

# SITE PLAN

## FRIARS DRIVE

PARCEL 209-001-000

@ SAGAMORE INDUSTRIAL PARK

HUDSON, NEW HAMPSHIRE

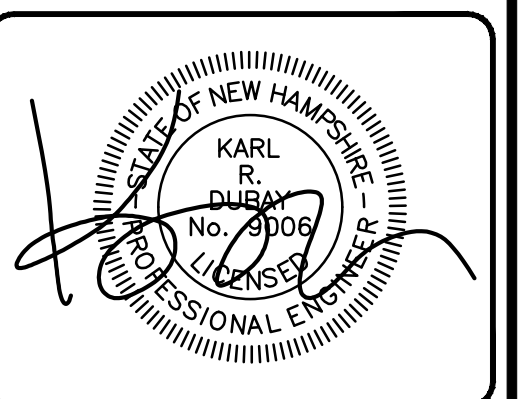
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**The Dubai Group, Inc.**  
136 Harvey Rd. Bldg B101  
Londonderry, NH 03053  
603-458-6462

Engineers  
Planners  
Surveyors  
TheDubayGroup.com



REVISIONS:			
REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REVS	WA
2	9/28/21	MISC. REVS	WA
3	10/5/21	MISC. REVS	WA

DRAWN BY: WA  
CHECKED BY: KRD  
DATE: AUG. 3, 2021  
SCALE: 1"=140'±  
FILE: 475-COVER  
DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH  
PREPARED FOR



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
133 PEARL STREET #300  
BOSTON, MA 02110  
OWNER  
**5 WAY REALTY TRUST**  
PETER HORNE, TRUSTEE  
PO BOX 1435  
N. HAMPTON, NH 03862

SHEET TITLE:  
**TITLE SHEET**  
PROJECT #475 SHEET 1 of 80



*Peter Horne* 9/20/2021  
DATE  
OWNER: 5 WAY REALTY TRUST  
C/O PETER HORNE  
PO BOX 1435  
N. HAMPTON, NH 03862

*[Signature]* 9-20-2021  
DATE  
DEVELOPER: LOWELL ROAD PROPERTY OWNER, LLC  
C/O GFI PARTNERS, STEVEN E. GOODMAN  
133 PEARL STREET #300  
BOSTON, MA 02110

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-COVER.dwg

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD  
DATE OF MEETING: \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



**General Notes**

- Conservation Wetland Overlay District markers shall be placed at 100 foot intervals along the conservation easement boundaries, post construction to clearly identify the conservation easement areas.
- Proposed site work improvements shall conform to the standard details and specifications of the Town of Hudson, in the absence of local standards, site work shall conform to the requirements of the New Hampshire standard details.
- See architectural drawings for locations, dimensions and details of all doors, ramps, sidewalks and walls associated with the building.
- All improvements constructed in the town public right-of-way shall conform to Town of Hudson standard details. In the absence of local details & requirements and work in the state right-of-way shall comply with state of New Hampshire Department of Transportation standard specifications for roads and other applicable regulations.
- All signs and pavement markings shall conform to the latest edition of the MUTCD and New Hampshire Department of Transportation regulations.
- Contractor to prevent dust, sediment and debris from exiting the site and shall be responsible for cleanup, repairs and corrective action if such occurs. Adjoining streets and properties to be kept free of debris resulting from demolition and shall be cleaned on a daily basis or as needed.
- Dust control treatments shall be applied as necessary to control and reduce the amount of dust which may cause off-site damage, be a health hazard to humans, wildlife and plant life, or pose a hazard to traffic safety.
- All utility work shall be performed in accordance with the requirements and specifications/details of the utility companies having authority over the proposed work. All proposed utility work shall be performed in accordance with all applicable local, state, and federal ordinance/requirements governing the proposed work.
- Any utility easements required by any of the various utility companies shall be obtained, executed, and recorded prior to any of the affected utility work being performed.
- Cleanouts shall be provided flush to grade at all locations of roof drain intersections, bends and upstream ends.
- All pavement markings shall be epoxy resin paint.
- Spot shots along curb lines represent the base of the curb unless noted otherwise.
- A pre-construction meeting shall be held with Hudson's town engineer at least two weeks prior to the start of construction. The applicant, contractor, and applicant's, engineer shall be in attendance.
- Contractor shall not import any fill over the amount of ten cubic yards cumulative total per source to any job site in The Town of Hudson without soils testing verifying the absence of all constituents of concern, and without prior approval by engineering department staff. Documentation such as test reports. Certifications and sieve analysis of fill shall be provided to the engineering department for approval prior to transporting the materials to Hudson.
- The EPA General construction permit, e-noi, and swppp documents must be adhered to, active, and required documentation be kept on site at all times. the town of Hudson, New Hampshire is to be made aware of all updates, revisions, and the statues of these documents.
- 

**Grading & Drainage Notes**

- Locations and elevations of roof leaders should be coordinated with architectural and MEP drawings prior to construction.
- Cleanouts shall be provided flush to grade at all locations of roof drain intersections, bends and upstream ends.
- Contractor shall connect all new roof drains to the drainage system. Locations and elevations of roof leaders should be coordinated with MEP and architectural drawings prior to construction.
- All manhole covers, grates, inlets and rims to remain shall be adjusted to actual resultant field proposed grade.


**Site Plan Regulations Compliance Notes**

- 275-6.U Development Agreement  
Required between "the Applicant and the Town to detail the terms, conditions, and responsibilities of the Applicant and the Town in conjunction with the approved plan."  
**(To be determined & provided)**
- 275.6.V Waste Materials Handling  
**Dumpsters will not be needed on site.**  
Materials are handled internally via building and enclosed units by private vendor.  
Hours of refuse removal shall be exclusive to the hours between 7:00 AM and 7:00 PM, Monday through Friday only.
- 275-8.C.2 Parking Calculations  
Calculation per this section required, OR the Board may reduce the requirements if appropriately demonstrated.  
Parking Calculations. The calculations for required off-street spaces shall be computed in accord with the specifications listed  
Any use not listed shall provide parking as required by the PLANNING BOARD. The PLANNING BOARD may vary these requirements if the APPLICANT can demonstrate that fewer spaces than required below are consistent with the proposed use:  
**(Refer to calculations and plan data provide)**
- 275-8.C.2.g Industrial Use Parking  
The larger of 1:600 GSF, or 0.75 per employee of the combined employment of the two largest successive shifts.  
**(Refer to plan data)**
- 275-8.C.4 Parking Space Dimensions  
10x20 FT  
**(Complies - all parking spaces are 10x20 FT)**
- 275-8.C.5.a Parking Aisle Width  
24 FT (min) required. **(Complies - all aisles at 24 FT width min)**
- 275-8-C.6.a Loading Spaces  
1 space for first 5 GSF plus 1 space per each additional 10 KGSF.  
Building Area = 504 ksf  
Total Loading Spaces Required = 51 Loading Spaces  
**(Complies - see plan data)**
- 275-8.C.6.b Loading Space Dimensions  
12x60 FT and for shorter trucks, 12x35 FT (min), also required maneuvering/aisle space as appropriate.  
**(Complies)**
- 275-8.C.6.c Loading Space Location  
On same lot as the use served.  
**(Complies - all loading spaces are located on subject lot)**
- 275-8.C.6.d Maneuvering Areas  
Required within the property lines of the use, shall not hinder sidewalks or vehicles on a road.  
**(Complies)**
- 275-8.C.7.a Parking Lot Landscaping  
**(Complies - see plan data)**
- 275-8.C.7.b Parking Lot Landscaping  
The 10% min area is calculated from the total space/aisle area.  
**(Complies - see plan data)**
- 275-8.C.7.c Parking Lot Shade Trees  
**(Complies - see plan data)**
- 275-8.C.7.d Parking Lot Shrubs  
**(Complies - see plan data)**
- 275-8.C.7.e Parking Lot Landscaping  
For parking areas consisting of a single access lane, this section (275-8.C.7) shall not apply.  
**(Complies - most areas area exempt per this section, although the criteria is demonstrated to be meeting all design intents.)**
- 275-8.C.8 Screening  
Shall be provided for visual separation of incompatible uses. **(provided)**  
Shall be required between parking or loading areas and abutting residential zones. May also be required between abutting nonresidential sites. **(provided)**  
Where screening is required, provide a reasonable effective visual buffer by:  
(a) Use of existing vegetation and terrain where possible **(provided)**; or  
(b) New plantings (type, size and spacing to be approved by the Board), grade separations, fences or similar features. **(provided)**  
**(Complies - refer to landscape plans)**
- 275-8-C.9 Parking Space Location  
Required spaces to be on same lot as the use served.  
**(Complies - parking spaces all on site)**
- 275-8-C.10 Drive Entrance Design  
Shall conform with Chapter 193 (Driveways), except that site plan approval shall constitute the issuance of a driveway permit.  
193-4 Permit Required for Town **(will obtain prior to construction)**  
193-10 Design Criteria **(complies, refer to plans, details, and traffic study)**  
A. Safe Location **(complies)**  
B. Drainage & Channelization Design **(Complies)**  
C. Grades/Alignment/Drainage **(Complies)**  
D. Additional Design Elements **(Provided)**  
E. AASHTO Sight/Stopping Distance/Geometries **(Complies)**  
F. Widths as Appropriate for Lanes & Islands **(Complies)**  
G. One Drive per Parcel Max Allowed (combined to single via Easement) **(Complies)**  
H. Drives per Side/Rear Building Setbacks OR per Shared Easements **(Complies)**  
I. Shared Drive with Easements per Proper Design Techniques **(Complies)**  
J. Pavements **(Complies)**
- 275-8-C.11 ADA - Accessibility per Federal Guidelines  
Plan detailing/data required, note on plan required per ADA requirements and citing regulations referenced.  
**(Complies - refer to plans and plan calculations)**

- 275-9 Information & Studies:
- 275-9.A Stormwater Management Plan - per Ch 290
- 290-3.A SMECP Required **(provided)**
- 290-5.A Basic Standards (1-13)  
**(Complies - refer to plans, details, and drainage study)**
- 290-5.A Basic Standards (1-13)  
**(Complies - refer to plans, details, and drainage study)**
- 290-5.B.1 Enhanced Standards  
**(Complies - refer to plans, details, and drainage study)**
- 290-6.A Stormwater Management Design (1-15) (Temporary & Permanent)  
**(Complies - refer to plans, details, and drainage study)**
- 290-7 SMECP Design Requirements (A-B)  
**(Complies - refer to plans, details, and drainage study)**
- 290-8 Construction Phase Requirements **(Will comply)**  
A.4 Bonding/Security **(Will comply)**  
A.5 Inspections/Escrows **(Will comply)**  
A.6 EPA NPDES Filings/Reports **(Will comply)**
- 290-9 O&M Plan & Inspections/Reports **(Will comply)**
- 290-10 A. NHDES AOT Permit **(Required)**  
B. EPA CGP/Reporting **(Required)**
- 275-9.A.1 Pre/Post peak rates and volumes where practicable per AOT permit criteria.  
**(Complies per Town, AOT, NHDES, and EPA permitting requirements - refer to drainage report)**
- 275-9.A.2 Runoff Flow - depict with use of plan arrows.  
**(Complies - refer to plans and drainage report)**
- 275-9.A.3 Details - of all systems required, including soils testing on infiltration systems.  
**(Complies - refer to plans and drainage report)**
- 275-9.A.4 Calculations - 10YR (closed site systems), 25YR (culverts/swales/ponds)  
**(Complies - refer to drainage report)**
- 275-9.B Traffic Study  
**(Complies - refer to traffic report, note that the tract was pre-planned within the Sagamore Industrial Park for development of this type, which meets all regulations. Note also that offsite mitigation has been provided via the construction of Friars Drive and looped utilities for the northerly interconnect with Lowell Road, and limited to right-in-right-out at its intersection. Also note that multiple signalized intersections serve the Sagamore Industrial Park and have been master planned to appropriately serve the park development. Additional mitigation, if required, may include a right turn pocket from Lowell Road onto Friars Drive.**
- 275-9.C Noise Study  
**(The uses proposed are allowed by right at this location. A noise study will demonstrate that such normal uses as allowed would not product any more noise than what is reasonably expected and allowed in the Ordinance at this location.**
- 275-9.D Fiscal Impact Study  
**(The project will provide substantial net tax revenues to the Town with no public school costs, and negligible, if any, public safety costs. The project as designed meets all ordinances and regulations, and within the expectations of the underlying zoning master planning for the location.**
- 275-9.E Utility Plans  
**(Provided and compliant with Town and Utility Company and State requirements, see plans)**
- 275-9.F Proposed/Existing easements, covenants, deed restrictions, etc.  
**(Provided as required)**
- 275-8-C.10 Drive Entrance Design
- 275-9.G Permits:  
1. NHDES Sewer Connection (including Town Chapter 270)
- 270-15.A-E Flow Content Limits **(will be required to comply)**  
270-17.B.3 a. Allocated on a per-acre basis **(will comply)**  
a. Area excludes steep slopes (>25%), wetlands, noncontiguous dry land and dedicated public or private rights-of-way. **(refer to plan for calc)**  
b. Actual allocation dedication will be flow verification at first year of building occupancy **(will comply)**  
c. Flow Allocation Table (Max ADF GPD/Ac):  
General Industrial Uses = 500 (domestic)  
Process Flow = 2,000 (requires detailed review & agreement review process)  
**(refer to sever plans and application calculations. Flows required are substantially less than allocations allowed)**
- 3. Town Wetlands Buffer CUP **(Not required at this time)**  
Other. NHDES AOT **(Required)**  
Other. EPA SWPPP **(Prior to Construction)**  
Other. NHDES Shoreland **(No work proposed at this time in shoreland areas.)**
- 275-9.I Environmental Impact Study  
**(NHDES Wildlife Study will be coordinated and will meet the requirements, all systems designed and constructed will meet applicable Town, State, and Federal Environmental Requirements)**
- 275-10 Escrow Deposit Per 276-12 may be required.  
**(To be determined with Town Staff & Planning Board)**
- 275-12.E Bonding/Security For Site and Offsite work, may be required.  
**(To be determined with Town Staff & Planning Board)**
- 275-15 Waivers may be granted as specified in 276-7.  
**(None known at this time but may be coordinated if determined to be required per the design, and coordinated with Town Staff and the Planning Board)**
- 275-18 Performance Sureties - be required, per 276-4.  
**(To be determined with Town Staff & Planning Board)**
- 275-20 Utilities - All work shall comply with 276-13.**(Complies)**

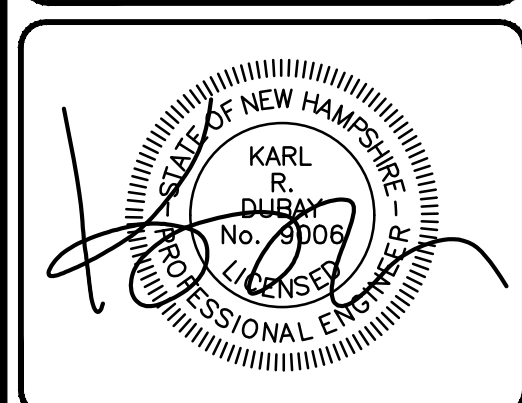
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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.	APPROVED BY THE HUDSON, NH PLANNING BOARD	
	DATE OF MEETING: _____	
	CHAIRMAN _____	SIGNATURE DATE: _____
	SECRETARY _____	SIGNATURE DATE: _____
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**The Dubay Group, Inc.**  
136 Harvey Rd. Bldg B101  
Londonderry, NH 03053  
603-458-6462

Engineers  
Planners  
Surveyors  
TheDubayGroup.com



REVISIONS:			
REV.	DATE:	COMMENT:	BY:
1	9/20/21	MISC. REVS	WA

DRAWN BY: JGG  
CHECKED BY: KRD  
DATE: AUG. 3, 2021  
SCALE: NONE  
FILE: 475-NOTES  
DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH

PREPARED FOR



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
133 PEARL STREET #300  
BOSTON, MA 02110

OWNER

**5 WAY REALTY TRUST**  
PETER HORNE, TRUSTEE  
PO BOX 1435  
N. HAMPTON, NH 03862

SHEET TITLE:

**SITE**  
**REGULATIONS**  
**COMPLIANCE**  
**NOTES**

PROJECT #475 SHEET 3 of 80

ABUTTER LIST:

MAP 203/LOT:

- 10, 11 TOWN OF HUDSON 12 SCHOOL ST HUDSON, NH 03051
12, 13 TOWN OF HUDSON 12 SCHOOL ST HUDSON, NH 03051
14 TOWN OF HUDSON 12 SCHOOL ST HUDSON, NH 03051
27 BRIAN R. BLOCKER 6 HICKORY ST HUDSON, NH 03051
28 GREGORY & LEE ANN NELSON 8 HICKORY ST HUDSON, NH 03051
29 PHILIP & JOAN MACSWEENEY 10 HICKORY ST HUDSON, NH 03051
30 TODD NEWCOMBE DINA FAGUNDES-NEWCOMBE 12 HICKORY ST HUDSON, NH 03051
31 TIM & BARBARA COULTER 14 HICKORY ST HUDSON, NH 03051
32 HULSE JOINT REVOCABLE TRUST OF 2014 JAMES & DENISE HULSE TRUSTEES 16 HICKORY ST HUDSON, NH 03051
33 RICHARD & LISA OLSON 18 HICKORY ST HUDSON, NH 03051
34 CHARLES & MARY BOISSONNEAULT 20 HICKORY ST HUDSON, NH 03051
35 OUELLETTE FAMILY TRUST DONALD & DEBORAH OUELLETTE TRUSTEES 22 HICKORY ST HUDSON, NH 03051
36 DONALD & PAMELA CHARTRAND 24 HICKORY ST HUDSON, NH 03051
37 VICTOR GOMEZ 26 HICKORY ST HUDSON, NH 03051

ABUTTER LIST:

MAP 203/LOT CONT.:

- 38 JONATHAN & DOROTHY DAVIS 7 JUNIPER ST HUDSON, NH 03051
39 SEIBERG REV. TRUST AGREEMENT DALE & SUSAN SEIBERG TRUSTEES 5 JUNIPER ST HUDSON, NH 03051
40 JAMES & SHEILA QUEENAN 47 COTTONWOOD DR HUDSON, NH 03051
41 ALAIN DUBE DIANE ST. PIERRE 45 COTTONWOOD DR HUDSON, NH 03051
42 EVAN GODOUCO 43 COTTONWOOD DR HUDSON, NH 03051
43 DAVID TAVARES 41 COTTONWOOD DR HUDSON, NH 03051
55 SCHMITT REVOCABLE TRUST JOSEPH SCHMITT TRUSTEE 19 HICKORY ST HUDSON, NH 03051
56 JOSEPH MARTIN LINDSAY LEMIEUX 17 HICKORY ST HUDSON, NH 03051
104 KATHLEEN FINN JESSICA LIBERMAN 15 HICKORY ST HUDSON, NH 03051
105 JENNIFER GARNEAU 13 HICKORY ST HUDSON, NH 03051
115 MARK & CAROL SCANLON 11 HICKORY ST HUDSON, NH 03051
116 MICHAEL RICE 9 HICKORY ST HUDSON, NH 03051
125 ZACHARY PHILLIPS 7 HICKORY ST HUDSON, NH 03051

ABUTTER LIST:

MAP 209/LOT:

- 1-1 FRIARS COURT CONDOMINIUM 1264 MAIN ST WALTHAM, MA 02451
1-2 5 WAY REALTY TRUST C/O WALTER FLOWERS PO BOX 1435 N. HAMPTON, NH 03862
1-1-1 FC OWNER LLC 1264 MAIN ST WALTHAM, MA 02451
1-1-2 FC2 OWNER LLC 1264 MAIN ST WALTHAM, MA 02451
2 FARLEY WHITE HUDSON, LLC 1 BEDFORD FARMS DR, STE 200 BEDFORD, NH 03110
4 INTEGRA BIOSCIENCES CORP 2 WENTWORTH DR HUDSON, NH 03051
5 HARRY HAYTAYAN REV. TRUST HARRY HAYTAYAN TRUSTEE 17 FRIARS DR HUDSON, NH 03051

ABUTTER LIST:

MAP 204/LOT:

- 1 LOWELL ROAD, LLC PO BOX 1435 NORTH HAMPTON, NH 03862
2 RICHARD GEORGE DEMERS 22 LISA LANE LOWELL, MA 01854
3 MONUMENT CONSTRUCTION, LLC 21 FACTORY ST, STE 1 NASHUA, NH 03060
4 DBV, INC C/O WALTER FLOWERS 15 COURT SQ, STE 340 BOSTON, MA 02108
6 FOX HOLLOW CONDOMINIUM ASSOC C/O GREAT NORTH PROPERTY MGMT 636 DANIEL WEBSTER HWY MERRIMACK, NH 03054
6-421 DAVID J. LAFOND 421 FOX HOLLOW DRIVE HUDSON, NH 03051

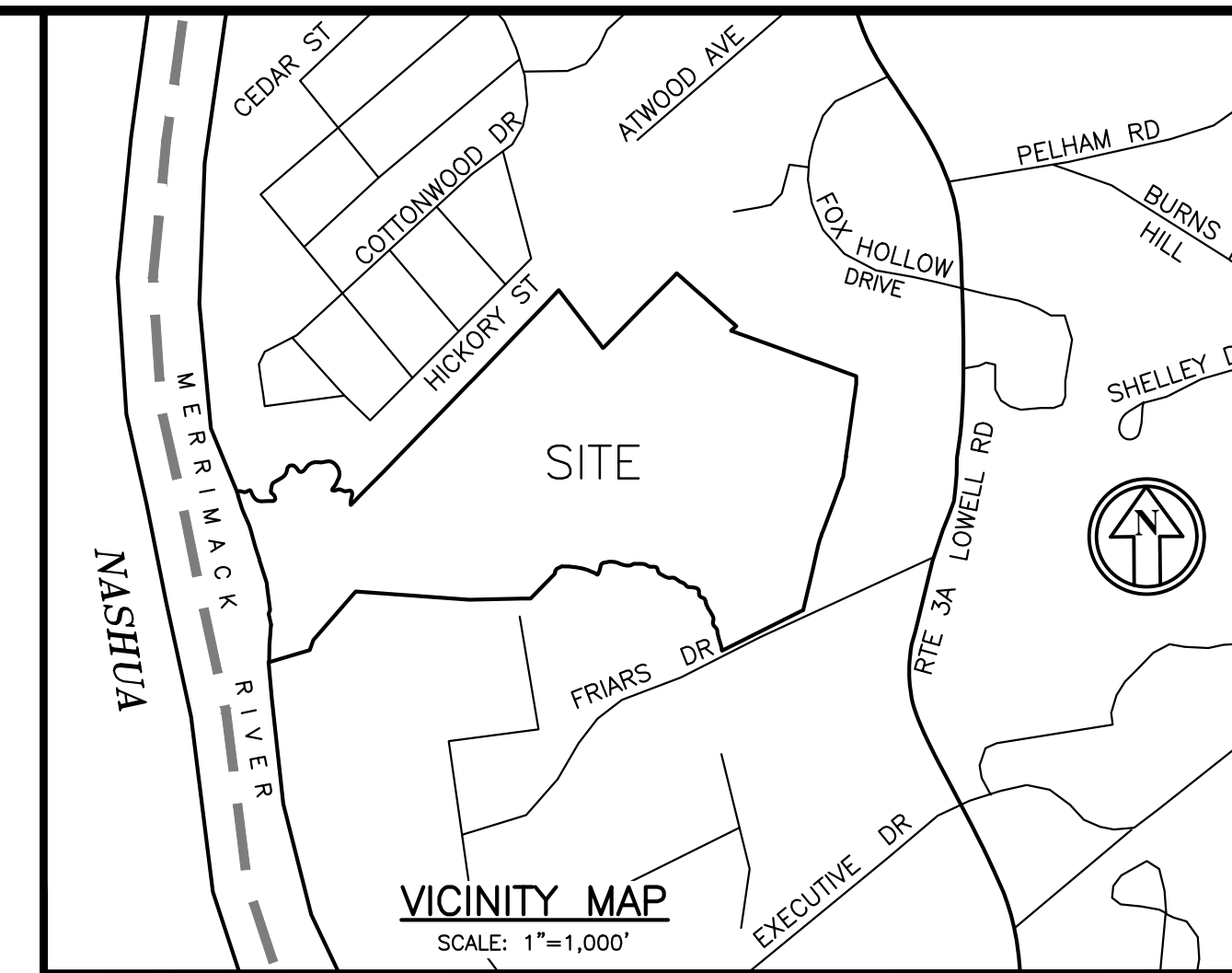
ABUTTER LIST:

MAP 210/LOT:

- 8 171 JMJ REALTY, LLC 175 LOWELL RD HUDSON, NH 03051

PLAN AND DEED REFERENCES:

- 1. ALTA/NSPS LAND TITLE SURVEY, FRIARS COURT, MAP 209 LOT 1-1, 161 LOWELL ROAD, HUDSON, NH; PREPARED FOR: 5 WAY REALTY TRUST, PETER HORNE, TRUSTEE; SCALE: 1"=50'; DATED JUNE 20, 2020, AND REVISED THROUGH SEPTEMBER 2020; PREPARED BY THE DUBAY GROUP, INC.; PLAN NOT RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
2. CONDO SITE PLAN OF FRIARS COURT, MAP 209 LOT 1-1; PREPARED FOR DAKOTA PARTNERS, INC.; SCALE: 1"=50'; DATED MARCH 2020, AND REVISED THROUGH SEPTEMBER 2020; PREPARED BY THE DUBAY GROUP, INC.; RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS AS PLAN #40705.
3. H.C.R.D. PLAN #40569.
4. H.C.R.D. PLAN #40568.
5. H.C.R.D. PLAN #38615.
6. H.C.R.D. PLAN #38110.
7. H.C.R.D. PLAN #28934.
8. H.C.R.D. PLAN #28866.
9. H.C.R.D. PLAN #28865.
10. H.C.R.D. PLAN #28159.
11. H.C.R.D. PLAN #25519.
12. H.C.R.D. PLAN #22840.
13. H.C.R.D. PLAN #17646.
14. H.C.R.D. PLAN #14556.
15. H.C.R.D. PLAN #13738.
16. H.C.R.D. PLAN #13138.
17. H.C.R.D. PLAN #11071.
18. H.C.R.D. PLAN #11023.
19. H.C.R.D. PLAN #8729.
20. H.C.R.D. PLAN #5475.
21. H.C.R.D. PLAN #4600.
22. H.C.R.D. PLAN #2807.
23. H.C.R.D. PLAN #890.
24. H.C.R.D. PLAN #301.



NOTES:

- 1. OWNER OF RECORD: (MAP 209 LOT 1) 5 WAY REALTY TRUST PETER HORNE, TRUSTEE PO BOX 1435 N. HAMPTON, NH 03862 SOURCE OF TITLE: Bk. 6046 PG. 1131 (H.C.R.D.)
2. THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON AN ON-THE-GROUND SURVEY BY THIS OFFICE IN DECEMBER 2020 AND JANUARY 2021, AND INFORMATION TAKEN FROM DEEDS AND PLANS OF RECORD.
3. EXISTING FEATURES AND TOPOGRAPHICAL DATA SHOWING TWO (2) FOOT CONTOUR INTERVALS PROVIDED BY EASTERN TOPOGRAPHICS, INC., WOLFEBORO, NEW HAMPSHIRE.
4. BEARINGS SHOWN ARE BASED ON GRID NORTH VIA GNSS OBSERVATIONS TAKEN DECEMBER 2020; VERTICAL DATUM IS REFERENCED TO NAVD88.
5. LOT 1 IS ZONED GENERAL (G ZONE) AND INDUSTRIAL (I ZONE) PER TOWN OF HUDSON ZONING MAP.
MIN. LOT AREA: 30,000 SF - INDUSTRIAL
MIN. LOT AREA: 43,560 SF - GENERAL
BUILDING HEIGHT: 50FT MAX
MIN. LOT FRONTAGE: 150FT
MIN. FRONT YARD: 50FT
MIN. SIDE YARD: 15FT
MIN. REAR YARD: 15FT
6. LOCATION OF THE 100 YEAR FLOODPLAIN BOUNDARY AT ELEVATION 112', IS SHOWN IN ACCORDANCE TO FEMA FLOOD INSURANCE RATE MAP NUMBER 3300339E, WITH AN EFFECTIVE DATE MAY 17, 2005. SAME INFORMATION IS DEPICTED ON FEMA MAP NUMBER 33011C0652Z DATED APRIL 18, 2011 AND FEMA MAP NUMBER 33011C0656D DATED SEPTEMBER 25, 2009.
7. FRONTAGE ALONG FRIARS DRIVE IS A TOWN MAINTAINED ROAD (CLASS V). RIGHT OF WAY IS 50 FEET WIDE.
8. REFER TO EASEMENT DEED OF THE PROVINCE OF ST. MARY OF THE CAPUCHIN ORDER TO PSNH DATED MARCH 1954, FILED AT BOOK 2054, PAGE 115. PERMANENT SEWER EASEMENT, THIRTY (30) FEET WIDE, CONVEYED TO THE TOWN OF HUDSON, DATED MARCH 14, 1978, FILED AT BOOK 2594, PAGE 290.
9. THE LOCATION OF ANY UNDERGROUND UTILITIES SERVICING THE SUBJECT PARCEL ARE APPROXIMATE ONLY. PORTION OF FRIARS DRIVE AND AREA ADJACENT TO IT IS CURRENTLY UNDER CONSTRUCTION AS OBSERVED WHILE CONDUCTING FIELDWORK.
10. THERE IS DIRECT VEHICULAR & PEDESTRIAN ACCESS TO AND FROM LOWELL ROAD (ROUTE 3A) AND EXECUTIVE DRIVE, OVER AND ACROSS FRIARS DRIVE. ALL ARE DEDICATED PUBLIC RIGHTS OF WAY.

The Dubay Group, Inc. 136 Harvey Rd. Bldg B101 Londonderry, NH 03053 603-458-6462
Engineers
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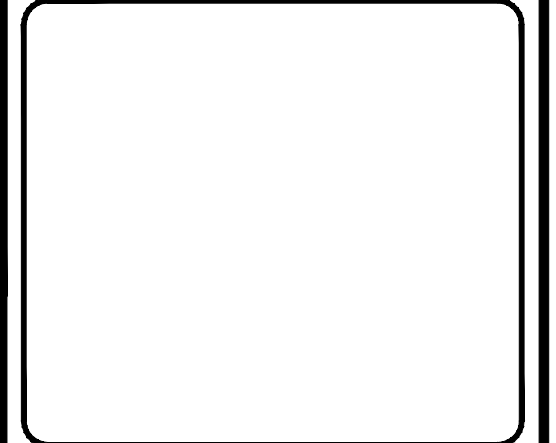


Table with 4 columns: REV, DATE, COMMENT, BY. Row 1: 1, 9/20/21, MISC. REVS, WA

Table with 4 columns: REV, DATE, COMMENT, BY. Row 1: 1, 9/20/21, MISC. REVS, WA

DRAWN BY: TWS
CHECKED BY: TWS
DATE: AUG. 3, 2021
SCALE: 1"=200'
FILE: 475 ECP/VIEWER
DEED REF: 6046/1131

SITE PLAN
FRIARS DRIVE
TAX MAP 209
LOT 001-000
161 LOWELL ROAD
HUDSON, NH
PREPARED FOR
GFI PARTNERS
LOWELL ROAD
PROPERTY OWNER, LLC
133 PEARL STREET #300
BOSTON, MA 02110
OWNER
5 WAY REALTY TRUST
PETER HORNE, TRUSTEE
PO BOX 1435
N. HAMPTON, NH 03862

SHEET TITLE:
EXISTING
CONDITIONS
OVERVIEW
PLAN
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.
Timothy W. Sutherland 8/3/21
TIMOTHY W. SUTHERLAND DATE



LEGEND table listing symbols for GBS, IRF, IRF, GBF, utility poles, manholes, catch basins, sewer manholes, light poles, fire hydrants, water valves, signs, mailboxes, and buildings.

WETLAND NOTES

- 1. WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN MARCH 2019 AND DECEMBER 2020, AND LOCATED BY THIS OFFICE IN MARCH 2019 AND DECEMBER 2020.
2. WETLAND DELINEATION WAS PERFORMED TO THE STANDARDS OF THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, (JANUARY, 1987).
3. DOMINANT HYDRIC SOIL CONDITIONS WITHIN THE WETLANDS WERE IDENTIFIED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE CRITERIA OF FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, 2004.
4. DOMINANCE OF WETLAND VEGETATION WAS ASSESSED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: 1988 NORTHEAST (REGION 1) (PORTER B. REED, JR.).
5. THERE IS A TOTAL OF 71,325 SF OF WETLANDS DELINEATED ON THIS SITE.



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.
APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING:
CHAIRMAN SIGNATURE DATE:
SECRETARY SIGNATURE DATE:
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



The Dubai Group, Inc.

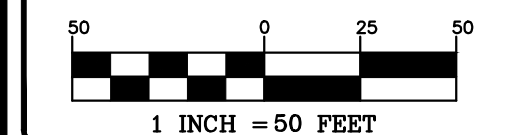
136 Harvey Rd. Bldg B101  
Londonderry, NH 03053  
603-458-6462

Engineers

Planners

Surveyors

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D	C	B
A		

SHEET KEY

REVISIONS:			
REV.	DATE:	COMMENT:	BY:
1	9/20/21	MISC. REVS	WA

DRAWN BY:	TWS
CHECKED BY:	TWS
DATE:	AUG. 3, 2021
SCALE:	1"=50'
FILE:	475 ECP
DEED REF:	6046/1131

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH



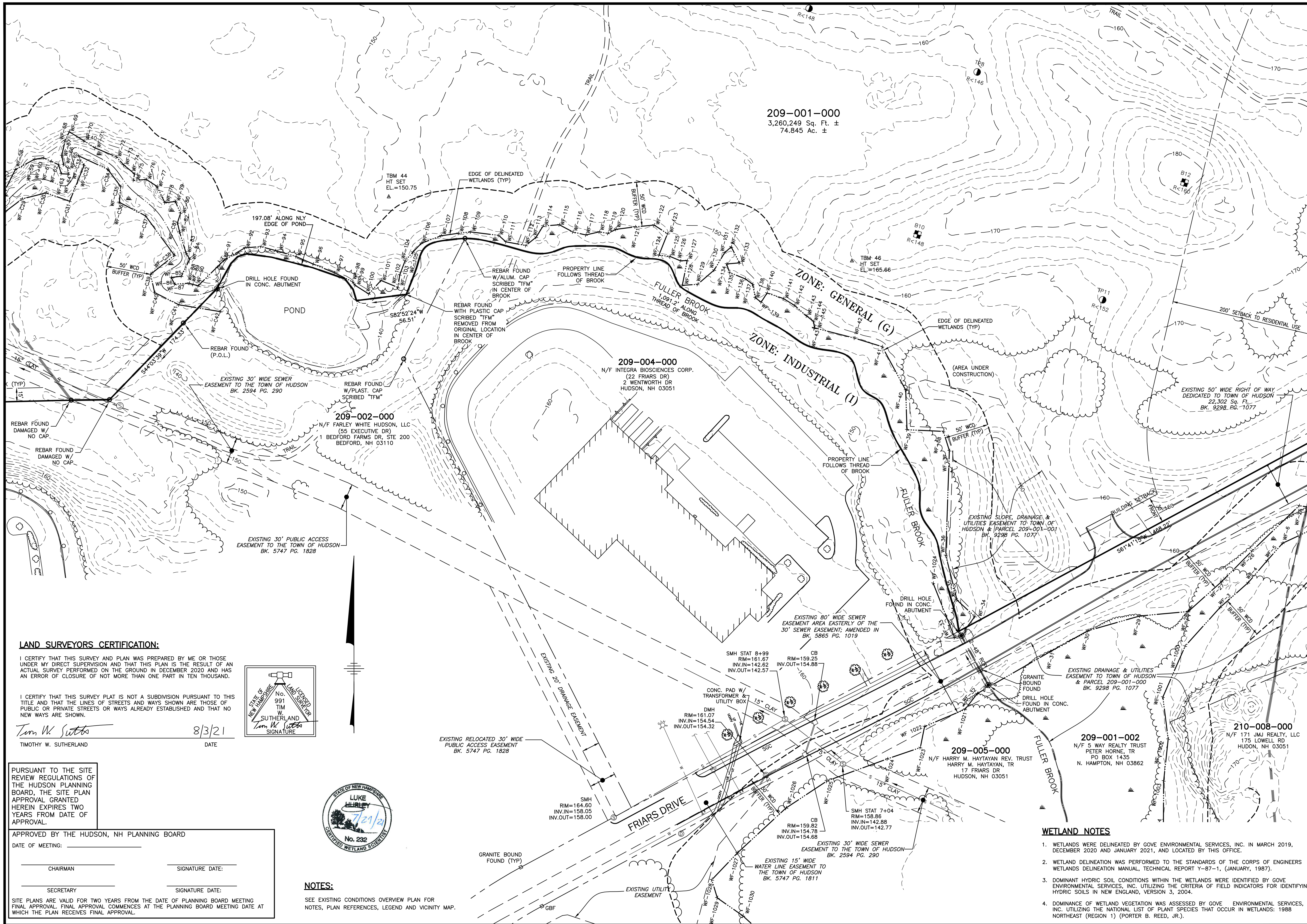
LOWELL ROAD  
 PROPERTY OWNER, LLC  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

5 WAY REALTY TRUST  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:

**EXISTING CONDITIONS PLAN - A**

PROJECT #475 SHEET 5 of 80

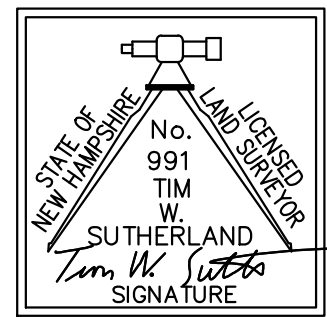


**LAND SURVEYORS CERTIFICATION:**

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND IN DECEMBER 2020 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

*Tim W. Sutherland* 8/3/21  
TIMOTHY W. SUTHERLAND DATE



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

CHAIRMAN	SIGNATURE DATE:
SECRETARY	SIGNATURE DATE:

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

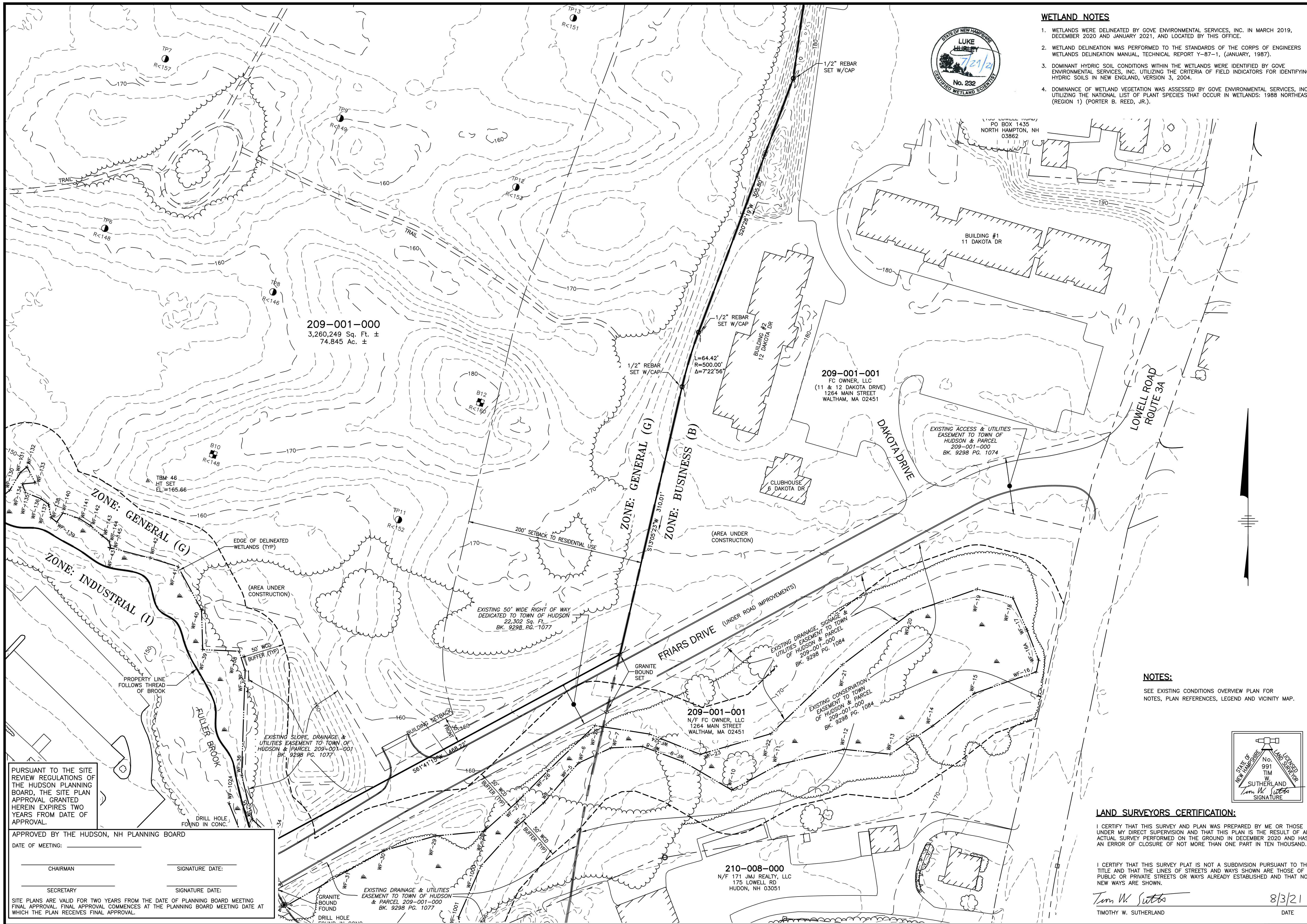


**NOTES:**

SEE EXISTING CONDITIONS OVERVIEW PLAN FOR NOTES, PLAN REFERENCES, LEGEND AND VICINITY MAP.

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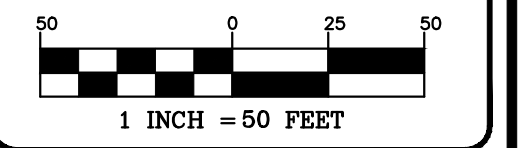
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 Planners  
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**SHEET KEY**

REVISIONS:			
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1	9/20/21	MISC. REVS	WA

DRAWN BY: TWS  
 CHECKED BY: TWS  
 DATE: AUG. 3, 2021  
 SCALE: 1"=50'  
 FILE: 475 ECP  
 DEED REF: 6046/1131

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR \_\_\_\_\_



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER  
**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:

**EXISTING**  
**CONDITIONS**  
**PLAN - B**

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD  
 DATE OF MEETING: \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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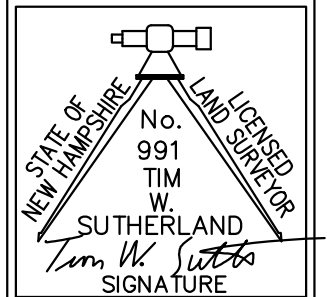
SEE EXISTING CONDITIONS OVERVIEW PLAN FOR NOTES, PLAN REFERENCES, LEGEND AND VICINITY MAP.

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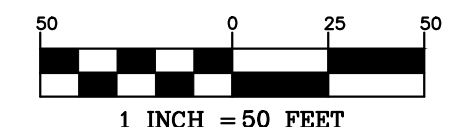
*Timothy W. Sutherland*  
 TIMOTHY W. SUTHERLAND  
 DATE: 8/3/21





**The Dubay Group, Inc.**  
 136 Harvey Rd. Bldg B101  
 Londonderry, NH 03053  
 603-458-6462

Engineers  
 Planners  
 Surveyors  
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SHEET KEY

REV.	DATE:	REVISIONS:	BY:
1	9/20/21	MISC. REVS	WA

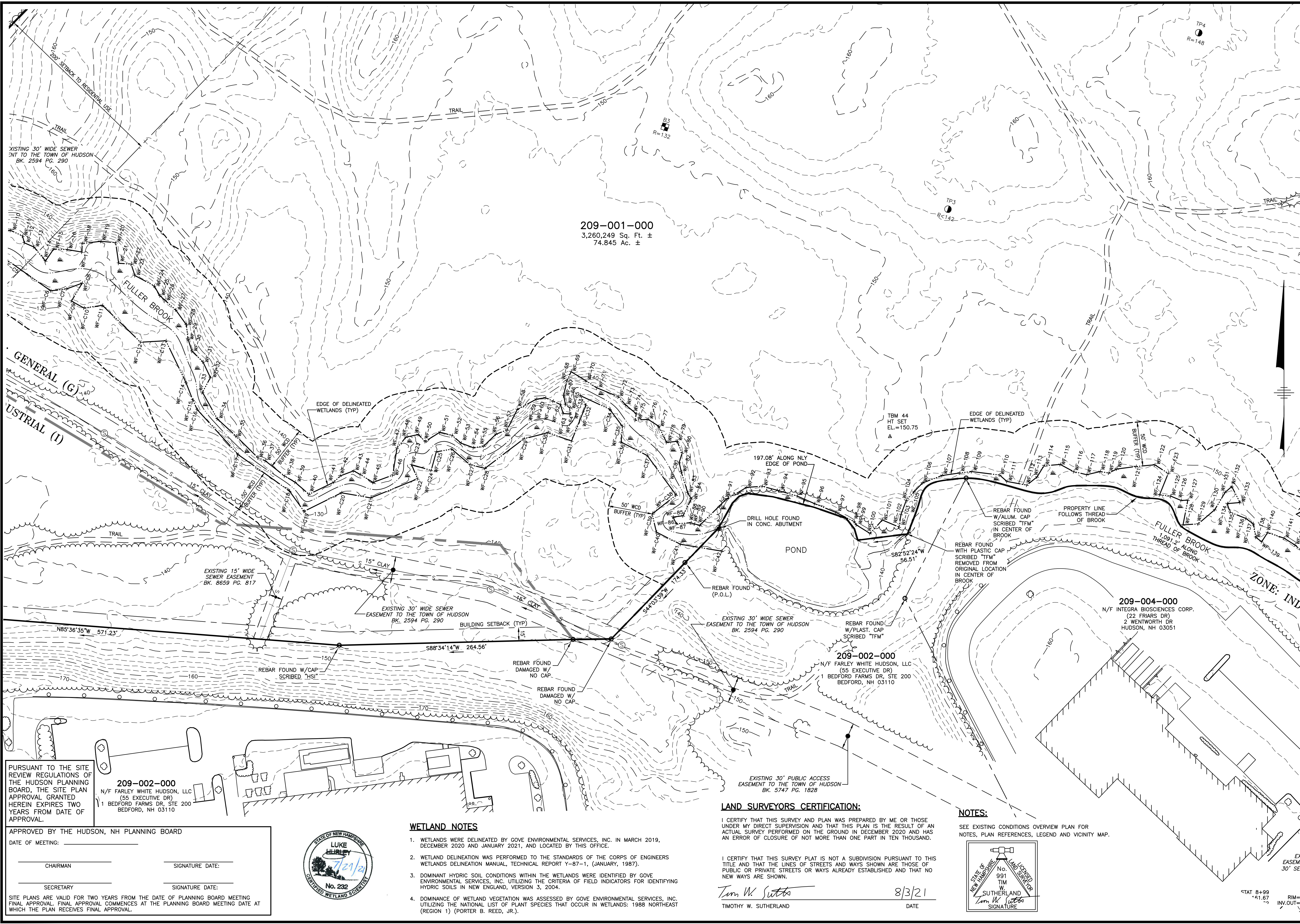
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PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR \_\_\_\_\_



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER  
**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:  
**EXISTING**  
**CONDITIONS**  
**PLAN - C**



**209-001-000**  
 3,260,249 Sq. Ft. ±  
 74.845 Ac. ±

**209-002-000**  
 N/F FARLEY WHITE HUDSON, LLC  
 (55 EXECUTIVE DR)  
 BEDFORD FARMS DR, STE 200  
 BEDFORD, NH 03110

**209-004-000**  
 N/F INTEGRA BIOSCIENCES CORP.  
 (22 FRIARS DR)  
 2 WENTWORTH DR  
 HUDSON, NH 03051

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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**LAND SURVEYORS CERTIFICATION:**

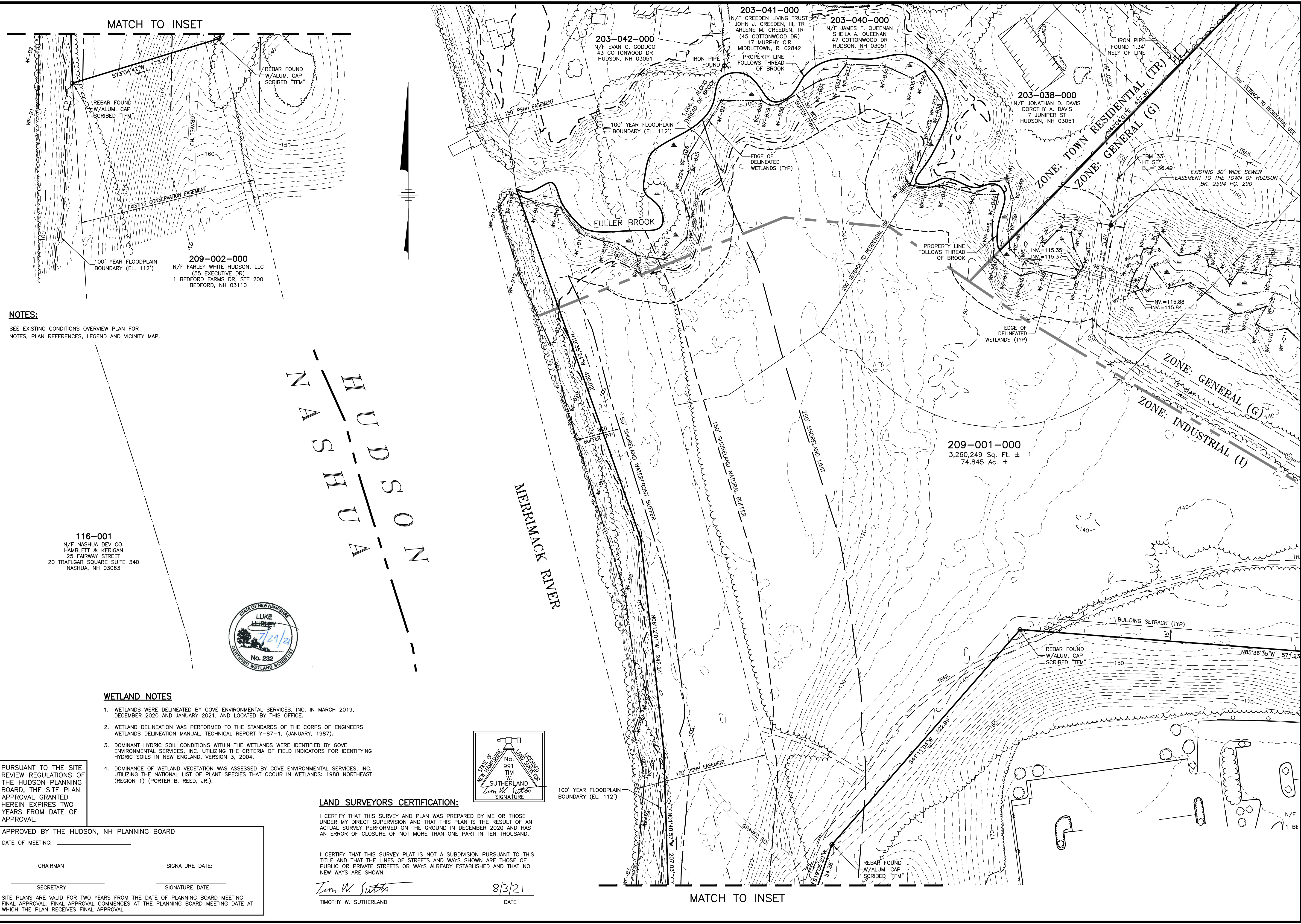
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*Timothy W. Sutherland*  
 TIMOTHY W. SUTHERLAND  
 DATE: 8/3/21

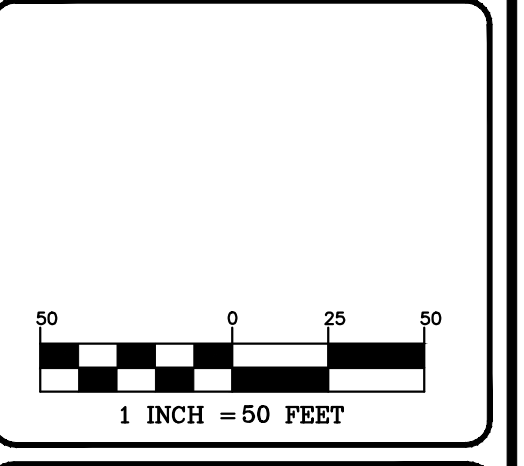
**NOTES:**

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Engineers  
Planners  
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**SHEET KEY**

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1	9/20/21	MISC. REVS	WA

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**PROJECT:**  
**SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH  
PREPARED FOR \_\_\_\_\_

**GFI PARTNERS**

**LOWELL ROAD**  
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BOSTON, MA 02110  
OWNER

**5 WAY REALTY TRUST**  
PETER HORNE, TRUSTEE  
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SHEET TITLE:  
**EXISTING CONDITIONS PLAN - D**

PROJECT #475 SHEET 8 of 80





**WETLAND NOTES**

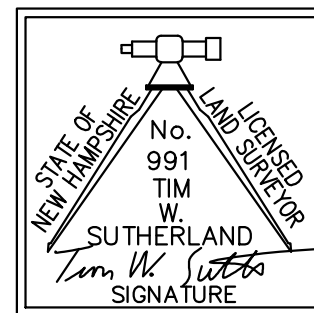
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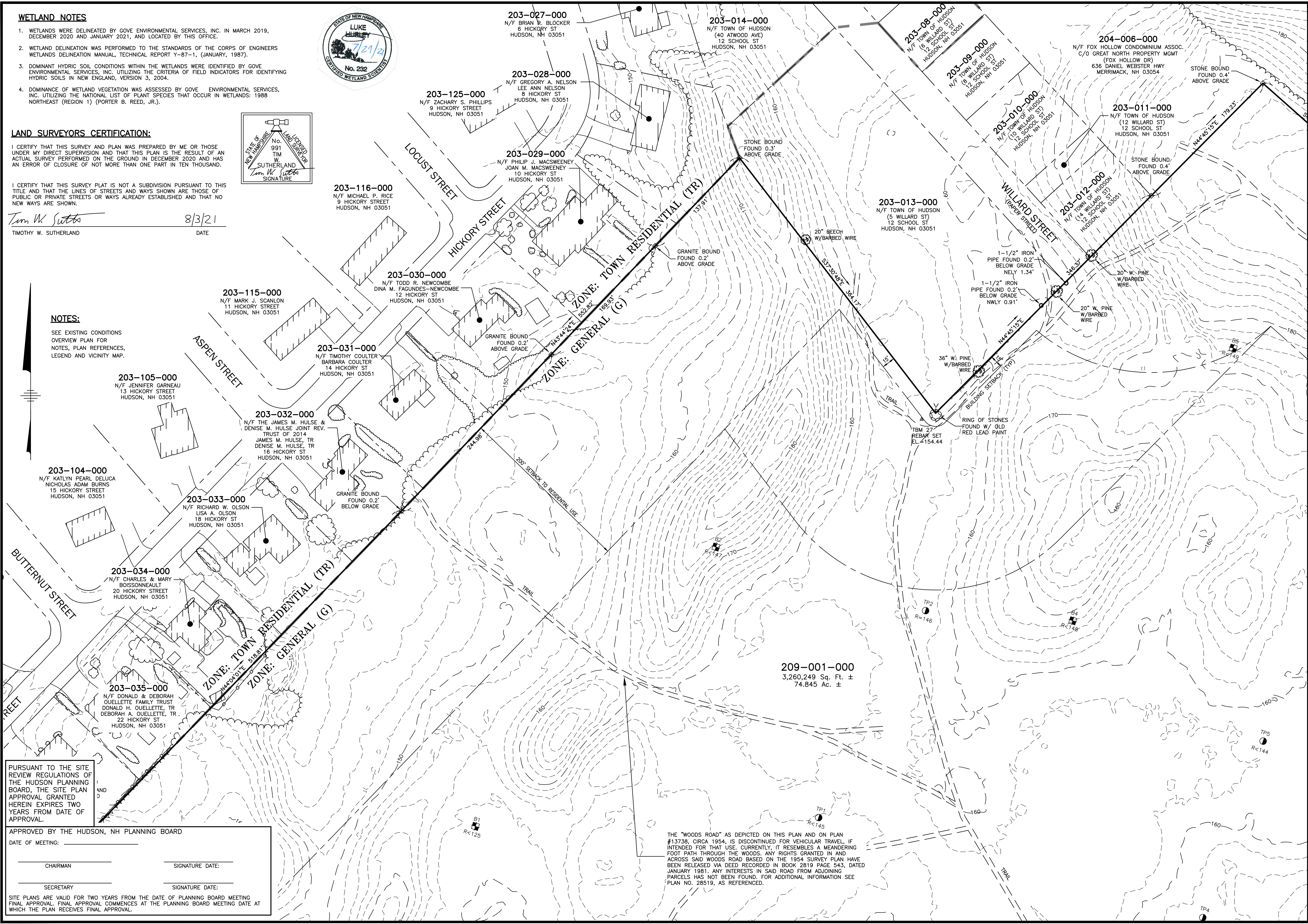
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*Tim W. Sutherland* 8/3/21  
TIMOTHY W. SUTHERLAND DATE



**NOTES:**

SEE EXISTING CONDITIONS OVERVIEW PLAN FOR NOTES, PLAN REFERENCES, LEGEND AND VICINITY MAP.



THE "WOODS ROAD" AS DEPICTED ON THIS PLAN AND ON PLAN #13738, CIRCA 1954, IS DISCONTINUED FOR VEHICULAR TRAVEL, IF INTENDED FOR THAT USE. CURRENTLY, IT RESEMBLES A MEANDERING FOOT PATH THROUGH THE WOODS. ANY RIGHTS GRANTED IN AND ACROSS SAID WOODS ROAD BASED ON THE 1954 SURVEY PLAN HAVE BEEN RELEASED VIA DEED RECORDED IN BOOK 2819 PAGE 543, DATED JANUARY 1981. ANY INTERESTS IN SAID ROAD FROM ADJOINING PARCELS HAS NOT BEEN FOUND. FOR ADDITIONAL INFORMATION SEE PLAN NO. 28519, AS REFERENCED.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

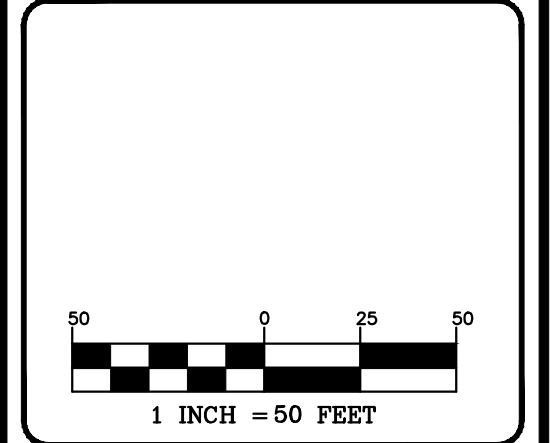
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SHEET TITLE:  
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**CONDITIONS**  
**PLAN - F**



The Dubai Group, Inc.

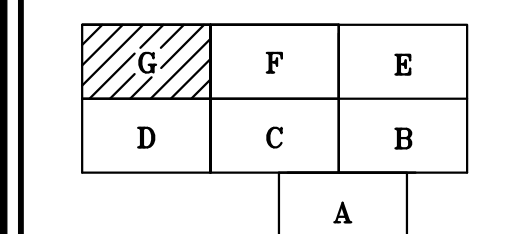
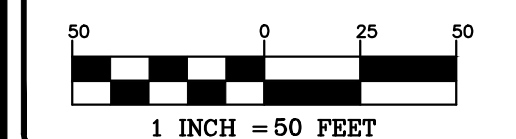
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Surveyors

TheDubayGroup.com



SHEET KEY

REVISIONS:			
REV.	DATE:	COMMENT:	BY:
1	9/20/21	MISC. REVS	WA

DRAWN BY:	TWS
CHECKED BY:	TWS
DATE:	AUG. 3, 2021
SCALE:	1"=50'
FILE:	475 ECP
DEED REF:	6046/1131

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR \_\_\_\_\_



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER  
**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

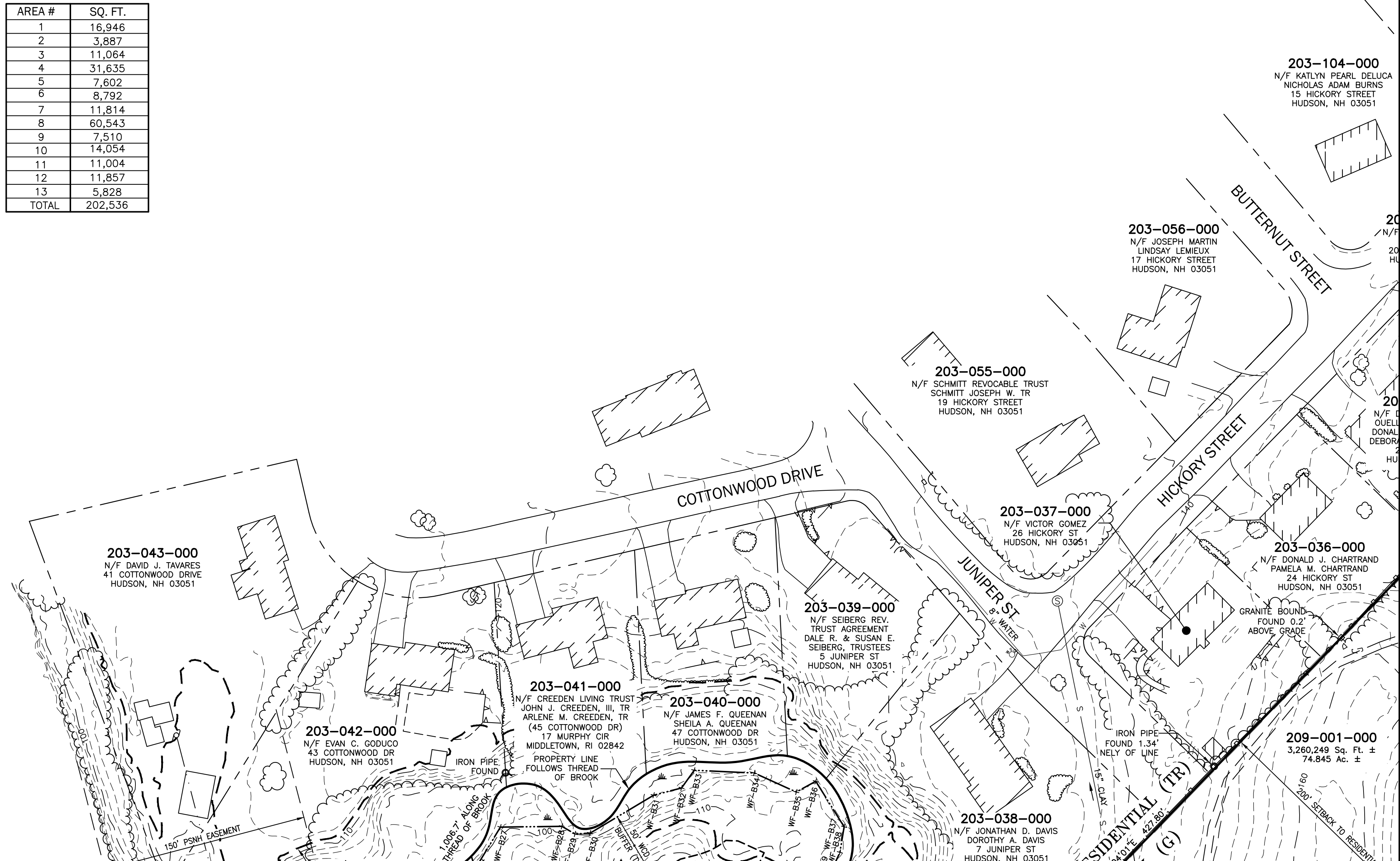
SHEET TITLE:  
**EXISTING**  
**CONDITIONS**  
**PLAN - G**

PROJECT #475 SHEET 11 of 80



**STEEP SLOPES**

AREA #	SQ. FT.
1	16,946
2	3,887
3	11,064
4	31,635
5	7,602
6	8,792
7	11,814
8	60,543
9	7,510
10	14,054
11	11,004
12	11,857
13	5,828
TOTAL	202,536



**WETLAND NOTES**

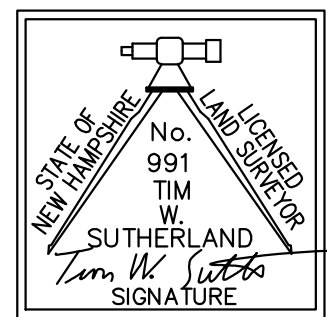
1. WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN MARCH 2019, AND LOCATED BY THIS OFFICE IN MARCH 2019 AND DECEMBER 2020.
2. WETLAND DELINEATION WAS PERFORMED TO THE STANDARDS OF THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, (JANUARY, 1987).
3. DOMINANT HYDRIC SOIL CONDITIONS WITHIN THE WETLANDS WERE IDENTIFIED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE CRITERIA OF FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, 2004.
4. DOMINANCE OF WETLAND VEGETATION WAS ASSESSED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: 1988 NORTHEAST (REGION 1) (PORTER B. REED, JR.).

**LAND SURVEYORS CERTIFICATION:**

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND IN DECEMBER 2015 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

*Timothy W. Sutherland* 8/3/21  
 TIMOTHY W. SUTHERLAND DATE



**NOTES:**

SEE EXISTING CONDITIONS OVERVIEW PLAN FOR NOTES, PLAN REFERENCES, LEGEND AND VICINITY MAP.

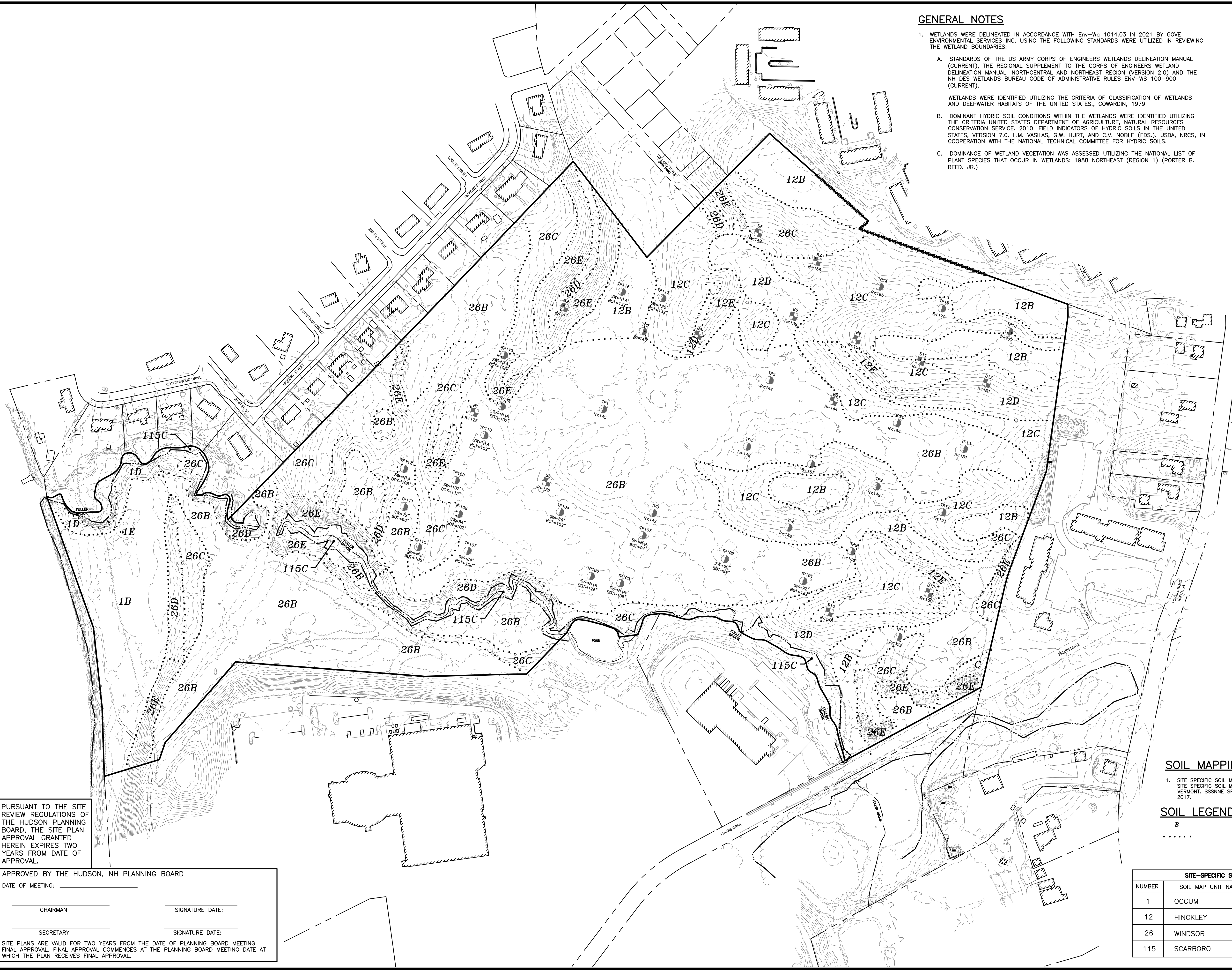
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

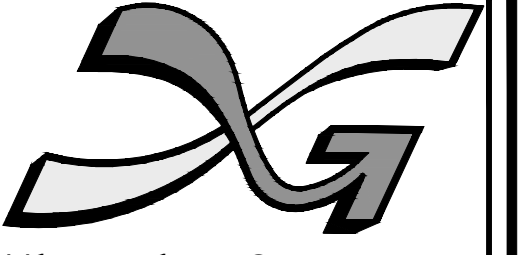
CHAIRMAN	SIGNATURE DATE:
_____	_____
SECRETARY	SIGNATURE DATE:
_____	_____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



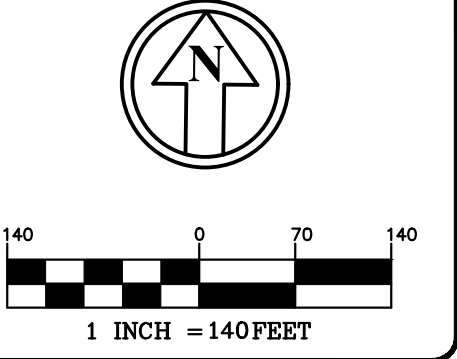
**GENERAL NOTES**

1. WETLANDS WERE DELINEATED IN ACCORDANCE WITH ENV-WQ 1014.03 IN 2021 BY GOVE ENVIRONMENTAL SERVICES INC. USING THE FOLLOWING STANDARDS WERE UTILIZED IN REVIEWING THE WETLAND BOUNDARIES:
  - A. STANDARDS OF THE US ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL (CURRENT), THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION (VERSION 2.0) AND THE NH DES WETLANDS BUREAU CODE OF ADMINISTRATIVE RULES ENV-W5 100-900 (CURRENT).
  - WETLANDS WERE IDENTIFIED UTILIZING THE CRITERIA OF CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES., COWARDIN, 1979
  - B. DOMINANT HYDRIC SOIL CONDITIONS WITHIN THE WETLANDS WERE IDENTIFIED UTILIZING THE CRITERIA UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, 2010, FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0. L.M. VASILAS, G.W. HURT, AND C.V. NOBLE (EDS.), USDA, NRCS, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
  - C. DOMINANCE OF WETLAND VEGETATION WAS ASSESSED UTILIZING THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: 1988 NORTHEAST (REGION 1) (PORTER B. REED, JR.)



**The Dubai Group, Inc.**  
 136 Harvey Rd. Bldg B101  
 Londonderry, NH 03053  
 603-458-6462

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 Planners  
 Surveyors  
 TheDubayGroup.com



REVISIONS:			
REV.	DATE:	COMMENT:	BY:

DRAWN BY: TRL  
 CHECKED BY: KRD  
 DATE: SEPTEMBER 16, 2021  
 SCALE: 1" = 140'  
 FILE: 475-SOILS  
 DEED REF: 6046/1131

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER  
**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:

**SITE SPECIFIC SOILS PLAN**

PROJECT #475 SHEET 12

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

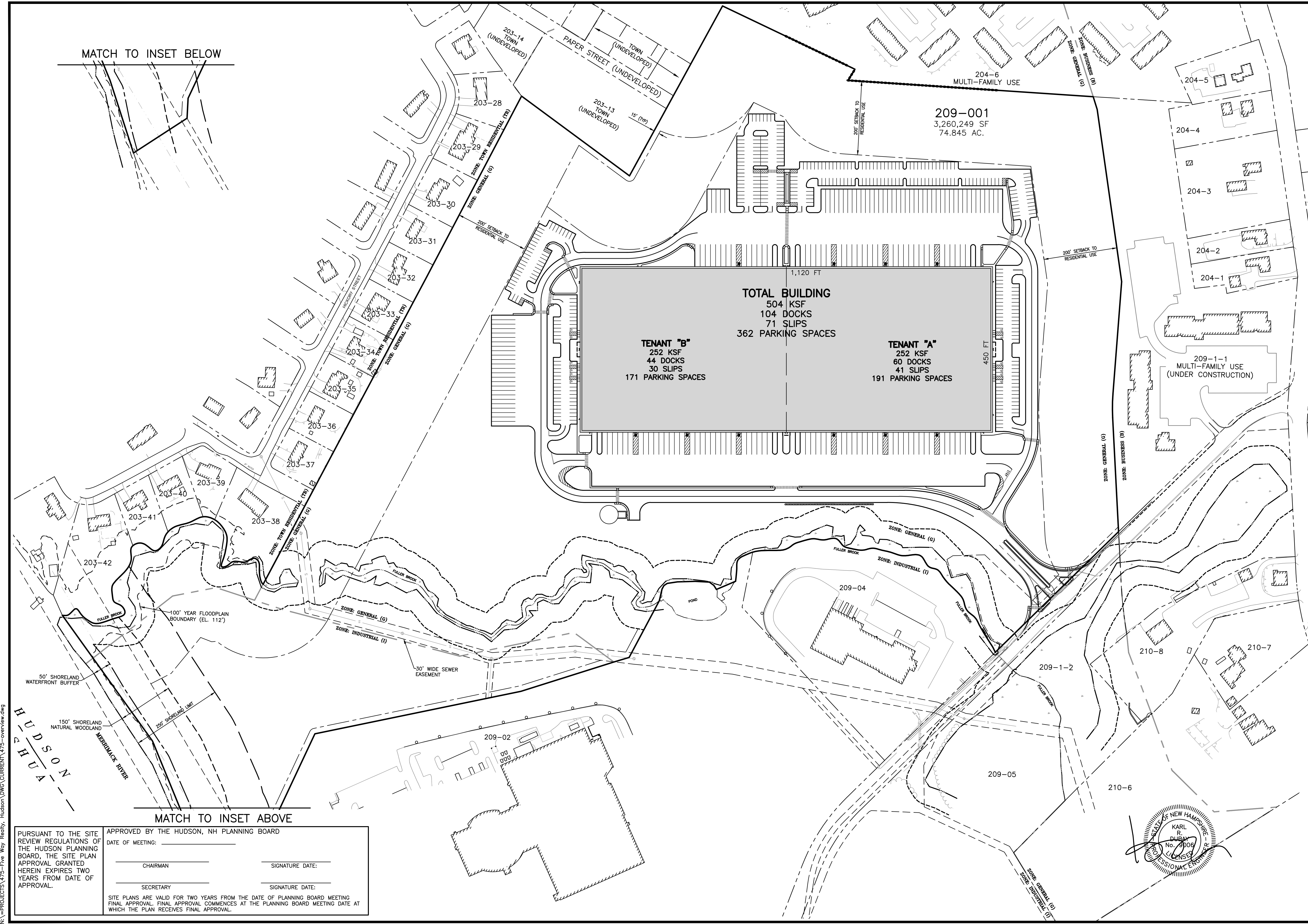
**SOIL MAPPING NOTES**

1. SITE SPECIFIC SOIL MAPPING WAS PERFORMED TO THE STANDARDS OF SITE SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT. SSSNNE SPECIAL PUBLICATION NO. 3, VERSION 5, FEBRUARY 2017.

