

REFERENCE PLANS:

- BOUNDARY PLAN OF LAND - LOWELL ROAD - MAP 228 LOTS 7 & 8 - 256 & 266 LOWELL ROAD - HUDSON, NEW HAMPSHIRE - HILLSBOROUGH COUNTY, SCALE: 1"=40'. DATED AUGUST 23, 2024, REVISED JANUARY 14, 2025. PREPARED BY KEACH-NORDSTROM ASSOCIATES, INC.
- EXISTING CONDITIONS PLAN - LOWELL ROAD - MAP 228 LOTS 7 & 8 - 256 & 266 LOWELL ROAD - HUDSON, NEW HAMPSHIRE - HILLSBOROUGH COUNTY, SCALE: 1"=40'. DATED AUGUST 23, 2024, REVISED JANUARY 14, 2025. PREPARED BY KEACH-NORDSTROM ASSOCIATES, INC.
- R.O.W. TAKING PLAN - ROBERT C. SMITH TO STATE OF NEW HAMPSHIRE, LOWELL ROAD, HUDSON, NEW HAMPSHIRE. H.C.R.D. BOOK 5261 PAGES 383 THROUGH 388.
- RIDGECREST, SECTION ONE, LAND OF PAUL E. & EVA F. CARON, HUDSON, NEW HAMPSHIRE, SCALE: 1"=60'. DATED: MARCH 1960. H.C.R.D. PLAN #1927.
- PLAN OF LAND OF TAMPOSI, NASH, CLEGG & LECLAIR, LOWELL ROAD, HUDSON, NEW HAMPSHIRE, DATED: 8-20-91. PREPARED BY HOLDEN ENGINEERING & SURVEYING. H.C.R.D. PLAN #25816.

MUNICIPAL CONTACTS:

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ELECTRIC
EVERSOURCE
370 AMHERST ST.
NASHUA, NH 03063
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WATER
HUDSON WATER UTILITY
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HUDSON, NH 03051
(603)886-6002

SEWER
HUDSON SEWER UTILITY
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HUDSON, NH 03051
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TELEPHONE/CABLE
CONSOLIDATED COMMUNICATIONS
417 DANIEL WEBSTER HIGHWAY
MERRIMACK, NH 03054
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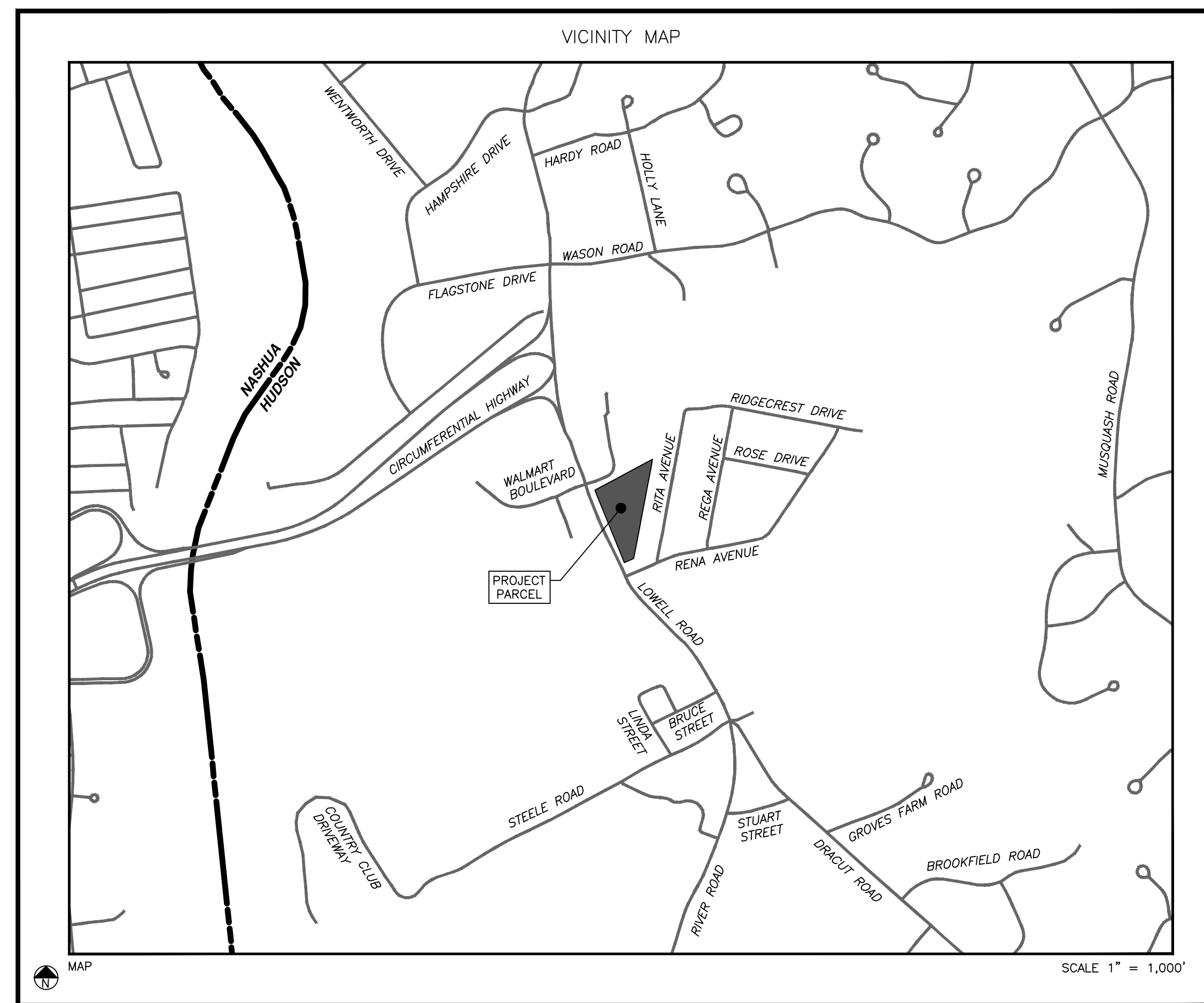
T-BONES AT LOWELL ROAD

NON-RESIDENTIAL SITE PLAN

TAX MAP 228 LOT 7

HUDSON, NEW HAMPSHIRE

JANUARY 21, 2025



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ATTACHMENTS

- BOUNDARY PLAN OF LAND
- EXISTING CONDITIONS

PERMITS/APPROVALS:

THIS PROJECT IS SUBJECT TO AND/OR REQUIRES THE FOLLOWING APPROVALS:

- TOWN OF HUDSON SITE PLAN PERMIT [SUBMITTED 1/21/2025]
- TOWN OF HUDSON CONDITIONAL USE PERMIT: BUFFER DISTURBANCE [SUBMITTED 1/21/2025]
- NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) DRIVEWAY PERMIT [STATUS-SUBMITTED]
- NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) DRIVEWAY PERMIT [STATUS-SUBMITTED]
- NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES (NHDES) ALTERATION OF TERRAIN (AOT) [SUBMITTED 3/4/2025]
- UTILITY CONNECTIONS
 - TOWN OF HUDSON WATER CONNECTION PERMIT [STATUS-SUBMITTED]
 - TOWN OF HUDSON SEWER CONNECTION PERMIT [STATUS-SUBMITTED]
 - NHDES SEWER CONNECTION PERMIT NO. XXXX-XXXX [STATUS-SUBMITTED]
- EPA CONSTRUCTION GENERAL PERMIT [PROGRAMMATIC]

** NO VARIANCE/ SPECIAL EXCEPTION REQUIRED FOR THE SITE PLAN **

WAIVERS:

- TOWN OF HUDSON LAND USE CODE CHAPTER 275-8.7.D LANDSCAPING REQUIREMENTS. "ONE SHRUB PER 200 SQUARE FEET OF PAVED AREA SHALL BE PLANTED OR 1.6 SHRUBS PER EVERY PARKING SPACE."
- TOWN OF HUDSON LAND USE CODE CHAPTER 275-8.C.6.b OFF-STREET LOADING SPACE REQUIREMENTS. "EACH OFF-STREET LOADING SPACE SHALL BE AT LEAST 12 FEET IN WIDTH AND AT LEAST 60 FEET IN LENGTH, EXCLUSIVE OF AISLE AND MANEUVERING SPACES, AND SHALL HAVE VERTICAL CLEARANCE OF AT LEAST 14 FEET. HOWEVER, WHEN IT IS DEMONSTRATED THAT A PARTICULAR LOADING SPACE WILL BE USED BY SHORTER TRUCKS, THE MINIMUM LENGTH MAY BE REDUCED TO 35 FEET."

MERIDIAN DESIGN PROFESSIONALS:

Professional stamps for Samuel R. Foisie, PE and Spencer C. Tate, CWS.

OWNER'S SIGNATURE:

OWNER _____ DATE _____

APPLICANT'S SIGNATURE:

APPLICANT _____ DATE _____

OWNER:
256 LOWELL ROAD, LLC
9 OLD DERRY ROAD
HUDSON, NEW HAMPSHIRE 03051
H.C.R.D. BOOK: 9649 PAGE: 2437

APPLICANT:
LOWELL RD, LLC
124 BEDFORD CENTER ROAD
BEDFORD, NEW HAMPSHIRE 03110

Issued For: SITE PLAN REVIEW APPLICATION
MARCH 12, 2025

REV.	DATE	DESCRIPTION	DR	CK
I	---	---	---	---
H	---	---	---	---
G	---	---	---	---
F	---	---	---	---
E	---	---	---	---
D	---	---	---	---
C	---	---	---	---
B	3/12/25	STAFF & THIRD PARTY REVIEW	NGC	SRF
A	3/4/25	ALTERATION OF TERRAIN SUBMITTAL	NGC	SRF
REV.	DATE	DESCRIPTION	DR	CK

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE DATE: _____
SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF THE PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



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GENERAL NOTES:

- ACTIVE AND SUBSTANTIAL DEVELOPMENT SHALL BE DEFINED AS THE INSTALLATION OF THE STORMWATER MANAGEMENT SYSTEM.
- SUBSTANTIAL COMPLETION SHALL BE DEFINED AS THE SITE BEING STABILIZED AFTER IMPROVEMENTS ARE CONSTRUCTED/ INSTALLED AND EROSION CONTROLS ARE REMOVED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTION ACCORDING TO AGENCY INSTRUCTION.
- ALL CONTRACTORS AND SUB-CONTRACTORS SHALL MAINTAIN THEIR WORK AND THE SITE RELATIVE TO THEIR WORK IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND ALL REQUIREMENTS OF THE PROJECT N.P.D.E.S. PERMIT.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE TOWN OF HUDSON ZONING ORDONANCES AND SITE PLAN REGULATIONS.
- ALL NECESSARY PERMITS AND APPROVALS FROM AGENCIES GOVERNING THE CONSTRUCTION OF THIS WORK SHALL BE SECURED PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL RETAIN ON THE WORK SITE AT ALL TIMES COPIES OF ALL PERMITS NECESSARY FOR ANY CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND CONTACT ALL UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES IN THE AREA 72 HOURS (MINIMUM) PRIOR TO COMMENCING CONSTRUCTION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK, INCLUDING LANDSCAPING.
- CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER'S CONSTRUCTION MANAGER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO USE ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. CONSTRUCTION MANAGER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE CONTRACTOR'S RESPONSIBILITY FOR PERFORMANCE OF THE ITEM.
- WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT IS NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY WITH OTHER CONTRACTOR'S AND UTILITY COMPANIES.
- MATERIALS AND CONSTRUCTION METHODS FOR STREETS AND STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT SPECIFICATIONS THERETO.
- IF AVAILABLE, CONTRACTOR SHALL REVIEW SOIL REPORTS AND BORINGS PRIOR TO BIDDING THE PROJECT AND COMMENCING CONSTRUCTION.
- AT LEAST 3 WORKING DAYS (72 HOURS) PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND APPROPRIATE AGENCIES AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE, AND OTHER INFORMATION AS REQUIRED. ANY WORK PERFORMED PRIOR TO NOTIFYING THE ENGINEER OR WITHOUT AGENCY INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL USE EACH PLAN IN CONJUNCTION WITH THE ENTIRE SET OF DRAWINGS AND JOB SPECIFICATIONS. DO NOT REMOVE OR DEMOLISH ANYTHING WITHOUT VERIFYING AND COORDINATING WITH ALL ELECTRICAL, PLUMBING, MECHANICAL, GENERAL TRADES, AND UTILITY COMPANIES AS THEY EFFECT THE OVERALL PROJECT.
- CONTRACTOR IS REQUIRED TO OBTAIN FROM THE ENGINEER WRITTEN APPROVAL FOR ANY DEVIATIONS FROM THE PLANS AND/OR SPECIFICATIONS.
- UNDERGROUND CONTRACTOR SHALL MINIMIZE THE WORK AREA AND WIDTH OF ALL TRENCHES TO AVOID DISTURBANCES OF NATURAL VEGETATION. SPOIL FROM TRENCHES SHALL BE PLACED ONLY ON PREVIOUSLY CLEARED AREAS OR AS DIRECTED BY THE OWNER. CONTRACTOR SHALL NO REMOVE OR DISTURB ANY TREES AND/OR SHRUBS WITHOUT PRIOR APPROVAL OF THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF THE EXISTING STREETS ADJACENT TO THE PROJECT. ALL TRAFFIC MAINTENANCE CONTROL SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS. TRAFFIC CONTROL OPERATION PROCEDURES SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING INTERNAL AND EXTERIOR DIMENSIONS.
- NO BUILDING OR OTHER LOCAL PERMITS SHALL BE ISSUED UNLESS AND UNTIL THE PRECONSTRUCTION MEETING REQUIRED BY THE HUDSON SITE PLAN REGULATION HAS OCCURRED.
- ALL NEW DRIVEWAYS MUST CONFORM TO THE HUDSON DRIVEWAY REGULATIONS, INCLUDING OBTAINING A DRIVEWAY PERMIT PRIOR TO CONSTRUCTION AND ANY NECESSARY DRIVEWAY WAIVERS. ANY RELOCATION OF SITE INGRESS/EGRESS OR DRIVEWAY REQUIRES PRIOR APPROVAL OF THE HUDSON PLANNING BOARD.

DEMOLITION NOTES:

- IF PRESENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO THE EXISTING STRUCTURES PRIOR TO DEMOLITION OF THE BUILDINGS. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES.
- THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS NOT RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE, COMPACTED FILL MATERIAL PER THE SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS INVOLVED AND IS RESPONSIBLE FOR REMOVING AND DUMPING THE DEBRIS IN AN APPROVED, LAWFUL MANNER.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH APPLICABLE UTILITY COMPANIES. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO THE EXISTING ADJACENT BUSINESSES AT ALL TIMES. THE CONTRACTOR SHALL COORDINATE WITH THE TENANT AND UTILITY COMPANY FOR THE RELOCATION AND/OR REMOVAL OF UTILITIES IF NECESSARY. SERVICE SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE TENANT.
- CONTRACTOR IS RESPONSIBLE FOR ALL COSTS INVOLVED IN THE REMOVAL OR RELOCATION OF ANY UTILITY. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH APPLICABLE UTILITY COMPANIES.
- SITE IS OCCUPIED BY EXISTING STRUCTURES, STORM LINES, PAVEMENT, POWER POLES AND UTILITIES. IT IS CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES THAT MAY HAVE UTILITIES ON THE SITE TO GET A DETERMINATION IF ANY UTILITIES EXISTING WILL BE IMPACTED. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF THE UTILITIES SHOULD BE ABANDONED OR REMOVED.
- ALL EXISTING FENCES, SIGNS, POWER POLES, AND LIGHT POLES LOCATED ON-SITE SHALL BE DEMOLISHED AND REMOVED UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR WALKING SITE AND DETERMINING EXTENTS OF DEMOLITION WORK PRIOR TO BID DATE.
- PRIOR TO ANY WORK ONSITE, THE CONTRACTOR SHALL CONTACT DIG SAFE AT 888-344-7233. THE CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY REMOVALS WHETHER LOCATED BY DIG SAFE OR NOT. CONTRACTOR SHALL COORDINATE REMOVAL OF EXISTING ELECTRICAL SERVICES ON SITE WITH THE POWER COMPANY. POWER COMPANY IS RESPONSIBLE FOR THE DISCONNECTION AND REMOVAL OF EXISTING SERVICES.
- LIMITS OF PAVEMENT SHOWN TO BE REMOVED ARE APPROXIMATE AND FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY THE LIMITS OF PAVEMENT TO DETERMINE THE EXTENT OF THE EXISTING PAVEMENT TO BE REMOVED. CONTRACTOR SHALL REMOVE PAVEMENT AND CONCRETE IN ACCORDANCE WITH NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS UNLESS OTHERWISE SPECIFIED.

SITE PLAN:

- CONTRACTOR SHALL REFER TO PLANS BY ARCHITECT FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPE PAVING & SIDEWALKS CONNECTIONS, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL UNSURFACED AREAS ARE TO RECEIVE A MINIMUM OF FOUR INCHES OF TOPSOIL, SEED, MULCH, OR SOO, AND WATERED UNTIL A HEALTHY STAND OF GRASS OR LANDSCAPING IS OBTAINED AS PER THE LANDSCAPE PLAN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED FOR ALL SITE IMPROVEMENTS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES' SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
- EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL REFER TO PLANS BY OTHERS FOR ENTRY LOCATION OF ALL WATER, SEWER SERVICE, ELECTRICAL, AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO THE LOCATION AND TIE-INS/CONNECTIONS TO THEIR FACILITIES.
- SEE COVER SHEET FOR LIST OF UTILITY COMPANIES AND CONTACT PERSONS.
- ALL DIMENSIONS SHOWN TO BUILDING ARE TO OUTSIDE FACE OF BUILDING.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL AREAS INDICATED TO REMAIN UNDISTURBED OR TO REMAIN AS BUFFERS, ALL PROPERTY CORNERS, AND REPLACING ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC., REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SYSTEMS, AND ANY OTHER MISC. UTILITIES) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, AND THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION TECHNIQUE.
- CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
- CONTRACTOR TO REMOVE OR RELOCATE WHEN APPLICABLE, ALL EXISTING BUILDINGS, FOUNDATIONS, BASEMENTS, AND CONNECTING IMPROVEMENTS, DRAINPIPES, SANITARY SEWER PIPE, POWER POLES AND GUY WIRES, WATER METERS AND WATER LINES, WELLS, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, SEPTIC TANKS, AND ASPHALT SHOWN WITHIN CONSTRUCTION LIMITS AND WHERE NEEDED TO ALLOW FOR FILL MATERIAL CONTRACTOR TO REVIEW SITE AS IT RELATES TO DEMOLITION WORK TO ENSURE ALL DEMOLITION ITEMS ARE INCLUDED IN THE BASE BID.
- IN ORDER TO PROVIDE VISUAL CLARITY ON THE PLANS NOT ALL DEPICTED ITEMS ARE SHOWN ON EVERY PLAN SHEET. THE CONTRACTOR SHALL USE ENTIRE PLAN SETS AND NOT RELY ON INDIVIDUAL SHEETS DURING CONSTRUCTION. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM DESIGNERS. BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH PAPER COPIES OF THE DRAWINGS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- ALL WORK SHOWN SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.

LAYOUT AND MATERIALS:

- DIMENSIONS ARE FROM FACE OF CURB, FACE OF BUILDINGS, FACE OF WALLS, CENTER OF PIPE, AND CENTER OF PAVEMENT MARKINGS, UNLESS OTHERWISE INDICATED, AND AS FOLLOWS:
 - a. SIDEWALK WIDTHS ARE MEASURED FROM THE BACK FACE OF CURB TO THE OUTSIDE EDGE OF SIDEWALK;
 - b. PIPE SEPARATION IS MEASURED FROM THE OUTSIDE DIAMETERS OF PIPE(S).
- CURB RADI ARE THREE (3) FEET UNLESS OTHERWISE INDICATED.
- CURBING SHALL BE VERTICAL GRANITE CURB (VGC) UNLESS OTHERWISE INDICATED.
- ALL BUILDING LOCATION DIMENSIONS ARE TO THE FACE OF THE STRUCTURAL.
- EXISTING PROPERTY MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A LICENSED LAND SURVEYOR (LLS).
- STATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS LITERATURE, SHOP DRAWINGS, AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- CONTRACTOR SHALL FOLLOW TOWN OF HUDSON REQUIREMENTS FOR IMPORTED MATERIALS.

GRADING:

- TOPOGRAPHIC INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY BY KEACH-NORDSTROM ASSOCIATES. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- EXISTING GRADE CONTOURS INTERVAL SHOWN AT TWO FOOT (2').
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
- CLEARING AND GRUBBING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UNDISTURBED AREAS, ALL PROPERTY CORNERS, AND REPLACING ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
- FINISHED GRADE CONTOUR INTERVALS SHOWN AT TWO FOOT (2') AND/OR ONE FOOT (1'). FINISH GRADE CONTOURS ARE SUPPLEMENTED WITH SPOT ELEVATIONS.
- PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE A MINIMUM 4 INCHES OF TOPSOIL, SEED, MULCH, WATER, ETC. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH THE LANDSCAPE PLAN SPECIFICATION UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- CONTRACTOR SHALL TRIM, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
- ALL GRADING OPERATIONS SHALL BE STAKED BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR APPROVED BY THE OWNER.

PAVING NOTES:

- STANDARD DUTY PAVEMENT AREAS SHALL BE HOT BITUMINOUS ASPHALT. DETAILS OF THE STANDARD DUTY PAVEMENT ARE PROVIDED ON DETAIL SHEET D-1.
- ALL DISCREPANCIES FOUND BY CONTRACTOR RELATED TO UNDERGROUND UTILITIES OR OTHER APPURTENANCES SHALL BE RESOLVED TO THE SATISFACTION OF OWNER AND ENGINEER PRIOR TO PLACEMENT OF ANY PAVING. CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS AND NO PONDING IN SUBGRADE OF AREAS TO BE PAVED, AND NOTIFY OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND PRIOR TO INSTALLATION OF ANY PAVING.
- EXISTING MANHOLE TOPS, VALVE BOXES, ETC. ARE TO BE ADJUSTED AS REQUIRED TO MATCH PROPOSED GRADES. IF NECESSARY, RE-ADJUSTMENTS SHALL BE PERFORMED UPON COMPLETION OF PAVING AND FINE GRADING TO ENSURE A SMOOTH TRANSITION.
- COMPACTION SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
- ALL PAVEMENT TO BE SLOPED FOR POSITIVE DRAINAGE.

UTILITY NOTES:

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE SERVICEABILITY OF UTILITIES. DOES NOT GUARANTEE THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT, WHICH MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO REMOVE OR RELOCATE WHEN APPLICABLE, ALL EXISTING BUILDINGS, FOUNDATIONS, EASEMENTS, AND CONNECTING IMPROVEMENTS, DRAINPIPES, SANITARY SEWER PIPE, POWER POLES AND GUY WIRES, WATER METERS AND WATER LINES, WELLS, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, SEPTIC TANKS, AND ASPHALT, SHOWN AND NOT SHOWN, WITHIN CONSTRUCTION LIMITS AND WHERE NEEDED, TO ALLOW FOR FILL MATERIAL, UNLESS OTHERWISE DENOTED, TO BE REMOVED AS UNCLASSIFIED EXCAVATION.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, AND TELEPHONE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATIONS AND SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING EXISTING FACILITIES.
- CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, & TELEPHONE COMPANY FOR ACTUAL ROUTING OF POWER AND TELEPHONE SERVICE TO BUILDING.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- SEE DETAIL SHEETS FOR BACKFILLING AND COMPACTION REQUIREMENTS ON UTILITY TRENCHES.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARD OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- CONTRACTOR SHALL COORDINATE WITH OTHER UTILITIES TO ASSURE PROPER DEPTH AND PREVENT ANY CONFLICT OF UTILITIES.
- CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATERTIGHT.
- CONTRACTOR SHALL ON ALL UTILITIES, COORDINATE INSPECTION WITH THE APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES AT INSTALLATION.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND REQUIREMENTS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND OWNERS INSPECTING AUTHORITIES.
- SITE CONTRACTOR TO COORDINATE PROPOSED RECONNECTION OF ALL UTILITIES WITH ARCHITECTURAL PLANS AS WELL AS UTILITY COMPANIES AND BUILDING CONTRACTOR. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL EXPENSES THAT RESULT FROM DELAYED OR FAILED TEST DURING ANY PHASE OF THE CONSTRUCTION PROCESS. THIS INCLUDES FEES INCURRED THROUGH RESCHEDULING OF ANY VENDORS OR EQUIPMENT TO ACCOMMODATE.
- GRATES, COVERS, VALVE COVERS, GAS GATES, PULL BOX COVERS SHALL BE SET AND/OR RESET AS FOLLOWS:
 - a. PAVEMENT SURFACES: FLUSH
 - b. SURFACES WITHIN ACCESSIBLE ROUTES: FLUSH
- LANDSCAPE, TURF, OR OTHER EARTH SURFACES: ONE INCH (1") ABOVE FINAL GRADE, WITH EARTH TAPERED UP TO THE FINAL COVER/RIM ELEVATION

SANITARY SEWER UTILITIES NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE HUDSON SANITARY SEWER STANDARDS AND ENV-WQ 700.
- REFERENCE ARCHITECT'S PLANS FOR ALL BUILDING SERVICE CONNECTIONS.
- CONTRACTOR SHALL COORDINATE WITH HUDSON SANITARY SEWER PRIOR TO COMMENCING WITH UTILITY CONSTRUCTION.
- SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS.
- THE SANITARY SEWER PIPE MATERIAL SHALL BE SPECIFIED BY THE UTILITY PROVIDER.
 - a. POLYVINYLCHLORIDE (PVC) STANDARD DIAMETER RATIO 35 (SDR-35);
- WHERE SEWER PIPES CROSS WATER PIPES THE FOLLOWING SHALL APPLY:
 - i. CLASS 52 DUCTILE IRON FOR A MINIMUM OF TEN FEET (10') TO EITHER SIDE OF THE WATER PIPE;
 - ii. SHALL BE A CONTINUOUS PIECE OF PIPE WITH NO JOINTS;
 - iii. SHALL BE IN ACCORDANCE WITH DETAILS SHOWN ON THE DRAWINGS AND PER THE CONTRACT DOCUMENTS.

TOWN OF HUDSON NOTES:

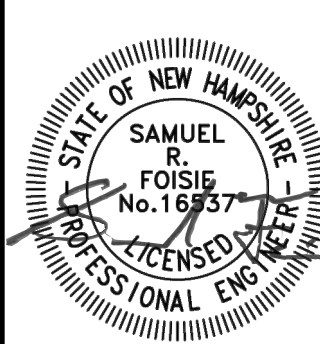
- AN ONSITE PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN ENGINEER OR DESIGNATED REPRESENTATIVE PRIOR TO INITIATING EARTH MOVING ACTIVITIES AND AFTER PERIMETER EROSION CONTROL MEASURES, PROTECTIVE FENCING, WASTE DISPOSAL AND CONSTRUCTION ACCESS PADS HAVE BEEN INSTALLED.
- PRIOR TO APPROVAL BOND OR ESCROW AMOUNT MUST BE COORDINATED WITH TOWN ENGINEER.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE DATE: _____
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T-BONES AT LOWELL ROAD
GENERAL NOTES

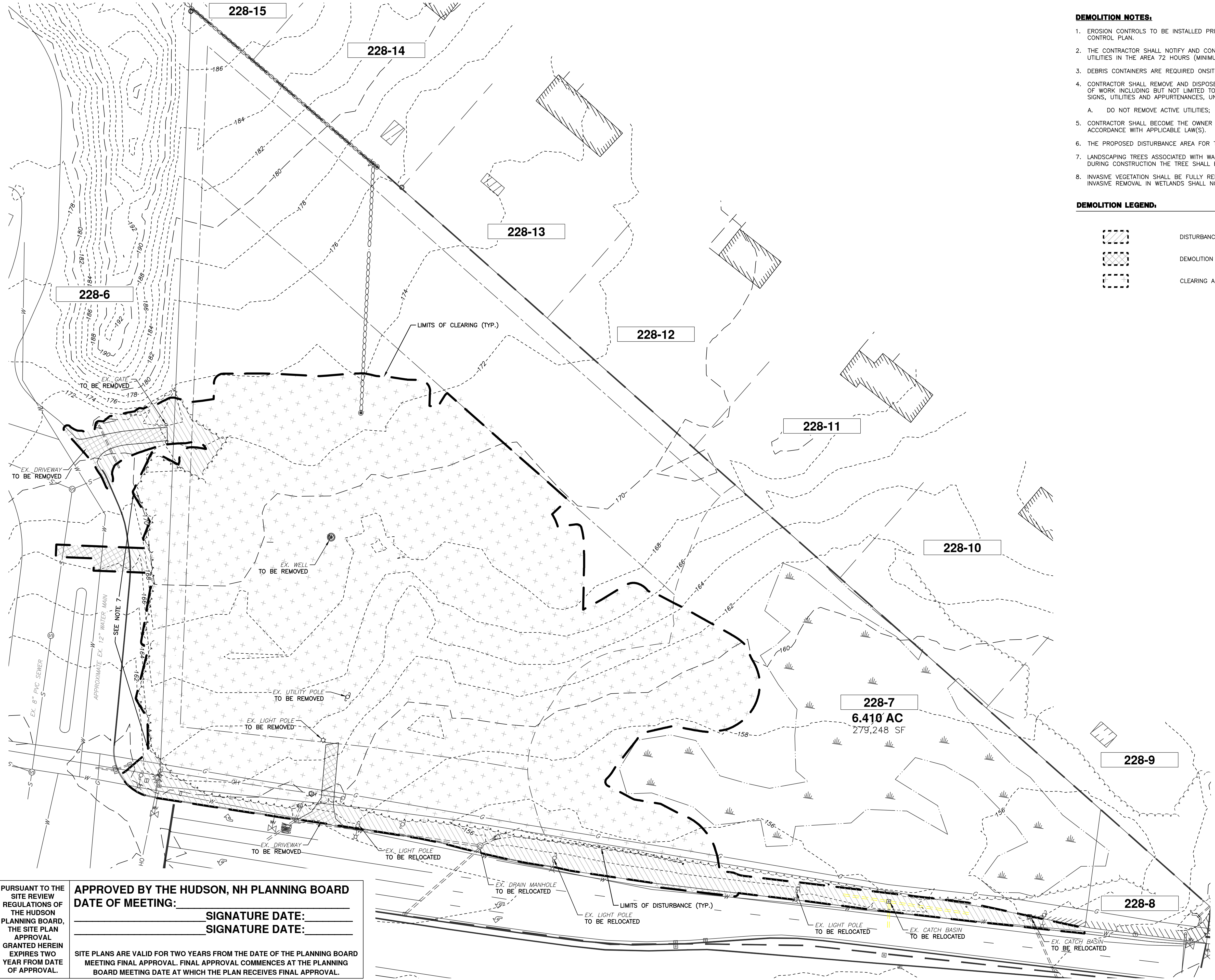
LOWELL ROAD, LLC
PROJECT STREET ADDRESS
MAP 228 LOT 7
TOWN, NEW HAMPSHIRE

SCALE: AS NOTED
 JANUARY 21, 2025

GN-1

FILE:	12542K00B.dwg
PROJECT:	12542.00
SHEET NO.	2 OF 23








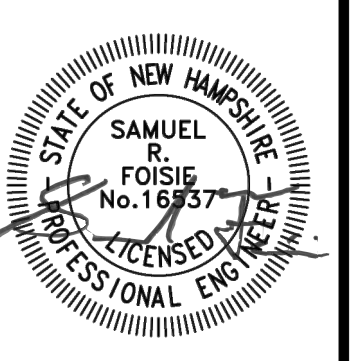
DEMOLITION NOTES:

1. EROSION CONTROLS TO BE INSTALLED PRIOR TO GROUND DISTURBANCE. SEE EROSION & SEDIMENTATION CONTROL PLAN.
2. THE CONTRACTOR SHALL NOTIFY AND CONTACT ALL UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES IN THE AREA 72 HOURS (MINIMUM) PRIOR TO COMMENCING DEMOLITION.
3. DEBRIS CONTAINERS ARE REQUIRED ONSITE.
4. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMITS OF WORK INCLUDING BUT NOT LIMITED TO BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCING, SIGNS, UTILITIES AND APPURTENANCES, UNLESS OTHERWISE INDICATED AS FOLLOWS:
 - A. DO NOT REMOVE ACTIVE UTILITIES;
5. CONTRACTOR SHALL BECOME THE OWNER OF AND DISPOSE OF ALL MATERIALS, DEBRIS AND ITEMS IN ACCORDANCE WITH APPLICABLE LAW(S).
6. THE PROPOSED DISTURBANCE AREA FOR THE PROJECT IS 144,450± SQUARE FEET.
7. LANDSCAPING TREES ASSOCIATED WITH WALMART'S ENTRANCE SHALL REMAIN. IF DISTURBED/REMOVED DURING CONSTRUCTION THE TREE SHALL BE REPLACED.
8. INVASIVE VEGETATION SHALL BE FULLY REMOVED OVER THE ENTIRE PROPERTY, INCLUDING WETLANDS. INVASIVE REMOVAL IN WETLANDS SHALL NOT REMOVE CUT OR STUMPS.

DEMOLITION LEGEND:

-  DISTURBANCE AREA
-  DEMOLITION AREA
-  CLEARING AREA

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REV.	DATE	DESCRIPTION	DR	CK
A	3/4/25	ALTERATION OF TERRAIN SUBMITTAL		
B	3/12/25	STAFF & THIRD PARTY REVIEW		
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T-BONES AT LOWELL ROAD
 DEMOLITION PLAN
 JANUARY 21, 2025

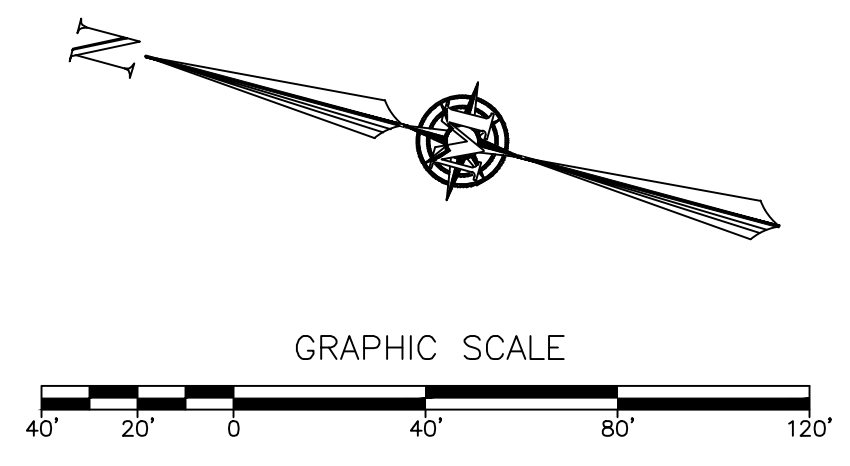
LOWELL ROAD, LLC
 256 LOWELL ROAD
 MAP 228 LOT 7
 HUDSON, NEW HAMPSHIRE
 SCALE: 1" = 40'

SP-1
 SHEET
 FILE: 12542100B.dwg
 PROJECT: 12542.00
 SHEET NO. 3 OF 23

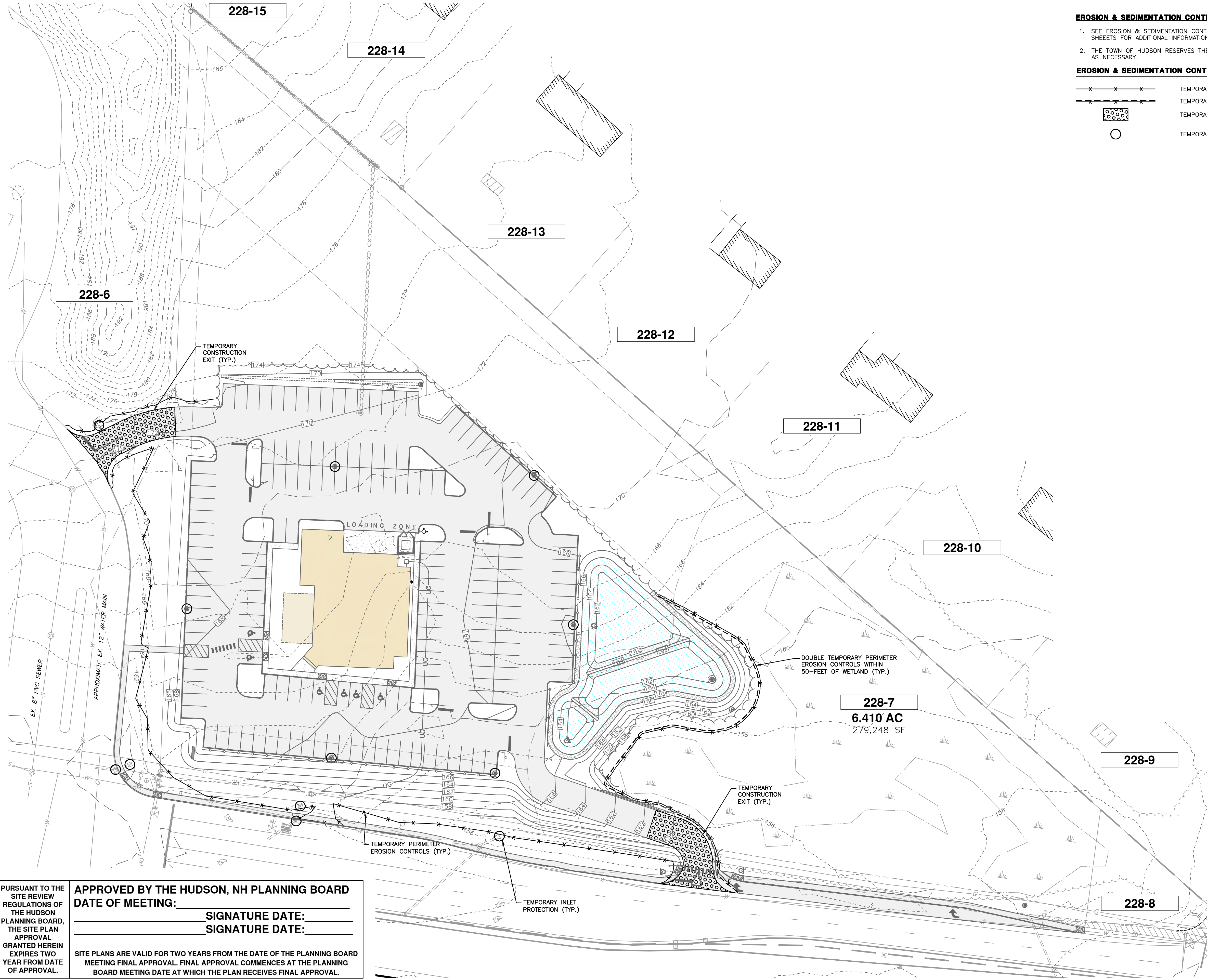
PURSUANT TO THE REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
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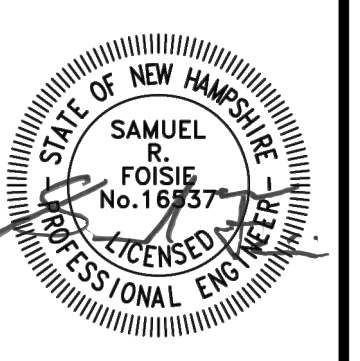


EROSION & SEDIMENTATION CONTROL NOTES:

- SEE EROSION & SEDIMENTATION CONTROL NOTES AND EROSION & SEDIMENTATION CONTROL DETAILS SHEETS FOR ADDITIONAL INFORMATION.
- THE TOWN OF HUDSON RESERVES THE RIGHT TO REQUIRE ANY ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY.

EROSION & SEDIMENTATION CONTROL LEGEND:

- TEMPORARY PERIMETER EROSION & SEDIMENTATION CONTROLS
- TEMPORARY DOUBLE PERIMETER EROSION & SEDIMENTATION CONTROLS
- TEMPORARY STABILIZED CONSTRUCTION EXIT
- TEMPORARY INLET PROTECTION



REV.	DATE	DESCRIPTION	NGG	SRF	DR	CK
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T-BONES AT LOWELL ROAD
 EROSION & SEDIMENTATION
 CONTROL PLAN
 JANUARY 21, 2025

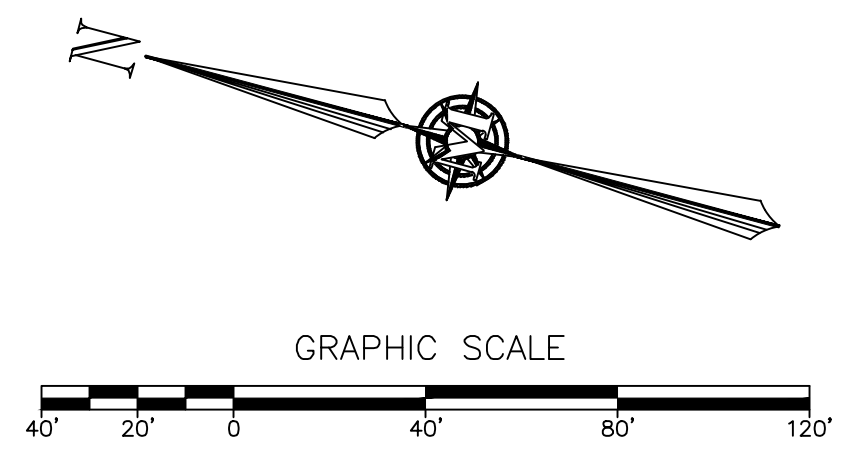
LOWELL ROAD, LLC
 256 LOWELL ROAD
 MAP 228 LOT 7
 HUDSON, NEW HAMPSHIRE
 SCALE: 1" = 40'

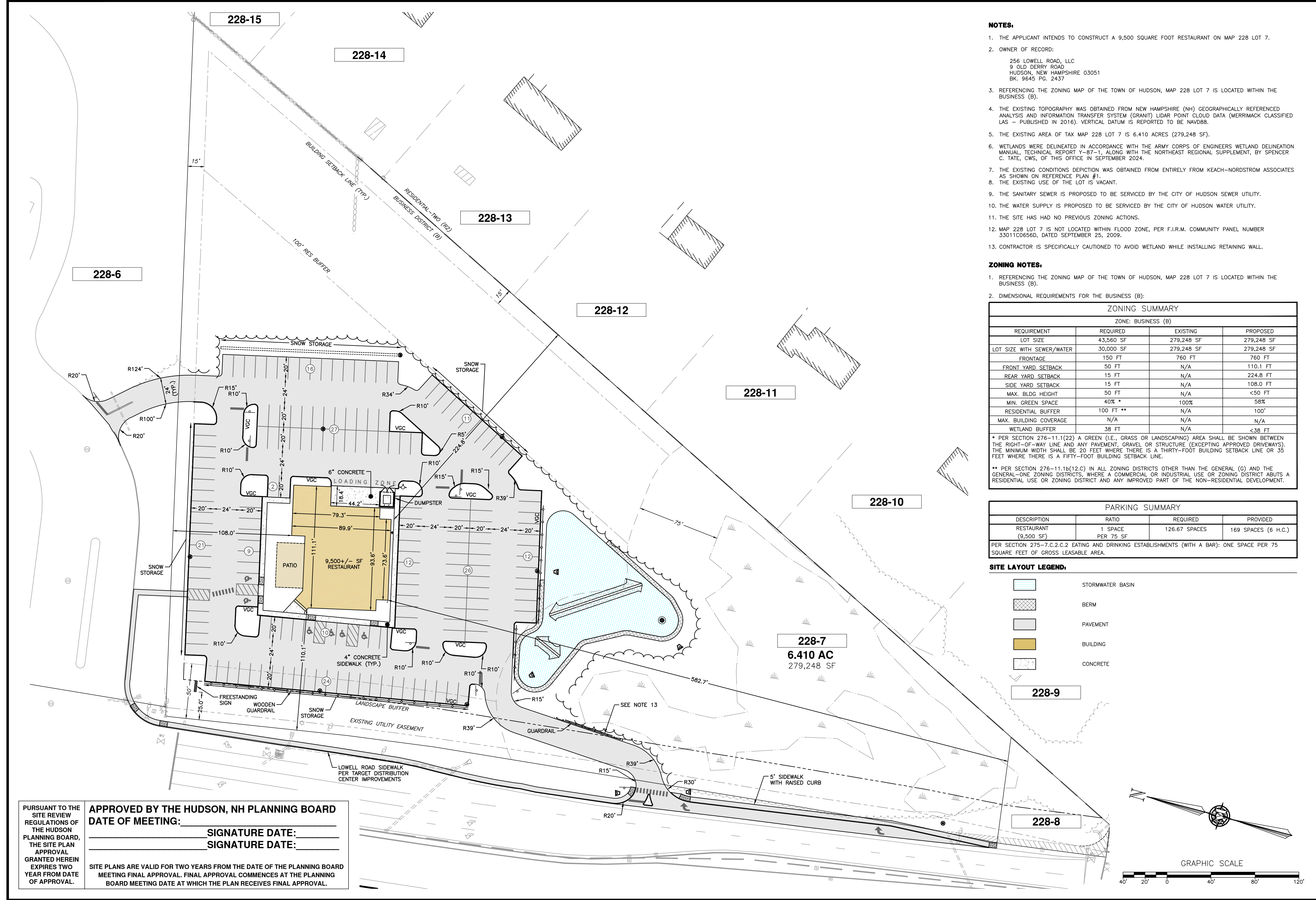
SP-2
 SHEET
 FILE: 12542100B.dwg
 PROJECT: 12542.00
 SHEET NO. 4 OF 23

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEAR FROM DATE OF APPROVAL.

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- NOTES:**
- THE APPLICANT INTENDS TO CONSTRUCT A 9,500 SQUARE FOOT RESTAURANT ON MAP 228 LOT 7.
 - OWNER OF RECORD:
256 LOWELL ROAD, LLC
9 OLD DERRY ROAD
HUDSON, NEW HAMPSHIRE 03051
BK. 9645 PG. 2437
 - REFERENCING THE ZONING MAP OF THE TOWN OF HUDSON, MAP 228 LOT 7 IS LOCATED WITHIN THE BUSINESS (B).
 - THE EXISTING TOPOGRAPHY WAS OBTAINED FROM NEW HAMPSHIRE (NH) GEOGRAPHICALLY REFERENCED ANALYSIS AND INFORMATION TRANSFER SYSTEM (GRANIT) LIDAR POINT CLOUD DATA (MERRIMACK CLASSIFIED LAS - PUBLISHED IN 2016). VERTICAL DATUM IS REPORTED TO BE NAVD88.
 - THE EXISTING AREA OF TAX MAP 228 LOT 7 IS 6.410 ACRES (279,248 SF).
 - WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, ALONG WITH THE NORTHEAST REGIONAL SUPPLEMENT, BY SPENCER C. TATE, CWS, OF THIS OFFICE IN SEPTEMBER 2024.
 - THE EXISTING CONDITIONS DEPICTION WAS OBTAINED FROM ENTIRELY FROM KEACH-NORDSTROM ASSOCIATES AS SHOWN ON REFERENCE PLAN #1.
 - THE EXISTING USE OF THE LOT IS VACANT.
 - THE SANITARY SEWER IS PROPOSED TO BE SERVICED BY THE CITY OF HUDSON SEWER UTILITY.
 - THE WATER SUPPLY IS PROPOSED TO BE SERVICED BY THE CITY OF HUDSON WATER UTILITY.
 - THE SITE HAS HAD NO PREVIOUS ZONING ACTIONS.
 - MAP 228 LOT 7 IS NOT LOCATED WITHIN FLOOD ZONE, PER F.I.R.M. COMMUNITY PANEL NUMBER 33011C0656D, DATED SEPTEMBER 25, 2009.
 - CONTRACTOR IS SPECIFICALLY CAUTIONED TO AVOID WETLAND WHILE INSTALLING RETAINING WALL.

- ZONING NOTES:**
- REFERENCING THE ZONING MAP OF THE TOWN OF HUDSON, MAP 228 LOT 7 IS LOCATED WITHIN THE BUSINESS (B).
 - DIMENSIONAL REQUIREMENTS FOR THE BUSINESS (B):

ZONING SUMMARY			
ZONE: BUSINESS (B)			
REQUIREMENT	REQUIRED	EXISTING	PROPOSED
LOT SIZE	43,560 SF	279,248 SF	279,248 SF
LOT SIZE WITH SEWER/WATER	30,000 SF	279,248 SF	279,248 SF
FRONTAGE	150 FT	760 FT	760 FT
FRONT YARD SETBACK	50 FT	N/A	110.1 FT
REAR YARD SETBACK	15 FT	N/A	224.8 FT
SIDE YARD SETBACK	15 FT	N/A	108.0 FT
MAX. BLDG HEIGHT	50 FT	N/A	<50 FT
MIN. GREEN SPACE	40% *	100%	58%
RESIDENTIAL BUFFER	100 FT **	N/A	100'
MAX. BUILDING COVERAGE	N/A	N/A	N/A
WETLAND BUFFER	38 FT	N/A	<38 FT

* PER SECTION 276-11.1(22) A GREEN (I.E., GRASS OR LANDSCAPING) AREA SHALL BE SHOWN BETWEEN THE RIGHT-OF-WAY LINE AND ANY PAVEMENT, GRAVEL OR STRUCTURE (EXCEPTING APPROVED DRIVEWAYS). THE MINIMUM WIDTH SHALL BE 20 FEET WHERE THERE IS A THIRTY-FOOT BUILDING SETBACK LINE OR 35 FEET WHERE THERE IS A FIFTY-FOOT BUILDING SETBACK LINE.

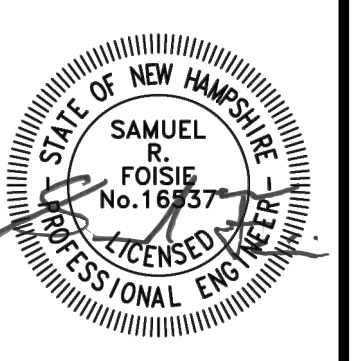
** PER SECTION 276-11.1b(12.C) IN ALL ZONING DISTRICTS OTHER THAN THE GENERAL (G) AND THE GENERAL-ONE ZONING DISTRICTS, WHERE A COMMERCIAL OR INDUSTRIAL USE OR ZONING DISTRICT ABUTS A RESIDENTIAL USE OR ZONING DISTRICT AND ANY IMPROVED PART OF THE NON-RESIDENTIAL DEVELOPMENT.

