

8 INDUSTRIAL DRIVE ADDITION

SP# 05-23

STAFF REPORT #2

September 27, 2023

(See August 23, 2023 report for prior comments)

SITE: 8 Industrial Drive, Map 161 Lot 041

ZONING: Industrial

PURPOSE OF PLAN: To show a proposed 4,200 SF automotive addition and access at back of property.

PLANS UNDER REVIEW:

8 Industrial Drive / Site Plan Amendment, Map 161 Lot 41, 8 Industrial Drive, Hudson, New Hampshire; prepared by: Bedford Design Consultants, Inc. 592 Harvey Road, Manchester, NH 03103; prepared for: MDP Realty Associates, LLC, 9 Old Derry Road, Hudson, NH; consisting of 6 sheets and general notes 1-14 on Sheet 1; dated May 22, 2023; last revised September 12, 2023.

ATTACHMENTS:

- A. Manmade Wetlands Review Package – Received September 12, 2023
- B. CAP Fee worksheet (updated)

APPLICATION TRACKING:

- May 30, 2023 – Application received.
- August 23, 2023 – Application accepted, public hearing held & continued.
- September 27, 2023 – Public hearing scheduled.

COMMENTS & RECOMMENDATIONS:

BACKGROUND

The site is approximately 6.106 acres and is located in the Industrial zone. There is an existing 77,921 SF building on the site that is currently used for manufacturing and warehousing. The site is served by municipal water and sewer. It is not in a flood zone. There is a wetland on the northwest edge of the site, along the Route 111 right of way, that the Applicant identifies as a man-made wetland and therefore not subject to the Wetlands Conservation Overlay District. The applicant proposes building a 5,000 SF addition that would be along the southwest edge of the building, near the Route 111 right of way. The addition would be accessed by a 20' wide gravel driveway to be constructed between the existing building and the Route 111 right of way. The Applicant plans to use the addition for the storage of equipment and vehicles.

MANMADE WETLANDS REVIEW

The applicant has provided a historical and environmental review of the wetlands adjacent to the property line for the parcel. The review, conducted by Peak Environmental Consulting & Permitting, concluded that the wetlands were man-made due to the construction of route 111 and prior approved construction done at 8 industrial drive. In addition, the report provides historical aerials of the site, showing the development of the wetland over the course of years after the construction of route 111. Man-made wetlands for drainage related to construction are exempt from such requirements per §334-35.C.

SITE PLAN REVISIONS

The applicant has supplied a revised site plan updating several items per the prior hearing for the application. The use has been clarified and updated in Note #3 as storage of vehicles and equipment. The status of requested waivers has been recorded in note #10, although the waiver for minimum parking requirements is missing and will need to be added prior to final site plan. Additionally, the plan has also been stamped by a surveyor, meeting the requirements that the applicant requested be waived at the last hearing.

WAIVERS REQUESTED

The following waivers were requested at the prior meeting for the application, with all but waiver #4 to waive requirements for a Licensed Land Surveyor Stamp passing. Additionally, the application was determined to not be a development of regional impact.

1. Waiver for Parking Lot Landscaping, 275-8.C.(7), to not require any additional landscaping where landscaping would typically be required. The Applicant states that there is no additional parking proposed, the addition is located at the back of the property and is screened by plantings along the Route 111 Right of Way.
2. Waiver for Benchmarks on Plan, 276-11.1.B.(17), to not require location of benchmarks when they are typically required. The applicant states that the existing building will serve as the benchmark.
3. Waiver for Minimum Parking Requirements, 275-8.(g), to have 48 spaces on site, as opposed to the 142 required by regulation. The Applicant states that the existing parking is adequate, and that the new addition will be for the Owner's use only, and will not be used for retail.
4. Waiver for Licensed Land Surveyor Stamp, 276-11.1.B.(9), to not require a surveyor stamp where one is typically required. The Applicant states that the proposed addition is not within the Town's building setbacks and the Overview Sheet shows pertinent boundary information and bearings and distances.

DRAFT MOTIONS

APPROVE the site plan application:

I move to approve the site plan application for the 8 Industrial Drive / Site Plan Amendment, Map 161 Lot 41, 8 Industrial Drive, Hudson, New Hampshire; prepared by: Bedford Design Consultants, Inc. 592 Harvey Road, Manchester, NH 03103; prepared for: MDP Realty Associates, LLC, 9 Old Derry Road, Hudson, NH; consisting of 5 sheets and general notes 1-14 on Sheet 1; dated May 22, 2023; last revised August 7, 2023; subject to, and revised per, the following stipulations:

1. All stipulations of approval shall be incorporated into the Notice of Decision, which shall be recorded at the HCRD, together with the Plan.
2. A cost allocation procedure (CAP) amount of \$4,000 shall be paid prior to the issuance of a Certificate of Occupancy.
3. Prior to the issuance of a final certificate of occupancy, an L.L.S. Certified “as-built” site plan shall be provided to the Town of Hudson Land Use Division confirming that the development conforms to the Plan approved by the Planning Board.
4. Prior to the Planning Board endorsement of the Plan, it shall be subject to final administrative review by Town Planner and Town Engineer.
5. The approval shall be for the storage of vehicles and equipment. Any other use shall be subject to site plan approval by the Planning Board.
6. Prior to application for a building permit, the Applicant shall schedule a pre-construction meeting with the Town Engineer.
7. Construction activities involving the subject lot shall be limited to the hours between 7:00 A.M. and 7:00 P.M. No exterior construction activities shall be allowed on Sundays.
8. Hours of refuse removal shall be exclusive to the hours between 7:00 A.M. and 7:00 P.M., Monday through Friday only.

Motion by: _____ Second: _____ Carried/Failed: _____

Bedford Design Consultants Inc.
ENGINEERS AND SURVEYORS

592 Harvey Road Manchester, NH 03103
Telephone: (603) 622-5533 • www.bedforddesign.com

September 12, 2023

Hudson Planning Board
Town of Hudson
12 School St
Hudson, NH 03051

RE: Manmade Wetlands Review
Map 161 Lot 41
8 Industrial Drive
Hudson, NH 03051

Members of the Board,

Bedford Design has reviewed historic photos of Rout 111 and Industrial Drive to help determine the date of the formation of the wetland ditch along out property line. Attached are several Aerial Photos showing the land from 1965, 1974 and a current photo from the fall (this shows the ditch in greater detail).

Below is a Table of Contents starting from the most recent information to the oldest.

1. NHDES Env-Wt 308.01(b)(1) and (2).
States they have no jurisdiction over manmade ditches
2. Stamped Letter from Wetland Scientist
States that the wetlands are manmade
3. 2018 Aerial Photo
The photo is shown from the fall of 2018 to better see the ditch line. The ditch starts on the North side of 111 and crosses under the road to our side where the water flows to the east past the businesses and into the large pond on Park Ave.
4. 1985 USGS Map
This shows the contours and the location of the ditch

5. 1974 Aerial Photo

Industrial Drive is relatively new with new water bodies very apparent and our facility is shown. The dark line along Rout 111 is from the filling of the land to create a ditch.

6. 1965 Aerial Photo

Route 111 is shown, but Industrial Drive is not yet built. There are fields in the areas that will later become water bodies. A gravel drive is shown along a neighboring property on 111 this is where there is now an existing ditch line.

Based on the aerial photos, the creation of Industrial Drive and the leveling of the surrounding area created the ditch. Before the road was built, there were fields with no evidence of the existing ponds or drainage patterns shown along the south of Industrial Drive and Park Ave areas.

Sincerely,

Bedford Design Consultants, Inc.

A handwritten signature in black ink, appearing to read "Katherine A. Weiss". The signature is written in a cursive, flowing style.

Katherine A. Weiss, PLA, ASLA
Project Manager

All rules effective 12-15-19 unless otherwise noted

Rules as amended through 03-30-21 13

- (1) Is not covered by an SPN under Env-Wt 308, a registration under Env-Wt 309, or an SMMD permit under Env-Wt 310.04 through Env-Wt 310.09;
 - (2) Is in an area that is subject to the jurisdiction of the federal Clean Water Act for which an LSA, EXP, or standard permit has not been obtained; or
 - (3) Causes impacts to jurisdictional areas that are not authorized by an SPN, registration, LSA, EXP, SMMD permit, or standard permit;
- (b) Any work that is subject to an LSA, EXP, SMMD permit, or standard permit that is carried out prior to receiving the applicable authorization; and
- (c) Any work that is subject to an SPN that does not comply with all requirements for the SPN.

Env-Wt 307.18 Reports. The following plans and reports shall be submitted to the department, where applicable:

- (a) Compensatory mitigation project monitoring reports in accordance with Env-Wt 803.04;
- (b) A construction monitoring plan with inspection reports, water quality reports, and a wetland planting plan prepared by a CPESC specialist or certified wetland scientist;
- (c) A report that describes the monitoring conducted and date(s) of inspections, and includes photos showing the extent of jurisdictional impacts, areas of restoration, and progress of any plantings;
- (d) A report that describes the stability of and status of stream or wetland systems, including a description of any necessary adjustments; and
- (e) A schedule and description of measures to be taken during construction and after completion of the project.

PART Env-Wt 308 ACTIVITIES ALLOWED OR PROHIBITED BY STATUTE

Env-Wt 308.01 Activities Exempted By Statute from Permit Requirement. A permit under RSA 482-A shall not be required prior to undertaking any of the following activities in any jurisdictional area:

- (a) As specified in RSA 482-A:3, IV(a) and as clarified in Env-Wt 308.02(a) and (b), the replacement or repair of existing structures in or adjacent to any waters of the state that does not involve excavation, removal, filling, or dredging in any waters or of any bank, flat, marsh, or swamp;
- (b) As specified in RSA 482-A:3, IV(b) and subject to the conditions listed in Env-Wt 308.02(c), the maintenance, repair, replacement, or modification so as to preserve usefulness of:
 - (1) Man-made non-tidal drainage ditches;
 - (2) Roadside and railroad ditches;
 - (3) Detention basins, ponds, and wetlands that have been legally constructed to collect, convey, treat, or control storm water and spring run-off;
 - (4) Legally constructed ponds on active farms;
 - (5) Erosional features caused by proximate human activity;
 - (6) Fire ponds and intake areas of dry hydrants that have been legally constructed to provide water for municipal firefighting purposes as approved by a local fire chief; and
 - (7) Aggregate wash ponds, sluiceways, and other legally constructed man-made water conveyance systems that are used for the commercial or industrial purpose of collecting, conveying, storing, and recycling water;

(c) As specified in RSA 482-A:3, IV(c), the cleaning of legally constructed culverts as necessary to preserve their usefulness, provided:

- (1) The conditions stated in Env-Wt 308.02(c) are met; and
- (2) Any repair, replacement, or modification of a culvert is in accordance with RSA 482-A:3, XVI, reprinted in Appendix D;

(d) As specified in RSA 482-A:3, VII and as clarified in Env-Wt 308.02(d), the removal of sand that has blown or drifted onto any lawn, driveway, walkway, parking or storage area, or boat ramp, or that has blown or drifted in, on, or around buildings or other structures owned by the person;

(e) As provided in the definition of "structure" in RSA 482-A:2, IX, the construction or installation of a bench, a landing with dimensions no larger than 10 feet wide by 10 feet long, or stairs with a width not exceeding 6 feet, provided that:

- (1) The construction or installation is done without regrading or recontouring the shoreline; and
- (2) No portion of the bench, landing, or stairs is over water;

(f) As provided in RSA 482-A:3, XI(b), activities associated with the manual search for minerals in a river bed by panning, without the use of motorized equipment, provided that any person who intends to engage in any panning activity obtains prior written permission to engage in such activity from the riverbed landowner on whose property the activity is to be conducted, as required by RSA 482-A:3, XI(f); and

(g) As provided in RSA 210:9, II, the destruction or removal of a beaver dam or the installation of beaver pipes or beaver fences as defined in RSA 210:9, II-a by a landowner, the landowner's agent, or any town or municipal or state official or employee on property under that person's control to protect property, public highways, or bridges from damage or submersion, subject to the following conditions:

- (1) Removal of the dam shall be done in a gradual manner such that it does not allow a sudden release of impounded water so as to cause erosion, siltation, or a safety hazard downstream;
- (2) No machinery shall enter the water or otherwise create any disturbance by filling or dredging in or adjacent to surface waters, wetlands, or the banks thereof; and
- (3) All dredged materials shall be placed out of jurisdictional areas.

Env-Wt 308.02 Clarification of Statutory Exemptions.

(a) If a structure that will be repaired or replaced pursuant to RSA 482-A:3, IV(a) has a portion located below the water surface at time of such repair or replacement and the below-water portion will also be repaired or replaced, a permit shall be obtained prior to undertaking any work on the below-water portion.

(b) If a permit is required by (a), above, the applicant shall submit, with the application for the permit, proof that the structure the applicant is proposing to repair or replace is an existing legal structure as defined in Env-Wt 102.

(c) As specified in RSA 482-A:3, IV(b), the activities listed in Env-Wt 308.01(b), may be undertaken without a permit only if:

- (1) The exempted facility, area, or feature was not constructed as compensatory mitigation under a wetlands permit or as part of a settlement agreement;
- (2) The exempted facility, area, or feature is not extended into any jurisdictional area;
- (3) Dredged materials are deposited outside of all jurisdictional areas;
- (4) Wetlands or surface waters outside the limits of the exempted facility, area, or feature are not disturbed or degraded;



Environmental Consulting & Permitting

May 29, 2023

Hudson, NH Planning Board
12 School St
Hudson, NH 03051

**Re: 8 Industrial Drive
Hudson, MA**

Dear Planning Board:

Joshua Brien, NHCWS 256, has completed the site investigation that you requested on the above referenced parcel. These services were requested to determine if the wetland found alongside Central St and adjacent to the property line for this parcel was considered natural or may have been created during the construction activities for Central St and 8 Industrial Dr.

During our site visit it was noted that there was no direct connection via culvert or attachment to a known wetland system for this area. The resource as found today is located between a topographically elevated area of parking/ paved access to the rear of the existing structure at 8 Industrial Dr and the elevated roadway known as Central St in Hudson, NH. The drainage appears to have been man made during construction activities. Whereas both of the adjacent land forms have been elevated and drain storm water from the south side of Central St and the north side of the paved area of 8 Industrial Drive into this depression and then off-site easterly in a rather straight line.

It was our opinion during the site visit that this resource area was a result of human construction activities. Activities to direct storm water from both areas would be common place during construction activities. The elevated grades of the adjacent Central St and lands located at 8 Industrial Dr have been graded to direct surface water from the north and south into this depressed area. The characteristics found of the adjacent land forms lends itself to concur with this belief that the wetland was formed as a result of human activity.

If you have any further questions or concerns, please do not hesitate to contact me at (603) 496-8532 or via email at Peakenviro603@gmail.com

Sincerely,

Joshua M Brien
CWS 256



Environmental Planning & Permitting Soil & Wetland Investigations Septic Designs

170 King St, Boscaawen, NH 03303 Phone 603-496-8532

Email: peakenviro603@gmail.com

FALL 2018
Write a description for your map.

Legend
8 Industrial Dr



1985 USGS





Point of Reference

Filled Land Along Route 111

Point of Reference

SITE



Point of Reference

Point of Reference

Existing Gravel Road



TOWN OF HUDSON

Planning Department



12 School Street · Hudson, New Hampshire 03051 · Tel: 603-886-6008 · Fax: 603-594-1142

CAP FEE WORKSHEET - 2023

Date: 09-20-23 Zone # 2 Map/Lot: 161-041-000
8 Industrial Dr

Project Name: 8 Industrial Drive

Proposed ITE Use #1: Warehousing

Proposed Building Area (square footage): 5,000 S.F.

CAP FEES: (ONE CHECK NEEDED)

1.	(Bank 09) 2070-702	(\$0.80 x 5,000) Traffic Improve (Zone 2)	\$ <u>4,000.00</u>
		Total CAP Fee	\$ <u>4,000.00</u>

Check should be made payable to the Town of Hudson.

Thank you,
Brian Groth
Town Planner



*Town of Hudson
12 School Street
Hudson, NH 03501*

SITE PLAN APPLICATION

Revised August 1, 2022

The following information must be filed with the Planning Department *at the time of filing a site plan application*:

1. One (1) original completed application with original signatures, and one (1) copy.
2. Three (3) full plan sets (sheet size: 22" x 34").
3. One (1) original copy of the project narrative, and one (1) copy.
4. A list of direct abutters and a list of indirect abutters, and two (2) sets of mailing labels for abutter notifications.
5. All of the above application materials, including plans, shall also be submitted in electronic form as a PDF.
6. All plans shall be folded and all pertinent data shall be attached to the plans with an elastic band or other enclosure.

The following information is required to be filed with the Planning Department *no later than 10:00 A.M., Tuesday ONE WEEK prior to the scheduled Planning meeting. The purpose of these materials is hardcopy distribution to Planning Board members, not review. Any plan revisions that require staff review must be submitted no later than 10:00A.M., Tuesday TWO WEEKS prior to the scheduled Planning meeting. Depending on the complexity of changes, more time may be required for review. Please contact the Town Planner if you have any questions on this matter.*

1. Submission of fifteen (15) 11" X 17" plan sets, revised if applicable.
2. Submission of two (2) full plan sets (sheet size: 22" x 34"), if revised.
3. All of the above application materials, including plans, shall also be submitted in electronic form as a PDF.

Note: Prior to filing an application, it is recommended to schedule an appointment with the Town Planner.

