

# **LACASSE HOMES SUBDIVISION**

SB# 05-22

## **STAFF REPORT**

July 13, 2022

**SITE:** 8 Lindsay Street; Map 166 Lot 031-000

**ZONING:** Town Residential (TR)

**PURPOSE OF PLAN:** To subdivide 8 Lindsay Street into two lots. The parent lot will retain the existing 2-family dwelling. The new lot will be single family residential.

**PLANS UNDER REVIEW:** Site Development Plan, 8 Lindsay Street, Hudson, NH, Map 166; Lot 031-000, 8 Lindsay Street, Hudson, New Hampshire; prepared by: SFC Engineering, 183 Rockingham Rd, Unit 3 East, Windham, NH 03087; prepared for M.R. Lacasse Homes, LLC, 9 Scenic Lane, Hudson, NH 03051; consisting of 5 sheets and general notes 1-19 on Sheet 1; dated June 17, 2022; last revised July 1, 2022.

### **ATTACHMENTS:**

- A. Zoning Board of Adjustment Notice of Decision – Map 166, Lot 031-000, Zone TR (Town Residential), Case #166-031, ZBA Decision 5/26/2022
- B. Department Comments
- C. Sample Drainage Easement
- D. CAP Fee worksheet

### **APPLICATION TRACKING:**

- May 26, 2022 – The Zoning Board of Adjustment granted the Applicant a variance with stipulations.
- June 21, 2022 – Application received.
- July 13, 2022 – Public hearing scheduled.

### **COMMENTS & RECOMMENDATIONS:**

#### **BACKGROUND**

An existing non-conforming two-family building is located on the southwest end of this unique “L”-shaped lot, which has frontage on two streets: Lindsay Street and Grigas Street at the corner of St. John Street. The lot has municipal water and sewer and is bordered to the east by a cemetery.

From the Applicant’s Project Narrative: “The lot is gently sloping, with a high point towards the center, southern portion, which slopes to Lindsay Street to the southwest and to the abutting

cemetery to the northeast. The majority of the lot is tree covered. Soils consist of Windsor Loamy sand, an excessively drained soil. A test pit was observed by SFC in June 2022 and found to be consistent with the published soils.” The location of the test pit is understood to be between the two proposed drywells in the area of the proposed driveway. This will be marked on the final plan.

“The developer, M.R. Lacasse Homes proposes to subdivide the existing lot to create one new lot for a ... single family dwelling... The new lot line will be at the ‘L’, resulting in a new lot with 20,055 sf of area where 10,000 sf is required. The parent lot will retain 40,084 sf where 40,000 sf is required for the existing non-conforming two-family structure.” This lot size is reflective of the lot size requirement at the time the duplex was established in 1981.

Underground water, electric, and gas connections will be made through the Grigas Street ROW; sewer service will be through a 10’ sewer easement along the southerly lot line of the parent lot. A residential pump station will be located behind the proposed dwelling.

### ZBA VARIANCE

The lot originally had over 100’ of frontage on the Grigas Street ROW. Grigas Street was dedicated in 1957 by Hillsborough County Registry of Deeds Plan #1667. Grigas Street Extension, the portion south of St. John Street, was never built, and therefore was released from public servitude twenty years after it was dedicated, effective 1977, and affirmed by the Board of Selectmen on January 11, 2022. When a paper street dissolves, ownership of the former ROW land is presumed to allocated to the abutting properties at its centerline. As a result, the subject lot has 25.73-feet of frontage on Grigas Street. Town Counsel has advised that the Town can rely on that legal presumption unless there is evidence to the contrary. Further, Counsel advises that the Planning Board can act on this application.

On May 26, 2022, the Zoning Board of Adjustment (ZBA) granted a variance with three stipulations to allow the creation of one new lot off Grigas Street with 25.73 feet of frontage where 90 feet is required. See **Attachment A** for the ZBA Notice of Decision.

The ZBA’s stipulations are that there is assurance from the Fire Chief of adequate access; that the property owner does not place snow or debris from the driveway on property of others; and that the drainage along the northern property line is reviewed by the Planning Board. Regarding these stipulations:

1. The Fire Chief has reviewed the plan and found the access acceptable for a single-family home (**Attachment B**).
2. At its narrowest point, there is approximately 6 or 7 feet on either side of the driveway from the side lot lines that abut 6 Grigas Street and 5 St. John Street. The side-yard setback for driveways in the TR zone is 5-feet. Per RSA §163-B it is illegal to dump debris on private property without permission.
3. Ponding of water currently occurs at the corner of Grigas Street and St. John Streets. Deep sump catch basins are proposed on either side of the proposed driveway, designed drain to a drywell where it will infiltrate into the soils, which are well-suited for drainage.

The Applicant is also proposing to modify the grading along the northern property line in order to form a better swale within a proposed 20’ drainage easement to carry any excess water during large events to the wetland system it currently feeds. The homeowner will be expected to maintain the swale but the easement gives the Town permission to repair the swale if needed. The proposed stormwater plan mitigates an existing issue with runoff from public roads in addition to the proposed development in coordination with the Department of Public Works and the Engineering Department (See **Attachment B**). It is recommended that the final easement be reviewed and approved by Town Staff as a condition of approval. An example of this type of easement is provided as **Attachment C**.

OTHER COMMENTS

The parcel abuts Saint Casimir Cemetery. RSA 289:3.III requires that “no new construction, excavation, or building shall be conducted within 25 feet of a known burial site or within 25 feet of the boundaries of an established burial ground or cemetery.” The Applicant has noted this statutory setback on the plan.

Finally, the Applicant made several minor revisions to the plan at Town staff request. These include adding notes of existing ROW width, existing building heights and adding an owner’s signature block. The Applicant also changed the sewer manhole detail to match the Town’s standard at the request of the Town Engineer (**Attachment B**).

The application meets the requirements of the Zoning Ordinance and Land Use Regulations.

**DRAFT MOTIONS**

**ACCEPT the subdivision application:**

I move to accept the subdivision application for the Lacasse Homes Subdivision SB# 05-22, at 9 Lindsay Street; Map 166 Lot 031-000.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**CONTINUE the public hearing to a date certain:**

I move to continue the subdivision application for the Lacasse Homes Subdivision SB# 05-22, at 9 Lindsay Street; Map 166 Lot 031-000, to date certain, \_\_\_\_\_, 2022.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**DEFER the public hearing to a date certain:**

I move to defer the subdivision application for the Lacasse Homes Subdivision SB# 05-22, at 9 Lindsay Street; Map 166 Lot 031-000, to date certain, \_\_\_\_\_, 2022.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**To GRANT a waiver:**

I move to grant a waiver from § 289-27.A(3), to allow the Planning Board signature block to be located at the lower right corner of each sheet in the plan set, based on the Board’s discussion, the testimony of the Applicant’s representative, and in accordance with the language included in the submitted Waiver Request Form for said waiver.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**APPROVE the subdivision application:**

I move to approve the subdivision application for the plan entitled: Site Development Plan, 8 Lindsay Street, Hudson, NH, Map 166; Lot 031-000, 8 Lindsay Street, Hudson, New Hampshire; prepared by: SFC Engineering, 183 Rockingham Rd, Unit 3 East, Windham, NH 03087; prepared for M.R. Lacasse Homes, LLC, 9 Scenic Lane, Hudson, NH 03051; consisting of 5 sheets and general notes 1-19 on Sheet 1; dated June 17, 2022; last revised July 1, 2022; subject to, and revised per, the following stipulations:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Plan and drainage easement.
2. A cost allocation procedure (CAP) amount of \$5,991.00 shall be paid prior to the issuance of a Certificate of Occupancy for the new house lot.
3. Prior to the Planning Board endorsement of the plan, the proposed drainage easement shall be favorably reviewed by Town Counsel.
4. All monumentation shall be set or bonded for prior to Planning Board endorsement of the Plan-of-Record.
5. Prior to the Planning Board endorsement of the Plan, it shall be subject to final administrative review by Town Planner and Town Engineer.
6. Prior to application for a building permit, the Applicant shall schedule a pre-construction meeting with the Town Engineer.
7. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M. No exterior construction activities shall be allowed on Sundays.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_



Send recorded copy to:

TOWN OF HUDSON  
ZONING BOARD OF ADJUSTMENT  
12 School Street, Hudson, New Hampshire 03051

**NOTICE OF DECISION**

**Map 166 Lot 031-000, Zone TR (Town Residence), Case # 166-031**

**ZBA Decision 05/26/2022**

**Variance – GRANTED with 3 STIPUATIONS**

Property Owner Name & Address: Amnon Waisman, Trustee; Amnon Waisman Rev Trust  
11 Whitman Road, Nashua, NH 03062

Agent/Applicant: Daniel M. Flores, PE, SFC Engineering Partnership, Inc.  
183 Rockingham Road, Unit 3 East, Windham, NH 03087

Legal Representative: Patricia M. Panciocco, Esq.  
Panciocco Law, LLC, 1 Club Acre Ln, Bedford, NH 03110

Property Location: 8 Lindsay Street, Hudson, NH 03051

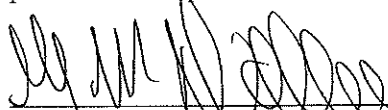
Relief sought: Variance for 8 Lindsay Street, Hudson, NH for subdivision of land to allow the creation of one (1) new lot (off Grigas St.) with 25.73 feet of frontage on a Class V road where 90 feet is required. This matter is before the Board as a Rehearing granted on 4/28/22.

Zoning Ordinance Articles: VII, Dimensional Requirements, §334-27.2, Lot Requirements for Subdivision of Land.


Relief granted: After review of the revised Proposed Subdivision Plan updated 5/9/2022, based upon the Gigras Street Extension having lapsed by Operation of Law, as prepared by SFC Engineering, 183 Rockingham Road, Unit 3 East, Windham, NH 03087; considering the applicant's testimony, abutters' concerns, aerial views and composition of the neighborhood; and after review of the Variance criteria and determination that all have been satisfied, motion made, seconded and voted 4:1 to grant the variance with three (3) stipulations:

- (1) that there is assurance from the Fire Chief of adequate access (ingress/egress) for the Fire Department;
- (2) that the property owner(s) do not place snow or debris from the driveway onto the property of others; and
- (3) that the drainage issue (at the northern property line to the abutting cemetery) be reviewed by the Planning Board.

NOTE: All representations of fact or intention made during testimony and deliberation shall be considered factors of this denial. For details of specific discussion relative to this decision, please consult the public minutes recorded during this hearing.

  
\_\_\_\_\_  
Gary M. Daddario, ZBA Chairman

6/10/22  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Bruce Buttrick, Zoning Administrator

6-9-22  
\_\_\_\_\_  
Date

**SUBDIVISION APPLICATION**

Date of Application: 6/21/2022 Tax Map #: 166 Lot #: 31

Site Address: 8 Lindsay Street

Name of Project: Lacasse Homes Subdivision

Zoning District: Town Residential General SB#: SB #05-22  
(For Town Use Only)

Z.B.A. Action: Variance to frontage requirement (Article VII Section 334-27.2) granted on 5/26/2022

**PROPERTY OWNER:**

Name: Amnon Waisman Rev Trust

Address: 11 Whitman Road

Address: Nashua, NH 03062

Telephone # 603-809-1407

Email: wamnonw@gmail.com

**DEVELOPER:**

M.R. Lacasse Homes, LLC

9 Scenic Lane

Hudson, NH 03051

603-321-8374

michelrlacasse@gmail.com

**PROJECT ENGINEER:**

Daniel M. Flores, PE  
Name: SFC Engineering Partnership, Inc.

Address: 183 Rockingham Rd Unit 3 East

Address: Windham, NH 03087

Telephone # 603-361-3294

Email: dflores@sfceng.com

**SURVEYOR:**

Timothy A. Peloquin, LLS  
Promised Land Survey, LLC

PO Box 447

Derry, NH 03038

603-432-2112

tap@promisedlandsurvey.com

**PURPOSE OF PLAN:**

To subdivide 8 Lindsay Street into 2 lots. The parent lot will retain the existing 2-family dwelling. The new lot will be single family residential.

**(For Town Use Only)**

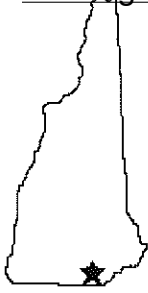
Routing Date: 6/24/22 Deadline Date: 7/1/22 Meeting Date: 7/13/22

           I have no comments   *J*   I have comments (attach to form)

*Jr* Title: Chief Assessor Date: 6-27-22  
(Initials)

Department:

Zoning:     Engineering:     Assessor:     Police:     Fire:     DPW:     Consultant:



# TOWN OF HUDSON

Office of the Chief Assessor




Jim Michaud  
Chief Assessor, CAE  
email: [jmichaud@hudsonnh.gov](mailto:jmichaud@hudsonnh.gov)  
[www.hudsonnh.gov](http://www.hudsonnh.gov)

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12 School Street · Hudson, New Hampshire 03051 · Tel: 603-886-6009 · Fax: 603-598-6481

To: Brian Groth, Town Planner

June 27, 2022

From: Jim Michaud, Chief Assessor 

Re: Lacasse Homes Subdivision Plan Tax Map 166 Lot 031

In reviewing the proposed subdivision plan I would offer the following map/lot/sublot numbers to be utilized, if the proposed layout of the lots does not change after Planning Board consideration.

