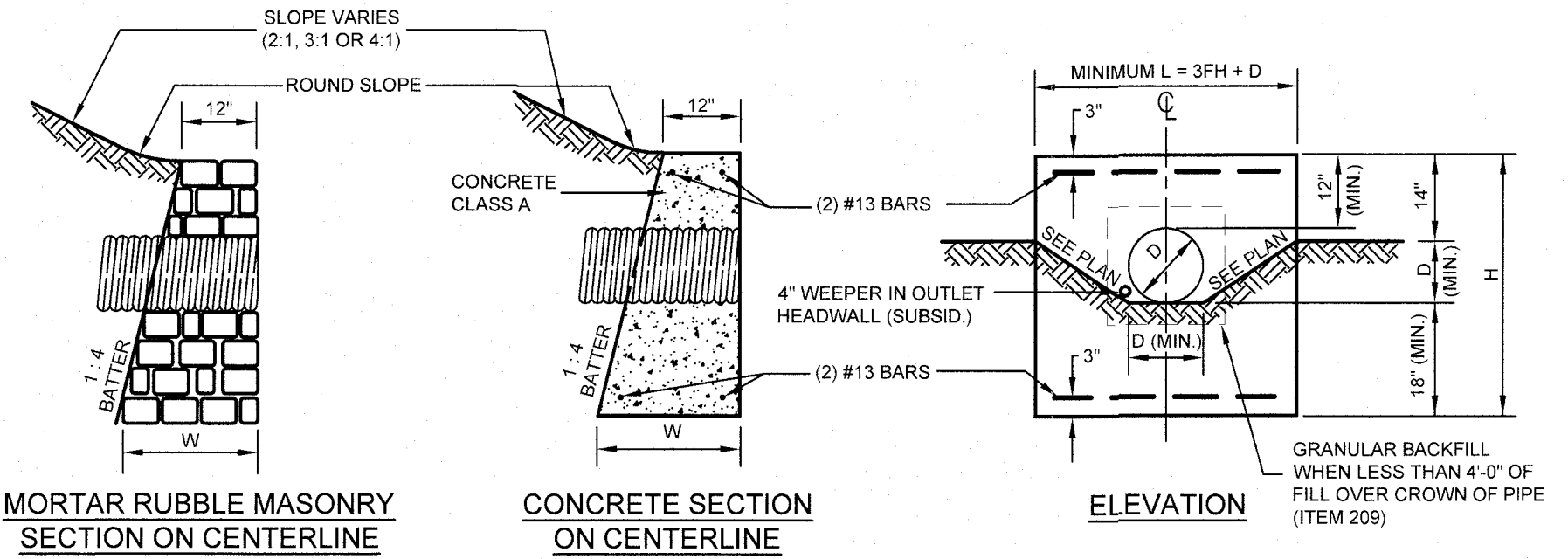


**PRECAST REINFORCED CATCH BASIN**  
NOT TO SCALE  
(MARCH 2008)

LOCATION	TOP OF PONDING AREA	TOP OF STONE	BOTTOM OF STONE	SPILLWAY ELEVATION
TRENCH #1	141.00	140.00	138.00	140.75
TRENCH #2	140.00	139.00	137.00	138.90



**EMERGENCY SPILLWAY DETAIL**  
NOT TO SCALE  
(MARCH 2008)



**MORTAR RUBBLE MASONRY AND CONCRETE HEADWALLS**  
NOT TO SCALE  
(MARCH 2008)

DIAMETER D (INCH)	AREA OF PIPE (SF)	MASONRY PER FOOT OF WALL (CU. YD.)	MASONRY PER HOLE (CU. YD.)	MASONRY PER STANDARD HEADER (CU. YD.)	STEEL PER STANDARD HEADER (LB)	LENGTH OF BARS	PIPE EXC. PER FOOT (CU. YD.)	HEADER EXC. PER FOOT (CU. YD.)	ITEM 209 PER FOOT	HEADER LENGTH L	HEADER HEIGHT H	FILL HEIGHT FH	WIDTH AT BOTTOM OF HEADER W	MASONRY IN CORNER FRUSTRUM (CU. YD.)	HEADER EXC. PER FOOT (CU. YD.)
12"	0.79	0.186	1.08	0.61	9	3'-2"	0.111	0.789	0.30	3'-6"	3'-6"	10"	1'-10 1/2"	0.28	1.057

**MORTAR RUBBLE MASONRY AND CONCRETE HEADWALLS**  
NOT TO SCALE  
(MARCH 2008)

**APPROVED BY THE HUDSON, NH PLANNING BOARD**  
DATE OF MEETING: \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE DATE: \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE DATE: \_\_\_\_\_

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**CONSTRUCTION DETAILS**  
**FRENETTE GARDENS**  
MAP 182 LOT 3  
65 CENTRAL STREET  
HUDSON, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

**OWNERS/APPLICANTS OF MAP 182 LOT 3:**

Laura Ripaldi 46 Bush Hill Road Hudson, NH 03051 9531/2754	Kimberly Frenette 88 Dumont Road Hudson, NH 03051 9531/2754	Ricky Frenette 14 Tate Street Hudson, NH 03051 9531/2754
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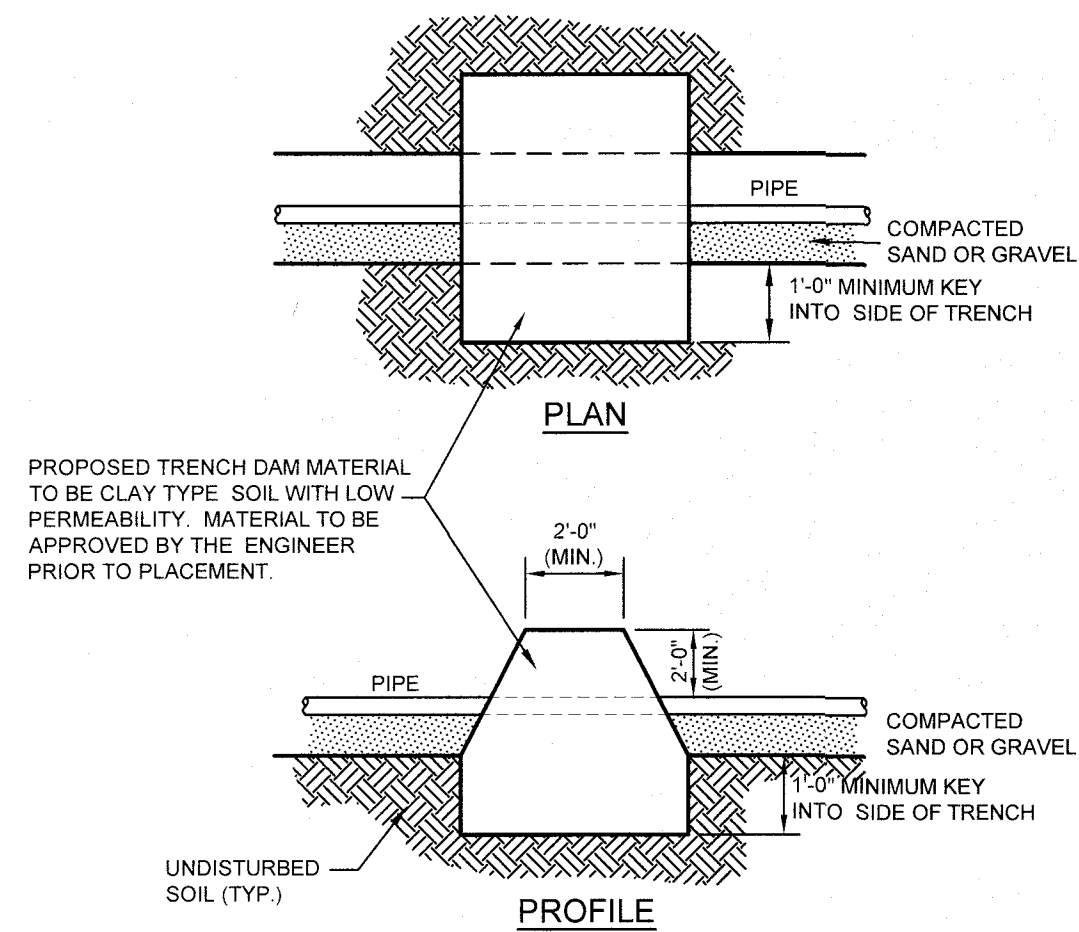
**KM KEACH-NORDSTROM ASSOCIATES, INC.**  
Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

