

SITE DEVELOPMENT PLANS

FOR



PROPOSED

RESTAURANT DEPOT

LOCATION OF SITE

273 LOWELL ROAD, TOWN OF HUDSON
HILLSBOROUGH COUNTY, NEW HAMPSHIRE
MAP 234, BLOCK 34, LOT 0

Parcel	Address	Owner
234-036-000	274 LOWELL RD	MACTHOMPSON REALTY, INC.
228-054-000	272 LOWELL RD	NEWLIFECHRISTIAN CHURCH
228-052-000	268 LOWELL RD	DEXTER, KAREN
234-034-000	273 LOWELL RD	FRIEL, THOMAS P., TR
234-033-000	277 LOWELL RD	277 LOWELL RD LLC
234-032-000	279 LOWELL RD	KOMMA HOLDING LLC
234-017-000	9 LINDA ST	LIAKOS ARTHUR
234-014-000	18 LINDA ST	WONG, DON R.
234-013-000	16 LINDA ST	CARROLL, ROY
234-012-000	12 LINDA ST	TEMPESTA, MARK
234-011-000	10 LINDA ST	STEVENS SEAN P.
234-031-000	281 LOWELL RD	ROBINSON, MICHELLE J.
234-037-000	280 LOWELL RD	MACTHOMPSON REALTY INC.

ABUTTERS

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	03/24/2026	TOWN & PEER REVIEW COMMENTS	MJW KWC

811
Know what's below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

PERMIT SET

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: NHA250020.01-1A
DRAWN BY: MJW
CHECKED BY: KWC
DATE: 01/23/2026
CAD I.D.: P-CIVIL-CNDS

PROJECT: **SITE DEVELOPMENT PLANS**

FOR **Where Restaurants Shop RESTAURANT DEPOT**

PROPOSED RESTAURANT DEPOT

273 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
PARCEL ID: 234-034-000

BOHLER

3 EXECUTIVE PARK DRIVE FLOOR 2
BEDFORD, NH 03110
Phone: (603) 441-2900
www.BohlerEngineering.com

Professional Engineer Seal for Keith Curran, State of New Hampshire, License No. 15476, Exp. 12/31/27.

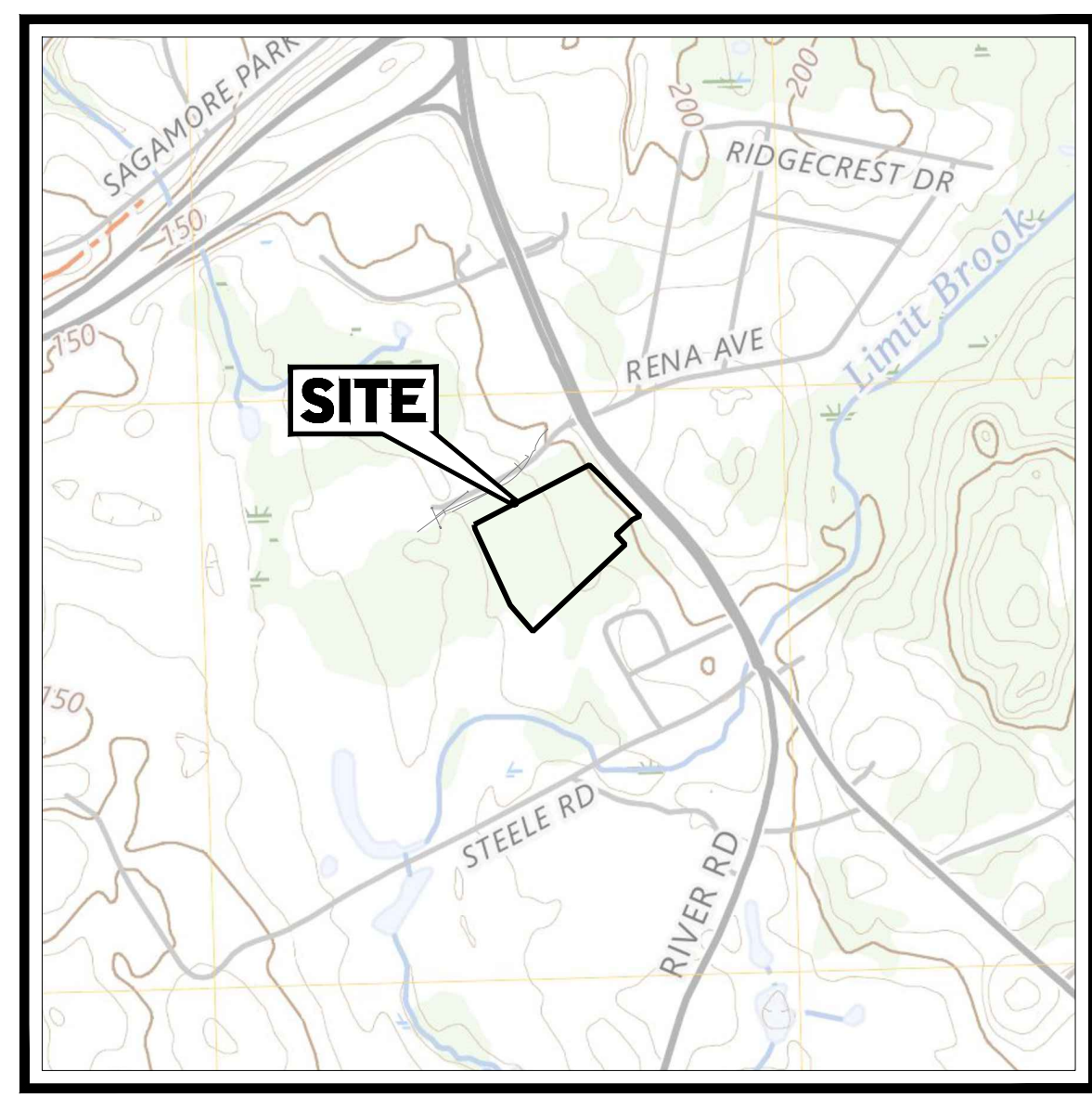
SHEET TITLE: **COVER SHEET**

SHEET NUMBER: **C-101**

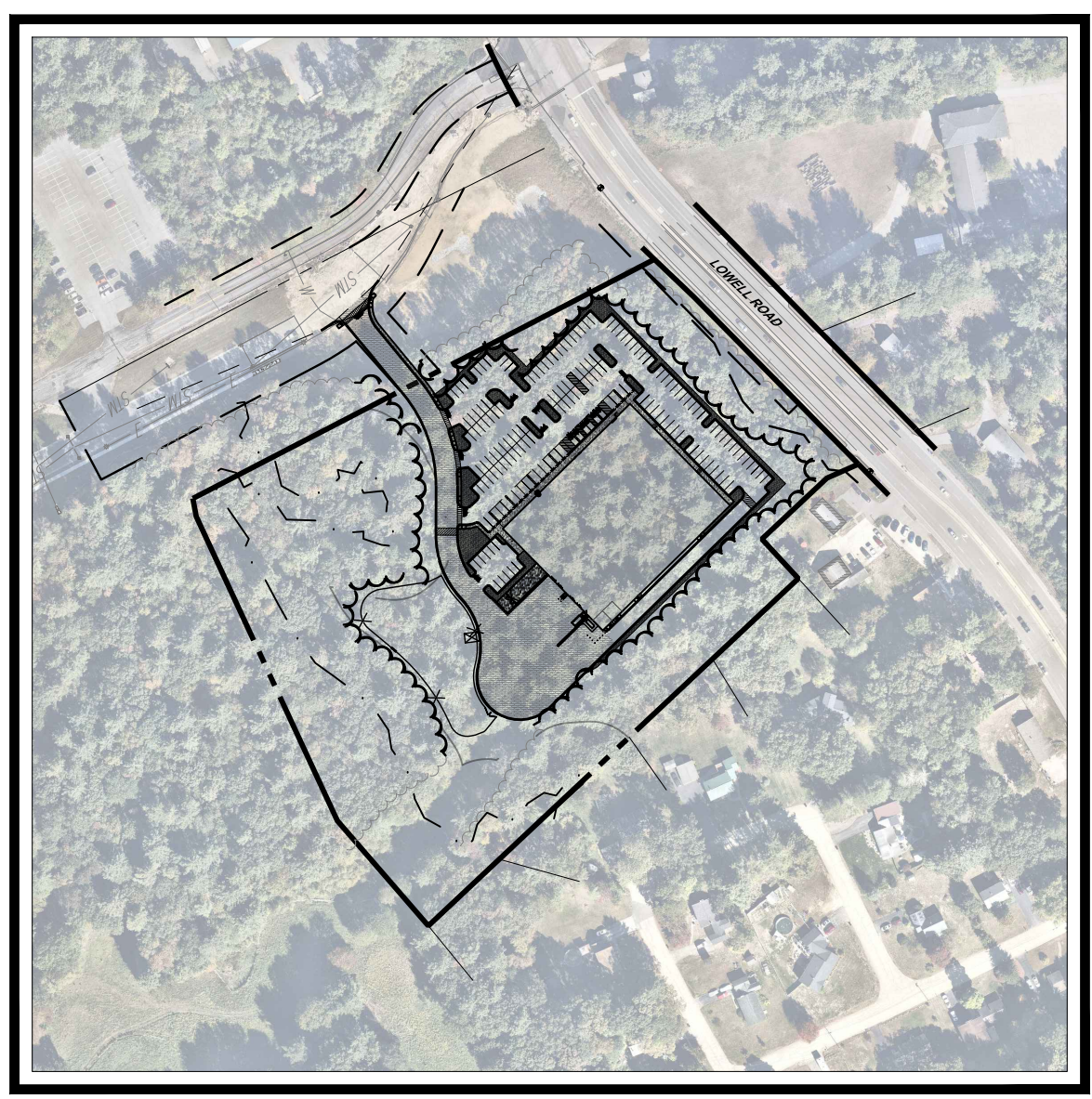
REVISION 1 - 03/24/2026

REFERENCES AND CONTACTS

- REFERENCES**
- EXISTING CONDITIONS PLAN: KEACH-NORDSTROM ASSOCIATES, INC. 10 COMMERCE PARK NORTH, SUITE 38, BEDFORD, NH 03110. PHONE: (603) 627-2881. DATED: 10/09/2025. JOB # 25-0695-2. ELEVATIONS: NAVD 1988.
 - GEOTECHNICAL INVESTIGATION REPORT: WHITESTONE ASSOCIATES, INC. 352 TURNPIKE ROAD, SUITE 105 SOUTHBOROUGH, MA 01772. DATED: 11/21/2025.
 - SUPPLEMENTAL GEOTECHNICAL INVESTIGATION REPORT: WHITESTONE ASSOCIATES, INC. 352 TURNPIKE ROAD, SUITE 105 SOUTHBOROUGH, MA 01772. DATED: 12/23/2025.
 - ARCHITECTURAL PLAN: ADA ARCHITECTS, INC. 17710 DETROIT AVENUE, CLEVELAND, OHIO 44107. DATED: 01/23/2026.
 - SEPTIC SYSTEM DESIGN: WM EVANS ENGINEERING, LLC. 194 WOODHILL HOOKSETT ROAD BOW, NH 03304. DATED: 12/4/2025.
 - HUDSON LOGISTICS CENTER: LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC. 100 CAMBRIDGE STREET, SUITE 1310 BOSTON, MA 02114. DATED: 09/09/2022.
- GOVERNING AGENCIES**
- PLANNING, ZONING COMMITTEE: 12 SCHOOL STREET HUDSON, NH 03051. PHONE: (603) 886-6008. FAX: (603) 594-1142.
 - BUILDING DEPARTMENT: 12 SCHOOL STREET HUDSON, NH 03051. PHONE: (603) 886-6008. FAX: (603) 594-1142.
 - FIRE DEPARTMENT: 39 FERRY STREET HUDSON, NH 03051. PHONE: (603) 886-6021.



LOCUSIUSGS MAP
SCALE: 1" = 1,000'
SOURCE: USGS



LOCATION MAP
SCALE: 1" = 250'
SOURCE: NEARMAP AERIAL IMAGERY

OWNER(S)
IQ EQ TRUSTEE, THOMAS FRIEL ADMIN TRUST
CU THOMAS FRIEL 2021 REV TRUST
3 EXECUTIVE PARK DRIVE, SUITE 302
BEDFORD, NH 03110
AND
PHILIP J FRIEL III
94 CHRISTIAN HILL RD
AMHERST NH 03031

DEVELOPER
RESTAURANT DEPOT
17-10 WHITESTONE EXPRESSWAY
WHITESTONE, NY 11357
LARRY COHEN
OFFICE: 718-559-4290

PREPARED BY



CONTACT: KEITH CURRAN, P.E.

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UTILITY PROVIDERS

- TELEPHONE:** FIDILUM FIBER - CONSOLIDATED COMMUNICATIONS 121 S. 17TH STREET MATTOON, IL 61938. PHONE: 1-844-434-3486.
- ELECTRIC:** EVERSOURCE ENERGY 780 N. COMMERCIAL STREET PO BOX 330 MANCHESTER, NH 03101. PHONE: (800) 286-5000.
- GAS:** LIBERTY UTILITIES - NEW HAMPSHIRE 75 REMITTANCE DR SUITE 1032 CHICAGO, IL 60675-1032. PHONE: 1-800-375-7413.
- WATER:** HUDSON WATER DEPARTMENT LOWER LEVEL OF TOWN HALL 12 SCHOOL STREET HUDSON, NH 03051. PHONE: (603) 886-6002.

APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN	SIGNATURE DATE
PLANNING BOARD SECRETARY	SIGNATURE DATE

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

GENERAL NOTE
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

MAY 23, 2026 1:50:48 PM C:\WORK\PROJECTS\2025\NHA250020\01\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\SP-CIVIL-CNDS-NHA250020.01-1A-1-1-LAYOUT.C-101.COV

GENERAL NOTES

(Rev. 1/2023)

- 1. THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER, LLC (HEREIN "BOHLER") PRIOR TO THE DATE ON WHICH THE PROFESSIONAL OF RECORD AND BOHLER PREPARED THESE PLANS. THE CONTRACTOR MUST FIELD AND VERIFY ALL INFORMATION CREATED, DEVELOPED, OBTAINED, OR RECEIVED FROM THESE PLANS. IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES... 2. THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS REFERENCED HEREIN... 3. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES... 4. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 5. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 6. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 7. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 8. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 9. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 10. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 11. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 12. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 13. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 14. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 15. 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THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 21. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 22. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 23. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 24. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 25. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 26. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 27. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 28. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 29. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 30. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 31. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REGULATIONS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD)... 32. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE PROFESSIONAL OF RECORD AND BOHLER, THE USE OF THE CONTRACTOR'S BEST PROFESSIONAL JUDGMENT (CONSTITUTES) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE PROFESSIONAL OF RECORD'S AND BOHLER KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PRACTICE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR TYPE, EITHER EXPRESSED OR IMPLIED, UNDER ANY CIRCUMSTANCES.

DEMOLITION NOTES

(Rev. 1/2023)

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES... 2. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 3. WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY, THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFETY PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION 'MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES' (MUTCD) AND THE FEDERAL STATE, AND LOCAL REGULATIONS... 4. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 5. 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THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 10. PRIOR TO COMMENCING ANY DEMOLITION, THE CONTRACTOR MUST: A. OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE PROFESSIONAL OF RECORD AND ALL PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT... B. NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION, AT LEAST 72 BUSINESS HOURS PRIOR TO THE COMMENCEMENT OF WORK... C. INSTALL ALL REQUIRED SAFETY AND TRAFFIC CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN SAID CONTROLS UNTIL SITE IS STABILIZED... D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT... E. LOCATE AND PROTECT ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES... F. PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY DEMOLITION ACTIVITY... G. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME... H. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING 'OFF-PEAK' HOURS OR TO MOST PROMPTLY DOCUMENT AND MANAGE THE IMPACT OF WORK TO THE AFFECTED PARTIES... I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER... 11. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS STRICTLY IN ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER... 12. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT SPECIFIC WRITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNING AGENCIES WITH JURISDICTION... 13. THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES... 14. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE, NECESSARY AND REQUIRED GOVERNMENTAL AUTHORITIES... 15. IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS, THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR... 16. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION... 17. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES... 18. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES... 19. 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SOIL EROSION & SEDIMENT CONTROL PLAN NOTES

(Rev. 12/2024)

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN AND CONTRACTOR MUST REFER TO THEM... 2. INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS... 3. CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF ENGINEER OR JURISDICTIONAL AGENCY SO REQUIRES... 4. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT STABILIZATION IS ESTABLISHED UNLESS INDICATED OTHERWISE IN LOCAL, STATE AND/OR FEDERAL PROJECT APPROVALS...

APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING:
PLANNING BOARD CHAIRMAN SIGNATURE DATE
PLANNING BOARD SECRETARY SIGNATURE DATE
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL.
APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

SITE LAYOUT NOTES

(Rev. 1/2020)

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES... 2. PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REGULATIONS... 3. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 4. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 5. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES...

GRADING NOTES

(Rev. 1/2023)

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES... 2. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET... 3. THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES... 4. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION... 5. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT... 6. IN THE EVENT A DISCREPANCY(IES) AND/OR A CONFLICT(S) BETWEEN PLANS, OR RELATIVE TO OTHER PLANS, THE GRADING PLAN TAKES PRECEDENCE OVER THE OTHERS... 7. THE CONTRACTOR IS RESPONSIBLE TO IMPROVE FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE PROPOSED GRADING, AND ALL DIRECTIONAL TRAFFIC-SIGNALING AND STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS, GUIDELINES, RULES, REGULATIONS, STANDARDS AND THE LIKE...

ACCESSIBILITY DESIGN GUIDELINES

(Rev. 1/2023)

- 1. ALL ACCESSIBLE (A.K.A ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF: (A) THE REQUIREMENTS OF THE 'AMERICANS WITH DISABILITIES ACT' (ADA) CODE 42 U.S.C § 12101 ET SEQ. AND 42 U.S.C § 4151 ET SEQ.; AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED... 2. THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND CONSISTENCY WITH INDUSTRY GUIDELINES... 3. THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE... A. ACCESSIBLE PARKING SPACES AND ACCESSIBLE SPACES MUST NOT EXCEED 1.50 (2.0%) IN ANY DIRECTION... B. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING AGENCY... C. ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISES OF 30-INCHES... D. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) WHERE FLARED SIDES ARE PROVIDED... E. DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL... F. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES... 4. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS...

DRAINAGE AND UTILITY NOTES

(Rev. 3/2023)

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES... 2. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE, AND THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM THOSE LOCATIONS AND SERVICES WITH LOCAL UTILITY COMPANIES... 3. THE CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE... 4. THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFERENCE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH PRIOR TO COMMENCEMENT OF CONSTRUCTION... 5. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 6. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING SITE PLAN DOCUMENTS AND ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS... 7. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 8. DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES... 9. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 10. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 11. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 12. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 13. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES... 14. 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OUTSIDE SOURCE NOTES

(Rev. 11/2023)

ANY INFORMATION, DRAWINGS, DATA, PLANS, SPECIFICATIONS, MATERIALS, FIGURES, DOCUMENTATION, REPORTS, AND THE LIKE WHICH IS INDICATED TO HAVE BEEN PREPARED BY OTHERS (HEREIN, "BY OTHERS REPORTS, DOCUMENTS AND DETAILS") HAS BEEN REVIEWED AND APPROVED BY THE PROFESSIONAL OF RECORD AND BOHLER, INC. AND ANALYZED BY AN ENTITY OR PARTY OTHER THAN THE 'BOHLER' ENTITY INVOLVED WITH THIS PROJECT. THE 'BOHLER' ENTITY IS NOT IN ANY WAY RESPONSIBLE FOR THE BY OTHERS REPORTS, DOCUMENTS AND DETAILS. THE PROFESSIONAL OF RECORD AND BOHLER, INC. IS NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY NATURE OR TYPE, EITHER EXPRESSED OR IMPLIED, UNDER ANY CIRCUMSTANCES. THE 'BOHLER' ENTITY IS NOT IN ANY WAY RESPONSIBLE FOR THE BY OTHERS REPORTS, DOCUMENTS AND DETAILS. THE PROFESSIONAL OF RECORD AND BOHLER, INC. IS NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY NATURE OR TYPE, EITHER EXPRESSED OR IMPLIED, UNDER ANY CIRCUMSTANCES. THE 'BOHLER' ENTITY IS NOT IN ANY WAY RESPONSIBLE FOR THE BY OTHERS REPORTS, DOCUMENTS AND DETAILS. THE PROFESSIONAL OF RECORD AND BOHLER, INC. IS NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY NATURE OR TYPE, EITHER EXPRESSED OR IMPLIED, UNDER ANY CIRCUMSTANCES.

REVISIONS

Table with columns: REV, DATE, COMMENT, DRAWN BY, CHECKED BY. Row 1: 1, 03/24/2026, TOWN & PEER REVIEW COMMENTS, M.J.W., K.W.C.



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PERMIT SET

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT TO BE USED FOR CONSTRUCTION UNLESS INDICATED OTHERWISE.

PROJECT NO.: NH4250020.01-1A
DRAWN BY: M.J.W.
CHECKED BY: K.W.C.
DATE: 01/23/2026
CAD I.D.: P-CIVL-CDNS

SITE DEVELOPMENT PLANS



PROPOSED RESTAURANT DEPOT
273 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
PARCEL ID: 234-034-000

BOHLER logo and contact information: 3 EXECUTIVE PARK DRIVE FLOOR 2 BEDFORD, NH 03110. Phone: (603) 441-2900. www.BohlerEngineering.com

Professional Engineer seal for John A. Kucich, No. 15476, State of New Hampshire, License No. 1717, Exp. 12/31/25.

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

C-102

REVISION 1 - 03/24/2026

MAE-21_2026
BOHLER\ENR\NETS\SHARES\MAP-PROJECT\2025\NH4250020.01\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\CIVL-CDNS-NH4250020.01-1A--LAYOUT_C-102.NGP



IMPACT AREA A
384 SQ. FT.
393 BK
BUFFER IMPACT 330/37 BK

LOWELL ROAD

MAP 237 LOT 37
MACTHOMPSON REALTY
3 MARMON DRIVE
NASHUA, N.H. 03060
BK. 9666 PG. 2868

MAP 234 LOT 33
277 LOWELL ROAD
LLC
277 LOWELL ROAD
HUDSON, N.H. 03051
BK. 9688 PG. 2461

MAP 239 LOT 1
TARGET CORPORATION
1000 NICOLLET MALL, TPN 12H
MINNEAPOLIS, MN 55403
BK. 9822 PG. 2842

MAP 234 LOT 14
DON R. & MELISSA E.
WONG
18 LINDA STREET
HUDSON, N.H. 03051
BK. 7862 PG. 478

MAP 234 LOT 34
437,281 S.F.
10.498 Ac.

MAP 234 LOT 13
ROY CARROLL
CARROLL REVOCABLE
TRUST
16 LINDA STREET
HUDSON, N.H. 03051
BK. 9735 PG. 679

MAP 234 LOT 12
MARK TEMPEST
KRIS MARCOCCIO
12 LINDA STREET
HUDSON, N.H.
03051
BK. 9228 PG. 2048

MAP 234 LOT 11
SEAN P. &
TINA M. STEVENS
10 LINDA STREET
HUDSON, N.H.
03051
BK. 9731 PG. 1279

MAP 239 LOT 1
TARGET CORPORATION
1000 NICOLLET MALL, TPN
12H
MINNEAPOLIS, MN 55403
BK. 9822 PG. 2842

APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

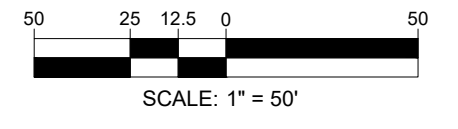
PLANNING BOARD CHAIRMAN	SIGNATURE	DATE
PLANNING BOARD SECRETARY	SIGNATURE	DATE

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

CONTRACTOR SHALL CONFIRM LOCATION AND ELEVATION OF ALL EXISTING UTILITIES (WATER, SEWER, ELECTRIC, TELECOM, GAS, WATER) AND DRAINAGE PRIOR TO ORDERING OF MATERIALS. GC SHALL REPORT ANY DISCREPANCIES OR CONFLICTS TO THE DESIGN ENGINEER IN WRITING

REFER TO GENERAL NOTES SHEETS C-102 & C-103 FOR ADDITIONAL NOTES

THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS			
REV	DATE	COMMENT	DRAWN BY
1	03/24/2026	TOWN & PEER REVIEW COMMENTS	MJW KWC

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PROJECT No.: NHA250020.01-1A
DRAWN BY: MJW
CHECKED BY: KWC
DATE: 01/23/2026
CAD I.D.: P-CIVL-PROP

PROJECT:

SITE DEVELOPMENT PLANS

FOR

PROPOSED RESTAURANT DEPOT

273 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
PARCEL ID: 234-034-000

3 EXECUTIVE PARK DRIVE FLOOR 2
BEDFORD, NH 03110
Phone: (603) 441-2900
www.BohlerEngineering.com

SHEET TITLE:
EXISTING CONDITIONS/DEMOLITION PLAN

SHEET NUMBER:
C-201

REVISION 1 - 03/24/2026

Map 23, 2026
BOHLER ENGINEERING, INC. PROJECT: 2025-NHA250020.01-CAD-DRAWINGS\PLAN SETS\CIVIL SITE PLANS\CIVL-PROP-NHA250020.01-1A-LAYOUT-C-201-EXOM



LOWELL ROAD

ZONING INFORMATION

ZONING DISTRICT:	GENERAL ONE ZONE (G-1) & WETLAND CONSERVATION DISTRICT		
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	87,120 SF	457,281 SF	NO CHANGE
MIN. FRONT SETBACK	50 FT	N/A	168.8 FT
MIN. SIDE SETBACK	15 FT	N/A	64.8 FT
MIN. REAR SETBACK	15 FT	N/A	382.2 FT
MAX. BUILDING HEIGHT	38 FT	N/A	36 FT
INTERIOR LANDSCAPING	10%	N/A	11.7%
OPEN SPACE	40%	N/A	64.9%
LOT COVERAGE	N/S	N/A	35.1%
LOADING SPACES	5	N/A	4 (W)
PARKING SPACES	84/250	N/A	173 (W)
PARKING CRITERIA 10x20"	VARIES DEPENDING ON HOW ZONING CLASSIFIES THE USE: RETAIL BUSINESS USE: REQUIREMENT = 1 SPACES/200 SF GFA CALCULATION: REQUIRED: 50,000 / 200 = 250 INDUSTRIAL (WAREHOUSE) USE: THE PARKING REQUIREMENT = 1 SPACES/600 SF GFA OR 0.75 SPACE PER EMPLOYEE OF THE COMBINED EMPLOYMENT OF THE TWO LARGEST SUCCESSIVE SHIFTS, WHICHEVER IS LARGER. CALCULATION: REQUIRED: 50,000 / 600 = 84		
ACCESSIBLE PARKING SPACES	6	N/A	5 STANDARD 1 VAN
ACCESSIBLE PARKING CRITERIA	TOTAL PARKING 151 TO 200 = 6 VAN ACCESSIBLE SPACES=1 PER 6 SPACES=1		

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	03/24/2026	TOWN & PEER REVIEW COMMENTS	MJW	KWC

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PROJECT No.: NHA250020.01-1A
DRAWN BY: MJW
CHECKED BY: KWC
DATE: 01/23/2026
CAD I.D.: P-CIVIL-PROP

SITE DEVELOPMENT PLANS

FOR
 RESTAURANT DEPOT

PROPOSED RESTAURANT DEPOT

273 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
PARCEL ID: 234-034-000

BOHLER

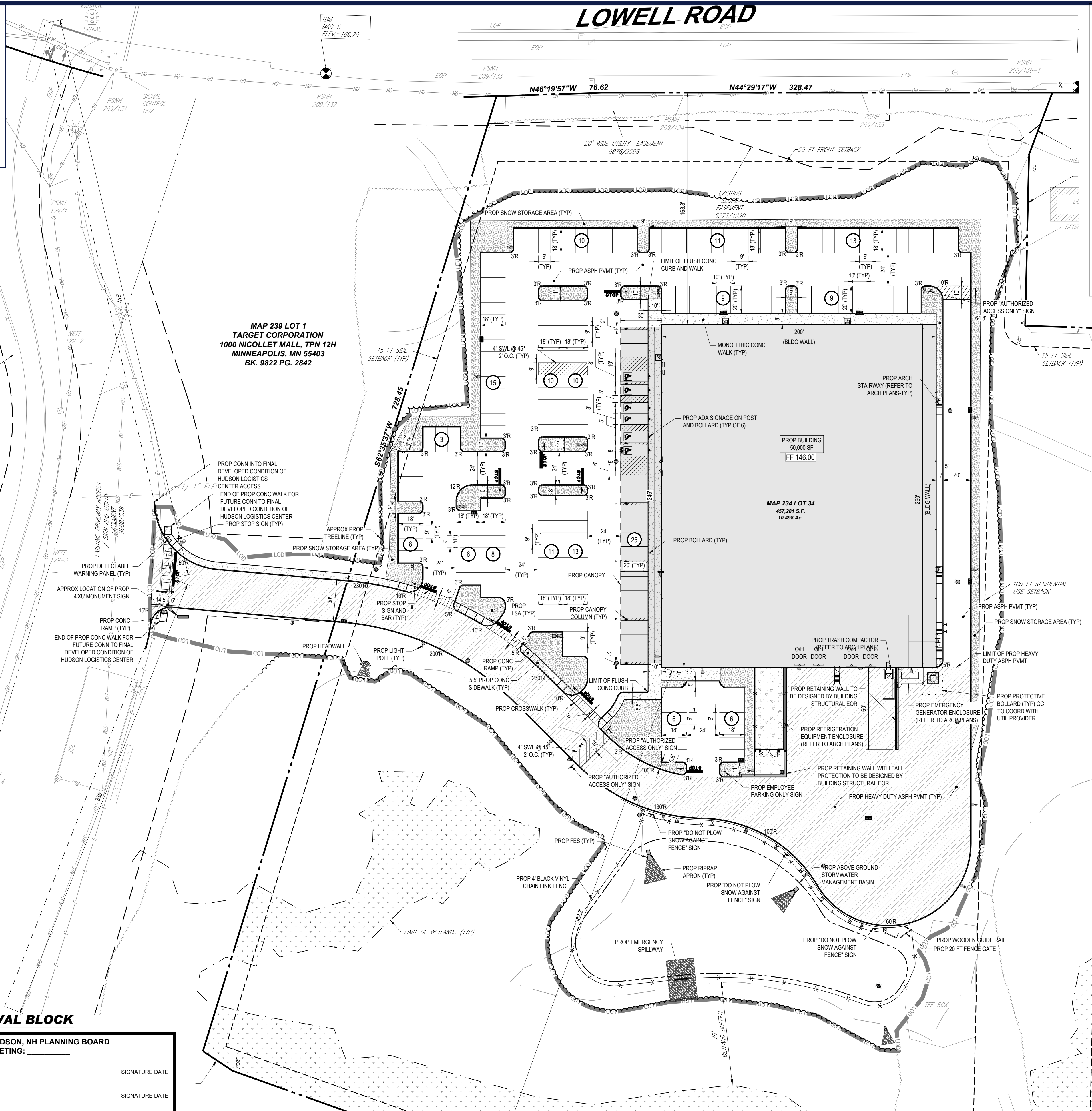
3 EXECUTIVE PARK DRIVE FLOOR 2
BEDFORD, NH 03110
Phone: (603) 441-2900
www.BohlerEngineering.com

JOHN TRUITT
LICENSED PROFESSIONAL ENGINEER
No. 15476
EXPIRES 12/31/27
RICKS 03117
MAINE 12553

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C-301

REVISION 1 - 03/24/2026



MAP 239 LOT 1
TARGET CORPORATION
1000 NICOLLET MALL, TWIN 12H
MINNEAPOLIS, MN 55403
BK. 9822 PG. 2842

MAP 234 LOT 14
DON R. & MELISSA E. WONG
18 LINDA STREET
HUDSON, N.H. 03051
BK. 7862 PG. 478

MAP 234 LOT 13
ROY CARROLL CARROLL REVOCABLE TRUST
16 LINDA STREET
HUDSON, N.H. 03051
BK. 9735 PG. 679

MAP 234 LOT 12
MARK TEMPEST KRIS MARCOCCIO
12 LINDA STREET
HUDSON, N.H. 03051
BK. 9228 PG. 2048

JURISDICTIONAL NOTES:

- ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD PRIOR TO INSTALLATION THEREOF.
- THESE SITE PLANS COMPLY TO THE BEST OF THE DESIGNER'S KNOWLEDGE WITH THE LATEST ADA REQUIREMENTS PER THE LATEST ADA REGULATIONS DATED SEPTEMBER 15, 2010.

WAIVERS REQUESTED

- § 276-11.1(25) NO PARKING AREA OR TRAVELWAY SHALL BE PROPOSED WITHIN THE AREA BETWEEN THE SIDE LOT LINES OR REAR LOT LINES AND THE CORRESPONDING SETBACK LINES.

MAINTENANCE OF A CLEAR SIGHT LINE IS THE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY



APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

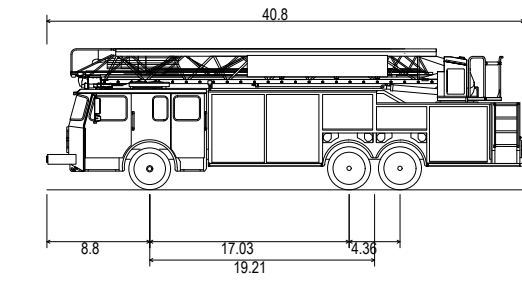
PLANNING BOARD CHAIRMAN	SIGNATURE DATE
PLANNING BOARD SECRETARY	SIGNATURE DATE

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

Mar 23, 2026
 BOHLER ENGINEERING PROJECT: 2025 NHA250020.01 CAD DRAWINGS PLAN SETS CIVIL SITE PLANS P-CIVIL-PROP-NHA250020.01-1A-LAYOUT-C-301 SITE



LOWELL ROAD

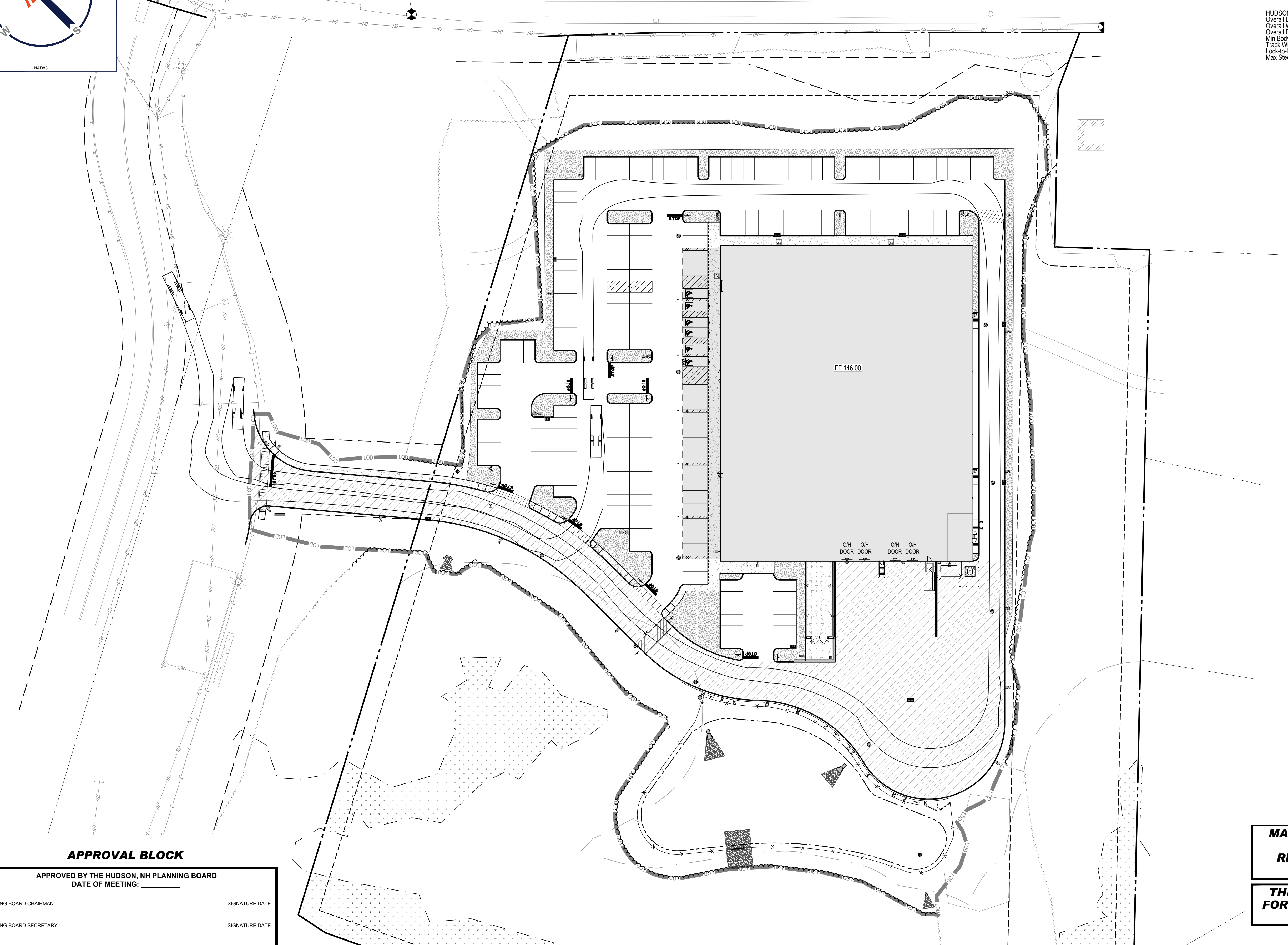


HUDSON, NH FIRE TRUCK
 Overall Length 40.800ft
 Overall Width 8.330ft
 Overall Body Height 12.065ft
 Min Body Ground Clearance 1.572ft
 Track Width 8.330ft
 Lock-to-lock time 6.00s
 Max Steering Angle (Virtual) 33.30°

40.800ft
 8.330ft
 12.065ft
 1.572ft
 8.330ft
 6.00s
 33.30°

TBM
 MAG-S
 ELEV. = 166.20

EXISTING
 TRUCK
 SIGNAL



APPROVAL BLOCK

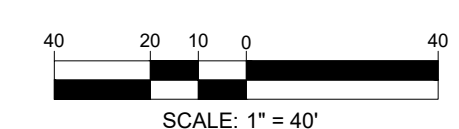
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN	SIGNATURE	DATE
PLANNING BOARD SECRETARY	SIGNATURE	DATE

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 SIGHT LINE IS THE
 RESPONSIBILITY OF THE
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**THIS PLAN TO BE UTILIZED
 FOR SITE LAYOUT PURPOSES
 ONLY**



BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	03/24/2026	TOWN & PEER REVIEW COMMENTS	MJW	KWC

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PROJECT No.: NHA250020.01-1A
 DRAWN BY: MJW
 CHECKED BY: KWC
 DATE: 01/23/2026
 CAD I.D.: P-CIVL-PROP

PROJECT:
SITE DEVELOPMENT PLANS
 FOR

PROPOSED RESTAURANT DEPOT
 273 LOWELL ROAD
 HUDSON, NEW HAMPSHIRE
 PARCEL ID: 234-034-000

BOHLER
 3 EXECUTIVE PARK DRIVE FLOOR 2
 BEDFORD, NH 03110
 Phone: (603) 441-2900
www.BohlerEngineering.com

SHEET TITLE:
FIRE TRUCK APPARATUS PLAN
 SHEET NUMBER:
C-302
 REVISION 1 - 03/24/2026

MAR 23, 2026
 BOHLER ENGINEERING, INC. PROJECT: 2025 NHA250020.01 CAD DRAWINGS PLAN SETS/CIVIL SITE PLANS/P-CIVL-PROP-NHA250020.01-1A-LAYOUT-C-302 TRUCK



LOWELL ROAD

MAP 237 LOT 37
 MACTHOMPSON REALTY
 INC.
 3 MARMON DRIVE
 NASHUA, N.H. 03060
 BK. 9666 PG. 2868

MAP 234 LOT 33
 277 LOWELL ROAD
 LLC
 277 LOWELL ROAD
 HUDSON, N.H. 03051
 BK. 9688 PG. 2461

MAP 234 LOT 14
 DON R. & MELISSA E.
 WONG
 18 LINDA STREET
 HUDSON, N.H. 03051
 BK. 7862 PG. 478

MAP 234 LOT 13
 ROY CARROLL
 CARROLL REVOCABLE
 TRUST
 16 LINDA STREET
 HUDSON, N.H. 03051
 BK. 9735 PG. 679

MAP 234 LOT 12
 MARK TEMPEST
 KRIS MARCOCCIO
 12 LINDA STREET
 HUDSON, N.H.
 03051
 BK. 9228 PG. 2048

MAP 239 LOT 1
 TARGET CORPORATION
 1000 NICOLLET MALL, TPN 12H
 MINNEAPOLIS, MN 55403
 BK. 9822 PG. 2842

MAP 234 LOT 34
 47,281 S.F.
 10.498 Ac.

BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

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1	03/24/2026	TOWN & PEER REVIEW COMMENTS	MJW	KWC

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SITE DEVELOPMENT PLANS
 FOR
 Where Restaurants & DEPOT
PROPOSED RESTAURANT DEPOT
 273 LOWELL ROAD
 HUDSON, NEW HAMPSHIRE
 PARCEL ID: 234-034-000

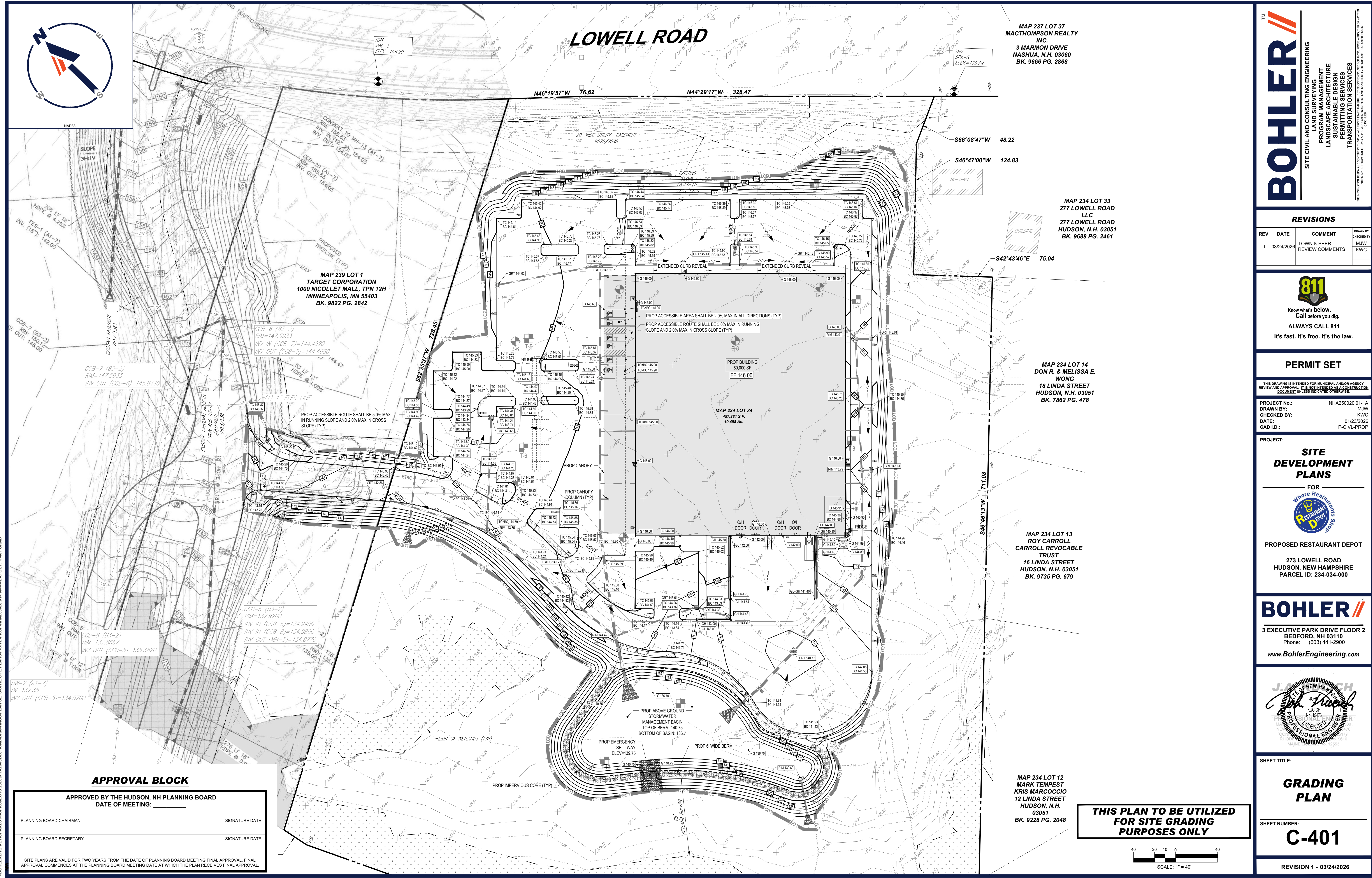
BOHLER
 3 EXECUTIVE PARK DRIVE FLOOR 2
 BEDFORD, NH 03110
 Phone: (603) 441-2900
 www.BohlerEngineering.com

Professional Engineer Seal
 JOHN MARCOCCIO
 LICENSED PROFESSIONAL ENGINEER
 STATE OF NEW HAMPSHIRE
 No. 15476
 Exp. 12/31/27
 RICK W. BOHLER
 LICENSED PROFESSIONAL ENGINEER
 STATE OF NEW HAMPSHIRE
 No. 12553
 Exp. 12/31/26

SHEET TITLE:
GRADING PLAN

SHEET NUMBER:
C-401

REVISION 1 - 03/24/2026

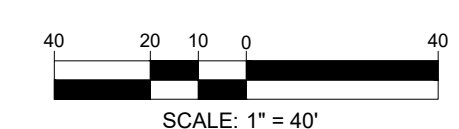


APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN	SIGNATURE DATE
PLANNING BOARD SECRETARY	SIGNATURE DATE

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



MAP 23 2026
 BOHLERENGINEERING.COM\PROJECTS\2025\NHA250020.01\CADD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\CIVIL PROP-NHA250020.01-1A---X-LAYOUT-C-401.GRD



NAD83

LOWELL ROAD

MAP 237 LOT 37
MACTHOMPSON REALTY
INC.
3 MARMON DRIVE
NASHUA, N.H. 03060
BK. 9666 PG. 2868

MAP 234 LOT 33
277 LOWELL ROAD
LLC
277 LOWELL ROAD
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MAP 234 LOT 13
ROY CARROLL
CARROLL REVOCABLE
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16 LINDA STREET
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BK. 9735 PG. 679

MAP 234 LOT 12
MARK TEMPEST
KRIS MARCOCCIO
12 LINDA STREET
HUDSON, N.H.
03051
BK. 9228 PG. 2048

**LIMIT OF DISTURBANCE
AREA: 240,111 SF (5.51 AC)**

MAP 234 LOT 34
47,281 S.F.
10.488 Ac.

PROP BUILDING
50,000 SF
FF 146.00

LIMIT OF WETLANDS (TYP)

APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN	SIGNATURE	DATE
PLANNING BOARD SECRETARY	SIGNATURE	DATE

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LAND SURVEYING
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1	03/24/2026	TOWN & PEER REVIEW COMMENTS	MJW KWC

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CAD I.D.: P-CIVIL-PROP

SITE DEVELOPMENT PLANS

FOR

PROPOSED RESTAURANT DEPOT

273 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
PARCEL ID: 234-034-000

BOHLER

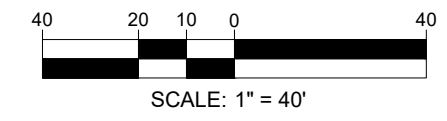
3 EXECUTIVE PARK DRIVE FLOOR 2
BEDFORD, NH 03110
Phone: (603) 441-2900
www.BohlerEngineering.com

SHEET TITLE:
SOIL EROSION AND SEDIMENT CONTROL PLAN

SHEET NUMBER:
C-801

REVISION 1 - 03/24/2026

**THIS PLAN TO BE UTILIZED FOR
SOIL EROSION AND SEDIMENT
CONTROL PURPOSES ONLY**



Map 23, 2026
BOHLERENG\NETSHARES\MA-PROJECTS\NHA250020.01\CADD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\CIVIL-PROP-NHA250020.01-1A---LAYOUT-C-801.EROS

NEW HAMPSHIRE EROSION AND SEDIMENT CONTROL NOTES

(Rev. 10/2025)

- ALL SEDIMENT AND EROSION CONTROL MEASURES MUST BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS MUST BE PERMANENTLY STABILIZED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. AT A MINIMUM, AREAS MUST BE PERMANENTLY STABILIZED ACCORDING TO THE CURRENT EDITION OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), OR IN THE ABSENCE OF A SWPPP, THEY MUST BE PERMANENTLY STABILIZED WITHIN 14 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA MUST BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING MUST BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #6.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY SEVEN (7) DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES MUST REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UP-SLOPE ARE PERMANENTLY STABILIZED. FOR SEDIMENT CONTROL DEVICES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE DEVICES MUST REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, MUST BE STEEPER THAN TWO TO ONE (2:1) UNLESS OTHERWISE INDICATED ON THE PLANS. SLOPE PROTECTION FOR SLOPES GREATER THAN 2:1 MUST BE DESIGNED BY A GEOTECHNICAL ENGINEER.
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED MUST BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT MUST BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL STANDARDS.
- ALL TEMPORARY EROSION CONTROL MEASURES MUST BE REMOVED ONCE THE SITE IS 85% STABILIZED. FOR EROSION CONTROL MEASURES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE MEASURES MUST REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
- WETLANDS WILL BE PROTECTED WITH BARRIERS CONSISTING OF STRAW BALES, FILTER SOCK, SILT FENCE OR A COMBINATION THEREOF.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM MUST HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM MUST FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.
- TEMPORARY SEDIMENT TRAPS MUST BE SIZED AND CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 - THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE TRAP MUST BE LESS THAN FIVE (5) ACRES AND THE MINIMUM VOLUME OF THE TRAP MUST BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
- STOCKPILES OF MATERIALS (DIRT, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
- EXISTING CATCH BASIN STRUCTURES MUST BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.
- THE CONTRACTOR MUST PERFORM DEWATERING (IF REQUIRED), IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME.
- THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER. THE CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. THE CONTRACTOR MUST MAINTAIN SPILL PREVENTION AND RESPONSE EQUIPMENT AND MAKE SAME CONTINUOUSLY AVAILABLE ON-SITE FOR USE BY THE CONTRACTOR'S EMPLOYEES WHO MUST BE PROPERLY TRAINED IN THE APPLICATION OF SPILL PREVENTION AND RESPONSE PROCEDURES.

EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

(Rev. 10/2025)

TO ADEQUATELY PROTECT WATER QUALITY DURING COLD WEATHER AND DURING SPRING STORMWATER RUNOFF, THE FOLLOWING STABILIZATION TECHNIQUES SHOULD BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15 THROUGH MAY 1:

- STABILIZATION AS FOLLOWS SHOULD BE COMPLETED WITHIN A DAY OF ESTABLISHING THE GRADE THAT IS FINAL OR THAT OTHERWISE WILL EXIST FOR MORE THAN 5 DAYS:
 - ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15 PERCENT WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHOULD BE SEEDED AND COVERED WITH 3 TO 4 TONS OF HAY OR STRAW MULCH PER ACRE SECURED WITH ANCHORED NETTING OR 2 INCHES OF EROSION CONTROL MIX (SEE "EROSION CONTROL MIX BERM" FACT SHEET FOR MATERIAL SPECIFICATIONS).
 - ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF GREATER THAN 15 PERCENT WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15 OR WHICH ARE DISTURBED AFTER OCTOBER 15 SHOULD BE SEEDED AND COVERED WITH A PROPERLY INSTALLED AND ANCHORED EROSION CONTROL BLANKET OR WITH A MINIMUM 4-INCH THICKNESS OF EROSION CONTROL MIX, UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. NOTE THAT EROSION CONTROL BLANKETS, WITH COMPOST, SHOULD NOT EXCEED 2 INCHES IN THICKNESS OR THEY MAY OVERHEAT.
- ALL STONE-COVERED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
- STOCKPILES OF SOIL MATERIALS SHOULD BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A 4-INCH LAYER OF EROSION CONTROL MIX. MULCHING SHOULD BE DONE WITHIN 24 HOURS OF STOCKING, AND RE-ESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL. NO SOIL STOCKPILE SHOULD BE PLACED (EVEN COVERED WITH MULCH) WITHIN 100 FEET FROM ANY WETLAND OR OTHER WATER RESOURCE AREA.
- INSTALLATION OF EROSION CONTROL BLANKETS SHOULD NOT OCCUR OVER SNOW OF GREATER THAN 1-INCH IN DEPTH OR ON FROZEN GROUND.
- ALL GRASS-LINED DITCHES, SWALES, AND CHANNELS SHOULD BE CONSTRUCTED AND STABILIZED BY SEPTEMBER 1. ALL DITCHES, SWALES, OR CHANNELS WHICH DO NOT EXHIBIT A MINIMUM OF 95 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHOULD BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS, AS DETERMINED BY A QUALIFIED PROFESSIONAL ENGINEER OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL AS CERTIFIED BY THE CSPESC COUNCIL OF ENVIRONMENTAL INTERNATIONAL, INC. IF A STONE LINING IS NECESSARY, THE CONTRACTOR MAY NEED TO RE-GRADE THE DITCH, SWALE, OR CHANNEL AS REQUIRED TO PROVIDE ADEQUATE CROSS-SECTION AFTER ALLOWING FOR PLACEMENT OF THE STONE.
- ALL STONE-LINED DITCHES, SWALES, AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.

- THE AREA OF EXPOSED, UNSTABILIZED SOIL SHOULD BE LIMITED TO ONE ACRE AND SHOULD BE PROTECTED AGAINST EROSION BY THE METHODS DESCRIBED IN THIS SECTION PRIOR TO ANY THAW OR SPRING MELT EVENT. SUBJECT TO APPLICABLE REGULATIONS, THE ALLOWABLE AREA OF EXPOSED SOIL MAY BE INCREASED IF ACTIVITIES ARE CONDUCTED ACCORDING TO A WINTER CONSTRUCTION PLAN, DEVELOPED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF NEW HAMPSHIRE OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL AS CERTIFIED BY THE CSPESC COUNCIL OF ENVIRONMENTAL INTERNATIONAL, INC.
- INSTALLATION OF ANCHORED HAY MULCH OR EROSION CONTROL MIX SHOULD NOT OCCUR OVER SNOW OF GREATER THAN 1 INCH IN DEPTH OR ON FROZEN GROUND.
- ALL MULCH APPLIED DURING WINTER SHOULD BE ANCHORED (E.G. BY NETTING, TRACKING, WOOD CELLULOSE FIBER).
- FROZEN MATERIALS, (E.G., FROST LAYER THAT IS REMOVED DURING WINTER CONSTRUCTION), SHOULD BE STOCKPILED SEPARATELY AND IN A LOCATION THAT IS AWAY FROM ANY AREA NEEDING TO BE PROTECTED. STOCKPILES OF FROZEN MATERIAL CAN MELT IN THE SPRING AND BECOME UNWORKABLE AND DIFFICULT TO TRANSPORT DUE TO THE HIGH MOISTURE CONTENT IN THE SOIL.
- AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING AREAS WHERE ACTIVE CONSTRUCTION OF THE ROAD OR PARKING AREA HAS STOPPED FOR THE WINTER SEASON SHOULD BE PROTECTED WITH A MINIMUM 3-INCH LAYER OF BASE COURSE GRAVELS MEETING THE GRADUATION REQUIREMENTS OF NHDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION TABLE 304-1, ITEM NO. 301, 304, 2, 304.2, OR 304.3.
- SEDIMENT BARRIERS THAT ARE INSTALLED DURING FROZEN CONDITIONS SHOULD CONSIST OF EROSION CONTROL MIX BERMS, OR CONTINUOUS CONTAINED BERMS. SILT FENCES AND HAY BALES SHOULD NOT BE INSTALLED WHEN FROZEN CONDITIONS PREVENT PROPER EMBEDMENT OF THESE BARRIERS.

APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING:

PLANNING BOARD CHAIRMAN	SIGNATURE DATE
PLANNING BOARD SECRETARY	SIGNATURE DATE

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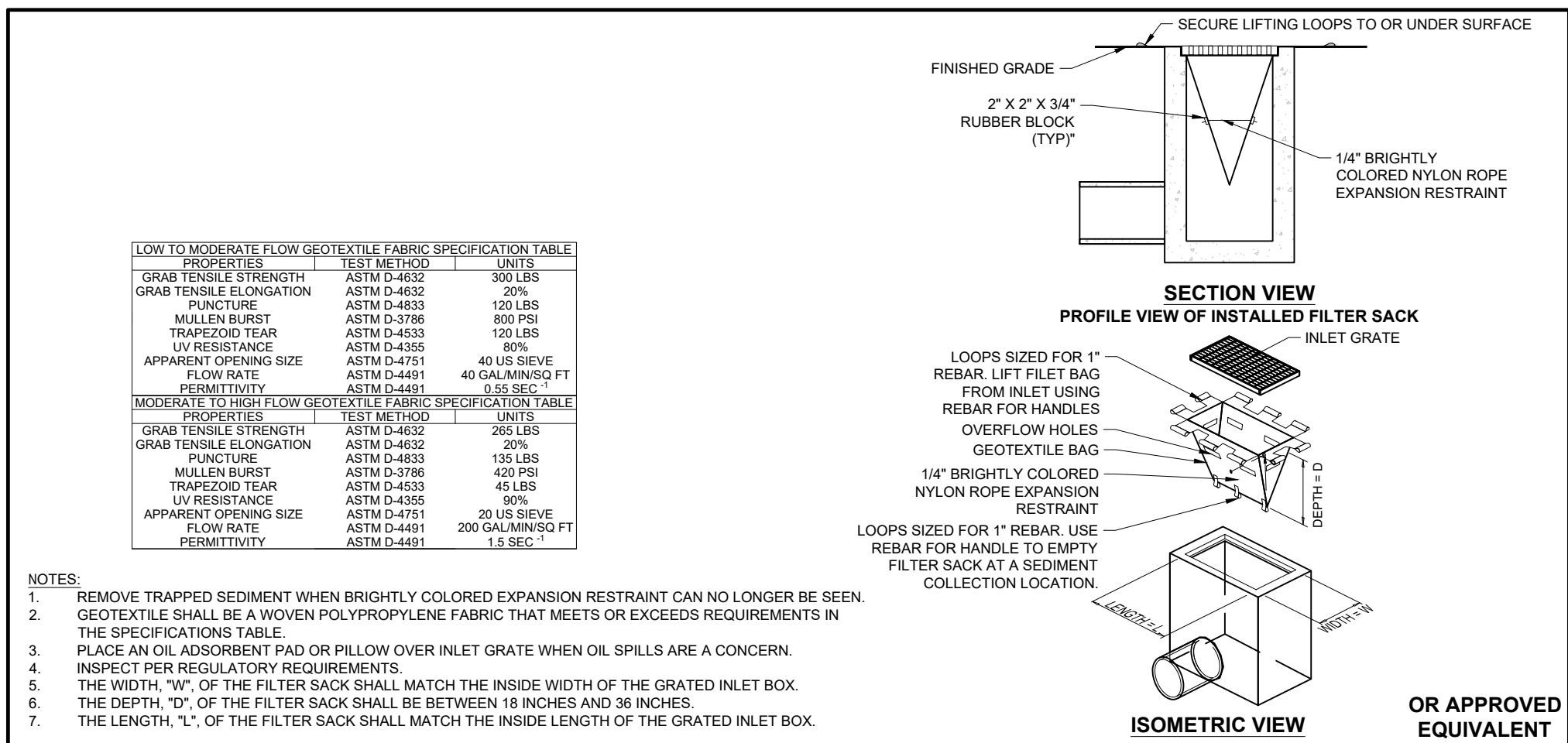
GENERAL EROSION AND SEDIMENT CONTROL NOTES (Rev. 10/2025)

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- EROSION CONTROL MEASURES MUST CONFORM TO THE STATE, LOCAL, AND FEDERAL GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL UNLESS OTHERWISE NOTED, OR UNLESS THE PROFESSIONAL OF RECORD CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.
- THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY 5.50 ACRES.
- STABILIZED CONSTRUCTION ENTRANCE/EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE.
- EROSION CONTROL BARRIER - INSTALL SILT FENCE(S), STRAW BALES AND/OR FILTER SOCK (OR APPROVED EQUIVALENT) AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE. TEMPORARY FILL AND SOIL STOCKPILES.
- INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA.
- INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN SEVEN (7) DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
- THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF THE PROFESSIONAL OF RECORD SO REQUIRES, TO PREVENT ANY, INCLUDING THE INCIDENTAL, DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
- THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURF/LANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS.
- THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION.
- THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR INSTALLING DIFFERENT SPECIFIED METHODS OF STABILIZATION.
- THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES, MEASURES AND STRUCTURES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
- THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE AND/OR DEMOLITION PLANS (S) FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.
- THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT.
- SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES.

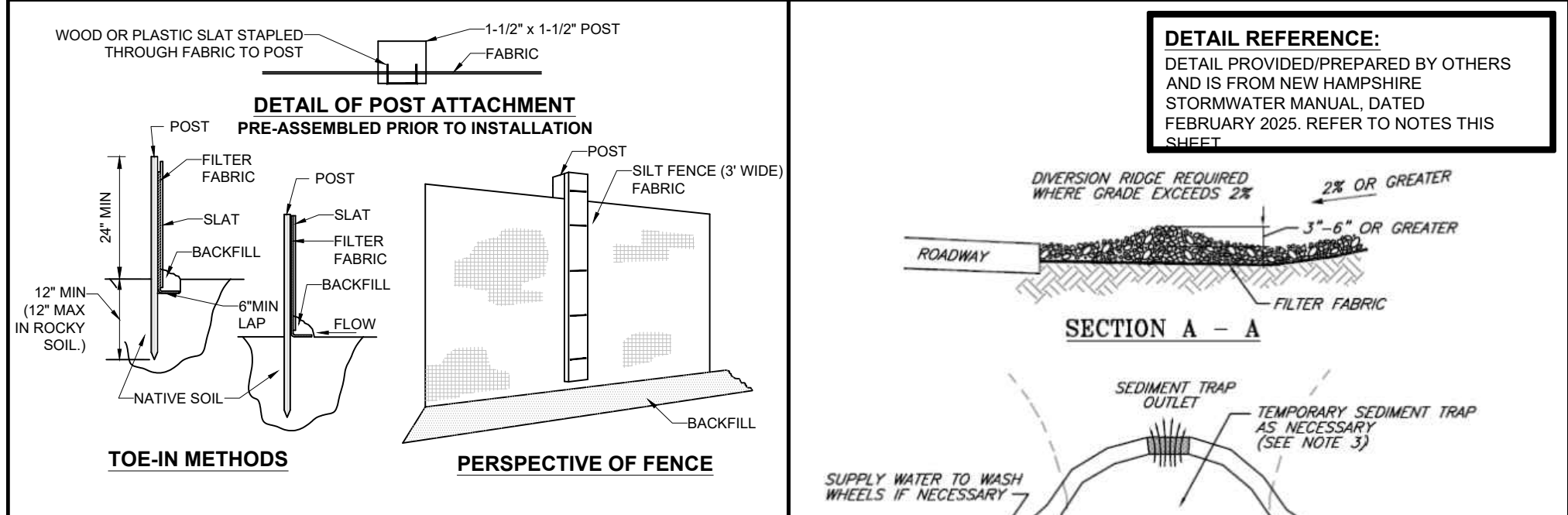
SEEDING RECOMMENDATIONS FOR TEMPORARY VEGETATION

SEPCIES	PER ACRE BRUSHELS (BU) OR POUNDS (LBS)	PER 1,000 SF	REMARKS
WINTER RYE	2 BU OR 112 LBS	2.5 LBS	BEST FOR FALL SEEDING. SEED FROM AUGUST 15 FOR BEST COVER. SEED TO A DEPTH OF 1-INCH.
OATS	2.5 BU OR 80 LBS	2 LBS	BEST FOR SPRING SEEDINGS. SEED NO LATER THAN MAY 15 FOR SUMMER PROTECTION. SEED TO A DEPTH OF 1-INCH.
ANNUAL RYEGRASS	40 LBS	1 LB	GROWS QUICKLY BUT IS OF SHORT DURATION. USE WHERE APPEARANCES ARE IMPORTANT. SEED EARLY SPRING AND/OR BETWEEN AUGUST 15 AND SEPTEMBER 15. COVER THE SEED WITH NO MORE THAN 1/4-INCH OF SOIL.
PERENNIAL RYEGRASS	30LBS	0.7 LB	GOOD COVER WHICH IS LONGER LASTING THAN ANNUAL RYEGRASS. SEED BETWEEN APRIL 1 AND JUNE 1 AND/OR BETWEEN AUGUST 15 AND SEPTEMBER 15. MULCHING WILL ALLOW SEEDING THROUGHOUT THE GROWING SEASON. SEED TO A DEPTH OF APPROXIMATELY 1/2-INCH.

SOURCE: 2025 NEW HAMPSHIRE STORMWATER MANUAL

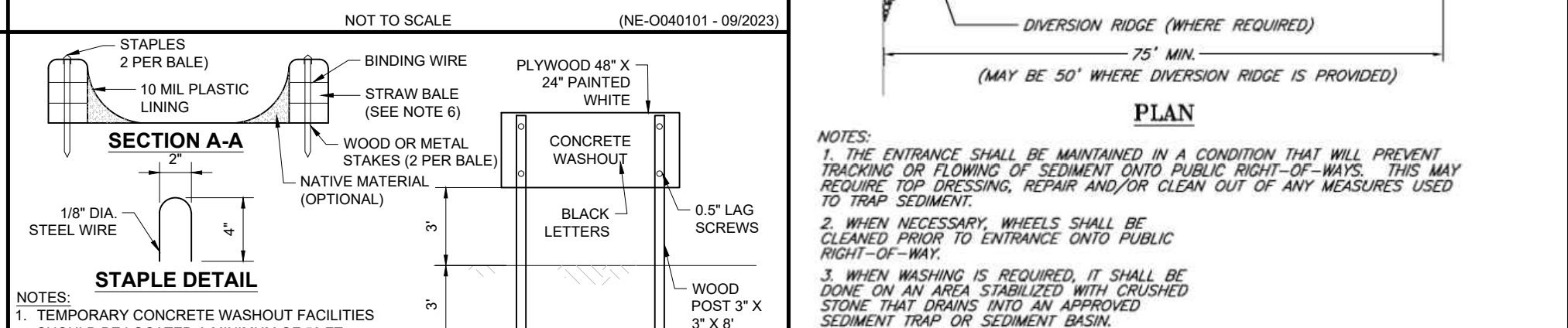


INLET PROTECTION WITH MANUFACTURED INSERT



- NOTES:
- EXCAVATE A 6\"/>

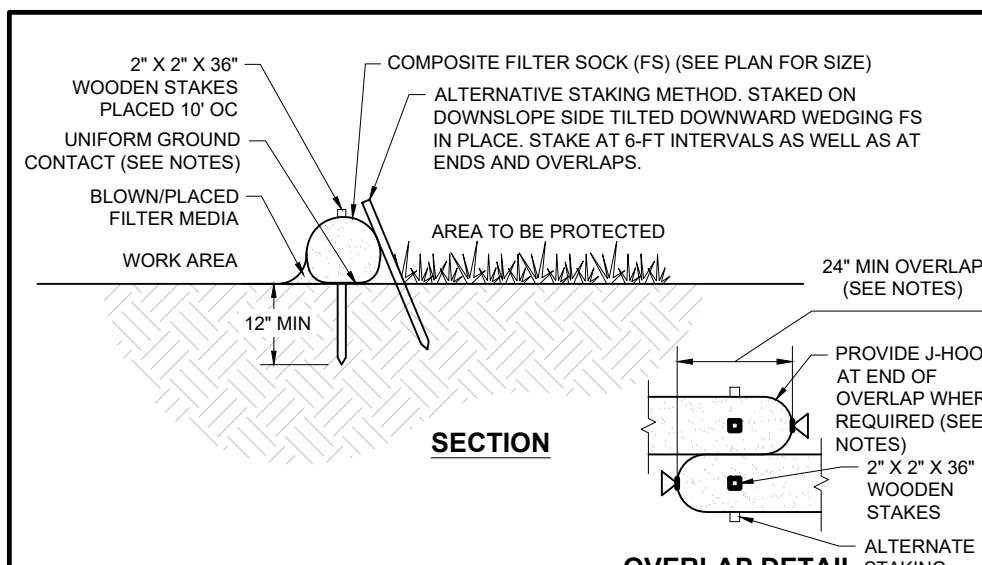
SILT FENCE



- NOTES:
- TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT. FROM STORM DRAIN INLETS.
 - ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF OFF-SITE. CONTRACTOR TO DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.
 - THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 50 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 - PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
 - WASHOUT FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY TO USE, ONCE THE WASHOUT IS 75% FULL.
 - STRAW BALE AND STAPLES MAY BE SUBSTITUTED WITH ALTERNATE SECURING MEASURES SUCH AS CONCRETE BLOCK.

CONCRETE WASTE MANAGEMENT AREA

NOT TO SCALE (NE-0020201 - 09/2023)

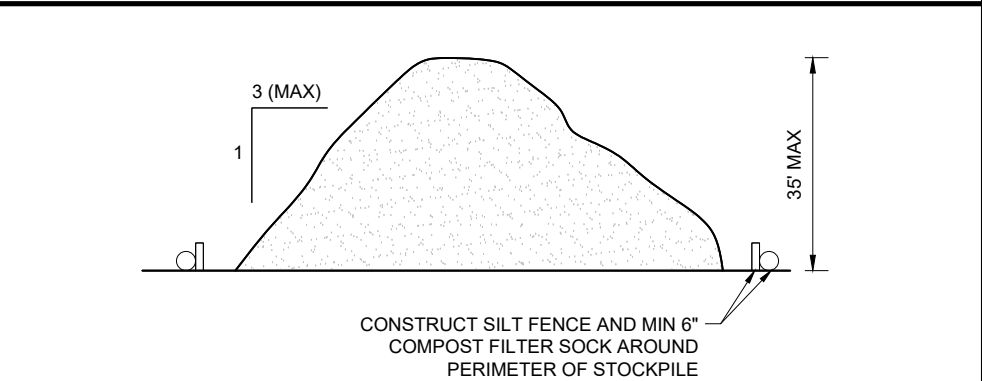


- NOTES:
- BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND.
 - FOR LONG RUNS SOCKS SHALL OVERLAP SUCH THAT THEY CREATE A CONTINUOUS, EFFECTIVE BARRIER.
 - WHERE TWO FS SECTIONS MEET ON LEVEL GRADE, OVERLAP THE ADJOINING ENDS, TIGHTLY BUTT TOGETHER, AND STAKE THROUGH EACH END (SEE OVERLAP DETAIL ABOVE), WHERE TWO SECTIONS MEET ON UN-LEVEL GRADE, J-HOOK HIGHER ELEVATION END, STAKE, AND BEGIN NEW SECTION JUST BELOW. USE LOOSE MULCH TO FILL ANY VOIDS IN JOINT.
 - STRAIGHTEN AND POSITION SOCK ON GROUND ENSURING THERE IS GOOD GROUND CONTACT AND NO VOID SPACES UNDER THE SOCK.
 - ALL MATERIAL TO MEET MANUFACTURER SPECIFICATIONS.
 - IF ALLOWED BY LOCAL APPROVING AUTHORITY THE COMPOST MATERIAL TO BE DISPERSED ON SITE AT COMPLETION OF CONSTRUCTION OR AS DIRECTED BY OWNER AFTER STABILIZATION IS ACHIEVED.