SITE PLAN APPLICATION

Date of Application: 5-30-23 Tax Map #: 161 Lot #: 41

Site Address: 8 Industrial Drive

Name of Project: 8 Industrial Dr. Site Plan Amendment

Zoning District: Industrial General SP#: _____
(For Town Use Only)

Z.B.A. Action: _____

PROPERTY OWNER:

Name: MDP Realty Associates, LLC

Address: 9 Old Derry Road

Address: Hudson, NH

Telephone # 603-235-5806

Email: marco@saveonwall.com

DEVELOPER:

same as owner

PROJECT ENGINEER:

Name: Robert Baskerville, PE

Address: 592 Harvey Road

Address: Manchester, NH 03103

Telephone # 603-622-5533

Email: bobb@bedforddesign.com

SURVEYOR:

Tom Huot, LLS

141 Londonderry Turnpike

Hooksett, NH 03106

603-628-8500

tomh@shlandservices

PURPOSE OF PLAN:

To show a proposed 5,000 s.f. automotive addition and access at back of property

(For Town Use Only)

Routing Date: _____ Deadline Date: _____ Meeting Date: _____

_____ I have no comments _____ I have comments (attach to form)

_____ Title: _____ Date: _____

(Initials)

Department:

Zoning: ___ Engineering: ___ Assessor: ___ Police: ___ Fire: ___ DPW: ___ Consultant: ___

SITE DATA SHEET

PLAN NAME: 8 Industrial Drive Site Plan Amendment

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 161 LOT 41

DATE: 5-30-23

Location by Street: 8 Industrial Drive

Zoning: Industrial

Proposed Land Use: Vehicle and Equipment Storage

Existing Use: Manufacturing and Warehouse (to remain)

Surrounding Land Use(s): Industrial, Residential across Route 111

Number of Lots Occupied: one

Existing Area Covered by Building: 77,921 s.f.

Existing Buildings to be removed: none

Proposed Area Covered by Building: 81,921 s.f.

Open Space Proposed: 40%

Open Space Required: 40%

Total Area: S.F.: 265,992 Acres: 6.106

Area in Wetland: 399 Area Steep Slopes: 13,000 s.f.

Required Lot Size: 30,000 s.f.

Existing Frontage: 750.4'

Required Frontage: 150'

Building Setbacks:	<u>Required*</u>	<u>Proposed</u>
Front:	<u>50'</u>	<u>ex. bldg 7.2'</u>
Side:	<u>15'</u>	<u>ex. bldg 0'</u>
Rear:	<u>15'</u>	<u>pr. additiona 50'</u>

SITE DATA SHEET
(Continued)

Flood Zone Reference: not in flood zone per Panel 330092005B 1-3-1979

Width of Driveways: pr. gravel drive at addition is 20'

Number of Curb Cuts: 2 existing curb cuts.

Proposed Parking Spaces: 47

Required Parking Spaces: 142 25 per alternate employee shift option

Basis of Required Parking (Use): Industrial (actual use manufacturing/warehouse/auto

Dates/Case #/Description/Stipulations
of ZBA, Conservation Commission,
NH Wetlands Board Actions: _____
(Attach stipulations on separate sheet) _____

Waiver Requests

<i>Town Code Reference:</i>	<i>Regulation Description:</i>
<u>278-C(c)(g)</u>	<u>Parking Calculations</u>
<u>275-8(C)(7)</u>	<u>Parking Lot Landscaping</u>
<u>276-11.1.B.(17)</u>	<u>Benchmarks on Plan</u>
_____	_____
_____	_____

(For Town Use Only)

Data Sheets Checked By: _____ Date: _____

SITE PLAN APPLICATION AUTHORIZATION

I hereby apply for *Site Plan* Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the *Site Plan* specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Planner, the Town Engineer, and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner: _____ Date: _____

Print Name of Owner: _____

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer: _____ Date: _____

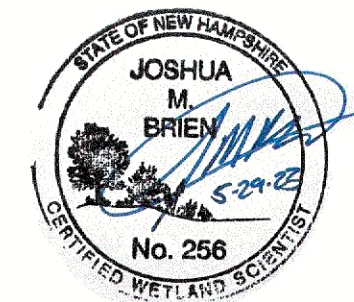
Print Name of Developer: _____

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The individual in charge of the project must notify the Code Enforcement Officer/Building Inspector within two (2) working days of any change.

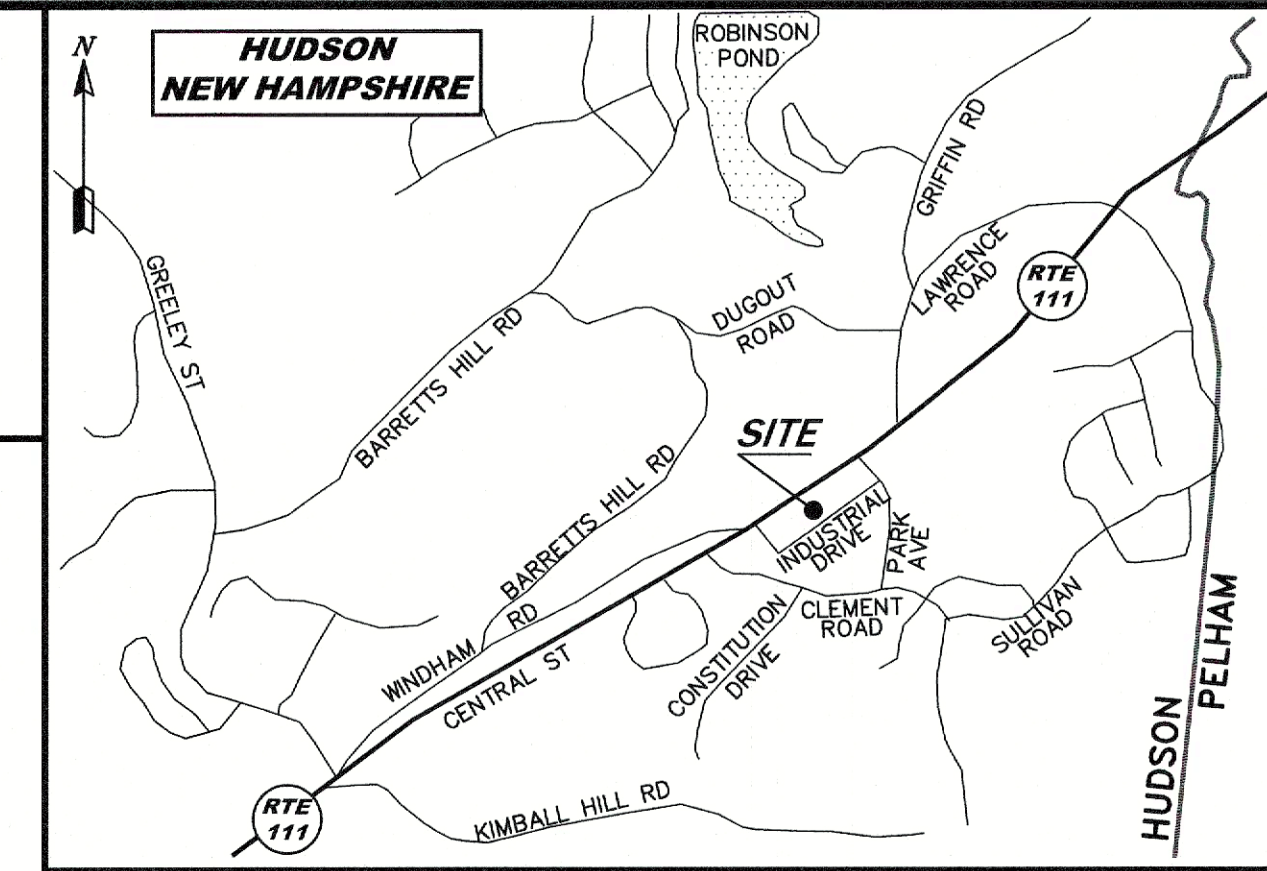
8 INDUSTRIAL DRIVE SITE PLAN AMENDMENT

8 INDUSTRIAL DRIVE
HUDSON, NEW HAMPSHIRE

PLAN INDEX	SHEET NO
OVERVIEW SHEET	1
EXISTING CONDITIONS PLAN	2
SITE & GRADING PLAN	3
SEWER PLAN & PROFILE	4
CONSTRUCTION DETAILS	5-6



JOSHUA M. BRIEM, CERTIFIED WETLAND SCIENTIST #256, OF PEAK ENVIRONMENTAL, L.L.C. OF BOSCAWEN, NH, PERFORMED THE WETLAND MAPPING IN THE FALL OF 2023 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.

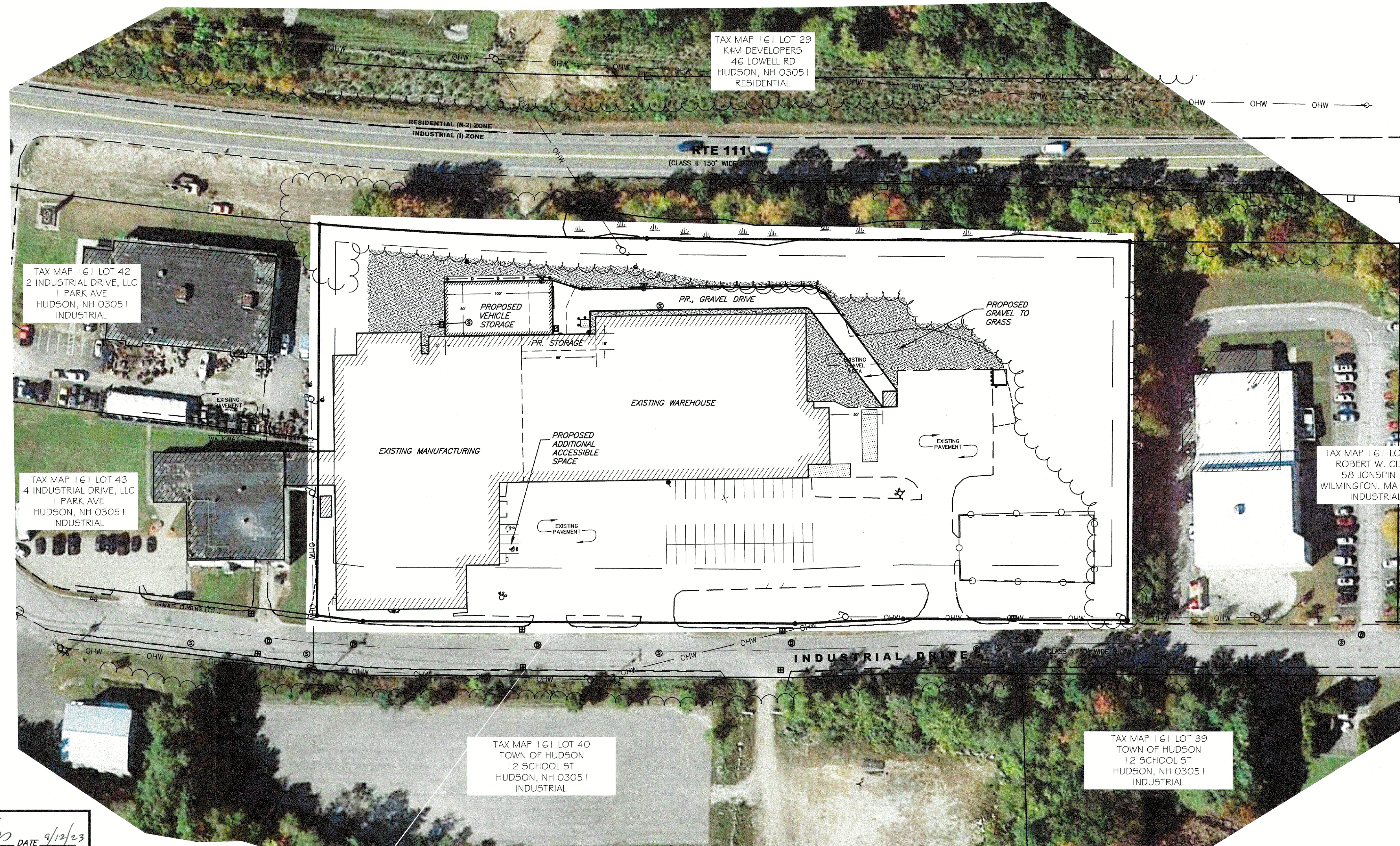


LOCUS MAP
SCALE 1" = 1,000'

NOTES:

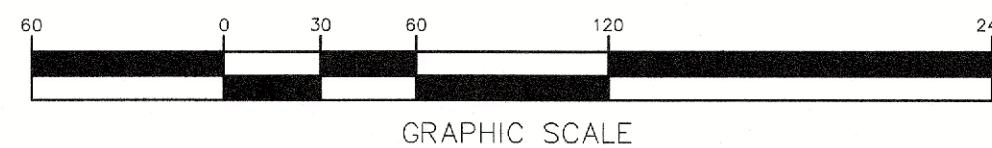
- APPLICANT/OWNER:
TAX MAP 161 LOT 41
MDP REALTY ASSOCIATES, LLC
9 OLD DERRY ROAD
HUDSON, NH 03051
BK. 7531 PG. 2641
- TOWN OF HUDSON ZONE - "I" (INDUSTRIAL DISTRICT)
DIMENSIONAL STANDARDS:

MIN. LOT AREA	= 30,000 S.F.	SUBJECT = 265,992 SQ.FT.
BUILDING SETBACKS		
FRONT	= 50'	
SIDE	= 15'	
REAR	= 15'	
MINIMUM FRONTAGE	= 150'	EXISTING = 700+ PR ADDITION = 22.5'
BUILDING HEIGHT	= 38'	EXISTING = 23' PR. OPEN SPACE = 40%
MIN. OPEN SPACE	= 40%	EXISTING = 41%
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED 5,000 S.F. VEHICLE AND EQUIPMENT STORAGE ADDITION WITH GRAVEL ACCESS DRIVE.
- PARKING CALCULATIONS:
COMBINED EMPLOYEES OF TWO LARGEST CONSECUTIVE SHIFTS = 20 PEOPLE
A SHIFT = 8 PEOPLE
B SHIFT = 8 PEOPLE
M-F SHIFT = 12 PEOPLE
WAREHOUSE M-F SHIFT = 5 PEOPLE
TOTAL NUMBER OF SPACES REQUIRED = 25
TOTAL NUMBER PROPOSED = 47
WE SHOW 2 ACCESSIBLE SPACES PER ADA REGULATIONS (ONE EXISTING & ONE PROPOSED)
- THE INFORMATION SHOWN WAS TAKEN FROM AN ACTUAL SURVEY PERFORMED BY THIS OFFICE DURING OCTOBER & NOVEMBER OF 2008.
- BOUNDARY INFORMATION SHOWN WAS TAKEN FROM REFERENCE PLAN #1.
- THE HORIZONTAL DATUM IS N.H.S.P.C. 1983. THE VERTICAL DATUM IS NGVD29, TAKEN FROM THE NHDOT GEODETIC CONTROL POINT 229-0370 LOCATED IN A LEDGE OUTCROP ON THE SOUTH SIDE OF RT. 111 & THE WEST SIDE OF CLEMENT ROAD, ELEV. = 264.54'.
- THE SUBJECT PROPERTY IS NOT LOCATED IN THE 100-YR FLOOD PLAIN PER F.I.R.M. PANEL 3300920005B, EFFECTIVE DATE JANUARY 3, 1979.
- NO SIGNS ARE PROPOSED.
- WAIVERS REQUESTED:
276-11.1(9)(9) LICENSED SURVEYOR STAMP PLAN ADDED REV. D. DENIED 8-23-23
275-BC(7) PARKING LOT LANDSCAPING APPROVED 8-23-23
275-11.1B(17) BENCHMARKS ON PLAN APPROVED 8-23-23
- THE PROPOSED ADDITION WILL BE SPRINKLERED.
- THERE ARE TWO SECURITY LIGHTS SHOWN ON THE PLAN AT THE PROPOSED MAIN DOORS.
- THE APPLICANT WILL BE REQUIRED TO COMPLY WITH ALL PROVISIONS OF THE TOWN OF HUDSON'S MSA PERMIT, INCLUDING BUT NOT LIMITED TO ANNUAL REPORTING REQUIREMENTS, CONSTRUCTION SITE STORMWATER RUNOFF CONTROL, AND RECORD KEEPING REQUIREMENTS.
- THE EXISTING BUILDING HAS EXISTING TOWN WATER AND SEWER. THE ADDITION WILL HAVE NO BATHROOMS OR SINKS.



OVERVIEW PLAN

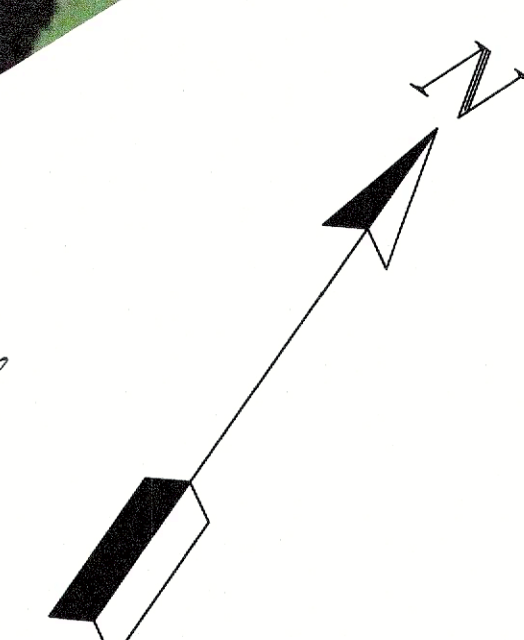
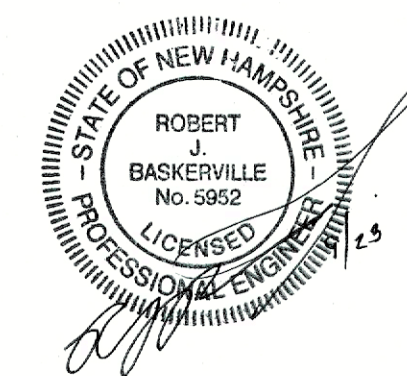
SCALE: 1" = 60'



OWNER'S SIGNATURE: *Marco Plante*
NAME: MARCO PLANTE, SEC. MDP REALTY ASSOCIATES, LLC, AUTHORIZED SIGNET
DATE: 9/12/23
ADDRESS: 9 OLD DERRY ROAD, HUDSON, NH

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____ DATE _____
SIGNATURE: _____ DATE _____
SIGNATURE: _____ DATE _____

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM THE DATE OF APPROVAL.