**REVISIONS**

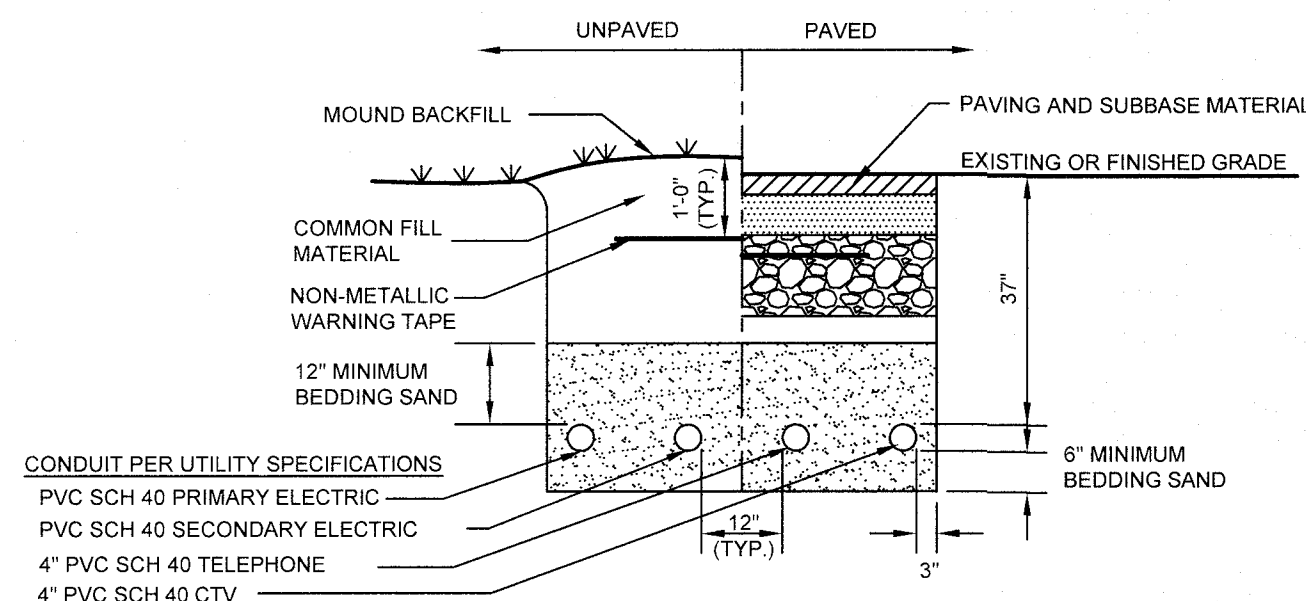
No.	DATE	DESCRIPTION	BY

DATE: APRIL 20, 2022 SCALE: AS SHOWN  
PROJECT NO: 21-0928-1 SHEET 12 OF 16

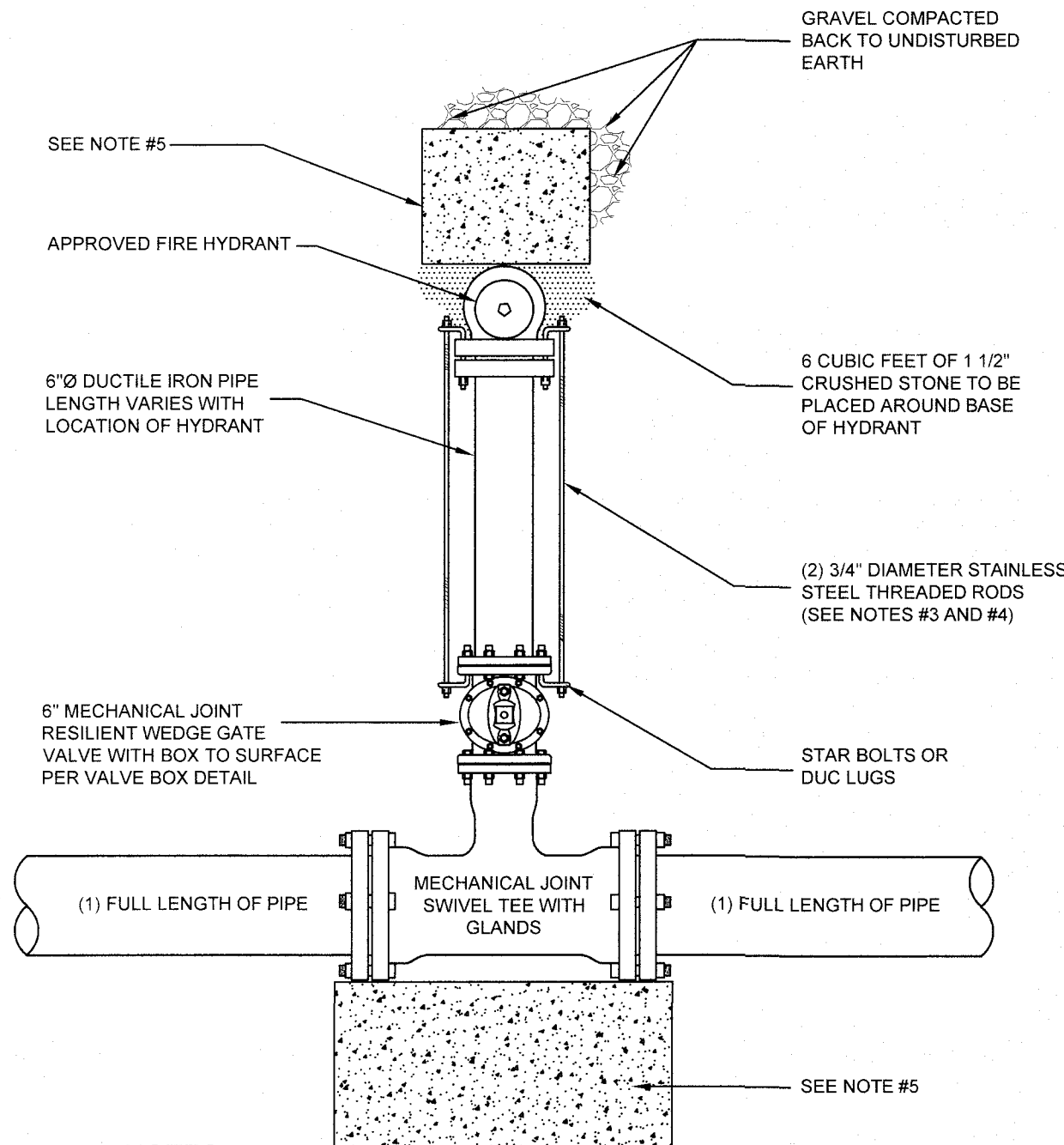




**CLAY TRENCH DAM DETAIL**  
NOT TO SCALE  
(MARCH 2008)

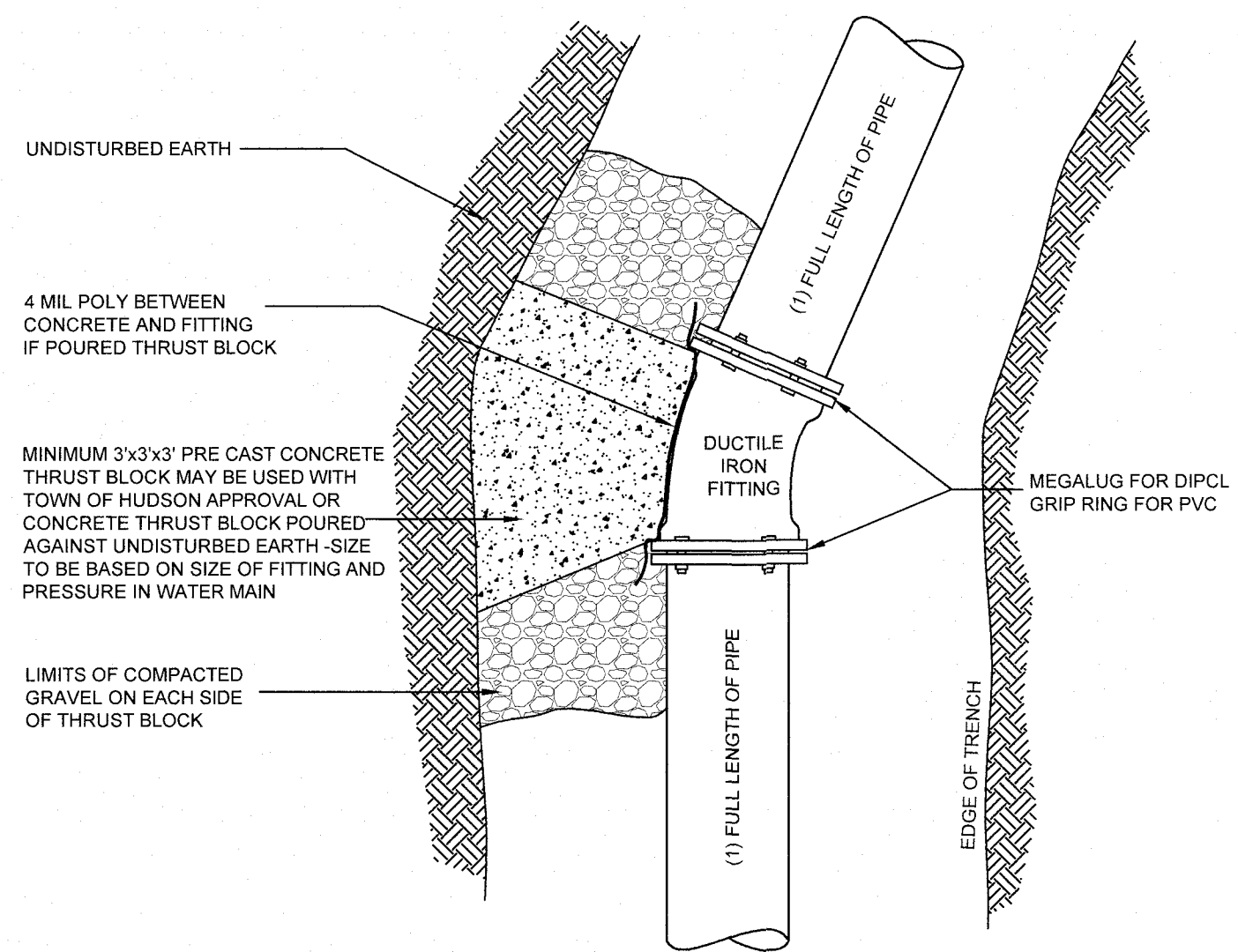


**UTILITY TRENCH DETAIL**  
NOT TO SCALE  
(MARCH 2008)



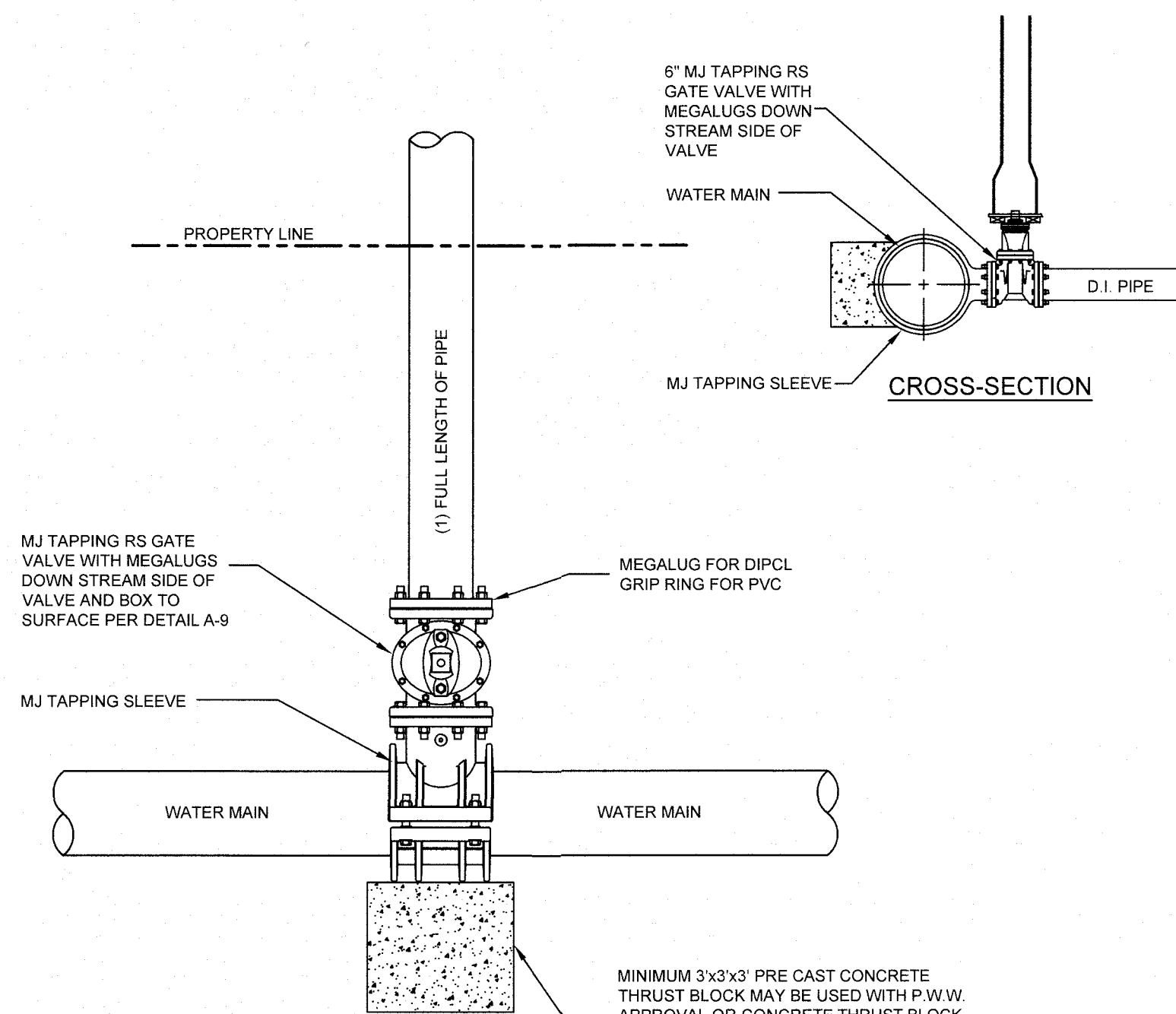
- NOTES:**
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO THE TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
  2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
  3. 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS. 10" FITTING OR SMALLER = (2) 3/4" S.S. RODS & ASSOCIATED HARDWARE. 12" FITTING OR LARGER = (4) 3/4" S.S. RODS & ASSOCIATED HARDWARE.
  4. WHEN DISTANCE FROM WATER MAIN TO HYDRANT IS MORE THAN 10'-0" SUBSTITUTE MEGALUGS (OR GRIP RINGS) IN LIEU OF THREADED RODS.
  5. MINIMUM 3x3x3' PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH TOWN OF HUDSON APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE THRUST BLOCK BEHIND FITTINGS DETAIL.

