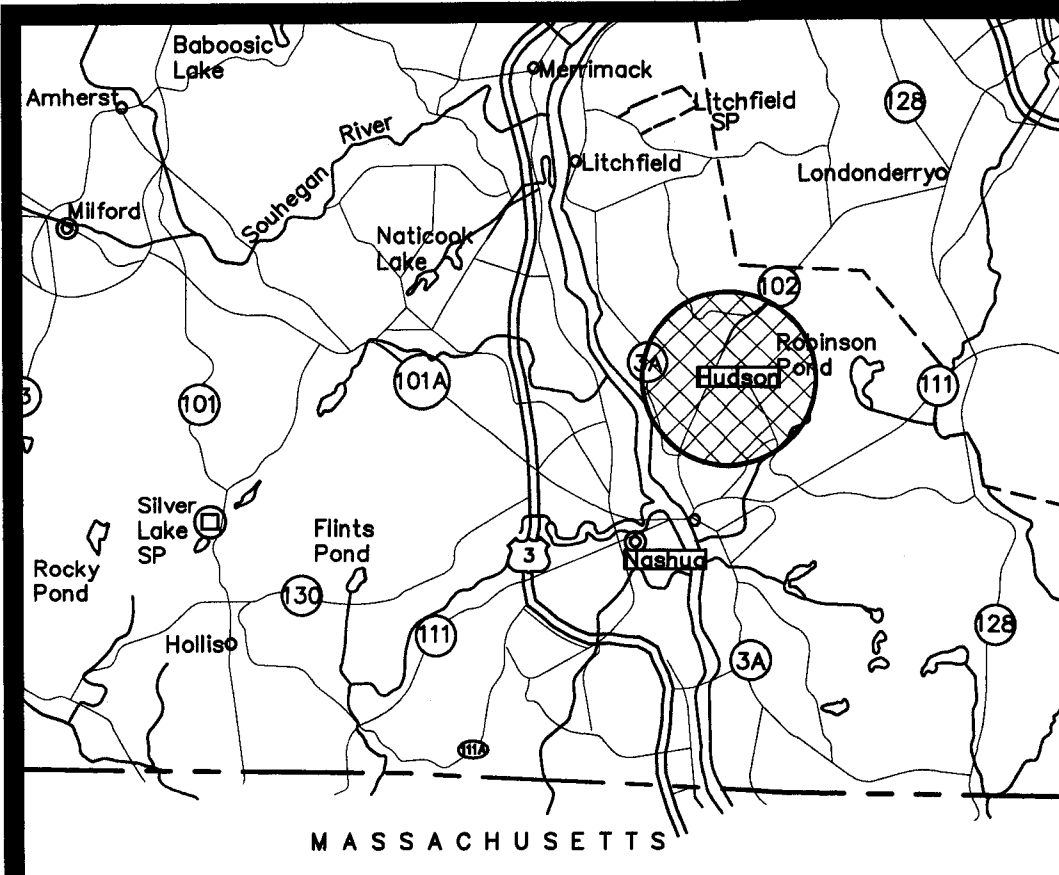




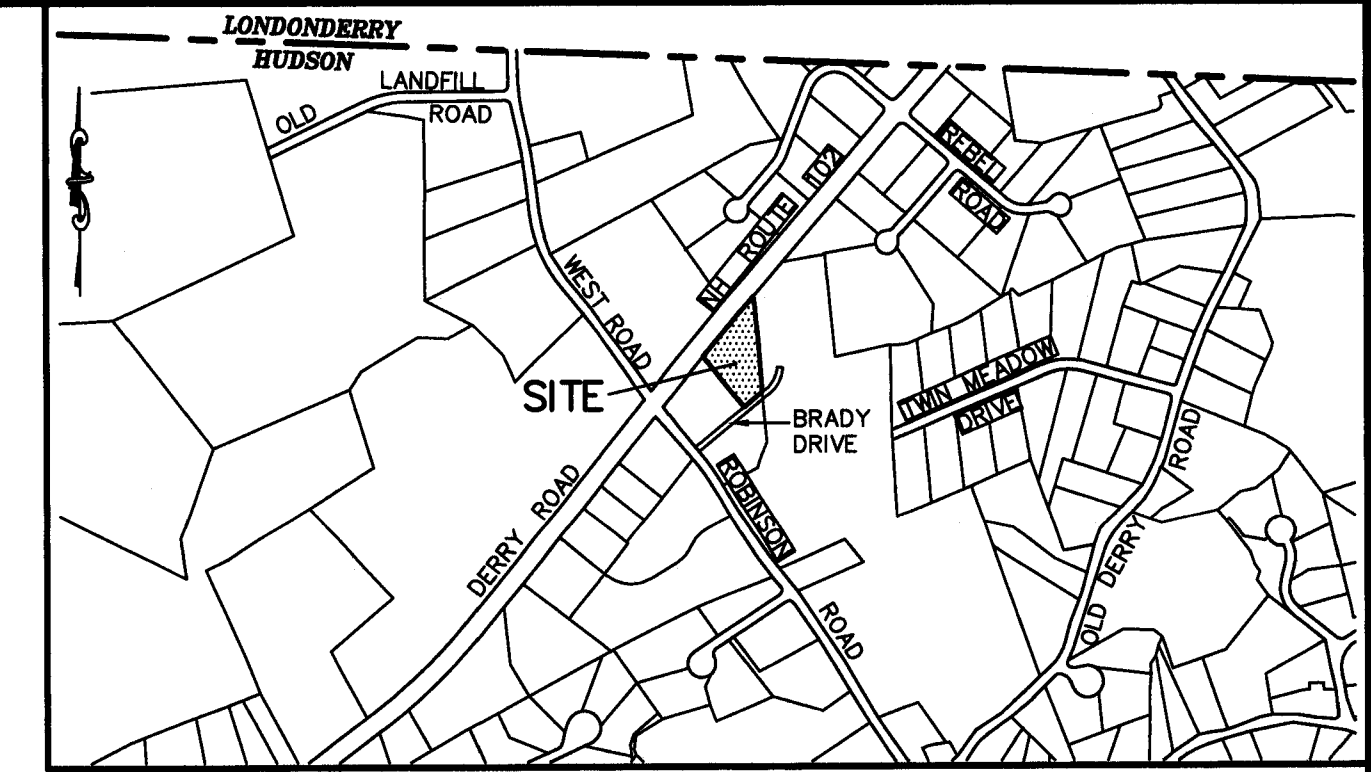
VICINITY PLAN
NOT TO SCALE

NON-RESIDENTIAL SITE PLAN INDUSTRIAL COMPLEX

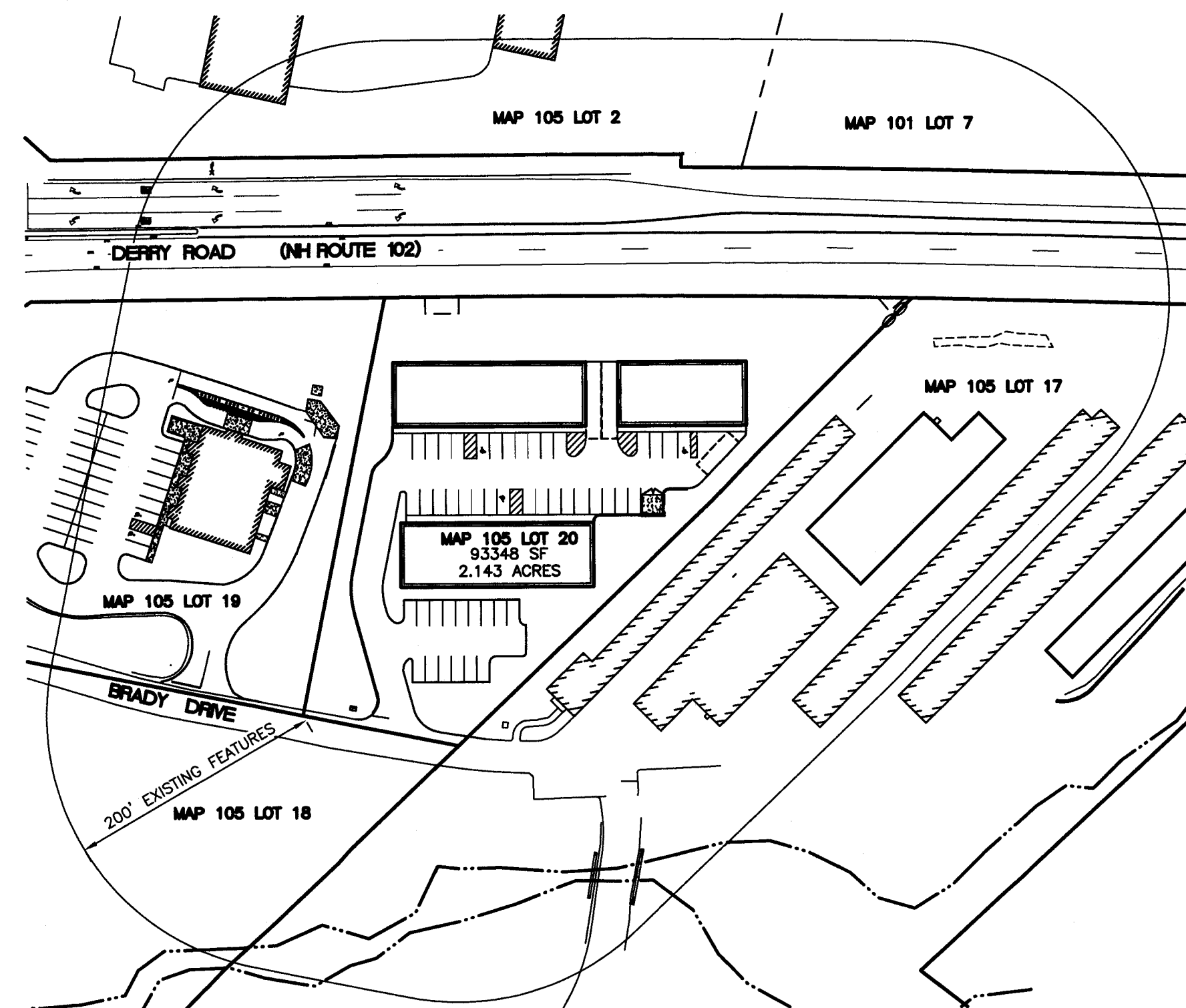
MAP 105; LOT 20

16 BRADY DRIVE

HUDSON, NEW HAMPSHIRE



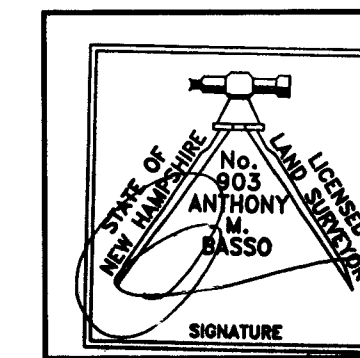
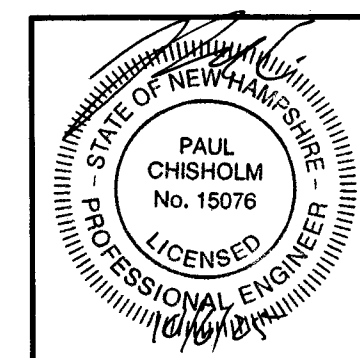
LOCATION MAP
SCALE: 1"=1,000'



OWNER:
MSE PROPERTIES, LLC
20 SENTER FARM ROAD
HUDSON, NH 03051

PREPARED FOR:
KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076

PREPARED BY:
KEACH-NORDSTROM ASSOCIATES, INC.
10 COMMERCE PARK NORTH, SUITE 3B
BEDFORD, NEW HAMPSHIRE 03110
(603) 627-2881



KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

AUGUST 5, 2025
REVISED OCTOBER 6, 2025
PROJECT NO. 24-1220-1

SHEET TITLE	SHEET No.
MASTER PLAN	1
EXISTING CONDITIONS PLAN	2
REMOVALS/DEMOLITION PLAN	3
NON-RESIDENTIAL SITE PLAN	4
GRADING, DRAINAGE, & UTILITY PLAN	5
EROSION CONTROL PLAN	6
LANDSCAPE PLAN	7
LIGHTING PLAN	8
EFFLUENT DISPOSAL DESIGN	9 - 10
SEWER AND WATER DETAILS	11
CONSTRUCTION DETAILS	12 - 14
SIGHT DISTANCE PLAN	15

NOTES:

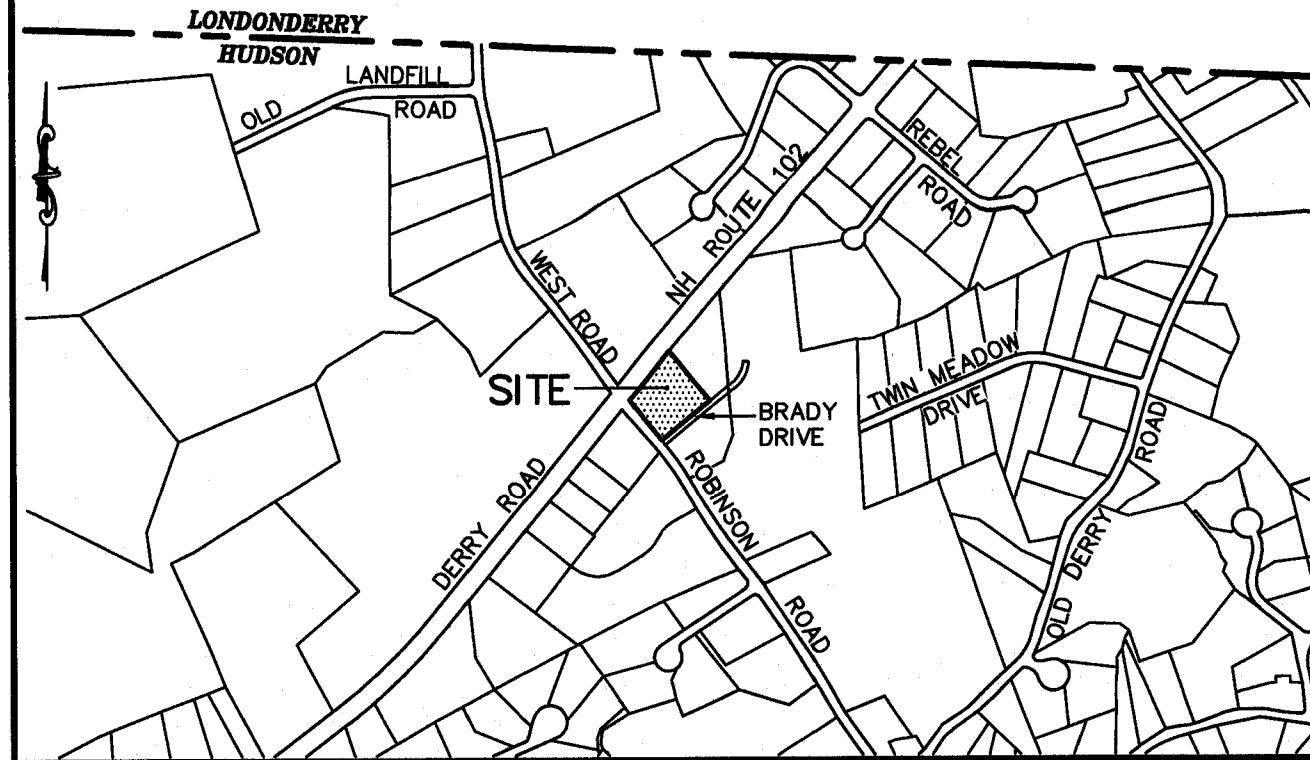
- THE PURPOSE OF THIS PLAN IS TO SHOW THE LAYOUT OF THREE INDUSTRIAL USE CONDOMINIUM BUILDINGS ON MAP 105 LOT 20 IN HUDSON, NEW HAMPSHIRE AND NO OTHER PURPOSE.
- MAP 105 LOT 20 INDICATES TOWN OF HUDSON, NEW HAMPSHIRE TAX ASSESSOR'S MAP AND LOT NUMBER.
- AREA OF THE PARCEL IS 93,348 SF, OR 2.143 ACRES
- THE SUBJECT PARCEL IS LOCATED WITHIN THE GENERAL ONE (G-1) ZONING DISTRICT AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REQUIREMENTS:

TABLE OF ZONING REQUIREMENTS			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE	87,120 SF	93,348 SF	93,348 SF
MINIMUM LOT FRONTAGE	200 FT	411.14 FT	411.14 FT
FRONT YARD SETBACK	50 FT	N/A	50.9 FT
SIDE YARD SETBACK	15 FT	N/A	16.0 FT
REAR YARD SETBACK	15 FT	N/A	112.7 FT
MAXIMUM BUILDING HEIGHT	50 FT	N/A	20.0 FT

- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE IN JANUARY 2025.
- HORIZONTAL DATUM IS NAD83, VERTICAL DATUM IS NAVD88.
- SEE REFERENCE PLAN #2 FOR WETLAND DELINEATION AND SITE SPECIFIC SOILS INFORMATION.
- PRESENT OWNER OF RECORD:
MSE PROPERTIES, LLC
20 SENTER FARM ROAD
HUDSON, NH 03051
BK. 9827, PG. 487
- EXAMINATION OF FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 33011C0508D, PANEL 508 OF 701, EFFECTIVE DATE SEPTEMBER 25, 2008, INDICATES THE SUBJECT PREMISES IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
- THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER OF RECORD, KEACH-NORDSTROM ASSOCIATES, INC.
- THE LOT IS SERVICED BY MUNICIPAL WATER AND AN ON-SITE SEPTIC SYSTEM.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. TAKES NO RESPONSIBILITY FOR THE ACCURACY OF UNDERGROUND UTILITIES DEPICTED. LOCATIONS SHOWN WERE TAKEN FROM FIELD SURVEY AND REFERENCE PLANS. CONTRACTOR TO VERIFY UNDERGROUND UTILITY LOCATIONS AND NOTIFY ENGINEER OF ANY CONFLICTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.
- OPEN SPACE REQUIRED = 40%
- OPEN SPACE PROPOSED = 46%
- PARKING CALCULATIONS:
REQUIRED PARKING:
INDUSTRIAL USE:
1 SPACE/600 SF OF GROSS LEASABLE AREA X 20,000 SF = 34 SPACES
TOTAL REQUIRED PARKING SPACES = 34 SPACES
PROVIDED PARKING:
34 PROPOSED SPACES (INCLUDES 3 HANDICAP SPACES)
- LOADING SPACE CALCULATIONS:
REQUIRED LOADING:
INDUSTRIAL USE:
1 SPACE FOR FIRST 5,000 SF PLUS 1 SPACE FOR EVERY ADDITIONAL 10,000 SF
TOTAL REQUIRED LOADING SPACES = 3 SPACES
PROVIDED LOADING:
3 PROPOSED LOADING SPACES HAVE BEEN PROVIDED.
- PERMITS REQUIRED:
NUMBER STATUS PERMIT
-NHDES SUBSURFACE TBD N/A
-NHDES NOTICE OF INTENT REQUIRED PRIOR TO CONSTRUCTION
19. SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH 2010 TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADE.
20. IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANYWAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN, OR CHANGE THE BEHAVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
21. CONSTRUCTION ACTIVITIES ON THE SITE SHALL BE LIMITED TO BETWEEN 7:00 AM AND 7:00 PM MONDAY THROUGH FRIDAY AND 8:00 AM TO 4:00 PM ON SATURDAY. NO CONSTRUCTION ACTIVITIES SHALL BE ALLOWED ON SUNDAYS.
22. IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON WEEKENDS. BLASTING WILL MEET HUDSON ORDINANCE 202 REQUIREMENTS.
23. SITE LIGHTING SHALL BE AS SHOWN ON THE PLAN, DIRECTED ONTO SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
24. HOURS FOR REFUSE REMOVAL AND DELIVERIES OF SUPPLIES SHALL BE NO EARLIER THAN 7:00 AM AND NO LATER THAN 7:00 PM, MONDAY THROUGH FRIDAY ONLY. SAID ACTIVITIES SHALL BE PROHIBITED ON SATURDAY AND SUNDAY.
25. THE HOURS OF OPERATION WILL BE 6:00 AM TO 8:00 PM MONDAY THROUGH SATURDAY. SITE LIGHTING WILL BE LIMITED OUTSIDE OF THE HOURS OPERATIONS FOR SECURITY PURPOSES.
26. PLOWED SNOW FROM THE FACILITIES, DRIVEWAY, PARKING LOTS AND SIDEWALK SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET. NO SNOW MAY BE PLOWED OR STORED ON THE ADJUTING PARCELS. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
27. THE APPLICANT'S ENGINEER AND/OR CONTRACTOR SHALL CONTACT THE TOWN OF HUDSON TO SCHEDULE A PRE-CONSTRUCTION MEETING, WHICH WILL BE HELD WITH STAFF PRIOR TO STARTING CONSTRUCTION. FURTHERMORE, THE OWNER OR CONTRACTOR SHALL COORDINATE AND ESTABLISH A BOND OR ESCROW ACCOUNT WITH THE TOWN ENGINEER.
28. ALL STIPULATIONS OF APPROVAL SHALL BE INCORPORATED INTO THE DEVELOPMENT AGREEMENT, WHICH SHALL BE RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS, TOGETHER WITH THE SITE PLAN-OF-RECORD AND ALL AGREED UPON EASEMENT DEEDS, WHICH SHALL BE FAVORABLY REVIEWED BY TOWN COUNSEL PRIOR TO PLANNING BOARD ENDORSEMENT OF PLAN.
29. ALL IMPROVEMENTS SHOWN ON THE SITE PLAN-OF-RECORD, INCLUDING NOTES 1-35, SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
30. PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, A L.L.S. CERTIFIED "AS-BUILT" SITE PLAN SHALL BE PROVIDED TO THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED SITE PLAN.
31. ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD AND ZONING ADMINISTRATOR PRIOR TO INSTALLATION THEREOF.
32. ALL IMPROVEMENTS SHALL BE COMPLETED IN THEIR ENTIRETY AND AT THE EXPENSE OF THE APPLICANT OR HIS ASSIGNS.
33. THIS PLAN SHALL BE SUBJECT TO FINAL ENGINEERING REVIEW.
34. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION.
35. NO CHEMICAL DE-ICERS ARE TO BE USED FOR WINTER MAINTENANCE, AND WINTER MAINTENANCE SHALL BE PERFORMED BY A GREEN SNO-PRO CERTIFIED (OR FUNCTIONAL EQUIVALENT CERTIFICATION) CONTRACTOR.
36. THE RESPONSIBILITY OF MAINTAINING THE STORMWATER FEATURES ON-SITE SHALL BE SOLELY THE OWNER'S.
37. THE OWNER WILL BE REQUIRED TO COMPLY WITH ALL PROVISIONS OF THE TOWN OF HUDSON'S MS4 PERMIT, INCLUDING BUT NOT LIMITED TO ANNUAL REPORTING REQUIREMENTS, CONSTRUCTION SITE STORMWATER RUNOFF CONTROL, AND RECORD KEEPING REQUIREMENTS.
38. CONTRACTOR SHALL FOLLOW THE TOWN OF HUDSON'S REQUIREMENTS FOR THE IMPORTING OF OFFSITE FILL MATERIALS.
39. A SPILL PREVENTION KIT AND GENERAL SPILL PREVENTION PLAN WILL BE PROVIDED ON SITE.

MAP 105; LOT 2
L.P. GAS EQUIPMENT, INC.
PO BOX 1800
ROCHESTER, NH 03866-1800
H.C.R.D. BK. 7590, PG. 2291

MAP 101; LOT 7
SUPERIOR PLUS ENERGY SERVICES, INC.
401-200 WELLINGTON STREET WEST
TORONTO, ON M5V3C7



LOCATION MAP
SCALE: 1"=1,000'

REFERENCE PLAN:

- "NILLC SUBDIVISION, DERRY ROAD-RTE. 102 & ROBINSON ROAD," HUDSON, NH, PREPARED FOR NOIRY INVESTMENTS, LLC., PREPARED BY WAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC., DATED JANUARY 10, 2003; HCRD PLAN 33056
- "NON-RESIDENTIAL SITE PLAN, ROBINSON ROAD SELF STORAGE, MAP 105; LOT 17, ROBINSON ROAD & DERRY ROAD (NH ROUTE 102), HUDSON, NEW HAMPSHIRE," DATED: AUGUST 2010, WITH REVISIONS THROUGH 01/03/11, PREPARED BY: KEACH-NORDSTROM ASSOCIATES, INC. (22 SHEETS).

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND. THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND OPERATOR (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.

ZONING NOTE

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY KEACH-NORDSTROM ASSOCIATES, INC.. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

MASTER PLAN
INDUSTRIAL COMPLEX

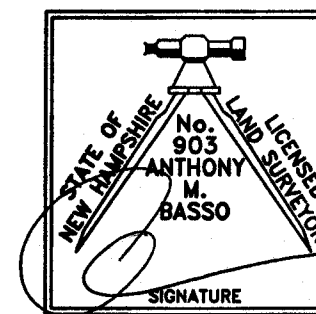
MAP 105; LOT 20
16 BRADY DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
MSE PROPERTIES LLC
20 SENTER FARM ROAD
HUDSON, NH 03051
H.C.R.D. BK. 9827; PG. 487

APPLICANT:
KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076

KMA KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY
1	10-06-2025	REVISION BY TOWN REVIEW	KC

DATE: AUGUST 5, 2025
PROJECT NO: 24-1220-1

SCALE: 1"=30'
SHEET 1 OF 15

LEGEND

- EXISTING CONCRETE BOUND
- EXISTING IRON PIN
- EXISTING DRILL HOLE
- EXISTING DRAIN MANHOLE
- EXISTING SEWER MANHOLE
- EXISTING CATCH BASIN
- EXISTING ROUND CATCH BASIN
- EXISTING SIGN
- EXISTING LAMP POST
- EXISTING UTILITY POLE
- EXISTING WATER VALVE
- EXISTING GAS VALVE
- EXISTING HYDRANT
- EXISTING TREELINE
- EXISTING SOILS BOUNDARY
- EXISTING OVERHEAD UTILITY LINE
- EXISTING GAS LINE
- EXISTING SEWER LINE
- EXISTING DRAINAGE LINE
- EXISTING EDGE OF PAVEMENT
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING WETLAND DELINEATION
- EXISTING EASEMENT
- BUILDING SETBACK

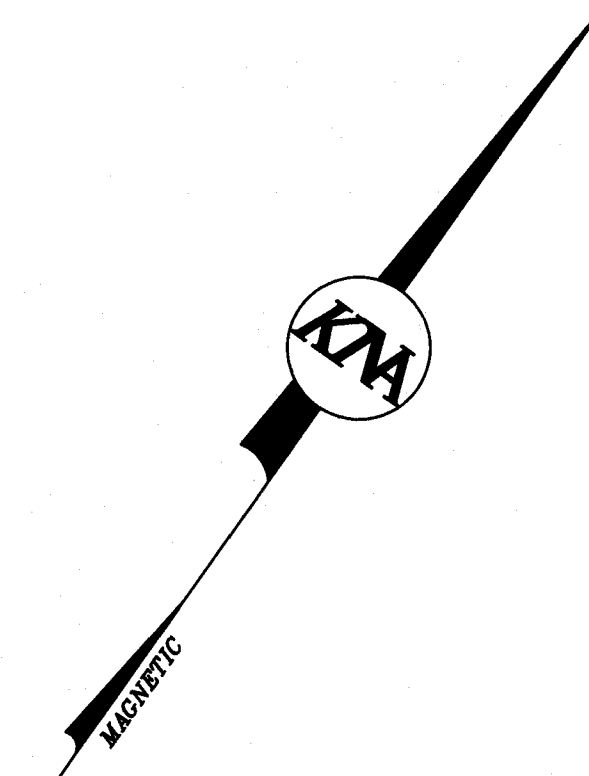
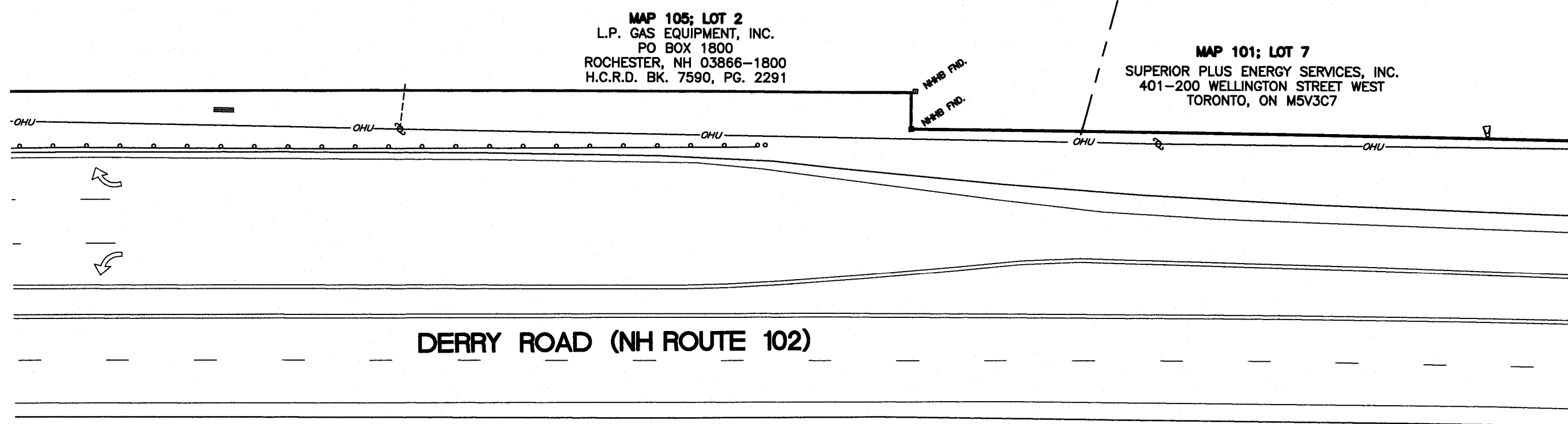


OWNER OF MAP 105 LOT 20

SIGNATURE: _____
DATE: 8/4/25

THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION IN JULY 2008 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE TOWN OF HUDSON, NH WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS AN URBAN STANDARD SURVEY, (CATEGORY 1, CONDITION 1) AS CODIFIED IN THE STATE OF NEW HAMPSHIRE ADMINISTRATIVE RULES.

10/6/25
DATE

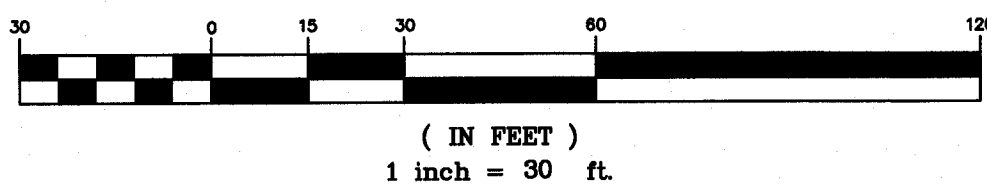


MAP 105; LOT 19
CAFIA REALTY TRUST XVI LLC
280 MERRIMACK STREET
METHUEN, MA 01844
H.C.R.D. BK. 8863, PG. 1022

MAP 105; LOT 18
NOURY INVESTMENTS LLC
17 ELNATHANS WAY
HOLLIS, NH 03049H.C.R.D. BK.
8929, PG. 1216

MAP 105; LOT 17
22 BRADY DRIVE LLC
22 BRADY DRIVE
HUDSON, NH 03051
H.C.R.D. BK. 9545, PG. 2544

GRAPHIC SCALE

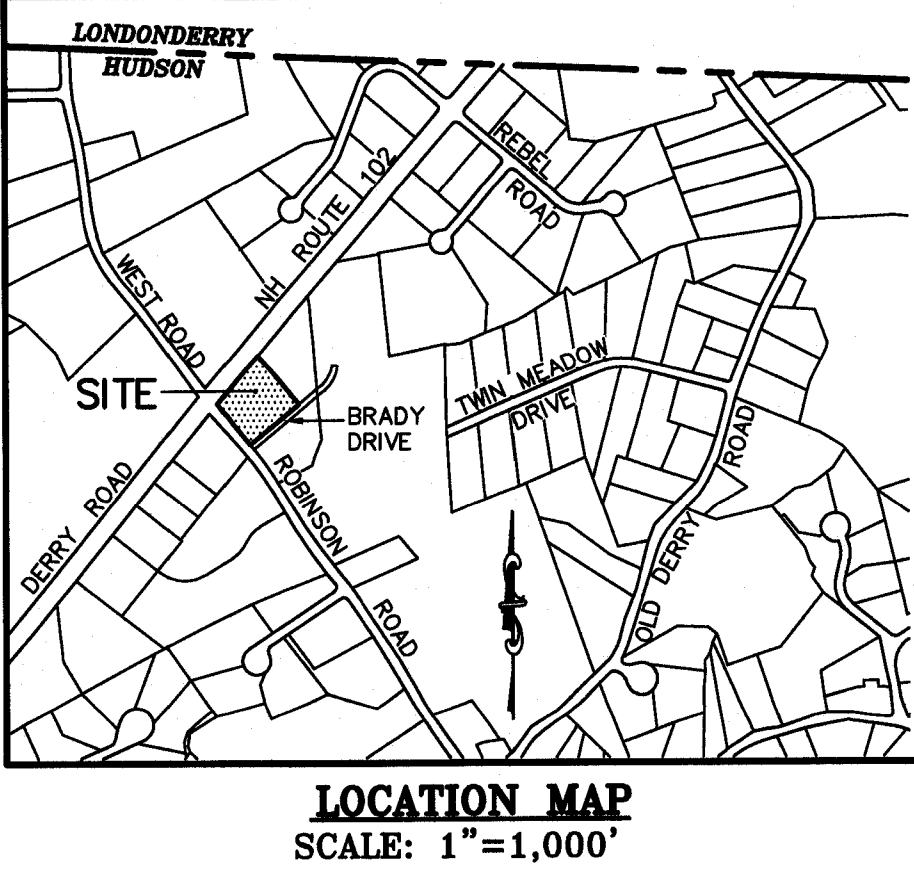
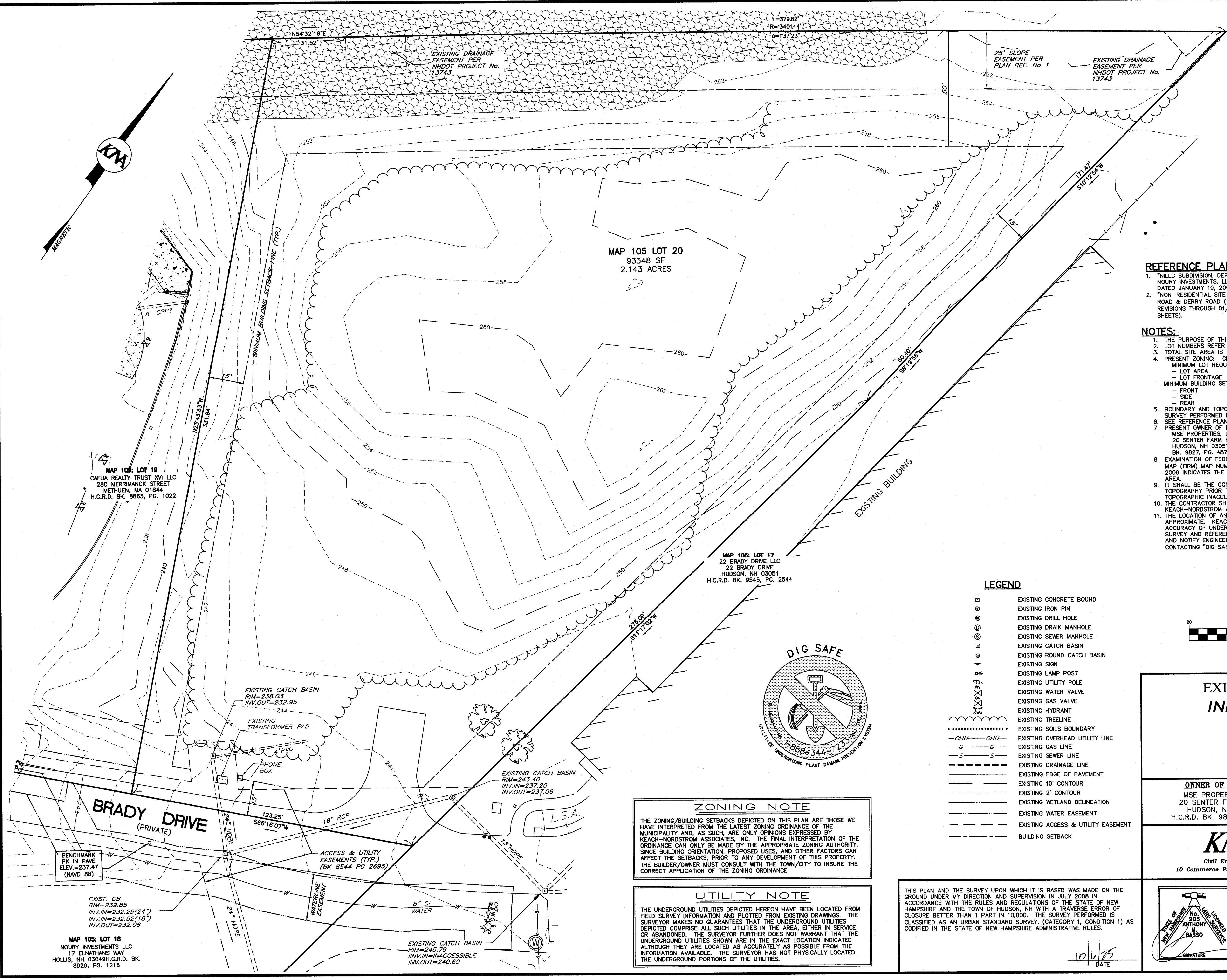


