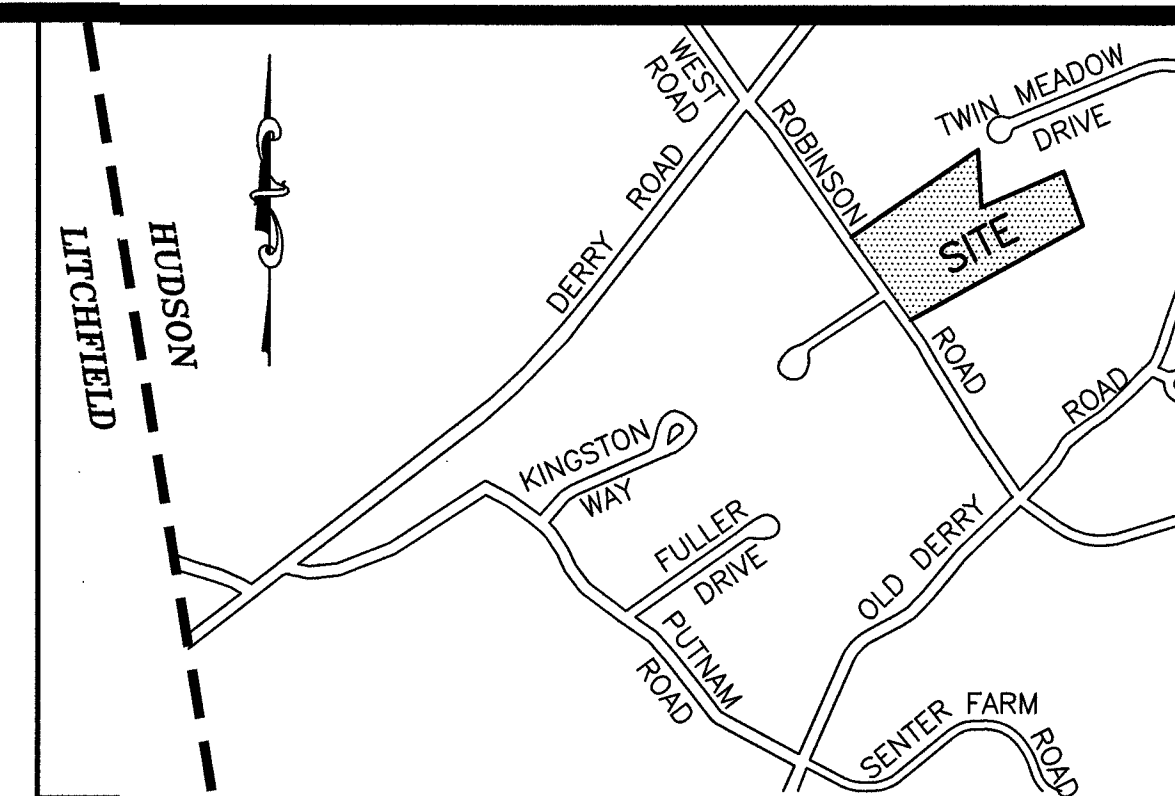


VICINITY PLAN
NOT TO SCALE

AMENDED NON-RESIDENTIAL SITE PLAN S.L. CHASSE STEEL MAP 105 LOT 17-2 ROBINSON ROAD HUDSON, NEW HAMPSHIRE



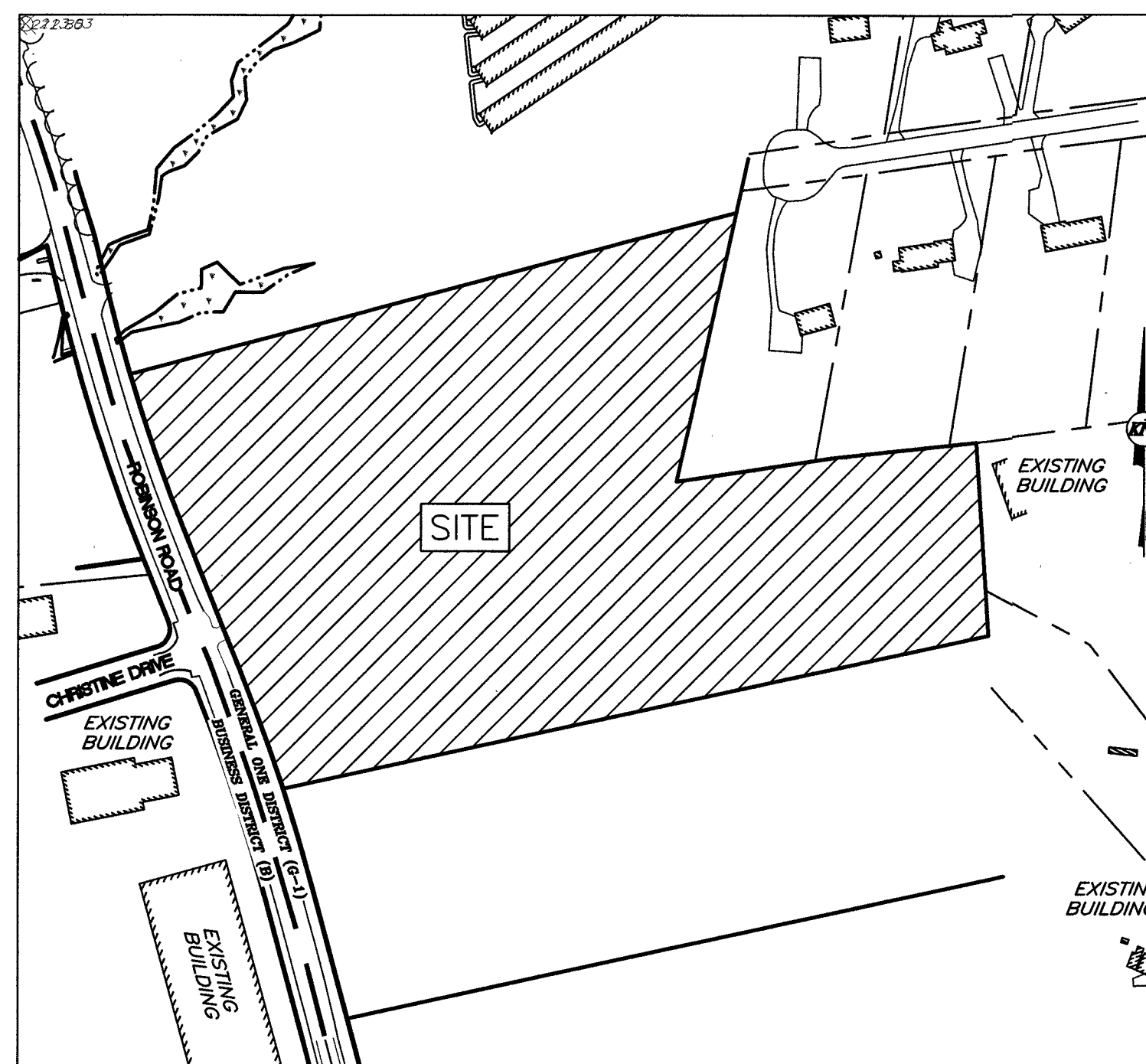
LOCUS PLAN
SCALE: 1" = 1,000'

NEW HAMPSHIRE FISH AND GAME (NHFG) AOT PERMIT CONDITIONS RELATED TO THREATENED & ENDANGERED SPECIES:

1. BLANDING'S TURTLES (STATE ENDANGERED), SPOTTED TURTLES (STATE THREATENED) AND WOOD TURTLES (SPECIES OF SPECIAL CONCERN) OCCUR WITHIN THE VICINITY OF THE PROJECT AREA. ALL OPERATORS AND PERSONNEL WORKING ON OR ENTERING THE SITE SHALL BE MADE AWARE OF THE POTENTIAL PRESENCE OF THESE SPECIES AND SHALL BE PROVIDED FLYERS THAT HELP TO IDENTIFY THESE SPECIES, ALONG WITH NHFG CONTACT INFORMATION. RARE SPECIES INFORMATION (E.G. IDENTIFICATION, OBSERVATION AND REPORTING OF OBSERVATIONS, WHEN TO CONTACT NHFG IMMEDIATELY AND NHFG CONTACT INFORMATION) SHALL BE COMMUNICATED DURING MORNING TAILGATE MEETINGS PRIOR TO WORK COMMENCEMENT DURING THE CONSTRUCTION PHASE OF THE PROJECT. SEE PLAN SHEET 16.
2. TURTLES ARE ATTRACTED TO DISTURBED GROUND DURING NESTING SEASON (MAY 15TH - JUNE 30TH). ALL TURTLE SPECIES NESTS ARE PROTECTED BY NH LAWS. IF PROJECT WORK IS CONDUCTED DURING NESTING SEASON, MORNING WILDLIFE SURVEYS (E.G. SWEEPS) IN AND AROUND DISTURBED SOILS SHALL BE CONDUCTED FOR TURTLES AND NEST SITES. IF A NEST IS OBSERVED OR SUSPECTED, OPERATORS SHALL CONTACT MELISSA WINTERS (603-479-1129) AND JOSH MEGYESY (978-578-0802) AT NHFG IMMEDIATELY (PHONE OR TEXT) FOR FURTHER CONSULTATION AND PRIOR TO CONDUCTING WORK IN THAT AREA FOR THE DAY. SUSPECTED NEST AREAS SHALL BE AVOIDED AND MARKED OFF SO THAT NO DISTURBANCE OCCURS TO THE AREA. A PROTECTIVE BUFFER OF THIS AREA SHALL BE ESTABLISHED OF NO LESS THAN 10 FEET AROUND THE SUSPECTED AREA UNTIL NHFG ADVISES ON HOW TO PROCEED.
3. ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, WITH THE EXCEPTION OF TURF REINFORCEMENT MATS, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, INLET PROTECTION, CHECK DAMS, AND SEDIMENT TRAPS SHALL NOT CONTAIN PLASTIC, OR MULTIFILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8 INCHES.
4. ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES ON THE PROJECT SITE SHALL BE REPORTED IMMEDIATELY TO THE NHFG NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHGCREVIEW@WILDLIFE.NH.GOV, WITH THE EMAIL SUBJECT LINE CONTAINING THE NHB DATACHECK TOOL RESULTS LETTER ASSIGNED NUMBER, THE PROJECT NAME, AND THE TERM WILDLIFE SPECIES OBSERVATION.
5. PHOTOGRAPHS OF THE OBSERVED SPECIES AND NEARBY ELEMENTS OF HABITAT OR AREAS OF LAND DISTURBANCE SHALL BE PROVIDED TO NHFG IN DIGITAL FORMAT AT THE ABOVE EMAIL ADDRESS FOR VERIFICATION, AS FEASIBLE.
6. IN THE EVENT A THREATENED OR ENDANGERED SPECIES IS OBSERVED ON THE PROJECT SITE DURING THE TERM OF THE PERMIT, THE SPECIES SHALL NOT BE DISTURBED, HANDLED, OR HARMED IN ANY WAY PRIOR TO CONSULTATION WITH NHFG AND IMPLEMENTATION OF CORRECTIVE ACTIONS RECOMMENDED BY NHFG.
SITE OPERATORS SHALL BE ALLOWED TO RELOCATE WILDLIFE ENCOUNTERED IF DISCOVERED WITHIN THE ACTIVE WORK ZONE AND IF IN DIRECT HARM FROM PROJECT ACTIVITIES. WILDLIFE SHALL BE RELOCATED IN CLOSE PROXIMITY TO THE CAPTURE LOCATION BUT OUTSIDE OF THE WORK ZONE AND IN THE DIRECTION THE INDIVIDUAL WAS HEADING. NHFG SHALL BE CONTACTED IMMEDIATELY IF THIS ACTION OCCURS.
7. THE NHFG, INCLUDING ITS EMPLOYEES AND AUTHORIZED AGENTS, SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

OWNER OF RECORD/APPLICANT:
STEEL PROPERTIES, LLC
8 CHRISTINE DRIVE
HUDSON, NEW HAMPSHIRE 03051

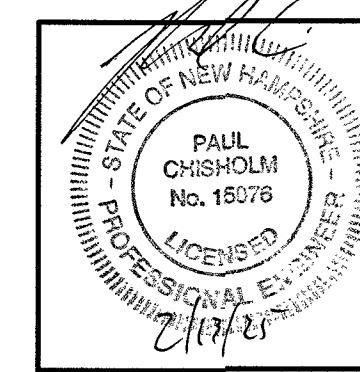
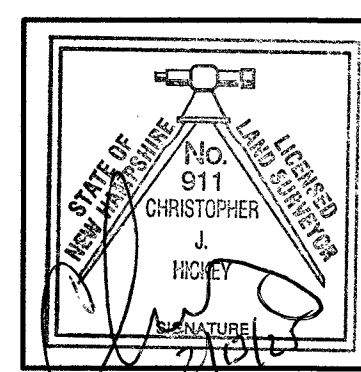
PREPARED BY:
KEACH-NORDSTROM ASSOCIATES, INC.
10 COMMERCE PARK NORTH, SUITE 3
BEDFORD, NEW HAMPSHIRE 03110
(603) 627-2881



EXISTING FEATURES WITHIN 200 FEET
SCALE: 1" = 200'

LEGEND

- WETLAND
- EDGE OF PAVEMENT
- ZONE BOUNDARY
- PROPERTY LINE
- PROPERTY LINE



KN KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

JANUARY 22, 2025
PROJECT NO. 20-0921-2

SHEET TITLE

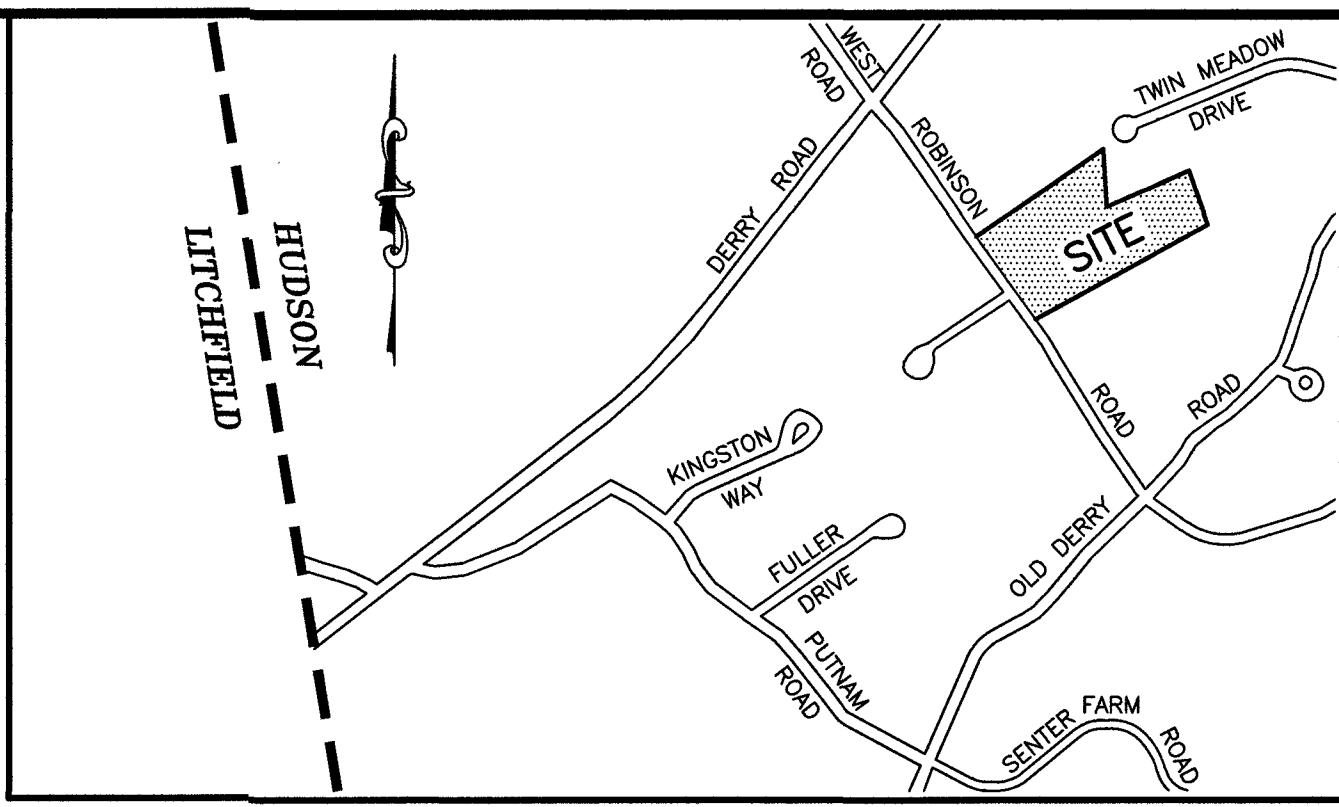
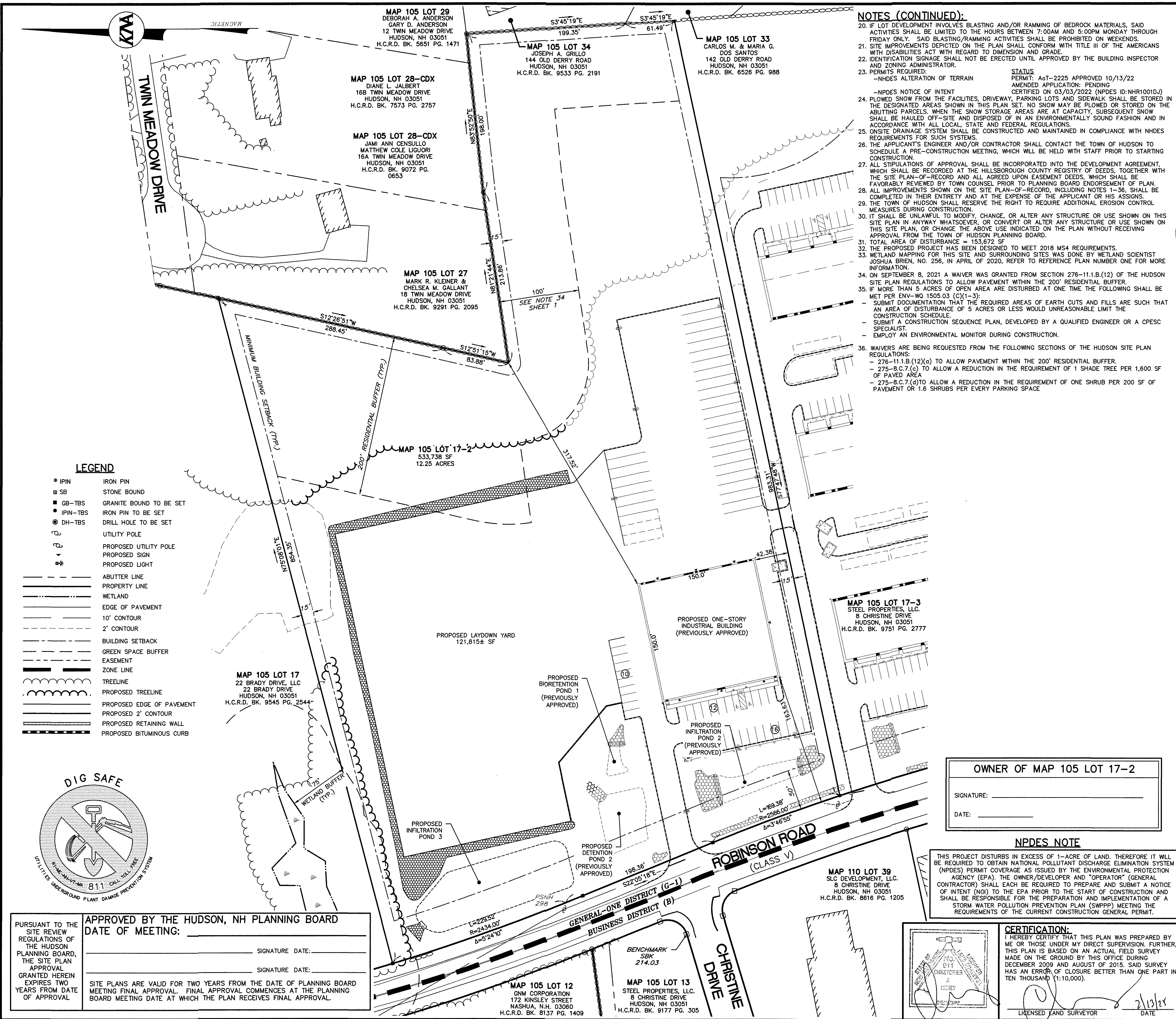
AMENDED MASTER SITE PLAN
AMENDED EXISTING CONDITIONS PLAN
AMENDED NON-RESIDENTIAL SITE PLAN
AMENDED GRADING & DRAINAGE PLAN
AMENDED EROSION CONTROL PLAN
AMENDED LANDSCAPE PLAN
AMENDED LIGHTING PLAN
AMENDED CONSTRUCTION DETAILS