PARKING SUMMARY			
DESCRIPTION	RATIO	REQUIRED	PROVIDED
RESTAURANT (9,500 SF)	1 SPACE PER 75 SF	126.67 SPACES	169 SPACES (6 H.C.)

PER SECTION 275-7.C.2.C.2 EATING AND DRINKING ESTABLISHMENTS (WITH A BAR): ONE SPACE PER 75 SQUARE FEET OF GROSS LEASABLE AREA.

- SITE LAYOUT LEGEND:**
- STORMWATER BASIN
 - BERM
 - PAVEMENT
 - BUILDING
 - CONCRETE

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T-BONES AT LOWELL ROAD
SITE LAYOUT PLAN
JANUARY 21, 2025

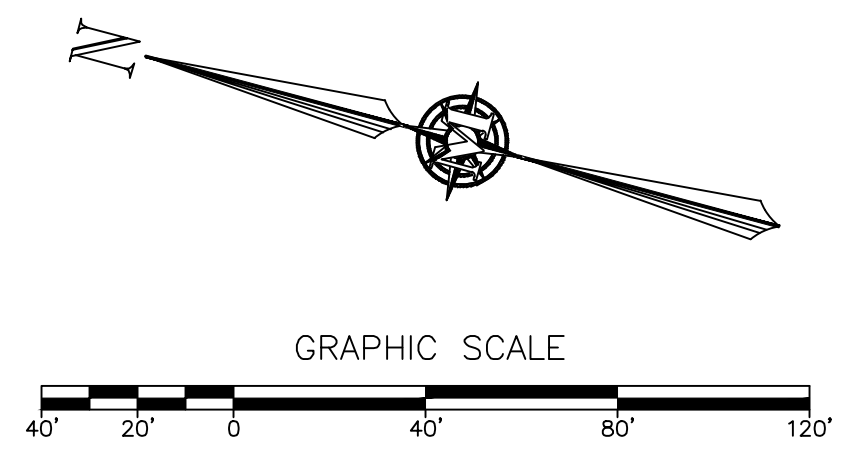
LOWELL ROAD, LLC
256 LOWELL ROAD
MAP 228 LOT 7
HUDSON, NEW HAMPSHIRE
SCALE: 1" = 40'

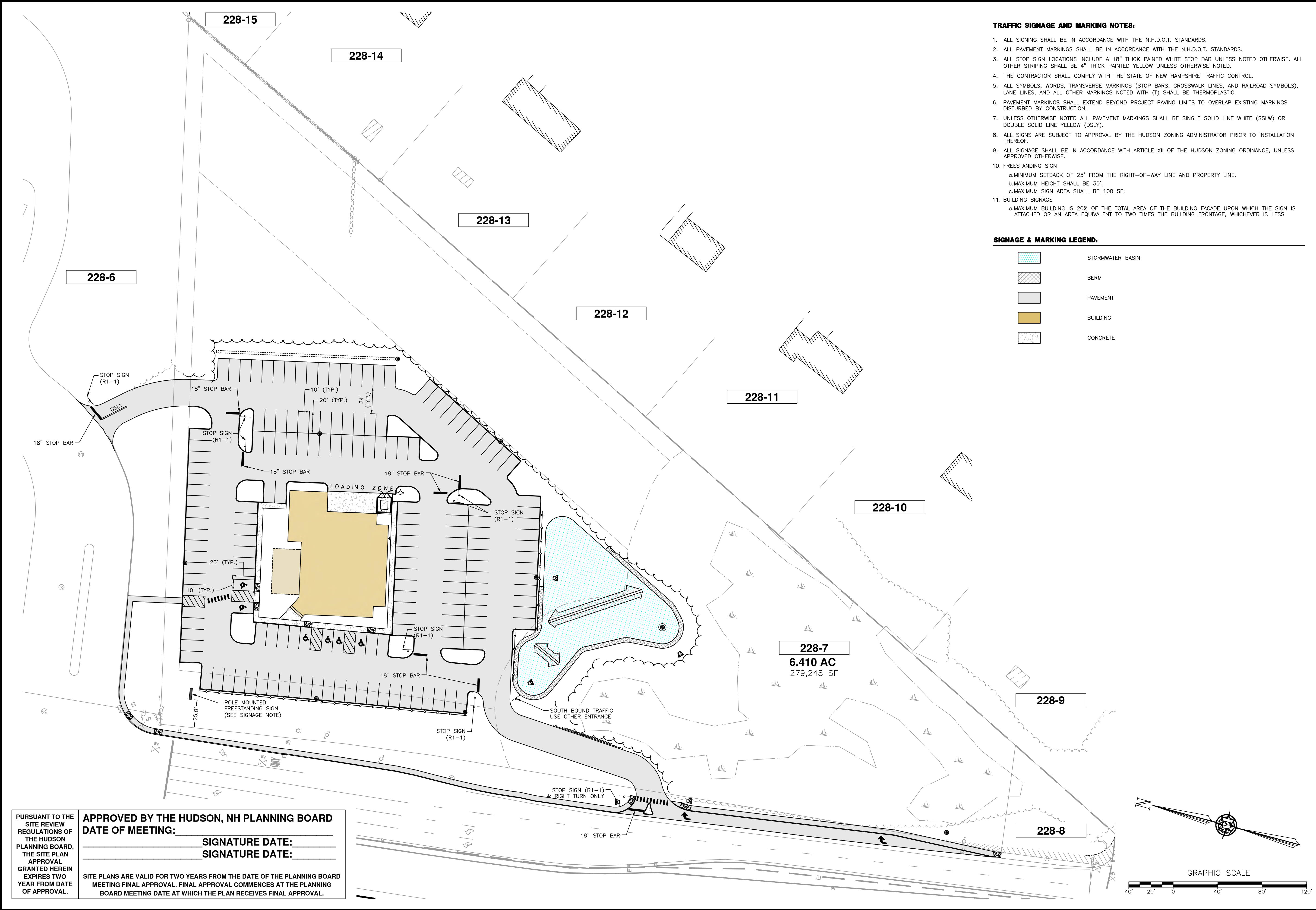
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PROJECT: 12542.00
SHEET NO. 5 OF 23

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEAR FROM DATE OF APPROVAL.

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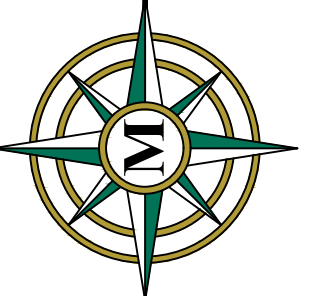


- TRAFFIC SIGNAGE AND MARKING NOTES:**
1. ALL SIGNING SHALL BE IN ACCORDANCE WITH THE N.H.D.O.T. STANDARDS.
 2. ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE N.H.D.O.T. STANDARDS.
 3. ALL STOP SIGN LOCATIONS INCLUDE A 18" THICK PAINED WHITE STOP BAR UNLESS NOTED OTHERWISE. ALL OTHER STRIPING SHALL BE 4" THICK PAINTED YELLOW UNLESS OTHERWISE NOTED.
 4. THE CONTRACTOR SHALL COMPLY WITH THE STATE OF NEW HAMPSHIRE TRAFFIC CONTROL.
 5. ALL SYMBOLS, WORDS, TRANSVERSE MARKINGS (STOP BARS, CROSSWALK LINES, AND RAILROAD SYMBOLS), LANE LINES, AND ALL OTHER MARKINGS NOTED WITH (T) SHALL BE THERMOPLASTIC.
 6. PAVEMENT MARKINGS SHALL EXTEND BEYOND PROJECT PAVING LIMITS TO OVERLAP EXISTING MARKINGS DISTURBED BY CONSTRUCTION.
 7. UNLESS OTHERWISE NOTED ALL PAVEMENT MARKINGS SHALL BE SINGLE SOLID LINE WHITE (SSLW) OR DOUBLE SOLID LINE YELLOW (DSLW).
 8. ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON ZONING ADMINISTRATOR PRIOR TO INSTALLATION THEREOF.
 9. ALL SIGNAGE SHALL BE IN ACCORDANCE WITH ARTICLE XII OF THE HUDSON ZONING ORDINANCE, UNLESS APPROVED OTHERWISE.
 10. FREESTANDING SIGN
 - a. MINIMUM SETBACK OF 25' FROM THE RIGHT-OF-WAY LINE AND PROPERTY LINE.
 - b. MAXIMUM HEIGHT SHALL BE 30'.
 - c. MAXIMUM SIGN AREA SHALL BE 100 SF.
 11. BUILDING SIGNAGE
 - a. MAXIMUM BUILDING IS 20% OF THE TOTAL AREA OF THE BUILDING FACADE UPON WHICH THE SIGN IS ATTACHED OR AN AREA EQUIVALENT TO TWO TIMES THE BUILDING FRONTAGE, WHICHEVER IS LESS

SIGNAGE & MARKING LEGEND:

	STORMWATER BASIN
	BERM
	PAVEMENT
	BUILDING
	CONCRETE

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B	3/12/25	STAFF & THIRD PARTY REVIEW				

T-BONES AT LOWELL ROAD
 SIGNAGE & MARKING PLAN

LOWELL ROAD, LLC
 256 LOWELL ROAD
 MAP 228 LOT 7
 HUDSON, NEW HAMPSHIRE

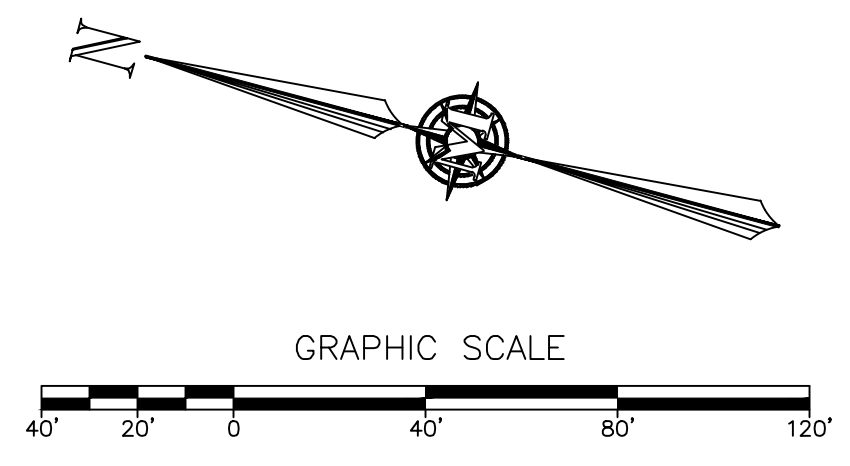
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 SHEET NO.: 6 OF 23

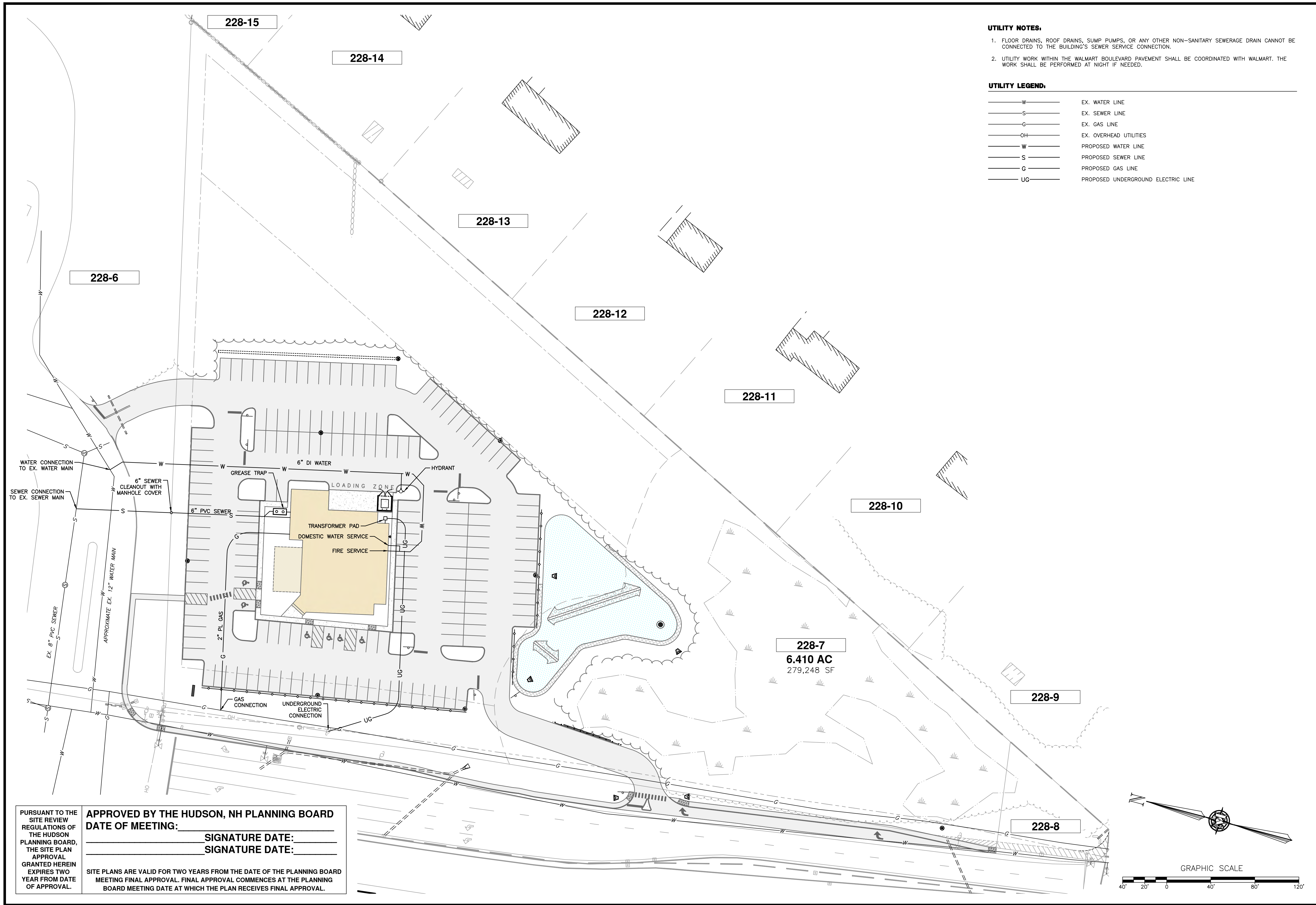
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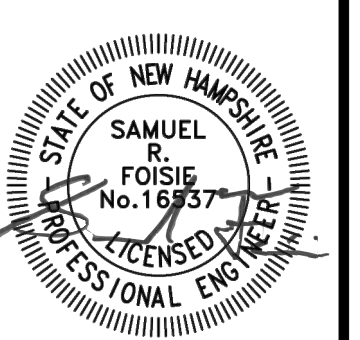
UTILITY NOTES:

- FLOOR DRAINS, ROOF DRAINS, SUMP PUMPS, OR ANY OTHER NON-SANITARY SEWERAGE DRAIN CANNOT BE CONNECTED TO THE BUILDING'S SEWER SERVICE CONNECTION.
- UTILITY WORK WITHIN THE WALMART BOULEVARD PAVEMENT SHALL BE COORDINATED WITH WALMART. THE WORK SHALL BE PERFORMED AT NIGHT IF NEEDED.

UTILITY LEGEND:

— W —	EX. WATER LINE
— S —	EX. SEWER LINE
— G —	EX. GAS LINE
— OH —	EX. OVERHEAD UTILITIES
— W —	PROPOSED WATER LINE
— S —	PROPOSED SEWER LINE
— G —	PROPOSED GAS LINE
— UG —	PROPOSED UNDERGROUND ELECTRIC LINE

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T-BONES AT LOWELL ROAD
 UTILITY PLAN
 JANUARY 21, 2025

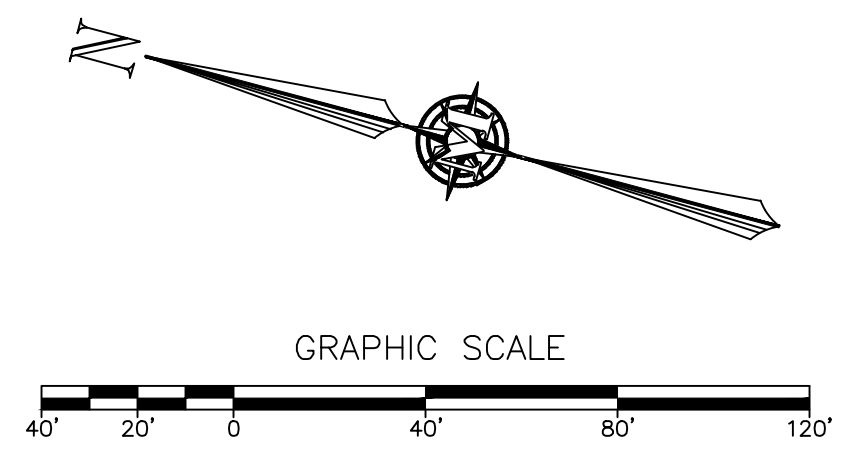
LOWELL ROAD, LLC
 256 LOWELL ROAD
 MAP 228 LOT 7
 HUDSON, NEW HAMPSHIRE
 SCALE: 1" = 40'

SP-5
 SHEET
 FILE: 12542100B.dwg
 PROJECT: 12542.00
 SHEET NO. 7 OF 23

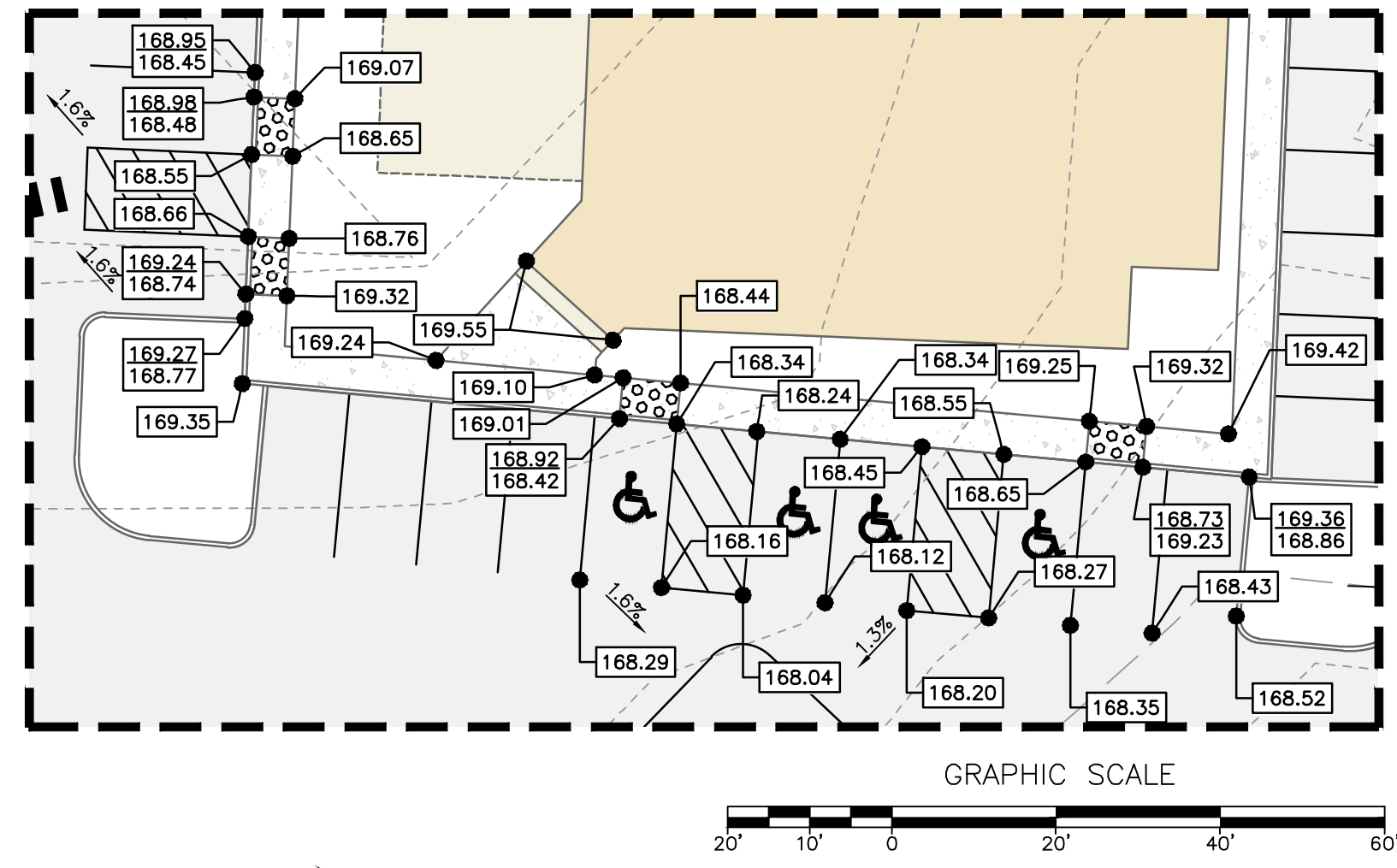
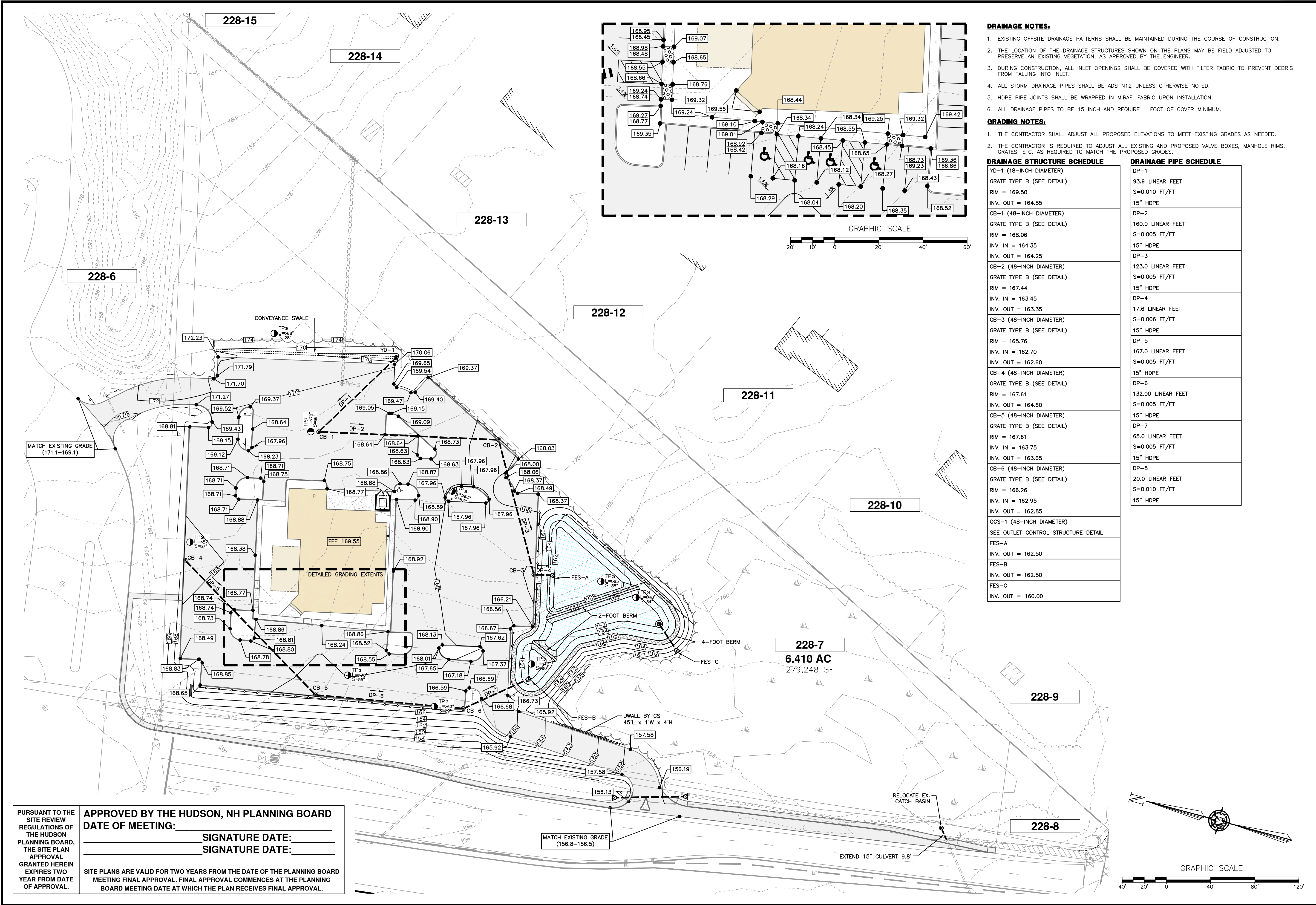
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEAR FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
 SIGNATURE DATE: _____
 SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF THE PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



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- DRAINAGE NOTES:**
- EXISTING OFFSITE DRAINAGE PATTERNS SHALL BE MAINTAINED DURING THE COURSE OF CONSTRUCTION.
 - THE LOCATION OF THE DRAINAGE STRUCTURES SHOWN ON THE PLANS MAY BE FIELD ADJUSTED TO PRESERVE AN EXISTING VEGETATION, AS APPROVED BY THE ENGINEER.
 - DURING CONSTRUCTION, ALL INLET OPENINGS SHALL BE COVERED WITH FILTER FABRIC TO PREVENT DEBRIS FROM FALLING INTO INLET.
 - ALL STORM DRAINAGE PIPES SHALL BE ADS N12 UNLESS OTHERWISE NOTED.
 - HDPE PIPE JOINTS SHALL BE WRAPPED IN MIRAFI FABRIC UPON INSTALLATION.
 - ALL DRAINAGE PIPES TO BE 15 INCH AND REQUIRE 1 FOOT OF COVER MINIMUM.

- GRADING NOTES:**
- THE CONTRACTOR SHALL ADJUST ALL PROPOSED ELEVATIONS TO MEET EXISTING GRADES AS NEEDED.
 - THE CONTRACTOR IS REQUIRED TO ADJUST ALL EXISTING AND PROPOSED VALVE BOXES, MANHOLE RIMS, GRATES, ETC. AS REQUIRED TO MATCH THE PROPOSED GRADES.

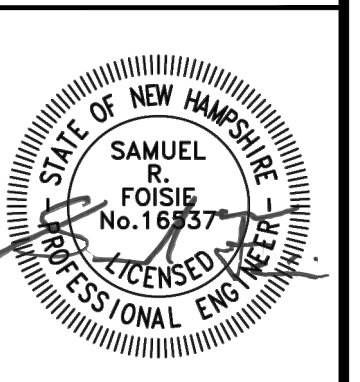
DRAINAGE STRUCTURE SCHEDULE

YD-1 (18-INCH DIAMETER) GRATE TYPE B (SEE DETAIL) RIM = 169.50 INV. OUT = 164.85
CB-1 (48-INCH DIAMETER) GRATE TYPE B (SEE DETAIL) RIM = 168.06 INV. IN = 164.35 INV. OUT = 164.25
CB-2 (48-INCH DIAMETER) GRATE TYPE B (SEE DETAIL) RIM = 167.44 INV. IN = 163.45 INV. OUT = 163.35
CB-3 (48-INCH DIAMETER) GRATE TYPE B (SEE DETAIL) RIM = 165.76 INV. IN = 162.70 INV. OUT = 162.60
CB-4 (48-INCH DIAMETER) GRATE TYPE B (SEE DETAIL) RIM = 167.61 INV. IN = 163.75 INV. OUT = 163.65
CB-5 (48-INCH DIAMETER) GRATE TYPE B (SEE DETAIL) RIM = 167.61 INV. IN = 162.95 INV. OUT = 162.85
CB-6 (48-INCH DIAMETER) GRATE TYPE B (SEE DETAIL) RIM = 166.26 INV. IN = 162.95 INV. OUT = 162.85
OCS-1 (48-INCH DIAMETER) SEE OUTLET CONTROL STRUCTURE DETAIL
FES-A INV. OUT = 162.50
FES-B INV. OUT = 162.50
FES-C INV. OUT = 160.00

DRAINAGE PIPE SCHEDULE

DP-1 93.9 LINEAR FEET S=0.010 FT/FT 15" HDPE
DP-2 160.0 LINEAR FEET S=0.005 FT/FT 15" HDPE
DP-3 123.0 LINEAR FEET S=0.005 FT/FT 15" HDPE
DP-4 17.6 LINEAR FEET S=0.006 FT/FT 15" HDPE
DP-5 167.0 LINEAR FEET S=0.005 FT/FT 15" HDPE
DP-6 132.00 LINEAR FEET S=0.005 FT/FT 15" HDPE
DP-7 65.0 LINEAR FEET S=0.005 FT/FT 15" HDPE
DP-8 20.0 LINEAR FEET S=0.010 FT/FT 15" HDPE

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SOIL & WETLAND MAPPING SEPTIC DESIGN
31 OLD NASHUA ROAD, AMHERST, NH 03051 TEL: 603-673-1441
MERIDIANLANDSERVICES.COM FAX: 603-673-1584



REV.	DATE	DESCRIPTION	DR	CK
A	3/4/25	ALTERATION OF TERRAIN SUBMITTAL	NGC	SRF
B	3/12/25	STAFF & THIRD PARTY REVIEW	NGC	SRF
C				
D				
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T-BONES AT LOWELL ROAD
GRADING & DRAINAGE PLAN

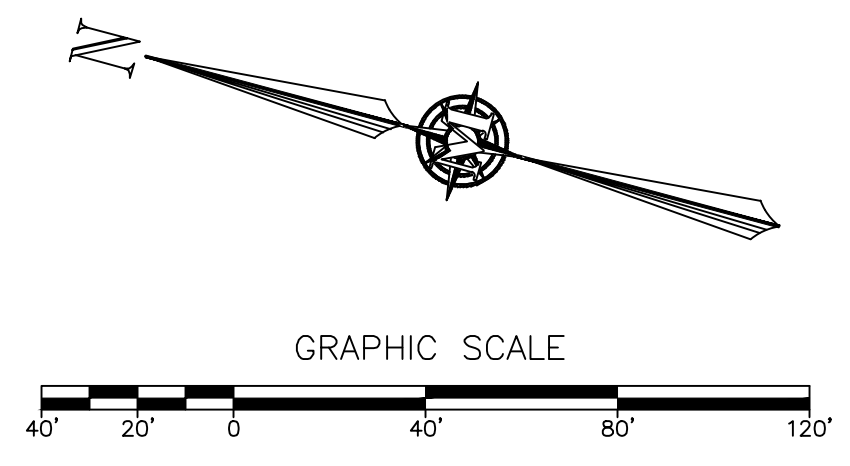
LOWELL ROAD, LLC
256 LOWELL ROAD
MAP 228 LOT 7
HUDSON, NEW HAMPSHIRE

SP-6
SHEET
FILE: 12542100B.dwg
PROJECT: 12542.00
SHEET NO.: 8 OF 23

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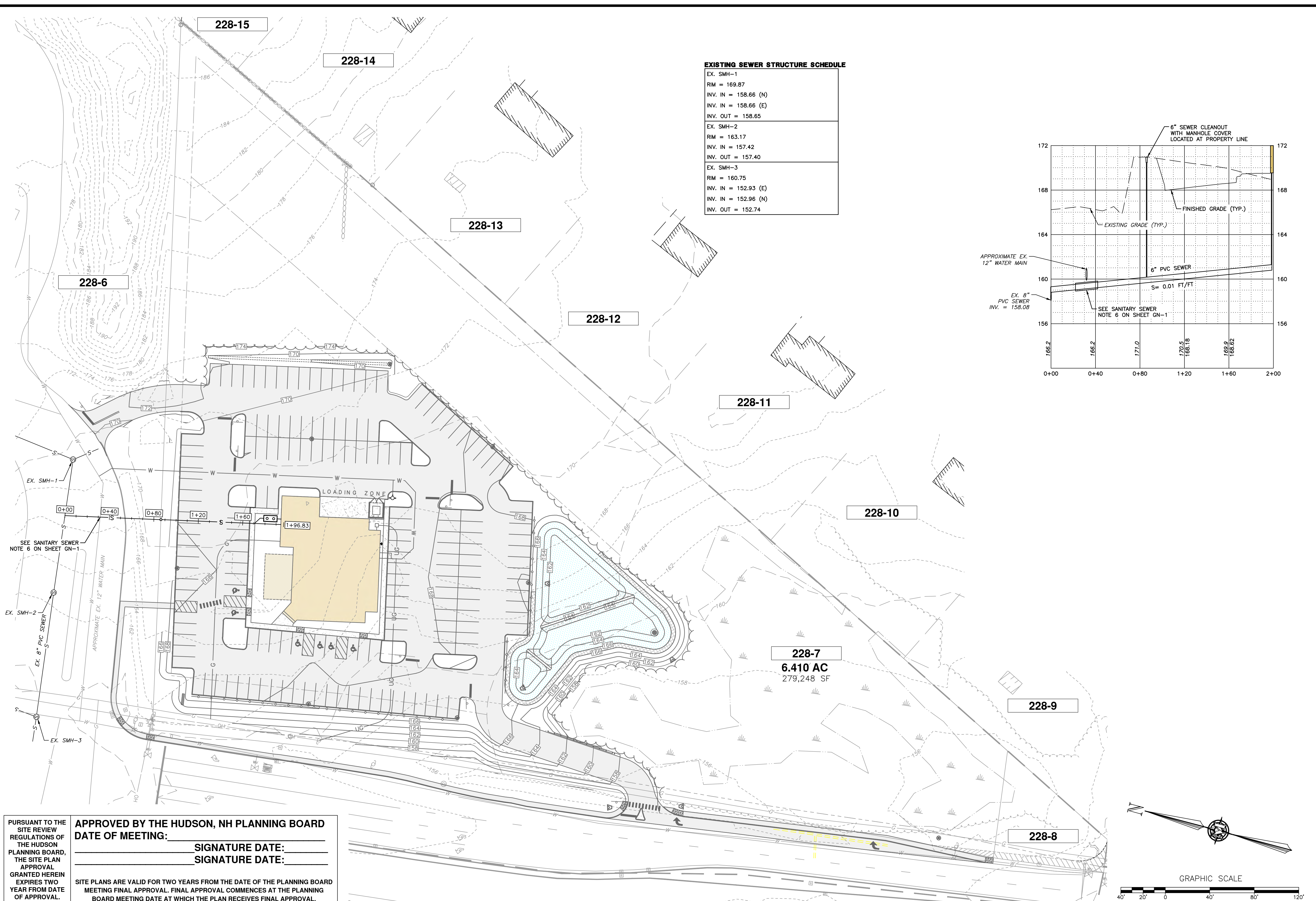
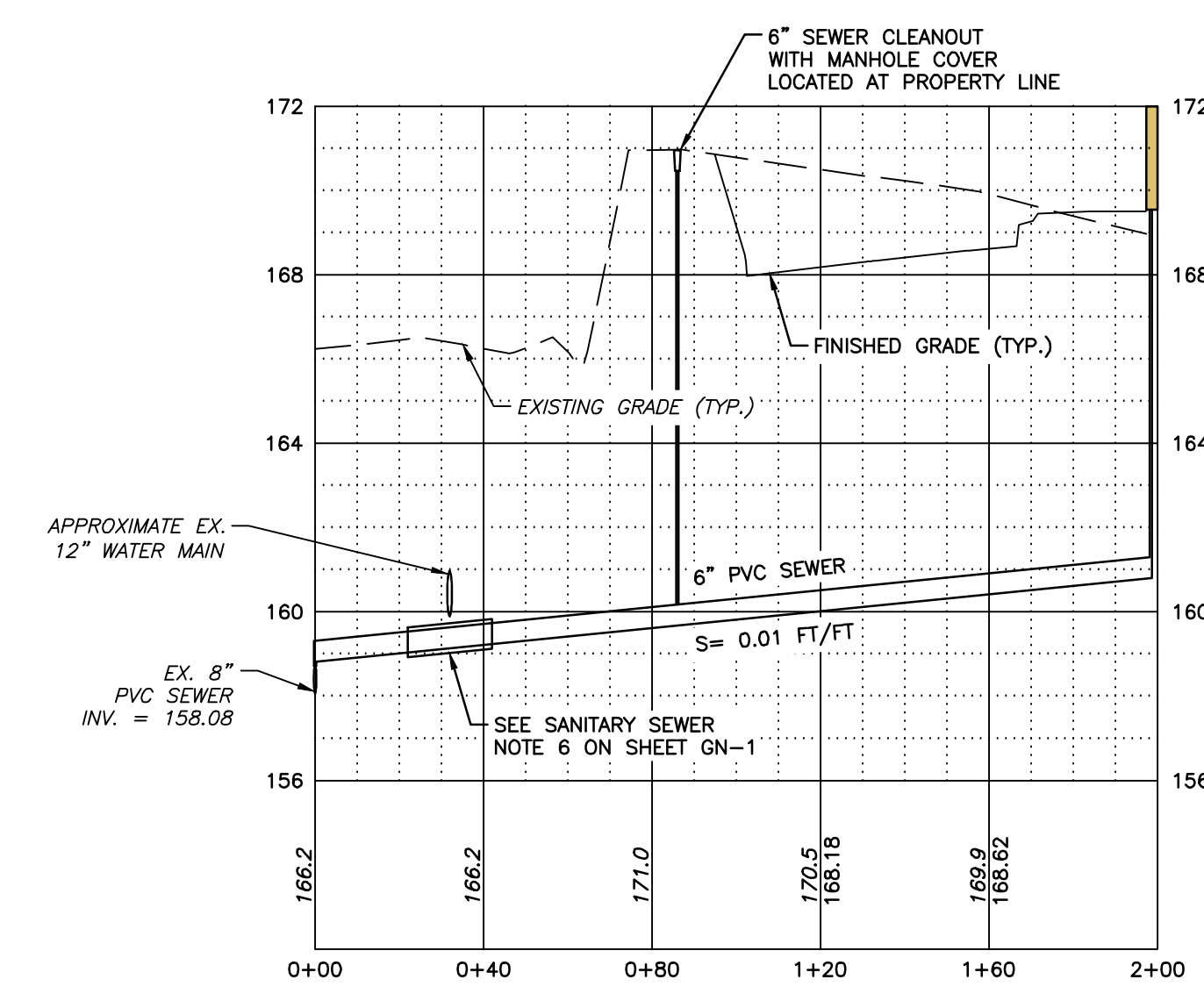
APPROVED BY THE HUDSON, NH PLANNING BOARD
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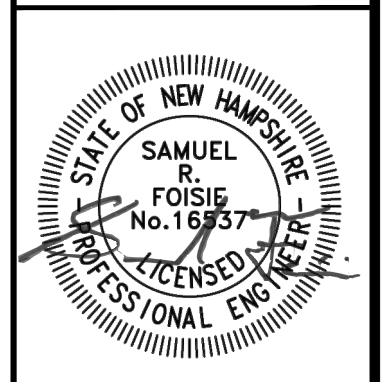


EXISTING SEWER STRUCTURE SCHEDULE

EX. SMH-1
RIM = 169.87
INV. IN = 158.66 (N)
INV. IN = 158.66 (E)
INV. OUT = 158.65
EX. SMH-2
RIM = 163.17
INV. IN = 157.42
INV. OUT = 157.40
EX. SMH-3
RIM = 160.75
INV. IN = 152.93 (E)
INV. IN = 152.96 (N)
INV. OUT = 152.74



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REV.	DATE	DESCRIPTION	DR	CK
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T-BONES AT LOWELL ROAD
 SEWER UTILITY PLAN & PROFILE

