

AIREX BUILDING ADDITION

SP# 06-22

STAFF REPORT

June 8, 2022

SITE: 17 Executive Drive; Map 209 Lot 008-000

ZONING: Industrial (I)

PURPOSE OF PLAN: To show a proposed 1-story, 26,200 SF building addition with appurtenant parking, loading, and other site improvements.

PLANS UNDER REVIEW:

Map 209, Lot 8, Site Plan, Proposed Building Addition, 17 Executive Drive, Hudson, New Hampshire; prepared by Hayner/Swanson, Inc., 3 Congress Street, Nashua, NH 03062 & 131 Middlesex Turnpike, Burlington, MA 01803; prepared for Schroeder Construction Management, Inc., 2 Townsend West, Unit #3, Nashua, New Hampshire 03060 & Stonehill Realty, LLC, 17 Executive Drive, Hudson, New Hampshire 03051; consisting of 13 sheets and an additional cover sheet, and general notes 1-26 on Sheet 1; dated March 29, 2022.

ATTACHMENTS:

- A. Peer Review, prepared by Fuss & O'Neill, dated May 24, 2022.
- B. Department Comments

APPLICATION TRACKING:

- May 9, 2022 – Application received.
- June 8, 2022 – Public hearing scheduled.

COMMENTS:

BACKGROUND

Excerpt from the Applicant's Project Narrative:

The lot currently contains a 1-story, 78,700 square foot office, manufacturing, and warehouse building along with associated parking and loading areas. Primary access to the site is provided via a curb cut on Executive Drive. Secondary access to the site is through an access easement on 19 Executive Drive. The site is currently serviced by municipal sewer and water, natural gas, and overhead telecommunications and electric utilities. Existing stormwater management practices consist of a series of catch basins, underground drain pipes, and vegetated swales. This collection system discharges to a series of manmade wetland swales, which in turn discharge to the drainage pond, known as Telegraph Pond, along the easterly site boundary.

The property ... is owned, along with 19 Executive Drive, by Stonehill realty, LLC who is also the applicant. The property is a manufacturing facility Airex Filters Corporation ... that manufacturers and distributes air and water filters, and specialty filtration products... It is being proposed to construct a 1-story, 26,200 square foot warehouse addition on the west end of the existing building ... to support the manufacturing operations. Associated site improvements include new parking and loading dock areas, new drainage systems, a new stormwater management basin, new electric service, landscaping, and site lighting.

WAIVER REQUESTS

1. **Waiver request for Off-Street Parking Requirement [§ 275-8.C(2)]:** The Applicant is requesting a waiver to allow 91 parking spaces on a lot where 175 spaces are required.
2. **Waiver request for Off-Street Loading Requirement [§ 275-8.C(6)]:** The Applicant is requesting a waiver to allow 10 loading spaces on a lot where 11 are required.
3. **Detention Basin vs. Underground Chamber System:** Staff encourages the use of an underground chamber system for stormwater management in urbanized/densely-built areas where large open basins would diminish the

DEPARTMENT COMMENTS

See **Attachment B** for comments from town departments.

1. Engineering: Request for an underground chamber system instead of the proposed detention basin; Evaluate the need for a guardrail installation along the proposed detention basin; Show sewer/water service connections.

Planning staff encourages the use of underground chamber systems for stormwater management in urbanized/densely-built areas where open space is at a premium. This Board may want to consider if there is any public value to an underground system on this site.

2. Fire Chief: Request for 2 additional yard hydrants

PEER REVIEW COMMENTS

Fuss & O'Neill, the Town's Peer Reviewer, reviewed the plan and provided comments. Staff summarizes the key outstanding issues below; see **Attachment A** for details.

1. **Parking (1.d/e):** Waivers requested for off-street parking and loading requirements.
2. **Open Space Area Measurement (2.d):** The Peer Reviewer's measurements indicate it is less than the minimum 35%, contradicting what is stated on the plan.
3. **Utility Design (5.a-c):** Missing details on water/sewer connections, as well as verification of adequate water flow and pressure for fire suppression systems.

- 4. **Drainage Design/Stormwater Management (6.a-h):** 0.1 cfs increase in the 50-year storm event and snow storage areas located near the infiltration basin not compliant; plus a few other more minor issues with Stormwater Management Regulations requirements.
- 5. **Industrial Pretreatment Permit (10.c):** Although not part of the Planning Board review process, the Peer Reviewer noted that there is no record of the required Industrial Pretreatment Permit for this property.

On traffic, the Peer Reviewer also concurred with the conclusion of the Trip Generation Analysis Memo submitted by the Applicant – that there should be minimal increased impacts on traffic operations on the roadway network adjacent to the site.

RECOMMENDATION:

Staff expects the Applicant to revise the plans in accordance with peer review and staff comments and look to return to the Board at a future date, and therefore seek deferral or continuance. Draft motions for acceptance, deferral, continuance and fro the waiver requests are provided below.

DRAFT MOTIONS

ACCEPT the site plan application:

I move to accept the site plan application for the Airex Building Addition, 17 Executive Drive; Map 209 Lot 008-000.

Motion by: _____ Second: _____ Carried/Failed: _____

CONTINUE the public hearing to a date certain:

I move to continue the site plan application for the Airex Building Addition, 17 Executive Drive; Map 209 Lot 008-000, to date certain, _____, 2022.

Motion by: _____ Second: _____ Carried/Failed: _____

DEFER the public hearing to a date certain:

I move to defer the site plan application for the Airex Building Addition, 17 Executive Drive; Map 209 Lot 008-000, to date certain, _____, 2022.

Motion by: _____ Second: _____ Carried/Failed: _____

To GRANT a waiver:

I move to grant a waiver from § 275-8.C (2), to allow 91 parking spaces on a lot where 175 spaces are required, based on the Board’s discussion, the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: _____ Second: _____ Carried/Failed: _____

To GRANT a waiver:

I move to grant a waiver from § 275-8.C (6), to allow 10 loading spaces on a lot where 11 spaces are required, based on the Board’s discussion, the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: _____ Second: _____ Carried/Failed: _____



MEMORANDUM

TO: File

FROM: Steven W. Reichert PE

DATE: May 23, 2022

RE: Town of Hudson Planning Board Review
17 Executive Drive Addition Site Plan, 17 Executive Drive
Tax Map 209, Lot 8; Acct. #1350-506
Fuss & O'Neill Reference No. 20030249.2180

The following list itemizes the set of documents reviewed related to the Site Plan, located at 17 Executive Drive in Hudson, New Hampshire.

- Email correspondence between the Town of Hudson and Fuss & O'Neill, dated May 9 to May 11, 2022.
- Letter of transmittal from Hayner/Swanson, Inc., dated May 9, 2022, received by Fuss & O'Neill on May 9, 2022, including the following:
 1. Copy of *Town of Hudson, Site Plan Application*, no dated, signed April 12, 2022.
 2. Copy of *Waiver Request Form*, signed April 12, 2022.
 3. Copy of *Abutters List*, dated May 6, 2022.
 4. Copy of *Project Narrative*, dated May 4, 2022.
 5. Copy of *Warranty Deed*, Book 9026, Page 1937 to 1939, recorded November 15, 2017.
 6. Copy of *New England Telephone and Telegraph Company Easement*, Book 2750, Page 698, recorded February 4, 1980.
 7. Copy of *Easement Agreement*, Book 4431, Page 309 to 311, recorded October 6, 1987.
 8. Copy of *Telegraph Amended Site Plan Development Agreement*, Book 6411, Page 1082 to 1086, recorded May 3, 2001.
 9. Copy of *Modified Protective Covenant Standards for Land Known as Executive Park, Hudson, New Hampshire*, Book 2734, Page 704 to 709, recorded November 14, 1979.
 10. Copy of *Deed*, Book 727, Page 249, recorded November 24, 1914.
 11. Copy of *Memorandum*, prepared by Stephen G. Pernaw & Company, Inc., dated April 25, 2022.
 12. Copy of *Zoning Determination # 22-053*, from the Town of Hudson to Stonehill Realty, LLC, dated April 14, 2021.
 13. Copy of *Request for Zoning and/or Planning Information/ Determination*, dated April 11, 2022.
 14. Copy of *Vicinity Plan*, prepared by Hayner/Swanson, Inc., dated March 2022.
 15. Copy of *NRCS Soils Map*, prepared by Hayner/Swanson, Inc., dated March 2022.
 16. Copy of *Aerial Display Plan*, prepared by Hayner/Swanson, Inc., dated March 2022.
 17. Copy of *Tax Map*, prepared by Hayner/Swanson, Inc., dated March 2022.
 18. Copy of *Stormwater Management & Erosion Control Plan (SMECP), Proposed Building Additions*, prepared by Hayner/Swanson, Inc., dated May 4, 2022.



Memo to File

Fuss & O'Neill Reference No. 20030249.2130

May 23, 2022

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19. Copy of *Map 209, Lot 8, Site Plan, Proposed Building Additions, 17 Executive Drive, Hudson, New Hampshire*, prepared by Hayner/Swanson, Inc., dated March 29, 2022, unless otherwise noted, with no revisions noted, including the following:
 - a. Cover Sheet.
 - b. *Master Site Plan*, Sheet 1 of 13.
 - c. *Notes and Legend*, Sheet 2 of 13.
 - d. *Existing Conditions Plan*, Sheet 3 of 13.
 - e. *Site Demolition Plan*, Sheet 4 of 13.
 - f. *Site Plan*, Sheet 5 of 13.
 - g. *Utility Profiles*, Sheet 6 of 13.
 - h. *Detail Sheet – General Site*, Sheets 7 and 8 of 13.
 - i. *Erosion Control Plan*, Sheet 9 of 13.
 - j. *Detail Sheet – Erosion Control*, Sheet 10 of 13.
 - k. *Landscape Plan*, Sheet 11 of 13.
 - l. *Detail Sheet – Landscape*, Sheet 12 of 13.
 - m. *Photometric Lighting Plan*, Sheet 13 of 13.
 - n. *Exterior Elevations*, Drawing No. A2.1, prepared by Matuszewski Architects, dated March 21, 2022.
 - o. *Exterior Elevations & Renderings*, Drawing No. A2.2, prepared by Matuszewski Architects, dated March 21, 2022.

SWR:elc

cc: Brian Groth – Town of Hudson
Town of Hudson Engineering Division – File



May 24, 2022

Mr. Brian Groth
Town Planner
Town of Hudson
12 School Street
Hudson, NH 03051

Re: Town of Hudson Planning Board Review
17 Executive Drive Site Plan, 17 Executive Drive
Tax Map 209 Lot 8; Acct. #1350-506
Reference No. 20030249.2180

Dear Mr. Groth:

Fuss & O'Neill (F&O) has reviewed the first submission of the materials received on May 9, 2022, related to the above-referenced project. Authorization to proceed was received on May 11, 2022. A list of items reviewed is enclosed. The scope of our review is based on the Site Plan Review Codes, Stormwater Codes, Driveway Review Codes, Sewer Use Ordinance 77, Zoning Regulations, and criteria outlined in the CLD Consulting Engineers Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007, September 3, 2008, and October 2015.

We have included a copy of Fuss & O'Neill's evaluation of the checklist for your reference. We note that several items could not be verified by Fuss & O'Neill and require action by the Town.

The project appears to consist of a warehouse building addition on a previously developed industrial building site. Proposed improvements to the site also include the construction of parking areas, drainage improvements, landscaping, lighting, and other associated site improvements. The existing building is serviced by public water and sewer.

The following items are noted:

1. Site Plan Review Codes (HR 275)

- a. Hudson Regulation (HR) 275-6.C. The site currently does not have a sidewalk at Executive Drive and the applicant has not proposed to add any sidewalks as part of this project.
- b. HR 275-6.I. The scope of this review does not include the adequacy of any fire protection provisions for the proposed building addition. The applicant has not shown the existing water connection to the site on the plan set.
- c. HR 275-6.T. The applicant is not proposing any offsite improvements on the plan set.
- d. HR 275-8.C.(2)(g) and Zoning Ordinance (ZO) 334-15.A. The applicant has provided parking calculations on the plan set and noted that 175 parking spaces are required for the industrial use using the 1 space per 600 sf formula, and that 91 spaces are provided. The applicant has requested a waiver from the Regulation, noting that the parking provided meets the Regulation for 0.75 spaces per number of employees formula, as the facility currently has 66 employees and does not plan to expand that number. Therefore 50 spaces

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Rhode Island
Vermont



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would be required for that number of employees. We note that per the narrative the existing storage containers would be moved to allow use of the parking area at the north corner of the site once the addition is complete.

- e. HR 275-8.C.(6). The applicant has noted that eight off-street loading spaces are provided and has requested a waiver from the 11 spaces required by the Regulation. The applicant should clearly label all 8 spaces on the plan set. The applicant should also remove the reference to Integra from the waiver request.
- f. HR 275-9.C.(11). The applicant has provided four handicap accessible parking spaces for the site which meets the minimum requirement.
- g. HR 275-9.F. The applicant provided copies of easements and deeds as part of the package received for review.

2. Administrative Review Codes (HR 276)

- a. HR 276-11.1.B.(13). The applicant should revise the sign note on Sheet 1 of 15 to match the note required in the Regulation.
- b. HR 276-11.1.B.(20). The applicant has not provided the height of the existing building on the plan set.
- c. HR 276-11.1.B.(23). The applicant has not noted any pertinent highway projects on the plan set.
- d. HR 276-11.1.B.(24). The applicant should provide a detailed plan showing the open space areas. Our area measurements of the pdf plan came up with less than the minimum 35% required.
- e. HR 276-11.1.B.(25). The applicant has shown existing pavement within the side and rear setback areas of the site, and is proposing to keep these areas as travel ways and parking.

3. Driveway Review Codes (HR 275-8.B. (34)/Chapter 193)

- a. HR 193.10. The applicant has not proposed any changes to the existing driveway. The site will continue to have one driveway onto Executive Drive as well as access to another driveway on Map 215 Lot 8.
- b. We note that there appears to be an existing stop sign and stop bar at the driveway that is not shown on the plan set.

4. Traffic (HR 275-9.B)

We have reviewed the trip generation analysis memo prepared by Stephen G. Pernaw & Company, Inc. (SGP) dated April 25, 2022, for the proposed expansion of the existing Airex Filters Corporation building at 17 Executive Drive (Tax Map 209, Lot 8) in Hudson, New Hampshire. This analysis includes an estimate of the expected traffic to be generated by the additional 26,120 sf of warehouse space to be added to the building. Access to the site will not change.

The procedures that the SGP report uses are reasonable, with appropriate ITE trip generation information used for the scenario provided. This trip generation information shows that the estimated magnitude of the increase in peak hour traffic volumes related to



Mr. Brian Groth

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the site expansion area on the order of 46 trips during the weekday, 4 trips during the weekday morning peak hour and 5 trips during the weekday evening peak hour.

We concur with Stephen G. Pernaw & Company, Inc.'s overall conclusion that, given the relatively low number of trips per day to be generated by the site's proposed expansion compared to volumes on the adjacent roadway network in this area, there should be minimal increased impacts on traffic operations on the roadway network adjacent to the 17 Executive Drive site. The applicant has also noted that there will not be an increase in the number of employees at the site due to the building addition and that the ITE estimates are considered to be conservatively high in this situation.

5. Utility Design/Conflicts

- a. HR 275-9.E. The applicant has noted that the site is currently serviced by municipal water and sewer, but has not shown those existing connections to the public water or sewer mains.
- b. HR 275-9.E. The applicant has not shown any water or sewer service connections between the existing building and the proposed building addition.
- c. Engineering Technical Guideline & Typical Details (ETGTD) Section 801. The applicant should verify with the Town that the existing water main has adequate flow and pressure to meet both domestic and fire suppression requirements of the proposed expansion for this site.

6. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- a. HR 275-9.A.1 and Stormwater Management Regulation 290-5.A.5. The applicant should discuss the slight increase in the 50-year storm event at POA-A with the Town Engineer. A waiver may be required for this slight 0.1cfs increase. F&O takes no exception to the request of the waiver if deemed necessary.
- b. HR 275-9.A.3 and 290-5.A.4. We note the Infiltration Feasibility Report Section A.3. states "Sheet 3 of 22". The applicant should list the proper number of plan sheets.
- c. HR 290-5.A.12. The applicant should list the required mowing schedule within the I&M manual.
- d. HR 290-6.A.8. The applicant should ensure a note is on the plan set stating the requirement to coordinate a pre-construction meeting with the Town Engineer.
- e. HR 290-7.A.7. We recommend that the applicant coordinate with the Lower Merrimack River Advisory Committee to ensure the committee is made aware of the activity, as a courtesy.
- f. HR 290-7.B.16. We note the location of the infiltration basin in respect to snow storage areas near the pavement. Snow storage is not allowed by NHDES within infiltration basins, due to the use of sand clogging the infiltration ability, and the use of salt effecting the treatment ability of the infiltration practice. The applicant should review the need for signage or fencing as well as a salt minimization plan to help prolong the life of the infiltration basin.
- g. HR 290-8.A.4 & 5. The applicant should ensure a note is on the plan set stating the requirement to coordinate the need for a Bond or Escrow with the Town Engineer.



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- h. HR 290-10.B. The applicant should ensure a note is on the plan set stating the requirement of the EPA/GCP/NOI is stated. We note the inclusion of the SWPPP within the drainage report, but contractors do not always review the drainage report.
- i. The applicant will be required to comply with all provisions of the Town of Hudson's MS4 permit, including but not limited to annual reporting requirements, construction site stormwater runoff control, and record keeping requirements.
- j. Please note that this review was carried out in accordance with applicable regulations and standards in place in New Hampshire at this time. Note that conditions at the site, including average weather conditions, patterns and trends, and design storm characteristics, may change in the future. In addition, future changes in federal, state or local laws, rules or regulations, or in generally accepted scientific or industry information concerning environmental, atmospheric and geotechnical conditions and developments may affect the information and conclusions set forth in this review. In no way shall Fuss & O'Neill be liable for any of these changed conditions that may impact the review, regardless of the source of or reason for such changed conditions. Other than as described herein, no other investigation or analysis has been requested by the Client or performed by Fuss & O'Neill in preparing this review.

7. Zoning (ZO 334)

- a. ZO 334-14.A. The applicant has provided the proposed height of the addition on the plan set.
- b. ZO 334-17 & 334-21. The applicant has noted that the subject parcel is located within the Industrial (I) zoning district. The existing/proposed use is permitted by the Ordinance within this district.
- c. ZO 334-33. The applicant has not proposed any wetlands buffer impacts on the site. The existing site features adjacent to the site wetlands are not proposed to change.
- d. ZO 334-60. The applicant does not appear to be adding any new signs to the plan set. It appears the existing ground sign is to remain unaltered.
- e. ZO 334-83 and HR 218-4.E. The applicant has noted that the site is located within a designated flood hazard area X.

8. Erosion Control/Wetland Impacts

- a. The Town of Hudson should reserve the right to require any additional erosion control measures as needed. The applicant has noted this on the plans.

9. Landscaping (HR 275-8.C.(7) & 276-11.1.B.(20)) and Lighting (HR 276-11.1.B.(14))

- a. HR 275-8.C.(7). The applicant has not shown any landscape calculations for the new parking area or the existing site. We note that multiple parking areas include access from more than a single access lane.
- b. HR 276-11.1.B.(14). The applicant has shown lighting fixture locations on the plans with details and photometric information.
- c. HR 276-11.1.B.(14). The applicant has not noted the hours of operation for the facility. The applicant should provide information regarding hours of operation and whether the lights at the proposed building addition are intended to be in operation during non-working hours.



Mr. Brian Groth
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10. State and Local Permits (HR 275-9.G.)

- a. HR 275-9.G. The applicant has not listed required permits and their status on the plan set.
- b. HR 275-9.G. The applicant did not provide copies of any applicable Town, State or Federal approvals or permits in the review package.
- c. HR 275-9.G. The applicant has noted that the existing site is connected to the municipal sewer. We have no record of this facility completing an Industrial Pretreatment Permit application for the site, which is required by the Hudson Sewer Use Ordinance if there is an industrial use at the facility. Because products are manufactured at this site the facility is likely to be required to participate in the Industrial Pretreatment Program. We also note that if any manufacturing processes take place in the building at map 215 lot 8 and that lot is connected to the sewer system, a permit application will be needed for that site as well.
- d. Additional local and state permitting may be required.

11. Other

- a. ETGTD Section 565.1.1. The applicant is reminded that the Town of Hudson has specific requirements for the importing of off-site fill materials for use in constructing this project. We recommended that these requirements be stated on the plans for the Contractors attention.

Please feel free to call if you have any questions.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Steven W. Reichert'.

Steven W. Reichert, P.E.

Steven W. Reichert, PE

Digitally signed by Steven W. Reichert, PE
DN: cn=Steven W. Reichert, PE, c=US, o=Fuss & O'Neill, Inc., ou=Fuss & O'Neill, Inc., email=sreichert@fando.com
Date: 2022.05.24 15:28:36 -0400

SWR:
Enclosure

cc: Town of Hudson Engineering Division – File
Hayner/Swanson, Inc. – eblatchford@hayner-swanson.com

**APPLICATION FOR SITE PLAN REVIEW
TOWN OF HUDSON, NEW HAMPSHIRE**

**17 Executive Drive Site Plan
Town of Hudson
Fuss & O'Neill Reference No. 03-0249.2180
Reviewed May 23, 2022**

Thirty (30) days prior to Planning Board Meeting, a complete site plan to include all supporting materials/documents must be submitted in final form. The site plan shall comply with the following specifications/requirements.

Applicant Initials	Staff Initials
_____ a) Submission of nine (9) full sets of Site Plans (sheet size: 24" x 34") at the time of application filing, followed by the submission of seventeen (17) 11" x 17" plan sets (revised if applicable) to the Community Development Department no later than 10:00 AM Tuesday of the week prior to the scheduled public hearing/conceptual review date.	_____ a) One full size set received by Fuss & O'Neill.
_____ b) A Site Plan narrative, describing the purpose, locations, long range plans, impacts on traffic, schools and utilities.	_____ Fuss & O'Neill/SWR
_____ c) Plan scale at not less than one inch equals fifty feet (1" = 50')	_____ Fuss & O'Neill/SWR
_____ d) Locust plan with 1,000' minimum radius of site to surrounding area	_____ Fuss & O'Neill/SWR
_____ e) Plan date by day/month/year	_____ Fuss & O'Neill/SWR
_____ f) Revision block inscribed on the plan	_____ Fuss & O'Neill/SWR
_____ g) Planning Board approval block inscribed on the plan	_____ Fuss & O'Neill/SWR
_____ h) Title of project inscribed on the plan	_____ Fuss & O'Neill/SWR
_____ i) Names and addresses of property owners and their signatures inscribed on the plan	_____ Fuss & O'Neill/SWR
_____ j) North point inscribed on the plan	_____ Fuss & O'Neill/SWR
_____ k) Property lines: exact locations and dimensions	_____ Fuss & O'Neill/SWR
_____ l) Square feet and acreage of site	_____ Fuss & O'Neill/SWR
_____ m) Square feet of each building (existing & proposed)	_____ Fuss & O'Neill/SWR
_____ n) Names and addresses of bordering abutters, as shown on Tax Assessor's records not more than five (5) days prior to application date to be listed on the plan	_____ n) Unable to verify 5-day update criteria.

SP #6-22 - Airex Building Addition - Attachment A

Applicant Initials	Staff Initials
o) Location of all structures, roads, wetlands, hydrants, wells, septic systems, 4k reserve areas, floodways/floodplains, driveways, travel areas, parking areas and natural features within 200 feet of the tract	Fus & O'Neill/SWR
p) Locations of existing and proposed permanent monuments and benchmarks within 200 feet of the development tract	
q) Pertinent highway projects	
r) Assessor's Map and Lot number(s)	Fus & O'Neill/SWR
s) Waiver application form shall be submitted with the site plan application, note on plan listing waivers requested/granted; and all waivers granted to the site plan regulations shall be listed on the final plan; waivers to checklist shall be reduced to writing and be signed by the Planning Board Chairman and Planning Board Secretary and recorded with the plan.	Fus & O'Neill/SWR
t) Delineate zoning district on the plan	Fus & O'Neill/SWR
u) Stormwater drainage plan	Fus & O'Neill/SWR
v) Topographical elevations at 2-foot intervals contours; existing and proposed	Fus & O'Neill/SWR
w) Utilities: existing and proposed	Fus & O'Neill/SWR
x) Parking: existing and proposed	Fus & O'Neill/SWR
y) Parking space: length and width	Fus & O'Neill/SWR
z) Aisle width/maneuvering space	Fus & O'Neill/SWR
aa) Landscaping: existing and proposed	Fus & O'Neill/SWR
ab) Building and wetland setback lines	Fus & O'Neill/SWR
ac) Curb cuts	Fus & O'Neill/SWR
ad) Rights of way: existing and proposed	Fus & O'Neill/SWR
ae) Sidewalks: existing and proposed	Fus & O'Neill/SWR
af) Exterior lighting plan	Fus & O'Neill/SWR
ag) Sign locations: size and design	
ah) Water mains and sewerage lines	
ai) Location of dumpsters on concrete pads	
aj) All notes from plats	
	ag) No new signage noted. Existing signage not shown.
	ah) None shown on plan.
	ai) No exterior dumpster location proposed.
	aj) See other comments.
	w) Not all existing utility connections are shown.

SP #6-22 - Airex Building Addition - Attachment A

Applicant Initials	Staff Initials
ak) Buffer as required by site plan regulations	Fus s & O'Neill/SWR
al) Green and open space requirements met with percentages of both types of spaces inscribed on the plan	Fus s & O'Neill/SWR
am) Soil types and boundaries. Note: if site contains marginal or questionable soils, a High Intensity Soil Survey (HISS) may be deemed necessary to submit as part of the application. Said HISS, if required, shall be performed by a State of New Hampshire certified Soil Scientist, who shall affix his/her stamp and signature shall be inscribed on the plan.	Fus s & O'Neill/SWR
an) Wetlands (and poorly-drained and very poorly-drained soils), also identified as Class 5 and Class 6 High Intensity Soil Survey (HISS soils), and permanent and seasonal wetlands shall be identified on the plan by a New Hampshire certified Wetland or Soil Scientist, who shall affix his/her stamp and signature to the respective plan.	Fus s & O'Neill/SWR
ao) "Valid for one year after approval" statement inscribed on the plan	Fus s & O'Neill/SWR
ap) Loading bays/docks	Fus s & O'Neill/SWR
aq) State of New Hampshire engineer's stamp, signature, surveyor's stamp, and signature	Fus s & O'Neill/SWR
ar) Error of closure (1 in 10,000 or better)	Fus s & O'Neill/SWR
as) Drafting errors/omissions	_____
at) Developer names, addresses, telephone numbers and signatures	_____
au) Photographs, electronic/digital display or video of site and area	Fus s & O'Neill/SWR
av) Attach one (1) copy of the building elevations	Fus s & O'Neill/SWR
aw) Fiscal impact study	_____
ax) Traffic study	Fus s & O'Neill/SWR
ay) Noise study	_____
	aw) Not provided.
	ax) Traffic memo provided.
	ay) Not provided.
	ao) Two years noted.
	aq) PE stamp only on cover sheet.
	as) Not stated.
	at) Phone number not provided.

Applicant
Initials

Staff
Initials

_____ az) Copies of any proposed or existing easements, covenants, deed restrictions, right of way agreements or other similar documents

_____ Fus.s & O'Neill/SWR

_____ ba) Copy of applicable Town, State, Federal approval/permits to include but not limited to the following:

_____ ba) None provided.

- industrial discharge application

- sewer application

- flood plain permit

- wetlands special exception

- variance

- erosion control permit (149.8a)

- septic construction approval

- dredge and fill permit

- curb cut permit

- shoreland protection certification in accordance with RSA483-B

- if applicable, review application with Lower Merrimack River

Local Advisory Committee (LMRLAC) and attach LMRLAC

project comments hereto.

