

TOWN OF HUDSON

Planning Board

Timothy Malley, Chairman

Robert Guessferd, Selectmen Liaison



12 School Street · Hudson, New Hampshire 03051 · Tel: 603-886-6008 · Fax: 603-594-1142

NOTICE OF APPROVAL

June 25, 2022

Owner or Applicant: JMC HUDSON PROPERTIES
C/O NICK MERCIER
5 LEHOUX DRIVE
HOOKSETT, NH 03106

On Monday, June 20, 2022, the Special Site Review Committee of the Hudson Planning Board heard subject case **MSP #03-22 “ASM Facility Pad”**.

SUBJECT: INSTALLATION OF A 25’ X 50’ CONCRETE EQUIPMENT PAD WITH FROST WALL AND FOOTINGS LOCATED ALONG THE REAR (SOUTHEAST CORNER) OF THE EXISTING FACILITY BUILDING.

LOCATION: 7 SECURITY DRIVE, MAP 251/LOT 018

On June 20, 2022, the Special Site Review Committee of the Planning Board accepted the minor site plan application for 7 Security Drive Map 251-Lot 18.

Plan Approval:

On June 20, 2022, the Special Site Review Committee of the Planning Board approved the minor site plan application for the ASM Facility Pad, 7 Security Drive, Map 251 Lot 18, as depicted in:

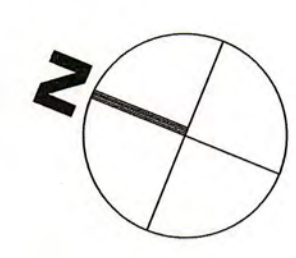
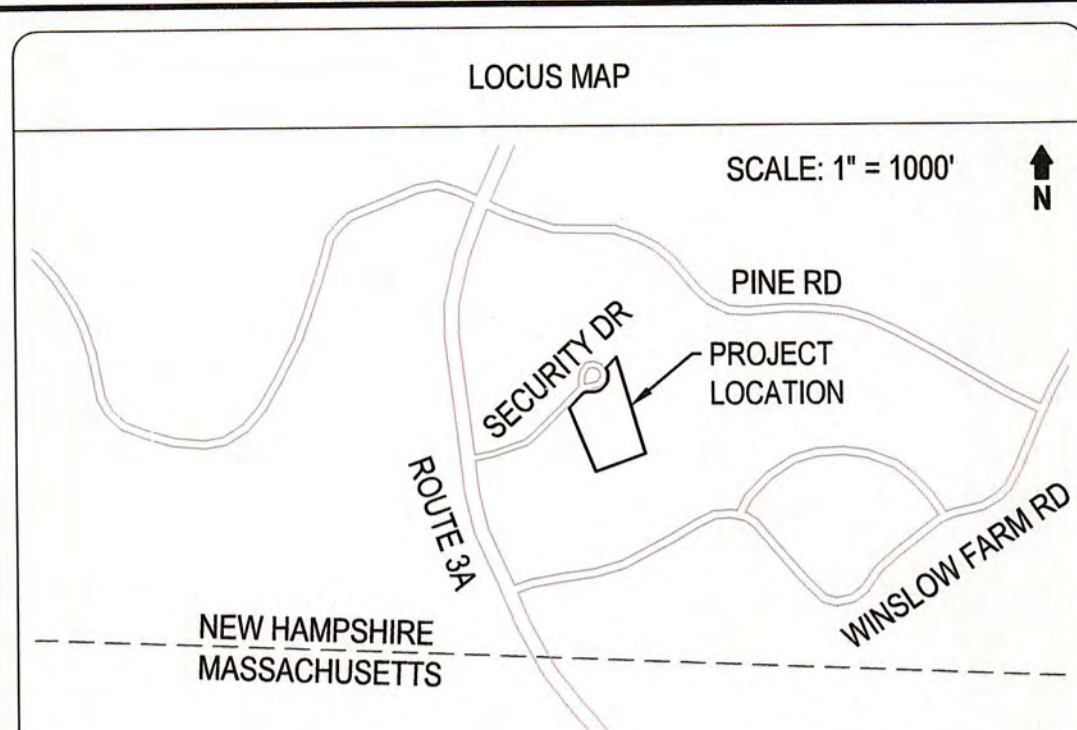
Site Plan, 25’ x 50’ Concrete Equipment Pad, ASM Facility, 7 Security Drive, Hudson, NH 03051; prepared by Gale Associates, Inc., 6 Bedford Farms Drive, Bedford, NH 03110; prepared for JMC Hudson Properties, LLC, 5 Lehoux Drive, Hooksett, NH 03106; consisting of a single sheet with General Notes 1-24; dated May 9, 2022; subject to, and revised per, the following stipulations:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Plan.
2. Prior to the recording of the Plan, it shall be subject to final administrative review by Town Planner and Town Engineer.