DATE	DESCRIPTION	BY	REV.
9-12-23	REVISED USE	KAW	D
8-07-23	REVISED PER PERC TEST	KAW	C
7-14-23	REVISED PER TOWN COMMENTS	KAW	B
6-26-23	REVISED PER TOWN COMMENTS	KAW	A

TAX MAP 161 LOT 41
OVERVIEW SHEET
8 INDUSTRIAL DR SITE PLAN AMENDMENT
LOCATED AT:
8 INDUSTRIAL DRIVE
HUDSON, NEW HAMPSHIRE
PREPARED FOR/OWNER:
MDP REALTY ASSOCIATES, LLC
9 OLD DERRY ROAD
HUDSON, STATE

SCALE: 1" = 60' MAY 22, 2023 SHEET 1 OF 6

DESIGN:	DRAWN:	CHECKED:	FB:	PG:	
KAW	KAW	RJB	###	###	503-14

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www.bedforddesign.com

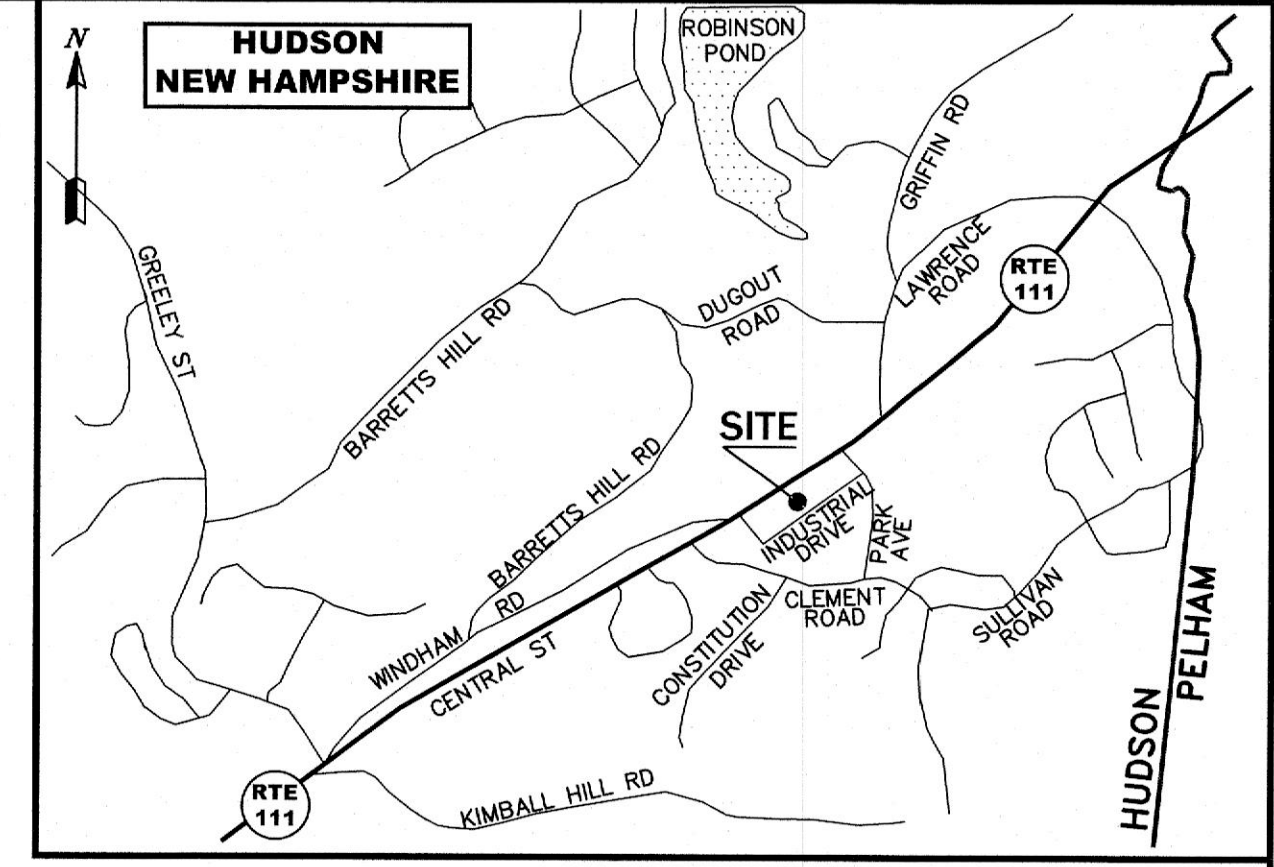
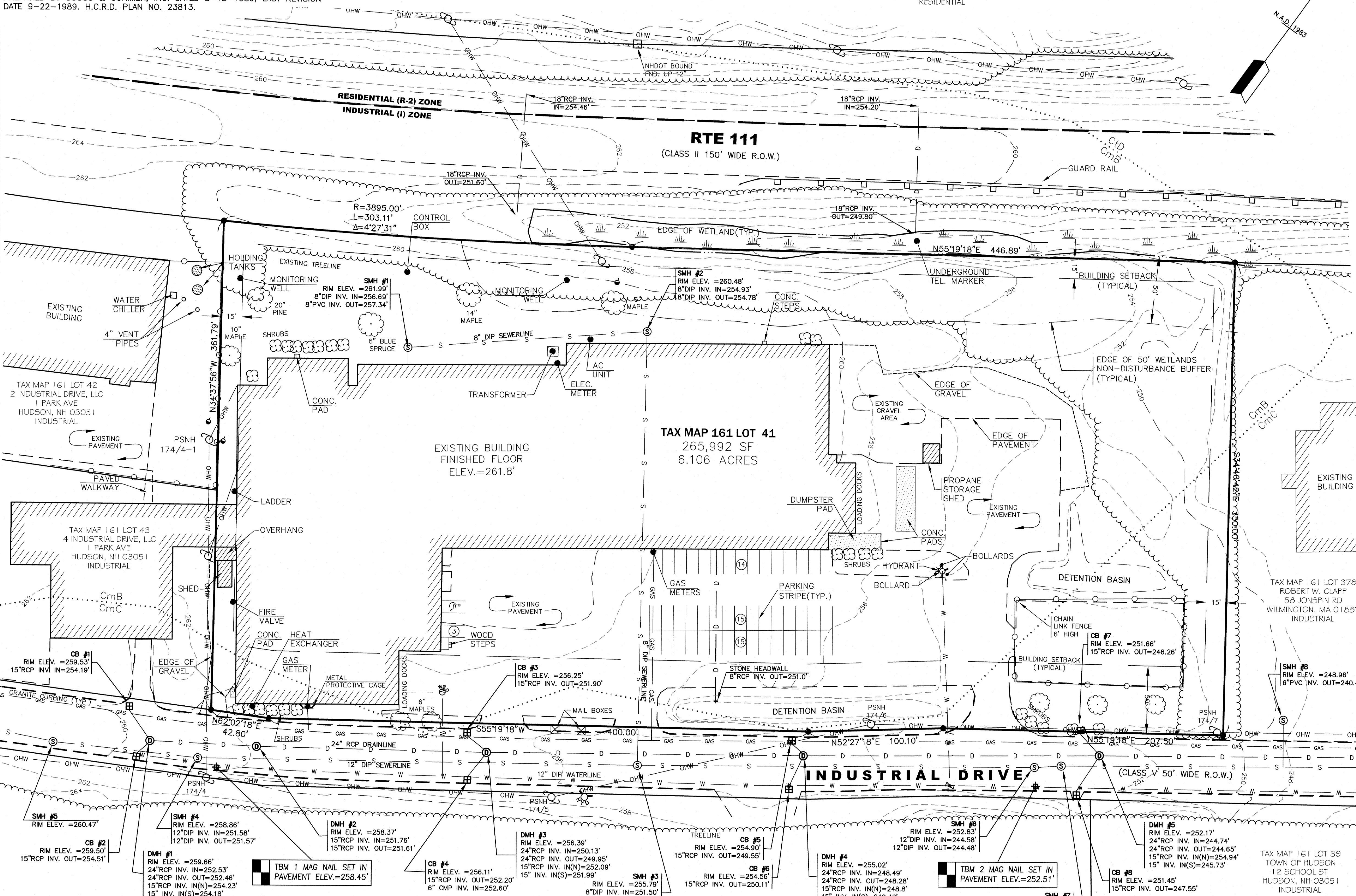
PLAN REFERENCES

- "CLEMMENT INDUSTRIAL PARK OF HUDSON ROUTE 111" DATED SEPTEMBER 5, 1969 AND PREPARED BY A.E. MAYNARD. H.C.R.D. PLAN #4680.
- PLAN ENTITLED "FINAL SITE PLAN MAP 32 LOT 9 HUDSON MILLS" PREPARED BY COUGO & CORMIER, INC. DATED 8-12-1989, LAST REVISION DATE 9-22-1989. H.C.R.D. PLAN NO. 23813.

SCS SOIL LEGEND

CmB - CANTON STONY FINE SANDY LOAM, 3%-8% SLOPES.
 CmC - CANTON STONY FINE SANDY LOAM, 8%-15% SLOPES.
 CID - CHATFIELD-HOLLIS-ROCK OUTCROP COMPLEX, 15%-35% SLOPES.

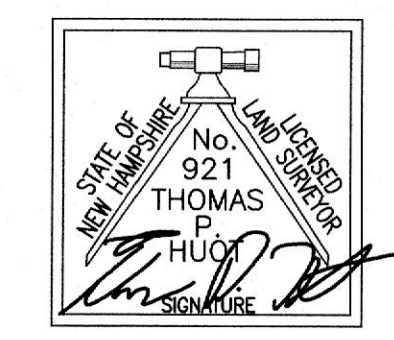
TAX MAP 161 LOT 29
 K&M DEVELOPERS
 46 LOWELL RD
 HUDSON, NH 03051
 RESIDENTIAL



LOCUS MAP
 NOT TO SCALE

NOTES

- APPLICANT/OWNER:
 TAX MAP 161 LOT 41
 MDP REALTY ASSOCIATES, LLC
 9 OLD DERRY ROAD
 HUDSON, NH 03051
 BK. 7531 PG. 2641
- THE INTENT OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS OF TAX MAP 161 LOT 41.
- TOWN OF HUDSON ZONE - "I" (INDUSTRIAL DISTRICT) DIMENSIONAL STANDARDS:
 A. MIN. LOT AREA = 30,000 S.F.
 SUBJECT = 265,992 SQ.FT.
 B. BUILDING SETBACKS
 I. FRONT = 50'
 II. SIDE = 15'
 III. REAR = 15'
 C. MINIMUM FRONTAGE = 150'
 D. BUILDING HEIGHT NOT TO EXCEED 38'
- THE INFORMATION SHOWN WAS TAKEN FROM AN ACTUAL SURVEY PERFORMED BY THIS OFFICE DURING OCTOBER & NOVEMBER OF 2008 AND UPDATED PER SITE VISIT ON SEPTEMBER 11, 2023.
- BOUNDARY INFORMATION SHOWN WAS TAKEN FROM REFERENCE PLAN #1.
- THE HORIZONTAL DATUM IS N.H.S.P.C. 1983. THE VERTICAL DATUM IS NAVD83, TAKEN FROM THE NHDOT GEODETIC CONTROL POINT 229-0370 LOCATED IN A LEDGE OUTCROP ON THE SOUTH SIDE OF RT. 111 & THE WEST SIDE OF CLEMENT ROAD, ELEV. = 264.54'.
- THE SUBJECT PROPERTY IS NOT LOCATED IN THE 100-YR FLOOD PLAIN PER F.I.R.M. PANEL 3300920008B, EFFECTIVE DATE JANUARY 3, 1979.



"I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000)."

Thomas P. Huo
 LICENSED LAND SURVEYOR
 9/12/2023
 DATE

TAX MAP 161 LOT 41
EXISTING CONDITIONS PLAN
8 INDUSTRIAL DR SITE PLAN AMENDMENT
 LOCATED AT:
8 INDUSTRIAL DRIVE
HUDSON, NEW HAMPSHIRE
 PREPARED FOR/OWNER:
 MDP REALTY ASSOCIATES, LLC
 9 OLD DERRY ROAD
 HUDSON, NH 03051

SCALE: 1" = 40'	SEPTEMBER 12, 2023	SHEET 2 OF 6
DRAWN: M.K.H.	CHECKED: T.P.H.	FB: 559 PG: 6
503-14		

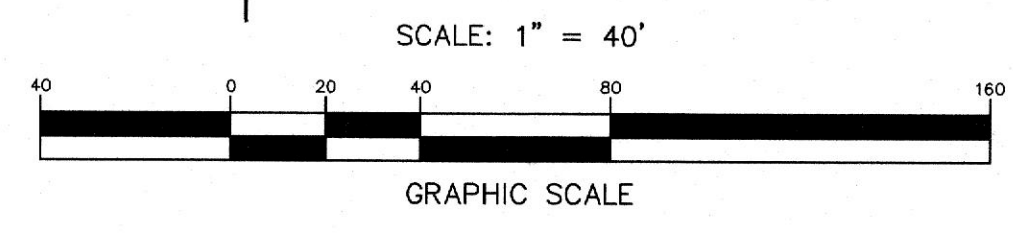
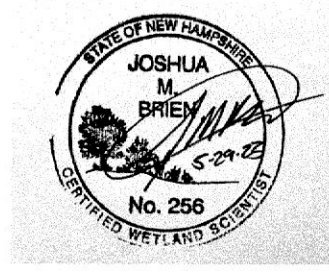
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 Telephone: (603) 622-5533
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LEGEND

- ⊙ SEWER MANHOLE
- ⊕ CATCH BASIN
- ⊖ DRAIN MANHOLE
- OHW- OVERHEAD WIRE
- SOIL BOUNDARY
- D-D- DRAINLINE
- S-S- SEWERLINE
- W-W- WATERLINE
- UTILITY POLE
- ⊗ GUY ANCHOR
- ⊗ WATER SHUTOFF
- ⊗ WATER GATE VALVE
- ⊗ MAILBOX
- ⊗ HYDRANT
- ⊗ BOUND (FOUND)
- REBAR W/CAP TO BE SET

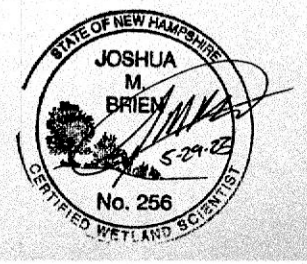
WETLAND NOTES

JOSHUA M BRIEN, CERTIFIED WETLAND SCIENTIST #256, OF PEAK ENVIRONMENTAL, L.L.C. OF BOSCAWEN, NH, PERFORMED THE WETLAND MAPPING IN THE FALL OF 2023 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.



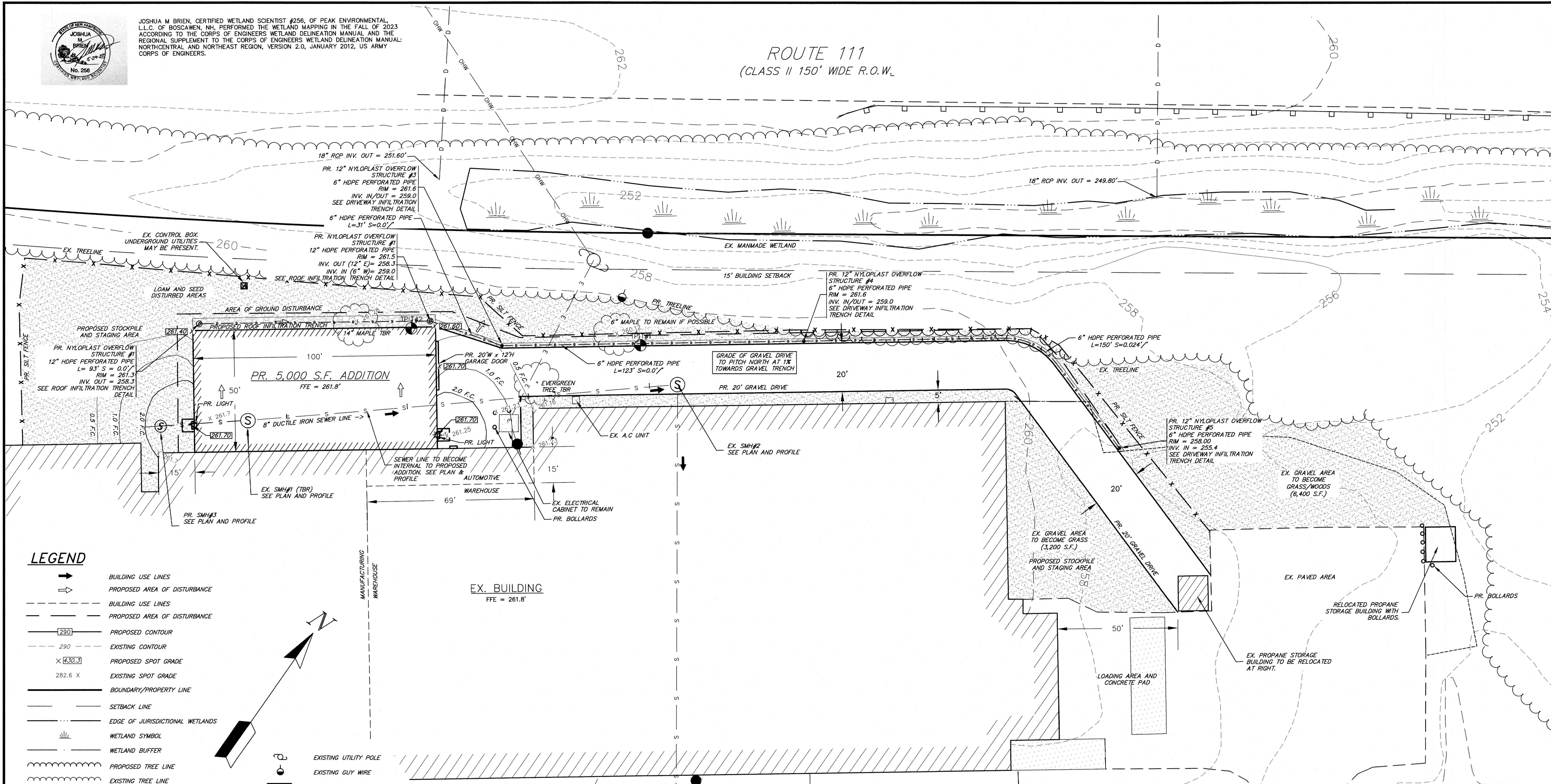
DATE	DESCRIPTION	BY	REV.