_____ bb) Presentation plan (colored, with color coded bar chart)

_____ bb) No presentation plan received, requires a Town action.

_____ bc) Fees paid to clerk

_____ bc) Requires Town action.

_____ bd) Five (5) 22" x 34" copies of the plan shall be brought to the Planning Board meeting and distributed to the Planning Board members at the meeting. Note: for all subsequent meetings involving revised plans, five 22" x 34" copies of said plan shall be brought to the meeting for distribution to the board members.

_____ bd) Requires Town action.

* Under the purview of the Planning Board any and all items may be waived.

Groth, Brian

From: Dhima, Elvis
Sent: Tuesday, May 17, 2022 10:25 AM
To: Groth, Brian
Subject: RE: Dept Review - Planning Board Site Plan Application
Attachments: 20220517085750460.pdf

Brian

Please see below

1. Applicant should consider replacing the proposed detention basin with underground chamber system
2. Applicant shall evaluate the need for a guardrail installation along the proposed detention basin, same areas show more than 4 foot drop
3. Applicant shall state that the sewer and water services will be serviced by the existing building. Plans don't indicate a new sewer or water service.

Thanks

E

Elvis Dhima, P.E.
Town Engineer

12 School Street
Hudson, NH 03051
Phone: (603) 886-6008
Mobile: (603) 318-8286



SITE PLAN APPLICATION

Date of Application: _____ Tax Map #: 209 Lot #: 8

Site Address: 17 Executive Drive

Name of Project: Proposed Building Addition

Zoning District: I - Industrial General SP#: SP #06-22
(For Town Use Only)

Z.B.A. Action: N/A

PROPERTY OWNER:

DEVELOPER:

Name: Stonehill Realty, LLC

(same as owner)

Address: 17 Executive Drive

Address: Hudson, NH 03051

Telephone # (800) 660-2298

Email: rcarroll@airexco.com

PROJECT ENGINEER:

SURVEYOR:

Name: Hayner/Swanson, Inc.

Hayner/Swanson, Inc.

Address: 3 Congress Street

3 Congress Street

Address: Nashua, NH 03062

Nashua, NH 03062

Telephone # (603) 883-2057

(603) 883-2057

Email: eblatchford@hayner-swanson.com

dpollock@hayner-swanson.com

PURPOSE OF PLAN:

To show a proposed 1-story, 26,200 SF building addition with appurtenant parking, loading, and other site improvements.

(For Town Use Only)

Routing Date: 5-16-22 Deadline Date: 5-27-22 Meeting Date: TBD

I have no comments I have comments (attach to form)

RMB Title: Fire Chief Date: 5-24-22
(Initials)

Department: 2 ADDITIONAL YARD HYDRANTS WILL NEED TO BE ADDED TO THE SITE TO SUPPORT THE ADDITIONAL LOCATION SHALL BE APPROVED BY THE FIRE DEPARTMENT. (RMB)

Zoning: ___ Engineering: ___ Assessor: ___ Police: ___ Fire: DPW: ___ Consultant: ___

SITE PLAN APPLICATION

Date of Application: _____ Tax Map #: 209 Lot #: 8

Site Address: 17 Executive Drive

Name of Project: Proposed Building Addition

Zoning District: I - Industrial General SP#: _____
(For Town Use Only)

Z.B.A. Action: N/A

PROPERTY OWNER:

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Telephone # (800) 660-2298

Email: rcarroll@airexco.com

DEVELOPER:

(same as owner)

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Name: Hayner/Swanson, Inc.

Address: 3 Congress Street

Address: Nashua, NH 03062

Telephone # (603) 883-2057

Email: eblatchford@hayner-swanson.com

SURVEYOR:

Hayner/Swanson, Inc.

3 Congress Street

Nashua, NH 03062

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PURPOSE OF PLAN:

To show a proposed 1-story, 26,200 SF building addition with appurtenant parking, loading, and other site improvements.

(For Town Use Only)

Routing Date: _____ Deadline Date: _____ Meeting Date: _____

_____ I have no comments _____ I have comments (attach to form)

_____ Title: _____ Date: _____

(Initials)

Department:

Zoning: ___ Engineering: ___ Assessor: ___ Police: ___ Fire: ___ DPW: ___ Consultant: ___

SITE DATA SHEET

PLAN NAME: Proposed Building Addition

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 209 LOT 8

DATE: _____

Location by Street: 17 Executive Drive

Zoning: I - Industrial

Proposed Land Use: Manufacturing

Existing Use: Manufacturing

Surrounding Land Use(s): Commercial/Industrial

Number of Lots Occupied: 1

Existing Area Covered by Building: 78,700 SF

Existing Buildings to be removed: N/A

Proposed Area Covered by Building: 104,900 SF

Open Space Proposed: 35.2%

Open Space Required: 35%

Total Area: S.F.: 320,932 Acres: 7.368

Area in Wetland: 0.57 Acres Area Steep Slopes: 0.25+/- Acres

Required Lot Size: 30,000 SF (municipal sewer & water)

Existing Frontage: 272.5 FT

Required Frontage: 150 FT

Building Setbacks:	<u>Required*</u>	<u>Proposed</u>
Front:	<u>50 FT</u>	<u>220+/- FT</u>
Side:	<u>15 FT</u>	<u>89+/- FT</u>
Rear:	<u>15 FT</u>	<u>38+/- FT</u>

SITE DATA SHEET
(Continued)

Flood Zone Reference: FIRM Map 33011C0656D dated: 9/25/2009

Width of Driveways: 32 FT and 26 FT

Number of Curb Cuts: 2 existing

Proposed Parking Spaces: 91

Required Parking Spaces: 175 (waiver requested)

Basis of Required Parking (Use): Manufacturing (1 space/600 SF)

Dates/Case #/Description/Stipulations
of ZBA, Conservation Commission,
NH Wetlands Board Actions: N/A
(Attach stipulations on separate sheet)

Waiver Requests

<i>Town Code Reference:</i>	<i>Regulation Description:</i>
<u>275-(8)(C)(2)</u>	<u>Required number of parking spaces</u>
<u>275-8(C)(6)</u>	<u>Required number of loading spaces</u>
_____	_____
_____	_____
_____	_____

(For Town Use Only)	
Data Sheets Checked By: _____	Date: _____

SITE PLAN APPLICATION AUTHORIZATION

I hereby apply for *Site Plan* Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the *Site Plan* specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Planner, the Town Engineer, and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: Russell Carroll Date: 4/12/22

Print Name of Owner: RUSSELL CARROLL

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: Russell Carroll Date: 4/13/22

Print Name of Developer: RUSSELL CARROLL

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The individual in charge of the project must notify the Code Enforcement Officer/Building Inspector within two (2) working days of any change.

WAIVER REQUEST #1:

Site Plan Regulation: Hudson Site Plan Regulation Chapter 275-8 C (2) – Required number of Parking Spaces.

Waiver Request: A waiver is requested from **Chapter 275-8 C (2)** in order to allow 91 parking spaces on a lot where 175 spaces as required per the regulation.

Basis of Waiver:

For Industrial lots, the Hudson Site Plan regulations parking requirement is: *one for each 600 square feet of gross floor space or 0.75 space per employee of the combined employment of the two largest consecutive shifts, whichever is larger.* Currently, the existing Airex building measures 78,700 square feet and the site contains 172 parking spaces, the majority of which are not used for parking vehicles. The total number of employees at this facility is 66, spread over two shifts that operate 7:30 AM-1:00 AM for 5 days per week (Monday thru Friday). Airex is not proposing to add any employees as part of this proposal. The proposed addition, which measures 26,120 square feet will eliminate a net 81 parking spaces currently located in the area of the proposed building addition. In calculating the required number of spaces, the larger amount per the Hudson Code is the 1 space per 600 square feet criteria which yields a requirement of 175 spaces. The proposed site plan shows a total of 91 spaces being provided. As a check, 0.75 times the combined employment of the two largest consecutive shifts would require 50 parking spaces.

Waiver Request Form Standards

The hardship reason for granting this waiver is that there is no reasonable way to add eighty-four (84) more parking spaces on this property in order to comply with the Site Plan Regulation. Doing so would exceed the allowed open space, create additional stormwater runoff, and be a waste of resources to build parking that simply isn't needed.

Granting this waiver will not be contrary to the spirit and intent of the Town's Land Use Regulations because the spirit and intent of Chapter 275-8 C (2) is that adequate parking is provided for the intended use. As has been stated above, given the past history of this site and the way this business uses three working shifts, adequate parking is provided.

Chapter 276-7 Waivers

The requirements of Chapter 275-8 C (2) are unnecessary.

The purpose of Chapter 275-8 C (2) is to ensure adequate number of parking spaces are provided for a particular use. Given the above stated reasons, it is Airex's opinion that ample parking is provided for this business operation.

Granting the waiver will not violate the purposes or general standards of the Land Use Regulations.

This waiver will not violate the public safety purposes of Chapter 275-8 C (2), in that the plan represents good planning principles and is balanced with regard to parking, building and open spaces.

Granting the waiver shall result in a general benefit to the Town and surrounding properties.

Granting the waiver will support the Airex building addition which will increase annual tax revenue and is the type of development specifically contemplated by the Town's Master Plan. As a result, the waiver will result in a general benefit to the Town.

WAIVER REQUEST #2:

Site Plan Regulation: Hudson Site Plan Regulation Chapter 275-8 C (6) – Required number of Loading Spaces.

Waiver Request: A waiver is requested from **Chapter 275-8 C (6)** in order to allow 10 loading spaces on a lot where 11 spaces are required per this code.

Basis of Waiver:

The Hudson Site Plan regulations loading requirement is: *one for each 5000 square feet of gross floor space plus 1 space for every additional 10,000 square feet of gross floor area.* Currently there are three loading docks to the existing building. It is being proposed to expand this structure in the back part of the site and building thereby displacing the existing loading docks and maneuver area. The proposed addition will include 1 recessed loading dock door and 1 drive-in overhead loading door; in addition to the existing 8 loading spaces around the existing facility. Some of the existing loading spaces are not currently used.

Waiver Request Form Standards

The hardship reason for granting this waiver is that providing 11 loading spaces is entirely unnecessary for this use. As stated above, Airex has operated upon this property for 4 years. They know and understand their loading needs. Strict enforcement of the loading requirement would pose a hardship to the applicant since it would mean that the building addition could not be constructed as envisioned and an unnecessary loading dock would have to be added to the design.

Integra believes that the above request is reasonable and meets the spirit and intent of the Town of Hudson Site Plan Regulations since the number loading docks and their intended location is sufficient for this business.

Chapter 276-7 Waivers

The requirements of Chapter 275-8 C (6) are unnecessary.

As indicated above, the purpose of Chapter 275-8 C (6) is to ensure that the correct number of loading spaces is provided for the intended use. The subject site will be served by 10 loading docks, overhead doors, and spaces located around the site.

Granting the waiver will not violate the purposes or general standards of the Land Use Regulations.

The general standards of the Hudson Site Plan regulations are to address public safety concerns related to the building and site expansion of this property. The reduction of 11 loading dock spaces to 10 spaces does not create a public safety concern.

Granting the waiver shall result in a general benefit to the Town and surrounding properties.

Granting the waiver will allow Airex to grow their business at their current location.



PROJECT NARRATIVE

Proposed Building Addition 17 Executive Drive Map 209, Lot 8 Hudson, New Hampshire 4 May 2022

The subject site under consideration for this application is located at 17 Executive Drive, Hudson, NH. The parcel is known to the Hudson Assessors Department as Map 209, Lot 8. The lot measures 7.368 acres and is located in the I - Industrial zoning district in the Sagamore Industrial Park. The site is abutted by Executive Drive to the south; and commercial/industrial properties to the west, north, east, and across Executive Drive.

The lot currently contains a 1-story, 78,700 square foot office, manufacturing and warehouse building along with associated parking and loading areas. Primary access to the site is provided via a curb cut on Executive Drive. Secondary access to the site is through an access easement on 19 Executive Drive. The site is currently serviced by municipal sewer and water, natural gas, and overhead telecommunications and electric utilities. Existing stormwater management practices consist of a series of catch basins, underground drain pipes, and vegetated swales. This collection system discharges to a series of manmade wetland swales, which in-turn discharge to the drainage pond, known as Telegraph Pond, along the easterly site boundary.

The property is the former Telegraph newspaper facility and is owned, along with 19 Executive Drive, by Stonehill Realty, LLC who is also the applicant. The property is a manufacturing facility Airex Filters Corporation, a family-owned company that manufactures and distributes air and water filters, and specialty filtration products for residential, commercial, and industrial applications. It is being proposed to construct a 1-story, 26,200 square foot warehouse addition on the west end of the existing building. The proposed expansion will contain warehouse space to support the manufacturing operation. The facility currently has portable storage containers to meet supplemental warehousing needs, which will be removed from the property when the new warehouse addition is completed. Associated site improvements include new parking and loading dock areas, new drainage systems

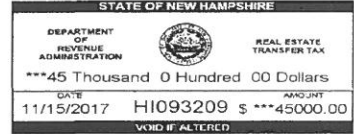
and a new stormwater management basin, new electric service, landscaping, and site lighting. A new 18-space parking lot is proposed adjacent to the proposed addition. To the best of our knowledge the sewer, water, gas, telecommunication and electric utilities present in the adjacent roadway have adequate capacity to service this intended use.

Upon project completion, the site will contain approximately 35.2% open space, where 35% is the minimum required by zoning. The layout for the building addition and associated site improvements has been developed to minimize environmental issues. The site development associated with the overall construction of this project disturbs approximately 91,000 square feet of contiguous area.

A traffic report has been prepared by the traffic consultant which summarizes the anticipated impacts of the proposed project on the area road network.



Return to: *Geary + Geary, LLP*



Account # *349*

WARRANTY DEED

NCAP, LLC, a Delaware limited liability company with an address of 1403 Foulk Road, Suite 200, Wilmington, DE 19803-2788

for consideration paid, grants to

STONEHILL REALTY, LLC, a New Hampshire limited liability company with an address of 14 Clement Road, Hudson, NH 03051

with WARRANTY COVENANTS

A certain tract or parcel of land, with the buildings thereon, situate on the northerly side of Executive Drive, in Hudson, Hillsborough County, New Hampshire, being shown as Lot **10-15**, on a plan entitled "TAX MAP 10 LOT 15 AMENDED SITE PLAN THE TELEGRAPH 17 EXECUTIVE DRIVE HUDSON, NEW HAMPSHIRE PREPARED FOR DAVID W. CHEEVER, ARCHITECT" WITH A SCALE 1" =40', dated October 21, 1999, prepared by TFM civil engineers recorded in the Hillsborough County Registry of Deeds as **Plan 31078**, more particularly described and shown thereon.

Said Lot 10-15 containing 7.367 Acres +/- according to said plan.

Subject to all matters shown or referred to on said Plan 31078.

Subject to all other covenants, restrictions, conditions, easements, reservations and rights-of-way of record, to the extent valid, subsisting and enforceable, and the following matters as they may affect the property, provided that this shall not serve to re-impose any of the same:

- (1) An easement from Ferd G. Gaukstern, at al, to Public Service Company of New Hampshire and New England Telephone and Telegraph Company dated August 7, 1973, and recorded in the Hillsborough County Registry of Deeds in Volume 2323, Page 533;
- (2) An easement by Madison Investment Group to New England Telephone and Telegraph Company and Public Service Company of New Hampshire, over land shown as Lot 1E on Plan 9509, recorded in the Hillsborough County Registry of Deeds in Volume 2750, Page 698;
- (3) Such implied easement(s) and/or right(s) of way as may exist, if any such there may be, as reserved in a deed from Lizzie M. Holt to Peter Kashulines dated November 24, 1914, and recorded in Hillsborough County Registry of Deeds in Volume 727, Page 249;

- (4) Rights and reservations as contained in an agreement by and between Susan C. Greeley and Samuel A. Greeley and Walter A. Lovering by instrument dated October 8, 1898, recorded in the Hillsborough County Registry of Deeds in Volume 583, Page 25, if and as the same may still be applicable;
- (5) Rights contained in an instrument from Hannah E. Connell and Philip J. Connell to Walter A. Lovering dated February 25, 1899, recorded in said Registry in Volume 585, Page 41, if and as the same may be applicable;
- (6) Rights contained in an instrument by and between Willis L. Fuller and Walter A. Lovering dated July 3, 1899, and recorded in said Registry at Volume 587, Page 16, if and as the same may still be applicable;
- (7) Easement Agreement by and between Telegraph Publishing Company and Gerald Q. Nash dated October 5, 1987 and recorded in said Registry 4431 Page 309, as it may affect or benefit the property;
- (8) Telegraph Amended Site Plan Development Agreement between Telegraph Publishing Company and the Town of Hudson dated November 11, 2000 and recorded in said Registry at Book 6411 Page 1082, as it may affect the property;

This property is also conveyed subject to:

The lien of taxes and assessments for the year 2017 and subsequent years; and

Matters that would be shown by an accurate survey and inspection of the surface of the property.

For title references see Warranty Deed from Telegraph Publishing Company to NCAP, LLC dated April 19, 2013, recorded in said registry at Book 8551 Page 2191.

[Remainder of page intentionally blank; signature page follows]

Witness my/our hands this ____ day of November, 2017

[Signature]
Witness

NCAP, LLC, a Delaware limited liability company

Clara A. Paschitti
By Clara A. Paschitti
Its Assistant Manager

STATE/Commonwealth of Delaware
COUNTY OF New Castle

On this 14th day of November, 2017, before me, the undersigned officer, personally appeared Clara A. Paschitti, the duly authorized Assistant Manager of **NCAP, LLC**, a Delaware limited liability company, known to me (or satisfactorily proven) to be the persons whose name is subscribed to the within instrument and acknowledged that she executed the same for the purpose therein contained on behalf of the Company.

Lisa Renee Willis
Justice of the Peace/Notary Public



LISA RENEE WILLIS
NOTARY PUBLIC
STATE OF DELAWARE
My Commission Expires June 10, 2020

Feb 4 4:02 PM '80

FEB 4 4 02 PM '80

NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY

- EASEMENT -

HILLSBOROUGH COUNTY
REGISTRY OF DEEDS

Know All Men By These Presents That MADISON INVESTMENT GROUP, a Limited Partnership, of Manchester, County of Hillsborough, State of New Hampshire, for consideration paid, grants to NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY, a New York corporation with its principal place of business at 185 Franklin Street, Boston, Massachusetts, and PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE, a corporation duly established by law and having a mailing address of P. O. Box 330, Manchester, New Hampshire, and their successors and assigns forever, as tenants in common, with quitclaim covenants, the right to lay, construct, reconstruct, operate, maintain, replace and remove lines for the transmission of intelligence, including the necessary poles, wires, cables, conduits, pipes, manholes, guys, anchors, fixtures and appurtenances upon, under and over the following described premises in the Town of Hudson, County of Hillsborough, State of New Hampshire, of which it is the sole owner, bounded and described as follows, to wit: A certain tract or parcel of land situated on the northerly side of Executive Drive and being shown as Lot 1E on a Plan numbered 9509 at the Hillsborough County Registry of Deeds. For Grantor's title, see Book 2585, Pages 784 and 785.

The above granted rights being more particularly described as the right to construct, reconstruct, operate, maintain, replace and remove poles with the wires and/or cables thereon, with the necessary guys, anchors, fixtures and supports within a strip of land 20 feet in width and/or the right within said strip to lay, construct, reconstruct, operate, maintain, replace and remove the necessary cables, and/or conduits, pipes, manholes and such surface testing terminals, repeaters and markers and such other appurtenances with wires or cables therein, as the Grantees may, from time to time desire, upon, over and under said described premises, with the right to cut down and keep trimmed and/or spray or treat with a chemical preparation of the Grantees' selection all trees, bushes, underbrush and growth, including the foliage thereon, as the Grantees may deem necessary in the exercise of all the above rights, and with the right to permit the attachments of and/or to lay or carry in conduits the telephone and telegraph wires and cables of any other company; the location of said strip to be determined by and to become permanent upon the erection of the poles, laying of cables, and/or construction of conduits in said lines, with permission to enter upon said strip and upon said premises for access thereto for all the above purposes.

In Witness Whereof, MADISON INVESTMENT GROUP has caused these presents to be signed and its corporate seal to be hereto affixed by Robert M. Stewart, General Partner, and James R. Meyers, General Partner, thereunto duly authorized, this 27th day of JANUARY, 1980.

Witness [Signature]

Witness [Signature]

MADISON INVESTMENT GROUP
By [Signature]
Robert M. Stewart, General Partner

By [Signature]
James R. Meyers, General Partner

State of New Hampshire
County of Hillsborough ss
January 29, 1980

The foregoing instrument was acknowledged before me by Robert M. Stewart and James R. Meyers of MADISON INVESTMENT GROUP, a Limited Partnership, on behalf of the Partnership.

Consideration less than \$100.00.

[Signature]
Notary Public/Justice of the Peace
CYNTHIA BRIGGS, Notary Public
My Commission Expires October 28, 1982

STATE OF NEW HAMPSHIRE
TAX ON TRANSFER OF REAL PROPERTY
10058
FEB-1980
10058

T.S. 10.00

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EASEMENT AGREEMENT

Agreement made this 5TH day of October, 1987 by and between TELEGRAPH PUBLISHING COMPANY, a New Hampshire corporation having a usual place of business at 17 Executive Drive, Hudson, New Hampshire ("Telegraph") and GERALD Q. NASH having a business address of 40 Temple Street, Nashua, New Hampshire ("Nash").

Telegraph is the owner of certain land located at 17 Executive Drive, Hudson, Hillsborough County, New Hampshire shown as Lot 10-15 ("Lot 10-15") on a plan entitled "Resubdivision & Consolidation Plan of Land, Telegraph Publishing Co., Hudson, New Hampshire" dated November 24, 1986 and recorded in the Hillsborough County Registry of Deeds as Plan #21080 (the "Plan").

Nash is the owner of certain land located at 19 Executive Drive, Hudson, Hillsborough County, New Hampshire, shown as Lot 10-14-6 on the Plan ("Lot 10-14-6").

NOW THEREFORE:

In consideration of the mutual covenants hereinafter set forth, each party hereto, intending to be legally bound, hereby covenants and agrees with the others as follows:

**ARTICLE I
DEFINITIONS**

1.1 Unless the context otherwise requires, the terms defined below shall for all purposes of this Agreement, have the respective meaning set forth below, the following definitions to be equally applicable to both the singular and plural forms of any of the terms defined:

A. Owner: The registered Owner, at any time, of the fee simple interest of either Lot 10-15 or Lot 10-14-6.

B. Tenant: Any person, firm, or corporation occupying the whole or part of Lot 10-15 or Lot 10-14-6 under a written lease or other document granted or devised by or under an Owner, and shall include valid subtenants and licensees.

**ARTICLE II
EASEMENTS**

2.1 Grant of Access Easement For Benefit of Lot 10-15: Nash hereby gives, grants and conveys to Telegraph, its successors and assigns, a permanent non-exclusive right and easement to pass and repass, both pedestrian and vehicular, upon, across and over that portion of Lot 10-14-6 contained in the "Access Easement" shown on the Plan. The right and easement granted hereby shall be for the benefit of the Owner of Lot 10-15 and the Tenants of such Owner now or hereafter occupying a building, a portion of a building or buildings on Lot 10-15 for the duration of such tenancy and to the customers,

BK4431 P60309

employees and business invitees of Owner and such Tenants. In the event the Owner of Lot 10-14-6 does not repair the paved driveway in the Access Easement and keep the same free of ice and snow, the Owner of Lot 10-15 shall have the further right and easement to do the same. Nash reserves the right to relocate the Access Easement on Lot 10-14-6, provided direct access is maintained to Executive Drive across Lot 10-14-5 for the benefit of Lot 10-15 and further provided that the proposed relocation of the Access Easement is reasonably acceptable to the Owner of Lot 10-15.

2.2 Grant of Access Easement For Benefit of Lot 10-14-6: Telegraph hereby gives, grants and conveys to Nash, his heirs, successors and assigns, a permanent non-exclusive right and easement to pass and repass, both pedestrian and vehicular, upon, across and over that portion of Lot 10-15 contained within the "Access Easement" as shown on the Plan which portion is approximately 10 feet in width and runs along the northern lot line of Lot 10-14-6. The right and easement granted hereby shall be for the benefit of the Owner of Lot 10-14-6 and the Tenants of such Owner now or hereafter occupying a building, a portion of a building or buildings on Lot 10-14-6 for the duration of such tenancy and to the customers, employees and business invitees of Owner and such Tenants.

2.3 Grant of Electric and Telephone Easement For Benefit of Lot 10-14-6: Telegraph hereby gives, grants and conveys to Nash, his heirs successors and assigns, a permanent non-exclusive right and easement to lay, construct, reconstruct, operate, maintain, replace and remove lines for the transmission of electricity and telephone communication, including the necessary poles, wires, cables, conduits, pipes, manholes, guys, anchors, fixtures and appurtenances upon, under and over that portion of Lot 10-15 shown as "20' Wide Electric & Telephone Easement", with the right to cut and keep trimmed all trees, bushes, under brush and growth necessary in the exercise of the above rights, provided the surface of Lot 10-15 shall be restored, as practicably as possible, to its prior condition after such construction and other activity mentioned above is completed.

WITNESS our signatures the date first written above.

Witnesses:

Curtis W. Little Jr.
(to all)

TELEGRAPH PUBLISHING COMPANY

By: Andrew T. Bickford
Andrew T. Bickford

Gerald Q. Nash
Gerald Q. Nash

BK4431 160310

State of New Hampshire
County of Hillsborough

The foregoing instrument was acknowledged before me this 5TH day of October, 1987, by Andrew T. Bickford, Secretary of Telegraph Publishing Company, a corporation organized and existing under the laws of the State of New Hampshire on behalf of said corporation.

J. Lowell J. Myers
Justice of the Peace/Notary Public

State of New Hampshire
County of Hillsborough

The foregoing instrument was acknowledged before me this 5TH day of October, 1987, by Gerald Q. Nash.

J. Lowell J. Myers
Justice of the Peace/Notary Public

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Hudson Plan

TELEGRAPH AMENDED SITE PLAN DEVELOPMENT AGREEMENT

This Agreement is entered into this 11 day of November 2000, between Telegraph Publishing Company (Applicant) and the Town of Hudson (Town). It represents the understanding of the parties regarding the granting by the Hudson Planning Board of site plan approval for the development of a 12,672 sq. foot addition and 22 additional parking spaces and other improvements pursuant to the plans and conditions referenced below.

WHEREAS, the Applicant is proposing a site plan for the development/construction of a 12,672 sq. foot addition and 22 additional parking spaces at land located on/off 17 Executive Drive (Tax Map 10/Lot 15) in Hudson, New Hampshire, as shown on the final plan entitled Telegraph Amended Site Plan SP#30-99 Map 10, Lot 15, prepared by TF Moran, dated October 21, 1999, last revised December 22, 1999.

WHEREAS, the Hudson Planning Board has been duly authorized to regulate the subdivision of land and to approve and disapprove site plans for multifamily dwelling units and nonresidential developments pursuant to RSA 674 et seq.

WHEREAS, Applicant has applied for approval for the above described project in compliance with Town zoning ordinances, subdivision regulations, site plan regulations and the rules and regulations of Hudson Planning Board.

WHEREAS, site plan approval is conditioned upon the execution of a Development Agreement.

In consideration for the Hudson Planning Board granting site plan approval, the parties hereby agree as follows:

I

Final site plan approval is granted for the project entitled Telegraph Amended Site Plan, SP# 30-99, Map 10/Lot 15, prepared by TF Moran, dated October 21, 1999, last revised on December 22, 1999, Hillsborough County Registry of Deeds Plan No. 21028 with the following stipulations:

- A. That the stipulations of approval shall be incorporated into the Development Agreement, which is to be signed and recorded.
- B. A CAP fee in the amount of \$7,856.64 shall be paid prior to the issuance of the Certificate of Occupancy subject to annual inflation indexing as permitted by the impact fee methodology.
- C. The applicant must receive a sewer permit from the Sewer Utility Committee subject to the terms of the Sewer Moratorium Disclosure agreement dated December 1, 1999.
- D. The location of a third fire hydrant to be added to the plan.
- E. All conditions contained in the notes of the plan are incorporated herein by reference as approved by the Planning Board. Furthermore, all representations of fact or intention made by

BK641 PG1082

the applicant or any of applicant's representatives during testimony before the Planning Board relative to the obtaining of approval of this plan, shall be considered conditions of this approval regardless of the fact that such fact or intentions were not specifically stated as part of the motion to grant.