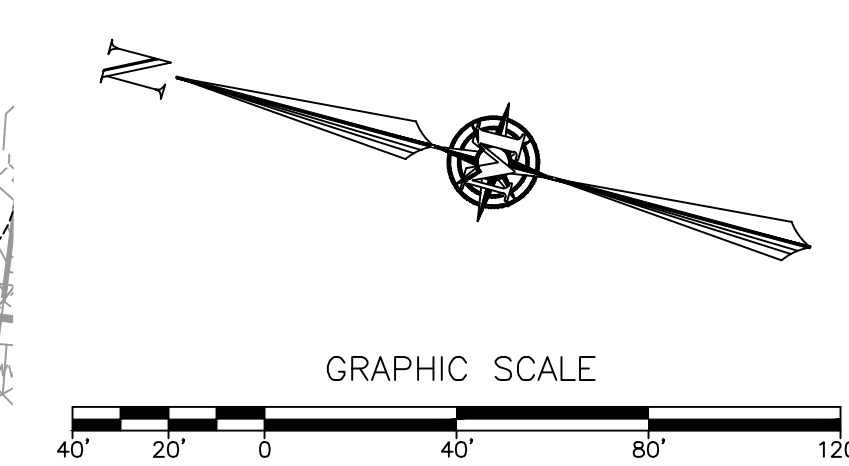
LOWELL ROAD, LLC
 256 LOWELL ROAD
 MAP 228 LOT 7
 HUDSON, NEW HAMPSHIRE

P-1
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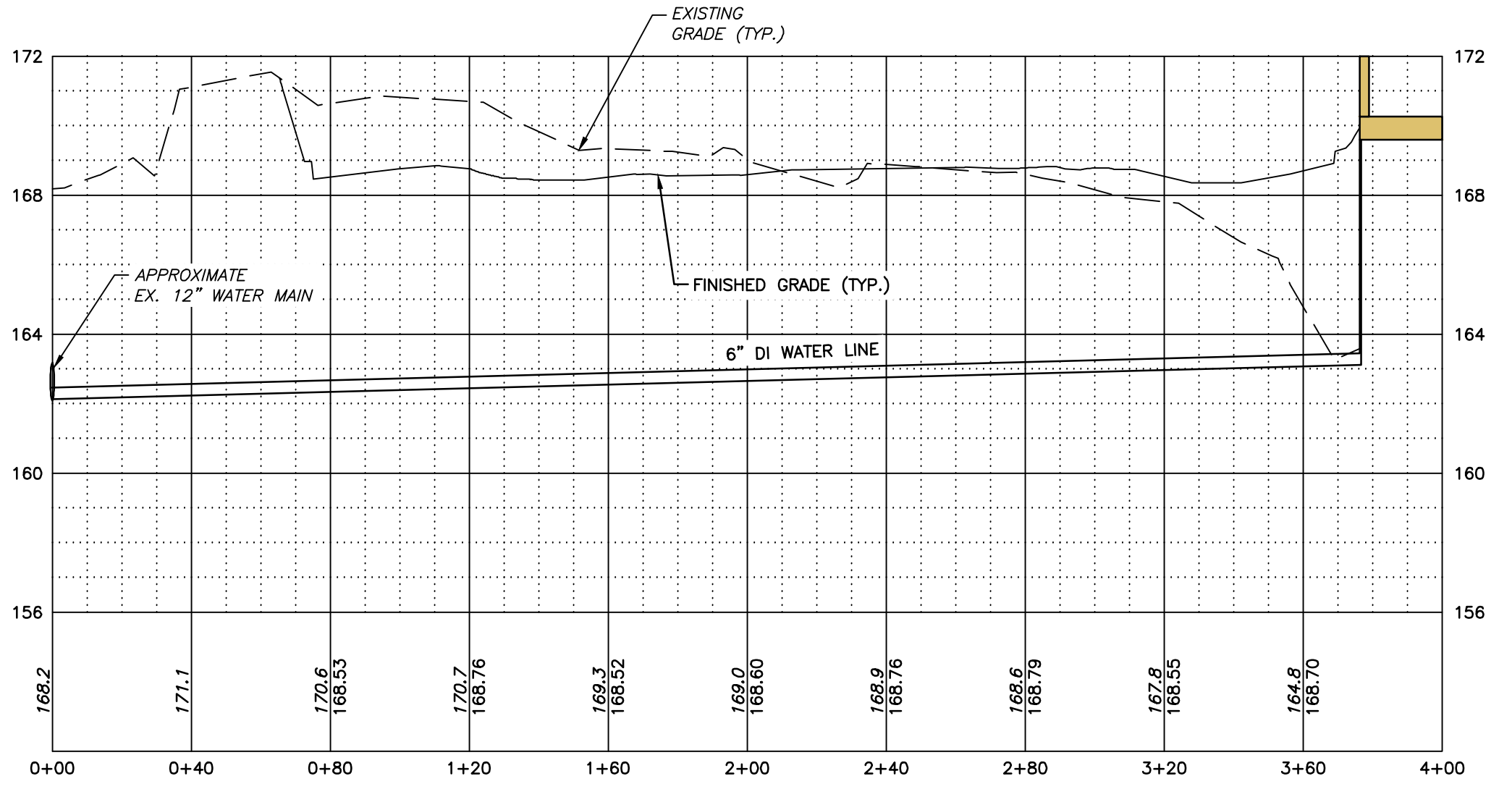
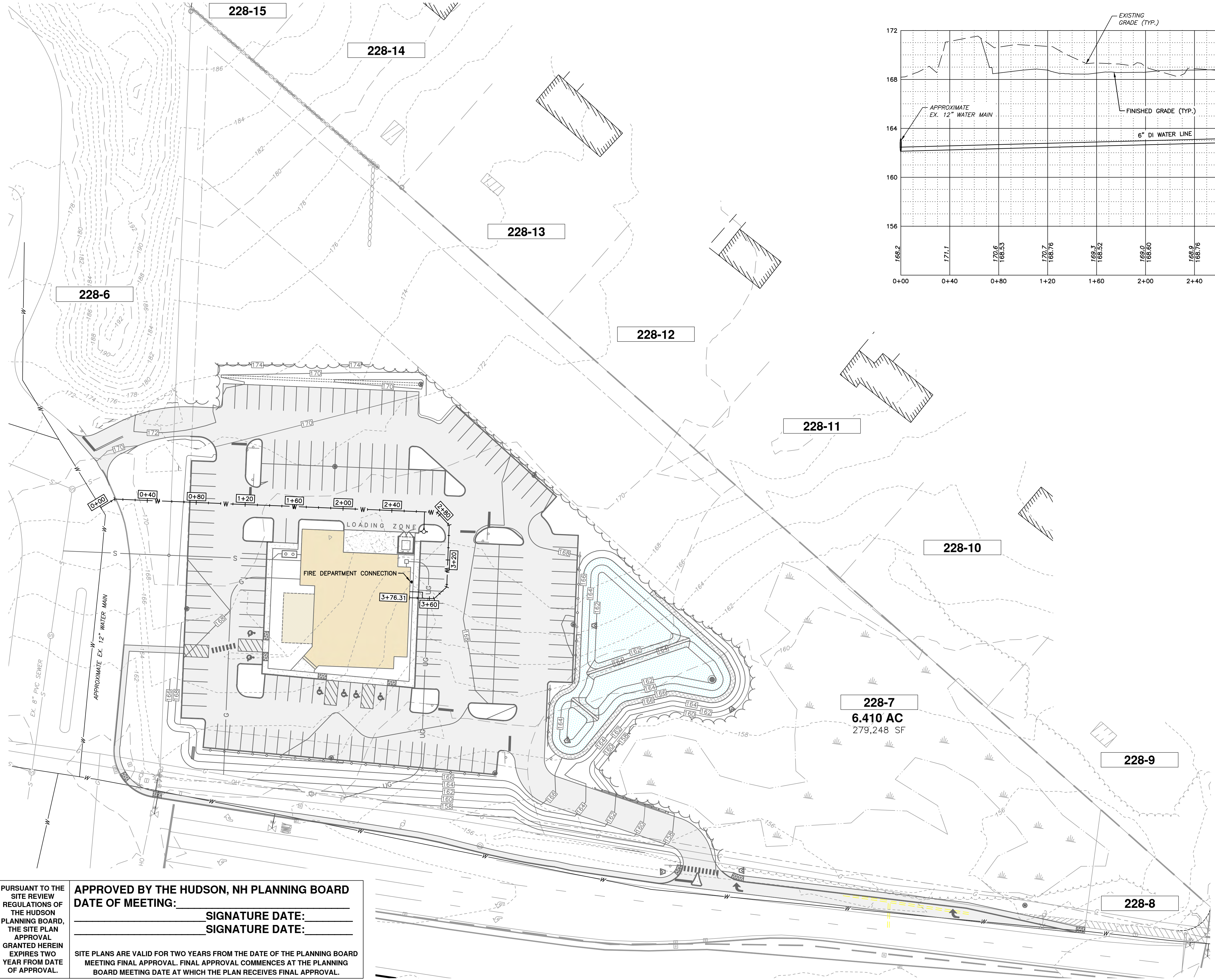
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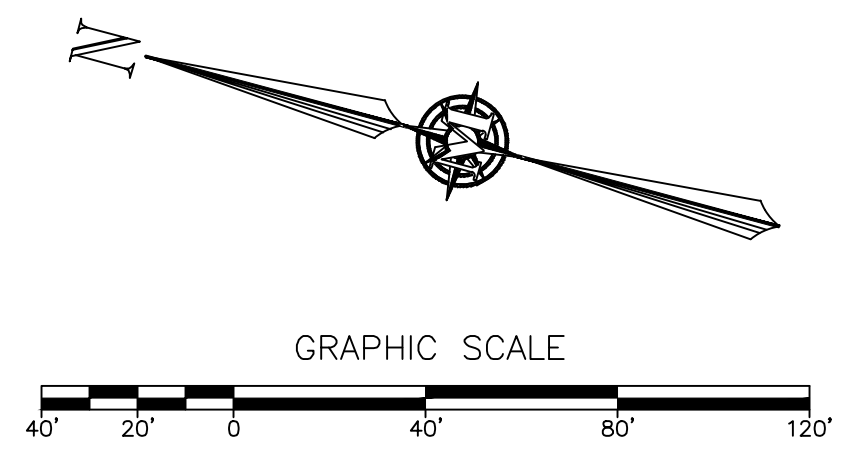
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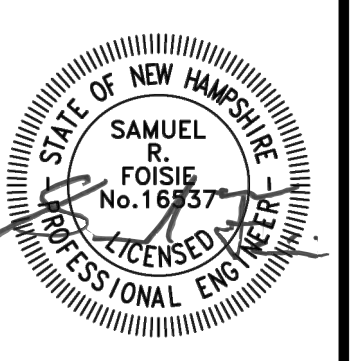
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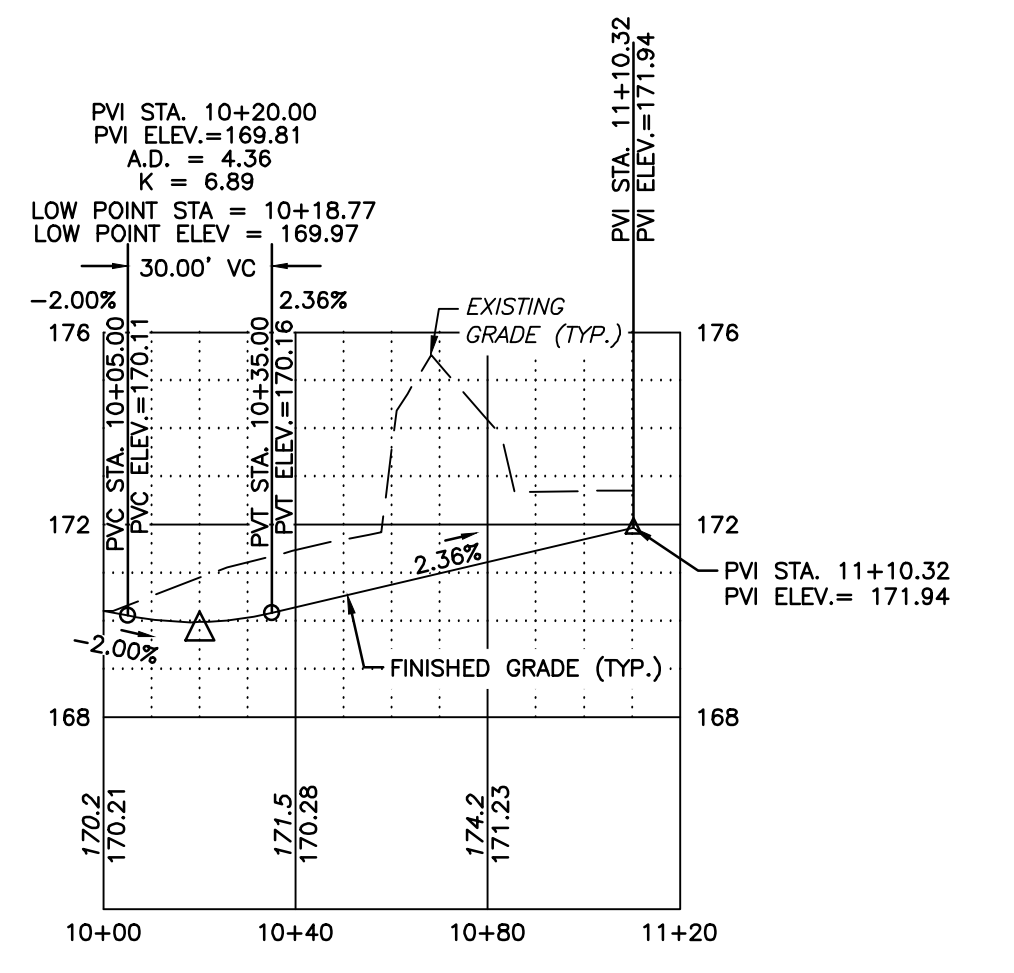
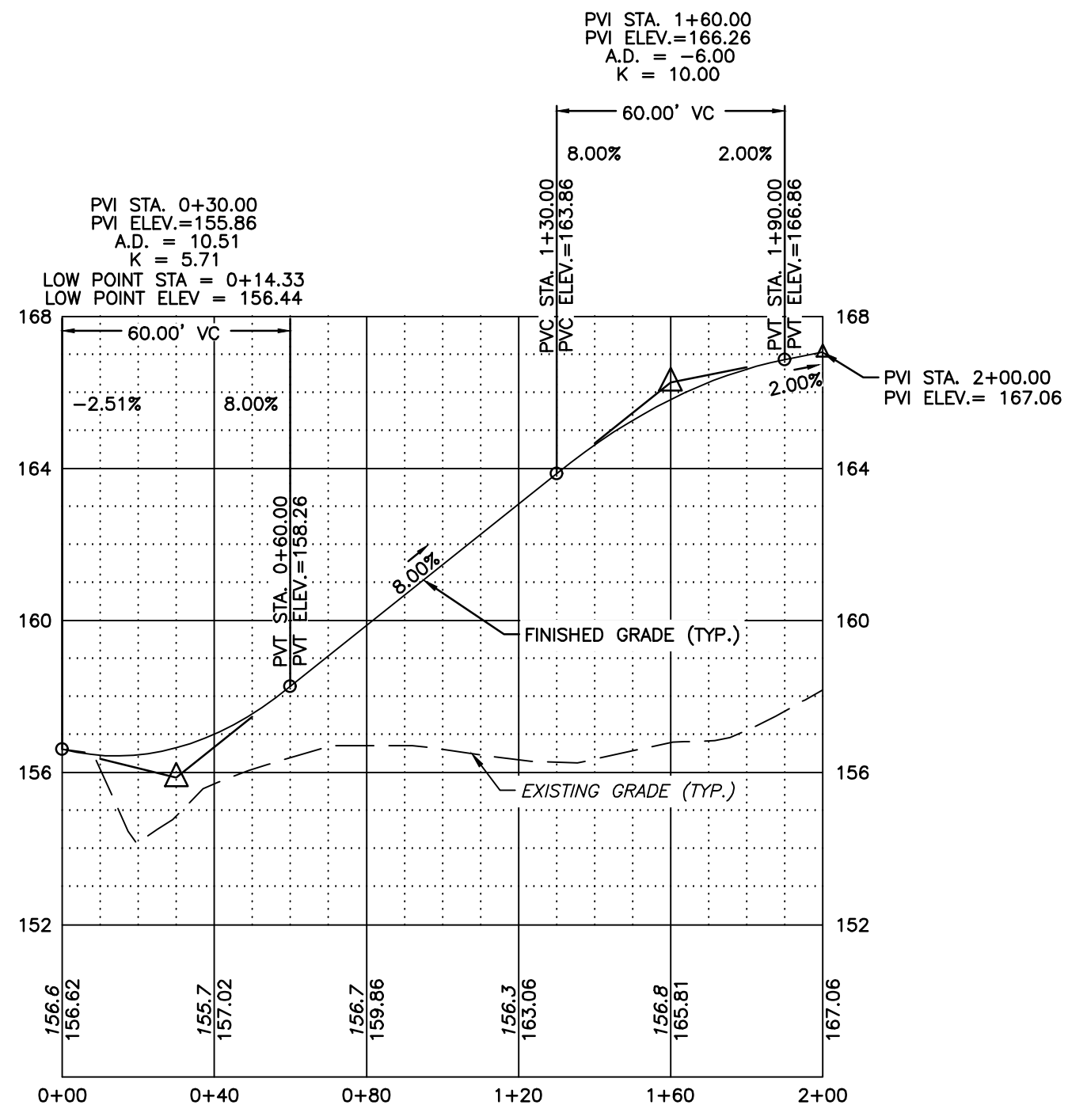
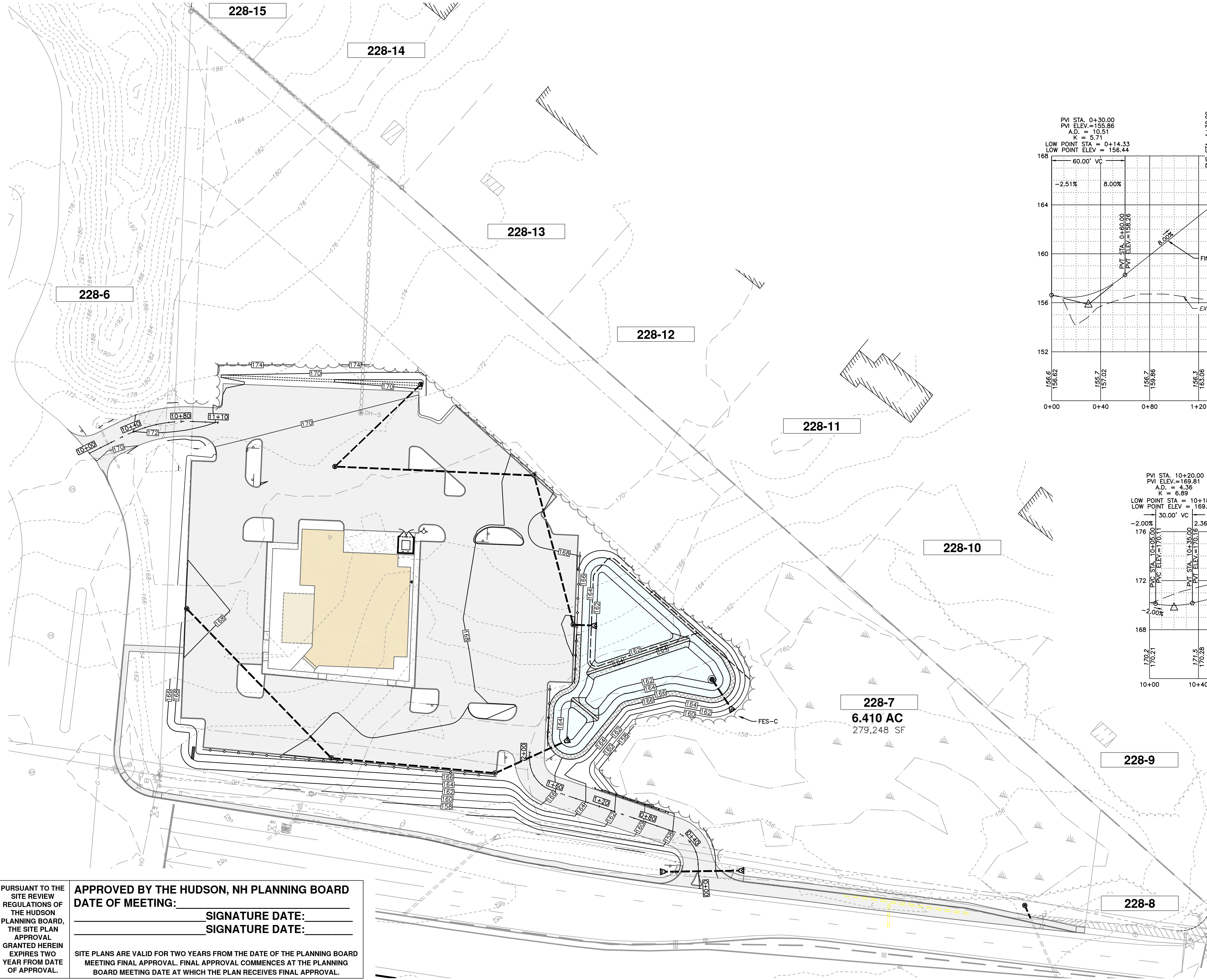
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T-BONES AT LOWELL ROAD
 WATER UTILITY PLAN & PROFILE
 JANUARY 21, 2025

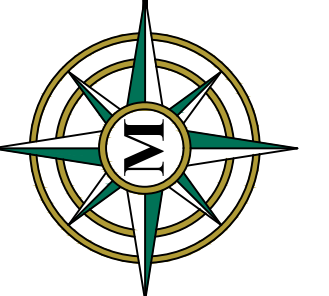
LOWELL ROAD, LLC
 256 LOWELL ROAD
 MAP 228 LOT 7
 HUDSON, NEW HAMPSHIRE
 SCALE: 1" = 40'

P-2
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 FILE: 12542100B.dwg
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 SHEET NO. 10 OF 23

Plotted: 3/12/2025 10:55 AM By: NCG
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T-BONES AT LOWELL ROAD
 DRIVEWAY PLAN & PROFILE

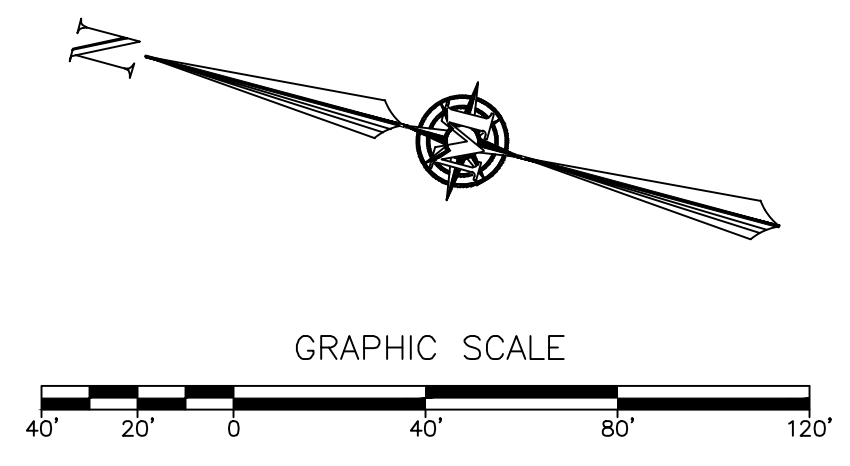
LOWELL ROAD, LLC
 256 LOWELL ROAD
 MAP 228 LOT 7
 HUDSON, NEW HAMPSHIRE

P-3
 SHEET
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 SHEET NO. 11 OF 23

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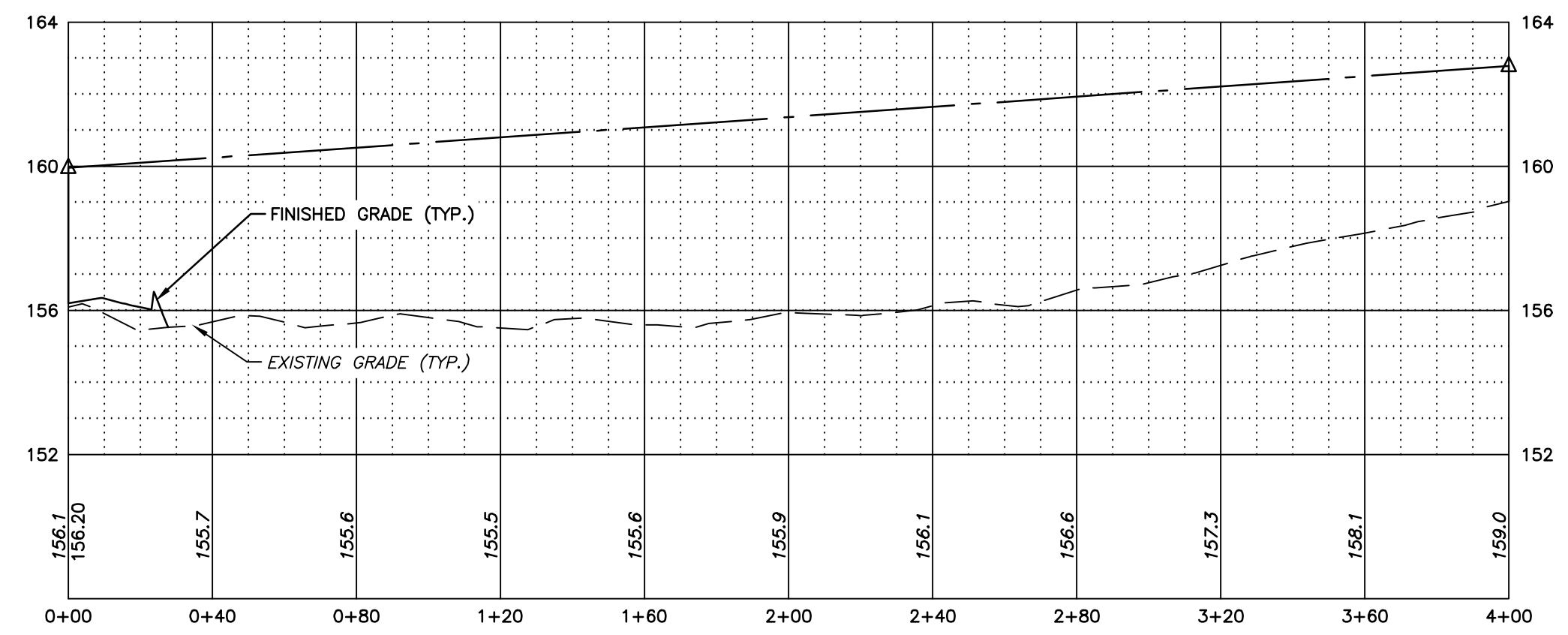
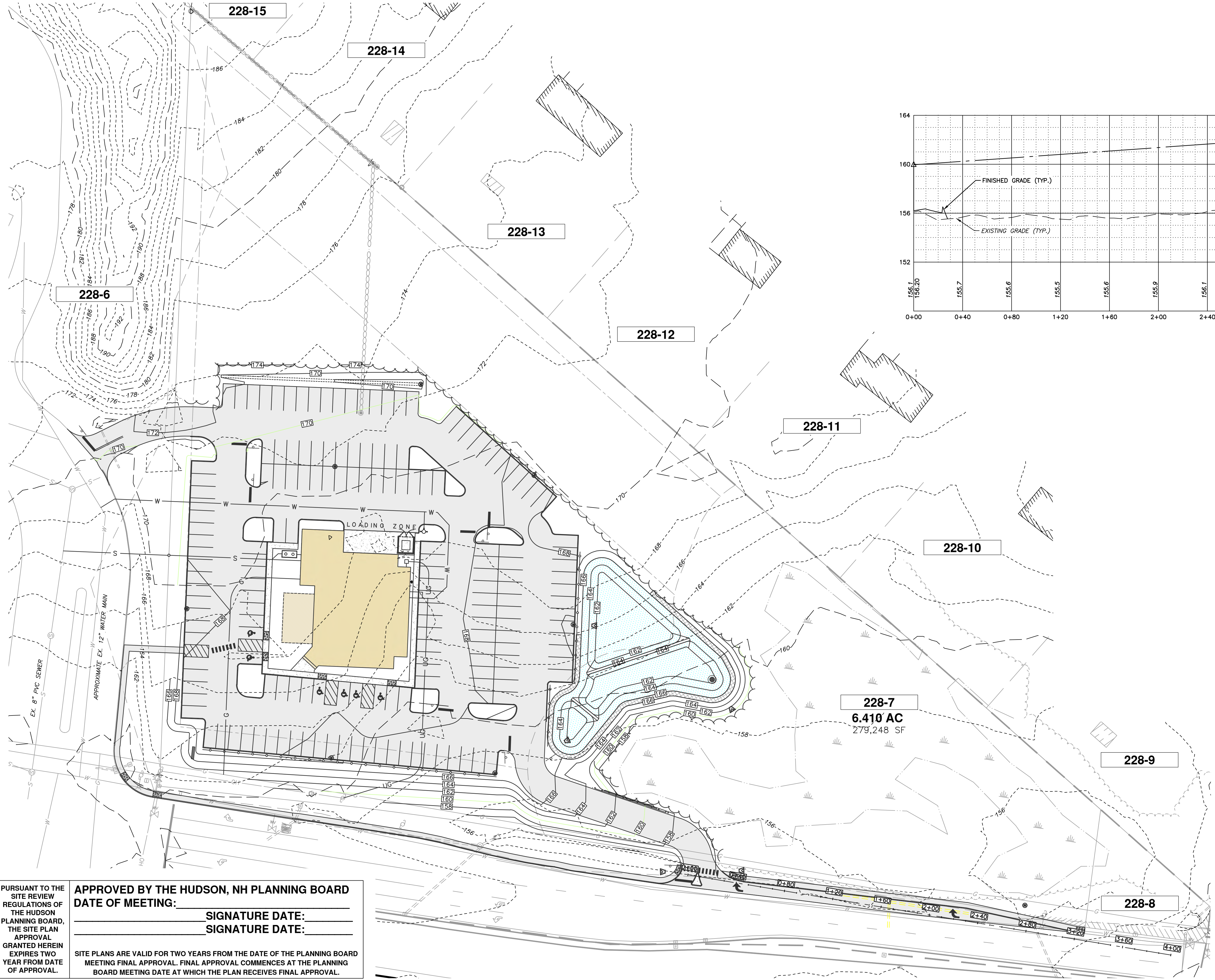
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JANUARY 21, 2025

SCALE: 1" = 40'

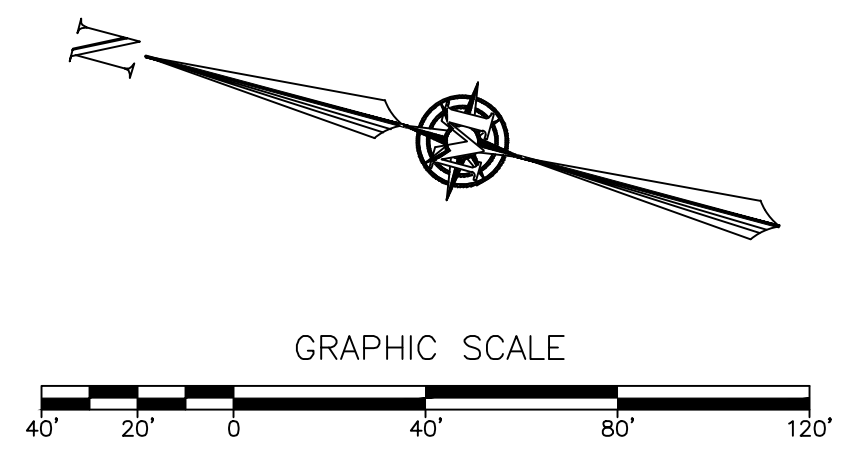
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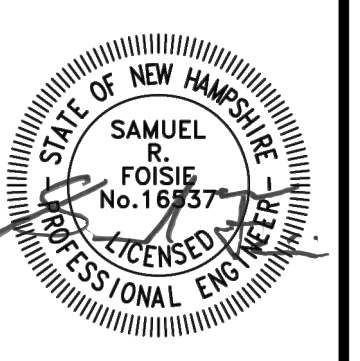
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T-BONES AT LOWELL ROAD
 SIGHT DISTANCE PLAN & PROFILE
 JANUARY 21, 2025

LOWELL ROAD, LLC
 256 LOWELL ROAD
 MAP 228 LOT 7
 HUDSON, NEW HAMPSHIRE
 SCALE: 1" = 40'

SD-1
 SHEET
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 SHEET NO. 12 OF 23


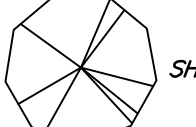




NO.	DATE	DESCRIPTION	DR	CK
1	3/12/25	STAFF & THIRD PARTY REVIEW	NGC	SRF
2	3/4/25	ALTERATION OF TERRAIN SUBMITTAL	NGC	SRF

T-BONES AT LOWELL ROAD
 LANDSCAPING PLAN

LOWELL ROAD, LLC
 256 LOWELL ROAD
 MAP 228 LOT 7
 HUDSON, NEW HAMPSHIRE

LS-1
 SHEET
 FILE: 12542100B.dwg
 PROJECT: 12542.00
 SHEET NO. 13 OF 23

EXISTING LEGEND:

-  EVERGREEN/CONIFER TREE
-  SHADE/DECIDUOUS TREE
-  EVERGREEN SCREEN TREE
-  FLOWERING SHRUB
-  SMALL FLOWERING SHRUB
-  FLOWERING SHADE TREE

LANDSCAPING NOTES:

- PLANTING SEASON: OUT OF SEASON PLANTING SHALL BE DONE ONLY WITH PRIOR APPROVAL OF THE ARCHITECT AND DOES NOT RELIEVE THE CONTRACTOR FROM HIS GUARANTEE. THE CONTRACTOR SHALL TAKE WHATEVER MAINTENANCE PROCEDURES THAT ARE NECESSARY, AT NO EXTRA COST TO COMPENSATE FOR OUT OF SEASON PLANTING.
- DELIVER IN CLOSED TRUCKS: ALL PLANT MATERIALS IN LEAF SHALL BE COVERED WITH TARPS TO PREVENT DRYING OF THE LEAVES. ROOT BALLS MUST BE KEPT DAMP AT ALL TIMES, FROM TIME OF PURCHASE TO COMPLETED INSTALLATION.
- PLANT PITS SHALL BE THREE ROOT BALL DIAMETERS IN WIDTH, AND NO DEEPER THAN THE PLANT BALL.
- REMOVE SOIL FROM THE TOP OF THE ROOT BALL DOWN TO THE TRUNK FLARE BY LOOSENING THE BURLAP. DIG PLANT PIT SUCH THAT THE ROOT FLARE IS ONE (1") TO TWO (2") INCHES ABOVE FINISHED GRADE.
- FILL HOLE WITH WATER IF POOR DRAINAGE IS SUSPECTED. IF TREE PIT DOES NOT DRAIN WITHIN 24 HOURS AN ALTERNATE PLANT LOCATION SHALL BE SELECTED.
- SET PLANT IN HOLE, CUT AWAY ALL VISIBLE ROPE AND BURLAP. SEE DETAILS FOR WIRE BASKET REMOVAL.
- BACKFILL HOLE WITH 1/3 LOAM, 1/3 PEAT MOSS, AND 1/3 COMPOSTED COW MANURE. WHEN BACKFILLING IS HALF COMPLETE, FILL PIT WITH WATER AND ALLOW TO DRAIN TO REMOVE AIR POCKETS. COMPLETE BACKFILLING, LEAVING ROOT FLARE EXPOSED.
- WATER-HOLDING SAUCER SHALL BE BUILT UP AROUND THE PLANT PIT. FLOOD WITH WATER FOR FIVE (5) MINUTES IMMEDIATELY AFTER PLANTING.
- WATER PLANTS ONCE A DAY FOR THE FIRST WEEK AND ONCE A WEEK FOR THE FIRST PLANTING WATER AT A RATE OF FIVE (5) GALLONS PER SHRUB AND TEN (10) GALLONS FOR TREE.
- MULCH AREAS AROUND PROPOSED TREES AND SHRUBS. ALL PLANT BEDS SHALL BE TREATED WITH THREE (3") INCHES OF SHREDDED BARK MULCH. CUT NEAT BED EDGE AND FULLY REMOVE ALL GRASS AND WEEDS PRIOR TO MULCH APPLICATION. DO NOT MULCH AGAINST TRUNKS AND STEMS OF PLANT MATERIALS.
- GUARANTEE ALL PLANTS FOR ONE (1) FULL YEAR FROM DATE OF STORE GRAND OPENING. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND MAINTAINING ALL PLANT MATERIALS IN A HEALTHY CONDITION THROUGH THE GUARANTEE PERIOD.
- ALL PLANTING BEDS AND INTERIOR LANDSCAPED ISLANDS SHALL HAVE A MINIMUM OF 12" LOAM BEDDING. ALL OTHER AREAS SHALL HAVE A MINIMUM OF 6" LOAM BEDDING.

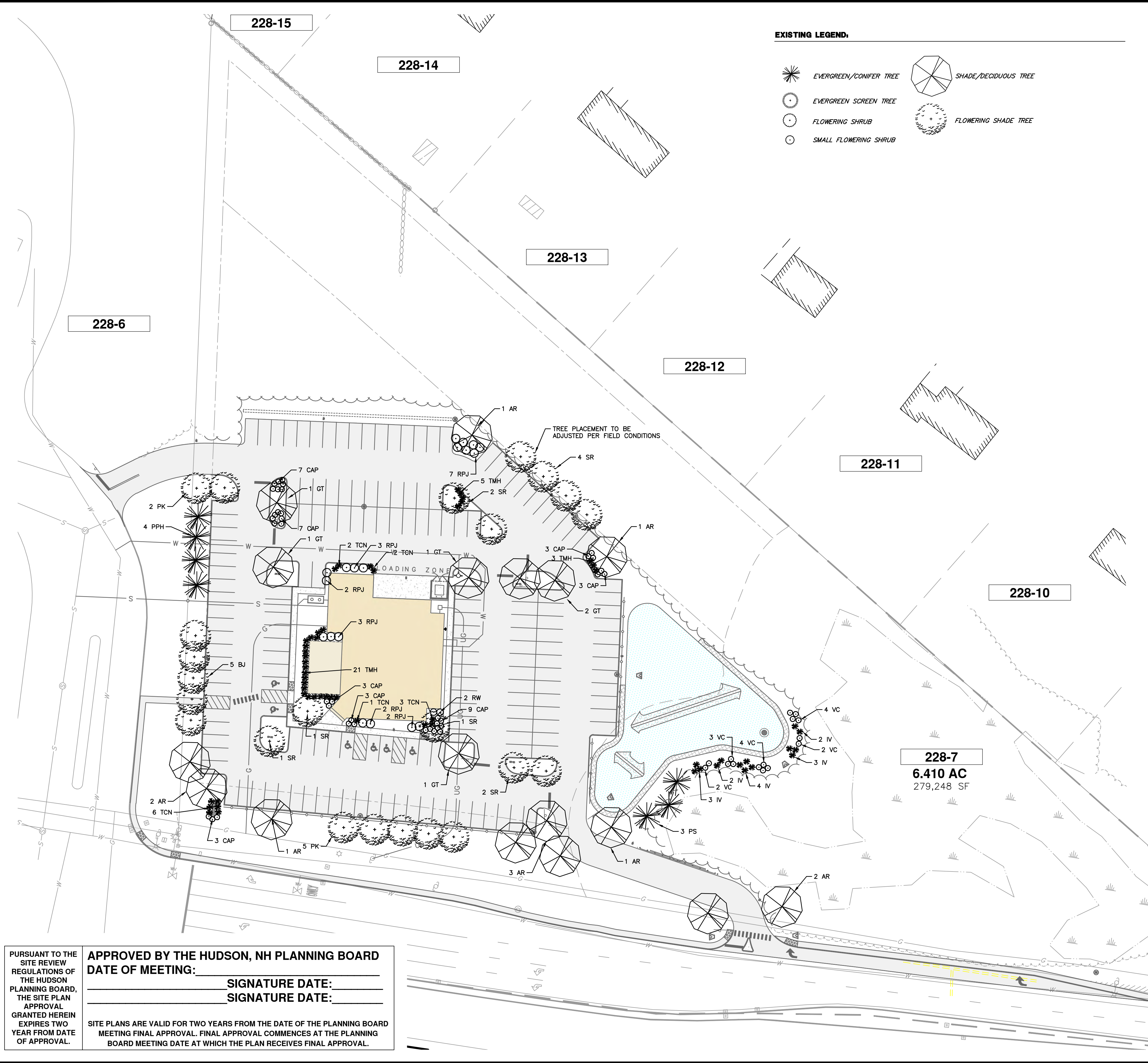
LANDSCAPING CALCULATIONS:

- LANDSCAPE AREA: A MINIMUM OF 10% OF THE INTERIOR OF A PARKING LOT SHALL BE SET ASIDE FOR LANDSCAPING AREAS EXCLUSIVE OF PAVED PEDESTRIAN SURFACES.
 PARKING AREA: 74,900 SF
 REQUIRED LANDSCAPE AREA: 74,900 SF * 10% = 7,490 SF
 PROVIDED LANDSCAPE AREA: 9,430 SF
- TREE CALCULATIONS: A MINIMUM OF ONE SHADE TREE SHALL BE PLANTED PER 1,600 SF OF PAVED AREA, OR ONE SHADE TREE PER EVERY FIVE(5) PARKING SPACES, WHICHEVER IS GREATER.
 PARKING AREA: 74,900 SF
 REQUIRED TREES: 74,900 SF / 1,600 SQUARE FEET PER TREE = 47 TREES
 PARKING SPACES: 169 SPACES
 REQUIRED TREES: 169 SPACES / 5 SPACES PER TREE = 34 TREES
 PROVIDED: 47 TREES
- SHRUB CALCULATIONS: ONE SHRUB PER 200 SF OF PAVED AREA SHALL BE PLANTED OR 1.6 SHRUBS PER EVERY PARKING SPACE.
 PARKING AREA: 74,900 SF
 REQUIRED SHRUBS: 74,900 SF / 200 SQUARE FEET PER SHRUB = 375 SHRUBS
 PARKING SPACES: 169 SPACES
 REQUIRED SHRUBS: 169 SPACES * 1.6 SHRUBS PER SPACE = 271 SHRUBS
 PROVIDED: 131 SHRUBS

PLANT LIST:

KEY	QTY.	BOTANICAL NAME (TREES)	COMMON NAME	SIZE
AR	12	ACER RUBRUM	OCTOBER GLORY RED MAPLE	3" CAL.
BJ	5	BETULA JACQUEMONTI	JACKMAN BIRCH	3" CAL.
GT	6	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEYLOCUST	3" CAL.
PK	7	PRUNUS SERRULATA	KWANZAN CHERRY	6'
PPH	4	PICEA PUNGENS HOOPSII	HOOPS BLUE SPRUCE	6'
PS	3	PINUS STROBUS	WHITE PINE	6'
SR	11	SYRINGA RETICULATA	JAPANESE TREE LILAC	3" CAL.

KEY	QTY.	BOTANICAL NAME (SHRUBS)	COMMON NAME	SIZE
CAP	38	COTONEASTER ADPRESSA PRAEcox	EARLY COTONEASTER	18" - 24"
RPJ	17	RHODODENDRON PJM	PJM RHODODENDRON	2' - 3'
RW	4	RHODODENDRON BOULE DE NEIGE	WHITE RHODODENDRON	2' - 3'
TCN	14	TAXUS CUSPIDATA NANA	DWARF SPREADING YEW	2' - 3'
TMH	29	TAXUS MEDIA HICKSII	HICKS YEW	3' - 4'
IV	14	ILEX VERTICULATA	WINTERBERRY HOLLY	5 GAL.
VC	15	VACCINIUM CORYMBOSUM	HIGHBUSH BLUE BERRY	5 GAL.



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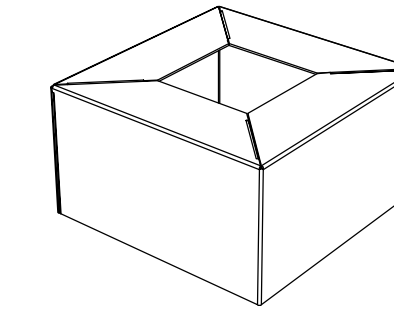
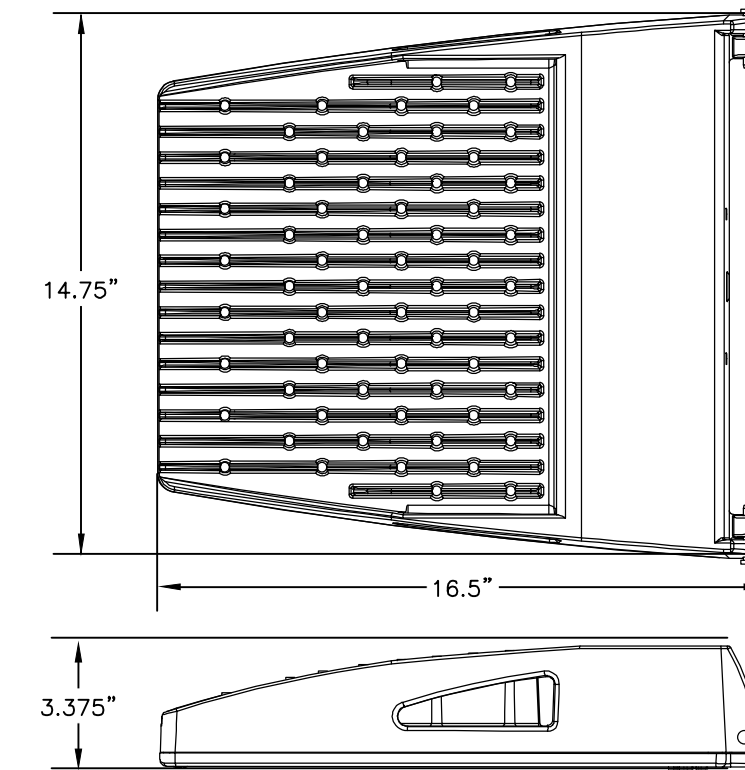
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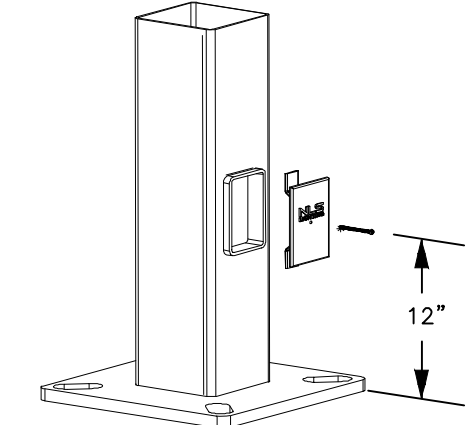
LUMINAIRE SCHEDULE						LLF	LUMINAIRE LUMENS
SYMBOL	QTY	LABEL	ARRANGEMENT	DESCRIPTION	TAG		
	2	S3	SINGLE	NLS: NV-1-T3-16L-1-40K7-UNV-ASA-CXX	MOUNTED ON 20' NLS POLE: SSSP-20-4S-11G-9BC-SGL-CXX-3430	0.900	6888
	1	S4	SINGLE	NLS: NV-1-T4-16L-1-40K7-UNV-ASA-CXX	MOUNTED ON 20' NLS POLE: SSSP-20-4S-11G-9BC-SGL-CXX-3430	0.900	6776
	5	S4FT	SINGLE	NLS: NV-1-T4FTW-32L-1-40K7-UNV-ASA-CXX	MOUNTED ON 20' NLS POLE: SSSP-20-4S-11G-9BC-SGL-CXX-3430	0.900	11054
	4	S5-2	BACK-BACK	NLS: NV-1-T5W-32L-7-40K7-UNV-ASA-CXX	MOUNTED ON 20' NLS POLE: SSSP-20-4S-11G-9BC-D-180-CXX-3430	0.900	10342

LIGHTING NOTE:

1. THE HOURS OF OPERATION FOR THE SITE ARE 11:30 AM-10:00 PM SUNDAY THROUGH WEDNESDAY AND 11:30 AM-12:00 AM THURSDAY THROUGH SATURDAY. LIGHTING SHALL BE ON 1 HOUR BEFORE/AFTER HOURS OF OPERATION.



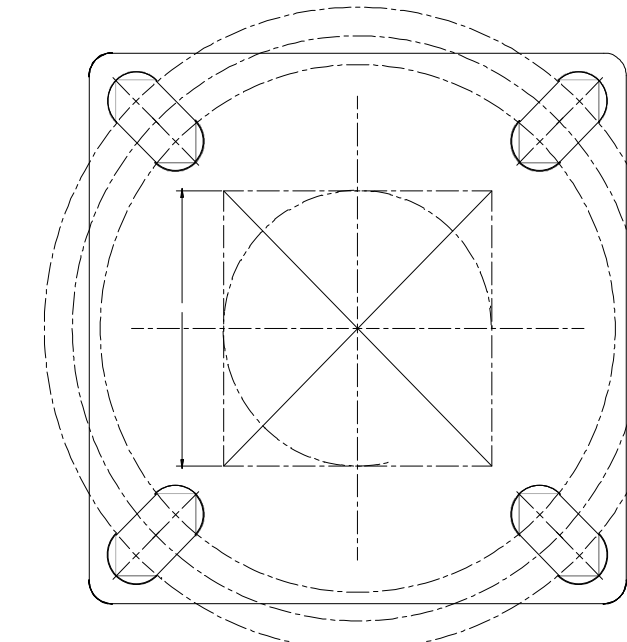
BASE COVER



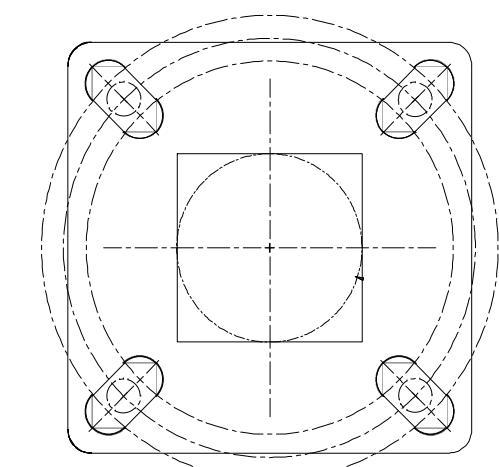
BASE DETAIL

POLE MOUNTED LIGHTING (NV-1)
[NLS LIGHTING]

SCALE: NONE **1** LT-1



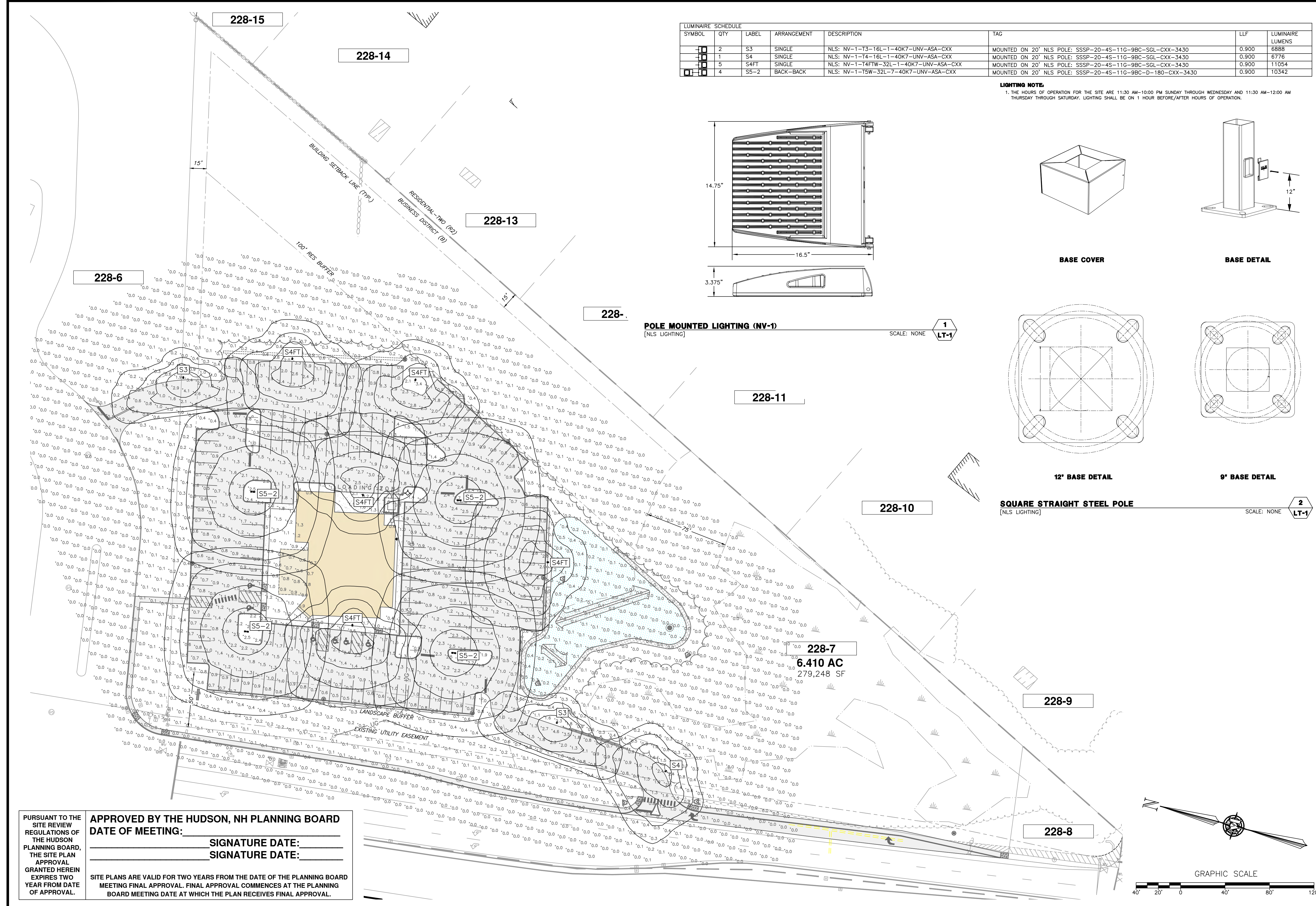
12" BASE DETAIL



9" BASE DETAIL

SQUARE STRAIGHT STEEL POLE
[NLS LIGHTING]

SCALE: NONE **2** LT-1



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEAR FROM DATE OF APPROVAL.