<b>CURRENT-From Draft Plan</b>	<b>Assigned Map/Lot to be used on plan</b>
Tax Map 166 Lot 031 Sublot 000	Map 166 Lot 031 Sublot 000
Proposed Lot Area	Map 166 Lot 031 Sublot 001

**SUBDIVISION APPLICATION**

Date of Application: 6/21/2022 Tax Map #: 166 Lot #: 31

Site Address: 8 Lindsay Street

Name of Project: Lacasse Homes Subdivision

Zoning District: Town Residential General SB#: SB #05-22  
(For Town Use Only)

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Email: wamnonw@gmail.com

**DEVELOPER:**

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I have no comments  I have comments (attach to form)

DF Title: Public Works Date: 6/27/22  
(Initials)

Department:

Zoning: \_\_\_ Engineering: \_\_\_ Assessor: \_\_\_ Police: \_\_\_ Fire: \_\_\_ DPW:  Consultant: \_\_\_

Tax Map #166 Lot 31

8 Lindsay St

Roadside water runoff

Public Works Director and the Towns Engineer meet with Mr. Lacasse with his Engineer on site to resolve the roadside water runoff issue, what we came up with and what is proposed is what we thinking would work best for that very difficult location.

Jess Forrence  
Public Works Department



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         I have no comments  I have comments (attach to form)

EZD Title: Town Engineer Date: 6/27/22  
(Initials)

Department:

Zoning:          Engineering:  Assessor:          Police:          Fire:          DPW:          Consultant:

**From:** Dhima, Elvis  
**Sent:** Monday, June 27, 2022 9:29 AM  
**To:** Groth, Brian  
**Cc:** Steve Reichert; Kirkland, Donald  
**Subject:** RE: Plan Review - Lacasse Subdivision

Brian

I have only one comment

1. Applicant shall revise the typical sewer manhole detail to match Hudson internal drop sewer manhole detail

E

*Elvis Dhima, P.E.*  
*Town Engineer*

12 School Street  
Hudson, NH 03051  
Phone: (603) 886-6008  
Mobile: (603) 318-8286



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\_\_\_\_\_ I have no comments  I have comments (attach to form)

BB  
(Initials)

Title: Zoning Admin

Date: 6-24-22

Department: \_\_\_\_\_

Zoning:  Engineering: \_\_\_\_\_ Assessor: \_\_\_\_\_ Police: \_\_\_\_\_ Fire: \_\_\_\_\_ DPW: \_\_\_\_\_ Consultant: \_\_\_\_\_



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RMB Title: Fire Chief Date: 7/6/2022  
(Initials)

Department: Fire Department has reviewed driveway access. This is acceptable for a single family home.

Zoning:    Engineering:    Assessor:    Police:    Fire:    DPW:    Consultant:



# TOWN OF HUDSON

## Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

### Subdivision application Zoning Review/Comments

June 24, 2022

Re: Map 166 Lot 031  
Address: 8 Lindsay St  
Zoning district: Town Residential (TR)  
Proposal: 2 lot subdivision (access from Grigas St)  
Based on submitted plans: C1 dated 6/17/2022 and sheet 1 of 1 dated 6/17/2022.

**ZBA granted variance for lack of sufficient frontage, note the 3 stipulations.**

Bruce Buttrick  
Zoning Administrator/Code Enforcement Officer  
(603) 816-1275  
[bbuttrick@hudsonnh.gov](mailto:bbuttrick@hudsonnh.gov)

encl: ZBA 5/26/22 Notice of Decision  
cc: B. Groth - Town Planner  
file

DOCUMENT BOOKS 8960 Page 387 Docket 7016479 Requested by TAMMY from copy at Hillsborough on 04/25/2017

Doc # 7016479 Apr 17, 2017 10:51 AM  
Book 8960 Page 0387 Page 1 of 2  
Register of Deeds, Hillsborough County

*Carmela O. Coughlin*

Return to:  
Prunier & Prolman, P.A.  
Account No. 026

**SLOPE AND DRAINAGE EASEMENT**

Chestnut Street  
Hudson, New Hampshire

**K & M Developers, LLC**, a New Hampshire limited liability company with an address of 46 Lowell Road Hudson, New Hampshire 03051, for good and valuable consideration, grants to the **Town of Hudson**, New Hampshire, a municipal corporation, with an address of 12 School Street, Hudson, New Hampshire 03051, a Slope and Drainage Easement upon a portion of Grantor's property located in the Town of Hudson, State of New Hampshire, and described as follows:

An easement shown as "**Proposed Slope & Drainage Easement #7**" on **Map 247 Lot 45-1**, on a plan entitled "Easement Plan, Lucier Park Drive and Eayer's Pond Road, Hudson, New Hampshire, Hillsborough County," Prepared for K & M Developers, LLC by Keach-Nordstrom Associates, Inc., dated January 24, 2017, and recorded at the Hillsborough County Registry of Deeds as Plan No. 39190. Said Slope and Drainage Easement is further described as follows:

Beginning at a point on the easterly side of Chestnut Street; then

North 28° 13' 12" East a distance of 83.63 feet; then

North 61° 46' 39" East a distance of 13.05 feet; then

South 28° 13' 21" West a distance of 92.01 feet; then

North 61° 46' 39" West a distance of 10.00 feet, to the point of beginning.

Containing 878 square feet.

The slope easement herein granted shall include the right to enter upon the real estate described at any time that the Town of Hudson may see fit, and to construct, maintain, repair and/or replace the slope as required under the above mentioned plan, together with the right to excavate and refill ditches and/or trenches for the location of said slopes. The drainage easement

granted herein shall include the right to enter upon the real estate described at any time that the Town of Hudson may see fit for the construction, maintain, replace and repair aboveground and underground drainage systems and culverts, swales, headwalls, open drainage areas, riprap and related installations together with the right to excavate and refill trenches and ditches from time to time, regarding the location of said pipes, culverts, headwall and other installations and the right to grade and re-grade and install slopes and embankments in and about such installations and the areas adjacent thereto for the purposes of conveying storm and runoff water through said easement.

The Town of Hudson agrees, by its acceptance of this conveyance, that construction, maintenance and repair or replacement of the slopes and drainage systems shall be conducted in such a manner so as not to unreasonably disrupt the area of the easement or interfere with the Grantor's and Grantor's successors and assigns use of the premises. The Town of Hudson further agrees that it shall repair and replant or reseed any disruption caused by it which exercising its rights described in this Slope and Drainage Easement.

Grantor reserves for itself and its successors and assigns the right to dispose of sewage in the above described easement area.

Meaning and intending to describe a portion of the property conveyed by quitclaim deed as recorded in said Hillsborough County Registry of Deeds at Book 8862, Page 2168.

Dated this 14<sup>th</sup> day of April, 2017

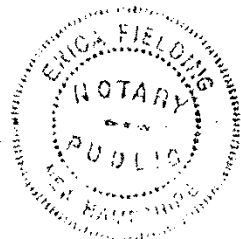
K & M DEVELOPERS, LLC

Manuel D. Sousa  
Manuel D. Sousa, Member

STATE OF NEW HAMPSHIRE  
COUNTY OF HILLSBOROUGH

On this the 14 day of April, 2017, before me, the undersigned officer, personally appeared the above-named Manuel D. Sousa, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument, and acknowledged that he executed the same for the purpose therein contained.

Before me:



Erica Fielding  
Justice of the Peace/Notary Public  
My Commission Expires: \_\_\_\_\_

ERICA FIELDING  
Notary Public - New Hampshire  
My Commission Expires April 20, 2021



# TOWN OF HUDSON

## Planning Board

Timothy Malley, Chairman



12 School Street · Hudson, New Hampshire 03051 · Tel: 603-886-6008 · Fax: 603-594-1142

### CAP FEE WORKSHEET - 2022

Date: 06-28-22 Zone # 1 Map/Lot: 166/031-001  
8 Lindsay Street (parent lot address)

Project Name: Lacasse Homes Subdivision SB #05-22

Proposed ITE Use #1: Single Family Residential Lot

Proposed Building Area (square footage): N/A S.F.

#### CAP FEES: (ONE CHECK NEEDED)

1.	(Bank 09) 2070-701	Traffic Improvements	\$ <u>2,013.00</u>
2.	(Bank 09) 2050-182	Recreation	\$ <u>400.00</u>
3.	(Bank 09) 2080-051	School	\$ <u>3,578.00</u>
		<b>Total CAP Fee</b>	<b>\$ <u>5,991.00</u></b>

Check should be made payable to the Town of Hudson.

Lindsay Street One Lot Subdivision  
8 Lindsay Street  
Hudson, Tax Map 166 Lot 31

## Project Narrative

### EXISTING CONDITIONS

The property is located at 8 Lindsay Street, map 166 lot 31 consisting of 1.381 acres and owned by Amnon Waisman Revocable Trust. The property is located within the Town Residential zoning district. The lot has a unique 'L' configuration, with frontage on both Lindsay Street and Grigas Street at the corner of St. John Street.

The record lot is shown on plan # 13558 dated June 1979 and last revised September 1980 and recorded at the Hillsborough County Registry of Deeds. This plan includes an extension of the Grigas Street R.O.W., which had given the lot over 100' of frontage on Grigas Street. This ROW was never developed and has since lapsed by operation of law (see letter from Tarbell & Brodich dated January 12, 2022).

The lot is currently developed with an existing non-conforming two-family building (reference Zoning Determination #21-112R1). The lot has municipal water and sewer service.

The lot is gently sloping, with a high point towards the center, southern portion, which slopes to Lindsay Street to the southwest and to the abutting cemetery to the northeast. The majority of the lot is tree covered. Soils consist of Windsor Loamy sand, an excessively drained soil. A test pit was observed by SFC in June 2022 and found to be consistent with the published soils.

### PROPOSED SUBDIVISION

The developer, M.R. Lacasse Homes proposes to subdivide the existing lot to create one new lot for a 4-bedroom single family dwelling with attached garage. The new lot line will be at the 'L', resulting in a new lot with 20,055 sf of area where 10,000 sf is required. The parent lot will retain 40,084 sf where 40,000 sf is required for the existing non-conforming two-family structure.

Utilities will include connection to the municipal water line in Grigas Street ROW. Sewer service will include a residential pump station behind the dwelling. This will pump through the backyard, then along the southerly lot line of the parent lot through a 10' sewer easement. Discharge will be to a new sewer manhole on the parent lot that will drain by gravity to the municipal sewer in Lindsay Street ROW. Electric service will be from an existing electric pole in the Grigas Street ROW, then underground to the new dwelling. Gas service will connect to the underground gas line in the Grigas Street ROW.

### ZONING BOARD OF ADJUSTMENT

On May 26, 2022, the Hudson Zoning Board of Adjustment granted a variance to article VII section 334-27.2 of the Hudson Zoning Ordinance to allow the creation of a new lot that does not have the required frontage on a class V or better road.

## **DRAINAGE IMPROVEMENTS**

One stipulation of the variance is for the Planning Board to review the drainage issue at the northern property line. Currently water can pool at the corner where Grigas Street becomes St John Street. A review of topographic data for the area shows that stormwater at this location should flow easterly to the cemetery, which then continues to a wetland system east of the cemetery.

Our included Site Development Plan (sheet C1) includes a new deep sump catch basin on either side of the proposed driveway to intercept stormwater off Grigas Street and off St John Street. These catch basins will drain to a 6' diameter drywell off the new driveway and within a proposed 20' drainage easement to benefit the town located along the proposed lot's northern boundary. The dry well will infiltrate the 2-year storm and provide a reduction in both peak flow and stormwater volume for the 10-, 25-, and 50-year storms (see Drainage Notes on sheet C1). These stormwater features will reduce ponding of water at the street corner and reduce stormwater flow to the cemetery.

In addition to the drainage improvements for the town road, we also propose a 6' diameter drywell to infiltrate roof runoff from the new house.

**– END –**

**SUBDIVISION APPLICATION**

Date of Application: 6/21/2022 Tax Map #: 166 Lot #: 31

Site Address: 8 Lindsay Street

Name of Project: Lacasse Homes Subdivision

Zoning District: Town Residential General SB#: \_\_\_\_\_  
(For Town Use Only)

Z.B.A. Action: Variance to frontage requirement (Article VII Section 334-27.2) granted on 5/26/2022

**PROPERTY OWNER:**

Name: Amnon Waisman Rev Trust

Address: 11 Whitman Road

Address: Nashua, NH 03062

Telephone # [REDACTED]

Email: [REDACTED]

**DEVELOPER:**

M.R. Lacasse Homes, LLC

9 Scenic Lane

Hudson, NH 03051

[REDACTED]

[REDACTED]

**PROJECT ENGINEER:**

Daniel M. Flores, PE  
Name: SFC Engineering Partnership, Inc.