II

Applicant shall comply with all subdivision, site review and zoning regulations which have been promulgated by the Town and which are in effect as of the date of this Agreement. If this Agreement contains terms, including but not limited to variance and special exception stipulations granted by the Hudson Zoning Board of Adjustment, which are stricter or impose higher standards than the above mentioned regulations, the stricter or higher standards shall control. All improvements shall meet the standards of workmanship as required by the Town, as required by the New Hampshire Water Supply and Pollution Control Commission, as required by the New Hampshire Department of Transportation, and as required by the New Hampshire Wetlands Board.

III

Applicant shall obtain all necessary local, state and federal permits prior to commencing work and shall comply fully with their terms.

IV

Applicant shall comply with the plan as submitted to, reviewed by and approved by the Planning Board, including but not limited to, notations set forth on the plan. Deviation from or amendments to the plan may only be made with the written approval of the Planning Board or the Town Engineer as appropriate.

V

Applicant acknowledges that it will have sole responsibility for ensuring the quality of the construction and that Applicant will not hold the Town, building inspector or other officers, employees, agents or assigns of the Town responsible for any claims, damages, fees or costs alleged to be incurred on account of the Town's negligent inspection of the improvements to be constructed. Similarly, Applicant agrees to hold harmless and indemnify the Town for any claims, damages, fees or costs sought or asserted by third parties against the Town on the grounds of negligent or improper inspection of the construction of the improvements called for herein.

VI

Applicant shall provide and install erosion and sedimentation control measures as required by the plan, by RSA 149-M, and as deemed necessary by the Town Engineer or his designated agent.

VII

The Applicant shall be responsible for any off-site problems which arise from this construction. This includes, but is not limited to, erosion, runoff, sedimentation, drainage, property damage by construction equipment, including damage to existing streets, sewers and drainage systems. Upon

notification by the Town in writing, the developer must submit a plan within one week to remedy the problem. The Town Engineer division shall then set a construction schedule in consultation with the developer so that the problem can be corrected as soon as practical.

VIII

It is the intent of the signatories to the Agreement that only they can sue to enforce the Agreement's terms. The Agreement confers no rights on third parties.

IX

The Applicant's promise to perform improvements incorporated herein is an obligation independent from any alleged breach by the Town, once the Planning Board has given the developer site plan/subdivision approval and work on the site has begun.

X

Applicant shall notify the Town Engineer at least sixty (60) days prior to anticipated construction. A pre-construction meeting shall be held at least thirty (30) days prior to commencement of construction. A three-party inspection agreement and any other pertinent documents shall be finalized prior to the preconstruction meeting.

XI

The Agreement to complete bonded or otherwise secured improvements is not contingent upon the commencement of work on the site or on the sale of any of the lots or property contained in the approved plan.

XII

When Applicant completes the site plan improvements, Applicant shall notify the Town Planner in writing of such completion. Promptly after receiving such notification, the Town Planner, or the Planner's designated agent, shall inspect the improvements to determine whether they are in compliance with the Agreement and the site plan in all material respects. If the improvements do not comply, the Town Planner shall notify Applicant of disapproval and grounds therefor. This written notice shall specify in reasonable detail the deficiencies which need to be corrected. If the improvements are in conformity with the Agreement and the building otherwise meets all code requirements, the Town Planner shall issue Applicant a Certificate of Completion within ten (10) working days. Applicant shall then apply to the Building Inspector for a Certificate of Occupancy.

XIII

If the Town shall fail to notify Applicant in writing of its approval or rejection of the completed improvements within forty (40) days of the receipt of any such notice of completion, the improvement shall be deemed to be approved by the Town as completed in accordance with this Agreement. This period may be extended for thirty (30) days upon the Town's showing that the forty (40) day period is insufficient to enable the Town to reach such a determination despite using due diligence due to factors beyond the control of the Town.

BK6411PG1084

XIV

At the time of plan recording, Applicant shall also execute and deliver to the Town easements for sewer, drainage, water, utilities as may be specified by the Hudson Planning Board, or otherwise specified on the plan.

XV

The Applicant shall remove all waste from the particular site prior to the issuance of any Certificate of Completion or occupancy permit. All waste will be removed in compliance with applicable Town, State and Federal regulations.

XVI

Prior to commencing construction, Applicant agrees to pay all fees as required by all ordinances and regulations of the Town in effect at the time of this Agreement, as well as any other fees imposed by the Hudson Planning Board, upon application for a building permit, unless phased payments are provided for. Applicant shall have an affirmative obligation to supplement this fee schedule as information about the number of dwelling units per lot becomes available.

XVII

Applicant agrees that if in the future the Town determines that Applicant has committed a material breach of this Agreement or has violated any Town zoning, subdivision, site plan or any State land use or environmental law or regulation or building code, and said material breach or violation is decided against Applicant by a court of competent jurisdiction in a legal action by the Town against Applicant, Applicant agrees to pay, on demand, all reasonable attorney fees, court costs, sheriff charges and related costs incurred by the Town in connection with the breach or violation to the extent that said fees, costs and charges would not have been incurred had the breach or violation not occurred.

XVIII

A note shall be added to the recorded plan. This note shall state the existence of this Development Agreement, and that a copy of it is on file with the Planning Department or other designated Town department. This Agreement shall be recorded with the plan.

XIX

This agreement shall run with the land and shall be binding on any subsequent purchaser of the property and/or on applicant's successors and/or assigns, and on any successor entity.

XX

Severability: If any section, clause, provision, article or portion of this contract shall be invalidated by any court of competent jurisdiction, such holding shall not invalidate any other section of this Agreement.

IN WITNESS WHEREOF, the parties have hereunto set their hands the day and year first written above.

TELEGRAPH PUBLISHING COMPANY

Jennifer Bower
Witness

BY: Terrence L. Williams
Title: Publisher Terrence L. Williams, Publisher

TOWN OF HUDSON

Pamela Larive
Witness

BY: George R. Hall, Jr.
Title: George R. Hall, Jr.
Planning Board Chairman

BK641PG1086

MODIFIED PROTECTIVE COVENANT STANDARDS

FOR

LAND KNOWN AS EXECUTIVE PARK, HUDSON, NEW HAMPSHIRE

I. Introduction

Previously, Ferd Gaukstern and H. Robert Weisman, General Partners of Gaukstern & Weisman, a New Hampshire General Partnership having a principal place of business at 10 Redmond Street, Nashua, New Hampshire, on May 3, 1979, duly executed Protective Covenant Standards for Land Known as Executive Park, Hudson, New Hampshire and caused same to be recorded in the Hillsborough County Registry of Deeds at Book 2686, Page 256. It has been decided to modify the original Protective Covenant Standards and accordingly the within document was generated which, once recorded, will effectively modify the original Protective Covenant Standards for Land Known as Executive Park, Hudson, New Hampshire and accordingly, this document replaces and supersedes the original Protective Covenant Standards dated May 3, 1979. For all purposes, the within document shall control and shall supersede the original.

II. Land Area

The following parcels of land, and the buildings and improvements erected thereon, shall be subject to these Protective Covenants:

All that certain tract or parcel of land situate in the Town of Hudson, County of Hillsborough and State of New Hampshire, and being shown as Lots 1C, 1D, 1E, 1F, 1G, 1H, 1J, 1K, 1L, and 1M, on a "Re-sub-division Plan Robert Robbins & Ferd Corp. & Upaco Adhesives, Inc., Hudson, New Hampshire, Scale: 1" = 100', dated November 14, 1973 with appropriate revisions through April 7, 1976," and recorded in the Hillsborough County Registry of Deeds as Plan No. 9509.

III. Statement of General Purposes

In general, to provide adequately for a quality industrial park and to insure owners therein the right to protect their property investments. To require the erection of attractive improvements with appropriate locations on building sites.

To guard against the erection of structures built of improper or unsuitable materials.

To protect the owners of building sites against such improper use of surrounding building sites as will depreciate the value of their property.

To insure proper use and appropriate development and improvement of each building site.

To prevent haphazard and inharmonious improvements of building sites.

To secure and maintain proper setbacks from streets, and adequate free spaces between structures.

NOV 14 3 19 PM '79
NOV 14 3 19 PM '79
HILLSBOROUGH COUNTY
REGISTRY OF DEEDS

IV. Assurance of Protection

Provisions of covenants are designed to protect the grantor, grantees and lessees of the park.

V. Duration of Protective Covenants

Each of the conditions, covenants, restrictions and reservations set forth shall continue and be binding upon the grantor and upon its successors and assigns and upon each of them and all parties and all persons claiming under them for a period of fifteen (15) years from the date of this document.

A. Preliminary Plans

All buildings, modifications, additions and other improvements in the park shall be of a quality design and of quality materials and constructed in a manner and fashion to be in aesthetic harmony with the other existing structures presently in the park and constructed so as to avoid design conflicts with other buildings. All proposed construction shall be approved by the Town of Hudson consistent with their normal procedures in reviewing building plans, site plans, access, etc. and considering the proposed harmony with the other buildings in the park.

B. Landscaping

Landscaping shall be done attractively with proper lawn, trees, shrubbery and greenery arrangements to provide an aesthetically pleasing atmosphere and all lot owners, lessees and assignees shall maintain all landscaping by insuring that the lawns are properly mowed and shrubs, hedges and other greenery properly trimmed to maintain a neat and orderly appearance.

C. Building Set-Backs

No building, additions thereto, or storage facilities shall be erected on any lot so as to be in violation of the Zoning Ordinances of the Town of Hudson.

D. Parking

Parking requirements for each lot and buildings erected thereon shall be in accordance with the Zoning Ordinances of the Town of Hudson.

E. Ratio of Land to Building

The ratio of land areas to plant and building areas shall not be in violation of the Zoning Ordinances of the Town of Hudson.

F. Right-of-Way Easements

Lessees or grantees shall not, without the prior written consent of the grantor, construct or permit the construction of any railroad track or other utility upon the premises and no railroad company or other utility shall be allowed to use any tract or right-of-way now or hereafter upon, or extending to, any part of lessee's premises without the permission in writing of the grantor. It is the desire, notwithstanding this restriction of the grantor, to assure the provisions of all necessary facilities.

G. Storage Facilities

Any finished products, semi-finished products, raw materials, supplies, etc. may be stored outside the buildings, provided that proper and suitable screening be erected to insure that such storage is not unsightly or a nuisance or discomfort to other buildings or operations in the park and in no event shall such storage be placed on the side of the building parallel to an existing or proposed street or right-of-way. Fuel oil storage tanks as a part of the heating equipment of any establishment shall be permitted only if located under ground and sufficiently hidden to prevent an unsightly condition.

H. Waste Disposal

No waste material or refuse shall be dumped upon or permitted to remain outside of any building constructed on any lot. Any industrial use which produces industrial sewerage shall provide for the satisfactory treatment and disposal of the same by methods approved by the State of New Hampshire and the Town of Hudson.

I. Billboards and Signs

All billboards or signs shall be attractively designed and constructed on the premises, provided that the least number and smallest size of such sign shall be attached thereto as is necessary for announcement of the occupant of such structure and all unnecessary signs, placards and announcements not directly connected with such operation and occupation or deemed not totally necessary shall be prohibited and only with proper approval of the Town of Hudson.

J. Smoke, Odor, Dust, Dirt and Fly Ash, Noise and Glare

Glare and heat from arch welding, acetylene torch cutting or similar process shall be controlled so as not to be objectionable or to disturb surrounding premises. Smoke shall be regulated to prevent unnecessary and unsightly contamination to the atmosphere and surrounding premises so as not to create a nuisance as applied by the laws of the State of New Hampshire. All occupants of the premises shall use reasonable efforts to control unnecessary dust, dirt and fly ash so as not to exceed .3 grains per cubic foot of flue gas at stack temperatures of 500° Fahrenheit and shall not exceed 50% excess air and shall in no manner be unclean, destructive, unhealthy, hazardous nor shall visibility be impaired.

Tanneries, stock yards, glue factories, oil refineries, soap factories, artificial gas manufacture, rubber manufacture, fertilizer manufacture and similar industries which may provide conditions for nuisance must first meet state and local approval for such intended use and operation prior to such occupation.

VI. Definition of Terms

Building site shall mean any lot, or portion thereof, or two or more contiguous lots or portions thereof, or a parcel of land upon which an industry or specifically approved non-manufacturing buildings and appurtenant requirements of these covenants.

Improvements shall mean and include industrial building or buildings, outbuildings, appurtenant thereto, parking areas, loading areas, fences, masonry walls, hedges, lawns, mass plantings and any structures of any type or kind located above ground.

Building line or lines shall mean the minimum distances which non-manufacturing or industrial buildings and outbuildings or any structures of any type or kind located above ground shall be set back from the property or street lines, and reference is hereby made to the recorded plat of the addition in which is located real property subjected to these covenants for the location of such building lines.

The covenants, conditions, reservations and instructions created herein for the benefit of said Executive Park and each subdivision thereof may be waived, abandoned, terminated, modified, altered or changed as to the whole of said Executive Park, or any portion thereof, upon the written consent of the owners of not less than 2/3 (67%) by acreage of the owners of the lots in said subdivision and such waiver, abandonment, termination, modification, alteration or change shall become effective when a copy thereof has been filed with the office of the Registrar of Deeds for Hillsborough County.

Severability shall mean: Invalidation of any one of these covenants by judgment or court order shall in no way affect any of the provisions which shall remain in full force and effect.

WITNESS our hands and seals this 9th day of November, 1979.

WITNESSES:

[Signature]

[Signature]

GAUKSTERN AND WEISMAN

BY: [Signature]
Ferd Gaukstern, Partner

BY: [Signature]
H. Robert Weisman, Partner

WITNESS:

[Signature]

ASTRODYNE, INC.

BY: [Signature]
Warren Heinzelmann, President

John D. Patey

NOR-HUD REALTY TRUST

BY: Karl E. Howard

John D. Patey

NOR-HUD-WARE REALTY TRUST

BY: Karl E. Howard

Michael H. Madala

JTT ASSOCIATES

BY: Arthur S. Guy, Jr.

STATE OF NEW HAMPSHIRE
COUNTY OF HILLSBOROUGH

The foregoing instrument was acknowledged before me this 9th day of November, 1979, by Ferd Gaukstern and H. Robert Weisman.

John D. Patey
Justice of the Peace/Notary Public

STATE OF NEW HAMPSHIRE
COUNTY OF HILLSBOROUGH

The foregoing instrument was acknowledged before me this 1st day of November, 1979, by Karl E. Howard, Trustee on behalf of Nor-Hud Realty Trust.

John D. Patey
Justice of the Peace/Notary Public

STATE OF NEW HAMPSHIRE
COUNTY OF HILLSBOROUGH

The foregoing instrument was acknowledged before me this 1st day of November, 1979, by Karl E. Howard, Trustee on behalf of Nor-Hud-Ware Realty Trust.

John D. Patey
Justice of the Peace/Notary Public

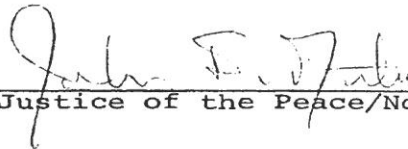
STATE OF NEW HAMPSHIRE
COUNTY OF HILLSBOROUGH

The foregoing instrument was acknowledged before me this 9th day of November, 1979, by Arthur S. Guy, Jr. of JTT Associates.

John D. Patey
Justice of the Peace/Notary Public

STATE OF NEW HAMPSHIRE
COUNTY OF HILLSBOROUGH

The foregoing instrument was acknowledged before me this 1st
day of November, 1979, by Warren Heinzelmann, President of
Astrodyne, Inc.


Justice of the Peace/Notary Public

KNOW ALL MEN BY THESE PRESENTS:

That Siggie M. Holt of Hudson County of Hillsborough and State of New Hampshire; formerly of Bass River, said County of Hillsborough

In consideration of One dollar and other valuable to me paid by Peter Kashulines of said Hudson

the receipt whereof I do hereby acknowledge, have given, granted, bargained, sold and conveyed, and do for myself and heirs, by these presents, give, grant, bargain, sell and convey unto the said Peter Kashulines his heirs and assigns, forever,

A certain tract of land with the building thereon situate in Hudson, said County containing one hundred and fifteen (15) acres more or less and bounded and described as follows: Beginning at the Southeastly corner of the premises on said highway leading from Mohaus to Niwell at an angle in the wall and at land formerly of Austin Blodgett now of Philip J. Connell; thence by the wall and land of said Connell, South sixty-seven and one-fourth (67 1/4) degrees West fifty-nine (59) rods; South forty-two and one-half (42 1/2) degrees West forty-two (42) rods; seven (7) links; South fifty-seven (57) degrees West twenty (20) rods and nine (9) links and thence eighty-five (85) degrees West at the bank of the Mumismack River; thence Northwesterly up and by said Peter to land of heirs of the late John Chase and by said Chase land to a stone bound on the bank of said River; thence North sixty-six and one-fourth (66 1/4) degrees East by said Chase land in a straight line one hundred and twenty-one (121) rods to a large oak stump; thence Northwesterly by said Chase land and by the wall to said highway; thence southerly by the highway to the place of beginning. Together with all my rights for the purpose of constructing and maintaining a well on the farm of Hannah E. Connell, and the right to construct and maintain a pipe in said land and through land of Willard Fuller and S. C. Greeley. Acquired by their deeds dated Feb. 25th, 1899, July 3rd, 1899 and Oct. 8th, 1898. Being all water rights described in deed dated Oct. 8th, 1898 by S. C. Greeley to Walter A. Sawyer recorded in Vol. 583 Page 25 of Hillsborough Deeds. Also by Willard Fuller by deed dated July 3rd, 1899, recorded in Vol. 587, Page 16 of Hillsborough Deeds. Also by Hannah E. Connell Feb. 25th, 1899 recorded in Vol. 585 Page 21 of Hillsborough Deeds. Also same property deeded to W. A. Sawyer by S. V. Blodgett et al. dated Nov. 3rd, 1894. Meaning and intending to convey the same property deeded to me by Walter A. Sawyer May 3rd, 1901 recorded in Vol. 601, Page 25th Hillsborough Deeds. Said property is conveyed subject to the following conditions: The grantor reserves to herself the right of possession in said property, and to occupy the same until April 1st, 1915. Said property is also conveyed subject to leases held by Edward B. Tree and others for the purpose of maintaining camps near the river bank on said premises.

To HAVE AND TO HOLD the above-described premises, with all the privileges and appurtenances thereunto belonging to the said grantee his heirs and assigns, to their use and behoof forever. And I do covenant with the said grantee his heirs and assigns, that I am lawfully seized in fee of the afore-described premises; that they are free of all incumbrances; that I have good right to sell and convey the same to the said grantee in manner aforesaid; and that I and my heirs will warrant and defend the same premises to the said grantee his heirs and assigns forever, against the lawful claims and demands of any person or persons whomsoever.

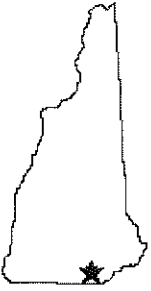
And I, Eugene A. Holt, husband of the said Siggie M. Holt, in consideration aforesaid, do hereby relinquish my right of power in the before-mentioned premises. And we, and each of us, hereby release our several rights of Homestead in said premises, under and by virtue of any law of this state.

In Witness WHEREOF we have hereunto set our hands and seals this 24th day of November in the year of our Lord, one thousand nine hundred and fourteen

Signed, sealed and delivered in presence of us:
Edward H. Wason Siggie M. Holt seal
Heleen I. Ruana Eugene A. Holt seal

STATE OF NEW HAMPSHIRE, HILLSBOROUGH, ss. November 24th, 1914
The above named Siggie M. Holt and Eugene A. Holt, personally appearing, acknowledged the above instrument to be their free act and deed.
Before me, Edward H. Wason JUSTICE OF THE PEACE.

HILLSBOROUGH, ss.—Received and recorded, 13.25 P.M. Nov. 24, 1914
and examined by Erwin R. Ford REGISTER.



TOWN OF HUDSON

Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

Zoning Determination #22-053

April 14, 2022

Russell Carroll
Stonehill Realty, LLC
17 Executive Dr
Hudson, NH 03051

Re: **17 Executive Dr Map 209 Lot 008-000**
District: Industrial (I)

Dear Mr. Carroll,

Your inquiry for Zoning Determination Request:

If the proposed 1 story, 26,200 sqft building addition to the existing 78,700 sqft industrial building is an allowed use as warehouse (accessory) to the products manufactured here, as shown on plan 1 of 13 dated 29 March 2022.

Zoning Determination:

Manufacturing is a permitted category [E-6] in §334-21 Table of Permitted Principal Uses. This proposed warehousing is an accessory/incidental use to manufacturing.

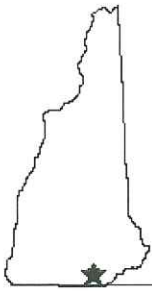
Sincerely,

Bruce Buttrick
Zoning Administrator/Code Enforcement Officer
(603) 816-1275
bbuttrick@hudsonnh.gov

cc: Public Folder
E. Blatchford – Consulting Engr
B. Groth, Town Planner
File

NOTE: this determination may be appealed to the Hudson Zoning Board of Adjustment within 30 days of the receipt of this letter.

#22-053



TOWN OF HUDSON
COMMUNITY DEVELOPMENT DEPARTMENT
APR 11 2022
Zoning Department

12 School Street
Hudson, NH 03051
(603)886-6005
www.hudsonnh.gov



Town of Hudson

REQUEST FOR ZONING and/or PLANNING INFORMATION / DETERMINATION

Date of request 04/11/2022

Property Location 17 Executive Drive

Map 209 Lot 008 -000

Zoning District if known I - Industrial

Type of Request

- Zoning District Determination
- Use Determination
- Set-Back Requirements
- Process for Subdivision/ Site Plan if required
- Other

Description of request / determination: (Please attach all relevant documentation)

This request is for confirmation that the proposed 1-story, 26,200 SF building expansion to the existing 78,700 SF industrial building (Airex Filters Corp.) is an allowed use in the I - Industrial zone. The building addition will be used for additional warehouse space for the Airex products manufactured in the existing facility.

Applicant Contact Information:

Name: Stonehill Realty, LLC, Attn: Russell Carroll
Address: 17 Executive Drive, Hudson, NH 03051
Phone Number: 800-660-2298

unofficial

For Office use

ATTACHMENTS: TAX CARD GIS

NOTES: _____

ZONING DETERMINATION LETTER SENT DATE: _____

Buttrick, Bruce

From: Earle Blatchford <eblatchford@hayner-swanson.com>
Sent: Monday, April 11, 2022 10:18 AM
To: Buttrick, Bruce
Cc: Groth, Brian; Jack Schroeder
Subject: Airex Filters Corp., 17 Executive Drive - Proposed Warehouse Building Addition
Attachments: 4-11-2022 Request for Zoning Determination Transmittal.pdf

EXTERNAL: Do not open attachments or click links unless you recognize and trust the sender.

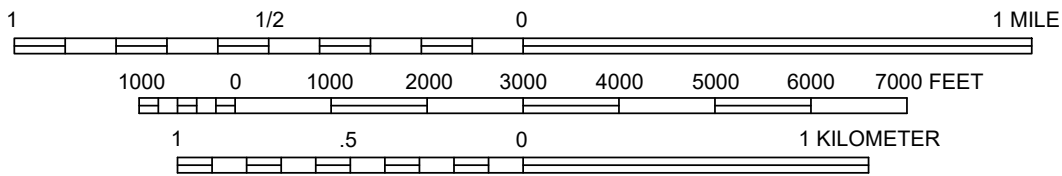
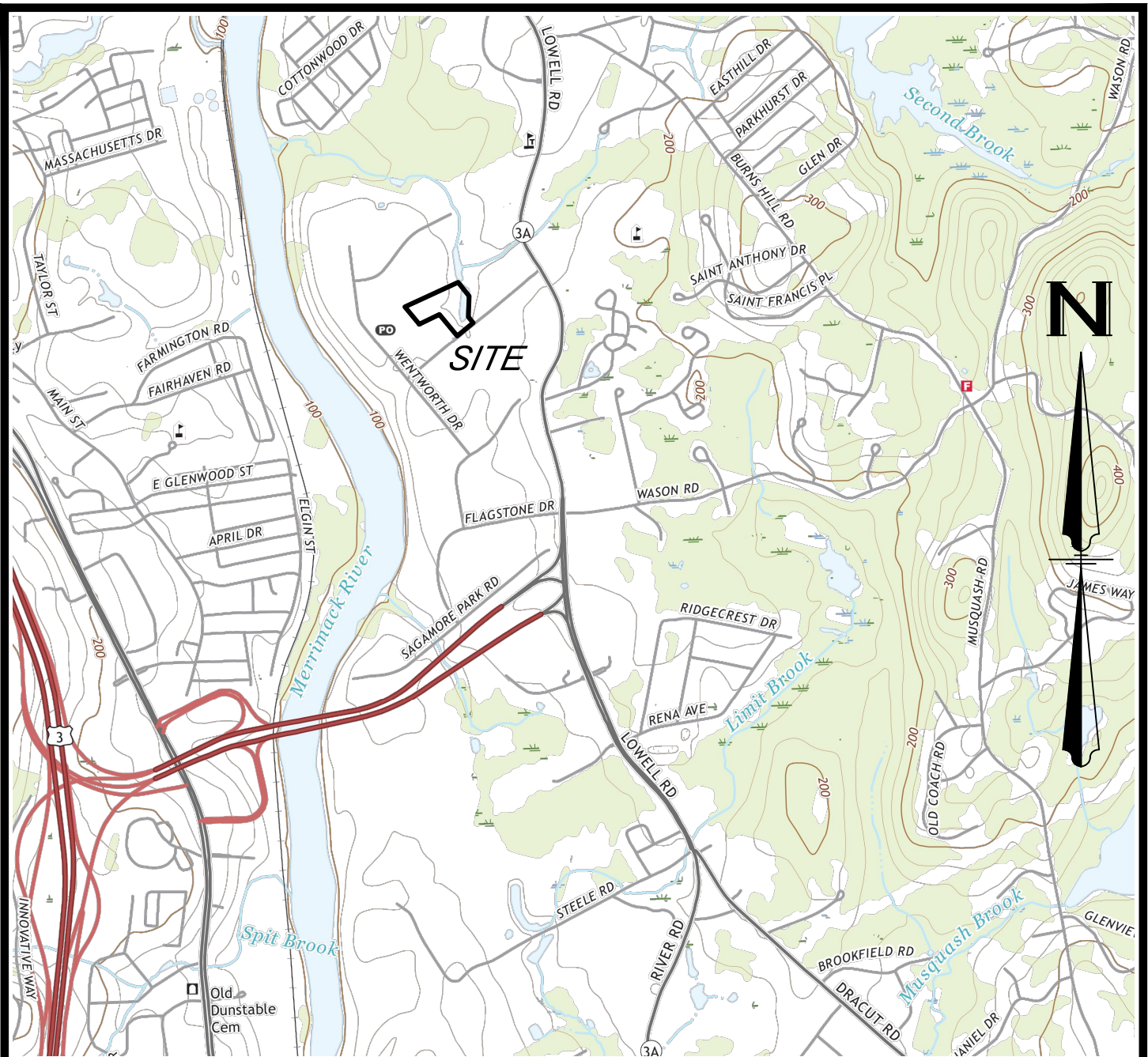
Good morning Bruce,

Attached is a Request for Zoning Determination for a proposed 1-story, 26,200 SF warehouse addition to the existing Airex Filters Corp. manufacturing facility at 17 Executive Drive (Tax Map 209, Lot 8). Let me know if you need any additional information, or a hard copy of the attached materials.