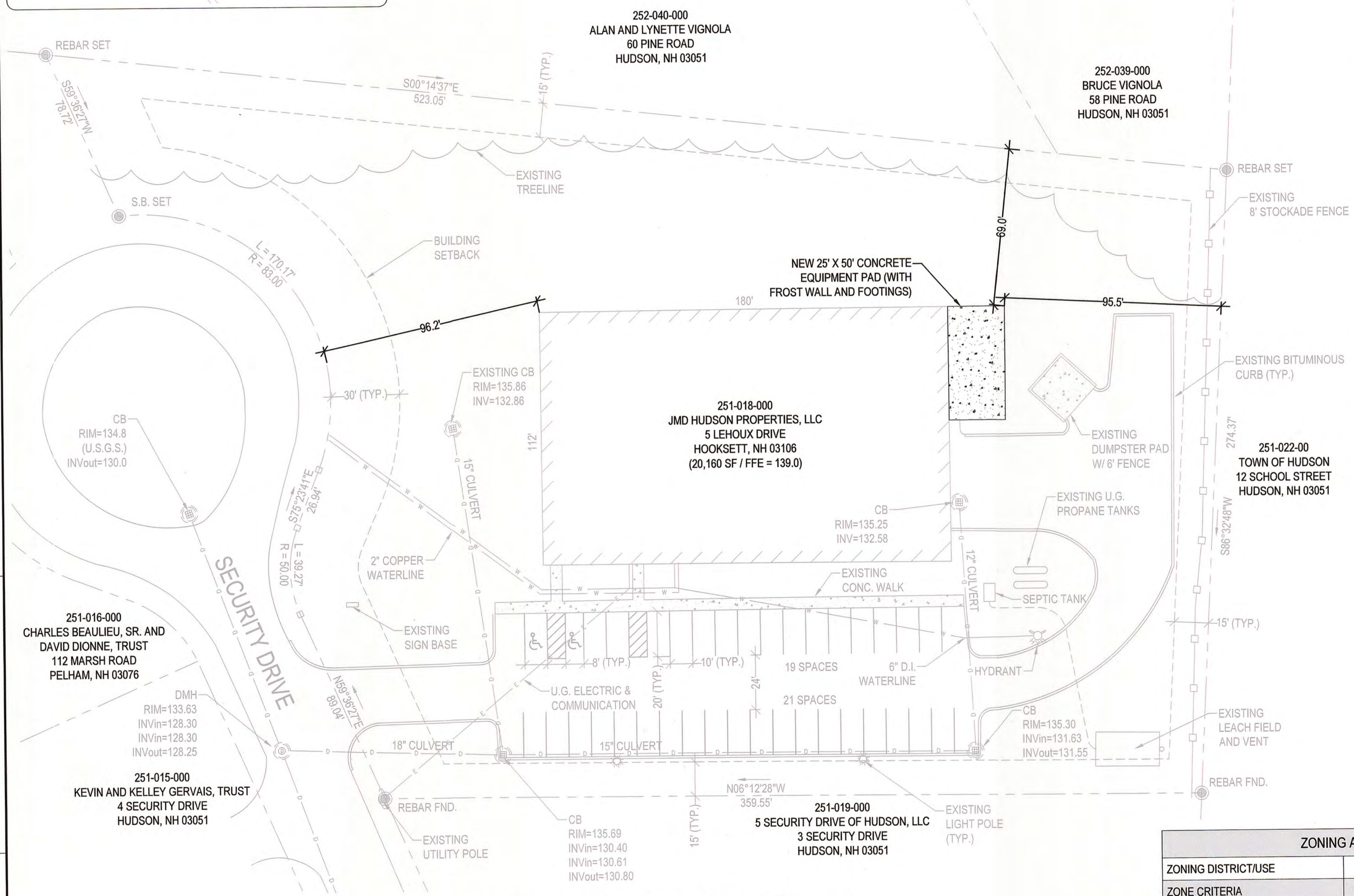
3. Prior to application for a building permit, the Applicant shall schedule a pre-construction meeting with the Town Engineer.
4. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 5:00 P.M. No construction activities shall be allowed on Saturdays or Sundays.
5. No fabrication operations in violation of Hudson Town Code, particularly § 249 Noise and § 334-16.1 Site Plan Expansion, shall occur on-site. Nor shall such operations occur on the proposed concrete pad until the pad is enclosed within a structure so that operations comply with the Noise Ordinance, Hudson Town Code § 249, as part of a separate approved site plan.
6. Applicant shall submit construction details sufficient to evaluate the sound insulation performance as part of future site plan application.
7. A note shall be added to the plan to indicate that the use of the pad is for dry storage in the event the pad is not enclosed.