Address: 183 Rockingham Rd Unit 3 East

Address: Windham, NH 03087

Telephone # 603-361-3294

Email: dflores@sfceng.com

**SURVEYOR:**

Timothy A. Peloquin, LLS  
Promised Land Survey, LLC

PO Box 447

Derry, NH 03038

603-432-2112

tap@promisedlandsurvey.com

**PURPOSE OF PLAN:**

To subdivide 8 Lindsay Street into 2 lots. The parent lot will retain the existing 2-family dwelling. The new lot will be single family residential.

**(For Town Use Only)**

Routing Date: \_\_\_\_\_ Deadline Date: \_\_\_\_\_ Meeting Date: \_\_\_\_\_

\_\_\_\_\_ I have no comments \_\_\_\_\_ I have comments (attach to form)

\_\_\_\_\_ Title: \_\_\_\_\_ Date: \_\_\_\_\_  
(Initials)

Department: \_\_\_\_\_

Zoning: \_\_\_ Engineering: \_\_\_ Assessor: \_\_\_ Police: \_\_\_ Fire: \_\_\_ DPW: \_\_\_ Consultant: \_\_\_



**SUBDIVISION PLAN DATA SHEET**

PLAN NAME: Proposed Subdivision Plan

PLAN TYPE: Conventional Subdivision Plan or Open Space Development (Circle One)

LEGAL DESCRIPTION: MAP 166 LOT 31

DATE: 6/20/2022

-----  
Address: 8 Lindsay Street

Total Area: S.F. 60,139 Acres: 1.381

Zoning: Town Residential

Required Lot Area: 10,000 sf

Required Lot Frontage: 90'

Number of Lots Proposed: 1

Water and Waste System Proposed: Town water and town sewer

Area in Wetlands: None

Existing Buildings To Be Removed: None

Flood Zone Reference: No flood zone. See FEMA map, community panel 33011C0514E dated 4/18/2011

Proposed Linear Feet Of New Roadway: None



**SUBDIVISION/SITE PLAN WAIVER REQUEST FORM**  
**Town of Hudson, New Hampshire**

Name of Subdivision/Site Plan: 8 Lindsay Street

Street Address: 8 Lindsay Street

I Daniel M. Flores, PE hereby request that the Planning Board waive the requirements of item 289-27 A.(3) of the Subdivision/Site Plan Checklist in reference to a plan presented by SFC Engineering Partnership, Inc. (name of surveyor and engineer) dated June 17, 2022 for property tax map(s) 166 and lot(s) 31 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e. (For Subdivisions) and RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Subdivision/Site Plan regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):

The section requires that the Planning Board signature block be located at the lower left corner of the plan. The configuration of the lot requires that the signature block be located at the lower right corner, beside the title block.

Reason(s) for granting this waiver, relative to not being contrary to the Spirit and Intent of the Subdivision/Site Plan regulations: (if additional space is needed please attach the appropriate documentation hereto):

The Spirit and Intent of the Subdivision regulations is met because the signature block is provided, however in a different location. This is a simple project without a large plan set of many sheets. The signature block location remains visible and maintains legibility of the plan.

Signed:

  
\_\_\_\_\_

Applicant or Authorized Agent

Planning Board Action:


Waiver Granted \_\_\_\_\_

Waiver Not Granted \_\_\_\_\_

**SUBDIVISION PLAN APPLICATION AUTHORIZATION**

I hereby apply for *Subdivision Plan* Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the *Subdivision Plan* specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Planner, the Town Engineer, and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner:  Date: 6/14/2022

Print Name of Owner: AMNON WAISMAN

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer:  Date: 6-20-22

Print Name of Developer: Michel Lacasse (MR Lacasse Homes LLC)

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The individual in charge of the project must notify the Code Enforcement Officer/Building Inspector within two (2) working days of any change.

June 13, 2022


Town of Hudson  
Planning Board  
12 School Street  
Hudson, NH 03051

Re: **Letter of Authorization – Subdivision Application  
8 Lindsay Street**

To the Hudson Planning Board:

I, Amnon Waisman, trustee of the Amnon Waisman Revocable Trust and owner of Hudson Property Map 166 Lot 31 located at 8 Lindsay Street, hereby authorize SFC Engineering Partnership to represent me at the Planning Board public hearings on behalf of the property owner with all corresponding signatures.

Sincerely,

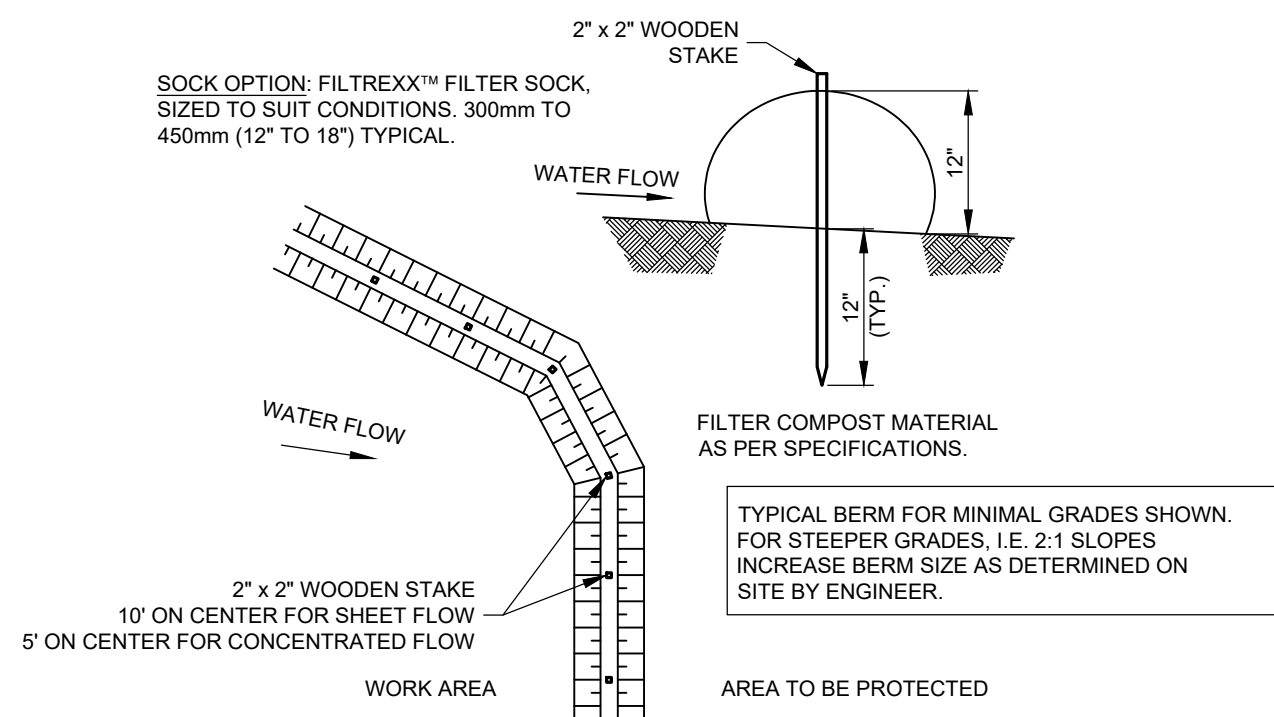
  
Amnon Waisman, Trustee  
Amnon Waisman Revocable Trust  
11 Whitman Road  
Nashua, NH 03062

6/14/2022



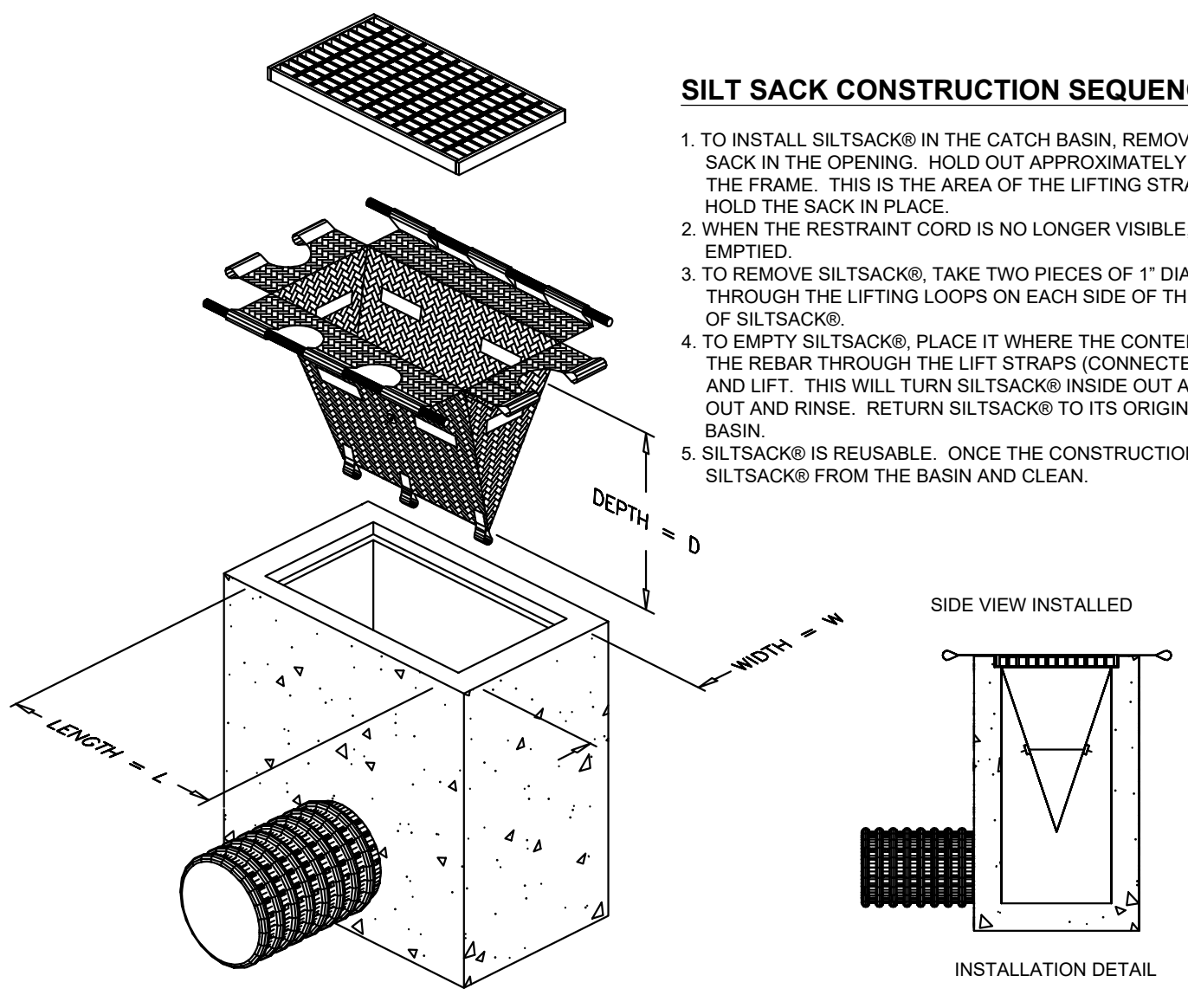






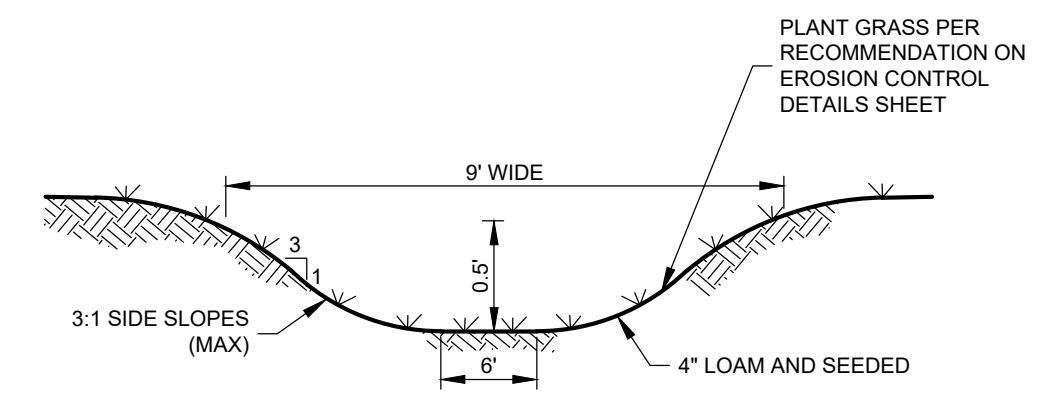
- NOTES**
1. ALL MATERIAL TO MEET FILTREXX™ SPECIFICATIONS.
  2. THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTER BERM IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED.
  3. WHERE THE BERM REQUIRES REPAIR, IT WILL BE ROUTINELY REPAIRED.
  4. THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE BERM WHEN THEY REACH 1/3 OF THE EXPOSED HEIGHT OF THE BERM, OR AS DIRECTED BY THE ENGINEER.
  5. THE COMPOST FILTER BERM WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.