SHEET No.

1
2
3
4
5
6
7
8-12

LOT CONSOLIDATION PLAN

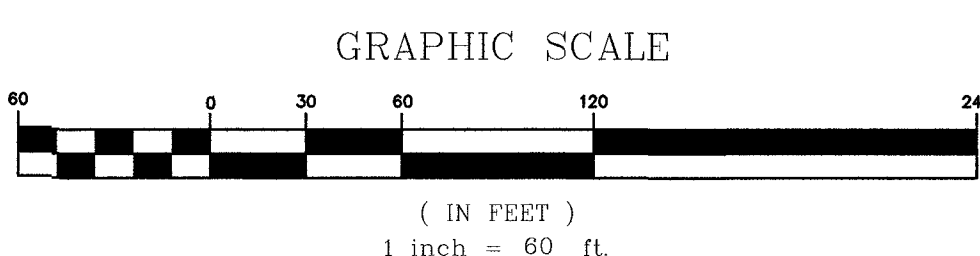
1



LOCUS PLAN
SCALE: 1" = 1,000'

- REFERENCE PLANS:**
- "SUBDIVISION PLAN, NOURY INVESTMENT, LLC, MAP 105 LOTS 16 & 17, ROBINSON ROAD & OLD DERRY ROAD, HUDSON, NEW HAMPSHIRE, DATED NOVEMBER 20, 2019, WITH REVISIONS THROUGH 05/13/20, PREPARED BY KEACH-NORDSTROM ASSOCIATES, INC. (14 SHEETS). H.C.R.D. PLAN NUMBER: 40605
 - "MASTER SITE PLAN", S.L. CHASSE STEEL, MAP 105 LOT 17-2, ROBINSON ROAD, HUDSON, NEW HAMPSHIRE, DATED APRIL 6, 2021, WITH REVISIONS THROUGH JUNE 8, 2023, PREPARED BY KEACH-NORDSTROM ASSOCIATES, INC.
 - "LOT CONSOLIDATION PLAN", STEEL PROPERTIES, LLC, MAP 105 LOTS 17-1 & 17-2, ROBINSON ROAD, HUDSON, NEW HAMPSHIRE, DATED FEBRUARY 6, 2025, PREPARED BY KEACH-NORDSTROM ASSOCIATES, INC.

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED 133,000 SF LAYDOWN YARD ON ROBINSON ROAD ON MAP 105 LOT 17-2 IN THE TOWN OF HUDSON, NEW HAMPSHIRE, AND NO OTHER PURPOSE.
 - MAP 105 LOT 17-2 INDICATES TOWN OF HUDSON TAX ASSESSOR'S MAP AND LOT NUMBER AFTER VOLUNTARY LOT MERGING BETWEEN LOTS 17-1 AND 17-2.
 - OWNER OF RECORD: STEEL PROPERTIES, LLC.
8 CHRISTINE DRIVE
HUDSON, NH 03051
H.C.R.D. BK. 9327 PG. 197
 - AREA OF SUBJECT PARCEL = 533,738 SF, OR 12.25 ACRES
 - BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE DURING DECEMBER 2009 AND AUGUST 2015.
 - HORIZONTAL DATUM IS NAD83. VERTICAL DATUM IS NGVD29 FROM GPS SURVEY METHODS POST PROCESSED THROUGH NOAA-OPUS.
 - THE SUBJECT PARCEL IS LOCATED WITHIN THE GENERAL-ONE (G-1) ZONING DISTRICT. DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS FOR LOTS SERVICED WITHOUT MUNICIPAL SEWER AND WATER:
- | | REQUIRED | PROPOSED |
|----------------------------|-----------|--------------------|
| MINIMUM LOT AREA | 87,120 SF | 533,738 SF |
| MINIMUM LOT FRONTAGE | 200 FT | 597.26 (ROBINSON), |
| MINIMUM BUILDING SETBACKS: | | |
| FRONT | 50 FT | 163.6 FT |
| SIDE | 15 FT | 42.4 FT |
| REAR | 15 FT | 317.52 FT |
- PARCEL WILL BE SERVICED BY INDIVIDUAL SEPTIC AND MUNICIPAL WATER.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
 - THE SUBJECT PREMISES IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 33011C0508D, PANEL 508 OF 701, AND MAP NUMBER 33011C0509D, PANEL 509 OF 701, EFFECTIVE DATE SEPTEMBER 25, 2009. THE SUBJECT PARCEL IS LOCATED IN ZONES 'A' & 'X'.
 - EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS, AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.
 - OPEN SPACE: REQUIRED = 40%, PROPOSED = 57.5%
 - PARKING CALCULATIONS: NO BUILDINGS ARE PROPOSED AT THIS TIME, AND THIS PROJECT WILL PROVIDE 133,000 SF OF PAVED AREA FOR PARKING AND STORAGE.
 - CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE HOURS OF 7:00 AM & 7:00 PM, MONDAY THROUGH SATURDAY. NO EXTERIOR CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAY.
 - HOURS OF REFUSE REMOVAL SHALL BE EXCLUSIVE TO THE HOURS OF 7:00 AM AND 7:00 PM, MONDAY THROUGH SATURDAY ONLY.
 - HOURS OF OPERATION: 6:00 AM TO 6:00 PM, MONDAY THROUGH SATURDAY.
 - APPROVAL OF THIS PLAN SHALL BE SUBJECT TO FINAL ENGINEERING REVIEW.



- LEGEND**
- IPIN IRON PIN
 - SB STONE BOUND
 - GB-TBS GRANITE BOUND TO BE SET
 - IPIN-TBS IRON PIN TO BE SET
 - DH-TBS DRILL HOLE TO BE SET
 - UTILITY POLE
 - PROPOSED UTILITY POLE
 - PROPOSED SIGN
 - PROPOSED LIGHT
 - ABUTTER LINE
 - PROPERTY LINE
 - WETLAND
 - EDGE OF PAVEMENT
 - 10' CONTOUR
 - 2' CONTOUR
 - BUILDING SETBACK
 - GREEN SPACE BUFFER
 - EASEMENT
 - ZONE LINE
 - TREELINE
 - PROPOSED TREELINE
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED 2' CONTOUR
 - PROPOSED RETAINING WALL
 - PROPOSED BITUMINOUS CURB



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____

SIGNATURE DATE: _____

SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

OWNER OF MAP 105 LOT 17-2

SIGNATURE: _____

DATE: _____

NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND. THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE DURING DECEMBER 2009 AND AUGUST OF 2015. SAID SURVEY HAS AN ERROR OF CLOSURE BETTER THAN ONE PART IN TEN THOUSAND (1:10,000).

LICENSED LAND SURVEYOR

2/13/25
DATE

AMENDED MASTER SITE PLAN

S.L. CHASSE STEEL
MAP 105 LOT 17-2
ROBINSON ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:
STEEL PROPERTIES, LLC
8 CHRISTINE DRIVE
HUDSON, N.H. 03051
H.C.R.D. BK. 9327 PG. 197

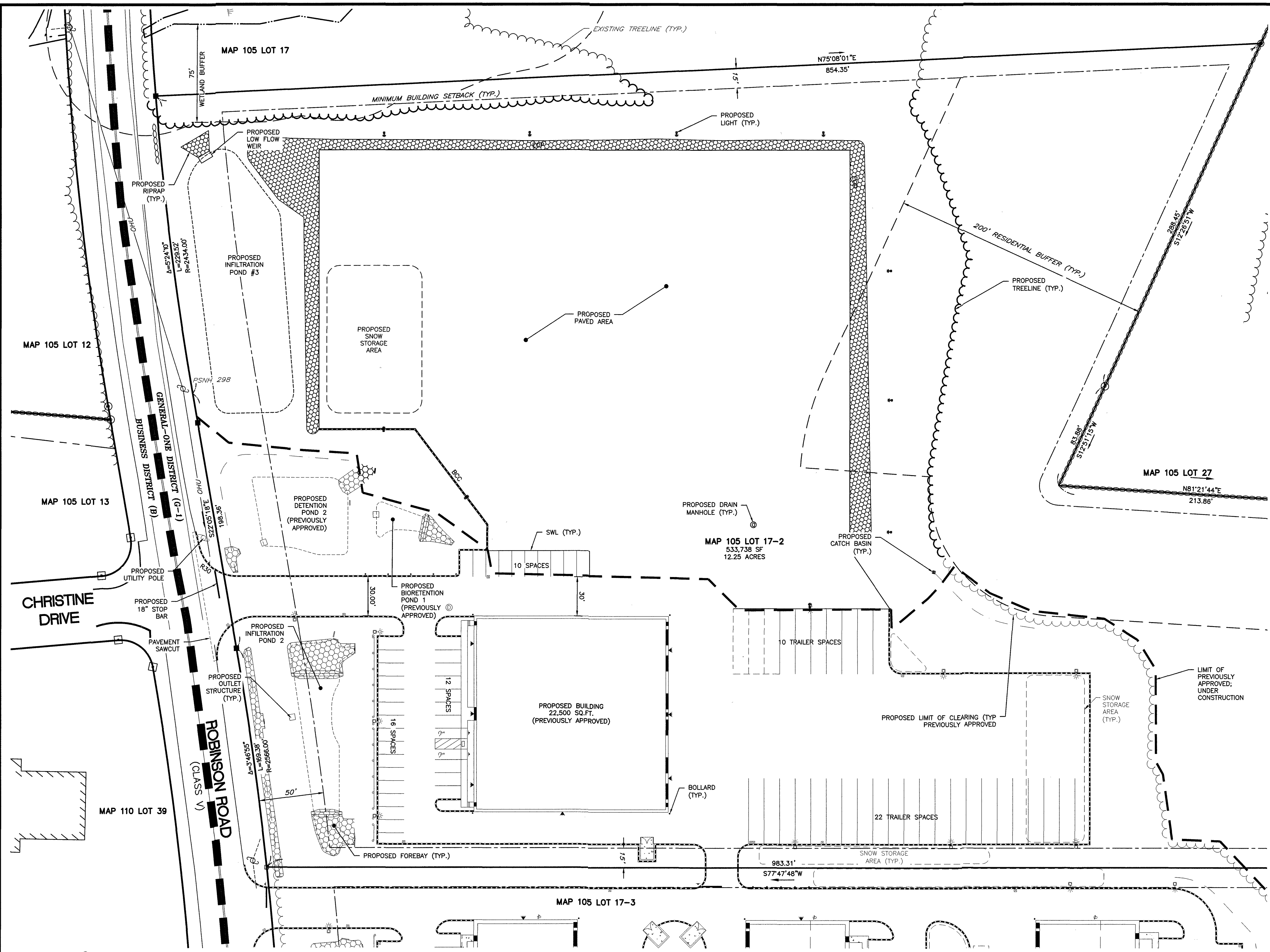
KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY

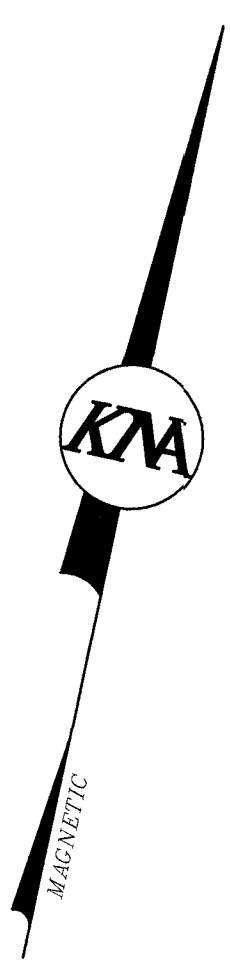
DATE: JANUARY 22, 2025 SCALE: 1" = 60'
PROJECT NO: 20-0921-2 SHEET 1 OF 12

SHEET 2 OF 12

LICENSED LAND SURVEYOR

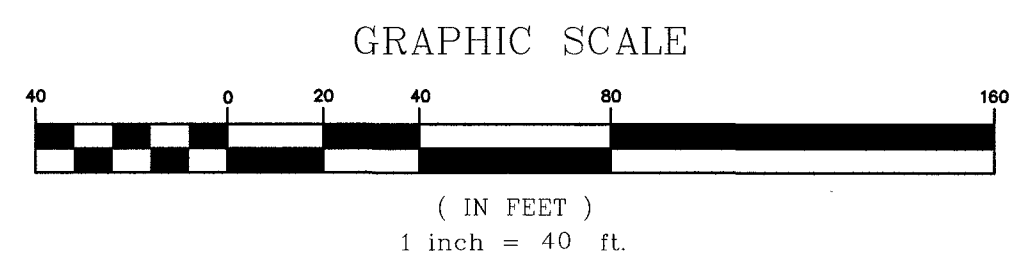


- LEGEND**
- GB-F GRANITE BOUND FOUND
 - IPIN-F IRON PIN FOUND
 - DH-F DRILL HOLE FOUND
 - UTILITY POLE
 - PROPOSED SIGN
 - PROPOSED LIGHT
 - PROPOSED HYDRANT
 - PROPOSED WELL
 - PROPOSED SEWER MANHOLE
 - PROPOSED DRAINAGE MANHOLE
 - PROPOSED CATCH BASIN
 - PROPOSED OUTLET STRUCTURE
 - ABUTTER LINE
 - PROPERTY LINE
 - OVERHEAD UTILITIES
 - TREELINE
 - EDGE OF PAVEMENT
 - STONEWALL
 - BUILDING SETBACK
 - ZONE LINE
 - PROPOSED TREELINE
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED BITUMINOUS CURB
 - PROPOSED SWALE
 - EASEMENT
 - SITE LIGHTING
 - BUILDING WALL PACK LIGHTING



LOAM & SEED ALL DISTURBED AREAS (TYP.)

