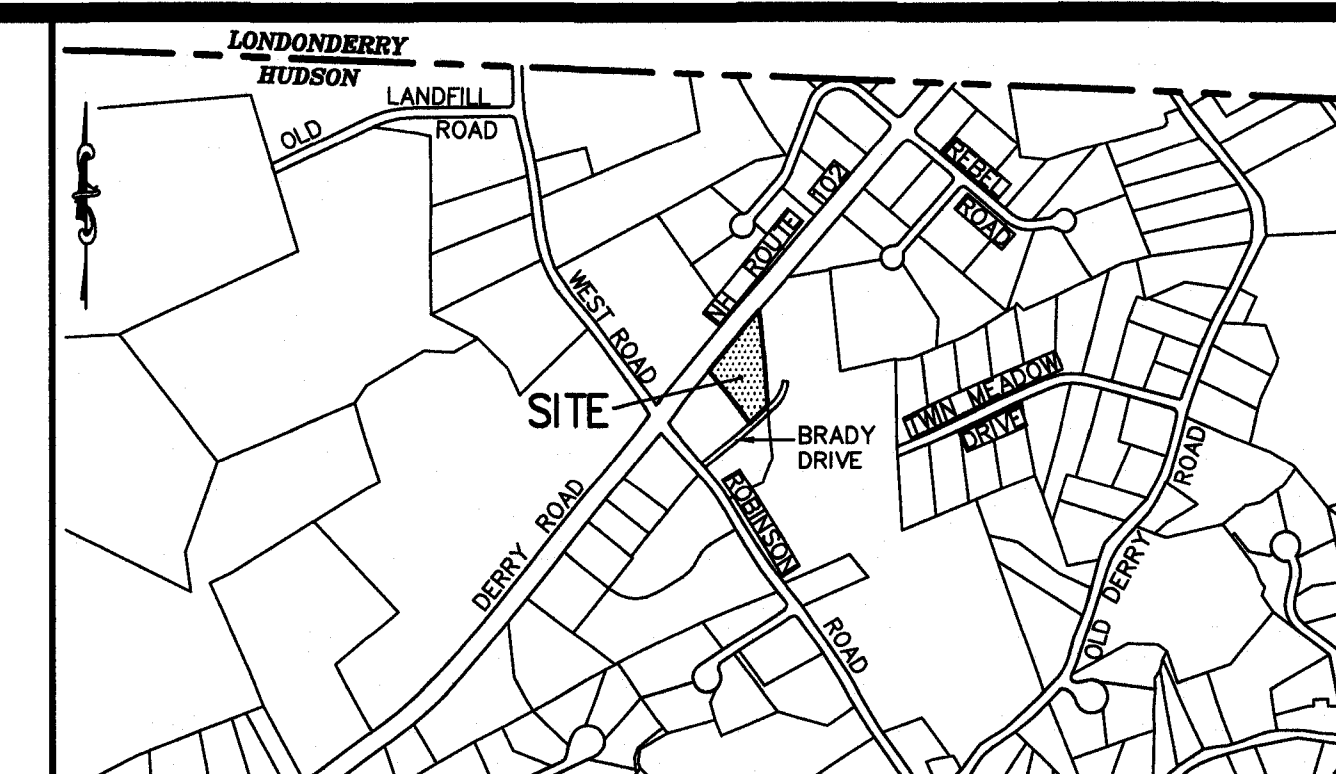


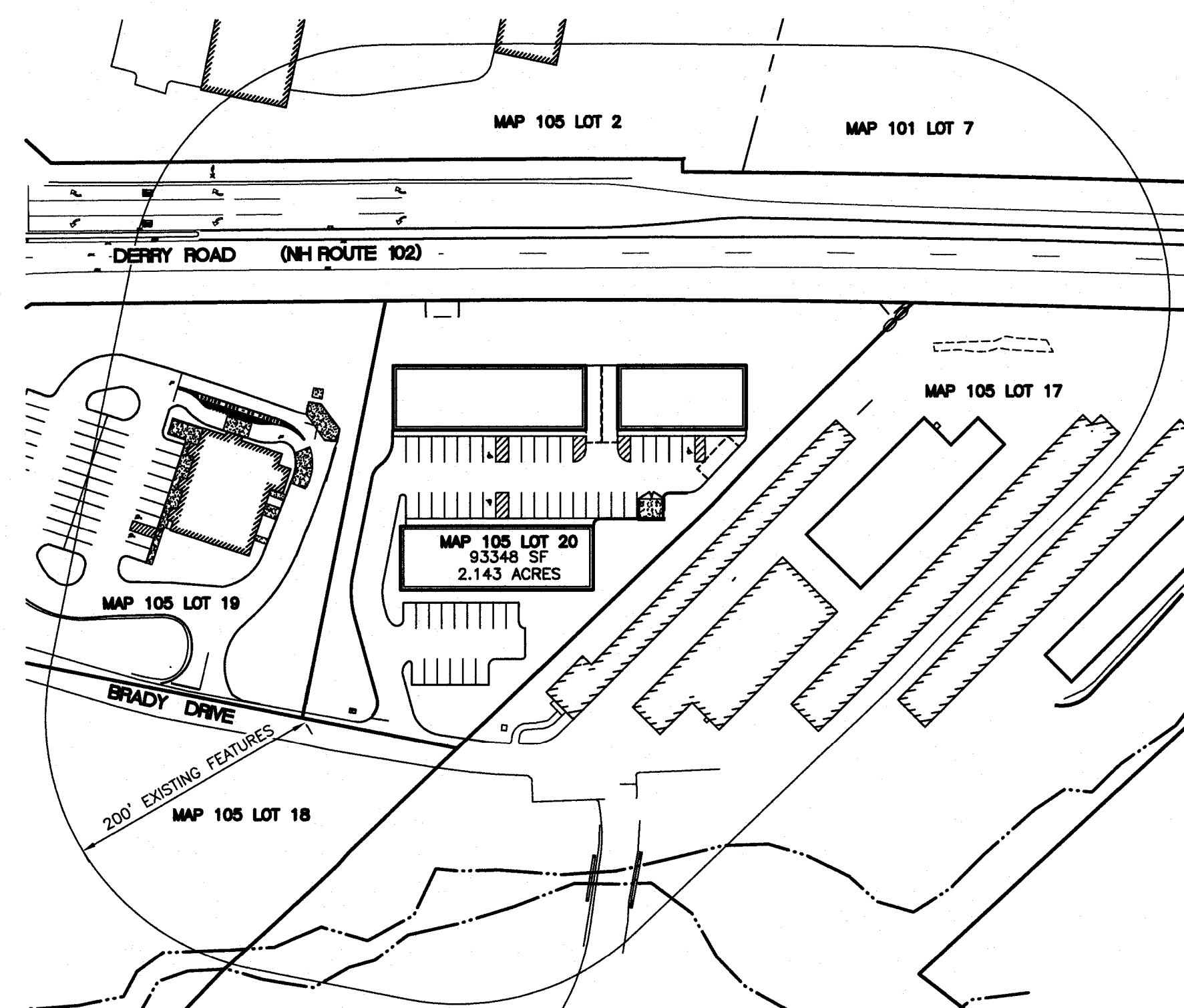
VICINITY PLAN
NOT TO SCALE

NON-RESIDENTIAL SITE PLAN INDUSTRIAL CONDOMINIUM COMPLEX

MAP 105; LOT 20
16 BRADY DRIVE
HUDSON, NEW HAMPSHIRE



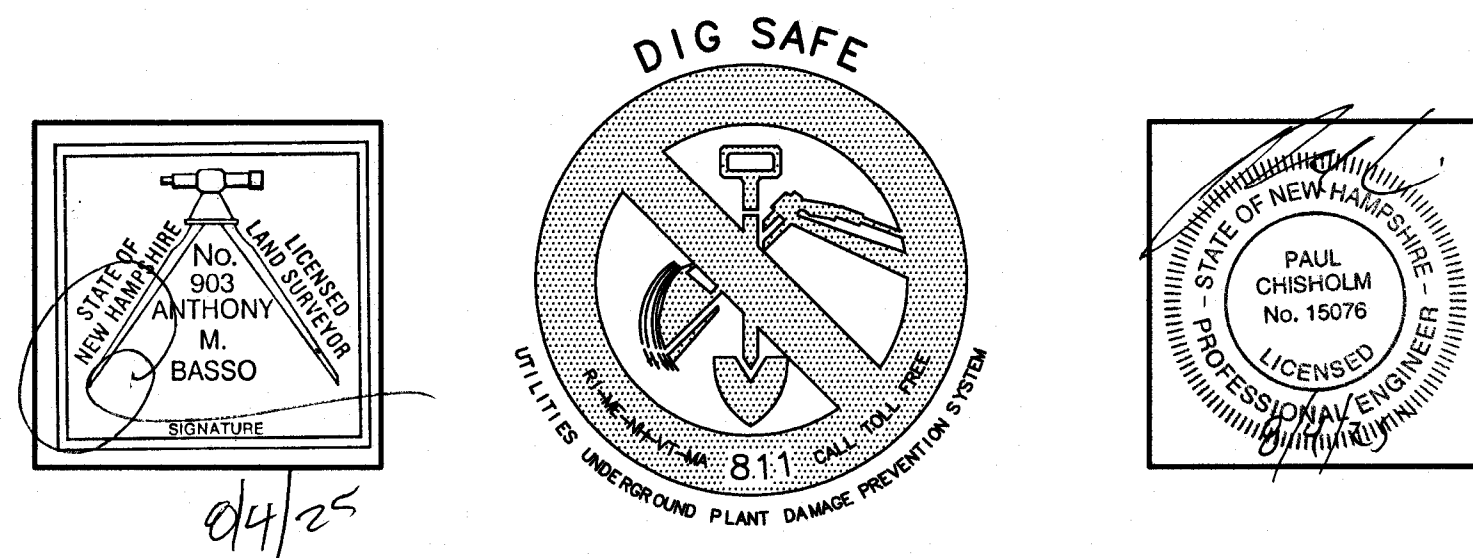
LOCATION MAP
SCALE: 1"=1,000'



OWNER:
MSE PROPERTIES, LLC
20 SENTER FARM ROAD
HUDSON, NH 03051

PREPARED FOR:
KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076

PREPARED BY:
KEACH-NORDSTROM ASSOCIATES, INC.
10 COMMERCE PARK NORTH, SUITE 3B
BEDFORD, NEW HAMPSHIRE 03110
(603) 627-2881



KNA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

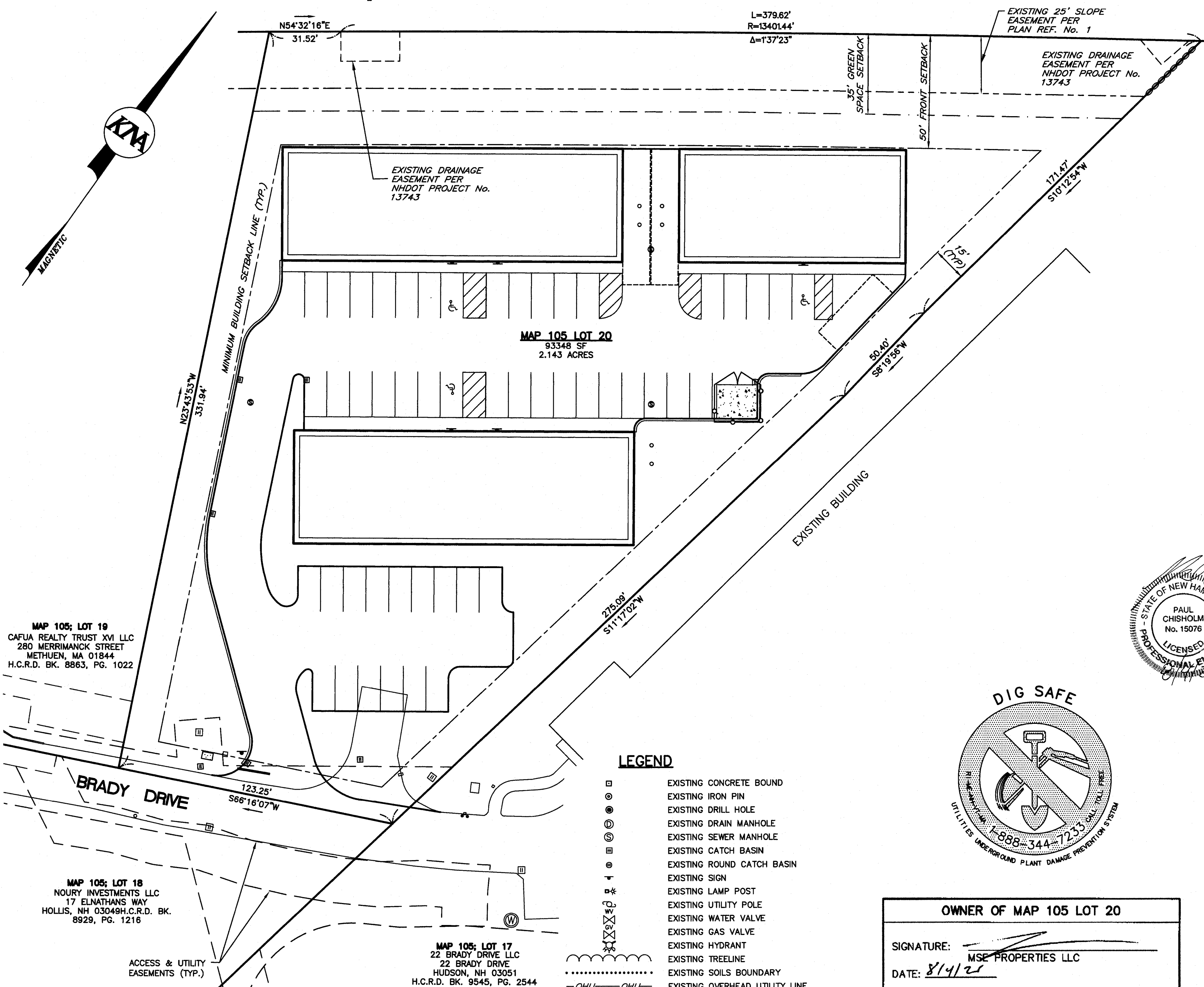
AUGUST 5, 2025
PROJECT NO. 24-1220-1

SHEET TITLE	SHEET No.
MASTER PLAN	1
EXISTING CONDITIONS PLAN	2
REMOVALS/DEMOLITION PLAN	3
NON-RESIDENTIAL SITE PLAN	4
GRADING, DRAINAGE, AND UTILITY PLAN	5
EROSION CONTROL PLAN	6
LANDSCAPE PLAN	7
LIGHTING PLAN	8
EFFLUENT DISPOSAL DESIGN	9 - 10
EFFLUENT DISPOSAL DESIGN DETAILS	11
CONSTRUCTION DETAILS	12 - 13

- NOTES:
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE LAYOUT OF THREE INDUSTRIAL USE CONDOMINIUM BUILDINGS ON MAP 105 LOT 20 IN HUDSON, NEW HAMPSHIRE AND NO OTHER PURPOSE.
 2. MAP 105 LOT 20 INDICATES TOWN OF HUDSON, NEW HAMPSHIRE TAX ASSESSOR'S MAP AND LOT NUMBER.
 3. AREA OF THE PARCEL IS 93,348 SF, OR 2.143 ACRES
 4. THE SUBJECT PARCEL IS LOCATED WITHIN THE GENERAL ONE (G-1) ZONING DISTRICT AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REQUIREMENTS:

TABLE OF ZONING REQUIREMENTS			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE	87,120 SF	93,348 SF	93,348 SF
MINIMUM LOT FRONTAGE	200 FT	411.14 FT	411.14 FT
FRONT YARD SETBACK	50 FT	N/A	50.9 FT
SIDE YARD SETBACK	15 FT	N/A	16.0 FT
REAR YARD SETBACK	15 FT	N/A	112.7 FT
MAXIMUM BUILDING HEIGHT	50 FT	N/A	20.0 FT

5. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE IN JANUARY 2025.
6. HORIZONTAL DATUM IS NAD83, VERTICAL DATUM IS NAVD88.
7. SEE REFERENCE PLAN #2 FOR WETLAND DELINEATION AND SITE SPECIFIC SOILS INFORMATION.
8. PRESENT OWNER OF RECORD:
MSE PROPERTIES, LLC
20 SENTER FARM ROAD
HUDSON, NH 03051
BK. 9827, PG. 487
9. EXAMINATION OF FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 33011C0508D, PANEL 508 OF 701, EFFECTIVE DATE SEPTEMBER 25, 2009 INDICATES THE SUBJECT PREMISES IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
10. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
11. THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER OF RECORD, KEACH-NORDSTROM ASSOCIATES, INC.
12. THE LOT IS SERVED BY MUNICIPAL WATER AND SEWER.
13. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. TAKES NO RESPONSIBILITY FOR THE ACCURACY OF UNDERGROUND UTILITIES DEPICTED, LOCATIONS SHOWN WERE TAKEN FROM FIELD SURVEY AND REFERENCE PLANS. CONTRACTOR TO VERIFY UNDERGROUND UTILITY LOCATIONS AND NOTIFY ENGINEER OF ANY CONFLICTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
14. EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.
15. OPEN SPACE REQUIRED = 40%
16. OPEN SPACE PROPOSED = 46%
16. PARKING CALCULATIONS:
REQUIRED PARKING:
INDUSTRIAL USE:
1 SPACE/600 SF OF GROSS LEASABLE AREA X 20,000 SF = 34 SPACES
TOTAL REQUIRED PARKING SPACES = 34 SPACES
PROVIDED PARKING:
50 PROPOSED SPACES (INCLUDES 3 HANDICAP SPACES)
17. LOADING SPACE CALCULATIONS:
REQUIRED LOADING:
INDUSTRIAL USE:
1 SPACE FOR FIRST 5,000 SF PLUS 1 SPACE FOR EVERY ADDITIONAL 10,000 SF
TOTAL REQUIRED LOADING SPACES = 3 SPACES
PROVIDED LOADING:
3 PROPOSED LOADING SPACES HAVE BEEN PROVIDED.
18. PERMITS REQUIRED:
STATUS PERMIT NUMBER
-NHDES SUBSURFACE TBD
-NHDES NOTICE OF INTENT REQUIRED PRIOR TO CONSTRUCTION N/A
19. SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH 2010 TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADE.
20. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
21. CONSTRUCTION ACTIVITIES ON THE SITE SHALL BE LIMITED TO BETWEEN 7:00 AM AND 7:00 PM MONDAY THROUGH FRIDAY AND 8:00 AM TO 4:00 PM ON SATURDAY. NO CONSTRUCTION ACTIVITIES SHALL BE ALLOWED ON SUNDAYS.
22. IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON WEEKENDS. BLASTING WILL MEET HUDSON ORDINANCE 202 REQUIREMENTS.
23. SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
24. HOURS FOR REFUSE REMOVAL AND DELIVERIES OF SUPPLIES SHALL BE NO EARLIER THAN 7:00 AM AND NO LATER THAN 7:00 PM, MONDAY THROUGH FRIDAY ONLY. SAID ACTIVITIES SHALL BE PROHIBITED ON SATURDAY AND SUNDAY.
25. THE HOURS OF OPERATION WILL BE 8:00 AM TO 6:00 PM MONDAY THROUGH SATURDAY.
26. PLOWED SNOW FROM THE FACILITIES, DRIVEWAY, PARKING LOTS AND SIDEWALK SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET. NO SNOW MAY BE PLOWED OR STORED ON THE ADJUTING PARCELS. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
27. THE APPLICANT'S ENGINEER AND/OR CONTRACTOR SHALL CONTACT THE TOWN OF HUDSON TO SCHEDULE A PRE-CONSTRUCTION MEETING, WHICH WILL BE HELD WITH STAFF PRIOR TO STARTING CONSTRUCTION.
28. ALL STIPULATIONS OF APPROVAL SHALL BE INCORPORATED INTO THE DEVELOPMENT AGREEMENT, WHICH SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS, TOGETHER WITH THE SITE PLAN-OF-RECORD AND ALL AGREED UPON EASEMENT DEEDS, WHICH SHALL BE FAVORABLY REVIEWED BY TOWN COUNSEL PRIOR TO PLANNING BOARD ENDORSEMENT OF PLAN.
29. ALL IMPROVEMENTS SHOWN ON THE SITE PLAN-OF-RECORD, INCLUDING NOTES 1-35, SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
30. PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, A L.L.S. CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED SITE PLAN.
31. ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD AND ZONING ADMINISTRATOR PRIOR TO INSTALLATION THEREOF.
32. ALL IMPROVEMENTS SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
33. THIS PLAN SHALL BE SUBJECT TO FINAL ENGINEERING REVIEW.
34. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION.
35. NO CHEMICAL DE-ICERS ARE TO BE USED FOR WINTER MAINTENANCE, AND WINTER MAINTENANCE SHALL BE PERFORMED BY A GREEN SNO-PRO CERTIFIED (OR FUNCTIONAL EQUIVALENT CERTIFICATION) CONTRACTOR.
36. THE RESPONSIBILITY OF MAINTAINING THE STORMWATER FEATURES ON-SITE SHALL BE SOLELY THE OWNER'S.
37. THE OWNER WILL BE REQUIRED TO COMPLY WITH ALL PROVISIONS OF THE TOWN OF HUDSON'S MS4 PERMIT, INCLUDING BUT NOT LIMITED TO ANNUAL REPORTING REQUIREMENTS, CONSTRUCTION SITE STORMWATER RUNOFF CONTROL, AND RECORD KEEPING REQUIREMENTS.
38. CONTRACTOR SHALL FOLLOW THE TOWN OF HUDSON'S REQUIREMENTS FOR THE IMPORTING OF OFFSITE FILL MATERIALS.
39. A SPILL PREVENTION KIT AND GENERAL SPILL PREVENTION PLAN WILL BE PROVIDED ON SITE.



MAP 105; LOT 19
CAFIA REALTY TRUST XVI LLC
280 MERRIMACK STREET
METHUEN, MA 01844
H.C.R.D. BK. 8863, PG. 1022

MAP 105; LOT 18
NOURY INVESTMENTS LLC
17 ELNATHANS WAY
HOLLIS, NH 03049H.C.R.D. BK.
8929, PG. 1216

MAP 105; LOT 17
22 BRADY DRIVE LLC
22 BRADY DRIVE
HUDSON, NH 03051
H.C.R.D. BK. 9545, PG. 2544

MAP 105; LOT 2
L.P. GAS EQUIPMENT, INC.
PO BOX 1800
ROCHESTER, NH 03866-1800
H.C.R.D. BK. 7590, PG. 2291

MAP 101; LOT 7
SUPERIOR PLUS ENERGY SERVICES, INC.
401-200 WELLINGTON STREET WEST
TORONTO, ON M5V3C7

LEGEND

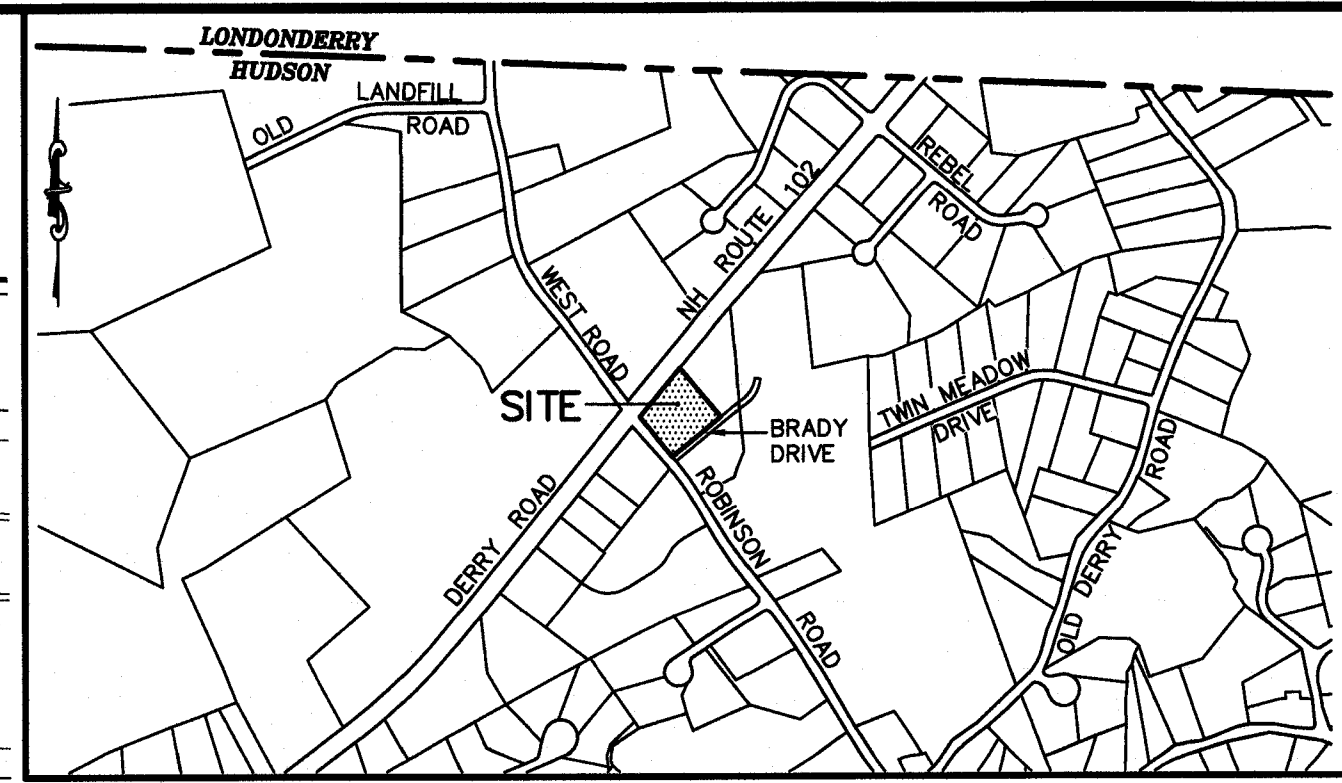
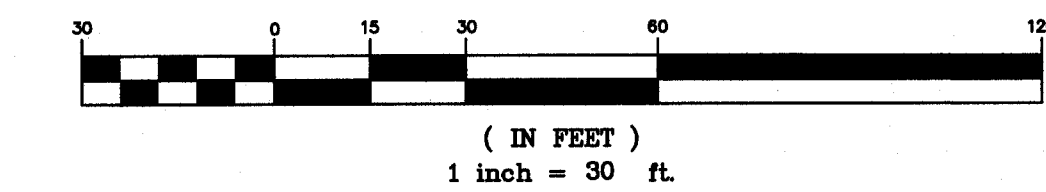
- EXISTING CONCRETE BOUND
- EXISTING IRON PIN
- EXISTING DRILL HOLE
- EXISTING DRAIN MANHOLE
- EXISTING SEWER MANHOLE
- EXISTING CATCH BASIN
- EXISTING ROUND CATCH BASIN
- EXISTING SIGN
- EXISTING LAMP POST
- EXISTING UTILITY POLE
- EXISTING WATER VALVE
- EXISTING GAS VALVE
- EXISTING HYDRANT
- EXISTING TREELINE
- EXISTING SOILS BOUNDARY
- EXISTING OVERHEAD UTILITY LINE
- EXISTING GAS LINE
- EXISTING SEWER LINE
- EXISTING DRAINAGE LINE
- EXISTING EDGE OF PAVEMENT
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING WETLAND DELINEATION
- EXISTING EASEMENT
- BUILDING SETBACK



OWNER OF MAP 105 LOT 20

SIGNATURE: _____
DATE: 8/4/25
MSE PROPERTIES LLC

GRAPHIC SCALE



LOCATION MAP

SCALE: 1"=1,000'

REFERENCE PLAN:

1. "NILLC SUBDIVISION, DERRY ROAD-RTE. 102 & ROBINSON ROAD," HUDSON, NH, PREPARED FOR NOURY INVESTMENTS, LLC., PREPARED BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, INC., DATED JANUARY 10, 2003. HCRD PLAN 33056
2. "NON-RESIDENTIAL SITE PLAN, ROBINSON ROAD SELF STORAGE, MAP 105; LOT 17, ROBINSON ROAD & DERRY ROAD (NH ROUTE 102), HUDSON, NEW HAMPSHIRE," DATED: AUGUST 2010, WITH REVISIONS THROUGH 01/03/11, PREPARED BY: KEACH-NORDSTROM ASSOCIATES, INC. (22 SHEETS).

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND. THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.

ZONING NOTE

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY KEACH-NORDSTROM ASSOCIATES, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

MASTER PLAN

INDUSTRIAL CONDOMINIUM COMPLEX

MAP 105; LOT 20
16 BRADY DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:	APPLICANT:
MSE PROPERTIES LLC 20 SENTER FARM ROAD HUDSON, NH 03051 H.C.R.D. BK. 9827; PG. 487	KLN CONSTRUCTION 70 BRIDGE STREET PELHAM, NH 03076

K/A KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
DATE: AUGUST 5, 2025		SCALE: 1"=30'	
PROJECT NO: 24-1220-1		SHEET 1 OF 13	

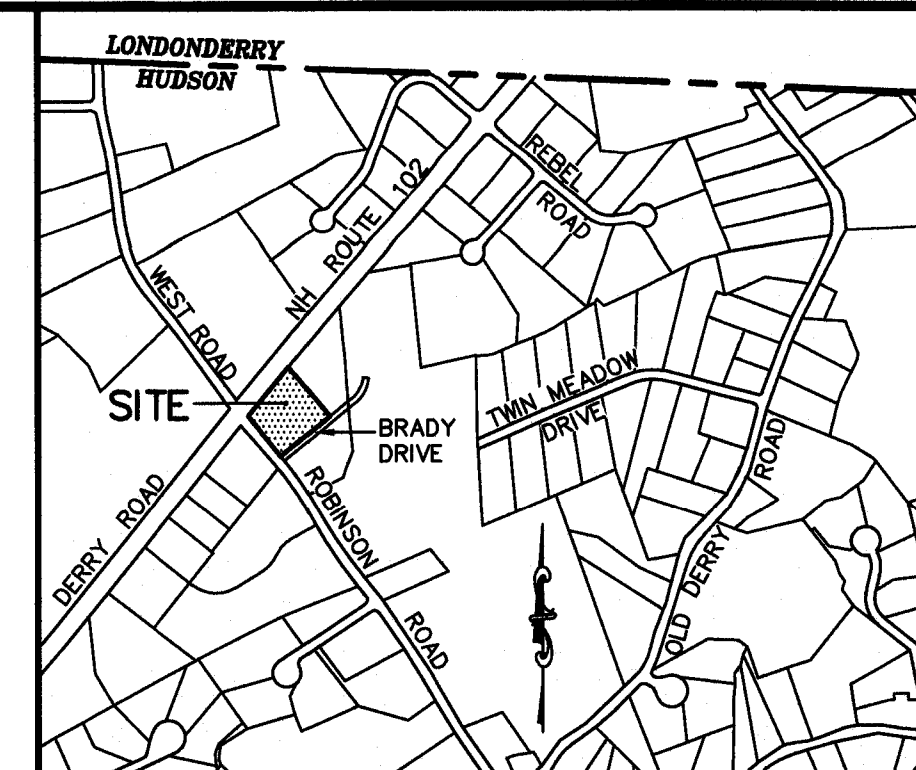
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE DATE: _____

SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



LOCATION MAP
SCALE: 1"=1,000'



























REFERENCE PLAN:

1. "NELL SUBDIVISION, DERRY ROAD- RTE. 102 & ROBINSON ROAD," HUDSON, NH, PREPARED FOR NOURY INVESTMENTS, LLC., PREPARED BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC., DATED JANUARY 10, 2003. HORD PLAN 33055
2. "NON-RESIDENTIAL SITE PLAN, ROBINSON ROAD SELF STORAGE, MAP 105; LOT 17, ROBINSON ROAD & DERRY ROAD (NH ROUTE 102), HUDSON, NEW HAMPSHIRE," DATED: AUGUST 2010, WITH REVISIONS THROUGH 01/03/11, PREPARED BY: KEACH-NORDSTROM ASSOCIATES, INC. (22 SHEETS).

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING FEATURES ON MAP 105; LOT 20.
2. LOT NUMBERS REFER TO THE TOWN OF HUDSON ASSESSORS MAP 105; LOT 20.
3. TOTAL SITE AREA IS 93,348 SF, OR 2.143 ACRES.
4. PRESENT ZONING: GENERAL ONE (G-1)
 - MINIMUM LOT REQUIREMENTS:
 - LOT AREA 93,348 SF
 - LOT FRONTAGE 200 FT
 - MINIMUM BUILDING SETBACK REQUIREMENTS:
 - FRONT 50 FT (ARTERIAL & COLLECTOR ROADWAYS)
 - SIDE 15 FT
 - REAR 15 FT
5. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY PERFORMED BY THE OFFICE IN JANUARY 2025.
6. SEE REFERENCE PLAN #2 FOR WETLAND DELINEATION AND SITE SPECIFIC SOILS INFORMATION.
7. PRESENT OWNER OF RECORD:
 - MSE PROPERTIES, LLC
 - 20 CENTER FARM ROAD
 - HUDSON, NH 03051
 - BK. 9827, PG. 487
8. EXAMINATION OF FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 330110C05050, PANEL 508 OF 701, EFFECTIVE DATE SEPTEMBER 2022 INDICATES THE SUBJECT PREMISES IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
9. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY, PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXISTING WORK OR TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
10. THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER OF RECORD, KEACH-NORDSTROM ASSOCIATES, INC..
11. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. TAKES NO RESPONSIBILITY FOR THE ACCURACY OF UNDERGROUND UTILITIES DEPICTED, LOCATIONS SHOWN WERE TAKEN FROM FIELD SURVEY AND REFINEMENT PLANS. CONTRACTOR TO VERIFY UNDERGROUND UTILITY LOCATIONS AND NOTIFY ENGINEER OF ANY CONFLICTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG. SAFE", AT 1-888-344-7233, AT LEAST 72 HOURS BEFORE DIGGING.

LEGEND

- | | |
|---|------------------------------------|
|  | EXISTING CONCRETE BOUND |
|  | EXISTING IRON PIN |
|  | EXISTING DRILL HOLE |
|  | EXISTING DRAIN MANHOLE |
|  | EXISTING SEWER MANHOLE |
|  | EXISTING CATCH BASIN |
|  | EXISTING ROUND CATCH BASIN |
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|  | EXISTING DRAINAGE LINE |
|  | EXISTING EDGE OF PAVEMENT |
|  | EXISTING 10' CONTOUR |
|  | EXISTING 2' CONTOUR |
|  | EXISTING WETLAND DELINEATION |
|  | EXISTING WATER EASEMENT |
|  | EXISTING ACCESS & UTILITY EASEMENT |
|  | BUILDING SETBACK |

ZONING NOTE

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY KEACH-NORDSTROM ASSOCIATES, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, THE BUILDING ORIENTATION OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYED AND MAPPED UTILITIES OF THE UNDERGROUND UTILITIES DISTRICT COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION IN JULY 2008 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE TOWN OF HUDSON, NH WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS AN URBAN STANDARD SURVEY, (CATEGORY 1, CONDITION 1) AS CODIFIED IN THE STATE OF NEW HAMPSHIRE ADMINISTRATIVE RULES.

