

MAP 165, LOT 155 SITE PLAN

PROPOSED DRIVE-THRU RESTAURANT

77 DERRY STREET HUDSON, NEW HAMPSHIRE

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	BUILDING RENDERING (FACSIMILE)	
PURSUANT TO THE	APPROVED BY THE HUDSON, NH PLANNIN	IG BOARD
SITE REVIEW REGULATIONS OF	DATE OF MEETING:	
THE HUDSON PLANNING BOARD, THE SITE PLAN	CHAIRMAN: SIGNATURE DATE	₹
APPROVAL GRANTED HEREIN	SECRETARY: SIGNATURE DATE	
EXPIRES TWO 'EARS FROM DATE OF APPROVAL	SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF I MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT BOARD MEETING DATE AT WHICH THE PLAN RECIEVES FINA	THE PLANNING

PREPARED FOR/RECORD OWNER

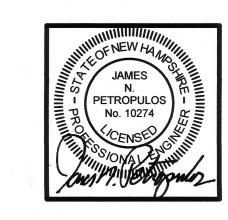
HUDSON-VICKERRY, LLC

c/o THE MEG COMPANIES 25 ORCHARD VIEW DRIVE LONDONDERRY, NH 03053 (603) 434-6700

16 FEBRUARY 2024

REVISED 22 MAY 2024

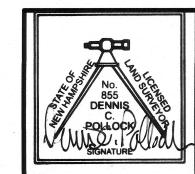
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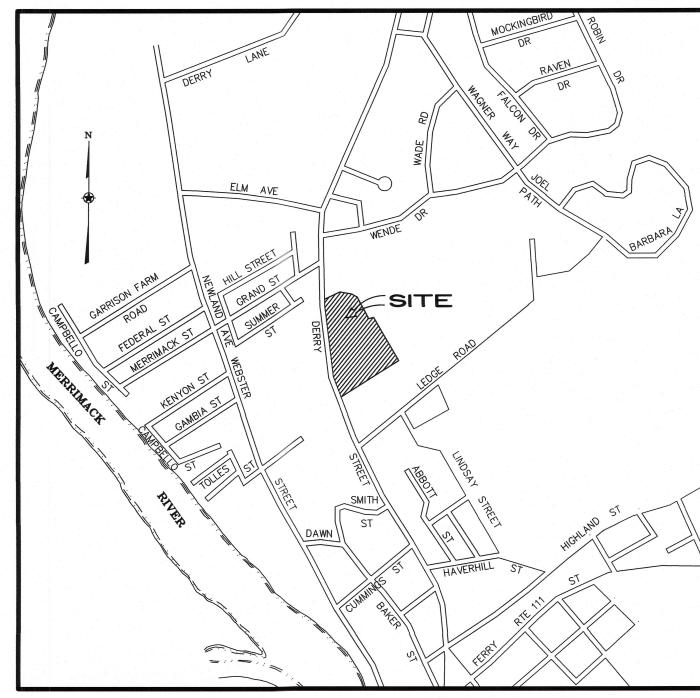




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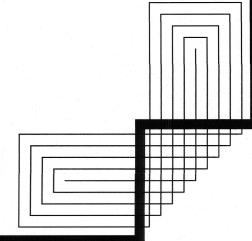
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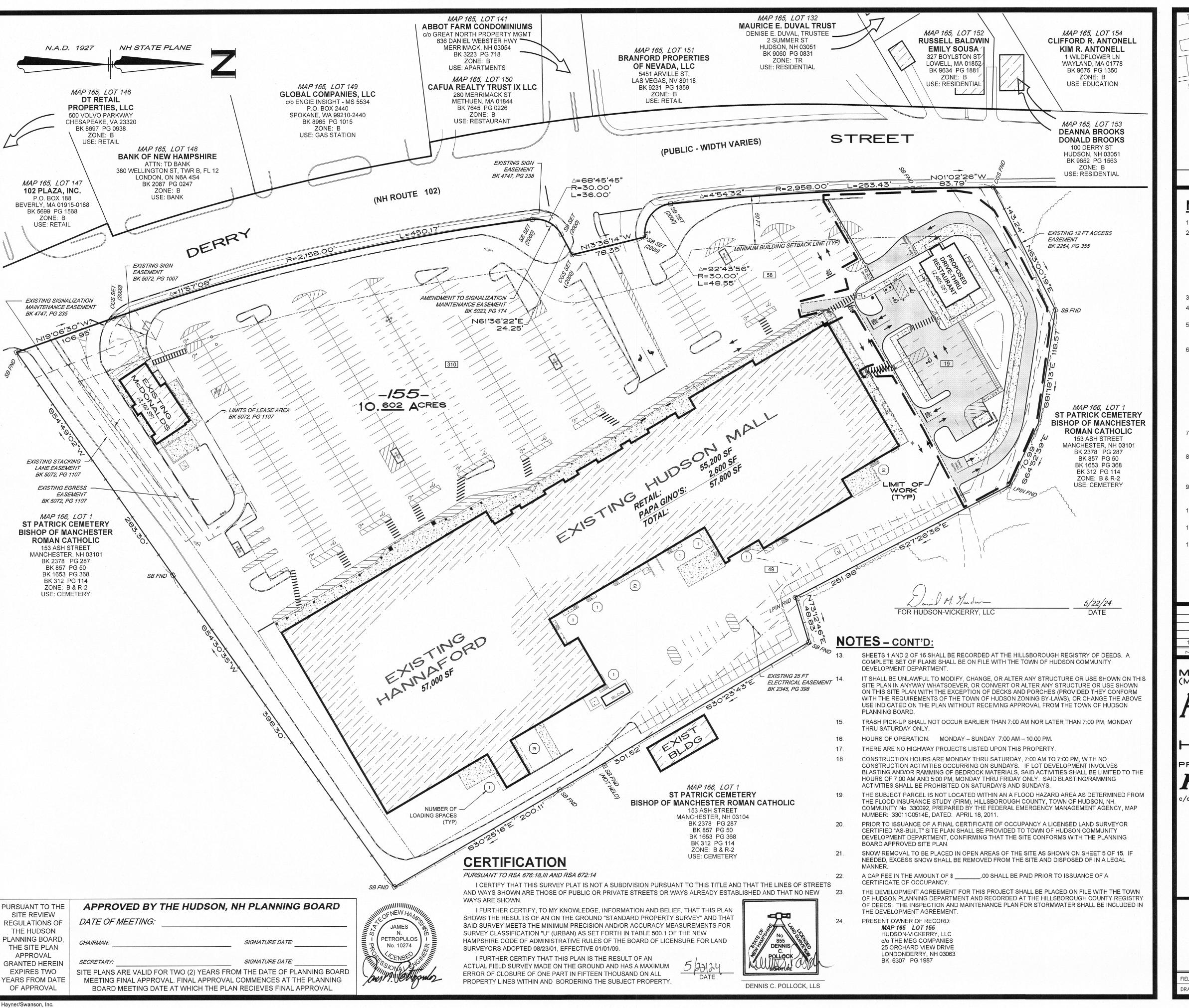


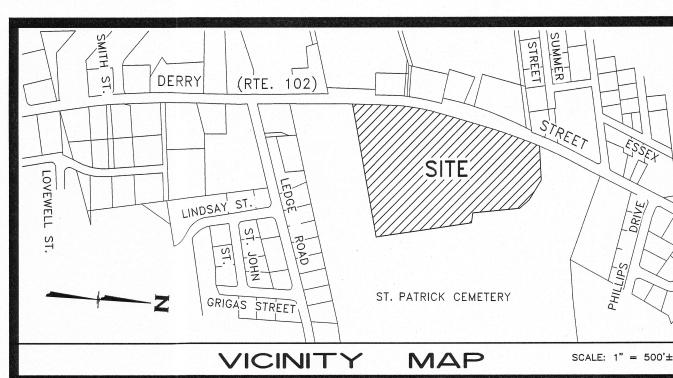


VICINITY PLAN
SCALE: 1" = 1,000'









NOTES:

LOT AREA: (MAP 165, LOT 155) 10.602± ACRES (461,823± SF) PRESENT ZONING: B - BUSINESS MINIMUM LOT REQUIREMENTS: - LOT AREA 30,000 SE - LOT FRONTAGE 150 FT MINIMUM BUILDING SETBACKS REQUIREMENTS - FRONT YARD - SIDE YARD 35 FT - REAR YARD 15 FT MAXIMUM BUILDING HEIGHT 15 FT

LOT NUMBERS REFER TO THE TOWN OF HUDSON ASSESSORS MAPS 165 & 166.

SITE IS CURRENTLY SERVICED BY MUNICIPAL WATER AND MUNICIPAL SEWER, GAS AND OVERHEAD ELECTRIC AND TELECOMMUNICATION UTILITIES.

TO SHOW PROPOSED DRIVE-THRU RESTAURANT ALONG WITH ACCOMPANYING PARKING AND SITE IMPROVEMENTS ON MAP 165, LOT 155.

PARKING:

= 486 SPACES EXISTING: REQUIRED (MINIMUM): 1 SPACE/200 SF X 55,200 SF = 276 SPACES EXISTING MALL (RETAIL): EXISTING MALL (HANNAFORD): 1 SPACE/200 SF X 57,000 SF = 286 SPACES = 31 SPACES **EXISTING MCDONALDS:** 1 SPACE/100 SF X 3,100 SF **EXISTING PAPA GINO'S** 1 SPACE/100 SF X 2,600 SF 26 SPACES PROPOSED DRIVE-THRU RESTAURANT 1 SPACE/100 SF X 2,465 SF = 25 SPACES = 644 SPACES

= 437 SPACES

LOADING: 13 SPACES REQUIRED: PROVIDED: 14 SPACES OPEN SPACE: REQUIRED: 35 %

PROPOSED:

EXISTING: 9.6±% PROPOSED: 13.0±% BUILDING HEIGHT: 21± FT (25± FT AT LOADING DOCKS) EXISTING:

PROPOSED: ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD PRIOR TO INSTALLATION THEREOF.

SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT (LATEST EDITION).

SITE LIGHTING SHALL BE SHOWN ON THE PLAN, DIRECTED ONTO THE SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.



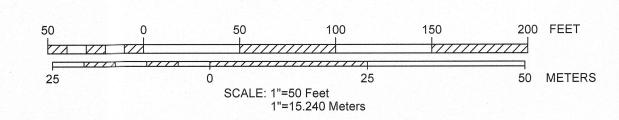
MASTER SITE PLAN (MAP 165, LOT 155)

77 DERRY STREET HUDSON, NEW HAMPSHIRE

PREPARED FOR / RECORD OWNER:

HUDSON-VICKERRY, LLC

c/o THE MEG COMPANIES 25 ORCHARD VIEW DRIVE LONDONDERRY, NH 03053 (603) 434-6700



16 FEBRUARY 2024



Civil Engineers/Land Surveyors 131 Middlesex Turnpike 3 Congress Street Nashua, NH 03062 Burlington, MA 01803 (781) 203-1501 (603) 883-2057

www.hayner-swanson.com DRAWING NAME: 1708SB-FQ51 FIELD BOOK: 1161 1708-SB DRAWING LOC: J: \1000\1708\DWG\1708 SB

PLAN REFERENCES:

- AMENDED SITE PLAN, LOT 53, MAP 59, HUDSON MALL, DERRY STREET ROUTE 102, HUDSON, NEW HAMPSHIRE, PREPARED FOR: HUDSON-VICKERRY REALTY TRUST, SCALE: 1" = 50', DATED: 25 JUNE 1996 WITH REVISIONS THRU 05/14/97 AND PREPARED BY THIS
- RECORDED HCRD PLAN No. 28683.
- REVISED SITE PLAN, LOT 53, MAP 59, HUDSON MALL, DERRY STREET, HUDSON, NEW HAMPSHIRE, PREPARED FOR: HUDSON-VICKERRY REALTY CO. TRUST, SCALE: 1" = 50', DATED: 17 NOVEMBER 1988 WITH REVISIONS THRU 08/31/89 AND PREPARED BY: ALLAN H. RECORDED HCRD PLAN No. 23745.
- REVISED SITE PLAN, LOT 53, MAP 59, HUDSON MALL, DERRY STREET, HUDSON, NEW HAMPSHIRE, PREPARED FOR: HUDSON-VICKERRY REALTY CO. TRUST, SCALE: 1" = 50', DATED: 17 NOVEMBER 1988 AND PREPARED BY: ALLAN H. SWANSON, INC. RECORDED HCRD PLAN No. 22934.
- SITE PLAN, MAP 59 / LOT 53, DERRY STREET, HUDSON, NH, PREPARED FOR: HUDSON-VICKERRY REALTY CO. TRUST, DATED: 8 SEPTEMBER 1987 WITH REVISIONS THRU 02/09/88. AND DEDICATION PLAN, DATED: 8 SEPTEMBER 1987 WITH REVISIONS THRU 9/16/87 AND PREPARED BY ALLAN H. SWANSON, INC. RECORDED HCRD PLAN No. 22076.
- RELOCATION OF LOT LINES BETWEEN HUDSON-VICKERRY REALTY CO. TRUST AND ST. PATRICK'S PARISH CEMETERY, DERRY ROAD, HUDSON, NH, DATED MAY 1974. RECORDED HCRD PLAN No. 7582.
- PLAN OF LAND FOR HUDSON VICKERRY REALTY CO. TRUST, RTE 102, HUDSON, NH, REVISED THRU 01/22/74. RECORDED HCRD PLAN No. 7212.
- RIGHT-OF-WAY PLANS, N.H. PROJECT NO. 12460, ON FILE AT NHDOT
- RIGHT-OF-WAY PLAN AND PROFILE, N.H. PROJECT NO. 12460. ON FILE AT NHDOT
- PLAN OF LAND OF ST. PATRICK'S CEMETERY, DERRY STREET, HUDSON, NH, DATED JULY 1964, UNRECORDED PLAN.

EASEMENTS, RIGHTS AND RESTRICTIONS:

- THE PROPERTY HAS THE BENEFIT OF THE SIGN EASEMENT AS DESCRIBED IN BK 4747, PG 238
- THE PROPERTY HAS THE BENEFIT OF A DRAINAGE EASEMENT AS DESCRIBED IN BK 2310, PG 12. THE PROPERTY HAS THE BENEFIT OF THE RIGHT OF WAY OVER A WOOD ROAD AS DESCRIBED IN
- BK 1822, PG 180.
- THE PROPERTY IS SUBJECT TO WATER AND ACCESS RIGHTS, IN SO MUCH AS THEY MAY STILL BE IN EFFECT, AS DESCRIBED IN BK 714, PG 143 RECORDED SEPTEMBER 18, 1913.
- THE PROPERTY IS SUBJECT TO THE 12 FT RIGHT OF WAY AS ORIGINALLY DESCRIBED IN BK 2264, PG 355 AND RESTATED IN BK 2338, PG 423, AS WELL AS THE ADDITIONAL ACCESS RIGHTS TO SAID 12 FT RIGHT OF WAY AS DESCRIBED IN BK 2338, PG 423. SEE ALSO STATEMENT ON HCRD PLAN No. 7212 THAT SAID 12 FT RIGHT OF WAY APPEARS TO RELOCATE ANY PREVIOUS ACCESS RIGHTS OVER THE PROPERTY
- THE PROPERTY IS SUBJECT TO THE 25 FT UTILITY EASEMENT IN FAVOR OF NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY AS DESCRIBED IN BK 2345, PG 398.
- THE PROPERTY IS SUBJECT TO THE UTILITY EASEMENT IN FAVOR OF THE HUDSON WATER CO., AS DESCRIBED IN BK 2391, PG 845.
- THE PROPERTY IS SUBJECT TO MULTIPLE EASEMENTS AS DESCRIBED IN AND ASSOCIATED WITH A MEMORANDUM OF LEASE AS RECORDED IN BK 5072, PG 1107.
- THE PROPERTY IS SUBJECT TO THE SIGNALIZATION MAINTENANCE EASEMENT IN FAVOR OF THE TOWN OF HUDSON AS DESCRIBED IN BK 4747, PG 235.
- THE PROPERTY IS SUBJECT TO THE AMENDMENT TO SIGNALIZATION MAINTENANCE EASEMENT AS DESCRIBED IN BK 5023, PG 174.
- THE PROPERTY IS SUBJECT TO THE DEVELOPMENT AGREEMENT BETWEEN HUDSON-VICKERRY REALTY CO., TRUST AND THE TOWN OF HUDSON AS DESCRIBED IN BK 5832, PG 706.
- THE PROPERTY WAS FORMERLY CROSSED BY ROCKY HILL ROAD, ORIGINALLY LAID OUT ON OCTOBER 13, 1749 AND DISCONTINUED ON FEBRUARY 23, 1828 IN STATE OF NH RIGHT OF WAY RECORDS BK 2, PG 667. UNWRITTEN OR PRIVATE RIGHTS MAY EXIST IN THIS ROAD AS IMPACTED BY RIGHTS DESCRIBED IN ITEM 5 ABOVE.

WAIVERS REQUESTED/ APPROVED:

SPR 275-8c(2)

REQUIRED PARKING SPACES

SURVEY NOTES:

- THE EXISTING TOPOGRAPHY, AS SHOWN ON THE PLANS, IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND ORIGINALLY IN JUNE OF 1998 AND AS PERIODICALLY UPDATED THROUGH
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
- SURVEY CONTROL
 - HORIZONTAL DATUM: NAD27 VERTICAL DATUM: NGVD29*

DATE OF MEETING:

- PROJECTION: NH STATE PLANE SCALE FACTOR APPLIED: 1.000000
- UNITS: US SURVEY FEET * VERTICAL DATUM WAS VERIFIED USING GPS (KEYNET NETWORK) BY TAKING OBSERVATIONS ON SITE AND ON NGS (FORMERLY USGS) "DISK D-26" LOCATED ON THE NORTHERLY SIDE OF
- THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.

RTE 101A APPROXIMATELY 4.5 MILES WEST OF THE NASHUA LIBRARY.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- NO WETLANDS WERE OBSERVED ON, OR WITHIN 100 FEET OF, THE PROPOSED NEW LOT PER GARY FLAHERTY, CWS, CPSS, BASED ON A SITE INSPECTION ON JANUARY 27, 2018.