**SOIL LEGEND**

- B SOIL TYPE DESIGNATION
- ..... SOIL BOUNDARY

SITE-SPECIFIC SOIL MAPPING LEGEND			
NUMBER	SOIL MAP UNIT NAME	DRAINAGE CLASS	HSG
1	OCCUM	MODERATELY WELL DRAINED	B
12	HINCKLEY	EXCESSIVELY WELL DRAINED	A
26	WINDSOR	EXCESSIVELY WELL DRAINED	A
115	SCARBORO	VERY POORLY DRAINED	D



MATCH TO INSET BELOW

MATCH TO INSET ABOVE

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-overview.dwg

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

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CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

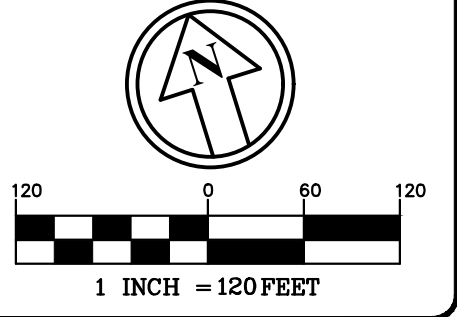
SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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SHEET INDEX

REV.	DATE:	COMMENT:	BY:
1	9/20/21	MISC. REVS	WA

DRAWN BY: WA  
 CHECKED BY: KRD  
 DATE: AUG. 3, 2021  
 SCALE: 1" = 120'  
 FILE: 475-overview  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR \_\_\_\_\_

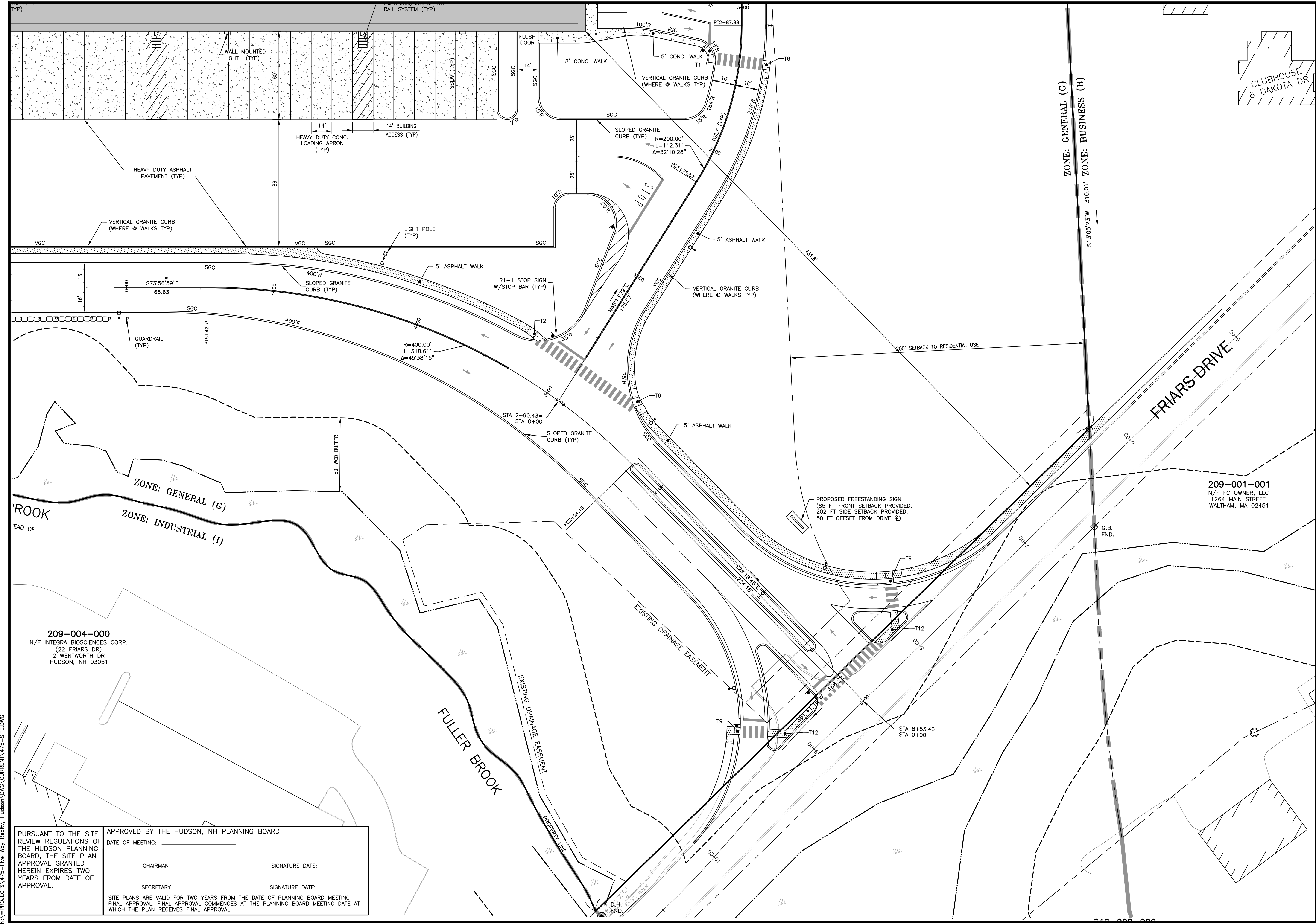


**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:  
**TRACT OVERVIEW PLAN**



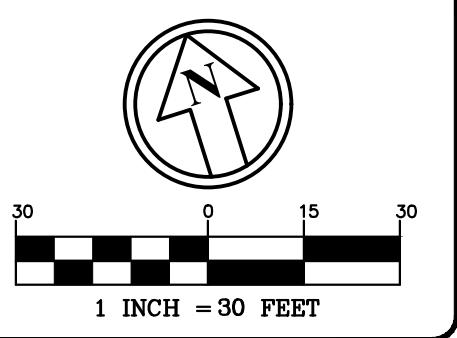


CLUBHOUSE  
6 DAKOTA DR



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SHEET INDEX

REVISIONS:			
REV.	DATE:	COMMENT:	BY:

DRAWN BY: WA  
CHECKED BY: KRD  
DATE: AUG. 3, 2021  
SCALE: 1" = 30'  
FILE: 475-SITE  
DEED REF:

209-001-001  
N/F FC OWNER, LLC  
1264 MAIN STREET  
WALTHAM, MA 02451

209-004-000  
N/F INTEGRA BIOSCIENCES CORP.  
(22 FRIARS DR)  
2 WENTWORTH DR  
HUDSON, NH 03051

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH  
PREPARED FOR



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
133 PEARL STREET #300  
BOSTON, MA 02110  
OWNER  
**5 WAY REALTY TRUST**  
PETER HORNE, TRUSTEE  
PO BOX 1435  
N. HAMPTON, NH 03862

SHEET TITLE:  
**SITE PLAN - A**

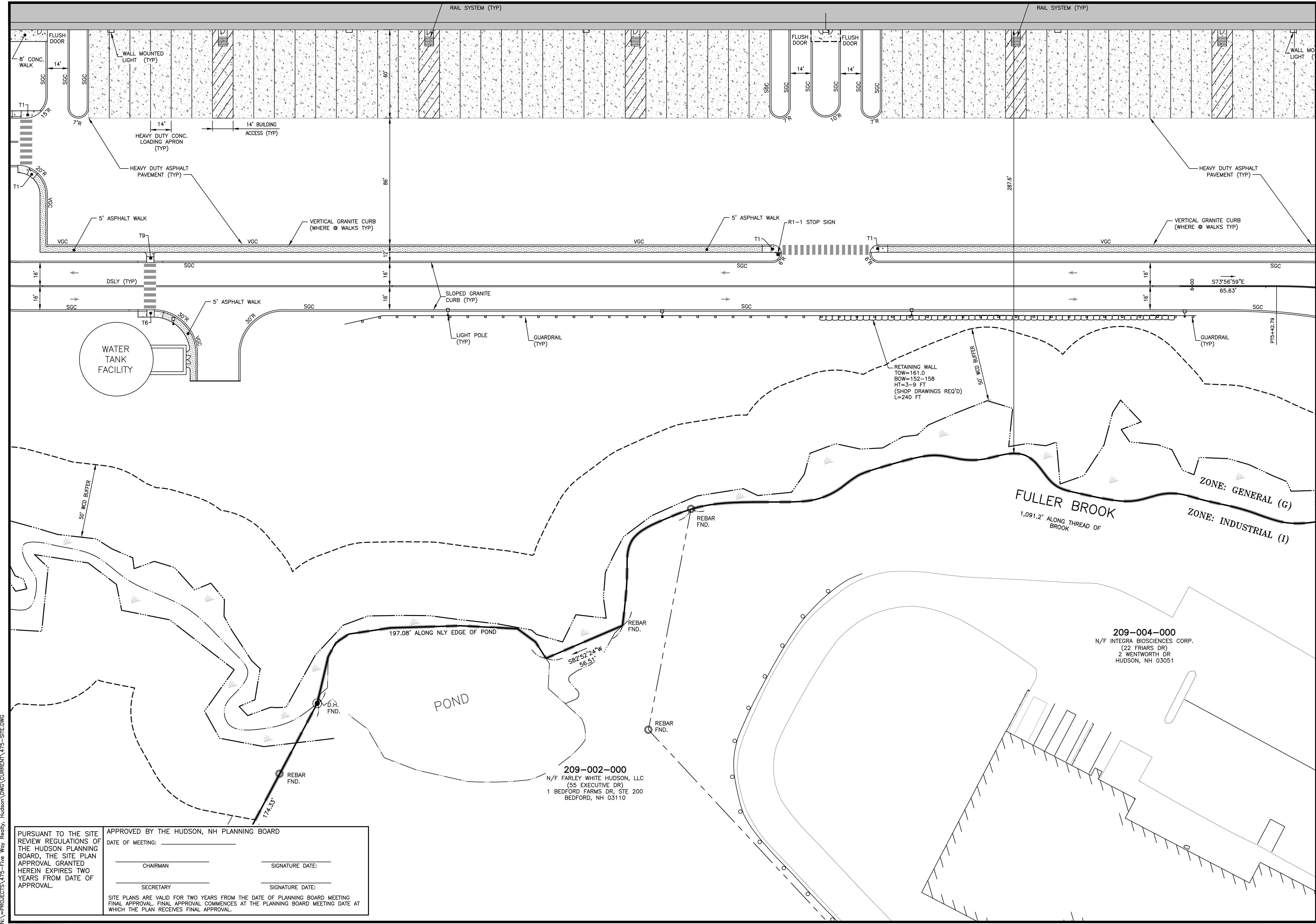
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APPROVED BY THE HUDSON, NH PLANNING BOARD  
DATE OF MEETING: \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

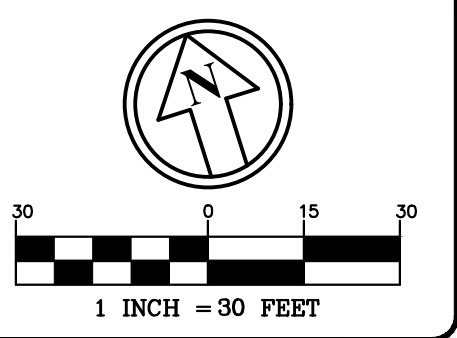
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N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-SITE.DWG



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**SHEET INDEX**

REVISIONS:			
REV.	DATE:	COMMENT:	BY:

DRAWN BY: WA  
 CHECKED BY: KR  
 DATE: AUG. 3, 2021  
 SCALE: 1" = 30'  
 FILE: 475-SITE  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH



LOWELL ROAD  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:  
**SITE PLAN - B**

N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-SITE.DWG

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD  
 DATE OF MEETING: \_\_\_\_\_

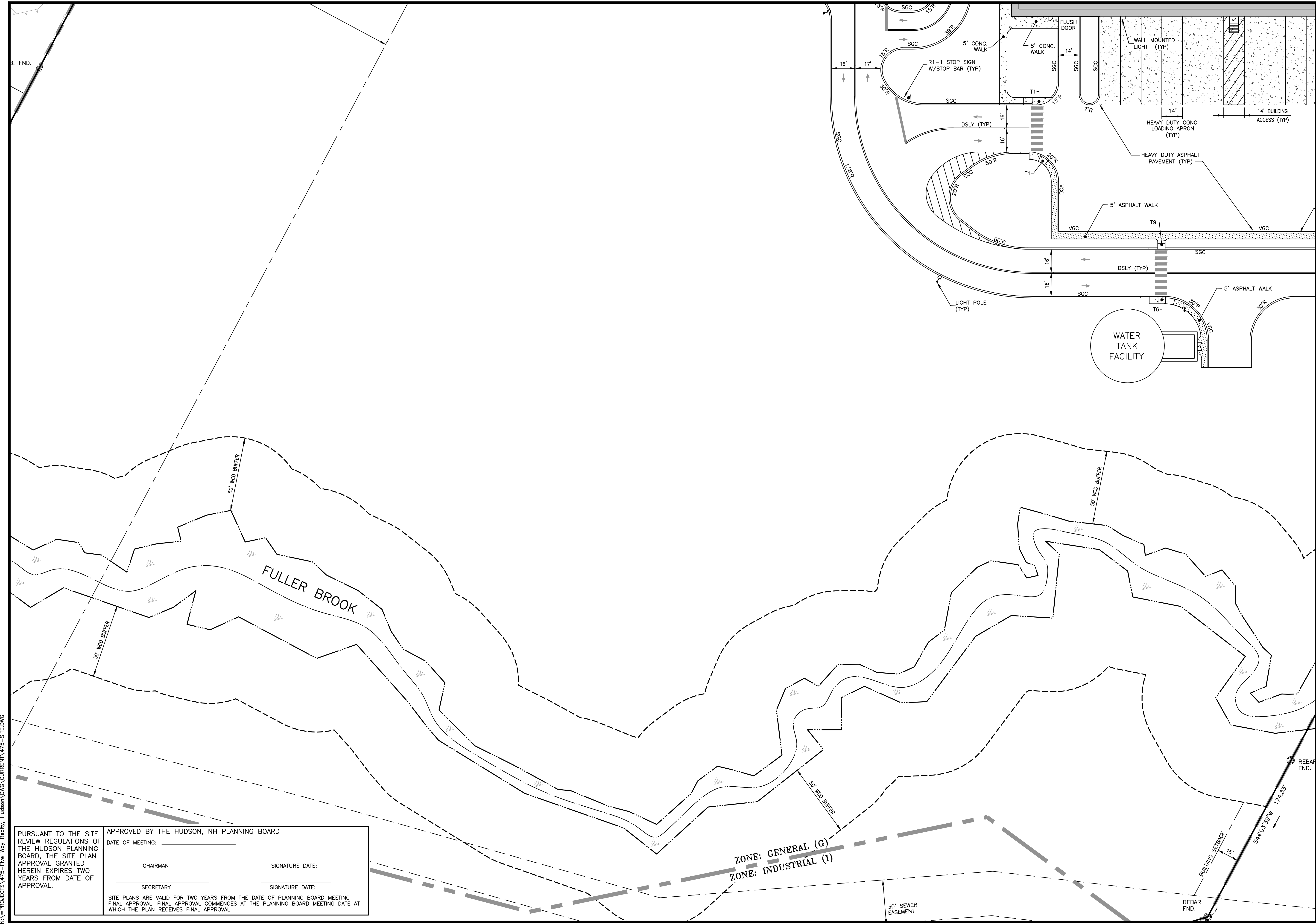
CHAIRMAN	SIGNATURE DATE:
SECRETARY	SIGNATURE DATE:

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**209-002-000**  
 N/F FARLEY WHITE HUDSON, LLC  
 (55 EXECUTIVE DR)  
 1 BEDFORD FARMS DR, STE 200  
 BEDFORD, NH 03110

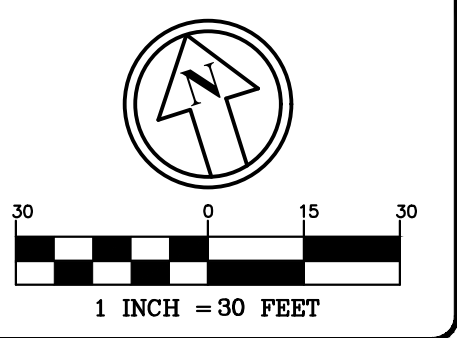
**209-004-000**  
 N/F INTEGRA BIOSCIENCES CORP.  
 (22 FRIARS DR)  
 2 WENTWORTH DR  
 HUDSON, NH 03051





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**SHEET INDEX**

REVISIONS:			
REV.	DATE:	COMMENT:	BY:

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 SCALE: 1" = 30'  
 FILE: 475-SITE  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR

**GFI PARTNERS**  
 LOWELL ROAD  
 PROPERTY OWNER, LLC  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER  
**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:  
**SITE PLAN - C**

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-SITE.DWG

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

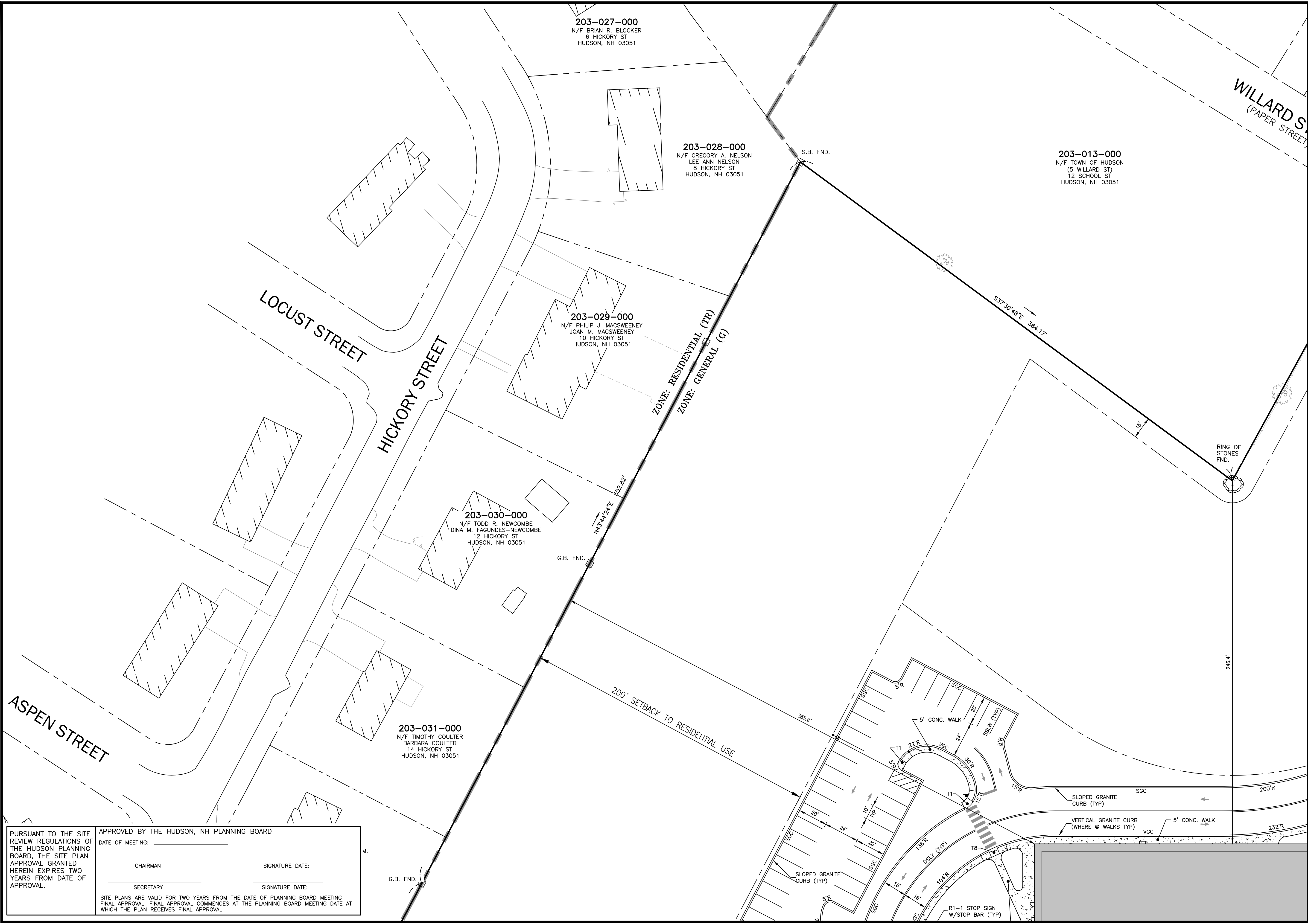
APPROVED BY THE HUDSON, NH PLANNING BOARD  
 DATE OF MEETING: \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-SITE.DWG



203-027-000  
N/F BRIAN R. BLOCKER  
6 HICKORY ST  
HUDSON, NH 03051

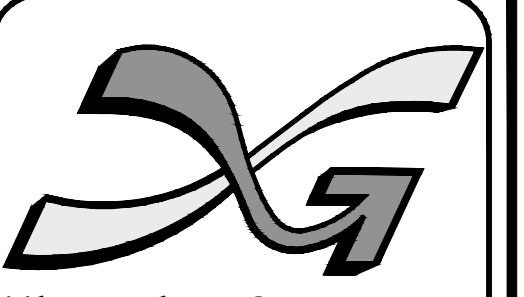
203-028-000  
N/F GREGORY A. NELSON  
LEE ANN NELSON  
8 HICKORY ST  
HUDSON, NH 03051

203-013-000  
N/F TOWN OF HUDSON  
(5 WILLARD ST)  
12 SCHOOL ST  
HUDSON, NH 03051

203-029-000  
N/F PHILIP J. MACSWEENEY  
JOAN M. MACSWEENEY  
10 HICKORY ST  
HUDSON, NH 03051

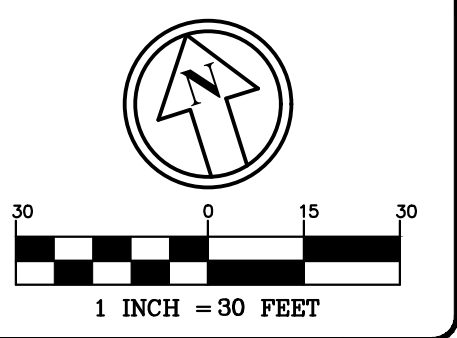
203-030-000  
N/F TODD R. NEWCOMBE  
DINA M. FAGUNDES-NEWCOMBE  
12 HICKORY ST  
HUDSON, NH 03051

203-031-000  
N/F TIMOTHY COULTER  
BARBARA COULTER  
14 HICKORY ST  
HUDSON, NH 03051



**The Dubai Group, Inc.**  
136 Harvey Rd. Bldg B101  
Londonderry, NH 03053  
603-458-6462

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Planners  
Surveyors  
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SHEET INDEX

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DRAWN BY: WA  
CHECKED BY: KRD  
DATE: AUG. 3, 2021  
SCALE: 1" = 30'  
FILE: 475-SITE  
DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
133 PEARL STREET #300  
BOSTON, MA 02110  
OWNER

**5 WAY REALTY TRUST**  
PETER HORNE, TRUSTEE  
PO BOX 1435  
N. HAMPTON, NH 03862

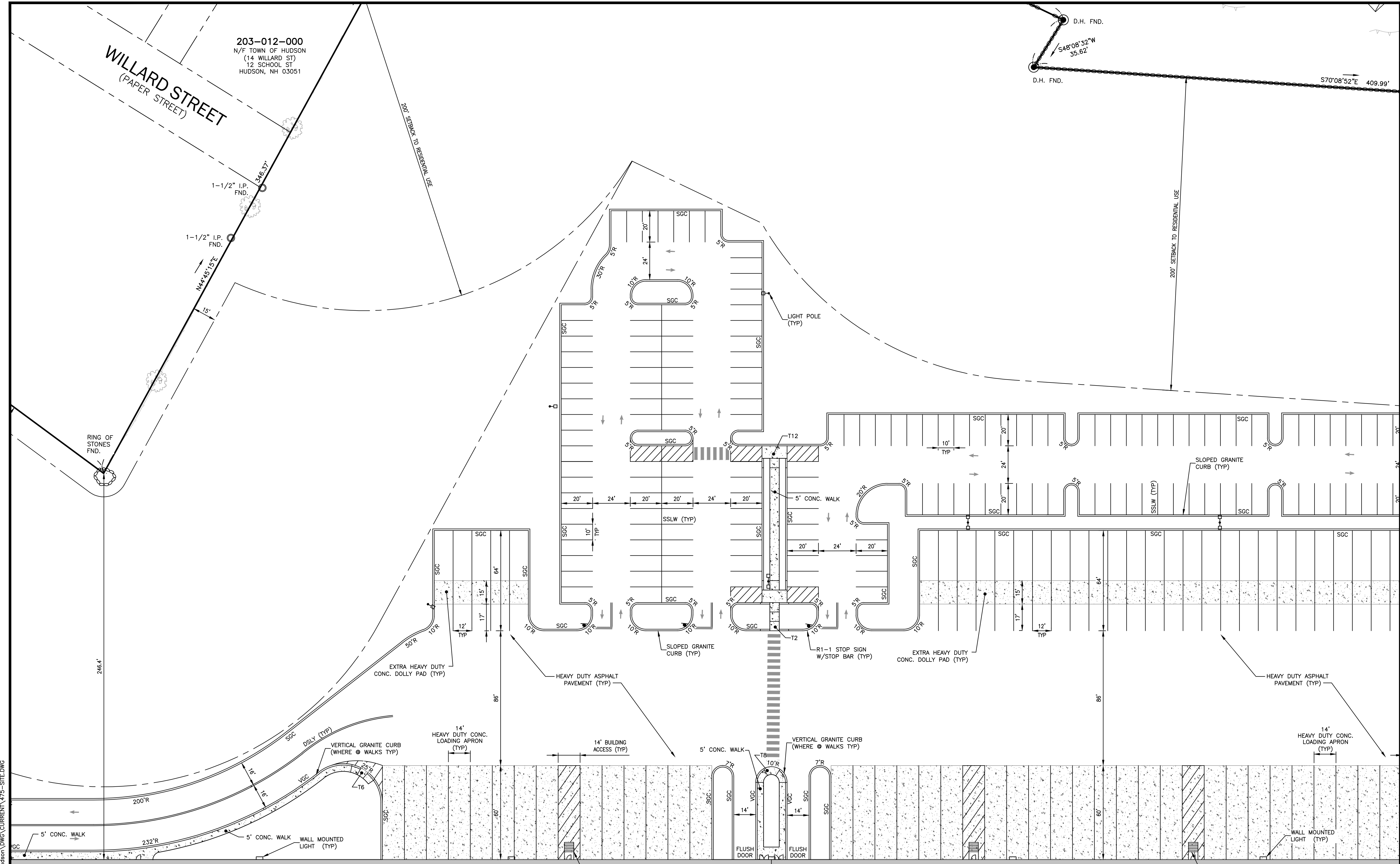
SHEET TITLE:  
**SITE PLAN - E**

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD  
DATE OF MEETING: \_\_\_\_\_

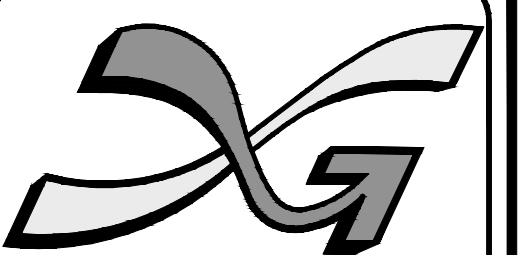
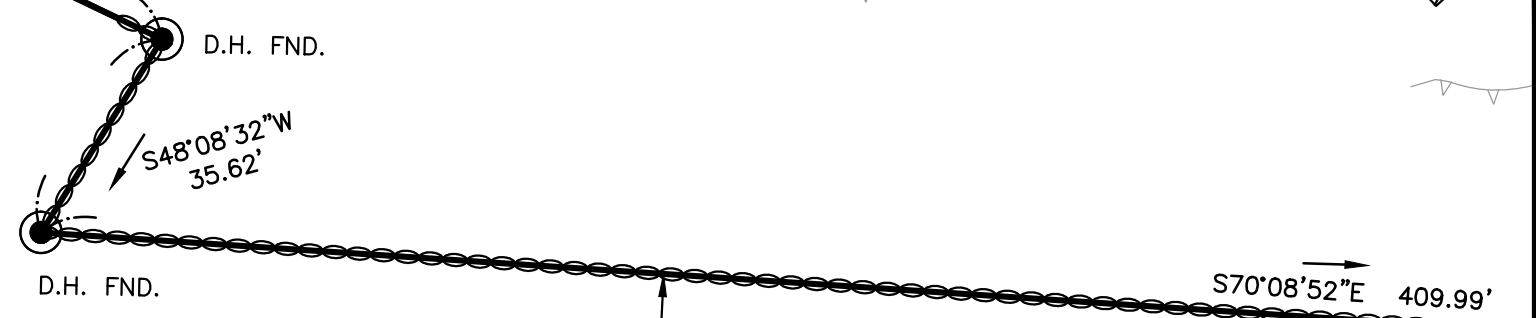
CHAIRMAN	SIGNATURE DATE:
SECRETARY	SIGNATURE DATE:

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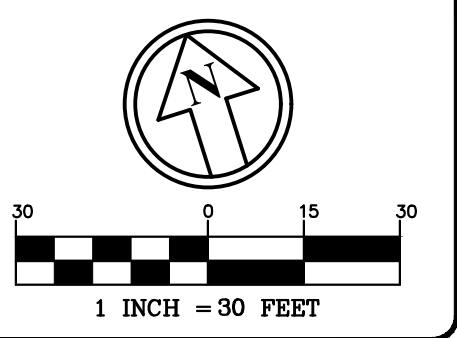
203-012-000  
 N/F TOWN OF HUDSON  
 (14 WILLARD ST)  
 12 SCHOOL ST  
 HUDSON, NH 03051

**WILLARD STREET**  
 (PAPER STREET)



**The Dubai Group, Inc.**  
 136 Harvey Rd. Bldg B101  
 Londonderry, NH 03053  
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 Planners  
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C	B	A

SHEET INDEX

REVISIONS:			
REV.	DATE:	COMMENT:	BY:

DRAWN BY: WA  
 CHECKED BY: KRD  
 DATE: AUG. 3, 2021  
 SCALE: 1" = 30'  
 FILE: 475-SITE  
 DEED REF:

**PROJECT:**  
**SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:  
**SITE PLAN - F**

N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-SITE.DWG

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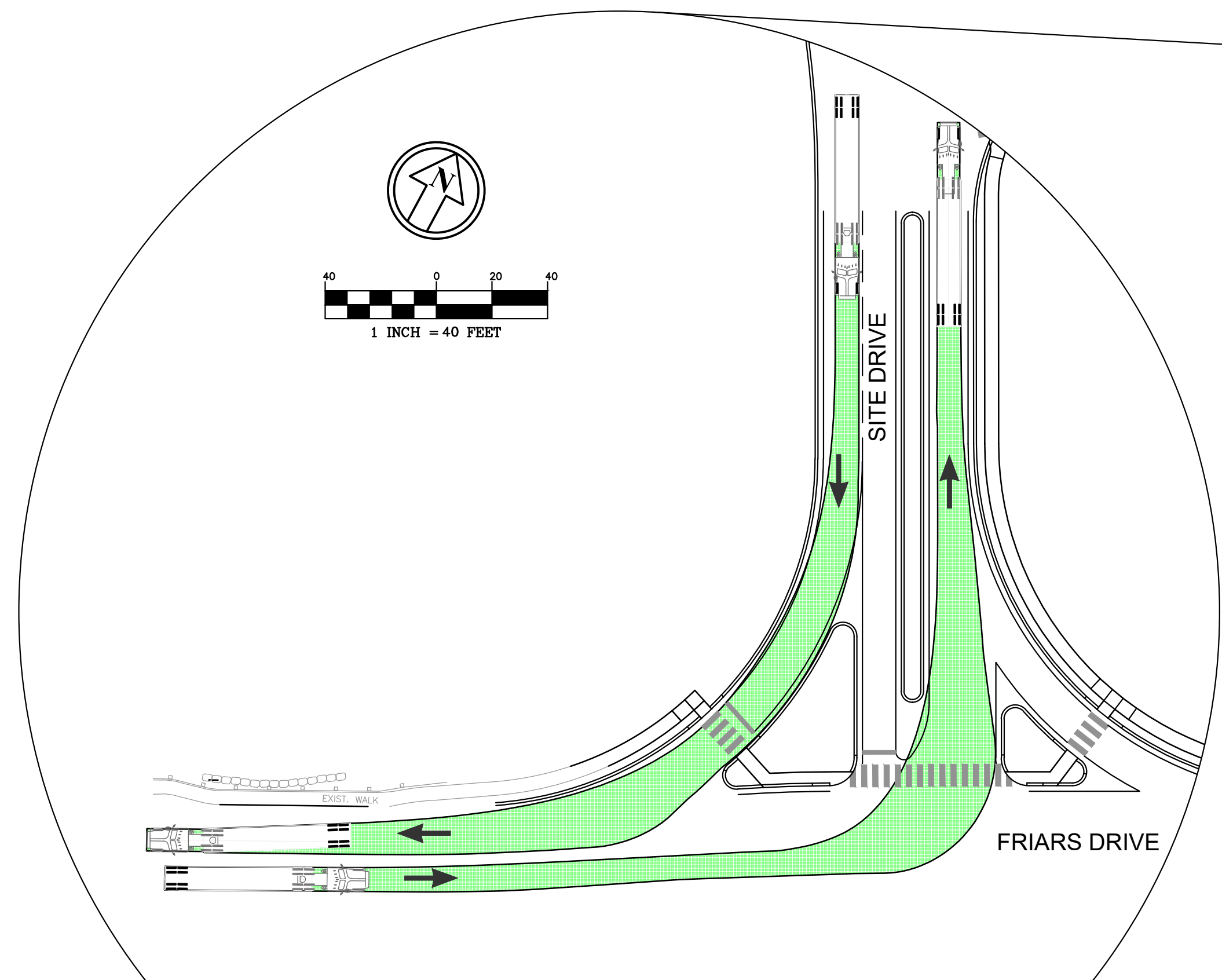
CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

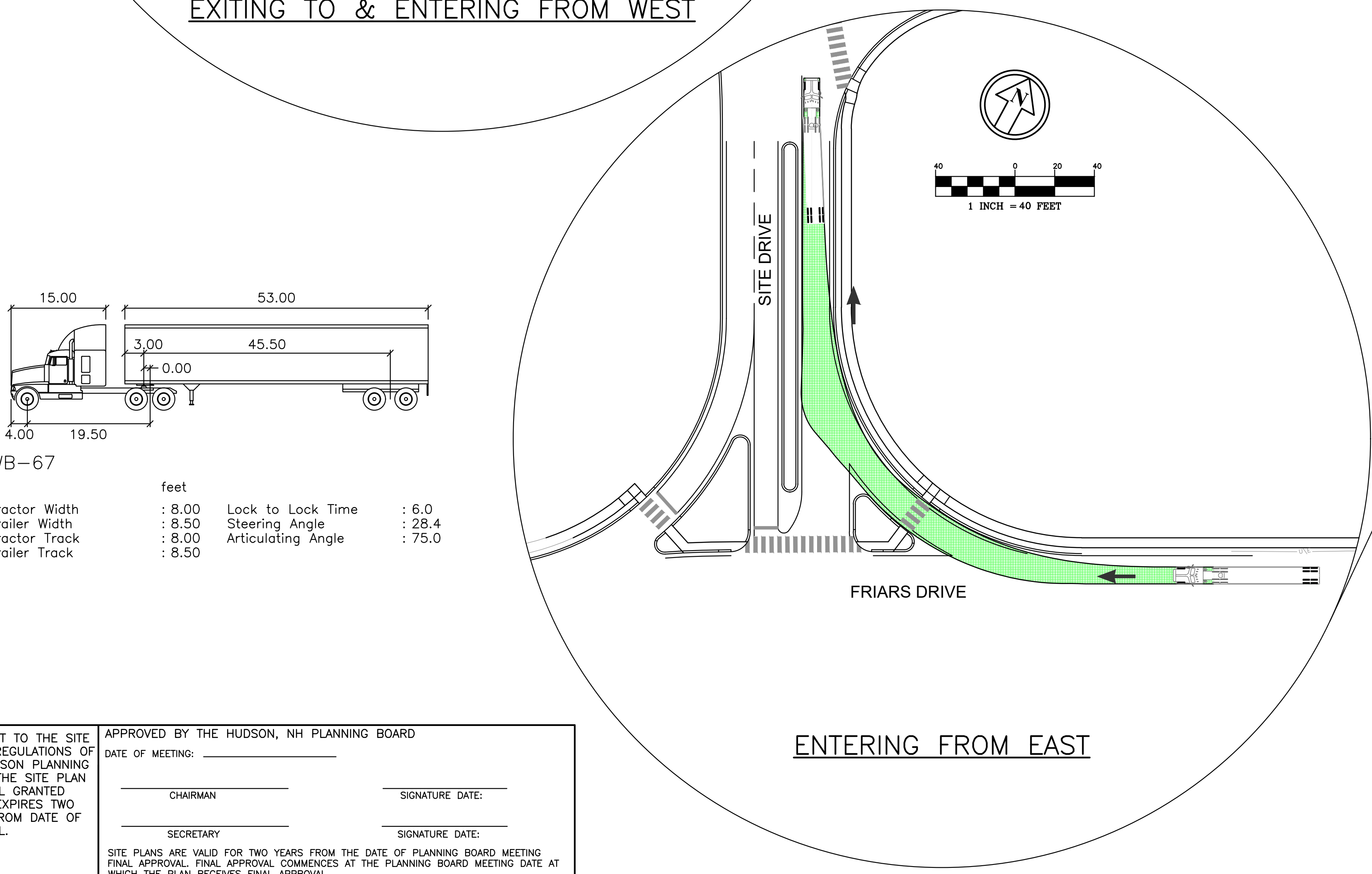




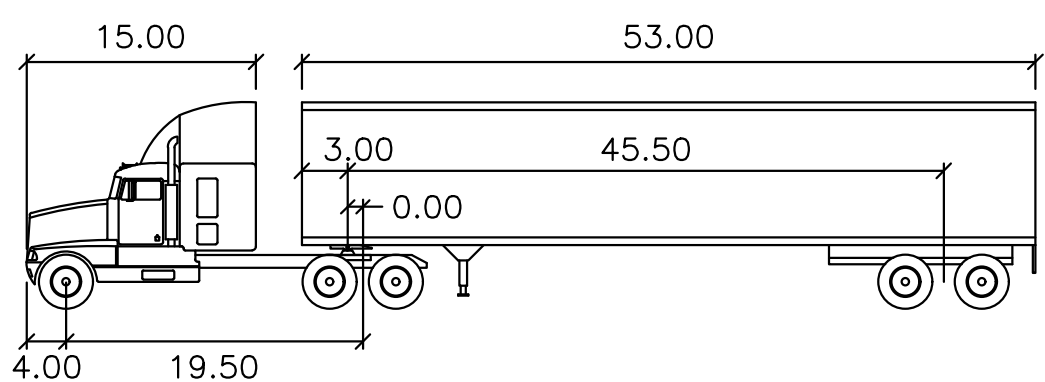
N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-ACCESSUM.dwg



EXITING TO & ENTERING FROM WEST



ENTERING FROM EAST



WB-67

feet			
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

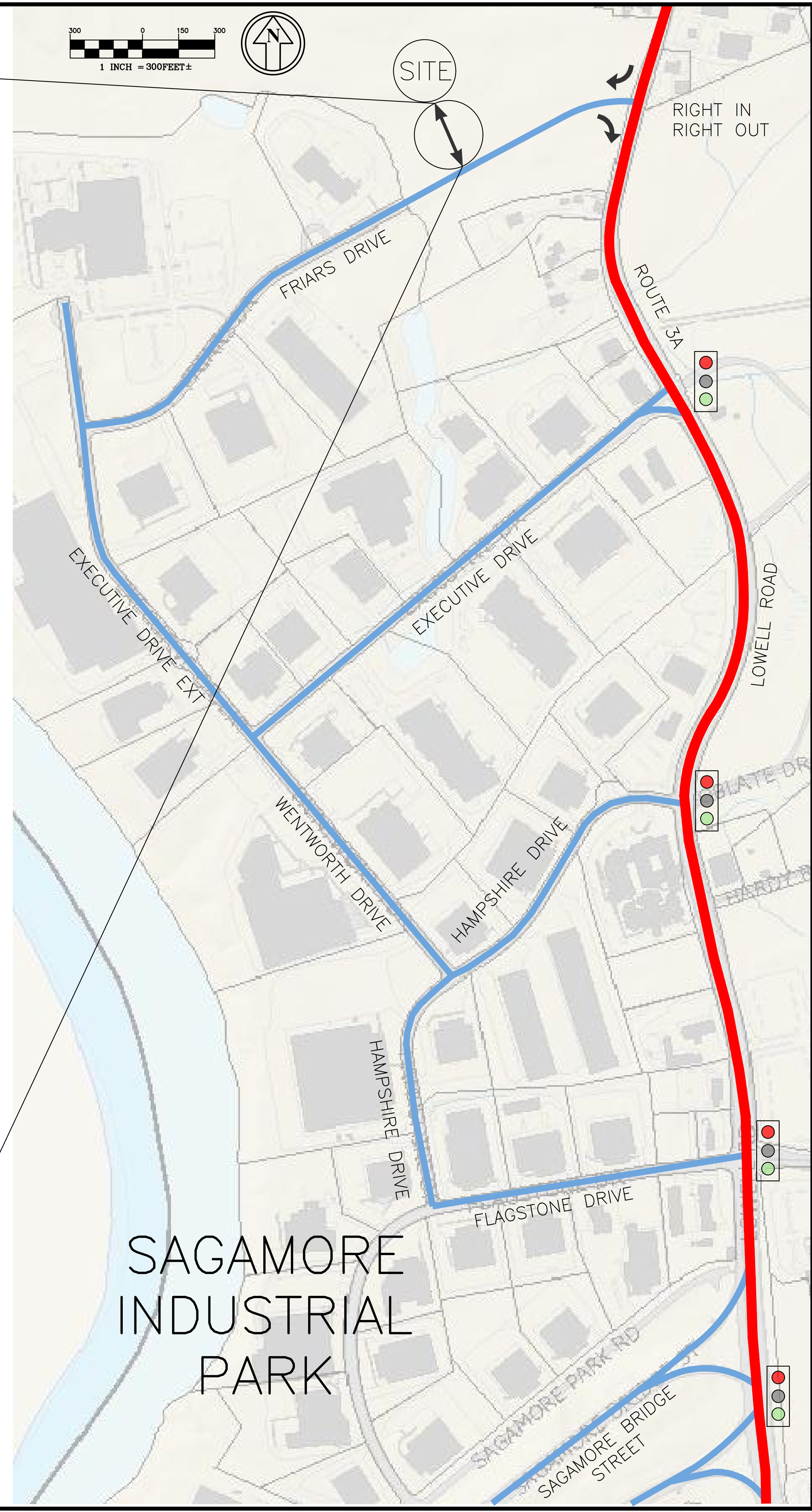
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



SAGAMORE INDUSTRIAL PARK

**The Dubai Group, Inc.**  
 136 Harvey Rd. Bldg B101  
 Londonderry, NH 03053  
 603-458-6462

Engineers  
 Planners  
 Surveyors  
 TheDubayGroup.com

REVISIONS:			
REV:	DATE:	COMMENT:	BY:

DRAWN BY: SJK  
 CHECKED BY: KRD  
 DATE: MAR. 31, 2021  
 SCALE: AS NOTED  
 FILE: 475-ACCESSUM  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR \_\_\_\_\_

**GFI PARTNERS**

**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:  
**ACCESS SUMMARY**

PROJECT #475 SHEET 23 of 80



**The Dubai Group, Inc.**

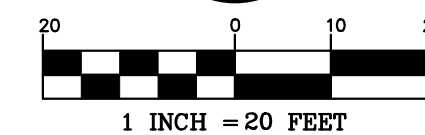
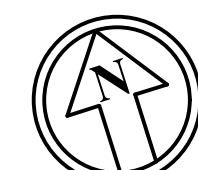
136 Harvey Rd. Bldg B101  
Londonderry, NH 03053  
603-458-6462

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Planners

Surveyors

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REVISIONS:

REV.	DATE:	COMMENT:	BY:

DRAWN BY: WA  
 CHECKED BY: KR  
 DATE: AUG. 3, 2021  
 SCALE: 1" = 20'  
 FILE: 475-INTERSECTION  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH

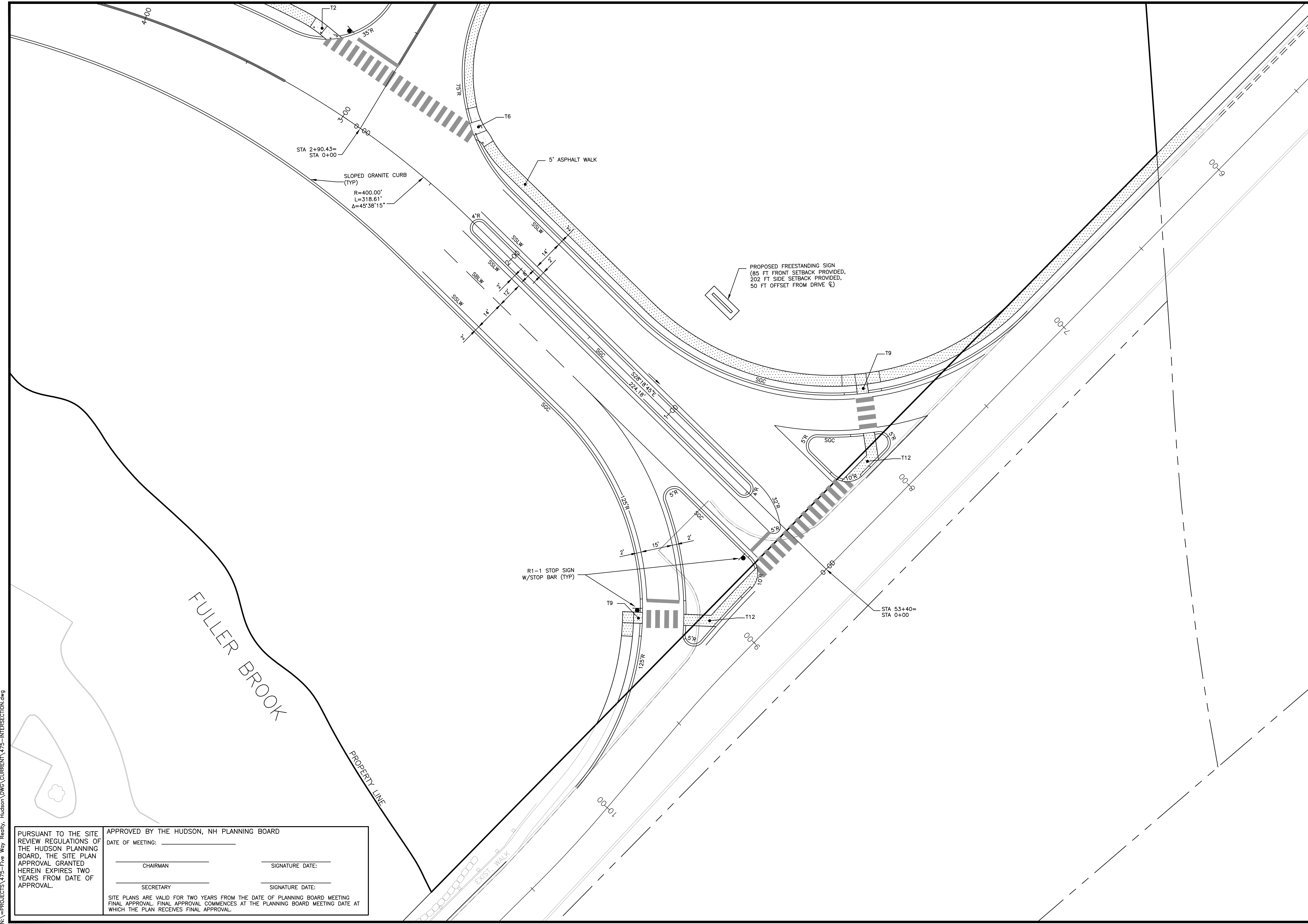
PREPARED FOR  
**GFI PARTNERS**

**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER  
**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:

**MAIN  
ENTRANCE  
DETAIL**

PROJECT #475 SHEET 24 of 80



N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-INTERSECTION.dwg

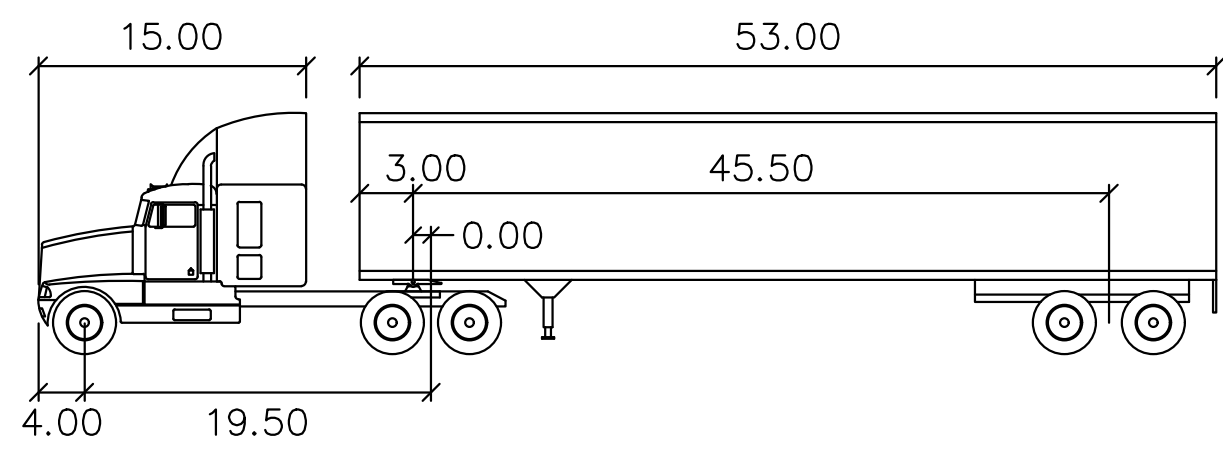
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD  
 DATE OF MEETING: \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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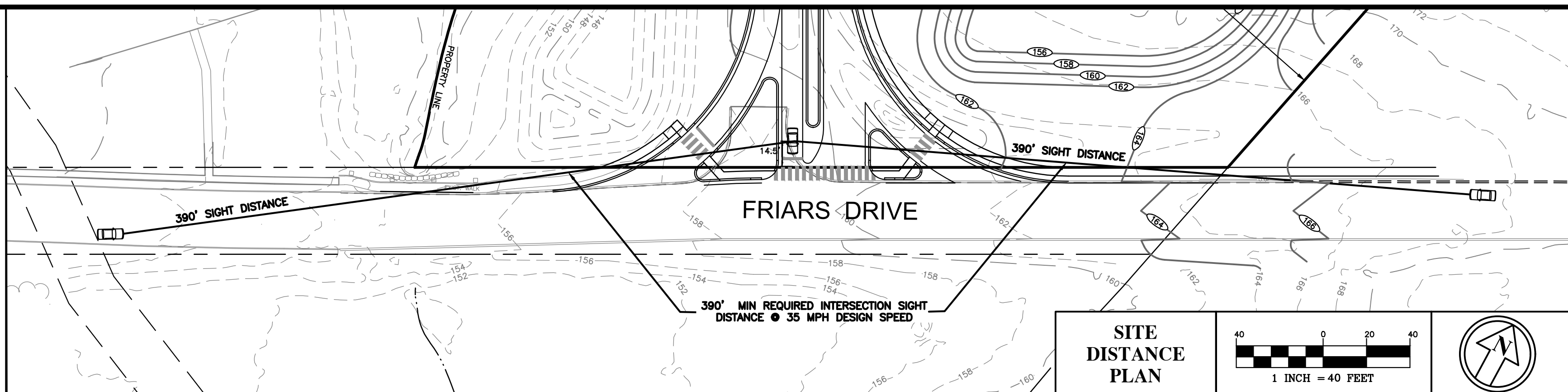
WB-67

feet

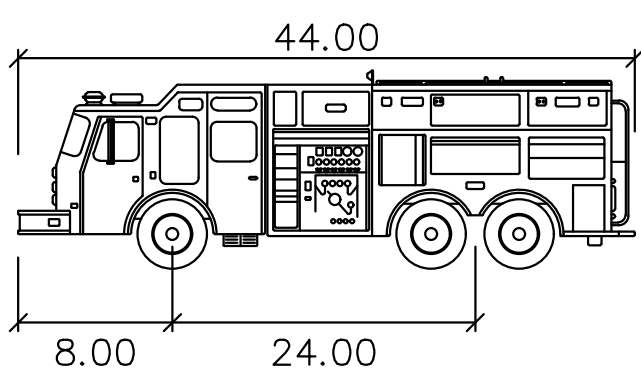
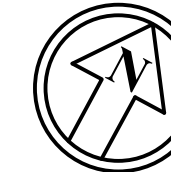
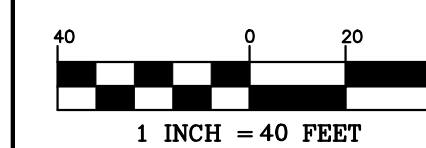
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		

**LEGEND**

- TENANT "A" (WB-67)
- TENANT "B" (WB-67)
- FIRE/EMS (FIRE TRUCK)



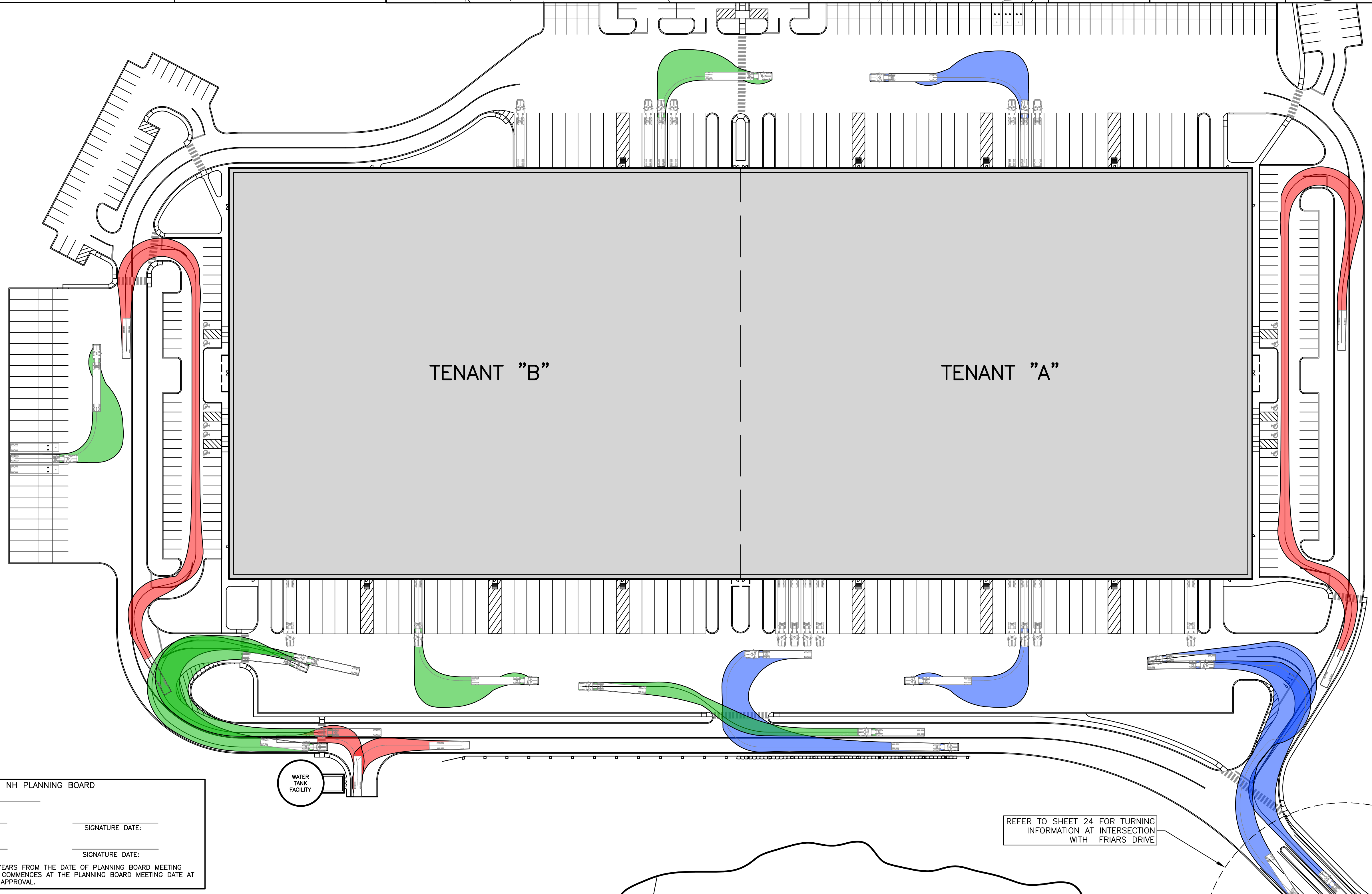
**SITE DISTANCE PLAN**



Pumper Fire Truck

feet

Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 37.8



TENANT "B"

TENANT "A"

WATER TANK FACILITY

REFER TO SHEET 24 FOR TURNING INFORMATION AT INTERSECTION WITH FRIARS DRIVE

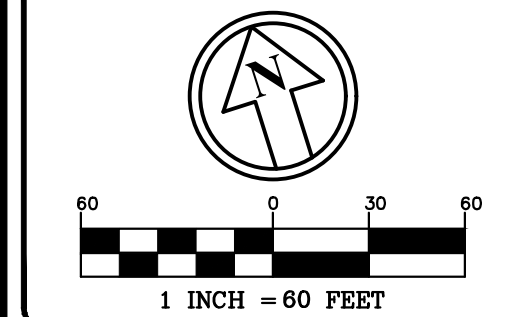


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Planners  
Surveyors

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REVISIONS:			
REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REV.	JJC

DRAWN BY: SJK  
CHECKED BY: KRD  
DATE: AUG. 3, 2021  
SCALE: 1" = 60'  
FILE: 475-SITECIRC  
DEED REF:

**PROJECT: SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH

PREPARED FOR  
**GFI PARTNERS**

**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
133 PEARL STREET #300  
BOSTON, MA 02110  
OWNER  
**5 WAY REALTY TRUST**  
PETER HORNE, TRUSTEE  
PO BOX 1435  
N. HAMPTON, NH 03862

SHEET TITLE:  
**SITE CIRCULATION PLAN**

PROJECT #475 SHEET 25 of 80

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

CHAIRMAN

SIGNATURE DATE: \_\_\_\_\_

SECRETARY

SIGNATURE DATE: \_\_\_\_\_

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80 0 40 80  
1 INCH = 80 FEET

REVISIONS:

REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REVS	WA
3	10/5/21	REV. LS	REK

DRAWN BY: WA  
CHECKED BY: KRK  
DATE: AUG. 3, 2021  
SCALE: 1" = 80'  
FILE: 475-LANDSCAPE  
DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH  
PREPARED FOR



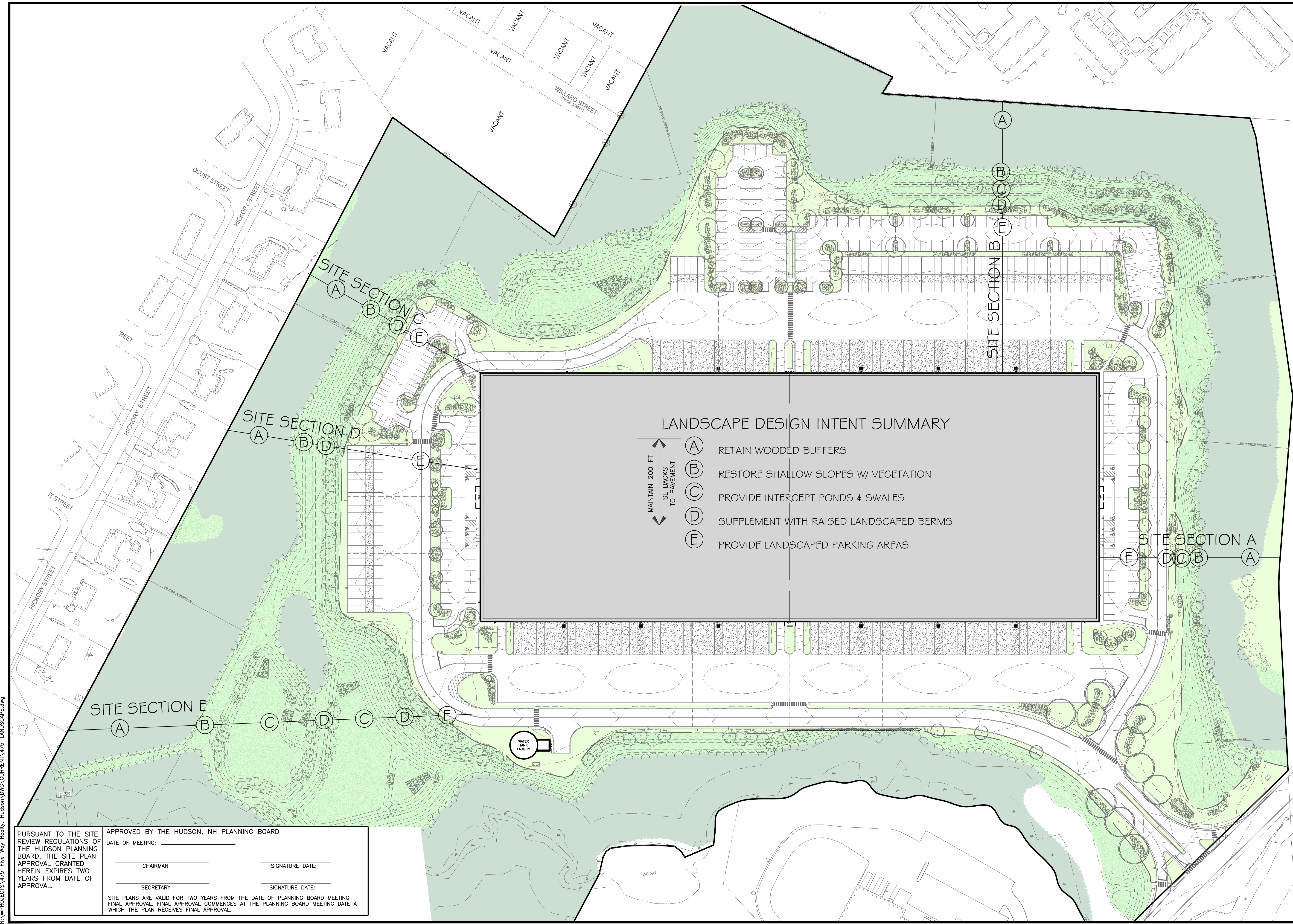
**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
133 PEARL STREET #300  
BOSTON, MA 02110  
OWNER

**5 WAY REALTY TRUST**  
PETER HORNE, TRUSTEE  
PO BOX 1435  
N. HAMPTON, NH 03862

SHEET TITLE:

**LANDSCAPE**  
**OVERVIEW**

PROJECT #475 SHEET 26 of 80



**LANDSCAPE DESIGN INTENT SUMMARY**

- Ⓐ RETAIN WOODED BUFFERS
- Ⓑ RESTORE SHALLOW SLOPES W/ VEGETATION
- Ⓒ PROVIDE INTERCEPT PONDS & SWALES
- Ⓓ SUPPLEMENT WITH RAISED LANDSCAPED BERMS
- Ⓔ PROVIDE LANDSCAPED PARKING AREAS

MAINTAIN 200 FT SETBACKS TO PAVEMENT

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

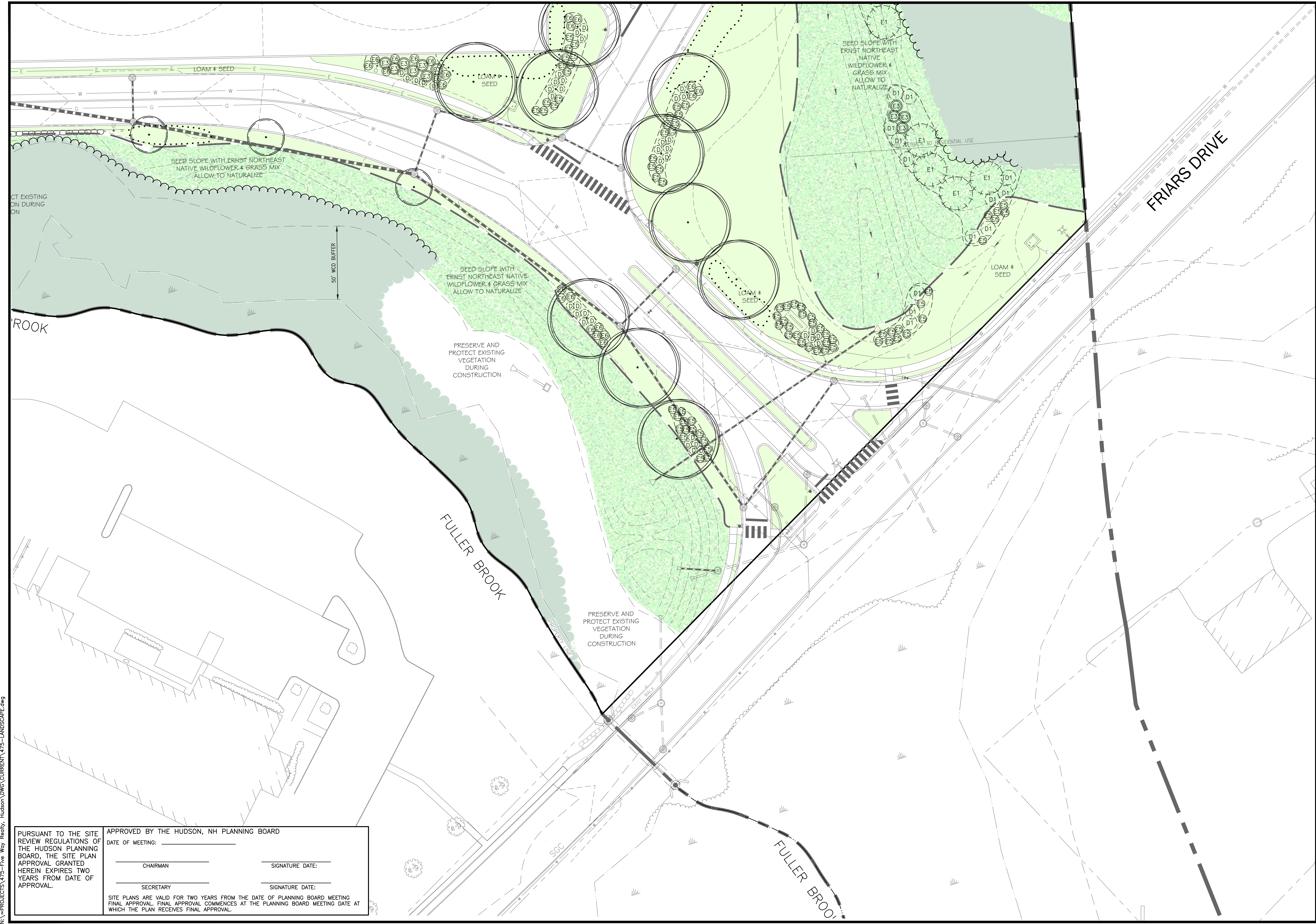
DATE OF MEETING: \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

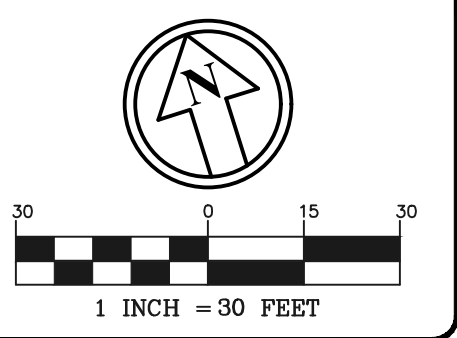
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N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-LANDSCAPE.dwg



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D		H
C	B	A

SHEET INDEX

REV.	DATE:	REVISIONS:	BY:
1	9/20/21	MISC. REVS	WA
3	10/5/21	REV. LS	REK

DRAWN BY: WA  
 CHECKED BY: KR  
 DATE: AUG. 3, 2021  
 SCALE: 1" = 30'  
 FILE: 475-LANDSCAPE  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER  
**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:  
**LANDSCAPE**  
**PLAN - A**

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

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CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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N:\PROJECTS\475-Five Way Realty, Hudson\DW\CURRENT\475-LANDSCAPE.dwg



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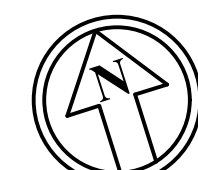
136 Harvey Rd. Bldg B101  
Londonderry, NH 03053  
603-458-6462

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Planners

Surveyors

TheDubayGroup.com



30 0 15 30  
1 INCH = 30 FEET

E	F	G
D		H
C	B	A

SHEET INDEX

REVISIONS:		
REV.	DATE:	COMMENT:
1	9/20/21	MISC. REVS
3	10/5/21	REV. LS

DRAWN BY: WA  
 CHECKED BY: KRD  
 DATE: AUG. 3, 2021  
 SCALE: 1" = 30'  
 FILE: 475-LANDSCAPE  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH

PREPARED FOR



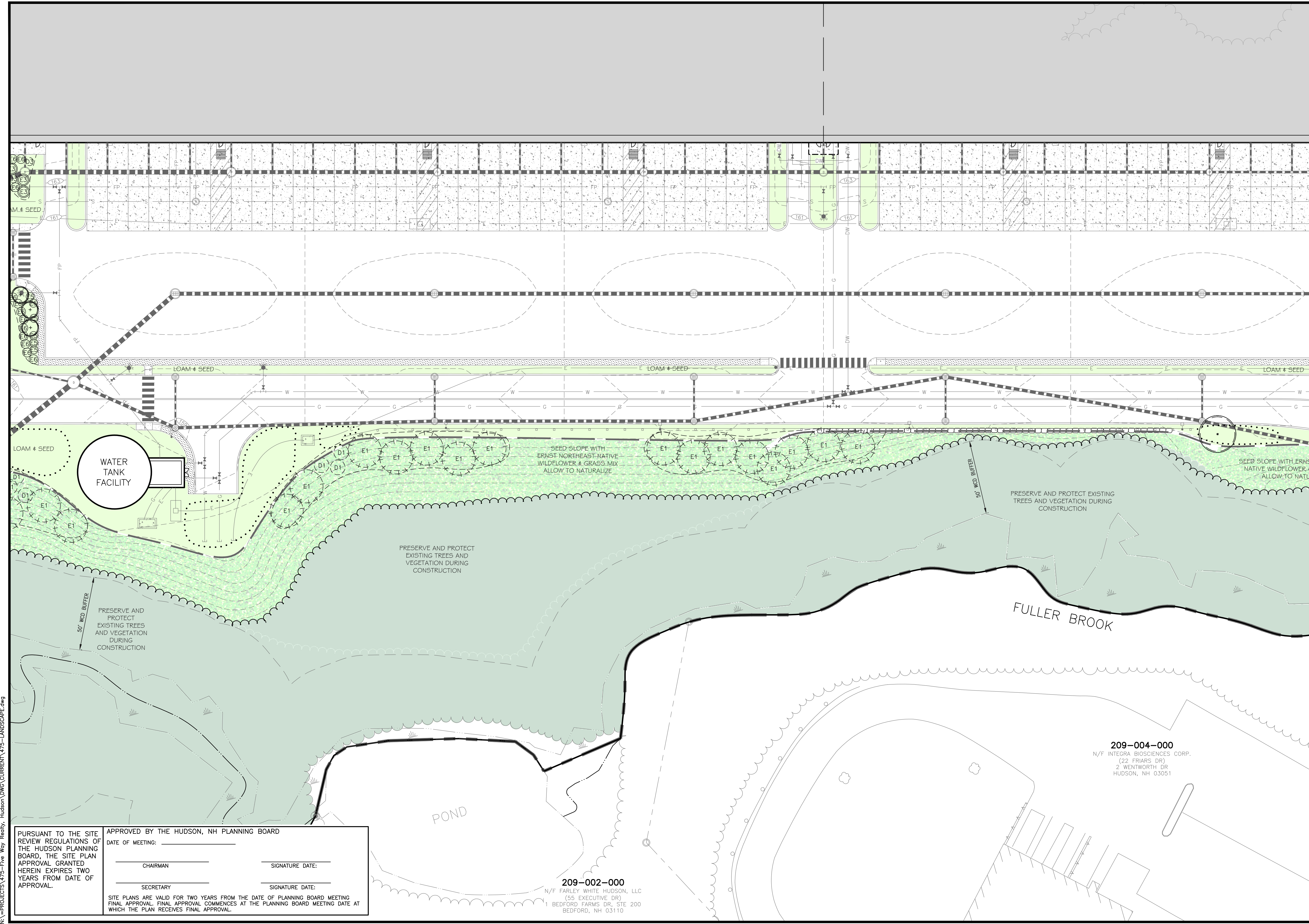
**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:

**LANDSCAPE PLAN - B**

PROJECT #475 SHEET 28 of 80



N:\PROJECTS\475-Five Way Realty, Hudson\DW\CURRENT\475-LANDSCAPE.dwg

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

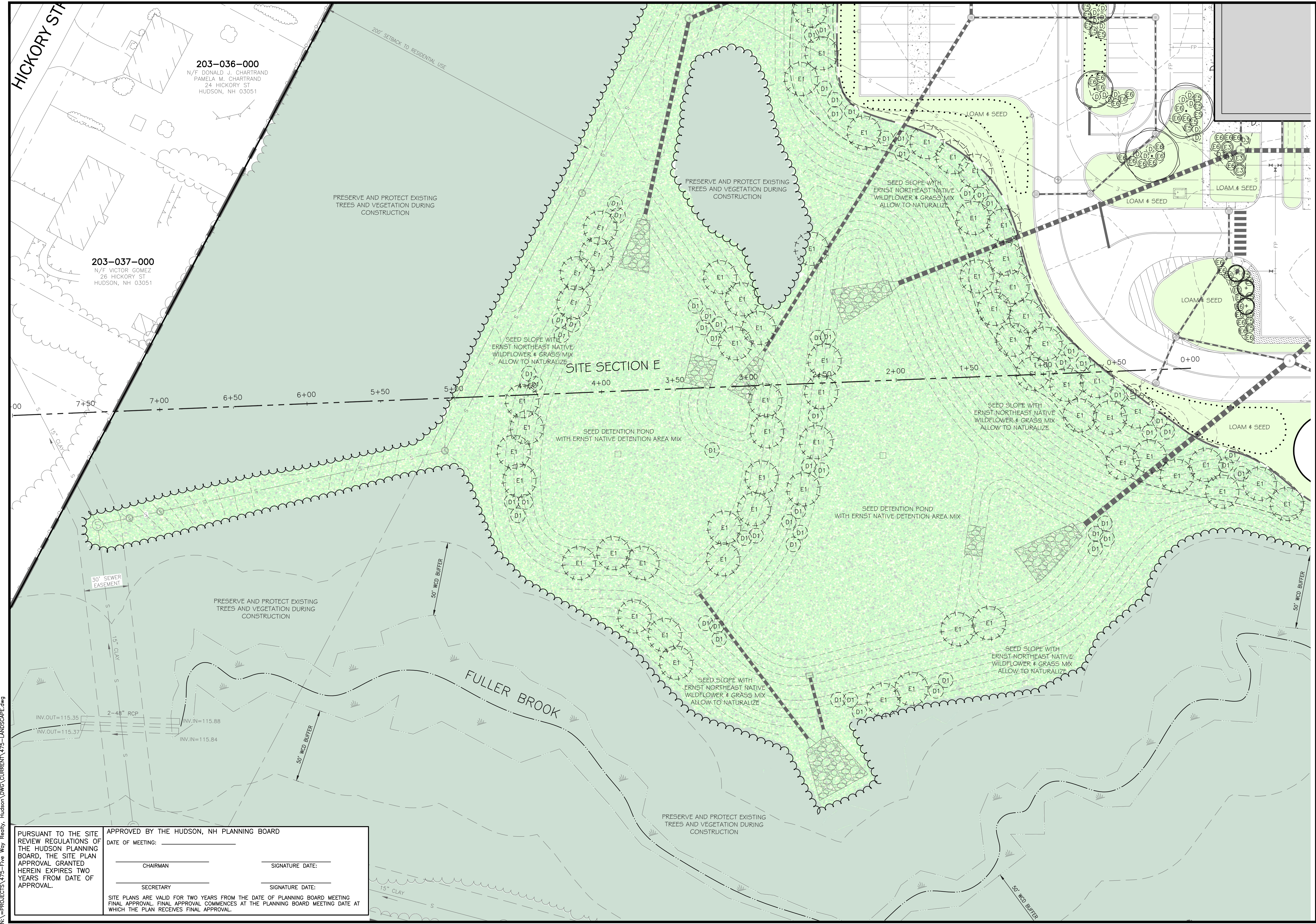
APPROVED BY THE HUDSON, NH PLANNING BOARD  
 DATE OF MEETING: \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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**209-002-000**  
 N/F FARLEY WHITE HUDSON, LLC  
 (55 EXECUTIVE DR)  
 1 BEDFORD FARMS DR, STE 200  
 BEDFORD, NH 03110

**209-004-000**  
 N/F INTEGRA BIOSCIENCES CORP.  
 (22 FRIARS DR)  
 2 WENTWORTH DR  
 HUDSON, NH 03051



HICKORY ST

203-036-000  
N/F DONALD J. CHARTRAND  
PAMELA M. CHARTRAND  
24 HICKORY ST  
HUDSON, NH 03051

203-037-000  
N/F VICTOR GOMEZ  
26 HICKORY ST  
HUDSON, NH 03051

PRESERVE AND PROTECT EXISTING TREES AND VEGETATION DURING CONSTRUCTION

PRESERVE AND PROTECT EXISTING TREES AND VEGETATION DURING CONSTRUCTION

SITE SECTION E

SEED SLOPE WITH ERNST NORTHEAST NATIVE WILDFLOWER & GRASS MIX ALLOW TO NATURALIZE

SEED SLOPE WITH ERNST NORTHEAST NATIVE WILDFLOWER & GRASS MIX ALLOW TO NATURALIZE

SEED DETENTION POND WITH ERNST NATIVE DETENTION AREA MIX

SEED DETENTION POND WITH ERNST NATIVE DETENTION AREA MIX

SEED SLOPE WITH ERNST NORTHEAST NATIVE WILDFLOWER & GRASS MIX ALLOW TO NATURALIZE

SEED SLOPE WITH ERNST NORTHEAST NATIVE WILDFLOWER & GRASS MIX ALLOW TO NATURALIZE

SEED SLOPE WITH ERNST NORTHEAST NATIVE WILDFLOWER & GRASS MIX ALLOW TO NATURALIZE

PRESERVE AND PROTECT EXISTING TREES AND VEGETATION DURING CONSTRUCTION

PRESERVE AND PROTECT EXISTING TREES AND VEGETATION DURING CONSTRUCTION

FULLER BROOK

30' SEWER EASEMENT

50' WCD BUFFER

50' WCD BUFFER

50' WCD BUFFER

2-48" RCP  
INV. OUT=115.35  
INV. IN=115.88  
INV. OUT=115.37  
INV. IN=115.84

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-LANDSCOPE.dwg

**The Dubai Group, Inc.**  
136 Harvey Rd. Bldg B101  
Londonderry, NH 03053  
603-458-6462

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1 INCH = 30 FEET

SHEET INDEX

E	F	G
D		H
C	B	A

REVISIONS:

REV.	DATE:	COMMENT:	BY:
1	9/20/21	MISC. REVS	WA
3	10/5/21	REV. LS	REK

DRAWN BY: WA  
CHECKED BY: KRD  
DATE: AUG. 3, 2021  
SCALE: 1" = 30'  
FILE: 475-LANDSCAPE  
DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH  
PREPARED FOR

