

# **BROX INDUSTRIES RENEWAL OF EXCAVATION**

## **PERMIT**

EP# 01-22 (EXTENSION OF EP# 01-12 AND EP# 01-17)

### **STAFF REPORT**

September 14, 2022

**SITE:** 85 Greeley Street, Map 115 Lot 005 (aka 99R Old Derry Road)

**ZONING:** General-1 (G-1)

**PURPOSE OF PLAN:** To receive a 5-year extension on a previously approved earth excavation (EP #01-12) that was previously extended in 2017(EP #01-17). Refer to NHDES Permit #WPS-7562.

### **PLANS UNDER REVIEW:**

Site Plan Map 115 Lot 5 Proposed Earth Excavation, 85 Greeley Street, Hudson, New Hampshire; prepared by: Hayner/Swanson, Inc., 3 Congress Street, Nashua, New Hampshire 03062-3301; prepared for: Brox Industries, Inc., 1471 Methuen Street, Dracut, Massachusetts 01826; consisting of 5 sheets with a separate cover sheet, and general notes 1-13 on Sheet 1; dated July 5, 2012; last revised August 10, 2012.

### **ATTACHMENTS:**

- A. Cover Letter with 9/12/2012 permit approval, 10/11/2017 extension approval, and plan.
- B. Update to NH DES for Alteration of Terrain (AoT) Permit Number WPS-7562, prepared by Respec, 67 Water Street, Suite 109, Laconia, NH 03246, prepared for Brox Industries, 1471 Methuen Street, Dracut, Massachusetts 01826, dated June 2, 2022.
- C. Letter from Stephen Buckley, Esq to John Cashell, Town Planner RE: Brox Industries Excavation Permit, dated October 16, 2012.

### **APPLICATION TRACKING:**

- August 22, 2022 – Extension application received.
- September 14, 2022 – Meeting scheduled.

### **COMMENTS & RECOMMENDATIONS:**

#### **BACKGROUND**

On September 12, 2012, the Planning Board approved the Excavation Permit for Map 155 Lot 5 for a period of 5-years and subsequently approved a 5-year extension on October 11, 2017 (**Attachment A**). The site is a 9-acre portion of the excavation permit site subject to Planning Board jurisdiction is part of a much larger site owned and operated by Brox Industries. The AoT

permit covers approximately 132 acres of total property. Pursuant to RSA 155-E, only the portion of the excavation operation on Map 155 Lot 005 is subject to local regulation. The exempted operations were in operation as of August 24, 1979 or were in contiguous ownership as of August 4, 1989 in accordance with state law. Map 155 Lot 005 came into the Applicant’s ownership in 2001, therefore subject to Planning Board jurisdiction.

The excavation permit was originally approved in 2012 and was extended for 5-years in 2017. The current application is for an additional 5-year extension. The 5-year period corresponds to the NH DES’s timeframes for the Alteration of Terrain Permit update (**Attachment B**). Past practice has been to mirror the local approval with the NH DES permit update.

**RECOMMENDATIONS**

It appears a bond may have been required by §200-10.B in the original approval to ensure compliance with §200-7 – Restoration. A letter received from the Town Attorney on October 16, 2012 certified the submittal documents pursuant to §200-10.C with the exception of said bond (**Attachment C**). A bond amount of \$10,000 is currently recommended by the Town Engineer and is provided as a stipulation of approval for the Board’s consideration.

**DRAFT MOTIONS**

**ACCEPT the extension of approval request for Excavation of Soils Permit application:**

I move to accept the extension of approval request for Excavation of Soils Permit application, EP# 01-22, for 85 Greeley St, Map 115 Lot 005.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**CONTINUE the public hearing to a date certain:**

I move to continue the extension of approval request for Excavation of Soils Permit application, EP# 01-22, for 85 Greeley St, Map 115 Lot 005 to date certain, \_\_\_\_\_, 2022.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**DEFER the public hearing to a date certain:**

I move to defer the extension of approval request for Excavation of Soils Permit application, EP# 01-22, for 85 Greeley St, Map 115 Lot 005, to date certain, \_\_\_\_\_, 2022.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_

**APPROVE the extension of approval request for Excavation of Soils Permit application:**

I move to extend the approval of the Excavation of Soils Plan entitled: Site Plan Map 115 Lot 5 Proposed Earth Excavation, 85 Greeley Street, Hudson, New Hampshire; prepared by: Hayner/Swanson, Inc., 3 Congress Street, Nashua, New Hampshire 03062-3301; prepared for: Brox Industries, Inc., 1471 Methuen Street, Dracut, Massachusetts 01826; consisting of 5 sheets with a separate cover sheet, and general notes 1-13 on Sheet 1; dated July 5, 2012; last revised August 10, 2012; subject to, and revised per, the following stipulations:

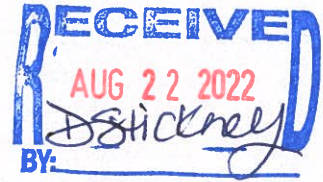
1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Plan.
2. The Planning Board grants approval for a period of time not to exceed five (5) years from the date of extension of approval.
3. A bond in the amount of \$10,000.00 shall be filed with the Engineering Department prior to Planning Board final endorsement of the plan.
4. Hours of excavation or removal of materials involving the subject lot shall be limited to the hours after 7:00 A.M. and before 7:00 P.M. Monday through Saturday. Said excavation or removal of materials shall be prohibited on Sundays.

Motion by: \_\_\_\_\_ Second: \_\_\_\_\_ Carried/Failed: \_\_\_\_\_



**BROX INDUSTRIES, INC.**

1471 Methuen Street • Dracut, MA 01826-5439  
(978) 454-9105 FAX:(978) 805-9719  
www.broxindustries.com



Mr. Brian Groth – Town Planner  
Town of Hudson Planning Department  
12 School Street  
Hudson, NH 03051

August 17, 2022

Re: Brox Industries, Inc.  
Greeley St. & Barretts Hill Rd. (Map 115, Lot 5)  
Renewal of Earth Excavation Permit

Dear Mr. Groth:

As previously discussed, the Hudson Planning Board voted on October 20, 2017, to approve a five (5) year extension of Brox Industries, Inc. (Brox) previously approved excavation permit (EP#1-12). The approval allows for the excavation of soils relative to 85 Greeley Street, Map 115/Lot 5.

Reference is made to plan note 12 on Sheet 1 of 5, Master Excavation Plan, which states, "This excavation permit shall expire 5 years from the date of final approval. Date: November 14, 2012".

To date, Brox has not commenced any earth excavation activities on the subject parcel. Brox respectfully requests the Planning Board consider granting a five (5) year extension to the October 20, 2022, expiration date to allow for future earth excavation on this parcel. I would like to be scheduled for the Planning Board at the next available meeting date to discuss this request.

For your use, please find enclosed the following:

1. Check #3383 in the amount of \$330.20 to cover the associated administrative fees.
2. Hudson Abutter List including two (2) sets of mailing labels.
3. One (1) copy of the Hudson Planning Boards "Notice of Decision" dated October 20, 2017.
4. Fifteen (15) 11"x17" copies and One (1) 36"x24" copy of the original approved excavation plan set.
5. Fifteen (15) 11"x17" copies of our "Plan Update" dated 6/2/2022 submitted to NHDES by RESPEC Company, LLC for Alteration of Terrain Permit No. WPS-7562.
6. Fifteen (15) 8½" x 12" copies of Plan #37599 recorded in the Hillsborough County Registry of Deeds.

Again, thank you for your consideration of this request. Please feel free to contact me at (978) 805-9744 or via e-mail [estevenson@broxindustries.com](mailto:estevenson@broxindustries.com) if you have any questions or comments.

Sincerely,

A handwritten signature in black ink, appearing to read "Erik Stevenson". The signature is fluid and cursive, written over a light blue horizontal line.

Erik Stevenson

Vice President Real Estate

Enc.

*Info  
D. Drinnon*

**TOWN OF HUDSON  
PLANNING BOARD**



**NOTICE OF APPROVAL**

12 School Street Hudson, New Hampshire 03051 603/886-6005



September 18, 2012

Owner or Applicant: Brox Industries, Inc.  
1471 Methuen Street  
Dracut, MA 01826-5439



On Wednesday, September 12, 2012, the Hudson Planning Board heard subject case EP# 01-12. "Brox Industries Earth Excavation Plan"

**SUBJECT:** Purpose of Plan: To show proposed earth excavation limits proposed on subject site. Refer to NHDES Permit #WPS-7562. Application Acceptance & Hearing.

**LOCATION:** Greeley St./Barretts Hill Road – Map 115/Lot 5

You are hereby notified of the subject plat presented before the Planning Board and the following action:

The Planning Board voted to accept the Excavation of Soils Permit application for Brox Industries, relative to 85 Greeley Street, Map 115/Lot 5 – EP# 01-12.

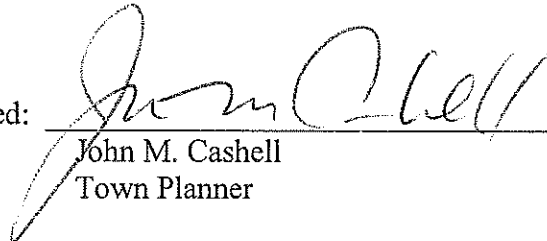
The Planning Board voted to approve the Excavation of Soils Plan entitled: Site Plan Map 115, Lot 5, Proposed Earth Excavation 85 Greeley Street, Hudson, New Hampshire, prepared by Hayner/Swanson, Inc., 3 Congress Street, Nashua, NH 03062, dated: 5 July 2012 (no revision date), consisting of Sheets 1 – 5 and Notes 1 – 13, in accordance with the following terms and conditions:

- 1) All stipulations of approval, if any, shall be incorporated into the Decision of Approval, which shall be recorded at the HCRD, together with the above-cited Plan (hereafter referred to as the Plan).
- 2) Hours of excavation or removal of materials involving the subject lot shall be limited to the hours after 7:00 A.M. and before 7:00 P.M., Monday through Saturday. Said excavation or removal of materials shall be prohibited on Sundays.

Planning Board – Approval Notice  
Brox Industries Earth Excavation Plan  
September 18, 2012

- 3) Prior to Planning Board endorsement of the plan, it shall be subject to final engineering review.
- 4) Prior to Planning Board endorsement of this Plan, Note 9.C., on Sheet 1 of 5 shall be amended to read as specified in the above condition #2.

All representations of fact or intention made by the applicant or any applicant's representative during testimony before the Planning Board relative to the obtaining approval of this plan, shall be considered conditions of this approval regardless of the fact that such fact or intentions were not specifically stated as part of the motion to grant.

Signed:  Date: 9-19-12  
John M. Cashell  
Town Planner

cc: Hayner/Swanson, Inc.



**TOWN OF HUDSON  
PLANNING BOARD**

**NOTICE OF DECISION**



12 School Street

Hudson, New Hampshire 03051

603/886-6008

October 20, 2017

Owner or Applicant: Brox Industries  
Attn: Eric Stevenson  
1471 Methuen Street  
Dracut, MA 01826-5439

On Wednesday, October 11, 2017, the Hudson Planning Board heard subject case EP# 01-17 (Extension of EP#1-12) "Excavation of Soils Plan, 85 Greely Street & Barretts Hill Road"

**SUBJECT: FIVE-YEAR EXTENSION OF PREVIOUSLY APPROVED EXCAVATION PERMIT.**

**LOCATION: 85 Greely Street and Barretts Hill Road**

You are hereby notified of the subject plat presented before the Planning Board and the following action:

The Planning Board voted to accept the application for the extension of the excavation permit for 85 Greely Street and Barretts Hill Road, Map 115/Lot 5.

The Planning Board voted to approve the Excavation of Soils Plan entitled: Site Plan Map 115 Lot 5 Proposed Earth Excavation 85 Greeley Street, Hudson, New Hampshire, prepared by Hayner/Swanson, Inc., 3 Congress St., Nashua, NH 03062, dated: 5 July 2012 (no revision date), consisting of Sheets 1- 5 and Notes 1 – 8, in accordance with the following terms and conditions:

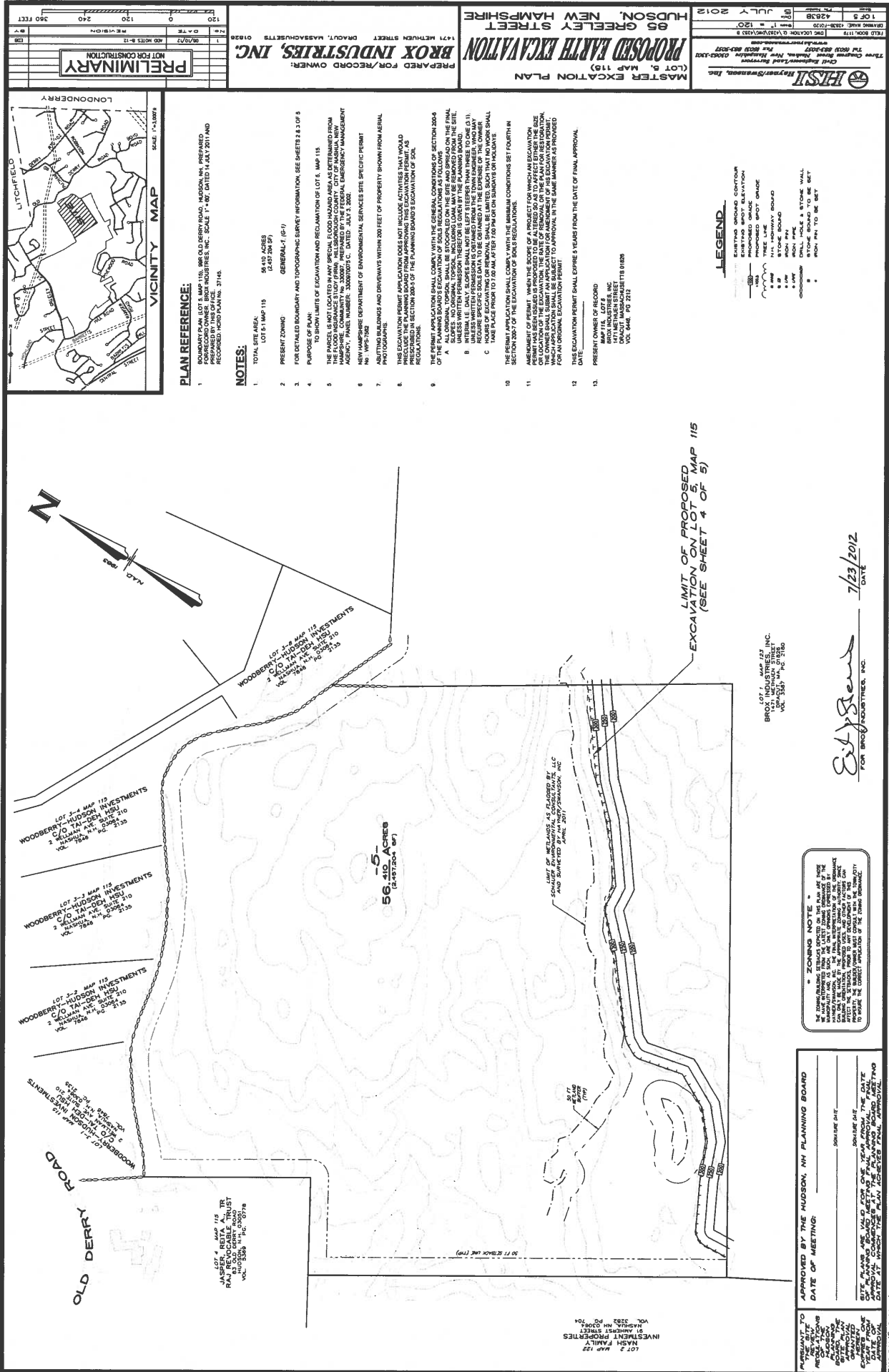
1. All stipulations of approval shall be incorporated into the Decision of Approval, which shall be recorded at the HCRD, together with the above-cited Plan (hereafter referred to as the Plan).
2. The Planning Board grants approval for a period of time not to exceed five (5) years from the date of extension of approval.
3. Hours of excavation or removal of materials involving the subject lot shall be limited to the hours after 7:00 A.M. and before 7:00 P.M., Monday through Saturday. Said excavation or removal of materials shall be prohibited on Sundays.

Notice of Decision Brox Industries Excavation Permit Extension  
October 20, 2017  
Page 2

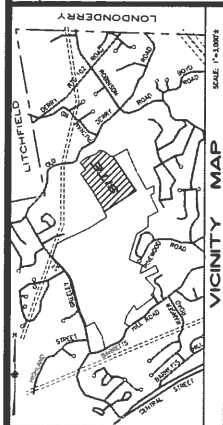
All representations of fact or intention made by the applicant or any applicant's representative during testimony before the Planning Board relative to the obtaining approval of this plan, shall be considered conditions of this approval regardless of the fact that such fact or intentions were not specifically stated as part of the motion to grant.