PURSUANT TO THE
SITE REVIEW
REGULATIONS OF
THE HUDSON
PLANNING BOARD,
THE SITE PLAN
APPROVAL
GRANTED HEREIN
EXPIRES TWO
YEARS FROM DATE
OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING:

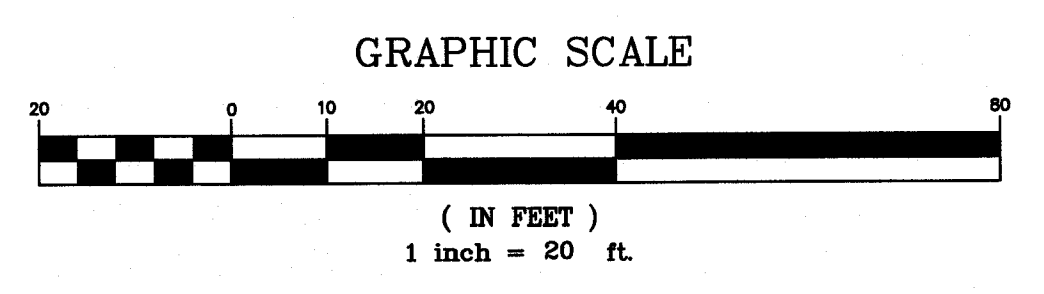
SIGNATURE DATE: _____
SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



- REFERENCE PLAN:**
- "NILLC SUBDIVISION, DERRY ROAD- RTE. 102 & ROBINSON ROAD," HUDSON, NH, PREPARED FOR NOURY INVESTMENTS, LLC., PREPARED BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC., DATED JANUARY 10, 2003. HCRD PLAN 33056
 - "NON-RESIDENTIAL SITE PLAN, ROBINSON ROAD SELF STORAGE, MAP 105; LOT 17, ROBINSON ROAD & DERRY ROAD (NH ROUTE 102), HUDSON, NEW HAMPSHIRE," DATED: AUGUST 2010, WITH REVISIONS THROUGH 01/03/11, PREPARED BY: KEACH-NORDSTROM ASSOCIATES, INC. (22 SHEETS).
- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING FEATURES ON MAP 105; LOT 20.
 - LOT NUMBERS REFER TO THE TOWN OF HUDSON ASSESSORS MAP 105; LOT 20.
 - TOTAL SITE AREA IS 93,348 SF, OR 2.143 ACRES.
 - PRESENT ZONING: GENERAL ONE (G-1)
MINIMUM LOT REQUIREMENTS:
 - LOT AREA 93,348 SF
 - LOT FRONTAGE 200 FTMINIMUM BUILDING SETBACK REQUIREMENTS:
 - FRONT 50 FT (ARTERIAL & COLLECTOR ROADWAYS)
 - SIDE 15 FT
 - REAR 15 FT
 - BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE IN JANUARY 2025.
 - SEE REFERENCE PLAN #2 FOR WETLAND DELINEATION AND SITE SPECIFIC SOILS INFORMATION.
 - PRESENT OWNER OF RECORD:
MSE PROPERTIES, LLC
20 SENTER FARM ROAD
HUDSON, NH 03051
BK. 9827, PG. 487
 - EXAMINATION OF FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 33011C0508D, PANEL 508 OF 701, EFFECTIVE DATE SEPTEMBER 25, 2009 INDICATES THE SUBJECT PREMISES IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
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- LEGEND**
- EXISTING CONCRETE BOUND
 - EXISTING IRON PIN
 - EXISTING DRILL HOLE
 - EXISTING DRAIN MANHOLE
 - EXISTING SEWER MANHOLE
 - EXISTING CATCH BASIN
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 - EXISTING GAS LINE
 - EXISTING SEWER LINE
 - EXISTING DRAINAGE LINE
 - EXISTING EDGE OF PAVEMENT
 - EXISTING 10' CONTOUR
 - EXISTING 2' CONTOUR
 - EXISTING WETLAND DELINEATION
 - EXISTING WATER EASEMENT
 - EXISTING ACCESS & UTILITY EASEMENT
 - BUILDING SETBACK



ZONING NOTE

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY KEACH-NORDSTROM ASSOCIATES, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

UTILITY NOTE

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THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION IN JULY 2008 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE TOWN OF HUDSON, NH WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000. THE SURVEY PERFORMED IS CLASSIFIED AS AN URBAN STANDARD SURVEY, (CATEGORY 1, CONDITION 1) AS CODIFIED IN THE STATE OF NEW HAMPSHIRE ADMINISTRATIVE RULES.

10/6/25
DATE

EXISTING CONDITIONS PLAN
INDUSTRIAL COMPLEX
MAP 105; LOT 20
16 BRADY DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
MSE PROPERTIES LLC
20 SENTER FARM ROAD
HUDSON, NH 03051
H.C.R.D. BK. 9827; PG. 487

APPLICANT:
KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076

KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

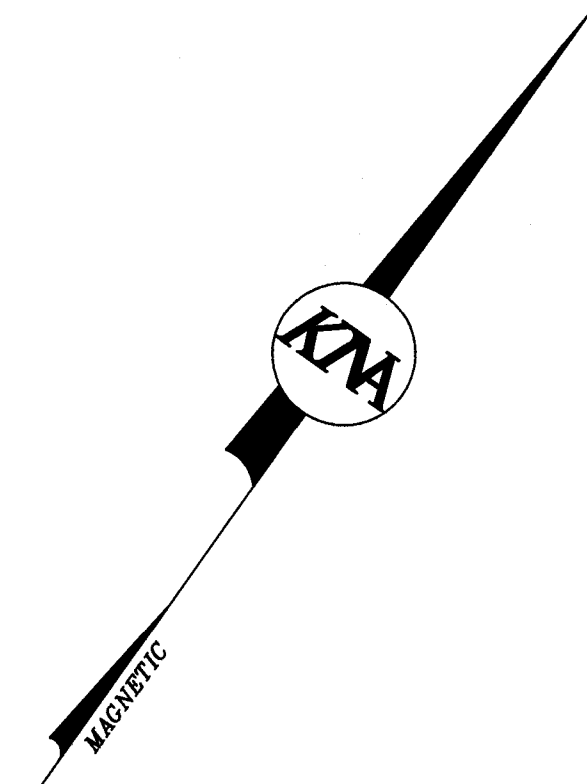
REVISIONS			
No.	DATE	DESCRIPTION	BY
1	10-06-2025	REVISION BY TOWN REVIEW	KC

DATE: AUGUST 5, 2025

SCALE: 1"=20'

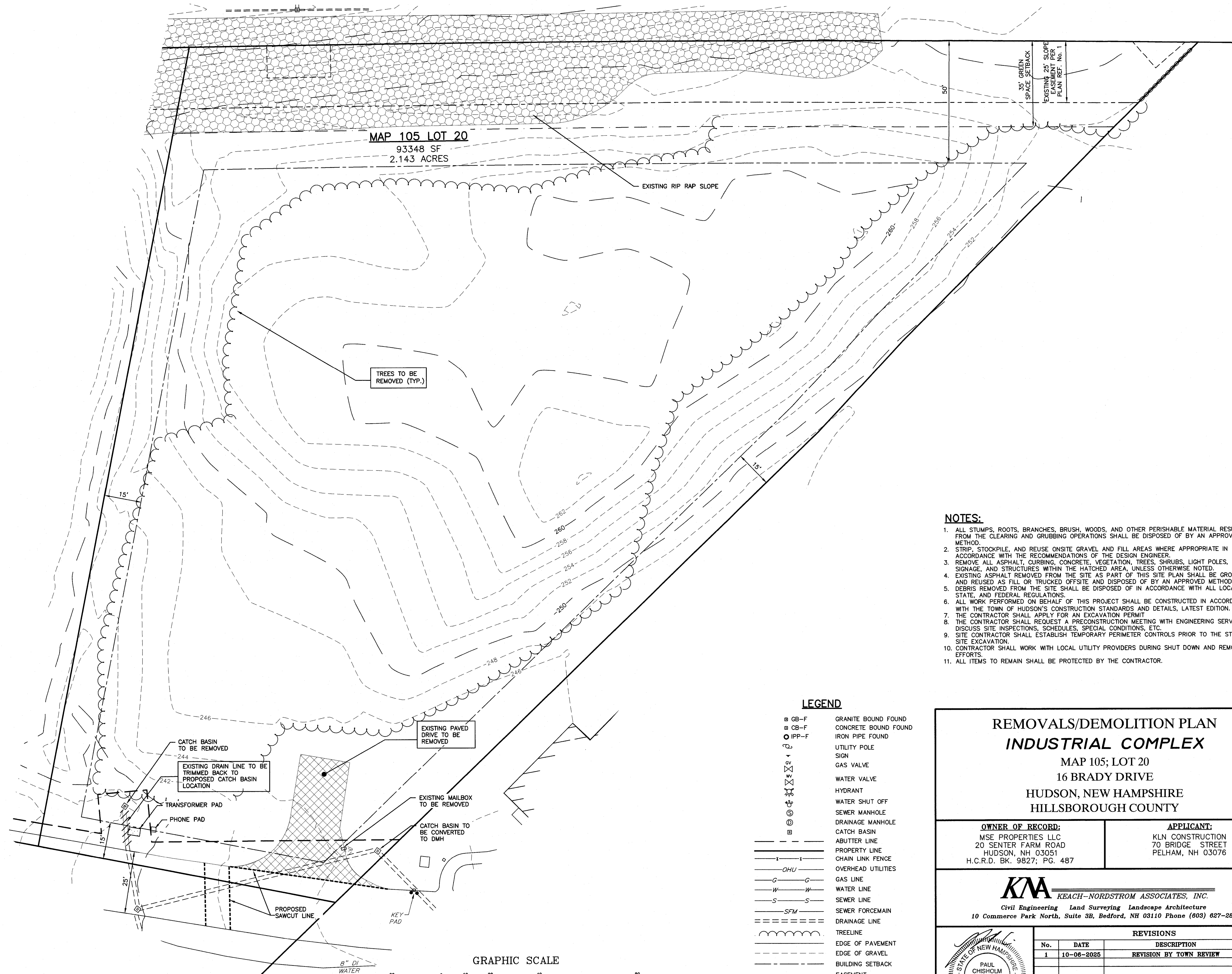
PROJECT NO: 24-1220-1

SHEET 2 OF 15



UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN DRAWN FROM FIELD SURVEY INFORMATION AND OR PLOTTED FROM EXISTING DRAWINGS. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, KEACH-NORDSTROM ASSOCIATES, INC. DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. KEACH-NORDSTROM ASSOCIATES, INC. HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.



LEGEND

GB-F	GRANITE BOUND FOUND
CB-F	CONCRETE BOUND FOUND
IPP-F	IRON PIPE FOUND
U	UTILITY POLE
S	SIGN
G	GAS VALVE
W	WATER VALVE
H	HYDRANT
W	WATER SHUT OFF
S	SEWER MANHOLE
D	DRAINAGE MANHOLE
C	CATCH BASIN
A	ABUTTER LINE
P	PROPERTY LINE
F	CHAIN LINK FENCE
O	OVERHEAD UTILITIES
G	GAS LINE
W	WATER LINE
S	SEWER LINE
SFM	SEWER FORCEMAIN
D	DRAINAGE LINE
T	TREELINE
E	EDGE OF PAVEMENT
G	EDGE OF GRAVEL
B	BUILDING SETBACK
E	EASEMENT
S	SAWCUT LINE
P	PAVEMENT OR GRAVEL TO BE REMOVED

NOTES:

- ALL STUMPS, ROOTS, BRANCHES, BRUSH, WOODS, AND OTHER PERISHABLE MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATIONS SHALL BE DISPOSED OF BY AN APPROVED METHOD.
- STRIP, STOCKPILE, AND REUSE ONSITE GRAVEL AND FILL AREAS WHERE APPROPRIATE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE DESIGN ENGINEER.
- REMOVE ALL ASPHALT, CURBING, CONCRETE, VEGETATION, TREES, SHRUBS, LIGHT POLES, SIGNAGE, AND STRUCTURES WITHIN THE HATCHED AREA, UNLESS OTHERWISE NOTED.
- EXISTING ASPHALT REMOVED FROM THE SITE AS PART OF THIS SITE PLAN SHALL BE GROUND AND REUSED AS FILL OR TRUCKED OFFSITE AND DISPOSED OF BY AN APPROVED METHOD.
- DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- ALL WORK PERFORMED ON BEHALF OF THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF HUDSON'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
- THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT.
- THE CONTRACTOR SHALL REQUEST A PRECONSTRUCTION MEETING WITH ENGINEERING SERVICES TO DISCUSS SITE INSPECTIONS, SCHEDULES, SPECIAL CONDITIONS, ETC.
- SITE CONTRACTOR SHALL ESTABLISH TEMPORARY PERIMETER CONTROLS PRIOR TO THE START OF SITE EXCAVATION.
- CONTRACTOR SHALL WORK WITH LOCAL UTILITY PROVIDERS DURING SHUT DOWN AND REMOVAL EFFORTS.
- ALL ITEMS TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR.

REMOVALS/DEMOLITION PLAN

INDUSTRIAL COMPLEX

MAP 105; LOT 20

16 BRADY DRIVE

HUDSON, NEW HAMPSHIRE

HILLSBOROUGH COUNTY

OWNER OF RECORD:

MSE PROPERTIES LLC
20 SENTER FARM ROAD
HUDSON, NH 03051
H.C.R.D. BK. 9827; PG. 487

APPLICANT:

KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076



KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

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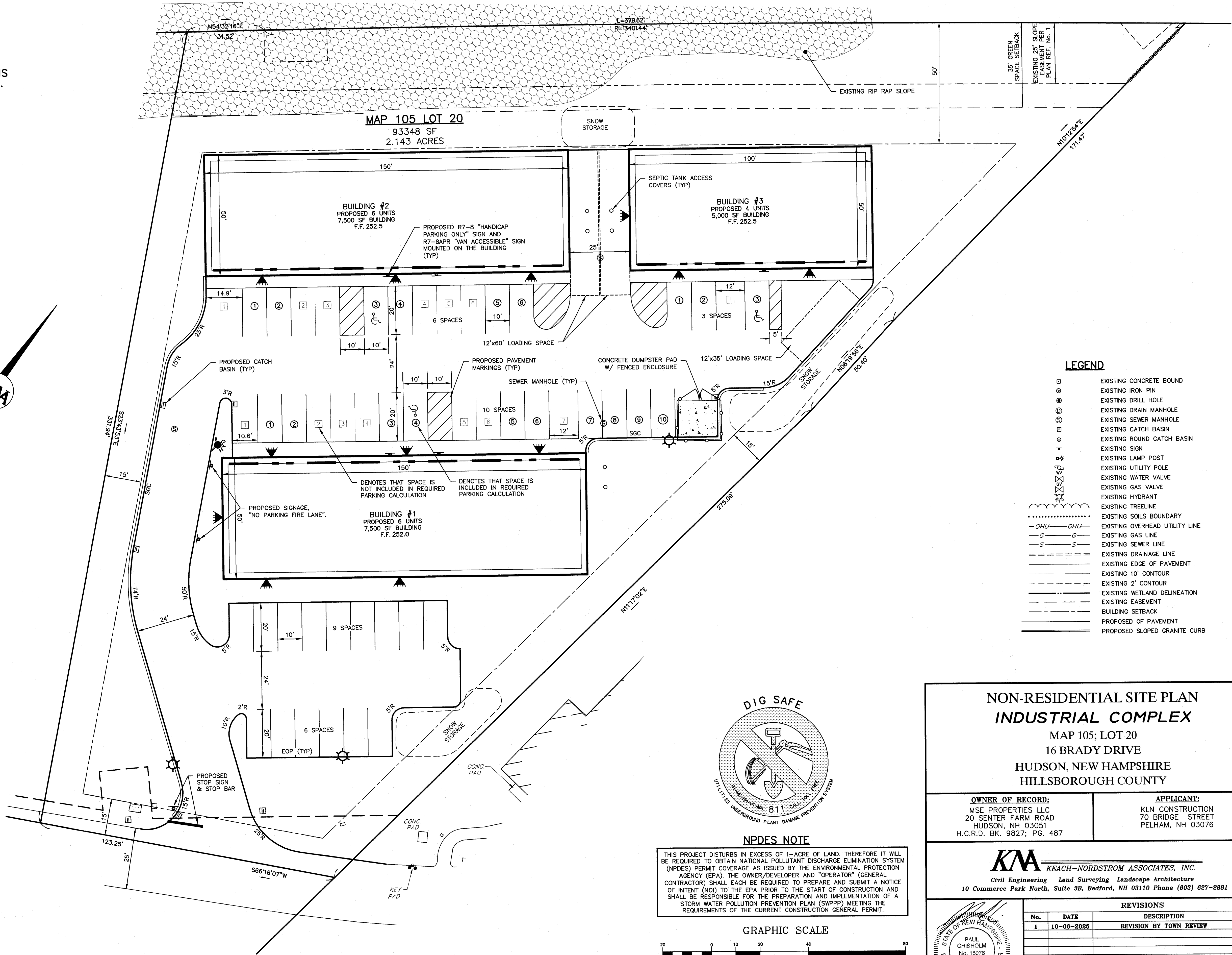
SCALE: 1"=20'

PROJECT NO: 24-1220-1

SHEET 3 OF 15

NOTES:

SEE THE MASTER PLAN – SHEET 1 OF THIS FIFTEEN SHEET SET FOR SITE PLAN NOTES.



NON-RESIDENTIAL SITE PLAN
INDUSTRIAL COMPLEX
MAP 105; LOT 20
16 BRADY DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
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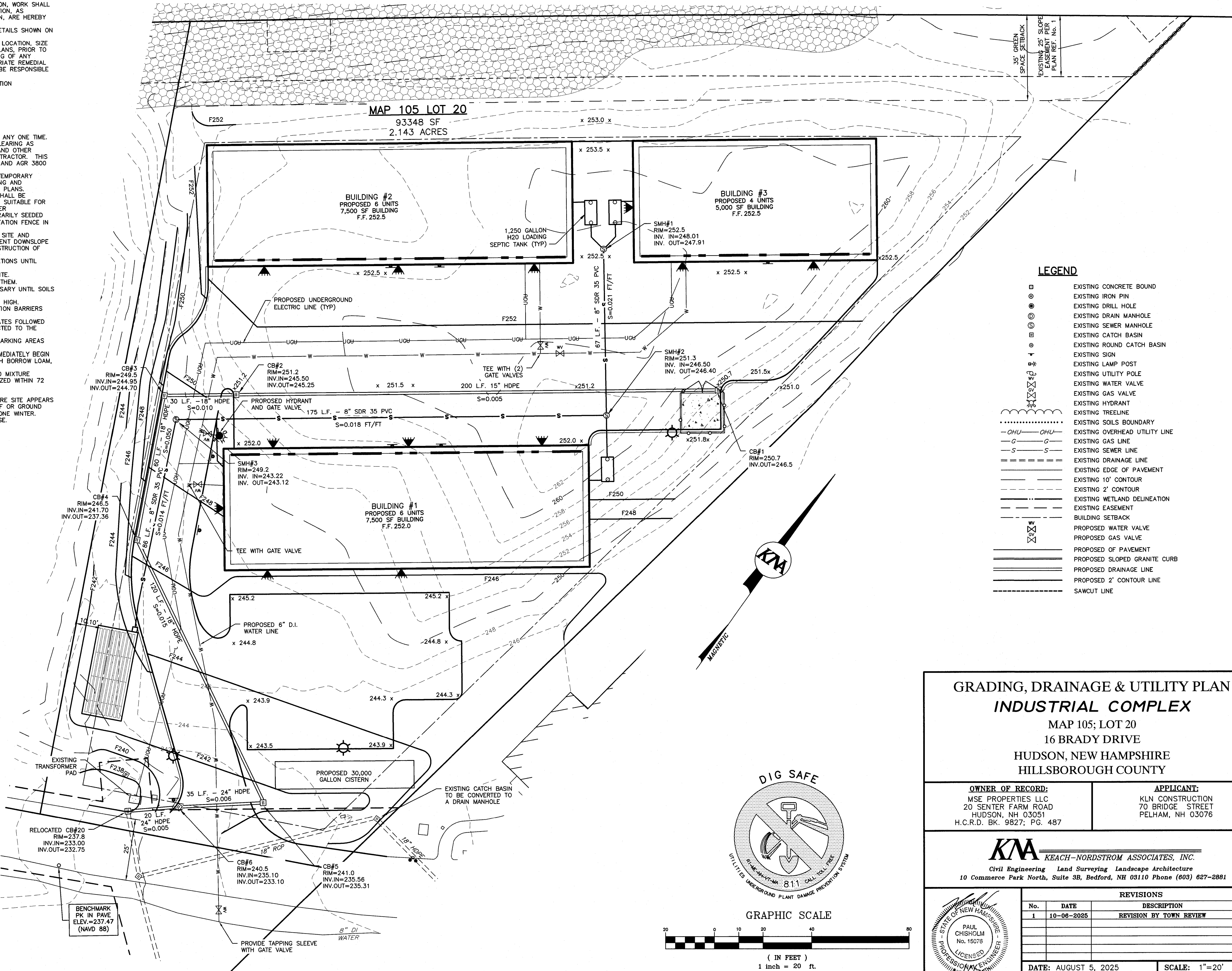
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PROJECT NO: 24-1220-1		SHEET 4 OF 15	

CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE TOWN OF NASHUA, LATEST EDITION, CONSTRUCTION STANDARDS AND DETAILS. IN THE ABSENCE OF A TOWN STANDARD/SPECIFICATION, WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS PUBLISHED BY THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, ARE HEREBY INCORPORATED BY REFERENCE.
2. PARKING LOT CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
4. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
5. ALL DISTURBED AREAS SHALL RECEIVE 6" LOAM AND SHALL BE SEEDED.
6. SEE SEPTIC DESIGN PLANS FOR PROPOSED SEWER INFORMATION.

CONSTRUCTION SEQUENCE:

1. THE CONTRACTOR WILL ENSURE THAT NO MORE THAN 5 ACRES IS DISTURBED AT ANY ONE TIME.
2. FIRST CUT AND CLEAR TREES AND BRUSH ONLY WITHIN DESIGNATED LIMITS OF CLEARING AS NECESSARY TO FACILITATE PROPOSED CONSTRUCTION. ALL TREES, BRANCHES AND OTHER VEGETATIVE MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR. THIS PROJECT IS MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
3. PRIOR TO COMMENCEMENT OF ANY EARTHMOVING OPERATIONS, ALL APPLICABLE TEMPORARY EROSION CONTROL MEASURES, INCLUDING SPECIFIED PERIMETER SILTATION FENCING AND STABILIZED CONSTRUCTION EXIT SHALL BE IN PLACE AS SHOWN ON THE PROJECT PLANS.
4. COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR ORGANIC DEBRIS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR. NATIVE ORGANIC SOIL MATERIALS SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED WITHIN AREAS OUT OF THE WAY OF OTHER CONSTRUCTIONS ACTIVITIES AND DRAINAGE FLOW. STOCKPILES SHALL BE TEMPORARILY SEEDED WITH WINTER RYE AND BE SURROUNDED WITH STRAW BALES AND/OR FABRIC SILTATION FENCE IN ORDER TO PREVENT LOSS DUE TO EROSION.
5. BEGIN EARTHMOVING OPERATIONS, COMMENCING WITH WORK NEEDED TO BALANCE SITE AND FACILITATE BUILDING FOUNDATION AND RETAINING WALL CONSTRUCTION. PERMANENT DOWNSLOPE WORK SHALL BE PROTECTED FROM UPGRADIENT STORMWATER FLOW BY THE CONSTRUCTION OF TEMPORARY EARTHEN DIKES OR EXCAVATED SWALES.
6. ONCE BUILDING FOUNDATION WORK IS UNDERWAY, CONTINUE EARTHMOVING OPERATIONS UNTIL DESIGN SUBGRADE IS ACHIEVED.
7. DETENTION BASINS/SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
8. DITCHES/SWALES/BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
9. TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC.) MUST BE USED AS NECESSARY UNTIL SOILS ARE STABILIZED.
10. INSTALL DRAINAGE SWALE SYSTEMS AND OTHER UTILITIES WORKING FROM LOW TO HIGH. INCOMPLETE WORK SHALL BE PROTECTED FROM SILTATION BY THE USE OF SILTATION BARRIERS AROUND SWALES UNTIL THE SITE HAS BECOME FULLY STABILIZED.
11. DEEPLY TILL THE BASE OF THE INFILTRATION BASIN TO RESTORE INFILTRATION RATES FOLLOWED BY A PASS WITH A LEVELING DRAG. STORMWATER FLOWS ARE NOT TO BE DIRECTED TO THE INFILTRATION AREA UNTIL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
12. PLACE GRAVEL AND CRUSHED GRAVEL OVER PROPOSED DRIVEWAY, WALKS AND PARKING AREAS AND COMPACT IN SPECIFIED LIFT THICKNESS.
13. COMPLETE EXCAVATION/STABILIZATION GRADING ACTIVITIES. WHEN COMPLETE, IMMEDIATELY BEGIN TOPSOILING PROPOSED TURF AREAS USING STOCKPILED LOAM SUPPLEMENTED WITH BORROW LOAM, IF NECESSARY, TO LEAVE A THICKNESS OF 4 INCHES OF FRIABLE LOAM.
14. FINE GRADE ALL FUTURE TURF AREAS AND HYDROSEED WITH THE SPECIFIED SEED MIXTURE IMMEDIATELY AFTER FINE GRADING IS COMPLETED. ALL AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
15. INSTALL THE BINDER COURSE OF PAVEMENT OVER ALL DESIGNATED AREAS.
16. CONTINUE TO MONITOR AND RECTIFY MINOR SITE AND SLOPE EROSION UNTIL ENTIRE SITE APPEARS TO BE COMPLETELY STABILIZED AND VEGETATED WITH A HEALTHY STAND OF TURF OR GROUND COVER. MAINTAIN SPECIFIED SILTATION/EROSION CONTROL MEASURES THROUGH ONE WINTER.
17. INSTALL THE SPECIFIED WEARING COURSE OF PAVEMENT OVER THE BINDER COURSE.
18. COMPLETE INSTALLATION OF LANDSCAPING, SIGNAGE AND OTHER SITE AMENITIES.



NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND. THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.

UTILITY NOTE

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GRADING, DRAINAGE & UTILITY PLAN
INDUSTRIAL COMPLEX

MAP 105; LOT 20
16 BRADY DRIVE

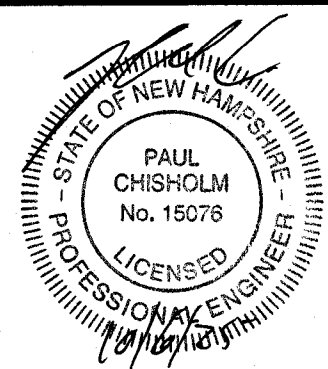
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
MSE PROPERTIES LLC
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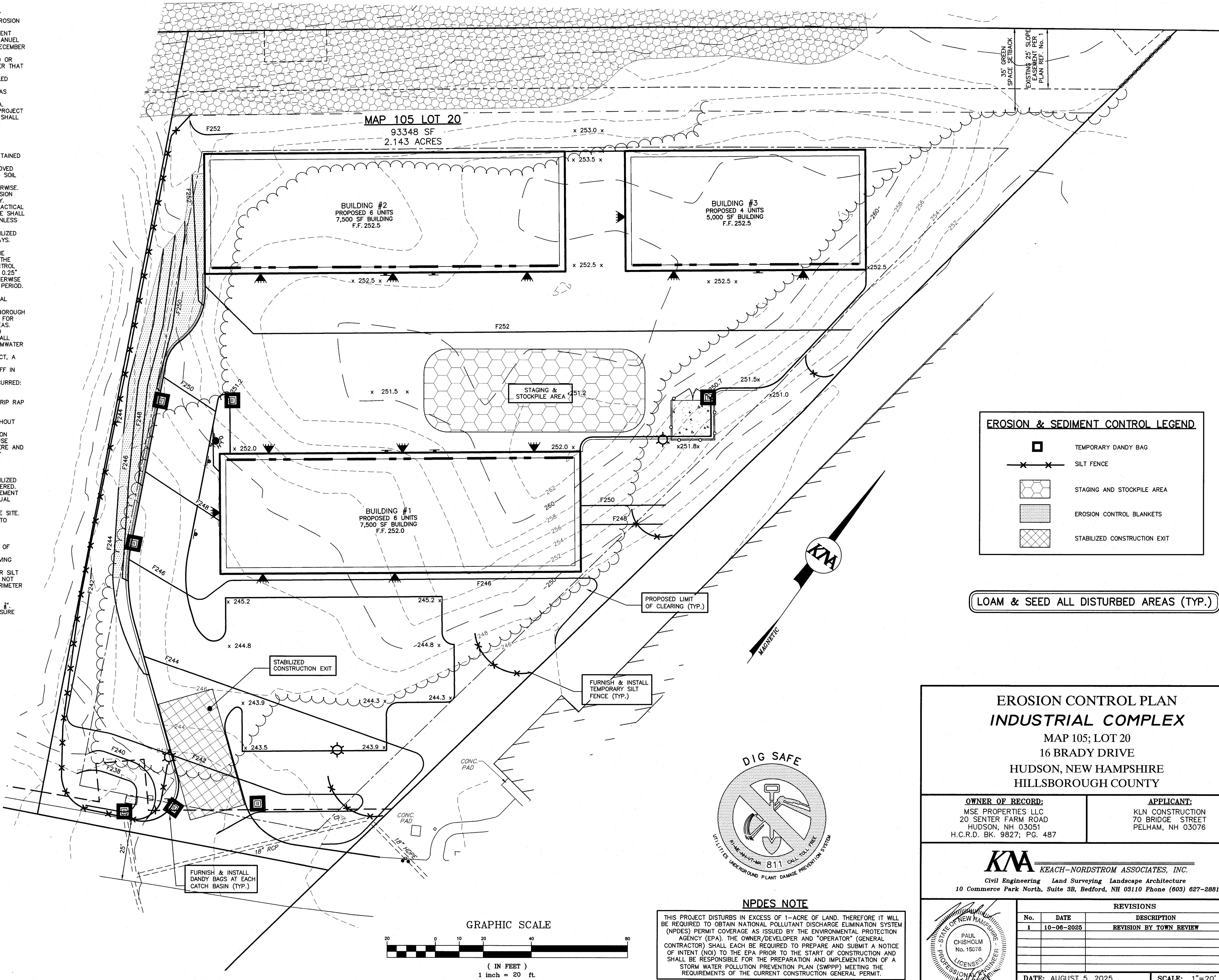
DATE: AUGUST 5, 2025	SCALE: 1"=20'
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EROSION CONTROL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES AS WELL AS THE PERMANENT EROSION CONTROL MEASURES.
2. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME.
3. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
4. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
5. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
6. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
7. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
10. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
11. EXPOSED EARTHWORK SHALL BE CONFINED TO AS LIMITED AN AREA AS IS PRACTICAL AT ANY GIVEN TIME THROUGHOUT THE CONSTRUCTION SEQUENCE. AT NO TIME SHALL MORE THAN FIVE (5) ACRES OF SITE AREA BE IN AN UNSTABLE CONDITION UNLESS AN ENVIRONMENTAL MONITOR IS EMPLOYED THROUGH THE DURATION OF CONSTRUCTION. NO GIVEN AREA OF THE SITE SHALL BE LEFT IN AN UNSTABILIZED CONDITION FOR A PERIOD OF TIME EXCEEDING FORTY-FIVE (45) CALENDAR DAYS.
12. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS. IN ADDITION, SIMILAR MEASURES SHALL BE INSTALLED WHERE AND WHEN THE FIELD CONDITION, OR FIELD OPERATION OF THE INDIVIDUAL SITE CONTRACTOR, MAY WARRANT. ALL TEMPORARY EROSION CONTROL MEASURES USED SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25" OF RAINFALL OR MORE. THEY SHALL BE CLEANED AND MAINTAINED AND OTHERWISE KEPT IN AN EFFECTIVE OPERATING MANNER THROUGHOUT THE CONSTRUCTION PERIOD.
13. ALL DISTURBED AREAS DESIGNATED TO BE TURF, SHALL RECEIVE A MINIMUM APPLICATION OF 4 INCHES OF LOAM (COMPACTED THICKNESS), PRIOR TO FINAL SEEDING AND MULCHING.
14. EROSION CONTROL AND STABILIZATION SHALL BE IN ACCORDANCE WITH HILLSBOROUGH COUNTY CONSERVATION DISTRICT-VEGETATIVE STANDARD AND SPECIFICATIONS FOR SEEDING GRASSES AND LEGUMES FOR LONG-TERM COVER ON EXCAVATED AREAS.
15. ALL SWALES AND DITCHLINES SHALL BE PERIODICALLY CLEANED OF DEPOSITED SEDIMENT SO AS TO MAINTAIN AN EFFECTIVE GRADE AND CROSS SECTION. ALL SWALES AND DITCHLINES SHALL BE FULLY STABILIZED PRIOR TO HAVING STORMWATER DIRECTED TOWARDS THEM.
16. IN THE EVENT THAT, DURING CONSTRUCTION OF ANY PORTION OF THIS PROJECT, A WINTER SHUTDOWN IS NECESSARY, THE CONTRACTOR SHALL STABILIZE ALL INCOMPLETE WORK AND PROVIDE FOR SUITABLE METHODS OF DIVERTING RUNOFF IN ORDER TO ELIMINATE SHEET FLOW ACROSS FROZEN SURFACES.
17. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
18. DUST SHALL BE CONTROLLED BY THE USE OF WATER AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD, IN ACCORDANCE WITH ENV-A 1000.
19. IN NO WAY ARE THE TEMPORARY EROSION CONTROL MEASURES INDICATED ON THESE PLANS TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT IN INSTALLING SUPPLEMENTARY EROSION CONTROL MEASURES WHERE AND WHEN SPECIFIC SITE CONDITIONS AND/OR CONSTRUCTION METHODOLOGIES MAY WARRANT.
20. THE TOWN RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION.
21. AREAS HAVING FINISH GRADE SLOPES OF 3 : 1 OR STEEPER, SHALL BE STABILIZED WITH JUTE MATTING WHEN AND IF FIELD CONDITIONS WARRANT, OR IF SO ORDERED, JUTE MATTING INSTALLED TO CONFORM WITH THE RECOMMENDED BEST MANAGEMENT PRACTICE OUTLINED IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION."
22. DETENTION BASINS/SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
23. DITCHES/SWALES/BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
24. TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC.) MUST BE USED AS NECESSARY UNTIL SOILS ARE STABILIZED.
25. ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
26. ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
27. ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, EXCEPT FOR SILT FENCE INSTALLED IN ACCORDANCE WITH ENV-WQ 1506.04, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, INLET PROTECTION, CHECK DAMS, AND SEDIMENT TRAPS SHALL NOT CONTAIN WELDED PLASTIC, PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1". TURF REINFORCEMENT MATS SHALL BE COVERED WITH SOIL TO PREVENT EXPOSURE OF THE MATS TO THE SURFACE.