COMPOST FILTER SOCK (FS)

NOT TO SCALE (NE-0040201 - 12/2025)

STABILIZED CONSTRUCTION ENTRANCE



TEMPORARY STOCK PILE WITH SILT FENCE AND FILTER SOCK

NOT TO SCALE (NE-0060102 - 09/2023)

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DETAILS BY OTHERS DISCLAIMER

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM ARCHITECTURE
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	03/24/2026	TOWN & PEER REVIEW COMMENTS	MJW	KWC

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PROJECT NO.: NHA250020.01-1A
DRAWN BY: MJW
CHECKED BY: KWC
DATE: 01/23/2026
CAD I.D.: P-CIVL-CNDS

SITE DEVELOPMENT PLANS

FOR
Where Restaurants Eat

PROPOSED RESTAURANT DEPOT

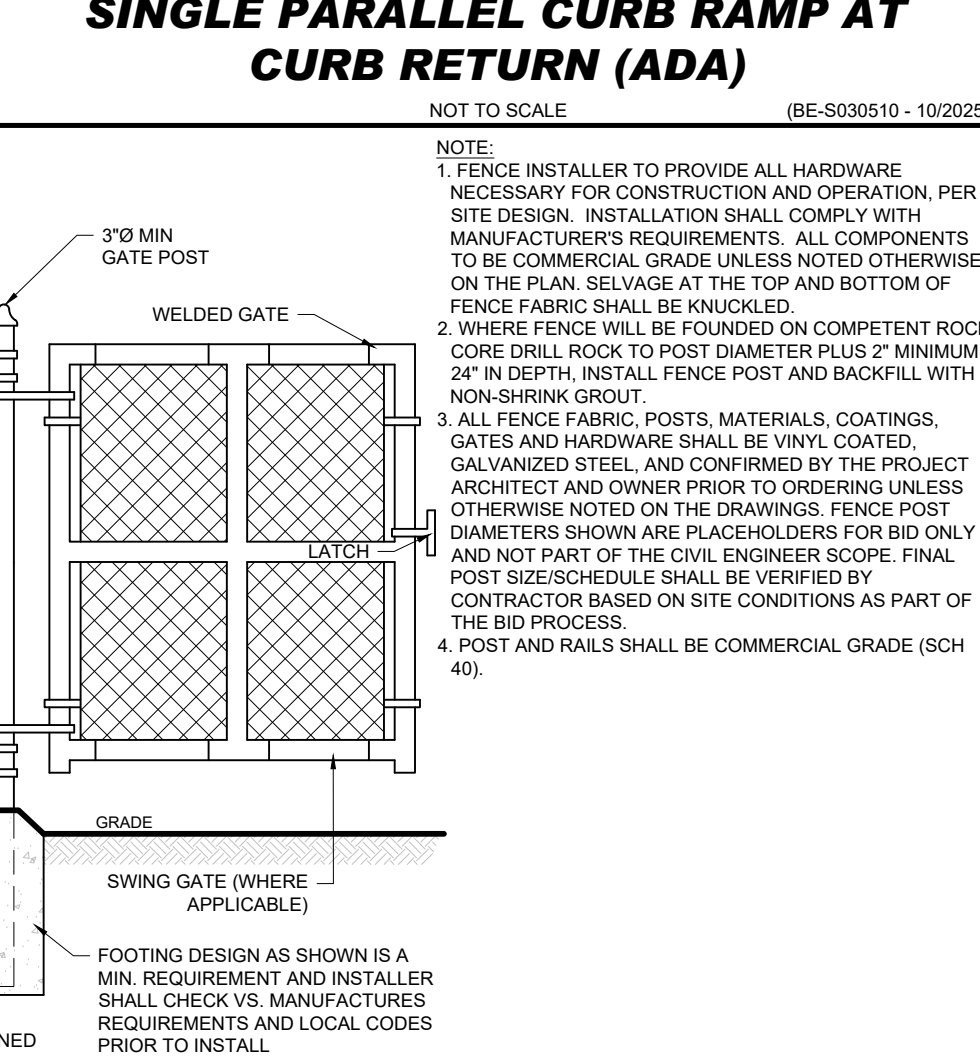
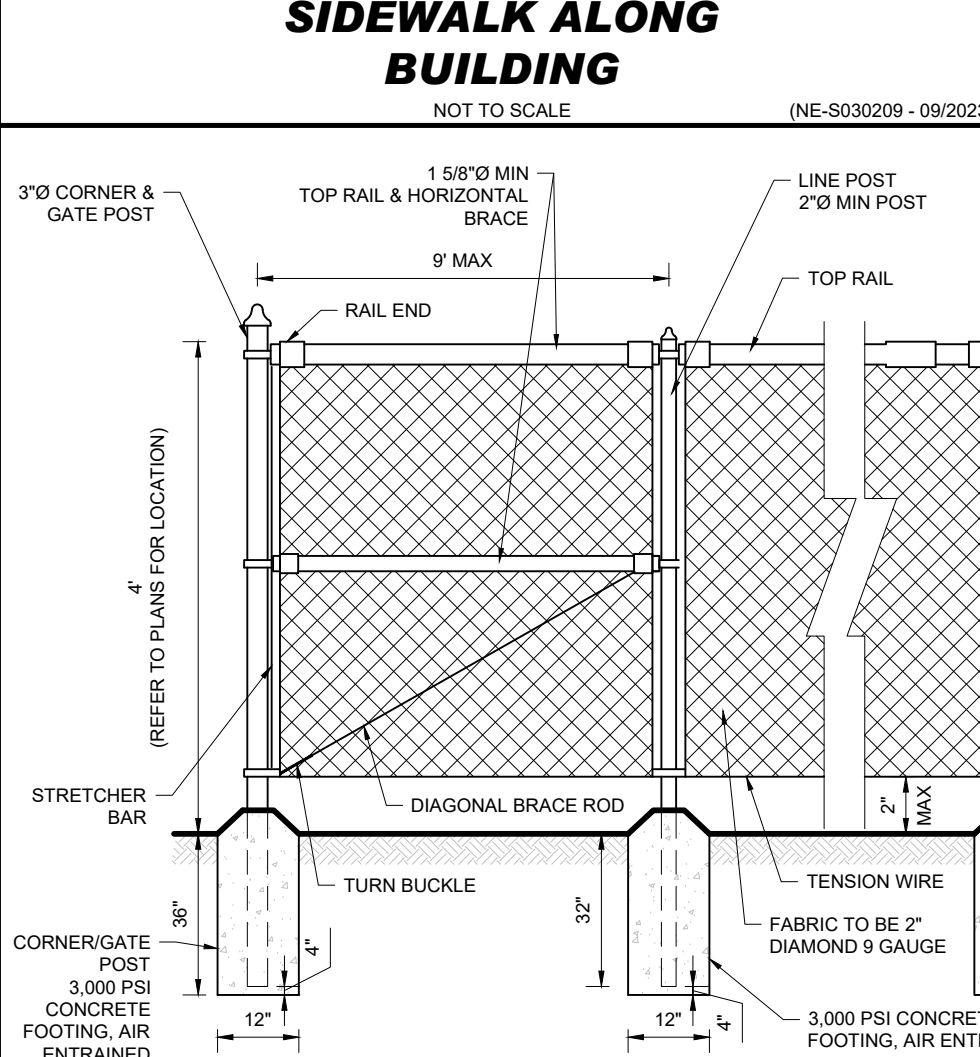
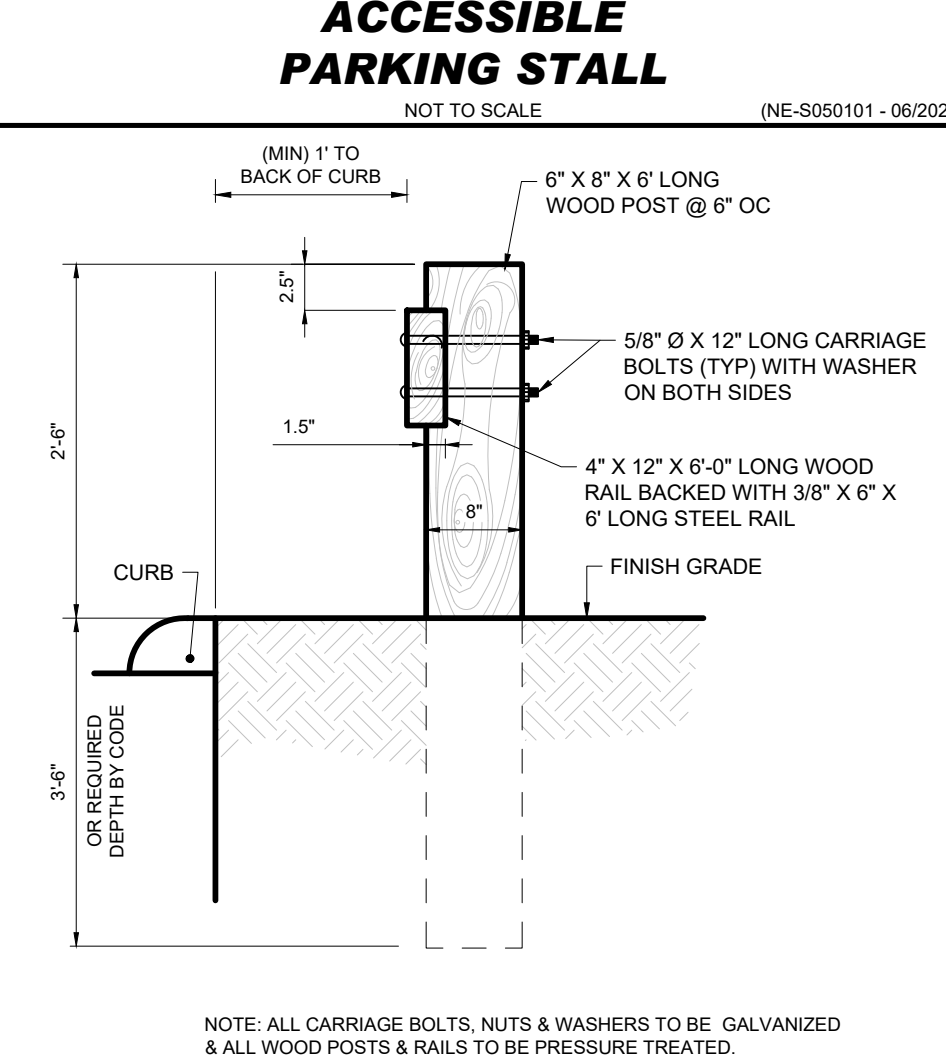
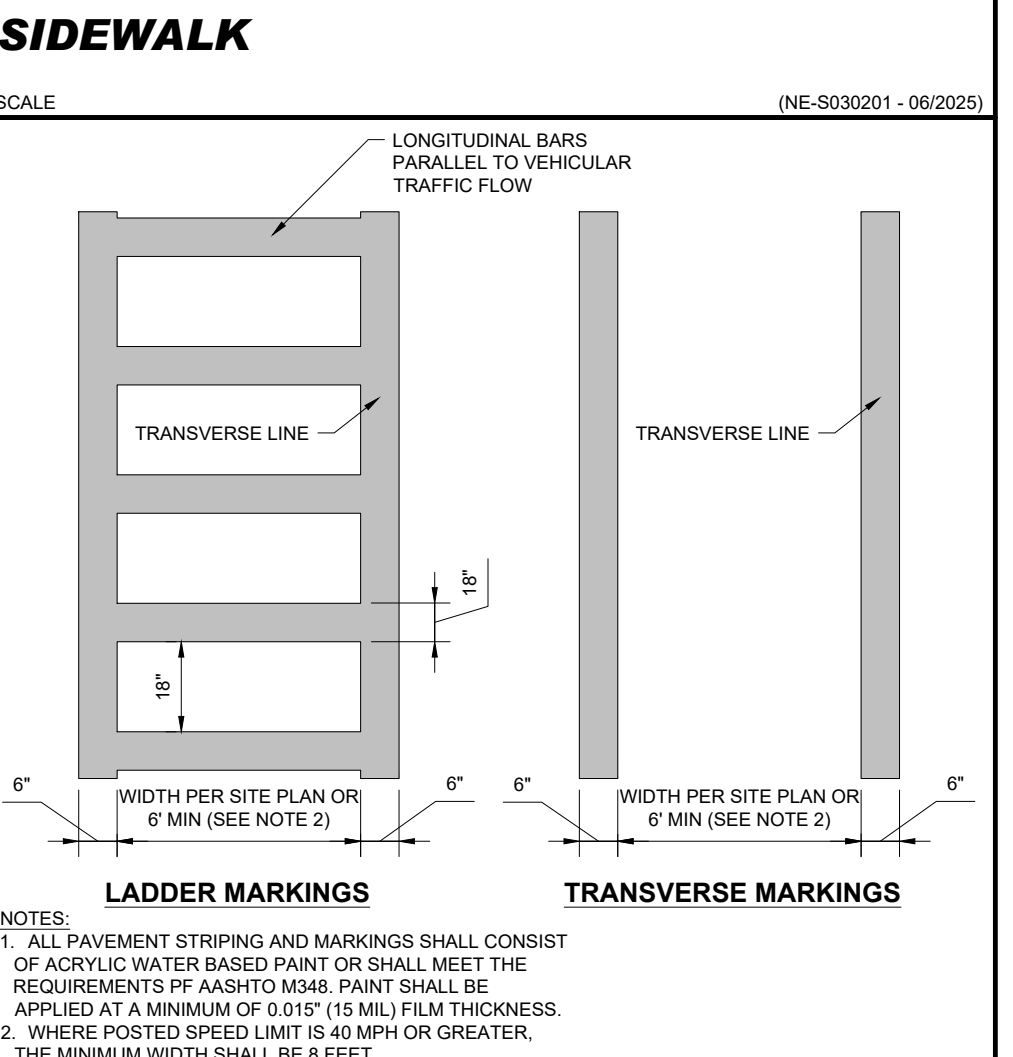
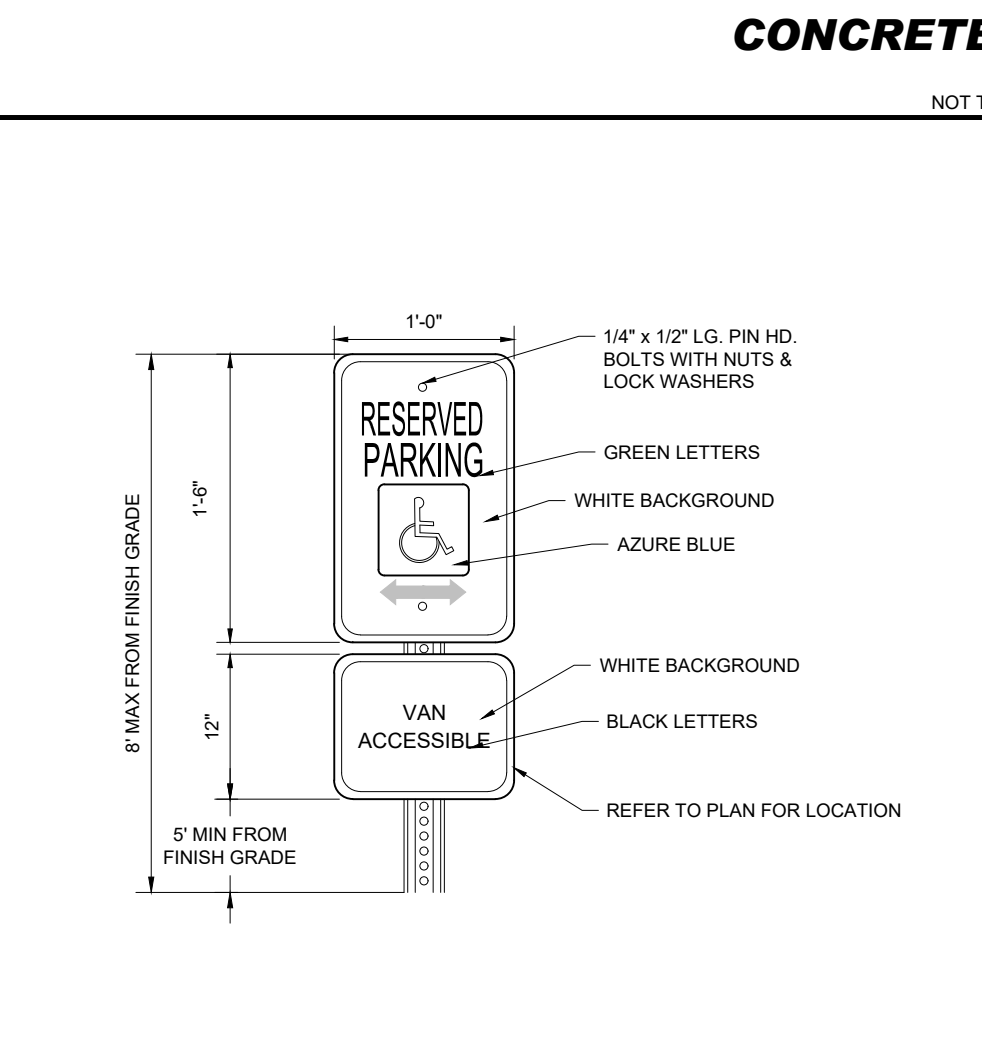
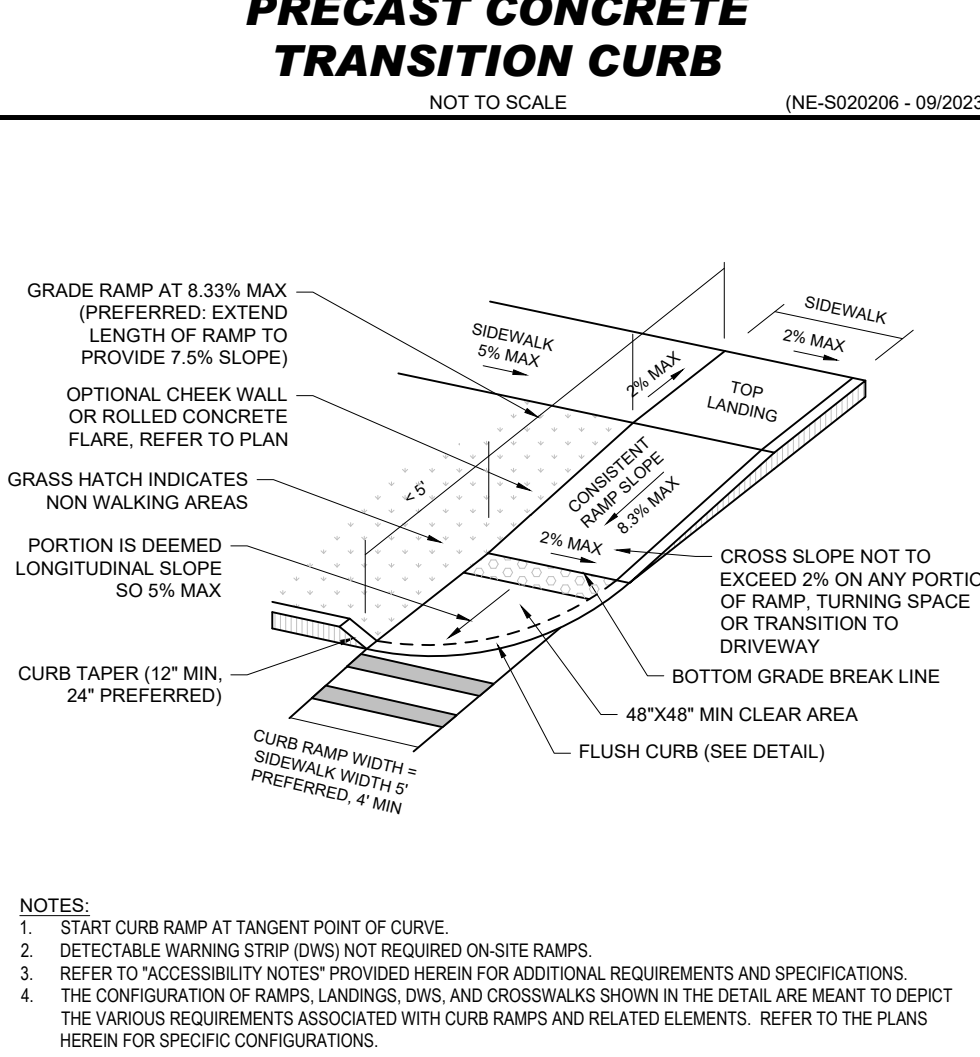
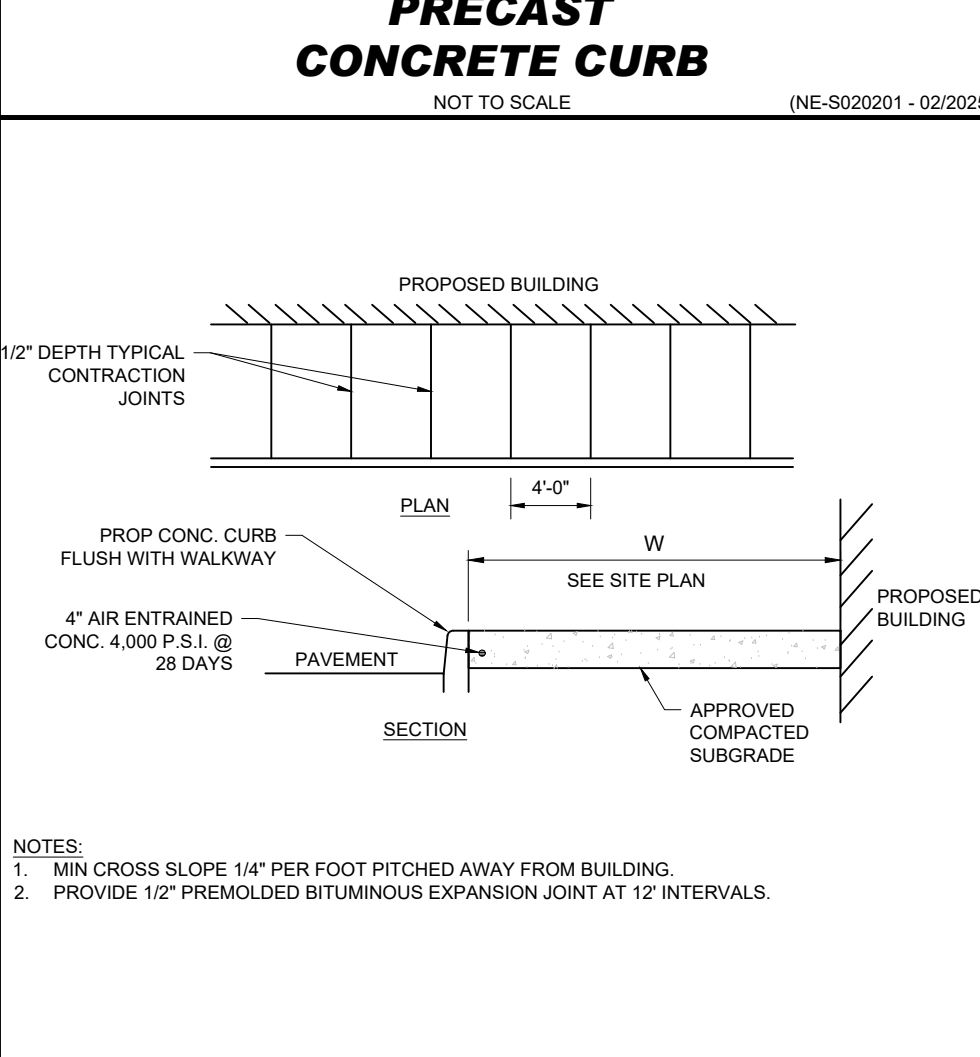
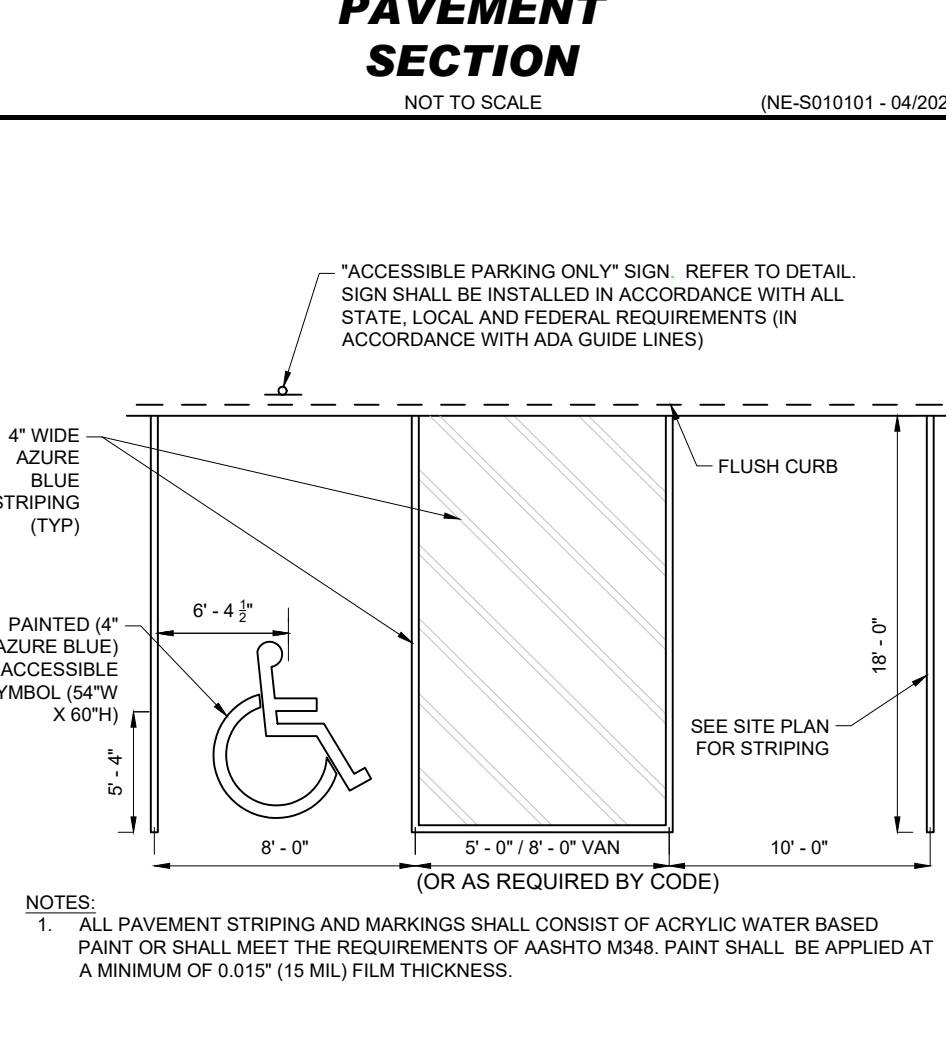
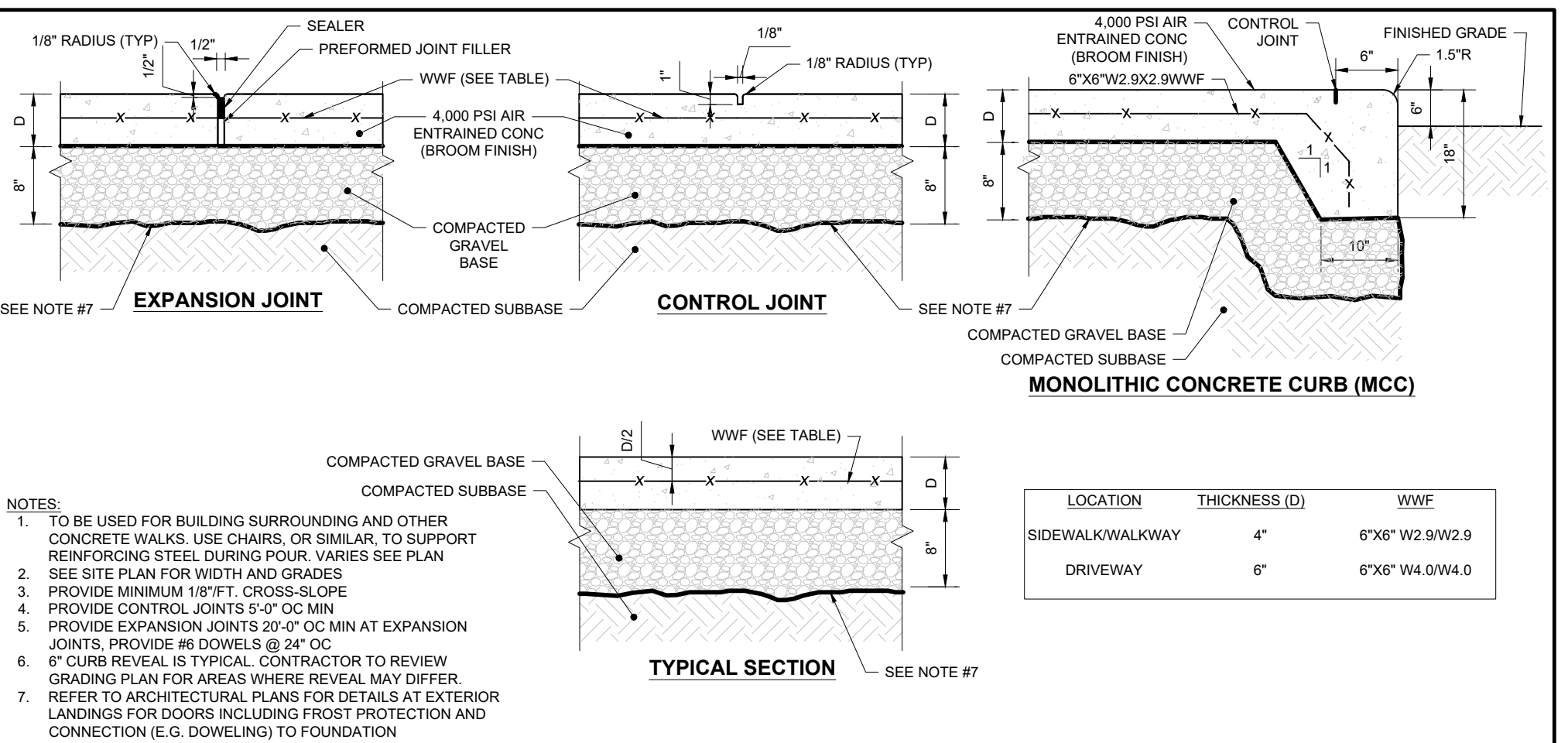
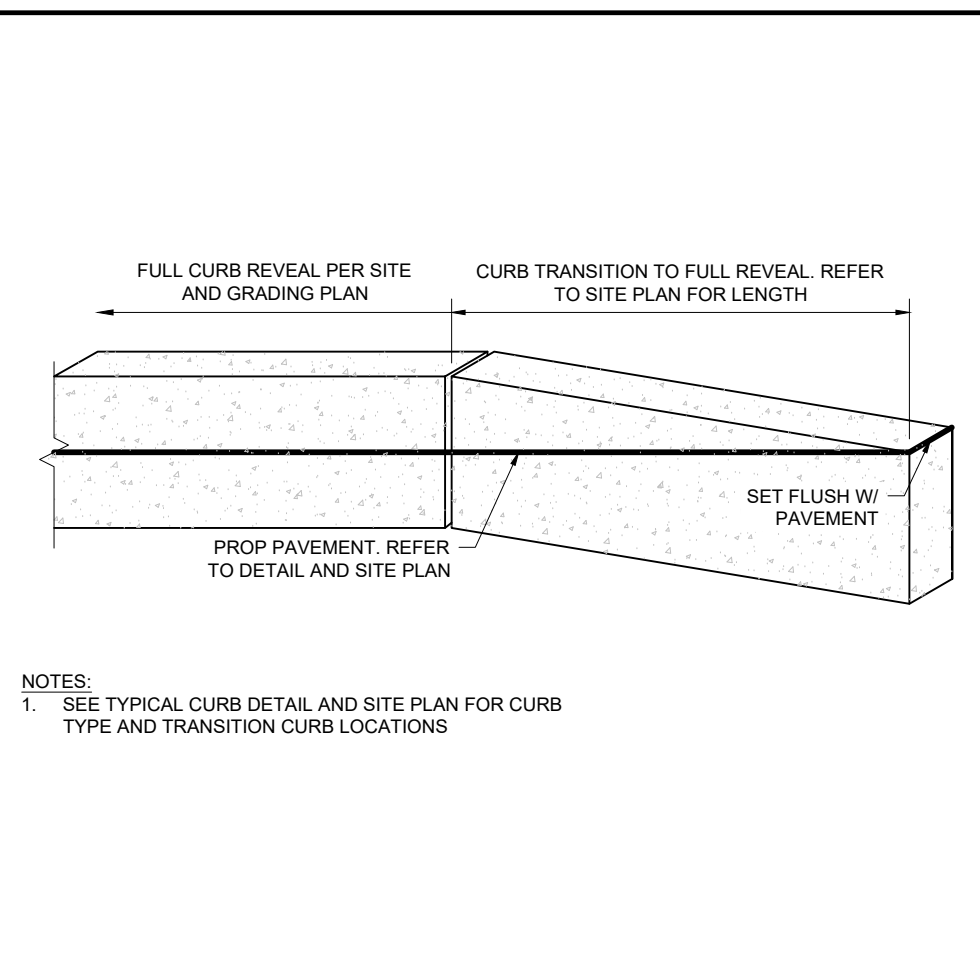
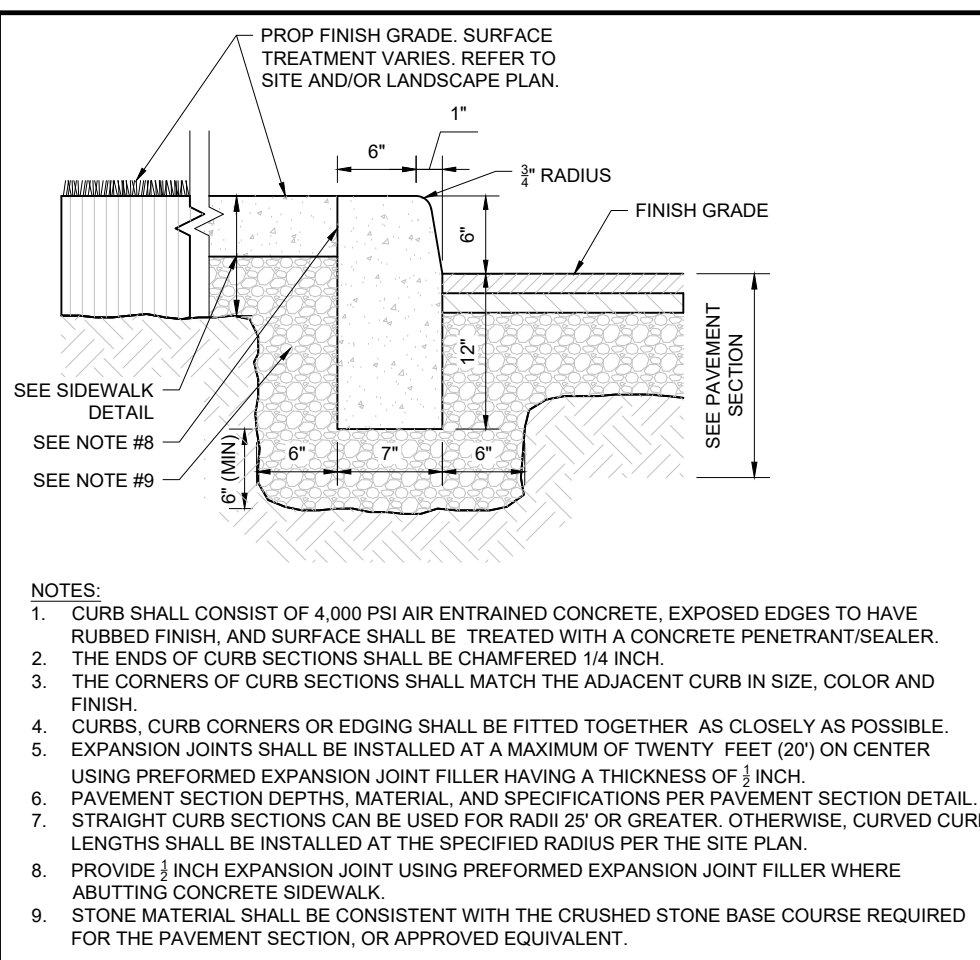
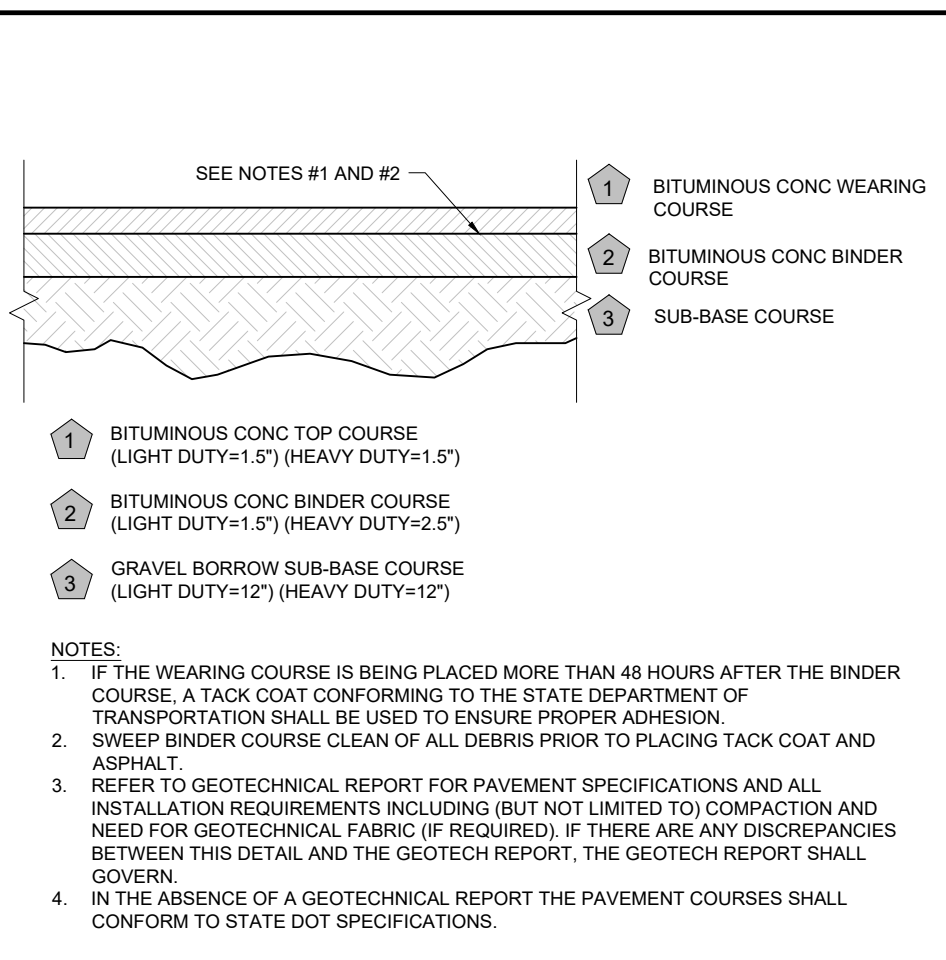
273 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
PARCEL ID: 234-034-000

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JOHN A. TRUITT
LICENSED PROFESSIONAL ENGINEER
NO. 15476
EXPIRES 12/31/27
REISSUE 12/31/25
MAINE

SHEET TITLE:
EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

SHEET NUMBER:
C-802
REVISION 1 - 03/24/2026



BOHLER

SITE CIVIL AND CONSULTING ENGINEERING

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PROGRAM MANAGEMENT

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THE NEW HAMPSHIRE PROFESSIONAL ENGINEERING BOARD HAS REVIEWED THIS DOCUMENT FOR CONFORMANCE WITH THE REQUIREMENTS OF RSA 205:101. THIS REVIEW DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
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PROJECT No.: NHA250020.01-1A

DRAWN BY: MJW

CHECKED BY: KWC

DATE: 01/23/2026

CAD I.D.: P-CIVL-CNDS

SITE DEVELOPMENT PLANS

FOR

Where Restaurants Eat

PROPOSED RESTAURANT DEPOT

273 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
PARCEL ID: 234-034-000

BOHLER

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BEDFORD, NH 03110
Phone: (603) 441-2900

www.BohlerEngineering.com

Professional Engineer Seal for John A. Bohlert, License No. 15476, State of New Hampshire.