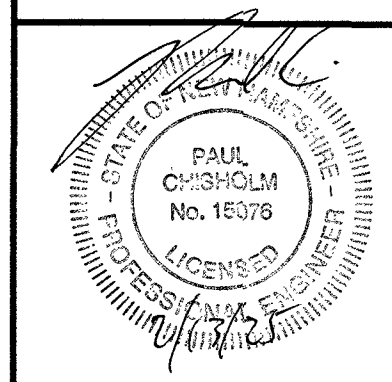
SEE SHEET 1 FOR NOTES AND REFERENCE PLANS



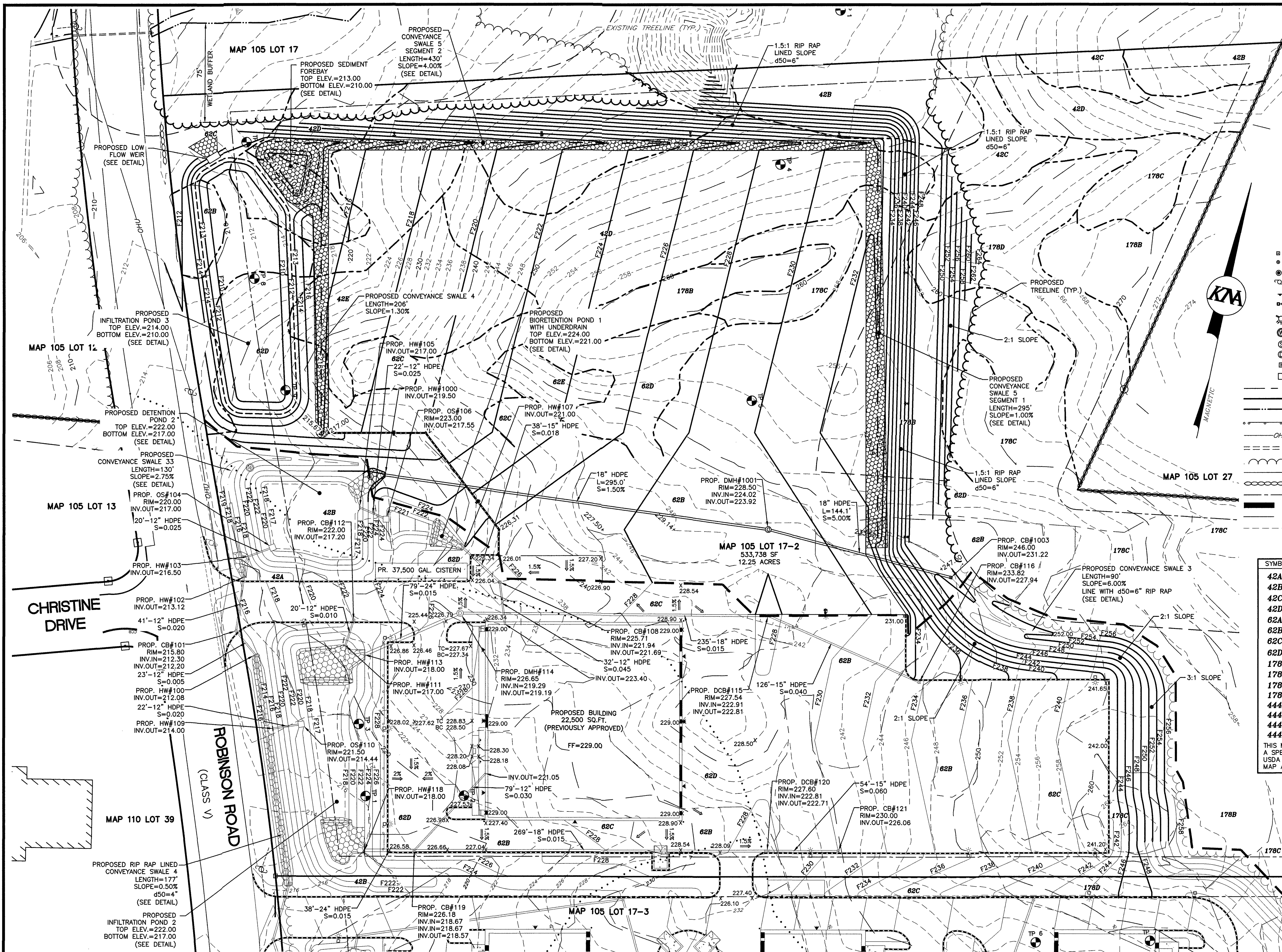
AMENDED NON-RESIDENTIAL SITE PLAN
S.L. CHASSE STEEL
MAP 105 LOT 17-2
ROBINSON ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:
STEEL PROPERTIES, LLC
8 CHRISTINE DRIVE
HUDSON, N.H. 03051
H.C.R.D. BK. 9327 PG. 197

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY
DATE: JANUARY 22, 2025		SCALE: 1" = 40'	
PROJECT NO: 20-0921-2		SHEET 3 OF 12	



- CONSTRUCTION NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED GRADING, DRAINAGE, AND UTILITY SYSTEMS FOR THIS SITE.
 2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL WORK PERFORMED IN THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
 3. CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPARTMENT, HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHOWN SHALL BE HDPE. CATCH BASINS SHALL BE TYPE B, AND HAVE 3' SUMPS UNLESS OTHERWISE NOTED.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
 5. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE WATER, SANITARY SEWER, AND ELECTRICAL UTILITIES SHOWN HERE SHALL BE COORDINATED WITH THE FINAL BUILDING PLANS PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES.
 7. PLANS TO COMPLY WITH THE TOWN OF HUDSON'S M54 PERMIT.

LEGEND

GB-F	GRANITE BOUND FOUND	OHU	PROPOSED GUARDRAIL
IPIN-F	IRON PIN FOUND	OHU	PROPOSED OVERHEAD UTILITIES
DH-F	DRILL HOLE FOUND	UGU	PROPOSED UNDERGROUND UTILITIES
UTILITY POLE		G	PROPOSED GAS LINE
PROPOSED SIGN		W	PROPOSED WATER LINE
PROPOSED LIGHT		S	PROPOSED SEWER LINE
PROPOSED HYDRANT			PROPOSED DRAINAGE LINE
PROPOSED WELL			PROPOSED TREELINE
PROPOSED SEWER MANHOLE			PROPOSED EDGE OF PAVEMENT
PROPOSED DRAINAGE MANHOLE			PROPOSED VERTICAL GRANITE CURB
PROPOSED CATCH BASIN			PROPOSED SLOPED GRANITE CURB
PROPOSED OUTLET STRUCTURE			PROPOSED BITUMINOUS CURB
ABUTTER LINE			PROPOSED 2' CONTOUR
PROPERTY LINE			PROPOSED SWALE
WETLAND			PROPOSED RETAINING WALL
GUARDRAIL			PROPOSED STONEWALL
OVERHEAD UTILITIES			EASEMENT
DRAINAGE LINE			SITE LIGHTING
TREELINE			BUILDING WALL PACK LIGHTING
EDGE OF PAVEMENT			TEST PIT
STONEWALL			
BUILDING SETBACK			
ZONE LINE			
10' CONTOUR			
2' CONTOUR			

SITE SPECIFIC SOIL MAP UNIT KEY

SYMBOL	MAP UNIT	SLOPE CLASS	DRAINAGE CLASS	HSG
42A	CANTON SANDY LOAM	0-3%	WELL DRAINED	B
42B	CANTON SANDY LOAM	3-8%	WELL DRAINED	B
42C	CANTON SANDY LOAM	8-15%	WELL DRAINED	B
42D	CANTON SANDY LOAM	15-25%	WELL DRAINED	B
62A	CHARLTON FINE SANDY LOAM	0-3%	WELL DRAINED	B
62B	CHARLTON FINE SANDY LOAM	3-8%	WELL DRAINED	B
62C	CHARLTON FINE SANDY LOAM	8-15%	WELL DRAINED	B
62D	CHARLTON FINE SANDY LOAM	15-25%	WELL DRAINED	B
178B	CHARLTON-CHATFIELD COMPLEX (60-40)	3-8%	WELL DRAINED	B
178C	CHARLTON-CHATFIELD COMPLEX (60-40)	8-15%	WELL DRAINED	B
178D	CHARLTON-CHATFIELD COMPLEX (60-40)	15-25%	WELL DRAINED	B
178E	CHARLTON-CHATFIELD COMPLEX (60-40)	25-50%	WELL DRAINED	B
444A	NEWFIELDS FINE SANDY LOAM	0-3%	MODERATELY WELL DRAINED	B
444B	NEWFIELDS FINE SANDY LOAM	3-8%	MODERATELY WELL DRAINED	B
444C	NEWFIELDS FINE SANDY LOAM	8-15%	MODERATELY WELL DRAINED	B
444D	NEWFIELDS FINE SANDY LOAM	15-25%	MODERATELY WELL DRAINED	B

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOILS SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, PRODUCED BY A CERTIFIED SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCE CONSERVATION SERVICE. THERE IS A NARRATIVE REPORT THAT ACCOMPANIES THIS MAP AND MAP KEY.

AMENDED GRADING & DRAINAGE PLAN

S.L. CHASSE STEEL
MAP 105 LOT 17-2
ROBINSON ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:
STEEL PROPERTIES, LLC
8 CHRISTINE DRIVE
HUDSON, N.H. 03051
H.C.R.D. BK. 9327 PG. 197

KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: JANUARY 22, 2025 **SCALE:** 1" = 40'

PROJECT NO: 20-0921-2 **SHEET:** 4 OF 12

DIG SAFE

UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM

SCS SOIL MAP UNIT KEY

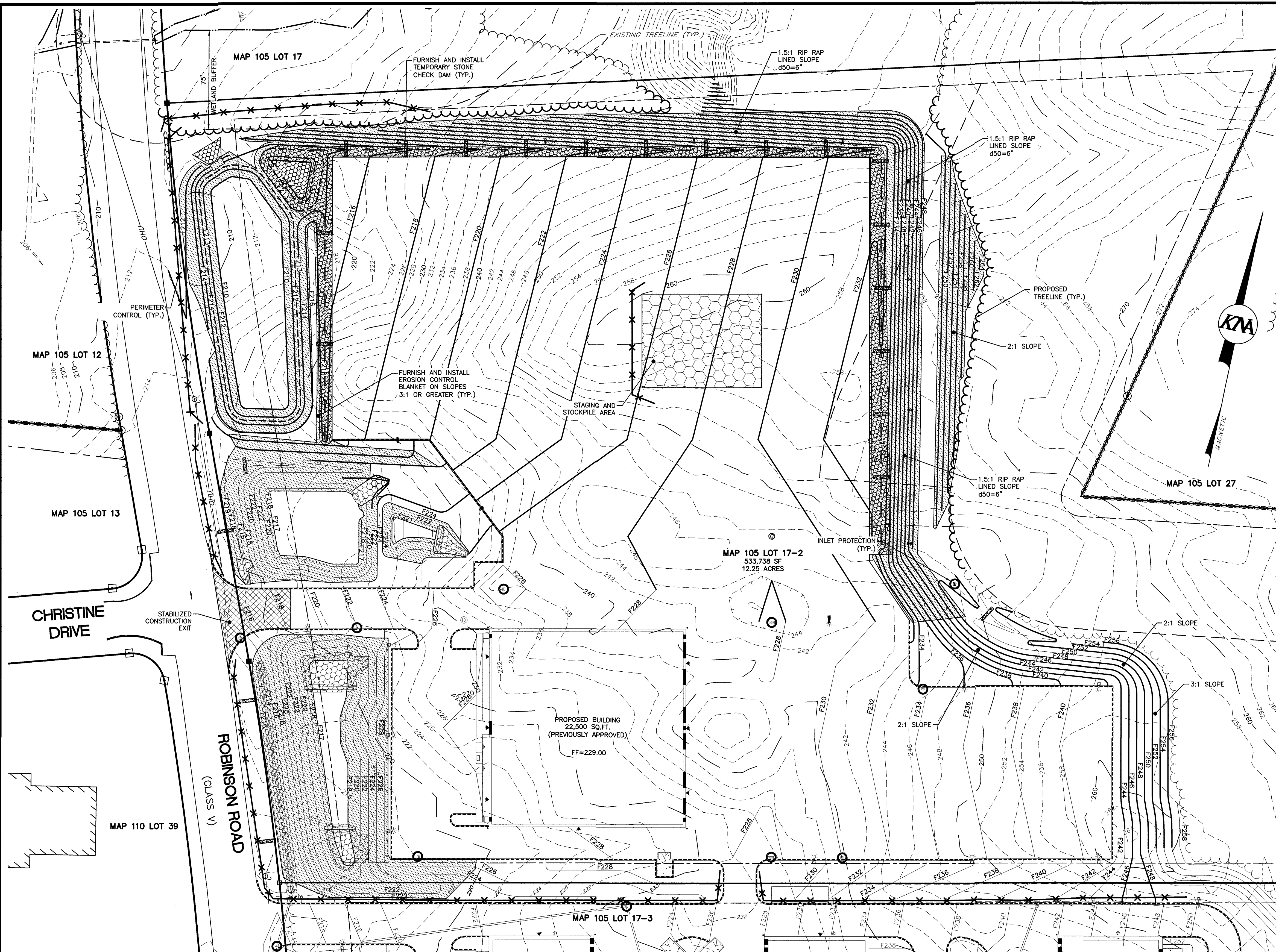
SYMBOL	MAP UNIT	SLOPE CLASS
CpB	CHATFIELD-HOLLIS-CANTON	3-8%
CpC	CHATFIELD-HOLLIS-CANTON	8-15%
HsB	HINCKLEY LOAMY SAND	3-8%
PIA	PIPESTONE LOAMY SAND	0-3%

SOURCE: WEB SOIL SURVEY, WWW.WEBSOILSURVEY.SCS.EDGEV.USDA.GOV

GRAPHIC SCALE

40 0 20 40 60 80 100
(IN FEET)
1 inch = 40 ft.

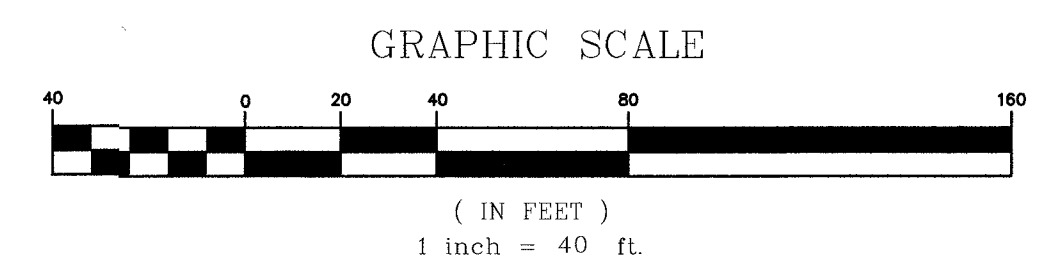
LOAM & SEED ALL DISTURBED AREAS (TYP.)



- EROSION CONTROL NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES AS WELL AS THE PERMANENT EROSION CONTROL MEASURES.
 2. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL, TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME.
 3. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
 4. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
 5. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
 6. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
 7. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
 8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
 9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
 10. THE TOWN OF HUDSON SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
 11. INFILTRATION AREAS ARE TO BE PROTECTED FROM OVER-COMPACTION DURING CONSTRUCTION.
 12. SLOPES OVER 2:1 TO BE DESIGNED BY A GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
 13. ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, EXCEPT FOR SILT FENCE, INSTALLED IN ACCORDANCE WITH ENV-WQ 1506.04, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, INLET PROTECTION, CHECK DAMS, AND SEDIMENT TRAPS SHALL NOT CONTAIN WELDED PLASTIC, PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/4".
 14. TURF REINFORCEMENT MATS SHALL BE COVERED WITH SOIL TO PREVENT EXPOSURE OF THE MATS TO THE SURFACE.

EROSION & SEDIMENT CONTROL LEGEND

	PERMANENT OUTLET PROTECTION APRON (RIP RAP)
	INLET PROTECTION
	PERIMETER CONTROL
	ORANGE CONSTRUCTION FENCING
	TEMPORARY STONE CHECK DAM
	STABILIZED CONSTRUCTION EXIT
	STAGING AND STOCKPILE AREA
	EROSION CONTROL BLANKETS
	NON DISTURBANCE AREA



AMENDED EROSION CONTROL PLAN

S.L. CHASSE STEEL
MAP 105 LOT 17-2
ROBINSON ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:
STEEL PROPERTIES, LLC
8 CHRISTINE DRIVE
HUDSON, N.H. 03051
H.C.R.D. BK. 9327 PG. 197

KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: JANUARY 22, 2025 **SCALE:** 1" = 40'
PROJECT NO: 20-0921-2 **SHEET** 5 OF 12



NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND. THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.

LOAM & SEED ALL DISTURBED AREAS (TYP.)

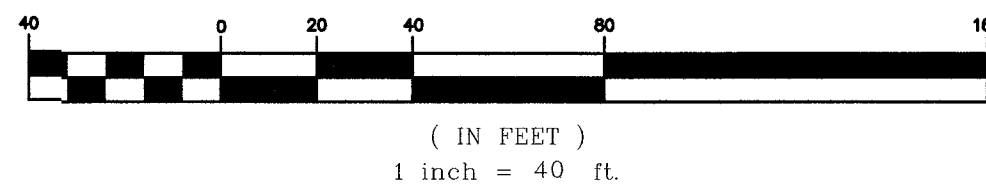
- LIGHTING NOTES:**
1. ALL LIGHTS/FIXTURES SHALL BE AS SPECIFIED BY EXPOSURE LIGHTING.
 2. ALL PROPOSED FIXTURES ARE TO BE FULL CUTOFF.
 3. POLE MOUNTED FIXTURES SHALL BE 20' ABOVE FINISH GRADE.
 4. ALL FINAL SITE LIGHTING AND CONDUIT LAYOUT SHALL BE COORDINATED WITH LOCAL UTILITY PROVIDER.
 5. PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ELECTRICIAN FOR THE EXACT LOCATION, LAYOUT, CONDUIT SIZE AND CIRCUITS ASSOCIATED WITH THE SITE LIGHTING.
 6. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION REGARDING LIGHT INSTALLATION AND WIRING REQUIREMENTS.
 7. ALL LIGHTING MUST COMPLY WITH THE TOWN OF HUDSON SITE PLAN REGULATIONS.