8/4/20
DATE

EXISTING CONDITIONS PLAN
INDUSTRIAL CONDOMINIUM COMPLEX

MAP 105: LOT 20

16 BRADY DRIVE

HUDSON, NEW HAMPSHIRE

HILLSBOROUGH COUNTY

OWNER OF RECORD:

MSE PROPERTIES LLC
20 SENTER FARM ROAD
HUDSON, NH 03051
H.C.R.D. BK. 9827; PG. 487

APPLICANT:

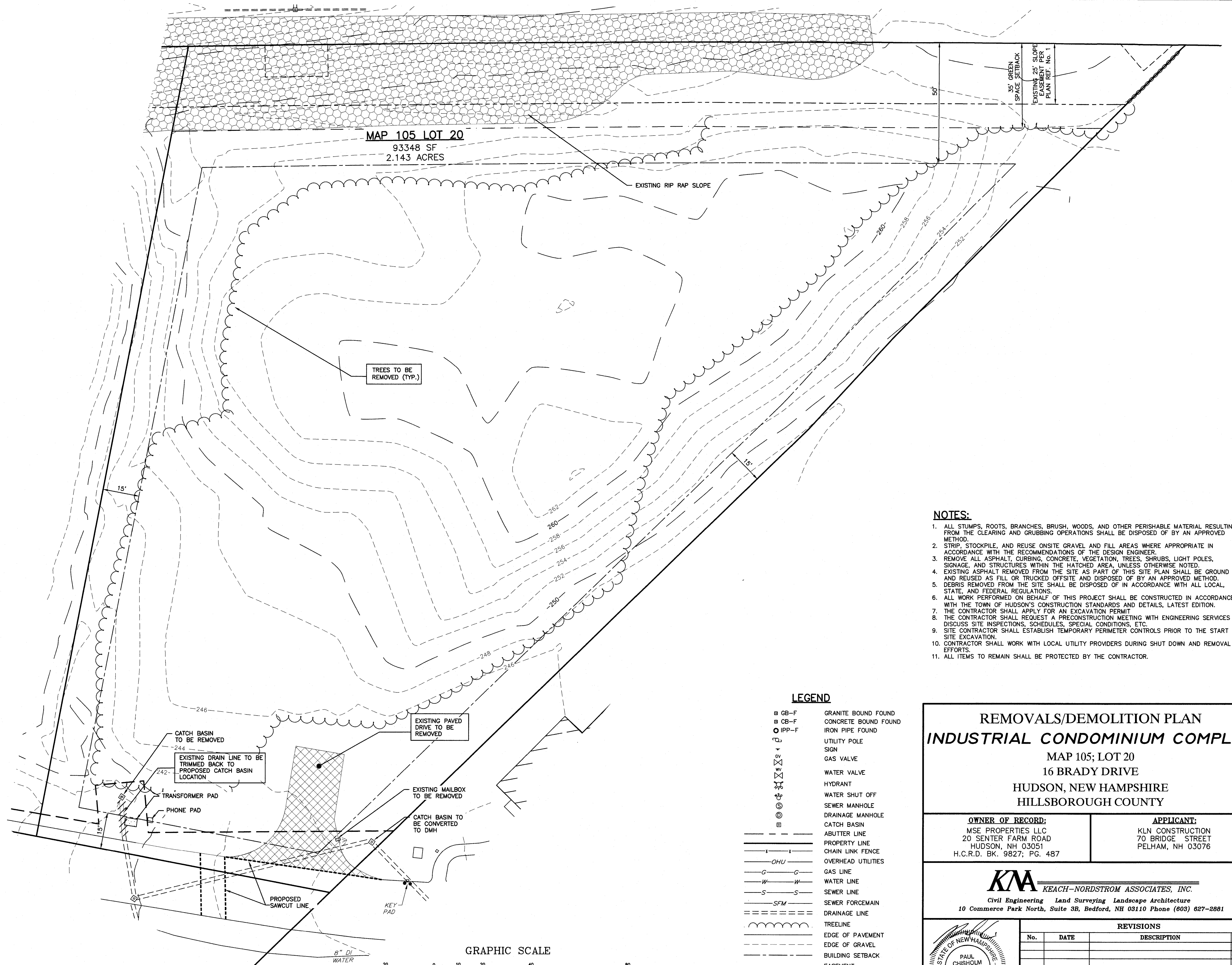
KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076

KNA KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture
Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS

[illegible]



1. ALL STUMPS, ROOTS, BRANCHES, BRUSH, WOODS, AND OTHER PERISHABLE MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATIONS SHALL BE DISPOSED OF BY AN APPROVED METHOD.
2. STRIP, STOCKPILE, AND REUSE ONSITE GRAVEL AND FILL AREAS WHERE APPROPRIATE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE DESIGN ENGINEER.
3. REMOVE ALL ASPHALT, CURBING, CONCRETE, VEGETATION, TREES, SHRUBS, LIGHT POLES, SIGNAGE, AND STRUCTURES WITHIN THE HATCHED AREA, UNLESS OTHERWISE NOTED.
4. EXISTING ASPHALT REMOVED FROM THE SITE AS PART OF THIS SITE PLAN SHALL BE GROUND AND REUSED AS FILL OR TRUCKED OFFSITE AND DISPOSED OF BY AN APPROVED METHOD.
5. DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
6. ALL WORK PERFORMED ON BEHALF OF THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF HUDSON'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
7. THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT.
8. THE CONTRACTOR SHALL REQUEST A PRECONSTRUCTION MEETING WITH ENGINEERING SERVICES TO DISCUSS SITE INSPECTIONS, SCHEDULES, SPECIAL CONDITIONS, ETC.
9. THE CONTRACTOR SHALL ESTABLISH TEMPORARY PERIMETER CONTROLS PRIOR TO THE START OF SITE EXCAVATION.
10. CONTRACTOR SHALL WORK WITH LOCAL UTILITY PROVIDERS DURING SHUT DOWN AND REMOVAL EFFORTS.
11. ALL ITEMS TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR.

MAP 105; LOT 20
16 BRADY DRIVE

HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
MSE PROPERTIES LLC
20 SENTER FARM ROAD
HUDSON, NH 03051
H.C.R.D. BK. 9827; PG. 487

APPLICANT:
KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076

KMA **KEACH-NORDSTROM ASSOCIATES, INC.**
Civil Engineering Land Surveying Landscape Architecture
Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

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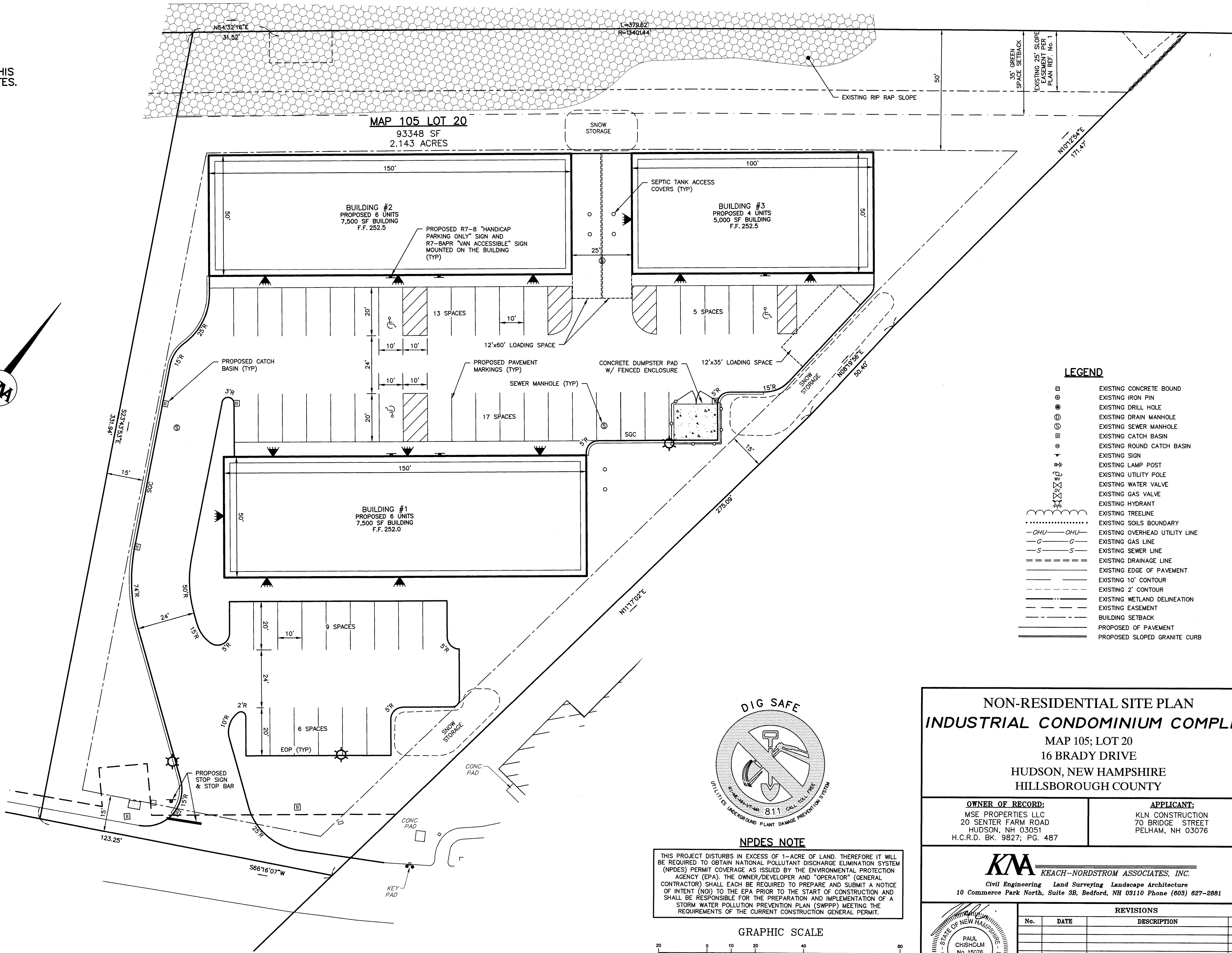
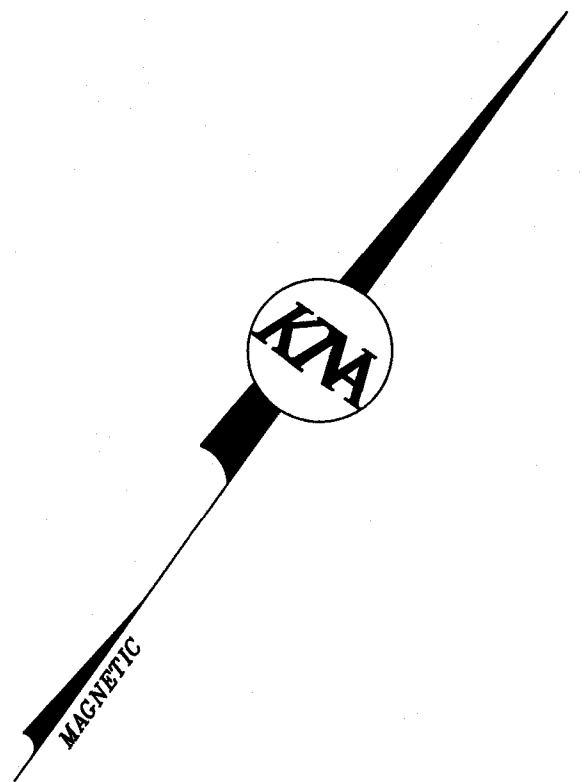
DATE: AUGUST 5, 2025

SCALE: 1"=20'

PROJECT NO: 24-1220-1

SHEET 3 OF 13

NOTES:
SEE THE MASTER PLAN – SHEET 1 OF THIS THIRTEEN SHEET SET FOR SITE PLAN NOTES.

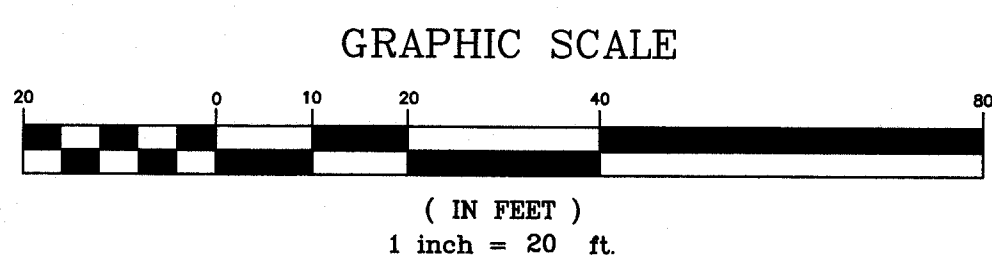


- LEGEND**
- EXISTING CONCRETE BOUND
 - EXISTING IRON PIN
 - EXISTING DRILL HOLE
 - EXISTING DRAIN MANHOLE
 - EXISTING SEWER MANHOLE
 - EXISTING CATCH BASIN
 - EXISTING ROUND CATCH BASIN
 - EXISTING SIGN
 - EXISTING LAMP POST
 - EXISTING UTILITY POLE
 - EXISTING WATER VALVE
 - EXISTING GAS VALVE
 - EXISTING HYDRANT
 - EXISTING TREELINE
 - EXISTING SOILS BOUNDARY
 - EXISTING OVERHEAD UTILITY LINE
 - EXISTING GAS LINE
 - EXISTING SEWER LINE
 - EXISTING DRAINAGE LINE
 - EXISTING EDGE OF PAVEMENT
 - EXISTING 10' CONTOUR
 - EXISTING 2' CONTOUR
 - EXISTING WETLAND DELINEATION
 - EXISTING EASEMENT
 - BUILDING SETBACK
 - PROPOSED OF PAVEMENT
 - PROPOSED SLOPED GRANITE CURB



NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND. THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.



NON-RESIDENTIAL SITE PLAN
INDUSTRIAL CONDOMINIUM COMPLEX
MAP 105; LOT 20
16 BRADY DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
MSE PROPERTIES LLC
20 SENTER FARM ROAD
HUDSON, NH 03051
H.C.R.D. BK. 9827; PG. 487

APPLICANT:
KLN CONSTRUCTION
70 BRIDGE STREET
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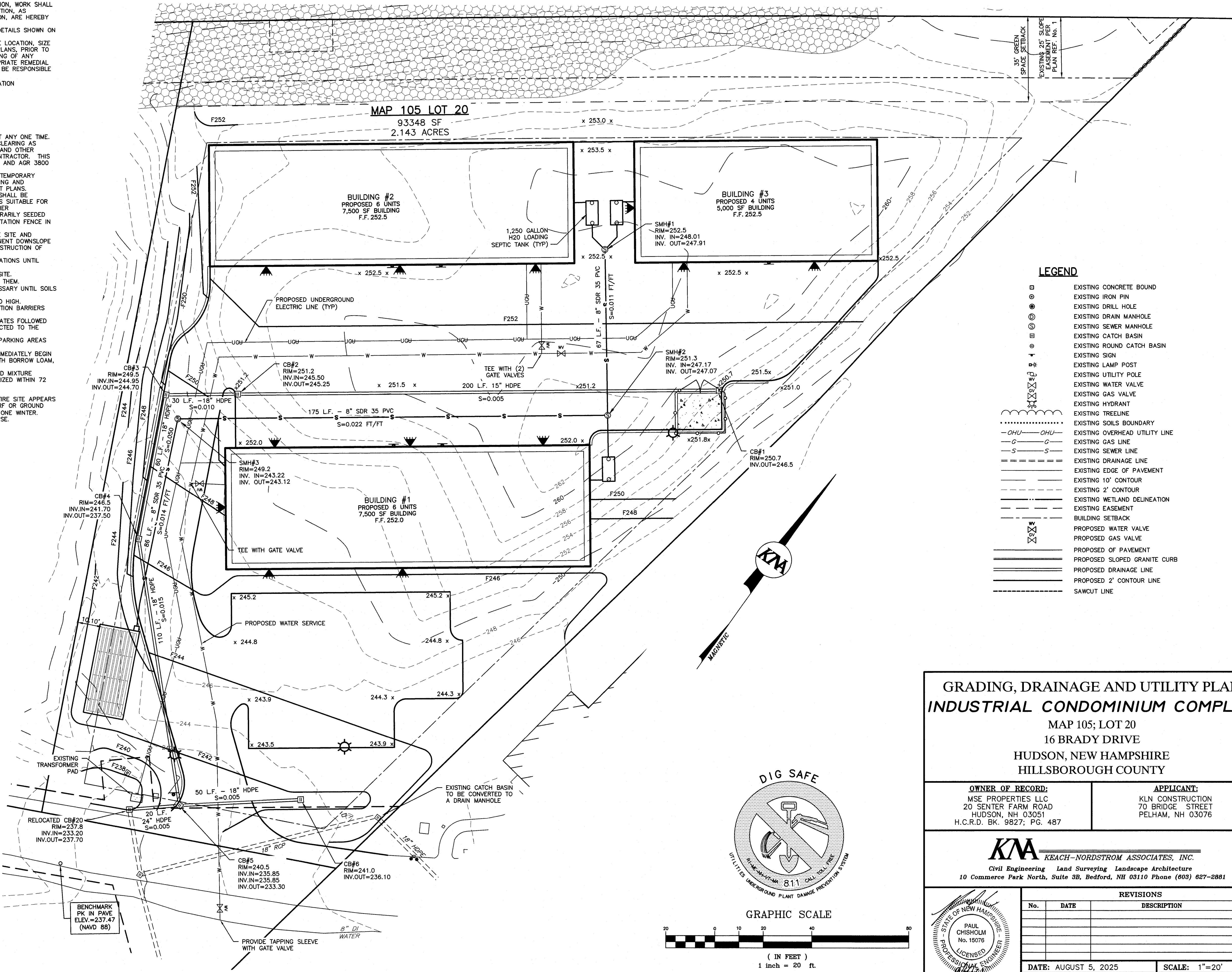
SCALE: 1"=20'
SHEET 4 OF 13

CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE TOWN OF NASHUA, LATEST EDITION, CONSTRUCTION STANDARDS AND DETAILS. IN THE ABSENCE OF A TOWN STANDARD/SPECIFICATION, WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS PUBLISHED BY THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, ARE HEREBY INCORPORATED BY REFERENCE.
2. PARKING LOT CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
4. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
5. ALL DISTURBED AREAS SHALL RECEIVE 6" LOAM AND SHALL BE SEEDDED.
6. SEE SEPTIC DESIGN PLANS FOR PROPOSED SEWER INFORMATION.

CONSTRUCTION SEQUENCE:

1. THE CONTRACTOR WILL ENSURE THAT NO MORE THAN 5 ACRES IS DISTURBED AT ANY ONE TIME.
2. FIRST CUT AND CLEAR TREES AND BRUSH ONLY WITHIN DESIGNATED LIMITS OF CLEARING AS NECESSARY TO FACILITATE PROPOSED CONSTRUCTION. ALL TREES, BRANCHES AND OTHER VEGETATIVE MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR. THIS PROJECT IS MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
3. PRIOR TO COMMENCEMENT OF ANY EARTHMOVING OPERATIONS, ALL APPLICABLE TEMPORARY EROSION CONTROL MEASURES, INCLUDING SPECIFIED PERIMETER SILTATION FENCING AND STABILIZED CONSTRUCTION EXIT SHALL BE IN PLACE AS SHOWN ON THE PROJECT PLANS.
4. COMPLETE CRUDDING OPERATIONS. ALL STUMPS AND SIMILAR ORGANIC DEBRIS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR. NATIVE ORGANIC SOIL MATERIALS SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED WITHIN AREAS OUT OF THE WAY OF OTHER CONSTRUCTIONS ACTIVITIES AND DRAINAGE FLOW. STOCKPILES SHALL BE TEMPORARILY SEEDDED WITH WINTER RYE AND BE SURROUNDED WITH STRAW BALES AND/OR FABRIC SILTATION FENCE IN ORDER TO PREVENT LOSS DUE TO EROSION.
5. BEGIN EARTHMOVING OPERATIONS, COMMENCING WITH WORK NEEDED TO BALANCE SITE AND FACILITATE BUILDING FOUNDATION AND RETAINING WALL CONSTRUCTION. PERMANENT DOWNSLOPE WORK SHALL BE PROTECTED FROM UPGRADIENT STORMWATER FLOW BY THE CONSTRUCTION OF TEMPORARY EARTHEN DIKES OR EXCAVATED SWALES.
6. ONCE BUILDING FOUNDATION WORK IS UNDERWAY, CONTINUE EARTHMOVING OPERATIONS UNTIL DESIGN SUBGRADE IS ACHIEVED.
7. DETENTION BASINS/SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
8. DITCHES/SWALES/BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
9. TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC.) MUST BE USED AS NECESSARY UNTIL SOILS ARE STABILIZED.
10. INSTALL DRAINAGE SWALE SYSTEMS AND OTHER UTILITIES WORKING FROM LOW TO HIGH. INCOMPLETE WORK SHALL BE PROTECTED FROM SILTATION BY THE USE OF SILTATION BARRIERS AROUND SWALES UNTIL THE SITE HAS BECOME FULLY STABILIZED.
11. DEEPLY TILL THE BASE OF THE INFILTRATION BASIN TO RESTORE INFILTRATION RATES FOLLOWED BY A PASS WITH A LEVELING DRAG. STORMWATER FLOWS ARE NOT TO BE DIRECTED TO THE INFILTRATION AREA UNTIL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
12. PLACE GRAVEL AND CRUSHED GRAVEL OVER PROPOSED DRIVEWAY, WALKS AND PARKING AREAS AND COMPACT IN SPECIFIED LIFT THICKNESS.
13. COMPLETE EXCAVATION/STABILIZATION GRADING ACTIVITIES. WHEN COMPLETE, IMMEDIATELY BEGIN TOPSOILING PROPOSED TURF AREAS USING STOCKPILED LOAM SUPPLEMENTED WITH BORROW LOAM, IF NECESSARY, TO LEAVE A THICKNESS OF 4 INCHES OF FRIABLE LOAM.
14. FINE GRADE ALL FUTURE TURF AREAS AND HYDROSEED WITH THE SPECIFIED SEED MIXTURE IMMEDIATELY AFTER FINE GRADING IS COMPLETED. ALL AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
15. INSTALL THE BINDER COURSE OF PAVEMENT OVER ALL DESIGNATED AREAS.
16. CONTINUE TO MONITOR AND RECTIFY MINOR SITE AND SLOPE EROSION UNTIL ENTIRE SITE APPEARS TO BE COMPLETELY STABILIZED AND VEGETATED WITH A HEALTHY STAND OF TURF OR GROUND COVER. MAINTAIN SPECIFIED SILTATION/EROSION CONTROL MEASURES THROUGH ONE WINTER.
17. INSTALL THE SPECIFIED WEARING COURSE OF PAVEMENT OVER THE BINDER COURSE.
18. COMPLETE INSTALLATION OF LANDSCAPING, SIGNAGE AND OTHER SITE AMENITIES.