**HYDRANT INSTALLATION**  
(A-10)  
NOT TO SCALE  
(MARCH 2008)



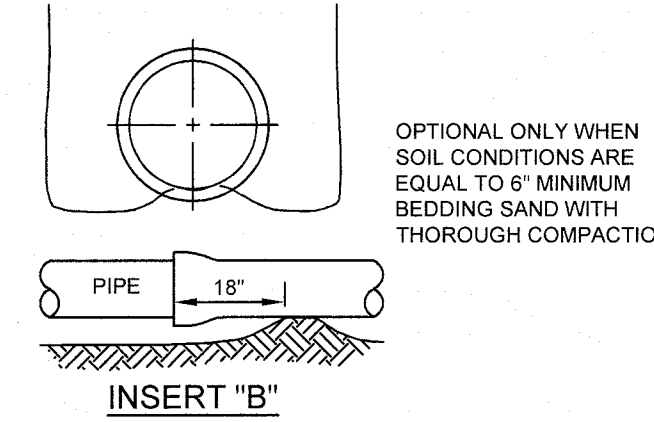
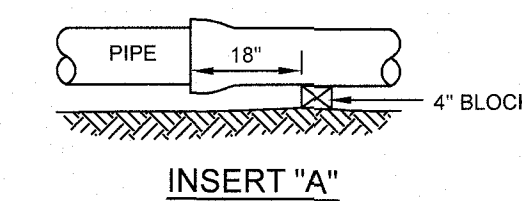
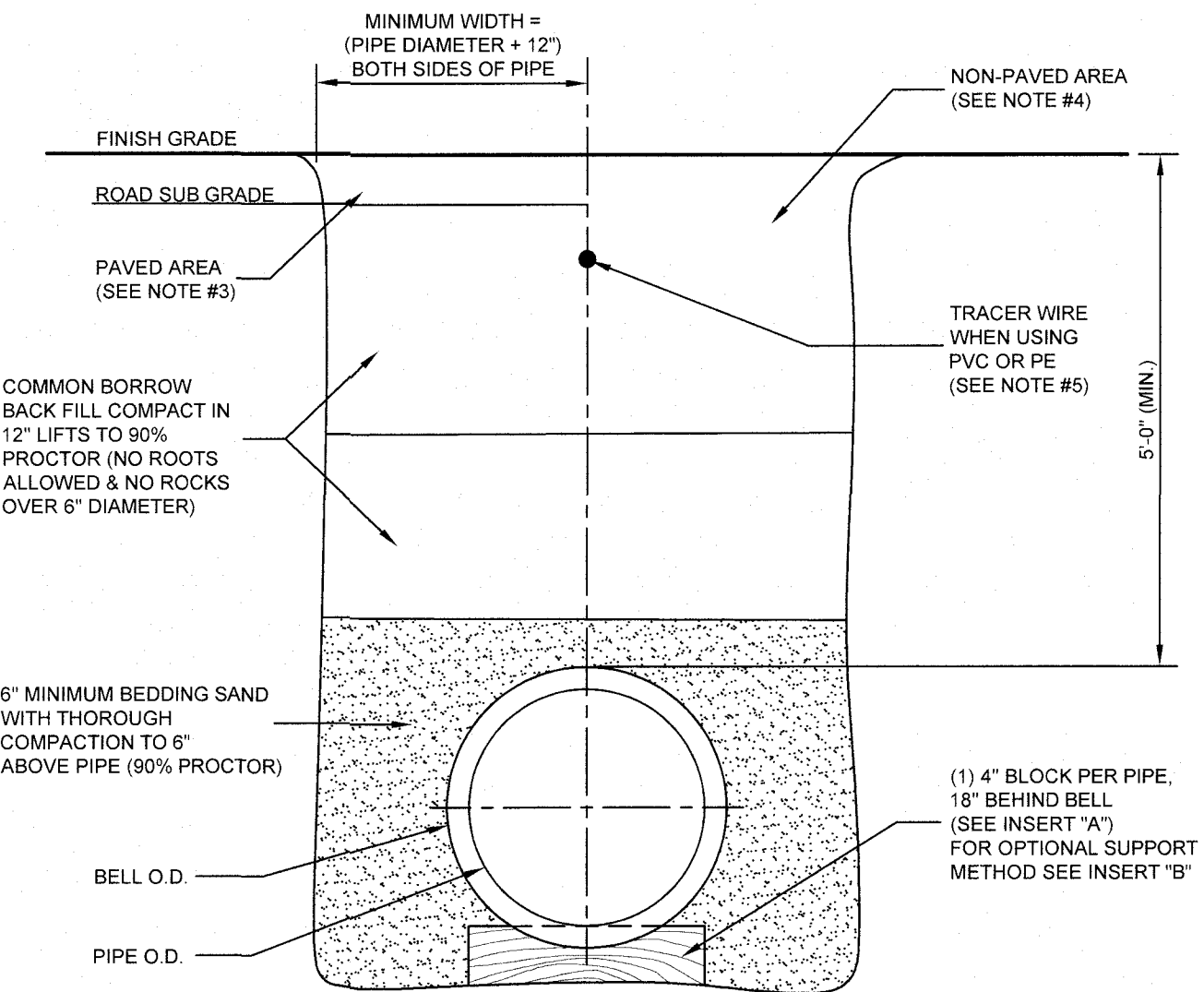
- NOTES:**
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
  2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
  3. 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS. 10" FITTING OR SMALLER = (2) 3/4" S.S. RODS & ASSOCIATED HARDWARE. 12" FITTING OR LARGER = (4) 3/4" S.S. RODS & ASSOCIATED HARDWARE.
  4. MIN 3x3x3' PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH TOWN OF HUDSON APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN.

**THRUST BLOCK BEHIND FITTINGS INSTALLATION**  
(A-07)  
NOT TO SCALE  
(MARCH 2008)



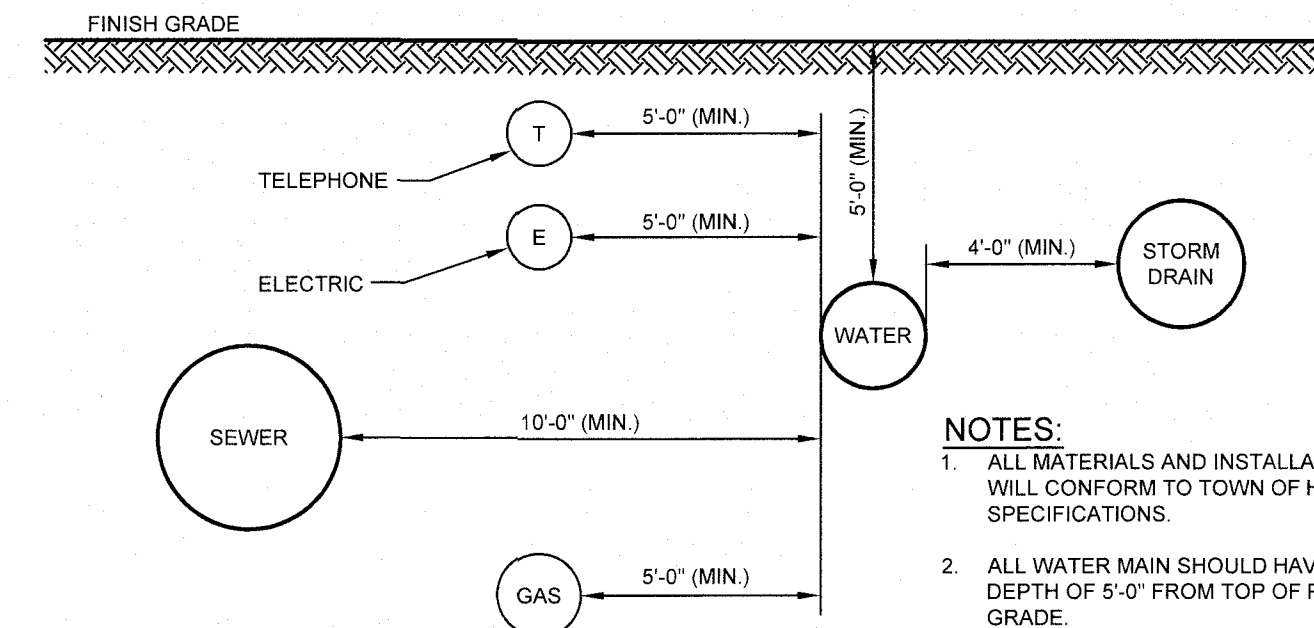
- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
  2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.

**LARGE SERVICE AND/OR TAPPING SLEEVE DETAIL**  
(A-21)  
NOT TO SCALE  
(MARCH 2008)



- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
  2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
  3. REQUIREMENTS FOR SUBBASE AND BASE MATERIAL TYPE ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN PAVED AREAS.
  4. REQUIREMENTS FOR GRAVEL, LOAM AND/OR SEED ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN NON-PAVED AREAS.
  5. 10 GAUGE TRACER WIRE AS MANUFACTURED BY BMS, DIVISION OF ALBESTAR CORP., AVON, MA OR EQUIVALENT.

**TRENCH DETAIL**  
(A-02)  
NOT TO SCALE  
(MARCH 2008)



- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
  2. ALL WATER MAIN SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
  3. SEE DETAIL FOR TRENCH SPECIFICATIONS.
  4. SEE DETAIL FOR OUTSIDE SERVICE ENTRANCE SPECIFICATIONS.

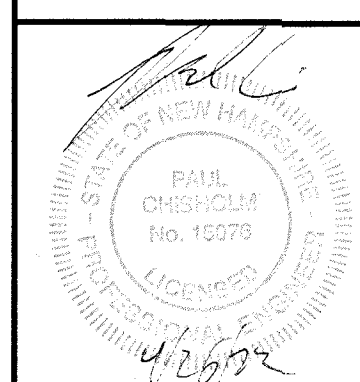
**UTILITY SEPARATION (MAIN) DETAIL**  
(A-01)  
NOT TO SCALE  
(MARCH 2008)

**CONSTRUCTION DETAILS**  
**FRENETTE GARDENS**  
MAP 182 LOT 3  
65 CENTRAL STREET  
HUDSON, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

**OWNERS/APPLICANTS OF MAP 182 LOT 3:**

LAURA RIPALDI 46 BUSH HILL ROAD HUDSON, NH 03051 9531/2754	KIMBERLY FRENETTE 88 DUMONT ROAD HUDSON, NH 03051 9531/2754	RICKY FRENETTE 14 TATE STREET HUDSON, NH 03051 9531/2754
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**KM KEACH-NORDSTROM ASSOCIATES, INC.**  
Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: APRIL 20, 2022 SCALE: AS SHOWN  
PROJECT NO: 21-0928-1 SHEET 14 OF 16

APPROVED BY THE HUDSON, NH PLANNING BOARD  
DATE OF MEETING: \_\_\_\_\_  
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# **Wetland Conservation District Conditional Use Permit Application**

---

**Frenette Gardens**  
**Tax Map 182; Lot 3**  
**65 Central Street**  
**Hudson, New Hampshire**  
April 15, 2022  
KNA Project No. 21-0928-1

Prepared For: Laura Ripaldi  
46 Bush Hill Road  
Hudson, New Hampshire 03051

Kimberly Frenette  
88 Dumont Road  
Hudson, New Hampshire 03051

Ricky Frenette  
14 Tate Street  
Hudson, New Hampshire 03051

Prepared By: Keach-Nordstrom Associates, Inc.  
10 Commerce Park North, Suite 3  
Bedford, New Hampshire 03110  
(603) 627-2881  
(603) 627-2915 (fax)

**KNA** *KEACH-NORDSTROM ASSOCIATES, INC.*

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# **Table of Contents**

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- 2. WETLAND CONDITIONAL USE PERMIT CHECKLIST**
- 3. CONDITIONAL USE PERMIT APPLICATION AUTHORIZATION**
- 4. OWNER AFFIDAVIT**
- 5. ABUTTERS LIST**
- 6. PROJECT NARRATIVE**
- 7. SURFACE WATER IMPAIRMENTS**
- 8. NHDES WELL INVENTORY MAP**
- 9. NWI MAP**
- 10. NEW HAMPSHIRE NATURAL HERITAGE INVENTORY DATABASE CHECK**
- 11. WETLAND PHOTO PLAN AND ASSOCIATED WETLAND PHOTOS**
- 12. PLANS**
  - WETLAND BUFFER IMPACT PLAN (22"x34")**

**1. CONDITIONAL USE PERMIT APPLICATION**





*Town of Hudson  
12 School Street  
Hudson, NH 03501*

## **CONDITIONAL USE PERMIT APPLICATION: WETLAND CONSERVATION OVERLAY DISTRICT**

Revised August 30, 2021

Applications must be received at least 21 days prior to the Planning Board and Conservation Commission meetings at which the application will be heard. *The following information must be filed to each board.*

### **CONSERVATION COMMISSION:**

1. Ten (10) copies of the completed application, including the project narrative that demonstrates that the proposal meets the conditions of Article IX of the Zoning Ordinance.
2. Ten (10) reduced size plan sets (sheet size: 11" X 17"). Plans require the stamp of a licensed land surveyor and a certified wetlands scientist. At a minimum, plans must show topography and any wetland within fifty (50) feet of the proposed project.