Signed: George N. Thebarger Date: October 20, 2017  
George Thebarger AICP  
Hudson Land Use Director





NO.	DATE	REVISION
1	06/27/22	ADD NOTES B-13



**PLAN REFERENCE:**

1. HAZARDOUS WASTE AND SOLID WASTE ACT, FEDERAL REGISTER, 42 FR 11037, JANUARY 14, 1977, AS AMENDED.  
 2. FEDERAL EARTHQUAKE SAFETY ACT, 42 USC 5121-5126, AS AMENDED.  
 3. FEDERAL EARTHQUAKE SAFETY ACT, 42 USC 5121-5126, AS AMENDED.  
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 8. FEDERAL EARTHQUAKE SAFETY ACT, 42 USC 5121-5126, AS AMENDED.  
 9. FEDERAL EARTHQUAKE SAFETY ACT, 42 USC 5121-5126, AS AMENDED.  
 10. FEDERAL EARTHQUAKE SAFETY ACT, 42 USC 5121-5126, AS AMENDED.  
 11. FEDERAL EARTHQUAKE SAFETY ACT, 42 USC 5121-5126, AS AMENDED.  
 12. FEDERAL EARTHQUAKE SAFETY ACT, 42 USC 5121-5126, AS AMENDED.  
 13. FEDERAL EARTHQUAKE SAFETY ACT, 42 USC 5121-5126, AS AMENDED.

**NOTES:**

- TOTAL SITE AREA: 56.410 ACRES (2,437,204 SF)
- PRESENT ZONING: GENERAL-1 (G-1)
- FOR DETAILED BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION, SEE SHEETS 2 & 3 OF 5
- PURPOSE OF PLAN: TO SHOW LIMITS OF EXCAVATION AND RECLAMATION OF LOT 5, MAP 115
- THE PARCELS NOT LOCATED IN ANY SPECIAL FLOOD HAZARD AREA AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NO. 11080C0240, DATED JULY 9, 2002.
- THE EXCAVATION PERMIT SHALL COMPLY WITH THE MINIMUM CONDITIONS SET FORTH IN SECTION 2607 OF THE EXCAVATION OF SOILS REGULATIONS.
- THE EXCAVATION PERMIT APPLICATION DOES NOT INCLUDE ACTIVITIES THAT WOULD BE PROHIBITED BY SECTION 2605.1 OF THE EXCAVATION OF SOILS REGULATIONS.
- THE EXCAVATION PERMIT SHALL COMPLY WITH THE MINIMUM CONDITIONS SET FORTH IN SECTION 2607 OF THE EXCAVATION OF SOILS REGULATIONS.
- ALL ORIGINAL TOPSOIL SHALL BE STOCKPILED ON THE SITE AND SPREAD ON THE FINAL EXCAVATION SURFACE. UNLESS WRITTEN PERMISSION, THIS SOIL IS TO BE PLACED ON THE EXCAVATION SURFACE. INTERNAL ELEVATIONS SHALL NOT BE DEEPER THAN THREE (3) FEET (0.91 M).
- REQUIRE SPECIFIC SOIL DATA TO BE OBTAINED AT THE DISCRETION OF THE OWNER.
- THE EXCAVATION PERMIT SHALL COMPLY WITH THE MINIMUM CONDITIONS SET FORTH IN SECTION 2607 OF THE EXCAVATION OF SOILS REGULATIONS.
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**LEGEND:**

- EXISTING GROUND CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED EXCAVATION
- PROPOSED SPOT GRADE
- TREE LINE
- STONE WALL
- STONE BOUNDARY
- WELL
- WELL PIT
- WELL HOLE & STONE WALL
- STONE BOUNDARY TO BE SET
- STONE WALL TO BE SET

LOT 5, MAP 115  
 56.410 ACRES  
 (2,437,204 SF)

LOT 15, MAP 115  
 56.410 ACRES  
 (2,437,204 SF)

OLD DERBY ROAD  
 WOODBERRY ROAD

**ZONING NOTE:**  
 BY SUBMITTING THIS PLAN TO THE ZONING BOARD OF THE TOWN OF HUDSON, NH, THE APPLICANT AGREES TO ACCEPT THE ZONING BOARD'S DECISION ON THIS PLAN. THE ZONING BOARD'S DECISION IS FINAL AND NOT SUBJECT TO APPEAL. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.

APPROVED BY THE HUDSON, NH PLANNING BOARD  
 DATE OF MEETING: \_\_\_\_\_  
 DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL: \_\_\_\_\_

APPROVED BY THE APPLICANT  
 DATE: \_\_\_\_\_

PLAN # 37599 DRAWER # 175  
 Doc # 2068389 12/19/2012 9:16 A.M.  
 HCRD

7/23/2012  
 DATE

Brox Industries, Inc.  
 FOR BROX INDUSTRIES, INC.

APPROVED BY THE APPLICANT  
 DATE: \_\_\_\_\_

PREPARED FOR/RECORD OWNER:  
**BROX INDUSTRIES, INC.**  
 1471 WETHER STREET  
 DRACUT, MASSACHUSETTS 01928

PREPARED BY:  
**PROPOSED EARTH EXCAVATION**  
 85 GREELY STREET  
 HUDSON, NEW HAMPSHIRE

MASTER EXCAVATION PLAN  
 (LOT 5, MAP 115)  
 JULY 2012

Three Kings Survey, New Hampshire, Class C-2  
 700 Main Street, Concord, NH 03301  
 Tel: 603-225-2557  
 Fax: 603-225-2558  
 www.threekingsurvey.com



EXCAVATION, GRADING, RECLAMATION PROJECTS  
PERIOD REPORTING FORM  
Water Division/ Land Resources Management  
Alteration of Terrain Bureau



RSA/Rule: RSA 485-A:17, [Env-Wq 1500](#)

**I. Permit Holder Information** (If the permit is held by more than one individual or entity, attach an additional page with the information shown below for each additional permit holder.)

Name: Brox Industries Inc.

Mailing Address: 1471 Methuen Street, Dracut, MA 01826

Daytime Telephone:

Email:

**II. Permit Holder's Representative** (If permit is held by a corporation, partnership, trust, or any other entity.)

Name: Mr. Erik Stevenson

Title: Vice President Real Estate

Mailing Address: 1471 Methuen Street, Dracut, MA 01826

Daytime Telephone: 978-805-9744

Email: estevenson@broxindustries.com

**III. Permit Holder's Agent** (If any.)

Name:

Title:

Mailing Address:

Daytime Telephone:

Email:

**IV. Description of Project, Progress**

Describe the project's progress, including whether the project as originally proposed and permitted meets all current requirements for such projects and, if not, which requirements are not being met [Env-Wq 1503.28(c)(4)]. If more space is needed, attach additional page(s). No construction activities have occurred on site in the north pit. All requirements have been, or are currently being met, and no corrective actions or requirements have been issued for the site.

**V. Corrective Action(s) Needed**

If any applicable requirements are not being met, explain the corrective action(s) that will be or are being taken to bring the project into compliance **and** the deadline by which such actions will be completed [Env-Wq 1503.28(c)(5)]. If more space is needed, attach additional page(s).

**VI. Reclamation Schedule**

Provide a schedule for reclamation of any area(s) that have not been reclaimed and have not been active in the last 24 months [Env-Wq 1503.28(c)(6)]. If more space is needed, attach additional page(s).

**VII. Next Status Report**

Identify the date the next status report is due: 2027 [Env-Wq 1503.28(c)(6)]

**!! Attach photographs** taken in a period of no snow cover that are representative of existing site conditions, with a description of what each photograph is showing that is referenced to the project plans [Env-Wq 1503.28(c)(6)].

**!! Attach revised plans that include the following:** [Env-Wq 1503.28(d)]

- Existing and proposed contours of the site clearly delineated at 5-foot intervals, created with a computer-aided design software if available.
- An outline on the grading plans showing the limits of permitted disturbance and of existing disturbance.
- A delineation of the areas that have been reclaimed.
- A delineation of the areas that have not been reclaimed and have not been active in the last 24 months.
- A schedule for reclamation of any area(s) that have not been reclaimed and have not been active in the last 24 months.
- The due date of the next status report.

**VIII. Signatures and Certifications**

This report must be signed and dated by each permit holder or agent. [Env-Wq 1503.28(b)(2); Env-Wq 1503.10]).

By signing below, I certify that:

- The information contained in or otherwise submitted with this application is true, complete, and not misleading to the best of my knowledge and belief.
- I understand that the submission of false, incomplete, or misleading information constitutes grounds for the department to revoke my permit and/or refer the matter to the board of professional engineers established by RSA 310-A:3 if I am a professional engineer.
- I understand that I am subject to the penalties specified in New Hampshire law for falsification in official matters, currently RSA 641.

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Name (type or print): \_\_\_\_\_

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Name (type or print): \_\_\_\_\_

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Name (type or print): \_\_\_\_\_

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Name (type or print): \_\_\_\_\_



June 2, 2022

Mr. Ridgley Mauck  
Land Resources Management Program  
New Hampshire Department of Environmental Sciences  
29 Hazen Drive  
P.O. Box 95  
Concord, NH 03302-0095

Dear Mr. Mauck:

**RE: Update AoT Permit Number WPS – 7562  
Brox Industries Inc.,  
85 Greeley Street, Hudson, NH**

This letter and the enclosed existing and proposed contour plans are being submitted to satisfy Env.Wq 1503.28 of Brox Industries Inc. site-specific AoT Permit WPS-7562.

Permit Holder:

Brox Industries Inc.  
1471 Methuen Street  
Dracut, MA 01826

Permit Representative:

Brox Industries Inc.  
Mr. Erik Stevenson  
1471 Methuen Street  
Dracut, MA 01826

Telephone No.: 978.805.9744

Fax No.: 978.805.9719

Email: [estevenson@broxindustries.com](mailto:estevenson@broxindustries.com)

## PROJECT DESCRIPTION

The site is located north of Barretts Hill Road and east of Greeley Street, in the Town of Hudson, New Hampshire, and is approximately 318 acres. This update covers the total permitted area of Permit # WPS-7802, which is approximately 132 acres of the total property.

No construction activities have occurred on site in the north pit. All requirements have been, or are currently being met, and no corrective actions or requirements have been issued for the site.

Site photographs are attached and the picture locations are shown on the existing contour plan.

67 WATER STREET, SUITE 109  
LACONIA, NH 03246  
603.527.0006



**RESPECT**

If you have questions or need additional information, please feel free to contact me.

Sincerely,

Mike R. Wright  
Principal Geologist

MW:lf  
Enclosure

**PHOTO LOG**

Project: Brox - Hudson  
Date: Photos taken on May 17, 2022  
Customer: Brox Industries Inc.



Photo 1 - Entrance into Permit area looking East



Photo 2 - On access road looking North



Photo 3 - Just off access road looking North



Photo 4 - Just off access road looking South

**PLAN SET**

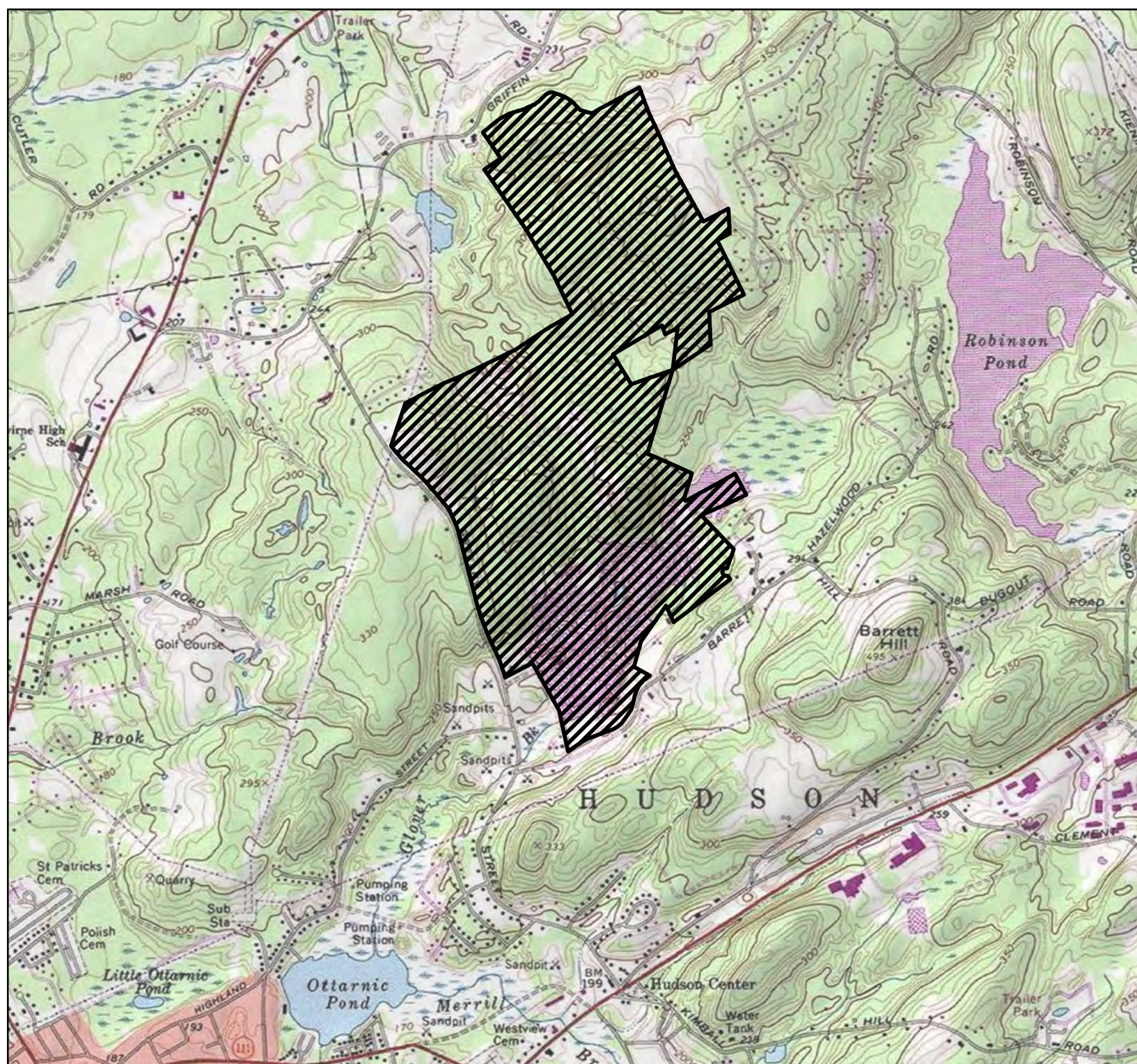


# BROX INDUSTRIES, INC.

## 485-A:17 PERMIT - NE QUADRANT

### WPS-7562

### JUNE 01, 2022



**SHEET INDEX**

SHEET 1	TITLE SHEET
SHEET 2	OVERALL SITE PLAN 1" = 200'
SHEET 3	200 SCALE EXCAVATION PLAN
SHEET 4	DETAILS AND NOTES
SHEET 5	DETAIL SITE PLAN - MAP 1
SHEET 6	DETAIL SITE PLAN - MAP 2
SHEET 7	DETAIL SITE PLAN - MAPS 3 & 4

LOCUS PLAN  
SCALE 1" = 2000'



PREPARED BY:  
RESPEC  
NORTH AMERICAN RESERVE DIVISION  
67 WATER STREET, SUITE 109  
LACONIA, NH 03246  
www.respec.com