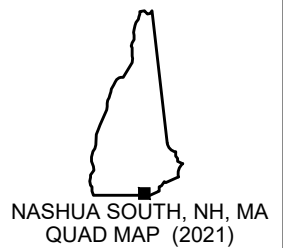
Regards,

Earle

Earle Blatchford
Senior Project Manager
Hayner/Swanson, Inc.
*3 Congress Street
Nashua, NH 03062
phone: 603.883.2057 x132
fax: 603.883.5057
eblatchford@hayner-swanson.com
www.hayner-swanson.com*



CONTOUR INTERVAL 20 FEET
 NORTH AMERICAN VERTICAL DATUM OF 1988



VICINITY PLAN
PROPOSED BUILDING ADDITION
17 EXECUTIVE DRIVE
HUDSON, NH

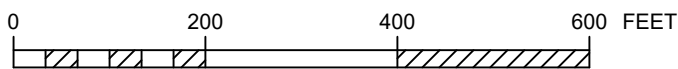
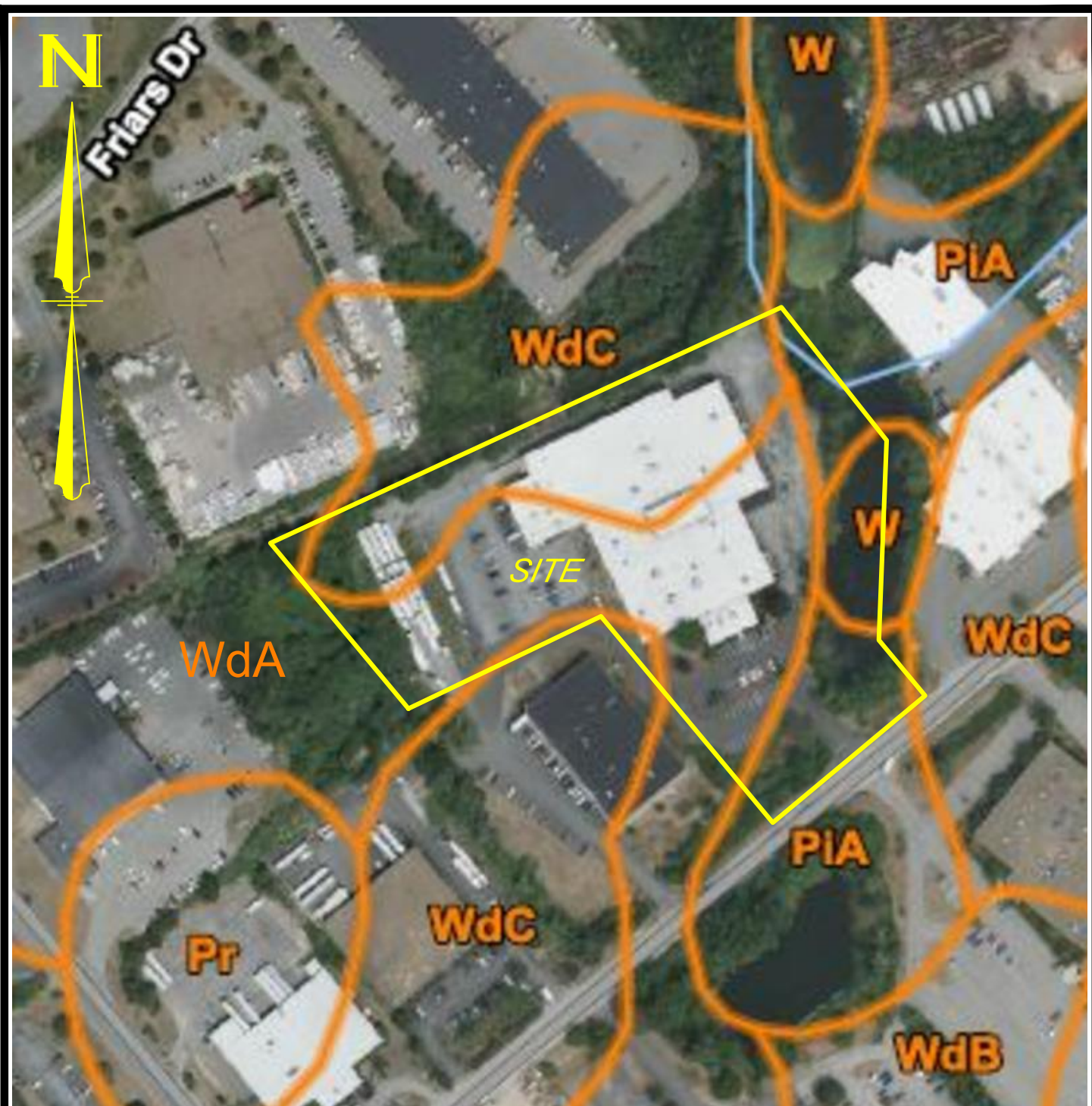
PREPARED FOR:
SCHROEDER CONSTRUCTION MANAGEMENT, INC
 2 TOWNSEND WEST, UNIT #3 NASHUA, NEW HAMPSHIRE 03060
MARCH 2022

FIG. 1

HSI Hayner/Swanson, Inc.
 3 Congress Street Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
 www.hayner-swanson.com

Drawing: 5843 USGS
 Location: J:\5000\5843\DWG

5843
 File Number



SOIL SURVEY STAFF, NATURAL RESOURCES CONSERVATION SERVICE, UNITED STATES DEPT. OF AGRICULTURE. WEB SOIL SURVEY. AVAILABLE ONLINE AT <http://websoilsurvey.nrcs.usda.gov/> ACCESSED MARCH 1, 2022.

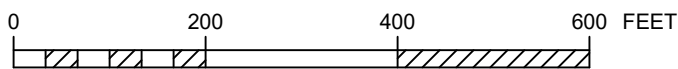
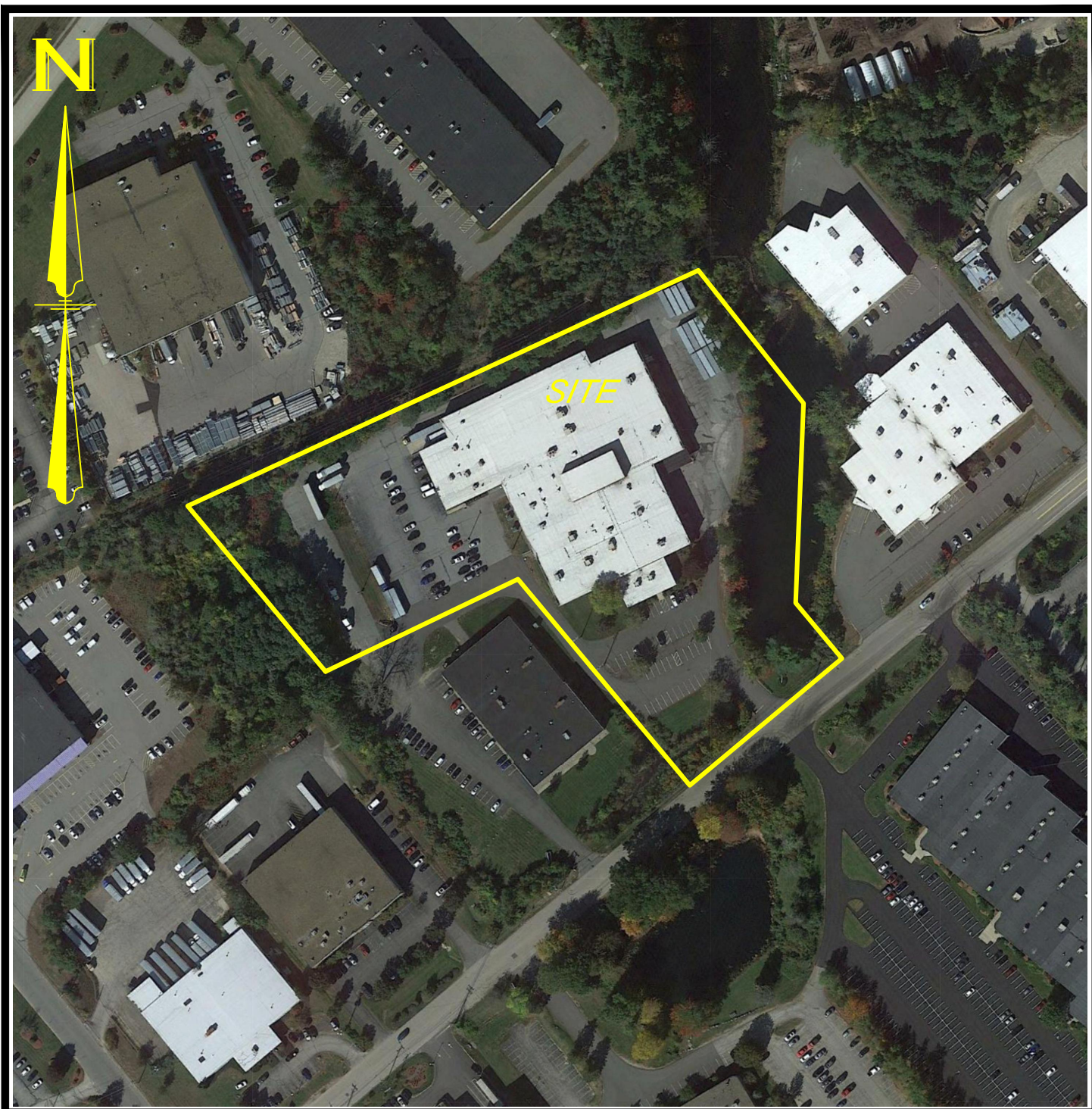
NRCS SOILS MAP
PROPOSED BUILDING ADDITION
17 EXECUTIVE DRIVE
HUDSON, NH

PREPARED FOR: FIG. 2
SCHROEDER CONSTRUCTION MANAGEMENT, INC
 2 TOWNSEND WEST, UNIT #3 NASHUA, NEW HAMPSHIRE 03060
MARCH 2022

 **Hayner/Swanson, Inc.**
 3 Congress Street Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
www.hayner-swanson.com

Drawing: 5843 USGS
 Location: J:\5000\5843\DWG

5843
 File Number



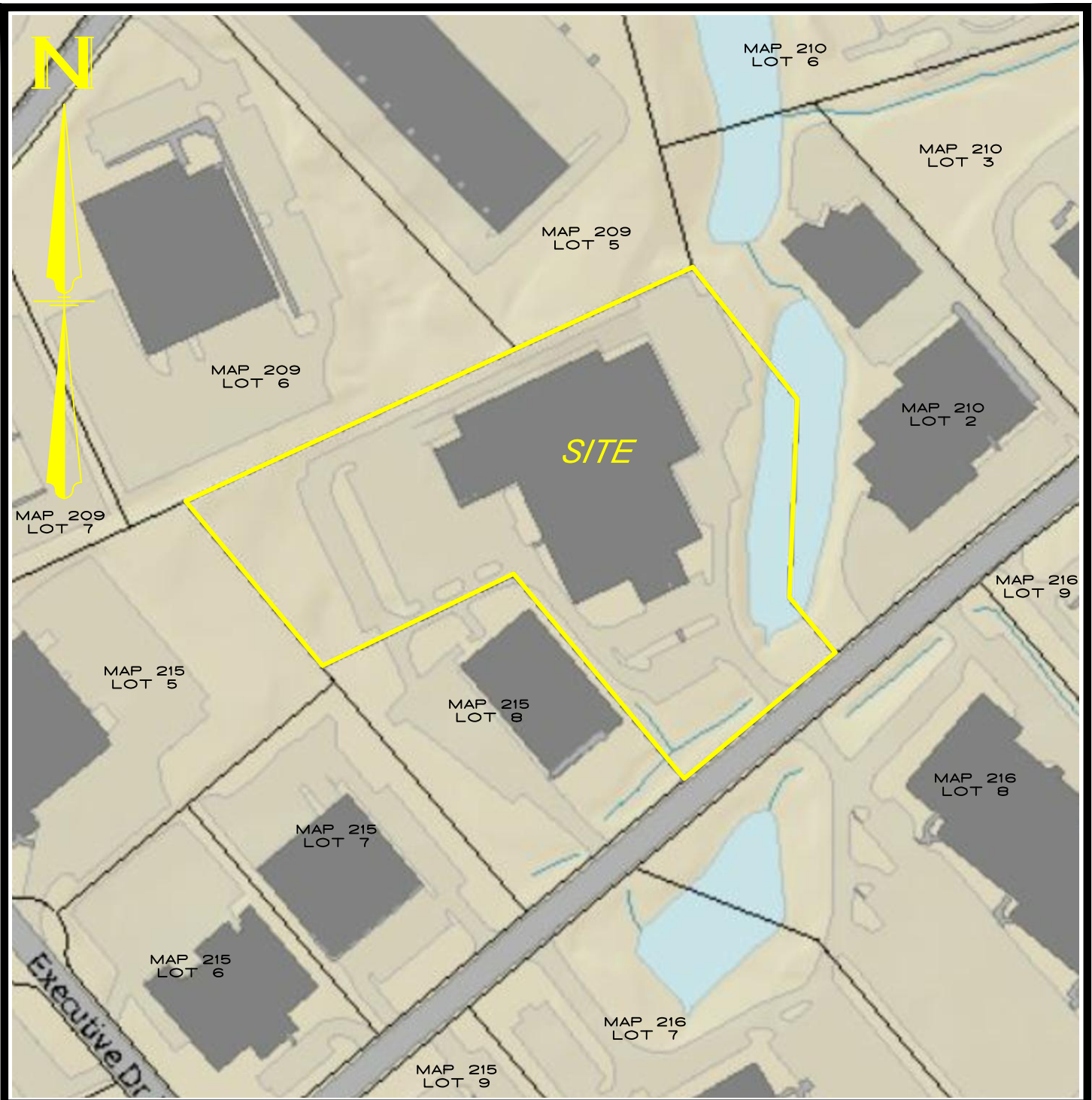
AERIAL DISPLAY PLAN
PROPOSED BUILDING ADDITION
 17 EXECUTIVE DRIVE
 HUDSON, NH

FIG. 3
 PREPARED FOR:
SCHROEDER CONSTRUCTION MANAGEMENT, INC
 2 TOWNSEND WEST, UNIT #3 NASHUA, NEW HAMPSHIRE 03060
 MARCH 2022

 **Hayner/Swanson, Inc.**
 3 Congress Street Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
 www.hayner-swanson.com

Drawing: 5843 USGS
 Location: J:\5000\5843\DWG

5843
 File Number



TAX MAP
PROPOSED BUILDING ADDITION
 17 EXECUTIVE DRIVE
 HUDSON, NH

FIG. 4
 PREPARED FOR:
SCHROEDER CONSTRUCTION MANAGEMENT, INC
 2 TOWNSEND WEST, UNIT #3 NASHUA, NEW HAMPSHIRE 03060
 MARCH 2022

 **Hayner/Swanson, Inc.**
 3 Congress Street Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
 www.hayner-swanson.com

Drawing: 5843 USGS
 Location: J:\5000\5843\DWG

5843
 File Number

MEMORANDUM

Ref: 2208A

To: Earl Blatchford
Hayner/Swanson, Inc.

From: Stephen G. Pernaw, P.E., PTOE

Subject: Airex Filters Corporation - 17 & 19 Executive Drive
Hudson, New Hampshire

Date: April 25, 2022

As requested, Pernaw & Company, Inc. has conducted this trip generation analysis for the proposed warehouse addition at the Airex Filters facility located on the north side of Executive Drive in Hudson, New Hampshire. The site is situated in an industrial park that is accessible to NH3A via Friars Drive, Executive Drive, Hampshire Drive, and Wentworth Drive. The Friars Drive intersection with NH3A is restricted to right-turn arrivals and right-turn departures. The purpose of this memorandum is to summarize the results of our trip generation analyses. To summarize:

Proposed Development – According to the site plan and master site plan provided (see Attachments 1 & 2), this project involves the construction of a new warehouse addition to the existing building at 17 Executive Drive. The proposed one-story warehouse (26,120 sf) will be located on the west side of the building. Airex reports that there will be no additional employees associated with the warehouse; rather it will eliminate the need for on-site storage trailers. Access to the site will continue to be via a two-way full access driveway located on the north side of Executive Drive.

Trip Generation - To estimate the quantity of vehicle-trips associated with the proposed warehouse, Pernaw & Company, Inc. considered the standard trip generation rates and equations published by the Institute of Transportation Engineers¹ (ITE). Land Use Code LUC 150 - Warehousing is the most applicable category for the proposed building, and the gross floor area was utilized as the independent variable.

Table 1 on the following page shows that the proposed warehouse building will increase site traffic minimally; by approximately +5 vehicle-trips during the peak hour periods. The computations pertaining to these analyses are attached (see Attachments 3 - 5).

¹ Institute of Transportation Engineers, *Trip Generation*, 11th Edition (Washington, D.C., 2021)

Table 1 **Trip Generation Summary**

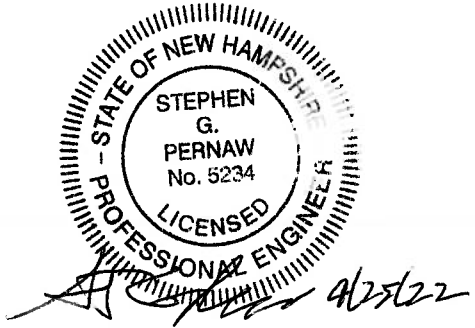
	Warehouse ¹
Weekday Total (24 hrs.)	
Entering	23 veh
Exiting	<u>23 veh</u>
Total	46 trips
Weekday AM Peak Hour	
Entering	3 veh
Exiting	<u>1 veh</u>
Total	4 trips
Weekday PM Peak Hour	
Entering	1 veh
Exiting	<u>4 veh</u>
Total	5 trips

¹ LUC 151- Warehousing - 26,120 sf (Trip Rate Method)

Findings & Conclusions:

1. Based on the standard trip generation rates published by the ITE, it is reasonable to expect that the proposed warehouse addition will generate approximately +4 (AM) and +5 (PM) additional vehicle trips during the peak hour periods of the adjacent street system.
2. These ITE estimates are considered to be conservatively high, as the number of employees will not change as a result of the building addition.
3. Traffic increase of this order of magnitude will not alter the prevailing traffic operations at nearby intersections. Random traffic flow from one day to the next likely accounts for much greater changes traffic volumes than will the warehouse building.

Attachments



ATTACHMENTS



Query **Filter**

DATA SOURCE: Trip Generation Manual, 11th Ed

SEARCH BY LAND USE CODE: 150

LAND USE GROUP: (100-199) Industrial

LAND USE: 150 - Warehousing

LAND USE SUBCATEGORY: All Sites

SETTING/LOCATION: General Urban/Suburban

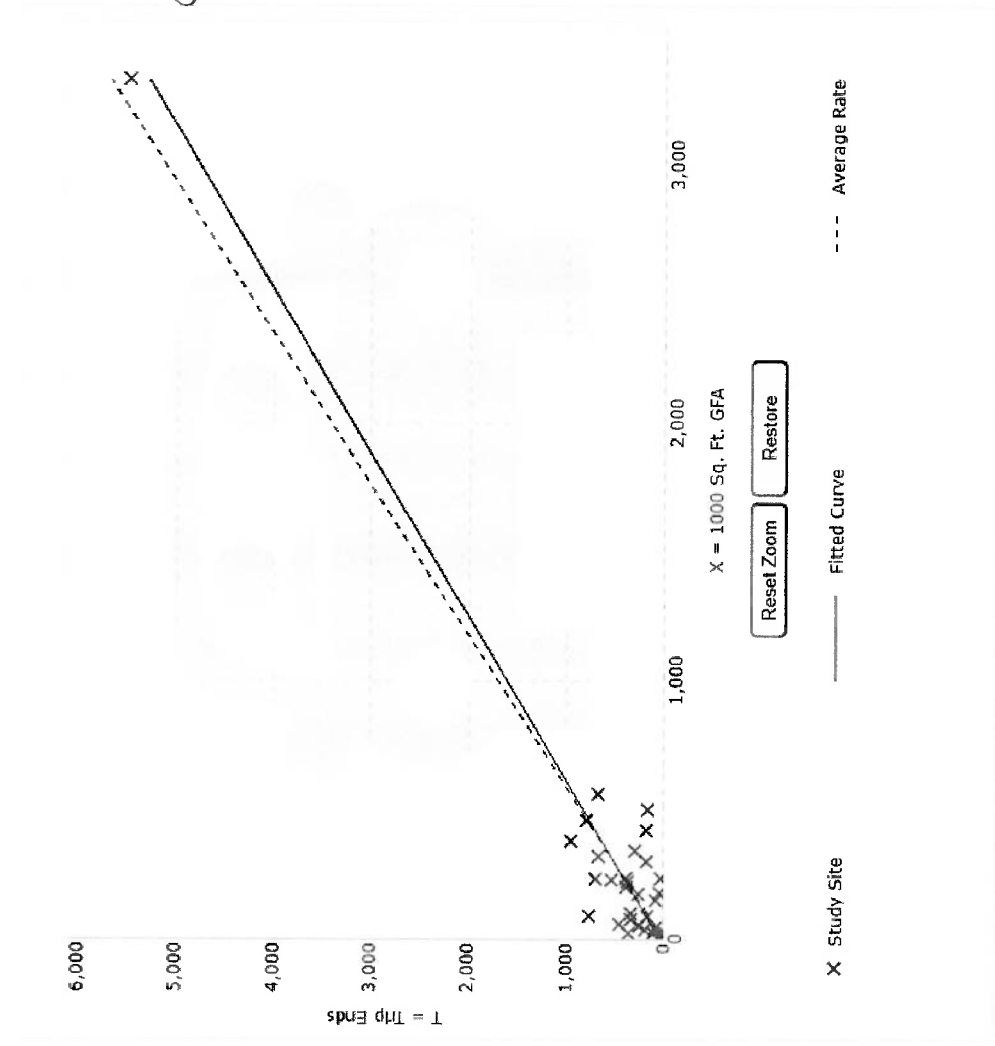
INDEPENDENT VARIABLE (IV): 1000 Sq. Ft. GFA

TIME PERIOD: Weekday

TRIP TYPE: Vehicle

ENTER IV VALUE TO CALCULATE TRIPS: 26.12 **Calculate**

Data Plot and Equation



DATA STATISTICS

Land Use: Warehousing (150) [Click for Description and Data Files](#)

Independent Variable: 1000 Sq. Ft. GFA

Time Period: Weekday

Setting/Location: General Urban/Suburban

Trip Type: Vehicle

Number of Studies: 31

Avg. 1000 Sq. Ft. GFA: 292

Average Rate: 1.71

Range of Rates: 0.15 - 16.93

Standard Deviation: 1.48

Fitted Curve Equation: $T = 1.58(X) + 38.29$

R²: 0.92

Directional Distribution: 50% entering 50% exiting

Calculated Trip Ends:
 Average Rate 45 (Total) 22 (Entry) 23 (Exit)
 Fitted Curve 80 (Total); 40 (Entry); 40 (Exit)

Use the mouse wheel to Zoom Out or Zoom In.
 Hover the mouse pointer on data points to view X and T values.



DATA SOURCE: Trip Generation Manual, 11th Ed

SEARCH BY LAND USE CODE:

LAND USE GROUP: (100-199) Industrial

LAND USE: 150 - Warehousing

LAND USE SUBCATEGORY: All Sites

SETTING/LOCATION: General Urban/Suburban

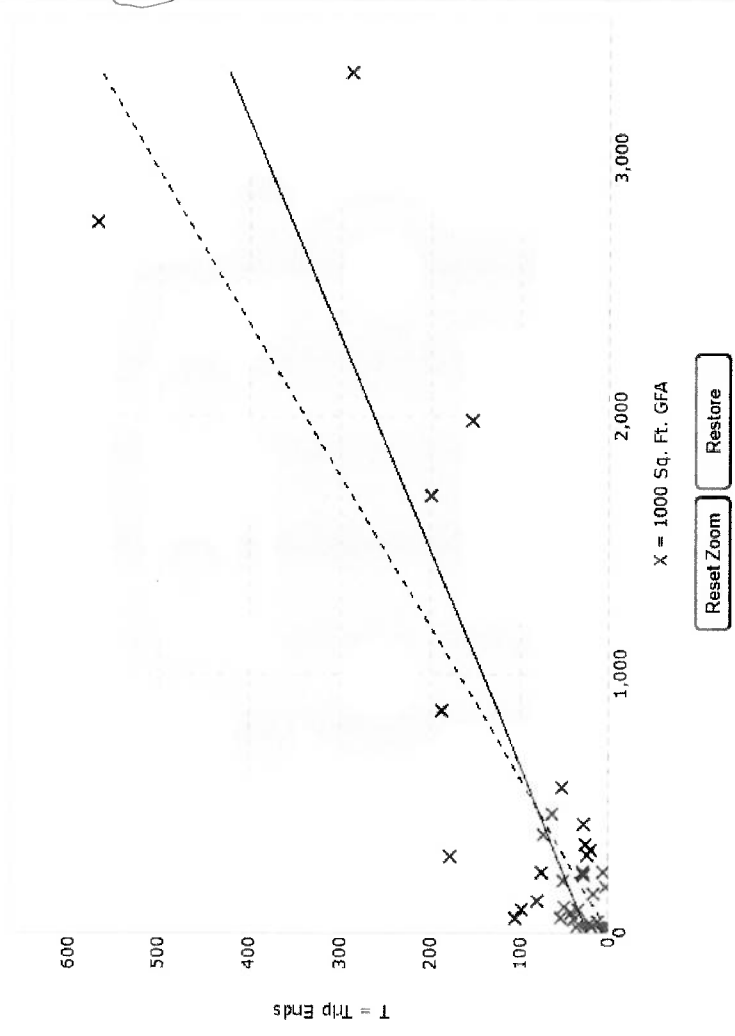
INDEPENDENT VARIABLE (IV): 1000 Sq. Ft. GFA

TIME PERIOD: Weekday, Peak Hour of Adjacent Street Traffic

TRIP TYPE: Vehicle

ENTER IV VALUE TO CALCULATE TRIPS:

Data Plot and Equation



DATA STATISTICS

Land Use: Warehousing (150) [Click for Description and Data Plots](#)

Independent Variable: 1000 Sq. Ft. GFA

Time Period: Weekday
 Peak Hour of Adjacent Street Traffic
 One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Trip Type: Vehicle

Number of Studies: 36

Avg. 1000 Sq. Ft. GFA: 448

Average Rate: 0.17

Range of Rates: 0.02 - 1.93

Standard Deviation: 0.19

Fitted Curve Equation:
 $T = 0.12(X) + 23.62$

R^2 : 0.69

Directional Distribution:
 77% entering, 23% exiting

Calculated Trip Ends:
 Average Rate 4 (Total), 3 (Entry), 1 (Exit)
 Fitted Curve 27 (Total), 21 (Entry), 6 (Exit)

Use the mouse wheel to Zoom Out or Zoom In.
 Hover the mouse pointer on data points to view X and T values.