G:\PROJECT\0503014\DWG\0503014SV Carlson 11-15-2021.dwg



JOSHUA M BRIEN, CERTIFIED WETLAND SCIENTIST #256, OF PEAK ENVIRONMENTAL, L.L.C. OF BOSCAWEN, NH, PERFORMED THE WETLAND MAPPING IN THE FALL OF 2023 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.

ROUTE 111
(CLASS II 150' WIDE R.O.W.)



LEGEND

- BUILDING USE LINES
- ⇨ PROPOSED AREA OF DISTURBANCE
- BUILDING USE LINES
- PROPOSED AREA OF DISTURBANCE
- 290 PROPOSED CONTOUR
- 290 EXISTING CONTOUR
- 430.3 PROPOSED SPOT GRADE
- 282.6 X EXISTING SPOT GRADE
- BOUNDARY/PROPERTY LINE
- SETBACK LINE
- EDGE OF JURISDICTIONAL WETLANDS
- WETLAND SYMBOL
- WETLAND BUFFER
- PROPOSED TREE LINE
- EXISTING TREE LINE
- EXISTING GRAVEL AREA
- PROPOSED GRAVEL DRIVE
- EX. PAVEMENT
- E EXISTING UNDERGROUND ELECTRIC
- S EXISTING SEWER LINE
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- PROPOSED BUILDING
- PROPOSED GRASS
- PROPOSED GRAVEL TRENCH
- EXISTING TREES
- SEWER MANHOLE
- PROPOSED DRAIN LINE
- EXISTING DRAIN LINE
- OHW EXISTING OVERHEAD UTILITIES
- X PROPOSED SILT FENCE

LIGHTING NOTES

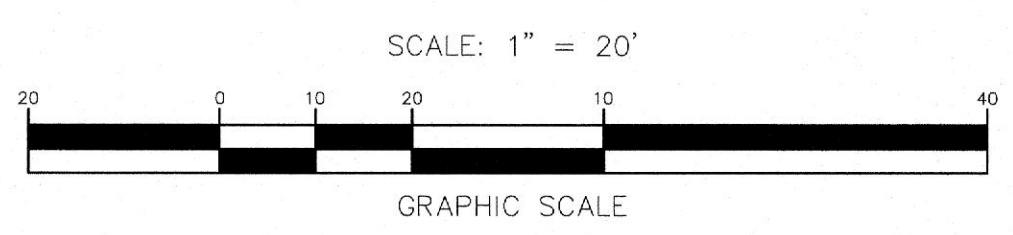
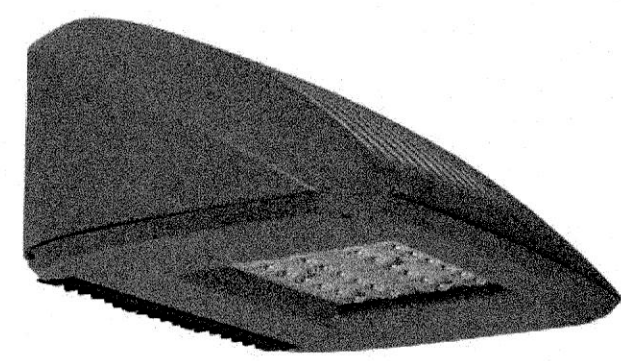
WALL MOUNTED LIGHT HEIGHT IS 15 FEET. WALL UNIT IS ADA DARK SKY COMPLIANT.

Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating	Description
2	☼	SINGLE	6076	52	0.850	B1-U0-G2	GARDCO 121-32L-530-WW-G4-4-UNV-FINISH / WALL MOUNTED @ 15FT AFG TO BOF

OWNER'S SIGNATURE
NAME: *Marco Plante* DATE: 9/12/23
MARCO PLANTE
MDP REALTY ASSOCIATES, LLC
9 OLD DERRY ROAD
HUDSON, NH

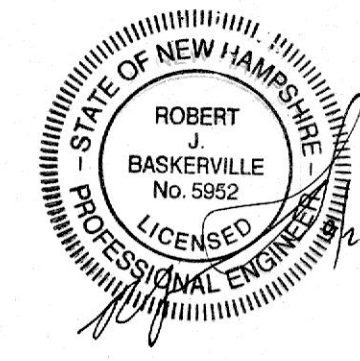
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____ DATE _____
SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM THE DATE OF APPROVAL.



THIS CERTIFICATION IS FOR RECORDING PURPOSES ONLY.

CRAIG A. FRANCISCO
LICENSED LAND SURVEYOR



TAX MAP 161 LOT 41
SITE AND GRADING PLAN
8 INDUSTRIAL DR SITE PLAN AMENDMENT
LOCATED AT:
8 INDUSTRIAL DRIVE
HUDSON, NEW HAMPSHIRE
PREPARED FOR/OWNER:
MDP REALTY ASSOCIATES, LLC
9 OLD DERRY ROAD
HUDSON, STATE

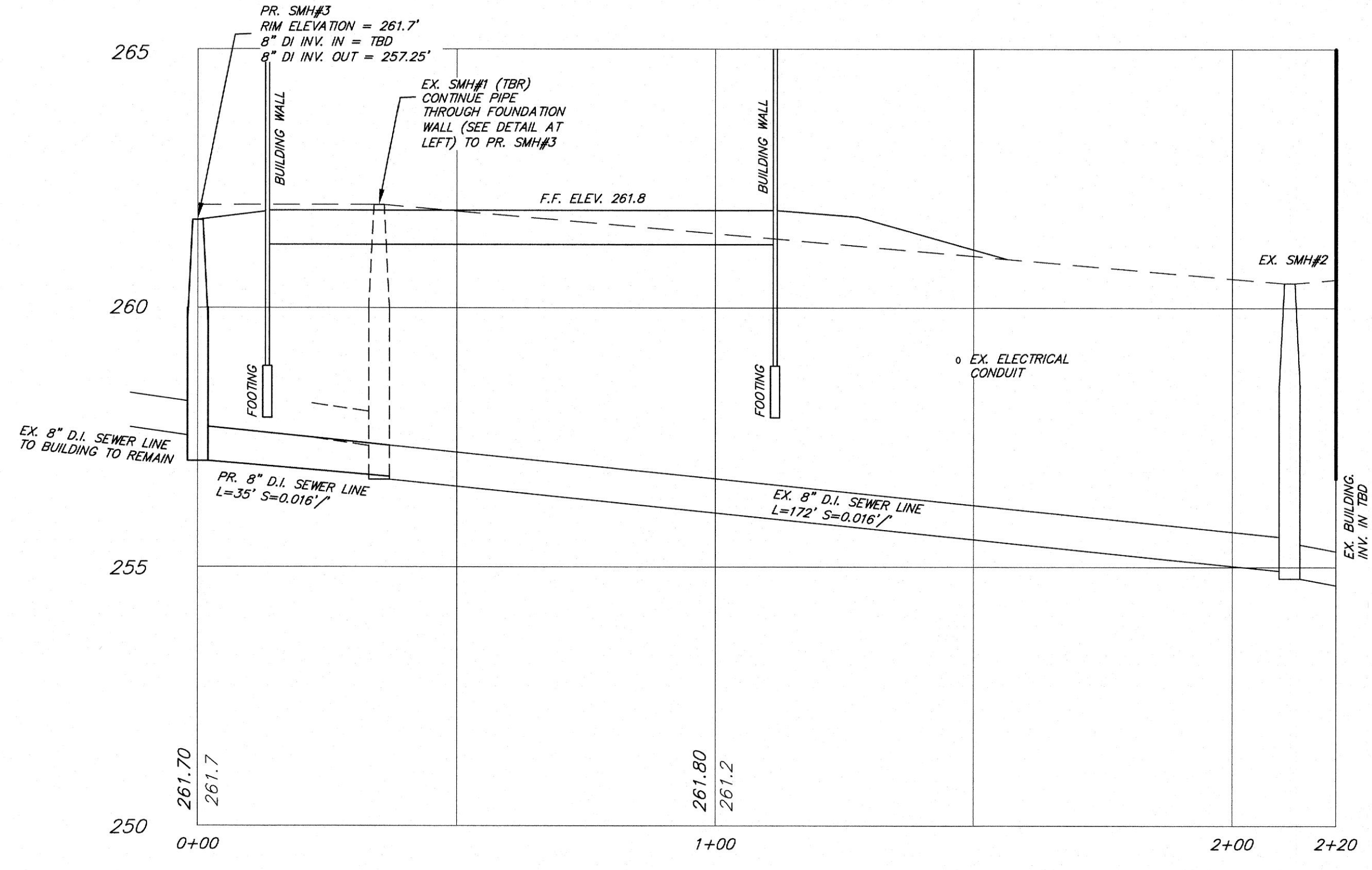
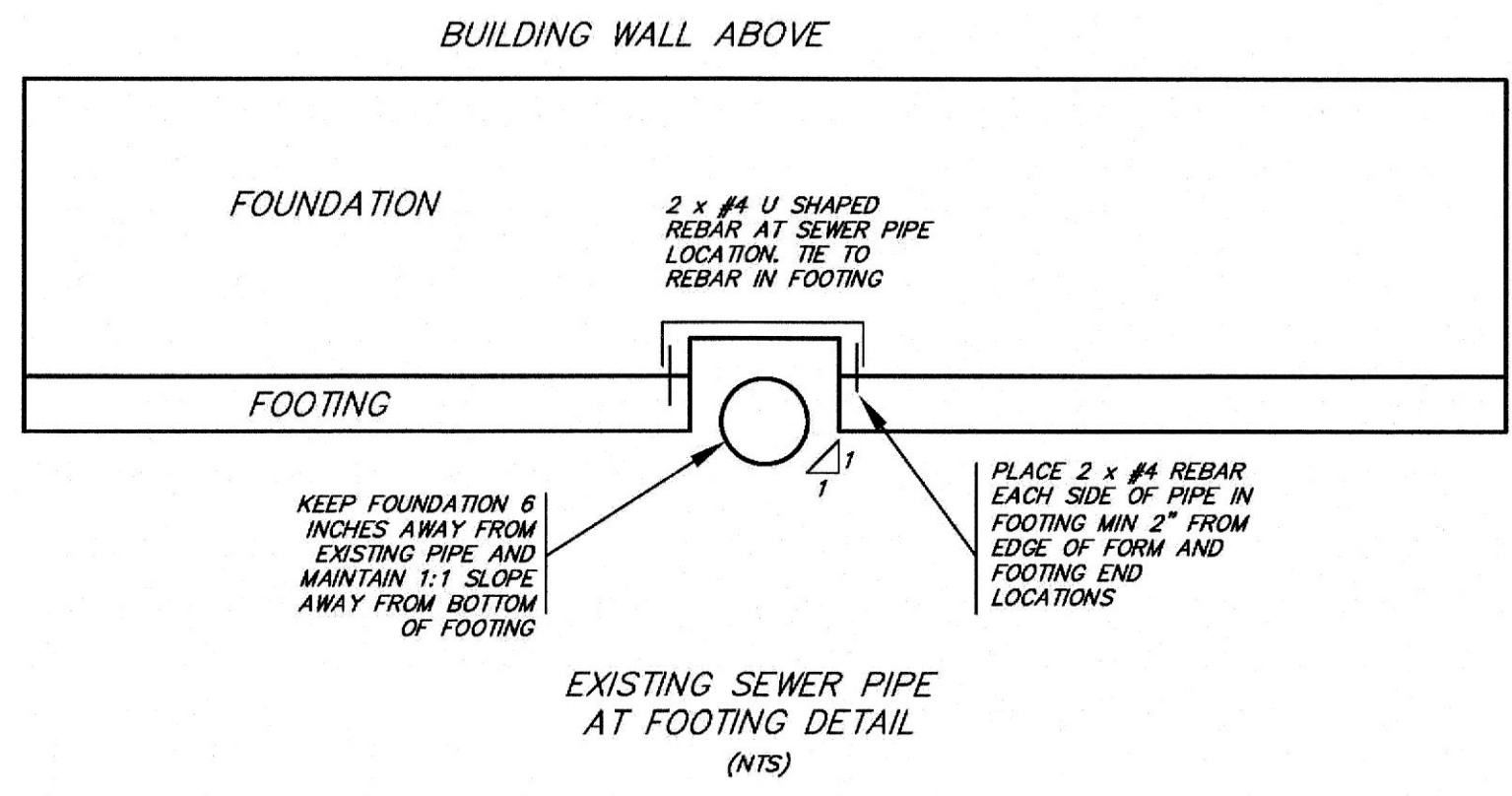
SCALE: 1" = 20' MAY 22, 2023 SHEET 3 OF 6

DESIGN:	DRAWN:	CHECKED:	FB:	PC:	
KAW	KAW	RJB	###	###	503-14

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Telephone: (603) 622-5533
www.bedforddesign.com

DATE	DESCRIPTION	BY	REV.
9-12-23	REVISED USE	KAW	D
8-07-23	REVISED PER PERC TEST	KAW	C
7-14-23	REVISED PER TOWN COMMENTS	KAW	B
6-26-23	REVISED PER TOWN COMMENTS	KAW	A

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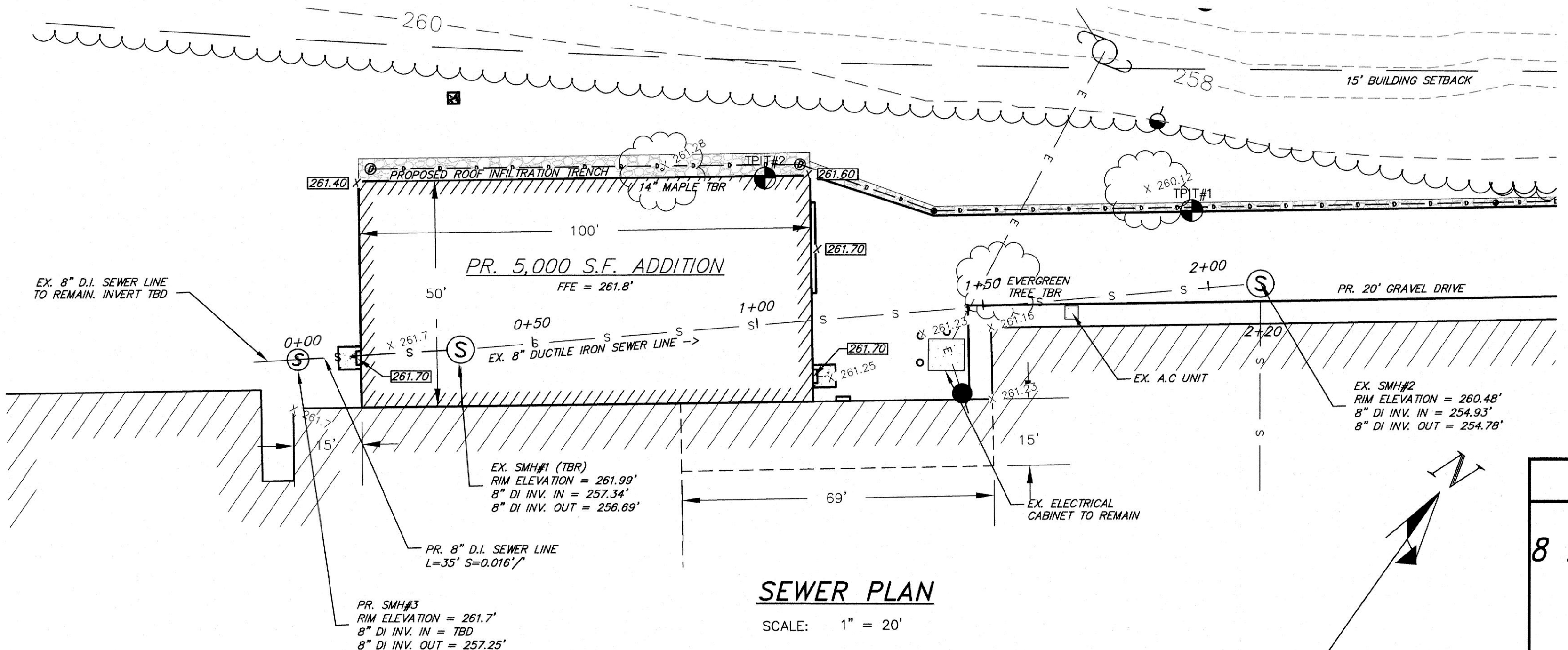