Signed:  Date: 6/28/22
Brian Groth, Town Planner

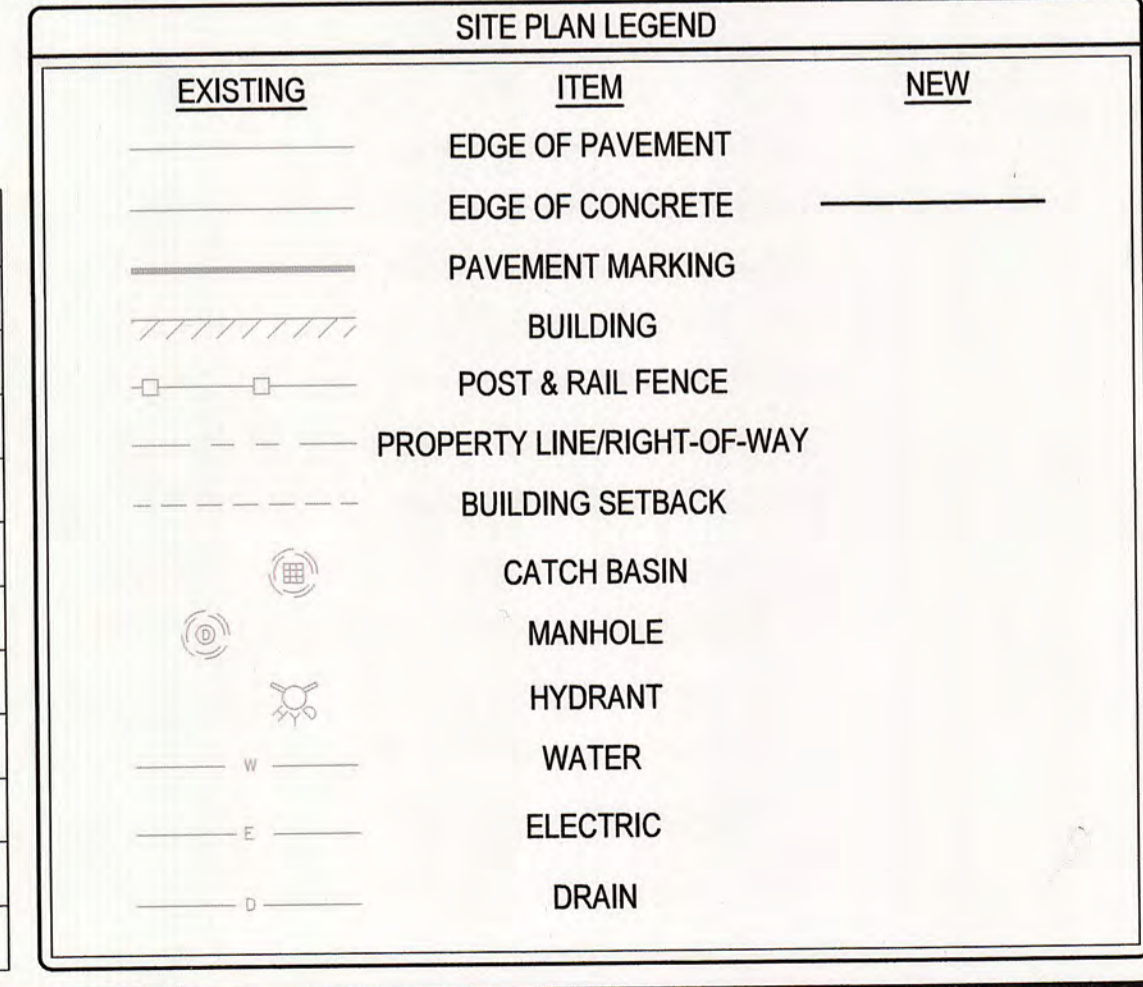
cc: Gale Associates, Inc.