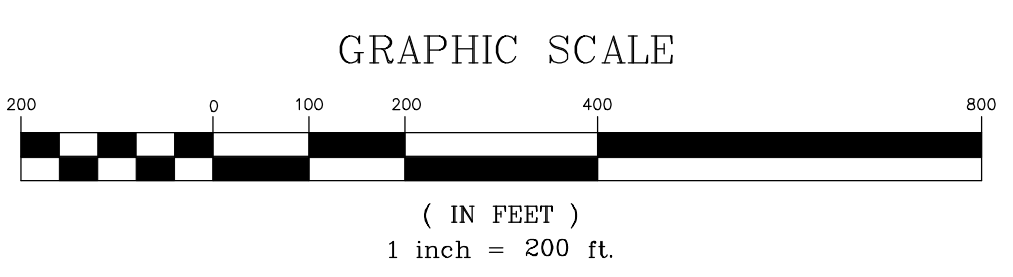
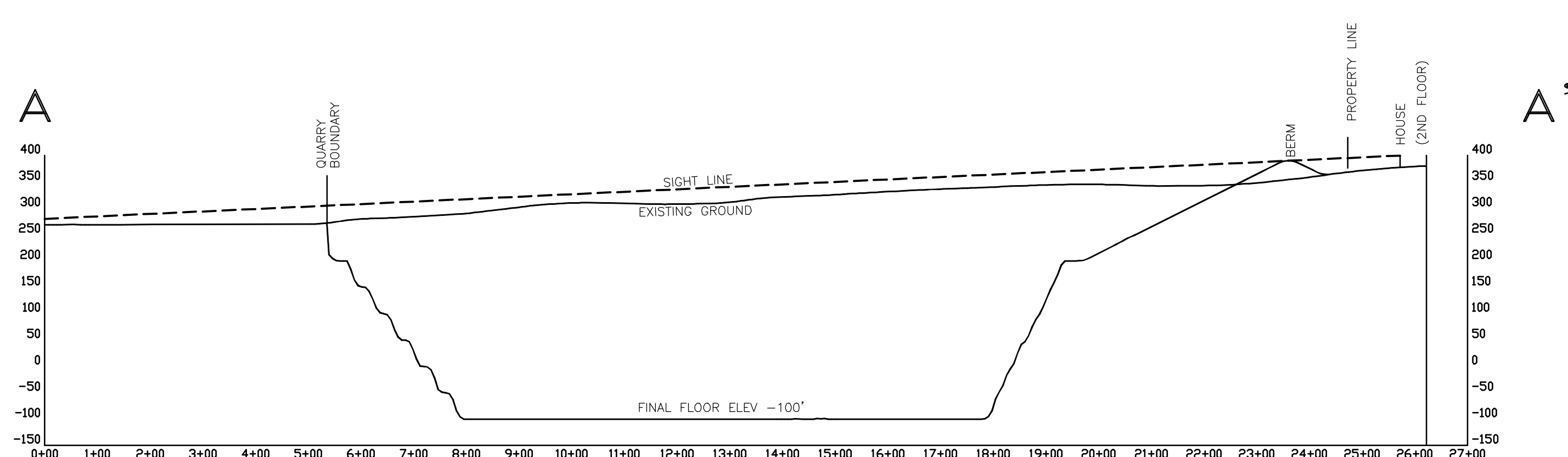
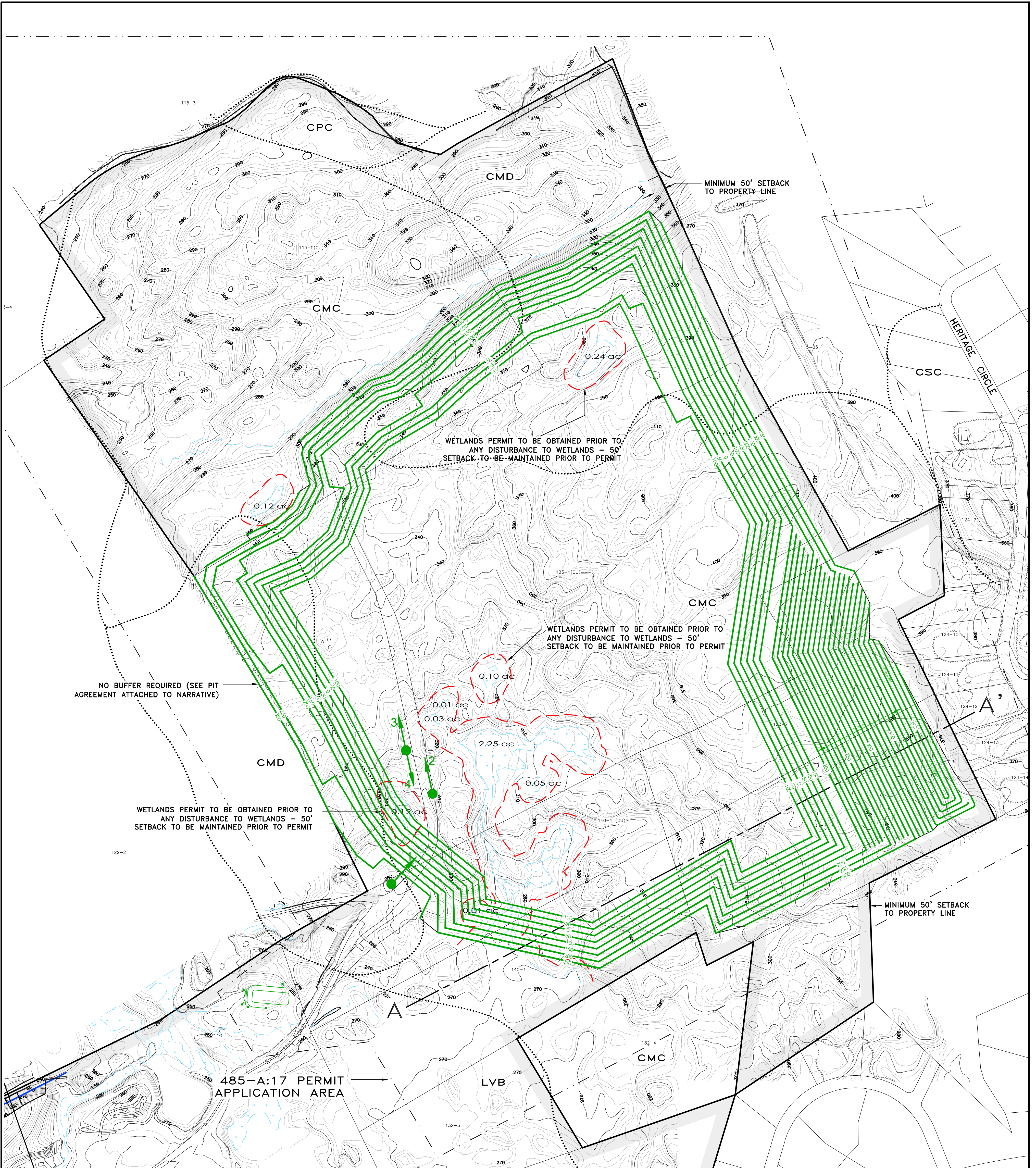


**LEGEND:**

.....	PILE OUTLINE	- - - - -	APPROX FENCE
=====	ROAD	~~~~~	WETLAND/POORLY DRAINED SOILS
-----	TRAIL	~~~~~	TREELINE
□	GUARDRAIL	-----	BRUSHLINE
○	APPROX STONE WALL	⊕	V. CONTROL
-x-x-	FENCE	⊕	H/V CONTROL
∞	STONE WALL	⊕	MANHOLE
▽▽▽	RETAINING WALL	■	CATCH BASIN

**TITLE SHEET**  
GREELEY STREET AND BARRETTS HILL ROAD  
HUDSON, NEW HAMPSHIRE  
485-A:17 PERMIT - NE QUADRANT  
  
**BROX INDUSTRIES, INC.**  
1471 METHUEN STREET  
DRACUT, MASSACHUSETTS 01826






**SOIL LEGEND:**

CMC	CANTON STONEY FINE SANDY LOAM 8 TO 15% SLOPES
CMD	CANTON STONEY FINE SANDY LOAM 15 TO 25% SLOPES
CPC	CHATFIELD-HOLLIS-CANTON COMPLEX 8 TO 15% SLOPES
CSC	CHATFIELD-HOLLIS COMPLEX 8 TO 15% SLOPES
LVB	LEICESTER-WALPOLE COMPLEX STONEY 3 TO 8% SLOPES

**NOTE:**

- PETER S. SCHAUER, CERTIFIED WETLAND SCIENTIST #48, OF SHAUER ENVIRONMENTAL CONSULTANTS, LLC, OF LOUDON, NH, PERFORMED WETLAND MAPPING ON SEPTEMBER 28, AND OCTOBER 6 AND 19, 2005 ACCORDING TO THE TECHNICAL CRITERIA OF THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1, JANUARY 1987).
- TOPOGRAPHY PREPARED BY EASTERN TOPOGRAPHICS AERIAL PHOTO DATED MAY 21, 2014.


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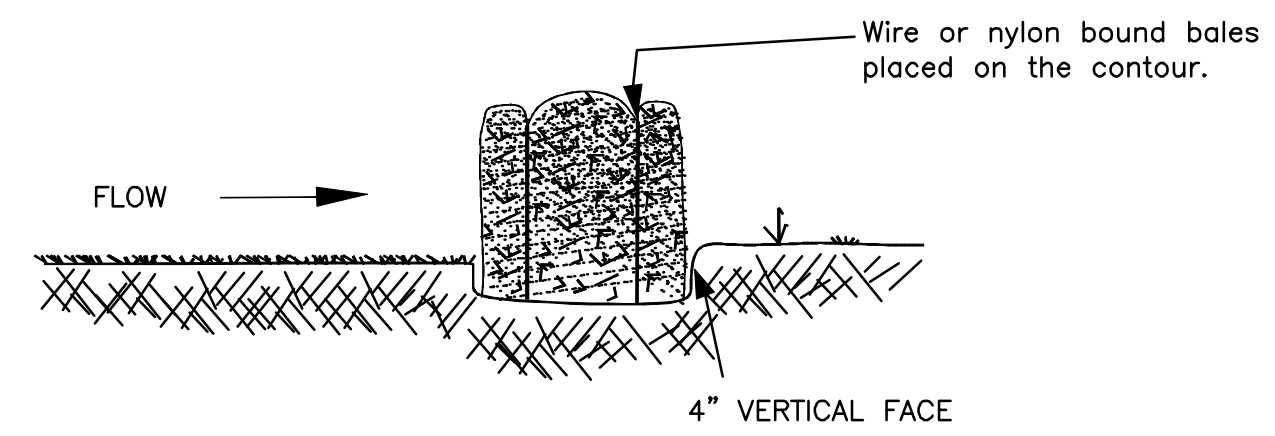
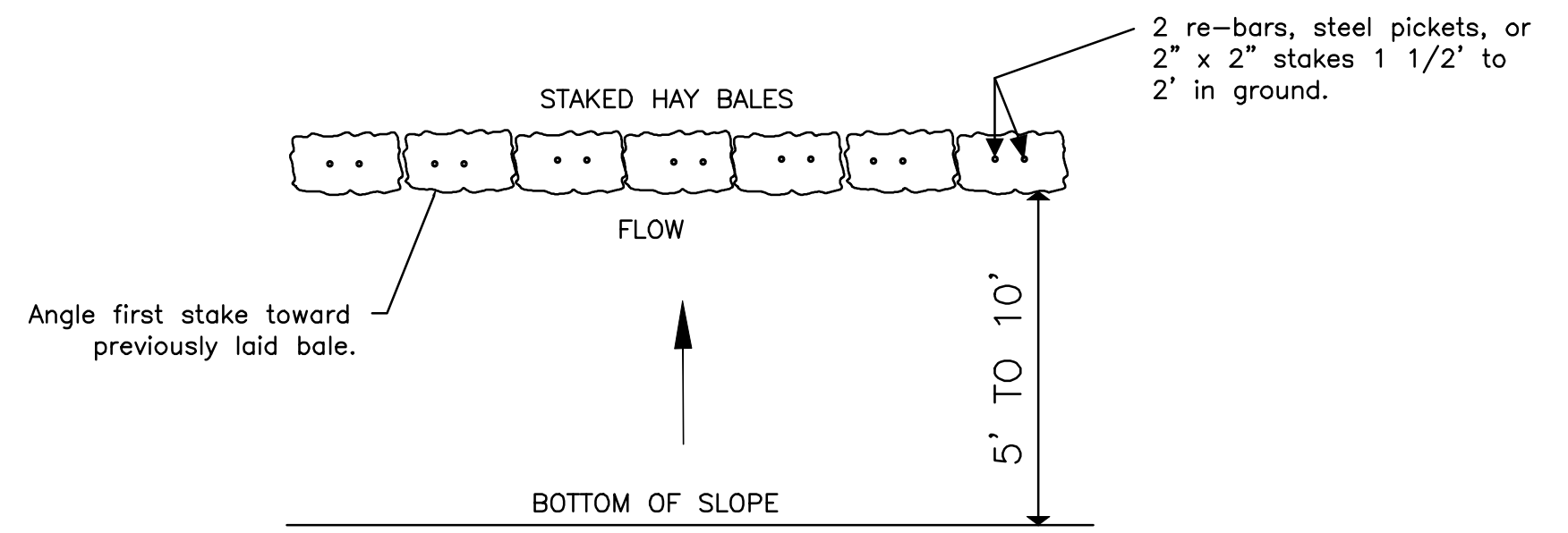
**LEGEND:**

---○---	PILE OUTLINE	- - - - -	APPROX FENCE
---	ROAD	---	WETLAND/POORLY DRAINED SOILS
---	TRAIL	---	TREELINE
---	GUARDRAIL	---	BRUSHLINE
---	APPROX STONE WALL	○	V. CONTROL
---	FENCE	○	H/V CONTROL
---	STONE WALL	○	MANHOLE
---	RETAINING WALL	○	CATCH BASIN
		○	
		○	
		○	

**200 SCALE EXCAVATION PLAN**  
 GREELEY STREET AND BARRETT'S HILL ROAD  
 HUDSON, NEW HAMPSHIRE  
 485-A:17 PERMIT - NE QUADRANT  
**BROX INDUSTRIES, INC.**  
 1471 METHUEN STREET  
 DRACUT, MASSACHUSETTS 01826

**CONSTRUCTION SEQUENCE**

- CUT AND CLEAR TREES
- CONSTRUCT TEMPORARY EROSION CONTROL DEVICES AS NECESSARY. CULVERTS AS NECESSARY. ALL EROSION CONTROL METHODS AND MATERIALS SHALL CONFORM TO THE "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NH" PREPARED FOR THE NH DEPARTMENT OF ENVIRONMENTAL SERVICES, 1992.
- GRUB AND DISPOSE OF DEBRIS.
- STOCKPILE TOPSOIL AND INSTALL ASSOCIATED EROSION CONTROL DEVICES AS NECESSARY.
- CONSTRUCT ACCESS AND HAUL ROAD(S), THEN STABILIZE ALL EXPOSED SLOPES.
- BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING TO STABILIZE DISTURBED AREAS OUTSIDE OF EXCAVATION AREA(S).
- DURING CONSTRUCTION, PERIODICALLY MONITOR THE DRAINAGE PATHS ON SITE AND MODIFY POTENTIAL TROUBLE SPOTS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY AND IN ADDITION, AFTER EACH STORM EVENT.
- SEDIMENT CONTROL DEVICES SHALL BE PERIODICALLY CLEANED UNTIL SLOPES AND CHANNELS HAVE BEEN STABILIZED.
- APPLY ADDITIONAL MULCH AND SEED TO AREAS MOST SUSCEPTIBLE TO EROSION AND REPAIR ANY ERODED AREAS.
- ALL BASINS SHALL HAVE SEDIMENT REMOVED WHEN THE SEDIMENT BUILDUP REACHES HALF THE STORAGE CAPACITY OF THE BASIN. SEDIMENT REMOVED SHALL BE STORED ON-SITE FOR LATER INCORPORATION INTO SITE SLOPES. A SILT FENCE SHALL BE CONSTRUCTED DOWNSLOPE AND ADJACENT TO THE STORAGE PILE(S) AND THE PILE THEN LOAMED AND SEEDED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.



**CONSTRUCTION DETAILS**

- BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF FOUR INCHES.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR RE-BAR DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

**OPERATIONAL SEQUENCE**

- EXCAVATED OVERBURDEN WILL BE REWORKED TO ESTABLISH EARTHEN BERMS TO DIVERT THE STORMWATER RUNOFF FROM THE PERIMETER INTO THE QUARRY FLOOR.
- THE EARTHEN BERMS WILL BE LOAMED AND SEEDED TO PREVENT EROSION UNTIL THEIR UTILIZATION DURING RECLAMATION.
- THE QUARRY FLOOR WILL BE USED FOR STORMWATER RETENTION AND EVAPORATION.
- NO EXCAVATION WITHIN 50' OF A WETLAND, BROOK, OR SURFACE WATER. ALL EXISTING WETLAND AREAS WILL BE PROTECTED FROM SEDIMENT BY THE CONSTRUCTION AND MAINTENANCE OF HAY BALES AND/OR SILT FENCE AS APPROPRIATE.
- THE ROCK BLASTING TECHNIQUE SHALL INCLUDE A MINIMUM 3 FEET OF SUBDRILLING. THE SUBDRILLING WILL ALLOW GRADING OF THE QUARRY FLOORS AND FOR WATER STORAGE IN THE VOID SPACE IN THE BROKEN MASS. THE QUARRY WILL BE CONFINED BY UNBLASTED ROCK TO CREATE A BASIN EFFECT BENEATH THE QUARRY FLOOR.
- IN THOSE INSTANCES WHERE STORMWATER RETENTION WITHIN THE QUARRY FLOOR WOULD AFFECT OPERATIONS, THE QUARRY FLOOR WILL BE PUMPED. THIS WATER WILL BE ROUTED THROUGH A SEDIMENT TRAP DURING TIMES OF LOW FLOW AND WILL NOT OCCUR DURING OR WHEN STORM EVENTS ARE IMMINENT.