**GFI PARTNERS**

**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
133 PEARL STREET #300  
BOSTON, MA 02110  
OWNER

**5 WAY REALTY TRUST**  
PETER HORNE, TRUSTEE  
PO BOX 1435  
N. HAMPTON, NH 03862

SHEET TITLE:  
**LANDSCAPE PLAN - C**

PROJECT #475 SHEET 29 of 80

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

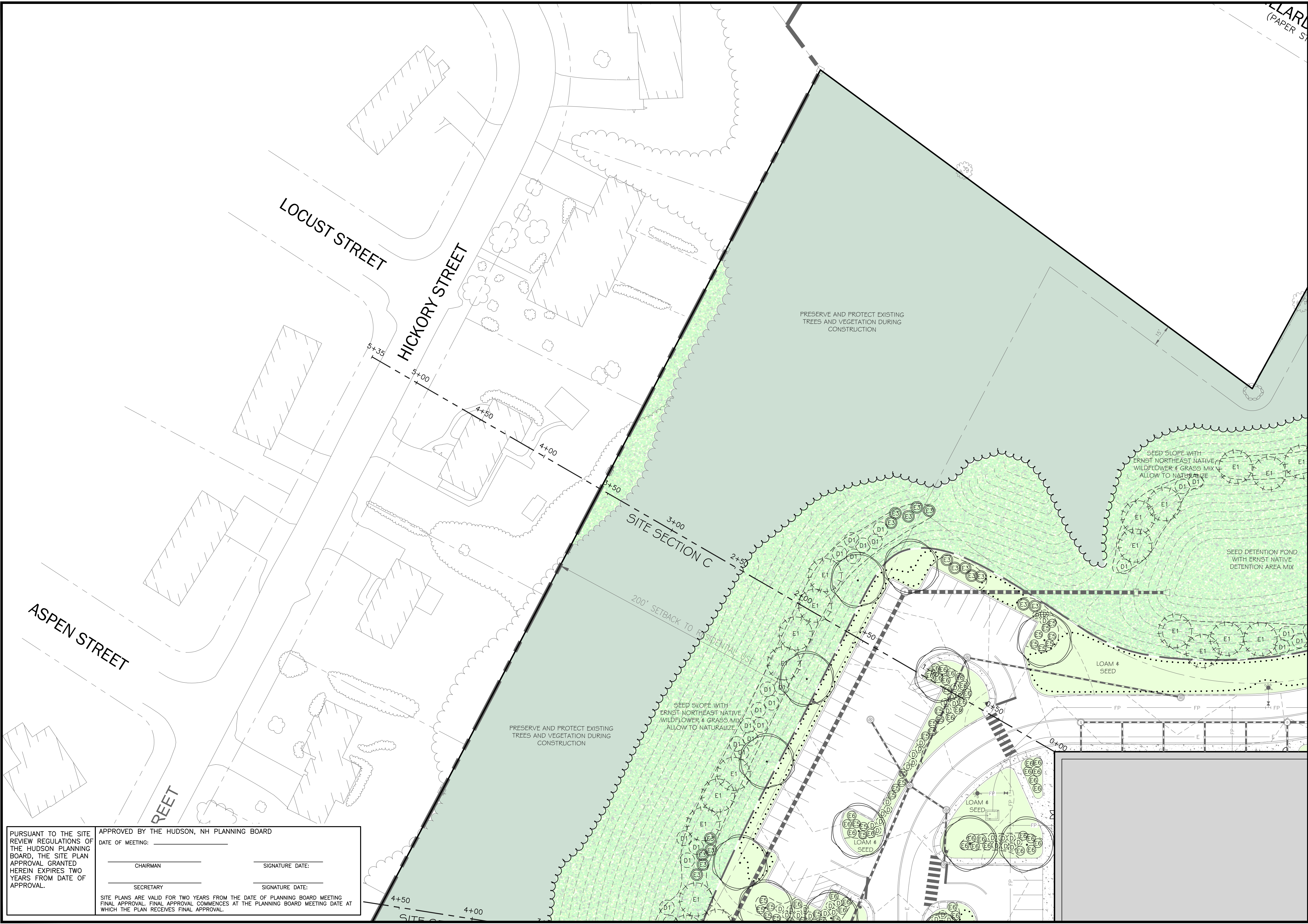
CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

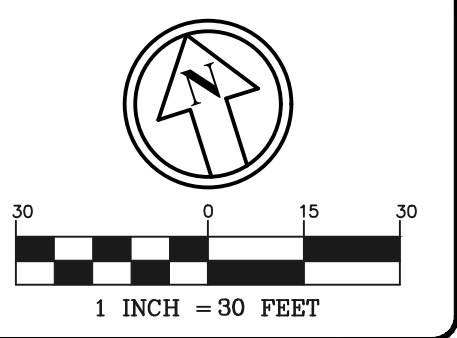


N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-LANDSCAPE.dwg



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 603-458-6462

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 Planners  
 Surveyors  
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E	F	G
D		H
C	B	A

SHEET INDEX

REV.	DATE:	COMMENT:	BY:
1	9/20/21	MISC. REVS	WA
3	10/5/21	REV. LS	REK

DRAWN BY: WA  
 CHECKED BY: KRD  
 DATE: AUG. 3, 2021  
 SCALE: 1" = 30'  
 FILE: 475-LANDSCAPE  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER  
**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

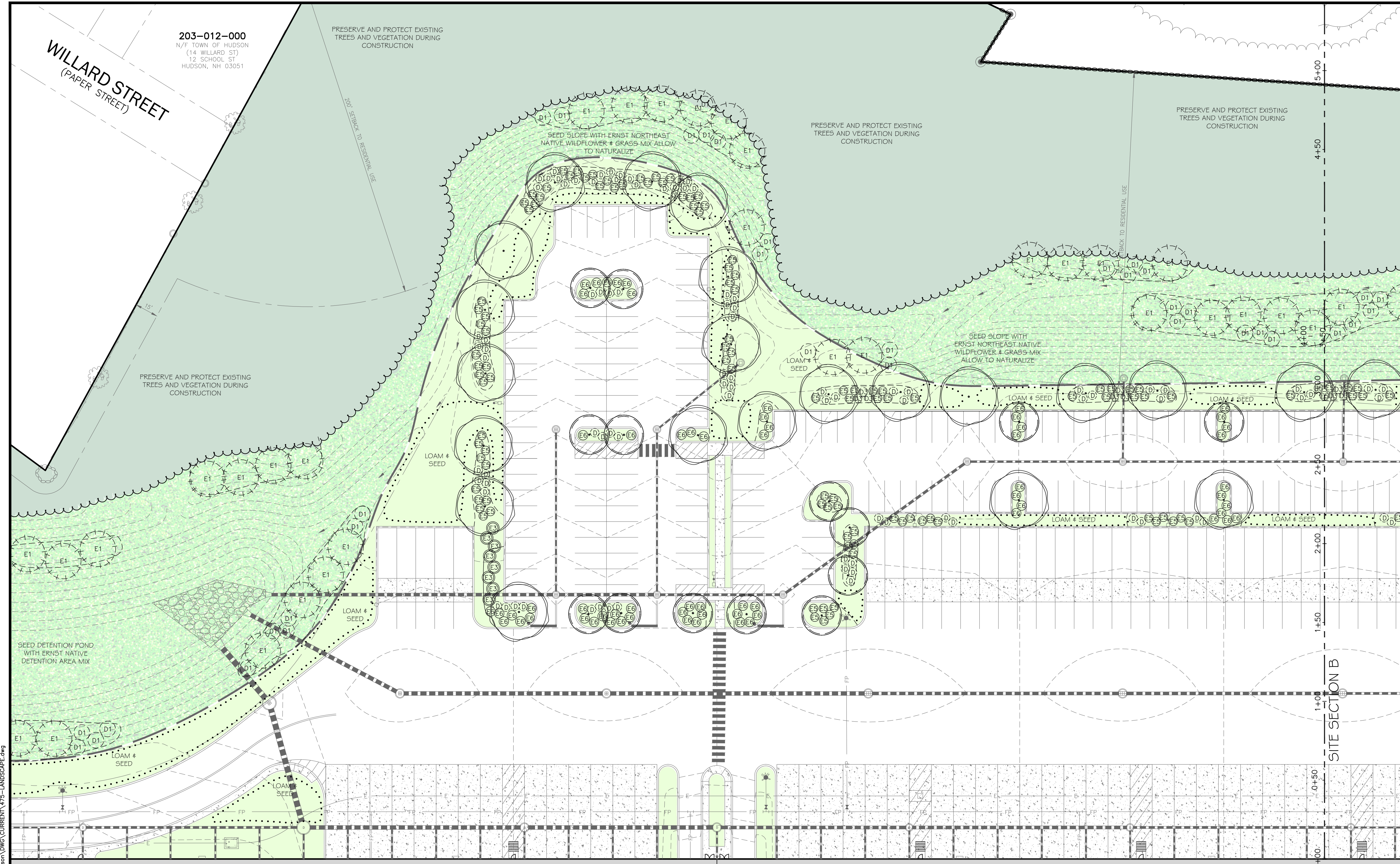
SHEET TITLE:  
**LANDSCAPE**  
**PLAN - E**

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD  
 DATE OF MEETING: \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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203-012-000  
 N/F TOWN OF HUDSON  
 (14 WILLARD ST)  
 12 SCHOOL ST  
 HUDSON, NH 03051

PRESERVE AND PROTECT EXISTING TREES AND VEGETATION DURING CONSTRUCTION

PRESERVE AND PROTECT EXISTING TREES AND VEGETATION DURING CONSTRUCTION

PRESERVE AND PROTECT EXISTING TREES AND VEGETATION DURING CONSTRUCTION

PRESERVE AND PROTECT EXISTING TREES AND VEGETATION DURING CONSTRUCTION

SEED SLOPE WITH ERNST NORTHEAST NATIVE WILDFLOWER & GRASS MIX ALLOW TO NATURALIZE

SEED SLOPE WITH ERNST NORTHEAST NATIVE WILDFLOWER & GRASS MIX ALLOW TO NATURALIZE

SEED DETENTION POND WITH ERNST NATIVE DETENTION AREA MIX

LOAM & SEED

LOAM & SEED

LOAM & SEED

LOAM & SEED

LOAM & SEED

LOAM & SEED

LOAM & SEED

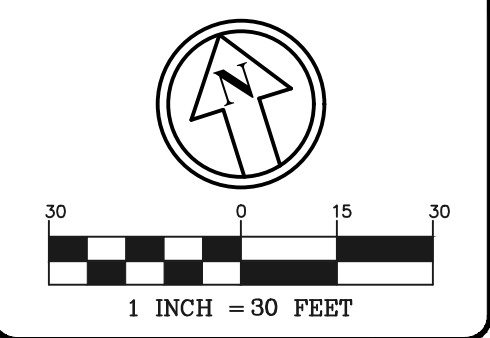
LOAM & SEED

SITE SECTION B



**The Dubai Group, Inc.**  
 136 Harvey Rd. Bldg B101  
 Londonderry, NH 03053  
 603-458-6462

Engineers  
 Planners  
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DRAWN BY: WA  
 CHECKED BY: KRD  
 DATE: AUG. 3, 2021  
 SCALE: 1" = 30'  
 FILE: 475-LANDSCAPE  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:

**LANDSCAPE PLAN - F**

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-LANDSCAPE.dwg

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APPROVED BY THE HUDSON, NH PLANNING BOARD

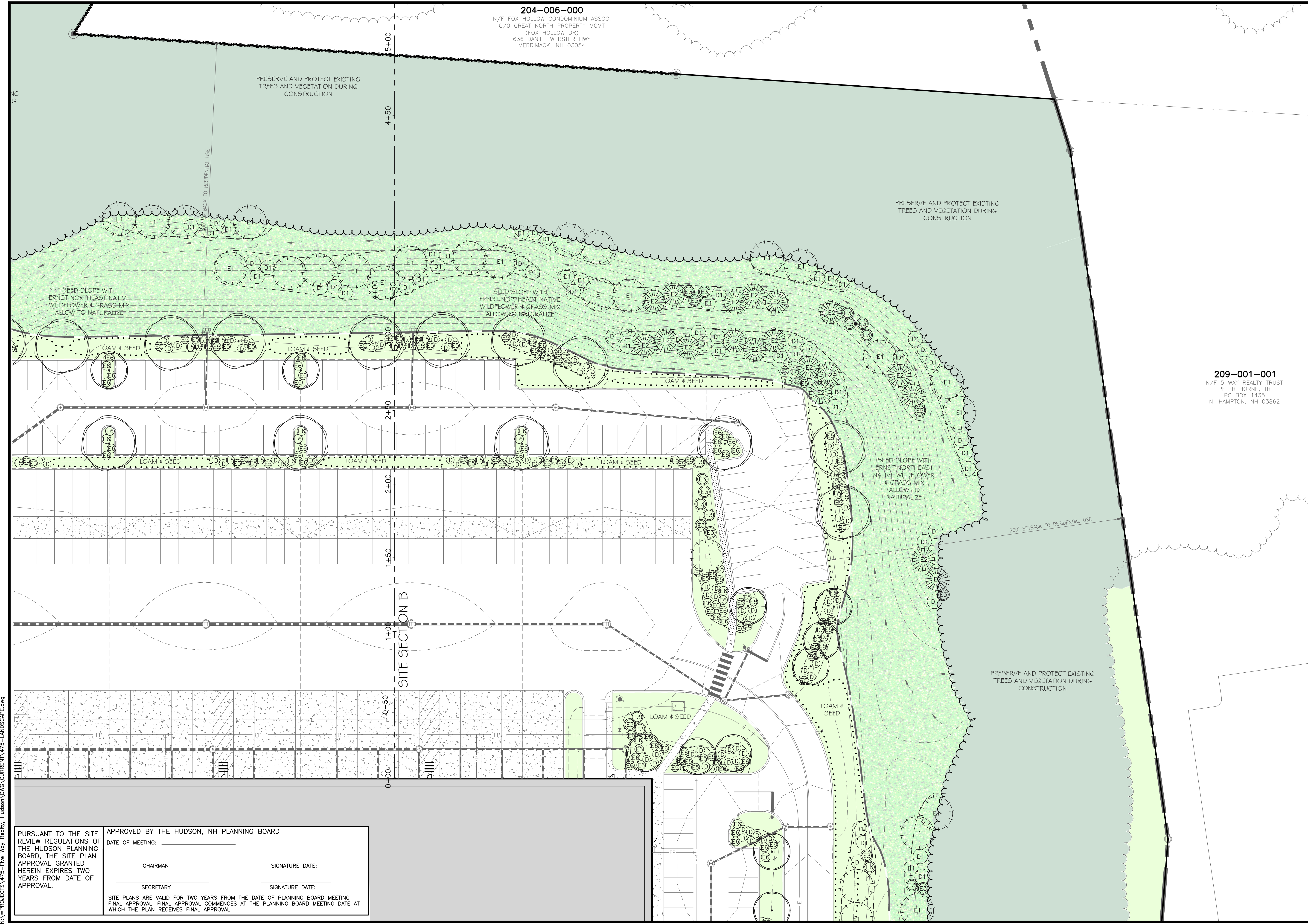
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CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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204-006-000  
 N/F FOX HOLLOW CONDOMINIUM ASSOC.  
 C/O GREAT NORTH PROPERTY MGMT  
 (FOX HOLLOW DR)  
 636 DANIEL WEBSTER HWY  
 MERRIMACK, NH 03054

PRESERVE AND PROTECT EXISTING TREES AND VEGETATION DURING CONSTRUCTION

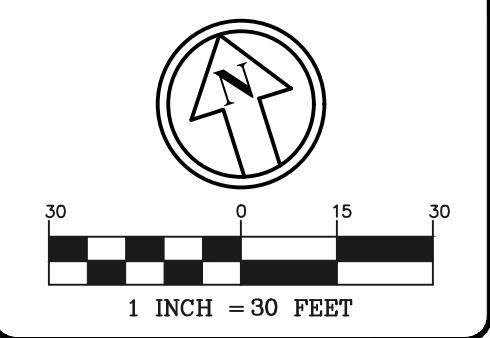
PRESERVE AND PROTECT EXISTING TREES AND VEGETATION DURING CONSTRUCTION

209-001-001  
 N/F 5 WAY REALTY TRUST  
 PETER HORNE, TR  
 PO BOX 1435  
 N. HAMPTON, NH 03862



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 PROPERTY OWNER, LLC  
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 OWNER

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 PETER HORNE, TRUSTEE  
 PO BOX 1435  
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**LANDSCAPE PLAN - G**

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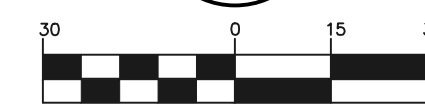
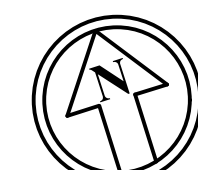
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1 INCH = 30 FEET

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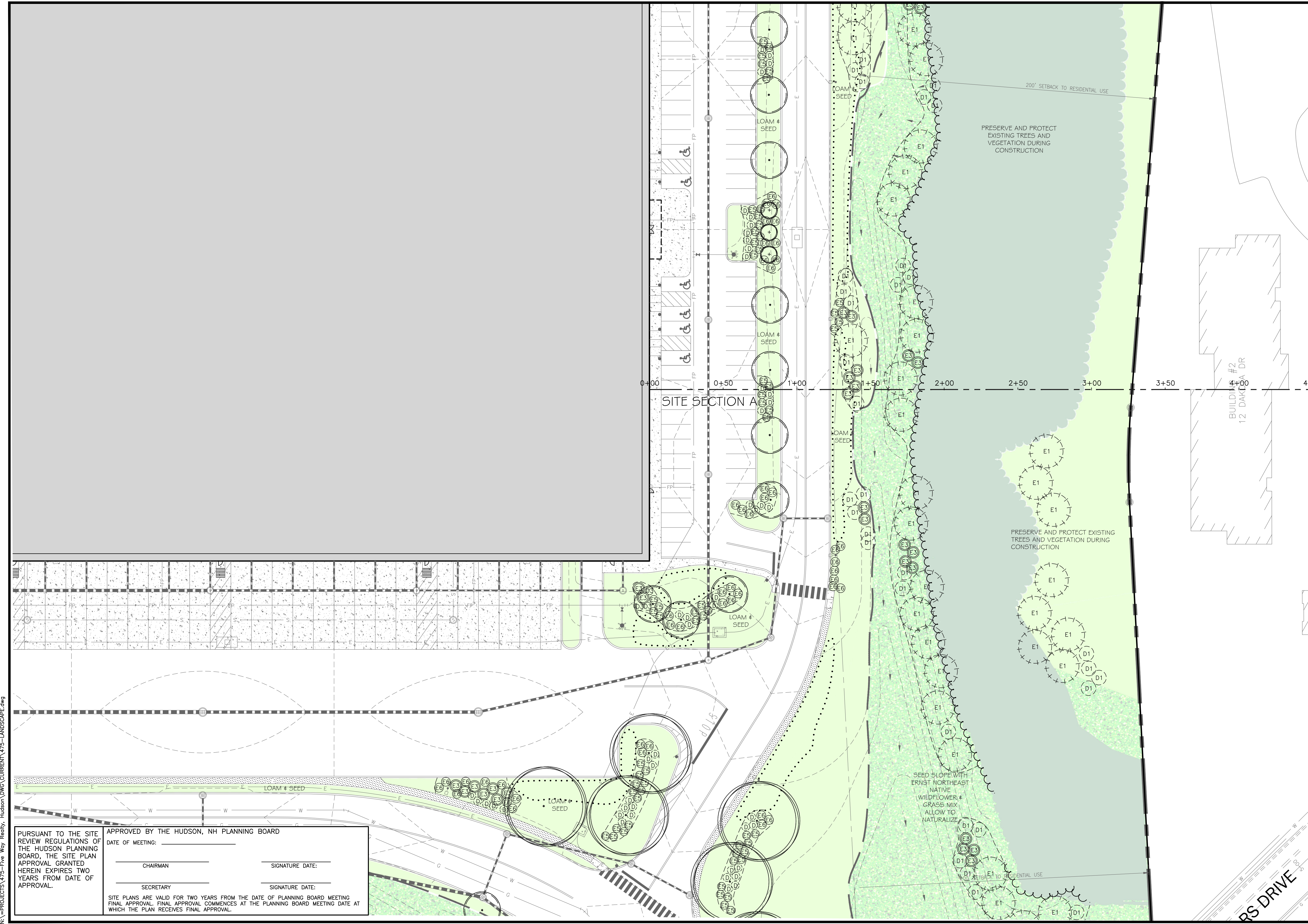
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**LANDSCAPE PLAN - H**

PROJECT #475 SHEET 34 of 80



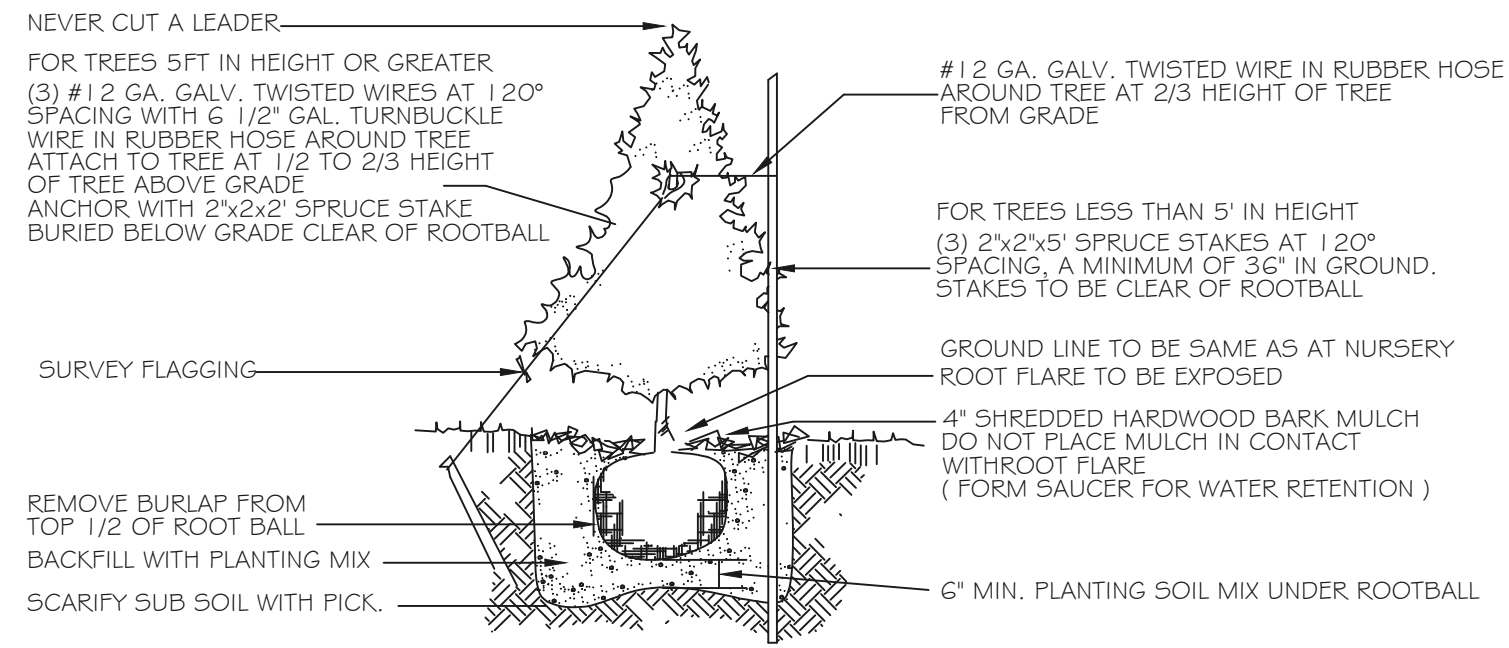
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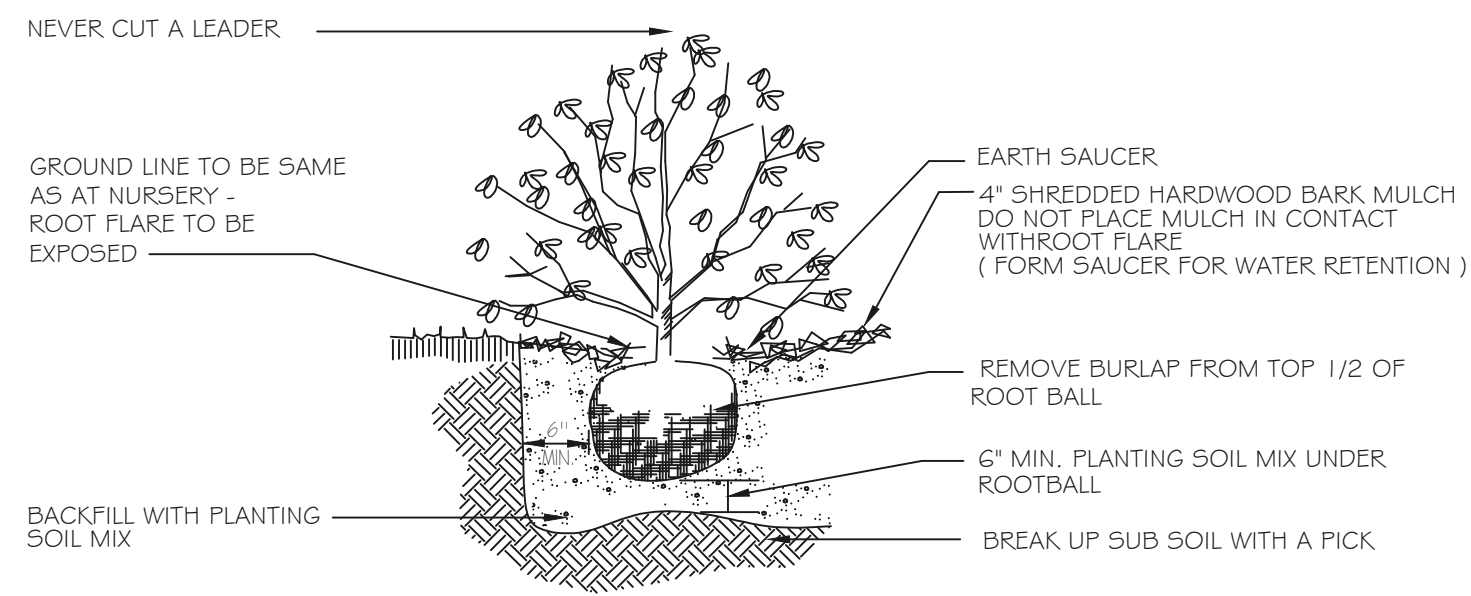
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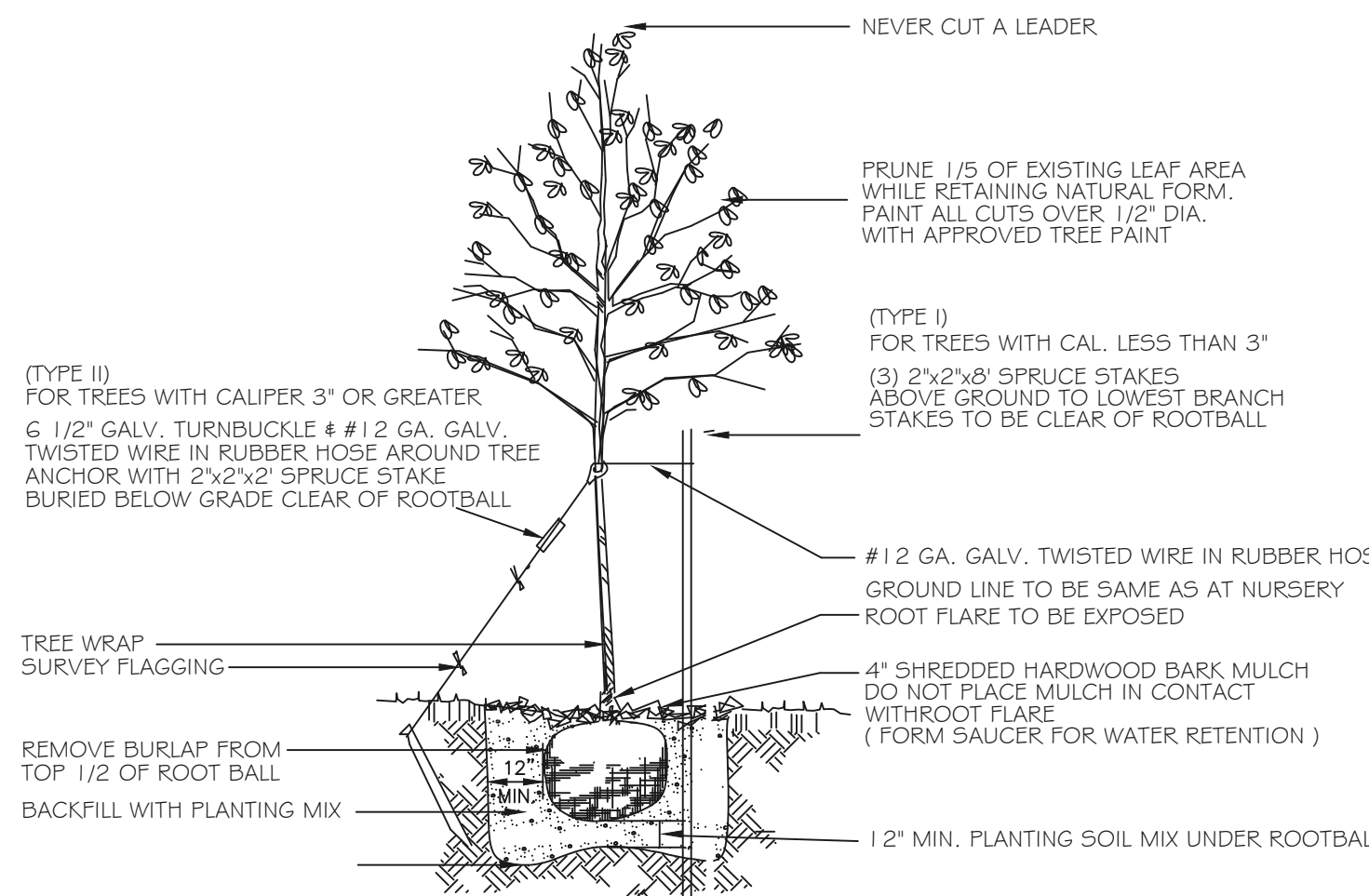
### EVERGREEN PLANTING DETAIL

NTS



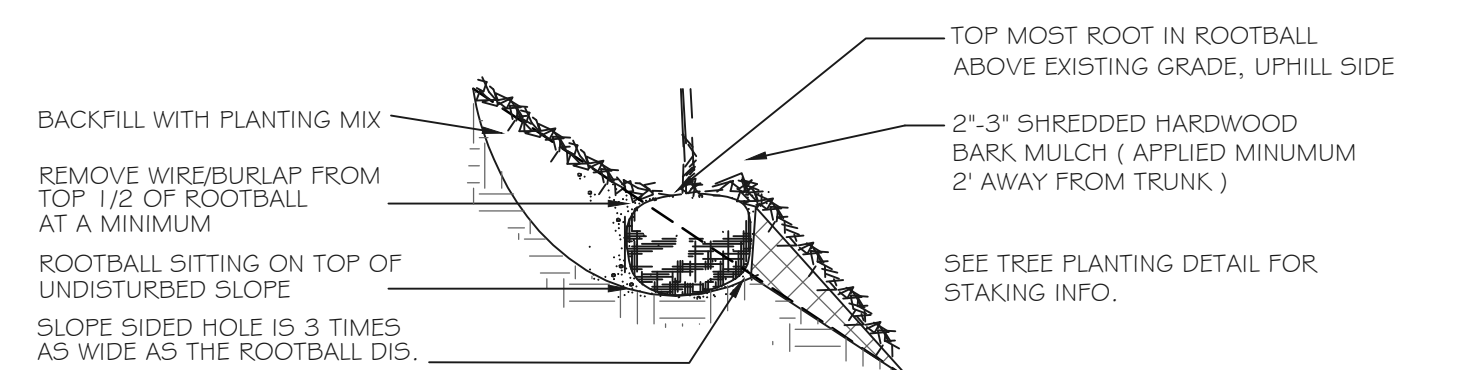
### SHRUB PLANTING DETAIL

NTS



### DECIDUOUS TREE PLANTING DETAIL

NTS



### SLOPE PLANTING DETAIL

NTS

### LANDSCAPE NOTES:

- PRIOR TO CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING AND NEWLY INSTALLED UTILITIES AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS.
- LANDSCAPING SHOWN ON THIS PLAN HAS BEEN DESIGNED TO COMPLY WITH THE TOWN OF HUDSON LANDSCAPE REGULATIONS.
- WHEREVER POSSIBLE EXISTING TREES SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION.
- THE PROPOSED DECIDUOUS TREES SHALL BE A MIN. 2.5" CALIPER AND EVERGREEN TREES A MINIMUM OF 6' HIGH AT TIME OF PLANTING.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED WITH A MINIMUM OF 6" SUITABLE LOAM, EXCEPT UNDER THE MULCH BEDS. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
- PLANTS SHALL NOT BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA OF THE PLANTING.
- ALL TREES SHALL BE BALLED AND BURLAP UNLESS OTHERWISE NOTED.
- ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE, THE TOWN OF HUDSON STAFF AND THE LANDSCAPE ARCHITECT.
- WHERE APPLICABLE THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
- CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
- INSOFAR AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI 260 (REV. 1996) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.

- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH 'WILT-PROOF' OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
- NO PLANT, EXCEPT GROUND COVERS/PERENNIALS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
- SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
- ALL NEW PLANTING AREAS, LAWN AND SOD SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM.
- THE PURPOSE OF THIS PLAN IS FOR LANDSCAPE PURPOSES ONLY.
- NO SOIL CONTAINING ANY LIVING OR VIABLE PORTION OF PLANTS ON THE NEW HAMPSHIRE PROHIBITED INVASIVE SPECIES LIST (AGR TABLE 3800) SHALL BE TRANSPORTED TO OR FROM CONSTRUCTION SITES WITHOUT NOTIFICATION AND APPROVAL FROM THE NEW HAMPSHIRE DEPT. OF AGRICULTURE PER RSA 430:55.

### SEED MIX

SEED DETENTION POND WITH ERNST NATIVE DETENTION AREA MIX - ITEM NUMBER: ERNMX-1 83  
MIX COMPOSITION 26.0% PANICUM CLANDESTINUM, TIAGA (DEERTONGUE, TIAGA), 25.0% PANICUM VIRGATUM, 'SHELTER' (SWITCHGRASS, 'SHELTER'), 20.0% CAREX VULPINOIDEA, PA ECOTYPE (FOX SEDGE, PA ECOTYPE), 20.0% ELYMUS VIRGINICUS, 'MADISON' (VIRGINIA WILDRYE, 'MADISON') 4.0% AGROSTIS PERENNANS, ALBANY PINE BUSH-NY ECOTYPE (AUTUMN BENTGRASS, ALBANY PINE BUSH-NY ECOTYPE), 3.0% JUNCUS EFFUSUS (SOFT RUSH), 1.0% JUNCUS TENUIIS, PA ECOTYPE (PATH RUSH, PA ECOTYPE), 1.0% PANICUM RIGIDULUM, PA ECOTYPE (REDTOP PANICGRASS, PA ECOTYPE)  
SEEDING RATE: 20 LB PER ACRE, OR 1/2 LB PER 1,000 SQ FT  
MAINTENANCE: ONCE A YEAR, IN LATE FALL WHEN ALL FLOWERS HAVE RIPENED AND DROPPED THEIR SEEDS MOW THE DETENTION/RETENTION AREAS. ONCE-A-YEAR MOWING WILL REMOVE TREE AND BRUSH SEEDLINGS, IF LEFT UN-MOWED, TREES AND BRUSH WILL EVENTUALLY TAKE OVER.

SEED SIDE SLOPES WITH ERNST NORTHEAST NATIVE WILDFLOWER & GRASS - ITEM NUMBER: ERNMX-1 53  
MIX COMPOSITION - 29.7% BOUTELOUA CURTIPENDULA, BUTTE (SIDEOATS GRAMA, BUTTE), 27.2% SCHIZACHYRIUM SCOPARIUM, FORT INDIANTOWN GAP-PA ECOTYPE (LITTLE BLUESTEM, FORT INDIANTOWN GAP-PA ECOTYPE), 15.0% ELYMUS VIRGINICUS, PA ECOTYPE (VIRGINIA WILDRYE, PA ECOTYPE), 7.0% ECHINACEA PURPUREA (PURPLE CONEFLOWER), 3.5% CHAMAECRISTA FASCICULATA, PA ECOTYPE (PARTRIDGE PEA, PA ECOTYPE), 3.0% COREOPSIS LANCEOLATA (LANCILEAF COREOPSIS), 3.0% RUDBECKIA HIRTA (BLACKEYED SUSAN), 2.0% HELIOPSIS HELIANTHOIDES, PA ECOTYPE (OXEYE SUNFLOWER, PA ECOTYPE), 1.5% LIATRIS SPICATA, PA ECOTYPE (MARSH BLAZING STAR, PA ECOTYPE), 1.2% TRADESANTIA OHIENSIS, PA ECOTYPE (OHIO SPIDERWORT, PA ECOTYPE), 1.0% PENSTEMON DIGITALIS (TALL WHITE BEARDTONGUE), 0.9% Pycnanthemum tenuifolium (NARROWLEAF MOUNTAINMINT), 0.7% SENNA HEBECARPA, VA & WV ECOTYPE (WILD SENNA, VA & WV ECOTYPE), 0.5% ASCLEPIAS TUBEROSA (BUTTERFLY MILKWEED), 0.5% BAPTISIA AUSTRALIS, SOUTHERN WV ECOTYPE (BLUE FALSE INDIGO, SOUTHERN WV ECOTYPE), 0.5% ZIZIA AUREA (GOLDEN ALEXANDERS), 0.4% ASTER OBLONGIFOLIUS, PA ECOTYPE (AROMATIC ASTER, PA ECOTYPE), 0.4% ASTER PRENANTHOIDES, PA ECOTYPE (ZIGZAG ASTER, PA ECOTYPE), 0.4% MONARDA FISTULOSA, FORT INDIANTOWN GAP-PA ECOTYPE (MILD BERGAMOT, FORT INDIANTOWN GAP-PA ECOTYPE), 0.3% ASTER LAEVIS, NY ECOTYPE (SMOOTH BLUE ASTER, NY ECOTYPE), 0.3% ASTER NOVAE-ANGLIAE, PA ECOTYPE (NEW ENGLAND ASTER, PA ECOTYPE), 0.2% COREOPSIS TRIPETERIS, PA ECOTYPE (TALL COREOPSIS, PA ECOTYPE), 0.2% Oenothera fruticosa var. fruticosa (SUNDRUPS), 0.2% SOLIDAGO NEMORALIS, PA ECOTYPE (GRAY GOLDENROD, PA ECOTYPE), 0.1% PENSTEMON HIRSUTUS (HAIRY BEARDTONGUE), 0.1% SENNA MARILANDICA (MARYLAND SENNA), 0.1% SOLIDAGO JUNCEA, PA ECOTYPE (EARLY GOLDENROD, PA ECOTYPE), 0.1% SOLIDAGO ODORA, PA ECOTYPE (LICORICE SCENTED GOLDENROD, PA ECOTYPE)  
SEEDING RATE: 20 LBS/ACRE WITH 30 LBS/ACRE OF A COVER CROP. FOR A COVER CROP USE EITHER GRAIN OATS (1 JAN TO 31 JUL) OR GRAIN RYE (1 AUG TO 31 DEC). ALLOW TO NATURALIZE

### LANDSCAPE LEGEND:

EXACT QUANTITIES AND FINAL LAYOUT SHALL BE PROVIDED AND REVIEWED WHEN BUILDING PLAN IS SUBMITTED FOR REVIEW WITH THE PLANNING BOARD.

TREE	BOTANICAL NAME / COMMON NAME	SIZE	MATURE HT.	MATURE WIDTH	COMMENTS
TREE 1	LARGE DECIDUOUS SHADE TREE				
	ACER SACCHARUM 'GREEN MOUNTAIN'	2' CAL B4B	40'-60'	40'-60'	IMPROVED NATIVE
	QUERCUS ALBA / WHITE OAK	2' CAL B4B	60'	60'	NATIVE
TREE 2	DECIDUOUS SHADE TREE				
	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE	2' CAL B4B	40'-60'	30'-40'	IMPROVED NATIVE
	ACER SACCHARUM 'LEGACY' / LEGACY SUGAR MAPLE	2' CAL B4B	40'-60'	30'-40'	IMPROVED NATIVE
TREE 3	DECIDUOUS TREE				
	CERCIS CANADENSIS / EASTERN REDBUD	2' CAL B4B	20'-30'	20'-30'	-
	CORNUS FLORIDA CHEROKEE BRAVE / CHEROKEE BRAVE FLOWERING DOGWOOD	2' CAL B4B	20'-30'	20'-30'	-
TREE 4	DECIDUOUS UPRIGHT				
	ACER RUBRUM 'BOWHALL' / BOWHALL RED MAPLE	2' CAL B4B	40'-60'	15'-20'	IMPROVED NATIVE
	PRUNUS CERASIFERA 'THUNDERCLOUD' / THUNDERCLOUD PLUM	2' CAL B4B	15'-20'	15'-20'	IMPROVED NATIVE
TREE 5	DECIDUOUS COLUMNAR				
	FAGUS SYLVATICA 'FASTIGIATA' / FASTIGIATE BEECH	2' CAL B4B	40'-60'	8'-10'	FND. PLANTING
	QUERCUS PALUSTRIS 'GREEN PILLAR' / GREEN PILLAR PIN OAK	2' CAL B4B	40'-60'	10'-15'	IMPROVED NATIVE
TREE 6	SMALL ORNAMENTAL				
	ACER PENNSYLVANICUM / STRIPED MAPLE	2' CAL B4B	15'-20'	15'-20'	NATIVE-UNDER-STORYSHADE
	CORNUS 'KOUSA' SATOMI / SATOMI KOUSA DOGWOOD	2' CAL B4B	15'-20'	10'-15'	-
EVERGREEN 1	LARGE EVERGREEN TREE				
	ABIES FRASERI / FRASER FIR	6' HT. B4B	30'-40'	20'-30'	-
	PICEA PUNGENS 'GLAUCIA' / COLORADO BLUE SPRUCE	6' HT. B4B	60'	20'-30'	-
EVERGREEN 2	NARROW EVERGREEN				
	ABIES CONCOLOR / WHITE FIR	6' HT. B4B	30'-40'	15'-20'	PARTIALSHADE
	CRYPTOMERIA JAPONICA 'YOSHINO' / YOSHINO JAPANESE CEDAR	6' HT. B4B	30'-40'	15'-20'	-
EVERGREEN 3	EVERGREEN SHRUB / DWARF				
	ILEX MESERVEAE 'BLUE PRINCE' / BLUE PRINCE HOLLY	4' HT. B4B	8'-10'	6'-8'	SUNSHADE
	J. VIRGINIANA 'EMERALD SENTINEL' / EMERALD SENTINEL EASTERN RED CEDAR	4' HT. B4B	15'-20'	8'	IMPROVED NATIVE
EVERGREEN 4	EVERGREEN SHRUB TALL				
	EUNONYMUS ALATUS 'MANTON' / MANTON WINTERCREEPER	3' HT. B4B	6'-8'	4'-5'	-
	JUNIPERUS CHINENSIS 'HETZII' / HETZII JUNIPER	3' HT. B4B	10'-15'	4'-5'	-
EVERGREEN 5	EVERGREEN SHRUB MEDIUM				
	ILEX CRENATA 'HETZII' / HETZII JAPANESE HOLLY	30" B4B	3'-4'	3'-4'	SHADE TOLERANT
	JUNIPERUS CHINENSIS 'MINIMUM' / MINIMUM JUNIPER	30" B4B	3'-4'	3'-4'	-
EVERGREEN 6	EVERGREEN GROUNDCOVER				
	JUNIPERUS CHINENSIS 'SARGENTI' / GREEN SARGENT JUNIPER	5 GAL.	12"-24"	8'-10'	-
	JUNIPERUS HORIZONTALIS 'BAR HARBOR' / BAR HARBOR JUNIPER	5 GAL.	6"-12"	6'-8'	NATIVE
DECIDUOUS 1	DECIDUOUS SHRUB LARGE				
	CORNUS RACEMOSA / GREY DOGWOOD	4' HT. B4B	10'-15'	10'-15'	NATIVE SHADE TOLERANT
	HYDRANGEA QUERCIFOLIA 'ALICE' / ALICE OAKLEAF HYDRANGEA	4' HT. B4B	8'-10'	8'-10'	-
DECIDUOUS 2	DECIDUOUS SHRUB INTERMEDIATE				
	FORSYTHIA LYNDWOOD GOLD / LYNDWOOD GOLD FORSYTHIA	4' HT. B4B	6'-8'	6'-8'	-
	HYDRANGEA QUERCIFOLIA / OAKLEAF HYDRANGEA	4' HT. B4B	6'-8'	6'-8'	-
DECIDUOUS 3	DECIDUOUS SHRUB MEDIUM				
	CARYOPTERIS CLANDONENSIS / BLUE MIST SPIREA	5 GAL.	3'-4'	4'-5'	-
	CHIAENOMELIS SPEGIOSA 'CAMEO' / CAMEO QUINCE	5 GAL.	4'-5'	4'-5'	-
DECIDUOUS 4	DECIDUOUS SHRUB SMALL				
	ILEX VERTICILLATA 'RED SPRITE' / RED SPRITE WINTERBERRY	3 GAL.	3'-4'	3'-4'	IMPROVED NATIVE
	ITEA VIRGINICA 'LITTLE HENRY' / LITTLE HENRY SWEETSPIRE	3 GAL.	18"-24"	2'-3'	-
ROSE	CARPET ROSE	3 GAL.	2'-3'	3'-4'	-



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SHEET TITLE:  
**LANDSCAPE**  
**DETAILS**

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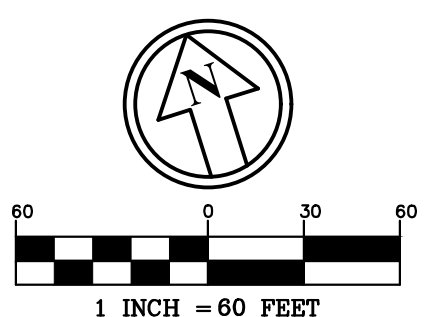
N:\PROJECTS\175-Five Way Realty - Hudson\DWG\CURRENT\175-PARKCALCS.dwg

**NOTE:**  
SINGLE ACCESS LANE PARKING AREAS ARE EXEMPT FROM PARKING LOT LANDSCAPING REGULATIONS SECTION 275-8.C.7 PER 275-8.C.7.e HOWEVER, ALL OF THE PARKING AREAS FOR THE PURPOSES OF THE SPIRIT OF THE REGULATIONS ARE DEPICTED AND DESIGNED TO MEET 275.8.C.7 NOTWITHSTANDING BEING EXEMPT.



**The Dubai Group, Inc.**  
136 Harvey Rd. Bldg B101  
Londonderry, NH 03053  
603-458-6462

Engineers  
Planners  
Surveyors  
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1 INCH = 60 FEET

REVISIONS:			
REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REV.	JUG

REV.	DATE	COMMENT	BY

DRAWN BY: WA  
CHECKED BY: KR  
DATE: AUG. 3, 2021  
SCALE: 1" = 60'  
FILE: 475-PARKCALCS  
DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH  
PREPARED FOR

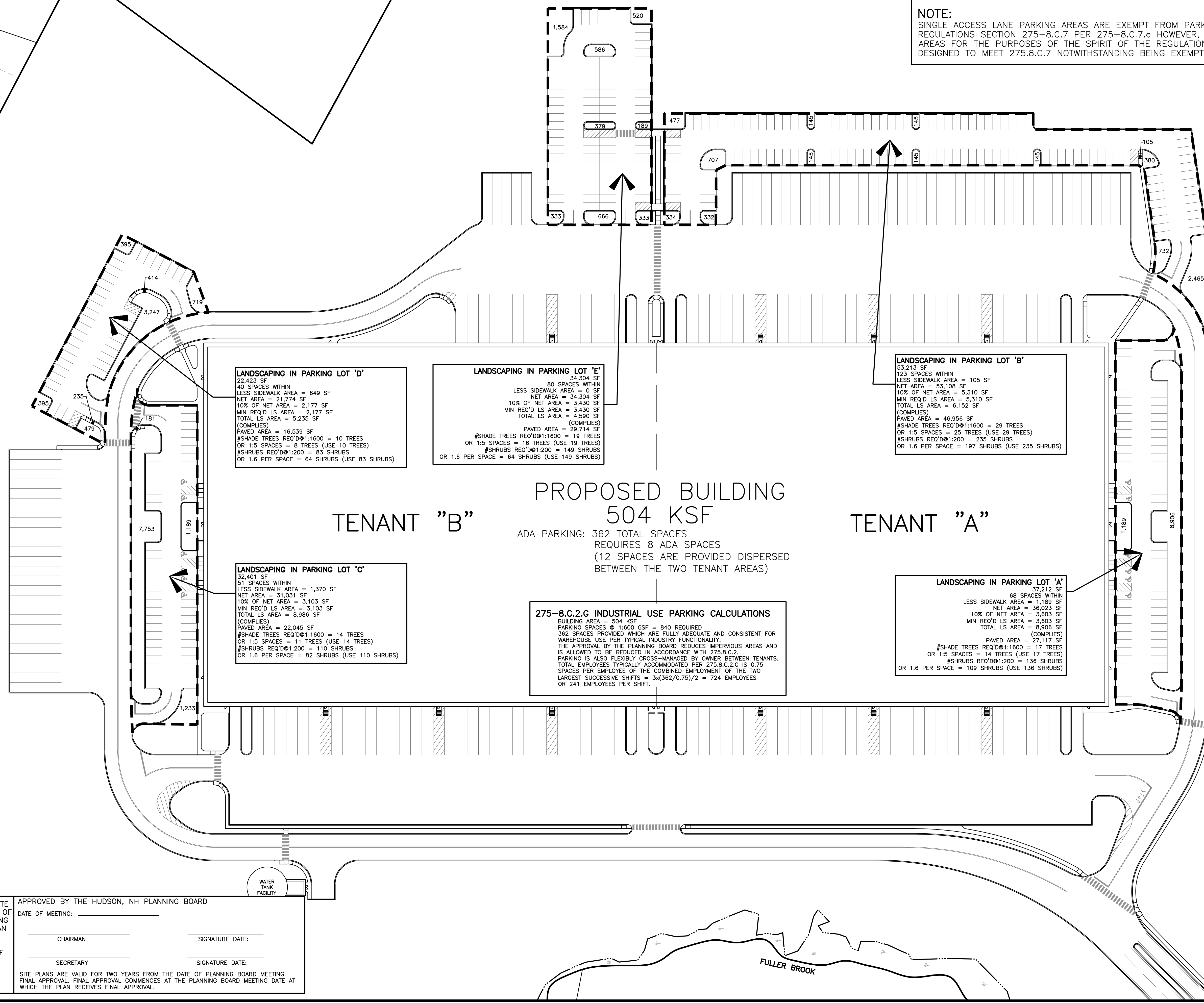
**GFI PARTNERS**

**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
133 PEARL STREET #300  
BOSTON, MA 02110  
OWNER

**5 WAY REALTY TRUST**  
PETER HORNE, TRUSTEE  
PO BOX 1435  
N. HAMPTON, NH 03862

SHEET TITLE:  
**PARKING COMPLIANCE & LANDSCAPE SUMMARY**

PROJECT #475 SHEET 36 of 80



**LANDSCAPING IN PARKING LOT 'D'**  
22,423 SF  
40 SPACES WITHIN  
LESS SIDEWALK AREA = 649 SF  
NET AREA = 21,774 SF  
10% OF NET AREA = 2,177 SF  
MIN REQ'D LS AREA = 2,177 SF  
TOTAL LS AREA = 5,235 SF  
(COMPLIES)  
PAVED AREA = 16,539 SF  
#SHADE TREES REQ'D@1:1600 = 10 TREES  
OR 1:5 SPACES = 8 TREES (USE 10 TREES)  
#SHRUBS REQ'D@1:200 = 83 SHRUBS  
OR 1.6 PER SPACE = 64 SHRUBS (USE 83 SHRUBS)

**LANDSCAPING IN PARKING LOT 'E'**  
34,304 SF  
80 SPACES WITHIN  
LESS SIDEWALK AREA = 0 SF  
NET AREA = 34,304 SF  
10% OF NET AREA = 3,430 SF  
MIN REQ'D LS AREA = 3,430 SF  
TOTAL LS AREA = 4,590 SF  
(COMPLIES)  
PAVED AREA = 29,714 SF  
#SHADE TREES REQ'D@1:1600 = 19 TREES  
OR 1:5 SPACES = 16 TREES (USE 19 TREES)  
#SHRUBS REQ'D@1:200 = 149 SHRUBS  
OR 1.6 PER SPACE = 64 SHRUBS (USE 149 SHRUBS)

**LANDSCAPING IN PARKING LOT 'B'**  
53,213 SF  
123 SPACES WITHIN  
LESS SIDEWALK AREA = 105 SF  
NET AREA = 53,108 SF  
10% OF NET AREA = 5,310 SF  
MIN REQ'D LS AREA = 5,310 SF  
TOTAL LS AREA = 6,152 SF  
(COMPLIES)  
PAVED AREA = 46,956 SF  
#SHADE TREES REQ'D@1:1600 = 29 TREES  
OR 1:5 SPACES = 25 TREES (USE 29 TREES)  
#SHRUBS REQ'D@1:200 = 235 SHRUBS  
OR 1.6 PER SPACE = 197 SHRUBS (USE 235 SHRUBS)

**LANDSCAPING IN PARKING LOT 'C'**  
32,401 SF  
51 SPACES WITHIN  
LESS SIDEWALK AREA = 1,370 SF  
NET AREA = 31,031 SF  
10% OF NET AREA = 3,103 SF  
MIN REQ'D LS AREA = 3,103 SF  
TOTAL LS AREA = 6,986 SF  
(COMPLIES)  
PAVED AREA = 22,045 SF  
#SHADE TREES REQ'D@1:1600 = 14 TREES  
OR 1:5 SPACES = 11 TREES (USE 14 TREES)  
#SHRUBS REQ'D@1:200 = 110 SHRUBS  
OR 1.6 PER SPACE = 82 SHRUBS (USE 110 SHRUBS)

**LANDSCAPING IN PARKING LOT 'A'**  
37,212 SF  
68 SPACES WITHIN  
LESS SIDEWALK AREA = 1,189 SF  
NET AREA = 36,023 SF  
10% OF NET AREA = 3,603 SF  
MIN REQ'D LS AREA = 3,603 SF  
TOTAL LS AREA = 8,906 SF  
(COMPLIES)  
PAVED AREA = 27,117 SF  
#SHADE TREES REQ'D@1:1600 = 17 TREES  
OR 1:5 SPACES = 14 TREES (USE 17 TREES)  
#SHRUBS REQ'D@1:200 = 136 SHRUBS  
OR 1.6 PER SPACE = 109 SHRUBS (USE 136 SHRUBS)

**PROPOSED BUILDING**  
**504 KSF**  
ADA PARKING: 362 TOTAL SPACES  
REQUIRES 8 ADA SPACES  
(12 SPACES ARE PROVIDED DISPERSED BETWEEN THE TWO TENANT AREAS)

**275-8.C.2.G INDUSTRIAL USE PARKING CALCULATIONS**  
BUILDING AREA = 504 KSF  
PARKING SPACES @ 1:600 GSF = 840 REQUIRED  
362 SPACES PROVIDED WHICH ARE FULLY ADEQUATE AND CONSISTENT FOR WAREHOUSE USE PER TYPICAL INDUSTRY FUNCTIONALITY.  
THE APPROVAL BY THE PLANNING BOARD REDUCES IMPERVIOUS AREAS AND IS ALLOWED TO BE REDUCED IN ACCORDANCE WITH 275.8.C.2.  
PARKING IS ALSO FLEXIBLY CROSS-MANAGED BY OWNER BETWEEN TENANTS.  
TOTAL EMPLOYEES TYPICALLY ACCOMMODATED PER 275.8.C.2.G IS 0.75 SPACES PER EMPLOYEE OF THE COMBINED EMPLOYMENT OF THE TWO LARGEST SUCCESSIVE SHIFTS = 3x(362/0.75)/2 = 724 EMPLOYEES OR 241 EMPLOYEES PER SHIFT.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

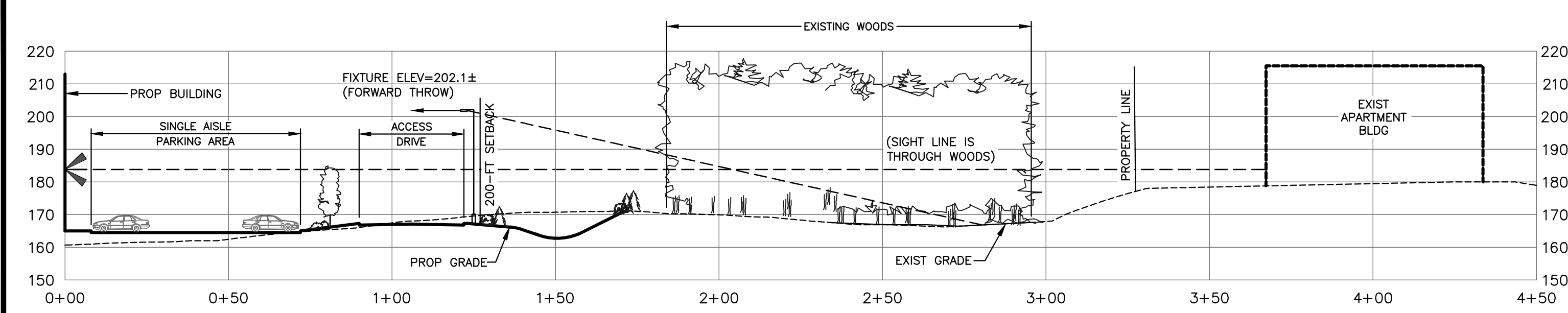
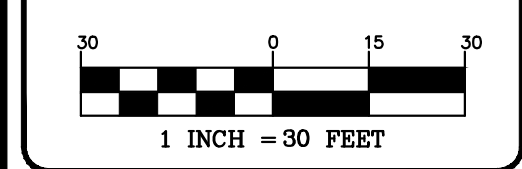
SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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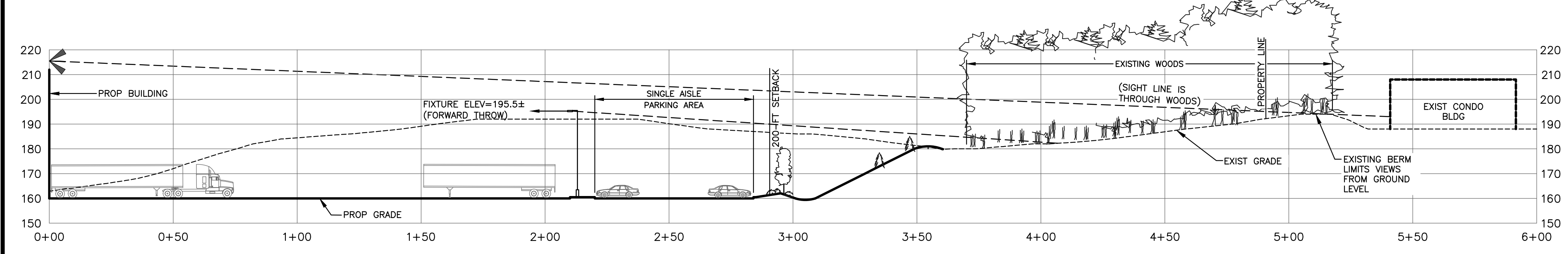


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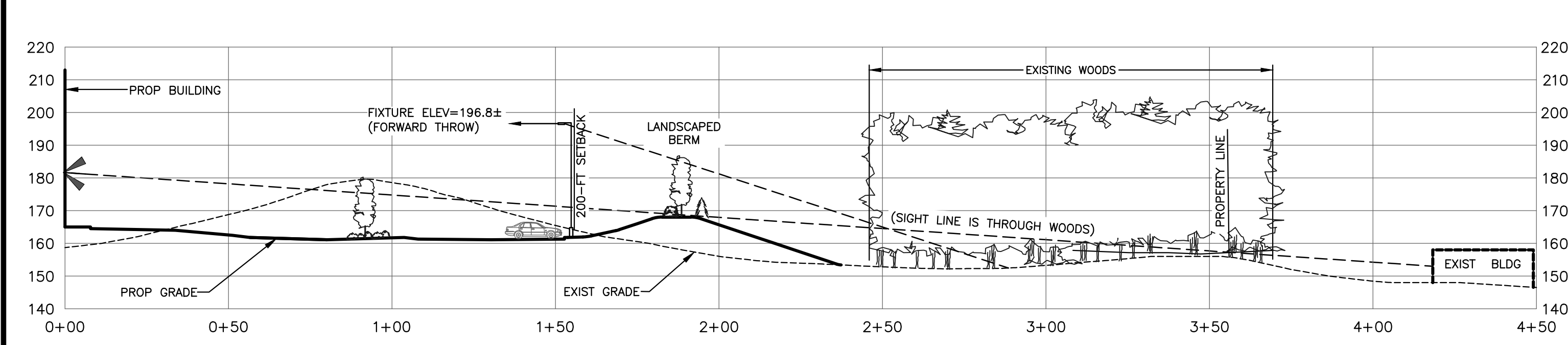
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 Planners  
 Surveyors  
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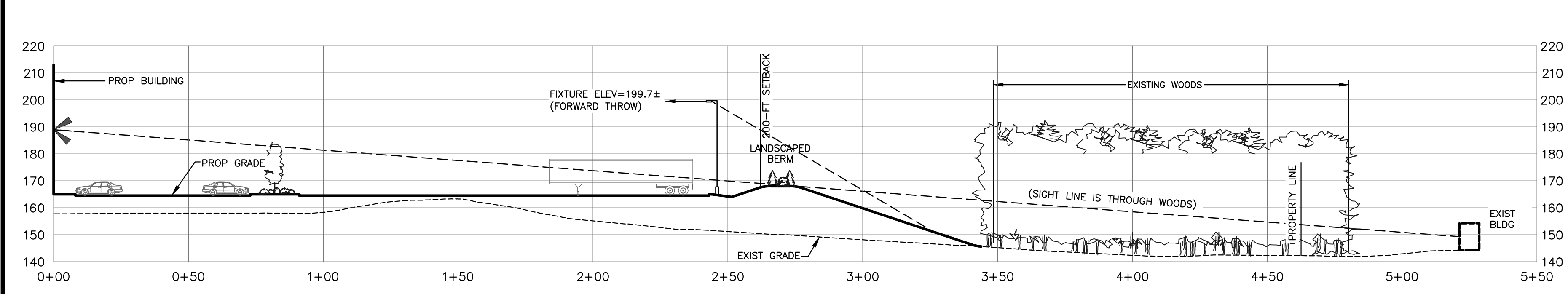
SITE SECTION A



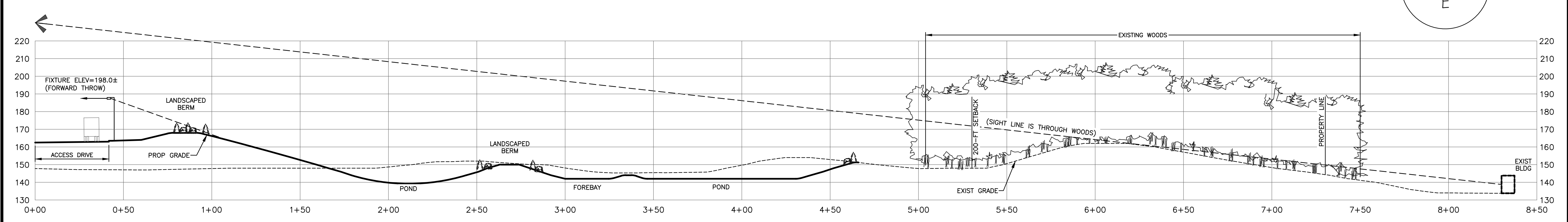
SITE SECTION B



SITE SECTION C



SITE SECTION D



SITE SECTION E

REVISIONS:			
REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REV.	JJG
3	10/5/21	MISC. REVS	WA

DRAWN BY: JJG  
 CHECKED BY: KRD  
 DATE: AUG. 3, 2021  
 SCALE: 1" = 30'  
 FILE: 475-SECTION  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR

**GFI PARTNERS**  
 LOWELL ROAD  
 PROPERTY OWNER, LLC  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER  
 5 WAY REALTY TRUST  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:  
**SITE SECTIONS**  
 PROJECT #475 SHEET 37 of 80

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD  
 DATE OF MEETING: \_\_\_\_\_  
 CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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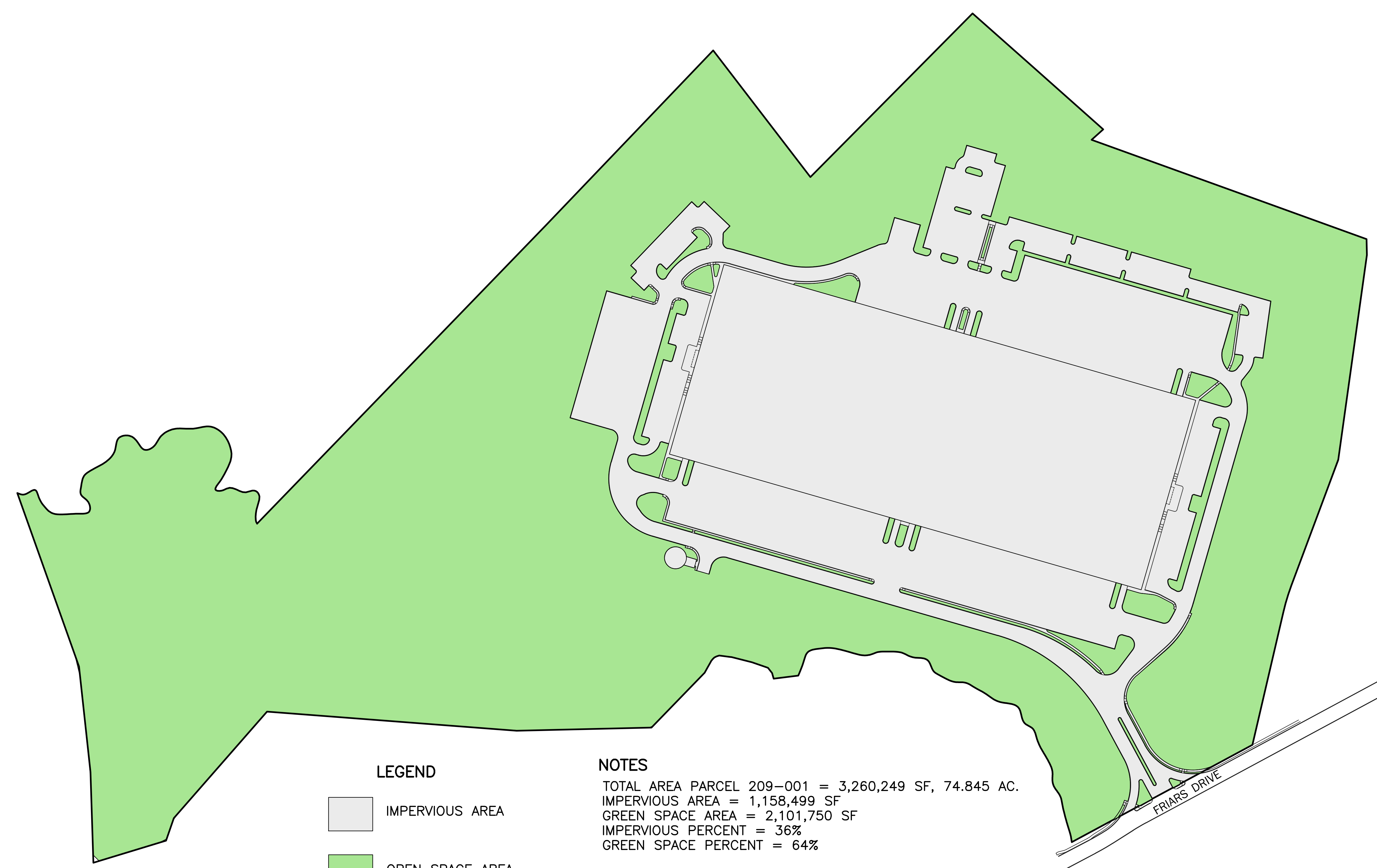
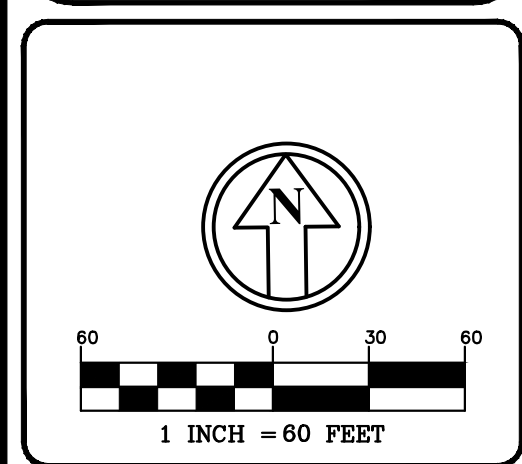
REFER TO LANDSCAPE & GRADING PLANS FOR PLAN DATA.

N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-SECTION.dwg



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**LEGEND**

IMPERVIOUS AREA

OPEN SPACE AREA

**NOTES**

TOTAL AREA PARCEL 209-001 = 3,260,249 SF, 74.845 AC.  
 IMPERVIOUS AREA = 1,158,499 SF  
 GREEN SPACE AREA = 2,101,750 SF  
 IMPERVIOUS PERCENT = 36%  
 GREEN SPACE PERCENT = 64%

MIN. GREEN SPACE REQUIRED = 35% (COMPLIES)

REVISIONS:

REV.	DATE:	COMMENT:	BY:

DRAWN BY: WA  
 CHECKED BY: KRD  
 DATE: AUG. 3, 2021  
 SCALE: 1" = 120'  
 FILE: 475-OPENSACE  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR

**GFI PARTNERS**

LOWELL ROAD  
 PROPERTY OWNER, LLC  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

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SHEET TITLE:

**GREEN SPACE & IMPERVIOUS AREA SUMMARY**

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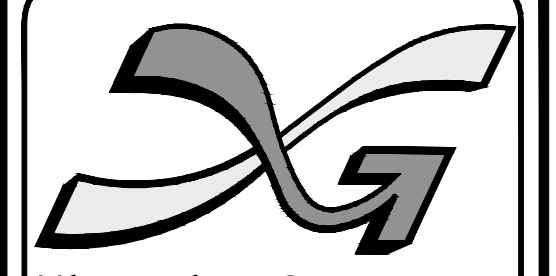
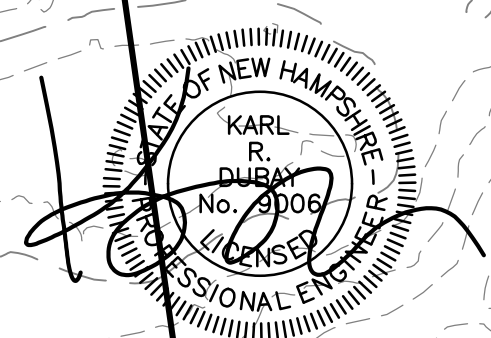
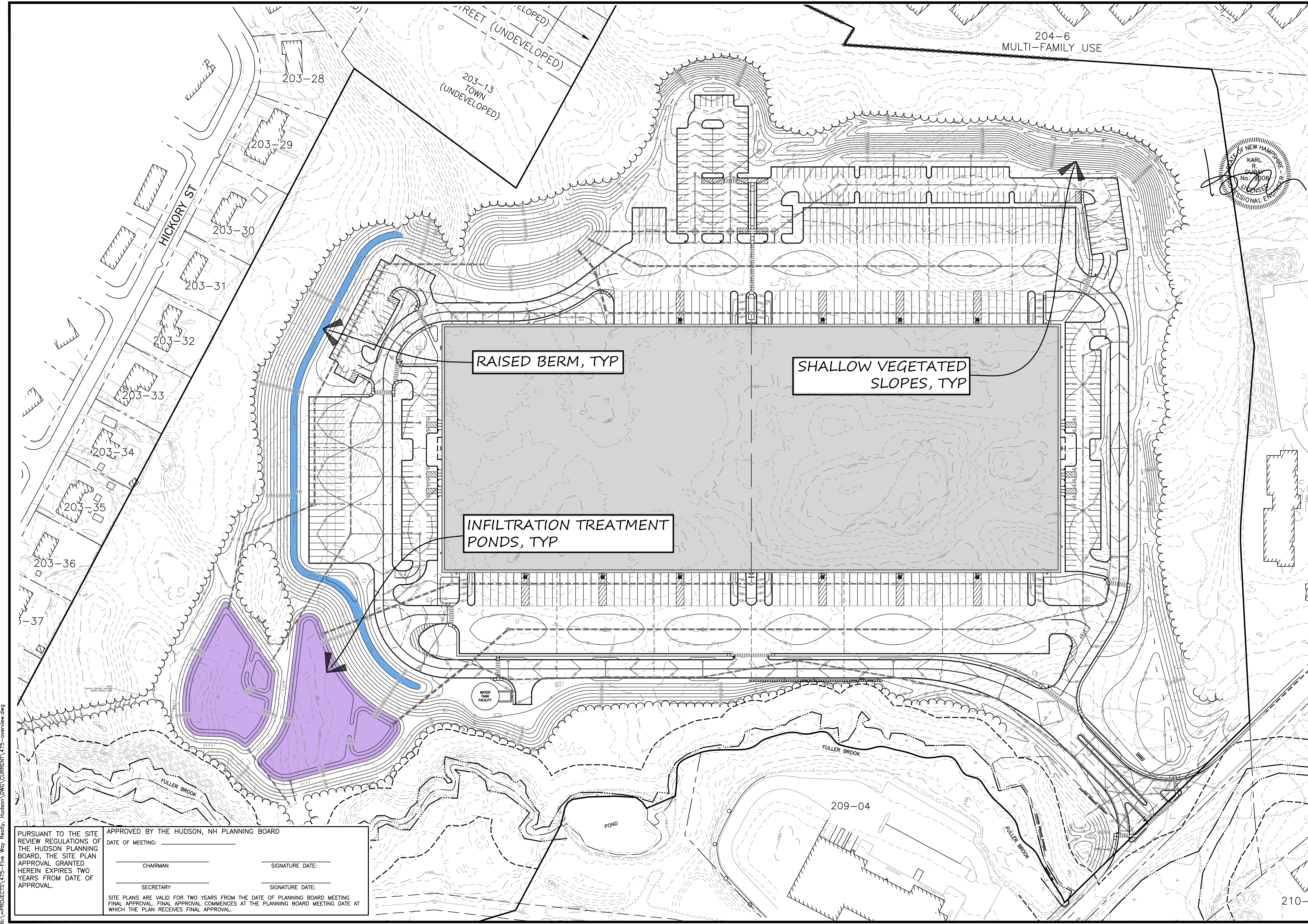
DATE OF MEETING: \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

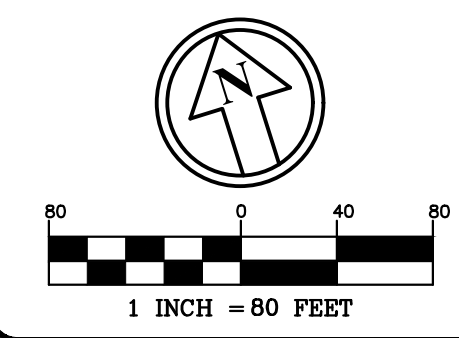
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N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-OPENSACE.dwg



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REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REVS	WA
3	10/5/21	MISC. REVS	WA

DRAWN BY: WA  
 CHECKED BY: KR D  
 DATE: AUG. 3, 2021  
 SCALE: 1" = 80'  
 FILE: 475-overview  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER  
**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:  
**GRADING &  
 DRAINAGE  
 OVERVIEW  
 PLAN**

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-overview.dwg

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

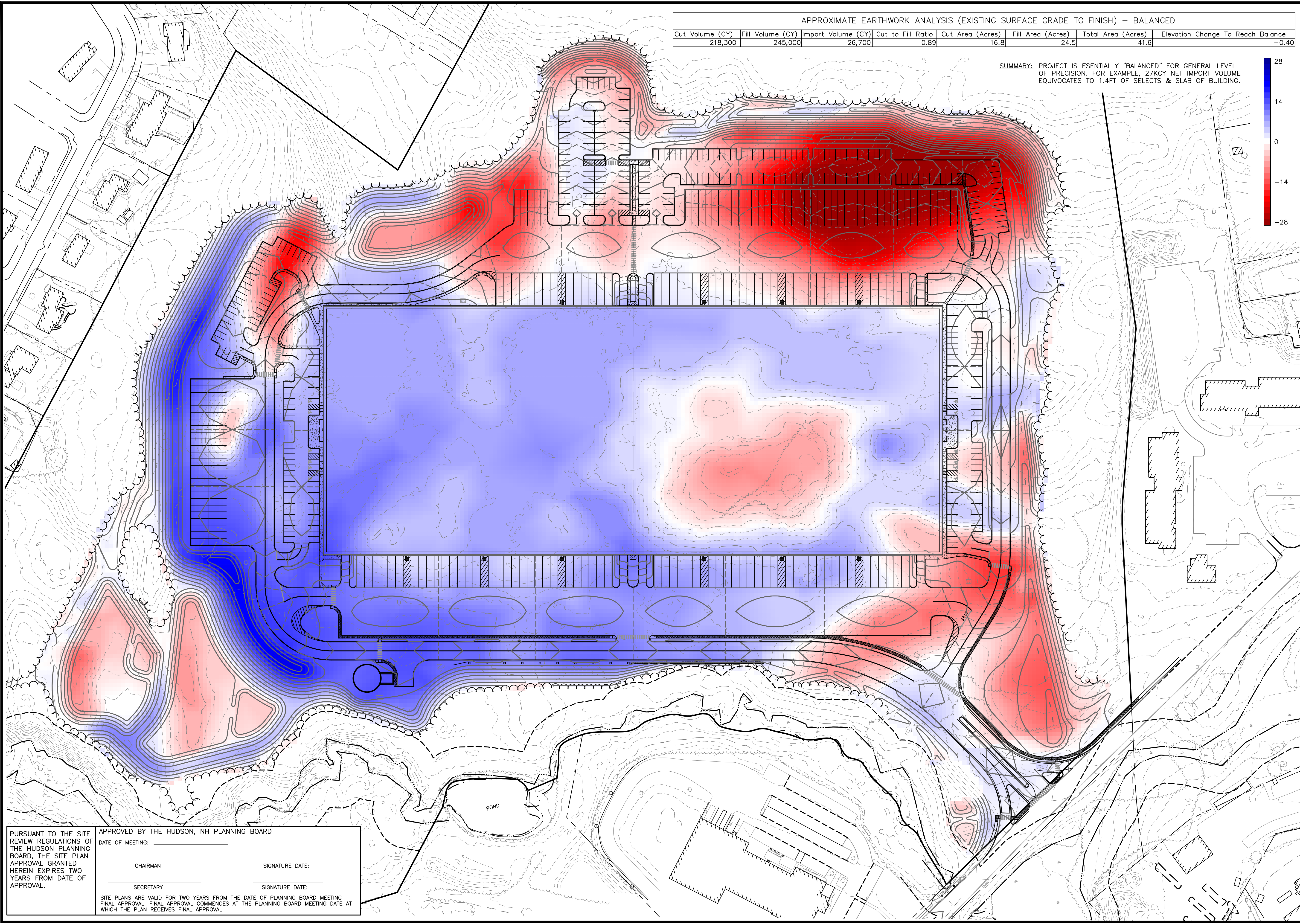
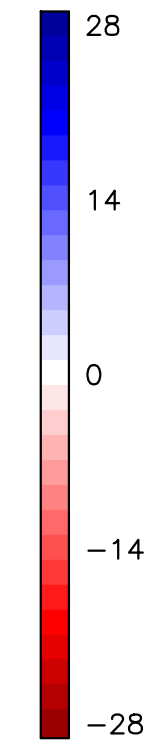
CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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APPROXIMATE EARTHWORK ANALYSIS (EXISTING SURFACE GRADE TO FINISH) - BALANCED							
Cut Volume (CY)	Fill Volume (CY)	Import Volume (CY)	Cut to Fill Ratio	Cut Area (Acres)	Fill Area (Acres)	Total Area (Acres)	Elevation Change To Reach Balance
218,300	245,000	26,700	0.89	16.8	24.5	41.6	-0.40

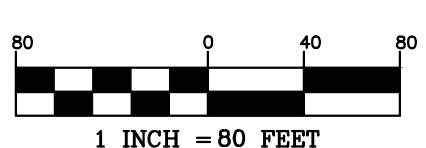
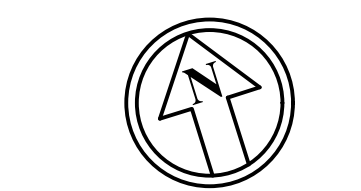
SUMMARY: PROJECT IS ESSENTIALLY "BALANCED" FOR GENERAL LEVEL OF PRECISION. FOR EXAMPLE, 27KCY NET IMPORT VOLUME EQUIVOCATES TO 1.4FT OF SELECTS & SLAB OF BUILDING.