SEWER PROFILE

HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'

LEGEND

- BUILDING USE LINES
- - - - PROPOSED AREA OF DISTURBANCE
- BUILDING USE LINES
- - - - PROPOSED AREA OF DISTURBANCE
- 290 --- PROPOSED CONTOUR
- 290 --- EXISTING CONTOUR
- x 430.3 --- PROPOSED SPOT GRADE
- 282.6 x --- EXISTING SPOT GRADE
- BOUNDARY/PROPERTY LINE
- SETBACK LINE
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- WETLAND SYMBOL
- WETLAND BUFFER
- PROPOSED TREE LINE
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- EXISTING GRAVEL AREA
- PROPOSED GRAVEL DRIVE
- EX. PAVEMENT
- E --- EXISTING UNDERGROUND ELECTRIC
- S --- EXISTING SEWER LINE
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- PROPOSED BUILDING
- PROPOSED GRASS
- PROPOSED GRAVEL TRENCH
- EXISTING TREES
- S --- SEWER MANHOLE
- D --- PROPOSED DRAIN LINE
- D --- EXISTING DRAIN LINE
- OHW --- EXISTING OVERHEAD UTILITIES
- x --- PROPOSED SILT FENCE



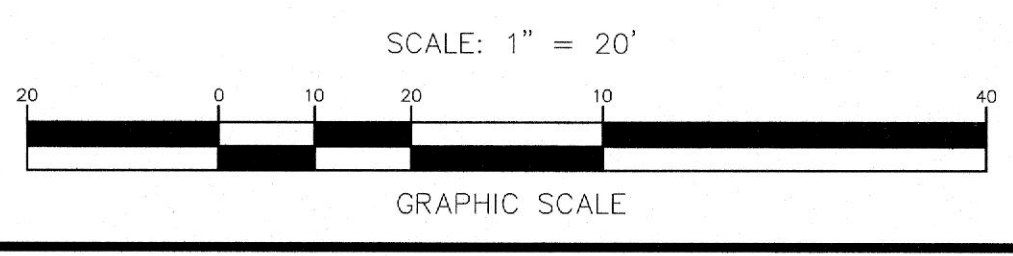
SEWER PLAN

SCALE: 1" = 20'

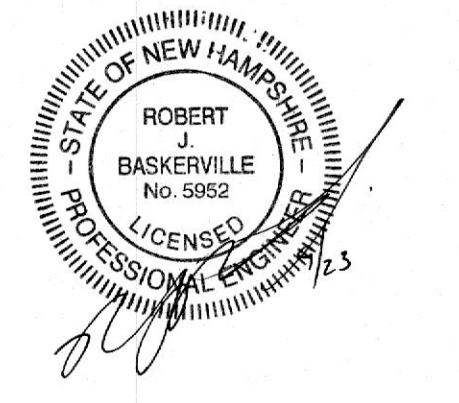
OWNER'S SIGNATURE
NAME: MARCO PLANTE
DATE: _____
MDP REALTY ASSOCIATES, LLC
9 OLD DERRY ROAD
HUDSON, NH

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____ DATE _____
SIGNATURE: _____ DATE _____
SIGNATURE: _____ DATE _____
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING
FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM THE DATE OF APPROVAL.



DATE	DESCRIPTION	BY	REV.
9-12-23	REVISED USE	KAW	D
8-07-23	REVISED PER PERC TEST	KAW	C
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6-26-23	REVISED PER TOWN COMMENTS	KAW	A



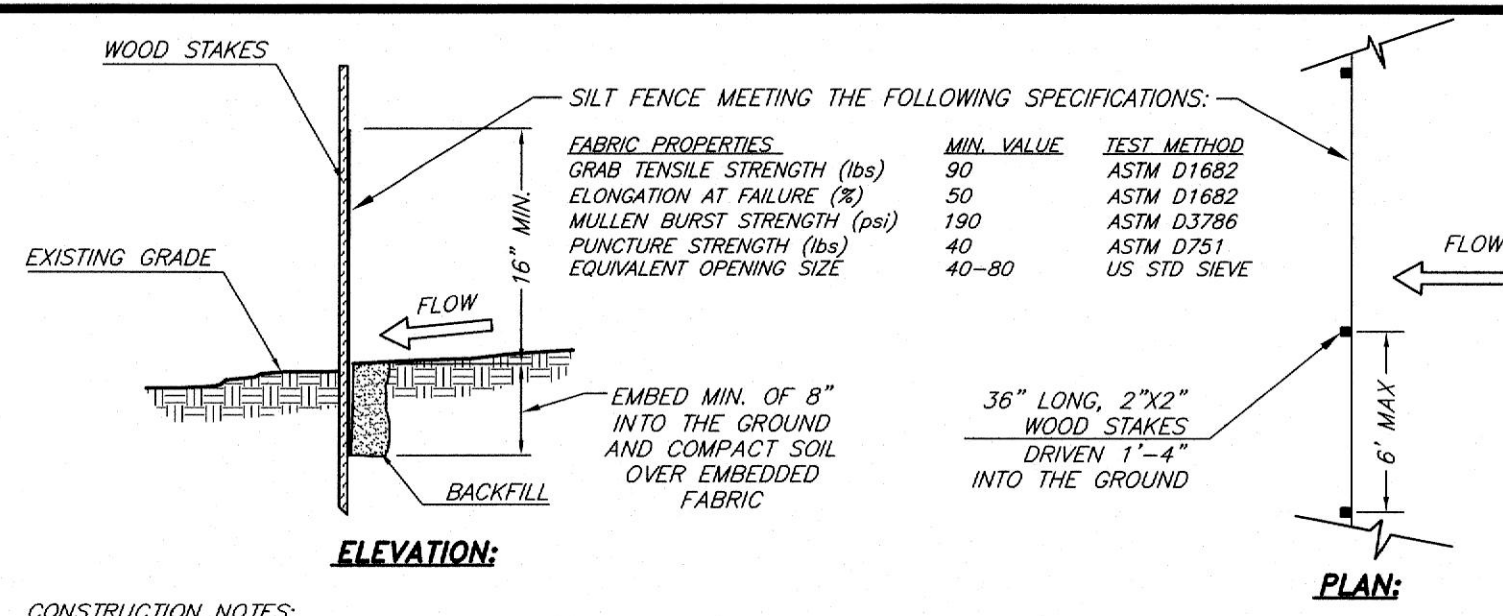
TAX MAP 161 LOT 41
SEWER PLAN AND PROFILE
8 INDUSTRIAL DR SITE PLAN AMENDMENT
LOCATED AT:
8 INDUSTRIAL DRIVE
HUDSON, NEW HAMPSHIRE
PREPARED FOR/OWNER:
MDP REALTY ASSOCIATES, LLC
9 OLD DERRY ROAD
HUDSON, STATE

SCALE: 1" = 20' MAY 22, 2023 SHEET 4 OF 6

DESIGN:	DRAWN:	CHECKED:	FB:	PC:	503-14
KAW	KAW	RJB	###	###	

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- CONSTRUCTION NOTES:**
- FENCES SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR OTHER DRAINAGE WAY ABOVE THE FENCE.
 - THE MAXIMUM CONTRIBUTING DRAINAGE AREA ABOVE THE FENCE SHALL BE LESS THAN 1/4-ACRE PER 100 LINEAR FEET OF FENCE.
 - THE MAXIMUM LENGTH OF THE SLOPE ABOVE THE FENCE SHALL BE 100 FEET.
 - THE MAXIMUM SLOPE OF THE AREA ABOVE THE FENCE SHALL BE 2:1.
 - FENCES SHALL BE INSTALLED AS FOLLOWS:
 - FENCES SHALL FOLLOW THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE.
 - THE ENDS OF THE FENCE SHALL BE FLARED UP-SLOPE.
 - THE BASE OF THE FENCE SHALL BE:
 - FOLDED SUCH THAT NOT LESS THAN 4 INCHES OF THE FENCE IS PLACED ALONG THE BOTTOM OF A TRENCH THAT IS EXCAVATED AT LEAST 4 INCHES DEEP INTO THE GROUND, WITH THE SOIL COMPACTED OVER THE EMBEDDED FABRIC, OR
 - IF SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE, OR THE PRESENCE OF HEAVY ROOTS, EMBEDDED IN A MINIMUM THICKNESS OF 8 INCHES OF 1/2-INCH STONE.
 - SUPPORT POSTS SHALL BE SIZED AND ANCHORED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS; AND
 - ADJOINING SECTIONS OF THE FENCE SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED TO A SUPPORT POST;
 - FENCES SHALL BE INSPECTED AND MAINTAINED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY, AND
 - SEDIMENT THAT ACCUMULATES AT THE FENCE SHALL BE REMOVED WITH SUFFICIENT FREQUENCY TO PREVENT THE DEPTH OF THE SEDIMENT FROM REACHING ONE-THIRD THE HEIGHT OF THE FENCE.
 - INSTALL FENCE PER MANUFACTURER'S SPECIFICATIONS.
 - IF THE FABRIC ON THE SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE LIFE OF THE FENCE, THE FABRIC SHALL BE PROMPTLY REPLACED.
 - SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE BARRIER HAS BEEN DISMANTLED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED USING THE APPROPRIATE VEGETATIVE BMP.

SILT FENCE DETAIL:
NOT TO SCALE

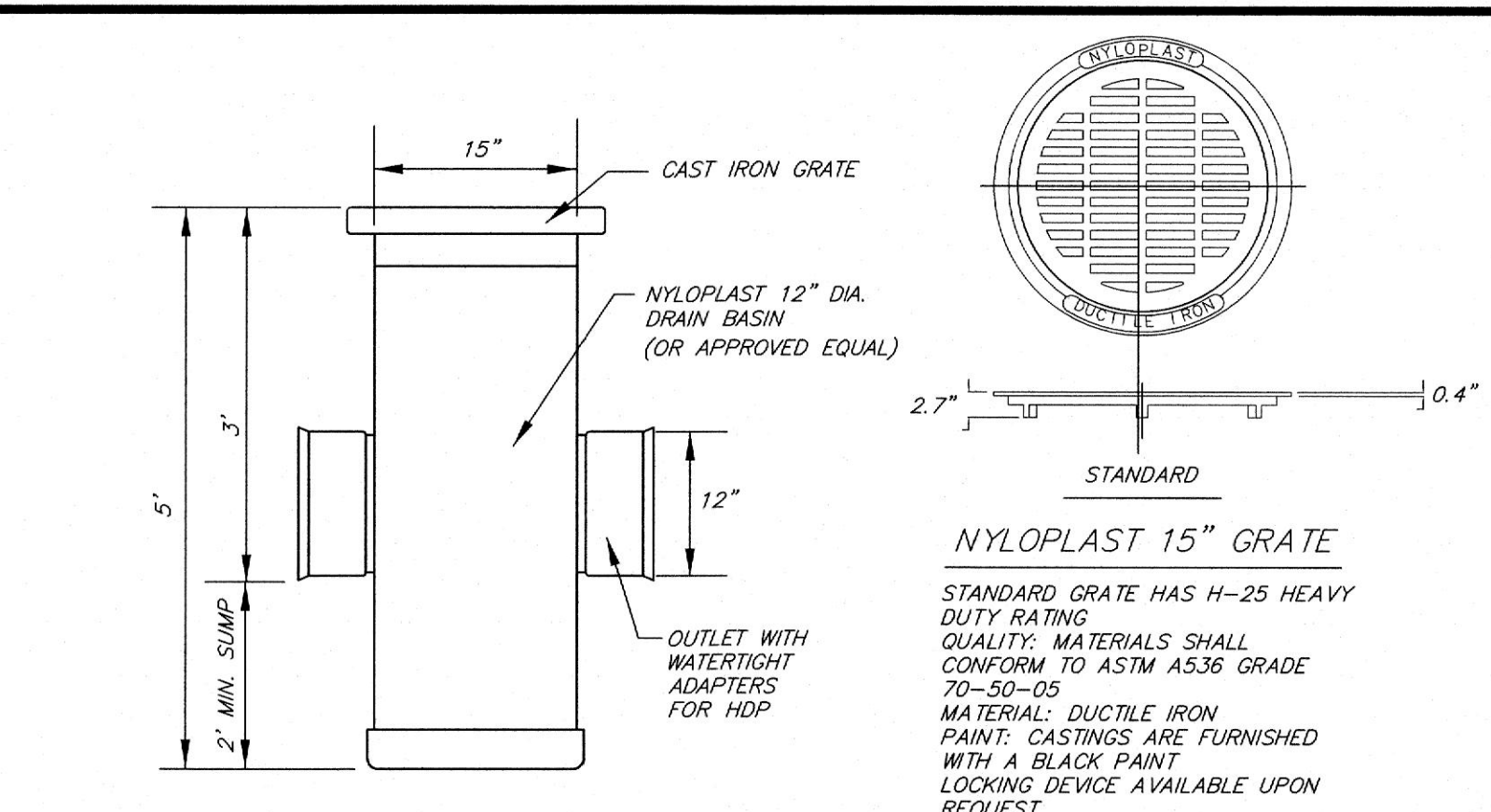
UTILITY NOTES:

- THE PURPOSE OF THIS PLAN IS TO SHOW THE UTILITY IMPROVEMENTS ASSOCIATED WITH THE PROPOSED SITE PLAN.
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY/TOWN OF HUDSON AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION APPROVED AND ADOPTED 2006 ARE HEREBY INCORPORATED BY REFERENCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROXIMATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND/OR PROTECTION OF ALL UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE WITH THE OWNER OF SAID UTILITIES.
- NO FOUNDATION DRAINS, ROOF DRAINS, FLOOR DRAINS SHALL BE CONNECTED TO THE MUNICIPAL SEWER.
- ALL SEWER CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE STANDARD SEWER CONSTRUCTION SPECIFICATIONS AND THE CITY OF MANCHESTER STANDARD SPECIFICATIONS FOR ROAD, DRAIN & SEWER CONSTRUCTION.
- A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE CITY, CONTRACTOR, OWNER, AND ALL UTILITY REPRESENTATIVES PRIOR TO CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS HAS BEEN OBTAINED.
- WATERLINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH MANCHESTER WATER WORKS SPECIFICATIONS.
- WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK BEGINNING.
- GAS LINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH NATIONAL CODES AND SPECIFICATIONS.
- ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY COMPANY SPECIFICATIONS.
- ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY THE SPECIFIC UTILITY COMPANY AND THE LOCAL DEPARTMENT OF PUBLIC WORKS.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL PROPOSED BUILDING UTILITY CONNECTIONS WITH THE ARCHITECTURAL PLANS.
- ANY FIELD UTILITY ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE OWNER PRIOR TO INSTALLATION.
- ALL PARKING AREA LIGHTING SHALL BE FULL CUT-OFF TYPE FIXTURES.
- ALL BUILDING LIGHTING FOR SECURITY OR AESTHETICS WILL BE FULL CUT-OFF OR A SHIELDED TYPE, NOT ALLOWING ANY UPWARD DISTRIBUTION OF LIGHT.
- THE PROPOSED BUILDING SHALL BE SPRINKLERED AND ALARMED.
- THE SITE PLAN REGULATIONS OF THE CITY OF MANCHESTER ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT ON COMPLETION OF ALL REQUIREMENTS OF SAID SITE PLAN REGULATIONS, EXCEPTING ONLY MODIFICATIONS AND CONDITIONS MADE IN WRITING BY THE PLANNING BOARD.
- A COMPLETE SET OF PLANS IS ON FILE WITH THE CITY OF MANCHESTER COMMUNITY DEVELOPMENT DEPARTMENT.
- ALL WORK MUST CONFORM TO THE CITY OF MANCHESTER, DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS AND ANY WORK WITHIN THE CITY RIGHT-OF-WAY REQUIRES AN EXCAVATION PERMIT.

OWNER'S SIGNATURE
NAME _____ DATE _____
MARCO PLANTE
MDP REALTY ASSOCIATES, LLC
9 OLD DERRY ROAD
HUDSON, NH

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____ DATE _____
SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM THE DATE OF APPROVAL.