**LOAM AND SEEDING SPECIFICATIONS**

FINAL FLOORS WILL BE REVEGETATED IN ACCORDANCE WITH USDA/NRCS TECHNICAL NOTE PM-NH-21 VEGETATING NEW HAMPSHIRE SAND AND GRAVEL PITS REVISED APRIL 2000.

**LOAM**

FINAL FLOOR SHALL BE RELOAMED WITH A MINIMUM OF 4" OF LOAM SUFFICIENT TO GROW PROPER VEGETATION. STONES LARGER THAN 4" AND DEBRIS THAT WILL INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA SHALL BE REMOVED. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4" TO PREPARE A SEEDBED. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHENEVER POSSIBLE.

**SEEDING**

ONE OF THE THREE SEED MIXES SPECIFIED IN NRCS TECHNICAL NOTE PM-NH-21 WILL BE SELECTED BASED ON THE RESULTS OF A SIEVE ANALYSIS ON THE LOAM:

- <15% BY WEIGHT PASSING 200 SIEVE USE MIX 1
- 15-20% BY WEIGHT PASSING 200 SIEVE USE MIX 1 OR 2
- >20% BY WEIGHT PASSING 200 SIEVE USE MIX 1, 2, OR 3

MIX 1 SPECIES	LBS/AC.	MIX 2 SPECIES	LBS/AC.	MIX 3 SPECIES	LBS/AC.
SWITCHGRASS	6	FLATPEA	10	TALL FESCUE	20
BIG BLUESTEM	4	PERENNIAL PEA	2	REDTOP	2
LITTLE BLUESTEM	2	CROWN VETCH	10	BIRDSFOOT TREFOIL	8
SAND LOVEGRASS	4	TALL FESCUE	10		

**LIME AND FERTILIZER**

IN LIEU OF A SOIL TEST, LIME AT THE RATE OF 1 TON PER ACRE FOR MIX 1 AND 2 TONS PER ACRE FOR MIXES 2 AND 3. FERTILIZE WITH 500 LBS PER ACRE OF 10-20-20 FERTILIZER OR EQUIVALENT.

**PROCESS**

ALL AREAS SHALL BE MULCHED USING CLEAN, WEED FREE MULCH AS REQUIRED BY SEED MIX. IF ANY AREA FAILS TO PROVIDE VEGETATIVE COVER, REPEAT THE SEEDING.

SEEDING SHOULD BE PERFORMED BETWEEN SNOWMELT AND MAY 15, OR IF NECESSARY, AFTER OCTOBER 20 TO PREVENT FALL GERMINATION. MIX 3 MAY ALSO BE PLANTED BETWEEN AUGUST 15 AND SEPTEMBER 1.

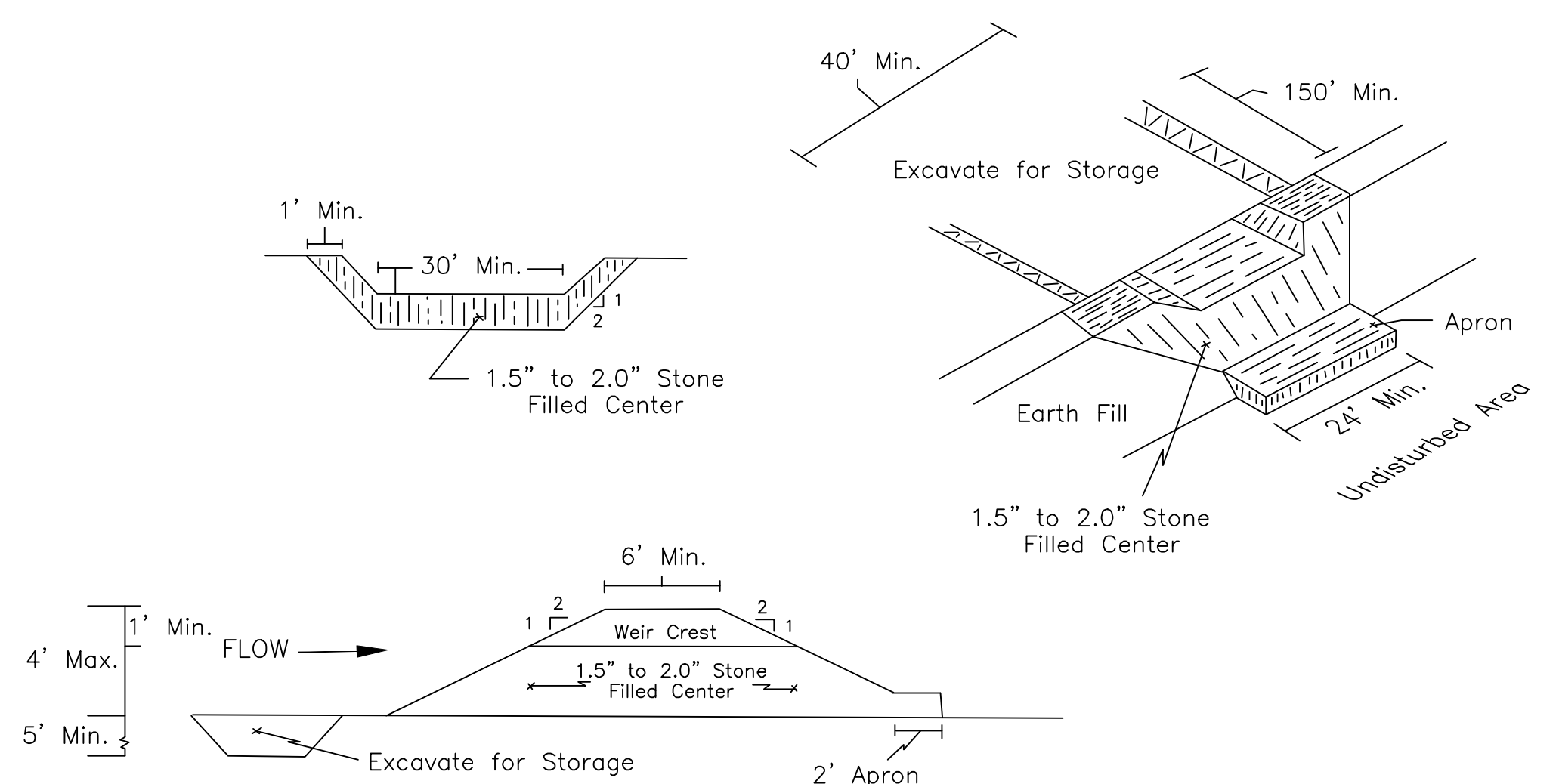
**TREE PLANTING: EAST SIDE BERM**

TREE PLANTINGS SHALL CONSIST OF 10-FOOT STAGGERED ROWS, 10 FEET ON-CENTER APPROXIMATELY 2 ROWS DEEP ALONG THE BERM NOTED ON THE PLAN IN THE EAST CORNER OF THE PROPERTY.

TREE PLANTINGS SHALL INCLUDE EQUAL AMOUNTS OF 2 TO 3 FEET HIGH TREES, COLLECTED ONSITE OR NURSERY STOCK. LARGER TREES MAY BE SUBSTITUTED.

THE FOLLOWING PLANTING PROCEDURE IS RECOMMENDED FOR EACH TREE. LOAM THE BERM WITH SUFFICIENT MATERIAL TO ALLOW A PIT APPROXIMATELY 1.5 TIMES THE SIZE OF THE ROOT BALL/ROOT MASS TO BE EXCAVATED. MULCH HEAVILY WITH ORGANIC MATERIAL. CREATE A SAUCER SHAPED INWARD FACING DISH AT THE SURFACE AND FERTILIZE LIBERALLY WITH A 10-10-10 ANALYSIS FERTILIZER. IF TREES ARE COLLECTED AND HAND DUG ONSITE, THEY SHOULD BE CUT BACK TO ROUGHLY 40% OF THEIR AREAL PARTS. THE AFTER-PRUNING HEIGHT OF THE TREES SHOULD COMPLY WITH SPECIFICATIONS. DO NOT REMOVE ALL THE TERMINAL LEADER OF THE TREE. TREE PLANTING SHALL OCCUR FROM APRIL THROUGH NOVEMBER. GROUND COVER PLANTINGS SHOULD OCCUR FROM APRIL THROUGH OCTOBER 15.

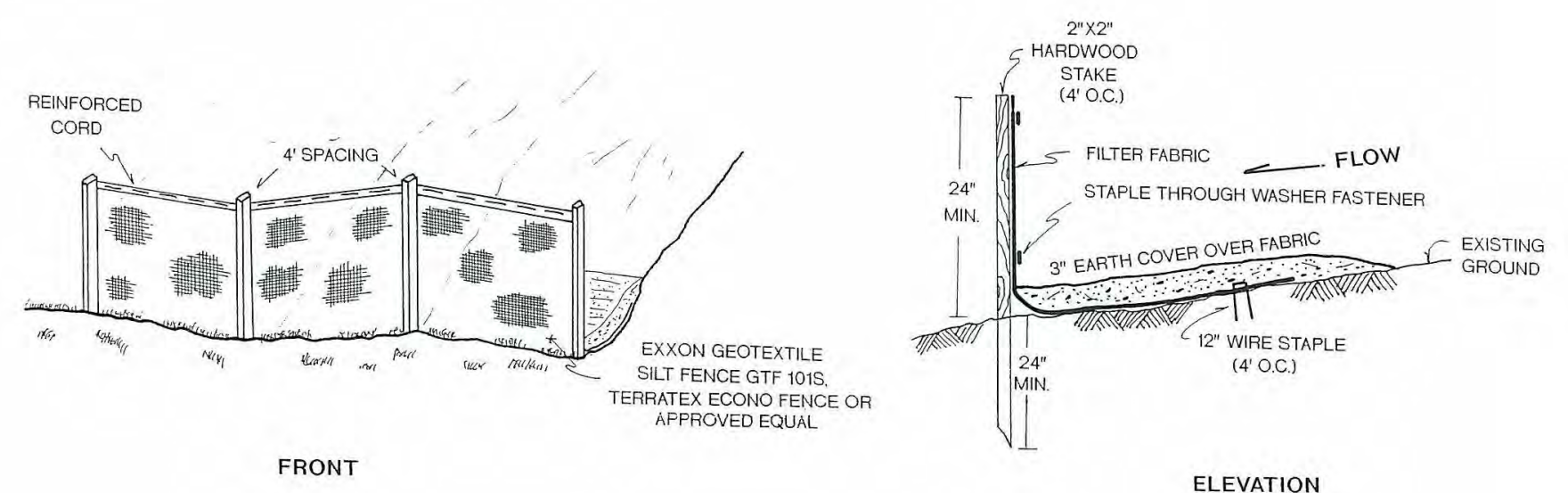
**HAY BALE BARRIER**



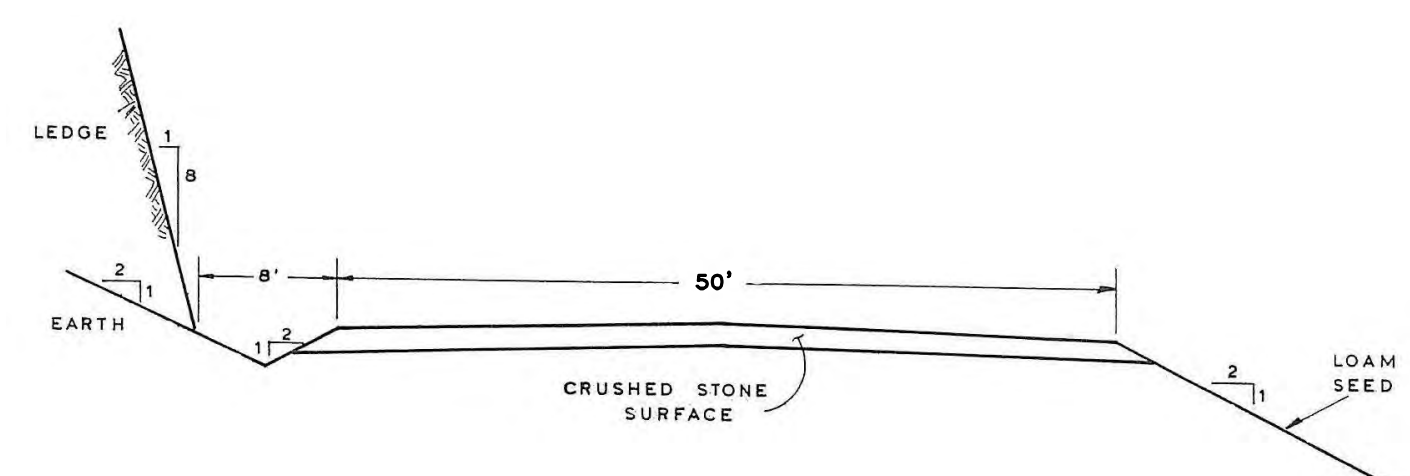
**CONSTRUCTION DETAILS**

- THE STORAGE BASIN SHOULD BE CLEANED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS FILLED.
- THE MATERIALS REMOVED FROM THE BASIN SHOULD BE PROPERLY DISPOSED OF AND STABILIZED SO THAT IT WILL NOT CREATE FURTHER SEDIMENT PROBLEMS.
- THE OUTLET FOR THE SEDIMENT TRAP SHALL CONSIST OF A CRUSHED STONE SECTION IN THE EMBANKMENT. THE OUTLET SHALL BE CONSTRUCTED OF MINIMUM SIZE 1.5" SEWER STONE.
- THE STRUCTURE SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO INSURE THAT IT IS WORKING PROPERLY AND IS NOT DAMAGED. DAMAGE TO THE STRUCTURE SHOULD BE REPAIRED IMMEDIATELY.
- ALL EMBANKMENTS, EARTH SPILLWAYS, AND DISTURBED AREAS BELOW THE SEDIMENT TRAP SHALL BE VEGETATED WITHIN 72 HOURS OF COMPLETION OF THE CONSTRUCTION OF THE STRUCTURE.
- WHEN THE DRAINAGE AREA FLOWING INTO THE BASIN HAS BEEN FULLY STABILIZED, THE SEDIMENT TRAP SHOULD BE REMOVED AND THE AREA VEGETATED USING APPROPRIATE MEASURES WITHIN 72 HOURS OF THE REMOVAL OF THE BASIN.

**SEDIMENT TRAP**



**SILT FENCE**



**TYPICAL SECTION - HAUL ROAD**

**REVISIONS**

June 23, 2006 - Revised to address DES comments on sediment trap and seeding specs.