SITE DEMOLITION NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR SITE DEMOLITION AND DISPOSAL
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON SITE LOCATIONS OF EXISTING UTILITIES.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. THE CONTRACTOR SHALL GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. THE CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ROAD RIGHT OF WAY DURING CONSTRUCTION
- PRIOR TO SITE DEMOLITION OCCURRING, ALL APPROPRIATE EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE TOWN OF HUDSON PRIOR TO THE START OF DEMOLITION OR CONSTRUCTION. A DEMOLITION APPROVAL PERMIT SHALL BE OBTAINED FORM THE TOWN OF HUDSON PRIOR TO THE ANY BUILDING DEMOLITION.
- FOR WORK WITHIN A PUBLIC STREET THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN ENGINEERING DEPARTMENT.
- THE CONTRACTOR SHALL REMOVE AND STOCKPILE EXISTING SLOPE AND VERTICAL GRANITE CURB IN A LOCATION PROVIDED BY THE OWNER'S REPRESENTATIVE. CURB THAT IS IN GOOD CONDITION AND ACCEPTABLE TO THE OWNER'S REPRESENTATIVE MAY BE REUSED IN LOCATIONS SHOWN ON THE SITE GRADING & UTILITY PLAN. SURPLUS OR UNACCEPTABLE CURB SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROPERTY

CONSTRUCTION SEQUENCE:

- INSTALL SILT SOCK AND CONSTRUCT GRAVEL CONSTRUCTION EXIT AS SHOWN ON THE
- CLEAR & GRUB SITE ACCORDING TO PLAN. CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY
- PERFORM SITE GRADING OF THE PROPOSED BUILDING AND PARKING AREAS. ALL SIDE SLOPES SHALL BE LOAMED AND SEEDED AND MULCHED IMMEDIATELY AFTER BEING CONSTRUCTED.
- BEGIN BUILDING AND PARKING AREA CONSTRUCTION.
- INSTALL SITE UTILITIES IN ACCORDANCE WITH THE PLAN.
- INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE 'SILTSACK DETAIL'. THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
- PREPARE SITE FOR PAVING.
- AS BUILDING AND PARKING AREAS ARE COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED. NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF 30 DAYS.
- LOAM AND SEED ALL REMAINING DISTURBED AREAS. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER BEING CONSTRUCTED.
- FINAL PAVING OF DRIVEWAY AND PARKING AREAS.
- INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
- SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF DISTURBED AREAS
- REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

SNOW STORAGE AND DE-ICING PLAN:

- PRIOR TO FIRST STORM, ESTABLISH PLOWING SCHEDULE AND REVIEW PROPOSED MATERIALS FOR TREATMENT OF ICE/SNOW CONDITIONS.
- CONDUCT SITE VISIT TO CONFIRM SNOW STORAGE AREAS CONSISTENT WITH APPROVED SITE PLAN.
- CALCIUM CHLORIDE, SAND AND NON-TOXIC ADDITIVES PRE-APPROVED BY AIREX WILL BE APPLIED.
- USE OF GLYCOL-CONTAINING DE-ICING PRODUCTS IS PROHIBITED.
- USE OF SODIUM CHLORIDE (AKA ROCK SALT) AND/OR SODIUM CHLORIDE BLENDS ARE PROHIBITED.
- MATERIALS ARE TO BE APPLIED TO IMPERVIOUS SURFACES ONLY; LANDSCAPING AND GRASSED
- PLOW LOGS TO RECORD DATE/TIME AND WORK PERFORMED WILL BE MAINTAINED BY THE CONTRACTOR AND PROVIDED TO AIREX. SNOW STORAGE AREAS WILL BE MONITORED; WHEN SIZE OR HEIGHT BECOMES AN ISSUE SNOW
- WILL BE REMOVED FROM THE SITE AS DIRECTED BY AIREX. DEPENDENT ON THE FORECAST AND IF EXTENDED COLD WEATHER OR SNOW IS ANTICIPATED,
- CONTRACTOR WILL PRETREAT ALL DRIVEWAYS AND SIDEWALKS PRIOR TO A STORM, AS NEEDED. SAND MAY BE APPLIED BY HAND, SIDEWALK SPREADER OR TRUCK SPREADER, TO PROVIDE
- ADDITIONAL TRACTION. ALL SAND APPLIED OVER THE COURSE OF THE WINTER SEASON WILL BE COLLECTED AND REMOVED
- FROM THE SITE BASED ON SEASONAL CONDITIONS BUT NO LATER THAN MAY 15TH OF EACH YEAR.
- AT NO TIME SHALL SNOW BE PLOWED TO OR STOCKPILED IN THE STORMWATER DETENTION BASIN LOCATED ALONG THE NORTHWEST PORTION OF THE PROPERTY.

JAMES PETROPULOS

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY. THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT

EROSION CONTROL NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE TO FILE AN ELECTRONIC NOTICE OF INTENT (EN0I) WITH THE US-EPA A MINIMUM OF 14 DAYS PRIOR TO COMMENCING ANY EARTHWORK OPERATIONS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH THE PROJECT SHALL OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND SHALL COMPLY WITH THE TERMS OF SWPPP AND NPDES PERMIT
- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY SITE CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER
- STOCKPILE AREAS SHALL BE SURROUNDED BY SILT SOCK AND RE-SEEDED IF THEY ARE LEFT UNTOUCHED FOR MORE THAN FOURTEEN (14) DAYS.
- ALL MEASURES STATED ON THIS EROSION CONTROL PLAN. AND IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETE PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT.
- SILT SOCK SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS
- ALL SEEDED AREAS SHALL BE CHECK REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
- THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE
- 11. THE TOWN OF HUDSON RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION IF NEEDED.

CONSTRUCTION NOTES

CONSTRUCTION EXIT AS CONDITIONS DEMAND.

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST ADDITION, ARE HEREBY INCORPORATED BY REFERENCE.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPT., HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHALL BE ADS N-12 (SOIL TIGHT). CATCH BASINS SHALL BE TYPE B, AND HAVE 4 FT SUMPS AND GAS HOODS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE
- WATER SUPPLY, SANITARY SEWER, POWER, GAS, AND TELECOMMUNICATION UTILITIES SHALL BE EXTENDED TO THE PROPOSED BUILDING AS SHOWN.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED THROUGH THE CONSTRUCTION PROCESS UNTIL STABILIZATION OCCURS.
- STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- DIMENSIONS TO CURB AND GUTTERS INDICATE EDGE OF PAVING UNLESS OTHERWISE NOTED.
- EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING PAVEMENT.
- OFF-SITE FILL MATERIAL
 - A. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING, CONTAINING, AND DULY REMOVING ALL CONSTITUENTS OF CONCERN BROUGHT TO THE SITE BY CONTRACTOR, SUBCONTRACTORS, SUPPLIERS, OR ANYONE ELSE FOR WHOM CONTRACTOR IS RESPONSIBLE. AND FOR ANY ASSOCIATED COSTS: AND FOR THE COSTS OF REMOVING AND REMEDIATING ANY HAZARDOUS ENVIRONMENTAL CONDITION CREATED BY THE PRESENCE OF ANY SUCH CONSTITUENTS OF CONCERN.
 - CONTRACTOR SHALL NOT IMPORT ANY FILL OVER THE AMOUNT OF TEN CUBIC YARDS CUMULATIVE TOTAL PER SOURCE TO ANY JOB SITE IN THE TOWN OF HUDSON WITHOUT SOILS TESTING VERIFYING THE ABSENCE OF ALL CONSTITUENTS OF CONCERN, AND WITHOUT PRIOR APPROVAL BY ENGINEERING DEPARTMENT STAFF DOCUMENTATION SUCH AS TEST REPORTS, CERTIFICATIONS AND SIEVE ANALYZES OF FILL SHALL BE PROVIDED TO THE ENGINEERING DEPARTMENT FOR APPROVAL PRIOR TO TRANSPORTING THE MATERIAL TO HUDSON.
- THE CONTRACTOR SHALL COORDINATE WITH THE TOWN ENGINEER FOR ANY REQUIRED BOND OR **ESCROW**

TOWN OF HUDSON CONTACTS

PLANNING DEPARTMENT HUDSON PLANNING DEPT

- 12 SCHOOL STREET HUDSON, NH 03051 ATT: BEN WITHAM-GRADERT ASSOCIATE PLANNER
- (603) 886-6008 **ENGINEERING DEPARTMENT** HUDSON ENGINEERING DEPT.
- 12 SCHOOL STREET HUDSON, NH 03051 ATT: ELVIS DHIMA, P.E.

TOWN ENGINEER

(603) 886-6008 FIRE DEPARTMENT

HUDSON FIRE DEPARTMENT 12 SCHOOL STREET HUDSON, NH 03051 ATT: ROBERT BUXTON, FIRE CHIEF

UTILITY CONTACTS

LIBERTY UTILITIES 130 ELM STREET MANCHESTER, NH 03103 ATT: ANDREW MORGAN (603) 327-5357

TELEPHONE: CONSOLIDATED COMMUNICATIONS

257 DANIEL WEBSTER HIGHWAY MERRIMACK, NH 03054 ATT: HEATHER ARUJUO (603) 296-5998 POWER:

EVERSOURCE 370 AMHERST STREET NASHUA, NH 03060 ATT: MARC GAGNON (603) 882-5894

MA.ME.NH.RI.VT CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION digsafe.com DIAL 811 or 1-888-DIG-SAFE 1-888-344-7233

CERTIFICATION

PURSUANT TO RSA 676:18,III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NE WAYS ARE SHOWN.

I FURTHER CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.



DENNIS C. POLLOCK, LLS

LEGEND

	EXISTING GROUND CONTOUR		BUILDING SETBACK LINE
×100.5	EXISTING SPOT ELEVATION		CHAINLINK FENCE
100	PROPOSED GRADE		STOCKADE FENCE
+100.5	PROPOSED SPOT GRADE		POST & RAIL FENCE
	STORM DRAIN & CATCH BASIN		CURBING
	STORM DRAIN & MANHOLES		VERTICAL GRANITE CURBING
= $=$	STORM DRAIN & HEADWALL		SLOPE GRANITE CURBING
	STORM DRAIN & END SECTION	F-	STORMWATER RUNOFF DIRECTIO
	SANITARY SEWER & MANHOLES	Ė	HANDICAP PARKING SPACE
- W(d)	WATER MAIN & HYDRANT		HANDICAP SIDEWALK RAMP
- W(b)	WATER MAIN & GATE VALVE	(10)	PARKING SPACE COUNT
G(b)	GAS LINE & GATE VALVE	(2)	LOADING SPACES
€φ	UTILITY POLE WITH GUY SUPPORT	[310]	TOTAL PARKING SPACE COUNT
- ←	STREET LIGHT	[010]	
D -\$\dagger\$ -\$\dagger\$	LIGHT POLES	[8]201.14.14.14.16	PAVEMENT SAWCUT
- OHW	OVERHEAD ELECTRIC & TELEPHONE		CONCRETE
<u>E</u> - UGW(c) — <u>T</u> -	UNDERGROUND ELEC/TEL & MANHOLES SIGN		PROPOSED FULL-DEPTH PAVEMEN
- ១ <i>NHHB</i>	N.H. HIGHWAY BOUND		PROPOSED PAVEMENT OVERLAY
□ <i>SB</i>	STONE BOUND		THE GOLDT AVEINER OF THE T
□ C.BND	CONCRETE BOUND		RIPRAP / STONE
⊚ I.PIN	IRON PIN	KXXXXXXXXXX	RETAINING WALL
⊚ <i>I.PIPE</i>	IRON PIPE		TREE LINE
⊚ CGS	COTTON GIN SPINDLE		CONIFEROUS TREE
⊃⊃⊃⊃⊙ DH	DRILL HOLE & STONE WALL		
	STONE BOUND TO BE SET	\d5	DECIDUOUS TREE
	IRON PIN TO BE SET		SHRUBS
>-< TBM 1	TEMPORARY BENCHMARK		LIMIT OF WORK

ABBREVIATIONS

GENER	<u>AL</u>	UTILIT	<u>Y</u>
APPROX	APPROXIMATE	СВ	CATCH BASIN
BIT	BITUMINOUS	C.I.	CAST IRON PIPE
BM	BASEMENT FLOOR ELEVATOIN	CMP	CORRUGATED METAL PIPE
BWL	BROKEN WHITE LINE	C.O.	CLEANOUT
BYL	BROKEN YELLOW LINE	CU	COPPER TYPE K WATER PIPE
CONC	CONCRETE	DB. GR.	DOUBLE GRATE
DYL	DOUBLE YELLOW LINE	D.I.	DUCTILE IRON PIPE
ELEV	ELEVATION	DMH	DRAIN MANHOLE
EXIST	EXISTING	FES	FLARED END SECTION
FE	FLOOR ELEVATION	HW	HEAD WALL
FF	FINISH/FIRST FLOOR ELEVATION	FM	FORCE MAIN
GF	GARAGE FLOOR ELEVATION	HDPE	HIGH DENSITY POLYETHYLENE PIPE
MAX	MAXIMUM	HYD	HYDRANT
MIN	MINIMUM	INV	INVERT
N.T.S.	NOT TO SCALE	ocs	OUTLET CONTROL STRUCTURE
PERF	PERFORATED	PVC	POLYVINYL CHLORIDE PIPE
PROP	PROPOSED	RCP	REINFORCED CONCRETE PIPE
SWL	SOLID WHITE LINE	RIM	RIM ELEVATION
SYL	SOLID YELLOW LINE	SMH	SEWER MANHOLE
TYP	TYPICAL	UGE	UNDERGROUND ELECTRIC
W/O	WALKOUT FLOOR ELEVATION	UGT	UNDERGROUND TELECOMMUNICATIO



YARD DRAIN

NOTES AND LEGEND (MAP 165, LOT 155)

77 DERRY STREET

HUDSON, NEW HAMPSHIRE

PREPARED FOR / RECORD OWNER: HUDSON-VICKERRY, LLC

c/o THE MEG COMPANIES 25 ORCHARD VIEW DRIVE LONDONDERRY, NH 03053 (603) 434-6700

NO SCALE

16 FEBRUARY 2024



Civil Engineers/Land Surveyors 3 Congress Street Nashua, NH 03062 (603) 883-2057

DRAWING LOC: J: \1000\1708\DWG\1708 SB

131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501

www.hayner-swanson.com DRAWING NAME: 1708SB-FQ51 FIELD BOOK: 1161

1708-SB 2 OF 16

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PURSUANT TO THE

SITE REVIEW

REGULATIONS OF

THE HUDSON

PLANNING BOARD

THE SITE PLAN

APPROVAL

GRANTED HEREIN

EXPIRES TWO

YEARS FROM DATE

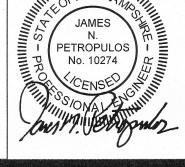
OF APPROVAL

SIGNATURE DATE:

BOARD MEETING DATE AT WHICH THE PLAN RECIEVES FINAL APPROVAL

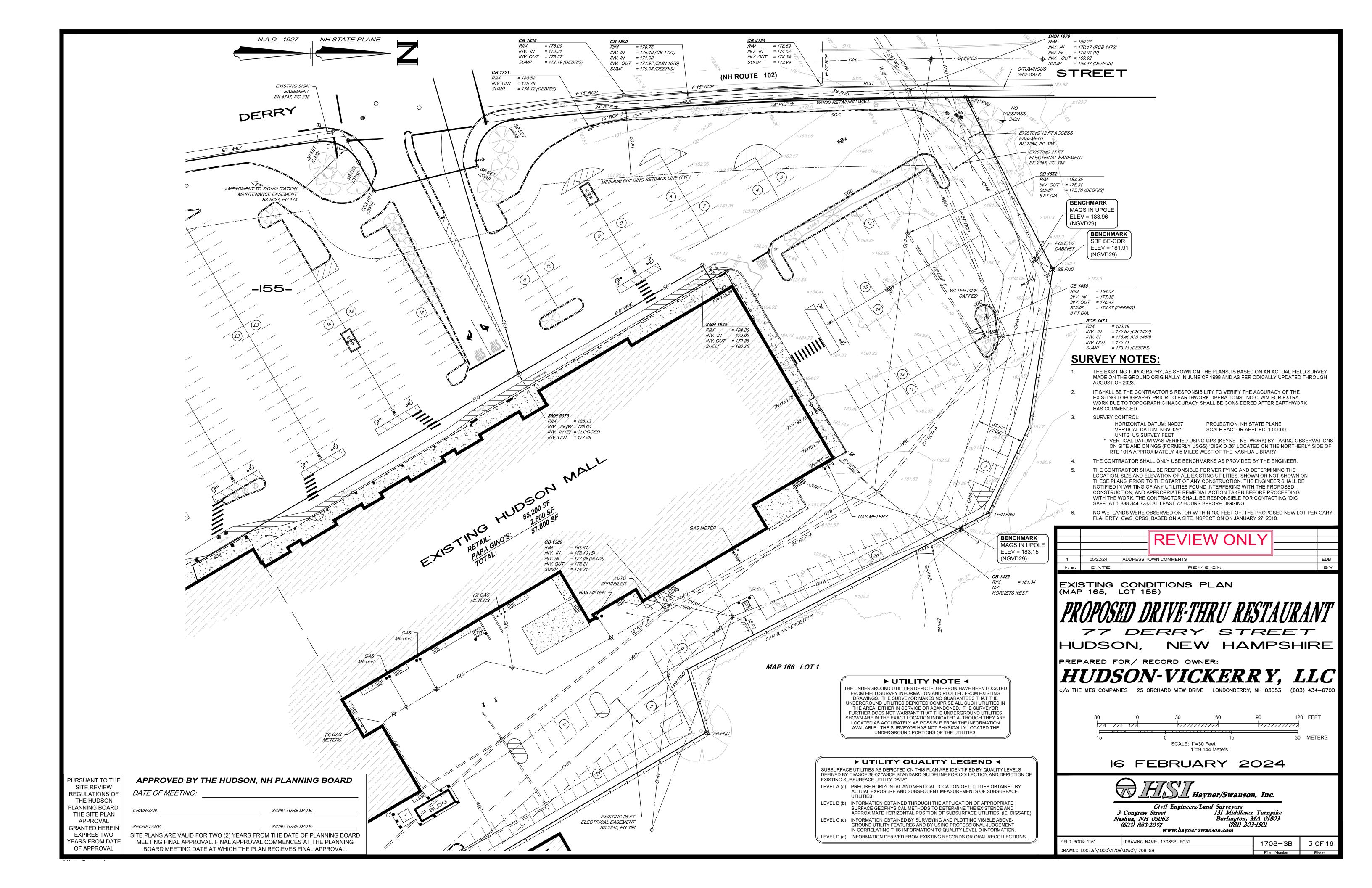
SIGNATURE DATE: SECRETARY: SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING

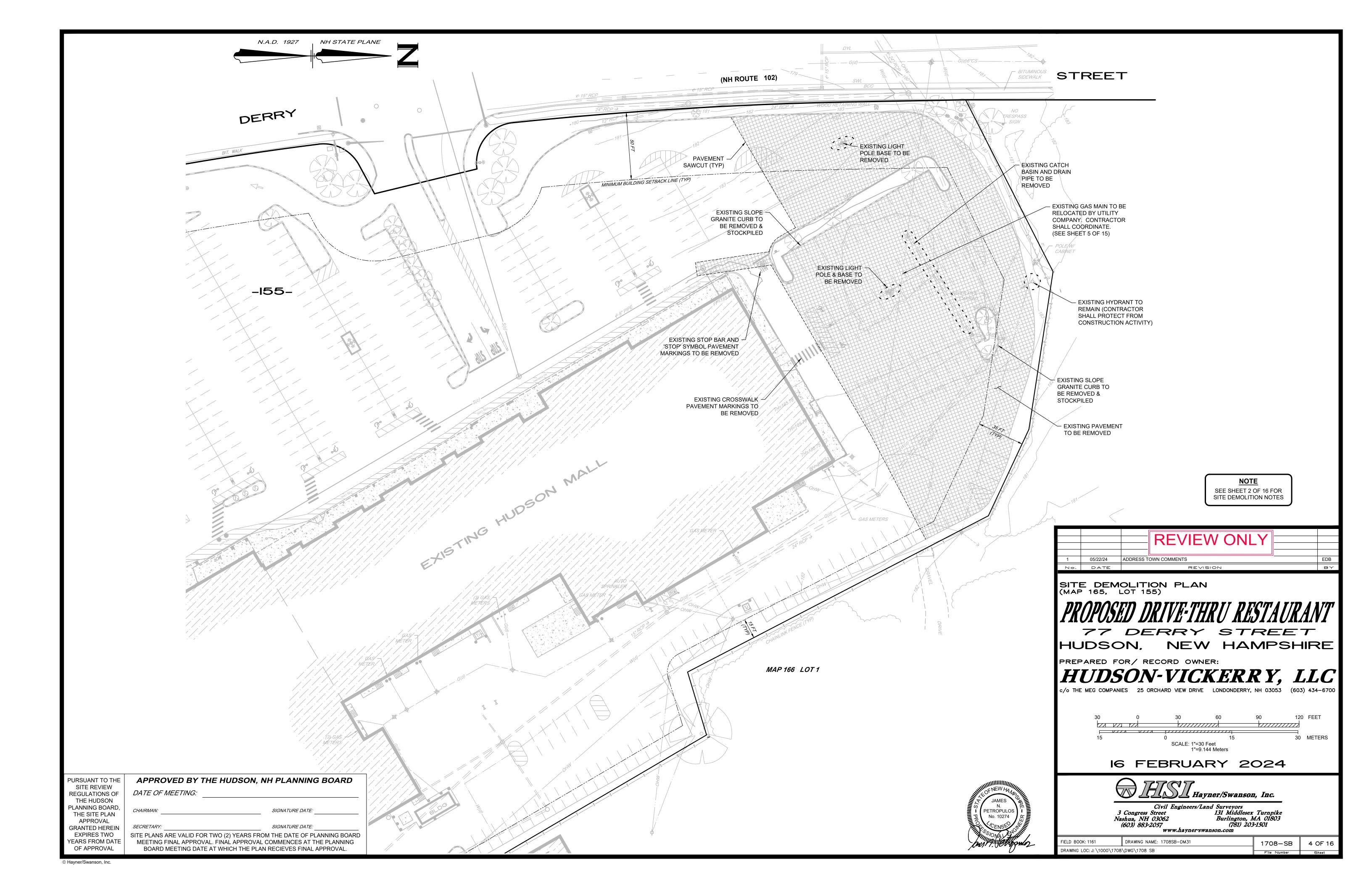
APPROVED BY THE HUDSON, NH PLANNING BOARD