WINTER CONSTRUCTION NOTES:

1. ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3 OR, IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON, BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.
4. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.



LANDSCAPE NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE LANDSCAPE WHICH PROVIDES CLIMATIC RELIEF AND AESTHETIC APPEAL.
2. ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOW HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTIES TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
3. IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWED; ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% PEATMOSS AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
4. PLANTING BEDS AND SAUCERS SHALL RECEIVE A 4" MINIMUM THICKNESS OF PINE/HEMLOCK BARK MULCH OVER A 6oz. POLYPROPYLENE WEED CONTROL FABRIC.
5. PAVEMENT AND ROAD BASE MATERIAL ENCOUNTERED IN ANY LAWN OR PLANTING BED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AND SUITABLE AMENDED SOIL INSTALLED AS SPECIFIED IN THE TURF ESTABLISHMENT SCHEDULE.
6. THIS PLAN FOLLOWS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND ARG 3800 IN REGARDS TO INVASIVE SPECIES.

TURF ESTABLISHMENT SCHEDULE

PURPOSE:

TO ESTABLISH AND MAINTAIN PERMANENT AND TEMPORARY TURF AREAS, RESTORE GROWTH TO EXISTING TURF AREAS DISTURBED DURING CONSTRUCTION AND CONTROL SOIL EROSION.

PREPARATION AND EXECUTION:

1. RAKE THE SUBGRADE OF ALL AREAS TO BE LOAMED AND SEEDED TO REMOVE RUBBISH, STICKS, ROOTS AND STONES LARGER THAN 1 INCH.
2. PLACE LOAM OVER AREAS TO BE SEEDED AND SPREAD.
3. FINE GRADE SURFACE AND SUPPLEMENT WITH SUITABLE LOAM WHERE NEEDED TO CREATE A UNIFORM SURFACE ACCORDING TO THE FINISH GRADES INDICATED; TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED. NO LOAM SHALL BE SPREAD IF THE SUBGRADE IS EXCESSIVELY WET OR FROZEN.
4. APPLY LIME EVENLY OVER LOAM SURFACE AND THOROUGHLY INCORPORATE LIME INTO THE LOAM BY HEAVY RAKING TO AT LEAST ONE-HALF THE DEPTH OF THE LOAM.
5. APPLY NO PHOSPHATE, SLOW RELEASE FERTILIZER AND MIX WITH THE UPPER 2 INCHES OF LOAM.
6. DETERMINE APPROPRIATE MIXTURE FOR AREA TO BE SEEDED BASED ON EXAMINATION OF PROJECT PLANS. UNIFORMLY SPREAD THE SEED BY BROADCASTING OR HYDROSEEDING. IF BROADCASTING, LIGHTLY RAKE INTO THE PREPARED SURFACE AND ROLL. IF HYDROSEEDING, USE 4 TIMES THE RECOMMENDED RATE OF INOCULANT. AFTER SEED IS SPREAD, WATER THOROUGHLY WITH A FINE SPRAY.
7. SEEDING FOR PERMANENT COVER SHALL OCCUR BETWEEN SEPTEMBER 15 AND OCTOBER 15 AND BETWEEN APRIL 15 AND JUNE 15. SEEDING SHALL NOT BE DONE DURING WINDY WEATHER, WHEN THE GROUND IS FROZEN OR EXCESSIVELY WET OR OTHERWISE UNTILLABLE.
8. WITHIN 24 HOURS AFTER SEEDING OPERATION, UNIFORMLY MULCH THE AREA WITH STRAW. ANCHOR MULCH ON ALL SLOPES EXCEEDING 3 : 1 USING MULCH NETTING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER.
9. PROTECT AND PREVENT AGAINST WASHOUTS, ANY WASHOUTS WHICH OCCUR SHALL BE PROMPTLY REGRADED AND RESEEDED.
10. WHEN IT IS IMPRACTICAL TO ESTABLISH PERMANENT GROWTH ON DISTURBED EARTH BY OCTOBER 15, A TEMPORARY SEED MIXTURE SHALL BE USED. WHEN TEMPORARY SEEDING CANNOT ESTABLISH VISIBLE GROWTH, THE DISTURBED AREA SHALL BE COVERED WITH SIX INCHES OF MULCH FOR THE WINTER.

MAINTENANCE:

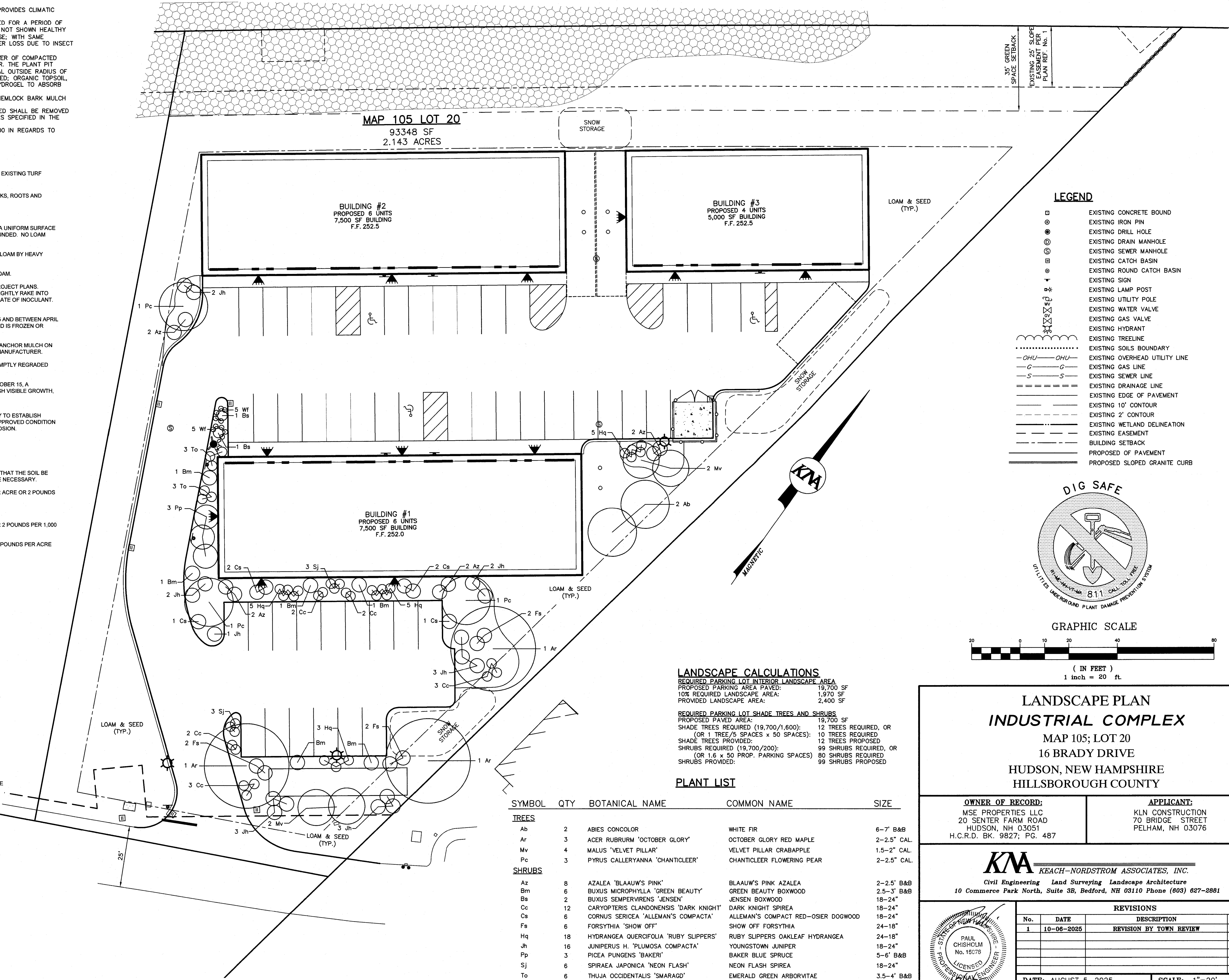
ALL SEEDED AREAS SHALL BE KEPT WATERED AND IN GOOD CONDITION. RESEED AS NECESSARY TO ESTABLISH HEALTHY UNIFORM GROWTH OVER THE ENTIRE SEEDED AREA. MAINTAIN SEEDED AREAS IN AN APPROVED CONDITION UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE REPAIRS FOR DAMAGE CAUSED BY EROSION.

APPLICATION RATES:

1. LOAM SHALL BE APPLIED AT A MINIMUM COMPACTED THICKNESS OF 4 INCHES.
2. LIME SHALL BE APPLIED AT A RATE OF 75 TO 100 POUNDS PER 1,000 S.F.
3. FERTILIZER SHALL BE APPLIED AT A RATE OF 30 POUNDS PER 1,000 S.F. IT IS RECOMMENDED THAT THE SOIL BE TESTED PRIOR TO APPLYING ANY FERTILIZERS TO DETERMINE WHAT LEVELS AND RATES ARE NECESSARY.
4. SEED MIXTURE FOR LAWN AREAS SHALL BE APPLIED AT A RATE OF AT LEAST 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
5. TEMPORARY SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1,000 S.F.
6. SEED MIXTURE FOR SLOPE AREAS SHALL BE APPLIED AT A RATE OF 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
7. SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS SHALL BE APPLIED AT A RATE OF 70 POUNDS PER ACRE OR 1.6 POUNDS PER 1,000 S.F.
8. MULCH SHALL BE APPLIED AT A RATE OF 90 POUNDS PER 1,000 S.F.

MATERIALS:

1. LOAM USED FOR TOPSOIL SHALL BE FRIABLE, FERTILE, NATURAL FREE-DRAINING LOAM, FREE OF ROOTS, GRASS, STICKS, WEEDS, CLAY, SOD LUMPS, DEBRIS AND STONES LARGER THAN 1 INCH IN ANY DIMENSION. SOIL SHALL NOT BE EXCESSIVELY ACID OR ALKALINE AND CONTAIN NO TOXIC MATERIALS.
2. LIME SHALL BE GROUND LIMESTONE CONTAINING NO LESS THAN 95% CALCIUM AND MAGNESIUM CARBONATES.
3. FERTILIZER SHALL BE NO PHOSPHORUS, SLOW RELEASE.
4. SEED MIXTURE FOR LAWN AREAS SHALL BE 99% PURE LIVE SEED AND CONSIST OF THE FOLLOWING:
 - 25% CREEPING RED FESCUE
 - 25% KENTUCKY BLUEGRASS
 - 25% REDTOP
 - 25% MANHATTAN PERENNIAL RYEGRASS
5. TEMPORARY SEEDING MIXTURE SHALL BE AN APPROVED CONSERVATION MIX OR CONSIST OF THE FOLLOWING:
 - 15% BLACKWELL OR SHELTER SWITCHGRASS
 - 30% NIAURA OR KAW BIO BLUESTEM
 - 30% CAMPER OR BLAZE LITTLESTEM
 - 15% NE-27 OR BLAZE SAND LOVEGRASS
 - 10% VIKING BIRDSFOOT TREFOILINOCULUM SPECIFIC TO BIRDSFOOT TREFOIL MUST BE USED WITH THIS MIXTURE. IF SEEDING BY HAND, A STICKING AGENT SHALL BE USED. IF SEEDING WITH A HYDROSEEDER, USE FOUR TIMES THE RECOMMENDED AMOUNT OF INOCULUM.
6. SEED MIXTURE FOR SLOPE AREAS SHALL BE 99% PURE LIVE SEED AND SHALL CONSIST OF THE FOLLOWING:
 - 30% CREEPING RED FESCUE
 - 40% PERENNIAL RYE GRASS
 - 15% REDTOP
 - 15% BIRDSFOOT TREFOIL*IN ADDITION TO THE MIX SPECIFIED ABOVE, CROWN VETCH SHALL BE USED ON ALL SLOPES STEEPER THAN 3 : 1. CROWN VETCH SHALL BE APPLIED AT A RATE OF 10 POUNDS PER ACRE AND INOCULUM SPECIFIC TO CROWN VETCH MUST BE USED.
7. SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS, INCLUDING DETENTION BASINS AND VEGETATED TREATMENT SWALES SHALL CONSIST OF THE FOLLOWING:
 - 25% CREEPING RED FESCUE
 - 15% SWITCH GRASS
 - 15% FOX SEDGE
 - 15% CREEPING BENTGRASS
 - 10% FLATPEA
 - 20% WILDFLOWER VARIETY
8. STRAW USED FOR MULCH SHALL CONSIST OF MOWED AND PROPERLY CURED GRASS OR LEGUME MOWINGS, FREE FROM WEEDS, TWIGS, DEBRIS OR OTHER DELETERIOUS MATERIAL AND ROT OR MOLD.
9. NATIVE PLANTINGS SHOULD BE USED FOR ALL NEW GREENSCAPES.
10. ALL WILDFLOWER SEEDING MIXES SHOULD BE FREE OF INVASIVE SPECIES.



LANDSCAPE CALCULATIONS

REQUIRED PARKING LOT INTERIOR LANDSCAPE AREA
PROPOSED PARKING AREA PAVED: 19,700 SF
10% REQUIRED LANDSCAPE AREA: 1,970 SF
PROVIDED LANDSCAPE AREA: 2,400 SF

REQUIRED PARKING LOT SHADE TREES AND SHRUBS
PROPOSED PAVED AREA: 19,700 SF
SHADE TREES REQUIRED (19,700/1,600): 12 TREES REQUIRED, OR
(OR 1 TREE/5 SPACES x 50 SPACES): 10 TREES REQUIRED
SHADE TREES PROVIDED: 12 TREES PROPOSED
SHRUBS REQUIRED (19,700/200): 99 SHRUBS REQUIRED, OR
(OR 1.6 x 50 PROP. PARKING SPACES) 80 SHRUBS REQUIRED
SHRUBS PROVIDED: 99 SHRUBS PROPOSED

PLANT LIST

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
Ab	2	ABIES CONCOLOR	WHITE FIR	6-7' B&B
Ar	3	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2-2.5' CAL.
Mv	4	MALUS 'VELVET PILLAR'	VELVET PILLAR CRABAPPLE	1.5-2" CAL.
Pc	3	PYRUS CALLERYANNA 'CHANTICLEER'	CHANTICLEER FLOWERING PEAR	2-2.5' CAL.
SHRUBS				
Az	8	AZALEA 'BLAAUW'S PINK'	BLAAUW'S PINK AZALEA	2-2.5' B&B
Bm	6	BUXUS MICROPHYLLA 'GREEN BEAUTY'	GREEN BEAUTY BOXWOOD	2.5-3' B&B
Bs	2	BUXUS SEMPERVIRENS 'JENSEN'	JENSEN BOXWOOD	18-24"
Cc	12	CARYOPTERIS CLANDONENSIS 'DARK KNIGHT'	DARK KNIGHT SPIREA	18-24"
Cs	6	CORNUS SERICEA 'ALLEMAN'S COMPACTA'	ALLEMAN'S COMPACT RED-OSIER DOGWOOD	18-24"
Fs	6	FORSYTHIA 'SHOW OFF'	SHOW OFF FORSYTHIA	24-18"
Hq	18	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS'	RUBY SLIPPERS OAKLEAF HYDRANGEA	24-18"
Jh	16	JUNIPERUS H. 'PLUMOSA COMPACTA'	YOUNGSTOWN JUNIPER	18-24"
Pp	3	PICEA PUNGENS 'BAKER'	BAKER BLUE SPRUCE	5-6' B&B
Sj	6	SPIRAEA JAPONICA 'NEON FLASH'	NEON FLASH SPIREA	18-24"
To	6	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	3.5-4' B&B
Wf	10	WEIGELA FLORIDA 'MY MONET'	MY MONET WEIGELA	18-24"

LANDSCAPE PLAN

INDUSTRIAL COMPLEX

MAP 105; LOT 20

16 BRADY DRIVE

HUDSON, NEW HAMPSHIRE

HILLSBOROUGH COUNTY

OWNER OF RECORD:

MSE PROPERTIES LLC
20 SENTER FARM ROAD
HUDSON, NH 03051
H.C.R.D. BK. 9827; PG. 487

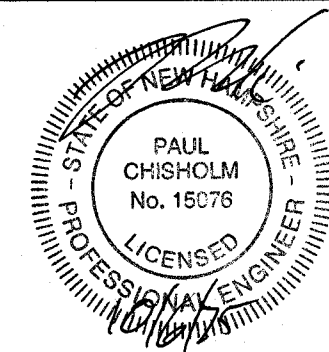
APPLICANT:

KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076

KMA

KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS

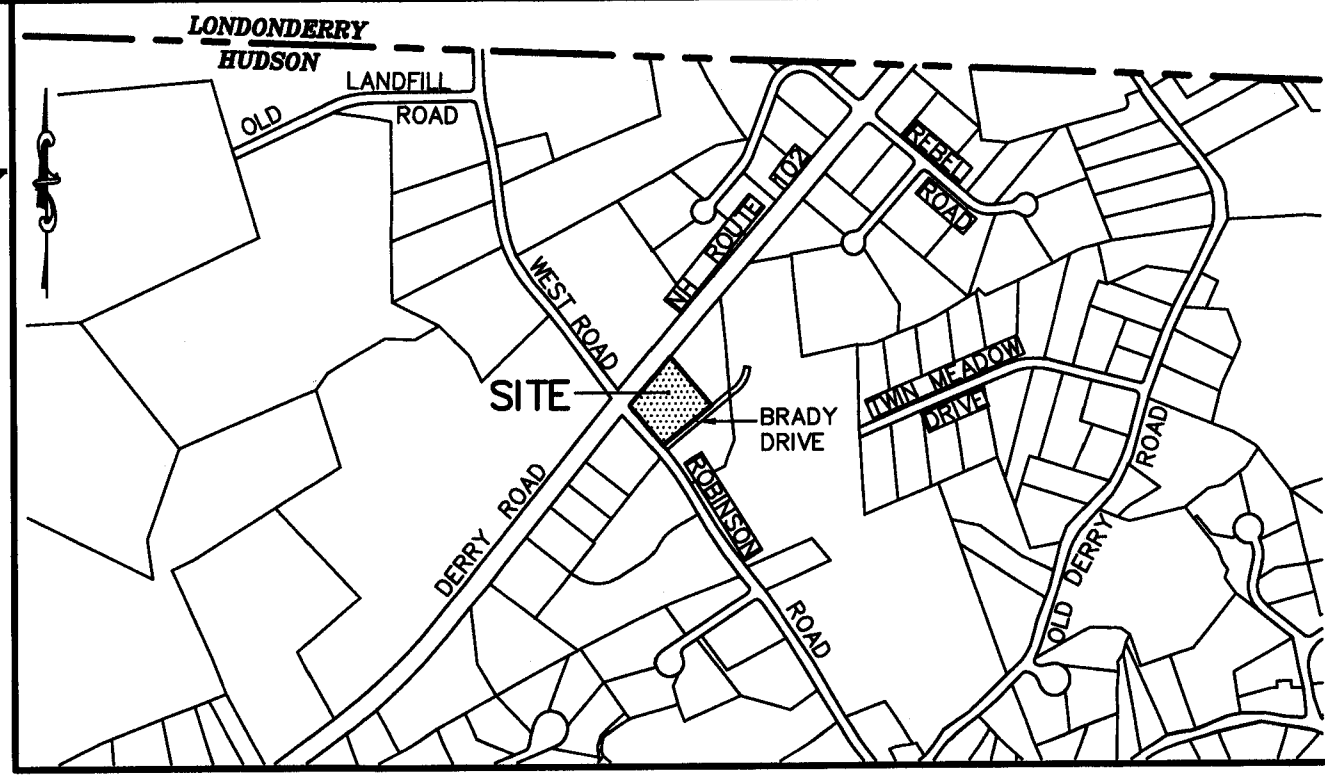
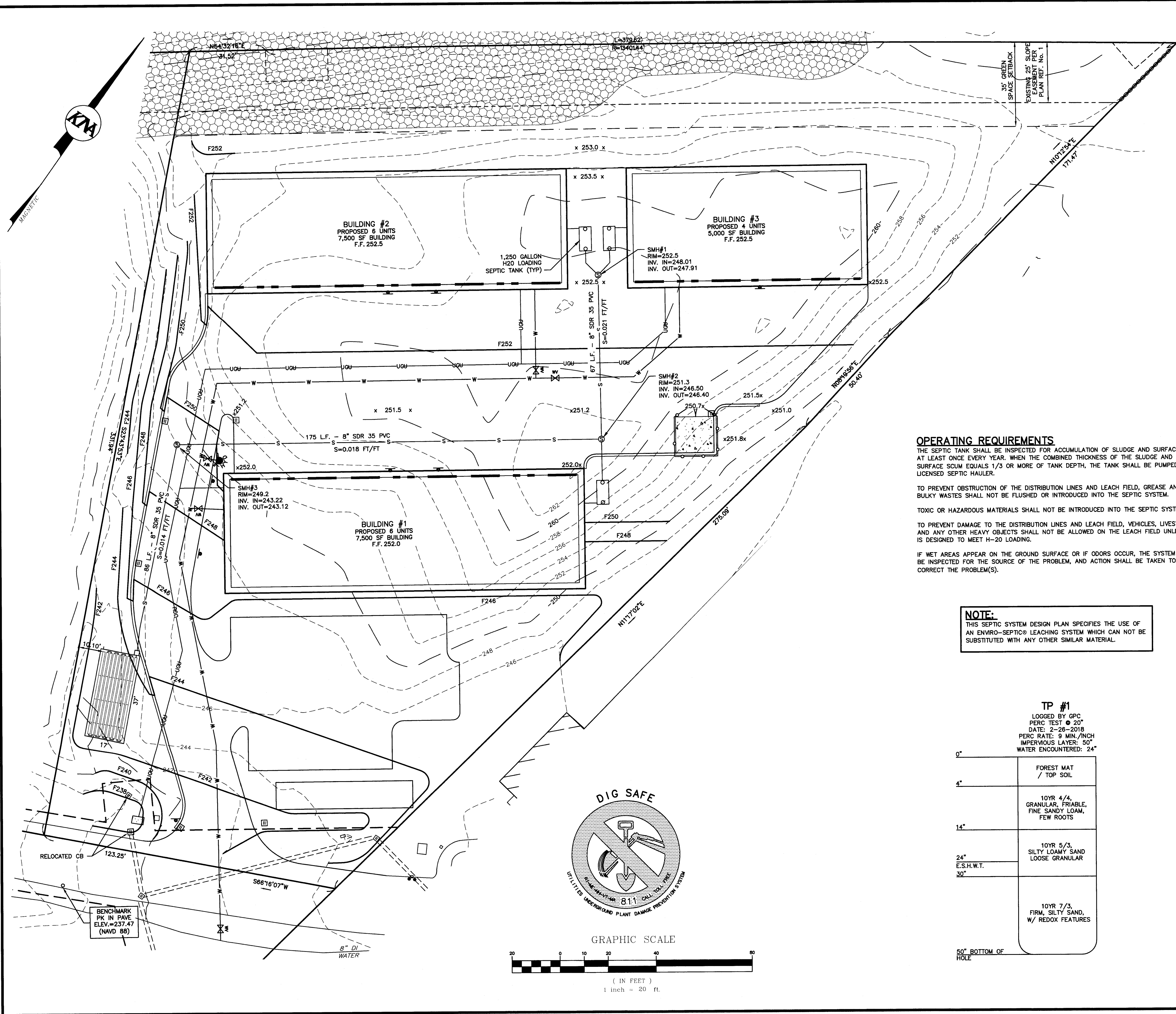
No.	DATE	DESCRIPTION	BY
1	10-06-2025	REVISION BY TOWN REVIEW	KC

DATE: AUGUST 5, 2025

SCALE: 1"=20'

PROJECT NO: 24-1220-1

SHEET 7 OF 15



LOCATION MAP
SCALE: 1"=1,000'

- GENERAL NOTES:**
- REFERENCE THIS PARCEL AS HOOKSETT MAP 49 LOT 58-44.
 - TOTAL AREA OF PARCEL IS 27,600 S.F.
 - LOT IS TO BE SERVED BY ON-SITE SUBSURFACE SEWAGE DISPOSAL SYSTEM AND MUNICIPAL WATER.
 - ALL THE CONNECTIONS BETWEEN A SEPTIC TANK AND THE PIPES LEADING TO AND EXITING FROM THE SEPTIC TANK SHALL BE SEALED WITH A WATERTIGHT, FLEXIBLE JOINT CONNECTOR.
 - NO WATER WELLS OR OPEN WATER WAYS WITHIN 100 FEET OF THE PROPOSED SEPTIC SYSTEM. NO POORLY DRAINED SOILS WITHIN 50 FEET OF PROPOSED SYSTEM. NO VERY POORLY DRAINED SOILS WITHIN 75- FEET OF PROPOSED SYSTEM.
 - REPLACEMENT OF SYSTEM TO BE DONE IN KIND WHEN AND/OR IF NEEDED.
 - SOIL MAPPING TAKEN FROM THE LATEST PUBLICATION OF THE U.S.D.A.-S.C.S. SOIL SURVEY; SUGGESTS THE SUBJECT PARCEL CONSISTS OF THE FOLLOWING MAPPING UNITS.
43C - CANTON FINE SANDY LOAM; 8 TO 15% SLOPES
 - SYSTEM IS NOT DESIGNED FOR THE DISPOSAL OF HAZARDOUS WASTE OR DISCHARGE FROM A WATER CONDITIONING SYSTEM.
 - THERE IS NOT A BURIAL SITE OR CEMETERY WITHIN 100' OF ANY COMPONENT OF THE ISDS

DESIGN CRITERIA
PROPOSED USE: COMMERCIAL @ 600 GPD-UNDER 60 EMPLOYEES
AT 10 GPD
PERCOLATION RATE: 8 MIN/INCH @ TP#1
REQUIRED LEACHING AREA USING ENVIRO-SEPTIC PIPE
330 L.F. OF ENVIRO-SEPTIC PIPE
(PER ENVIRO-SEPTIC DESIGN MANUAL)
LEACHING AREA PROVIDED
350 L.F. ENVIRO-SEPTIC PIPE
10 ROWS @ 35 L.F. EACH
SEPTIC TANK CAPACITY REQUIRED
LIQUID CAPACITY AS PER ENV-WQ ENV-Wq 1010.02, FLOWS FROM 300 TO 600 GPD, REQUIRED CAPACITY IS 1,250 GALLONS
SEPTIC TANK CAPACITY PROVIDED
3-1,250 GALLON PRECAST CONCRETE SEPTIC TANK;
PROPOSED SEPTIC TANK SHALL COMPLY WITH ALL CONDITIONS SET FORTH IN ENV-WQ 1010.
NOTE: THIS SYSTEM HAS NOT BEEN DESIGNED FOR USE WITH A GARBAGE DISPOSAL.

DESIGN INTENT:
BOTTOM OF EFFLUENT DISPOSAL AREA TO BE SET NO LOWER THAN 2.5' BELOW THE HIGHEST EXISTING GRADE (EL. 243.5 AS DEPICTED ON THE PLAN) IN ORDER TO EXCEED A 30-INCH SEPARATION FROM THE E.S.H.W.T. AND THE BOTTOM OF THE EFFLUENT DISPOSAL PIPE WHEN USING AN "ENVIRO-SEPTIC" WASTEWATER TREATMENT SYSTEM.

OPERATING REQUIREMENTS
THE SEPTIC TANK SHALL BE INSPECTED FOR ACCUMULATION OF SLUDGE AND SURFACE SCUM AT LEAST ONCE EVERY YEAR. WHEN THE COMBINED THICKNESS OF THE SLUDGE AND SURFACE SCUM EQUALS 1/3 OR MORE OF TANK DEPTH, THE TANK SHALL BE PUMPED BY A LICENSED SEPTIC HAULER.

TO PREVENT OBSTRUCTION OF THE DISTRIBUTION LINES AND LEACH FIELD, GREASE AND BULKY WASTES SHALL NOT BE FLUSHED OR INTRODUCED INTO THE SEPTIC SYSTEM.

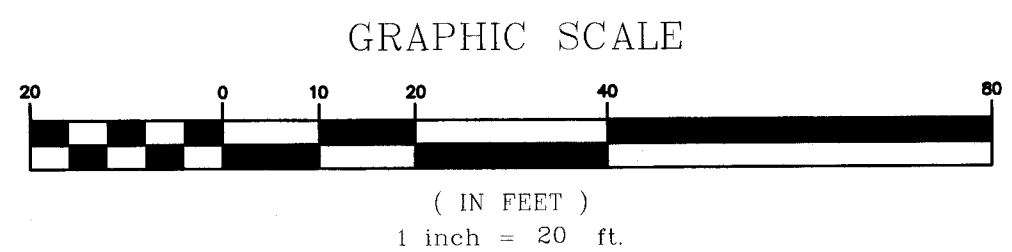
TOXIC OR HAZARDOUS MATERIALS SHALL NOT BE INTRODUCED INTO THE SEPTIC SYSTEM.

TO PREVENT DAMAGE TO THE DISTRIBUTION LINES AND LEACH FIELD, VEHICLES, LIVESTOCK AND ANY OTHER HEAVY OBJECTS SHALL NOT BE ALLOWED ON THE LEACH FIELD UNLESS IT IS DESIGNED TO MEET H-20 LOADING.

IF WET AREAS APPEAR ON THE GROUND SURFACE OR IF ODORS OCCUR, THE SYSTEM SHALL BE INSPECTED FOR THE SOURCE OF THE PROBLEM, AND ACTION SHALL BE TAKEN TO CORRECT THE PROBLEM(S).

NOTE:
THIS SEPTIC SYSTEM DESIGN PLAN SPECIFIES THE USE OF AN ENVIRO-SEPTIC® LEACHING SYSTEM WHICH CAN NOT BE SUBSTITUTED WITH ANY OTHER SIMILAR MATERIAL.

TP #1	
LOGGED BY GPC	
PERC. TEST @ 20"	
DATE: 2-26-2018	
PERC RATE: 9 MIN./INCH	
IMPERVIOUS LAYER: 50"	
WATER ENCOUNTERED: 24"	
0"	FOREST MAT / TOP SOIL
4"	
14"	10YR 4/4, GRANULAR, FRIABLE, FINE SANDY LOAM, FEW ROOTS
24"	10YR 5/3, SILTY LOAMY SAND LOOSE GRANULAR
30"	10YR 7/3, FIRM, SILTY SAND, W/ REDOX FEATURES
50" BOTTOM OF HOLE	



EFFLUENT DISPOSAL DESIGN
INDUSTRIAL COMPLEX
MAP 105; LOT 20
16 BRADY DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
MSE PROPERTIES LLC
20 SENTER FARM ROAD
HUDSON, NH 03051
H.C.R.D. BK. 9827; PG. 487

APPLICANT:
KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076

KMA
KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

NEW HAMPSHIRE
DESIGNER
Gifford P. Colburn
No. 1839
Supply & Pollution Control

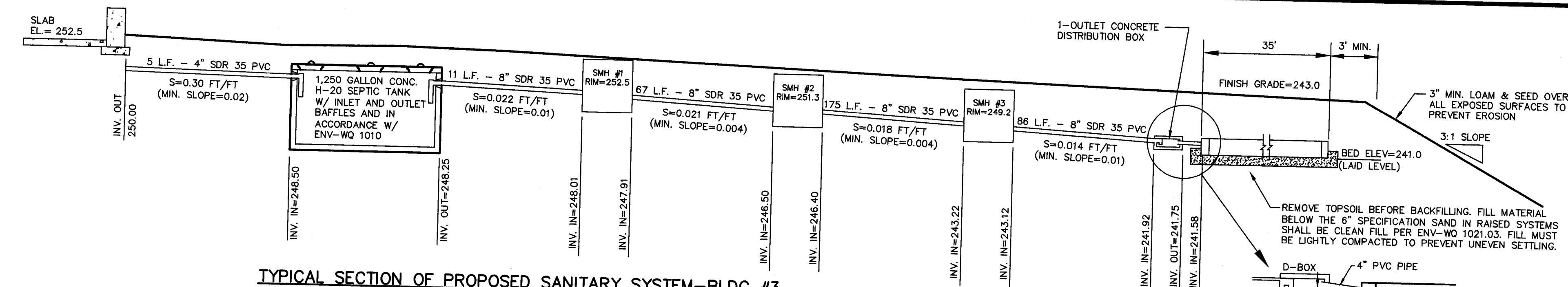
REVISIONS		
No.	DATE	DESCRIPTION
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SHEET 9 OF 15

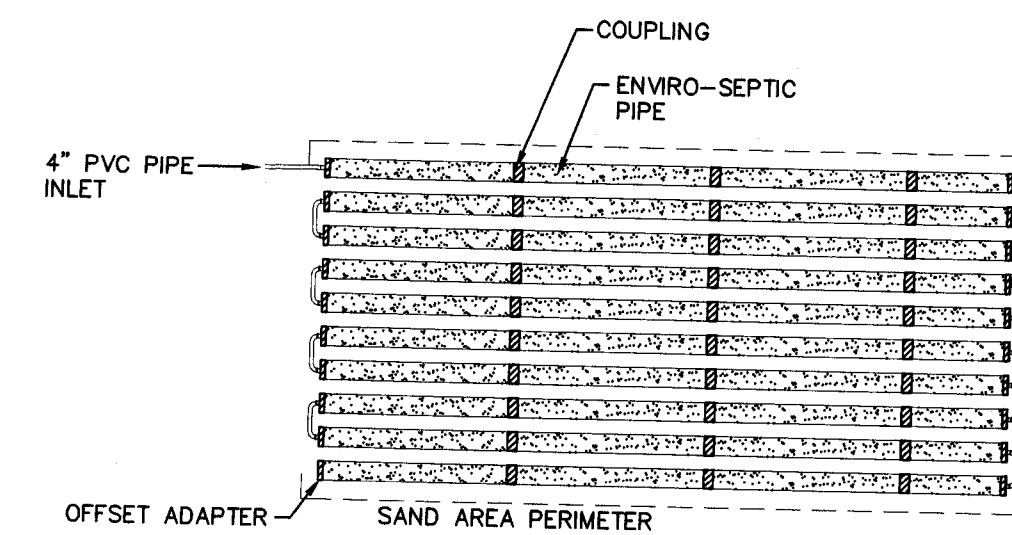


TYPICAL SECTION OF PROPOSED SANITARY SYSTEM-BLDG #3
NOT TO SCALE

NOTE:

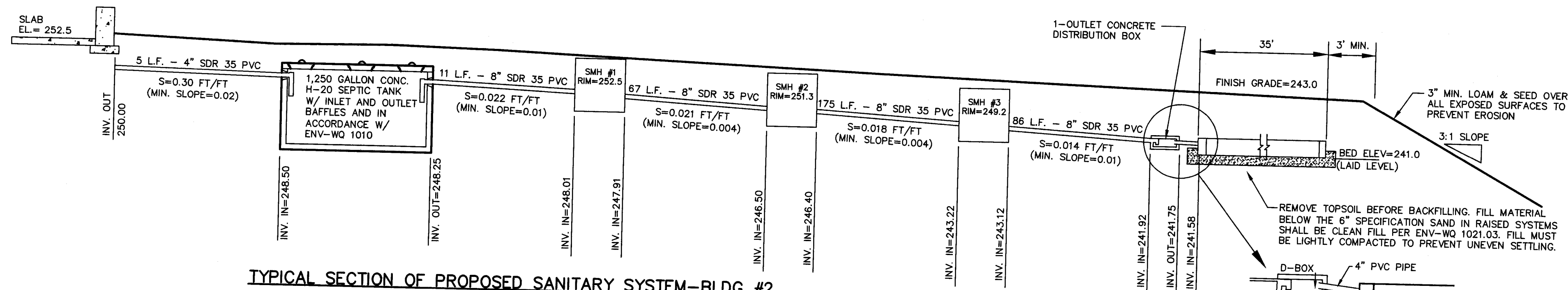
1. SEPTIC TANK, DISTRIBUTION BOX AND ENVIRO-SEPTIC COMPONENTS TO BE SUPPLIED BY DEL R. GILBERT AND SON BLOCK CO., INC., OR EQUAL. SEPTIC TANK MUST COMPLY WITH ENV-WQ 1010 SPECIFICATIONS.
2. ENVIRO-SEPTIC LEACHING SYSTEM TO BE INSTALLED IN STRICT ACCORDANCE WITH SPECIFICATIONS CONTAINED WITHIN CURRENT EDITION OF THE PRESBY WASTEWATER TREATMENT SYSTEM - NEW HAMPSHIRE DESIGN AND INSTALLATION MANUAL FOR ADVANCED ENVIRO-SEPTIC®, ENVIRO-SEPTIC®, AND SIMPLE SEPTIC® WASTEWATER TREATMENT SYSTEMS.