**SILT SOCK INSTALLATION DETAIL**  
NOT TO SCALE



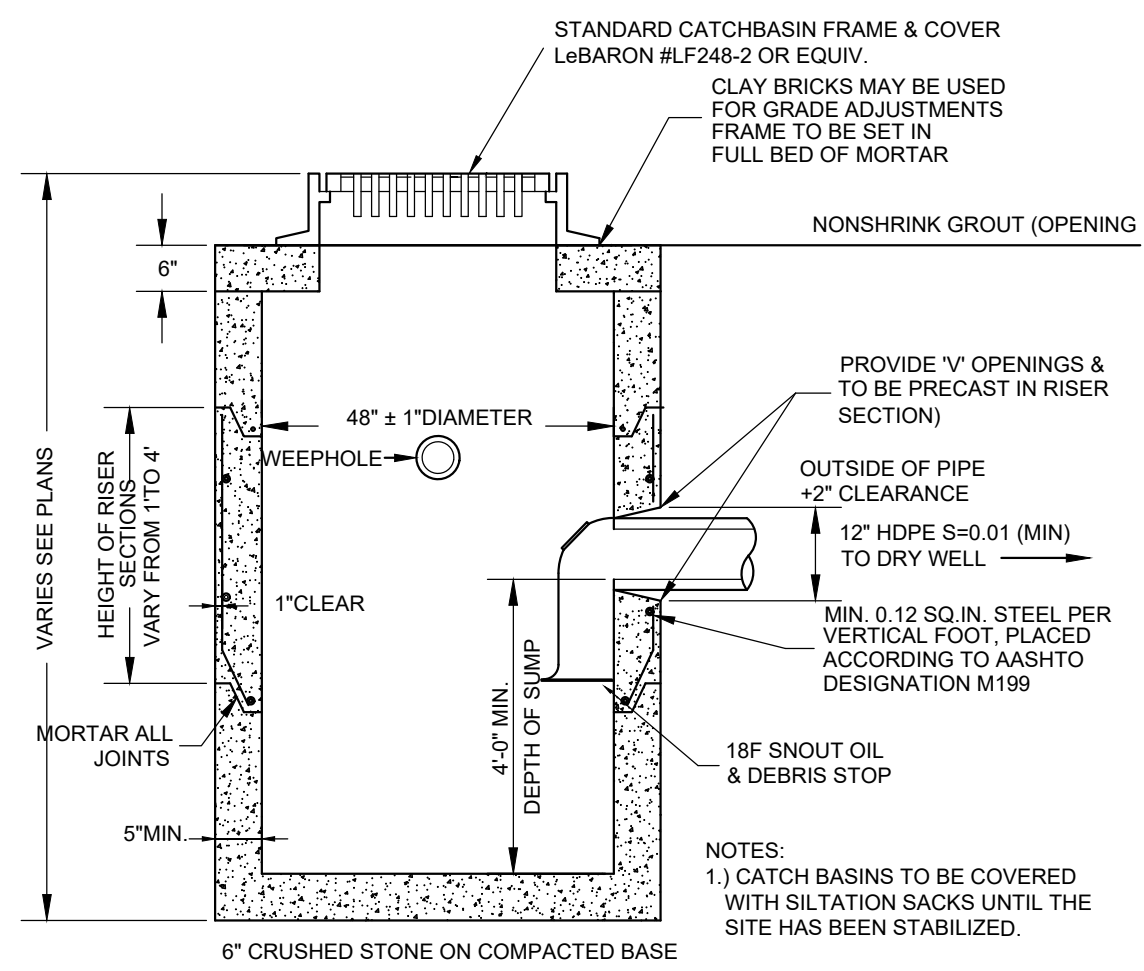
- SILT SACK CONSTRUCTION SEQUENCE:**
1. TO INSTALL SILTSACK® IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
  2. WHEN THE RESTRAINT CORD IS NO LONGER VISIBLE, SILTSACK® IS FULL AND SHALL BE EMPTIED.
  3. TO REMOVE SILTSACK®, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF SILTSACK®.
  4. TO EMPTY SILTSACK®, PLACE IT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL TURN SILTSACK® INSIDE OUT AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN SILTSACK® TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE BASIN.
  5. SILTSACK® IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE SILTSACK® FROM THE BASIN AND CLEAN.

**SILTSACK®**  
NOT TO SCALE

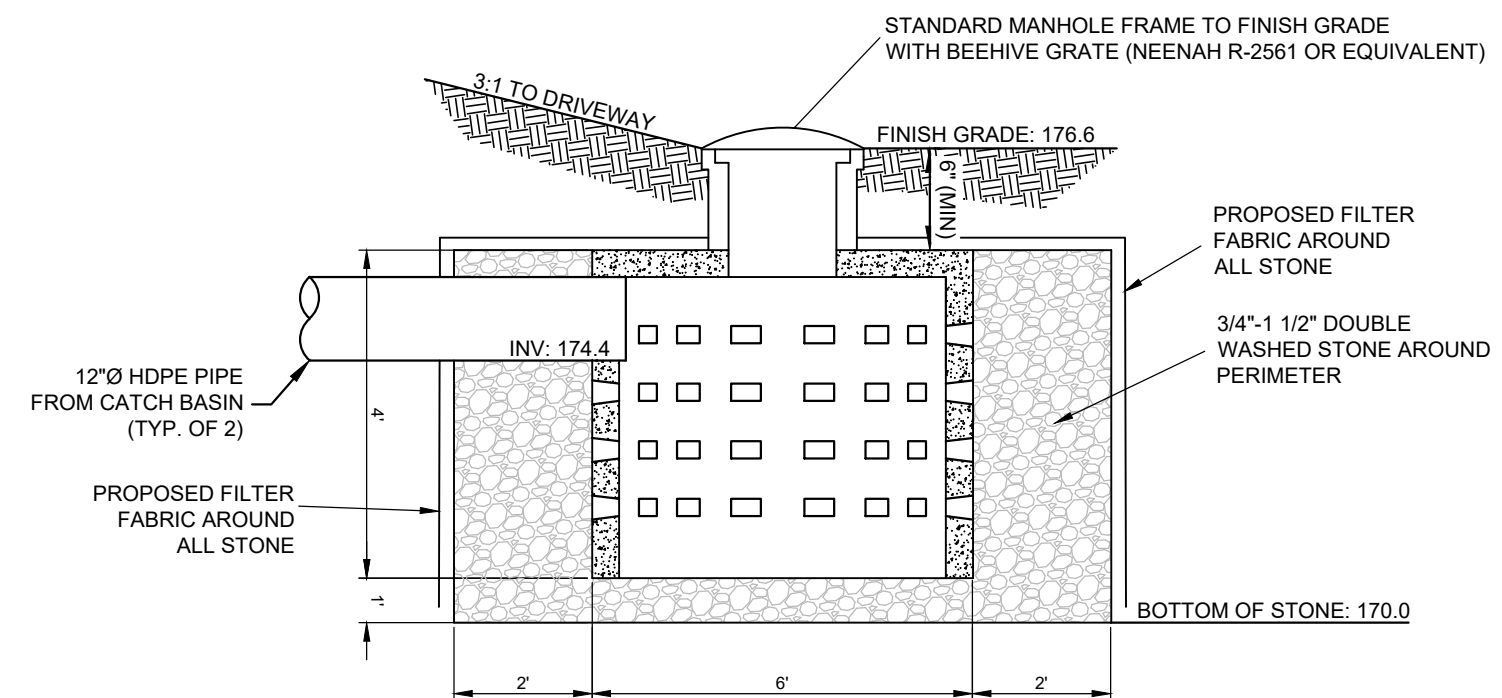


- MAINTENANCE REQUIREMENTS:**
1. LAND OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF VEGETATED SWALE.
  2. INSPECT ANNUALLY FOR EROSION, SEDIMENT ACCUMULATION, VEGETATION LOSS, AND PRESENCE OF INVASIVE SPECIES.
  3. PERFORM PERIODIC MOWING; FREQUENCY DEPENDS ON LOCATION AND TYPE OF GRASS. DO NOT CUT SHORTER THAN 4-INCHES.
  4. REMOVE DEBRIS AND ACCUMULATED SEDIMENT, BASED ON INSPECTION.
  5. REPAIR ERODED AREA, REMOVE INVASIVE SPECIES AND DEAD VEGETATION, AND RESEED WITH APPLICABLE GRASS MIX AS WARRANTED BY INSPECTION.