- GENERAL NOTES
1. APPLICANT/OWNER: JMC HUDSON PROPERTIES, LLC
5 LEHOUX DRIVE
HOOKSETT, NH 03106
 2. LOT SHOWN ON ASSESSOR'S MAP 215-018-000, 7 SECURITY DRIVE IN THE TOWN OF HUDSON, OF HILLSBOROUGH COUNTY, AND THE STATE OF NEW HAMPSHIRE, (NHDES SUBDIVISION #35101-A)
 3. PROPERTY LINE AND INFORMATION TAKEN FROM A PLAN ENTITLED "SITE PLAN MAP 2 / LOT 14-8, NASHUA FABRICATION CORP., SECURITY DRIVE, HUDSON, NEW HAMPSHIRE", DATED OCTOBER 31, 1997, BY MAYNARD & PAQUETTE INC., SCALE 1" = 40'.
 4. EXISTING CONDITIONS INFORMATION TAKEN FROM PLAN ENTITLED "AS-BUILT, NASHUA FABRICATION, HUDSON, N.H.", DATED 04/14/98, BY ASSOCIATED ENGINEERING SERVICES, SCALE 1" = 40'.
 5. FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF HUDSON, HILLSBOROUGH COUNTY, NEW HAMPSHIRE, MAP NUMBER 33011C0658D, EFFECTIVE DATE: SEPTEMBER 25, 2009 INDICATES THE PROJECT PARCEL IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
 6. SITE IS SERVICE BY MUNICIPAL WATER AND PRIVATE SEPTIC (NHDES #CA1997006527).
 7. PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING AND PROPOSED SITE LAYOUT OF A 25' X 50' CONCRETE EQUIPMENT PAD.
 8. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY WAY, TO CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN, OR CHANGE THE USE INDICATED ON THIS PLAN WITHOUT RECEIVING PRIOR APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
 9. THE OWNER SHALL BE RESPONSIBLE TO SUBMIT A COPY OF ALL ENVIRONMENTAL PERMITS OBTAINED TO THE TOWN OF HUDSON PLANNING BOARD, INCLUDING ANNUAL UP-DATES OF STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P) CONTACT INFORMATION.
 10. THE OWNER SHALL BE RESPONSIBLE TO OBTAIN ANY NECESSARY RIGHT-OF-WAYS AND EASEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT THE OWNER HAS SECURED ANY NECESSARY RIGHT-OF-WAYS AND EASEMENTS, INCLUDING BEING FAMILIAR WITH THE APPLICABLE PROVISIONS OF EACH AS THEY APPLY TO THE WORK AND ABIDE BY THESE PROVISIONS DURING CONSTRUCTION.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND MAINTAIN A TELEPHONE NUMBER WHERE THE CONTRACTOR CAN BE REACHED 24-HOURS A DAY, 7 DAYS A WEEK, UNTIL PROJECT COMPLETION.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT DIG SAFE (888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL APPLICABLE REGULATIONS OF THE OCCUPATION SAFETY AND HEALTH ADMINISTRATION (O.S.H.A.).
 14. THE CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW ALL OF THE DRAWINGS, SPECIFICATIONS, AND PERMIT APPROVALS ASSOCIATED WITH THIS PROJECT'S SCOPE OF WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER-OF-RECORD, IN WRITING, PRIOR TO THE INITIATION OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER-OF-RECORD SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS.
 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, INCLUDING BEING FAMILIAR WITH THE APPLICABLE PROVISIONS OF EACH PERMIT AS THEY APPLY TO THE WORK AND ABIDE BY THOSE PROVISIONS DURING CONSTRUCTION.
 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING "STREET OPENING PERMIT" FROM THE HUDSON PUBLIC WORKS DEPARTMENT PRIOR TO PERFORMING ANY WORK WITHIN THE MUNICIPALITY'S RIGHT-OF-WAY.
 17. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN TRAFFIC CONTROL DEVICES AS NECESSARY AND IN A MANNER CONSISTENT WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
 18. THE CONTRACTOR SHALL BE RESPONSIBLE TO SUBMIT A TRAFFIC CONTROL PLAN TO THE OWNER AND THE TOWN OF HUDSON PUBLIC WORKS DEPARTMENT PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE TOWN OF HUDSON POLICE DEPARTMENT (603-886-6011), FIRE DEPARTMENT (603-886-6021), AND PUBLIC WORKS DEPARTMENT (603-886-6018) AT LEAST 24-HOURS IN ADVANCE OF ANY STREET CLOSING OR DETOUR.
 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DISTURBED AREAS. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PERFORMED IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL", PUBLISHED BY THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES (LATEST EDITION).
 20. ALL EXISTING STORM DRAINAGE INLETS SHALL BE PROTECTED BY STRAW BALE FILTERS AND CATCH BASIN FILTER BASKETS TO PREVENT ENTRY OF SEDIMENT FROM RUNOFF WATERS INTO THE STORM DRAIN SYSTEM.
 21. SUITABLE EXCAVATION MATERIALS MAY BE INCORPORATED INTO THE PROJECT. THIS PROVISION SHALL NOT RELIEVE THE CONTRACTOR'S OBLIGATION TO REMOVE AND DISPOSE, IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS, OF ANY EXCESS SUITABLE MATERIAL OR MATERIAL DETERMINED BY THE ENGINEER-OF-RECORD TO BE UNSUITABLE.
 22. ALL CONCRETE AND BITUMINOUS PATCH AREAS SHALL MATCH EXISTING GRADES.
 23. ALL CURB RADI ARE TO THE OUTSIDE FACE.
 24. EXISTING SIGNS IMPACTED BY THIS PROJECT SHALL BE RESET AT NO ADDITIONAL COST TO THE OWNER. RESETTING OF SIGNS SHALL CONFORM TO THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).