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REV.	DATE	COMMENT	BY
3	10/5/21	MISC. REVS	SJK

DRAWN BY: SJK  
CHECKED BY: KRD  
DATE: AUG. 3, 2021  
SCALE: 1" = 80'  
FILE: 475-CUT-FILL  
DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH  
PREPARED FOR



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
133 PEARL STREET #300  
BOSTON, MA 02110  
OWNER

**5 WAY REALTY TRUST**  
PETER HORNE, TRUSTEE  
PO BOX 1435  
N. HAMPTON, NH 03862

SHEET TITLE:  
**CUT / FILL**  
**BALANCE**  
**PLAN**

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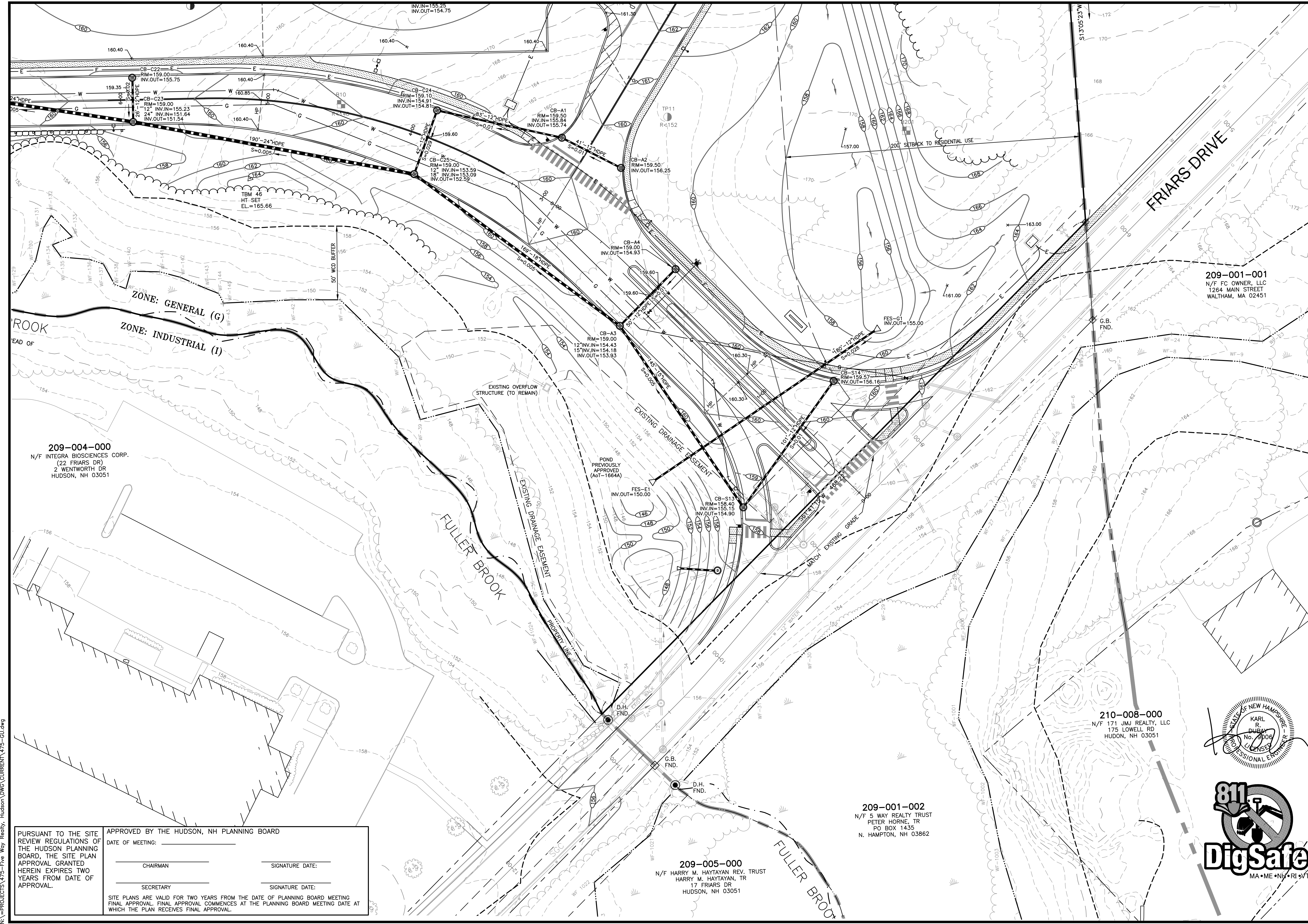
APPROVED BY THE HUDSON, NH PLANNING BOARD  
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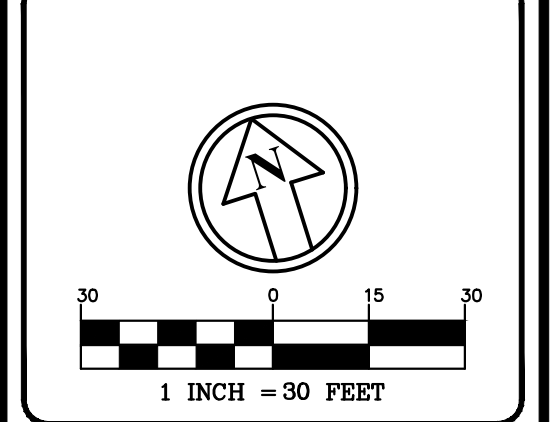
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D		H
C	B	A

**SHEET INDEX**

REV.	DATE:	REVISIONS:	BY:
1	9/20/21	MISC. REVS	WA
3	10/5/21	MISC. REVS	WA

DRAWN BY: WA  
 CHECKED BY: KRD  
 DATE: AUG. 3, 2021  
 SCALE: 1" = 30'  
 FILE: 475-GU  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR



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 BOSTON, MA 02110  
 OWNER

**5 WAY REALTY TRUST**  
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SHEET TITLE:  
**GRADING & DRAINAGE**  
**PLAN - A**

PROJECT #475 SHEET 41 of 80

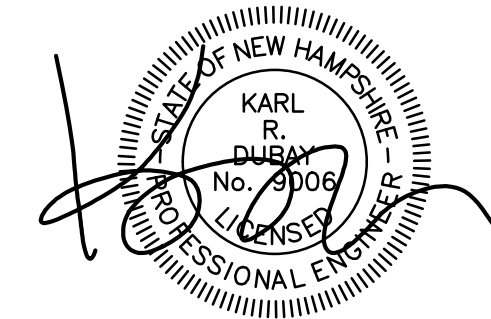
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**209-004-000**  
 N/F INTEGRA BIOSCIENCES CORP.  
 (22 FRIARS DR)  
 2 WENTWORTH DR  
 HUDSON, NH 03051

**CB-A3**  
 RIM=159.00  
 12" INV.IN=154.43  
 15" INV.IN=154.18  
 INV.OUT=153.93

**FES-E1**  
 RIM=159.00  
 INV.OUT=150.00

**209-005-000**  
 N/F HARRY M. HAYTAYAN REV. TRUST  
 HARRY M. HAYTAYAN, TR  
 17 FRIARS DR  
 HUDSON, NH 03051

**209-001-002**  
 N/F 5 WAY REALTY TRUST  
 PETER HORNE, TR  
 PO BOX 1435  
 N. HAMPTON, NH 03862

**210-008-000**  
 N/F 171 JMJ REALTY, LLC  
 175 LOWELL RD  
 HUDSON, NH 03051

**209-001-001**  
 N/F FC OWNER, LLC  
 1264 MAIN STREET  
 WALTHAM, MA 02451

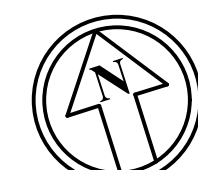


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1 INCH = 30 FEET

E	F	G
D		H
C	B	A

SHEET INDEX

REVISIONS:

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3	10/5/21	MISC. REVS	WA

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 DATE: AUG. 3, 2021  
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PROJECT: **SITE PLAN**  
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 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR:



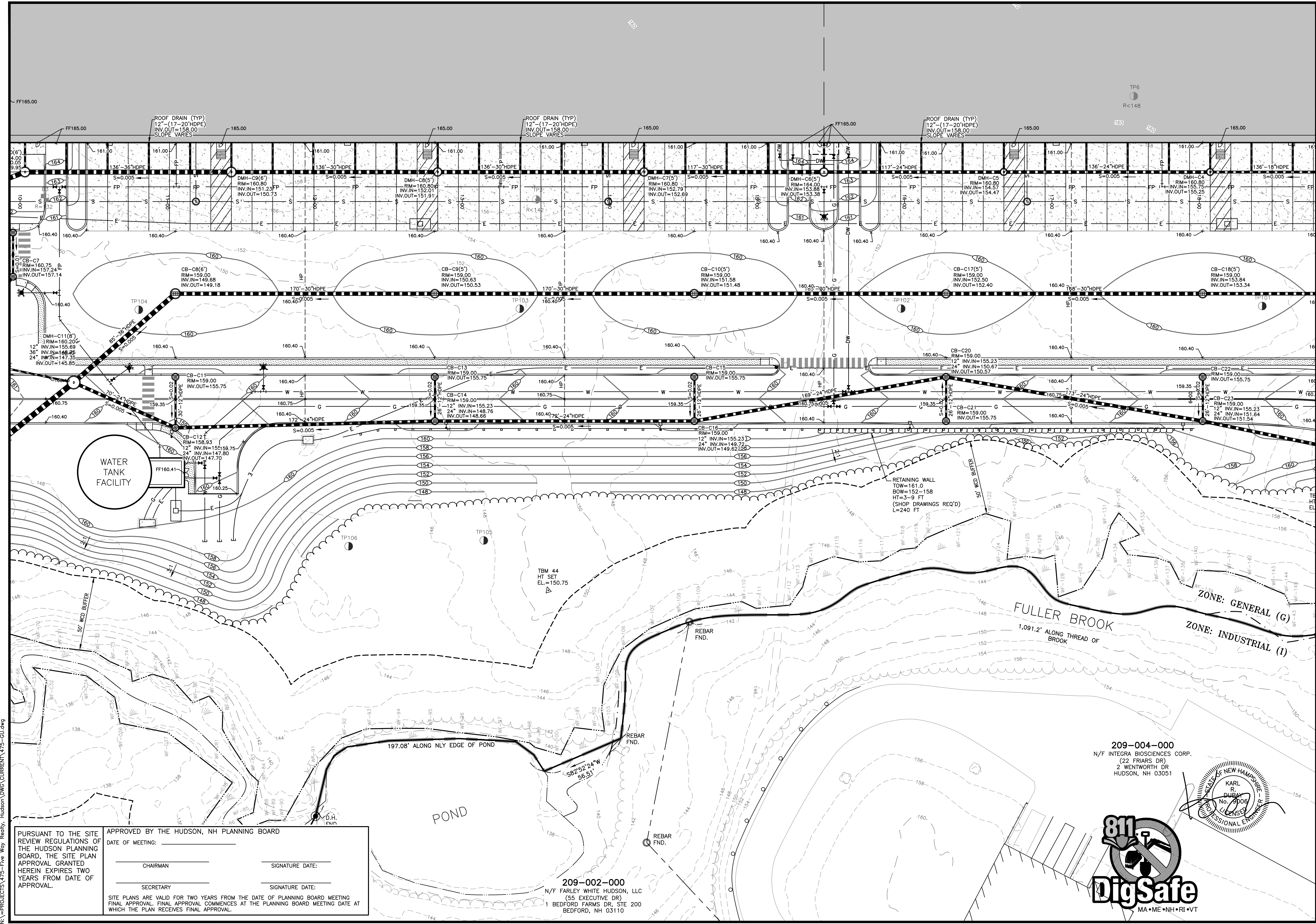
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 N. HAMPTON, NH 03862

SHEET TITLE:

**GRADING & DRAINAGE PLAN - B**

PROJECT #475 SHEET 42 of 80



N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-GU.dwg

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

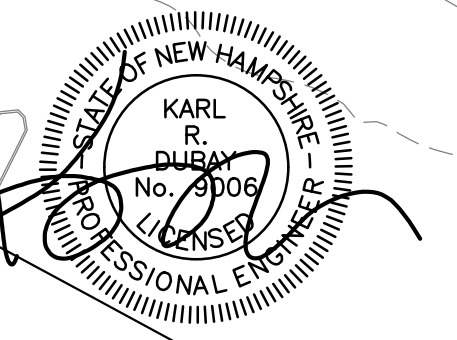
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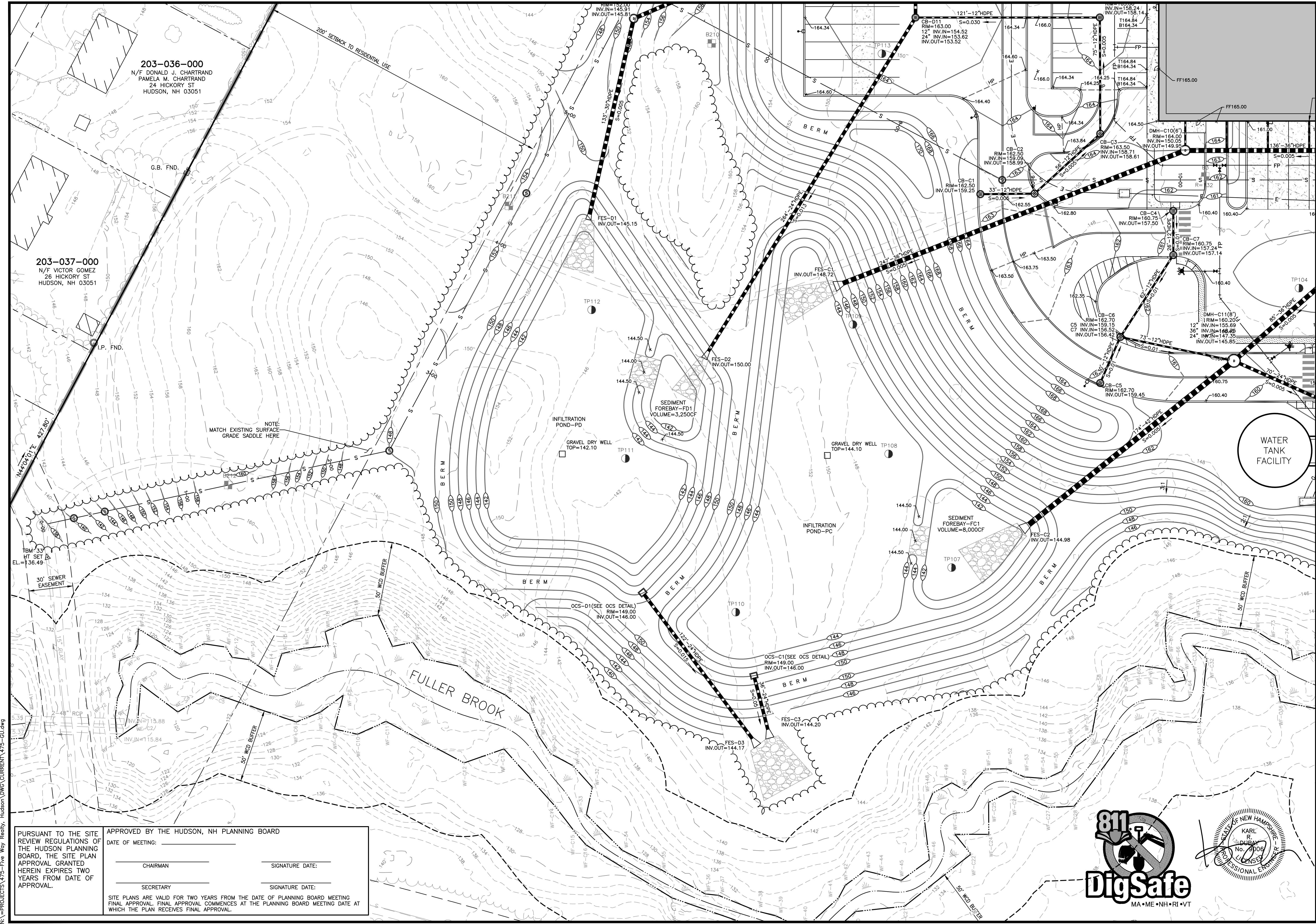
SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

209-002-000  
 N/F FARLEY WHITE HUDSON, LLC  
 (55 EXECUTIVE DR)  
 1 BEDFORD FARMS DR, STE 200  
 BEDFORD, NH 03110

209-004-000  
 N/F INTEGRA BIOSCIENCES CORP.  
 (22 FRIARS DR)  
 2 WENTWORTH DR  
 HUDSON, NH 03051





203-036-000  
N/F DONALD J. CHARTRAND  
PAMELA M. CHARTRAND  
24 HICKORY ST  
HUDSON, NH 03051

203-037-000  
N/F VICTOR GOMEZ  
26 HICKORY ST  
HUDSON, NH 03051

NOTE:  
MATCH EXISTING SURFACE  
GRADE SADDLE HERE

30' SEWER EASEMENT

FULLER BROOK

WATER TANK FACILITY

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

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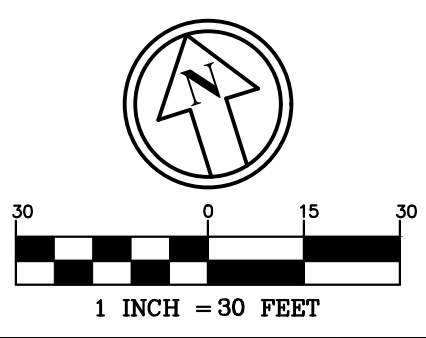
SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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Londonderry, NH 03053  
603-458-6462

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Planners  
Surveyors  
TheDubayGroup.com



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D	H	A

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REV.	DATE	REVISIONS:	BY:
1	9/20/21	MISC. REVS	WA
3	10/5/21	MISC. REVS	WA

DRAWN BY: WA  
CHECKED BY: KRD  
DATE: AUG. 3, 2021  
SCALE: 1" = 30'  
FILE: 475-GU  
DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH  
PREPARED FOR \_\_\_\_\_



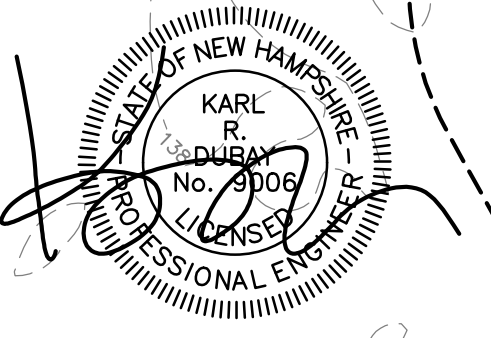
**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
133 PEARL STREET #300  
BOSTON, MA 02110  
OWNER

**5 WAY REALTY TRUST**  
PETER HORNE, TRUSTEE  
PO BOX 1435  
N. HAMPTON, NH 03862

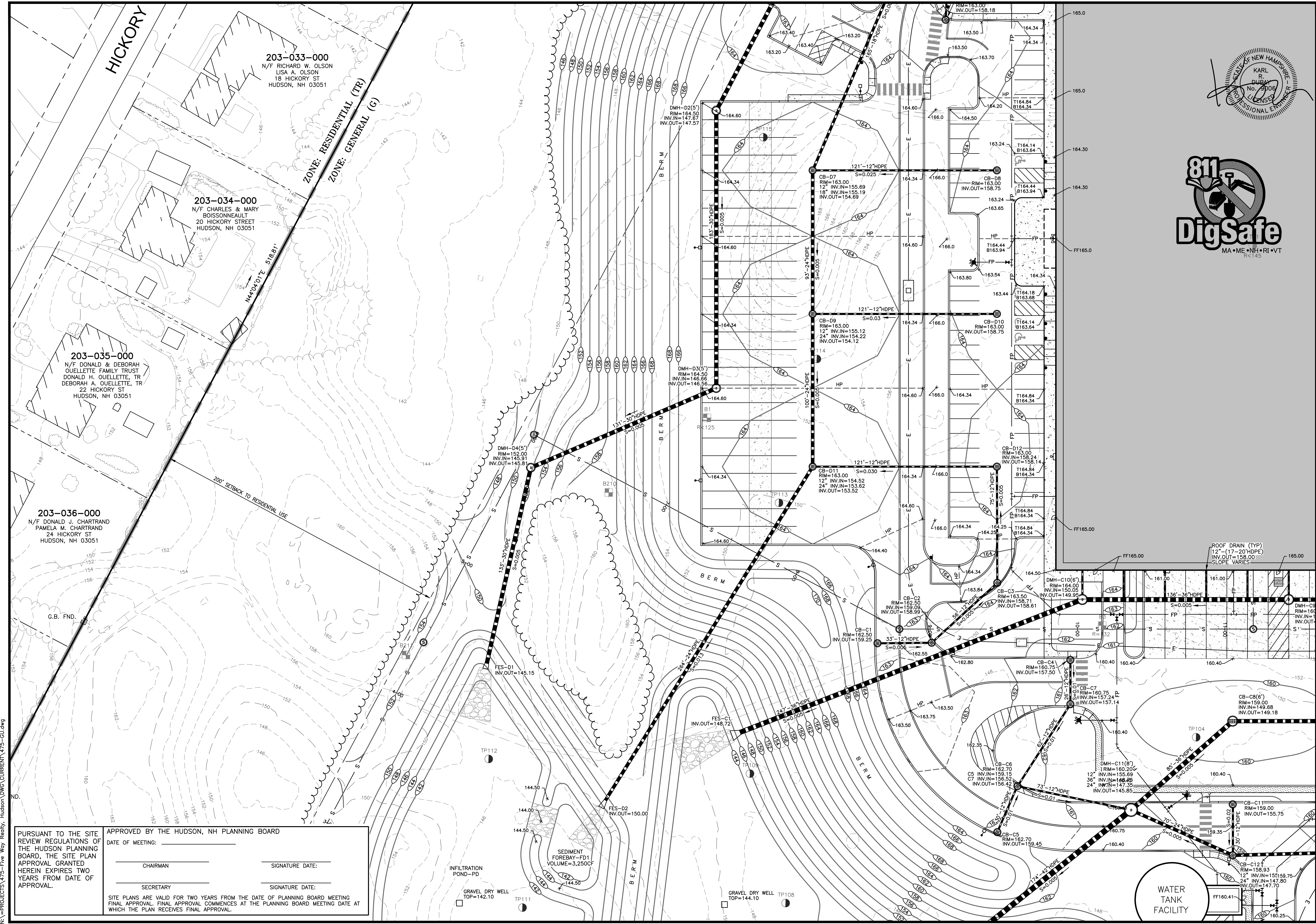
SHEET TITLE:

**GRADING & DRAINAGE**  
**PLAN - C**

PROJECT #475 SHEET 43 of 80

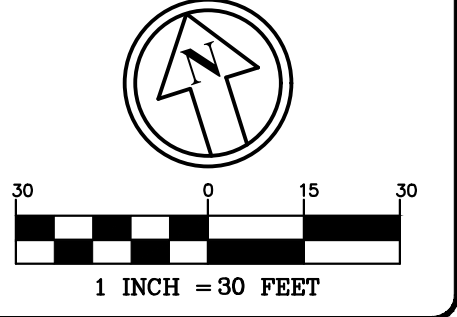


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REV.	DATE:	REVISIONS:	BY:
			WA
			KRD

**PROJECT:**  
**SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:  
**GRADING & DRAINAGE PLAN - D**

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-GU.dwg

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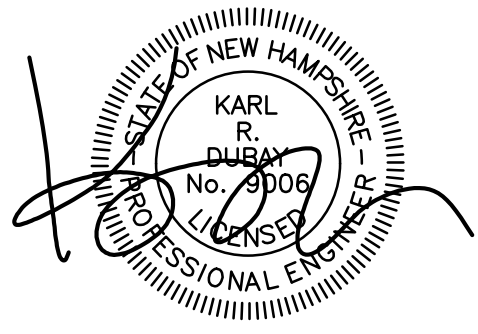
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

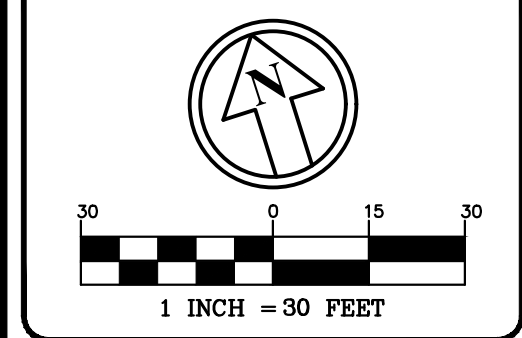
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DATE: AUG. 3, 2021  
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FILE: 475-GU  
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PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH  
PREPARED FOR

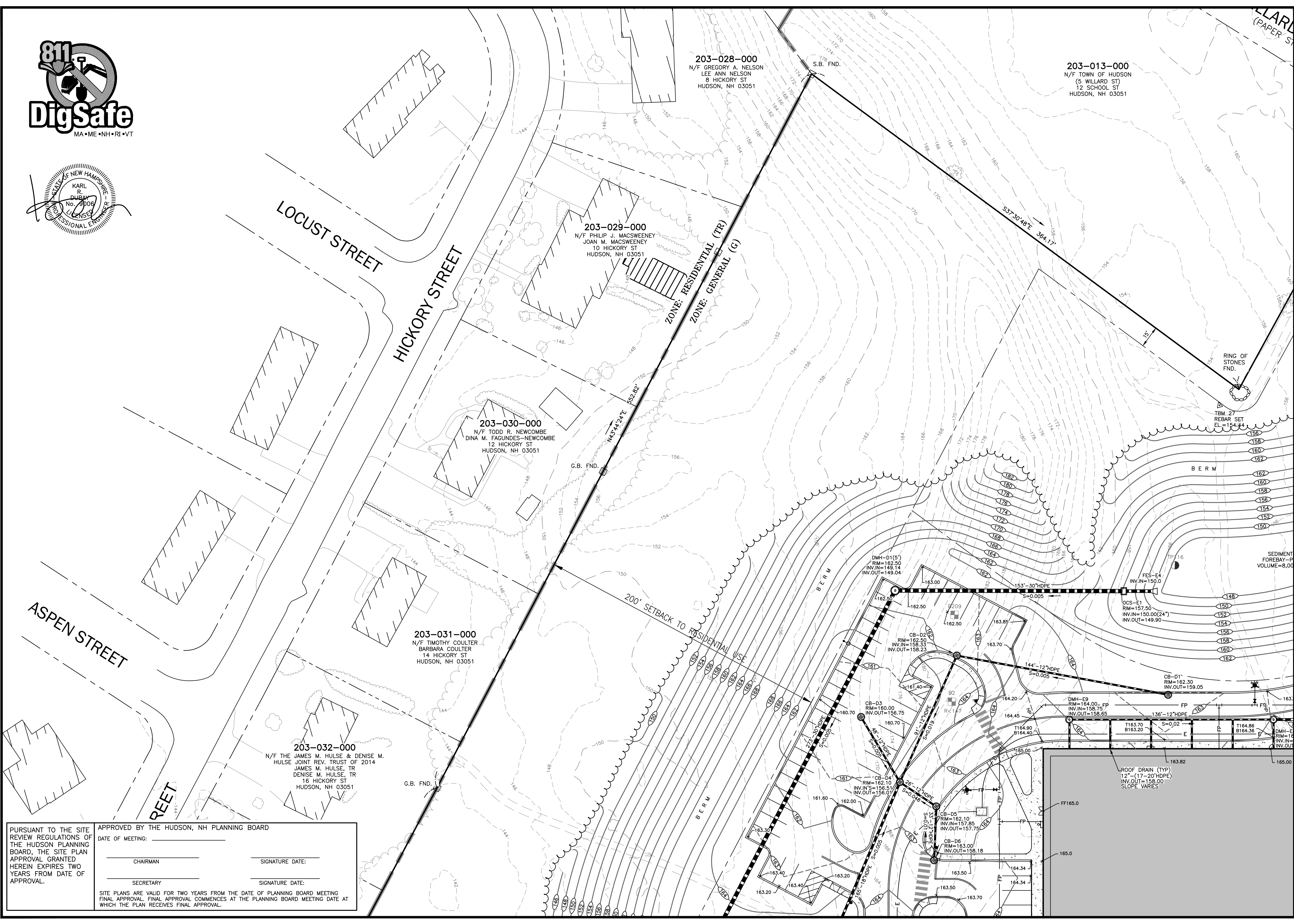
**GFI PARTNERS**  
**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
133 PEARL STREET #300  
BOSTON, MA 02110  
OWNER

**5 WAY REALTY TRUST**  
PETER HORNE, TRUSTEE  
PO BOX 1435  
N. HAMPTON, NH 03862

SHEET TITLE:  
**GRADING & DRAINAGE**  
**PLAN - E**

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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

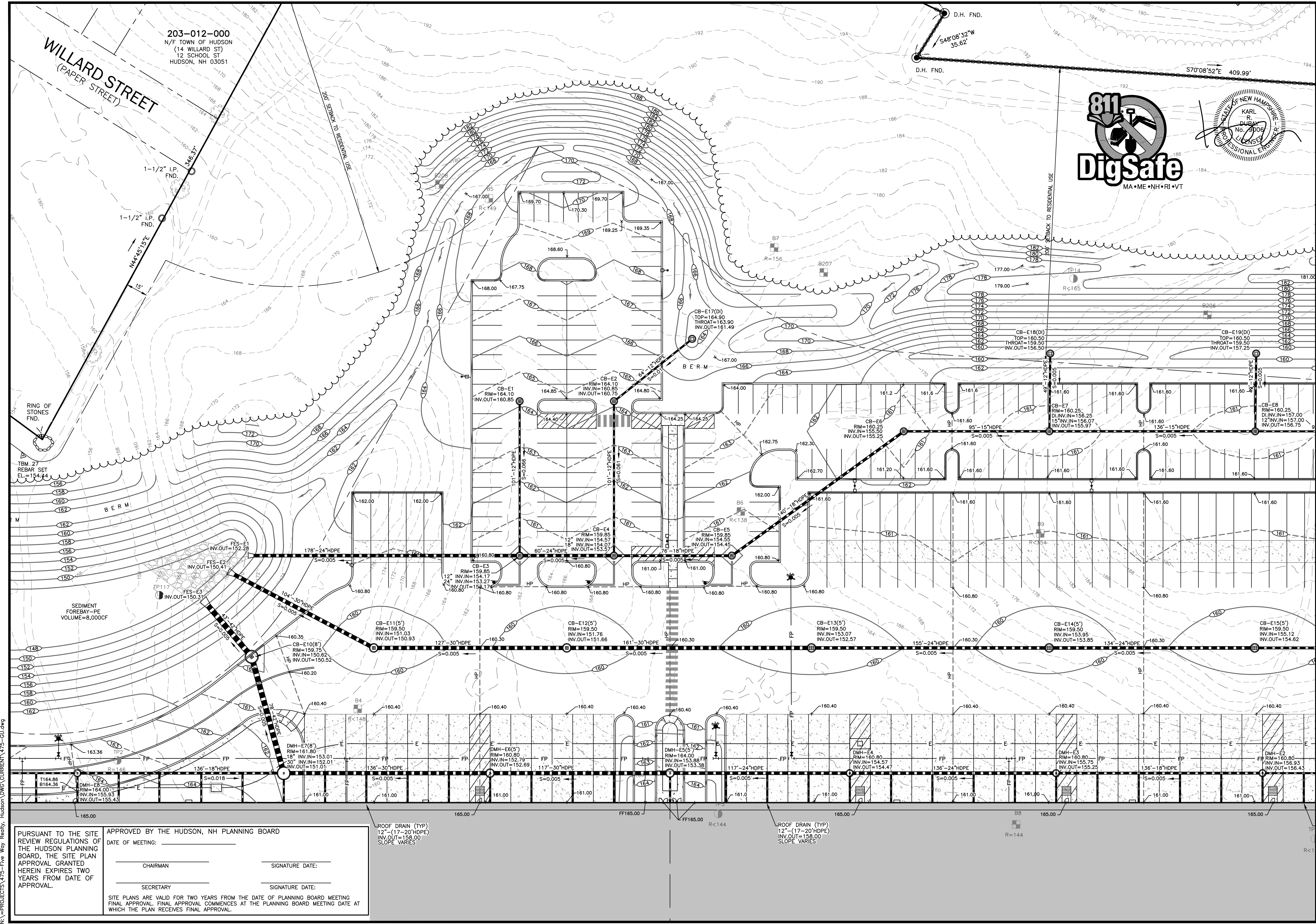
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DATE OF MEETING: \_\_\_\_\_

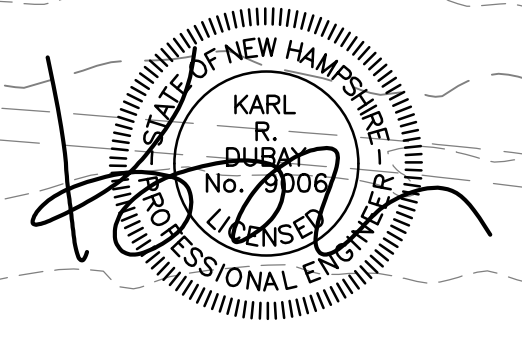
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SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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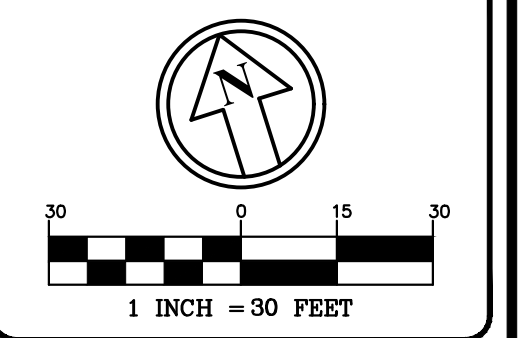


203-012-000  
N/F TOWN OF HUDSON  
(14 WILLARD ST)  
12 SCHOOL ST  
HUDSON, NH 03051



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Londonderry, NH 03053  
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**SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH  
PREPARED FOR

**GFI PARTNERS**

**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
133 PEARL STREET #300  
BOSTON, MA 02110  
OWNER

**5 WAY REALTY TRUST**  
PETER HORNE, TRUSTEE  
PO BOX 1435  
N. HAMPTON, NH 03862

SHEET TITLE:  
**GRADING & DRAINAGE PLAN - F**

PROJECT #475 SHEET 46 of 80

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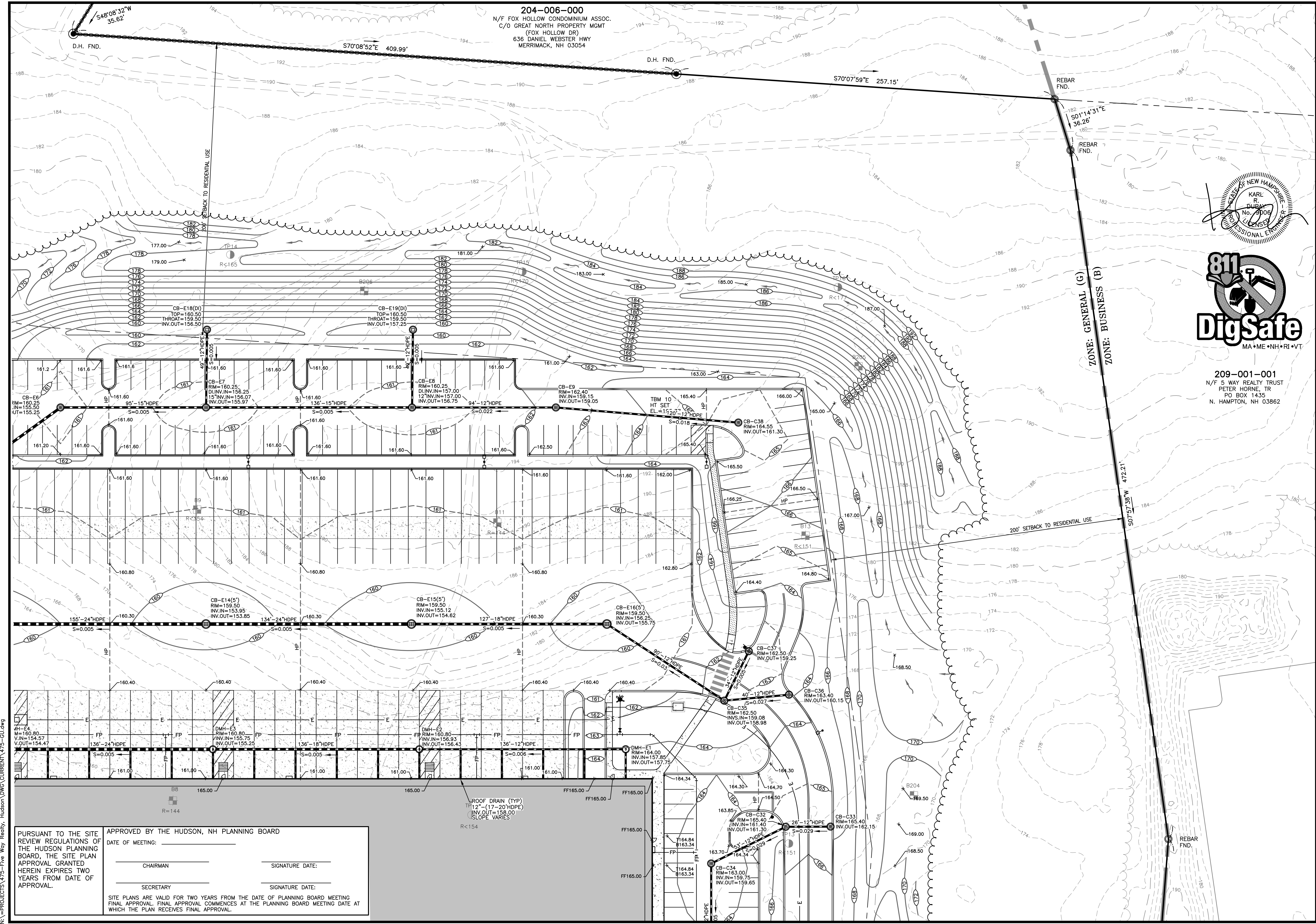
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SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

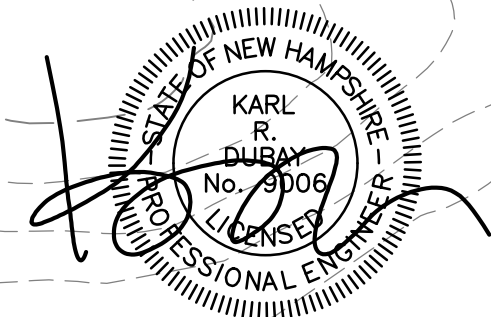
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ROOF DRAIN (TYP)  
12"-(17'-20')HDPE  
INV.OUT=158.00  
SLOPE VARIES

ROOF DRAIN (TYP)  
12"-(17'-20')HDPE  
INV.OUT=158.00  
SLOPE VARIES



204-006-000  
 N/F FOX HOLLOW CONDOMINIUM ASSOC.  
 C/O GREAT NORTH PROPERTY MGMT  
 (FOX HOLLOW DR)  
 636 DANIEL WEBSTER HWY  
 MERRIMACK, NH 03054

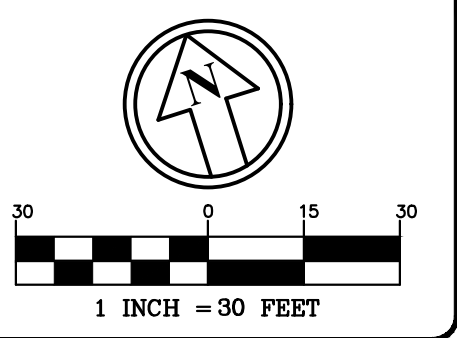


209-001-001  
 N/F 5 WAY REALTY TRUST  
 PETER HORNE, TR  
 PO BOX 1435  
 N. HAMPTON, NH 03862



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 FILE: 475-GU  
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PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:  
**GRADING & DRAINAGE**  
**PLAN - G**

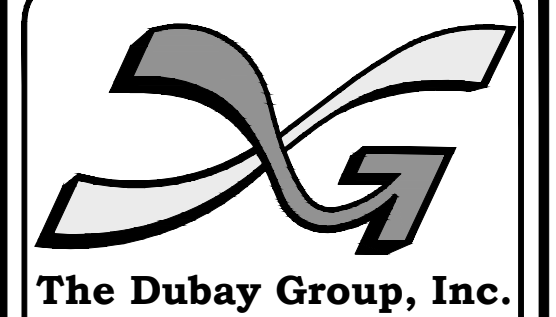
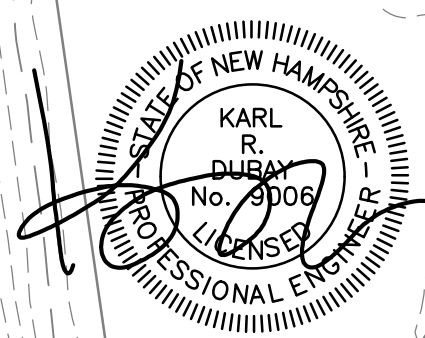
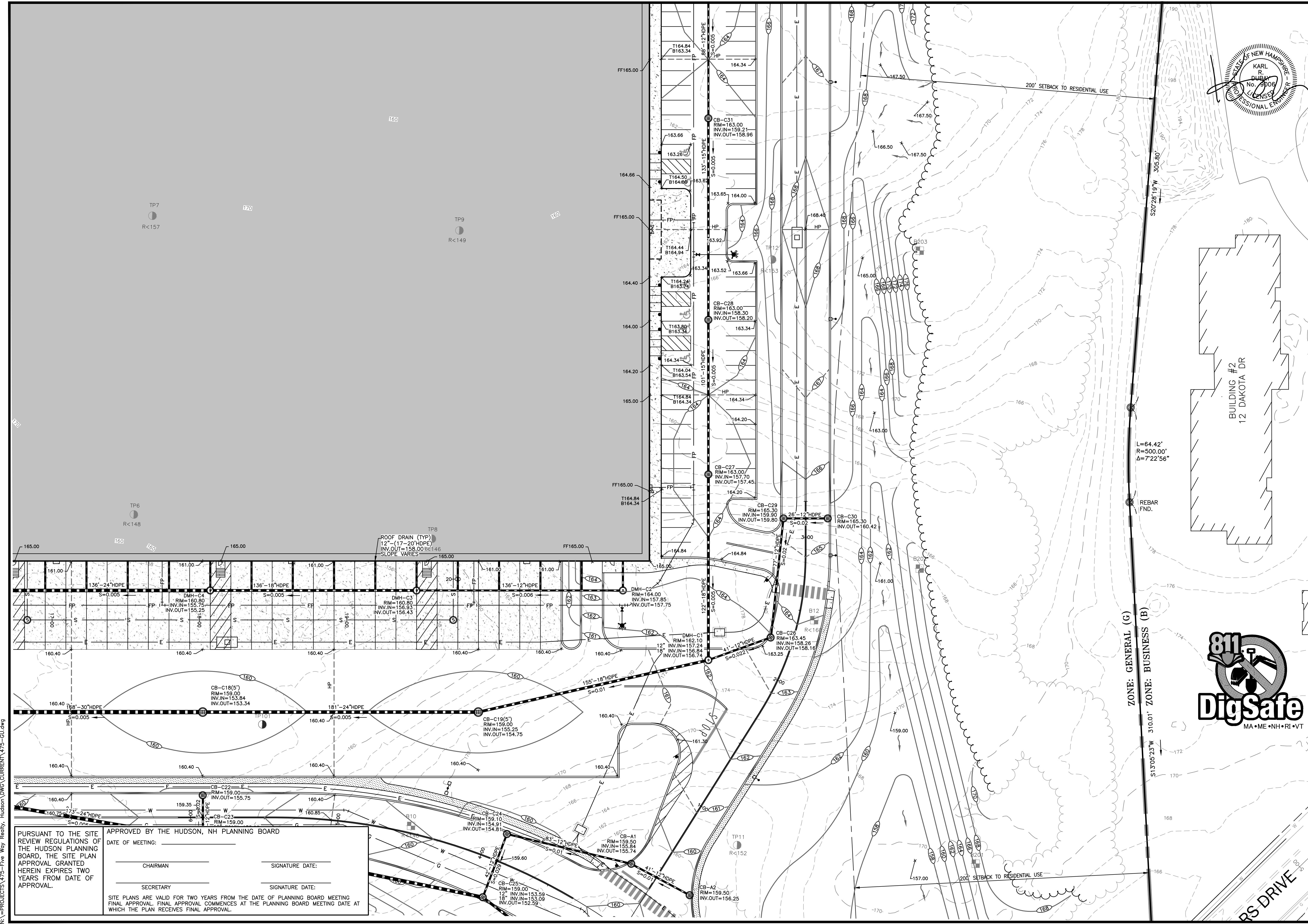
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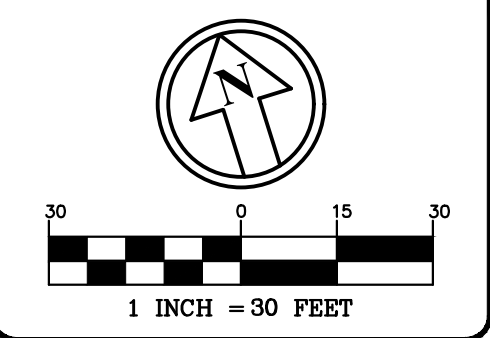
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 CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
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DRAWN BY: WA  
 CHECKED BY: KR  
 DATE: AUG. 3, 2021  
 SCALE: 1" = 30'  
 FILE: 475-GU  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:  
**GRADING & DRAINAGE PLAN - H**

PROJECT #475 SHEET 48 of 80

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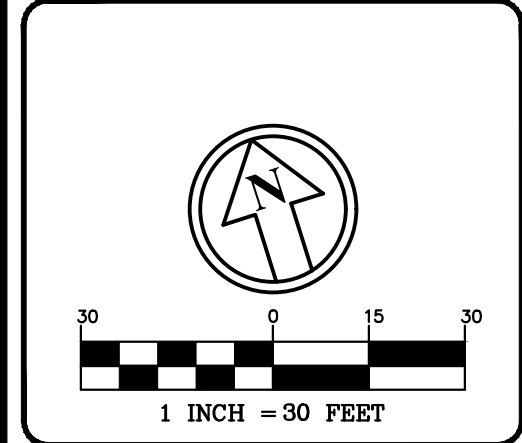
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3	10/5/21	MISC. REVS	WA

DRAWN BY: WA  
 CHECKED BY: KR  
 DATE: AUG. 3, 2021  
 SCALE: 1" = 100'  
 FILE: 475-UTILITY  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR

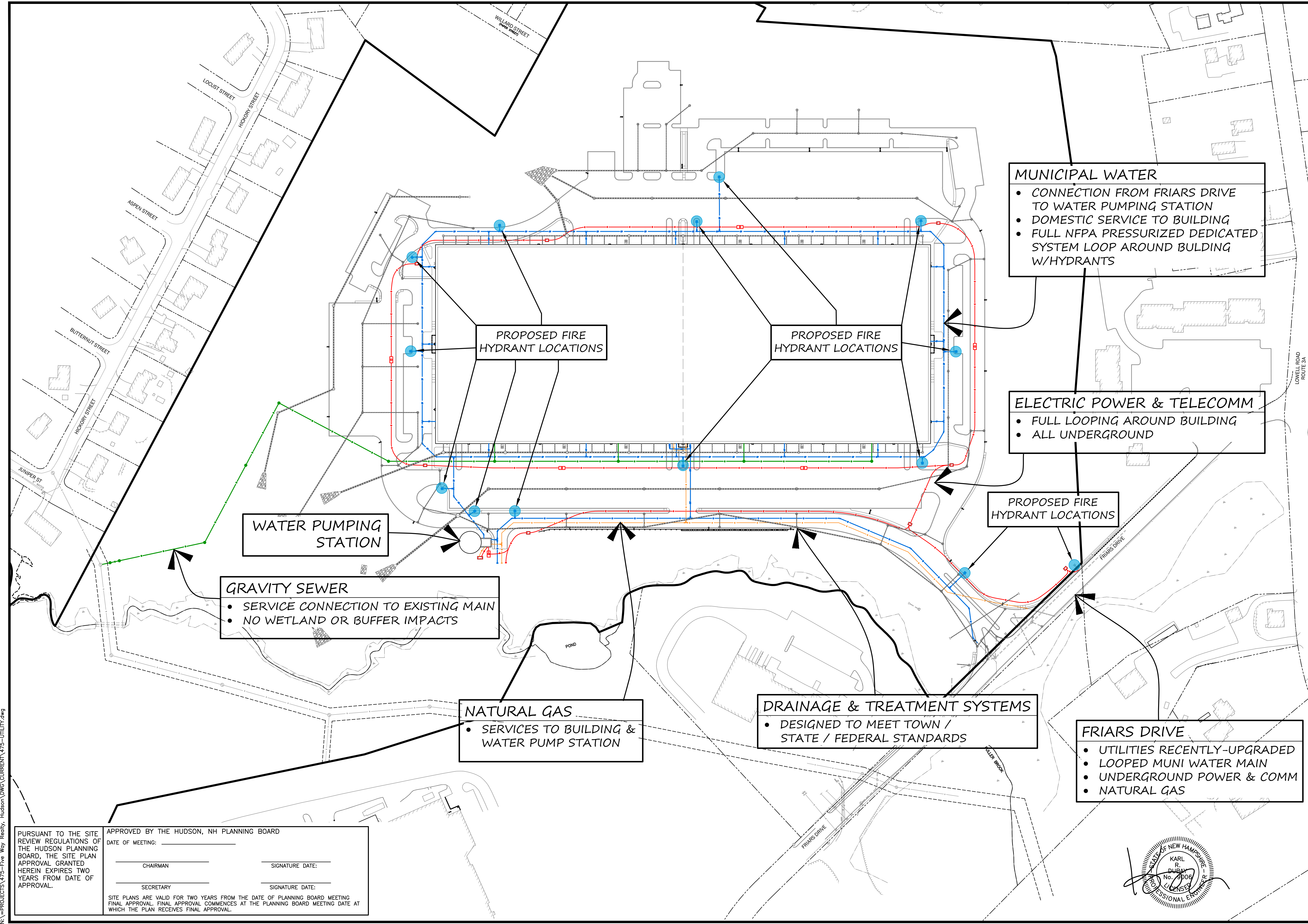
**GFI PARTNERS**

LOWELL ROAD  
 PROPERTY OWNER, LLC  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

5 WAY REALTY TRUST  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:  
**UTILITY OVERVIEW PLAN**

PROJECT #475 SHEET 49 of 80



**MUNICIPAL WATER**

- CONNECTION FROM FRIARS DRIVE TO WATER PUMPING STATION
- DOMESTIC SERVICE TO BUILDING
- FULL NFPA PRESSURIZED DEDICATED SYSTEM LOOP AROUND BUILDING W/HYDRANTS

**ELECTRIC POWER & TELECOMM**

- FULL LOOPING AROUND BUILDING
- ALL UNDERGROUND

**WATER PUMPING STATION**

**GRAVITY SEWER**

- SERVICE CONNECTION TO EXISTING MAIN
- NO WETLAND OR BUFFER IMPACTS

**NATURAL GAS**

- SERVICES TO BUILDING & WATER PUMP STATION

**DRAINAGE & TREATMENT SYSTEMS**

- DESIGNED TO MEET TOWN / STATE / FEDERAL STANDARDS

**FRIARS DRIVE**

- UTILITIES RECENTLY-UPGRADED
- LOOPED MUNI WATER MAIN
- UNDERGROUND POWER & COMM
- NATURAL GAS

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

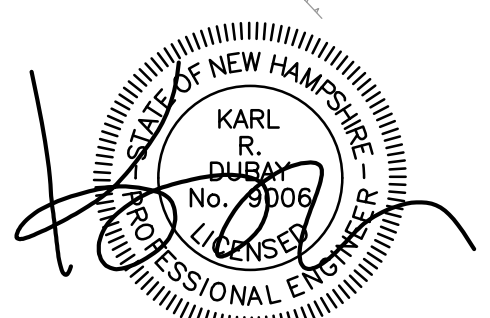
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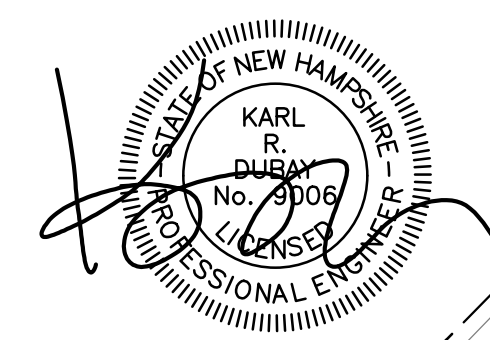
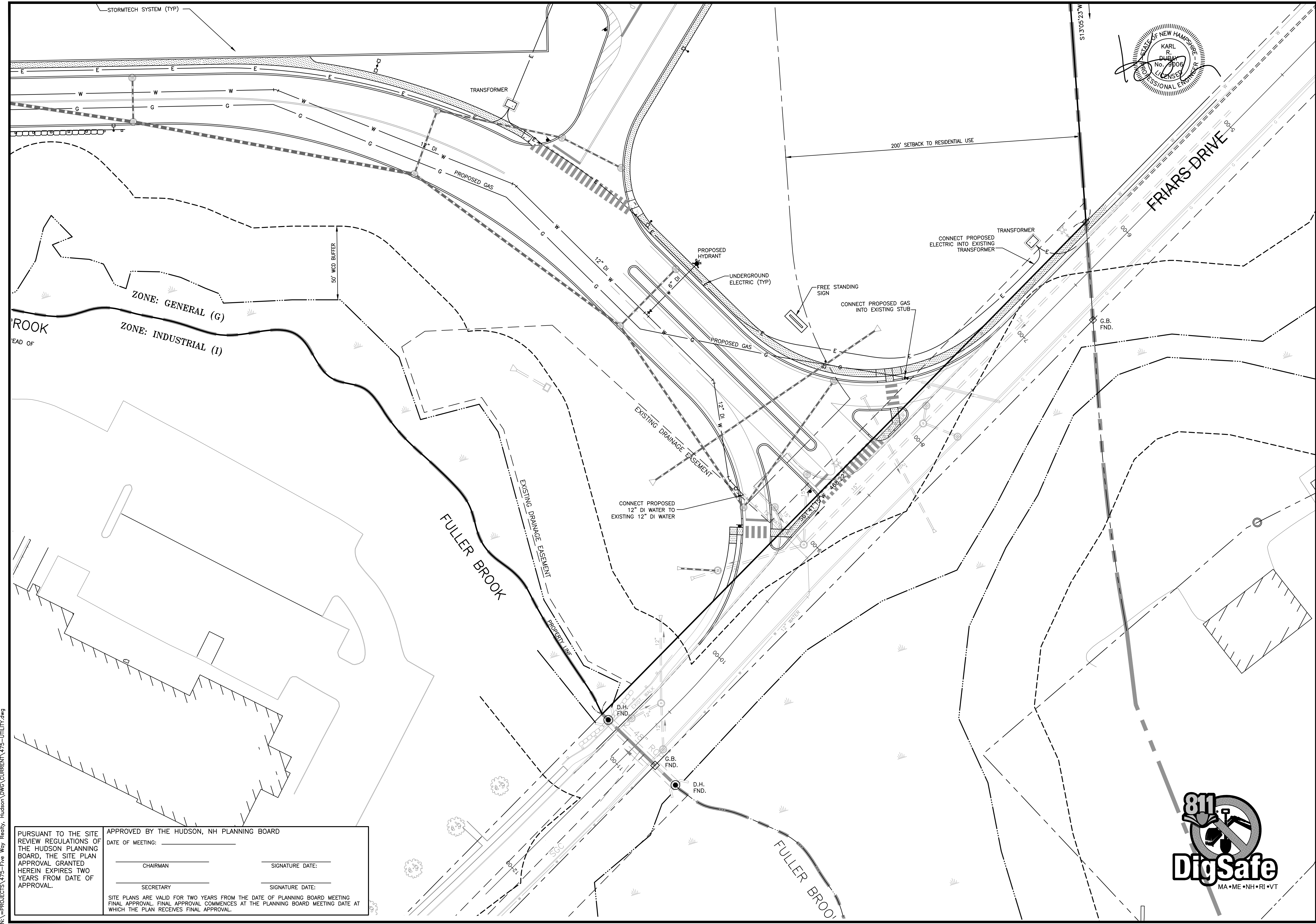
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SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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 Surveyors

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1 INCH = 30 FEET

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**REVISIONS:**

REV.	DATE:	COMMENT:	BY:

DRAWN BY: WA  
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 DATE: AUG. 3, 2021  
 SCALE: 1" = 30'  
 FILE: 475-UTILITY  
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**PROJECT:**  
**SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH

**GFI PARTNERS**

**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
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 OWNER

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 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:  
**UTILITY PLAN - A**

PROJECT #475 SHEET 50 of 80

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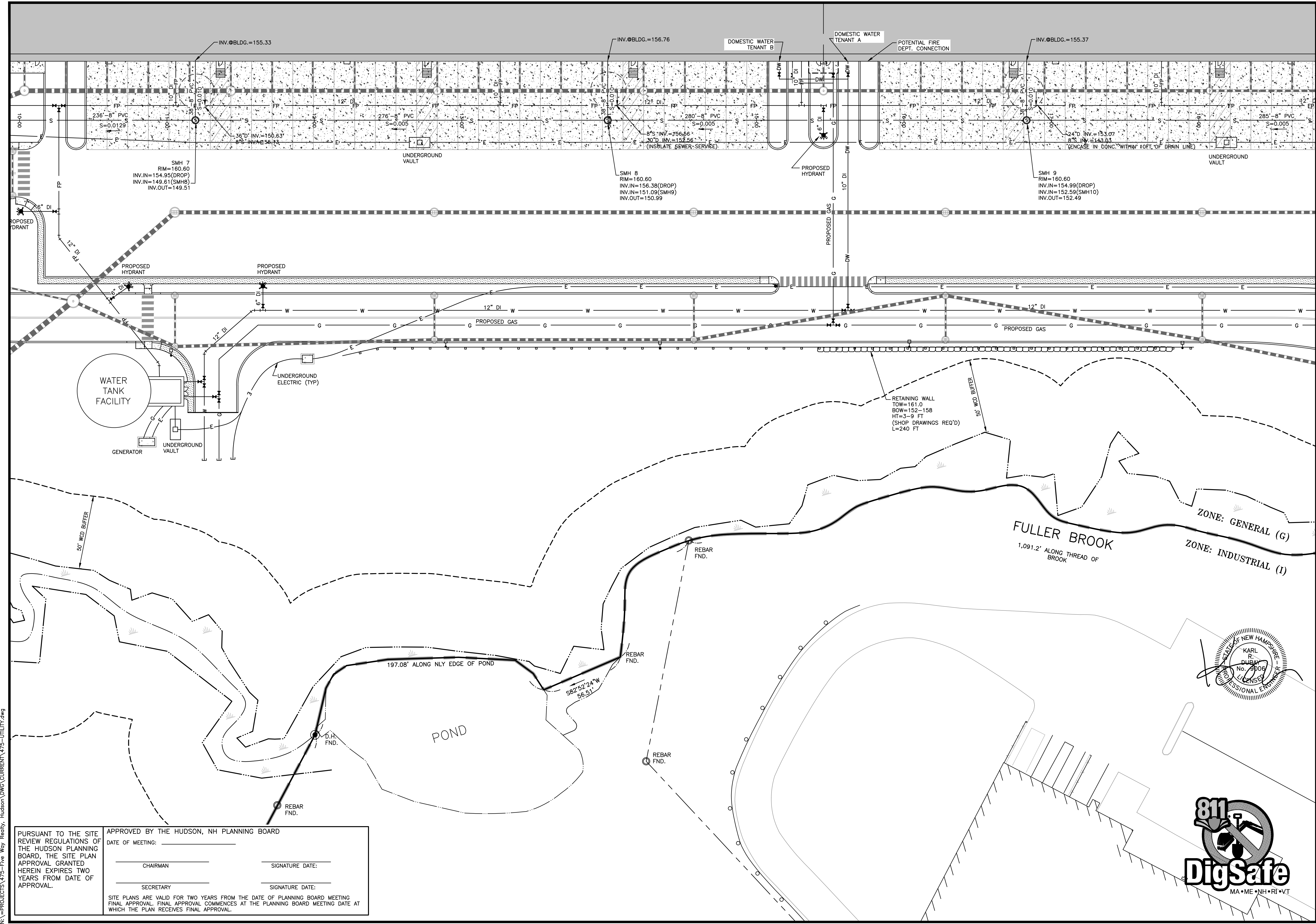
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CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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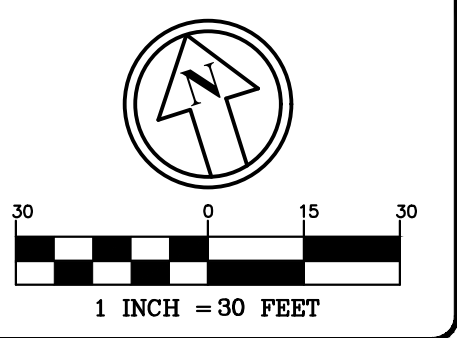
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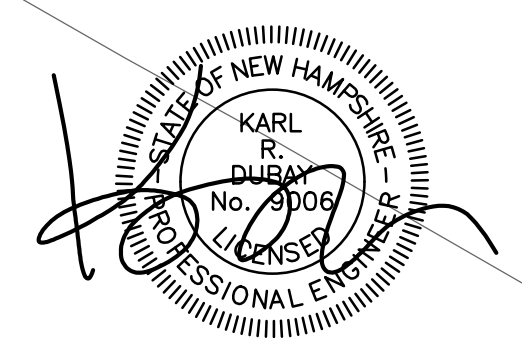


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 CHECKED BY: KR  
 DATE: AUG. 3, 2021  
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 FILE: 475-UTILITY  
 DEED REF:



PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR:



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862



SHEET TITLE:  
**UTILITY PLAN - B**

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APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

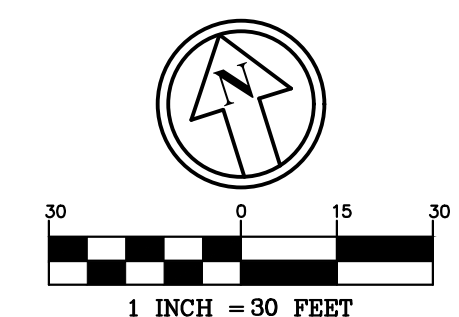
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 DATE: AUG. 3, 2021  
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 FILE: 475-UTILITY  
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PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR

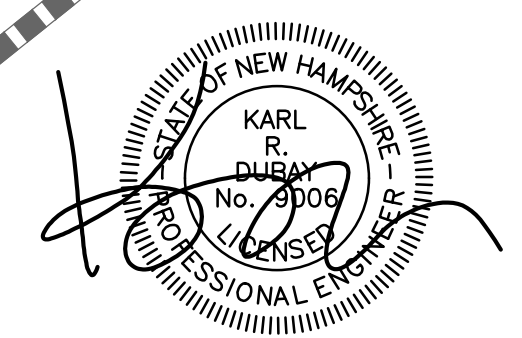
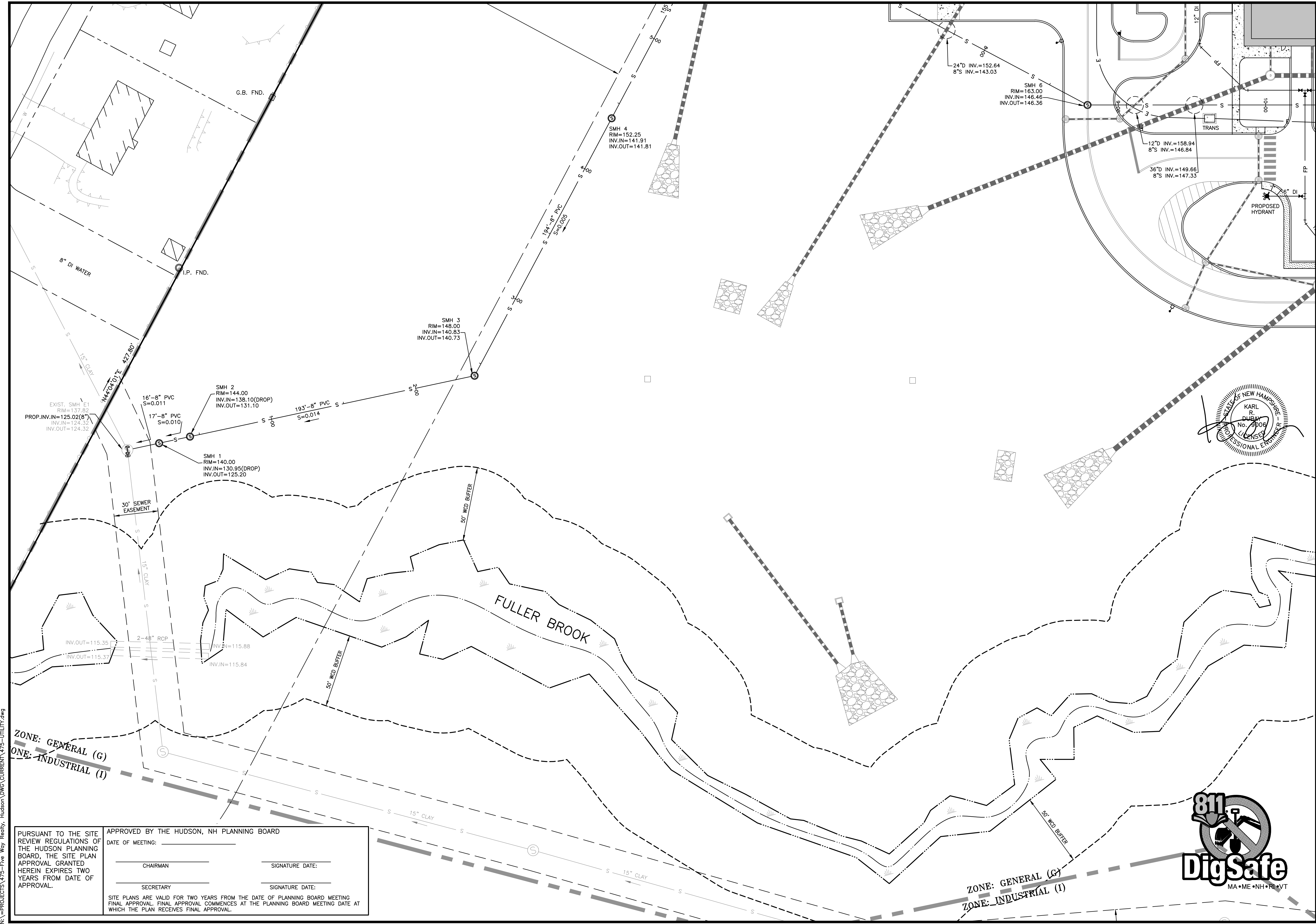


**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER  
**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:

**UTILITY PLAN - C**

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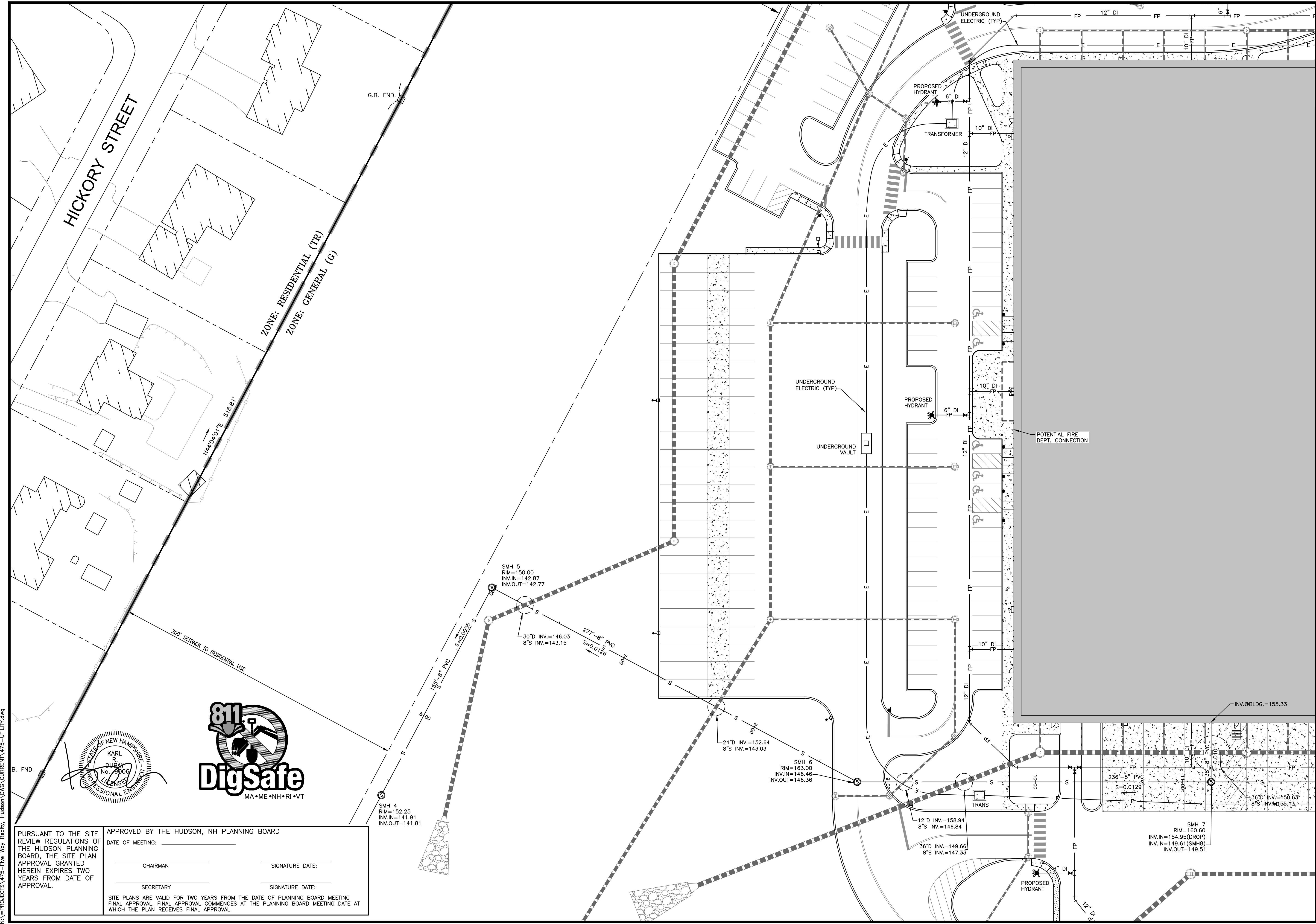


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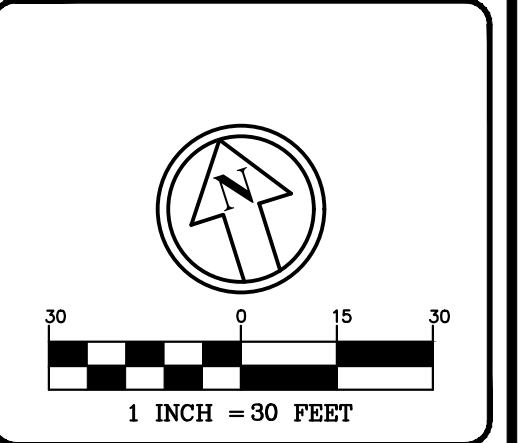
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 DATE OF MEETING: \_\_\_\_\_  
 CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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**SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR

**GFI PARTNERS**

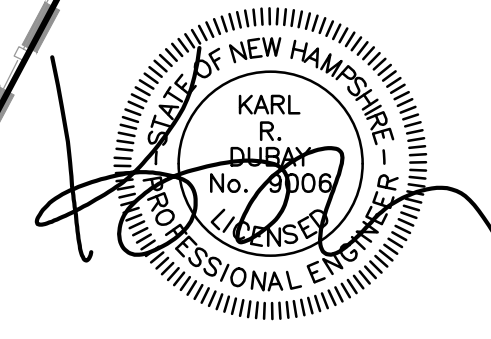
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**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

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SHEET TITLE:  
**UTILITY PLAN - D**

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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

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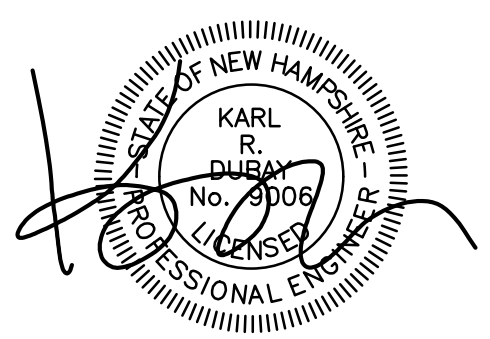
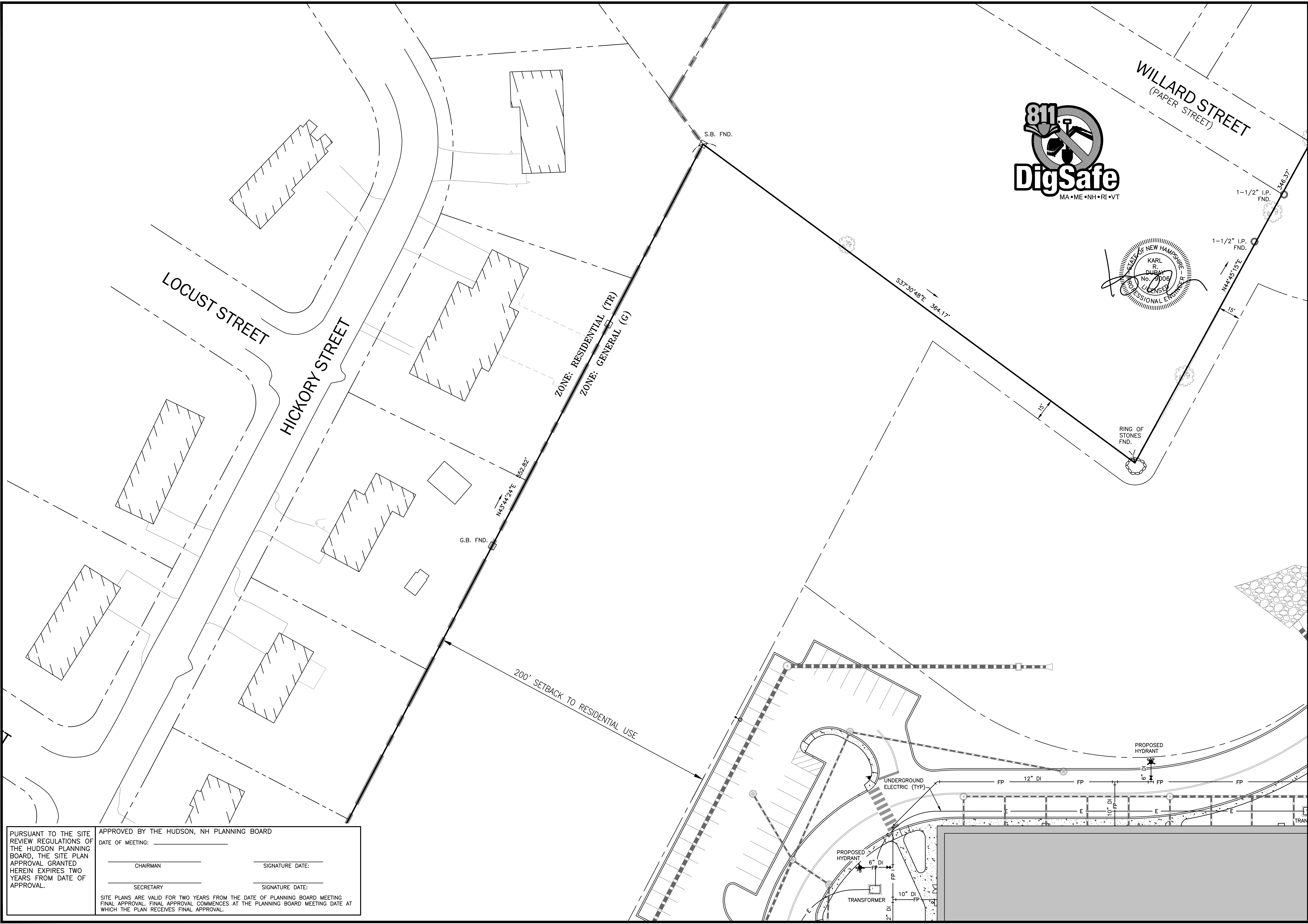
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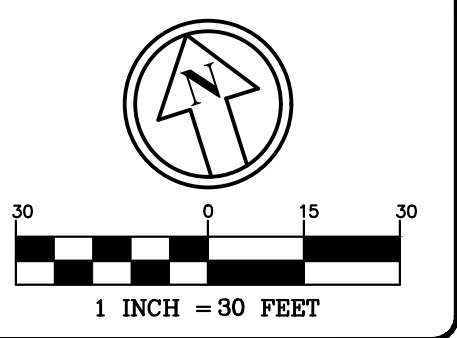
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SCALE: 1" = 30'  
FILE: 475-UTILITY  
DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH  
PREPARED FOR



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
133 PEARL STREET #300  
BOSTON, MA 02110  
OWNER  
**5 WAY REALTY TRUST**  
PETER HORNE, TRUSTEE  
PO BOX 1435  
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SHEET TITLE:

**UTILITY**  
**PLAN - E**

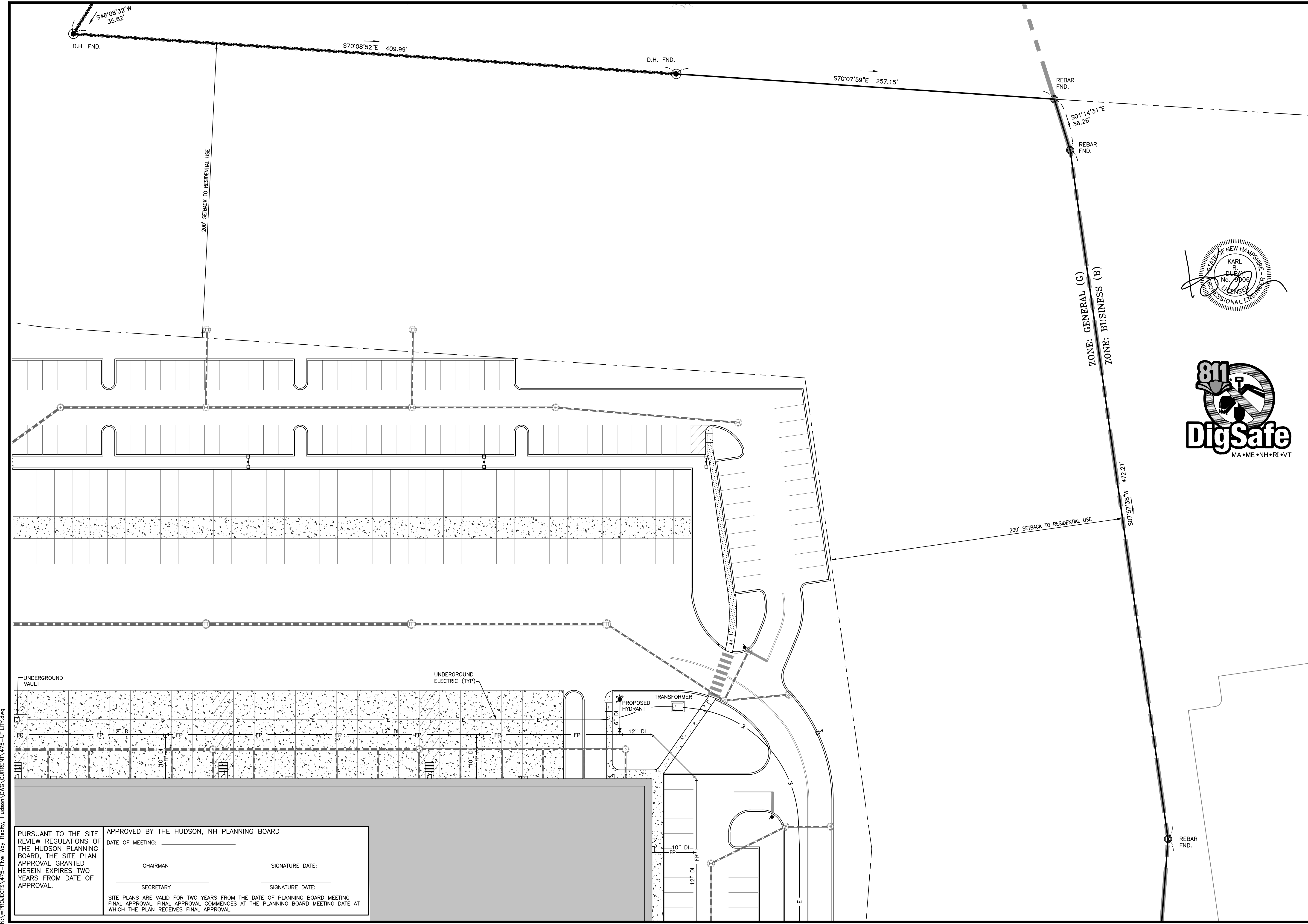
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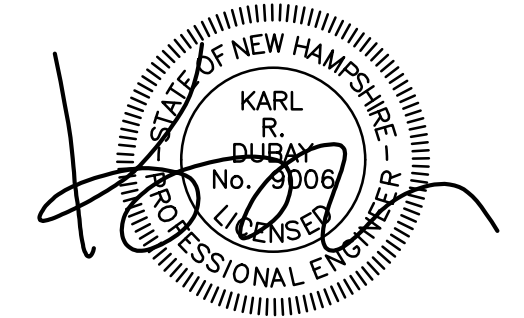
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**PROJECT:**  
**SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH

PREPARED FOR

**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

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SHEET TITLE:

**UTILITY PLAN - G**

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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

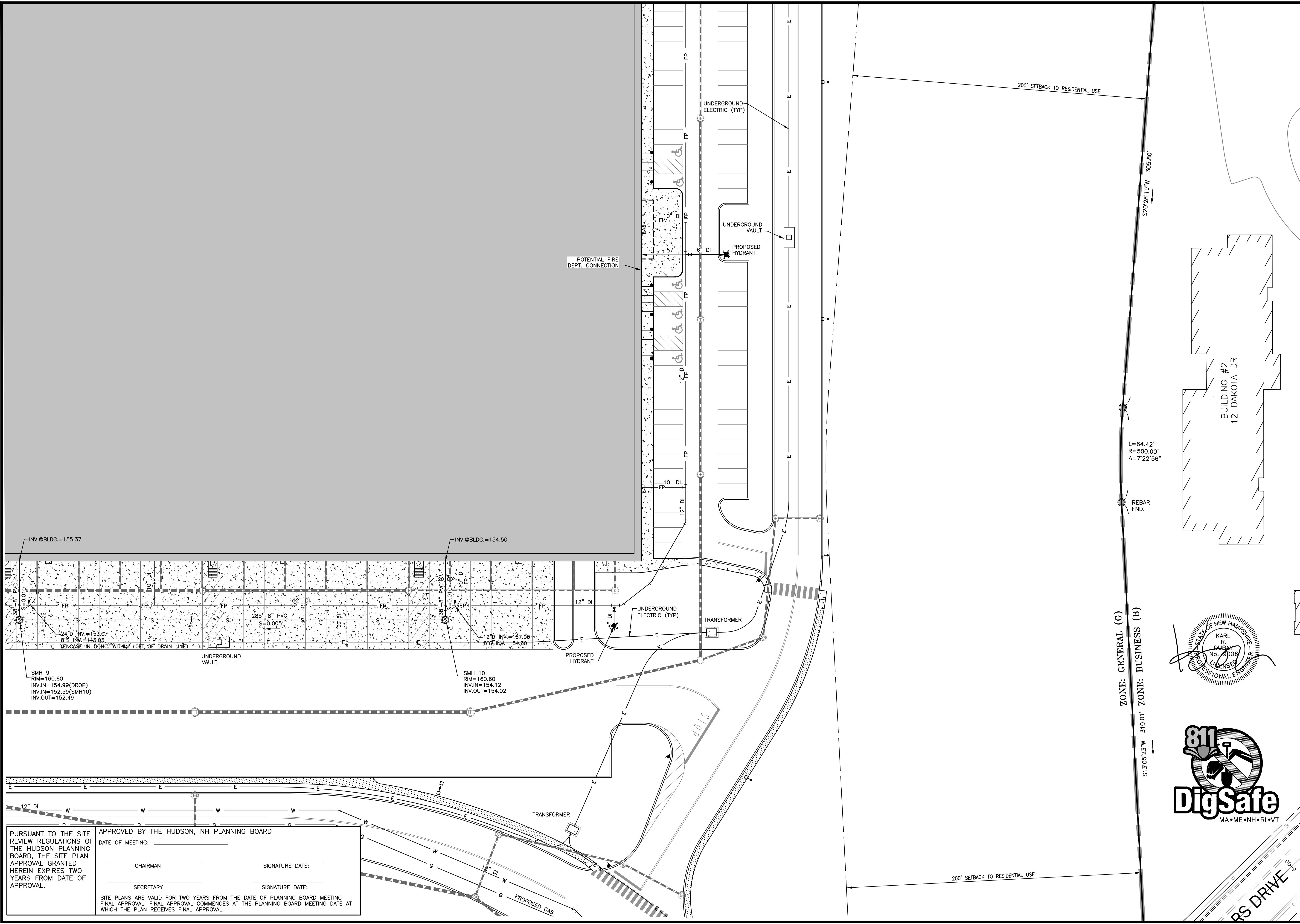
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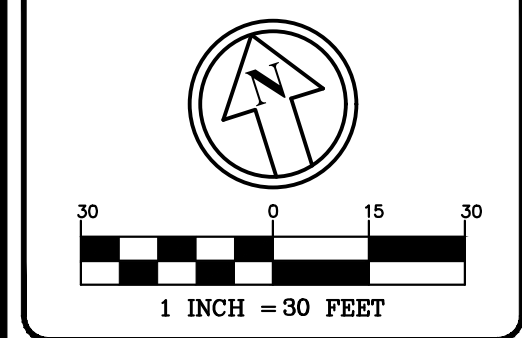


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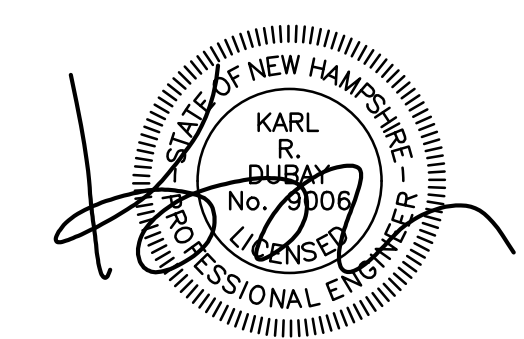
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 FILE: 475-UTILITY  
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PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR



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**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER  
**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
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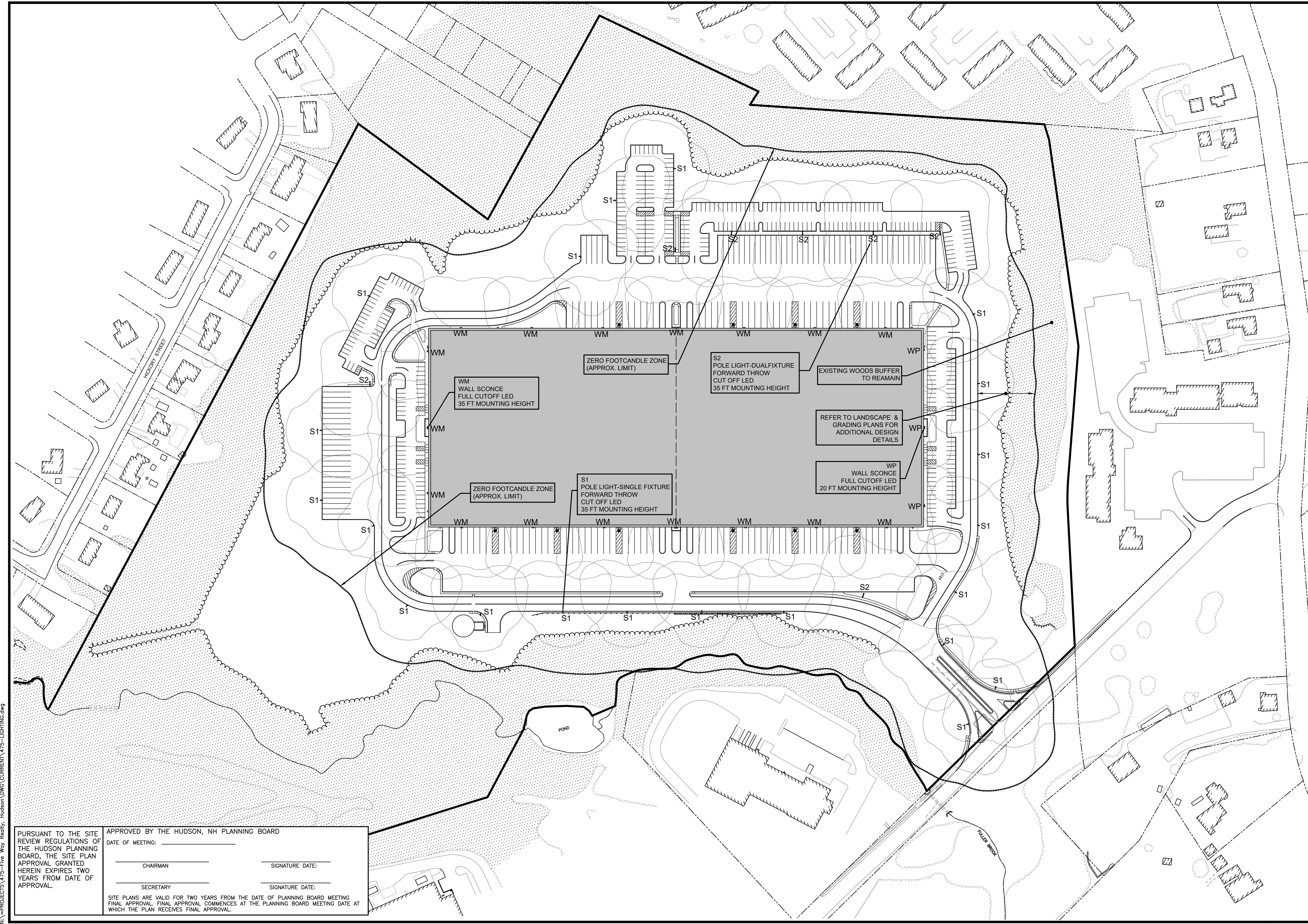
SHEET TITLE:  
**UTILITY PLAN - H**  
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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

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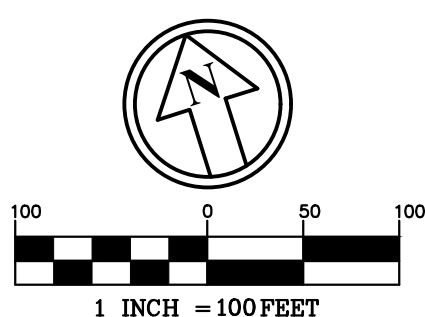
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 LIGHTING CONSULTANT  
 EMAIL: pinfurna@gmail.com

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2	1

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PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH

PREPARED FOR \_\_\_\_\_

**GFI PARTNERS**

**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110

OWNER

**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
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SHEET TITLE:

**LIGHTING OVERVIEW PLAN**

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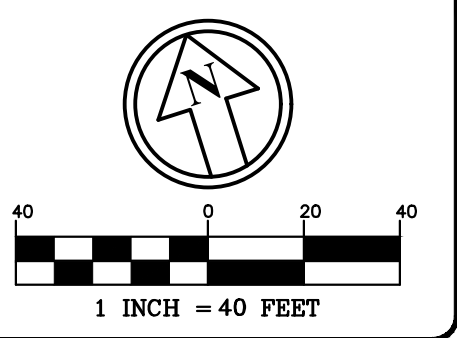
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2	1

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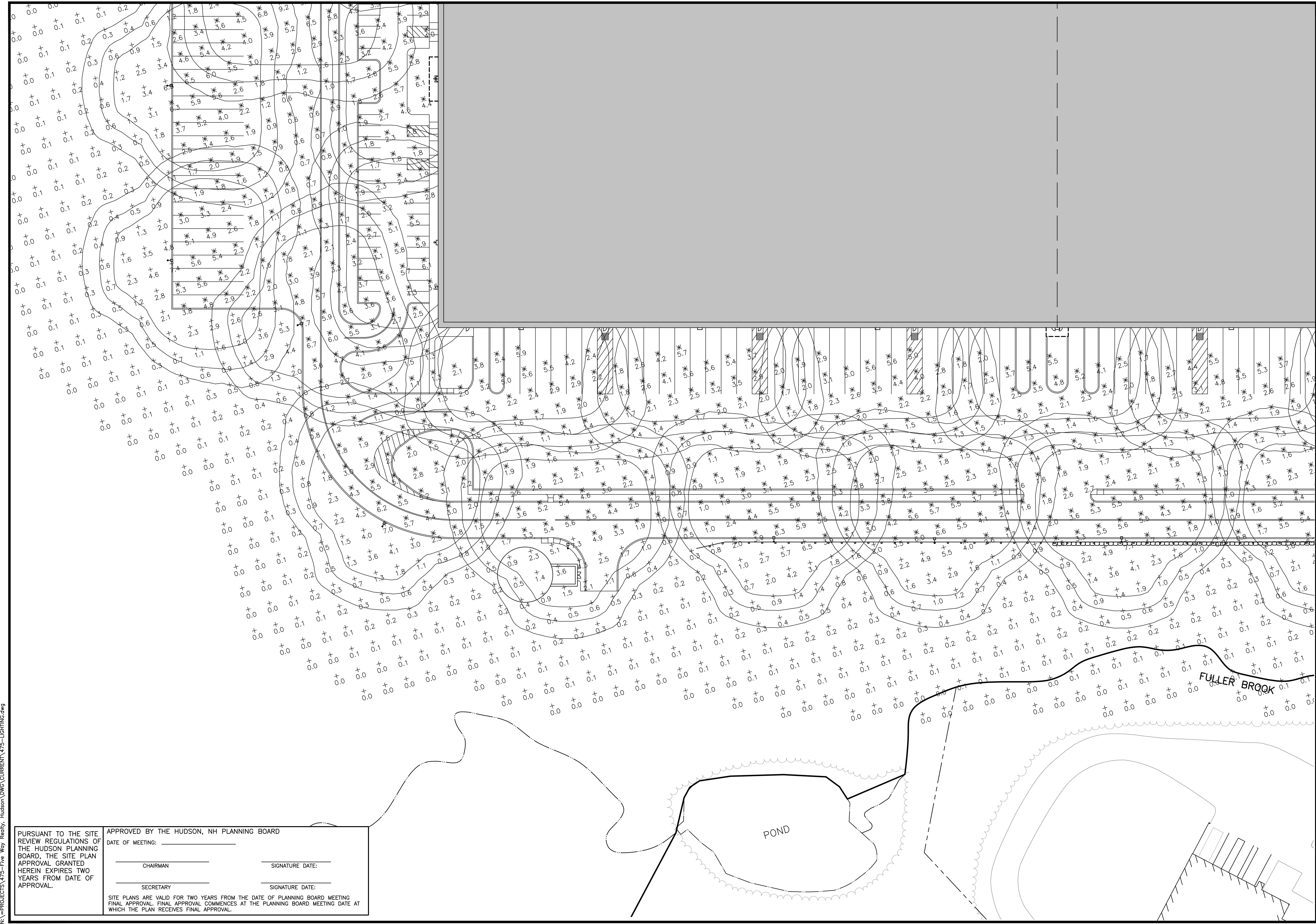
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**LOT 001-000**  
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**GFI PARTNERS**

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**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

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SHEET TITLE:  
**LIGHTING PLAN - A**

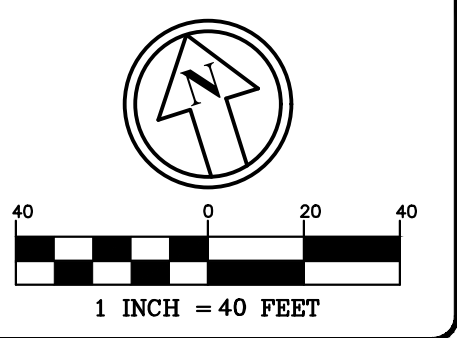


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**PROJECT:**  
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**5 WAY REALTY TRUST**  
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SHEET TITLE:  
**LIGHTING PLAN - B**

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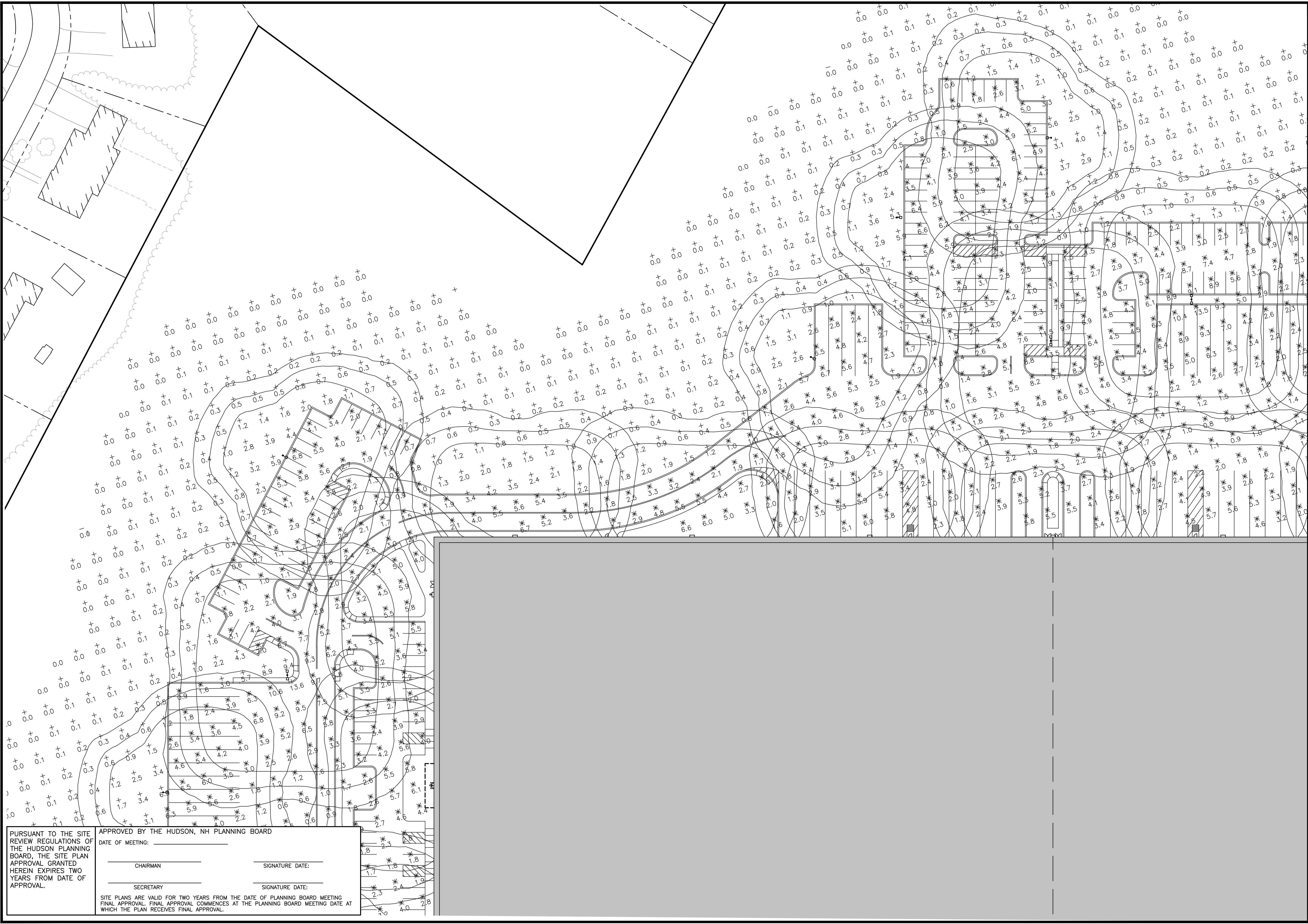
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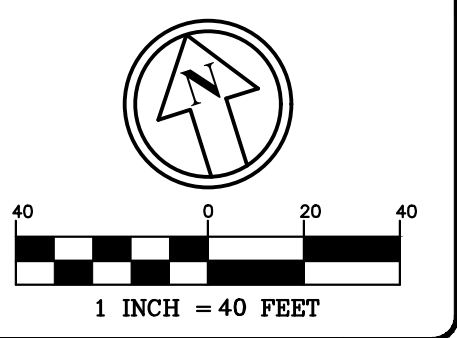
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SHEET TITLE:  
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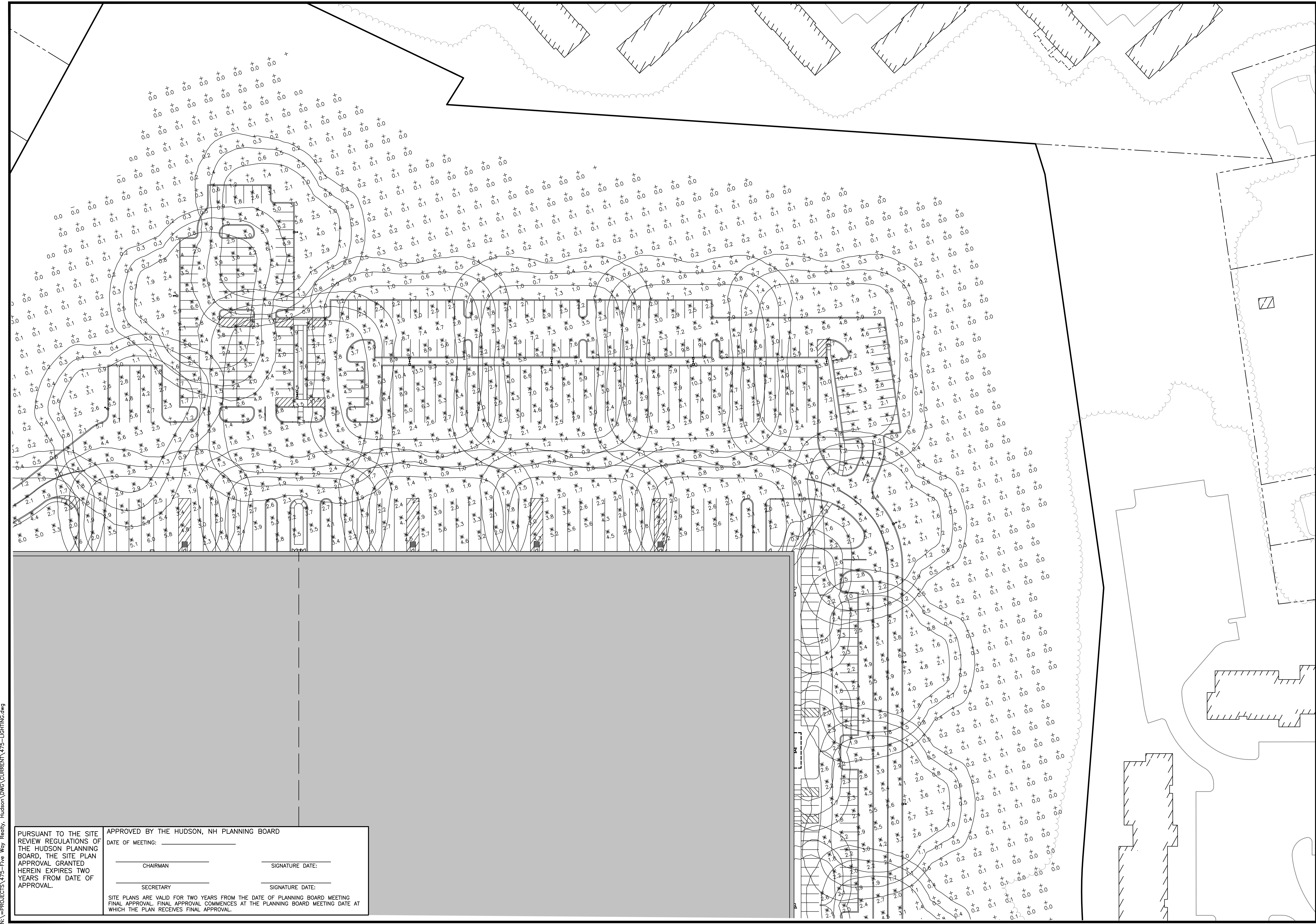
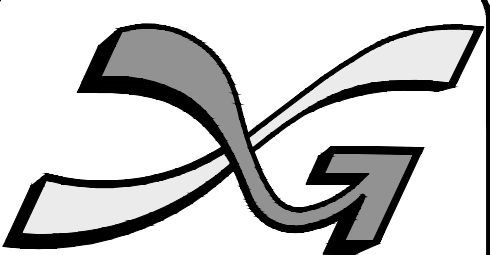
PROJECT #475 SHEET 61 of 80

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD  
 DATE OF MEETING: \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

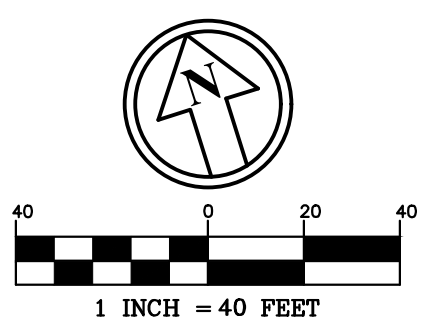
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

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1 INCH = 40 FEET

**PHILIP J. INFURNA**  
 LIGHTING CONSULTANT  
 EMAIL: pinfurna@gmail.com

3	4
2	1

**SHEET INDEX**

REVISIONS:			
REV.	DATE:	COMMENT:	BY:

DRAWN BY: WA  
 CHECKED BY: KRD  
 DATE: AUG. 3, 2021  
 SCALE: 1" = 40'  
 FILE: 475-LIGHTING  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH

PREPARED FOR

**GFI PARTNERS**

**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110

OWNER

**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:

**LIGHTING PLAN - D**

PROJECT #475 SHEET 62 of 80

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-LIGHTING.dwg

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

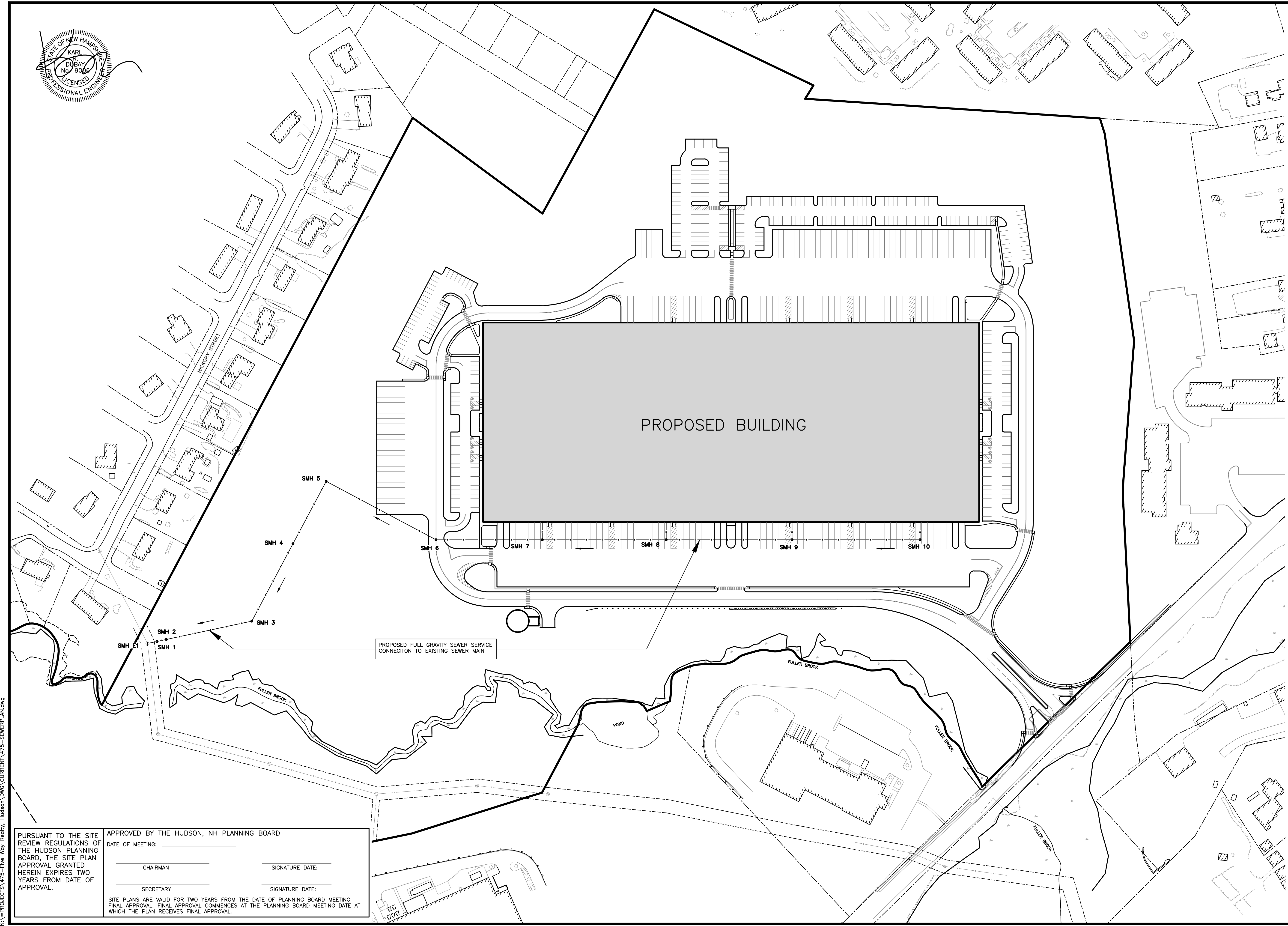
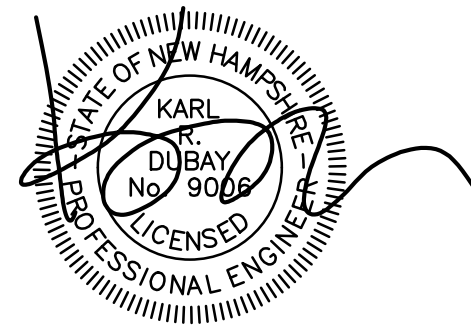
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SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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PROPOSED FULL GRAVITY SEWER SERVICE CONNECTION TO EXISTING SEWER MAIN

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

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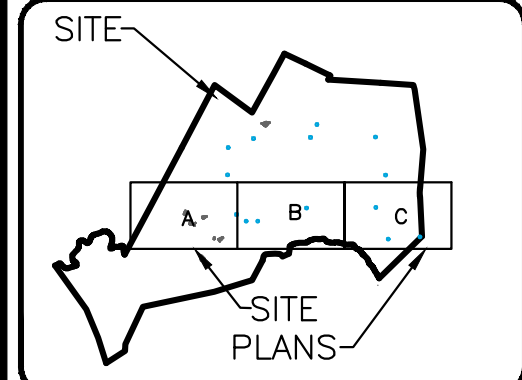
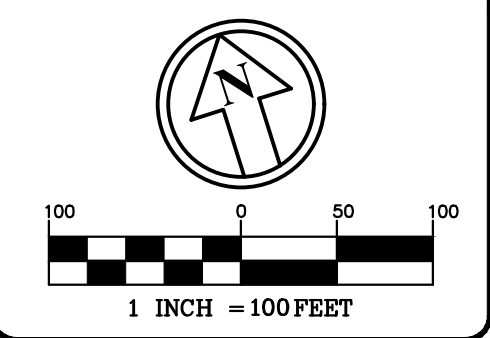
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1	9/20/21	MISC. REV.	JUG

DRAWN BY: WA  
 CHECKED BY: KRD  
 DATE: AUG. 3, 2021  
 SCALE: 1" = 100'  
 FILE: 475--SEWERPLAN  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR \_\_\_\_\_

**GFI PARTNERS**

LOWELL ROAD  
 PROPERTY OWNER, LLC  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

5 WAY REALTY TRUST  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

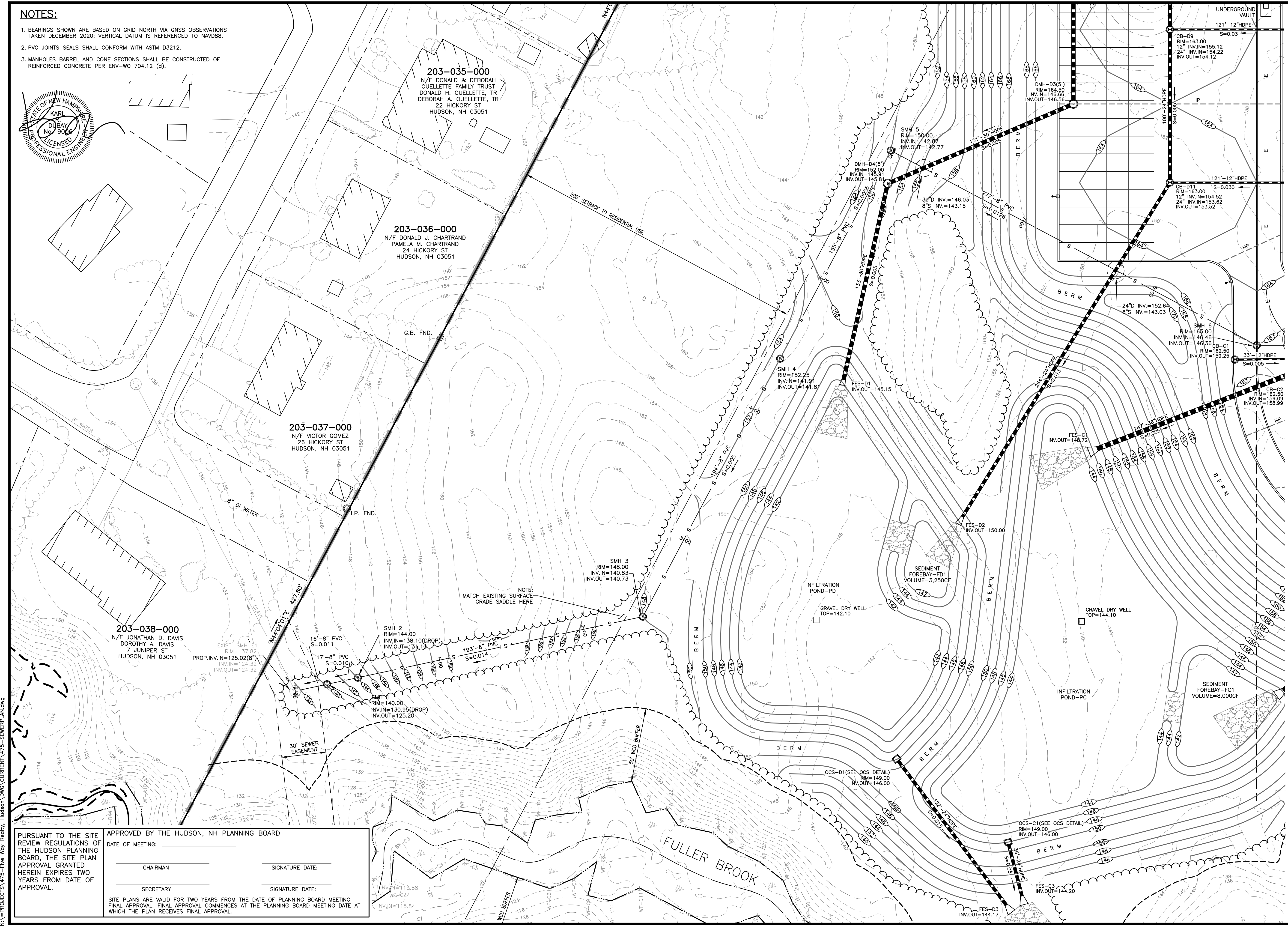
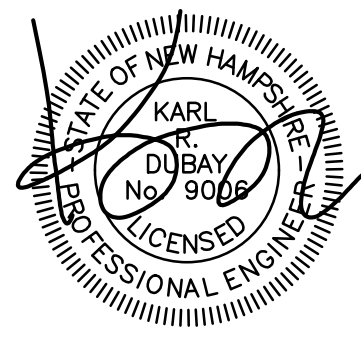
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**SEWER SERVICE OVERVIEW PLAN**

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**NOTES:**

1. BEARINGS SHOWN ARE BASED ON GRID NORTH VIA GNSS OBSERVATIONS TAKEN DECEMBER 2020; VERTICAL DATUM IS REFERENCED TO NAVD88.
2. PVC JOINTS SEALS SHALL CONFORM WITH ASTM D3212.
3. MANHOLES BARREL AND CONE SECTIONS SHALL BE CONSTRUCTED OF REINFORCED CONCRETE PER ENV-WQ 704.12 (d).

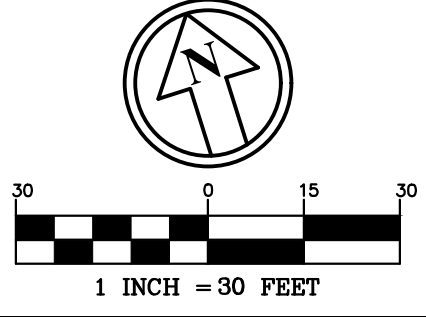


MATCH TO SEWER PLAN-B



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A	B	C
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REVISIONS:			
REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REV.	JUG
3	10/5/21	MISC. REVS	WA

DRAWN BY: WA  
 CHECKED BY: KRD  
 DATE: AUG. 3, 2021  
 SCALE: 1" = 30'  
 FILE: 475-SEWERPLAN  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
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**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER  
**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:  
**SEWER**  
**PLAN - A**

N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-SEWERPLAN.dwg

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1 INCH = 30 FEET

A B C  
SHEET INDEX

REVISIONS:

REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REV.	JUG
3	10/5/21	MISC. REVS	WA

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 SCALE: 1" = 30'  
 FILE: 475-SEWERPLAN  
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PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR



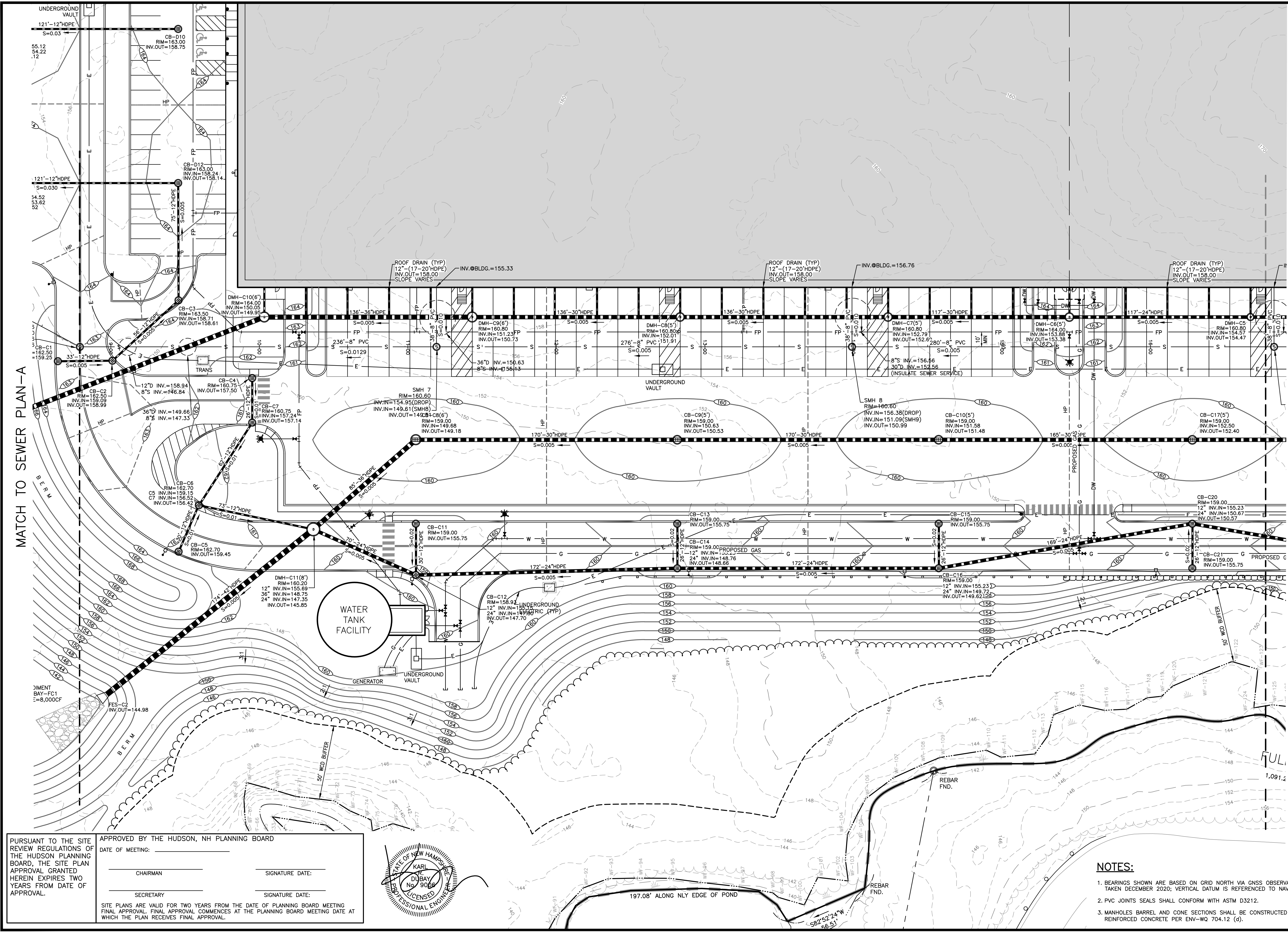
**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110

**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:

**SEWER PLAN - B**

PROJECT #475 SHEET 66 OF 80



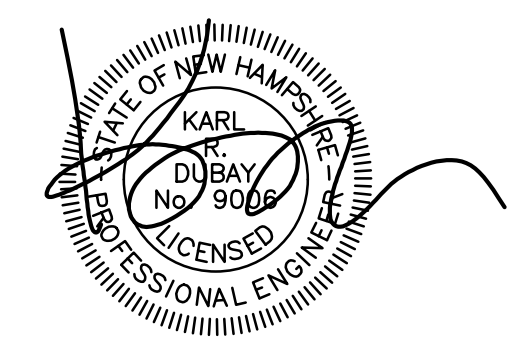
MATCH TO SEWER PLAN-A

MATCH TO SEWER PLAN-C

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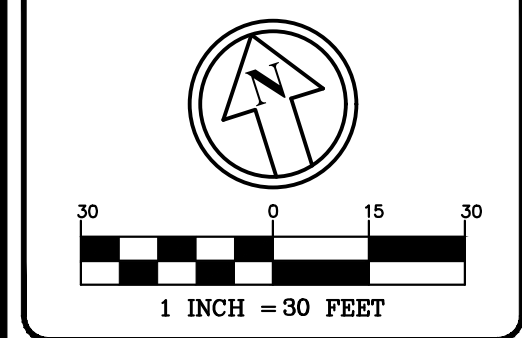
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A	B	C
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SHEET INDEX

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REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REV.	JUG

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 CHECKED BY: KRD  
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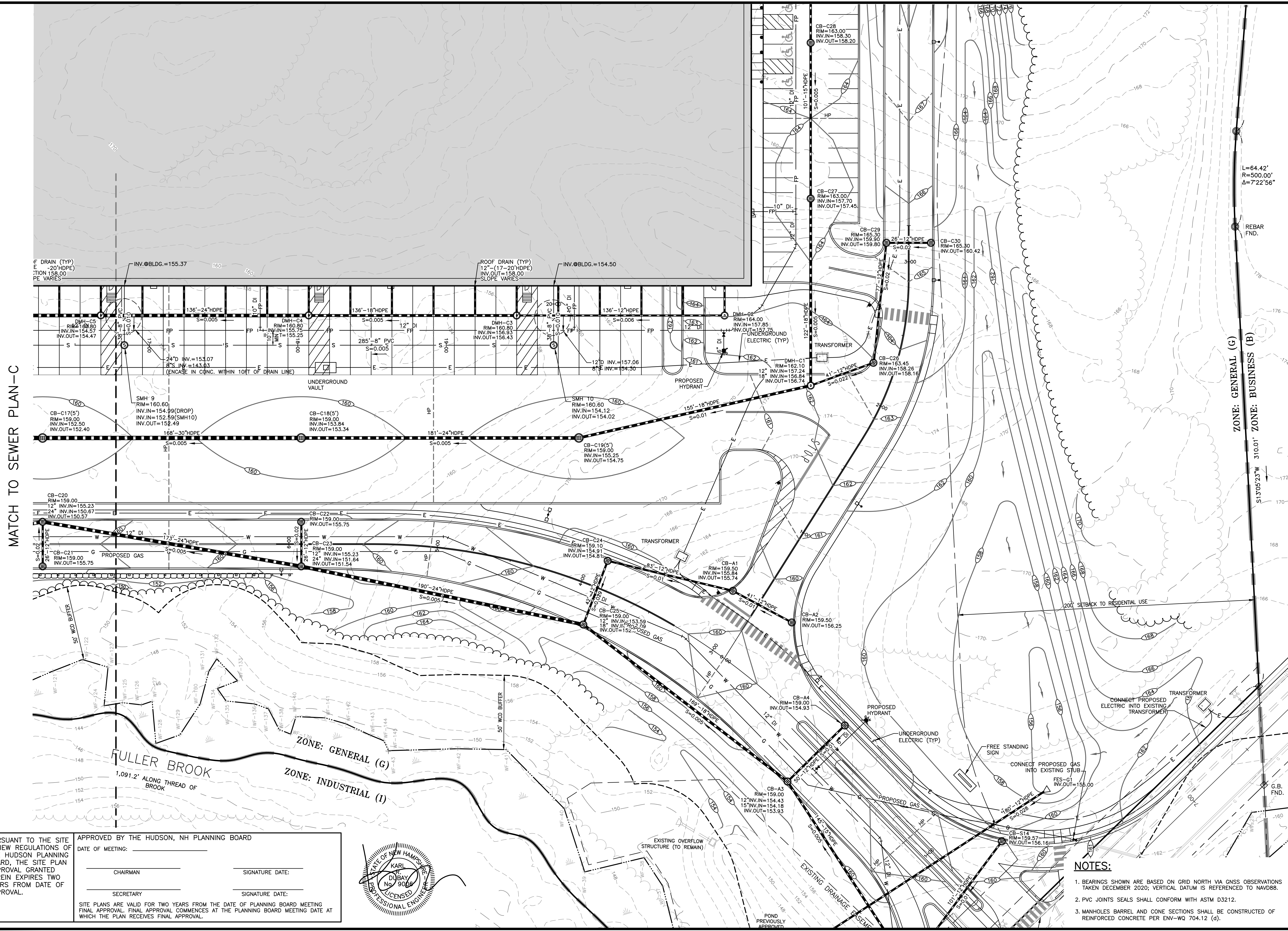
PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR

**GFI PARTNERS**  
 LOWELL ROAD  
 PROPERTY OWNER, LLC  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:  
**SEWER PLAN - C**

PROJECT #475 SHEET 67 of 80

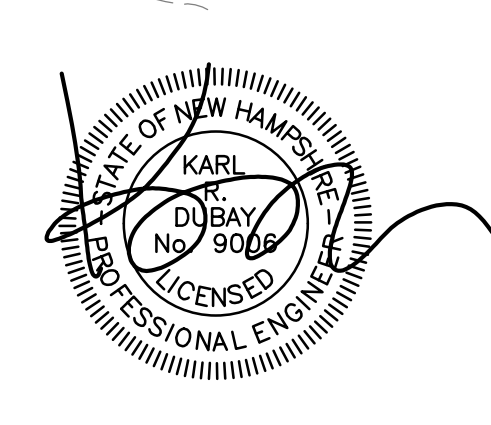


MATCH TO SEWER PLAN-C

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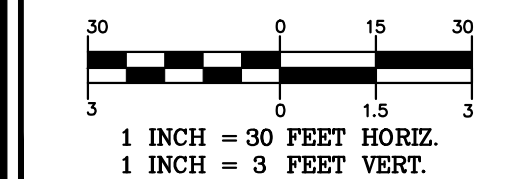
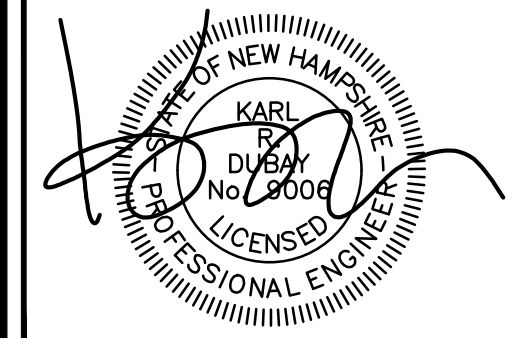
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1	9/20/21	MISC. REV.	JUG
3	10/5/21	MISC. REVS	WA

DRAWN BY: JJC  
 CHECKED BY: KRD  
 DATE: AUG. 3, 2021  
 SCALE: 1"=30'H, 3"V  
 FILE: 475-SEWERPROF  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH



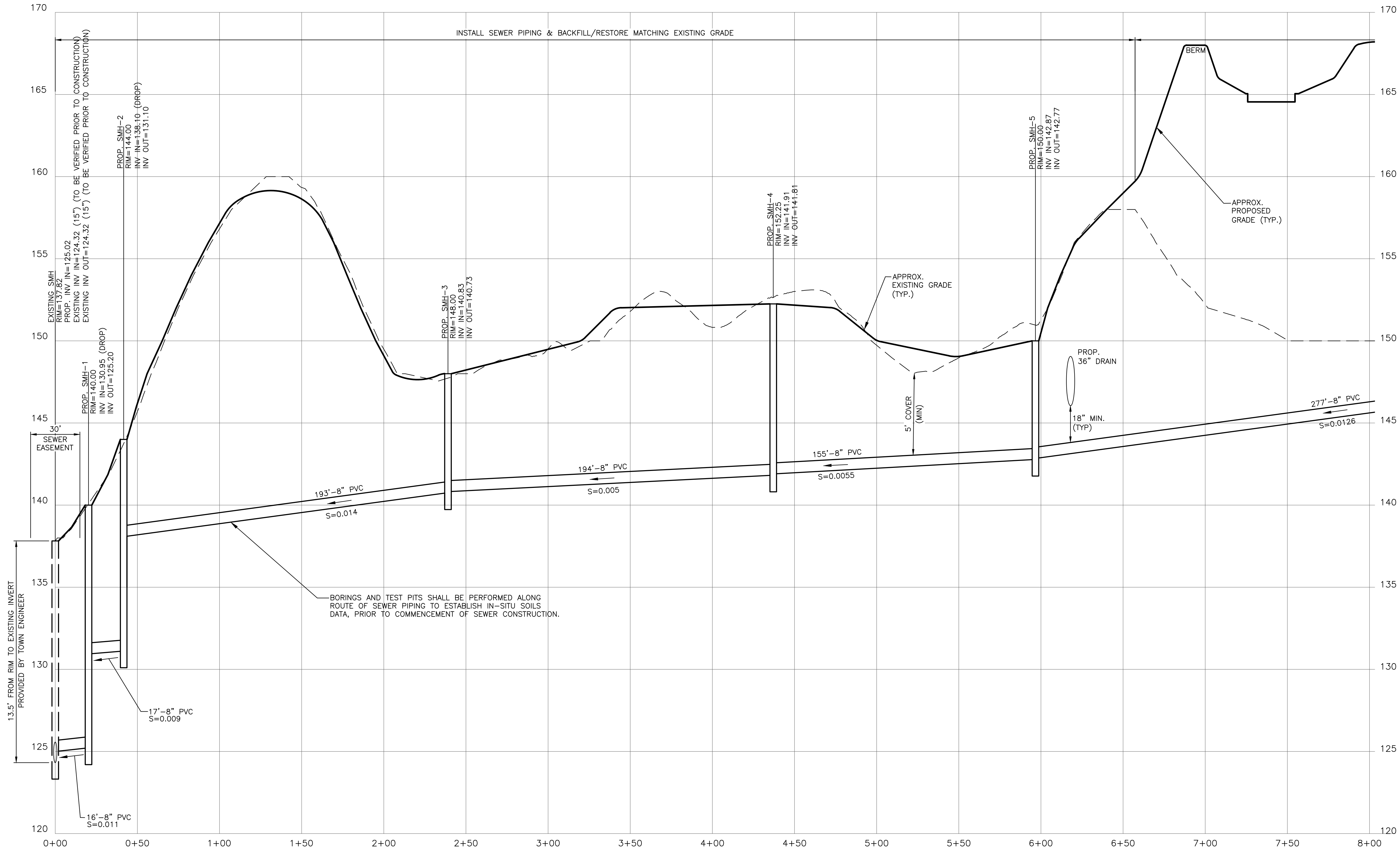
LOWELL ROAD  
 PROPERTY OWNER, LLC  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

5 WAY REALTY TRUST  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:

SEWER  
PROFILE - A

PROJECT #475 SHEET 68 of 80



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

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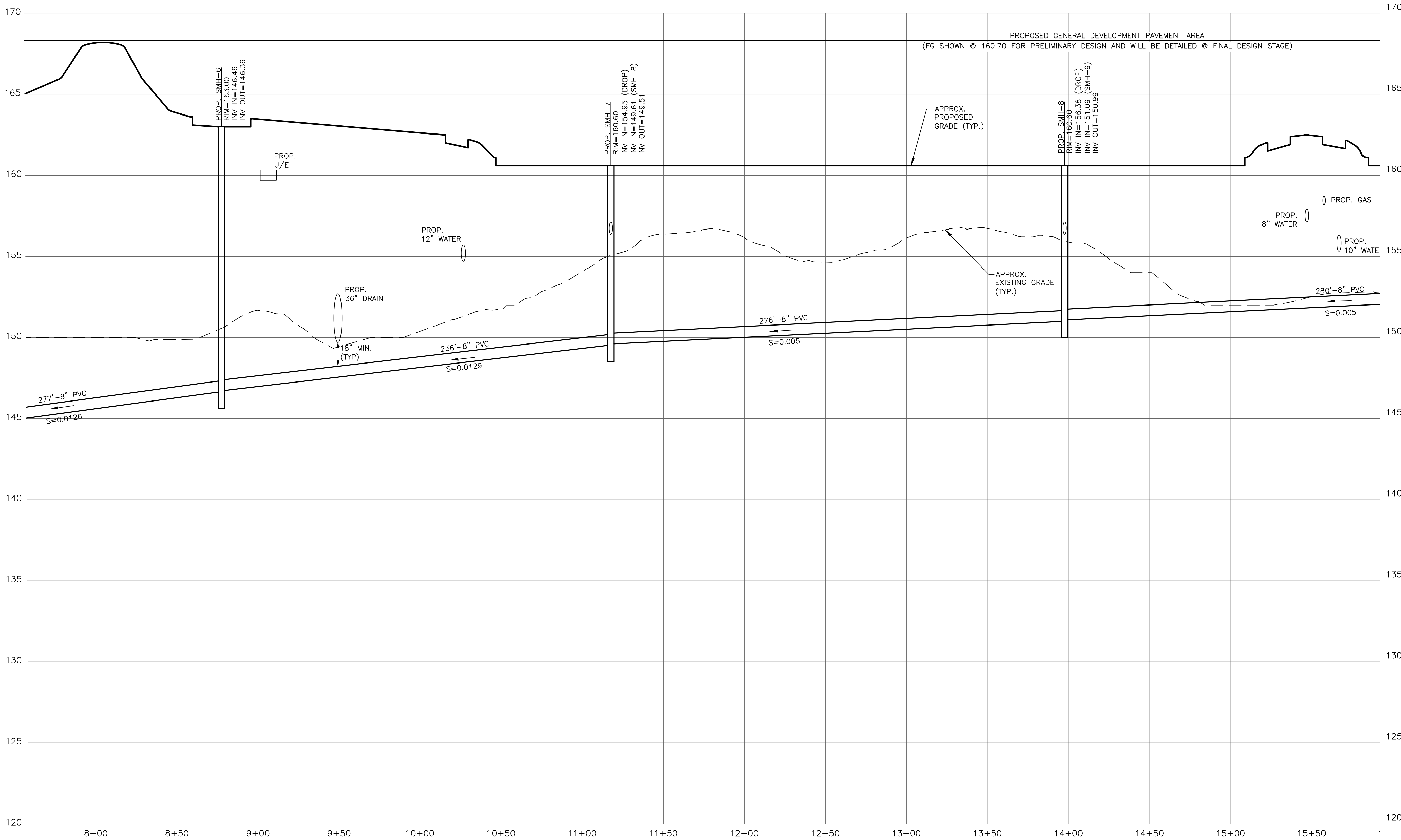
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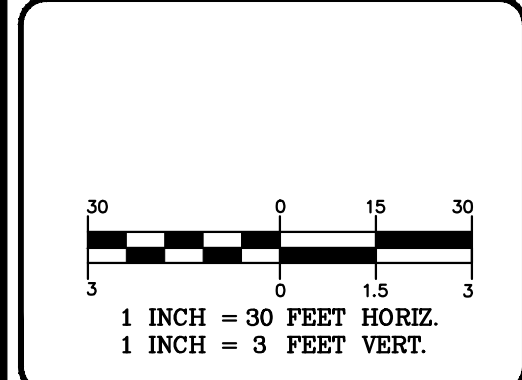
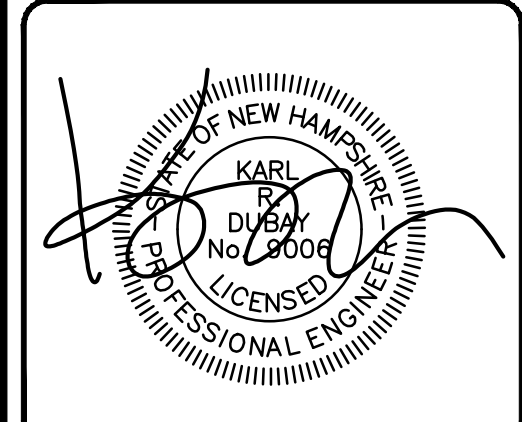
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2. ALL ITEMS SHALL BE LAID OUT BY A LICENSED LAND SURVEYOR.



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3	10/5/21	MISC. REVS	WA

DRAWN BY: JJC  
 CHECKED BY: KRJ  
 DATE: AUG. 3, 2021  
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 FILE: 475-SEWERPROF  
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PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
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5 WAY REALTY TRUST  
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SHEET TITLE:  
**SEWER PROFILE - B**

PROJECT #475 SHEET 69 of 80

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

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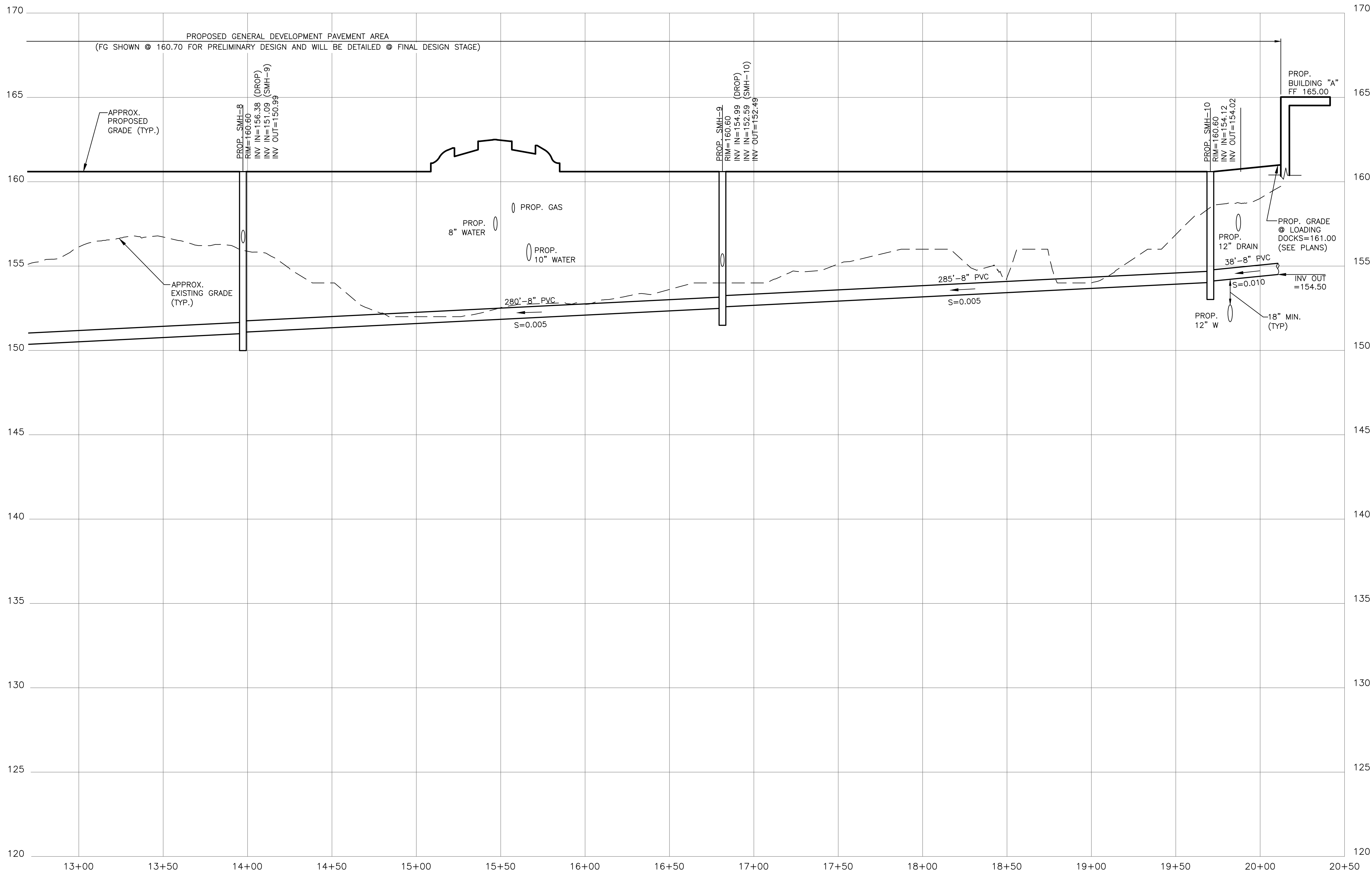
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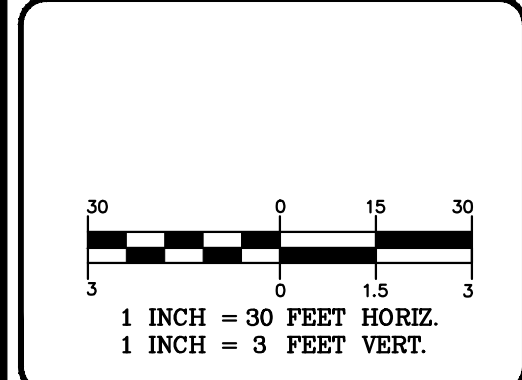
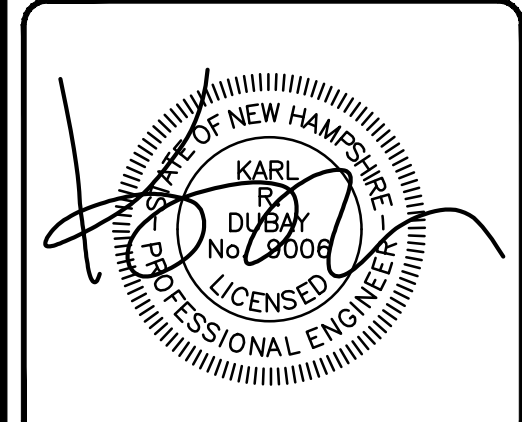
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REVISIONS:			
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PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH

PREPARED FOR

**GFI PARTNERS**

LOWELL ROAD  
PROPERTY OWNER, LLC  
133 PEARL STREET #300  
BOSTON, MA 02110

OWNER

5 WAY REALTY TRUST  
PETER HORNE, TRUSTEE  
PO BOX 1435  
N. HAMPTON, NH 03862

SHEET TITLE:

**SEWER  
PROFILE - C**

PROJECT #475 SHEET 70 of 80

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

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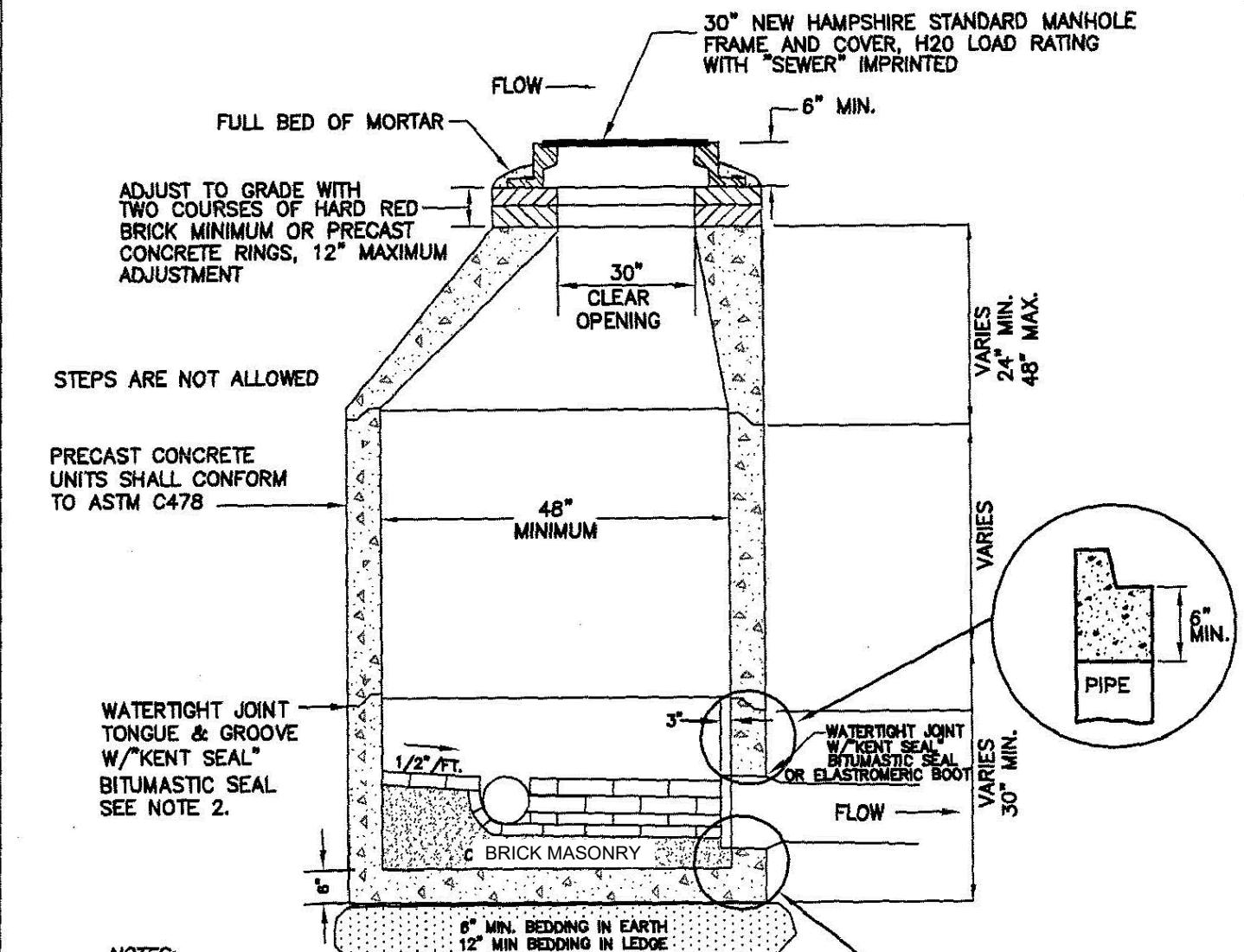
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- NOTES:**
1. ALL GASKETS AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
  2. FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY. APPROVED BITUMASTIC SEALANTS  
RAM-NEK  
KENT SEAL No. 2
- MINIMUM REQUIREMENTS:**
1. PRECAST CONCRETE MANHOLES SHALL CONFORM WITH ASTM C478 (ENV-WQ 704.13 (A)(3)).
  2. MANHOLE CASTINGS SHALL CONFORM WITH ASTM A48/48M ENV-WQ 704.13 (A)(8)).
  3. BRICK MASONRY SHALL CONFORM WITH ASTM C32 (ENV-WQ 704.13 (A)(9)).
  4. MORTAR USED FOR MANHOLE CONSTRUCTION SHALL CONFORM WITH ENV-WQ 704.13 (C).
  5. MANHOLES SHALL BE TESTED IN ACCORDANCE WITH ENV-WQ 704.17
  6. UNDERLAYMENT OF MANHOLE INVERT AND SHELF SHALL BE BRICK MASONRY PER ENV-WQ 704.12 (K). CONCRETE UNDERLAYMENT SHOWN.
  7. MANHOLES BARREL AND CONE SECTIONS SHALL BE CONSTRUCTED OF REINFORCED CONCRETE PER ENV-WQ 704.12 (d).