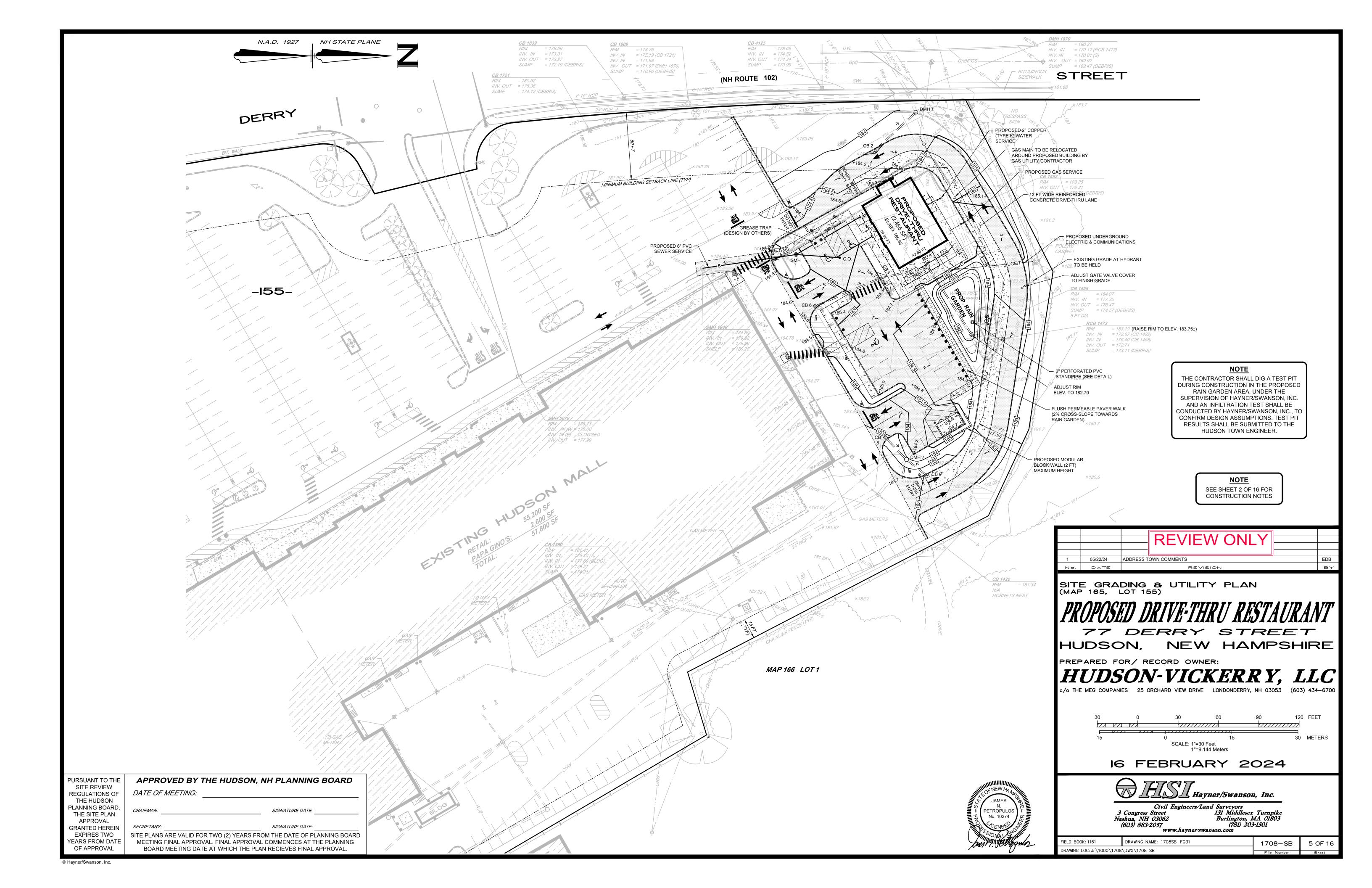


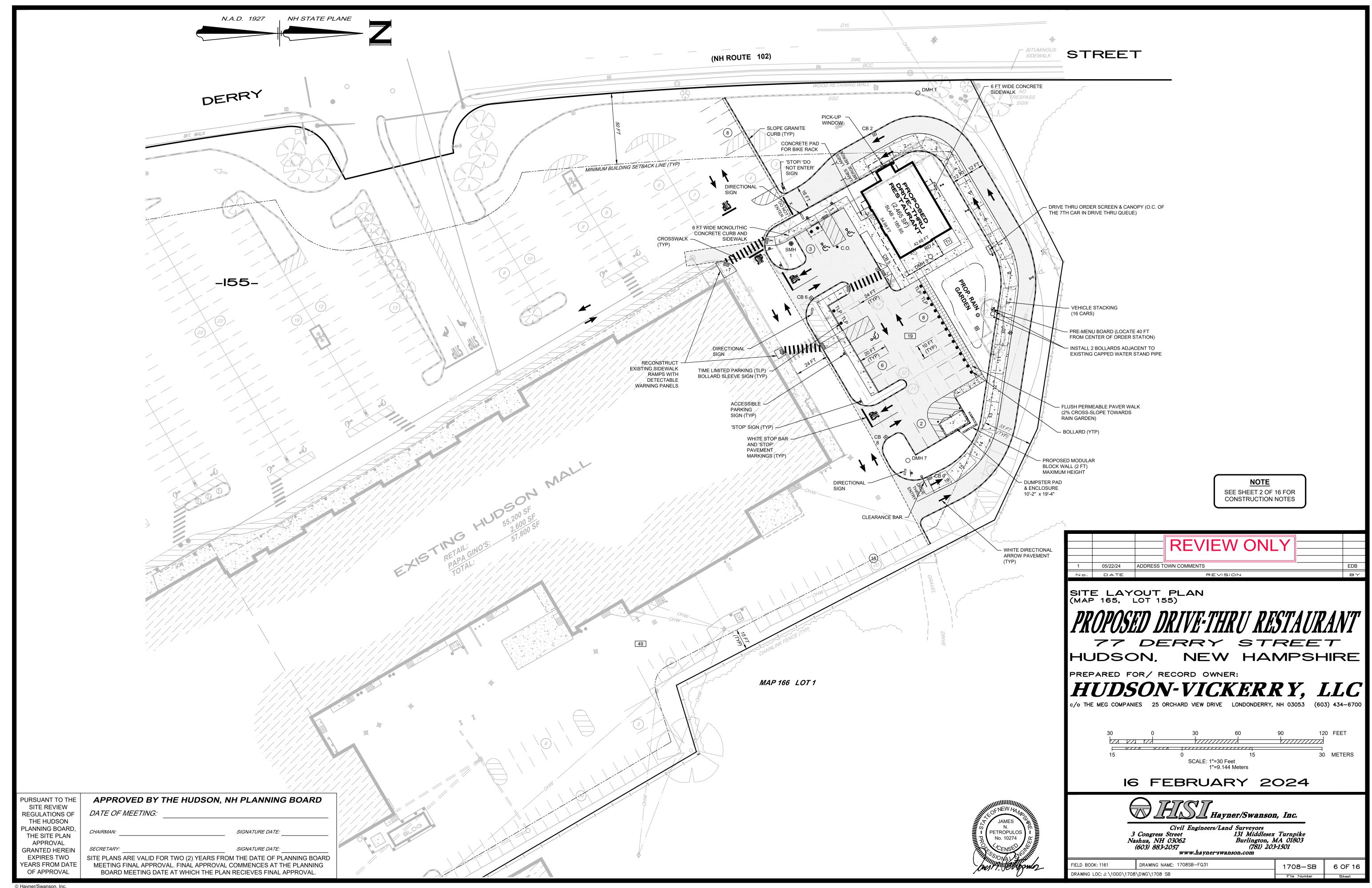
▶ ZONING NOTE ◀

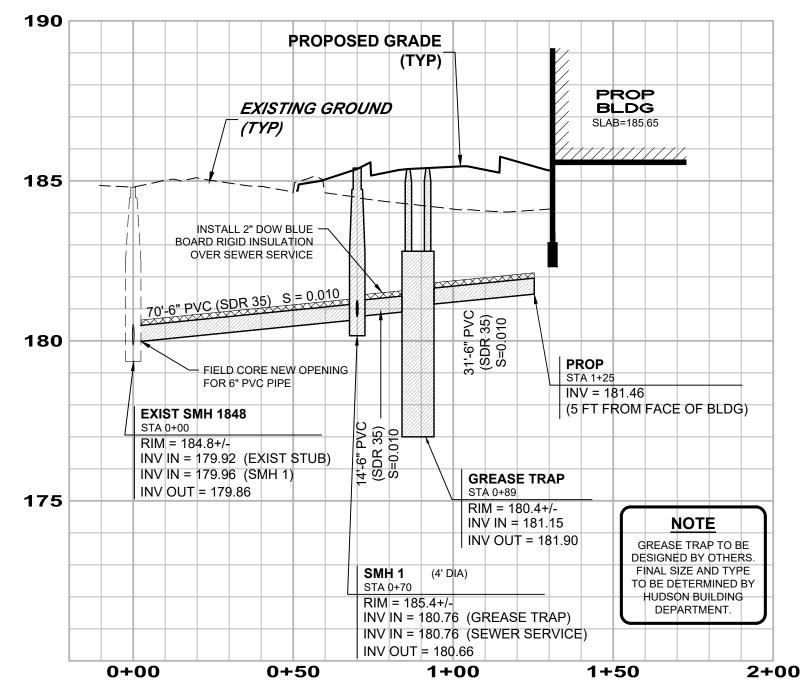
AUTHORITY, SINCE BUILDING ORIENTATION, PROPOSED USES, AND APPLICATION OF THE ZONING ORDINANCE.







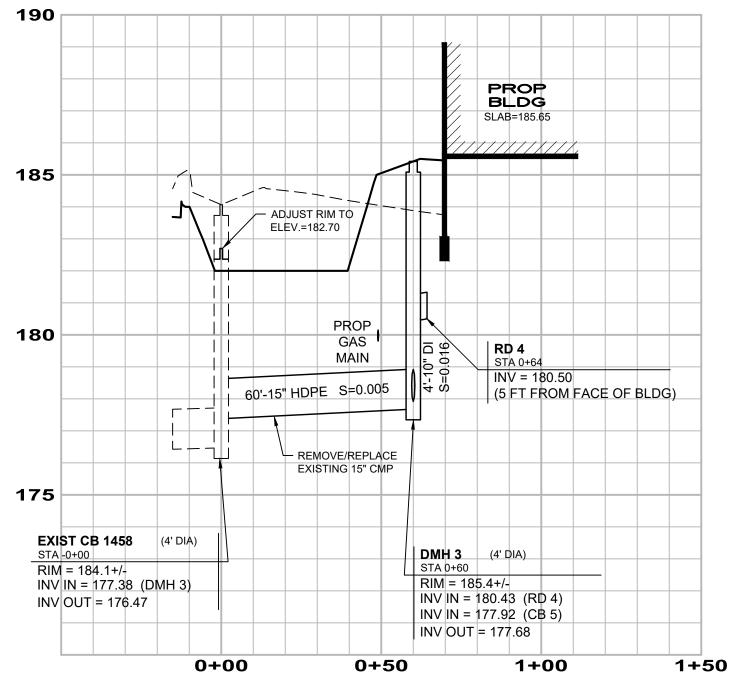




190 INSTALL 2" DOW -BLUE BOARD RIGID INSULATION OVER SEWER SERVICE - 4" PVC (SDR-35) BLDG CLEANOUT WITH \$LAB=185.65 H-20 RATED COVER 185 61'-6" PVC (SDR 35) S = 0.010180 SEWER SERVICE STA 0+61 INV = 181.37 (5 FT FROM FACE OF BLDG) **SMH 1** (4' DIA) STA 0+00 RIM = 185.4+/-INV IN = 180.76 (GREASE TRAP) INV IN = 180.76 (SEWER SERVICE) INV OUT = 180.66 0+00 0+50 1+00 **SMH1 TO SEWER SERVICE**

Horizontal Scale: 1" = 30'

Vertical Scale: 1" = 3'

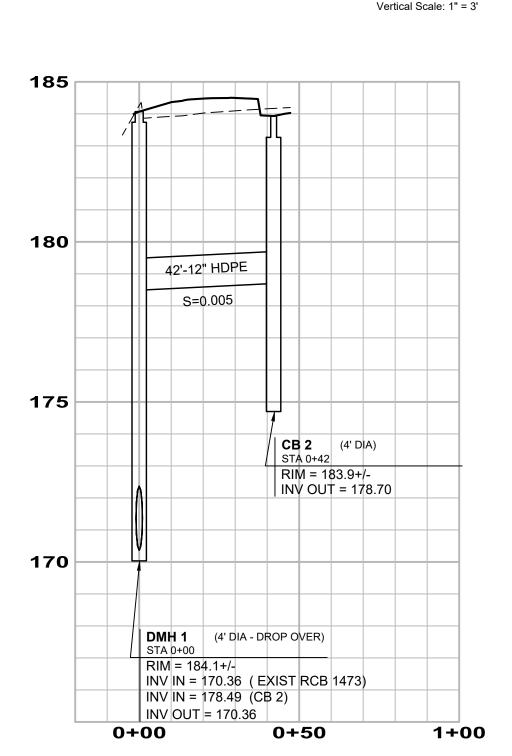


EXIST CB TO RD 4 Horizontal Scale: 1" = 30'

Vertical Scale: 1" = 3'

SEWER SERVICE

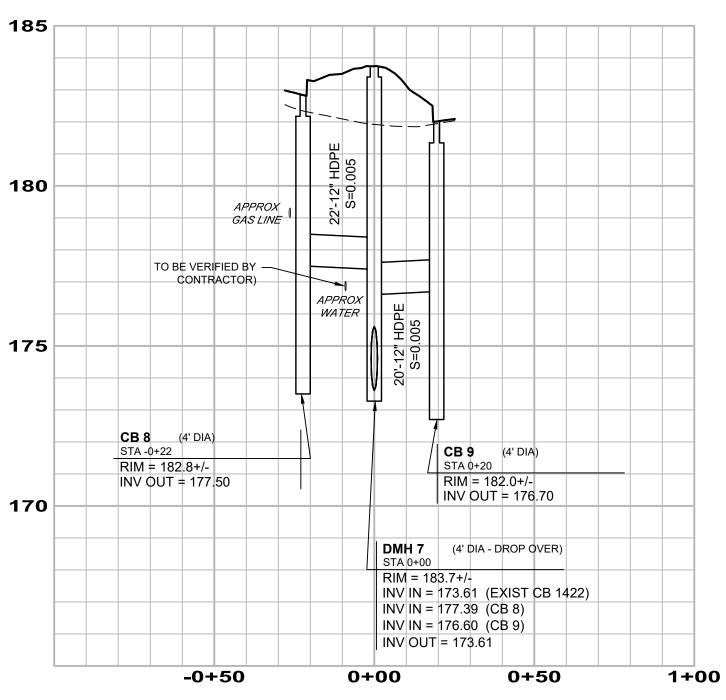
Horizontal Scale: 1" = 30'



190 CB 5 (4' DIA) STA 0+38 RIM = 184.7+/-INV IN = 178.53 (CB 6) INV OUT = 178.43 185 180 51'-12" HDPE 38'-12" HDPE S=0.008 S=0.013 175 **DMH 3** (4' DIA) STA 0+60 CB 6 (4' DIA) RIM = 185.4+/-STA 0+89 INV IN = 180.43 (RD 4) RIM = 184.5+/-INV IN = 177.92 (CB 5) INV OUT = 178.91 INV OUT = 177.68 0+00 0+50 1+00 1+50 2+00

DMH 3 TO CB 6

Horizontal Scale: 1" = 30' Vertical Scale: 1" = 3'



Vertical Scale: 1" = 3'

CB 8 TO CB 9 Horizontal Scale: 1" = 30'

DMH 1 TO CB2

Horizontal Scale: 1" = 30' Vertical Scale: 1" = 3'

APPROVED BY THE HUDSON, NH PLANNING BOARD PURSUANT TO THE SITE REVIEW DATE OF MEETING: **REGULATIONS OF**

> SIGNATURE DATE: CHAIRMAN:

SIGNATURE DATE: SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECIEVES FINAL APPROVAL.

PETROPULOS

ADDRESS TOWN COMMENTS No. DATE UTILITY PROFILES (MAP 165, LOT 155) PROPOSED DRIVE-THRU RESTAURANT 77 DERRY STREET HUDSON, NEW HAMPSHIRE PREPARED FOR/ RECORD OWNER: HUDSON-VICKERRY, LLC c/o THE MEG COMPANIES 25 ORCHARD VIEW DRIVE LONDONDERRY, NH 03053 (603) 434-6700 120 FEET SCALE: HORIZ. 1" = 30 Feet VERT. 1" = 3 Feet 16 FEBRUARY 2024 Hayner/Swanson, Inc.

REVIEW ONLY

DRAWING NAME: 1708SB-FY31 FIELD BOOK: 1161 DRAWING LOC: J: \1000\1708\DWG\1708 SB

3 Congress Street Nashua, NH 03062

(603) 883-2057

Civil Engineers/Land Surveyors
Street 131 Middlesex Turnpike
I 03062 Burlington, MA 01803
P-2057 (781) 203-1501 www.hayner-swanson.com 1708-SB 7 OF 16

File Number

THE HUDSON

PLANNING BOARD,

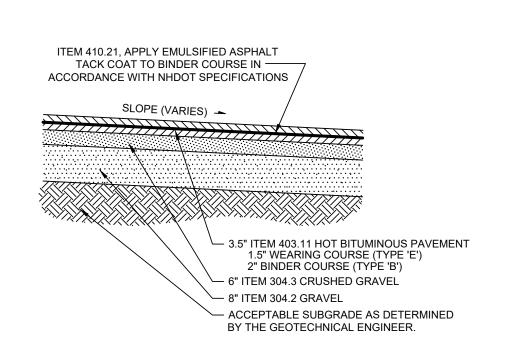
THE SITE PLAN APPROVAL

GRANTED HEREIN

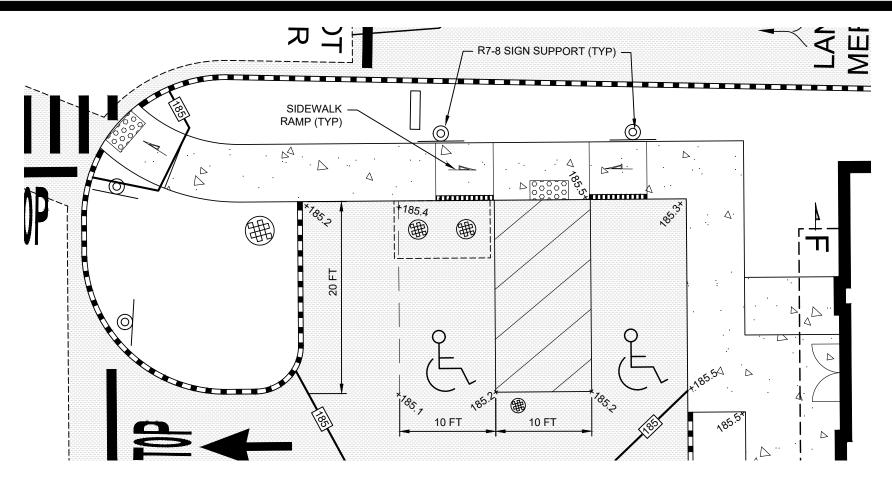
EXPIRES TWO

YEARS FROM DATE

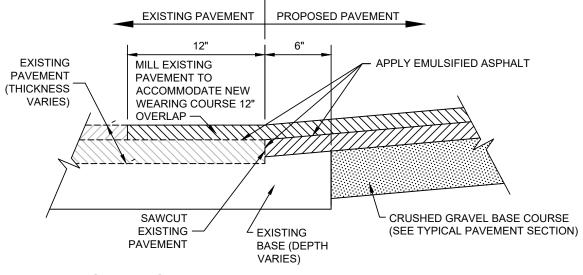
OF APPROVAL



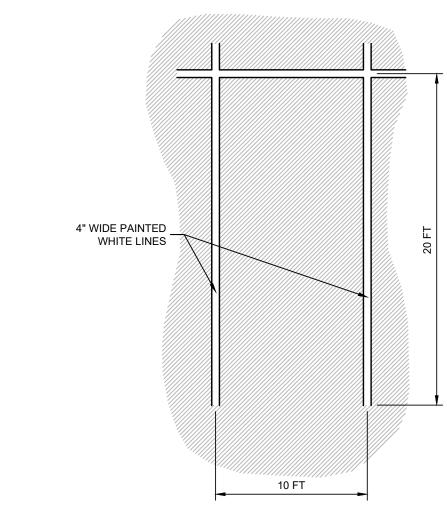
TYPICAL PAVEMENT SECTION



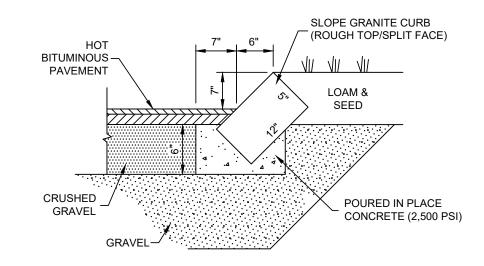
ACCESSIBLE PARKING AREA DETAIL



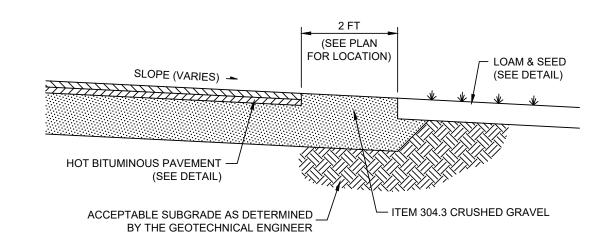
SAWCUT PAVEMENT DETAIL



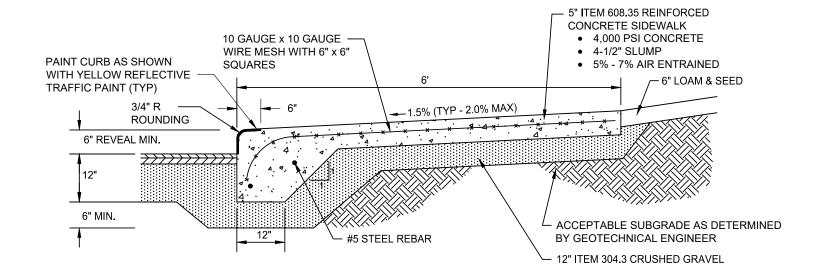
TYP. PARKING STALL DETAIL



SLOPE GRANITE CURB DETAIL NOT TO SCALE



GRAVEL SHOULDER DETAIL



CONCRETE SIDEWALK AND CURB DETAIL

PURSUANT TO THE SITE REVIEW **REGULATIONS OF** THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL **GRANTED HEREIN EXPIRES TWO**

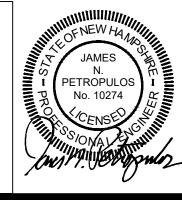
YEARS FROM DATE

OF APPROVAL

DATE OF MEETING: SIGNATURE DATE: CHAIRMAN.