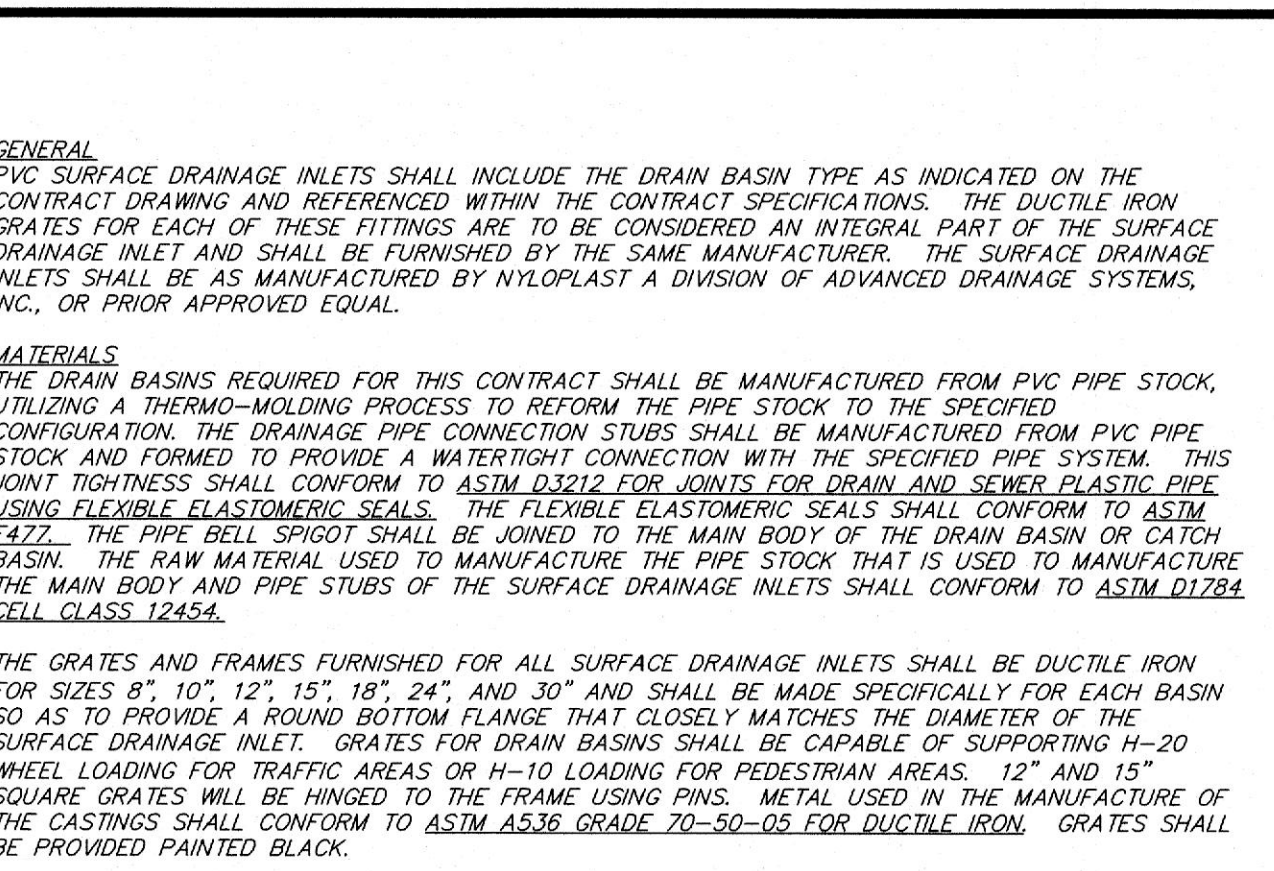
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



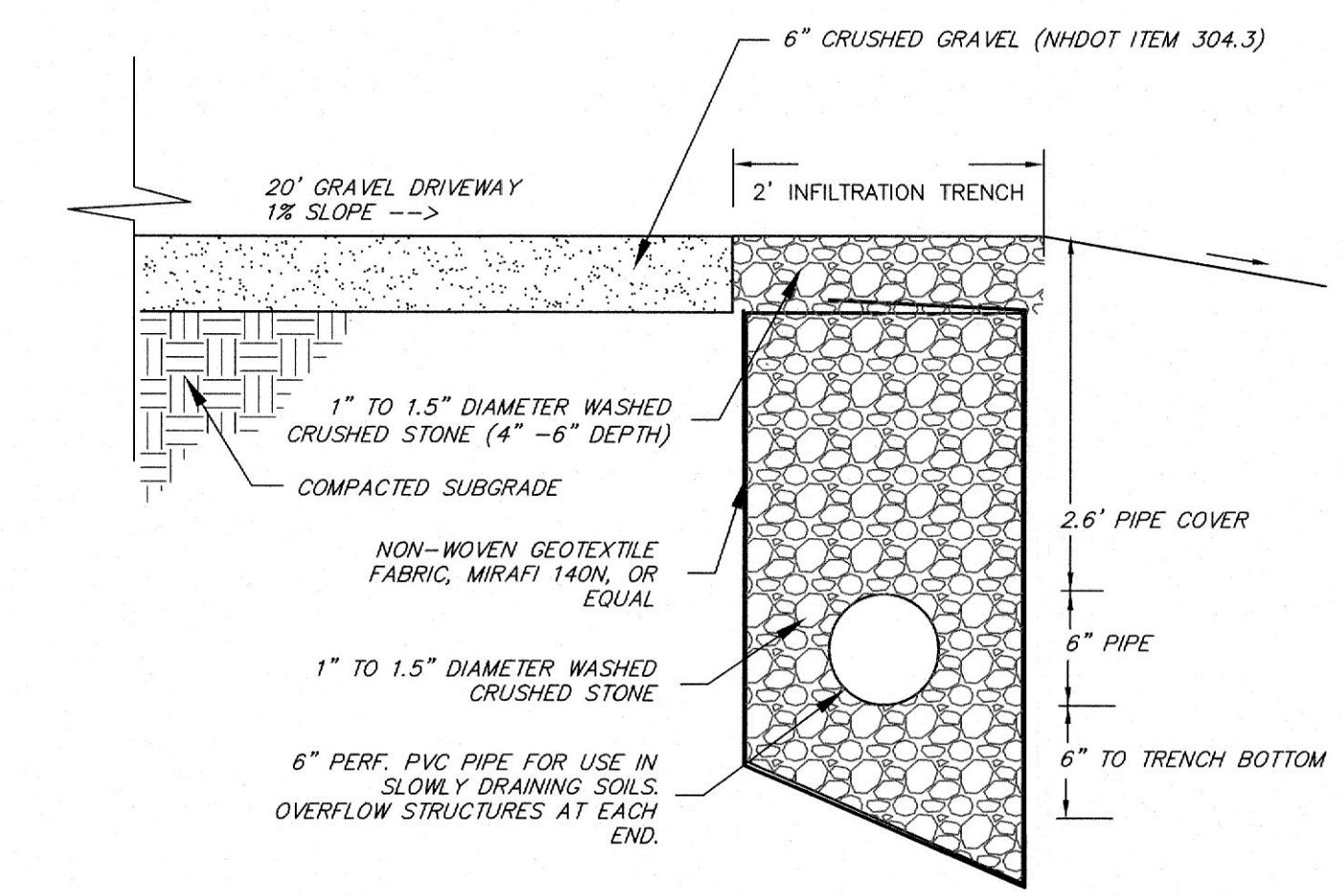
NYLOPLAST DRAIN BASIN DETAIL
NOT TO SCALE

GRADING AND DRAINAGE NOTES:

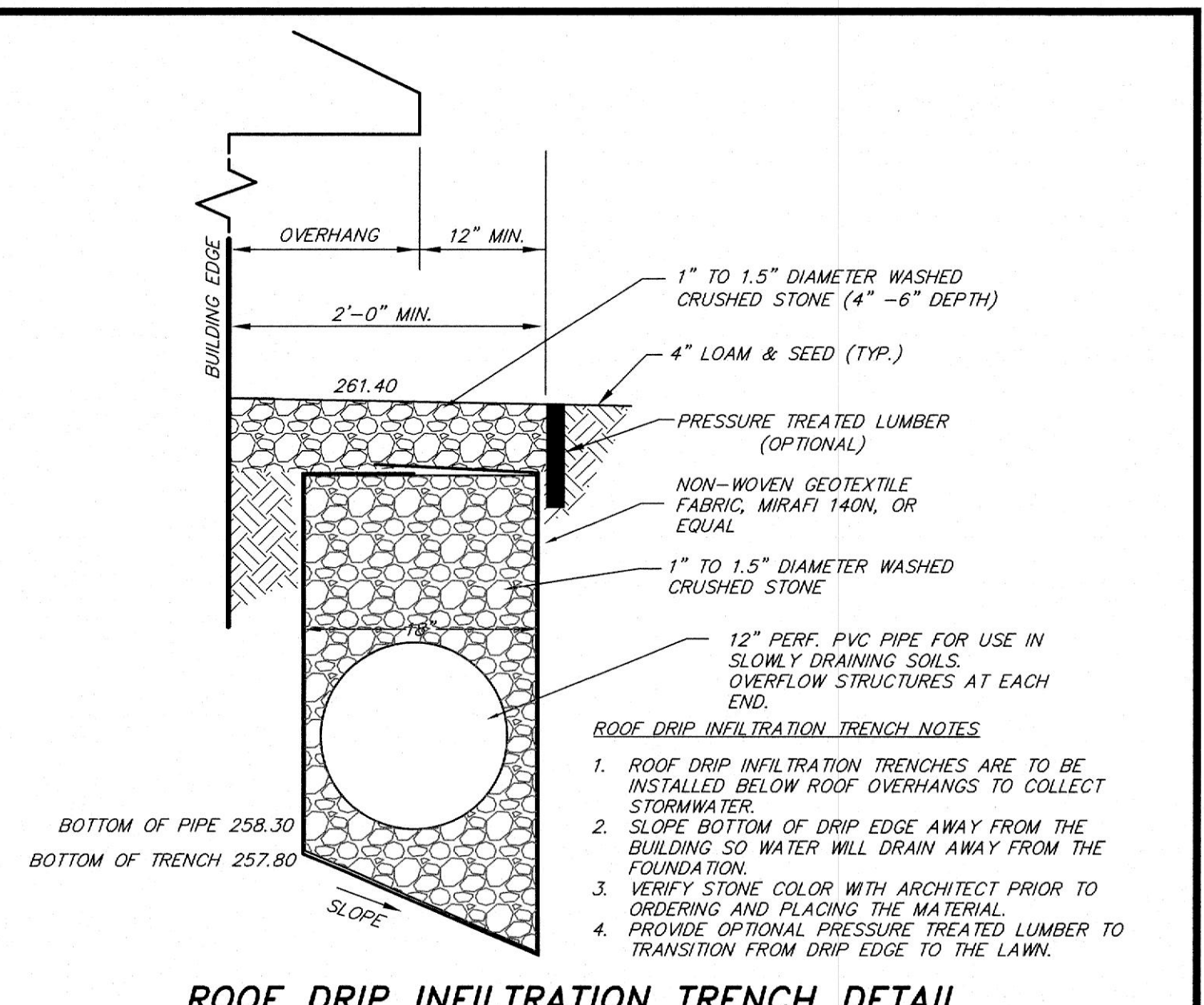
- THE PURPOSE OF THIS PLAN IS TO SHOW THE GRADING AND DRAINAGE IMPROVEMENTS ASSOCIATED WITH THE PROPOSED SITE PLAN.
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY/TOWN OF HUDSON AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
- ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROXIMATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-800-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- REFER TO UTILITY SHEETS FOR DRAINAGE RIMS, INVERTS & PIPE SLOPES.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 HIGH-DENSITY POLYETHYLENE PIPE (SMOOTH INTERIOR (OR APPROVED EQUAL), OR RCP CLASS IV, UNLESS NOTED ON THE PLANS. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND/OR PROTECTION OF ALL UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE WITH THE OWNER OF SAID UTILITIES.
- THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS CONSTRUCTION WORK AT ALL TIMES.
- THE CONTRACTOR SHALL THOROUGHLY SECURE ALL EXCAVATIONS ON A DAILY BASIS AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- CONTRACTOR SHALL VERIFY T.B.M. ELEVATION PRIOR TO THE START OF CONSTRUCTION.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL STABILIZE ALL DITCHES, PONDS, AND SWALES PRIOR TO DIRECTING RUNOFF TO THEM.
- ALL PROPOSED AND EXISTING CATCH BASINS WHICH MAY RECEIVE STORMWATER RUNOFF FROM THE DEVELOPMENT DURING CONSTRUCTION, SHALL BE OUTFITTED WITH STONE INLET PROTECTION OR SILT SACKS (SEE DETAILS SHEETS).
- ALL CATCH BASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
- THE CONTRACTOR SHALL DISPOSE OF ANY UNSUITABLE MATERIAL FOUND ON-SITE (I.E. TRASH, STUMPS, ETC.) IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN IN THE PLAN SET THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE N.H.D.E.S. STANDARDS. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY/TOWN.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THIS PLAN SET, PREPARED BY BEDFORD DESIGN CONSULTANTS, INC., DOES NOT EXTEND TO OR INCLUDE METHODS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REQUIREMENTS.
- ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO N.H.D.O.T., LOCAL CITY/TOWN POLICE DEPARTMENT, AND DEPARTMENT OF PUBLIC WORKS SHALL BE EMPLOYED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- ADJUST ALL MANHOLES, CATCH BASIN, CURB BOXES, ETC. WITHIN THE LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
- THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE.
- CONTRACTOR TO PROVIDE FINISHED PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS, AND LOADING AREAS.
- ALL ELEVATIONS SHOWN AT THE CURB ARE TO THE BOTTOM OF THE CURB UNLESS OTHERWISE NOTED.
- ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6 INCHES. WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
- THE FINISHED GRADE AT THE BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH THE PAVEMENT, WITH A TOLERANCE OF PLUS OR MINUS 1/4".



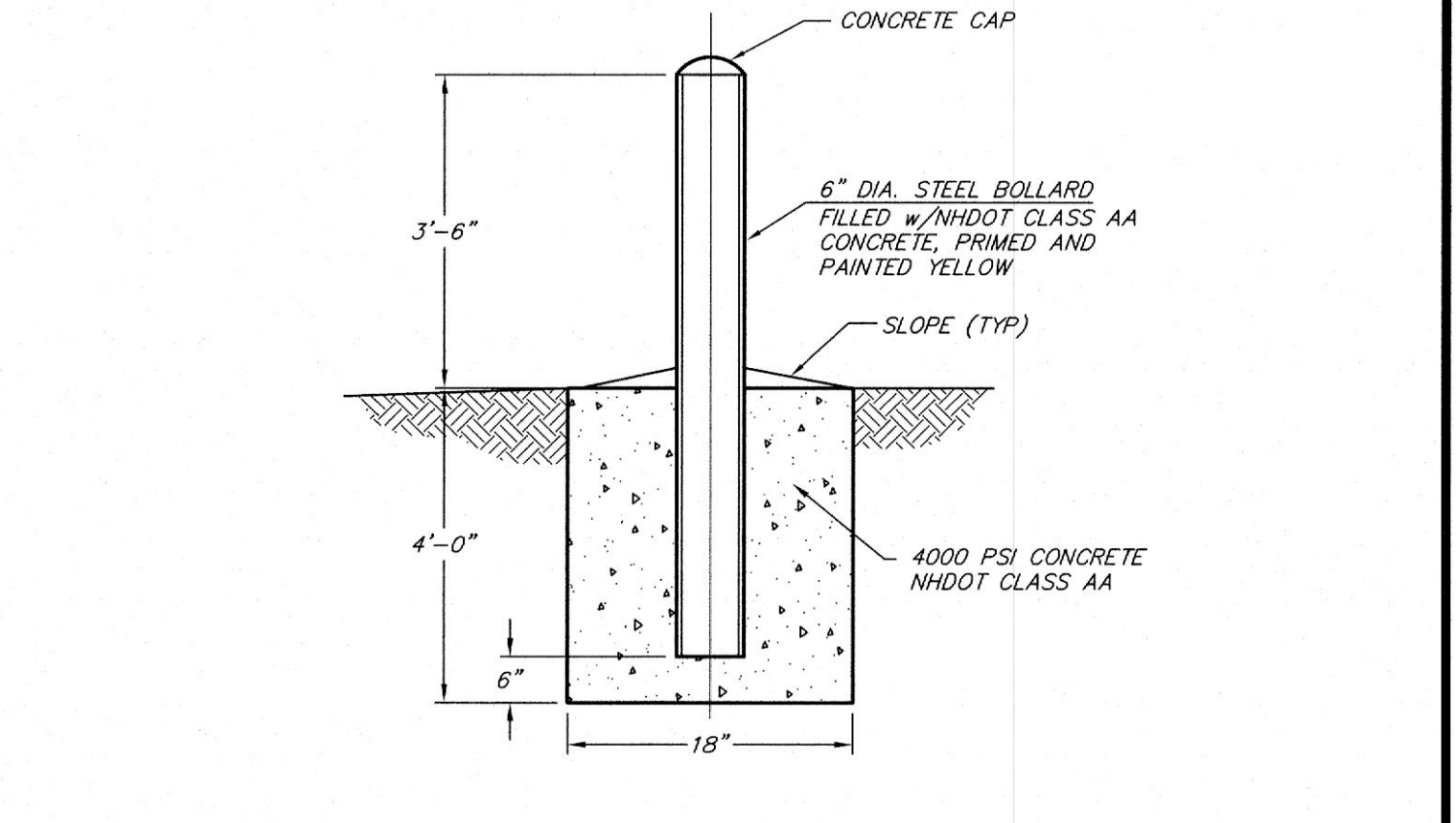
INSTALLATION:
THE SPECIFIED PVC SURFACE DRAINAGE INLET SHALL BE INSTALLED USING CONVENTIONAL FLEXIBLE PIPE BACKFILL MATERIALS AND PROCEDURES. THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS 2 MATERIAL AS DEFINED IN ASTM D2321. BEDDING AND BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED AND COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321. THE DRAIN BASIN BODY WILL BE CUT AT THE TIME OF THE FINAL GRADE. NO BRICK, STONE, OR CONCRETE BLOCK WILL BE REQUIRED TO SET THE GRATE TO THE FINAL GRADE HEIGHT. FOR H-20 LOAD RATED INSTALLATIONS, A CONCRETE RING WILL BE POURED UNDER AND AROUND THE GRATE AND FRAME. THE CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, AND OTHER APPLICABLE DESIGN FACTORS. FOR OTHER INSTALLATION CONSIDERATIONS SUCH AS MIGRATION OF FINES, GROUND WATER, AND SOFT FOUNDATIONS REFER TO ASTM D2321 GUIDELINES.