DETAIL
NOT TO SCALE



NOTE: EFFLUENT DISPOSAL AREA SHOWN IS A "SERIAL DISTRIBUTION" SYSTEM AS DEPICTED IN THE NEW HAMPSHIRE DESIGN AND INSTALLATION MANUAL FOR ADVANCED ENVIRO-SEPTIC®, AND ENVIRO-SEPTIC® WASTEWATER TREATMENT SYSTEMS (2019 EDITION).

EDA PLAN DETAIL
SCALE: 1" = 10'

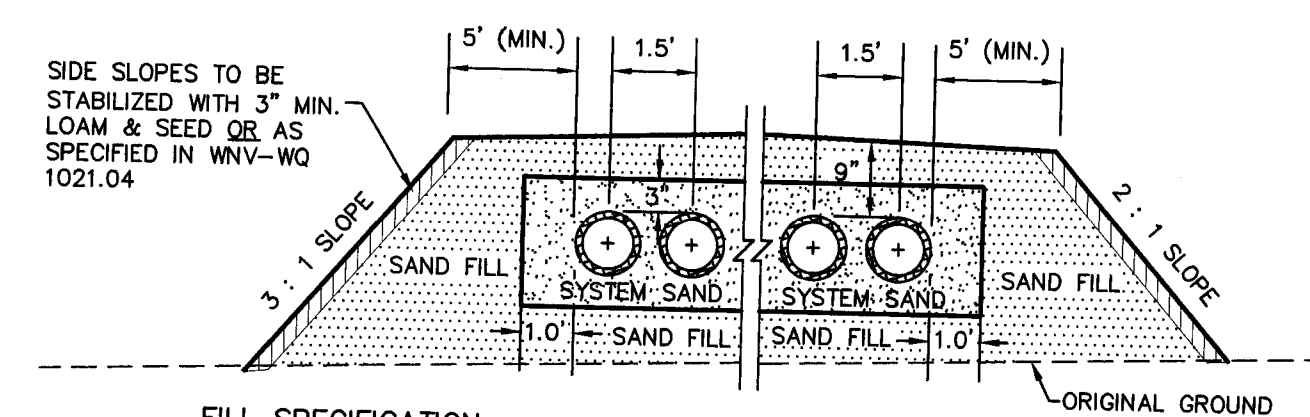


TYPICAL SECTION OF PROPOSED SANITARY SYSTEM-BLDG #2
NOT TO SCALE

NOTE:

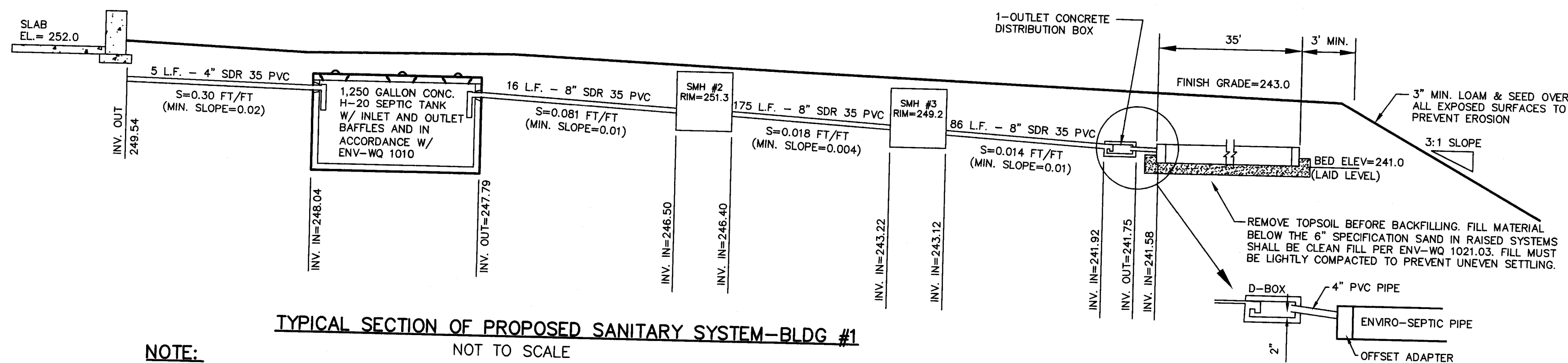
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DETAIL
NOT TO SCALE



FILL SPECIFICATION
SYSTEM SAND TO BE 6" MINIMUM OF MEDIUM TO COARSE GRAVELLY SAND WITH AN EFFECTIVE PARTICLE SIZE OF 0.25 MM TO 2.00 MM, WITH NO GREATER THAN 2% PASSING A #200 SIEVE AND NO PARTICLES LARGER THAN 3/4" AROUND THE CIRCUMFERENCE OF THE ENVIRO-SEPTIC PIPE (SEE THE LATEST EDITION OF THE "ENVIRO-SEPTIC AND SIMPLE SEPTIC LEACHING SYSTEM DESIGN AND INSTALLATION MANUAL" FOR DETAILED SAND AND FILL REQUIREMENTS). ALL OTHER FILL USED IN RAISED SYSTEMS SHALL BE CLEAN BANK RUN SAND, FREE FROM TOPSOIL, HUMUS, DREDGING, DEBRIS, OR STONES LARGER THAN 6" IN ANY DIMENSION IN ACCORDANCE WITH ENV-WQ 1021.03.

TYPICAL "ENVIRO-SEPTIC" CROSS SECTION
-NOT TO SCALE-



TYPICAL SECTION OF PROPOSED SANITARY SYSTEM-BLDG #1
NOT TO SCALE

NOTE:

1. SEPTIC TANK, DISTRIBUTION BOX AND ENVIRO-SEPTIC COMPONENTS TO BE SUPPLIED BY DEL R. GILBERT AND SON BLOCK CO., INC., OR EQUAL. SEPTIC TANK MUST COMPLY WITH ENV-WQ 1010 SPECIFICATIONS.
2. ENVIRO-SEPTIC LEACHING SYSTEM TO BE INSTALLED IN STRICT ACCORDANCE WITH SPECIFICATIONS CONTAINED WITHIN CURRENT EDITION OF THE PRESBY WASTEWATER TREATMENT SYSTEM - NEW HAMPSHIRE DESIGN AND INSTALLATION MANUAL FOR ADVANCED ENVIRO-SEPTIC®, ENVIRO-SEPTIC®, AND SIMPLE SEPTIC® WASTEWATER TREATMENT SYSTEMS.

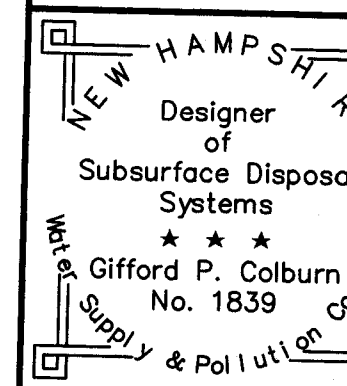
DETAIL
NOT TO SCALE

**EFFLUENT DISPOSAL DESIGN
INDUSTRIAL COMPLEX**
MAP 105; LOT 20
16 BRADY DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
MSE PROPERTIES LLC
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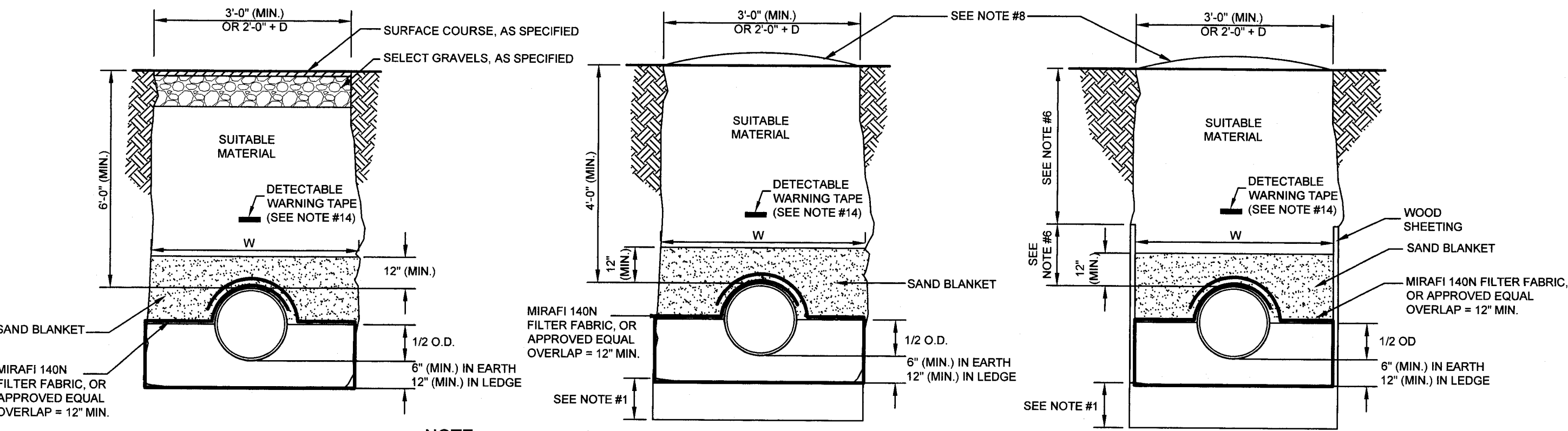
KM
KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
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1	10-06-2025	REVISION BY TOWN REVIEW	KC
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PROJECT NO: 24-1220-1		SHEET 10 OF 15	

NOTES: (NHDES ENV WQ700 - 2015)

- ALL COMPONENT PARTS OF MANHOLE STRUCTURES SHALL HAVE THE STRENGTH, LEAK RESISTANCE AND SPACE NECESSARY FOR THE INTENDED SERVICE.
- MANHOLE STRUCTURES SHALL HAVE A LIFE EXPECTANCY IN EXCESS OF 25 YEARS.
- MANHOLE STRUCTURES SHALL BE DESIGNED TO WITHSTAND H-20 LOADING AND SHALL NOT LEAK IN EXCESS OF ONE GPD PER VERTICAL FOOT OF MANHOLE FOR THE LIFE OF THE STRUCTURE.
- BARRELS, CONCRETE GRADE RINGS AND CONE SECTIONS SHALL BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE AND SHALL CONFORM TO ASTM C478.
- BEDDING: CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 100% PASSING 1 INCH SCREEN 90% PASSING 3/4 INCH SCREEN 20-55% PASSING 3/8 INCH SCREEN 0-10% PASSING #4 SIEVE 0-5% PASSING #8 SIEVE
- WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, CRUSHED STONE 1/2 INCH TO 1-1/2 INCH SHALL BE USED. BASE SECTIONS SHALL BE OF MONOLITHIC CONSTRUCTION TO A POINT AT LEAST 6 INCHES ABOVE THE CROWN OF THE INCOMING PIPE.
- HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF AN OVERLAPPING TYPE, SEALED FOR WATER-TIGHTNESS USING A DOUBLE ROW OF AN ELASTOMERIC OR MASTIC-LIKE SEALANT.
- PIPE TO MANHOLE JOINTS SHALL BE AS FOLLOWS:
 - ELASTOMERIC, RUBBER SLEEVE WITH WATER-TIGHT JOINTS AT THE MANHOLE OPENING AND PIPE SURFACES;
 - CAST INTO THE WALL OR SECURED WITH STAINLESS STEEL CLAMPS;
 - ELASTOMERIC SEALING RING CAST IN THE MANHOLE OPENING WITH SEAL FORMED ON THE SURFACE OF THE PIPE BY COMPRESSION OF THE RING; AND
 - NON-SHRINK GROUTED JOINTS WHERE WATER-TIGHT BONDING TO THE MANHOLE AND PIPE CAN BE OBTAINED.
- MANHOLE CONE SECTIONS SHALL BE CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE. TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVE SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELVE SHALL CONSIST OF BRICK MASONRY. INVERTS AND SHELVE SHALL BE PLACED AFTER TESTING.
- MANHOLES SHALL HAVE A BRICK PAVED SHELVE AND INVERT CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE. TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVE SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELVE SHALL CONSIST OF BRICK MASONRY. INVERTS AND SHELVE SHALL BE PLACED AFTER TESTING.
- MATERIALS OF CONSTRUCTION FOR MANHOLES SHALL BE AS FOLLOWS:
 - CONCRETE OR PRECAST BASES OR GRADE RINGS SHALL CONFORM TO THE REQUIREMENTS FOR CLASS AA CONCRETE IN THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION";
 - REINFORCING FOR PRECAST CONCRETE SHALL BE STEEL OR STRUCTURAL FIBERS THAT CONFORM TO THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION";
 - PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL BE CERTIFIED BY THEIR MANUFACTURE(S) AS CONFORM TO ASTM C478;
 - THE MANHOLE FRAME AND COVER SHALL PROVIDE A 30-INCH DIAMETER CLEAR OPENING;
 - THE MANHOLE COVER SHALL HAVE THE WORD "SEWER" IN 3-INCH LETTERS CAST INTO THE TOP SURFACE;
 - THE CASTINGS SHALL BE OF EVEN-GRAINED CAST IRON, SMOOTH AND FREE FROM SCALE, LUMPS, BUSTERS, SAND HOLES AND DEFECTS;
 - CONTACT SURFACES OF COVERS AND FRAMES SHALL BE MACHINED AT THE FOUNDRY TO PREVENT ROCKING OF COVERS IN ANY ORIENTATION;
 - CASTINGS SHALL BE EQUAL TO CLASS 30, BE CERTIFIED BY THEIR MANUFACTURE(S) AS CONFORMING TO ASTM A48/M48M;
 - BRICK MASONRY FOR SHELVE, INVERT AND GRADE ADJUSTMENT SHALL BE CERTIFIED BY THEIR MANUFACTURE(S) AS CONFORMING TO ASTM C32, CLAY OR SHALE. FOR GRADE SS HARD BRICK;
 - MORTAR SHALL BE COMPOSED OF TYPE I PORTLAND CEMENT AND SAND WITH OR WITHOUT HYDRATED LIME ADDITION;
 - PROPORTIONS IN MORTAR OF PARTS BY VOLUMES SHALL BE:
 - 4.5 PARTS SAND AND 1.5 PARTS CEMENT; OR
 - 4.5 PARTS SAND, ONE PART CEMENT AND 0.5 PARTS HYDRATED LIME;
 - CEMENT SHALL BE TYPE II PORTLAND CEMENT CONFORMING TO ASTM C150/C150M;
 - HYDRATED LIME SHALL BE TYPE S CONFORMING TO THE ASTM C207 "STANDARD SPECIFICATIONS FOR HYDRATED LIME FOR MASONRY PURPOSES";
 - SAND SHALL CONSIST OF INERT NATURAL SAND CONFORMING TO THE ASTM C33 "STANDARD SPECIFICATIONS FOR CONCRETE, FINE AGGREGATES";
 - CONCRETE FOR DROP SUPPORTS SHALL CONFORM TO THE REQUIREMENT FOR CLASS AAA CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION";
 - SUBJECT TO (Q) BELOW, A FLEXIBLE PIPE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES FROM ANY MANHOLE CONNECTION:
 - WITHIN 48-INCHES FOR REINFORCED CONCRETE (RC) PIPE; AND
 - WITHIN 60-INCHES FOR PVC PIPE LARGER THAN 15-INCH DIAMETER;
 - NO FLEXIBLE JOINT SHALL BE REQUIRED FOR D.I. PIPE OR FOR PVC PIPE UP THROUGH 15-INCH DIAMETER; AND
 - WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED IN LIEU OF A CONE SECTION, PROVIDED THE SLAB HAS AN ECCENTRIC ENTRANCE OPENING AND IS CAPABLE OF SUPPORTING H-20 LOADS.
- MANHOLE STEPS SHALL:
 - BE PERMITTED ONLY AT THE REQUEST OF THE SYSTEM OWNER;
 - BE MANUFACTURED OF STAINLESS, PLASTIC-COVERED STEEL OR PLASTIC;
 - BE SHAPED SO THAT THEY CANNOT BE PULLED OUT OF THE CONCRETE WALL INTO WHICH THEY ARE SECURED;
 - BE CERTIFIED BY THEIR MANUFACTURER(S) AS CONFORMING TO ASTM C478 FOR LOAD CARRYING CAPACITY AND PULL-OUT RESISTANCE;
 - NOT BE SECURED WITH MORTAR;
 - BE APPROXIMATELY 14-INCHES BY 10-INCHES IN DIMENSION;
 - HAVE A DROP SECTION OR RAISED ABUTMENTS TO PREVENT SIDEWAYS SLIPPAGE OFF THE STEP; AND
 - HAVE NON-SKID SAFETY SERRATIONS ON THE FOOT CONTACT SURFACES.
- MANHOLE TESTING:
 - MANHOLES SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST.
 - THE MANHOLE VACUUM TEST SHALL CONFORM TO THE FOLLOWING:
 - THE INITIAL VACUUM GAUGE TEST PRESSURE SHALL BE 10 INCHES Hg; AND
 - THE MINIMUM ACCEPTABLE TEST HOLD TIME FOR A 1-INCH Hg PRESSURE DROP TO 9 INCH Hg SHALL BE:
 - NOT LESS THAN 2 MINUTES FOR MANHOLES LESS THAN 10 FEET DEEP IN DEPTH;
 - NOT LESS THAN 2.5 MINUTES FOR MANHOLES 10 TO 15 FEET DEEP; AND
 - NOT LESS THAN 3 MINUTES FOR MANHOLES MORE THAN 15 FEET DEEP.
 - THE MANHOLE SHALL BE REPAIRED AND RETESTED IF THE TEST HOLD TIMES FAIL TO ACHIEVE THE ACCEPTANCE LIMITS SPECIFIED IN (B) ABOVE.
 - FOLLOWING COMPLETION OF THE LEAKAGE TEST, THE FRAME AND COVER SHALL BE PLACED ON THE TOP OF THE MANHOLE OR SOME OTHER MEANS USED TO PREVENT ACCIDENTAL ENTRY BY UNAUTHORIZED PERSONS, CHILDREN OR ANIMALS UNTIL THE CONTRACTOR IS READY TO MAKE FINAL ADJUSTMENTS TO GRADE.



FOR CONSTRUCTION IN ROADS, ROAD SHOULDER AND WALKWAYS

NOTE:
MINIMUM BEDDING DEPTH AND MAXIMUM PAYMENT DEPTH FOR LEDGE EXCAVATION: 1/4 O.D. (6" MIN.)

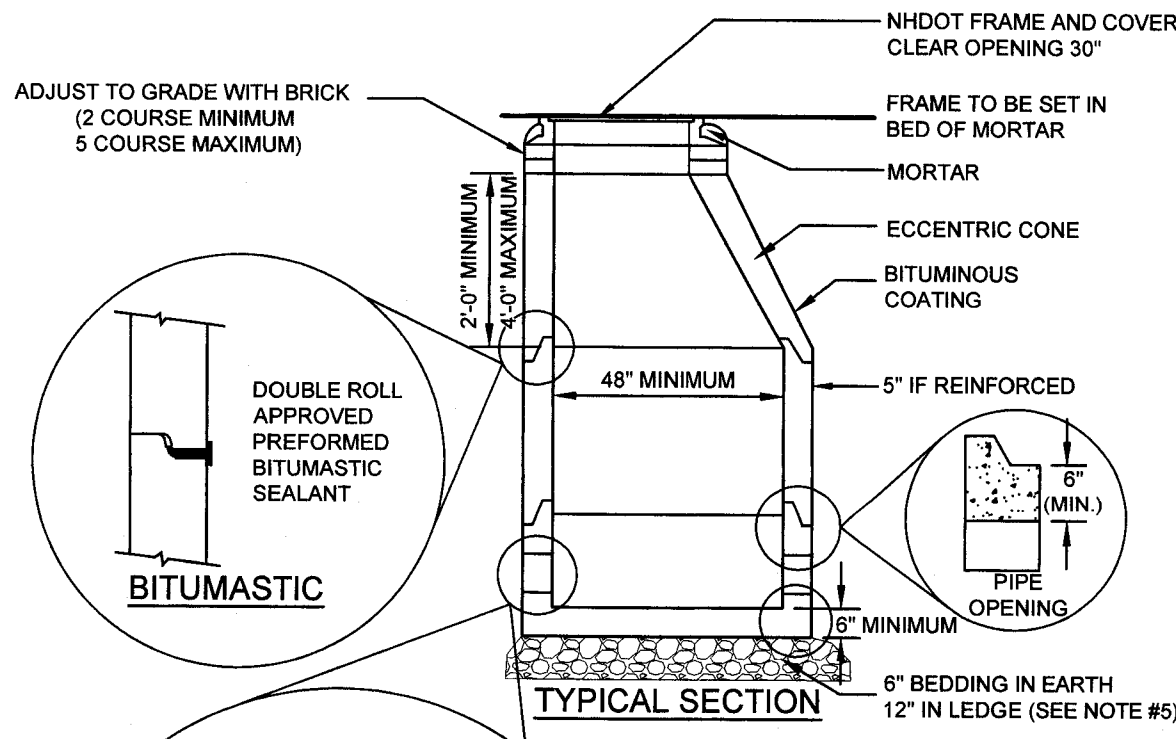
CROSS COUNTRY EARTH CONSTRUCTION

CROSS COUNTRY EARTH CONSTRUCTION WITH SHEETING

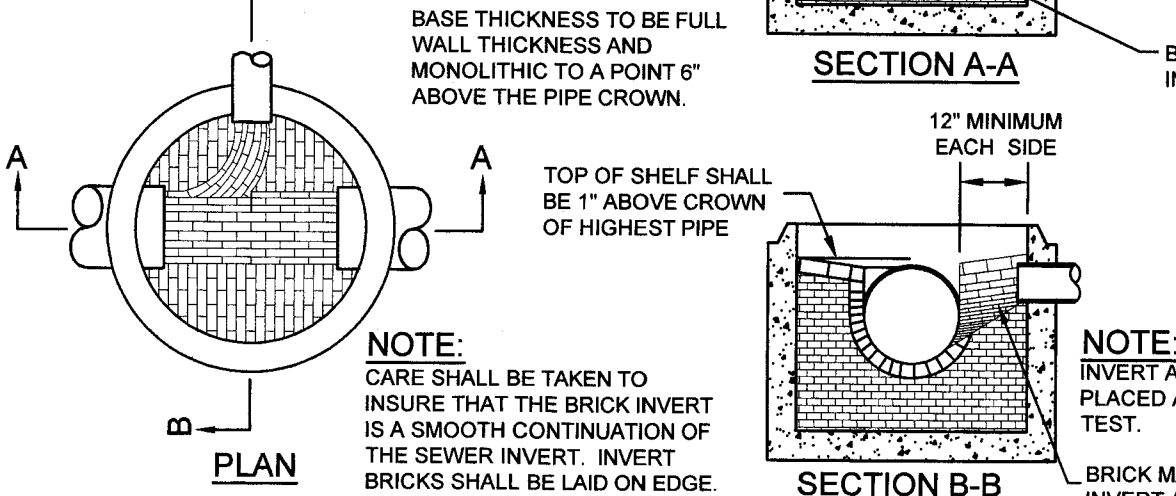
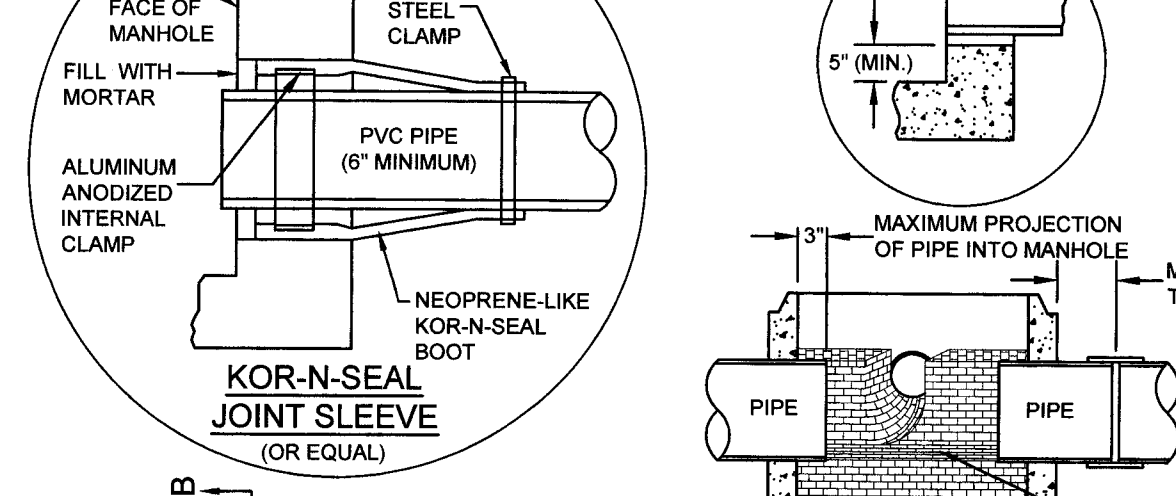
SANITARY SEWER TRENCH DETAIL
NOT TO SCALE
(NOVEMBER 2016)

NOTES:

- ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE. REFILL WITH BEDDING MATERIAL, ALSO SEE NOTE #7. BEDDING: CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33/C33M STONE SIZE NO. 67. 100% PASSING 1 INCH SCREEN 90 - 100% PASSING 3/4 INCH SCREEN 20 - 55% PASSING 3/8 INCH SCREEN 0 - 10% PASSING #4 SIEVE 0 - 5% PASSING #8 SIEVE WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED CRUSHED STONE 1/2 INCH TO 1-1/2 INCHES SHALL BE USED.
- SAND BLANKET: GRADED CLEAN SAND FREE FROM ORGANIC MATTER, SO THAT 100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE. BLANKET MAY BE OMITTED FOR CAST IRON, DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED, HOWEVER, THAT NO STONE LARGER THAN 2 INCHES IS IN CONTACT WITH THE PIPE.
- MIRAFI 140N FILTER FABRIC, OR APPROVED EQUAL, SHALL BE INSTALLED ABOVE PIPE.
- SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL AND ALL ROCKS OVER 6 INCHES IN LARGEST DIMENSION, OR ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. IN CROSS COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT IF HE/SHE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER WILL BE PRESERVED FOR MAINTENANCE AND POSSIBLY RECONSTRUCTION, WHEN NECESSARY.
- BASE COURSE, IF ORDERED BY THE ENGINEER, SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE LATEST EDITION OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS."
- WOOD SHEETING, IF REQUIRED, WHERE PLACED ALONGSIDE THE PIPE AND EXTENDING BELOW MID-DIAMETER, SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
- FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES DESIGN STANDARDS REQUIRE 10 FEET OF SEPARATION BETWEEN WATER AND SEWER. HOWEVER, SHOULD CONSTRUCTION REVEAL OR EXPOSE A WATERLINE (MAIN OR SERVICE) RUNNING APPROXIMATELY PARALLEL AND LESS THAN 10 FEET HORIZONTALLY FROM THE PROPOSED SEWER INSTALLATION AND WHERE IT IS NOT PRACTICAL TO RELOCATE THE SEWER, A DEVIATION MAY BE GRANTED PROVIDED THAT THE SEWER IS CONSTRUCTED IN ACCORDANCE WITH THE FORCE MAIN CONSTRUCTION REQUIREMENT SPECIFIED BELOW.
 - FORCE MAINS SHALL BE CONSTRUCTED FROM DUCTILE IRON, HIGH DENSITY POLYETHYLENE, OR PVC PER ENV-WQ 704.06(a). PVC SHALL CONFORM TO ASTM D2241-05 OR ASTM D1785-05. HDPE SHALL CONFORM TO ASTM D3035-03a.
 - D.I. SHALL BE CORROSION PROTECTED IN CORROSIVE ENVIRONMENTS
- WHERE WATER LINES AND SEWER LINES CROSS, THEY SHOULD CROSS AS PERPENDICULAR AS POSSIBLE AND THE WATER MAIN SHALL CROSS AT LEAST 18" INCHES ABOVE THE SEWER. FURTHER, THE SEWER JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATER MAIN.
- ALL SEWERS AT 8 PERCENT SLOPE, OR GREATER, SHALL HAVE IMPERVIOUS TRENCH DAMS CONSTRUCTED EVERY 300 FEET.
- UNLESS OTHERWISE NOTED, ALL GRANULAR MATERIAL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 98% OF THE MODIFIED PROCTOR TEST.
- WHERE WATER MAINS CROSS UNDER SEWER MAINS, BOTH THE SEWER AND WATER MAINS SHALL BE PRESSURE RATED PIPE PER ENV-WQ 704.06 AND TESTED PER AWWA C600-05 AT 1.5 TIMES DESIGN PRESSURE OR 100 PSI, WHICHEVER IS GREATER, WITH NO JOINTS WITHIN 9 FEET OF THE CROSSING POINT AND 12" MINIMUM VERTICAL SEPARATION.
- ALL SEWERS SHALL BE MARKED USING METAL IMPREGNATED MARKING TAPE OR TRACER WIRE THAT CAN BE LOCATED USING METAL DETECTION EQUIPMENT.
- GRAVITY PIPE SEWER TESTING:
 - ALL NEW GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY THE USE OF LOW-PRESSURE AIR TESTS.
 - LOW-PRESSURE AIR TESTING SHALL BE IN CONFORMANCE WITH:
 - ASTM F1417-92(2005) "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW-PRESSURE AIR;" OR
 - UNI-BELL PVC PIPE ASSOCIATION UNI-B-6, "LOW-PRESSURE AIR TESTING OF INSTALLED SEWER PIPE" (1998).
 - ALL NEW GRAVITY SEWERS SHALL BE CLEANED AND VISUALLY INSPECTED USING A LAMP TEST AND BY INTRODUCING WATER TO DETERMINE THAT THERE IS NO STANDING WATER IN THE SEWER AND SHALL BE TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR TO USE.
 - ALL PLASTIC SEWER PIPE SHALL BE DEFLECTION TESTED NOT LESS THAN 30 DAYS NOR MORE THAN 90 DAYS FOLLOWING INSTALLATION. THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5 PERCENT OF AVERAGE INSIDE DIAMETER. A RIGID BALL OR MANHOLE WITH A DIAMETER OF AT LEAST 95 PERCENT OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.



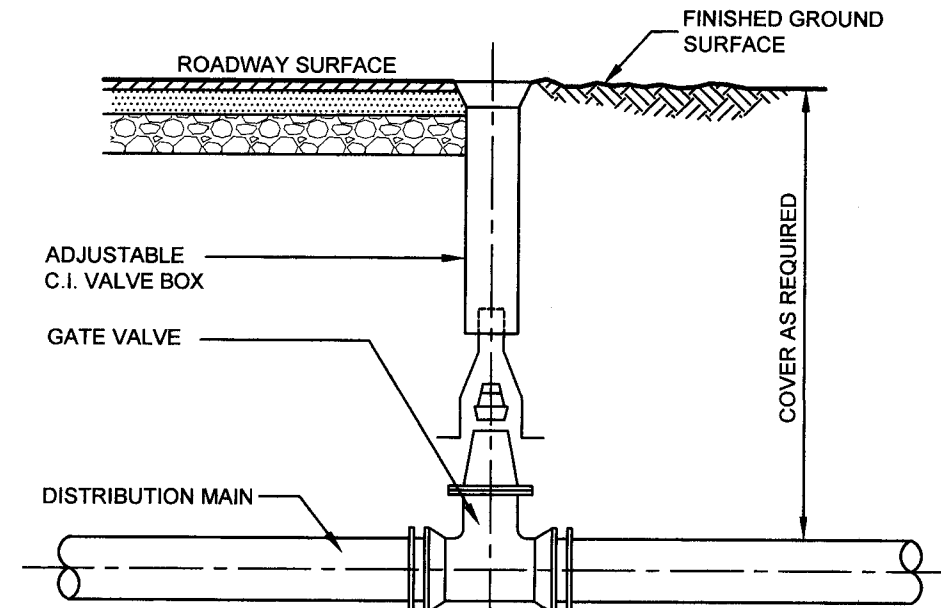
TYPICAL SECTION



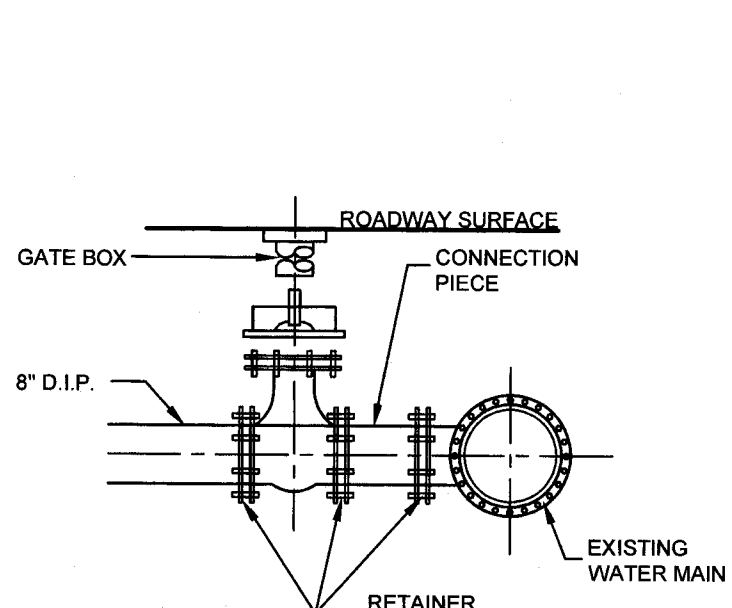
NOTE:

CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT. INVERT BRICKS SHALL BE LAID ON EDGE.