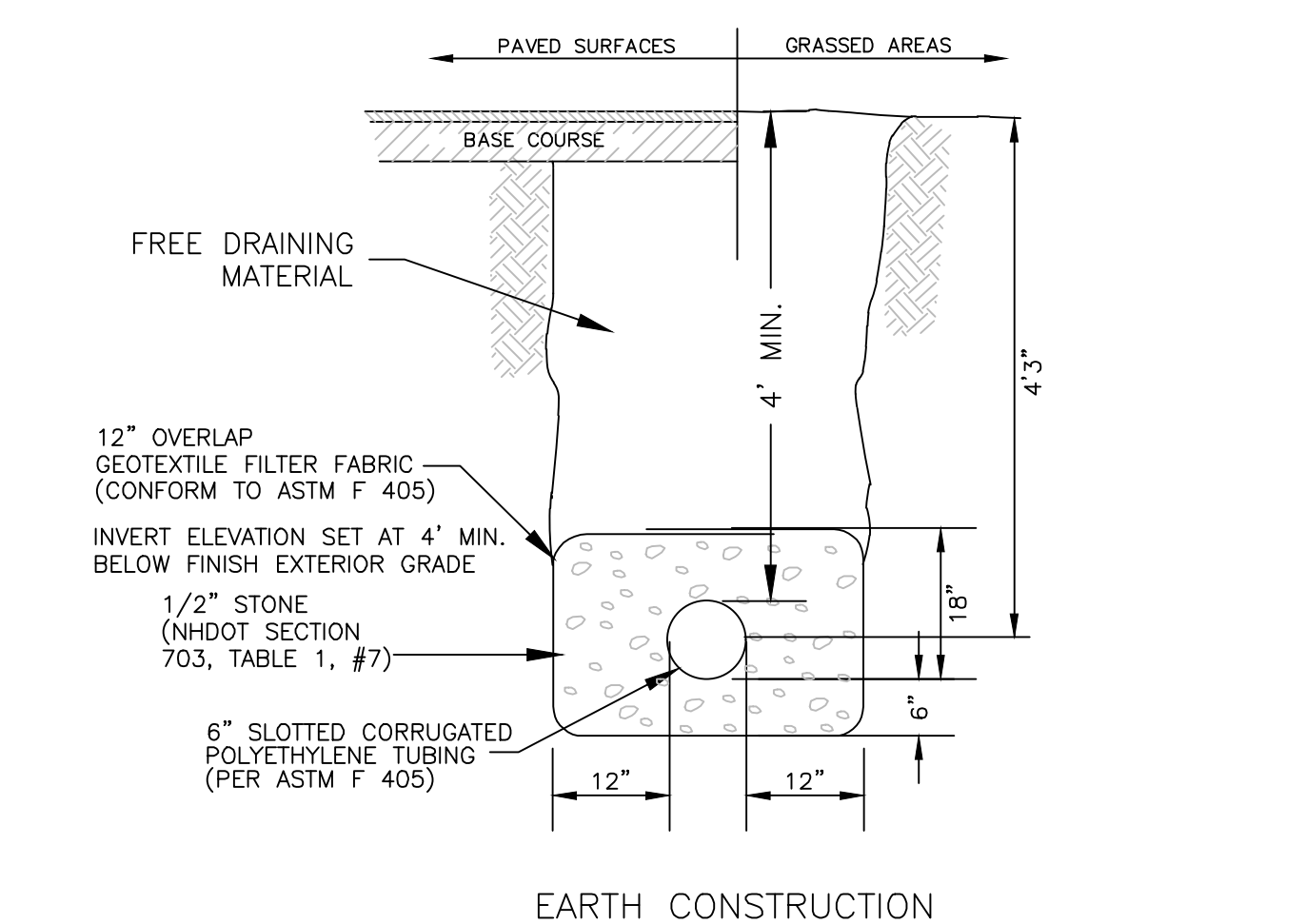
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
SIGNATURE DATE: _____
SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF THE PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

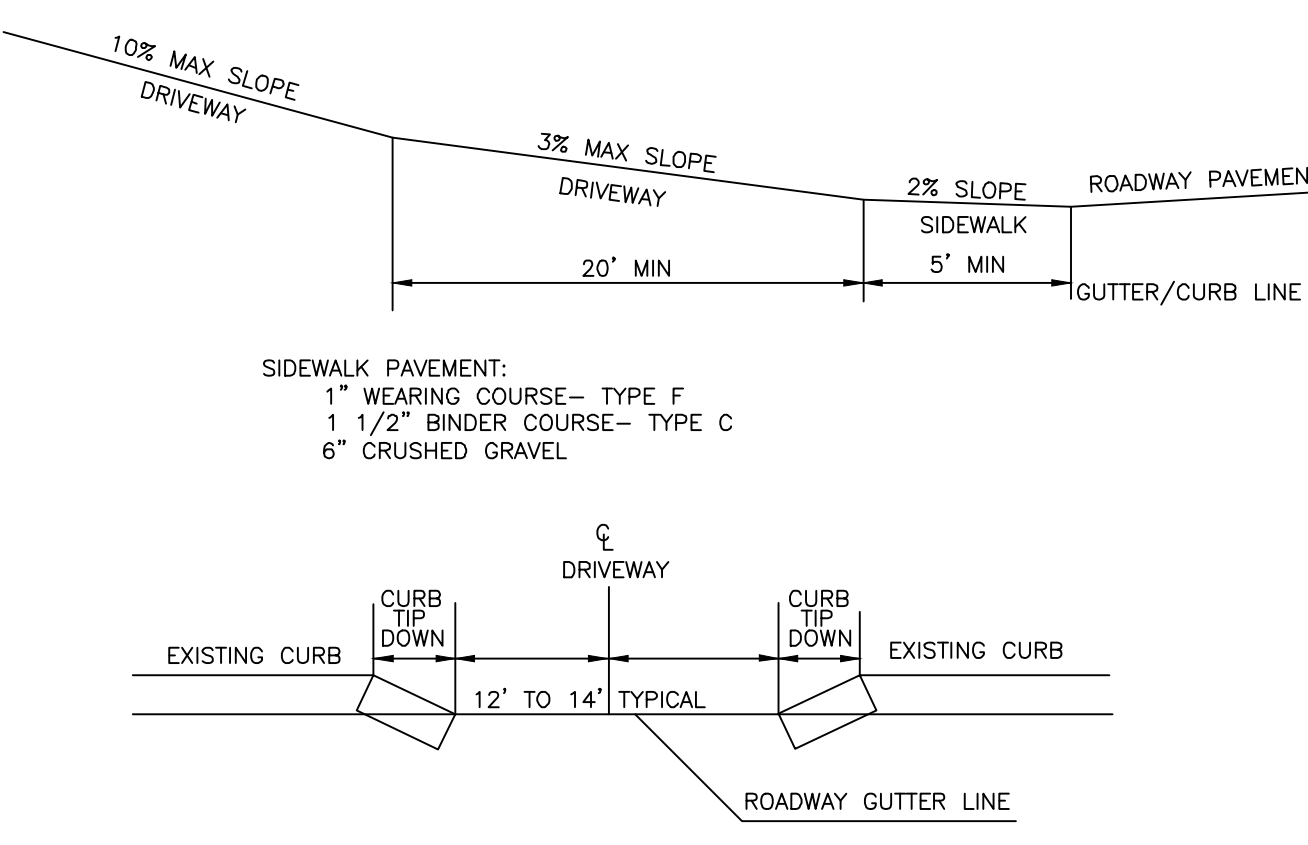
REV.	DATE	DESCRIPTION	DR	CK
A	3/12/25	STAFF & THIRD PARTY REVIEW	NGC	SRF
B	3/4/25	ALTERATION OF TERRAIN SUBMITTAL		

T-BONES AT LOWELL ROAD
LIGHTING PLAN
JANUARY 21, 2025

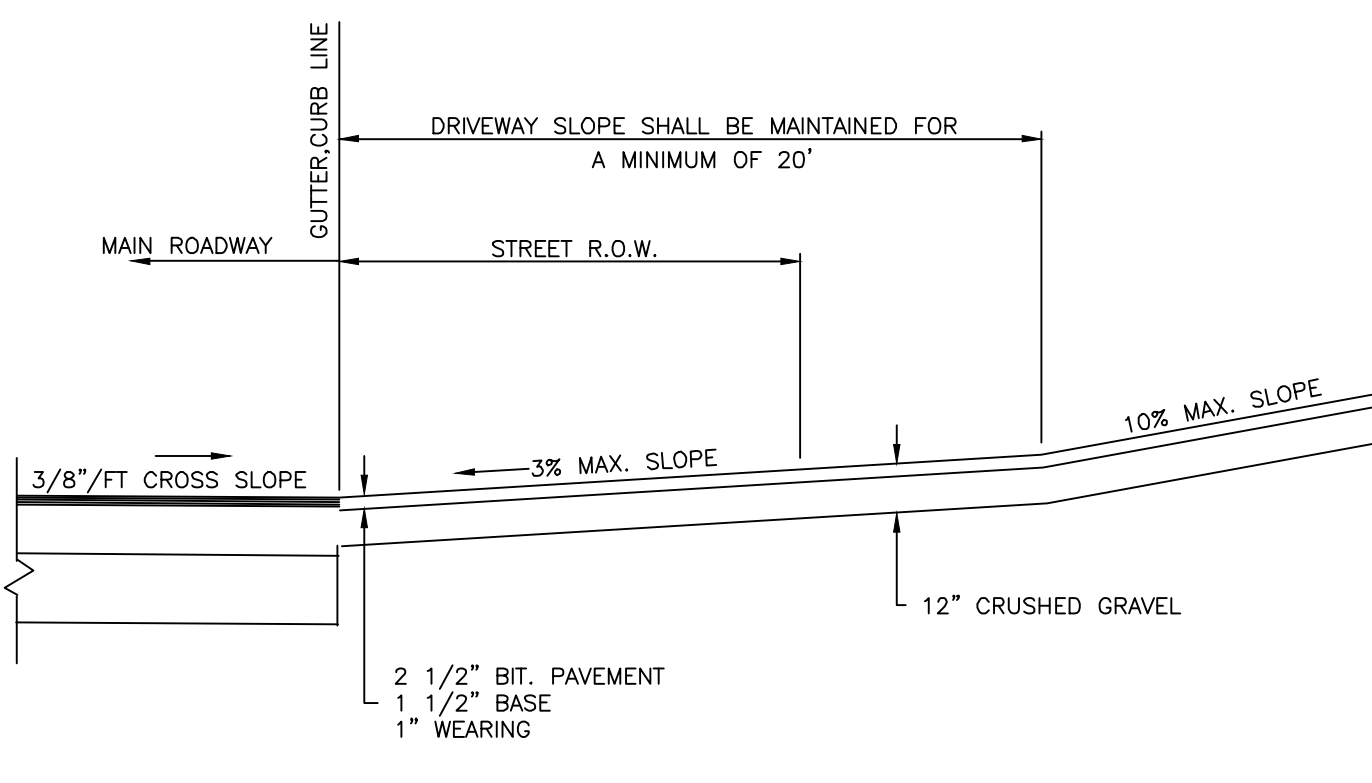
LOWELL ROAD, LLC
256 LOWELL ROAD
MAP 228 LOT 7
HUDSON, NEW HAMPSHIRE
SCALE: 1" = 40'



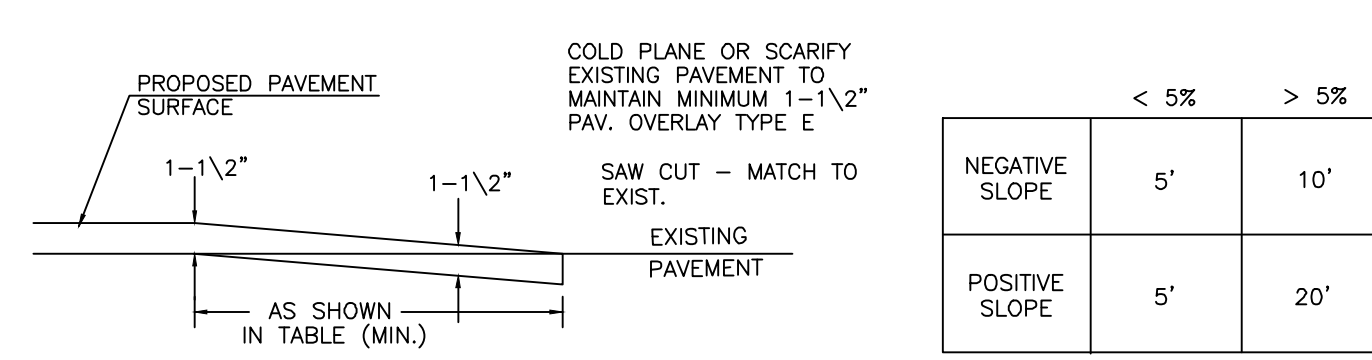
1 UNDERDRAIN
[TOWN OF HUDSON] SCALE: NONE D-1



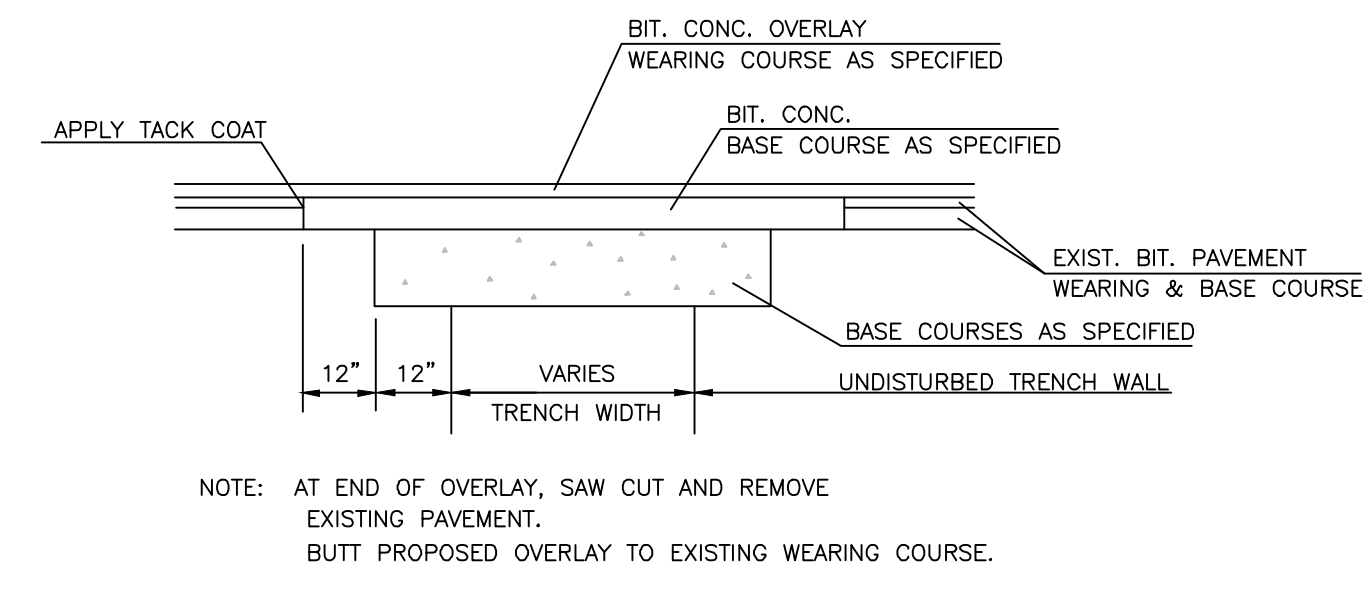
5 DRIVEWAY CROSS-SECTION AT CURB WITH SIDEWALK
[TOWN OF HUDSON] SCALE: NONE D-1



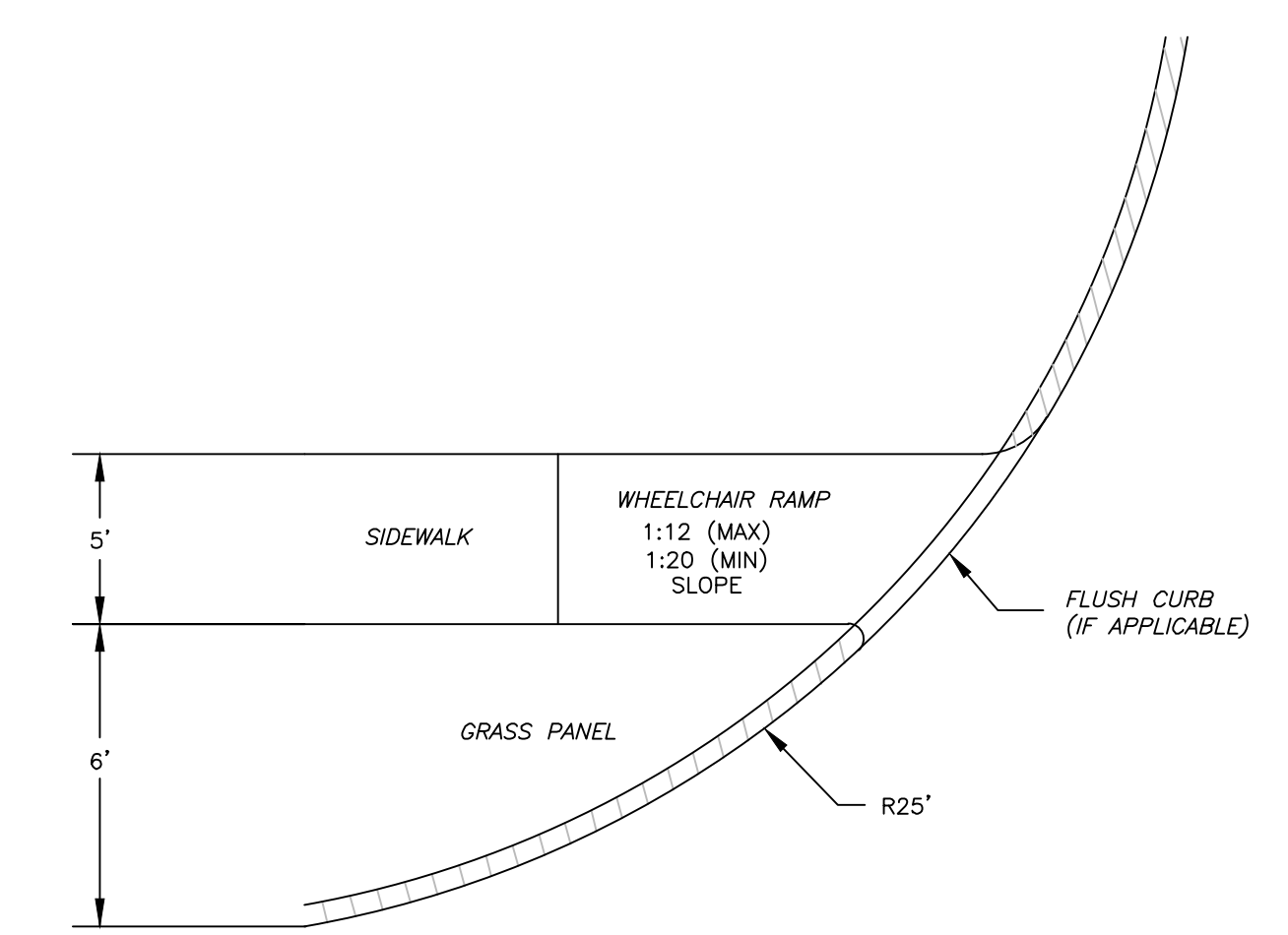
2 DRIVEWAY CROSS-SECTION
[TOWN OF HUDSON] SCALE: NONE D-1



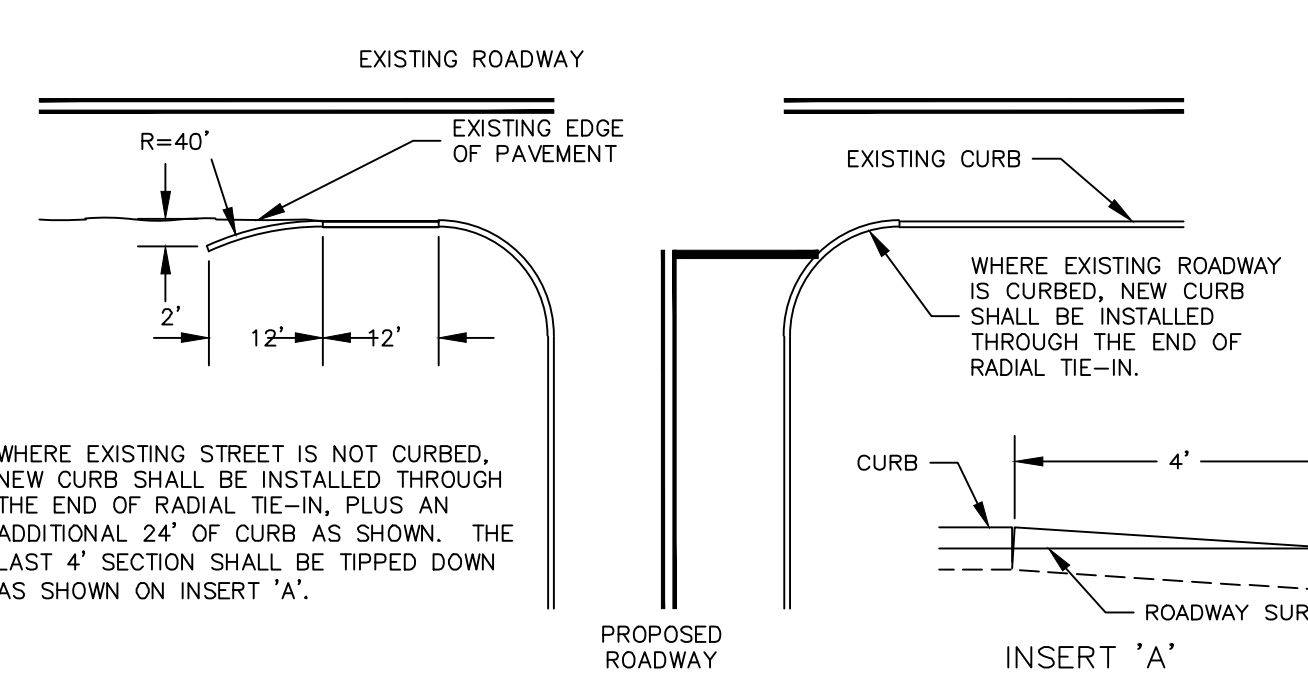
3 PAVEMENT END MATCH
[TOWN OF HUDSON] SCALE: NONE D-1



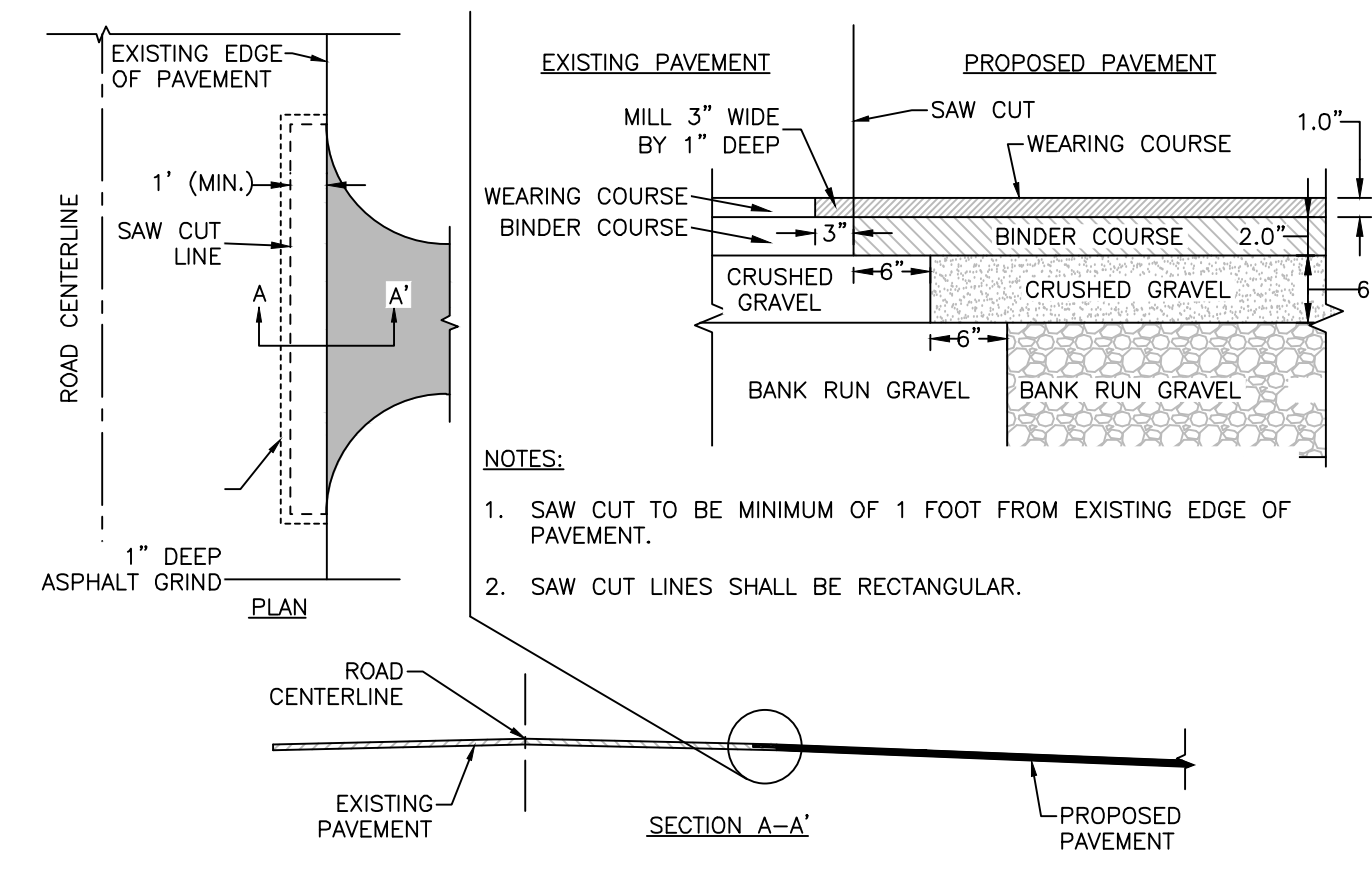
4 PAVEMENT PATCH WITH OVERLAY
[TOWN OF HUDSON] SCALE: NONE D-1



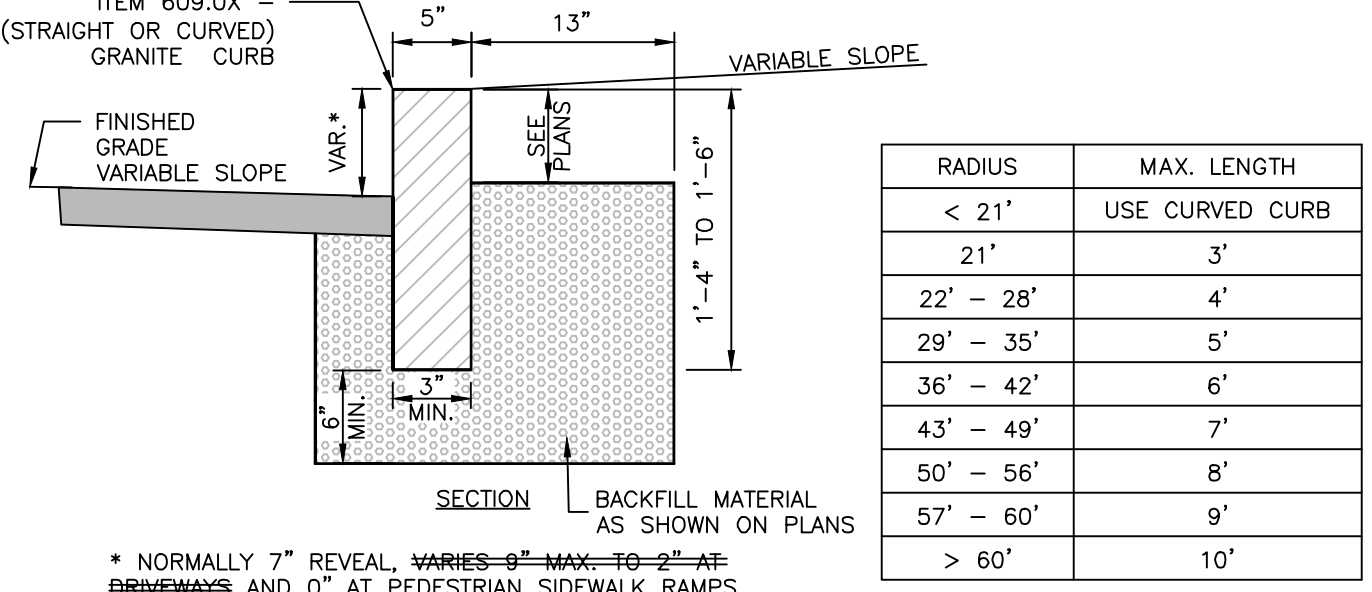
6 HANDICAP SIDEWALK RAMP
[TOWN OF HUDSON] SCALE: NONE D-1



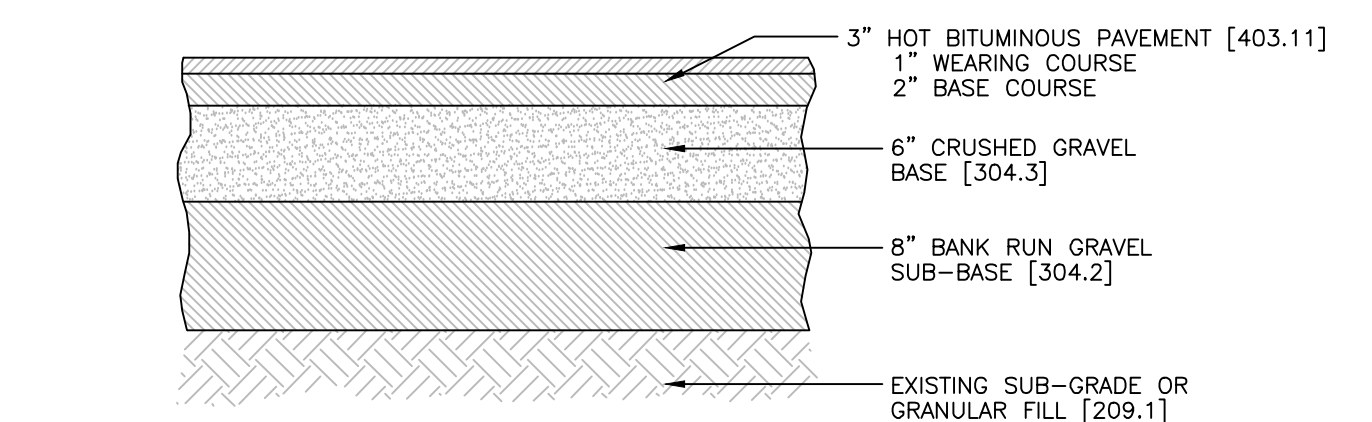
7 CURB END
[TOWN OF HUDSON] SCALE: NONE D-1



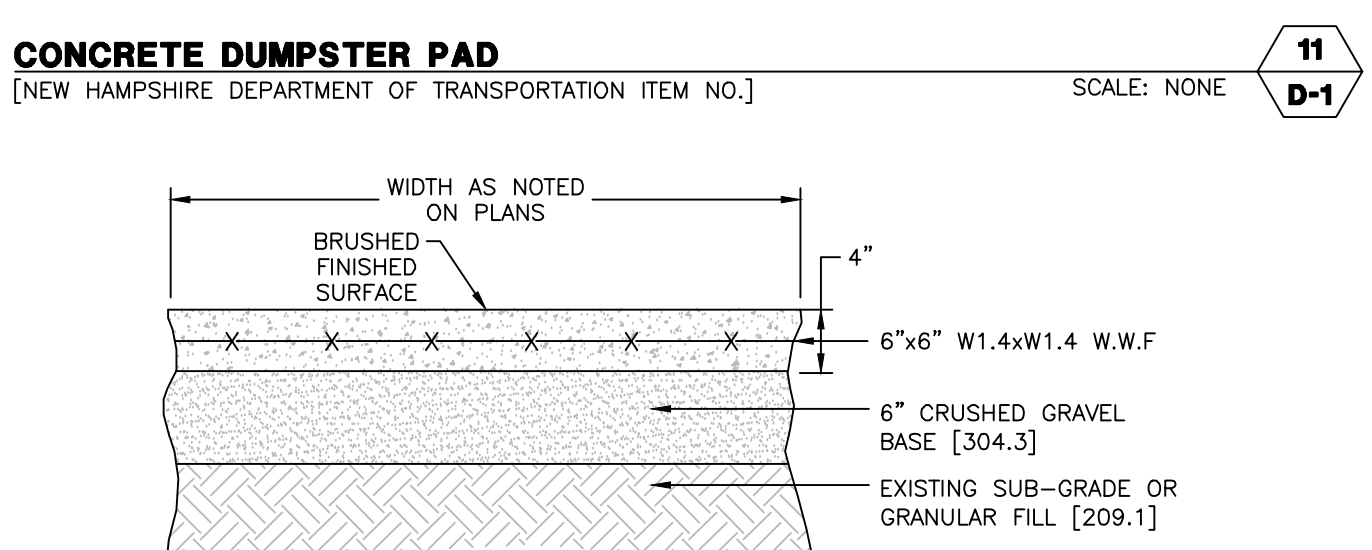
8 PAVEMENT BUTT JOINT DETAIL
SCALE: NONE D-1



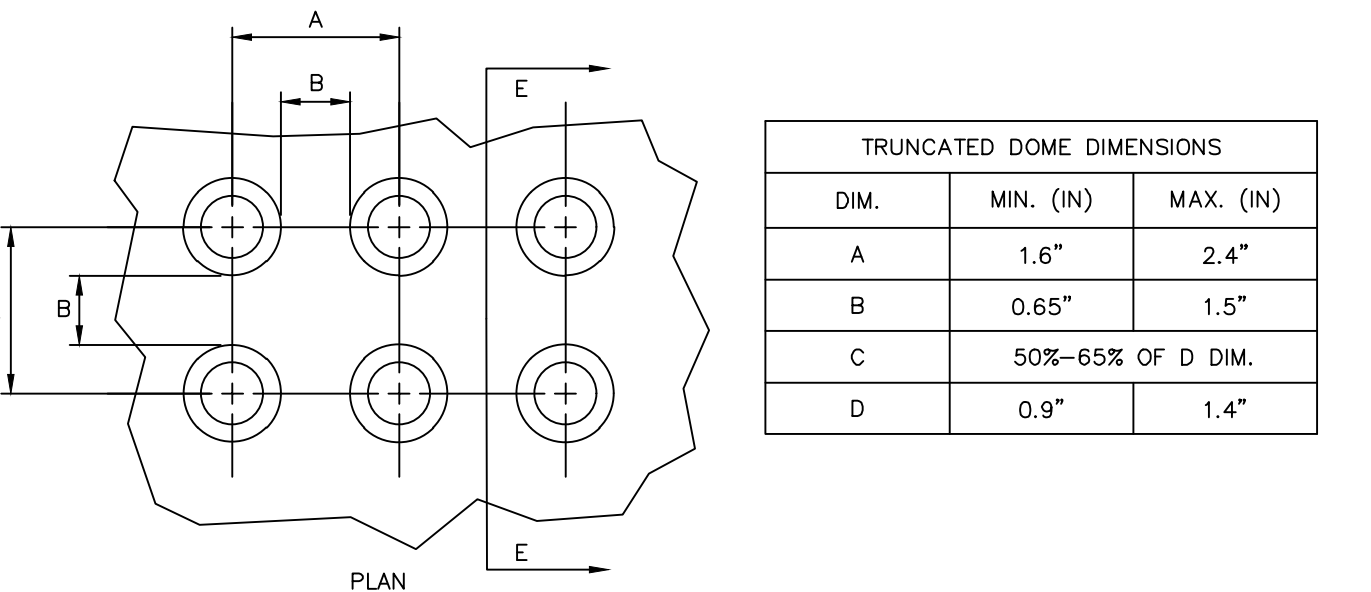
9 STRAIGHT OR CURVED GRANITE CURBING
[NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD PLAN CR-2 PLATE 1] SCALE: NONE D-1



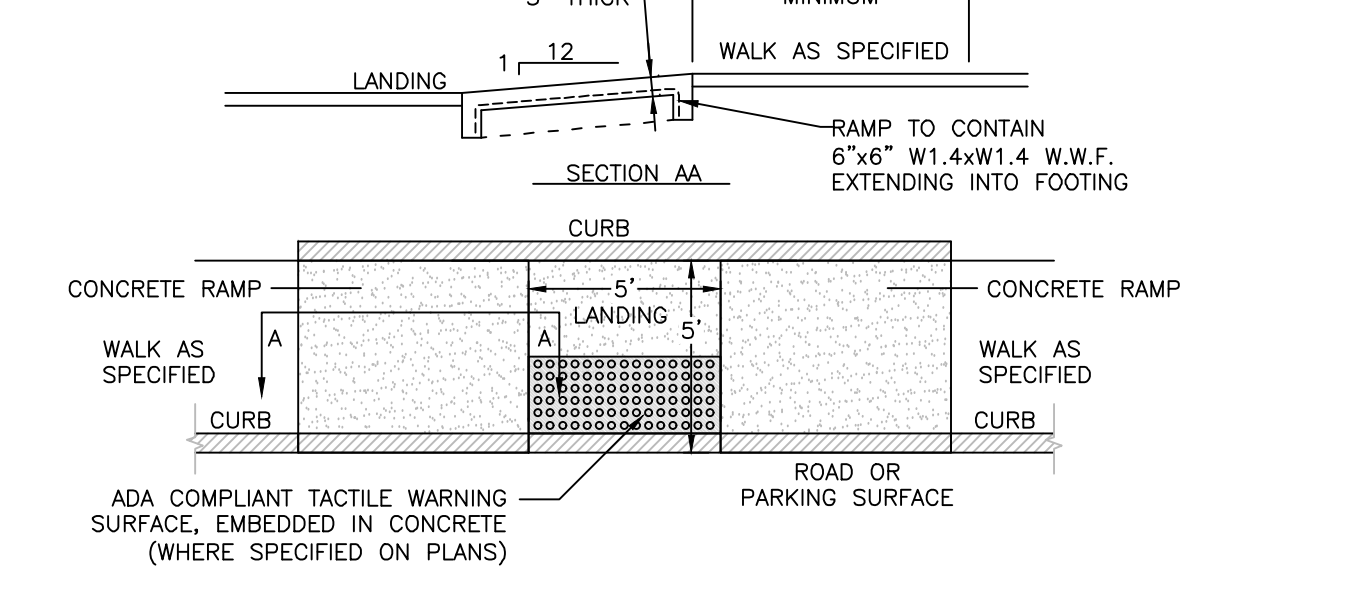
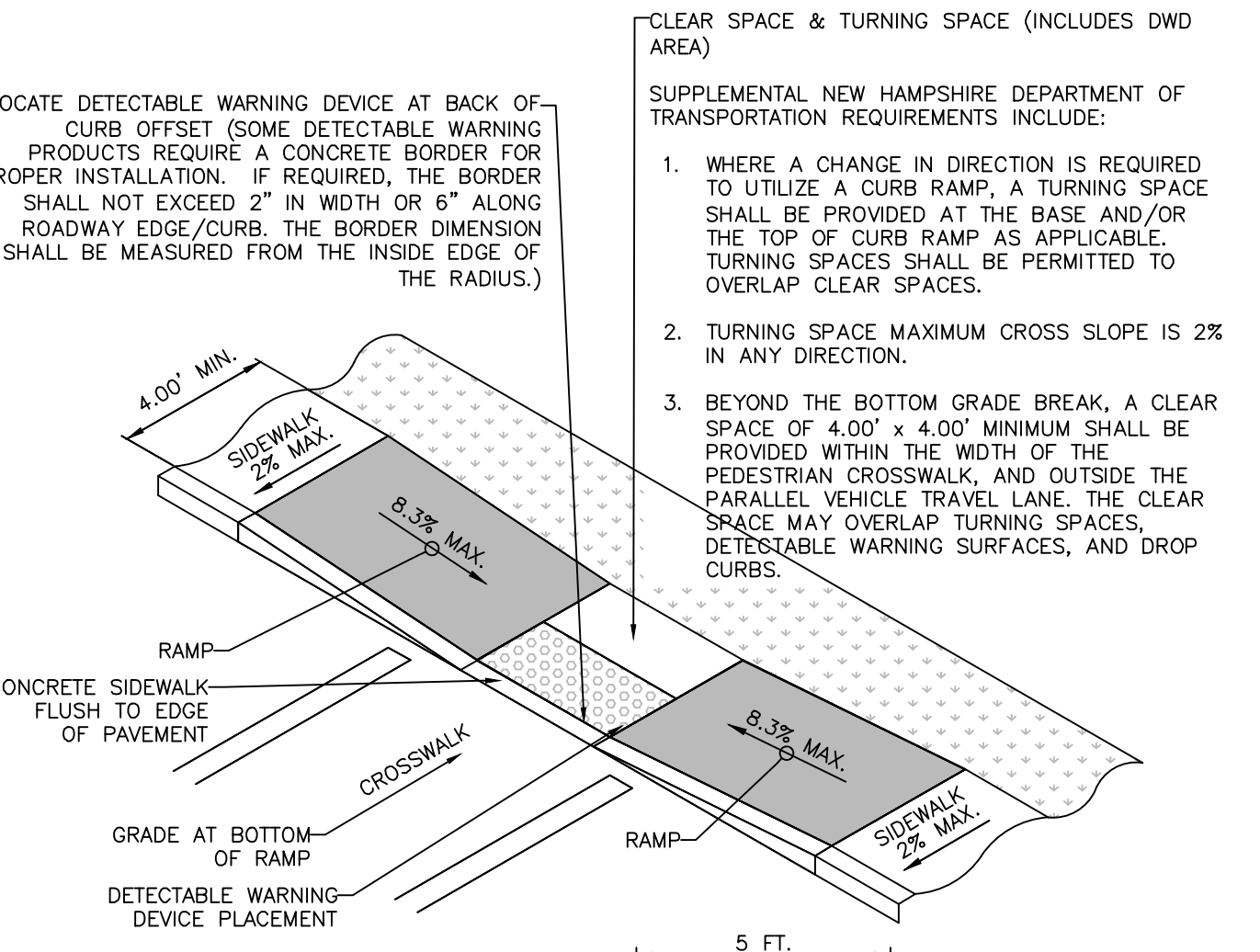
10 PAVEMENT - PARKING SECTION
[NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION ITEM NO.] SCALE: NONE D-1



12 SIDEWALK - CONCRETE
[NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION ITEM NO.] SCALE: NONE D-1



13 DETECTABLE WARNING DEVICES (DWD) TRUNCATED DOME
[NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION DETAIL SHEETS] SCALE: NONE D-1

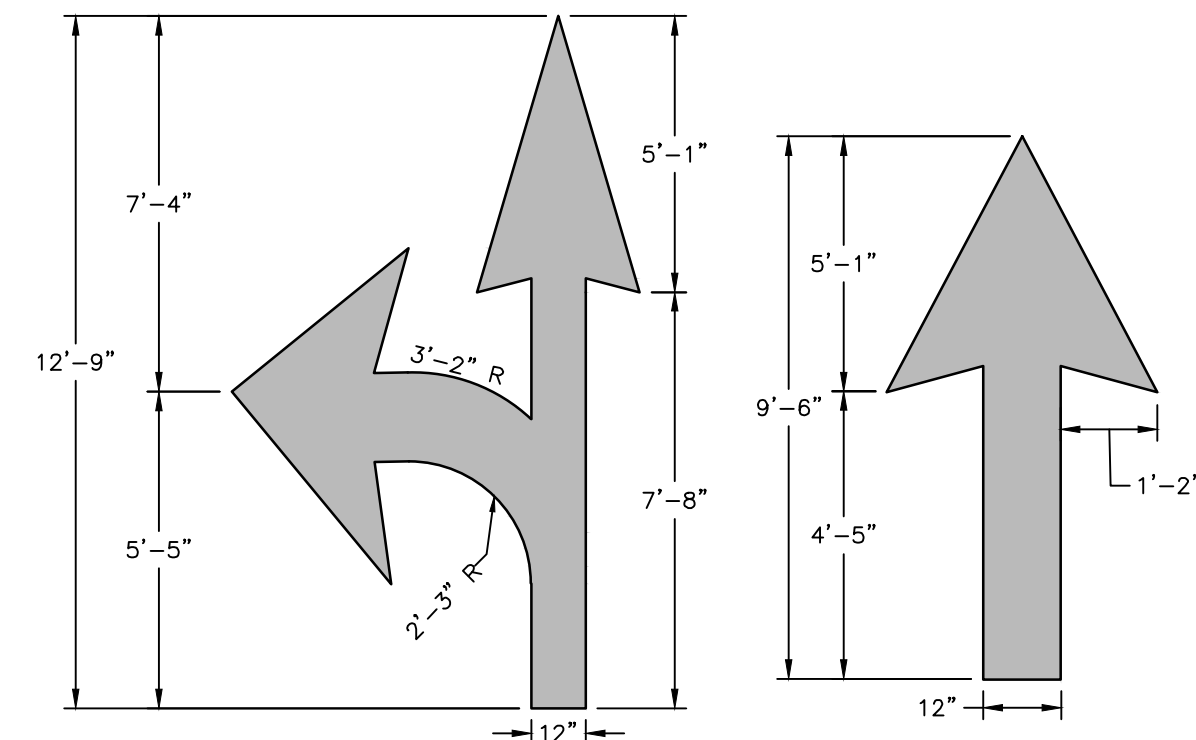
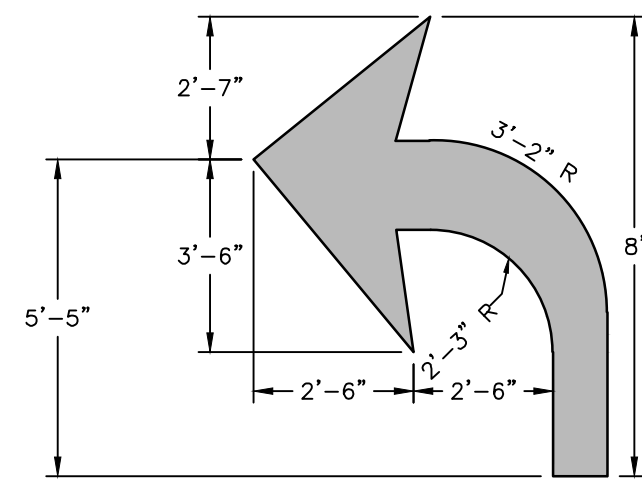


14 SIDEWALK CURB RAMP
[NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION DETAIL SHEETS] SCALE: NONE D-1

REV.	DATE	DESCRIPTION	DR	CK
1				
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T-BONES AT LOWELL ROAD
CONSTRUCTION DETAILS

LOWELL ROAD, LLC
256 LOWELL ROAD
MAP 228 LOT 7
HUDSON, NEW HAMPSHIRE



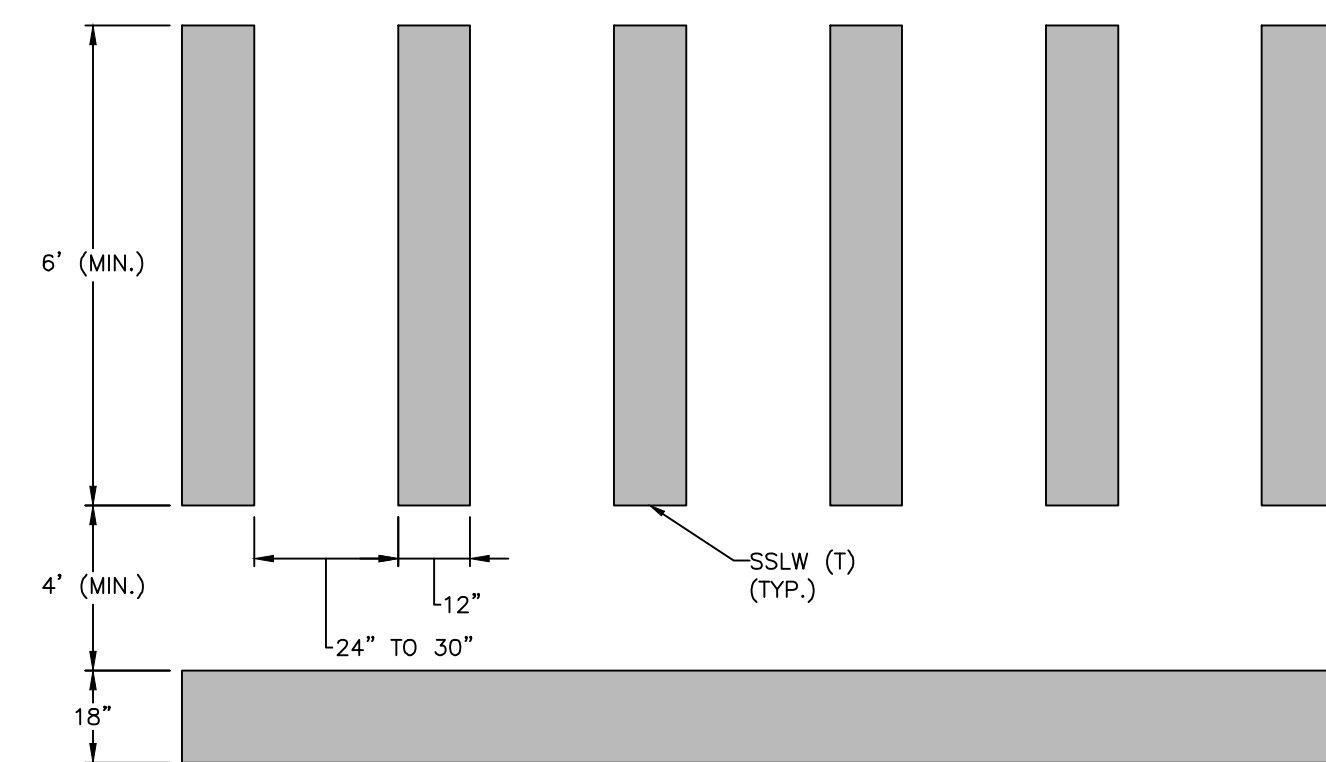
NOTES:

1. ALL WORDS AND SYMBOLS SHALL BE RETROREFLECTIVE WHITE AND SHALL CONFORM TO THE LATEST VERSION OF THE MUTCD.
2. MULTI-WORD MESSAGES SHALL READ "UP"; THAT IS, THE FIRST WORD SHALL BE NEAREST THE APPROACHING DRIVER.
3. THE WORD "ONLY" SHALL NOT BE USED WITH THROUGH OR COMBINATION ARROWS, AND SHALL NOT BE USED ADJACENT TO A BROKEN LANE LINE. A WORD/SYMBOL SHALL PRECEDE THE WORD "ONLY"
4. COMBINATION ARROWS MAY BE COMPRISED OF 2 SINGLE ARROWS (E.G. TURN AND THROUGH ARROWS). HOWEVER, THE SHAFTS OF THE ARROWS SHALL COINCIDE AS SHOWN.
5. PREFORMED WORDS AND SYMBOLS SHALL BE PRE-CUT BY THE MANUFACTURER.
6. WRONG-WAY ARROWS SHALL NOT BE SUBSTITUTED FOR THROUGH ARROWS.
7. ALL STOP BARS, WORDS, SYMBOLS AND ARROWS SHALL BE THERMOPLASTIC.

PAVEMENT MARKING SYMBOLS

[NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION DETAIL PLAN NO. PM-12]

SCALE: NONE



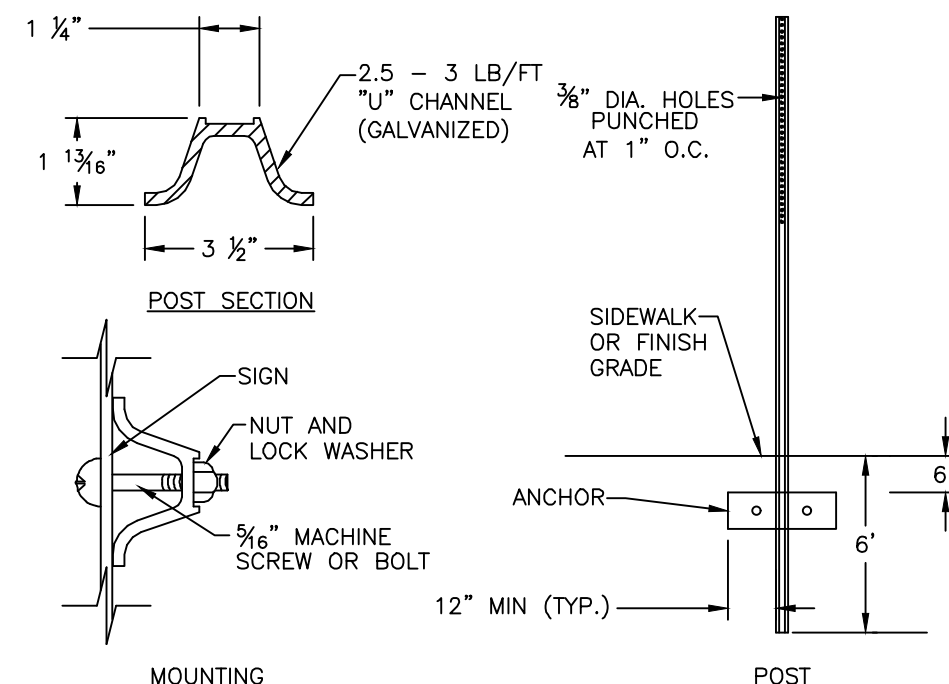
NOTES:

1. SPACING FOR THE CONTINENTAL BLOCK MARKINGS SHOULD BE UNIFORM FOR EACH INDIVIDUAL CROSSWALK BUT BE ADJUSTED TO AVOID PLACEMENT DIRECTLY IN THE WHEEL PATH.
2. WHEN PROPOSED BY A MUNICIPALITY OUTSIDE NHDOT, INSTALLATION OF STREET LIGHTING SHALL MEET THE REQUIREMENTS OF THE CURRENT EDITION OF THE NHDOT UTILITY ACCOMMODATION MANUAL, AND IS SUBJECT TO THE REQUIREMENTS OF THE EXCAVATION PERMIT AND POLE LICENSING PROCEDURE.
3. VERIFY THAT WARNING SIGN LOCATIONS ARE NOT OBSCURED FROM THE VIEW OF APPROACHING TRAFFIC BY LIGHT POLES OR OTHER OBJECTS.

PEDESTRIAN CROSSING

[NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION DETAIL PLAN NO. PM-15]

SCALE: NONE

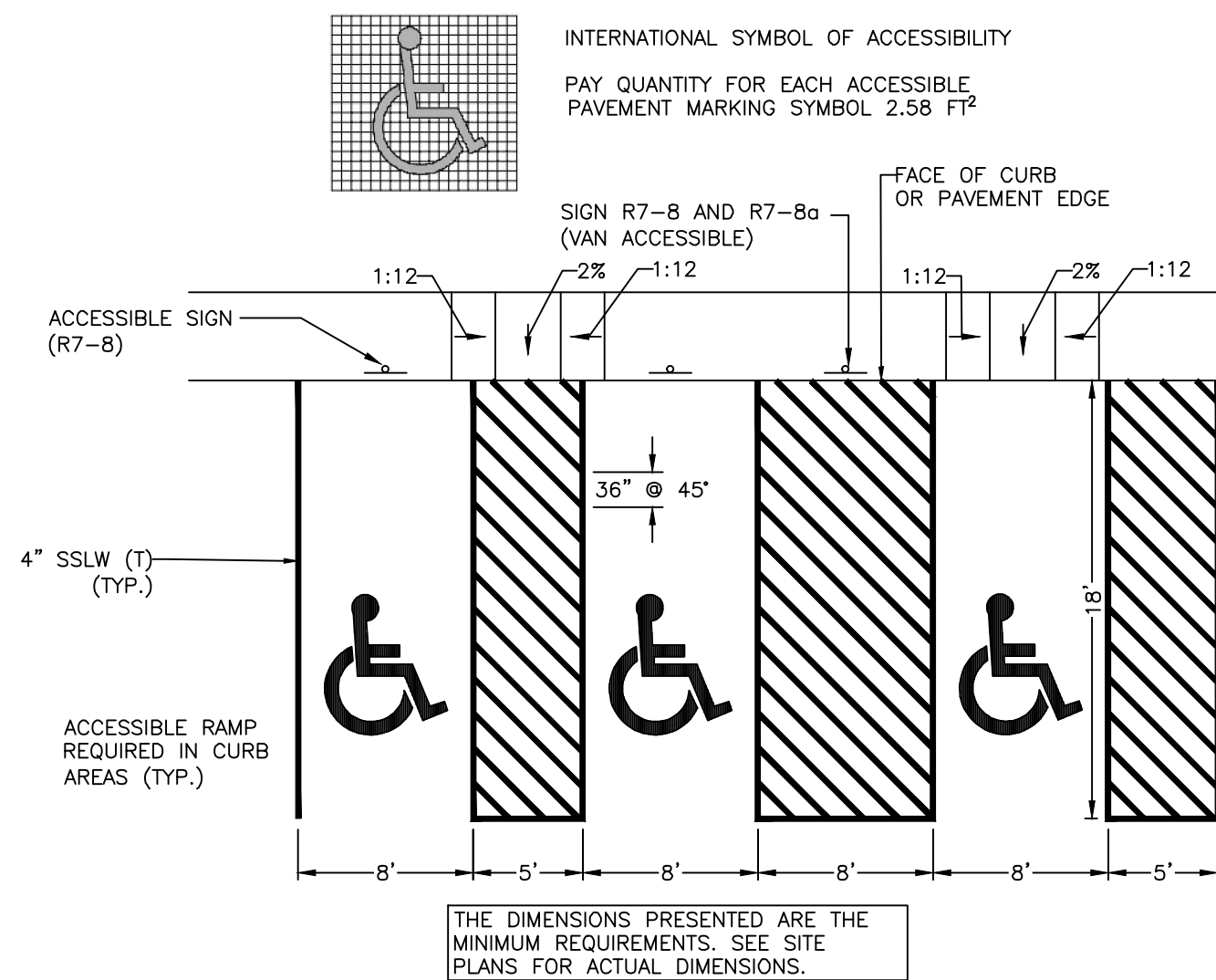


NOTES:

1. ALL SIGNING AND PAVEMENT MARKINGS SHALL CONFORM TO "NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTIONS 615 AND 632, AS AMENDED, AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
2. ALL PAVEMENT MARKINGS (I.E., STOP BARS, WORDS, SYMBOLS AND ARROWS) SHALL BE THERMOPLASTIC.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE LAYOUT OF ALL SIGNING AND PAVEMENT MARKINGS.
4. WIDTH OF LINES SHALL VARY NO MORE THAN 0.25" FROM THAT SPECIFIED.
5. THE WET FILM THICKNESS OF PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF THE LINE SPECIFIED. OVERSPRAY SHALL BE KEPT AT AN ABSOLUTE MINIMUM.
6. MOUNT BOTTOM OF SIGN AT 84" ABOVE FINISHED GRADE AT THE ADJACENT DRIVEABLE SURFACE.