GRADING, DRAINAGE AND UTILITY PLAN
INDUSTRIAL CONDOMINIUM COMPLEX
MAP 105; LOT 20
16 BRADY DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: MSE PROPERTIES LLC 20 SENTER FARM ROAD HUDSON, NH 03051 H.C.R.D. BK. 9827; PG. 487	APPLICANT: KLN CONSTRUCTION 70 BRIDGE STREET PELHAM, NH 03076
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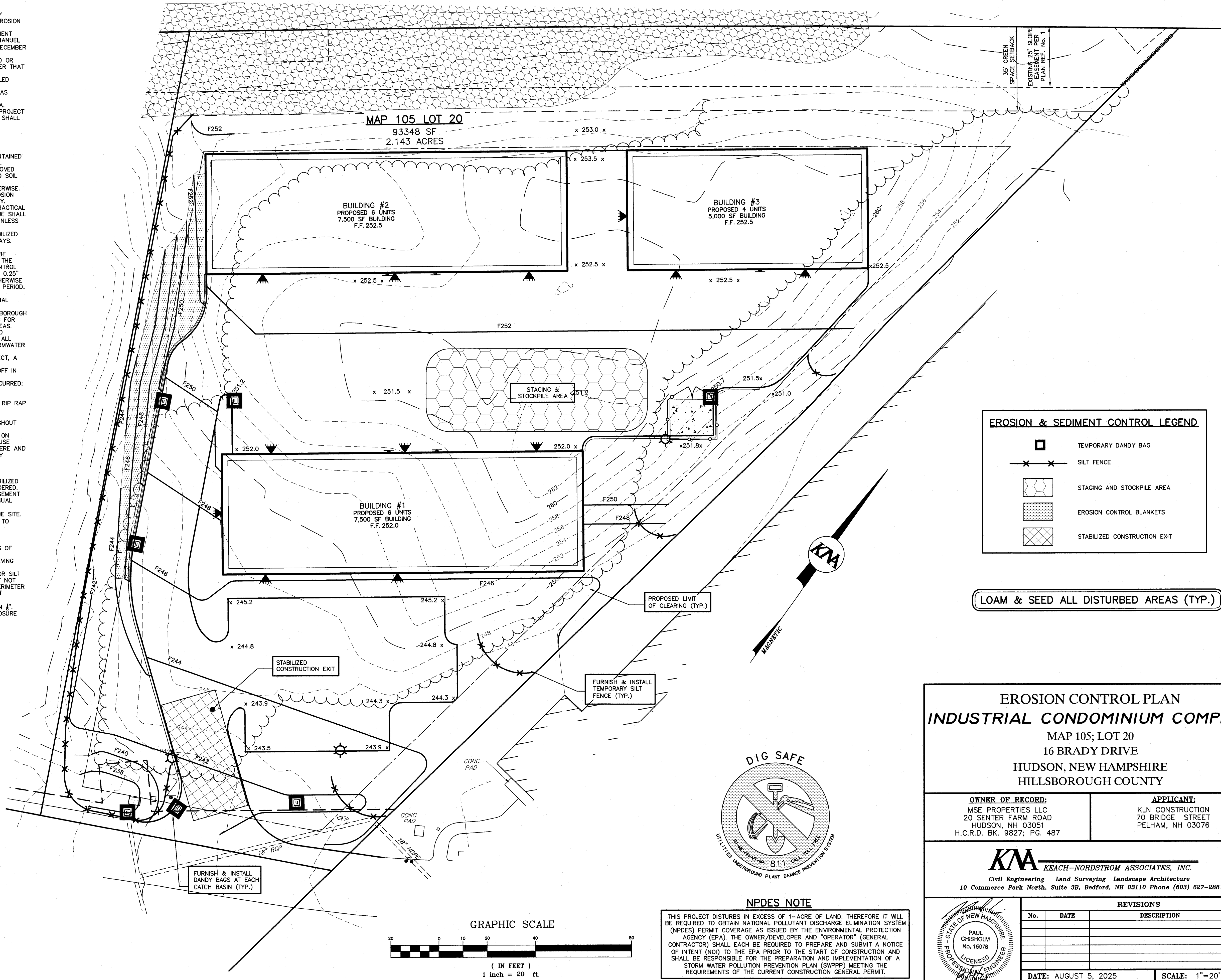
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No.	DATE	DESCRIPTION	BY
DATE: AUGUST 5, 2025		SCALE: 1"=20'	
PROJECT NO: 24-1220-1		SHEET 5 OF 13	

EROSION CONTROL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES AS WELL AS THE PERMANENT EROSION CONTROL MEASURES.
2. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME.
3. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
4. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
5. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
6. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
7. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
11. EXPOSED EARTHWORK SHALL BE CONFINED TO AS LIMITED AN AREA AS IS PRACTICAL AT ANY GIVEN TIME THROUGHOUT THE CONSTRUCTION SEQUENCE. AT NO TIME SHALL MORE THAN FIVE (5) ACRES OF SITE AREA BE IN AN UNSTABLE CONDITION UNLESS AN ENVIRONMENTAL MONITOR IS EMPLOYED THROUGH THE DURATION OF CONSTRUCTION. NO GIVEN AREA OF THE SITE SHALL BE LEFT IN AN UNSTABILIZED CONDITION FOR A PERIOD OF TIME EXCEEDING FORTY-FIVE (45) CALENDAR DAYS.
12. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS. IN ADDITION, SIMILAR MEASURES SHALL BE INSTALLED WHERE AND WHEN THE FIELD CONDITION, OR FIELD OPERATION OF THE INDIVIDUAL SITE CONTRACTOR, MAY WARRANT. ALL TEMPORARY EROSION CONTROL MEASURES USED SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25" OF RAINFALL OR MORE. THEY SHALL BE CLEANED AND MAINTAINED AND OTHERWISE KEPT IN AN EFFECTIVE OPERATING MANNER THROUGHOUT THE CONSTRUCTION PERIOD.
13. ALL DISTURBED AREAS DESIGNATED TO BE TURF, SHALL RECEIVE A MINIMUM APPLICATION OF 4 INCHES OF LOAM (COMPACTED THICKNESS), PRIOR TO FINAL SEEDING AND MULCHING.
14. EROSION CONTROL AND STABILIZATION SHALL BE IN ACCORDANCE WITH HILLSBOROUGH COUNTY CONSERVATION DISTRICT-VEGETATIVE STANDARD AND SPECIFICATIONS FOR SEEDING GRASSES AND LEGUMES FOR LONG-TERM COVER ON EXCAVATED AREAS.
15. ALL SWALES AND DITCHLINES SHALL BE PERIODICALLY CLEANED OF DEPOSITED SEDIMENT SO AS TO MAINTAIN AN EFFECTIVE GRADE AND CROSS SECTION. ALL SWALES AND DITCHLINES SHALL BE FULLY STABILIZED PRIOR TO HAVING STORMWATER DIRECTED TOWARDS THEM.
16. IN THE EVENT THAT, DURING CONSTRUCTION OF ANY PORTION OF THIS PROJECT, A WINTER SHUTDOWN IS NECESSARY, THE CONTRACTOR SHALL STABILIZE ALL INCOMPLETE WORK AND PROVIDE FOR SUITABLE METHODS OF DIVERTING RUNOFF IN ORDER TO ELIMINATE SHEET FLOW ACROSS FROZEN SURFACES.
17. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
18. DUST SHALL BE CONTROLLED BY THE USE OF WATER AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD, IN ACCORDANCE WITH ENV-A 1000.
19. IN NO WAY ARE THOSE TEMPORARY EROSION CONTROL MEASURES INDICATED ON THESE PLANS TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGMENT IN INSTALLING SUPPLEMENTARY EROSION CONTROL MEASURES WHERE AND WHEN SPECIFIC SITE CONDITIONS AND/OR CONSTRUCTION METHODOLOGIES MAY WARRANT.
20. THE TOWN RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION.
21. AREAS HAVING FINISH GRADE SLOPES OF 3 : 1 OR STEEPER, SHALL BE STABILIZED WITH JUTE MATTING WHEN AND IF FIELD CONDITIONS WARRANT, OR IF SO ORDERED. JUTE MATTING INSTALLED TO CONFORM WITH THE RECOMMENDED BEST MANAGEMENT PRACTICE OUTLINED IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION.
22. DETENTION BASINS/SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
23. DITCHES/SWALES/BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
24. TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC.) MUST BE USED AS NECESSARY UNTIL SOILS ARE STABILIZED.
25. ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
26. ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
27. ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, EXCEPT FOR SILT FENCE INSTALLED IN ACCORDANCE WITH ENV-WQ 1506.04, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, INLET PROTECTION, CHECK DAMS, AND SEDIMENT TRAPS SHALL NOT CONTAIN WELDED PLASTIC, PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/4".
28. TURF REINFORCEMENT MATS SHALL BE COVERED WITH SOIL TO PREVENT EXPOSURE OF THE MATS TO THE SURFACE.

WINTER CONSTRUCTION NOTES:

1. ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3 OR, IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON, BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.
4. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.



EROSION CONTROL PLAN

INDUSTRIAL CONDOMINIUM COMPLEX

MAP 105; LOT 20

16 BRADY DRIVE

HUDSON, NEW HAMPSHIRE

HILLSBOROUGH COUNTY

OWNER OF RECORD:

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PAUL CHISHOLM

No. 15076

LICENSED PROFESSIONAL ENGINEER

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DATE: AUGUST 5, 2025

SCALE: 1"=20'

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LANDSCAPE NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE LANDSCAPE WHICH PROVIDES CLIMATIC RELIEF AND AESTHETIC APPEAL.
2. ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOWN HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE; WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTIES TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
3. IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS: ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% PEATMOSS AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
4. PLANTING BEDS AND SAUCERS SHALL RECEIVE A 4" MINIMUM THICKNESS OF PINE/HEMLOCK BARK MULCH OVER A 5oz. POLYPROPYLENE WEED CONTROL FABRIC.
5. PAVEMENT AND ROAD BASE MATERIAL ENCOUNTERED IN ANY LAWN OR PLANTING BED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AND SUITABLE AMENDED SOIL INSTALLED AS SPECIFIED IN THE TURF ESTABLISHMENT SCHEDULE.
6. THIS PLAN FOLLOWS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND ARG 3800 IN REGARDS TO INVASIVE SPECIES.

TURF ESTABLISHMENT SCHEDULE

PURPOSE:

TO ESTABLISH AND MAINTAIN PERMANENT AND TEMPORARY TURF AREAS, RESTORE GROWTH TO EXISTING TURF AREAS DISTURBED DURING CONSTRUCTION AND CONTROL SOIL EROSION.

PREPARATION AND EXECUTION:

1. RAKE THE SUBGRADE OF ALL AREAS TO BE LOAMED AND SEEDED TO REMOVE RUBBISH, STICKS, ROOTS AND STONES LARGER THAN 1 INCH.
2. PLACE LOAM OVER AREAS TO BE SEEDED AND SPREAD.
3. FINE GRADE SURFACE AND SUPPLEMENT WITH SUITABLE LOAM WHERE NEEDED TO CREATE A UNIFORM SURFACE ACCORDING TO THE FINISH GRADES INDICATED. TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED. NO LOAM SHALL BE SPREAD IF THE SUBGRADE IS EXCESSIVELY WET OR FROZEN.
4. APPLY LIME EVENLY OVER LOAM SURFACE AND THOROUGHLY INCORPORATE LIME INTO THE LOAM BY HEAVY RAKING TO AT LEAST ONE-HALF THE DEPTH OF THE LOAM.
5. APPLY NO PHOSPHATE, SLOW RELEASE FERTILIZER AND MIX WITH THE UPPER 2 INCHES OF LOAM.
6. DETERMINE APPROPRIATE MIXTURE FOR AREA TO BE SEEDED BASED ON EXAMINATION OF PROJECT PLANS. UNIFORMLY SPREAD THE SEED BY BROADCASTING OR HYDROSEEDING. IF BROADCASTING, LIGHTLY RAKE INTO THE PREPARED SURFACE AND ROLL. IF, HYDROSEEDING, USE 4 TIMES THE RECOMMENDED RATE OF INOCULANT. AFTER SEED IS SPREAD, WATER THOROUGHLY WITH A FINE SPRAY.
7. SEEDING FOR PERMANENT COVER SHALL OCCUR BETWEEN SEPTEMBER 15 AND OCTOBER 15 AND BETWEEN APRIL 15 AND JUNE 15. SEEDING SHALL NOT BE DONE DURING WINDY WEATHER, WHEN THE GROUND IS FROZEN OR EXCESSIVELY WET OR OTHERWISE UNTILLABLE.
8. WITHIN 24 HOURS AFTER SEEDING OPERATION, UNIFORMLY MULCH THE AREA WITH STRAW. ANCHOR MULCH ON ALL SLOPES EXCEEDING 3:1 USING MULCH NETTING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER.
9. PROTECT AND PREVENT AGAINST WASHOUTS, ANY WASHOUTS WHICH OCCUR SHALL BE PROMPTLY REGRADED AND RESEEDED.
10. WHEN IT IS IMPRACTICAL TO ESTABLISH PERMANENT GROWTH ON DISTURBED EARTH BY OCTOBER 15, A TEMPORARY SEED MIXTURE SHALL BE USED. WHEN TEMPORARY SEEDING CANNOT ESTABLISH VISIBLE GROWTH, THE DISTURBED AREA SHALL BE COVERED WITH SIX INCHES OF MULCH FOR THE WINTER.

MAINTENANCE:

ALL SEEDED AREAS SHALL BE KEPT WATERED AND IN GOOD CONDITION. RESEED AS NECESSARY TO ESTABLISH HEALTHY UNIFORM GROWTH OVER THE ENTIRE SEEDED AREA. MAINTAIN SEEDED AREAS IN AN APPROVED CONDITION UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE REPAIRS FOR DAMAGE CAUSED BY EROSION.

APPLICATION RATES:

1. LOAM SHALL BE APPLIED AT A MINIMUM COMPACTED THICKNESS OF 4 INCHES.
2. LIME SHALL BE APPLIED AT A RATE OF 75 TO 100 POUNDS PER 1,000 S.F.
3. FERTILIZER SHALL BE APPLIED AT A RATE OF 30 POUNDS PER 1,000 S.F. IT IS RECOMMENDED THAT THE SOIL BE TESTED PRIOR TO APPLYING ANY FERTILIZERS TO DETERMINE WHAT LEVELS AND RATES ARE NECESSARY.
4. SEED MIXTURE FOR LAWN AREAS SHALL BE APPLIED AT A RATE OF AT LEAST 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
5. TEMPORARY SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1,000 S.F.
6. SEED MIXTURE FOR SLOPE AREAS SHALL BE APPLIED AT A RATE OF 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
7. SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS SHALL BE APPLIED AT A RATE OF 70 POUNDS PER ACRE OR 1.6 POUNDS PER 1,000 S.F.
8. MULCH SHALL BE APPLIED AT A RATE OF 90 POUNDS PER 1,000 S.F.

MATERIALS:

1. LOAM USED FOR TOPSOIL SHALL BE FRIABLE, FERTILE, NATURAL FREE-DRAINING LOAM; FREE OF ROOTS, GRASS, STICKS, WEEDS, CLAY, SOD LUMPS, DEBRIS AND STONES LARGER THAN 1 INCH IN ANY DIMENSION. SOIL SHALL NOT BE EXCESSIVELY ACID OR ALKALINE AND CONTAIN NO TOXIC MATERIALS.

2. LIME SHALL BE GROUND LIMESTONE CONTAINING NO LESS THAN 95% CALCIUM AND MAGNESIUM CARBONATES.
3. FERTILIZER SHALL BE NO PHOSPHORUS, SLOW RELEASE.
4. SEED MIXTURE FOR LAWN AREAS SHALL BE 99% PURE LIVE SEED AND CONSIST OF THE FOLLOWING:

25% CREEPING RED FESCUE
25% KENTUCKY BLUEGRASS
25% REDTOP
25% MANHATTAN PERENNIAL RYEGRASS

5. TEMPORARY SEEDING MIXTURE SHALL BE AN APPROVED CONSERVATION MIX OR CONSIST OF THE FOLLOWING:

15% BLACKWELL OR SHELTER SWITCHGRASS
30% NIAGRA OR KAW BIG BLUESTEM
30% CAMPER OR BLAZE LITTLESTEM
15% NE-27 OR BLAZE SAND LOVEGRASS
10% VIKING BIRDSFOOT TREFOIL

INOCULUM SPECIFIC TO BIRDSFOOT TREFOIL MUST BE USED WITH THIS MIXTURE. IF SEEDING BY HAND, A STICKING AGENT SHALL BE USED. IF SEEDING WITH A HYDROSEEDER, USE FOUR TIMES THE RECOMMENDED AMOUNT OF INOCULUM.