SHEET TITLE: **CONSTRUCTION DETAILS**

SHEET NUMBER: **C-901**

REVISION 1 - 03/24/2026

APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN: _____ SIGNATURE DATE _____

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Mar 23, 2026
 BOHLER ENGINEERING, INC. PROJECT: 2025 NHA250020.01 CAD/DRAWINGS/PLAN SETS/CIVIL SITE PLANS/P-CIVL-CNDS-NHA250020.01-1A-3-LAYOUT-C-901 DETL (R1E)

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 DRAWN BY: MJW
 CHECKED BY: KWC
 DATE: 01/23/2026
 CAD I.D.: P-CIVL-CNDS

SITE DEVELOPMENT PLANS

FOR

Where Restaurants Stop

PROPOSED RESTAURANT DEPOT

273 LOWELL ROAD
 HUDSON, NEW HAMPSHIRE
 PARCEL ID: 234-034-000

BOHLER

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Professional Engineer Seal: JAMES BOHLER, No. 15476, State of New Hampshire, Professional Engineer, Civil Engineering, Exp. 12/31/2026.

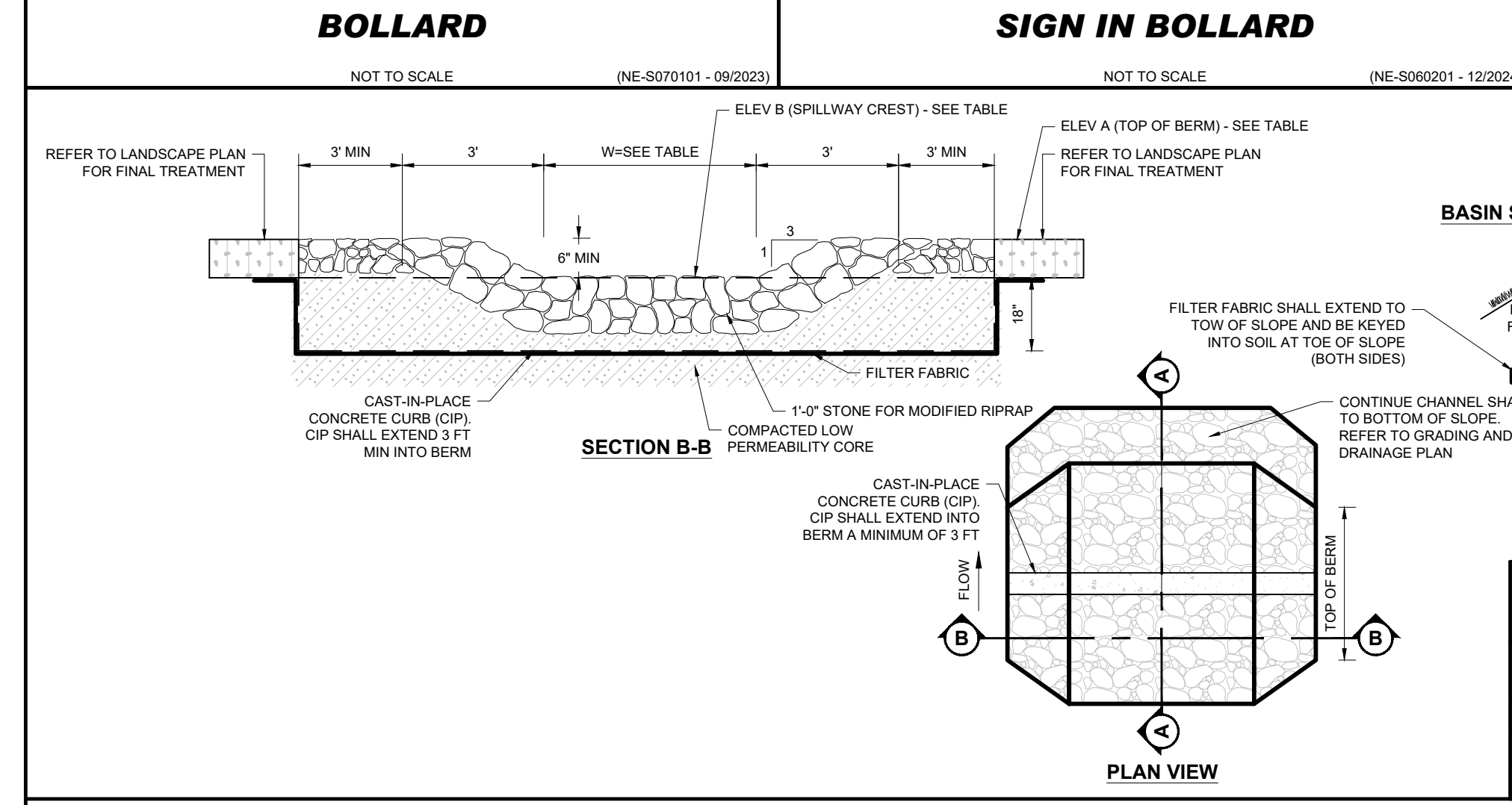
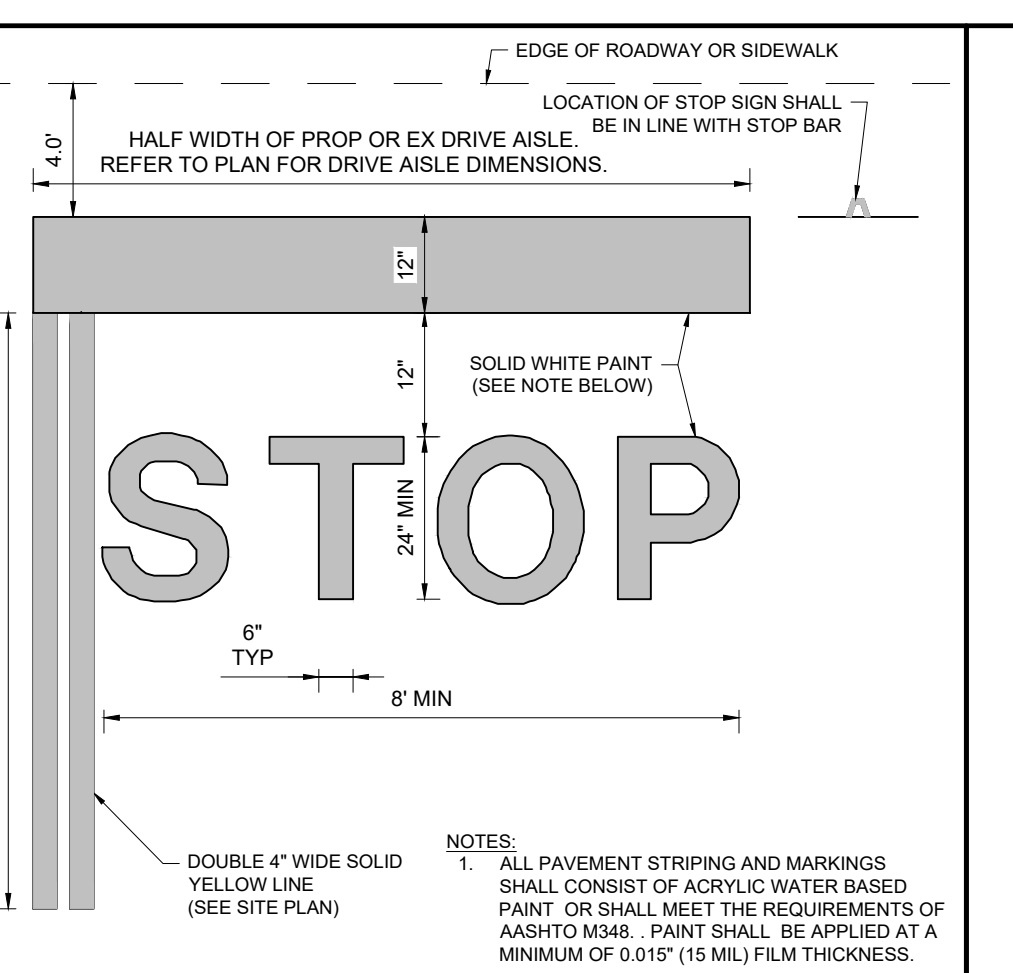
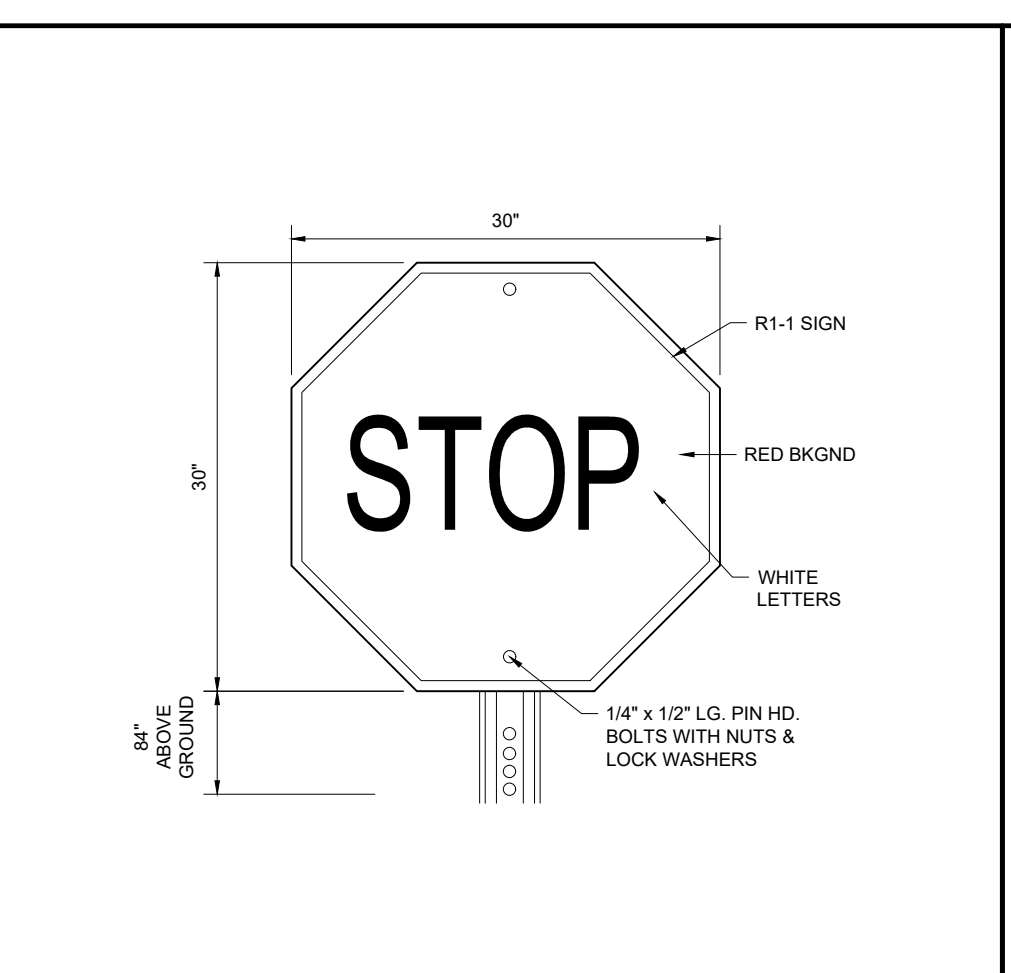
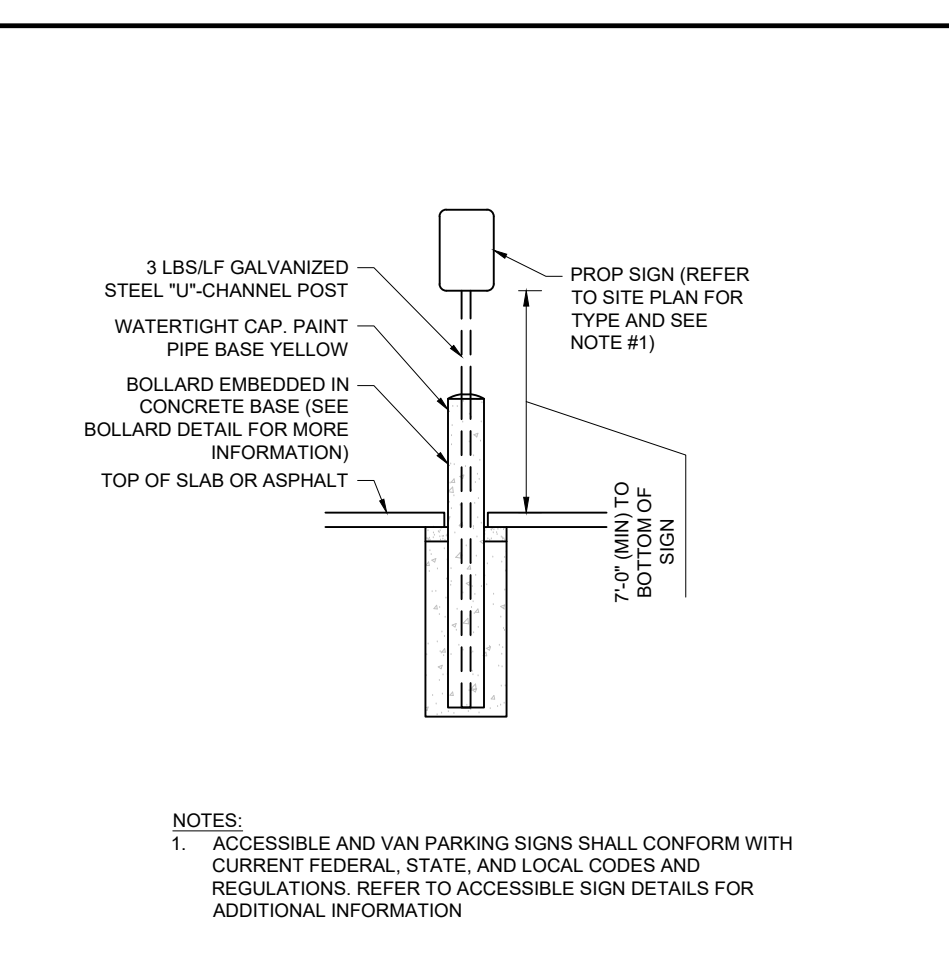
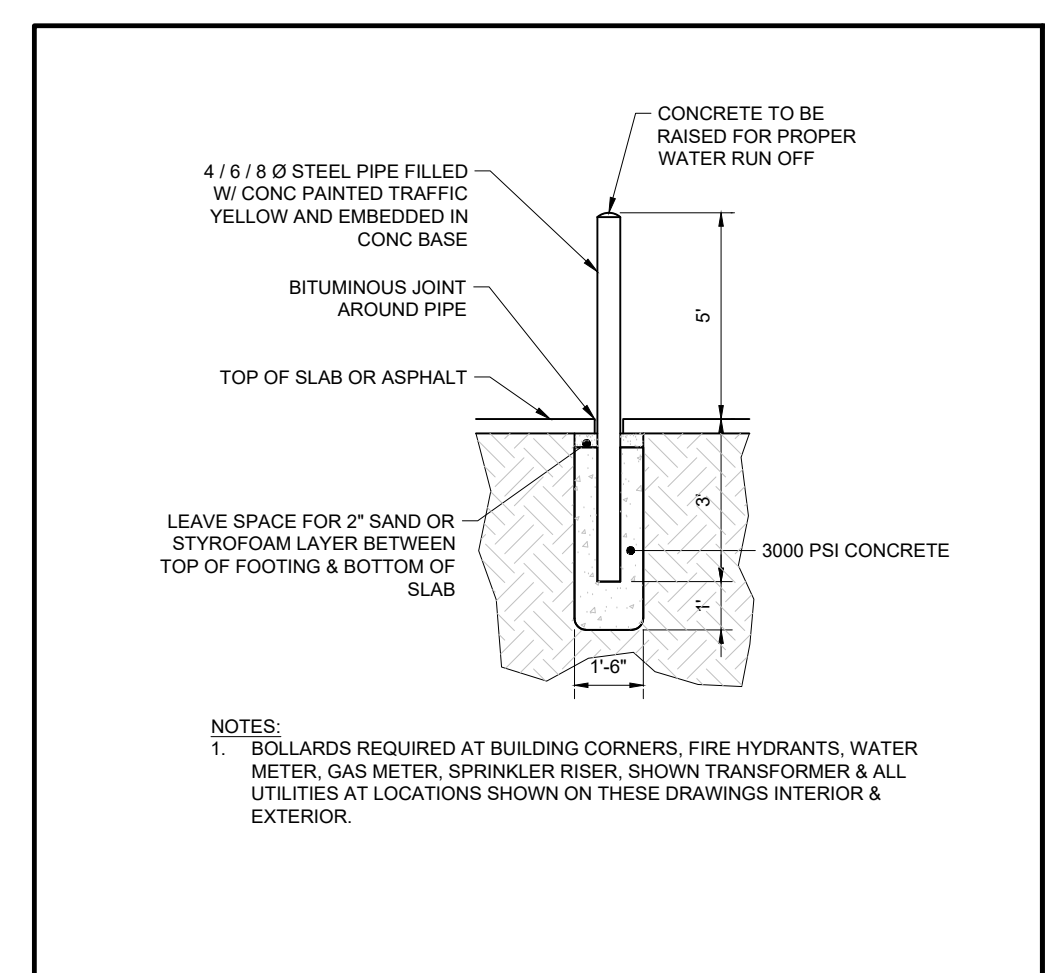
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CONSTRUCTION DETAILS

SHEET NUMBER:

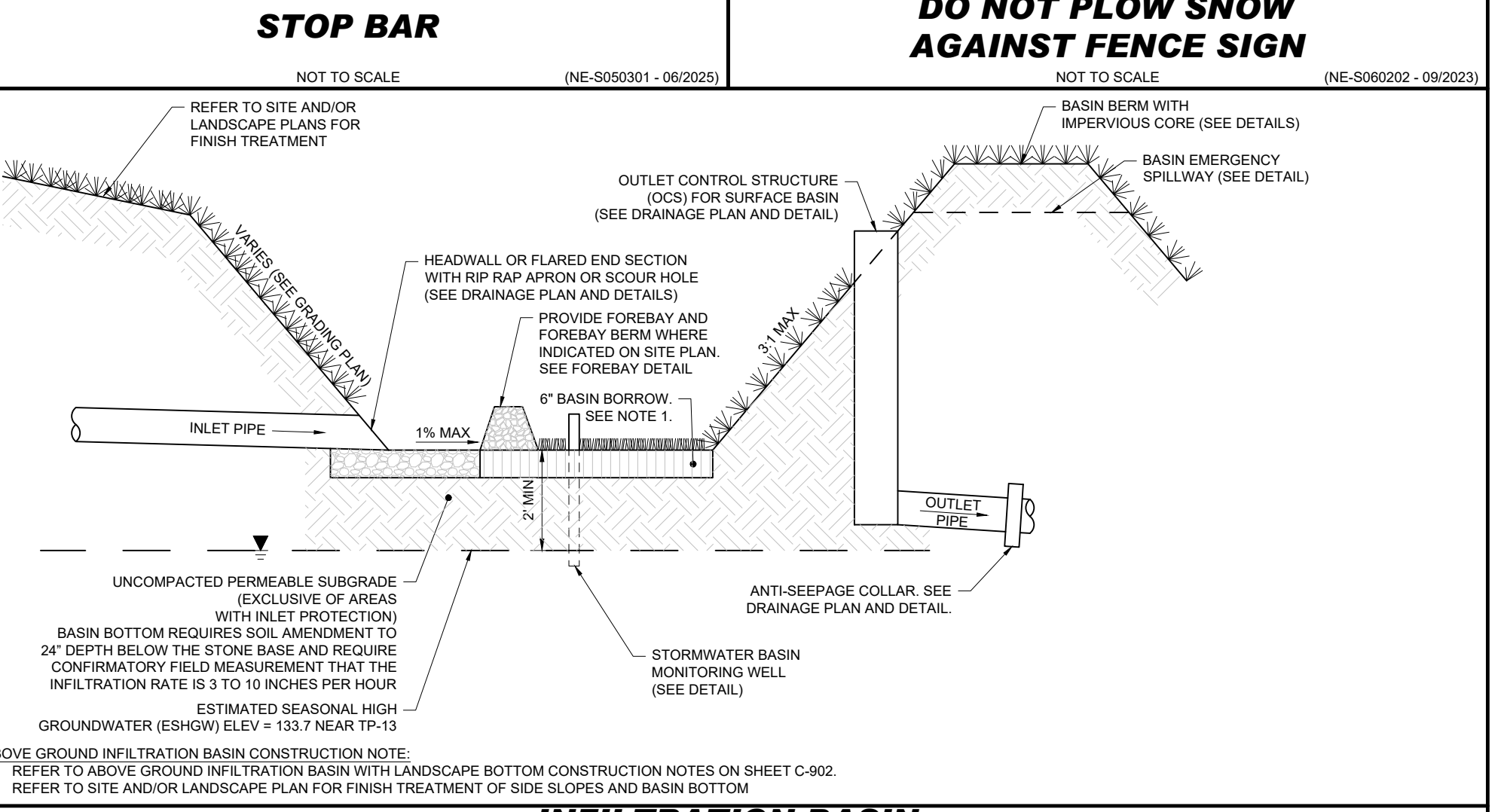
C-902

REVISION 1 - 03/24/2026



SPILLWAY DIMENSIONS AND ELEVATIONS

BASIN	TOP OF BERM ELEV A (FT)	SPILLWAY CREST ELEV B (FT)	WIDTH (W) OF SPILLWAY (FT)
P.1.1	140.75	139.75	10.0



1. THE CONTRACTOR SHALL ENSURE THAT PROPER PRECAUTIONS ARE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE INFILTRATION AREA DURING CONSTRUCTION.

2. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY IF SOIL CONDITIONS ENCOUNTERED IN THE FIELD DIFFER FROM WHAT IS SHOWN HEREON. SUCH CONDITIONS COULD RENDER THE DESIGN HEREON INAPPROPRIATE OR INEFFECTIVE.

3. DURING CONSTRUCTION:

3.1. DURING CLEARING AND GRADING OF THE SITE, MEASURES MUST BE TAKEN TO ELIMINATE SOIL COMPACTION AT THE LOCATION OF THE PROPOSED INFILTRATION BASIN.

3.2. THE LOCATION OF THE PROPOSED INFILTRATION BASIN MUST BE CORRODED OFF DURING CONSTRUCTION TO PREVENT COMPACTION OF THE SUBSOIL BY CONSTRUCTION EQUIPMENT OR STOCKPILES.

3.3. EXCAVATION AND CONSTRUCTION OF THE INFILTRATION BASIN MUST BE PERFORMED USING EQUIPMENT PLACED OUTSIDE THE LIMITS OF THE BASIN. IF THE SIZE OF THE BASIN PRECLUDES THIS APPROACH, EXCAVATION MUST BE PERFORMED FROM THE INSIDE-OUT SUCH THAT ALL EQUIPMENT UTILIZED WITHIN THE BASIN IS AT LEAST TWO (2) FEET ABOVE THE FINAL EXCAVATION DEPTH.

3.4. EXCAVATION OF BASIN MUST EXTEND A MINIMUM OF SIX (6) INCHES BELOW THE BASIN BOTTOM IF IMPORTED MATERIAL IS TO BE UTILIZED FOR BASIN BORROW MATERIAL.

3.5. ALL EXISTING TOP SOIL SHALL BE REMOVED FROM BENEATH THE BOTTOM OF THE BASIN AND THE BOTTOM OF THE EARTH BERM MATERIAL THAT IS REMOVED MUST BE REPLACED IN ACCORDANCE WITH THIS DETAIL AND/OR PROJECT SPECIFICATION. IMPORTED MATERIAL MUST BE FREE OF DEBRIS AND OTHER DELETERIOUS MATERIAL. MATERIAL MUST BE PLACED TO AVOID COMPACTION OF SOILS AND ALLOW FOR INFILTRATION OF STORMWATER.

3.6. THE USE OF THE LOCATION PROPOSED FOR AN INFILTRATION BASIN AS A SEDIMENT BASIN DURING CONSTRUCTION IS STRICTLY PROHIBITED UNLESS OTHERWISE NOTED ON THE PLANS.

3.7. THE BASIN BOTTOM SHALL BE CLEARED OF SEDIMENT AND UNSUITABLE MATERIALS MUST BE REMOVED PRIOR TO FINAL EXCAVATION. THE EXCAVATION TO FINAL SUBSOIL DEPTH AND INSTALLATION OF THE BASIN BORROW MATERIAL, IF APPLICABLE, TO THE FINAL DESIGN ELEVATION OF THE INFILTRATION BASIN BOTTOM MAY ONLY OCCUR AFTER ALL SITE CONSTRUCTION WITHIN ITS DRAINAGE AREA IS COMPLETED AND THE DRAINAGE AREA, INCLUDING THE BASIN SIDE SLOPES, IS STABILIZED.

3.8. SHOULD CONSTRUCTION SEQUENCING NOT ALLOW FOR TEMPORARY STORMWATER MANAGEMENT MEASURES TO BE INSTALLED PRIOR TO BASIN CONSTRUCTION, SEDIMENT BARRIERS MUST BE PLACED AROUND THE ENTIRE PERIMETER OF THE BASIN DURING ALL PHASES OF CONSTRUCTION TO DIVERT ALL FLOWS AWAY FROM THE BASIN. INLET FOREBAYS (CONSTRUCTED USING SEDIMENT BARRIERS) MUST BE PLACED AROUND ALL BASIN INLET PIPES. THE SEDIMENT BARRIERS REQUIRED HEREIN MAY NOT BE REMOVED UNTIL ALL SITE CONSTRUCTION WITHIN THE BASIN DRAINAGE AREA IS COMPLETED, AND THE DRAINAGE AREA, INCLUDING THE BASIN SIDE SLOPES, IS STABILIZED.

3.9. IF APPLICABLE, EXCAVATIONS TO REMOVE EXISTING HYDRAULICALLY RESTRICTIVE MATERIAL BELOW THE BASIN SHALL EXTEND A MINIMUM OF TWO (2) FEET BELOW SAID RESTRICTIVE MATERIAL AND REMOVAL OF THE MATERIAL SHALL BE WITNESSED AND CERTIFIED BY A LICENSED PROFESSIONAL.

3.10. REPLACEMENT OF OVER EXCAVATED MATERIAL MUST CONSIST OF COARSE SAND IN ACCORDANCE WITH AASHTO M-4 OR ASTM C-33, MEETING AGGREGATE GRADATION SIZE NO. 10 (AASHTO M-43), AND MEETING A MINIMUM TESTED PERMEABILITY RATE OF 8.27 INCHES PER HOUR, AS CERTIFIED BY AN ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE. CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD A SUBMITTAL CONFIRMING THE ABOVE REQUIREMENTS ARE MET.

3.11. ONCE THE FINAL GRADING PHASE OF A SURFACE INFILTRATION BASIN IS REACHED, THE BOTTOM OF THE BASIN MUST BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW AND THEN SMOOTHED OUT WITH A LEVELING DRAG OR EQUIVALENT GRADING EQUIPMENT. THESE PROCEDURES SHOULD PREFERABLY BE PERFORMED WITH EQUIPMENT LOCATED OUTSIDE THE BASIN BOTTOM. IF THIS IS NOT POSSIBLE, IT SHOULD BE PERFORMED WITH LIGHT WEIGHT, RUBBER-TYRED EQUIPMENT OR EQUIVALENT.

3.12. INFILTRATION BASIN BORROW MATERIAL SPECIFICATION LOAMY SAND AS PLOTTED ON THE NRCS SOIL TEXTURAL TRIANGLE WITH A MINIMUM TESTED PERMEABILITY OF 3.00 INCHES PER HOUR, AS CERTIFIED BY AN ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE. CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD A SUBMITTAL CONFIRMING THE ABOVE REQUIREMENTS ARE MET.

3.13. THE GATE VALVE, IF APPLICABLE, SEE DETAIL WITHIN THE OUTLET CONTROL STRUCTURE SHALL REMAIN CLOSED AT ALL TIMES, EXCEPT FOR PERIODS OF MAINTENANCE.

4. POST-CONSTRUCTION:

4.1. UPON COMPLETION OF THE BASIN, THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH AN AS-BUILT TOPOGRAPHIC SURVEY OF THE BASIN PREPARED BY A STATE OF NEW HAMPSHIRE LICENSED PROFESSIONAL SURVEYOR. THE SURVEY SHALL INCLUDE ALL INFORMATION NECESSARY FOR THE ENGINEER OF RECORD TO REVIEW AND CONFIRM THE BASIN DESIGN INCLUDING, BUT NOT LIMITED TO, CONTOURS IN ONE-FOOT INTERVALS OF THE ENTIRE BASIN AND FOREBAY (IF APPLICABLE), TOP OF BERM ELEVATIONS, EMERGENCY BASIN SPILLWAY LOCATIONS AND ELEVATIONS, BOTTOM OF BASIN ELEVATIONS, AND ALL INFORMATION PERTAINING TO THE OUTLET CONTROL STRUCTURE(S) AND/OR OUTLET PIPES, INCLUDING ORIFICE AND WEIR SIZES AND ELEVATIONS AS APPLICABLE. ADDITIONALLY, THE OUTLET PIPE AND IMMEDIATE DOWNSTREAM DRAINAGE STRUCTURE(S) UP TO AND INCLUDING THE POINT OF DISCHARGE SHALL BE INCLUDED IN THE AS-BUILT SURVEY.

ABOVE GROUND INFILTRATION BASIN WITH LANDSCAPE BOTTOM CONSTRUCTION NOTES
 NOT TO SCALE (NE-G010305 - 11/2025)

APPROVAL BLOCK

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DETAILS BY OTHERS DISCLAIMER

DETAIL REFERENCE:
 DETAIL PROVIDED/PREPARED BY OTHERS AND IS FROM ADS NYLOPLAST, DATED 03/14/2016. REFER TO NOTES THIS SHEET.

NYLOPLAST 15" DRAIN BASIN: 2815AG__X

(1) INTEGRATED DUCTILE IRON FRAME & GRATE TO MATCH BASIN O.D.

(2) MINIMUM PIPE BURIAL DEPTH PER PIPE MANUFACTURER RECOMMENDATION (MIN. MANUFACTURING REQ. SAME AS MIN. SUMP)

(3) VARIABLE INLET HEIGHTS AVAILABLE (ACCORDING TO PLAN/TAKE OFF)

(4) VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE: 4" - 15" FOR CORRUGATED HDPE (ADS N-12/HANCOX DUAL WALL, ADS/HANCOX SINGLE WALL), N-12 HP, PVC SEWER (EXC. SOR 30), PVC DWV (EXC. SCH 40), PVC C900/C905, CORRUGATED & RIBBED PVC

(5) ADAPTER ANGLES VARIABLE +/- 30° ACCORDING TO PLANS

(6) TRAFFIC LOADS: CONCRETE SLAB DIMENSIONS ARE FOR GUIDELINE PURPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, & OTHER APPLICABLE DESIGN FACTORS. SEE DRAWINGS NO. 700-110-111 FOR NON TRAFFIC INSTALLATION.

(7) THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS II, CLASS III, OR CLASS III MATERIAL AS DEFINED IN ASTM D2221. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2221.

(8) VARIABLE SUMP DEPTH ACCORDING TO PLANS (6" MIN. BASED ON MANUFACTURING REQ.)

GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
TRIPLE STRAIN	MEETS F-15	1596C0P	700-110-207
STANDARD	MEETS F-20	1596C0S	700-110-208
SOLID COVER	MEETS F-20	1596C0C	700-110-209
PEEBLES IRON BRONZE	N/A	1596C0B1	700-110-210
DOMES	N/A	1596C0D	700-110-211
SHOUP IN GRATE	LIGHT DUTY	1561E1	700-110-212

1 - GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-60-25, WITH THE EXCEPTION OF THE IRON GRATE.

2 - FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-60-25.

3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. PRESSURES ARE FOR BASIN OVER BY DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 700-110-140S.

4 - DRAINAGE CONNECTION STUD JOINT TIGHTNESS SHALL CONFORM TO ASTM D2221 FOR CORRUGATED HDPE (ADS N-12/HANCOX DUAL WALL), N-12 HP & PVC SEWER.

5 - ADAPTERS CAN BE INSTALLED ON ANY ANGLE 0° TO 360°, TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 700-110-140T.

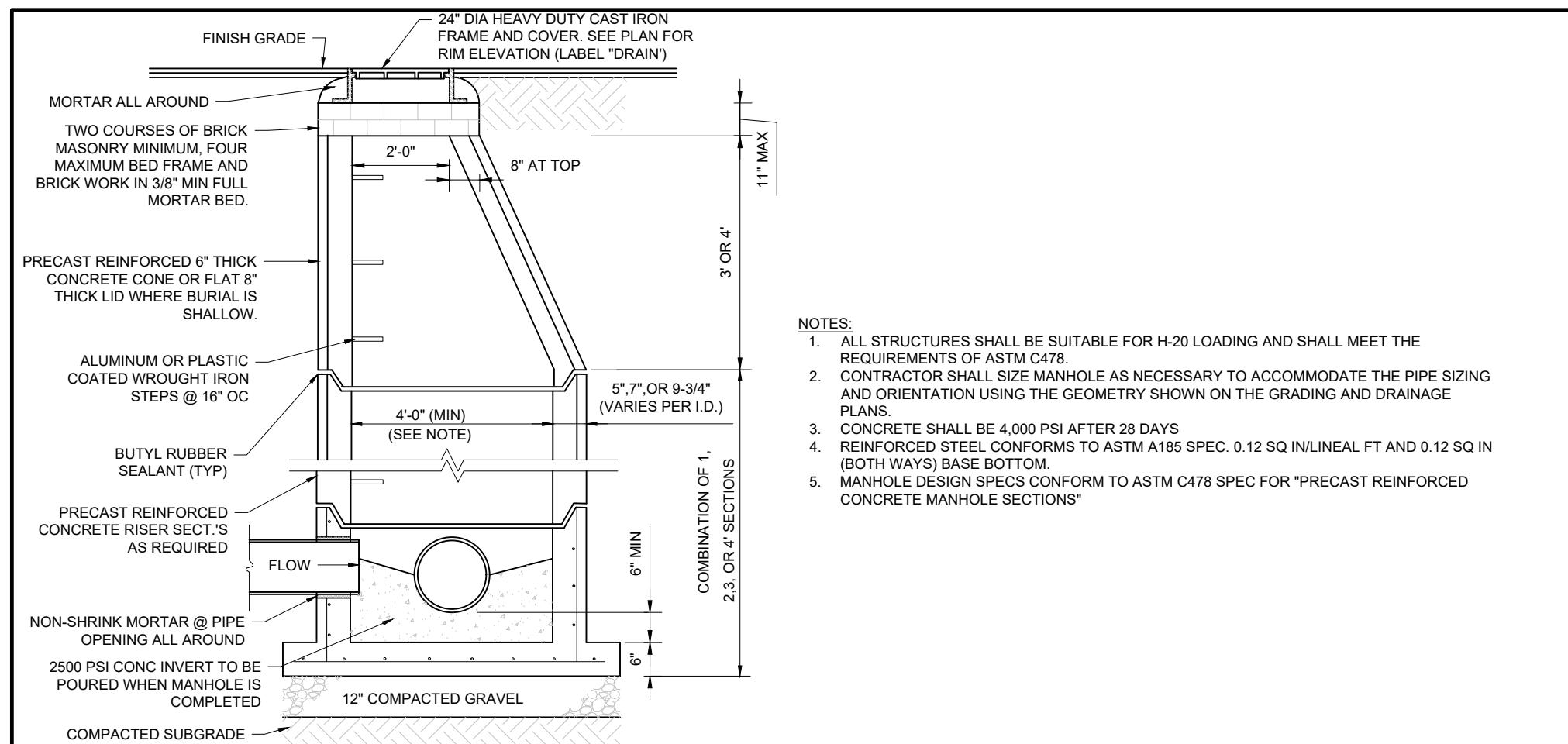
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DRAWN BY: EBC
 DATE: 03-20-06
 MATERIAL: NYLOPLAST

REVIEWED BY: MNH
 DATE: 03-14-16
 PROJECT NO: NAME

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 FAX (770) 932-2488
 www.nyloplast.com

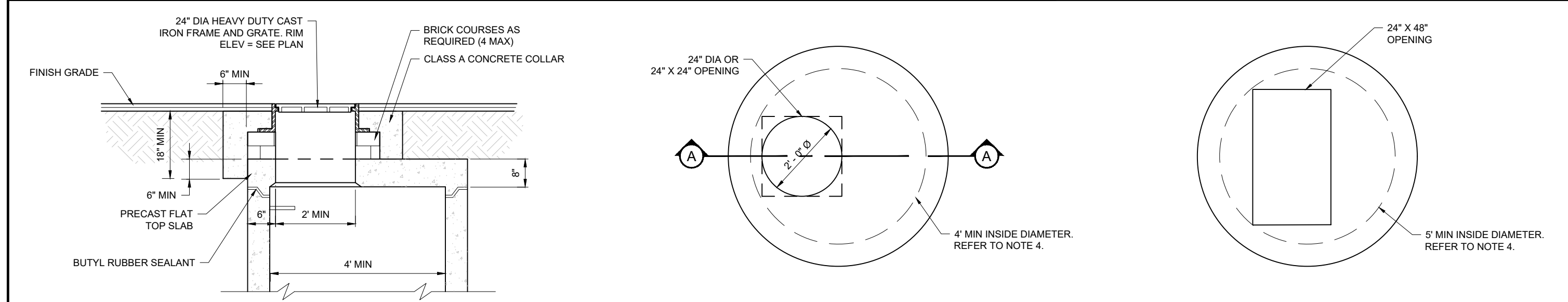
TITLE: 15 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL.
 DWG NO.: 700-110-130
 REV: E



PRECAST CONCRETE STORM DRAIN MANHOLE

NOT TO SCALE (NE-U010101 - 11/2024)