Query **Filter**

DATA SOURCE: Trip Generation Manual, 11th Ed

SEARCH BY LAND USE CODE: 150

LAND USE GROUP: (100-199) Industrial

LAND USE: 150 - Warehousing

LAND USE SUBCATEGORY: All Sites

SETTING/LOCATION: General Urban/Suburban

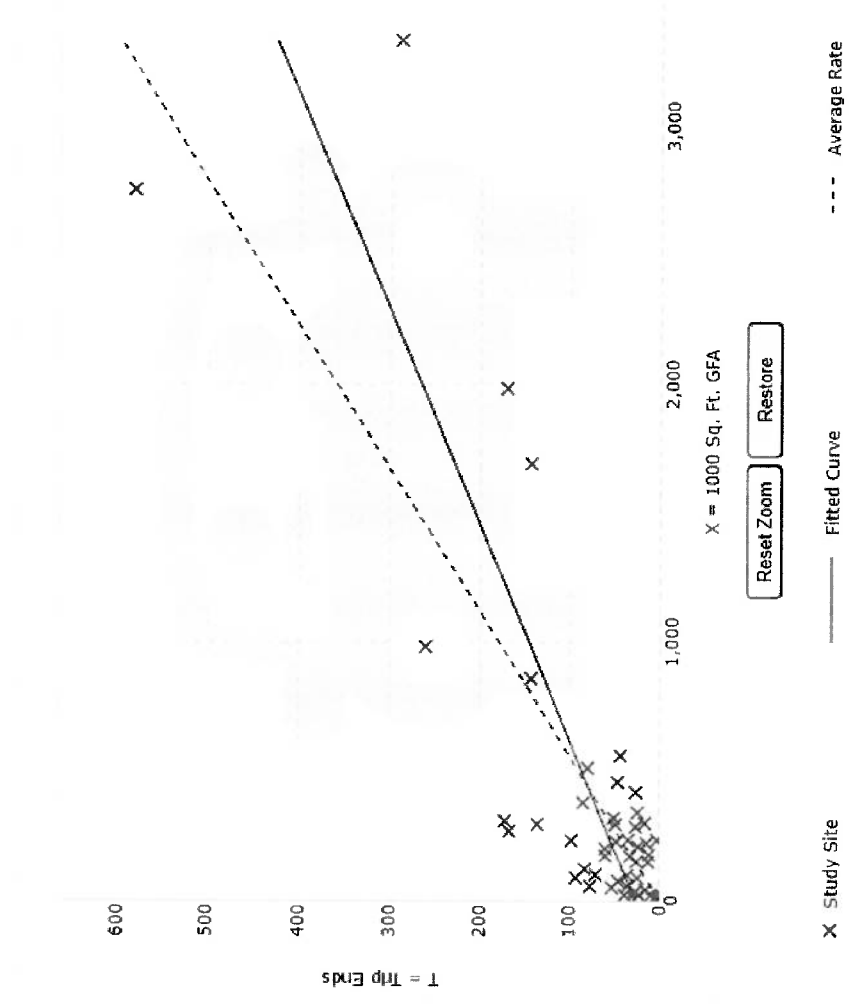
INDEPENDENT VARIABLE (IV): 1000 Sq. Ft. GFA

TIME PERIOD: Weekday, Peak Hour of Adjacent Street Traffic

TRIP TYPE: Vehicle

ENTER IV VALUE TO CALCULATE TRIPS: 26.12 **Calculate**

Data Plot and Equation



DATA STATISTICS

Land Use: Warehousing (150) [Click for Description and Data Files](#)

Independent Variable: 1000 Sq. Ft. GFA

Time Period: Weekday
Peak Hour of Adjacent Street Traffic
One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Trip Type: Vehicle

Number of Studies: 49

Avg. 1000 Sq. Ft. GFA: 400

Average Rate: 0.18

Range of Rates: 0.01 - 1.80

Standard Deviation: 0.18

Fitted Curve Equation: $T = 0.12(X) + 26.48$

R²: 0.65

Directional Distribution: 28% entering, 72% exiting

Calculated Trip Ends: Average Rate: 5 (Total); 1 (Entry), 4 (Exit)
Fitted Curve: 30 (Total); 8 (Entry), 22 (Exit)

Use the mouse wheel to Zoom Out or Zoom In.
Hover the mouse pointer on data points to view X and T values.

MAP 209, LOT 8
SITE PLAN

PROPOSED BUILDING ADDITION

17 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR

SCHROEDER CONSTRUCTION MANAGEMENT, INC.

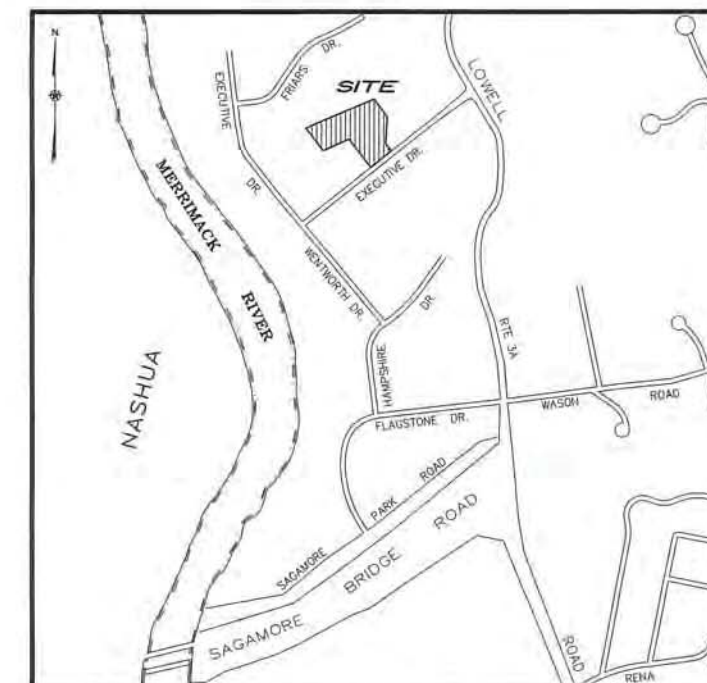
2 TOWNSEND WEST, UNIT #3
NASHUA, NEW HAMPSHIRE 03060

RECORD OWNER

STONEHILL REALTY, LLC

17 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE 03051

29 MARCH 2022



VICINITY PLAN
SCALE 1" = 1,000'

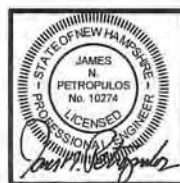
INDEX OF PLANS		
SHEET No.	TITLE	
1 OF 13	MASTER SITE PLAN	1" = 50'
2 OF 13	NOTES AND LEGEND	1" = 20'
3 OF 13	EXISTING CONDITIONS PLAN	1" = 20'
4 OF 13	SITE DEMOLITION PLAN	1" = 20'
5 OF 13	SITE PLAN	1" = 20'
6 OF 13	UTILITY PROFILES	1" = 20' H 1" = 4' V
7-8 OF 13	DETAIL SHEET - GENERAL SITE	
9 OF 13	EROSION CONTROL PLAN	1" = 20'
10 OF 13	DETAIL SHEET - EROSION CONTROL	
11 OF 13	LANDSCAPE PLAN	1" = 20'
12 OF 13	DETAIL SHEET - LANDSCAPE	
13 OF 13	PHOTOMETRIC SITE LIGHTING PLAN	1" = 20'
BUILDING ELEVATIONS		

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

REVIEW ONLY
NOT FOR CONSTRUCTION



HSI Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors
3 Congress Street
Nashua, NH 03062
(603) 883-2057
131 Middlesex Turnpike
Burlington, MA 01803
(781) 203-1501
www.hayner-swanson.com



3 Congress Street Nashua, NH 03062 (603) 883-2057
131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
www.hayner-swanson.com

Hayner/Swanson, Inc.



PLAN REFERENCES:

1. AMENDED SITE PLAN, THE TELEGRAPH, 17 EXECUTIVE DRIVE, HUDSON, NH, PREPARED FOR DAVID W. CHEEVER, ARCHITECT, SCALE: 1" = 40', DATED: OCTOBER 21, 1999 WITH REVISIONS THRU 12/22/99 AND PREPARED BY TFM. RECORDED: HCRD - PLAN No. 31076.
2. UPDATED SITE PLAN, MAP 10, LOT 15, THE TELEGRAPH, 17 EXECUTIVE DRIVE, HUDSON, NH, PREPARED FOR DAVID W. CHEEVER, ARCHITECT, SCALE: 1" = 40', DATED: JUNE 8, 1995 WITH REVISIONS THRU 10/13/95 AND PREPARED BY TFMORAN, INC. RECORDED: HCRD - PLAN No. 27676.
3. SITE PLAN, THE TELEGRAPH, MAP 10, LOT 15, 17 EXECUTIVE DRIVE, HUDSON, NH, SCALE: 1" = 40', DATED: 4 DECEMBER 1986 AND PREPARED BY: DAVID W. CHEEVER, ARCHITECT RECORDED: HCRD - PLAN No. 21082.
4. RESUBDIVISION & CONSOLIDATION PLAN OF LAND, TELEGRAPH PUBLISHING CO., HUDSON, NEW HAMPSHIRE, SCALE: 1" = 40', DATED: NOVEMBER 24, 1985 WITH REVISIONS THRU 02/03/87 AND PREPARED BY THOMAS F. MORAN, INC. RECORDED: HCRD - PLAN No. 21080.
5. RESUBDIVISION PLAN, ROBERT ROBBINS & FERD CORP. & UPAC0 ADHESIVES INC., HUDSON, NEW HAMPSHIRE, SCALE: 1" = 100', DATED: NOVEMBER 14, 1973 WITH REVISIONS THRU 04/07/79 AND PREPARED BY: THOMAS F. MORAN, INC. RECORDED: HCRD - PLAN No. 6952.
6. RESUBDIVISION PLAN, ROBERT ROBBINS & FERD CORP. & UPAC0 ADHESIVES INC., HUDSON, NEW HAMPSHIRE, SCALE: 1" = 100', DATED: NOVEMBER 14, 1973 WITH REVISIONS THRU 09/13/74 AND PREPARED BY: THOMAS F. MORAN, INC. RECORDED: HCRD - PLAN No. 7937.

EASEMENTS, RIGHTS & RESTRICTIONS (E,R&R)

1. THE PARCEL IS SUBJECT TO THE TELEGRAPH AMENDED SITE PLAN DEVELOPMENT AGREEMENT BETWEEN TELEGRAPH PUBLISHING COMPANY AND THE TOWN OF HUDSON, DATED 11/11/2000 AND RECORDED IN BK 6411, PG 1062.
2. THE PARCEL IS SUBJECT TO AND HAS THE BENEFIT OF THE EASEMENT AGREEMENT AS DESCRIBED IN BK 4431, PG 309 AND DATED 10/5/1987, WHICH INCLUDES RECIPROCAL ACCESS AGREEMENTS BETWEEN THE SUBJECT PARCEL AND ADJUTING LOT 215-B, AS WELL AS A UTILITY EASEMENT OVER THE SUBJECT PARCEL BENEFITING ADJUTING LOT 215-B.
3. A PORTION OF THE PROPERTY IS SUBJECT TO THE UTILITY EASEMENT BENEFITING NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY AND PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE AS DESCRIBED IN BK 2750, PG 668 AND DATED 1/29/1980.
4. IN SO MUCH AS THEY MAY STILL BE IN EFFECT, THE PARCEL IS SUBJECT TO THE MODIFIED PROTECTIVE COVENANT STANDARDS FOR LAND KNOWN AS EXECUTIVE PARK, HUDSON, NEW HAMPSHIRE AS DESCRIBED IN BK 2734, PG 704 AND DATED 11/8/1979.
5. THE PARCEL IS SUBJECT TO THE RIGHT AND EASEMENT BENEFITING PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY AS DESCRIBED IN BK 2323, PG 533 AND DATED 8/7/1973.
6. THE PARCEL IS SUBJECT TO SUCH IMPLIED EASEMENT(S) AND/OR RIGHT(S) AS MAY EXIST, IF ANY SUCH THERE MAY BE, AS RESERVED IN DEED FROM LIZZIE M. HOLT TO PETER RAGHULINES RECORDED IN BK 727, PG 249 AND DATED NOVEMBER 24, 1914.

WAIVERS REQUESTED:

1. SPR 275-8C (2) REQUIRED PARKING SPACES.
2. SPR 275-8C (6) REQUIRED LOADING SPACES.

SURVEY NOTES:

1. TOPOGRAPHY SHOWN IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE IN JANUARY THRU FEBRUARY 2022.
2. UTILITIES SHOWN ARE APPROXIMATE BASED ON RECORD PLANS AND OBSERVED EVIDENCE.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
4. SURVEY CONTROL:
HORIZONTAL DATUM: NAD83 PROJECTION: NH STATE PLANE
VERTICAL DATUM: NGVD29 SCALE FACTOR APPLIED: 1.000000
UNITS: US SURVEY FEET
5. THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
7. TEST PITS AS SHOWN ARE APPROXIMATE. TEST PITS WERE PERFORMED UNDER THE SUPERVISION OF HAYNER/SWANSON, INC., NASHUA, NH.
8. THIS SITE CONTAINS WINDSOR (WbA, WbC), PIPESTONE (PiA) SOILS AND WATER (W), AS DETERMINED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA) NATURAL RESOURCES CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY.

UTILITY NOTE
THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

SITE DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR SITE DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON SITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. THE CONTRACTOR SHALL GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. THE CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ROAD RIGHT OF WAY DURING CONSTRUCTION.
7. PRIOR TO SITE DEMOLITION OCCURRING, ALL APPROPRIATE EROSION CONTROL DEVICES ARE TO BE INSTALLED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE TOWN OF HUDSON PRIOR TO THE START OF DEMOLITION OR CONSTRUCTION. A DEMOLITION APPROVAL PERMIT SHALL BE OBTAINED FROM THE TOWN OF HUDSON PRIOR TO THE ANY BUILDING DEMOLITION.
9. FOR WORK WITHIN A PUBLIC STREET THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN ENGINEERING DEPARTMENT.
10. THE CONTRACTOR SHALL REMOVE AND STOCKPILE EXISTING SLOPE AND VERTICAL GRANITE CURB IN A LOCATION PROVIDED BY THE OWNER'S REPRESENTATIVE. CURB THAT IS IN GOOD CONDITION AND ACCEPTABLE TO THE OWNER'S REPRESENTATIVE MAY BE REUSED IN LOCATIONS SHOWN ON THE SITE GRADING & UTILITY PLAN. SURPLUS OR UNACCEPTABLE CURB SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROPERTY.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT SOCK AND CONSTRUCT GRAVEL CONSTRUCTION EXIT AS SHOWN ON THE PLAN.
2. CLEAR & GRUB SITE ACCORDING TO PLAN. CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
3. PERFORM SITE GRADING OF THE PROPOSED BUILDING ADDITION, PARKING AND LOADING AREAS. ALL SIDE SLOPES SHALL BE LOAMED AND SEEDED AND MULCHED IMMEDIATELY AFTER BEING CONSTRUCTED.
4. BEGIN BUILDING ADDITION AND LOADING AREA CONSTRUCTION.
5. INSTALL SITE UTILITIES IN ACCORDANCE WITH THE PLAN.
6. INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE "SILTSACK DETAIL". THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
7. PREPARE SITE FOR PAVING.
8. AS BUILDING ADDITION AND LOADING AREAS ARE COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED. NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF 30 DAYS.
9. LOAM AND SEED ALL REMAINING DISTURBED AREAS. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER BEING CONSTRUCTED.
10. FINAL PAVING OF LOADING AREA AND PARKING AREAS.
11. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
12. SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF DISTURBED AREAS.
13. REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

GENERAL NOTES:

1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH THE PROJECT SHALL OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND SHALL COMPLY WITH THE TERMS OF SWPPP AND NPDES PERMIT.
2. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY SITE CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
4. STOCKPILE AREAS SHALL BE SURROUNDED BY SILT SOCK AND RE-SEEDED IF THEY ARE LEFT UNTOUCHED FOR MORE THAN FOURTEEN (14) DAYS.
5. ALL MEASURES STATED ON THIS EROSION CONTROL PLAN, AND IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETE PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT.
6. SILT SOCK SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED.
7. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
8. ALL SEEDED AREAS SHALL BE CHECK REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
9. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXIT AS CONDITIONS DEMAND.
10. THE TOWN OF HUDSON RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION IF NEEDED.

CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST ADDITION, ARE HEREBY INCORPORATED BY REFERENCE.
2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPT., HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHALL BE ADS #12 (SOIL TIGHT). CATCH BASINS SHALL BE TYPE B, AND HAVE 4 FT. BUMPS AND GAS HOODS UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
4. WATER SUPPLY, GAS, AND TELECOMMUNICATION UTILITIES SHALL BE EXTENDED FROM THE EXISTING BUILDING TO THE PROPOSED ADDITION WITHIN THE BUILDING STRUCTURE. NO NEW SANITARY SEWER IS REQUIRED.
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED THROUGH THE CONSTRUCTION PROCESS UNTIL STABILIZATION OCCURS.
6. STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
7. DIMENSIONS TO CURB AND GUTTERS INDICATE EDGE OF PAVING UNLESS OTHERWISE NOTED.
8. EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING PAVEMENT.

TOWN OF HUDSON CONTACTS

PLANNING DEPARTMENT
HUDSON PLANNING DEPT.
12 SCHOOL STREET
HUDSON, NH 03051
ATT: BRIAN GROTH, AICP
LAND USE DIRECTOR
(603) 886-6008

ENGINEERING DEPARTMENT
HUDSON ENGINEERING DEPT.
12 SCHOOL STREET
HUDSON, NH 03051
ATT: ELVIS DHIMA, P.E.
TOWN ENGINEER
(603) 886-8008

FIRE DEPARTMENT
HUDSON FIRE DEPARTMENT
12 SCHOOL STREET
HUDSON, NH 03051
ATT: ROBERT BUXTON, FIRE CHIEF
(603) 886-6021

UTILITY CONTACTS

GAS:
LIBERTY UTILITIES
130 ELM STREET
MANCHESTER, NH 03103
ATT: ANDREW MORGAN
(603) 327-9357

TELEPHONE:
CONSOLIDATED COMMUNICATIONS
257 DANIEL WEBSTER HIGHWAY
MERRIMACK, NH 03054
ATT: HEATHER ARJUD
(603) 296-2895

POWER:
EVERSOURCE
370 AMHERST STREET
NASHUA, NH 03060
ATT: MARC GAGNON
(603) 882-5994

TEST PIT LOGS

MAP 209 LOT 8 STONEHILL REALTY, LLC 17 EXECUTIVE DRIVE HUDSON, NH	WEATHER: 45-50° CLEAR EQUIPMENT: BOBCAT 545 MINI EXCAVATOR LOGGED BY: PAUL CARICED, NPDES PERMIT #68
TEST PIT #1 DATE: 3/21/22	0-28" FILL MATERIAL, LEAVES, WOOD, LOAM AND SAND 28-36" 10YR 3/2, VERY DARK GRAYISH BROWN, FINE SANDY LOAM, FRIABLE, MASSIVE WITH FEW ROOTS 36-42" 10YR 8/4, YELLOWISH BROWN, SANDY LOAM, FRIABLE, FINE GRANULAR WITH FEW ROOTS 42-60" 10YR 6/4, LIGHT YELLOWISH BROWN, FINE SAND, VERY FRIABLE, GRANULAR WITH FEW ROOTS 60-96" 10YR 8/4, YELLOWISH BROWN, LOAMY SAND, 2% ROUNDED COBBLES, VERY FRIABLE, FINE GRANULAR WITH FEW ROOTS TO 72"
ESHW: NONE OBSERVED DWT: NONE	ROOTS: 72 LEDGE: NONE
TEST PIT #2 DATE: 3/21/22	0-8" 10YR 3/3, DARK BROWN, SANDY LOAM, VERY FRIABLE, VERY FRIABLE WITH FEW ROOTS 8-14" 10YR 5/8, YELLOWISH BROWN, SANDY LOAM, VERY FRIABLE, FINE GRANULAR WITH COMMON ROOTS 14-48" 10YR 8/8, BROWNISH YELLOW, GRAVELLY SAND, 10% GRAVEL, LOOSE, SINGLE GRAIN, WITH FEW ROOTS 48-70" 10YR 7/8, VERY PALE BROWN, COARSE SAND, LOOSE, SINGLE GRAIN WITH FEW ROOTS 70-100" 10YR 6/8, BROWNISH YELLOW, GRAVELLY SAND, 5% GRAVEL, 10% ROUNDED COBBLES, LOOSE, SINGLE GRAIN, WITH FEW ROOTS TO 78" 100-132" 10YR 7/5, VERY PALE BROWN, COARSE SAND, LOOSE AND SINGLE GRAIN
ESHW: NONE OBSERVED DWT: NONE	ROOTS: 78" LEDGE: NONE
TEST PIT #3 DATE: 3/21/22	0-16" 10YR 3/3, DARK BROWN, SANDY LOAM, VERY FRIABLE, VERY FRIABLE WITH FEW ROOTS 16-28" 10YR 5/8, YELLOWISH BROWN, SANDY LOAM, VERY FRIABLE, FINE GRANULAR WITH COMMON ROOTS 28-72" 10YR 8/8, BROWNISH YELLOW, GRAVELLY SAND, 10% GRAVEL, LOOSE, SINGLE GRAIN, WITH FEW ROOTS 72-100" 10YR 7/8, VERY PALE BROWN, COARSE SAND, LOOSE, SINGLE GRAIN WITH FEW ROOTS TO 78" 100-120" 10YR 6/8, BROWNISH YELLOW, GRAVELLY SAND, 5% GRAVEL, 10% ROUNDED COBBLES, LOOSE AND SINGLE GRAIN
ESHW: NONE OBSERVED DWT: NONE	ROOTS: 78" LEDGE: NONE

SOIL SURVEY STAFF, NATURAL RESOURCES CONSERVATION SERVICE, UNITED STATES DEPT. OF AGRICULTURE, WEB SOIL SURVEY, AVAILABLE ONLINE AT http://websoilsurvey.nrcs.usda.gov/ ACCESSED 09/01/20	
SOILS DATA	
PiA	PIPESTONE LOAMY SAND
W	WATER (LESS THAN 40 ACRES)
WdA	WINDSOR LOAMY SAND, 0-3% SLOPES
WdC	WINDSOR LOAMY SAND, 8-15% SLOPES
--- SOIL BOUNDARY	

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No.	DATE	REVISION	BY

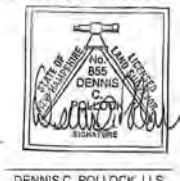
NOTES AND LEGEND
(MAP 209, LOT 8)
PROPOSED BUILDING ADDITION
17 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE
PREPARED FOR:
SCHROEDER CONSTRUCTION MANAGEMENT, INC.
2 TOWNSEND WEST, UNIT #3 NASHUA, NEW HAMPSHIRE 03060
RECORD OWNER:
STONEHILL REALTY, LLC
17 EXECUTIVE DRIVE HUDSON, NEW HAMPSHIRE 03051

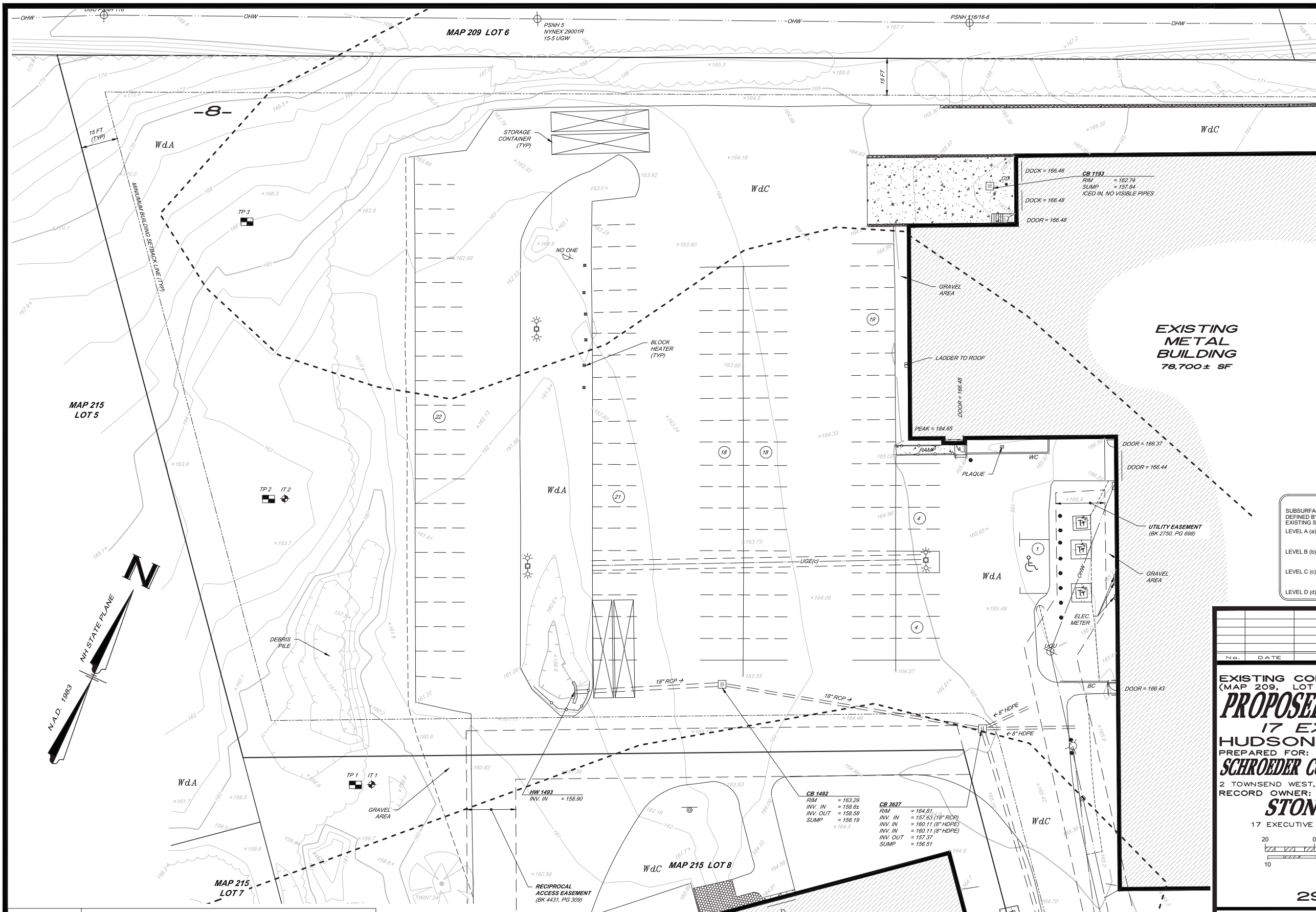
NO SCALE

29 MARCH 2022

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Nashua, NH 03062
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131 Middlesex Turnpike
Burlington, MA 01803
(781) 203-1501

FIELD BOOK: 1264	DRAWING NAME: 5843SITE-F051	5843 SITE	2 OF 13
DRAWING LOG: J:\35000\5843\DWG\5843 SITE		File Name:	Sheet





LEGEND

- 100 EXISTING GROUND CONTOUR
- x100.5 EXISTING SPOT ELEVATION
- 100 PROPOSED GRADE
- +100.5 PROPOSED SPOT GRADE
- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLES
- STORM DRAIN & HEADWALL
- STORM DRAIN & END SECTION
- S/S SANITARY SEWER & MANHOLES
- W/M WATER MAIN & HYDRANT
- W/G WATER MAIN & GATE VALVE
- G/G GAS LINE & GATE VALVE
- U/P UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT
- LP LIGHT POLES
- OHW OVERHEAD ELECTRIC & TELEPHONE
- UGW UNDERGROUND ELECTRIC & MANHOLES
- SIGN
- SB STONE BOUND
- IP IRON PIN
- TBM 1 TEMPORARY BENCHMARK
- BLD BUILDING SETBACK LINE
- WFL WETLAND FLAGGING LIMIT
- WBL WETLAND BUFFER LINE
- CLF CHAINLINK FENCE
- VGC VERTICAL GRANITE CURBING
- SGC SLOPE GRANITE CURBING
- F- STORMWATER RUNOFF DIRECTION
- HP HANDICAP PARKING SPACE
- PC PARKING SPACE COUNT
- GR GUARDRAIL
- PA PAVEMENT SAWCUT
- RC REINFORCED CONCRETE
- PF PROPOSED FULL-DEPTH PAVEMENT
- RS RIPRAP / STONE
- RW RETAINING WALL
- TL TREE LINE
- CT CONIFEROUS TREE
- DT DECIDUOUS TREE
- SH SHRUBS

UTILITY QUALITY LEGEND

SUBSURFACE UTILITIES AS DEPICTED ON THIS PLAN ARE IDENTIFIED BY QUALITY LEVELS DEFINED BY QUASCE 38-02 "ASCE STANDARD GUIDELINE FOR COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

LEVEL A (a) PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY ACTUAL EXPOSURE AND SUBSEQUENT MEASUREMENTS OF SUBSURFACE UTILITIES.

LEVEL B (b) INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. (IE. DIGSAFE)

LEVEL C (c) INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.