PAVEMENT MARKING & TRAFFIC SIGNS

SCALE: NONE



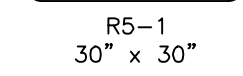
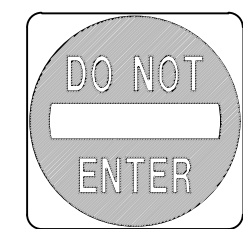
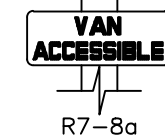
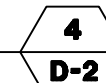
NOTES:

1. VAN ACCESS AISLE SHALL BE A MINIMUM OF 8' WIDE. R7-8A SIGN WILL BE ADDED TO VAN ACCESSIBLE PARKING SIGN R7-8.
2. (T) = THERMOPLASTIC PAVEMENT MARKING

HANDICAP PARKING - STANDARD

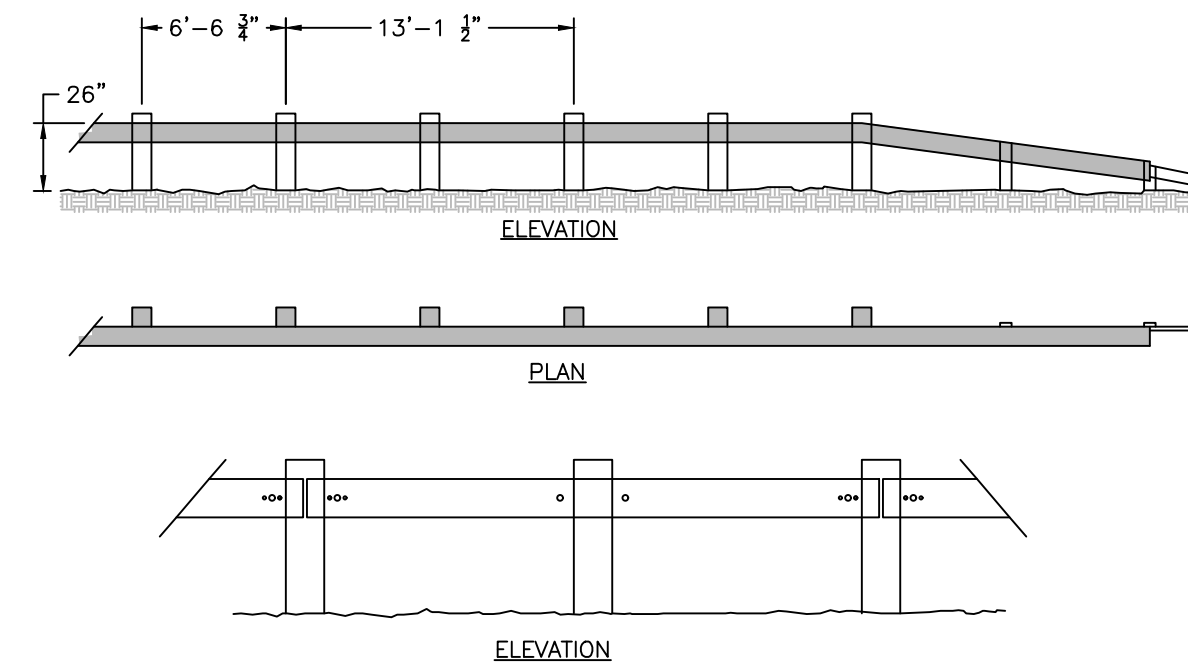
[NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION DETAIL PLAN NO. PM-11]

SCALE: NONE

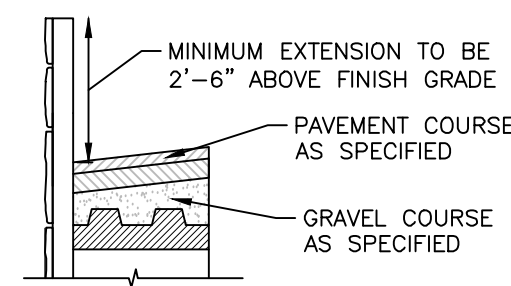
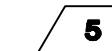


30" x 30"

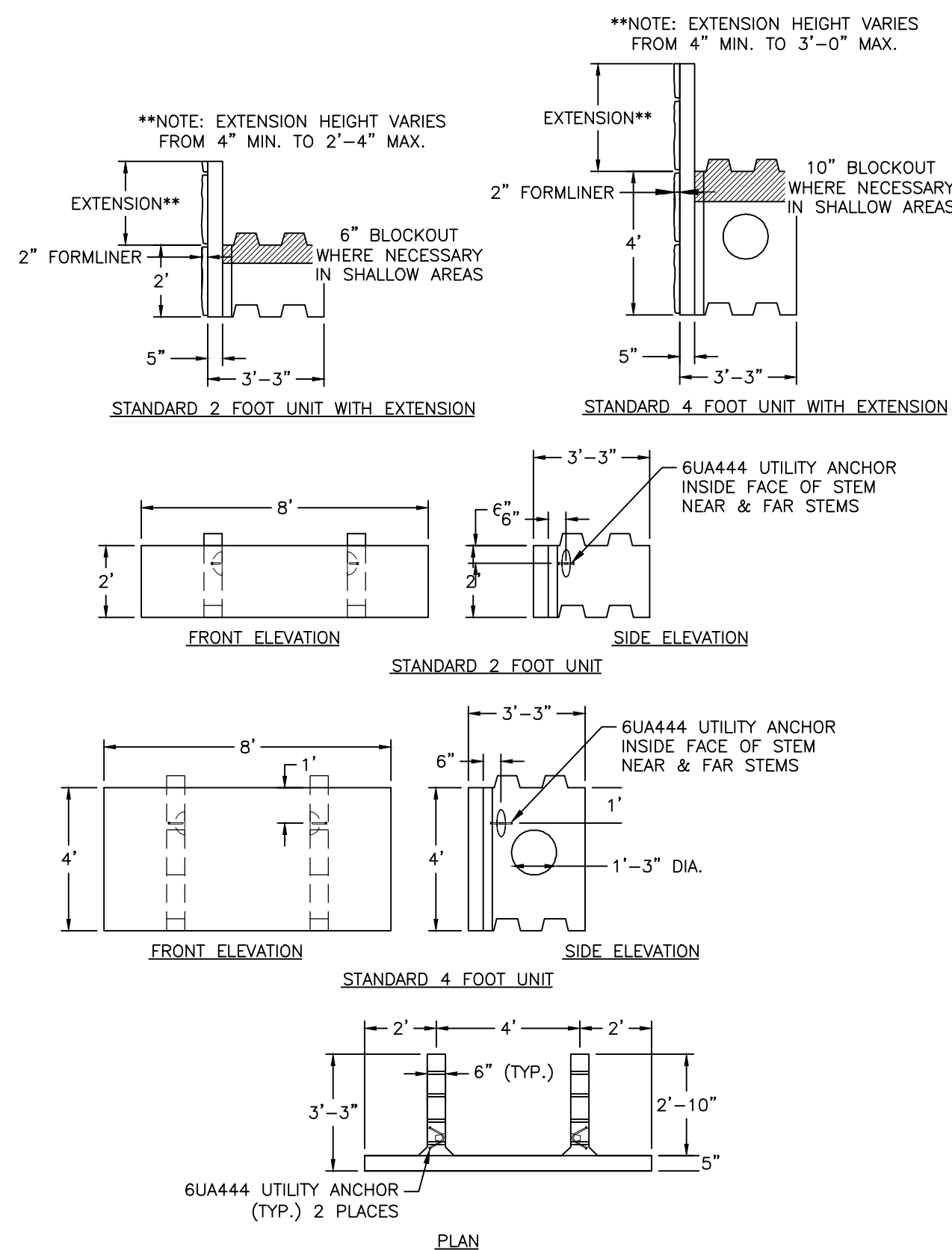
WOODEN GUARDRAIL



WOODEN GUARDRAIL



EDGE PROTECTION ON PAVED SURFACES



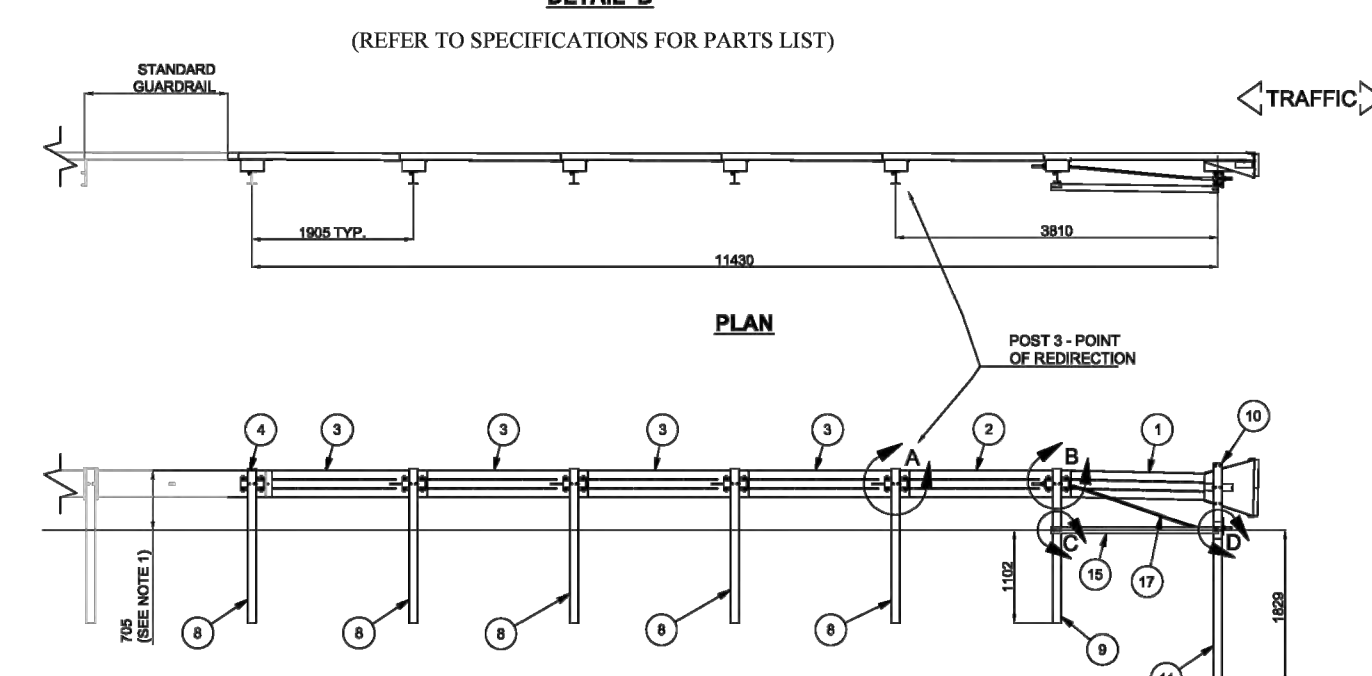
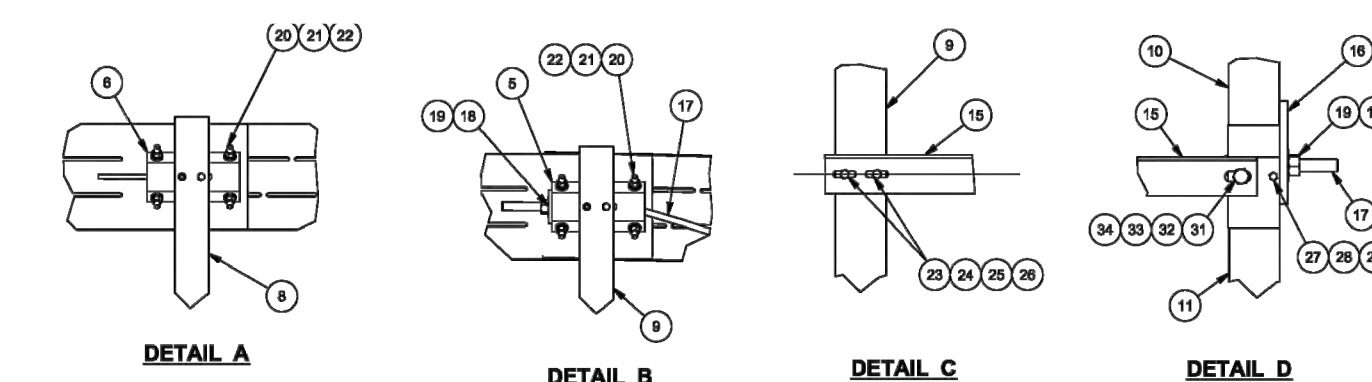
NOTES:

1. ALL MATERIALS AND HARDWARE SHALL BE HOT DRIP GALVANIZED.
2. ALL MATERIALS ABOVE GRADE SHALL BE POWDER COATED (DARK FOREST GREEN) OR COLOR APPROVED BY OWNER.
3. FINAL FORMLINER FINISH TO BE DETERMINED BY OWNER.

UWALL RETAINING WALL SYSTEM

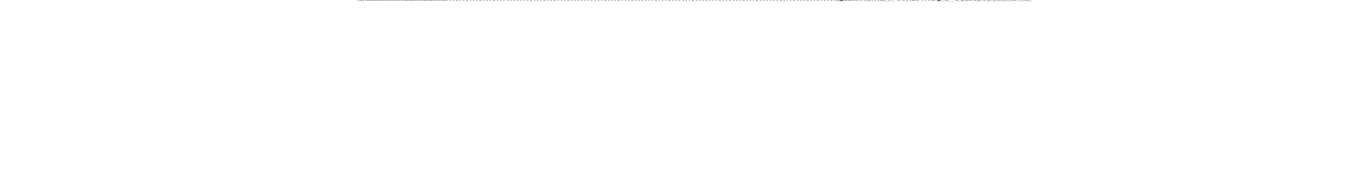
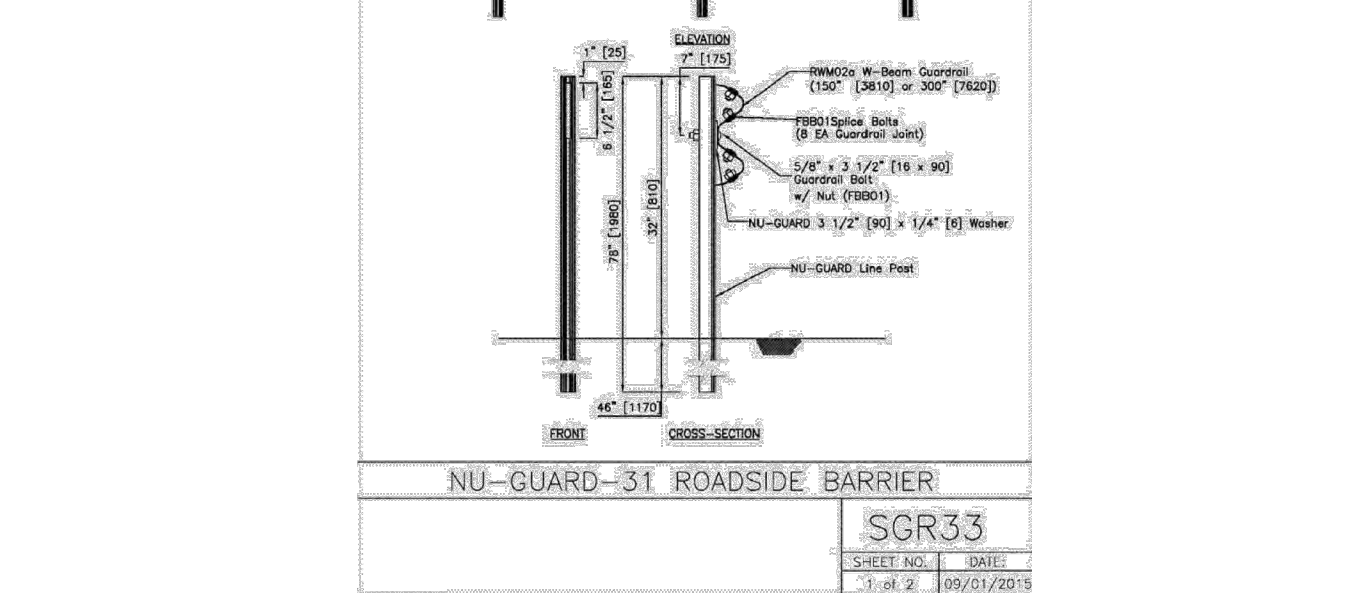
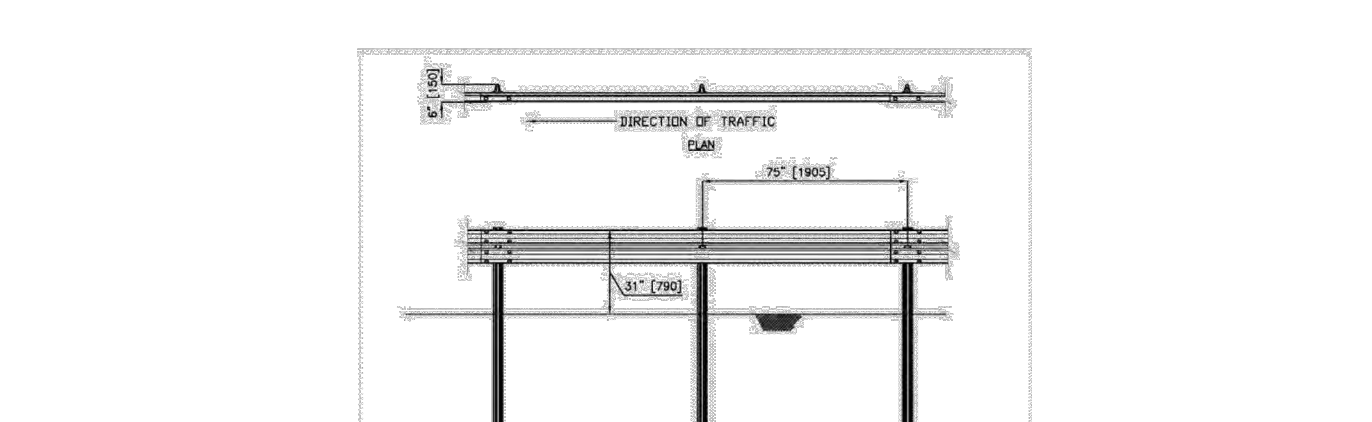
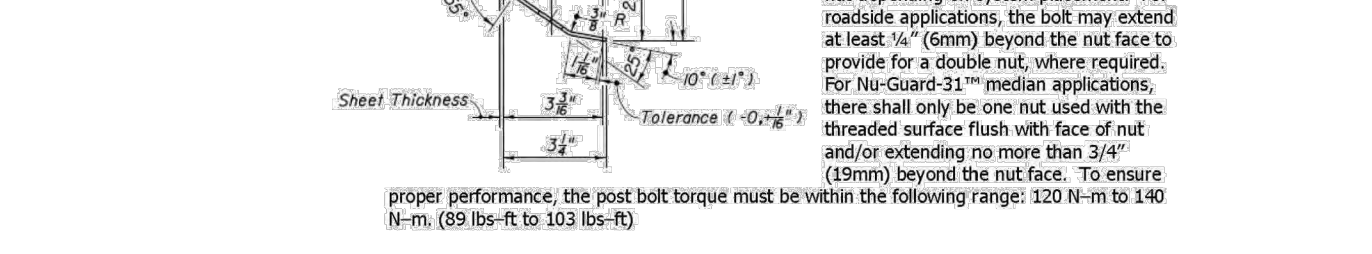
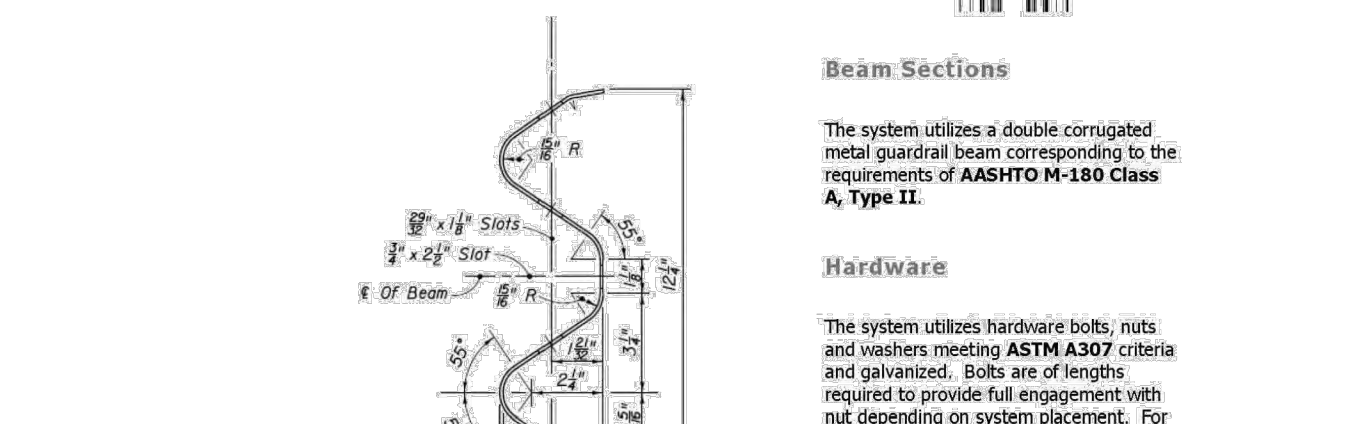
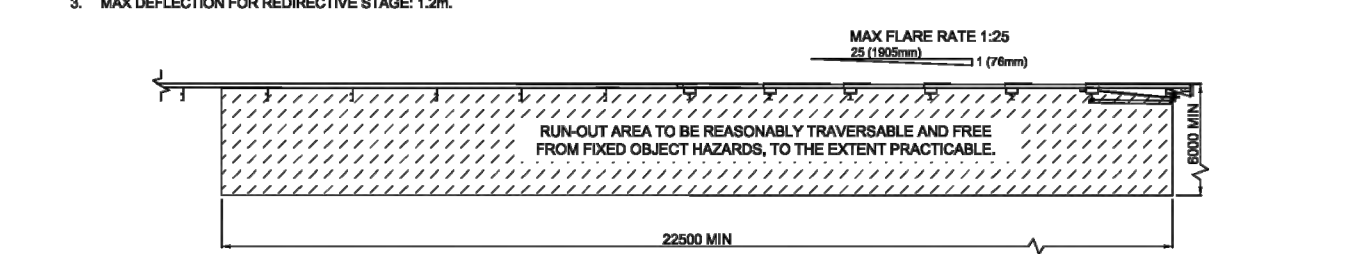
[CSI CONCRETE SYSTEMS, INC.]

SCALE: NONE



NOTES:

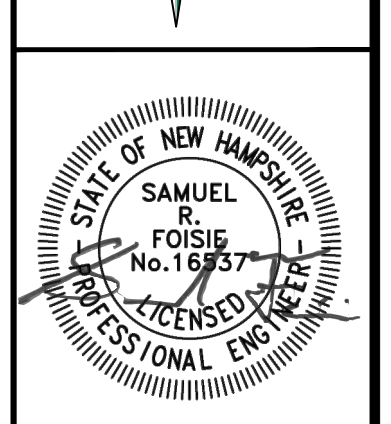
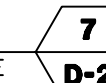
1. SYSTEM CAN BE ATTACHED TO DOWNSTREAM GUARDRAIL WITH HEIGHTS UP TO 700mm.
2. THE APPROACH TERRAIN SHOULD BE LEVEL, OTHERWISE MAXIMUM GRADING TO 1% MAX.
3. MAX DEFLECTION FOR REDUCTIVE STAGE: 1.2m.



ROADSIDE BARRIER

[INGAL CIVIL PRODUCTS]

SCALE: NONE



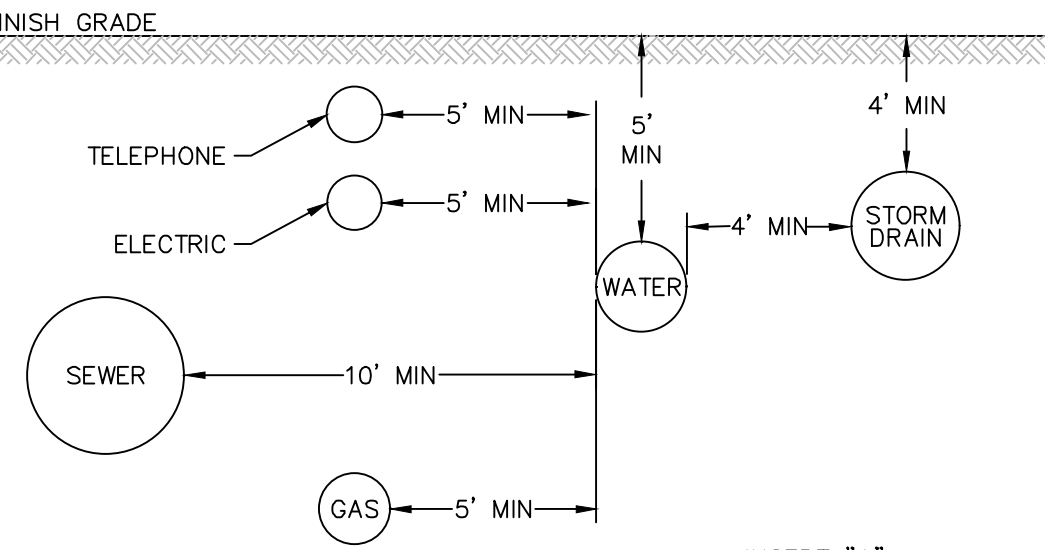
REV.	DATE	DESCRIPTION	DR	CK
A	3/4/25	ALTERATION OF TERRAIN SUBMITTAL	NGC	SRF
B		STAFF & THIRD PARTY REVIEW		

T-BONES AT LOWELL ROAD
CONSTRUCTION DETAILS

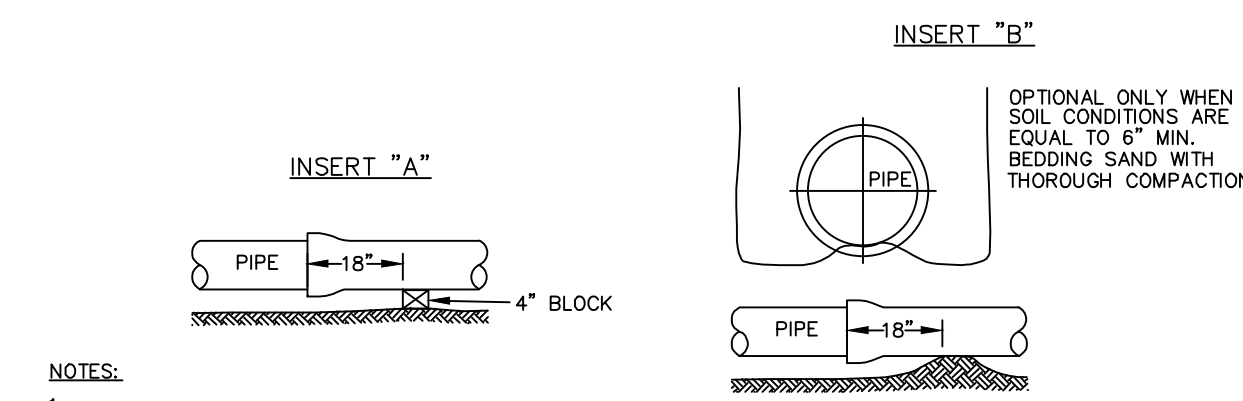
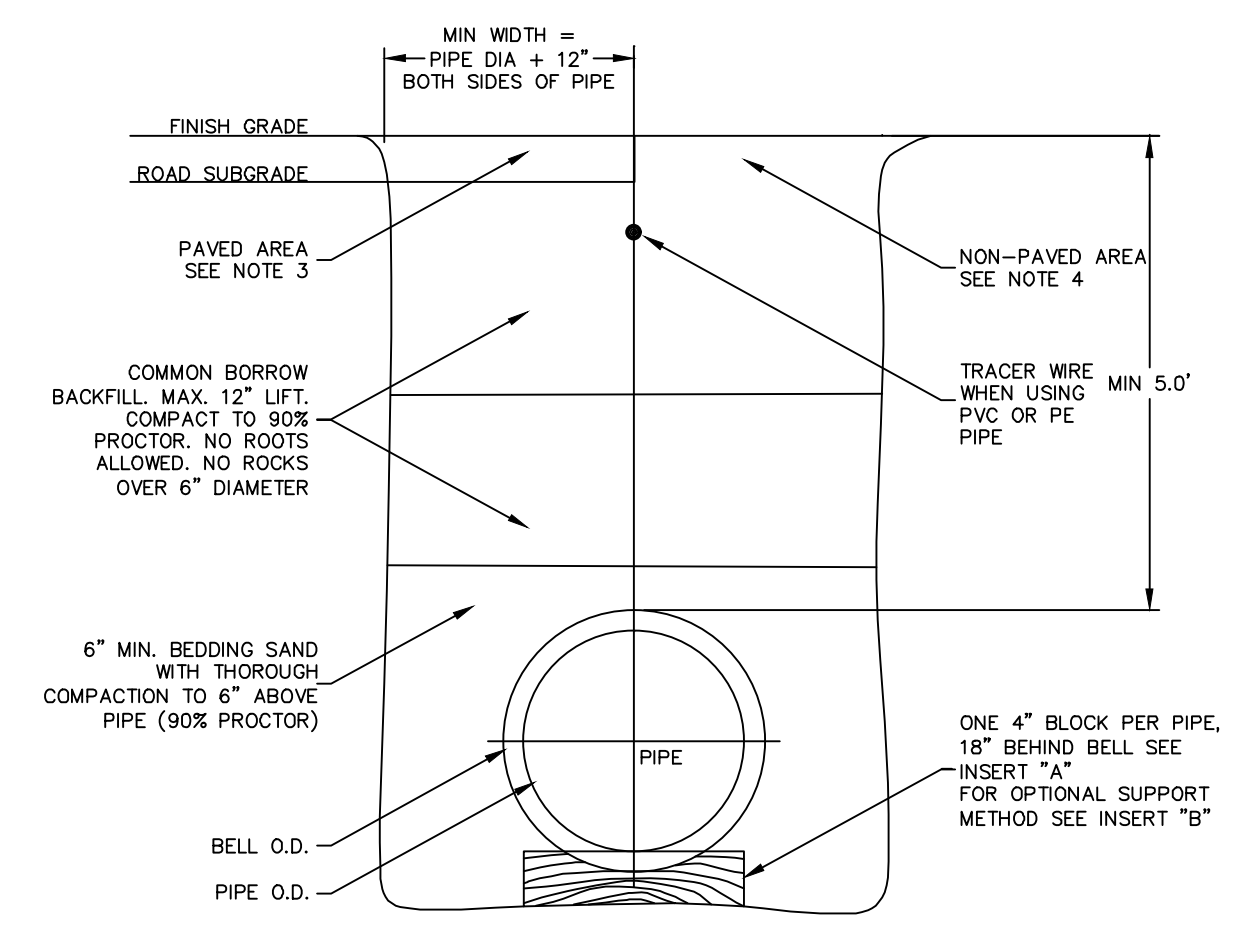
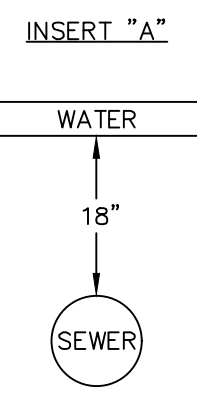
LOWELL ROAD, LLC
256 LOWELL ROAD
MAP 228 LOT 7
HUDSON, NEW HAMPSHIRE

SCALE: AS NOTED
JANUARY 21, 2025

D-2
SHEET
FILE: 12542V00B.dwg
PROJECT: 12542.00
SHEET NO. 16 OF 23

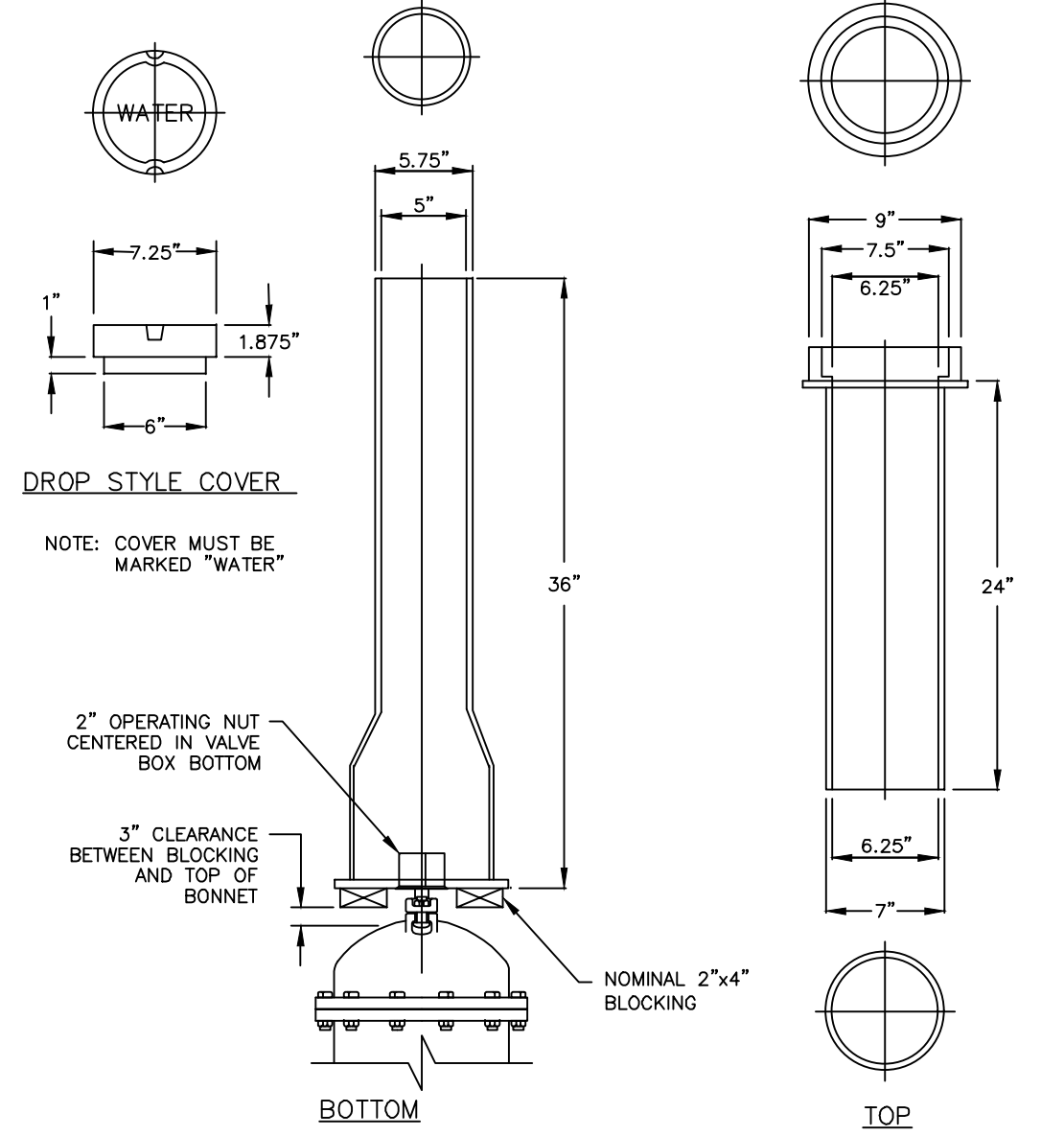


- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
 2. ALL WATER MAINS SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. SEE DETAIL A-2 FOR TRENCH DETAIL.
 4. SEE DETAIL A-11 FOR OUTSIDE SERVICE ENTRANCE DETAIL.
 4. AT CROSSINGS WHERE 10' HORIZONTAL SEPERATION IS NOT POSSIBLE, 18" VERTICAL SEPERATION SHALL BE PROVIDED. SEE INSERT "A".



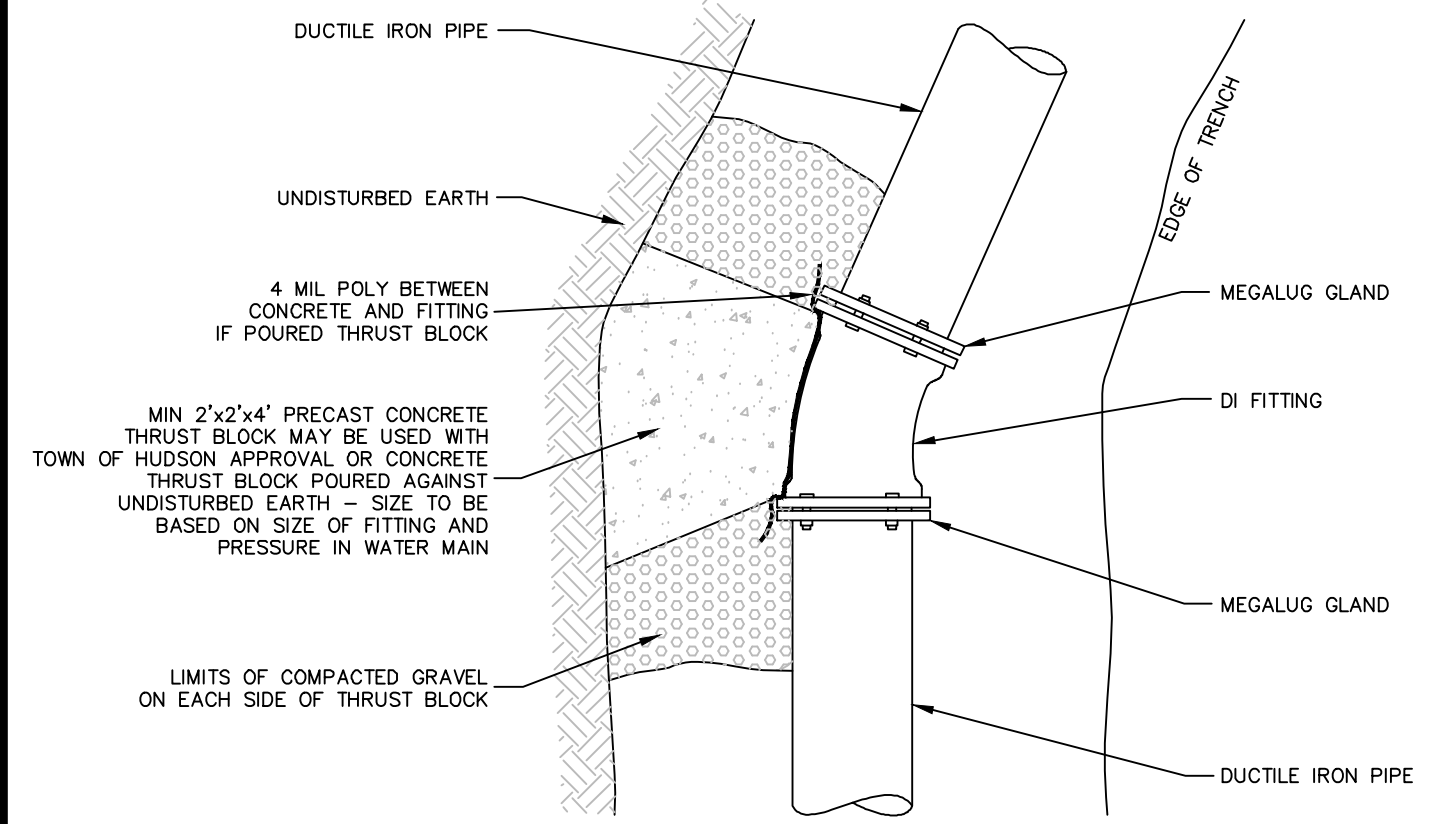
- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. REQUIREMENTS FOR SUBBASE AND BASE MATERIAL TYPE ARE TO BE IN ACCORDANCE WITH TOWN OF HUDSON STANDARDS. SEE DETAIL R-1.
 4. REQUIREMENTS FOR GRAVEL, LOAM AND/OR SEED ARE TO BE IN ACCORDANCE WITH TOWN OF HUDSON STANDARDS. SEE DETAIL.

WATER TRENCH
[TOWN OF HUDSON] SCALE: NONE **D-3**



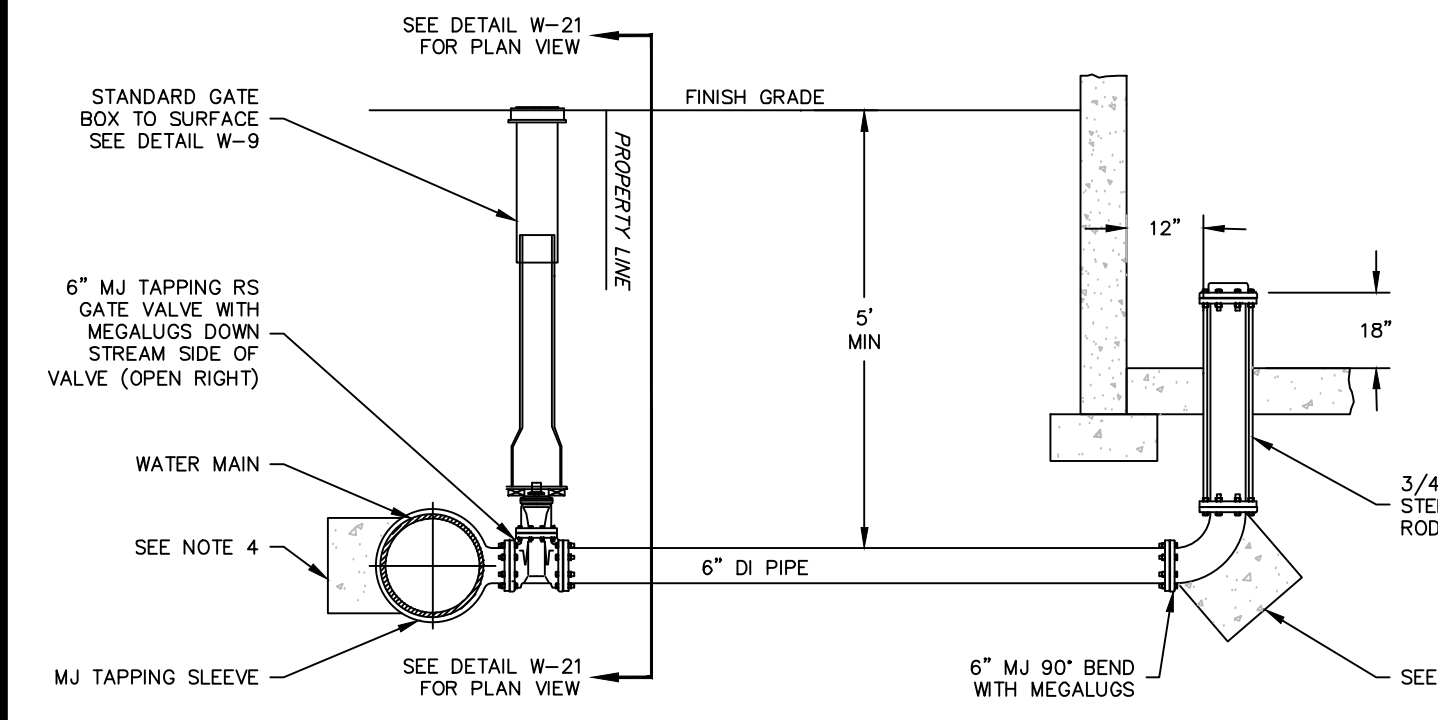
WATER VALVE BOX
[TOWN OF HUDSON] SCALE: NONE **D-3**

WATER UTILITY SEPARATION
[TOWN OF HUDSON] SCALE: NONE **D-3**



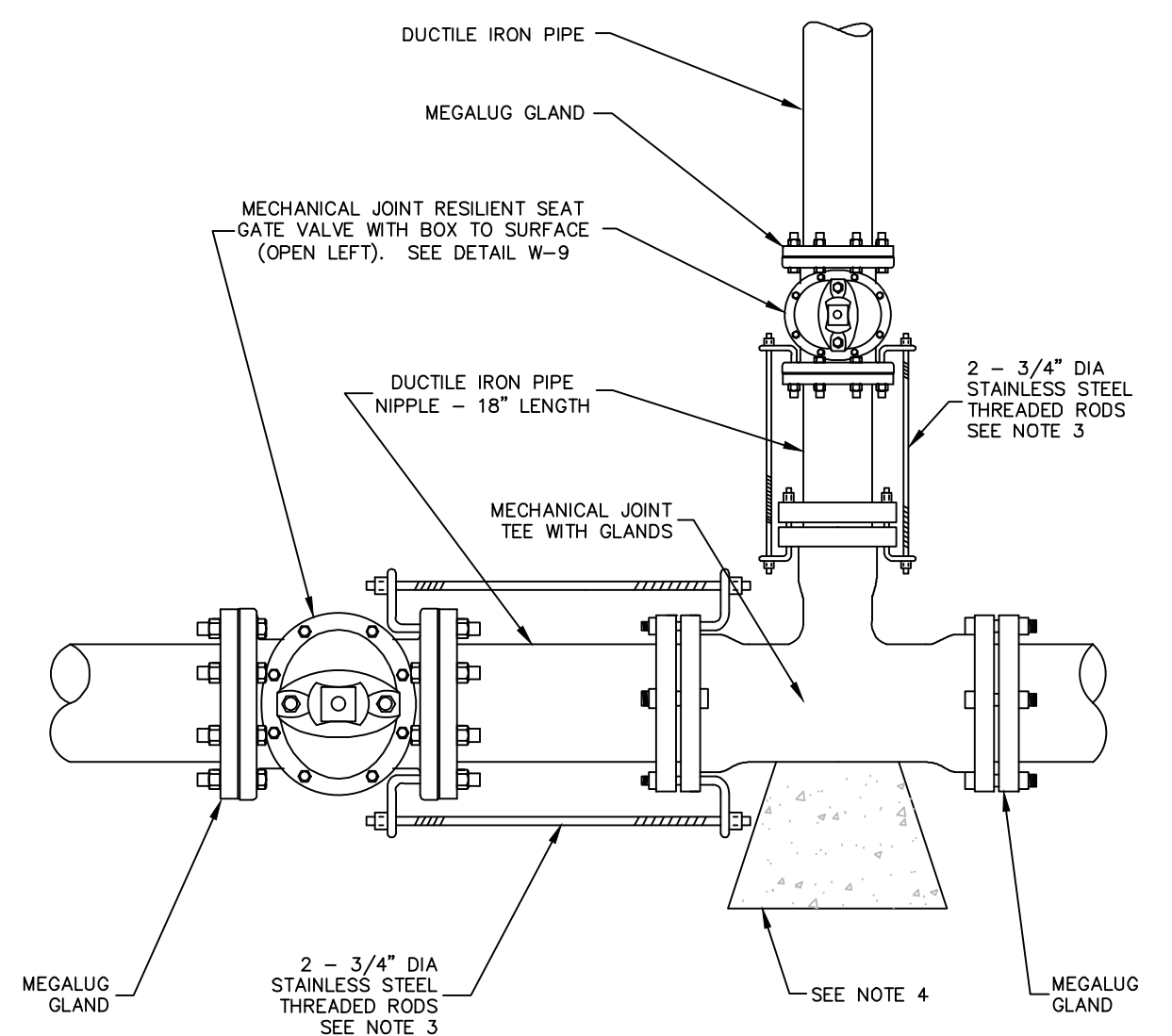
- NOTES:**
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.