GRAVEL DRIVE & INFILTRATION TRENCH DETAIL
NOT TO SCALE

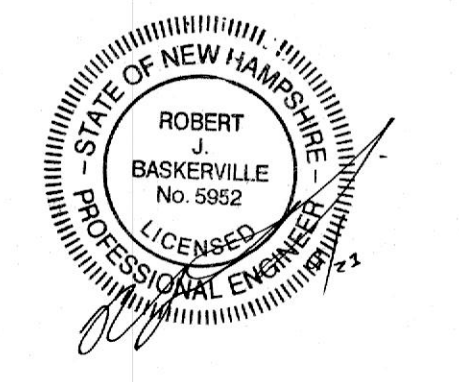


ROOF DRIP INFILTRATION TRENCH DETAIL
NOT TO SCALE



TYPICAL BOLLARD DETAIL
NOT TO SCALE

FOR USE AROUND EXISTING ELECTRICAL CABINET AND PROPANE STORAGE BUILDING



TAX MAP 161 LOT 41
DETAIL SHEET 1
8 INDUSTRIAL DR SITE PLAN AMENDMENT
LOCATED AT:
8 INDUSTRIAL DRIVE
HUDSON, NEW HAMPSHIRE
PREPARED FOR/OWNER:
MDP REALTY ASSOCIATES, LLC
9 OLD DERRY ROAD
HUDSON, STATE

SCALE: 1" = 20' MAY 22, 2023 SHEET 5 OF 6

DESIGN:	DRAWN:	CHECKED:	FB:	PG:
KAW	KAW	RJB	###	###

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www.bedforddesign.com

6-12-23	REVISED USE	KAW	D
8-07-23	REVISED PER PERC TEST	KAW	C
7-14-23	REVISED PER TOWN COMMENTS	KAW	B
6-26-23	REVISED PER TOWN COMMENTS	KAW	A
DATE	DESCRIPTION	BY	REV.

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GENERAL CONSTRUCTION NOTES:

- BOTH THE CONTRACTOR AND OWNER NEED TO SUBMIT A SEPARATE "NOTICE OF INTENT" TO BE COVERED BY THE N.H.D.E.S. GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN, CONTRACTOR, OWNER, AND ALL UTILITY REPRESENTATIVES PRIOR TO CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE HIGHWAY DEPARTMENT HAS BEEN OBTAINED.
- ALL CONSTRUCTION MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (LATEST EDITION) AND LOCAL REGULATIONS.
- ANY SUBSTITUTIONS OF MATERIALS SHALL BE APPROVED BY THE ENGINEER IN WRITING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LOCAL AND STATE CONSTRUCTION PERMITS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- SHOULD GROUND WATER OR UNSUITABLE MATERIALS BE ENCOUNTERED DURING CONSTRUCTION, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY FOR DETERMINATION OF POSSIBLE CONSTRUCTION DESIGN CHANGES SUCH AS (BUT NOT LIMITED TO) UNDERDRAINS OR ALIGNMENT AND GRADE CHANGES.
- CLEARING THE SITE SHALL INCLUDE THE REMOVAL AND DISPOSAL OF DOWN TIMBER, RUBBISH AND DEBRIS FOUND EXISTING WITHIN THE AREAS TO BE CLEARED. CLEARING SHALL NOT TAKE PLACE UNTIL THE CONTRACTOR HAS DETERMINED FROM THE OWNER WHICH TREES ARE TO BE SAVED WITHIN THE CLEARING LIMITS.
- PAVEMENT OF THE ROADWAY SHALL CONSIST OF A HOT BITUMINOUS LAYER, A CRUSHED GRAVEL LAYER AND A GRAVEL SUBBASE LAYER.
 - BITUMINOUS TYPE F WEARING AND TYPE B BASE COURSES SHALL BE CONSTRUCTED PER N.H.D.O.T. SPECIFICATION 401 CONSTRUCTION REQUIREMENTS.
 - GRAVEL SHALL MEET THE REQUIREMENTS OF N.H.D.O.T. 304.2
 - THE CRUSHED GRAVEL SHALL MEET THE REQUIREMENTS OF N.H.D.O.T. 304.3.
 - REFER TO THE TYPICAL ROAD CROSS SECTION DETAIL FOR DIMENSIONS.
- COMPACTION OF BACKFILL:
 - GRASSSED AREAS: EMBANKMENT FILL AREAS SHALL CONSIST OF COMMON FILL PLACED IN 12 INCH LIFTS AND COMPACTED TO 90% ROADWAY.
 - THE COMPACTION REQUIREMENTS FOR MATERIALS PLACED AS BACKFILL, SUBGRADE, BASE COURSE AND PAVEMENT SHALL BE AS SPECIFIED FOR EACH SEPARATE ITEM IN THE N.H.D.O.T. "STANDARD SPECIFICATIONS" FOR ROAD AND BRIDGE CONSTRUCTION.
- CATCH BASINS AND MANHOLES SHALL BE PRE-CAST REINFORCED CONCRETE DESIGNED BY AN ENGINEER REGISTERED IN THE STATE OF NEW HAMPSHIRE AND ABLE TO WITHSTAND LOADINGS OF 8 TONS (H=20 LOADING).
- TRENCH CONSTRUCTION WILL CONFORM WITH SECTION 603.3.1. OF THE N.H.D.O.T. STANDARD SPECIFICATIONS (LATEST EDITION).
- WOOD SHEETING OR A SUITABLE TRENCH BOX SHALL BE USED TO SUPPORT THE TRENCH AS NECESSARY. IF WOOD SHEETING IS USED, IT SHALL BE DRIVEN AT A DISTANCE OF ONE FOOT FROM THE OUTSIDE DIAMETER OF THE PIPE TO A DEPTH SIX INCHES BELOW THE INVERT OF THE PIPE. WOOD SHEETING SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN ONE FOOT ABOVE THE TOP OF THE PIPE, BUT NOT GREATER THAN THREE FEET BELOW THE FINISHED GRADE.
- TRENCH BEDDING SHALL CONFORM WITH SECTION 603.3.2. OF THE STANDARD SPECIFICATIONS (LATEST EDITION). FIRST CLASS BEDDING WILL BE REQUIRED FOR ALL PIPES 48" OR MORE IN DIAMETER OR SPAN.
- BACKFILL MATERIAL FOR TRENCHES WILL CONFORM WITH SECTION 603.3.5. OF THE STANDARD SPECIFICATIONS (LATEST EDITION) AND IN ADDITION, SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTE, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIAL WHICH AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. BACKFILL SHALL NOT BE PLACED ON FROZEN MATERIAL.
- COMPACTION OF TRENCH BACKFILL AND PIPE BEDDING SHALL BE SIX INCH LIFTS FOR BEDDING AND BACKFILL TO A PLANE ONE FOOT ABOVE THE PIPE AND IN 12 INCH LIFTS THEREAFTER BY AN APPROVED MECHANICAL COMPACTOR.
- SHOULD FROZEN MATERIAL BE ENCOUNTERED, IT SHALL NOT BE PLACED IN THE BACKFILL NOR SHALL BACKFILL BE PLACED UPON FROZEN MATERIAL.
- THE DISTURBED AREA SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
- ALL SEEDED AREAS SHALL BE MULCHED WITHIN 24 HOURS AFTER SEEDING. A GOOD QUALITY OF STRAW MULCH SHOULD BE USED AND APPLIED AT THE RATE OF 2 TONS PER ACRE.
- BASEIN FLOORS IN THE INFILTRATION BASINS ARE TO BE DEEPLY TILLED TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG PRIOR TO FINAL SEEDING. STORMWATER FLOWS SHALL NOT BE DIRECTED TO THE INFILTRATION BASINS, SWALES, OR DITCHES UNTIL ALL CONTIGUOUS AREAS HAVE BEEN FULLY STABILIZED.
- ALL SLOPES GREATER THAN 3:1 MUST BE MATTED WITH NORTH AMERICAN GREEN S150BN EROSION CONTROL BLANKETING.
- THE PROJECT SHALL BE MANAGED TO MEET THE REQUIREMENTS OF AND INTENT OF RSA 430:51-57 AND Agr 3800 RELATIVE TO INVASIVE SPECIES: AND FUGITIVE DUST IS TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000.
- THE TOWN OF _____ RESERVES THE RIGHT TO REQUIRE THAT ADDITIONAL EROSION CONTROL MEASURES BE INSTALLED DURING CONSTRUCTION BASED ON FIELD OBSERVATIONS/INSPECTIONS.

CONSTRUCTION SEQUENCE:

- A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN, CONTRACTOR, OWNER, AND ALL UTILITY REPRESENTATIVES PRIOR TO CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE HIGHWAY DEPARTMENT HAS BEEN OBTAINED.
- CLEAR AREA FOR CONSTRUCTION ENTRANCE AND INSTALL STABILIZED CONSTRUCTION ENTRANCES AS SHOWN ON THESE PLANS.
- INSTALL CLEAR TREES IN ROADWAY CONSTRUCTION AREAS ONLY AS SHOWN ON THESE PLANS.
- INSTALL SILT FENCE ALONG LIMIT OF CLEARING, AND AS SHOWN ON THESE PLANS.
- REMOVE STUMPS FROM SITE FOR SITE GRADING (CUT AND/OR FILL) TO SUBGRADE. STABILIZE AREAS WITH BASE GRAVEL WITHIN SIX WEEKS OF REMOVING STUMPS.
- THE MAXIMUM UNSTABILIZED AREA SHALL BE LIMITED TO THE MINIMUM AREA PRACTICABLE FOR SITE CONSTRUCTION (NOT TO EXCEED 5 ACRES). NO AREA SHALL BE LEFT UNSTABILIZED MORE THAN 6 WEEKS. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS HAPPENED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES AS PER THE NOTES IN THESE DRAWINGS. EROSION, SEDIMENT, AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
 - SILT FENCE
 - RIP RAP LINED SWALES
 - RIP RAP APPROXS AT CULVERT OUTLETS
 - TREATMENT SWALES
 - DETENTION PONDS
- ALL DITCHES/SWALES/BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION AND SEDIMENT CONTROL MEASURES.
- BASEIN FLOORS IN THE INFILTRATION BASINS ARE TO BE DEEPLY TILLED TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG PRIOR TO FINAL SEEDING. STORMWATER FLOWS SHALL NOT BE DIRECTED TO THE INFILTRATION BASINS, SWALES, OR DITCHES UNTIL ALL CONTIGUOUS AREAS HAVE BEEN FULLY STABILIZED.
- FINISH CLEARING AND GRUBBING.
- CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS, AS NECESSARY.
- CONSTRUCT CONSTRUCTION ENTRANCE FOR ACCESS TO DESIRED CONSTRUCTION AREAS.
- BEGIN CONSTRUCTION OF UTILITIES AND STORM DRAINAGE AS NECESSARY.
- MODIFY EROSION CONTROL MEASURES AS NECESSARY DURING CONSTRUCTION.
- BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH. ALL CUT AND FILL SLOPES SHALL BE STABILIZED DAILY; OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAIN DITCHES, SILT FENCES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS NECESSARY. SPREAD ALL GRAVELS AND PAVE ROADWAY AREAS AS SPECIFIED ON THE PLAN.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. ALL EROSION AND SEDIMENT CONTROLS NEED TO BE INSPECTED WEEKLY AND AFTER EVERY 0.5" OF RAINFALL.
- COMPLETE ALL EROSION AND SEDIMENT CONTROL MEASURES.
- ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 72 HOURS OF FINISH GRADING. MAXIMUM EXPOSURE LENGTH FOR ALL DISTURBED AREAS IS 30 DAYS.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE ESTABLISHED THEMSELVES AND SITE WORKS/OPERATIONS ARE COMPLETED.
- LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

SITE MAINTENANCE AND INSPECTION PROGRAM

- INSPECTIONS**
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT. MAINTENANCE PRACTICES SHALL INCLUDE, BUT ARE NOT LIMITED TO:
 - CLEANING OF CATCH BASINS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY WEEKLY INSPECTIONS AND/OR AFTER 0.5" RAINFALL EVENTS.
 - CLEANING OF SEDIMENT OR DEBRIS FROM STORM WATER MANAGEMENT AREA INLETS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY WEEKLY INSPECTIONS AND/OR AFTER 0.5" RAINFALL EVENTS.
 - WEEKLY SITE INSPECTIONS TO DETERMINE/IMPLEMENT NECESSARY REPAIR AND MAINTENANCE ACTIVITIES.
 - REMOVAL OF SEDIMENT BUILDUP ALONG SILT FENCES, STRAW BALE BARRIERS, GRASS SWALES, AND TREATMENT BASIN INLETS. REMOVE SEDIMENT BUILDUP IN BOTTOM OF TREATMENT BASINS SUCH THAT ALL OUTLETS ARE KEPT FREE FROM SEDIMENT AND DEBRIS.
 - INSPECTION/RECONSTRUCTION OF THE STABILIZED CONSTRUCTION ENTRANCE.
 - TREATMENT OF NON-STORMWATER RELATED DISCHARGES SUCH AS WATER LINE INSTALLATION FLUSH WATER OR GROUNDWATER FROM DEWATERING ACTIVITIES. THESE FLOWS SHOULD BE DIRECTED TO A TEMPORARY SEDIMENTATION BASIN OR CONSTRUCTED STORM WATER MANAGEMENT AREA WITH WATER QUALITY SKIMMER OUTLETS.
 - SWEEP PAVED PARKING LOTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION.
- GOOD HOUSEKEEPING PRACTICES**
 THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM WATER RUNOFF. THE CONTRACTOR SHALL USE CARE IN THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THE USE OF THESE PRODUCTS IS MINIMIZED. THE FOLLOWING PRACTICES SHALL BE FOLLOWED DURING THE CONSTRUCTION OF THIS PROJECT:
 - AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED FOR THIS SPECIFIC SITE.
 - ALL MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER SUITABLE ENCLOSURE.
 - PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR ORIGINAL LABELS.
 - WHENEVER POSSIBLE, ALL OF THE PRODUCT SHALL BE USED BEFORE DISPOSAL OF THE CONTAINER.
 - THE MANUFACTURER'S RECOMMENDATIONS SHALL BE FOLLOWED IN REGARD TO THE PROPER USE AND DISPOSAL OF ALL PRODUCTS.
 - THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE THE PROPER USE AND DISPOSAL OF ALL MATERIALS ON SITE.
- SPILL PREVENTION AND CLEANUP PRACTICES**
 THE CONTRACTOR/OPERATOR SHALL BE RESPONSIBLE FOR THE SAFE HANDLING, USE AND DISPOSAL PROGRAM OF ALL HAZARDOUS MATERIALS FOR THE DURATION OF THIS PROJECT AND SHALL HAVE A SPECIFIC SPILL PREVENTION AND CLEANUP PROTOCOL FOR ALL HAZARDOUS MATERIALS, INCLUDING, BUT NOT LIMITED TO:
 - MANUFACTURERS RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THESE PROCEDURES AND THE LOCATION OF THE CLEANUP SUPPLIES.
 - MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIAL WILL INCLUDE, BUT NOT BE LIMITED TO, BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAUOUST, AND PLASTIC/METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
 - ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
 - THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
 - SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
 - THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING, AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

COLD WEATHER STABILIZATION

- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE, THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN LOW CONDITIONS.
- AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3. TO ADEQUATELY PROTECT WATER QUALITY DURING COLD WEATHER AND DURING SPRING RUNOFF.

GENERAL EROSION CONTROL NOTES:

- PERMETER CONTROLS MUST BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS;
- STORMWATER TREATMENT PONDS AND DRAINAGE SWALES MUST BE INSTALLED BEFORE ROUGH GRADING THE SITE;
- RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMPs ARE STABILIZED;
- BASINS, DITCHES AND SWALES MUST BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM;
- ROADWAYS AND PARKING AREAS MUST BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE;
- CUT AND FILL SLOPES MUST BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE;
- ALL AREAS OF UNSTABILIZED SOIL MUST BE STABILIZED AS SOON AS PRACTICABLE BUT NO LATER THAN 45 DAYS OF INITIAL DISTURBANCE;
- EROSION CONTROL PRACTICES MUST BE INSPECTED AT LEAST WEEKLY AND AFTER EVERY RAIN EVENT OF 0.5 INCH OR MORE;
- THE AREA OF DISTURBANCE MUST BE LIMITED TO 5 ACRES UNLESS ENV-WQ 1506.05 RELATIVE TO COLD WEATHER STABILIZATION APPLIES;
- IN AREAS THAT WILL NOT BE PAVED, STABLE MEANS THAT:
 - A MINIMUM OF 85% VEGETATIVE COVER HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN INSTALLED IN ACCORDANCE WITH ENV-WQ 1506.03; AND
- IN AREAS TO BE PAVED, STABLE MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.

TEMPORARY SEDIMENT TRAP. TEMPORARY SEDIMENT TRAPS SHALL COMPLY WITH THE FOLLOWING:

- THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE;
- THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE TRAP SHALL BE LESS THAN 5 ACRES;
- THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA;
- THE SIDE SLOPES OF THE TRAP SHALL BE 3:1 OR FLATTER, AND SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION;
- THE OUTLET OF THE TRAP SHALL BE A MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP AND SHALL DISCHARGE TO A STABILIZED AREA;
- THE TRAP SHALL BE CLEARED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS FILLED; AND
- THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.