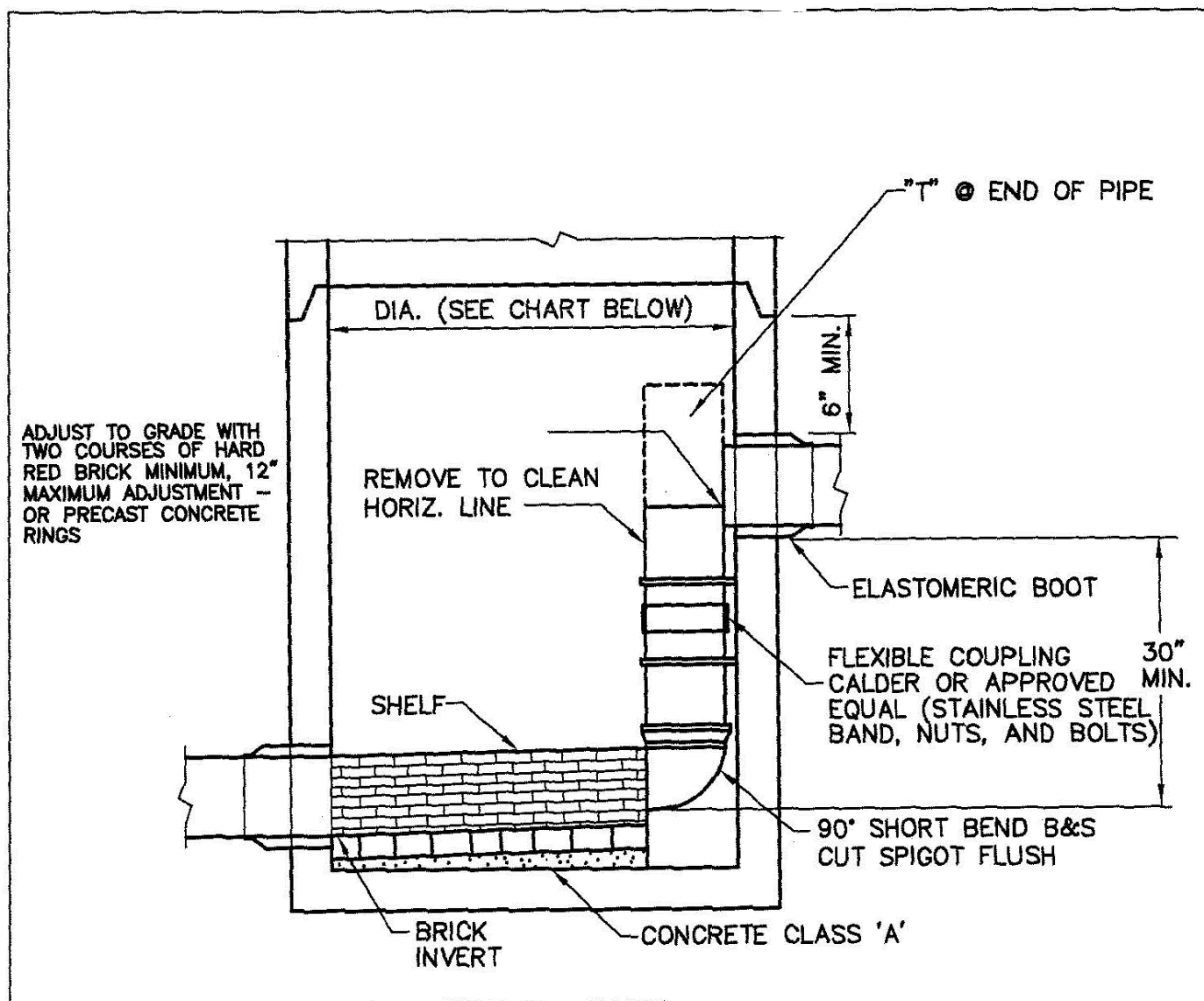
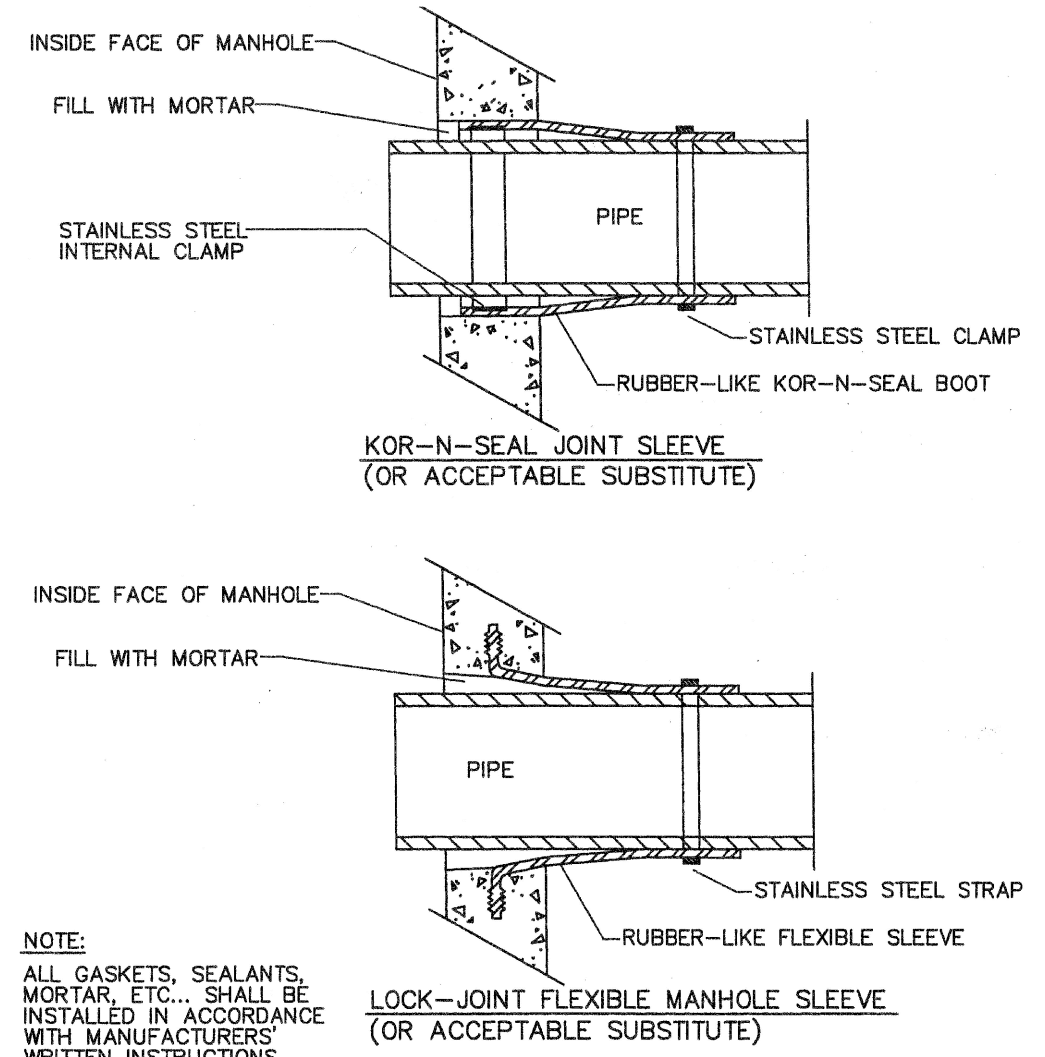
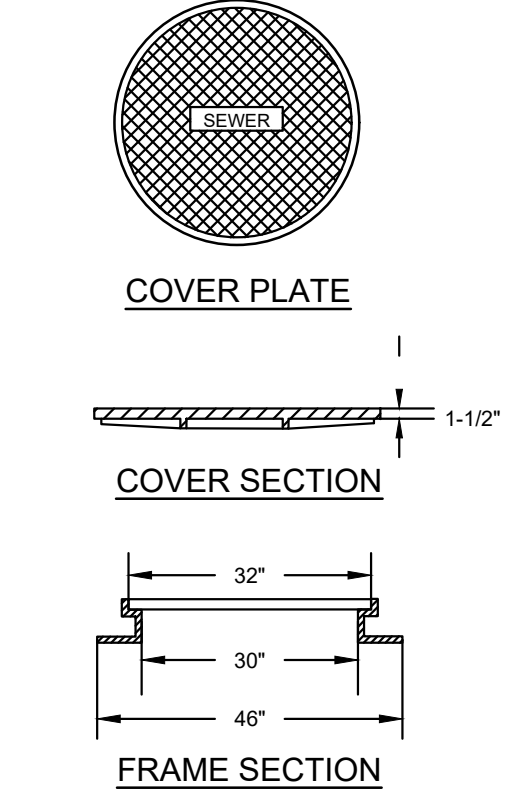
**SEWER MANHOLE NOT TO SCALE**

TYPE OF PIPE	SIZE	MAX. DIST. TO FIRST JOINT
R.C.P. & C.I.	ALL	48"
C.I.P.	ALL	48"
P.V.C.	>15"	48"
V.C.P.	0-12"	18"
V.C.P.	>12"	36"

**DETAIL S-1 SEWER MANHOLE**  
TOWN OF HUDSON AUGUST-01  
REV: SCALE: NTS

- NOTES:**
1. ALL MANHOLES, INCLUDING ALL COMPONENT PARTS, SHALL HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY BY THE ENGINEER FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS, WITH STEEL REINFORCEMENT, WITH ADEQUATE JOINTING, OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH REINFORCEMENT. IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE, CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
  2. BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE OR POURED IN PLACE REINFORCED CONCRETE.
  3. PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C 478.
  4. LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS.
  5. INVERTS AND SHELVES MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE. CROWN AND SLOPE TO DRAIN TOWARD THE FLOW THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY. INVERTS AND SHELVES SHALL BE PLACED AFTER TESTING.
  6. FRAMES AND COVERS MANHOLE FRAMES AND COVERS SHALL PROVIDE A 30 INCH CLEAR OPENING. A 3 INCH (MINIMUM HEIGHT) LETTER "S" OR THE WORD "SEWER" SHALL BE CAST INTO THE TOP SURFACE. CASTINGS SHALL BE EVEN-GRAINED CAST IRON AND SHALL BE EQUAL TO CLASS 30, CONFORMING TO ASTM A 48.
  7. BEDDING SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33  
100 PASSING 1 INCH SCREEN  
90-100 PASSING 3/4 INCH SCREEN  
20-55 PASSING 3/8 INCH SCREEN  
0-10 PASSING #4 SIEVE  
0-5 PASSING #8 SIEVE  
WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE. SCREENED GRAVEL OR CRUSHE STONE 1/2 TO 1-1/2 INCH SHALL BE USED.
  8. FLEXIBLE JOINT A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:  
RCP & CI PIPE (ALL SIZES): 48"  
AC & VC PIPE (UP THROUGH 12" DIA.): 18"  
AC & VC PIPE (LARGER THAN 12" DIA.): 36"
  9. SHALLOW MANHOLE IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED. IT MUST HAVE AN ECCENTRIC ENTRANCE OPENING AND BE CAPABLE OF SUPPORTING H-20 LOADS.
  - 9a. DI PIPE - NONE REQUIRED  
PVC (ASTM 3034) - UP THROUGH 15: DIA - NONE REQUIRED  
PVC (ASTM F 679) - LARGER THAN 15: DIA - 48" - 60"  
PVC (ASTM F 789) - ALL SIZES - 48" - 60"  
ABS (ASTM D 2680) - ALL SIZES - SAME AS PVC ABOVE
  - 9b. UNDER SEVERE CONDITIONS WHEN DIFFERENTIAL SETTING CANNOT BE CONTROLLED WITHIN NORMAL LIMITS, VARIATIONS IN THE STUB LENGTH MAY BE NECESSARY OTHER PLASTIC PIPES SHALL BE REVIEWED ON A CASE BY CASE BASIS.
  10. MANHOLE STEPS ARE NOT PERMITTED.
- NOTE:** SEPARATE CONSTRUCTION SPECIFICATIONS MUST BE ATTACHED OR INCLUDED IN THE CONTRACT DOCUMENTS. THESE STANDARD DRAWINGS ARE NOT COMPLETE WITHOUT THESE SPECIFICATIONS.
- DETAIL S-2 STANDARD MANHOLE - PART A**  
TOWN OF HUDSON AUGUST-01  
REV: SCALE: NTS

**STANDARD MANHOLE - PART A**

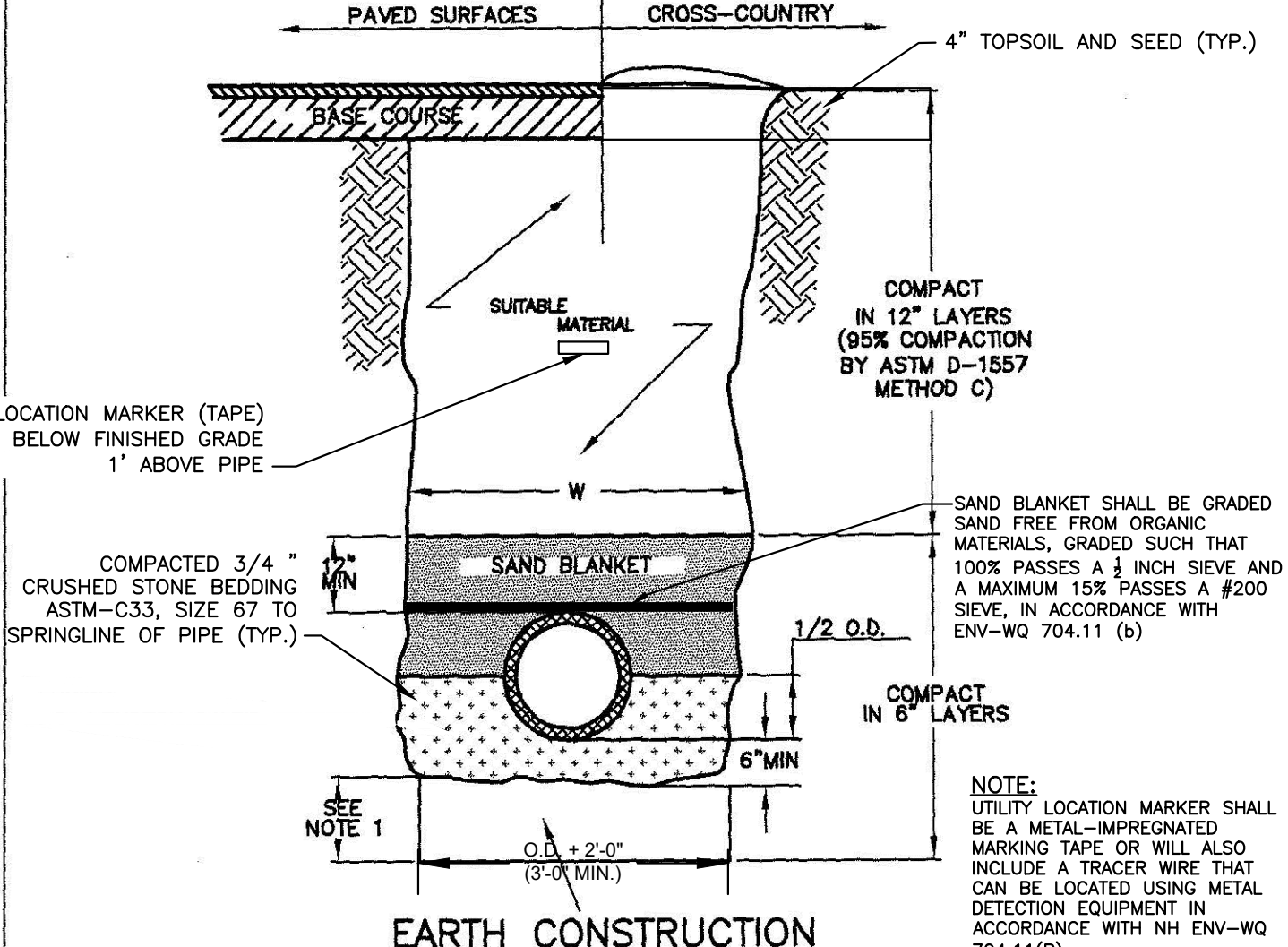


**MAN HOLE SIZE CHART**

ONE 8" DROP	USE 4' DIA.
ONE 10" DROP	USE 4' DIA.
TWO 8" DROP	USE 5' DIA.
TWO 10" DROP	USE 5' DIA.
ONE 12" DROP	USE 5' DIA.
ONE 15" DROP	USE 5' DIA.
ONE 18" DROP	USE 8' DIA.
ONE 24" DROP	USE 6' DIA.

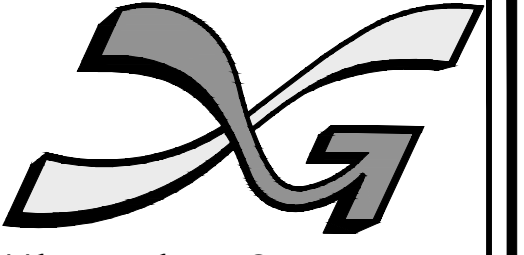
**INTERNAL DROP SMH NOT TO SCALE**

**DETAIL S-3 INTERNAL DROP SMH**  
TOWN OF HUDSON AUGUST-01  
REV: SCALE: NTS



**SEWER TRENCH SECTION NOT TO SCALE**

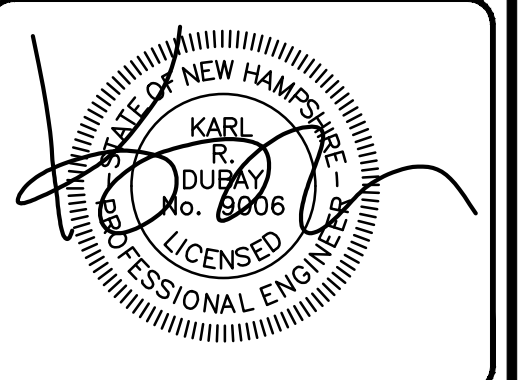
- NOTES:**
1. ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE, RE-FILL WITH BEDDING MATERIAL.
  1. BACKFILL SHALL BE MOUNDED 6" ABOVE ORIGINAL GROUND IN CROSS COUNTRY LOCATIONS (ENV-WQ 704.05 (j))
  2. GRAVITY SEWER PIPE TESTING SHALL BE PERFORMED IN ACCORDANCE WITH ENV-WQ 704.06 AND FORCE MAIN/PRESSURE SEWER PIPE TESTING SHALL BE PERFORMED IN ACCORDANCE WITH ENV-WQ 704.09
  3. TRENCH BACKFILL MATERIAL SHALL CONFORM WITH ENV-WQ 704.11 (H)
  4. FOR EXCAVATION IN LEDGE, EXCAVATION SHALL EXTEND AT LEAST 12" BELOW THE BOTTOM OF THE SEWER PIPE PER ENV-WQ 704.11 (O)
  5. PVC JOINTS SEALS SHALL CONFORM WITH ASTM D3212.
- NOTE:** UTILITY LOCATION MARKER SHALL BE A METAL-IMPREGNATED MARKING TAPE OR WILL ALSO INCLUDE A TRACER WIRE THAT CAN BE LOCATED USING METAL DETECTION EQUIPMENT IN ACCORDANCE WITH NH ENV-WQ 704.11 (F)
- NOTE:** UNSUITABLE MATERIAL AS DETERMINED BY THE ENGINEER (REFILL W/ BEDDING MATERIAL)
- DETAIL S-4 SEWER TRENCH SECTION**  
TOWN OF HUDSON AUGUST-01  
REV: SCALE: NTS



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DRAWN BY: JJC  
CHECKED BY: KRD  
DATE: AUG. 3, 2021  
SCALE: AS SHOWN  
FILE: 475-SEWER DETAILS  
DEED REF:

**SITE PLAN**  
FRIARS DRIVE  
TAX MAP 209  
LOT 001-000  
161 LOWELL ROAD  
HUDSON, NH  
PREPARED FOR

**GFI PARTNERS**

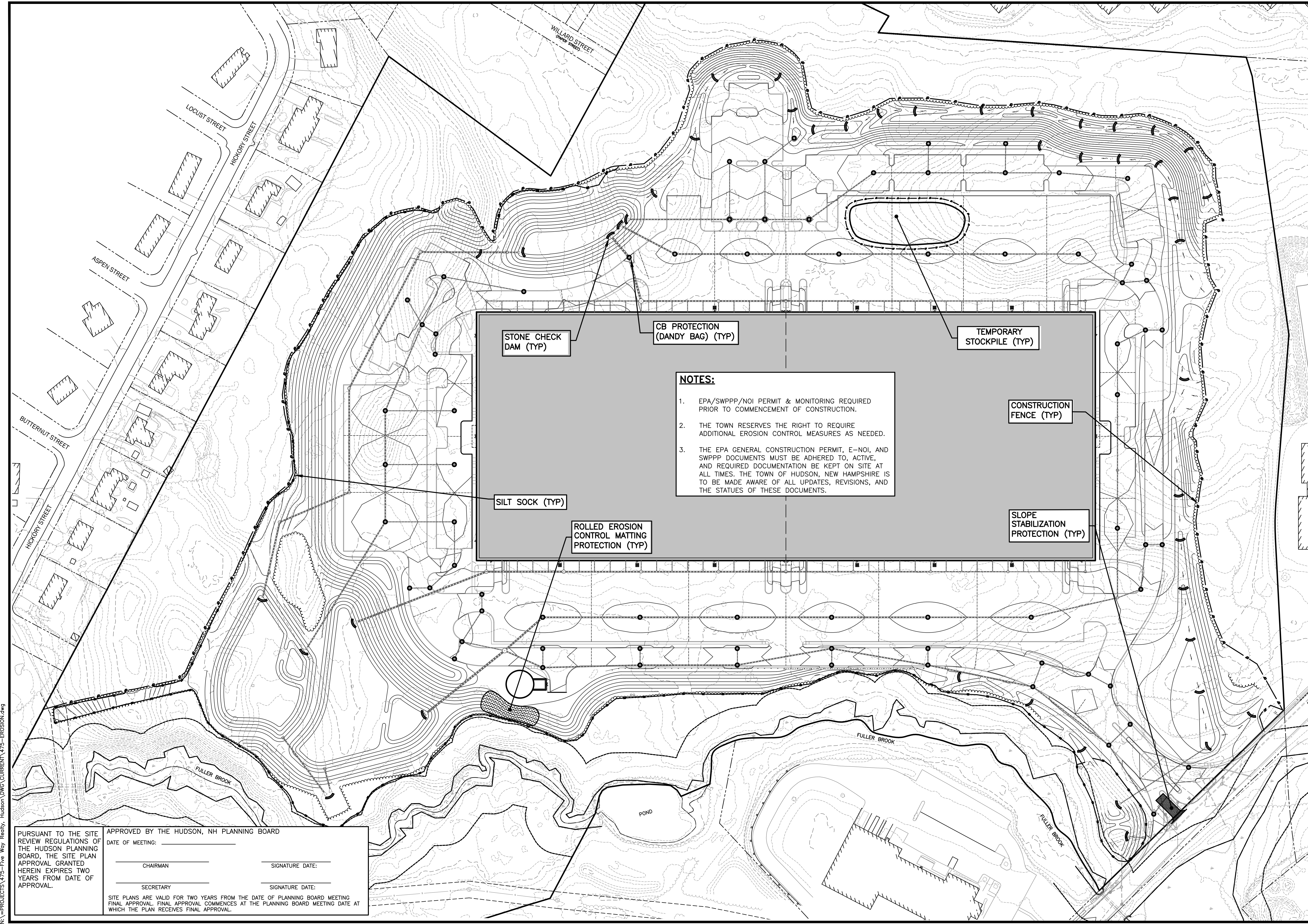
**LOWELL ROAD PROPERTY OWNER, LLC**  
133 PEARL STREET #300  
BOSTON, MA 02110  
OWNER

**5 WAY REALTY TRUST**  
PETER HORNE, TRUSTEE  
PO BOX 1435  
N. HAMPTON, NH 03862

**SEWER DETAILS**

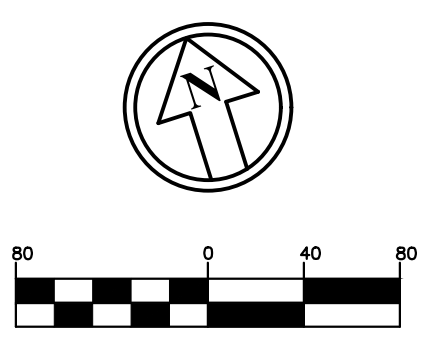
SHEET TITLE:

PROJECT #475 SHEET 71 of 80

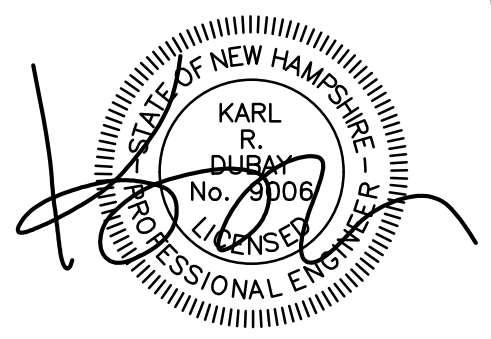



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1 INCH = 80 FEET



KARL R. DUBAY  
 No. 9008  
 LICENSED PROFESSIONAL ENGINEER

**NOTES:**

1. EPA/SWPPP/NOI PERMIT & MONITORING REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. THE TOWN RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS NEEDED.
3. THE EPA GENERAL CONSTRUCTION PERMIT, E-NOI, AND SWPPP DOCUMENTS MUST BE ADHERED TO, ACTIVE, AND REQUIRED DOCUMENTATION BE KEPT ON SITE AT ALL TIMES. THE TOWN OF HUDSON, NEW HAMPSHIRE IS TO BE MADE AWARE OF ALL UPDATES, REVISIONS, AND THE STATUES OF THESE DOCUMENTS.

REVISIONS:

REV.	DATE:	COMMENT:	BY:

DRAWN BY: WA  
 CHECKED BY: KRD  
 DATE: AUG. 3, 2021  
 SCALE: 1" = 80'  
 FILE: 475-EROSION  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR

**GFI PARTNERS**

LOWELL ROAD  
 PROPERTY OWNER, LLC  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

5 WAY REALTY TRUST  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:  
**EROSION CONTROL OVERVIEW PLAN**

N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-EROSION.dwg

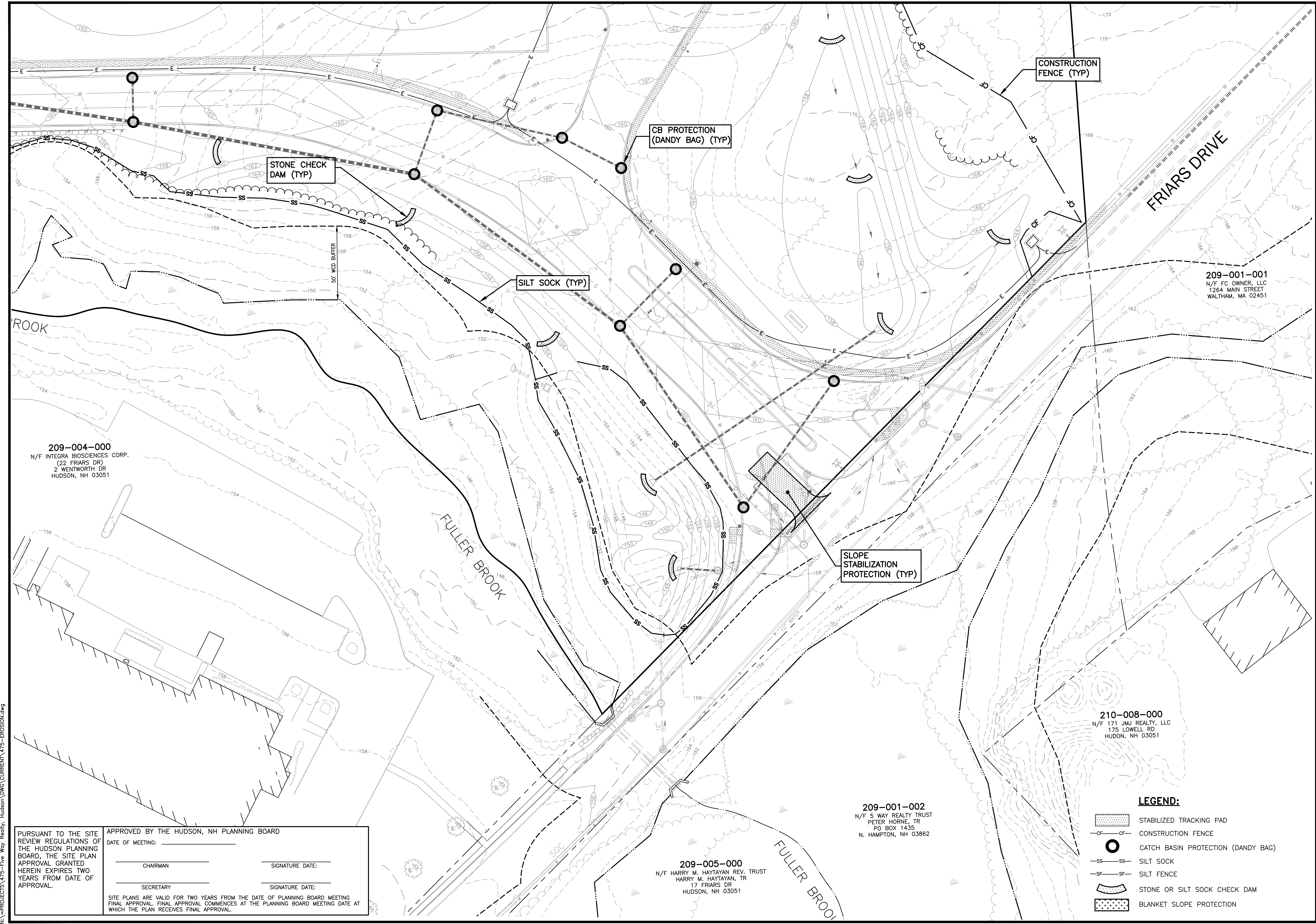
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD  
 DATE OF MEETING: \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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3	10/5/21	MISC. REVS	JUG

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 SCALE: 1" = 30'  
 FILE: 475-EROSION  
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**PROJECT:**  
**SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR

**GFI PARTNERS**

**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

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 PO BOX 1435  
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SHEET TITLE:  
**EROSION CONTROL PLAN - A**

PROJECT #475 SHEET 73 of 80

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- LEGEND:**
- STABILIZED TRACKING PAD
  - CONSTRUCTION FENCE
  - CATCH BASIN PROTECTION (DANDY BAG)
  - SILT SOCK
  - SILT FENCE
  - STONE OR SILT SOCK CHECK DAM
  - BLANKET SLOPE PROTECTION



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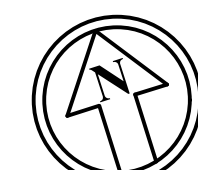
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PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR



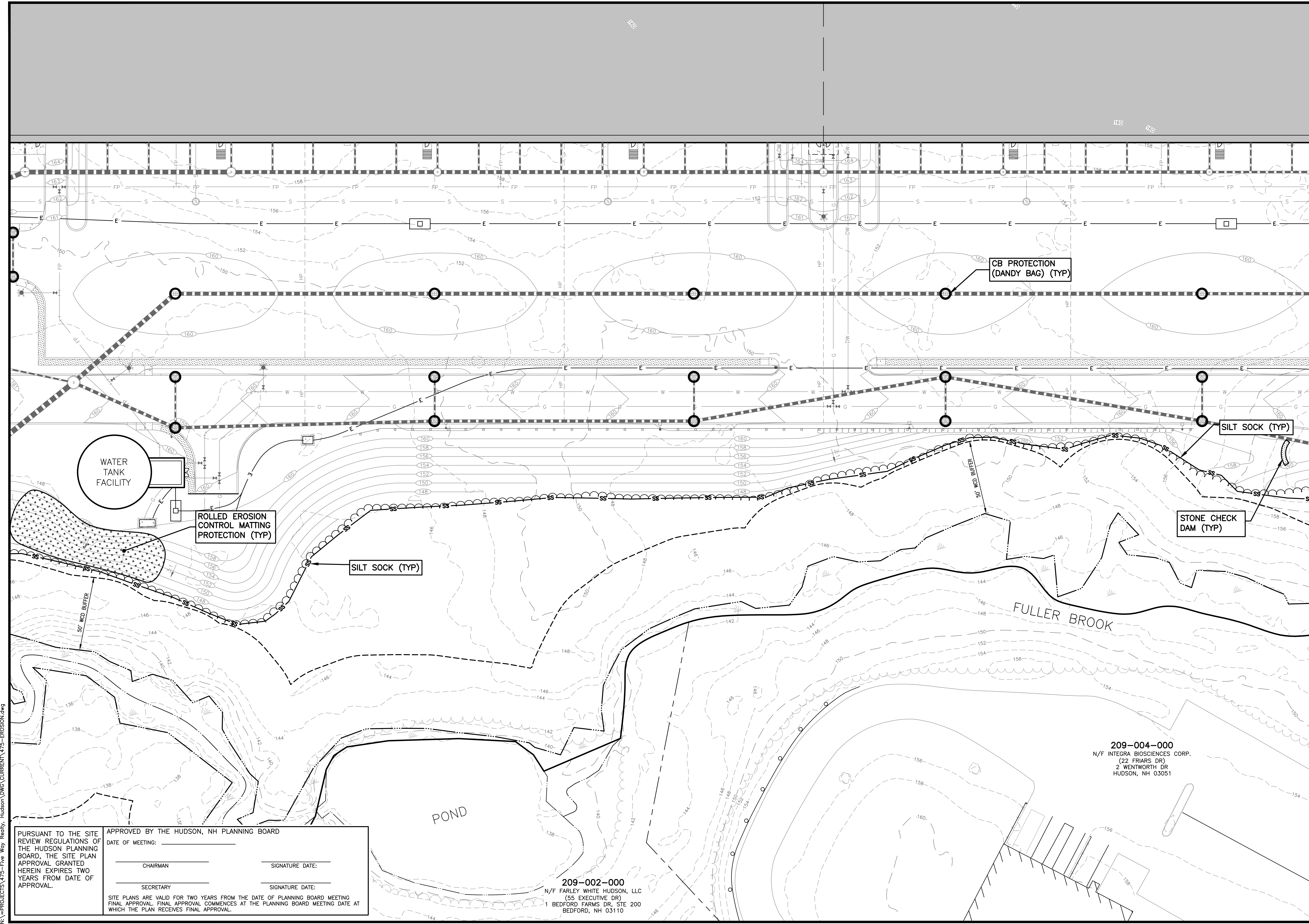
**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
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 OWNER

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SHEET TITLE:

**EROSION CONTROL PLAN - B**

PROJECT #475 SHEET 74 of 80



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**209-002-000**  
 N/F FARLEY WHITE HUDSON, LLC  
 (55 EXECUTIVE DR)  
 1 BEDFORD FARMS DR, STE 200  
 BEDFORD, NH 03110

**209-004-000**  
 N/F INTEGRA BIOSCIENCES CORP.  
 (22 FRIARS DR)  
 2 WENTWORTH DR  
 HUDSON, NH 03051

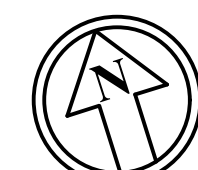


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**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR

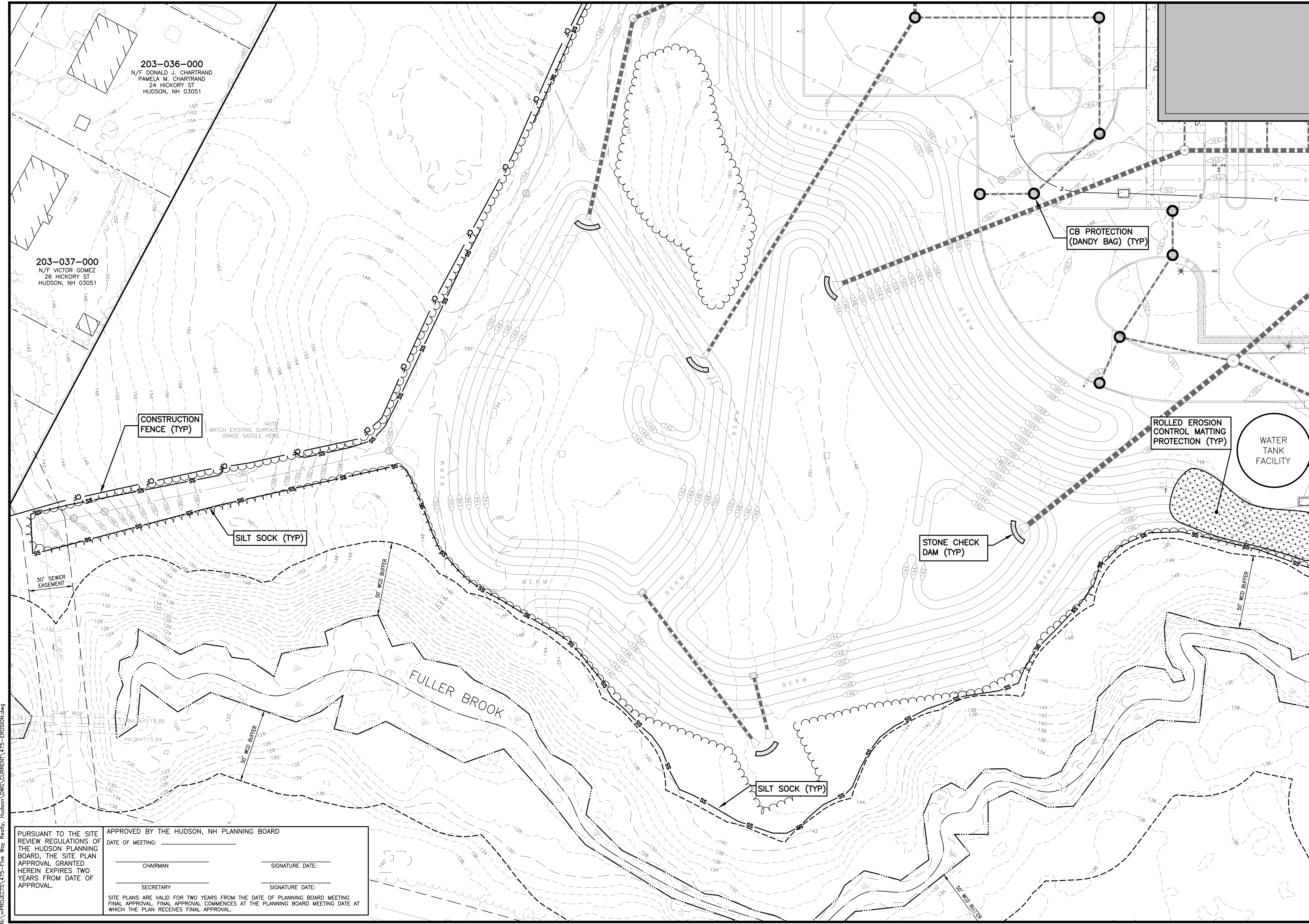


**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER

**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:  
**EROSION CONTROL PLAN - C**

PROJECT #475 SHEET 75 of 80



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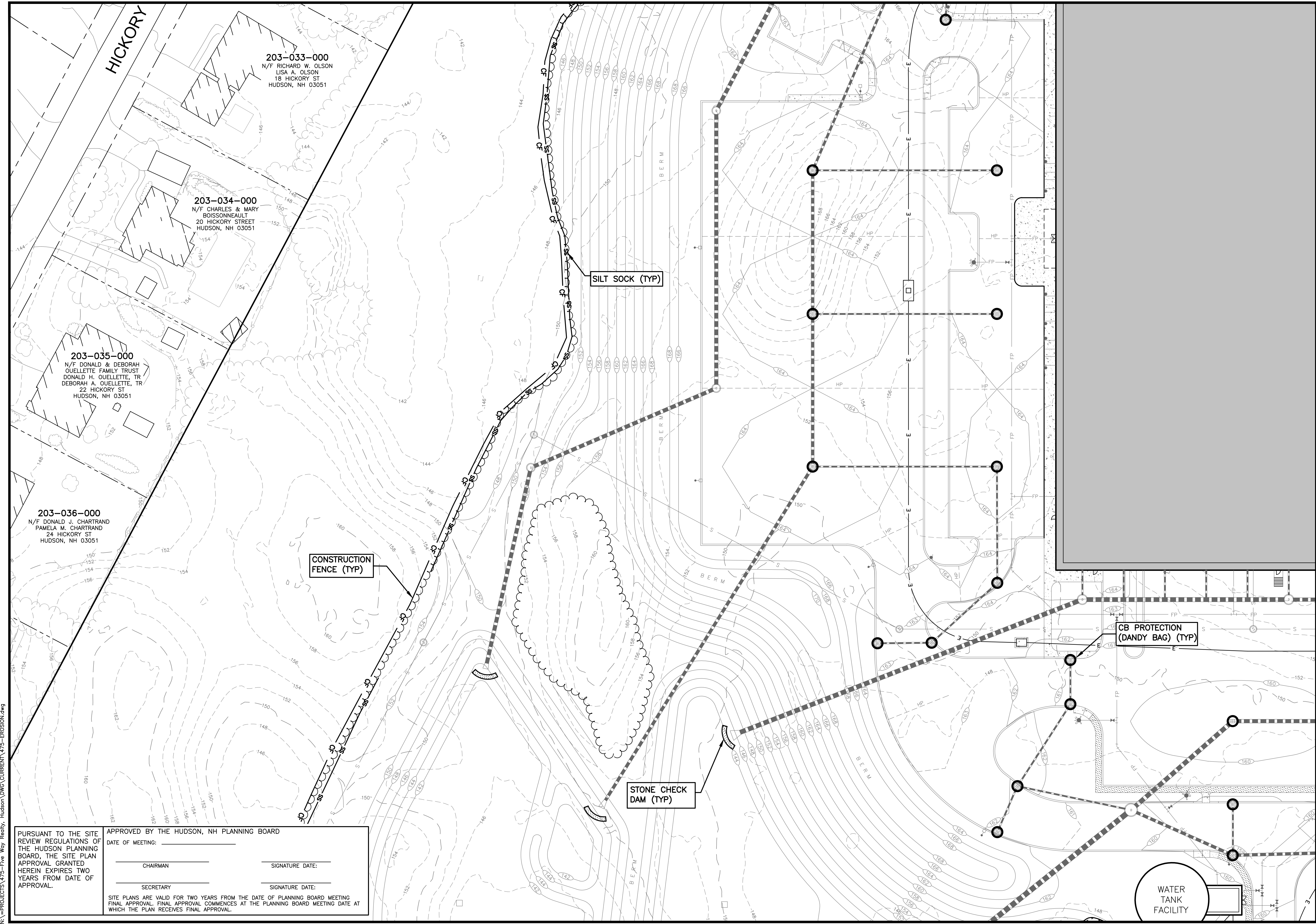
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SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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SHEET TITLE:  
**EROSION CONTROL PLAN - D**

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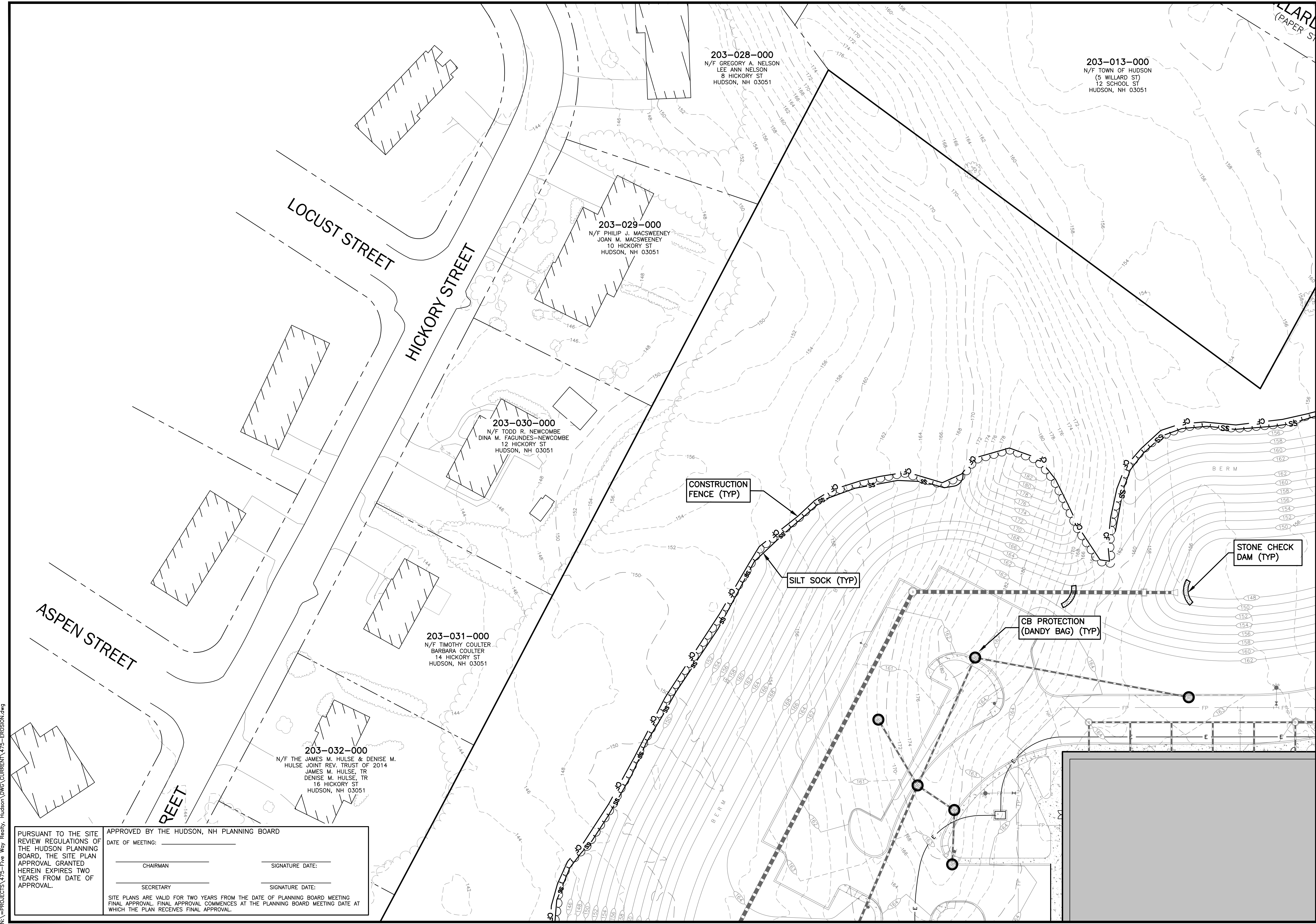
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1	9/20/21	MISC. REVS	WA
3	10/5/21	MISC. REVS	JUG

DRAWN BY: WA  
 CHECKED BY: KRD  
 DATE: AUG. 3, 2021  
 SCALE: 1" = 30'  
 FILE: 475-EROSION  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
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**GFI PARTNERS**

**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
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 OWNER

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SHEET TITLE:  
**EROSION CONTROL PLAN - E**

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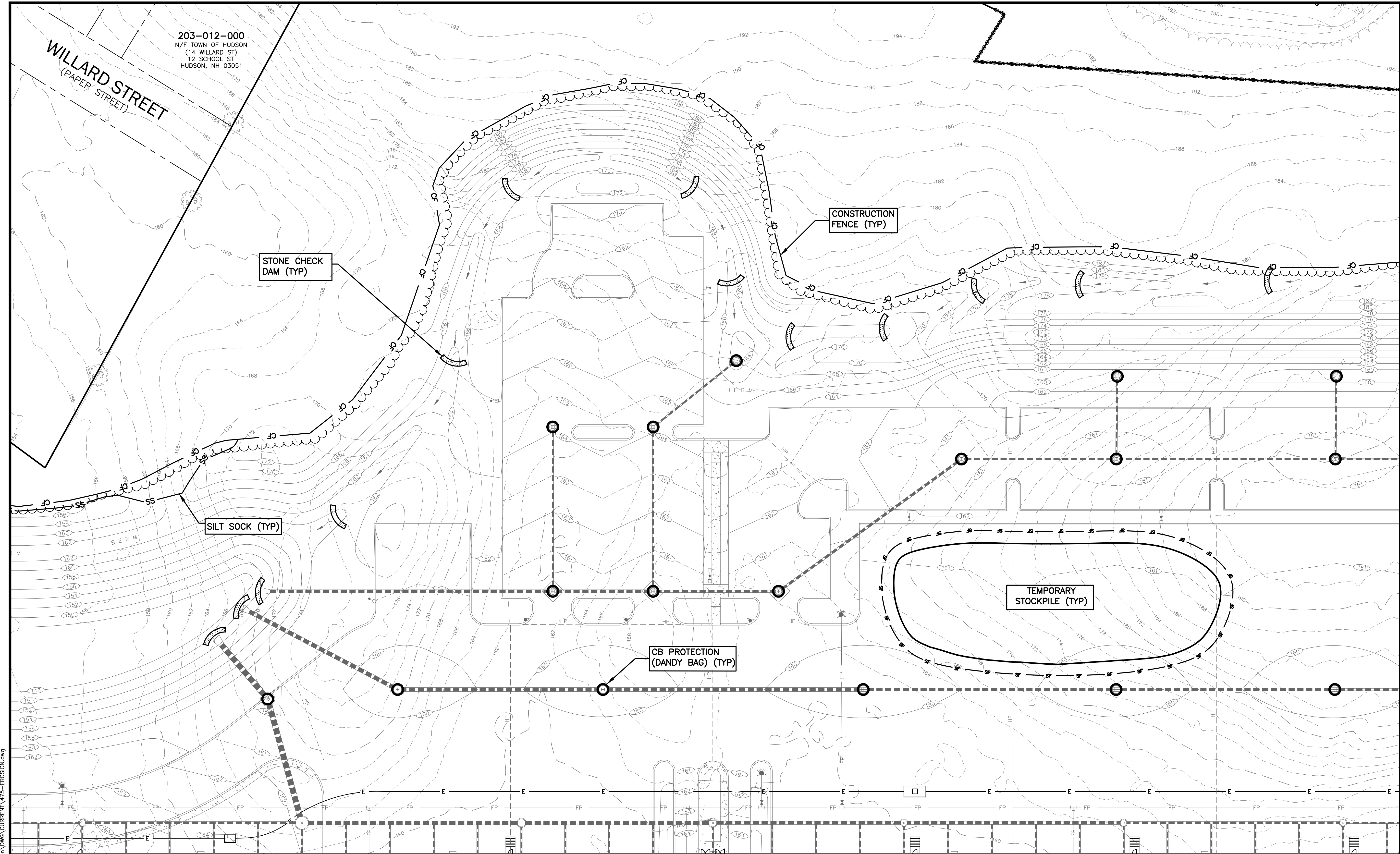
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DATE OF MEETING: \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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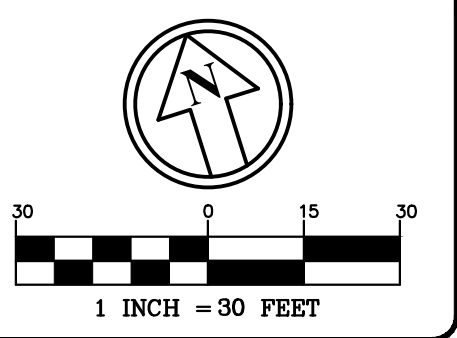


203-012-000  
 N/F TOWN OF HUDSON  
 (14 WILLARD ST)  
 12 SCHOOL ST  
 HUDSON, NH 03051



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C	B	A

SHEET INDEX

REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REVS	WA
3	10/5/21	MISC. REVS	JUG

DRAWN BY: WA  
 CHECKED BY: KRD  
 DATE: AUG. 3, 2021  
 SCALE: 1" = 30'  
 FILE: 475-EROSION  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER  
**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:  
**EROSION CONTROL PLAN - F**

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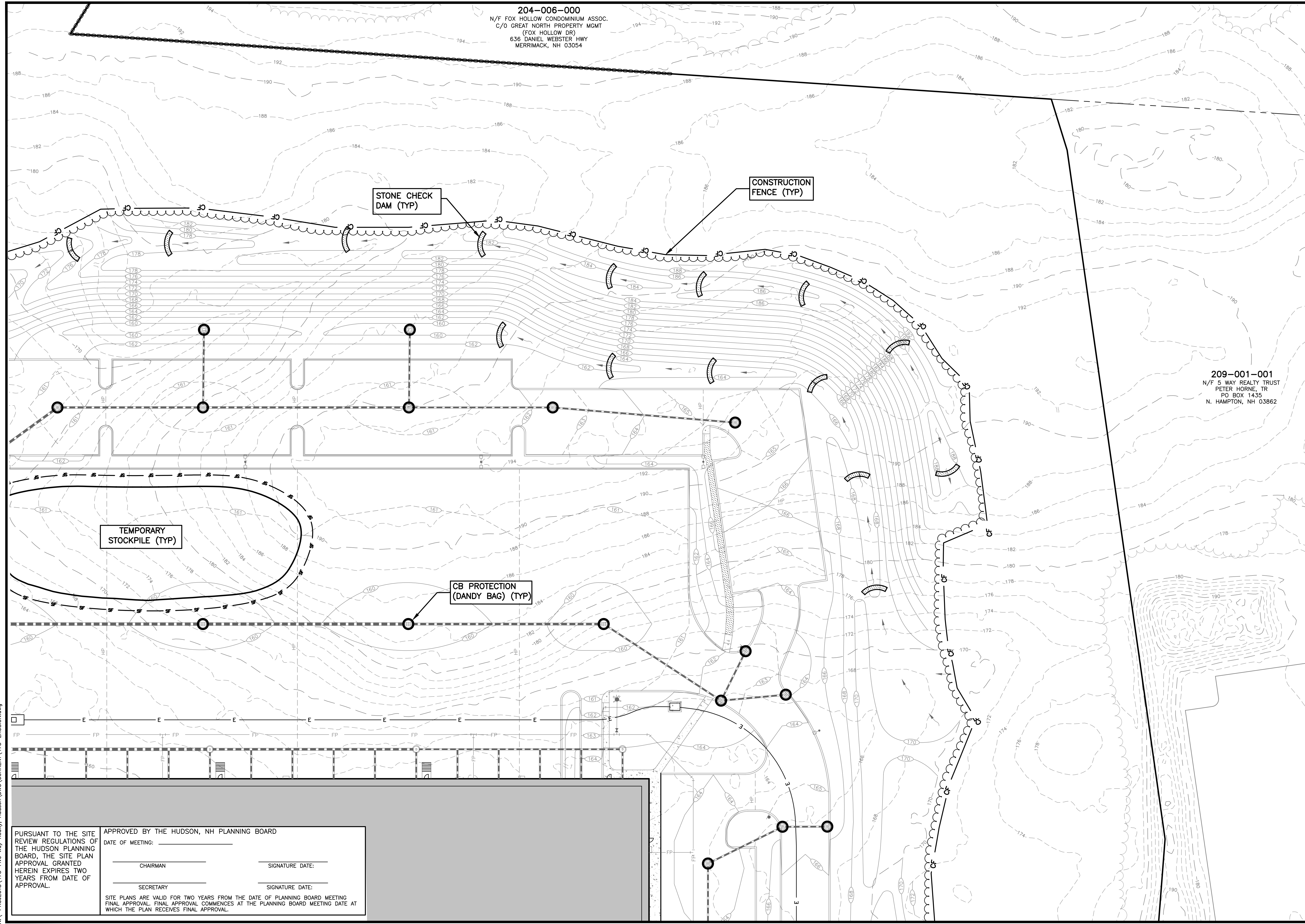
PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD  
 DATE OF MEETING: \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

204-006-000  
 N/F FOX HOLLOW CONDOMINIUM ASSOC.  
 C/O GREAT NORTH PROPERTY MGMT  
 (FOX HOLLOW DR)  
 636 DANIEL WEBSTER HWY  
 MERRIMACK, NH 03054



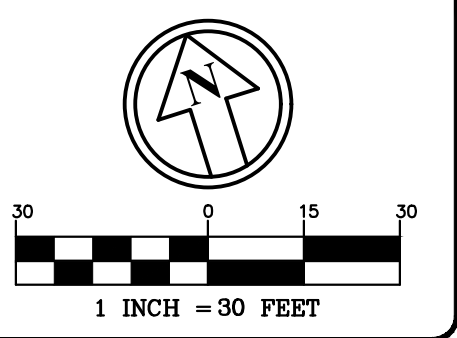
209-001-001  
 N/F 5 WAY REALTY TRUST  
 PETER HORNE, TR  
 PO BOX 1435  
 N. HAMPTON, NH 03862



**The Dubai Group, Inc.**  
 136 Harvey Rd. Bldg B101  
 Londonderry, NH 03053  
 603-458-6462

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SHEET TITLE:  
**EROSION CONTROL PLAN - G**

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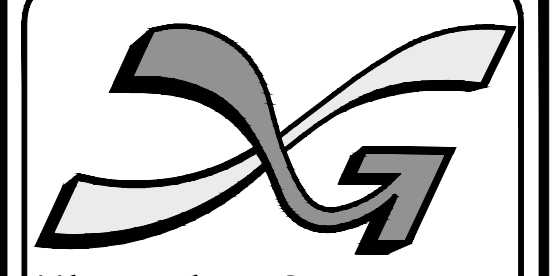
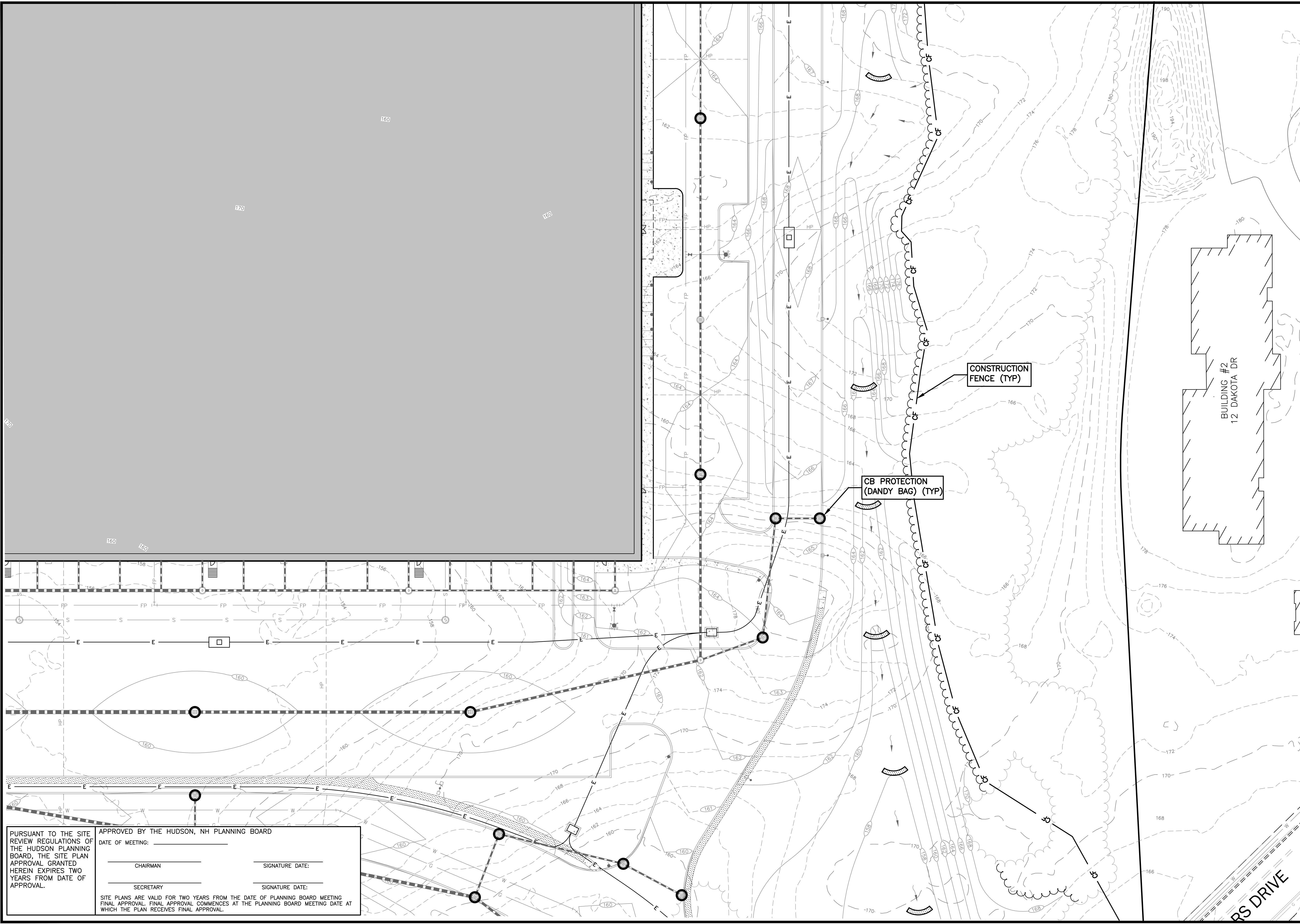
APPROVED BY THE HUDSON, NH PLANNING BOARD  
 DATE OF MEETING: \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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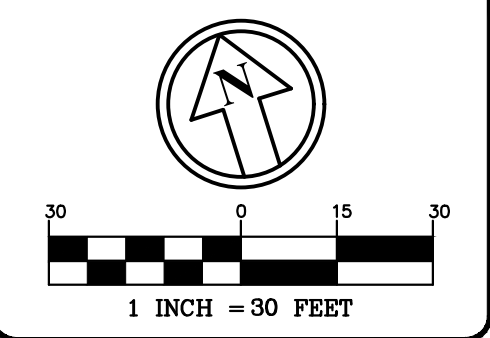
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SHEET TITLE:  
**EROSION CONTROL PLAN - H**

PROJECT #475 SHEET 80 of 80

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

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**290-2 Definitions**

**CRITICAL AREA** -- Disturbed area of any size within 50 feet of a stream, bog, water body, or poorly or very poorly drained soils; or disturbed areas exceeding 2,000 square feet in highly erodible soils; or disturbed areas of more than 25 feet in length on slopes greater than 10%.

**DISCONNECTED IMPERVIOUS COVER** -- Impervious cover that directs stormwater runoff to on-site vegetated areas to allow infiltration into the soil or be filtered by overland flow such that the stormwater is not directly released from a site to off-site drainage infrastructure or adjacent water bodies or wetlands.

**EFFECTIVE IMPERVIOUS AREA** -- Impervious cover that discharges stormwater runoff directly to other paved surfaces, off-site drainage infrastructure or adjacent water bodies or wetlands.

**GROUNDWATER RECHARGE VOLUME (GRV)** -- Volume of runoff to be infiltrated based on existing soils as calculated in accordance with AOT criteria.

**STABILIZED SOIL** --

A. When the soil erosion rate approaches that of undisturbed soils, soils which are disturbed shall be considered protected when covered with a healthy and stabilized when one of the following is achieved:

- (1) A minimum of 85% vegetative cover has been established;
- (2) A minimum of 3 inches of non-erosive material such as stone or riprap has been placed; or
- (3) Erosion control blankets have been installed in accordance with AOT criteria.

B. Note: Measures listed under Subsections A(2) and (3) are considered temporary and ultimately, the site needs to be fully vegetated or have a non-erodible surface.

**WATER QUALITY VOLUME** -- Volume of runoff to be retained or treated as calculated in accordance with N.H. Code Admin. R. Part Env-Wq 1504.10.

**290-3 Applicability for a Stormwater Management and Erosion Control Plan**

- A. STORMWATER MANAGEMENT AND EROSION CONTROL PLAN (SMECP)  
 (1) A cumulative disturbed area exceeding 20,000 square feet.

**290-4 Application Plan Review and Approval**

D. The Planning Board may waive certain requirements that are not relevant or applicable to the proposed project.

F. After Planning Board approval of the SMECP, and as established in the Notice of Decision, the property owner of record shall record at the Registry of Deeds documentation sufficient to provide notice to all persons that may acquire any property that the property is subject to the requirements and responsibilities described within the approved SMECP, including the operation and maintenance requirements and all BMPs. The notice shall comply with applicable requirements for Registry recording.

**290-5 Post-Construction Stormwater Management Standards**

A. Basic Post-Construction Stormwater Management Standards: Include a narrative and appropriate design details demonstrating how standards are met as well as the construction and erosion control related items listed in § 290-6:

- (1) Low-Impact Development (LID) planning and design strategies have been included to the maximum extent practical, to reduce the disturbance and impervious cover, minimize the volume of stormwater runoff discharged from the site, as well as preserve and protect existing vegetation. If LID measures are determined to be impractical or inappropriate, document in writing why LID strategies or measures are not appropriate or practical for the particular site.
- (2) Stormwater runoff from developed portions of the site shall be treated on site to the maximum extent practicable and not discharged directly to municipal drainage systems, privately owned drainage systems or to surface water bodies and wetlands that will cause adverse water quality impacts or additional flooding.
- (3) Minimize the amount of effective impervious area through use of permeable pavement, capture/reuse measures or other methods designed to disconnect impervious area and retain/infiltrate water on site through vegetative islands, rain gardens, bioretention systems, tree box filters and/or filter strips.
- (4) Maintain existing groundwater recharge volume GRV in accordance with AOT. All groundwater recharge systems shall require on-site test pit and percolation test data to be submitted as part of the review.
- (5) Implement measures to control the post-development peak rate runoff so that it does not exceed pre-development runoff. Drainage analyses shall include calculations comparing pre-and post-development stormwater runoff rates (cubic feet/second) and volumes (cubic feet) for the two-, ten-, twenty-five-, and fifty-year twenty-four-hour storm events.
- (6) Stormwater management BMP sizing and design shall be based on the extreme precipitation tables per AOT.
- (7) The drainage system design shall not result in flooding or functional impairment to streets, adjacent properties, downstream properties, soils, or vegetation while accounting for upstream and upgradient runoff that flows onto, over, or through the site to be developed or redeveloped and provide for this contribution of runoff.
- (8) Where practical, native site vegetation shall be retained, protected, or supplemented. Vegetation removal shall be done in a manner that minimizes soil erosion.
- (9) Seasonal high-water table elevations must be accounted for in all BMP designs.
- (10) Locate stormwater management and erosion and sediment control practices outside any protected buffer zones unless otherwise approved by the Planning Board.
- (11) Design and size permanent stormwater management measures in accordance with the design guidelines and sizing criteria per NHDES/AOT.
- (12) Long-term maintenance plan and agreement shall meet the requirements of 290-8.
- (13) Design salt storage areas to be fully covered with permanent or semipermanent measures and locate salt loading/off-loading areas to prevent runoff from draining directly to receiving waters and shall be maintained with good housekeeping measures in accordance with NHDES published guidance. Runoff from snow and salt storage areas shall be directed to treatment areas before discharging to receiving waters or allowed to infiltrate into the groundwater.

B. Enhanced Stormwater Management Standards that will Disturb 40,000 SF or more:

- (1) New Development: In addition to the Basic Stormwater Management Standards in Subsection A above, shall also meet one of the following enhanced stormwater management requirements:
  - (a) Incorporate stormwater treatment BMPs into the project design that are designed to retain the Water Quality Volume generated from the total post-construction impervious area to the maximum extent practicable.
  - (b) Incorporate stormwater treatment BMPs designed to remove 80% of the average annual Total Suspended Solids (TSS) load and 50% of the average annual Total Phosphorus (TP) load generated from the total post-construction impervious area to the maximum extent practicable.

**290-6 Construction Erosion Control and Stormwater Standards.**

A. Temporary/Construction Stormwater Management Design. If a Stormwater Pollution Prevention Plan (SWPPP) has been prepared to comply with the EPA Construction General Permit (CGP), the SWPPP can also be utilized to satisfy related portions of the required SMECP contents, provided that the listed required elements are included in the SWPPP.

- (1) The selection, sizing, installation and maintenance of all erosion and sediment control measures included in the SMECP shall meet, as a minimum, the Best Management Practice design guidance set forth via the AOT process.
- (2) Whenever practical, natural vegetation shall be retained, protected and/or supplemented. The clearing of vegetation shall be done in a manner that minimizes soil erosion. Vegetated areas to be retained should be clearly marked and protected using construction fencing or similar means.
- (3) Soil disturbance shall be avoided within established buffer setbacks as established by the Town Wetland and Conservation Overlay District.
- (4) The area of disturbance shall be kept to a minimum through use of Low-Impact Development (LID) site design and treatment methods to preserve and protect the integrity of existing natural resources to the maximum extent practical.
- (5) Construction site disturbance should be limited to only disturb the area necessary for a particular construction activity or phase of development especially in winter months.
- (6) Adequate temporary solid waste and sanitary waste disposal facilities shall be maintained on site during the construction period, as necessary.
- (7) Adequate construction stone access pads shall be installed and maintained at site entrance and exit locations to prevent mud and sediment from being tracked on to pavement.
- (8) An on-site pre-construction meeting shall be held with the Town Engineer or designated representative prior to initiating earth moving activities and after perimeter erosion control measures, protective fencing, waste disposal and construction access pads have been installed.
- (9) Disturbed soil areas that will remain idle for more than 30 days shall be temporarily stabilized as soon as practicable but no later than five days from the initial disturbance with seed and mulch, erosion control blankets or crushed stone or other suitable measures approved by the Town Engineer or designated representative. All disturbed soil areas that have achieved final grading shall be permanently stabilized within three days following final grading.
- (10) Up-gradient surface runoff from undisturbed areas shall be diverted away from disturbed areas where feasible or carried non-erosively through the project area. Integrity of downstream drainage systems shall be maintained.
- (11) Natural drainage patterns and conveyances, including intermittent streams, swales, and drainage ditches shall be maintained to the extent practical to convey runoff from the project area. Perimeter controls shall not be placed within wetlands or intermittent and perennial stream channels.
- (12) Disturbed areas that will remain idle over the winter period shall employ winter stabilization measures per AOT criteria.
- (13) All erosion and sediment control measures shall be designed and installed in accordance with guidelines via AOT criteria.
- (14) All erosion control measures and related drainage ways shall be routinely inspected and maintained by a qualified professional to ensure measures remain in functioning condition until final site stabilization is accomplished. See § 290-6 .
- (15) All temporary erosion and sediment control measures and accumulated sediment shall be removed after final site stabilization.

**290-7 Stormwater Management and Erosion Control Plan (SMECP) Contents.**

A. SMECP Contents/Descriptions:

- (1) Proposed development activity, the construction period and timing, the proposed changes in existing land use, land cover and changes in impervious areas and how the various local and state stormwater management and erosion control standards will be met.
- (2) On-site and adjacent wetlands, streams and other water bodies or natural resources and the methods used to identify these resources.
- (3) Low-Impact Development (LID) practices and other protective measures to limit impacts to adjacent natural resources and water bodies.
- (4) Applicable buffer setbacks, steep slopes, critical areas, existing mature vegetation, unique habitat conditions, 100-year floodplain limits, man-made and natural drainage conveyances and constraints and known water quality.
- (5) Proposed erosion control and stormwater treatment measures, dewatering methods, methods and calculations of stormwater runoff rate and volumes and BMP sizing, demonstration of no downstream impacts, inspection and maintenance procedures including discussion of roles and responsibilities and contingency measures for extreme precipitation events during construction.
- (6) Calculations for the infiltration or exfiltration system, test pit information including estimated seasonal high-water table elevation for any proposed infiltrating or exfiltrating device. These calculations should also account for frozen ground conditions, when the devices may not function at their optimal design.
- (8) The SMECP and Drainage Plans shall be PE certified.
- (9) An erosion control inspection and maintenance plan that describes inspection protocols, frequency, reporting, roles and responsibilities, contact information and contingency plans for extreme weather events.
- (10) A long-term post-construction stormwater BMP maintenance plan that describes inspection and maintenance procedures for all post-construction stormwater control measures including a description of the responsible party that will perform the long-term maintenance, reporting procedures and process for corrective actions.

B. Plans of both existing and proposed conditions:

- (1) Locus map.
- (2) Parcel map showing property boundaries and any existing and proposed easements.
- (3) North arrow, scale, date and existing and proposed topographic contours.
- (4) Existing and proposed structures, utilities, roads and limits of other paved areas.
- (5) Locations and limits of CRITICAL AREAS within the Project Area and within 200 feet of project boundary and surface waters and wetlands.
- (6) Surface water and wetlands, drainage patterns, and watershed boundaries.
- (7) Limits of disturbance, areas of cut and fill and limits and types of existing mature vegetation.
- (8) Locations and detail notes of the sediment and erosion control measures including temporary and permanent stabilization measures, perimeter controls, slope stabilization, construction access pads and spill containment measures to be used at various locations and stages of construction.
- (9) Proposed stockpiles, equipment storage and refueling areas, and a plan for stump and debris removal.
- (10) Identify locations and type of sanitary and solid waste disposal facilities, if applicable.
- (11) Construction schedule, phasing and grading details.
- (12) Extent of 100-year floodplain boundaries if published or determined.
- (13) Soils data.
- (14) Identify wetland impact areas (Not Applicable)
- (15) Identification of permanent stormwater treatment BMPs and associated design and sizing details.
- (16) Locations of post-construction snow storage areas and temporary snow storage area during construction.
- (17) The direction of flow of runoff using arrows and location, elevation, and size of all existing and proposed catch basins, dry wells, drainage ditches, swales, retention basins, and storm sewers.
- (18) As applicable, test pit log forms, subsurface inspection results and infiltration rates.
- (19) Location and description of nearest receiving water (include at least 1/4 mile downstream), drainage channels, conveyance systems and information on water quality impairments.
- (20) A demonstration or explanation showing the adequate capacity of the downstream system to handle flow conditions after Development.
- (21) A demonstration or explanation showing that the Development of the site shall not affect the downstream systems negatively.

**290-8 Required Actions following Plan Approval and Prior to Construction.**

A. Construction Plan Documents and Approvals:

- (1) Stamped copies required to Town.
- (2) Planning Department to confirm/annotate official construction plan set.
- (4) Bonding may be required by Town Engineer.
- (5) Inspection/Monitoring Escrows may be required by the Town.
- (6) Owner finalizes EPA NOT in accordance with Federal Regulations

B. Roles and Responsibilities:

- (1) Owner is legally responsible for implementing/constructing/disposition of all stormwater management and erosion control measures required by the provisions of this regulation.
- (2) Owner is legally responsible for implementing the SMECP.
- (6) Provide an emergency contact name and number for stormwater management emergency incidents. The contact name and number shall remain current during the life of the permit and shall be able to respond to an emergency as soon as possible and no more than four hours at any given time.

C. Preconstruction Meeting:

- (1) Mandatory with the Town Engineer at least two weeks prior to commencement of construction. Perimeter erosion controls and any markings or protective fencing indicating no-disturbance areas shall be installed and be clearly visible prior to the preconstruction meeting.

**290-9 Inspection and Maintenance Plan.**

A. Long-term Operations and Maintenance O&M Plan: Execute an enforceable operations and maintenance plan for both erosion control measures and permanent stormwater treatment measures as well as related protective covenants or land preservation commitments with a long-term agreement that specifies who will be responsible for inspecting and maintaining the long-term integrity and the stormwater BMP functions and protected area. The operations and maintenance shall be provided to the Planning Board as part of the application prior to issuance of any local permits for land disturbance and construction activities. The Plan shall include the following items at a minimum:

- (1) This agreement will identify the Owner/ Operator and their successor that will be responsible for perform the inspections and maintenance and the ability to access these BMPs including all maintenance easements required to access and inspect the stormwater treatment practices, and to perform routine maintenance as necessary to ensure proper functioning of the stormwater system.
- (2) During the construction period, inspections shall be conducted at least once every 7 days or once every 14 days and within 24 hours of the end of a storm event of 0.5 inch or greater.
- (3) Permanent Stormwater BMPs shall be inspected annually following post-construction.
- (4) The O&M plan shall specify the parties responsible for the proper maintenance of all stormwater treatment practices.
- (5) The approved plan shall be incorporated into the Development Agreement and recorded at the HCRD. The narrative shall be in the form of a typical SITE PLAN Management or Development Agreement, or as otherwise set forth by the Planning Board.

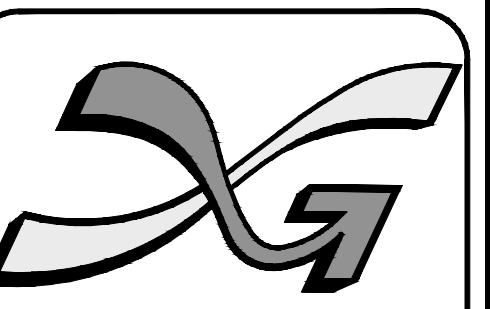
B. Inspection reports are to be kept on-site in a location easily accessible to a Town Engineer.

**290-10 Other Required Permits.**

- A. NHDES AOT  
 B. EPA NOI/SWPPP

**290-11 Post-Construction Reports and Recordkeeping.**

- A. Treatment BMPs shall be inspected annually and maintained as needed, and documented:  
 (1) All inspections records must be made available to the Town upon request.  
 (2) As-Built Plans shall be submitted to the Town within 2 years upon project completion.  
 (3) EPA NOT copy shall be provided to the Town upon full completion/stabilization.  
 B/C Notification of spills or other non-stormwater discharges - required of Owner to Town.



**The Dubai Group, Inc.**

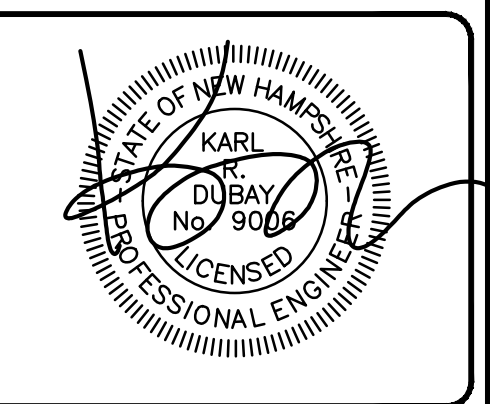
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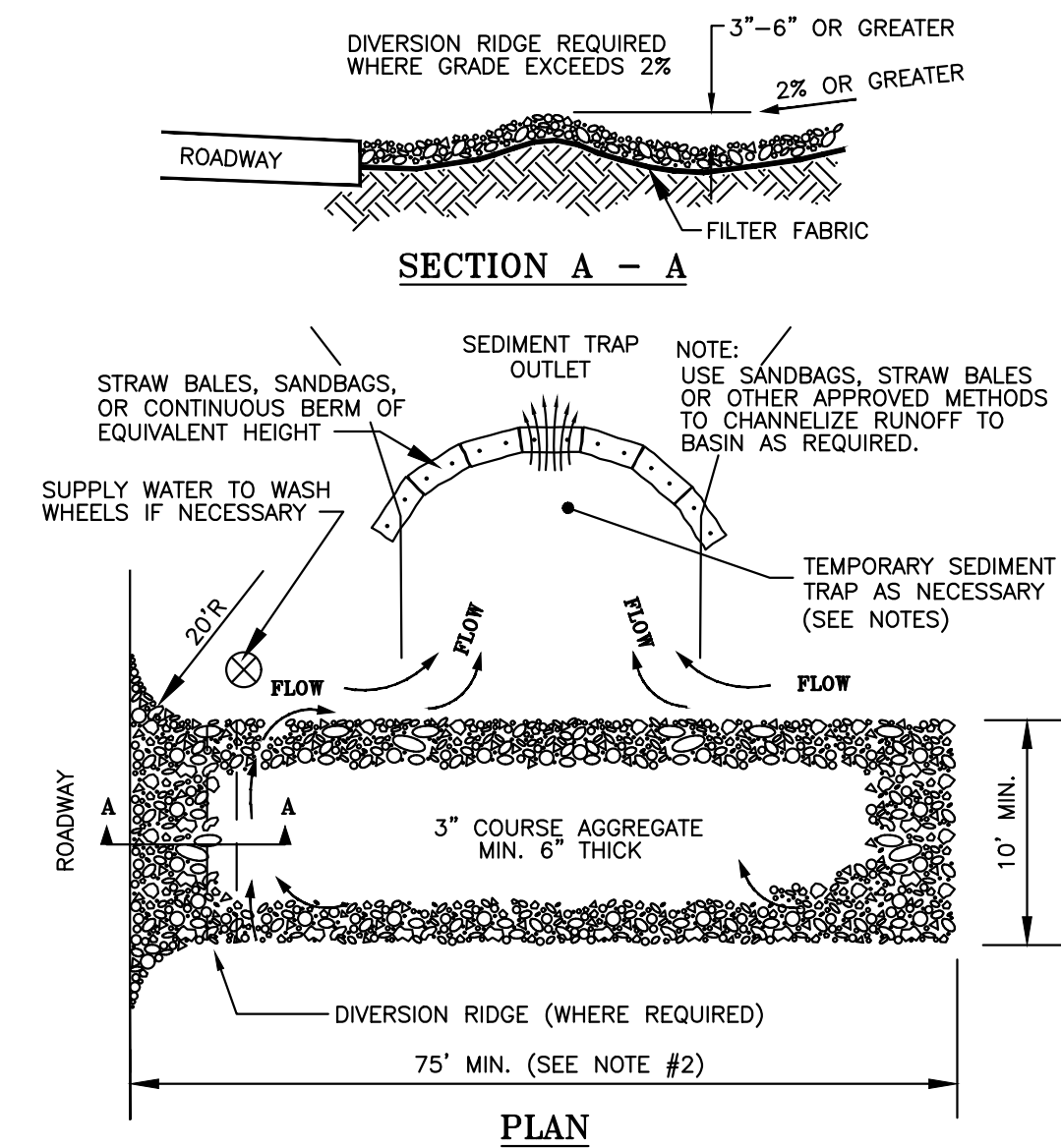
**SITE**  
**DETAILS 1**

PROJECT #475 SHEET D1

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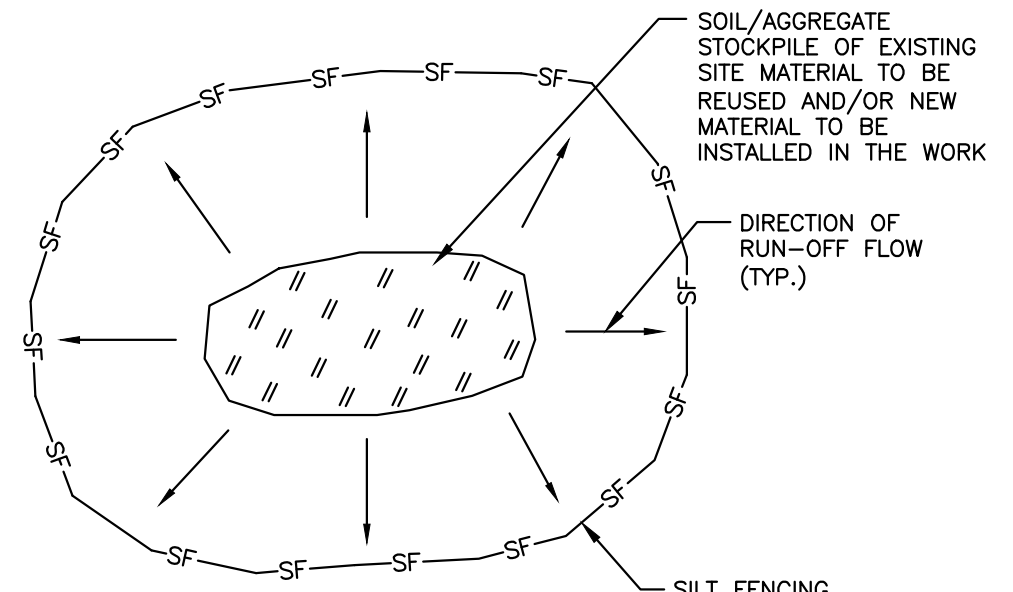


**TEMPORARY CONSTRUCTION EXIT**

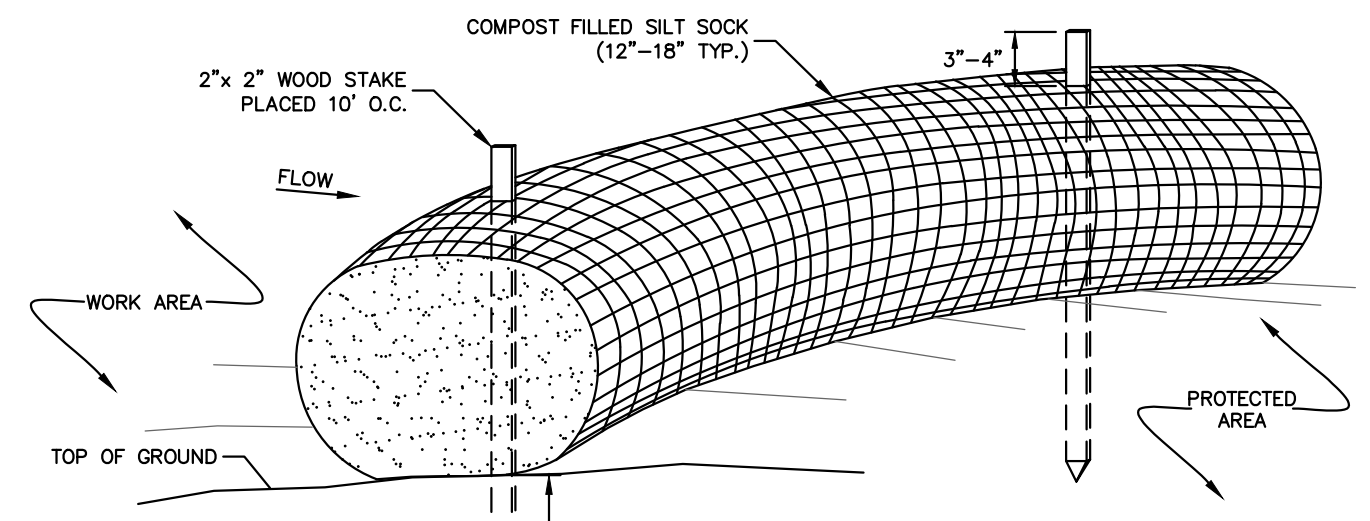
1. THE MINIMUM STONE USED SHALL BE 3-INCH CRUSHED STONE.
2. THE MINIMUM LENGTH OF THE PAD SHALL BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
3. THE PAD SHALL EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
4. THE PAD SHALL SLOPE AWAY FROM THE EXISTING ROADWAY.
5. THE PAD SHALL BE AT LEAST 6 INCHES THICK. A GEOTEXTILE FILTER FABRIC SHALL BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
6. THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
7. A STABILIZED CONSTRUCTION EXIT CONSISTS OF A PAD OF STONE AGGREGATE PLACED ON A GEOTEXTILE FILTER FABRIC, LOCATED AT ANY POINT WHERE TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE TO AN EXISTING ACCESS ROAD WAY OR OTHER PAVED SURFACE. ITS PURPOSE IS TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO PUBLIC ROADS BY CONSTRUCTION VEHICLES. THIS HELPS PROTECT RECEIVING WATERS FROM SEDIMENT CARRIED BY STORMWATER RUNOFF FROM PUBLIC ROADS.
8. ONLY CONSTRUCTION TRAFFIC LEAVING THE SITE SHALL TO USE THE TEMPORARY STABILIZED EXIT. CONSIDER PROVIDING A SEPARATE, UNPROTECTED, ENTRANCE FOR TRAFFIC ENTERING THE SITE. THIS WILL INCREASE THE LONGEVITY OF THE STABILIZED EXIT BY ELIMINATING HEAVY LOADS ENTERING THE SITE AND REDUCING THE TOTAL TRAFFIC OVER THE DEVICE.
9. LOCATE CONSTRUCTION ENTRANCES AS SHOWN ON THE PLAN.
10. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR MAINTENANCE OF ANY MEASURES USED TO TRAP SEDIMENT.
11. THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY.
12. WHEN THE CONTROL PAD BECOMES INEFFECTIVE, THE STONE SHALL BE REMOVED ALONG WITH THE COLLECTED SOIL MATERIAL, REGRADED ON SITE, AND STABILIZED. THE ENTRANCE SHALL THEN BE RECONSTRUCTED.
13. THE CONTRACTOR SHALL SWEEP THE PAVEMENT AT EXITS WHENEVER SOIL MATERIALS ARE TRACKED ONTO THE ADJACENT PAVEMENT OR TRAVELED WAY.
14. WHEN WHEEL WASHING IS REQUIRED, IT SHALL BE CONDUCTED ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS INTO AN APPROVED SEDIMENT-TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.
15. NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHALL BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
16. THESE REQUIREMENTS MAY BE ADJUSTED TO SPECIFIC SITE CONDITIONS PER THE DIRECTION OF JURISDICTIONAL TOWN AND STATE AUTHORITIES, PER SWPPP INSPECTION/MANAGEMENT PROCESSES, AND PER BEST MANAGEMENT PRACTICES.