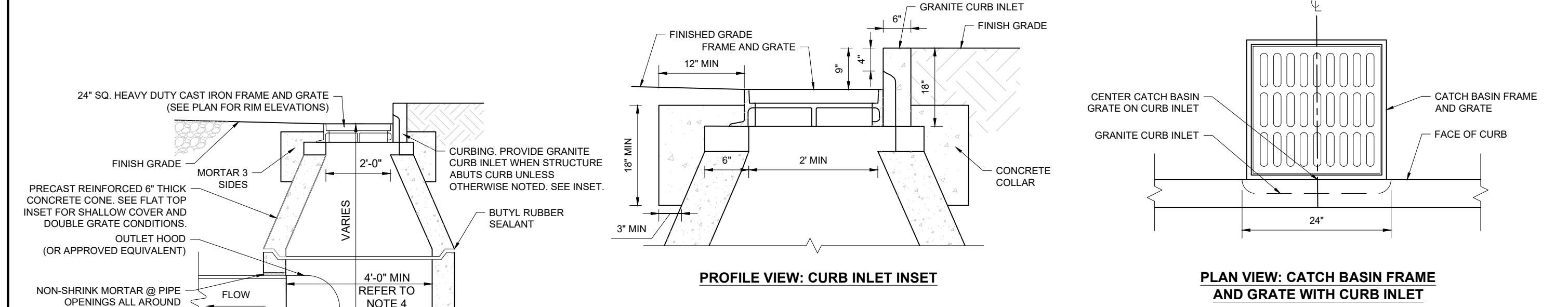
- NOTES:**
1. ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF ASTM C478.
 2. CONTRACTOR SHALL SIZE MANHOLE AS NECESSARY TO ACCOMMODATE THE PIPE SIZING AND ORIENTATION USING THE GEOMETRY SHOWN ON THE GRADING AND DRAINAGE PLANS.
 3. CONCRETE SHALL BE 4,000 PSI AFTER 28 DAYS.
 4. REINFORCED STEEL CONFORMS TO ASTM A185 SPEC. 0.12 SQ IN/LINEAL FT AND 0.12 SQ IN (BOTH WAYS) BASE BOTTOM.
 5. MANHOLE DESIGN SPECS CONFORM TO ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS"



PRECAST FLAT SLAB TOP OPTION

PLAN VIEW: SINGLE GRATE TOP SLAB

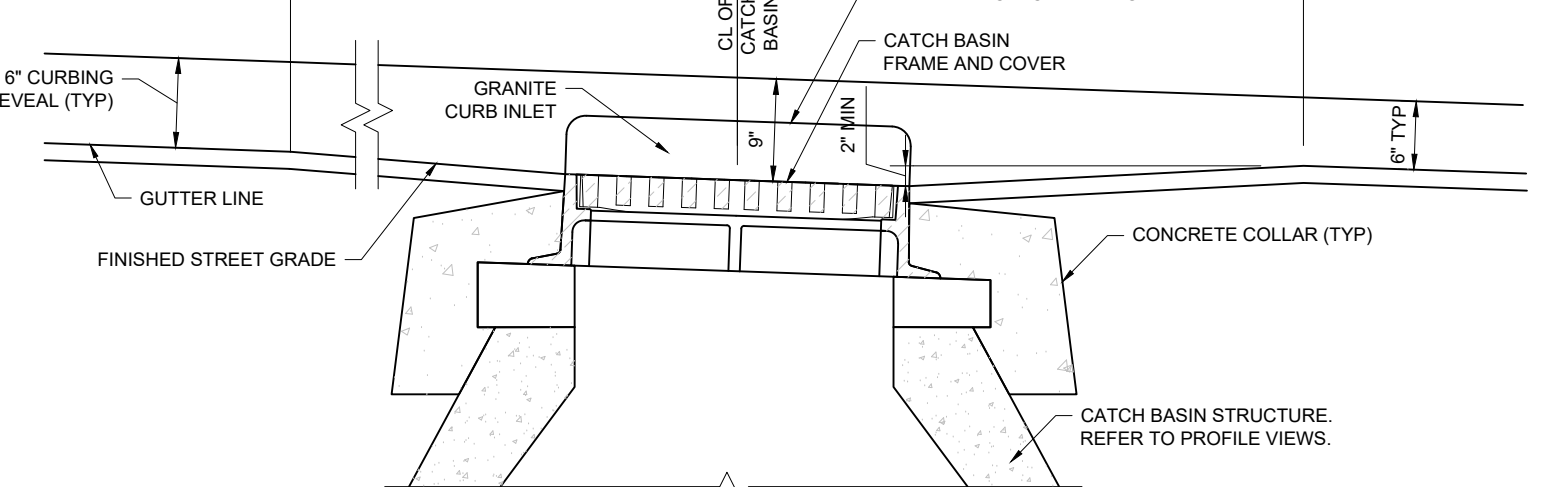
PLAN VIEW: DOUBLE GRATE TOP SLAB



PROFILE VIEW: PRECAST CONCRETE CATCH BASIN

PROFILE VIEW: CURB INLET INSET

PLAN VIEW: CATCH BASIN FRAME AND GRATE WITH CURB INLET



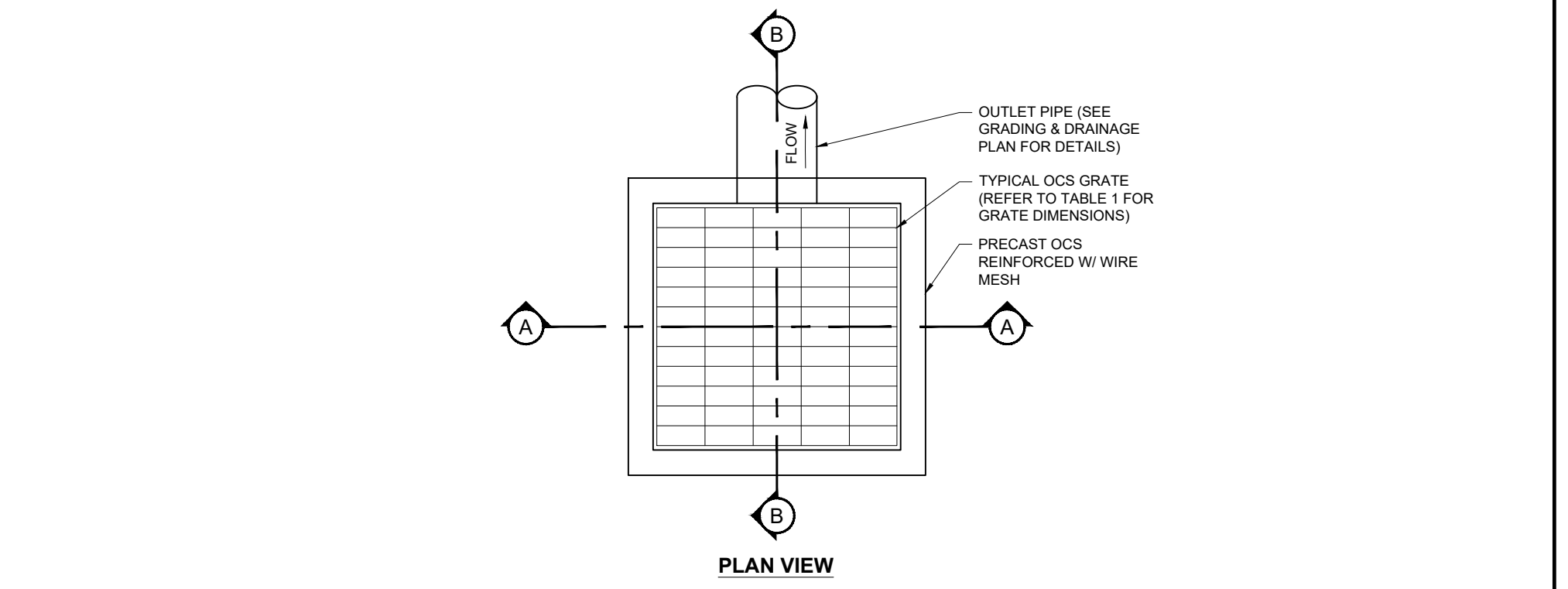
PROFILE VIEW: ALONG GUTTER LINE

PRECAST CONCRETE CATCH BASIN

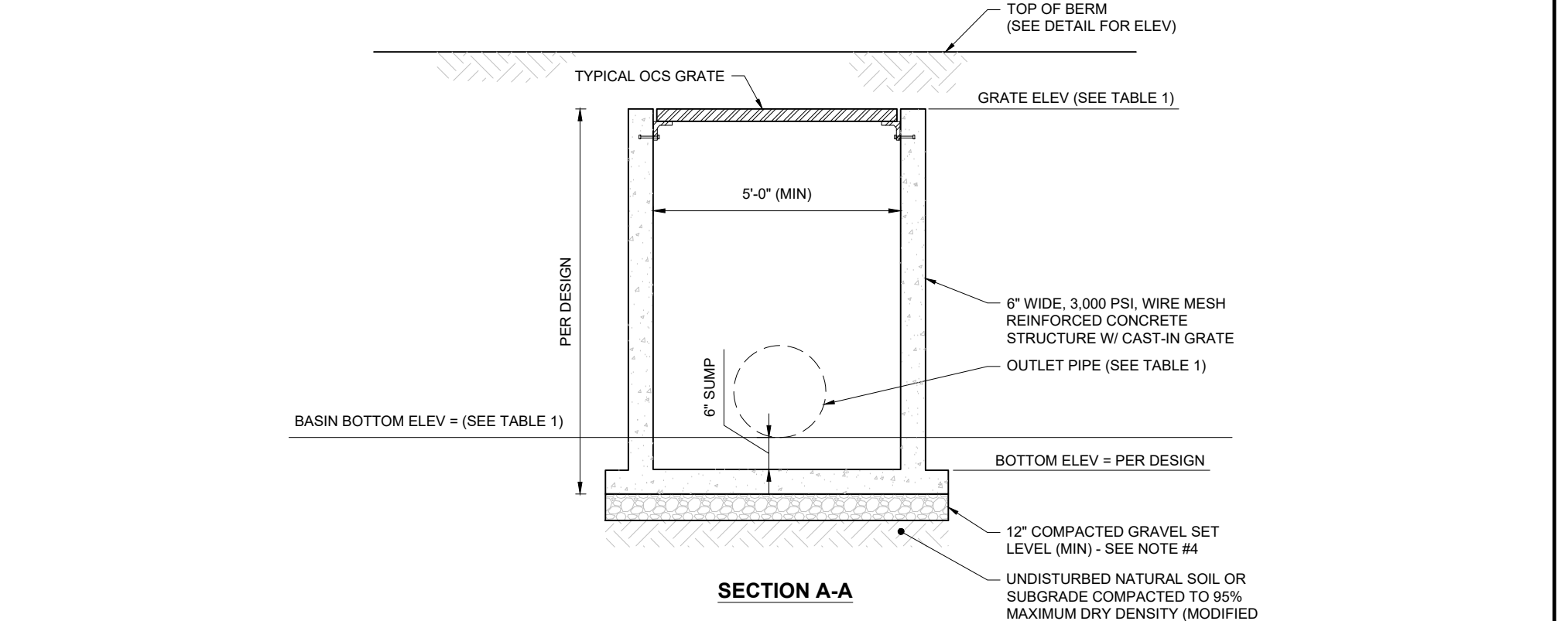
NOT TO SCALE (NE-U010201 - 11/2025)

TABLE 1: OCS DETAILS

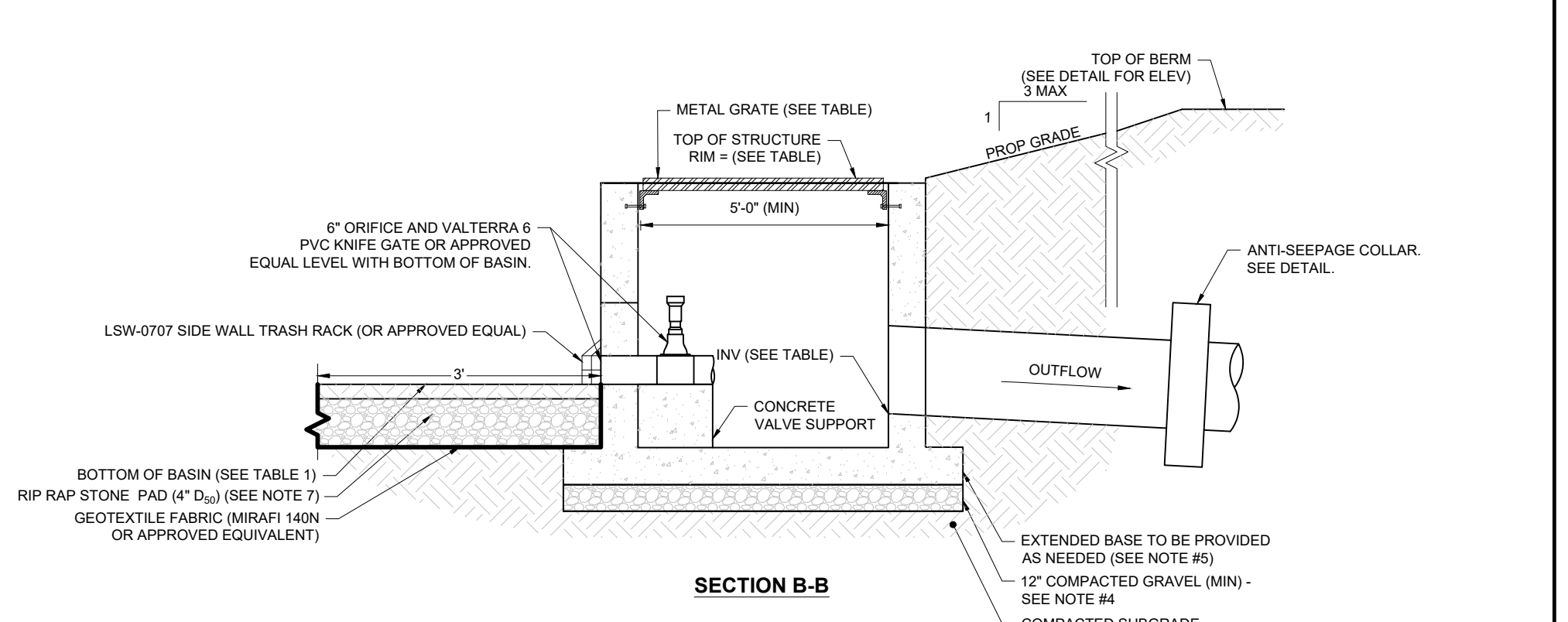
BASIN #	OCS #	GRATE ELEV	GRATE SIZE (IN)	ORIFICE SIZE (IN)	ORIFICE INV	OUTLET PIPE SIZE (IN)	OUTLET INV	BOTTOM BASIN ELEV
P1.1	B-20A	139.63	60X60	N/A	N/A	12	136.70	136.70



PLAN VIEW



SECTION A-A



SECTION B-B

- NOTES:**
1. CONTRACTOR TO SUBMIT SHOP DRAWING TO ENGINEER (BOHLER) FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
 2. IF COMPONENTS ARE PRECAST AND ATTACHED IN THE FIELD ALL JOINTS TO BE FILLED WITH NON-SHRINK GROUT. ANY BOLTS AND/OR STRAPS SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED.
 3. GENERAL CONTRACTOR TO CONSTRUCT CONCRETE OUTLET CONTROL STRUCTURE IN BASIN BERM TO MINIMIZE VISUAL REVEAL OF CONCRETE.
 4. IN LOCATIONS WHERE UTILITY TRENCHING / EXCAVATION ENCOUNTERS SUBGRADE CONDITIONS CONSISTING OF FILL OR UNSUITABLES / ORGANICS, 3'-0" OF MATERIAL SHALL BE OVER-EXCAVATED BELOW THE PIPE / STRUCTURE INVERT. TRENCH SHALL THEN BE BACKFILLED WITH CRUSHED STONE WRAPPED IN FILTER FABRIC.
 5. PRIOR TO FABRICATION CONTRACTOR SHALL PREPARE BUOYANCY CALCULATIONS AND SUBMIT DETAIL TO DESIGN ENGINEER ACCOUNTING FOR PROPER BUOYANCY PROVISIONS BASED ON SITE SPECIFIC GROUNDWATER CONDITIONS.
 6. CONTRACTOR SHALL SIZE STRUCTURE AS NECESSARY TO ACCOMMODATE THE PROPOSED PIPE SIZES AND PENETRATIONS USING GEOMETRY SHOWN ON THE GRADING AND DRAINAGE PLANS AS WELL AS INFORMATION PROVIDED IN THIS DETAIL.
 7. TOP OF STONE PAD SHALL BE SET LEVEL WITH MAINTENANCE OUTLET AND SHALL EXTEND FOR THE FULL WIDTH OF THE STRUCTURE.

OUTLET CONTROL STRUCTURE (OCS) FOR ABOVE GROUND BASINS

NOT TO SCALE (NE-U010104 - 11/2025)

BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	03/24/2026	TOWN & PEER REVIEW COMMENTS	MJW	KWC

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 THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.
 PROJECT No.: NHA250020.01-1A
 DRAWN BY: MJW
 CHECKED BY: KWC
 DATE: 01/23/2026
 CAD I.D.: P-CIVIL-CNSD

SITE DEVELOPMENT PLANS
 FOR
Where Restaurant's DREAM
 PROPOSED RESTAURANT DEPOT
 273 LOWELL ROAD
 HUDSON, NEW HAMPSHIRE
 PARCEL ID: 234-034-000

BOHLER
 3 EXECUTIVE PARK DRIVE FLOOR 2
 BEDFORD, NH 03110
 Phone: (603) 441-2900
 www.BohlerEngineering.com

JAMES BOHLER
 PROFESSIONAL ENGINEER
 No. 15476
 EXPIRES 12/31/27
 RICKS 12/18
 MAINE 12553

SHEET TITLE:
CONSTRUCTION DETAILS
 SHEET NUMBER:
C-903
 REVISION 1 - 03/24/2026

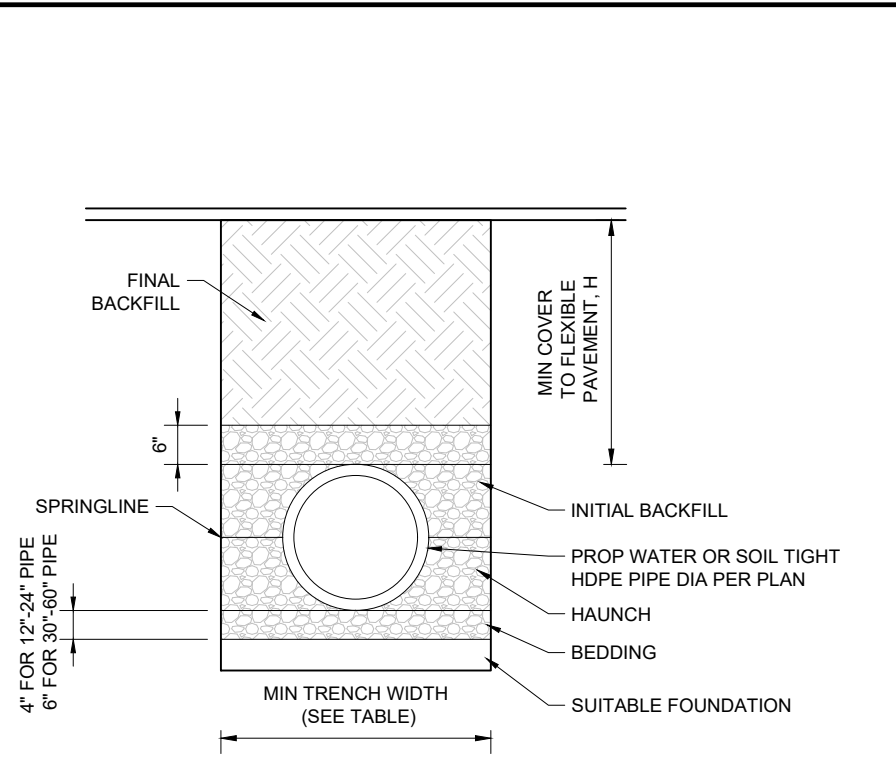
APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN	SIGNATURE	DATE
PLANNING BOARD SECRETARY	SIGNATURE	DATE

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

Mar 23, 2026
 BOHLER ENGINEERING PROJECTS/2025/NHA250020.01/CAD/DRAWINGS/PLAN SETS/CIVIL SITE PLANS/P-CIVIL-CNSD-NHA250020.01-1A-LAYOUT-C-903 DETL (DRWG)

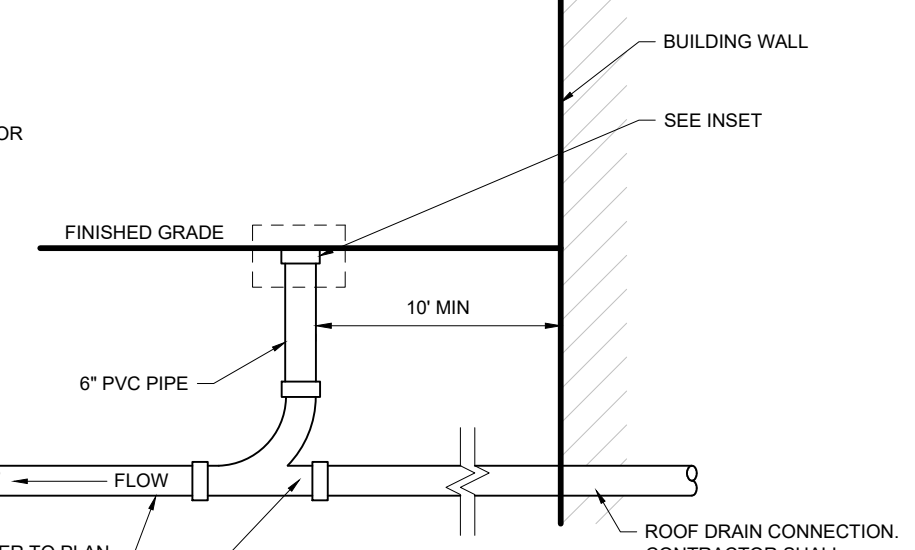
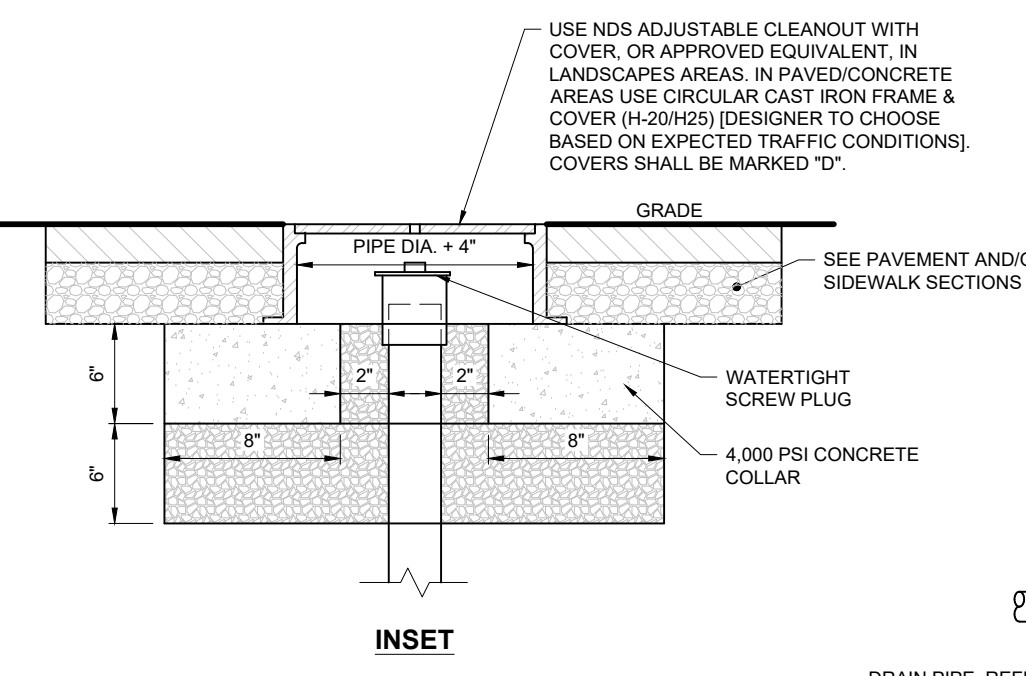


PIPE DIA	MIN TRENCH WIDTH
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
48"	80"
60"	96"

- NOTES:**
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS" LATEST EDITION.
 - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL WHEN REQUIRED.
 - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
 - BEDDING: SUITABLE MATERIAL SHALL BE CLASS II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm), 6" (150mm) FOR 30"-60" (750mm-900mm).
 - INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6' ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
 - MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-80" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

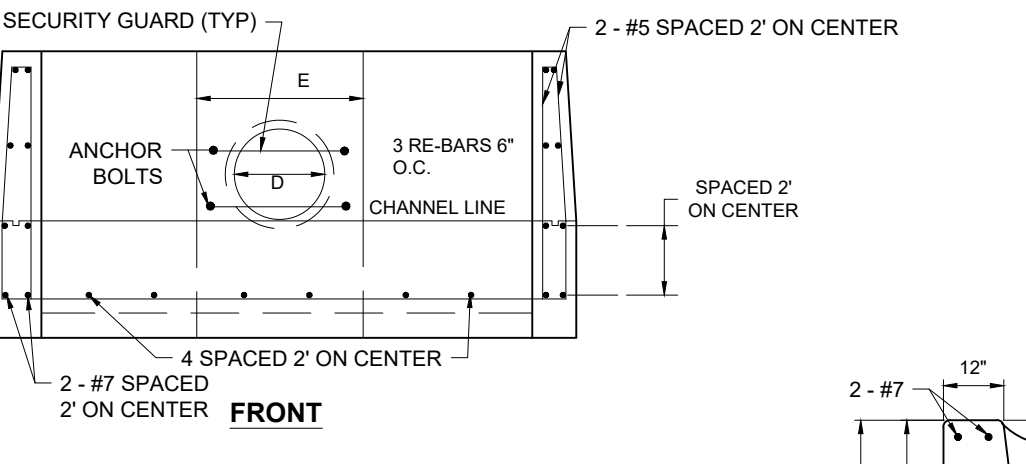
HDPE STORM PIPE TRENCH
NOT TO SCALE

(NE-U019812 - 11/2024)



ROOF DRAIN CONNECTION
NOT TO SCALE

(NE-U019905 - 09/2025)



D	E	F	G	H	L
12"	2'-0"	2'-10"	2'-0"	2'-6"	1'-0"
15"	2'-3"	3'-2"	2'-3"	2'-9"	1'-1"
18"	2'-6"	3'-7"	2'-6"	12"	1'-2"
21"	2'-9"	3'-11"	2'-9"	12"	1'-3"
24"	3'-0"	5'-0"	3'-0"	3'-6"	1'-4"
27"	3'-3"	5'-4"	3'-3"	3'-9"	1'-5"
30"	4'-0"	5'-8"	4'-0"	4'-0"	1'-6"
33"	4'-3"	6'-0"	4'-3"	4'-3"	1'-7"
36"	4'-6"	6'-4"	4'-6"	4'-6"	1'-8"
39"	4'-9"	6'-9"	4'-9"	4'-9"	1'-9"
42"	5'-0"	7'-1"	5'-0"	5'-0"	1'-10"
48"	5'-6"	7'-9"	5'-6"	5'-6"	2'-0"

SELECTION A-A
HEADWALL
NOT TO SCALE

(NE-U010404 - 09/2023)

- NOTES REGARDING DETAILS BY OTHERS:**
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 - REFER TO OUTSIDE SOURCE NOTES ON THE GENERAL NOTES AND LEGEND SHEET.
 - WHEN THE SOURCE OF THE DETAIL IS A REVIEWING/REGULATORY AGENCY, FABRICATION AND INSTALLATION SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS AND SPECIFICATIONS. WHEN APPROPRIATE, SHOP DRAWINGS SHALL BE FORWARDED TO THE REVIEWING/REGULATORY AGENCY PRIOR TO FABRICATION.

DETAIL REFERENCE:
DETAIL PROVIDED/PREPARED BY OTHERS AND IS FROM CONTECH ENGINEERED SOLUTIONS, LLC. RECEIVED 03/20/2026. REFER TO NOTES THIS SHEET.

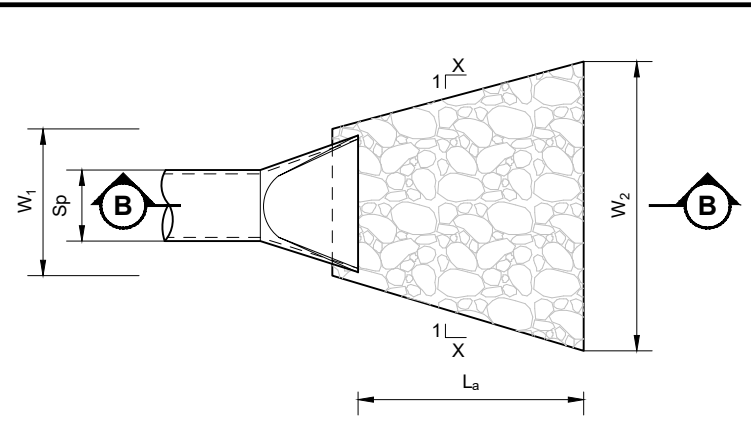
DETAILS BY OTHERS DISCLAIMER

APPROVAL BLOCK

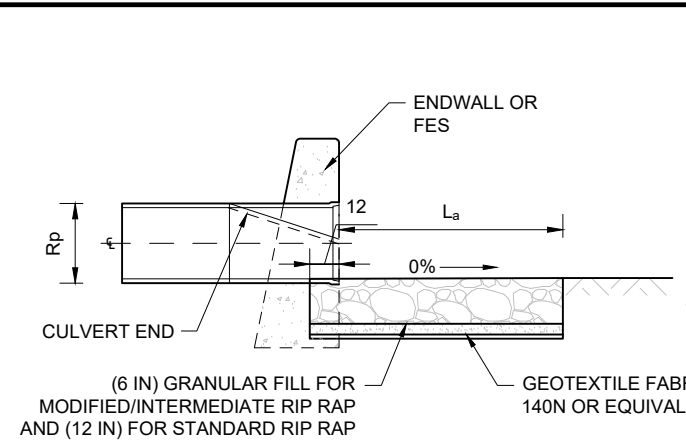
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN	SIGNATURE DATE
PLANNING BOARD SECRETARY	SIGNATURE DATE

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



RIP RAP APRON PLAN VIEW



RIP RAP APRON SECTION B-B

- NOTES:**
- THE RIP RAP USED FOR CONSTRUCTION SHALL CONFORM TO THE SPECIFIED MATERIAL.
 - GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL OVERLAPS SHALL BE SEALED AND WATER TIGHT.
 - RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZE.

RIP RAP APRON LEGEND:

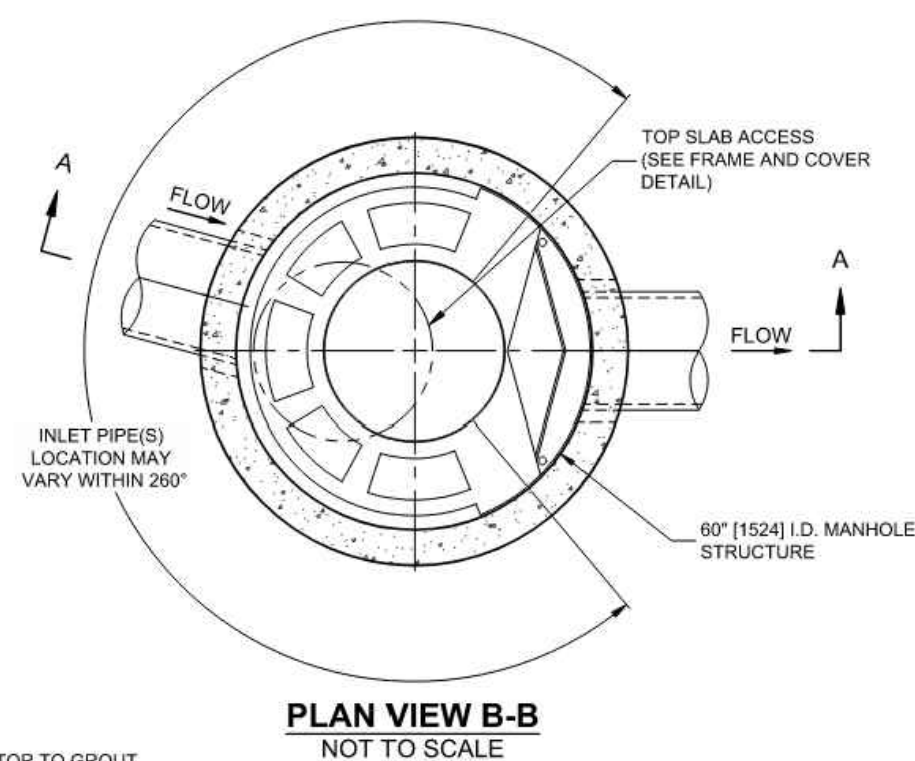
Sp = MAX INSIDE PIPE SPAN (NON-CIRCULAR SECTIONS)
Rp = INSIDE PIPE DIAMETER (CIRCULAR SECTIONS)
La = MAX INSIDE PIPE RISE (NON-CIRCULAR SECTIONS)
La = INSIDE PIPE DIAMETER (CIRCULAR SECTIONS)
La = LENGTH OF RIP RAP APRON MEASURED FROM THE END OF CULVERT END SECTION OR FACE OF ENDWALL
12 IN MODIFIED RIP RAP
18 IN INTERMEDIATE RIP RAP
36 IN STANDARD RIP RAP

	X	W1	W2
TYPE A RIP RAP APRON	3	3Sp	3Sp+0.7 La
TYPE B RIP RAP APRON	5	3Sp	3Sp+0.4 La

Location	Pipe Size (in.)	Sp (ft.)	Q (cfs)	TW (ft.)	V (fps)	W1 (ft.)	La (ft.)	W2 (ft.)	W3 (ft.)	Apron Type	Rip Rap Type
D-10*	12.00	1.00	0.10	0.13	3.37	3.00	10.00	10.00	NA	A	Modified
A-10	30.00	2.50	14.30	2.39	6.19	7.50	15.00	13.50	NA	B	Modified
B-10*	12.00	1.00	0.12	0.15	1.60	3.00	10.00	10.00	NA	A	Modified

RIP RAP APRON
NOT TO SCALE

(NE-U010412 - 07/2025)



CASCADE SEPARATOR DESIGN NOTES

THE STANDARD CS-5 CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

- GRATED INLET ONLY (NO INLET PIPE)
- GRATED INLET WITH INLET PIPE OR PIPES
- CURB INLET ONLY (NO INLET PIPE)
- CURB INLET WITH INLET PIPE OR PIPES

SITE SPECIFIC DATA REQUIREMENTS

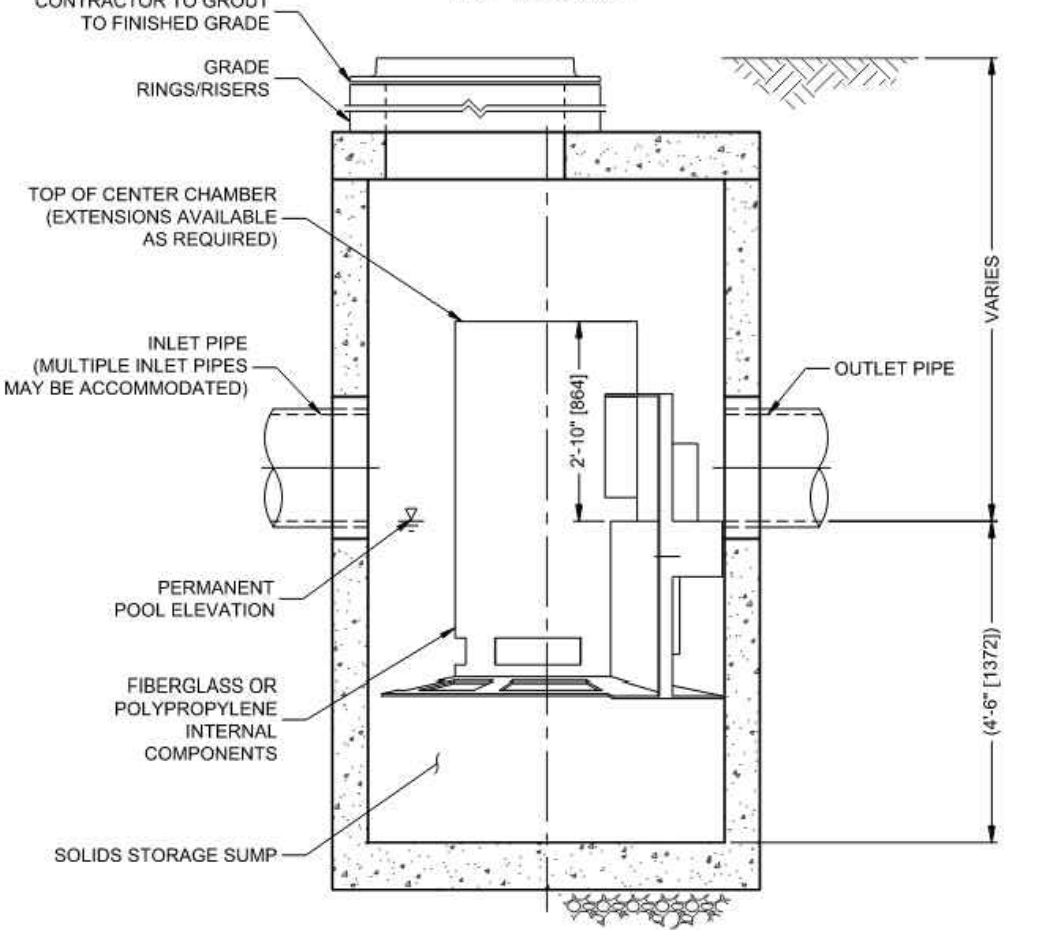
STRUCTURE ID	A-20A
WATER QUALITY FLOW RATE (cfs [L/s])	1.67
PEAK FLOW RATE (cfs [L/s])	14.56
RETURN PERIOD OF PEAK FLOW (yrs)	25
RIM ELEVATION	144.56