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**LEGEND:**

- PILE OUTLINE
- ROAD
- TRAIL
- GUARDRAIL
- APPROX STONE WALL
- FENCE
- STONE WALL
- RETAINING WALL
- APPROX FENCE WETLAND/POORLY DRAINED SOILS
- TREELINE
- BRUSHLINE
- V. CONTROL
- H/V CONTROL
- MANHOLE
- CATCH BASIN

**DETAILS AND NOTES**  
GREELEY STREET AND BARRETT'S HILL ROAD  
HUDSON, NEW HAMPSHIRE  
485-A-17 PERMIT - NE QUADRANT  
**BROX INDUSTRIES, INC.**  
1471 METHUEN STREET  
DRACUT, MASSACHUSETTS 01826



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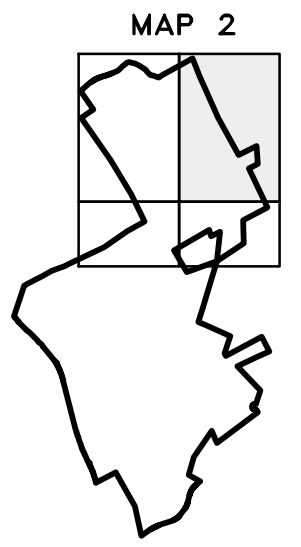
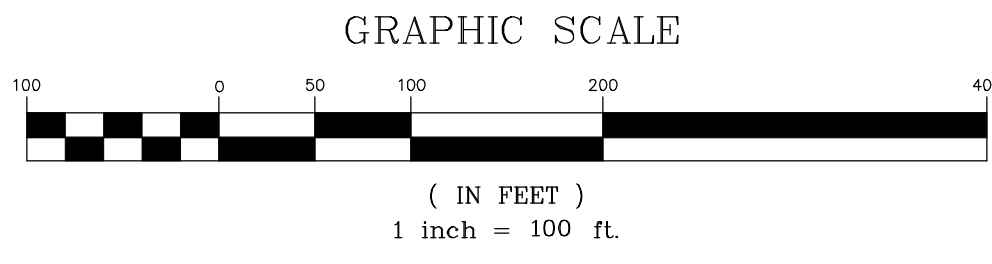
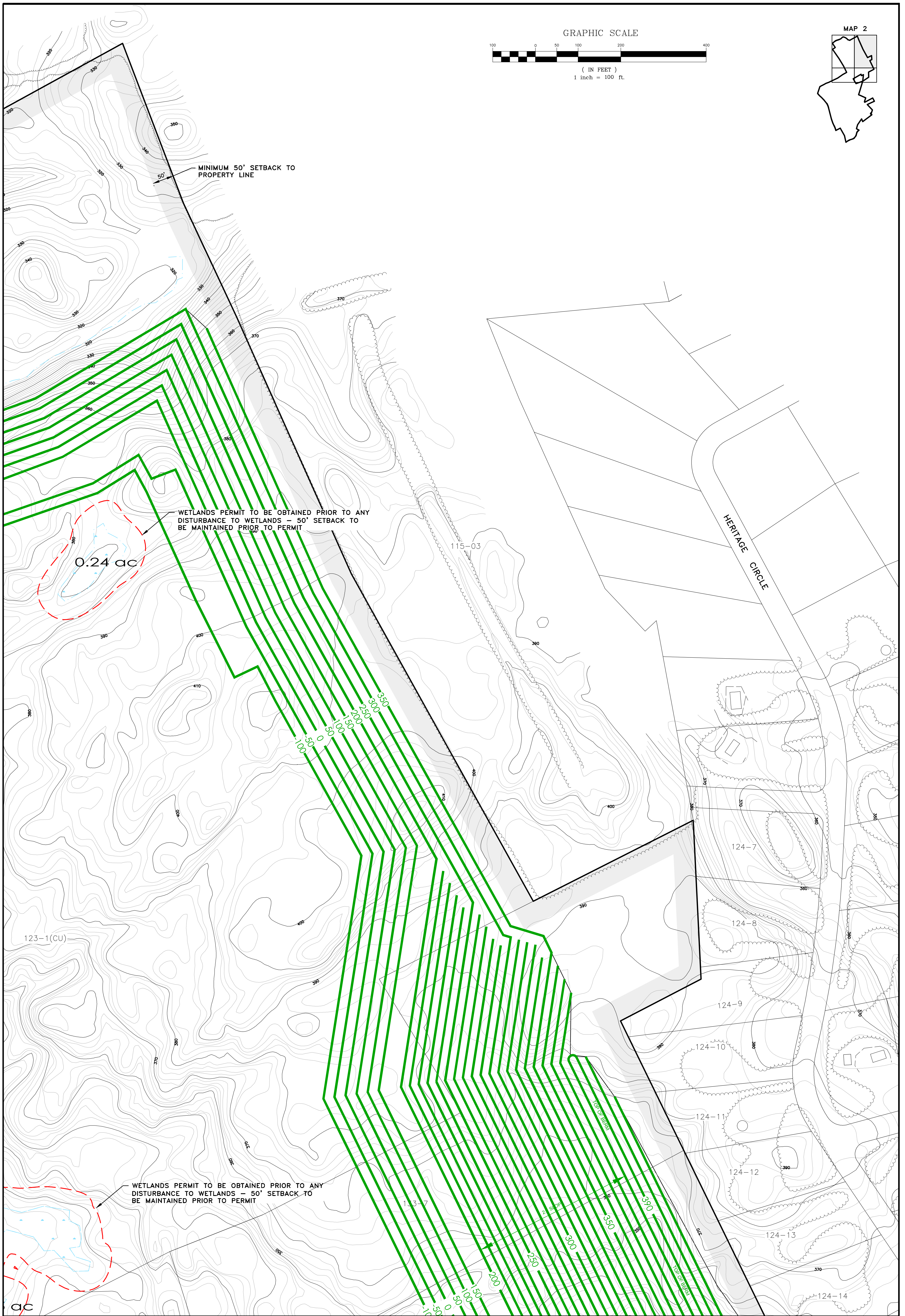

—	PILE OUTLINE	- - - -	APPROX FENCE
==	ROAD	~~~~	WETLAND/POORLY DRAINED SOILS
- - - -	TRAIL	~~~~	TREELINE
—○—	GUARDRAIL	—	BRUSHLINE
—○—	APPROX STONE WALL	—	V. CONTROL
-x-x-	FENCE	—	H/V CONTROL
—x—	STONE WALL	—	MANHOLE
—x—	RETAINING WALL	—	CATCH BASIN
		⊕	232
		⊕	447.50
		⊕	624.60
		⊕	MH
		■	CB

**DETAIL SITE PLAN**  
GREELEY STREET AND BARRETT'S HILL ROAD  
HUDSON, NEW HAMPSHIRE  
485-A:17 PERMIT - NE QUADRANT

**BROX INDUSTRIES, INC.**  
1471 METHUEN STREET  
DRACUT, MASSACHUSETTS 01826

**5**

SHEET 5 OF 7  
DWG: BROX-D04

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**LEGEND:**

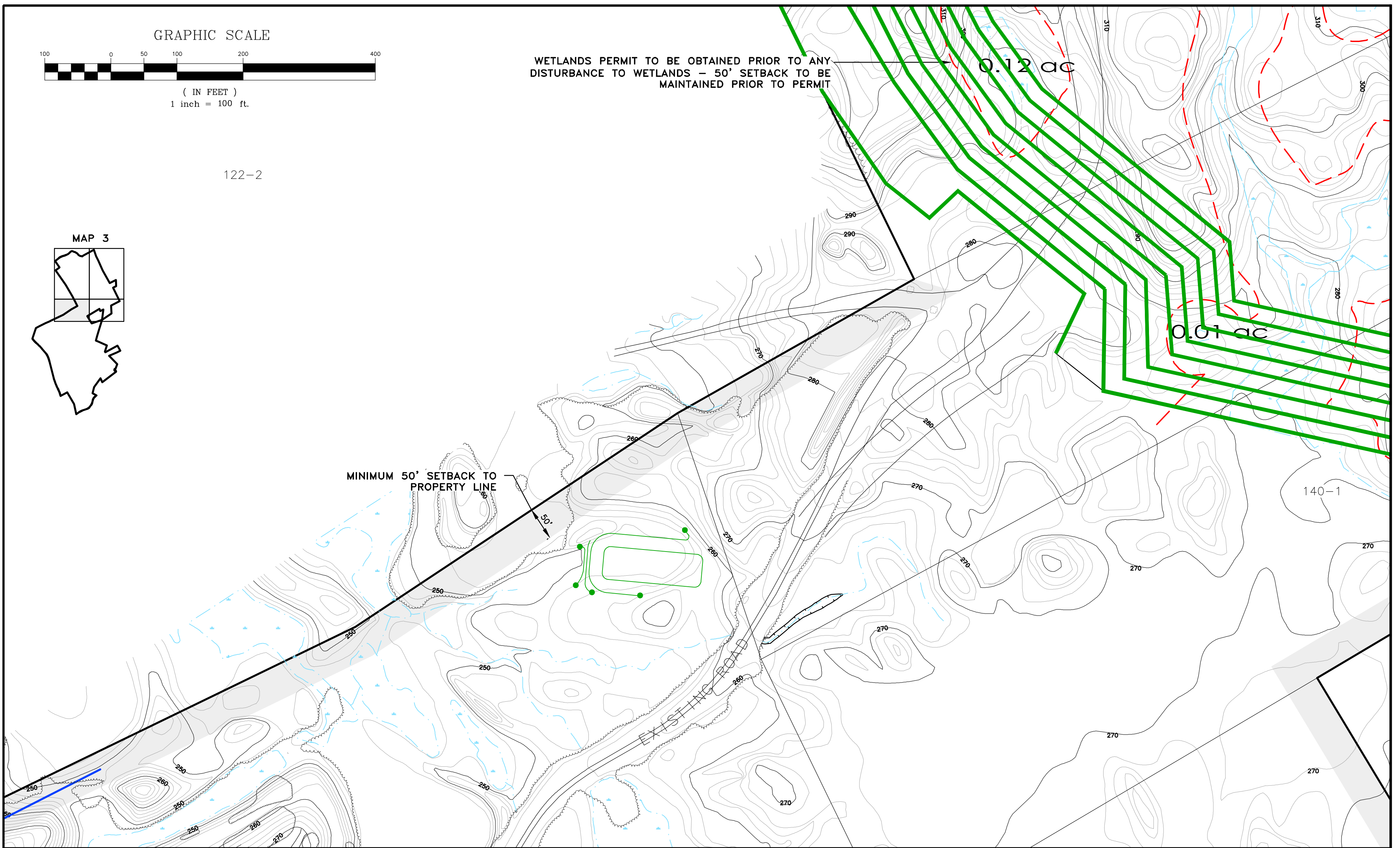
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— — — — —	ROAD	— — — — —	WETLAND/POORLY DRAINED SOILS
- - - - -	TRAIL	— — — — —	TREELINE
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**DETAIL SITE PLAN**  
GREELEY STREET AND BARRETT'S HILL ROAD  
HUDSON, NEW HAMPSHIRE  
485-A:17 PERMIT - NE QUADRANT

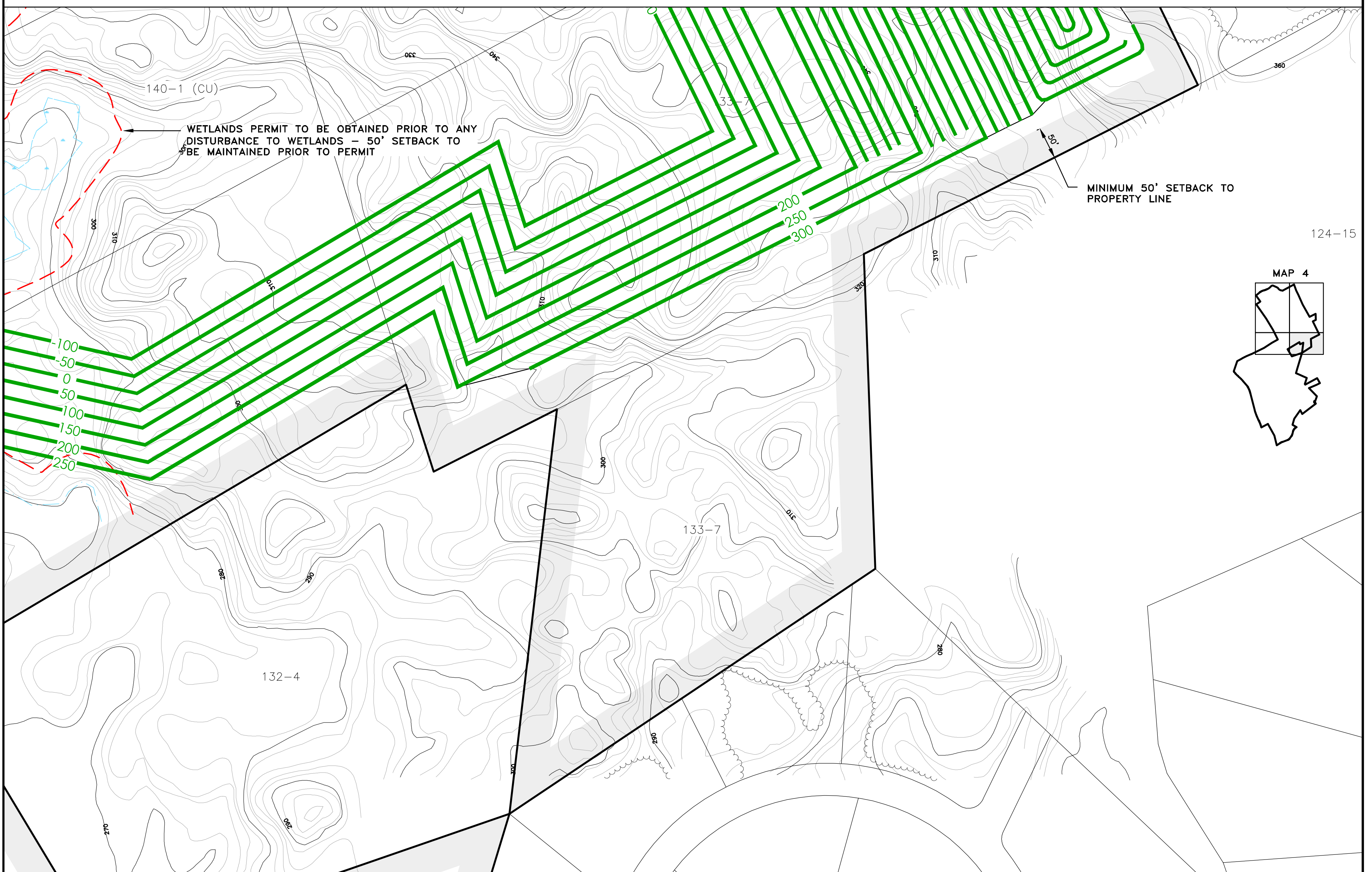
**BROX INDUSTRIES, INC.**  
1471 METHUEN STREET  
DRACUT, MASSACHUSETTS 01826

**6**


SHEET 6 OF 7  
DWG: BROX-D04



MAP 3



MAP 4

 <p>PREPARED BY: <b>RESPEC</b> NORTH AMERICAN RESERVE DIVISION 67 WATER STREET, SUITE 109 LACONIA, NH 03246 www.respec.com</p>	<p><b>LEGEND:</b></p> <table border="0"> <tr> <td>.....</td><td>PILE OUTLINE</td> <td>- - - - -</td><td>APPROX FENCE</td> </tr> <tr> <td>---</td><td>ROAD</td> <td>~~~~~</td><td>WETLAND/POORLY DRAINED SOILS</td> </tr> <tr> <td>- - - - -</td><td>TRAIL</td> <td>~~~~~</td><td>TREELINE</td> </tr> <tr> <td>  </td><td>GUARDRAIL</td> <td>~~~~~</td><td>BRUSHLINE</td> </tr> <tr> <td>○</td><td>APPROX STONE WALL</td> <td>○</td><td>V. CONTROL</td> </tr> <tr> <td>-x-x-</td><td>FENCE</td> <td>○</td><td>H/V CONTROL</td> </tr> <tr> <td>○</td><td>STONE WALL</td> <td>●</td><td>MANHOLE</td> </tr> <tr> <td>▽</td><td>RETAINING WALL</td> <td>■</td><td>CATCH BASIN</td> </tr> </table>	.....	PILE OUTLINE	- - - - -	APPROX FENCE	---	ROAD	~~~~~	WETLAND/POORLY DRAINED SOILS	- - - - -	TRAIL	~~~~~	TREELINE		GUARDRAIL	~~~~~	BRUSHLINE	○	APPROX STONE WALL	○	V. CONTROL	-x-x-	FENCE	○	H/V CONTROL	○	STONE WALL	●	MANHOLE	▽	RETAINING WALL	■	CATCH BASIN	<p><b>DETAIL SITE PLAN</b> GREELEY STREET AND BARRETT'S HILL ROAD HUDSON, NEW HAMPSHIRE 485-A:17 PERMIT - NE QUADRANT</p> <p><b>BROX INDUSTRIES, INC.</b> 1471 METHUEN STREET DRACUT, MASSACHUSETTS 01826</p>	<p>7</p> <p>SHEET 7 OF 7 DWG: BROX-D04</p>
.....	PILE OUTLINE	- - - - -	APPROX FENCE																																
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HAGE HODES PA  
ATTORNEYS AT LAW

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October 16, 2012

VIA E-MAIL & US MAIL

John Cashell, Town Planner  
Town of Hudson  
12 School Street  
Hudson, NH 03051

*RE: Brox Industries Excavation Permit*

Dear Mr. Cashell:

Pursuant to your transmittal letter dated October 1, 2012, this letter will constitute my review and certification of the documents as to form with regards to the application by Brox Industries to carryout excavation of soil at premises located at Greeley Street and Barrett's Hill Road, Map 123, Lot 5, in the Town of Hudson. In furtherance of providing this certification I have received and reviewed the following documents:

1. Letter of Transmittal from Hayner/Swanson, dated July 24, 2012.
2. Application cover letter from Hayner/Swanson, dated July 23, 2012.
3. Aerial photos of Proposed Earth Excavation, 85 Greeley Street, dated July 5, 2012.
4. Excavation Plan Application, pages 3 of 16 through 16 of 16.
5. Transaction Receipt from the Town of Hudson for fees paid, dated July 27, 2012.
6. Site Plan Map 115, Lot 5, Proposed Earth Excavation prepared for Brox Industries by Hayner/Swanson, dated July 5, 2012.
7. Letter from New Hampshire Natural Heritage Bureau, dated July 18, 2012.
8. Site Specific Permit WPS-7562, dated July 24, 2006.
9. Letter by Hayner/Swanson to John Cashell, dated August 16, 2012.
10. Motion Sheet, Conservation Commission, Town of Hudson, dated August 13, 2012.
11. Abutter Notification from Hudson Planning Board, dated August 24, 2012.
12. Staff Report, Hudson Community Development Department, dated September 12, 2102.
13. Notice of Approval, Hudson Planning Board, dated September 18, 2012.