6. SEED MIXTURE FOR SLOPE AREAS SHALL BE 99% PURE LIVE SEED AND SHALL CONSIST OF THE FOLLOWING:

30% CREEPING RED FESCUE
40% PERENNIAL RYE GRASS
15% REDTOP
15% BIRDSFOOT TREFOIL

"IN ADDITION TO THE MIX SPECIFIED ABOVE, CROWN VETCH SHALL BE USED ON ALL SLOPES STEEPER THAN 3:1. CROWN VETCH SHALL BE APPLIED AT A RATE OF 10 POUNDS PER ACRE AND INOCULUM SPECIFIC TO CROWN VETCH MUST BE USED.

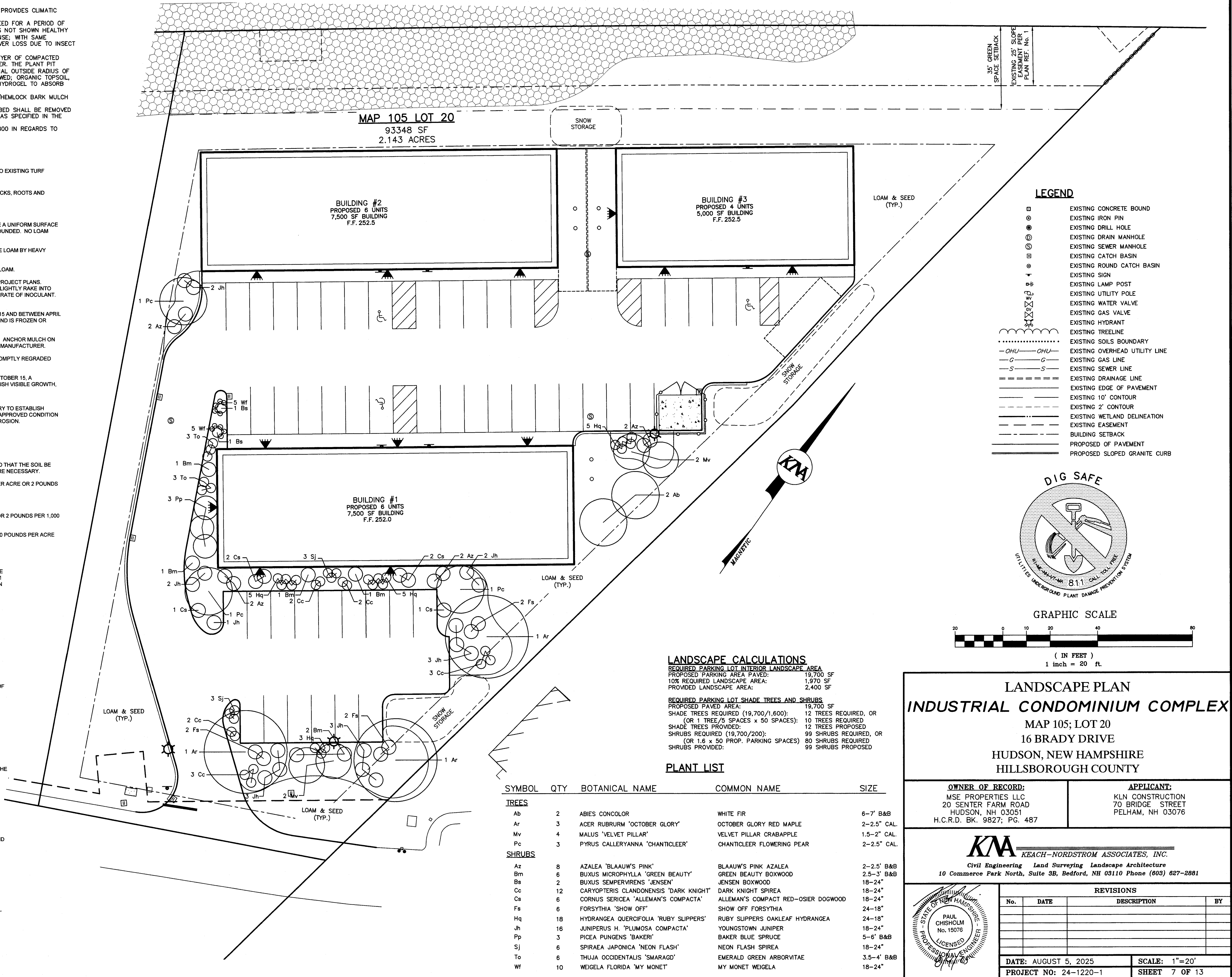
7. SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS, INCLUDING DETENTION BASINS AND VEGETATED TREATMENT SWALES SHALL CONSIST OF THE FOLLOWING:

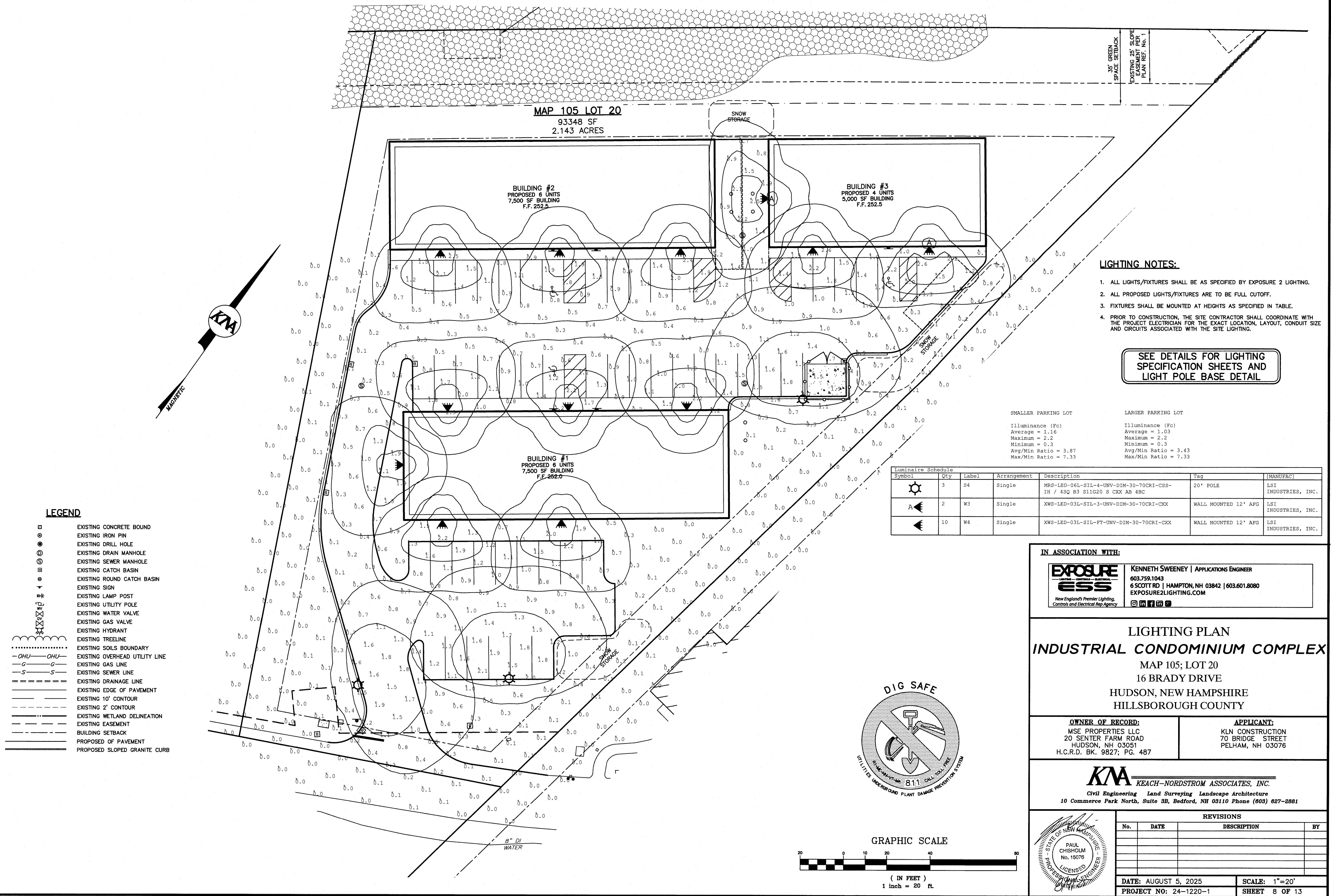
25% CREEPING RED FESCUE
15% SWITCH GRASS
15% FOX SEDGE
15% CREEPING BENTGRASS
10% FLATPEA
20% WILDFLOWER VARIETY




8. STRAW USED FOR MULCH SHALL CONSIST OF MOWED AND PROPERLY CURED GRASS OR LEGUME MOWINGS, FREE FROM WEEDS, TWIGS, DEBRIS OR OTHER DELETERIOUS MATERIAL AND ROT OR MOLD.

9. NATIVE PLANTINGS SHOULD BE USED FOR ALL NEW GREENSPACES.

10. ALL WILDFLOWER SEEDING MIXES SHOULD BE FREE OF INVASIVE SPECIES.





Luminaires Schedule						
Symbol	Qty	Label	Arrangement	Description	Tag	MANUFAC
	3	S4	Single	MRS-LED-06L-S1L-4-UNV-DIM-30-70CRI-CSS-1H / 48Q B3 S1LG20 S CXX AB ABC	20' POLE	LSI INDUSTRIES, INC.
	2	W3	Single	XWS-LED-03L-S1L-3-UNV-DIM-30-70CRI-CXX	WALL MOUNTED 12' AFG	LSI INDUSTRIES, INC.
	10	W4	Single	XWS-LED-03L-S1L-FT-UNV-DIM-30-70CRI-CXX	WALL MOUNTED 12' AFG	LSI INDUSTRIES, INC.

IN ASSOCIATION WITH:



KENNETH SWEENEY | APPLICATIONS ENGINEER
603.759.1043
6 SCOTT RD | HAMPTON, NH 03842 | 603.601.8080
EXPOSURE2LIGHTING.COM

LIGHTING PLAN

INDUSTRIAL CONDOMINIUM COMPLEX

MAP 105; LOT 20
16 BRADY DRIVE

HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:

MSE PROPERTIES LLC
20 SENTER FARM ROAD
HUDSON, NH 03051
C.R.D. BK. 9827; PG. 4

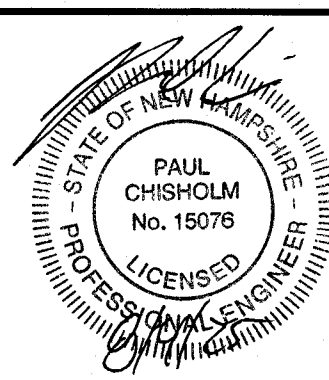
APPLICANT:

KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076

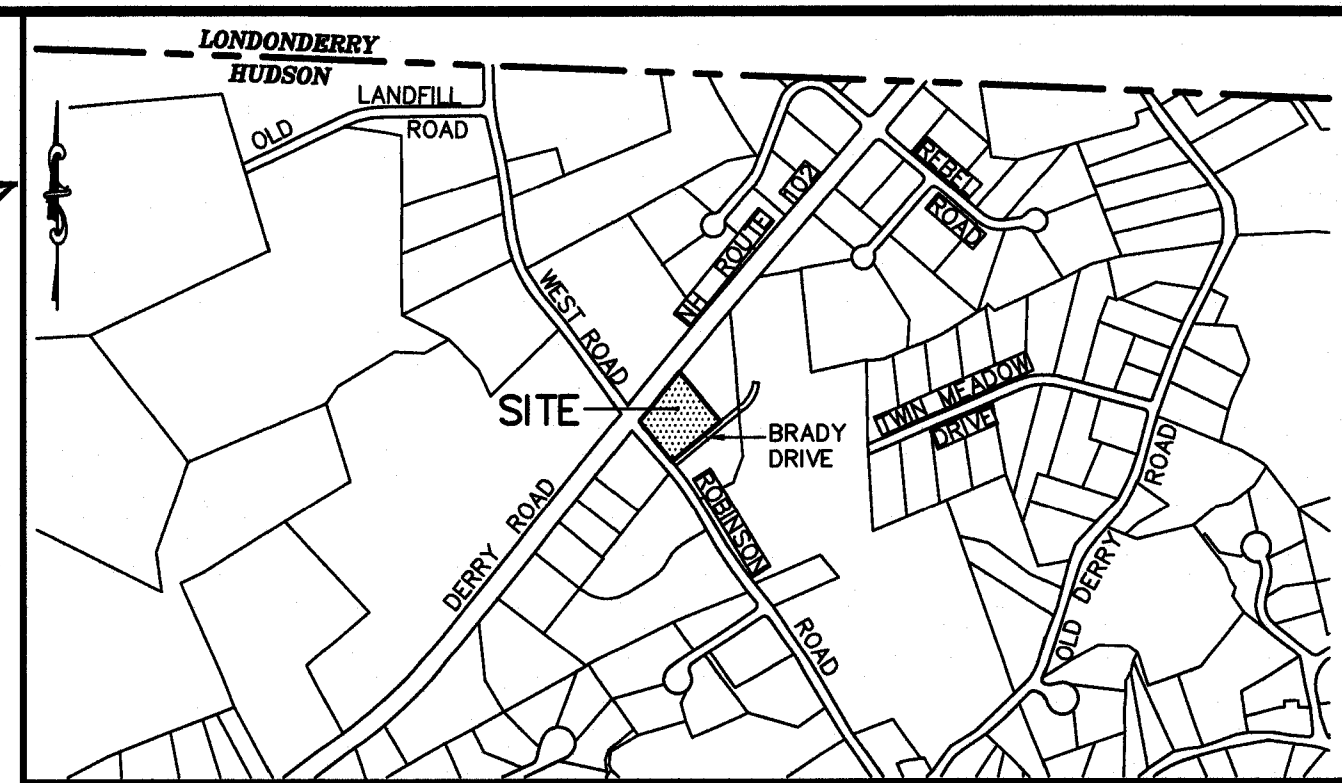
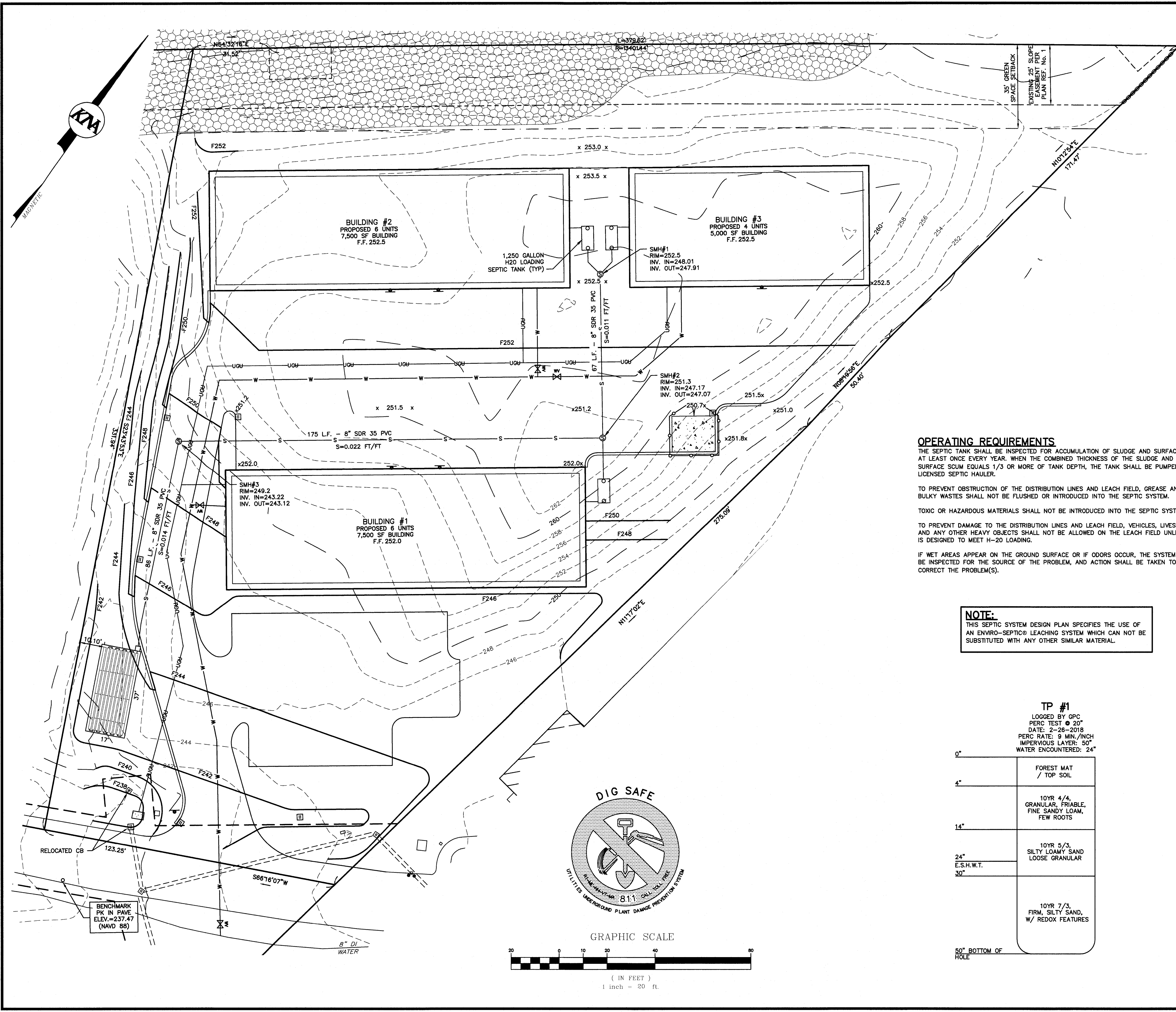


KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY
DATE: AUGUST 5, 2025		SCALE: 1"=20'	
PROJECT NO: 24-1220-1		SHEET 8 OF 13	



LOCATION MAP
SCALE: 1"=1,000'

- GENERAL NOTES:**
- REFERENCE THIS PARCEL AS HOOKSETT MAP 49 LOT 58-44.
 - TOTAL AREA OF PARCEL IS 27,600 S.F.
 - LOT IS TO BE SERVED BY ON-SITE SUBSURFACE SEWAGE DISPOSAL SYSTEM AND MUNICIPAL WATER.
 - ALL THE CONNECTIONS BETWEEN A SEPTIC TANK AND THE PIPES LEADING TO AND EXITING FROM THE SEPTIC TANK SHALL BE SEALED WITH A WATERTIGHT, FLEXIBLE JOINT CONNECTOR.
 - NO WATER WELLS OR OPEN WATER WAYS WITHIN 100 FEET OF THE PROPOSED SEPTIC SYSTEM. NO POORLY DRAINED SOILS WITHIN 50 FEET OF PROPOSED SYSTEM. NO VERY POORLY DRAINED SOILS WITHIN 75- FEET OF PROPOSED SYSTEM.
 - REPLACEMENT OF SYSTEM TO BE DONE IN KIND WHEN AND/OR IF NEEDED.
 - SOIL MAPPING TAKEN FROM THE LATEST PUBLICATION OF THE U.S.D.A.-S.C.S. SOIL SURVEY; SUGGESTS THE SUBJECT PARCEL CONSISTS OF THE FOLLOWING MAPPING UNITS.
43C - CANTON FINE SANDY LOAM; 8 TO 15% SLOPES
 - SYSTEM IS NOT DESIGNED FOR THE DISPOSAL OF HAZARDOUS WASTE OR DISCHARGE FROM A WATER CONDITIONING SYSTEM.
 - THERE IS NOT A BURIAL SITE OR CEMETERY WITHIN 100' OF ANY COMPONENT OF THE ISDS

DESIGN CRITERIA
PROPOSED USE: COMMERCIAL • 600 GPD-UNDER 60 EMPLOYEES
AT 10 GPD
PERCOLATION RATE: 8 MIN/INCH • TP#1

REQUIRED LEACHING AREA USING ENVIRO-SEPTIC PIPE
330 L.F. OF ENVIRO-SEPTIC PIPE
(PER ENVIRO-SEPTIC DESIGN MANUAL)

LEACHING AREA PROVIDED
350 L.F. ENVIRO-SEPTIC PIPE
10 ROWS • 35 L.F. EACH

SEPTIC TANK CAPACITY REQUIRED
LIQUID CAPACITY AS PER ENV-WQ ENV-WQ 1010.02, FLOWS FROM 300 TO 600 GPD, REQUIRED CAPACITY IS 1,250 GALLONS

SEPTIC TANK CAPACITY PROVIDED
3-1,250 GALLON PRECAST CONCRETE SEPTIC TANK;
PROPOSED SEPTIC TANK SHALL COMPLY WITH ALL CONDITIONS SET FORTH IN ENV-WQ 1010.