PIPE DATA:	INVERT	MATERIAL	DIAMETER
INLET PIPE 1	136.87	HDPE	24"
INLET PIPE 2			
OUTLET PIPE	136.87	HDPE	24"

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	C-20A
WATER QUALITY FLOW RATE (cfs [L/s])	1.609
PEAK FLOW RATE (cfs [L/s])	10.13
RETURN PERIOD OF PEAK FLOW (yrs)	25
RIM ELEVATION	141.32

PIPE DATA:	INVERT	MATERIAL	DIAMETER
INLET PIPE 1	137.10	HDPE	24"
INLET PIPE 2			
OUTLET PIPE	136.86	HDPE	24"



ELEVATION A-A
NOT TO SCALE

CASCADE separator™

- GENERAL NOTES:**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
 - CASCADE SEPARATOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 - CASCADE SEPARATOR STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0'-2" (610), AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M596 AND BE CAST WITH THE CONTECH LOGO.
 - CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
 - ALTERNATE UNITS ARE SHOWN IN MILLIMETERS (mm).
- INSTALLATION NOTES:**
- ANY SUB-BASE BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADE SEPARATOR MANHOLE STRUCTURE.
 - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CONTECH ENGINEERED SOLUTIONS LLC
www.contechES.com
9100 Centre Pointe Dr., Suite 400, West Chester, OH 45399
800-338-1122 513-645-7000 513-645-7983 FAX

CS-5 CASCADE SEPARATOR STANDARD DETAIL

CONTECH CASCADE SEPARATOR (WQU)
NOT TO SCALE

BOHLER
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LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
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REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	03/24/2026	TOWN & PEER REVIEW COMMENTS	MJW	KWC

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PROJECT No.:	NHA250020.01-1A
DRAWN BY:	MJW
CHECKED BY:	KWC
DATE:	01/23/2026
CAD I.D.:	P-CIVL-CNDS

SITE DEVELOPMENT PLANS
FOR

Where Restaurants Eat
RESTAURANT DEPOT

PROPOSED RESTAURANT DEPOT
273 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
PARCEL ID: 234-034-000

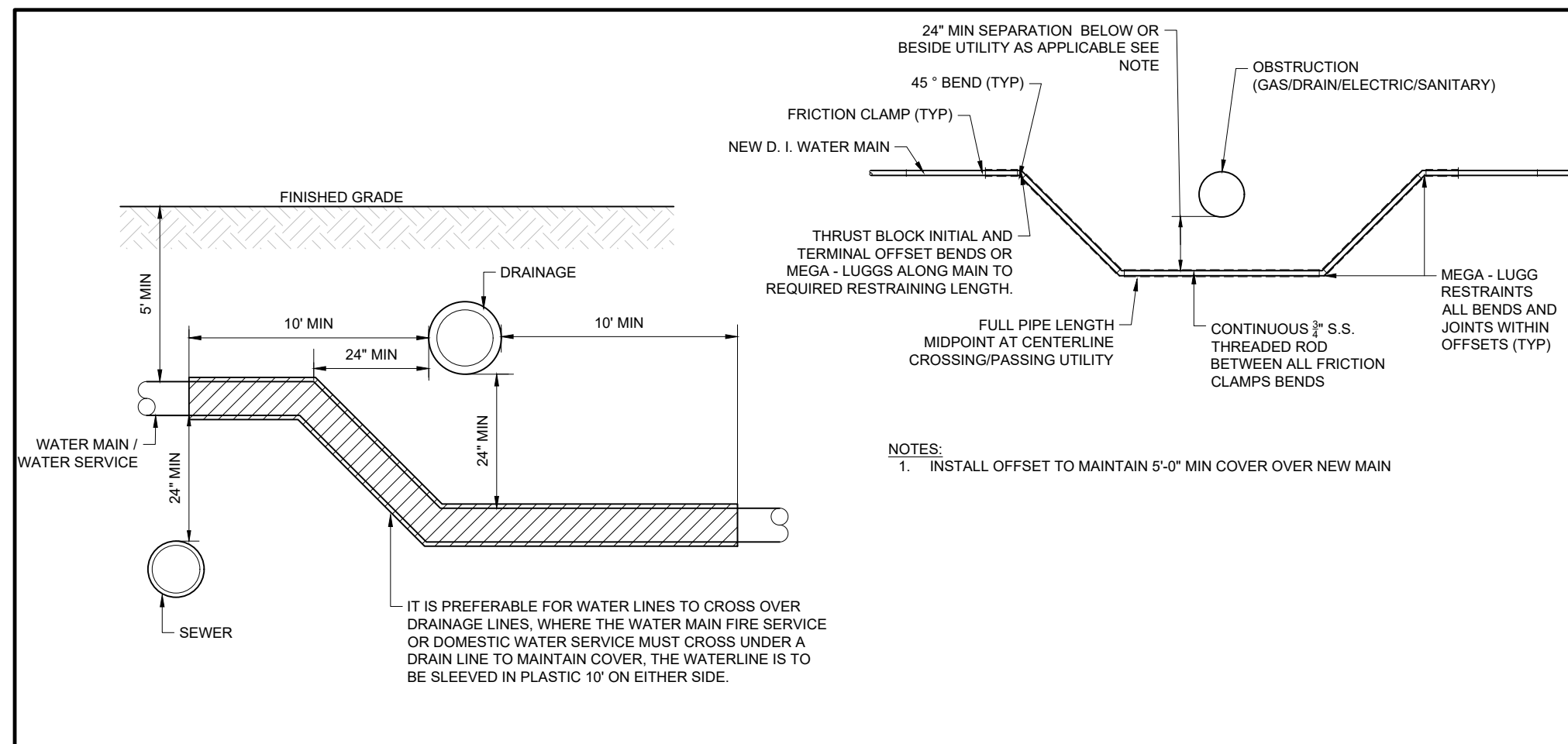
BOHLER
3 EXECUTIVE PARK DRIVE FLOOR 2
BEDFORD, NH 03110
Phone: (603) 441-2900
www.BohlerEngineering.com

JAMES W. BOHLER
Professional Engineer
No. 15476
NEW HAMPSHIRE
RECEIVED 03/20/2026
MAINE
12553

SHEET TITLE:
CONSTRUCTION DETAILS

SHEET NUMBER:
C-904

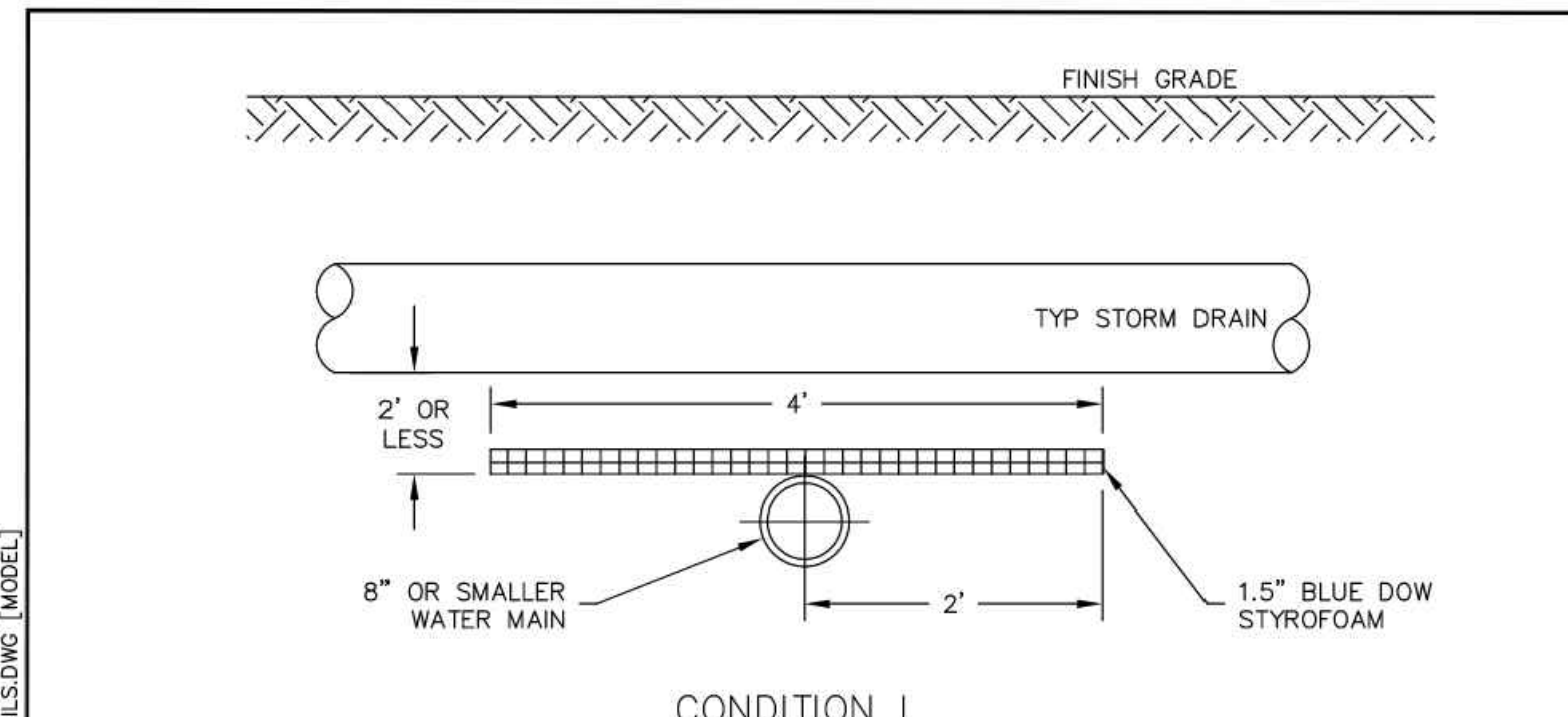
REVISION 1 - 03/24/2026



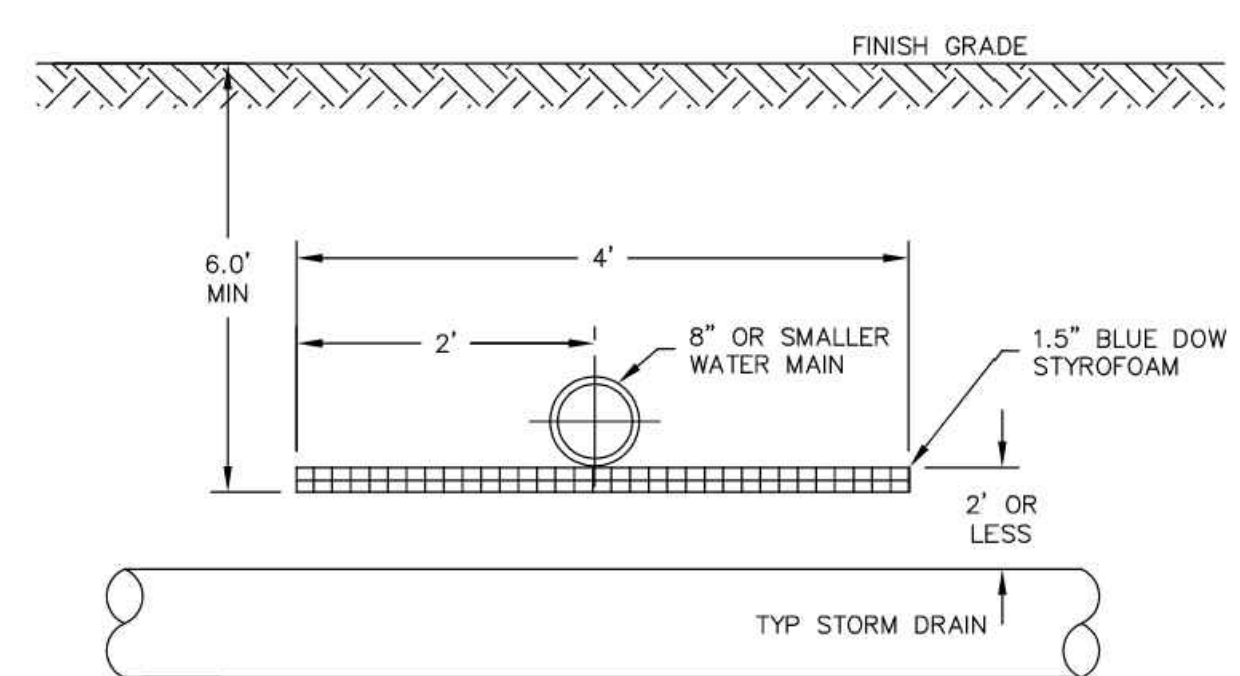
WATER SERVICE OR MAIN AT UTILITY CROSSING

NOT TO SCALE (NE-U050102 - 09/2023)

DETAIL REFERENCE:
 DETAIL PROVIDED/PREPARED BY OTHERS AND IS FROM TOWN OF HUDSON, NH, DATED 2019. REFER TO NOTES THIS SHEET.



CONDITION I



CONDITION II

- NOTES REGARDING DETAILS BY OTHERS:**
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DETAILS BY OTHERS DISCLAIMER

DRAWINGS COURTESY OF PENNICHUCK WATER WORKS.

NOTES:

1. THE TOWN OF HUDSON RESERVES THE RIGHT TO MODIFY INSULATION REQUIREMENTS AS NECESSARY BASED ON FIELD CONDITIONS, ETC.
2. THE LENGTH OR WIDTH OF INSULATION SHALL EXTEND 1 STORM DRAIN PIPE DIAMETER BEYOND THE EDGE OF STORM DRAIN PIPE IN EACH DIRECTION OR A MINIMUM OF 2' BEYOND THE CENTERLINE OF THE STORM DRAIN PIPE, WHICHEVER IS GREATER.
3. ALL BUTT JOINT SEAMS TO BE OVERLAPPED WITH A 1' PIECE OF INSULATION CENTERED OVER SEAM.

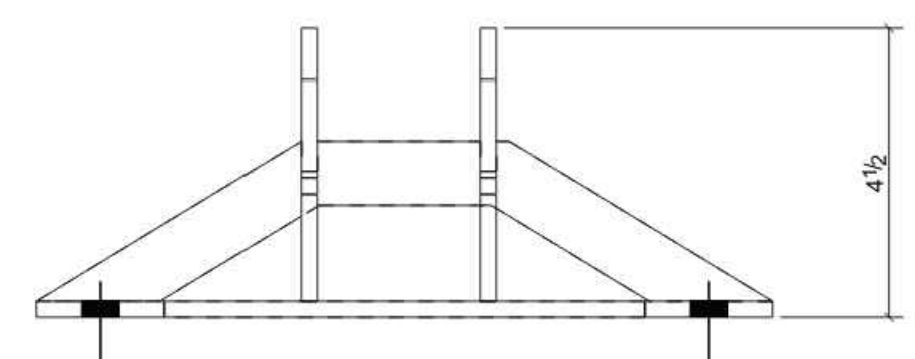
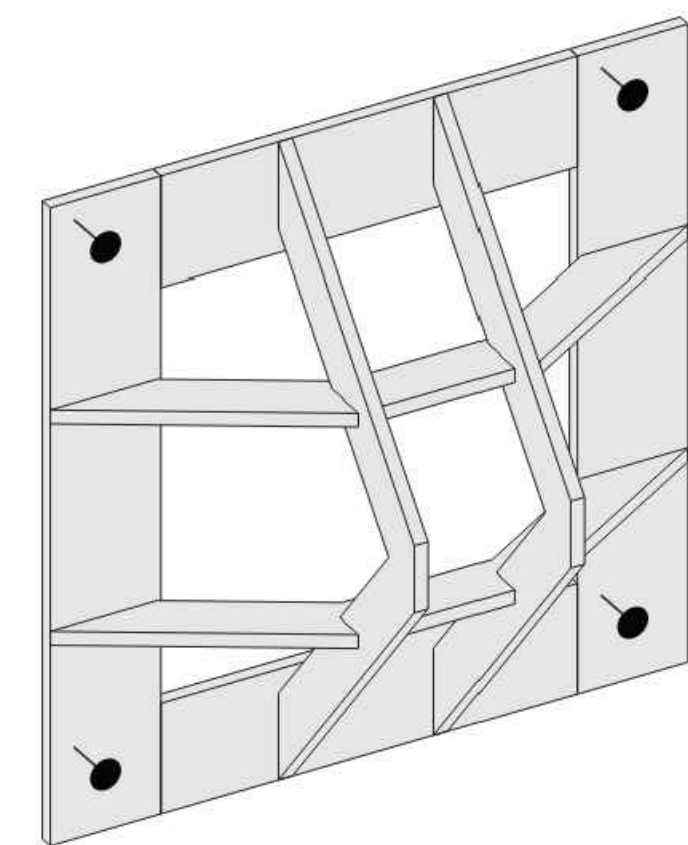
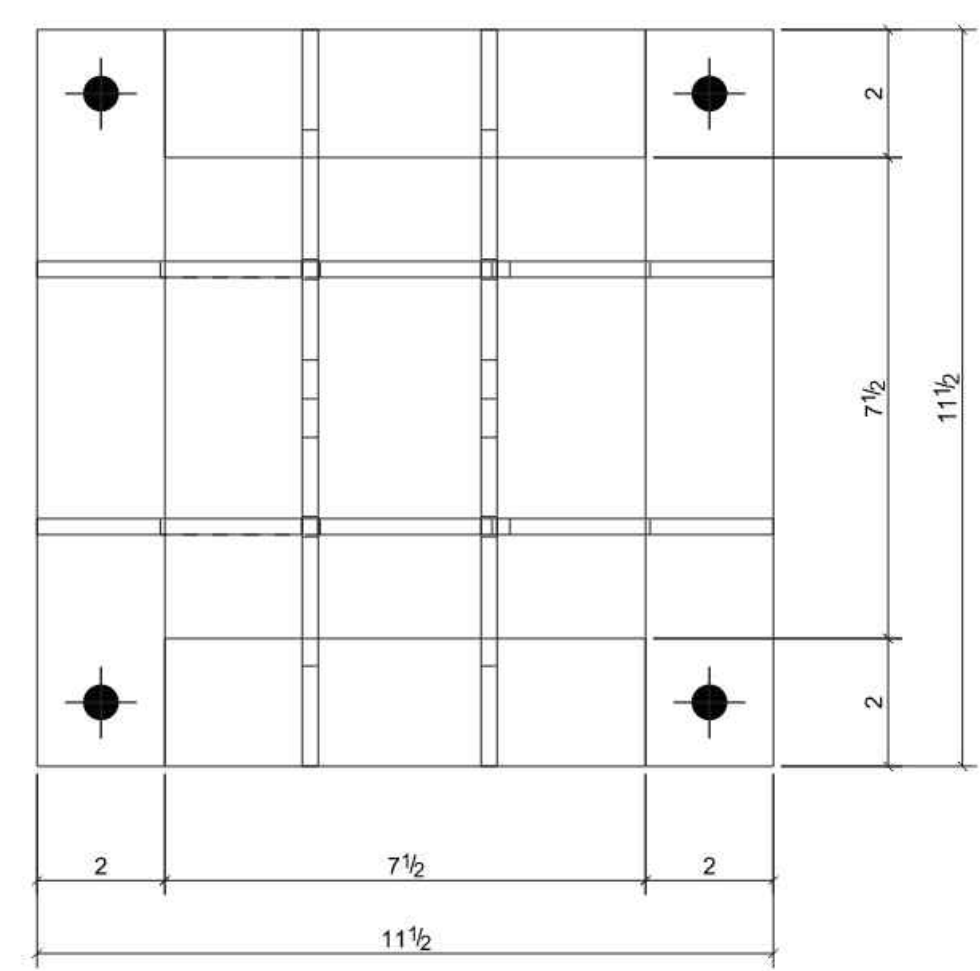
92

DRAWINGS COURTESY OF PENNICHUCK WATER WORKS.

TOWN OF HUDSON
 12 SCHOOL STREET
 HUDSON, NH 03051

DETAIL W-18
 STORM DRAIN, WATER MAIN
 INTERSECTING RUNS - ELEV. VIEW
 REV: 2019 SCALE: NTS

DETAIL REFERENCE:
 DETAIL PROVIDED/PREPARED BY OTHERS AND IS FROM TRASHRACKS.COM. DOWNLOADED ON 03/02/2026. REFER TO NOTES THIS SHEET.



PRODUCT ID	MATERIAL	COATING	WEIGHT
LSW-0707-P	ASTM A36 MILD STEEL	N/A	9 LBS.
LSW-0707-G	ASTM A36 MILD STEEL	GALVANIZED	9 LBS.
LSW-0707-PC	ASTM A36 MILD STEEL	POWDER COAT	9 LBS.
LSW-0707-SS	304 STAINLESS STEEL	N/A	9 LBS.
LSW-0707-AL	6061-T6 ALUMINUM	N/A	3 LBS.

CUSTOM SIZES AVAILABLE
 OPTIONS: HINGED ACCESS, ANTI-VORTEX PLATE

TRASHRACKS.COM
 A DIVISION OF J. R. HOE

TITLE: **LSW-0707**
 7"x7" SIDE WALL TRASH RACK
 MADE IN THE U.S.A.

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	03/24/2026	TOWN & PEER REVIEW COMMENTS	MJW	KWC

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PROJECT No.: NHA250020.01-1A
 DRAWN BY: MJW
 CHECKED BY: KWC
 DATE: 01/23/2026
 CAD I.D.: P-CIVIL-CNDS

PROJECT:

SITE DEVELOPMENT PLANS

FOR

PROPOSED RESTAURANT DEPOT

273 LOWELL ROAD
 HUDSON, NEW HAMPSHIRE
 PARCEL ID: 234-034-000

BOHLER

3 EXECUTIVE PARK DRIVE FLOOR 2
 BEDFORD, NH 03110
 Phone: (603) 441-2900
 www.BohlerEngineering.com

SHEET TITLE:
CONSTRUCTION DETAILS

SHEET NUMBER:
C-906

REVISION 1 - 03/24/2026

Mar 23, 2026 10:08 AM BOHLER ENGINEERING PROJECTS/2025/NHA250020.01/CADD/DRAWINGS/PLAN SETS/CIVIL SITE PLANS/P-CIVIL-CNDS-NHA250020.01-1A-1-LAYOUT-C-906 DETL (UTL)

APPROVAL BLOCK

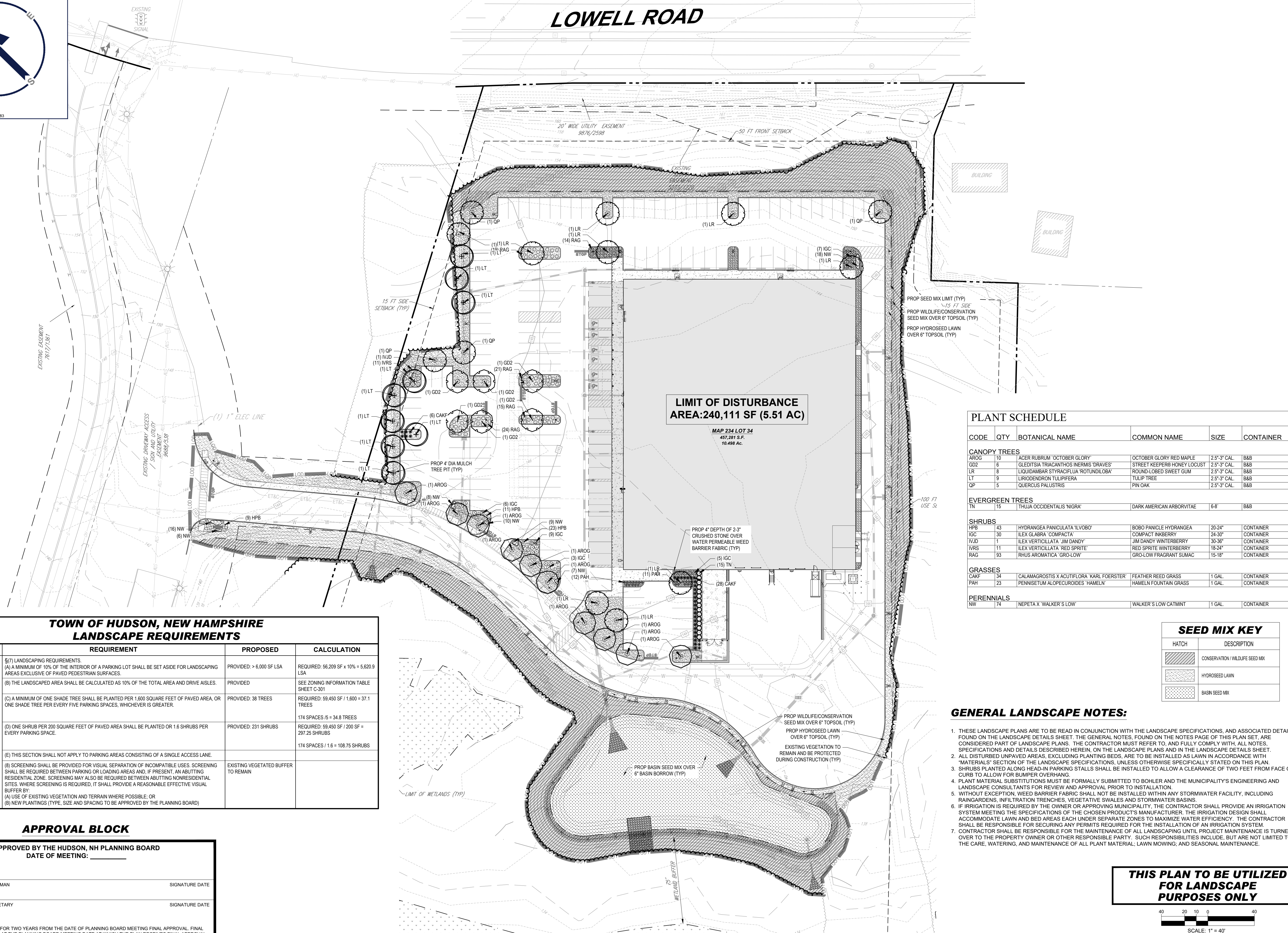
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN	SIGNATURE	DATE
PLANNING BOARD SECRETARY	SIGNATURE	DATE

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



LOWELL ROAD



**LIMIT OF DISTURBANCE
AREA: 240,111 SF (5.51 AC)**

MAP 234 LOT 34
477,281 S.F.
10.488 Ac.

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CANOPY TREES					
AROG	10	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5'-3" CAL	B&B
GD2	6	GLEDTISIA TRIANTHOS INERMIS 'DRAVES'	STREET KEEPER® HONEY LOCUST	2.5'-3" CAL	B&B
LR	6	LIQUIDAMBAR STYRACIFLUA ROTUNDILOBA*	ROUND-LEAVED SWEET GUM	2.5'-3" CAL	B&B
LT	9	LIRIODENDRON TULIPIFERA	TULIP TREE	2.5'-3" CAL	B&B
QP	5	QUERCUS FALLOSTRIS	PIN OAK	2.5'-3" CAL	B&B
EVERGREEN TREES					
TN	15	THUJA OCCIDENTALIS 'NIGRA'	DARK AMERICAN ARBORVITAE	6-8'	B&B
SHRUBS					
HPB	143	HYDRANGEA PANICULATA 'L'VBOB'	BOBO PANICLE HYDRANGEA	20-24"	CONTAINER
IGC	30	ILEX GLABRA 'COMPACTA'	COMPACT INGBERRY	24-30"	CONTAINER
IVD	11	ILEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERBERRY	30-36"	CONTAINER
IVRS	11	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	18-24"	CONTAINER
RAG	93	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	15-18"	CONTAINER
GRASSES					
CAKF	34	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL	CONTAINER
PAH	23	PENNISETUM ALPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	1 GAL	CONTAINER
PERENNIALS					
NW	74	NEPETA X 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL	CONTAINER

SEED MIX KEY

HATCH	DESCRIPTION
	CONSERVATION / WILDLIFE SEED MIX
	HYDROSEEDED LAWN
	BASIN SEED MIX

GENERAL LANDSCAPE NOTES:

- THESE LANDSCAPE PLANS ARE TO BE READ IN CONJUNCTION WITH THE LANDSCAPE SPECIFICATIONS, AND ASSOCIATED DETAILS FOUND ON THE LANDSCAPE DETAILS SHEET. THE GENERAL NOTES, FOUND ON THE NOTES PAGE OF THIS PLAN SET, ARE CONSIDERED PART OF LANDSCAPE PLANS. THE CONTRACTOR MUST REFER TO, AND FULLY COMPLY WITH, ALL NOTES, SPECIFICATIONS AND DETAILS DESCRIBED HEREIN, ON THE LANDSCAPE PLANS AND IN THE LANDSCAPE DETAILS SHEET.
- ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH "MATERIALS" SECTION OF THE LANDSCAPE SPECIFICATIONS, UNLESS OTHERWISE SPECIFICALLY STATED ON THIS PLAN.
- SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUMPER OVERHANG.
- PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER AND THE MUNICIPALITY'S ENGINEERING AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE INSTALLED WITHIN ANY STORMWATER FACILITY, INCLUDING RAINGARDENS, INFILTRATION TRENCHES, VEGETATIVE SWALES AND STORMWATER BASINS.
- IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE CHOSEN PRODUCT'S MANUFACTURER. THE IRRIGATION DESIGN SHALL ACCOMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN IRRIGATION SYSTEM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL PROJECT MAINTENANCE IS TURNED OVER TO THE PROPERTY OWNER OR OTHER RESPONSIBLE PARTY. SUCH RESPONSIBILITIES INCLUDE, BUT ARE NOT LIMITED TO, THE CARE, WATERING, AND MAINTENANCE OF ALL PLANT MATERIAL, LAWN MOWING, AND SEASONAL MAINTENANCE.

TOWN OF HUDSON, NEW HAMPSHIRE LANDSCAPE REQUIREMENTS

SECTION	REQUIREMENT	PROPOSED	CALCULATION
SITE PLAN REVIEW - ARTICLE I: GENERAL PROVISIONS	§(7) LANDSCAPING REQUIREMENTS. (A) A MINIMUM OF 10% OF THE INTERIOR OF A PARKING LOT SHALL BE SET ASIDE FOR LANDSCAPING AREAS EXCLUSIVE OF PAVED PEDESTRIAN SURFACES.	PROVIDED: > 6,000 SF LSA	REQUIRED: 56,209 SF x 10% = 5,620.9 LSA
	(B) THE LANDSCAPED AREA SHALL BE CALCULATED AS 10% OF THE TOTAL AREA AND DRIVE AISLES.	PROVIDED	SEE ZONING INFORMATION TABLE SHEET C-301
	(C) A MINIMUM OF ONE SHADE TREE SHALL BE PLANTED PER 1,600 SQUARE FEET OF PAVED AREA, OR ONE SHADE TREE PER EVERY FIVE PARKING SPACES, WHICHEVER IS GREATER.	PROVIDED: 38 TREES	REQUIRED: 59,450 SF / 1,600 = 37.1 TREES
	(D) ONE SHRUB PER 200 SQUARE FEET OF PAVED AREA SHALL BE PLANTED OR 1.6 SHRUBS PER EVERY PARKING SPACE.	PROVIDED: 231 SHRUBS	REQUIRED: 59,450 SF / 200 SF = 297.25 SHRUBS
	(E) THIS SECTION SHALL NOT APPLY TO PARKING AREAS CONSISTING OF A SINGLE ACCESS LANE. (8) SCREENING SHALL BE PROVIDED FOR VISUAL SEPARATION OF INCOMPATIBLE USES. SCREENING SHALL BE REQUIRED BETWEEN PARKING OR LOADING AREAS AND, IF PRESENT, AN ADJUTING RESIDENTIAL ZONE. SCREENING MAY ALSO BE REQUIRED BETWEEN ADJUTING NON-RESIDENTIAL SITES, WHERE SCREENING IS REQUIRED, IT SHALL PROVIDE A REASONABLE EFFECTIVE VISUAL BUFFER BY: (A) USE OF EXISTING VEGETATION AND TERRAIN WHERE POSSIBLE, OR (B) NEW PLANTINGS (TYPE, SIZE AND SPACING TO BE APPROVED BY THE PLANNING BOARD)	EXISTING VEGETATED BUFFER TO REMAIN	174 SPACES / 5 = 34.8 TREES 174 SPACES / 1.6 = 108.75 SHRUBS

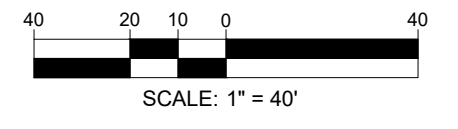
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**THIS PLAN TO BE UTILIZED
FOR LANDSCAPE
PURPOSES ONLY**



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
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M.J. MRSA
MATTHEW J. MURPHY
REGISTERED LANDSCAPE ARCHITECT
LICENSE NO. 127
STATE OF NEW HAMPSHIRE
0140 No. 250433