Section 200-5 of Hudson's Excavation of Soil Regulations states that there are particular circumstances where the Planning Board would not be permitted to grant an Excavation of Soil Permit. Note 8 of the Proposed Earth Excavation Plan, drawing 1 of 5, states that Brox Industries will not undertake activities that would preclude the Planning Board from approving this Excavation Permit. The prohibitions listed in §200-5 of Hudson's Excavation of Soil Permits are as follows:

The Planning Board shall not grant a permit:



John Cashell, Town Planner  
Town of Hudson  
October 16, 2012  
Page 2 of 3

- A. Where an excavation is proposed below road level within 50 feet of any highway right-of-way, unless such excavation is for purpose of said highway.
- B. For excavation within 50 feet of the boundary of a disapproving abutter.
- C. For excavation within 10 feet of the boundary of a disapproving abutter, unless approval is requested in writing by said abutter.
- D. When the issuance of the permit would be unduly hazardous or injurious to the public welfare.
- E. Where existing visual barriers in the areas specified in RSA 155-E:3(III) would be removed, except to provide access to the excavation.
- F. Where the excavation would substantially damage a known aquifer, so designated by the United States Geological Survey.
- G. Where excavation is planned beneath or adjacent to inland surface waters in such manner that a permit is required from the New Hampshire Water Supply and Pollution Control Commission, the New Hampshire Water Resources Board, the New Hampshire Wetlands Board or other state, county or federal agencies with jurisdiction over the premises, except that the Planning Board may approve the application only after all such other necessary permits have been obtained.
- H. Where the project cannot comply with the restoration provisions of § 200-7.

Concerning compliance with §200-5 (G), I would make the following observation. First, it does appear as if the excavation activity is more than 50 feet away from the indicated wetlands #8 and #9. Thus, the Excavation Permit complies with §334-33 of the Hudson Zoning Ordinance, Wetlands Conversation District. It also appears that the excavation activity will comply with RSA 155-E:4-a (II)-a. Section 200-5 (G) of the Excavation of Soil Regulations also requires that the applicant have all necessary other permits. The permits provided by Brox Industries include the previously mentioned New Hampshire Natural Heritage Bureau Assessment and the Alteration of Terrain Permit WPS-7562. I would note that although the Alteration of Terrain Permit was issued on July 24, 2006, I have verified that since particular Alteration of Terrain Permit is associated with the ongoing excavation or mining of materials from the earth, it does not expire for the life of the project identified in the Permit Application.

Concerning compliance with §200-6 of the Excavation of Soil Regulations, the applicant has noted on sheet 1 of 5, note 9, that all of these requirements listed as ¶A, B, and C, are specifically enumerated as conditions on the Plan. With regards to compliance with §200-7 of the Excavation of Soil Regulations, concerning restoration, the applicant has incorporated these provisions by reference as noted on note 10, on pg. 1 of 5 of the Plan Application document. The applicant has also added as a note on the Plan that if

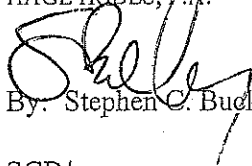
John Cashell, Town Planner  
Town of Hudson  
October 16, 2012  
Page 3 of 3

there is a change to the scope of the project and the necessity for an amendment arises, the applicant has included by reference the requirements of §200-8 of the Excavation of Soil Regulations.

The one thing that was not provided in the materials that I have been asked to review is whether or not the applicant has submitted the necessary bond or other surety that was to be computed by the Town Engineer. This is a prerequisite before the Permit becomes issuable in final form.

This completes my review and therefore, I can certify pursuant to §200-10 of the Excavation of Soil Regulations that the documents are in proper form.

Very truly yours,  
HAGE HODES, P. A.



By: Stephen C. Buckley, Esquire

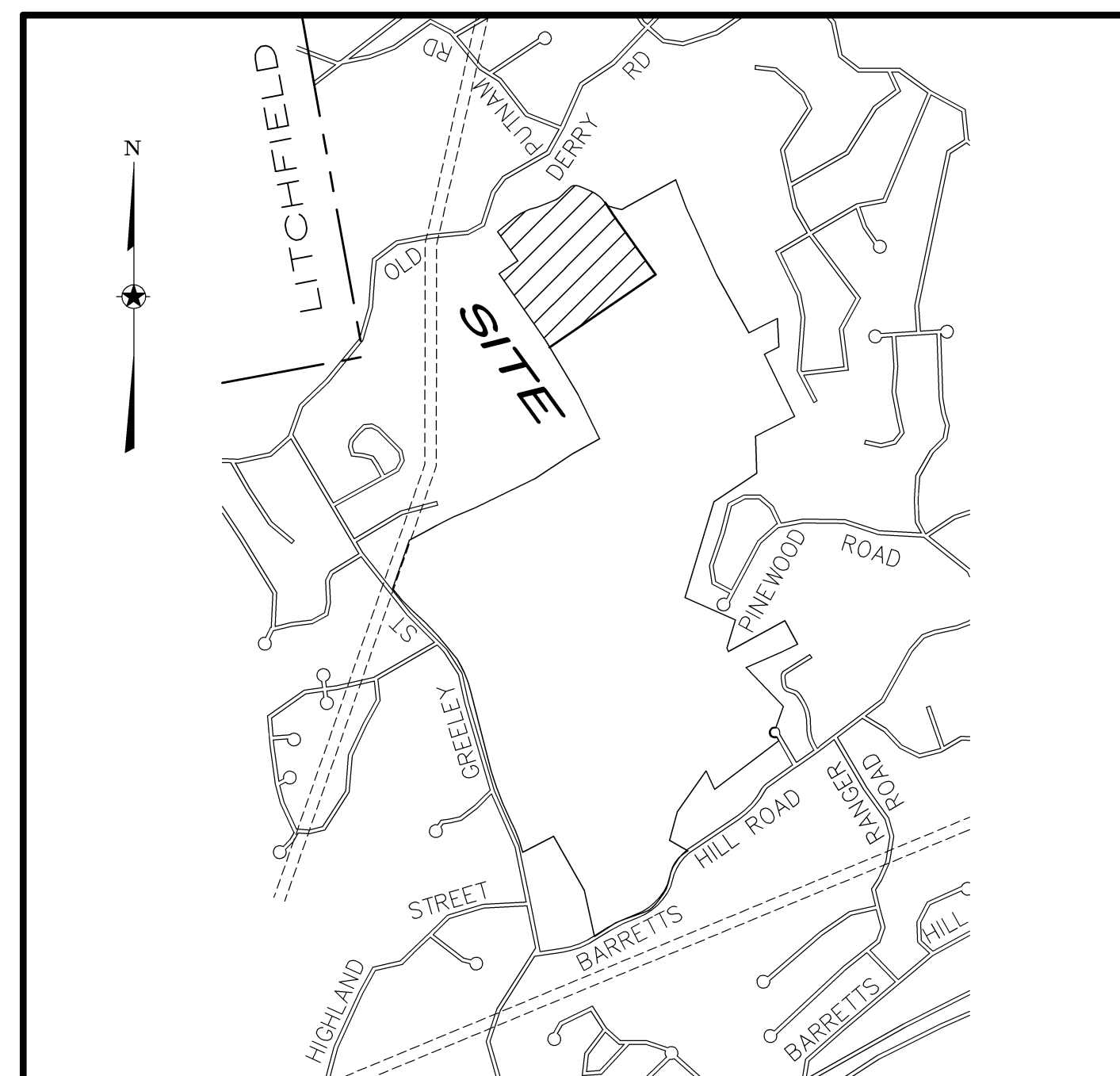
SCB/cg

cc: Hudson Planning Board

SITE PLAN  
MAP 115 LOT 5

# PROPOSED EARTH EXCAVATION

85 GREELEY STREET  
 HUDSON, NEW HAMPSHIRE



VICINITY PLAN

PREPARED FOR/RECORD OWNER

## BROX INDUSTRIES, INC.

1471 METHUEN STREET  
 DRACUT, MASSACHUSETTS 01826

5 JULY 2012

REVISED  
 10 AUGUST 2012

PRELIMINARY  
 NOT FOR CONSTRUCTION

INDEX OF PLANS

SHEET No.	TITLE	
1 OF 5	MASTER EXCAVATION PLAN	1" = 120'
2-3 OF 5	EXISTING CONDITIONS PLAN	1" = 60'
4 OF 5	EXCAVATION PLAN	1" = 60'
5 OF 5	RECLAMATION PLAN	1"=60'

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD  
 DATE OF MEETING: \_\_\_\_\_

\_\_\_\_\_  
 SIGNATURE DATE

\_\_\_\_\_  
 SIGNATURE DATE

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

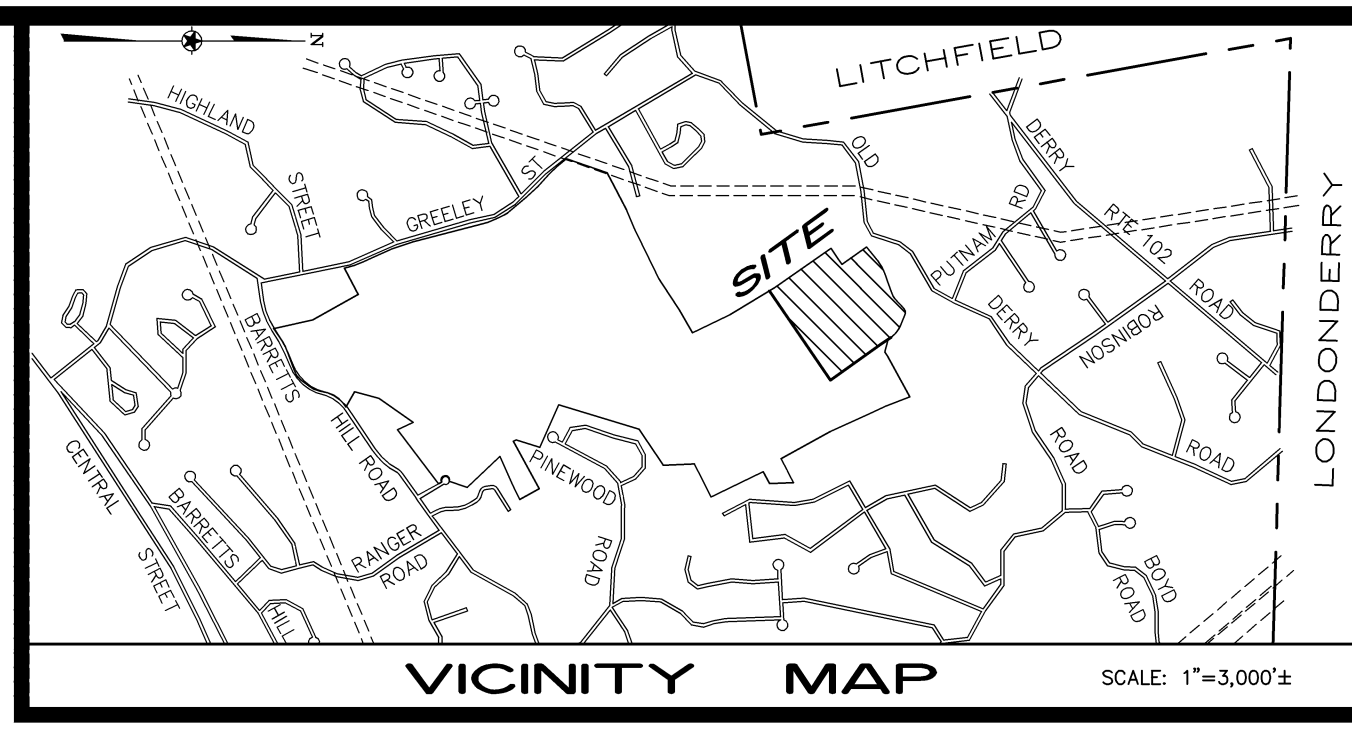
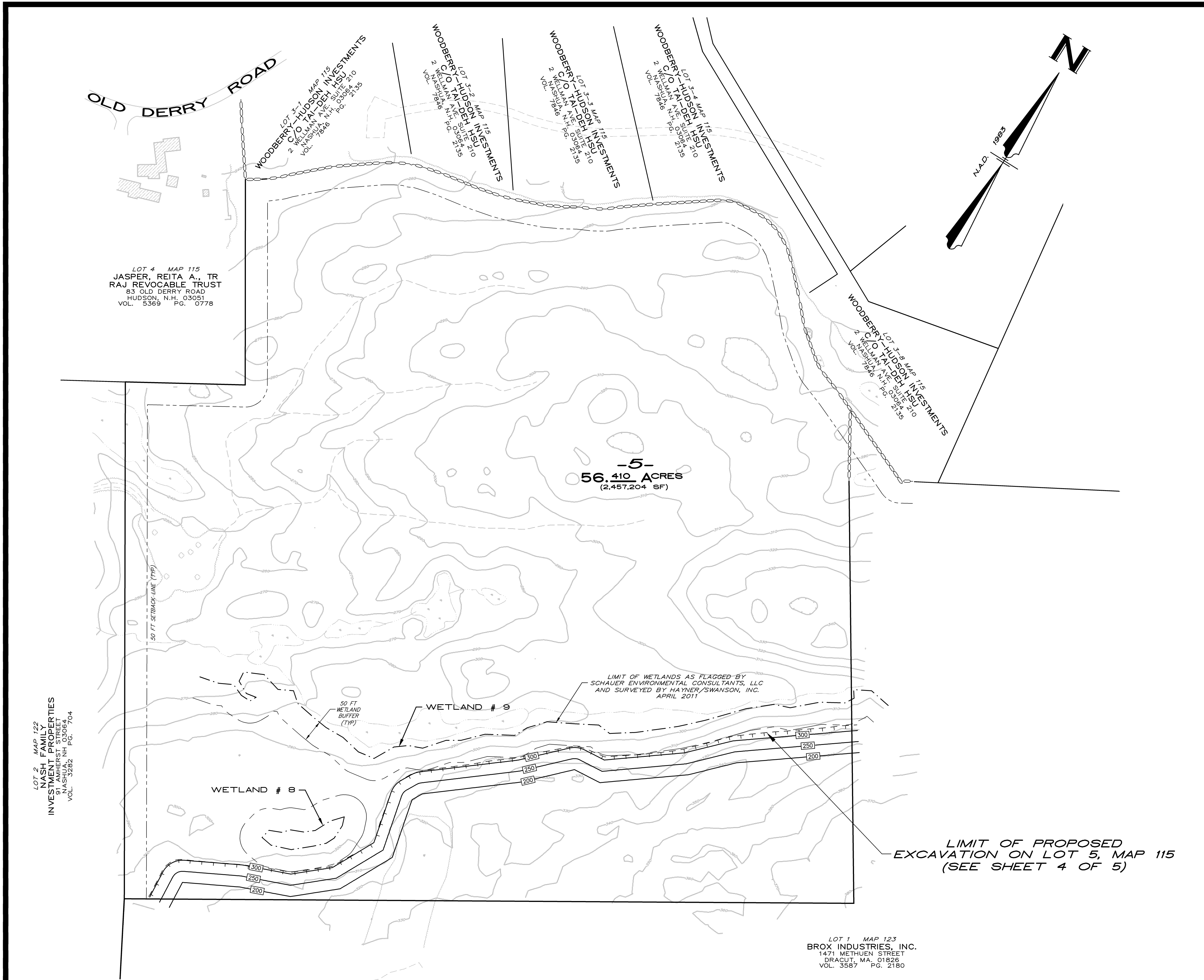
 **HSI** Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors

Three Congress Street Nashua, New Hampshire 03062-3301

Tel (603) 883-2057 Fax (603) 883-5057

www.hayner-swanson.com



**PLAN REFERENCE:**

- BOUNDARY PLAN (LOT 5, MAP 115), 99R OLD DERRY ROAD, HUDSON, NH, PREPARED FOR/RECORD OWNER: BROX INDUSTRIES, INC., SCALE: 1" = 60', DATED 14 JULY 2011 AND PREPARED BY THIS OFFICE. RECORDED: HCRD PLAN No. 37145.