**\*Complete Applications should be delivered to the Engineering Department (603)886-6008.**

### **PLANNING BOARD:**

1. Fifteen (15) copies of the completed application, including the project narrative that demonstrates that the proposal meets the conditions of Article IX of the Zoning Ordinance.
2. Three (3) full size folded plan sets (sheet size: 22" x 34") and fifteen (15) reduced size plan sets (sheet size: 11" X 17"). Plans require the stamp of a licensed land surveyor and a certified wetlands scientist. At a minimum, plans must show topography and any wetland within fifty (50) feet of the proposed project.
3. A list of direct abutters and indirect abutters, and two (2) sets of mailing labels for abutter notifications.
4. All of the above application materials, including plans, shall also be submitted in electronic form as a PDF.
5. Check should be made payable to the Town of Hudson, and submitted to the Planning Department.

**\*Complete Application & check should be delivered to the Planning Department (603)886-6008.**

Revised plans and other application materials must be filed with the Planning Department *no later than 10:00A.M., Tuesday ONE WEEK prior to the scheduled meeting, as applicable. The purpose of these materials is hardcopy distribution to Planning Board members, not review. Any plan revisions that require staff review must be submitted no later than 10:00A.M., Tuesday TWO WEEKS prior to the scheduled Planning meeting. Depending on the complexity of changes, more time may be required for review. Please contact the Town Planner if you have any questions on this matter.*

### **PLEASE NOTE:**

1. To prevent submission of redundant information, submission of a complete Subdivision or Site Plan Application may be used to satisfy some of the requirements for the Conditional Use Permit Application, where applicable.
2. No postage fees or mailing labels are required when submitting with a subdivision or site plan application.
3. Prior to filing an application, it is recommended to schedule an appointment with the Town Planner and Town Engineer.

**CONDITIONAL USE PERMIT APPLICATION**

Date of Application: 4/15/22 Tax Map #: 182 Lot #: 3

Site Address: 65 Central Street

Name of Project: Frenette Gardens

Zoning District: Town Residential (TR) General CUP#: \_\_\_\_\_  
(For Town Use Only)

Z.B.A. Action: \_\_\_\_\_

**PROPERTY OWNER:**

Name: Laura Ripaldi/Kimberly Frenette  
Address: 46 Bush Hill Road, Hudson, NH 03051  
Address: 88 Dumont Road, Hudson, NH 03051  
Telephone # (603)-557-6510  
Email: N/A

**~~DEVELOPER:~~**

**Property Owner**  
Ricky Frenette  
14 Tate Street, Hudson, NH 03051  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**PROJECT ENGINEER or SURVEYOR:**

Name: Keach & Nordstrom Associates  
Address: 10 Commerce Park North, Suite 3  
Address: Bedford, NH 03110  
Telephone # (603) 627-2881  
Email: pmadsen@keachnordstrom.com

**CERTIFIED WETLANDS SCIENTIST:**

Keach & Nordstrom Associates  
10 Commerce Park North, Suite 3  
Bedford, NH 03110  
(603) 627-2881  
cdanforth@keachnordstrom.com

**PURPOSE OF PLAN:**

To show the proposed permanent wetland buffer impacts associated with the proposed subdivision of Map 182 Lot 3.

**(For Town Use Only)**

Routing Date: \_\_\_\_\_ Deadline Date: \_\_\_\_\_ Meeting Date: \_\_\_\_\_

\_\_\_\_\_ I have no comments \_\_\_\_\_ I have comments (attach to form)

\_\_\_\_\_ Title: \_\_\_\_\_ Date: \_\_\_\_\_  
(Initials)

Department: \_\_\_\_\_

Zoning: \_\_\_ Engineering: \_\_\_ Assessor: \_\_\_ Police: \_\_\_ Fire: \_\_\_ DPW: \_\_\_ Consultant: \_\_\_

**SITE DATA SHEET**

PLAN NAME: Wetland Buffer Impact Plan

PLAN TYPE: (Site Plan, Subdivision, or other) Subdivision

LEGAL DESCRIPTION: MAP 182 LOT 3

DATE: 4/15/22

-----  
Location by Street: 65 Central Street

Zoning: Town Residential (TR)

Proposed Land Use: Single-family houses

Existing Use: Single-family house

Total Site Area: S.F.: 430,507 Acres: 9.88

Total Wetland Area (SF): 71,506

Permanent Wetland Impact Area (SF): 0

Permanent Wetland Buffer Impact Area (SF): 2,240 SF

Temporary Wetland Impact Area (SF): 0

Temporary Wetland Buffer Impact Area (SF): 0

Flood Zone Reference: FIRM Map Number 33011C0518D, Panel Number 518 of 701

**Proposed Mitigation:**

The project proposes to impact the buffer in two separate locations: one for drainage improvements and one for sewer installation. A level spreader is proposed at the drainage outlet to mitigate erosion. Furthermore, temporary erosion controls shall be installed in both locations as shown on the attached plan. Additionally, all disturbed areas shall be properly stabilized after development.

**(For Town Use Only)**

Data Sheets Checked By: \_\_\_\_\_ Date: \_\_\_\_\_

**2. WETLAND CONDITIONAL USE PERMIT CHECKLIST**

## WETLAND CONDITIONAL USE PERMIT CHECKLIST

Yes	No	NA	QUESTIONS/INFORMATION NEEDED	HCC Comments
<b>NARRATIVE REPORT</b>				
<b>Existing Conditions</b>				
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Has a DES Dredge and Fill Permit been issued for any part of this site? If yes, provide number, date, and description.	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Is there evidence of altered wetlands or surface waters on site?	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	All prime and other wetlands in the vicinity, plus any wetlands/watersheds past the immediate vicinity affected by this project	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• Description of each wetland and associated values	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Wetland mapping results – Including the flagging date and technique plus the name, company and qualifications of the wetland scientist	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Was property surveyed? If yes, the date of survey. (Please attach the survey plan)	
<b>National Wetland Inventory</b>				
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• Vegetative cover types	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	• Existence of vernal pools and associated habitat	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	• Unique geological and cultural features	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• NH Natural Heritage inventory – For list of rare and endangered species, contact the NH Division of Forests and Lands (603)271-3623	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	• Wildlife and fauna species, including estimated number and locations (large projects)	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	• Public or private wells located within the vicinity	
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	• Monitoring well(s) located on site	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	• Current land use and zoning district	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Photos of existing area (please use color photos)	
<b>Proposed Project Description</b>				
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Entire project and associated activities	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Time table of project and anticipated phasing	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Land use	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Grading plan	
<b>Impact to Wetlands and/or Buffers</b>				
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	• Depending on size and proposed impacts, a report from a biologist may be appropriate	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Removing, filling, dredging, or altering (Area square ft. and locations)	
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	Intercepting or diverging of ground or surface water (Locations and size)	
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	• Change in run-off characteristics	
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	Delineation of drainage area contributing to each discharge point	

Yes	No	NA	Questions/Information Needed	HCC COMMENTS
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Estimated water quality characteristics of runoff at each point of discharge for both pre- and post-development	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Erosion control practices	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> <li>If using rip-rap, attach documentation explaining why other erosion control methods are not feasible</li> </ul>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> <li>How storm water runoff will be handled</li> </ul>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If backyards or lots include a buffer area, buffer restriction wording shall be included in each deed (A physical marker may be requested to designate buffer boundaries at site)	
<b>Mitigation</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Square footage of mitigation – wetland and upland areas	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Wetland or upland plants identified to replace any losses	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> <li>Restoration plan for planting and vegetation</li> </ul>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Conservation easements, including location and aesthetic, wildlife and vegetative values	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> <li>If easement is on or added to the site(s), a copy of the legal document shall be given to the HCC (HCC conservation easement markers may also be required along the easement)</li> </ul>	

### **CONCEPTUAL SITE PLAN/DRAWING**

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Locus map depicting project site and vicinity within approximately ½ mile and also on a larger scale	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All prime and other wetlands in the vicinity	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Wetland(s) impacted (identified as prime or other) and the wetland boundaries with 50', buffer areas highlighted in color	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Assessor's sheet(s), lot(s), and property account number(s)	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed structures	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Square footage listed for temporary and permanent impact	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Erosion control plan (Suggested: Biodegradable silt fences so area won't be disturbed again and no hay to avoid invasive species)	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Topographical map with contours	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Storm water treatment swales and basins highlighted in color if in buffer area	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Conservation and utility easements	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Grading plan	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Culvert, arch, bridge - sizes, material, etc.	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Vegetative cover types	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Vernal pools	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed stone walls, tree lines, and unusually large, rare or beautiful trees, and other notable site features	

## **QUESTIONS TO CONSIDER BEFORE SUBMITTING**

- Will the increased discharge cause erosion and channelization?
- Is there potential for off-site flooding?
- Does the decreased infiltration in the drainage area cause vegetation stress due to reduced or increased ground water or surface water discharge into wetland?
- Will the nutrients in the runoff increase eutrophication potential in downstream water bodies?
- Do you own any adjacent parcels or easements for roadways across adjacent parcels which could be used for access to avoid a wetland crossing
- Does a wetland crossing occur where it will result in the least amount of alteration to a wetland?
- Is preservation of upland areas adjacent to the impacted wetland a priority?
- Can using an alternative crossing design such as a bridge, retaining wall, etc. decrease the width or area of wetland alteration?
- Does a proposed road crossing of a wetland exceed the minimum width acceptable to the Planning Board and can this be negotiated downwards?
- Have you established that no reasonable alternative access from a public way to an upland is possible?
- Can the parking lot spaces be decreased?
- Is the roadway designed in such a way that does not restrict the flow of water?
- Is additional information needed to assess water quality impacts due to runoff?
- Is there an increase in other pollutants (e.g., heavy metals, turbidity, coli form) from streets and parking lots?
- Is there a need to restrict or prohibit the use of pesticides and fertilizers?
- Is there a need to restrict the use of roadway salting?

**3. CONDITIONAL USE PERMIT APPLICATION AUTHORIZATION**



**CONDITIONAL USE PERMIT APPLICATION AUTHORIZATION**

I hereby apply for *Conditional Use Permit* and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the *Conditional Use Permit* specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Hudson Conservation Commission, the Town Planner, the Town Engineer, and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: Lauri Ripaldi Date: 4-15-22

Print Name of Owner: LAURI RIPALDI

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: Pet Ripaldi Date: 4/15/22

Print Name of Developer: Peter Ripaldi

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The individual in charge of the project must notify the Code Enforcement Officer/Building Inspector within two (2) working days of any change.