SEE SHEET 1 FOR NOTES
AND REFERENCE PLANS

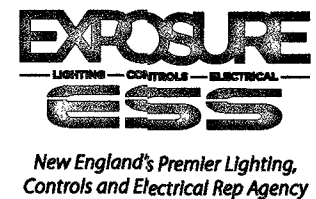
LEGEND

- | | |
|----------|---------------------------|
| ■ GB-F | GRANITE BOUND FOUND |
| ● IPIN-F | IRON PIN FOUND |
| ● DH-F | DRILL HOLE FOUND |
| ○ U | UTILITY POLE |
| + | PROPOSED SIGN |
| ⊕ | PROPOSED LIGHT |
| ⊕ | PROPOSED HYDRANT |
| ⊕ | PROPOSED WELL |
| ⊕ | PROPOSED SEWER MANHOLE |
| ⊕ | PROPOSED DRAINAGE MANHOLE |
| ⊕ | PROPOSED CATCH BASIN |
| ⊕ | PROPOSED OUTLET STRUCTURE |
| --- | ABUTTER LINE |
| --- | PROPERTY LINE |
| --- | OVERHEAD UTILITIES |
| --- | TREELINE |
| --- | EDGE OF PAVEMENT |
| --- | STONEWALL |
| --- | BUILDING SETBACK |
| --- | ZONE LINE |
| --- | PROPOSED TREELINE |
| --- | PROPOSED EDGE OF PAVEMENT |
| --- | PROPOSED BITUMINOUS CURB |
| --- | PROPOSED SWALE |
| --- | EASEMENT |

GRAPHIC SCALE



IN ASSOCIATION WITH:



KENNETH SWEENEY | APPLICATIONS ENGINEER
603.759.1043
6 SCOTT RD | HAMPTON, NH 03842 | 603.601.8080
EXPOSURE2LIGHTING.COM

AMENDED LIGHTING PLAN

S.L. CHASSE STEEL
MAP 105 LOT 17-2
ROBINSON ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:

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DATE: JANUARY 22, 2025

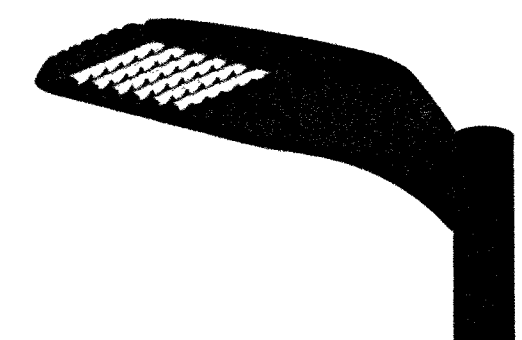
SCALE: 1" = 40'

PROJECT NO: 20-0921-2

SHEET 7 OF 12



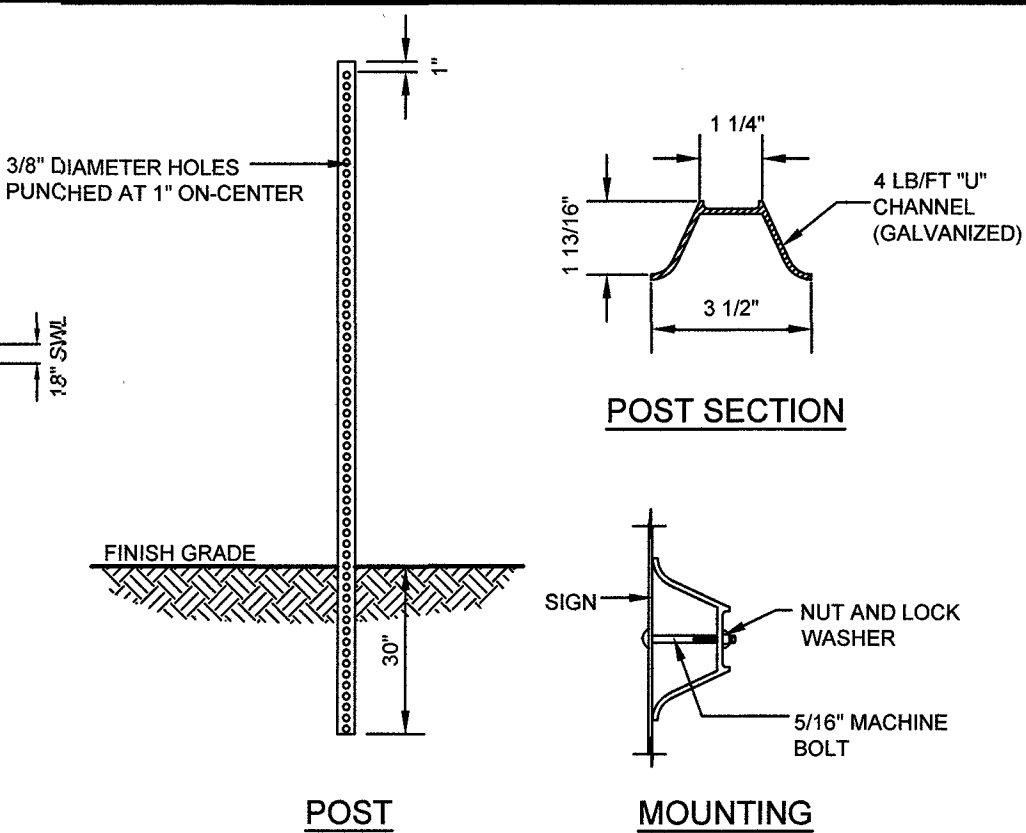
Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Description	Tag	[MANUFAC]
⊕	10	P4	Single	MRM-LED-12L-SIL-FT-UNV-DIM-30-70CRI-CXX / 45Q B3 S11G20 AB 4BC	20' POLE	LSI INDUSTRIES, INC.



MIRADA MEDIUM (MRM) LIGHT

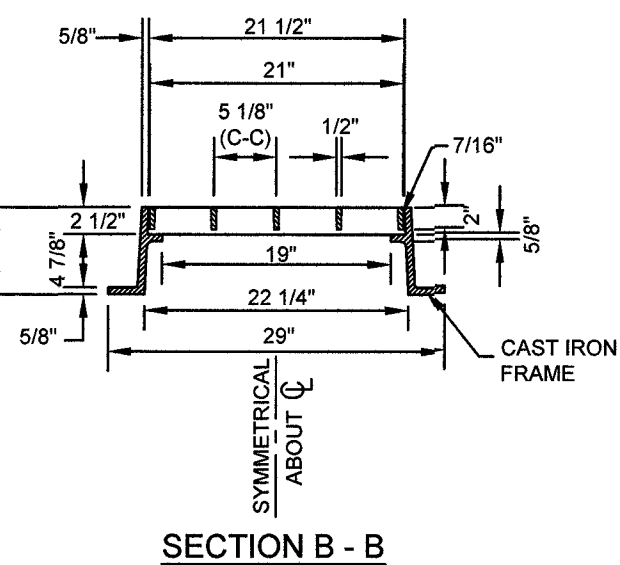
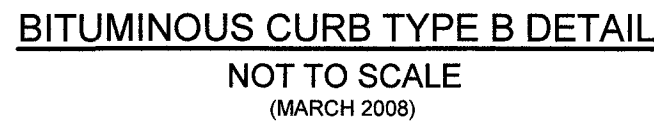


CONSTRUCTION SPECIFICATIONS:

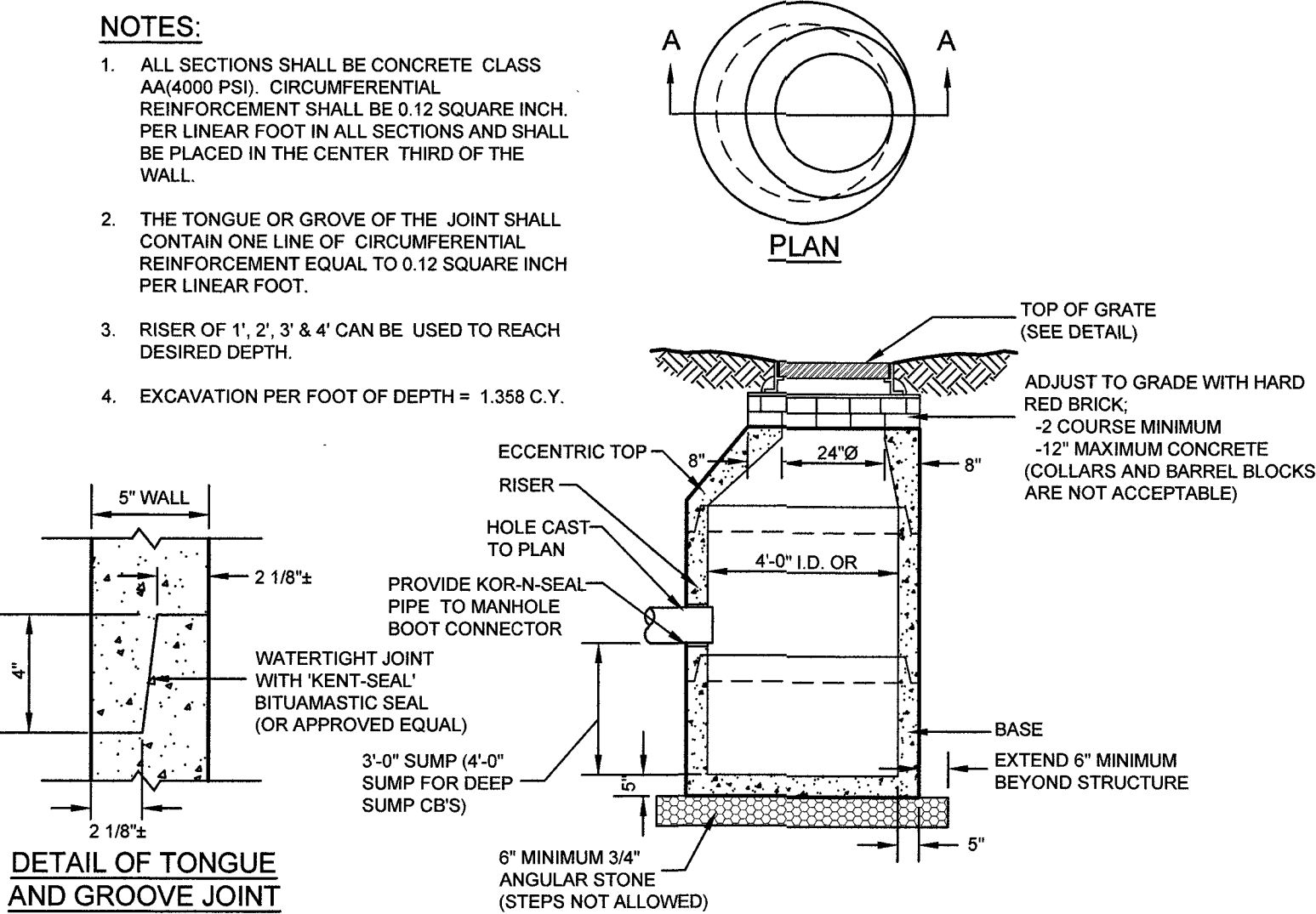


NOTE:
POST SHALL CONFORM TO NHDOT 615.2.5.3

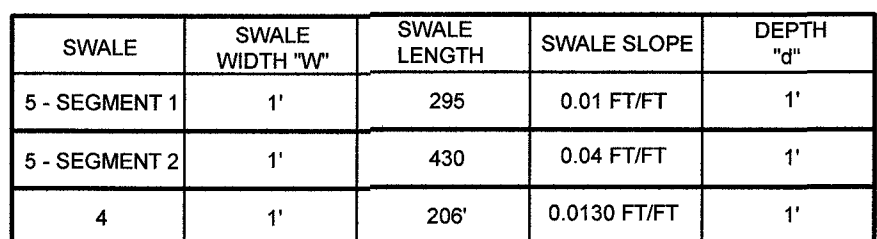
STEEL SIGN POST DETAIL
NOT TO SCALE
(MARCH 2008)



TYPE B FRAME & GRATE DETAIL
NOT TO SCALE
(MARCH 2008)

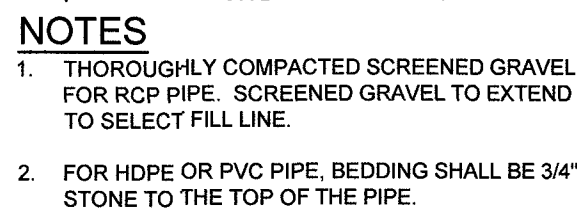
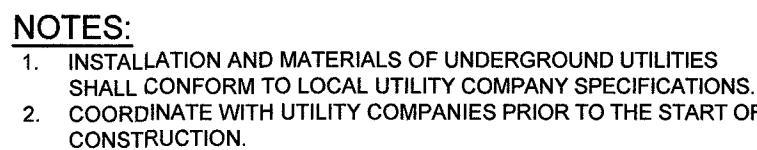


PRECAST REINFORCED CATCH BASIN
NOT TO SCALE
(MARCH 2008)



1. TIMELY MAINTENANCE IS IMPORTANT TO KEEP THE VEGETATION IN THE SWALE IN GOOD CONDITION. MOWING SHOULD BE DONE FREQUENTLY ENOUGH TO KEEP THE VEGETATION IN VIGOROUS CONDITION AND TO CONTROL ENCROACHMENT OF WEEDS AND WOODY VEGETATION. HOWEVER IT SHOULD NOT BE MOWED TOO CLOSELY SO AS TO REDUCE THE FILTERING EFFECT. FERTILIZE ON AN "AS NEEDED" BASIS TO KEEP THE GRASS HEALTHY. OVER FERTILIZATION CAN RESULT IN THE SWALE BECOMING A SOURCE OF POLLUTION.
2. THE SWALE SHOULD BE INSPECTED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE THE CONDITION OF THE SWALE. RILLS AND DAMAGED AREAS SHOULD BE PROMPTLY REPAIRED AND RE-VEGETATED AS NECESSARY TO PREVENT FURTHER DETERIORATION.

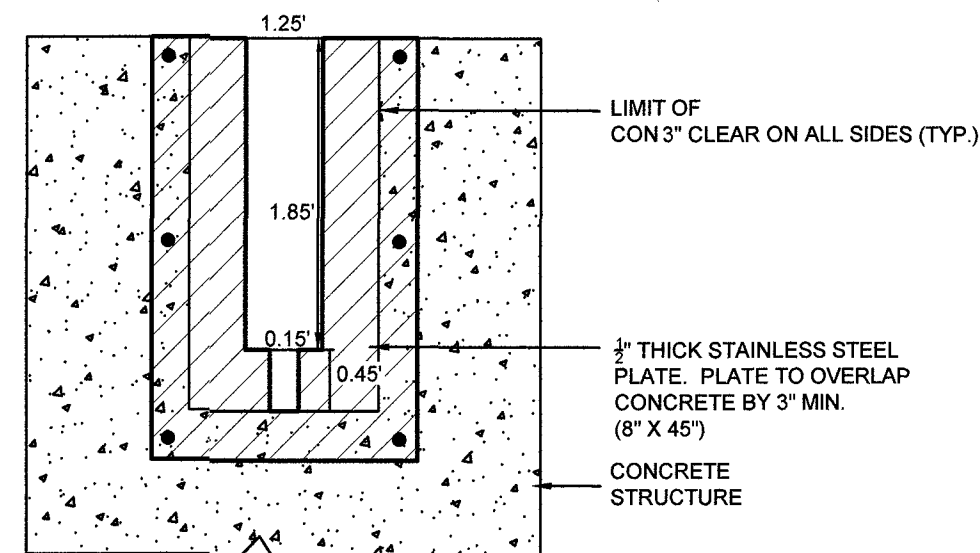
CONVEYANCE SWALE WITH RIPRAP DETAIL
NOT TO SCALE
 (MARCH 2008)



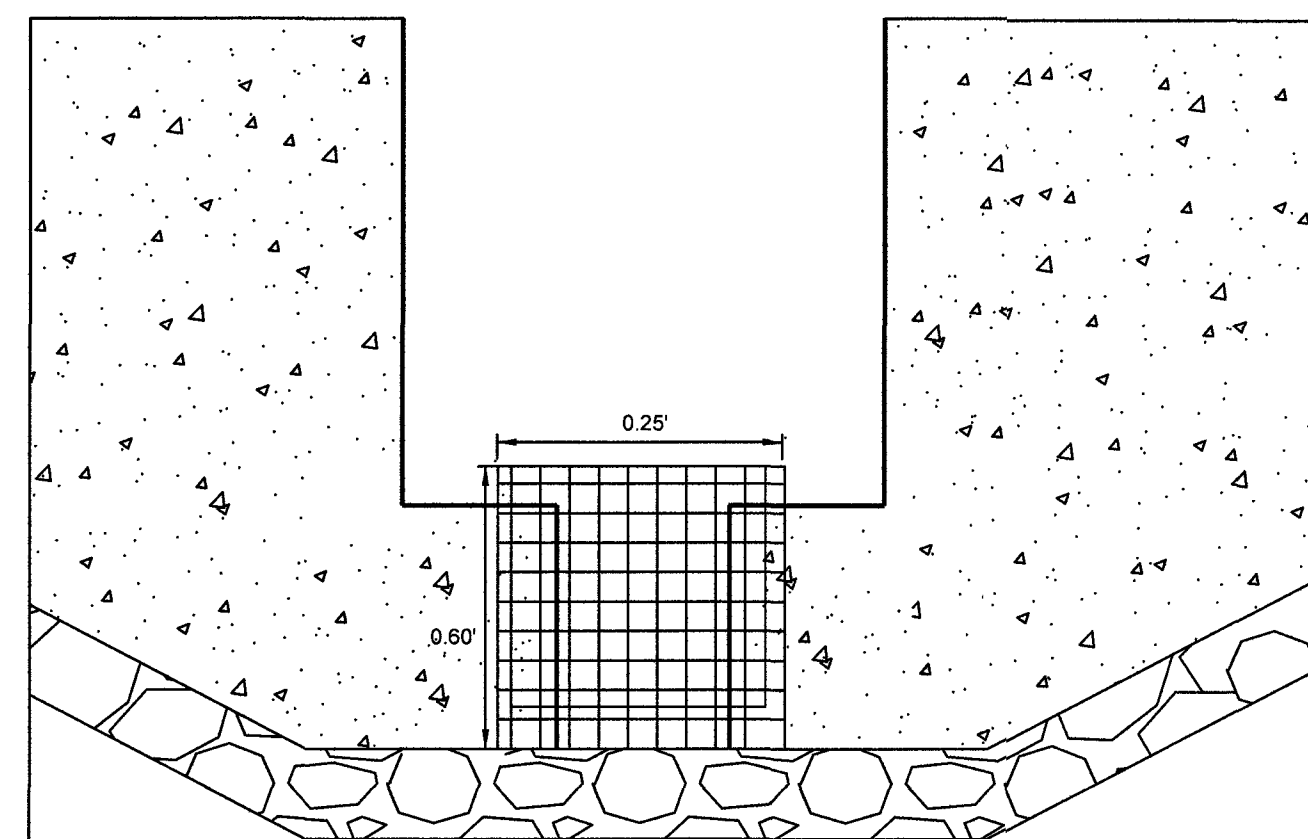
STORM DRAINAGE TRENCH DETAIL
NOT TO SCALE
(MARCH 2008)