WATER THRUST BLOCK BEHIND FITTINGS INSTALLATION
[TOWN OF HUDSON] SCALE: NONE **D-3**



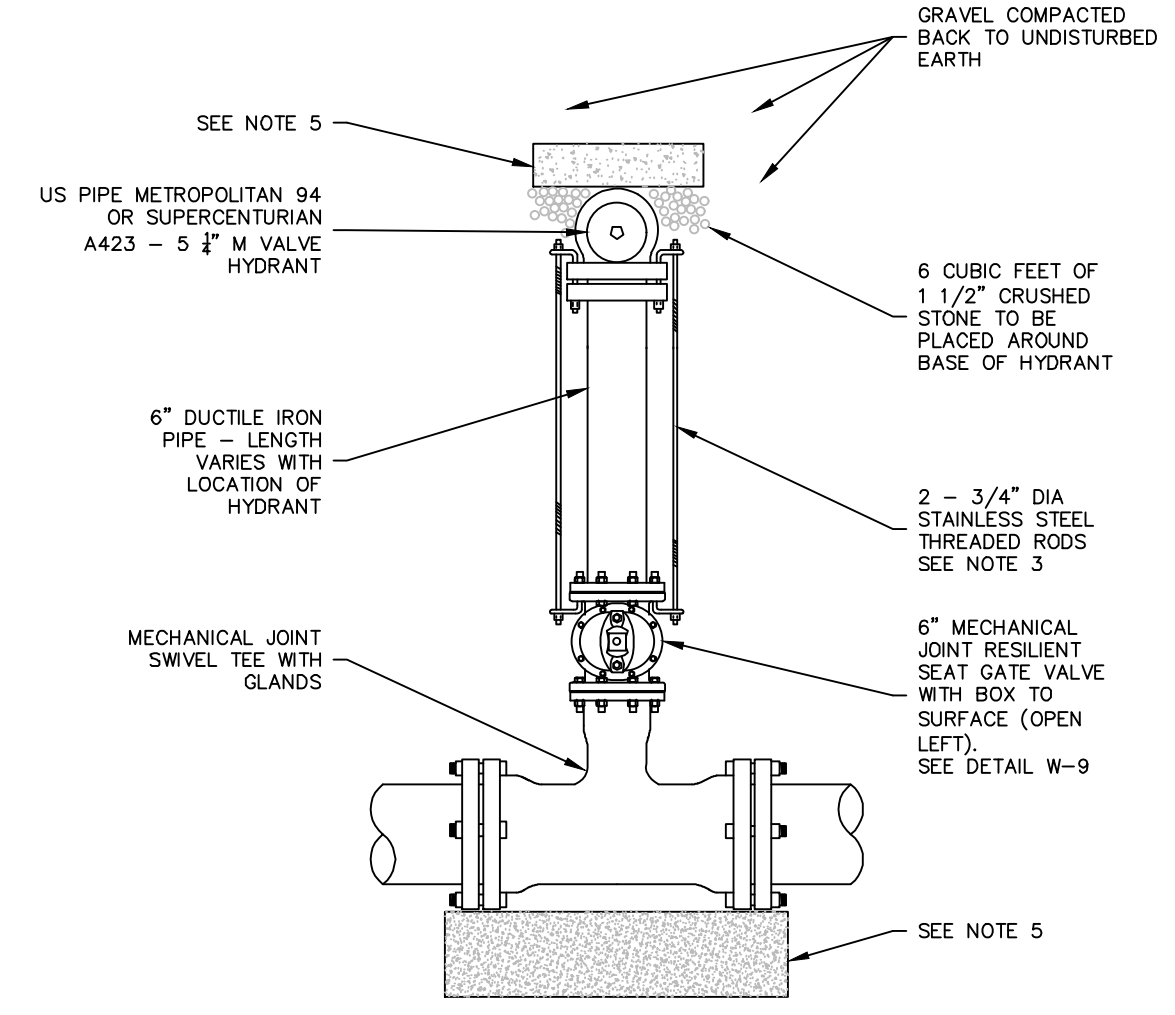
- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. ALL THREADED RODS AND NUTS MUST BE STAINLESS STEEL.
 4. MIN 2'x2'x4" PRECAST CONCRETE THRUST BLOCK MAY BE USED WITH TOWN OF HUDSON APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE DETAIL W-7.
 5. SEE DETAIL W-23 FOR FIRE SERVICE INSTALLATION WITH SLAB FOUNDATIONS.

FIRE SERVICE INSTALLATION
[TOWN OF HUDSON] SCALE: NONE **D-3**



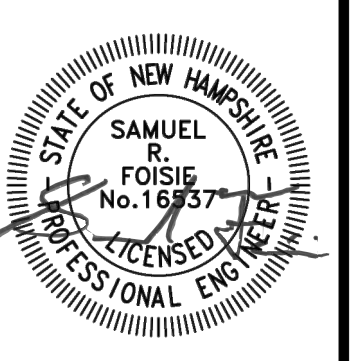
- NOTES:**
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. ALL THREADED RODS AND NUTS MUST BE STAINLESS STEEL.
 4. MIN 2'x2'x4" PRECAST CONCRETE THRUST BLOCK MAY BE USED WITH P.W. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE DETAIL W-7.

WATER TEE INSTALLATION
[TOWN OF HUDSON] SCALE: NONE **D-3**



- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. ALL THREADED RODS AND NUTS MUST BE STAINLESS STEEL.
 4. WHEN DISTANCE FROM WATER MAIN TO HYDRANT IS MORE THAN 10', SUBSTITUTE MEGALUGS IN LIEU OF THREADED ROD OR GRIP RINGS.
 5. MIN OF 2'-2'x2'x4" PRECAST CONCRETE THRUST BLOCK MAY BE USED WITH TOWN OF HUDSON APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE DETAIL W-7.

WATER HYDRANT INSTALLATION
[TOWN OF HUDSON] SCALE: NONE **D-3**



REV.	DATE	DESCRIPTION	DR	CK
A	3/4/25	ALTERATION OF TERRAIN SUBMITTAL	NGC	SRF
B		STAFF & THIRD PARTY REVIEW	NGC	SRF
C				
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T-BONES AT LOWELL ROAD
WATER UTILITY DETAILS

LOWELL ROAD, LLC
256 LOWELL ROAD
MAP 228 LOT 7
HUDSON, NEW HAMPSHIRE

Plotted: 3/12/2025 10:55 AM By: NCG
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NOTES

- ALL MANHOLES, INCLUDING ALL COMPONENT PARTS, SHALL HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY BY THE ENGINEER FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS, WITH OR WITHOUT STEEL REINFORCEMENT, WITH ADEQUATE JOINTING, OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH OR WITHOUT REINFORCEMENT. IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND (H=20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE, CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
- BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED OR NON-REINFORCED CONCRETE, OR POURED IN PLACE REINFORCED OR NON-REINFORCED CONCRETE.
- PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C 478.
- LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS (5 POUNDS FOR 5 MINS., NO DROP BELOW 4 POUNDS).
- INVERTS AND SHELVES MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE. CROWN AND SLOPE TO DRAIN TOWARD THE FLOW THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY. INVERTS AND SHELVES SHALL BE PLACED AFTER TESTING.
- FRAMES AND COVERS MANHOLE FRAMES AND COVERS SHALL PROVIDE A 30 INCH CLEAR OPENING. A 3 INCH (MINIMUM HEIGHT) LETTER "S" OR THE WORD "SEWER" SHALL BE CAST INTO THE TOP SURFACE. CASTINGS SHALL BE EVEN-GRAINED CAST IRON AND SHALL BE EQUAL TO CLASS 30, CONFORMING TO ASTM A 48.
- BEDDING SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 100 PASSING 1 INCH SCREEN
90-100 PASSING 3/4 INCH SCREEN
20-55 PASSING 3/8 INCH SCREEN
0-10 PASSING #4 SIEVE
0-5 PASSING #8 SIEVE
WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHE STONE 1/2 TO 1-1/2 INCH SHALL BE USED.
- FLEXIBLE JOINT A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:
RCP & CI PIPE (ALL SIZES): 48"
AC & VC PIPE (UP THROUGH 12" DIA.): 18"
AC & VC PIPE (LARGER THAN 12" DIA.): 36"
- SHALLOW MANHOLE IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED. IT MUST HAVE AN ECCENTRIC ENTRANCE OPENING AND BE CAPABLE OF SUPPORTING H=20 LOADS.
- DI PIPE - NONE REQUIRED
PVC (ASTM 3034) - UP THROUGH 15" DIA - NONE REQUIRED
PVC (ASTM F 679) - LARGER THAN 15" DIA - 48" - 60"
PVC (ASTM F 789) - ALL SIZES - 48" - 60"
ABS (ASTM D 2680) - ALL SIZES - SAME AS PVC ABOVE
- UNDER SEVERE CONDITIONS WHEN DIFFERENTIAL SETTING CANNOT BE CONTROLLED WITHIN NORMAL LIMITS, VARIATIONS IN THE STUB LENGTH MAY BE NECESSARY OTHER PLASTIC PIPES SHALL BE REVIEWED ON A CASE BY CASE BASIS.
- MANHOLE STEPS ARE NOT PERMITTED.
- MAXIMUM DISTANCE BETWEEN SEWER MANHOLES SHALL BE 300 FEET.
- SEWER MANHOLE SHALL BE REQUIRED FOR ALL (EXISTING AND NEW) INDUSTRIAL AND COMMERCIAL USERS AND WILL BE LOCATED AT ROW/PROPERTY LINE.

NOTE
SEPARATE CONSTRUCTION SPECIFICATIONS MUST BE ATTACHED OR INCLUDED IN THE CONTRACT DOCUMENTS. THESE STANDARD DRAWINGS ARE NOT COMPLETE WITHOUT THESE SPECIFICATIONS.

STANDARD MANHOLE NOTES

[TOWN OF HUDSON]

SCALE: NONE



SEWER TRENCH SECTION

[TOWN OF HUDSON]

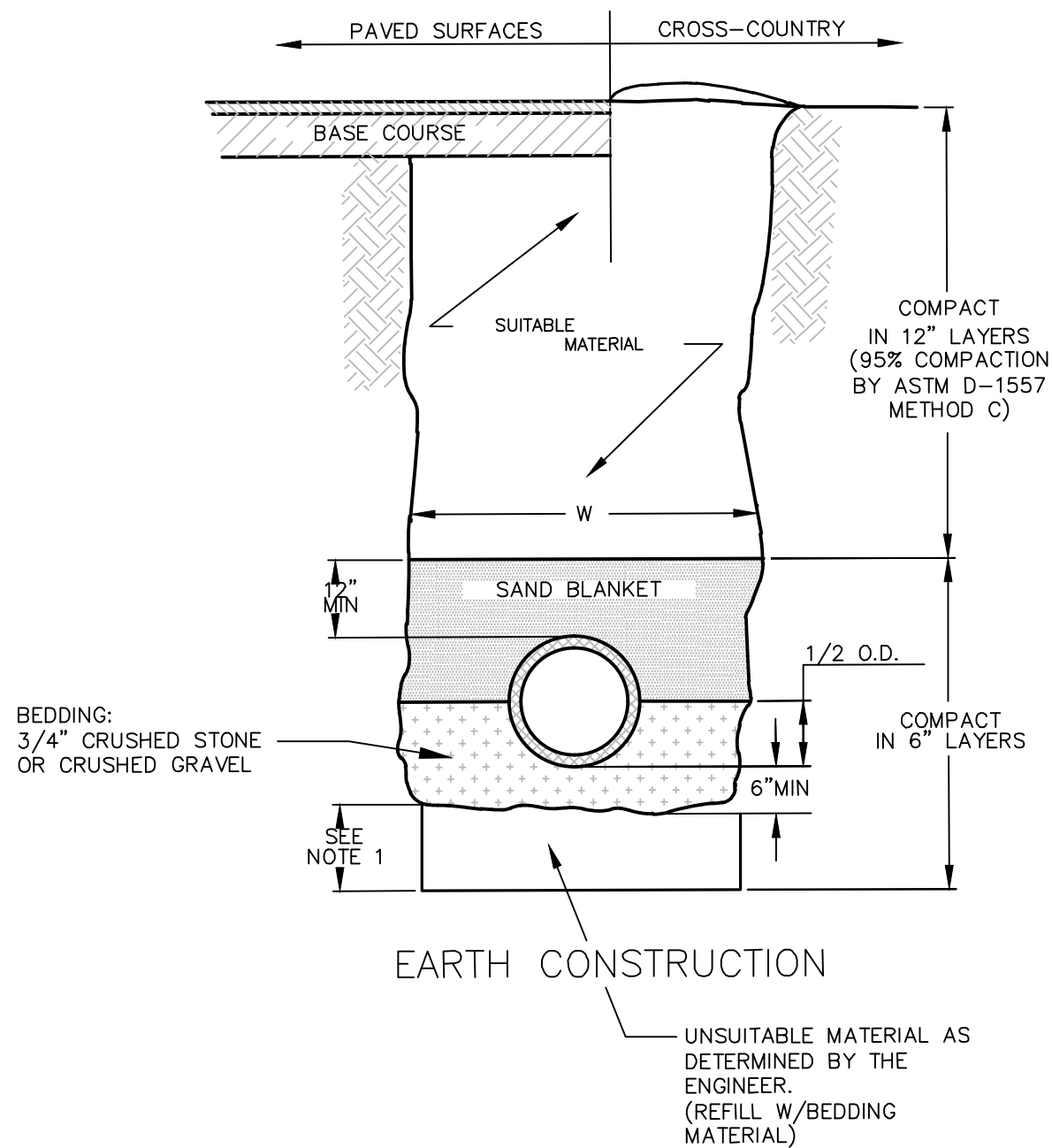
SCALE: NONE



SEWER CLEANOUT

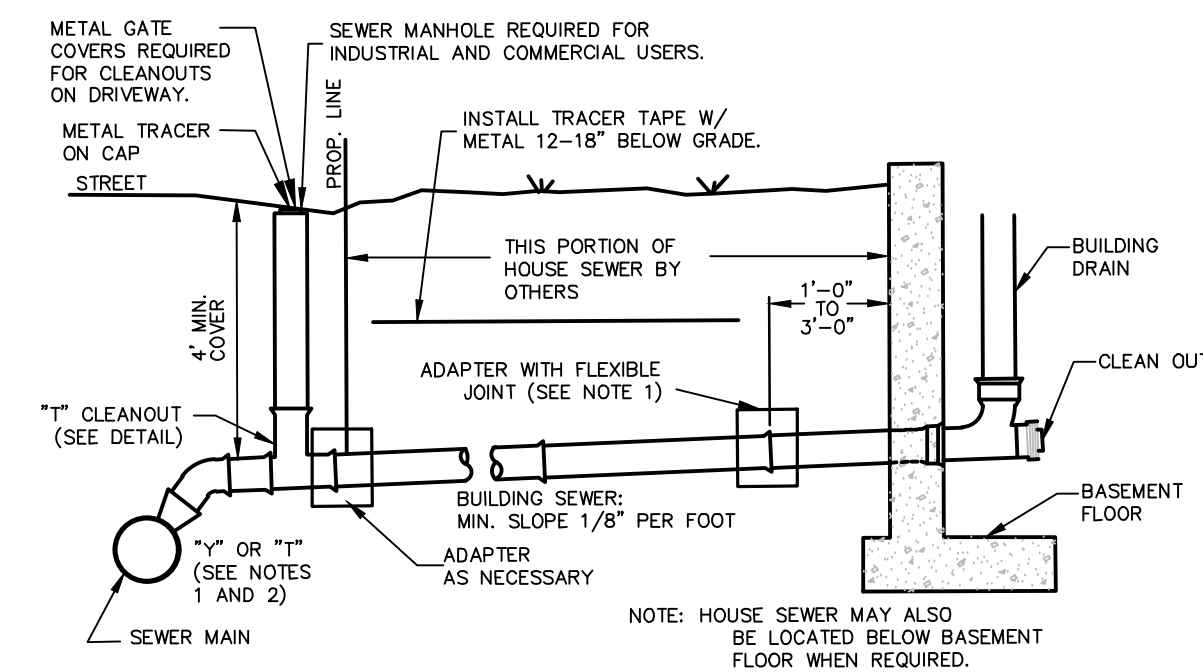
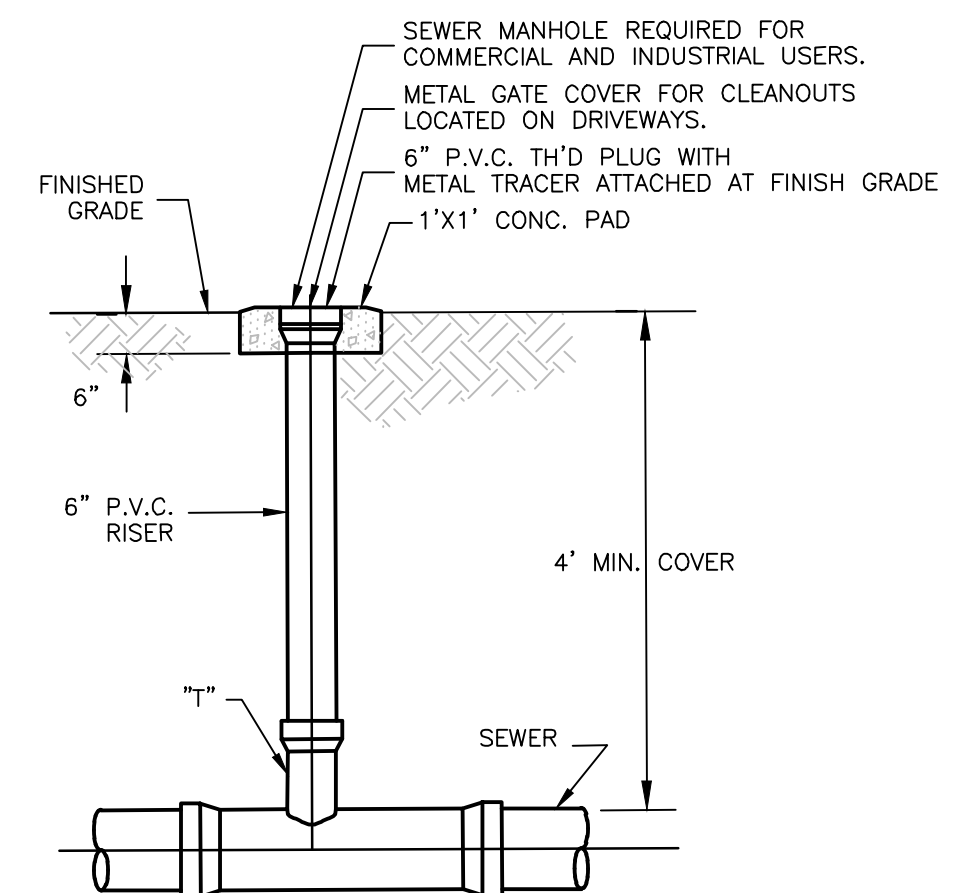
[TOWN OF HUDSON]

SCALE: NONE



NOTES:

- ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE, REFILL WITH BEDDING MATERIAL.



- JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER "Y" OR AT THE FOUNDATION WALL, APPROPRIATE ADAPTERS SHALL BE USED.
- WHERE A "T" OR "Y" IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE IN ACCORDANCE WITH THE TOWN ENGINEER.
- PIPE SHALL BE 6" DIAMETER MINIMUM FROM SEWER MAIN TO EASEMENT (Ø 8") AND 4" DIAMETER MINIMUM FROM CLEANOUT TO BUILDING FOUNDATION.

SEWER BUILDING SERVICE CONNECTION

[TOWN OF HUDSON]

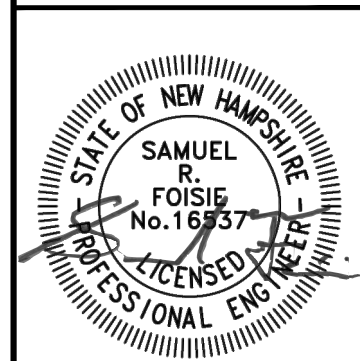
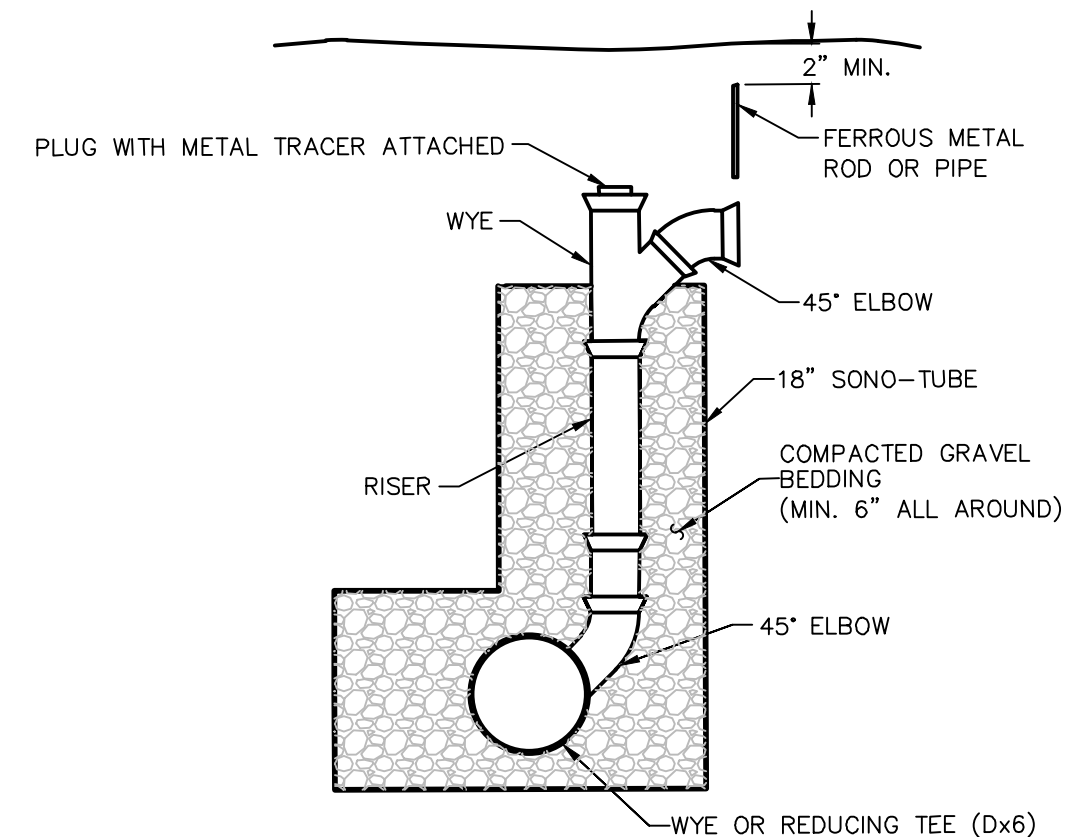
SCALE: NONE



SEWER CHIMNEY

[TOWN OF HUDSON]

SCALE: NONE



REV.	DATE	DESCRIPTION	DR	CK
A	3/4/25	ALTERATION OF TERRAIN SUBMITTAL	NGC	SRF
B		STAFF & THIRD PARTY REVIEW		
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T-BONES AT LOWELL ROAD
SEWER UTILITY DETAILS

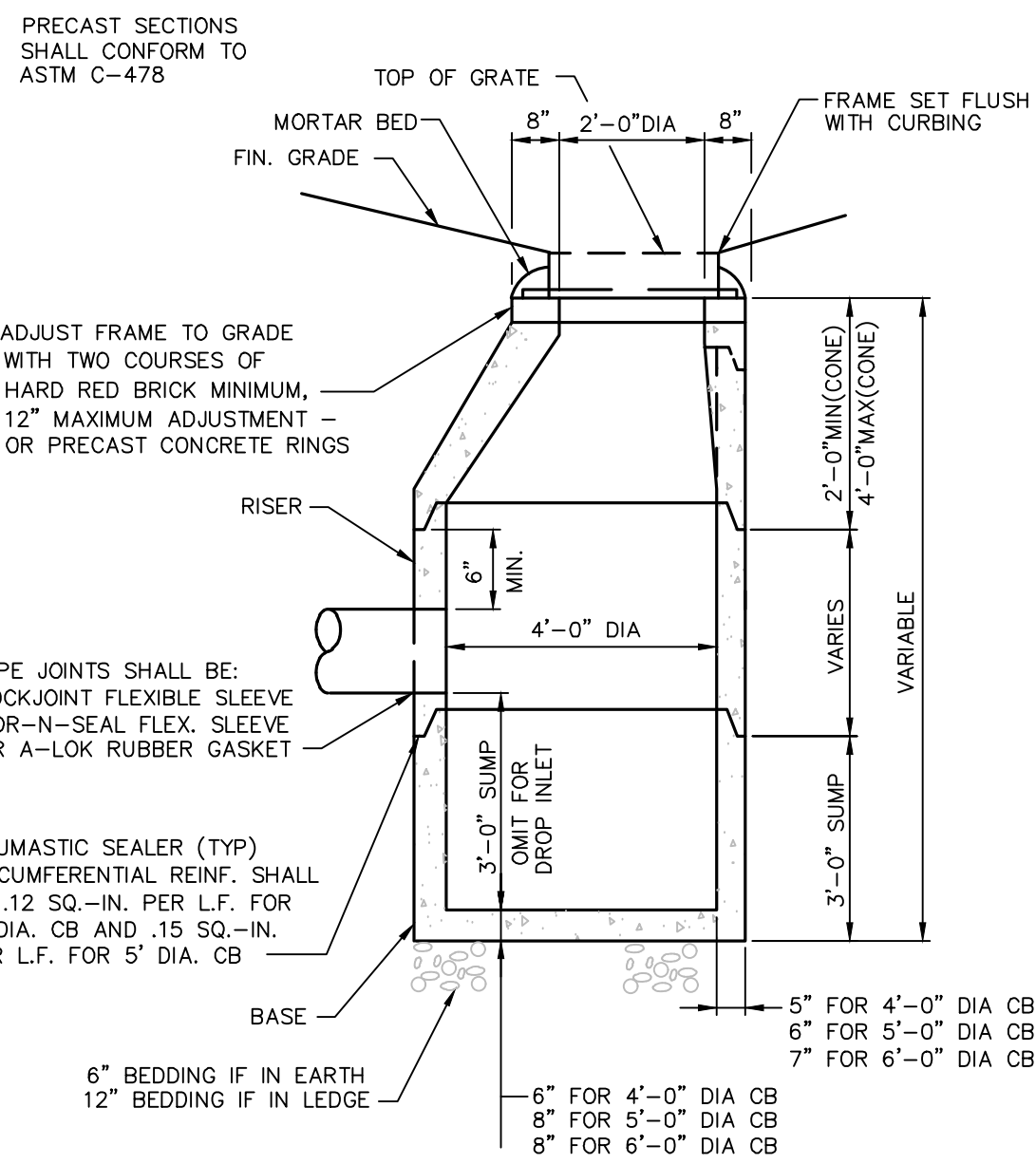
LOWELL ROAD, LLC
256 LOWELL ROAD
MAP 228 LOT 7
HUDSON, NEW HAMPSHIRE

D-4

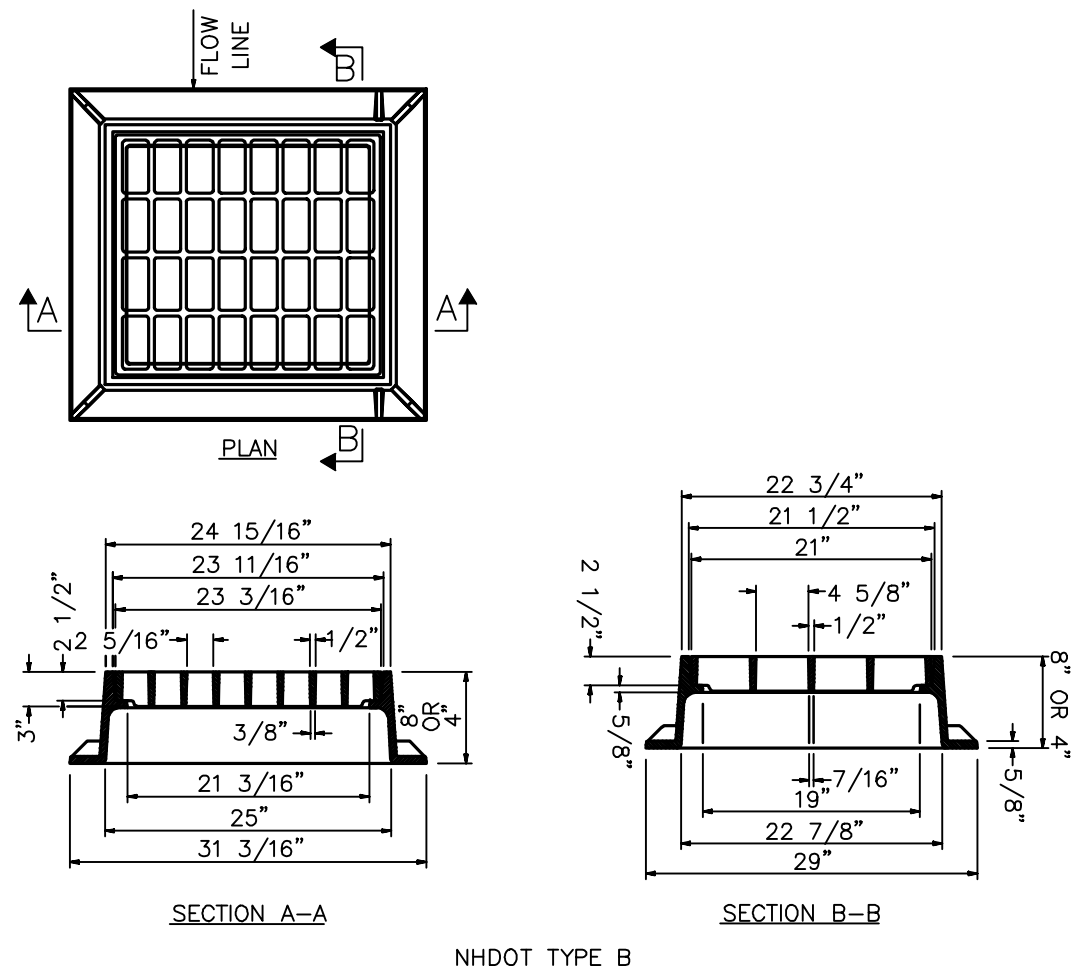
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PROJECT: 12542.00
SHEET NO. 18 OF 23

JANUARY 21, 2025

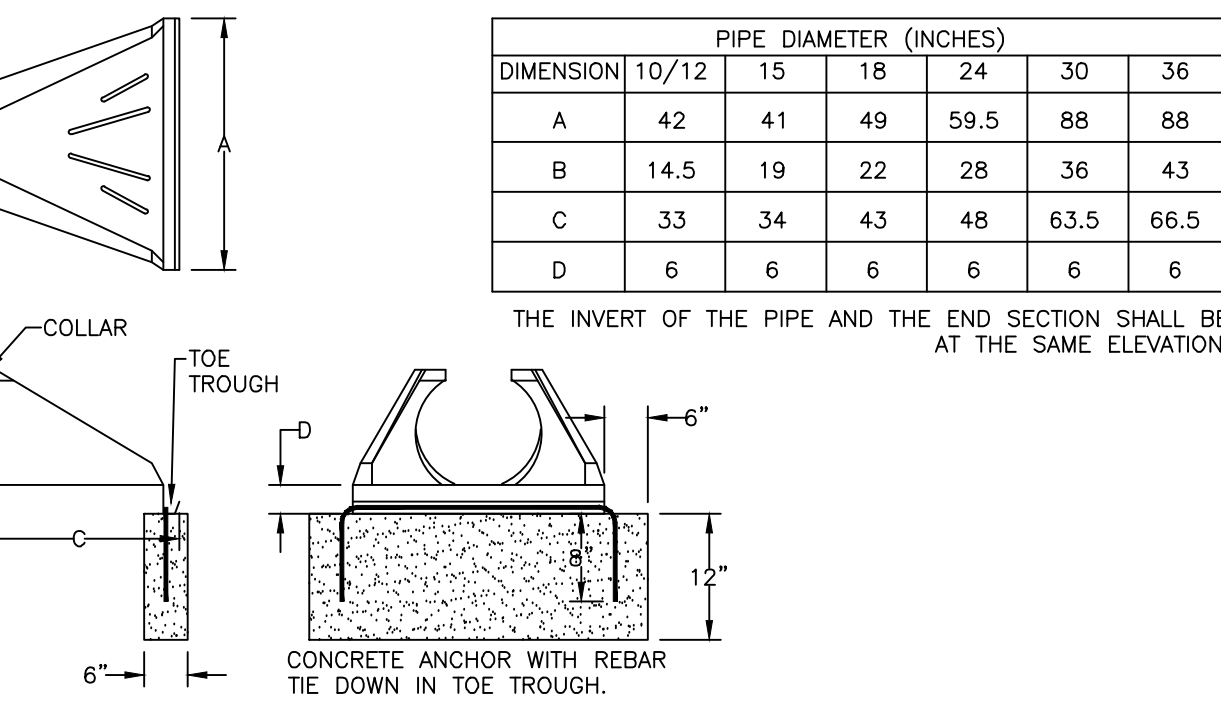
SCALE: AS NOTED



2
PRECAST REINFORCED CATCH BASIN
[TOWN OF HUDSON] SCALE: NONE **D-5**



2
CATCH BASIN GRATE (ON PAVEMENT)
[TOWN OF HUDSON] SCALE: NONE **D-5**



3
FLARED END SECTION - HDPE
[TOWN OF HUDSON] SCALE: NONE **D-5**

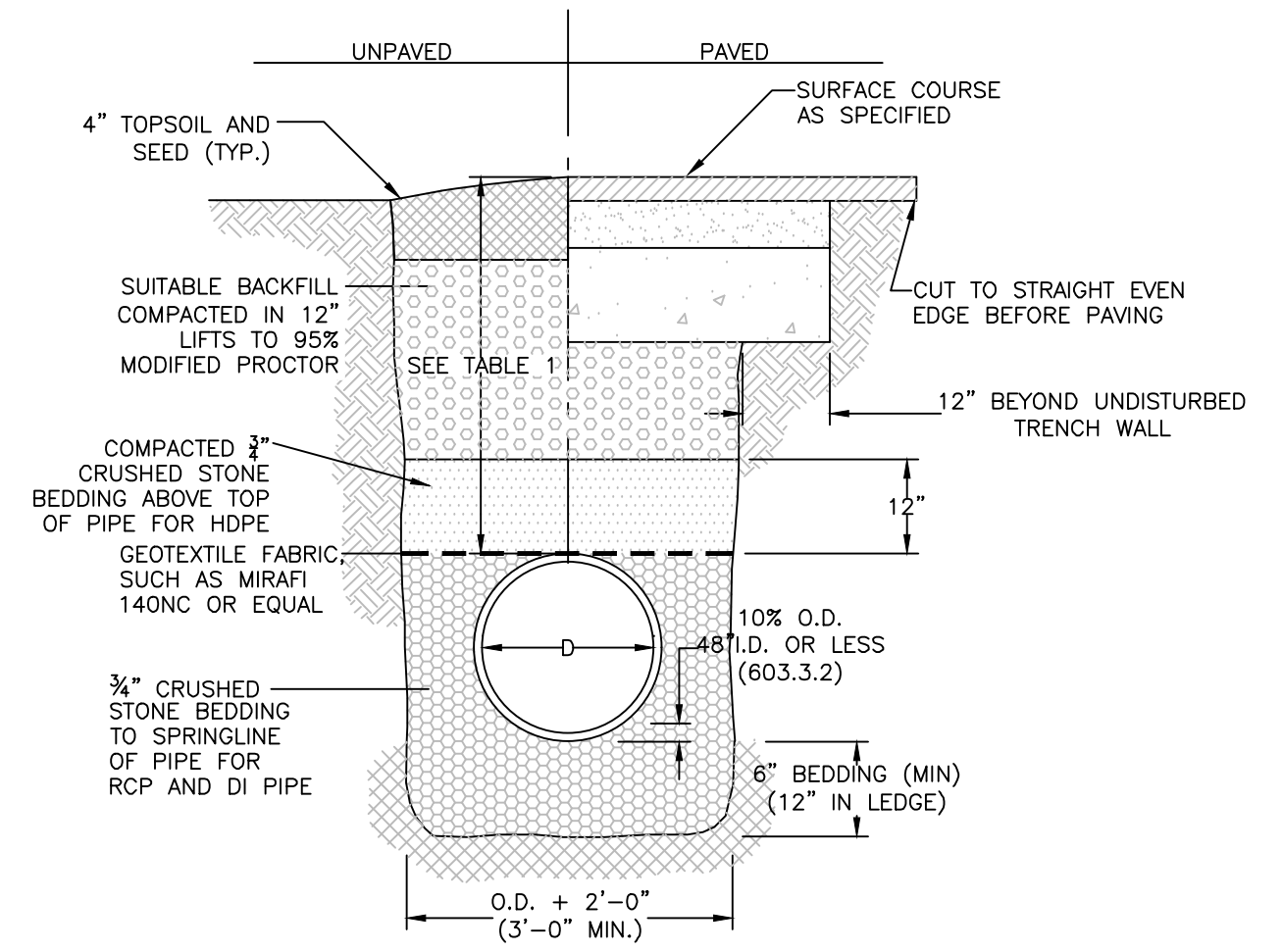


TABLE 1

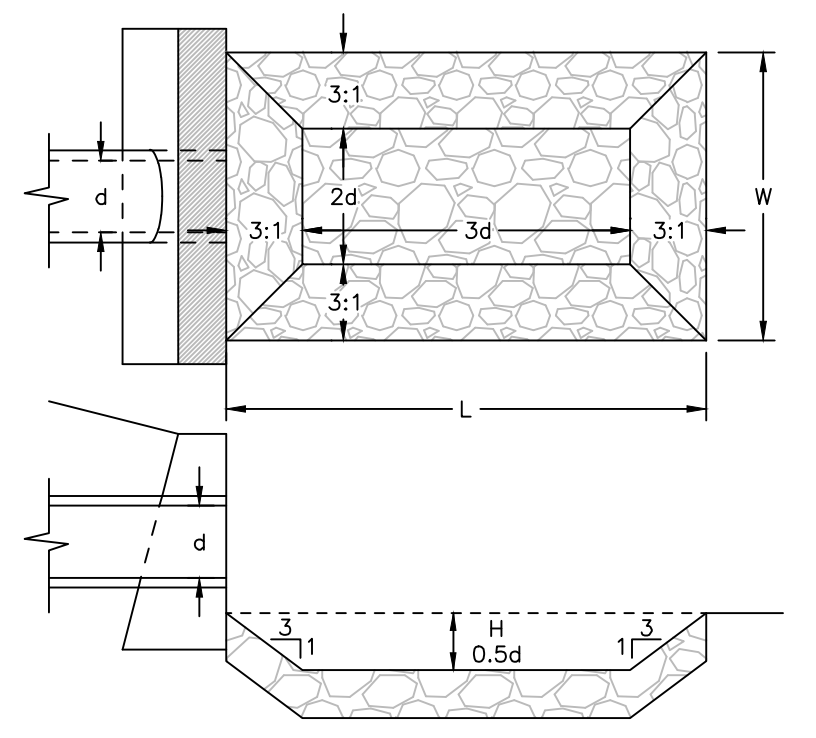
LOCATION	PIPE MATERIAL	MINIMUM COVER
PAVED ROADS	ALL	3 FT.
UNPAVED ROADS	ALL	3 FT.
DRIVEWAYS	ALL	1 FT.
UNPAVED AREAS	ALL	2 FT.

- NOTES
- DRAIN PIPE SHALL BE 15" DIAMETER MIN.
 - PLASTIC DRAIN PIPE (HDPE) SHALL BE ADS N-12 (CORRUGATED EXTERIOR/SMOOTH INTERIOR) OR EQUAL MEETING AASHTO M-252 AND H-20 LOADING.
 - DI DRAIN PIPE SHALL BE CL. 50.
 - RC DRAIN PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED.
 - CRUSHED STONE BEDDING TO BE ASTM-C33, SIZE 67

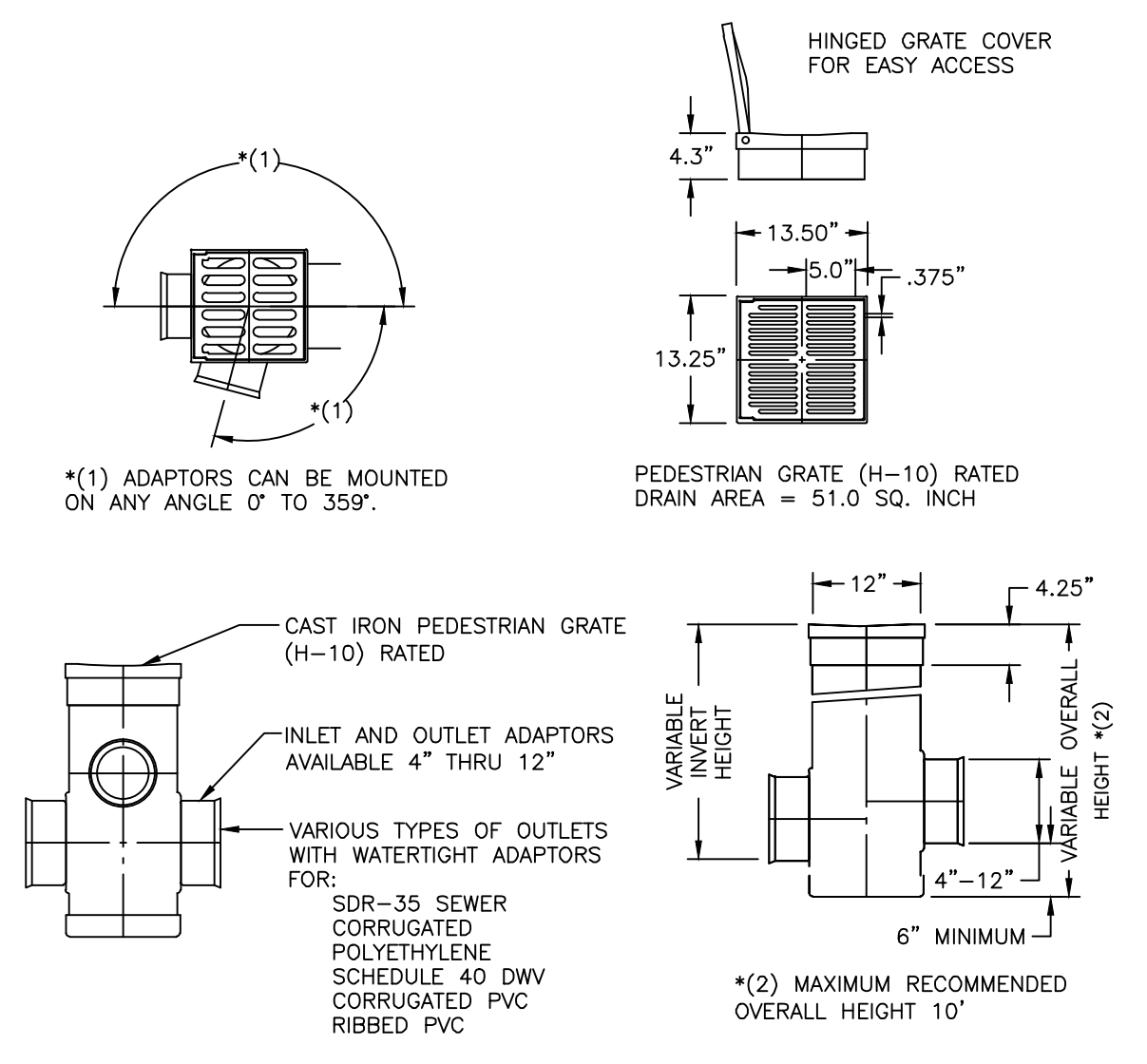
4
TYPICAL DRAINAGE PIPE TRENCH
SCALE: NONE **D-5**

APRON SIZING

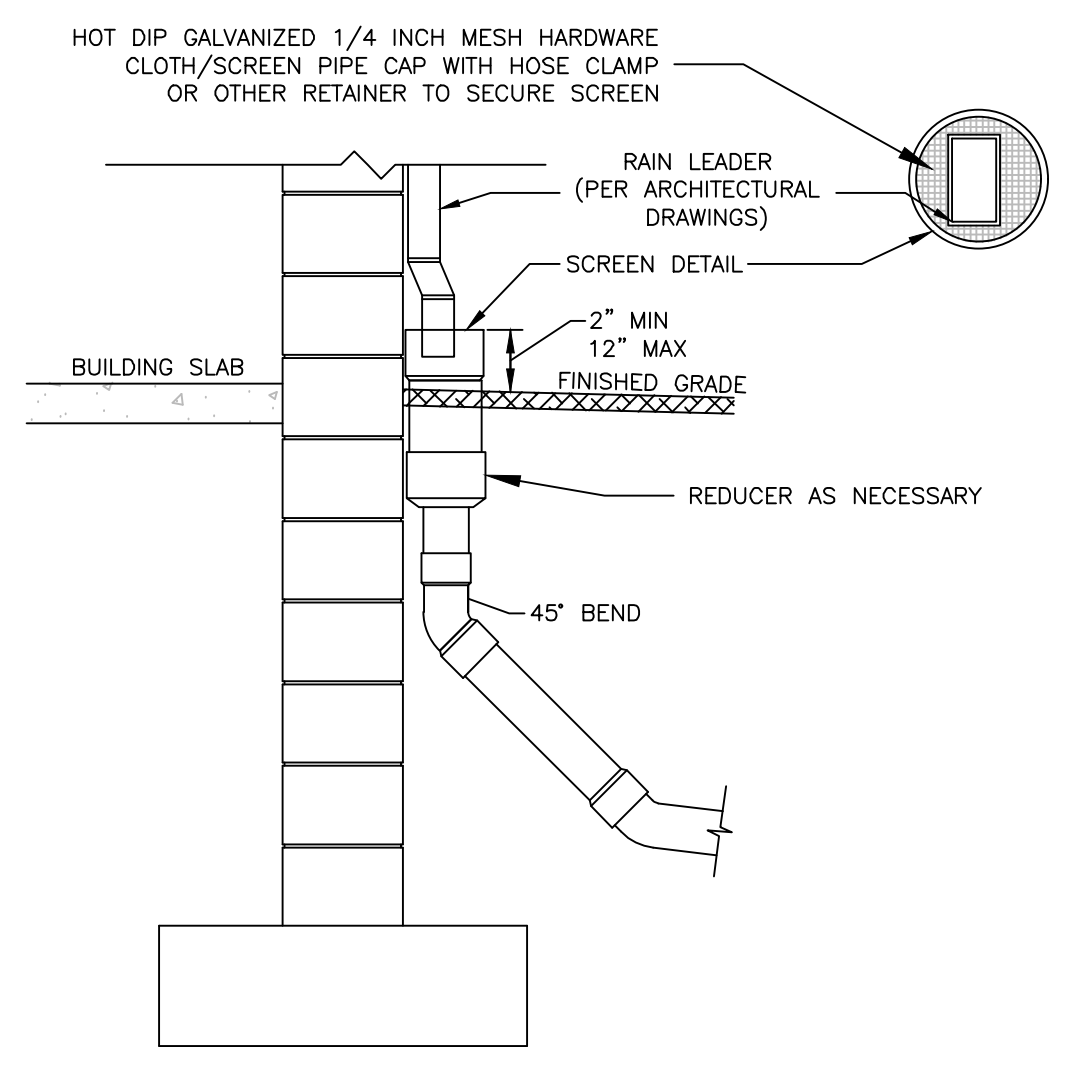
LOCATION	L (FT)	W (FT)	H (FT)	d50 (IN)	T (IN)
FES-A	7.5	6.25	0.63	4	8
FES-B	7.5	6.25	0.63	4	8
FES-C	7.5	6.25	0.63	4	8



5
PERMANENT OUTLET PROTECTION - RIP RAP SCOUR HOLE
SCALE: NONE **D-5**

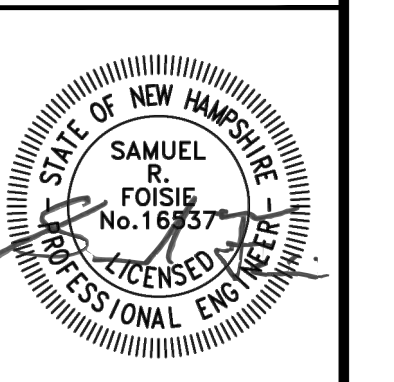
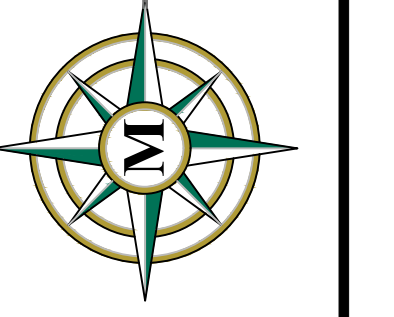


6
YARD DRAIN (YD) AREA CATCH BASIN (12')
[NYLOPLAST DRAIN BASIN (OR EQUAL)] SCALE: NONE **D-5**



- NOTES
- ALL PIPE SHALL BE SOLVENT WELDED POLYVINYLCHLORIDE (PVC) SCH-40, DWV CLASS OR EQUIVALENT.
 - PIPE DIAMETER SHALL BE A MINIMUM OF FOUR INCHES (4") AND/OR AS SPECIFIED ON THE GRADING & DRAINAGE PLANS OR STORMSEWER PROFILES.
 - A WATERTIGHT CONNECTION SHALL BE MAINTAINED WITH ANY TRANSITION TO DIFFERING PIPE MATERIALS AND/OR SIZES.
 - RAIN LEADERS AND OTHER ELEMENTS CONTIGUOUS, ATTACHED TO, OR RELATED TO THE BUILDING SHALL BE AS SPECIFIED ON THE ARCHITECTURAL DRAWINGS AND/OR SPECIFICATIONS.