SANITARY SEWER MANHOLE
NOT TO SCALE
(OCTOBER 2015)

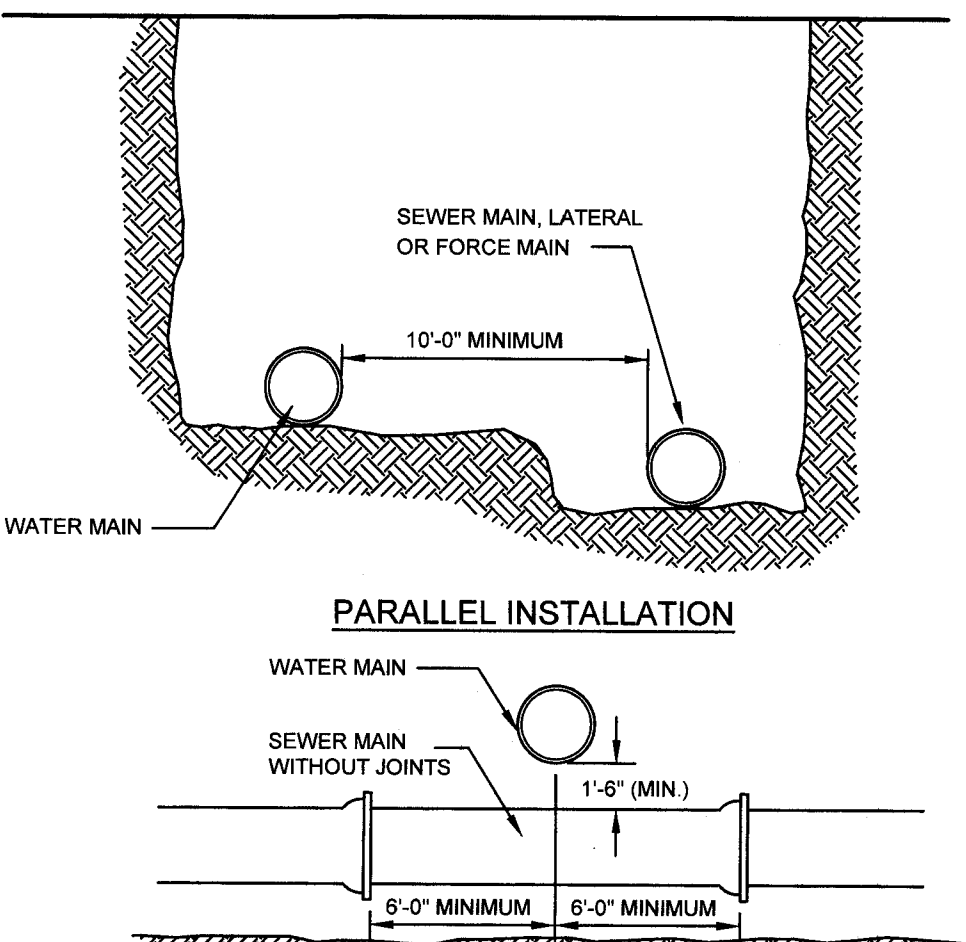


WATER AND GAS GATE VALVE
NOT TO SCALE

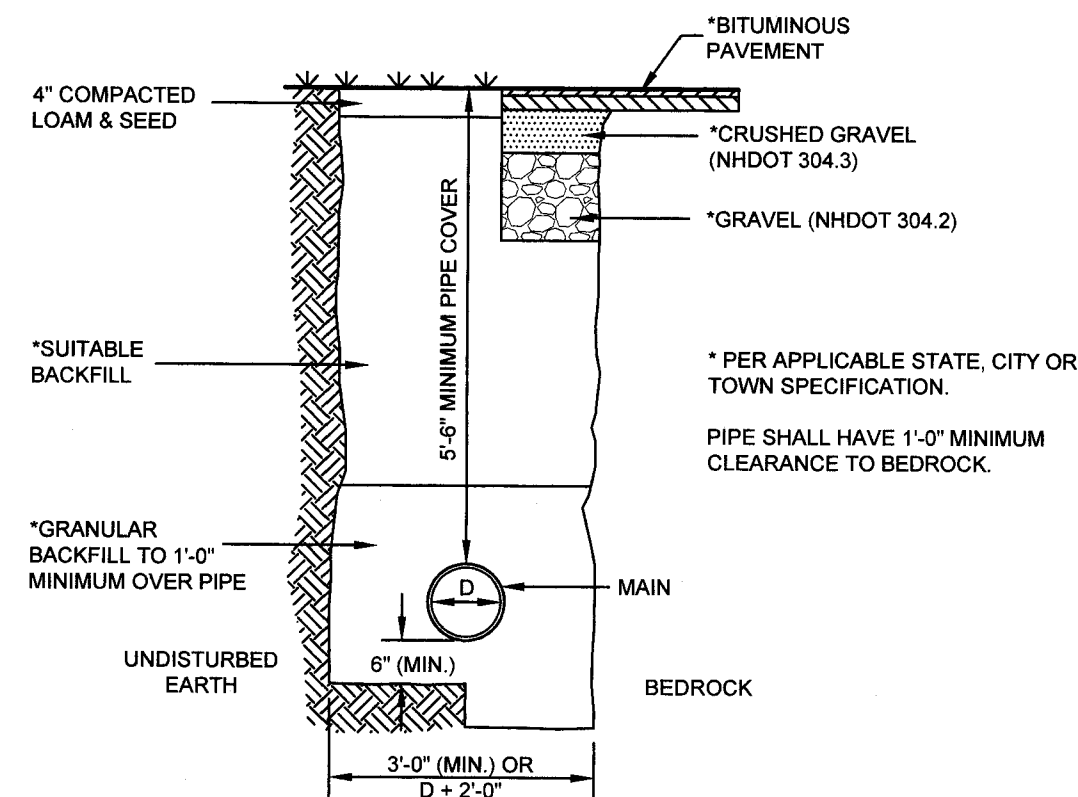


NOTE:
PROVIDE "WET-TAP" OR AS APPROVED BY WATER WORKS DEPARTMENT

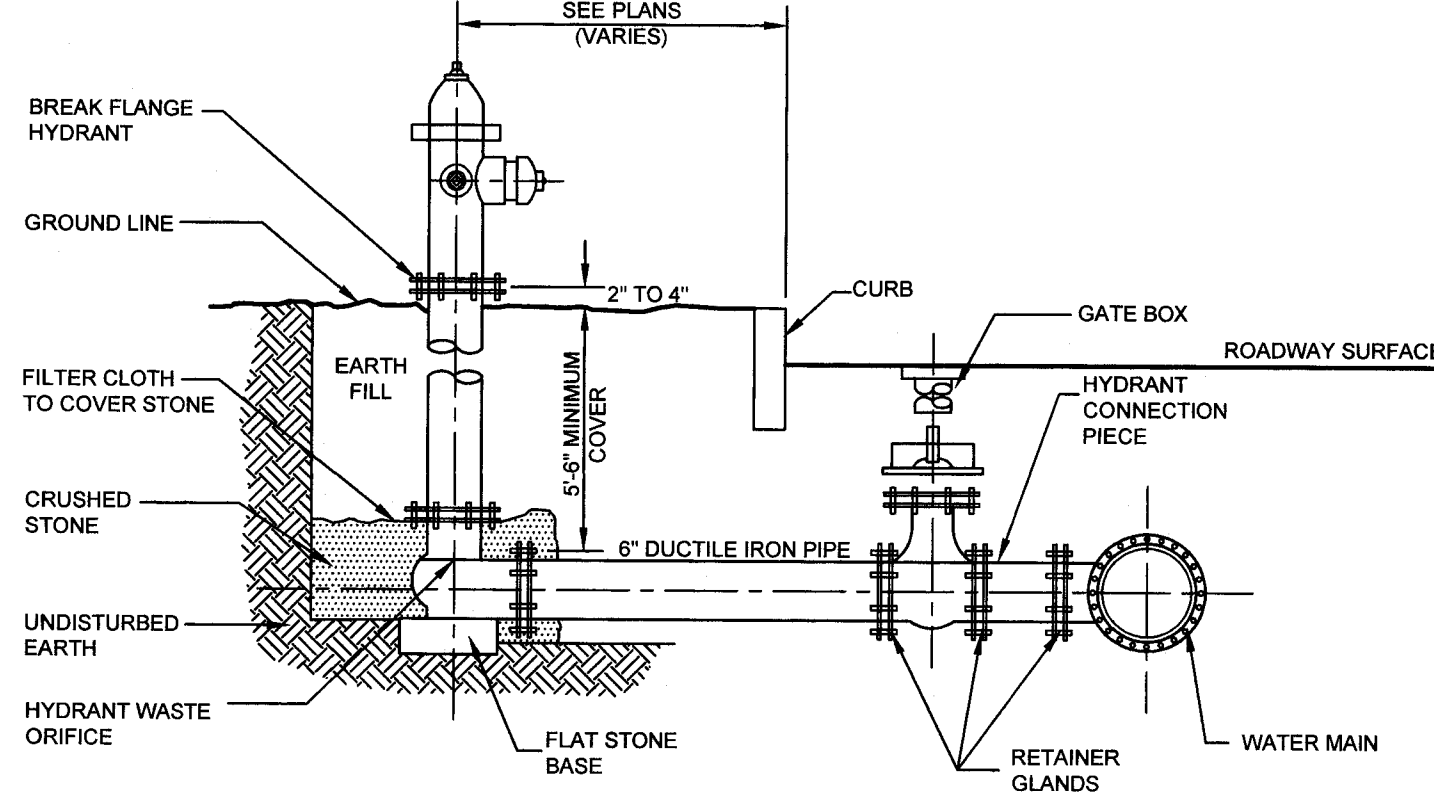
WATER MAIN CONNECTION DETAIL
NOT TO SCALE
(MARCH 2008)



MAIN CROSSINGS
WATER PIPE/SEWER PIPE SEPARATION
NOT TO SCALE
(MARCH 2008)

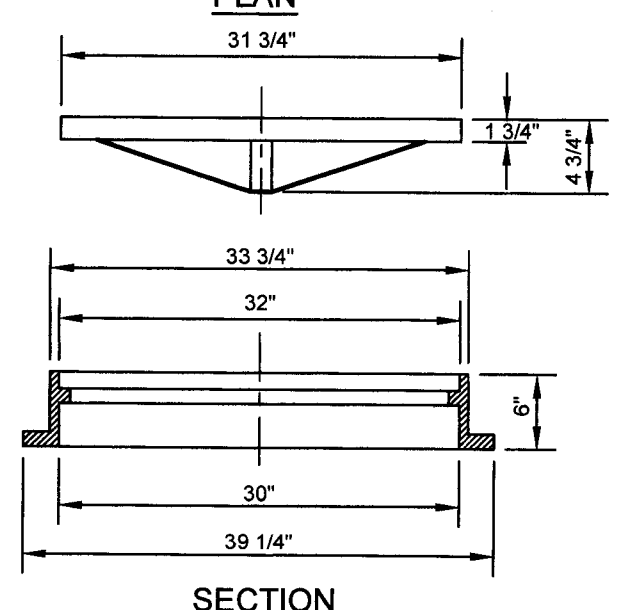
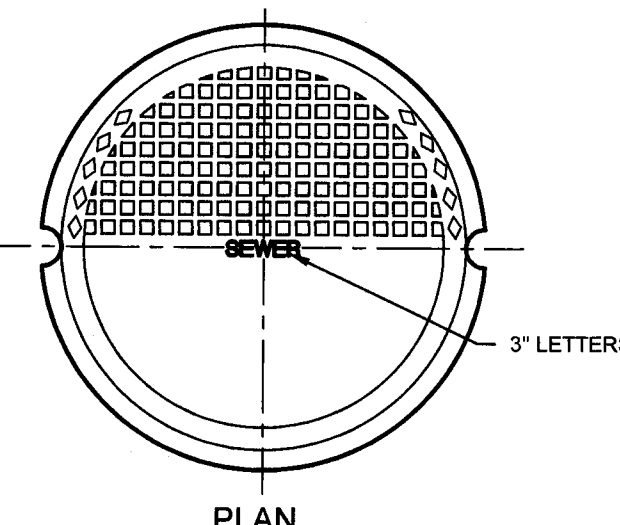


WATER LINE TRENCH DETAIL
NOT TO SCALE
(MARCH 2008)



NOTE:
PROPER RESTRAINT REQUIRED THROUGHOUT TO FIX HYDRANT TO MAIN.

SEWER MANHOLE
FRAME AND COVER DETAIL
NOT TO SCALE
(MARCH 2008)



NOTES:
NEW HAMPSHIRE MAINTAINS A CLEAR OPENING DESIGNATION OF 30" FOR ITS MANHOLE CASTINGS.

- FEATURES:
- 3" LETTERING
 - COVERS MARKED SEWER
 - NONROCKING COVER
 - DIAMOND SURFACE DESIGN

- SPECIFICATIONS:
- FULLY MACHINED FRAME AND COVER
 - H-20 LOAD RATED
 - GRAY CAST IRON MEETS ASTM A48 CLASS 30

SEWER MANHOLE
FRAME AND COVER DETAIL
NOT TO SCALE
(MARCH 2008)

SEWER AND WATER DETAILS
INDUSTRIAL COMPLEX
MAP 105; LOT 20
16 BRADY DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

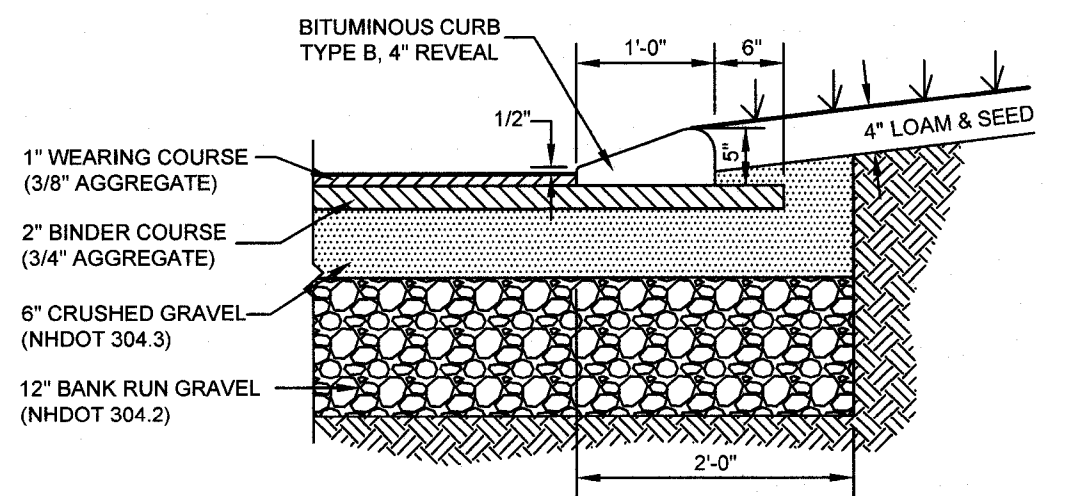
OWNER OF RECORD:
MSE PROPERTIES LLC
20 SENTER FARM ROAD
HUDSON, NH 03051
H.C.R.D. BK. 9827; PG. 487

APPLICANT:
KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076

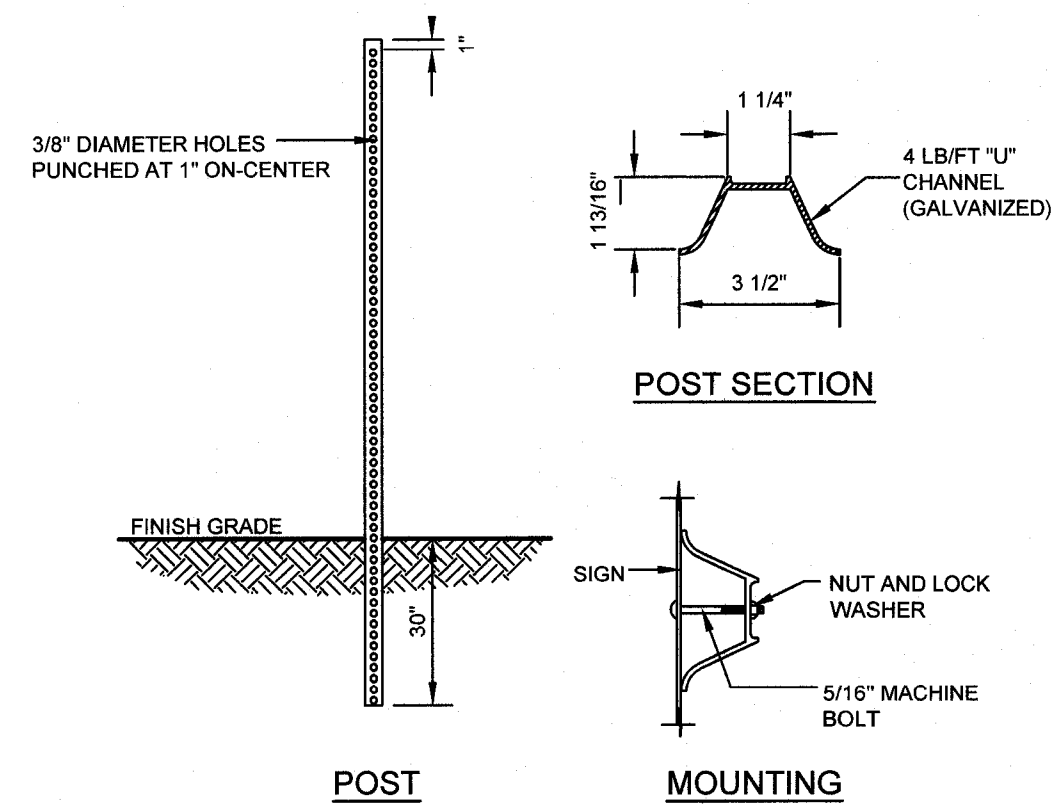
K&A KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

DESIGNER
Gifford P. Colburn
No. 1839
Professional Seal

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	10-06-2025	REVISION BY TOWN REVIEW	KC
DATE: AUGUST 5, 2025		SCALE: AS SHOWN	
PROJECT NO: 24-1220-1		SHEET 11 OF 15	



BITUMINOUS CURB TYPE B DETAIL
NOT TO SCALE
(MARCH 2008)

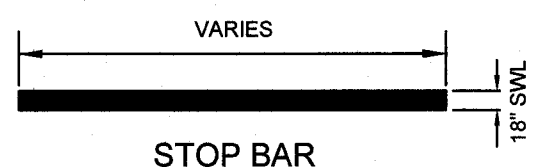


NOTE:
POST SHALL CONFORM TO NHDOT 615.2.5.3

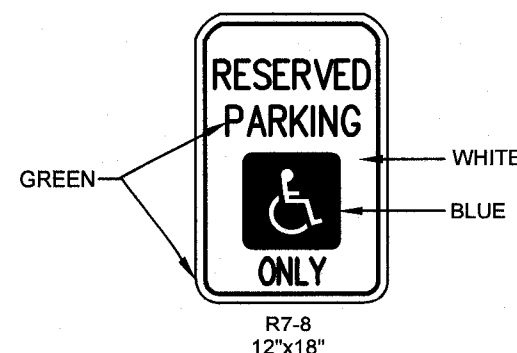
STEEL SIGN POST DETAIL
NOT TO SCALE
(MARCH 2008)



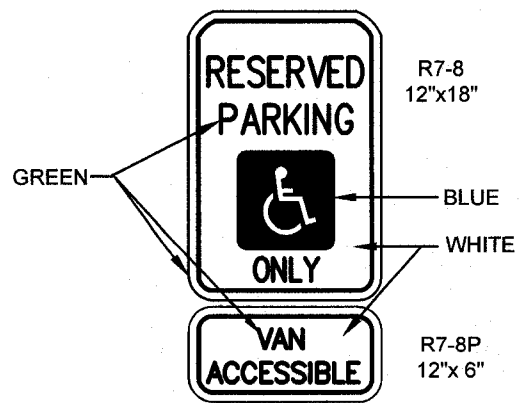
STOP SIGN DETAIL
NOT TO SCALE
(MARCH 2008)



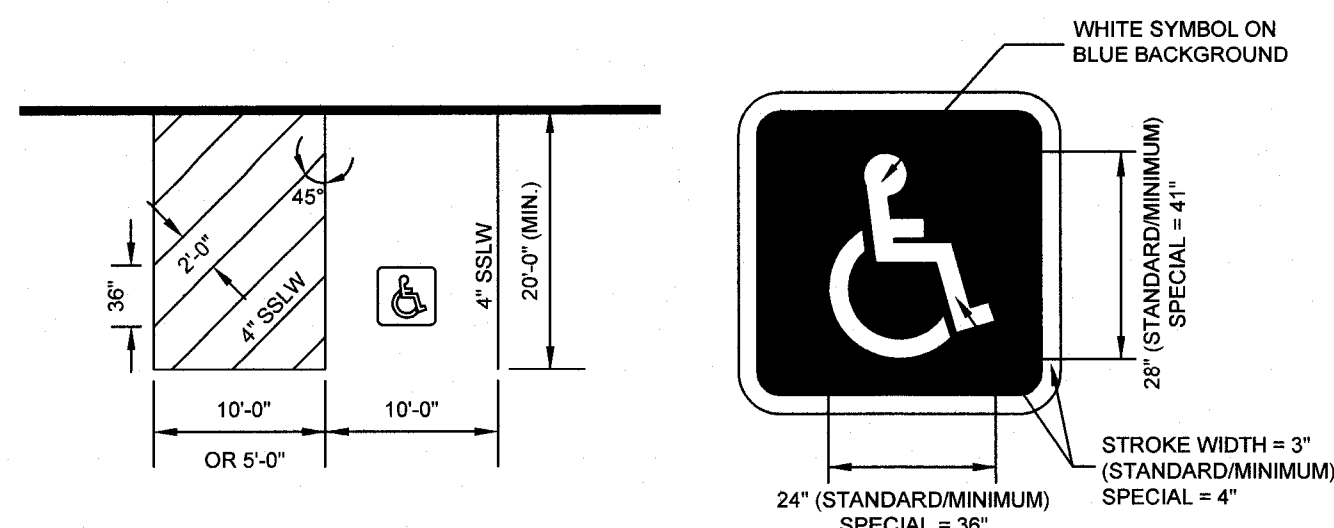
STOP BAR



HANDICAP PARKING SIGN DETAIL
NOT TO SCALE
(MARCH 2008)



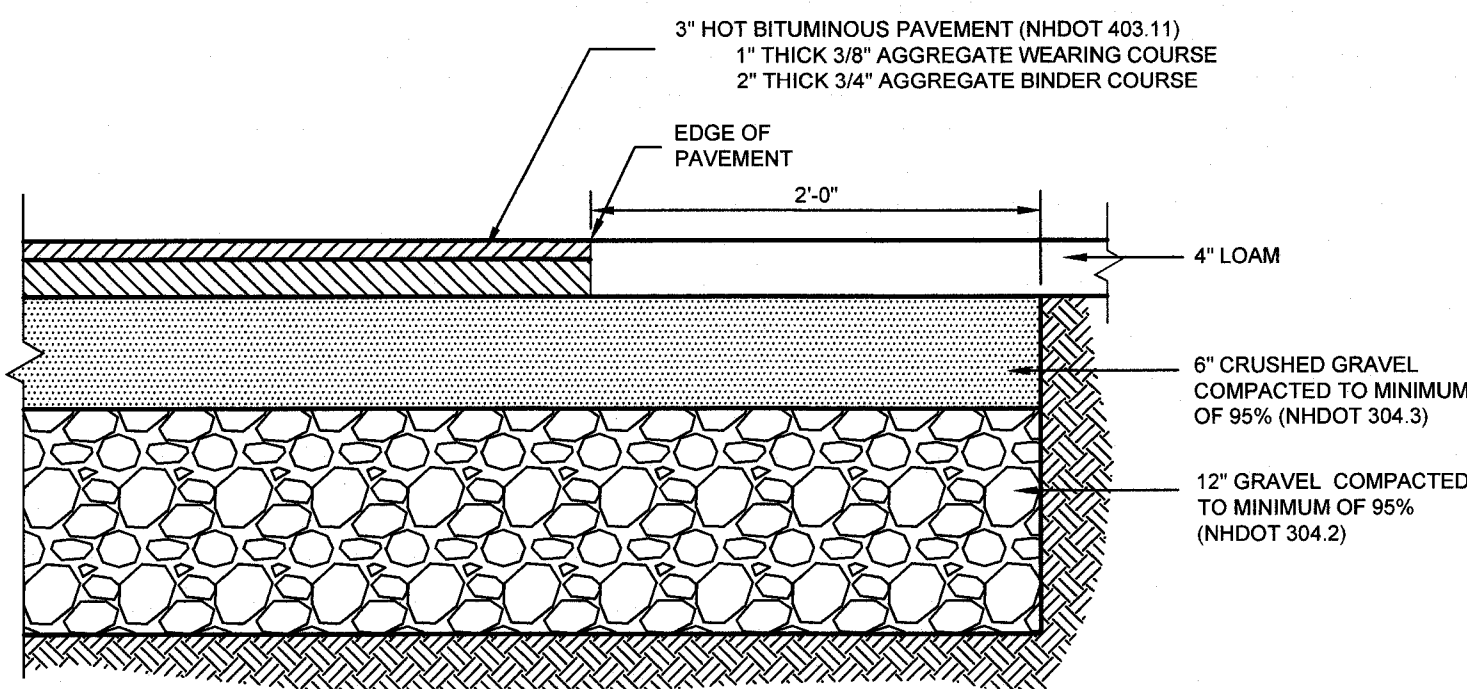
VAN ACCESSIBLE HANDICAP PARKING SIGN DETAIL
NOT TO SCALE
(NOVEMBER 2016)



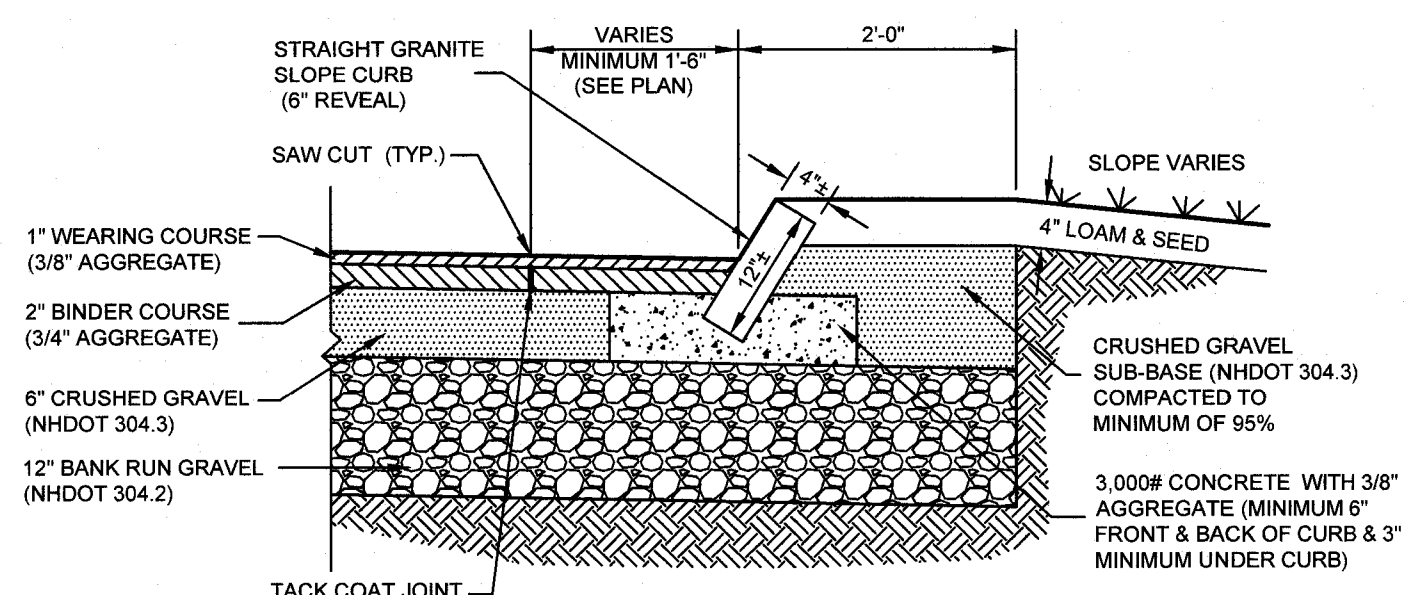
HANDICAP STRIPING DETAIL
NOT TO SCALE
(MARCH 2012)

STRIPING NOTES:

1. ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THESE STANDARDS AND THE CURRENT EDITION OF MUTCD.
2. WIDTH OF LINES SHALL VARY NO MORE THAN 1/4 INCH FROM THAT SPECIFIED.
3. THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED.
4. OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.

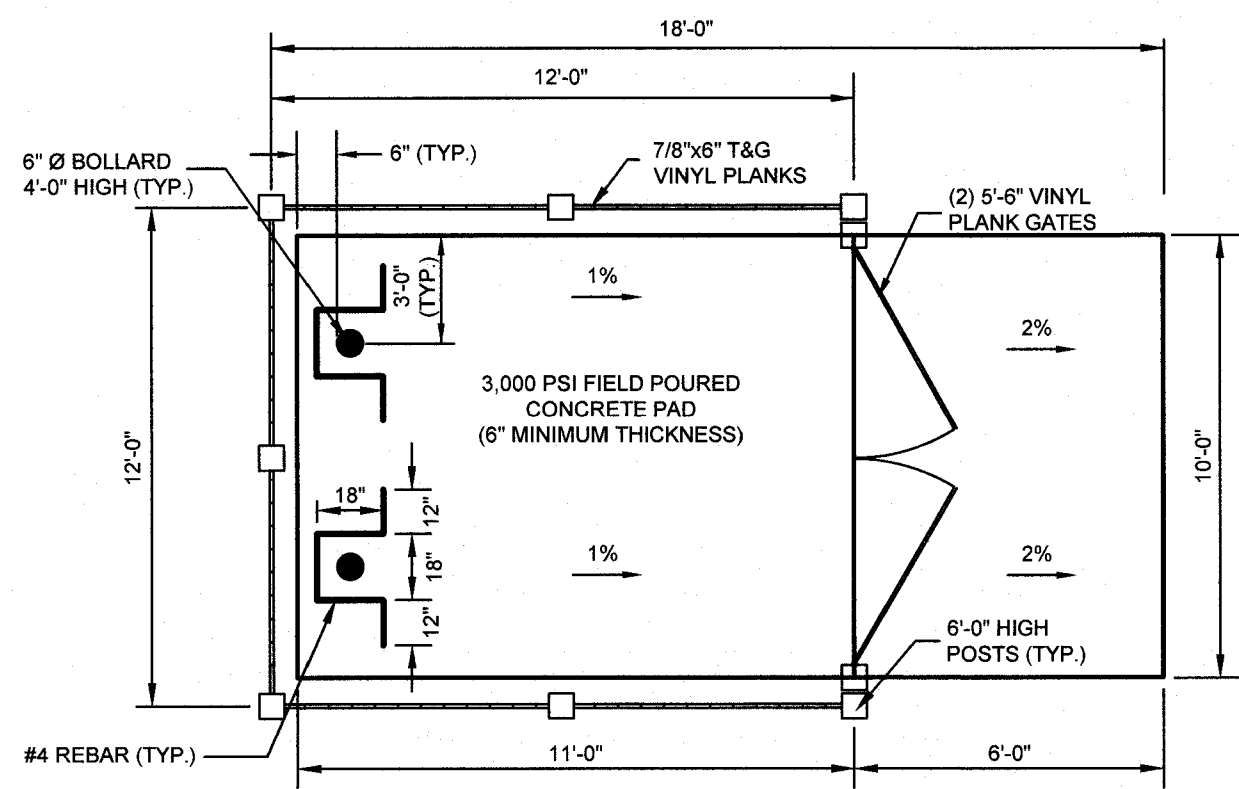


DRIVEWAY AND PARKING LOT SECTION
NOT TO SCALE
(MARCH 2008)



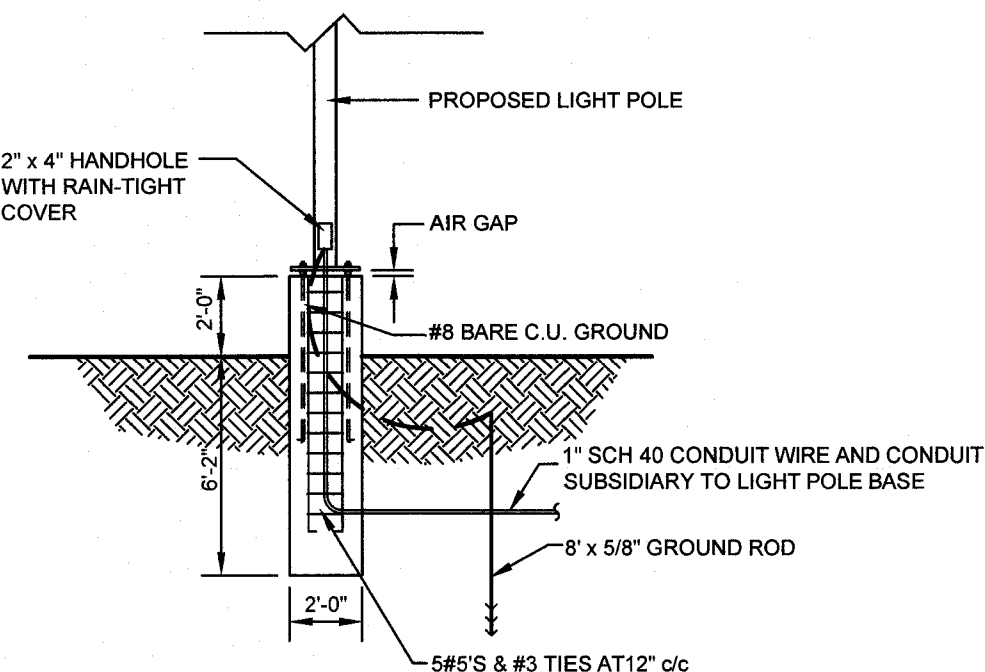
NOTE: PLACEMENT OF THE CONCRETE SHALL BE SUBSIDIARY TO THE INSTALLATION OF THE CURBING

STRAIGHT GRANITE SLOPE CURB DETAIL
NOT TO SCALE
(MARCH 2008)

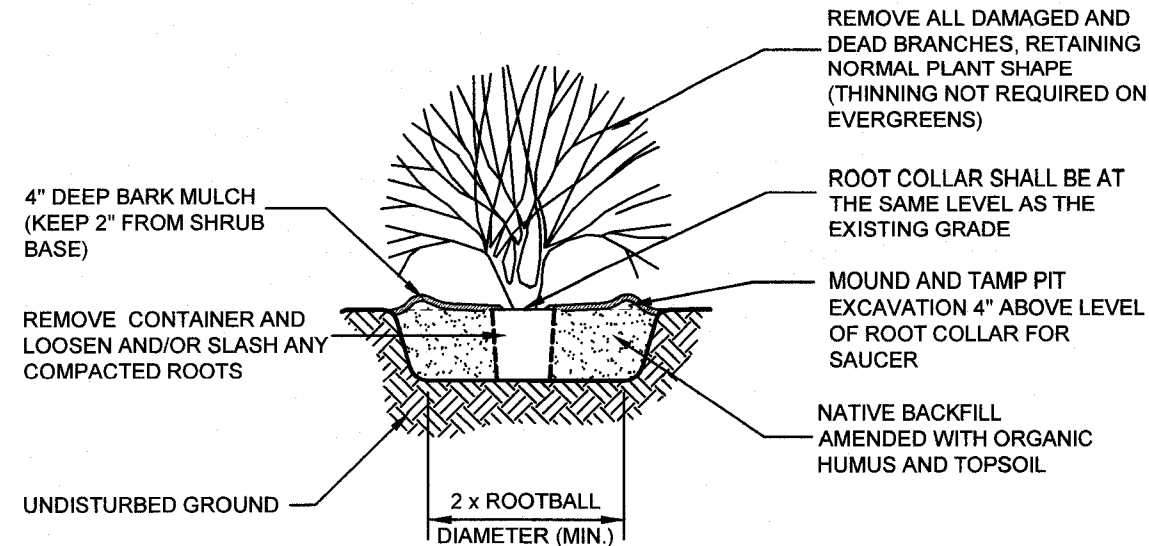


NOTE:
THIS DUMPSTER ENCLOSURE WILL ACCOMMODATE MOST 2, 4, 6 AND 8 CY DUMPSTERS.