**SCHEDULE OF FEES**

(Fee covers both Conservation Commission & Planning Board)

**A. REVIEW FEES:**

1. Conditional Use Permit  
\$100 Flat Fee \$ 100.00

**LEGAL FEE:**

The applicant shall be charged attorney costs billed to the Town for the Town's attorney review of any application plan set documents.

**B. POSTAGE:**

<u>30</u>	Direct Abutters @\$4.33 (or Current Certified Mail Rate)	\$ <u>129.90</u>
<u>        </u>	Indirect Abutters (property owners within 200 feet) @\$0.58 (or Current First Class Rate)	\$ <u>                </u>
<b>TOTAL</b>		<b>\$ <u>229.90</u></b>

(For Town Use)

AMOUNT RECEIVED: \$ <u>                        </u>	DATE RECEIVED: <u>                        </u>
RECEIPT NO.: <u>                        </u>	RECEIVED BY: <u>                        </u>

**4. OWNER AFFIDAVIT**

**Owner Affidavit**

We, LAURI RIPALDI, RICK FRENETTE and KIM FRENETTE  
owners of Tax Map 182 Lot 3, located at 65 Central Street, Hudson, New Hampshire,  
hereby verify that we have authorized Keach-Nordstrom Associates, Inc. to submit on our  
behalf, any and all applicable State and local permit applications as they pertain to  
improvements on said property.

Additionally, we authorize Keach-Nordstrom Associates, Inc. to aid in the representation  
of these applications throughout the approval process.

Signature of Owner:

Lauri Ripaldi

Printed Name of Owner:

LAURI RIPALDI

Address of Applicant:

46 BUSH HILL RD

HUDSON NH 03051

Date:

4-15-22

Signature of Owner:

Rick Frenette

Printed Name of Owner:

Ricky Frenette

Address of Applicant:

14 Tate st

Hudson N.H. 03051

Date:

4-15-22

Signature of Owner:

Kim Frenette

Printed Name of Owner:

Kim Frenette

Address of Applicant:

88 Dumont rd.

Hudson NH. 03051

Date:

4/15/22

**5. ABUTTERS LIST**

**Abutters List**  
**65 Central Street**  
**Hudson, NH**  
**KNA# 21-0928-1**  
**Updated: 4/15/22**

<b>Tax Map</b>	<b>Lot</b>	<b>Owners</b>
182	3	Laura Ripaldi 46 Bush Hill Road Hudson, NH 03051  Kimberley Frenette 88 Dumont Road Hudson, NH 03051  Ricky Frenette 14 Tate Street Hudson, NH 03051
<b>Tax Map</b>	<b>Lot</b>	<b>Abutter</b>
182	4	Clegg Real Estate Inv., LLC 40 Temple Street Nashua, NH 03060
182	6	Lucille T. Connell 51 Central Street Hudson, NH 03051
182	7	Bryan Thomas Angela Thomas 6 Gillis Street Hudson, NH 03051
182	8	Joan Tate, Trustee Doris R. Ducharme Trust 104 Pelham Road Hudson, NH 03051
190	114	Robert P. Anger Melanie Anger 10 Gillis Street Hudson, NH 03051
190	115	Richard E. Marshall 12 Gillis Street Hudson, NH 03051

190	116-1	Paul S. Platt, Jr. Rachel Trudel 14A Gillis Road Hudson, NH 03051
190	116-2	Corey E. Jimmo 14B Gillis Street Hudson, NH 03051
190	117-1	Chantal Michaud 23 Lenox Circle Lawrence, MA 01843-3415
190	117-2	Leigh A. Waterhouse Sara Whitney 15B Gillis Street Hudson, NH 03051
190	149	William Ostrander Nicole Ostrander 7 Clark Street Hudson, NH 03051
190	150	Frederick F. Kearns, Jr., Trustee The First F.F. Kearns Family Revocable Trust of 2021 5 Clark Street Hudson, NH 03051
190	151	Edward C. McPhee Elizabeth G. McPhee 3 Clark Street Hudson, NH 03051
190	152	Amanda Cobin Bryan D. Robson, Jr. 1 Cross Street Hudson, NH 03051
190	153	Scott J. MaCorkle Ann E. MaCorkle 4 Cross Street Hudson, NH 03051

190	162	Orrin T Clegg, Trustee Laura L. Clegg, Trustee 16 Oak Avenue Hudson, NH 03051
190	163	James Mucci 13 Oak Avenue Hudson, NH 03051
190	184	Charles C. Arndorfer 9 Lowell Road Hudson, NH 03051
182	1	Canobie Corners Management Ser PO Box 151 Londonderry, NH 03053
182	2	Alfred P. Bastien & Sandra L. Bastien, Trustee The Bastien Living Trust 1 Lowell Road Hudson, NH 03051
182	154	Joshua Alexander Yelitza Estrada 54 Central Street Hudson, NH 03051
182	155-1	Michael J. Catalanotti & Angela M. Catalanotti, Trustees Michael Catalanotti & Angela Catalanotti Irrevocable Trust 60 Central Street Hudson, NH 03051
182	155-2	Andre A. Lemieux & Lisa M. Lemieux, Trustees Lemieux Revocable Trust 62 Central Street Hudson, NH 03051
182	155-3	Walid M. Alghoul 31 Library Street Hudson, NH 03051-4239



182

156

GP Estates, LLC  
8 Roberts Road  
Litchfield, NH 03052

182

157

Emily E. Conrad  
Cameron R. Brock  
68 Central Street  
Hudson, NH 03051

Professionals to be notified:  
Engineer/ Surveyor/Wetland Scientist  
Keach-Nordstrom Associates Inc.  
10 Commerce Park North, Suite 3  
Bedford, NH 03110

## **6. PROJECT NARRATIVE**

April 15, 2022

Town of Hudson  
Conservation Commission  
12 School Street  
Hudson, New Hampshire 03051

**Subject: Frenette Gardens – Residential Subdivision**  
**Application for Conditional Use Permit for Wetland Buffer Impact**  
Map 182 Lot 3  
65 Central Street, Hudson, New Hampshire  
KNA #21-0928-1

To Members of the Conservation Commission:

**Project Narrative:**

The project proposes to subdivide the existing parcel, located at 65 Central Street, into ten (10) new residential lots and construct approximately 700 feet of new roadway, culminating in a cul-de-sac. Roadway construction also entails the installation of public utilities, including water, sewer, drainage, gas, underground electric, and telecommunications services. The project proposes to permanently impact the wetland buffer associated with First Brook in two separate locations related to stormwater management improvements and public sewerage installation.

Buffer Impact Area #1 is located adjacent to the western edge of the property line and calls for approximately 790 square feet of permanent impact to the wetland buffer. Work within the buffer includes tree clearing, slope stabilization, installation of temporary perimeter controls, and construction of a stone bermed level lip spreader to mitigate erosion caused by the outfall from the proposed stormwater system.

Buffer Impact Area #2 is located between Proposed Lots 3-8 and 3-9 and calls for approximately 1,450 square feet of permanent impact to the wetland buffer. Work within the buffer includes tree clearing, slope stabilization, installation of temporary perimeter controls, and construction of a public sewer main, which proposes to tie into the existing public 12” steel main running along First Brook.

According to Christopher Danforth, CWS #077 of Keach-Nordstrom Associates, Inc., First Brook is a perennial stream that is classified as riverine, lower perennial, unconsolidated bottom, permanently flooded (R2UBH) using the U.S. Fish & Wildlife Service National Wetlands Inventory classification system.

The New Hampshire Natural Heritage Inventory has been notified and asked to check their database for any known occurrences of threatened or endangered species within the project site. Their response dated March 23, 2022, states that there are no recorded occurrences for sensitive species near this project area. Despite this, NHDES Best Management Practices will be used throughout the construction process to minimize soil erosion and downstream pollution by stormwater.

Although the project proposes permanent wetland buffer impacts, all disturbed areas will be restabilized following construction. Additionally, permanent erosion control measures are proposed at the outlet of the stormwater system to further protect the wetland area. Furthermore, permanent easements will be granted to the town for both the stormwater system and the sewer main.

In submitting the enclosed application for conditional use permit, the applicant recognizes the need to successfully demonstrate to the satisfaction of the Town of Hudson Conservation Commission, that each of the following criteria have been or will be fulfilled. Specifically:

**A. Support fish and wildlife;**

Precautions will be taken throughout construction to mitigate harm or disturbance to any possible aquatic life forms. These precautions include avoiding any disturbances to the wetlands themselves and limiting clearing to the maximum extent practicable.

**B. Attenuate flooding;**

The proposed BMP's include construction of a subsurface infiltration system and two infiltration trenches to ensure that post-development run-off conditions are not increased compared to pre-development conditions. This indicates that the project will attenuate flooding to the wetland.

**C. Supply and protect surface and groundwater resources;**

All proposed BMP's utilize infiltration, based on the presence of Hydrologic Soil Group 'A' soils on site. As such, NHDES and local groundwater recharge requirements are more than exceeded. This ensures that groundwater resources will be protected and supplied.

**D. Remove sediments;**

The proposed subsurface infiltration system on the site is designed with an isolator row to ensure excess sediment is collected prior to discharging the site.

**E. Remove pollutants;**

The proposed BMP's are designed to remove approximately 90% of total suspended solids according to Appendix B of *the New Hampshire Stormwater Manual, Volume 2*. As runoff infiltrates into the subsurface of the subsurface infiltration system and infiltration trenches, pollutants bind to soil particles thus purifying the stormwater before it reaches the subsurface.

**F. Support wetland vegetation;**

Vegetation clearing shall be kept to a minimum within the two proposed impact areas. Additionally, the existing vegetation will remain unaltered along the majority of the wetland area save for these two locations.

**G. Promote public health and safety.**

All proposed BMP's in association with First Brook and its associated wetlands will improve natural water quality and provide flood protection around the proposed development. Additionally, the project itself proposes the construction of a public sewer line to provide proper sewerage removal for the proposed development. These factors promote public health and safety.

**H. Moderate fluctuations in surface water levels.**

First Brook is classified as a perennial stream and as such has continuous flow of surface water throughout the year. The proposed design mitigates peak rates and will not contribute additional flow to the existing wetland. This decrease in runoff will ensure the proposed development will not impact surface water levels.

**I. No increase to potential for erosion, siltation, and turbidity of surface waters.**

This site has been designed with temporary and permanent erosion control measures to ensure there is no increase to erosion potential. The stormwater ponds have been designed in a way to limit all possible siltation and turbidity of surface waters in the wetland.

**J. No loss of fish and wildlife habitat.**

As stated above, precautions will be taken throughout construction to mitigate harm or disturbance to any possible aquatic life forms. Furthermore, the NHB report specifies that there are no recorded occurrences for sensitive species near this project area.

**K. No loss of unique habitat having demonstrable natural, scientific, or educational value.**

There is no indication that the existing wetland provides a unique habitat. Regardless, the areas of impact are so minor that overall habitats along the Brook should not be severely impacted.

**L. No loss or decrease of beneficial aquatic organisms and wetland plants and their habitat.**

As stated above, precautions will be taken throughout construction to mitigate harm or disturbance to any possible aquatic life forms and limit the extend of clearing to the maximum extent practicable.