LEVEL D (d) INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

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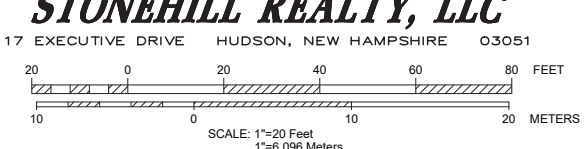
EXISTING CONDITIONS PLAN
(MAP 209, LOT 8)

PROPOSED BUILDING ADDITION

17 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR:
SCHROEDER CONSTRUCTION MANAGEMENT, INC
2 TOWNSEND WEST, UNIT #3 NASHUA, NEW HAMPSHIRE 03060

RECORD OWNER:
STONEHILL REALTY, LLC
17 EXECUTIVE DRIVE HUDSON, NEW HAMPSHIRE 03051



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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

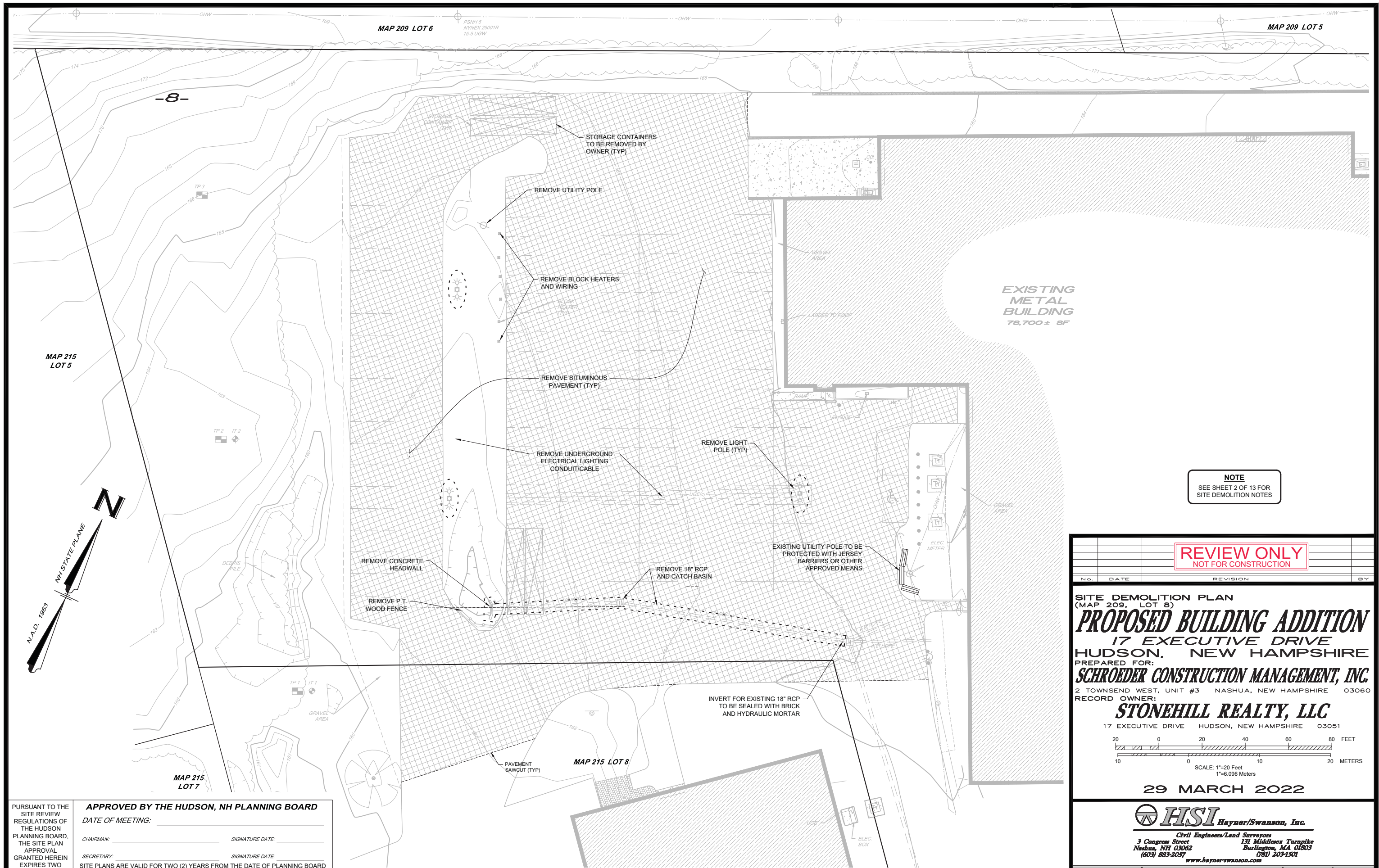
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



NOTE
SEE SHEET 2 OF 13 FOR
SITE DEMOLITION NOTES

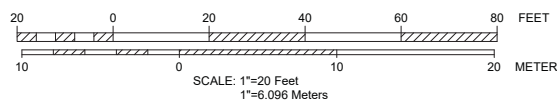
REVIEW ONLY
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No.	DATE	REVISION	BY

SITE DEMOLITION PLAN
(MAP 209, LOT 8)
PROPOSED BUILDING ADDITION
17 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE
PREPARED FOR:
SCHROEDER CONSTRUCTION MANAGEMENT, INC
2 TOWNSEND WEST, UNIT #3 NASHUA, NEW HAMPSHIRE 03060
RECORD OWNER:

STONEHILL REALTY, LLC

17 EXECUTIVE DRIVE HUDSON, NEW HAMPSHIRE 03051



29 MARCH 2022

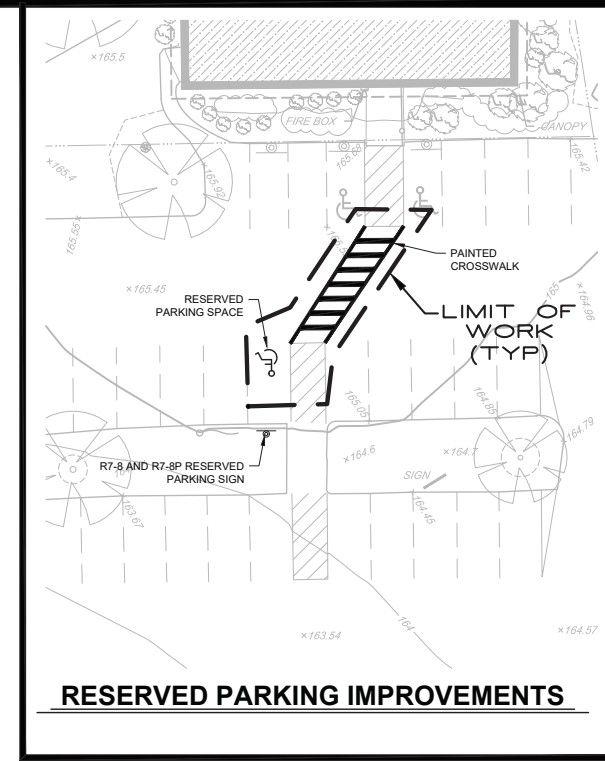
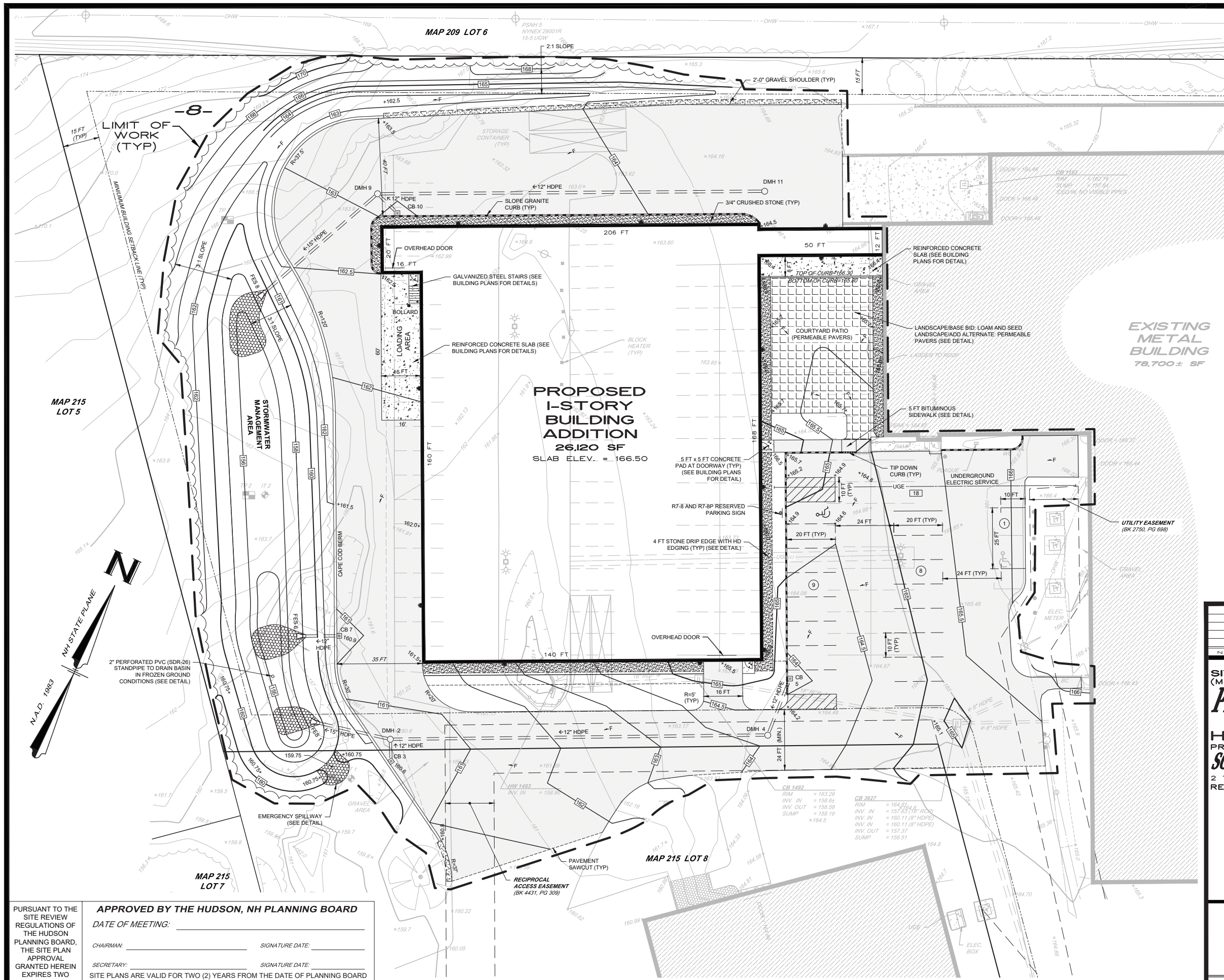
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SECRETARY: _____ SIGNATURE DATE: _____

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No.	DATE	REVISION	BY

SITE PLAN
(MAP 209, LOT 8)

PROPOSED BUILDING ADDITION
17 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

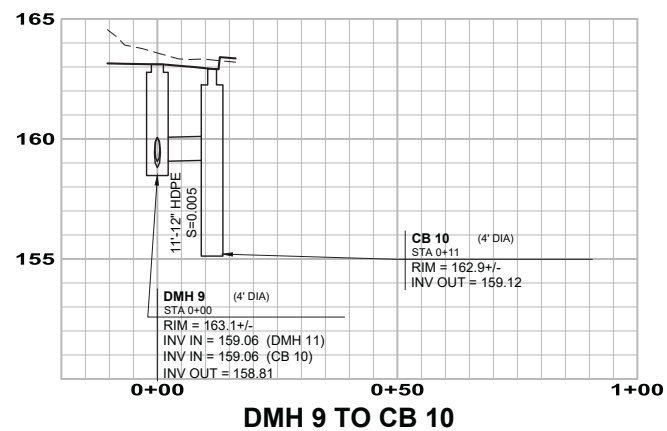
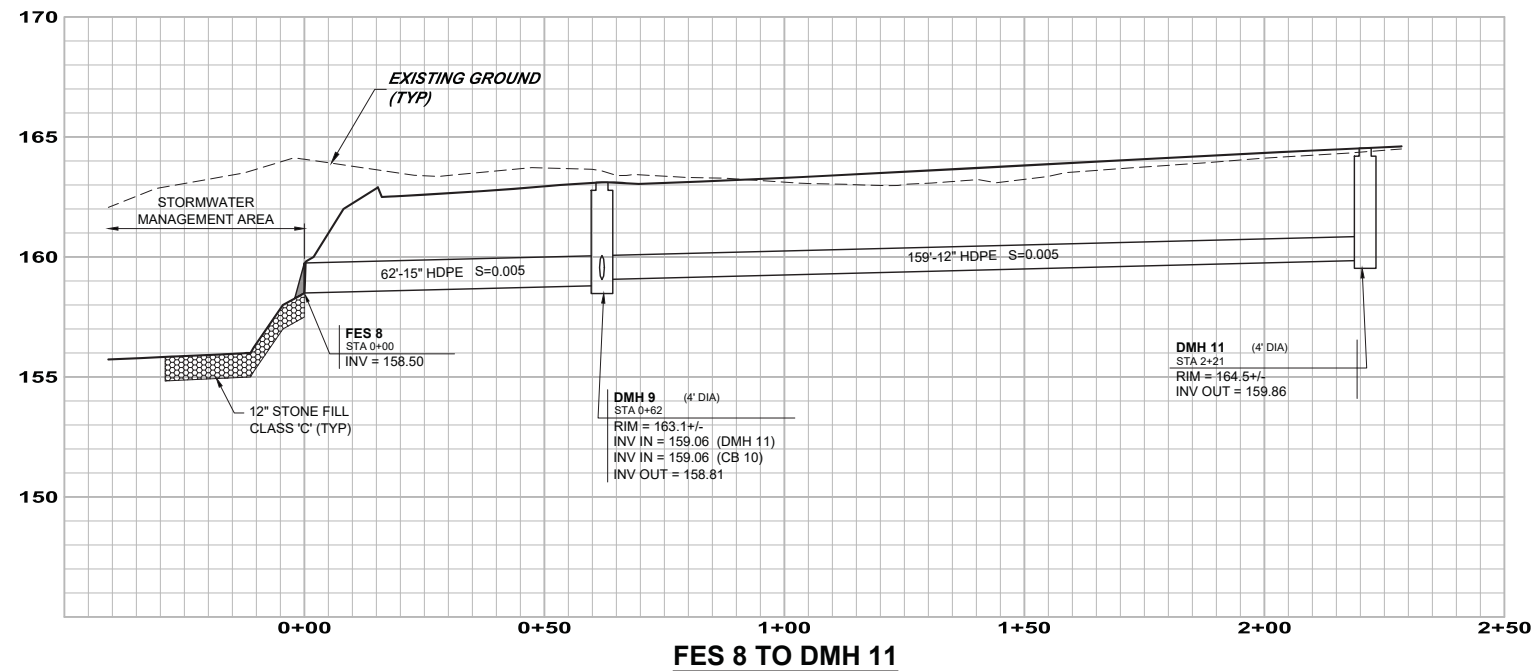
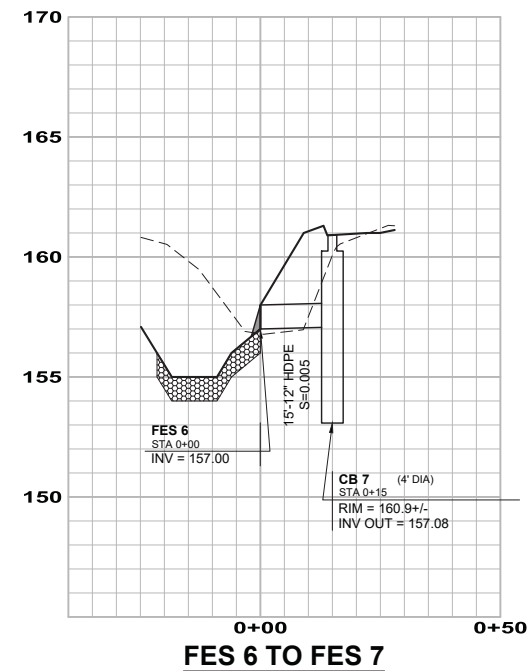
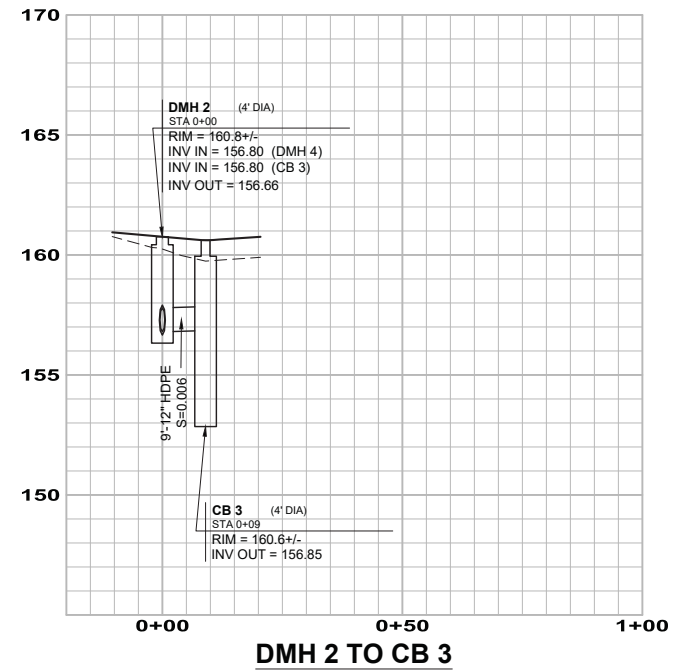
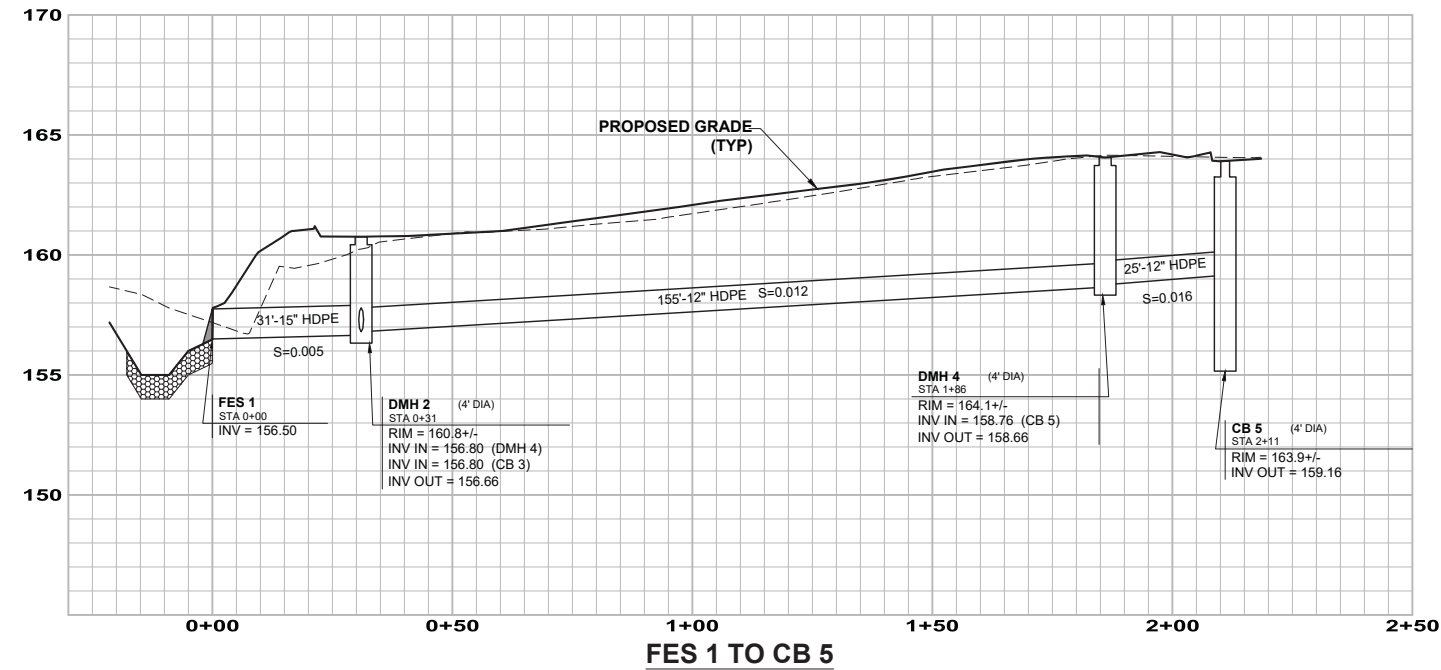
PREPARED FOR:
SCHROEDER CONSTRUCTION MANAGEMENT, INC
2 TOWNSEND WEST, UNIT #3 NASHUA, NEW HAMPSHIRE 03060

RECORD OWNER:
STONEHILL REALTY, LLC
17 EXECUTIVE DRIVE HUDSON, NEW HAMPSHIRE 03051



29 MARCH 2022

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- NOTES**
- STRUCTURE DIAMETERS AS SHOWN ON DRAINAGE PROFILES ARE CONSIDERED TO BE MINIMUM INSIDE DIMENSIONS. ALL STRUCTURES SHALL BE A MINIMUM INSIDE DIAMETER OF 48" UNLESS OTHERWISE INDICATED. LARGER STRUCTURES MAY BE NECESSARY DUE TO ALIGNMENT AND/OR PIPE SIZES. STRUCTURE MANUFACTURER SHALL DETERMINE FINAL SIZE.
 - PIPE LENGTHS ARE MEASURED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
 - VERTICAL DATUM IS NGVD29 (SEE NOTE 4 ON SHEET 2).
 - SEE SHEET 8 OF 13 FOR ADDITIONAL STORMWATER MANAGEMENT AREA INFORMATION.

REVIEW ONLY
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No.	DATE	REVISION	BY

UTILITY PROFILES
(MAP 209, LOT 8)

PROPOSED BUILDING ADDITION
17 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR:
SCHROEDER CONSTRUCTION MANAGEMENT, INC
2 TOWNSEND WEST, UNIT #3 NASHUA, NEW HAMPSHIRE 03060

RECORD OWNER:
STONEHILL REALTY, LLC
17 EXECUTIVE DRIVE HUDSON, NEW HAMPSHIRE 03051

SCALE: HORIZ. 1" = 20 Feet
VERT. 1" = 4 Feet

29 MARCH 2022

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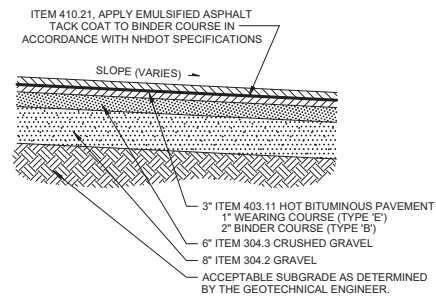
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

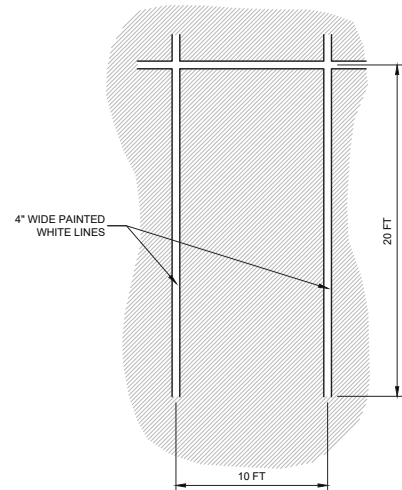
CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

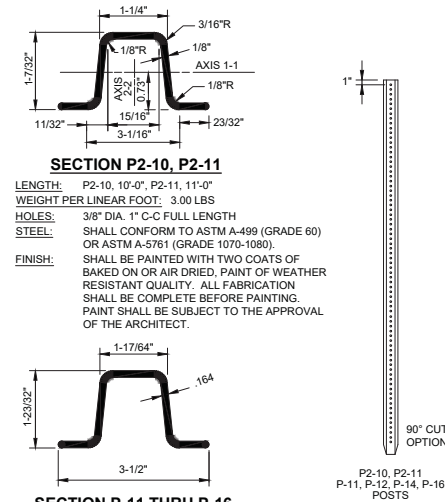
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



TYPICAL PAVEMENT SECTION
NOT TO SCALE



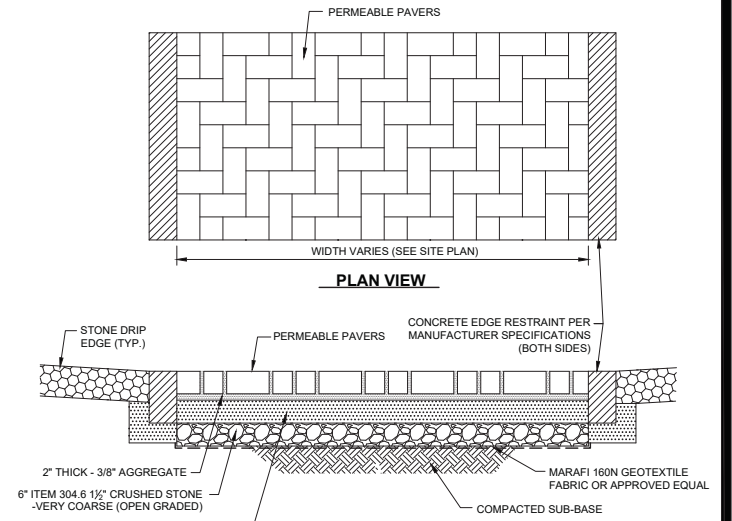
TYP. PARKING STALL DETAIL
NOT TO SCALE



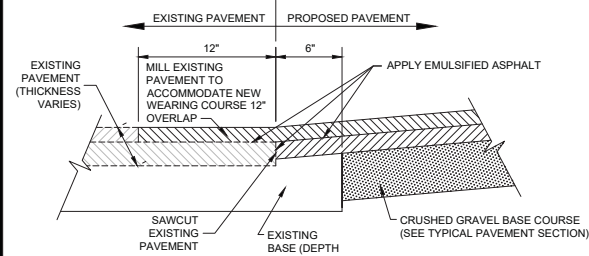
SECTION P2-10, P2-11
LENGTH: P2-10, 10'-0", P2-11, 11'-0"
WEIGHT PER LINEAR FOOT: 3.00 LBS
HOLES: 3/8" DIA. 1" C-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-5761 (GRADE 1070-1080).
FINISH: SHALL BE PAINTED WITH TWO COATS OF BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING. PAINT SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT.

SECTION P-11 THRU P-16
LENGTH: P-11, 11'-0", P-12, 12'-0", P-14, 14'-0", P-16, 16'-0"
WEIGHT PER LINEAR FOOT: 3.00 LBS
STEEL: SAME AS FOR P2-10, P2-11
FINISH: SAME AS FOR P2-10, P2-11
DIMENSIONS SHOWN ARE NOMINAL. ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE.