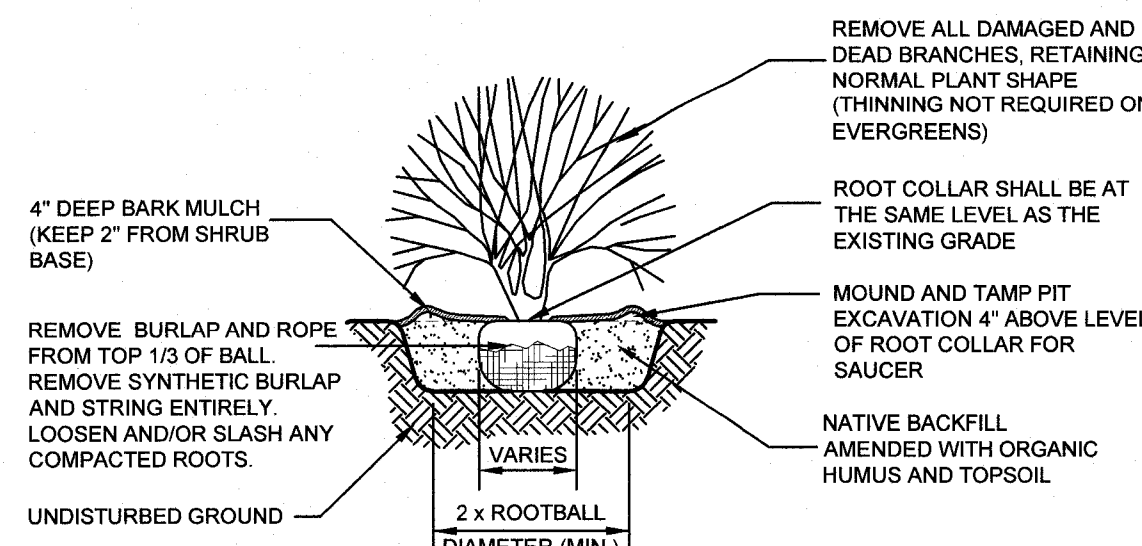
VINYL TRASH ENCLOSURE DETAIL
NOT TO SCALE
(MARCH 2008)



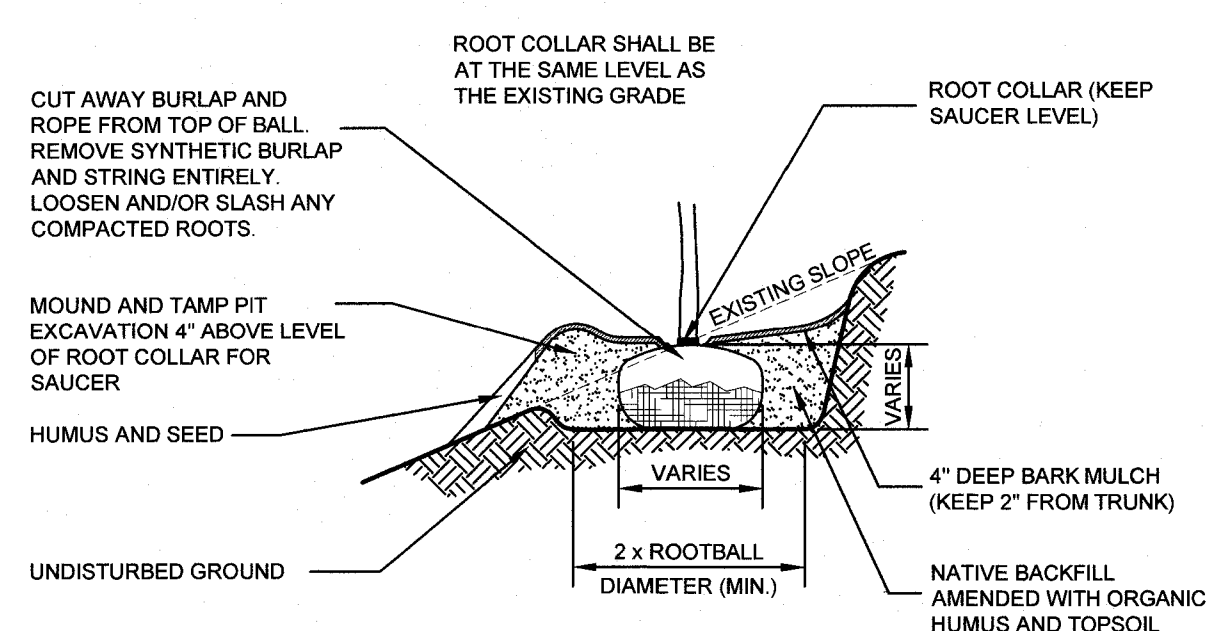
CONCRETE LIGHT POLE BASE DETAIL
NOT TO SCALE
(MARCH 2008)



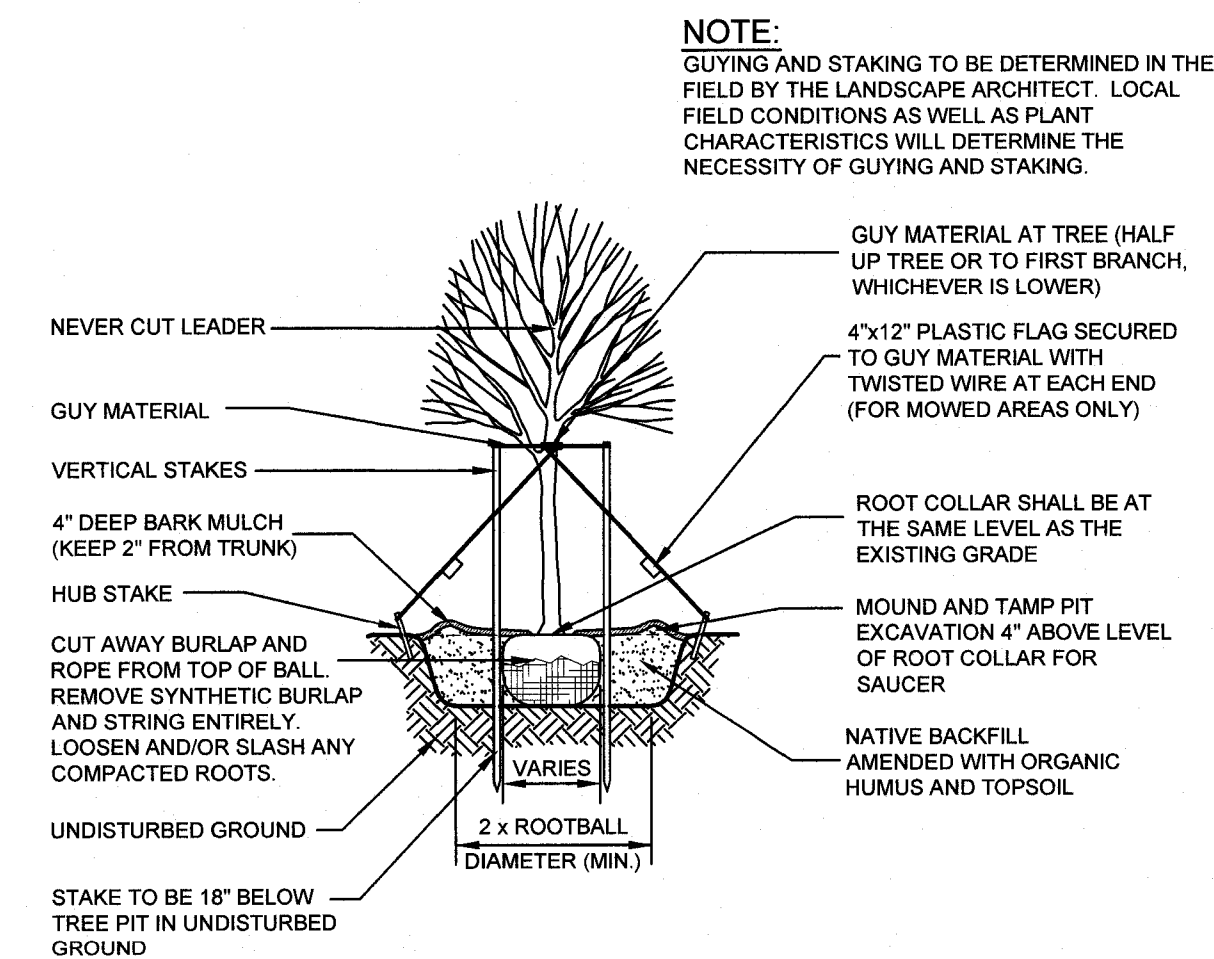
CONTAINER SHRUB PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



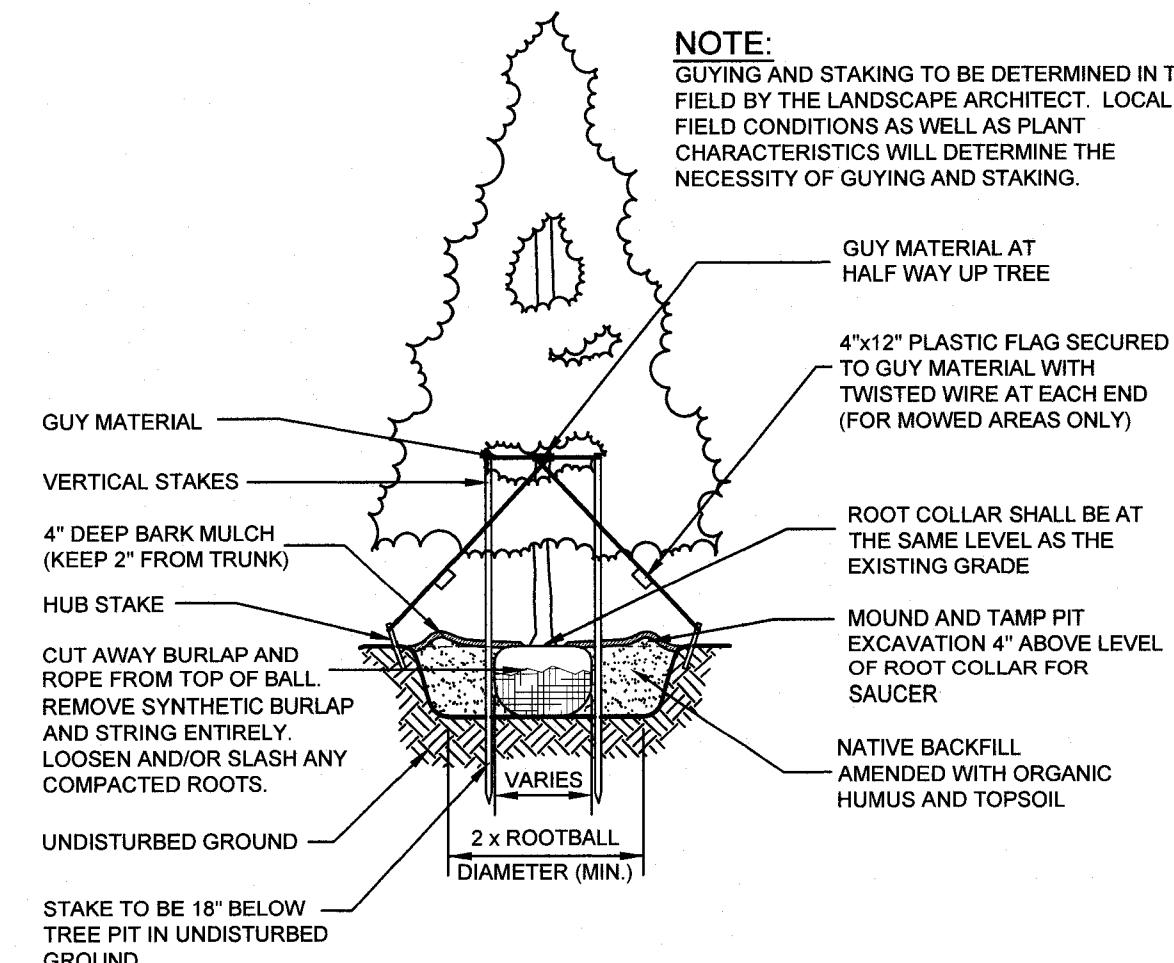
BALLED & BURLAP SHRUB PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



TYPICAL PLANTING PIT ON SLOPE 4:1 OR GREATER
NOT TO SCALE
(JANUARY 2012)



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)

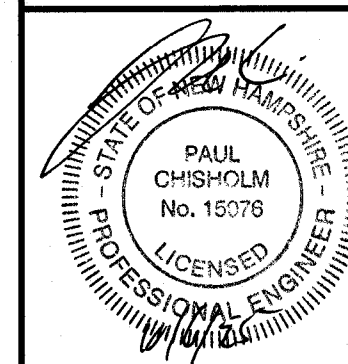
**CONSTRUCTION DETAILS
INDUSTRIAL COMPLEX**

MAP 105; LOT 20
16 BRADY DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

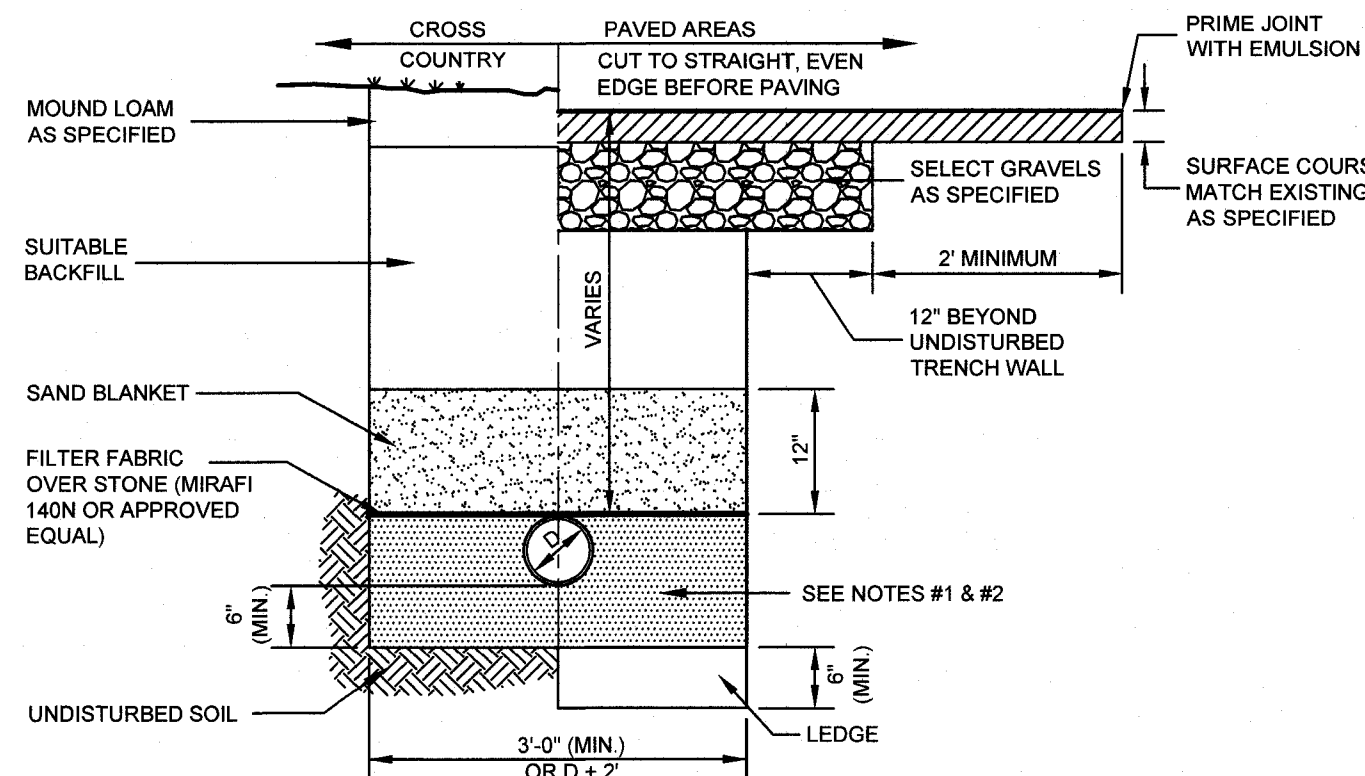
OWNER OF RECORD:
MSE PROPERTIES LLC
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HUDSON, NH 03051
H.C.R.D. BK. 9827; PG. 487

APPLICANT:
KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY
1	10-06-2025	REVISION BY TOWN REVIEW	KC
DATE: AUGUST 5, 2025		SCALE: AS-NOTED	
PROJECT NO: 24-1220-1		SHEET 12 OF 15	



NOTES

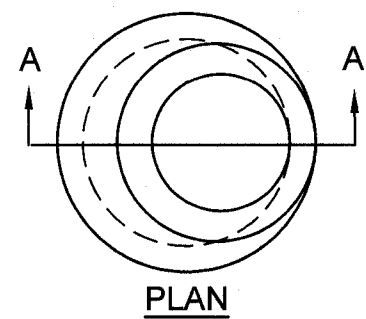
1. THOROUGHLY COMPACTED SCREENED GRAVEL FOR RCP PIPE. SCREENED GRAVEL TO EXTEND TO SELECT FILL LINE.
2. FOR HDPE OR PVC PIPE, BEDDING SHALL BE 3/4" STONE TO THE TOP OF THE PIPE.

STORM DRAINAGE TRENCH DETAIL

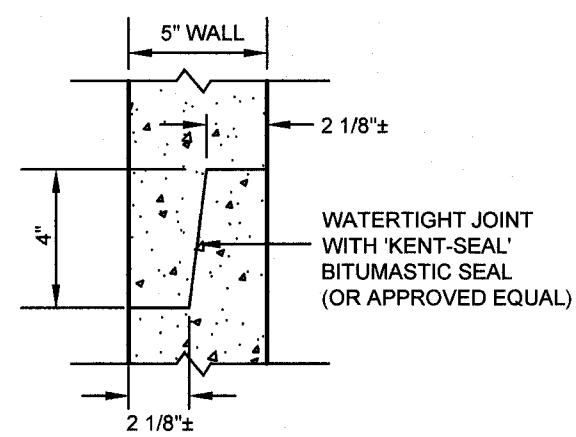
NOT TO SCALE
(MARCH 2008)

NOTES

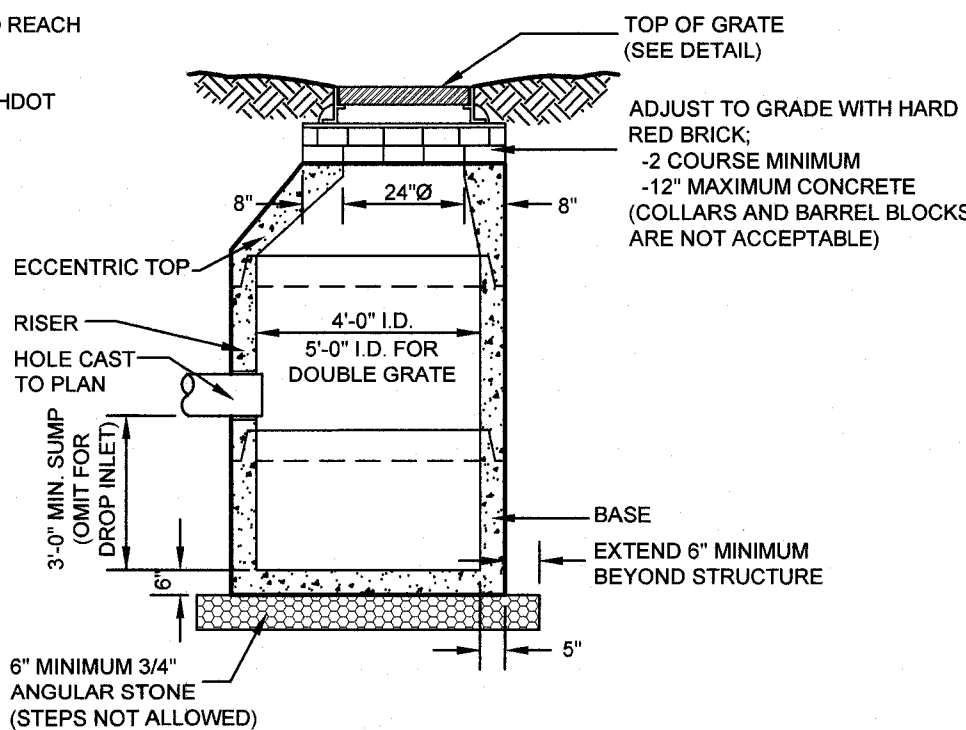
1. ALL SECTIONS SHALL BE CONCRETE CLASS AA(4000 PSI). CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCH PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
2. THE TONGUE OR GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCH PER LINEAR FOOT.
3. RISER OF 1', 2', 3' & 4' CAN BE USED TO REACH DESIRED DEPTH.
4. MATERIALS AND CONSTRUCTION TO NHDOT STANDARDS.



PLAN



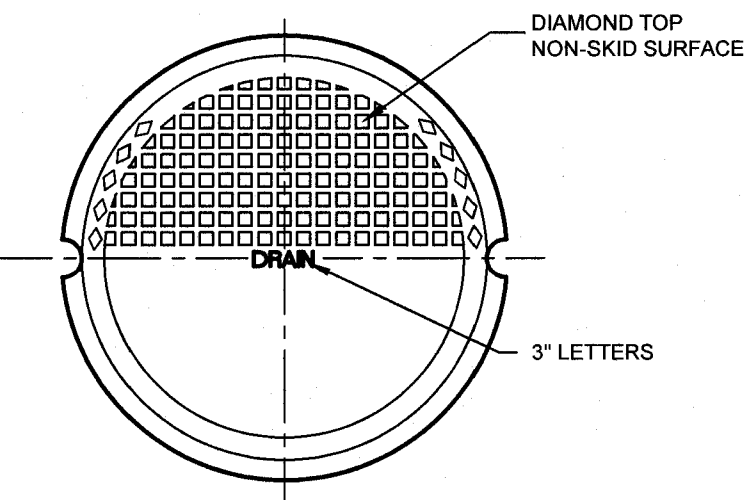
DETAIL OF TONGUE AND GROOVE JOINT



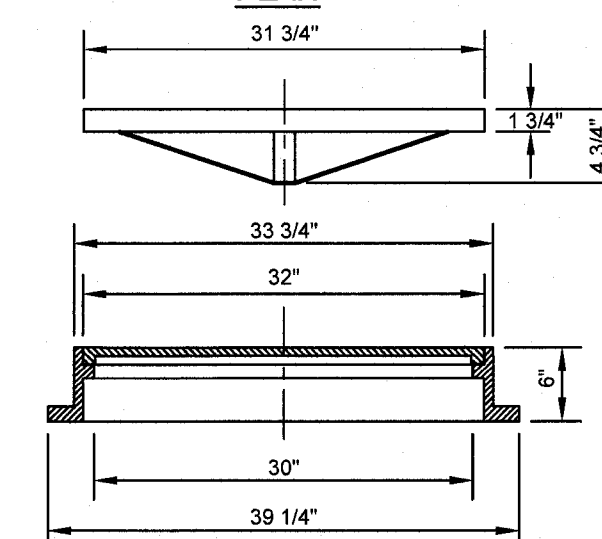
SECTION A-A

PRECAST REINFORCED CATCH BASIN

NOT TO SCALE
(MAY 2012)



PLAN



SECTION

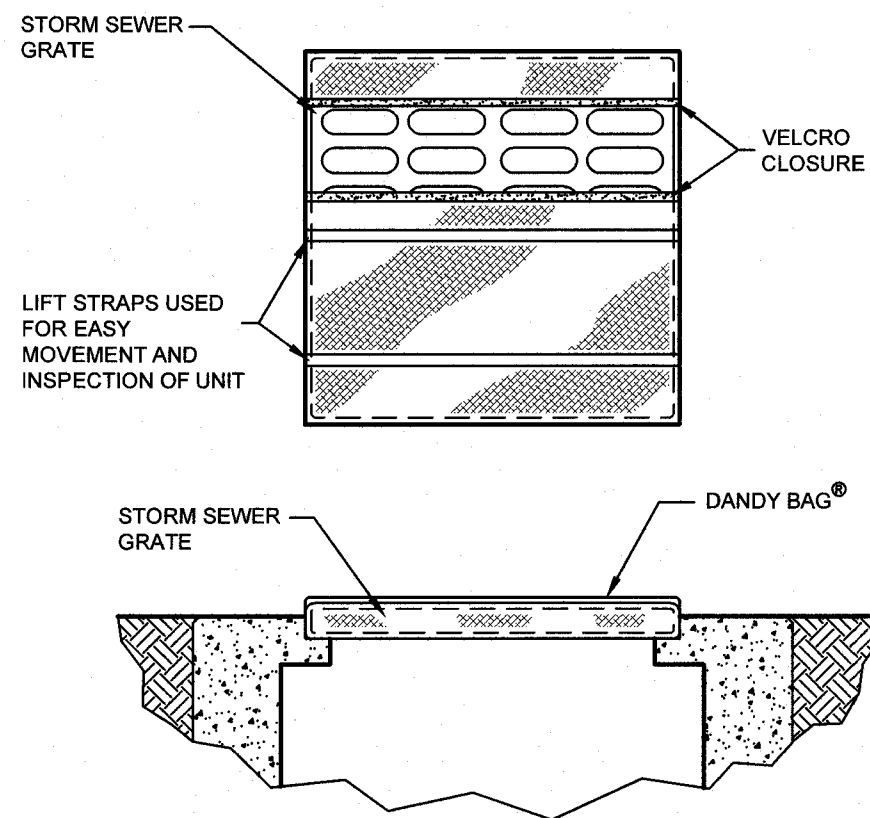
DRAIN MANHOLE FRAME AND COVER DETAIL
NOT TO SCALE

NOTES

NEW HAMPSHIRE MAINTAINS A CLEAR OPENING DESIGNATION OF 30\"/>

- FEATURES:**
- 3\"/>

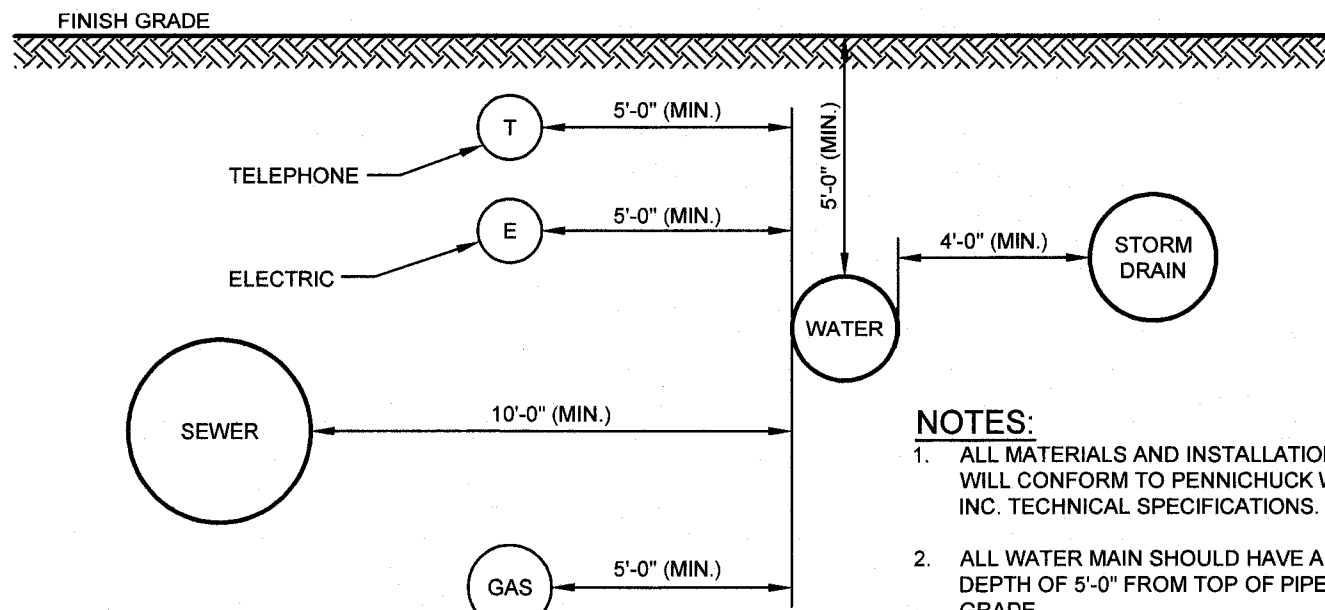
- SPECIFICATIONS:**
- FULLY MACHINED FRAME AND COVER
 - H-20 LOAD RATED
 - GRAY CAST IRON MEETS ASTM A48 CLASS 30



HI-FLOW DANDY BAG® (SAFETY ORANGE)

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	kN (lbs)	1.62 (365) x 0.89 (200)
GRAB TENSILE ELONGATION	ASTM D 4632	%	24 x 10
PUNCTURE STRENGTH	ASTM D 4633	kN (lbs)	0.40 (90)
MULLEN BURST STRENGTH	ASTM D 3786	kPa (psi)	3097 (450)
TRAPEZOID TEAR STRENGTH	ASTM D 4533	kN (lbs)	0.51 (115) x 0.33 (75)
UV RESISTANCE	ASTM D 4355	%	90
APPARENT OPENING SIZE	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
FLOW RATE	ASTM D 4491	1/min/m ² (gal/min/ft ²)	5907 (145)
PERMITTIVITY	ASTM D 4491	Sec ⁻¹	2.1

DANDY BAG®
NOT TO SCALE
(APRIL 2010)

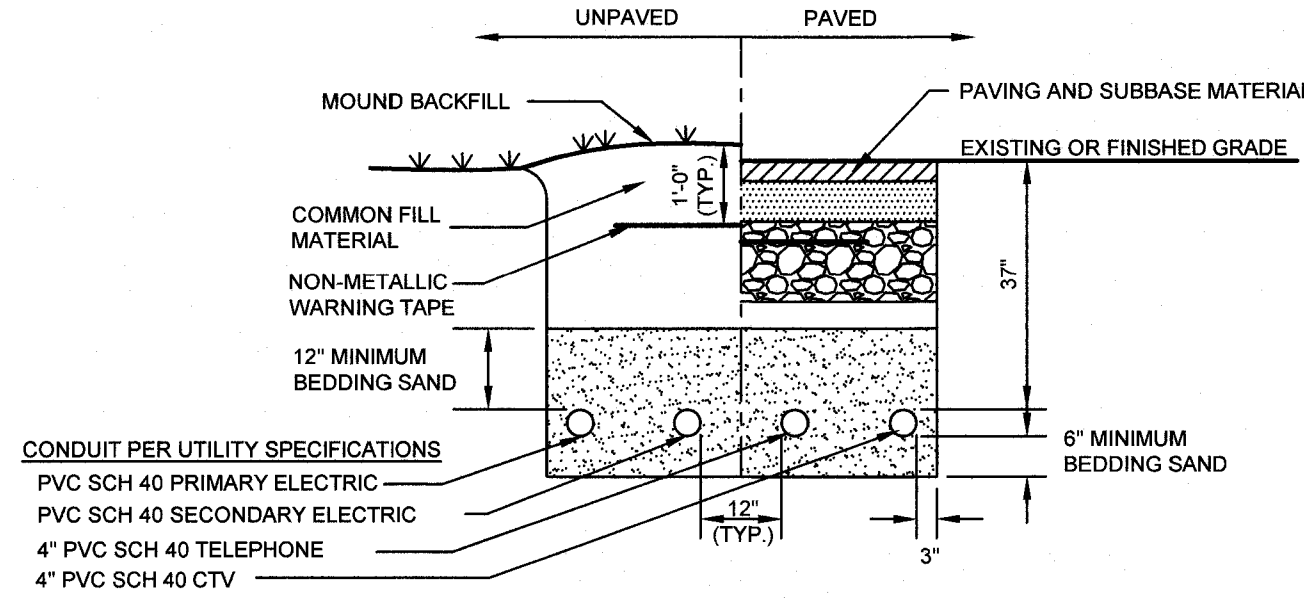


NOTES

1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO PENNICHUCK WATER WORKS, INC. TECHNICAL SPECIFICATIONS.
2. ALL WATER MAIN SHOULD HAVE A MINIMUM DEPTH OF 5'-0\"/>

UTILITY SEPARATION (MAIN) DETAIL

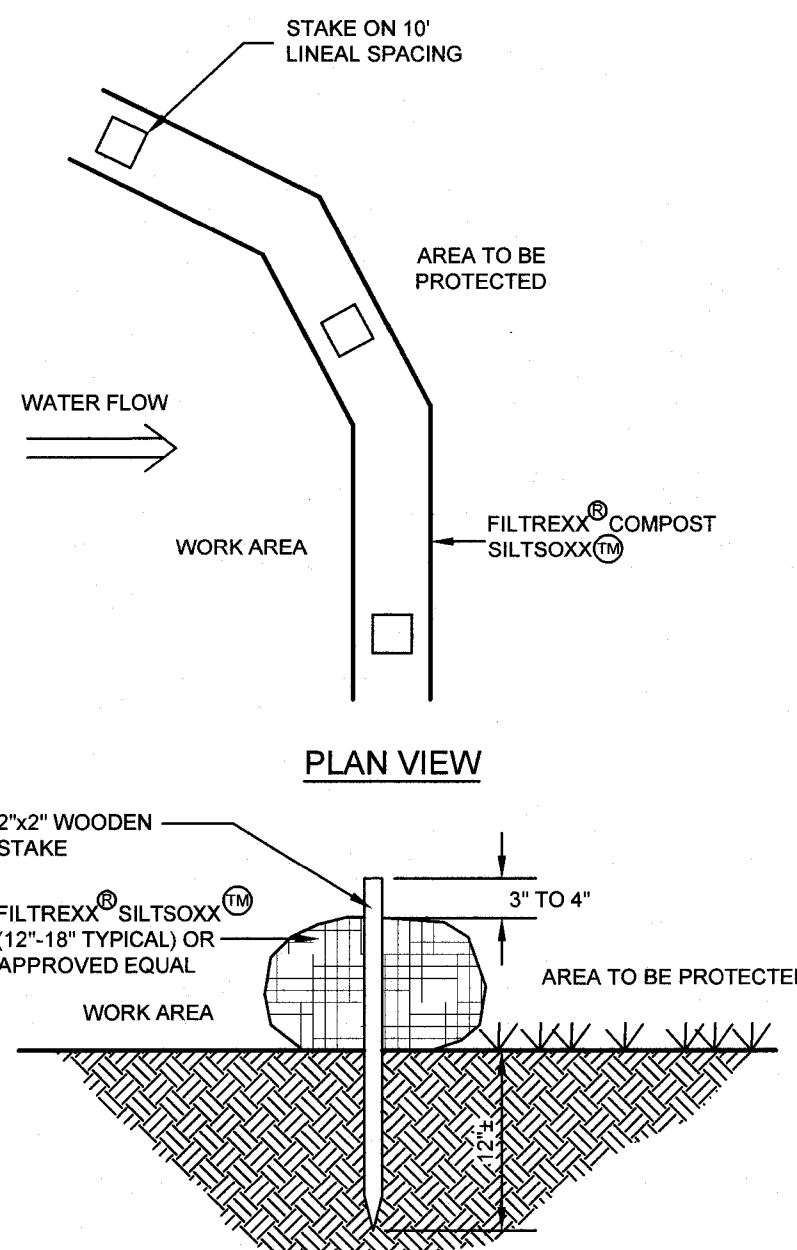
(A-01)
NOT TO SCALE
(MARCH 2008)



NOTES

1. INSTALLATION AND MATERIALS OF UNDERGROUND UTILITIES SHALL CONFORM TO LOCAL UTILITY COMPANY SPECIFICATIONS.
2. COORDINATE WITH UTILITY COMPANIES PRIOR TO THE START OF CONSTRUCTION.