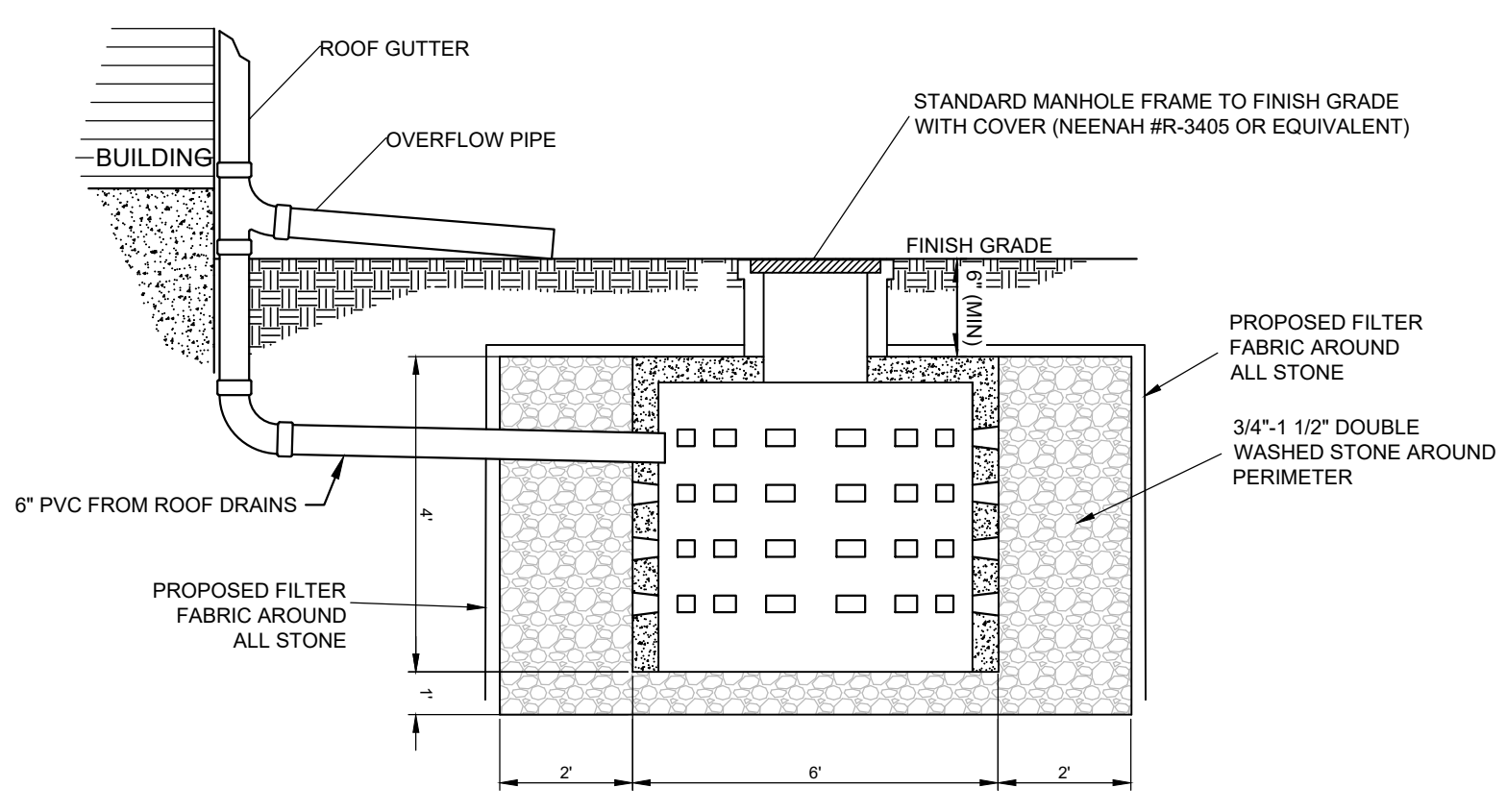
**SWALE DETAIL**  
NOT TO SCALE



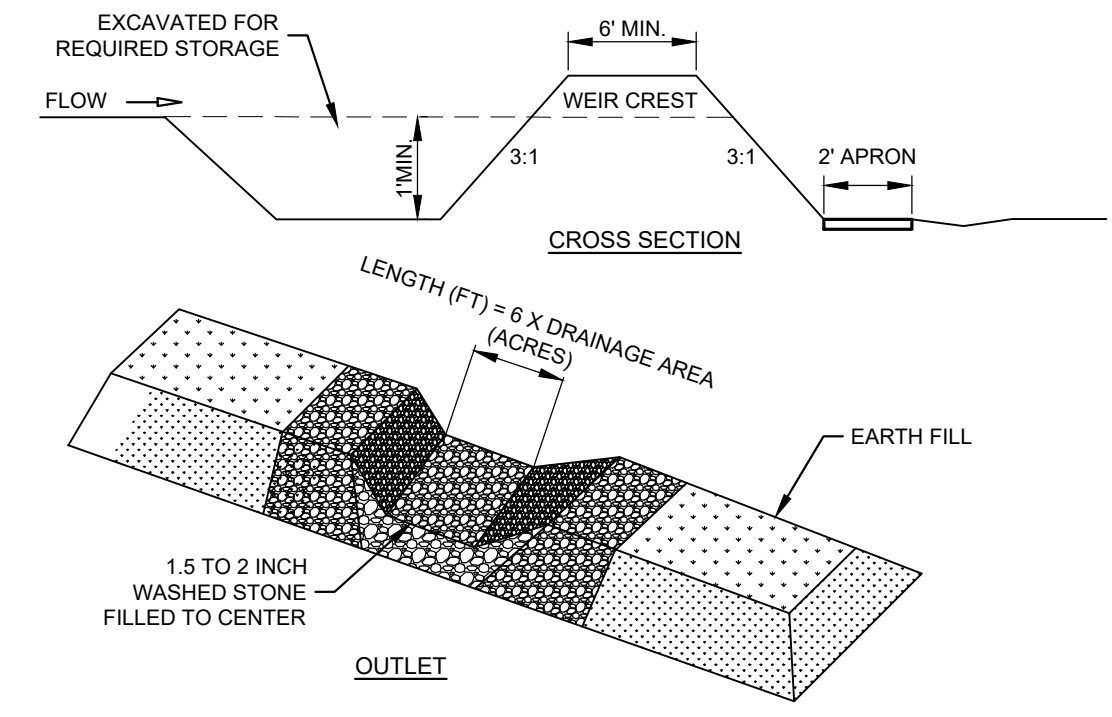
**DEEP SUMP CATCH BASIN**  
NOT TO SCALE



**DRYWELL DETAIL AT DRIVEWAY**  
NOT TO SCALE



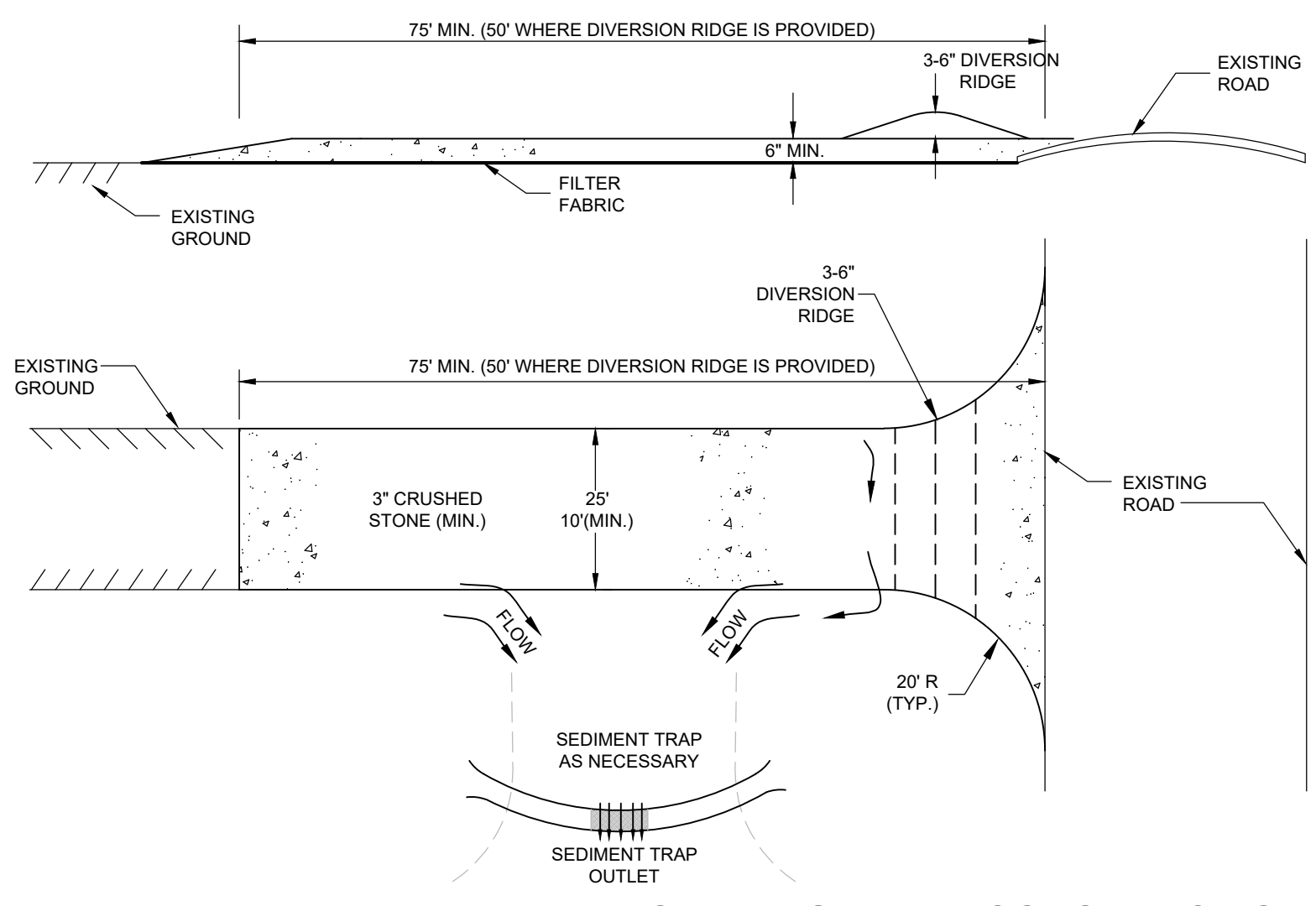
**DRYWELL DETAIL AT DWELLING**  
NOT TO SCALE



**TEMPORARY SEDIMENT TRAPS**  
NOT TO SCALE

- NOTES**
- TEMPORARY SEDIMENT TRAPS SHALL COMPLY WITH THE FOLLOWING:
- (a) THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE.
  - (b) THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE TRAP SHALL BE LESS THAN 5 ACRES.
  - (c) THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
  - (d) THE SIDE SLOPES OF THE TRAP SHALL BE 3:1 OR FLATTER, AND SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.
  - (e) THE OUTLET OF THE TRAP SHALL BE A MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP AND SHALL DISCHARGE TO A STABILIZED AREA.
  - (f) THE TRAP SHALL BE CLEANED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS FILLED, AND THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.

- SPECIFICATIONS**
- TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED IN ACCORDANCE WITH NH STORMWATER MANUAL:
- (a) SEDIMENT TRAPS SHOULD BE LOCATED SO THAT THEY CAN BE INSTALLED PRIOR TO DISTURBING THE AREA THEY ARE TO PROTECT.
  - (b) THE MAXIMUM HEIGHT OF THE SEDIMENT TRAP EMBANKMENT SHOULD BE 4 FEET WHEN MEASURED FROM THE LOWEST POINT OF NATURAL GROUND ON THE DOWNSTREAM SIDE OF THE EMBANKMENT.
  - (c) OUTLETS SHOULD BE DESIGNED SO THAT THE TOP OF THE EMBANKMENT IS A MINIMUM OF 1 FOOT ABOVE THE CREST ELEVATION OF THE OUTLET.
  - (d) THE OUTLET SHOULD DISCHARGE TO A STABILIZED AREA AND MUST EMPTY ONTO UNDISTURBED GROUND, INTO A WATERCOURSE, STABILIZED CHANNEL OR A STORM SEWER SYSTEM.



**TEMPORARY GRAVEL CONSTRUCTION EXIT**  
NOT TO SCALE

**CONSTRUCTION SPECIFICATIONS**

1. STONE FOR A STABILIZED CONSTRUCTION EXIT SHALL BE MINIMUM 3 INCH CRUSHED STONE.
2. THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED EXIT SHALL NOT BE LESS THAN 6 INCHES.
4. THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
6. ALL SURFACE WATER SHALL BE DIRECTED AWAY FROM THE EXIT. IF WATER IS FLOWING TOWARD THE EXIT, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE ADDED.
7. THE PAD SHOULD BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT THE CONTROL PAD BECOMES INEFFECTIVE AND MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
8. NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.

**MAINTENANCE**

1. WHEN THE CONTROL PAD BECOMES INEFFECTIVE, THE STONE SHOULD BE REMOVED ALONG WITH THE COLLECTED SOIL MATERIAL, REGRADED ON SITE AND STABILIZED. THE EXIT SHOULD THEN BE RECONSTRUCTED.
2. THE CONTRACTOR SHOULD SWEEP THE PAVEMENT AT EXITS WHENEVER SOIL MATERIALS ARE TRACKED ONTO THE ADJACENT PAVEMENT OR TRAVELED WAY.
3. WHEN WHEEL WASHING IS REQUIRED, IT SHOULD BE CONDUCTED ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS INTO AN APPROVED SEDIMENT-TRAPPING DEVICE. ALL SEDIMENT SHOULD BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.

**SOIL DATA**

TP# 1 6/10/2022

0-6"	10YR 3/2 LOAMY SAND, MOIST MASSIVE, LOOSE
6-22"	10YR 5/8 LOAMY SAND, MOIST MASSIVE, LOOSE
22-26"	2.5Y 6/6 MEDIUM SAND SINGLE GRAIN, VERY FRIABLE
26-32"	2.5Y 6/4 MEDIUM TO COARSE SAND SINGLE GRAIN, LOOSE
32-48-80"	

ESHWT: >80"  
FREE WATER: NOT OBSERVED  
REFUSAL: NONE  
%STONES/BLDRS: 0/0  
RESTRICTIVE LAYER: NOT OBSERVED  
ROOT DEPTH: 24"

PROPERTY OWNER:  
NAME \_\_\_\_\_  
SIGNATURE \_\_\_\_\_  
AMNON WAISMAN  
11 WHITMAN ROAD  
NASHUA, NH 03062

APPROVED BY THE HUDSON, NH PLANNING BOARD. DATE OF MEETING: \_\_\_\_\_  
SUBDIVISIONS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.

PLANNING BOARD CHAIRMAN SIGNATURE DATE: \_\_\_\_\_  
PLANNING BOARD SECRETARY SIGNATURE DATE: \_\_\_\_\_

1	Added owner signature block	7/1/2022
No.	Revision	Date
Designed by: DMF		Drawn by: DMF
		Checked by:

Erosion Control & Drainage Details  
**8 Lindsay Street**  
**Hudson, NH**  
Assessors Map 166 Lot 31