ZONING ANALYSIS TABLE			
ZONING DISTRICT/USE	G1 - GENERAL LIGHT INDUSTRIAL		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM TOTAL LOT SIZE	2.00 AC	2.84 AC	2.84 AC
MINIMUM LOT FRONTAGE	200'	325.42'	325.42'
MINIMUM FRONT SET BACK	30'	96.2'	96.2'
MINIMUM SIDE SET BACK	15'	71.8'	69.0'
MINIMUM REAR SET BACK	15'	114.3'	95.5'
OPEN SPACE	40%	62.5%	61.5%
BUILDING HEIGHT (MAX.)	50'	N/A	N/A
PARKING SPACES:	1 / 600 G.F.A.	40	40
CALCULATION (INDUSTRIAL): 20,160 / 600 = 34 PARKING SPACES			



THE UNDERSIGNED HEREBY AGREE TO PERFORM ALL SITE IMPROVEMENTS AS SHOWN ON THIS PLAN AND AS CONDITIONED OR STIPULATED BY THE TOWN OF HUDSON PLANNING BOARD.

Nick Mercier 5/11/2022
 NICK MERCIER
 JMC HUDSON PROPERTIES, LLC
 5 LEHOUX DRIVE, HOOKSETT, NH

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD.

DATE OF MEETING: _____

 SIGNATURE DATE: _____
 SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AS WHICH THE PLAN RECEIVES FINAL APPROVAL.

Gale Associates, Inc.
 Engineers and Planners
 6 BEDFORD FARMS DRIVE | BEDFORD, NH 03110
 P 603.471.1887 F 603.471.1809
 www.gainc.com
 Boston Baltimore Orlando Hartford Bedford

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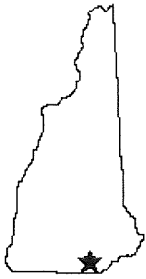
PROJECT: ASM FACILITY
 7 SECURITY DRIVE
 HUDSON, NH 03051

OWNER: JMC HUDSON PROPERTIES, LLC
 5 LEHOUX DRIVE
 HOOKSETT, NH 03106

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	718770		
CADD FILE	718770_C100		
DESIGNED BY	SMB		
DRAWN BY	RDT		
CHECKED BY	SMB		
DATE	5/9/2022		
DRAWING SCALE	1" = 30'		
GRAPHIC SCALE			
0' 15' 30' 60'			
SHEET TITLE			

SITE PLAN
 25' X 50' CONCRETE
 EQUIPMENT PAD

DRAWING NO.
C100



TOWN OF HUDSON

Planning Board

Timothy Malley, Chairman

Robert Guessferd, Selectmen Liaison



12 School Street · Hudson, New Hampshire 03051 · Tel: 603-886-6008 · Fax: 603-594-1142

NOTICE OF APPROVAL

June 25, 2022

Owner or Applicant: 566 HARVEY ROAD SPE, LLC
C/O BEN BOSOWSKI
40 TEMPLE STREET
NASHUA, NH 03060

On Monday, June 20, 2022, the Special Site Review Committee of the Hudson Planning Board heard subject case **MSP #04-22 "Hudson Speedway"**.

SUBJECT: TO PERMIT A FENCED-IN CONCESSION AREA.

LOCATION: 120 OLD DERRY ROAD, MAP 110 LOT 35

On June 20, 2022, the Special Site Review Committee of the Planning Board accepted the minor site plan application for 120 Old Derry Road, Map 110 Lot 35.