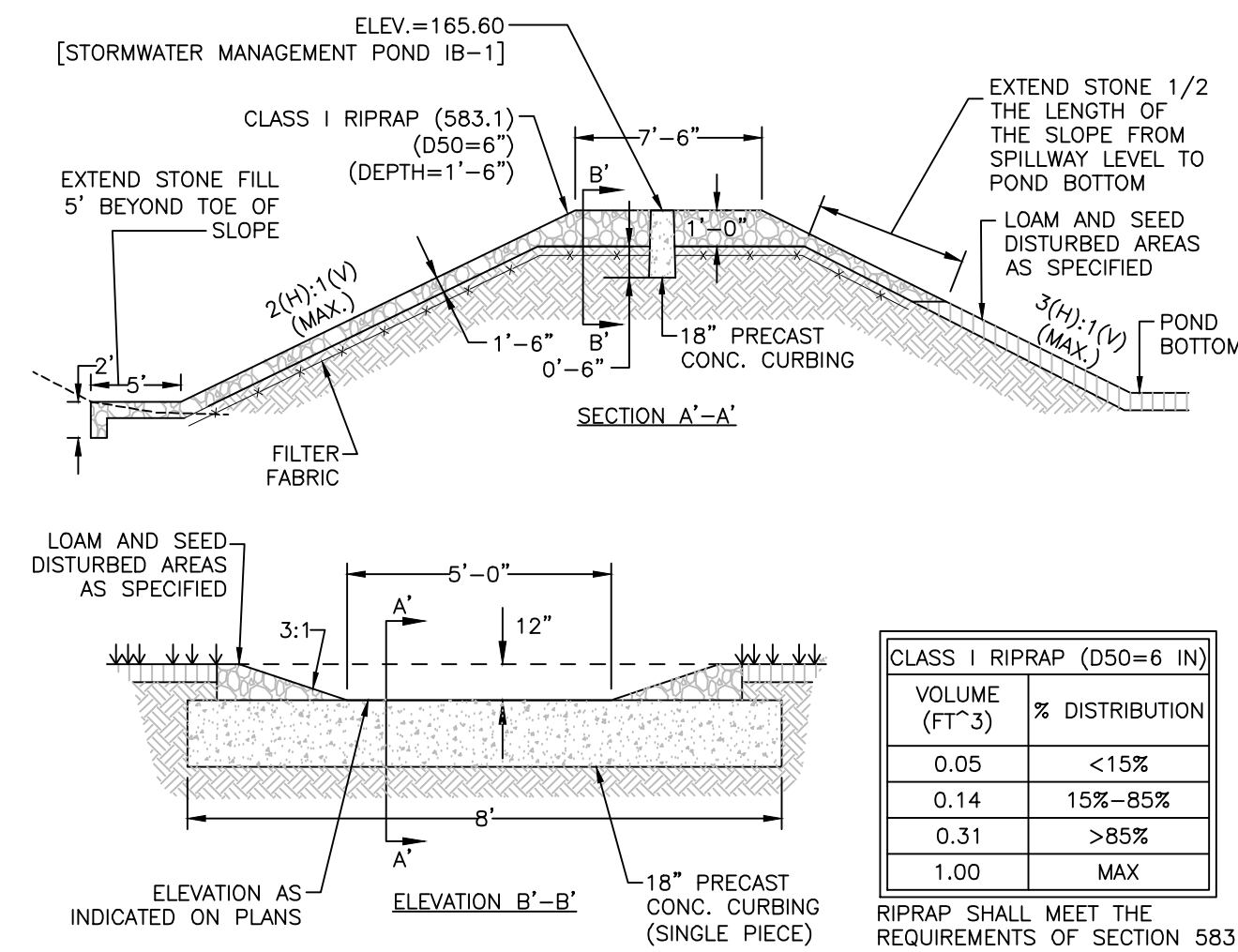
7
ROOF DRAIN
SCALE: NONE **D-5**



REV.	DATE	DESCRIPTION	DR	CK
A	3/4/25	ALTERATION OF TERRAIN SUBMITTAL	NGC	SRF
B		STAFF & THIRD PARTY REVIEW		
C				
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T-BONES AT LOWELL ROAD
DRAINAGE DETAILS
JANUARY 21, 2025

LOWELL ROAD, LLC
256 LOWELL ROAD
MAP 228 LOT 7
HUDSON, NEW HAMPSHIRE
SCALE: AS NOTED



EMERGENCY RIPRAP SPILLWAY

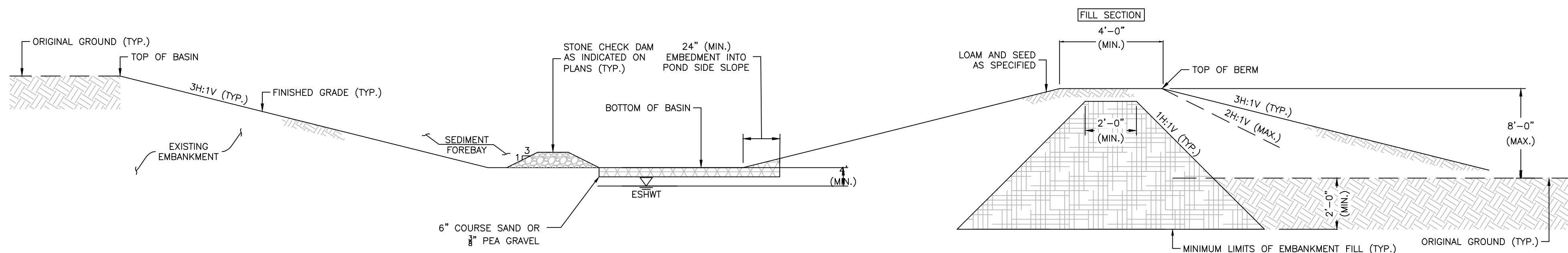
SCALE: NONE **1**
D-6

NOTES:

- ITEM NO.'S REFER TO THE CURRENT EDITION OF THE NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- ORIGINAL GROUND AND FINISHED GRADE ELEVATIONS, SLOPES, WIDTHS, LENGTHS, ETC. SHALL BE PER THE GRADING PLANS.
- ALL DISTURBED AREAS OTHER THAN THE BASIN FLOOR SHALL BE SEEDED WITH 4" LOAM AND SEED.
- LOW-PERMEABILITY FILL SHALL BE PLACED IN ALL BERMS AND/OR AREAS IN WHICH AN OBSTRUCTION IS CREATED ABOVE ORIGINAL GROUND TO IMPOUND WATER AND AS FOLLOWS:
 - BE A HIGH SILT CONTENT GLACIAL TILL MEETING THE FOLLOWING GRADATION:

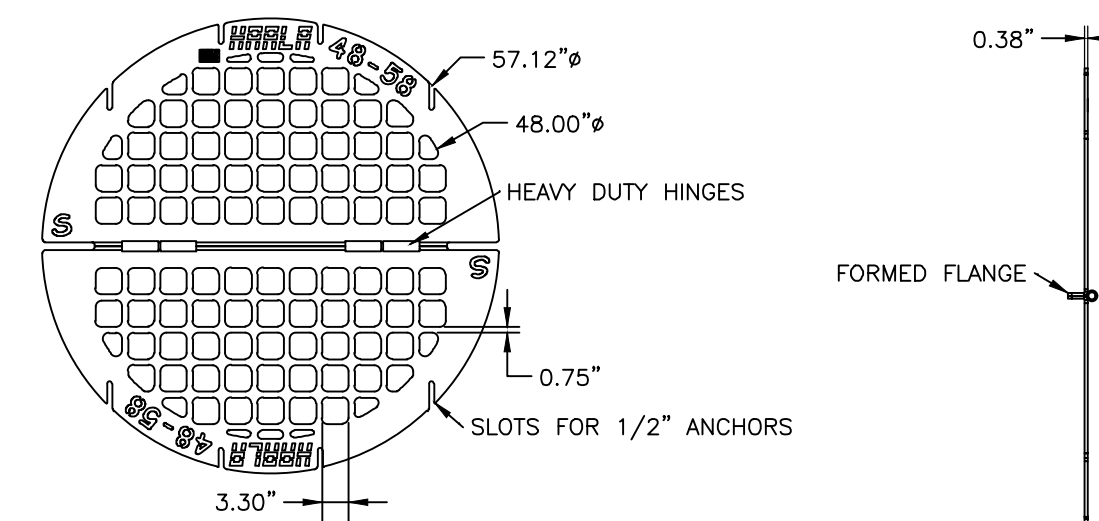
SIEVE SIZE	PERCENT PASSING BY WEIGHT
3"	100
3/4"	75 - 100
#40	65 - 90
#100	25 - 60
#200	15 - 50
 - ALTERNATE MATERIALS MAY BE SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION SYSTEM.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
- AFTER THE AREA IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
- DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- VEGETATION SHOULD BE ESTABLISHED IMMEDIATELY.

STORMWATER MANAGEMENT POND	TOP OF BERM	BOTTOM OF BASIN	TEST PIT NUMBER	ORIGINAL GROUND	DEPTH TO SHWT	SHWT ELEVATION	BOTTOM OF BASIN SEPARATION TO SHWT
IB-1	166.00	162.00	TP-4	161.26	34"	158.43	3.57



STORMWATER MANAGEMENT POND - SURFACE INFILTRATION BASIN

SCALE: NONE **2**
D-6



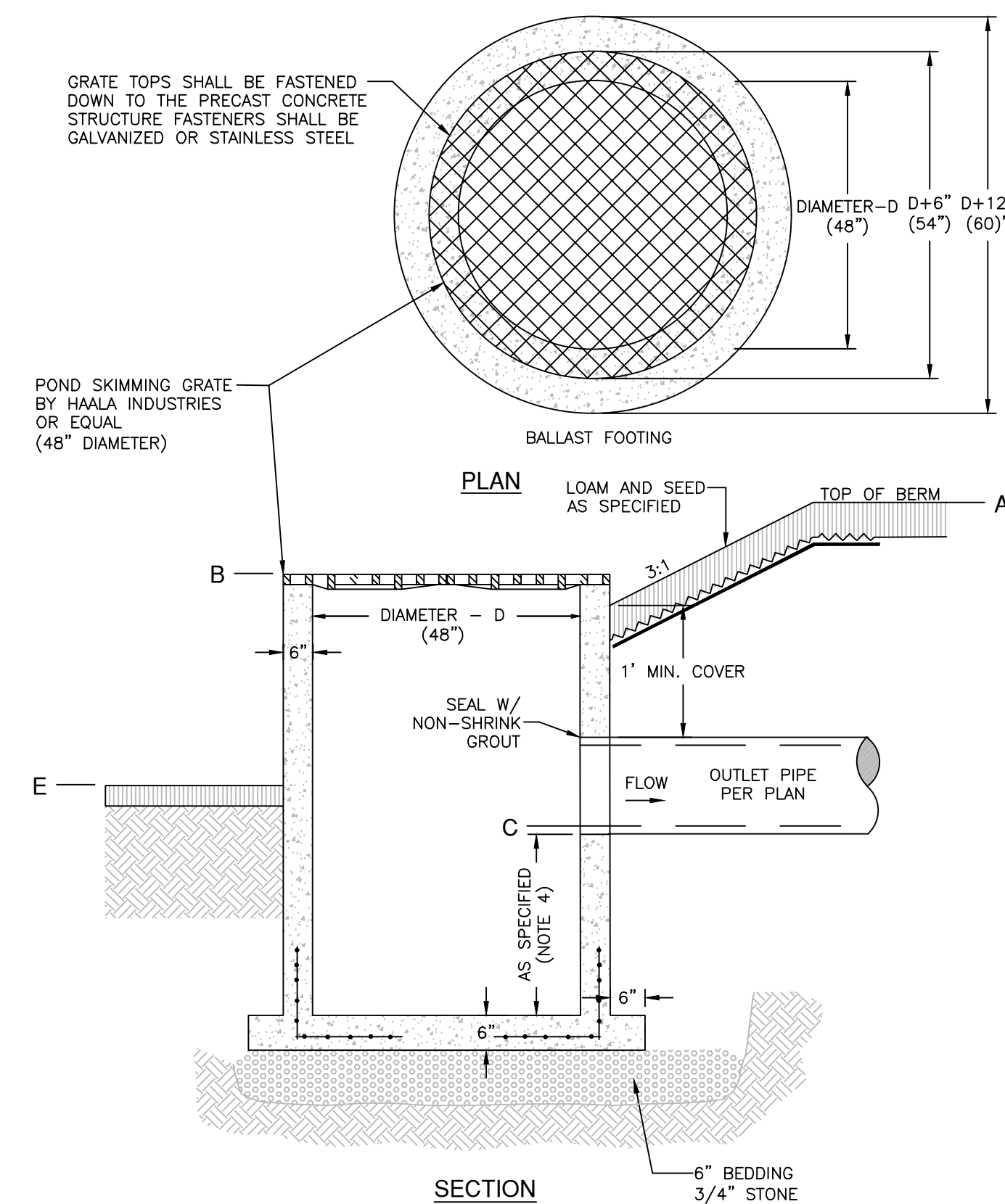
NOTES:

- UNIT IS MADE FROM A36 STEEL AND IS HOT DIP GALVANIZED AFTER FABRICATION PER ASTM A123.
- OPEN AREA: 7.01 SQ FT

48" DIAMETER POND SKIMMING GRATE WITH HINGE

BY HALLA INDUSTRIES OR EQUAL

SCALE: NONE **3**
D-6



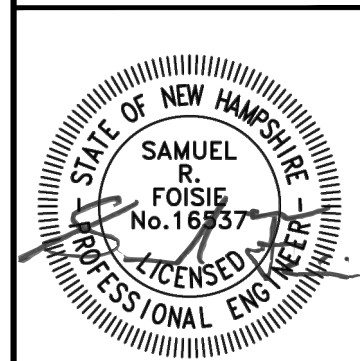
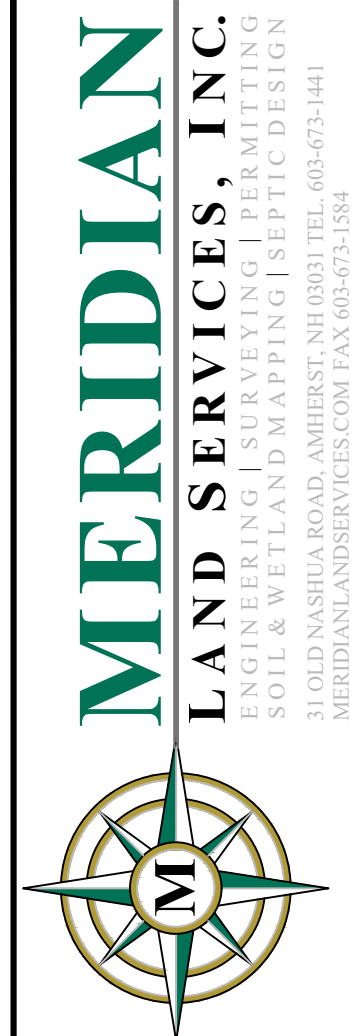
STRUCTURE LABEL	STORMWATER MANAGEMENT POND	A [TOP OF BERM]	B [GRATE]	C [OUTLET PIPE INV.]	D [LOW FLOW ORIFICE INV.]	E [BOTTOM ELEV.]
OCS-1	IB-1	166.00	165.00	162.00	164.50	162.00

OUTLET STRUCTURE NOTES:

- OUTLET CONTROL STRUCTURE SHALL CONFORM TO SECTION 604 FOR THE NHDOT STANDARD SPECIFICATIONS.
- ALL HARDWARE SHALL BE HOT-DIPPED GALVANIZED PER ASTM A123/123M AND/OR ASTM A153/153M.
- ALL HARDWARE SHALL CONFORM TO SECTION 550, AND AS FOLLOWS:
 - BOLTS: ASTM A325;
 - NUTS: GRADE DH;
 - WASHERS: ASTM F436;
 - STRUCTURAL STEEL: ASTM A6 AND/OR AASHTO M270 (ASTM A709); GRADE 36;
- OUTLET CONTROL STRUCTURE SUMPS TO BE REMOVED IN ACCORDANCE WITH NEW HAMPSHIRE FISH AND GAME REQUESTS.
- OUTLET CONTROL STRUCTURE TO MAINTAIN 12-18" HEIGHT ABOVE GRADE IN ACCORDANCE WITH NEW HAMPSHIRE FISH AND GAME REQUIREMENTS.
- OUTLET CONTROL STRUCTURE TO MAINTAIN 3' SETBACK FROM SLOPE IN ACCORDANCE WITH NEW HAMPSHIRE FISH AND GAME REQUIREMENTS.

OUTLET CONTROL STRUCTURE (OCS)

SCALE: NONE **4**
D-6

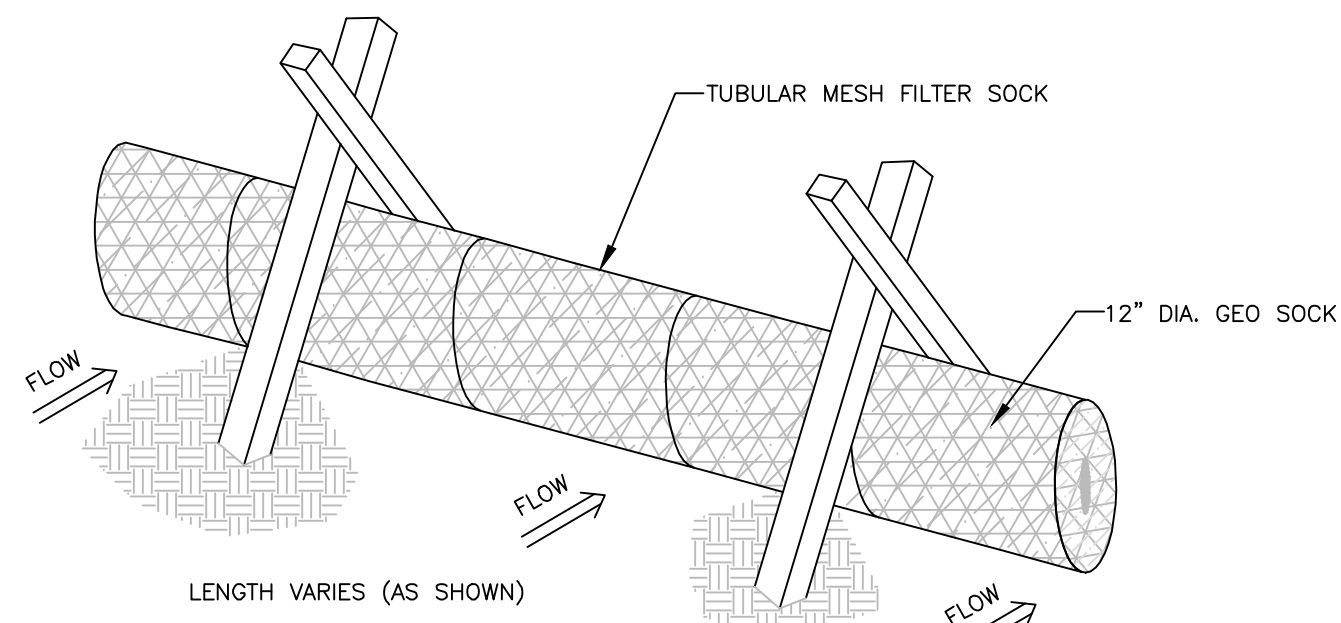


REV.	DATE	DESCRIPTION	DR	CK
A	3/4/25	ALTERATION OF TERRAIN SUBMITTAL	NGC	SRF
B		STAFF & THIRD PARTY REVIEW	NGC	SRF

T-BONES AT LOWELL ROAD
INFILTRATION BASIN DETAILS

LOWELL ROAD, LLC
256 LOWELL ROAD
MAP 228 LOT 7
HUDSON, NEW HAMPSHIRE

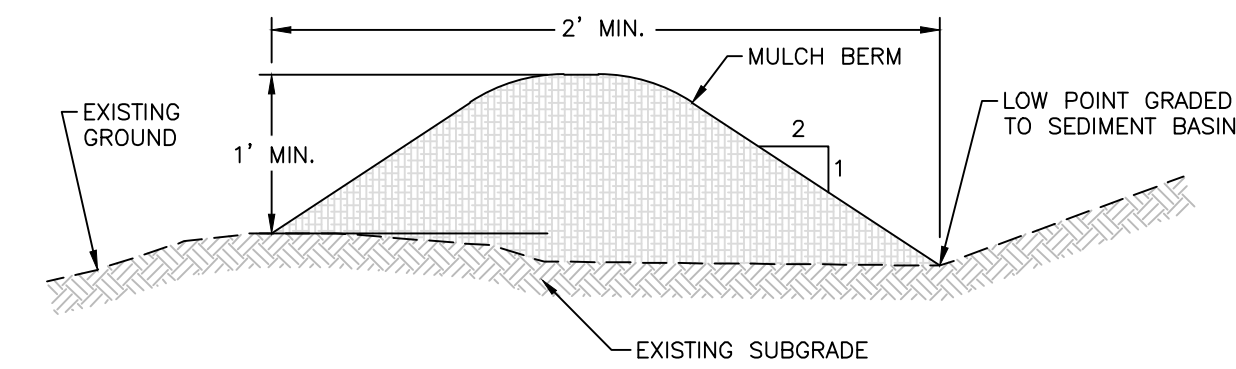
SCALE: AS NOTED
D-6
SHEET
FILE: 12542V00B.dwg
PROJECT 12542.00
SHEET NO. 20 OF 23



- NOTES:**
1. THE COMPOST SOCK SHALL BE A MESH TUBE FILLED WITH COMPOSTED MATERIAL.
 2. MINIMAL CLEARING MAY BE REQUIRED TO INSTALL FILTER SOCKS.
 3. INSTALL FILTER SOCKS PRIOR TO ANY CLEARING OR GRUBBING.

COMPOST SOCK

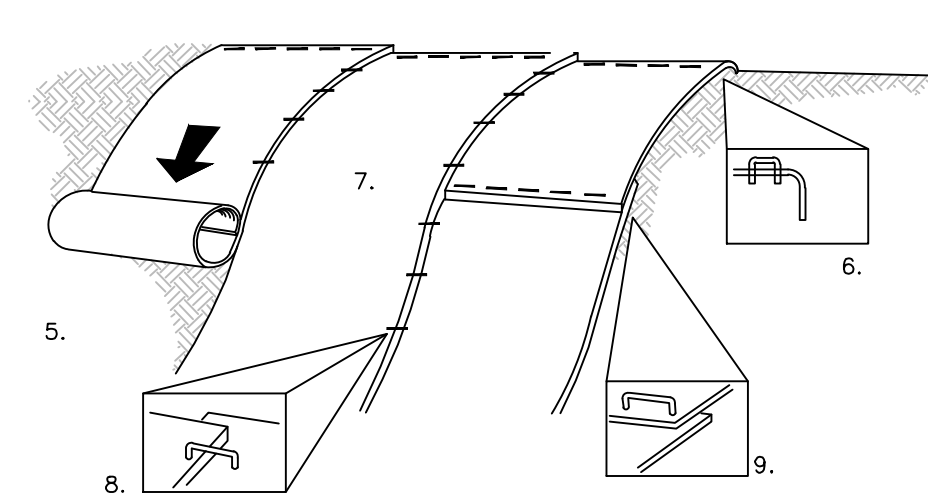
SCALE: NONE
1
D-7



- NOTES:**
1. MULCH BERM MUST CONSIST PRIMARILY OF ORGANIC MATERIAL AND MAY INCLUDE THE FOLLOWING: SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK OR ACCEPTABLE MANUFACTURED WOOD PRODUCTS.
 2. WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS OR REPOSSESSED WOOD PRODUCTS ARE NOT ACCEPTABLE AS THE ORGANIC COMPONENT OF THE MIX.
 3. EROSION CONTROL MIX SHOULD CONTAIN A WELL-GRADED MIXTURE OF PARTICLE SIZES AND MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER.
 4. THE ORGANIC MATTER CONTENT SHOULD BE BETWEEN 25% AND 65% ON A DRY WEIGHT BASIS.
 5. THE MIX SHOULD NOT CONTAIN SILTS, CLAYS OR SANDS.
 6. REFER TO THE NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOL. 3 SECTION 4.2 FOR COMPLETE DETAILS.

TYPICAL MULCH BERM - ALTERNATE

SCALE: NONE
4
D-7



- CONSTRUCTION REQUIREMENTS AND SLOPE APPLICATIONS:**
1. MATS SHALL BE STRAW/COCONUT FIBER EROSION CONTROL TURF REINFORCEMENT MAT SUCH AS NORTH AMERICAN GREEN SC150BN OR EQUAL.
 2. THE USE OF ANY EROSION CONTROL MAT WHICH CONTAINS ANY WELDED PLASTIC OR BIODEGRADABLE PLASTIC THREAD OR NETTING IS STRICTLY PROHIBITED.
 3. THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1" AND A LENGTH OF 6".
 4. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED.
 5. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROLL OF STAPLES OR STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET WITH A ROW OF STAPLES/STAKES PLACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 6. ROLL THE BLANKETS DOWN THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES OR STAKES IN APPROPRIATE LOCATIONS. REFER TO MANUFACTURER'S STAPLE GUIDE FOR CORRECT STAPLE PATTERN.
 7. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OF OVERLAP DEPENDING ON THE BLANKET TYPE.
 8. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE OVERLAPPED AREA APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.

NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE BLANKETS.

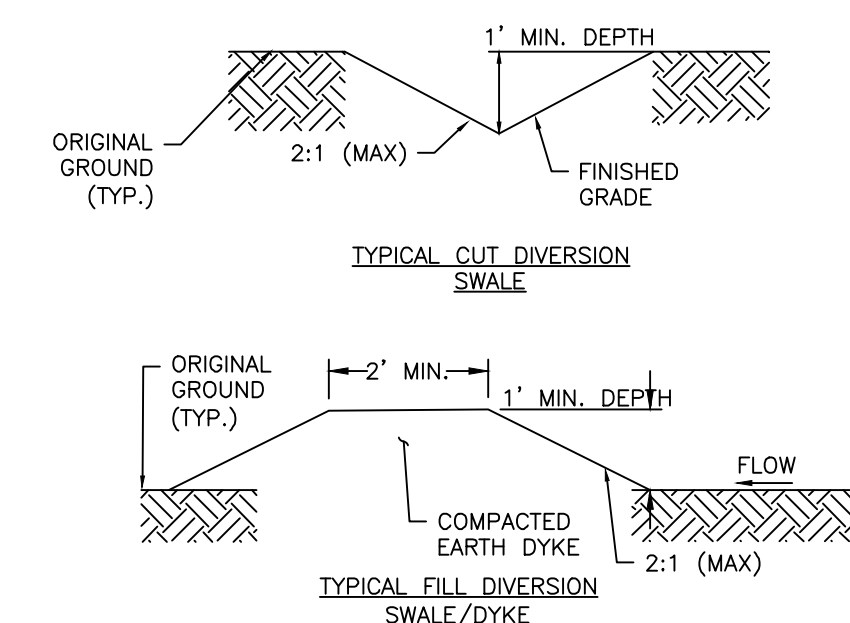
THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE REFERTILIZED, RESEEDED AND REMULCHED AS DIRECTED.

THERE SHALL BE NO PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8" INCHES MATERIAL USED.

TURF REINFORCEMENT MATS SHALL BE COVERED WITH SOIL TO PREVENT EXPOSURE OF THE MATS TO THE SURFACE.

SLOPE STABILIZATION TURF REINFORCEMENT MAT

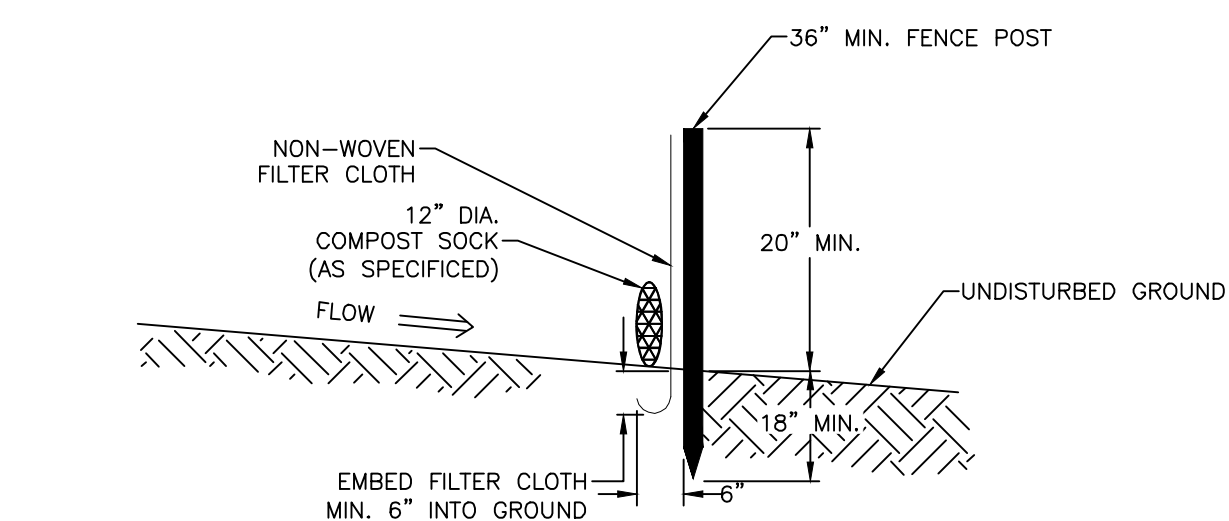
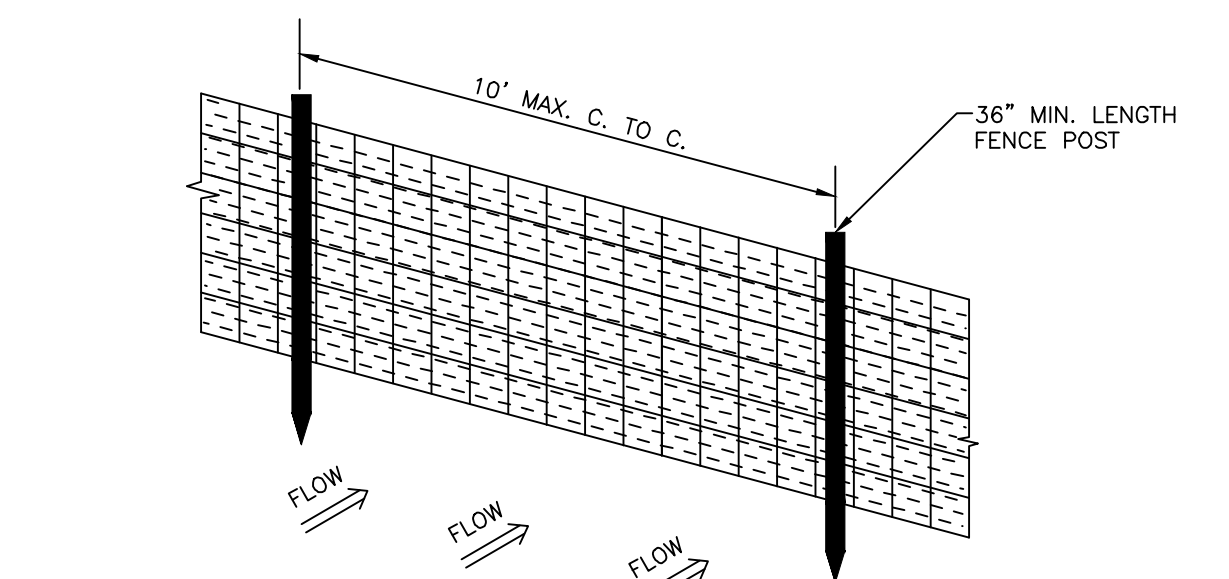
SCALE: NONE
7
D-7



- NOTES:**
1. DIVERSION SWALE AND/OR DIKE SHALL BE STABILIZED WITH EROSION STONE (ITEM NO. 545.3), TEMPORARY CHANNEL MATTING (ITEM NO. 645.471), AND/OR TEMPORARY OF PERMANENT SEEDING.
 2. DIVERSION SWALES SHALL BE MAINTAINED IN ACCORDANCE WITH THE NH STORMWATER MANUAL REQUIREMENTS.

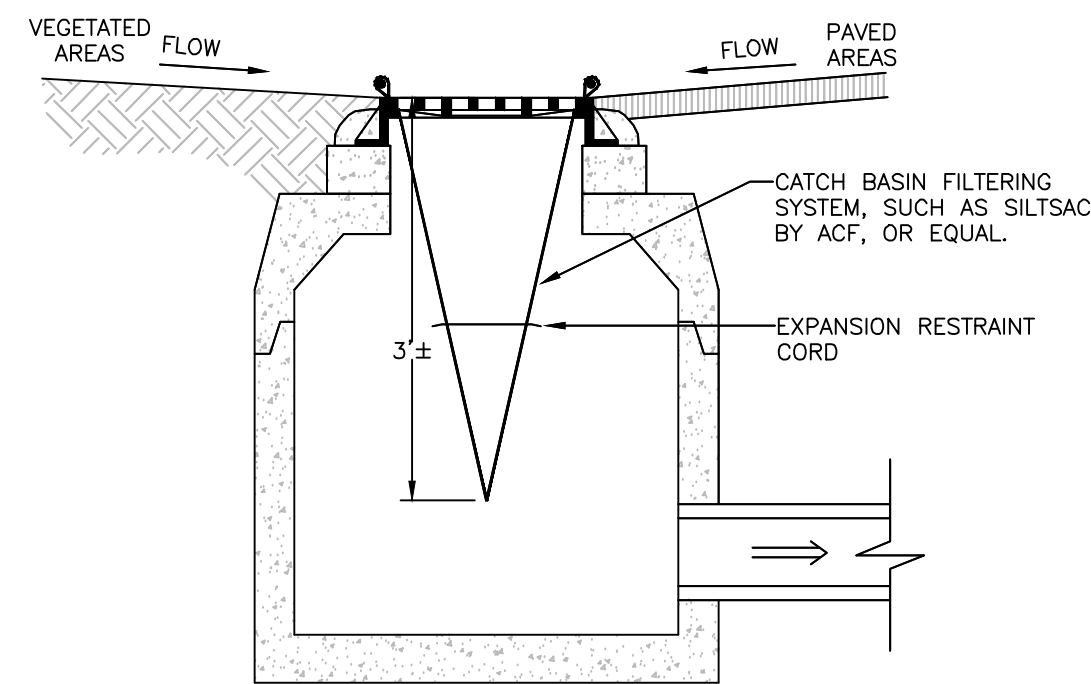
TEMPORARY DIVERSION SWALE

SCALE: NONE
9
D-7



SILTATION FENCE

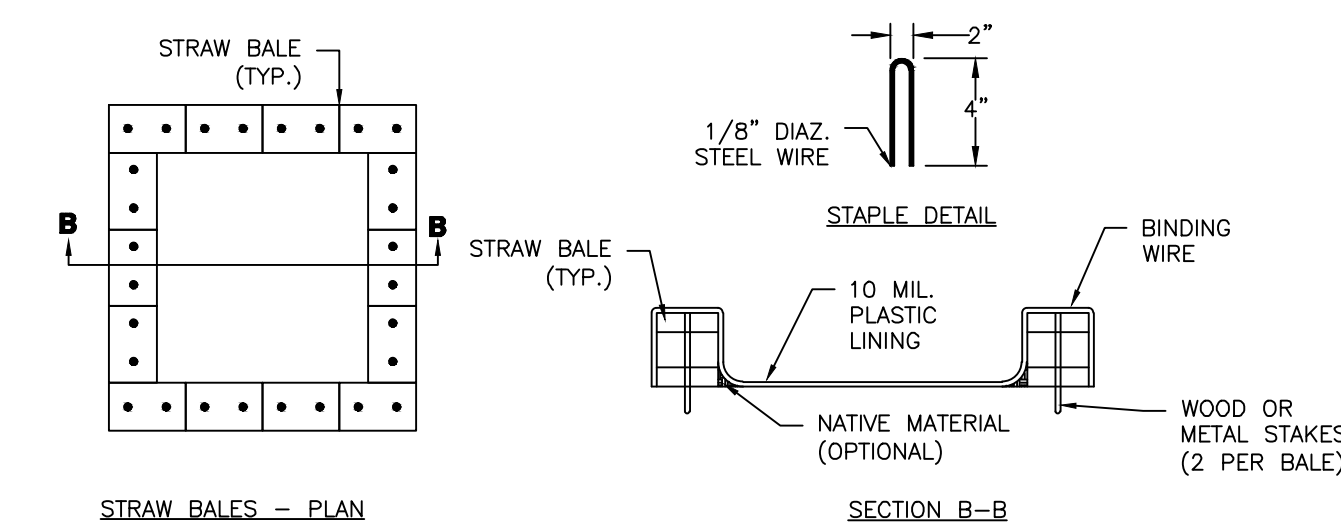
SCALE: NONE
2
D-7



- NOTES:**
1. INSTALL AND MAINTAIN SACKS IN ALL CATCH BASINS.
 2. TO INSTALL SACK, REMOVE CATCH BASIN GRATE AND PLACE SACK IN OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME FOR THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
 3. THE SACK SHOULD BE INSPECTED AFTER EVERY STORM, OR ONCE EVERY TWO WEEKS, WHICH EVER OCCURS FIRST.
 4. THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SACK SHOULD BE EMPTIED. EMPTY THE SACK AWAY FROM THE CATCH BASIN TO PREVENT SEDIMENT FROM RE-ENTERING THE CATCH BASIN. EMPTY THE SACK PER THE MANUFACTURER'S RECOMMENDATIONS.
 5. REPLACE THE SACK IN THE CATCH BASIN AFTER THE SACK HAS BEEN EMPTIED. ONCE CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED BY PAVING OR A HEALTHY VEGETATIVE COVER, REMOVE THE SACK FROM THE CATCH BASINS.

TEMPORARY STORM DRAIN INLET PROTECTION CATCH BASIN SEDIMENT FILTER

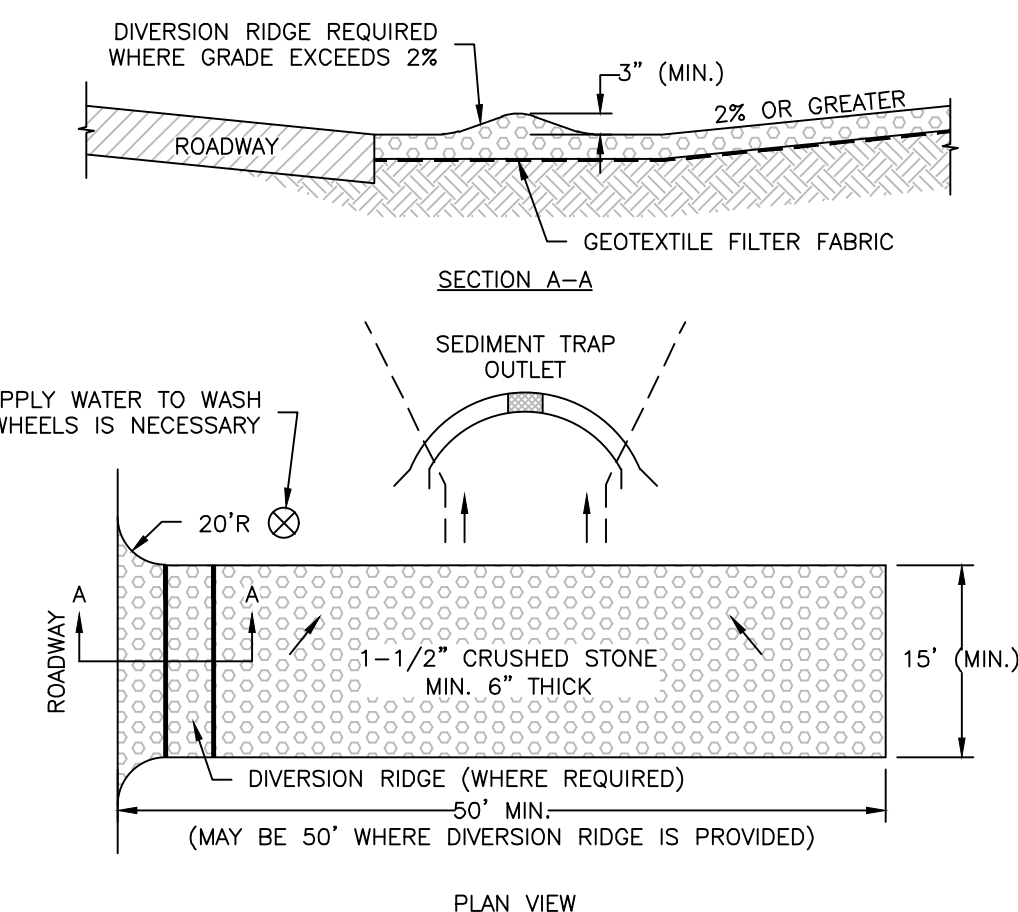
SCALE: NONE
5
D-7



- NOTES:**
1. THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
 2. THE CONCRETE WASHOUT AREA WILL BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. THE ACTUAL LAYOUT SHALL BE DETERMINED IN THE FIELD.
 3. THE CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. THE WASHOUT AREA MUST BE CLEANED, OR A NEW WASHOUT AREA MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
 4. THE CONCRETE WASHOUT SIGN SHALL BE PLACED WITHIN 30' OF THE WASHOUT AREA. ADDITIONAL SIGNS SHOULD BE CONSTRUCTED AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
 5. THE CONCRETE WASHOUT AREA SHALL BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAIN INLETS, OPEN DISCHARGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS TO PREVENT DISTURBANCE OR TRACKING. VEHICLE TRACKING CONTROL IS REQUIRED AT CONCRETE WASHOUT ENTRANCE IF ACCESS TO AREA IS OFF PAVEMENT.
 6. PLASTIC LINING MATERIAL SHALL BE A MINIMUM OF 10 MIL. POLYETHYLENE SHEETING AND SHALL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
 7. WHEN THE CONCRETE WASHOUT AREA IS NO LONGER REQUIRED FOR WORK, THE HARDENED CONCRETE AND MATERIAL USED TO CONSTRUCT THE WASHOUT AREA SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED WASTE SITE.
 8. WHEN THE CONCRETE WASHOUT AREA IS REMOVED, THE DISTURBED AREA SHALL BE SEEDDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE ENGINEER.

CONCRETE WASHOUT AREA

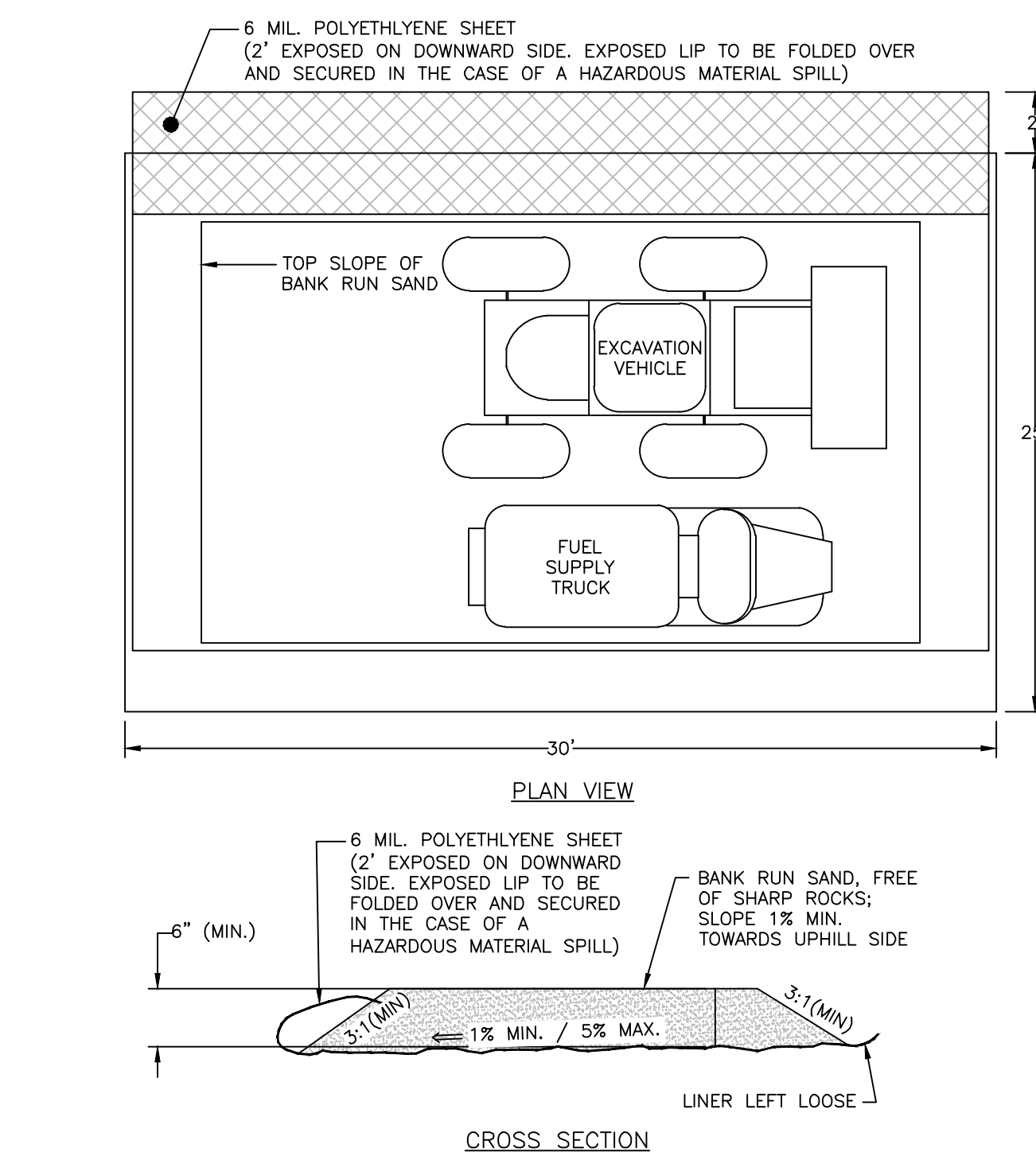
SCALE: NONE
3
D-7



- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRED TOP-DRESSING, REPAIR AND/OR CLEAN UP OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

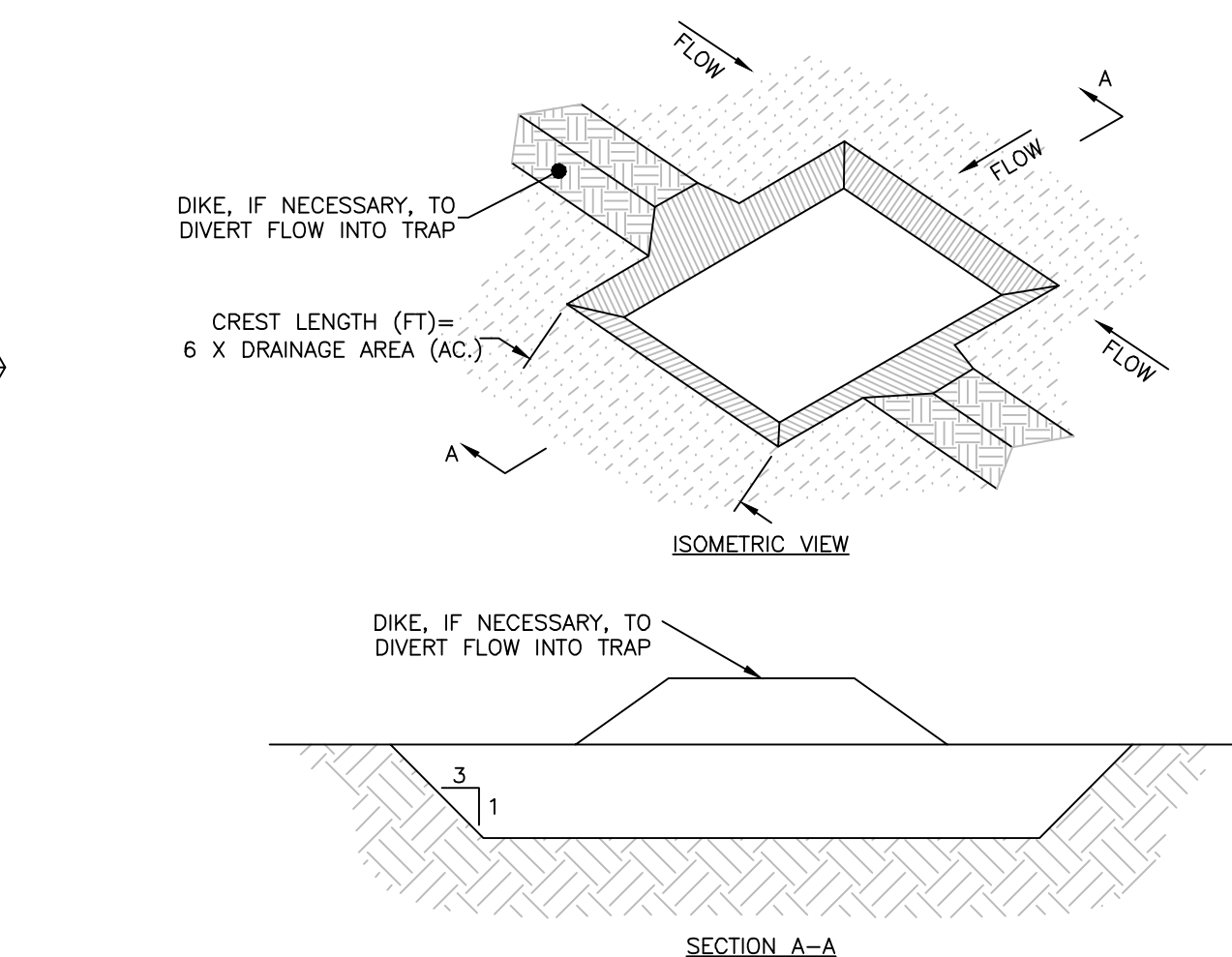
CONSTRUCTION EXIT

SCALE: NONE
6
D-7



TEMPORARY VEHICLE MAINTENANCE PAD

SCALE: NONE
8
D-7

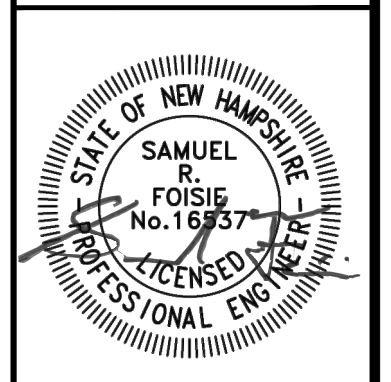
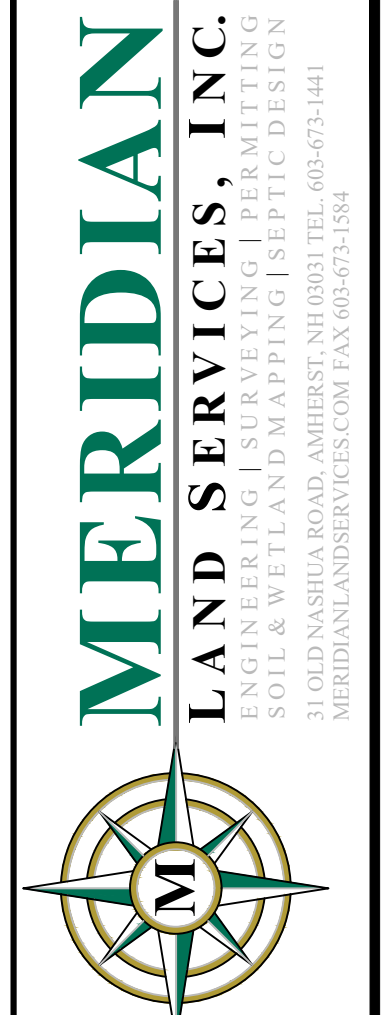


- NOTES:**
1. SEDIMENT TRAPS SHOULD BE LOCATED SO THEY CAN BE INSTALLED PRIOR TO DISTURBING THE AREA THEY ARE TO PROTECT.
 2. THE TRAP SHOULD BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE.
 3. THE MAXIMUM CONTRIBUTING AREA TO THE TRAP SHOULD BE LESS THAN 5 ACRES.
 4. THE MINIMUM VOLUME OF THE TRAP SHOULD BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
 5. THE SIDE SLOPES OF THE TRAP SHOULD BE 3:1 OR FLATTER, AND SHOULD BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.
 6. THE MINIMUM LENGTH-TO-WIDTH RATIO OF THE TRAP SHOULD BE 2:1 (L-W).
 7. FOR CONCENTRATED FLOW ENTERING THE TRAP, ENERGY DISSIPATION AT THE POINT OF INFLOW SHOULD BE PROVIDED.
 8. THE OUTLET PIPE SHOULD EXTEND THROUGH THE EMBANKMENT AT A MINIMUM SLOPE OF 0.5 PERCENT.
 9. REFER TO THE CURRENT EDITION OF THE NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOL. 3: CONSTRUCTION PHASE EROSION AND SEDIMENT CONTROLS.