**SFC ENGINEERING**

183 Rockingham Rd, Unit 3 East  
Windham, NH 03087 (603) 647-8700  
www.sfeng.com

Sheet C2 Scale: As Noted Date: 6/17/2022

Prepared for:  
M.R. Lacasse Homes, LLC  
9 Scenic Lane  
Hudson, NH 03051

Zoning Classification: Town Residential

DANIEL M. FLORES  
No. 15761  
LICENSED PROFESSIONAL ENGINEER



**TRACE WIRE NOTES:**

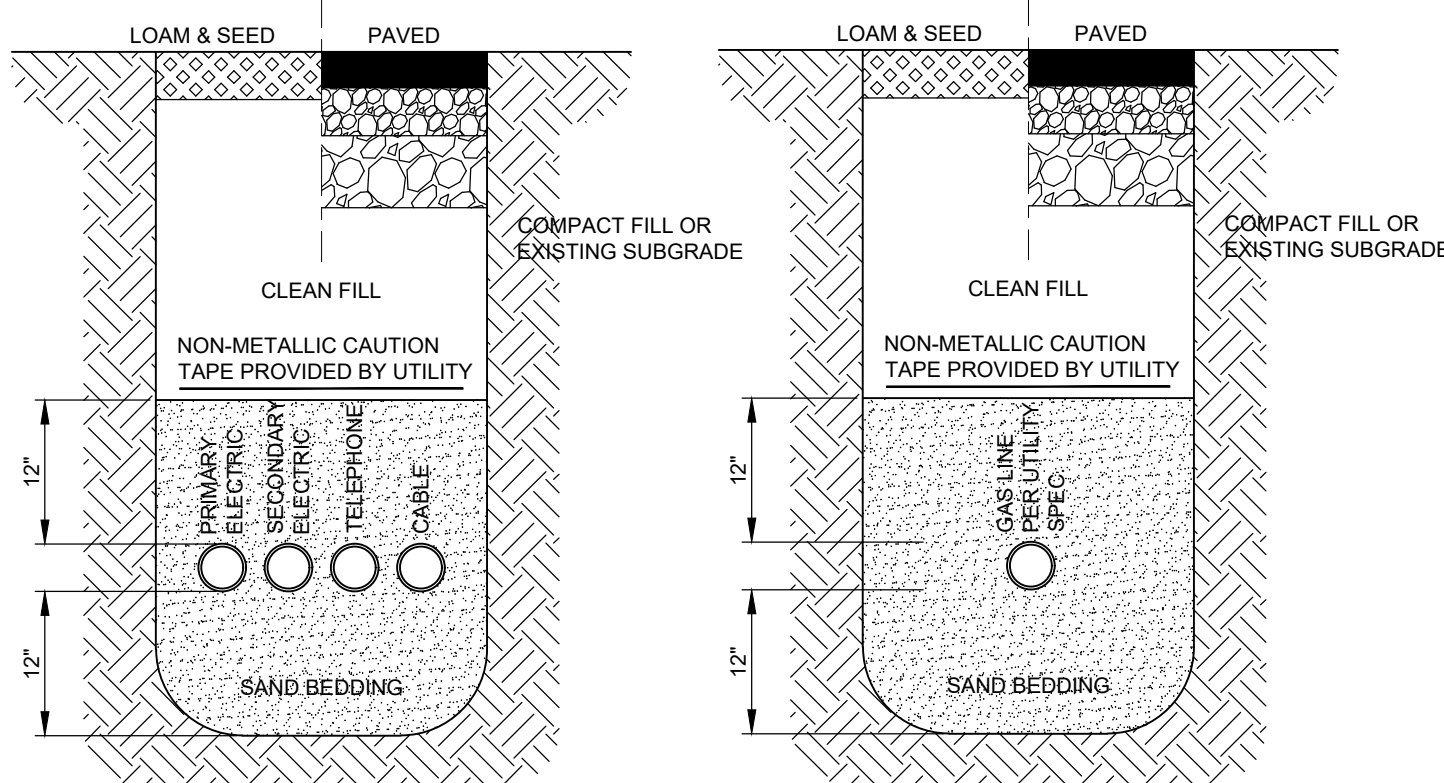
THE TRACER WIRE SHALL BE INSTALLED ON TOP OF THE BURIED UTILITY CROWN.  
 THE TRACER WIRE SHALL BE POSITIVELY ATTACHED TO THE NON-METALLIC BURIED UTILITIES BY PLASTIC WIRE TIES OR SIMILAR TYPE OF ATTACHMENT EVERY 10 FEET FOR STRAIGHT RUN OF UTILITY AND AT ALL CHANGES OF DIRECTION. IF TAPE IS USED IT SHALL BE POLYKEN "30-35," PROTECTO-WRAP "310," OR EQUAL. THE TERMINATION ENDS OF THE TRACER WIRE SHALL BE GROUNDED WITH 7 LB. OR LARGER ANODE BAGS WITH THE CONNECTORS HEREIN SPECIFIED.  
 INSTALL APPROVED CAST IRON VALVE BOXES AT ALL LOCATIONS WHERE THE ENDS OF THE TRACER WIRE ARE EXPOSED ABOVE THE FINISHED GRADE. THE BOXES SHALL CONTAIN A 24" COIL OF WIRE FROM EACH END OF THE TRACER WIRE.  
 TRACER WIRE SHALL BE CONTINUOUS BETWEEN BOXES AND SHALL BE TESTED FOR CONTINUITY IN THE PRESENCE OF THE INSPECTOR.  
 TRACER WIRE SHALL BE MINIMUM NO. 12 AWG. COPPER WIRE OR COPPER CLAD STEEL HIGH STRENGTH WITH A MINIMUM 450 LB. BREAK LOAD WITH A MINIMUM 30 MIL HDPE INSULATION THICKNESS (BLUE IN COLOR FOR USE WITH POTABLE WATER, GREEN FOR USE WITH SEWER).  
 CONNECTORS SHALL BE COPPERHEAD SNAKEBITS, 3M DBR OR DRY-CON TYPE CONNECTORS FOR SPECIFIED WIRE GAGE AND SUITABLE FOR USE WITH BURIED TRACER WIRE.

**NOTES:**

1. ALL FILL MATERIAL TO BE PLACED IN LIFTS NO GREATER THAN 12 INCHES.
2. ALL FILL MATERIAL TO BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY.
3. MINIMUM COVER OF THREE FEET IS REQUIRED FOR ALL CONDUIT PIPES, UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.
4. CONDUIT SIZE, MATERIAL, AND INSTALLATION TO MEET UTILITY COMPANIES STANDARD SPECIFICATIONS.
5. MINIMUM TRENCH WIDTH SHALL ALLOW FOR A MINIMUM OF 6 INCH CLEARANCE FROM TRENCH SIDE WALLS.

**NOTES:**

1. ALL FILL MATERIAL TO BE PLACED IN LIFTS NO GREATER THAN 12 INCHES.
2. ALL FILL MATERIAL TO BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY.
3. MINIMUM COVER OF 30" IS REQUIRED.
4. SIZE, MATERIAL, AND INSTALLATION TO MEET GAS COMPANIES STANDARD SPECIFICATIONS.
5. MINIMUM TRENCH WIDTH SHALL ALLOW FOR A MINIMUM OF 6 INCH CLEARANCE FROM TRENCH SIDE WALLS.