APPROVED BY THE HUDSON, NH PLANNING BOARD

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECIEVES FINAL APPROVAL.

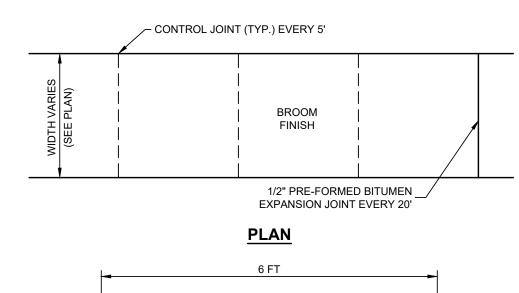


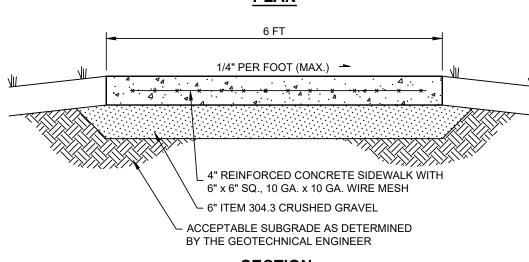
PROPOSED **DETECTABLE** WARNING PANEL — SEE NOTE 9

- 1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN).
- 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%. 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
- 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
- 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
- 6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
- 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
- 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5 FT IN WIDTH (EXCLUDING CURB) A 5 FT x 5 FT PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
- 9. ELIMINATE ALL CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH)

HANDICAP ACCESSIBLE

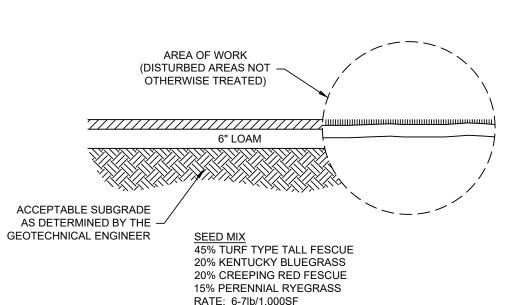
CURB RAMP DETAIL



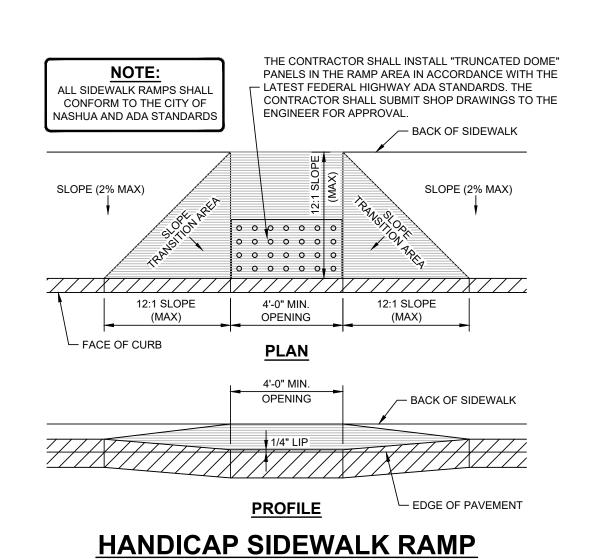


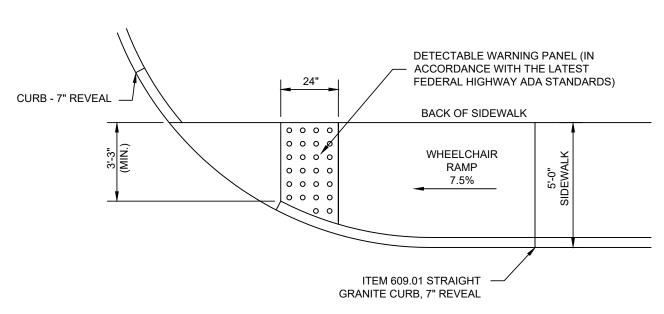
REINFORCED CONCRETE SIDEWALK

DETAIL (PEDESTRIAN TRAFFIC ONLY)



LOAM AND SEED DETAIL





SIDEWALK RAMP AT CURBED DRIVES

REVIEW ONLY ADDRESS TOWN COMMENTS 05/22/24 No. DATE

DETAIL SHEET - GENERAL SITE (MAP 165, LOT 155)

77 DERRY STREET

HUDSON, NEW HAMPSHIRE

PREPARED FOR/ RECORD OWNER:

HUDSON-VICKERRY, LLC

c/o THE MEG COMPANIES 25 ORCHARD VIEW DRIVE LONDONDERRY, NH 03053 (603) 434-6700

SCALE AS SHOWN

16 FEBRUARY 2024



131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501 3 Congress Street Nashua, NH 03062 (603) 883-2057

1708-SB

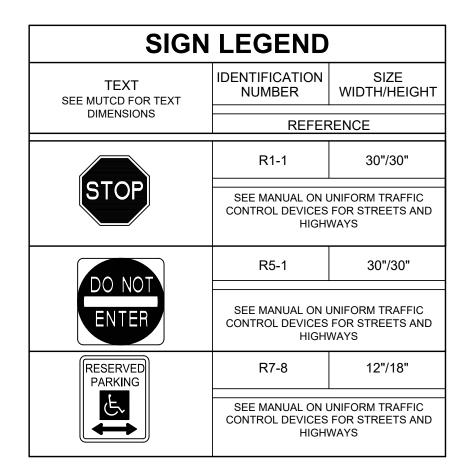
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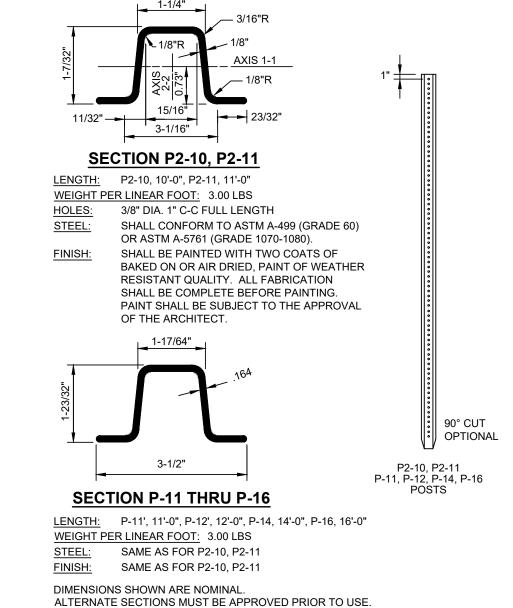
8 OF 16

www.hayner-swanson.com DRAWING NAME: 1708SB-DET1 FIELD BOOK: 1161

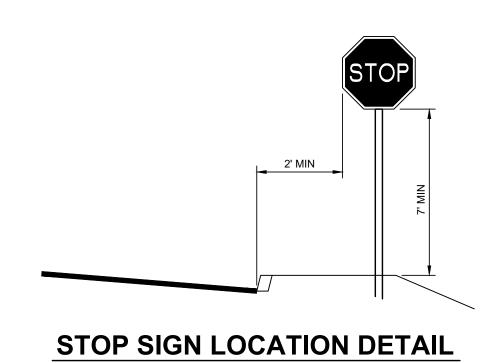
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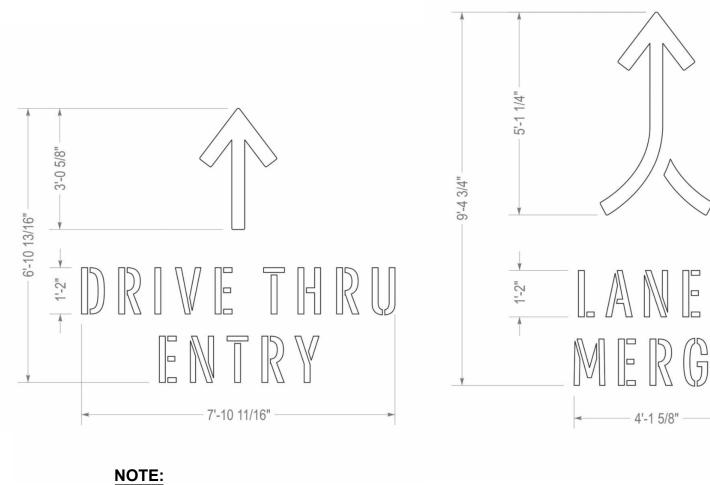






TRAFFIC SIGN SUPPORT DETAIL





ALL PAVEMENT MARKINGS TO BE PAINTED WITH WHITE REFLECTIVE TRAFFIC PAINT PAVEMENT MARKING DETAILS

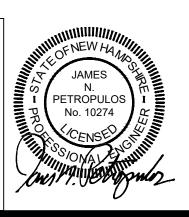
PURSUANT TO THE
SITE REVIEW
REGULATIONS OF
THE HUDSON
PLANNING BOARD,
THE SITE PLAN
APPROVAL
GRANTED HEREIN
EXPIRES TWO
YEARS FROM DATE
OF APPROVAL

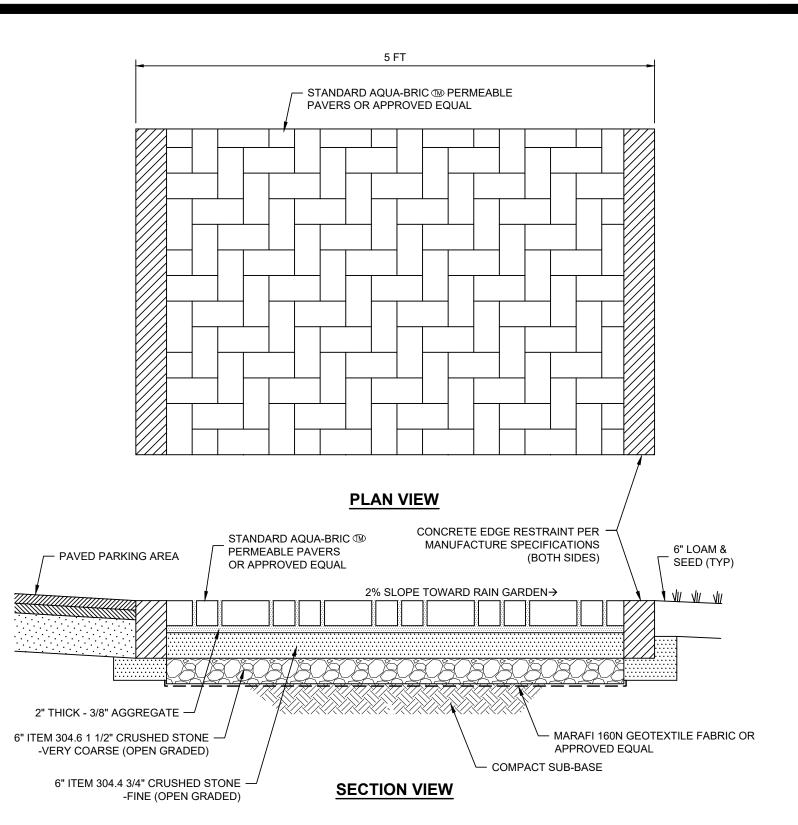
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING:

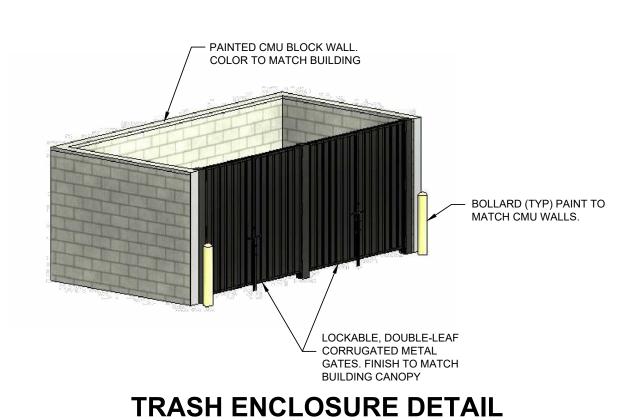
CHAIRMAN: _____ SIGNATURE DATE: ____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECIEVES FINAL APPROVAL.