- INSTALLATION NOTES:**
1. BOTTOM DIMENSION MAY BE MODIFIED AS LONG AS BOTTOM AREA IS NOT REDUCED.
 2. TRAP SHOULD BE INSTALLED PRIOR TO ANY OTHER LAND-DISTURBING ACTIVITY THAT RELIES ON BASINS FOR STORMWATER CONTROL.
 3. EMBANKMENT MATERIAL SHOULD CONSIST OF DEBRIS FREE SOIL, ORGANIC MATERIAL, AND ROCKS OR CONCRETE GREATER THAN 3 INCHES AND SHALL HAVE A MINIMUM OF 15 PERCENT PASSING THE NO. 200 SIEVE.
 4. EMBANKMENT SHALL BE COMPACTED TO AT MINIMUM 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D698.
 5. PIPE SCH 40 OR GREATER SHOULD BE USED.
- MAINTENANCE NOTES:**
1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATION CONDITION. MAINTENANCE SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs WITHIN 24 HOURS OF A STORM CAUSING SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 2. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 3. REPAIR OR REPLACE BMPs UPON FAILURE.
 4. ACCUMULATED SEDIMENT SHALL BE REMOVED AS NEEDED.
 5. THE TRAP IS TO REMAIN IN PLACE UNTIL THE DISTURBED AREA HAS BEEN STABILIZED AND GRASS COVER IS ACCEPTED BY LOCAL JURISDICTION.

EARTH OUTLET SEDIMENT TRAP

SCALE: NONE
10
D-7



REV.	DATE	DESCRIPTION	DR	CK
A	3/4/25	ALTERATION OF TERRAIN SUBMITTAL	NGC	SRF
B		STAFF & THIRD PARTY REVIEW	NGC	SRF

**T-BONES AT LOWELL ROAD
EROSION & SEDIMENTATION
CONTROL DETAILS**

**LOWELL ROAD, LLC
256 LOWELL ROAD
MAP 228 LOT 7
HUDSON, NEW HAMPSHIRE**

D-7
SHEET
FILE: 12542V00B.dwg
PROJECT 12542.00
SHEET NO. 21 OF 23

1. THE PROJECT DISTURBS MORE THAN ONE (1) ACRE OF LAND AND REQUIRES A CONSTRUCTION GENERAL PERMIT (CGP) FROM THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AS PART OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PHASE II STORMWATER ACT. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND FILE A NOTICE OF INTENT (NOI) WITH THE EPA. THE CONTRACTOR SHALL CONFIRM THAT THE OWNER HAS ALSO FILED AN NOI.
2. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS.
3. THE CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROLS, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWENTY FOUR HOURS AFTER EACH STORM EVENT (0.25" OR GREATER) AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE WAYS AND PROTECTED AREAS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS (IE WETLANDS, STREAMS, ETC.) WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSITED.
5. THE CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM AMOUNT OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
6. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN DEBRIS AND SEDIMENT FROM THE DRAINAGE SYSTEM.
7. AREAS REMAINING UNSTABILIZED FOR A PERIOD OF MORE THAN 30 DAYS SHALL BE TEMPORARILY SEEDED AND MULCHED. HAY MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 1-1/2 TONS/ACRE.
8. PERMANENT SEEDING SHALL OCCUR BETWEEN APRIL 1 AND JUNE 1 AND/OR BETWEEN AUGUST 15 AND OCTOBER 15. ALL SEEDING SHALL BE HAY MULCHED.
9. DUST SHALL BE CONTROLLED THROUGH THE USE OF WATER.
10. SOILS TO BE STOCKPILED FOR A PERIOD OF MORE THAN THIRTY DAYS SHALL BE TEMPORARILY SEEDED AND MULCHED. THE CONTRACTOR SHALL INSTALL SILT FENCE AND OR COMPOST SOCK ALONG THE DOWNHILL SIDE OF THE STOCKPILE.
11. THE CONTRACTOR SHALL PROVIDE TEMPORARY SEDIMENTATION BASINS AND TEMPORARY DIVERSION SWALES TO CONTROL SEDIMENTATION AND STORMWATER RUNOFF DURING THE CONSTRUCTION PERIOD, THAT MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES (NHDES).
12. THE CONTRACTOR SHALL PROVIDE NECESSARY EROSION CONTROLS TO INSURE THAT SURFACE WATER RUNOFF FROM UNSTABILIZED AREAS DOES NOT CARRY SILT, SEDIMENT, AND OTHER DEBRIS OUTSIDE THE SITE WORK AREA.
13. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED AND COMPACTED TO A MINIMUM OF 90% OF THE DRY UNIT WEIGHT;
 - B. A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 3-IN OF NON EROSION MATERIAL, SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED;
 - E. THE AREA HAS BEEN PAVED WITH BITUMINOUS ASPHALT CONCRETE, PORTLAND CEMENT CONCRETE, OR SIMILAR COVERS.
15. AT NO TIME SHALL THE TOTAL DISTURBED AREA BE GREATER THAN FIVE (5) ACRES.
16. ALL DITCHES, SWALES, STORMWATER BASINS, OR OTHER DRAINAGE FEATURES SHALL BE FULLY STABILIZED PRIOR TO DIRECTING STORMWATER TO THEM.
17. ALL DRIVEWAYS, ROADWAYS, AND/OR PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
18. ALL CUT AND FILL SLOPES SHALL BE LOAMED AND SEEDED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
19. EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3-FT HORIZONTAL TO 1-FT VERTICAL (3:1). EROSION CONTROL BLANKETS SHALL BE NORTH AMERICAN GREEN SC150BN OR APPROVED EQUAL.
20. THE CONTRACTOR SHALL APPLY FOR AND RECEIVE AN NHDES GROUNDWATER DISCHARGE PERMIT, PRIOR TO CONDUCTING ANY DEWATERING EFFORTS AND/OR PUMPING OF GROUNDWATER.
21. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
22. ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 6" OF LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW. THE SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2.5 POUNDS PER 1,000 SQ. FT.

AND SHALL BE MIXED AS FOLLOWS:

TYPICAL LAWN SEED	SLOPE SEED
CREeping RED FESCUE 0.87 LBS.	CREeping RED FESCUE 1.01 LBS.
KENTUCKY BLUEGRASS 0.71 LBS.	RYE GRASS 0.75 LBS.
RYE GRASS 0.58 LBS.	RED TOP 0.18 LBS.
RED TOP 0.14 LBS.	ALSIKE CLOVER 0.18 LBS.
	BIRDSFOOT TREFOIL 0.18 LBS.

23. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHATE FERTILIZER (N-P205-K2O) OR EQUIVALENT (LOW PHOSPHORUS FERTILIZER IS DEFINED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT AS LESS THAN 2% PHOSPHORUS). APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET).
24. FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 FEET AND 250 FEET FROM A SURFACE WATER BODY AS SPECIFIED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT (SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT). NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE LIMITATIONS ARE REQUIREMENTS.
25. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
26. WHEN PROJECT ACTIVITIES ARE WITHIN 50 FEET OF A WATER BODY OR WETLAND, DOUBLE ROW OF EROSION CONTROL IS REQUIRED.
27. ALL AREAS OF UNSTABILIZED SOIL SHALL BE:
 - A. TEMPORARILY STABILIZED AS SOON AS PRACTICABLE BUT IN ALL CASES WITHIN 45 DAYS OF INITIAL DISTURBANCE, UNLESS A SHORTER TIME IS SPECIFIED BY LOCAL AUTHORITIES, THE CONSTRUCTION SEQUENCE APPROVED AS PART OF THE ISSUED PERMIT, OR AN INDEPENDENT MONITOR; AND
 - B. PERMANENTLY STABILIZED AS SOON AS PRACTICABLE BUT IN ALL CASES WITHIN 3 DAYS OF FINAL GRADING.
28. A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL OR A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE ("MONITOR") SHALL BE EMPLOYED TO INSPECT THE SITE FROM THE START OF ALTERATION OF TERRAIN ACTIVITIES UNTIL THE SITE IS IN FULL COMPLIANCE WITH THE ALTERATION OF TERRAIN PERMIT ("PERMIT").
 - DURING THIS PERIOD, THE MONITOR SHALL INSPECT THE SUBJECT SITE AT LEAST ONCE A WEEK, AND IF POSSIBLE, DURING ANY 1/2 INCH OR GREATER RAIN EVENT (I.E. 1/2 INCH OF PRECIPITATION OR MORE WITHIN A 24 HOUR PERIOD). IF UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF THIS EVENT.
 - THE MONITOR SHALL PROVIDE TECHNICAL ASSISTANCE AND RECOMMENDATIONS TO THE CONTRACTOR ON THE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROLS REQUIRED TO MEET THE REQUIREMENTS OF RSA 485-A:17 AND ALL APPLICABLE DES PERMIT CONDITIONS.
 - WITHIN 24 HOURS OF EACH INSPECTION, THE MONITOR SHALL SUBMIT A REPORT TO DES VIA EMAIL TO GLORIA ANDREWS AT: G.ANDREWS@DES.NH.GOV.
 - PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR'S NAME, ADDRESS, AND PHONE NUMBER SHALL BE SUBMITTED TO DES VIA EMAIL (SEE ABOVE).

EROSION CONTROL NOTES

SCALE: NONE **1** D-8

1. ALL EROSION CONTROL AND CONSTRUCTION SEQUENCE NOTES APPLY TO THE CONSTRUCTION AND RECLAMATION OF THE PROPOSED STUMP COMPOST AREAS
2. IF THE STUMP COMPOST AREA IS EXCAVATED FOR ROAD CONSTRUCTION MATERIAL, UPON COMPLETION, ALL DISTURBED AREAS SHALL BE GRADED, LOAMED AND SEEDED PER THE EROSION CONTROL NOTES.
3. THE AREA TO RECEIVE THE STUMPS SHALL BE EXCAVATED SUFFICIENTLY TO PROVIDE AN ADEQUATE QUANTITY OF MATERIAL TO COVER THE STUMPS.
4. THE STUMPS SHALL BE PLACED IN LAYERS AND COVERED WITH THE EXCAVATED MATERIAL TO FILL ALL VOIDS. EACH LAYER SHALL BE COMPACTED PRIOR TO THE PLACEMENT OF THE NEXT LAYER.
5. THE FINAL LAYER OF STUMPS SHALL BE COVERED, GRADED AND COMPACTED. LOAM AND SEED PER THE EROSION CONTROL NOTES.

STUMP DUMP RECLAMATION

SCALE: NONE **2** D-8

1. ALL POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE RIPRAP OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITION.
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

WINTER CONSTRUCTION

SCALE: NONE **3** D-8

1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF NHDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. MERIDIAN LAND SERVICES, INC., AS DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. THE OWNER AND/OR CONTRACTOR SHALL VERIFY ALL ZONING REQUIREMENTS FOR CONFORMANCE PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL CONTACT "DIGSAFE" (811) 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
5. COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
6. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND MERIDIAN LAND SERVICES, INC. PRIOR TO CONSTRUCTION.
7. ALL DRAINAGE STRUCTURES SHALL CONFORM TO NHDOT STANDARDS.
8. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENT PRIOR TO CONSTRUCTION TO ARRANGE FOR INSPECTIONS OF THE CONSTRUCTION.
9. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.

CONSTRUCTION NOTES

SCALE: NONE **4** D-8

1. TEMPORARY PROTECTION OF DISTURBED AREAS SHALL BE IMPLEMENTED WHERE A TEMPORARY STAND OF GRASS OR SMALL GRAINS WILL NORMALLY PRODUCE SUFFICIENT COVER TO RETARD EROSION AND REDUCE SEDIMENT.
2. USE OF TEMPORARY SEEDING SHALL BE IMPLEMENTED WHEN A DISTURBED AREA OR MATERIAL STOCKPILE WILL BE INACTIVE FOR A PROLONGED PERIOD OF TIME.
3. ALL ESSENTIAL GRADING SUCH AS DIVERSIONS, DAMS, DITCHES, AND DRAINS NEEDED TO PREVENT GULLYING AND REDUCE SILTATION SHALL BE COMPLETED PRIOR TO SEEDING.
4. PREPARE SEEDBED BY REMOVING ALL STONES, TRASH AND STUMPING DEBRIS THAT WILL INTERFERE WITH SEEDING AREA. WHERE FEASIBLE, TILL THE SOIL TO A DEPTH OF ABOUT 3 INCHES TO PREPARE SEEDBED AND MIX FERTILIZER INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATIONS SHOULD BE PERFORMED ACROSS THE SLOPE.
5. A MINIMUM OF 300 POUNDS PER ACRE (7 LBS. PER 1,000 SQ.FT.) OF 10-10-10 FERTILIZER, OR ITS EQUIVALENT, SHALL BE UNIFORMLY SPREAD OVER THE AREA PRIOR TO BEING INCORPORATED INTO THE SOIL.
6. THE SEED SHALL BE SPREAD UNIFORMLY OVER THE AREA. AFTER SEEDING, THE SOIL SHOULD BE FIRMED BY ROLLING OR PACKING. WHERE ROLLING OR PACKING IS NOT FEASIBLE, THE SEED SHALL BE COVERED LIGHTLY BY RAKING, DISKING, OR DRAGGING.
7. HAY OR STRAW MULCH MAY BE NECESSARY TO PROMOTE SEED GERMINATION IN DRY AND/OR INFERTILE CONDITIONS.
8. PLANT SELECTION AND APPLICATION RATES:

SPECIES	RATE 1 (LBS./AC.)	RATE 2 (LBS./1,000 S.F.)	REMARKS
WINTER RYE	112	2.5	FALL, 8/15 TO 9/15 PLANT 1.0 INCH DEEP
OATS	80	2.0	SPRING PRIOR TO 5/15 PLANT 1.0 INCH DEEP
ANNUAL RYEGRASS	40	1.0	QUICK, SHORT DURATION GOOD APPEARANCE EARLY SPRING & FALL PLANT 0.25 INCH DEEP
PERENNIAL RYEGRASS	30	0.7	LASTS LONGER THAN ANNUAL LATE SPRING & FALL MULCHING WILL ALLOW USE ALL SEASON PLANT 0.5 INCH DEEP

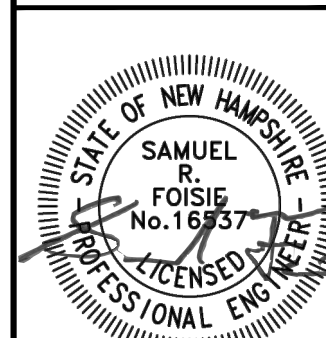
SEEDING FOR TEMPORARY PROTECTION OF DISTURBED AREAS

SCALE: NONE **5** D-8

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE(S).
2. CUT AND CLEAR TREES; DISPOSE OF DEBRIS.
3. INSTALL PERIMETER EROSION AND SEDIMENTATION CONTROLS IN LOCATIONS SHOWN ON PLANS. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
4. PULL STUMPS AND REMOVE FROM SITE OR MULCH TO USE ON-SITE FOR EROSION CONTROL. REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING. PLACE SILT FENCE AROUND THE DOWN SLOPE SIDE OF EARTH STOCKPILES.
5. CONSTRUCT PONDS, SWALES AND LEVEL SPREADERS DURING INITIAL PORTION OF CONSTRUCTION, PRIOR TO ROUGH GRADING THE SITE. STABILIZE IMMEDIATELY WITH LOAM AND SEED PER THE EROSION CONTROL NOTES. DO NOT DIRECT STORM WATER RUNOFF TO PONDS, SWALES OR LEVEL SPREADERS UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
6. ROUGH GRADE THE SITE INCLUDING ROADS AND DITCHES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE THE EROSION CONTROL NOTES.
7. EXCAVATE FOR AND CONSTRUCT THE FOUNDATION OF THE PROPOSED BUILDING(S). CONSTRUCT BUILDING(S).
8. INSTALL DRAINAGE PIPES AND STRUCTURES; PLACE SEDIMENT FILTERS IN CATCH BASINS UNTIL ALL NON-PAVED DISTURBED AREAS HAVE A HEALTHY VEGETATIVE COVER.
9. INSTALL UNDERGROUND UTILITIES: WATER, SEWER, TELEPHONE, ELECTRICAL.
10. INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER ANY RAINFALL OF 0.50" OR MORE.
11. AS REQUIRED, CONSTRUCT TEMPORARY BASINS, BERMS, CULVERTS, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
12. FINISH GRADING THE SITE. ALL CUT AND FILL SLOPES SHALL BE LOAMED AND SEEDED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
13. BASE PAVE ACCESS DRIVE AND PARKING AREAS. INSTALL CURBING AND FINISH PAVE DRIVE, PARKING, AND SIDEWALKS.
14. APPLY LOAM. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
15. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
16. LOT DISTURBANCE OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

CONSTRUCTION SEQUENCE

SCALE: NONE **6** D-8



NO.	DESCRIPTION	DATE	REV.	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z
	STAFF & THIRD PARTY REVIEW	3/4/25																											
	ALTERATION OF TERRAIN SUBMITTAL																												
	NGC SRF																												
	DR																												
	CK																												

T-BONES AT LOWELL ROAD
EROSION & SEDIMENTATION CONTROL NOTES
JANUARY 21, 2025

LOWELL ROAD, LLC
256 LOWELL ROAD
MAP 228 LOT 7
HUDSON, NEW HAMPSHIRE
SCALE: AS NOTED

D-8
SHEET
FILE: 12542V00B.dwg
PROJECT 12542.00
SHEET NO. 22 OF 23

Test Pit 1
 0-9" 10YR 3/3 Dark Brown
 Sandy Loam,
 Granular, Friable
 9-24" 10YR 4/6 Dark Yellowish Brown
 Loamy Fine Sand,
 Granular, Friable
 24-44" 2.5Y 5/6 Light Olive Brown
 Loamy Sand,
 Granular, Friable
 44-78" 2.5Y 5/3 Light Olive Brown
 Sand,
 Single-Grain, Loose

WATER: None S.H.W.: 55" ROOTS: 78"
 LEDGE: None HARDPAN: None
 EST. PERCOLATION RATE: MIN./IN.
 DATE: 01/10/25
 INSPECTED BY: DAH

Test Pit 3
 0-12" 10YR 3/3 Dark Brown
 Loam
 12-26" 10YR 5/4 Yellowish Brown
 Loamy Fine Sand,
 Granular, Friable
 26-48" 2.5Y 6/3 Light Yellowish Brown
 Gravelly Sand,
 Angular Blocky, Moderately Firm
 48-72" 2.5Y 5/4 Light Olive Brown
 Gravelly Medium to Fine Sand,
 Angular Blocky, Friable

WATER: None S.H.W.: 30" ROOTS: 36"
 LEDGE: None HARDPAN: None
 EST. PERCOLATION RATE: MIN./IN.
 DATE: 01/10/25
 INSPECTED BY: DAH

Test Pit 5
 0-12" 10YR 3/3 Dark Brown
 Loam
 12-40" 10YR 5/6 Yellowish Brown
 Loamy Fine Sand,
 Granular, Friable
 40-65" 2.5Y 6/3 Light Yellowish Brown
 Gravelly Sand,
 Angular Blocky, Moderately Firm

WATER: None S.H.W.: 35" ROOTS: 44"
 LEDGE: None HARDPAN: None
 EST. PERCOLATION RATE: MIN./IN.
 DATE: 01/10/25
 INSPECTED BY: DAH

Test Pit 7
 0-4" 10YR 3/3 Dark Brown
 Loam
 4-10" 10YR 4/3 Brown
 Stony Gravelly Loamy Sand,
 Granular, Very Friable
 10-32" 2.5Y 5/3 Light Olive Brown
 Loamy Sand,
 Granular, Friable
 32-70" 2.5Y 6/3 Light Yellowish Brown
 Gravelly Sand,
 Angular Blocky, Friable

WATER: None S.H.W.: 36" ROOTS: 33"
 LEDGE: None HARDPAN: None
 EST. PERCOLATION RATE: MIN./IN.
 DATE: 01/10/25
 INSPECTED BY: DAH

Test Pit 9
 0-8" 10YR 3/3 Dark Brown
 Loam
 8-30" 10YR 5/6 Yellowish Brown
 Loamy Fine Sand,
 Granular, Very Friable
 30-46" 10YR 5/6 Yellowish Brown
 Cobbly Gravelly Sand,
 Angular Blocky, Friable
 46-57" 2.5Y 6/3 Light Yellowish Brown
 Gravelly Sand,
 Angular Blocky, Friable

WATER: None S.H.W.: 37" ROOTS: 37"
 LEDGE: None HARDPAN: None
 EST. PERCOLATION RATE: MIN./IN.
 DATE: 01/10/25
 INSPECTED BY: DAH

Test Pit 2
 0-9" 10YR 3/2 Very Dark Brown
 Loam,
 Granular, Friable
 9-23" 2.5Y 4/3 Olive Brown
 Loamy Fine Sand,
 Granular, Very Friable
 23-43" 2.5Y 5/4 Light Olive Brown
 Fine Sand,
 Granular, Friable
 43-63" 10YR 4/6 Dark Yellowish Brown
 Sand,
 Single Grain Loose

WATER: None S.H.W.: 29" ROOTS: 46"
 LEDGE: None HARDPAN: None
 EST. PERCOLATION RATE: MIN./IN.
 DATE: 01/10/25
 INSPECTED BY: DAH

Test Pit 4
 0-12" 10YR 3/3 Dark Brown
 Loam
 12-36" 10YR 5/6 Yellowish Brown
 Loamy Fine Sand,
 Granular, Friable
 36-70" 2.5Y 6/3 Light Yellowish Brown
 Gravelly Sand,
 Angular Blocky, Moderately Firm

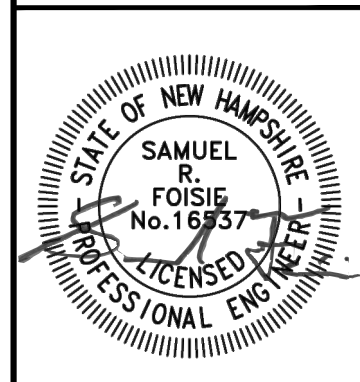
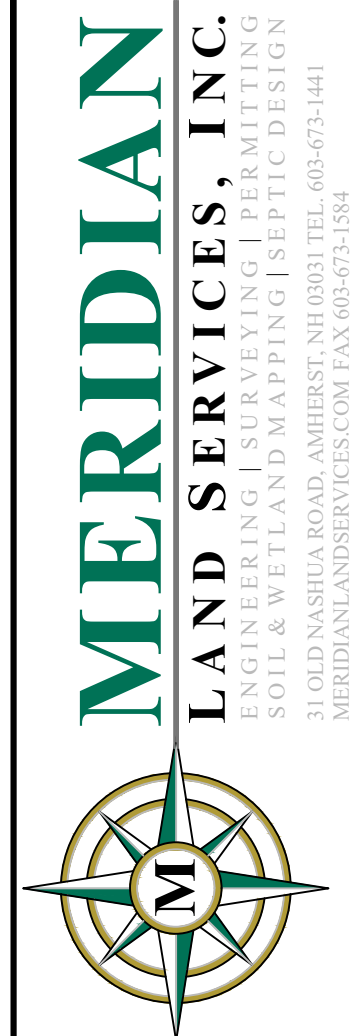
WATER: None S.H.W.: 34" ROOTS: 58"
 LEDGE: None HARDPAN: None
 EST. PERCOLATION RATE: MIN./IN.
 DATE: 01/10/25
 INSPECTED BY: DAH

Test Pit 6
 0-11" 10YR 3/3 Dark Brown
 Loam
 11-32" 10YR 5/6 Yellowish Brown
 Loamy Fine Sand,
 Granular, Friable
 32-43" 2.5Y 5/3 Light Olive Brown
 Loamy Sand,
 Granular, Friable
 43-64" 2.5Y 6/3 Light Yellowish Brown
 Gravelly Sand,
 Angular Blocky, Friable

WATER: None S.H.W.: 43" ROOTS: 39"
 LEDGE: None HARDPAN: None
 EST. PERCOLATION RATE: MIN./IN.
 DATE: 01/10/25
 INSPECTED BY: DAH

Test Pit 8
 0-8" 10YR 3/3 Dark Brown
 Loam
 8-15" 10YR 5/6 Yellowish Brown
 Loamy Fine Sand,
 Granular, Very Friable
 15-40" 2.5Y 5/3 Light Olive Brown
 Medium to Fine Sand,
 Angular Blocky, Friable
 40-68" 2.5Y 6/3 Light Yellowish Brown
 Stony Sand,
 Angular Blocky, Moderately Firm

WATER: None S.H.W.: 28" ROOTS: 26"
 LEDGE: None HARDPAN: None
 EST. PERCOLATION RATE: MIN./IN.
 DATE: 01/10/25
 INSPECTED BY: DAH

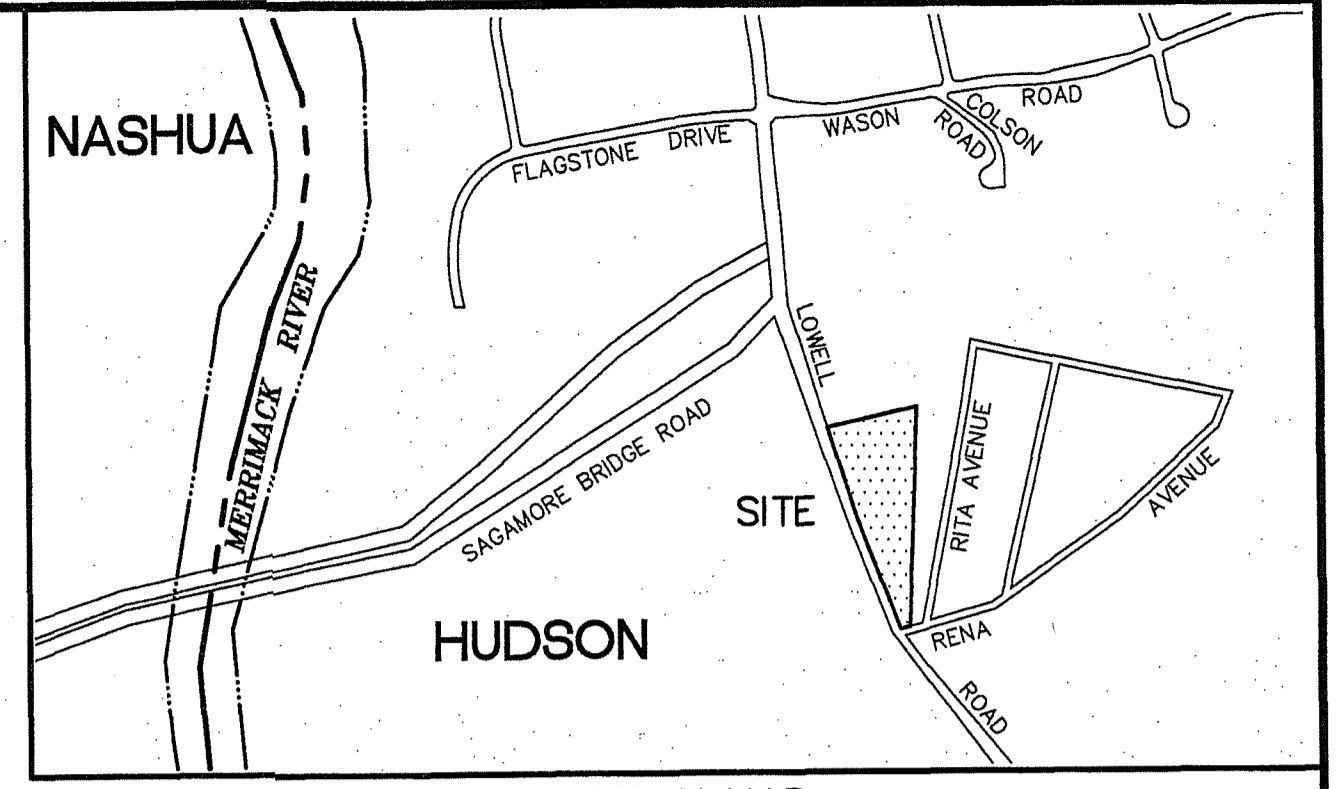
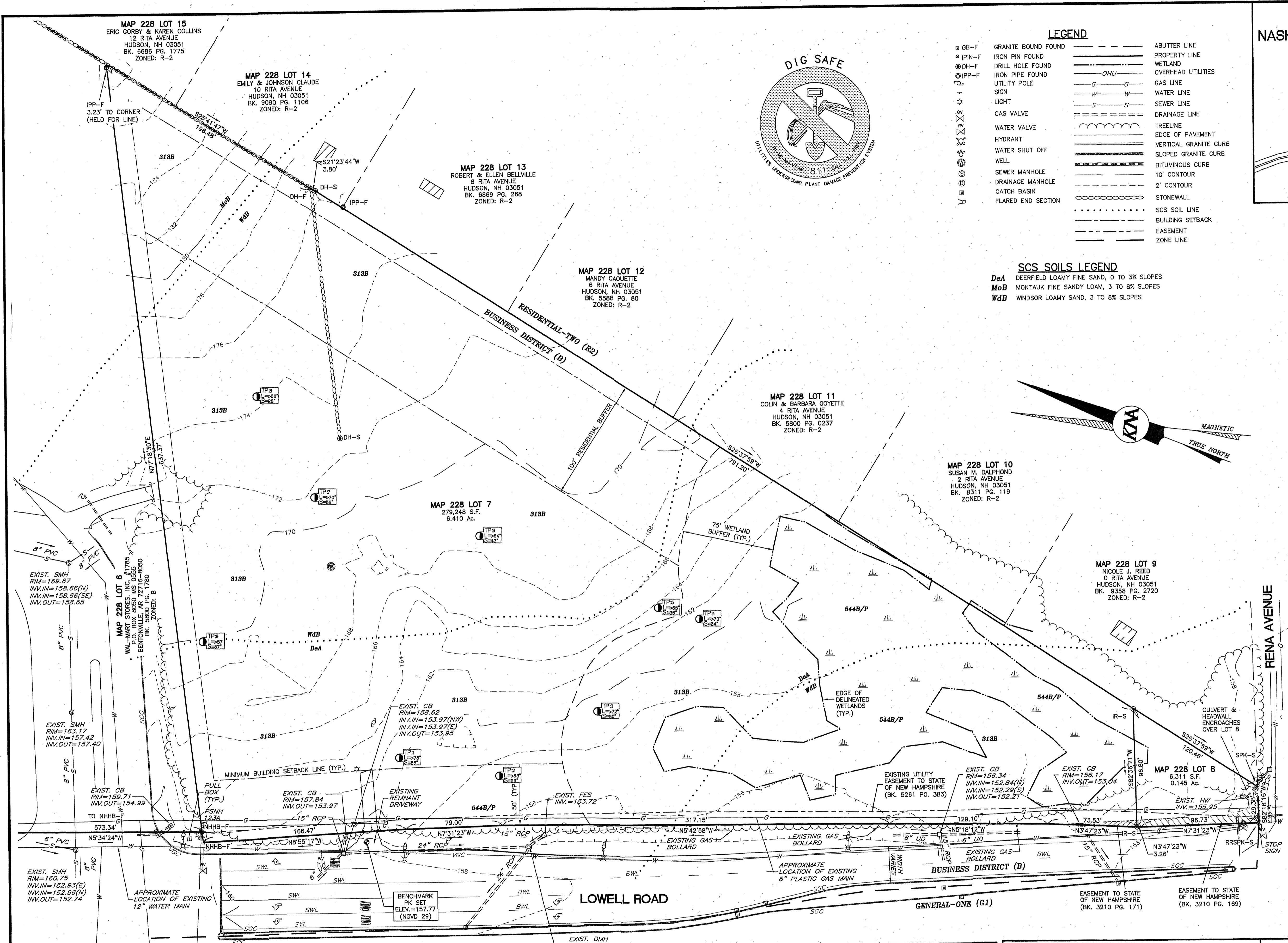


REV.	DATE	DESCRIPTION
A	3/4/25	STAFF & THIRD PARTY REVIEW ALTERATION OF TERRAIN SUBMITTAL
B		
C		
D		
E		
F		
G		
H		

T-BONES AT LOWELL ROAD
 TEST PIT DATA
 JANUARY 21, 2025

LOWELL ROAD, LLC
 256 LOWELL ROAD
 MAP 228 LOT 7
 HUDSON, NEW HAMPSHIRE
 SCALE: AS NOTED

D-9
 SHEET
 FILE: 12542V00B.dwg
 PROJECT 12542.00
 SHEET NO. 23 OF 23



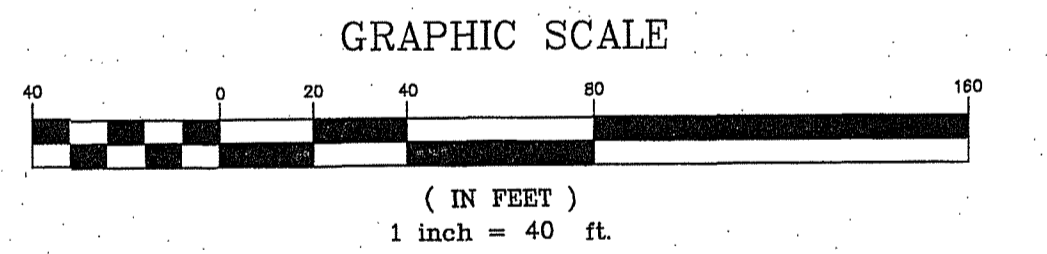
VICINITY MAP
SCALE: 1" = 1,000'

- LEGEND**
- CB-F GRANITE BOUND FOUND
 - IPIN-F IRON PIN FOUND
 - DH-F DRILL HOLE FOUND
 - IPPP-F IRON PIPE FOUND
 - UTILITY POLE
 - SIGN
 - LIGHT
 - GAS VALVE
 - WATER VALVE
 - HYDRANT
 - WATER SHUT OFF
 - WELL
 - SEWER MANHOLE
 - DRAINAGE MANHOLE
 - CATCH BASIN
 - FLARED END SECTION
 - ABUTTER LINE
 - PROPERTY LINE
 - WETLAND
 - OVERHEAD UTILITIES
 - GAS LINE
 - WATER LINE
 - SEWER LINE
 - DRAINAGE LINE
 - TREELINE
 - EDGE OF PAVEMENT
 - VERTICAL GRANITE CURB
 - SLOPED GRANITE CURB
 - BITUMINOUS CURB
 - 10' CONTOUR
 - 2' CONTOUR
 - STONEWALL
 - SCS SOIL LINE
 - BUILDING SETBACK
 - EASEMENT
 - ZONE LINE

- SCS SOILS LEGEND**
- DeA DEERFIELD LOAMY FINE SAND, 0 TO 3% SLOPES
 - MoB MONTAUK FINE SANDY LOAM, 3 TO 8% SLOPES
 - WdB WINDSOR LOAMY SAND, 3 TO 8% SLOPES

- REFERENCE PLANS:**
- R.G.W. TAKING PLAN-ROBERT C. SMITH TO STATE OF NEW HAMPSHIRE, LOWELL ROAD, HUDSON, NEW HAMPSHIRE. H.C.R.D. BOOK 5261 PAGES 383 THROUGH 388.
 - RIDGECREST, SECTION ONE, LAND OF PAUL E. & EVA F. CARON, HUDSON, NEW HAMPSHIRE, DATED: 9-20-91. PREPARED BY HOLDEN ENGINEERING & SURVEYING, H.C.R.D. PLAN #25816.
 - PLAN OF LAND OF TAMPOSI, NASH, CLEGG & LECLAIR, LOWELL ROAD, HUDSON, NEW HAMPSHIRE, DATED: 9-20-91. PREPARED BY HOLDEN ENGINEERING & SURVEYING, H.C.R.D. PLAN #25816.

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS PRESENT ON HUDSON TAX MAP 228 LOTS 7 AND 8.
 - LOT AREA:
MAP 228 LOT 7 = 279,248 S.F., OR 6.410 ACRES
MAP 228 LOT 8 = 6,311 S.F., OR 0.145 ACRES
TOTAL LOT AREA = 285,559 S.F., OR 6.555 ACRES
 - THE SUBJECT PARCEL IS LOCATED WITHIN THE BUSINESS ZONING DISTRICT (B). DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS FOR LOTS SERVICED WITH MUNICIPAL SEWER AND WATER:
- MINIMUM LOT AREA: 30,000 SF
- MINIMUM LOT FRONTAGE: 150 FT
- MINIMUM BUILDING SETBACKS:
 - FRONT: 50
 - SIDE: 15
 - REAR: 15
 - TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE IN 2017 AND UPDATED IN AUGUST OF 2024.
 - NORTH ORIENTATION IS MAGNETIC OBSERVED 4-2017. HORIZONTAL DATUM IS ASSUMED.
 - BENCHMARKS SET AS NOTED, BASED ON NGVD 29 THROUGH GPS OBSERVATIONS PROCESSED THROUGH NOAA-OPUS
 - WETLAND MAPPING WAS PERFORMED BY SPENCER TATE OF MERIDIAN LAND SERVICES, INC. ON JULY 25, 2024. TEST PITS WERE PERFORMED ON JANUARY 10, 2025 BY SPENCER TATE OF MERIDIAN LAND SERVICES, INC.
 - SITE IS SERVICED BY MUNICIPAL WATER AND SEWER.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN. UTILITIES SHOWN HEREON ARE ONLY THOSE FOUND WITHIN THE AREA OF KNA FIELD SURVEY AND ARE SOLELY BASED UPON VISIBLE SURFACE EVIDENCE. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 811.
 - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF HUDSON MAP NUMBER 3300920656D, PANEL 656 OF 701, EFFECTIVE DATE: SEPTEMBER 25, 2009 INDICATES THAT NO PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
 - EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS, AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.



EXISTING CONDITIONS PLAN
LOWELL ROAD
MAP 228 LOTS 7 & 8
256 & 266 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD:
256 LOWELL ROAD, LLC
9 OLD DERRY ROAD
HUDSON, NH 03051
H.C.R.D. BK. 9645 PG. 2437

APPLICANT:
LOWELL ROAD, LLC
124 BEDFORD CENTER ROAD SE
BEDFORD, NH 03110

KNA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE DATE: _____

SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

EXIST. DMH
RIM=158.16
INV.IN=153.45(N)
INV.IN=154.41(SE)
INV.OUT=153.21

STATE OF NEW HAMPSHIRE
SPENCER C. TATE
No. 293
CERTIFIED WETLAND SCIENTIST

SPENCER TATE, CERTIFIED WETLAND SCIENTIST #293, OF MERIDIAN LAND SERVICES, INC. PERFORMED THE WETLAND MAPPING ON JULY 25, 2024 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.

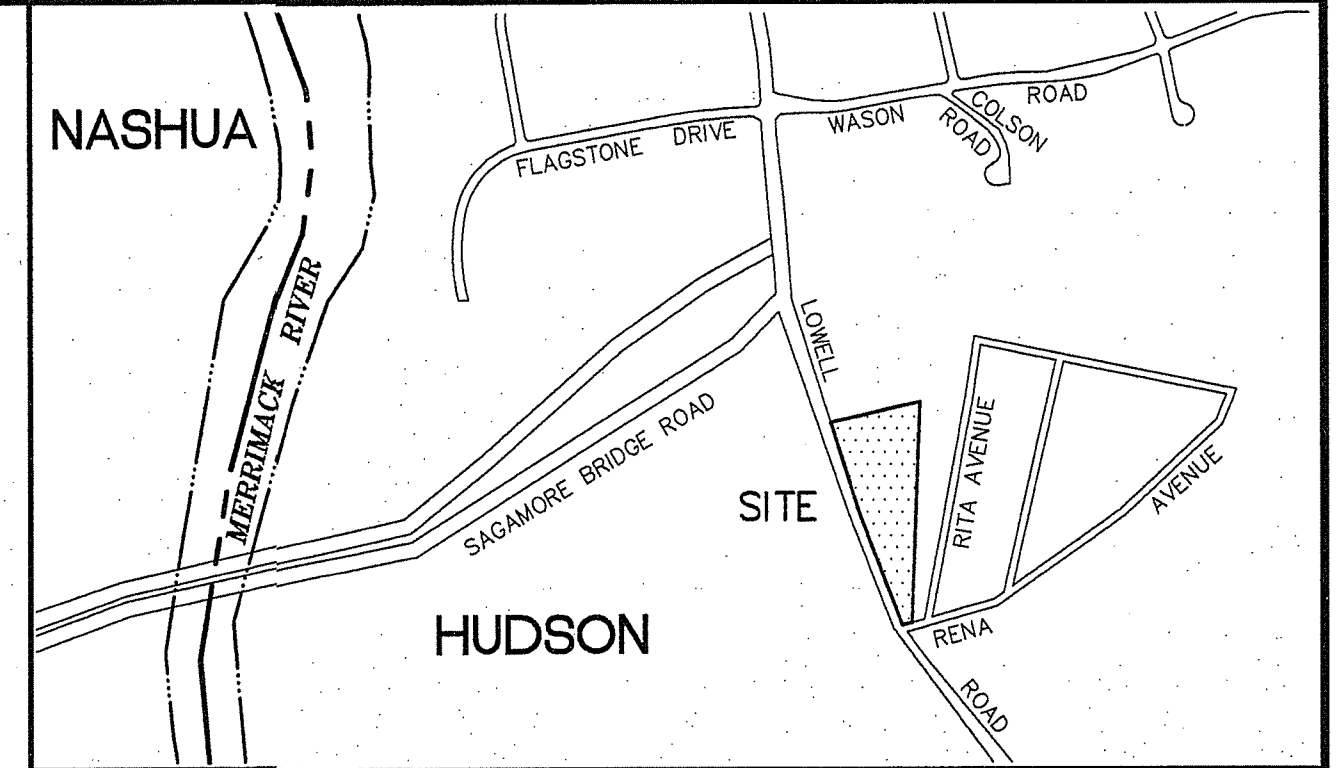
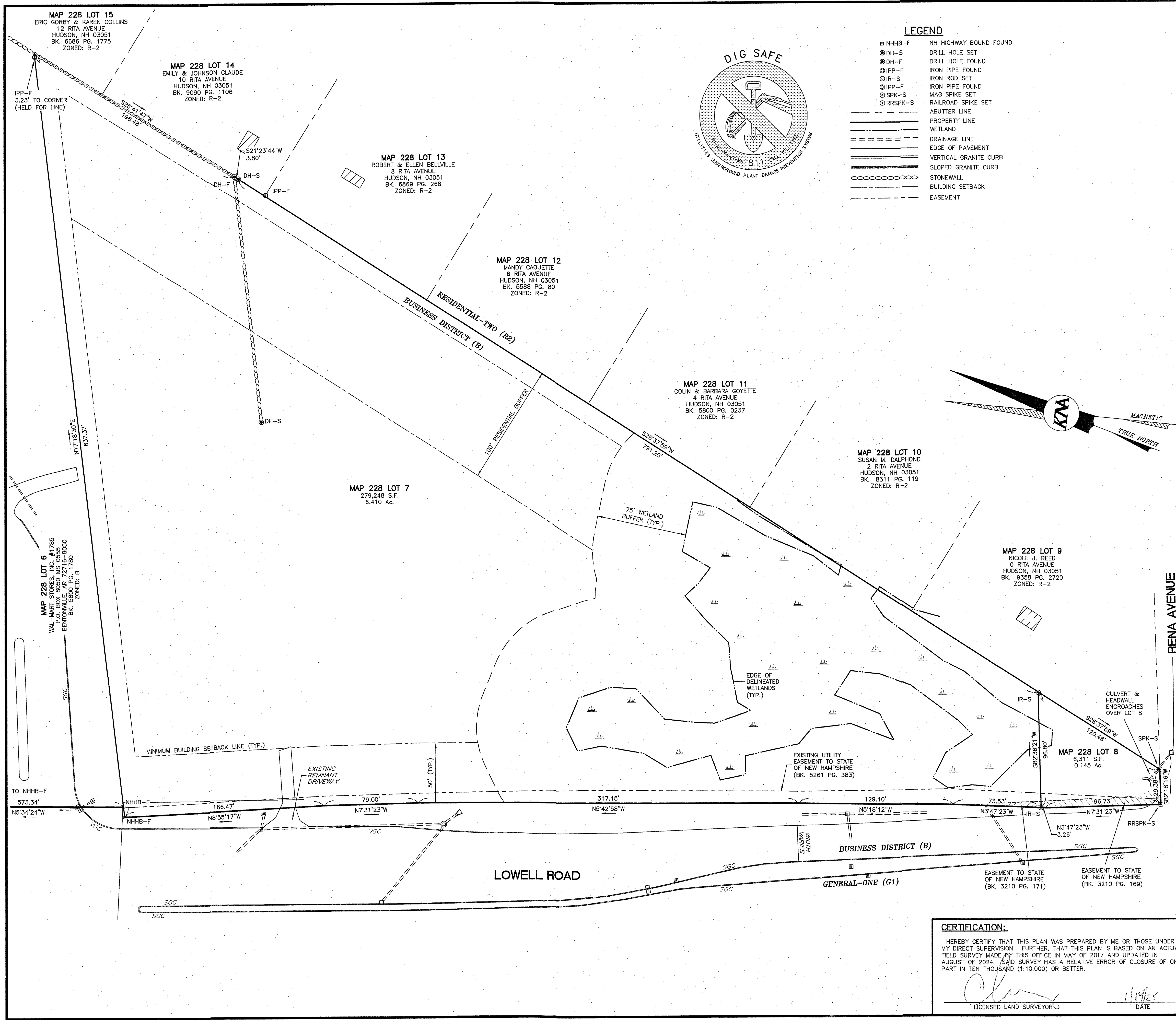
CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE IN MAY OF 2017 AND UPDATED IN AUGUST OF 2024. SAID SURVEY HAS A RELATIVE ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) OR BETTER.

LICENSED LAND SURVEYOR

11/4/25
DATE

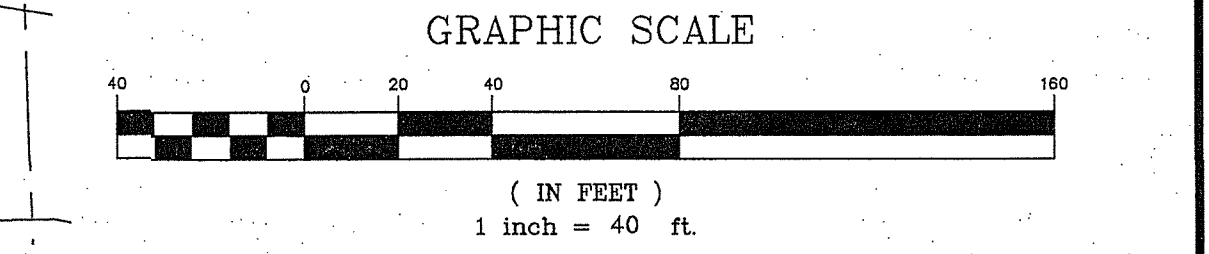
REVISIONS			
No.	DATE	DESCRIPTION	BY
1	1/14/25	MERIDIAN LAND SERVICES COMMENTS	CJH

DATE: AUGUST 23, 2024
PROJECT NO: 17-0417-4A
SCALE: 1" = 40'
SHEET 1 OF 1



- REFERENCE PLANS:**
- R.O.W. TAKING PLAN-ROBERT C. SMITH TO STATE OF NEW HAMPSHIRE, LOWELL ROAD, HUDSON, NEW HAMPSHIRE. H.C.R.D. BOOK 5261 PAGES 383 THROUGH 388.
 - RIDGECREST, SECTION ONE, LAND OF PAUL E. & EVA F. CARON, HUDSON, NEW HAMPSHIRE, SCALE: 1"=60'. DATED: MARCH 1960. H.C.R.D. PLAN #1927.
 - PLAN OF LAND OF TAMPOSI, NASH, CLEGG & LECLAIR, LOWELL ROAD, HUDSON, NEW HAMPSHIRE, DATED: 9-20-91. PREPARED BY HOLDEN ENGINEERING & SURVEYING. H.C.R.D. PLAN #25816.

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE BOUNDARIES FOR HUDSON TAX MAP 228 LOTS 7 AND 8.
 - LOT AREA:
MAP 228 LOT 7 = 279,248 S.F., OR 6.410 ACRES
MAP 228 LOT 8 = 6,311 S.F., OR 0.145 ACRES
TOTAL LOT AREA = 285,559 S.F., OR 6.555 ACRES
 - THE SUBJECT PARCEL IS LOCATED WITHIN THE BUSINESS ZONING DISTRICT (B). DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS FOR LOTS SERVICED WITH MUNICIPAL SEWER AND WATER:
- MINIMUM LOT AREA 30,000 SF
- MINIMUM LOT FRONTAGE 150 FT
- MINIMUM BUILDING SETBACKS:
 - FRONT 50
 - SIDE 15
 - REAR 15
 - BOUNDARY INFORMATION SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE IN 2017 AND UPDATED IN AUGUST OF 2024.
 - NORTH ORIENTATION IS MAGNETIC OBSERVED 4-2017. HORIZONTAL DATUM IS ASSUMED.
 - BENCHMARKS SET AS NOTED, BASED ON NGVD 29 THROUGH GPS OBSERVATIONS PROCESSED THROUGH NOAA-OPUS
 - WETLAND MAPPING WAS PERFORMED BY SPENCER TATE OF MERIDIAN LAND SERVICES, INC. ON JULY 25, 2024.
 - SITE IS SERVICED BY MUNICIPAL WATER AND SEWER.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN. UTILITIES SHOWN HEREON ARE ONLY THOSE FOUND WITHIN THE AREA OF KNA FIELD SURVEY AND ARE SOLELY BASED UPON VISIBLE SURFACE EVIDENCE. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 811.
 - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF HUDSON MAP NUMBER 3309208560, PANEL 656 OF 701, EFFECTIVE DATE: SEPTEMBER 25, 2009 INDICATES THAT NO PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
 - EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS, AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.



BOUNDARY PLAN OF LAND
LOWELL ROAD
MAP 228 LOTS 7 & 8
256 & 266 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD: 256 LOWELL ROAD, LLC 9 OLD DERRY ROAD HUDSON, NH 03051 H.C.R.D. BK. 9645 PG. 2437	APPLICANT: LOWELL ROAD, LLC 124 BEDFORD CENTER ROAD SB BEDFORD, NH 03110
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KNA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE IN MAY OF 2017 AND UPDATED IN AUGUST OF 2024. SAID SURVEY HAS A RELATIVE ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) OR BETTER.

[Signature]
LICENSED LAND SURVEYOR

[Signature]
DATE

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	1/14/25	MERIDIAN LAND SERVICES COMMENTS	CJH

DATE: AUGUST 23, 2024 SCALE: 1" = 40'
PROJECT NO: 17-0417-4A SHEET 1 OF 1