NOTE: THIS SYSTEM HAS NOT BEEN DESIGNED FOR USE WITH A GARBAGE DISPOSAL.

DESIGN INTENT:
BOTTOM OF EFFLUENT DISPOSAL AREA TO BE SET NO LOWER THAN 2.5' BELOW THE HIGHEST EXISTING GRADE (E.L. 243.5 AS DEPICTED ON THE PLAN) IN ORDER TO EXCEED A 30-INCH SEPARATION FROM THE E.S.H.W.T. AND THE BOTTOM OF THE EFFLUENT DISPOSAL PIPE WHEN USING AN "ENVIRO-SEPTIC" WASTEWATER TREATMENT SYSTEM.

OPERATING REQUIREMENTS
THE SEPTIC TANK SHALL BE INSPECTED FOR ACCUMULATION OF SLUDGE AND SURFACE SCUM AT LEAST ONCE EVERY YEAR. WHEN THE COMBINED THICKNESS OF THE SLUDGE AND SURFACE SCUM EQUALS 1/3 OR MORE OF TANK DEPTH, THE TANK SHALL BE PUMPED BY A LICENSED SEPTIC HAULER.

TO PREVENT OBSTRUCTION OF THE DISTRIBUTION LINES AND LEACH FIELD, GREASE AND BULKY WASTES SHALL NOT BE FLUSHED OR INTRODUCED INTO THE SEPTIC SYSTEM.

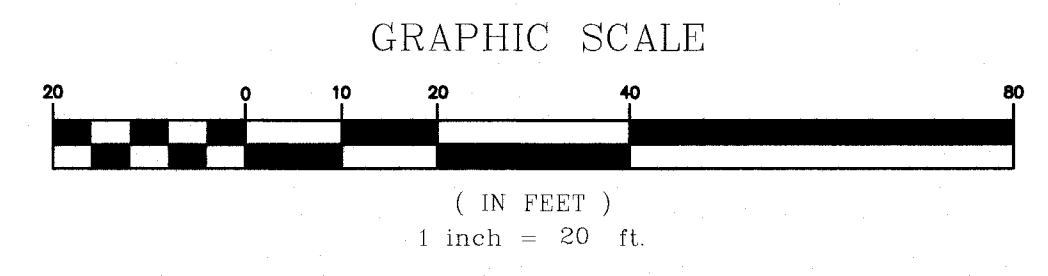
TOXIC OR HAZARDOUS MATERIALS SHALL NOT BE INTRODUCED INTO THE SEPTIC SYSTEM.

TO PREVENT DAMAGE TO THE DISTRIBUTION LINES AND LEACH FIELD, VEHICLES, LIVESTOCK AND ANY OTHER HEAVY OBJECTS SHALL NOT BE ALLOWED ON THE LEACH FIELD UNLESS IT IS DESIGNED TO MEET H-20 LOADING.

IF WET AREAS APPEAR ON THE GROUND SURFACE OR IF ODORS OCCUR, THE SYSTEM SHALL BE INSPECTED FOR THE SOURCE OF THE PROBLEM, AND ACTION SHALL BE TAKEN TO CORRECT THE PROBLEM(S).

NOTE:
THIS SEPTIC SYSTEM DESIGN PLAN SPECIFIES THE USE OF AN ENVIRO-SEPTIC® LEACHING SYSTEM WHICH CAN NOT BE SUBSTITUTED WITH ANY OTHER SIMILAR MATERIAL.

TP #1	
LOGGED BY GPC	
PERC TEST @ 20"	
DATE: 2-26-2018	
PERC RATE: 9 MIN./INCH	
IMPERVIOUS LAYER: 50"	
WATER ENCOUNTERED: 24"	
0"	FOREST MAT / TOP SOIL
4"	10YR 4/4, GRANULAR, FRIABLE, FINE SANDY LOAM, FEW ROOTS
14"	10YR 5/3, SILTY LOAMY SAND LOOSE GRANULAR
24" E.S.H.W.T.	10YR 7/3, FIRM, SILTY SAND, W/ REDOX FEATURES
30"	
50" BOTTOM OF HOLE	



EFFLUENT DISPOSAL DESIGN

INDUSTRIAL CONDOMINIUM COMPLEX

MAP 105; LOT 20
16 BRADY DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
MSE PROPERTIES LLC
20 SENTER FARM ROAD
HUDSON, NH 03051
H.C.R.D. BK. 9827; PG. 487

APPLICANT:
KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076

KMA
KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: AUGUST 5, 2025
PROJECT NO: 24-1220-1

SCALE: 1"=20'
SHEET 9 OF 13

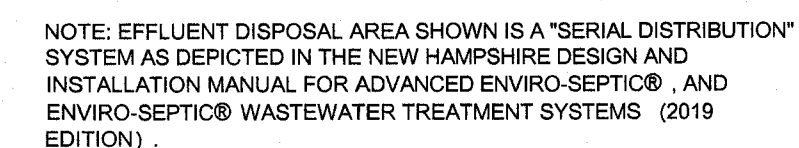
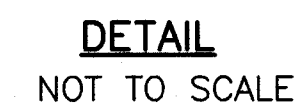
Designer of Subsurface Disposal Systems

Gifford P. Colburn
No. 1839
Supply & Pollution Control



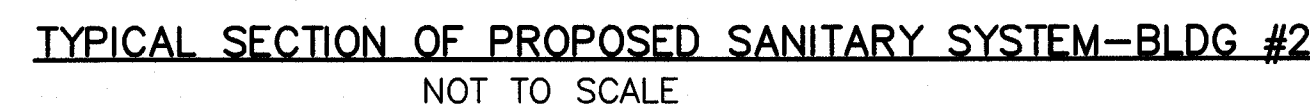
NOTE:

1. SEPTIC TANK, DISTRIBUTION BOX AND ENVIRO-SEPTIC COMPONENTS TO BE SUPPLIED BY DEL R. GILBERT AND SON BLOCK CO., INC., OR EQUAL. SEPTIC TANK MUST COMPLY WITH ENV-WQ 1010 SPECIFICATIONS.
2. ENVIRO-SEPTIC LEACHING SYSTEM TO BE INSTALLED IN STRICT ACCORDANCE WITH SPECIFICATIONS CONTAINED WITHIN CURRENT EDITION OF THE PRESTBY WASTEWATER TREATMENT SYSTEM - NEW HAMPSHIRE DESIGN AND INSTALLATION MANUAL FOR ADVANCED ENVIRO-SEPTIC®, ENVIRO-SEPTIC®, AND SIMPLE SEPTIC® WASTEWATER TREATMENT SYSTEMS.



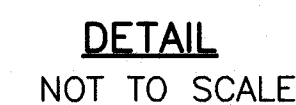
EDA PLAN DETAIL

SCALE: 1" = 10'



NOTE:

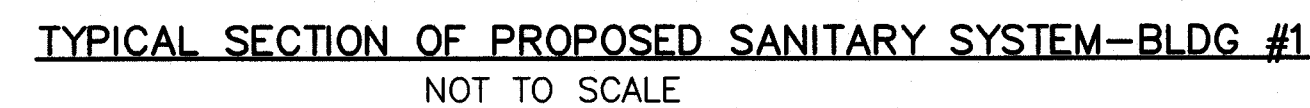
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SYSTEM SAND TO BE 6" MINIMUM OF MEDIUM TO COARSE GRAVELLY SAND WITH AN EFFECTIVE PARTICLE SIZE OF 0.25 MM TO 2.00 MM, WITH NO GREATER THAN 2% PASSING A #200 SIEVE AND NO PARTICLES LARGER THAN 3/4" AROUND THE CIRCUMFERENCE OF THE ENVIRO-SEPTIC PIPE (SEE THE LATEST EDITION OF THE "ENVIRO-SEPTIC AND SIMPLE SEPTIC LEACHING SYSTEM DESIGN AND INSTALLATION MANUAL" FOR DETAILED SAND AND FILL REQUIREMENTS. ALL OTHER FILL USED IN RAISED SYSTEMS SHALL BE CLEAN BANK RUN SAND, FREE FROM TOPSOIL, HUMUS, DREDGING, DEBRIS, OR STONES LARGER THAN 6 IN ANY DIMENSION IN ACCORDANCE WITH ENV-W-02 1021.03

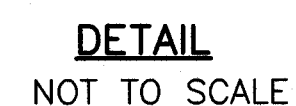
TYPICAL "ENVIRO-SEPTIC" CROSS SECTION

-NOT TO SCALE-



NOTE:

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EFFLUENT DISPOSAL DESIGN

INDUSTRIAL CONDOMINIUM COMPLEX

MAP 105: LOT 20

16 BRADY DRIVE

HUDSON, NEW HAMPSHIRE

HILLSBOROUGH COUNTY

OWNER OF RECORD:

MSE PROPERTIES LLC
20 SENTER FARM ROAD
HUDSON, NH 03051
H.C.R.D. BK. 9827; PG. 487

APPLICANT:

KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076

KNA KEACH-NORDSTROM ASSOCIATES, INC.

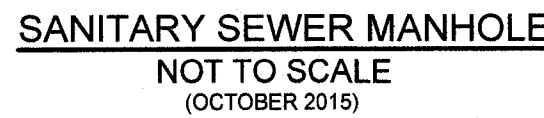
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

NEW HAMPSHIRE
 Water Supply & Pollution Control

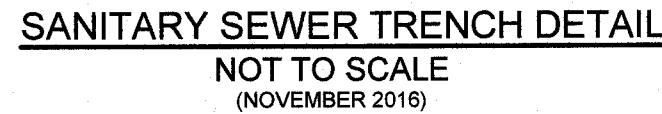
Designer of
 Subsurface Disposal
 Systems

 Gifford P. Colburn
 No. 1839

REVISIONS			
No.	DATE	DESCRIPTION	BY
DATE: AUGUST 5, 2025		SCALE: 1"=20'	
PROJECT NO: 24-1220-1		SHEET 10 OF 13	



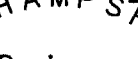
- 14. MANHOLE STEPS SHALL:
 - A. BE PERMITTED ONLY AT THE REQUEST OF THE SYSTEM OWNER.
 - B. BE MANUFACTURED OF STAINLESS STEEL, PLASTIC-COVERED STEEL, OR PLASTIC;
 - C. BE SHAPED SO THAT THEY CANNOT BE PULLED OUT OF THE CONCRETE WALL INTO WHICH THEY ARE SECURED;
 - D. BE CERTIFIED BY THEIR MANUFACTURER(S) AS CONFORMING TO ASTM C478 FOR LOAD CARRYING CAPACITY AND PULL-OUT RESISTANCE.
 - E. NOT BE SECURED WITH MORTAR;
 - F. BE APPROXIMATELY 14-INCHES BY 10-INCHES IN DIMENSION;
 - G. HAVE A DROP SECTION OR RAISED ABUTMENTS TO PREVENT SIDEWAYS SLIPPING OFF THE STEP; AND
 - H. HAVE NON-SKID SAFETY SERRATIONS ON THE FOOT CONTACT SURFACES.
- 15. MANHOLE TESTING:
 - A. MANHOLES SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST.
 - a. THE MANHOLE VACUUM TEST SHALL CONFORM TO THE FOLLOWING:
 - 1. THE INITIAL VACUUM GAUGE TEST PRESSURE SHALL BE 10 INCHES Hg; AND
 - 2. THE MINIMUM ACCEPTABLE TEST HOLD TIME FOR A 1-INCH Hg PRESSURE DROP TO 9 INCHES Hg SHALL BE:
 - a. NOT LESS THAN 2 MINUTES FOR MANHOLES LESS THAN 10 FEET DEEP IN DITCH;
 - b. NOT LESS THAN 2.5 MINUTES FOR MANHOLES 10 TO 15 FEET DEEP; AND
 - c. NOT LESS THAN 3 MINUTES FOR MANHOLES MORE THAN 15 FEET DEEP.
 - B. THE MANHOLE SHALL BE REPAIRED AND RETESTED IF THE TEST HOLD TIMES FAIL TO ACHIEVE THE ACCEPTANCE LIMITS SPECIFIED IN (B) ABOVE.
 - C. FOLLOWING COMPLETION OF THE LEAKAGE TEST, THE FRAME AND COVER SHALL BE PLACED ON THE TOP OF THE MANHOLE OR SOME OTHER MEANS USED TO PREVENT ACCIDENTAL ENTRANCE OF PERSONS, CHILDREN OR ANIMALS UNTIL THE CONTRACTOR IS READY TO MAKE FINAL ADJUSTMENTS TO GRADE.

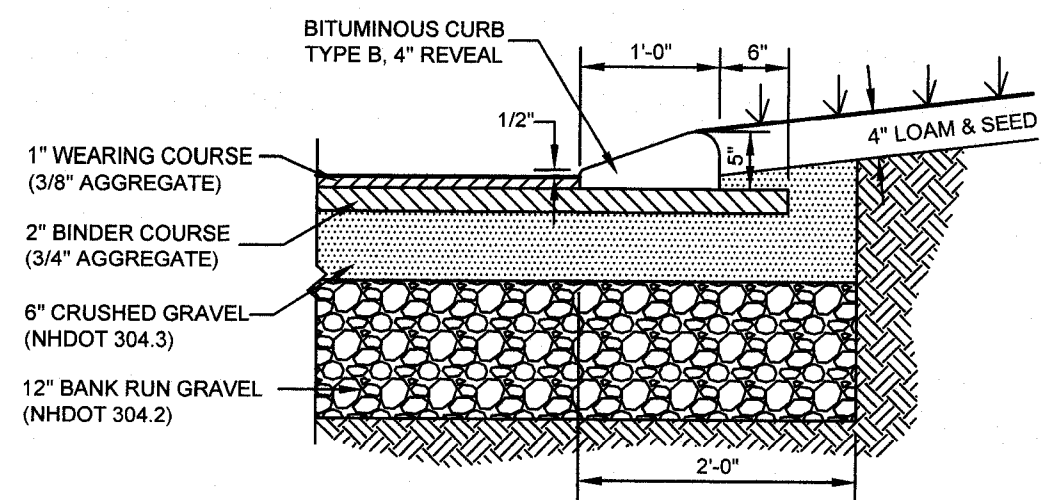


SPECIFICATIONS:

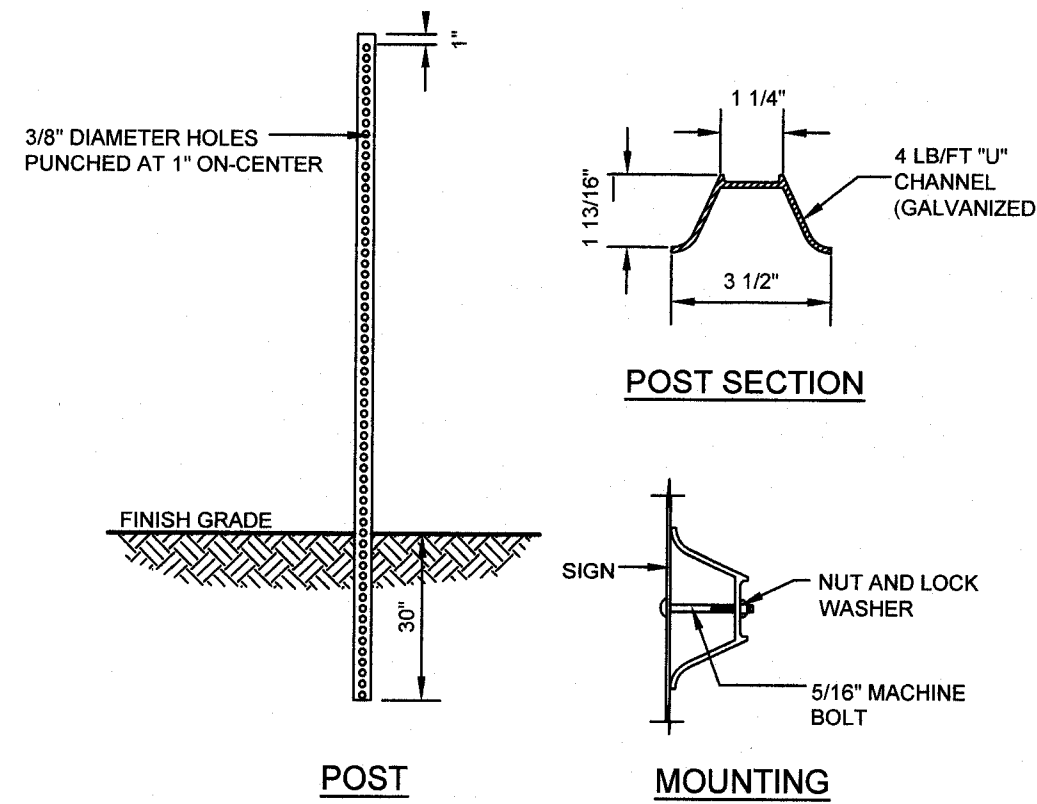
- FULLY MACHINED FRAME AND COVER
- H-20 LOAD RATED
- GRAY CAST IRON MEETS ASTM A48 CLASS 30

10. WHERE WATER LINES AND SEWER LINES CROSS, THEY SHOULD CROSS AT PERPENDICULAR AS POSSIBLE AND THE WATER MAIN SHALL CROSS AT LEAST 18" INCHES ABOVE THE SEWER. FURTHER, THE SEWER JOINTS SHALL BE LOCATED AT LEAST 6 FEET FROM ANY OTHER UTILITY PROTECTION.
11. ALL SEWERS AT 8 PERCENT SLOPE, OR GREATER, SHALL HAVE IMPERVIOUS TRENCH DAMS CONSTRUCTED EVERY 300 FEET.
12. UNLESS OTHERWISE NOTED, ALL GRANULAR MATERIAL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 98 PERCENT OF THE MODIFIED PROCTOR DENSITY.
13. WHERE THE WATER MAINS CROSS UNDER SEWER MAINS, BOTH THE SEWER AND WATER MAINS SHALL BE PRESSURE RATED PIPE PER EN-VOL VQ4 006 AND TESTED PER AWWA C800-05 AT 1.5 TIMES DESIGN PRESSURE OR 100 PSI, WHICHEVER IS GREATER, WITH NO JOINTS WITHIN 9 FEET OF THE CROSSING POINT AND 18" MINIMUM VENT.
14. ALL SEWERS SHALL BE MARKED USING METAL IMPREGNATED MARKING TAPE OR TRACER WIRE THAT CAN BE LOCATED USING METAL DETECTION EQUIPMENT.
15. GRAVITY PIPE SEWER TESTING:
 - A. ALL LOW-PRESSURE GRAVITY PIPE SHALL BE TESTED FOR WATER TIGHTNESS BY THE USE OF LOW-PRESSURE AIR TESTS.
 - B. LOW-PRESSURE AIR TESTING SHALL BE IN CONFORMANCE WITH:
 1. ASTM F1417-92(2005) "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW-PRESSURE AIR" OR
 2. UNI-BELL PVC PIPE ASSOCIATION UNI-B-6, "LOW-PRESSURE AIR TESTING OF INSTALLED SEWER PIPE" (1998).
 - C. ALL NEW GRAVITY SEWER PIPE SHALL BE CLEANED AND VISUALLY INSPECTED USING A LAMP TEST AFTER THE COMPLETION OF THE LAMP TEST TO DETERMINE THAT THERE IS NO STANDING WATER IN THE SEWER AND SHALL BE TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR TO USE.
 - D. ALL PLASTIC SEWER PIPE SHALL BE DEFLECTION TESTED NOT LESS THAN 30 FEET AND MORE THAN 100 FEET FROM THE MANHOLE INSTALLATION.
16. THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5 PERCENT OF AVERAGE INSIDE DIAMETER. A RIGID BALL OR MANDEL WITH A DIAMETER OF AT LEAST 95 PERCENT OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.