**M. No increased danger of flooding and/or transport of pollutants**

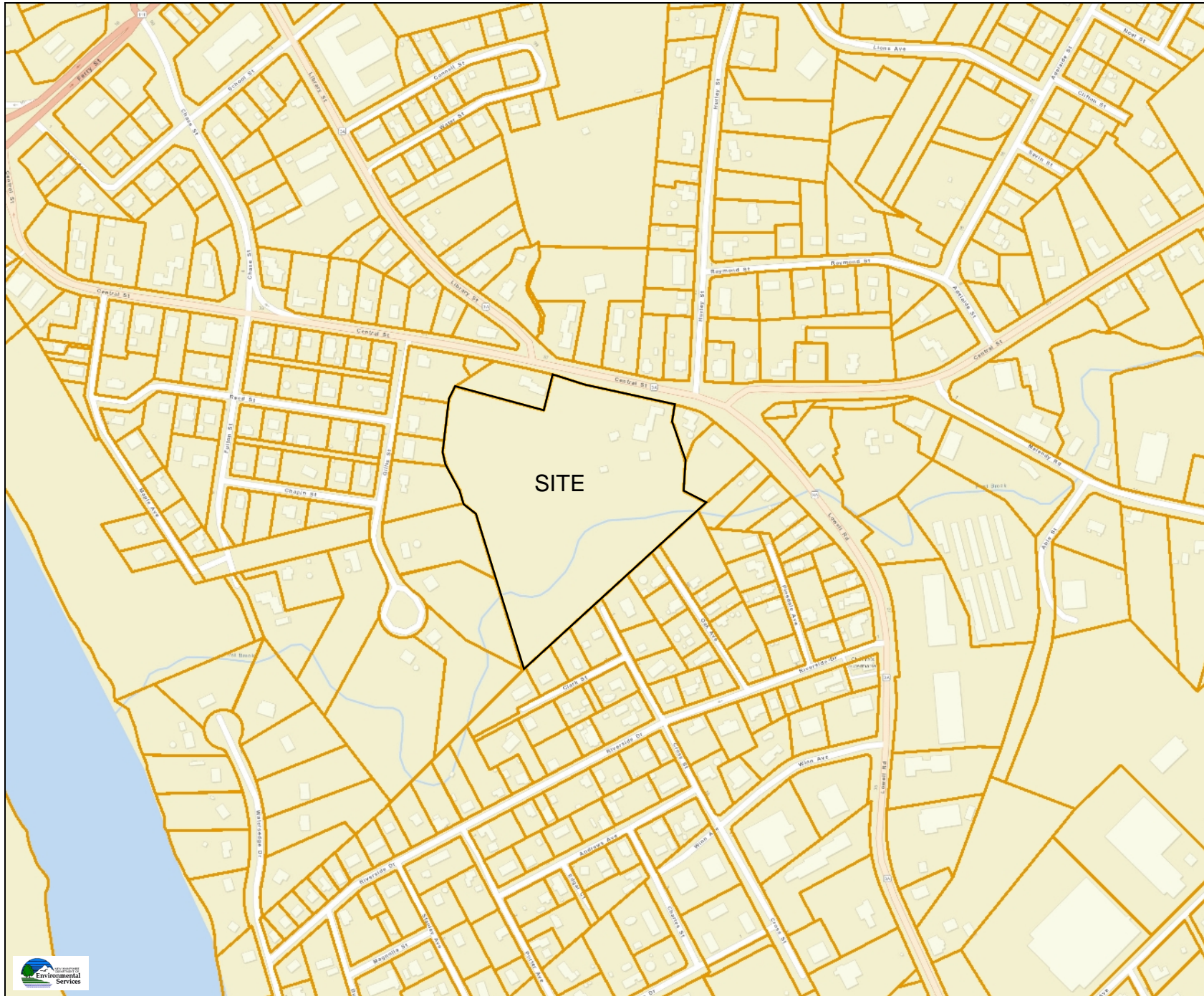
As stated earlier, the stormwater BMP's ensure that flooding and transportation of pollutants will not be an issue on this site.

**N. No destruction of the economic, aesthetic, recreational, and other public and private uses and values of the wetland to the community**

The proposed impacts will not aid in the destruction of private or public uses of the wetland. The wetland will still be able to flow as it has and maintain its values.

## **7. SURFACE WATER IMPAIRMENTS**

# Surface Water Impairments



## Legend

- Outstanding Resource Water Watersheds
- Surface Waters with Impairment 2016 with Quarter Mile Buffer
- Watersheds with Chloride Impairments 2016
- Parcels
- Attributes for Additional Lines

Map Scale

1: 5,000



© NH DES, <http://des.nh.gov>

Map Generated: 3/23/2022

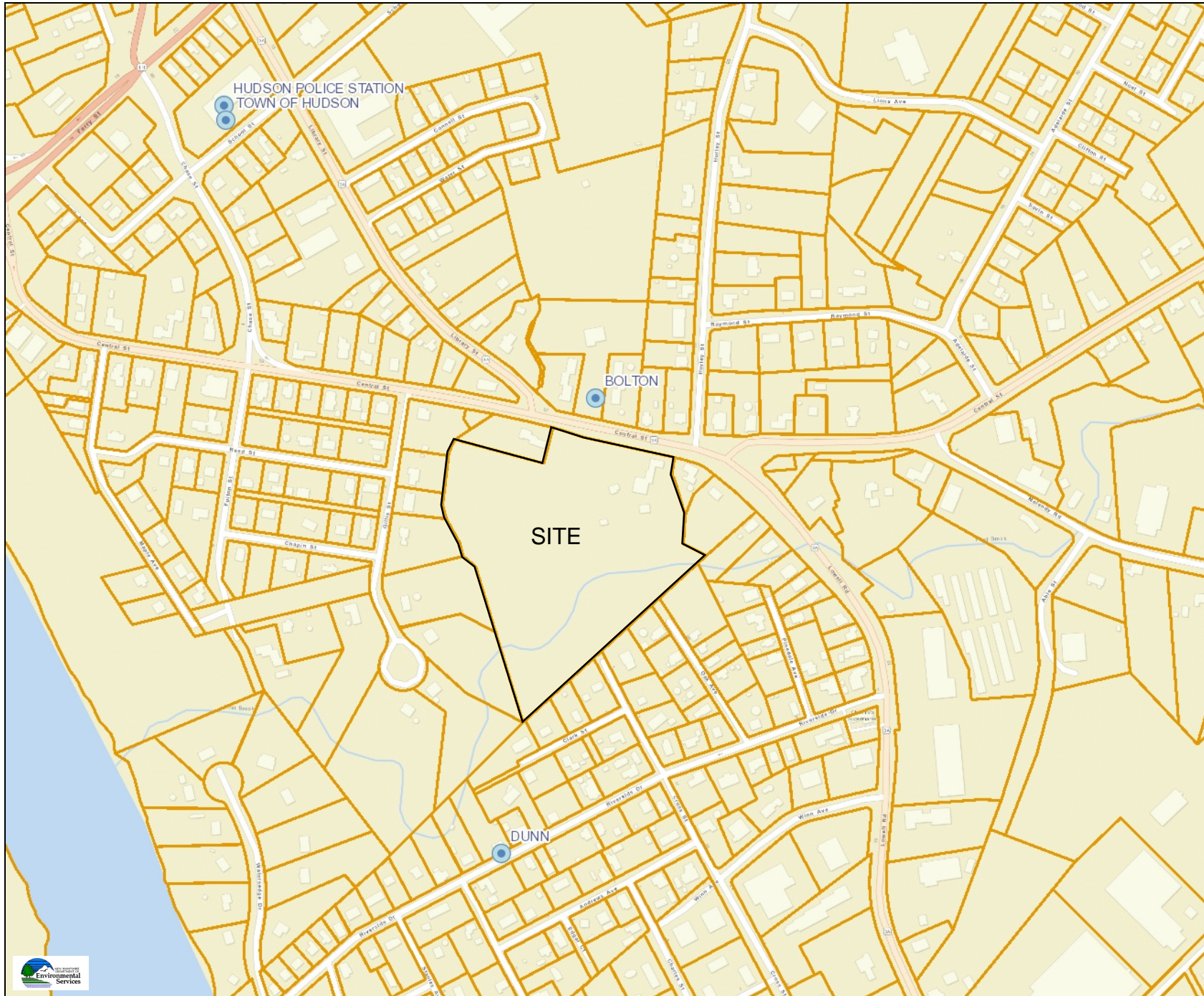
## Notes





## 8. NHDES WELL INVENTORY MAP

# NHDES Well Inventory Map



## Legend

- Public\_Water\_Supply\_Entiti
- Public Water Supply Wells
- Registered Water Users
- Water Well Inventory
- Parcels
  - Parcel Polygons
  - Attributes for Additional Lines
- Additional Lines

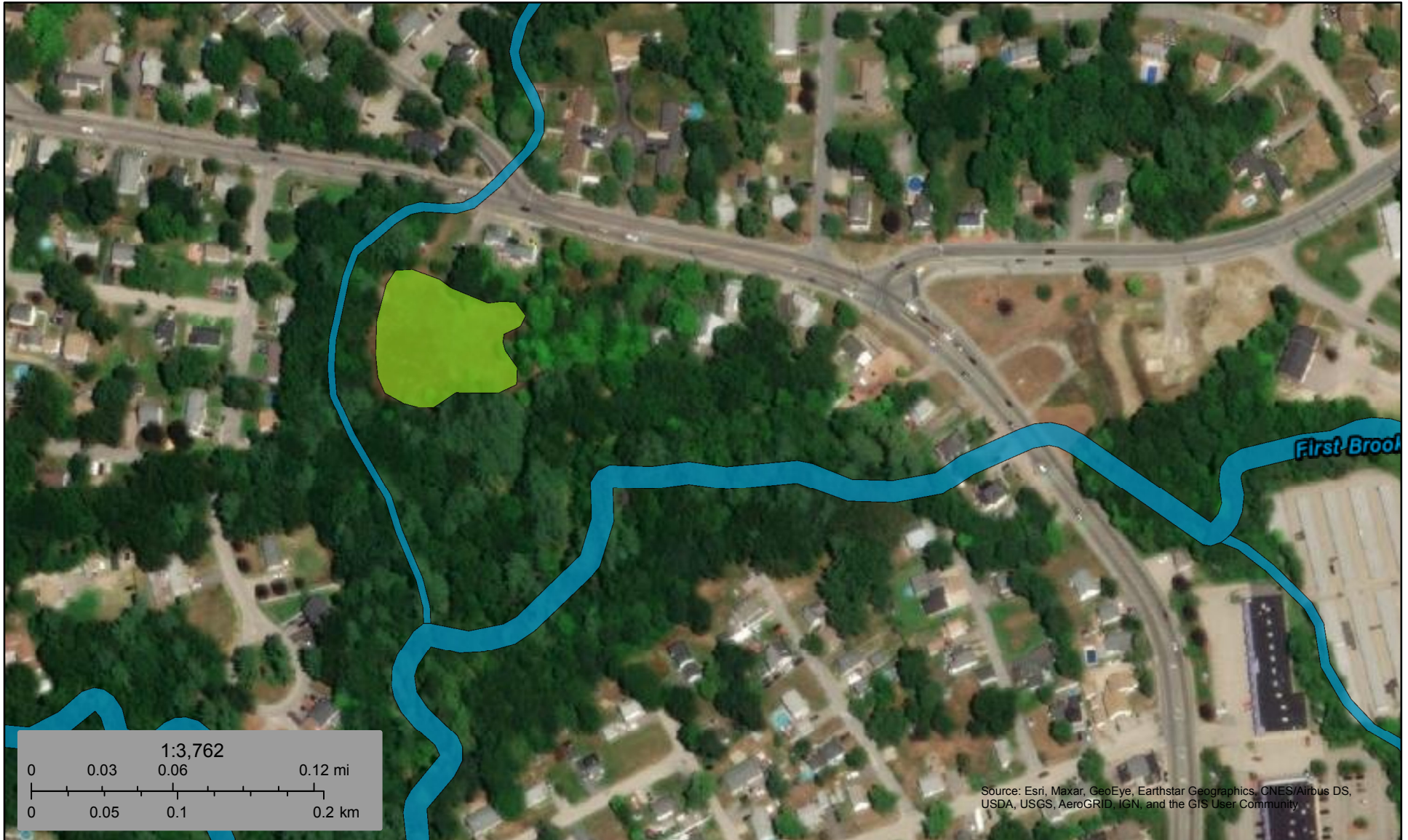
Map Scale  
1: 5,000



© NH DES, <http://des.nh.gov>  
Map Generated: 3/23/2022

## Notes


## 9. NWI MAP



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

March 23, 2022

**Wetlands**

- |   |                                |   |                                   |   |          |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland       |  | Lake     |
|  | Estuarine and Marine Wetland   |  | Freshwater Forested/Shrub Wetland |  | Other    |
|   |                                |  | Freshwater Pond                   |  | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

**10. NEW HAMPSHIRE NATURAL HERITAGE INVENTORY LETTER**

## New Hampshire Natural Heritage Bureau NHB DataCheck Results Letter

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**To:** Peter Madsen  
10 Commerce Park North Suite 3  
Bedford, NH 03110

**From:** NH Natural Heritage Bureau

**Date:** 3/23/2022 (This letter is valid through 3/23/2023)

**Re:** Review by NH Natural Heritage Bureau of request dated 3/23/2022

**Permit Type:** Hudson

**NHB ID:** NHB22-1116

**Applicant:** Peter Madsen

**Location:** Hudson  
Tax Map: 182, Tax Lot: 3  
Address: 65 Central Street

**Proj. Description:** The project proposes a 10 lot residential subdivision with approximately 700 linear feet of new roadway.