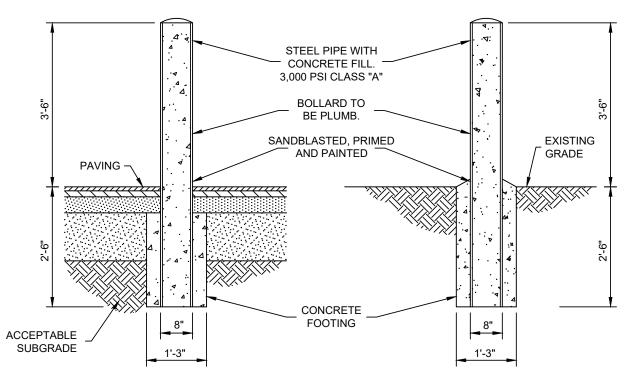
PERMEABLE PAVER WALK TYPICAL SECTION





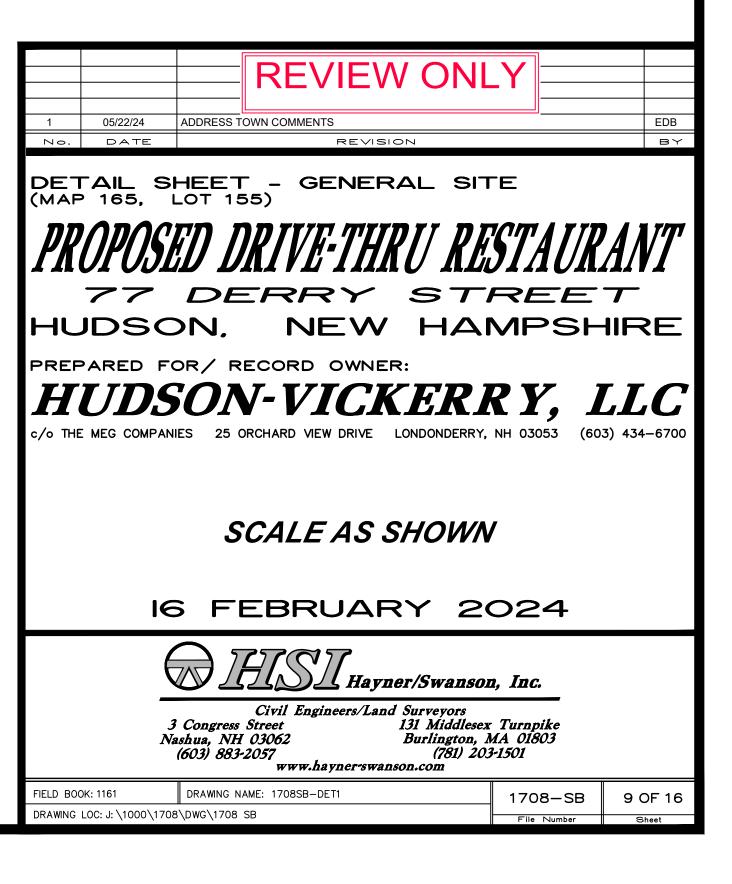
DRIVE THRU FREESTANDING
ORDER SCREEN & CANOPY DETAIL

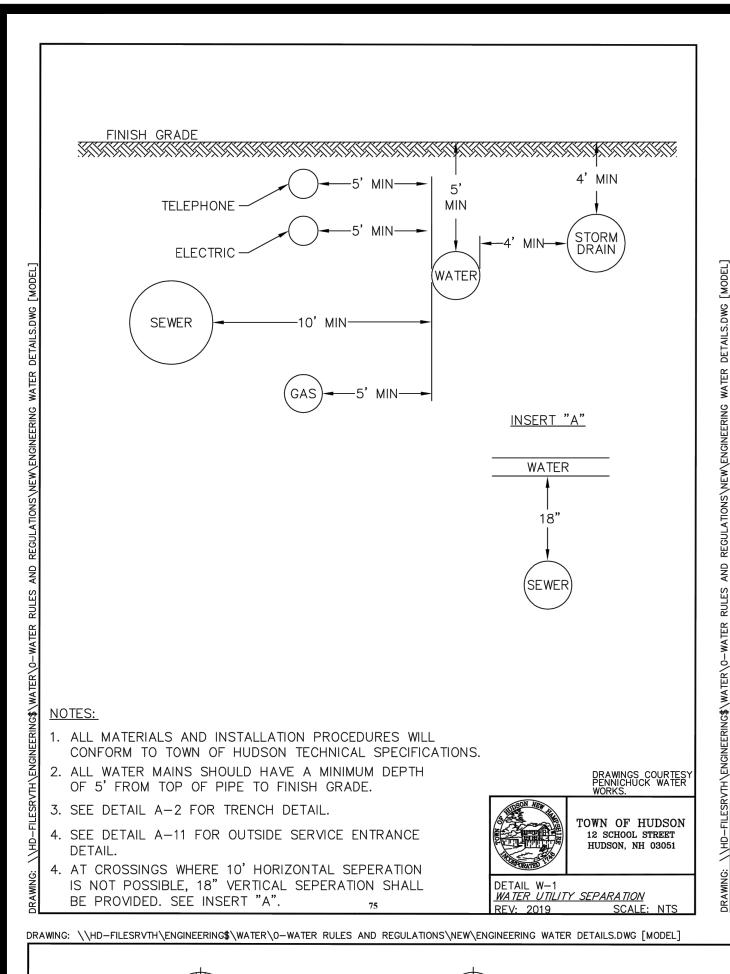
NOT TO SCALE

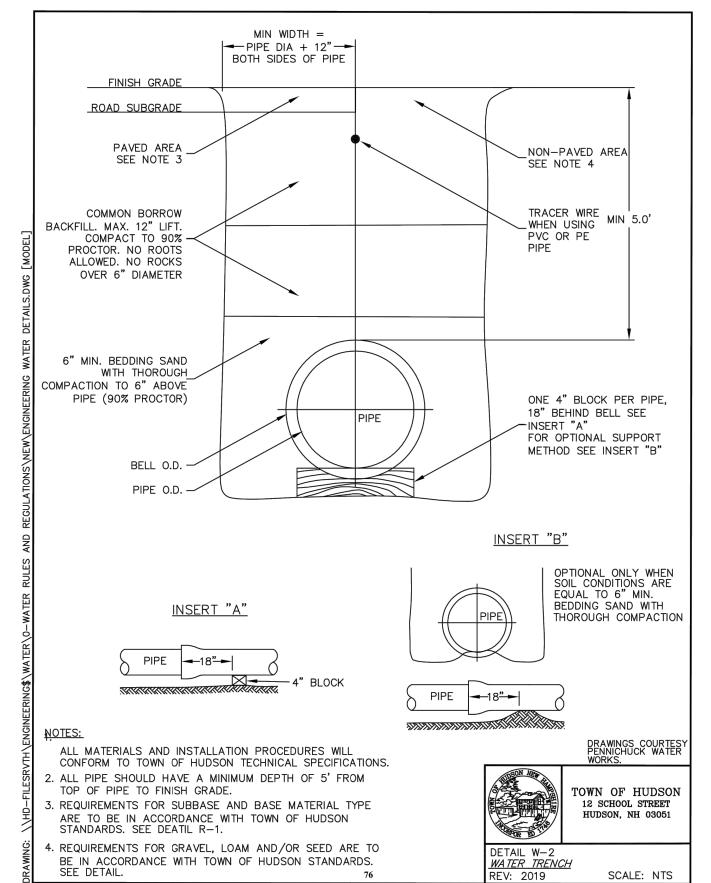


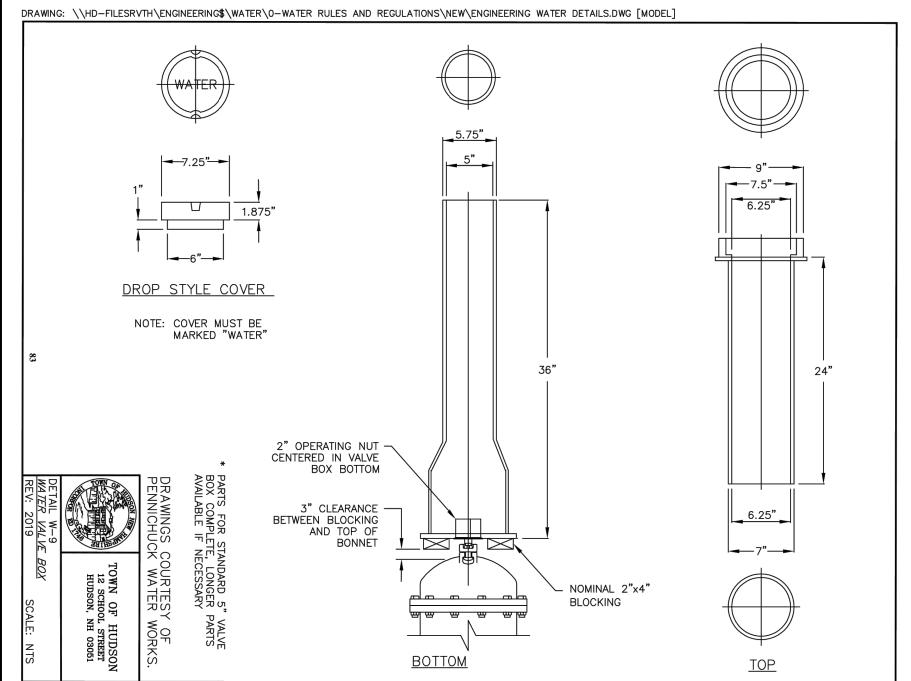
BOLLARD DETAIL

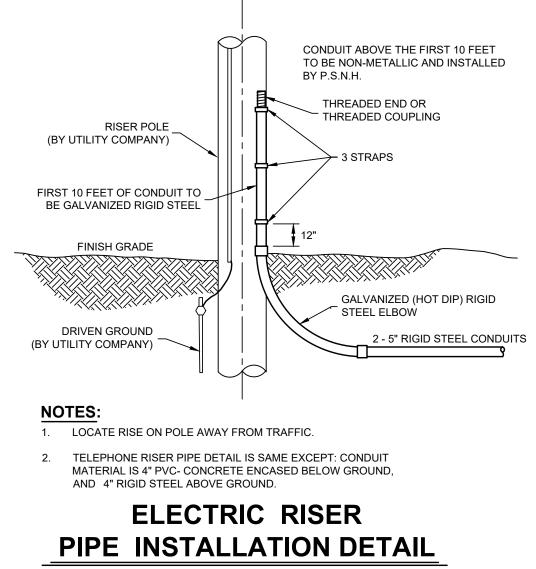


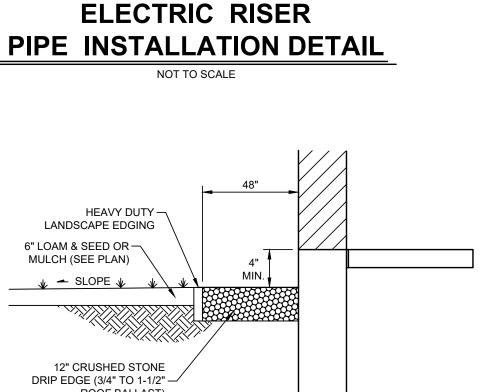


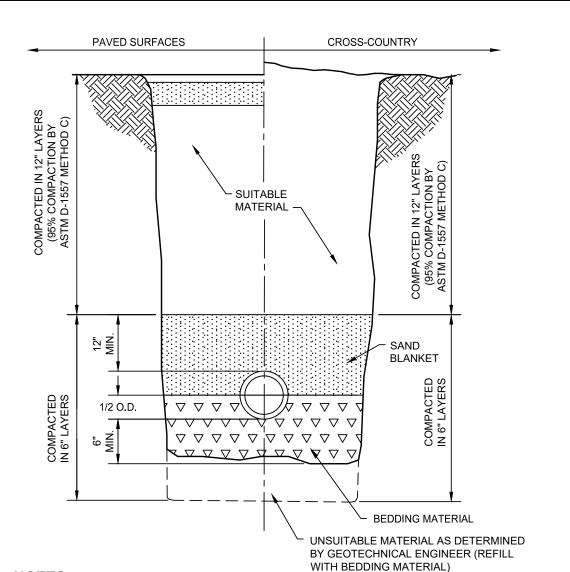








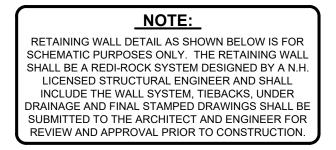


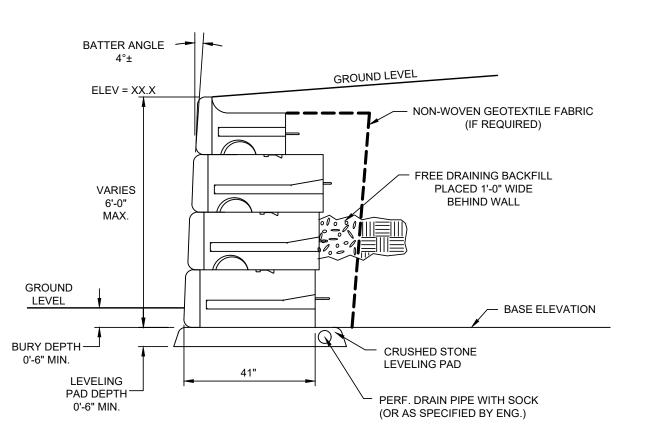


NOTES

- . THE SEWER TRENCH SECTION SHALL CONFORM TO THE NHDES STANDARD TRENCH SECTION, AND TO THE ADDITIONAL REQUIREMENTS OF THIS TYPICAL SECTION.
- 2. IN GENERAL, DISTURBED CROSS-COUNTRY AREAS SHALL BE RESTORED TO THE SATISFACTION OF THE ENGINEER AND SHALL BE LOAMED AND SEEDED IN ACCORDANCE WITH THE DETAIL AND SHALL BE MAINTAINED UNTIL A VIABLE STAND OF GRASS HAS BEEN ESTABLISHED.
- 3. ROADWAYS, DRIVEWAYS, AND OTHER PAVED AREAS SHALL BE RECONSTRUCTED IN ACCORDANCE WITH THE PLANS. THE BINDER COURSE SHALL BE PLACED IMMEDIATELY AFTER CONSTRUCTION, AND ALLOWED TO STAND FOR FOUR MONTHS. A LEVELING COURSE SHALL BE APPLIED OVER THE TRENCH AFTER FOUR MONTHS AND THE ENTIRE ROAD OR PAVED AREA OVERLAYED TO THE LIMITS SHOWN ON THE PLANS.

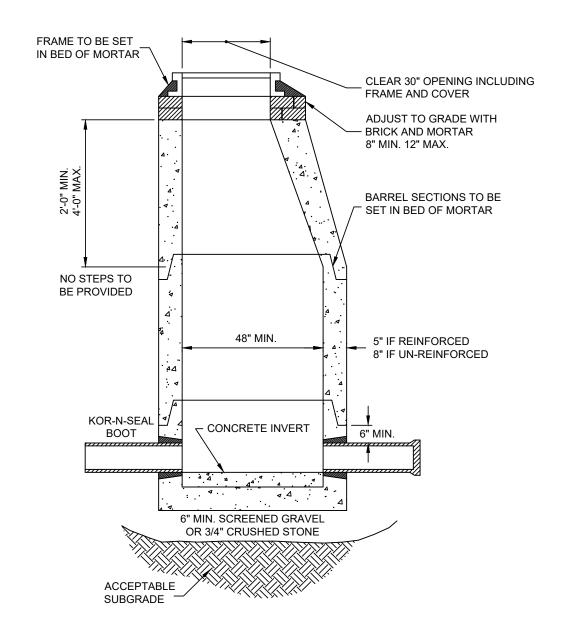
TYPICAL SEWER TRENCH SECTION





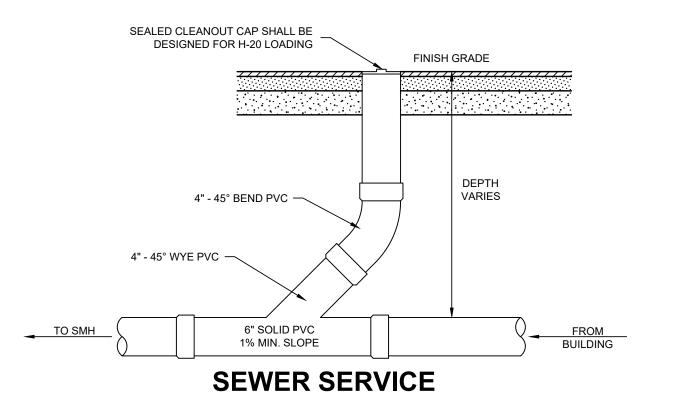
REDI ROCK RETAINING WALL DETAIL

NOT TO SCALE



SEWER MANHOLE DETAIL

NOT TO SCALE



CLEANOUT DETAIL

NOT TO SCALE



77 DERRY STREET NEW HAMPSHIRE HUDSON,

PREPARED FOR/ RECORD OWNER:

HUDSON-VICKERRY, LLC

c/o THE MEG COMPANIES 25 ORCHARD VIEW DRIVE LONDONDERRY, NH 03053 (603) 434-6700

SCALE AS SHOWN

16 FEBRUARY 2024

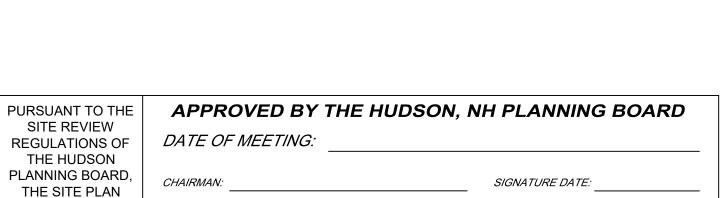


131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501 3 Congress Street Nashua, NH 03062 (603) 883-2057

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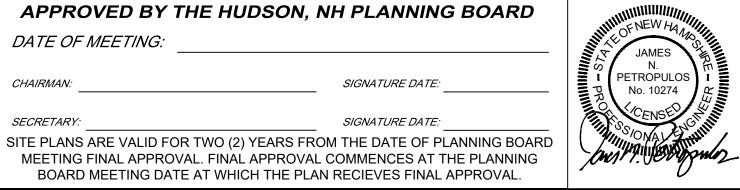
www.hayner-swanson.com FIELD BOOK: 1161

DRAWING NAME: 1708SB-DET1 1708-SB DRAWING LOC: J: \1000\1708\DWG\1708 SB File Number



MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING

BOARD MEETING DATE AT WHICH THE PLAN RECIEVES FINAL APPROVAL.



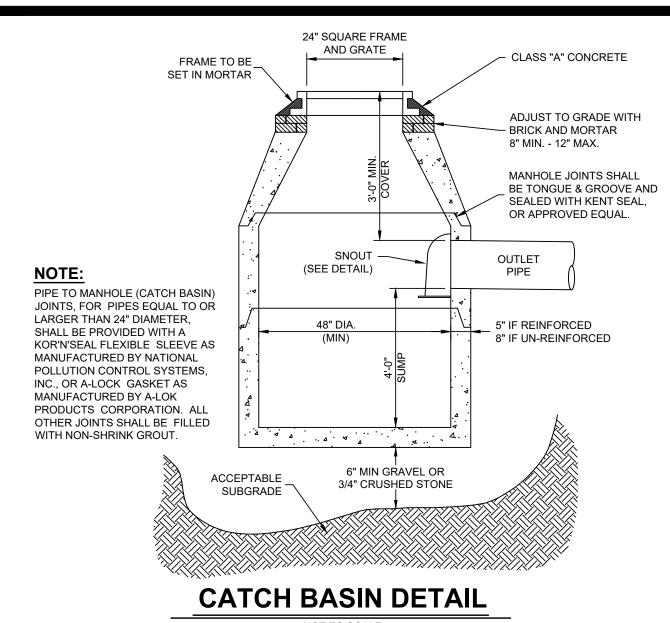
APPROVAL

GRANTED HEREIN

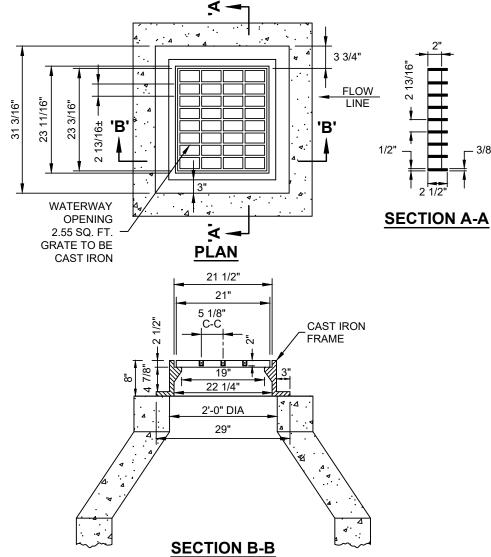
EXPIRES TWO

YEARS FROM DATE

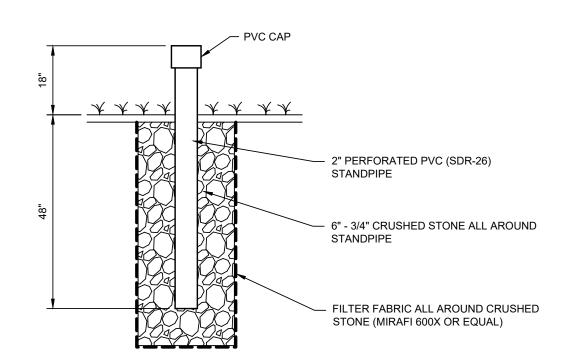
OF APPROVAL



NOT TO SCALE



CATCH BASIN - TYPE B FRAME AND COVER DETAIL (NHDOT STANDARD)

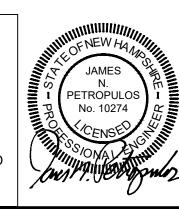


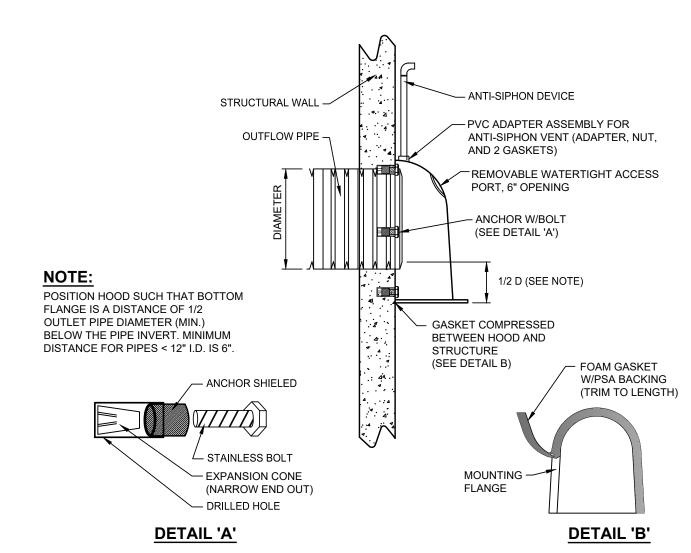
PERFORATED STANDPIPE DETAIL

PURSUANT TO THE SITE REVIEW **REGULATIONS OF** THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL **GRANTED HEREIN EXPIRES TWO** YEARS FROM DATE OF APPROVAL

DATE OF MEETING: SIGNATURE DATE: SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECIEVES FINAL APPROVAL.