 <p>NEW HAMPSHIRE Designer of Subsurface Disposal Systems *** Gifford P. Colburn No. 1839 Water Supply & Pollution Control</p>	REVISIONS			
	No.	DATE	DESCRIPTION	BY
DATE: AUGUST 5, 2025			SCALE: AS SHOWN	
PROJECT NO: 24-1220-1			SHEET 11 OF 13	

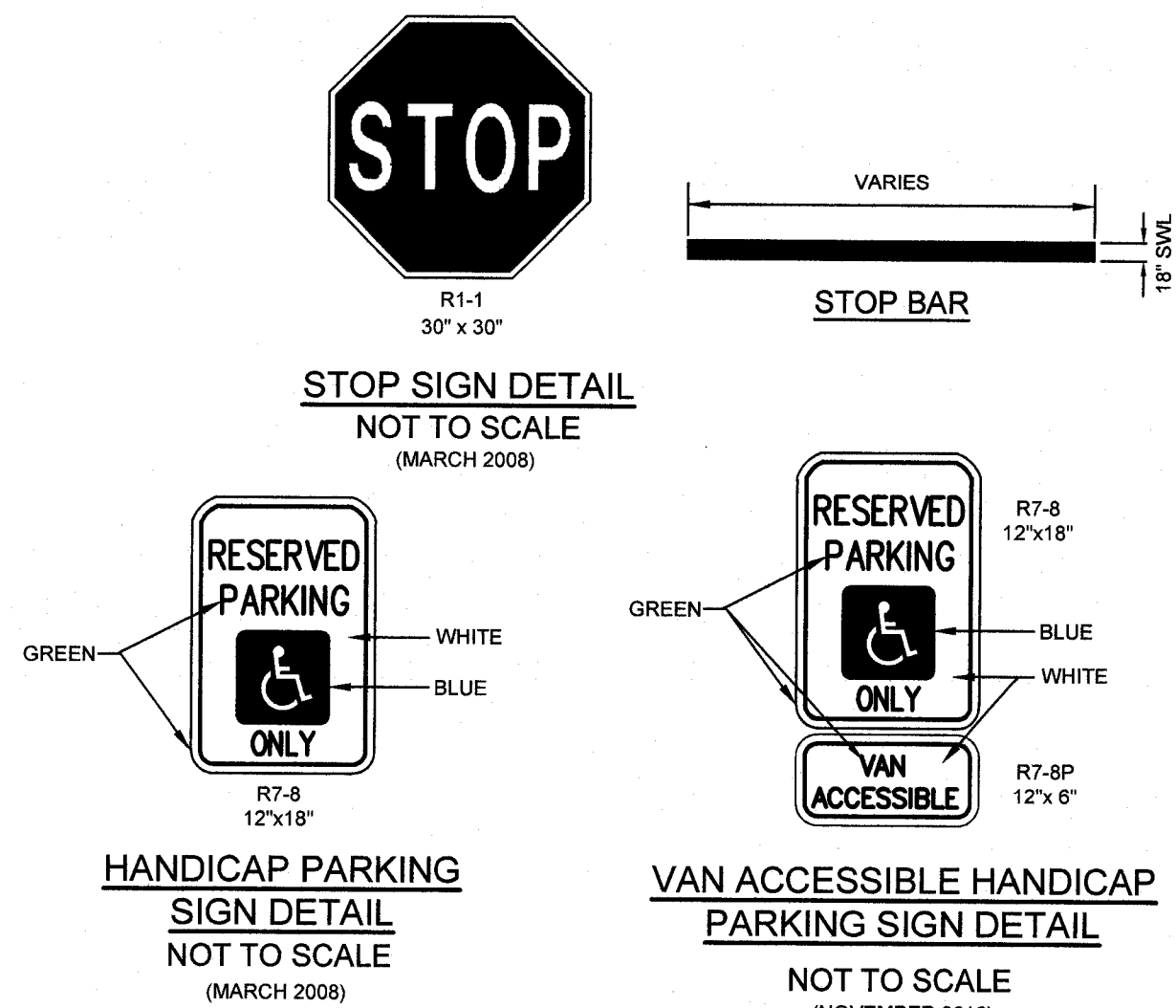


BITUMINOUS CURB TYPE B DETAIL
NOT TO SCALE
(MARCH 2008)



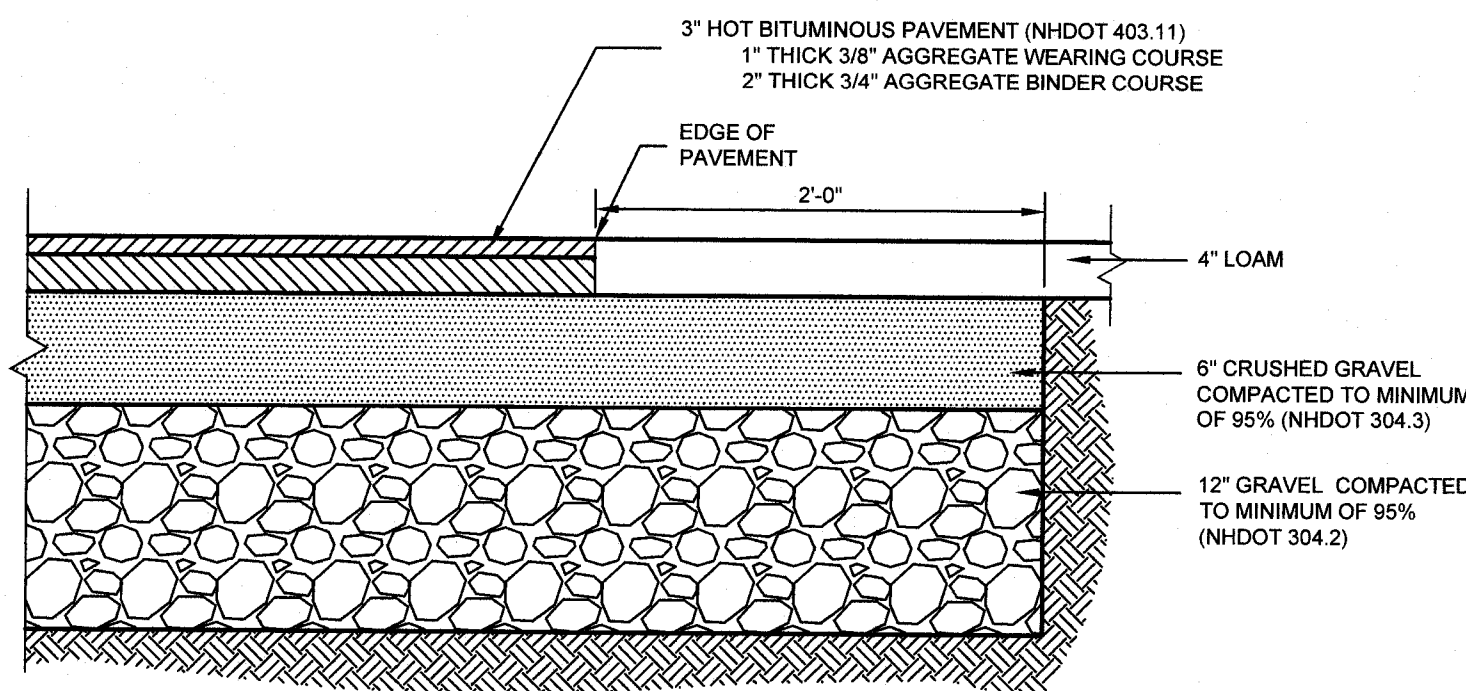
NOTE:
POST SHALL CONFORM TO NHDOT 615.2.5.3

STEEL SIGN POST DETAIL
NOT TO SCALE
(MARCH 2008)

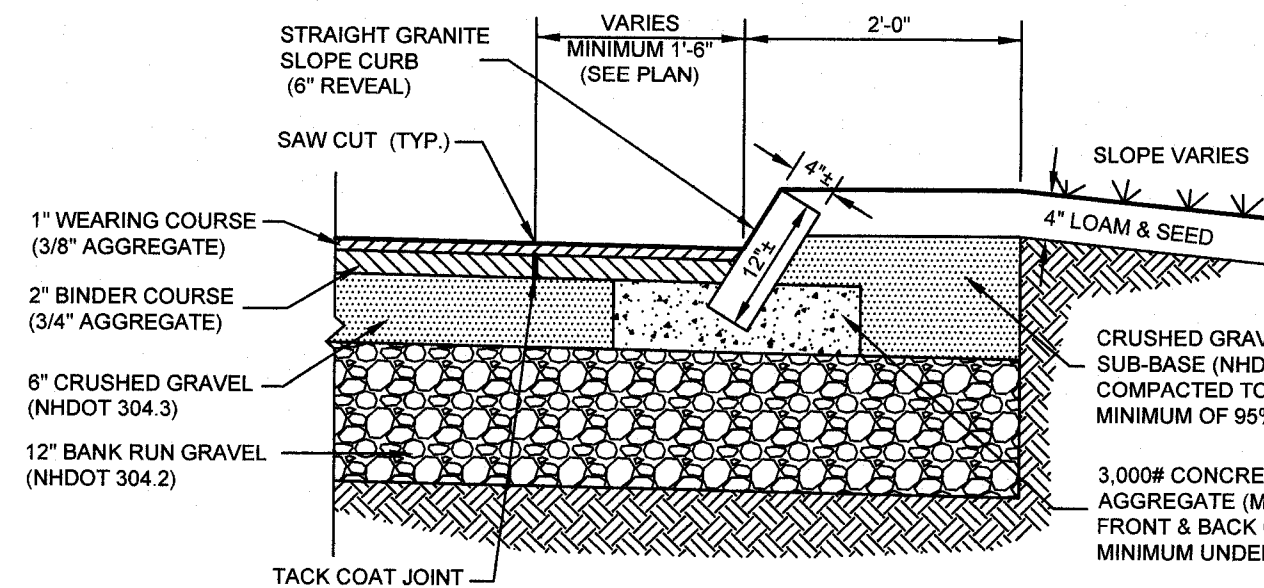


HANDICAP STRIPING DETAIL
NOT TO SCALE
(MARCH 2012)

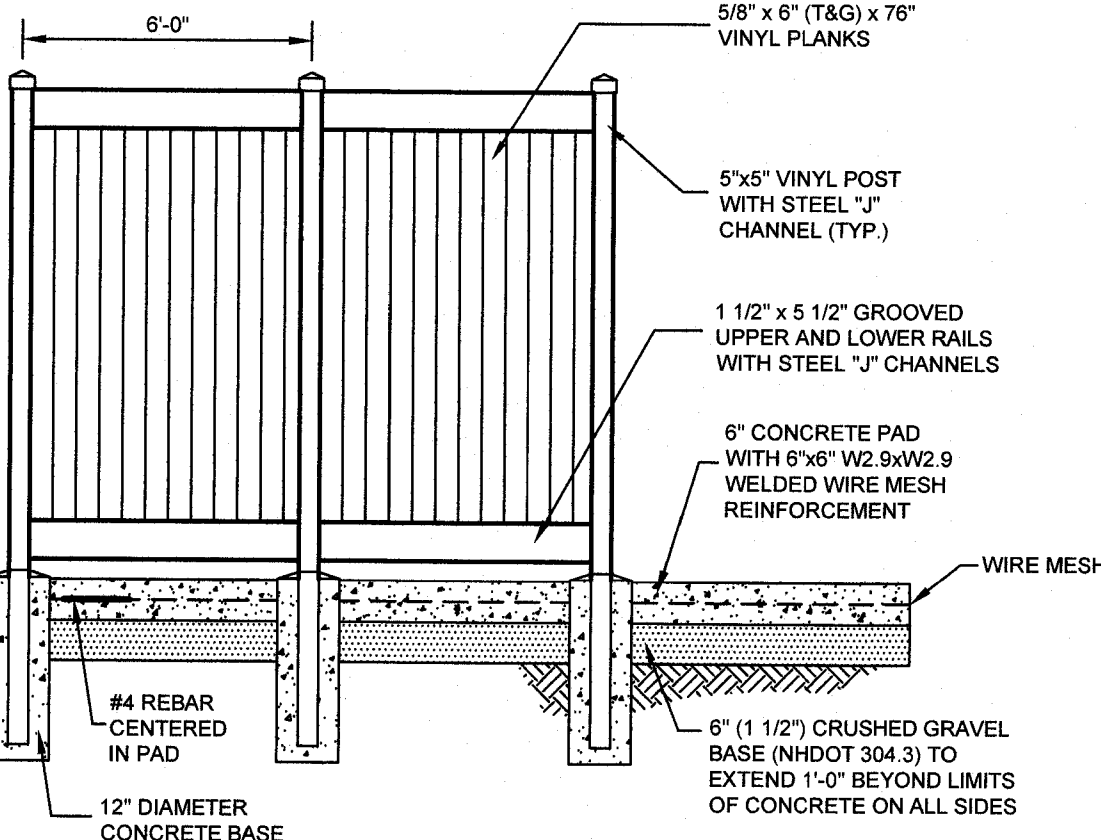
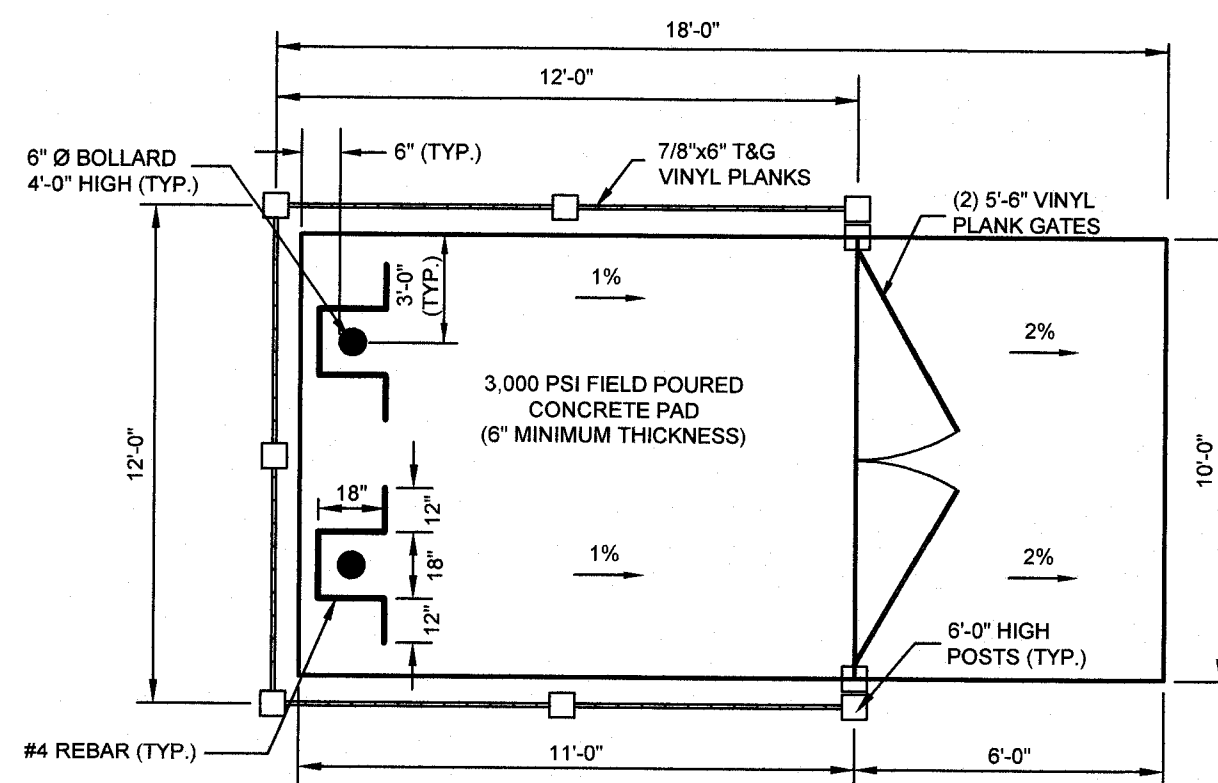
- STRIPING NOTES:**
- ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THESE STANDARDS AND THE CURRENT EDITION OF MUTCD.
 - WIDTH OF LINES SHALL VARY NO MORE THAN 1/4 INCH FROM THAT SPECIFIED.
 - THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED.
 - OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.