**NOTES:**

- TOTAL SITE AREA: LOT 5-1 MAP 115 56.410 ACRES (2,457,204 SF)
- PRESENT ZONING: GENERAL-1; (G-1)
- FOR DETAILED BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION, SEE SHEETS 2 & 3 OF 5
- PURPOSE OF PLAN: TO SHOW LIMITS OF EXCAVATION AND RECLAMATION OF LOT 5, MAP 115.
- THE PARCEL IS NOT LOCATED IN ANY SPECIAL FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, CITY OF NASHUA, NEW HAMPSHIRE, COMMUNITY No. 330097, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, PANEL NUMBER: 3300970075 C, DATED: JULY 3, 2002.
- NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES SITE SPECIFIC PERMIT No.: WPS-7562
- ABUTTING BUILDINGS AND DRIVEWAYS WITHIN 200 FEET OF PROPERTY SHOWN FROM AERIAL PHOTOGRAPHS.
- THIS EXCAVATION PERMIT APPLICATION DOES NOT INCLUDE ACTIVITIES THAT WOULD PRECLUDE THE PLANNING BOARD FROM APPROVING THIS EXCAVATION PERMIT, AS PRESCRIBED IN SECTION 200-5 OF THE PLANNING BOARD'S EXCAVATION OF SOIL REGULATIONS.
- THE PERMIT APPLICATION SHALL COMPLY WITH THE GENERAL CONDITIONS OF SECTION 200-6 OF THE PLANNING BOARD'S EXCAVATION OF SOILS REGULATIONS AS FOLLOWS:
  - ALL ORIGINAL TOPSOIL SHALL BE STOCKPILED ON THE SITE AND SPREAD ON THE FINAL SLOPES. NO ORIGINAL TOPSOIL, INCLUDING LOAM, MAY BE REMOVED FROM THE SITE, UNLESS WRITTEN PERMISSION THEREFOR IS GIVEN BY THE PLANNING BOARD.
  - INTERIM, I.E. DAILY, SLOPES SHALL NOT BE LEFT STEEPER THAN THREE TO ONE (3:1), UNLESS WRITTEN PERMISSION IS OBTAINED FROM THE TOWN ENGINEER, WHO MAY REQUIRE SPECIFIC SOILS DATA TO BE OBTAINED AT THE EXPENSE OF THE OWNER.
  - HOURS OF EXCAVATING OR REMOVAL SHALL BE LIMITED, SUCH THAT NO WORK SHALL TAKE PLACE PRIOR TO 7:00 AM, AFTER 7:00 PM OR ON SUNDAYS OR HOLIDAYS.
- THE PERMIT APPLICATION SHALL COMPLY WITH THE MINIMUM CONDITIONS SET FORTH IN SECTION 200-7 OF THE EXCAVATION OF SOILS REGULATIONS.
- AMENDMENT OF PERMIT: WHEN THE SCOPE OF A PROJECT FOR WHICH AN EXCAVATION PERMIT HAS BEEN ISSUED IS PROPOSED TO BE ALTERED SO AS TO AFFECT EITHER THE SIZE OR LOCATION OF THE EXCAVATION, THE RATE OF REMOVAL OR THE PLAN FOR RESTORATION, THE OWNER SHALL SUBMIT AN APPLICATION FOR AMENDMENT OF HIS EXCAVATION PERMIT, WHICH APPLICATION SHALL BE SUBJECT TO APPROVAL IN THE SAME MANNER AS PROVIDED FOR AN ORIGINAL EXCAVATION PERMIT.
- THIS EXCAVATION PERMIT SHALL EXPIRE 5 YEARS FROM THE DATE OF FINAL APPROVAL DATE: \_\_\_\_\_
- PRESENT OWNER OF RECORD: MAP 115, LOT 5 BROX INDUSTRIES, INC. 1471 METHUEN STREET DRACUT, MASSACHUSETTS 01826 VOL 6446, PG 2212

**LEGEND**

- 100 — EXISTING GROUND CONTOUR
- +100.5 EXISTING SPOT ELEVATION
- 100 — PROPOSED GRADE
- +100.5 PROPOSED SPOT GRADE
- — — TREE LINE
- ▣ NHHB N.H. HIGHWAY BOUND
- ▣ SB STONE BOUND
- I.PIN IRON PIN
- I.PIPE IRON PIPE
- ○ ○ ○ ○ DRILL HOLE & STONE WALL
- STONE BOUND TO BE SET
- IRON PIN TO BE SET

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD  
DATE OF MEETING: \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE DATE

\_\_\_\_\_  
SIGNATURE DATE

SITE PLANS ARE VALID FOR ONE YEAR FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN ACHIEVES FINAL APPROVAL.

**\* ZONING NOTE \***

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

LOT 1 MAP 123  
BROX INDUSTRIES, INC.  
1471 METHUEN STREET  
DRACUT, MA. 01826  
VOL. 3587 PG. 2180

*Ed Swanson*  
FOR BROX INDUSTRIES, INC.

8/17/12  
DATE

**PRELIMINARY NOT FOR CONSTRUCTION**

No.	DATE	REVISION	BY
1	08/10/12	ADD NOTES 8-12	EDB

SCALE: 1" = 3,000' ±

120 0 120 240 360 FEET

PREPARED FOR/RECORD OWNER:  
**BROX INDUSTRIES, INC.**  
1471 METHUEN STREET  
DRACUT, MASSACHUSETTS 01826

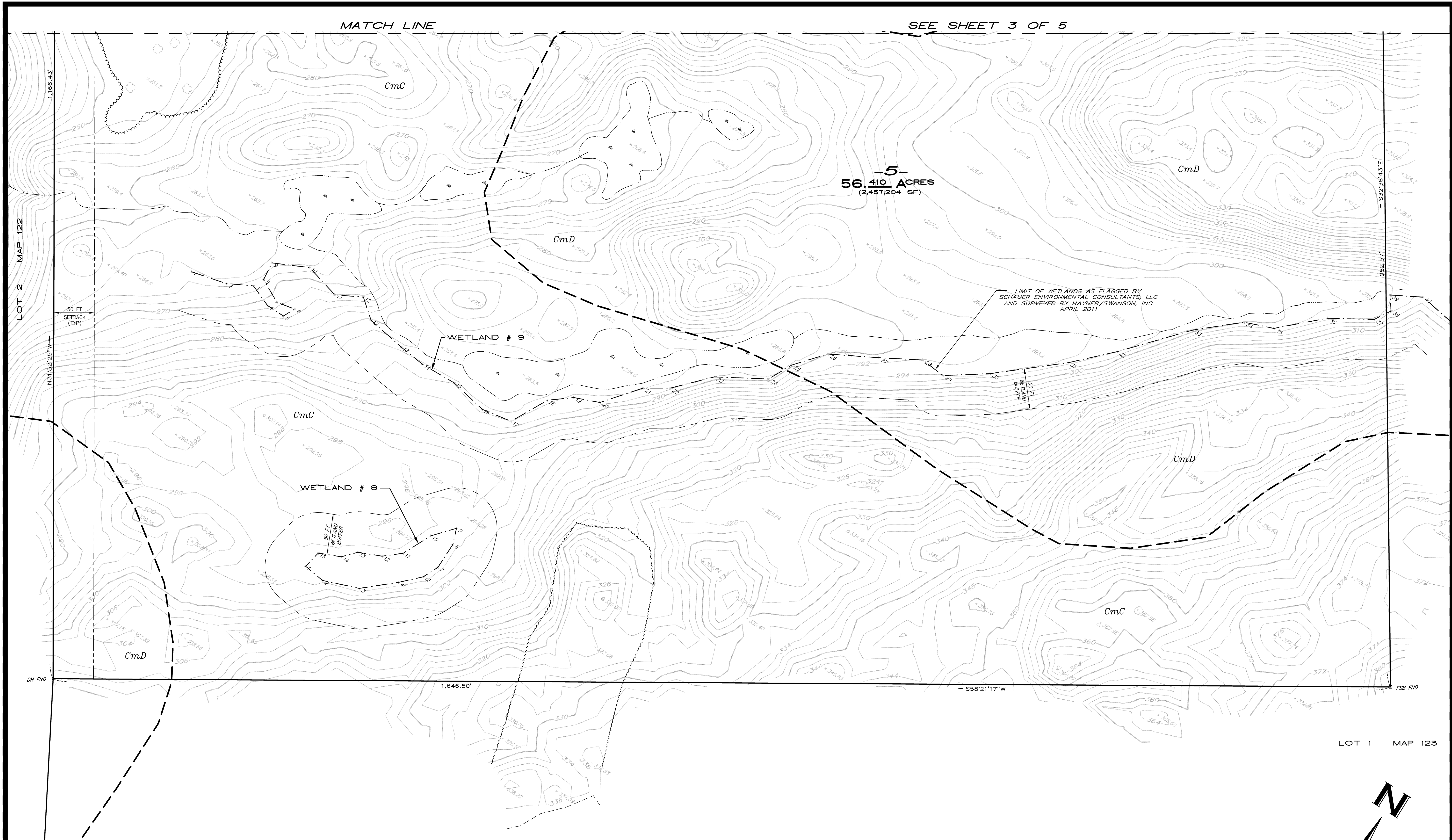
MASTER EXCAVATION PLAN  
(LOT 5, MAP 115)

**PROPOSED EARTH EXCAVATION**

85 GREELEY STREET  
HUDSON, NEW HAMPSHIRE

**HISI** Hayner/Swanson, Inc.  
Civil Engineers/Land Surveyors  
Three Congress Street, Nashua, New Hampshire 03062-3307  
Tel: (603) 883-2057 Fax: (603) 883-5057  
www.hisinc.com  
www.hisinc@swanson.com

FIELD BOOK: 1179 DWS LOCATION: 0814283\DWG\4283.B  
DRAWING NAME: 4283B-F0120 Scale: 1" = 120'  
1 OF 5 4283B Date: 8 JULY 2012  
Ed Swanson



-5-  
**56.410 ACRES**  
 (2,457,204 SF)

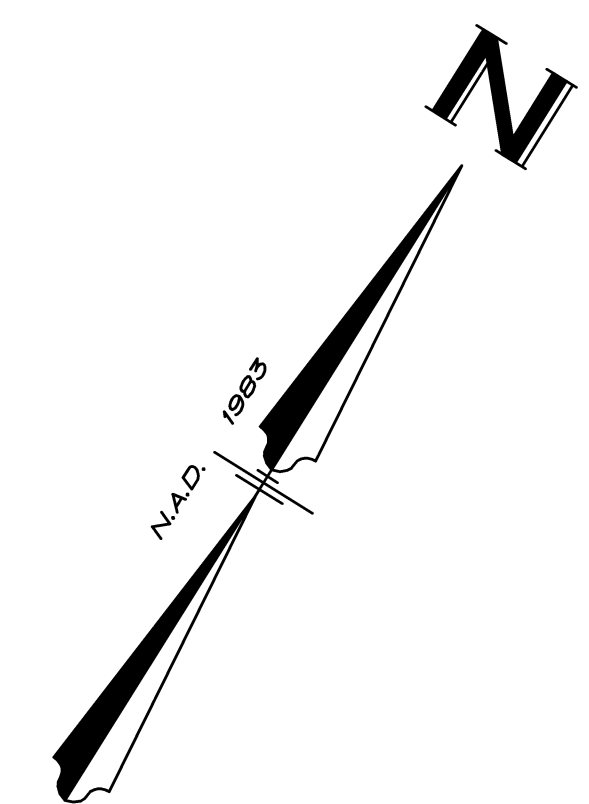
LIMIT OF WETLANDS AS FLAGGED BY  
 SCHAUER ENVIRONMENTAL CONSULTANTS, LLC  
 AND SURVEYED BY HAYNER/SWANSON, INC.  
 APRIL 2011

SOILS DATA	
SOILS INFORMATION SHOWN HAS BEEN EXPANDED FROM THE 1981 SOIL SURVEY REPORT MADE AT A SCALE OF 1"=1667'.	
CmC	CANTON STONY FINE SANDY LOAM 0-15% SLOPES
CmD	CANTON STONY FINE SANDY LOAM 15-25% SLOPES
--- SOIL BOUNDARY	

THIS PLAN DEPICTS A SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION IN APRIL 2011 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE CITY/TOWN WITHIN WHICH IT IS LOCATED. THE SURVEY WAS PERFORMED AS AN URBAN STANDARD PROPERTY SURVEY, AS DEFINED IN THE NH CODE OF ADMINISTRATIVE RULES, (CATEGORY 1, CONDITION 1, NHLSA STANDARDS) WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 15,000.

8/10/12  
 DATE

NO. 1854  
 MATTHEW A. LANDRY  
 SURVEYOR



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD  
 DATE OF MEETING: \_\_\_\_\_  
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\_\_\_\_\_  
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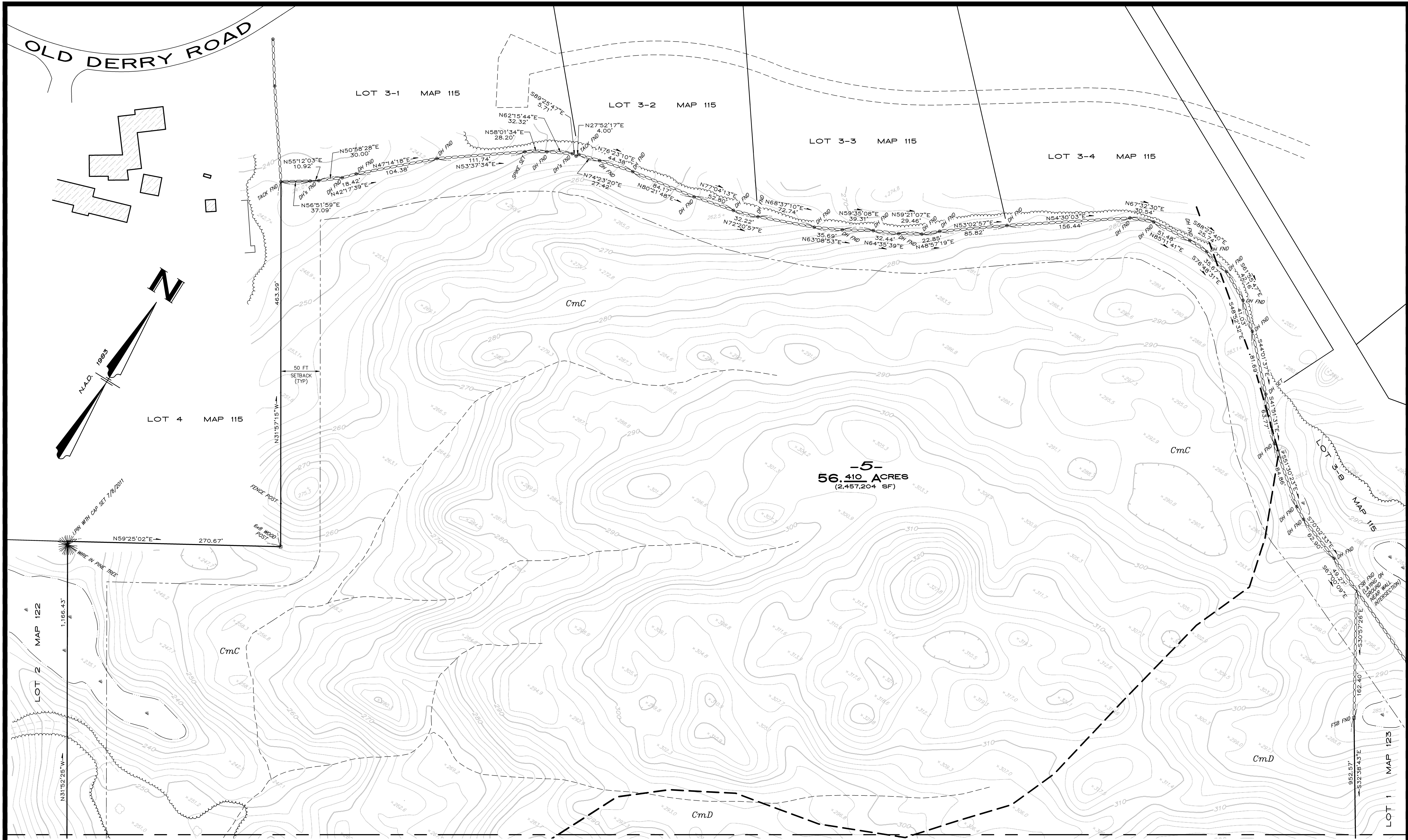
<b>PRELIMINARY</b> NOT FOR CONSTRUCTION			
No.	DATE	REVISION	BY
1	08/10/12	DATE ONLY	EDB
			60 0 60 120 180 FEET

PREPARED FOR/RECORD OWNER:  
**BROX INDUSTRIES, INC.**  
 1471 METHUEN STREET  
 DRACUT, MASSACHUSETTS 01926

EXISTING CONDITIONS SITE PLAN  
 (LOT 5, MAP 115)  
**PROPOSED EARTH EXCAVATION**  
 85 GREELEY STREET  
 HUDSON, NEW HAMPSHIRE

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 www.hsi-haynerswanson.com

FIELD BOOK: 1179 DWS LOCATION: 04283A\DWG\4283.B  
 DRAWING NAME: 4283B-EDB1  
 2 OF 5  
 4283B  
 5 JULY 2012



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM THE DATE OF APPROVAL.