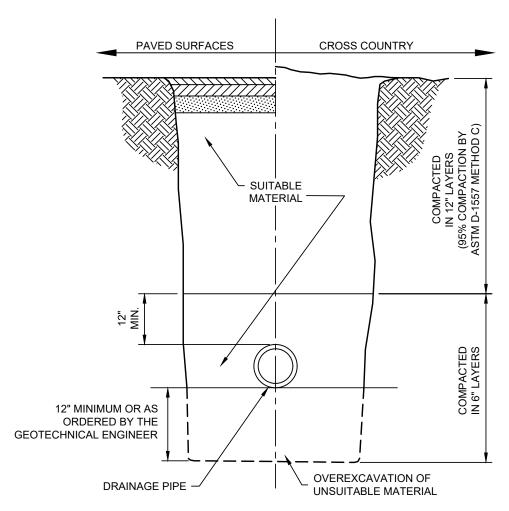
APPROVED BY THE HUDSON, NH PLANNING BOARD





SNOUT OIL AND DEBRIS STOP DETAIL

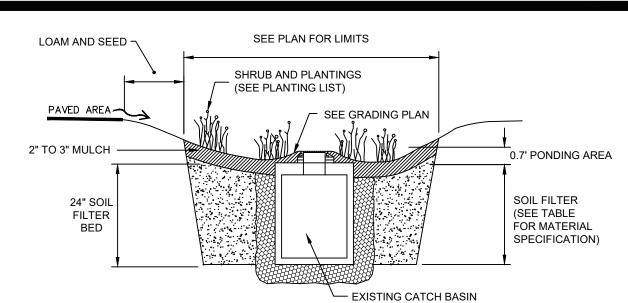
NOT TO SCALE



TYPICAL DRAINAGE TRENCH SECTION NOT TO SCALE

30" CLEAR OPENING FRAME TO BE SET IN BED OF MORTAR ADJUST TO GRADE WITH BRICK AND MORTAR MANHOLE JOINTS SHALL BE TONGUE & GROOVE AND SEALED WITH KENT SEAL, NO STEPS TO 5" IF REINFORCED 48" MIN. BE PROVIDED 8" IF UN-REINFORCED CONCRETE INVERT PIPE TO MANHOLE (CATCH BASIN) 6" MIN. GRAVEL OR 3/4" CRUSHED STONE JOINTS, FOR PIPES EQUAL TO OR LARGER THAN 24" DIAMETER, SHALL FLEXIBLE SLEEVE AS MANUFACTURED BY A-NATIONAL POLLUTION CONTROL SYSTEMS, INC., OR A-LOK GASKET AS MANUFACTURED BY A-LOK PRODUCTS CORPORATION. ALL OTHER JOINTS SHALL BE FILLED WITH A NON-SHRINK ACCEPTABLE SUBGRADE

DRAIN MANHOLE DETAIL



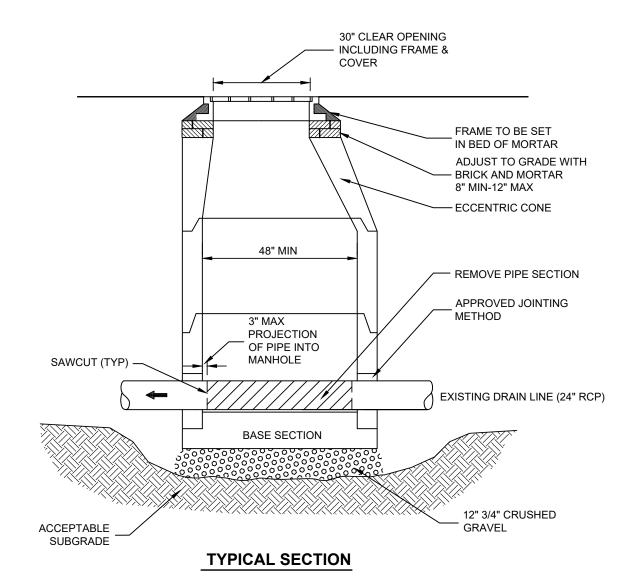
RAIN GARDE	N MATERIAL TABLE FOR	RBIORETENTION	I FILTER MEDIA				
	PERCENT OF	GRADATION OF MATERIAL					
COMPONENT MATERIAL	MIXTURE BY VOLUME	SIEVE No.	PERCENT BY WEIGHT PASSING STANDARD SIEVE				
FILTER MEDIA OPTION A							
ASTM C-33 CONCRETE SAND	50 TO 55						
LOAMY SAND TOPSOIL, WITH FINES AS INDICATED	20 TO 30	200	15 to 25				
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5				
	FILTER MED	IA OPTION B					
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5				
	70 TO 80	10	85 to 100				
LOANNY COARDON CAND		20	70 to 100				
LOAMY COARSE SAND		60	15 to 40				
		200	8 to 15				

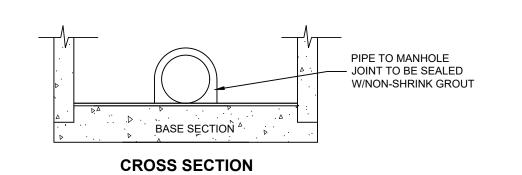
RAIN GARDEN NOTES:

- 1. DO NOT PLACE THE RAIN GARDENS INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- 2. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE RAIN GARDEN DURING ANY STAGE OF CONSTRUCTION.
- 3. DO NOT EXPOSE SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH
- EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM. 4. IF FINE MATERIAL THAT WOULD PERCH THE WATER TABLE IS ENCOUNTERED DURING THE CONSTRUCTION OF RAIN GARDEN, THE UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH COARSE GRAVEL (NHDOT

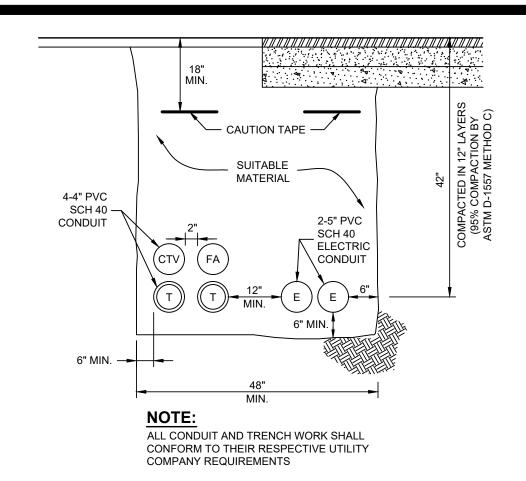
TYPICAL SECTION-RAIN GARDEN

NOT TO SCALE



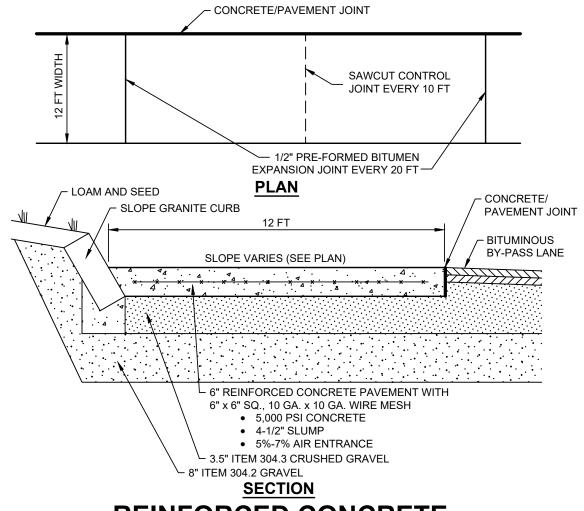


DROP-OVER DRAIN MANHOLE

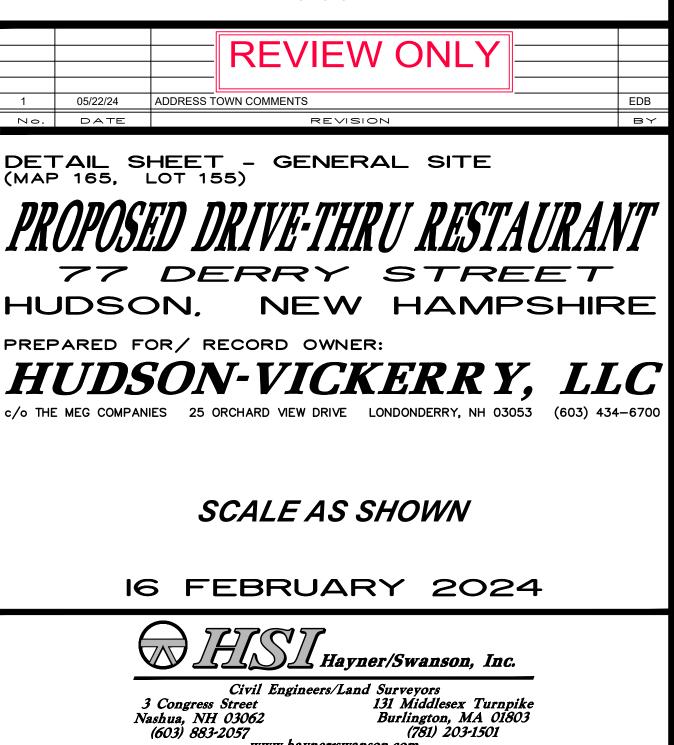


TYPICAL UTILITY TRENCH

NOT TO SCALE CONCRETE/PAVEMENT JOINT



REINFORCED CONCRETE DRIVE-THRU LANE DETAIL



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1708-SB

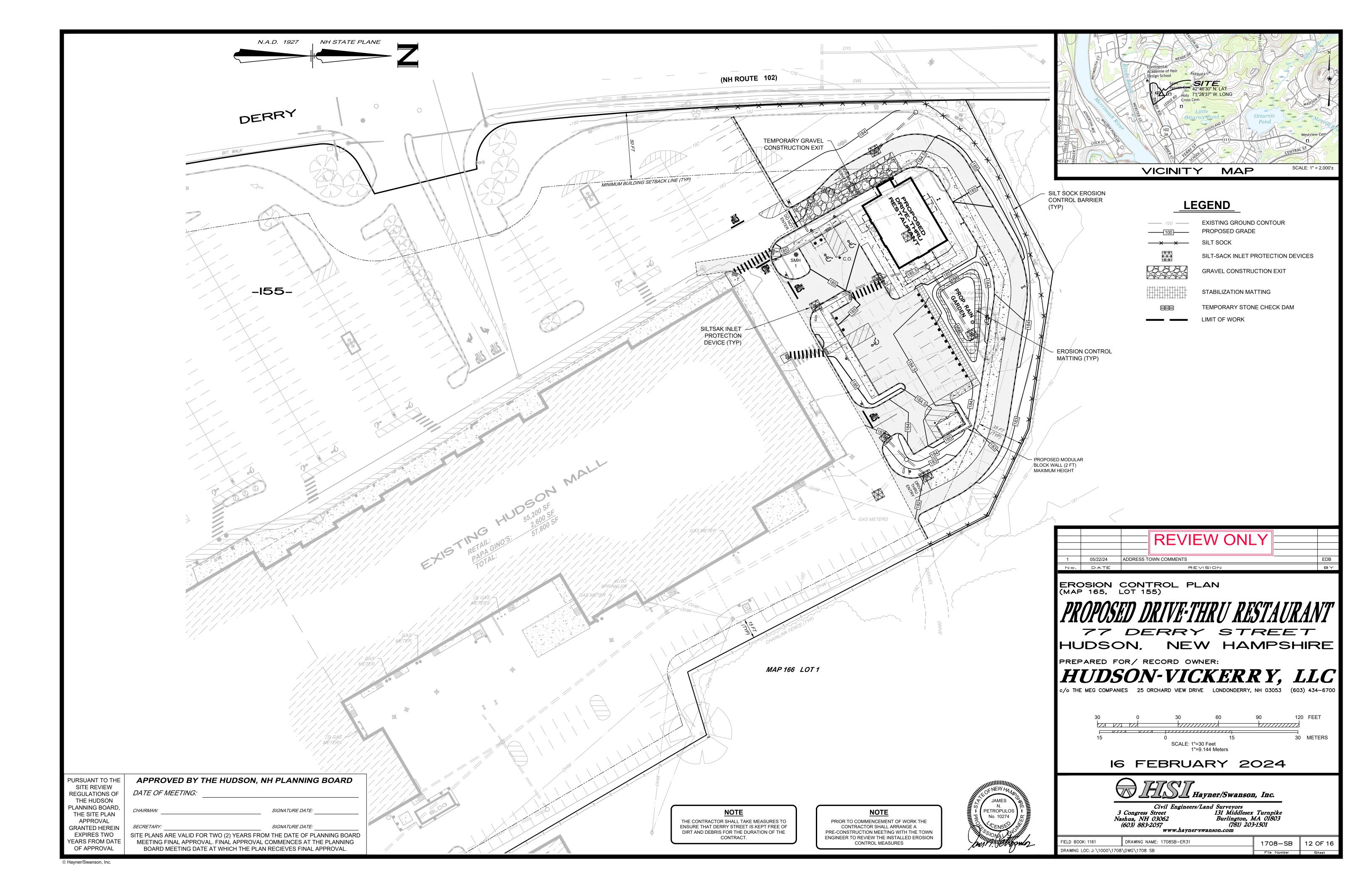
File Number

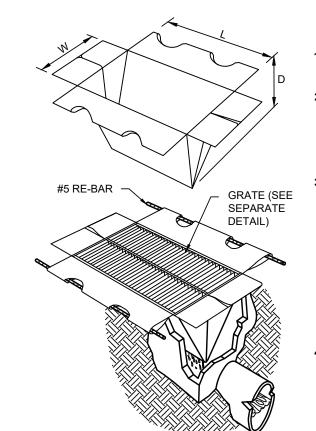
11 OF 16

DRAWING NAME: 1708SB-DET1

FIELD BOOK: 1161

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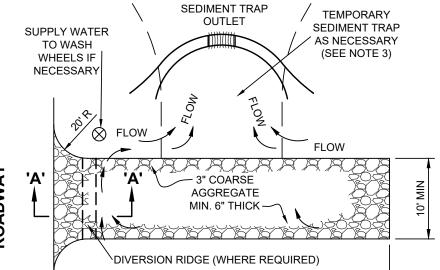




SILTSAK® NOTES:

- 1.0 THE SILTSAK® SHALL BE MANUFACTURED FROM WOVEN POLYPROPYLENE AND SEWN BY A DOUBLE NEEDLE
- MACHINE USING A HIGH STRENGTH NYLON THREAD 2.0 THE SILTSAK® SEAMS SHALL HAVE A CERTIFIED AVERAGE WIDE WIDTH STRENGTH PER ASTM D-4884 STANDARDS AS FOLLOWS:
 - SILTSAK® STYLE TEST METHOD TEST METHOD REGULAR FLOW ASTM D-4884 165.O LBS/IN HI-FLOW ASTM D-4884 114.6 LBS/IN
- 3.0 THE SILTSAK® WILL BE MANUFACTURED TO FIT THE OPENING OF THE CATCH BASIN OR DROP INLET. THE SILTSAK® WILL HAVE THE FOLLOWING FEATURES: TWO DUMP STRAPS ATTACHED AT THE BOTTOM TO FACILITATE THE EMPTYING OF THE SILTSAK®: THE SILTSAK® SHALI HAVE LIFTING LOOPS AS AN INTEGRAL PART OF THE SYSTEM TO BE USED TO LIFT THE SILTSAK® FROM THE BASIN; THE SILTSAK® SHALL HAVE A RESTRAINT CORD APPROXIMATELY HALFWAY UP THE SACK TO KEEP THE SIDES AWAY FROM THE CATCH BASIN WALLS, THIS YELLOW CORD IS ALSO A VISIBLE MEANS OF INDICATING WHEN THE SACK SHOULD BE EMPTIED, CLEANED, AND PLACED BACK INTO THE BASIN.
- 4.0 THE GEOTEXTILE FABRIC SHALL BE WOVEN POLYPROPYLENE FABRIC WITH THE PROPERTIES OF SILTSAK® REGULAR FLOW OR SILTSAK® HI-FLOW PER MANUFACTURERS SPECIFICATIONS.

SILTSAK® DETAIL



(MAY BE 50' WHERE DIVERSION RIDGE IS PROVIDED)

PLAN VIEW

DIVERSION RIDGE REQUIRED WHERE _ 3"-6" OR GREATER **GRADE EXCEEDS 2%** ROADWAY

SECTION 'A'-'A' VIEW

THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS.

ANY MEASURES USED TO TRAP SEDIMENT

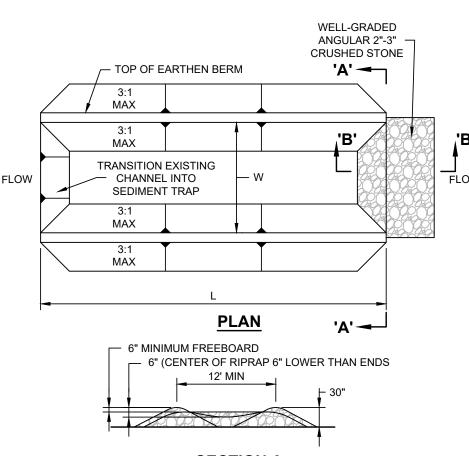
WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO EXITING THE SITE ONTO A PUBLIC RIGHT-OF-WAY.

THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF

- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED
- SEDIMENT TRAP OR SEDIMENT BASIN. CONSTRUCTION SPECIFICATIONS AND MAINTENANCE REQUIREMENTS SHOWN IN NHDES STORMWATER MANUAL VOLUME 3.

TEMPORARY GRAVEL CONSTRUCTION EXIT

NOT TO SCALE



CHANNEL 1'-6" MIN | FLOW -1'18" MIN WELL-GRADED ANGULAR 2"-3" CRUSHED STONE **SECTION B**

SEDIMENT TRAP INSTALLATION NOTES:

- SEE PLAN VIEW FOR
- -LOCATION, LENGTH AND WIDTH OF SEDIMENT TRAP. 2 SEDIMENT TRAPS SHALL BE SIZED TO PROVIDE A VOLUME OF 3,600 PER ACRE OF CONTRIBUTING DRAINAGE ARE*I*
- 3. SEDIMENT TRAPS SHALL BE INSTALLED PRIOR TO ANY UPGRADIENT LAND-DISTURBING ACTIVITIES.
- 4. SEDIMENT TRAP BERM SHALL BE CONSTRUCTED FROM MATERIAL FROM EXCAVATION THE BERM SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D698.
- 5. SEDIMENT TRAP OUTLET TO BE CONSTRUCTED OF WELL-GRADED ANGULAR 2"-3" CRUSHED STONE.
- 6. THE TOP OF THE EARTHEN BERM SHALL BE A MINIMUM OF 6" HIGHER THAN THE TOP OF THE OUTLET STRUCTURE.
- 7. THE ENDS OF THE OUTLET STRUCTURE SHALL BE A MINIMUM OF 6" HIGHER THAN THE CENTER OF THE OUTLET

SEDIMENT TRAP MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION.
- AND PERFORM NECESSARY MAINTENANCE. 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY
- 3. WHERE BMPs HAVE FAILED. REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE REMOVE SEDIMENT ACCUMULATED IN TRAP AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP. TYPICALLY
- WHEN THE SEDIMENT DEPTH REACHES 1/2 THE HEIGHT OF THE OUTLET. 5. SEDIMENT TRAPS SHALL REMAIN IN PLACE UNTIL THE
- CONTRIBUTING DISTURBED AREA IS STABILIZED. WHEN SEDIMENT TRAPS ARE REMOVED. THE DISTURBED AREA SHALL BE COVERED WITH TOPSOIL, SEEDED AND

MULCHED OR OTHERWISE STABILIZED.

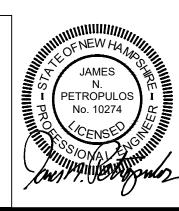
SEDIMENT TRAP DETAIL

PURSUANT TO THE SITE REVIEW **REGULATIONS OF** THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL **GRANTED HEREIN** EXPIRES TWO YEARS FROM DATE OF APPROVAL

DATE OF MEETING: SIGNATURE DATE: CHAIRMAN

APPROVED BY THE HUDSON, NH PLANNING BOARD

SIGNATURE DATE. SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECIEVES FINAL APPROVAL.

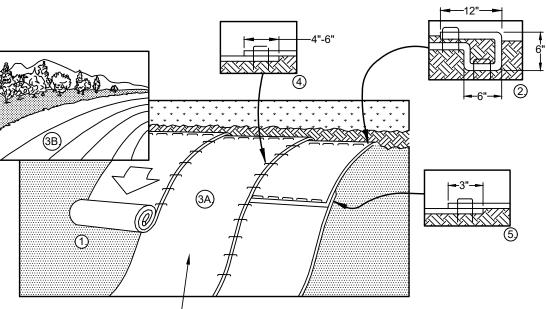


STAKE 6 FT ON CENTER 2"x2" WOODEN -FLOW -3" TO 4" AREA TO BE SILT SOCK BARRIEF **PROTECTED** (12"-18" TYPICAL) WORK ARFA AREA TO BE PROTECTED FLOW -

SECTION VIEW

- 1. SILT SOCK BARRIER SHALL BE FILTREXX SILTSOXX NATURAL PLUS (OR APPROVED EQUAL) AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
- 2. SILT SOCK BARRIER SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL, ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- 3. IF THE SILT SOCK SHOULD DECOMPOSE OR BECOME INEFFECTIVE, THE BARRIER SHALL BE REPLACED PROMPTLY.
- 4. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE
- 5. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE BARRIER HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED
- 6. COMPOST TO BE REMOVED OR DISPOSED ON-SITE AS DETERMINED BY THE ENGINEER.

SILT SOCK DETAIL



STABILIZATION MATTING BY NORTH AMERICAN GREEN BIONET S150BN, OR APPROVED EQUAL

- 1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEEL
- 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- 3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURES
- 4. 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP. TO ENSURE PROPER SEAM ALIGNMENT. PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
- 5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH
- 6. PLACE STAPLES/STAKES PER MANUFACTURE RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING

NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6"

STABILIZATION MATTING DETAIL

NOT TO SCALE

GENERAL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES STORMWATER MANUALS, VOLUME 1-3, LATEST EDITION
- THE WORK AREA SHALL BE GRADED, SHAPED, AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA. SILT FENCES, STRAW BALES AND/OR DETENTION BASINS WILL BE NECESSARY TO ACCOMPLISH THIS END.
- STRIPPED TOPSOIL SHALL BE STOCKPILED, WITHOUT COMPACTION, AND STABILIZED AGAINST EROSION IN ACCORDANCE WITH "TEMPORARY STABILIZATION OF DISTURBED AREAS", AS OUTLINED IN NOTE No. 4.
- TEMPORARY STABILIZATION OF DISTURBED AREAS: SEED BED PREPARATION: 10-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS PER 1,000 SF
- AND AGRICULTURAL LIMESTONE AT A RATE OF 90 LBS PER 1,000 SF AND INCORPORATED INTO THE SOIL. THE SOIL FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING
 - RATE PER 1,000 SF SEEDING DATES WINTER RY 2.5 LBS 08/15 TO 09/15
 - OATS 04/15 TO 10/15 2.5 LBS 08/15 TO 09/15 ANNUAL RYE GRASS 1.0 LBS 0.25"
- B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODABLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS: RATE PER 1,000 SF USE & COMMENTS

STRAW	70 TO 90 LBS	MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE
WOOD CHIPS OR BARK MULCH	460 TO 920 LBS	USED WITH TREE AND SHRUB PLANTINGS
FIBROUS MATTING	AS RECOMMENDED BY MANUFACTURER	MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE.
CRUSHED STONE	SPREAD TO GREATER	USE IN SPECIFIC AREAS AS SHOWN ON

PLAN OR AS NEEDED.