Plan Approval:

On June 20, 2022, the Special Site Review Committee of the Planning Board approved the minor site plan application for the Hudson Speedway Concession Area, 120 Old Derry Road, Map 110 Lot 35, as depicted in:

Site Plan, Map 110 / Lot 35, Hudson Speedway, 120 Old Derry Road, Hudson, New Hampshire; prepared by Maynard & Paquette Engineering Associates, LLC, 31 Quincy Street, Nashua, N.H. 03060; prepared for 556 Harvey Road SPE, LLC, 40 Temple Street, Nashua, NH 03060; consisting of a single sheet with Notes 1-8; dated May 10, 2022; subject to, and revised per, the following stipulations:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Plan.
2. Prior to the recording of the Plan, it shall be subject to final administrative review by Town Planner and Town Engineer.

3. Prior to application for a building permit, at the discretion of the Town Engineer, the Applicant shall schedule a pre-construction meeting with the Town Engineer.
4. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M. No exterior construction activities shall be allowed on Sundays.

Signed:  Date: 6/28/2022
Brian Groth, Town Planner

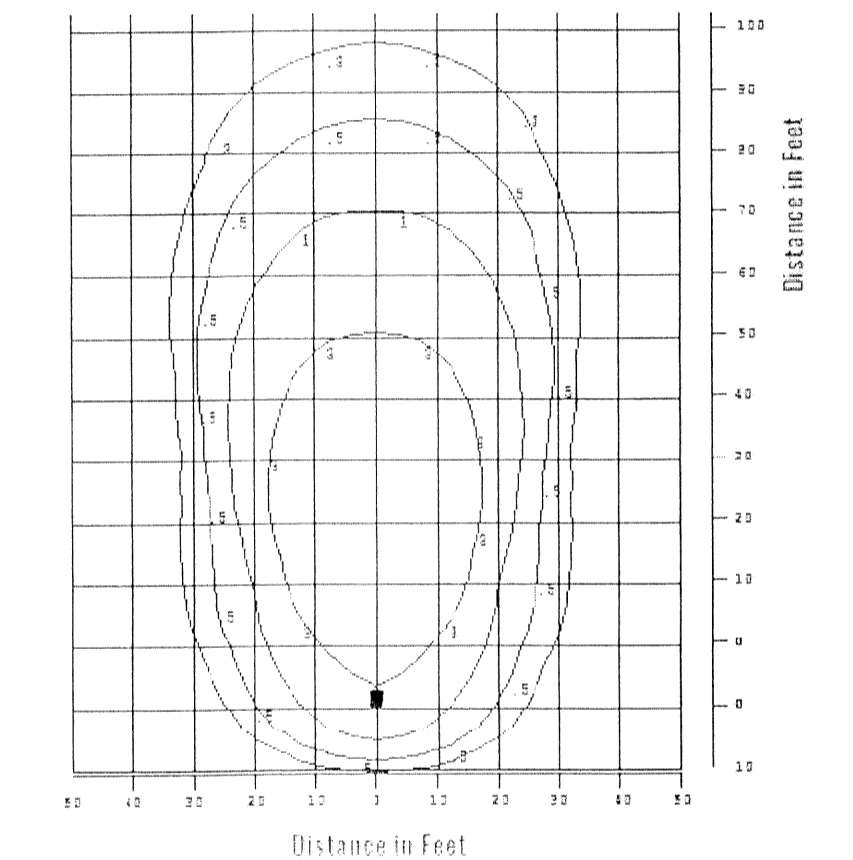
cc: Maynard & Paquette Engineering Associates, LLC.

- ○ ○ ○ EXISTING STONE WALL
- ▬ EXISTING BUILDING
- ▬ LIMIT OF WETLANDS
- ▬ MINIMUM BUILDING SETBACK
- ○ ○ ○ UTILITY POLE
- ○ ○ ○ LIGHT POLE
- ○ ○ ○ CHAIN LINK FENCE
- ○ ○ ○ STOCKADE FENCE

LEGEND

NOTES:

1. PRESENT ZONING: "G-1" GENERAL
2. EXISTING AND PROPOSED USE: COMMERCIAL
3. TOTAL AREA OF PARCEL: 11.97 ACRES±.
4. LOT NUMBERS REFER TO HUDSON ASSESSOR'S MAP 110.
5. LOT IS SERVICED BY ON SITE SEWER AND WATER.
6. N.F.I.P. F.I.R.M. COMMUNITY-PANEL NUMBER 33011C0508D INDICATES THAT A PORTION OF THE SITE IS IN ZONE A.
7. MINIMUM BUILDING REQUIREMENTS:
 LOT SIZE = 2 AC. - 87,120 S.F.
 ROAD FRONTAGE = 200 FT.
 BUILDING SETBACKS: FRONT YARD = 50 FT.
 SIDE AND REAR YARD = 15 FT.
 WETLAND = 50 FT.
8. OPEN SPACE REQUIRED 40%
 EXISTING OPEN SPACE 55%
 ALL SITE LIGHTING SHALL BE HOODED AND DIRECTED DOWNWARD AND NOT TOWARD ABUTTING PROPERTIES.