DATE: JANUARY 22, 2025	SCALE: AS SHOWN
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PROJECT NO: 20-0921-2	SHEET 8 OF 12
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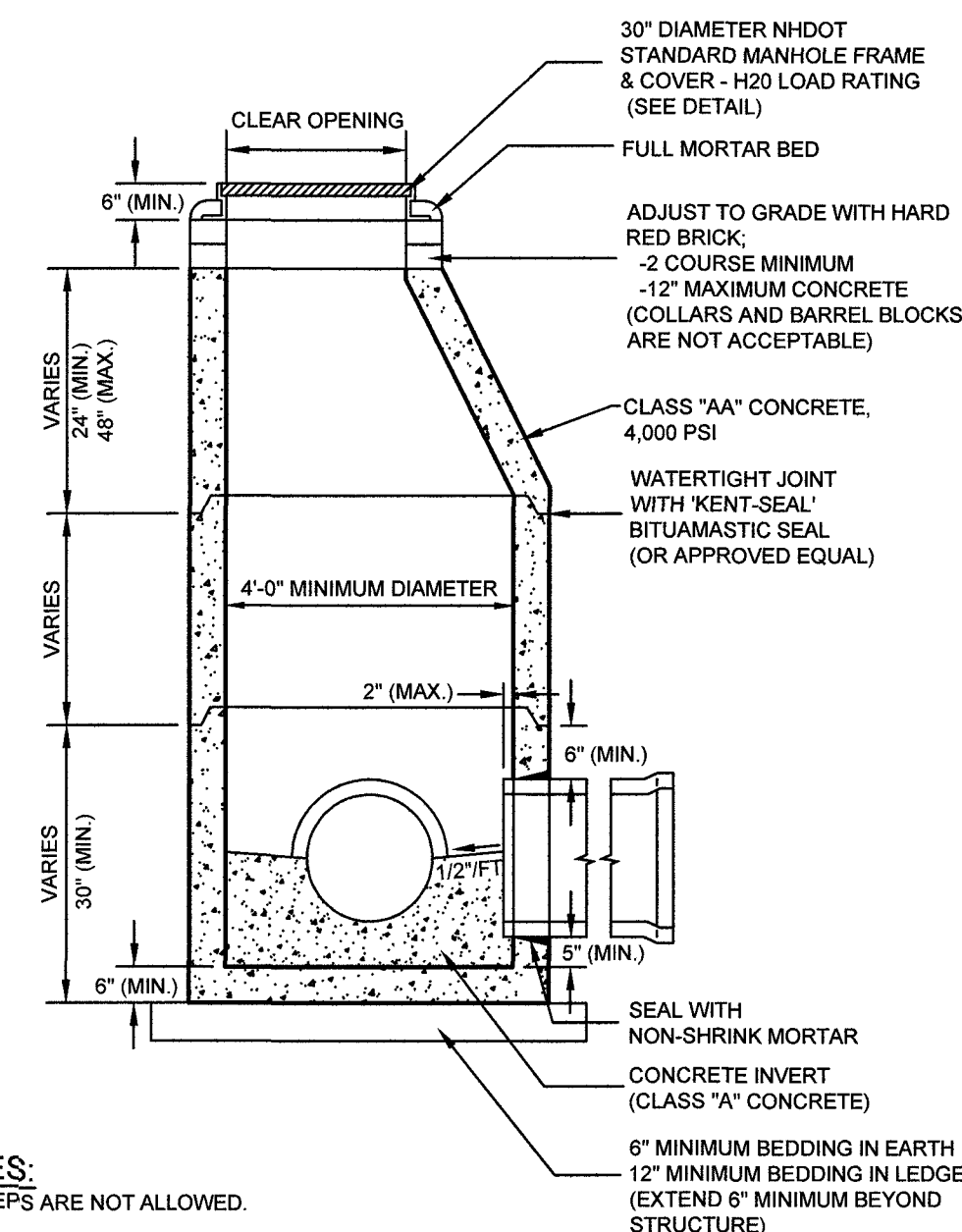
WEIR PLATE DETAIL
NOT TO SCALE



TRASH RACK & WEIR PLATE BRACKET DETAIL
NOT TO SCALE

TRASH RACK DETAIL
NOT TO SCALE

ELEVATION

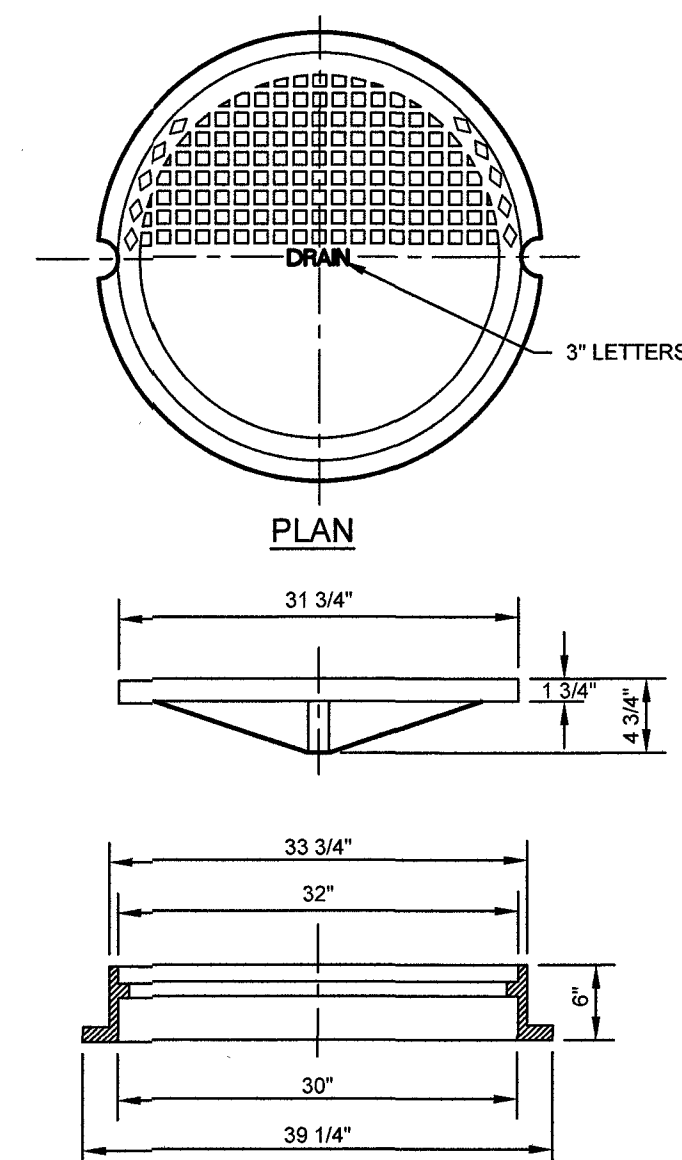


NOTES:

1. STEPS ARE NOT ALLOWED.
2. ALL SECTIONS SHALL BE CONCRETE CLASS AA (4,000 PSI).
CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LF. ON ALL SECTIONS AND SHALL BE PLACED IN THE CENTER OF THE WALL.
3. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LF.
4. MATERIALS AND CONSTRUCTION TO MHDDT STANDARDS.

6" MINIMUM BEDDING IN EARTH
12" MINIMUM BEDDING IN LEDGE
(EXTEND 6" MINIMUM BEYOND STRUCTURE)

PRECAST REINFORCED DRAIN MANHOLE DETAIL
NOT TO SCALE
(MARCH 2008)



SECTION

DRAIN MANHOLE FRAME AND COVER DETAIL
NOT TO SCALE
(MARCH 2008)

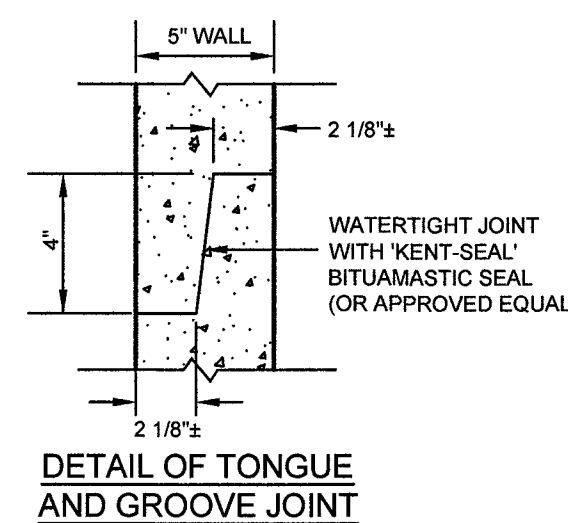
NOTES:
NEW HAMPSHIRE MAINTAINS A CLEAR OPENING
DESIGNATION OF 30" FOR ITS MANHOLE CASTINGS

FEATURES:

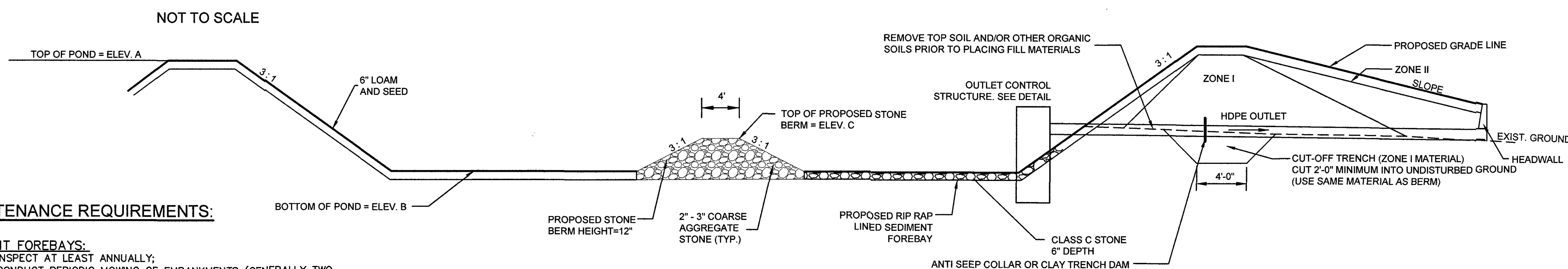
- 3" LETTERING
- COVERS AVAILABLE PLAIN OR MARKED SEWER DRAIN OR WATER
- NONROCKING COVER
- DIAMOND SURFACE DESIGN

SPECIFICATIONS:

- FULLY MACHINED FRAME AND COVER
- H-20 LOAD RATED
- GRAY CAST IRON MEETS ASTM A48 CLASS 30



DETAIL OF TONGUE AND GROOVE JOINT



TYPICAL INFILTRATION POND SECTION - WITH FOREBAY
NOT TO SCALE

POND NUMBER	ELEV. A	ELEV. B	ELEV. C
1	214.00	210.00	213.00

CONSTRUCTION PRACTICE REQUIREMENTS:

1. STORMWATER PONDS, INFILTRATION BASINS, AND SWALES MUST BE INSTALLED BEFORE ROUGH GRADING TO SITE.
2. RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMPs ARE STABILIZED.
3. STORMWATER PONDS, INFILTRATION BASINS, AND SWALES MUST BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
4. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATION WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
5. AFTER THE INFILTRATION SYSTEM AREA IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
6. DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
7. INFILTRATION BASIN FLOOR PREPARATION WILL INCLUDE GRASS TURF THAT CAN BE INUNDATED FOR UP TO 72 HOURS.
8. INFILTRATION AREAS ARE TO BE PROTECTED FROM OVER-COMPACTION DURING CONSTRUCTION.

MATERIAL TYPE/SPECIFICATIONS

ZONE I
WELL GRADED MIXTURE OF GRAVEL, SAND, SILT OR CLAY WITH
MAX. 6-INCH
SIZE STONE AND GEADATION AS INDICATED BELOW. PLACE IN
MAX. 12-INCH
THICK LIFTS TO 95% OF MAX. DRY DENSITY IN ACCORDANCE WITH
ASTM D1557.
SCARIFY SURFACE PRIOR TO PLACING SUBSEQUENT LIFT. IN
ADDITION, REMOVE ORGANIC SOILS.

SIEVE SIZE	PERCENT BY WEIGHT PASSING
6-INCH	100
NO. 4	50 TO 100
NO. 40	30 TO 70
NO. 200	20 TO 40

ZONE II
DRAINAGE LAYER: PLACE IN MAX. 12-INCH THICK LIFTS TO 95% OF
MAX. DRY
DENSITY IN ACCORDANCE WITH ASTM D1557.

SIEVE SIZE	PERCENT BY WEIGHT PASSING
1-INCH	100
NO. 4	70-100
NO. 200	0-12 (IN SAND PORTION ONLY)

1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 2. FRACTURED ROCK USED FOR FILTER OR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
- GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE LIFT AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

MAINTENANCE REQUIREMENTS:

SEDIMENT FOREBAYS:

- INSPECT AT LEAST ANNUALLY;
- CONDUCT PERIODIC MOWING OF EMBANKMENTS (GENERALLY TWO TIMES PER YEAR) TO CONTROL GROWTH OF WOODY VEGETATION ON EMBANKMENTS;
- REMOVE DEBRIS FROM OUTLET STRUCTURES AT LEAST ONCE ANNUALLY;
- REMOVE AND DISPOSE OF ACCUMULATED SEDIMENT BASED ON INSPECTION;
- INSTALL AND MAINTAIN A STAFF GAGE OR OTHER MEASURING DEVICE, TO INDICATE DEPTH OF SEDIMENT ACCUMULATION AND LEVEL AT WHICH CLEAN-OUT IS REQUIRED.

INFILTRATION:

- REMOVAL OF DEBRIS FROM INLET AND OUTLET STRUCTURES;
- REMOVAL OF ACCUMULATED SEDIMENT;
- INSPECTION AND REPAIR OF OUTLET STRUCTURES AND APPURTENANCES;
- INSPECTION OF INFILTRATION COMPONENTS AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION;
- INSPECTION OF PRETREATMENT MEASURES AT LEAST TWICE ANNUALLY, AND REMOVAL OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY;
- PERIODIC MOWING OF EMBANKMENTS;
- REMOVAL OF WOODY VEGETATION FROM EMBANKMENTS;
- INSPECTION AND REPAIR OF EMBANKMENTS AND SPILLWAYS;
- IF AN INFILTRATION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE WHETHER REQUIRED RESTORATION/REHABILITATION FUNCTION, INCLUDING BUT NOT LIMITED TO, REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE INFILTRATION TRENCH.

CONSTRUCTION DETAILS

S.L. CHASSE STEEL

MAP 105 LOT 17-2
ROBINSON ROAD
ROBINSON, NEW HAMPSHIRE
MILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:

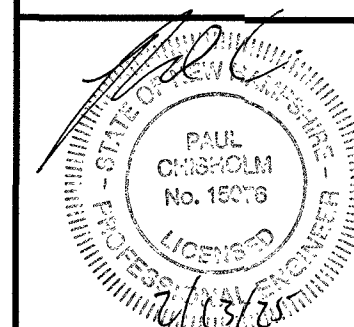
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KN KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture
Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

[illegible]

DATE: JANUARY 22, 2025	SCALE: AS SHOWN
PROJECT NO: 20-0921-2	SHEET 9 OF 12



TURF ESTABLISHMENT SCHEDULE

PURPOSE:

TO ESTABLISH AND MAINTAIN PERMANENT AND TEMPORARY TURF AREAS, RESTORE GROWTH TO EXISTING TURF AREAS DISTURBED DURING CONSTRUCTION AND CONTROL SOIL EROSION.

PREPARATION AND EXECUTION:

1. RAKE THE SUBGRADE OF ALL AREAS TO BE LOAMED AND SEED TO REMOVE RUBBISH, STICKS, ROOTS AND STONES LARGER THAN 1 INCH.
2. PLACE LOAM OVER AREAS TO BE SEED AND SPREAD.
3. FINE GRADE SURFACE AND SUPPLEMENT WITH SUITABLE LOAM WHERE NEEDED TO CREATE A UNIFORM SURFACE ACCORDING TO THE FINISH GRADES INDICATED. TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED. NO LOAM SHALL BE SPREAD IF THE SUBGRADE IS EXCESSIVELY WET OR FROZEN.
4. APPLY LIME EVENLY OVER LOAM SURFACE AND THOROUGHLY INCORPORATE LIME INTO THE LOAM BY HEAVY RAKING TO AT LEAST ONE-HALF THE DEPTH OF THE LOAM.
5. APPLY NO PHOSPHATE, SLOW RELEASE FERTILIZER AND MIX WITH THE UPPER 2 INCHES OF LOAM.
6. DETERMINE APPROPRIATE MIXTURE FOR AREA TO BE SEED BASED ON EXAMINATION OF PROJECT PLANS. UNIFORMLY SPREAD THE SEED BY BROADCASTING OR HYDROSEEDING. IF BROADCASTING, LIGHTLY RAKE INTO THE PREPARED SURFACE AND ROLL. IF, HYDROSEEDING, USE 4 TIMES THE RECOMMENDED RATE OF INOCULANT. AFTER SEED IS SPREAD, WATER THOROUGHLY WITH A FINE SPRAY.
7. SEEDING FOR PERMANENT COVER SHALL OCCUR BETWEEN SEPTEMBER 15 AND OCTOBER 15 AND BETWEEN APRIL 15 AND JUNE 15. SEEDING SHALL NOT BE DONE DURING WINDY WEATHER, WHEN THE GROUND IS FROZEN OR EXCESSIVELY WET OR OTHERWISE UNTILLABLE.
8. WITHIN 24 HOURS AFTER SEEDING OPERATION, UNIFORMLY MULCH THE AREA WITH STRAW. ANCHOR MULCH ON ALL SLOPES EXCEEDING 3 : 1 USING MULCH NETTING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER.
9. PROTECT AND PREVENT AGAINST WASHOUTS, ANY WASHOUTS WHICH OCCUR SHALL BE PROMPTLY REGRADED AND RESEED.
10. WHEN IT IS IMPRACTICAL TO ESTABLISH PERMANENT GROWTH ON DISTURBED EARTH BY OCTOBER 15, A TEMPORARY SEED MIXTURE SHALL BE USED. WHEN TEMPORARY SEEDING CANNOT ESTABLISH VISIBLE GROWTH, THE DISTURBED AREA SHALL BE COVERED WITH SIX INCHES OF MULCH FOR THE WINTER.