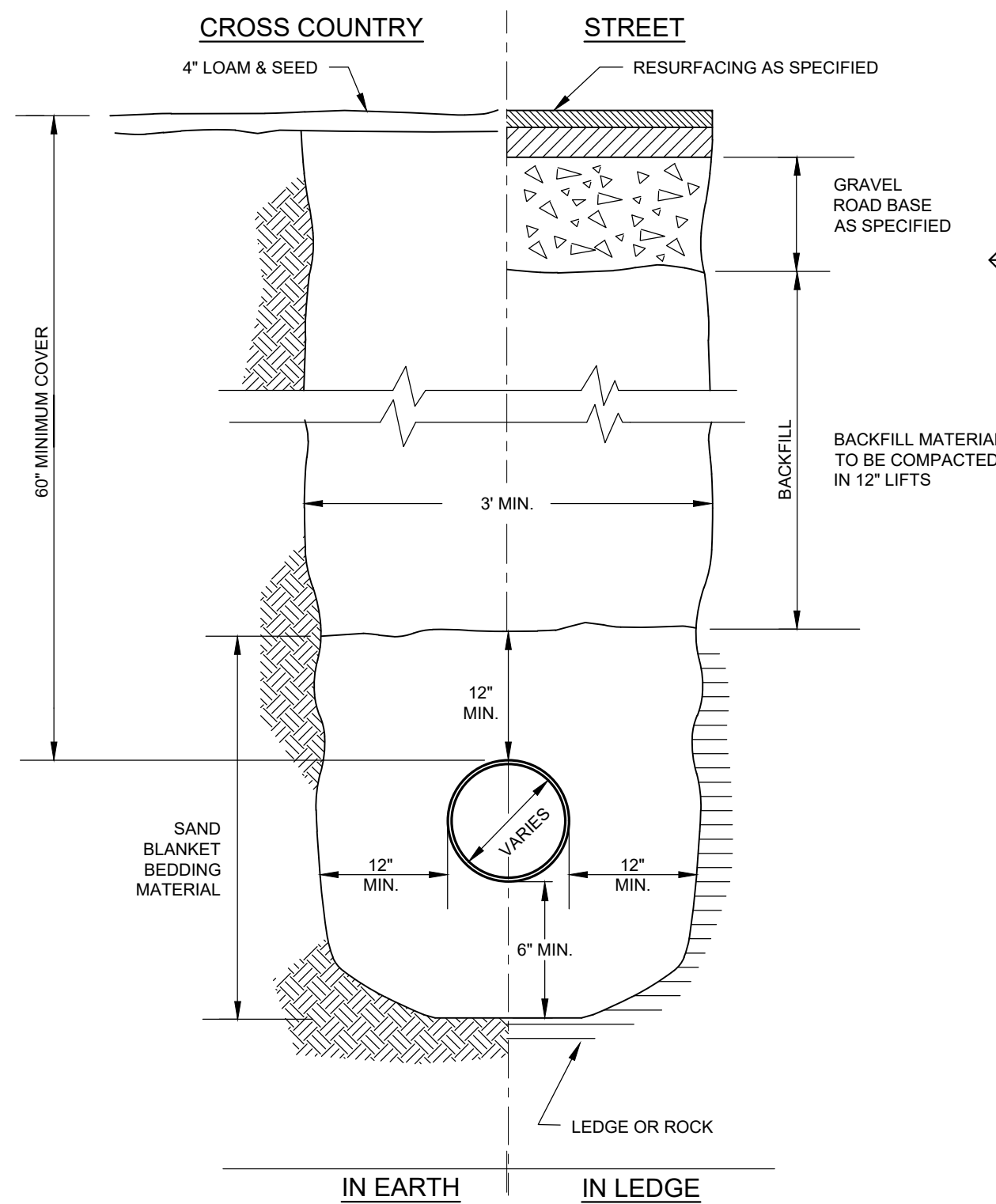


**UTILITY TRENCH**

NOT TO SCALE

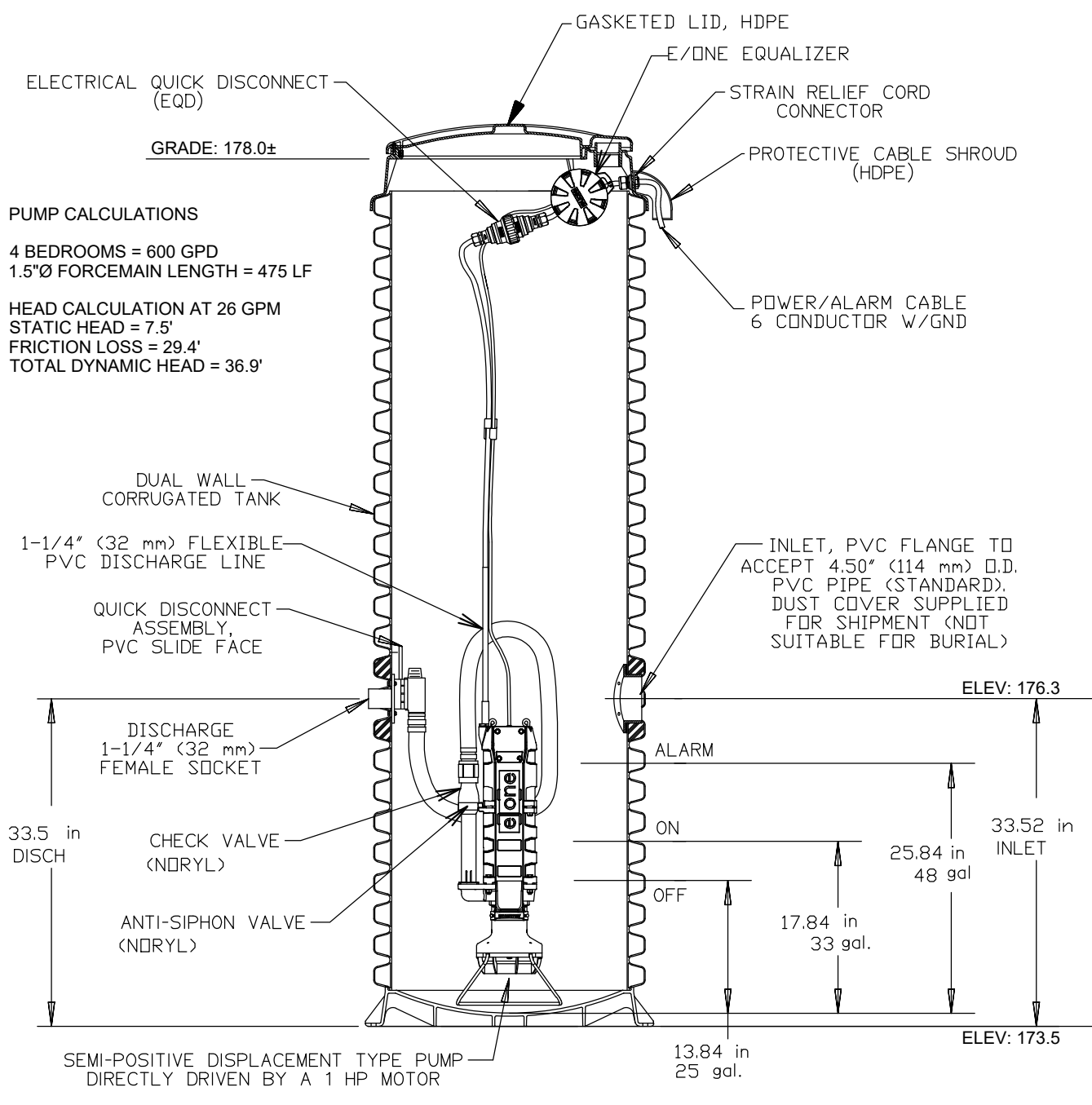
**GAS TRENCH**

NOT TO SCALE



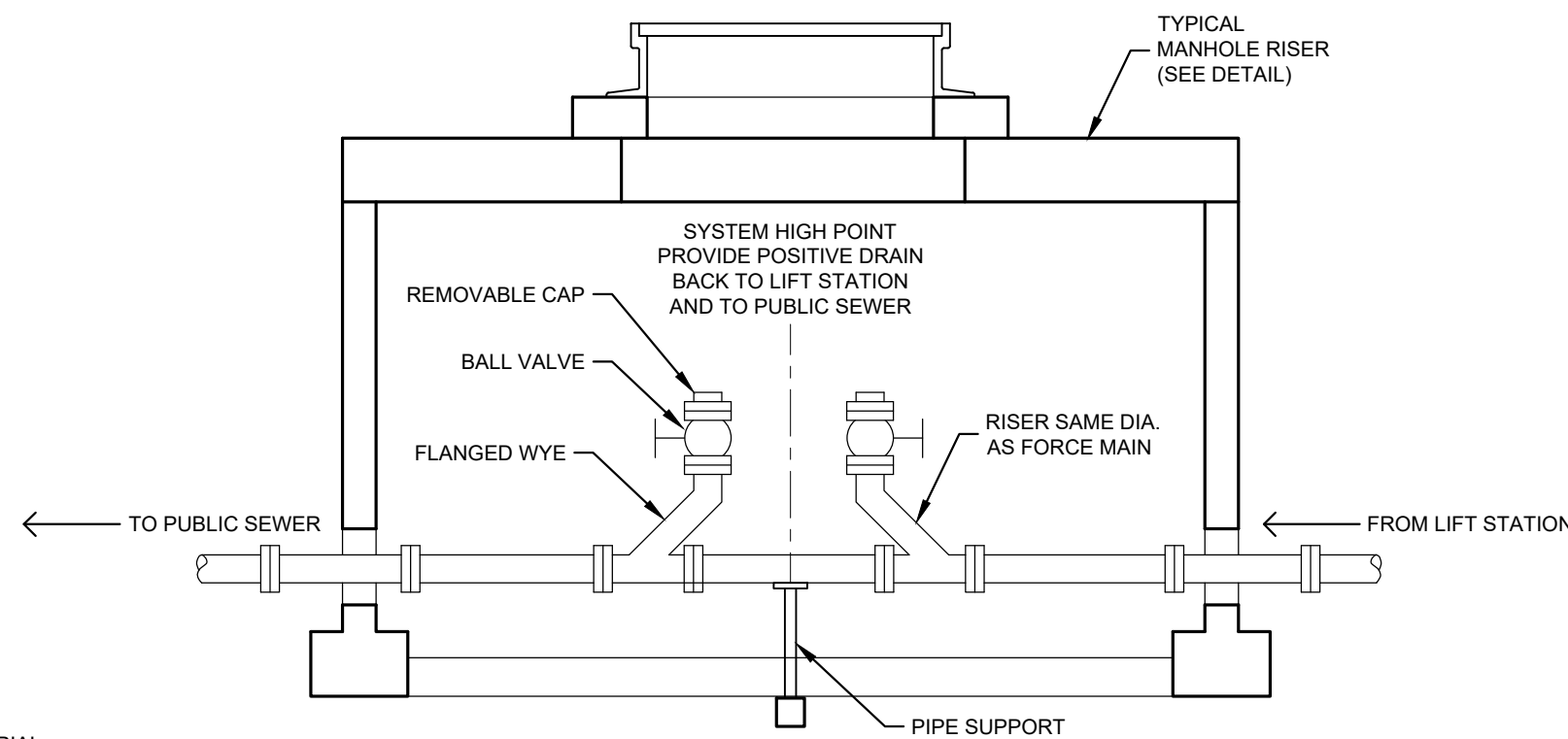
**TYPICAL TRENCH SECTION FOR PRESSURE PIPES**

NOT TO SCALE



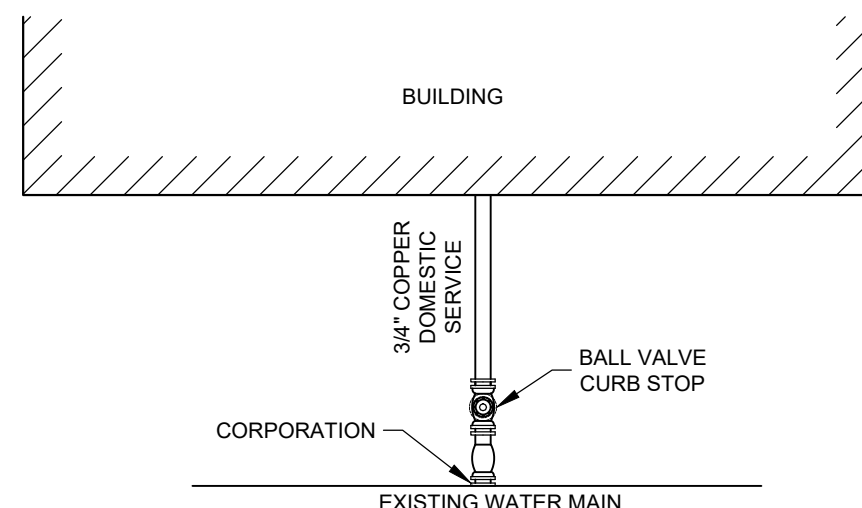
**S/E ONE GRINDER PUMP STATION DETAIL MODEL WH101-60**

NOT TO SCALE



**SEWER FORCE MAIN CLEANOUT**

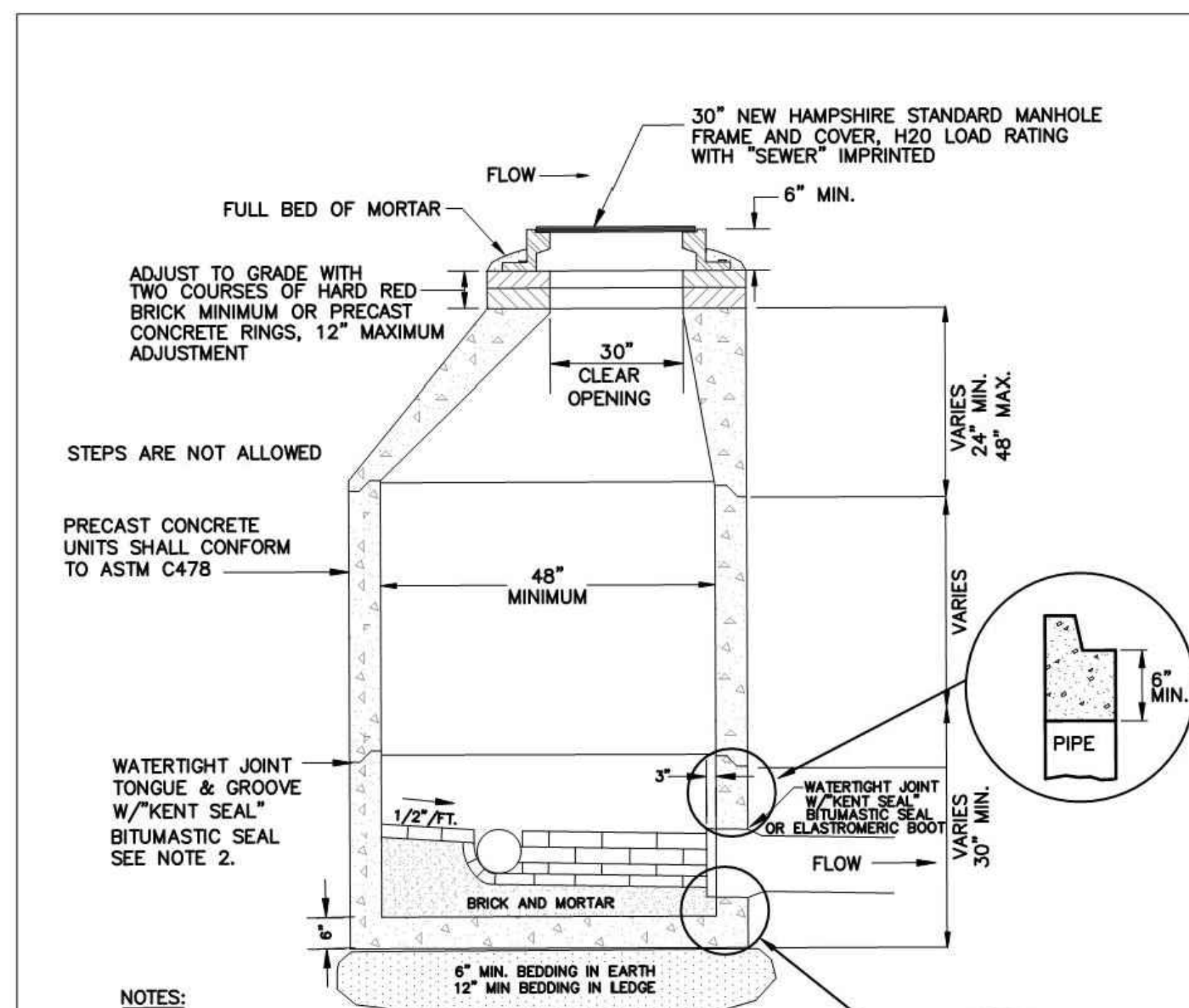
NOT TO SCALE



- NOTES**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
  2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.

**BUILDING WATER SERVICE**

NOT TO SCALE



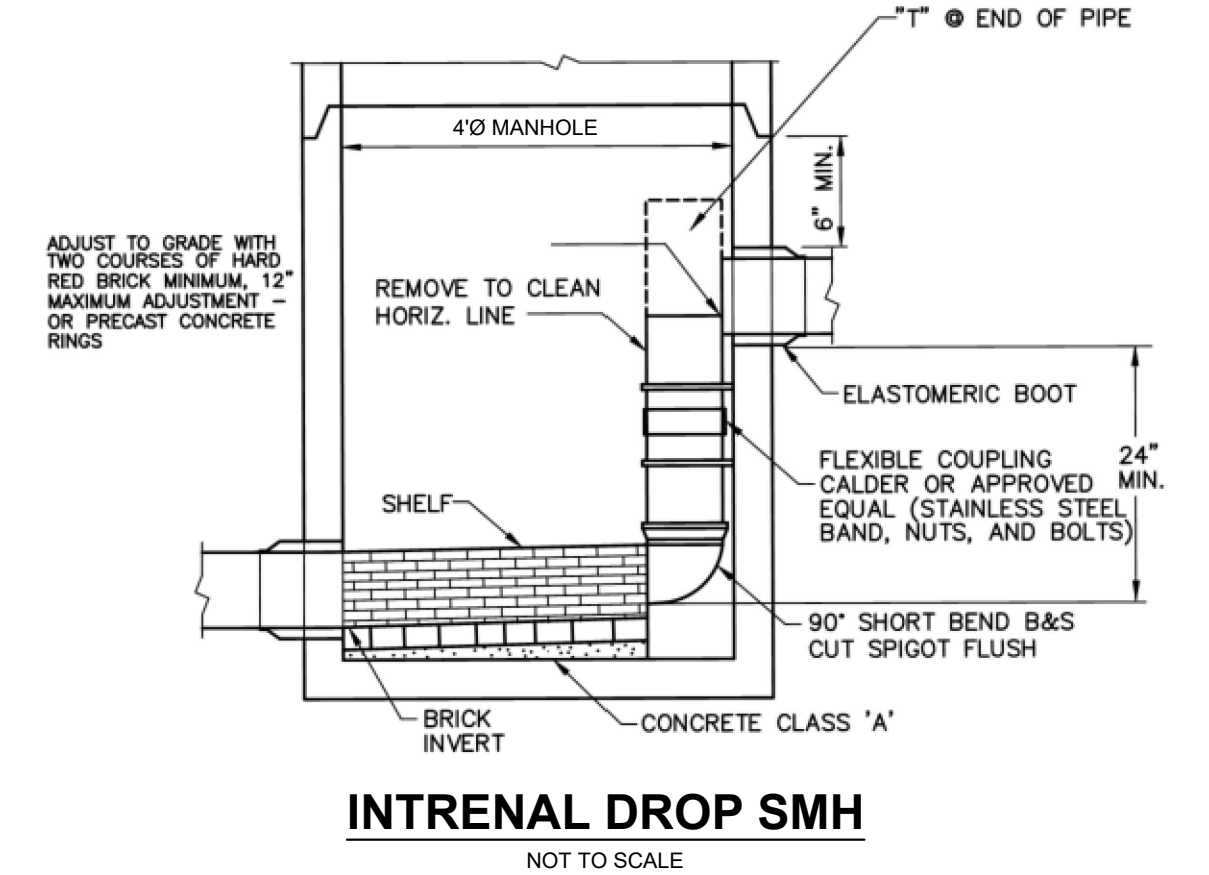
- NOTES:**
1. ALL GASKETS AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
  2. FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY. APPROVED BITUMASTIC SEALANTS  
 RAM-NEK  
 KENT SEAL No. 2

TYPE OF PIPE	SIZE	MAX. DIST. TO FIRST JOINT
R.C.P. & C.I.	ALL	48"
C.I.P.	ALL	48"
P.V.C.	>15"	48"
V.C.P.	0-12"	18"
V.C.P.	>12"	36"

**SEWER MANHOLE**

NOT TO SCALE

66



**INTERNAL DROP SMH**

NOT TO SCALE

ALL SECTIONS SHALL BE CONCRETE CLASS AA (4000 PSI). CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER L.F. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER L.F.