The NH Natural Heritage database has been checked for records of rare species and exemplary natural communities near the area mapped below. The species considered include those listed as Threatened or Endangered by either the state of New Hampshire or the federal government. We currently have no recorded occurrences for sensitive species near this project area.

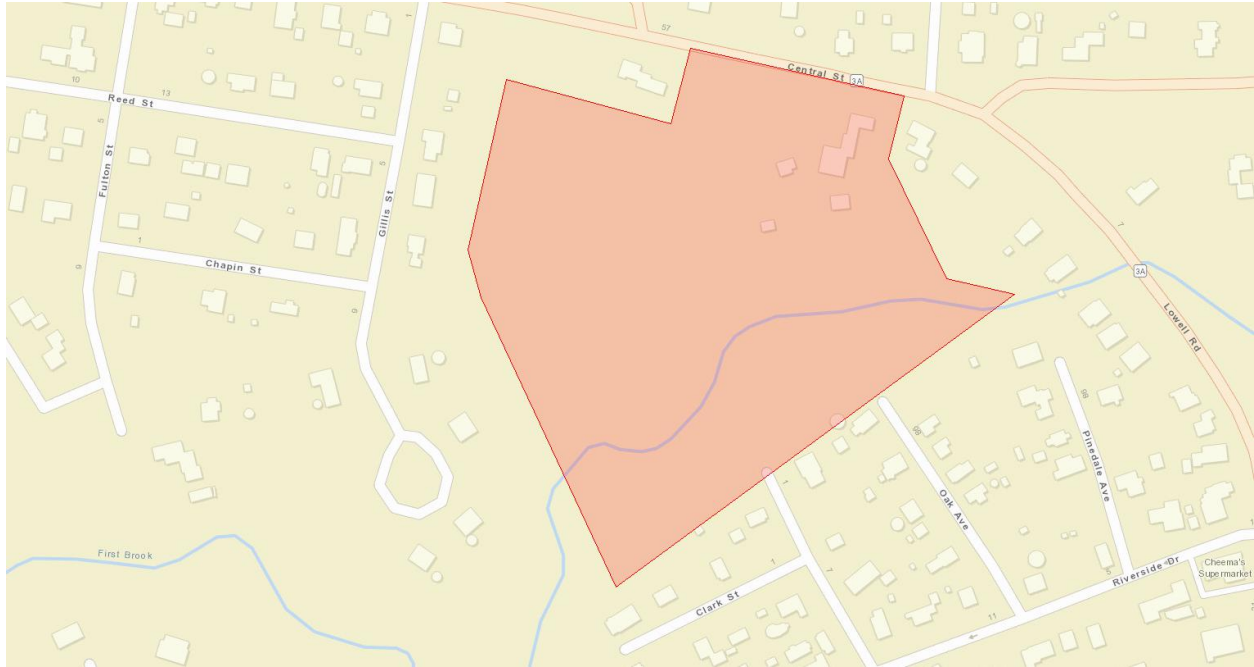
A negative result (no record in our database) does not mean that a sensitive species is not present. Our data can only tell you of known occurrences, based on information gathered by qualified biologists and reported to our office. However, many areas have never been surveyed, or have only been surveyed for certain species. An on-site survey would provide better information on what species and communities are indeed present.

Based on the information submitted, no further consultation with the NH Fish and Game Department pursuant to Fis 1004 is required.

New Hampshire Natural Heritage Bureau  
NHB DataCheck Results Letter

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**MAP OF PROJECT BOUNDARIES FOR: NHB22-1116**

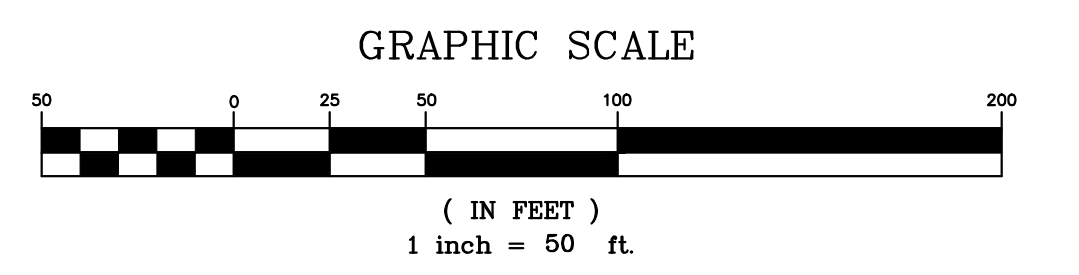
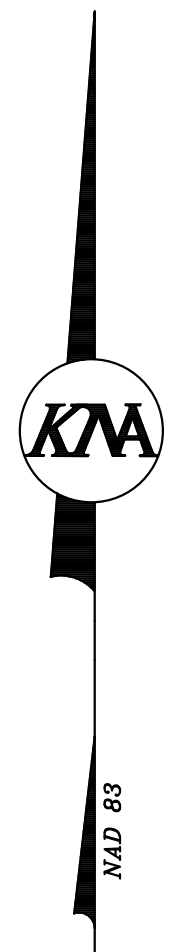


**11. WETLAND PHOTO PLAN AND ASSOCIATED WETLAND PHOTOS**



**LEGEND**

- GB-F GRANITE BOUND FOUND
- FSB-F FIELDSTONE BOUND FOUND
- IP-F IRON PIPE FOUND
- AI-F ANGLE IRON FOUND
- IR-F IRON ROD FOUND
- ABUTTER LINE
- PROPERTY LINE
- EDGE OF PAVEMENT
- EASEMENT
- BROOK
- 10' CONTOUR
- 2' CONTOUR



**WETLAND PHOTO PLAN  
FRENETTE GARDENS  
MAP 182 LOT 3  
65 CENTRAL STREET  
HUDSON, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY**

**OWNERS OF MAP 182 LOT 3:**

LAURA RIPALDI 46 BUSH HILL ROAD HUDSON, NH 03051 9531/2754	KIMBERLY FRENETTE 88 DUMONT ROAD HUDSON, NH 03051 9531/2754	RICKY FRENETTE 14 TATE STREET HUDSON, NH 03051 9531/2754
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Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: APRIL 15, 2022      SCALE: 1" = 50'  
PROJECT NO: 21-0928-1      SHEET 1 OF 1





**Photo #1:** Looking at the west side of the lot into field. (4/15/2022)



**Photo #2:** Looking southwest into first depression. (4/15/2022).



**Photo #3:** looking southwest on top of bank. (4/14/2022)



**Photo #4:** Looking east across top of riverbank. (4/14/2022)



**Photo #5:** Looking south at the First Brook. (4/14/2022)



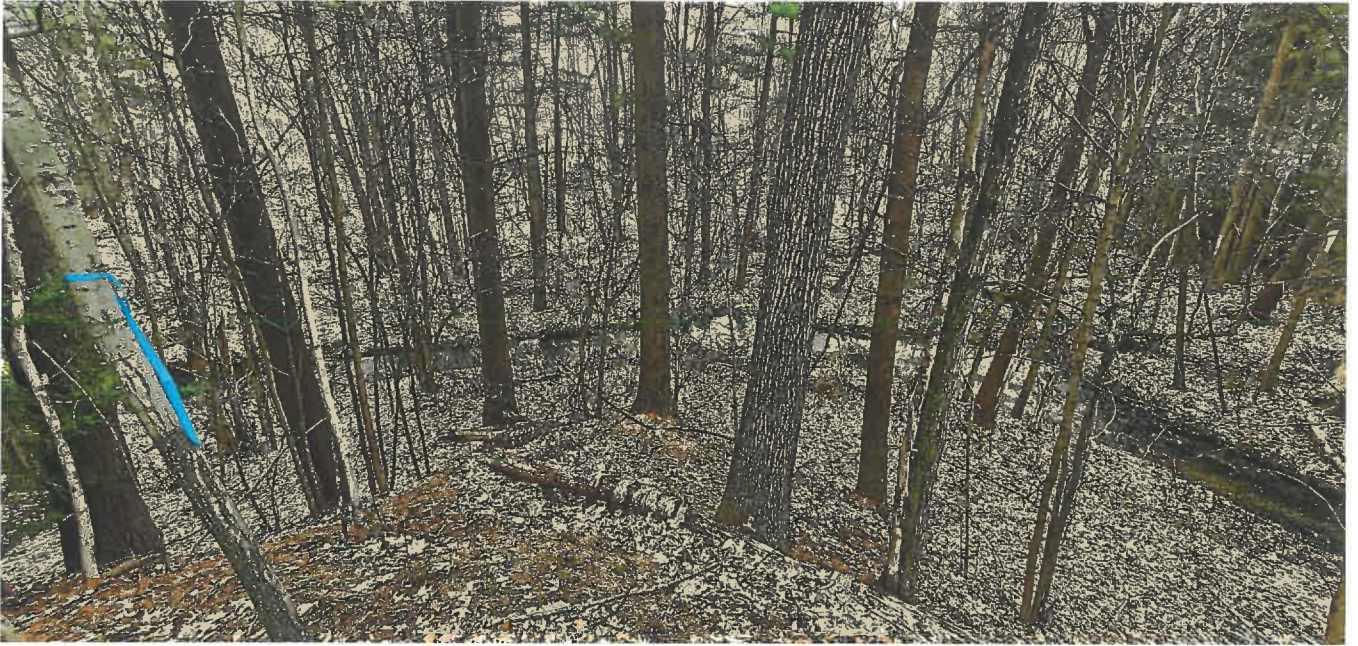
**Photo #6:** Looking east up First Brook. (4/14/2022)