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L-101

REVISION 1 - 03/24/2026

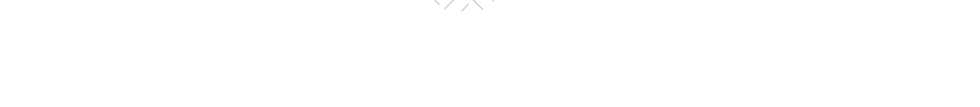
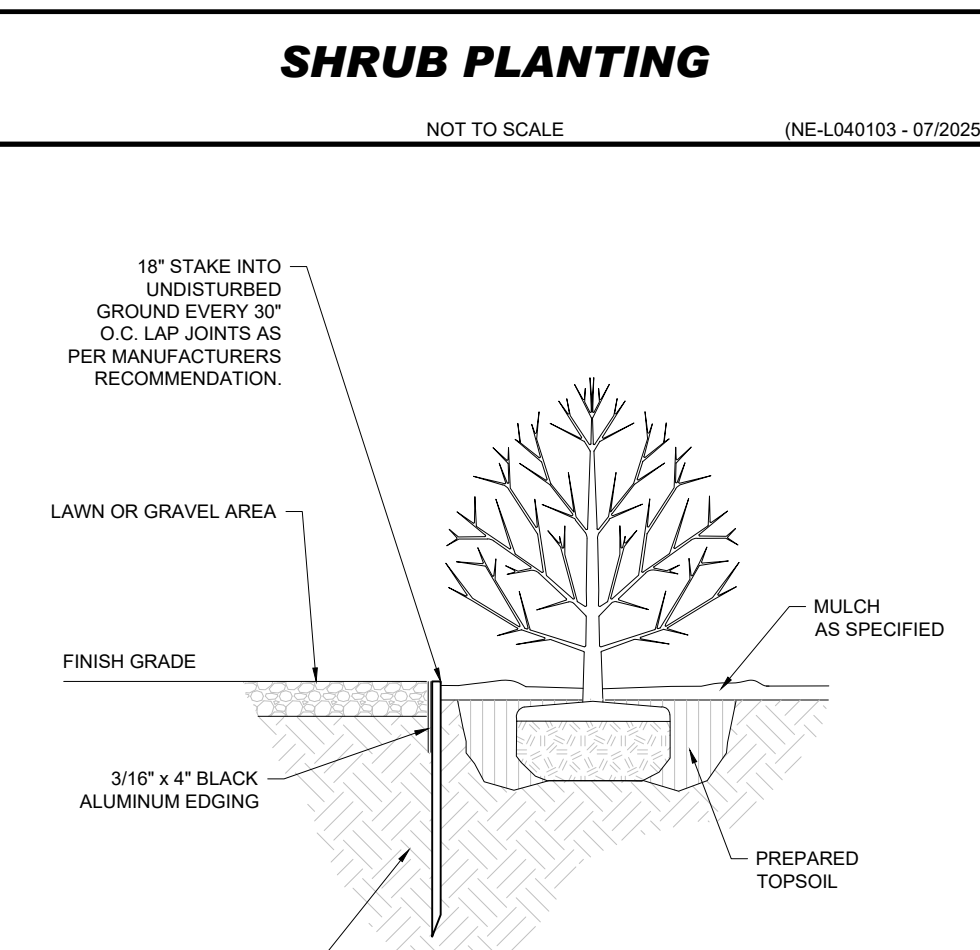
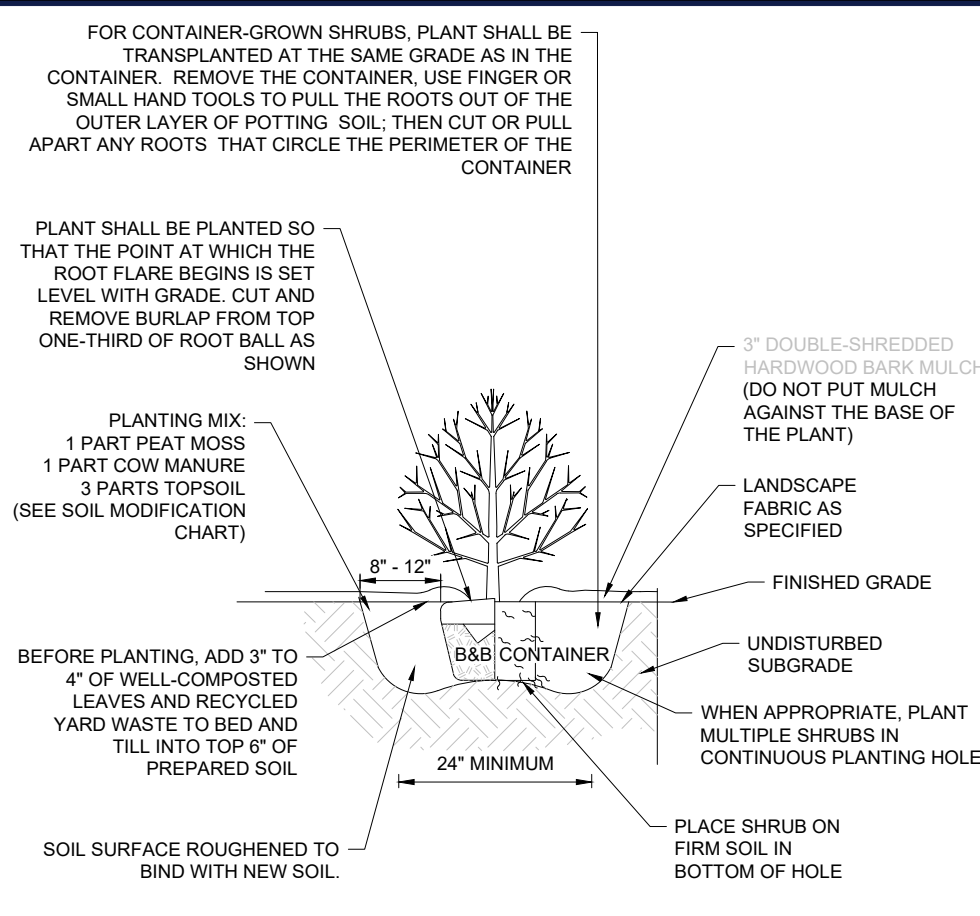
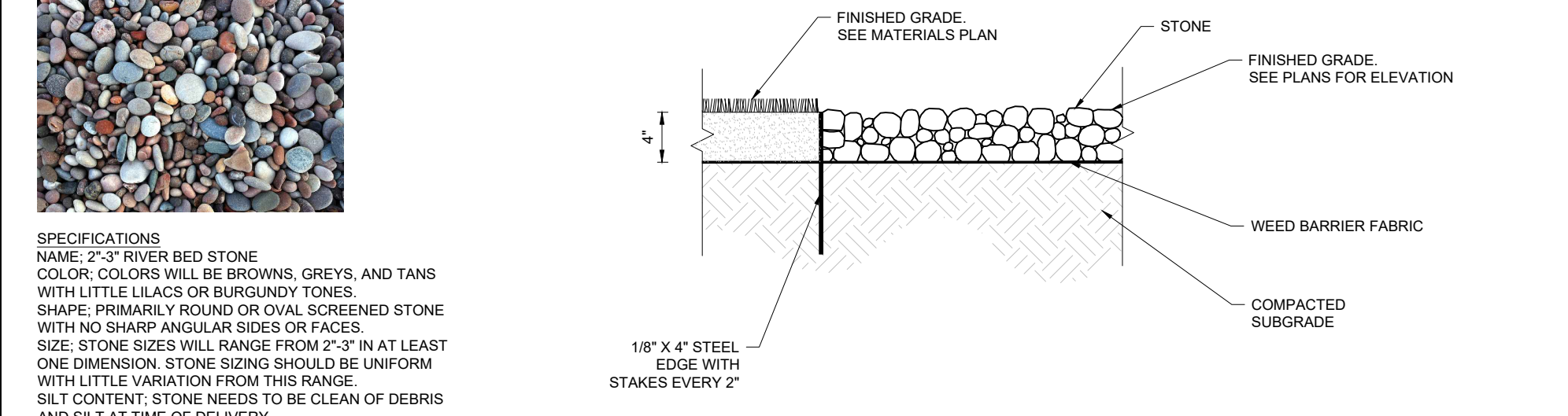
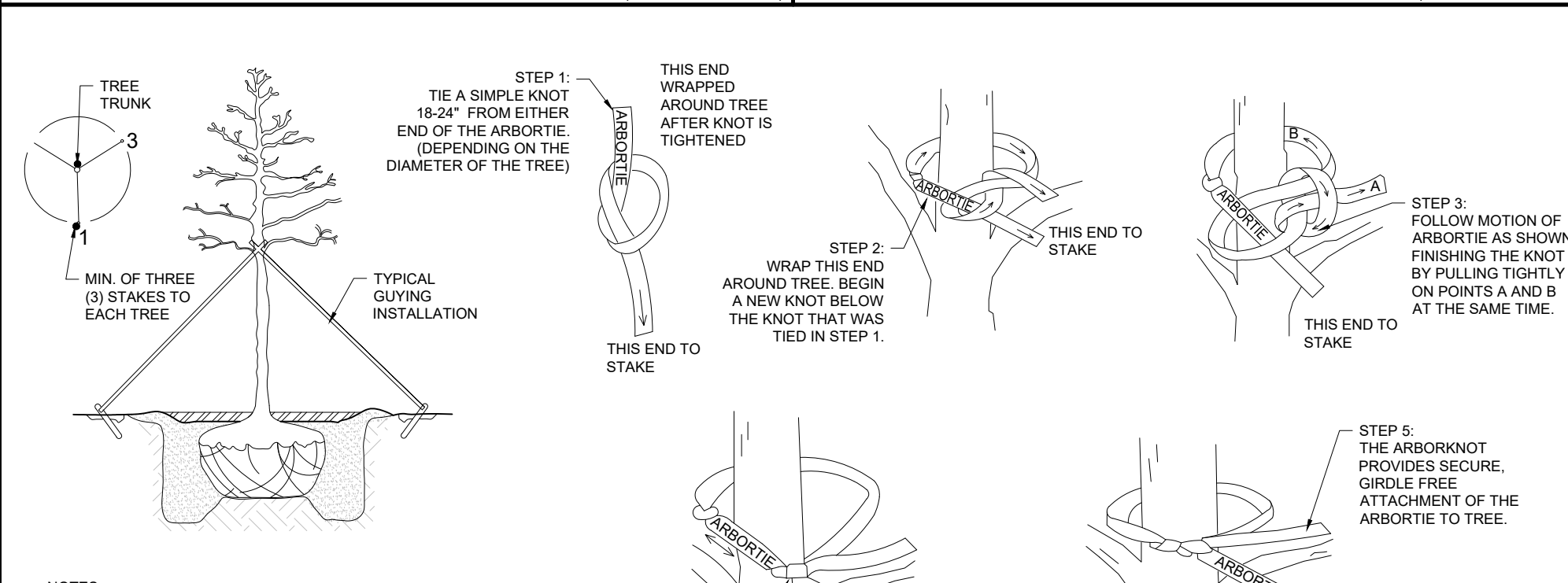
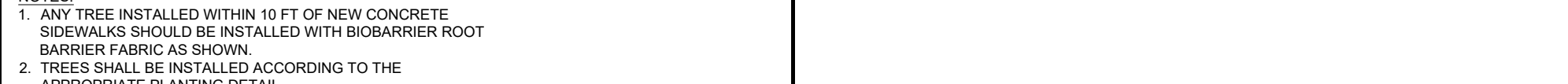
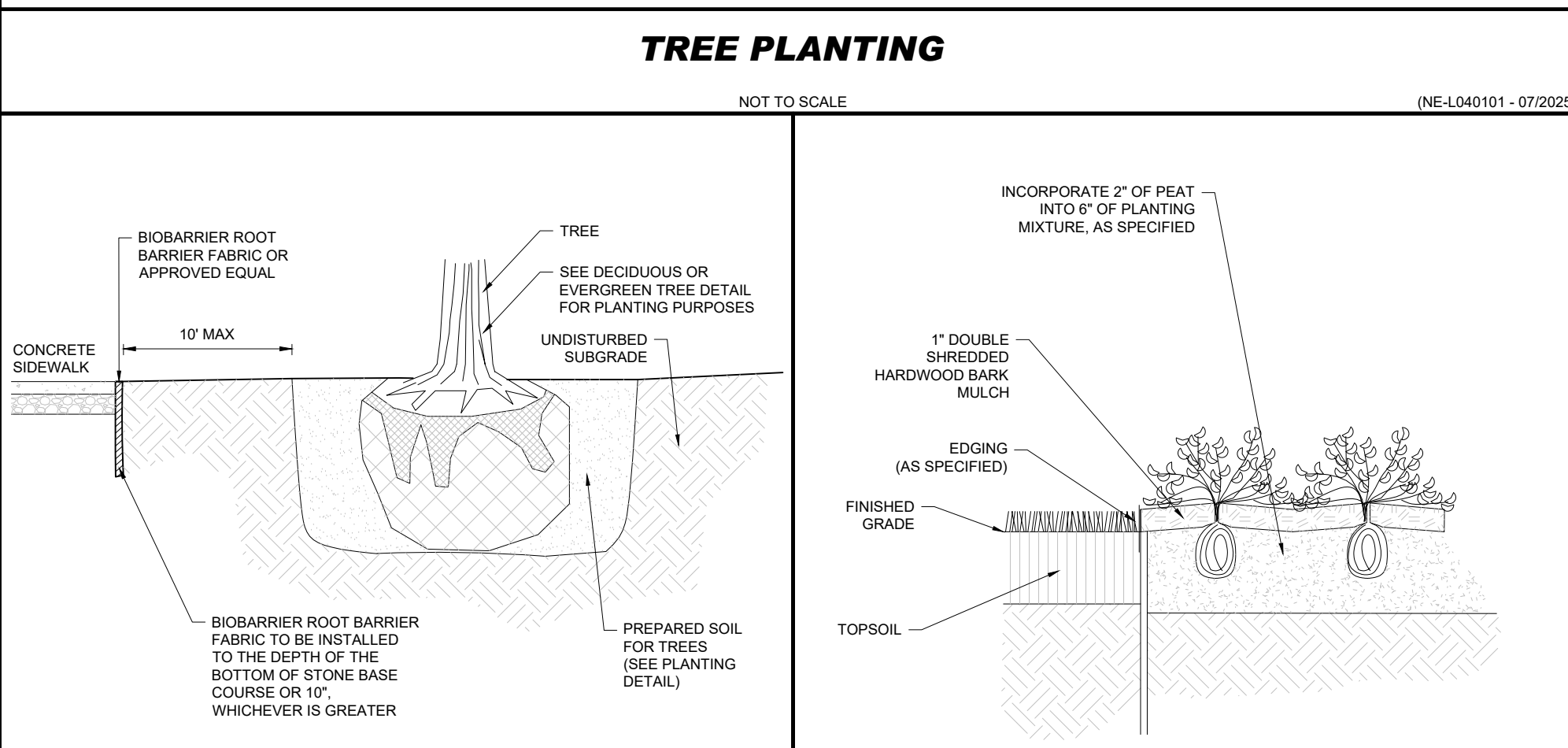
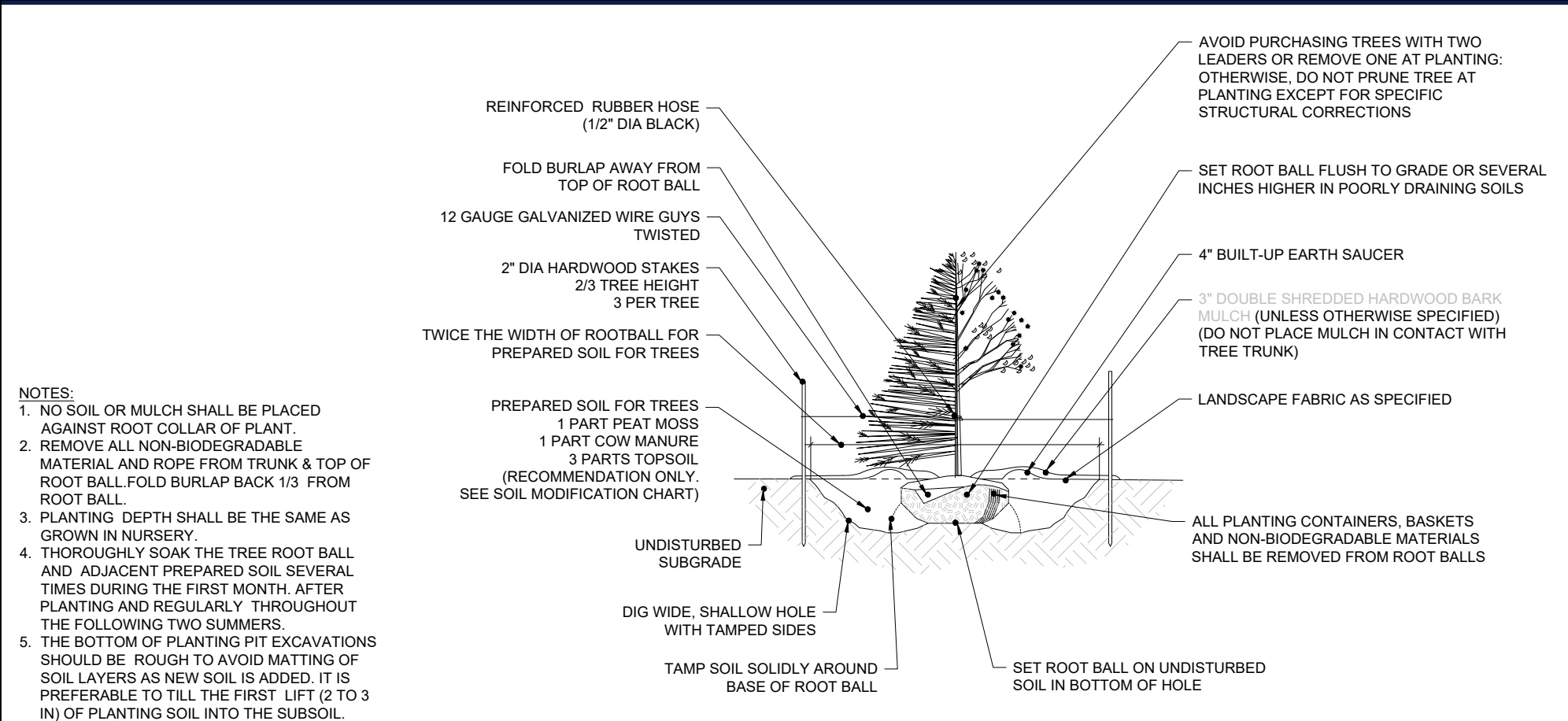
Map 20, 2026 P:\2025\NHA250020.01\CAD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\P-CIVL-LSCP\NHA250020.01-1A-LAYOUT-L-101-LSCP

NEW HAMPSHIRE LANDSCAPE SPECIFICATION
(Rev. 6/2023)

- SCOPE OF WORK:
 - THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION EQUIPMENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.
- MATERIALS:
 - GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
 - TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
 - LAWN:
 - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN.
 - LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
 - SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/FEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
 - MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES / DETAILS.
 - FERTILIZER:
 - FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
 - FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY. CONTRACTOR TO ADHERE TO STATE REGULATIONS REGARDING APPLICATION OF FERTILIZERS.
 - PLANT MATERIAL:
 - ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERMEN).
 - IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
 - PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
 - TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4", WHICH HAVE NOT BEEN COMPLETELY CALLED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
 - ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
 - CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
 - SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
 - TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.
- GENERAL WORK PROCEDURES:
 - CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS TO BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
 - WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
- SITE PREPARATIONS:
 - BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
 - ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
 - CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
- TREE PROTECTION:
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
 - A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY "VISH-FENCE" OR APPROVED EQUAL ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
 - WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
 - AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
- SOIL MODIFICATIONS:
 - CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
 - THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6"-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
 - TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- FINISHED GRADING:
 - UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
 - LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").
 - ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
 - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
- TOPSOILING:
 - CONTRACTOR SHALL PROVIDE A 6" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
 - ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE

- TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS SPECIFIED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
 - ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQ. FT. AREA) FOR BID PURPOSES ONLY (SEE SPECIFICATION 6.1J):
 - 20 POUNDS 'GRO-POWER' OR APPROVED SOIL CONDITIONER/FERTILIZER
 - 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER
 - THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.
- PLANTING:
 - INsofar THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
 - PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
 - ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
 - ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
 - POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
 - PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
 - PLANTS, MARCH 15 TO DECEMBER 15
 - PLANTING REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.
 - FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:

ACER RUBRUM	PLATANUS X ACERIFOLIA
BETULA VARIETIES	POPULUS VARIETIES
CARPINUS VARIETIES	PRUNUS VARIETIES
CRATAEGUS VARIETIES	PYRUS VARIETIES
KOELREUTERIA	QUERCUS VARIETIES
LIQUIDAMBAR STYRACIFLUA	TILIA TOMENTOSA
LIRIODENDRON TULIPIFERA	ZELKOVA VARIETIES
 - PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
 - 1 PART PEAT MOSS
 - 1 PART COMPOSTED COV MANURE BY VOLUME
 - 3 PARTS TOPSOIL BY VOLUME
 - 21 GRAMS AGRIFORM PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
 - 2 TABLETS PER 1 GALLON PLANT
 - 3 TABLETS PER 5 GALLON PLANT
 - 4 TABLETS PER 15 GALLON PLANT
 - LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK
 - PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.
 - ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
 - ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
 - GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PREE-EMERGENT WEEDER. ALL MANUFACTURER'S RECOMMENDATIONS SHALL BE FOLLOWED.
 - NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
 - ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED TO PREVENT WIND-EROSION OF SOIL.
 - ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.
 - TRANSPLANTING (WHEN REQUIRED):
 - ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
 - IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
 - PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
 - UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
 - TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
 - F TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.
 - NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
 - THE SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
 - IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT EXEMPT CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.
- GUARANTEE:
 - THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
 - ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
 - TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
 - LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
 - CLEANUP:
 - UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
 - THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
 - MAINTENANCE (ALTERNATIVE BID):
 - A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY INSTALLED LANDSCAPING HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER/OPERATOR MAY REQUEST THAT BIDDERS SUBMIT AN ALTERNATE MAINTENANCE BID FOR A MONTHLY MAINTENANCE CONTRACT. THE ALTERNATE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND MANICURED TO THE APPROVAL OF THE OWNER/OPERATOR.



NEW ENGLAND CONSERVATION I WILDLIFE SEED MIX SPECIFICATION

NEW ENGLAND CONSERVATION WILDLIFE SEED MIX AS PREPARED BY: NEW ENGLAND WETLAND PLANTS, INC 820 WEST STREET, AMHERST, MA 01002 PHONE: 413-549-8000 EMAIL: INFO@NEWP.COM WEBSITE: WWW.NEWP.COM

APPLICATION RATE: 1750 SF/LB OR 25LS/ACRE
1. MINIMUM ORDER: 2 LBS
2. SPECIES:

- VIRGINIA WILD RYE (ELYMUS VIRGINICUS)
- LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM)
- BIG BLUESTEM (ANDROPPOON GERARDII)
- RED FESCUE (FESTUCA RUBRA)
- SWITCH GRASS (PANICUM VIRGATUM)
- PARTRIDGE PEA (CHAMAECRISTA FASCICULATA)
- PANICLED LEAF TICK TREFOIL (DESMODIUM PANICULATUM)
- INDIAN GRASS (SORGHASTRUM NUTANS)
- BLUE VERVAIN (VERBENA HASTATA)
- BUTTERFLY MILKWEED (ASCLEPIAS TUBEROSA)
- BLACK EYED SUSAN (RUDBECKIA HIRTATA)
- COMMON SNEEZEWEED (HELINIUM AUTUMNALE)
- HEATH ASTER (ASTERLOSIS/SYMPHYOTRICHUM PILOSUM)
- EARLY GOLDENROD (SOLIDAGO JUNCEA)
- UPLAND BENTGRASS (AGROSTIS PERENNANS).

BASIN SEED MIX SPECIFICATIONS

NATIVE DETENTION AREA MIX AS PREPARED BY: ERNST CONSERVATION SEEDS, INC. 8884 MERCER PIKE, MEADVILLE, PA 16355 PHONE: 800-873-3321 / 814-336-2404 EMAIL: SALES@ERNSTSEED.COM WEBSITE: WWW.ERNSTSEED.COM

APPLICATION RATE: 1/2 LB. / 1000 SF (20 LBS. / ACRE)
MIX COMPOSITION:

- 25.0% PANICUM VIRGATUM, 'SHELTER' (SWITCHGRASS, 'SHELTER')
- 24.0% PANICUM CLANDESTINUM, 'TIOGA' (DEERTONGUE, 'TIOGA')
- 22.0% CAREX VULPINODEA, PA ECOTYPE (FOX SEDGE, PA ECOTYPE)
- 21.0% ELYMUS VIRGINICUS, PA ECOTYPE (VIRGINIA WILDRYE, PA ECOTYPE)
- 8.0% AGROSTIS PERENNANS, ALBANY PINE BUSH-NY ECOTYPE (AUTUMN BENTGRASS, ALBANY PINE BUSH-NY ECOTYPE)
- 1.0% JUNCUS EFFUSUS (SOFT RUSH)
- 1.0% PANICUM RIDGILLIUM, PA ECOTYPE (REDTOP PANICGRASS, PA ECOTYPE)

SHEET TITLE:
LANDSCAPE NOTES AND DETAILS

SHEET NUMBER:
L-102

REVISION 1 - 03/24/2026

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	03/24/2026	TOWN & PEER REVIEW COMMENTS	MJW	KWC

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THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED FOR CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: NH250020.01-1A
DRAWN BY: MJW
CHECKED BY: KWC
DATE: 01/23/2026
CAD I.D.: P-CIVL-LSCP

SITE DEVELOPMENT PLANS

FOR
Where Restaurants Eat

PROPOSED RESTAURANT DEPOT

273 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
PARCEL ID: 234-034-000

BOHLER

3 EXECUTIVE PARK DRIVE FLOOR 2
BEDFORD, NH 03110
Phone: (603) 441-2900

www.BohlerEngineering.com

MATTHEW W. MURPHY
REGISTERED LANDSCAPE ARCHITECT
0103 No. 292433

SHEET TITLE:
LANDSCAPE NOTES AND DETAILS

SHEET NUMBER:
L-102

REVISION 1 - 03/24/2026

APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING:

PLANNING BOARD CHAIRMAN	SIGNATURE DATE
PLANNING BOARD SECRETARY	SIGNATURE DATE

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



LIGHT HOURS OF OPERATION:

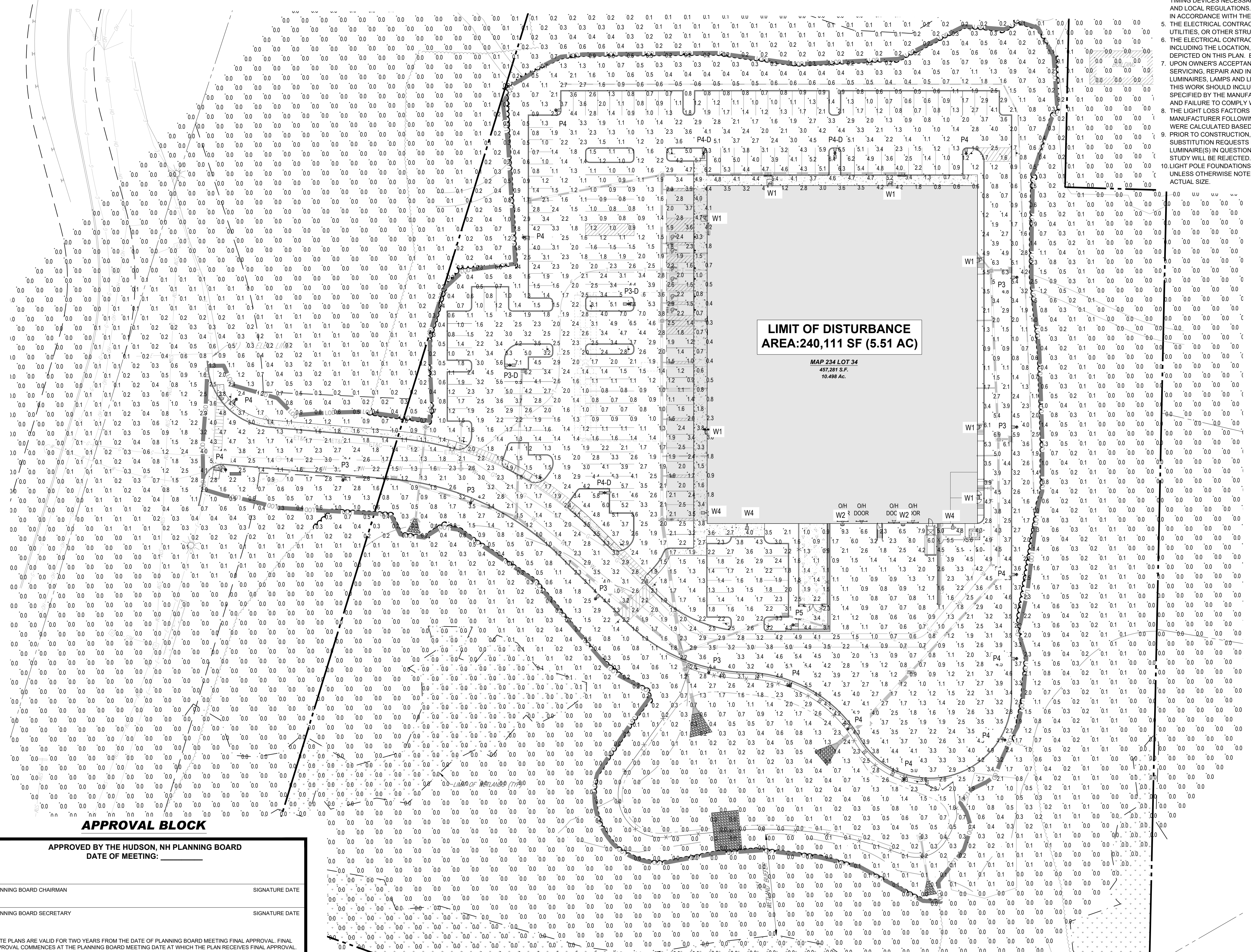
LIGHTS WILL OPERATE ON TIMERS 1 HOUR BEFORE OPENING AND 2 HOURS AFTER CLOSING.
MON 7:00 AM - 6:00 PM
TUE 7:00 AM - 6:00 PM
WED 7:00 AM - 6:00 PM
THU 7:00 AM - 6:00 PM
FRI 7:00 AM - 6:00 PM
SAT 7:30 AM - 4:00 PM
SUN 9:00 AM - 2:00 PM

LUMINAIRE LABEL	QTY	ARRANGEMENT	MOUNTING HEIGHT	LLF	LUM. LUMENS	DESCRIPTION
W2	2	WALL MOUNT	"15'-0" AFF	0.900	11084	FALKOR INDUSTRY FI G4 SERIES LED SEMI-CUTOFF WALL PACK ZERO UP-LIGHT (FL-TWP-H-X-G4-S0)
P3-D	2	BACK-BACK	25'-0" AFG	0.900	14426	FALKOR INDUSTRY LED AREA LIGHT, TYPE 3, ZERO UP-LIGHT (MAL05-100W-x-40K-x-x-S0-T3)
P3	6	SINGLE	25'-0" AFG	0.900	14426	FALKOR INDUSTRY LED AREA LIGHT, TYPE 3, ZERO UP-LIGHT (MAL05-100W-x-40K-x-x-S0-T3)
P4-D	3	BACK-BACK	25'-0" AFG	0.900	14141	FALKOR INDUSTRY LED AREA LIGHT, TYPE 4, ZERO UP-LIGHT (MAL05-100W-x-40K-x-x-S0-T4)
P4	10	SINGLE	25'-0" AFG	0.900	14141	FALKOR INDUSTRY LED AREA LIGHT, TYPE 4, ZERO UP-LIGHT (MAL05-100W-x-40K-x-x-S0-T4)
W4	3	WALL MOUNT	25'-0" AFF	0.900	14141	FALKOR INDUSTRY LED AREA LIGHT, TYPE 5, ZERO UP-LIGHT (MAL05-100W-x-40K-x-x-S0-T5)
P5	1	SINGLE	25'-0" AFG	0.900	14368	FALKOR INDUSTRY LED AREA LIGHT, TYPE 5, ZERO UP-LIGHT (MAL05-100W-x-40K-x-x-S0-T5)
W1	8	WALL MOUNT	"25'-0" AFF	0.900	7099	FALKOR INDUSTRY SMALL LED WALL PACK (MWP13), ZERO UP-LIGHT (MWP13-45-x-40K-x-x-x)

LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
ALL POINTS	ILLUMINANCE	FC	0.46	9.3	0.0	N/A	N/A
ENTRANCE DRIVE	ILLUMINANCE	FC	2.85	5.8	1.0	2.85	5.80
INTERNAL DRIVE	ILLUMINANCE	FC	3.02	6.9	0.6	5.03	11.90
LOADING AREA	ILLUMINANCE	FC	2.85	9.3	0.6	4.42	15.50
PARKING COURT	ILLUMINANCE	FC	2.39	7.5	0.6	3.98	12.50

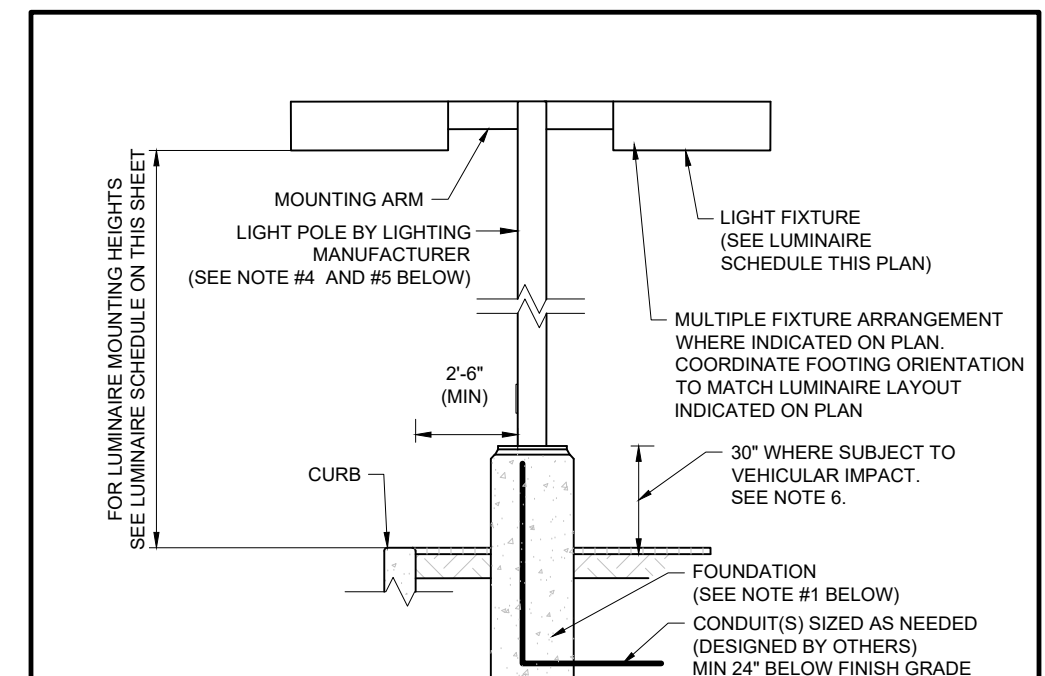
GENERAL LIGHTING NOTES:

- THE GENERAL NOTES, FOUND ON THE NOTES PAGE OF THIS PLAN SET, MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE ELECTRICAL CONTRACTOR MUST BECOME FAMILIAR WITH, REFER TO AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY.
- THE ELECTRICAL CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THIS LIGHTING PLAN, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL APPLICABLE AGENCY AND GOVERNMENTAL REGULATIONS. THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY DIFFER FROM THE VALUES DEPICTED ON THIS PLAN DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, MAINTENANCE, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES, EXISTING AMBIENT LIGHT SOURCE ON AND OFF SITE, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC).
- THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING, CONTROLS, AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, ELECTRICAL ENGINEER'S AND/OR ELECTRICAL CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC) AND ALL APPLICABLE BUILDING AND LOCAL ELECTRICAL CODES.
- THE ELECTRICAL CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES TO THE PROFESSIONAL OF RECORD'S ATTENTION, PRIOR TO THE START OF CONSTRUCTION.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL LIGHTING IS INSTALLED PER THIS LIGHTING PLAN, INCLUDING THE LOCATION, ORIENTATION, SHIELDING, AND/OR ROTATED OPTICS IN ORDER TO ACHIEVE THE LIGHTING LEVELS DEPICTED ON THIS PLAN. EXISTING POLES AND FOUNDATIONS ARE NOT TO BE REUSED.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO BOHLER FOR REVIEW AND APPROVAL. SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE LUMINAIRE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.
- LIGHT POLE FOUNDATIONS ARE SHOWN ON THE PLAN IN THE INTENDED LOCATION BASED ON THE LIGHTING CALCULATIONS, UNLESS OTHERWISE NOTED. LIGHT SYMBOLS ARE SHOWN LARGER THAN ACTUAL SIZE, HOWEVER FOUNDATION SIZE IS SHOWN AT ACTUAL SIZE.



LIMIT OF DISTURBANCE AREA: 240,111 SF (5.51 AC)

MAP 234 LOT 34
457,281 S.F.
10,498 AC.

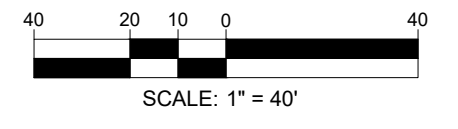


- NOTES:
- THIS DETAIL IS FOR GRAPHICAL PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A FOUNDATION DESIGN PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURER REQUIREMENTS, LOCAL WIND LOADS AND SITE SPECIFIC SOIL PARAMETERS.
 - SOME SITE CONDITIONS AND/OR LOCATIONS MAY REQUIRE VIBRATION DAMPENING MEASURES AS DETERMINED BY A STRUCTURAL ENGINEER.
 - THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF THE INTENT TO MOUNT ANYTHING TO THE POLE, ASIDE FROM THE LIGHT FIXTURES, INCLUDING BUT NOT LIMITED TO CAMERAS, BANNERS, FLAGS, SIGNAGE, ETC. AS IT WILL IMPACT THE POLE AND FOUNDATION DESIGN.
 - CONTRACTOR TO ADJUST LENGTH OF POLE DEPENDENT ON FOUNDATION HEIGHT IN DIFFERENT LOCATIONS, AS NECESSARY TO SET LUMINAIRES AT MOUNTING HEIGHT INDICATED IN LIGHTING SCHEDULE. MOUNTING HEIGHT IS TO BE MEASURED FROM GROUND SURFACE ELEVATION ADJACENT TO POLE FOUNDATION TO LUMINAIRE.
 - IF FOUNDATIONS ARE REQUIRED TO BE BURIED BY MUNICIPALITY, ANY PORTION OF THE POLE AT THE MOUND LEVEL OR LOWER SHALL BE COATED WITH ANTI-CORROSIVE COATING.
 - PER 825-F.R.E.
 - A MAXIMUM OF 4' WHEN THE POLE IS WITHIN A PARKING FIELD
 - A MAXIMUM OF 6'-6" WHEN THE POLE IS IN LANDSCAPED OR LAWN AREAS
 - A MAXIMUM OF 6'-4" WHEN THE POLE IS WITHIN THE LIMITS OF HARD-SURFACED SIDEWALKS AND PEDESTRIAN WALKWAYS.

AREA LIGHT

NOT TO SCALE (NE-L020101 - 11/2025)

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE SERVICES
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	03/24/2026	TOWN & PEER REVIEW COMMENTS	MJW	KWC

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PROJECT NO.: NHA250020.01-1A
DRAWN BY: MJW
CHECKED BY: KWC
DATE: 01/23/2026
CAD I.D.: P-CVLL-LGT

SITE DEVELOPMENT PLANS
FOR
Where Restaurants & Food
PROPOSED RESTAURANT DEPOT
273 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
PARCEL ID: 234-034-000

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MATTHEW J. MRSA
REGISTERED LANDSCAPE ARCHITECT
LICENSE NO. 10000
ISSUED 10/2019
RENEWED 10/2023
01010 No. 250433

SHEET TITLE:
LIGHTING PLAN
SHEET NUMBER:
L-201
REVISION 1 - 03/24/2026

Map 20, 2025
P:\2025\NHA250020.01\CAD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\P-CVLL-LGT-NHA250020.01-A...-LAYOUT-L-201.LIGHT



AREA LIGHT(MAL05)

Specifications

- Construction:**
- Rugged one-piece, die-cast aluminum housing secures the thermally conductive LED panel and electrical chamber
 - Low profile, 3G vibration rated compact design minimizes wind load requirements.
 - Housing is completely sealed against moisture and environmental contaminants.

- Optics:**
- Available in IES Type III, IV, V distributions
 - Light engines are available in standard 4000 K and 5000 K (70 CRI) configurations.
 - Scalable Lumen Packages from 13,900 to 42,000 Lumens replaces up to 100W Metal Halide.
 - Optics is precisely designed to shape the distribution, maximizing efficiency and application spacing.
 - The optics can conform to dark sky requirement.

- Electrical:**
- Universal 120-277 VAC or 347-480 VAC input voltage
 - Standard with 1-10V dimming driver(s)
 - Power adjustable: 100%, 80%, 60%, 40%.
 - THD: <20%
 - Power Factor: >90%

- Controls:**
- Optional occupancy sensor
 - Optional Photocell

- Ambient Temperature:**
- Ambient operating temperature -40° C to 40° C (-40° F to 104° F).

- Installation:**
- Suitable for mounting heights ranging from 26-50' in area lighting applications
 - Round pole, Square pole, slipfitter, wall mount and yoke are available.
 - The design can be operated by one person to install the whole lamp

- Lifespan:**
- Estimated 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

- Finish:**
- It's available in black or optional dark bronze, silvery gray or white.