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NEW STATE OF MASSACHUSETTS  
 No. 854  
 MATTHEW A. ANDREY  
 8/10/12

**PRELIMINARY**  
NOT FOR CONSTRUCTION

No.	DATE	REVISION	BY
1	08/10/12	DATE ONLY	EDB

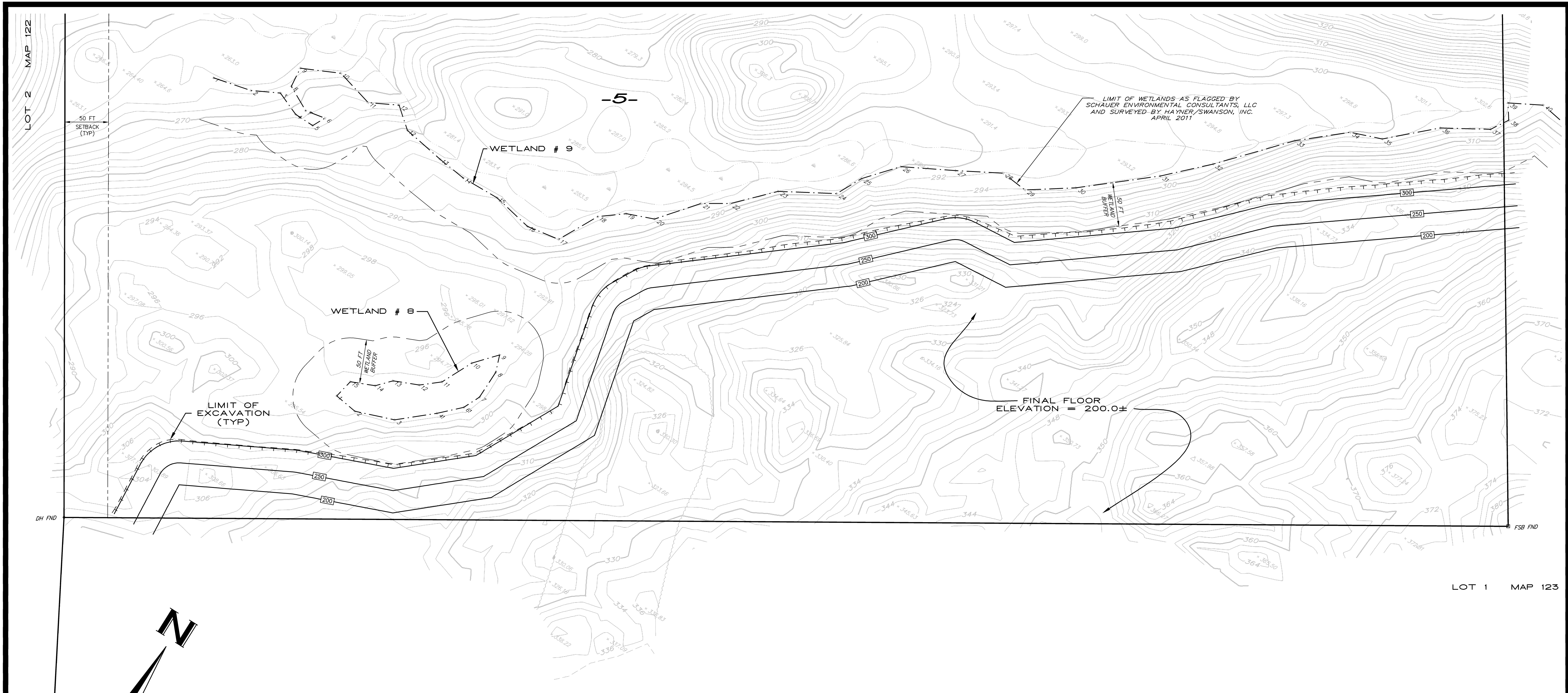
Scale: 1" = 60'  
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PREPARED FOR/RECORD OWNER:  
**BROX INDUSTRIES, INC.**  
 1471 METHUEN STREET  
 DRACUT, MASSACHUSETTS 01826

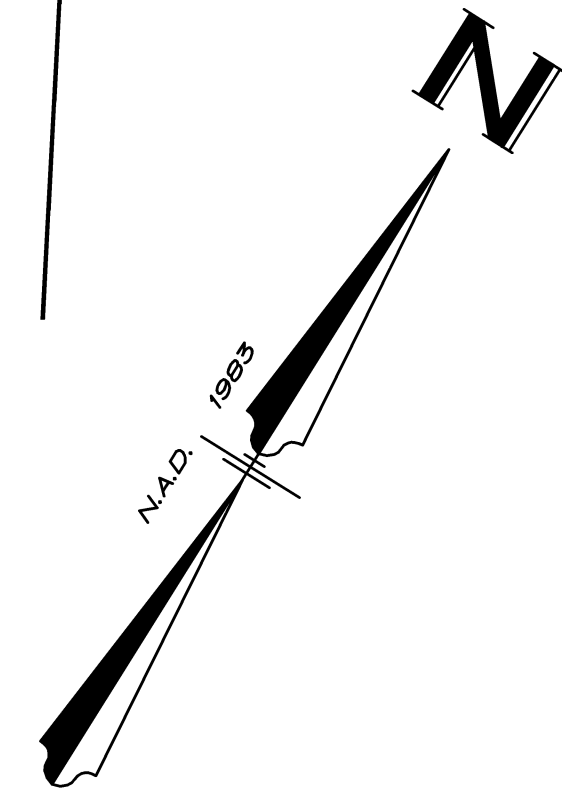
EXISTING CONDITIONS SITE PLAN  
 (LOT 5, MAP 115)  
**PROPOSED EARTH EXCAVATION**  
 85 GREELEY STREET  
 HUDSON, NEW HAMPSHIRE

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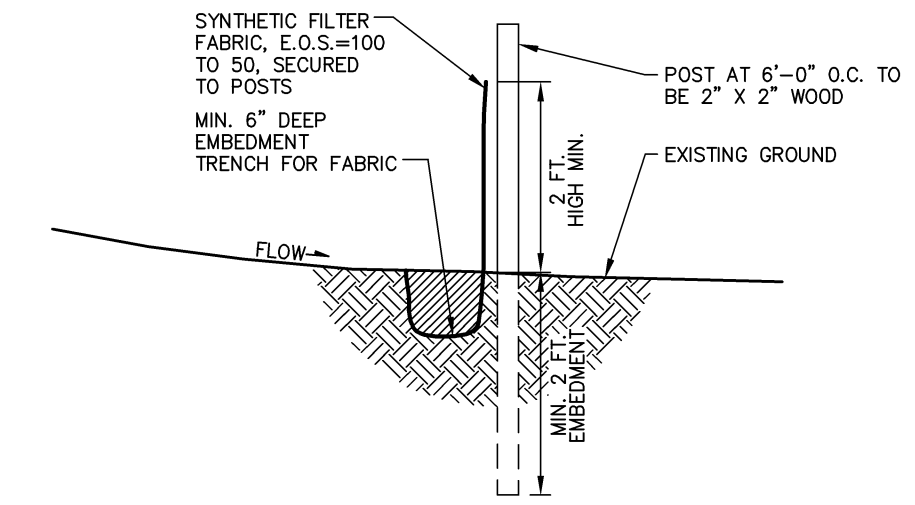
FIELD BOOK: 1179 DWS LOCATION: 051283\DWG\283.B  
 Scale: 1" = 60'  
 3 OF 5 4283B Date: 8/10/12  
 5 JULY 2012



LOT 1 MAP 123



**NOTE**  
SILT FENCE TO BE INSTALLED AT WETLAND BUFFER ADJACENT TO WORK AREAS WITHIN 100 FEET



**SILT FENCE DETAIL**  
NOT TO SCALE

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\_\_\_\_\_  
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\_\_\_\_\_  
SIGNATURE DATE

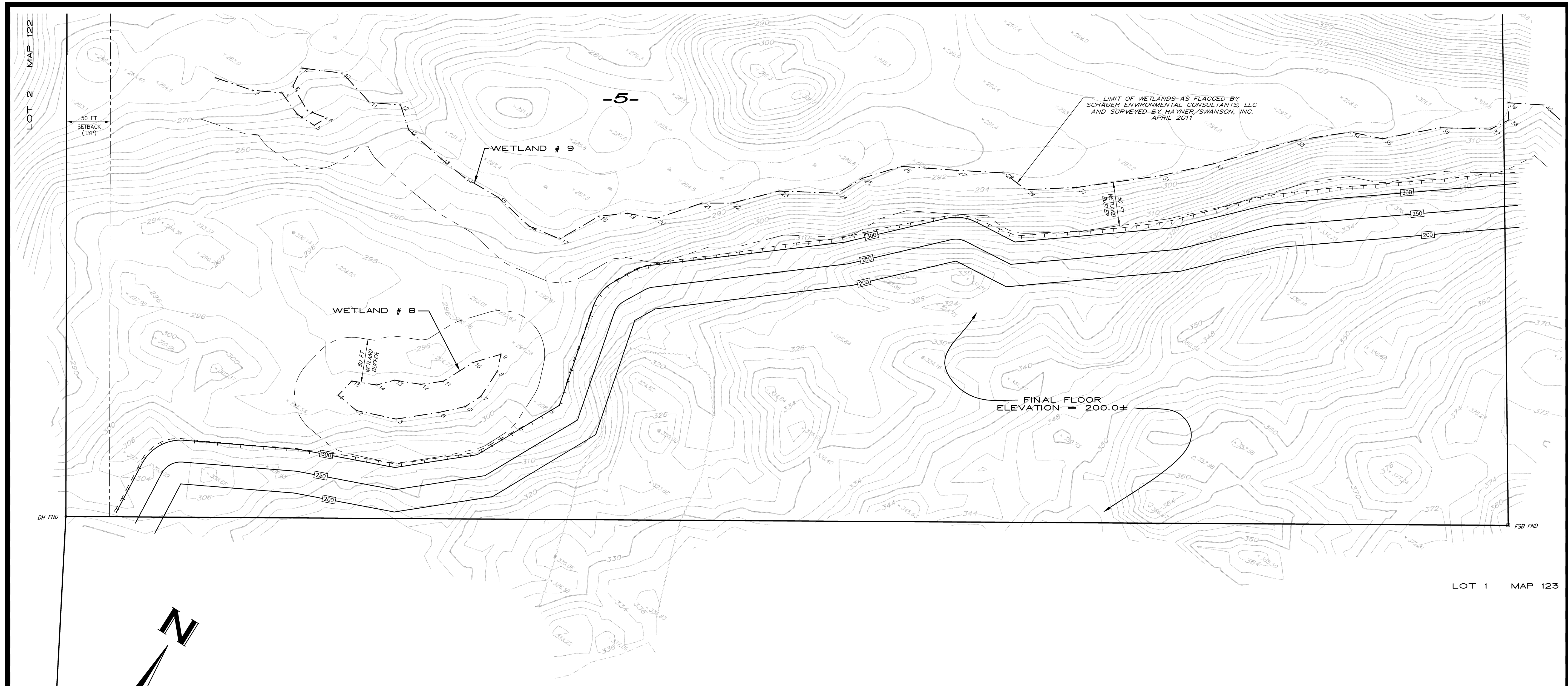
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<b>PRELIMINARY</b>	
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No.	1
DATE	08/10/12
DATE ONLY	
REVISION	
BY	EDB
DATE	
60 0 60 120 180 FEET	

PREPARED FOR/RECORD OWNER:  
**BROX INDUSTRIES, INC.**  
1471 METHUEN STREET DRACUT, MASSACHUSETTS 01926

EXCAVATION PLAN  
(LOT 5, MAP 115)  
**PROPOSED EARTH EXCAVATION**  
85 GREELEY STREET  
HUDSON, NEW HAMPSHIRE

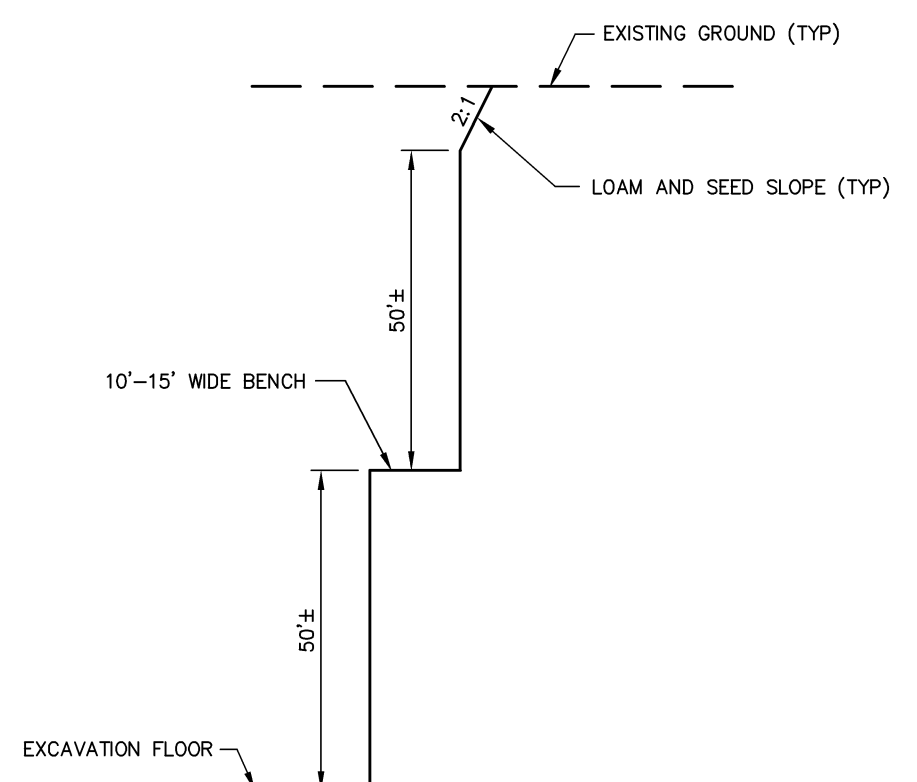
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Three Congress Street Nashua, New Hampshire Fax (603) 883-5057  
www.hisw.com  
FIELD BOOK: 1179 DWS LOCATION: 04283B-F081 Scale: 1" = 60'  
DRAWING NAME: 4283B Date: 5 JULY 2012  
4 OF 5



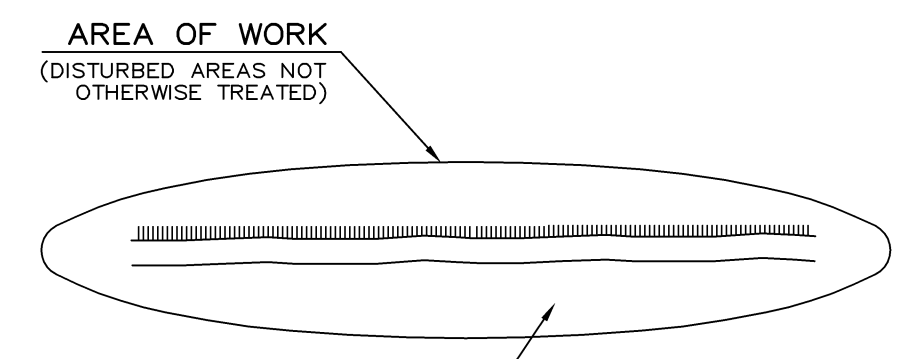
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 \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_  
 \_\_\_\_\_ SIGNATURE DATE \_\_\_\_\_

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TYPICAL ROCK EXCAVATION SECTION  
 NOT TO SCALE



NHDOT ITEM	DESCRIPTION
641.06	4" LOAM
642.	LIMESTONE
643.11	FERTILIZER
644.44	SLOPE SEED TYPE 44
OR 644.15	PARK SEED TYPE 15
645.1	MULCH

APPLICATION RATES  
 SEED: 60 LB./ACRE  
 FERTILIZER: 20 LB./1000 S.F. (10-10-10)  
 LIMESTONE: (PER NHDOT)  
 MULCH: 3 TONS/ACRE

LOAM AND SEED DETAIL  
 NOT TO SCALE

PRELIMINARY  
 NOT FOR CONSTRUCTION

No.	DATE	REVISION	BY
1	08/10/12	DATE ONLY	EDB

60 0 60 120 180 FEET

PREPARED FOR/RECORD OWNER:  
**BROX INDUSTRIES, INC.**  
 1471 METHUEN STREET DRACUT, MASSACHUSETTS 01926

RECLAMATION PLAN  
 (LOT 5, MAP 115)  
**PROPOSED EARTH EXCAVATION**  
 85 GREELEY STREET  
 HUDSON, NEW HAMPSHIRE

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 Three Congress Street Nashua, New Hampshire Tel (603) 883-2057 Fax (603) 883-5057  
 www.haynerswanson.com  
 FIELD BOOK: 1179 DWS LOCATION: 042835\FB02 42835 B  
 DRAWING NAME: 42835 Date: 5 JULY 2012  
 5 OF 5 42835 Date: 5 JULY 2012  
 Scale: 1" = 60'