MAINTENANCE:

ALL SEED AREAS SHALL BE KEPT WATERED AND IN GOOD CONDITION. RESEED AS NECESSARY TO ESTABLISH HEALTHY UNIFORM GROWTH OVER THE ENTIRE SEEDED AREA. MAINTAIN SEEDED AREAS IN AN APPROVED CONDITION UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE REPAIRS FOR DAMAGE CAUSED BY EROSION.

APPLICATION RATES:

1. LOAM SHALL BE APPLIED AT A MINIMUM COMPACTED THICKNESS OF 4 INCHES.
2. LIME SHALL BE APPLIED AT A RATE OF 75 TO 100 POUNDS PER 1,000 S.F.
3. FERTILIZER SHALL BE APPLIED AT A RATE OF 30 POUNDS PER 1,000 S.F. IT IS RECOMMENDED THAT THE SOIL BE TESTED PRIOR TO APPLYING ANY FERTILIZERS TO DETERMINE WHAT LEVELS AND RATES ARE NECESSARY.
4. SEED MIXTURE FOR LAWN AREAS SHALL BE APPLIED AT A RATE OF AT LEAST 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
5. TEMPORARY SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1,000 S.F.
6. SEED MIXTURE FOR SLOPE AREAS SHALL BE APPLIED AT A RATE OF 80 POUNDS PER ACRE OR 2 POUNDS PER 1,000 S.F.
7. SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS SHALL BE APPLIED AT A RATE OF 70 POUNDS PER ACRE OR 1.6 POUNDS PER 1,000 S.F.
8. MULCH SHALL BE APPLIED AT A RATE OF 90 POUNDS PER 1,000 S.F.

MATERIALS:

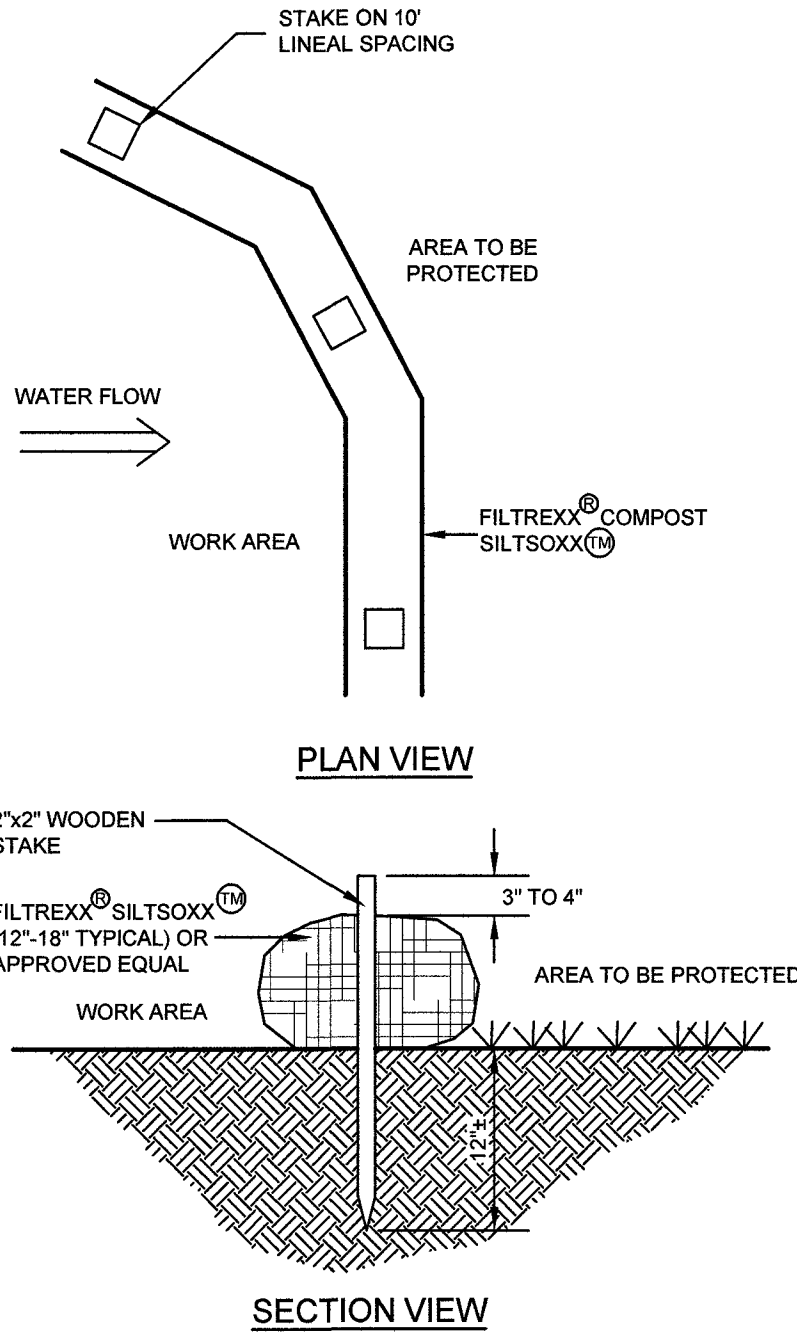
1. LOAM USED FOR TOPSOIL SHALL BE FRIABLE, FERTILE, NATURAL FREE-DRAINING LOAM; FREE OF ROOTS, GRASS, STICKS, WEEDS, CLAY, SOD LUMPS, DEBRIS AND STONES LARGER THAN 1 INCH IN ANY DIMENSION. SOIL SHALL NOT BE EXCESSIVELY ACID OR ALKALINE AND CONTAIN NO TOXIC MATERIALS.
2. LIME SHALL BE GROUND LIMESTONE CONTAINING NO LESS THAN 95% CALCIUM AND MAGNESIUM CARBONATES.
3. FERTILIZER SHALL BE NO PHOSPHORUS, SLOW RELEASE.
4. SEED MIXTURE FOR LAWN AREAS SHALL BE 99% PURE LIVE SEED AND CONSIST OF THE FOLLOWING:
 - 25% CREEPING RED FESCUE
 - 25% KENTUCKY BLUEGRASS
 - 25% REDTOP
 - 25% MANHATTAN PERENNIAL RYEGRASS
5. TEMPORARY SEEDING MIXTURE SHALL BE AN APPROVED CONSERVATION MIX OR CONSIST OF THE FOLLOWING:
 - 15% BLACKWELL OR SHELTER SWITCHGRASS
 - 30% NIAGRA OR KAW BIG BLUESTEM
 - 30% CAMPER OR BLAZE LITTLESTEM
 - 15% NE-27 OR BLAZE SAND LOVEGRASS
 - 10% VIKING BIRDSFOOT TREFOIL

6. INOCULUM SPECIFIC TO BIRDSFOOT TREFOIL MUST BE USED WITH THIS MIXTURE. IF SEEDING BY HAND, A STICKING AGENT SHALL BE USED. IF SEEDING WITH A HYDROSEEDER, USE FOUR TIMES THE RECOMMENDED AMOUNT OF INOCULUM.
7. SEED MIXTURE FOR SLOPE AREAS SHALL BE 99% PURE LIVE SEED AND SHALL CONSIST OF THE FOLLOWING:
 - 30% CREEPING RED FESCUE
 - 40% PERENNIAL RYE GRASS
 - 15% REDTOP
 - 15% BIRDSFOOT TREFOIL

8. IN ADDITION TO THE MIX SPECIFIED ABOVE, CROWN VETCH SHALL BE USED ON ALL SLOPES STEEPER THAN 3 : 1. CROWN VETCH SHALL BE APPLIED AT A RATE OF 10 POUNDS PER ACRE AND INOCULUM SPECIFIC TO CROWN VETCH MUST BE USED.

9. SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS, INCLUDING DETENTION BASINS AND VEGETATED TREATMENT SWALES SHALL CONSIST OF THE FOLLOWING:
 - 25% CREEPING RED FESCUE
 - 15% SWITCH GRASS
 - 15% FOX SEDGE
 - 15% CREEPING BENTGRASS
 - 10% FLATPEA
 - 20% WILDFLOWER VARIETY

10. STRAW USED FOR MULCH SHALL CONSIST OF MOWED AND PROPERLY CURED GRASS OR LEGUME MOWINGS, FREE FROM WEEDS, TWIGS, DEBRIS OR OTHER DELETERIOUS MATERIAL AND ROT OR MOLD.
11. NATIVE PLANTINGS SHOULD BE USED FOR ALL NEW GREENSCAPES.
12. ALL WILDFLOWER SEEDING MIXES SHOULD BE FREE OF INVASIVE SPECIES.

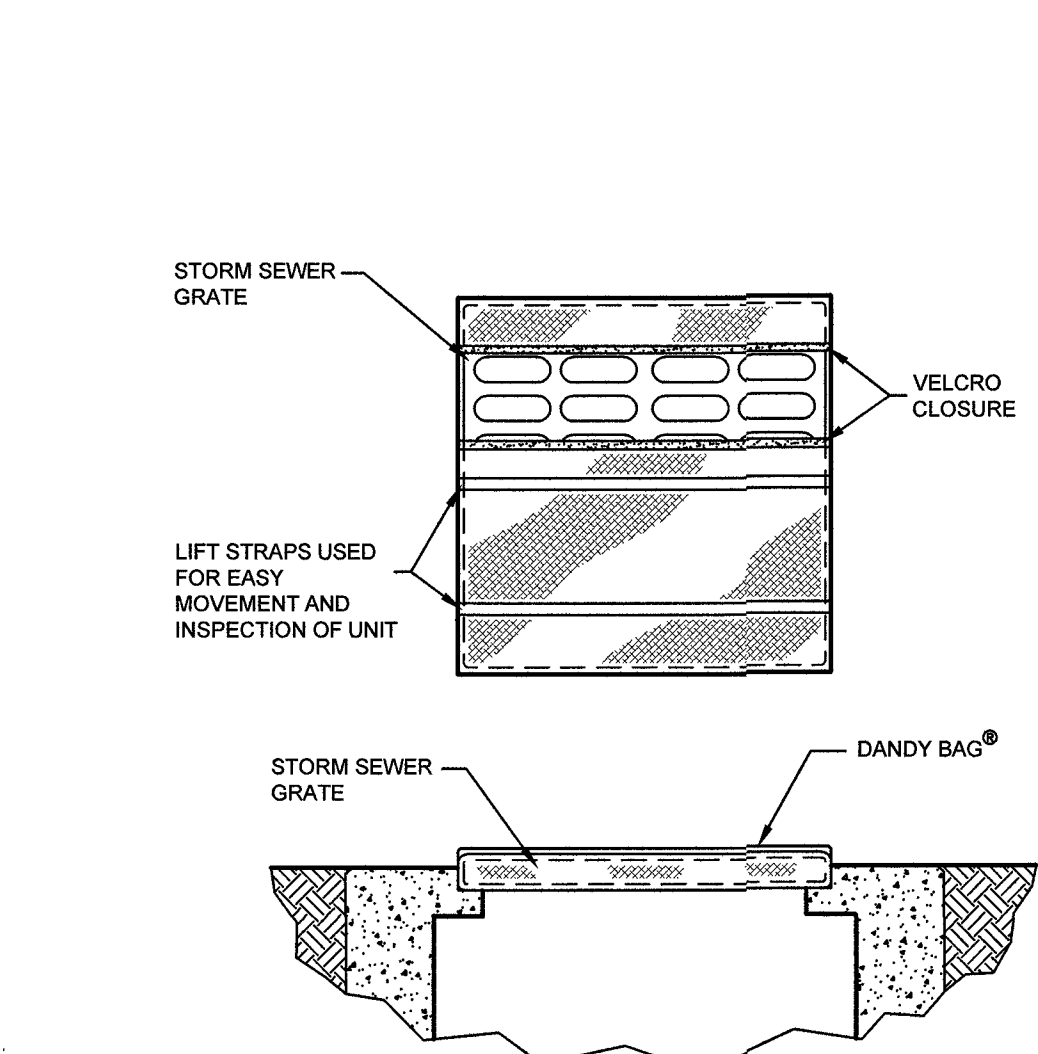


SECTION VIEW

NOTES:

1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
2. SILT SOXX® COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
3. SILT SOXX® DEPICTED IS FOR MINIMUM SLOPES. GREAT SLOPES MAY REQUIRE LARGER SOCKS PER THE ENGINEER.
4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

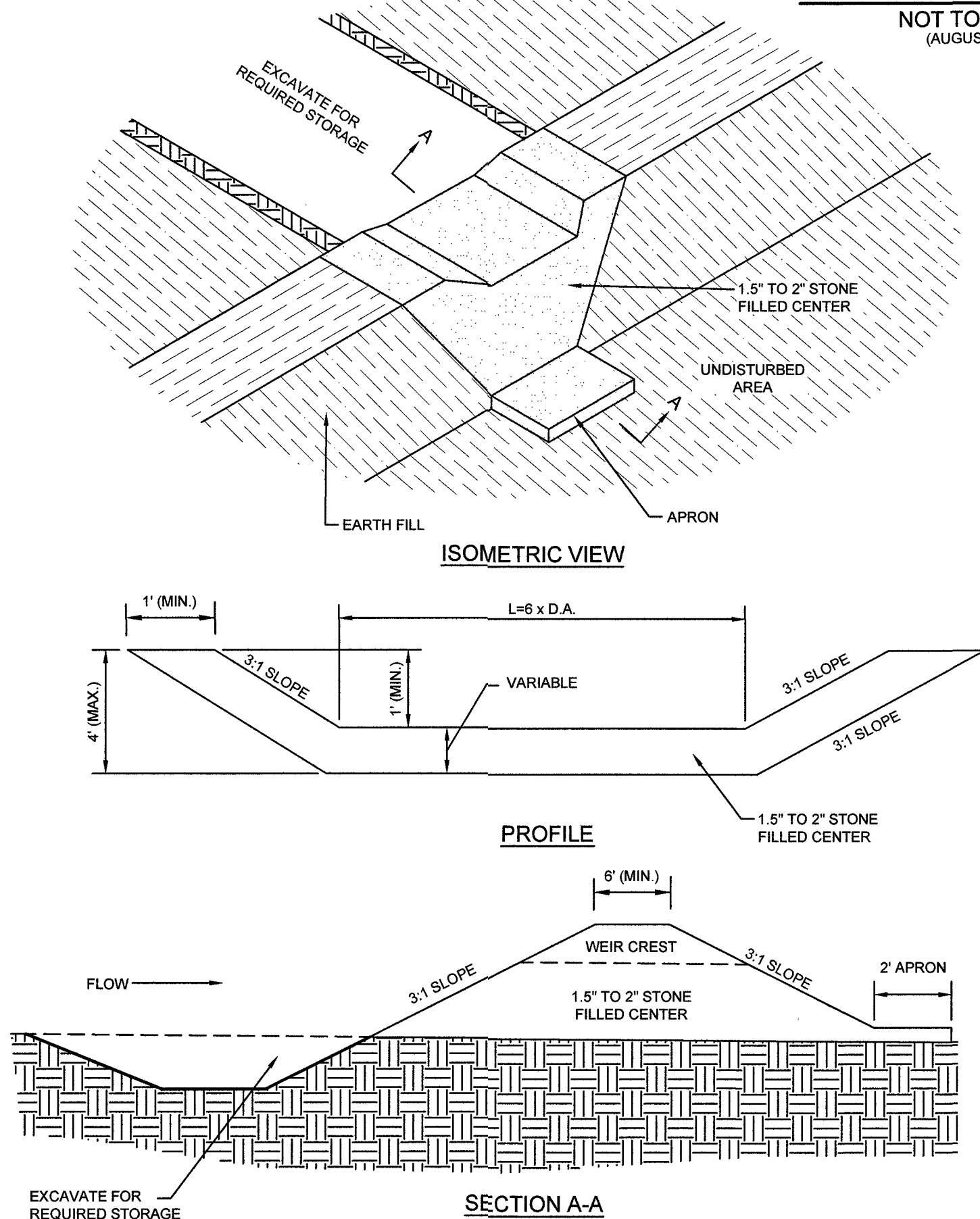
FILTREXX® SILT SOXX® DETAIL
NOT TO SCALE
(AUGUST 2011)



HI-FLOW DANDY BAG® (SAFETY ORANGE)

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	kN (lbs)	1.62 (365) x 0.89 (200)
GRAB TENSILE ELONGATION	ASTM D 4632	%	24 x 10
PUNCTURE STRENGTH	ASTM D 4833	kN (lbs)	0.40 (90)
MULLEN BURST STRENGTH	ASTM D 3786	kPa (psi)	3097 (450)
TRAPEZOID TEAR STRENGTH	ASTM D 4533	kN (lbs)	0.51 (115) x 0.33 (75)
UV RESISTANCE	ASTM D 4355	%	90
APPARENT OPENING SIZE	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
FLOW RATE	ASTM D 4481	l/min/m² (gal/min/ft²)	5907 (145)
PERMITTIVITY	ASTM D 4481	Sec⁻¹	2.1