UTILITY TRENCH DETAIL NOT TO SCALE



SECTION VIEW

NOTES

1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
2. SILTISOXX® COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
3. SILTISOXX® DEPICTED IS FOR MINIMUM SLOPES. GREAT SLOPES MAY REQUIRE LARGER SOCKS PER THE ENGINEER.
4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

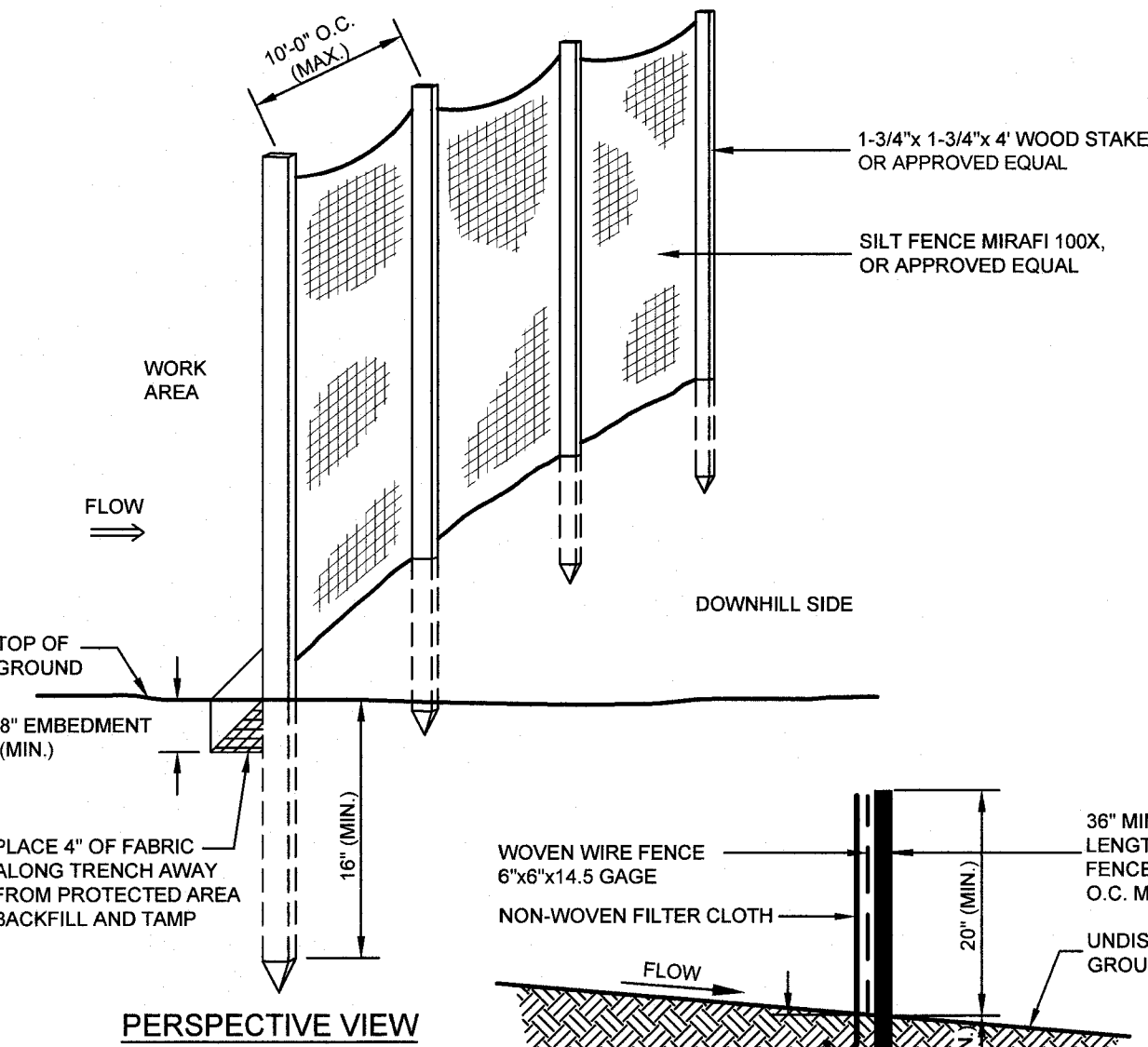
FILTREXX® SILTISOXX® DETAIL
NOT TO SCALE
(AUGUST 2011)

CONSTRUCTION SPECIFICATIONS:

1. THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
2. THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
3. WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIE OR STAPLES WHERE NOTED OR AS DIRECTED BY DESIGN ENGINEER.
4. FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MIDSECTION AND BOTTOM.
5. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
6. FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
7. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.

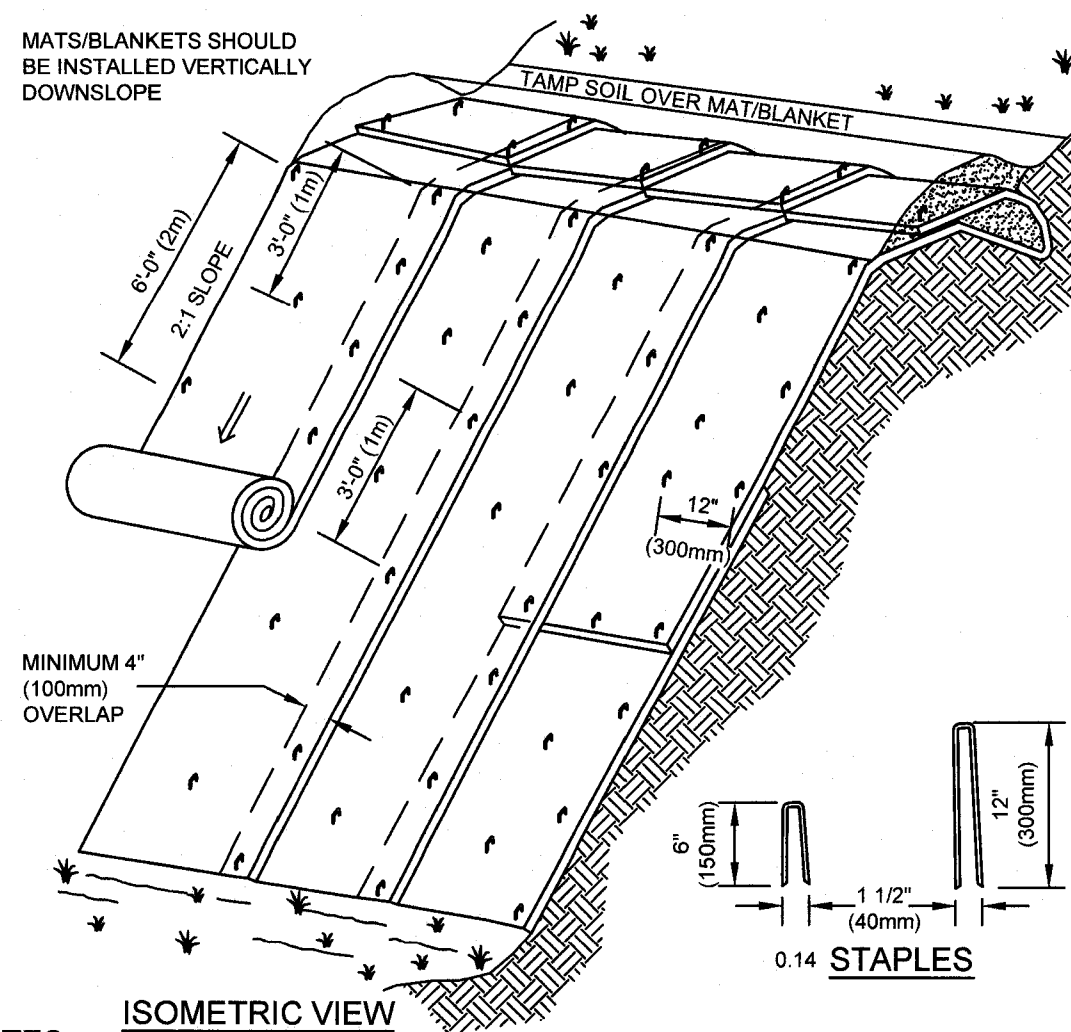
MAINTENANCE:

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.



SILT FENCE DETAIL

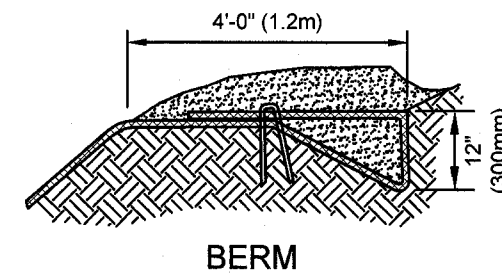
NOT TO SCALE
(MARCH 2008)



ISOMETRIC VIEW

NOTES

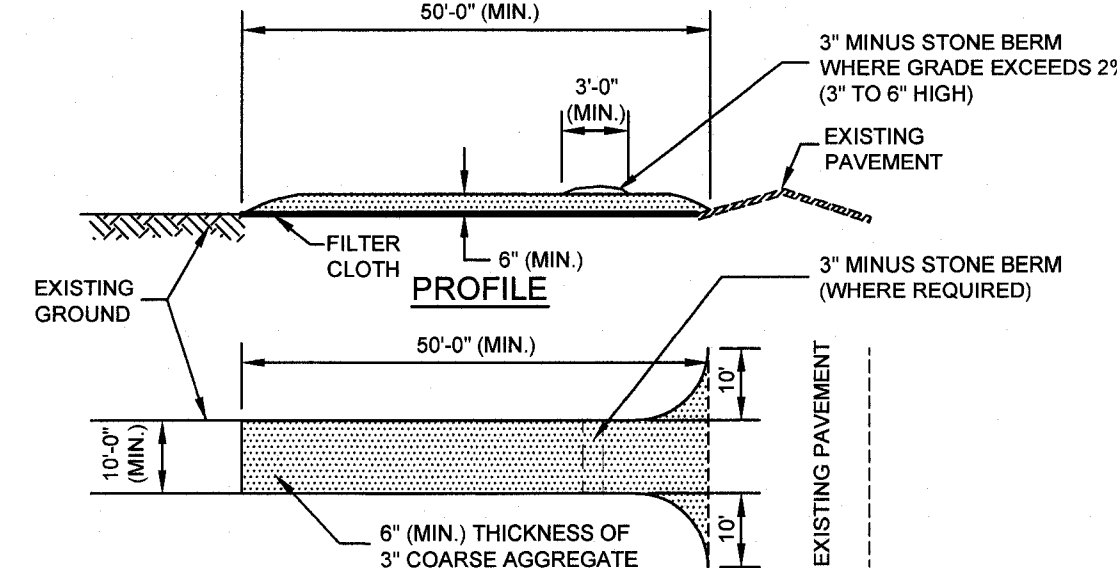
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/ BLANKETS SHALL HAVE GOOD SOIL CONTACT.
2. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
4. EROSION BLANKETS TO BE A BCN150 OR AN APPROVED ALTERNATIVE WHICH MUST CONSIST OF ALL NATURAL FIBERS.



BERM

EROSION CONTROL BLANKETS - SLOPE INSTALLATION

NOT TO SCALE
(AUGUST 2011)



PLAN VIEW

STABILIZED CONSTRUCTION EXIT DETAIL

NOT TO SCALE

MAINTENANCE:

1. MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE CRUSHED STONE AND THE EFFECTIVENESS OF THE CRUSHED STONE PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW CRUSHED STONE OR COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.
2. IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

CONSTRUCTION SPECIFICATIONS:

1. STONE FOR A STABILIZED CONSTRUCTION EXIT SHALL BE 3 INCH MINIMUM STONE, RECLAIMED STONE OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED EXIT SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED EXIT SHALL NOT BE LESS THAN 3 INCHES.
4. THE WIDTH OF THE EXIT SHALL NOT BE LESS THAN THE FULL WIDTH OF THE AREA WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION EXIT SHALL BE PIPED BENEATH THE EXIT. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
8. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. THE MOUNTABLE BERM IS REQUIRED FOR 50' LONG EXITS.

CONSTRUCTION DETAILS

INDUSTRIAL COMPLEX

MAP 105, LOT 20

16 BRADY DRIVE

HUDSON, NEW HAMPSHIRE

HILLSBOROUGH COUNTY

OWNER OF RECORD:

MSE PROPERTIES LLC
20 SENTER FARM ROAD
HUDSON, NH 03051
H.C.R.D. BK. 9827; PG. 487

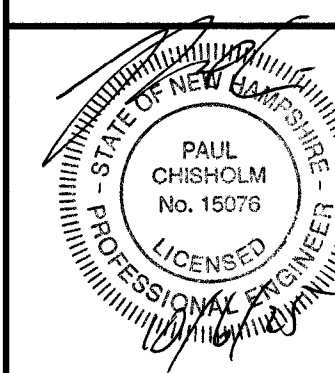
APPLICANT:

KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076

KMA

KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS

No.	DATE	DESCRIPTION	BY
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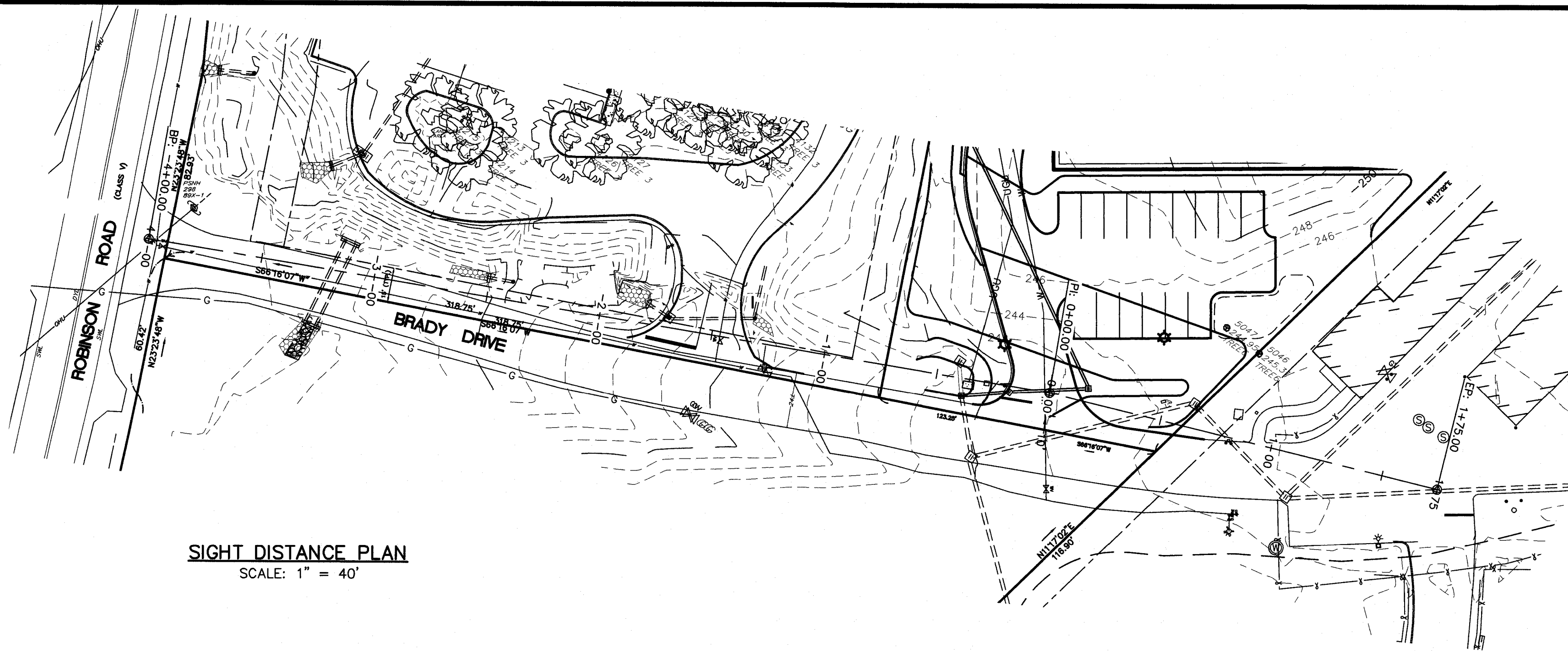
DATE: AUGUST 5, 2025

SCALE: AS-NOTED

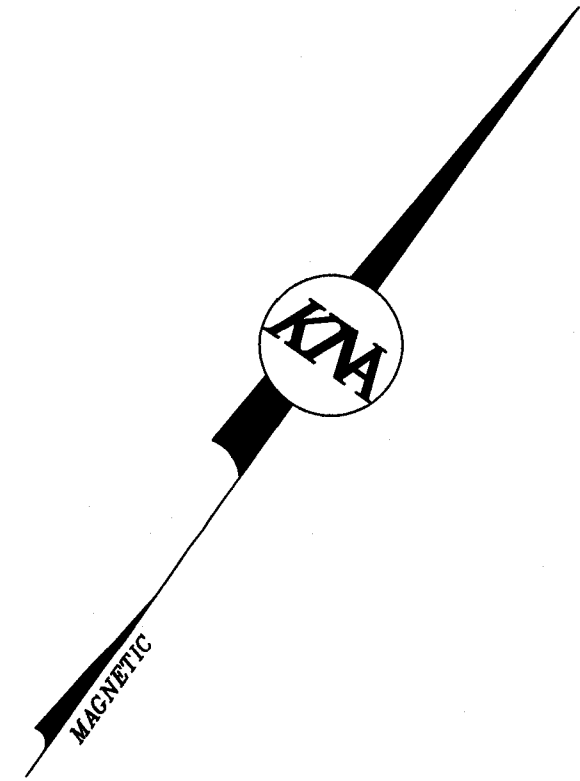
PROJECT NO: 24-1220-1

SHEET 13 OF 15

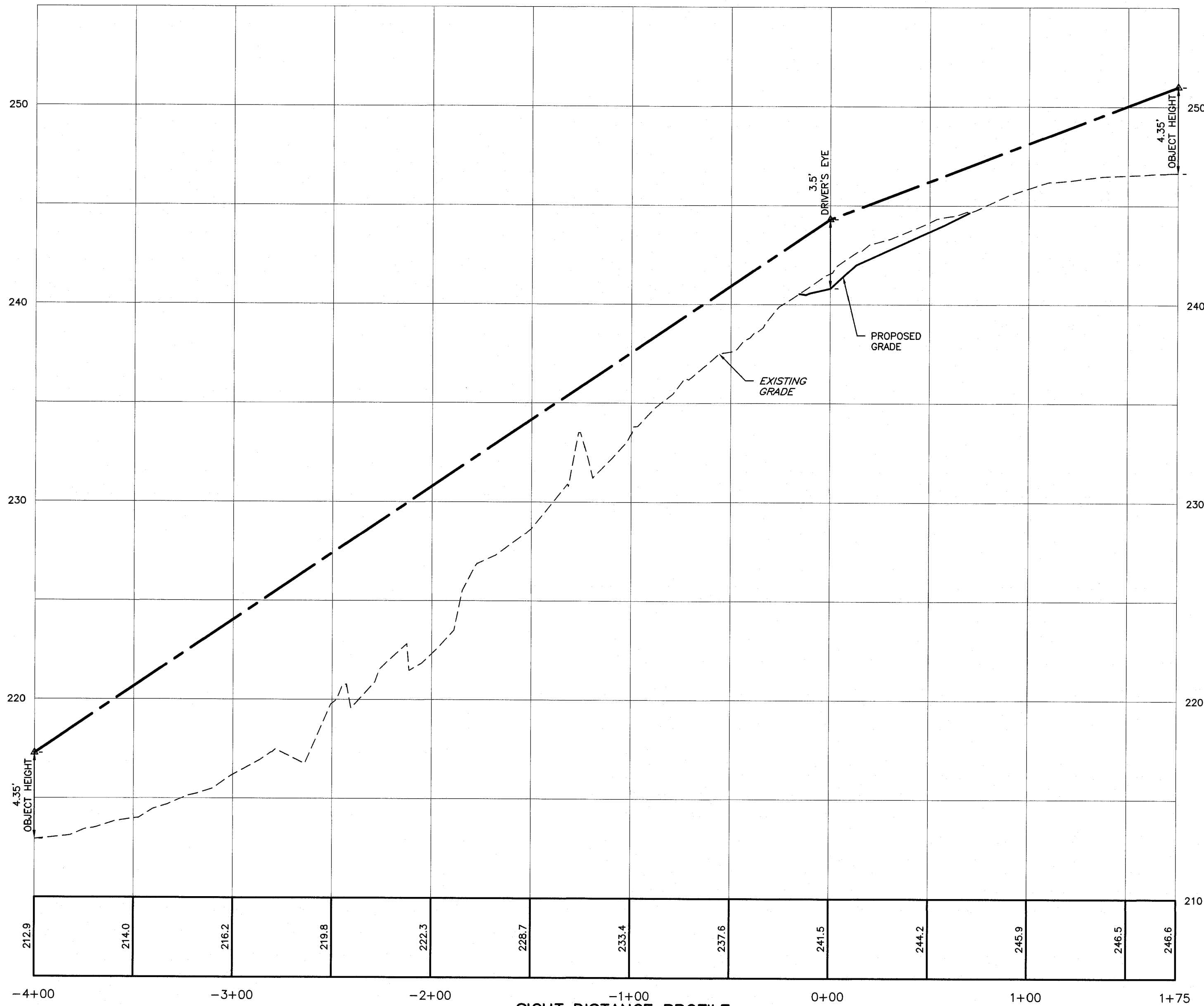
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No.	DATE	DESCRIPTION	BY
1	10-06-2025	REVISION BY TOWN REVIEW	KC
DATE: AUGUST 5, 2025		SCALE: AS-NOTED	
PROJECT NO: 24-1220-1		SHEET 14 OF 15	



SIGHT DISTANCE PLAN
SCALE: 1" = 40'



- LEGEND**
- EXISTING CONCRETE BOUND
 - EXISTING IRON PIN
 - EXISTING DRILL HOLE
 - EXISTING DRAIN MANHOLE
 - EXISTING SEWER MANHOLE
 - EXISTING CATCH BASIN
 - EXISTING ROUND CATCH BASIN
 - EXISTING SIGN
 - EXISTING LAMP POST
 - EXISTING UTILITY POLE
 - EXISTING WATER VALVE
 - EXISTING GAS VALVE
 - EXISTING HYDRANT
 - EXISTING TREELINE
 - EXISTING SOILS BOUNDARY
 - EXISTING OVERHEAD UTILITY LINE
 - EXISTING GAS LINE
 - EXISTING SEWER LINE
 - EXISTING DRAINAGE LINE
 - EXISTING EDGE OF PAVEMENT
 - EXISTING 10' CONTOUR
 - EXISTING 2' CONTOUR
 - EXISTING WETLAND DELINEATION
 - EXISTING EASEMENT
 - BUILDING SETBACK
 - PROPOSED OF PAVEMENT
 - PROPOSED SLOPED GRANITE CURB



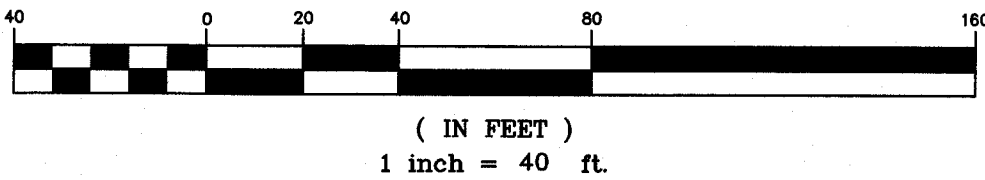
SIGHT DISTANCE PROFILE
SCALE: 1" = 40' (HORIZ.)
1" = 4' (VERT.)



NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND. THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.

GRAPHIC SCALE



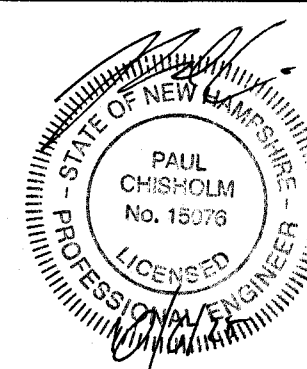
SITE DISTANCE PLAN
INDUSTRIAL COMPLEX
MAP 105; LOT 20
16 BRADY DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
MSE PROPERTIES LLC
20 SENTER FARM ROAD
HUDSON, NH 03051
H.C.R.D. BK. 9827; PG. 487

APPLICANT:
KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076



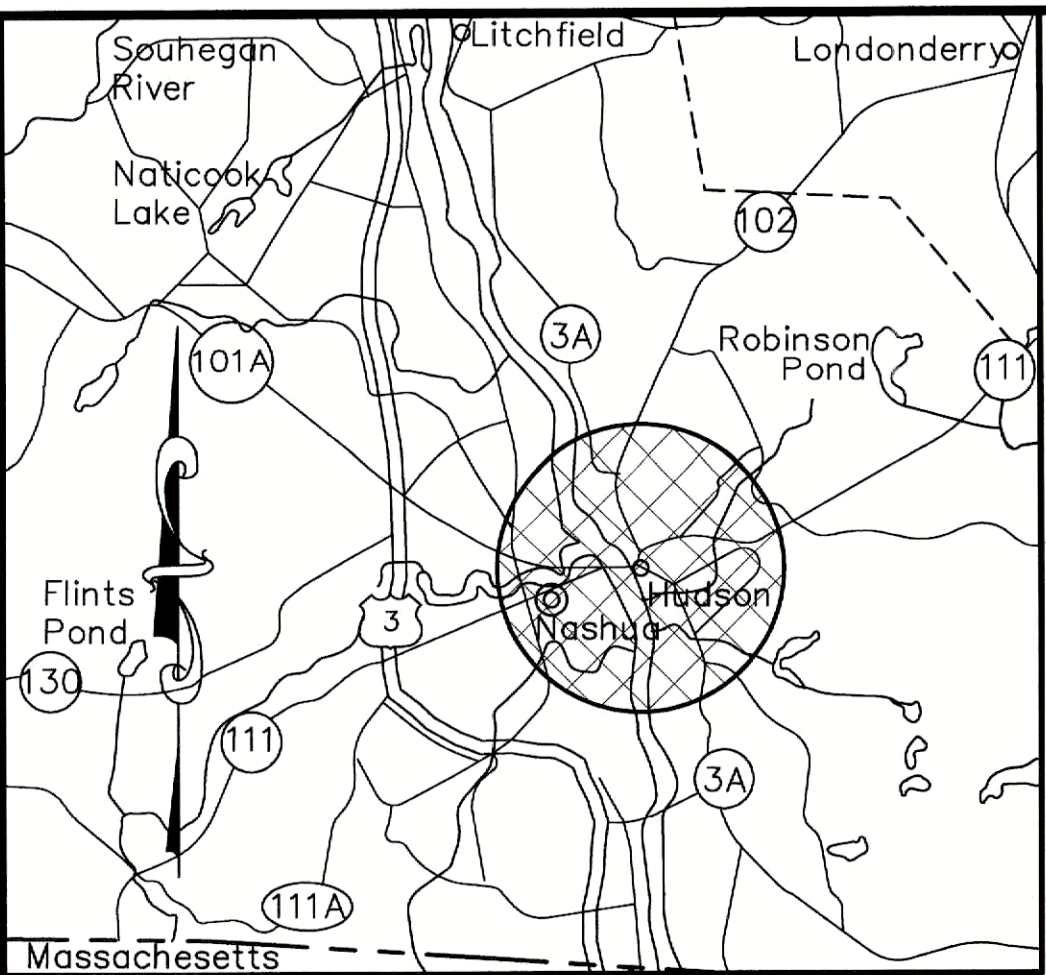
KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881



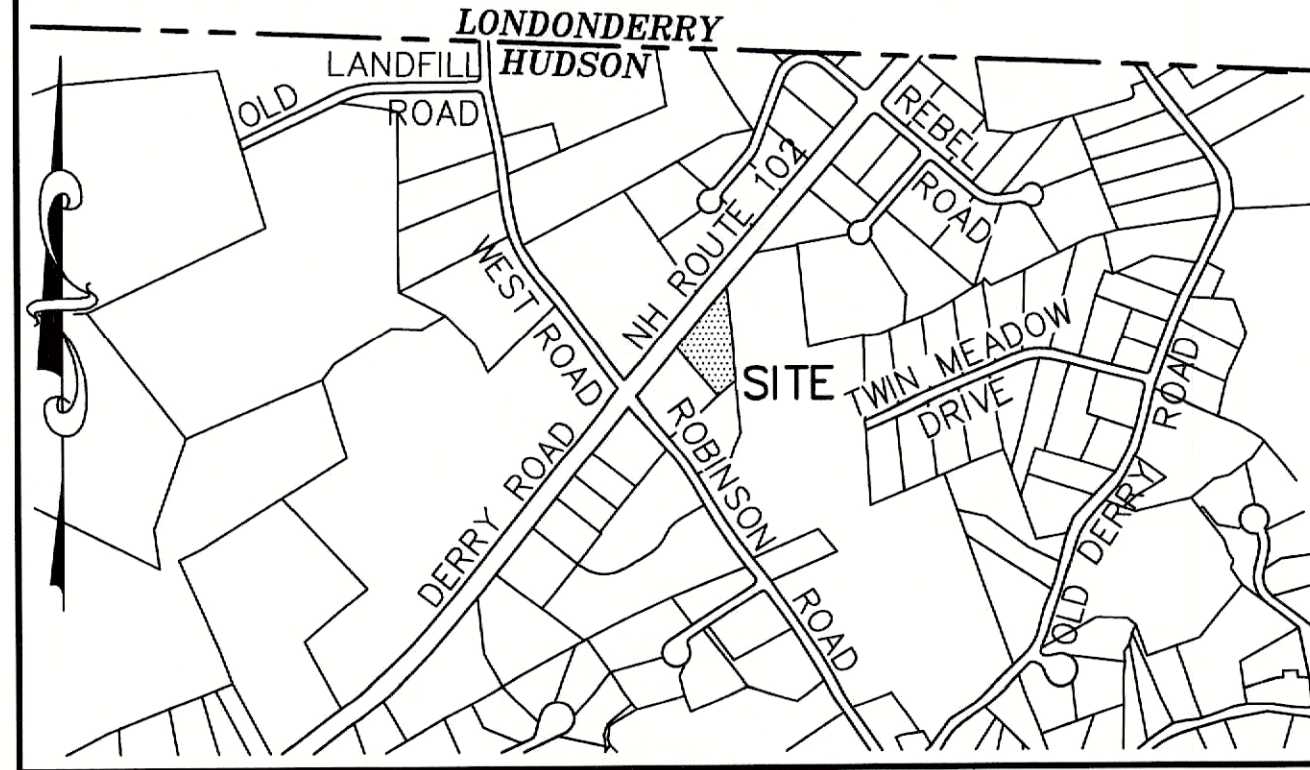
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No.	DATE	DESCRIPTION	BY
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DATE: AUGUST 5, 2025		SCALE: 1" = 40'	
PROJECT NO: 24-1220-1		SHEET 15 OF 15	

POST-DEVELOPMENT DRAINAGE AREA PLAN

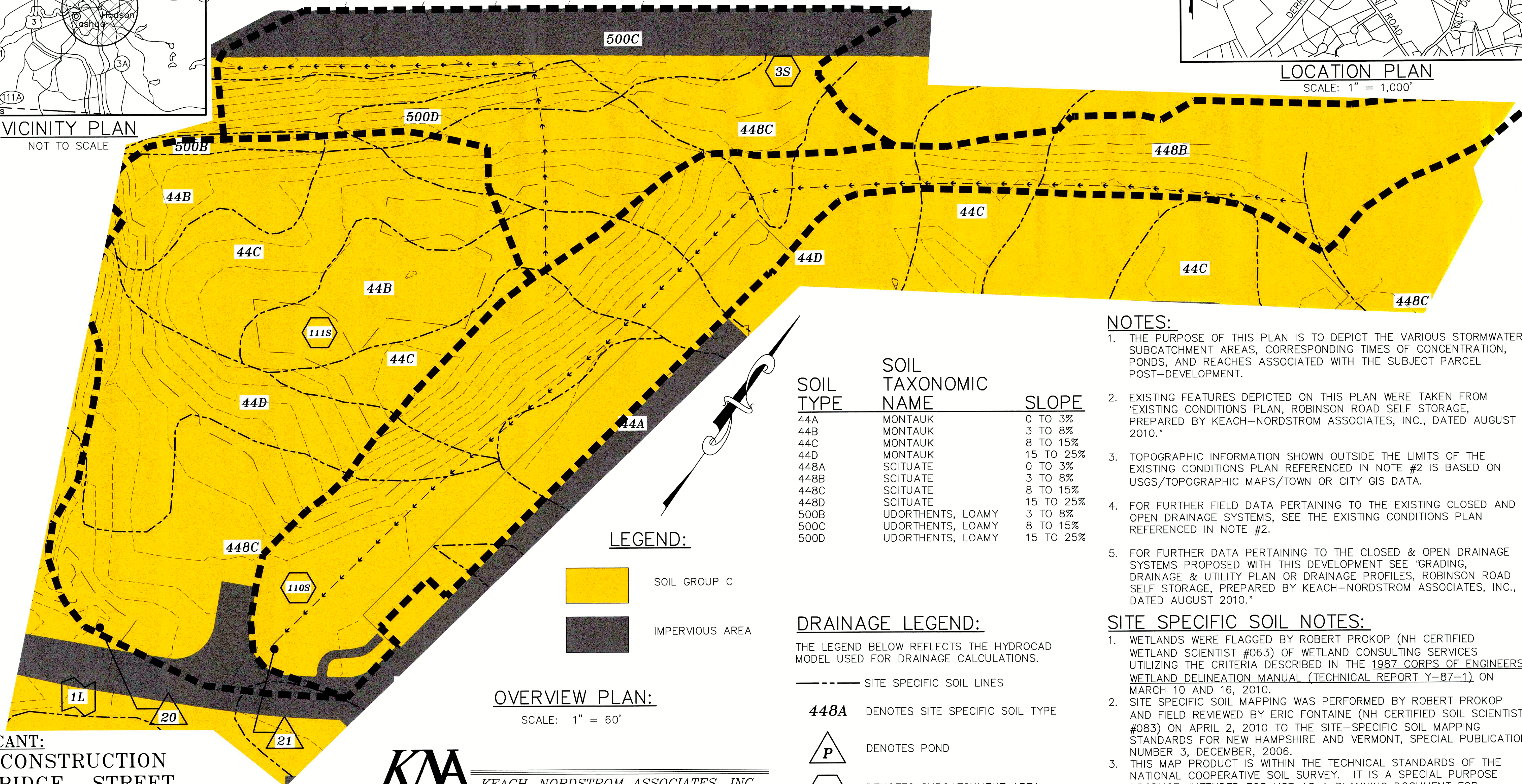
16 BRADY DRIVE



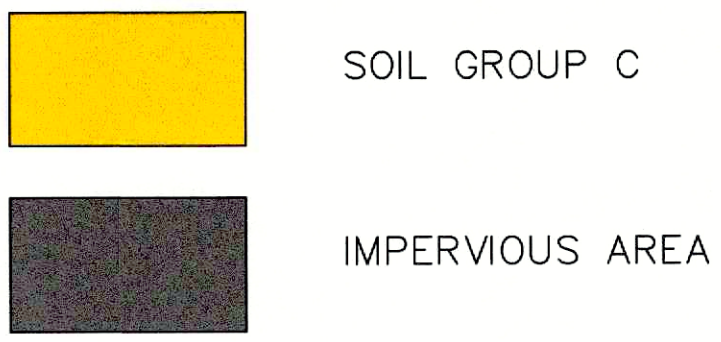
VICINITY PLAN
NOT TO SCALE



LOCATION PLAN
SCALE: 1" = 1,000'



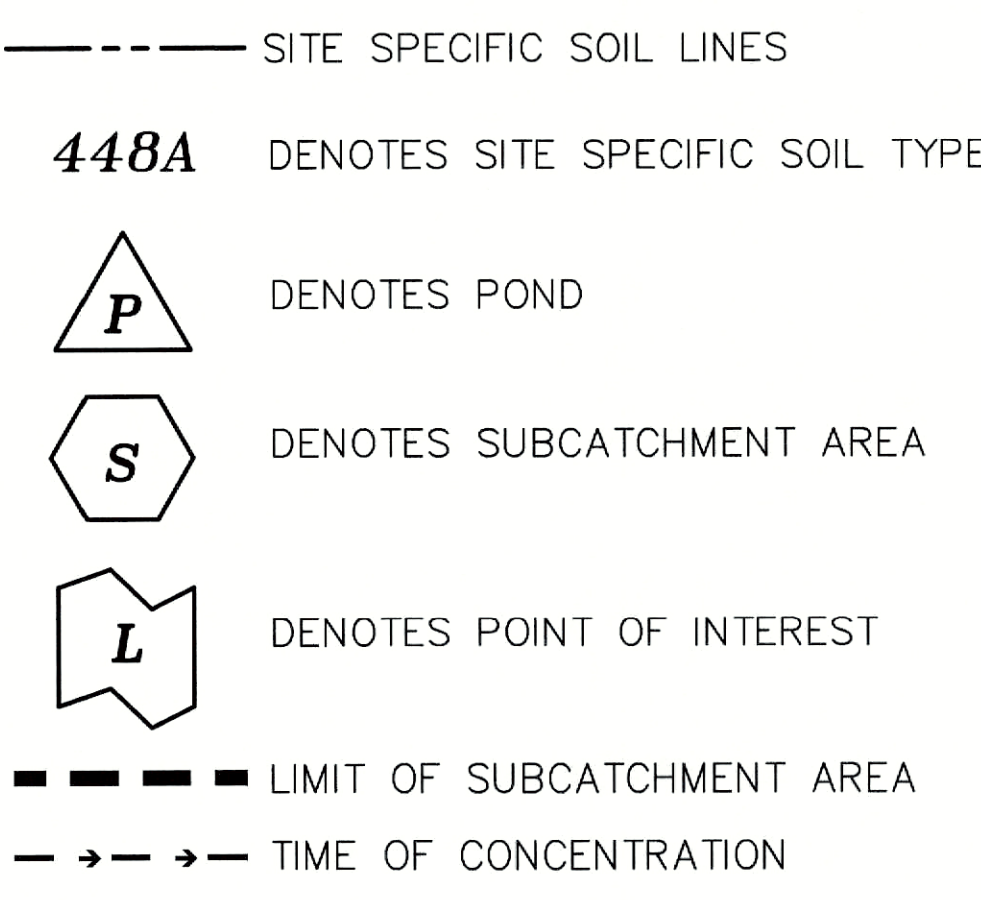
LEGEND:



SOIL TYPE	SOIL TAXONOMIC NAME	SLOPE
44A	MONTAUK	0 TO 3%
44B	MONTAUK	3 TO 8%
44C	MONTAUK	8 TO 15%
44D	MONTAUK	15 TO 25%
448A	SCITUATE	0 TO 3%
448B	SCITUATE	3 TO 8%
448C	SCITUATE	8 TO 15%
448D	SCITUATE	15 TO 25%
500B	UDORTHENTS, LOAMY	3 TO 8%
500C	UDORTHENTS, LOAMY	8 TO 15%
500D	UDORTHENTS, LOAMY	15 TO 25%

DRAINAGE LEGEND:

THE LEGEND BELOW REFLECTS THE HYDROCAD MODEL USED FOR DRAINAGE CALCULATIONS.



NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE VARIOUS STORMWATER SUBCATCHMENT AREAS, CORRESPONDING TIMES OF CONCENTRATION, PONDS, AND REACHES ASSOCIATED WITH THE SUBJECT PARCEL POST-DEVELOPMENT.
2. EXISTING FEATURES DEPICTED ON THIS PLAN WERE TAKEN FROM 'EXISTING CONDITIONS PLAN, ROBINSON ROAD SELF STORAGE, PREPARED BY KEACH-NORDSTROM ASSOCIATES, INC., DATED AUGUST 2010.'
3. TOPOGRAPHIC INFORMATION SHOWN OUTSIDE THE LIMITS OF THE EXISTING CONDITIONS PLAN REFERENCED IN NOTE #2 IS BASED ON USGS/TOPOGRAPHIC MAPS/TOWN OR CITY GIS DATA.
4. FOR FURTHER FIELD DATA PERTAINING TO THE EXISTING CLOSED AND OPEN DRAINAGE SYSTEMS, SEE THE EXISTING CONDITIONS PLAN REFERENCED IN NOTE #2.
5. FOR FURTHER DATA PERTAINING TO THE CLOSED & OPEN DRAINAGE SYSTEMS PROPOSED WITH THIS DEVELOPMENT SEE 'GRADING, DRAINAGE & UTILITY PLAN OR DRAINAGE PROFILES, ROBINSON ROAD SELF STORAGE, PREPARED BY KEACH-NORDSTROM ASSOCIATES, INC., DATED AUGUST 2010.'

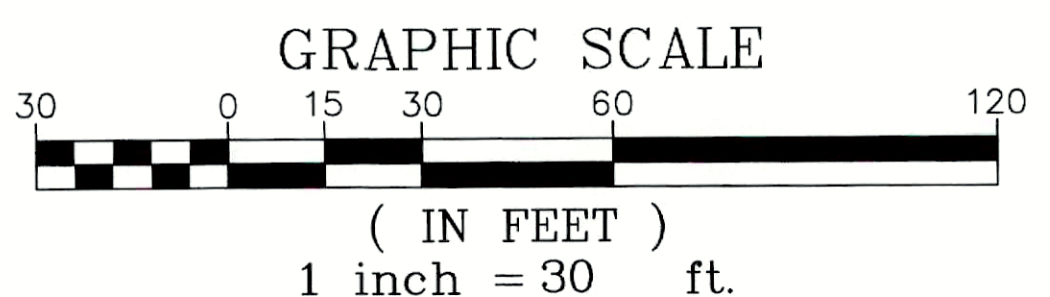
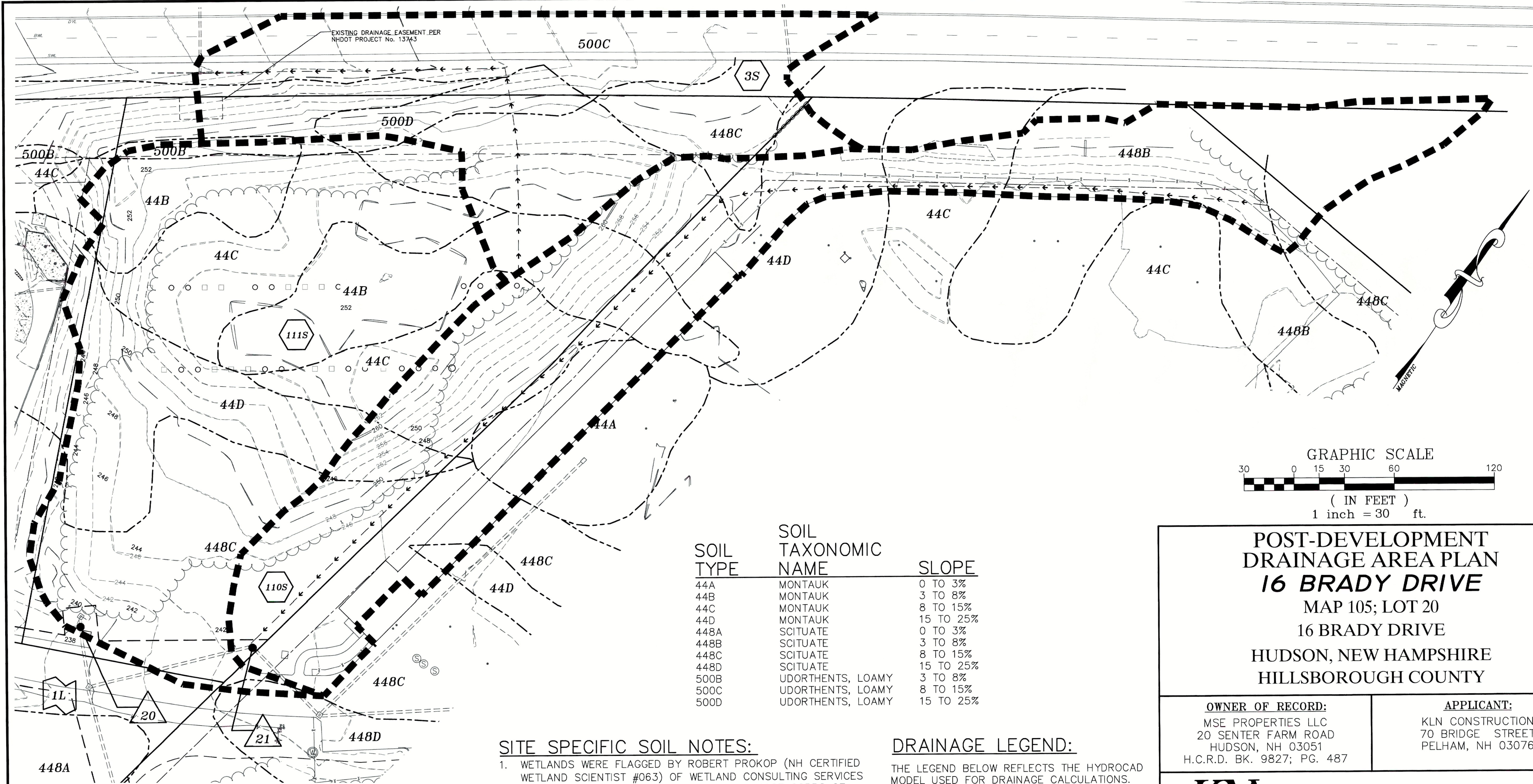
SITE SPECIFIC SOIL NOTES:

1. WETLANDS WERE FLAGGED BY ROBERT PROKOP (NH CERTIFIED WETLAND SCIENTIST #063) OF WETLAND CONSULTING SERVICES UTILIZING THE CRITERIA DESCRIBED IN THE 1987 CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1) ON MARCH 10 AND 16, 2010.
2. SITE SPECIFIC SOIL MAPPING WAS PERFORMED BY ROBERT PROKOP AND FIELD REVIEWED BY ERIC FONTAINE (NH CERTIFIED SOIL SCIENTIST #083) ON APRIL 2, 2010 TO THE SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT, SPECIAL PUBLICATION NUMBER 3, DECEMBER, 2006.
3. THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR USE AS A PLANNING DOCUMENT FOR RESIDENTIAL SUBDIVISION CONSTRUCTION. IT WAS PRODUCED BY A CERTIFIED SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE (NRCS). THERE IS A NARRATIVE REPORT DATED APRIL 6, 2010 THAT ACCOMPANIES THIS MAP.
4. THE SOIL MAP UNITS IDENTIFIED FOR TAX MAP 105; LOTS 17, 18, 19 & 20, THAT TOTALS APPROXIMATELY 22.35 ACRES, AND IS LOCATED OFF ROBINSON ROAD IN HUDSON, NEW HAMPSHIRE ARE IDENTIFIED BELOW USING THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, ISSUE #5, JANUARY 1999:

APPLICANT:
KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076

OWNER OF RECORD:
MSE PROPERTIES LLC
20 SENTER FARM ROAD
HUDSON, NH 03051

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B
Bedford, NH 03110
Phone (603) 627-2881
AUGUST 5, 2025
REVISED: OCTOBER 6, 2025
PROJECT NO. 24-1220-1



SOIL TYPE	SOIL TAXONOMIC NAME	SLOPE
44A	MONTAUK	0 TO 3%
44B	MONTAUK	3 TO 8%
44C	MONTAUK	8 TO 15%
44D	MONTAUK	15 TO 25%
448A	SCITUATE	0 TO 3%
448B	SCITUATE	3 TO 8%
448C	SCITUATE	8 TO 15%
448D	SCITUATE	15 TO 25%
500B	UDORTHENTS, LOAMY	3 TO 8%
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- THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR USE AS A PLANNING DOCUMENT FOR RESIDENTIAL SUBDIVISION CONSTRUCTION. IT WAS PRODUCED BY A CERTIFIED SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE (NRCS). THERE IS A NARRATIVE REPORT DATED APRIL 6, 2010 THAT ACCOMPANIES THIS MAP.
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DRAINAGE LEGEND:

- THE LEGEND BELOW REFLECTS THE HYDROCAD MODEL USED FOR DRAINAGE CALCULATIONS.
- SITE SPECIFIC SOIL LINES
 - 448A DENOTES SITE SPECIFIC SOIL TYPE
 - P DENOTES POND
 - S DENOTES SUBCATCHMENT AREA
 - L DENOTES POINT OF INTEREST
 - LIMIT OF SUBCATCHMENT AREA
 - - - - TIME OF CONCENTRATION

NOTES:

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE VARIOUS STORMWATER SUBCATCHMENT AREAS, CORRESPONDING TIMES OF CONCENTRATION, PONDS, AND REACHES ASSOCIATED WITH THE SUBJECT PARCEL POST-DEVELOPMENT.
- EXISTING FEATURES DEPICTED ON THIS PLAN WERE TAKEN FROM "EXISTING CONDITIONS PLAN, ROBINSON ROAD SELF STORAGE, PREPARED BY KEACH-NORDSTROM ASSOCIATES, INC., DATED AUGUST 2010."
- TOPOGRAPHIC INFORMATION SHOWN OUTSIDE THE LIMITS OF THE EXISTING CONDITIONS PLAN REFERENCED IN NOTE #2 IS BASED ON USGS/TOPOGRAPHIC MAPS/TOWN OR CITY GIS DATA.
- FOR FURTHER FIELD DATA PERTAINING TO THE EXISTING CLOSED AND OPEN DRAINAGE SYSTEMS, SEE THE EXISTING CONDITIONS PLAN REFERENCED IN NOTE #2.
- FOR FURTHER DATA PERTAINING TO THE CLOSED & OPEN DRAINAGE SYSTEMS PROPOSED WITH THIS DEVELOPMENT SEE "GRADING, DRAINAGE & UTILITY PLAN OR DRAINAGE PROFILES, ROBINSON ROAD SELF STORAGE, PREPARED BY KEACH-NORDSTROM ASSOCIATES, INC., DATED AUGUST 2010."

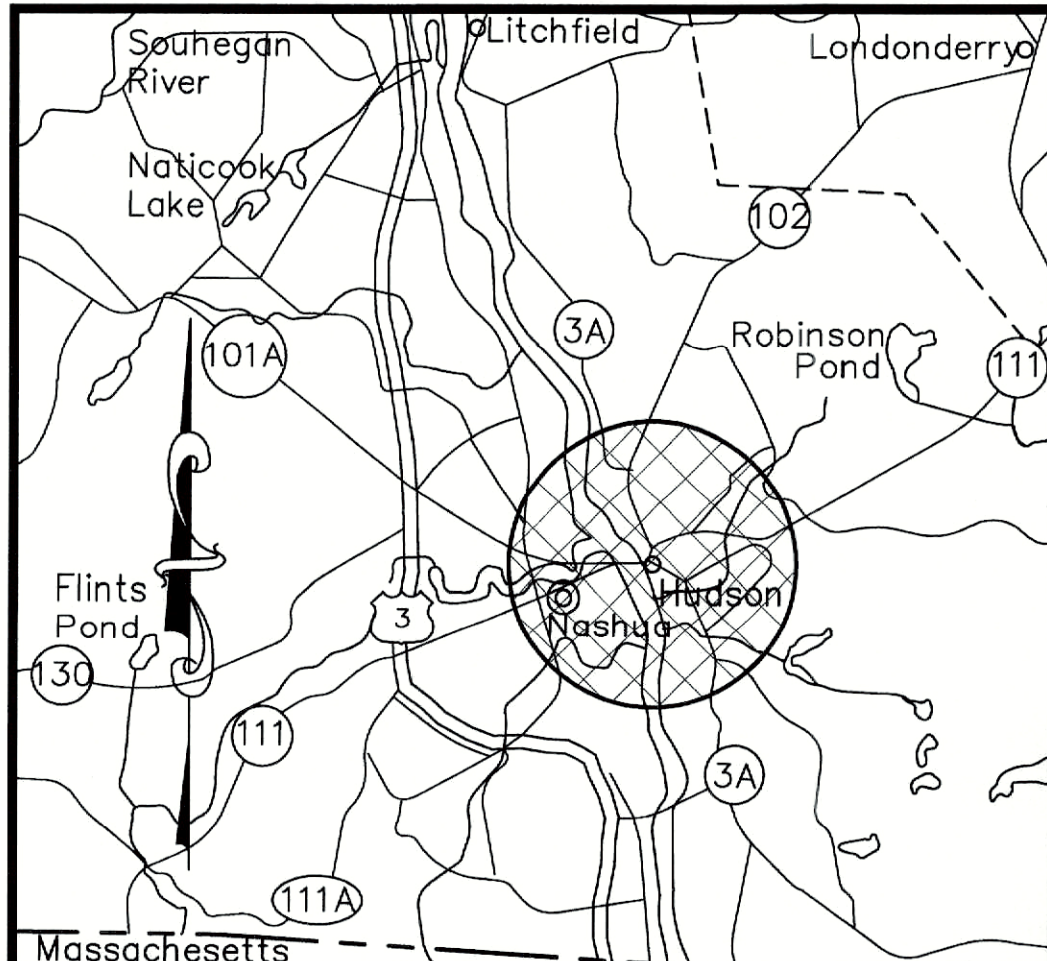
POST-DEVELOPMENT DRAINAGE AREA PLAN
16 BRADY DRIVE
MAP 105; LOT 20
16 BRADY DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
MSE PROPERTIES LLC
20 SENTER FARM ROAD
HUDSON, NH 03051
H.C.R.D. BK. 9827; PG. 487

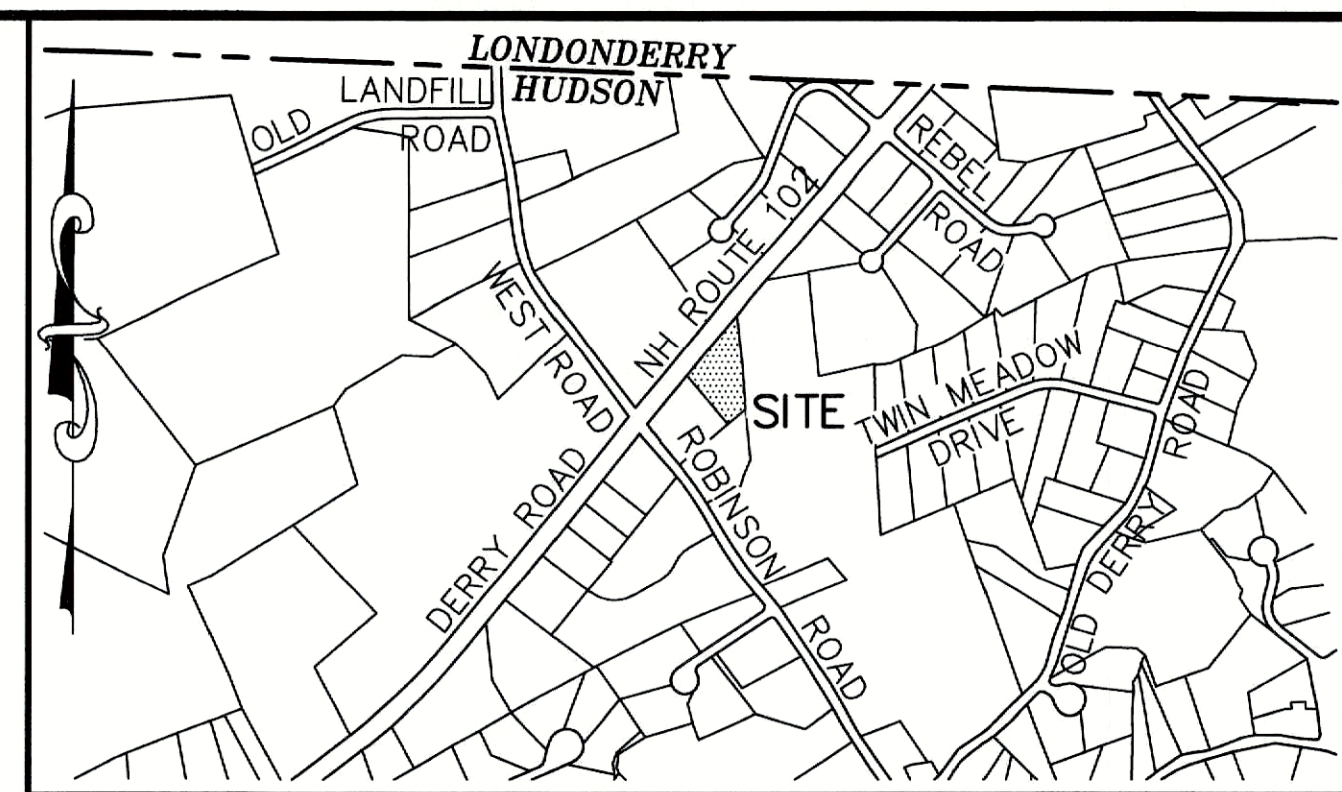
APPLICANT:
KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076

KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B
Bedford, NH 03110
Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	10-06-2025	REVISION BY TOWN REVIEW	KC
DATE: AUGUST 5, 2025		SCALE: 1" = 30'	
PROJECT NO: 24-1220-1		SHEET 1 OF 1	



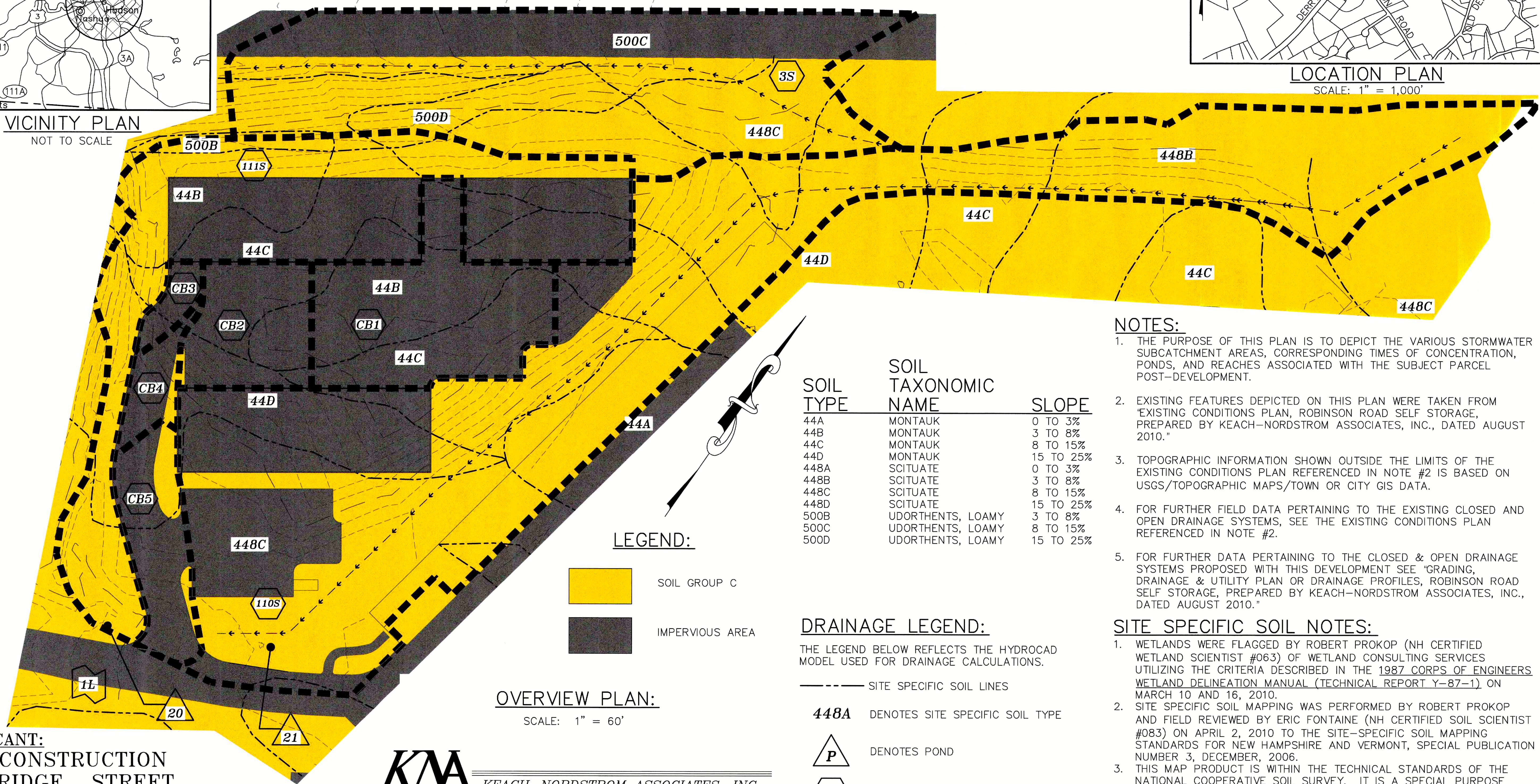
VICINITY PLAN
NOT TO SCALE



LOCATION PLAN
SCALE: 1" = 1,000'

FINAL-DEVELOPMENT DRAINAGE AREA PLAN

16 BRADY DRIVE



LEGEND:

- SOIL GROUP C
- IMPERVIOUS AREA

OVERVIEW PLAN:

SCALE: 1" = 60'

SOIL TYPE	SOIL TAXONOMIC NAME	SLOPE
44A	MONTAUK	0 TO 3%
44B	MONTAUK	3 TO 8%
44C	MONTAUK	8 TO 15%
44D	MONTAUK	15 TO 25%
448A	SCITUATE	0 TO 3%
448B	SCITUATE	3 TO 8%
448C	SCITUATE	8 TO 15%
448D	SCITUATE	15 TO 25%
500B	UDORTENTS, LOAMY	3 TO 8%
500C	UDORTENTS, LOAMY	8 TO 15%
500D	UDORTENTS, LOAMY	15 TO 25%

DRAINAGE LEGEND:

THE LEGEND BELOW REFLECTS THE HYDROCAD MODEL USED FOR DRAINAGE CALCULATIONS.

- SITE SPECIFIC SOIL LINES
- 448A DENOTES SITE SPECIFIC SOIL TYPE
- P DENOTES POND
- S DENOTES SUBCATCHMENT AREA
- L DENOTES POINT OF INTEREST
- LIMIT OF SUBCATCHMENT AREA
- - - - - TIME OF CONCENTRATION

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE VARIOUS STORMWATER SUBCATCHMENT AREAS, CORRESPONDING TIMES OF CONCENTRATION, PONDS, AND REACHES ASSOCIATED WITH THE SUBJECT PARCEL POST-DEVELOPMENT.
2. EXISTING FEATURES DEPICTED ON THIS PLAN WERE TAKEN FROM "EXISTING CONDITIONS PLAN, ROBINSON ROAD SELF STORAGE, PREPARED BY KEACH-NORDSTROM ASSOCIATES, INC., DATED AUGUST 2010."
3. TOPOGRAPHIC INFORMATION SHOWN OUTSIDE THE LIMITS OF THE EXISTING CONDITIONS PLAN REFERENCED IN NOTE #2 IS BASED ON USGS/TOPOGRAPHIC MAPS/TOWN OR CITY GIS DATA.
4. FOR FURTHER FIELD DATA PERTAINING TO THE EXISTING CLOSED AND OPEN DRAINAGE SYSTEMS, SEE THE EXISTING CONDITIONS PLAN REFERENCED IN NOTE #2.
5. FOR FURTHER DATA PERTAINING TO THE CLOSED & OPEN DRAINAGE SYSTEMS PROPOSED WITH THIS DEVELOPMENT SEE "GRADING, DRAINAGE & UTILITY PLAN OR DRAINAGE PROFILES, ROBINSON ROAD SELF STORAGE, PREPARED BY KEACH-NORDSTROM ASSOCIATES, INC., DATED AUGUST 2010."

SITE SPECIFIC SOIL NOTES:

1. WETLANDS WERE FLAGGED BY ROBERT PROKOP (NH CERTIFIED WETLAND SCIENTIST #063) OF WETLAND CONSULTING SERVICES UTILIZING THE CRITERIA DESCRIBED IN THE 1987 CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1) ON MARCH 10 AND 16, 2010.
2. SITE SPECIFIC SOIL MAPPING WAS PERFORMED BY ROBERT PROKOP AND FIELD REVIEWED BY ERIC FONTAINE (NH CERTIFIED SOIL SCIENTIST #083) ON APRIL 2, 2010 TO THE SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT, SPECIAL PUBLICATION NUMBER 3, DECEMBER, 2006.
3. THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR USE AS A PLANNING DOCUMENT FOR RESIDENTIAL SUBDIVISION CONSTRUCTION. IT WAS PRODUCED BY A CERTIFIED SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE (NRCS). THERE IS A NARRATIVE REPORT DATED APRIL 6, 2010 THAT ACCOMPANIES THIS MAP.
4. THE SOIL MAP UNITS IDENTIFIED FOR TAX MAP 105; LOTS 17, 18, 19 & 20, THAT TOTALS APPROXIMATELY 22.35 ACRES, AND IS LOCATED OFF ROBINSON ROAD IN HUDSON, NEW HAMPSHIRE ARE IDENTIFIED BELOW USING THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, ISSUE #5, JANUARY 1999:

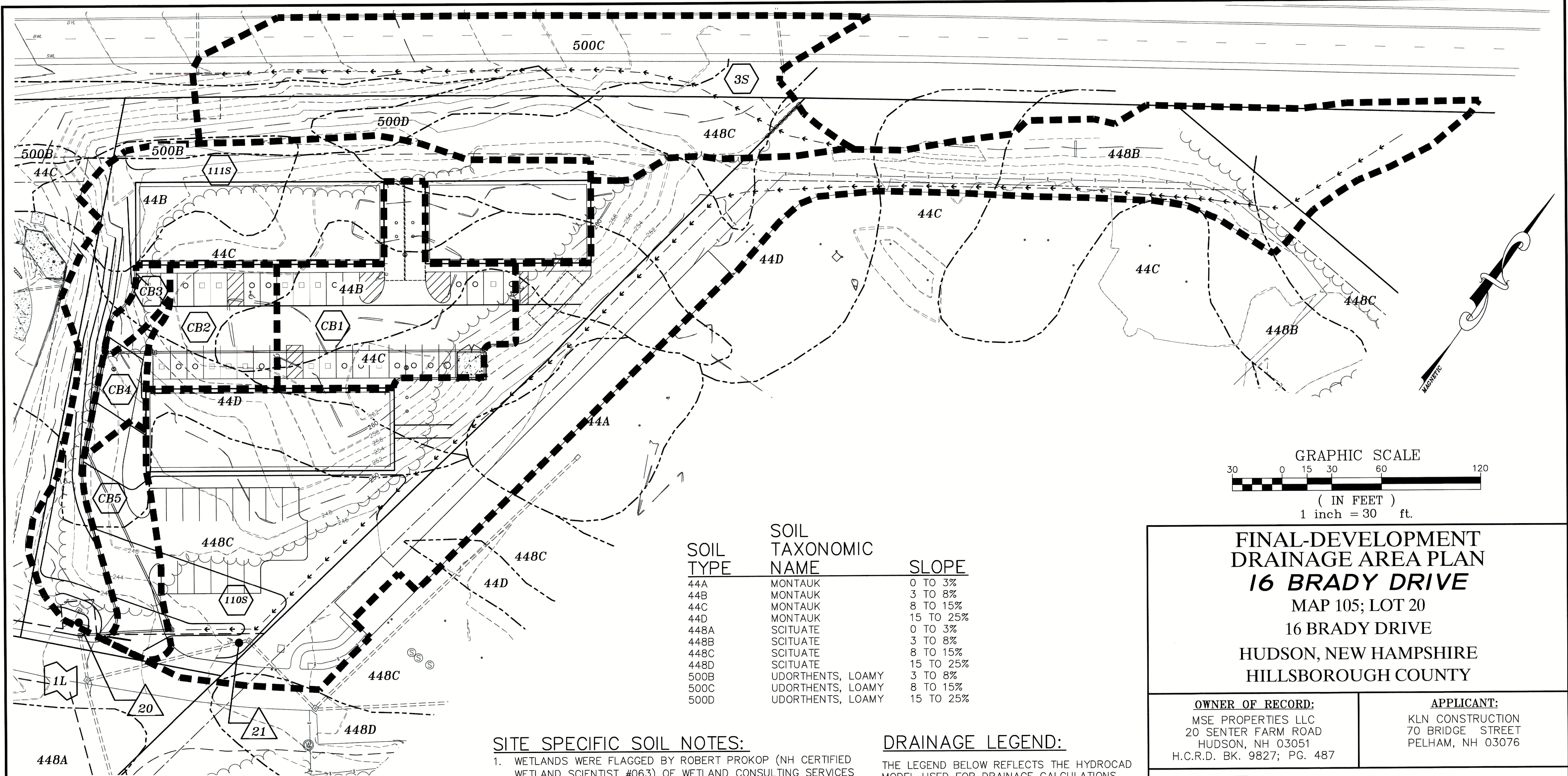
APPLICANT:
KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076

OWNER OF RECORD:
MSE PROPERTIES LLC
20 SENTER FARM ROAD
HUDSON, NH 03051

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture

10 Commerce Park North, Suite 3B
Bedford, NH 03110
Phone (603) 627-2881

AUGUST 5, 2025
REVISED: OCTOBER 6, 2025
PROJECT NO. 24-1220-1



NOTES:

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5. FOR FURTHER DATA PERTAINING TO THE CLOSED & OPEN DRAINAGE SYSTEMS PROPOSED WITH THIS DEVELOPMENT SEE "GRADING, DRAINAGE & UTILITY PLAN OR DRAINAGE PROFILES, ROBINSON ROAD SELF STORAGE, PREPARED BY KEACH-NORDSTROM ASSOCIATES, INC., DATED AUGUST 2010."

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SOIL TYPE	SOIL TAXONOMIC NAME	SLOPE
44A	MONTAUK	0 TO 3%
44B	MONTAUK	3 TO 8%
44C	MONTAUK	8 TO 15%
44D	MONTAUK	15 TO 25%
448A	SCITUATE	0 TO 3%
448B	SCITUATE	3 TO 8%
448C	SCITUATE	8 TO 15%
448D	SCITUATE	15 TO 25%
500B	UDORTHENTS, LOAMY	3 TO 8%
500C	UDORTHENTS, LOAMY	8 TO 15%
500D	UDORTHENTS, LOAMY	15 TO 25%

DRAINAGE LEGEND:

THE LEGEND BELOW REFLECTS THE HYDROCAD MODEL USED FOR DRAINAGE CALCULATIONS.

- SITE SPECIFIC SOIL LINES
- 448A DENOTES SITE SPECIFIC SOIL TYPE
- P DENOTES POND
- S DENOTES SUBCATCHMENT AREA
- L DENOTES POINT OF INTEREST
- LIMIT OF SUBCATCHMENT AREA
- - - TIME OF CONCENTRATION

GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

**FINAL-DEVELOPMENT
DRAINAGE AREA PLAN**
16 BRADY DRIVE
MAP 105; LOT 20
16 BRADY DRIVE
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
MSE PROPERTIES LLC
20 SENTER FARM ROAD
HUDSON, NH 03051
H.C.R.D. BK. 9827; PG. 487

APPLICANT:
KLN CONSTRUCTION
70 BRIDGE STREET
PELHAM, NH 03076

KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B
Bedford, NH 03110
Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	10-06-2025	REVISION BY TOWN REVIEW	KC
DATE: AUGUST 5, 2025		SCALE: 1" = 30'	
PROJECT NO: 24-1220-1		SHEET 1 OF 1	