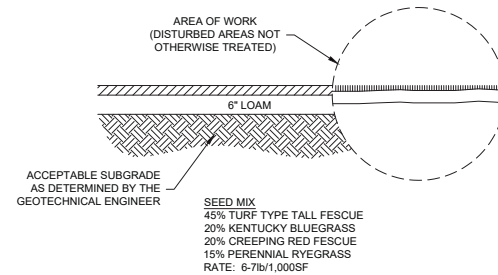
TRAFFIC SIGN SUPPORT DETAIL
NOT TO SCALE



PERMEABLE PAVER TYPICAL SECTION (LANDSCAPE ADD ALTERNATE)
NOT TO SCALE



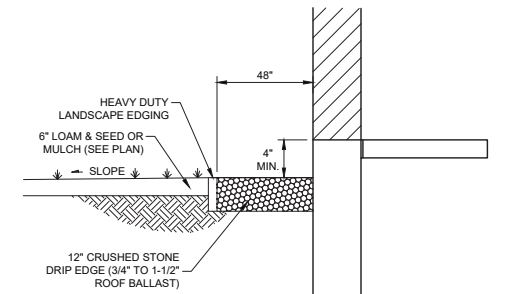
SAWCUT PAVEMENT DETAIL
NOT TO SCALE



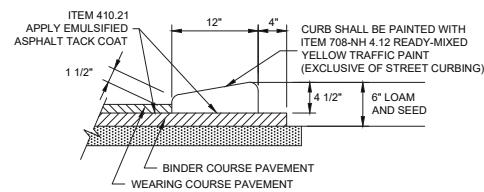
LOAM AND SEED DETAIL
NOT TO SCALE



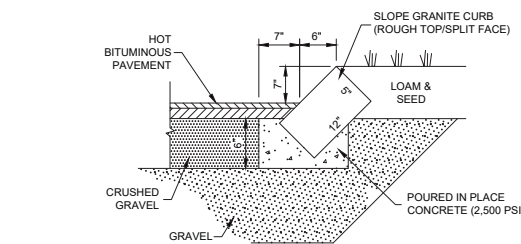
ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE



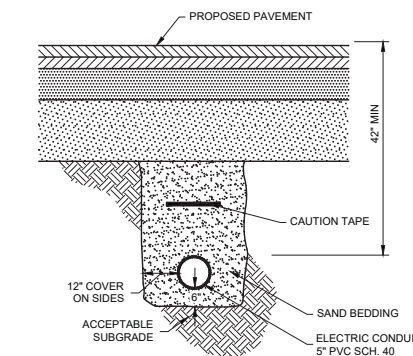
CRUSHED STONE DRIP EDGE DETAIL
NOT TO SCALE



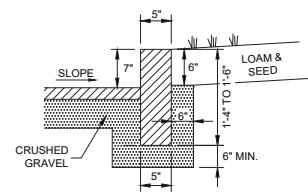
CAPE COD BERM DETAIL
NOT TO SCALE



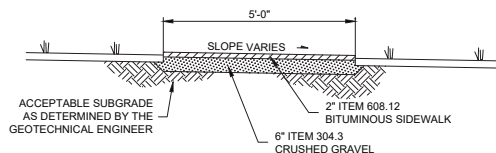
SLOPE GRANITE CURB DETAIL
NOT TO SCALE



ELECTRIC SERVICE CONDUIT TYPICAL TRENCH SECTION
NOT TO SCALE



STRAIGHT OR CURVED GRANITE CURB
(ITEM 609.1 OR 609.2-MODIFIED)
NOT TO SCALE



TYPICAL SECTION BITUMINOUS SIDEWALK
NOT TO SCALE

REVIEW ONLY
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No.	DATE	REVISION	BY

DETAIL SHEET - GENERAL SITE
(MAP 209, LOT 8)
PROPOSED BUILDING ADDITION
17 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE
PREPARED FOR:
SCHROEDER CONSTRUCTION MANAGEMENT, INC
2 TOWNSEND WEST, UNIT #3 NASHUA, NEW HAMPSHIRE 03060
RECORD OWNER:
STONEHILL REALTY, LLC
17 EXECUTIVE DRIVE HUDSON, NEW HAMPSHIRE 03051

SCALE AS SHOWN

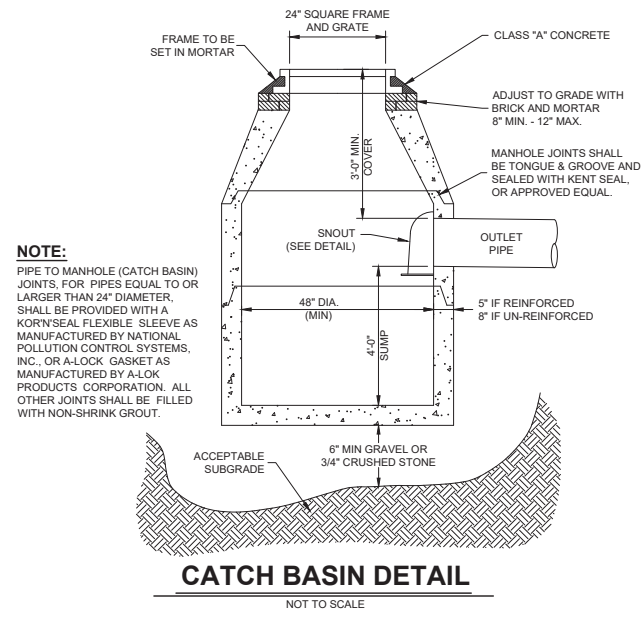
29 MARCH 2022

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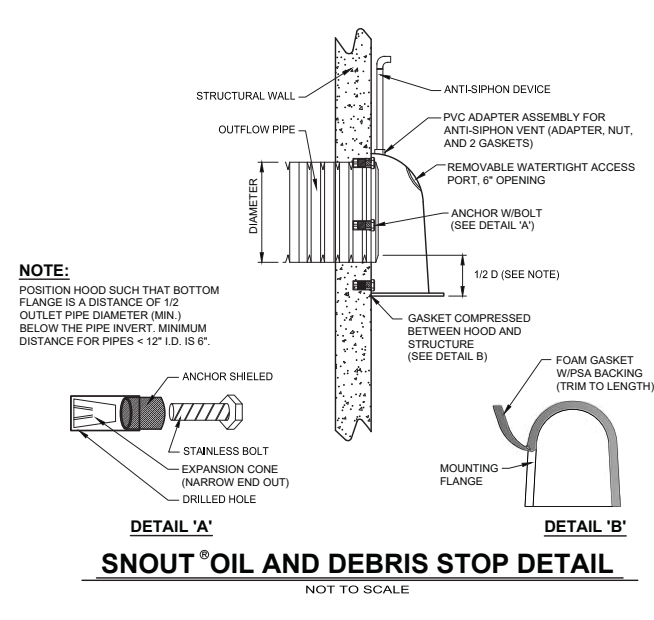
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____

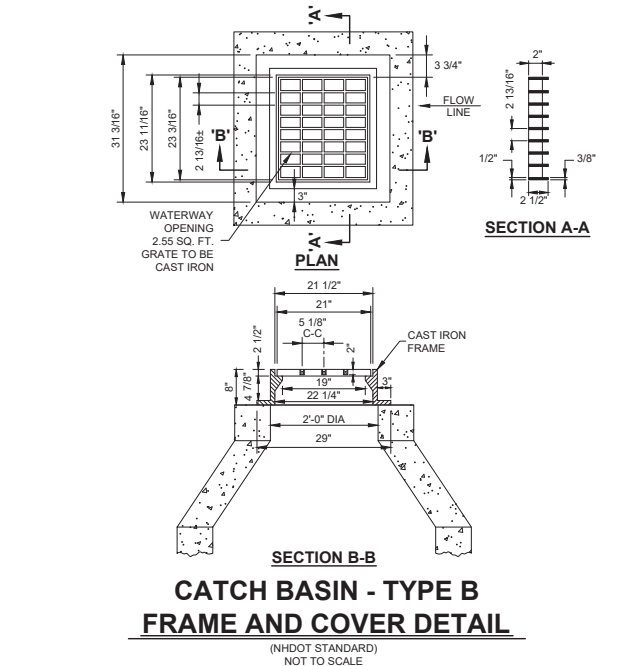
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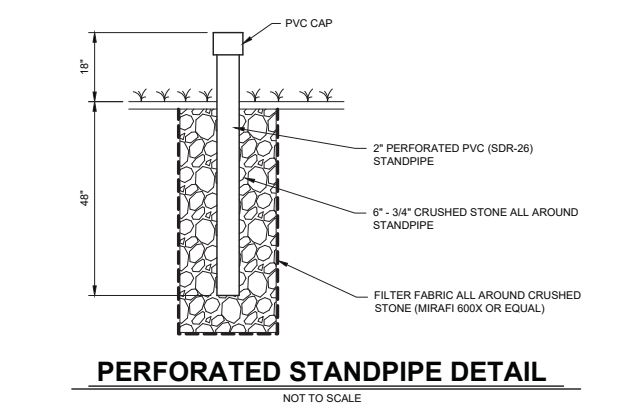
CATCH BASIN DETAIL
NOT TO SCALE



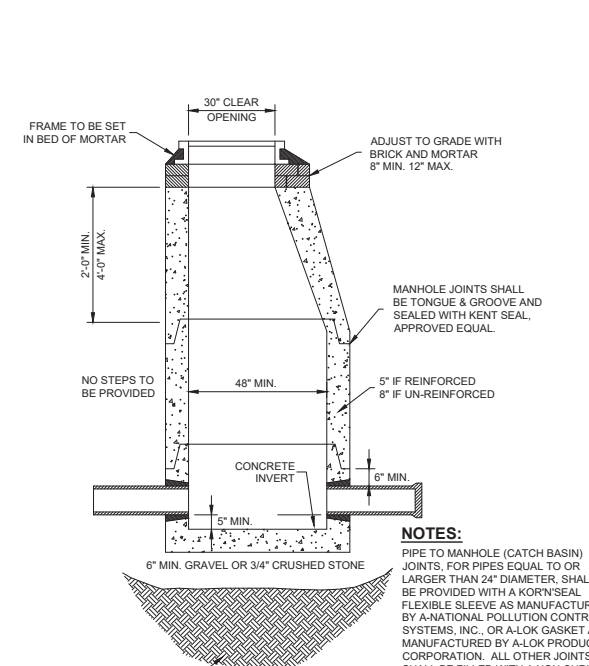
SNOUT® OIL AND DEBRIS STOP DETAIL
NOT TO SCALE



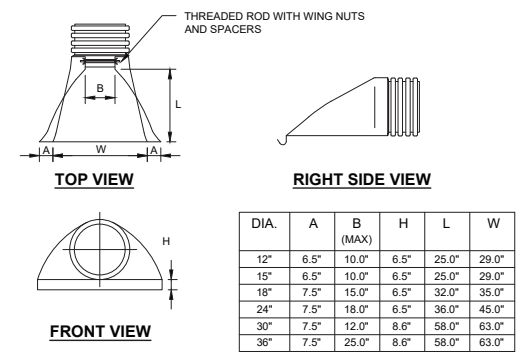
CATCH BASIN - TYPE B FRAME AND COVER DETAIL
(NHDOT STANDARD)
NOT TO SCALE



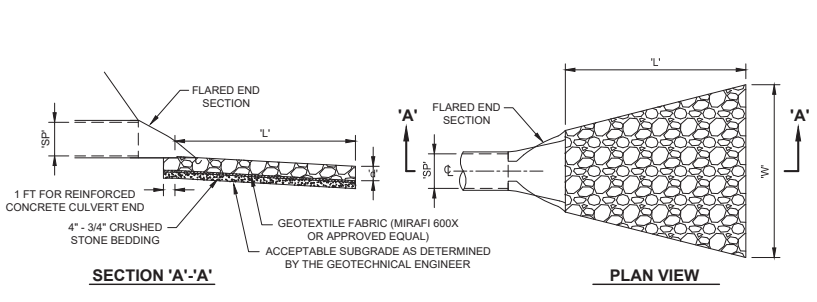
PERFORATED STANDPIPE DETAIL
NOT TO SCALE



DRAIN MANHOLE DETAIL
NOT TO SCALE

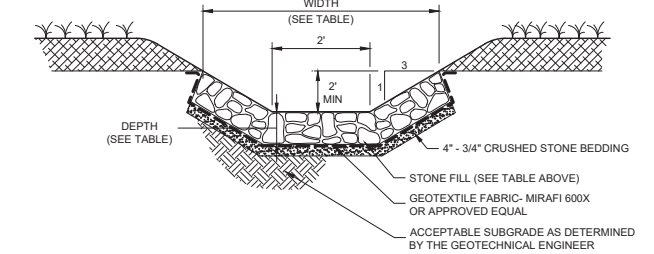


FLARED END SECTION FOR ADS PIPE
NOT TO SCALE

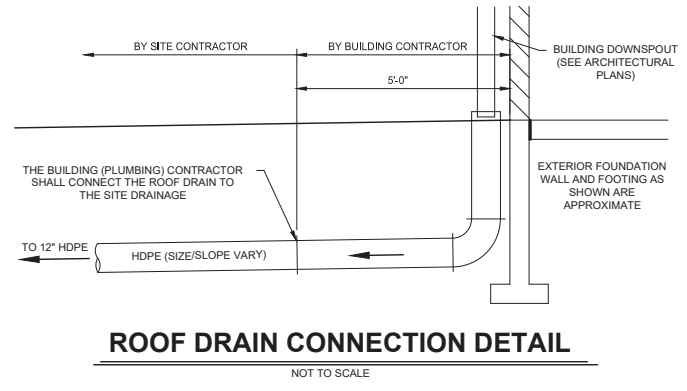


RIPRAP OUTLET PROTECTION SPECIFICATION TABLE

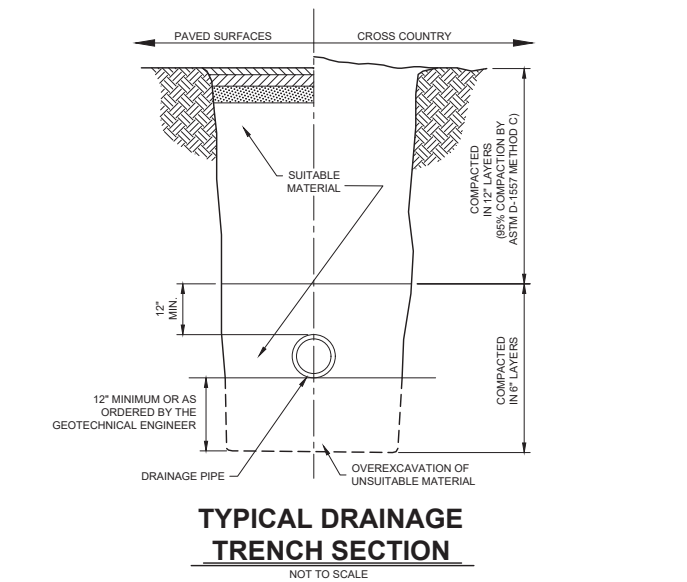
LOCATION	WIDTH (W) (FT)	LENGTH (L) (FT)	DEPTH (D) (FT)	50 (IN)	DIAMETER (SP) (IN)	MATERIAL
FES 1	11	18	1.0	2	15	ITEM 585.3 STONE FILL CLASS C
FES 6	7	11	1.0	1	12	ITEM 585.3 STONE FILL CLASS C
FES 8	10	16	1.0	1	15	ITEM 585.3 STONE FILL CLASS C



RIPRAP DETAIL AT HEADWALL/OUTLET DETAIL
NOT TO SCALE

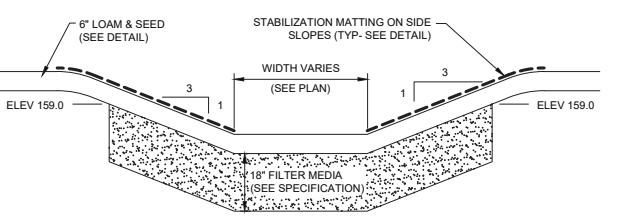


ROOF DRAIN CONNECTION DETAIL
NOT TO SCALE



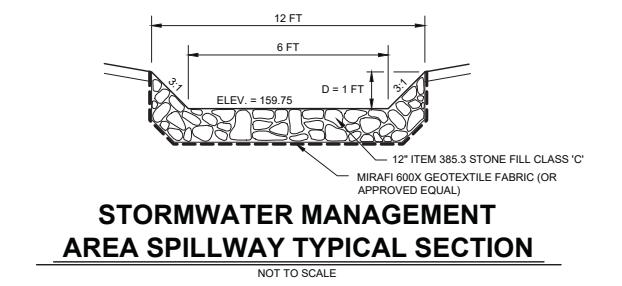
TYPICAL DRAINAGE TRENCH SECTION
NOT TO SCALE

- INFILTRATION BASIN NOTES:**
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASIN.
 - DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION BASIN.
 - AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
 - VEGETATION SHOULD BE ESTABLISHED IMMEDIATELY.
 - DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.



- FILTER MEDIA SPECIFICATIONS:**
- THE PROPOSED FILTER MEDIA LAYER SHALL MEET THE REQUIREMENTS OF ENV-WQ1508.07(K)(4) BY USING ONE OF THE FOLLOWING SPECIFICATIONS:
- 50% TO 55% BY VOLUME SAND THAT IS CERTIFIED BY ITS PRODUCER AS MEETING THE REQUIREMENTS FOR ASTM C-33 CONCRETE SAND, 20% TO 30% BY VOLUME OF LOAMY SAND TOPSOIL WITH 15% TO 25% FINES PASSING THE NUMBER 200 SIEVE, AND 20% TO 30% BY VOLUME MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH WITH LESS THAN 5% PASSING THE NUMBER 200 SIEVE.
 - 20% TO 30% BY VOLUME OF MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH THAT HAS NO MORE THAN 5% FINES PASSING THE NUMBER 200 SIEVE, WITH 70 TO 80% BY VOLUME LOAMY COARSE SAND USED IN THE MIXTURE MEETING THE FOLLOWING SIEVE ANALYSIS SPECIFICATION:
 - FROM 85 TO 100 PERCENT BY WEIGHT SHALL PASS THE NUMBER 10 SIEVE;
 - FROM 70 TO 100 PERCENT BY WEIGHT SHALL PASS THE NUMBER 20 SIEVE;
 - FROM 15 TO 40 PERCENT BY WEIGHT SHALL PASS THE NUMBER 60 SIEVE; AND
 - FROM 8 TO 15 PERCENT BY WEIGHT SHALL PASS THE NUMBER 200 SIEVE;

INFILTRATION BASIN TYPICAL SECTION
NOT TO SCALE



STORMWATER MANAGEMENT AREA SPILLWAY TYPICAL SECTION
NOT TO SCALE

REVIEW ONLY
NOT FOR CONSTRUCTION

DETAIL SHEET - GENERAL SITE
(MAP 209, LOT 8)

PROPOSED BUILDING ADDITION
17 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR:
SCHROEDER CONSTRUCTION MANAGEMENT, INC
2 TOWNSEND WEST, UNIT #3 NASHUA, NEW HAMPSHIRE 03060

RECORD OWNER:
STONEHILL REALTY, LLC
17 EXECUTIVE DRIVE HUDSON, NEW HAMPSHIRE 03051

SCALE AS SHOWN

29 MARCH 2022

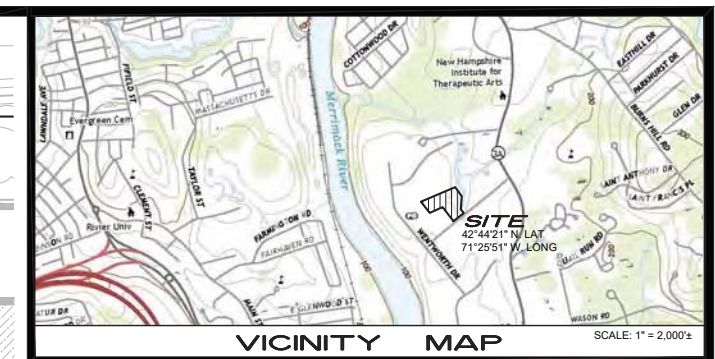
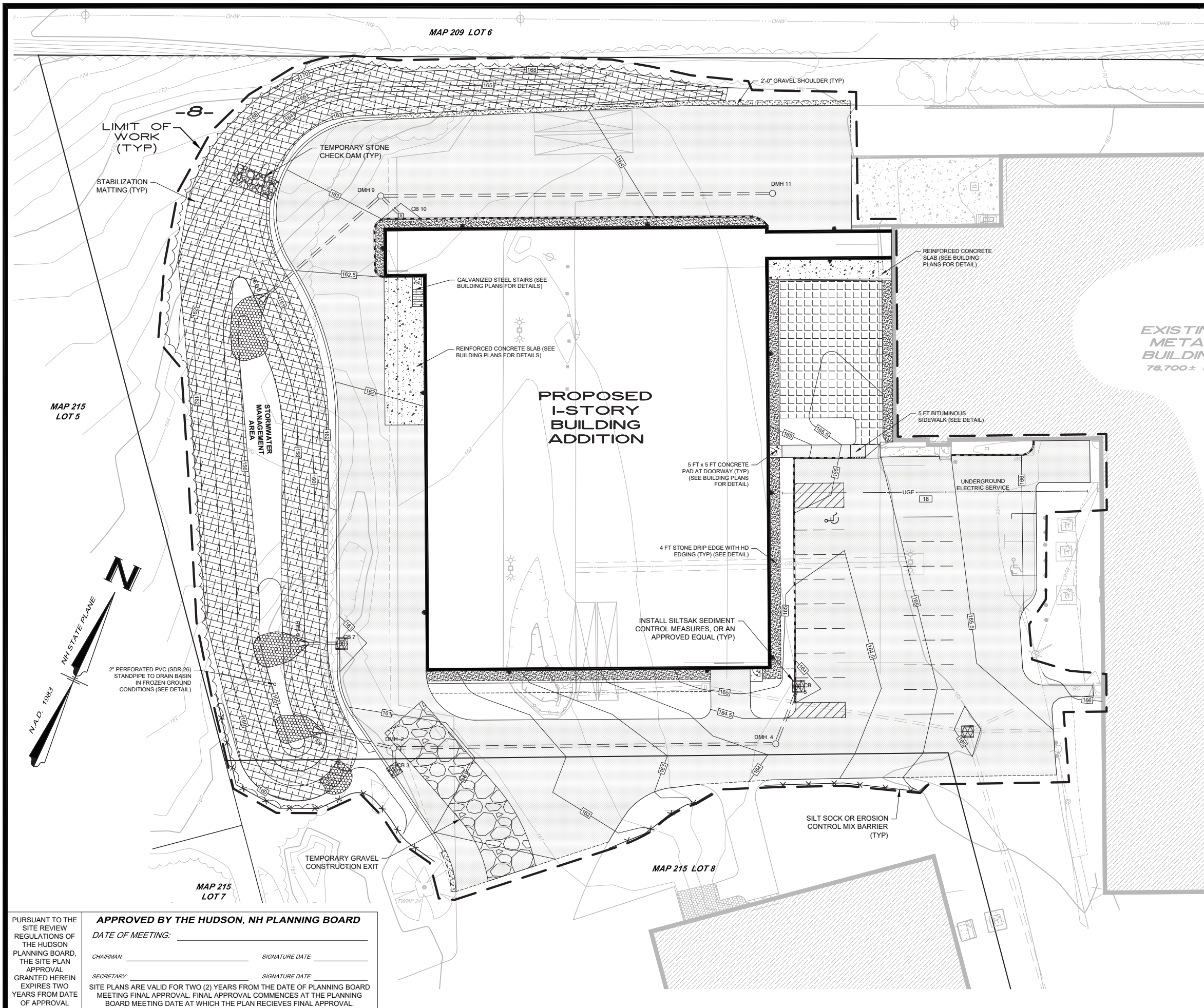
HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street
Nashua, NH 03062
(603) 883-2097
131 Middlesex Turnpike
Burlington, MA 01803
(781) 303-1501
www.haynerswanson.com

FIELD BOOK: 1264 DRAWING NAME: 5843SITE-DET1 5843 SITE 8 OF 13
DRAWING LOC: J:\5000\5843\DWG\5843 SITE File Number Sheet

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



- LEGEND**
- 100 — EXISTING GROUND CONTOUR
 - - - 100 - - - PROPOSED GRADE
 - x — x — SILT SOCK
 - ▣ SILT-SACK INLET PROTECTION DEVICES
 - ▨ GRAVEL CONSTRUCTION EXIT
 - ▧ STABILIZATION MATTING
 - ▩ TEMPORARY STONE CHECK DAM
 - - - - - LIMIT OF WORK

REVIEW ONLY
NOT FOR CONSTRUCTION

No.	DATE	REVISION	BY

EROSION CONTROL PLAN
(MAP 209, LOT 8)

PROPOSED BUILDING ADDITION
17 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR:
SCHROEDER CONSTRUCTION MANAGEMENT, INC
2 TOWNSEND WEST, UNIT #3 NASHUA, NEW HAMPSHIRE 03060

RECORD OWNER:
STONEHILL REALTY, LLC
17 EXECUTIVE DRIVE HUDSON, NEW HAMPSHIRE 03051

29 MARCH 2022

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors

3 Congress Street
Nashua, NH 03062
(603) 883-2037
www.haynerswanson.com

131 Middlesex Turnpike
Burlington, MA 01803
(781) 203-1501

FIELD BOOK: 1264	DRAWING NAME: 5843SITE-ER21	5843 SITE	9 OF 13
DRAWING LOC: J:\5000\5843\DWG\5843 SITE		File Number	Sheet

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DATE OF MEETING: _____

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SECRETARY: _____ SIGNATURE DATE: _____

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-8-

MAP 215 LOT 5

STORMWATER MANAGEMENT AREA

SANDY SOIL LAWN SEED MIX

PROPOSED 1-STORY BUILDING ADDITION

3/4" CRUSHED STONE (TYP)

EXISTING METAL BUILDING
78,700± SF

(1) - APA
1 1/2" - 2" CAL.

(14) - BOX
6" O.C.

(18) - BOX
6" O.C.

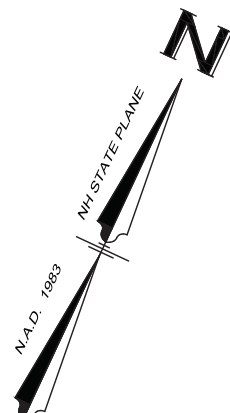
SANDY SOIL LAWN SEED MIX

(2) - ARU
2" - 2 1/2" CAL.

PAVEMENT SAWCUT (TYP)

MAP 215 LOT 8

MAP 215 LOT 7



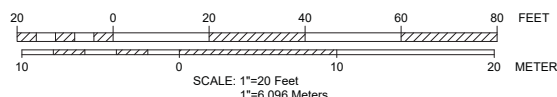
REVIEW ONLY
NOT FOR CONSTRUCTION

No.	DATE	REVISION	BY

LANDSCAPE PLAN
(MAP 209, LOT 8)
PROPOSED BUILDING ADDITION
17 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE
PREPARED FOR:
SCHROEDER CONSTRUCTION MANAGEMENT, INC
2 TOWNSEND WEST, UNIT #3 NASHUA, NEW HAMPSHIRE 03060
RECORD OWNER:

STONEHILL REALTY, LLC

17 EXECUTIVE DRIVE HUDSON, NEW HAMPSHIRE 03051



29 MARCH 2022

PREPARED BY :
CARROLL'S LANDSCAPE

DESIGN & BUILD
P.O. BOX 694 WINDHAM, NH 03087
PHONE (603) 821 - 7389

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD

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CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

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General Specifications

- The contractor shall at his expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and acquaint himself with all conditions before making his proposal. He will be held responsible for errors in his proposal resulting from his failure to make such an examination. All bidders shall visit the site and inform themselves of all conditions.
- The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials confirming to the bid items. Under no circumstances may a species 'hybrid' be substituted or size changed without written consent of the landscape architect.
- The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, he shall be responsible for their repair and/or replacement at his expense.
- The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstructed providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- If additional labor and/or materials is requested or required, the contractor shall submit a price to the owner. If the owner approves the price he shall prepare a change order for approval and signature. The contractor shall not proceed without a written authorization from the owner for the additional work. If the contractor proceeds with the additional work without this authorization he shall forfeit any claim for additional compensation.
- The landscape architect shall reserve the right to inspect the project work at any time deemed necessary to insure that the specifications and plans and any other contract documents are being followed.
- The L.A. shall have the right to reject any plant on-site based upon condition, size, or incorrect species or hybrid. LA must be contacted prior to install, to inspect materials delivered to the site, and to insure that soil amendments, bark mulch, roof ballast, etc. are to the written specifications.
- All seeded areas shall receive a minimum 6" topsoil blanket (by site contractor) w/site preparation, raking and general clean up prior to application. Operations shall include a preemergence type herbicide, 12 -25 -12 granular fertilizer @ 10 lbs./1000 sf., and pelletized limestone @ 25 lbs./1000 s/f power raked into the top 2" of soil prior to hydro-seeding. Ratios & application rates may change based upon the required soil analysis.
- Contractor is responsible for establishing a thick, weed free lawn. Seed shall be spread @ 4lbs./1000. Lawn germination shall be 95% free of noxious weeds for acceptance. Define differences in seed mixes (if applicable) with irrigation flagging until 2nd mowing. Site review by LA is required.