CONSTRUCTION DEWATERING. DEWATERING SHALL COMPLY WITH THE FOLLOWING:

- THE DISCHARGE SHALL BE STOPPED IMMEDIATELY IF THE RECEIVING AREA SHOWS ANY SIGN OF INSTABILITY OR EROSION;
- ALL CHANNELS, SWALES, AND DITCHES DUG FOR DISCHARGING WATER FROM THE EXCAVATED AREA SHALL BE STABLE PRIOR TO DIRECTING DISCHARGE TO THEM;
- IF A CONSTRUCTION EQUIPMENT BUCKET IS USED, IT SHALL EMPTY THE MATERIAL TO A STABLE AREA;
- NO DEWATERING SHALL OCCUR DURING PERIODS OF INTENSE, HEAVY RAIN;
- FLOW TO THE SEDIMENT REMOVAL STRUCTURE SHALL NOT EXCEED THE STRUCTURE'S CAPACITY TO SETTLE AND FILTER FLOW OR ITS VOLUME CAPACITY; AND
- WHEREVER POSSIBLE, THE DISCHARGE FROM THE SEDIMENT REMOVAL STRUCTURE SHALL DRAIN TO A WELL-VEGETATED BUFFER BY SHEET FLOW WHILE MAXIMIZING THE
- DISTANCE TO THE NEAREST WATER RESOURCE AND MINIMIZING THE SLOPE OF THE BUFFER AREA

TEMPORARY STORMWATER DIVERSION. TEMPORARY STORMWATER DIVERSION SHALL COMPLY WITH THE FOLLOWING:

- WHEN NECESSARY TO MINIMIZE RELEASE OF SEDIMENT-LADEN RUNOFF PRIOR TO STABILIZATION OF THE SITE THE PERMANENT STORMWATER MANAGEMENT SYSTEM COMPONENTS, SEDIMENT-LADEN WATER SHALL BE DIVERTED AND STORED IN TEMPORARY DIVERSION PRACTICES SUCH AS SEDIMENT BASINS OR TRENCHES;
- SUBJECT TO (C), BELOW, TEMPORARY DIVERSION PRACTICES SHALL BE STABILIZED PRIOR TO STABILIZING RUNOFF;
- TEMPORARY DIVERSION CHANNELS WITH A GRADIENT OF 2 PERCENT OR GREATER SHALL BE STABILIZED, HOWEVER CHANNELS WITH A SLOPE OF LESS THAN 2% SHALL BE STABILIZED ONLY IF EROSION IS OBSERVED;
- THE AREA DRAINING TO EACH TEMPORARY DIVERSION PRACTICE SHALL BE LESS THAN 5 ACRES;
- TEMPORARY DIVERSION CHANNELS SHALL CONVEY, AND TEMPORARY BASINS AND TRENCHES SHALL CONTAIN, THE 2-YEAR, 24 HOUR DESIGN STORM WITHOUT OVERTOPPING THE BANKS;
- THE BED SLOPE OF DIVERSION CHANNELS SHALL HAVE A POSITIVE GRADE TO ASSURE DRAINAGE;
- WHERE DIVERSIONS CARRY CONCENTRATED FLOWS, ENERGY DISSIPATION METHODS SHALL BE IMPLEMENTED TO DISPERSE FLOW INTO AREAS DOWNSTREAM OF THE DISTURBED AREA;
- IF EROSION OF DIVERSION PRACTICES OCCURS DURING CONSTRUCTION, CORRECTIVE ACTION SHALL BE TAKEN TO STABILIZE THE BASIN, CHANNEL, AND BERM, AND
- DIVERSION BASINS AND TRENCHES SHALL BE CLEARED OF SEDIMENT WHENEVER SEDIMENT ACCUMULATES.

SEEDING/MULCHING OF DISTURBED AREAS

TEMPORARY AND PERMANENT MULCHING. MULCHING SHALL COMPLY WITH THE FOLLOWING:

- HAY AND STRAW MULCHES SHALL BE ANCHORED WITH MULCH NETTING OR TACKIFIER SO THAT THEY ARE NOT BLOWN AWAY BY WIND OR WASHED AWAY BY FLOWING WATER;
- MULCH MATERIALS SHALL BE SELECTED BASED UPON SOILS, SLOPE, FLOW CONDITIONS, AND TIME OF YEAR;
- HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE OF 1.5 TO 2 TONS PER ACRE, EQUIVALENT TO 70 TO 90 POUNDS PER 1,000 SQUARE FEET;
- WOOD CHIPS OR GROUND BARK SHALL BE APPLIED AT 2 TO 6 INCHES DEEP AT A RATE OF 10 TO 20 TONS PER ACRE, EQUIVALENT TO 450 TO 900 POUNDS PER 1,000 SQUARE FEET;
- LUTE AND FIBROUS MATS AND WOOD EXCelsior SHALL BE INSTALLED ACCORDING TO THE APPLICABLE MANUFACTURER'S INSTRUCTIONS; AND
- EROSION CONTROL MIX SHALL:
 - MEET THE CRITERIA OF ENV-WQ 1506.05(B); AND
 - BE PLACED AT A THICKNESS OF 2 INCHES OR MORE.

VEGETATION. VEGETATING DISTURBED AREAS SHALL BE COMPLETED ONLY AS SPECIFIED BELOW:

- ALL ESSENTIAL GRADING AND TEMPORARY STRUCTURES, SUCH AS DIVERSIONS, DAMS, DITCHES, AND DRAINS NEEDED TO PREVENT GULLYING AND REDUCE SILTATION, SHOULD BE COMPLETED PRIOR TO SEEDING.
- STONES AND TRASH SHALL BE REMOVED FROM THE AREA TO BE SEEDED SO AS NOT TO INTERFERE WITH THE SEEDING;
- TILL THE SOIL TO A DEPTH OF ABOUT FOUR (4) INCHES TO PREPARE A SEEDED AND MIX FERTILIZER INTO THE SOIL. THE SEEDED SHOULD BE LEFT IN A FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ON SLOPES 4:1 OR STEEPER, FINAL PREPARATION OF THE AREA TO BE SEEDED SHALL INCLUDE CREATING GROOVES IN THE SOIL PERPENDICULAR TO THE DIRECTION OF THE SLOPE TO CATCH SEED AND REDUCE RUNOFF;
- IF NEEDED TO ENSURE GROWTH, FERTILIZER OR OTHER ORGANIC SOIL AMENDMENTS SHALL BE APPLIED DURING THE GROWING SEASON;
- FERTILIZER APPLIED TO ANY AREA WITHIN 100 FEET OF ANY RIVER, STREAM, POND, OR LAKE SHALL BE LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER ONLY;
- FERTILIZER APPLIED TO ANY AREA THAT IS SUBJECT TO RSA 483-B, THE COMPREHENSIVE WATER QUALITY PROTECTION ACT (ACT), SHALL MEET OR BE MORE PROTECTIVE OF WATER QUALITY THAN THE MINIMUM STANDARDS OF THE ACT;
- ALL SEEDED AREAS SHALL BE FERTILIZED, FERTILIZATION SHALL BE AT THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER.
- ALL GRADED AREAS SHALL BE SEEDED WITH:
 - TALL FESCUE: 20 POUNDS PER ACRE
 - CREeping RED FESCUE: 20 POUNDS PER ACRE
 - BIRDSFOOT TREFLOIL: 8 POUNDS PER ACRE
 - TOTAL 48 POUNDS PER ACRE LIVE SEED

- SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING, AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH 0.25 IN. OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
- RUNOFF SHALL BE DIVERTED FROM THE SEEDED AREA;
- SUBJECT TO (N) BELOW, SEEDING SHALL OCCUR PRIOR TO SEPTEMBER 15TH OF THE YEAR IN WHICH THE AREA BEING SEEDED WAS DISTURBED;
- AREAS SEEDED BETWEEN MAY 15TH TO AUGUST 15TH SHALL BE COVERED WITH HAY OR STRAW MULCH MEETING THE CRITERIA OF ENV-WQ 1506.01(A) THROUGH (C); AND
- IF VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA IS NOT ACHIEVED PRIOR TO OCTOBER 15TH, ONE OR MORE ADDITIONAL EROSION CONTROL METHODS SHALL BE IMPLEMENTED.

TEMPORARY SEEDING/MULCHING

TEMPORARY SEEDING SHALL COMPLY WITH THE FOLLOWING:

- TEMPORARY VEGETATION CONSISTS OF THE ESTABLISHMENT OF A GRASS COVER ON EXPOSED SOILS FOR UP TO 12 MONTHS. THE PURPOSE IS TO REDUCE EROSION AND SEDIMENTATION BY STABILIZING DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE FOR A YEAR OR LESS AND TO REDUCE PROBLEMS ASSOCIATED WITH MUD AND DUST PRODUCTION FROM EXPOSED SOILS DURING CONSTRUCTION. ALL ESSENTIAL GRADING AND TEMPORARY STRUCTURES, SUCH AS DIVERSIONS, DAMS, DITCHES, AND DRAINS NEEDED TO PREVENT GULLYING AND REDUCE SILTATION, SHOULD BE COMPLETED PRIOR TO SEEDING.
- SEEDED PREPARATION
 REMOVE THE STONES AND TRASH THAT WILL INTERFERE WITH SEEDING OF THE AREA. WHERE FEASIBLE, TILL THE SOIL TO A DEPTH OF ABOUT FOUR (4) INCHES TO PREPARE A SEEDED AND MIX FERTILIZER INTO THE SOIL. THE SEEDED SHOULD BE LEFT IN A FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- FERTILIZERS
 FERTILIZER SHOULD BE UNIFORMLY SPREAD OVER THE AREA PRIOR TO BEING INCORPORATED INTO THE SOIL. A MINIMUM OF 300 POUNDS PER ACRE (7 POUNDS PER 1,000 SQUARE FEET) OF 10-10-10 FERTILIZER, OR ITS EQUIVALENT, SHOULD BE APPLIED.
- SEED AND SEEDING
 TIME AND SEEDING RATES MAY BE SELECTED FROM THE TABLE BELOW. THE SELECTION WILL BE BASED ON THE SEED OF YEAR THE SEEDING IS TO BE MADE AND THE LENGTH OF TIME THE VEGETATION IS TO AFFORD THE PROTECTION. THE SEED SHOULD BE SPREAD UNIFORMLY OVER THE AREA. AFTER SEEDING, THE SOIL SHOULD BE FIRMED BY ROLLING OR PACKING. WHERE ROLLING OR PACKING IS NOT FEASIBLE, THE SEED SHOULD BE COVERED LIGHTLY BY RAKING, DISKING, OR DRAGGING.
- MULCHING
 MULCH THE AREA WITH HAY OR STRAW AT 2 TONS/AC. (90 LBS/1000 S.F. OR 2 BALES/1000 S.F.). QUALITY OF HAY OR STRAW MULCH ALLOWABLE WILL BE DETERMINED BASED ON LONG TERM USE AND VISUAL CONCERNS. MULCH ANCHORING NETTING SHOULD BE REQUIRED WHERE WIND OR AREAS OF WATER ARE A CONCERN. WOOD FIBER, HYDROMULCH OR OTHER SPRAYABLE PRODUCTS MAY BE USED IF APPLIED ACCORDING TO MANUFACTURERS SPECIFICATIONS.
- PLANT SELECTION AND SEEDING RATES

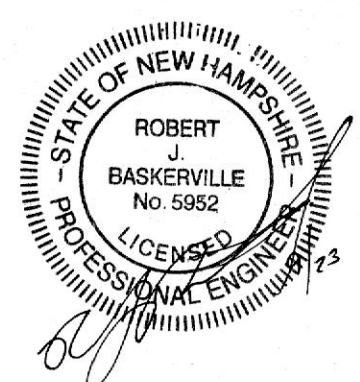
SPECIES	PER ACRE	PER 1000 SQ. FT.	REMARKS
WINTER RYE	90 LBS.	2 LBS.	BEST FOR FALL SEEDING. SEED FROM AUGUST 15 TO SEPT. 5 FOR BEST COVER. SEED TO A DEPTH OF 1 IN.
ANNUAL RYEGRASS	20 LBS.	0.5 LB.	GROWS QUICKLY, BUT IS OF SHORT DURATION. USE WHERE APPEARANCES ARE IMPORTANT. SEED EARLY. SPRING. COVER THE SEED WITH NO MORE THAN 0.25 INCH OF SOIL.
PERENNIAL RYEGRASS	20 LBS.	0.5 LBS.	GOOD COVER WHICH IS LONGER LASTING THAN ANNUAL RYEGRASS. SEED BETWEEN APRIL 1 AND JUNE 1. MULCHING WILL ALLOW SEEDING THROUGHOUT THE GROWING SEASON. SEED TO A DEPTH OF APPROXIMATELY 0.5 INCH.

- ESTABLISHING A STAND
 SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING, AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.

FUELING AND MAINTENANCE OF CONSTRUCTION EQUIPMENT

- IF ANY CONSTRUCTION EQUIPMENT, INCLUDING BUT NOT LIMITED TO EARTHMOVING, EXCAVATION, AND BORING EQUIPMENT, WILL BE FUELED FROM A TANK TRUCK OR OTHER CONTAINER THAT IS MOVED AROUND THE SITE, THE FOLLOWING SHALL APPLY:
 - PORTABLE CONTAINMENT EQUIPMENT THAT IS SIZED TO CONTAIN THE MOST LIKELY VOLUME OF FUEL TO BE SPILLED DURING A FUEL TRANSFER SHALL BE USED, WHERE THE MOST LIKELY VOLUME TO BE SPILLED IS DETERMINED BASED ON THE FUEL TRANSFER RATE, THE AMOUNT OF FUEL BEING TRANSFERRED, THE DISTANCE BETWEEN THE HOSE NOZZLE AND PUMP SHUT OFF SWITCH, AND THE RESPONSE TIME OF PERSONNEL AND EQUIPMENT AVAILABLE AT THE FACILITY;
 - THE CONTAINMENT EQUIPMENT SHALL BE POSITIONED TO CATCH ANY FUEL SPILLS DUE TO OVERRILLING THE EQUIPMENT AND ANY OTHER SPILLS THAT MIGHT OCCUR AT OR NEAR THE FUEL FILLER PORT TO THAT EQUIPMENT;
 - THE TYPE OF CONTAINMENT EQUIPMENT USED AND ITS POSITIONING AND USE SHALL ACCOUNT FOR ALL OF THE DRIP POINTS ASSOCIATED WITH THE FUEL FILLING PORT AND THE HOSE FROM THE FUEL DELIVERY TRUCK; AND
 - PERSONNEL SHALL NOT LEAVE THE IMMEDIATE AREA WHILE FUEL IS BEING TRANSFERRED, TO ENSURE THAT ANY SPILLS WILL BE OF LIMITED VOLUME.
- IF THE SITE WILL HAVE A FIXED LOCATION FOR FUELING CONSTRUCTION EQUIPMENT, THE FOLLOWING SHALL APPLY:
 - ALL FUEL CONTAINERS, INCLUDING BUT NOT LIMITED TO SKID-MOUNTED TANKS, DRUMS, AND FIVE GALLON CANS, SHALL HAVE SECONDARY CONTAINMENT THAT:
 - IS CAPABLE OF CONTAINING 110% OF THE VOLUME OF THE LARGEST FUEL STORAGE CONTAINER; AND
 - HAS AN IMPERVIOUS FLOOR;
 - SECONDARY CONTAINMENT FOR TANKS MAY COMPRISE A METAL, PLASTIC, POLYMER OR PRECAST CONCRETE VAULT PROVIDING 110 PERCENT OF THE VOLUME OF THE LARGEST FUEL STORAGE CONTAINER;
 - FOR FUEL CONTAINERS, SECONDARY CONTAINMENT MAY COMPRISE CONTAINMENT PALLET;
 - THE AREA WHERE FUEL IS TRANSFERRED SHALL BE A FLAT, IMPERVIOUS AREA THAT:
 - IS ADJACENT TO THE FUEL CONTAINER(S); AND
 - EXTENDS BEYOND THE FULL REACH, OR LENGTH, OF THE FUEL HOSE; AND
 - SECONDARY CONTAINMENT AREAS MAY BE IN THE FORM OF A BASIN THAT IS:
 - SLOPED DOWN TO A CENTRAL LOW POINT OR BERMED ALONG THE PERIMETER;
 - LINED WITH A CONTINUOUS SHEET OF 20 MIL OR THICKER POLYMER MATERIAL OR APPROPRIATE GEOMEMBRANE LINER; AND
 - BACKFILLED WITH AT LEAST 6 INCHES OF SAND

OWNER'S SIGNATURE	
NAME _____ DATE _____	
MARCO PLANTE MDP REALTY ASSOCIATES, LLC. 9 OLD DERRY ROAD HUDSON, NH	
APPROVED BY THE HUDSON, NH PLANNING BOARD	
DATE OF MEETING: _____ DATE _____	
SIGNATURE _____ DATE _____	
SIGNATURE _____ DATE _____	
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES ONE YEAR FROM THE DATE OF APPROVAL.	
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.	



TAX MAP 161 LOT 41

DETAIL SHEET 1

8 INDUSTRIAL DR SITE PLAN AMENDMENT

LOCATED AT:
8 INDUSTRIAL DRIVE
HUDSON, NEW HAMPSHIRE
 PREPARED FOR/OWNER:
 MDP REALTY ASSOCIATES, LLC
 9 OLD DERRY ROAD
 HUDSON, STATE

SCALE: 1" = 20'	MAY 22, 2023	SHEET 6 OF 6
DESIGN: KAW	DRAWN: KAW	CHECKED: RJB
FB: ###	PG: ###	503-14

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DATE	DESCRIPTION	BY	REV.
9-12-23	REVISED USE	KAW	D
8-07-23	REVISED PER PERC TEST	KAW	C
7-14-23	REVISED PER TOWN COMMENTS	KAW	B
6-26-23	REVISED PER TOWN COMMENTS	KAW	A

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