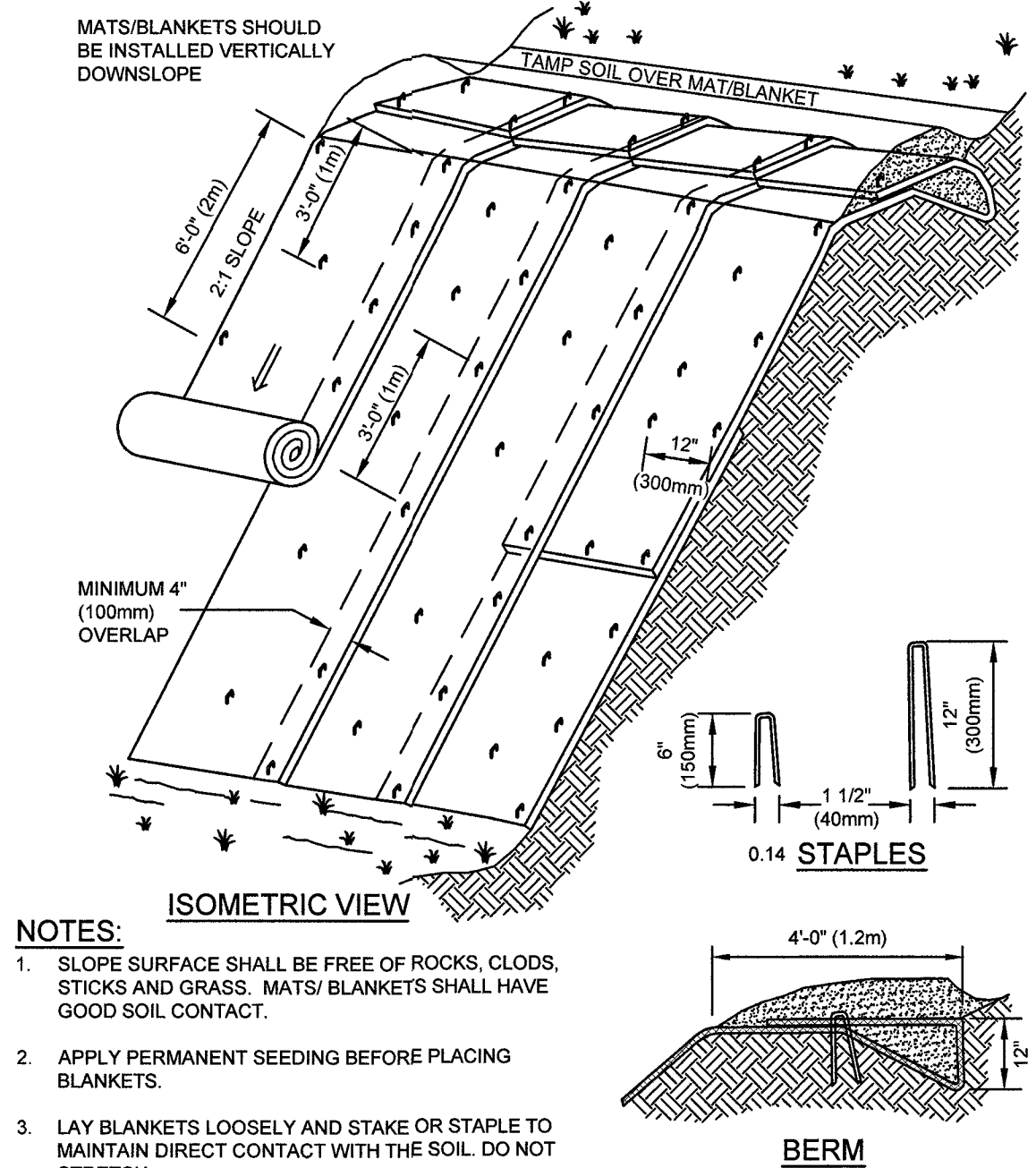
DANDY BAG®
NOT TO SCALE
(APRIL 2010)



NOTES:

1. THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE.
2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE TRAP SHALL BE LESS THAN 5 ACRES.
3. THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
4. THE SIDE SLOPES OF THE TRAP SHALL BE 3:1 OR FLATTER, AND SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.
5. THE OUTLET OF THE TRAP SHALL BE A MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP AND SHALL DISCHARGE TO A STABILIZED AREA.
6. THE TRAP SHALL BE CLEANED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS FILLED.
7. THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.
8. SEDIMENT TRAPS AND/OR BASINS SHOULD BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL BASINS/PONDS ARE STABILIZED.

TEMPORARY SEDIMENT TRAP DETAIL
NOT TO SCALE



NOTES:

1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
2. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
4. EROSION BLANKETS TO BE A BCN150 OR AN APPROVED ALTERNATIVE WHICH MUST CONSIST OF ALL NATURAL FIBERS.

EROSION CONTROL BLANKETS - SLOPE INSTALLATION
NOT TO SCALE
(AUGUST 2011)

CONSTRUCTION SEQUENCE

1. THE CONTRACTOR WILL ENSURE THAT NO MORE THAN 5 ACRES IS DISTURBED AT ANY ONE TIME.
2. FIRST CUT AND CLEAR TREES AND BRUSH ONLY WITHIN DESIGNATED LIMITS OF CLEARING AS NECESSARY TO FACILITATE PROPOSED CONSTRUCTION. ALL TREES, BRANCHES AND OTHER VEGETATIVE MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR. THIS PROJECT IS MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
3. PRIOR TO COMMENCEMENT OF ANY EARTHMOVING OPERATIONS, ALL APPLICABLE TEMPORARY EROSION CONTROL MEASURES, INCLUDING SPECIFIED PERIMETER SILTATION FENCING AND STABILIZED CONSTRUCTION EXIT SHALL BE IN PLACE AS SHOWN ON THE PROJECT PLANS.
4. COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR ORGANIC DEBRIS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR. NATIVE ORGANIC SOIL MATERIALS SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED WITHIN AREAS OUT OF THE WAY OF OTHER CONSTRUCTION ACTIVITIES AND DRAINAGE FLOW. STOCKPILES SHALL BE TEMPORARILY SEED WITH WINTER RYE AND BE SURROUNDED WITH STRAW BALES AND/OR FABRIC SILTATION FENCE IN ORDER TO PREVENT LOSS DUE TO EROSION.
5. BEGIN EARTHMOVING OPERATIONS. COMMENCING WITH WORK NEEDED TO BALANCE SITE AND FACILITATE BUILDING FOUNDATION AND RETAINING WALL CONSTRUCTION. PERMANENT DOWNSLOPE WORK SHALL BE PROTECTED FROM UPGRADED STORMWATER FLOW BY THE CONSTRUCTION OF TEMPORARY EARTHEN DIKES OR EXCAVATED SWALES.
6. ONCE BUILDING FOUNDATION WORK IS UNDERWAY, CONTINUE EARTHMOVING OPERATIONS UNTIL DESIGN SUBGRADE IS ACHIEVED.
7. DETENTION BASINS/SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
8. DITCHES/SWALES/BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
9. TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC.) MUST BE USED AS NECESSARY UNTIL SOILS ARE STABILIZED.
10. INSTALL DRAINAGE SWALE SYSTEMS AND OTHER UTILITIES WORKING FROM LOW TO HIGH. INCOMPLETE WORK SHALL BE PROTECTED FROM SILTATION BY THE USE OF SILTATION BARRIERS AROUND SWALES UNTIL THE SITE HAS BECOME FULLY STABILIZED.
11. DEEPLY TILL THE BASE OF THE INFILTRATION BASIN TO RESTORE INFILTRATION RATES FOLLOWED BY A PASS WITH A LEVELING DRAG. STORMWATER FLOWS ARE NOT TO BE DIRECTED TO THE INFILTRATION AREA UNTIL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
12. PLACE GRAVEL AND CRUSHED GRAVEL OVER PROPOSED DRIVEWAY, WALKS AND PARKING AREAS AND COMPACT IN SPECIFIED LIFT THICKNESS.
13. COMPLETE EXCAVATION/STABILIZATION GRADING ACTIVITIES. WHEN COMPLETE, IMMEDIATELY BEGIN TOPSOILING PROPOSED TURF AREAS USING STOCKPILED LOAM SUPPLEMENTED WITH BORROW LOAM. IF NECESSARY, TO LEAVE A THICKNESS OF 4 INCHES OF FRIABLE LOAM.
14. FINE GRADE AND FLATTEN EXISTING SWALES, BASINS, ETC.) MUST BE USED AS NECESSARY UNTIL SOILS ARE STABILIZED.
15. COMPLETE ALL AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
16. INSTALL THE BINDER COURSE OF PAVEMENT OVER ALL DESIGNATED AREAS.
17. CONTINUE TO MONITOR AND RECTIFY MINOR SITE AND SLOPE EROSION UNTIL ENTIRE SITE APPEARS TO BE COMPLETELY STABILIZED AND VEGETATED WITH A HEALTHY STAND OF TURF OR GROUND COVER. MAINTAIN SPECIFIED SILTATION/EROSION CONTROL MEASURES THROUGHOUT THE WINTER.
18. INSTALL THE SPECIFIED WEARING COURSE OF PAVEMENT OVER THE BINDER COURSE.
19. COMPLETE INSTALLATION OF LANDSCAPING, SIGNAGE AND OTHER SITE AMENITIES.

CERTIFICATE OF OCCUPANCY PHASING PLAN AGREEMENT:

1. THE FOLLOWING SITE IMPROVEMENTS ARE REQUIRED FOR INDIVIDUAL CERTIFICATES OF OCCUPANCY AS CONSTRUCTION PROGRESSES:

- A. ROAD BASE COURSE
- B. STOP SIGNS AND TEMPORARY STRIPING OF STOP BARS
- C. GRADING AND DRAINAGE
- D. LOAM AND SEED THAT SUPPORTS THE SUBJECT UNIT OF THE CERTIFICATE OF OCCUPANCY
- E. TEMPORARY STRIPING OF VISITOR PARKING; AND
- F. UTILITIES

EROSION CONTROL NOTES

1. EXPOSED EARTHWORK SHALL BE CONFINED TO AS LIMITED AN AREA AS IS PRACTICAL AT ANY GIVEN TIME THROUGHOUT THE CONSTRUCTION SEQUENCE. AT NO TIME SHALL MORE THAN FIVE (5) ACRES OF SITE AREA BE IN AN UNSTABLE CONDITION UNLESS AN ENVIRONMENTAL MONITORING PROGRAM IS EMPLOYED THROUGHOUT THE DURATION OF CONSTRUCTION. NO GIVEN AREA OF THE SITE SHALL BE LEFT IN AN UNSTABILIZED CONDITION FOR A PERIOD OF TIME EXCEEDING FORTY-FIVE (45) CALENDAR DAYS.
2. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS. IN ADDITION, SIMILAR MEASURES SHALL BE INSTALLED WHERE AND WHEN THE FIELD CONDITION, OR FIELD OPERATION OF THE INDIVIDUAL SITE CONTRACTOR, MAY WARRANT. ALL TEMPORARY EROSION CONTROL MEASURES USED SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25" OF RAINFALL OR MORE. THEY SHALL BE CLEANED AND MAINTAINED AND OTHERWISE KEPT IN AN EFFECTIVE OPERATING MANNER THROUGHOUT THE CONSTRUCTION PERIOD.
3. ALL DISTURBED AREAS DESIGNATED TO BE TURF, SHALL RECEIVE A MINIMUM APPLICATION OF 4 INCHES OF LOAM (COMPACTED THICKNESS), PRIOR TO FINAL SEEDING AND MULCHING.
4. EROSION CONTROL AND STABILIZATION SHALL BE IN ACCORDANCE WITH HILLSBOROUGH COUNTY CONSERVATION DISTRICT-VEGETATIVE STANDARD AND SPECIFICATIONS FOR SEEDING GRASSES AND LEGUMES FOR LONG-TERM COVER ON EXCAVATED AREAS.
5. ALL SWALES AND DITCHLINES SHALL BE PERIODICALLY CLEANED OF DEPOSITED SEDIMENT SO AS TO MAINTAIN AN EFFECTIVE GRADE AND CROSS SECTION. ALL SWALES AND DITCHLINES SHALL BE FULLY STABILIZED PRIOR TO HAVING STORMWATER DIRECTED TOWARDS THEM.
6. IN THE EVENT THAT, DURING CONSTRUCTION OF ANY PORTION OF THIS PROJECT, A WINTER SHUTDOWN IS NECESSARY, THE CONTRACTOR SHALL STABILIZE ALL INCOMPLETE WORK AND PROVIDE FOR SUITABLE METHODS OF DIVERTING RUNOFF IN ORDER TO ELIMINATE SHEET FLOW ACROSS FROZEN SURFACES.
7. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
8. DUST SHALL BE CONTROLLED BY THE USE OF WATER AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD, IN ACCORDANCE WITH ENVA 1000.
9. IN NO WAY ARE THOSE TEMPORARY EROSION CONTROL MEASURES INDICATED ON THESE PLANS TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT IN INSTALLING SUPPLEMENTARY EROSION CONTROL MEASURES WHERE AND WHEN SPECIFIC SITE CONDITIONS AND/OR CONSTRUCTION METHODOLOGIES MAY WARRANT.
10. THE TOWN RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION.
11. AREAS HAVING FINISH GRADE SLOPES OF 3 : 1 OR STEEPER, SHALL BE STABILIZED WITH JUTE MATTING WHEN AND IF FIELD CONDITIONS WARRANT, OR IF SO ORDERED. JUTE MATTING INSTALLED TO CONFORM WITH THE RECOMMENDED BEST MANAGEMENT PRACTICE OUTLINED IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION."
12. DETENTION BASINS/SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
13. DITCHES/SWALES/BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
14. TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC.) MUST BE USED AS NECESSARY UNTIL SOILS ARE STABILIZED.
15. ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
16. ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
17. ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, EXCEPT FOR SILT FENCE INSTALLED IN ACCORDANCE WITH ENV-WQ 1506.04, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, INLET PROTECTION, CHECK DAMS, AND SEDIMENT TRAPS SHALL NOT CONTAIN WELDED PLASTIC, PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1".
18. TURF REINFORCEMENT MATS SHALL BE COVERED WITH SOIL TO PREVENT EXPOSURE OF THE MATS TO THE SURFACE.

WINTER CONSTRUCTION NOTES:

1. ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER WHOLE TON. IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON, BE CLEANED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.
4. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

CONSTRUCTION DETAILS

S.L. CHASSE STEEL

MAP 105 LOT 17-2

ROBINSON ROAD

HUDSON, NEW HAMPSHIRE

HILLSBOROUGH COUNTY

OWNER OF RECORD/APPLICANT:

STEEL PROPERTIES, LLC

8 CHRISTINE DRIVE

HUDSON, N.H. 03051

H.C.R.D. BK. 9327 PG. 197

DATE: JANUARY 22, 2025

SCALE: AS SHOWN

PROJECT NO: 20-0921-2

SHEET 11 OF 12



REPORT OBSERVATIONS
EASTERN BOX TURTLE (state endangered)



Report sightings immediately to NHFG Wildlife Division to New Hampshire Fish and Game:
Wildlife Biologist Melissa Doperalski 603-479-1129 (call or text) anytime
Wildlife Biologist Josh Megyesy at 978-578-0802 (call or text), or
If you are unable to reach a biologist you may also contact the Wildlife Administrator at: 603-271-2461 (M-F 8-4)

Please report promptly, noting specific location and date –
Photographs strongly encouraged

- Smaller turtle about 4.5-7 inches long (adult ones).
- Highly domed shell with variable patterning.
- Shell color patterns vary greatly from irregular yellow or orange markings with dark brown or black base.
- Skin is uniformly dark with yellow or orange markings.
- During warm months (May – June) nests in loose, sandy or loamy soil
- Eastern box turtles nests are protected under state law.



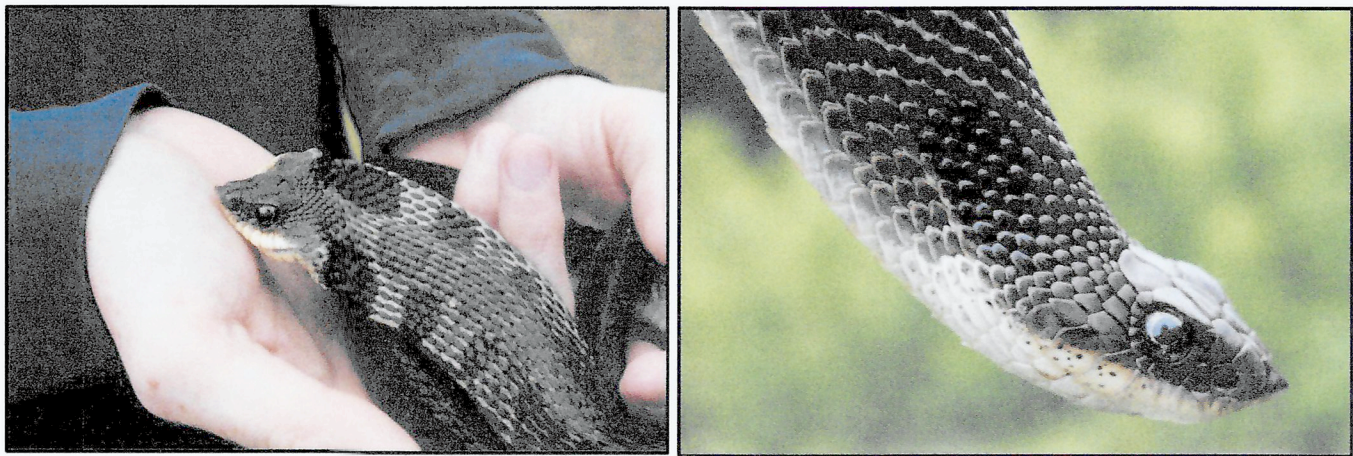
REPORT EASTERN HOGNOSE SNAKE
OBSERVATIONS



Report sightings immediately to NHFG Wildlife Division at 603-271-2461 (M-F 8-4) or to NHFG Wildlife Biologist Melissa Doperalski 603-479-1129 (call or text) anytime.