ISO PLOT
 CREE C-FL-A-LCF-N4-23L-50K LED LIGHT
 191 WATTS - OR EQUAL

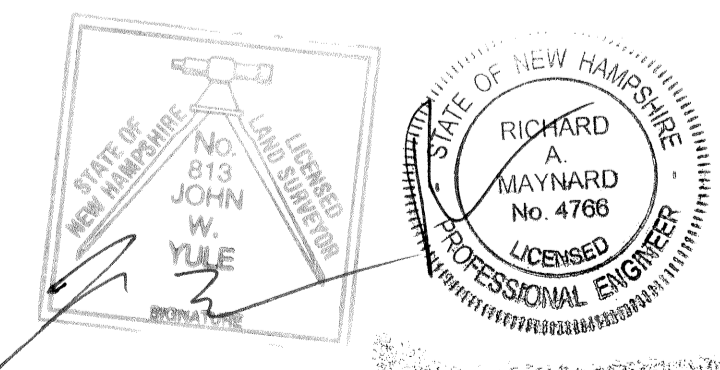
NO.	DATE	REVISION	BY

SITE PLAN MAP 110 / LOT 35
HUDSON SPEEDWAY
120 OLD DERRY ROAD
HUDSON, NEW HAMPSHIRE
 OWNER:
 566 HARVEY ROAD SPE, LLC
 40 TEMPLE STREET
 NASHUA, NH 03060

SCALE: 1" = 50'
 DATE: MAY 10, 2022

ENGINEERING
MP ASSOCIATES
Maynard & Paquette
 Engineering Associates, LLC
 Consulting Engineers and Land Surveyors
 31 Quincy Street, Nashua, N.H. 03060
 Phone: (603)883-8433 Fax: (603)883-7227

I CERTIFY THAT THIS PLAN WAS PREPARED FROM BOUNDARY INFORMATION SHOWN ON PLAN REFERENCES 1-4 AND A FIELD SURVEY LAST MADE ON THE GROUND IN MARCH 2022 HAVING A MAXIMUM ERROR OF CLOSURE OF 1:10,000.