- Review of the installed irrigation system by the designer is required prior to release of final payment.
- Hydroseeding operations shall be a one part process with a paper fiber mulch; a tackifier shall be applied on all slopes greater than 3:1, Excelsior Drainage mat shall be applied to all 3:1 slopes and drainage swales per plan.
- Contractor shall maintain, from acceptance date, the lawn areas through the first mowing. Contractor is not responsible for the first mowing.
- All plant materials shall be installed in accordance with A.L.C.C. Trees and shrubs shall have appropriate soil mixtures, fertilizer and soil retention granules.
- If the soil conditions are extremely sandy, all trees shall have a 6" layer of compacted topsoil (verify with Landscape Architect) placed in the base of the plant pit as a moisture retention layer. The plant pit sidewalls shall be over excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec # 22.
- Landscape architect shall have the right to reject and have ground removed any plant material not of proper size or of weak quality, ie. thin, no lower branching, etc. Contractor must submit shipping lists (billing invoices) for verification, prior to installation.
- All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractors expense; with same warranty requirements as the original. Warranty does not cover loss due mechanical damage, ie. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.
- Plant beds and saucers vary in dia. (refer to dwg). Trees and shrubs shall receive a 4" (settled) covering of pine/hemlock bark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6' dia. saucer (typ.), evergreen trees shall have a saucer 2' min. beyond it's outer branches. All edges shall have a "V" groove.
- All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- If road base is encountered in any plant bed areas, ie. parking islands, it shall be removed and suitable amended soil installed per drawings and specifications.
- Soil planting mixture shall be a 6%-10% organic topsoil, amended with 10% wood ash, 10%% manure, & 30%% peatmoss or incorporate a dehydrated compost material. If planting in sand, gravel or other well drained soils, a 50% peatmoss to excavated soil. Other soil amendments shall include; Agriform tablets, Hydro-Gel or equal, and Roots growth enhancer to all trees and shrubs listed, per manufacturers specifications. All plant material pits will receive a min. 20%% in volume mix of a compost soil amendment. Submittal required. 'Roots' STEP 1 can be substituted for the individual supplements. Install per manufacturer's specs.
- Landscape contractor shall not be responsible for topsoil spreading but shall coordinate with the site contractor adherence to the mound grades, plant bed soil depths and soil type per dwgs & spec. Landscape contractor shall power rake-out for seed.

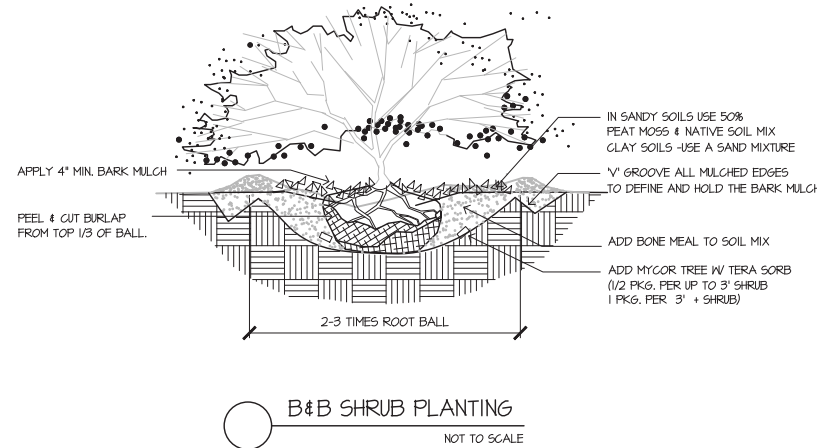
- Landscape contractor shall provide a soil analysis of the topsoil planting mixture. Analysis to show soil classification (min. sandy loam) and nutrients.
- Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be stored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface dries out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- Plan dictates, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- Installer shall notify landscape architect prior to planting, to review plant locations and bedline configurations. If contractor installs without the placement approval of the L.A., said architect shall have the right to relocate any installed plants at the contractor's expense.
- Installer shall notify landscape architect prior to plant installation to review all materials. Any plants of poor condition, improper size, or species will be rejected.
- Upon one year review, contractor shall straighten any trees that have shifted. Any weak or bare spots in lawn shall be reseeded.
- All bedlines shall have a deep "V" groove to define lawn to mulch edge. No "Beehive" mounding of mulch is allowed, also keep mulch away from base of perennials.
- Do not plant materials too close to the edge of bedlines. Refer to drawings for center of plant to bedline. At a minimum no outer branching of a shrub or perennial shall be closer than two feet from the bedlines. If the as-built does not comply contractor shall adjust the plant location or bedline at his expense.
- Seed mixes include: Sandy Soil Lawn Mix by: deercreekseed.com; refer to planting plan for designations.
- Any items not completed to the specifications will be required at contractors expense prior to final approvals. Contractor is to bid the work according to the specifications and not to what they may do under their standard practices. Special attention will be payed to soils, amendments, guy stakes, bedline & saucer configurations, seed mixtures, etc.
- Certain designated foundation edging is rood ballast (washed rounds, non-crushed, natural) Size of stone is a range of 3/4"-1.5" dia. placed to a depth of 3", upon placement apply a coating of granular Preen (preemergent).

PLANTING SCHEDULE:

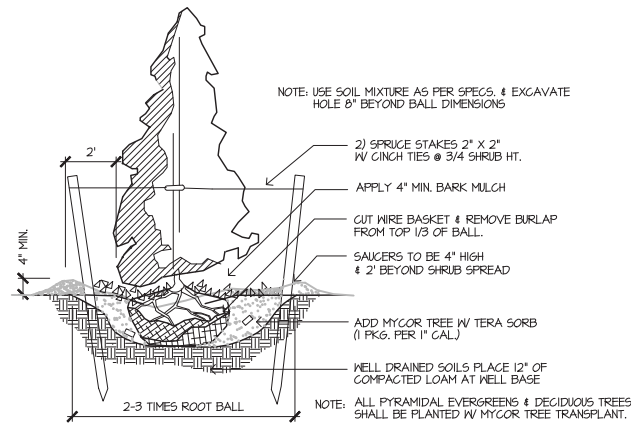
1/ APA	ACER PALMATUM (BLOODGOOD JAPANESE MAPLE)	1 1/2" - 2" CAL.
32/ BOX	BUXUS 'GREEN VELVET' (GREEN VELVET BOXWOOD)	#1 GAL.
2/ ARU	ACER RUBRUM 'FRANKSRED' (RED SUNSET MAPLE)	2" - 2 1/2" CAL.

MISCELLANEOUS:

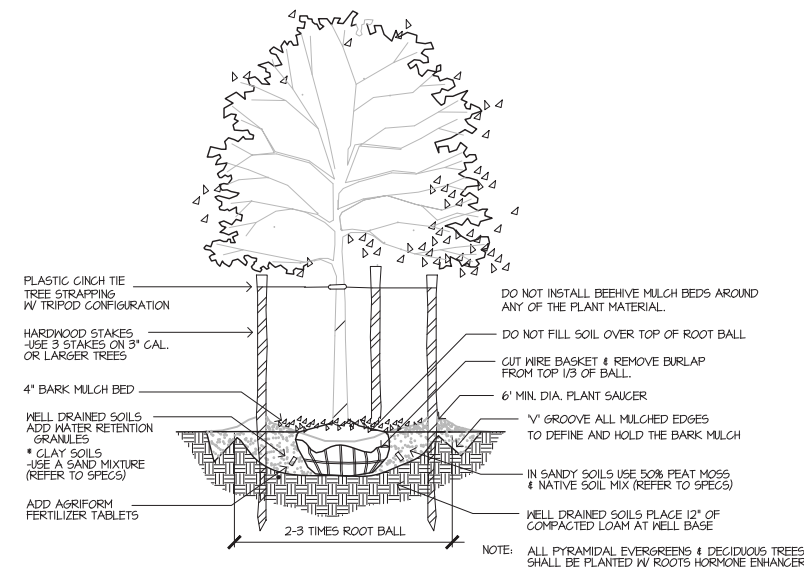
- N.E. EROSION CONTROL RESTORATION SEED MIX (DRY)
- SANDY SOIL LAWN SEED MIX
- PREMIUM BLEND PINE/ SPRUCE BARK MULCH



B&B SHRUB PLANTING
NOT TO SCALE



PYRAMIDAL EVERGREEN TREE PLANTING
NOT TO SCALE



TREE PLANTING 2" + CAL.
NOT TO SCALE

REVIEW ONLY
NOT FOR CONSTRUCTION

No.	DATE	REVISION	BY

DETAIL SHEET - LANDSCAPE
(MAP 209, LOT 8)

PROPOSED BUILDING ADDITION

17 EXECUTIVE DRIVE

HUDSON, NEW HAMPSHIRE

PREPARED FOR:
SCHROEDER CONSTRUCTION MANAGEMENT, INC

2 TOWNSEND WEST, UNIT #3 NASHUA, NEW HAMPSHIRE 03060

RECORD OWNER:
STONEHILL REALTY, LLC

17 EXECUTIVE DRIVE HUDSON, NEW HAMPSHIRE 03051

NO SCALE

29 MARCH 2022

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

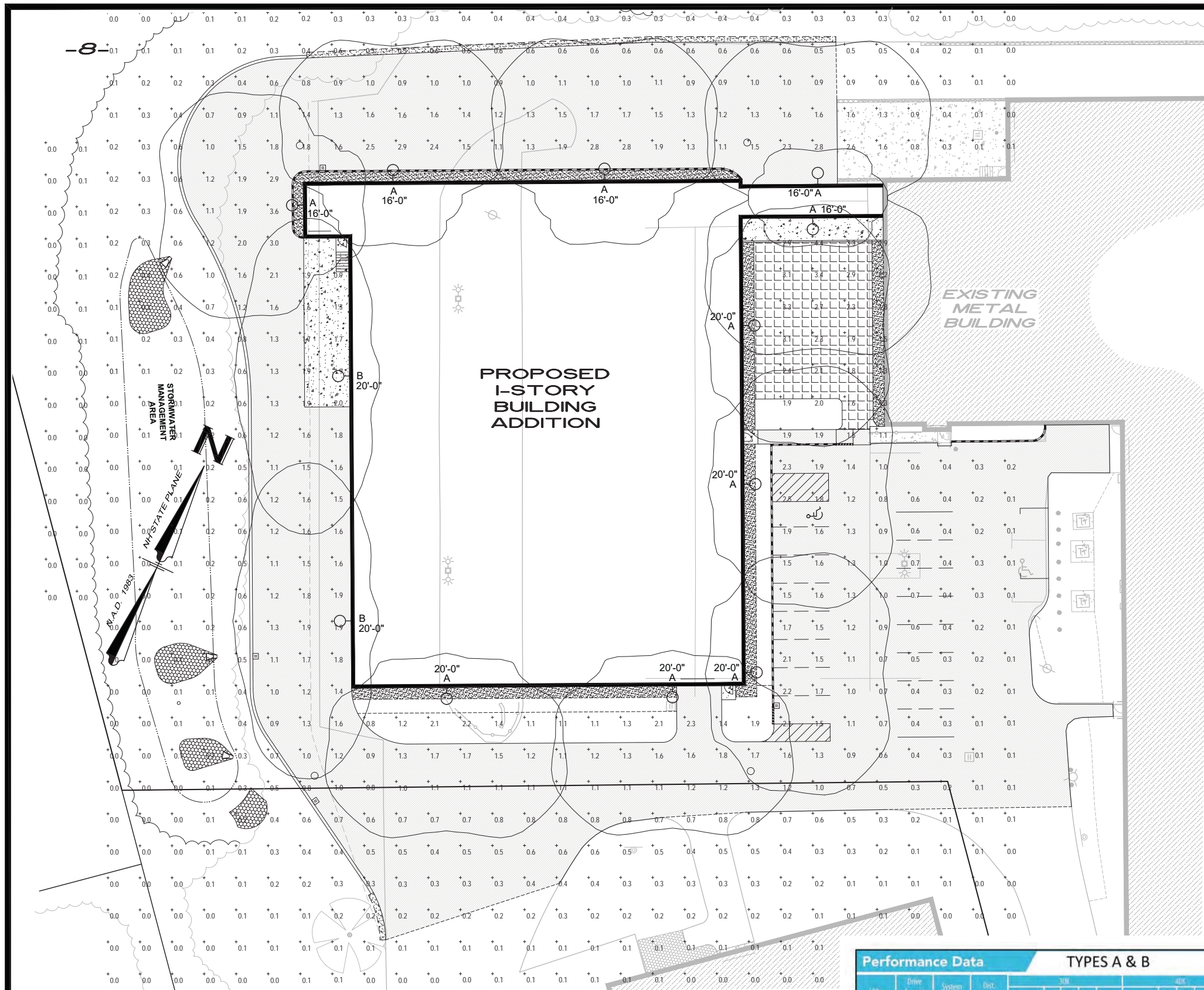
SECRETARY: _____ SIGNATURE DATE: _____


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PREPARED BY :
CARROLL'S LANDSCAPE

DESIGN & BUILD
P.O. BOX 694 WINDHAM, NH 03087
PHONE (603) 821 - 7389

FIELD BOOK: 1264	DRAWING NAME: 5843SITE-LS21	5843 SITE	12 OF 13
DRAWING LOC: J:\5000\5843\DWG\5843 SITE		File Number	Sheet





d-series

Specifications Luminaire

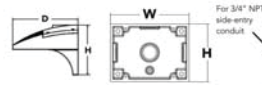
Width: 18-1/2" (470mm)
Depth: 10" (254mm)
Height: 7-5/8" (194mm)

Weight: 21 lbs (9.5kg)

D-Series Size 2 LED Wall Luminaire

Back Box (BBW)

Width: 5-1/2" (140mm) BBW Weight: 1 lbs (0.45kg)
Depth: 1-1/2" (38mm)
Height: 4" (102mm)



A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability!
- This luminaire is part of an A+ Certified solution for ROAM[®] or XPoint[™] Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background!

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. Link to Roam Link to DTL DLL.

Ordering Information EXAMPLE: D5XW2 LED 30C 700 40K T3M MVOLT DDBTXD

Series	LEDs	Power Lumens	Color Temperature	Efficiency	Beam Spread	Height	Mounting	Comments
D5XW2 LED	30C 20 LEDs (2000lm)	350 350 mA	30K 3000 K	T25 Type II Short	MVOLT 120"	Shipped included (Black) Surface mounting bracket	Shipped installed	PE Photocell, button type PER 10' Ball Beam-Lock attachment only (control sensor required) PER5 5' pole mountable only (control sensor required) PER7 7' pole mountable only (control sensor required) PER10 10' pole mountable only (control sensor required)
	30C 30 LEDs (3000lm)	530 530 mA	40K 4000 K	T25 Type II Short	208"	Shipped separately	DMG 15' (5m) mounting arm (control sensor required) PWR 180° motion/ambient light sensor, <15' range PWR1 180° motion/ambient light sensor, 15-30' range PWRFCV Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 10' PWRFCV Motion/ambient sensor, 15-20' mounting height, ambient sensor enabled at 10'	

Performance Data		TYPES A & B																
LEDs	Drive Current (mA)	System Watts	Dist. Type	30K				40K				50K						
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
30C			T2M	5,838	1	0	2	108	6,270	2	0	2	116	6,308	2	0	2	117
			TFTM	5,937	1	0	2	110	6,376	1	0	2	118	6,415	1	0	2	119

Light Fixture Schedule									
Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
⊙	A	10	D5XW2-LED-30C-530-40K-TFTM-MVOLT (CONTROL OPTIONS & FINISH TO BE DETERMINED)	LITHONIA D-SERIES SIZE 2 LED WALL LUMINAIRE - FORWARD THROW MEDIUM OPTIC - MOUNT WITH BOTTOM OF FIXTURE ABOVE FINISHED GRADE AT THE HEIGHT NOTED ON THE DRAWINGS - BUG RATING B1/U0/G2	LED	3	6376	1.0	54
⊙	B	2	D5XW2-LED-30C-530-40K-T2M-MVOLT (CONTROL OPTIONS & FINISH TO BE DETERMINED)	LITHONIA D-SERIES SIZE 2 LED WALL LUMINAIRE - TYPE 2 MEDIUM OPTIC DISTRIBUTION - MOUNT WITH BOTTOM OF FIXTURE ABOVE FINISHED GRADE AT THE HEIGHT NOTED ON THE DRAWINGS - BUG RATING B1/U0/G2	LED	3	6269	1.0	54

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

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No.	DATE	REVISION	BY

PHOTOMETRIC LIGHTING PLAN
(MAP 209, LOT 8)

PROPOSED BUILDING ADDITION

17 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR:
SCHROEDER CONSTRUCTION MANAGEMENT, INC
2 TOWNSEND WEST, UNIT #3 NASHUA, NEW HAMPSHIRE 03060

RECORD OWNER:
STONEHILL REALTY, LLC
17 EXECUTIVE DRIVE HUDSON, NEW HAMPSHIRE 03051



SCALE: 1"=20 Feet
1"=6.096 Meters

29 MARCH 2022

YEATON
— M.E.P. Inc. —

Bedford, NH | Littleton, NH
MEP/FP Engineers
603.444.6578
Project # 22028MEP

FIELD BOOK: 1264	DRAWING NAME: 5843SITE-SL21	5843 SITE	13 OF 13
DRAWING LOC: J:\5000\5843\DWG\5843 SITE		File Number	Sheet

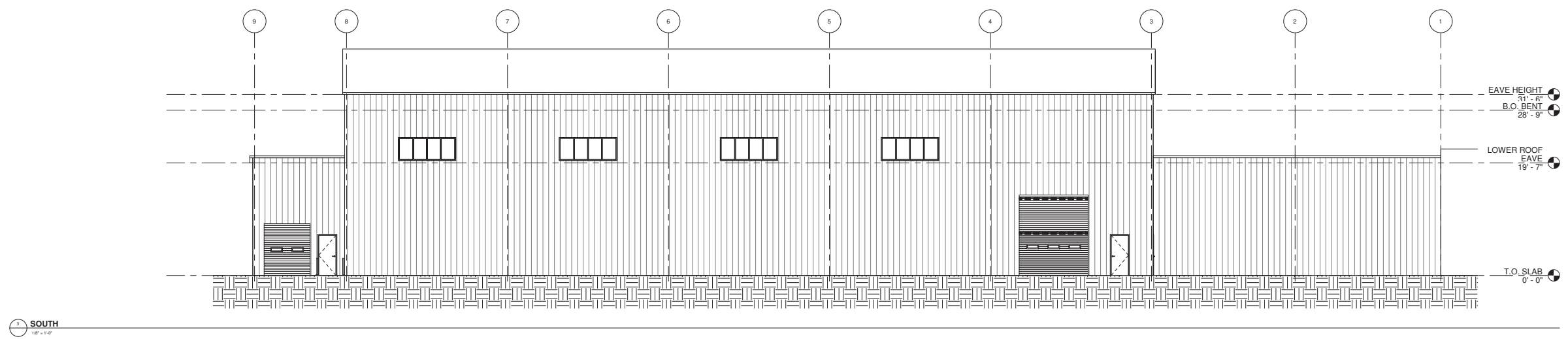
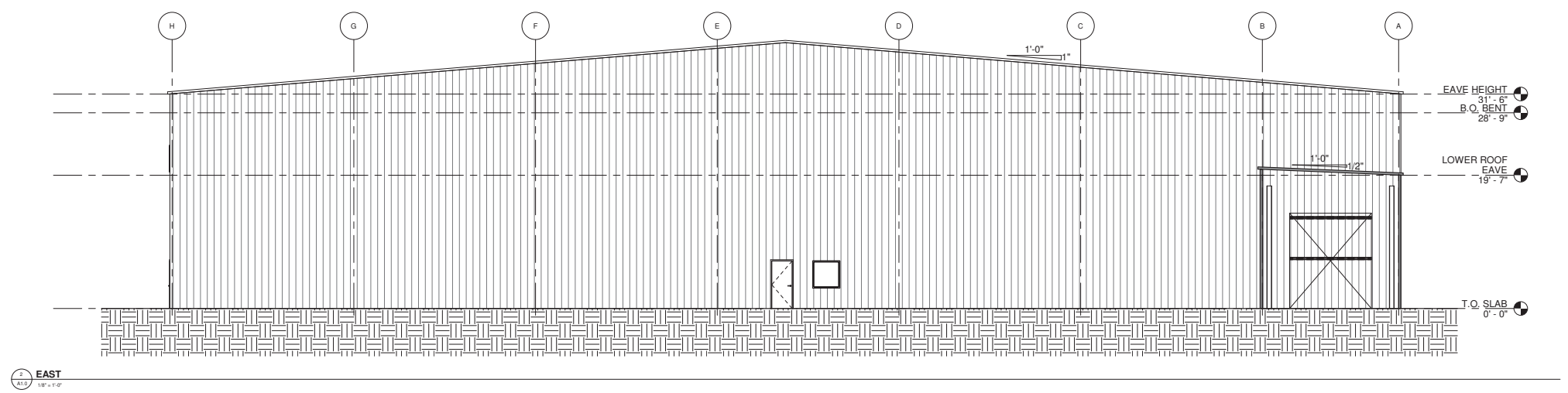
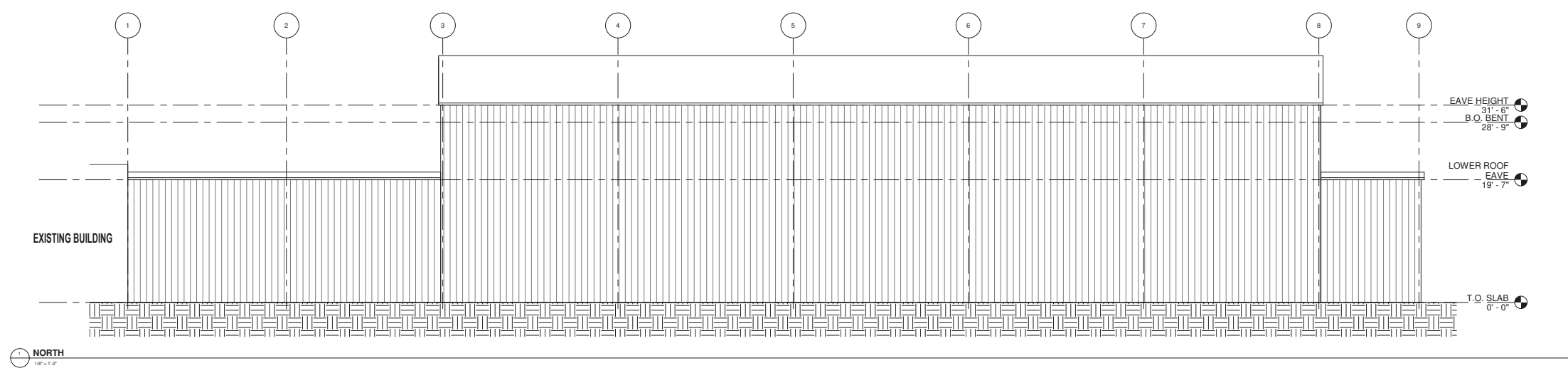
**PROGRESS
 PRINT**

REVISIONS

TITLE: **EXTERIOR ELEVATIONS**
 PROJECT: **ADDITIONS TO AIREX FILTER CO. 19 EXECUTIVE DRIVE, HUDSON NH**
 FOR: **SCHROEDER CONSTRUCTION INC.**
 NASHUA, NH

DATE: 3/21/2022
 SCALE: 1/8" = 1'-0"
 PROJECT NO. 21.17

A2.1
 DRAWING NO.



REDUCED PRINT

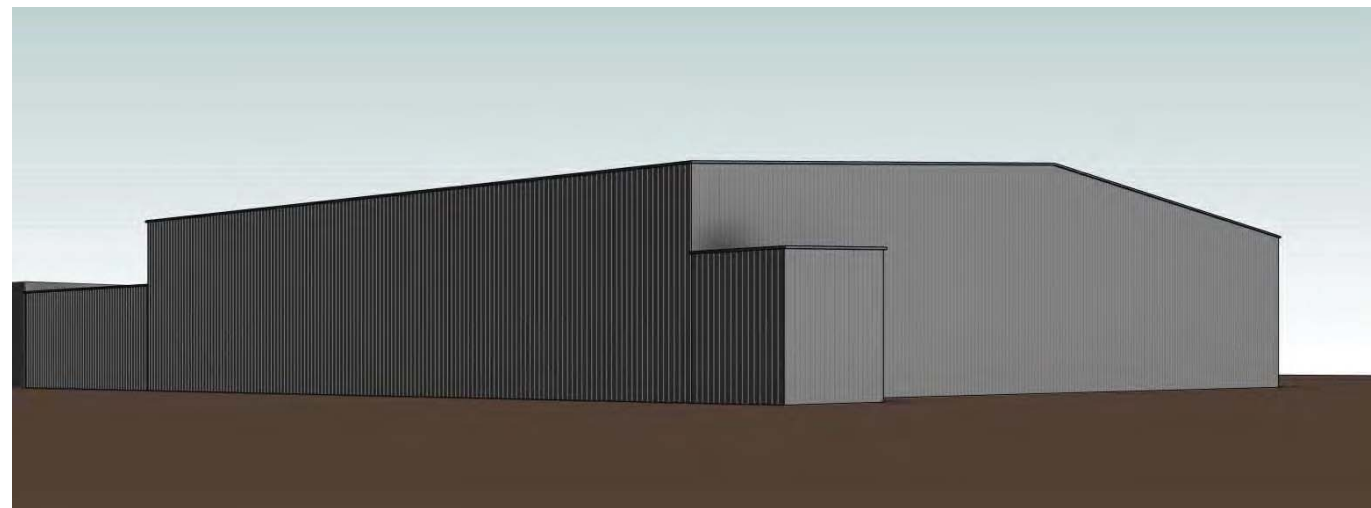
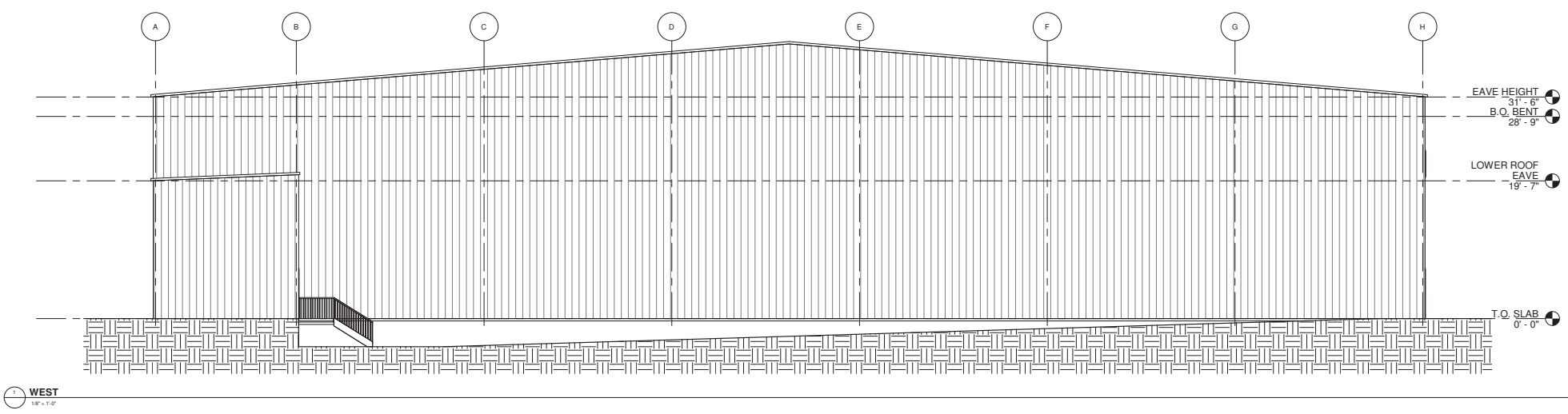
**PROGRESS
 PRINT**

REVISIONS

TITLE: **EXTSERIOR ELEVATIONS & RENDERINGS**
 PROJECT: **ADDITIONS TO AIREX FILTER CO. 19 EXECUTIVE DRIVE, HUDSON NH**
 FOR: **SCHROEDER CONSTRUCTION INC.**
 NASHUA, NH

DATE: 3/21/2022
 SCALE: 1/8" = 1'-0"
 PROJECT NO: 21.17

A2.2
 DRAWING NO.



REDUCED PRINT