Please report promptly, noting specific location and date – Photographs strongly encouraged

- Black, gray or patterned appearance
- upturned snout
- Adults are 2-3 ft. long
- May spread neck out or hiss
- May play dead if they feel threatened.
- Rarely bite – display is a defense strategy
- Can be found in a variety of habitats throughout the season



PLEASE REPORT OBSERVATIONS OF
RARE TURTLES



The NH Fish & Game Department is requesting observations of the following turtle species



- Blanding's turtle**
(State Endangered)
- Large, dark/black domed shell with lighter speckles.
 - Distinct yellow throat/chin.
 - Aquatic but often moves on land.



- Spotted turtle**
(State Threatened)
- Small, mostly aquatic with black or dark brown with yellow spots.
 - Fairly flat shell compared to Blanding's turtle.
 - Spots vary in color and number.

Report sightings immediately to NHFG Wildlife Division at 603-271-2461 (M-F 8-4) or to NHFG Wildlife Biologist Melissa Doperalski 603-479-1129 (cell) anytime.

Please report promptly, noting specific location and date – Photographs strongly encouraged

Wood Turtle
(Glyptemys insculpta)

(New Hampshire Species of Special Concern)



- Neck and forelimbs are orange.
- Characterized by its highly sculpted shell with each large scute taking on an irregular pyramidal shape.
- Adults can be 5-8 inches long.



Please report sightings to NH Fish and Game at RAARP@wildlife.nh.gov or at 603-271-2461. Photo documentation, location, and date/time of observation is helpful.

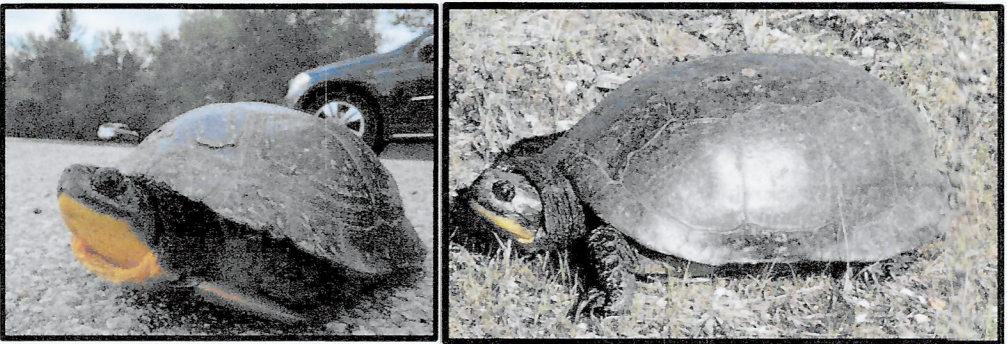
NOTE: It is illegal to remove a wood turtle from the wild (RSA 207:1, FIS 804.02).

PLEASE REPORT RARE TURTLES

The NH Fish & Game Department is requesting observations of three turtle species that could be encountered onsite.

Report sightings immediately to NHFG Wildlife Division at 603-271-2461 (M-F 8-4) or to NHFG Wildlife Biologist Melissa Winters 603-479-1129 (cell) anytime.

Please report promptly, noting specific location and date – Photographs strongly encouraged



- Blanding's turtle** (state endangered)
- Large, dark/black domed shell with lighter speckles
 - Distinct yellow throat/chin
 - Aquatic but often moves on land



- Wood turtle** (special concern)
- Sculpted, pyramidal brownish shell
 - Orange around neck and limbs
 - River/stream turtle spending many months on land



- Spotted turtle** (state threatened)
- Small, mostly aquatic with black or dark brown with yellow spots.
 - Fairly flat shell compared to Blanding's turtle

CONSTRUCTION DETAILS

S.L. CHASSE STEEL
MAP 105 LOT 17-2
ROBINSON ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

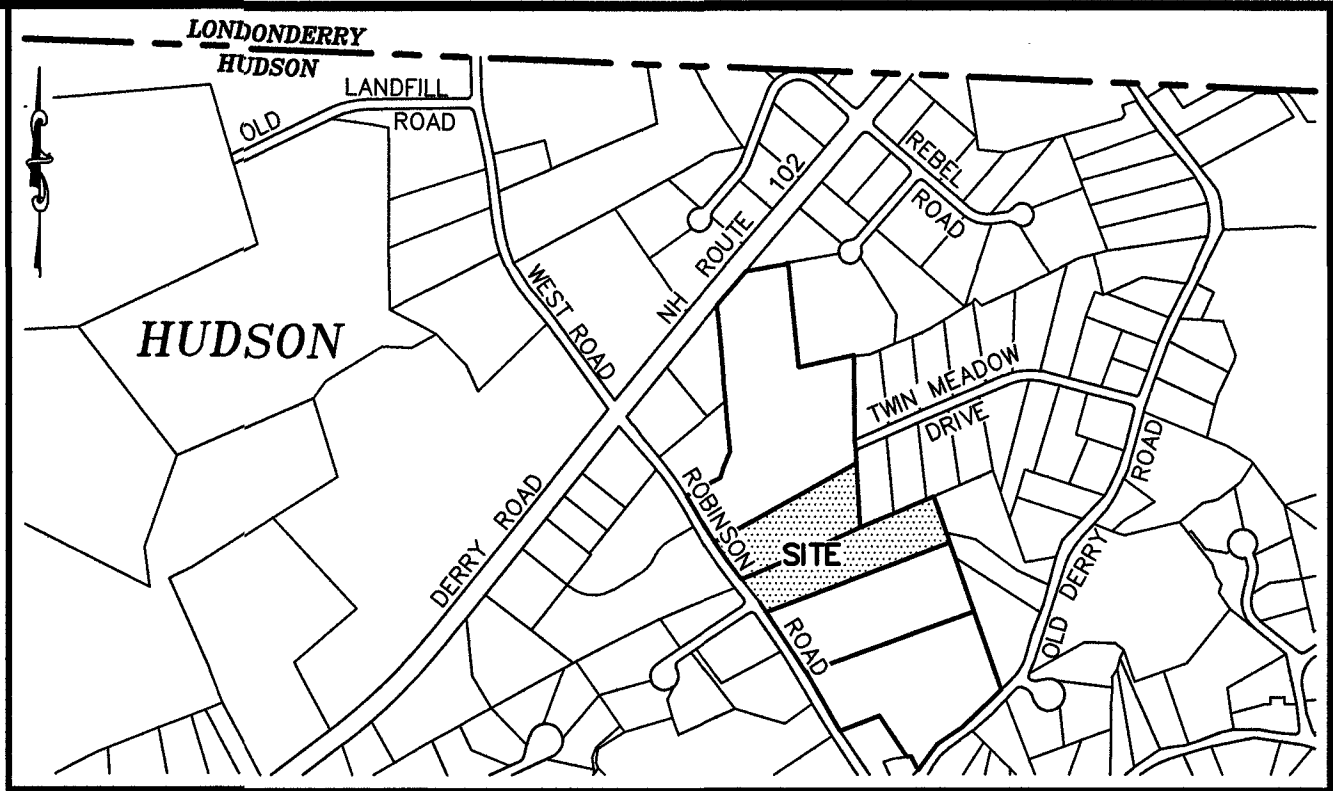
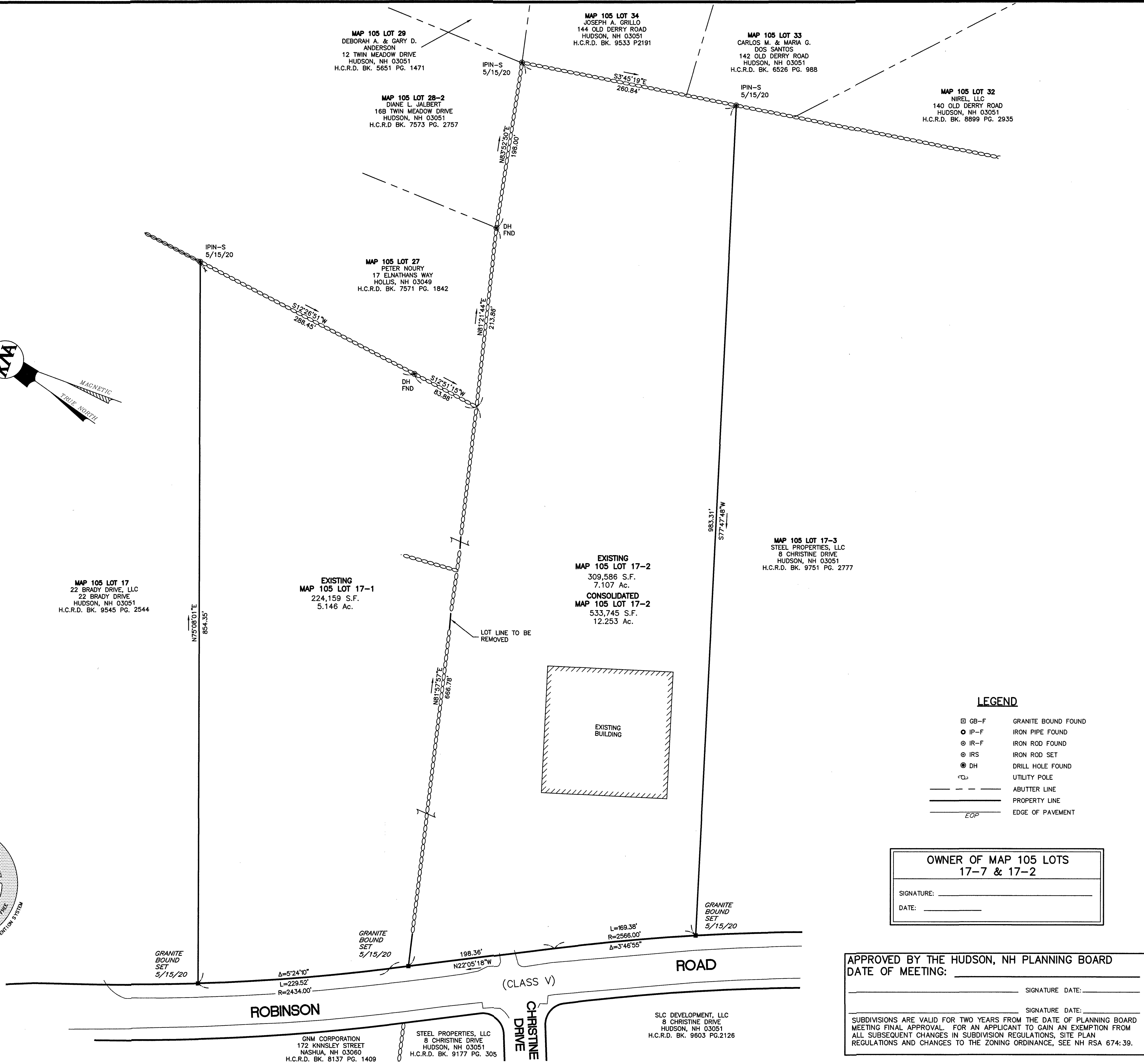
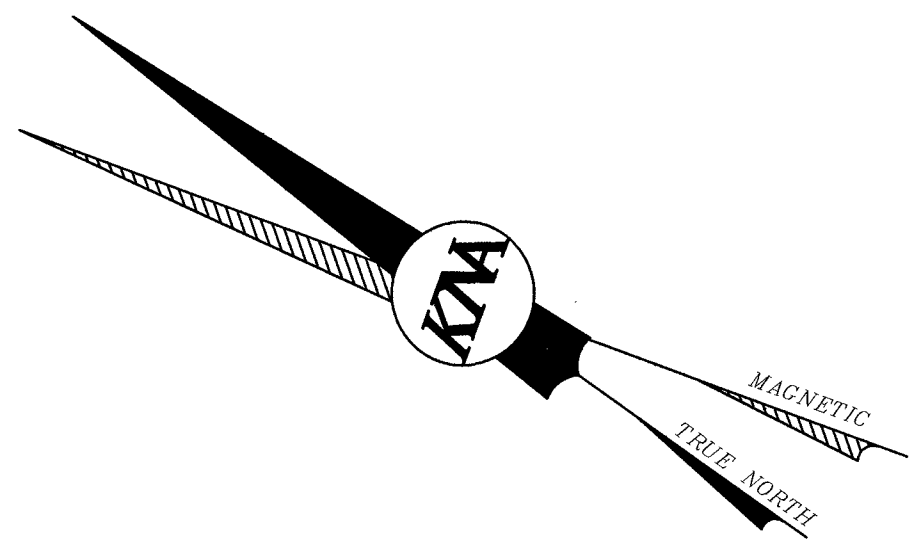
OWNER OF RECORD/APPLICANT:
STEEL PROPERTIES, LLC
8 CHRISTINE DRIVE
HUDSON, N.H. 03051
H.C.R.D. BK. 9327 PG. 197

KM **KEACH-NORDSTROM ASSOCIATES, INC.**

Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



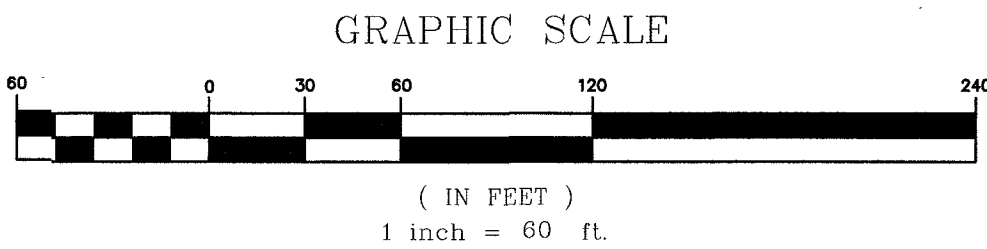
REVISIONS			
No.	DATE	DESCRIPTION	BY
DATE: JANUARY 22, 2025		SCALE: AS SHOWN	
PROJECT NO: 20-0921-2		SHEET 12 OF 12	



VICINITY PLAN
SCALE: 1" = 1,000'

- REFERENCE PLANS:**
- "NILLC SUBDIVISION, DERRY ROAD-RT. 102 & ROBINSON ROAD," HUDSON, NH, PREPARED FOR NOURY INVESTMENTS, LLC., PREPARED BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC., DATED JANUARY 10, 2003.
 - "NON-RESIDENTIAL SITE PLAN, ROBINSON ROAD SELF STORAGE, MAP 105; LOT 17, ROBINSON ROAD & DERRY ROAD (NH ROUTE 102), HUDSON, NEW HAMPSHIRE," DATED: AUGUST 2010, WITH REVISIONS THROUGH 01/03/11, PREPARED BY KEACH-NORDSTROM ASSOCIATES, INC. (22 SHEETS)
 - "NON-RESIDENTIAL SITE LAYOUT PLAN, LAND OF NOURY INVESTMENTS, LLC, PREPARED FOR DUNKIN DONUTS, MAP 105; LOT 19, 14 BRADY DRIVE, HUDSON, NEW HAMPSHIRE", DATED: JANUARY 24, 2014, WITH REVISIONS THROUGH 09/26/14, PREPARED BY KEACH-NORDSTROM ASSOCIATES, INC. (15 SHEETS)
 - "NON-RESIDENTIAL SITE PLAN, S.L. CHASSE STEEL, MAP 105; LOT 17-2 ROBINSON ROAD, HUDSON, NEW HAMPSHIRE", DATED APRIL 6, 2021 WITH REVISIONS THRU 06/08/23, AND PREPARED BY KEACH-NORDSTROM ASSOCIATES, INC. (18 SHEETS)

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE TAX MAP 105 LOTS 17-1 (5.146 AC) AND 17-2 (7.107 AC) INTO ONE LOT CONTAINING 12.253 ACRES.
 - BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON NOTED PLAN REFERENCES AND PRIOR FIELD WORK DONE BY THIS OFFICE.
 - EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS, AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.



LEGEND

- GB-F GRANITE BOUND FOUND
- IP-F IRON PIPE FOUND
- IR-F IRON ROD FOUND
- IRS IRON ROD SET
- DH DRILL HOLE FOUND
- UTILITY POLE
- ABUTTER LINE
- PROPERTY LINE
- EOP EDGE OF PAVEMENT

OWNER OF MAP 105 LOTS 17-7 & 17-2

SIGNATURE: _____

DATE: _____

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

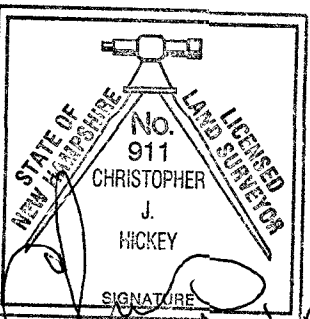
SUBDIVISIONS ARE VALID FOR TWO YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FOR AN APPLICANT TO GAIN AN EXEMPTION FROM ALL SUBSEQUENT CHANGES IN SUBDIVISION REGULATIONS, SITE PLAN REGULATIONS AND CHANGES TO THE ZONING ORDINANCE, SEE NH RSA 674:39.

LOT CONSOLIDATION PLAN

STEEL PROPERTIES, LLC
MAP 105 LOTS 17-1 & 17-2
ROBINSON ROAD
HUDSON, NEW HAMPSHIRE
HILLSBOROUGH COUNTY

RECORD OWNER
STEEL PROPERTIES, LLC.
8 CHRISTINE DRIVE
HUDSON, NH 03051
H.C.R.D. BK. 9491, PG. 194 (LOT 17-1)
H.C.R.D. BK. 9751, PG. 2777 (LOT 17-2)

KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY
DATE: FEBRUARY 6, 2025		SCALE: 1" = 60'	
PROJECT NO: 20-0921-2		SHEET 1 OF 1	