Richard A. Maynard AUTH. REP. 5/24/22 DATE
 566 HARVEY ROAD SPE, LLC

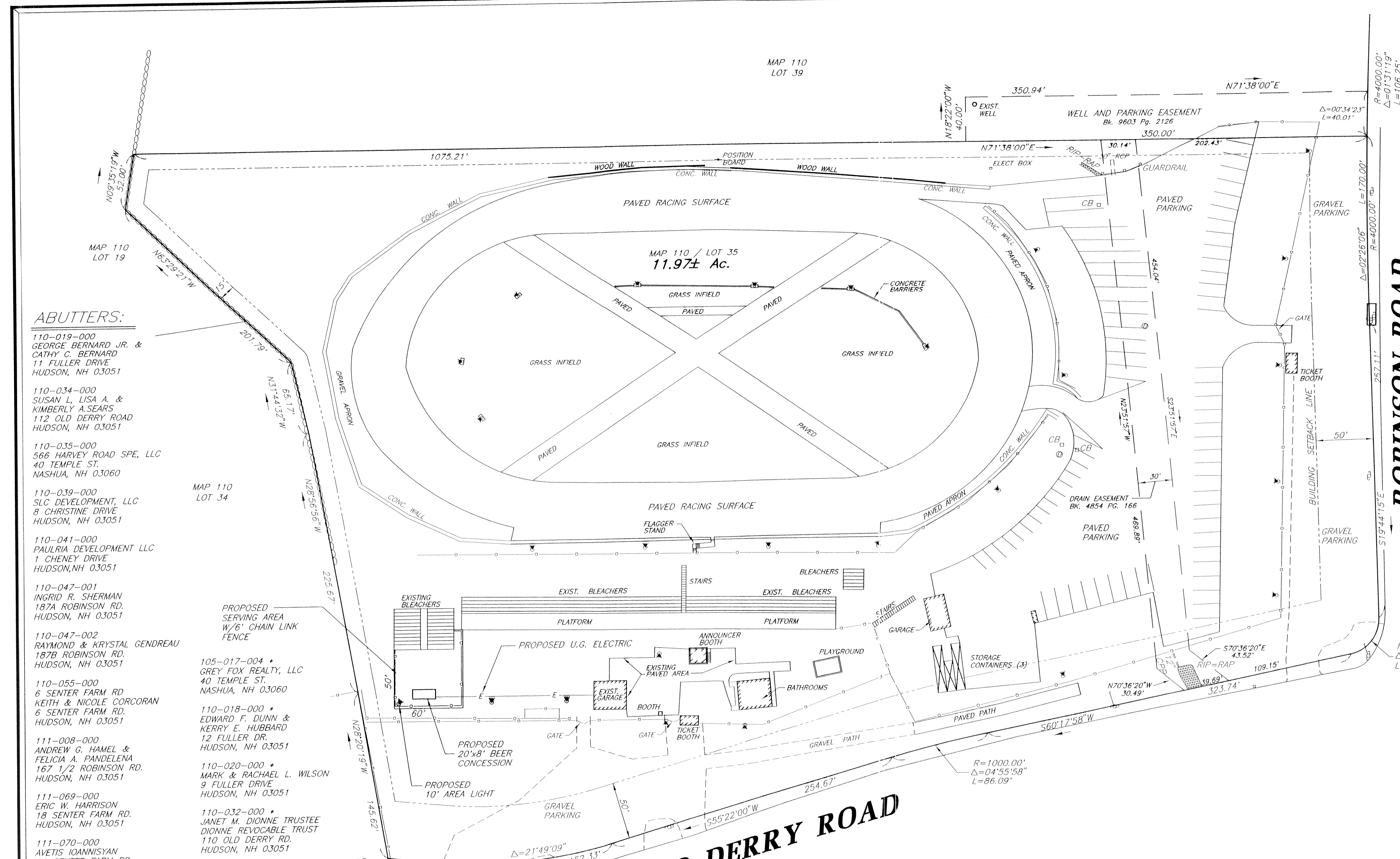
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO (2) YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, N.H. PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

ABUTTERS:

- 110-019-000
GEORGE BERNARD JR. & CATHY C. BERNARD
11 FULLER DRIVE
HUDSON, NH 03051
- 110-034-000
SUSAN L. LISA A. & KIMBERLY A. SEARS
112 OLD DERRY ROAD
HUDSON, NH 03051
- 110-035-000
566 HARVEY ROAD SPE, LLC
40 TEMPLE ST.
NASHUA, NH 03060
- 110-039-000
SLC DEVELOPMENT, LLC
8 CHRISTINE DRIVE
HUDSON, NH 03051
- 110-041-000
PAULRIA DEVELOPMENT LLC
1 CHENEY DRIVE
HUDSON, NH 03051
- 110-047-001
INGRID R. SHERMAN
187A ROBINSON RD.
HUDSON, NH 03051
- 110-047-002
RAYMOND & KRISTAL GENDREAU
187B ROBINSON RD.
HUDSON, NH 03051
- 110-055-000
6 SENTER FARM RD
KEITH & NICOLE CORCORAN
6 SENTER FARM RD.
HUDSON, NH 03051
- 110-018-000 *
EDWARD F. DUNN & KERRY E. HUBBARD
12 FULLER DR.
HUDSON, NH 03051
- 110-020-000 *
MARK & RACHAEL L. WILSON
9 FULLER DRIVE
HUDSON, NH 03051
- 110-032-000 *
JANET M. DIONNE TRUSTEE
DIONNE REVOCABLE TRUST
110 OLD DERRY RD.
HUDSON, NH 03051
- 110-033-000 *
KAREN RENNIE
110 OLD DERRY RD.
HUDSON, NH 03051
- 110-040-000 *
TOWN OF HUDSON
12 SCHOOL STREET
HUDSON, NH 03051
- 110-054-000 *
JONATHAN S. MILLNER & JESSICA M. GAUDETTE
4 SENTER FARM RD.
HUDSON, NH 03051
* ABUTTERS WITHIN 200'
- 111-071-000
LINDA K. & CARLOS A. MEDEIROS
16 SENTER FARM RD
HUDSON, NH 03051
- 111-072-000
ERIK G. & DEBORAH M. BAKER
8 SENTER FARM RD.
HUDSON, NH 03051
- MAYNARD & PAQUETTE
ENGINEERING ASSOC., LLC
31 QUINCY STREET
NASHUA, NH 03060



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