1/4" TO 1 1/2" DIA THAN 1/2" THICKNESS PERMANENT STABILIZATION OF DISTURBED AREAS:

A. SEED MIXTURE: USE ANY OF THE FOLLOWING:

- A. ALL ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. B. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL
- EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED
- AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:

- A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
- C. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN
- D. OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- 42° 46' 30" N LATITUDE, 71° 26' 37" W LONGITUDE (PER GOOGLE EARTH) TOTAL AREA OF DISTURBED SOILS: 45,000± SF.
- REFERENCE IS MADE TO THE LATEST EDITION OF THE FEDERAL REGISTER (63 FR 7857), ENVIRONMENTAL PROTECTION AGENCY NPDES GENERAL PERMITS FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. FOR ADDITIONAL INFORMATION CONTACT (202) 564-9545 OR www.epa.gov/npdes/stormwate
- THE ENTIRE CONTENTS OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE RETAINED ON-SITE FOR THE DURATION OF THE CONTRACT AND BE MADE AVAILABLE TO LOCAL, STATE AND FEDERAL CODE ENFORCEMENT PERSONNEL
- THIS PROJECT SHALL BE MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:63 AND AGR 3800 RELATIVE TO INVASIVE SPECIES; AND FUGITIVE DUST IS CONTROLLED IN ACCORDANCE WITH ENV-A
- TURF REINFORCEMENT MATS, IF UTILIZED, SHALL BE COVERED WITH SOIL TO PREVENT EXPOSURE OF
- THE MATS TO THE SURFACE. THERE SHALL BE NO PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8 INCHES MATERIAL UTILIZED (NOT APPLICABLE TO TURF REINFORCEMENT MATS).

CONSTRUCTION SEQUENCE

- CLEAR SITE ACCORDING TO PLAN.
- CONSTRUCTION OF TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES, INCLUDING HAY BALE BARRIERS TO BE IN ACCORDANCE WITH THE PLANS
- GRUB SITE ACCORDING TO PLAN.
- CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
- CONSTRUCT RAIN GARDEN PRIOR TO ROUGH GRADING. SEED AND MULCH IMMEDIATELY. SITE GRADING OF BUILDING AND PARKING AREAS. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND
- MULCHED AFTER BEING CONSTRUCTED INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT
- IN ACCORDANCE WITH THE " SEDIMENT CONTROL AT CATCH BASIN DETAIL ". THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED. RIPRAP SHALL BE PLACED AT EACH HEADWALL
- AS THE BUILDING IS COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED.
- NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF TWO (2) MONTHS OR GREATER. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED PRIOR TO WINTER CONDITIONS. STABILIZATION SHALL BE DEFINED AS 70% VEGETATIVE GROWTH BY NOVEMBER 1ST OR INSTALLATION OF EROSION CONTROL MATTING.
- COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER COMPLETION. ALL PERMANENT STORM WATER MANAGEMENT MEASURES SHALL HAVE A HEALTHY STAND OF
- VEGETATION ESTABLISHED PRIOR TO DIRECTING RUNOFF INTO THEM
- FINAL PAVING OF PARKING LOT.
- LOAM AND SEED ALL DISTURBED AREAS.
- INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
- REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED

SITE MAINTENANCE/INSPECTION PROGRAM

THE FOLLOWING PROVIDES AN ITEMIZATION OF SPECIFIC SITE MAINTENANCE PRACTICES THAT WILL BE EMPLOYED ON THE SITE TO MINIMIZE POLLUTANT GENERATION AND TRANSPORT FROM THE SITE. THE SITE MAINTENANCE PROGRAM INCLUDES ROUTINE INSPECTIONS, PREVENTATIVE MAINTENANCE AND "GOOD HOUSEKEEPING" PRACTICES.

<u>ROUTINE INSPECTIONS</u>

THE CONTRACTOR SHALL INSPECT ALL CONTROL MEASURES AT LEAST ONCE A WEEK AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 0.5 INCHES. THE INSPECTIONS WILL VERIFY THAT THE STRUCTURAL BMPs DESCRIBED IN THE PLANS ARE IN GOOD CONDITION AND ARE MINIMIZING EROSION. A MAINTENANCE INSPECTION REPORT WILL BE MADE WITH EACH INSPECTION. COMPLETED INSPECTION FORMS SHALL BE KEPT ON-SITE FOR THE DURATION OF THE PROJECT. FOLLOWING CONSTRUCTION, THE COMPLETED FORMS SHALL BE RETAINED AT THE CONTRACTOR'S OFFICE FOR A MINIMUM

PREVENTATIVE MAINTENANCE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT CONTROLS THROUGHOUT THE DURATION OF THIS CONTRACT. MAINTENANCE PRACTICES SHALL INCLUDE, BUT

- 1. CLEANING OF CATCH BASINS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY QUARTERLY
- 2. CLEANING OF SEDIMENT AND DEBRIS FROM STORMWATER MANAGEMENT AREA FOREBAY TWICE PER
- YEAR OR MORE FREQUENTLY AS DICTATED BY MONTHLY INSPECTIONS. 3. IMPLEMENTATION OF OTHER MAINTENANCE OR REPAIR ACTIVITIES AS DEEMED NECESSARY BASED
- UPON WEEKLY INSPECTIONS. 4. REMOVAL OF BUILT UP SEDIMENT ALONG SILT FENCES AND/OR HAY BALE BARRIERS.
- 5. REMOVAL OF BUILT UP SEDIMENT IN BOTH TEMPORARY AND PERMANENT CONTROLS SUCH AS GRASS
- SWALES, SEDIMENT FOREBAYS AND RECHARGE/DETENTION BASINS.
- RECONSTRUCTING THE TEMPORARY GRAVEL CONSTRUCTION EXIT IF NOT WORKING PROPERLY. 7. TREATMENT OF NON-STORM WATER DISCHARGES SUCH AS WATER FROM WATER LINE FLUSHINGS OR
- GROUNDWATER FROM DEWATERING EXCAVATIONS. SUCH FLOWS SHOULD BE DIRECTED TO A TEMPORARY SEDIMENTATION BASIN OR STORMWATER MANAGEMENT AREA.
- 8. SWEEP PARKING LOTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION. FREQUENCY WILL VARY SEASONALLY ACCORDING TO SEDIMENT ACCUMULATION ON PAVE SURFACES (E.G., MORE

GOOD HOUSEKEEPING PRACTICES

FREQUENT SWEEPING DURING THE WINTER AND SPRING).

THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM AND WATER RUNOFF. THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THE USE OF THESE PRODUCTS IS MINIMIZED. THE FOLLOWING "GOOD HOUSEKEEPING" PRACTICES SHALL BE FOLLOWED DURING CONSTRUCTION

- OF THE PROJECT A. AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
- B. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT. ORDERLY MANNER IN THEIR
- APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE. C. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR MANUFACTURERS' LABELS D. WHENEVER POSSIBLE, ALL OF A PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER.
- E. MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED. F. THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.

SPILL PREVENTION AND CLEANUP PRACTICES

- A. MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIAL WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL
- GOVERNMENT AGENCY, REGARDLESS OF THE SIZE. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF
- SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

WINTER CONDITION NOTES

- ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1. AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE. SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOR OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN
- ADVANCE OF THAW OR SPRING MELT EVENTS. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE
- OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A

			$ REVIEW $ ONLY $ \! $	
1	05/22/24	ADDRESS TO	OWN COMMENTS	EDB
No	DATE		REVISION	n Y

DETAIL SHEET - EROSION CONTROL (MAP 165, LOT 155)

MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.

PROPOSED DRIVE-THRU RESTAURANT 77 DERRY STREET HUDSON, NEW HAMPSHIRE

PREPARED FOR/ RECORD OWNER:

HUDSON-VICKERRY, LLC

c/o THE MEG COMPANIES 25 ORCHARD VIEW DRIVE LONDONDERRY, NH 03053 (603) 434-6700

SCALE AS SHOWN

16 FEBRUARY 2024



3 Congress Street Nashua, NH 03062 (603) 883-2057

131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501

www.hayner-swanson.com DRAWING NAME: 1708SB-DET1

FIELD BOOK: 1161

DRAWING LOC: J: \1000\1708\DWG\1708 SB

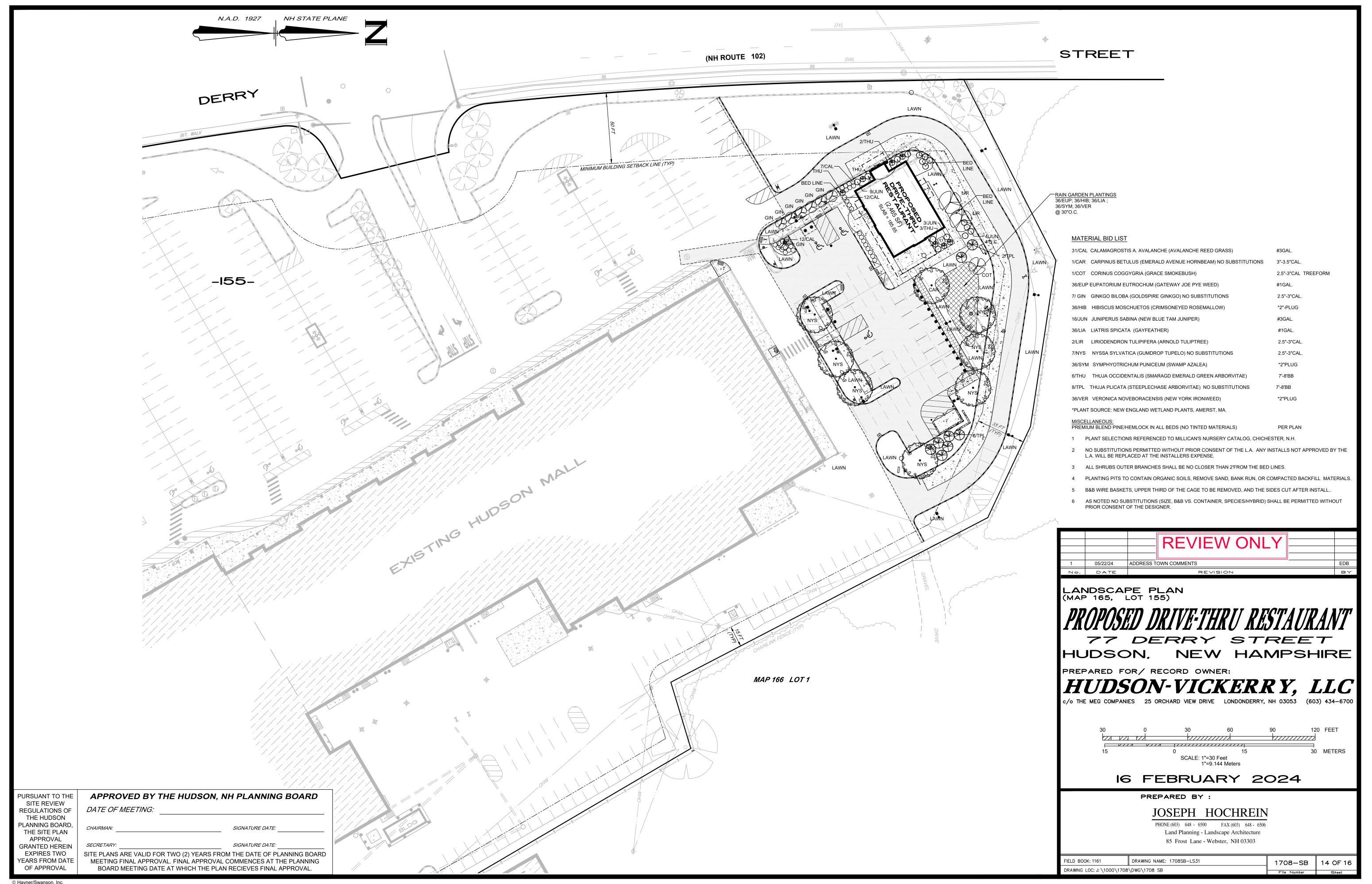
File Number

1708-SB 13 OF 16



SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF ALL DISTURBED AREAS.

LEAST 14 DAYS PRIOR TO



General Specifications

- 1. The contractor shall at their expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- 2. The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and acquaint himself with all conditions before making their proposal. They will be held responsible for errors in their proposal resulting from their failure to make such an examination. All bidders shall visit the site and inform themselves of all
- 3. The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials confirming to the bid items. Under no circumstances may a species 'hybrid' be substituted or size changed without written consent of the landscape architect.
- 4. The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, they shall be responsible for their repair and/or replacement at their expense.
- 5. The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstructed providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- If additional labor and/or materials is requested or required, the contractor shall submit a price to the owner. If the owner approves the price they shall prepare a change order for approval and signature. The contractor shall not proceed without a written authorization from the owner for the additional work. If the contractor proceeds with the additional work without this authorization he shall forfeit any claim for additional compensation.
- 7. The landscape architect (L.A.) shall reserve the right to inspect the project work at any time deemed necessary to Insure that the specifications and plans and any other contract documents are being followed.
- 8. The L.A. shall have the right to reject any plant on-site based upon condition, size, or incorrect species or hybrid. L.A. must be contacted prior to install, to inspect materials delivered to the site, and to insure that soil amendments, bark mulch, roof ballust, etc. are to the written specifications.
- 9. All seeded areas shall receive a minimum 6" topsoil blanket (by site contractor) w/site preparation, raking and general clean up prior to application. Operations shall include a preemergence type herbicide, 12 -25 -12 granular fertilizer @ 10 lbs./1000 sf., and pelletized limestone @ 25 lbs. /1000 s/f power raked into the top 2" of soil prior to hydro-seeding. Ratios & application rates may change based upon the required soil analysis.
- 10. Contractor is responsible for establishing a thick, weed free lawn. Seed shall be spread @ 4lbs./1000. Lawn germination shall be 95% free of noxious weeds for acceptance. Define differences in seed mixes (if applicable) with irrigation flagging until 2nd mowing. Site review by L.A. is required.

- 11. Review of the installed irrigation system by the designer is required prior to release of final payment.
- 12. Hydroseeding operations shall be a one part process with a paper fiber mulch; a tackifier shall be applied on all slopes greater than 3:1, Excelsor Drainage mat shall be applied to all 2:1 slopes and drainage swales per plan.
- 13. Contractor shall maintain, from acceptance date, the lawn areas through the first mowing. Contractor is not responsible for the first mowing.
- 14. All plant materials shall be installed in accordance with A.L.C.C. Trees and shrubs shall have appropriate soil mixtures, fertilizer and soil retention granules.
- 15. If the soil conditions are extremely sandy, all trees shall have a 6" layer of compacted topsoil (verify with L.A.) placed in the base of the plant pit as a moisture retention layer. The plant pit sidewalls shall be over excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec # 22.
- 16. Landscape architect shall have the right to reject and have ground removed any plant material not of proper size or of weak quality, ie. thin, no lower branching, etc. Contractor must submit shipping lists (billing invoices) for verification, prior to installation.
- 17. All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractors expense; with same warranty requirements as the original. Warranty does not cover loss due mechanical damage, le. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.
- 18. Plant beds and saucers vary in dia. (refer to dwg). Trees and shrubs shall receive a 4" (settled) covering of pine/hemlock bark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6' dia. saucer (typ.), evergreen trees shall have a saucer 2' min. beyond it's outer branches. All edges shall have a 'V' groove.
- 19. All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- 20. If road base is encountered in any plant bed areas, ie. parking islands, it shall be removed and suitable amended soil installed per drawings and specifications.
- 21. Soil planting mixture shall be a 6%-10% organic topsoil, amended with 10% wood ash, 10%%% manure, & 30%%% peatmoss or incorporate a dehydrated compost material. If planting in sand, gravel or other well drained soils, a 50% peatmoss to excavated soil. Other soil amendments shall include; Agriform tablets, Hydro-Gel or equal, and Roots growth enhancer to all trees and shrubs listed, per manufacturers specifications. All plant material pits will receive a min. 20%%% in volume mix of a compost soil amendment. Submittal required. 'Roots' STEP 1 can be substituted for the individual supplements. Install per manufacturer's specs.
- 22. Landscape contractor shall not be responsible for topsoil spreading but shall coordinate with the site contractor adherence to the mound grades, plant bed soil depths and soil type per dwgs & spec. Landscape contractor shall power rake-out for seed.

- 23. Landscape contractor shall provide a soil analysis of the topsoil planting mixture. Analysis to show soil classification (min. sandy loam) and nutrients.
- 24. Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be stored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface drys out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- 25. Plan dictates, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- 26. Installer shall notify landscape architect prior to planting, to review plant locations and bedline configurations. If contractor installs without the placement approval of the L.A., said architect shall have the right to relocate any installed plants at the contractor's expense.
- 27. Installer shall notify landscape architect prior to plant installation to review all materials. Any plants of poor condition, improper size, or species will be rejected.
- 28. Upon one year review, contractor shall straighten any trees that have shifted.

 Any weak or bare spots in lawn shall be reseeded.
- 29. All bedlines shall have a deep 'V' groove to define lawn to mulch edge. No 'Beehive' mounding of mulch is allowed, also keep mulch away from base of
- 30. Do not plant materials too close to the edge of bedlines. Refer to drawings for center of plant to bedline. At a minimum no outer branching of a shrub or perennial shall be closer than two feet from the bedlines. If the as-built does not comply contractor shall adjust the plant location or bedline at his expense.
- 31. Seed mixes include: Sandy Soil Lawn Mix by: deercreekseed.com; New England Wetland Plants, Amherst, Ma. refer to planting plan for designations.
- 32. Any items not completed to the specifications will be required at contractors expense prior to final approvals. Contractor is to bid the work according to the specifications and not to what they may do under their standard practices. Special attention will be payed to soils, amendments, guy stakes, bedline & saucer configurations, seed mixtures, etc.
- 33. Certain designated foundation edging is rood ballust (washed rounds, non-crushed, natural) Size of stone is a range of 3/4"-1.5"dia. placed to a depth of 3", upon placement apply a coating of granular Preen (preemergent).
- 34. Any questions concerning this drawing shall be directed to Joseph Hochrein, 85 Frost Lane, Webster, NH 03303, 603-648-2541.

MATERIAL BID LIST

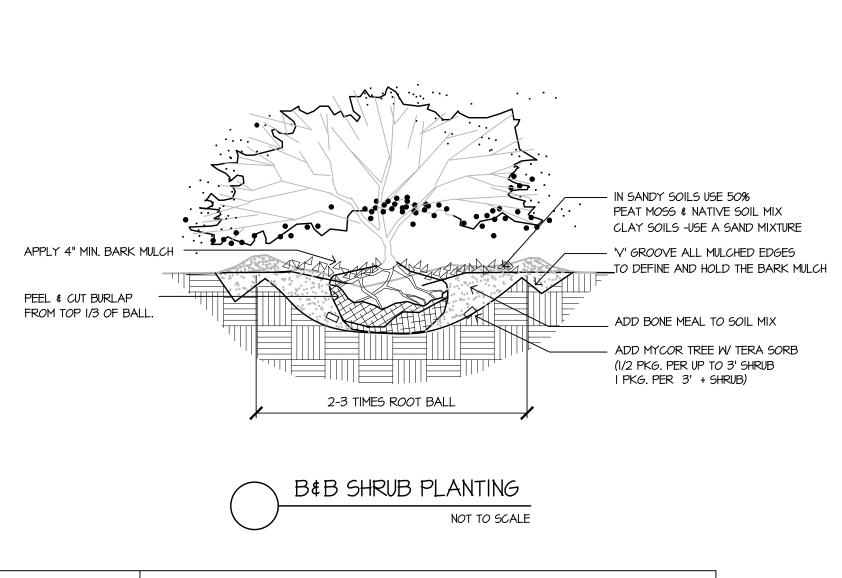
31/CAL	CALAMAGROSTIS A. AVALANCHE (AVALANCHE REED GRASS)	#3GAL.
1/CAR	CARPINUS BETULUS (EMERALD AVENUE HORNBEAM) NO SUBSTITUTIONS	3"-3.5"CAL.
1/COT	CORINUS COGGYGRIA (GRACE SMOKEBUSH)	2.5"-3"CAL TREEF
36/EUP	EUPATORIUM EUTROCHUM (GATEWAY JOE PYE WEED)	#1GAL.
7/ GIN	GINKGO BILOBA (GOLDSPIRE GINKGO) NO SUBSTITUTIONS	2.5"-3"CAL.
36/HIB	HIBISCUS MOSCHUETOS (CRIMSONEYED ROSEMALLOW)	*2"-PLUG
16/JUN	JUNIPERUS SABINA (NEW BLUE TAM JUNIPER)	#3GAL.
36/LIA	LIATRIS SPICATA (GAYFEATHER)	#1GAL.
2/LIR	LIRIODENDRON TULIPIFERA (ARNOLD TULIPTREE)	2.5"-3"CAL.
7/NYS	NYSSA SYLVATICA (GUMDROP TUPELO) NO SUBSTITUTIONS	2.5"-3"CAL.
36/SYM	SYMPHYOTRICHUM PUNICEUM (SWAMP AZALEA)	*2"PLUG
6/THU	THUJA OCCIDENTALIS (SMARAGD EMERALD GREEN ARBORVITAE)	7'-8'BB
8/TPL	THUJA PLICATA (STEEPLECHASE ARBORVITAE) NO SUBSTITUTIONS	7'-8'BB
36/VER	VERONICA NOVEBORACENSIS (NEW YORK IRONWEED)	*2"PLUG
*PLANT	SOURCE: NEW ENGLAND WETLAND PLANTS, AMERST, MA.	