**DETAIL S-1**  
 SEWER MANHOLE  
 TOWN OF HUDSON  
 REV: 8/23/19  
 AUGUST-01  
 SCALE: NTS

1	Added sewer manhole, drop SMH details & owner signature block	7/1/2022
No.	Revision	Date
Designed by: DMF		Checked by:
Drawn by: DMF		

PROPERTY OWNER:

NAME \_\_\_\_\_

SIGNATURE \_\_\_\_\_

AMNON WAISMAN  
 11 WHITMAN ROAD  
 NASHUA, NH 03062

APPROVED BY THE HUDSON, NH PLANNING BOARD. DATE OF MEETING: \_\_\_\_\_  
 SUBDIVISIONS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.

PLANNING BOARD CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

PLANNING BOARD SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

Utility Details  
**8 Lindsay Street**  
**Hudson, NH**  
 Assessors Map 166 Lot 31

**SFC ENGINEERING**

183 Rockingham Rd. Unit 3 East  
 Windham, NH 03087 (603) 647-8700  
 www.sfeng.com

Sheet C3 Scale: As Noted Date: 6/17/2022

Prepared for:  
**M.R. Lacasse Homes, LLC**  
 9 Scenic Lane  
 Hudson, NH 03051

Zoning Classification: Town Residential





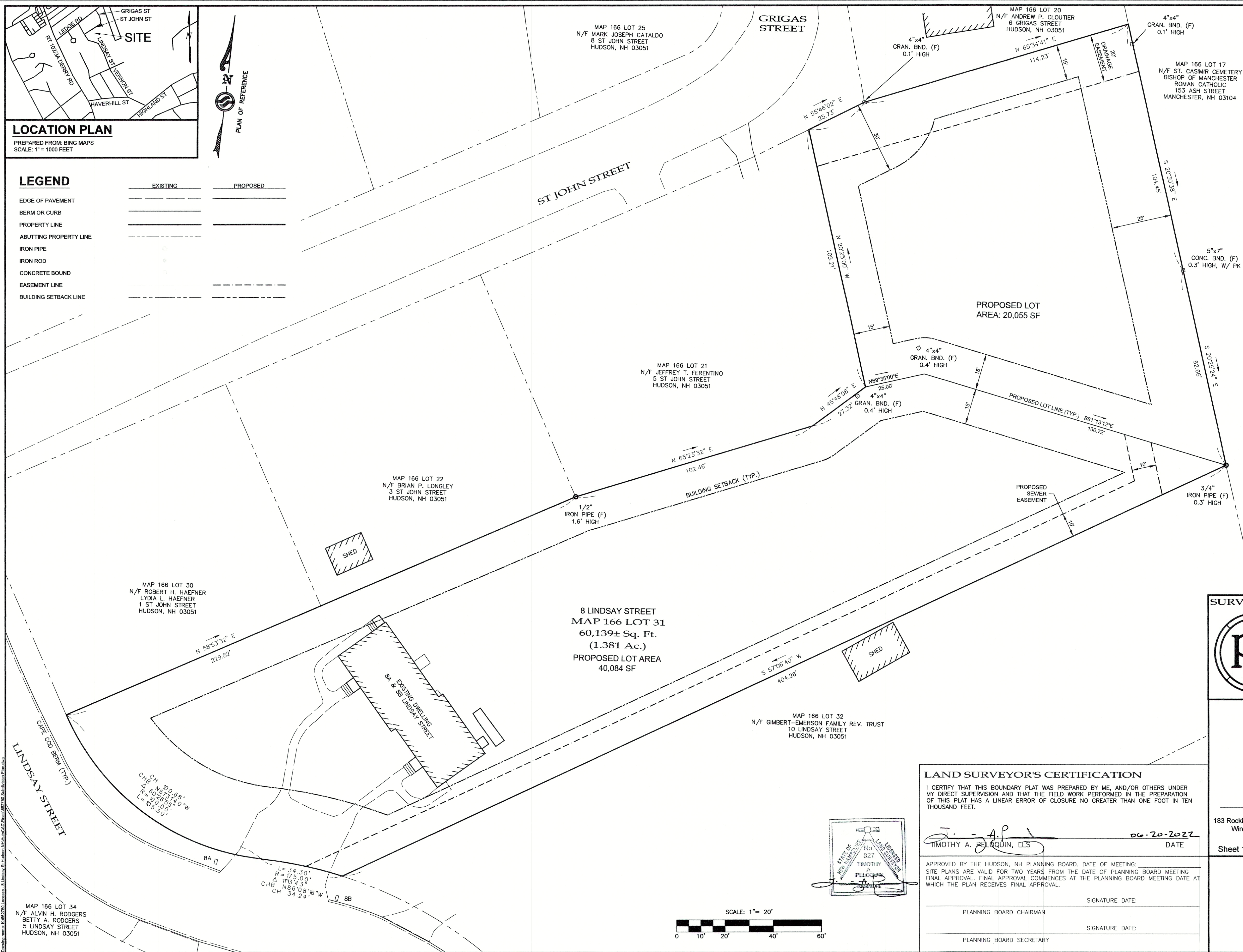




**LOCATION PLAN**  
PREPARED FROM: BING MAPS  
SCALE: 1" = 1000 FEET

**LEGEND**

	EXISTING	PROPOSED
EDGE OF PAVEMENT		
BERM OR CURB		
PROPERTY LINE		
ABUTTING PROPERTY LINE		
IRON PIPE		
IRON ROD		
CONCRETE BOUND		
EASEMENT LINE		
BUILDING SETBACK LINE		



**PLAN OF REFERENCE**  
EXISTING CONDITIONS PLAN MAP 166 LOT 31 AMNON WAISMAN REVOCABLE TRUST  
PREPARED FOR: SFC ENGINEERING PARTNERSHIP INC.  
PREPARED BY: PROMISED LAND SURVEY LLC  
DATED: SEPTEMBER 9, 2021, LAST REVISED FEBRUARY 22, 2022

- NOTES**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED SUBDIVISION OF 8 LINDSAY STREET, HUDSON PROPERTY MAP 166 LOT 31 CONSISTING OF 1.381 AC.±
  - THIS SUBDIVISION INCLUDES:
    - SUBDIVISION OF SUBJECT LOT INTO TWO BUILDABLE LOTS AS SHOWN.
    - NEW LOT TO BENEFIT FROM A SEWER EASEMENT ACROSS MAP 166 LOT 31 AS SHOWN.
    - EXTENSION OF MUNICIPAL WATER SERVICE FROM GRIGAS STREET TO NEW LOT.
    - EXTENSION OF NATURAL GAS SERVICE FROM GRIGAS STREET TO NEW LOT.
    - EXTENSION OF ELECTRIC SERVICE FROM EXISTING POLE IN GRIGAS STREET R.O.W. AND UNDERGROUND TO NEW LOT.
    - NEW LOT TO INCLUDE A DRAINAGE EASEMENT TO BENEFIT THE TOWN OF HUDSON.
  - THE OWNER OF RECORD: AMNON WAISMAN REV. TRUST, 11 WHITMAN ROAD, NASHUA, NH 03062. DEED REFERENCE: BOOK 8562 PAGE 0923, HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
  - THIS PLAN SHOWS CONDITIONS BY INSTRUMENT FIELD SURVEY BY PROMISED LAND SURVEY (PLS) IN AUGUST 2021.
  - ZONING DISTRICT: TOWN RESIDENTIAL (TR)  
MINIMUM LOT AREA: 10,000 SF (WITH WATER & SEWER)  
MINIMUM FRONTAGE: 90'  
FRONT SETBACK: 30'  
SIDE SETBACK: 15'  
REAR SETBACK: 15'  
CEMETERY SETBACK: 25' (REFERENCE RSA 289:3 III)
  - THE PROPOSED SINGLE FAMILY DWELLING IS A PERMITTED USE IN THE TOWN RESIDENTIAL ZONING DISTRICT.
  - THE EXISTING DWELLING IS A 2-FAMILY DWELLING THAT WAS CREATED WITH PERMIT #102-82 ON SEPTEMBER 24, 1981 AND WAS CONFORMING AT THAT TIME. A MINIMUM LOT AREA OF 40,000 SF IS REQUIRED PER ZONING DETERMINATION 21-112R1 DATED OCTOBER 5, 2021.
  - THE PROPOSED LOT WILL BE SERVED BY MUNICIPAL WATER AND MUNICIPAL SEWER. THE EXISTING LOT IS SERVED BY MUNICIPAL WATER AND MUNICIPAL SEWER.
  - NO PORTION OF THIS PARCEL IS LOCATED WITHIN THE FLOOD HAZARD AREA AS INTERPRETED FROM THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF HUDSON, COMMUNITY-PANEL NUMBER 33011C0514E. EFFECTIVE DATE: APRIL 18, 2011. PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
  - THE EXTENSION OF THE GRIGAS STREET R.O.W. HAS LAPSED BY OPERATION OF LAW. REFERENCE LETTER FROM TARBELL & BRODICH, PA, ATTORNEY FOR THE TOWN, DATED JANUARY 12, 2022.
  - ON MAY 26, 2022, THE ZONING BOARD OF ADJUSTMENT GRANTED A VARIANCE TO ARTICLE VII SECTION 334-27.2 OF THE HUDSON ZONING ORDINANCE TO ALLOW THE CREATION OF A NEW LOT THAT DOES NOT HAVE THE REQUIRED FRONTAGE ON A CLASS V OR BETTER ROAD.

No.	Revision	Date
Designed by: DMF	Drawn by: CRN	Checked by:

**SURVEY BY:**

**Promised Land Survey, LLC**  
PO Box 447  
Derry, New Hampshire 03038  
Tel: (603) 432-2112 Fax: (603) 432-8800  
www.PromisedLandSurvey.com  
•Land Surveying •Mapping •Planning •Permitting •Layout

Subdivision Plat  
**8 Lindsay Street**  
Hudson, NH  
Assessors Map 166 Lot 31

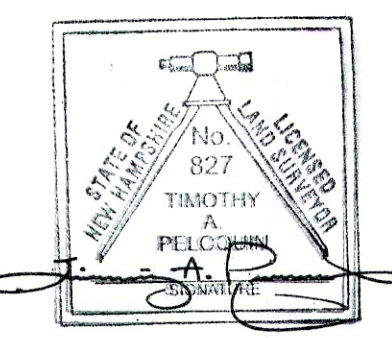
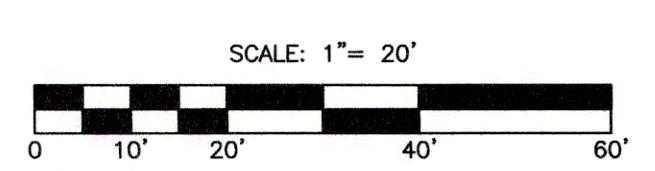
183 Rockingham Rd, Unit 3 East  
Windham, NH 03087 (603) 647-8700  
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Sheet 1 of 1 Scale: 1" = 20' Date: 6/17/2022

**LAND SURVEYOR'S CERTIFICATION**  
I CERTIFY THAT THIS BOUNDARY PLAT WAS PREPARED BY ME, AND/OR OTHERS UNDER MY DIRECT SUPERVISION AND THAT THE FIELD WORK PERFORMED IN THE PREPARATION OF THIS PLAT HAS A LINEAR ERROR OF CLOSURE NO GREATER THAN ONE FOOT IN TEN THOUSAND FEET.

*Timothy A. Pelquin* 06-20-2022  
TIMOTHY A. PELQUIN, LLS DATE

APPROVED BY THE HUDSON, NH PLANNING BOARD. DATE OF MEETING: _____	SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.	SIGNATURE DATE: _____
PLANNING BOARD CHAIRMAN	
PLANNING BOARD SECRETARY	



Drawing: 662750 Subdivision Plat  
Layout: Subdivision Plat





**Plan Showing Features within 200' of Tract**  
To Accompany Application for Subdivision of 8 Lindsay Street  
Map 166 Lot 31  
Scale: 1" = 100'