**STABILIZED TRACKING PAD DETAIL**

NOT TO SCALE



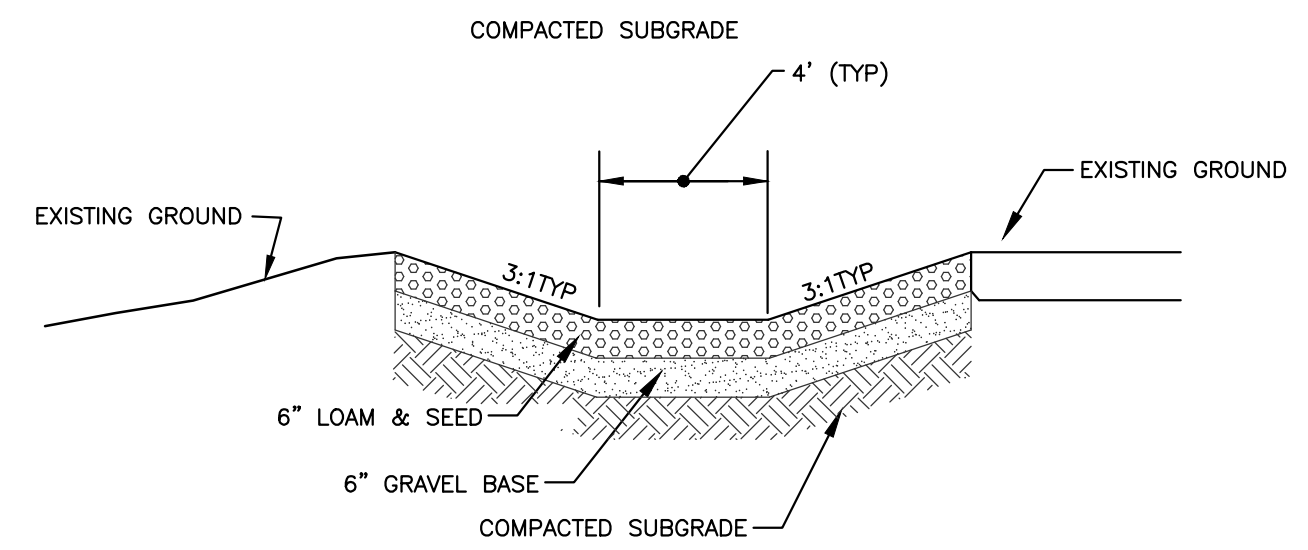
- NOTES:**
1. ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
  2. RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
  3. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
- MATERIALS STOCKPILE DETAIL**  
NOT TO SCALE



- NOTES**
1. SILT SOCK SHALL BE FILTREXX™ SILT SOCK™ OR APPROVED EQUIVALENT.
  2. SEE SPECIFICATIONS FOR SOCK SIZE AND COMPOST FILL REQUIREMENTS.
  3. SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED.
  4. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.

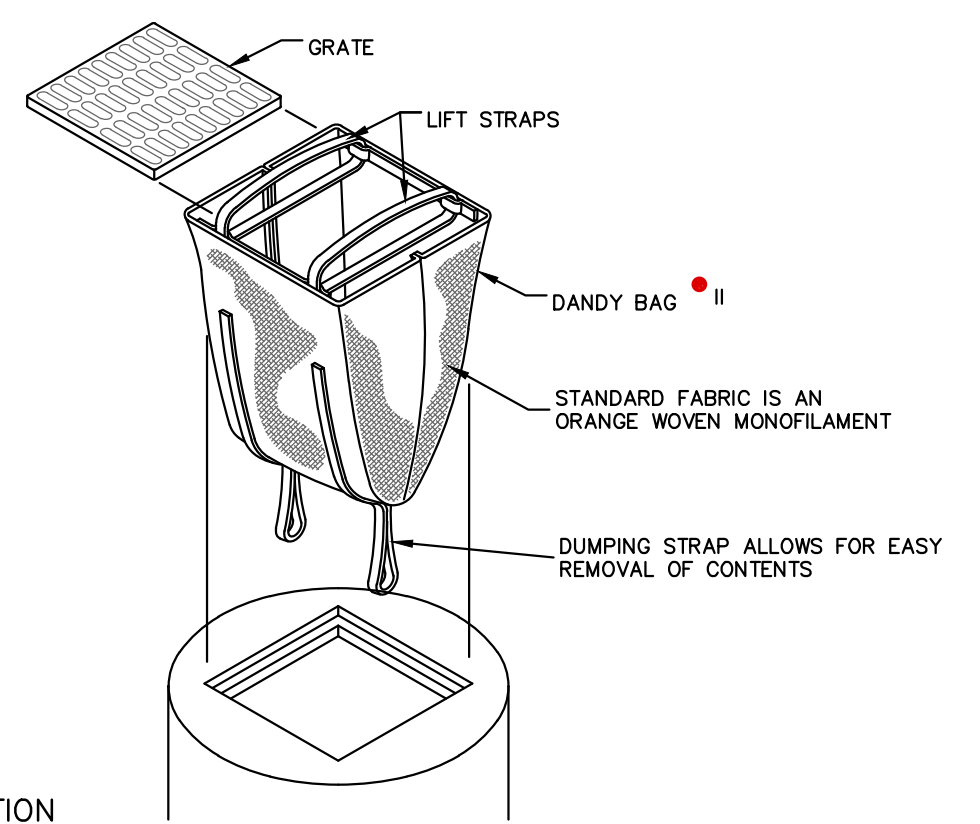
**SILT SOCK DETAIL**

NOT TO SCALE



**TYPICAL GRASS LINED SWALE**

NOT TO SCALE

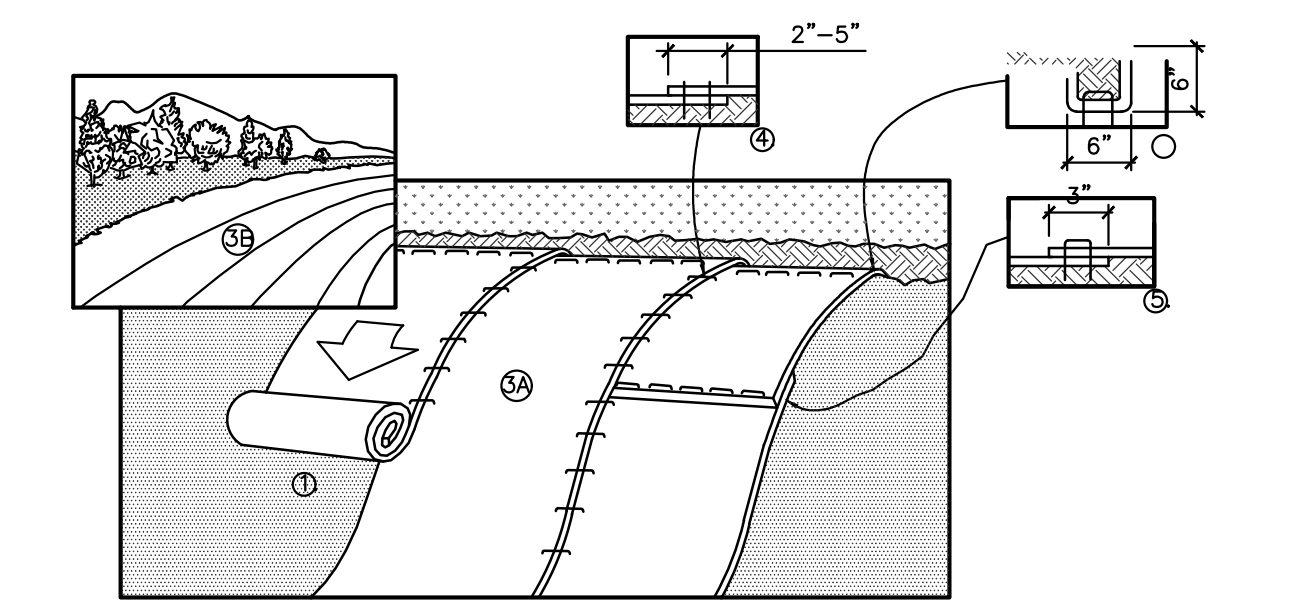


**INSTALLATION**  
INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS, PLACE ABSORBENT PILLOW IN UNIT. STAND THE GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY BAG® II SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

**MAINTENANCE**  
MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY BAG® II. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS, REPLACE ABSORBENT WHEN NEAR SATURATION.

**DANDY BAG® II**

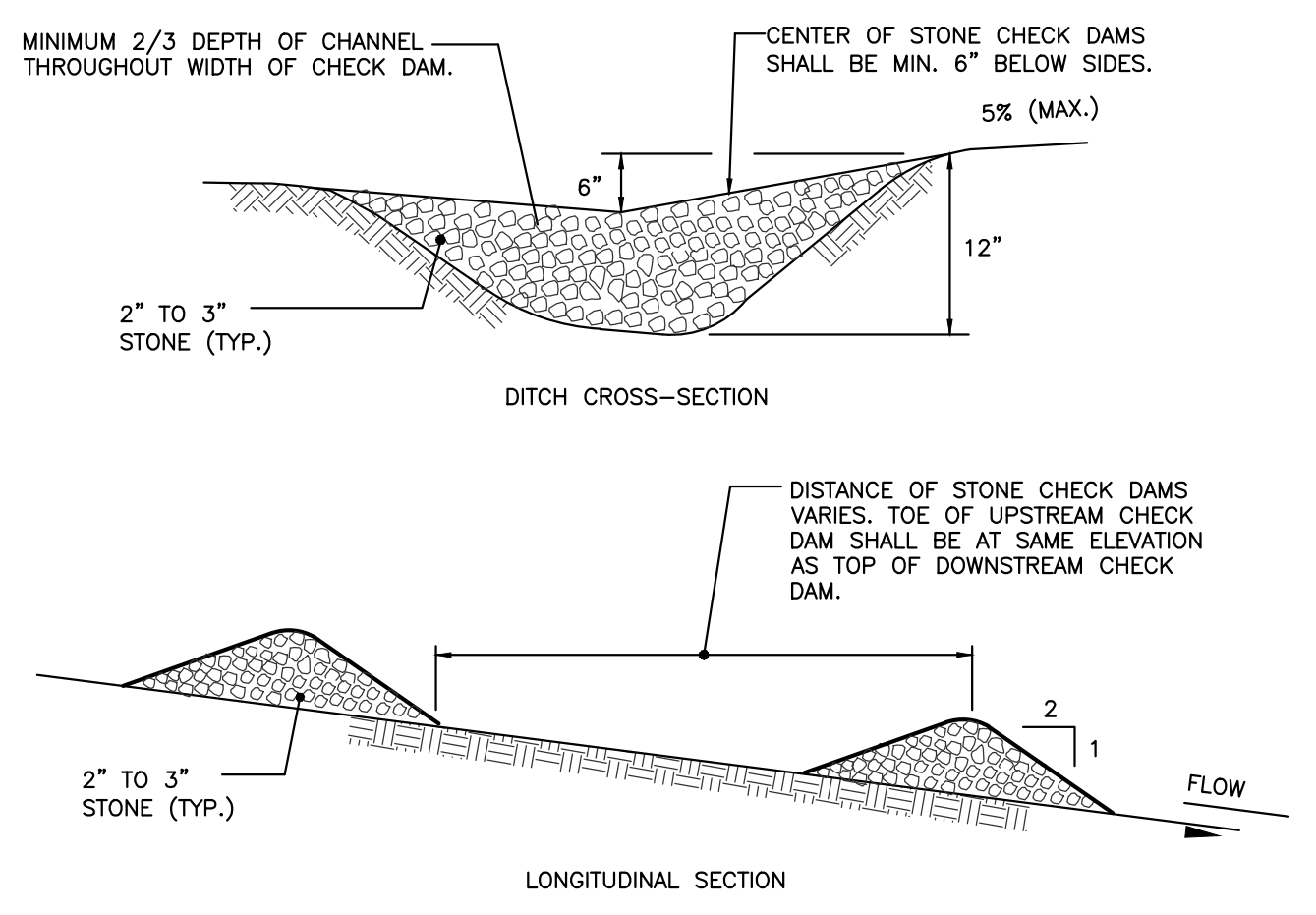
NOT TO SCALE



- MATting INSTALLATION NOTES**
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
  2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
  3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
  4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
  5. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
  6. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
  7. INSTALL PRODUCT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- \* DUE TO THE POTENTIAL OF ENDANGERED SPECIES ON SITE, CONTRACTORS SHALL USE ROLLMAX BIONET C125BN EROSION CONTROL BLANKET OR EQUIVALENT. BLANKETS ARE MADE OF 100% COCONUT FIBER AND ARE 100% BIODEGRADABLE.

**SLOPE PROTECTION EROSION CONTROL MATTING**

NOT TO SCALE



**STONE CHECK DAM DETAILS**

NOT TO SCALE

N:\PROJECTS\475-Five Way Realty - Hudson\DWG\CURRENT\475-DETAILS.dwg

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.	APPROVED BY THE HUDSON, NH PLANNING BOARD	
	DATE OF MEETING: _____	
	CHAIRMAN _____	SIGNATURE DATE: _____
	SECRETARY _____	SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.		

**The Dubay Group, Inc.**  
136 Harvey Rd. Bldg B101  
Londonderry, NH 03053  
603-458-6462

Engineers  
Planners  
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REVISIONS:			
REV.	DATE	COMMENT	BY
3	10/5/21	MISC. REVS	WA

DRAWN BY: JGG  
CHECKED BY: KRD  
DATE: AUG. 3, 2021  
SCALE: AS SHOWN  
FILE: 475-DETAILS  
DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH

PREPARED FOR \_\_\_\_\_

**GFI PARTNERS**

**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
133 PEARL STREET #300  
BOSTON, MA 02110

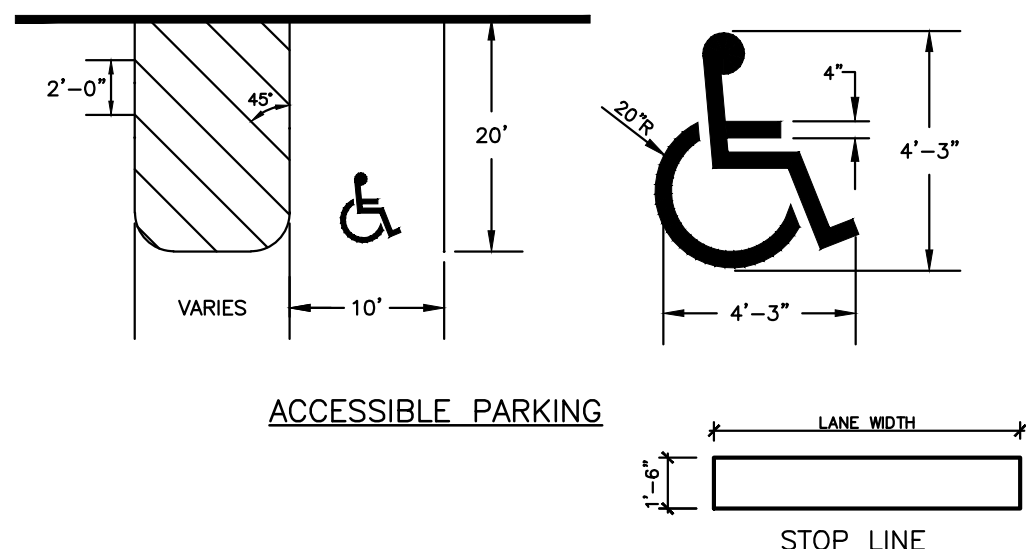
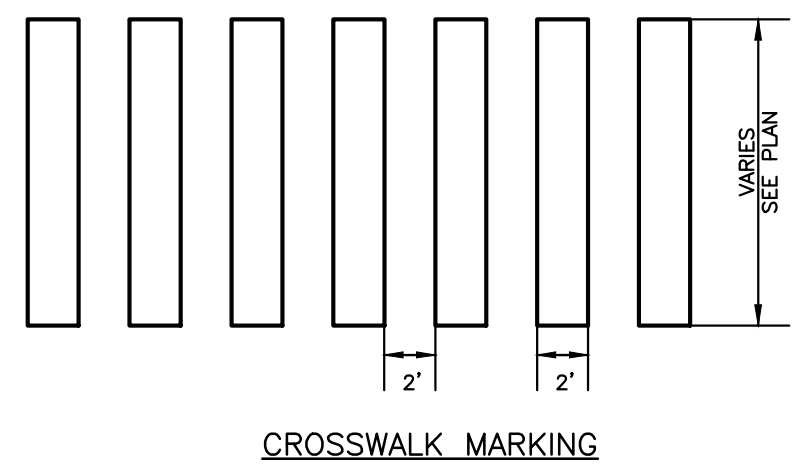
OWNER

**5 WAY REALTY TRUST**  
PETER HORNE, TRUSTEE  
PO BOX 1435  
N. HAMPTON, NH 03862

SHEET TITLE:

**SITE**  
**DETAILS - 3**

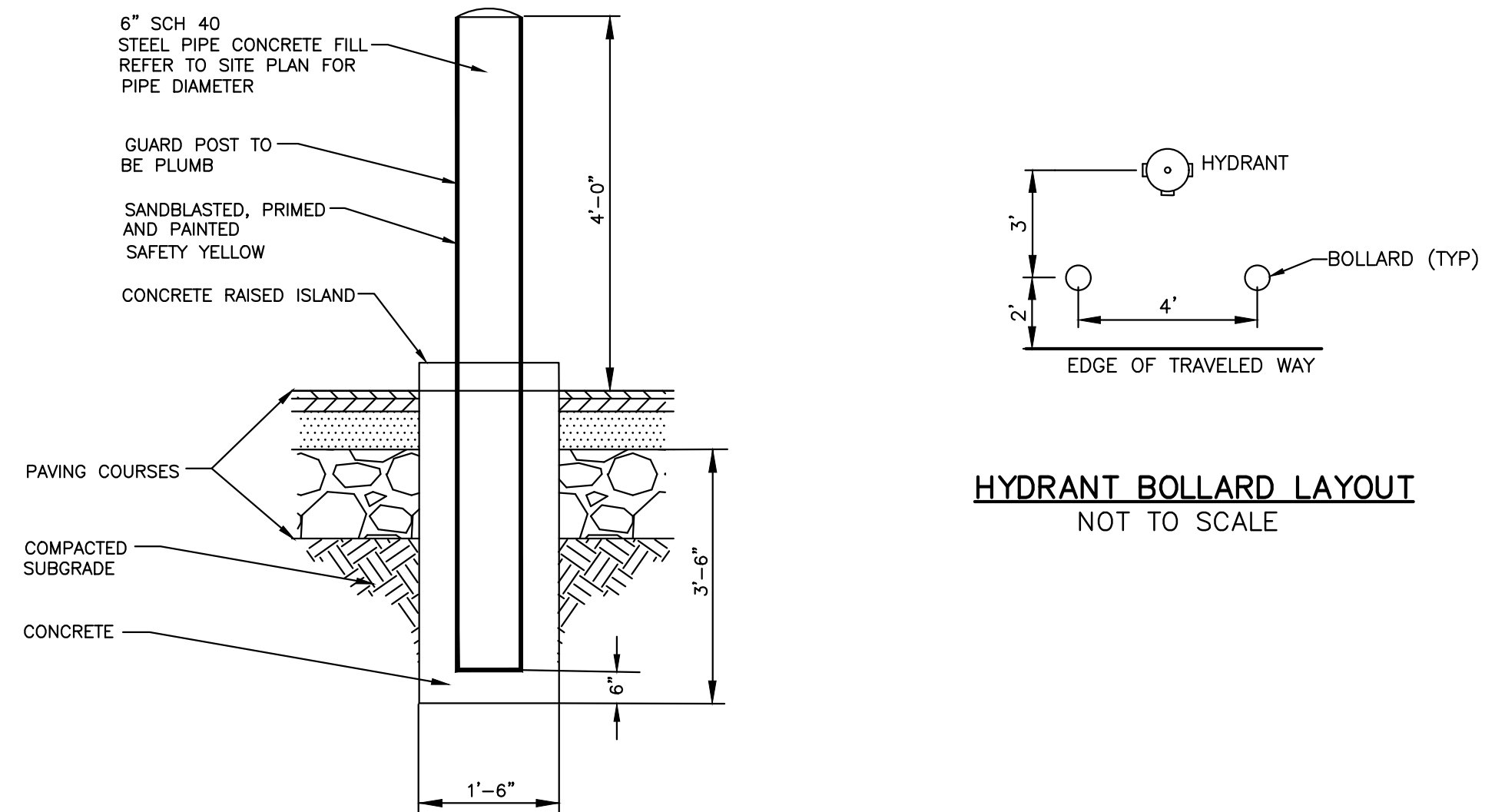
PROJECT #475 SHEET D3



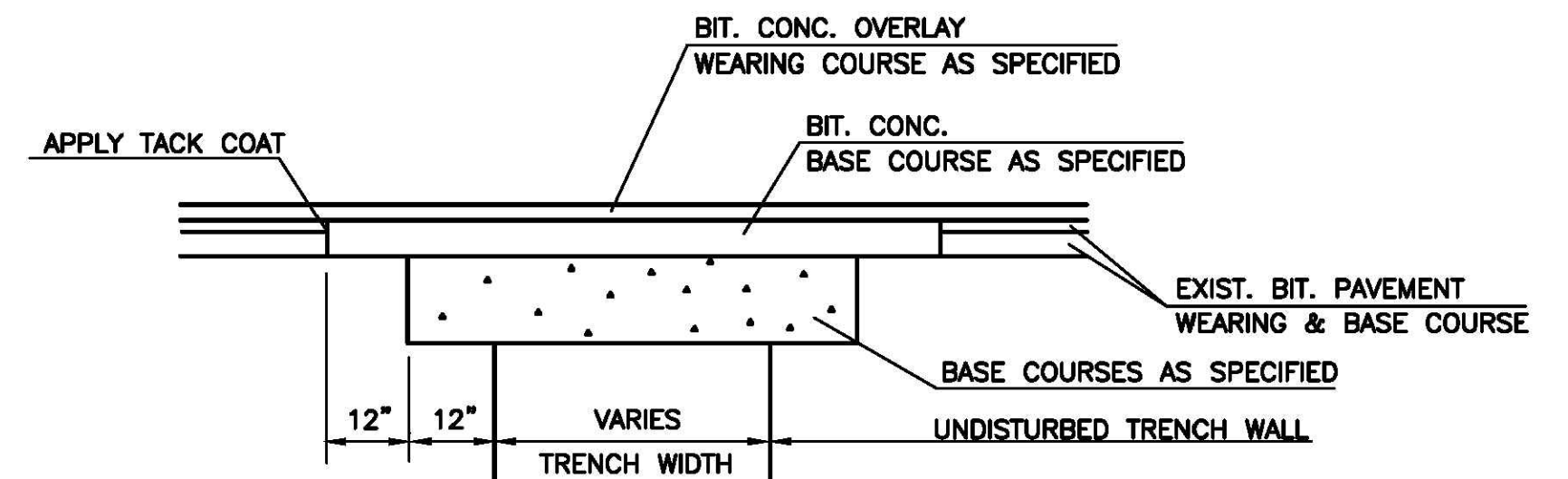
**GENERAL NOTES:**

1. ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE CURRENT EDITION OF MUTCD.
2. WIDTH OF LINES SHALL VARY NO MORE THAN = 1/4 INCH FROM THAT SPECIFIED.
3. THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED.
4. OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.
5. STOP LINES & CROSSWALKS SHALL BE WHITE THERMOPLASTIC.
6. CROSSWALK BARS SHALL BE 24" WIDTH AND 10' IN LENGTH WITH 24" SPACING.

**TYPICAL PAVEMENT STRIPING DETAILS**  
NOT TO SCALE



**HYDRANT BOLLARD LAYOUT**  
NOT TO SCALE

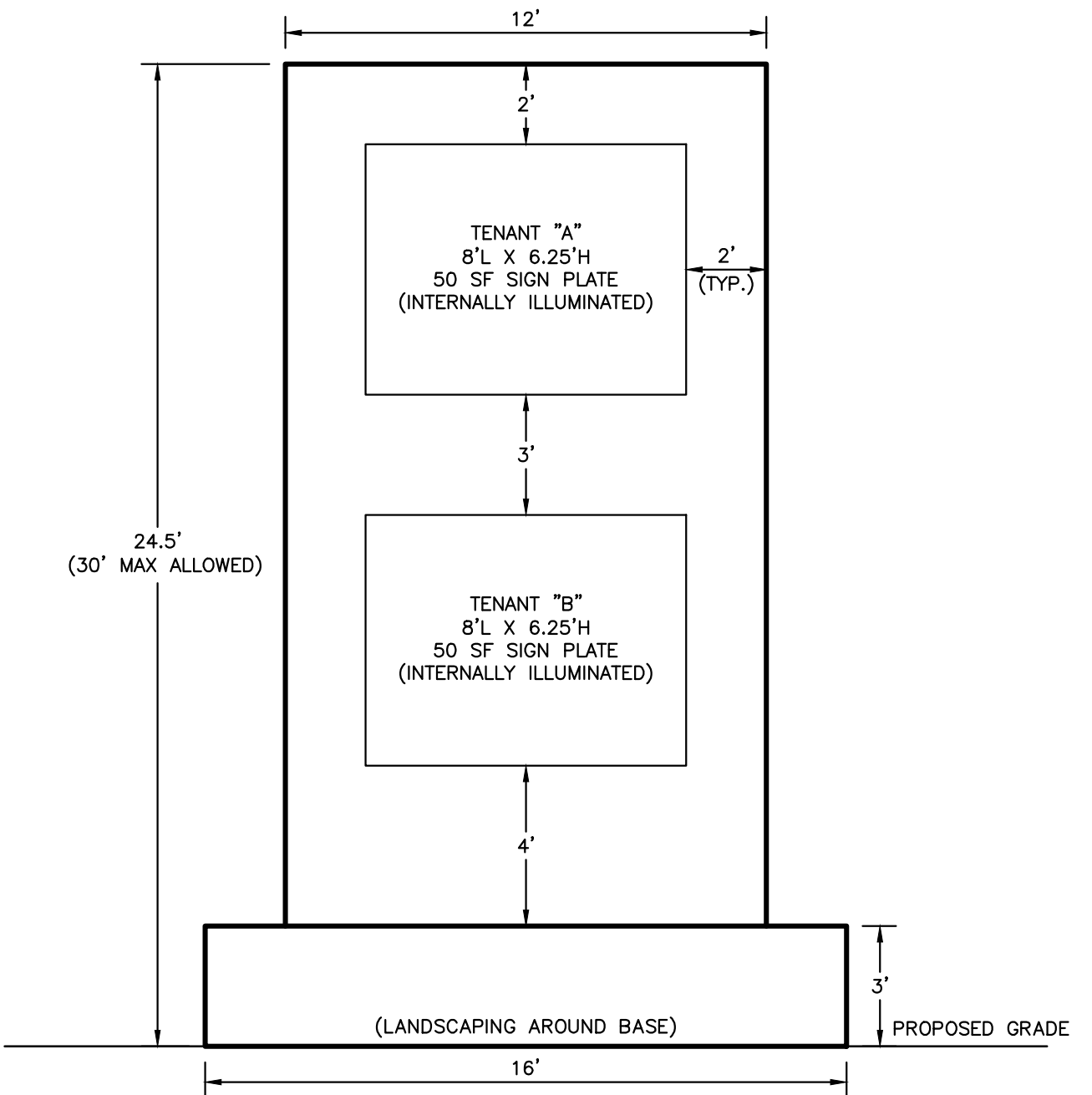


NOTE: AT END OF OVERLAY, SAW CUT AND REMOVE EXISTING PAVEMENT. BUTT PROPOSED OVERLAY TO EXISTING WEARING COURSE.

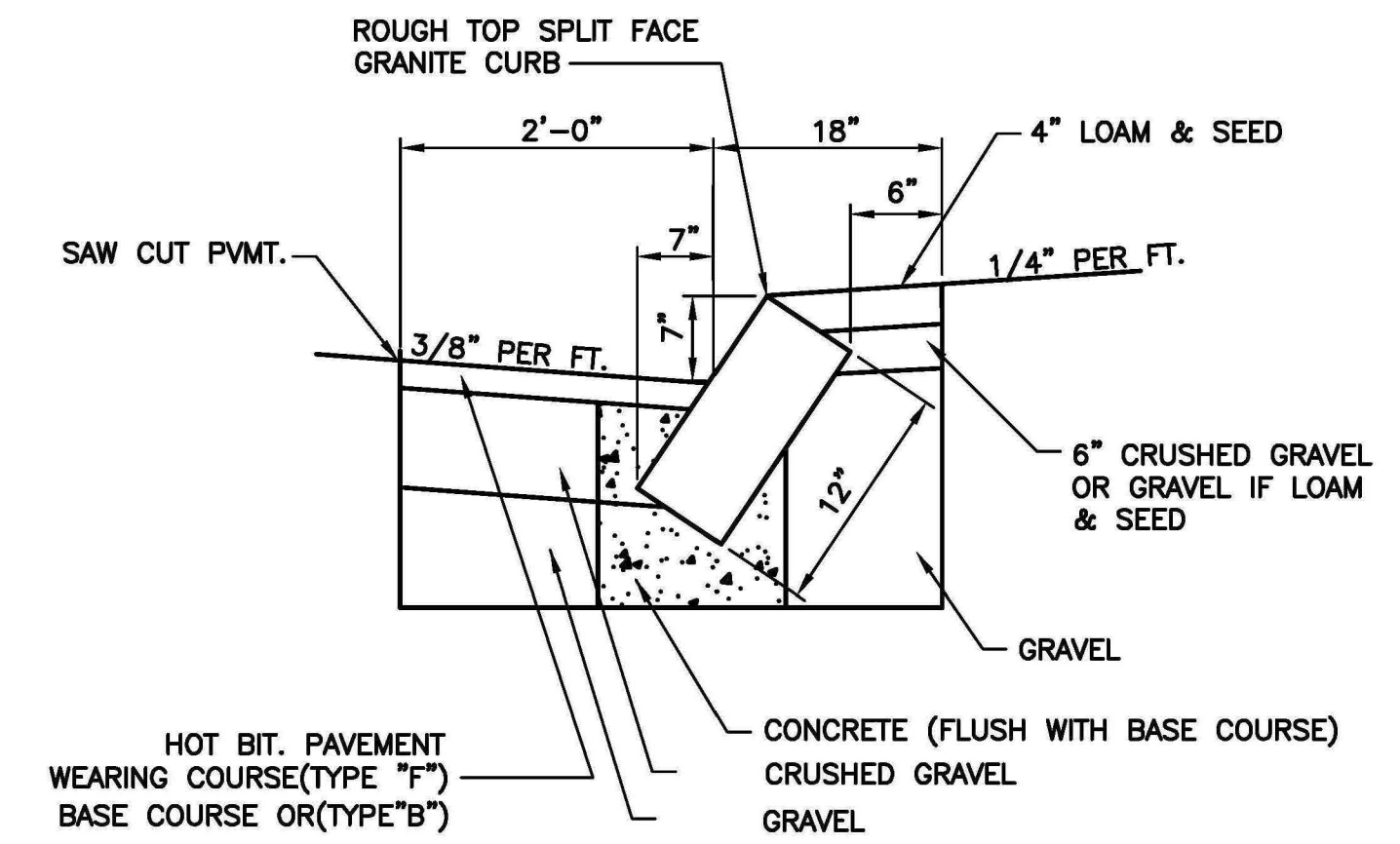
**PAVEMENT PATCH WITH OVERLAY**  
NOT TO SCALE

TOWN OF HUDSON  
12 SCHOOL STREET  
HUDSON, NH 03051

DETAIL R-5  
**PAVEMENT PATCH WITH OVERLAY**  
TOWN OF HUDSON AUGUST-01  
REV: 8/23/19 SCALE: NTS



**MONUMENT SIGN DIMENSIONAL DETAIL**  
1"=4'±



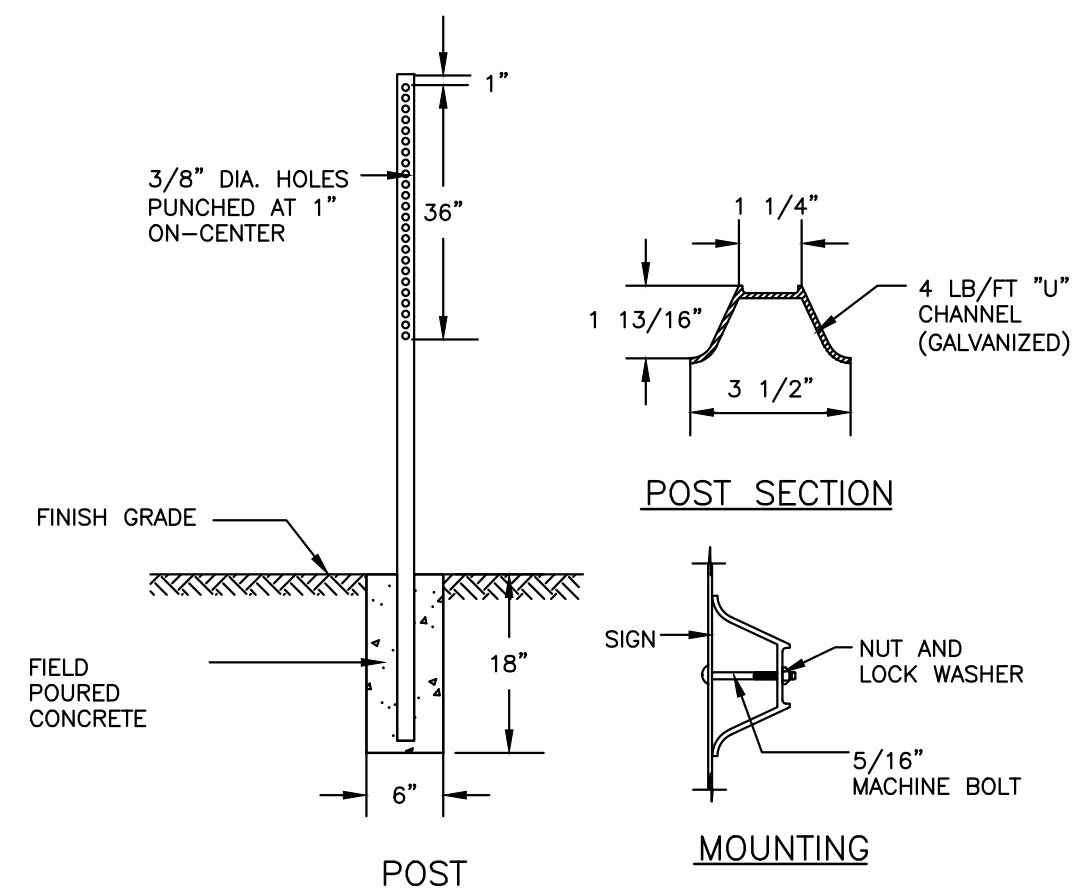
**SLOPED GRANITE CURB REMOVED & RESET OR INSTALLED**  
NOT TO SCALE

TOWN OF HUDSON  
12 SCHOOL STREET  
HUDSON, NH 03051

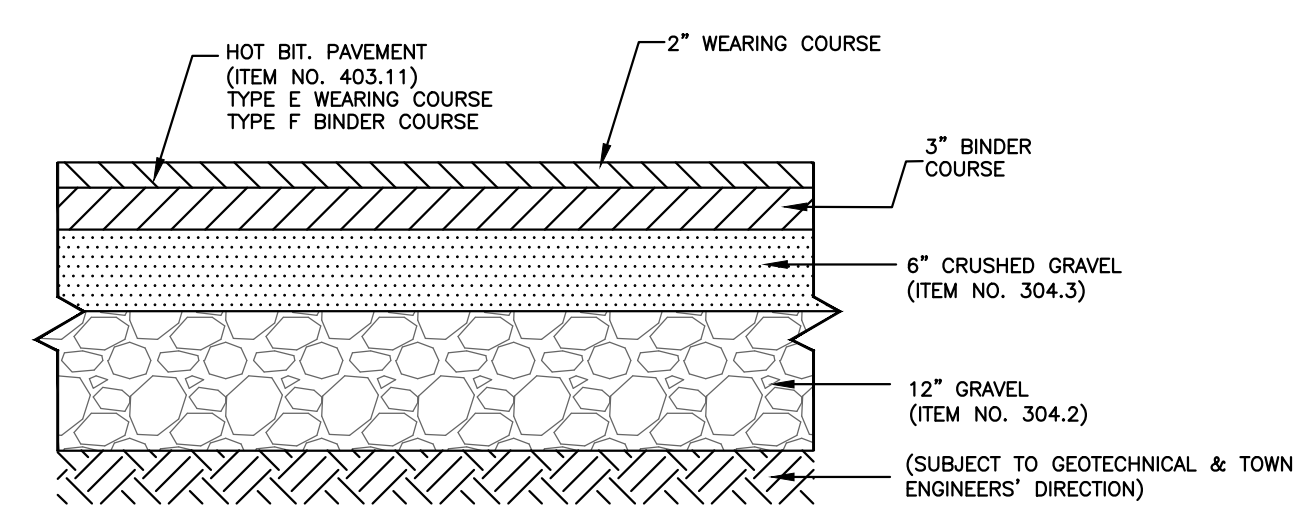
DETAIL R-4  
**SLOPED GRANITE CURB REMOVED & RESET OR INSTALLED**  
TOWN OF HUDSON AUGUST-01  
REV: 8/23/19 SCALE: NTS

IDENTIFICATION NUMBER	SIZE OF SIGN		TEXT
	WIDTH	HEIGHT	
R1-1	30"	30"	STOP
R7-8P6	12"	6"	VAN ACCESSIBLE
R7-8	12"	18"	RESERVED PARKING

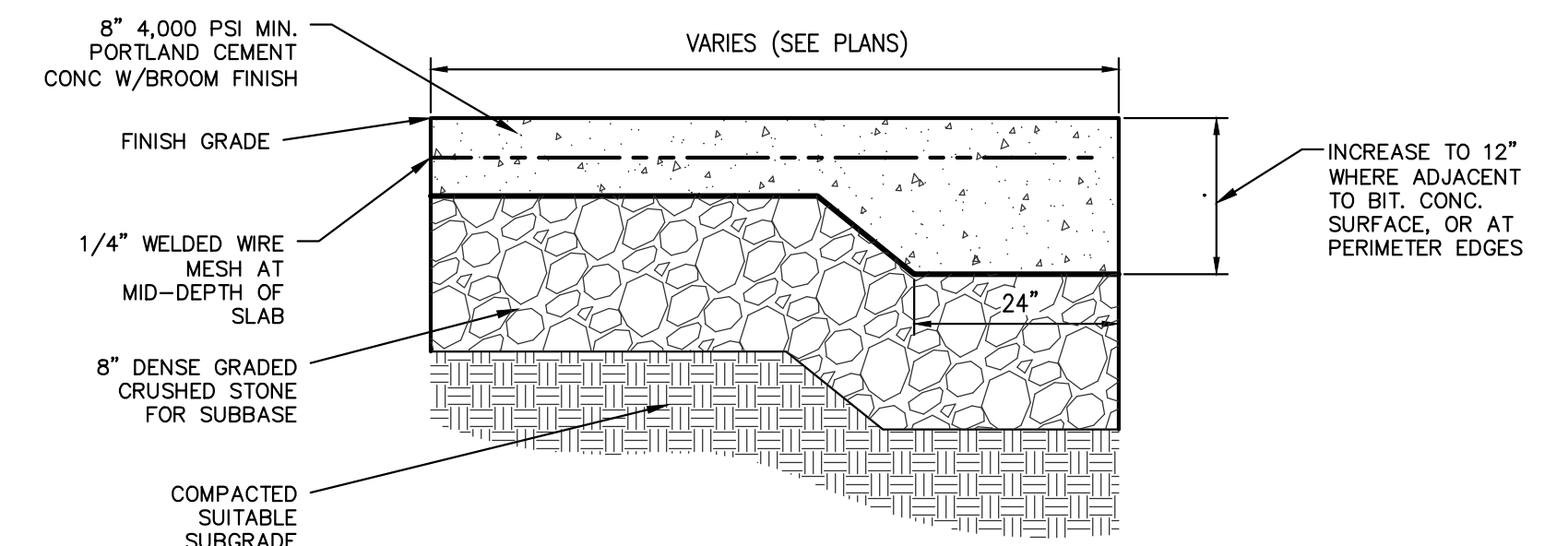
**PROPOSED TRAFFIC SIGN INVENTORY**  
NOT TO SCALE



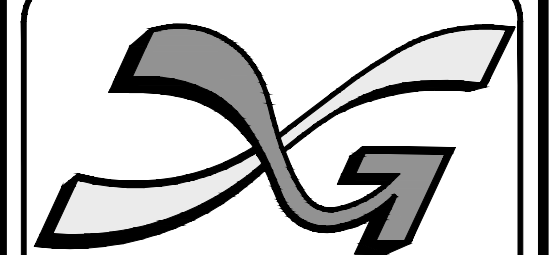
**TYPICAL SIGN POST DETAIL**  
NOT TO SCALE



**TYPICAL PAVEMENT SECTION**  
NOT TO SCALE



**RIGID CONCRETE DETAIL**  
NOT TO SCALE



**The Dubai Group, Inc.**  
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REV.	DATE	COMMENT	BY
1	9/20/21	MISC. REV.	JJG
3	10/5/21	MISC. REVS	WA

DRAWN BY: JJG  
CHECKED BY: KRD  
DATE: AUG. 3, 2021  
SCALE: AS SHOWN  
FILE: 475-DETAILS  
DEED REF:

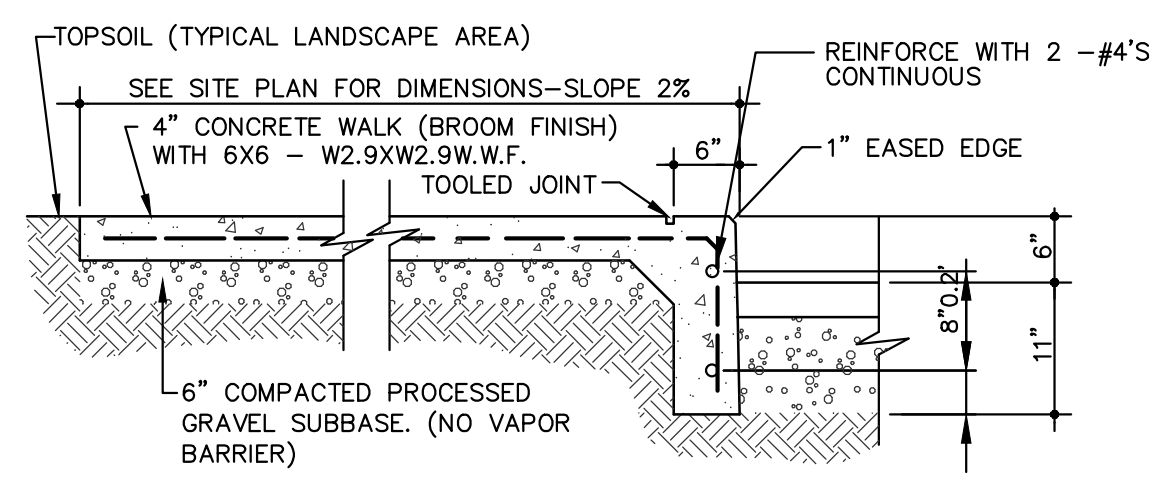
PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH  
PREPARED FOR:



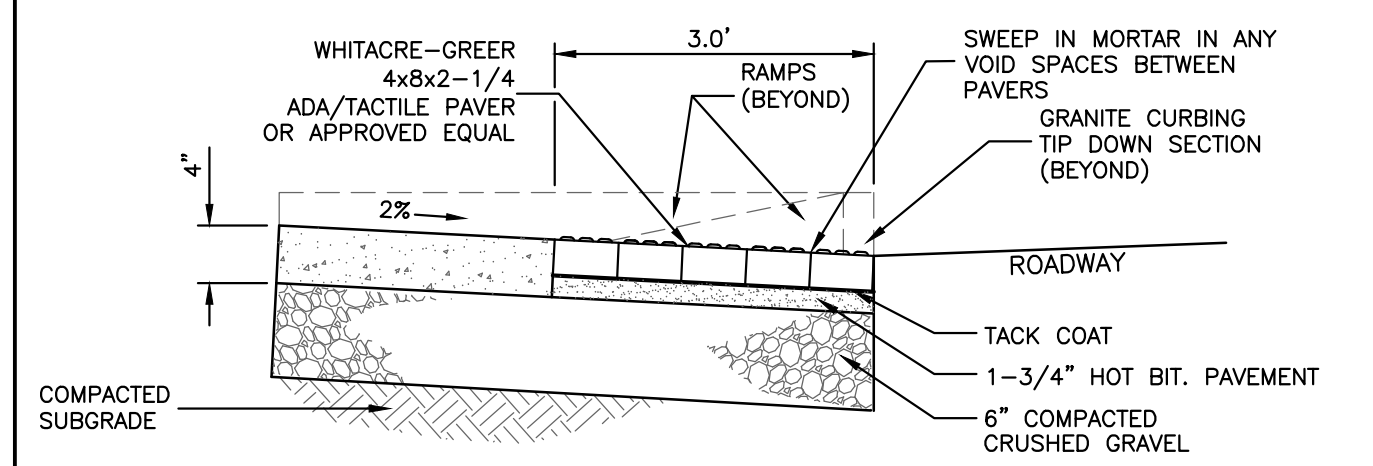
**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
133 PEARL STREET #300  
BOSTON, MA 02110  
OWNER  
**5 WAY REALTY TRUST**  
PETER HORNE, TRUSTEE  
PO BOX 1435  
N. HAMPTON, NH 03862

SHEET TITLE:  
**SITE DETAILS - 4**

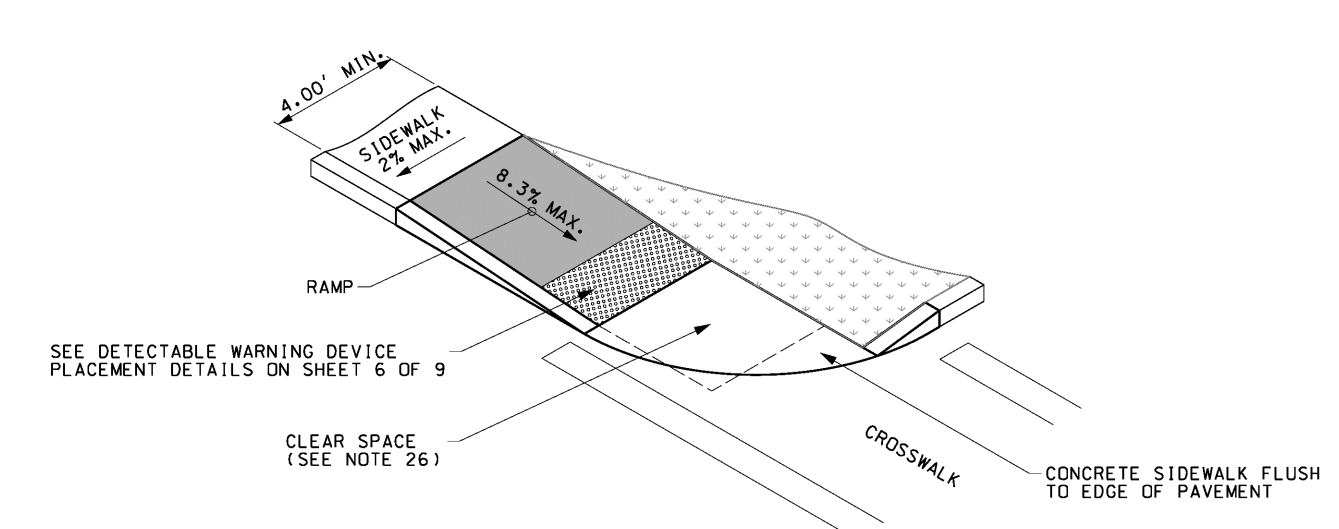
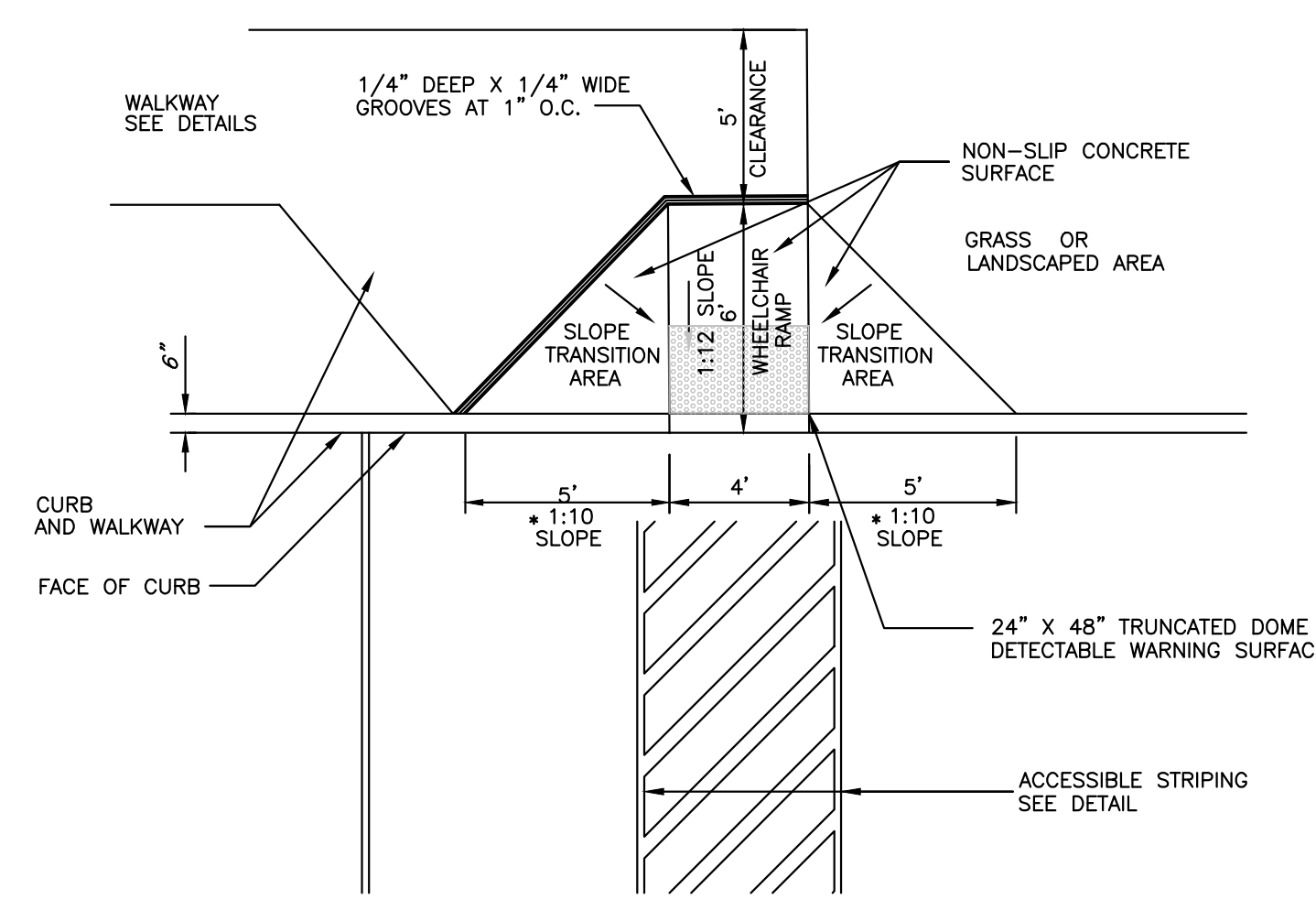
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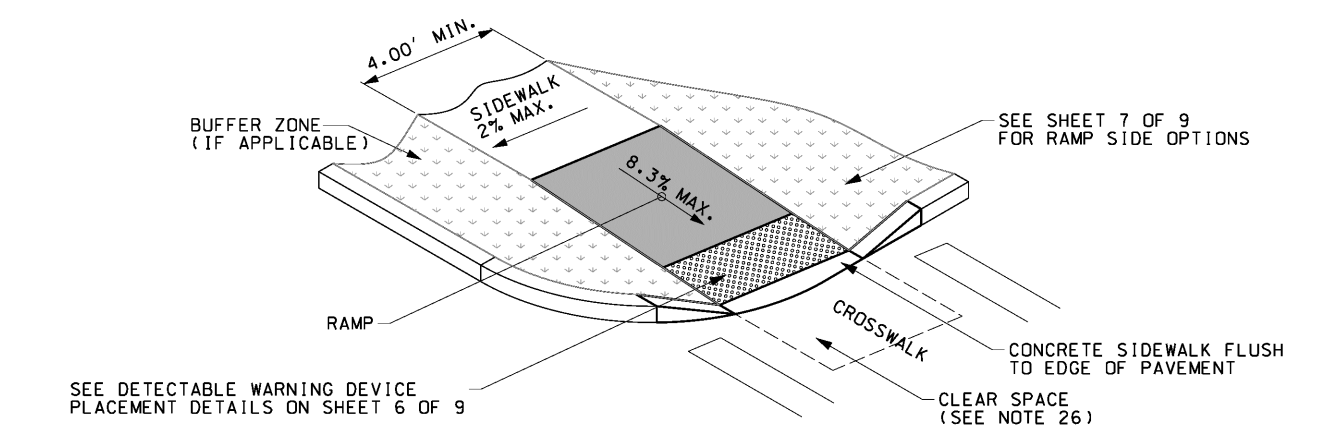
**INTEGRAL WALK DETAIL**  
NOT TO SCALE



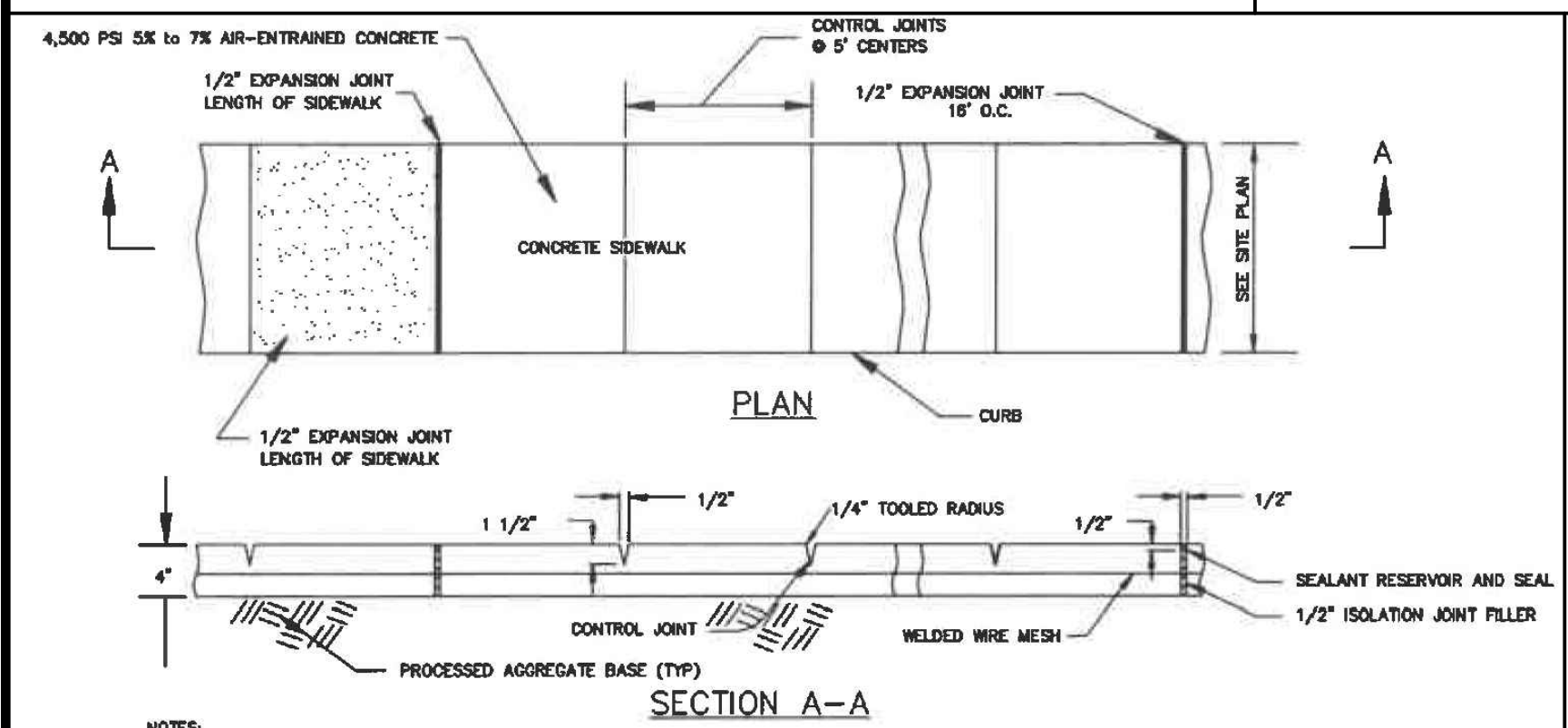
**ACCESSIBLE RAMP DETAIL**  
NOT TO SCALE



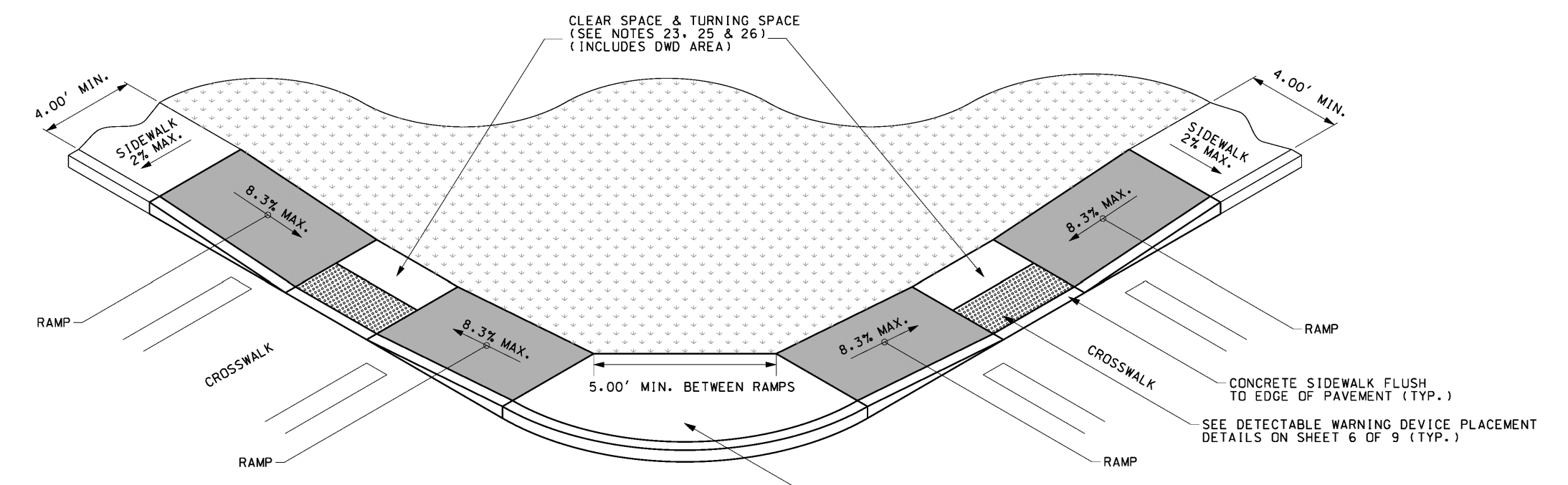
**TYPE 1**



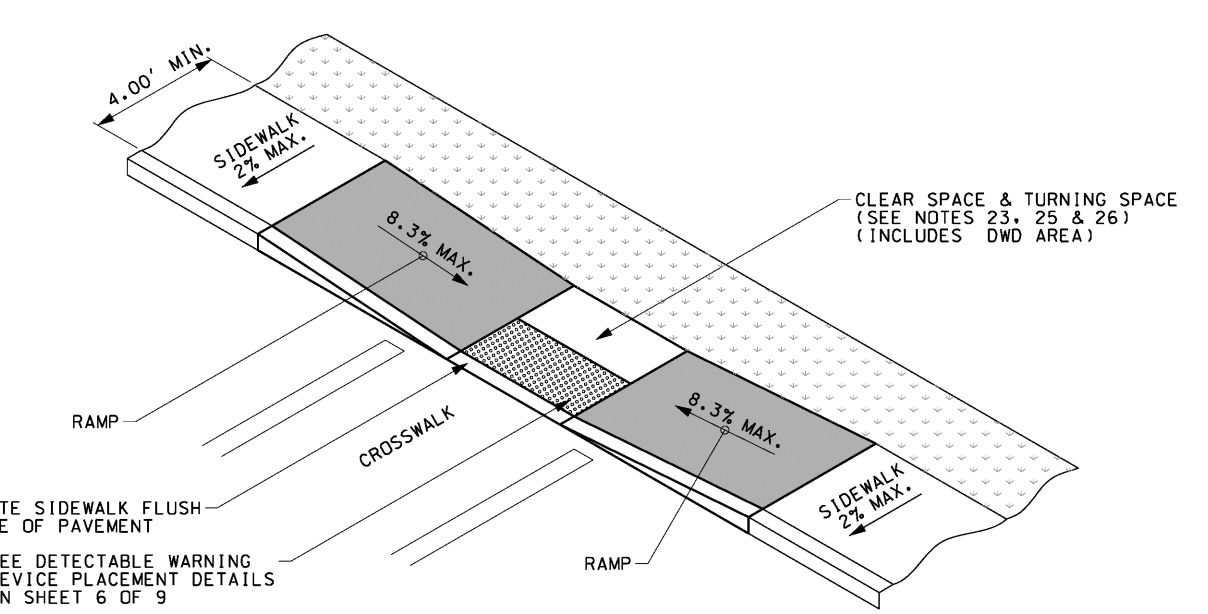
**TYPE 2**



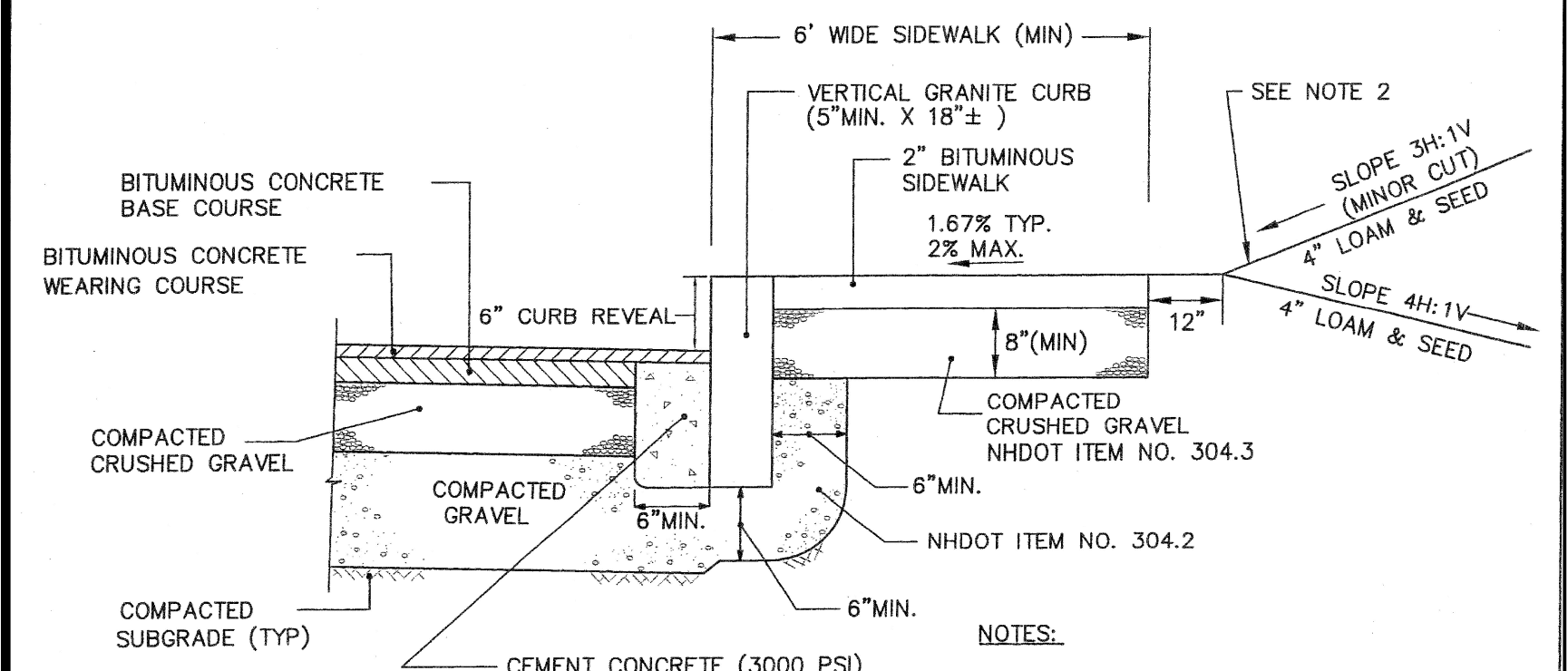
**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



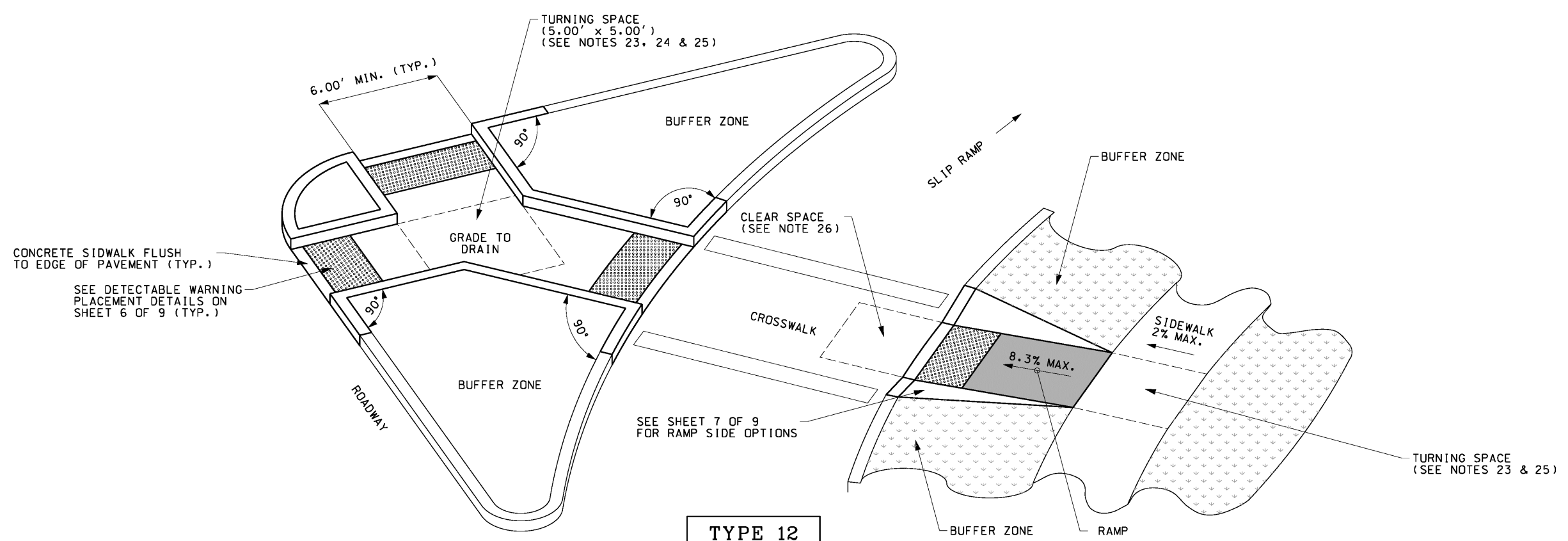
**TYPE 6**



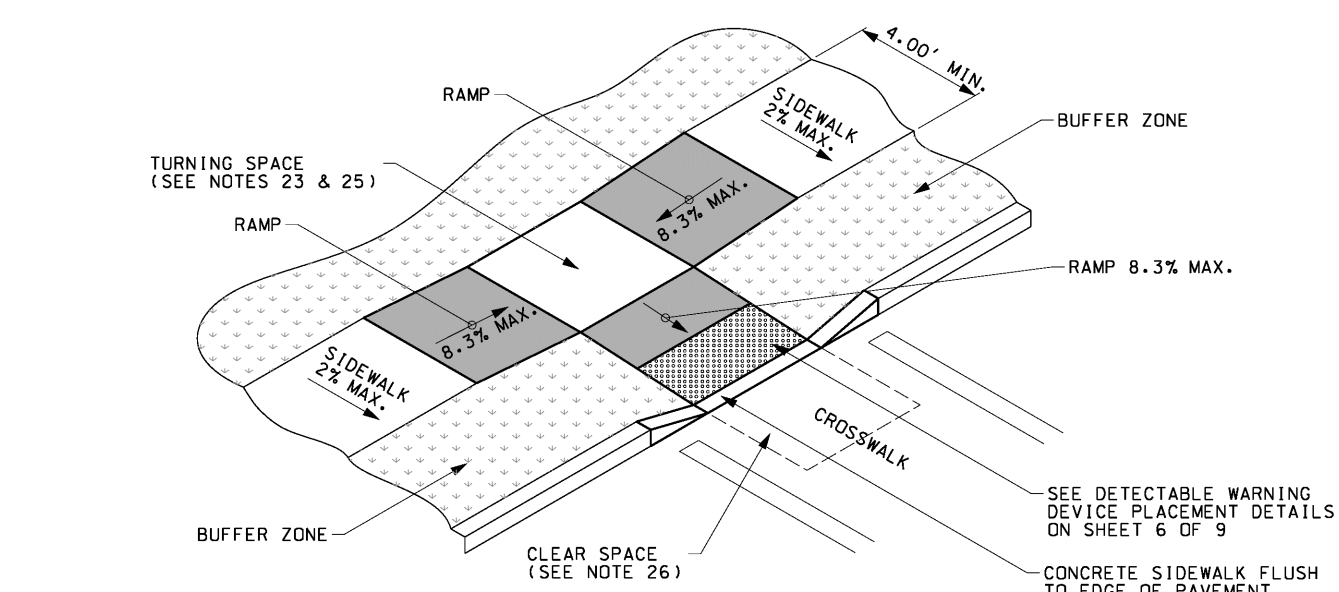
**TYPE 8**  
MID BLOCK CROSSING OR T INTERSECTION



**SIDEWALK AND GRANITE CURB DETAIL**  
NOT TO SCALE  
EXHIBIT R103



**TYPE 12**  
SLIP RAMP



**TYPE 9**  
MID BLOCK CROSSING OR T INTERSECTION

**NOTE: DETAILS SHOWN HERE ARE PROTOTYPICAL. REFER TO NHDOT SIDEWALK CURB RAMP DETAILS (9 SHEETS) FOR ADDITIONAL INFORMATION.**

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

**The Dubay Group, Inc.**  
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Engineers  
Planners  
Surveyors

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DRAWN BY: JGG  
CHECKED BY: KRD  
DATE: AUG. 3, 2021  
SCALE: AS SHOWN  
FILE: 475-DETAILS  
DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH

PREPARED FOR: **GFI PARTNERS**

**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
133 PEARL STREET #300  
BOSTON, MA 02110  
OWNER

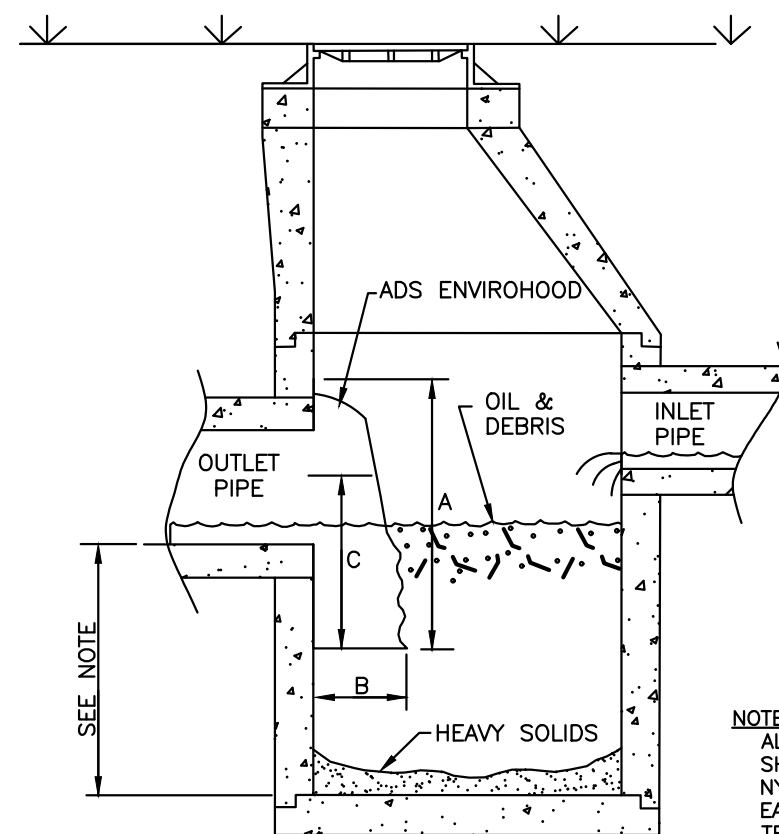
**5 WAY REALTY TRUST**  
PETER HORNE, TRUSTEE  
PO BOX 1435  
N. HAMPTON, NH 03862

SHEET TITLE:  
**SITE**  
**DETAILS - 5**

PROJECT #475 SHEET D5

N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-DETAILS.dwg





(DIM "D" = UNIT WIDTH AT BASE EXCLUDING SURFACE MOUNTING FLANGE)

NOTE: SUMP DEPTH OF 36" FOR 12" OR SMALLER DIAM. OUTLET. FOR 15" AND LARGER OUTLETS USE 2.5-3X OUTLET DIAM.

**TYPICAL INSTALLATION**

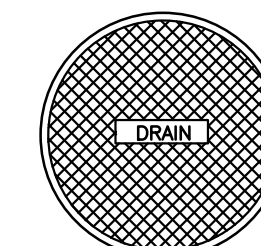
(TO BE INSTALLED IN ALL CATCH BASINS THAT ARE NOT SPECIALTY HYDRODYNAMIC SEPARATORS)

**NYLOPLAST ENVIROHOOD DETAIL**

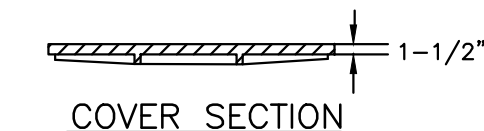
NOT TO SCALE

GENERAL DIMENSIONS IN. (cm)						
STRUCTURE TYPE	OUTLET COVERED	PART NUMBER	A	B	C	D
48" (120 cm) ROUND CONCRETE	UP TO 18" (45 cm)	581BAGR	30.2 (75)	14.9 (35)	17.2 (45)	20.5 (50)
48"-54" (120-135 cm) ROUND CONCRETE	UP TO 24" (60 cm)	5824AGR	41.7 (105)	18.0 (45)	26.9 (70)	26.9 (70)
54"-60" (135-150 cm) ROUND CONCRETE	UP TO 30" (75 cm)	5830AGR	48.7 (120)	20.5 (50)	30.5 (75)	33.1 (85)
FLAT CONCRETE	UP TO 18" (45 cm)	581BAGF	30.2 (75)	11.8 (30)	17.2 (45)	20.4 (50)
FLAT CONCRETE	UP TO 24" (60 cm)	5824AGF	41.8 (105)	15.3 (40)	26.9 (70)	27.0 (70)
FLAT CONCRETE	UP TO 30" (75 cm)	5830AGF	48.8 (120)	18.3 (45)	30.5 (75)	34.0 (85)
18" (45 cm) NYLOPLAST	UP TO 12" (30 cm)	581BAGO412	19.4 (50)	9.38 (25)	12.3 (30)	13.8 (35)
24" (60 cm) NYLOPLAST	UP TO 15" (40 cm)	5824AGO415	26.5 (65)	12.8 (30)	14.5 (35)	20.0 (50)
30" (75 cm) NYLOPLAST	UP TO 18" (45 cm)	5830AGO418	32.8 (85)	15.4 (40)	18.7 (45)	26.0 (65)

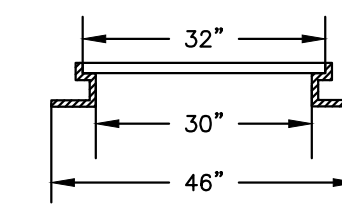
NOTE: ALL PROPOSED CATCH BASINS SHALL BE INSTALLED WITH NYLOPLAST ENVIROHOOD FOR EACH OUTLET FOR ADDITIONAL TREATMENT.