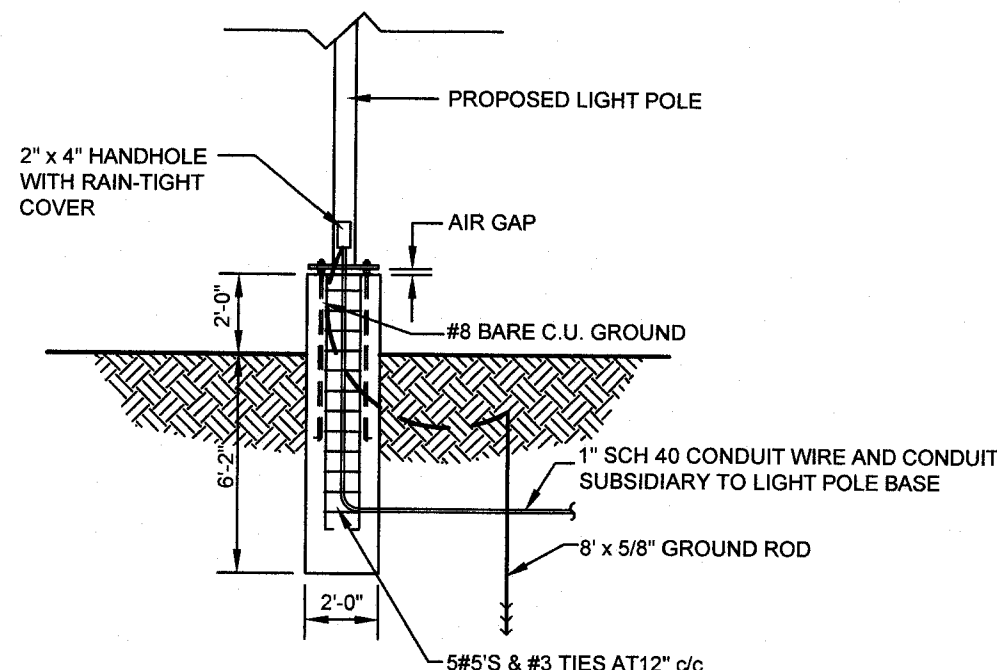
DRIVEWAY AND PARKING LOT SECTION
NOT TO SCALE
(MARCH 2008)



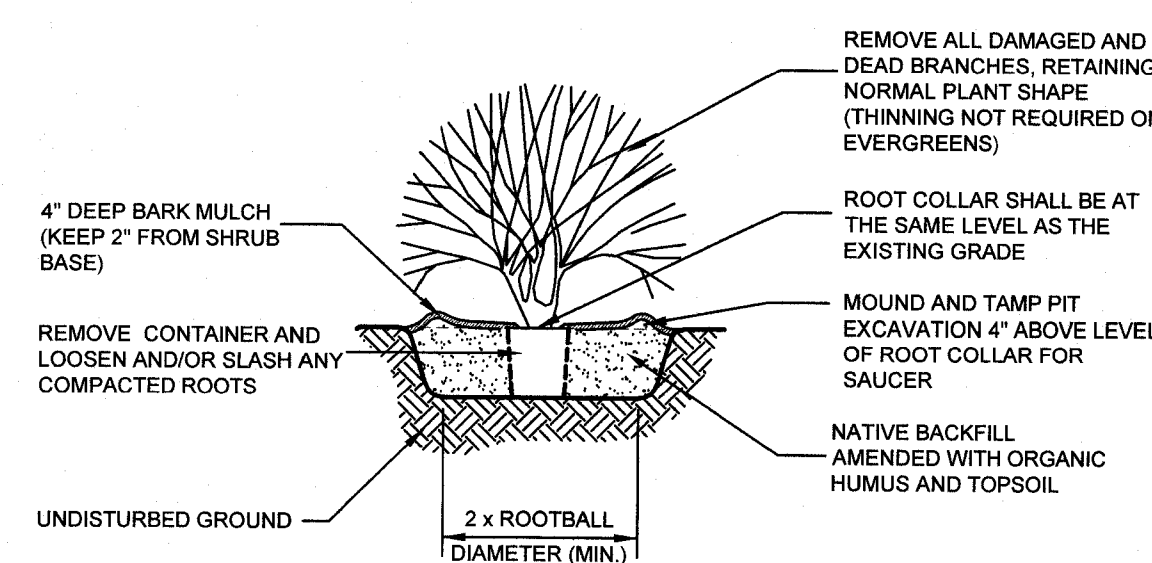
NOTE: PLACEMENT OF THE CONCRETE SHALL BE SUBSIDIARY TO THE INSTALLATION OF THE CURBING
STRAIGHT GRANITE SLOPE CURB DETAIL
NOT TO SCALE
(MARCH 2008)



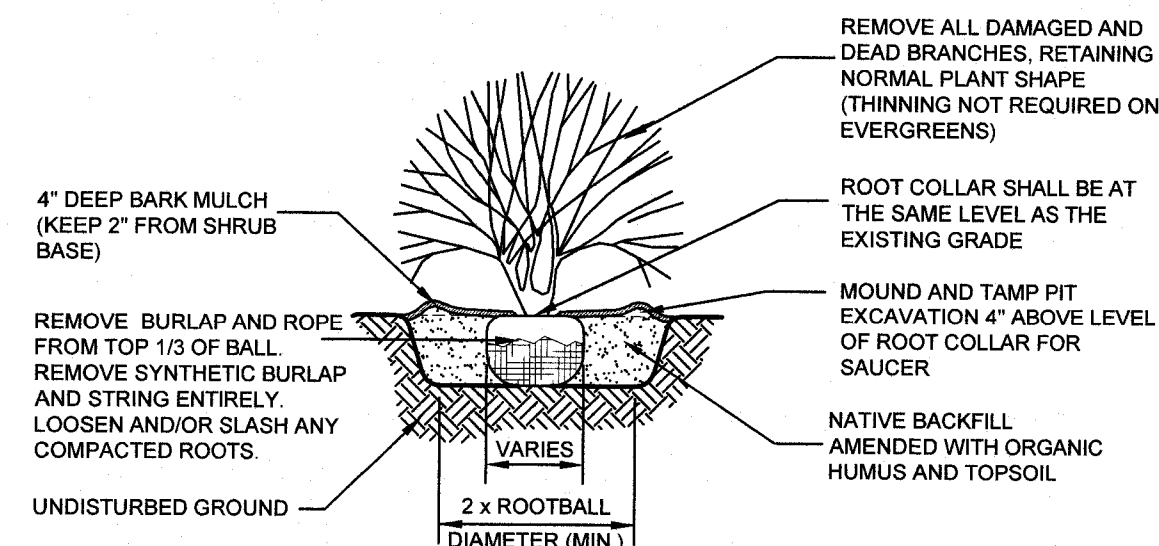
NOTE:
THIS DUMPSTER ENCLOSURE WILL ACCOMMODATE MOST 2, 4, 6 AND 8 CY DUMPSTERS.
VINYL TRASH ENCLOSURE DETAIL
NOT TO SCALE
(MARCH 2008)



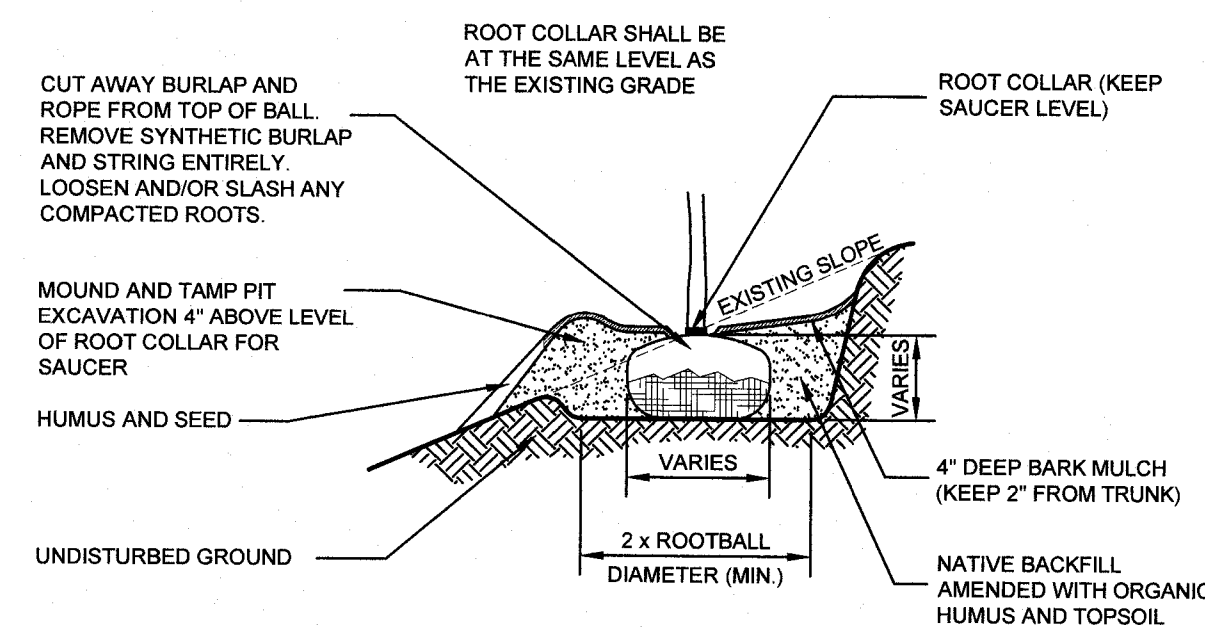
CONCRETE LIGHT POLE BASE DETAIL
NOT TO SCALE
(MARCH 2008)



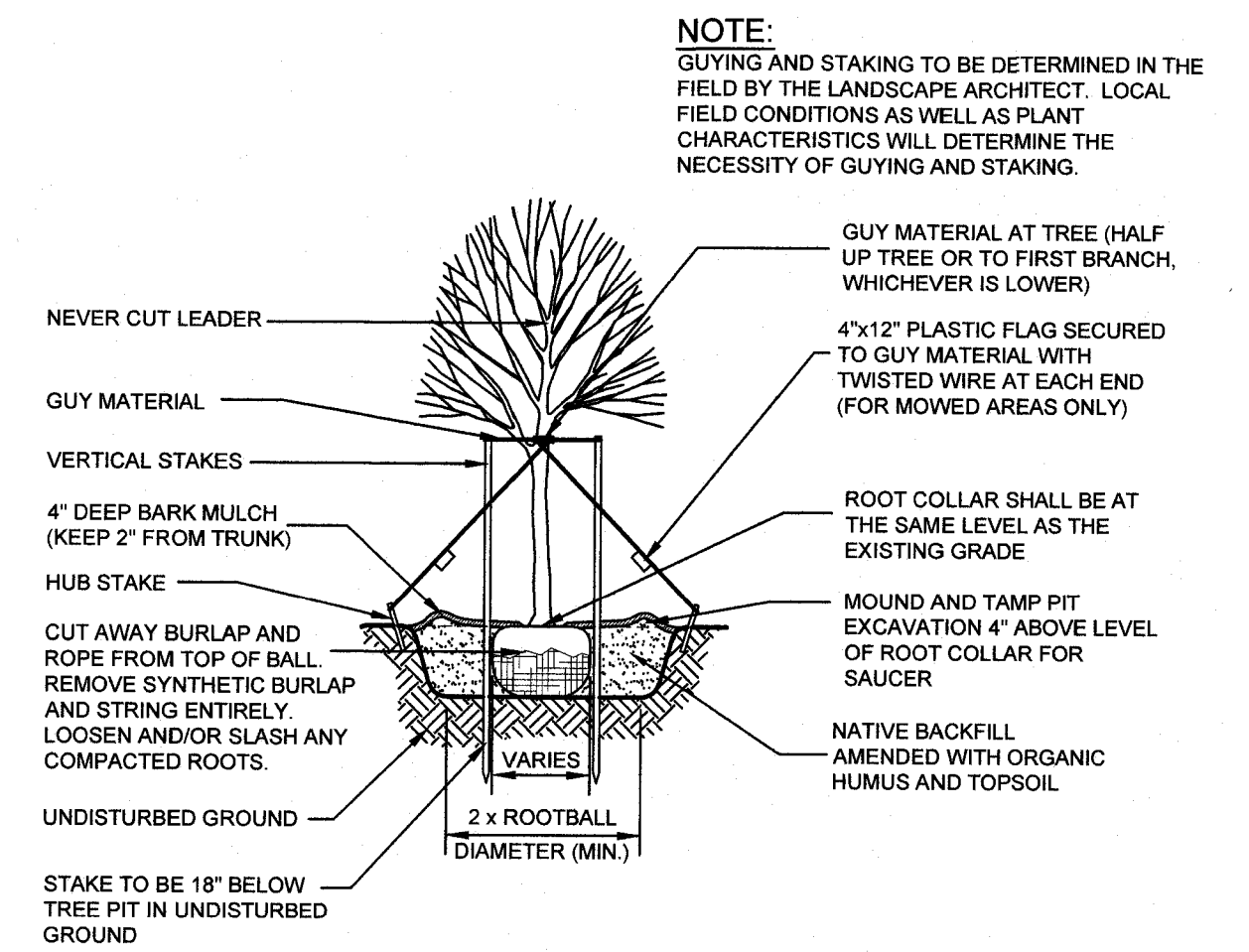
CONTAINER SHRUB PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



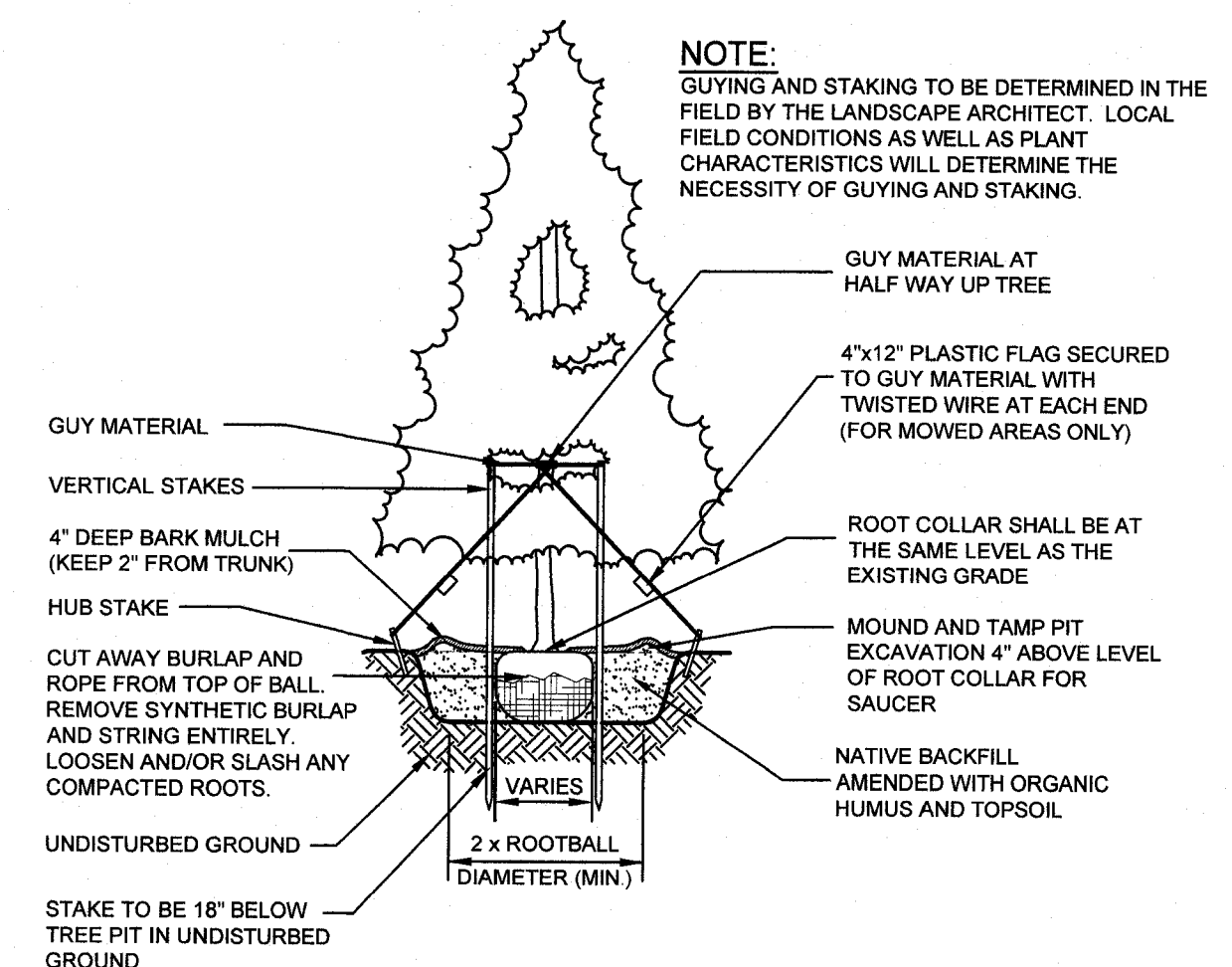
BALLED & BURLAP SHRUB PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



TYPICAL PLANTING PIT ON SLOPE 4:1 OR GREATER
NOT TO SCALE
(JANUARY 2012)



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)

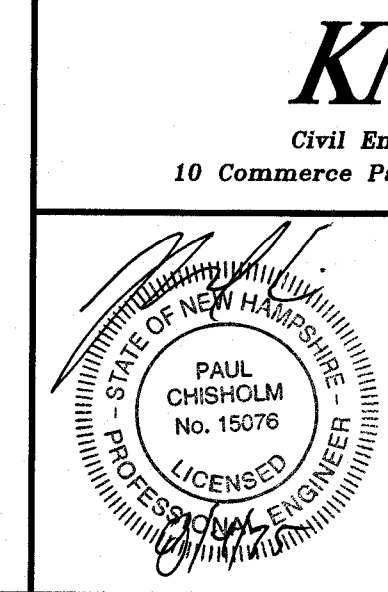


EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)

CONSTRUCTION DETAILS
INDUSTRIAL CONDOMINIUM COMPLEX
MAP 105; LOT 20
16 BRADY DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY


OWNER OF RECORD:
MSE PROPERTIES LLC
20 SENTER FARM ROAD
HUDSON, NH 03051
H.C.R.D. BK. 9827; PG. 487

APPLICANT:
KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076



KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
DATE: AUGUST 5, 2025		SCALE: AS-NOTED	
PROJECT NO: 24-1220-1		SHEET 12 OF 13	

	DATE: AUGUST 3, 2023	SCALE: AS-NOTED
	PROJECT NO: 24-1220-1	SHEET 13 OF 13