MISCELLANEOUS: PREMIUM BLEND PINE/HEMLOCK IN ALL BEDS (NO TINTED MATERIALS)

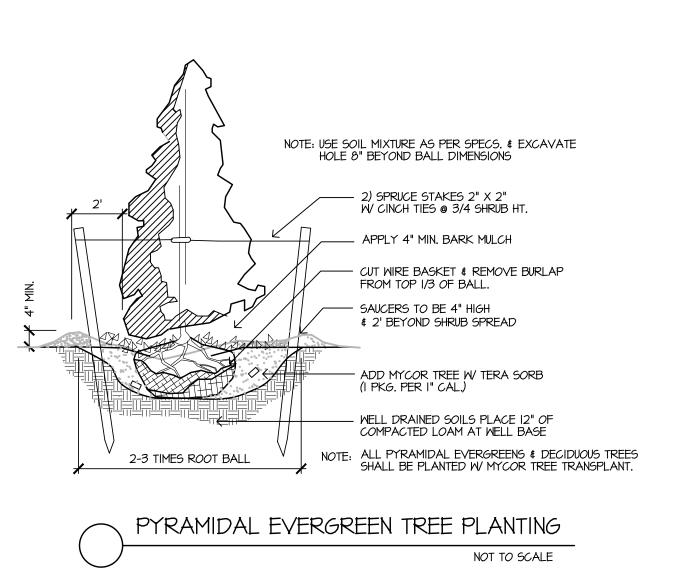
- 1 PLANT SELECTIONS REFERENCED TO MILLICAN'S NURSERY CATALOG, CHICHESTER, N.H.
- 2 NO SUBSTITUTIONS PERMITTED WITHOUT PRIOR CONSENT OF THE L.A. ANY INSTALLS NOT APPROVED BY THE L.A. WILL BE REPLACED AT THE INSTALLERS EXPENSE.
- 3 ALL SHRUBS OUTER BRANCHES SHALL BE NO CLOSER THAN 2'FROM THE BED LINES.
- PLANTING PITS TO CONTAIN ORGANIC SOILS, REMOVE SAND, BANK RUN, OR COMPACTED BACKFILL MATERIALS.

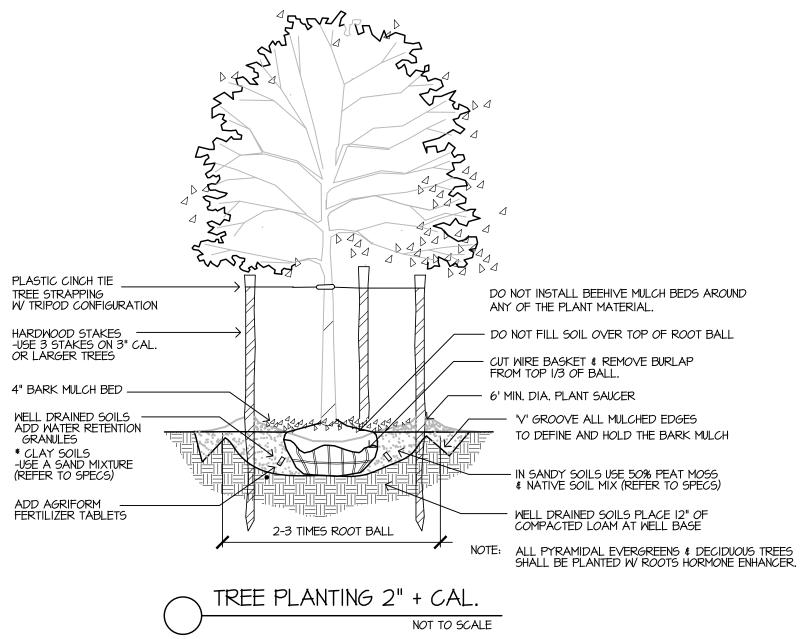
PER PLAN

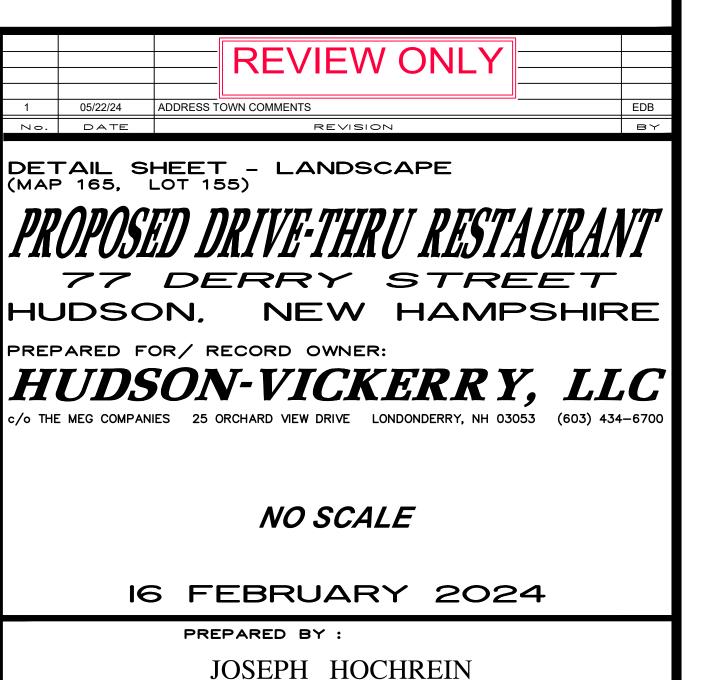
- 5 B&B WIRE BASKETS, UPPER THIRD OF THE CAGE TO BE REMOVED, AND THE SIDES CUT AFTER INSTALL..
- 6 AS NOTED NO SUBSTITUTIONS (SIZE, B&B VS. CONTAINER, SPECIES/HYBRID) SHALL BE PERMITTED WITHOUT PRIOR CONSENT OF THE DESIGNER.



APPROVED BY THE HUDSON, NH PLANNING BOARD PURSUANT TO THE SITE REVIEW DATE OF MEETING: **REGULATIONS OF** THE HUDSON PLANNING BOARD, SIGNATURE DATE: THE SITE PLAN APPROVAL SIGNATURE DATE: **GRANTED HEREIN** EXPIRES TWO SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD YEARS FROM DATE MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING OF APPROVAL BOARD MEETING DATE AT WHICH THE PLAN RECIEVES FINAL APPROVAL.







PHONE (603) 648 - 6500 FAX (603) 648 - 6506

Land Planning - Landscape Architecture

85 Frost Lane - Webster, NH 03303

1708-SB

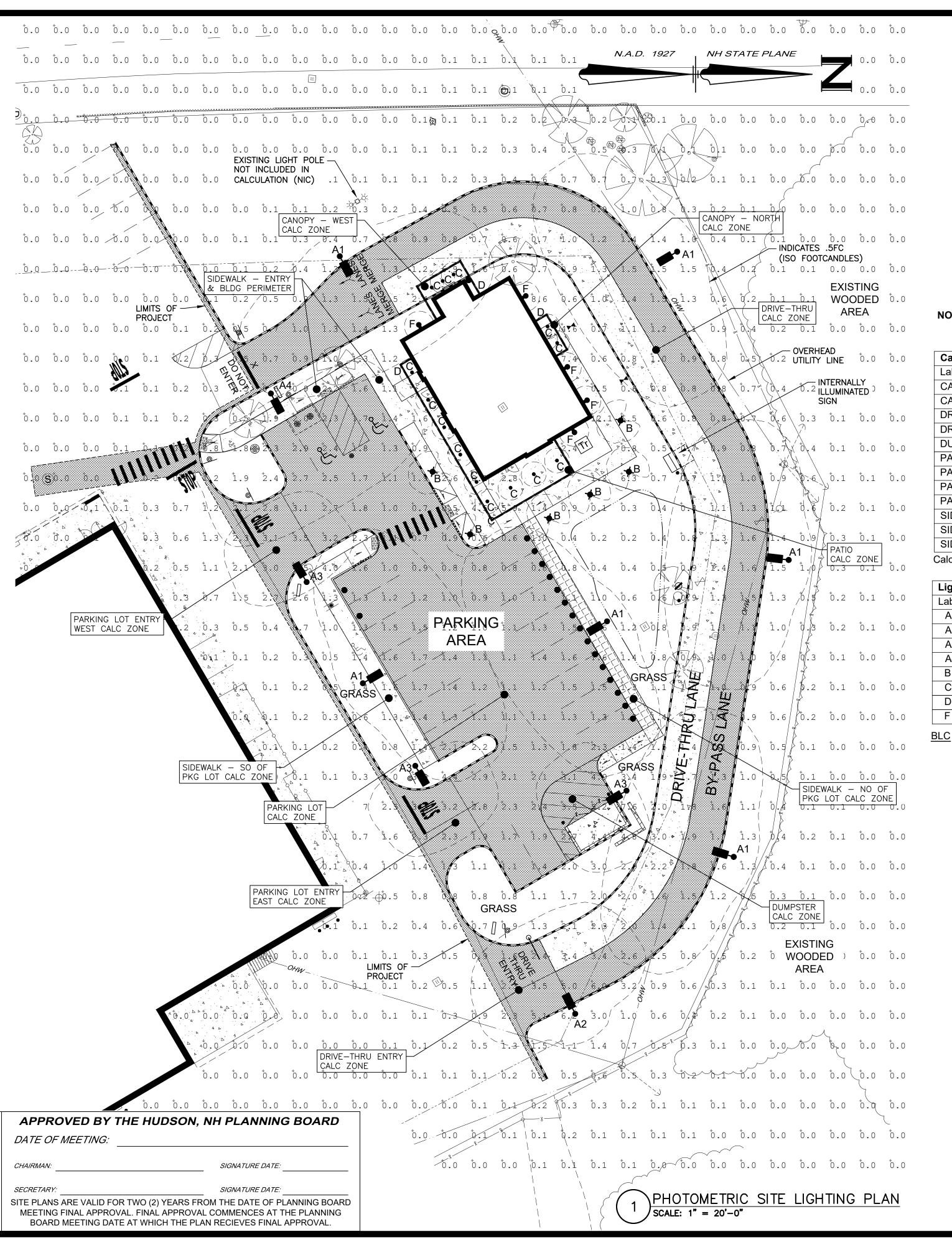
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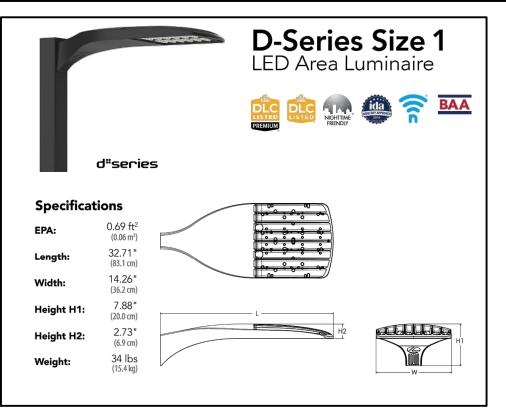
15 OF 16

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FIFI D BOOK: 1161

DRAWING LOC: J: \1000\1708\DWG\1708 SB









TYPE B

TYPE F

NOTE: IMAGE OF TYPE C - 3"DIA. RECESSED DOWNLIGHT, NOT SHOWN.

TYPES: A1 / A2 / A3 /A4

Label	Avg	Max	Min	Avg/Min
CANOPY - NORTH	12.40	12.5	12.3	1.01
CANOPY - WEST	10.70	20.3	7.4	2.74
DRIVE-THRU ENTRY	3.55	6.9	1.1	3.23
DRIVE-THRU LANES	1.47	9.2	0.4	3.68
DUMPSTER	4.14	7.3	2.3	1.80
PARKING LOT	1.60	3.5	0.6	2.67
PARKING LOT ENTRY - EAST	2.68	3.3	1.6	1.68
PARKING LOT ENTRY - WEST	3.33	4.8	2.3	1.45
PATIO	6.92	11.3	1.6	4.33
SIDEWALK - ENTRY & BUILDING	3.31	13.2	0.3	11.13
SIDEWALK - SO OF PKG LOT	1.76	4.0	1.2	1.47
SIDEWALK - NO OF PKG LOT	1.42	4.2	0.6	2.37



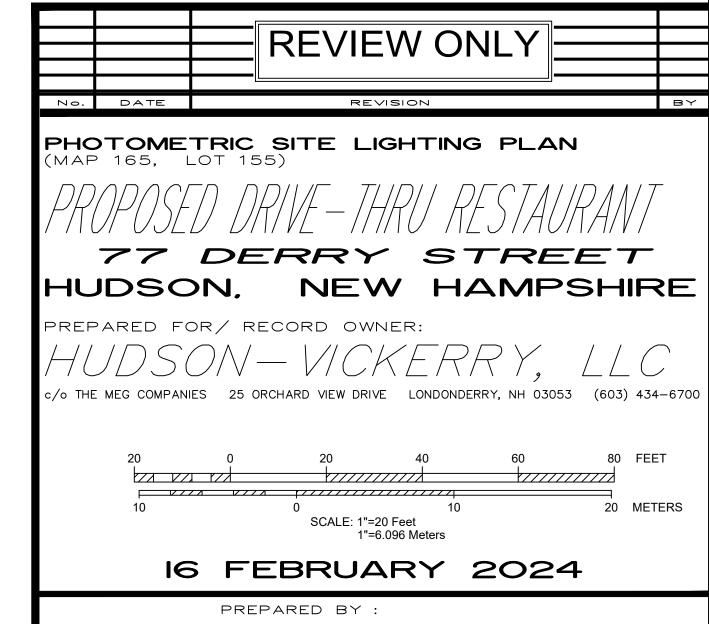
alc Type - Illuminance Units - FC (Footcandle)

								111 -				
Light I	Light Fixture Schedule											
Label	Symbol	Qty	Arrangement	Manufacturer	Catalog Number	Mtg Ht	CT	Dist Type	Lumens	BUG Rating	LLF	Watts
A1	•	6	SINGLE	Lithonia	DSX1 LED P1 30K 80CRI T3M HS	20FT / POLE MTD	3000K	Type IV	5733	B1-U0-G2	0.95	50
A2	•	1	SINGLE	Lithonia	DSX1 LED P3 30K 80CRI T4LG EGS-F	20FT / POLE MTD	3000K	Type III	8240	B1-U0-G1	0.95	102
A3	•	3	SINGLE	Lithonia	DSX1 LED P1 30K 80CRI T4LG	20FT / POLE MTD	3000K	Type IV	6107	B1-U0-G1	0.95	51
A4	•	1	SINGLE	Lithonia	DSX1 LED P1 30K 80CRI BLC3	20FT / POLE MTD	3000K	Type IV	6107	B1-U0-G1	0.95	51
В	×	6	SINGLE	Lithonia	RADB LED P2 30K ASY DDBXD	45.5IN Bollard	3000K	Type I	534	B0-U1-G0	0.95	8
С	•	14	SINGLE	USAI	CRT1711211244-001-006+008, Model_ B	Recessed @ 11FT	3000K	Type VS	825	B2-U0-G0	0.95	9
D		3	SINGLE	Traxon Go	MINI GO 1200mm-36pcs-3000k-20°	Canopy @ 11FT	3000K	Type I	300/FT	B2-U2-G0	0.50	18W/4FT
F	•	5	SINGLE	B-K Lighting	CK-LED-X59-FL-9 -C	Wall @ 8.5FT	3000K	Type V	776	B1-U0-G0	0.95	12

<u>BLC</u> - Backlight Control <u>EGS-F</u> - External Glare Shield, Forward Throw <u>HS</u> - House Shield

GENERAL SITE LIGHTING NOTES:

- 1. POLE MOUNTED LUMINAIRES SHALL BE ENERGY SAVING LED, 'NIGHTTIME FRIENDLY', 'IDA—DARK SKY APPROVED', DIMMABLE AND RATED FOR 100,000 HOUR LIFE.
- 2. CONTROL SYSTEM FOR SITE LIGHTING (IE POLE MOUNTED FIXTURES AND BOLLARDS) AND BUILDING MOUNTED LIGHTING SHALL BE FULLY AUTOMATIC, PROGRAMMABLE AND DIMMABLE AND SHALL COMPLY W/ THE TOWN OF HUDSON LIGHTING ORDINANCES.
- 3. EACH BUILDING MOUNTED LIGHT FIXTURE TYPE SHALL BE PROVIDED W/ SEPARATE CONTROL PANEL RELAY AND/OR WALL MOUNTED DIMMER SWITCH.
- 4. TIME OF DAY PROGRAMMING SCHEDULE SHALL BE DETERMINED BY THE OWNER. LIGHTING SHALL BE SET TO AUTO-ON AT DUSK AND AUTO-OFF AT DAWN AS A MINIMUM. A REDUCED SET-BACK LEVEL (REDUCED BY SAY 50%) AFTER CLOSE OF BUSINESS MAY BE CONSIDERED AND SHALL BE DETERMINED BY THE OWNER.
- 5. LIGHT POLE BASE TOP-OF-CONCRETE ALONG DRIVE-THRU SHALL BE 2FT ABOVE FINISHED GRADE.
- 6. LIGHT POLE BASE AND BOLLARD BASE TOP-OF-CONCRETE SHALL BE 4" ABOVE FINISHED GRADE WHERE LOCATED IN GRASS.
- 7. MAINTAIN MINIMUM CLEARANCE BETWEEN LUMINAIRE AND EXISTING OVERHEAD UTILITY LINES PER LOCAL UTILITY REQUIREMENTS, TYPICAL.
- 8. CONTRIBUTION FROM EXISTING LIGHT SOURCES OUTSIDE OF PROJECT LIMITS ARE NOT INCLUDED IN CALCULATION.



DUBOIS & KING, INC

15 CONSTITUTION DRIVE, SUITE II

BEDFORD, NEW HAMPSHIRE 03110

PHONE (603) 637 - 1043

DRAWING LOC: PHOTOMETRIC PLAN\ARCH\240228\1708SB-SL31 - 20240228

1708-SB 16 OF 16

PURSUANT TO THE

SITE REVIEW

REGULATIONS OF

THE HUDSON PLANNING BOARD,

THE SITE PLAN

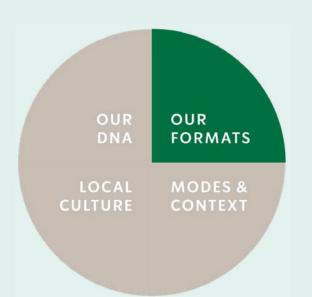
APPROVAL

GRANTED HEREIN

EXPIRES TWO

YEARS FROM DATE

OF APPROVAL



NE Schematic Exterior Design | STB-B (Scheme A)

Primary Cladding:

Wood cladding at entry doors and patio area to run vertically.

Secondary Cladding:

Smooth brick application. Stacked horizontally below canopy. Stacked vertically above.

Accent Cladding:

Wood cladding (black) at the Drive Thru bump in vertical application.

Canopy:

Underside of canopy to be clad with wood, typ.



PALETTE A