**Photo #7:** Looking southwest down First Brook. (4/14/2022)



**Photo #8:** Looking west of riverbank. (4/14/2022)



**Photo #9:** Looking south towards First Brook. (4/14/2022)



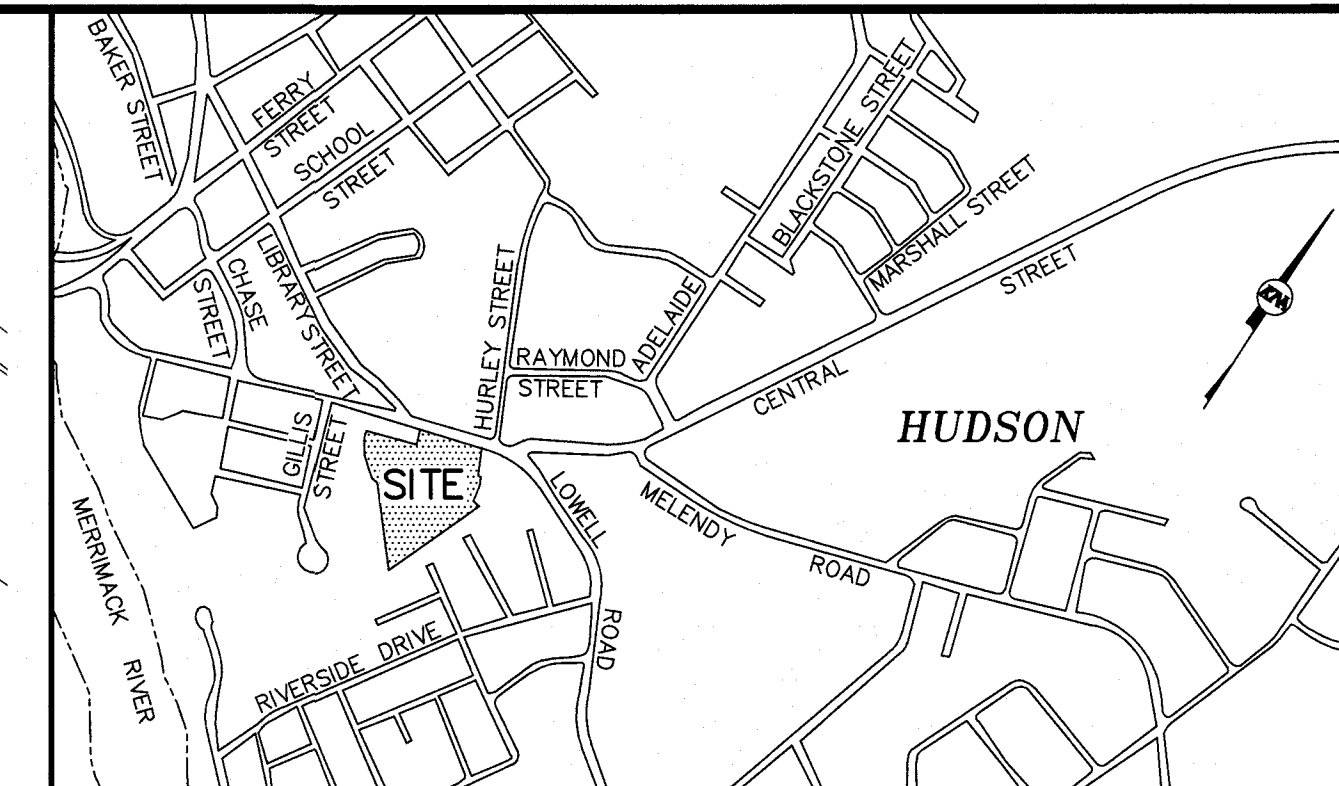
**Photo #10:** Looking northeast on top of bank towards existing house. (4/14/2022)

**12. PLANS**

WETLAND BUFFER IMPACT PLAN (22" X 34")

**CONSTRUCTION NOTES:**

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED TEMPORARY AND PERMANENT WETLAND BUFFER IMPACTS ASSOCIATED WITH THE PROPOSED SUBDIVISION OF MAP 182 LOT 3.
2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, AND CONFORM TO ANY STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
3. CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPARTMENT, HUDSON, NEW HAMPSHIRE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
5. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
6. PROPER EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED (I.E. SILT FENCE) PRIOR TO COMMENCING EXCAVATION EFFORTS. THE CONTROLS SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL COMPLETION OF CONSTRUCTION. THE TOWN OF HUDSON RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION, IF NECESSARY.
7. TEMPORARY EROSION CONTROLS SHALL BE REMOVED UPON FINAL STABILIZATION OF DISTURBED AREAS.
8. ALL DISTURBED SLOPES SHALL BE PROPERLY STABILIZED FOLLOWING CONSTRUCTION.

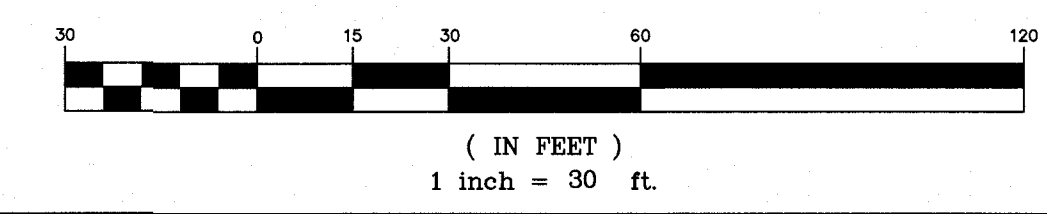


**VICINITY PLAN**  
SCALE: 1" = 1,000±

**LEGEND**

- UTILITY POLE SIGN
- SEWER MANHOLE
- DRAINAGE MANHOLE
- CATCH BASIN
- ABUTTER LINE
- PROPERTY LINE
- WETLAND
- BROOK
- CHAIN LINK FENCE
- STOCKADE FENCE
- OVERHEAD UTILITIES
- SEWER LINE
- DRAINAGE LINE
- TREELINE
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- EDGE OF GRAVEL
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- EASEMENT
- PROPOSED SEWER LINE
- PROPOSED DRAINAGE LINE
- PROPOSED TREELINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED VERTICAL GRANITE CURB
- PROPOSED 2' CONTOUR
- WETLAND BUFFER IMPACT

**GRAPHIC SCALE**

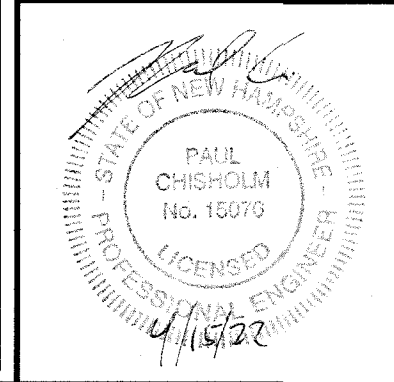


**WETLAND BUFFER IMPACT PLAN**  
**FRENETTE GARDENS**  
MAP 182 LOT 3  
65 CENTRAL STREET  
HUDSON, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

**OWNERS OF MAP 182 LOT 3:**

Laura Ripaldi 46 Bush Hill Road Hudson, NH 03051 9531/2754	Kimberly Frenette 88 Dumont Road Hudson, NH 03051 9531/2754	Ricky Frenette 14 Tate Street Hudson, NH 03051 9531/2754
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**KM KEACH-NORDSTROM ASSOCIATES, INC.**  
Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

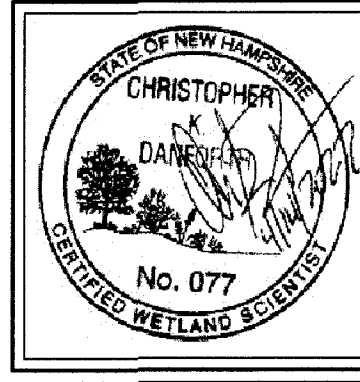


REVISIONS			
No.	DATE	DESCRIPTION	BY

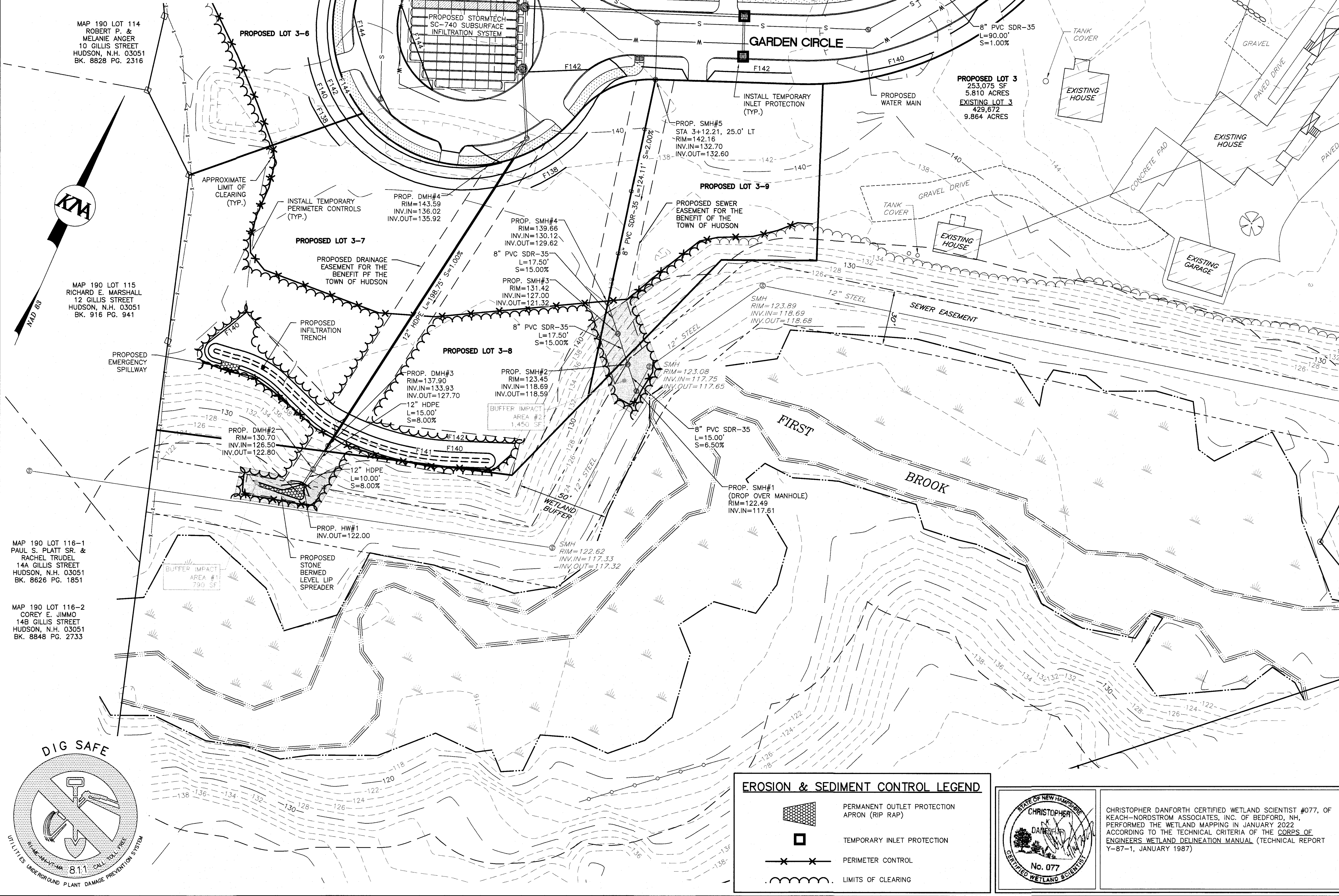
DATE: APRIL 15, 2022      SCALE: 1" = 30'  
PROJECT NO: 21-0928-1      SHEET 1 OF 1

**EROSION & SEDIMENT CONTROL LEGEND**

	PERMANENT OUTLET PROTECTION APRON (RIP RAP)
	TEMPORARY INLET PROTECTION
	PERIMETER CONTROL
	LIMITS OF CLEARING



CHRISTOPHER DANFORTH CERTIFIED WETLAND SCIENTIST #077, OF KEACH-NORDSTROM ASSOCIATES, INC. OF BEDFORD, NH, PERFORMED THE WETLAND MAPPING IN JANUARY 2022 ACCORDING TO THE TECHNICAL CRITERIA OF THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1, JANUARY 1987)



MAP 190 LOT 114  
ROBERT P. & MELANIE ANGER  
10 GILLIS STREET  
HUDSON, N.H. 03051  
BK. 8828 PG. 2316

MAP 190 LOT 115  
RICHARD E. MARSHALL  
12 GILLIS STREET  
HUDSON, N.H. 03051  
BK. 916 PG. 941

MAP 190 LOT 116-1  
PAUL S. PLATT SR. & RACHEL TRUDEL  
14A GILLIS STREET  
HUDSON, N.H. 03051  
BK. 8626 PG. 1851

MAP 190 LOT 116-2  
COREY E. JIMMO  
14B GILLIS STREET  
HUDSON, N.H. 03051  
BK. 8648 PG. 2733