- Certifications:**
- UL wet location listed
 - DesignLights Consortium™ Qualified
 - Note: DesignLights Consortium™ Qualified and classified for DLC Premium (all lumen packages), refer to www.designlights.org for details.

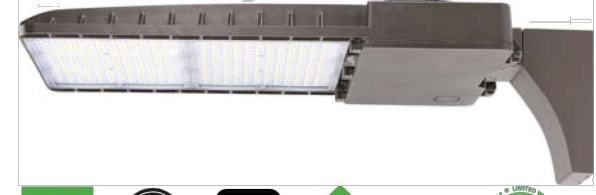
Small Size: 100W



Medium Size: 150W



Large Size: 250W/300W



Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C (±5°C) specifications subject to change without notice.

Applications:

Auto dealerships, parking lots, walkways, roadways, campuses, facade lighting, grocery stores and other public areas.



Outdoor Luminaires

FI G4 SERIES - LED 3-WATT Semi Cutoff Wall Pack

The FI G4 SERIES - LED 3-WATT Semi Cutoff Wall Pack, Up to 150 lm/W, Select 3X-Wattages, IP65 Wet Location, 0-10V Dimmable Models, Premium Outdoor Luminaire, Smart Sensor Ready.

Premium Features

Lumen Output	6750 to 17040 lumens
Efficacy	Up to 150 lm/W
Input Voltage	120-277V
Dimmable	0-10V Continuous
CCT	50K
IP Rating	IP65 Wet Location
Warranty	7 Years

Applications

Premium outdoor luminaire suitable for building exteriors, entryways, courtyards, alleys, pedestrian walkways, and general security.

Construction

Manufactured for weather-proof durability using solid heavy duty die cast aluminum housing with anti-UV polyester coating to resist water, salt, corrosion, discoloration, and scratching. IP65 Wet Location rated for dust-tight, water jets: IEC 60529.

Electrical

Input voltages 120-277V models with 0-10V Continuous Dimming, includes 3X-Wattage Tuning Switches inside housing. Operating temperatures -4°F to 113°F (-20°C to 45°C).

Mounting

Wall mounted installations. Includes Mounting Level inside housing.

Optics

Anti-UV Clear Prismatic Glass Lens.

Controls

Fixture integrated Button Photocell sensor available.

Listings

UL certified to meet US and Canadian standards. FCC, and RoHS compliant. Listed to qualify for energy-efficient LED lighting rebates.

Warranty

7 yr /75K hrs. View at: <https://falkorindustry.com/warranty/>

Project: _____
 Date: _____
 Catalog No: _____
 Prepared By: _____

80W Max and 120W Max Tunable Models



Includes Silicone Water Repellent Ring and Internal Mounting Level



Correlated Color Temperatures (CCT)

5000K



Specifications

Energy Data

- Input Voltage: 120-277V
- Input Frequency: 50/60 Hz
- Wattage: 3-Wattages (80W Max, 120W Max)
- Power Factor: >0.9
- Total Harmonic Distortion: <20%
- Operating Temperature: -4°F to 113°F (-20°C to 45°C)

Lighting Data

- Lumens: 6750 to 17040 lumens
- Lumens Per Watt: Up to 150 lm/W
- CCT: 50K
- Dimmable: 0-10V Models
- Color Rendering Index (CRI): >80
- L70: 75000 hours

© 2024 Falkor Industry, Inc. | US Headquarters: 9949 Tabor Pl, Santa Fe Springs, CA 90670 | Customer Service: (323) 364-7035 | Visit: falkorindustry.com | V.403

WALL PACK (MWP13)

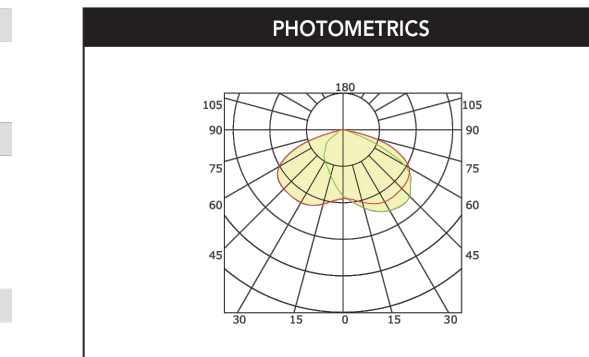


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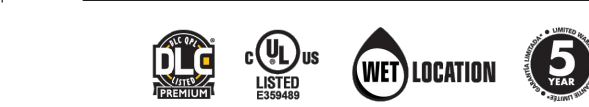
Cast in a modern and low-profile design, MWP13 series is easily customized to fit every building's design aesthetic and a mix of architectural styling and energy savings. Available in two sizes, the MWP13 family delivers 3,600 to 13,400 lumens with a wide, uniform distribution. It's ideal for illuminating commercial office buildings, warehouses, campuses, shopping malls and other office complexes.

SPECIFICATION FEATURES

- Construction**
- Sealed die-casting profile for outdoor applications.
 - Casting thermally conducts LED heat to optimize performance and long life.
 - Suitable for applications requiring 3G testing prescribed by ANSI C136.31.
- Optics**
- Light engines are available in standard 4000 K and 5000 K configurations.
 - Scalable Lumen Packages from 3,600 to 13,400 Lumens.
 - Zero uplight distributions using individual acrylic.
 - High performance UV stabilized optical grade polymer refractor lenses to achieve desired distribution optimized to get maximum spacing, target lumens and a superior lighting uniformity.
- Electrical**
- Universal 120-277 VAC input voltage.
 - 1-10V Dimming.
 - Both drivers have a power factor >90%, THD <20%.
 - Operating Temperature Range: -40°C to 40°C (-40°F - 104°F).
- Controls**
- Optional occupancy sensor
 - Optional photocell
 - Optional Emergency Battery
- Lifespan**
- Estimated 50,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.
- Warranty**
- Five-year warranty.
- Certifications**
- DesignLights Consortium™ Qualified.
 - UL cUL wet location listed.
 - Note: DesignLights Consortium™ Qualified and classified for DLC Standard (all lumen packages), refer to www.designlights.org for details.
- Note**
- Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C(±5°C) specifications subject to change without notice.

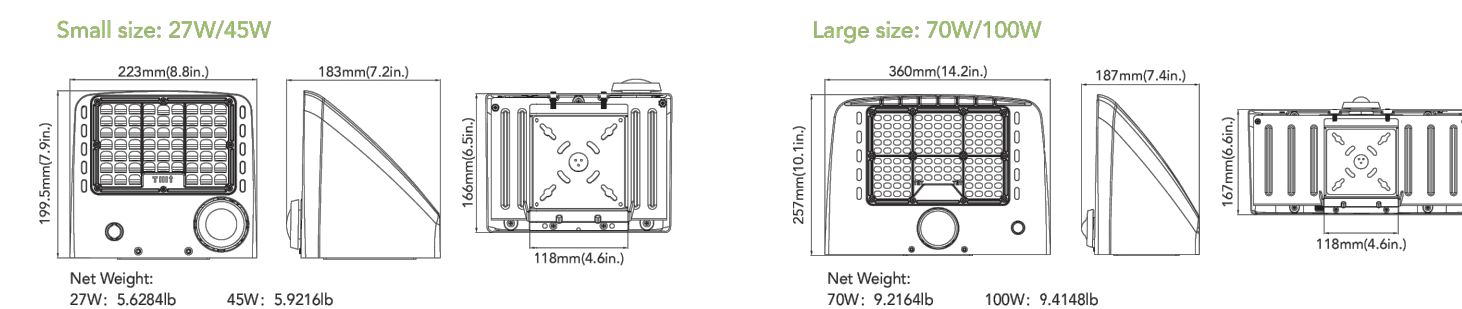


- ACCESSORIES**
- 120-277V Bottom Photocell**
Description: Photocell is field installed or pre-installed in factory by requesting
 - Occupancy Sensor**
Description: Sensor can be pre-installed in factory or field installed
 - Emergency Battery Backup**
Description: It can be pre-installed in factory or field installed
 - Surface-Mounted Back Box**
Description: See to install to recessed box or surface mount. WLB" x H5.3" x L7.7"



DIMENSIONS

unit: mm/inch



PERFORMANCE DATA

SYSTEM WATTS	VOLTAGE	CRI	LUMENS (4000K)	LPW (4000K)	LUMENS (5000K)	LPW (5000K)
27W	120-277VAC	70	3600lm	133 lm/W	3600lm	133 lm/W
45W	120-277VAC	70	5800lm	129 lm/W	5800lm	129 lm/W
70W	120-277VAC	70	9100lm	130 lm/W	9100lm	130 lm/W
100W	120-277VAC	70	13400lm	134 lm/W	13400lm	134 lm/W

APPROVAL BLOCK

APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____

PLANNING BOARD CHAIRMAN	SIGNATURE DATE
PLANNING BOARD SECRETARY	SIGNATURE DATE

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

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 PERMITTING SERVICES
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REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	03/24/2026	TOWN & PEER REVIEW COMMENTS	MJW KWC

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PROJECT No.:	NHA250020.01-1A
DRAWN BY:	MJW
CHECKED BY:	KWC
DATE:	01/23/2026
CAD I.D.:	P-CIVL-LLGT

PROJECT:
SITE DEVELOPMENT PLANS
 FOR

PROPOSED RESTAURANT DEPOT
 273 LOWELL ROAD
 HUDSON, NEW HAMPSHIRE
 PARCEL ID: 234-034-000

BOHLER
 3 EXECUTIVE PARK DRIVE FLOOR 2
 BEDFORD, NH 03110
 Phone: (603) 441-2900
www.BohlerEngineering.com

M.J. MRSA
 MATTHEW
 REGISTERED LANDSCAPE ARCHITECT
 LICENSE No. 127
 EXPIRES 06/30/2027
 OHIO No. 250433

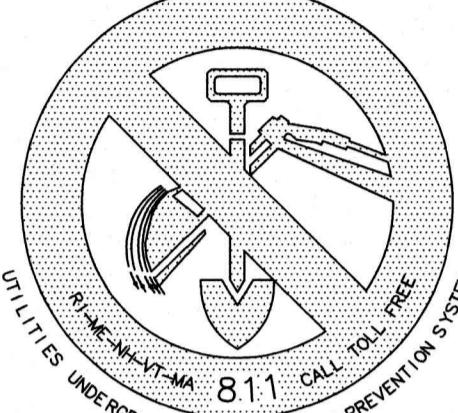
SHEET TITLE:
LIGHTING NOTES AND DETAILS
 SHEET NUMBER:
L-202
 REVISION 1 - 03/24/2026

Mar 28, 2026 P:\2025\NHA250020.01\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\SP-CIVL-LLGT-NHA250020.01-1A.dwg LAYOUT: L-202.LIGHT

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN DRAWN FROM FIELD SURVEY INFORMATION AND OR PLOTTED FROM EXISTING DRAWINGS. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, KEACH-NORDSTROM ASSOCIATES, INC. DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. KEACH-NORDSTROM ASSOCIATES, INC. HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

DIG SAFE



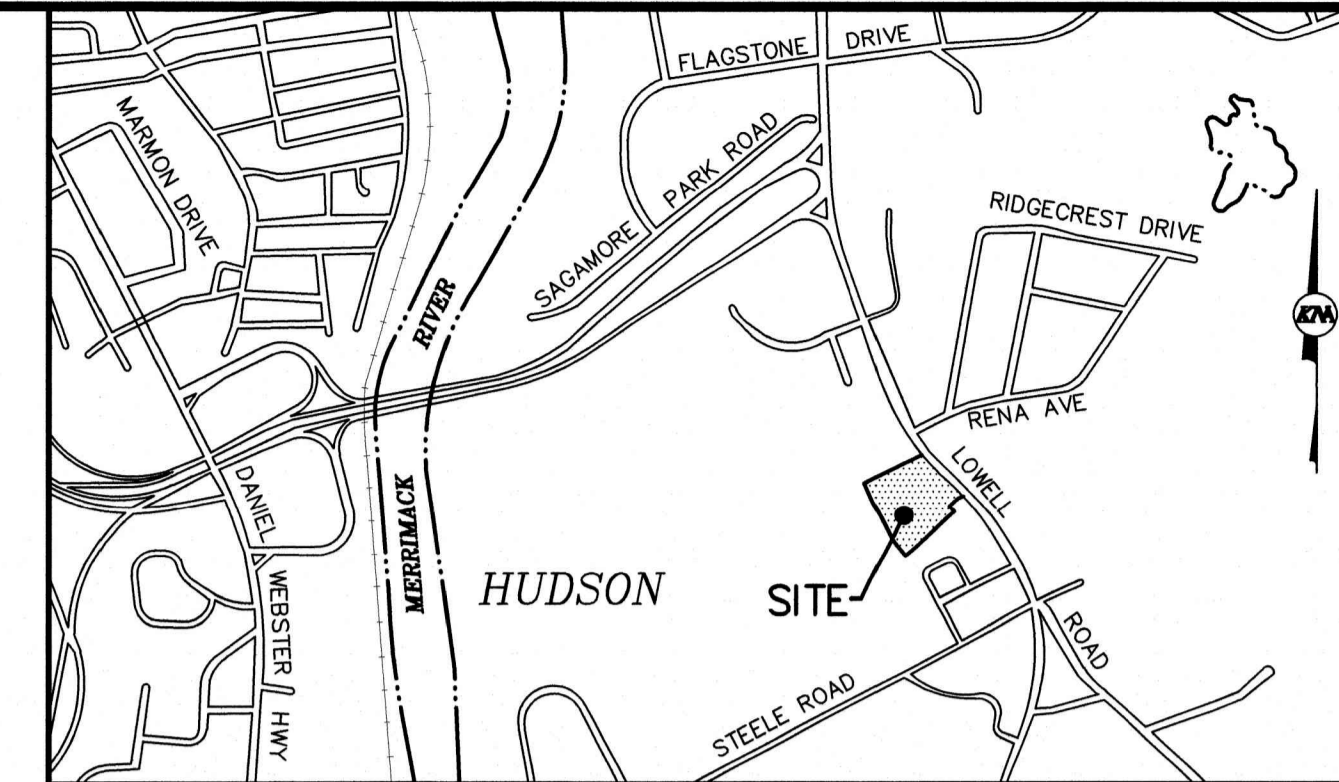
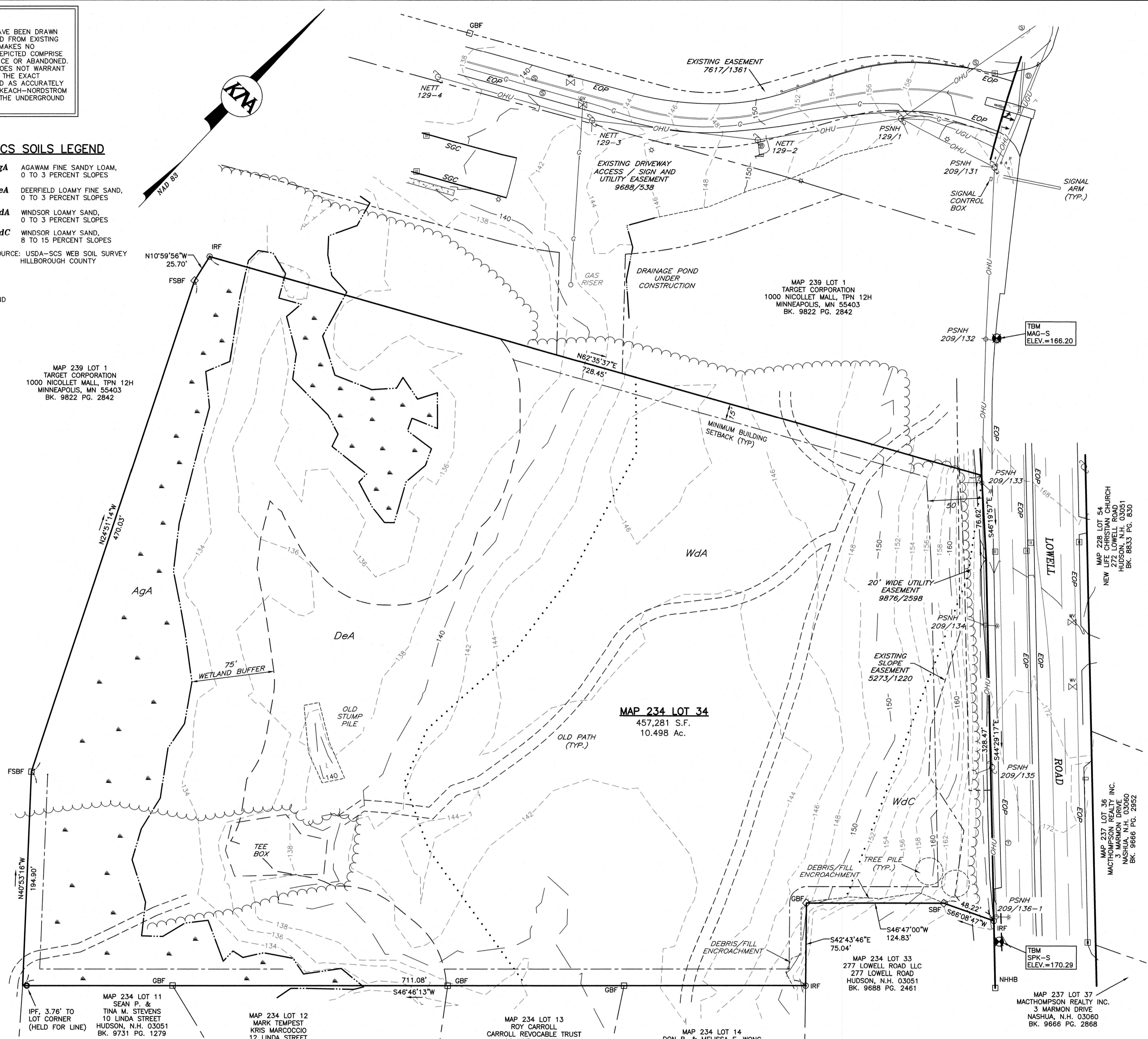
SCS SOILS LEGEND

- AgA** AGAWAM FINE SANDY LOAM, 0 TO 3 PERCENT SLOPES
 - DeA** DEERFIELD LOAMY FINE SAND, 0 TO 3 PERCENT SLOPES
 - WdA** WINDSOR LOAMY SAND, 0 TO 3 PERCENT SLOPES
 - WdC** WINDSOR LOAMY SAND, 8 TO 15 PERCENT SLOPES
- SOURCE: USDA-SCS WEB SOIL SURVEY HILLSBOROUGH COUNTY

LEGEND

- FSBF FIELD STONE BOUND FOUND
- GBF GRANITE BOUND FOUND
- SBF STONE BOUND FOUND
- IR-F IRON ROD FOUND
- IP-F IRON PIPE FOUND
- BENCHMARK
- UTILITY POLE
- STREET LIGHT
- WATER VALVE
- CATCH BASIN
- ABUTTER LINE
- PROPERTY LINE
- OVERHEAD UTILITIES
- TREELINE
- EDGE OF GRAVEL
- EOP EDGE OF PAVEMENT
- VGC VERTICAL GRANITE CURB
- 10' CONTOUR
- 2' CONTOUR
- SOIL LINE
- SETBACK
- WETLAND BUFFER
- GAS VALVE
- WELL
- SEWER MANHOLE
- DRAINAGE MANHOLE
- TELEPHONE MANHOLE
- GUARDRAIL
- WETLAND

MAP 239 LOT 1
TARGET CORPORATION
1000 NICOLLET MALL, TPN 12H
MINNEAPOLIS, MN 55403
BK. 9822 PG. 2842

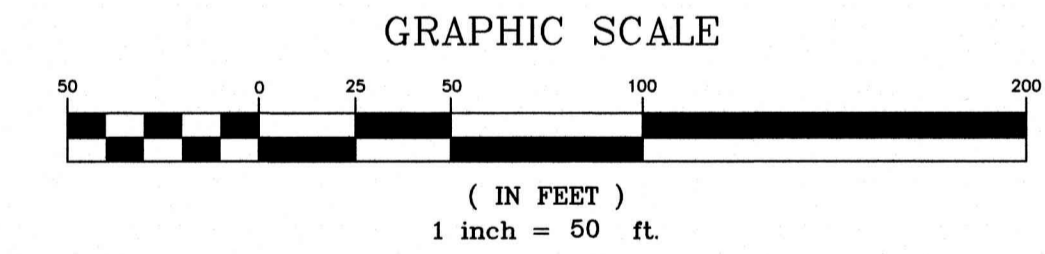


VICINITY PLAN
SCALE: 1" = 2,000'

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS PRESENT ON MAP 234 LOT 34 IN THE TOWN OF HUDSON, NEW HAMPSHIRE.
 - EXISTING AREA OF PARCEL: 457,281 S.F. OR 10.498 ACRES.
 - THE SUBJECT PARCEL IS LOCATED ENTIRELY WITHIN THE GENERAL 1 (G-1) ZONING DISTRICT.
 - DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS:
 - FRONT 50'
 - SIDE 15'
 - REAR 15'
 - THE HORIZONTAL DATUM IS NAD 83 AND THE VERTICAL DATUM IS NAVD 88 FROM REAL TIME GPS SURVEY METHODS.
 - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE TOWN OF HUDSON, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, COMMUNITY PANEL NUMBER 3301100650 PANEL NUMBER 656 OF 701. EFFECTIVE DATE: SEPTEMBER 25, 2009 INDICATES THAT NO PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN FLOOD HAZARD ZONE.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR OR OWNER SHALL CONTACT DIG-SAFE AT 811.
 - EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.

REFERENCE PLANS

- "PLAN OF LAND OF E. STUART & DORIS E. GRAVES, HUDSON, N.H." SCALE: 1" = 100', MAY 1951 PREPARED BY NED SPAULDING, CIVIL ENGINEER, H.C.R.D. PLAN #1231.
- "LOT LINE RELOCATION PLAN FRIEL & GILE, MAP 7 LOTS 33 & 35, HUDSON, N.H." DATE: 9-3-91. LAST REVISED 9-25-91, PREPARED BY HOLDEN ENGINEERING & SURVEYING. H.C.R.D. PLAN #25441.
- "THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY PLANS FEDERAL AID PROJECT STP-X-0005(217) N.H. PROJECT NO. 12461 N.H. ROUTE 3A. H.C.R.D. PLAN #31211.
- LOT LINE RELOCATION/CONSOLIDATION PLAN, HUDSON LOGISTICS CENTER, LOWELL AND STEELE ROADS HUDSON, NEW HAMPSHIRE." SCALE: 1"=100'. DATED: FEBRUARY 16, 2021. LAST REVISED: AUGUST 5, 2022. PREPARED BY: HSI HAYNER/SWANSON, INC. H.C.R.D. PLAN #41556.
- "EASEMENT PLAN (MAP 234, LOTS 34 & 35 AND MAP 239, LOT 1) HUDSON LOGISTICS CENTER, LOWELL AND STEELE ROAD, HUDSON, NEW HAMPSHIRE. SCALE: 1"=40' 28 DECEMBER 2022" PREPARED BY HSI HAYNER/SWANSON, INC. H.C.R.D. PLAN #41727.



EXISTING CONDITIONS PLAN

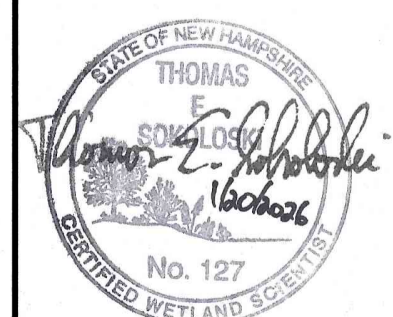
MAP 234 LOT 34
273 LOWELL ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER:
THOMAS P. FRIEL TRUSTEE
FRIEL 2021 REVOCABLE TRUST
55 MARSH ROAD
HUDSON, N.H. 03051
H.C.R.D. BK. 9486 PG. 2979

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

WETLAND CERTIFICATION

THOMAS E. SOKOLOSKI CERTIFIED WETLAND SCIENTIST #127, OF TES ENVIRONMENTAL CONSULTANTS, LLC. PERFORMED THE WETLAND MAPPING IN SEPTEMBER OF 2025 ACCORDING TO THE TECHNICAL CRITERIA OF THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1, JANUARY 1987)



CERTIFIED WETLAND SCIENTIST _____ DATE _____

MAP 234 LOT 11
SEAN P. & TINA M. STEVENS
10 LINDA STREET
HUDSON, N.H. 03051
BK. 9731 PG. 1279

MAP 234 LOT 12
MARK TEMPEST
KRIS MARCOCCIO
12 LINDA STREET
HUDSON, N.H. 03051
BK. 9228 PG. 2048

MAP 234 LOT 13
ROY CARROLL
CARROLL REVOCABLE TRUST
16 LINDA STREET
HUDSON, N.H. 03051
BK. 9735 PG. 679

MAP 234 LOT 14
DON R. & MELISSA E. WONG
18 LINDA STREET
HUDSON, N.H. 03051
BK. 7862 PG. 478

MAP 234 LOT 33
277 LOWELL ROAD LLC
277 LOWELL ROAD
HUDSON, N.H. 03051
BK. 9688 PG. 2461

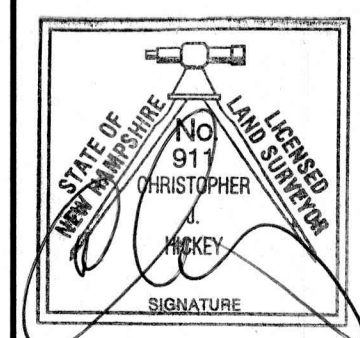
MAP 237 LOT 37
MACHOMPSON REALTY INC.
3 MARION DRIVE
NASHUA, N.H. 03060
BK. 9666 PG. 2888

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE DURING SEPTEMBER OF 2025. SAID SURVEY HAS A RELATIVE ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) OR BETTER.

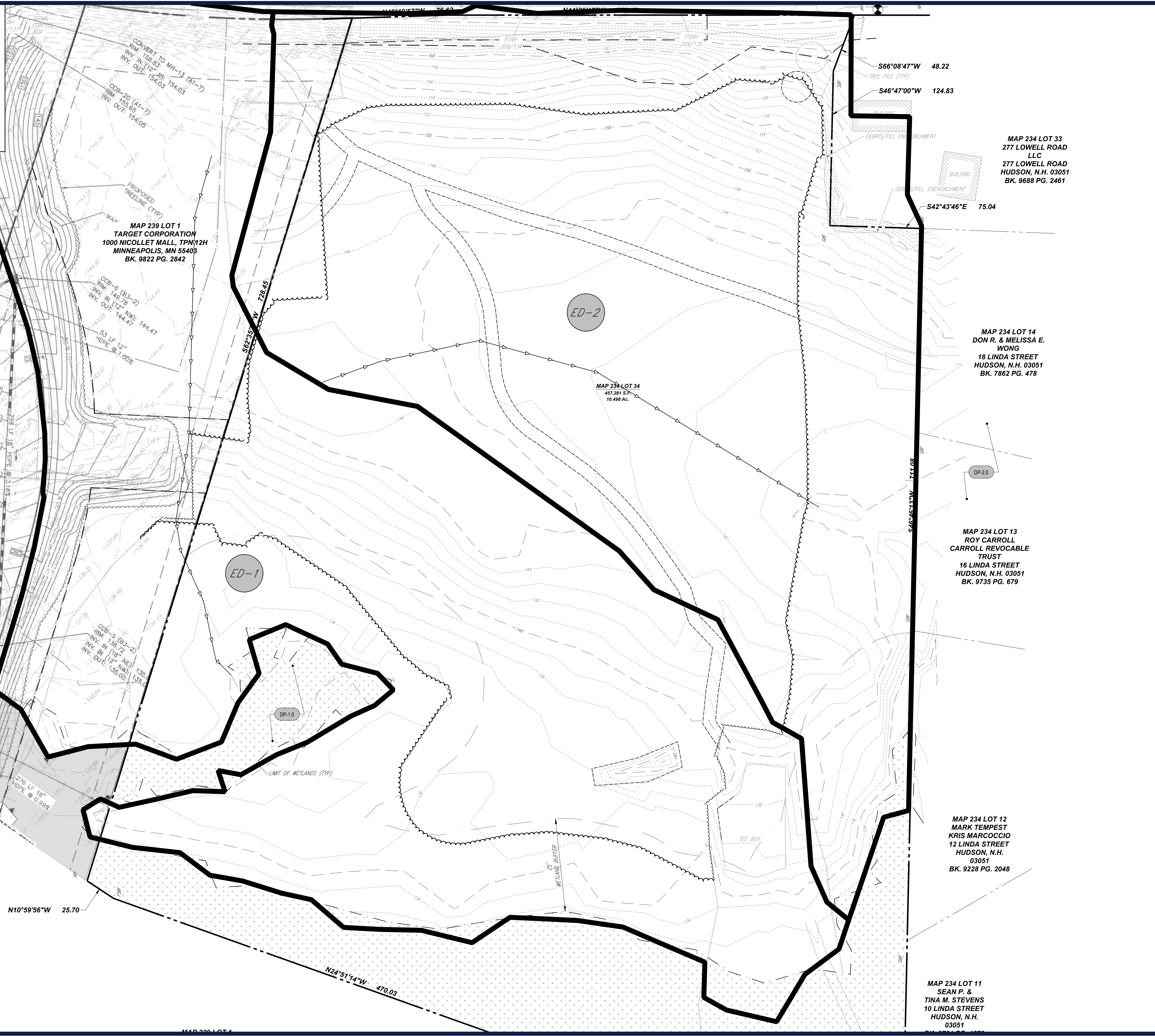
Christopher
LICENSED LAND SURVEYOR

10/9/25
DATE



REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: OCTOBER 9, 2025 SCALE: 1" = 50'
PROJECT NO: 25-0805-2 SHEET 1 OF 1



LEGEND

EXISTING WATERSHED

DESIGN POINT

SUBCATCHMENT ID

SUBCATCHMENT BOUNDARY

TIME OF CONCENTRATION PATH

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	03/24/2026	TOWN & PEER REVIEW COMMENTS	MJW	KWC

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PROJECT No.: NHA250020.01-1A
 DRAWN BY: MJW
 CHECKED BY: KWC
 DATE: 01/23/2026
 CAD I.D.: P-DMAP-HYDR

SITE DEVELOPMENT PLANS

FOR

Where Restaurants Eat

PROPOSED RESTAURANT DEPOT

273 LOWELL ROAD
 HUDSON, NEW HAMPSHIRE
 PARCEL ID: 234-034-000

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 BEDFORD, NH 03110
 Phone: (603) 441-2900
www.BohlerEngineering.com

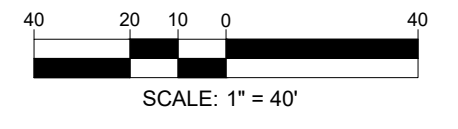
J.A. KUCICH

PROFESSIONAL ENGINEER
 MASSACHUSETTS LICENSE No. 41520
 NEW HAMPSHIRE LICENSE No. 15476
 CONNECTICUT LICENSE No. 26177
 RHODE ISLAND LICENSE No. 96116
 MAINE LICENSE No. 12953

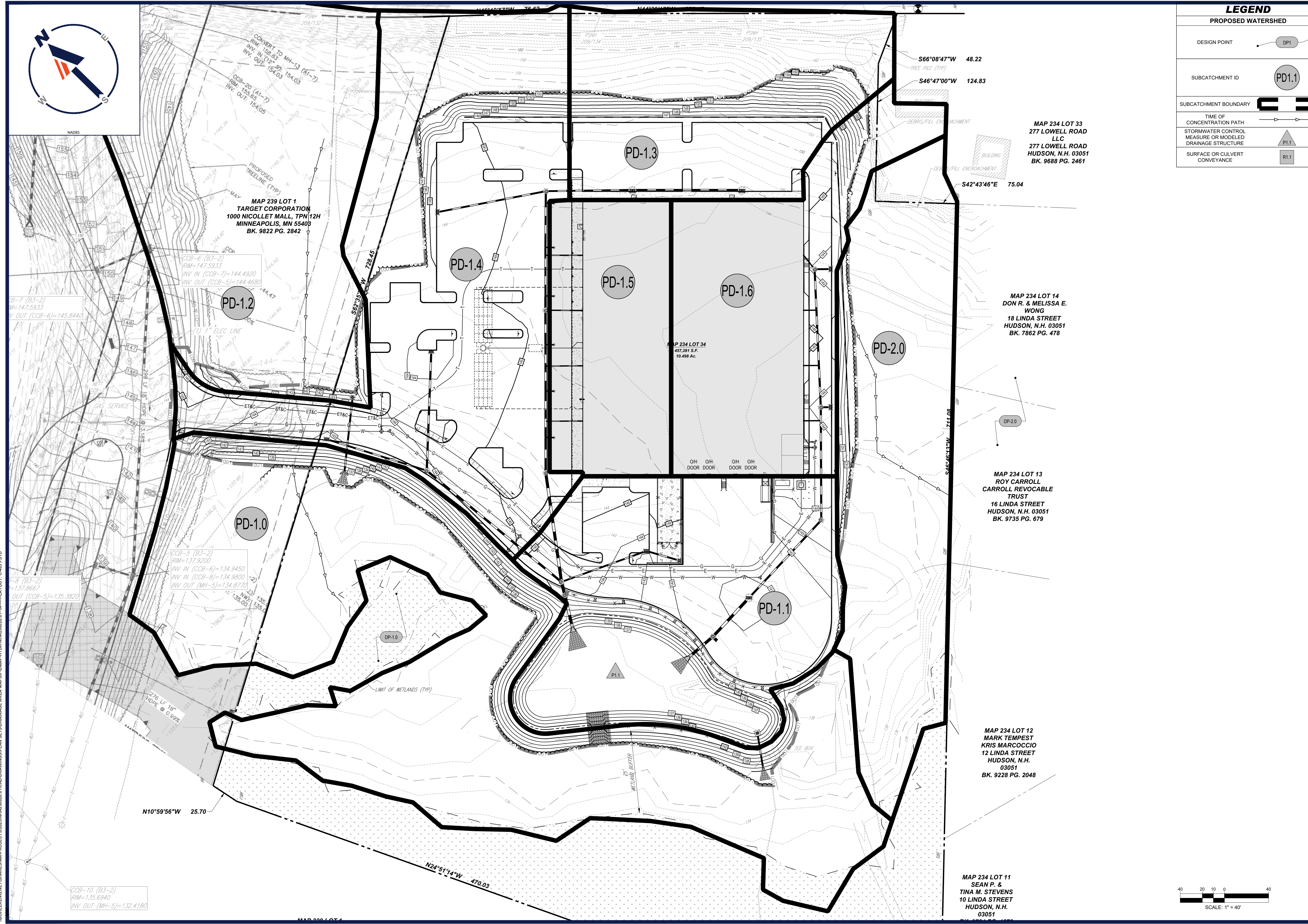
SHEET TITLE:
EXISTING CONDITIONS WATERSHED PLAN

SHEET NUMBER:
C-402

REVISION 1 - 03/24/2026



Mar 23, 2026
 BOHLERENGINEERING\PROJECTS\2025\NHA250020.01\CADD\DRAWINGS\PLAN SETS\DRAINAGE AREA MAPS\SP-DMAP-HYDR-NHA250020.01-1A-3-LAYOUT_C-402_PRED



LEGEND	
DESIGN POINT	DP1
SUBCATCHMENT ID	PD1.1
SUBCATCHMENT BOUNDARY	
TIME OF CONCENTRATION PATH	
STORMWATER CONTROL MEASURE OR MODELED DRAINAGE STRUCTURE	P1.1
SURFACE OR CULVERT CONVEYANCE	R1.1

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 PERMITTING SERVICES
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1	03/24/2026	TOWN & PEER REVIEW COMMENTS	MJW / KWC

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PROJECT No.:	NHA250020.01-1A
DRAWN BY:	MJW
CHECKED BY:	KWC
DATE:	01/23/2026
CAD I.D.:	P-DMAP-HYDR

SITE DEVELOPMENT PLANS
 FOR

PROPOSED RESTAURANT DEPOT
 273 LOWELL ROAD
 HUDSON, NEW HAMPSHIRE
 PARCEL ID: 234-034-000

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 MASSACHUSETTS LICENSE No. 41520
 NEW HAMPSHIRE LICENSE No. 15476
 CONNECTICUT LICENSE No. 26177
 RHODE ISLAND LICENSE No. 96116
 MAINE LICENSE No. 12953

SHEET TITLE:
PROPOSED CONDITIONS WATERSHED PLAN
 SHEET NUMBER:
C-403
 REVISION 1 - 03/24/2026

MAP 234 LOT 11 SEAN P. & TINA M. STEVENS 10 LINDA STREET HUDSON, N.H. 03051 BK. 9228 PG. 2048
 MAP 234 LOT 12 MARK TEMPEST KRIS MARCOCCIO 12 LINDA STREET HUDSON, N.H. 03051 BK. 9228 PG. 2048
 MAP 234 LOT 13 ROY CARROLL CARROLL REVOCABLE TRUST 16 LINDA STREET HUDSON, N.H. 03051 BK. 9735 PG. 679
 MAP 234 LOT 14 DON R. & MELISSA E. WONG 18 LINDA STREET HUDSON, N.H. 03051 BK. 7862 PG. 478
 MAP 234 LOT 34 457,281 S.F. 10.498 Ac.
 MAP 234 LOT 33 277 LOWELL ROAD LLC 277 LOWELL ROAD HUDSON, N.H. 03051 BK. 9688 PG. 2461
 MAP 239 LOT 1 TARGET CORPORATION 1000 NICOLLET MALL, TPN 12H MINNEAPOLIS, MN 55403 BK. 9822 PG. 2842
 BOHLER ENGINEERING, INC. PROJECTS/2026/NHA250020.01-1A-3-LAYOUT_C-403_PSTD
 MARCH 23, 2026