COVER PLATE



COVER SECTION



FRAME SECTION

**NOTES:**

- CONTACT SURFACES OF COVERS AND FRAMES SHALL BE MACHINED AT THE FOUNDRY TO PREVENT ROCKING OF COVERS IN ANY ORIENTATION.
- CASTINGS SHALL BE EQUAL TO CLASS 30, CONFORMING TO ASTM A48.
- WHERE MANHOLE TOPS ARE TO BE FLOODED BY WATER THEY WILL HAVE A WATER TIGHT COVER.
- FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH CLEAR OPENING. A 3 INCH (MINIMUM HEIGHT) WORD "SEWER" FOR SEWERS OR "DRAIN" FOR DRAINS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER. MANHOLE COVERS SHALL HAVE NON-PENETRATION PICK HOLES.

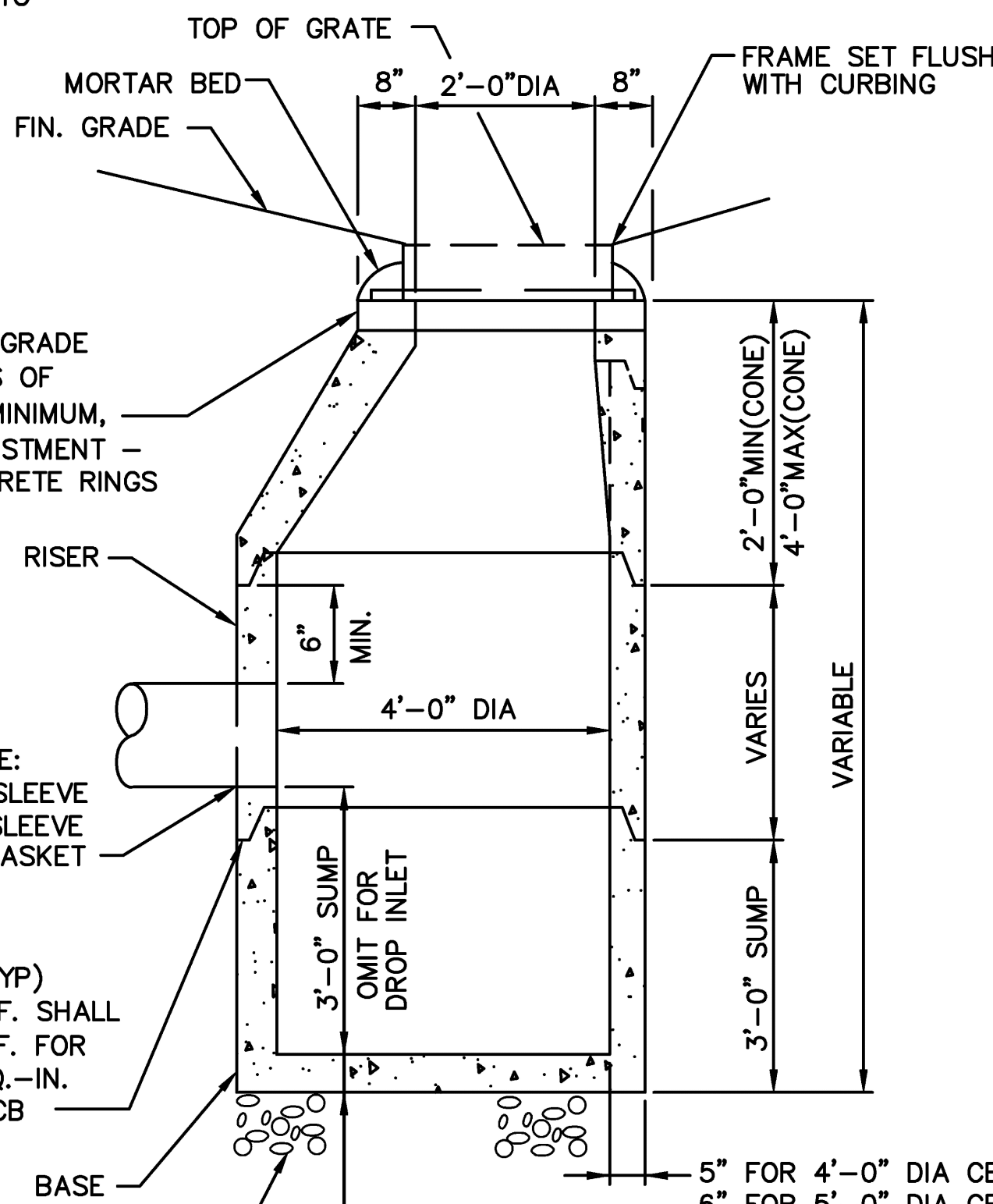
**DRAIN MANHOLE FRAME AND COVER DETAIL**

NOT TO SCALE

**PRECAST REINFORCED CATCH BASIN**

NOT TO SCALE

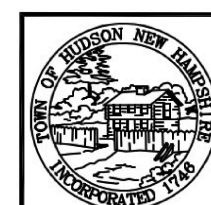
PRECAST SECTIONS SHALL CONFORM TO ASTM C-478



ADJUST FRAME TO GRADE WITH TWO COURSES OF HARD RED BRICK MINIMUM, 12" MAXIMUM ADJUSTMENT - OR PRECAST CONCRETE RINGS

PIPE JOINTS SHALL BE: LOCKJOINT FLEXIBLE SLEEVE KOR-N-SEAL FLEX. SLEEVE OR A-LOK RUBBER GASKET

BITUMASTIC SEALER (TYP) CIRCUMFERENTIAL REINF. SHALL BE .12 SQ.-IN. PER L.F. FOR 4' DIA. CB AND .15 SQ.-IN. PER L.F. FOR 5' DIA. CB



TOWN OF HUDSON  
12 SCHOOL STREET  
HUDSON, NH 03051

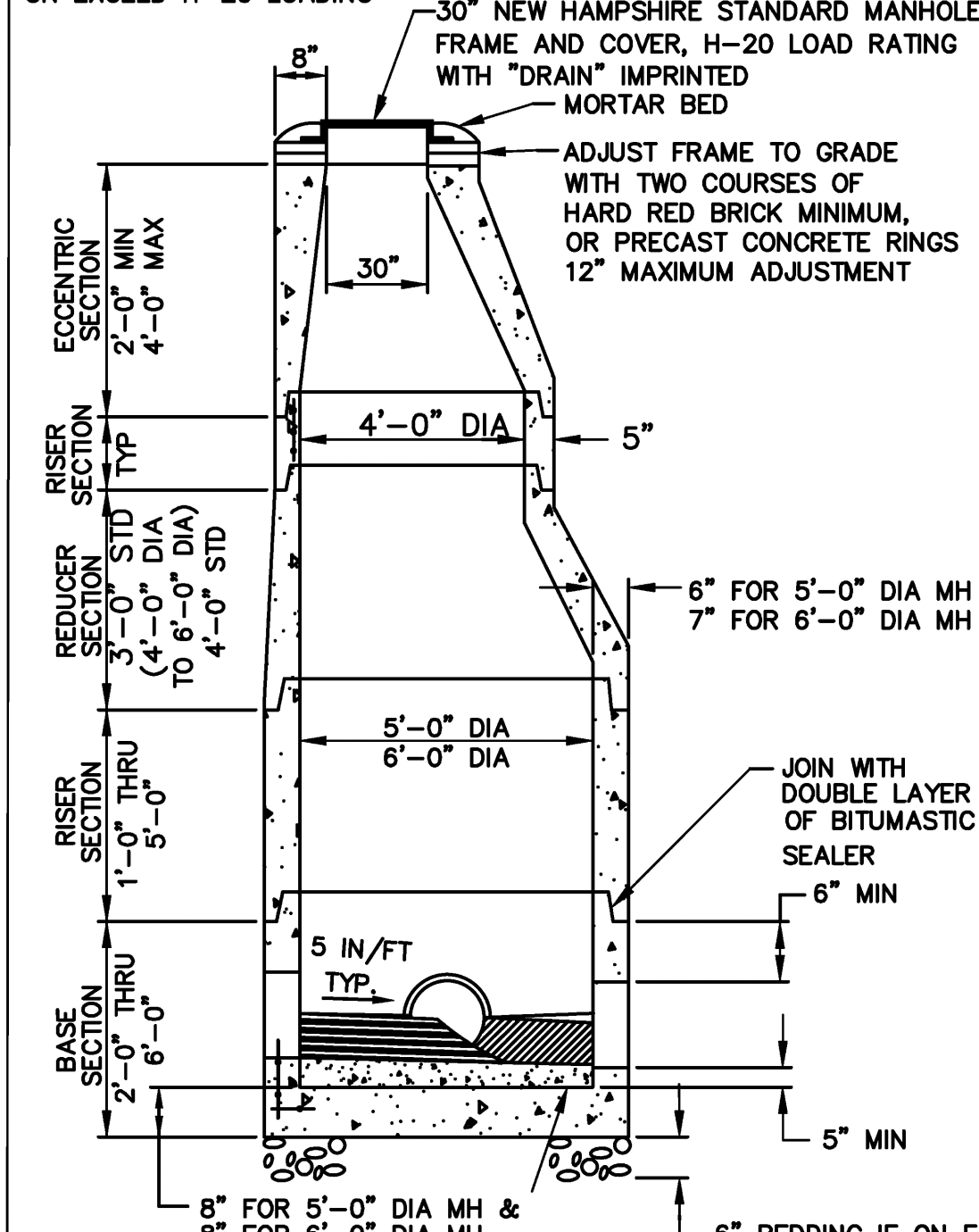
**DETAIL D-2**

**PRECAST REINFORCED CATCH BASIN**

TOWN OF HUDSON AUGUST-01

REV: SCALE: NTS

NOTE: ALTERNATE ECCENTRIC TOP SHALL BE DESIGNED TO MEET OR EXCEED H-20 LOADING



**STANDARD DRAINAGE MANHOLE**

NOT TO SCALE



TOWN OF HUDSON  
12 SCHOOL STREET  
HUDSON, NH 03051

**DETAIL D-1**

**STANDARD DRAINAGE MANHOLE**

TOWN OF HUDSON AUGUST-01

REV: JULY 2019 SCALE: NTS

**GENERAL NOTES FOR MH'S AND CB'S**

1. REINFORCING STEEL SHALL CONFORM TO THE LATEST ASTM A185 SPECIFICATIONS:

SECTION SIZE	STEEL REQUIREMENT
4'-0" DIA	0.12 SQ.IN./L.F.
5'-0" DIA	0.15 SQ.IN./L.F.
6'-0" DIA	0.18 SQ.IN./L.F.
8'-0" DIA	0.24 SQ.IN./L.F.

2. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 4000 PSI MINIMUM.

3. DESIGN SPECIFICATIONS SHALL CONFORM TO ASTM C478 LATEST EDITION.

4. BASE SECTIONS SHALL BE POURED MONOLITHICALLY.

5. PIPE JOINTS SHALL BE: LOCK JOINT, FLEXIBLE SLEEVE KOR-N-SEAL FLEXIBLE SLEEVE A-LOK RUBBER GASKET

6. A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:

PIPE TYPE	PIPE SIZE	DISTANCE
RCP & CI	ALL SIZES	4'-0"
DI	ALL SIZES	NONE REQUIRED

UNDER SEVERE CONDITIONS WHEN DIFFERENTIAL SETTING CAN NOT BE CONTROLLED WITHIN NORMAL LIMITS, VARIATIONS IN THE STUB LENGTH MAY BE NECESSARY.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

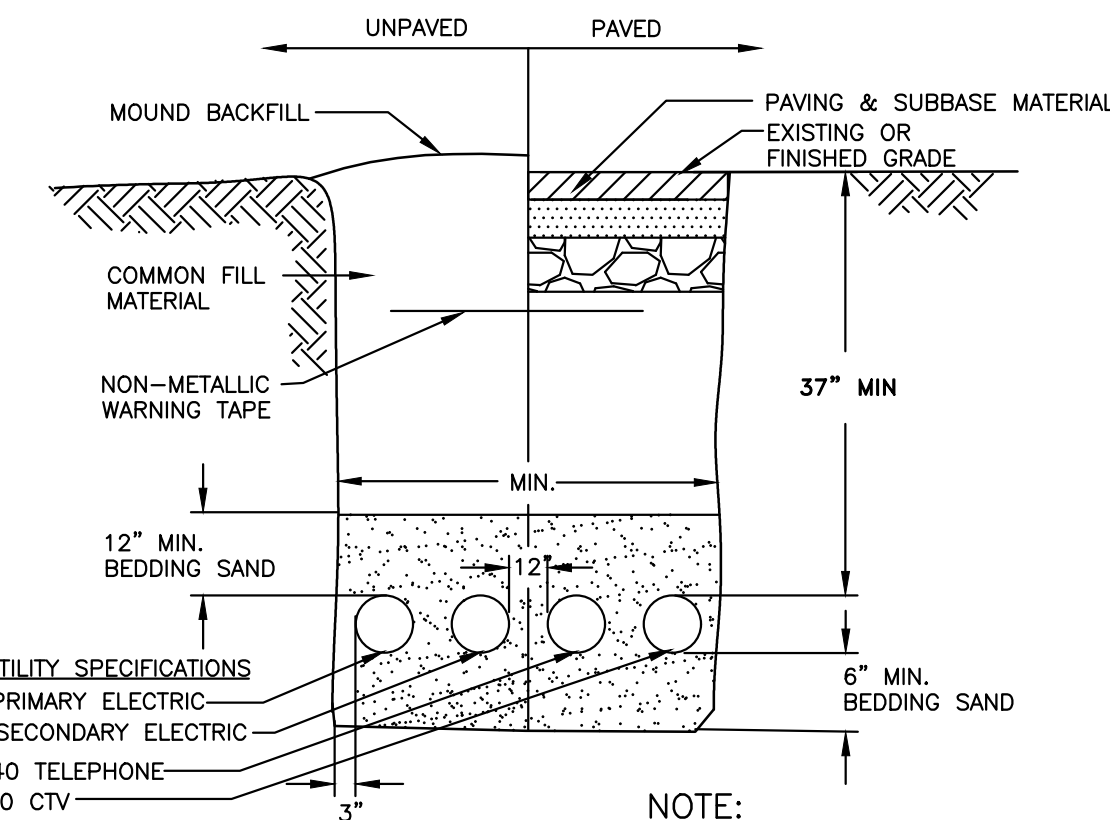
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

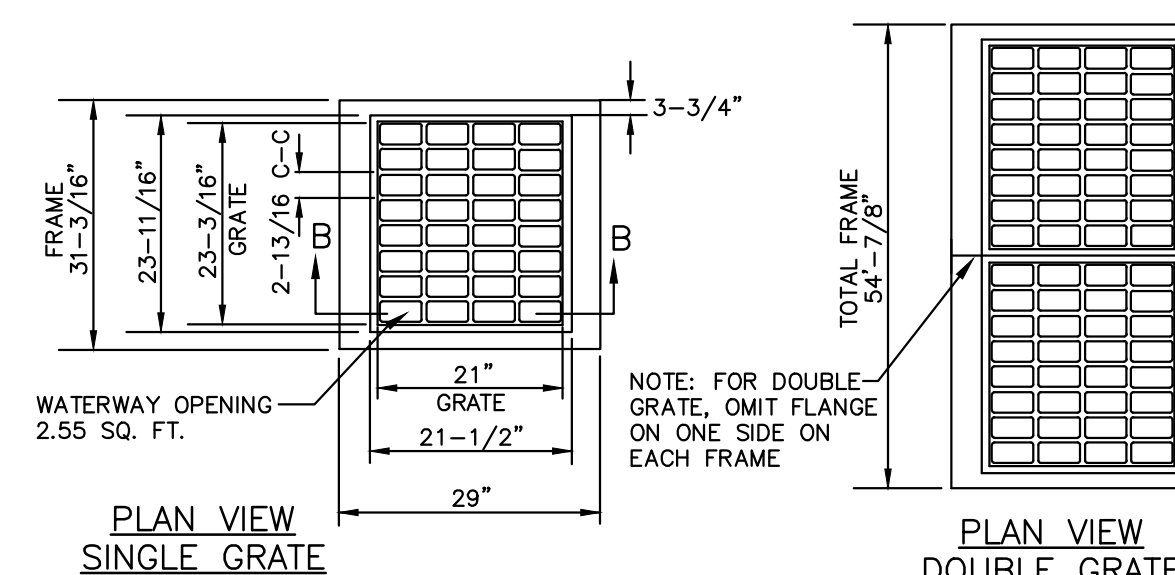
SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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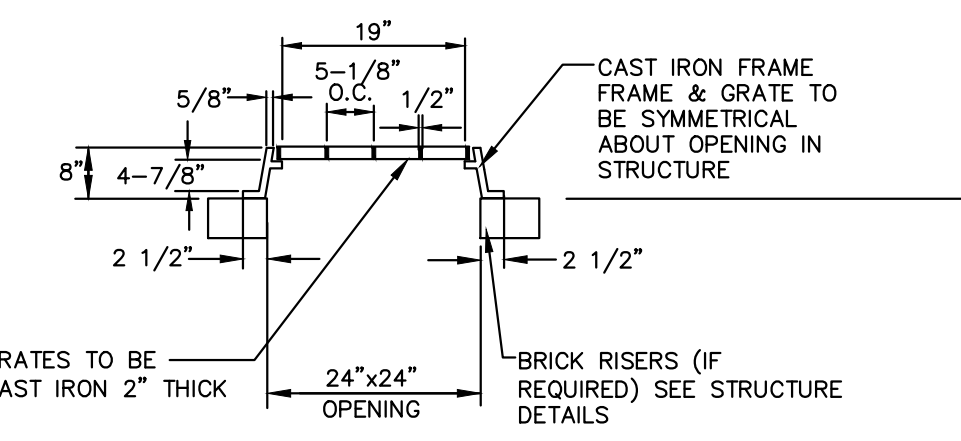
**UTILITY TRENCH DETAIL**

NOT TO SCALE



PLAN VIEW SINGLE GRATE

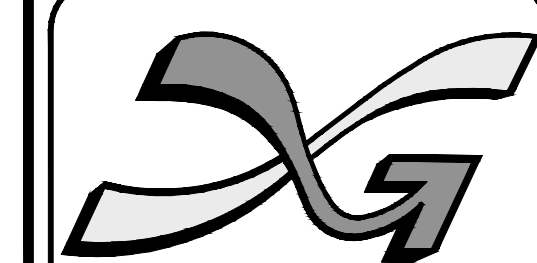
PLAN VIEW DOUBLE GRATE



**SECTION B-B CATCH BASIN FRAME AND GRATE**

NOT TO SCALE

HS-20LOADING, NHDOT TYPE F (MIN)



**The Dubay Group, Inc.**

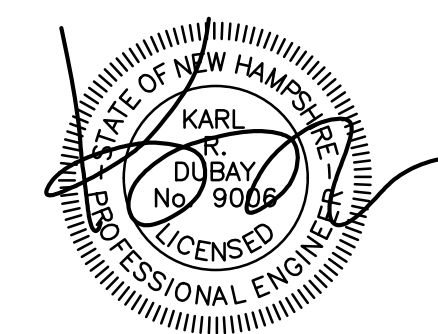
136 Harvey Rd. Bldg B101  
Londonderry, NH 03053  
603-458-6462

Engineers

Planners

Surveyors

TheDubayGroup.com



REVISIONS:			
REV.	DATE	COMMENT	BY:
1	9/20/21	MISC. REV.	JUG
3	10/5/21	MISC. REVS	WA

DRAWN BY: JUG  
CHECKED BY: KRD  
DATE: AUG. 3, 2021  
SCALE: AS SHOWN  
FILE: 475-DETAILS  
DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH



**LOWELL ROAD**  
**PROPERTY OWNER, LLC**  
133 PEARL STREET #300  
BOSTON, MA 02110

**5 WAY REALTY TRUST**  
PETER HORNE, TRUSTEE  
PO BOX 1435  
N. HAMPTON, NH 03862

SHEET TITLE:

**SITE DETAILS - 7**

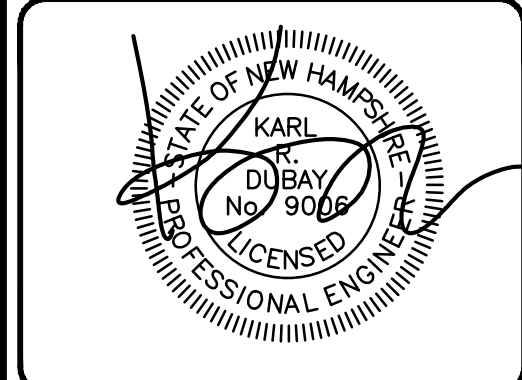
PROJECT #475 SHEET D7



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 Londonderry, NH 03053  
 603-458-6462

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 Planners  
 Surveyors

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REV.	DATE	COMMENT	BY
3	10/5/21	MISC. REVS	WA

DRAWN BY: JGG  
 CHECKED BY: KRD  
 DATE: AUG. 3, 2021  
 SCALE: AS SHOWN  
 FILE: 475-DETAILS  
 DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
 161 LOWELL ROAD  
 HUDSON, NH



LOWELL ROAD  
 PROPERTY OWNER, LLC  
 133 PEARL STREET #300  
 BOSTON, MA 02110

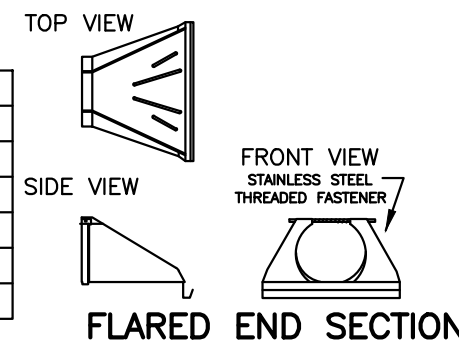
OWNER  
**5 WAY REALTY TRUST**  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE:  
**SITE  
 DETAILS - 8**

PROJECT #475 SHEET D8

**FLARED END SECTIONS**

SIZE	PRODUCT CODE
10"(250mm)	1015NP
12"(300mm)/15"(375mm)	1210NP
18"(450mm)	1810NP
24"(600mm)	2410NP
30"(750mm)	3015NP
36"(900mm)	3615NP



**METAL TRASH GUARDS\***

DIAMETER	DESCRIPTION	PRODUCT CODE
12"(300mm)	GALVANIZED STEEL	1290DA
15"(375mm)	GALVANIZED STEEL	1590DA
18"(450mm)	GALVANIZED STEEL	1890DA
24"(600mm)	GALVANIZED STEEL	2490DA
30"(750mm)	GALVANIZED STEEL	3090DA
36"(900mm)	GALVANIZED STEEL	3690DA

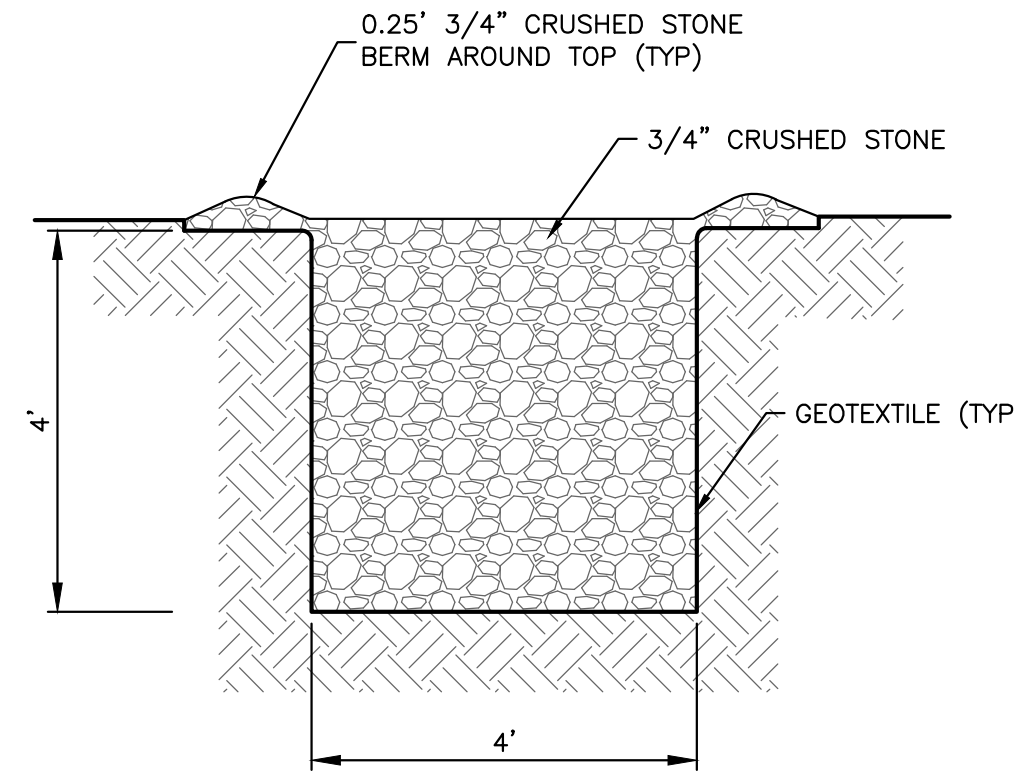


\*GRATE IS SIZED TO FIT FLARED END SECTIONS ONLY.

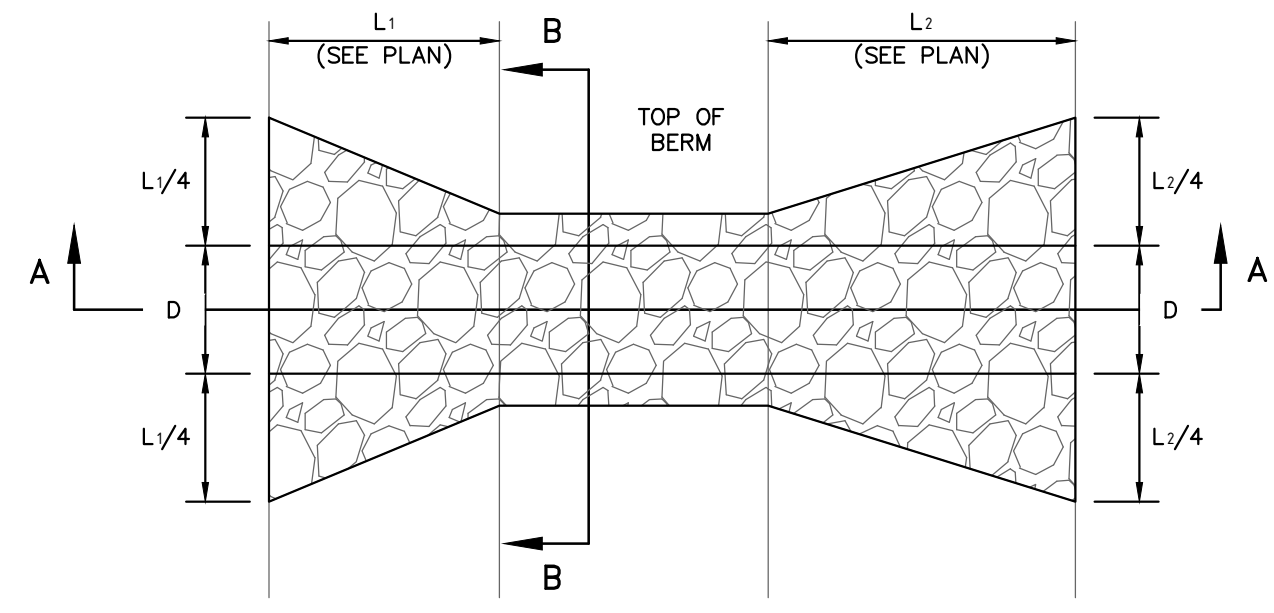
METAL TRASH GUARD

**FLARED END SECTION TRASH GUARD**

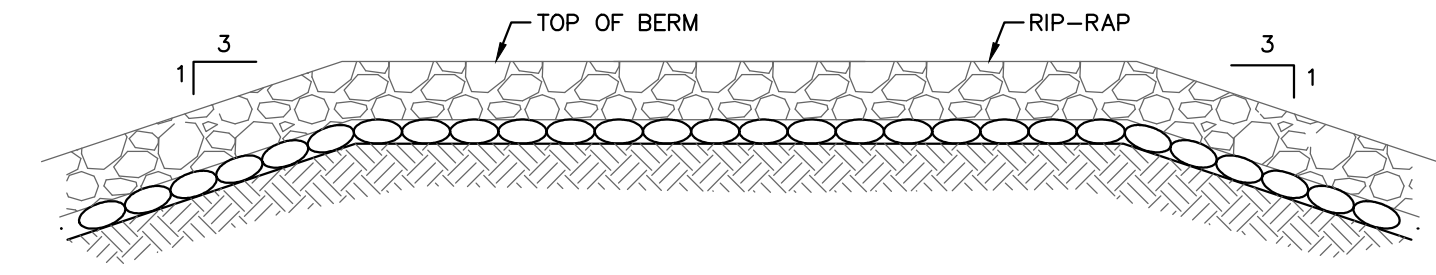
DETAIL  
 NOT TO SCALE



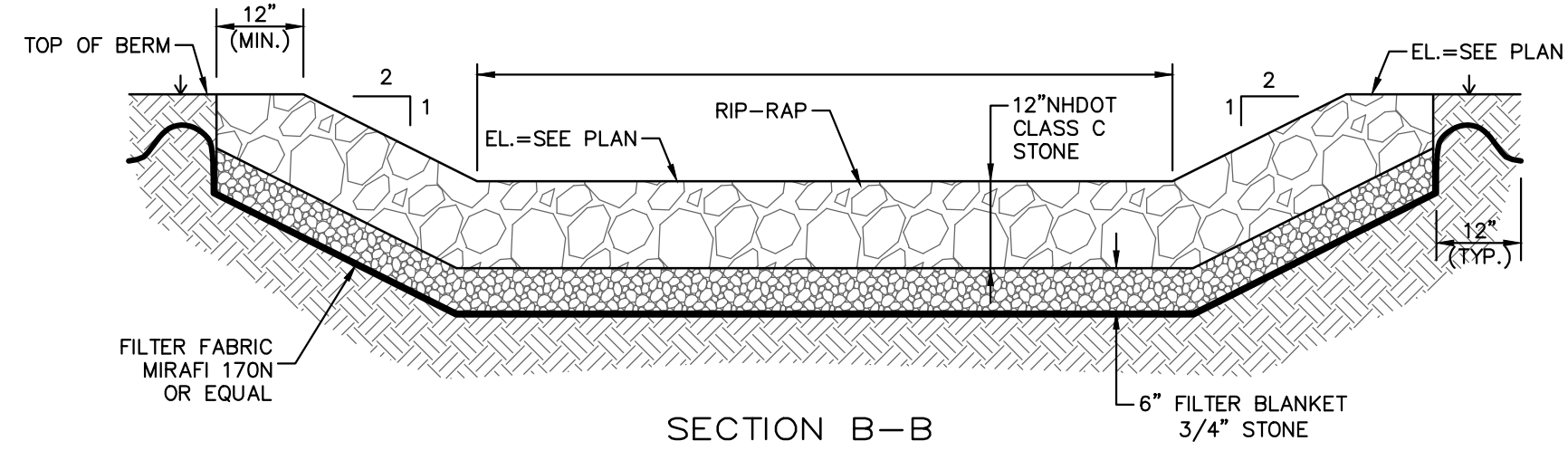
**GRAVEL DRY WELL**  
 NOT TO SCALE



PLAN VIEW

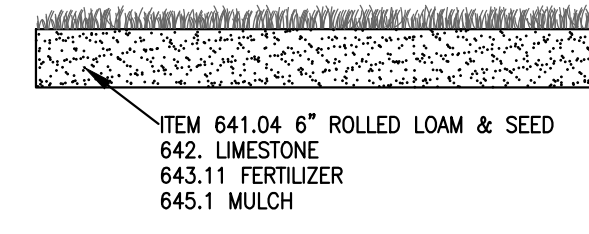


SECTION A-A

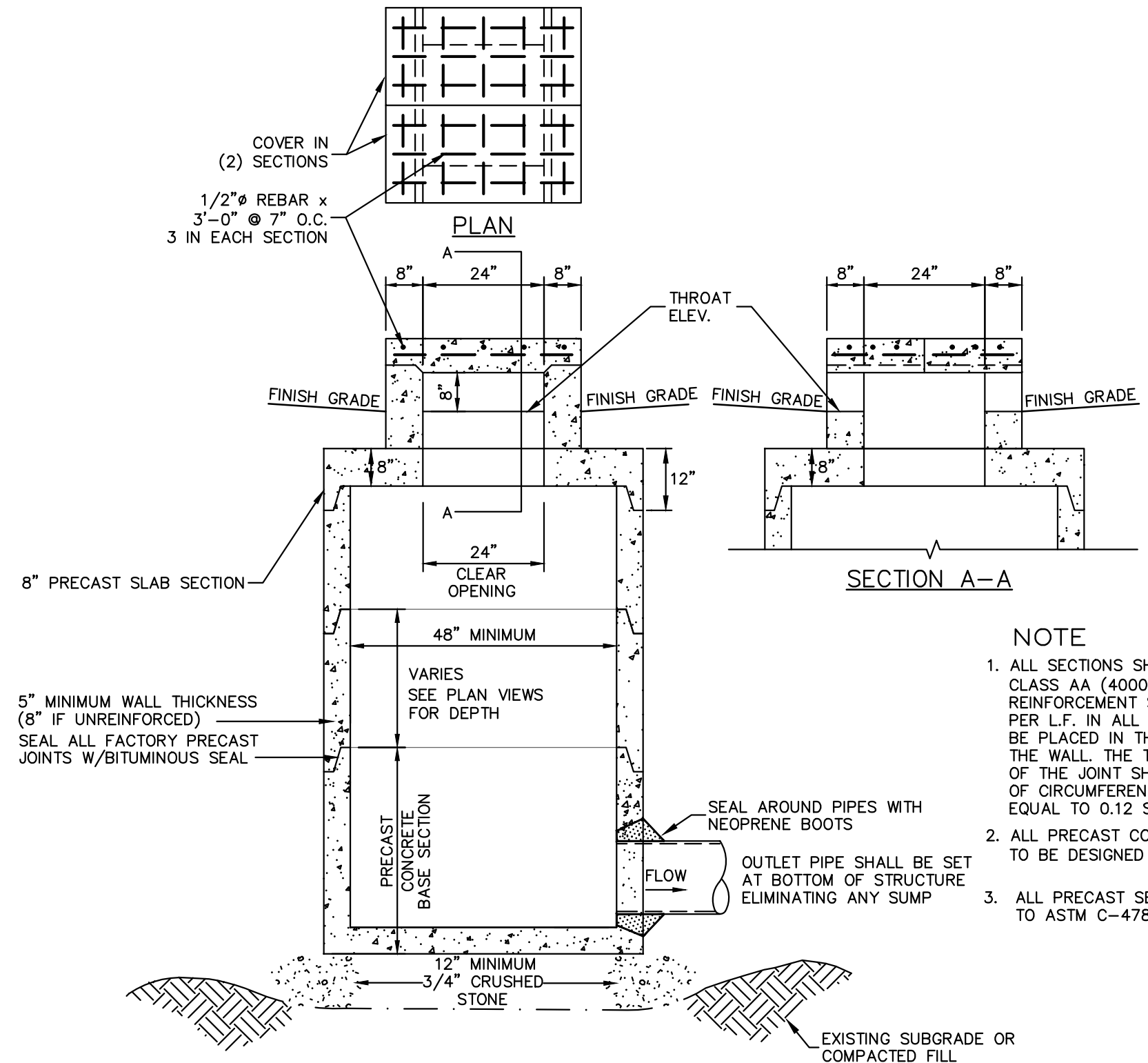


SECTION B-B

**OVERFLOW SPILLWAY**  
 NOT TO SCALE

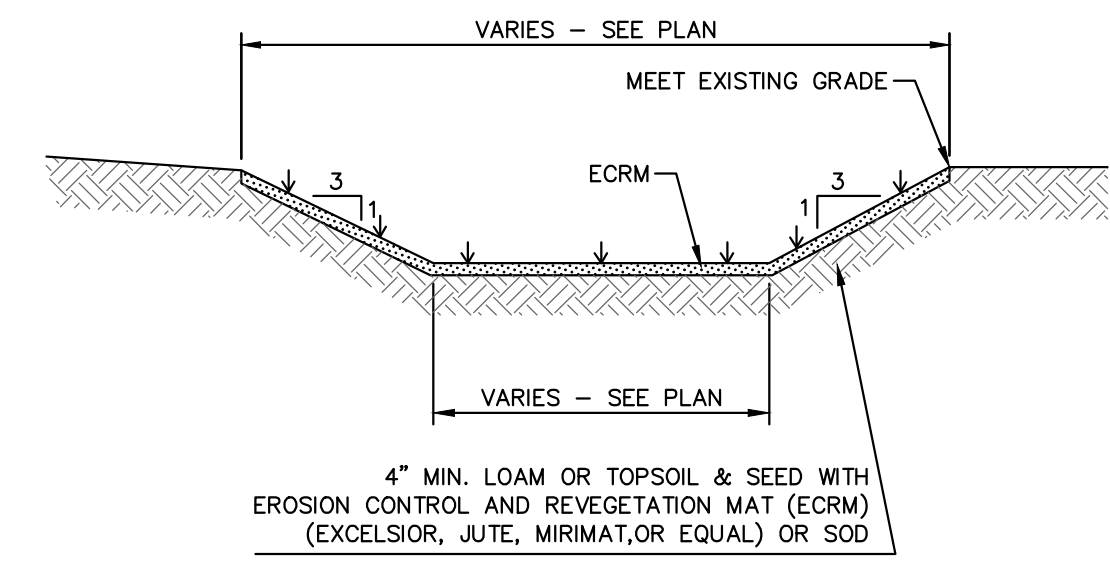


**LOAM & SEED DETAIL**  
 NOT TO SCALE



**NHDOT TYPE C CATCH BASIN WITH DROP INLET DETAIL**  
 NOT TO SCALE

- NOTE**
- ALL SECTIONS SHALL BE CONCRETE CLASS AA (4000 PSI). CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER L.F. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER L.F.
  - ALL PRECAST CONCRETE STRUCTURES ARE TO BE DESIGNED TO MEET H-20 LOADING.
  - ALL PRECAST SECTIONS SHALL CONFORM TO ASTM C-478



- NOTES**
- AT A MINIMUM, SEDIMENT PONDS MUST PROVIDE STORAGE FOR EITHER (1) THE CALCULATED VOLUME OF RUNOFF FROM THE 2-YEAR, 24-HOUR STORM (SEE CGP APP. H), OR (2) 3,600 CUBIC FEET PER ACRE DRAINED.
  - SEDIMENT PONDS MUST ALSO UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE, UNLESS INFEASIBLE.
  - REFER TO ENV-WQ 1506.10 FOR GUIDANCE AND DESIGN REQUIREMENTS.

**TEMPORARY SEDIMENT TRAP**  
 NOT TO SCALE

N:\PROJECTS\475-Five Way Realty, Hudson\DWG\CURRENT\475-DETAILS.dwg

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: \_\_\_\_\_

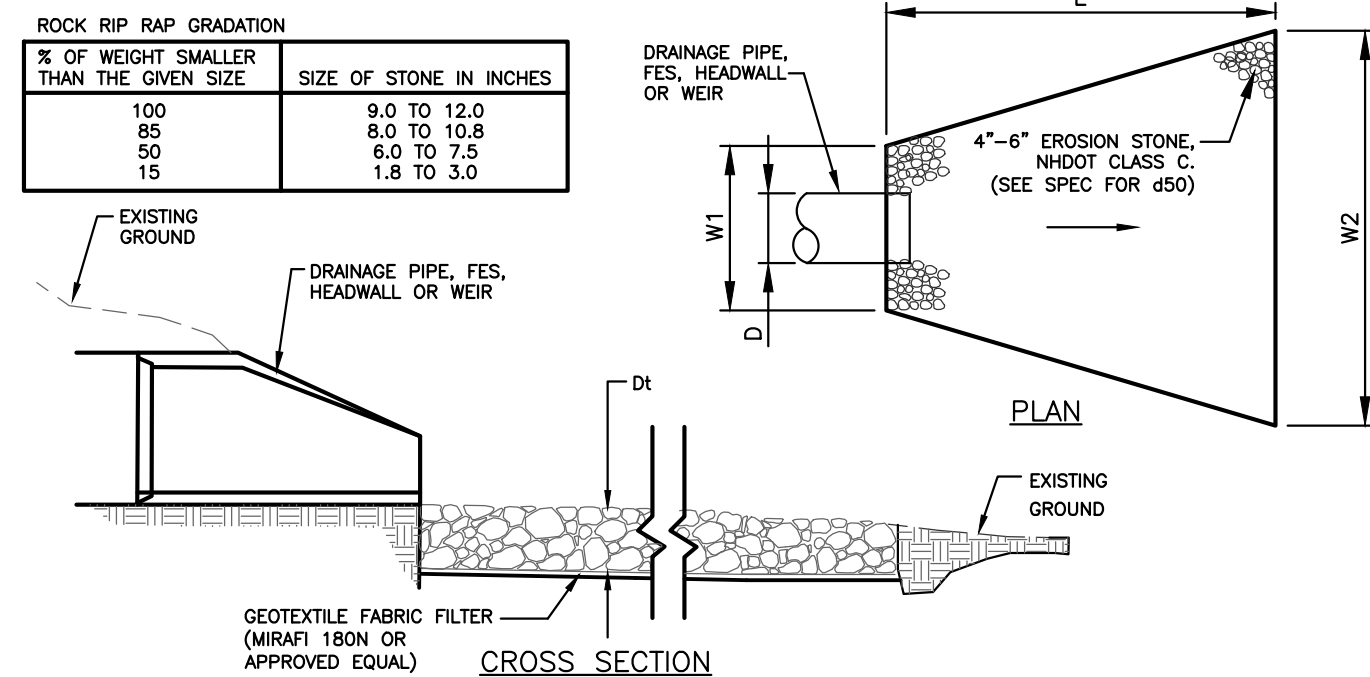
CHAIRMAN: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

SECRETARY: \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

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**CONSTRUCTION NOTES:**

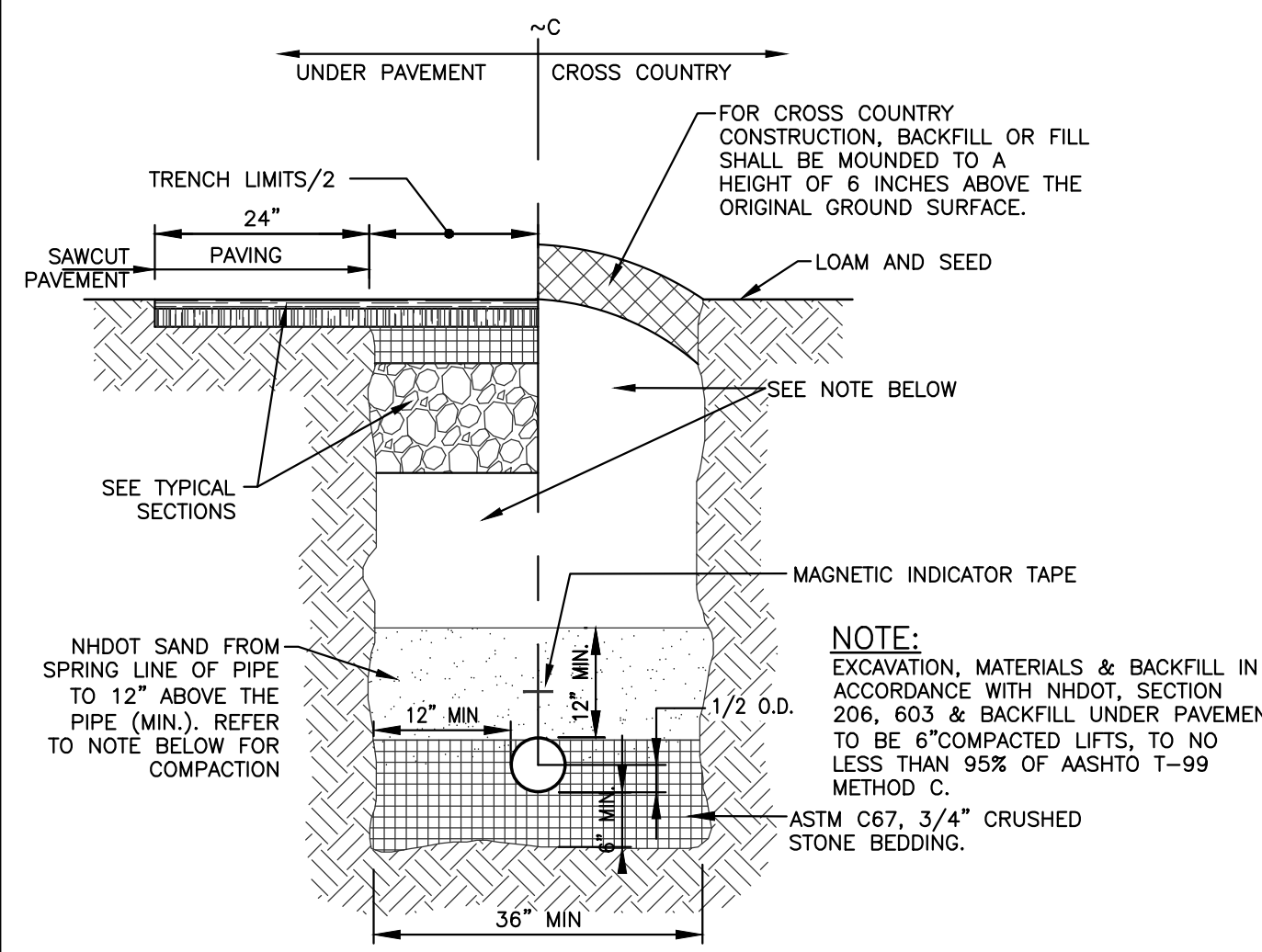
1. THE SUBGRADE, GEOTEXTILE FABRIC, AND RIPRAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK OR GRAVEL USED FOR RIPRAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIPRAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIPRAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
5. THE MEDIAN STONE DIAMETER FOR THE RIPRAP APRON IS d50. FIFTY PERCENT BY WEIGHT OF THE RIPRAP MIXTURE SHALL BE SMALLER THAN THE MEDIAN STONE SIZE. THE LARGEST STONE SIZE IN THE MIXTURE SHALL BE 1.5 TIMES THE d50.

**MAINTENANCE**

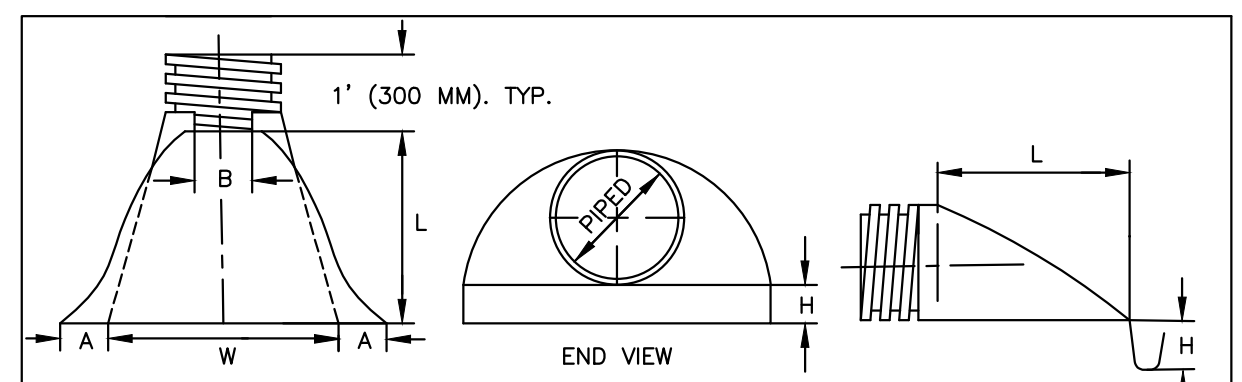
1. THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM WITHIN THE GROWING STABILIZATION PERIOD. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

**STONE LINED OUTLET PROTECTION**  
NOT TO SCALE

LOCATION	Lo	W1	W2	d50	Depth
FES-E1	24'	6'	16'	6"	15"
FES-E2	34'	8'	21'	6"	15"
FES-E3	39'	11'	26'	6"	15"
FES-D1	35'	8'	21'	6"	15"
FES-D2	29'	6'	18'	6"	15"
FES-D3	14'	6'	20'	6"	15"
FES-C1	39'	9'	25'	6"	15"
FES-C2	43'	11'	28'	6"	15"
FES-C3	14'	6'	20'	6"	15"



**TYPICAL TRENCH DETAIL**  
NOT TO SCALE  
(TYPICAL TO ALL NON-INFILTRATION PIPES)



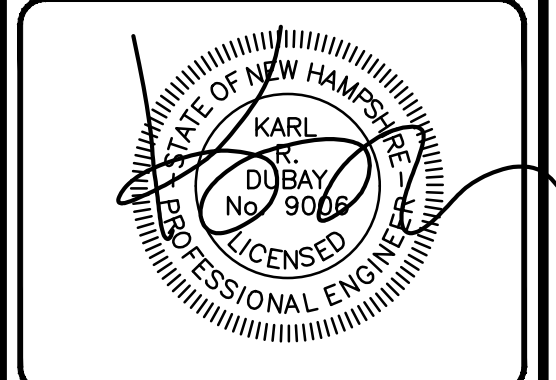
PIPE DIAMETER	DIMENSIONS, INCHES (MM)					
	PART No.	A. ± 1 (25)	B MAX	H. ± 1 (25)	L. ± 1/2(13)	W. ± 2 (50)
12. 15 (300,375)	1210 NP	6.5 (165)	10 (254)	6.5 (165)	25 (635)	29 (738)
18 (450)	1810 NP	7.5 (190)	15 (380)	6.5 (168)	32 (812)	35 (890)
24 (600)	2410 NP	7.5 (190)	18 (450)	6.5 (165)	36 (900)	45 (1140)
30 (750)	3010 NP	10.5 (266)	NA	7.0 (178)	53 (1346)	68 (1735)
36 (900)	3610 NP	10.5 (266)	NA	7.0 (178)	53 (1346)	68 (1725)

**ADS END SECTION DETAIL**  
NOT TO SCALE



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REV.	DATE:	COMMENT:	BY:
3	10/5/21	MISC. REVS	WA

DRAWN BY: JVG  
CHECKED BY: KRFD  
DATE: AUG. 3, 2021  
SCALE: AS SHOWN  
FILE: 475-DETAILS  
DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH



LOWELL ROAD  
PROPERTY OWNER, LLC  
133 PEARL STREET #300  
BOSTON, MA 02110  
OWNER  
**5 WAY REALTY TRUST**  
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PO BOX 1435  
N. HAMPTON, NH 03862

SHEET TITLE:  
**SITE**  
**DETAILS - 10**

PROJECT #475 SHEET D10

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SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_

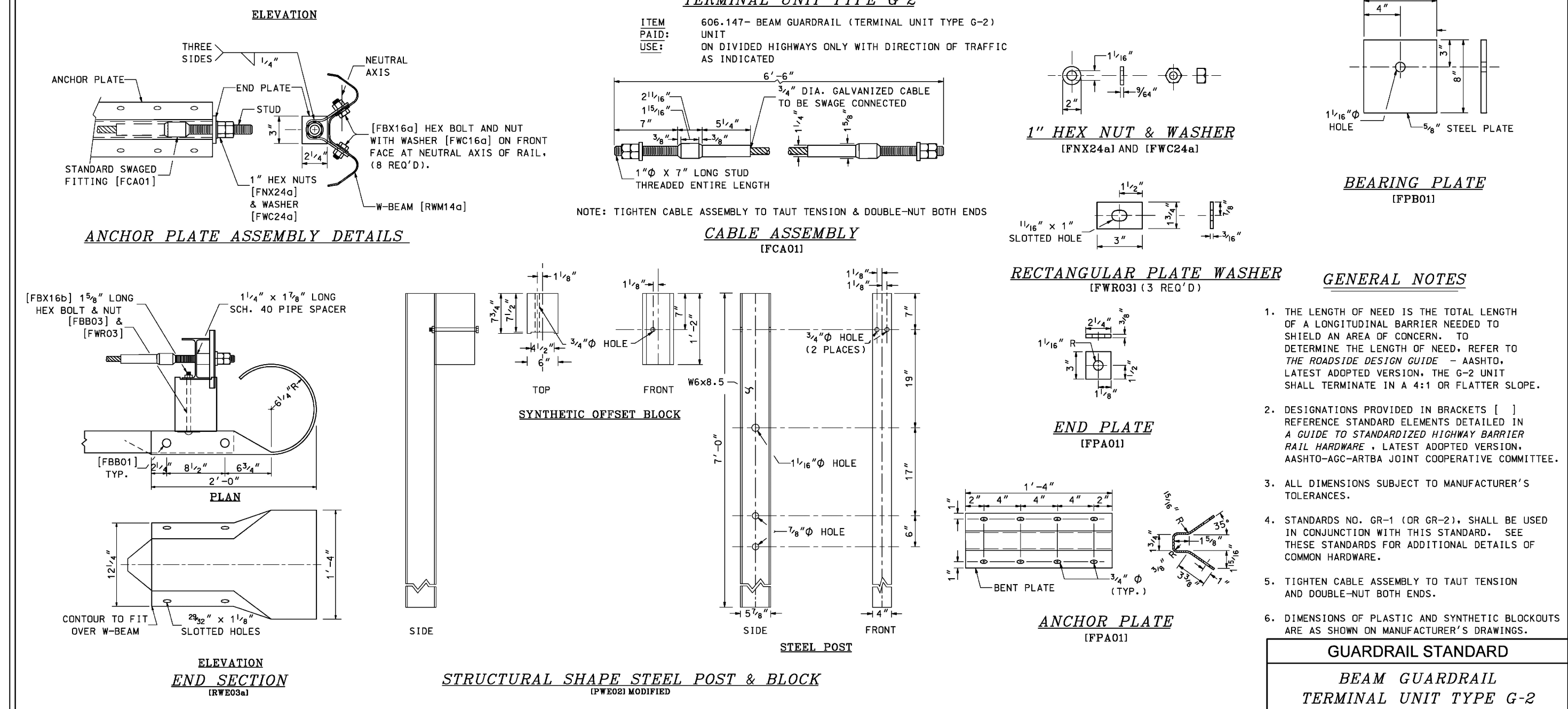
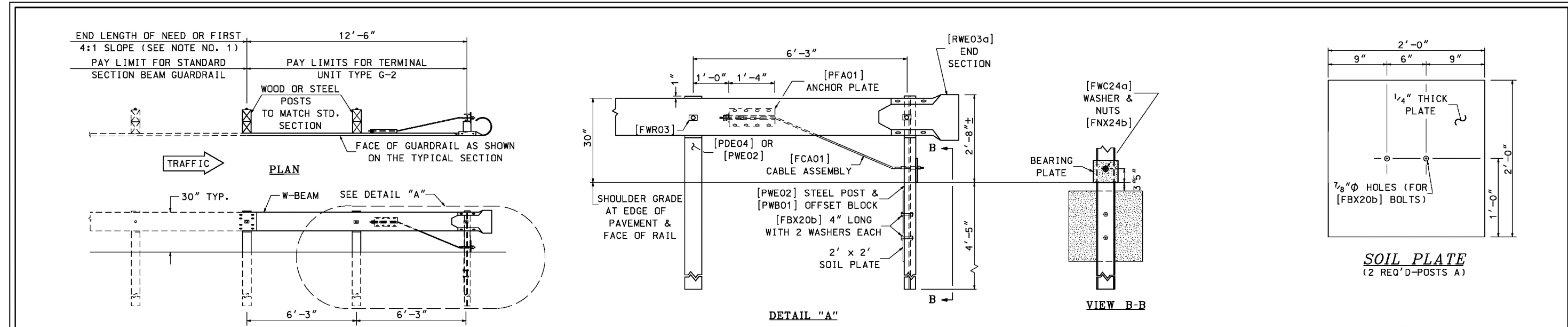
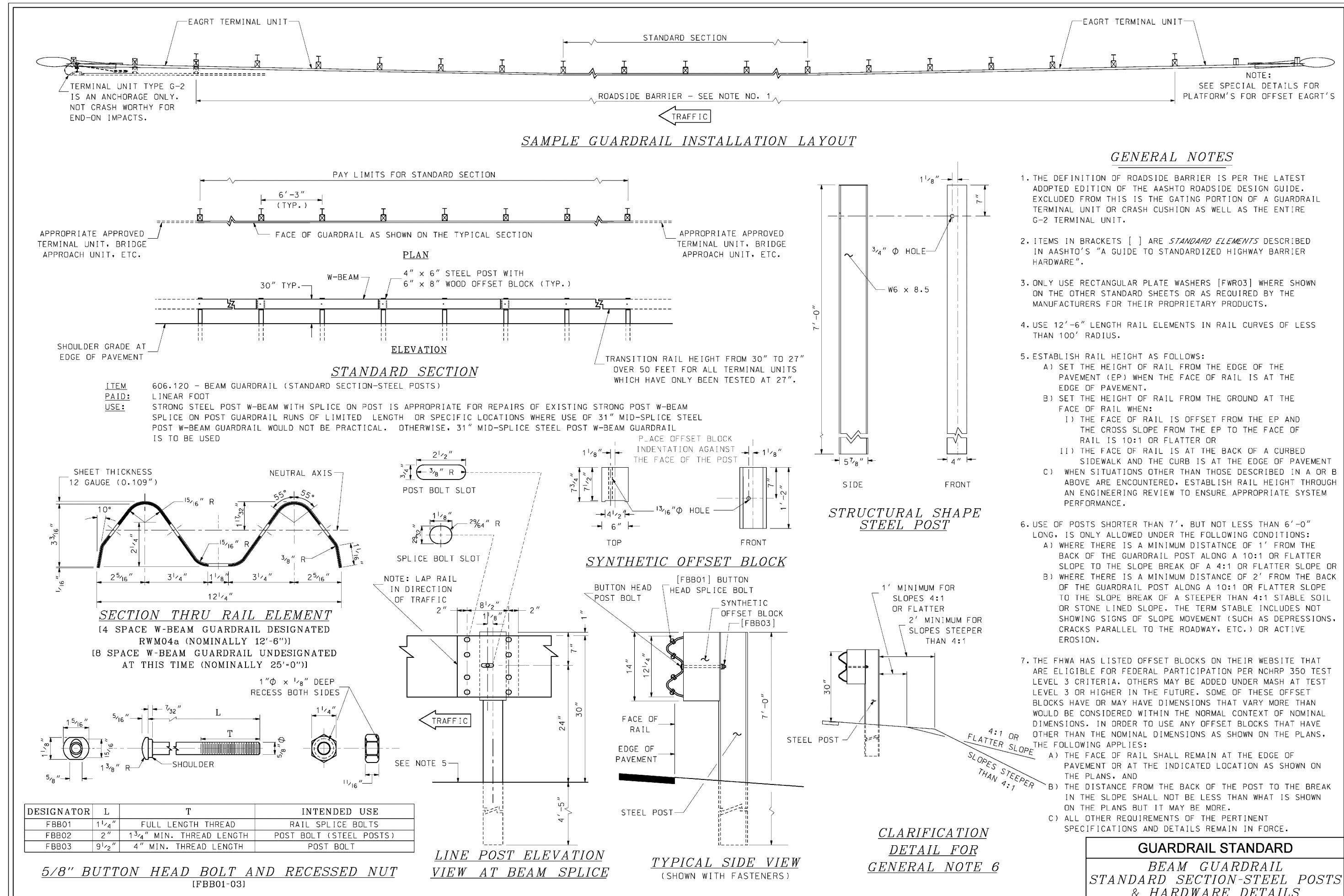
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 CHAIRMAN \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
 SECRETARY \_\_\_\_\_ SIGNATURE DATE: \_\_\_\_\_  
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STANDARD NO. GR-2  
 REVISION DATE: 07-13-2001, 06-16-2010, 05-03-2011, 08-19-2015  
 DGN FILE NAME: GR-2  
 STANDARD NO. GR-10  
 REVISION DATE: 07-13-2001, 06-16-2010  
 DGN FILE NAME: GR-10  
 STANDARD NO. GR-10  
 REVISION DATE: 07-13-2001, 06-16-2010  
 DGN FILE NAME: GR-10

**The Dubai Group, Inc.**  
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 Londonderry, NH 03053  
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**REVISIONS:**

REV	DATE	COMMENT	BY
3	10/5/21	MISC. REVS	WA

**PROJECT:** SITE PLAN  
 FRIARS DRIVE  
 TAX MAP 209  
 LOT 001-000  
 161 LOWELL ROAD  
 HUDSON, NH  
 PREPARED FOR: GFI PARTNERS

**LOWELL ROAD PROPERTY OWNER, LLC**  
 133 PEARL STREET #300  
 BOSTON, MA 02110  
 OWNER: 5 WAY REALTY TRUST  
 PETER HORNE, TRUSTEE  
 PO BOX 1435  
 N. HAMPTON, NH 03862

SHEET TITLE: SITE DETAILS - 11  
 PROJECT #475 SHEET D11





# Anti-icing

NH Best Management Practices

### GET OUT EARLY

Typically anti-icing is most effective if applied 1-2 hours before the precipitation begins however it can be applied up to 24 hours in advance.

### TRY IT FIRST

Trying anti-icing for the first time? Make a 23.3% brine solution and before a storm spray pavement on your own property using a masonry/plant sprayer. Use this experiment to determine how best to use it with your clients.

### LEAVE SOME PAVEMENT BARE

It's always best to use stream nozzles instead of fan tip to avoid creating a slippery condition. If the anti-icing liquid freezes the bare pavement will still provide a traction surface.

### USE A FILTER

Having a filter in your liquid dispensing system will reduce clogs in your nozzle. Automotive in line fuel filters work quiet well. If your liquid dispenser is not functioning properly be sure to check the filter first.

### A Proactive Treatment

Anti-icing before a storm is very similar to using a non-stick spray on a pan before cooking. Just like a non-stick spray prevents food from bonding to the pan, anti-icing prevents snow and ice from bonding to the pavement so that it can be plowed away. Anti-icing can save you money as it costs 50% less than reactive deicing.



### Make Your Own Salt Brine

When making brine it is important to add enough salt to produce a 23.3% solution which freezes around 0°F. Roughly 2.5lb per gallon of water will produce a 23.3% solution. You can verify using a salometer (~\$20) a 23.3% solution will have a specific gravity of 1.176, or 85% salinity. Consult the Brine Making BMP sheet for more info.



### How Much Should I Use and When?

You can apply brine up to 24 hours in advance of the storm. Typical application rates range from 0.5 to 0.75 gallon per 1000 sq.ft. (10' x 100' area). Other chemicals such as magnesium are also available—consult your supplier for application rates. Anti-icing is not advised prior to freezing rain events.



### Getting Started

Try making your own salt brine by putting 13 lb of salt in 5 gallons of water to get a 23.3% salt brine solution. Mix the brine until all of the salt is dissolved. Using a masonry sprayer apply the liquid several hours before a storm. Start by applying about 0.25–0.5 gallons to a 10' x 50' area. Adjust the application rates based on your experience. Being careful not to over apply and cause a slippery condition.



Produced in partnership with:



## NHDES ANTI-ICING BEST MANAGEMENT PRACTICES

NOT TO SCALE

# ENVIRONMENTAL Fact Sheet



29 Hazen Drive, Concord, New Hampshire 03301 • (603) 271-3503 • www.des.nh.gov

WMB-3

2007

## Snow Disposal Guidelines

### Introduction

During each snowfall season from November to April, the Department of Environmental Services receives many complaints related to snow disposal into and/or near surface water. There are several different concerns regarding disposal of snow cleared from streets and parking lots. These can be initially categorized as aesthetic concerns, such as minimizing the visibility of debris and huge snow piles, and environmental concerns, such as protection of groundwater quality, surface water quality, and aquatic life.

The environmental effects of disposed snow result from high levels of sodium chloride, sand, debris and contaminants from automobile exhaust. It is the debris contained in plowed snow that makes it illegal to dump snow directly in water bodies. RSA 485-A:13.(a) prohibits discharging wastes to surface waters without a permit. Groundwater is sensitive to snow dumping due to the high levels of sodium chloride in plowed snow. RSA 485-C:12 prohibits the siting or operation of snow dumps within classified wellhead protection areas.

Refer to the following guidelines for siting legal snow dumps and protecting the environment.

### Recommended Guidelines for Snow Disposal

By following these guidelines you will find a safe place to dump plowed snow. Please note that snow dumps are kept out of water bodies due to litter and debris. Litter and debris do not belong on the land surface either; after the snow melts, all litter and debris must be collected and disposed of properly.

- Disposed snow should be stored near flowing surface waters, but at least 25 feet from the high water mark of the surface water.
- A silt fence or equivalent barrier should be securely placed between the snow storage area and the high water mark.
- The snow storage area should be at least 75 feet from any private water supply wells, at least 200 feet from any community water supply wells, and at least 400 feet from any municipal wells. (Note: Snow storage areas are prohibited in wellhead protection areas [class GAA groundwater].)
- All debris in the snow storage area should be cleared from the site prior to snow storage.
- All debris in the snow storage area should be cleared from the site and properly disposed of no later than May 15 of each year the area is used for snow storage.

For more information about snow storage contact DES Watershed Management Bureau at (603) 271-2457.

## SNOW DISPOSAL GUIDELINES & RECOMMENDED PRACTICES

NOT TO SCALE

# ENVIRONMENTAL Fact Sheet



29 Hazen Drive, Concord, New Hampshire 03301 • (603) 271-3503 • www.des.nh.gov

WD-DWGB-22-30

2011

## Storage and Management of Deicing Materials

Storage and management of deicing material can be a source of contamination of surface water and groundwater, causing a violation of state water quality standards. These salt-based products dissolve in precipitation and either infiltrate through the ground surface to groundwater, or run off into surface water. Salt that infiltrates the subsurface at significant concentrations can also react with the soils and release metals into groundwater and surface water at concentrations that exceed water quality standards.

The term "deicing material" used here refers to deicing salts, and may include any of the following in either solid or liquid form: sodium chloride (often called rock salt), potassium chloride, calcium chloride, magnesium chloride, and other mixtures that contain salts (chlorides) including mixtures with abrasives, such as sand, cinder, slag, etc.

### Need for Proper Management

Due to their high potential for causing groundwater and surface water pollution, salt storage facilities should not be placed in environmentally sensitive areas. The best strategy to prevent pollution from deicing materials and the associated liability is to use and store these materials responsibly. Facilities should develop good housekeeping practices to minimize loss and waste during the delivery, storage, loading and management of deicing materials.

Existing and new facilities that operate without impermeable surfaces and infiltrate brine to the ground or groundwater need to register with DES under Env-Wq 402 Groundwater Discharge Permit and Registration Rules. This is a free registration and is a method of tracking potential contaminant sources. If there are sensitive receptors nearby, some sites may be required to monitor drinking water wells and/or the groundwater. The registration form can be found at: [http://des.nh.gov/organization/divisions/water/dwgb/dwspp/bmps/documents/floor\\_drain\\_form.pdf](http://des.nh.gov/organization/divisions/water/dwgb/dwspp/bmps/documents/floor_drain_form.pdf).

Best management practices (BMPs) for locating a new deicing materials storage facility should include the following:

- The facility should be located in an area that is not environmentally sensitive. Avoid areas where there are wells, reservoirs, or within the footprint of stratified-drift aquifers.
- The facility should be located on a flat site away from surface water and wetlands.
- Site drainage should be designed to direct clean stormwater away from the operations and storage areas in order to keep the stockpiles as dry as possible.

## DEICING GUIDELINES

NOT TO SCALE

Pavement Temp. (°F) and Trend (↑ ↓)	Weather Condition	Maintenance Actions	Application Rate (lbs/per 1000 sq.ft.)			
			Salt Prewetted/Pretreated with salt brine	Salt Prewetted/Pretreated with other blends	Dry salt	Winter sand
>30 ↑	Snow	Plow, treat intersections only	4.5	4	4.5	Not recommended
	Frz. Rain	Apply chemical	5.75	5.25	6.5	Not recommended
30 ↓	Snow	Plow and apply chemical	5.75	5.25	6.5	Not recommended
	Frz. Rain	Apply chemical	6.5	5.75	7	Not recommended
25 - 30 ↑	Snow	Plow and apply chemical	5.75	5.25	6.5	Not recommended
	Frz. Rain	Apply chemical	6.5	5.75	7	Not recommended
25 - 30 ↓	Snow	Plow and apply chemical	5.75	5.25	6.5	Not recommended
	Frz. Rain	Apply chemical	7	6.5	8.25	10.5
20 - 25 ↑	Snow or frz. Rain	Plow and Apply chemical	7	6.5	8.25	10.5 for frz. Rain
	Snow	Plow and apply chemical	5.75	7.5	9.5	Not recommended
20 - 25 ↓	Snow	Plow and apply chemical	7	7.5	10	10.5
	Frz. Rain	Apply chemical	8.75	7.5	10	10.5
15 - 20 ↑	Snow	Plow and apply chemical	7.5	7.5	9.5	Not recommended
	Frz. Rain	Apply chemical	8.75	7.5	10	10.5
15 - 20 ↓	Snow or Frz. Rain	Plow and apply chemical	8.25	7.5	10	10.5 for frz. Rain
	Snow	Plow, treat with blends, sand hazardous areas	Not recommended	10	Not recommended	13 and spot-treat as needed
< 0	Snow	Plow, treat with blends, sand hazardous areas	Not recommended	23	Not recommended	13 and spot-treat as needed

Table 19. Application Rates for Deicing

The format and methodology are based on (Mn Snow & Ice Control Field Handbook, Manual 2005-1). Develop your own application rates by adjusting your current rates incrementally downward toward these guidelines. Where temperature categories overlap, select the rate most applicable to your situation.

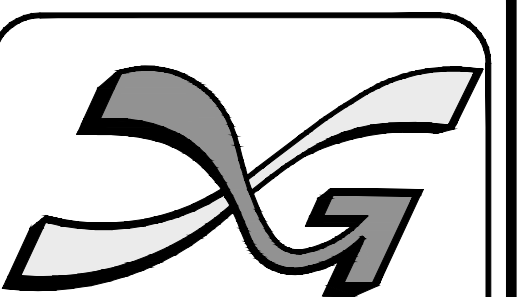
## DEICING APPLICATION RATES

NOT TO SCALE



### NOTES:

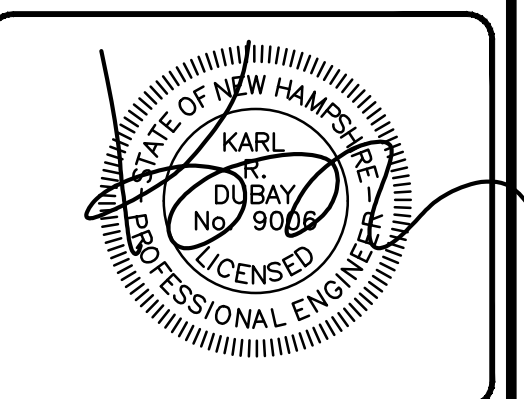
1. THE SITE SNOW MANAGEMENT VENDOR SHALL BE A NH CERTIFIED GREEN SNOW PRO APPLICATOR AND BE PROPERLY TRAINED IN ACCORDANCE WITH RSA 489-C AND Env-Wq 2200 PRIOR TO COMMENCING ANY SNOW MANAGEMENT OR DEICING PRACTICES.
2. REFER TO Env-Wq 2203 FOR ADDITIONAL INFORMATION ON THE COMMERCIAL APPLICATORS CERTIFICATION PROCESS AND PROCEDURES.



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Engineers  
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### REVISIONS:

REV.	DATE:	COMMENT:	BY:
3	10/5/21	MISC. REVS	WA

DRAWN BY: JGG  
CHECKED BY: KRD  
DATE: AUG. 3, 2021  
SCALE: AS SHOWN  
FILE: 475-DETAILS  
DEED REF:

PROJECT: **SITE PLAN**  
**FRIARS DRIVE**  
**TAX MAP 209**  
**LOT 001-000**  
161 LOWELL ROAD  
HUDSON, NH  
PREPARED FOR



LOWELL ROAD  
**PROPERTY OWNER, LLC**  
133 PEARL STREET #300  
BOSTON, MA 02110  
OWNER

**5 WAY REALTY TRUST**  
PETER HORNE, TRUSTEE  
PO BOX 1435  
N. HAMPTON, NH 03862

### SHEET TITLE:

**SITE**  
**DETAILS - 13**

PROJECT #475 SHEET D13

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Prepared For

GFI Partners

133 Pearl Street  
Boston MA 02110

Project

Friars Drive

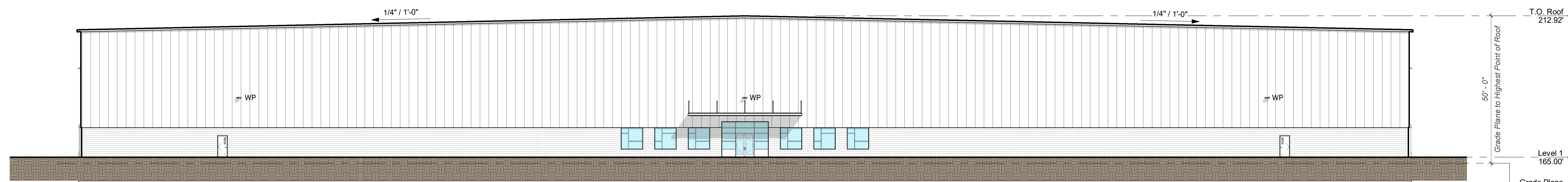
161 Lowell Road  
Hudson NH

No.	Date	Revision/Issue

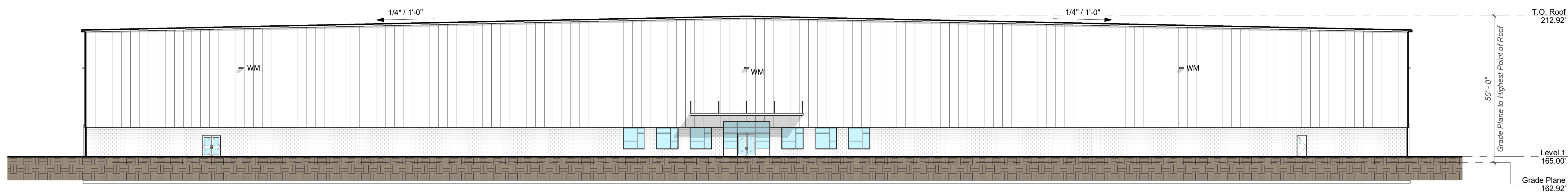
Date  
8.2.2021  
Scale  
1" = 20'-0"  
aF+S Job No.  
Project Number

Proposed East and West Elevations

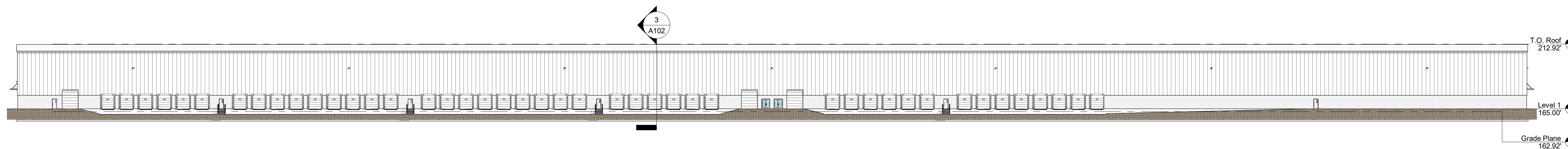
**A101**



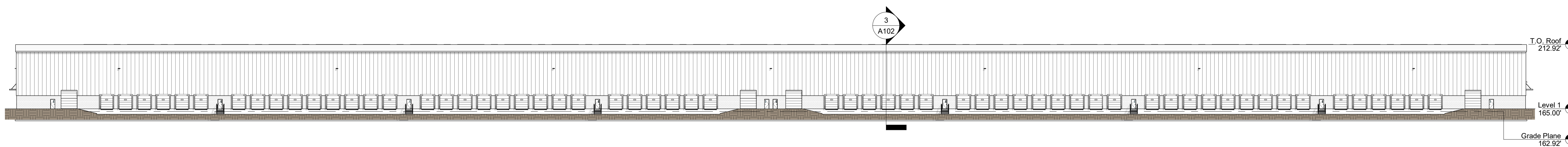
**1** Proposed East Elevation  
1" = 20'-0"



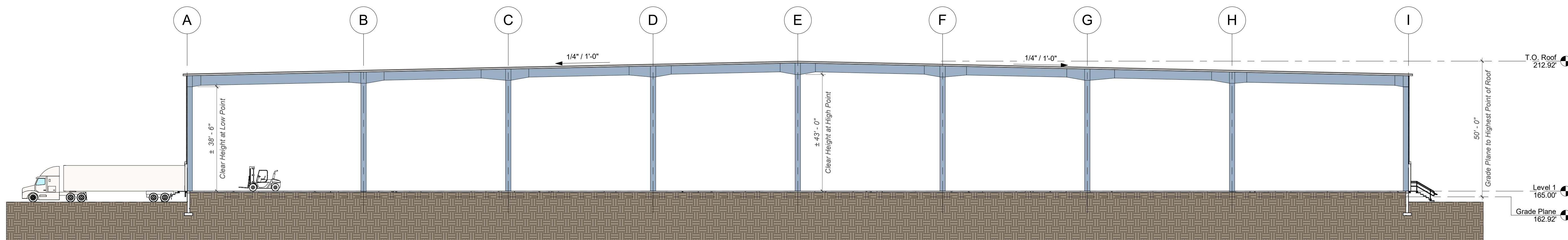
**2** Proposed West Elevation  
1" = 20'-0"



**1 Proposed North Elevation**  
1" = 40'-0"



**2 Proposed South Elevation**  
1" = 40'-0"



**3 Building Section**  
1" = 20'-0"

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No.	Date	Revision/Issue

Date  
8.2.2021

Scale  
As indicated

aF+S Job No.  
Project Number

Proposed North and  
South Elevations  
Building Section

**A102**